

INFILL INFRASTRUCTURE GRANT (IIG) CATALYTIC QUALIFYING INFILL AREA (CQIA)

2023 ROUND 10 AWARD OF
\$45,000,000 FOR:

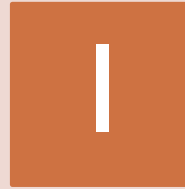
- INDIA BASIN,
- SUNNYDALE HOPE SF, AND
- TREASURE ISLAND

BUDGET AND FINANCE
COMMITTEE

NOVEMBER 5, 2025

ROBERT BACA, DIRECTOR
RYAN VANZUYLEN, SENIOR PROJECT MANAGER
ANDREW STRONG, PROJECT MANAGER

MAYOR'S OFFICE OF HOUSING AND COMMUNITY DEVELOPMENT



File #
251054

Accept and Expend resolution for
Infill Infrastructure Grant (IIG) funds
for \$45,000,000

IIG A&E RESOLUTION BUDGET AND FINANCE COMMITTEE AGENDA ITEM

INFILL INFRASTRUCTURE GRANT (IIG) CATALYTIC QUALIFYING INFILL AREA (CQIA)

- Administered through the California Department of Housing and Community Development
- To promote infill housing development by providing financial assistance for Capital Improvement projects that are an integral part of, or necessary to facilitate the development of affordable and mixed income housing.
- In 2023, City of San Francisco responded to state-issued Request for Proposals (RFP) and awarded \$45,000,000 to support infrastructure improvements. The City plans to apply these funds to India Basin, Sunnydale HOPE SF, and Treasure Island





INDIA BASIN

- Development Sponsors are Build SF and BMB Company
- ~1,575 total new homes
- ~394 affordable units (25%)
- ~209,000k sq. ft of commercial space
- 14 acres of public space
- Transit plaza, increased Muni service, and onsite pedestrian and bicycle infrastructure

INDIA BASIN PHASE I (HD I)

- 392 unit's total
- 181 affordable units
- 45,200 sf of commercial retail
- 5 acres of public park
- New streets, utilities, and transportation improvements

TIMELINE

- Capital Improvements begin by April 2026
- Housing Construction begins by Aug 2027
- Permanent Financing Commitments by Aug 2027





SUNNYDALE HOPE SF

- Development Sponsor is Mercy Housing
- Active redevelopment of the existing Sunnydale-Velasco Housing Authority site through the City's HOPE SF program
- ~1,770 residential units
 - 775 replacement affordable units
 - 200 additional affordable units
 - 694 market rate units
- New streets, utilities, and infrastructure
- 3.5 acres of new open space
- 60,000 square feet of new neighborhood-serving retail and community space

SUNNYDALE HOPE SF PHASE III HOUSING

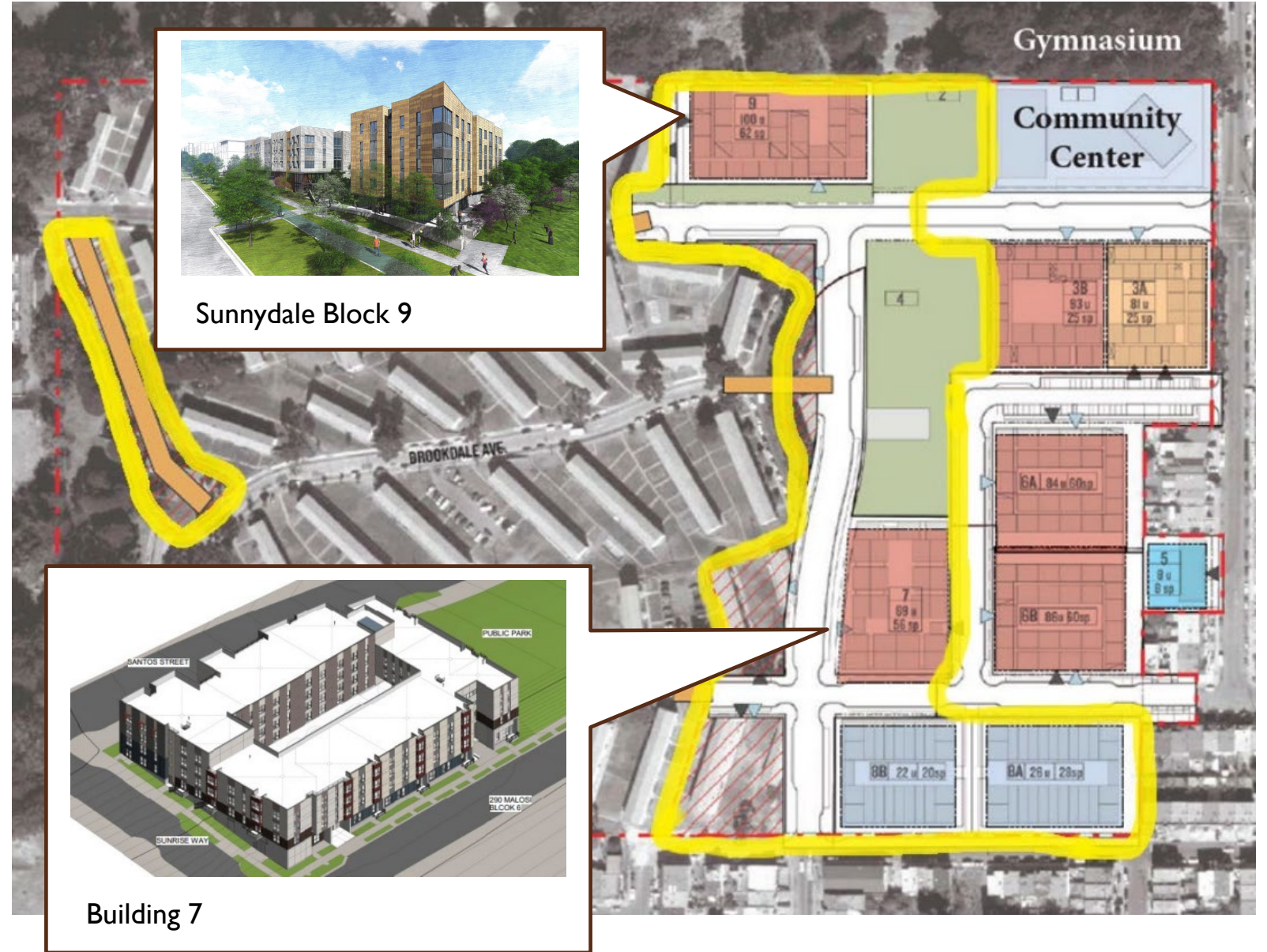
BLOCK 7 (HD 2)

BLOCK 9 (HD 3)

- 184 affordable units
- 2 market rate parcels
- 2 new open spaces
- New streets, utilities, and transportation improvements

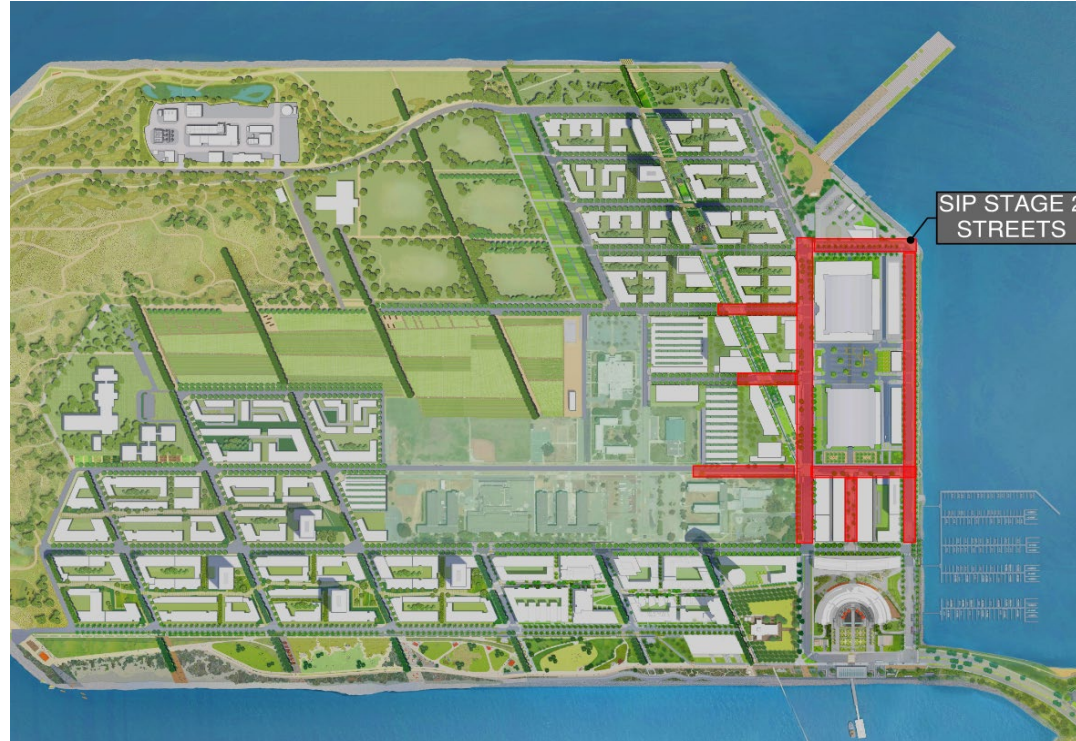
TIMELINE

- Infrastructure and the two housing projects are currently in construction



TREASURE ISLAND STAGE 2 INFRASTRUCTURE

- Stage 2 utilities and building demolition started in 2022, followed by the first phase of geotechnical improvements completed in 2024
- Stage 2 second phase geotechnical work is ongoing and expected to be completed in 2027
- Stage 2 street improvement infrastructure construction will start in 2026 and continue through 2029



TREASURE ISLAND AFFORDABLE HOUSING

EI.2 SENIOR

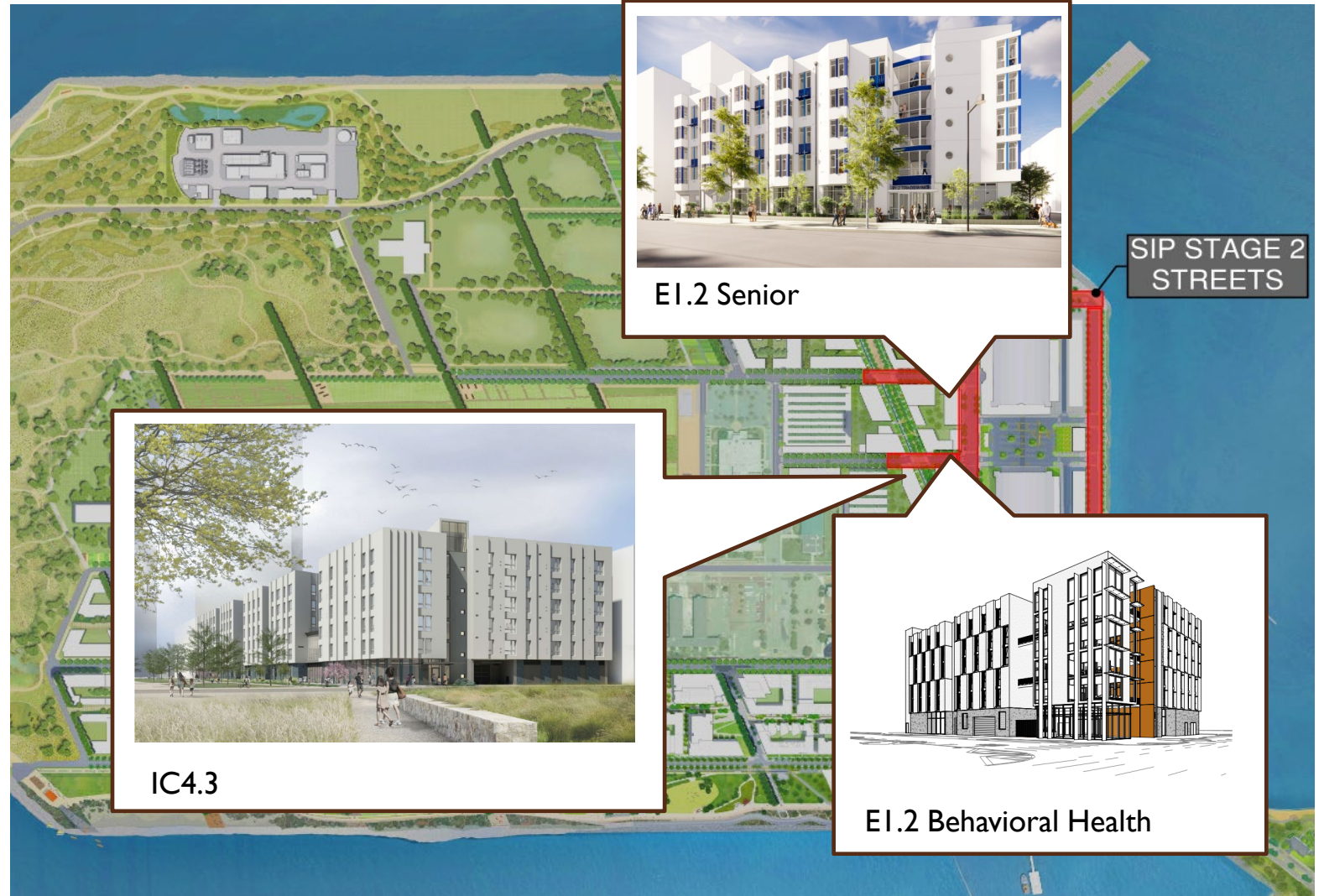
- 100 affordable senior units
- HUD 202, TIDA + MOHCD gap funding
- Pad and utilities through TI Stage 2 infra
- Shared site access & fire road with behavioral health

EI.2 BEHAVIORAL HEALTH

- 6-story, 68K SF facility with 256 beds
- \$72M total, DPH Prop A bond + TIDA Developer Subsidy + CDSS CCE
- Start 2027 after EI.2 pad and fire-road complete

IC4.3

- 150 family units + childcare center
- AHSC application under review
- TIDA, MOHCD gap funds
- Stage 2 subphase 1 pad cert, fire-lane, and Eastside Commons completion by TIDA/TICD





Thank you