

File No. 140899

Committee Item No. _____

Board Item No. 26

COMMITTEE/BOARD OF SUPERVISORS

AGENDA PACKET CONTENTS LIST

Committee _____

Date _____

Board of Supervisors Meeting

Date September 2, 2014

Cmte Board

- | | | |
|--------------------------|-------------------------------------|--|
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | Motion |
| <input type="checkbox"/> | <input type="checkbox"/> | Resolution |
| <input type="checkbox"/> | <input type="checkbox"/> | Ordinance |
| <input type="checkbox"/> | <input type="checkbox"/> | Legislative Digest |
| <input type="checkbox"/> | <input type="checkbox"/> | Budget Analyst Report |
| <input type="checkbox"/> | <input type="checkbox"/> | Legislative Analyst Report |
| <input type="checkbox"/> | <input type="checkbox"/> | Introduction Form (for hearings) |
| <input type="checkbox"/> | <input type="checkbox"/> | Department/Agency Cover Letter and/or Report |
| <input type="checkbox"/> | <input type="checkbox"/> | MOU |
| <input type="checkbox"/> | <input type="checkbox"/> | Grant Information Form |
| <input type="checkbox"/> | <input type="checkbox"/> | Budget and Budget Justification |
| <input type="checkbox"/> | <input type="checkbox"/> | Subcontract Budget |
| <input type="checkbox"/> | <input type="checkbox"/> | Contract/Agreement |
| <input type="checkbox"/> | <input type="checkbox"/> | Agreement/Award Letter |
| <input type="checkbox"/> | <input type="checkbox"/> | Application |
| <input type="checkbox"/> | <input type="checkbox"/> | Public Correspondence |

OTHER (Use back side if additional space is needed)

- | | | |
|--------------------------|-------------------------------------|---------------------------------------|
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | <u>Routing Sheet - 08/14/2014</u> |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | <u>DPW Order No. 182847</u> |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | <u>Planning Memo - 09/17/2013</u> |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | <u>Tax Certification - 07/11/2014</u> |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | <u>Final Maps</u> |

Completed by: Joy Lamug

Date August 20, 2014

Completed by: _____

Date _____

An asterisked item represents the cover sheet to a document that exceeds 20 pages. The complete document is in the file.

1 [Final Map 7726 - 870 Harrison Street]

2
3 **Motion approving Final Map 7726, a 26 residential unit and one commercial unit, mixed-**
4 **use condominium project, located at 870 Harrison Street, being a subdivision of**
5 **Assessor's Block No. 3752, Lot No. 019, and adopting findings pursuant to the General**
6 **Plan, and the eight priority policies of City Planning Code, Section 101.1.**

7
8 MOVED, That the certain map entitled "FINAL MAP 7726", a 26 residential unit and
9 one commercial unit, mixed-use condominium project, located at 870 Harrison Street, being a
10 subdivision of Assessor's Block No. 3752, Lot No. 019, comprising 2 sheets, approved August
11 13, 2014, by Department of Public Works Order No. 182847 is hereby approved and said map
12 is adopted as an Official Final Map 7726; and, be it

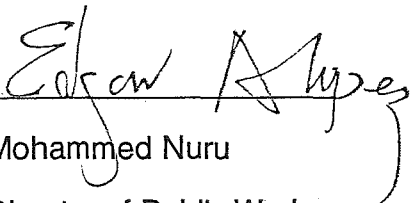
13 FURTHER MOVED, That the San Francisco Board of Supervisors adopts as its own
14 and incorporates by reference herein as though fully set forth the findings made by the City
15 Planning Department, by its letter dated September 17, 2013, that the proposed subdivision is
16 consistent with the objectives and policies of the General Plan and the eight priority policies of
17 Planning Code, Section 101.1; and, be it

18 FURTHER MOVED, That the San Francisco Board of Supervisors hereby authorizes
19 the Director of the Department of Public Works to enter all necessary recording information on
20 the Final Map and authorizes the Clerk of the Board of Supervisors to execute the Clerk's
21 Statement as set forth herein; and, be it


22 FURTHER MOVED, That approval of this map is also conditioned upon compliance by
23 the subdivider with all applicable provisions of the San Francisco Subdivision Code and
24 amendments thereto.

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RECOMMENDED:


Mohammed Nuru
Director of Public Works

DESCRIPTION APPROVED:


Bruce R. Storrs, PLS
City and County Surveyor



Edwin M. Lee, Mayor
 Mohammed Nuru, Director
 Fuad S. Sweiss, PE, PLS,
 City Engineer & Deputy Director of Engineering

Department of Public Works
 Bureau of Street-Use & Mapping
 1155 Market Street, 3rd Floor
 San Francisco, CA 94103

Bruce R. Storrs, City and County Surveyor

FINAL MAP ROUTING SHEET

Everyone involved in the processing of this Final Map is requested to complete this form so that the department has a written record of the steps taken. Please notify BSM Surveys at 554-5827 or the sender (see below) of any delays or questions.

MAP

Final Map No. 7726	Date Sent: Thursday, August 14, 2014	Date Due at BOS Thursday, August 21, 2014
Block/Lot 3752 / 019	Map Address 870 Harrison Street	

SENDER

Name: Cheryl Chan	Telephone: 415-554-4885
Address: 1155 Market Street, 3 rd Floor	Email: Cheryl.Chan@sfdpw.org

ROUTE

Date Received	To	Date Forwarded or Signed
	Frank W. Lee Executive Assist. To Director City Hall, Room 348	
	John Malamut / Susan Cleveland-Knowles City Attorney Office Email: John.Malamut@sfdpw.org Tel: (415) 554-4622	
	Mohammed Nuru Director of Public Works City Hall, Room 348	
	Clerk of Board of Supervisors (BOS) City Hall, Room 244 (Submit a copy of this sheet with map.)	
	When map is submitted to BOS, please return this original routing sheet to sender.	





Office of the City and County Surveyor
1155 Market Street, 3rd Floor
San Francisco, CA 94103
(415) 554-5827 ■ www.sfdpw.org



Edwin M. Lee, Mayor
Mohammed Nuru, Director

Bruce R. Storrs, City and County Surveyor

DPW Order No: 182847

**CITY AND COUNTY OF SAN FRANCISCO
DEPARTMENT OF PUBLIC WORKS**

APPROVING FINAL MAP 7726, 870 HARRISON STREET, A 26 RESIDENTIAL UNIT AND 1 COMMERCIAL UNIT MIXED-USE CONDOMINIUM PROJECT, BEING A SUBDIVISION OF ASSESSORS BLOCK NO. 3752, LOT NO. 019.

A 26 RESIDENTIAL UNIT AND 1 COMMERCIAL UNIT MIXED-USE CONDOMINIUM PROJECT

The City Planning Department in its letter dated September 17, 2013, stated that the subdivision is in conformity with the General Plan and the Priority Policies of City Planning Code Section 101.1.

The Director of Public Works, the Advisory Agency, acting in concurrence with other City agencies, has determined that said Final Map complies with all subdivision requirements related thereto. Pursuant to the California Subdivision Map Act and the San Francisco Subdivision Code, the Director recommends that the Board of Supervisors approve the aforementioned Final Map.

Transmitted herewith are the following:

1. Four (4) paper copies of the Motion approving said map – one (1) copy in electronic format.
2. One (1) mylar signature sheet and one (1) paper set of the "Final Map 7726", each comprising 2 sheets.
3. One (1) copy of the Tax Certificate from the Office of the Treasurer and Tax Collector certifying that there are no liens against the property for taxes or special assessments collected as taxes.
4. One (1) copy of the letter dated September 17, 2013, from the City Planning Department verifying conformity of the subdivision with the General Plan and the Priority Policies set forth in City Planning Code Section 101.1.

It is recommended that the Board of Supervisors adopt this legislation.

RECOMMENDED:

Bruce R. Storrs, PLS
City and County Surveyor, DPW

APPROVED:

Mohammed Nuru
Director of Public Works

RECEIVED
BOARD OF SUPERVISORS
SAN FRANCISCO
JUN 18 AM 8:26



140900

cc: File (2)
Board of Supervisors (signed)
Tax Collector's Office

APPROVED: August 13, 2014

MOHAMMED NURU, DIRECTOR

8/13/2014

8/13/2014

X Bruce R. Storrs

Storrs, Bruce
City and County Surveyor

X Edgar Lopez

Nuru, Mohammed
Director, DPW





Edwin M. Lee, Mayor
Mohammed Nuru, Director
Fuad S. Sweiss, PE, PLS,
City Engineer & Deputy Director of Engineering



Phone: (415) 554-5827
Fax: (415) 554-5324
www.sfdpw.org
Subdivision.Mapping@sfdpw.org

Department of Public Works
Office of the City and County Surveyor
1155 Market St 3rd Floor
San Francisco, CA 94103

Bruce R. Storrs, City and County Surveyor

13 SEP 10 11:10:51

TENTATIVE MAP DECISION

August 14, 2013

Department of City Planning
1650 Mission Street, Suite 400
San Francisco, CA 94103

Attention: Mr. Scott F. Sanchez

2013.1156 D

Project ID:	7726		
Project Type:	26 Residential Units and 1 Commercial Unit Condominium Project		
Address #	Street Name	Block	Lot
870	Harrison Street	3752	019

The subject Tentative Map has been reviewed by the Planning Department and does comply with applicable provisions of the Planning Code. On balance, the Tentative Map is consistent with the General Plan and the Priority Policies of Planning Code Section 101.1 based on the attached findings. The subject referral is exempt from environmental review per Class 1 California Environmental Quality Act Guidelines.

X The subject Tentative Map has been reviewed by the Planning Department and does comply with applicable provisions of the Planning Code subject to the following conditions (Any requested documents should be sent in with a copy of this letter to Scott F. Sanchez at the above address):
SEE ATTACHED NOTICES OF SPECIAL RESTRICTIONS.

The subject Tentative Map has been reviewed by the Planning Department and does not comply with applicable provisions of the Planning Code. Due to the following reasons (Any requested documents should be sent in with a copy of this letter to Scott F. Sanchez at the above address):

- Enclosures:
- Application
 - Print of Tentative Map

Sincerely,

Bruce R. Storrs, P.L.S.
City and County Surveyor

PLANNING DEPARTMENT

DATE 09.17.13

C. LAMORENA FOR
Mr. Scott F. Sanchez, Zoning Administrator



SAN FRANCISCO PLANNING DEPARTMENT

Per Final Mitigated Negative Declaration and NSRs #J246259 and #J420323 for Case No. 2006.0430CEK and 2012.0150C adopted by the Planning Commission of the City and County of San Francisco on June 18, 2009 and May 10, 2012, as set forth in Planning Commission Motion Nos. 17906 and 18617, per Building Application Nos. 200607146552, 200607146549, and 201307151816 to demolish a vacant two-story building and construct a six-story building (26 dwelling units and 1 commercial unit).

1650 Mission St.
Suite 400
San Francisco,
CA 94103-2479

Reception:
415.558.6378

Fax:
415.558.6409

Planning
Information:
415.558.6377

RECORDING REQUESTED BY)
)
 And When Recorded Mail to)
)
 Name: Reuben & Junius, LLP)
)
 Address: One Bush Street, Suite 600)
)
 City: San Francisco)
)
 State: California)

CONFIRMED COPY of document recorded
 on 05/29/2012, 20123420323
 with document no. _____
 This document has not been compared with the original
 SAN FRANCISCO ASSESSOR-RECORDER

7-25-12

Space Above This Line For Recorder's Use

NOTICE OF SPECIAL RESTRICTIONS UNDER THE PLANNING CODE

I, (We) 870 Harrison Street LLC - Sean Sullivan, the owner(s) of that certain real property situated in the City and County of San Francisco, State of California, more particularly described as follows: (LEGAL DESCRIPTION AS ON DEED).

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE CITY OF SAN FRANCISCO, COUNTY OF SAN FRANCISCO, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:

BEGINNING at a point on the northwesterly line of Harrison Street, distant thereon 206 feet and 3 inches northeasterly from the northeasterly line of Fifth Street; running thence northeasterly along said line of Harrison Street, 68 feet and 9 inches; thence at a right angle northwesterly 85 feet; thence at a right angle southwesterly 68 feet and 9 inches; thence at a right angle southeasterly 85 feet to the point of beginning.

BEING portion of 100 Vara Block No. 374.

APN: Lot 19, Block 3752

BEING Assessor's Block 3752, Lot 019, commonly known as 870 Harrison Street, hereby give notice that there are special restrictions on the use of said property under Part II, Chapter II of the San Francisco Municipal Code (Planning Code).

Said restrictions consist of conditions attached to the Conditional Use Application No. **2012.0150C** approved by the Planning Commission of the City and County of San Francisco on **May 10, 2012**, as set forth in Planning Commission Motion No. **18617**.

The restrictions and conditions of which notice is hereby given are:

GENERAL CONDITIONS

1. Performance. This authorization is valid until June 18, 2015. Any subsequent request to modify the project or performance period beyond June 18, 2015 shall be subject to provisions of the Planning Code in force at the time such application is submitted.

NOTICE OF SPECIAL RESTRICTIONS UNDER THE PLANNING CODE

2. Recordation. Prior to the issuance of any building or site permit for the construction of the Project, the Zoning Administrator shall approve and order the recordation of a notice in the Official Records of the Recorder of the City and County of San Francisco, which notice shall state that construction of the Project has been authorized by and is subject to the conditions of this Motion. From time to time after the recordation of such notice, at the request of the Project Sponsor, the Zoning Administrator shall affirm in writing the extent to which the conditions of this Motion have been satisfied, and record said writing if requested.

3. The property shall be kept free of weeds, debris, and blight. The Project Sponsor shall install a fence to prevent vagrant camping, unlawful dumping and to minimize the security threat to the neighborhood. The fence shall be kept free of graffiti and postings.

The use of said property contrary to these special restrictions shall constitute a violation of the Planning Code, and no release, modification or elimination of these restrictions shall be valid unless notice thereof is recorded on the Land Records by the Zoning Administrator of the City and County of San Francisco.

Dated: 6-5-2012 at San Francisco, California



(Signature of owner)

870 Harrison Street LLC

(Signature of owner)

This signature must be notarized prior to recordation; add Notary Public Certification and Official Notarial Seal below.

U:\EJACKSON\DOCUMENTS\NSRS\CU870 Harrison Street=2012.0150C.doc

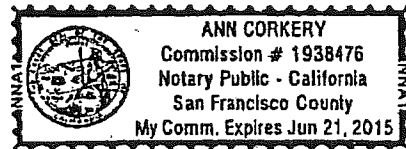
State of California)
County of San Francisco)

On May 29, 2012 before me,
Ann Corkery, Notary Public (here insert name and title of the officer),
personally appeared Sean Sullivan,
who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within
instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and
that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted,
executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and
correct.

WITNESS my hand and official seal.

Signature *Ann Corkery* (Seal)



Used
1/10

NOTICE OF SPECIAL RESTRICTIONS UNDER THE PLANNING CODE

RECORDING REQUESTED BY:)
)
And When Recorded Mail To:)
)
Name: 870 Harrison Street, LLC)
)
Address: 1699 Valencia St.)
)
City: San Francisco)
)
California 94110)

CONFORMED COPY of document recorded

ON 08/17/2011 20111246259
This document has not been compared with the original
SAN FRANCISCO ASSESSOR-RECORDER

) Space Above This Line For Recorder's Use

I (We) Sean Sullivan the Managing Member of 870 Harrison Street, LLC the owner(s) of that certain real property situated in the City and County of San Francisco, State of California, more particularly described as follows (or see attached sheet marked Exhibit A on which property is more fully described):

Being Assessor's Block 3752, Lot 019, commonly known as 870 Harrison Street, hereby give notice that there are special restrictions on the use of said property under Part II, Chapter II of the San Francisco Municipal Code (Planning Code).

Said restrictions consist of conditions attached to Conditional Use Application No. 2006.0430C, authorized by the Planning Commission of the City and County of San Francisco on June 18, 2009 as set forth in Planning Commission Motion No. 17906, to demolish an existing vacant two-story industrial building and construct a six-story, 65-foot-tall mixed-use building containing up to 26 dwelling units and Production Distribution and Repair (PDR) space pursuant to Planning Code Section 263.11, and to construct a Community Residential Automobile Parking Garage pursuant to Planning Code Sections 157 and 815.26.

NOTICE OF SPECIAL RESTRICTIONS UNDER THE PLANNING CODE

The restrictions and conditions of which notice is hereby given are:

FINDING

- A. **Inclusionary Affordable Housing Program.** Planning Code Section 415 sets forth the requirements and procedures for the Inclusionary Affordable Housing Program. Under Planning Code Section 415.3, these requirements apply to projects that consist of ten or more units, where the first application (EE or BPA) was applied for before July 18, 2006. Pursuant to Planning Code Section 415.5 and 415.6, the Project is meeting the Inclusionary Affordable Housing Program requirement through the On-site Affordable Housing Alternative by providing 17% of the proposed dwelling units as affordable.

The Project Sponsor is proposing 4 on site Below Market Rate (BMR) units, equaling 17% of the total number of units, in accord with the Planning Department recommendation to require projects seeking Conditional Use authorization under Planning Code Section 263.11 and filed prior to July 18, 2006 to provide BMR units equal to 17% of the total units. The minimum requirement for this project under Planning Code Section 415 is 3 BMR units, equaling 12% of the total number of units. The Project Sponsor is providing 4 on site BMR units in accord with the Conditions of Approval in Motion 17906.

The Project Sponsor has demonstrated that it is eligible for the On-Site Affordable Housing Alternative under Planning Code Section 415.5 and 415.6, and has submitted 'Affidavit of Compliance with the Inclusionary Affordable Housing Program: Planning Code Section 415,' to satisfy the requirements of the Inclusionary Affordable Housing Program by providing the affordable housing on-site instead of through payment of the Affordable Housing Fee. In order for the Project Sponsor to be eligible for the On-Site Affordable Housing Alternative, the Project Sponsor must submit an 'Affidavit of Compliance with the Inclusionary Affordable Housing Program: Planning Code Section 415,' to the Planning Department stating that any affordable units designated as on-site units shall be sold as ownership units and will remain as ownership units for the life of the project. The Project Sponsor submitted such Affidavit on August 10, 2011. The EE application was submitted on March 23, 2006. 4 units (2 two-bedroom, and 0 three-bedroom) of the 26 units provided will be affordable units. If the Project becomes ineligible to meet its Inclusionary Affordable Housing Program obligation through the On-site Affordable Housing Alternative, it must pay the Affordable Housing Fee with interest, if applicable.

CONDITIONS OF APPROVAL FOR MOTIONS OR NSR'S

Affordable Units

1. **Number of Required Units.** Pursuant to Planning Code Section 415.6, the Project is required to provide 17% of the proposed dwelling units as affordable to qualifying households. The Project contains 26 units; therefore, 4 affordable units are required. The Project Sponsor will fulfill this requirement by providing the 4 affordable units on-site. If the number of market-rate units change, the number of required affordable units

NOTICE OF SPECIAL RESTRICTIONS UNDER THE PLANNING CODE

shall be modified accordingly with written approval from Planning Department staff in consultation with the Mayor's Office of Housing ("MOH").

For information about compliance, contact the Case Planner, Planning Department at 415-558-6378, www.sf-planning.org or the Mayor's Office of Housing at 415-701-5500, <http://sf-moh.org/index.aspx?page=321>

- 2. Unit Mix.** The Project contains 0 studios, 18 one-bedroom, 8 two-bedroom, and 0 three-bedroom units; therefore, the required affordable unit mix is 0 studios, 0 one-bedroom, 4 two-bedroom, and 0 three-bedroom units. If the market-rate unit mix changes, the affordable unit mix will be modified accordingly with written approval from Planning Department staff in consultation with MOH.

For information about compliance, contact the Case Planner, Planning Department at 415-558-6378, www.sf-planning.org or the Mayor's Office of Housing at 415-701-5500, <http://sf-moh.org/index.aspx?page=321>

- 3. Unit Location.** The affordable units shall be designated on a reduced set of plans recorded as a Notice of Special Restrictions on the property prior to the issuance of the first construction permit. The affordable units are listed on the plans as units 10 (3rd Floor), 11 (3rd Floor), 16 (4th Floor), and 20 (5th Floor).

For information about compliance, contact the Case Planner, Planning Department at 415-558-6378, www.sf-planning.org or the Mayor's Office of Housing at 415-701-5500, <http://sf-moh.org/index.aspx?page=321>

- 4. Phasing.** If any building permit is issued for partial phasing of the Project, the Project Sponsor shall have designated not less than twelve percent (17%) of the each phase's total number of dwelling units as on-site affordable units.

For information about compliance, contact the Case Planner, Planning Department at 415-558-6378, www.sf-planning.org or the Mayor's Office of Housing at 415-701-5500, <http://sf-moh.org/index.aspx?page=321>

- 5. Duration.** Under Planning Code Section 415.8, all units constructed pursuant to Section 415.6, must remain affordable to qualifying households for the life of the project.

For information about compliance, contact the Case Planner, Planning Department at 415-558-6378, www.sf-planning.org or the Mayor's Office of Housing at 415-701-5500, <http://sf-moh.org/index.aspx?page=321>

- 6. Other Conditions.** The Project is subject to the requirements of the Inclusionary Affordable Housing Program under Section 415 et seq. of the Planning Code and City and County of San Francisco Inclusionary Affordable Housing Program Monitoring and Procedures Manual ("Procedures Manual"). The Procedures Manual, as amended from time to time, is incorporated herein by reference, as published and adopted by the Planning Commission, and as required by Planning Code Section 415. Terms used in these conditions of approval and not otherwise defined shall have the meanings set forth in the Procedures Manual. A copy of the Procedures Manual can be obtained at the

NOTICE OF SPECIAL RESTRICTIONS UNDER THE PLANNING CODE

MOH at 1 South Van Ness Avenue or on the Planning Department or Mayor's Office of Housing's websites, including on the internet at:

<http://sf-planning.org/Modules/ShowDocument.aspx?documentid=4451>.

As provided in the Inclusionary Affordable Housing Program, the applicable Procedures Manual is the manual in effect at the time the subject units are made available for sale.

For information about compliance, contact the Case Planner, Planning Department at 415-558-6378, www.sf-planning.org or the Mayor's Office of Housing at 415-701-5500, <http://sf-moh.org/index.aspx?page=321>

- a. The affordable unit(s) shall be designated on the building plans prior to the issuance of the first construction permit by the Department of Building Inspection ("DBI"). The affordable unit(s) shall (1) reflect the unit size mix in number of bedrooms of the market rate units, (2) be constructed, completed, ready for occupancy and marketed no later than the market rate units, and (3) be evenly distributed throughout the building; and (4) be of comparable overall quality, construction and exterior appearance as the market rate units in the principal project. The interior features in affordable units should be generally the same as those of the market units in the principal project, but need not be the same make, model or type of such item as long they are of good and new quality and are consistent with then-current standards for new housing. Other specific standards for on-site units are outlined in the Procedures Manual.
- b. If the units in the building are offered for sale, the affordable unit(s) shall be sold to first time home buyer households, as defined in the Procedures Manual, whose gross annual income, adjusted for household size, does not exceed an average of one hundred (100) percent of the median income for the City and County of San Francisco as defined in the Inclusionary Affordable Housing Program, an amount that translates to ninety (90) percent of Area Median Income under the income table called "Maximum Income by Household Size" derived from the Unadjusted Area Median Income for HUD Metro Fair Market Rent Area that contains San Francisco. The initial sales price of such units shall be calculated according to the Procedures Manual. Limitations on (i) reselling; (ii) renting; (iii) recouping capital improvements; (iv) refinancing; and (v) procedures for inheritance apply and are set forth in the Inclusionary Affordable Housing Program and the Procedures Manual.
- c. The Project Sponsor is responsible for following the marketing, reporting, and monitoring requirements and procedures as set forth in the Procedures Manual. MOH shall be responsible for overseeing and monitoring the marketing of affordable units. The Project Sponsor must contact MOH at least six months prior to the beginning of marketing for any unit in the building.
- d. Required parking spaces shall be made available to initial buyers or renters of affordable units according to the Procedures Manual.

NOTICE OF SPECIAL RESTRICTIONS UNDER THE PLANNING CODE

- e. Prior to the issuance of the first construction permit by DBI for the Project, the Project Sponsor shall record a Notice of Special Restriction on the property that contains these conditions of approval and a reduced set of plans that identify the affordable units satisfying the requirements of this approval. The Project Sponsor shall promptly provide a copy of the recorded Notice of Special Restriction to the Department and to the MOH or its successor.
- f. The Project Sponsor has demonstrated that it is eligible for the On-site Affordable Housing Alternative under Planning Code Section 415.6 instead of payment of the Affordable Housing Fee, and has submitted the *Affidavit of Compliance with the Inclusionary Affordable Housing Program: Planning Code Section 415*, to the Planning Department stating that any affordable units designated as on-site units shall be sold as ownership units and will remain as ownership units for the life of the Project.
- g. If the Project Sponsor fails to comply with the Inclusionary Affordable Housing Program requirement, the Director of DBI shall deny any and all site or building permits or certificates of occupancy for the development project until the Planning Department notifies the Director of compliance. A Project Sponsor's failure to comply with the requirements of Planning Code Section 415 et seq. shall constitute cause for the City to record a lien against the development project and pursue any and all available remedies at law.
- h. If the Project becomes ineligible at any time for the On-site Affordable Housing Alternative, the Project Sponsor or its successor shall pay the Affordable Housing Fee prior to issuance of the first construction permit or may seek a fee deferral as permitted under Ordinances 0107-10 and 0108-10. If the Project becomes ineligible after issuance of its first construction permit, the Project Sponsor shall notify the Department and MOH and pay interest on the Affordable Housing Fee at a rate equal to the Development Fee Deferral Surcharge Rate in Section 107A.13.3.2 of the San Francisco Building Code and penalties if applicable.

NOTICE OF SPECIAL RESTRICTIONS UNDER THE PLANNING CODE

The use of said property contrary to these special restrictions shall constitute a violation of the Planning Code, and no release, modification or elimination of these restrictions shall be valid unless notice thereof is recorded on the Land Records by the Zoning Administrator of the City and County of San Francisco; except that in the event that the zoning standards above are modified so as to be less restrictive and the uses therein restricted are thereby permitted and in conformity with the provisions of the Planning Code, this document would no longer be in effect and would be null and void.

Dated: 8-16-2011 at San Francisco, California



(Owner's Signature)

(Agent's Signature)

This signature(s) must be acknowledged by a notary public before recordation; add Notary Public Certification and Official Notarial Seal.

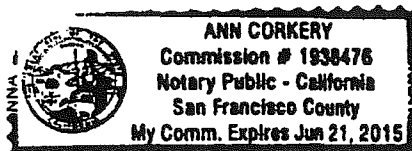
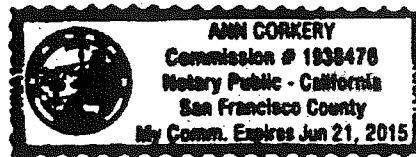
State of California)
County of San Francisco)

On August 16, 2011 before me,
Ann Corkery, Notary Public (here insert name and title of the officer),
personally appeared Sean Sullivan,
who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within
instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and
that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted,
executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and
correct.

WITNESS my hand and official seal.

Signature *Ann Corkery* (Seal)



LEGAL DESCRIPTION

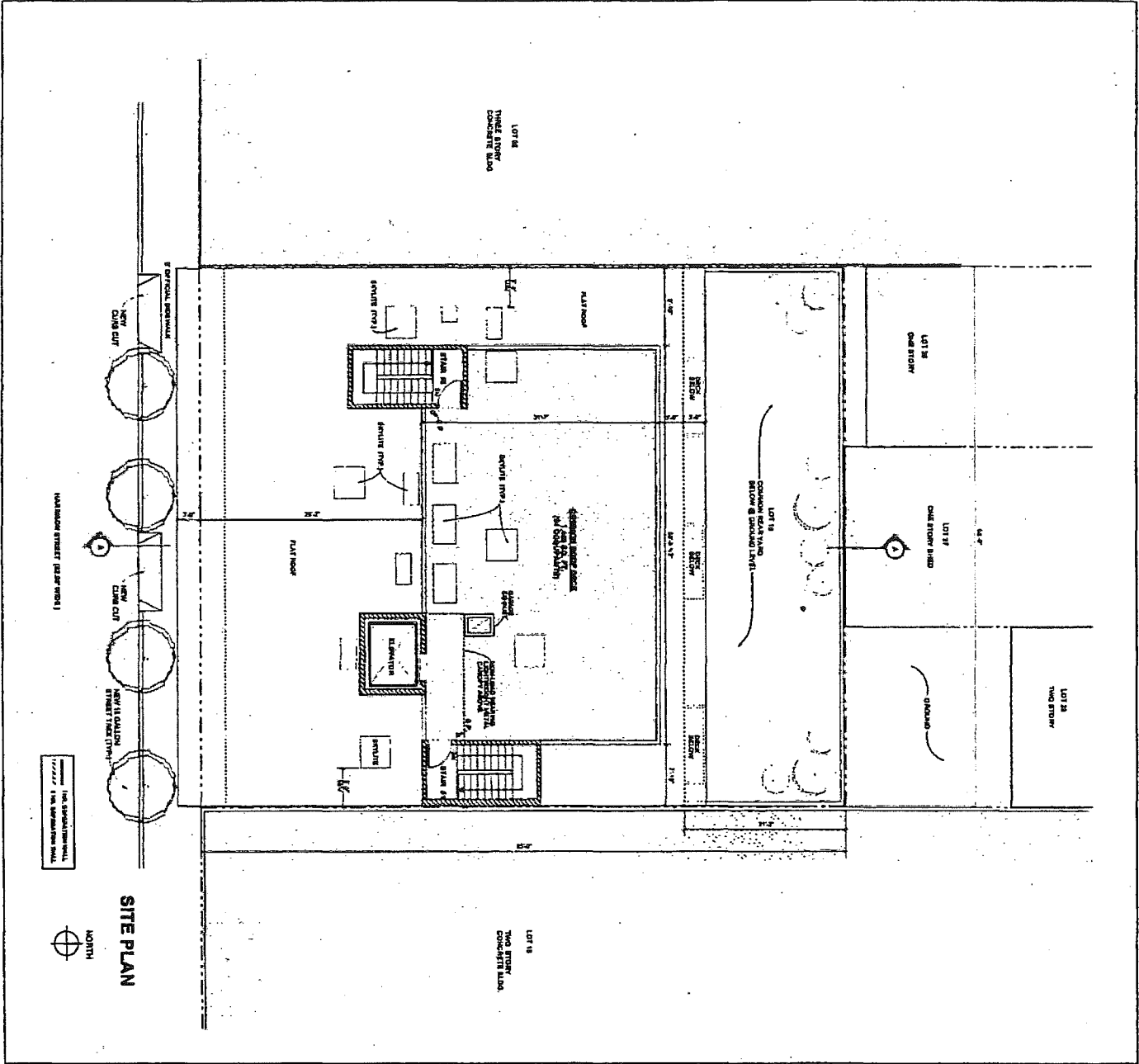
EXHIBIT "A"

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE CITY OF SAN FRANCISCO, COUNTY OF SAN FRANCISCO, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:

BEGINNING at a point on the northwesterly line of Harrison Street, distant thereon 206 feet and 3 inches northeasterly from the northeasterly line of Fifth Street; running thence northeasterly along said line of Harrison Street, 68 feet and 9 inches; thence at a right angle northwesterly 85 feet; thence at a right angle southwesterly 68 feet and 9 inches; thence at a right angle southeasterly 85 feet to the point of beginning.

BEING portion of 100 Vara Block No. 374.

APN: Lot 19, Block 3752



- DRAWING INDEX**
- A0 COVER SHEET/SITE/ROOF PLAN
 - A1 BASEMENT/GARAGE PLAN
 - A1.1 GROUND FLOOR PLAN
 - A2 SECOND FLOOR PLAN
 - A3 THIRD FLOOR PLAN
 - A4 FOURTH FLOOR PLAN
 - A5 FIFTH FLOOR PLAN
 - A6 SIXTH FLOOR PLAN
 - A7 HARRISON ST. ELEVATION
 - A8 REAR ELEVATION
 - A9 EAST SIDE ELEVATIONS
 - A10 WEST SIDE ELEVATIONS
 - A11 SECTION

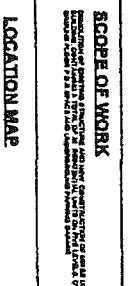
PLANNING DEPARTMENT NOTES

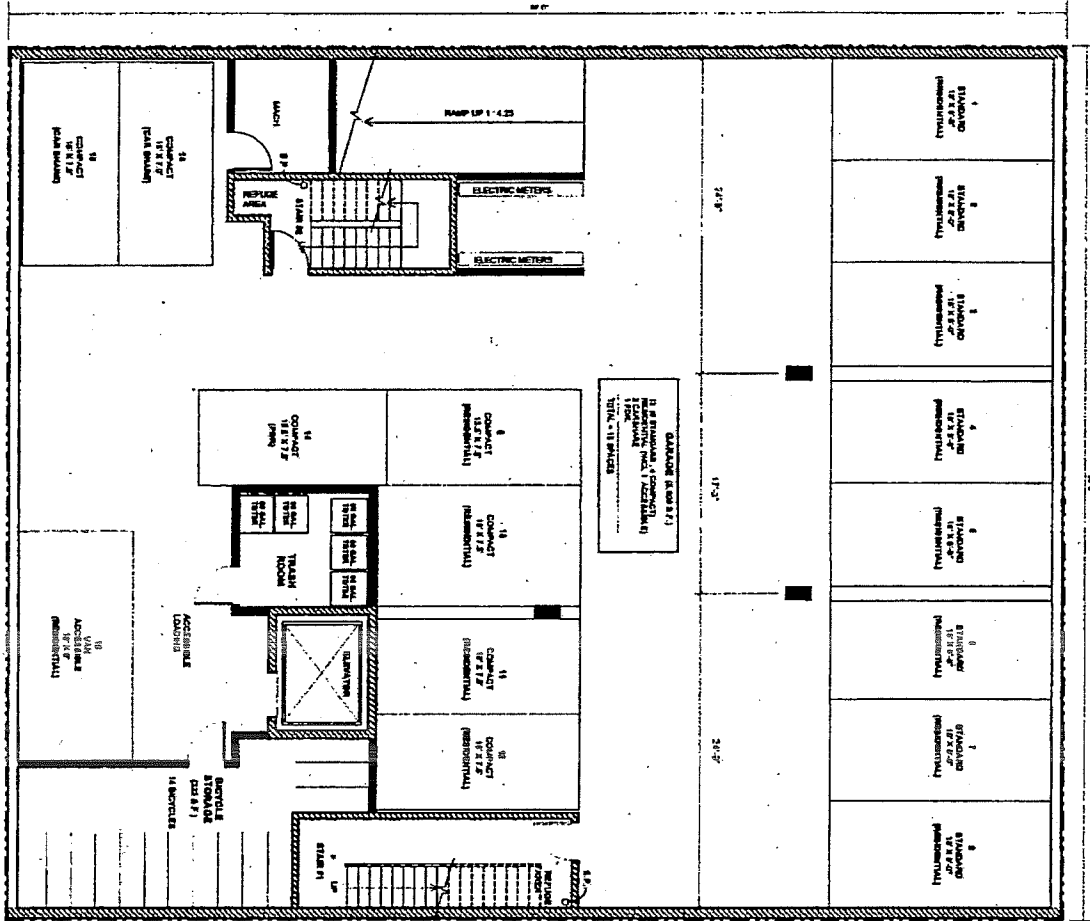
THESE PLANS HAVE BEEN REVIEWED AND APPROVED FOR THE CITY OF SAN FRANCISCO. THE CITY ENGINEER'S REVIEW IS LIMITED TO THE TECHNICAL ASPECTS OF THE PLANS AND DOES NOT CONSTITUTE A GUARANTEE OF THE ACCURACY OR COMPLETENESS OF THE INFORMATION PROVIDED HEREON. THE CITY ENGINEER'S REVIEW IS LIMITED TO THE TECHNICAL ASPECTS OF THE PLANS AND DOES NOT CONSTITUTE A GUARANTEE OF THE ACCURACY OR COMPLETENESS OF THE INFORMATION PROVIDED HEREON.

SCOPE OF WORK

ARCHITECTURAL DESIGN AND CONSTRUCTION OF A RESIDENTIAL BUILDING ON LOT 18, BLOCK 3752, SAN FRANCISCO, CALIFORNIA. THE SCOPE OF WORK INCLUDES ARCHITECTURAL DESIGN, PERMITS, AND CONSTRUCTION ADMINISTRATION.

NO.	DATE	DESCRIPTION
1	1/15/18	CONCEPTUAL DESIGN
2	2/15/18	PRELIMINARY DESIGN
3	3/15/18	FINAL DESIGN
4	4/15/18	PERMITS
5	5/15/18	CONSTRUCTION ADMINISTRATION





1/8" = 1'-0"
 THIS DRAWING IS FOR INFORMATION ONLY
 IT IS NOT TO BE USED FOR CONSTRUCTION

BASEMENT/GARAGE PLAN



A1

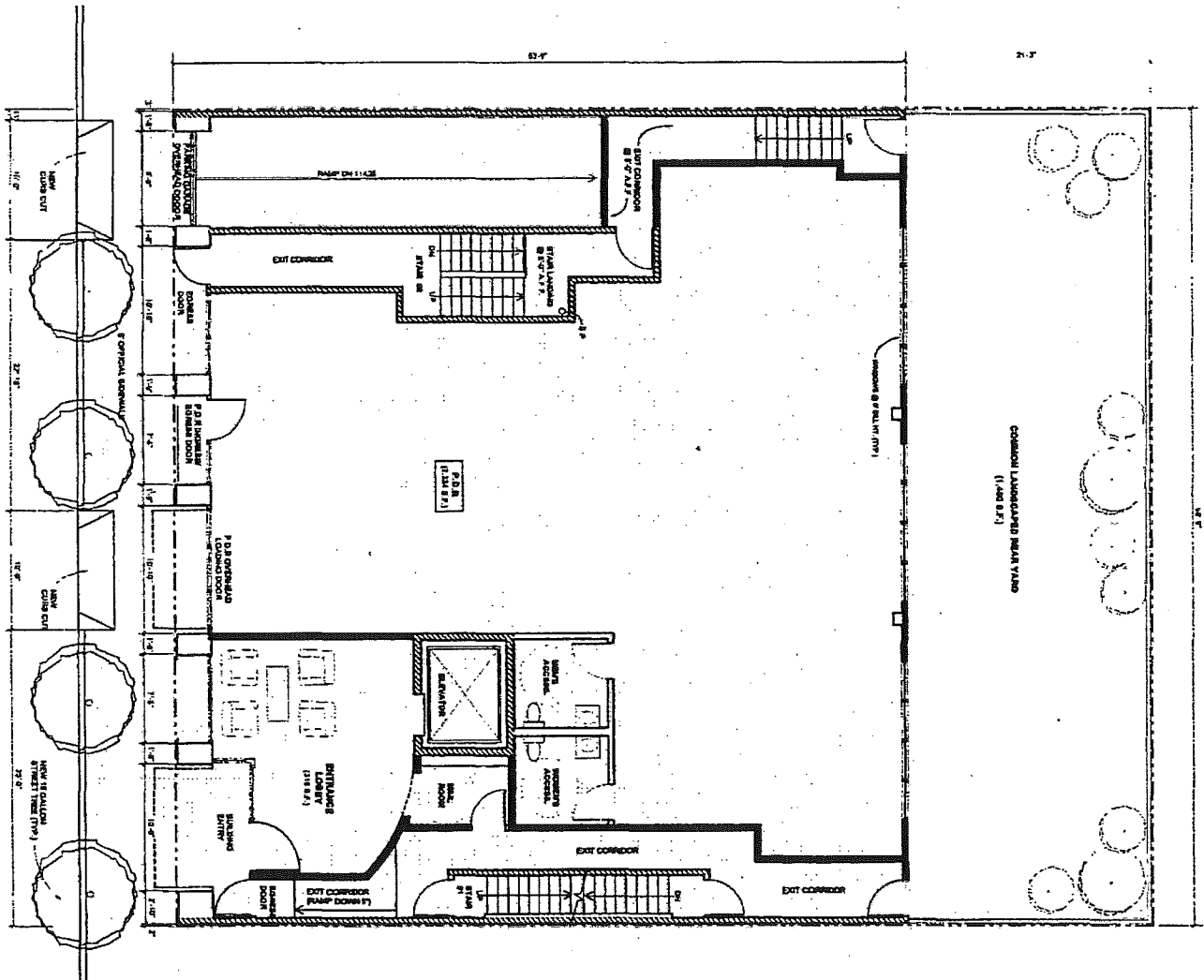
670 HARRISON STREET RESIDENCES
 BLOCK 3752 LOT 18 SAN FRANCISCO, CA

BASEMENT / GARAGE

DATE: 10/11/11
 DRAWN BY: [Name]
 CHECKED BY: [Name]
 PROJECT NO: [Number]

LEAVITT
 architecture

- 1. ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF SAN FRANCISCO DEPARTMENT OF PUBLIC WORKS SPECIFICATIONS AND STANDARD SPECIFICATIONS.
- 2. ALL WORK SHALL BE IN ACCORDANCE WITH THE CALIFORNIA BUILDING CODE AND ALL APPLICABLE ORDINANCES.
- 3. ALL WORK SHALL BE IN ACCORDANCE WITH THE CALIFORNIA ELECTRICAL CODE AND ALL APPLICABLE ORDINANCES.
- 4. ALL WORK SHALL BE IN ACCORDANCE WITH THE CALIFORNIA MECHANICAL CODE AND ALL APPLICABLE ORDINANCES.
- 5. ALL WORK SHALL BE IN ACCORDANCE WITH THE CALIFORNIA PLUMBING CODE AND ALL APPLICABLE ORDINANCES.
- 6. ALL WORK SHALL BE IN ACCORDANCE WITH THE CALIFORNIA FIRE CODE AND ALL APPLICABLE ORDINANCES.
- 7. ALL WORK SHALL BE IN ACCORDANCE WITH THE CALIFORNIA ENVIRONMENTAL CODE AND ALL APPLICABLE ORDINANCES.
- 8. ALL WORK SHALL BE IN ACCORDANCE WITH THE CALIFORNIA LANDMARK PRESERVATION ACT AND ALL APPLICABLE ORDINANCES.
- 9. ALL WORK SHALL BE IN ACCORDANCE WITH THE CALIFORNIA HISTORIC PRESERVATION ACT AND ALL APPLICABLE ORDINANCES.
- 10. ALL WORK SHALL BE IN ACCORDANCE WITH THE CALIFORNIA ANTI-DISCRIMINATION ACT AND ALL APPLICABLE ORDINANCES.



GROUND FLOOR PLAN

EXISTING
 NEW CONSTRUCTION
 NEW CONCRETE
 EXISTING CONCRETE
 EXISTING WALLS
 EXISTING DOORS
 EXISTING WINDOWS
 EXISTING STAIRS
 EXISTING ROOF
 EXISTING FLOORING
 EXISTING CEILING
 EXISTING LIGHTING
 EXISTING MECHANICAL
 EXISTING ELECTRICAL
 EXISTING PLUMBING
 EXISTING PAINT
 EXISTING FINISHES
 EXISTING STRUCTURE
 EXISTING UTILITIES
 EXISTING LANDSCAPE
 EXISTING SITEWORK
 EXISTING UTILITIES
 EXISTING LANDSCAPE
 EXISTING SITEWORK

870 HARRISON STREET RESIDENCES
 BLOCK 3762 LOT 18 SAN FRANCISCO, CA

GROUND FLOOR PLAN

LEAVITT
 architecture

ARCHITECT	LEAVITT ARCHITECTURE
DATE	10/15/11
DRAWN BY	LEAVITT ARCHITECTURE
CHECKED BY	LEAVITT ARCHITECTURE
SCALE	AS SHOWN
PROJECT NO.	870 HARRISON STREET
CLIENT	LEAVITT ARCHITECTURE
ADDRESS	870 HARRISON STREET, SAN FRANCISCO, CA 94133
PHONE	415.774.4444
WEBSITE	LEAVITTARCHITECTURE.COM
EMAIL	INFO@LEAVITTARCHITECTURE.COM
PROJECT MANAGER	LEAVITT ARCHITECTURE
ARCHITECT	LEAVITT ARCHITECTURE
DATE	10/15/11
DRAWN BY	LEAVITT ARCHITECTURE
CHECKED BY	LEAVITT ARCHITECTURE
SCALE	AS SHOWN
PROJECT NO.	870 HARRISON STREET
CLIENT	LEAVITT ARCHITECTURE
ADDRESS	870 HARRISON STREET, SAN FRANCISCO, CA 94133
PHONE	415.774.4444
WEBSITE	LEAVITTARCHITECTURE.COM
EMAIL	INFO@LEAVITTARCHITECTURE.COM
PROJECT MANAGER	LEAVITT ARCHITECTURE
ARCHITECT	LEAVITT ARCHITECTURE

A1.1

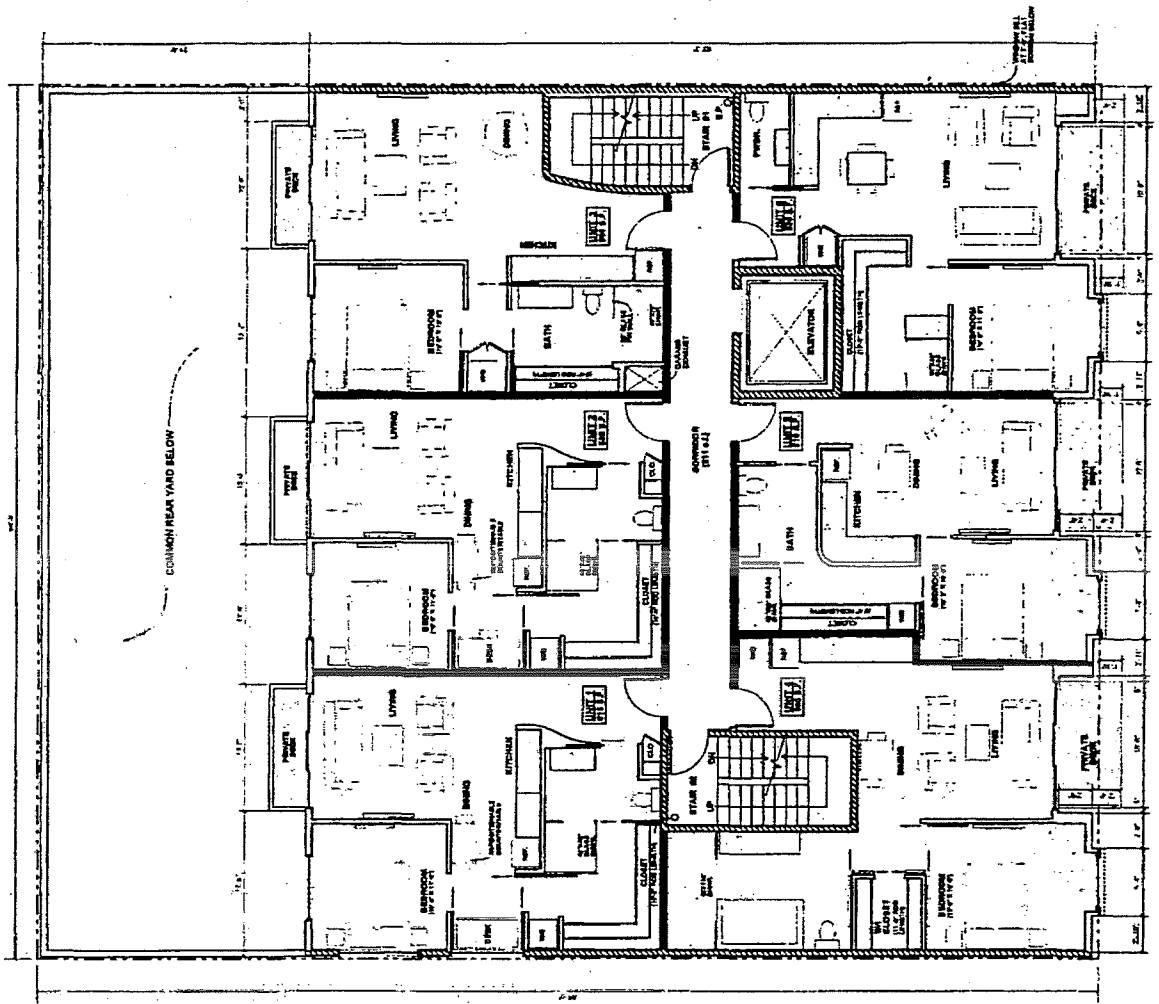
APPROVED BY	
DATE	
PROJECT NO.	
CLIENT	
ARCHITECT	
ENGINEER	
PLUMBER	
ELECTRICIAN	
Mechanical	
Structural	
Other	

LEAVITT architecture
 200 CALIFORNIA STREET
 SAN FRANCISCO, CA 94102
 TEL: 415.774.3333
 WWW.LEAVITTARCH.COM

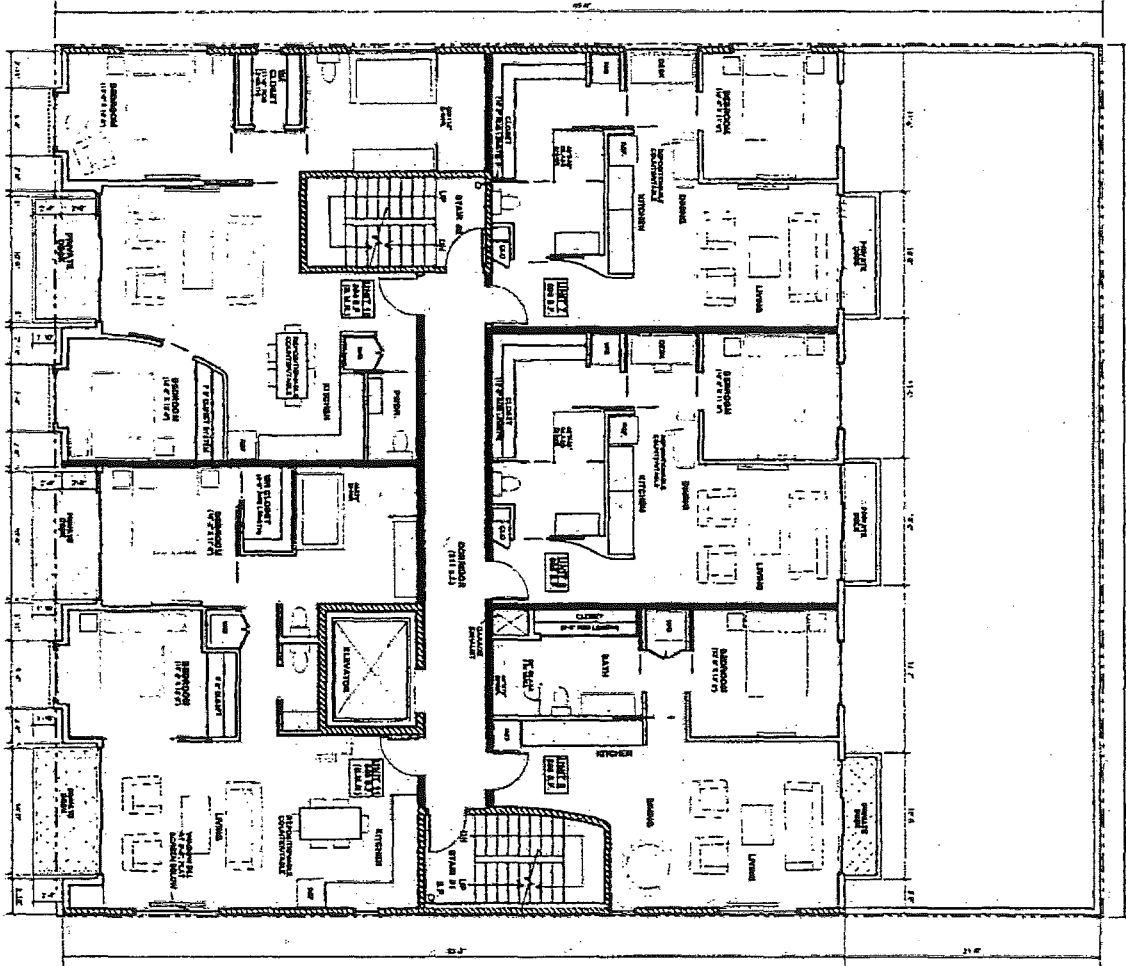
SECOND FLOOR PLAN

870 HARRISON STREET RESIDENCES
 SAN FRANCISCO, CA
 BLOCK 3732 LOT 19

A2
 SHEET NO. 1 OF 1
 DATE: 11/11/11



SECOND FLOOR PLAN



THIRD FLOOR PLAN



A3

870 HARRISON STREET RESIDENCES
 BLOCK 3762 LOT 19 SAN FRANCISCO, CA

THIRD FLOOR PLAN

LEAVITT architecture

- △ Structural Int.
- △ Structural Ext.
- △ Vertical Int.
- △ Vertical Ext.
- △ Window Int.
- △ Window Ext.
- △ Vitrage Int.
- △ Vitrage Ext.

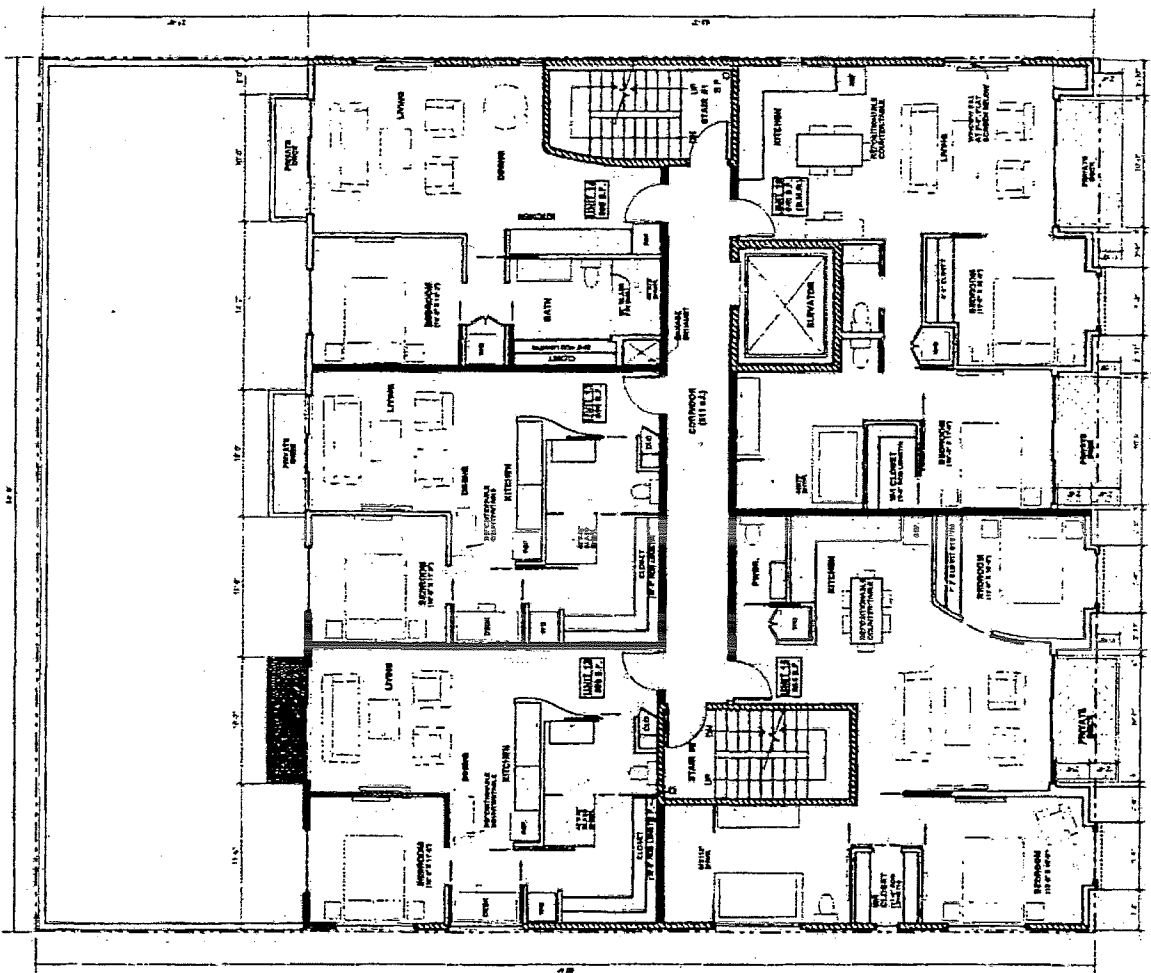
ARCHITECT: LLEVYTT ARCHITECTURE
 1000 CALIFORNIA STREET, SUITE 100
 SAN FRANCISCO, CA 94109
 TEL: 415.774.1111
 WWW.LLEVYTT.COM

LLEVYTT
 architecture

FOURTH FLOOR PLAN

870 HARRISON STREET RESIDENCES
 SAN FRANCISCO, CA
 BLOCK 8732 LOT 19

SHEET NO.
 A4



FOURTH FLOOR PLAN

- ▲ UNIT 101
- ▲ UNIT 102
- ▲ UNIT 103
- ▲ UNIT 104
- ▲ UNIT 105
- ▲ UNIT 106
- ▲ UNIT 107
- ▲ UNIT 108
- ▲ UNIT 109
- ▲ UNIT 110
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- ▲ UNIT 118
- ▲ UNIT 119
- ▲ UNIT 120

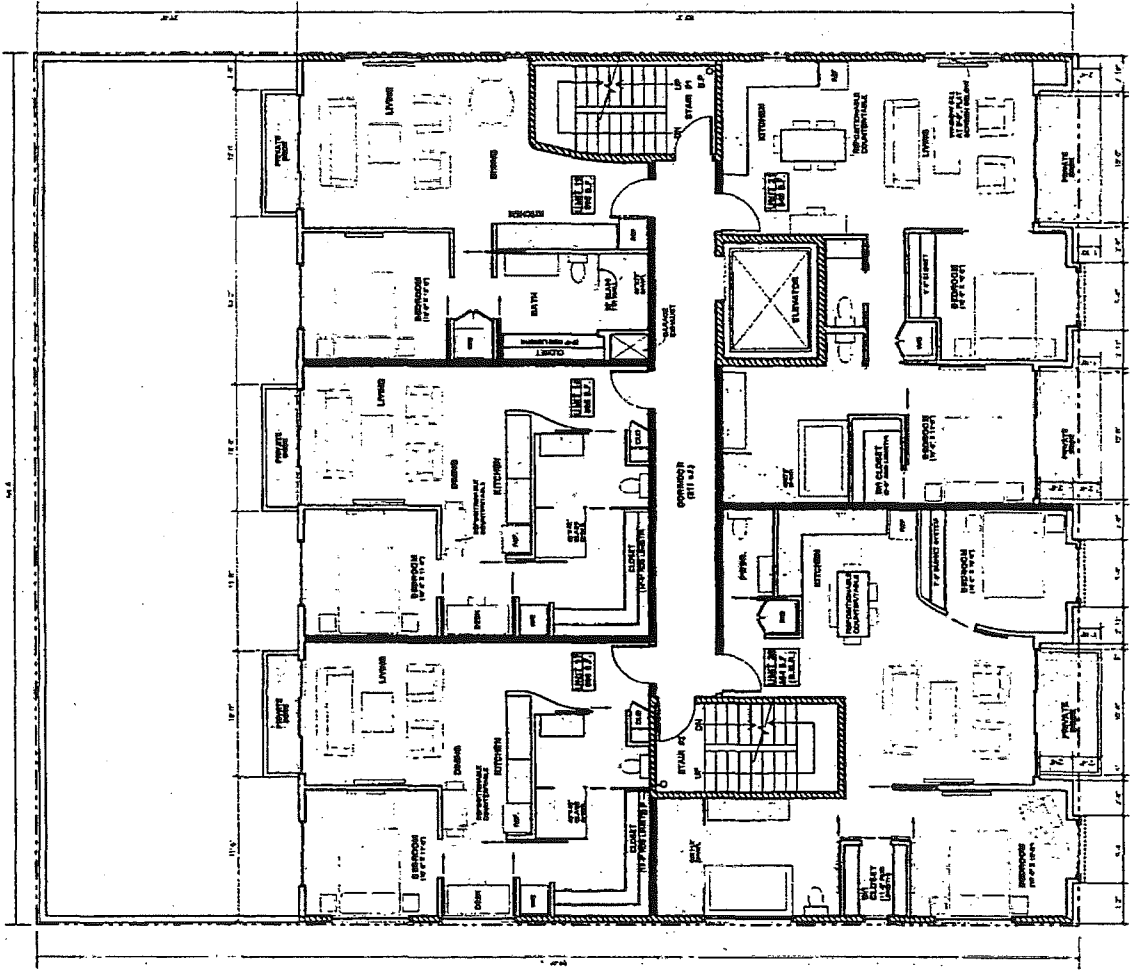
LEAVITT
architecture

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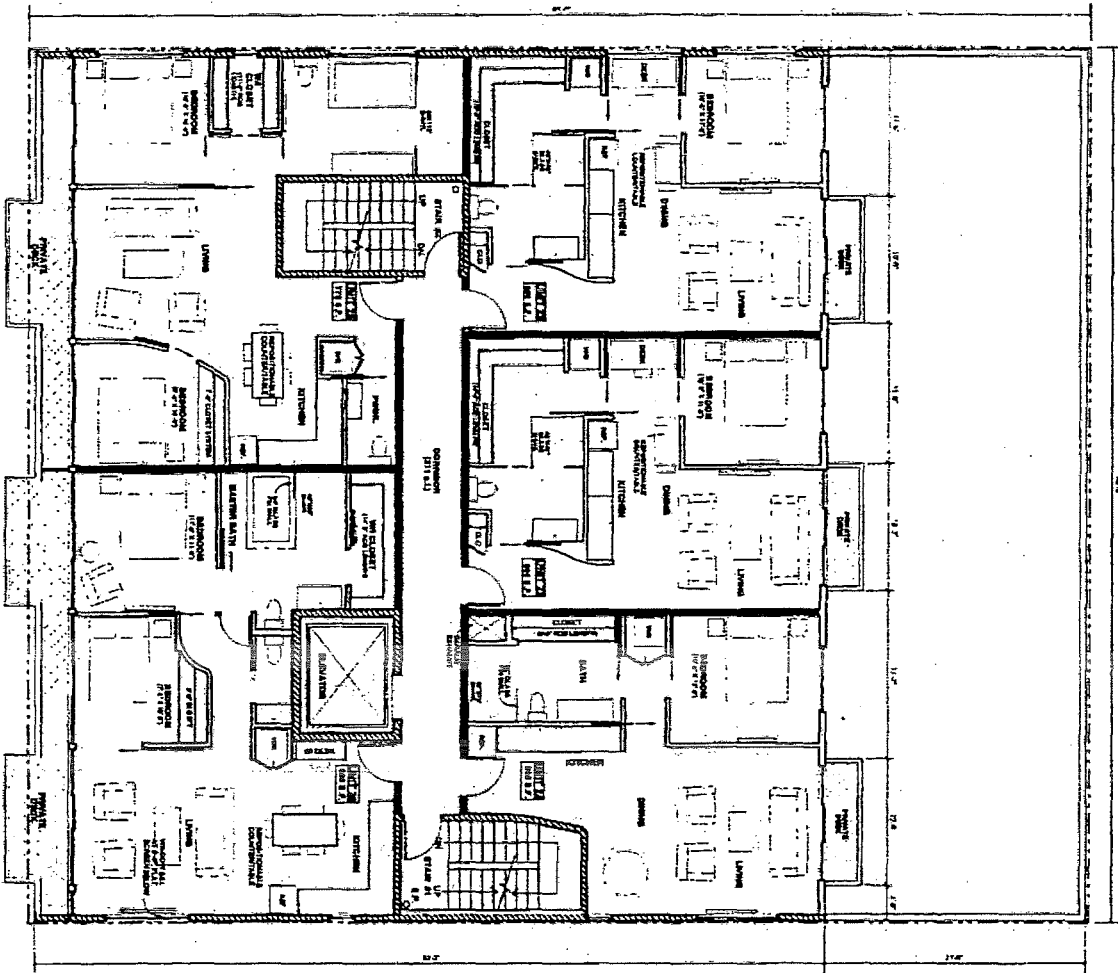
FIFTH FLOOR PLAN

870 HARRISON STREET RESIDENCES
BLOCK 3752 LOT 19
SAN FRANCISCO, CA

A5



FIFTH FLOOR PLAN



SIXTH FLOOR PLAN

A6

870 HARRISON STREET RESIDENCES
BLOCK 3762 LOT 18 SAN FRANCISCO, CA

SIXTH FLOOR PLAN

LEAVITT architecture

- △ SHOWER
- △ TUB
- △ SINK
- △ STOVE
- △ REFR
- △ CUPB
- △ DISH
- △ CHAIR
- △ SOFA
- △ BED
- △ TV
- △ CASE
- △ CABINETS
- △ DOOR
- △ WINDOW
- △ WALL
- △ FLOOR
- △ CEILING
- △ LIGHT
- △ VENT
- △ RAMP
- △ STAIR
- △ ELEVATOR
- △ CORE
- △ STRUCTURE

870 HARRISON STREET RESIDENCES
BLOCK 3752 LOT 19
SAN FRANCISCO, CA

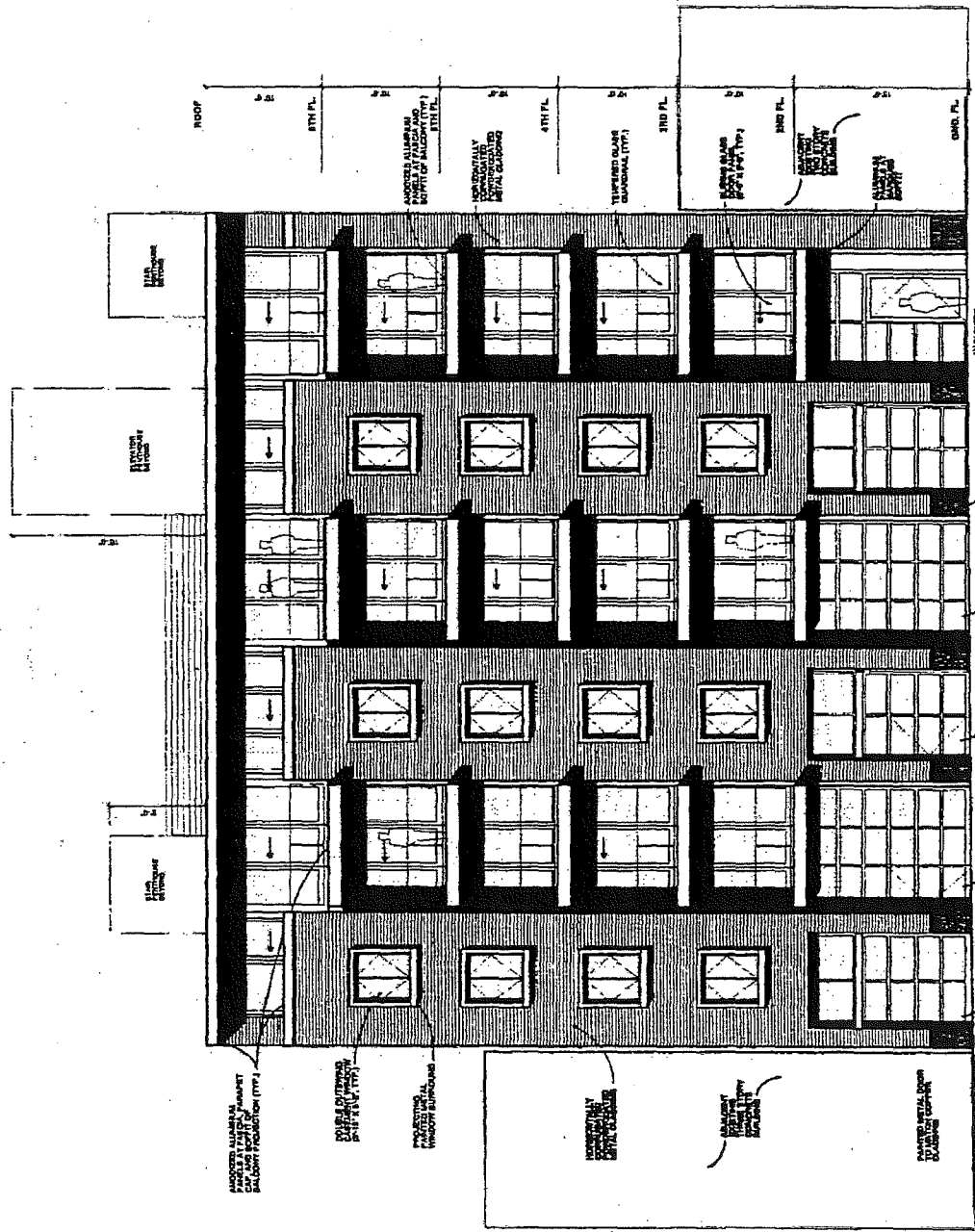
HARRISON ST.
ELEVATION

LEAVITT architecture

LEAVITT ARCHITECTURE
1407 MARKET ST.
SAN FRANCISCO, CA 94102
TEL: 415.774.8180

AZ
SCALE: AS SHOWN
DATE: 1/14/13

PROJECT NO. 12-111
DRAWING NO. 12-111-01
DATE: 1/14/13



HARRISON STREET ELEVATION



SCALE IN FEET

MATERIALS TO BE USED IN CURTAIN WALL
TO MATCH EXISTING CURTAIN WALL
CONCRETE DECK
CONCRETE DECK
CONCRETE DECK

MATERIALS TO BE USED IN MARK ENTRY
CONCRETE DECK
CONCRETE DECK

MARK ENTRY
CONCRETE DECK

CONCRETE DECK
CONCRETE DECK

CONCRETE DECK
CONCRETE DECK

CONCRETE DECK
CONCRETE DECK

1. WINDOW
 2. DOOR
 3. BALCONY
 4. TERRACE
 5. PORCH
 6. PATIO
 7. STAIR
 8. ELEVATOR
 9. MECHANICAL
 10. SIGN
 11. LIGHTING
 12. FURNITURE
 13. PLANTING
 14. LANDSCAPE
 15. SITEWORK
 16. UTILITIES
 17. OTHER

LEAVITT
 architecture

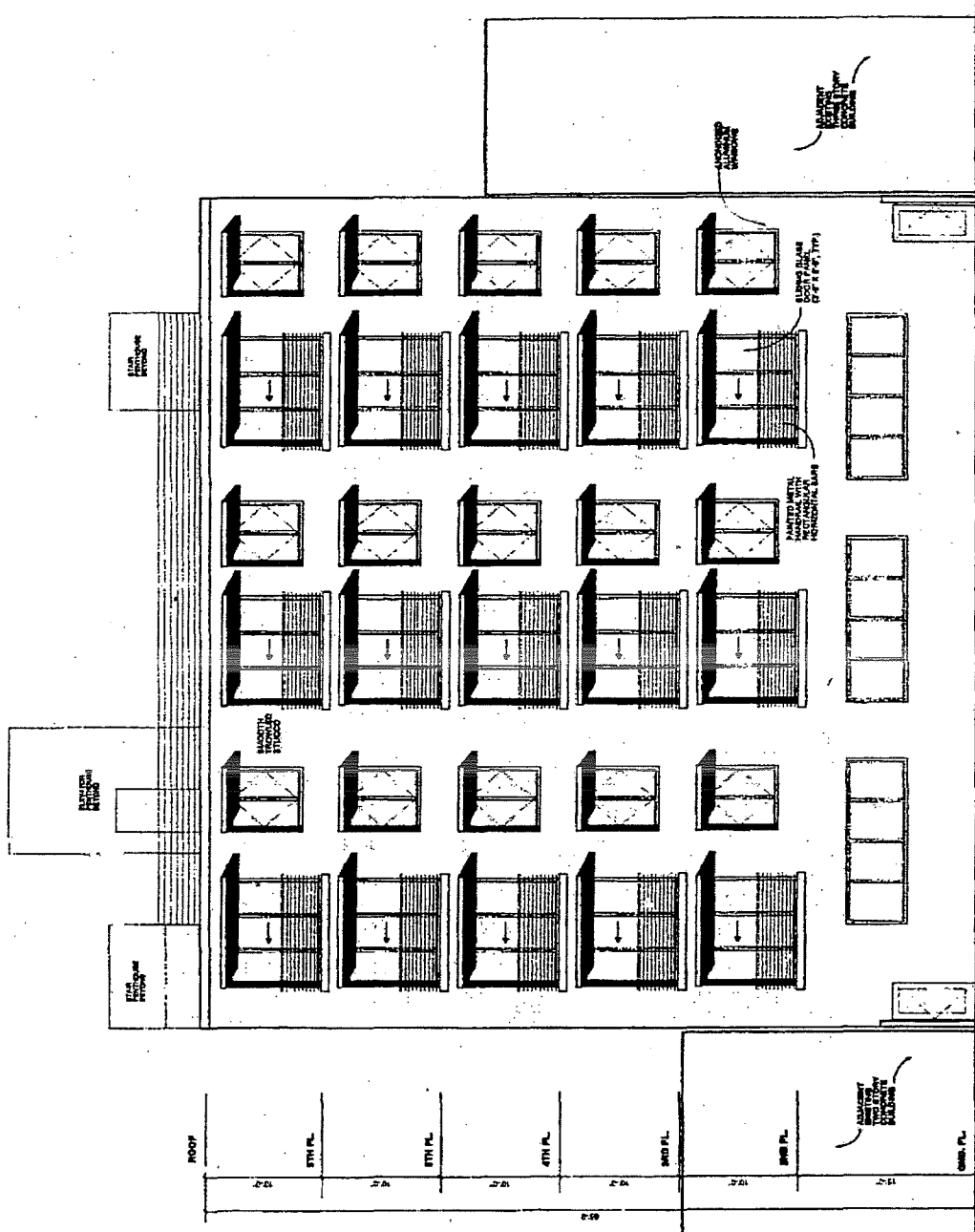
1000 MARKET STREET
 SAN FRANCISCO, CA 94102
 TEL: 415.774.8000
 FAX: 415.774.8001
 WWW.LEAVITTARCH.COM

REAR
 ELEVATION

870 HARRISON STREET RESIDENCES
 BLOCK 3752 LOT 18
 SAN FRANCISCO, CA

DATE: 11/11/11
 SCALE: 1/8" = 1'-0"
 SHEET: AB

AB



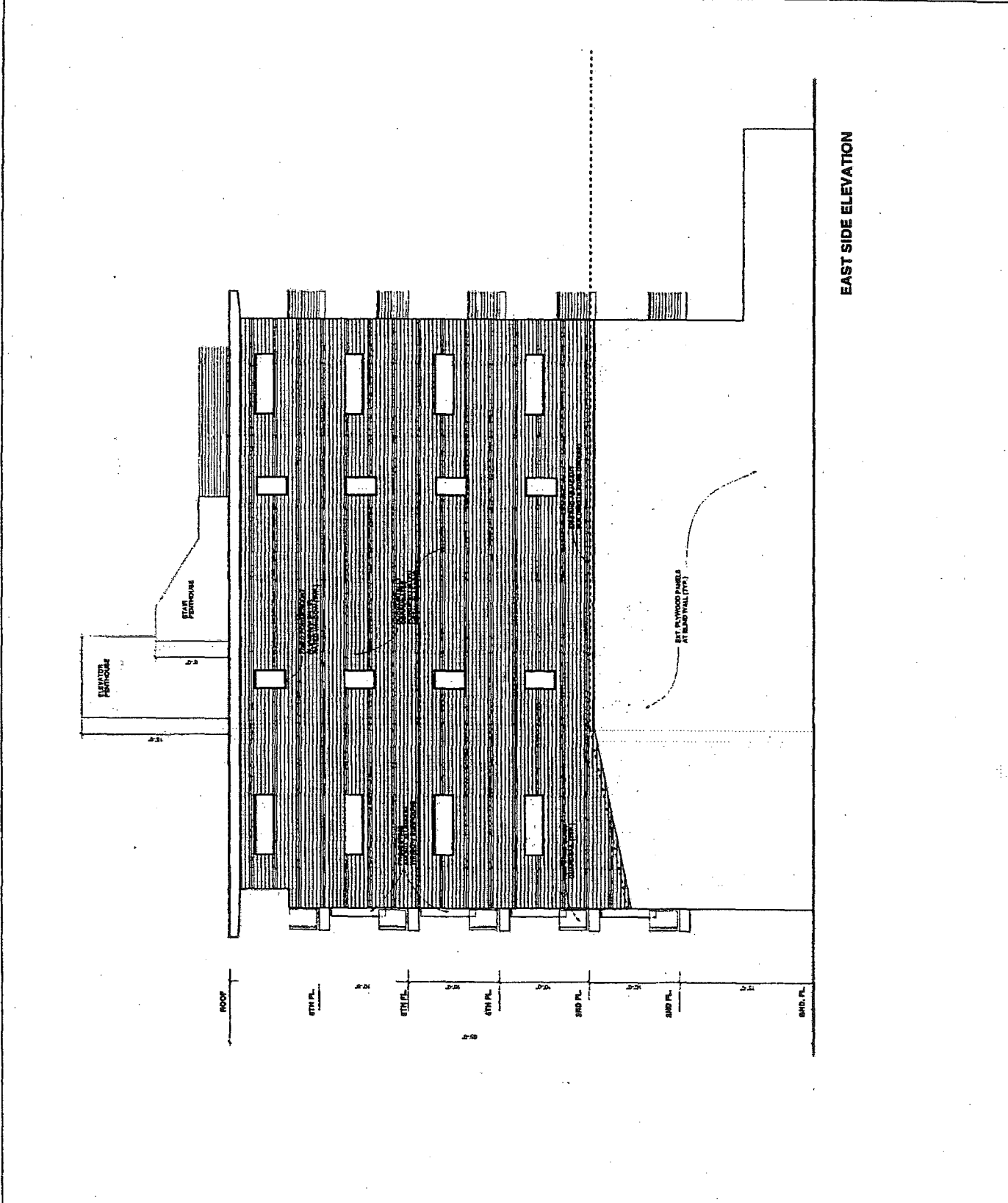
Prepared by:
 ARCHITECT NO. 123456789
 ENGINEER NO. 987654321
 CONTRACT NO. 123456789
 PROJECT NO. 987654321
 DRAWING NO. 123456789

LEVITT
 architecture
 1234 Market Street
 San Francisco, CA 94102
 Tel: (415) 123-4567
 Fax: (415) 987-6543
 www.levitt.com

EAST SIDE ELEVATION
 ELEVATION

870 HARRISON STREET RESIDENCES
 SAN FRANCISCO, CA
 BLOCK 3782 LOT 18

A9
 SHEET NO. 123456789
 TOTAL SHEETS 987654321
 DATE 12/31/2012



A10

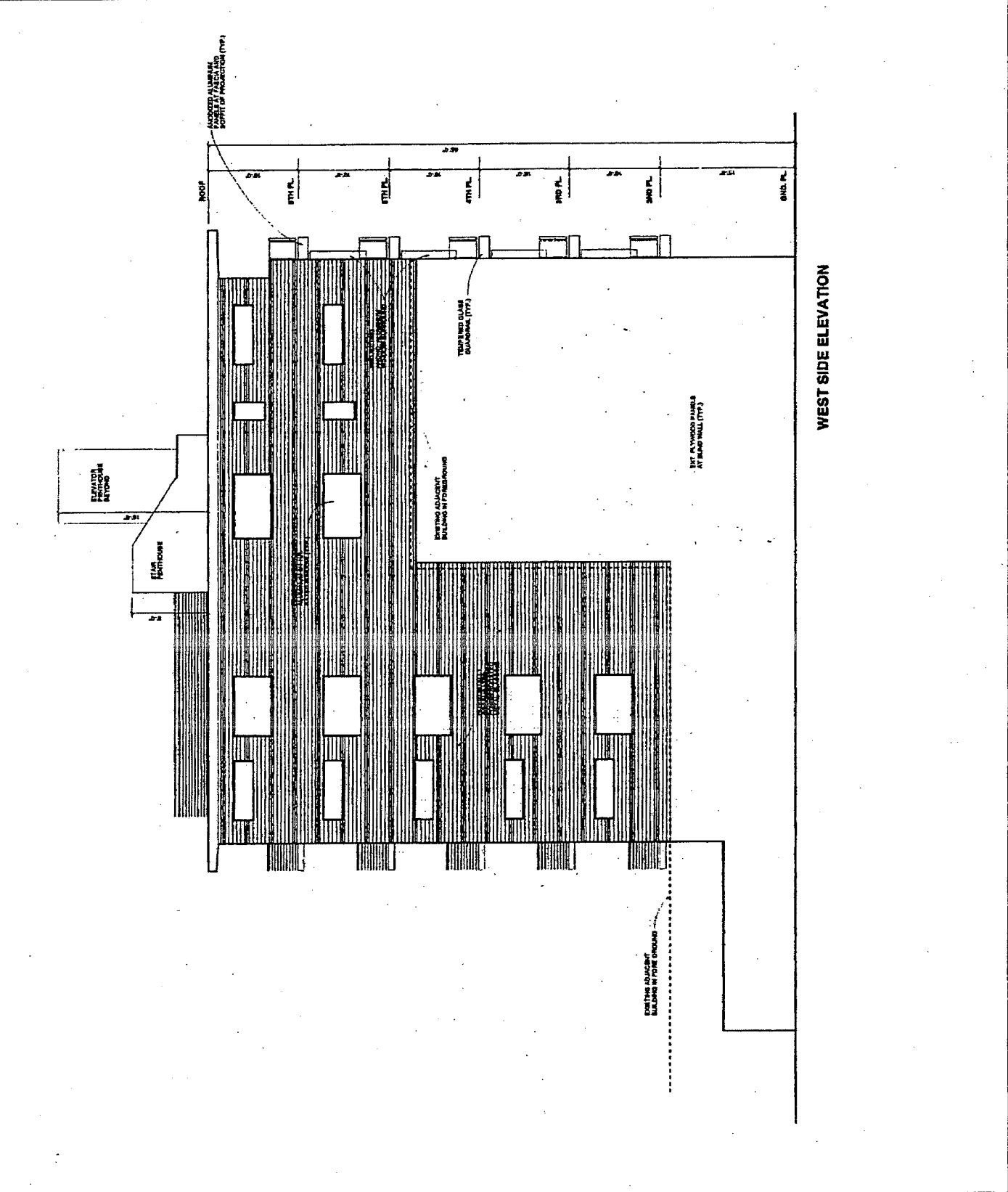
870 HARRISON STREET RESIDENCES
BLOCK 3782 LOT 18
SAN FRANCISCO, CA

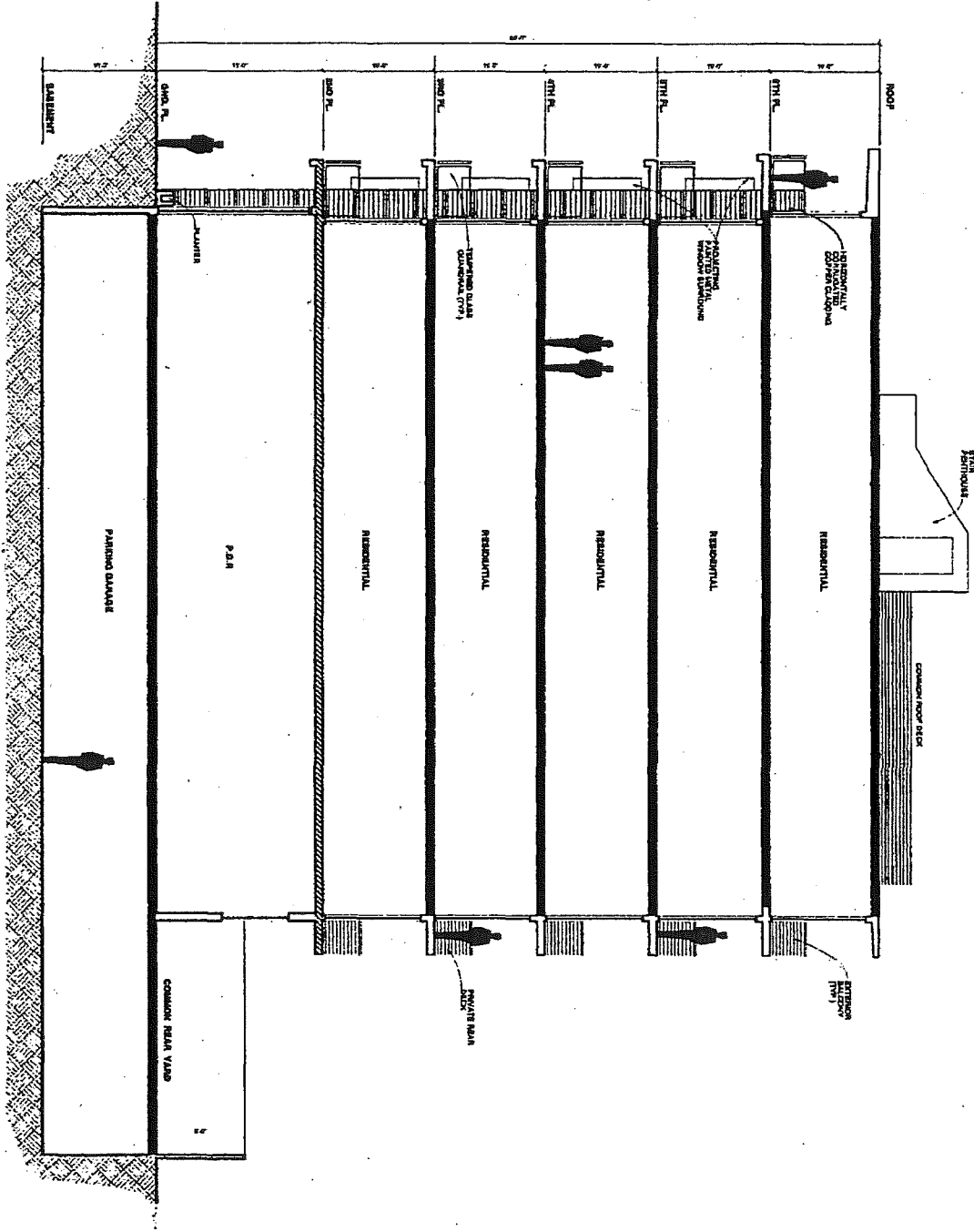
WEST SIDE
ELEVATION

LEAVITT
architecture

1007 FOLEY ST.
SAN FRANCISCO, CA 94102
415.774.8888
WWW.LEAVITTARCH.COM

- APPROVED BY: _____
- DATE: _____
- REVISIONS: _____
- DATE: _____
- REVISIONS: _____
- DATE: _____
- REVISIONS: _____
- DATE: _____
- REVISIONS: _____
- DATE: _____





KEY
 1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA BUILDING CODES AND ALL APPLICABLE REGULATIONS.

SECTION A-A

DATE: 11/11/11
 DRAWN BY: [Signature]
 CHECKED BY: [Signature]
A11

870 HARRISON STREET RESIDENCES
 BLOCK 3782 LOT 19 SAN FRANCISCO, CA

SECTION A-A

LEAVITT
 architecture

Prepared by: [Signature]
 Checked by: [Signature]
 Drawn by: [Signature]



I, José Cisneros, Tax Collector of the City and County San Francisco, State of California, do hereby certify that according to the records of my office, there are no liens against the subdivision designated on the map entitled:

Block No. 3752 Lot No. 019

Address: 870 Harrison St.

for unpaid City & County property taxes or special assessments collected as taxes.

José Cisneros

Tax Collector

Dated this 11th day of July 2014

OWNER'S STATEMENT

The undersigned owner is the only party having record title interest in the consent, to the preparation and the filing of this map comprising of two (2) sheets. By our signatures hereto we hereby consent to the preparation and recordation of said map as shown within the distinctive border line.

OWNER: 870 HARRISON STREET, LLC, A CALIFORNIA LIMITED LIABILITY COMPANY

BY: [Signature] TITLE: Managing Member
HYUN SEAN SULLIVAN MANAGING MEMBER

OWNER'S ACKNOWLEDGEMENT

STATE OF CALIFORNIA)
COUNTY OF San Francisco) S.S.

On May 19, 2014 before me, Josh Navik
a Notary Public, personally appeared Hyun Sean Sullivan

who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies) and by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument. I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand:
Signature [Signature]
Notary Public in and for said County and State
Principal County of Business: San Francisco
Commission Expires: Sep 9, 2015
Commission # of Notary: 1951427

BENEFICIARY

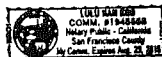
PREFERRED BANK
BY: [Signature] TITLE: EVP
Alice Huang
BENEFICIARY'S ACKNOWLEDGEMENT

STATE OF CALIFORNIA)
COUNTY OF San Francisco) S.S.

On May 19, 2014 before me, Lulu Han Koo
a Notary Public, personally appeared Alice Huang

who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies) and by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument. I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand:
Signature [Signature]
Notary Public in and for said County and State
Principal County of Business: San Francisco
Commission Expires: August 23, 2015
Commission # of Notary: 1945658



SURVEYOR'S STATEMENT

This map was prepared by me or under my direction and is based upon a field survey in conformance with the requirements of the Subdivision Map Act and local ordinance at the request of S & S Capital Partners, LLC in November 2012. I hereby state that all monuments are of the character and occupy the positions indicated, and that the monuments are sufficient to enable the survey to be retraced, and that this Final Map substantially conforms to the conditionally approved Tentative Map.

BY: [Signature]
DANIEL J. WESTOVER, L.S. 7779

DATE: 5/15/14



CITY AND COUNTY SURVEYOR'S STATEMENT

I hereby state that I have examined this map; that the subdivision as shown is substantially the same as it appeared on the Tentative Map, and any approved alteration thereto that all provisions of the California Subdivision Map Act and any local ordinance applicable at the time of the approval of the Tentative Map have been complied with; and that I am satisfied this map is technically correct.

BRUCE R. STORRS, CITY AND COUNTY SURVEYOR
CITY AND COUNTY OF SAN FRANCISCO

BY: [Signature]
BRUCE R. STORRS, L.S. 6914

DATE: August 13, 2014



CLERK'S STATEMENT

I, Angela Calvillo, clerk of the Board of Supervisors of the City and County of San Francisco, State of California, hereby state that said Board of Supervisors by its motion no. adopted _____, 20____, approved this map entitled, "FINAL MAP 7726".

In testimony whereof, I have hereunto subscribed my hand and caused the seal of the office to be affixed.

BY: _____ DATE: _____
CLERK OF THE BOARD OF SUPERVISORS
CITY AND COUNTY OF SAN FRANCISCO
STATE OF CALIFORNIA

TAX STATEMENT

I, Angela Calvillo, Clerk of the Board of Supervisors of the City and County of San Francisco, State of California, do hereby state that the subdivider has filed a statement from the treasurer and tax collector of the City and County of San Francisco, showing that according to the records of his or her office there are no liens against this subdivision or any part thereof for unpaid state, county, municipal or local taxes, or special assessments collected as taxes.

Dated: _____ Day of _____, 20____

CLERK OF THE BOARD OF SUPERVISORS
CITY AND COUNTY OF SAN FRANCISCO
STATE OF CALIFORNIA

APPROVED AS TO FORM

DENNIS J. HERRERA, CITY ATTORNEY

BY: _____ Date: _____
DEPUTY CITY ATTORNEY
CITY AND COUNTY OF SAN FRANCISCO

APPROVALS

This map is approved this 13th day of AUGUST, 2014.
by Order No. 182847

By: _____ Date: _____

MOHAMMED NURU
DIRECTOR OF PUBLIC WORKS AND ADVISORY AGENCY
CITY AND COUNTY OF SAN FRANCISCO
STATE OF CALIFORNIA

BOARD OF SUPERVISOR'S APPROVAL

On _____, 20____, the Board of Supervisor's of the City and County of San Francisco, State of California approved and passed motion no. _____, a copy of which is on file in the office of the Board of Supervisor's of the no. _____

RECORDER'S STATEMENT

FILED FOR RECORD THIS _____ DAY OF _____, 20____, AT _____ MINUTES PAST _____ M. IN BOOK _____ OF CONDOMINIUM MAPS AT PAGES _____ INCLUSIVE, OFFICIAL RECORDS OF THE CITY AND COUNTY OF SAN FRANCISCO, STATE OF CALIFORNIA, AT THE REQUEST OF WESTOVER SURVEYING, INC.

BY: _____ DATE: _____

COUNTY RECORDER
CITY AND COUNTY OF SAN FRANCISCO
STATE OF CALIFORNIA

FINAL MAP 7726

A 26 RESIDENTIAL UNIT AND 1 COMMERCIAL UNIT MIXED-USE CONDOMINIUM PROJECT

A SUBDIVISION OF THAT REAL PROPERTY DESCRIBED IN THAT CERTAIN GRANT DEED RECORDED JANUARY 27, 2006 IN REEL 1065 AT IMAGE 0162.

CITY AND COUNTY OF SAN FRANCISCO CALIFORNIA

WS 336 CLAREMONT BLVD, STE 2
SAN FRANCISCO, CA 94127
(415) 242-5400
www.westoversurveying.com

SHEET 1 OF 2 SHEETS

48 3752 LOT 018 870 HARRISON STREET

MAP REFERENCES:

- [A] MONUMENT MAP NO. 313 ON FILE IN THE OFFICE OF THE CITY AND COUNTY SURVEYOR OF SAN FRANCISCO.
- [B] BLOCK DIAGRAM OF 100 VARA BLOCK 374 ON FILE IN THE OFFICE OF THE CITY AND COUNTY SURVEYOR OF SAN FRANCISCO.

SPECIAL RESTRICTIONS

THIS PARCEL MAP IS SUBJECT TO THE TERMS AND CONDITIONS OF THAT CERTAIN "NOTICE OF SPECIAL RESTRICTIONS UNDER THE PLANNING CODE" RECORDED MAY 29, 2012 AS DOCUMENT NO. 2012-J42023 IN THE OFFICE OF THE CITY AND COUNTY OF SAN FRANCISCO RECORDER.

THIS PARCEL MAP IS SUBJECT TO THE TERMS AND CONDITIONS OF THAT CERTAIN "NOTICE OF SPECIAL RESTRICTIONS UNDER THE CITY PLANNING CODE" RECORDED APRIL 23, 2014 AS DOCUMENT NO. 2014-J070482-00 IN THE OFFICE OF THE CITY AND COUNTY OF SAN FRANCISCO RECORDER.

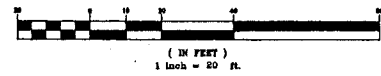
GENERAL NOTES:

1. ALL ANGLES ARE NINETY DEGREES UNLESS OTHERWISE NOTED.
2. ALL DISTANCES ARE FEET AND DECIMALS THEREOF.
3. ALL MEASURED DISTANCES ON THIS SURVEY EQUAL THE RECORD DISTANCE SHOWN ON ONE OR MORE OF THE REFERENCES UNLESS OTHERWISE NOTED HEREON INDICATED BY PARENTHESES ().

LEGEND

- PROPERTY LINE
- MONUMENT LINE PER [A]
- [A] MAP REFERENCE
- [M] MEASURED ON THIS SURVEY
- SET RIVET & TAG "PLS 7778"
- ⋄ FOUND MONUMENT MARK PER [A]

GRAPHIC SCALE

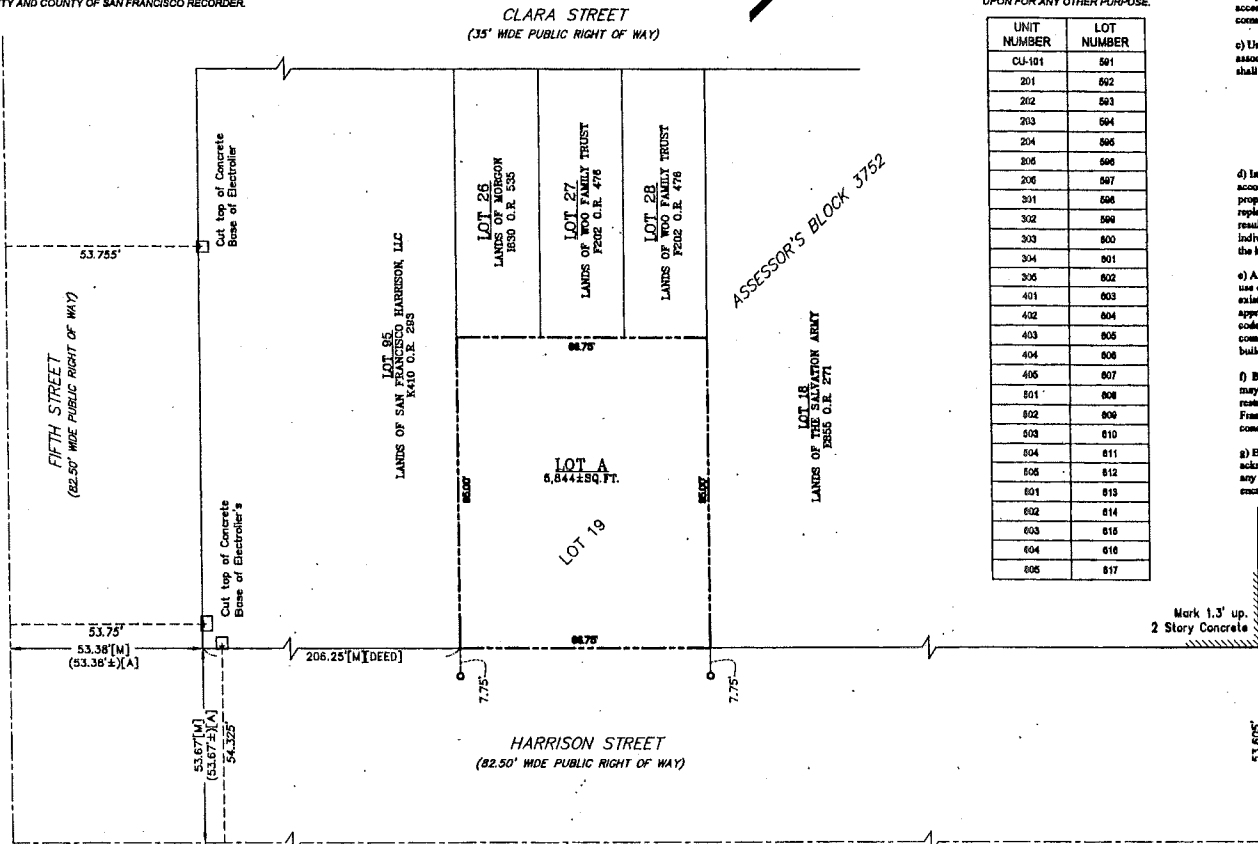


CONDOMINIUM GENERAL NOTES

- a) This map is the survey map portion of a condominium plan as described in California Civil Code Sections 4120 and 4215. This condominium project is limited to a maximum of 26 residential units and 1 commercial unit.
- b) All ingress (es), egress (es), path(s) of travel, fire/emergency exit(s) and exiting components, exit pathway(s) and passageway(s), stairway(s), corridor(s), elevator(s), and common use accessible feature(s) and facilities such as restrooms that the Building Code requires for common use shall be held in common undivided interest.
- c) Unless specified otherwise in the governing documents of a condominium homeowners' association, including its conditions, covenants, and restrictions, the homeowners' association shall be responsible, in perpetuity, for the maintenance, repair, and replacement of:
 - (i) All general use common area improvements; and
 - (ii) All fronting sidewalks, all permitted or unpermitted private encroachments and privately maintained street trees fronting the property, and any other obligation imposed on property owners fronting a public right-of-way pursuant to the Public Works Code or other applicable Municipal Codes.
- d) In the event the areas identified in (c)(ii) are not properly maintained, repaired, and replaced according to the City requirements, each homeowner shall be responsible to the extent of his/her proportionate obligation to the homeowners' association for the maintenance, repair, and replacement of those areas. Failure to undertake such maintenance, repair, and replacement may result in City enforcement and abatement actions against the homeowner's association and/or the individual homeowners, which may include, but not be limited to imposition of a lien against the homeowner's property.
- e) Approval of this map shall not be deemed approval of the design, location, size, density or use of any structure(s) or ancillary areas of the property associated with structures, new or existing, which have not been reviewed or approved by appropriate City agencies nor shall such approval constitute a waiver of the subdivider's obligation to abate any outstanding municipal code violation. Any structures constructed subsequent to approval of this Final Map shall comply with all relevant municipal codes, including but not limited to the planning, housing and building codes, in effect at the time of any application for required permits.
- f) Bay windows, fire escapes and other encroachments (if any shown hereon, that exist, or that may be constructed) onto or over Harrison Street are permitted through and are subject to the restrictions set forth in the Building Code and Planning Code of the City and County of San Francisco. This map does not convey any ownership interest in such encroachment areas to the condominium unit owner(s).
- g) Encroachment from/onto adjoining properties that may exist or may be constructed is hereby acknowledged and it shall be the responsibility solely of the property owners involved to resolve any issues that may arise therefrom. This map does not convey any ownership interest in such encroachment areas to the property owners.

THE PROPOSED ASSESSOR LOT NUMBERS SHOWN BELOW ARE FOR INFORMATIONAL USE ONLY AND SHOULD NOT BE RELIED UPON FOR ANY OTHER PURPOSE.

UNIT NUMBER	LOT NUMBER
CU-101	561
201	562
202	563
203	564
204	565
205	566
206	567
301	568
302	569
303	570
304	571
305	572
401	573
402	574
403	575
404	576
405	577
501	578
502	579
503	580
504	581
505	582
601	583
602	584
603	585
604	586
605	587



FOURTH STREET
(62.50' WIDE PUBLIC RIGHT OF WAY)

FINAL MAP 7726

A 26 RESIDENTIAL UNIT AND 1 COMMERCIAL UNIT MIXED-USE CONDOMINIUM PROJECT

A SUBDIVISION OF THAT REAL PROPERTY DESCRIBED IN THAT CERTAIN GRANT DEED RECORDED JANUARY 27, 2006 IN REEL J066 AT IMAGE 0162.

CITY AND COUNTY OF SAN FRANCISCO CALIFORNIA
SCALE: 1" = 20' AUGUST, 2014

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