

SAN FRANCISCO PLANNING DEPARTMENT

PROJECT UPDATE MEMO (NOT FOR HEARING)

DATE:	December 15, 2016	415.558
TO:	Planning Commissioners	Fax: 415.558
FROM:	Nicholas Foster	Planning
	Staff Planner – 575-9167 or <u>nicholas.foster@sfgov.org</u>	Informatio 415.558
RE:	168-186 Eddy Street	
	Planning Commission Motion No. 19345 for	
	Conditional Use Authorization under Case No. 2015-001077CUA	

BACKGROUND

On March 26, 2015, the Planning Commission ("Commission"), through Motion No. 19345, approved a Conditional Use Authorization for a 100% affordable residential development project exceeding 50 feet in height within an RC-4 Zoning District (Planning Code Section 253), and to allow a Planned Unit Development (Planning Code Section 304) with approximately 103 affordable dwelling units, 5,500 square feet of ground-floor commercial uses, and no off-street parking, on an existing surface parking lot located at 168-186 Eddy Street.

CURRENT PROPOSAL

Since the March 26, 2015 Planning Commission Hearing, at the request of the San Francisco Mayor's Office of Housing and Community Development (MOHDC), the Project Sponsor proposed adding ten (10) additional affordable dwelling units, for a total of 113 dwelling units. In order to accommodate the additional dwelling units, the Project Sponsor has modified the previously-approved project.

The net changes to the previously-approved project are as follows:

- The overall height of the building has increased by approximately 1'-10", from 88'-0" to 89'-10", to accommodate approximately 3" of additional floor-to-ceiling clearance on each of the residential floors (mezzanine floor through floor 8);
- The building expanded 24' (horizontally) into the inner courtyard, along the eastern edge of the • property line (abutting the blind wall of the building located at 156-166 Eddy Street);
- The total square footage of the project has increased by 4,157 square feet, from 111,910 square feet • to 116,067 square feet (approximately 4% larger);
- The total square footage of the project's ground-floor commercial space has decreased by 418 • square feet, from 5,453 square feet to 5,035 square feet (approximately 8% smaller); and
- Ten additional affordable units have been added to the project (1 studio unit; 4 one-bedroom units; 4 two-bedroom units; and 1 three-bedroom unit). The unit mix is, proportionally, similar to the March 2015 project. (See Table 1 for unit break down.).

1650 Mission St. Suite 400 San Francisco. CA 94103-2479

MEMO

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Unit Type	Project (as Approved)	Modified Project	Net Increase
Studio Units	15	16	+1
1-Bedroom Units	10	14	+4
2-Bedroom Units	64	68	+4
3-Bedroom Units	14	15	+1
Total	103	113	+10

Table 1: Comparison of Dwelling Unit Type and Distribution

- Department staff has reviewed the proposed revisions and found them to be in conformance with the original approval.
- The modfied project's design was reviewed by the Planning Department and was found to be compatible with the overall design of the previous project (as approved by the Commission).
- A CEQA Note to File was prepared, documenting that no further environmental review is required for the Modified Project.
- The modified project provides ten additional affordable housing units for a total of 113 affordable dwelling units.

Attachments:

CEQA Note to File, dated July 22, 2016 Updated Plans

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SAN FRANCISCO PLANNING DEPARTMENT

мемо

DATE:	July 22, 2016
TO:	File
FROM:	Michael Jacinto, Environmental Planning
CC:	Sarah Jones, Environmental Review Officer
RE:	Case No. 2015-001077CUA, Eddy/Taylor Family Housing

On March 26, 2009 the San Francisco Planning Commission approved a residential mixed-use project, hereafter the "Eddy & Taylor Street Family Housing Project" (Case No. 2007.1342E) at 168-186 Eddy Street that entailed demolition of an existing 22,334 square-foot commercial parking lot and construction a 178,869-gross square foot, 130-foot-tall residential building with up to 178 affordable rental family units, ground-floor retail space and off-street loading. The Planning Department published a Mitigated Negative Declaration in accordance with Chapter 31 of the Administrative Code and the state CEQA Guidelines, which found that the project could not have a significant effect on the environment. Mitigation measures were included in the MND to avoid potentially significant environmental effects. The Commission granted Conditional Use authorization and a Planned Unit Development (PUD) that approved the project with exceptions for design, parking and height measurement point.

The Planning Commission's motion established a 36-month timeframe to implement the project. In 2012 the Planning Commission adopted Motion No. 18665 to extend the 2009 approval an additional 36 months. The current case, No. 2015-001077 differs from the case authorized by extension in 2012. The California Environmental Quality Act (CEQA) requires state and local agencies, such as the San Francisco Planning Department to identify the significant environmental impacts of their actions and to avoid or mitigate those impacts, if feasible.

This documentation appends a memorandum originally published on March 19, 2015 that described changes to the project 2009 project and set forth the reasons why no subsequent review is necessary. This memorandum has been updated to address the latest revisions that have been incorporated into the proposal (hereafter "modified project") and, similar to the memo issued in March 2015, contains the reasons why no further environmental review is required.

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Planning Information: **415.558.6377**

Current (Modified) Project

The project is located at the southwest corner of Eddy and Taylor Streets in the Tenderloin. Similar to the previously approved project, the current project would be a mixed-use project with commercial retail uses on its ground floor and accommodate residential uses within the seven stories above. The height of the proposed building would be roughly 83 feet 10 inches above street grade. The project would provide 113 dwelling units, comprised of 16 studios, 14 one bedrooms, 68 two bedrooms, and 15 three bedroom affordable apartments for single residents and families. Onsite open space would be provided for building residents within a 7,113-square-foot at-grade interior courtyard. The building would contain approximately 5,035-square-feet of ground floor commercial space intended to accommodate a grocery use.

Change From Previously Approved Project

The changes currently under review are described relative to the March 2015 project. The modified project would be developed at the same location and on the same lots as the previously approved project. Similar to the approved project, the modified project would also include 8 stories. The height of the modified building would be 1'-10" taller than the approved project, which would increase its height from 82'-0" as approved to 83'-10" as currently modified in order to accommodate the ten additional dwellings and create more habitable spaces for building residents.

In terms of area, the current 116,067-square foot modified project would be about 4% larger than the previously approved 111,910-square-foot project. The modified project's 5,035-square-foot ground-floor commercial space would be slightly smaller than the 5,453-square-foot commercial space approved as part of the March 2015 project.

The project would accommodate 10 additional dwelling units than approved in the March 2015 project. **Table 1** illustrates the differences in the breakdown and distribution of dwelling unit types of the modified project compared to the approved project. The values shown in parenthesis represent that particular dwelling unit as a proportion of total dwellings. In some cases, due to rounding, project totals may not equal 100 percent. As shown in the table, the modified project would have one additional studio unit, a proportionately greater number of one bedrooms, proportionally fewer two bedroom

units and an additional three-bedroom unit, which would be proportionally similar in three bedrooms to the previously approved March 2015 project.

Dwelling Unit Type	Approved Project	Modified Project
	March 2015	July 2016
Studios	15 (15%)	16 (14%)
1 Bedroom	10 (10%)	14 (12%)
2 Bedroom	64 (62%)	68 (60%)
3 Bedroom	14 (13%)	15 (13%)
TOTAL	103 units	113 units

Table 1: Comparison of Dwelling Unit Type and Distribution

Environmental Impacts

The MND for the previously approved project found less-than-significant (or no) impacts in the following environmental topic areas: land use and land use planning; aesthetics; population and housing; transportation and circulation; air quality; wind and shadow; utilities and service systems; public services; biological resources; geology and soils; hydrology and water quality; hazards and hazardous materials; mineral and energy resources; and agricultural resources.

The MND for the previously approved project found less-than-significant effects with mitigation identified within the environmental document and adopted as a condition of project approval: cultural resources; noise; and mandatory findings of significance.

<u>Shadow</u>

With respect to shadow, the MND for the previously approved project required that the Planning and Recreation and Parks Commissions make a finding under Planning Code Section 295 of No Significant New Shadow on Boeddeker Park. On December 4, 2008 the two commissions made such a finding in a joint hearing and each approved a resolution of intent to increase the absolute cumulative shadow for Boeddeker Park by 0.24 percent, in order to accommodate the new shadow cast by the proposed project. The finding was based on the project shading a portion of Boeddeker Park from mid-January to late November in the first 30 to 75 minutes after sunrise plus one hour cutoff specified by

Section 295 of the Planning Code. Shadow impacts would be restricted to the northern leg of the park, generally south of the Ellis Street entrance to the park.

The MND for the previously approved project noted that maximum shadowing would occur in March and September, when the proposed project would shade a portion of the northern part of Boeddeker Park from 8:00 to 9:15 a.m. and would add about 369,410 net new annual square foot-hours of shadow to the theoretical potential of approximately 94,156,390 square foot-hours of sun, increasing shade gsf-hours by 0.39 percent. The Recreation and Park Department has set a tolerance level of zero percent for additional cumulative shadow impacts on Boeddeker Park.

The Planning Department's Current Planning division directed the project sponsor to calculate the change in shadow square-foot hours from the approved to the modified project, as illustrated below:¹

- the approved project would result in 66,405 square-foot hours of shadow relative to 157,345,443 hours of Theoretical Annual Available Sunlight (TAAS), or what would amount to 0.04220% of the TAAS for Boeddeker Park in proportional terms.
- by comparison, the modified project would result in 68,068 square-foot hours of shadow square foot hours, an increase of 1,633 square foot hours of shadow, which would represent a slight to ~0.04300% of the TAAS.
- the majority (83 %) of the project's shadow effect on Boeddeker Park would occur before the park opens at 9:00 a.m. The maximum project shadow on the park would cover 1,633 square feet or approximately 3.9 percent of the total park area at about 8:30 a.m. on October 18 and February 22. No new shadow would occur on any day after 9:30 a.m.

No mitigation or other modification would be required.

¹ Summary of Eddy/Taylor Shadow Effects of Modified Project, transmitted by Nicholas Foster, Current Planning to Michael Jacinto, Environmental Planning on July 6, 2016. This documentation is available for review as part of Case No. 2015-001077CUA, available by request at the Planning Department, 1650 Mission Street, Suite 400, San Francisco.

Cultural Resources

The proposed project is located at the northeast corner of Eddy and Taylor streets, within the National Register-listed Uptown Tenderloin Historic District. The original project was reviewed for compatibility with the Historic District in a Historic Resource Evaluation Response memorandum dated January 20, 2009.

The modified design would be of similar height and would have street frontages of over 100 feet in length similar to the approved project. The modified project's massing is generally consistent with the larger corner buildings found within the District. On Taylor Street, the façade of the building will be broken up into three masses by use of different façade treatments and change in building plane. The proportions of the street-facing façades, while contemporary in form, would have a two-part composition with a base and shaft through use of modulation and change in materials. Fenestration will be arranged in a regular asymmetrical rhythm with projecting angled sunscreens in a manner that appropriately responds to the typical punched window openings and projecting bays on adjacent buildings. New construction would be clad with brick tile in variegated tones of red and brown, fiber-cement rainscreen, and glass, which are consistent with the light-colored masonry materials found within the District.

Overall, the revised design for the project appears to be consistent with the previous evaluation and the modified project would not have an adverse effect on the Uptown Tenderloin Historic District. The modified project appears to be compatible with the features, scale, proportion, massing, and materials found in the District.²

Mitigation Measures

Archeological Resources

The MND for the previously approved project includes a mitigation measure for archeological resources that required that project to develop an archeological testing program to determine whether archeological resources may be present at the site and a monitoring program to ensure that soils disturbing activities would not materially

² Preservation Review of Design for 168-186 Eddy Street, Memorandum from Pilar LaValley, Preservation Planner to Michael Jacinto, Environmental Planning, March 18, 2015. This memorandum is available for review as part of Case No. CUA 2015-00107, available by request at the Planning Department, 1650 Mission Street, Suite 400, San Francisco.

damage potentially significant cultural artifacts. The same measure would apply to the modified project.

Construction Noise

The MND for the previously approved project includes a mitigation measure for construction noise and vibration to address pile driving, if such construction techniques are used. In that case the project sponsor would be required to use pre-drilled piles to reduce ground-borne vibration and the project contractor would also be required to use best available technologies to ensure that noise is minimized to the greatest extent feasible. Finally at least 48 hours prior to pile-driving activities, should they occur, the project sponsor shall notify building owners and occupants within 500 feet of the project site of the dates, hours, and expected duration of such activities. This same measure would apply to the modified project as a condition of approval.

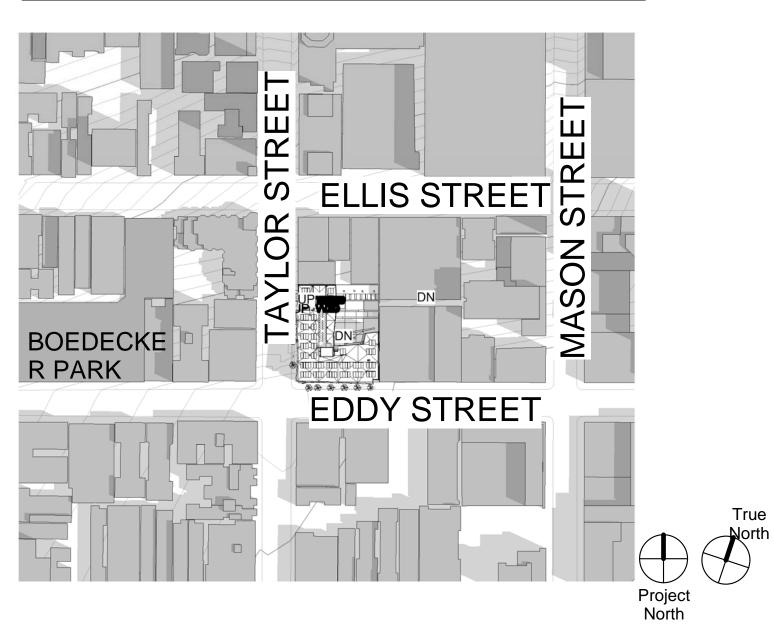
CONCLUSION

San Francisco Administrative Code Section 31.19(c)(1) states that a modified project must be reevaluated and that "If, on the basis of such reevaluation, the Environmental Review Officer determines, based on the requirements of CEQA, that no additional environmental review is necessary, this determination and the reasons therefore shall be noted in writing in the case record, and no further evaluation shall be required by this Chapter." For the reasons articulated above, this memorandum provides sufficient documentation that no further environmental review is required for the modified residential mixed-use project at 168-186 Eddy Street.

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VICINITY MAP



DEFERRED SUBMITTALS

DEFERRED SUBMITTAL ITEMS	SUBMITTAL DATE FOR ENGINEER / ARCHITECT OF RECORD TO REVIEW AND APPROVE	SUBMITTAL DATE FOR BUILDING DIVISION TO REVIEW & APPROVE	DATE FOR FABRICATION	DATE FOR INSTALLATION AT THE JOB SITE		ι ∏
FIRE SPRINKLER SYSTEM						Un
FIRE ALARM SYSTEM					SINGLE-STORY UNITS (FLAT	
STANDPIPES					Flats on Ground Floor of Building with no elevator or throughout a Building with	TB
EMERGENCY RADIO COVERAGE					elevator	2 B 3 B
TWO-WAY COMMUNICATION SYSTEM					SUB-TOTAL - Single Story U	nits (
TWO-WAY COMMUNICATION SIGNAGE					TOTAL - units on site	_
PRE-MANUFACTURED STAIRS					Required %age of units	
ELEVATORS					Required # of units	
EXIT SIGNAGE					11B units:	
BUILDING DIRECTORIES					Communication units:	
BUILDING ADDRESSES						
OTHER BUILDING SIGNAGE						
SOLAR DOMESTIC HOT WATER						
SOLAR PHOTOVOLTAIC					-	
OPERATING PERMIT - MULTI-STORY BUILDING						

APPLICABLE CODES

All construction and installation shall conform to the following codes: 2013 California Building Code (CBC) & San Francisco amendments 2013 California Mechanical Code (CMC) & San Francisco amendments

2013 California Plumbing Code (CPC) & San Francisco amendments 2013 California Electrical Code & San Francisco amendments 2013 California Energy Code 2013 San Francisco Housing Code

Accessibility Code - 2013 California Building Code; Chapters 10, 11A, 11B 2013 NFPA 72 (National Fire Alarm Code) 2013 NFPA 13 (Installation of Fire Sprinkler Systems) 2010 San Francisco Fire Code

1998 Fair Housing Act Design Manual will be used to comply with Federal Fair Housing Act, Part VI -

TITLE 19 California Administration Code 2013 TITLE 24 California Administrative Code 2010 Americans with Disabilities Act Standards for Accessible Design

The functionality standards set forth in Title 7 of the California Civil Code (the "Right to Repair Act"). The manufacturer's requirements or recommendations for any incorporated products. And any other governing codes and ordinances. In the event of conflict, the most stringent requirements shall apply.

DESIGN-BUILD SECTIONS OF THE WORK

1. Fire Sprinklers and life safety Photovoltaic roof-top solar panels and hot water/thermal panels Reclaimed water landscape irrigation system

Foundations and Ground Improvement Building Envelope maintenance system Building Security systems

Accessibility Guidelines

UNIT DISPERSAL MATRIX						
nit Size	# of Units	# of Units w/ Mobility features (11B)	# of Adaptable Units (11A)	# of Units w/ Mobility and Communication features		
tudio	16	3	13	1		
BR	14	2	12	1		
BR	68	3	65	2		
BR	15	4	11	1		
s (F)	113	12	101	5		
	113	12	101	5		
		10%	-	4%		
		11		5		

PROJECT TEAM

ARCHITECT David Baker FAIA + Partners 461 Second Street, Suite c127 San Francisco, CA 94107 415-896-6700 TEL Attn: Daniel Simons/John Onken

CIVIL ENGINEER Carlile Macy 15 3rd Street Santa Rosa, CA 95401 707-542-6451 Attn: Jim Fain

LANDSCAPE ARCHITECTS GLS Landscape/Architecture 2677 Mission Street, No 200 San Francisco, CA 94110 415-285-3614 Attn: Dean Williams

DEVELOPER Tenderloin Neighborhood Development Corp. 201 Eddy Street San Francisco, CA 94102 (415) 358-3934 TEL Attn: Aditya Potluri/Claire Evans

STRUCTURAL ENGINEER OLMM Consulting Engineers 701 Sutter Street, 4th Floor San Francisco, CA 94109 415-882-9449 Attn: Matthew Stevens

LEED/ENERGY COMPLIANCE Beyond Efficiency 1502 Walnut Street, Suite C Berkeley, CA 94709 415-236-1333 Attn: Katy Hollbacher

UNIT TABULATION

STUDIO	16
1 BR	14
2 BR	68
3 BR	15
TOTAL	113

OPEN SPACE CALCULATION

District	Square feet of private usable open space per unit	Ratio of common usable open space that may be substituted for private
RC-4	36	1.33
For 103 units: (3708 SF x 1.33 = 4944 SF total require	d

Provided: 7,082 SF on-grade courtyard

DRAWING LIST

GENER		A351	Interior Elevations - Common Area
G000	Title Sheet	A352	Interior Elevations - Common Area
G001	Project Information	A353	Enlarged Plans and Interior Elevations - Common A
G002	Attachment C-2 Green Building Site Permit Submittal	A401	Wall Sections
G003	LEED Checklist	A402	Wall Sections
G004	Keynote Legend	A403	Wall Sections
G100	Survey	A410	Enlarged Plans & Elevs - Residential Corridors
	-		5
G600	Code Analysis	A420	Enlarged Plans & Elevs - Elevator
G601	Code Analysis	A421	Enlarged Plans & Elevs - Stair 1
G602	Code Analysis	A422	Enlarged Plans & Elevs - Stair 2
G603	Code Analysis	A423	Enlarged Sections - Stair 2
G604	Accessibility Diagrams	A424	Enlarged Sections - Stair 2
G605	Accessibility Diagrams	A426	Enlarged Plans and Elevations- Utility
G606	Accessibility Plans	A500	Details - Wall Assemblies
G610	Noise Report	A505	Details - Horizontal Assemblies
010	Noise Report	A505	Details - Horizontal Assemblies
CIVIL		A510	Details - Site & Foundation
CO.1	General Notes, Legend & Abbreviations	A530	External Walls - Brick Veneer
C1.1	Layout & Boundary Plan	A531	External Walls - Cement Plaster Details
C2.1	Rough Grading Plan	A532	External Walls - Fiber Cement Board Cladding Deta
C3.1	Utility Plan	A540	Details - Exterior Specialties
C4.1	Details	A550	Details - Roof & Roof Accessories
		A550 A560	Details - Windows
דייייס			
	ECTURE Site Diar	A561	Details - Windows
\001	Site Plan	A562	Details - Doors
100	Level 1 Slab Plan Only	A563	Details - Doors
110	Floor Plan - Ground Floor	A564	Details - Doors
\111	Floor Plan - Level 1.5	A565	Details - Storefronts
112	Floor Plan - Level 2	A570	Details - Elevator
113	Floor Plan - Level 3	A575	Details - Stairs
A114	Floor Plan - Level 4	A580	Details - Interior Walls Framing
			5
115	Floor Plan - Level 5	A581	Details - Trash Chutes
116	Floor Plan - Level 6	A582	Details - Interior
117	Floor Plan - Level 7	A590	Details - Casework
4118	Floor Plan - Level 8	A595	Details - Signage
4119	Roof Plan	A596	Details - Signage
A119a	Design-Build Solar Hot Water & Photovoltaic Plan	A597	Signage Plans
A120	RCP - Ground Floor	A600	Door Schedule & Legend
121	RCP - Level 1.5	A601	Door Schedule & Legend
			0
A122	RCP - Level 2 - Typical Levels 4, 6	A610	Window Schedule & Legend
4123	RCP - Level 3 - Typical levels 5, 7	A615	Storefront Schedule & Legend
4124	RCP - Level 8	A616	Storefront Schedule & Legend
125	Typical Unit Fire Sprinkler Plan	A617	Storefront Schedule & Legend
A130	Finish Plan - Level 1	A620	Finish Schedule
A140	Slab Plan - Levels 2-8 Typical		
A201	Elevation - South (Eddy)	LANDSO	ΔDF
201		L1.1	
	Elevation - West (Taylor)		Landscape Layout Plan
203	Elevation - North	L2.1	Grading Plans
204	Elevation - East	L4.1	Landscape Details
205	Elevations - Misc. (Roof)	L4.2	Landscape Details
207	Building Section Through Retail	L4.3	Landscape Details
250	Building Section at Courtyard	L4.4	Landscape Details
251	Building Section at Stairs	L4.6	Landscape Details
252	Building Sections	L4.7	Landscape Details
	-		•
A253	Building Section Across Courtyard	L5.1	Planting Plan
\301	Unit Plans - Studio (0A, 0A Alt.)	L5.2	Soil Preparation Plan
\302	Unit Plans - Studio (0B) - Mobility		
1303	Unit Plans - 1 Bed (1A)	STRUC	TURAL
304	Unit Plans - 1 Bed (1A Mobility)	S001	General Notes
305	Unit Plans - 2 Bed (2A, 2A Alt.)	S002	General Notes
306	Unit Plans - 2 Bed (2A Variations)	S003	General Notes
	Unit Plans - 2 Bed (2B)	S010	Typical Concrete Details
4 3(17			
	Unit Plan - 2 Bed (2C)	S011	Typical Concrete Details
4308		S012	Typical Post-Tensioned Slab Details
\308 \309	Unit Plans - 2 Bed (2D)		Typical Dect Topcioned Slob Details
4308 4309 4310	Unit Plans - 3 Bed (3A)	S013	Typical Post-Tensioned Slab Details
A308 A309 A310		S013 S014	Typical Post-Tensioned Slab Details
\308 \309 \310 \311	Unit Plans - 3 Bed (3A)		5.
A308 A309 A310 A311 A320	Unit Plans - 3 Bed (3A) Unit Plans - 3 Bed (3B) Unit Bathrooms Enlarged Plans and Elevations	S014 S110	Typical Post-Tensioned Slab Details Ground Floor Plan
4308 4309 4310 4311 4320 4321	Unit Plans - 3 Bed (3A) Unit Plans - 3 Bed (3B) Unit Bathrooms Enlarged Plans and Elevations Unit Bathrooms Enlarged Plans and Elevations	S014 S110 S111	Typical Post-Tensioned Slab Details Ground Floor Plan Level 1.5 Plan
4308 4309 4310 4311 4320 4321	Unit Plans - 3 Bed (3A) Unit Plans - 3 Bed (3B) Unit Bathrooms Enlarged Plans and Elevations Unit Bathrooms Enlarged Plans and Elevations Unit & Common Bathrooms Enlarged Plans and	S014 S110 S111 S111-R	Typical Post-Tensioned Slab Details Ground Floor Plan Level 1.5 Plan Level 1.5 Reinforcing Plan
A307 A308 A309 A310 A311 A320 A321 A322 A340	Unit Plans - 3 Bed (3A) Unit Plans - 3 Bed (3B) Unit Bathrooms Enlarged Plans and Elevations Unit Bathrooms Enlarged Plans and Elevations	S014 S110 S111 S111-R S112	Typical Post-Tensioned Slab Details Ground Floor Plan Level 1.5 Plan

PROJECT LOCATION 210-238 Taylor Street, San Francisco, CA 94102

The site is located at the northeast corner of Eddy and Taylor Streets in San Francisco, California.

Proposed use is for an 8 story mixed-use residential with retail development. The project will provide 113 units, comprised of studios, one, two, and three bedroom units with one large on-grade courtyard. Additionally, the development will contain ground floor commercial space, which could accommodate a small private grocery (approximately 6,000 SF)

Area

The project is a revision of a proposal put before the Planning Commission in 2009.

PROJECT BLOCK & LOT

Name

Acreage BLOCK 0331/LOTS 10 & 11 22344 SF 0.51

BUILDING HEIGHT

PLANNING CODE BUILDING HEIGHT

Height/Bulk District = **80-T-130-T** Developer chooses to measure height based on the Taylor Street frontage. Choice is allowed per 102.12(d). Midpoint of the property line along Taylor at +40.00 based on existing survey. Roof deck at +123.83 elevation. Planning Code Building Height = 123.83 - 40.00 = 83.83 FT.

BUILDING CODE BUILDING HEIGHT

Per CBC Section 502: Building height is the vertical distance from the grade plane to the average height of the highest roof surface.

SE low point = 32.95 | SW corner: 35.05 NE corner: 40.40 | NW high point = 44.27

Grade plane = **38.16 (38'-2'')** Max. allowable building height above grade plane = **UL (**CBC TABLE 503)

BUILDING AREA

E2.09 Floor Plan - Roof - Lighting and Power E3.00 Floor Plan - Ground Level Power E3.01 Enlarged Electrical Room Plan E3.02 Enlarged Electrical Room Plan

E3.03 Enlarged Power Plan

E6.00 Low Voltage Riser Diagram

E8.00 Floor Plan - Ground Level Apartment Feeder Routing E8.01 Floor Plan - Level 2-8 (Typ) Apartment Feeder Routing

E6.01 Low Voltage Details E6.02 Electrical Details

E4.00 Unit Plans E4.01 Unit Plans E4.02 Unit Plans E4.03 Unit Plans E5.00 Oneline Diagram E5.01 Load Calculations

Circ./Mech/Unoccupied	6,752 SF
Office/Common Use	3,261 SF
Residential	107,554 SF
Retail	5,705 SF
Total Building Area:	123,273 SF
Courtyard:	7,131 SF

Courtyard:

S113	Level 3 Plan	PLUMB	NG
S113-R	Level 3 - Level 5 Reinforcing Plan	P000	Legend, General Notes & Drawing Index
S116	Level 6 Plan	P001	Schedules & Calculations
S116-R	Level 6 Reinforcing Plan	P002	Schedules & Calculations
S117	Level 7 Plan	P100	Site Plan
S117-R	Level 7 - Level 8 Reinforcing Plan	P200	Floor Plan - Ground Floor
S119	Roof Plan	P200U	Floor Plan - Underslab
S119-R	Roof Reinforcing Plan	P201	Floor Plan - Level 1.5
S200	Column Schedule	P202	Floor Plan - Level 2
S201	Column Schedule	P203	Floor Plan - Level 3
S300	Concrete Shear Wall Elevations	P204	Floor Plan - Level 4
S301	Concrete Shear Wall Elevations	P205	Floor Plan - Level 5
		P206	Floor Plan - Level 6
MECHA	NICAL	P207	Floor Plan - Level 7
M000	Legend, General Notes & Drawing Index	P208	Floor Plan - Level 8
M001	Schedules & Calculations	P209	Floor Plan - Roof
M200	Floor Plan - Ground Floor	P300	Enlarged Plans
M200P	Floor Plan - Ground Floor Water Supply	P301	Enlarged Plans
M201	Floor Plan - Level 1.5	P302	Enlarged Plans
M201P		P303	Enlarged Plans
M202	Floor Plan - Level 2	P304	Enlarged Plans
M203	Floor Plan - Level 3	P305	Enlarged Plans
M204	Floor Plan - Level 4	P306	Enlarged Plans
M205	Floor Plan - Level 5	P307	Enlarged Plans
M206	Floor Plan - Level 6	P400	Waste & Vent Riser Diagrams
M207	Floor Plan - Level 7	P401	Water Supply Riser Diagrams
M208	Floor Plan - Level 8	P402	Details & Diagrams
	Floor Plan - Level 8 Water Supply	P403	Details & Diagrams
M209	Floor Plan - Roof	P404	Details & Diagrams
	Floor Plan - Roof Water Supply	P405	Details & Diagrams
M300	Enlarged Plans	P406	Details & Diagrams
M301	Enlarged Plans	1 100	Details & Diagrams
M302	Enlarged Plans		
M302	Enlarged Plans		
M304	Enlarged Plans		
M400	Hydronic Loop Riser		
M401	Hydronic Loop Risers		
M402	Details & Diagrams		
M402 M403	Details & Diagrams		
M403	Details & Diagrams		
M404 M405	Details & Diagrams		
ELECTR			
E0.00	Legend, General Notes, Sheet Index		
E0.01	Legend, General Notes		
E0.02	Luminaire Schedule		
E2.00	Floor Plan - Ground Floor Lighting		
E2.01	Floor Plan - Level 1.5 Lighting and Power		
E2.02	Floor Plan - Level 2 Lighting and Power		
E2.03	Floor Plan - Level 3 Lighting and Power		
E2.04	Floor Plan - Level 4 Lighting and Power		
E2.05	Floor Plan - Level 5 Lighting and Power		
E2.06	Floor Plan - Level 6 Lighting and Power		
E2.07	Floor Plan - Level 7 Lighting and Power		
E2.08	Floor Plan - Level 8 Lighting and Power		

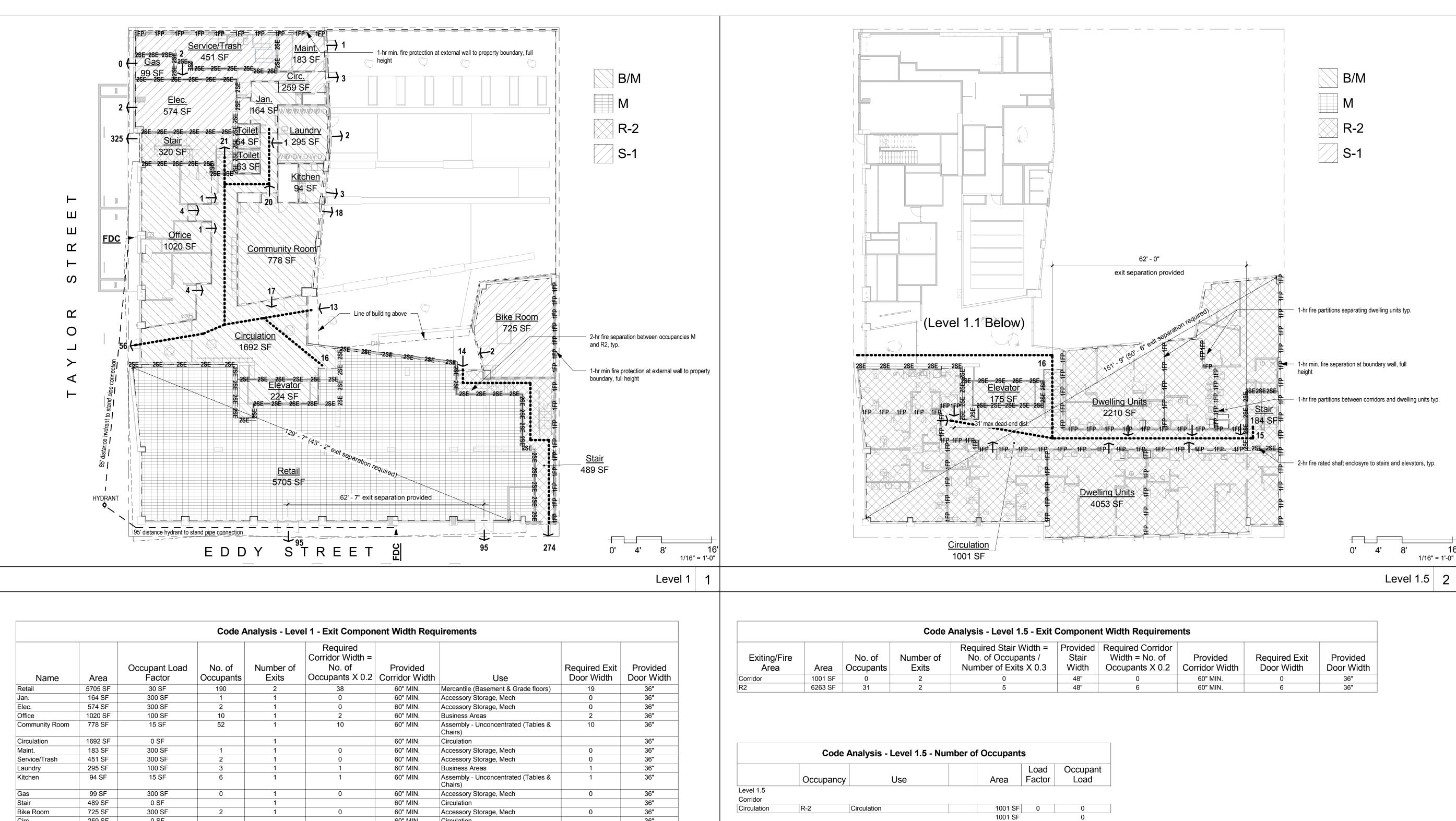
david baker architects dbarchitect.com 461 second street loft 127 san francisco california 94107	

415 896 6700 fax 415 896 6103

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Code Analysis - Level 1 - Exit Component Width	Requirements
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					Required Corridor Width =		
		Occupant Load	No. of	Number of	No. of	Provided	
Name	Area	Factor	Occupants	Exits	Occupants X 0.2	Corridor Width	
Retail	5705 SF	30 SF	190	2	38	60" MIN.	Mercantile (B
Jan.	164 SF	300 SF	1	1	0	60" MIN.	Accessory St
Elec.	574 SF	300 SF	2	1	0	60" MIN.	Accessory St
Office	1020 SF	100 SF	10	1	2	60" MIN.	Business Are
Community Room	778 SF	15 SF	52	1	10	60" MIN.	Assembly - U Chairs)
Circulation	1692 SF	0 SF		1		60" MIN.	Circulation
Maint.	183 SF	300 SF	1	1	0	60" MIN.	Accessory St
Service/Trash	451 SF	300 SF	2	1	0	60" MIN.	Accessory St
Laundry	295 SF	100 SF	3	1	1	60" MIN.	Business Are
Kitchen	94 SF	15 SF	6	1	1	60" MIN.	Assembly - U Chairs)
Gas	99 SF	300 SF	0	1	0	60" MIN.	Accessory St
Stair	489 SF	0 SF		1		60" MIN.	Circulation
Bike Room	725 SF	300 SF	2	1	0	60" MIN.	Accessory St
Circ.	259 SF	0 SF				60" MIN.	Circulation

				Load	Occupant
	Occupancy	Use	Area	Factor	Load
Level 1		· · ·			
Circulation	B/M	Circulation	1692 SF	0	0
Stair	R-2	Circulation	489 SF	0	0
Circ.	S-1	Circulation	259 SF	0	0
Community Room	B/M	Assembly - Unconcentrated (Tables & Chairs)	778 SF	15	52
Kitchen	B/M	Assembly - Unconcentrated (Tables & Chairs)	94 SF	15	6
Retail	М	Mercantile (Basement & Grade floors)	5705 SF	30	190
Office	B/M	Business Areas	1020 SF	100	10
Laundry	B/M	Business Areas	295 SF	100	3
Jan.	B/M	Accessory Storage, Mech	164 SF	300	1
Elec.	S-1	Accessory Storage, Mech	574 SF	300	2
Maint.	S-1	Accessory Storage, Mech	183 SF	300	1
Service/Trash	S-1	Accessory Storage, Mech	451 SF	300	2
Gas	S-1	Accessory Storage, Mech	99 SF	300	0
Bike Room	S-1	Accessory Storage, Mech	725 SF	300	2
			12529 SF		269

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	Occupancy	Use	Area	Load Factor	Occupant Load		
Level 1.5			 			-	
Corridor Circulation	R-2	Circulation	1001 SF	0	0]	
	11-2	Circulation	1001 SF	U	0		
R2					0		
Dwelling Units	R-2	Residential	2210 SF	200	11		
Dwelling Units	R-2	Residential	4053 SF	200	20		
			6263 SF		31		
						<u>ALYSIS LI</u>	NE TYPE LEGEND Common Path of Egress Travel
							Boundary of Occupancy
					1FP 1FP 1FP	1FP 1FP	1-hr Fire Partition
					1FB 1FB 1FB	FB 1FB	1-hr Fire Barrier/Separation
					2SE 2SE 2SE	- 2SE -2SE	2-hr Shaft Enclosure
					2 FB 2FB 2FE	3 2FB 2FB	2-hr Fire Barrier/2-hr Fire Separa
					MISC. OCCUP	ANCY & EXI	TING NOTES
					1. ACCESSOF	RY OCCUPAN	VCIES SHALL NOT EXCEED 10%

5. INCIDENTAL USES ARE SEPARATED FROM THE MAIN OCCUPANCY ACCORDING TO TABLE 508.2.

aratior

1. ACCESSORY OCCUPANCIES SHALL NOT EXCEED 10% OF THE AREA OF THE STORY IN WHICH THEY ARE LOCATED (2013 CBC 508.3.1). NO SEPARATION IS REQUIRED BETWEEN AN ACCESSORY OCCUPANCY AND THE PRIMARY OCCUPANCY (2013 CBC 508.3.1.3).

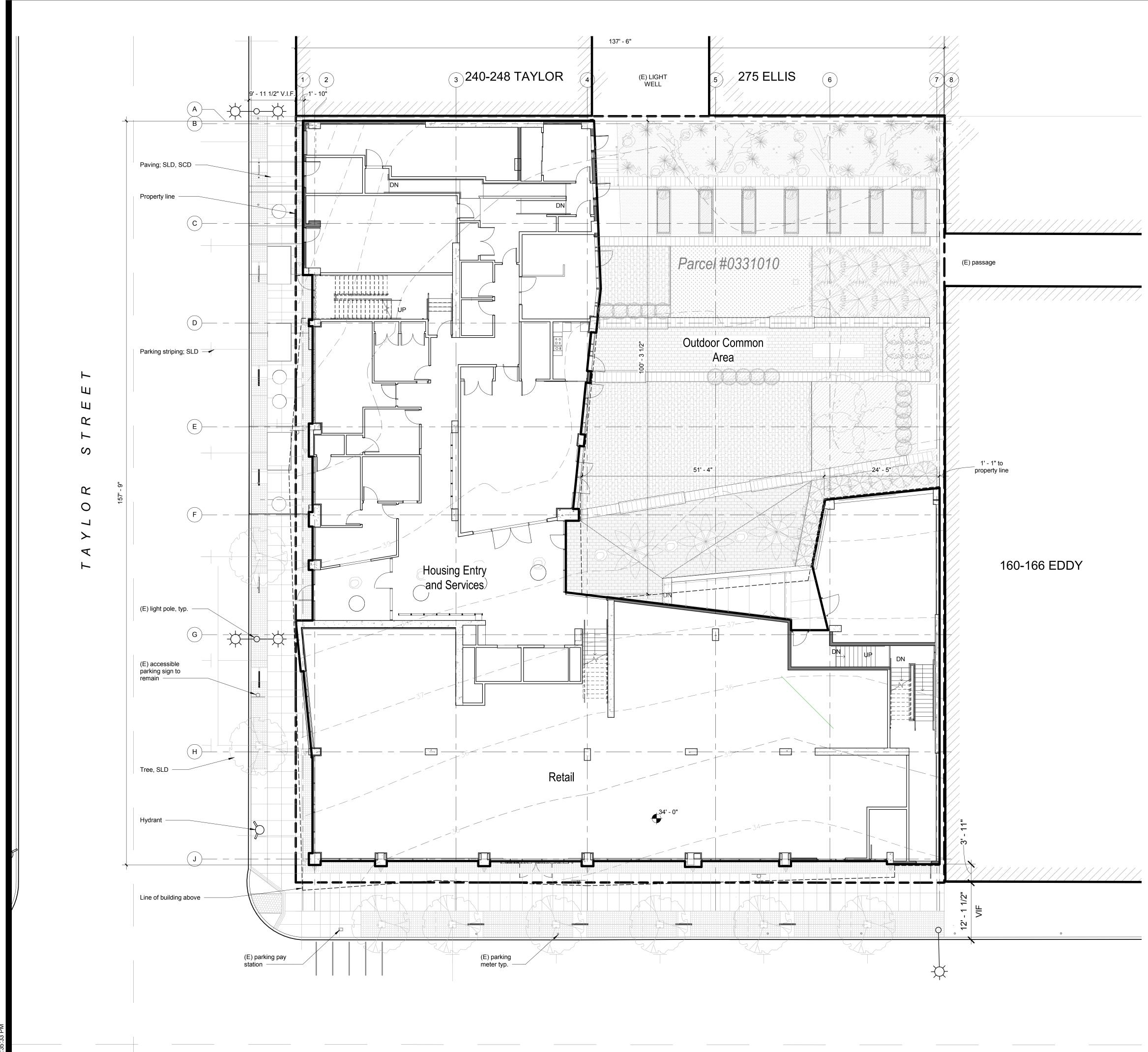
2. THE MINIMUM EXIT STAIR WIDTH IS 48" PER 2013 CBC 1007.3, EXCEPTION 3.

3. PER 2013 CBC 1008.1.1 EXIT DOORS SHALL PROVIDE CLEAR WIDTH OF NOT LESS THAN 32".

4. PER CBC 1015.2.1, WHERE A BUILDING IS EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM, THE SEPARATION DISTANCE BETWEEN EXIT DOORS SHALL NOT BE LESS THAN ONE-THIRD THE LENGTH OF THE OVERALL DIAGONAL DISTANCE OF THE AREA SERVED.

6. NON SEPARATED OCCUPANCIES PROVIDED PER CBC 2013, 508.3

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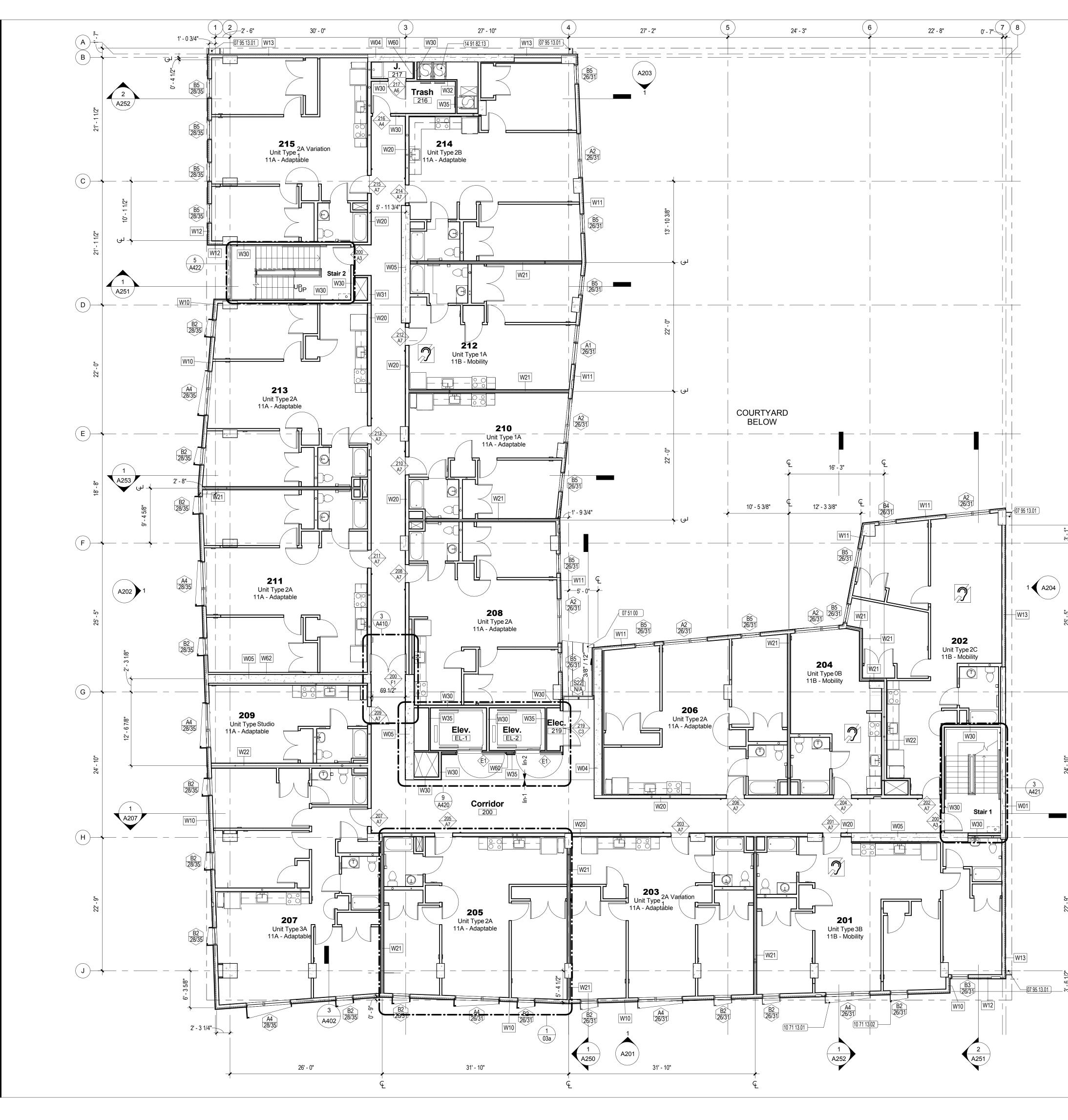
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	11 82 26.01 Trash Compactor	
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		david baker architects dbarchitect.com
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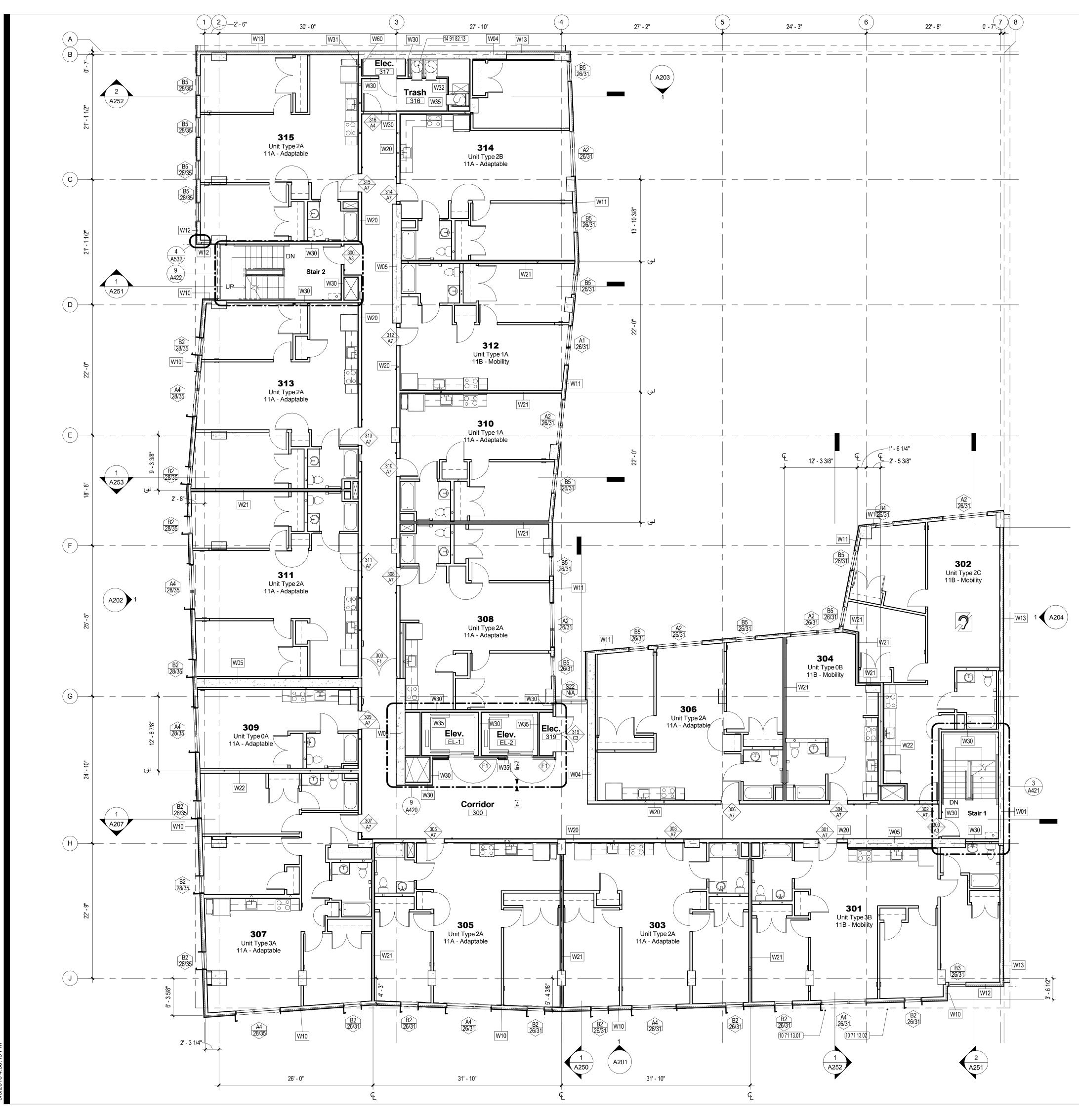


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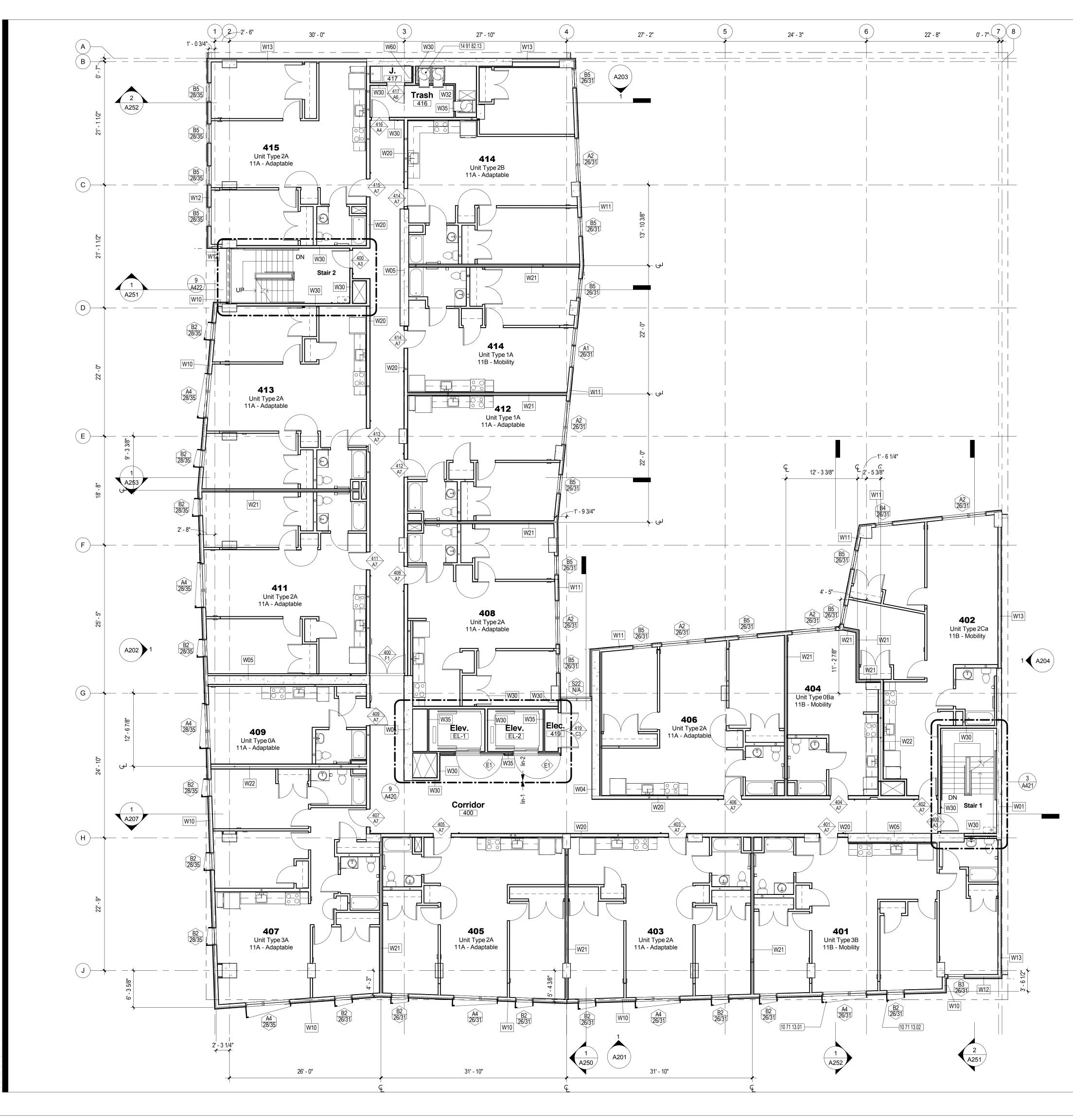
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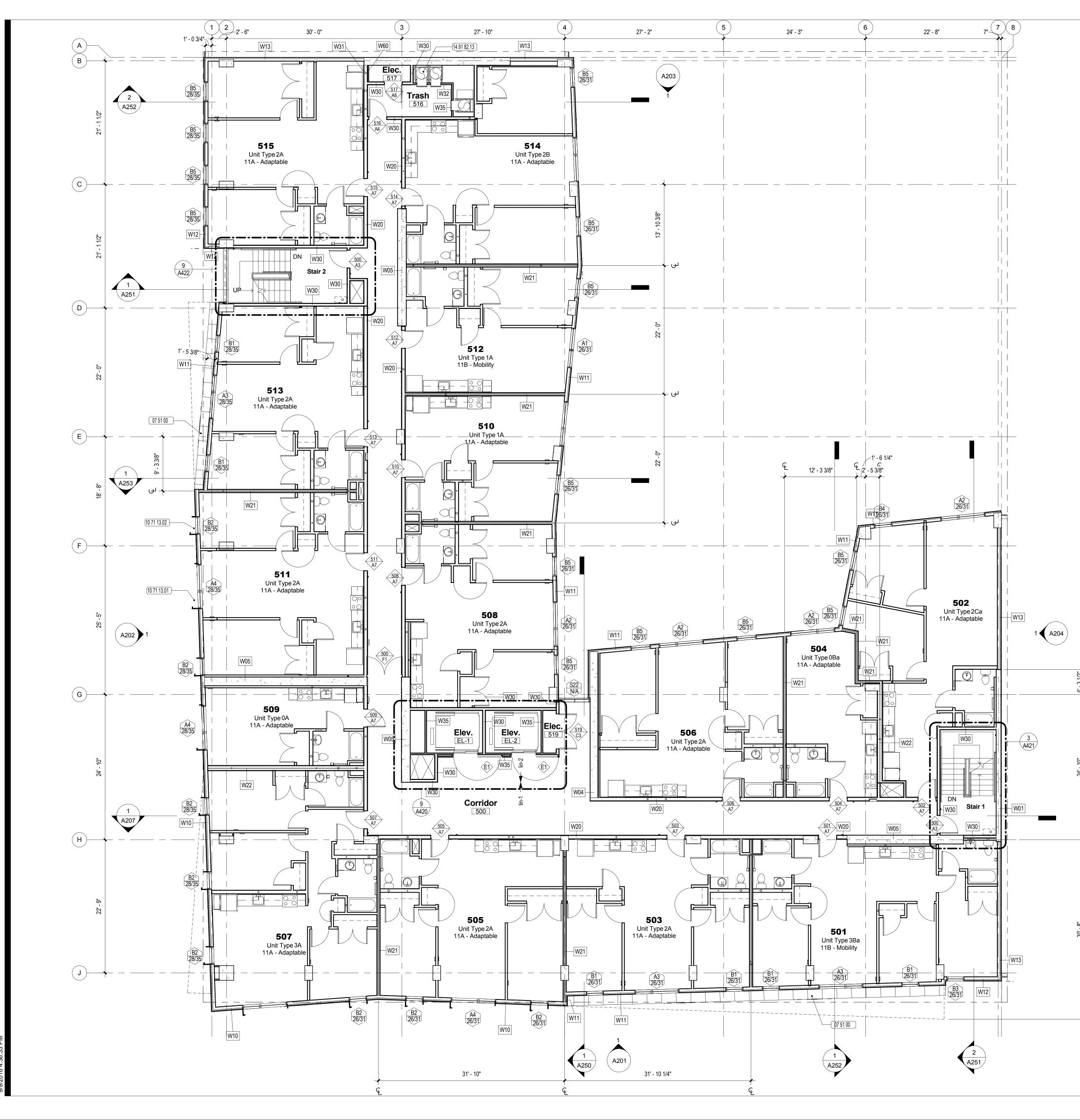
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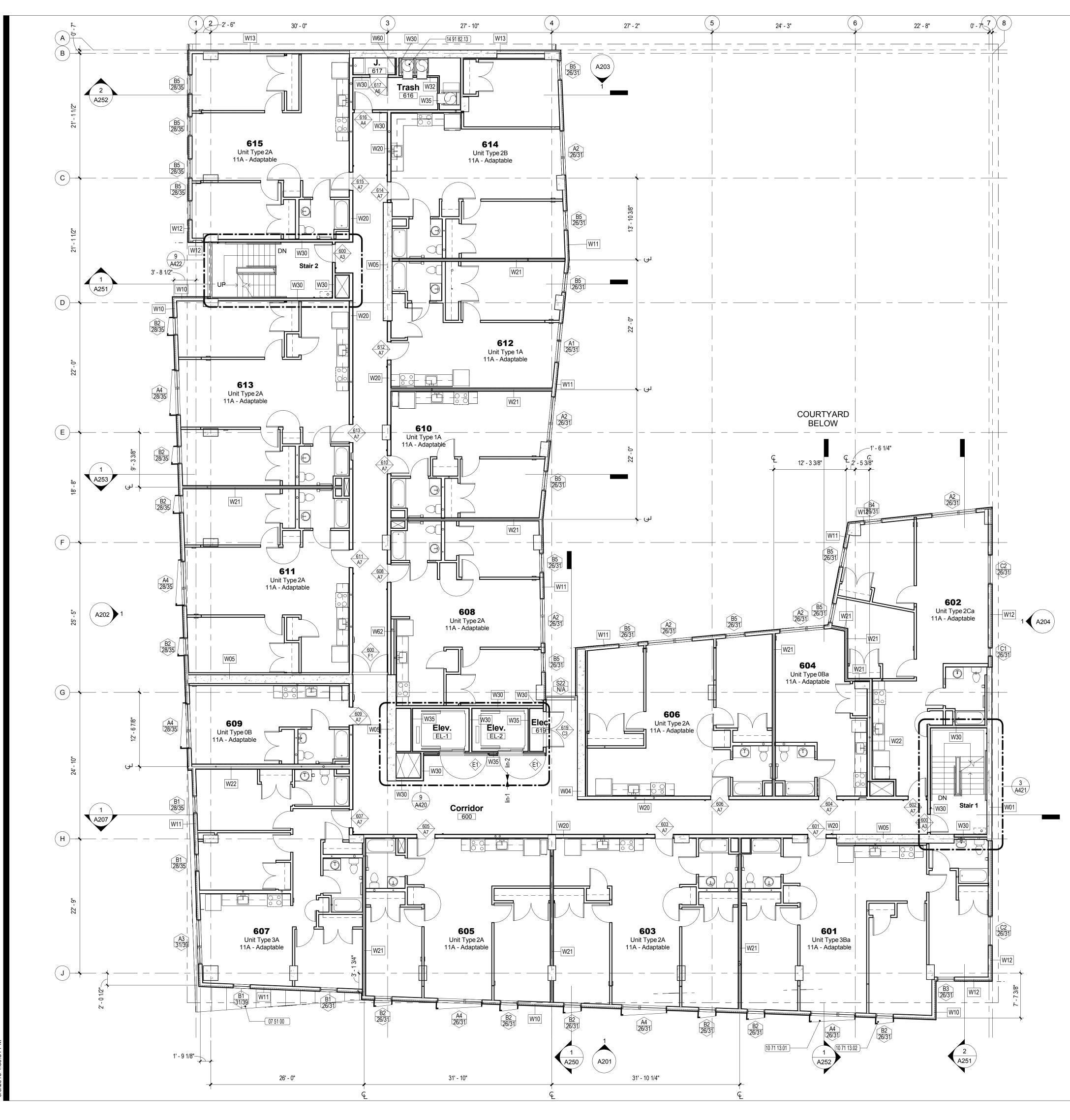


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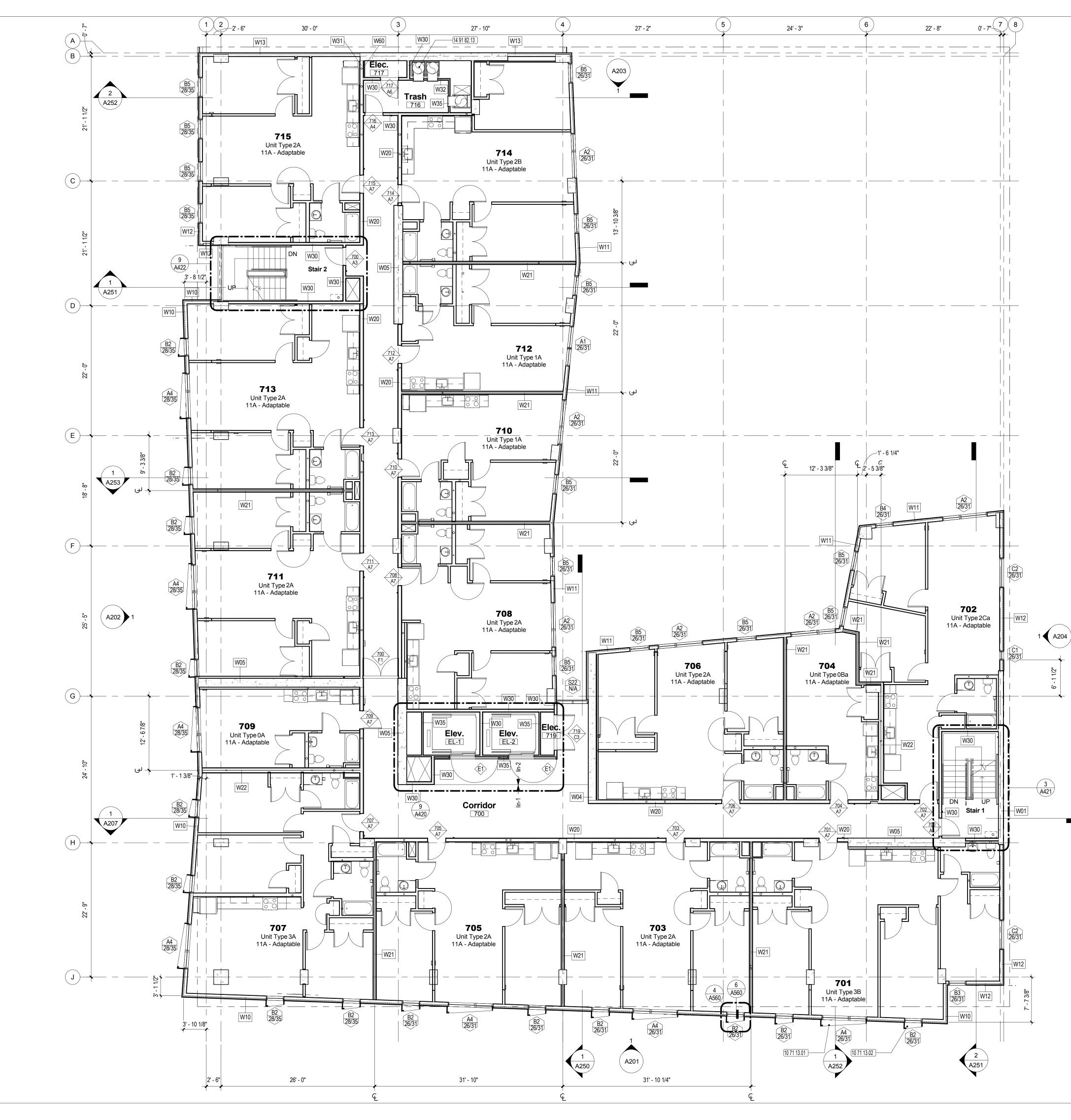


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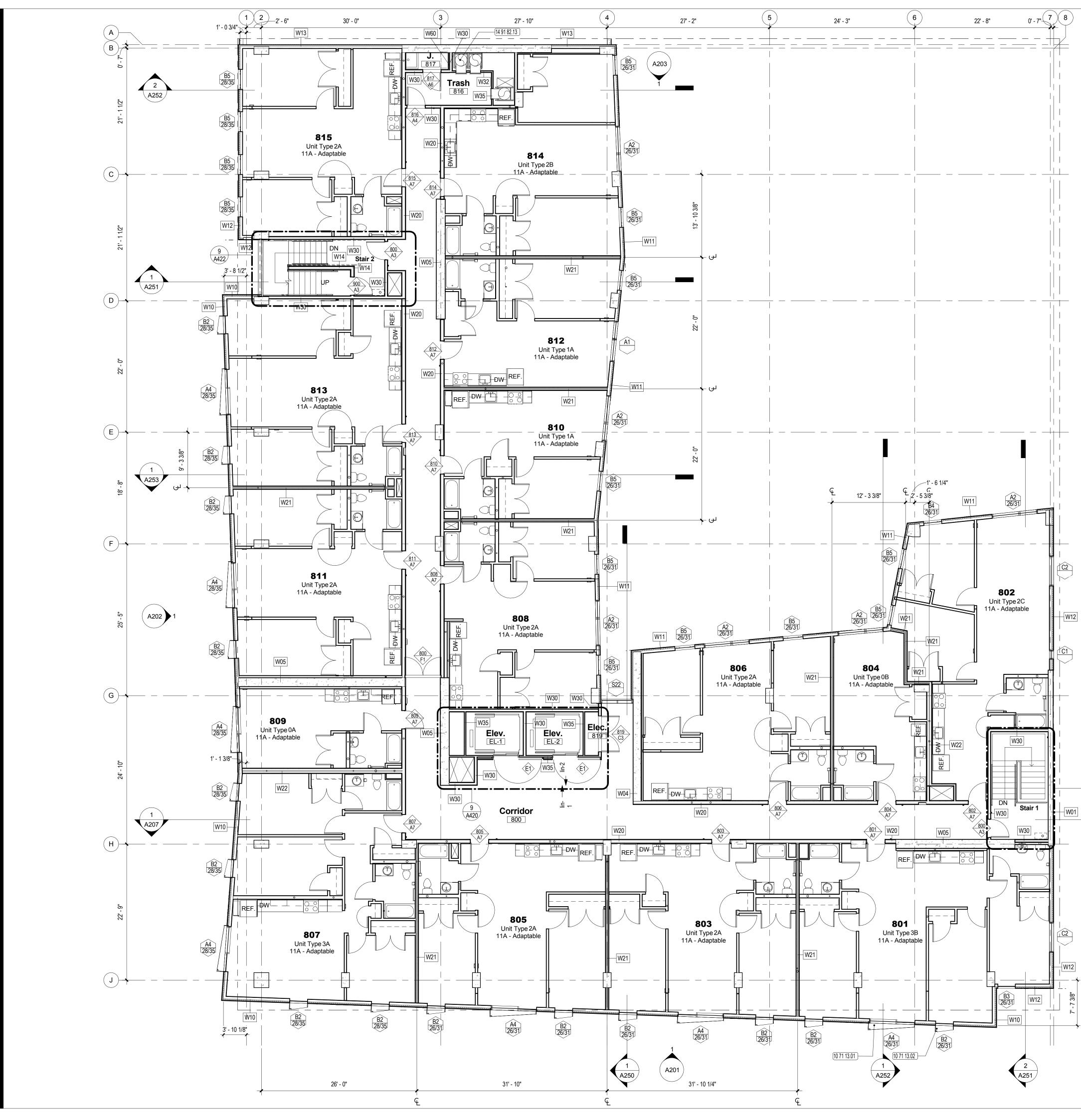
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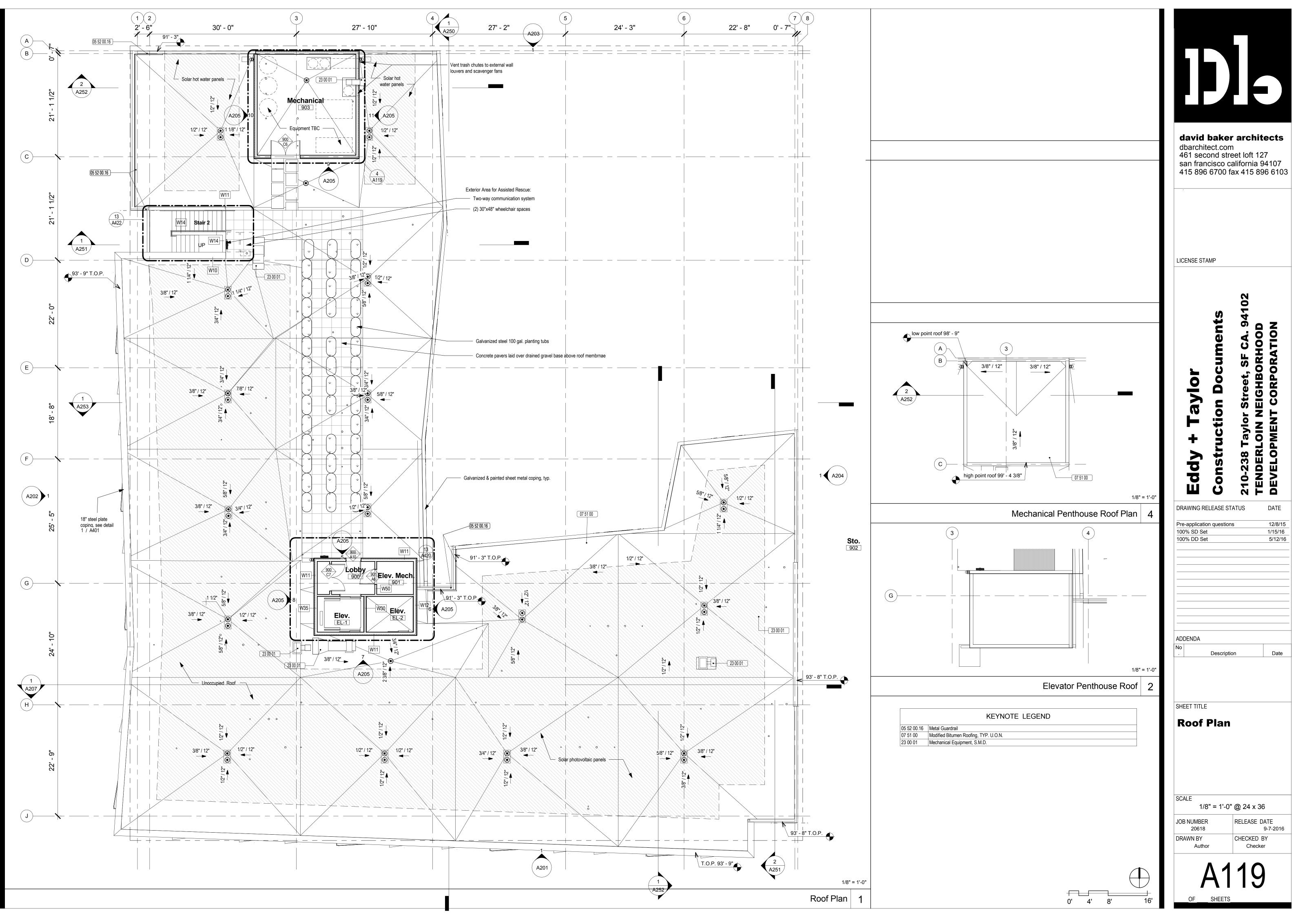


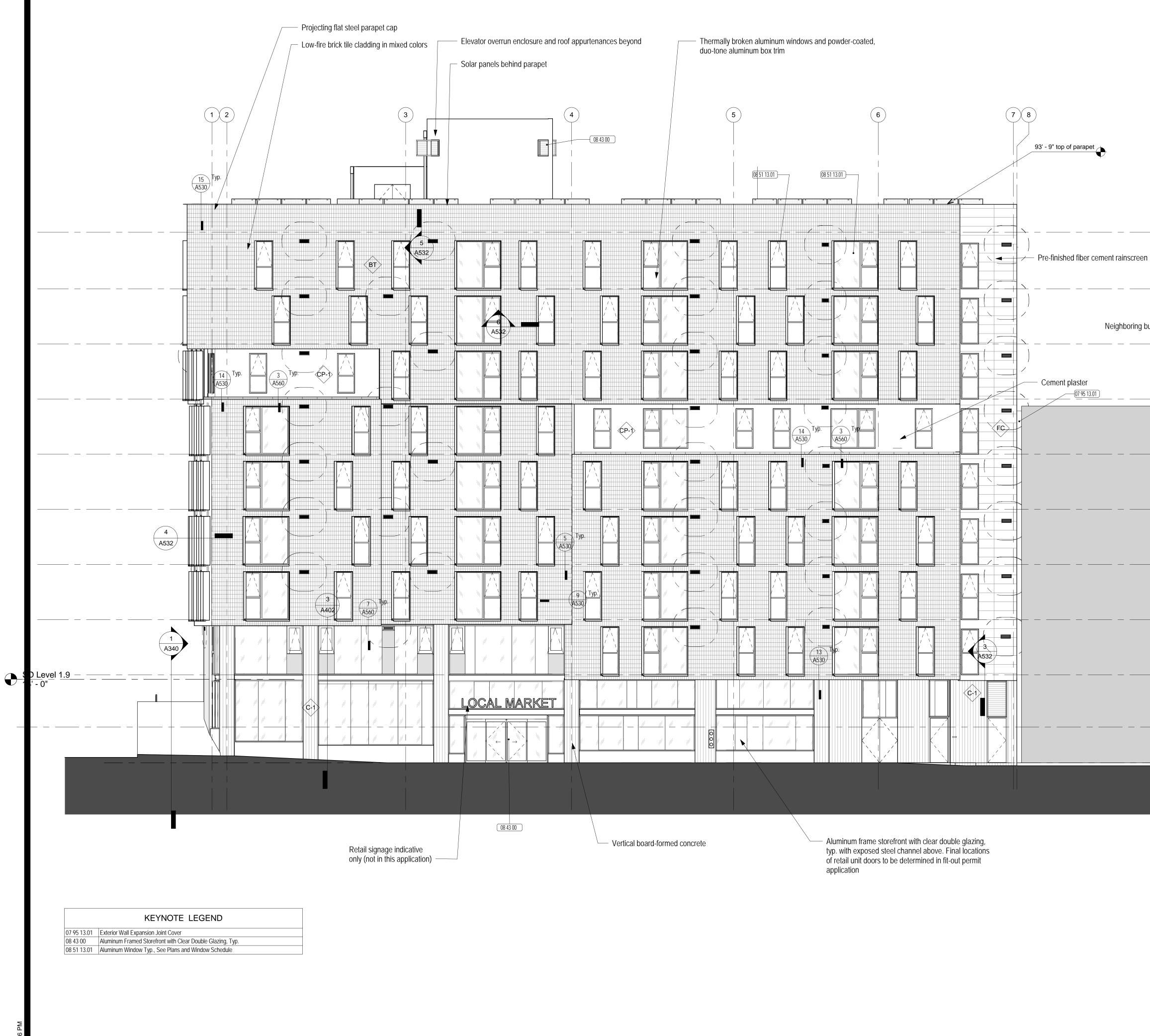
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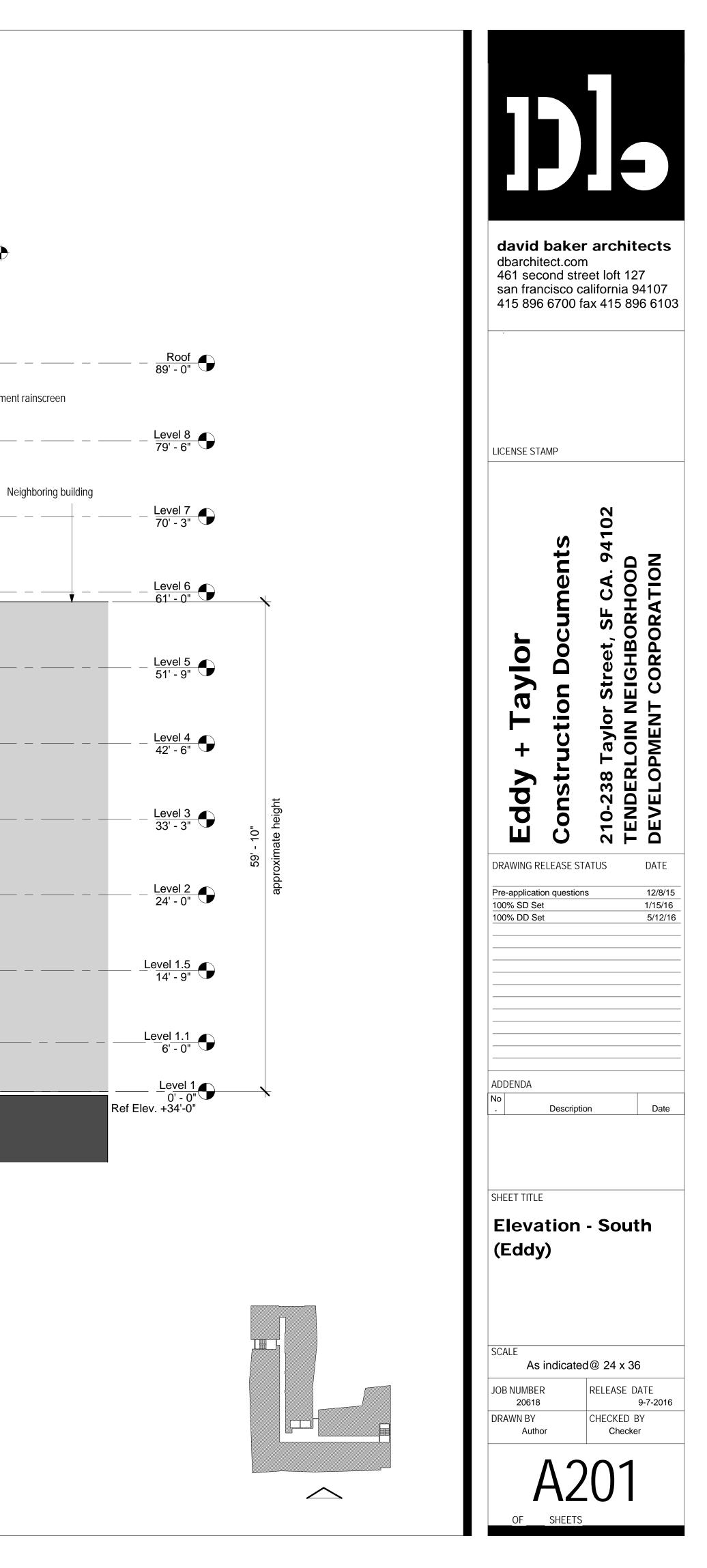
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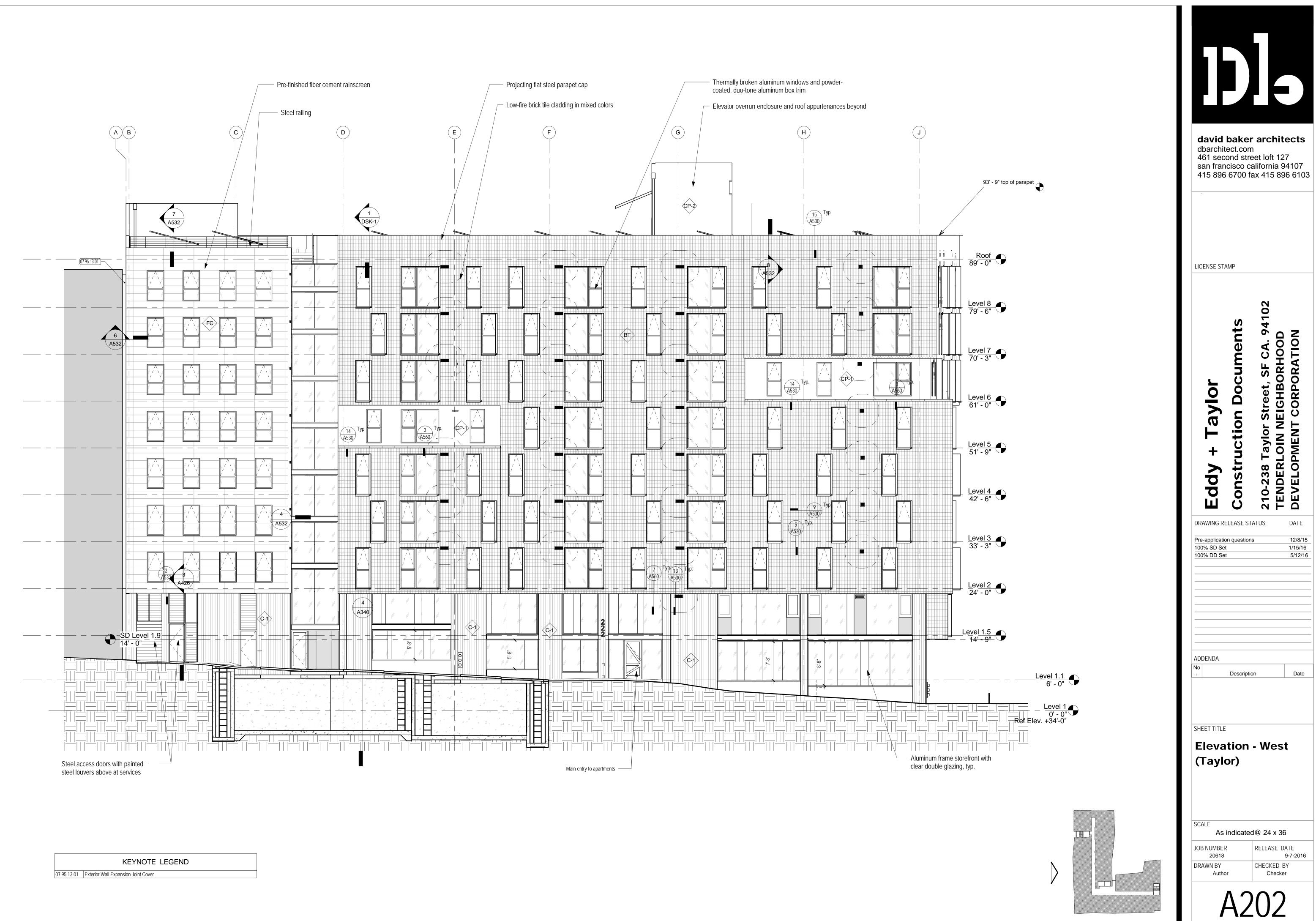


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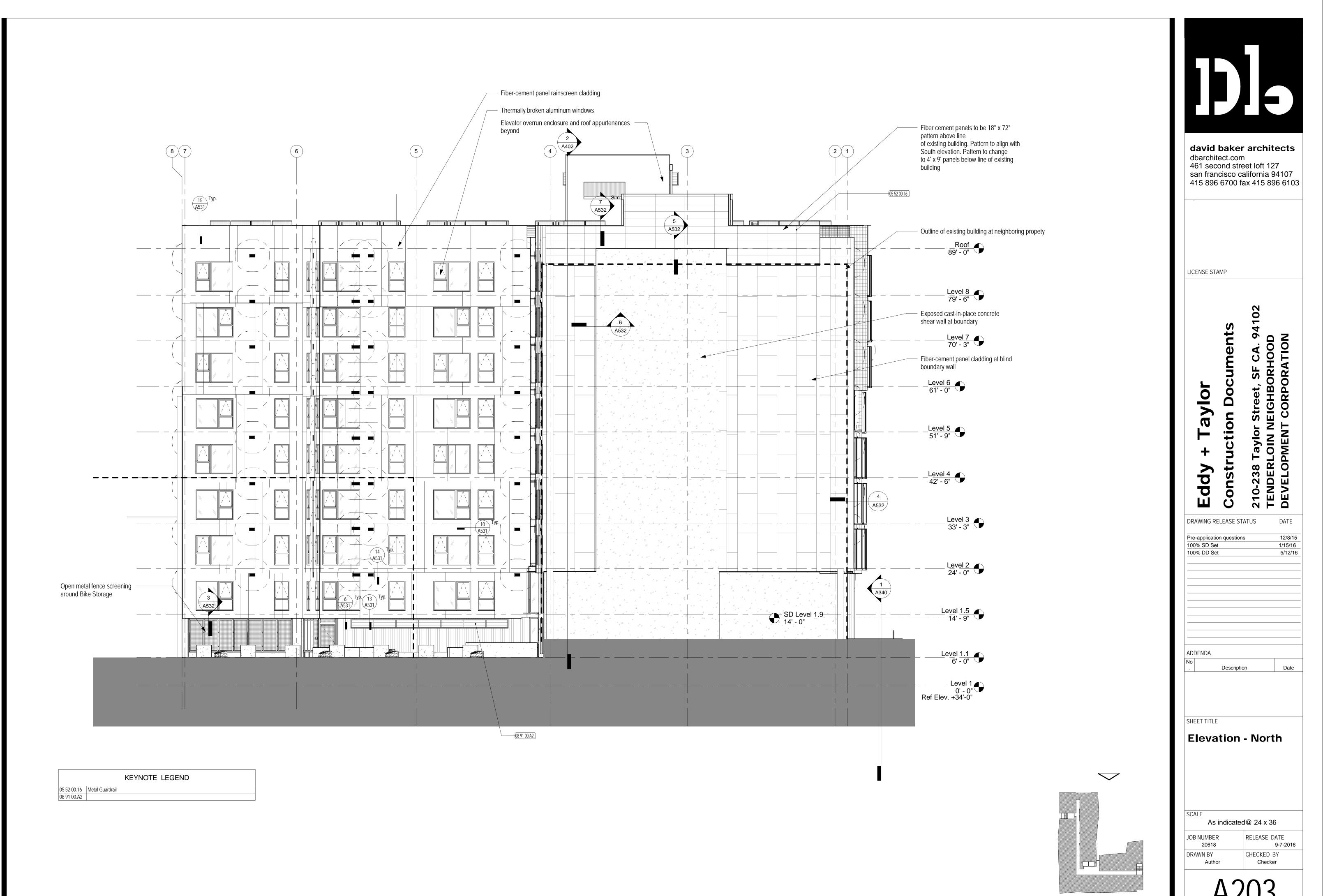








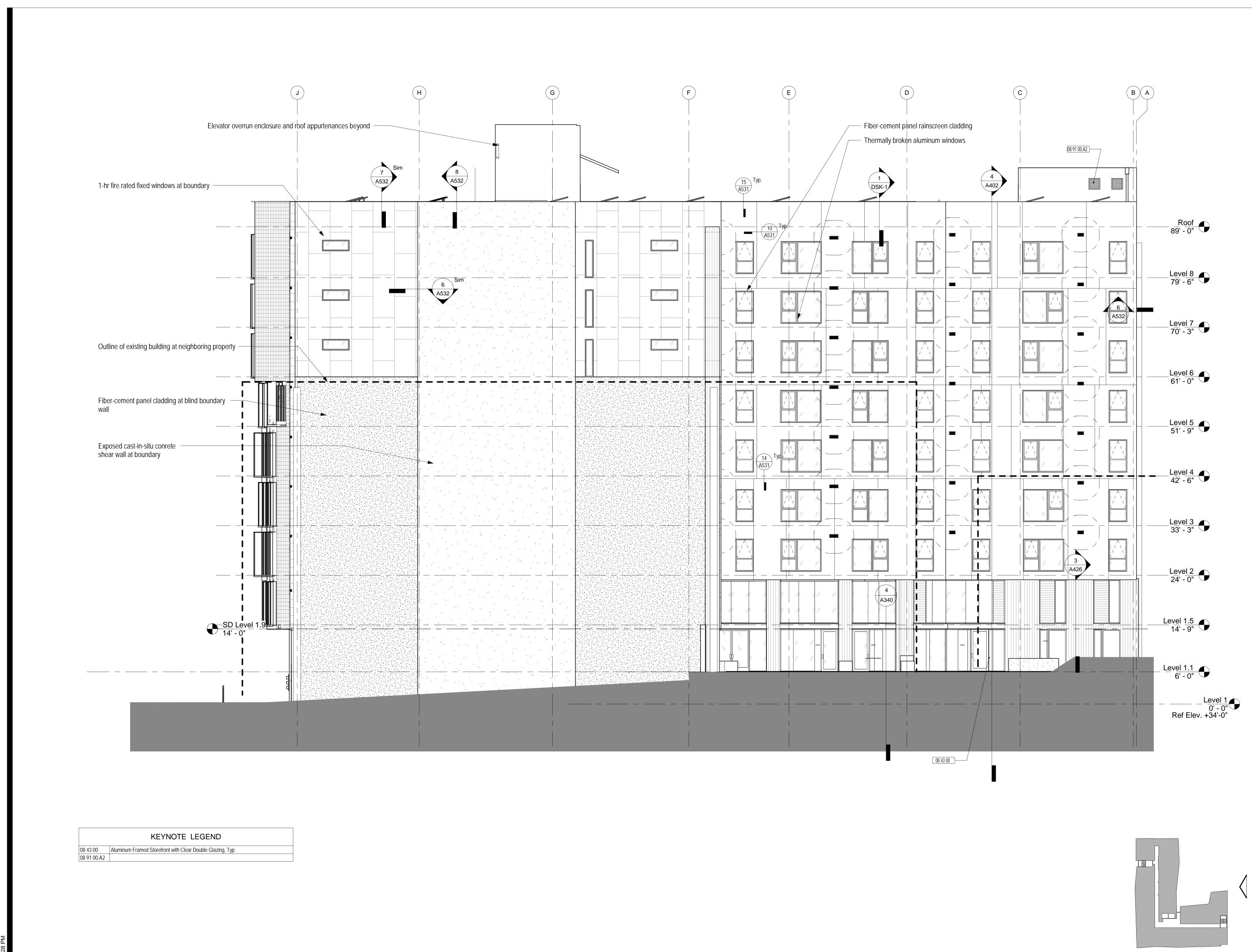
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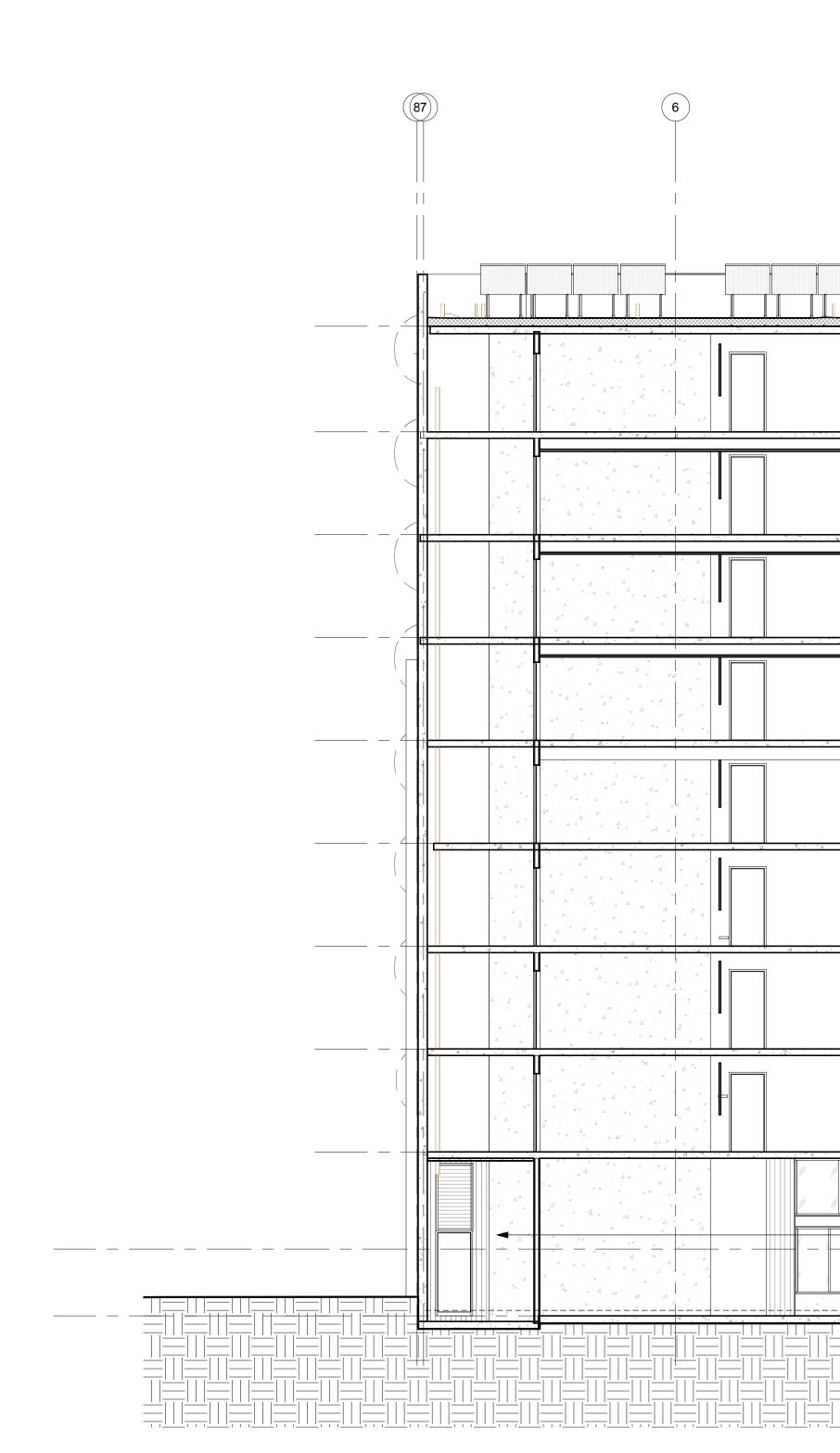
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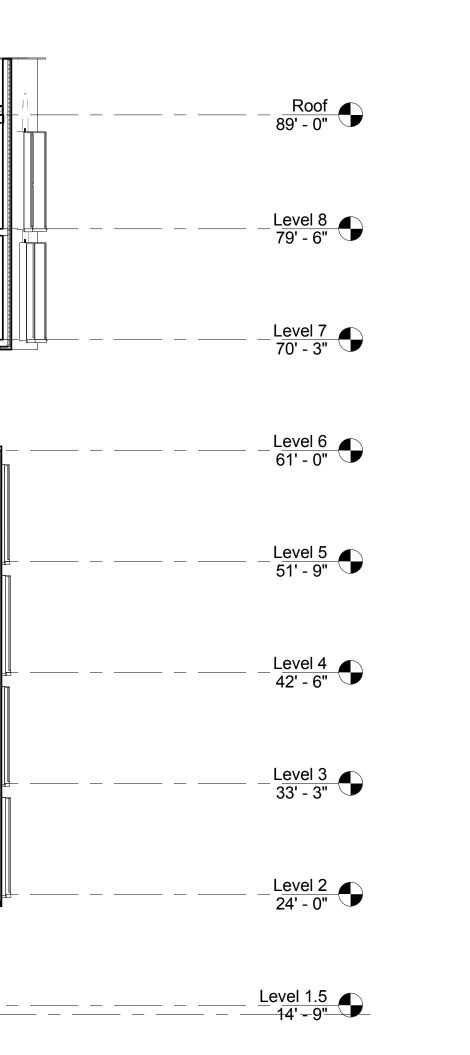
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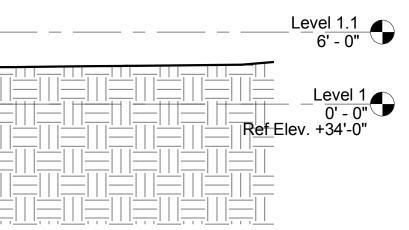
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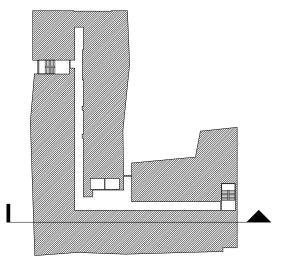


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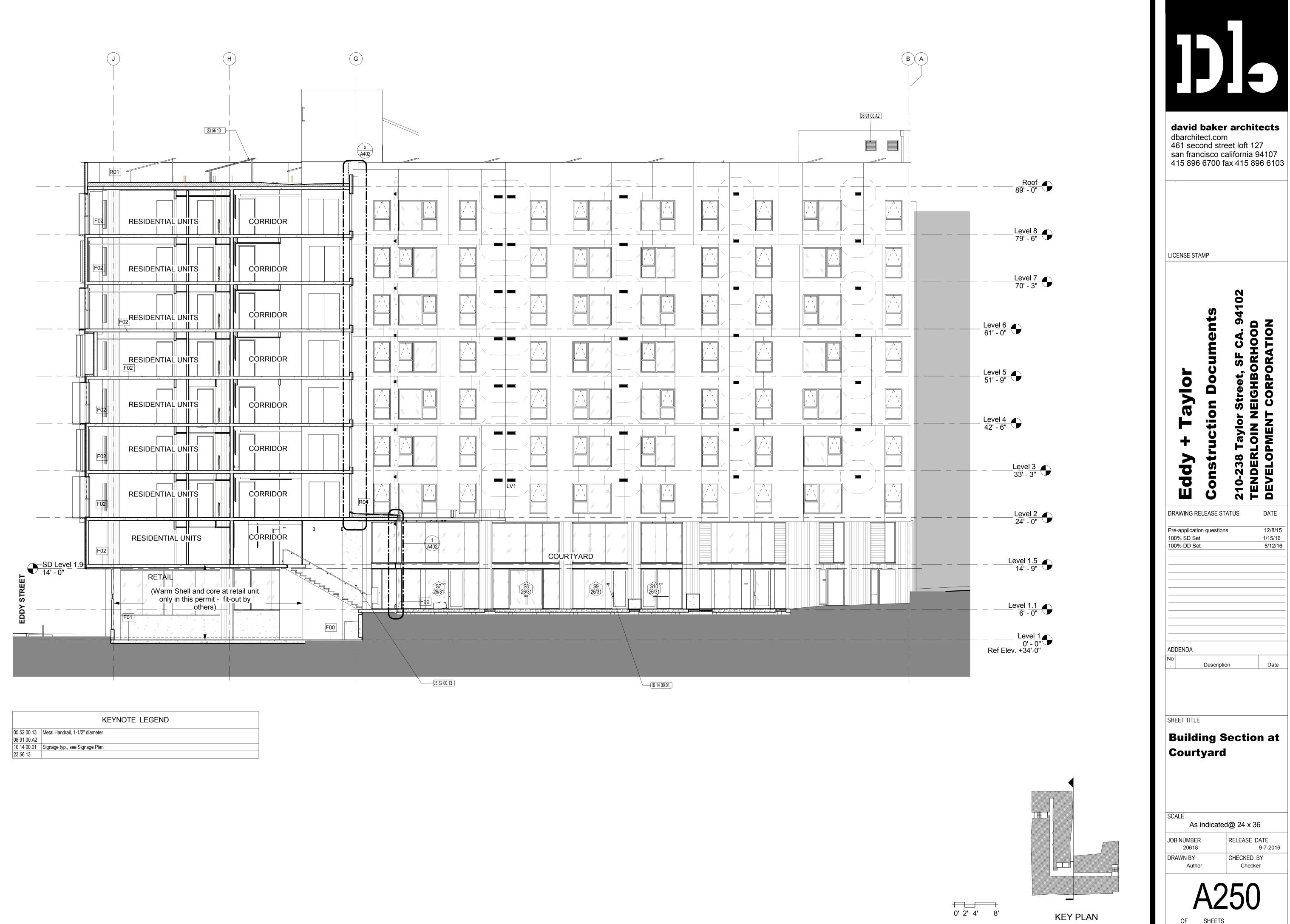
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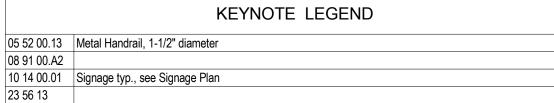


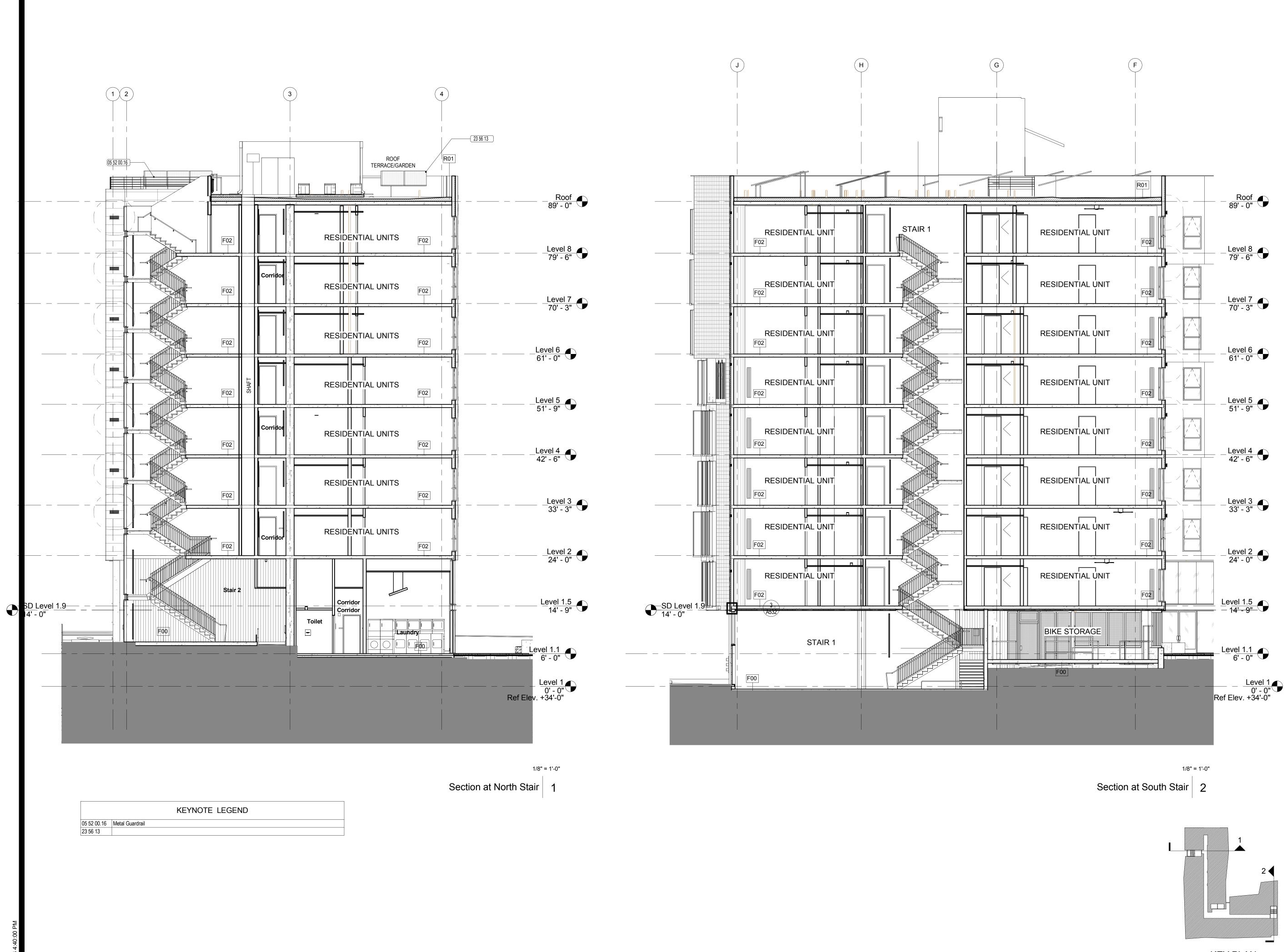




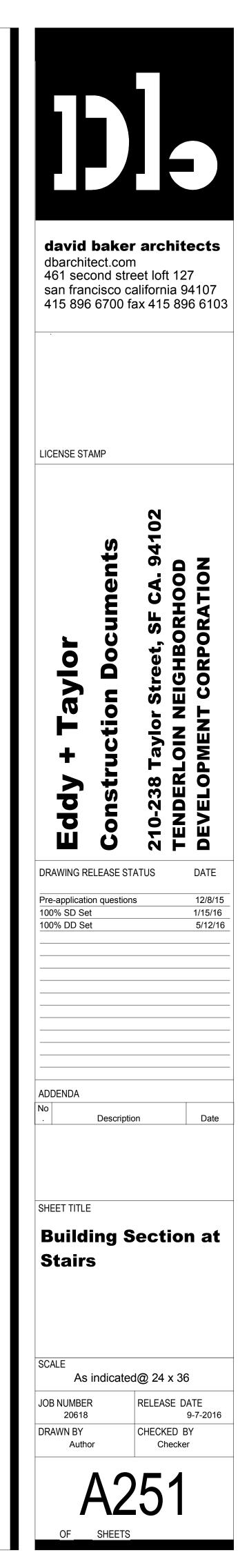
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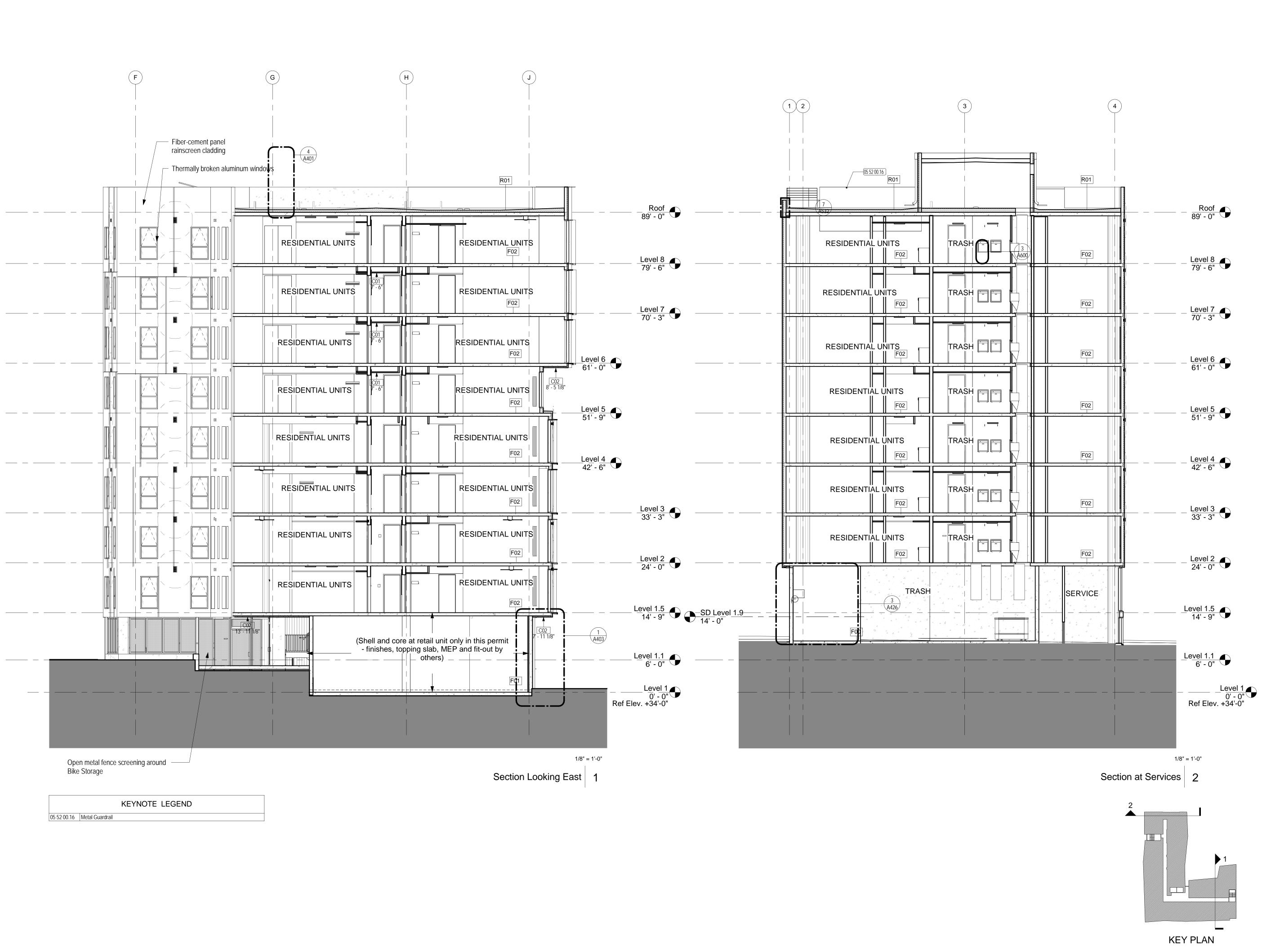






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