

File No. 140908

Committee Item No. 1  
Board Item No. \_\_\_\_\_

## COMMITTEE/BOARD OF SUPERVISORS

### AGENDA PACKET CONTENTS LIST

Committee: Land Use & Development

Date Dec. 8, 2014

Board of Supervisors Meeting

Date \_\_\_\_\_

#### Cmte Board

- |                                     |                          |  |
|-------------------------------------|--------------------------|--|
| <input type="checkbox"/>            | <input type="checkbox"/> | Motion                                       |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | Resolution                                   |
| <input type="checkbox"/>            | <input type="checkbox"/> | Ordinance                                    |
| <input type="checkbox"/>            | <input type="checkbox"/> | Legislative Digest                           |
| <input type="checkbox"/>            | <input type="checkbox"/> | Budget and Legislative Analyst Report        |
| <input type="checkbox"/>            | <input type="checkbox"/> | Youth Commission Report                      |
| <input type="checkbox"/>            | <input type="checkbox"/> | Introduction Form                            |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | Department/Agency Cover Letter and/or Report |
| <input type="checkbox"/>            | <input type="checkbox"/> | MOU  |
| <input type="checkbox"/>            | <input type="checkbox"/> | Grant Information Form                       |
| <input type="checkbox"/>            | <input type="checkbox"/> | Grant Budget                                 |
| <input type="checkbox"/>            | <input type="checkbox"/> | Subcontract Budget                           |
| <input type="checkbox"/>            | <input type="checkbox"/> | Contract/Agreement                           |
| <input type="checkbox"/>            | <input type="checkbox"/> | Form 126 – Ethics Commission                 |
| <input type="checkbox"/>            | <input type="checkbox"/> | Award Letter                                 |
| <input type="checkbox"/>            | <input type="checkbox"/> | Application                                  |
| <input type="checkbox"/>            | <input type="checkbox"/> | Public Correspondence                        |

OTHER (Use back side if additional space is needed)

|                          |                          |       |
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Completed by: Andrea Ausberry Date Dec. 4, 2014

Completed by: \_\_\_\_\_ Date \_\_\_\_\_

1 [Street Encroachment - 157-24<sup>th</sup> Avenue]  
2

3 **Resolution granting revocable permission to Kristina Baker to occupy a portion of the**  
4 **public right-of-way to construct and maintain a portion of a new two car garage, new**  
5 **terraced concrete retaining walls, reconstruct existing public concrete stairway, and**  
6 **install and maintain additional landscaping within the existing sloped and landscaped**  
7 **portion of the 24<sup>th</sup> Avenue public right-of-way, to access and provide off-street parking**  
8 **for the property at 157-24<sup>th</sup> Avenue (Assessor's Block No. 1334, Lot No. 006) and**  
9 **making findings of consistency with the eight priority policies of Planning Code,**  
10 **Section 101.1.**

11  
12 WHEREAS, Pursuant to Public Works Code, Section 786, permission was requested  
13 by Onda Rosa Architecture, on behalf of Kristina Baker, to occupy a portion of the public right-  
14 of-way to construct, install and maintain a portion of a new two car garage, new terraced  
15 concrete retaining walls, reconstruct existing concrete stairway, and install and maintain  
16 additional landscaping within the existing sloped and landscaped portion of the 24<sup>th</sup> Avenue  
17 right-of-way, to access and provide off-street parking for the subject property, as shown on the  
18 plans, a copy of which is on file in the office of the Clerk of the Board of Supervisors in File  
19 No. 140908; and

20 WHEREAS, The Planning Department, by letter dated June 26, 2014, declared that the  
21 proposed encroachment is in conformity with the General Plan, and with the eight priority  
22 policies of Planning Code, Section 101.1; a copy of said letter is on file with the Clerk of the  
23 Board of Supervisors in File No. 140908, and is incorporated herein by reference; and  
24  
25

1           WHEREAS, The permit and associated encroachment agreement, which are  
2 incorporated herein by reference and attached hereto as Exhibit A, shall not become effective  
3 until:

4           (a) The Permittee executes and acknowledges the permit and delivers said permit to  
5 the City's Controller, and

6           (b) Permittee delivers to the City Controller a policy of insurance provided for in said  
7 agreement and the Controller shall have had approved the same as complying with the  
8 requirement of said agreement. The Controller may, in his discretion, accept, in lieu of said  
9 insurance policy, the certificate of an insurance company certifying to the existence of such a  
10 policy; and,

11           (c) The City Controller records the permit and associated agreement in the office of the  
12 County Recorder; and

13           WHEREAS, The Permittee, at the Permittee's sole expense and as is necessary as a  
14 result of this permit, shall make the following arrangements:

15           (a) To provide for the support and protection of facilities belonging to the Department of  
16 Public Works, San Francisco Water Department, the San Francisco Fire Department and  
17 other City Departments, and public utility companies; and

18           (b) To remove or relocate such facilities and provide access to such facilities for the  
19 purpose of constructing, reconstructing, maintaining, operating, or repairing such facilities;  
20 and

21           WHEREAS, The Permittee shall procure the necessary permits from the Central Permit  
22 Bureau, Department of Building Inspection, and/or Bureau of Street-Use and Mapping,  
23 Department of Public Works, and pay the necessary permit fees and inspection fees before  
24 starting work; and

25

1           WHEREAS, The permit shall be conditioned upon payment of an annual public right-of-  
2 way occupancy assessment pursuant to Public Works Code Section 786 and the initial  
3 amount of said fee shall be \$1,894.00; and

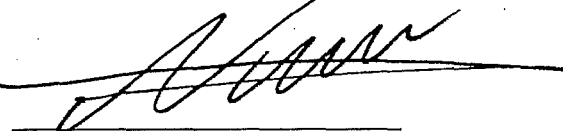
4           WHEREAS, No structure shall be erected or constructed within said street right-of-way  
5 except as specifically permitted herein; and

6           WHEREAS, The Permittee shall assume all costs for the maintenance and repair of the  
7 encroachments and no cost or obligation of any kind shall accrue to the City and County of  
8 San Francisco by reason of this permission granted; now, therefore be it

9           RESOLVED, That pursuant to Public Works Code, Section 786, the Board of  
10 Supervisors hereby grants permission, revocable at the will of the Director of the Department  
11 of Public Works, to Kristina Baker, to occupy a portion of the public right-of-way to construct,  
12 and maintain a portion of a new two car garage, new terraced concrete retaining walls  
13 reconstruct existing public concrete stairway, and install and maintain additional landscaping  
14 within the existing sloped and landscaped portion of the 24<sup>th</sup> Avenue right-of-way, to access  
15 and provide off-street parking for the property at 157-24<sup>th</sup> Avenue (Assessor's Block No.1334,  
16 Lot No. 006).; and, be it

17           FURTHER RESOLVED, That this Board adopts the findings of the Planning  
18 Department which determined that said permit is consistent with the priority policies of  
19 Planning Code, Section 101.1.

20  
21 APPROVED:

22   
23 \_\_\_\_\_

24 Mohammed Nuru

25 Director of Public Works



Office of the Director  
1 Dr. Carlton B. Goodlett Place, City Hall, Room 348  
San Francisco, CA 94102  
(415) 554-6920 ■ www.sfdpw.org

Edwin M. Lee, Mayor  
Mohammed Nuru, Director



August 25, 2014

Angela Calvillo, Clerk of the Board  
Board of Supervisors  
1 Dr. Carlton B. Goodlett Place, Room 244  
San Francisco, CA 94102-4689

RECEIVED  
BOARD OF SUPERVISORS  
SAN FRANCISCO  
2014 AUG 28 AM 8:59  
*AC*

Dear Ms. Calvillo:

Attached please find an original, two copies, and one electronic copy of a proposed resolution for Board of Supervisors consideration. This resolution would grant revocable permission to Kristina Baker to occupy a portion of the public right-of-way to construct and maintain a portion of a new two-car garage, new terraced concrete retaining walls, reconstruct existing public concrete stairway, and install and maintain additional landscaping at 157 24<sup>th</sup> Avenue. This encroachment would provide off-street parking within a proposed new garage at the subject property. The resolution would also make findings of consistency with the priority policies of Planning Code Section 101.1.

Pursuant to Section 786 of the Public Works Code, Onda Rosa Architecture, on behalf of the property owner, Kristina Baker, requested to reinstate the process for a Major Encroachment Permit in a letter dated November 21, 2013. The Interdepartmental Staff Committee on Traffic and Transportation (ISCOTT) originally heard this request on February 23, 2006 and recommended it for approval. The Planning Department, by letter dated June 26, 2014, declared that the proposed encroachment is in conformity with the General Plan and with the priority policies of Planning Code Section 101.1.

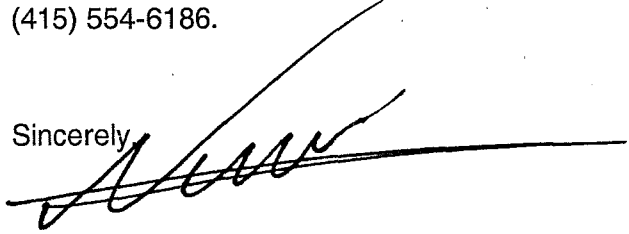
The following is a list of accompanying documents (three sets):

- Letter from Onda Rosa Architecture, dated November 21, 2013.
- Planning Department General Plan Referral, dated June 26, 2014.
- DPW Order No. 182870 approved August 19, 2014, recommending approval of the proposed Major Encroachment.
- A proposed plan for the Major Encroachment Permit.
- Signed and Notarized Street Encroachment Agreement.



The following person may be contacted regarding this matter: Mr. Nick Elsner of BSM at (415) 554-6186.

Sincerely



Mohammed Nuru  
Director of Public Works

Attachments: As Noted





Edwin M. Lee, Mayor  
Mohammed Nuru, Director

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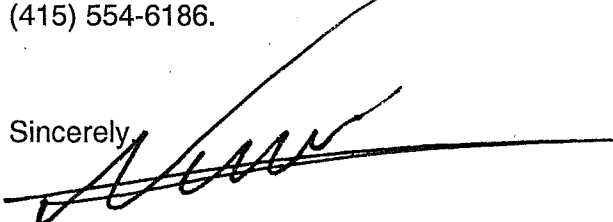
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Sincerely,



Mohammed Nuru  
Director of Public Works

Attachments: As Noted





# O N D A R O S A

129 Jasper Place  
San Francisco, CA 94133  
Phone/Fax: 415-362-7441

Architecture  
Urban Design  
Space Planning  
Interior Design

November 21, 2013

Ms. Barbara L. Moy, Bureau Manager  
Department of Public Works  
Bureau of Street-Use and Mapping  
1155 Market Street, 3rd Floor  
San Francisco, CA 94103  
(415) 554-5810 (Phone)  
(415) 554-6161 (Fax)

RECEIVED  
NOV 26 2013

PERMIT SECTION

RE: Request for Major Sidewalk  
Encroachment at 157 24<sup>th</sup> Ave  
O.R. Project #2004.28

Dear Ms. Moy:

This letter is a request to reinitiate the proceedings to obtain a major sidewalk encroachment at 157 24<sup>th</sup> Ave, located in the Clay Park neighborhood (North of Lake Street). This process was underway in 2005 with Encroachment Permit # 05ME-0007, some approvals were obtained, but the overall project was stopped due the recessions and personal issues.

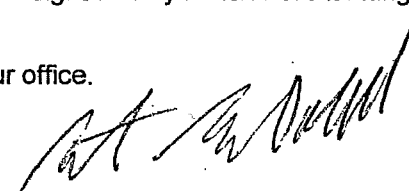
The current Project Description remains consistent with the 2005 proposal. It consists of Constructing a new 2-car garage and driveway with new curb cut. The sidewalk will go over the garage and exist at its current elevation width and slope. The garage door and approximately 15' of garage will be in the public right of way, but below the sidewalk. An existing stair up from the street to the public sidewalk will be reconstructed and terraced retaining walls and planting shall be reconstructed in an improved format to the existing landscape. The two properties to the North have major Encroachments. 155 - 24<sup>th</sup> Avenue (Lots 32-37 block 1334) has an encroachment that was accomplished years ago with a "Street Vacation" and this vacated area is now known as lot 38 / block 1334. Another encroachment exists two doors north at 151-153 - 24th Avenue (Lot 004 / block 1334) and is currently under construction. This was accomplished as a Major Sidewalk Encroachment under DPW/BSM Res. No. 746-03 (DBI App. # 200301175472.

Enclosed you will find

- ✓ Application with all blanks filled in and signed by City Agency with jurisdiction over property or project
- ✓ Map showing adjacent properties
- ✓ Site Plan
- ✓ Architectural floor plans
- ✓ Elevations of proposed project/site
- ✓ Photographs of project/site
- ✓ Check payable to Planning Department
- ✓ Letter authorizing agent to sign application
- ✓ Draft outlining compliance with eight Priority Policies of Planning Code Section 101.1

I will look forward to hearing from your office.

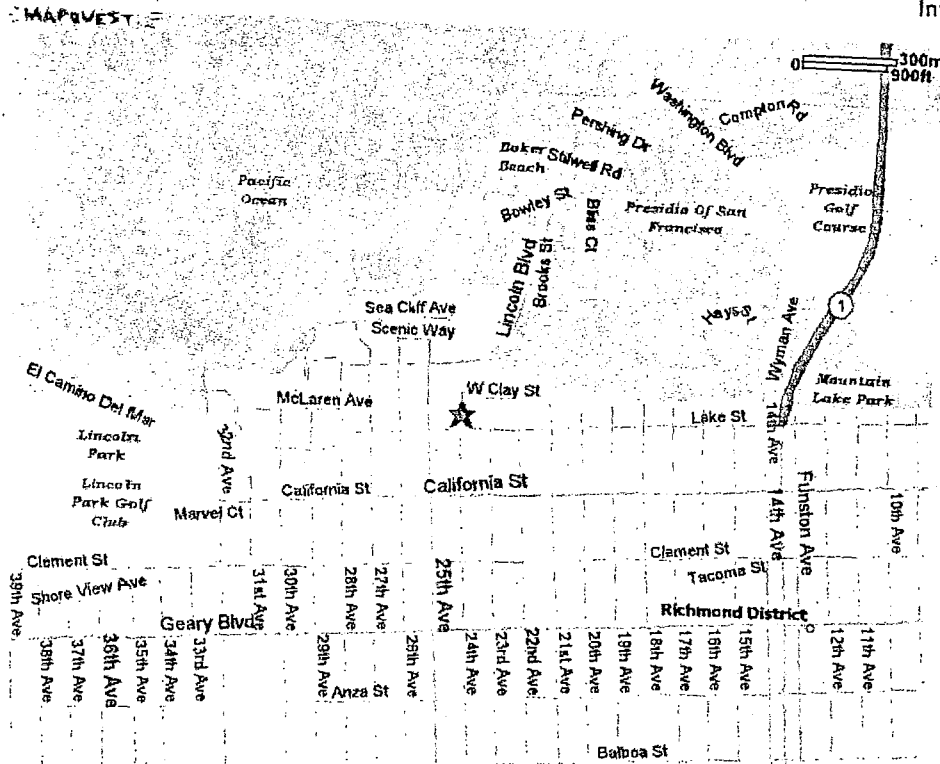
Sincerely,  
Brent McDonald, Architect C-24017



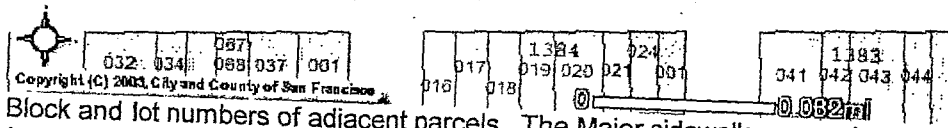
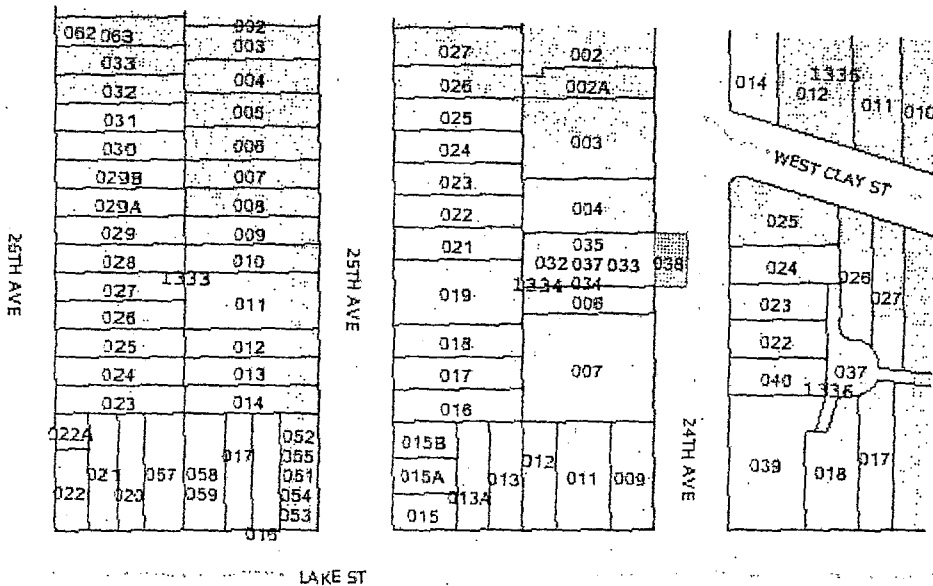
# O N D A R O A

129 Jasper Place  
 San Francisco, CA 94133  
 Phone/Fax: 415-362-7441

Architecture  
 Urban Design  
 Space Planning  
 Interior Design



Vicinity Map for 157 - 24<sup>th</sup> Avenue (west side of 24<sup>th</sup>)



Block and lot numbers of adjacent parcels. The Major sidewalk encroachment will occur in front of lot 006 / block 1334 commonly known as 157 - 24<sup>th</sup> Avenue

# O N D A R O S A

129 Jasper Place  
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Architecture  
Urban Design  
Space Planning  
Interior Design



LOOKING WEST FROM 24<sup>TH</sup> AVENUE TOWARDS 157 – 24<sup>TH</sup>



LOOKING SOUTHWEST FROM 24<sup>TH</sup> AVE. TOWARDS 157 – 24<sup>TH</sup> & CATCHING 155-24<sup>TH</sup>

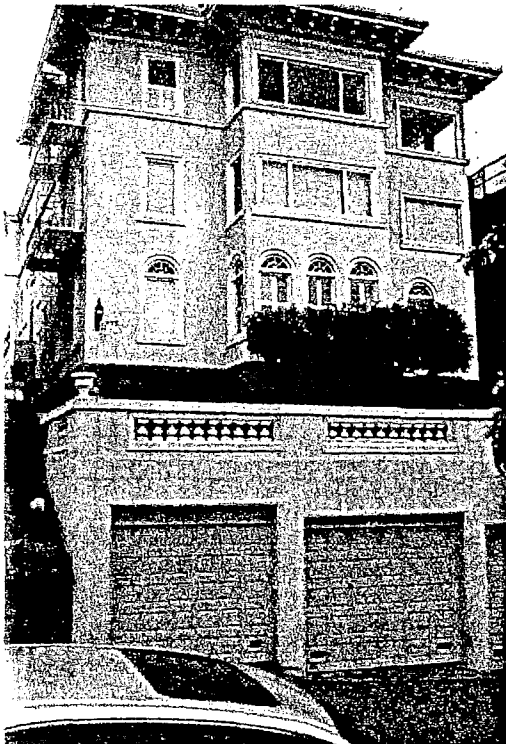
# O N I A R O S A

129 Jasper Place  
San Francisco, CA 94133  
Phone/Fax: 415-362-7441

Architecture  
Urban Design  
Space Planning  
Interior Design



LOOKING SOUTHWEST FROM 24<sup>TH</sup> AVE. TOWARDS THE GARAGES OF 155 - 24<sup>TH</sup> & CATCHING 155 AND 157 24<sup>TH</sup> IN THE BACKGROUND

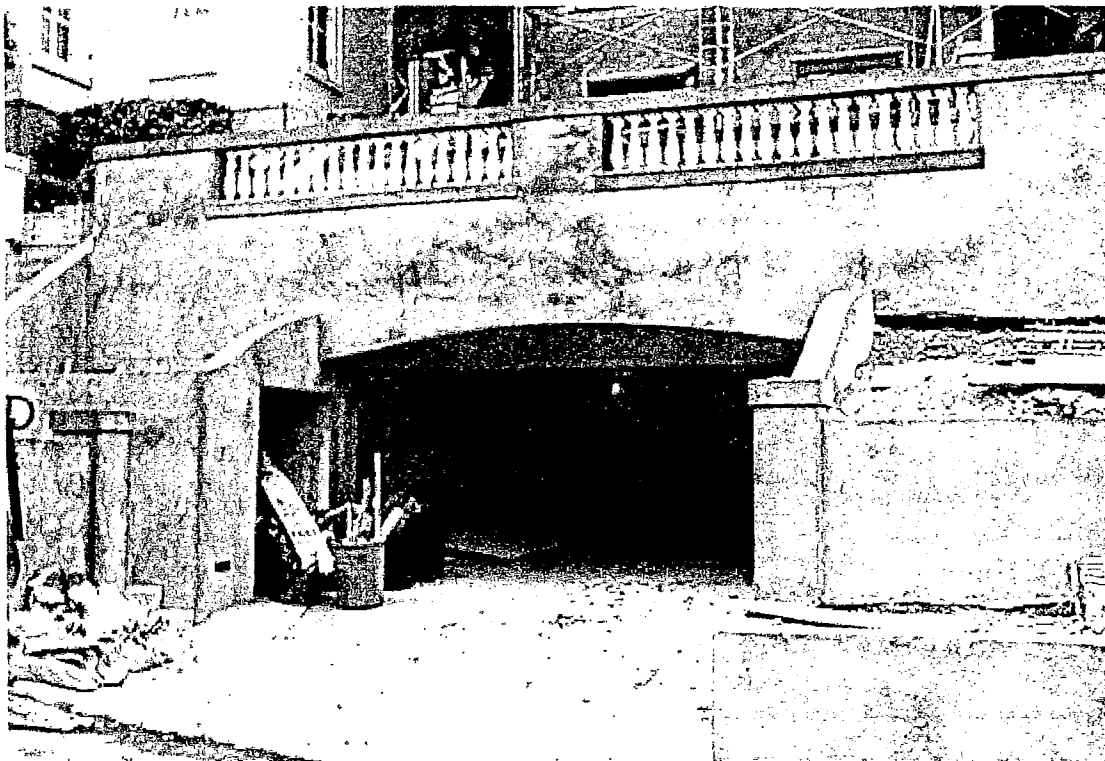


LOOKING WEST FROM 24<sup>TH</sup> AVE. TOWARDS THE GARAGES OF 155 - 24<sup>TH</sup>

# O N L A R O S A

129 Jasper Place  
San Francisco, CA 94133  
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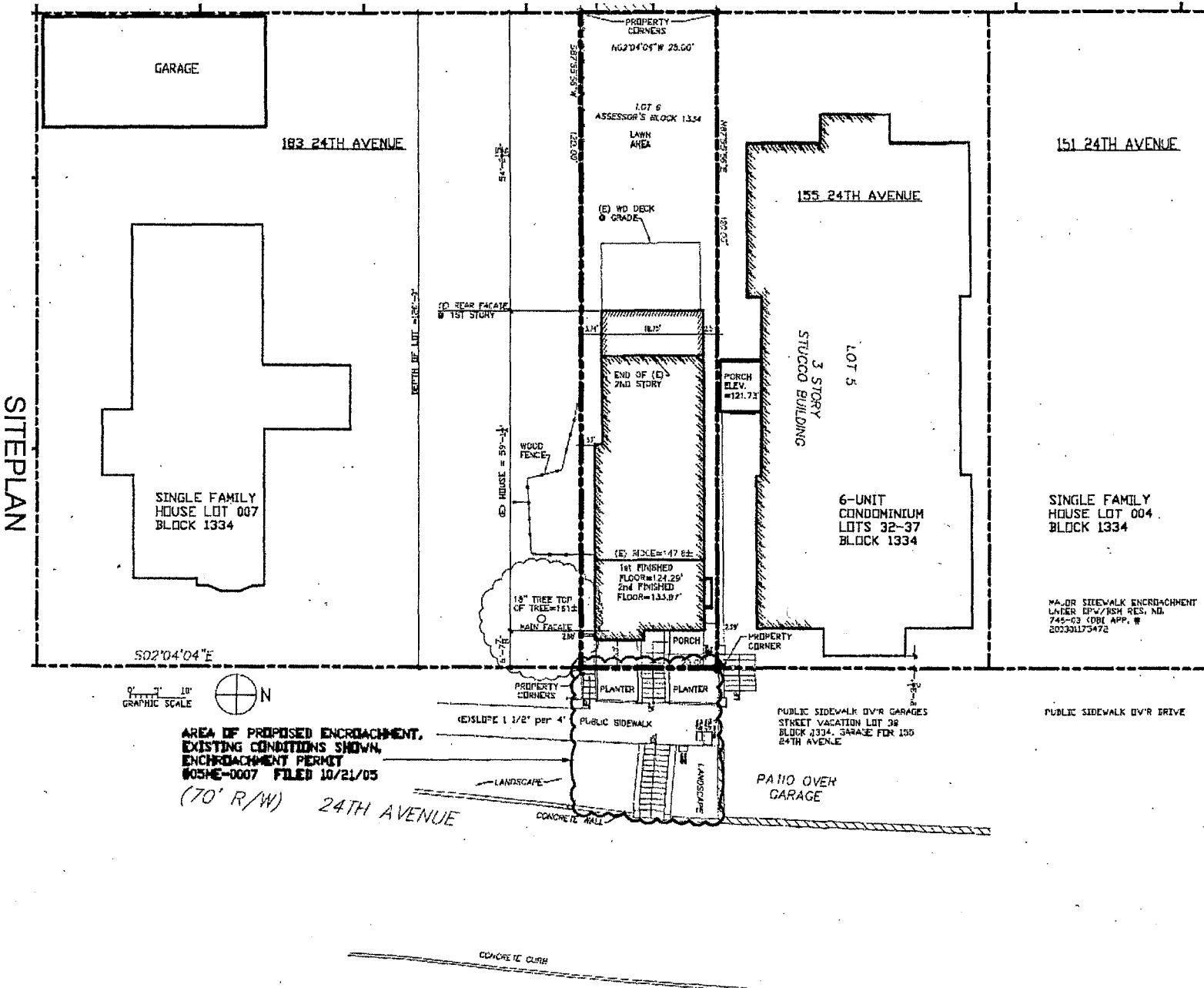
Architecture  
Urban Design  
Space Planning  
Interior Design



LOOKING WEST FROM 24<sup>TH</sup> AVE. TOWARDS GARAGE OF 151 - 24<sup>TH</sup>

129 Jasper Place  
 San Francisco, CA 94133  
 Phone/Fax: 415-362-7441

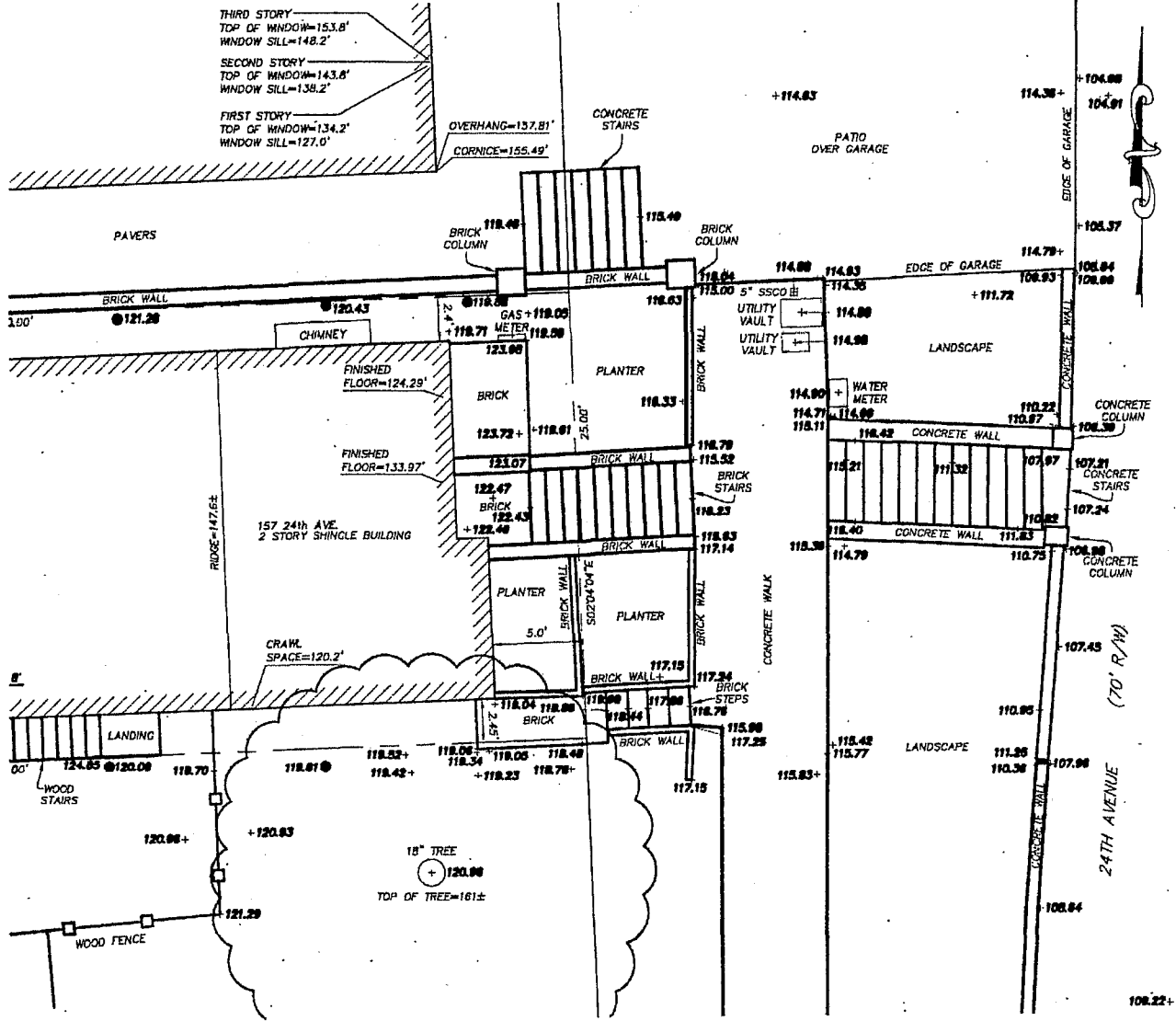
Architecture  
 Urban Design  
 Space Planning  
 Interior Design



# O N L A R O S A

Architecture  
Urban Design  
Space Planning  
Interior Design

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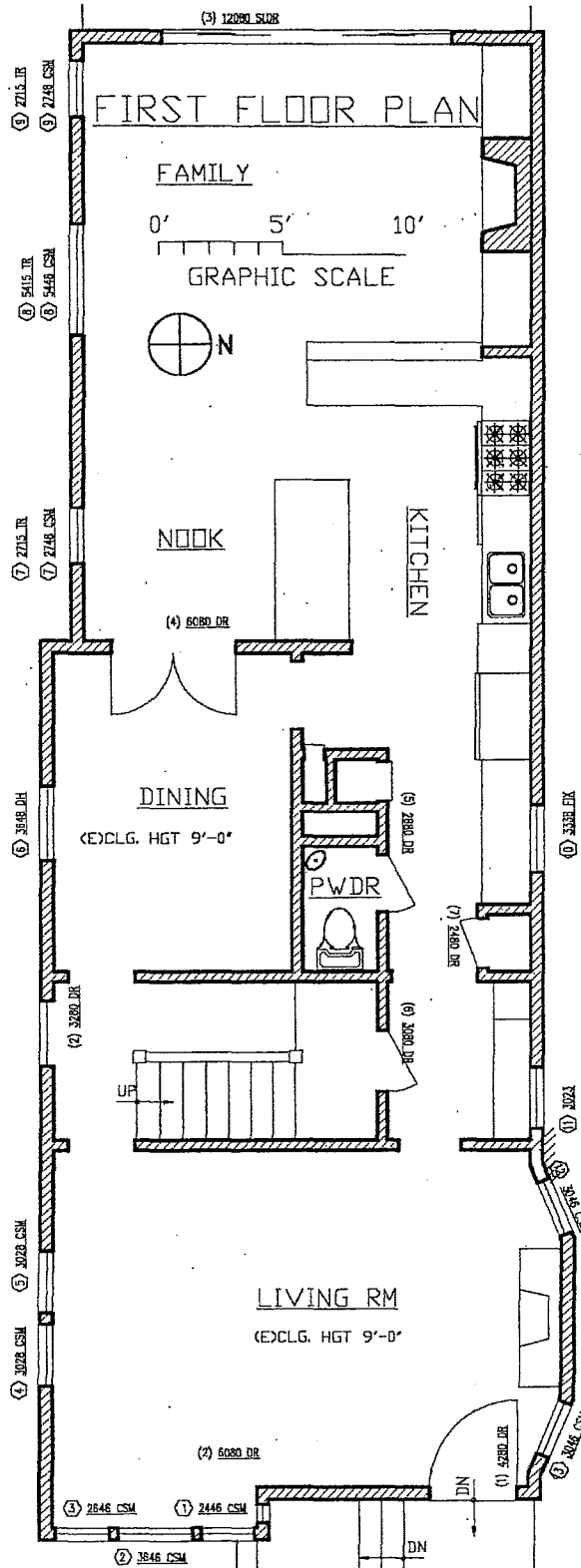


## SURVEY OF FRONTYARD OF 157 -24<sup>TH</sup> AVE

# O N L A R O S A

129 Jasper Place  
San Francisco, CA 94133  
Phone/Fax: 415-362-7441

Architecture  
Urban Design  
Space Planning  
Interior Design



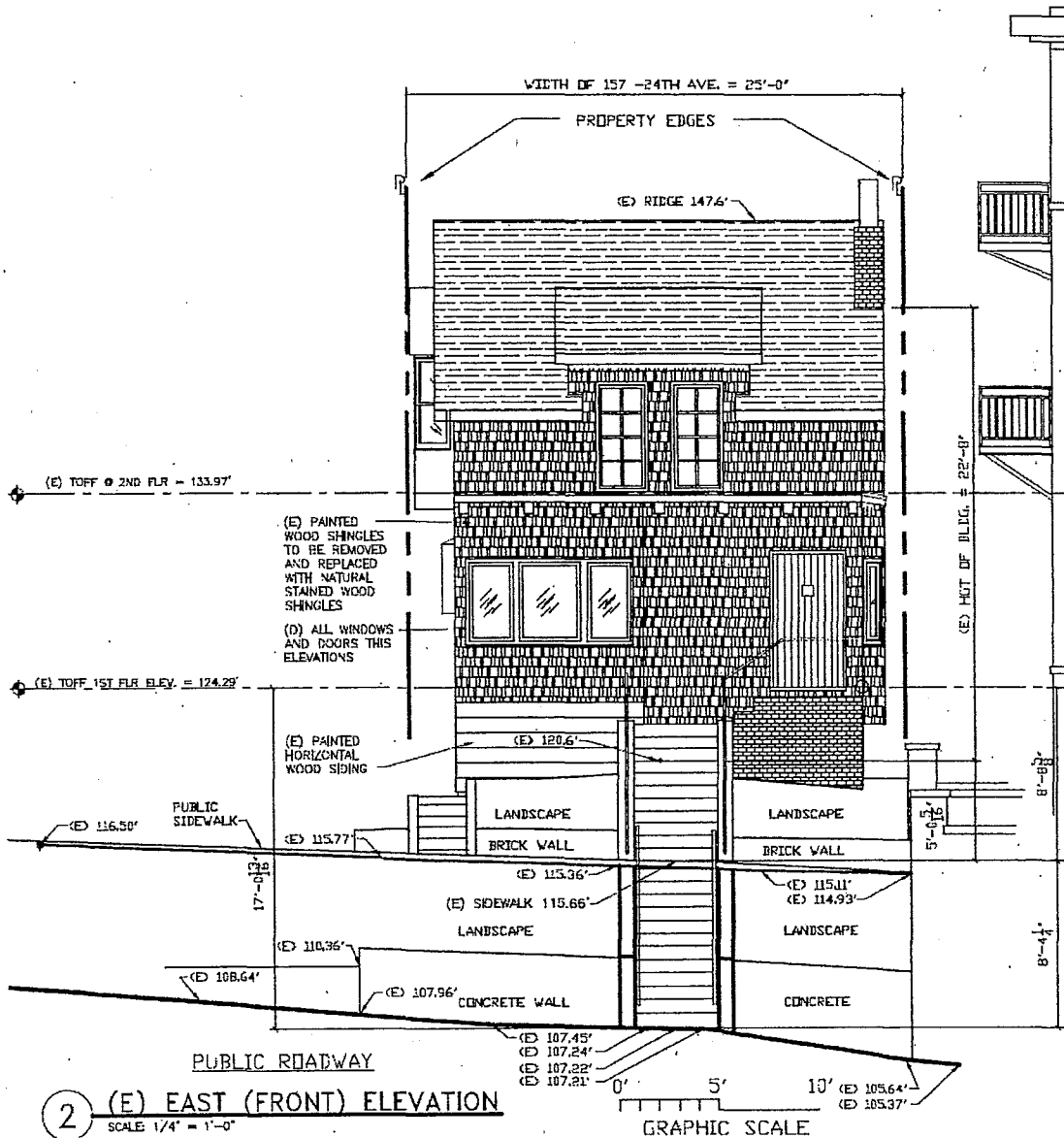
**EXISTING FIRST STORY PLAN**



# O N L A R O S A

129 Jasper Place  
 San Francisco, CA 94133  
 Phone/Fax: 415-362-7441

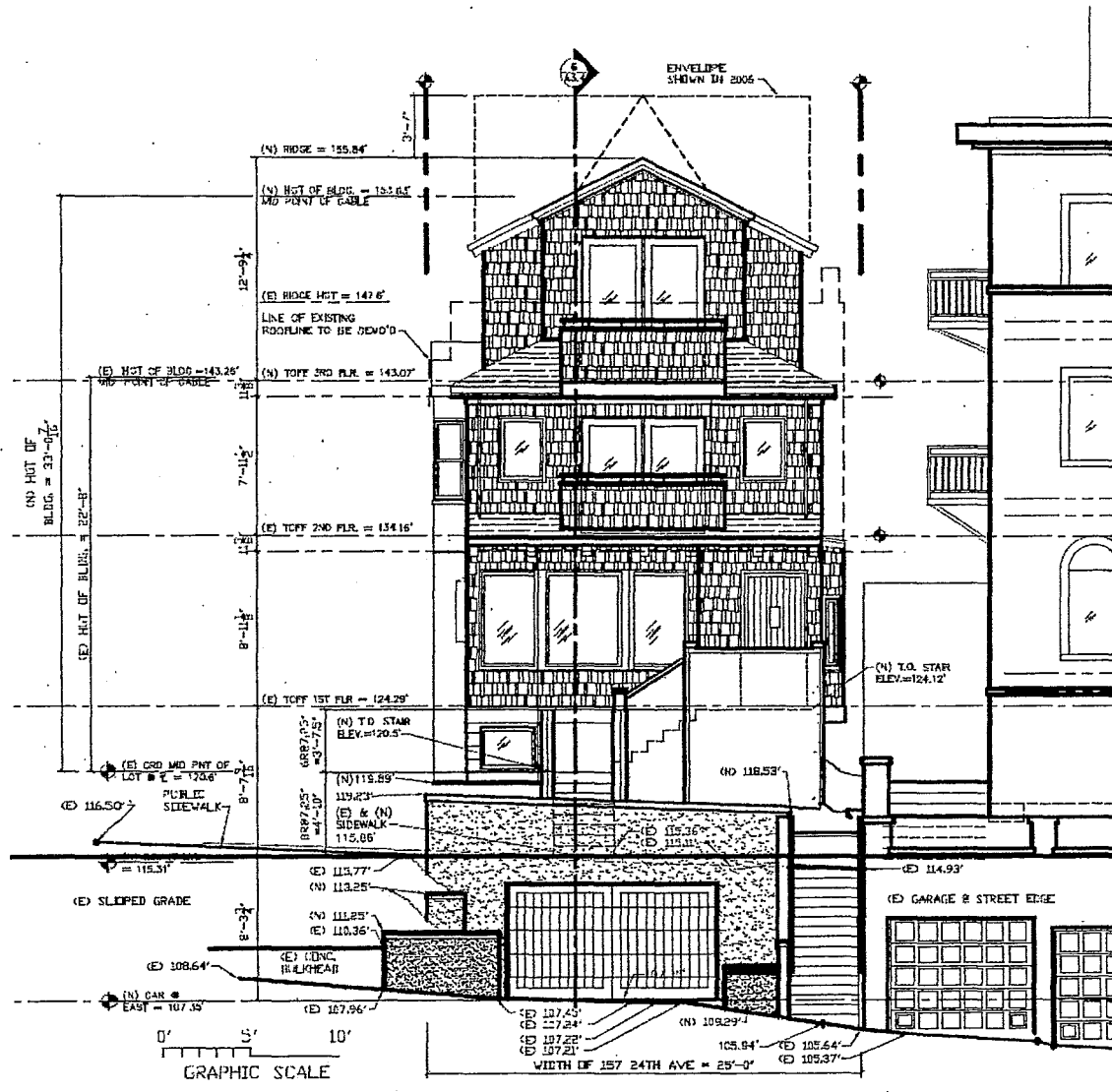
Architecture  
 Urban Design  
 Space Planning  
 Interior Design



EXISTING FRONT ELEVATION

129 Jasper Place  
 San Francisco, CA 94133  
 Phone/Fax: 415-362-7441

Architecture  
 Urban Design  
 Space Planning  
 Interior Design



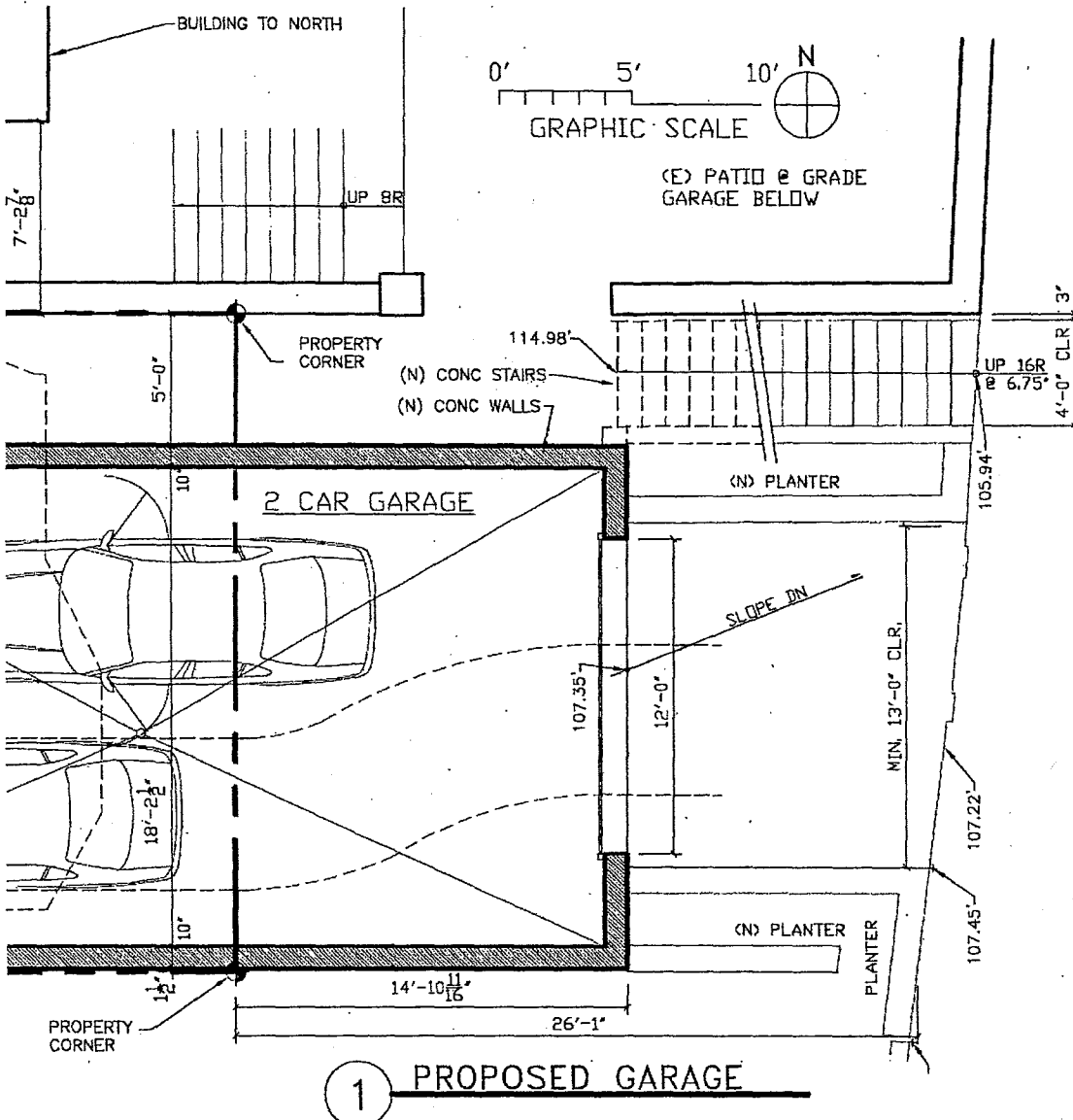
① EAST (FRONT) ELEVATION  
 SCALE 1/4" = 1'-0"

## PROPOSED FRONT ELEVATION

# O N L A R O S A

129 Jasper Place  
San Francisco, CA 94133  
Phone/Fax: 415-362-7441

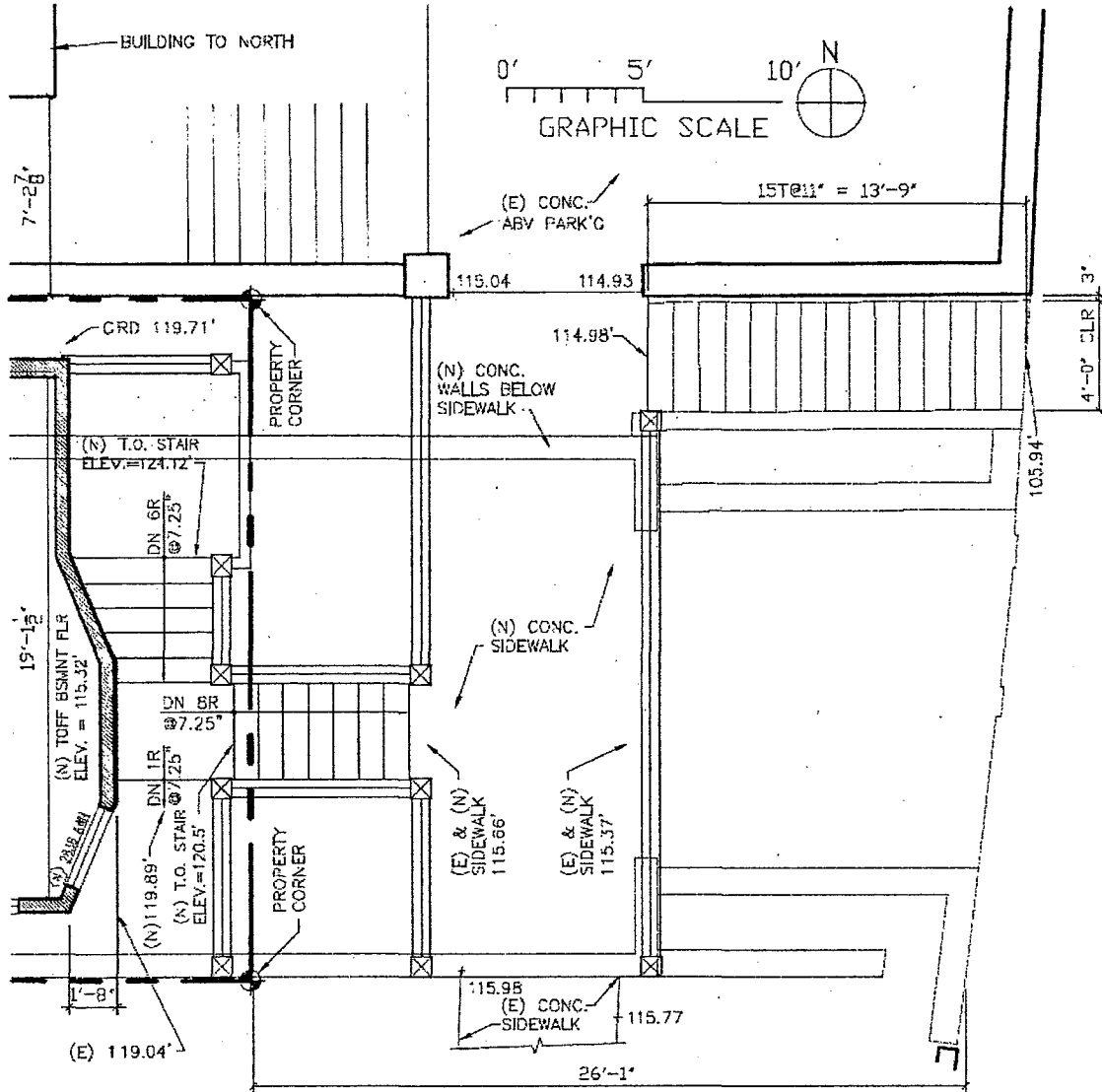
Architecture  
Urban Design  
Space Planning  
Interior Design



# O N L A R O S A

129 Jasper Place  
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Architecture  
 Urban Design  
 Space Planning  
 Interior Design



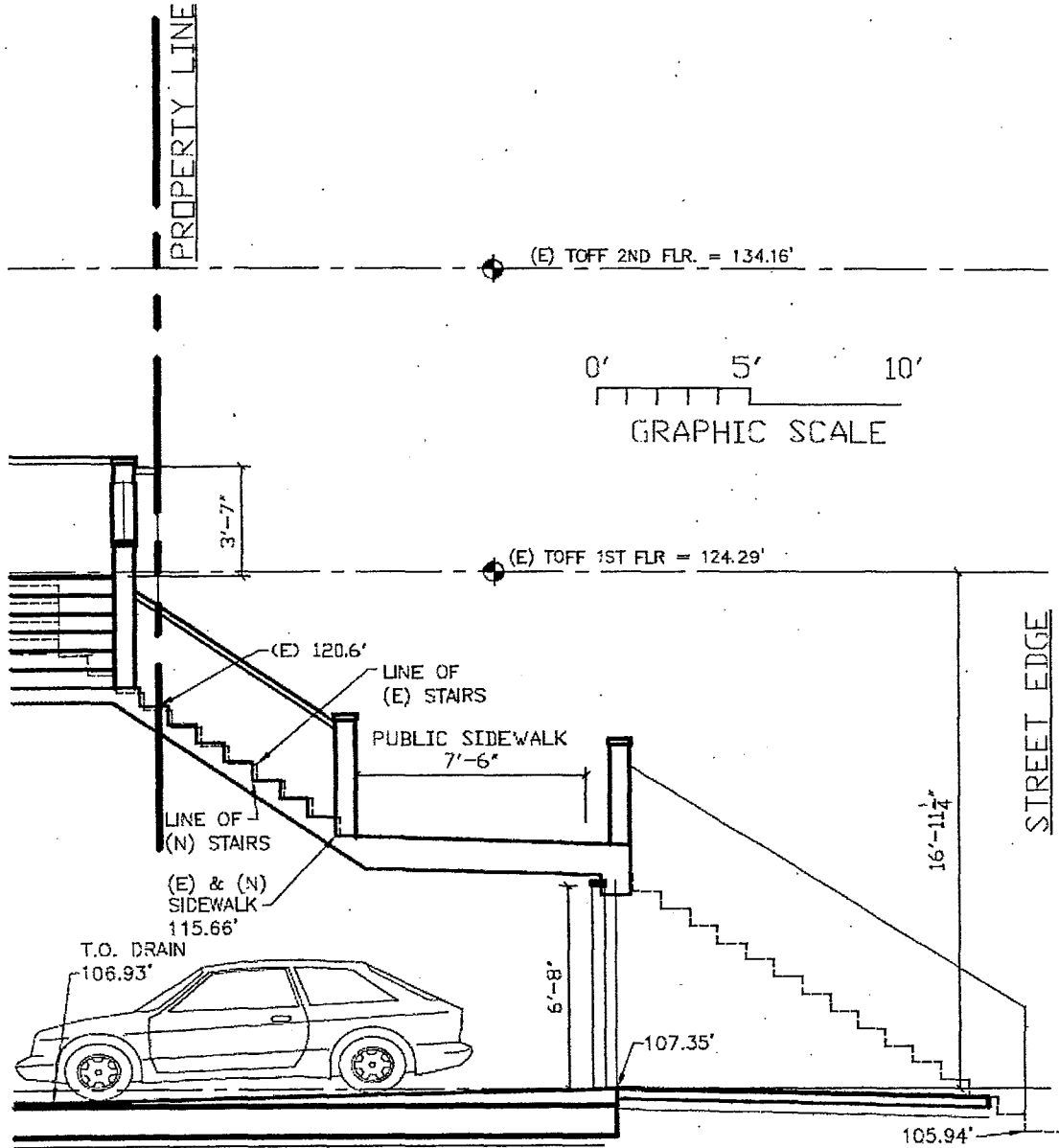
AREA OF PROPOSED ENCROACHMENT, EXISTING CONDITIONS SHOWN. ENCHROACHMENT PERMIT #05ME-0007 FILED 10/21/05

## 2 PROPOSED BASEMENT

# O N L A R O S A

129 Jasper Place  
San Francisco, CA 94133  
Phone/Fax: 415-362-7441

Architecture  
Urban Design  
Space Planning  
Interior Design



6 EAST/WEST SECTION



# SAN FRANCISCO PLANNING DEPARTMENT

## General Plan Referral

1650 Mission St  
Suite 400  
San Francisco,  
CA 94103-2479

Reception:  
415.558.6378

Fax:  
415.558.6409

Planning  
Information:  
415.558.6377

Date: June 26, 2014

Case No. Case Number 2013.1874R  
Construction of Garage Structure and Driveway within Public  
Right-of-Way

Block/Lot No.: 1334 / 006

Project Sponsor: Ms. Kristina Baker  
157 24<sup>th</sup> Avenue  
San Francisco, CA 94121

Referred By: Nick Elsner  
San Francisco Department of Public Works

Staff Contact: Mat Snyder – (415) 575-6891  
[mathew.snyder@sfgov.org](mailto:mathew.snyder@sfgov.org)

Recommendation: Finding the project, on balance, is in conformity with  
the General Plan

Recommended By:   
John Rahaim, Director of Planning

RECEIVED

JUL - 2 2014

PERMIT SECTION

### PROJECT DESCRIPTION

On May 28, 2014, the Department received your request for a General Plan Referral as required by Section 4.105 of the Charter and Section 2A.53 of the Administrative Code.

The proposed project is to construct a garage and a driveway within the 24<sup>th</sup> Avenue public right-of-way. The west sidewalk on subject segment of 24<sup>th</sup> Avenue, (between Lake Street and west Clay Street) is setback by about 15-feet from the 24<sup>th</sup> Avenue roadway and about 10-feet above the roadway. The street features a retaining wall and landscaped embankment between the roadway and sidewalk. Immediately to the north of the subject property are two properties that feature encroachments into the right-of-way. The property immediately north (155 24<sup>th</sup> Avenue) features a garage structure that is 50-foot wide about 15-feet tall and completely takes up the portion of the right-of-way between the roadway and property-line and interrupts the sidewalk. The property to the north of 155 24<sup>th</sup> Avenue

(151 24<sup>th</sup> Avenue) features a driveway that cuts into the embankment to provide access to a garage that is located immediately below the public sidewalk.

The proposal would construct a driveway that would also cut into the embankment to give access to a proposed garage that would be built immediately below the public sidewalk. An existing public stair from the sidewalk to the roadway would be reconfigured to the north of the new garage.

The improvements would require grading a 16-foot by 11.5-foot cut into the embankment to construct the new driveway and stair. The driveway would feature pervious pavers; planters and vines would be installed on the sides of the new stair, new garage and new retaining to help integrate the new garage and driveway with the surrounding landscaping. The driveway would be limited to width of 10-feet. The improvements would also include a new garage structure that would extend from the property-line under the sidewalk and extending about two feet beyond the sidewalk. The garage structure would be about 8-feet tall. The Project Sponsor has worked with Planning staff to minimize the size of the garage and the embankment cut, and to assure landscaping is well integrated into the design.

The project has been reviewed for consistency with General Plan policies and with the Eight Priority Policies of the Planning Code Section 101.1.

## ENVIRONMENTAL REVIEW

The project was found to be exempt from Environmental Review on June 6, 2014.

## GENERAL PLAN COMPLIANCE AND BASIS FOR RECOMMENDATION

The streetscape improvements are consistent with the San Francisco Better Streets Plan.

Following are relevant policies from the General Plan and associated analysis and comment. General Plan Objectives and Policies and in **bold** font, policy text is in regular font, and staff comments are in *italic*.

### URBAN DESIGN ELEMENT - CONSERVATION

**POLICY 2.8** Maintain a strong presumption against the giving up of street areas for private ownership or use, or for construction of public buildings.

Street areas have a variety of public values in addition to the carrying of traffic. They are important, among other things, in the perception of the city pattern, in regulating the scale and organization of building development, in creating views, in affording neighborhood open space and landscaping, and in providing light and air and access to properties.

**POLICY 2.9** Review proposals for the giving up of street areas in terms of all the public values that streets afford.

Every proposal for the giving up of public rights in street areas, through vacation, sale or lease of air rights, revocable permit or other means, shall be judged with the following criteria as the minimum basis for review:

- a. No release of a street area shall be recommended which would result in:
  - (1) Detriment to vehicular or pedestrian circulation;
  - (2) Interference with the rights of access to any private property;
  - (3) Inhibiting of access for fire protection or any other emergency purpose, or interference with utility lines or service without adequate reimbursement;
  - (4) Obstruction or diminishing of a significant view, or elimination of a viewpoint; industrial operations;
  - (5) Elimination or reduction of open space which might feasibly be used for public recreation;
  - (6) Elimination of street space adjacent to a public facility, such as a park, where retention of the street might be of advantage to the public facility;
  - (7) Elimination of street space that has formed the basis for creation of any lot, or construction or occupancy of any building according to standards that would be violated by discontinuance of the street;
  - (8) Enlargement of a property that would result in (i) additional dwelling units in a multi-family area; (ii) excessive density for workers in a commercial area; or (iii) a building of excessive height or bulk;
  - (9) Reduction of street space in areas of high building intensity, without provision of new open space in the same area of equivalent amount and quality and reasonably accessible for public enjoyment;
  - (10) Removal of significant natural features, or detriment to the scale and character of surrounding development.
  - (11) Adverse effect upon any element of the General Plan or upon an area plan or other plan of the Department of City Planning; or
  - (12) Release of a street area in any situation in which the future development or use of such street area and any property of which it would become a part is unknown.

*Permitting a major encroachment permit in the 24<sup>th</sup> Avenue right-of-way would be consistent with these policies. The encroachment would not interrupt the pedestrian or vehicular right-of-way, but would within a portion of the right-of-way not used for travel; there would be no impact to travel lanes or existing parking lanes. The project, if approved, would remove no more than one vehicle parked on the street, and improve pedestrian circulation to houses on this block by constructing a new stairway between the street's roadway and sidewalk which is located about ten feet above the roadway elevation.*



*It would improve both vehicular and pedestrian access to private residences and also improve access by both fire and emergency vehicles and personnel. It would not result in adverse effects described in concerns listed in paragraphs 4 – 12 above. The City would also retain the right to rescind the permit in and return the right-of-way to public use in the future.*

b. Release of a street area may be considered favorably when it would not violate any of the above criteria and when it would be:

- (1) Necessary for a significant public or semi-public use, or public assembly use, where the nature of the use and the character of the development proposed present strong justifications for occupying the street area rather than some other site;
- (2) For the purpose of permitting a small-scale pedestrian crossing consistent with the principles and policies of The Urban Design Element; or
- (3) In furtherance of the public values and purposes of streets as expressed in The Urban Design Element and elsewhere in the General Plan.

*The design of the project, as submitted with the General Plan referral application is sensitive to the site. The public right-of-way slopes steeply up to the private property. The design calls for a shallow short driveway with a narrow curb cut, limiting the loss of on-street parking to no more than one space. The existing sidewalk would continue across and above the proposed garage, at a roof terrace level. The garage width has been kept to an absolute minimum. The project sponsor would also construct a new stairway, a valuable public amenity, which the City would not construct. The cut and garage would be designed to minimize its impact by including pervious pavers, and landscaped green walls on the three sides of the graded cut. The project sponsor and all subsequent property owners would be responsible for maintaining the landscape in perpetuity. If handled sensitively, neighborhood residents and the City as a whole would benefit from this project.*

POLICY 2.10 Permit release of street areas, where such release is warranted, only in the least extensive and least permanent manner appropriate to each case.

In order to avoid the unnecessary permanent loss of streets as public assets, methods of release short of total vacation should be considered in cases in which some form of release is warranted. Such lesser methods of release permit later return of the street space to street purposes, and allow imposition of binding conditions as to development and use of the street area.

*The subject action is for a major encroachment permit and not for a vacation of public right-of-way. As noted above, the parcel immediately to the north has a five-door garage developed in what had been the 24<sup>th</sup> Avenue right-of-way. The garage structure is constructed up to the roadway and features no setback. The proposed Encroachment Permit on the subject property would not further reduce the transportation capacity of 24<sup>th</sup>. In this case, the proposed two-car garage would be set back approximately 10-feet back from the street, and would feature only a single car garage door. The project sponsor has worked with Planning staff to reduce the width of the garage to minimal dimension*

*possible. Landscaping has been incorporated into the design to help maintain the landscaped nature of the bordering west side of 24<sup>th</sup> Avenue. The garage would provide two off-street parking spaces, removing cars from on-street parking demand.*

*The City would retain the right to rescind the Major Encroachment Permit and require the applicant to demolish the improvements constructed in the public right-of-way, including the driveway and underground garage, etc, should it be necessary or desirable for the City to utilize this portion of 24<sup>th</sup> Avenue for transportation or another public use. At this time 24th Avenue is a low-density residential neighborhood. To the north, garage structures have been built immediately adjacent to the roadway so that the roadway cannot be widened; therefore, the need or likelihood that the roadway would be widened at this location is currently low.*

The Subject Project, defined as the proposed Major Encroachment Permit to install a garage and sidewalk and landscaping in a portion of the 24th Avenue right-of- is consistent with the Eight Priority Policies of Planning Code Section 101, as described below:

1. The Project would have no adverse effect on neighborhood serving retail uses or opportunities for employment in or ownership of such businesses.
2. The Project would have no adverse effect on the City's housing stock or on neighborhood character. The project would result in installation of a two-car garage built into the existing embankment, a sidewalk constructed at the garage roof terrace level linked with the sidewalks on the adjacent lots, a new stairway constructed between the street and elevated sidewalk, and landscaped embankment, similar to the existing plantings. The project would benefit neighborhood character by providing additional access to the elevated sidewalk on the west side of 24th Avenue, and the project sponsor would be responsible for maintaining the improvements and plantings on the sloped right-of-way.
3. The Project would have no adverse effect on the City's supply of affordable housing.
4. The Project would not result in commuter traffic impeding Muni transit service or overburdening the streets or neighborhood parking. No Muni service runs on 24th Avenue. The project would result in two off-street parking spaces. Because of the sensitive design approach, and use of a necked-down driveway entry, only a single on-street space would be lost due to the curb cut.
5. The Project would not adversely affect the industrial or service sectors or future opportunities for resident employment or ownership in these sectors.
6. The Project would not adversely affect achieving the greatest possible preparedness against injury and loss of life in an earthquake.

7. The Project would have no negative effect on landmarks or historic buildings. The existing building and property is not historically significant.
8. The Project would have no adverse effect on parks and open space or their access to sunlight and vistas.

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| <b>RECOMMENDATION:</b> <b>Finding the Project, on balance, in-conformity with the General Plan</b> |
|--|

*E:\Citywide\General Plan\General Plan Referrals\2014\xxxxxx.doc*

City and County of San Francisco



Edwin M. Lee, Mayor  
Mohammed Nuru, Director

San Francisco Department of Public Works

Office of the Deputy Director & City Engineer, Fuad Sweiss  
Bureau of Street-Use & Mapping  
1155 Market Street, 3rd Floor  
San Francisco Ca 94103  
(415) 554-5810 [www.sfdpw.org](http://www.sfdpw.org)



Jerry Sanguinetti, Bureau Manager

**DPW Order No: 182870**

APPROVAL OF MAJOR (STREET) ENCROACHMENT PERMIT AT 157 24<sup>th</sup> AVENUE  
(BLOCK 1334, LOT 006).

**APPLICANT:** Brent McDonald, Architect  
Onda Rosa Architecture  
for Kristina Baker, Property Owner  
129 Jasper Place  
San Francisco, CA 94133

**PROPERTY IDENTIFICATION:** Lot 006 in Assessor's Block 1334  
(157 24<sup>th</sup> Avenue)  
San Francisco, CA 94132

**DESCRIPTION OF REQUEST:** Major (Street) Encroachment Permit

**BACKGROUND:**

1. In 2005, the applicants originally filed a request with the Department of Public Works (DPW) to consider approval of a Major (Street) Encroachment Permit to construct approximately fifteen (15) feet of a new two-car garage, and reconstruct an existing stairway, terraced retaining walls and additional landscaping within an existing sloped portion of the public right-of-way, below the existing sidewalk, approximately eight (8) feet above the 24<sup>th</sup> Avenue roadway, per the neighborhood pattern, to provide vehicular access to an existing dwelling at the subject property.
2. The Interdepartmental Staff Committee on Traffic and Transportation (ISCOTT), at its meeting of February 23, 2006, recommended the proposed encroachment for approval.
3. Due to the recession and personal issues, the applicants requested to place this application on hold.
4. On November 26, 2013, the applicants submitted a letter to DPW requesting to proceed with this application.
5. The Planning Department, in response to a referral dated December 11, 2013, by letter dated June 26, 2014, found the project, on balance, in conformity with the General Plan.
6. DPW scheduled a public hearing for July 16, 2014 to consider the proposed encroachment. On July 3, 2014, DPW mailed notices for the hearing to property owners within a 300-foot radius of the subject location.



San Francisco Department of Public Works  
Making San Francisco a beautiful, livable, vibrant, and sustainable city.

7. Hearing Officer Oscar Gee conducted a hearing on the merits of the Major (Street) Encroachment Permit on July 16, 2014.
8. The owner of the subject property and her Architect attended the public hearing and presented testimony on their own behalf, testifying that there are three (3) other properties who have recently, and years ago, obtained approvals and constructed similar garage encroachments along the westerly side of 24<sup>th</sup> Avenue; thereby, requesting that the Hearing Officer recommend the proposed garage encroachment for approval to the Board of Supervisors.
9. Aside from testimony by DPW staff, recommending the subject encroachment for approval, no other testimony was presented at the public hearing in favor or in opposition to the encroachment.
10. The Hearing Officer considered and reviewed all of DPW's files on this encroachment. Based on this information the Hearing Officer made his decision on August 8, 2014 to recommend the proposed Major (Street) Encroachment to the Board of Supervisors for approval.

**HEARING OFFICER RECOMMENDATION:** APPROVAL of the request for a Major (Street) Encroachment Permit based on the following findings:

- FINDING 1.** Recommendation for approval by ISCOTT and Planning Department's determination that the subject encroachment is in conformity with the General Plan.
- FINDING 2.** Said encroachment would provide off-street parking for the existing building, due to existing on-street parking in this area being very limited.
- FINDING 3.** Said encroachment is convenient in conjunction with the owner's use and enjoyment of his property.
- FINDING 4.** Said encroachment shall be subject to an annual assessment fee.

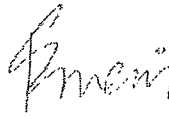
8/19/2014

8/19/2014

X 

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Sanguinetti, Jerry  
Bureau Manager

X 

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Sweiss, Fuad  
Deputy Director and City Engineer

8/19/2014

X Edgar Lopez

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Lopez, Edgar  
for Director, DPW





**CITY AND COUNTY OF SAN FRANCISCO  
DEPARTMENT OF PUBLIC WORKS**

**STREET ENCROACHMENT AGREEMENT**

**WITNESSETH**

In consideration of the adoption by the Board of Supervisors of the City and County of San Francisco of Resolution No. \_\_\_\_\_ at its meeting of \_\_\_\_\_, a true copy of which is attached hereto marked Exhibit A, and by this reference incorporated herein, and subject to all the terms, conditions and restrictions of this Agreement, also by reference incorporated herein, Permittee agrees that in accordance with this agreement and Exhibit A:

1. The permitted encroachment shall constitute a revocable license, shall be personal to Permittee and shall not be assignable or transferable by Permittee, whether separate from or together with any interest of Permittee.

Upon revocation the undersigned permittee, subsequent owners, or their heirs and assignees will within 30 days remove or cause to be removed the encroachment and all materials used in connections with its construction, without expense to the City and County of San Francisco, and shall restore the area to a condition satisfactory to the Department of Public Works.

2. The occupancy, construction and maintenance of the encroachment shall be in the location and as specified by the plans submitted, revised, approved and filed in the Department of Public Works. The permittee, by acceptance of this permit, acknowledges its responsibility to comply with all requirements of the occupancy, construction and maintenance of the encroachment as specified in Public Works Code Section 786 and with the sidewalk maintenance requirements specified in Public Works Code Section 706.
3. The permittee shall verify the locations of City and public service utility company facilities that may be affected by the work authorized by this permit and shall assume all responsibility for any damage to such facilities due to the work. The permittee shall make satisfactory arrangements and payments for any necessary temporary relocation of City and public utility company facilities.
4. In consideration of this Permit being issued for the work described in the application, Permittee on its behalf and that of any successor or assign, and on behalf of any lessee, promises and agrees to perform all the terms of this Permit and to comply with all applicable laws, ordinances and regulations.

Permittee agrees on its behalf and that of any successor or assign to hold harmless, defend, and indemnify the City and County of San Francisco, including, without limitation, each of its commissions, departments, officers, agents and employees (hereinafter collectively referred to as the "City") from and against any and all losses, liabilities, expenses, claims, demands, injuries, damages, fines, penalties, costs or judgments including, without limitation, attorneys' fees and costs (collectively, "claims") of any kind allegedly arising directly or indirectly from (i) any act by, omission by, or negligence of, Permittee or its subcontractors, or the offices, agents or employees of either, while engaged in the performance of the work authorized by this Permit, or while in or about the property subject to this Permit for any reason connected in any way whatsoever with the performance of the work authorized by this Permit, or allegedly resulting directly or indirectly from the maintenance or installation of any equipment, facilities or structures authorized under this Permit, (ii) any accident or injury to any contractor or subcontractor, or any officer, agent, or employee of either of them, while engaged in the performance of the work authorized by this Permit, or while in or about the property, for any reason connected with the performance of the work authorized by this Permit, or arising from liens or claims for services rendered or labor or materials furnished in or for the performance of the work authorized by this Permit, (iii) injuries or damages to real or personal property, good will, and persons in, upon or in any way allegedly connected with the work authorized by this Permit from any cause or claims arising at any time, and potentially falls within this indemnity provision, even if the allegations are or may be groundless, false or fraudulent, which obligations arises at the time such claim is tendered to Permittee by the City and continues at all times thereafter. Permittee agrees that the indemnification obligations assumed under this Permit shall survive expiration of the Permit or completion of work.

Permittee shall obtain and maintain through the terms of this Permit insurance as the City deems necessary to protect the City against claims for damages for personal injury, accidental death and property damage allegedly arising from any work done under this Permit. Such insurance shall in no way limit Permittee's indemnity hereunder. Certificates of insurance, in form and with insurers satisfactory to the City, evidencing all coverages above shall be furnished to the City before commencing any operations under this Permit, with complete copies of policies furnished promptly upon City request.

5. Permittee will, at its own expense, maintain in full force and effect an insurance policy or policies issued by insurers with ratings comparable to A-VIII, or higher that are authorized to do business in the State of California, and that are satisfactory to the City. Approval of the insurance by City shall not relieve or decrease Permittee's liability hereunder.

Permittee must maintain in force, during the full term of the Agreement, insurance in the following amounts and coverages. Workers' Compensation, in statutory amounts, with Employer's Liability limits not less than \$1,000,000 each accident, injury, or illness; and Commercial General Liability Insurance with Limits not less than \$1,000,000 each occurrence and \$2,000,00 in the aggregate for bodily injury and property damage, including contractual liability, personal injury, products and completed operations; and Commercial Automobile Liability insurance with limits not less than \$1,000,000 each occurrence combined single limit or bodily injury and

property damage, including owned, non-owned and hired auto coverage as applicable. Said policies shall include the City and County of San Francisco and its officers and employees jointly and severally as additional insured and shall apply as primary insurance and shall stipulate that no other insurance affected by the City and County of San Francisco will be called on to contribute to a loss covered hereunder.

All policies shall be endorsed to provide thirty (30) days advance written notice to the City of reduction, nonrenewal or material changes in coverages or cancellation of coverages for any reason. Notices shall be sent to the Department of Public Works, Bureau of Street Use and Mapping, 1155 Market Street, 3<sup>rd</sup> Floor, San Francisco, CA, 94103. The permission granted by said resolution shall automatically terminate upon the termination of such insurance. Upon such termination, Permittee shall restore the right-of-way, without expense to the "Personal Injuries", as used herein, shall include wrongful death.

6. The permittee shall obtain a building permit as the Central Permit Bureau, 1660 Mission Street for the construction or alteration of any building.
7. The permittee shall contact the DPW Street Inspection Section (415) 554-7149, at least 72 hours prior to starting work to arrange an inspection schedule.
8. The permittee acknowledge its responsibility to notify any successor owners of the existence of the encroachment and the successor owner's obligation to obtain a permit from the Department of Public Works 60 days in advance of any pending sale of the permittee's adjacent property. The permittee's obligation to remove the encroachment and restore the right-of-way to a condition satisfactory to the Department of Public Works shall survive the revocation, expiration or termination of this permit or sale of permittee's adjacent property.
9. The permittee's right to use City property, as set forth in this permit is appurtenant to the property described as: 157 24TH AVENUE SAN FRANCISCO CA 94121

\_\_\_\_\_ The provisions of the permit shall bind all subsequent purchases and owners of the described property.

Subsequent purchasers and owners shall be subject to the revocation and termination provisions set forth in this permit.

10. The permittee or subsequent owners recognize and understand that this permit may create a possessory interest subject to property taxation and that the permittee or subsequent owner or owners may be subject to the payment of such taxes.
11. The permittee or subsequent owner or owners recognize the recordation of this permit.

All of the provisions of this agreement shall be deemed provisions of said resolution. All of the provisions of said resolution shall be deemed provisions of this agreement.



In witness whereof the undersigned Permittee(s) have executed this agreement this  
16th day of JULY, 2014.

KRISTINA BAKER [Signature]

STATE OF CALIFORNIA )  
 ) SS  
COUNTY OF \_\_\_\_\_ )

On \_\_\_\_\_ before me, \_\_\_\_\_ Notary Public in  
and for said County and State, personally appeared \_\_\_\_\_  
\_\_\_\_\_ personally known to me (or proven to me on the name(s) is/are subscribed to  
the within instrument and acknowledged to me that he/she/they executed the same in  
his/her/their authorized capacity(ies), and that by this by his/her/their signature(s) on the  
instrument the person(s), or entity upon behalf of which the person(s) acted, executed  
the instrument.

WITNESS my hand and official seal (NOTARY STAMP OR SEAL)  
\*SEE CALIFORNIA ACK BELOW.

\_\_\_\_\_  
Notary Public in and for said  
County and State

ACKNOWLEDGMENT

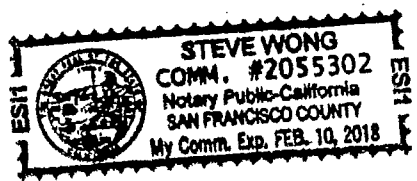
State of California, County of SAN FRANCISCO  
On JULY 16, 2014 before me, STEVE WONG (notary public),  
personally appeared KRISTINA BAKER

who proved to me on the basis of satisfactory evidence to be the  
person(s) whose name(s) is/are subscribed to the within instrument  
and acknowledged to me that he/she/they executed the same in  
his/her/their authorized capacity(ies), and that by his/her/their  
signature(s) on the instrument the person(s), or the entity upon  
behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State  
of California that the foregoing paragraph is true and correct.

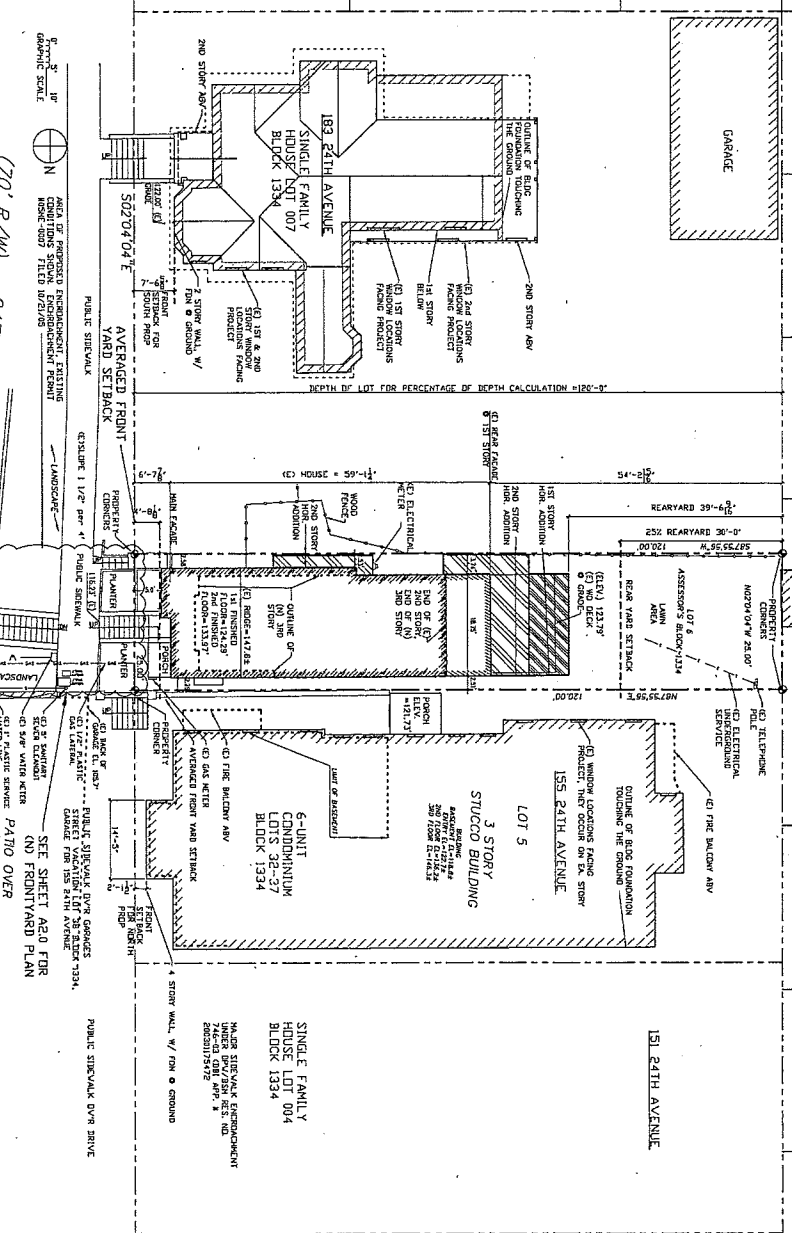
WITNESS my hand and official seal.

Signature [Signature] (Seal)





AREA OF PROPOSED IMPROVEMENTS, EXISTING CONDITIONS SHOWN FOR COMPARISON PURPOSES



183 24TH AVENUE SINGLE FAMILY HOUSE UNIT 007 BLOCK 1334  
6-UNIT CONDOMINIUM LOTS 32-37 BLOCK 1334  
3 STORY STUCCO BUILDING LOT 5  
SINGLE FAMILY HOUSE LOT 004 BLOCK 1334

Table with 3 columns: FLOOR, EXISTING BUILDING AREA, and TOTAL BUILDING AREA. Lists areas for 1st, 2nd, and 3rd floors and a garage.

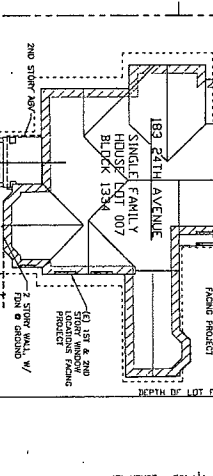


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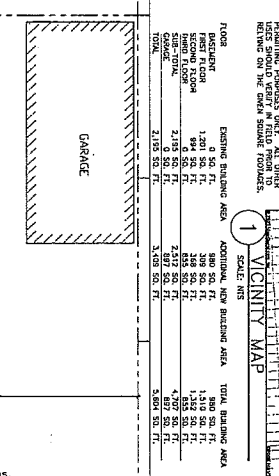


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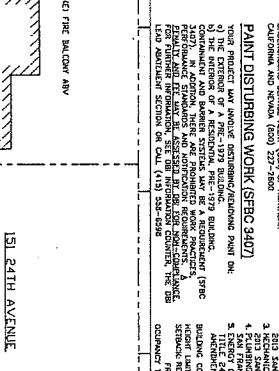


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Table with 3 columns: FLOOR, EXISTING BUILDING AREA, and TOTAL BUILDING AREA. Lists areas for 1st, 2nd, and 3rd floors and a garage.

GENERAL NOTES: 1. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE SPECIFICATIONS AND REQUIREMENTS OF THE CITY OF SAN FRANCISCO...

GENERAL NOTES: 2. ALL ELECTRICAL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC)...

GENERAL NOTES: 3. ALL MECHANICAL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE MECHANICAL CODE (MCC)...

GENERAL NOTES: 4. ALL PLUMBING WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE PLUMBING CODE (PLC)...

GENERAL NOTES: 5. ALL CONCRETE WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE CONCRETE CODE (CCC)...

GENERAL NOTES: 6. ALL PAINT WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE PAINT CODE (PC)...

GENERAL NOTES: 7. ALL FINISH WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE FINISH CODE (FC)...

GENERAL NOTES: 8. ALL SAFETY WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE SAFETY CODE (SC)...

GENERAL NOTES: 9. ALL SIGNAGE WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE SIGNAGE CODE (SC)...

GENERAL NOTES: 10. ALL OTHER WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE CITY OF SAN FRANCISCO ORDINANCES...

GENERAL NOTES: 11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS...

GENERAL NOTES: 12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ACCESS TO ALL ADJACENT PROPERTIES...

GENERAL NOTES: 13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITIES AND STRUCTURES...

GENERAL NOTES: 14. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DISPOSING OF ALL DEBRIS AND WASTE...

GENERAL NOTES: 15. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORING ALL AREAS TO ORIGINAL CONDITION...

GENERAL NOTES: 16. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY INSURANCE COVERAGE...

GENERAL NOTES: 17. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL RECORDS OF THE PROJECT...

GENERAL NOTES: 18. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING ALL ADJACENT PROPERTY OWNERS...

GENERAL NOTES: 19. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY CONSTRUCTION LOGS...

GENERAL NOTES: 20. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY INSPECTION REPORTS...

GENERAL NOTES: 21. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS...

GENERAL NOTES: 22. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ACCESS TO ALL ADJACENT PROPERTIES...

GENERAL NOTES: 23. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITIES AND STRUCTURES...

GENERAL NOTES: 24. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DISPOSING OF ALL DEBRIS AND WASTE...

GENERAL NOTES: 25. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORING ALL AREAS TO ORIGINAL CONDITION...

RECEIVED AUG 20 2014 PERMIT SECTION DBI APPLICATION # 2014-01-26-3111

CLAY PARK 157 - 24TH AVE. SAN FRANCISCO CA, 94121

ONDA ROSA CONTRACT NAME CONTRACT NO. 1119 38-7411

DRAWING INDEX 17 SHEETS

JURISDICTIONAL ENTITIES CITY AND COUNTY OF SAN FRANCISCO

SYMBOLS NORTH ARROW, BLOCK SECTION, etc.

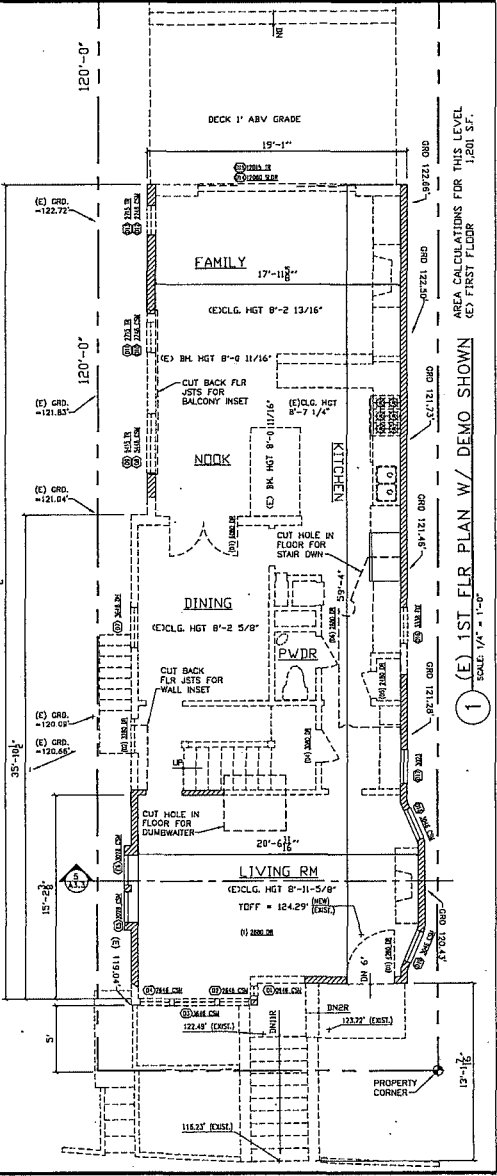
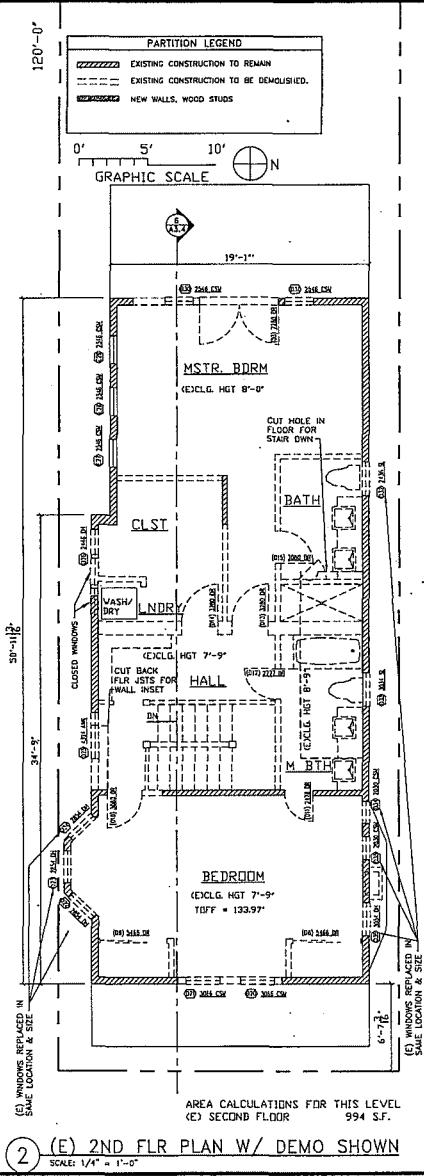
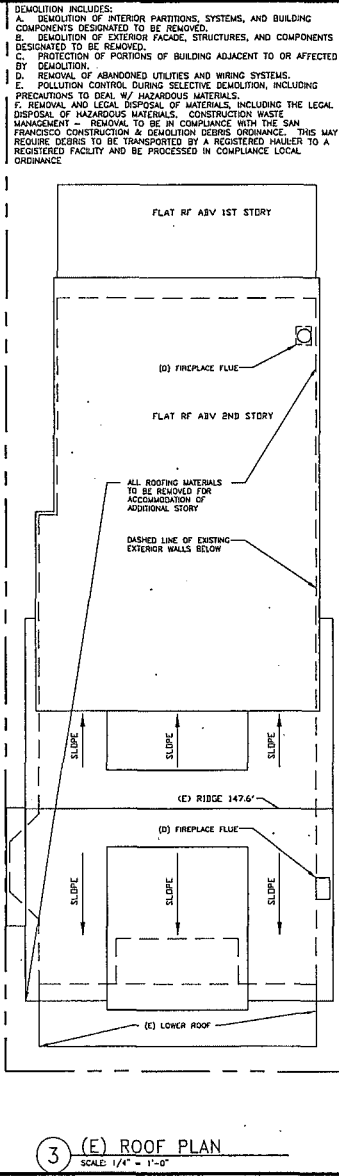
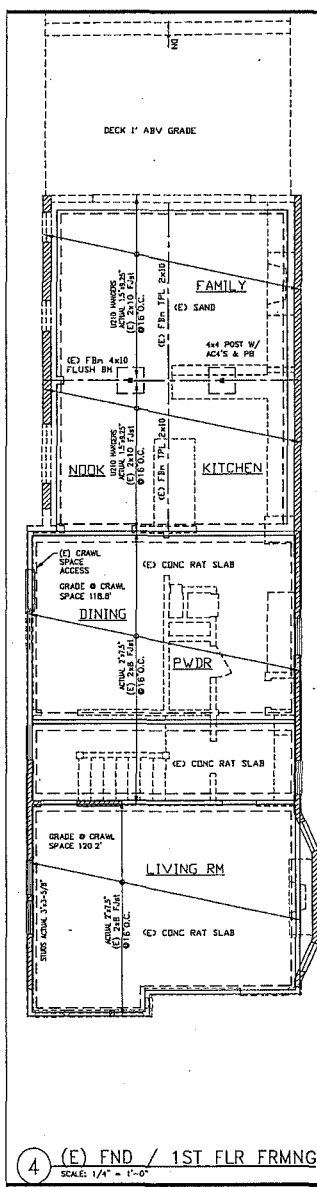
AREA SUMMARY 3,000 SQ. FT. PROJECT SITE

1 VICINITY MAP SCALES IN FEET

FLOOR 1 2,100 SQ. FT. FLOOR 2 2,100 SQ. FT. FLOOR 3 2,100 SQ. FT. GARAGE 2,100 SQ. FT. TOTAL 8,400 SQ. FT.

FLOOR 1 2,100 SQ. FT. FLOOR 2 2,100 SQ. FT. FLOOR 3 2,100 SQ. FT. GARAGE 2,100 SQ. FT. TOTAL 8,400 SQ. FT.

FLOOR 1 2,100 SQ. FT. FLOOR 2 2,100 SQ. FT. FLOOR 3 2,100 SQ. FT. GARAGE 2,100 SQ. FT. TOTAL 8,400 SQ. FT.



DEMOLITION INCLUDES:

A. DEMOLITION OF INTERIOR PARTITIONS, SYSTEMS, AND BUILDING COMPONENTS DESIGNATED TO BE REMOVED.

B. DEMOLITION OF EXTERIOR FACADE, STRUCTURES, AND COMPONENTS DESIGNATED TO BE REMOVED.

C. PROTECTION OF PORTIONS OF BUILDING ADJACENT TO OR AFFECTED BY DEMOLITION.

D. REMOVAL OF ABANDONED UTILITIES AND WIRING SYSTEMS.

E. POLLUTION CONTROL DURING SELECTIVE DEMOLITION, INCLUDING PRECAUTIONS TO DEAL W/ HAZARDOUS MATERIALS.

F. REMOVAL AND LEGAL DISPOSAL OF MATERIALS, INCLUDING THE LEGAL DISPOSAL OF HAZARDOUS MATERIALS. CONSTRUCTION WASTE MANAGEMENT - REMOVAL TO BE IN COMPLIANCE WITH THE SAN FRANCISCO CONSTRUCTION & DEMOLITION DEBRIS ORDINANCE. THIS MAY REQUIRE DEBRIS TO BE TRANSPORTED BY A REGISTERED HAULER TO A REGISTERED FACILITY AND BE PROCESSED IN COMPLIANCE LOCAL ORDINANCE.

**ONDA ROSA**

Architecture  
Engineering  
Space Planning  
Interior Design

128 JASPER PLACE  
SAN FRANCISCO, CA  
94133  
415-362-7441  
ONDA@ONDAOSAC.COM

REGISTERED ARCHITECT  
ONDA ROSA  
C - 24017  
Date: 31. 2015  
RENEWED  
STATE OF CALIFORNIA

**CLAY PARK**

157 - 24TH AVE.  
SAN FRANCISCO  
CA, 94121

BLK 1334 LOT 006

DBI APPLICATION # 2006-01-26-3118

|                    |               |
|--------------------|---------------|
| PLANNING SUBMITTAL | 01/24/06      |
| PLANNING SUBMITTAL | 04/20/06      |
| PLANNING SUBMITTAL | 11/25/13      |
| PLANNING SUBMITTAL | 3/24/14       |
| PLANNING SUBMITTAL | 4/23/14       |
| NO                 | Issue         |
| NO                 | Revised/Issue |

Project Number: 2005.28  
Scale: 1/4" = 1'-0"

Drawn by: [Name]  
Checked by: [Name]

ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HEREON CONSTITUTE THE ORIGINAL AND UNPUBLISHED WORK OF THE ARCHITECT AND MAY NOT BE DUPLICATED, USED OR REPRODUCED WITHOUT THE PRIOR WRITTEN CONSENT OF THE ARCHITECT.

**EXISTING PLANS  
W/DEMO SHOWN**

A 1.1

2 OF 17 SHEETS

**ONDA ROSA**

Architectural  
Engineering  
Space Planning  
Interior Design

129 JACOB PLACE  
SAN FRANCISCO, CA  
94133  
415-352-7441  
ONDA@ONDAARCHITECTS.COM



**CLAY PARK**

157 - 24TH AVE.  
SAN FRANCISCO  
CA, 94121

BLK 1334 LOT 006

DBI APPLICATION # 2006-01-26-3118

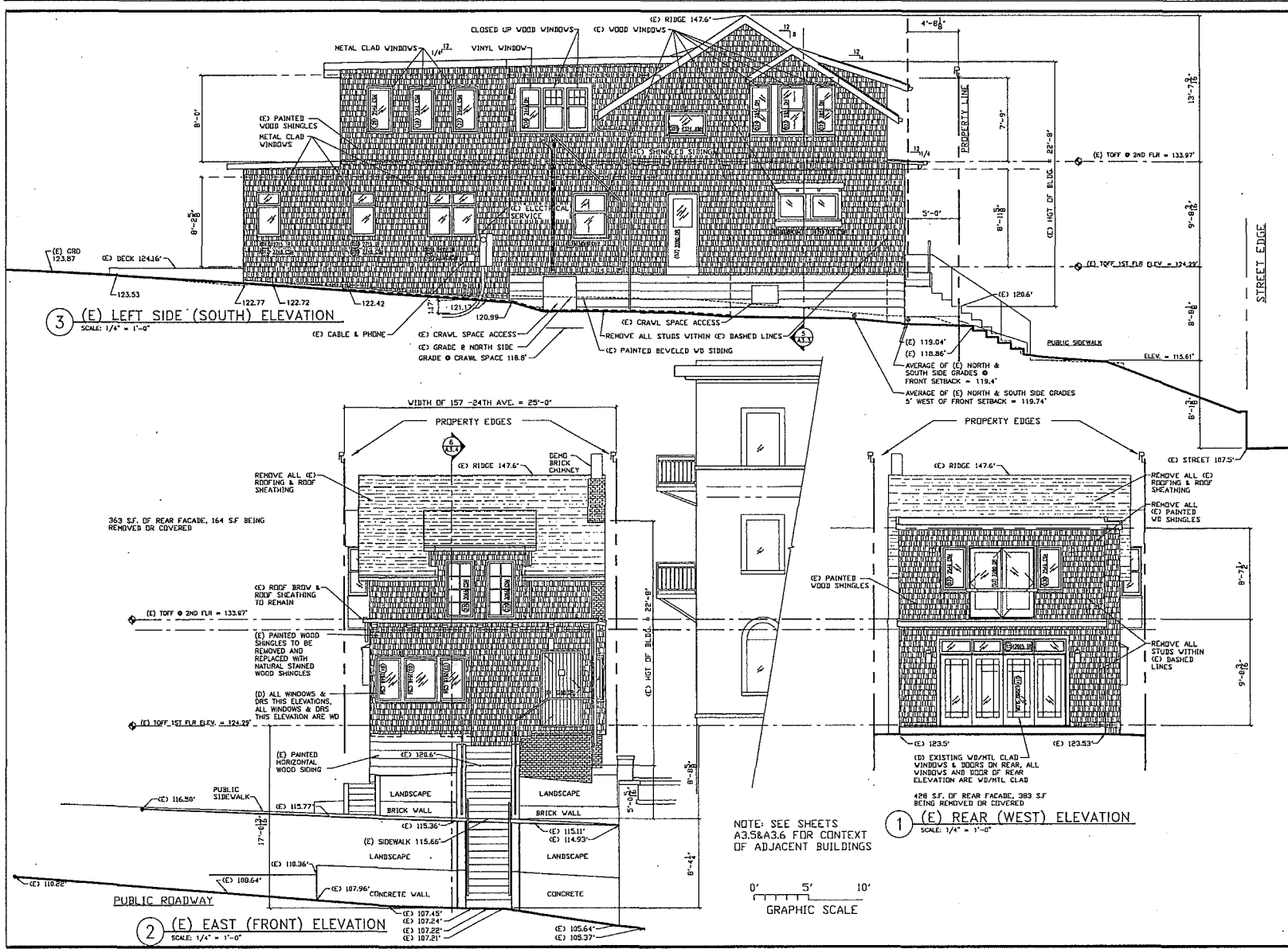
|                    |          |
|--------------------|----------|
| PLANNING SUBMITTAL | 01/24/06 |
| PLANNING SUBMITTAL | 11/23/13 |
| PLANNING SUBMITTAL | 3/24/14  |
| PLANNING SUBMITTAL | 4/23/14  |
| PLANNING SUBMITTAL | 7/29/14  |

Project Number: 2006-08  
Scale: 1/4" = 1'-0"  
Drawn by: B.M.

**EXISTING ELEVATIONS**

A 1.2

3 OF 17 SHEETS

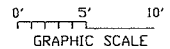


3 (E) LEFT SIDE (SOUTH) ELEVATION  
SCALE: 1/4" = 1'-0"

1 (E) REAR (WEST) ELEVATION  
SCALE: 1/4" = 1'-0"

2 (E) EAST (FRONT) ELEVATION  
SCALE: 1/4" = 1'-0"

NOTE: SEE SHEETS  
A3.5&A3.6 FOR CONTEXT  
OF ADJACENT BUILDINGS



**ONDA ROSA**

Architecture  
Engineering  
Space Planning  
Interior Design

129 JASPER PLACE  
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**CLAY PARK**

157 - 24TH AVE.  
SAN FRANCISCO  
CA, 94121

BLK 1334 LOT 006

DBI APPLICATION # 2006-01-26-3118

| PLANNING SUBMITTAL | DATE     |
|--------------------|----------|
| PLANNING SUBMITTAL | 01/24/06 |
| PLANNING SUBMITTAL | 04/28/06 |
| PLANNING SUBMITTAL | 11/28/13 |
| PLANNING SUBMITTAL | 3/28/14  |
| PLANNING SUBMITTAL | 7/28/14  |

No. \_\_\_\_\_  
 Title: Reason/Use  
 Project Number: None  
 2005.18 1/4"=1'-0"  
 Drawn by: B.M.

EXISTING  
ELEVATIONS

A 1.3

4 OF 17 SHEETS

**EXISTING WINDOW SCHEDULE**

| WINDOW # | HEIGHT (INCHES) | OPERATION | COMMENTS |
|----------|-----------------|-----------|----------|
| 1a       | 11'-11 1/2"     |           |          |
| 2        | 11'-11 1/2"     |           |          |
| 3        | 11'-11 1/2"     |           |          |
| 4        | 11'-11 1/2"     |           |          |
| 5        | 11'-11 1/2"     |           |          |
| 6        | 11'-11 1/2"     |           |          |
| 7        | 11'-11 1/2"     |           |          |
| 8        | 11'-11 1/2"     |           |          |
| 9        | 11'-11 1/2"     |           |          |
| 10       | 11'-11 1/2"     |           |          |
| 11       | 11'-11 1/2"     |           |          |
| 12       | 11'-11 1/2"     |           |          |
| 13       | 11'-11 1/2"     |           |          |
| 14       | 11'-11 1/2"     |           |          |
| 15       | 11'-11 1/2"     |           |          |
| 16       | 11'-11 1/2"     |           |          |
| 17       | 11'-11 1/2"     |           |          |
| 18       | 11'-11 1/2"     |           |          |
| 19       | 11'-11 1/2"     |           |          |
| 20       | 11'-11 1/2"     |           |          |
| 21       | 11'-11 1/2"     |           |          |
| 22       | 11'-11 1/2"     |           |          |
| 23       | 11'-11 1/2"     |           |          |
| 24       | 11'-11 1/2"     |           |          |
| 25       | 11'-11 1/2"     |           |          |
| 26       | 11'-11 1/2"     |           |          |
| 27       | 11'-11 1/2"     |           |          |
| 28       | 11'-11 1/2"     |           |          |
| 29       | 11'-11 1/2"     |           |          |
| 30       | 11'-11 1/2"     |           |          |
| 31       | 11'-11 1/2"     |           |          |
| 32       | 11'-11 1/2"     |           |          |
| 33       | 11'-11 1/2"     |           |          |
| 34       | 11'-11 1/2"     |           |          |
| 35       | 11'-11 1/2"     |           |          |
| 36       | 11'-11 1/2"     |           |          |
| 37       | 11'-11 1/2"     |           |          |
| 38       | 11'-11 1/2"     |           |          |
| 39       | 11'-11 1/2"     |           |          |
| 40       | 11'-11 1/2"     |           |          |
| 41       | 11'-11 1/2"     |           |          |
| 42       | 11'-11 1/2"     |           |          |
| 43       | 11'-11 1/2"     |           |          |
| 44       | 11'-11 1/2"     |           |          |
| 45       | 11'-11 1/2"     |           |          |
| 46       | 11'-11 1/2"     |           |          |
| 47       | 11'-11 1/2"     |           |          |
| 48       | 11'-11 1/2"     |           |          |
| 49       | 11'-11 1/2"     |           |          |
| 50       | 11'-11 1/2"     |           |          |
| 51       | 11'-11 1/2"     |           |          |
| 52       | 11'-11 1/2"     |           |          |
| 53       | 11'-11 1/2"     |           |          |
| 54       | 11'-11 1/2"     |           |          |
| 55       | 11'-11 1/2"     |           |          |
| 56       | 11'-11 1/2"     |           |          |
| 57       | 11'-11 1/2"     |           |          |
| 58       | 11'-11 1/2"     |           |          |
| 59       | 11'-11 1/2"     |           |          |
| 60       | 11'-11 1/2"     |           |          |
| 61       | 11'-11 1/2"     |           |          |
| 62       | 11'-11 1/2"     |           |          |
| 63       | 11'-11 1/2"     |           |          |
| 64       | 11'-11 1/2"     |           |          |
| 65       | 11'-11 1/2"     |           |          |
| 66       | 11'-11 1/2"     |           |          |
| 67       | 11'-11 1/2"     |           |          |
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| 69       | 11'-11 1/2"     |           |          |
| 70       | 11'-11 1/2"     |           |          |
| 71       | 11'-11 1/2"     |           |          |
| 72       | 11'-11 1/2"     |           |          |
| 73       | 11'-11 1/2"     |           |          |
| 74       | 11'-11 1/2"     |           |          |
| 75       | 11'-11 1/2"     |           |          |
| 76       | 11'-11 1/2"     |           |          |
| 77       | 11'-11 1/2"     |           |          |
| 78       | 11'-11 1/2"     |           |          |
| 79       | 11'-11 1/2"     |           |          |
| 80       | 11'-11 1/2"     |           |          |
| 81       | 11'-11 1/2"     |           |          |
| 82       | 11'-11 1/2"     |           |          |
| 83       | 11'-11 1/2"     |           |          |
| 84       | 11'-11 1/2"     |           |          |
| 85       | 11'-11 1/2"     |           |          |
| 86       | 11'-11 1/2"     |           |          |
| 87       | 11'-11 1/2"     |           |          |
| 88       | 11'-11 1/2"     |           |          |
| 89       | 11'-11 1/2"     |           |          |
| 90       | 11'-11 1/2"     |           |          |
| 91       | 11'-11 1/2"     |           |          |
| 92       | 11'-11 1/2"     |           |          |
| 93       | 11'-11 1/2"     |           |          |
| 94       | 11'-11 1/2"     |           |          |
| 95       | 11'-11 1/2"     |           |          |
| 96       | 11'-11 1/2"     |           |          |
| 97       | 11'-11 1/2"     |           |          |
| 98       | 11'-11 1/2"     |           |          |
| 99       | 11'-11 1/2"     |           |          |
| 100      | 11'-11 1/2"     |           |          |

TOTAL EXISTING GLAZING = 413.92 S.F.  
 TOTAL GLAZING REMOVED = 378.29 S.F.  
 TOTAL EXISTING GLAZING TO REMAIN = 35.62 S.F.

TOTAL EXISTING BUILDING = 2,193 S.F.  
 % EXISTING GLAZING TO EXISTING FLOOR AREA = 18.9%

**EXTERIOR DOORS A PART OF GLAZING**

WINDOW TYPE/OPERATION  
 CS = CASEMENT  
 SL = SLIDER  
 F = FIXED, PICTURE WINDOW  
 DR = DOOR

D = WINDOW TO BE DEMO'D  
 R = WINDOW TO REMAIN

XX = UNIQUE NUMBER IDENTIFIER

WINDOW TYPE/OPERATION  
 HEIGHT IN INCHES  
 WIDTH IN INCHES

119'-0" STREET EDGE  
 119'-0" PUBLIC SIDEWALK

**SEC. 317. LOSS OF DWELLING UNITS THROUGH DEMOLITION**

**(b) DEFINITIONS:**  
 (a) 'RESIDENTIAL DEMOLITION' SHALL MEAN ANY OF THE FOLLOWING:  
 (1) ANY WORK ON A RESIDENTIAL BUILDING FOR WHICH THE DEPARTMENT OF BUILDING INSPECTION DETERMINES THAT AN APPLICATION FOR A DEMOLITION PERMIT IS REQUIRED, OR  
 (2) A MAJOR ALTERATION OF A RESIDENTIAL BUILDING THAT PROPOSES THE REMOVAL OF MORE THAN 50% OF THE SUM OF THE FRONT FACADE AND REAR FACADE AND ALSO PROPOSES THE REMOVAL OF MORE THAN 65% OF THE SUM OF ALL EXTERIOR WALLS, MEASURED IN LINEAL FEET AT THE FOUNDATION LEVEL, OR  
 (3) A MAJOR ALTERATION OF A RESIDENTIAL BUILDING THAT PROPOSES THE REMOVAL OF MORE THAN 50% OF THE VERTICAL ENVELOPE ELEMENTS AND MORE THAN 50% OF THE HORIZONTAL ELEMENTS OF THE EXISTING BUILDING, AS MEASURED IN SQUARE FEET OF ACTUAL SURFACE AREA.

**(b) CALCULATION OF FRONT FACADE AND REAR FACADE FOR THE REMOVAL OF MORE THAN 50%:**

| FACADE       | HEIGHT S.F. | % REMOVAL |
|--------------|-------------|-----------|
| FRONT FACADE | 265         | 45 %      |
| REAR FACADE  | 428         | 89 %      |
| TOTAL        | 793         | 69 %      |

**(b) CALCULATION OF REMOVAL OF MORE THAN 65% OF THE SUM OF ALL EXTERIOR WALLS, MEASURED IN LINEAL FT:**

| ELEMENT                  | (c) LINEAL FT | (d) LINEAL FT DEMO'D | % REMOVAL |
|--------------------------|---------------|----------------------|-----------|
| EXT. WALLS FRONT 1st FLR | 22            | 14                   | 64 %      |
| EXT. WALLS FRONT 2nd FLR | 20            | 7                    | 35 %      |
| EXT. WALLS LEFT 1st FLR  | 65            | 35                   | 55 %      |
| EXT. WALLS LEFT 2nd FLR  | 4             | 4                    | 100 %     |
| EXT. WALLS REAR 1st FLR  | 19            | 19                   | 100 %     |
| EXT. WALLS REAR 2nd FLR  | 19            | 6                    | 32 %      |
| EXT. WALLS RIGHT 1st FLR | 60            | 0                    | 0 %       |
| EXT. WALLS RIGHT 2nd FLR | 51            | 0                    | 0 %       |
| TOTAL                    | 307.5         | 86.75                | 28 %      |

**(c) CALCULATION OF REMOVAL OF MORE THAN 50% OF VERTICAL AND HORIZONTAL ENVELOPE, MEASURED IN SQUARE FT:**

| ELEMENT                   | (c) SQ. FT. | (d) SQ. FT. | % REMOVAL |
|---------------------------|-------------|-------------|-----------|
| VERTICAL FRONT            | 418         | 154         | 37 %      |
| VERTICAL LEFT             | 1,198       | 517         | 43 %      |
| VERTICAL REAR             | 428         | 383         | 89 %      |
| VERTICAL RIGHT            | 1,178       | 0           | 0 %       |
| TOTAL VERTICAL ELEMENTS   | 3,226       | 1,064       | 33 %      |
| HORIZONTAL 1st FLR        | 1,201       | 84          | 7 %       |
| HORIZONTAL 2nd FLR        | 994         | 70          | 7 %       |
| HORIZONTAL ROOF           | 1,566       | 1,055       | 68 %      |
| TOTAL HORIZONTAL ELEMENTS | 3,761       | 1,309       | 35 %      |

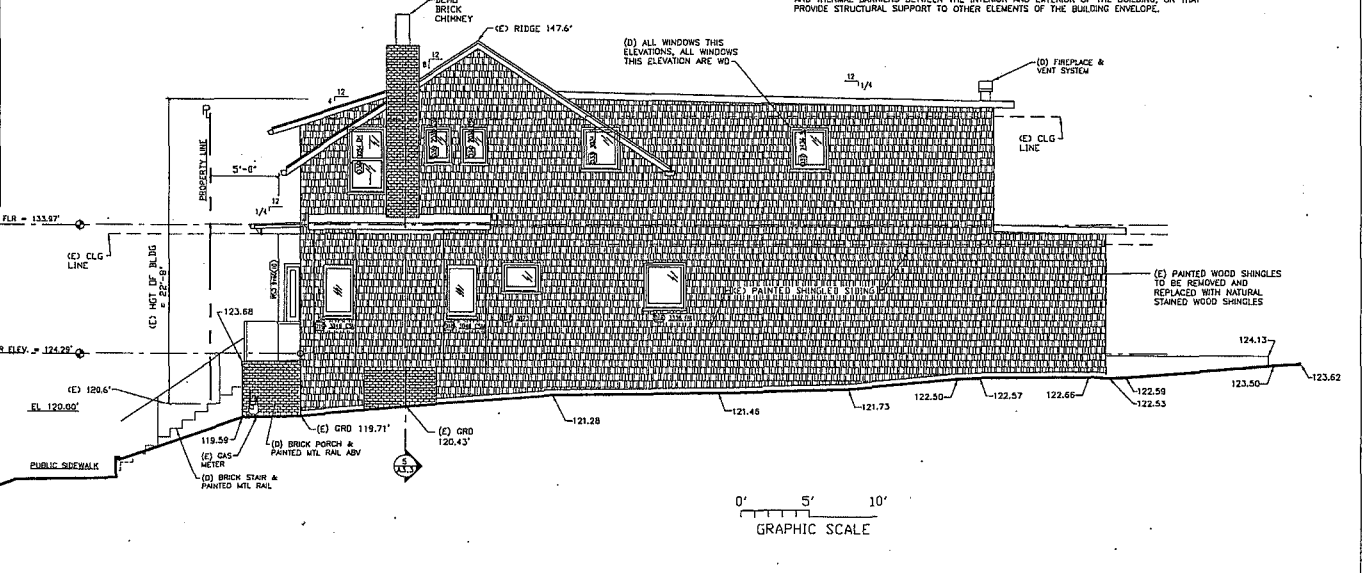
**(d) 'HORIZONTAL ELEMENTS' SHALL MEAN ALL ROOF AREAS AND ALL FLOOR PLATES, EXCEPT FLOOR PLATES AT OR BELOW GRADE.**

**(e) 'VERTICAL ENVELOPE ELEMENTS' SHALL MEAN ALL EXTERIOR WALLS THAT PROVIDE WEATHER AND TERMINAL BARRIERS BETWEEN THE INTERIOR AND EXTERIOR OF THE BUILDING, OR THAT PROVIDE STRUCTURAL SUPPORT TO OTHER ELEMENTS OF THE BUILDING ENVELOPE.**

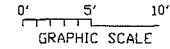
SEC. 317(b)(2)(A)  OK

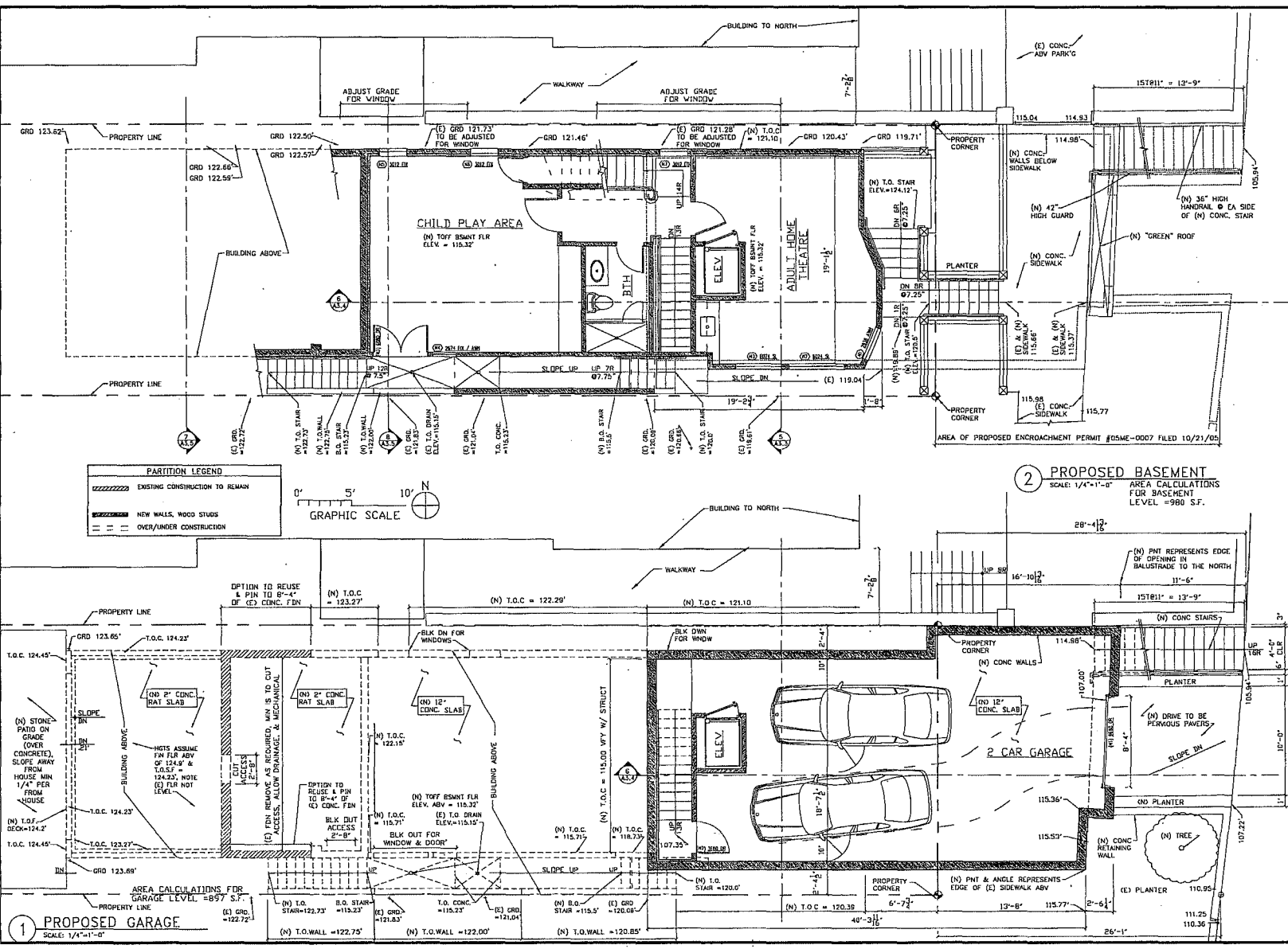
SEC. 317(b)(2)(B)  OK

SEC. 317(b)(2)(C)  OK



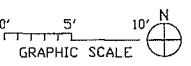
1 (E) RIGHT SIDE (NORTH) ELEVATION  
 SCALE: 1/4" = 1'-0"





**PARTITION LEGEND**

|  |                                 |
|--|---------------------------------|
|  | EXISTING CONSTRUCTION TO REMAIN |
|  | NEW WALLS, WOOD STUDS           |
|  | OVER/UNDER CONSTRUCTION         |



**ONDA ROSA**  
 Architecture  
 Engineering  
 Space Planning  
 Interior Design  
 129 JASPER PLACE  
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**CLAY PARK**  
 157 - 24TH AVE.  
 SAN FRANCISCO  
 CA, 94121

BLK 1334 LOT 006

**2 PROPOSED BASEMENT**  
 SCALE: 1/4"=1'-0"  
 AREA CALCULATIONS  
 FOR BASEMENT  
 LEVEL = 980 SF.

|                          |                |
|--------------------------|----------------|
| PLANNING SUBMITTAL       | 04/22/06       |
| PLANNING SUBMITTAL       | 11/25/13       |
| PLANNING SUBMITTAL       | 3/24/14        |
| PLANNING SUBMITTAL       | 7/25/14        |
| BSM DIMENSIONS SUBMITTAL | 8/28/14        |
| NO                       | Date           |
| NO                       | Revision/Issue |
| Project Number:          | Scale          |
| 2005.L2                  | AS NOTED       |
| Drawn by:                | BLA            |

**PROPOSED GARAGE & BSMNT PLNS**

DBI APPLICATION # 2006-01-26-3118

# ONDA ROSA

Architecture  
Engineering  
Space Planning  
Interior Design

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## CLAY PARK

157 - 24TH AVE.  
SAN FRANCISCO  
CA, 94121

BLK 1334 LOT 006

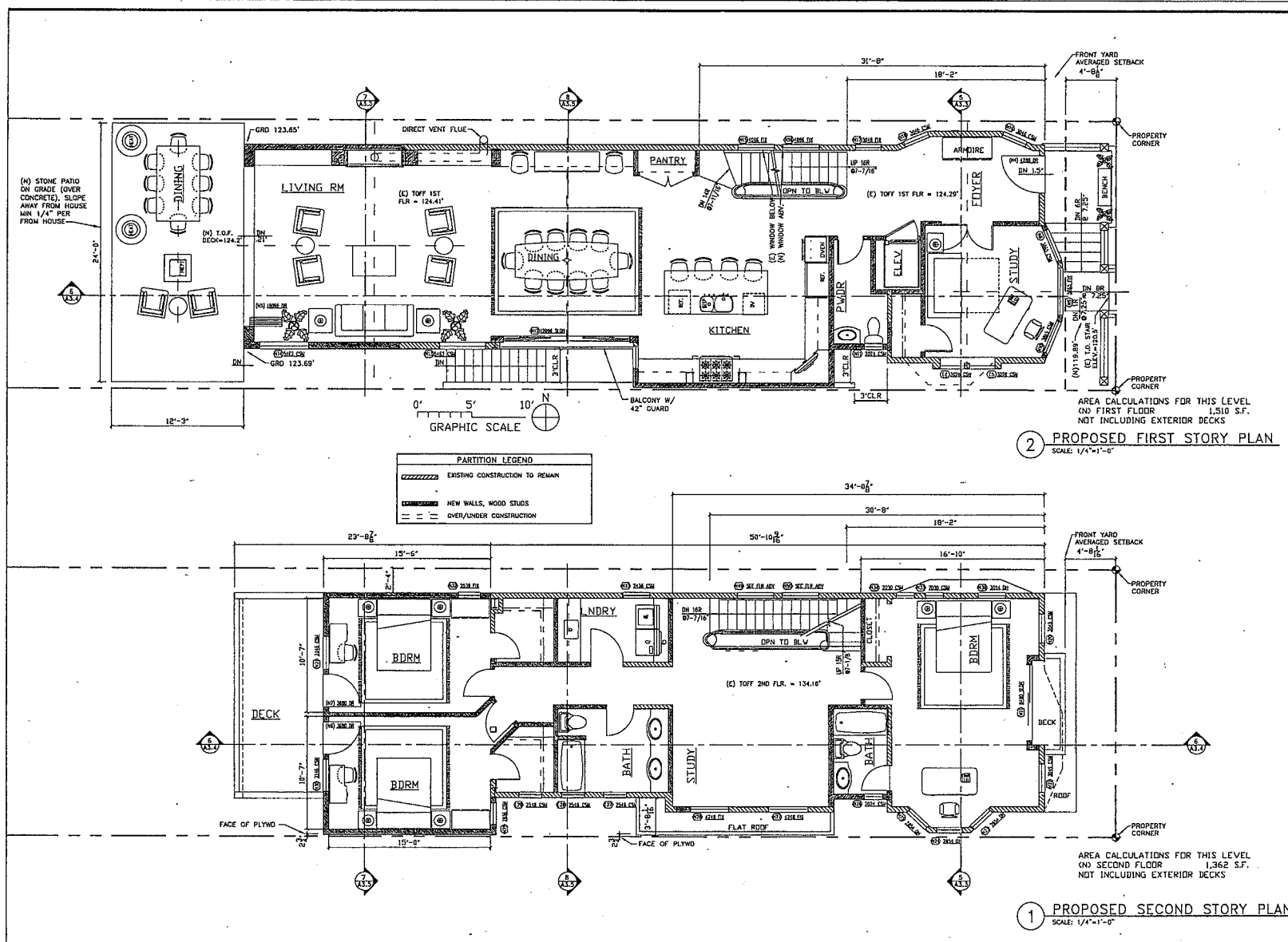
DBI APPLICATION # 2006-01-26-3118

|                    |                |
|--------------------|----------------|
| PLANNING SUBMITTAL | 01/24/06       |
| PLANNING SUBMITTAL | 04/28/06       |
| PLANNING SUBMITTAL | 11/29/10       |
| PLANNING SUBMITTAL | 3/24/14        |
| PLANNING SUBMITTAL | 7/29/14        |
| DATE               | Revisory/Issue |
| Project Number     | Scale          |
| 2006.08            | 1/4"=1'-0"     |
| Drawn by           | B.M.           |

## PROPOSED 1ST & 2ND STORY PLANS

A 2.1

6 OF 17 SHEETS



# ONDA ROSA

Architecture  
Engineering  
Space Planning  
Interior Design

129 ADLER PLACE  
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## CLAY PARK

157 - 24TH AVE.  
SAN FRANCISCO  
CA, 94121

BLK 1334 LOT 006

DBI APPLICATION # 2005-01-25-3118

|                    |          |
|--------------------|----------|
| PLANNING SUBMITTAL | 04/28/05 |
| PLANNING SUBMITTAL | 11/29/13 |
| PLANNING SUBMITTAL | 3/24/14  |
| PLANNING SUBMITTAL | 4/23/14  |
| PLANNING SUBMITTAL | 7/25/14  |
| Project Number     | 000629   |
| Scale              | AS NOTED |
| Drawn by           | BJM      |

### PROPOSED 3RD STORY & ROOF PLN

A 2.2

| WINDOW # | WINDOW TYPE/OPERATION | HEIGHT (INCHES) | WIDTH (INCHES) | COMMENTS |
|----------|-----------------------|-----------------|----------------|----------|
| 01       | AWN                   | 48              | 48             |          |
| 02       | AWN                   | 48              | 48             |          |
| 03       | AWN                   | 48              | 48             |          |
| 04       | AWN                   | 48              | 48             |          |
| 05       | AWN                   | 48              | 48             |          |
| 06       | AWN                   | 48              | 48             |          |
| 07       | AWN                   | 48              | 48             |          |
| 08       | AWN                   | 48              | 48             |          |
| 09       | AWN                   | 48              | 48             |          |
| 10       | AWN                   | 48              | 48             |          |
| 11       | AWN                   | 48              | 48             |          |
| 12       | AWN                   | 48              | 48             |          |
| 13       | AWN                   | 48              | 48             |          |
| 14       | AWN                   | 48              | 48             |          |
| 15       | AWN                   | 48              | 48             |          |
| 16       | AWN                   | 48              | 48             |          |
| 17       | AWN                   | 48              | 48             |          |
| 18       | AWN                   | 48              | 48             |          |
| 19       | AWN                   | 48              | 48             |          |
| 20       | AWN                   | 48              | 48             |          |
| 21       | AWN                   | 48              | 48             |          |
| 22       | AWN                   | 48              | 48             |          |
| 23       | AWN                   | 48              | 48             |          |
| 24       | AWN                   | 48              | 48             |          |
| 25       | AWN                   | 48              | 48             |          |
| 26       | AWN                   | 48              | 48             |          |
| 27       | AWN                   | 48              | 48             |          |
| 28       | AWN                   | 48              | 48             |          |
| 29       | AWN                   | 48              | 48             |          |
| 30       | AWN                   | 48              | 48             |          |
| 31       | AWN                   | 48              | 48             |          |
| 32       | AWN                   | 48              | 48             |          |
| 33       | AWN                   | 48              | 48             |          |
| 34       | AWN                   | 48              | 48             |          |
| 35       | AWN                   | 48              | 48             |          |
| 36       | AWN                   | 48              | 48             |          |
| 37       | AWN                   | 48              | 48             |          |
| 38       | AWN                   | 48              | 48             |          |
| 39       | AWN                   | 48              | 48             |          |
| 40       | AWN                   | 48              | 48             |          |
| 41       | AWN                   | 48              | 48             |          |
| 42       | AWN                   | 48              | 48             |          |
| 43       | AWN                   | 48              | 48             |          |
| 44       | AWN                   | 48              | 48             |          |
| 45       | AWN                   | 48              | 48             |          |
| 46       | AWN                   | 48              | 48             |          |
| 47       | AWN                   | 48              | 48             |          |
| 48       | AWN                   | 48              | 48             |          |
| 49       | AWN                   | 48              | 48             |          |
| 50       | AWN                   | 48              | 48             |          |
| 51       | AWN                   | 48              | 48             |          |
| 52       | AWN                   | 48              | 48             |          |
| 53       | AWN                   | 48              | 48             |          |
| 54       | AWN                   | 48              | 48             |          |
| 55       | AWN                   | 48              | 48             |          |
| 56       | AWN                   | 48              | 48             |          |
| 57       | AWN                   | 48              | 48             |          |
| 58       | AWN                   | 48              | 48             |          |
| 59       | AWN                   | 48              | 48             |          |
| 60       | AWN                   | 48              | 48             |          |
| 61       | AWN                   | 48              | 48             |          |
| 62       | AWN                   | 48              | 48             |          |
| 63       | AWN                   | 48              | 48             |          |
| 64       | AWN                   | 48              | 48             |          |
| 65       | AWN                   | 48              | 48             |          |
| 66       | AWN                   | 48              | 48             |          |
| 67       | AWN                   | 48              | 48             |          |
| 68       | AWN                   | 48              | 48             |          |
| 69       | AWN                   | 48              | 48             |          |
| 70       | AWN                   | 48              | 48             |          |
| 71       | AWN                   | 48              | 48             |          |
| 72       | AWN                   | 48              | 48             |          |
| 73       | AWN                   | 48              | 48             |          |
| 74       | AWN                   | 48              | 48             |          |
| 75       | AWN                   | 48              | 48             |          |
| 76       | AWN                   | 48              | 48             |          |
| 77       | AWN                   | 48              | 48             |          |
| 78       | AWN                   | 48              | 48             |          |
| 79       | AWN                   | 48              | 48             |          |
| 80       | AWN                   | 48              | 48             |          |
| 81       | AWN                   | 48              | 48             |          |
| 82       | AWN                   | 48              | 48             |          |
| 83       | AWN                   | 48              | 48             |          |
| 84       | AWN                   | 48              | 48             |          |
| 85       | AWN                   | 48              | 48             |          |
| 86       | AWN                   | 48              | 48             |          |
| 87       | AWN                   | 48              | 48             |          |
| 88       | AWN                   | 48              | 48             |          |
| 89       | AWN                   | 48              | 48             |          |
| 90       | AWN                   | 48              | 48             |          |
| 91       | AWN                   | 48              | 48             |          |
| 92       | AWN                   | 48              | 48             |          |
| 93       | AWN                   | 48              | 48             |          |
| 94       | AWN                   | 48              | 48             |          |
| 95       | AWN                   | 48              | 48             |          |
| 96       | AWN                   | 48              | 48             |          |
| 97       | AWN                   | 48              | 48             |          |
| 98       | AWN                   | 48              | 48             |          |
| 99       | AWN                   | 48              | 48             |          |
| 100      | AWN                   | 48              | 48             |          |

**NEW WINDOW SCHEDULE**

**BASEMENT WINDOWS**

01 48" x 48" AWN

02 48" x 48" AWN

03 48" x 48" AWN

04 48" x 48" AWN

05 48" x 48" AWN

06 48" x 48" AWN

07 48" x 48" AWN

08 48" x 48" AWN

09 48" x 48" AWN

10 48" x 48" AWN

11 48" x 48" AWN

12 48" x 48" AWN

13 48" x 48" AWN

14 48" x 48" AWN

15 48" x 48" AWN

16 48" x 48" AWN

17 48" x 48" AWN

18 48" x 48" AWN

19 48" x 48" AWN

20 48" x 48" AWN

21 48" x 48" AWN

22 48" x 48" AWN

23 48" x 48" AWN

24 48" x 48" AWN

25 48" x 48" AWN

26 48" x 48" AWN

27 48" x 48" AWN

28 48" x 48" AWN

29 48" x 48" AWN

30 48" x 48" AWN

31 48" x 48" AWN

32 48" x 48" AWN

33 48" x 48" AWN

34 48" x 48" AWN

35 48" x 48" AWN

36 48" x 48" AWN

37 48" x 48" AWN

38 48" x 48" AWN

39 48" x 48" AWN

40 48" x 48" AWN

41 48" x 48" AWN

42 48" x 48" AWN

43 48" x 48" AWN

44 48" x 48" AWN

45 48" x 48" AWN

46 48" x 48" AWN

47 48" x 48" AWN

48 48" x 48" AWN

49 48" x 48" AWN

50 48" x 48" AWN

51 48" x 48" AWN

52 48" x 48" AWN

53 48" x 48" AWN

54 48" x 48" AWN

55 48" x 48" AWN

56 48" x 48" AWN

57 48" x 48" AWN

58 48" x 48" AWN

59 48" x 48" AWN

60 48" x 48" AWN

61 48" x 48" AWN

62 48" x 48" AWN

63 48" x 48" AWN

64 48" x 48" AWN

65 48" x 48" AWN

66 48" x 48" AWN

67 48" x 48" AWN

68 48" x 48" AWN

69 48" x 48" AWN

70 48" x 48" AWN

71 48" x 48" AWN

72 48" x 48" AWN

73 48" x 48" AWN

74 48" x 48" AWN

75 48" x 48" AWN

76 48" x 48" AWN

77 48" x 48" AWN

78 48" x 48" AWN

79 48" x 48" AWN

80 48" x 48" AWN

81 48" x 48" AWN

82 48" x 48" AWN

83 48" x 48" AWN

84 48" x 48" AWN

85 48" x 48" AWN

86 48" x 48" AWN

87 48" x 48" AWN

88 48" x 48" AWN

89 48" x 48" AWN

90 48" x 48" AWN

91 48" x 48" AWN

92 48" x 48" AWN

93 48" x 48" AWN

94 48" x 48" AWN

95 48" x 48" AWN

96 48" x 48" AWN

97 48" x 48" AWN

98 48" x 48" AWN

99 48" x 48" AWN

100 48" x 48" AWN

**PROPOSED ROOF PLAN**  
SCALE: 1/4"=1'-0"

**ROOF NOTES:**

- PROVIDE NET FREE AREA VENTILATION TO EACH CAVITY AT THE RATE OF 1/1000
- SECTION 1504 ROOFING CLASSIFICATION 1504.4 MINIMUM RISE/ING CLASS. CLASS B DR SECTION ROOF COVERINGS SHALL BE USED ON ALL BUILDINGS.
- ALL STORM OR CASUAL WATER SHALL BE TIGHT LINED TO THE CITY'S SANITARY/STORM COMBO SYSTEM SECTION 1504.1 - ALL STORM OR CASUAL WATER FROM ROOF AREAS WHICH TOTAL LESS THAN 200 SQUARE FEET NEED NOT BE CONVEYED TO THE BUILDING DRAIN OR STORM DRAIN. SUCH DRAINAGE SHALL NOT BE DIRECTED TO FLOW INTO ADJACENT PROPERTY.
- ALL FLASHING AT VALLEYS AND VERTICAL ROOF PENETRATIONS SHALL BE MIN. 26-GAUGE GSH DR COPPER, SECTION 1508 & 1509

**PROPOSED THIRD STORY PLAN**  
SCALE: 1/4"=1'-0"

AREA CALCULATIONS FOR THIS LEVEL  
(N) THIRD FLOOR 855 S.F.  
NOT INCLUDING EXTERIOR DECK

**LINETYPE LEGEND ROOFPLAN**

--- WALL BELOW 1ST STORY

--- WALL BELOW 2ND STORY

--- WALL BELOW 3RD STORY

--- OVER/UNDER CONSTRUCTION

**FLOOR PARTITION LEGEND**

--- EXISTING CONSTRUCTION TO REMAIN

--- EXISTING CONSTRUCTION TO BE DEMOLISHED.

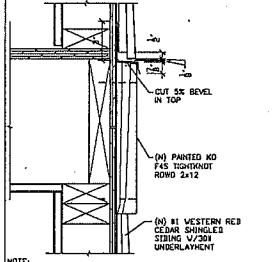
--- NEW WALLS, WOOD STUDS

--- OVER/UNDER CONSTRUCTION

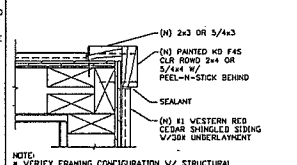


**TYPICAL MATERIALS:**  
 ROOFING: DIMENSIONAL LAMINATED ASPHALT COMPOSITION ROOF SHINGLES  
 WINDOWS: WOOD METAL CLAD  
 DOORS: WOOD METAL CLAD, I.D.N.  
 SKYLIGHTS: WOOD METAL CLAD  
 WOOD TRIM: 5/4" OR 2" PAINTED WOOD  
 SIDING: STAINED CEDAR WOOD SHINGLES  
 SEE TYPICAL DTLS A-E OF SHEET A3.0

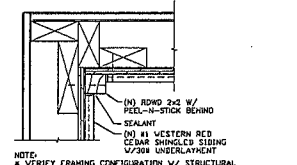
**HEAD FLASHING: 26 GAUGE GALVANIZED SHEET**  
 CORROSION-RESISTANT METAL. SLOPE HEAD FLASHING TO THE EXTERIOR. PRORISE END DAMS SOLDERED WATER-TIGHT. SEAL HEAD FLASHING TO THE INNER FACE OF EXTERIOR SHEATHING. PRORISE 1/2" UP-TURNED LEG AND COUNTER FLASH WITH WALL. PEE-L-N-STICK MEMBRANE ADHERED TO THE VERTICAL LEG OF THE METAL FLASHING.



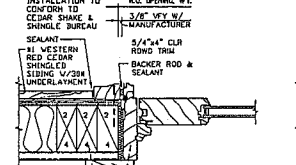
**(E) 2x HORIZONTAL BAND**  
 SCALE: 3" = 1'-0"



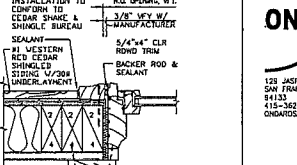
**(D) OUTSIDE SHINGLED CRNR**  
 SCALE: 3" = 1'-0"



**(C) INSIDE SHINGLED CRNR**  
 SCALE: 3" = 1'-0"

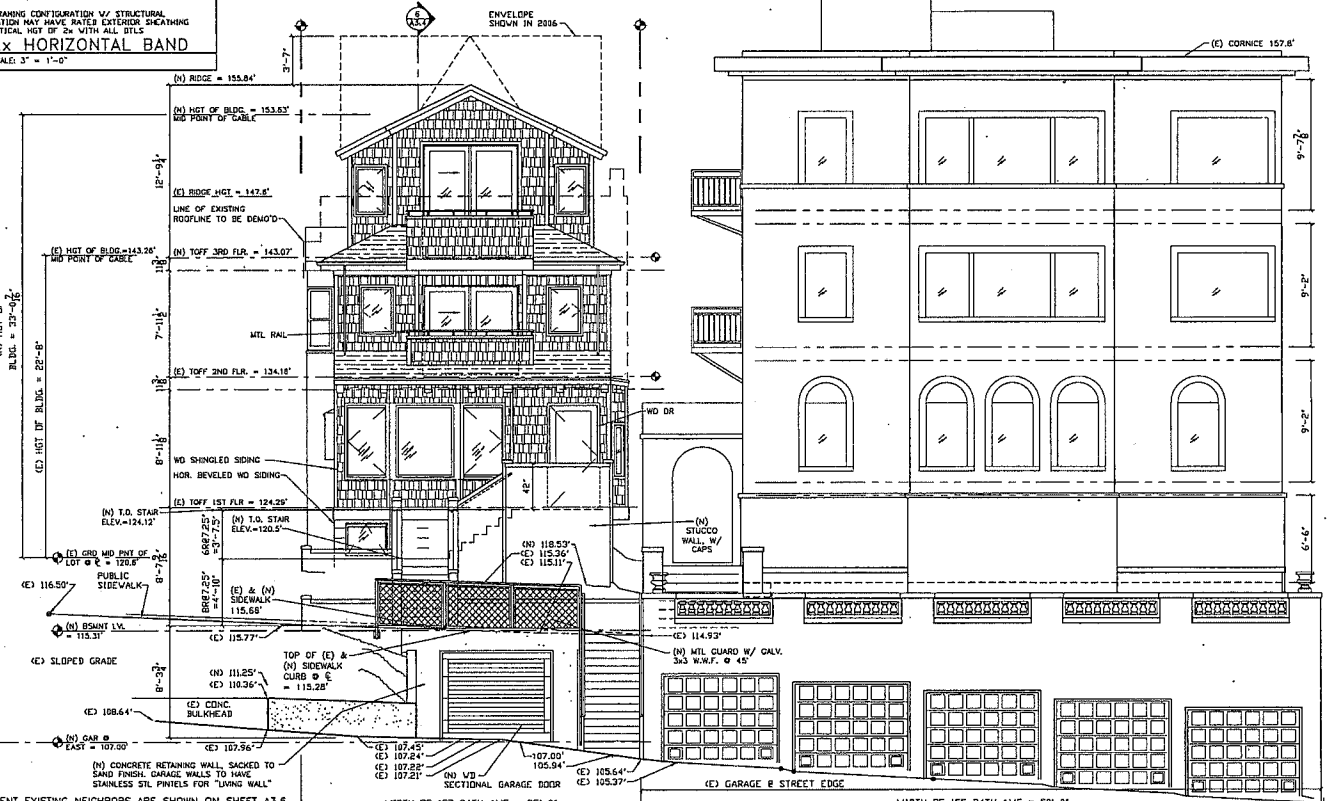
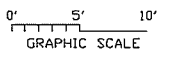


**(B) DOOR JAMB**  
 SCALE: 3" = 1'-0"



**(A) DOOR JAMB**  
 SCALE: 3" = 1'-0"

SF PLANNING CODE SEC. 102.12. HEIGHT OF A BUILDING.  
 (C) WHERE THE LOT SLOPES UPWARD FROM A STREET AT THE CENTERLINE OF THE BUILDING, SUCH POINT SHALL BE TAKEN AT CURB LEVEL FOR PURPOSES OF MEASURING THE HEIGHT OF THE CLOSEST PART OF THE BUILDING WITHIN 10' OF THE PROPERTY LINE OF SUCH STREET; AT EVERY OTHER CROSS-SECTION OF THE BUILDING, AT RIGHT ANGLES TO THE CENTERLINE OF THE BUILDING, SUCH POINT SHALL BE TAKEN AS THE AVERAGE OF THE GROUND ELEVATIONS AT EITHER SIDE OF THE BUILDING AT THAT CROSS-SECTION. THE GROUND ELEVATIONS USED SHALL BE ELEVATIONS BENEATH THE BUILDING SHALL BE TAKEN BY PROJECTING A STRAIGHT LINE BETWEEN GROUND ELEVATIONS AT THE EXTERIOR WALLS AT EITHER SIDE OF THE ENTIRE BUILDING IN THE SAME PLANE.



**(1) EAST (FRONT) ELEVATION**  
 SCALE: 1/4" = 1'-0"

**ONDA ROSA**  
 Architecture  
 Engineering  
 Space Planning  
 Interior Design  
 122 JACOB PLACE  
 SAN FRANCISCO, CA  
 94133  
 415-362-7441  
 ONDA@OSAS99.COM  
 LICENSED ARCHITECT  
 BOOC J. 430094  
 C - 24017  
 Dec. 31, 2015  
 STATE OF CALIFORNIA

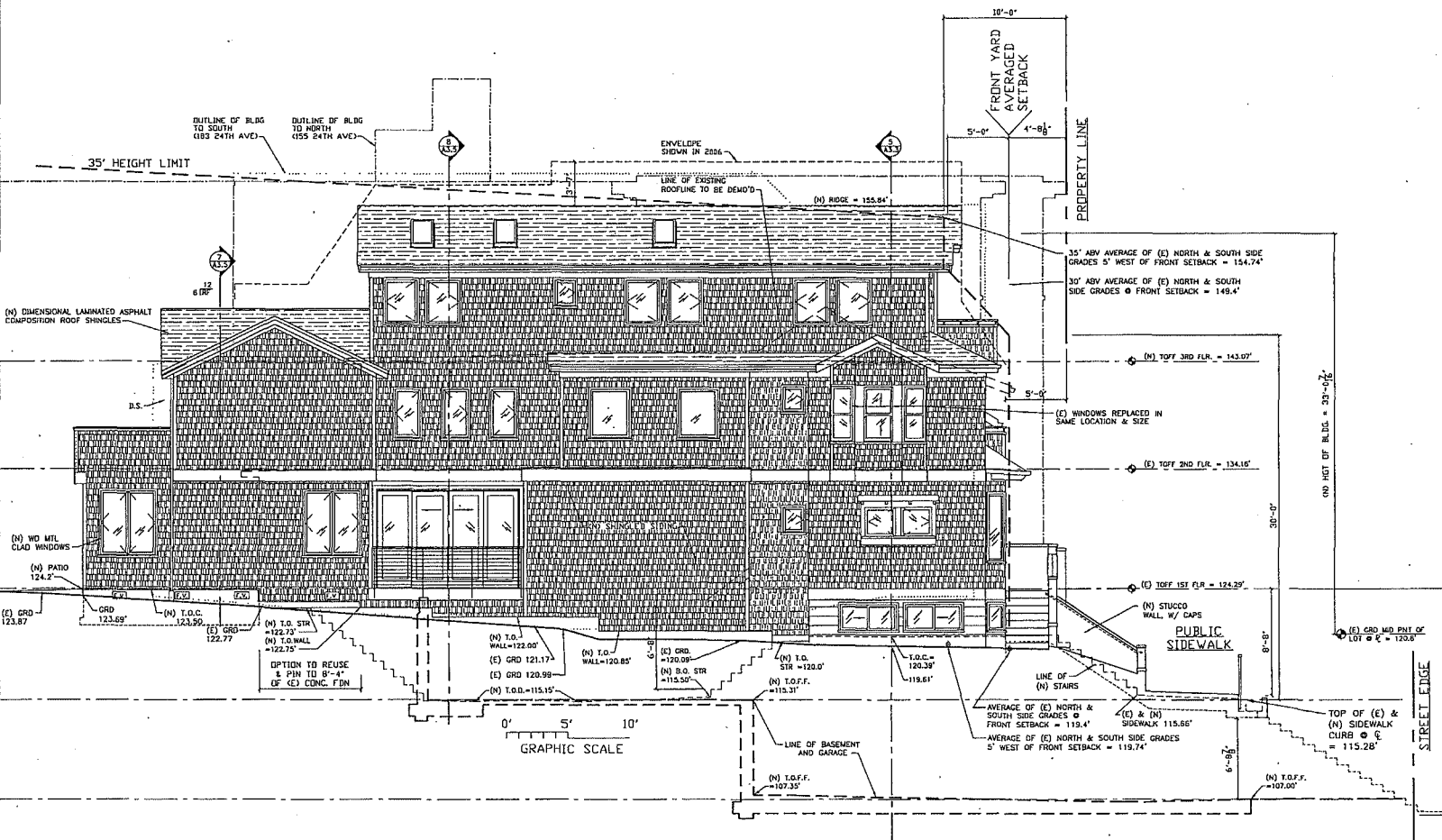
**CLAY PARK**  
 157 - 24TH AVE.  
 SAN FRANCISCO  
 CA, 94121  
 BLK 1334 LOT 006

|                    |          |
|--------------------|----------|
| PLANNING SUBMITTAL | 01/24/06 |
| PLANNING SUBMITTAL | 04/20/06 |
| PLANNING SUBMITTAL | 11/25/13 |
| PLANNING SUBMITTAL | 3/24/14  |
| PLANNING SUBMITTAL | 7/25/14  |
| Project Number     | 2024.28  |
| Scale              | AS NOTED |
| Drawn by           | 8.84     |

**PROPOSED EXTERIOR FRNT ELEVATION**

DBI APPLICATION # 2006-01-26-3118

**TYPICAL MATERIALS:**  
 ROOFING: DIMENSIONAL LAMINATED ASPHALT  
 COMPOSITION ROOF SHINGLES  
 WINDOWS: WOOD METAL CLAD  
 DOORS: WOOD METAL CLAD  
 SKYLIGHTS: WOOD METAL CLAD  
 WOOD TRIM: 5/4 OR 2" PAINTED WOOD  
 SIDING: STAINED CEDAR WOOD SHINGLES  
 SEE TYPICAL DTLS A-E OF SHEET A3.0



2 LEFT SIDE (SOUTH) ELEVATION  
 SCALE: 1/4" = 1'-0"

**ONDA ROSA**

Architecture  
 Engineering  
 Space Planning  
 Interior Design  
 120 JASPER PLACE  
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 415-362-7441  
 ONDAROSASPACELOCAL.NET



**CLAY PARK**  
 157 - 24TH AVE.  
 SAN FRANCISCO  
 CA, 94121

BLK 1334 LOT 006

| PLANNING SUBMITTAL | Date       | Revision/Issue |
|--------------------|------------|----------------|
| PLANNING SUBMITTAL | 01/24/06   |                |
| PLANNING SUBMITTAL | 11/25/13   |                |
| PLANNING SUBMITTAL | 3/24/14    |                |
| PLANNING SUBMITTAL | 4/23/14    |                |
| PLANNING SUBMITTAL | 7/25/14    |                |
| IP                 | Date       | Revision/Issue |
| Project Number     | Scale      |                |
| 2004-20            | 1/4"=1'-0" |                |

**PROPOSED  
 EXTERIOR  
 ELEVATIONS**

A 3.1

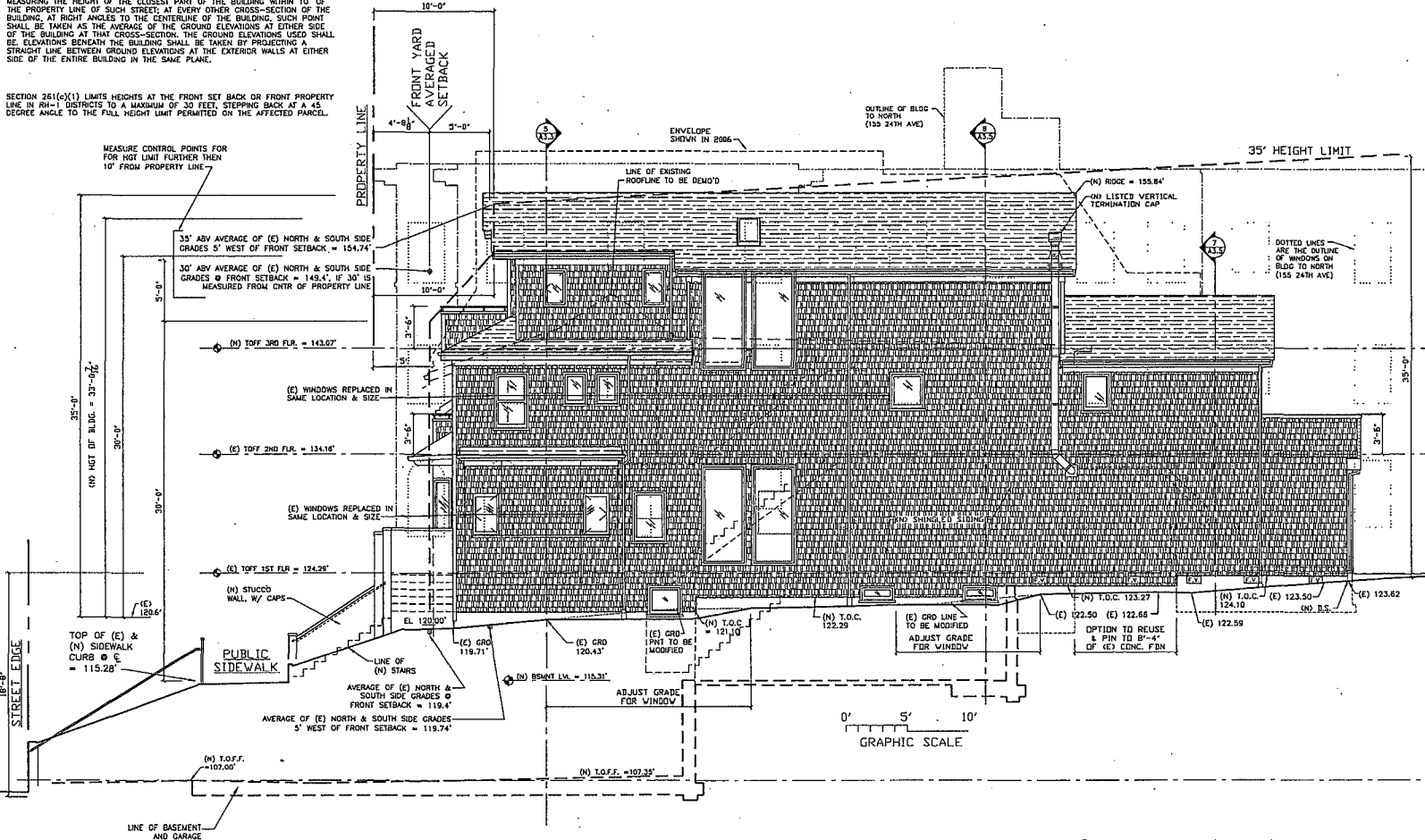
DBI APPLICATION # 2006-01-26-3118

**TYPICAL MATERIALS:**  
 ROOFING: DIMENSIONAL LAMINATED ASPHALT  
 COMPOSITION ROOF SHINGLES  
 WINDOWS: WOOD METAL CLAD  
 DOORS: WOOD METAL CLAD  
 SKYLIGHTS: WOOD METAL CLAD  
 WOOD TRIM: 1/4" OR 2x PAINTED WOOD  
 SIDING: STAINED CEDAR WOOD SHINGLES  
 SEE TYPICAL DTLS A-E OF SHEET A3.0

IF PLANNING CODE SEC. 102.12, HEIGHT OF A BUILDING:  
 (C) WHERE THE LOT SLOPES UPWARD FROM A STREET AT THE CENTERLINE OF THE BUILDING, SUCH POINT SHALL BE TAKEN AT CURB LEVEL FOR PURPOSES OF MEASURING THE HEIGHT OF THE CLOSEST PART OF THE BUILDING WITHIN 10' OF THE PROPERTY LINE OF SUCH STREET; AT EVERY OTHER CROSS-SECTION OF THE BUILDING, AT RIGHT ANGLES TO THE CENTERLINE OF THE BUILDING, SUCH POINT SHALL BE TAKEN AS THE AVERAGE OF THE GROUND ELEVATIONS AT EITHER SIDE OF THE BUILDING AT THAT CROSS-SECTION. THE GROUND ELEVATIONS USED SHALL BE ELEVATIONS BENEATH THE BUILDING SHALL BE TAKEN BY PROJECTING A STRAIGHT LINE BETWEEN GROUND ELEVATIONS AT THE EXTERIOR WALLS AT EITHER SIDE OF THE ENTIRE BUILDING IN THE SAME PLANE.

SECTION 261(c)(1) LIMITS HEIGHTS AT THE FRONT SET BACK OR FRONT PROPERTY LINE IN RH-1 DISTRICTS TO A MAXIMUM OF 30 FEET, STEPPING BACK AT A 45 DEGREE ANGLE TO THE FULL HEIGHT LIMIT PERMITTED ON THE AFFECTED PARCEL.

MEASURE CONTROL POINTS FOR HEIGHT LIMIT FURTHER THEN 10' FROM PROPERTY LINE



3 RIGHT SIDE (NORTH) ELEVATION  
 SCALE: 1/4" = 1'-0"

**ONDA ROSA**

Architecture  
 Engineering  
 Space Planning  
 Interior Design  
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 94133  
 415-362-7441  
 ONDA.ROS@SPRINT.CO.CA



**CLAY PARK**  
 157 - 24TH AVE.  
 SAN FRANCISCO  
 CA, 94121

BLK 1334 LOT 006

DBI APPLICATION # 2006-01-26-3118

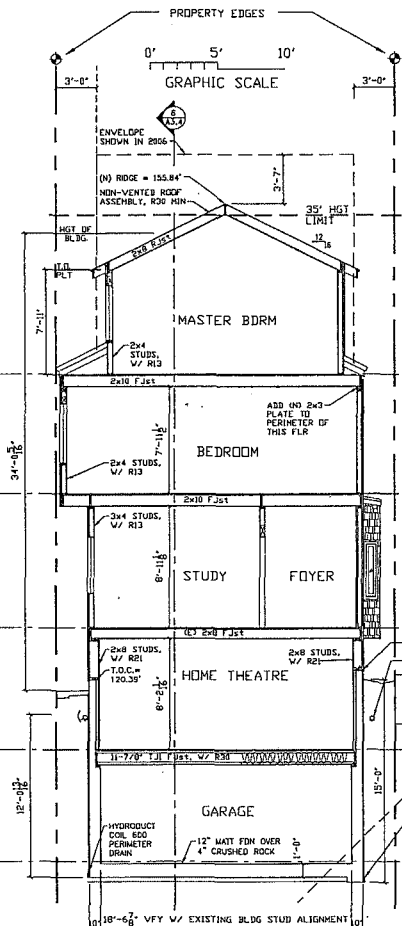
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| PLANNING SUBMITTAL | 11/25/12   |
| PLANNING SUBMITTAL | 3/24/14    |
| PLANNING SUBMITTAL | 4/23/14    |
| PLANNING SUBMITTAL | 7/25/14    |
| Project Number     | 2005.28    |
| Scale              | 1/4"=1'-0" |
| Drawn by           | BAW        |

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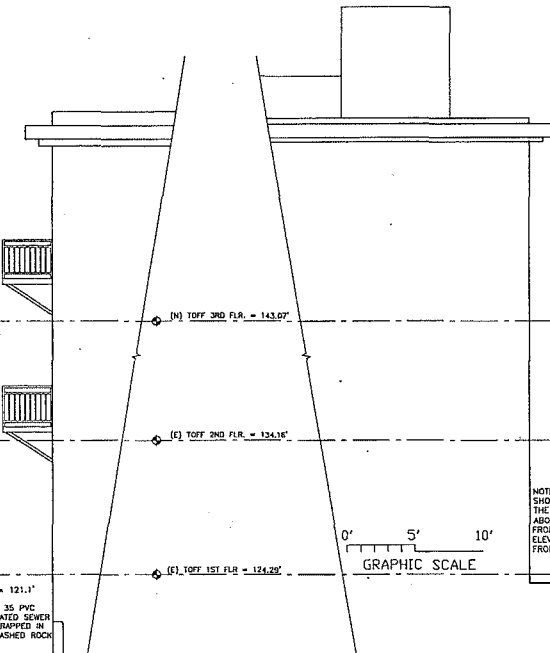
**PROPOSED  
 EXTERIOR  
 ELEVATIONS**

2304.11.2.6 WOOD SIDING, CLEARANCE BETWEEN WOOD SIDING AND EARTH ON THE EXTERIOR OF A BLDG SHALL NOT BE <48" OR <2" VERTICAL FROM CONC. STEPS, PORCH SLABS, PATIO SLABS & SIMILAR HORIZONTAL SURFACES EXPOSED TO THE WEATHER EXCEPT WHERE SIDING, SHEATHING AND WALL FRAMING ARE OF NATURALLY DURABLE OR PRESERVATIVE TREATED WOOD.

2304.11.2.7 WOOD SUPPORTED BY EXTERIOR FOUNDATION WALLS, WOOD FRAMING MEMBERS, INCLUDING WOOD SHEATHING, THAT REST ON EXTERIOR FOUNDATION WALLS AND ARE <6" FROM EXPOSED EARTH SHALL BE OF NATURALLY DURABLE OR PRESERVATIVE-TREATED WOOD.



5 NORTH/SOUTH SECTION  
SCALE: 1/4" = 1'-0"



4 REAR ELEVATION  
SCALE: 1/4" = 1'-0"

TYPICAL MATERIALS:  
ROOFING: DIMENSIONAL LAMINATED ASPHALT COMPOSITION ROOF SHINGLES  
WINDOWS: WOOD METAL CLAD  
DOORS: WOOD METAL CLAD  
SKYLIGHTS: WOOD METAL CLAD  
WOOD TRIM: 5/4 OR 2x PAINTED WOOD  
SIDING: STAINED CEDAR WOOD SHINGLES  
SEE TYPICAL DTLS A-E OF SHEET A3.0

ELEVATIONS SHOWING FULL WIDTH OF THE EXISTING NEIGHBORS ARE SHOWN ON SHEET A3.7

ELEVATIONS SHOWING FULL WIDTH OF THE EXISTING NEIGHBORS ARE SHOWN ON SHEET A3.7

**ONDA ROSA**

Architecture  
Engineer  
129 JASPER PLACE  
SAN FRANCISCO, CA  
94133  
415-382-7441  
ONDA ROSA ARCHITECTURE



**CLAY PARK**

157 - 24TH AVE.  
SAN FRANCISCO  
CA, 94121

BLK 1334 LOT 006

|                    |                     |
|--------------------|---------------------|
| PLANNING SUBMITTAL | 01/24/06            |
| PLANNING SUBMITTAL | 04/20/06            |
| PLANNING SUBMITTAL | 11/25/13            |
| PLANNING SUBMITTAL | 3/24/14             |
| PLANNING SUBMITTAL | 7/25/14             |
| HP                 | Date Revision/Issue |
| Proj#/1            | Scale               |
| 2006.28            | 1/4"=1'-0"          |
| Drawn by           | 0.24                |

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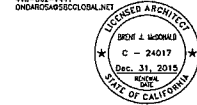
**REAR ELEVATION  
NORTH/SOUTH  
SECTION**

A 3.3

DBI APPLICATION # 2006-01-26-3118

# ONDA ROSA

Architecture  
Engineering  
Space Planning  
Interior Design



## CLAY PARK

157 - 24TH AVE.  
SAN FRANCISCO  
CA, 94121

BLK 1334 LOT 006

DBI APPLICATION # 2006-01-28-3118

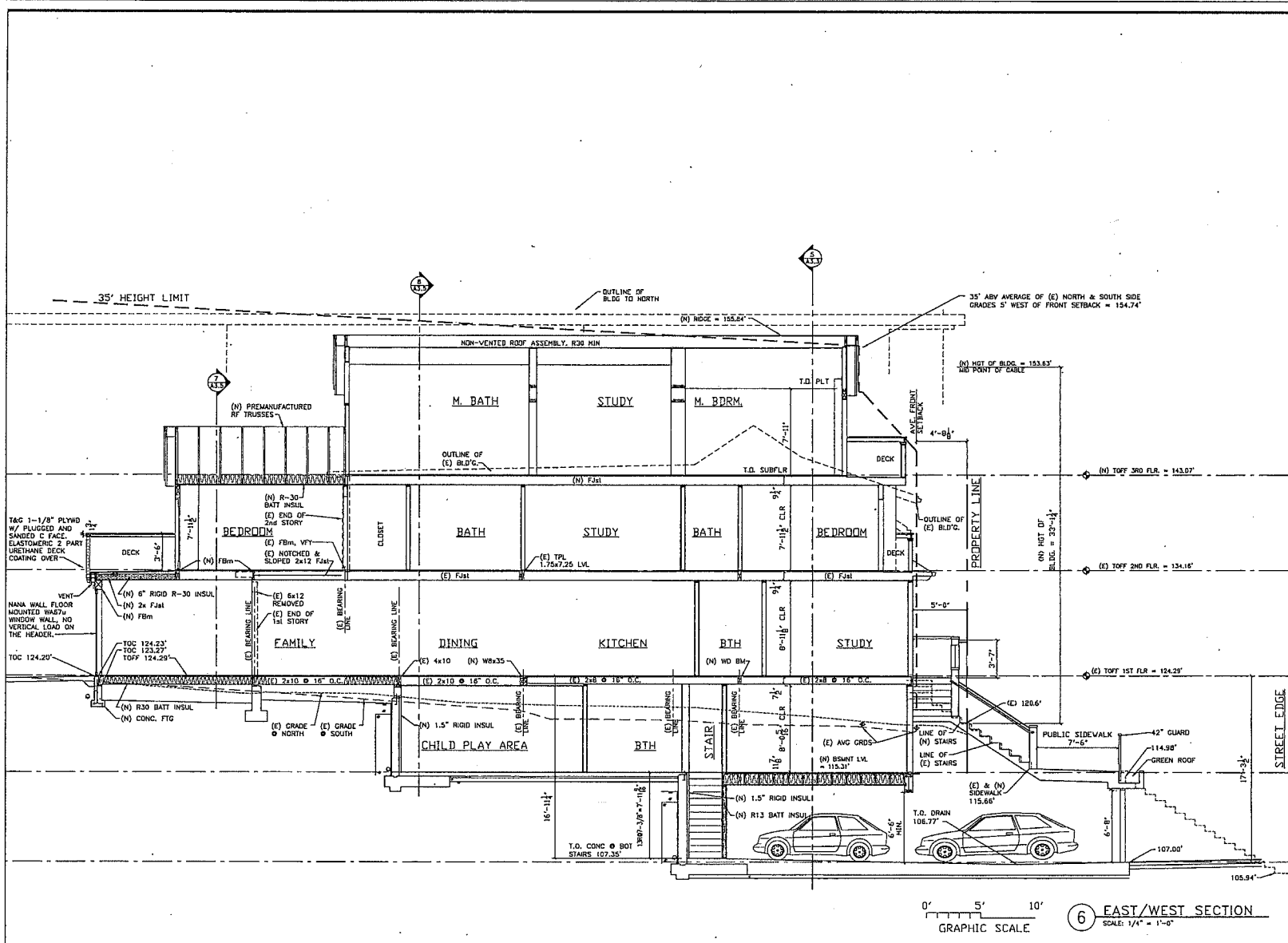
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| PLANNING SUBMITTAL | 01/24/06   |
| PLANNING SUBMITTAL | 04/20/06   |
| PLANNING SUBMITTAL | 11/25/07   |
| PLANNING SUBMITTAL | 3/24/14    |
| PLANNING SUBMITTAL | 7/25/14    |
| Project Number     | 2005.28    |
| Scale              | 1/4"=1'-0" |
| Drawn by           | BLM        |

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### EAST / WEST SECTION

A 3.4

12 OF 17 SHEETS



6 EAST/WEST SECTION  
SCALE: 1/4" = 1'-0"

**ONDA ROSA**

Architecture  
Engineering  
Space Planning  
Interior Design  
212 JASPER PLACE  
SAN FRANCISCO, CA  
94133  
415-382-7441  
ONDAROSA@SBCCI.CALIF.NET

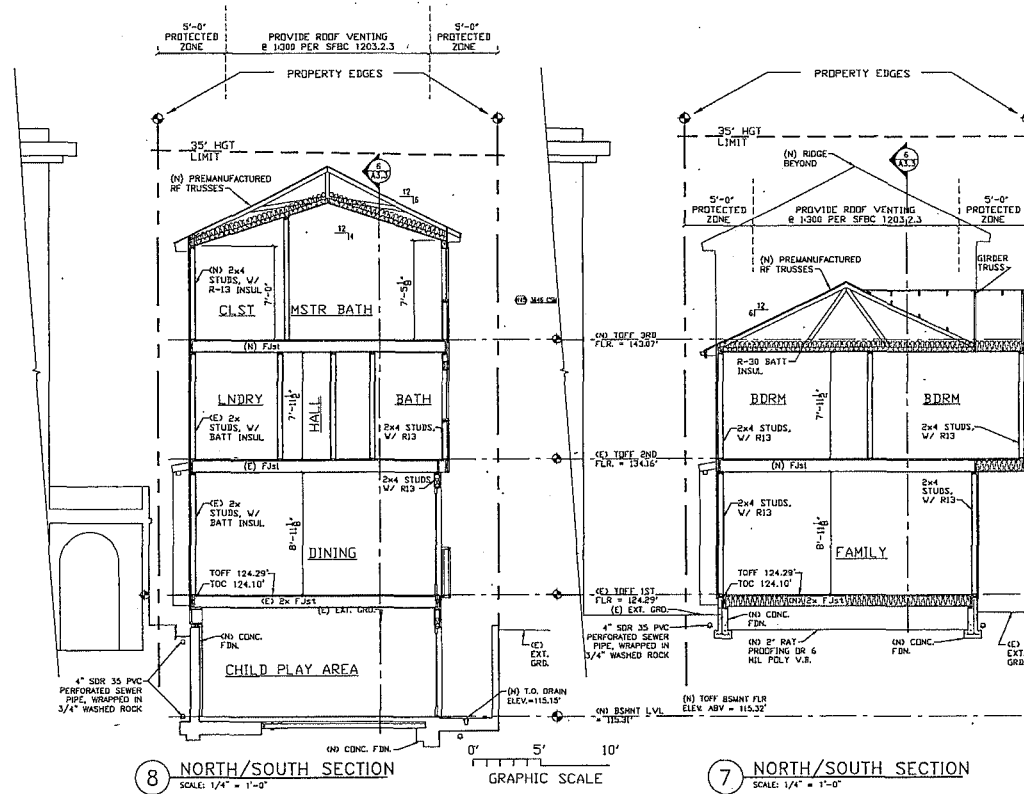


**CLAY PARK**

157 - 24TH AVE.  
SAN FRANCISCO  
CA, 94121

BLK 1334 LOT 006

DBI APPLICATION # 2006-01-26-3118



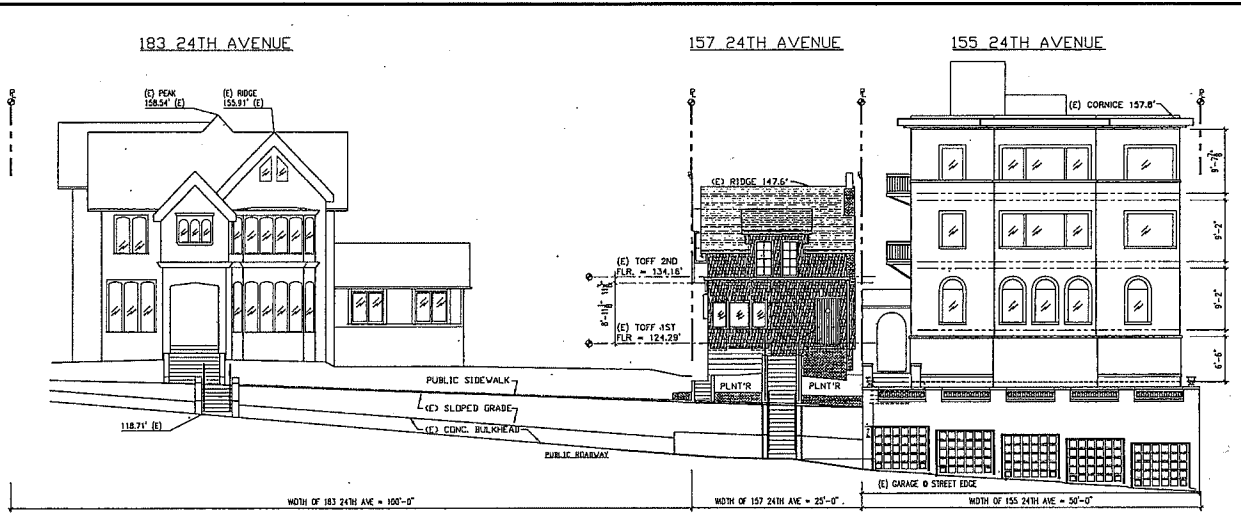
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| PLANNING SUBMITTAL | 4/23/14 |
| PLANNING SUBMITTAL | 7/25/14 |

| No.            | Date         | Revision/Issue |
|----------------|--------------|----------------|
| Project Number | Scale        |                |
| 2005-28        | 1/4" = 1'-0" |                |
| Drawn by       |              |                |
| BLM            |              |                |

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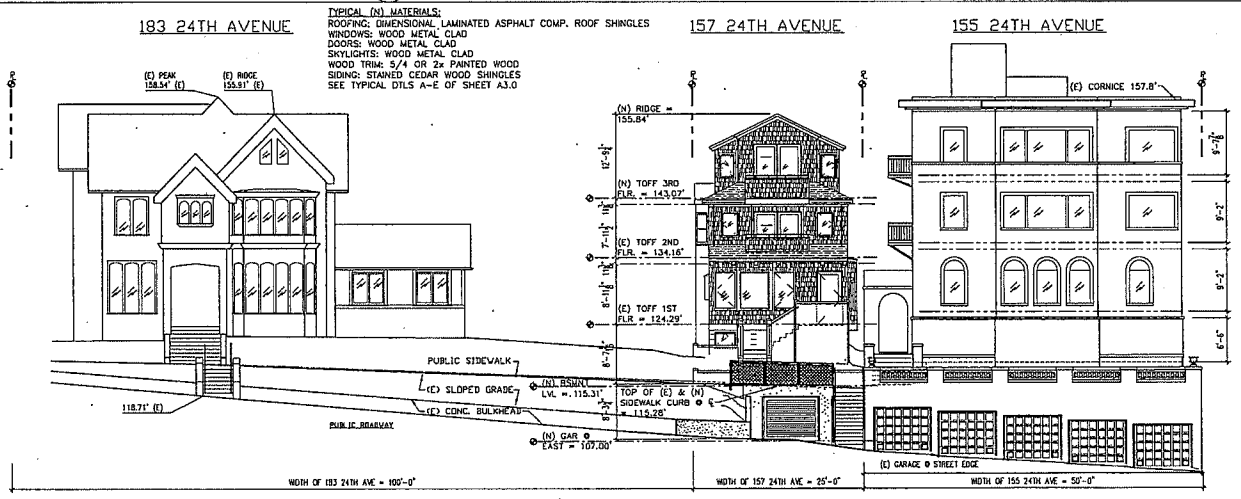
**NORTH / SOUTH SECTIONS**

A 3.5



NOTE: SEE SHEETS A1.2 & A1.3 FOR (E) BUILDING MATERIALS

2 (E) 24TH AVE STREETSCAPE  
SCALE: 1/8" = 1'-0"



1 (N) 24TH AVE STREETSCAPE  
SCALE: 1/8" = 1'-0"

0' 5' 10'  
GRAPHIC SCALE

**ONDA ROSA**

Architecture  
Engineering  
Space Planning  
Interior Design  
128 JASPER PLACE  
SAN FRANCISCO, CA  
94133  
415-362-7441  
ONDAROSAARCHITECTURE.COM



**CLAY PARK**

157 - 24TH AVE.  
SAN FRANCISCO  
CA, 94121

BLK 1334 LOT 006

PLANNING SUBMITTAL 7/25/14

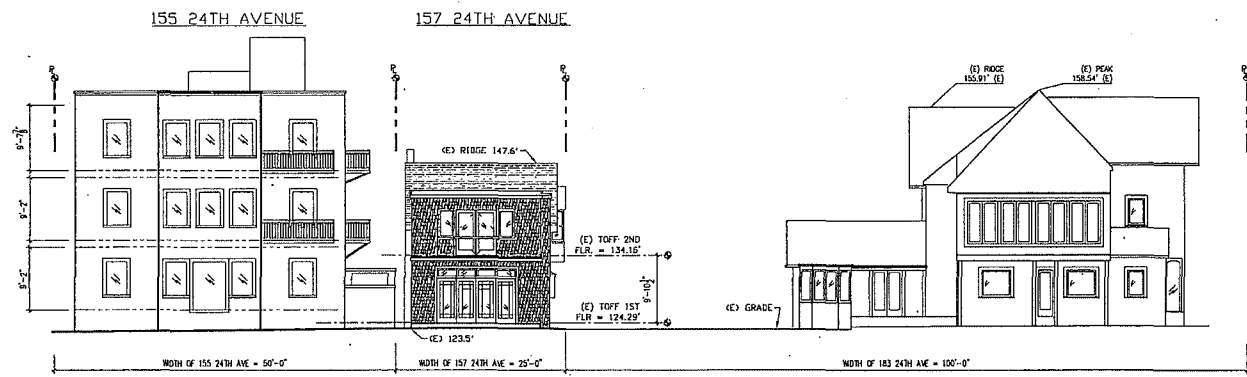
| No.            | Date    | Revision/Issue   |
|----------------|---------|------------------|
| 1              | 2005.28 | Scale 1/8"=1'-0" |
| Drawn by: B.M. |         |                  |

ALL DIMENSIONS AND WRITTEN MATERIAL APPEARING HEREIN CONSTITUTE THE ORIGINAL AND UNPUBLISHED WORK OF THE ARCHITECT AND MAY NOT BE REPLICATED, USED OR DISCLOSED WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT.

**24TH AVE  
(E) & (N)  
STREETSCAPE**

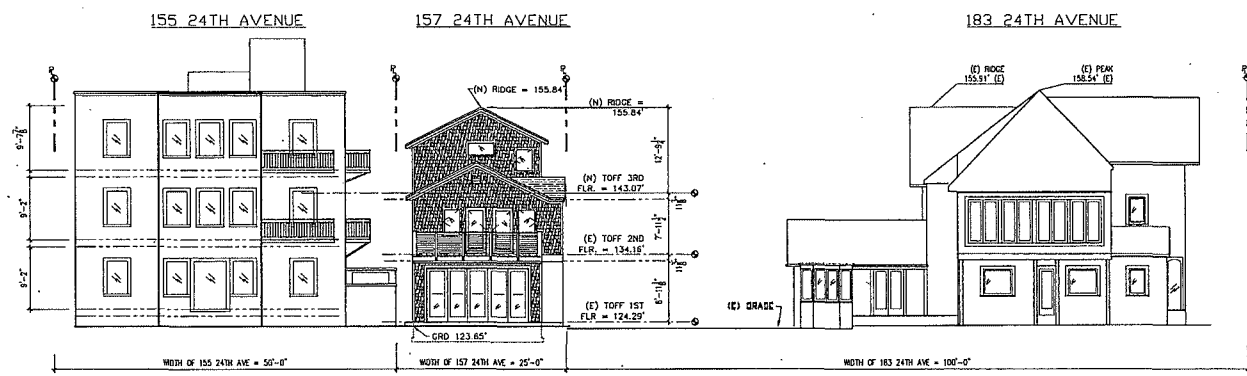
A 3.6

DBI APPLICATION # 2006-01-26-311B



NOTE: SEE SHEETS A1.2 & A1.3 FOR (E) BUILDING MATERIALS

2 (E) REARYDSCAPE  
SCALE: 1/8" = 1'-0"



TYPICAL MATERIALS:  
 ROOFING: DIMENSIONAL LAMINATED ASPHALT COMPOSITION ROOF SHINGLES  
 WINDOWS: WOOD METAL CLAD  
 DOORS: WOOD METAL CLAD  
 SKYLIGHTS: WOOD METAL CLAD  
 WOOD TRIM: 5/4 OR 2" PAINTED WOOD  
 SIDING: STAINED CEDAR WOOD SHINGLES  
 SEE TYPICAL DTLS A-C OF SHEET A3.0

10' 5' 0'  
 GRAPHIC SCALE

1 (E) REARYDSCAPE  
SCALE: 1/8" = 1'-0"

**ONDA ROSA**

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 Engineering  
 Space Planning  
 Interior Design  
 129 JACPER PLACE  
 SAN FRANCISCO, CA  
 94133  
 415-362-7441  
 ONDAROSA@GMAIL.COM



**CLAY PARK**

157 - 24TH AVE.  
 SAN FRANCISCO  
 CA, 94121

BLK 1334 LOT 006

DBI APPLICATION # 2006-01-26-3118

PLANNING SUBMITTAL 7/25/14

| No.            | Date    | Revision/Issue      |
|----------------|---------|---------------------|
| Project Number | 2006-01 | Scale: 1/8" = 1'-0" |
| Drawn by       | BAJ     |                     |

ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN CONSTITUTE THE ORIGINAL AND UNPUBLISHED WORK OF THE ARCHITECT AND MAY NOT BE REPRODUCED, COPIED OR DISCLOSED WITHOUT THE PRIOR WRITTEN CONSENT OF THE ARCHITECT.

**SCAPE  
 REARYARD  
 (E) & (N)**

A 3.7



**ATTACHMENT B**

Recording Requested By And When Recorded  
 Return To: DIRECTOR, DEPARTMENT OF BUILDING INSPECTION  
 1600 MISSION STREET, SAN FRANCISCO, CA 94103-2414

DIVISION

**DECLARATION OF USE LIMITATION**

I, MR. CHRISTOPHER D. BAKER, owner of the herein described property commonly known as 154 - 24<sup>TH</sup> AVE in San Francisco, Assessor's Block No. 1334, Lot No. 006 hereby consent to the within described alterations that:

In the event that the property located at 153 - 24<sup>TH</sup> AVE OR 155 - 24<sup>TH</sup> AVE, commonly known as Block No. 1334, Lot No. 007 AND 008, are improved in such a manner that the openings in the building located at 154 - 24<sup>TH</sup> AVE, no longer comply with the San Francisco Building Code, such said openings shall be closed or protected as required by the Director of the Department of Building Inspection.

The herein limitations shall be binding on me until amended by conforming to the San Francisco Building Code Requirements.

Signed: \_\_\_\_\_  
 CHUCK  
 Date of Execution: \_\_\_\_\_

**NOTARY ACKNOWLEDGMENT:**

Title or type of document: \_\_\_\_\_  
 Number of pages: \_\_\_\_\_ Date of document: \_\_\_\_\_

STATE OF CALIFORNIA (Signer's) other than named below: \_\_\_\_\_  
 County of: \_\_\_\_\_  
 On \_\_\_\_\_ before me, \_\_\_\_\_ personally appeared \_\_\_\_\_

personally known to me (or proved to me on the basis of satisfactory evidence) to be the person(s) whose name(s) herein subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their individual capacity(ies), and that by his/her/their signature(s) on the instrument, the person(s) or the entity upon behalf of which the person(s) acted executed the instrument.

WITNESS my hand and official seal.

Signature: \_\_\_\_\_ (Seal)  
 Notary Public in and for said Country and State

LOCAL EQUIVALENCY FORMS FOR  
 DBI ADMINISTRATIVE BULLETIN 9

**ATTACHMENT A**  
**DEPARTMENT OF BUILDING INSPECTION**  
 City & County of San Francisco  
 1440 Market Street, San Francisco, California 94103-2414

**REQUEST FOR APPROVAL OF LOCAL EQUIVALENCY FOR MODIFICATION OR ALTERNATE MATERIALS, DESIGN OR METHODS OF CONSTRUCTION**

DATE SUBMITTED: November 15, 2005 [Note: This form shall be recast as part of the permanent construction records of the property.]

If no permit application has been filed, a Preapplication Review Fee is required for review of a request for local equivalency or modification, per SFGC Table 1-9, NE. Additional fees may be required by Fire Department and other City review agencies.

If a permit application has been filed, no additional fees are required for this review.

Permit Application # 2005-\_\_\_\_

Property Address: 154 - 24<sup>TH</sup> AVE, San Francisco, CA 94121

Block and Lot: 1334 / 006 Occupancy Group: B-2 Type of Construction: V-2 No. of Stories: 2 over basement

Describe Use of Building: Single Family Residential

Under the authority of the 2001 San Francisco Building Code, Sections 104.2.7 and 104.2.8, the 2001 San Francisco Mechanical Code, Section 105, the 2001 San Francisco Electrical Code, Section 09-10 and the 2001 San Francisco Plumbing Code, Section 145, the undersigned requests modifications of the provisions of these codes and/or approval of alternate materials, designs or methods of construction. Two copies of supporting documents, including plans showing the proposed modifications or alternate materials, design or methods of construction, are attached.

Regular Code Requirement (specify Code and Section):

OFFENSES IN BUILDINGS OF A GROUP "B" OCCUPANCY CLOSER THAN PERMITTED UNDER SFBC 303.2 AND TABLE 3-A. THERE ARE 8 OPENINGS IN THIS CASE. 3 ARE LOCATED ON THE NORTH PROPERTY LINE. THE 50' BUILDING WALL AT THE NORTH IS LOCATED APPROXIMATELY 6' AWAY AND 12' FROM THE COMMON PROPERTY LINE. THE OPENING AT THE SOUTH IS 2' AWAY FROM THE COMMON PROPERTY LINE. OPENINGS LESS THAN 6" ARE NOT ALLOWED ACCORDING TO TABLE 3-A.

Proposed Modification or Alternate:

THE PROJECT APPLICANT PROPOSES TO PROVIDE A NON-OPERABLE ASSEMBLY LISTED TO PROVIDE A MEAN OF EGRESS IN ACCORDANCE WITH AS 100. THE AREA OF THE GLAZED OPENINGS SHALL CONFORM TO THE AREA LIMITATIONS OF SFBC SECTION 111.4. THE OPENINGS SHALL BE 6" WITH THE NORTH PROPERTY LINE. HEIGHT PROVISIONS TO THE 6" CONFORMANCE SHALL BE COMPLIED WITH BY 6" WITH THE NORTH PROPERTY LINE. STANDARD 7-A AND THE SHALL BE LABELED FOR 90 MIN MIN PROTECTION. THE ASSEMBLY SHALL BE INSTALLED PER THE LISTING. PER 115.8 THE OPENING SHALL BE 6" FROM THE NORTH PROPERTY LINE TO THE NORTH AND 2' AND 2' TO THE SOUTH OF THE SHARED PROPERTY LINE. THESE NEIGHBORHOODS WILL HAVE A NON-OPERABLE ASSEMBLY.

Case-by-Case Basis of Request - Describe the practical difficulties presented in meeting the specific conditions of the code and how the proposed modification or alternate treats the intent of the code. A separate form should be filed for each requested modification or alternate. Attach copies of any Administrative Bulletin, Code Book, reference, test reports, expert opinions, etc., which support this request. The Department may require that an approved consultant be used by the applicant to perform tests or analysis and to submit an evaluation report to the Department for consideration.

THE IMPROVED LOT STRUCTURE IS SAN FRANCISCO MAKES IT DIFFICULT TO GET LIGHT INTO INTERIOR ROOMS NE LOCATED ON THE STREET OR BACK OF THE BUILDING. THESE ROOMS WOULD BE BROUGHT INTO THE INTERIOR OF THE BUILDING. IT HAS BEEN DETERMINED IN PREVIOUS CASES THAT THE CONSTRUCTION OF OPENINGS CLOSER THAN IN ACCORDANCE WITH ALLOWED NOT PERMITTED OR FURTHER HAZARD TO THE NEIGHBORHOODS.

Requested by: PROJECT SPONSOR ARCHITECT/ENGINEER  
 Print Name: Brent McDonald ARCHITECT  
 Signature: \_\_\_\_\_ PROFESSIONAL STAMP HERE  
 Telephone: (415) 362-2441

PLAN REVIEWER COMMENTS:

|         |                         |            |
|---------|-------------------------|------------|
| APPROVE | APPROVE WITH CONDITIONS | DISAPPROVE |
| _____   | _____                   | _____      |

RECOMMENDATIONS: (Must be obtained by)

Plan Reviewer: \_\_\_\_\_  
 Division Manager: \_\_\_\_\_  
 for Director of Bldg. Inspection \_\_\_\_\_  
 for Fire Marshal: \_\_\_\_\_

CONDITIONS OF APPROVAL or OTHER COMMENTS

**ONDA ROSA**

Architecture  
 Engineering  
 Space Planning  
 Interior Design

179 JASPER PLACE  
 SAN FRANCISCO, CA  
 94133  
 415-362-7441  
 ONDA@ONDAARCHITECTS.COM

REGISTERED ARCHITECT  
 BRETT J. WOODWARD  
 C - 24017  
 Dec. 31, 2015  
 STATE OF CALIFORNIA

**CLAY PARK**

157 - 24TH AVE.  
 SAN FRANCISCO  
 CA, 94121

BLK 1334 LOT 006

|                    |          |
|--------------------|----------|
| PLANNING SUBMITTAL | 01/24/06 |
| PLANNING SUBMITTAL | 04/20/06 |
| PLANNING SUBMITTAL | 11/25/10 |
| PLANNING SUBMITTAL | 3/24/14  |
| PLANNING SUBMITTAL | 7/25/14  |
| Project Number     | 5000     |
| 2005.28            | N/A      |
| Drawn by           | BJW      |

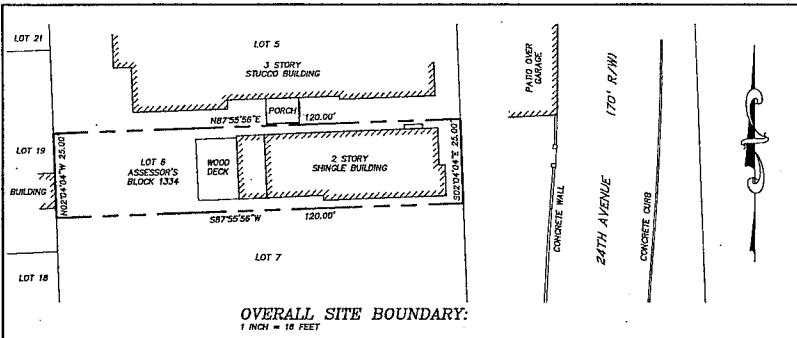
ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN CONSTITUTE THE ORIGINAL AND UNPUBLISHED WORK OF THE ARCHITECT AND MAY NOT BE DUPLICATED, USED OR DISCLOSED WITHOUT THE PRIOR WRITTEN CONSENT OF THE ARCHITECT.

**LOCAL EQUIVALENCY FORMS**

A 4.0

16 OF 17 SHEETS

DBI APPLICATION # 2006-01-26-3118



OVERALL SITE BOUNDARY:  
1 INCH = 18 FEET

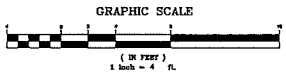
**LEGAL DESCRIPTION**

THE LAND REFERRED TO IS SITUATED IN THE COUNTY OF SAN FRANCISCO, CITY OF SAN FRANCISCO, STATE OF CALIFORNIA, DESCRIBED AS FOLLOWS:  
BEGINNING AT A POINT ON THE WESTERLY LINE OF 24TH AVENUE, DISTANT THEREON 200 FEET NORTHERLY FROM THE NORTH LINE OF LAKE STREET; RUNNING THENCE NORTHERLY ALONG SAID WESTERLY LINE OF 24TH AVENUE 25 FEET; THENCE AT A RIGHT ANGLE WESTERLY 130 FEET; THENCE AT A RIGHT ANGLE SOUTHERLY 25 FEET; THENCE AT A RIGHT ANGLE EASTERLY 120 FEET TO THE POINT OF BEGINNING.

**NOTES:**

- CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION.
- BASES OF ELEVATION: ELEVATIONS SHOWN ARE BASED UPON A FOUND CROWN POST CUT INTO THE OUTER RM OF THE SE SW AT THE CORNER OF 24TH AVENUE AND WEST CLAY STREET. ELEVATION TAKEN AS 95.824 FEET, CITY OF SAN FRANCISCO DATUM.
- BASES OF BEARINGS: BETWEEN FOUND CITY MONUMENTS AT THE INTERSECTION OF LAKE STREET AND 24TH AVENUE AND AT THE INTERSECTION OF LAKE STREET AND 22ND AVENUE AS SHOWN ON THE PARCEL MAP T-82-44. BEARING TAKEN AS NORTH 87°35'58" EAST.

LOT AREA: APN: 1334-006  
3000± SQ. FT.



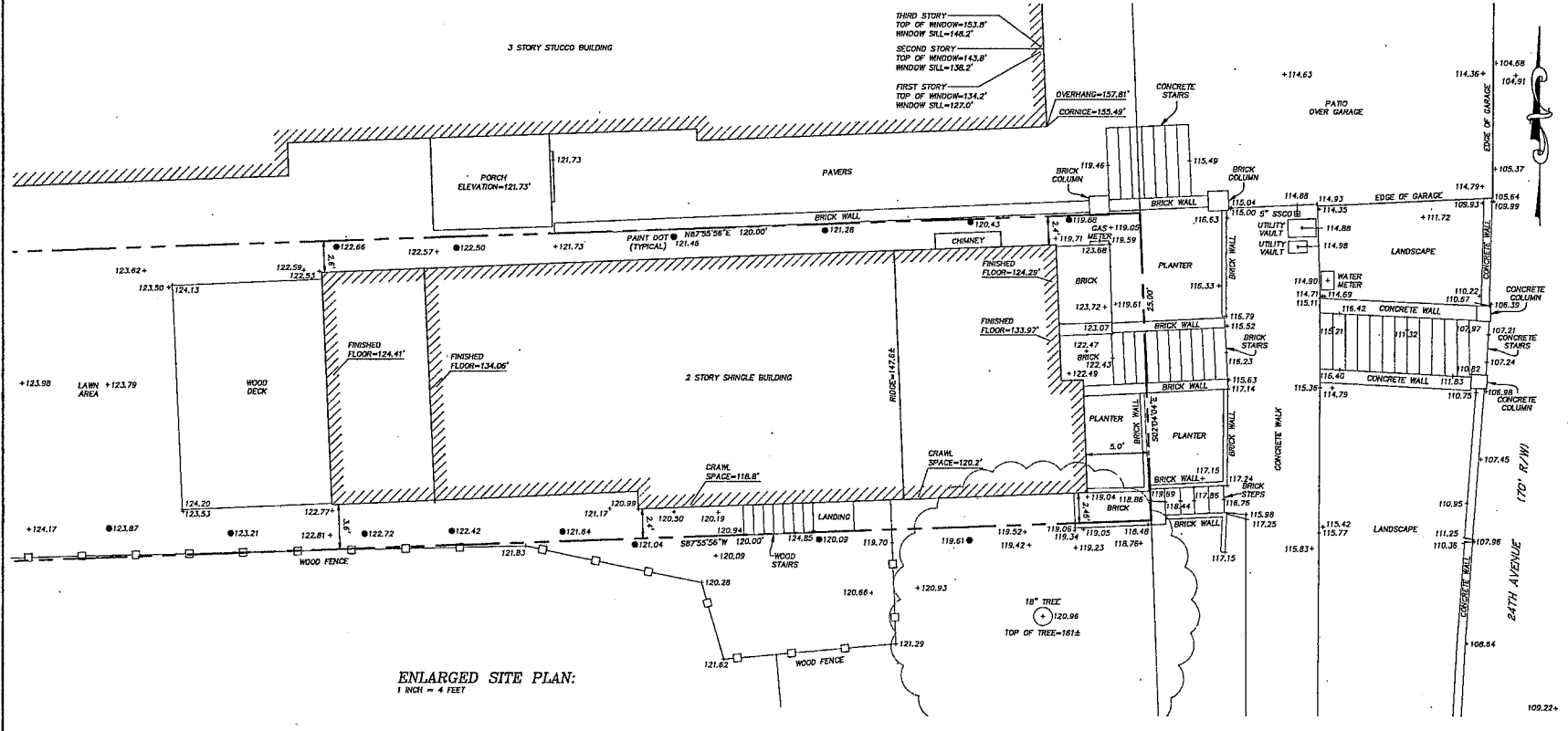
**TOPOGRAPHIC AND BOUNDARY SURVEY**

157 24TH AVENUE  
CITY OF SAN FRANCISCO - CALIFORNIA  
SCALE: 1" = 4'  
NOVEMBER 2013

**SURVEYOR'S STATEMENT**

THIS MAP CORRECTLY REPRESENTS A TOPOGRAPHIC AND BOUNDARY SURVEY MADE BY ME OR UNDER MY DIRECTION AT THE REQUEST OF KRISTINA BAKER #4: OCTOBER 2013  
I HEREBY STATE THAT THE TOPOGRAPHY AND BOUNDARIES SHOWN ON THIS MAP IS BASED UPON A SURVEY MADE BY ME, DYLAN M. CONSALES, PLS 8475  
THIS JUST DAY OF OCTOBER, 2013  
I FURTHER STATE THAT TO THE BEST OF MY KNOWLEDGE ALL PROMISONS OF APPLICABLE LOCAL ORDINANCES HAVE BEEN COMPLIED WITH.

DYLAN M. CONSALES DATE



ENLARGED SITE PLAN:  
1 INCH = 4 FEET

**DMG ENGINEERING, Inc.**  
30 OAKVIEW COURT  
PLEASANT HILL, CA 94523  
PHONE: (925) 787-0463  
FAX: (925) 287-8503

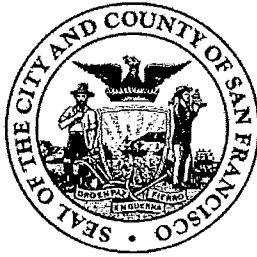
DMG ENGINEERING, INC. HAS RESTRICTED THE USE OF THIS INFORMATION. ANY REPRODUCTION OR TRANSMISSION OF THIS INFORMATION WITHOUT THE WRITTEN PERMISSION OF DMG ENGINEERING, INC. IS STRICTLY PROHIBITED. ANY REPRODUCTION OR TRANSMISSION OF THIS INFORMATION WITHOUT THE WRITTEN PERMISSION OF DMG ENGINEERING, INC. IS STRICTLY PROHIBITED. ANY REPRODUCTION OR TRANSMISSION OF THIS INFORMATION WITHOUT THE WRITTEN PERMISSION OF DMG ENGINEERING, INC. IS STRICTLY PROHIBITED.

| NO. | DATE | PERSONS | DESCRIPTION | BY |
|-----|------|---------|-------------|----|
|     |      |         |             |    |
|     |      |         |             |    |
|     |      |         |             |    |
|     |      |         |             |    |

**TOPOGRAPHIC AND BOUNDARY SURVEY**  
157 24TH AVENUE  
CITY OF SAN FRANCISCO  
COUNTY OF SAN FRANCISCO - CALIFORNIA  
SCALE: 1" = 4'  
NOVEMBER 2013

SHEET 1  
OF 1 SHEETS  
ORDG.WS: 11-8-13  
REV.DWG:  
JOB: 13-106

BOARD of SUPERVISORS



City Hall  
Dr. Carlton B. Goodlett Place, Room 244  
San Francisco 94102-4689  
Tel. No. 554-5184  
Fax No. 554-5163  
TDD/TTY No. 554-5227

## MEMORANDUM

TO: Mohammed Nuru, Director, Department of Public Works  
John Rahaim, Director, Planning Department  
Jonas Ionin, Acting Commission Secretary, Planning Commission  
Ben Rosenfield, City Controller, Office of the Controller  
Harlan Kelly Jr., General Manager, Public Utilities Commission  
Joanne Hayes-White, Chief, Fire Department  
Tom Hui, Director, Department of Building Inspection

FROM: Andrea Ausberry, Assistant Clerk, Land Use and Economic Development  
Committee, Board of Supervisors

DATE: September 22, 2014

SUBJECT: LEGISLATION INTRODUCED

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The Board of Supervisors' Land Use and Economic Development Committee has received the following proposed legislation, introduced by the Department of Public Works on September 9, 2014:

**File No. 140908**

**Resolution granting revocable permission to Kristina Baker to occupy a portion of the public right-of-way to construct and maintain a portion of a new two car garage, new terraced concrete retaining walls, reconstruct existing public concrete stairway, and install and maintain additional landscaping within the existing sloped and landscaped portion of the 24<sup>th</sup> Avenue public right-of-way, to access and provide off-street parking for the property at 157-24<sup>th</sup> Avenue (Assessor's Block No. 1334, Lot No. 006) and making findings of consistency with the eight priority policies of Planning Code, Section 101.1.**

If you have any additional comments or reports to be included with the file, please forward them to me at the Board of Supervisors, City Hall, Room 244, 1 Dr. Carlton B. Goodlett Place, San Francisco, CA 94102.

c: Frank Lee, Department of Public Works  
AnMarie Rodgers, Planning Department  
Aaron Starr, Planning Department  
Monique Zmuda, Office of the Controller  
Juliet Ellis, Public Utilities Commission  
Donna Hood, Public Utilities Commission  
Joanne Hayes-White, Fire Department  
William Strawn, Department of Building Inspection  
Carolyn Jayin, Department of Building Inspection  
Sonya Harris, Building Inspection Commission

**LEGISLATION RECEIVED CHECKLIST**

Date 8/28/14

File Number (if applicable) 140908

- Legislation for Introduction (NEW)                      ▶▶▶ Legislation Clerk
- Legislation Pending in Committee (AMENDED)        ▶▶▶ Committee Clerk
- Legislation for Board Agenda (AMENDED)            ▶▶▶ Dep Clerk, Legislative Div

**Supervisor, Mayor, and Departmental Submittals**

**Grant Ordinance**

- Legislation:** Original and 2 hard copies and 1 electronic copy in word format
- Signature:** Department Head, Mayor or the Mayor's designee, plus the Controller
- Back-up materials:** 2 full sets (see below) and 1 electronic copy in pdf format\*
  - Cover letter (original and 1 hard copy)
  - Grant budget/application
  - Grant information form, including disability checklist
  - Letter of Intent or grant award letter from funding agency
  - Contract, Leases/Agreements (if applicable)
  - Ethics Form 126 (if applicable)\*Word format
- E-Copy of legislation/back-up materials: Sent to BOS.Legislation@sfgov.org**

**Ordinance**

- Legislation:** Original and 2 hard copies and 1 electronic copy in word format
- Signature:** City Attorney (For Settlement of Lawsuits - City Attorney, Department Head, Controller, Commission Secretary)
- Back-up materials:** 2 hard copies (see below) and 1 electronic copy in pdf format
  - Cover letter (original and 1 hard copy)
  - Settlement Report/Agreement (for settlements)
  - Other (Explain)
- E-Copy of legislation/back-up materials: Sent to BOS.Legislation@sfgov.org**

**Grant Resolution**

- Legislation:** Original and 2 hard copies and 1 electronic copy in word format
- Signature:** Department Head, Mayor or the Mayor's designee, plus the Controller
- Back-up materials:** 2 hard copies (see below) and 1 electronic copy in pdf format\*
  - Cover letter (original and 1 hard copy)
  - Grant budget/application
  - Grant information form, including disability checklist
  - Letter of Intent or grant award letter from funding agency
  - Contract, Leases/Agreements (if applicable)
  - Ethics Form 126 (if applicable)\*Word format
- E-Copy of legislation/back-up materials: Sent to BOS.Legislation@sfgov.org**

**Resolution**

- Legislation:** Original and 2 hard copies and 1 electronic copy in word format
- Signature:** None (Required for Settlement of Claims - City Attorney, Department Head, Controller, Commission Secretary)
- Back-up materials:** 2 full sets (see below) and 1 electronic copy in pdf format
  - Cover letter (original and 1 hard copy)
  - Settlement Report/Agreement (for settlements)
  - Other (Explain) *see cover letter*
- E-Copy of legislation/back-up materials: Sent to BOS.Legislation@sfgov.org**

NICK ELSNER / 554-6186  
Name and Telephone Number

DEPT. OF PUBLIC WORKS  
Department