

File No. 120413

Committee Item No. 3

Board Item No. 7

### COMMITTEE/BOARD OF SUPERVISORS

#### AGENDA PACKET CONTENTS LIST

Committee: Land Use and Economic Development Date May 7, 2012

Board of Supervisors Meeting

Date May 15, 2012

#### Cmte Board

- |                                     |                                     |  |
|-------------------------------------|-------------------------------------|--|
| <input type="checkbox"/>            | <input type="checkbox"/>            | Motion                                       |
| <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | Resolution                                   |
| <input type="checkbox"/>            | <input type="checkbox"/>            | Ordinance                                    |
| <input type="checkbox"/>            | <input type="checkbox"/>            | Legislative Digest                           |
| <input type="checkbox"/>            | <input type="checkbox"/>            | Budget and Legislative Analyst Report        |
| <input type="checkbox"/>            | <input type="checkbox"/>            | Legislative Analyst Report                   |
| <input type="checkbox"/>            | <input type="checkbox"/>            | Youth Commission Report                      |
| <input type="checkbox"/>            | <input type="checkbox"/>            | Introduction Form (for hearings)             |
| <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | Department/Agency Cover Letter and/or Report |
| <input type="checkbox"/>            | <input type="checkbox"/>            | MOU  |
| <input type="checkbox"/>            | <input type="checkbox"/>            | Grant Information Form                       |
| <input type="checkbox"/>            | <input type="checkbox"/>            | Grant Budget                                 |
| <input type="checkbox"/>            | <input type="checkbox"/>            | Subcontract Budget                           |
| <input type="checkbox"/>            | <input type="checkbox"/>            | Contract/Agreement                           |
| <input type="checkbox"/>            | <input type="checkbox"/>            | Form 126 – Ethics Commission                 |
| <input type="checkbox"/>            | <input type="checkbox"/>            | Award Letter                                 |
| <input type="checkbox"/>            | <input type="checkbox"/>            | Application                                  |
| <input type="checkbox"/>            | <input type="checkbox"/>            | Public Correspondence                        |

OTHER (Use back side if additional space is needed)

- |                                     |                                     |   |
|-------------------------------------|-------------------------------------|---|
| <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | <u>Agreement Granting Easement</u>                |
| <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | <u>General Plan Referral Letter, dtd 10/11/11</u> |
| <input type="checkbox"/>            | <input type="checkbox"/>            | _____   |
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Completed by: Alisa Miller Date May 4, 2012

Completed by: Alisa Miller Date May 9, 2012

An asterisked item represents the cover sheet to a document that exceeds 25 pages.  
The complete document can be found in the file.

1 [Agreement - Granting Easement - 1 Cashmere Street]

2  
3 **Resolution: 1) approving and authorizing an agreement to grant a nonexclusive**  
4 **perpetual easement in gross over and through the easement area within Assessor's**  
5 **Parcel No. 4720/006, a City parcel located at 1 Cashmere Street, San Francisco,**  
6 **California, for its improvement and maintenance; 2) adopting findings that the**  
7 **conveyance is in conformity with the City's General Plan Referral, as required by**  
8 **Section 4.105 of the Charter and Section 2A.53 of the Administrative Code, and is**  
9 **consistent with the Eight Priority Policies of City Planning Code Section 101.1; 3)**  
10 **adopting that the Department of City Planning determined that the project was**  
11 **evaluated in the Hunters View Redevelopment Project Environmental Impact Report**  
12 **(Case No. 2007.0168E) and certified on June 12, 2008; and 4) authorizing the City's**  
13 **Acting Director of Property to execute documents, make certain modifications, and**  
14 **take certain actions in furtherance of this Resolution.**

15  
16 WHEREAS, The City and County of San Francisco (City) owns certain real property  
17 under the jurisdiction of the Human Services Agency (HSA) located at 1 Cashmere Street,  
18 San Francisco, CA (the "Property"), that is currently leased to the Sojourner Truth School; and

19 WHEREAS, Hunters View Associates, L.P., a California limited partnership (the  
20 "Grantee"), desires to obtain certain easement rights in, over and across the easement area  
21 described in the Agreement Granting Easement on file with the Clerk of the Board of  
22 Supervisors in File No. 120413, which is hereby declared to be a part of this resolution as if  
23 set forth fully herein, for the purpose of constructing and maintaining a concrete pedestrian  
24 walkway, facilities necessary to provide electrical power to the lighting and irrigation controls  
25 located on the Property, and related amenities to be used by the public; and

1           WHEREAS, The Grantee shall be solely responsible for the design, construction,  
2 maintenance, repair and/or replacement of any and all improvements installed, constructed, or  
3 placed on the easement area by Grantee in accordance with the Agreement Granting Easement;  
4 the easement area and all such improvements thereon shall be maintained in good condition  
5 and repair by Grantee, in accordance with applicable laws and ordinances, at the sole expense  
6 of Grantee; and Grantee shall make all reasonable efforts to keep the general area free of litter  
7 and promote the use of the new pedestrian walkway for purposes of peaceable passage through  
8 the easement area; and

9           WHEREAS, The City reserves and retains all rights related to the easement area,  
10 including but not limited to: (i) the right at all times to post and keep posted on the property any  
11 notices permitted or required by law or that City deems proper for its protection;  
12 (ii) the right to use the easement area; (iii) the right to grant future easements and rights of way  
13 over, across, under, along, in and upon the easement area as City shall determine; and (iv) the  
14 right to maintain or install telecommunication facilities or other City facilities or property in, upon,  
15 over, under, across and along the easement area; provided that such use, easements, rights of  
16 way and facilities do not interfere with Grantee's rights, except as otherwise set forth in the  
17 Agreement Granting Easement; and

18           WHEREAS, The Grantee shall be allowed to assign the Agreement Granting Easement  
19 to the HV Community Association, Inc., a California nonprofit mutual benefit corporation, upon  
20 completion of the Hunters View Redevelopment Project and lease of its initial units; and

21           WHEREAS, the Director of the Department of City Planning by letter dated October 11,  
22 2011, a copy of which is on file with the Clerk of the Board of Supervisors in File No. 120413,  
23 and is hereby declared to be a part of this resolution as if set forth fully herein, found that the  
24 conveyance of the necessary property rights for the project is consistent with the City's  
25 General Plan and with the Eight Priority Policies of Planning Code Section 101.1 and that the

1 project was evaluated in the Hunters View Redevelopment Project Environmental Impact  
2 Report (Case No. 2007.0168E, which was certified on June 12, 2008; and

3 WHEREAS, The City's HSA Director and the Acting Director of Property reviewed the  
4 proposed construction of a pedestrian walkway and related amenities within the easement  
5 area of the property at 1 Cashmere Street and have determined that the proposed  
6 improvement work is for the public benefit with no negative impact on the Sojourner Truth  
7 School; now, therefore, be it

8 RESOLVED, That the Board of Supervisors of the City and County of San Francisco  
9 hereby finds that the Agreement Granting Easement is consistent with the General Plan and  
10 with the Eight Priority Policies of City Planning Code Section 101.1 for the same reasons as  
11 set forth in the letter by the Director of Planning dated October 11, 2011, and hereby  
12 incorporates such findings by reference as though fully set forth in this resolution; and, be it

13 FURTHER RESOLVED, That in accordance with the recommendation of the HSA  
14 Director and the Acting Director of Property, the Board of Supervisors hereby approves the  
15 Agreement Granting Easement and the transaction contemplated thereby in substantially the  
16 form of such agreement presented to the Board; and, be it

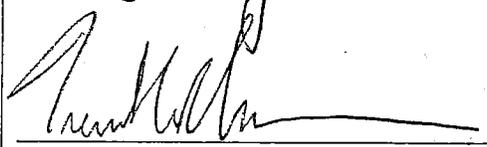
17 FURTHER RESOLVED, that the Board of Supervisors authorizes the Acting Director of  
18 Property to enter into any additions, amendments or other modifications to the Agreement  
19 Granting Easement (including, without limitation, the attached exhibits) that the Acting Director  
20 of Property, together with the City Attorney, determine are in the best interest of the City, do  
21 not decrease the revenues to the City, or do not materially increase the obligations of liabilities  
22 of either the HSA or the City and are advisable to complete the transaction contemplated by  
23 the Agreement Granting Easement and to effectuate the purpose and intent of this resolution,  
24 such determination to be conclusively evidenced by the execution and delivery by the Acting  
25

1 Director of Property of the Agreement Granting Easement and any additions or amendments  
2 thereto; and be it

3           FURTHER RESOLVED, That the Acting Director of Property is hereby authorized and  
4 urged in the name and on behalf of the City to execute the Agreement Granting Easement to  
5 grant easement rights to the Grantee in accordance with the terms and conditions of the  
6 Agreement Granting Easement, and to do any and all steps (including, but not limited to, the  
7 execution and delivery of any and all certificates, agreements, notices, consents, escrow  
8 instructions, closing documents and other instruments or documents) as the Acting Director of  
9 Property deems necessary or appropriate pursuant to the Agreement Granting Easement or  
10 to otherwise effectuate the purpose and intent of this resolution, such determination to be  
11 conclusively evidenced by the execution and delivery by the Acting Director of Property of any  
12 such documents.

13 RECOMMENDED:

14   
15 \_\_\_\_\_  
16 Acting Director of Property

17   
18 \_\_\_\_\_  
19 Director, Human Services Agency



**John Updike**  
**Acting Director of Real Estate**



April 12, 2012

Through Naomi Kelly,  
City Administrator

Honorable Board of Supervisors  
City and County of San Francisco  
City Hall, Room 244  
1 Dr. Carlton B. Goodlett Place  
San Francisco, California 94102

RECEIVED  
BOARD OF SUPERVISORS  
SAN FRANCISCO  
2012 APR 19 PM 4:49  
AK

Re: APN 4720/006 - Agreement Granting Easement ("Agreement")

Dear Board Members:

Enclosed for your consideration is a Resolution authorizing the above-captioned Agreement granting a nonexclusive perpetual easement in gross over and through the easement area within the City-owned parcel located at 1 Cashmere St., San Francisco, CA (the "Property"), under the jurisdiction of the Human Services Agency (HSA).

In addition to the Resolution, enclosed are the:

1. Agreement Granting Easement, and
2. City Planning's letter dated October 11, 2011, stating that the conveyance of the necessary property rights for the project is consistent with the City's General Plan and with the Eight Priority Policies of Planning Code Section 101.1 and that the project was evaluated in the Hunters View Redevelopment Project Environmental Impact Report (Case No. 2007.0168E), which was certified on June 12, 2008.

The proposed grantee, Hunters View Associates, L.P., a California limited partnership (the "Grantee") desires to obtain certain easement rights in, over and across the easement area described in the Agreement for the purpose of constructing and maintaining a concrete pedestrian walkway, facilities necessary to provide electrical power to the lighting and irrigation controls located on the Property, and related amenities to be used by the public.

The Grantee shall be solely responsible for the design, construction, maintenance, repair and/or replacement of any and all improvements constructed on the easement area by Grantee in accordance with the Agreement. At Grantee's sole expense, the easement area and all such improvements shall be maintained in good condition and repair by Grantee, in accordance with applicable laws and ordinances,

and Grantee shall make all reasonable efforts to keep the general area free of litter and promote the use of the new pedestrian walkway for purposes of peaceable passage through the easement area.

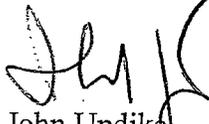
The City reserves and retains all rights related to the easement area, including but not limited to: (i) the right at all times to post and keep posted on the property any notices permitted or required by law or that City deems proper for its protection; (ii) the right to use the easement area; (iii) the right to grant future easements and rights of way over, across, under, along, in and upon the easement area as City shall determine; and (iv) the right to maintain or install telecommunication facilities or other City facilities or property in, upon, over, under, across and along the easement area; provided that such use, easements, rights of way and facilities do not interfere with Grantee's rights, except as otherwise set forth in the Agreement Granting Easement.

Upon completion of the Hunters View Redevelopment Project (see #2 above) and lease of the initial units, the Grantee shall be allowed to assign the Agreement Granting Easement to HV Community Association, Inc., a California nonprofit mutual benefit corporation.

Upon review of the proposed construction of a pedestrian walkway and related amenities within the easement area, the HSA Director and the Acting Director of Property have determined that the proposed improvement work is for the public benefit with no negative impact on the Sojourner Truth School located on the Property.

Should you have any questions or require additional information, please contact Claudine Venegas of my staff at 554-9872 or David Curto with HSA at 557-5581.

Sincerely,



John Updike  
Acting Director of Property

cvh:\1cashmereboscvr\trca41212

Enclosures as stated

cc: David Curto, HSA  
Evan Gross, Deputy City Attorney

**Recording requested by  
and when recorded send to:**

Sanger & Olson  
576 Sacramento Street, 7<sup>th</sup> Floor  
San Francisco, CA 94111-3023

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(Space above this line reserved for Recorder's use only)  
Documentary Transfer Tax \$0

**AGREEMENT GRANTING EASEMENT**

This Agreement Granting Easement (the "Agreement") is executed this \_\_\_\_ day of \_\_\_\_\_, 2012, by and between the City and County of San Francisco, a municipal corporation ("**Grantor**"), and Hunters View Associates, L.P., a California limited partnership ("**Grantee**").

**RECITALS**

- A. Grantor is the owner of certain real property situated in the City and County of San Francisco, California, as more particularly described in Exhibit A attached hereto (the "Property")
- B. Grantee desires to obtain, and Grantor is willing to grant to Grantee, and its successors and assigns, certain easements in, to, over and across the Easement Area (defined below), as more specifically set forth herein, for the purpose of permitting the installation of a pedestrian walkway and related amenities for public use.

**AGREEMENT**

NOW, THEREFORE, in consideration of the covenants and agreements of the parties herein contained, and other valuable consideration, the receipt and sufficiency of which are hereby acknowledged, Grantor and Grantee hereby agree as follows:

1. **Easement**. Grantor hereby quitclaims to Grantee and its agents, employees, representatives, contractors, and invitees (collectively, its "**Agents**"), and Grantee hereby accepts, the following easements (collectively, the "Easements") over and through that portion of the Property depicted in Exhibit B (the "**Easement Area**"):

(a) **Perpetual Easement**. A non-exclusive, perpetual easement in gross over and through the Easement Area for the improvement and maintenance of the Easement Area in accordance with the terms hereof. Grantee shall improve (or cause its Agents to improve) the Easement Area in accordance with the plans approved by the Grantor and attached hereto as Exhibit C (the "Approved Plans"). Grantee's right and obligation to improve the Easement Area shall include the right to remove existing trees, fencing and other improvements currently located on the Easement Area, as well as the right to construct, install, maintain, inspect, reconstruct, remove and use: (i) a concrete walkway to be used by the public for pedestrian traffic only, which walkway shall

include steel handrails, retaining walls, lighting, fencing, landscaping, irrigation, and (ii) all facilities necessary to provide electrical power to the lighting and irrigation controls located on the Easement Area (the "Electrical Facilities"). Grantee must obtain Grantor's prior written consent to any material modification to the Approved Plans.

(b) **Temporary Construction Easement.** A temporary easement over and through the Easement Area as necessary for the purpose of constructing the improvements shown on the Approved Plans, including pedestrian and vehicular ingress and egress for such purposes. This temporary easement shall terminate upon the filing and recordation by Grantee of a notice of completion for the completion of the improvements to the Easement Area contemplated by the Approved Plans.

(c) **Rights Reserved to Grantor; Removal or Relocation of Electrical Facilities.** Notwithstanding anything to the contrary in this Agreement, Grantor reserves and retains all rights relating to the Easement Area, including but not limited to: (i) the right to use the Easement Area; (ii) the right to grant future easements and rights of way over, across, under, along, in and upon the Easement Area as Grantor shall determine; and (iii) the right to maintain or install telecommunication facilities or other Grantor facilities or property in, upon, over, under, across and along the Easement Area; provided that, except with respect to the Electrical Facilities, such use, easements, rights of way and facilities do not interfere with Grantee's rights set forth above. In the event City determines that its use of the Easement Area requires relocation or modification of the Electrical Facilities, Grantee, at Grantee's expense, shall remove (or shall cause its Agents to remove) the Electrical Facilities from the Property within 30 calendar days of receipt of written notice from Grantor to do so or such longer period as approved by Grantor. In such an event, Grantor shall use commercially reasonable efforts to identify a location on the Easement Area or Property where the Grantee may relocate the Electrical Facilities, and if a feasible location can be identified (as determined by Grantor in its reasonable discretion), Grantee shall have the right to relocate (or cause its Agents to relocate) the Electrical Facilities at its sole expense. Grantor shall not be responsible for costs or expenses involved in relocating the Electrical Facilities, in the event the Electrical Facilities may be relocated or for any other cost or inconvenience to Grantee or its Agents. If applicable, Grantee shall perform the relocation work in a manner and at times reasonably satisfactory to Grantor. If Grantee fails to perform such work, Grantor may terminate this Agreement.

2. **As-Is Acceptance/No Representations.** Grantee acknowledges and agrees that neither Grantor nor any of its agents have made, and Grantor hereby disclaims, any representations or warranties, express or implied, concerning the Easement Area. Grantor shall have no responsibility or liability of any kind with respect to Grantee's use of the Easement Area. Grantee accepts use of the Easement Area in its "AS IS, WITH ALL FAULTS" condition, without representation or warranty of any kind, and subject to all applicable laws governing the use, occupancy, management, operation and possession of the Easement Area. Without limiting the foregoing, this Agreement is made subject to any and all covenants, conditions, restrictions, easements and other title matters affecting the Property, or any portion thereof, whether or not of record. Grantor shall have no obligation to maintain the Easement Area or any portion thereof. Grantee shall bear all costs or expenses of any kind or nature in connection with its use of the Easement Area.

3. **Maintenance and Repair; Liens.** Grantee shall be solely responsible for the design, construction, maintenance, repair and/or replacement of any and all improvements installed, constructed, or placed on the Easement Area by Grantee in accordance with this Agreement. The Easement Area and all such improvements thereon shall be maintained in good condition and repair by Grantee, in accordance with applicable laws and ordinances, at the sole expense of Grantee. Grantee shall also make reasonable efforts to keep the general area free of litter and from public use, and promote the use of the new pedestrian walkway for purposes of peaceable passage through the Easement Area. If any portion of the Easement Area or any facilities thereon is damaged by Grantee, Grantee shall immediately, at its sole cost, repair (or cause its Agents to repair) any and all such damage. Grantee shall keep the Easement Area free from any liens arising out of any work performed, material furnished or obligations incurred by or on behalf of Grantee. In the event Grantee does not, within five (5) days following the imposition of any such lien, cause the lien to be released of record by payment or posting of a proper bond, Grantor shall have in addition to all other remedies provided herein and by law or equity the right, but not the obligation, to cause the same to be released by such means as it shall deem proper, including, but not limited to, payment of the claim giving rise to such lien. All such sums paid by Grantor and all expenses it incurs in connection therewith (including, without limitation, reasonable attorneys' fees) shall be payable to Grantor by Grantee upon demand. Grantor shall have the right at all times to post and keep posted on the Property any notices permitted or required by law or that Grantor deems proper for its protection.

4. **Hazardous Material.** Grantee shall not cause, nor shall Grantee allow any of its agents or invitees to cause, any hazardous material to be brought upon, kept, used, stored, generated or disposed of in, on or about the Easement Area or the Property. Grantee shall immediately notify Grantor when Grantee learns of, or has reason to believe that, a release of hazardous material has occurred in, on or about the Easement Area or the Property. In the event that Grantee or its agents or invitees cause a release of hazardous material, Grantee shall, without cost to Grantor and in accordance with all laws and regulations, return the property to the condition immediately prior to the release.

5. **Termination.** The Easements shall terminate, at Grantor's option, in the event that Grantee fails to comply with any of the terms or conditions of this Agreement and fails to cure such non-compliance within thirty (30) days after notice by Grantor, or in the event that Grantor determines such noncompliance cannot be cured within said thirty (30) day period, then in such additional period that is reasonably necessary to effectuate a cure provided that Grantee commences the cure within said thirty (30) period and diligently pursues same to completion. Additionally, Grantor may immediately terminate the Easements by notice to Grantee upon Grantee's discontinuance of the use or abandonment of the Easement Area for fifteen (15) consecutive days. Upon any such termination, Grantee shall execute and deliver to Grantor a recordable quitclaim deed with respect to the Easement Area, effective as of the termination.

6. **Insurance.** Grantee shall procure and keep, or cause its contractors accessing the Easement Area (each, an "Accessing Party") to procure and keep, in effect at all times during the term of this Agreement insurance coverage meeting the requirements of Exhibit D, attached hereto, and shall provide evidence of such compliance that is reasonably satisfactory to Grantor prior to allowing any

Accessing Party to access the Easement Area. Grantee's compliance with the provisions of this Section shall in no way relieve or decrease Grantee's indemnification obligations under this Agreement or any of Grantee's other obligations hereunder.

7. **Compliance with Laws.** Grantee shall, at its expense, comply with all laws, regulations, ordinances and orders of any governmental or other regulatory entity and all covenants, restrictions and provisions of record, whether presently in effect or subsequently adopted and whether or not in the contemplation of the parties, in its use of the Easement Area.

8. **Indemnity.** Grantee shall indemnify, defend, reimburse and hold harmless Grantor, its officers, agents, employees and contractors, and each of them, from and against any and all demands, claims, legal or administrative proceedings, losses, costs, penalties, fines, liens, judgments, damages and liabilities of any kind arising out of or relating to Grantee's or its agents or employees use of the Easement Area, excluding any claims to the extent they result from the intentional acts or negligence of Grantor, its officers, agents, employees and contractors. Grantee acknowledges and agrees that it has an immediate and independent obligation to defend Grantor from any claim that actually or potentially falls within this indemnity provision even if such allegation is or may be groundless, fraudulent or false. The foregoing indemnity shall include, without limitation, reasonable attorneys', experts' and consultants' fees and costs. Grantee's obligations under this Section shall survive the termination of this Agreement.

9. **Taxes.** Grantee recognizes and understands that the Easements may create a possessory interest subject to property taxation and that Grantee may be subject to the payment of property taxes levied on such interest. Grantee further recognizes and understands that any transfer or assignment may constitute a change in ownership for purposes of property taxation and therefore may result in a revaluation of any possessory interest created hereunder. Grantee agrees to pay taxes of any kind, including, but not limited to, possessory interest taxes, that may be lawfully assessed on the interest hereby created and to pay all other taxes, excises, licenses, permit charges and assessments based on Grantee's usage of the Easement Area, all of which shall be paid when the same become due and payable and before delinquency.

10. **Run With the Land.** This Agreement shall run with the land, and all obligations and covenants set forth herein, including but not limited to the releases and indemnities, shall be binding on and inure to the benefit of the heirs, successors, and assigns of the parties hereto.

11. **Assignment of Agreement.** Upon completion of the work described in Section 1 above, Grantee shall be permitted to assign this Agreement and all of the rights and obligations hereunder to HV Community Association, Inc., a California nonprofit mutual benefit corporation.

11. **General Provisions.** (a) This Agreement may be amended or modified only by a writing signed by both parties. (b) No waiver by any party of any of the provisions of this Agreement shall be effective unless in writing and signed by an officer or other authorized representative, and only to the extent expressly provided in such written waiver. (c) This instrument contains the entire agreement between the parties with respect to the matters contained herein and all prior negotiations, discussions, understandings and agreements are merged herein. (d) This Agreement may be executed in any number of counterparts, all of which will constitute but one agreement. (e)

This Agreement shall be governed by California law and San Francisco's Charter. (f) If either party commences an action against the other or a dispute arises under this Agreement, the prevailing party shall be entitled to recover from the other reasonable attorneys' fees and costs. For purposes hereof, reasonable attorneys' fees shall be based on the fees regularly charged by private attorneys in San Francisco with comparable experience, notwithstanding Grantor or Grantee's use of its own attorneys. (g) This Easement does not create a partnership or joint venture between Grantor and Grantee as to any activity conducted by Grantee on, in or relating to the Easement Area. (h) Grantor's obligations hereunder are contingent upon approval of this instrument by San Francisco's HSA Commission, Board of Supervisors and Mayor, each in their respective sole discretion, and this Agreement shall be null and void if any such approval is not obtained.

IN WITNESS WHEREOF, the parties have executed this Agreement as of the date first set forth above.

**GRANTOR:**

CITY AND COUNTY OF SAN FRANCISCO,  
a municipal corporation, acting by and  
through the Department of Real Estate

By: \_\_\_\_\_  
John Updike, Acting Director

**GRANTEE:**

Hunters View Associates, L.P.,  
a California limited partnership

By: John A. Shea  
Its: Managing General Partner

**DESCRIPTION APPROVED/CHECKED:**

\_\_\_\_\_  
San Francisco Engineer

**APPROVED AS TO FORM:**

DENNIS J. HERRERA, City Attorney

By: \_\_\_\_\_

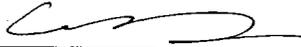
  
Deputy City Attorney

EXHIBIT "A"

LEGAL DESCRIPTION

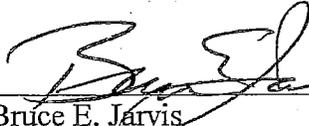
Lying within the City of San Francisco, County of San Francisco, State of California, and being a portion of Lot 6 of Block 4720 as shown on that map of The New Hunters Point Community Unit 1 recorded in Book 1 of Parcel Maps, Pages 32-42, Official Records of the City and County of San Francisco and being more particularly described as follows:

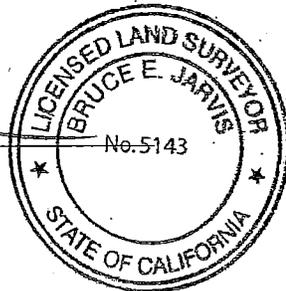
Commencing at the most northerly corner of Lot 5 of said map of The New Hunters Point Community Unit 1, said point being distant South 2°20'29" East, 409.29 feet from a found City of San Francisco centerline well monument marking the southerly terminus of a course shown as North 23°45'35" East, 120.917 feet along the centerline of Keith Street, as shown on that map of The New Hunters Point Community Unit 1, recorded in Book W of Parcel Maps, at Pages 36-39, Official Records of the City and County of San Francisco; thence along the northerly line of Lot 5, South 54°28'21" East, 24.57 feet to the Point of Beginning, said point being the most northerly corner of Lot 6; thence along the northerly line of Lot 6, South 54°28'21" East, 8.43 feet; thence leaving said northerly line South 35°31'39" West, 29.01 feet; thence South 48°43'55" West, 53.99 feet; thence South 31°59'41" East, 2.12 feet; thence South 58°00'19" West, 13.00 feet to the Right of Way line of Cashmere Street, as shown on said Map Book 1, thence along the Right of Way of Cashmere Street, on a non-tangent curve, concave to the southwest, from which a radial line bears South 58°19'55" West, having a radius of 40.00 feet, a central angle of 6°49'21", a length of 4.76 feet to the most northwesterly corner of said Lot 6; thence leaving said Right of Way, North 42°18'26" East, 93.52 feet along the northwesterly line of Lot 6 to the Point of Beginning.

Containing 837 sq. ft.±

See Exhibit 'B' for graphic depiction.

This description prepared by Carlile • Macy.

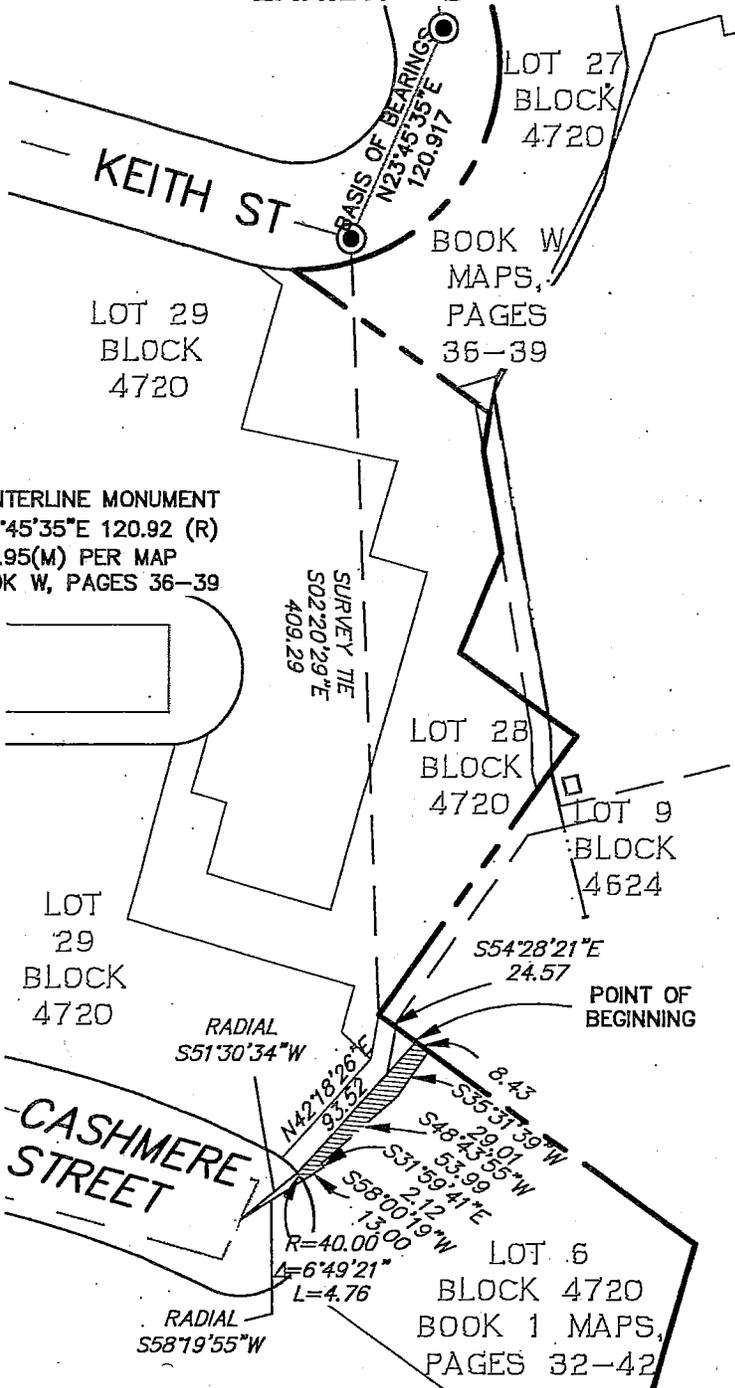
  
Bruce E. Jarvis  
PLS 5143



04/02/2012  
Date

END OF DESCRIPTION

**EXHIBIT "B"**



**LEGEND**

● FND CITY OF SF CENTERLINE MONUMENT  
 BASIS OF BEARINGS: N23°45'35"E 120.92 (R)  
 120.95(M) PER MAP  
 BOOK W, PAGES 36-39

THIS EXHIBIT IS FOR GRAPHIC PURPOSES ONLY, ANY ERRORS OR OMISSIONS SHALL NOT AFFECT THE DEED DESCRIPTION

S26. T2S. R5W M.D.M.

AUTHORITY: SUBDIVISION

OWNER AND MAILING ADDRESS	PROPERTY AREAS	CITY OF SAN FRANCISCO	
EQUAL OPPORTUNITY COUNCIL SOJOURNER TRUTH CHILDCARE 25 VAN NESS AVENUE SAN FRANCISCO CA 94102	AREA <u>851 Sq. Ft.</u>	ACCESS EASEMENT E.O.C. SOJOURNER TRUTH-TO HUNTERS VIEW COMMUNITY ASSOCIATION	
A.P. No. <u>4720-006</u>	CITY ACQUISITION DEED	Scale: 1"=100'	Date: 11-12-10
O.R. No. _____ O.R. No. _____	O.R. _____	DWN. PCR CHK. BEJ	APPROVED _____ FILE NO. _____ R-

[AutoCAD file name] [Access: ACCESS\_LOTS.dwg] [Plot: 07030-BNDY; 07030-PH1-HC]

-----

Parcel name: ESMT-ACCESSLOT6

North: 6371.26 East : 8518.12   
Line Course: S 54-28-21 E Length: 8.43   
North: 6366.36 East : 8524.98   
Line Course: S 35-31-39 W Length: 29.01   
North: 6342.75 East : 8508.12   
Line Course: S 48-43-55 W Length: 53.99   
North: 6307.14 East : 8467.54   
Line Course: S 31-59-41 E Length: 2.12   
North: 6305.34 East : 8468.66   
Line Course: S 58-00-19 W Length: 13.00   
North: 6298.45 East : 8457.64   
Curve Length: 4.76 Radius: 40.00   
Delta: 6-49-21 Tangent: 2.38   
Chord: 4.76 Course: N 35-04-46 W  
Course In: S 58-19-55 W Course Out: N 51-30-34 E  
RP North: 6277.46 East : 8423.59   
End North: 6302.35 East : 8454.90   
Line Course: N 42-32-00 E Length: 93.52   
North: 6371.26 East : 8518.12

Perimeter: 204.83 Area: 851 sq. ft. 0.02 acres

Mapcheck Closure - (Uses listed courses, radii, and deltas)  
Error Closure: 0.01 Course: N 55-40-51 E  
Error North: 0.004 East : 0.006   
Precision 1: 20,483.00

**EXHIBIT C**  
**Approved Plans**



PROJECT TITLE  
 HUNTERS VIEW, PHASE 1A  
 San Francisco, California  
 location

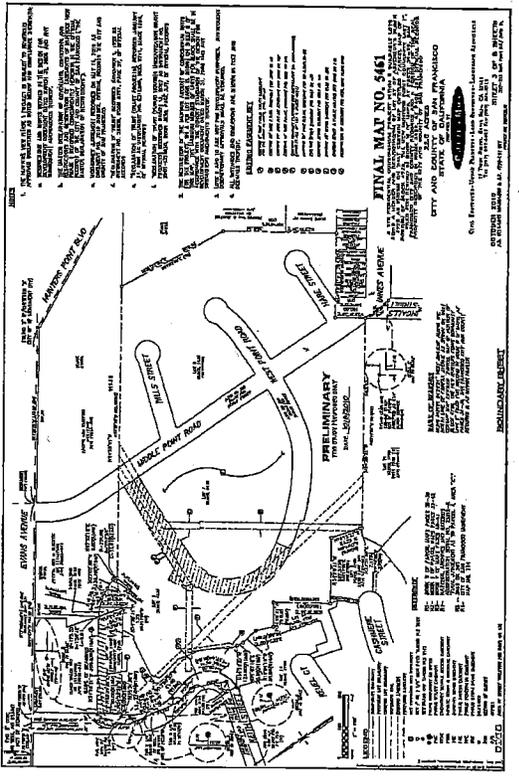
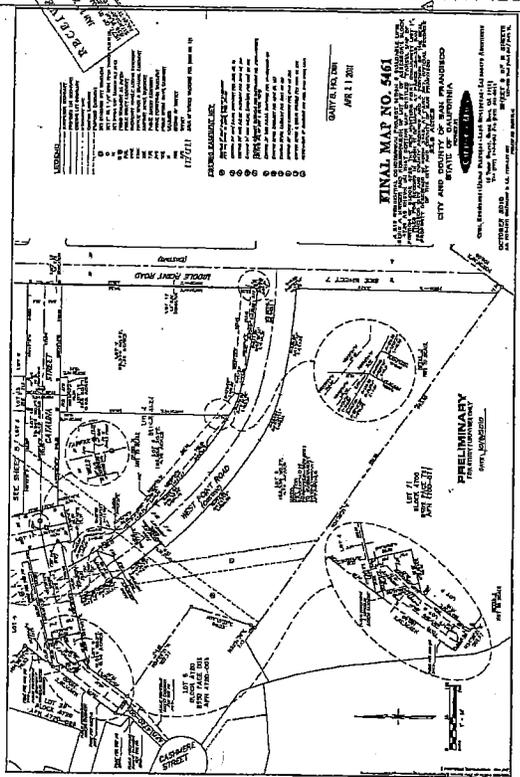
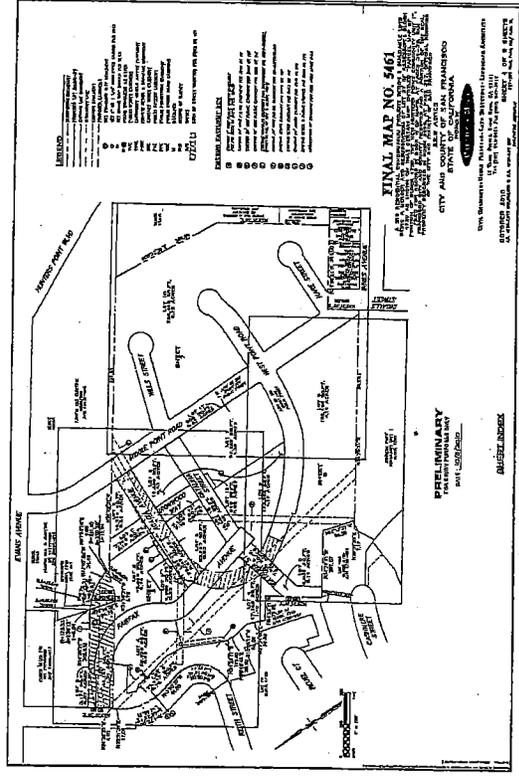
CASHMERE  
 PEDESTRIAN  
 CONNECTION

GLS  
 Geotechnical Engineering & Surveying  
 1000 Market Street, Suite 1000  
 San Francisco, CA 94102  
 Phone: (415) 774-1100  
 Fax: (415) 774-1101  
 Website: www.gls-engineers.com



DATE	NO. OF SHEETS	TOTAL SHEETS
APR 11 2011	1	1
NO. OF SHEETS	NO. OF SHEETS	NO. OF SHEETS
1	1	1
NO. OF SHEETS	NO. OF SHEETS	NO. OF SHEETS
1	1	1

FINAL MAPS  
 FOR RECORDS  
 Drawn By: LJ  
 Checked By: LJ  
 Scale: AS SHOWN  
 Date: APR 11 2011







PROJECT TITLE  
 HUNTERS VIEW, PHASE 1A  
 San Francisco, California  
 location

CASHMERE  
 PEDESTRIAN  
 CONNECTION

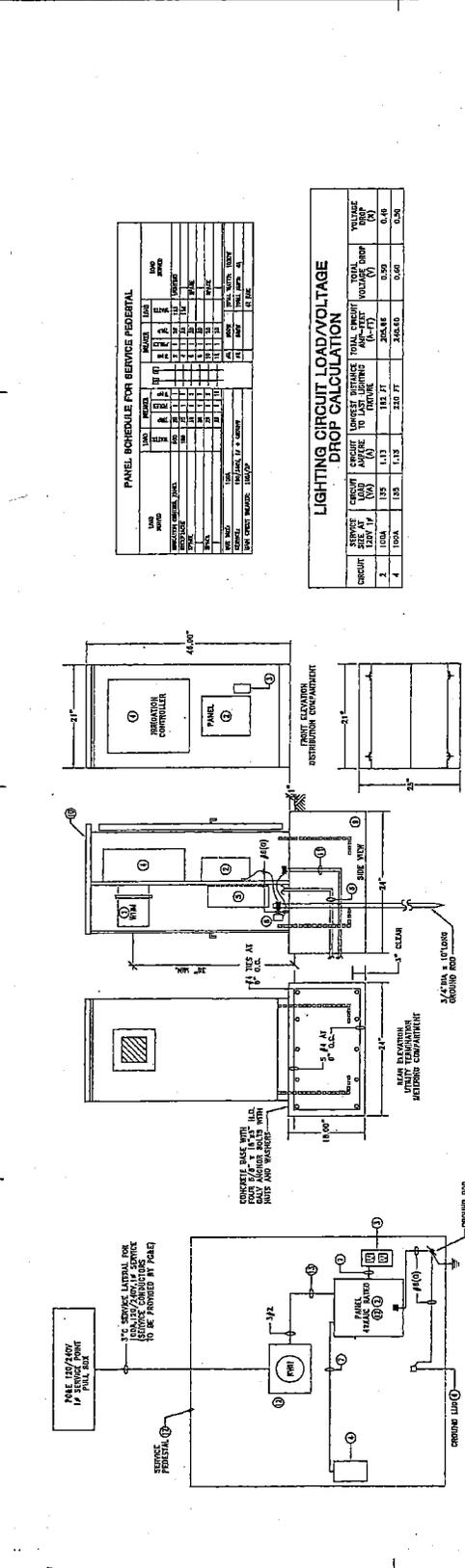
58 West Point Road  
 14 Cashmere Court  
 Astoria, OR 97103

ARCHITECT



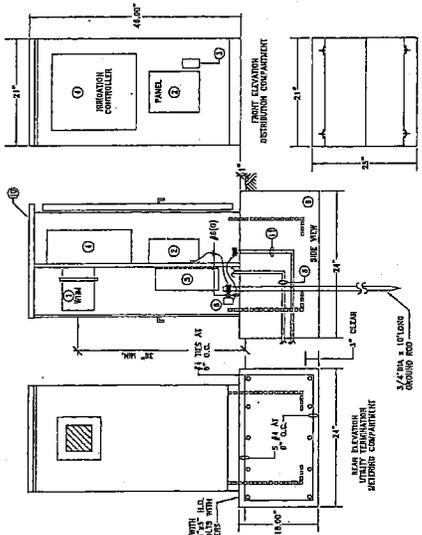
DATE	DESCRIPTION

DETAIL # SCHEDULES  
 Drawn By: PWH-1/AM  
 Checked By: EW  
 Date: 10/16/10  
 Sheet: E-2



SINGLE LINE DIAGRAM FOR SERVICE PEDESTAL  
 NOT TO SCALE

- SERVICE PEDESTAL DETAIL NOTES:**
- 120/240V, 1% SW, 0, 100A RATED AIRCIRCUIT BREAKER ELECTRICAL METER SOCKET WITH TERMINATION LOGS TO COMPLY WITH PANEL REQUIREMENTS.
  - ALL PANELS SHALL HAVE "CASHMERE PEDESTRIAN CONNECTION" MARKED ON THE FRONT PANEL AND BE CORRECTLY IDENTIFIED WITH THE SERVICE PEDESTAL CONNECTIONS.
  - 120V, 20A, 50% DUTY RATED CIRCUIT BREAKER TO PROVIDE AND PROVIDED BY SERVICE CONTRACTOR.
  - GROUNDING CONDUCTOR SHALL TO BE PROVIDED BY CONTRACTOR, LOCAL AND LOCAL REQUIREMENTS.
  - CONCRETE FOUNDATION SHALL BE PROVIDED BY CONTRACTOR, PROVIDE AT LEAST THREE GROUNDING CONDUCTORS TO GROUND PEDESTAL.
  - 240V AND 120V (0.25, 20A, 150% DUTY).
  - CONCRETE FOUNDATION SHALL BE PROVIDED BY CONTRACTOR, PROVIDE AT LEAST THREE GROUNDING CONDUCTORS TO GROUND PEDESTAL.
  - 120V/240V SERVICE PEDESTAL SHALL BE PROVIDED BY CONTRACTOR, PROVIDE AT LEAST THREE GROUNDING CONDUCTORS TO GROUND PEDESTAL.
  - CONCRETE FOUNDATION SHALL BE PROVIDED BY CONTRACTOR, PROVIDE AT LEAST THREE GROUNDING CONDUCTORS TO GROUND PEDESTAL.
  - CONCRETE FOUNDATION SHALL BE PROVIDED BY CONTRACTOR, PROVIDE AT LEAST THREE GROUNDING CONDUCTORS TO GROUND PEDESTAL.
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  - CONCRETE FOUNDATION SHALL BE PROVIDED BY CONTRACTOR, PROVIDE AT LEAST THREE GROUNDING CONDUCTORS TO GROUND PEDESTAL.
  - CONCRETE FOUNDATION SHALL BE PROVIDED BY CONTRACTOR, PROVIDE AT LEAST THREE GROUNDING CONDUCTORS TO GROUND PEDESTAL.



ELECTRICAL SERVICE PEDESTAL ELEVATION DETAIL  
 NOT TO SCALE

- CABINET FABRICATION:**
- MAXIMUM EXTERNAL DIMENSIONS: 11" WIDE x 18" HIGH x 20" DEEP MINIMUM OPENING TO CONTROL SECTION 20" WIDE x 18" HIGH.
  - CONCRETE SHALL BE FURNISHED FROM 12" BARS NOT SPACED MORE THAN 18" ON CENTER.
  - INTERNAL PARTS SHALL BE FABRICATED FROM 1/4" GAUGE GALVANNEED STEEL. PROVIDE ALL STRUCTURAL SUPPORTS FOR THE CHECK AND INJECTION CONTROLLER TO OPERATE PROPERLY.
  - CONCRETE SHALL BE ALL WEIGHT CONCRETE WITH MINIMUM STRENGTH SPECIFICALLY DESIGNED FOR THE MATERIAL USED.
  - ALL FASTENERS, LATHING, AND REINFORCEMENT SHALL BE OF STEEL. ALL PARTS SHALL BE CONTINUOUS THROUGHOUT THE ENTIRE THICKNESS OF THE CONCRETE.
  - CONCRETE SHALL BE 4" THICK WITH 1/2" BARS.
  - CONCRETE SHALL HAVE 100% AIR ENTRAINMENT.
  - CONCRETE SHALL BE 4" THICK WITH 1/2" BARS.
  - CONCRETE SHALL HAVE 100% AIR ENTRAINMENT.
  - CONCRETE SHALL BE 4" THICK WITH 1/2" BARS.
  - CONCRETE SHALL HAVE 100% AIR ENTRAINMENT.
  - CONCRETE SHALL BE 4" THICK WITH 1/2" BARS.
  - CONCRETE SHALL HAVE 100% AIR ENTRAINMENT.
  - CONCRETE SHALL BE 4" THICK WITH 1/2" BARS.
  - CONCRETE SHALL HAVE 100% AIR ENTRAINMENT.

PANEL SCHEDULE FOR SERVICE PEDESTAL

NO.	DESCRIPTION	AMPS	VOLTS	PHASE	TYPE	TERMINALS	REMARKS
1	120/240V SPLIT PHASE SERVICE	100	240	3	1	4	
2	120V 20A 50% DUTY CIRCUIT BREAKER	20	120	1	1	1	
3	440V/220V TRANSFORMER	440	220	1	1	1	
4	1/2 HP MOTOR	15	240	3	1	1	

LIGHTING CIRCUIT LOAD/VOLTAGE DROP CALCULATION

CIRCUIT	CIRCUIT LENGTH (FT)	CIRCUIT AMPERE (A)	VOLTS PER FOOT (V/FT)	TOTAL VOLTAGE DROP (V)	VOLTAGE DROP (%)
1	100	1.5	0.01	1.5	0.5
2	200	1.5	0.01	3.0	1.0
3	200	1.5	0.01	3.0	1.0
4	200	1.5	0.01	3.0	1.0
TOTAL	700	4.5	0.01	10.5	3.5

RECEIVED  
 JUN 11 2010  
 ELECTRICAL ENGINEERING

APPROVED  
 JUN 11 2010  
 [Signature]

APPROVED  
 JUN 17 2010  
 [Signature]

PROJECT TITLE  
 HUNTERS VIEW, PHASE 1A  
 San Francisco, California  
 location

CASHMERE  
 PEDESTRIAN  
 CONNECTION



State and Signature  
 TITLE 24 - LIGHTING  
 Checked By: PMA-TEAM  
 Checked By: NANCY  
 DATE

E-3

**CERTIFICATE OF COMPLIANCE**  
 PROJECT: HUNTERS VIEW, PHASE 1A  
 DATE: 12-21-19

1. GENERAL NOTES: See Section 05 00 00, Division 5, for all applicable specifications and details. See also the project manual for all applicable specifications and details.

2. MATERIALS: All materials shall be of the highest quality and shall conform to the specifications and details shown on the drawings.

3. INSTALLATION: All work shall be installed in accordance with the specifications and details shown on the drawings.

4. TESTING: All work shall be tested in accordance with the specifications and details shown on the drawings.

5. MAINTENANCE: All work shall be maintained in accordance with the specifications and details shown on the drawings.

6. WARRANTY: All work shall be warranted in accordance with the specifications and details shown on the drawings.

7. SIGNATURE: [Signature]

**CERTIFICATE OF COMPLIANCE**  
 PROJECT: HUNTERS VIEW, PHASE 1A  
 DATE: 12-21-19

1. GENERAL NOTES: See Section 05 00 00, Division 5, for all applicable specifications and details. See also the project manual for all applicable specifications and details.

2. MATERIALS: All materials shall be of the highest quality and shall conform to the specifications and details shown on the drawings.

3. INSTALLATION: All work shall be installed in accordance with the specifications and details shown on the drawings.

4. TESTING: All work shall be tested in accordance with the specifications and details shown on the drawings.

5. MAINTENANCE: All work shall be maintained in accordance with the specifications and details shown on the drawings.

6. WARRANTY: All work shall be warranted in accordance with the specifications and details shown on the drawings.

7. SIGNATURE: [Signature]

**CERTIFICATE OF COMPLIANCE**  
 PROJECT: HUNTERS VIEW, PHASE 1A  
 DATE: 12-21-19

1. GENERAL NOTES: See Section 05 00 00, Division 5, for all applicable specifications and details. See also the project manual for all applicable specifications and details.

2. MATERIALS: All materials shall be of the highest quality and shall conform to the specifications and details shown on the drawings.

3. INSTALLATION: All work shall be installed in accordance with the specifications and details shown on the drawings.

4. TESTING: All work shall be tested in accordance with the specifications and details shown on the drawings.

5. MAINTENANCE: All work shall be maintained in accordance with the specifications and details shown on the drawings.

6. WARRANTY: All work shall be warranted in accordance with the specifications and details shown on the drawings.

7. SIGNATURE: [Signature]

**CERTIFICATE OF COMPLIANCE**  
 PROJECT: HUNTERS VIEW, PHASE 1A  
 DATE: 12-21-19

1. GENERAL NOTES: See Section 05 00 00, Division 5, for all applicable specifications and details. See also the project manual for all applicable specifications and details.

2. MATERIALS: All materials shall be of the highest quality and shall conform to the specifications and details shown on the drawings.

3. INSTALLATION: All work shall be installed in accordance with the specifications and details shown on the drawings.

4. TESTING: All work shall be tested in accordance with the specifications and details shown on the drawings.

5. MAINTENANCE: All work shall be maintained in accordance with the specifications and details shown on the drawings.

6. WARRANTY: All work shall be warranted in accordance with the specifications and details shown on the drawings.

7. SIGNATURE: [Signature]

**OUTDOOR LIGHTING WORKSHEET**  
 PROJECT: HUNTERS VIEW, PHASE 1A  
 DATE: 12-21-19

1. GENERAL NOTES: See Section 05 00 00, Division 5, for all applicable specifications and details. See also the project manual for all applicable specifications and details.

2. MATERIALS: All materials shall be of the highest quality and shall conform to the specifications and details shown on the drawings.

3. INSTALLATION: All work shall be installed in accordance with the specifications and details shown on the drawings.

4. TESTING: All work shall be tested in accordance with the specifications and details shown on the drawings.

5. MAINTENANCE: All work shall be maintained in accordance with the specifications and details shown on the drawings.

6. WARRANTY: All work shall be warranted in accordance with the specifications and details shown on the drawings.

7. SIGNATURE: [Signature]



APPROVED  
 DATE: 12/21/19









CASHMERE  
 PEDESTRIAN  
 CONNECTION  
 18 West Portal Road  
 10 Cashmere Court  
 San Francisco, CA 94134  
 Phone: (415) 761-1111



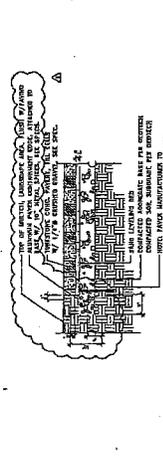
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 CHECKED BY: [Name]  
 APPROVED BY: [Name]



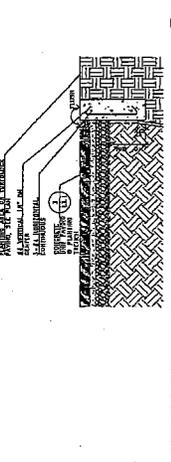
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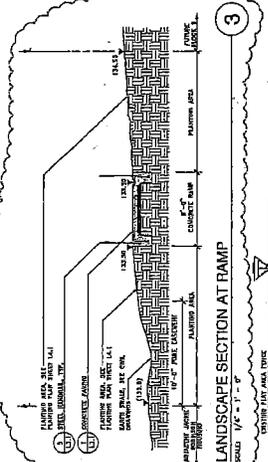
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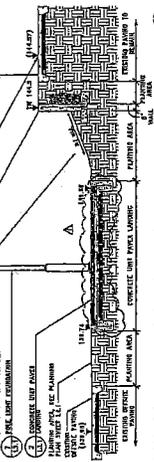
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 TURF BLOCK PAVING  
 SCALE: 1" = 1' - 0"



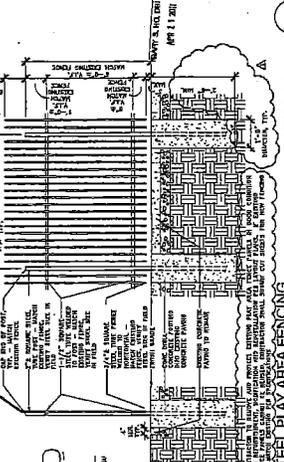
4  
 FLUSH CONCRETE CURB  
 SCALE: 1" = 1' - 0"



3  
 LANDSCAPE SECTION AT RAMP  
 SCALE: 1/2" = 1' - 0"



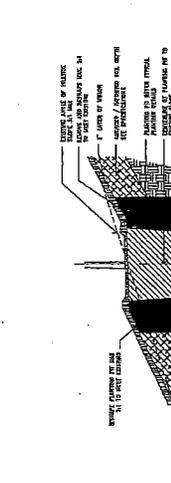
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 LANDSCAPE SECTION AT LANDING  
 SCALE: 1/2" = 1' - 0"



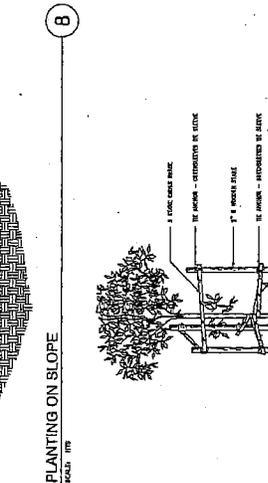
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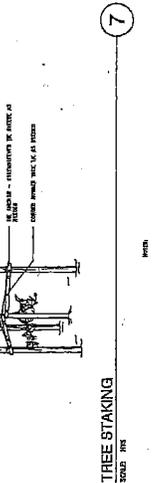
6  
 PLANTING ON SLOPE  
 SCALE: 1/2\"/>



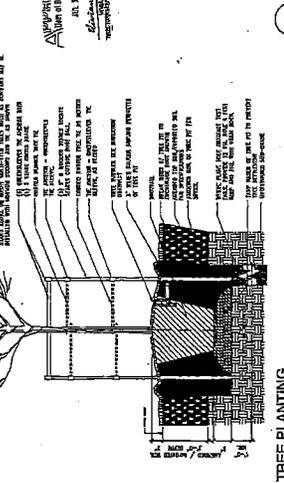
7  
 TREE STAKING  
 SCALE: 1/2\"/>



10  
 GROUND COVER PLANTING  
 SCALE: 1/2\"/>



9  
 SHRUB PLANTING  
 SCALE: 1/2\"/>



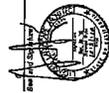
11  
 PLANT SPACING  
 SCALE: 1/2\"/>

PROJECT TITLE  
 HUNTERS VIEW, PHASE 1A  
 San Francisco, California  
 location

CASHMERE  
 PEDESTRIAN  
 CONNECTION

RECEIVED  
 11/17/11  
 11:00 AM

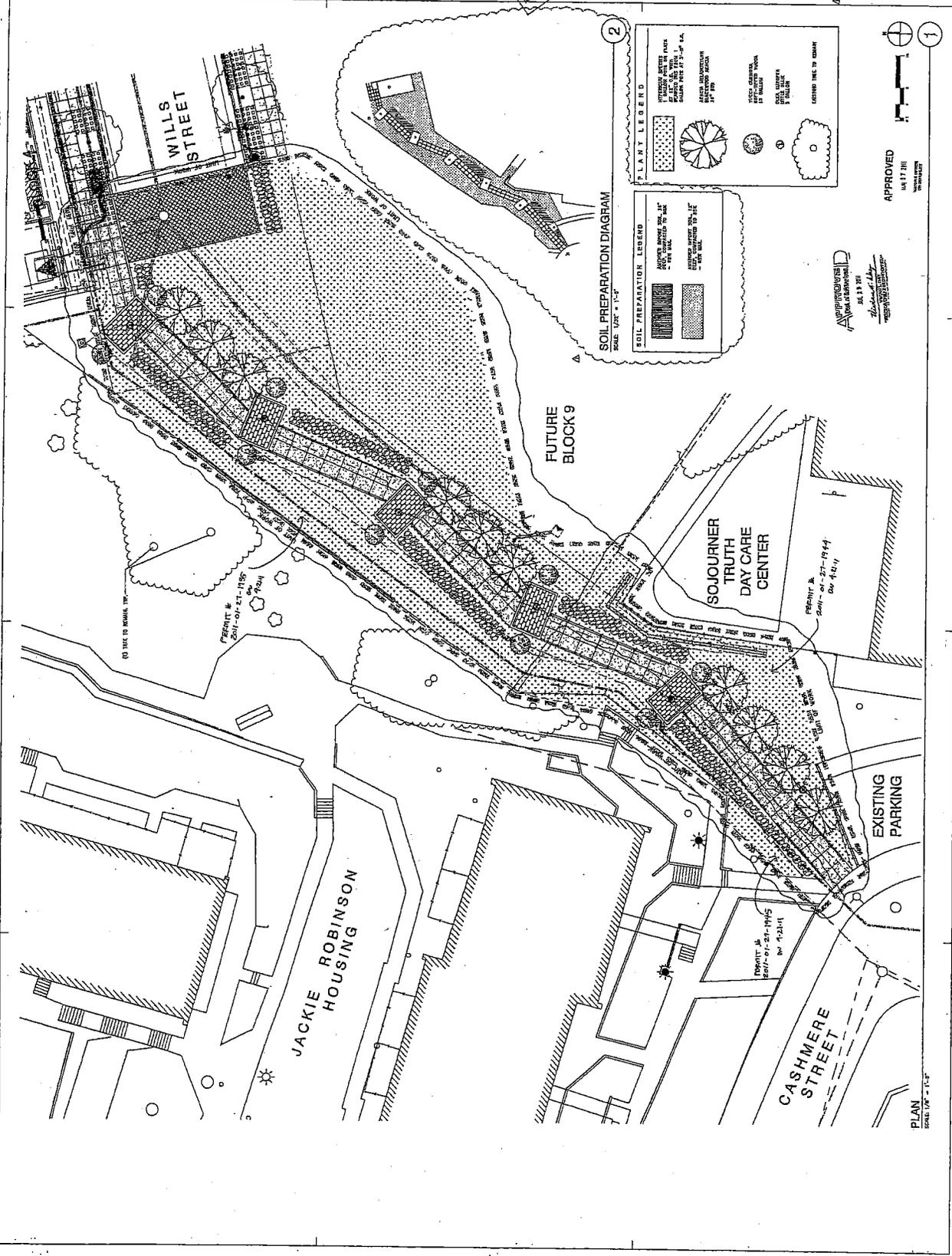
GLS  
 Landscape Architecture  
 1000 Market Street, Suite 100  
 San Francisco, CA 94102  
 Phone: (415) 774-1111  
 Fax: (415) 774-1112  
 Website: www.gls-landscape.com



NO.	DESCRIPTION	DATE
1	PRELIMINARY	10/10/11
2	REVISED	11/17/11
3	REVISED	11/17/11
4	REVISED	11/17/11
5	REVISED	11/17/11
6	REVISED	11/17/11
7	REVISED	11/17/11
8	REVISED	11/17/11
9	REVISED	11/17/11
10	REVISED	11/17/11

PLANTING PLAN  
 Drawn by: [Signature]  
 Checked by: [Signature]  
 Scale: 1/8" = 1'-0"  
 Date: 11/17/11

L4.1



**SOIL PREPARATION DIAGRAM**  
 SCALE: 1/8" = 1'-0"

**SOIL PREPARATION LEGEND**

- 1. 2" TO 4" DEEP
- 2. 4" TO 6" DEEP
- 3. 6" TO 8" DEEP
- 4. 8" TO 12" DEEP
- 5. 12" TO 18" DEEP
- 6. 18" TO 24" DEEP
- 7. 24" TO 36" DEEP
- 8. 36" TO 48" DEEP
- 9. 48" TO 60" DEEP
- 10. 60" TO 72" DEEP
- 11. 72" TO 84" DEEP
- 12. 84" TO 96" DEEP
- 13. 96" TO 108" DEEP
- 14. 108" TO 120" DEEP
- 15. 120" TO 132" DEEP
- 16. 132" TO 144" DEEP
- 17. 144" TO 156" DEEP
- 18. 156" TO 168" DEEP
- 19. 168" TO 180" DEEP
- 20. 180" TO 192" DEEP
- 21. 192" TO 204" DEEP
- 22. 204" TO 216" DEEP
- 23. 216" TO 228" DEEP
- 24. 228" TO 240" DEEP
- 25. 240" TO 252" DEEP
- 26. 252" TO 264" DEEP
- 27. 264" TO 276" DEEP
- 28. 276" TO 288" DEEP
- 29. 288" TO 300" DEEP
- 30. 300" TO 312" DEEP
- 31. 312" TO 324" DEEP
- 32. 324" TO 336" DEEP
- 33. 336" TO 348" DEEP
- 34. 348" TO 360" DEEP
- 35. 360" TO 372" DEEP
- 36. 372" TO 384" DEEP
- 37. 384" TO 396" DEEP
- 38. 396" TO 408" DEEP
- 39. 408" TO 420" DEEP
- 40. 420" TO 432" DEEP
- 41. 432" TO 444" DEEP
- 42. 444" TO 456" DEEP
- 43. 456" TO 468" DEEP
- 44. 468" TO 480" DEEP
- 45. 480" TO 492" DEEP
- 46. 492" TO 504" DEEP
- 47. 504" TO 516" DEEP
- 48. 516" TO 528" DEEP
- 49. 528" TO 540" DEEP
- 50. 540" TO 552" DEEP
- 51. 552" TO 564" DEEP
- 52. 564" TO 576" DEEP
- 53. 576" TO 588" DEEP
- 54. 588" TO 600" DEEP
- 55. 600" TO 612" DEEP
- 56. 612" TO 624" DEEP
- 57. 624" TO 636" DEEP
- 58. 636" TO 648" DEEP
- 59. 648" TO 660" DEEP
- 60. 660" TO 672" DEEP
- 61. 672" TO 684" DEEP
- 62. 684" TO 696" DEEP
- 63. 696" TO 708" DEEP
- 64. 708" TO 720" DEEP
- 65. 720" TO 732" DEEP
- 66. 732" TO 744" DEEP
- 67. 744" TO 756" DEEP
- 68. 756" TO 768" DEEP
- 69. 768" TO 780" DEEP
- 70. 780" TO 792" DEEP
- 71. 792" TO 804" DEEP
- 72. 804" TO 816" DEEP
- 73. 816" TO 828" DEEP
- 74. 828" TO 840" DEEP
- 75. 840" TO 852" DEEP
- 76. 852" TO 864" DEEP
- 77. 864" TO 876" DEEP
- 78. 876" TO 888" DEEP
- 79. 888" TO 900" DEEP
- 80. 900" TO 912" DEEP
- 81. 912" TO 924" DEEP
- 82. 924" TO 936" DEEP
- 83. 936" TO 948" DEEP
- 84. 948" TO 960" DEEP
- 85. 960" TO 972" DEEP
- 86. 972" TO 984" DEEP
- 87. 984" TO 996" DEEP
- 88. 996" TO 1008" DEEP
- 89. 1008" TO 1020" DEEP
- 90. 1020" TO 1032" DEEP
- 91. 1032" TO 1044" DEEP
- 92. 1044" TO 1056" DEEP
- 93. 1056" TO 1068" DEEP
- 94. 1068" TO 1080" DEEP
- 95. 1080" TO 1092" DEEP
- 96. 1092" TO 1104" DEEP
- 97. 1104" TO 1116" DEEP
- 98. 1116" TO 1128" DEEP
- 99. 1128" TO 1140" DEEP
- 100. 1140" TO 1152" DEEP
- 101. 1152" TO 1164" DEEP
- 102. 1164" TO 1176" DEEP
- 103. 1176" TO 1188" DEEP
- 104. 1188" TO 1200" DEEP
- 105. 1200" TO 1212" DEEP
- 106. 1212" TO 1224" DEEP
- 107. 1224" TO 1236" DEEP
- 108. 1236" TO 1248" DEEP
- 109. 1248" TO 1260" DEEP
- 110. 1260" TO 1272" DEEP
- 111. 1272" TO 1284" DEEP
- 112. 1284" TO 1296" DEEP
- 113. 1296" TO 1308" DEEP
- 114. 1308" TO 1320" DEEP
- 115. 1320" TO 1332" DEEP
- 116. 1332" TO 1344" DEEP
- 117. 1344" TO 1356" DEEP
- 118. 1356" TO 1368" DEEP
- 119. 1368" TO 1380" DEEP
- 120. 1380" TO 1392" DEEP
- 121. 1392" TO 1404" DEEP
- 122. 1404" TO 1416" DEEP
- 123. 1416" TO 1428" DEEP
- 124. 1428" TO 1440" DEEP
- 125. 1440" TO 1452" DEEP
- 126. 1452" TO 1464" DEEP
- 127. 1464" TO 1476" DEEP
- 128. 1476" TO 1488" DEEP
- 129. 1488" TO 1500" DEEP
- 130. 1500" TO 1512" DEEP
- 131. 1512" TO 1524" DEEP
- 132. 1524" TO 1536" DEEP
- 133. 1536" TO 1548" DEEP
- 134. 1548" TO 1560" DEEP
- 135. 1560" TO 1572" DEEP
- 136. 1572" TO 1584" DEEP
- 137. 1584" TO 1596" DEEP
- 138. 1596" TO 1608" DEEP
- 139. 1608" TO 1620" DEEP
- 140. 1620" TO 1632" DEEP
- 141. 1632" TO 1644" DEEP
- 142. 1644" TO 1656" DEEP
- 143. 1656" TO 1668" DEEP
- 144. 1668" TO 1680" DEEP
- 145. 1680" TO 1692" DEEP
- 146. 1692" TO 1704" DEEP
- 147. 1704" TO 1716" DEEP
- 148. 1716" TO 1728" DEEP
- 149. 1728" TO 1740" DEEP
- 150. 1740" TO 1752" DEEP
- 151. 1752" TO 1764" DEEP
- 152. 1764" TO 1776" DEEP
- 153. 1776" TO 1788" DEEP
- 154. 1788" TO 1800" DEEP
- 155. 1800" TO 1812" DEEP
- 156. 1812" TO 1824" DEEP
- 157. 1824" TO 1836" DEEP
- 158. 1836" TO 1848" DEEP
- 159. 1848" TO 1860" DEEP
- 160. 1860" TO 1872" DEEP
- 161. 1872" TO 1884" DEEP
- 162. 1884" TO 1896" DEEP
- 163. 1896" TO 1908" DEEP
- 164. 1908" TO 1920" DEEP
- 165. 1920" TO 1932" DEEP
- 166. 1932" TO 1944" DEEP
- 167. 1944" TO 1956" DEEP
- 168. 1956" TO 1968" DEEP
- 169. 1968" TO 1980" DEEP
- 170. 1980" TO 1992" DEEP
- 171. 1992" TO 2004" DEEP
- 172. 2004" TO 2016" DEEP
- 173. 2016" TO 2028" DEEP
- 174. 2028" TO 2040" DEEP
- 175. 2040" TO 2052" DEEP
- 176. 2052" TO 2064" DEEP
- 177. 2064" TO 2076" DEEP
- 178. 2076" TO 2088" DEEP
- 179. 2088" TO 2100" DEEP
- 180. 2100" TO 2112" DEEP
- 181. 2112" TO 2124" DEEP
- 182. 2124" TO 2136" DEEP
- 183. 2136" TO 2148" DEEP
- 184. 2148" TO 2160" DEEP
- 185. 2160" TO 2172" DEEP
- 186. 2172" TO 2184" DEEP
- 187. 2184" TO 2196" DEEP
- 188. 2196" TO 2208" DEEP
- 189. 2208" TO 2220" DEEP
- 190. 2220" TO 2232" DEEP
- 191. 2232" TO 2244" DEEP
- 192. 2244" TO 2256" DEEP
- 193. 2256" TO 2268" DEEP
- 194. 2268" TO 2280" DEEP
- 195. 2280" TO 2292" DEEP
- 196. 2292" TO 2304" DEEP
- 197. 2304" TO 2316" DEEP
- 198. 2316" TO 2328" DEEP
- 199. 2328" TO 2340" DEEP
- 200. 2340" TO 2352" DEEP
- 201. 2352" TO 2364" DEEP
- 202. 2364" TO 2376" DEEP
- 203. 2376" TO 2388" DEEP
- 204. 2388" TO 2400" DEEP
- 205. 2400" TO 2412" DEEP
- 206. 2412" TO 2424" DEEP
- 207. 2424" TO 2436" DEEP
- 208. 2436" TO 2448" DEEP
- 209. 2448" TO 2460" DEEP
- 210. 2460" TO 2472" DEEP
- 211. 2472" TO 2484" DEEP
- 212. 2484" TO 2496" DEEP
- 213. 2496" TO 2508" DEEP
- 214. 2508" TO 2520" DEEP
- 215. 2520" TO 2532" DEEP
- 216. 2532" TO 2544" DEEP
- 217. 2544" TO 2556" DEEP
- 218. 2556" TO 2568" DEEP
- 219. 2568" TO 2580" DEEP
- 220. 2580" TO 2592" DEEP
- 221. 2592" TO 2604" DEEP
- 222. 2604" TO 2616" DEEP
- 223. 2616" TO 2628" DEEP
- 224. 2628" TO 2640" DEEP
- 225. 2640" TO 2652" DEEP
- 226. 2652" TO 2664" DEEP
- 227. 2664" TO 2676" DEEP
- 228. 2676" TO 2688" DEEP
- 229. 2688" TO 2700" DEEP
- 230. 2700" TO 2712" DEEP
- 231. 2712" TO 2724" DEEP
- 232. 2724" TO 2736" DEEP
- 233. 2736" TO 2748" DEEP
- 234. 2748" TO 2760" DEEP
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- 236. 2772" TO 2784" DEEP
- 237. 2784" TO 2796" DEEP
- 238. 2796" TO 2808" DEEP
- 239. 2808" TO 2820" DEEP
- 240. 2820" TO 2832" DEEP
- 241. 2832" TO 2844" DEEP
- 242. 2844" TO 2856" DEEP
- 243. 2856" TO 2868" DEEP
- 244. 2868" TO 2880" DEEP
- 245. 2880" TO 2892" DEEP
- 246. 2892" TO 2904" DEEP
- 247. 2904" TO 2916" DEEP
- 248. 2916" TO 2928" DEEP
- 249. 2928" TO 2940" DEEP
- 250. 2940" TO 2952" DEEP
- 251. 2952" TO 2964" DEEP
- 252. 2964" TO 2976" DEEP
- 253. 2976" TO 2988" DEEP
- 254. 2988" TO 3000" DEEP

**PLANT LEGEND**

- 1. PLANTING WITH THE PLANT
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PROJECT TITLE  
**HUNTERS VIEW, PHASE 1A**  
 San Francisco, California  
 location

CASHMERE  
 ENGINEERING  
 CONNECTION  
 88 Ward Park Road /  
 1A Colma, CA 94015 /  
 415-947-1000



**EJLS**  
 E. J. L. S.  
 ENGINEER  
 No. 20147  
 State of California

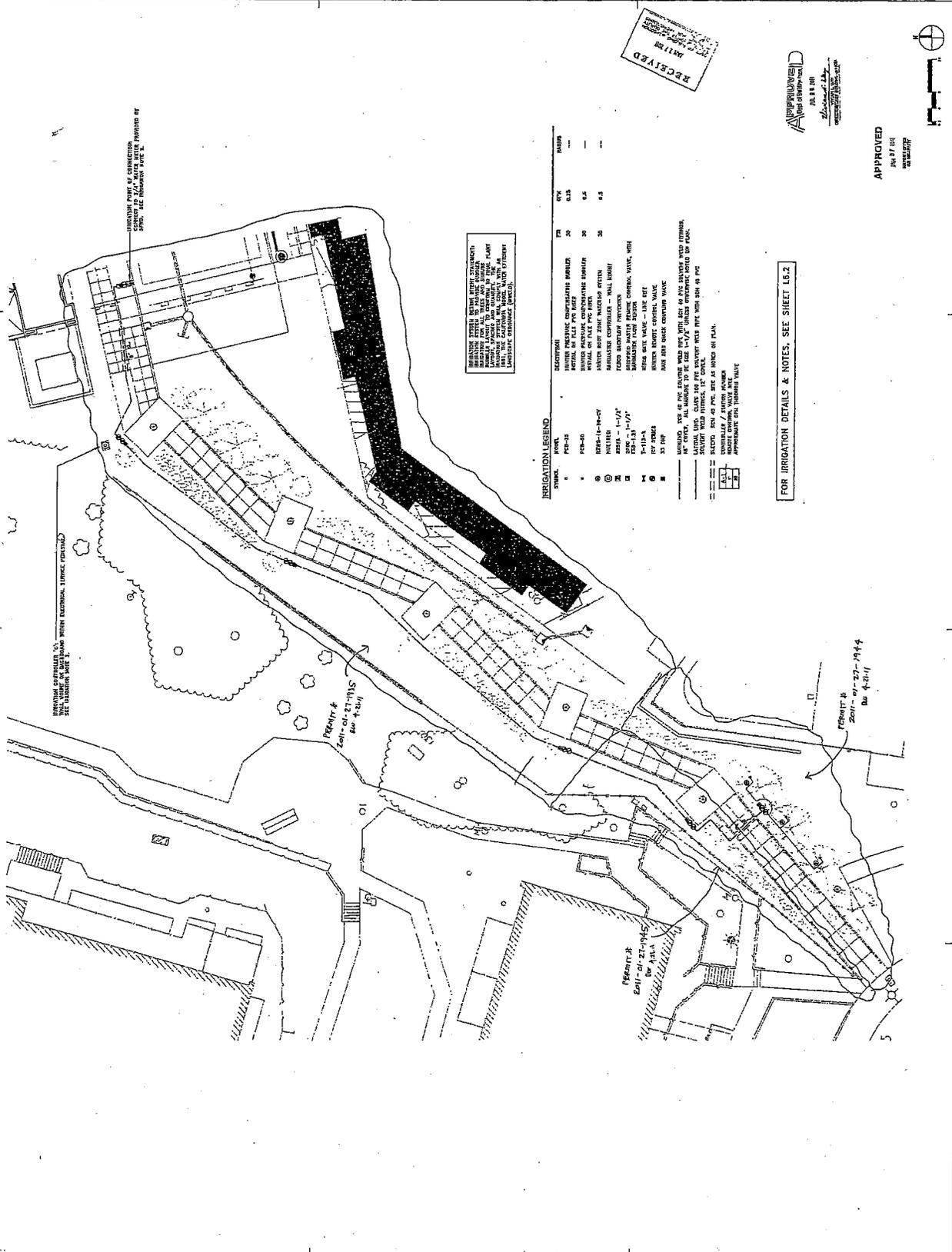
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 SCALE: 1/8" = 1'-0"



APPROVED  
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 DATE: 04/21/11

IRIGATION  
 PLAN  
 Checked By: [Signature]  
 Scale: 1/8" = 1'-0"

L5.1



IRIGATION SYSTEM SHALL BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING NOTES:  
 1. ALL PIPING SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF SAN FRANCISCO PLUMBING CODE.  
 2. ALL VALVES SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF SAN FRANCISCO PLUMBING CODE.  
 3. ALL SCHEDULE 40 STEEL SHALL BE USED FOR ALL PIPING AND FITTINGS.  
 4. ALL PIPING SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF SAN FRANCISCO PLUMBING CODE.  
 5. ALL VALVES SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF SAN FRANCISCO PLUMBING CODE.

**IRIGATION LEGEND**

SYMBOL	NOTATION	DESCRIPTION	SIZE	DEPTH
○	PC-25	1/2" NPT FEMALE COMPENSATING BALL VALVE	20	0.75
○	PC-30	3/4" NPT FEMALE COMPENSATING BALL VALVE	30	0.5
○	PC-40	1" NPT FEMALE COMPENSATING BALL VALVE	40	0.5
○	PC-50	1 1/2" NPT FEMALE COMPENSATING BALL VALVE	50	0.5
○	PC-60	2" NPT FEMALE COMPENSATING BALL VALVE	60	0.5
○	PC-75	2 1/2" NPT FEMALE COMPENSATING BALL VALVE	75	0.5
○	PC-90	3" NPT FEMALE COMPENSATING BALL VALVE	90	0.5
○	PC-108	3 1/2" NPT FEMALE COMPENSATING BALL VALVE	108	0.5
○	PC-120	4" NPT FEMALE COMPENSATING BALL VALVE	120	0.5
○	PC-150	5" NPT FEMALE COMPENSATING BALL VALVE	150	0.5
○	PC-180	6" NPT FEMALE COMPENSATING BALL VALVE	180	0.5
○	PC-210	7" NPT FEMALE COMPENSATING BALL VALVE	210	0.5
○	PC-240	8" NPT FEMALE COMPENSATING BALL VALVE	240	0.5
○	PC-300	10" NPT FEMALE COMPENSATING BALL VALVE	300	0.5
○	PC-360	12" NPT FEMALE COMPENSATING BALL VALVE	360	0.5
○	PC-420	14" NPT FEMALE COMPENSATING BALL VALVE	420	0.5
○	PC-480	16" NPT FEMALE COMPENSATING BALL VALVE	480	0.5
○	PC-540	18" NPT FEMALE COMPENSATING BALL VALVE	540	0.5
○	PC-600	20" NPT FEMALE COMPENSATING BALL VALVE	600	0.5
○	PC-660	22" NPT FEMALE COMPENSATING BALL VALVE	660	0.5
○	PC-720	24" NPT FEMALE COMPENSATING BALL VALVE	720	0.5
○	PC-780	26" NPT FEMALE COMPENSATING BALL VALVE	780	0.5
○	PC-840	28" NPT FEMALE COMPENSATING BALL VALVE	840	0.5
○	PC-900	30" NPT FEMALE COMPENSATING BALL VALVE	900	0.5
○	PC-960	32" NPT FEMALE COMPENSATING BALL VALVE	960	0.5
○	PC-1020	34" NPT FEMALE COMPENSATING BALL VALVE	1020	0.5
○	PC-1080	36" NPT FEMALE COMPENSATING BALL VALVE	1080	0.5
○	PC-1140	38" NPT FEMALE COMPENSATING BALL VALVE	1140	0.5
○	PC-1200	40" NPT FEMALE COMPENSATING BALL VALVE	1200	0.5
○	PC-1260	42" NPT FEMALE COMPENSATING BALL VALVE	1260	0.5
○	PC-1320	44" NPT FEMALE COMPENSATING BALL VALVE	1320	0.5
○	PC-1380	46" NPT FEMALE COMPENSATING BALL VALVE	1380	0.5
○	PC-1440	48" NPT FEMALE COMPENSATING BALL VALVE	1440	0.5
○	PC-1500	50" NPT FEMALE COMPENSATING BALL VALVE	1500	0.5
○	PC-1560	52" NPT FEMALE COMPENSATING BALL VALVE	1560	0.5
○	PC-1620	54" NPT FEMALE COMPENSATING BALL VALVE	1620	0.5
○	PC-1680	56" NPT FEMALE COMPENSATING BALL VALVE	1680	0.5
○	PC-1740	58" NPT FEMALE COMPENSATING BALL VALVE	1740	0.5
○	PC-1800	60" NPT FEMALE COMPENSATING BALL VALVE	1800	0.5
○	PC-1860	62" NPT FEMALE COMPENSATING BALL VALVE	1860	0.5
○	PC-1920	64" NPT FEMALE COMPENSATING BALL VALVE	1920	0.5
○	PC-1980	66" NPT FEMALE COMPENSATING BALL VALVE	1980	0.5
○	PC-2040	68" NPT FEMALE COMPENSATING BALL VALVE	2040	0.5
○	PC-2100	70" NPT FEMALE COMPENSATING BALL VALVE	2100	0.5
○	PC-2160	72" NPT FEMALE COMPENSATING BALL VALVE	2160	0.5
○	PC-2220	74" NPT FEMALE COMPENSATING BALL VALVE	2220	0.5
○	PC-2280	76" NPT FEMALE COMPENSATING BALL VALVE	2280	0.5
○	PC-2340	78" NPT FEMALE COMPENSATING BALL VALVE	2340	0.5
○	PC-2400	80" NPT FEMALE COMPENSATING BALL VALVE	2400	0.5
○	PC-2460	82" NPT FEMALE COMPENSATING BALL VALVE	2460	0.5
○	PC-2520	84" NPT FEMALE COMPENSATING BALL VALVE	2520	0.5
○	PC-2580	86" NPT FEMALE COMPENSATING BALL VALVE	2580	0.5
○	PC-2640	88" NPT FEMALE COMPENSATING BALL VALVE	2640	0.5
○	PC-2700	90" NPT FEMALE COMPENSATING BALL VALVE	2700	0.5
○	PC-2760	92" NPT FEMALE COMPENSATING BALL VALVE	2760	0.5
○	PC-2820	94" NPT FEMALE COMPENSATING BALL VALVE	2820	0.5
○	PC-2880	96" NPT FEMALE COMPENSATING BALL VALVE	2880	0.5
○	PC-2940	98" NPT FEMALE COMPENSATING BALL VALVE	2940	0.5
○	PC-3000	100" NPT FEMALE COMPENSATING BALL VALVE	3000	0.5
○	PC-3060	102" NPT FEMALE COMPENSATING BALL VALVE	3060	0.5
○	PC-3120	104" NPT FEMALE COMPENSATING BALL VALVE	3120	0.5
○	PC-3180	106" NPT FEMALE COMPENSATING BALL VALVE	3180	0.5
○	PC-3240	108" NPT FEMALE COMPENSATING BALL VALVE	3240	0.5
○	PC-3300	110" NPT FEMALE COMPENSATING BALL VALVE	3300	0.5
○	PC-3360	112" NPT FEMALE COMPENSATING BALL VALVE	3360	0.5
○	PC-3420	114" NPT FEMALE COMPENSATING BALL VALVE	3420	0.5
○	PC-3480	116" NPT FEMALE COMPENSATING BALL VALVE	3480	0.5
○	PC-3540	118" NPT FEMALE COMPENSATING BALL VALVE	3540	0.5
○	PC-3600	120" NPT FEMALE COMPENSATING BALL VALVE	3600	0.5
○	PC-3660	122" NPT FEMALE COMPENSATING BALL VALVE	3660	0.5
○	PC-3720	124" NPT FEMALE COMPENSATING BALL VALVE	3720	0.5
○	PC-3780	126" NPT FEMALE COMPENSATING BALL VALVE	3780	0.5
○	PC-3840	128" NPT FEMALE COMPENSATING BALL VALVE	3840	0.5
○	PC-3900	130" NPT FEMALE COMPENSATING BALL VALVE	3900	0.5
○	PC-3960	132" NPT FEMALE COMPENSATING BALL VALVE	3960	0.5
○	PC-4020	134" NPT FEMALE COMPENSATING BALL VALVE	4020	0.5
○	PC-4080	136" NPT FEMALE COMPENSATING BALL VALVE	4080	0.5
○	PC-4140	138" NPT FEMALE COMPENSATING BALL VALVE	4140	0.5
○	PC-4200	140" NPT FEMALE COMPENSATING BALL VALVE	4200	0.5
○	PC-4260	142" NPT FEMALE COMPENSATING BALL VALVE	4260	0.5
○	PC-4320	144" NPT FEMALE COMPENSATING BALL VALVE	4320	0.5
○	PC-4380	146" NPT FEMALE COMPENSATING BALL VALVE	4380	0.5
○	PC-4440	148" NPT FEMALE COMPENSATING BALL VALVE	4440	0.5
○	PC-4500	150" NPT FEMALE COMPENSATING BALL VALVE	4500	0.5
○	PC-4560	152" NPT FEMALE COMPENSATING BALL VALVE	4560	0.5
○	PC-4620	154" NPT FEMALE COMPENSATING BALL VALVE	4620	0.5
○	PC-4680	156" NPT FEMALE COMPENSATING BALL VALVE	4680	0.5
○	PC-4740	158" NPT FEMALE COMPENSATING BALL VALVE	4740	0.5
○	PC-4800	160" NPT FEMALE COMPENSATING BALL VALVE	4800	0.5
○	PC-4860	162" NPT FEMALE COMPENSATING BALL VALVE	4860	0.5
○	PC-4920	164" NPT FEMALE COMPENSATING BALL VALVE	4920	0.5
○	PC-4980	166" NPT FEMALE COMPENSATING BALL VALVE	4980	0.5
○	PC-5040	168" NPT FEMALE COMPENSATING BALL VALVE	5040	0.5
○	PC-5100	170" NPT FEMALE COMPENSATING BALL VALVE	5100	0.5
○	PC-5160	172" NPT FEMALE COMPENSATING BALL VALVE	5160	0.5
○	PC-5220	174" NPT FEMALE COMPENSATING BALL VALVE	5220	0.5
○	PC-5280	176" NPT FEMALE COMPENSATING BALL VALVE	5280	0.5
○	PC-5340	178" NPT FEMALE COMPENSATING BALL VALVE	5340	0.5
○	PC-5400	180" NPT FEMALE COMPENSATING BALL VALVE	5400	0.5
○	PC-5460	182" NPT FEMALE COMPENSATING BALL VALVE	5460	0.5
○	PC-5520	184" NPT FEMALE COMPENSATING BALL VALVE	5520	0.5
○	PC-5580	186" NPT FEMALE COMPENSATING BALL VALVE	5580	0.5
○	PC-5640	188" NPT FEMALE COMPENSATING BALL VALVE	5640	0.5
○	PC-5700	190" NPT FEMALE COMPENSATING BALL VALVE	5700	0.5
○	PC-5760	192" NPT FEMALE COMPENSATING BALL VALVE	5760	0.5
○	PC-5820	194" NPT FEMALE COMPENSATING BALL VALVE	5820	0.5
○	PC-5880	196" NPT FEMALE COMPENSATING BALL VALVE	5880	0.5
○	PC-5940	198" NPT FEMALE COMPENSATING BALL VALVE	5940	0.5
○	PC-6000	200" NPT FEMALE COMPENSATING BALL VALVE	6000	0.5
○	PC-6060	202" NPT FEMALE COMPENSATING BALL VALVE	6060	0.5
○	PC-6120	204" NPT FEMALE COMPENSATING BALL VALVE	6120	0.5
○	PC-6180	206" NPT FEMALE COMPENSATING BALL VALVE	6180	0.5
○	PC-6240	208" NPT FEMALE COMPENSATING BALL VALVE	6240	0.5
○	PC-6300	210" NPT FEMALE COMPENSATING BALL VALVE	6300	0.5
○	PC-6360	212" NPT FEMALE COMPENSATING BALL VALVE	6360	0.5
○	PC-6420	214" NPT FEMALE COMPENSATING BALL VALVE	6420	0.5
○	PC-6480	216" NPT FEMALE COMPENSATING BALL VALVE	6480	0.5
○	PC-6540	218" NPT FEMALE COMPENSATING BALL VALVE	6540	0.5
○	PC-6600	220" NPT FEMALE COMPENSATING BALL VALVE	6600	0.5
○	PC-6660	222" NPT FEMALE COMPENSATING BALL VALVE	6660	0.5
○	PC-6720	224" NPT FEMALE COMPENSATING BALL VALVE	6720	0.5
○	PC-6780	226" NPT FEMALE COMPENSATING BALL VALVE	6780	0.5
○	PC-6840	228" NPT FEMALE COMPENSATING BALL VALVE	6840	0.5
○	PC-6900	230" NPT FEMALE COMPENSATING BALL VALVE	6900	0.5
○	PC-6960	232" NPT FEMALE COMPENSATING BALL VALVE	6960	0.5
○	PC-7020	234" NPT FEMALE COMPENSATING BALL VALVE	7020	0.5
○	PC-7080	236" NPT FEMALE COMPENSATING BALL VALVE	7080	0.5
○	PC-7140	238" NPT FEMALE COMPENSATING BALL VALVE	7140	0.5
○	PC-7200	240" NPT FEMALE COMPENSATING BALL VALVE	7200	0.5
○	PC-7260	242" NPT FEMALE COMPENSATING BALL VALVE	7260	0.5
○	PC-7320	244" NPT FEMALE COMPENSATING BALL VALVE	7320	0.5
○	PC-7380	246" NPT FEMALE COMPENSATING BALL VALVE	7380	0.5
○	PC-7440	248" NPT FEMALE COMPENSATING BALL VALVE	7440	0.5
○	PC-7500	250" NPT FEMALE COMPENSATING BALL VALVE	7500	0.5
○	PC-7560	252" NPT FEMALE COMPENSATING BALL VALVE	7560	0.5
○	PC-7620	254" NPT FEMALE COMPENSATING BALL VALVE	7620	0.5
○	PC-7680	256" NPT FEMALE COMPENSATING BALL VALVE	7680	0.5
○	PC-7740	258" NPT FEMALE COMPENSATING BALL VALVE	7740	0.5
○	PC-7800	260" NPT FEMALE COMPENSATING BALL VALVE	7800	0.5
○	PC-7860	262" NPT FEMALE COMPENSATING BALL VALVE	7860	0.5
○	PC-7920	264" NPT FEMALE COMPENSATING BALL VALVE	7920	0.5
○	PC-7980	266" NPT FEMALE COMPENSATING BALL VALVE	7980	0.5
○	PC-8040	268" NPT FEMALE COMPENSATING BALL VALVE	8040	0.5
○	PC-8100	270" NPT FEMALE COMPENSATING BALL VALVE	8100	0.5
○	PC-8160	272" NPT FEMALE COMPENSATING BALL VALVE	8160	0.5
○	PC-8220	274" NPT FEMALE COMPENSATING BALL VALVE	8220	0.5
○	PC-8280	276" NPT FEMALE COMPENSATING BALL VALVE	8280	0.5
○	PC-8340	278" NPT FEMALE COMPENSATING BALL VALVE	8340	0.5
○	PC-8400	280" NPT FEMALE COMPENSATING BALL VALVE	8400	0.5
○	PC-8460	282" NPT FEMALE COMPENSATING BALL VALVE	8460	0.5
○	PC-8520	284" NPT FEMALE COMPENSATING BALL VALVE	8520	0.5
○	PC-8580	286" NPT FEMALE COMPENSATING BALL VALVE	8580	0.5
○	PC-8640	288" NPT FEMALE COMPENSATING BALL VALVE	8640	0.5
○	PC-8700	290" NPT FEMALE COMPENSATING BALL VALVE	8700	0.5
○	PC-8760	292" NPT FEMALE COMPENSATING BALL VALVE	8760	0.5
○	PC-8820	294" NPT FEMALE COMPENSATING BALL VALVE	8820	0.5
○	PC-8880	296" NPT FEMALE COMPENSATING BALL VALVE	8880	0.5
○	PC-8940	298" NPT FEMALE COMPENSATING BALL VALVE	8940	0.5
○	PC-9000	300" NPT FEMALE COMPENSATING BALL VALVE	9000	0.5
○	PC-9060	302" NPT FEMALE COMPENSATING BALL VALVE	9060	0.5
○	PC-9120	304" NPT FEMALE COMPENSATING BALL VALVE	9120	0.5
○	PC-9180	306" NPT FEMALE COMPENSATING BALL VALVE	9180	0.5
○	PC-9240	308" NPT FEMALE COMPENSATING BALL VALVE	9240	0.5
○	PC-9300	310" NPT FEMALE COMPENSATING BALL VALVE	9300	0.5
○	PC-9360	312" NPT FEMALE COMPENSATING BALL VALVE	9360	0.5
○	PC-9420	314" NPT FEMALE COMPENSATING BALL VALVE	9420	0.5
○	PC-9480	316" NPT FEMALE COMPENSATING BALL VALVE	9480	0.5
○	PC-9540	318" NPT FEMALE COMPENSATING BALL VALVE	9540	0.5
○	PC-9600	320" NPT FEMALE COMPENSATING BALL VALVE	9600	0.5
○	PC-9660	322" NPT FEMALE COMPENSATING BALL VALVE	9660	0.5
○	PC-9720	324" NPT FEMALE COMPENSATING BALL VALVE	9720	0.5
○	PC-9780	326" NPT FEMALE COMPENSATING BALL VALVE	9780	0.5
○	PC-9840	328" NPT FEMALE COMPENSATING BALL VALVE	9840	0.5
○	PC-9900	330" NPT FEMALE COMPENSATING BALL VALVE	9900	0.5
○	PC-9960	332" NPT FEMALE COMPENSATING BALL VALVE	9960	0.5
○	PC-10020	334" NPT FEMALE COMPENSATING BALL VALVE	10020	0.5
○	PC-10080	336" NPT FEMALE COMPENSATING BALL VALVE	10	

PROJECT TITLE  
**HUNTERS VIEW, PHASE 1A**  
 San Francisco, California  
 location

CASHMERE  
 PEDESTRIAN  
 CONNECTION

18 West 14th Street  
 1A Cashmere Court  
 1 Cashmere Court

DATE: \_\_\_\_\_

Structural Engineering  
 1800 Market Street, Suite 100  
 San Francisco, CA 94102  
 Phone: (415) 774-1100  
 Fax: (415) 774-1101  
 Email: info@englis.com

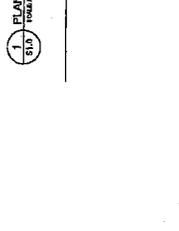
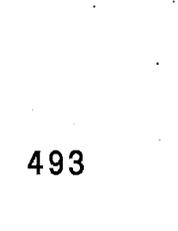
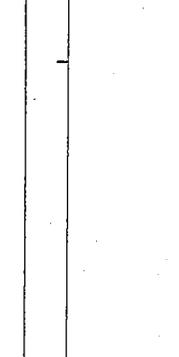
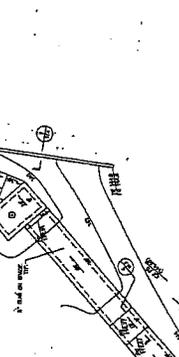
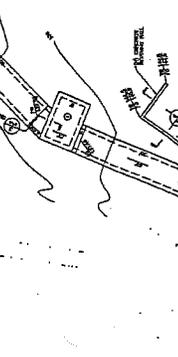
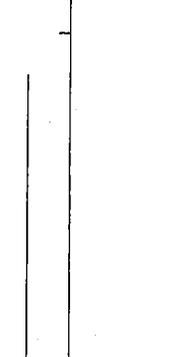
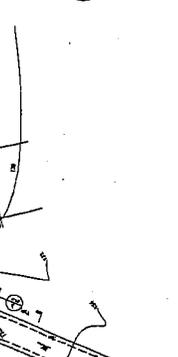
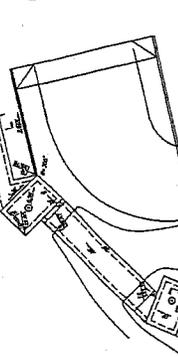
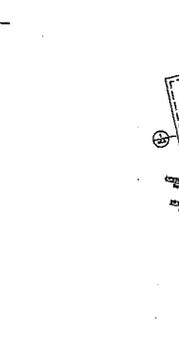
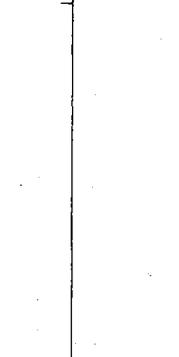
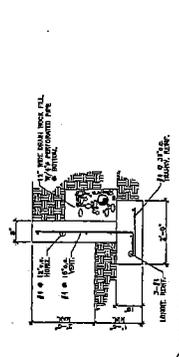
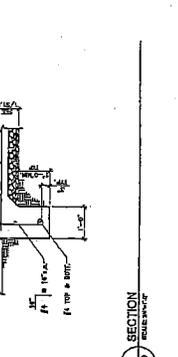
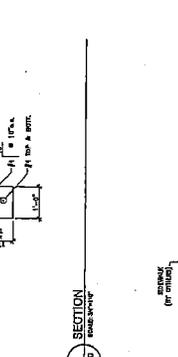
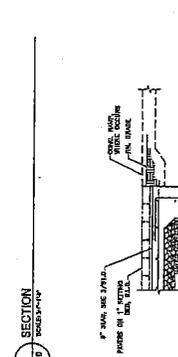
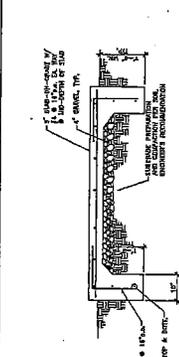
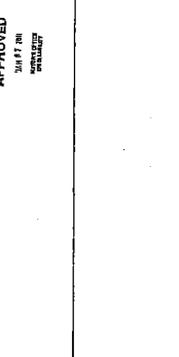
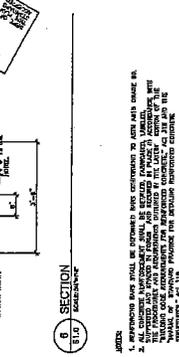
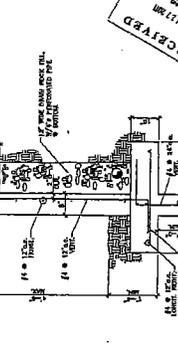
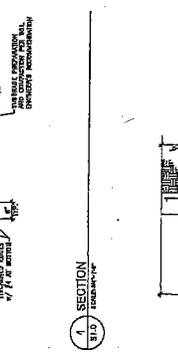
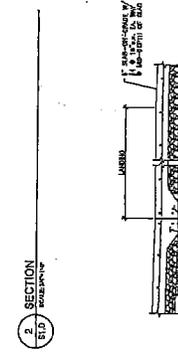
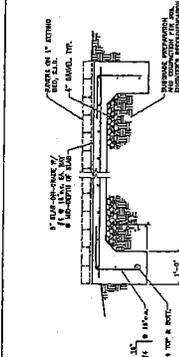
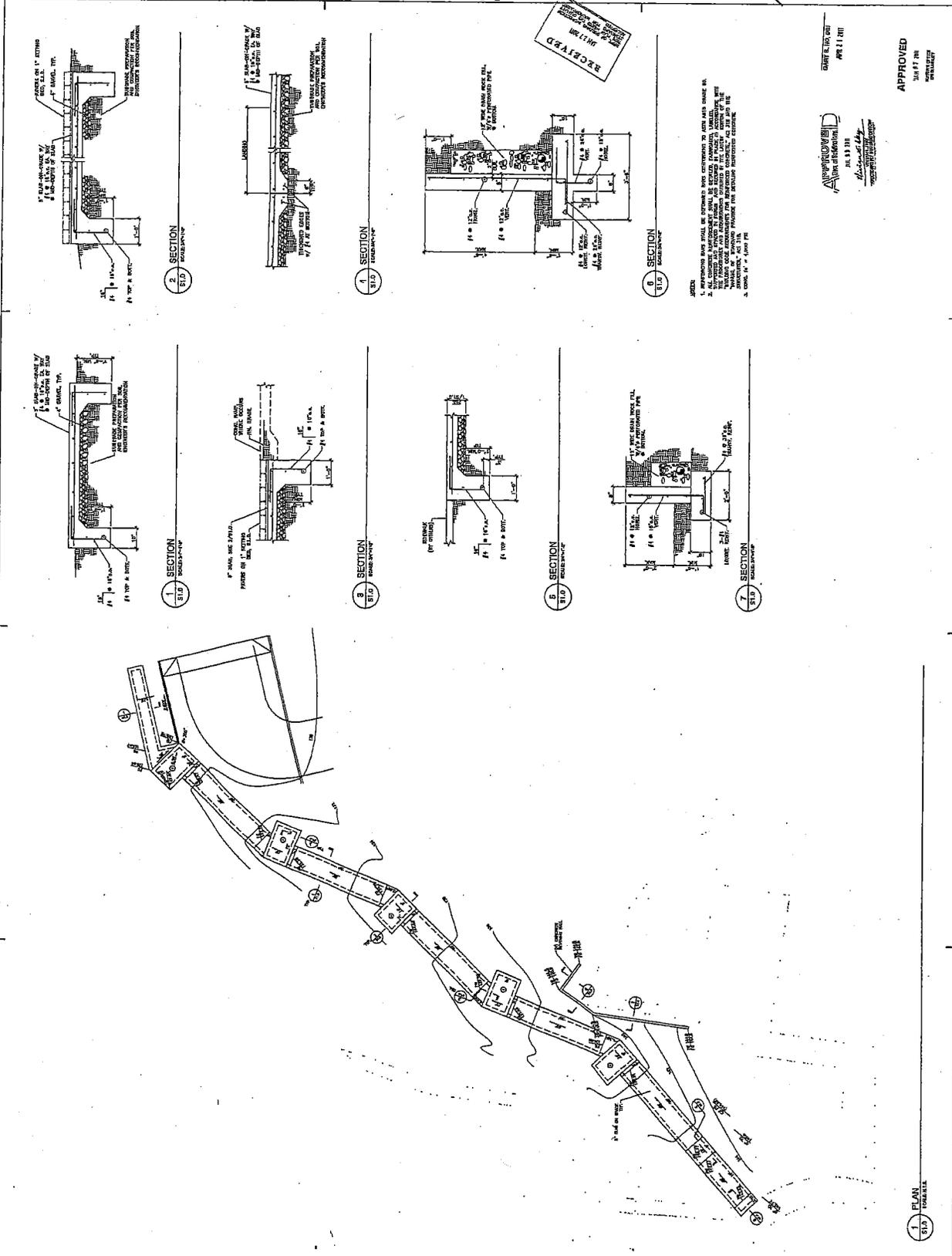
**ENGIS**  
 ENGINEERING

DATE: \_\_\_\_\_



NO. SUBMITTAL - 12/10/10  
 DATE - 12/10/10  
 DRAWN BY - JPH  
 CHECKED BY - JPH  
 DATE - 12/10/10  
 PROJECT NO. - 10000  
 SHEET NO. - 10000  
 SHEET TITLE - 10000

S1.0



NOTES

1. REFERENCED SHALL BE DEEMED TO BE INCORPORATED INTO THIS SET OF DRAWINGS.

2. ALL MATERIALS SHALL BE APPROVED BY THE ENGINEER PRIOR TO CONSTRUCTION.

3. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA BUILDING CODE AND ALL APPLICABLE LOCAL ORDINANCES.

4. ALL DIMENSIONS SHALL BE IN FEET AND INCHES UNLESS OTHERWISE NOTED.

5. SEE SHEET S1.1 FOR GENERAL NOTES.

6. SEE SHEET S1.2 FOR GENERAL NOTES.

7. SEE SHEET S1.3 FOR GENERAL NOTES.

## EXHIBIT D

### Insurance Requirements

- Grantee and each Accessing Party shall obtain and maintain in full force and effect for the duration of this Agreement, with responsible insurance carriers authorized to do business in California, insurance of the following types, with limits and terms and conditions as set forth below.
  1. Workers' Compensation Insurance, including occupational illness or disease coverage, in accordance with the laws of the nation, state, territory or province having jurisdiction over Accessing Party's employees and Employer's Liability Insurance with minimum limits of \$1,000,000 per accident, \$1,000,000 disease-policy limit and \$1,000,000 disease-per employee.
  2. Commercial General Liability Insurance written on ISO occurrence form (CG 00 01 12 07) or equivalent with a minimum combined single limit of liability of \$2,000,000 each occurrence and \$2,000,000 General Aggregate for bodily injury and property damage and a minimum limit of liability of \$2,000,000 each occurrence for products/completed operations liability. The products/completed operations liability coverage shall be maintained in full force and effect for not less than three years following the notice of completion for the improvements contemplated hereunder. The insurance shall include the following coverages: Premises - Operations, Independent Contractors and Subcontractors Protective; Contractual Liability (Broad Form) including Third-Party Coverage; Explosion, Collapse and Underground Hazard; and Personal Injury coverage. The policy shall be endorsed to name Grantor, including its agents, employees, representatives, successors or assigns as additional insureds. Such endorsement shall be made upon ISO Endorsement CG 20 10 10 01 or equivalent, "Additional Insured - Owners, Lessees or Contractors-Scheduled Person or Organization" or by blanket endorsement.
  3. Automobile Liability Insurance covering use of all owned, non-owned and hired automobiles with a minimum combined single limit of liability for bodily injury and property damage of \$2,000,000 per occurrence. This policy shall be endorsed to name Grantor, including its agents, employees, representatives, successors and assigns, as additional insureds.
- Grantee and each Accessing Party shall cause all of their insurers to waive their rights of subrogation against Grantor and its agents, employees, representatives, successors and assigns, for losses or claims for bodily injury, property damage or other insured claims arising out of Grantee or Accessing Party's performance under this Agreement.
- Certificates of Insurance satisfactory in form to Grantor (ACCORD form or equivalent) shall be supplied to Grantor evidencing that the insurance with the specified conditions required in this Agreement is in force, and that the waivers of subrogation are in force.
- All insurance policies required to be maintained by Grantee hereunder shall be endorsed to provide for thirty days (30) prior written notice of cancellation for any reason, intended non-renewal, or reduction of coverage to the Grantor.

- The insurance coverages required of Grantee and each Accessing Party in this Agreement shall be primary and non-contributing with respect to any other insurance or self-insurance which may be maintained by Grantee or Accessing Party. All Liability Insurance policies shall contain Cross Liability coverage via a Separation of Insureds clause. The fact that Grantee has obtained the insurance required in this Agreement shall in no manner lessen nor affect Grantee's other obligations or liabilities set forth in this Agreement.
- Any deductibles or self-insured retentions must be declared to and approved by Grantor. Any self-insured retention or deductible amount on the policy shall not reduce the amount of collectible limits of liability.



# SAN FRANCISCO PLANNING DEPARTMENT

October 11, 2011

John Updike  
Real Estate Division  
25 Van Ness Avenue, No. 400  
San Francisco, CA 94102

RECEIVED  
OCT 14 2011  
REAL ESTATE DIV.

1650 Mission St.  
Suite 400  
San Francisco,  
CA 94103-2479

Reception:  
415.558.6378

Fax:  
415.558.6409

Planning  
Information:  
415.558.6377

RE: CASE NO. 2011.1063R  
HUNTERS VIEW – CASHMERE PEDESTRIAN PATH

Dear Mr. Updike:

On September 19, 2011, the Department received your request for a General Plan Referral for a permanent public easement across a City-owned property to accommodate a newly designed pedestrian path from Cashmere Street to the head of the newly configured Wills Street as part of the revitalization of Hunters View housing development. The General Plan Referral is required by Section 4.105 of the Charter and Section 2A.53 of the Administrative Code. The project is, on balance, in conformity with the San Francisco General Plan, as described in the attached Case Report (Attachment 2).

Hunters View is located in the Bayview Hunters Point neighborhood, around the intersection of West Point Road and Middle Point Road, and contains (as its initial phase of development) Assessor's Block 4624, Lots 003, 004, 009; 4720, 027. The subject parcel 4720 / 006 fronts on Cashmere Street westward of the Hunters Point boundaries. The parcel would be used for a publicly accessible pedestrian path connecting the currently insular housing project to the Hunters Point Hill street network and the 54 Bus.

The Planning Commission approved the program for Hunters View on June 12, 2008 by Motion Number 17621, Case No. 2007.0168CTZ. This action was followed by Board of Supervisors approval on August 4, 2008 by Ordinance Number 00-08. On December 10, 2008, the Planning Department issued a General Plan Referral Letter finding that street vacation, tentative and final maps, and acceptance of facilities are in conformance with the General Plan. This General Plan Referral is for public easements and public improvements related to the Cashmere pedestrian path not included in the original General Plan Referral.

## CONFORMITY WITH THE GENERAL PLAN

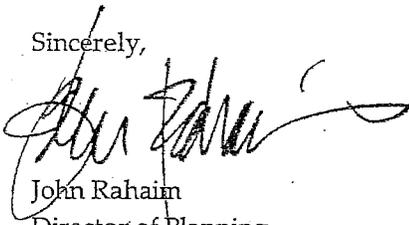
The Cashmere Street pedestrian path would require a public easement across Assessor's Block 4720 Lot 006 (the location of the Sojourner Truth School), as well as a minor easement across Lot 005 (the Jackie Robinson affordable housing).

The new pedestrian path would include a ramp from Cashmere down to the head of a newly configured Wills Street ramping roughly 250 feet long between elevations of 145 feet and 130 feet. It would feature landscaping ground cover, shrubs and trees, pedestrian lights and accessible hand rails. The project would include removing existing metal spiked fences on its north, and relocating a small section of existing fencing along the Sojourner Truth School playground, thereby removing a minor amount of square footage from within the daycare open space. Except for the portion being removed and replaced, the existing fencing around the playground is outside of the scope of the project

On October 6, 2011 the Department determined that the project was evaluated in the Hunters View Redevelopment Project Environmental Impact Report (Case No. 2007.0168E), which was certified on June 12, 2008.

The project has been reviewed for consistency with the General Plan policies and with the Eight Priority Policies of the Planning Code Section 101.1 and the findings are attached (Attachment 2).

Sincerely,



John Rahaim  
Director of Planning

Attachments:

1. General Plan Case Report
2. Planning Code Sec. 101.1(b) Priority Policies

cc M. Snyder

*I:\Citywide\General Plan\General Plan Referrals\2011\2011.1063R Hunters View 1 Cashmere Street Ped Path.doc*

## RECREATION AND OPEN SPACE ELEMENT

### OBJECTIVE 2

DEVELOP AND MAINTAIN A DIVERSIFIED AND BALANCED CITYWIDE SYSTEM OF HIGH QUALITY PUBLIC OPEN SPACE.

### OBJECTIVE 4:

PROVIDE OPPORTUNITIES FOR RECREATION AND THE ENJOYMENT OF OPEN SPACE IN EVERY SAN FRANCISCO NEIGHBORHOOD.

*The project will include a new pedestrian pathway from the project site to the existing street and open space network.*

## URBAN DESIGN ELEMENT

### OBJECTIVE 1:

EMPHASIS OF THE CHARACTERISTIC PATTERN WHICH GIVES TO THE CITY AND ITS NEIGHBORHOODS AN IMAGE, A SENSE OF PURPOSE AND A MEANS OF ORIENTATION.

### POLICY 1.9

Increase the clarity of routes for travelers.

### OBJECTIVE 4

IMPROVEMENT OF THE NEIGHBORHOOD ENVIRONMENT TO INCREASE PERSONAL SAFETY, COMFORT, PRIDE AND OPPORTUNITY.

### POLICY 4.4

Design walkways and parking facilities to minimize danger to pedestrians.

### POLICY 4.12

Install, promote and maintain landscaping in public and private areas.

### POLICY 4.13

Improve pedestrian areas by providing human scale and interest.

*The pedestrian path will help further divide larger scale blocks into a more manageable scale that is more easy to navigate. The path will feature special paving at its landings, lighting to match lighting elsewhere on the site, and landscaping. Existing intimidating fencing will be removed. These elements will help tie the new neighborhood fabric into existing fabric as well as contribute to a sense of place for Hunters View and Hunters Point Hill.*

## GENERAL PLAN CASE REPORT: ATTACHMENT 1

RE: CASE NO. 2011.1063R  
HUNTERS VIEW – CASHMERE STREET PEDESTRIAN PATH

STAFF REVIEWER: MAT SNYDER

### GENERAL PLAN CONSIDERATIONS

General Plan Objectives, Policies, and Principles are in **bold font**, and staff comments are in *italic font*.

### HOUSING ELEMENT

#### OBJECTIVE 1

**IDENTIFY AND MAKE AVAILABLE FOR DEVELOPMENT ADEQUATE SITES TO MEET THE CITY'S HOUSING NEEDS, ESPECIALLY PERMANENTLY AFFORDABLE HOUSING.**

#### POLICY 1.2

Focus housing growth and infrastructure-necessary to support growth according to community plans. Complete planning underway in key opportunity areas such as Treasure Island, Candlestick Park and Hunter's Point Shipyard.

#### POLICY 1.7

Consider public health objectives when designating and promoting housing development sites.

#### POLICY 1.10

Support new housing projects, especially affordable housing, where households can easily rely on public transportation, walking and bicycling for the majority of daily trips.

**OBJECTIVE 12 BALANCE HOUSING GROWTH WITH ADEQUATE INFRASTRUCTURE THAT SERVES THE CITY'S GROWING POPULATION.**

#### POLICY 12.2

Consider the proximity of quality of life elements, such as open space, child care, and neighborhood services, when developing new housing units.

*The Cashmere pedestrian path will help achieve these objectives and policies by putting in place infrastructure that will better enable residents, workers, and visitors get around more easily by biking, walking, and by using public transportation by providing greater connectivity between the development and existing street grid, including a direct path to the Muni Bus Route 54.*

The proposal is   X   in conformity \_\_\_\_\_ not in conformity with the General Plan.

## EIGHT PRIORITY POLICIES FINDINGS: ATTACHMENT 2

RE: CASE NO. 2011.1063R  
HUNTERS VIEW – CASHMERE STREET PEDESTRIAN PATH

The subject project is found to be consistent with the Eight Priority Policies of Planning Code Section 101.1 in that:

1. The project would have no adverse effect on neighborhood serving retail uses or opportunities for employment in or ownership of such businesses.

*The proposed project will not affect neighborhood serving uses or opportunities for employment or ownership, because there are not any existing neighborhood serving retail uses on the project site.*

2. The project would have no adverse effect on the City's housing stock or on neighborhood character.

*The pedestrian path would enhance neighborhood character by providing greater connectivity between a new street grid and an existing street grid. The Hunters View Housing project, which the path will serve, will provide upwards of 800 dwelling units.*

3. The project would have no adverse effect on the City's supply of affordable housing.

*The pedestrian path will serve a development that includes one-to-one replacement of all existing affordable housing units, as well as the development of new rental and ownership affordable housing units.*

4. The project would not result in commuter traffic impeding Muni transit service or overburdening the streets or neighborhood parking.

*The project would not impact roadway traffic or parking.*

5. The project would not adversely affect the industrial or service sectors or future opportunities for resident employment or ownership in these sectors.

*That project does not involve industrial or service sector land uses.*

6. The project would have no adverse affect the City's preparedness to protect against injury and loss of life in an earthquake.

*The project will create greater connectivity between the new Hunters View street grid and existing Hunters View Hill street grid. The path will be built to City standards.*

7. The project would have no adverse affect on landmarks or historic buildings.

*No historic structures are involved in this project.*

8. The project would have no adverse affect on parks and open space or their access to sunlight and vistas.

*The project does not involve existing parks or open space. The path will create greater connectivity to new open spaces being planned in conjunction with Hunters View.*

*I:\Citywide\General Plan\General Plan Referrals\2008\2007.0168R Hunters View 227 W. Point Road.doc*