

File No. 200241

Committee Item No. _____

Board Item No. 32

COMMITTEE/BOARD OF SUPERVISORS

AGENDA PACKET CONTENTS LIST

Committee: _____

Date: _____

Board of Supervisors Meeting

Date: March 10, 2020

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- Tax Certificates - 02/21/20
- Final Maps

Prepared by: Lisa Lew

Date: March 6, 2020

Prepared by: _____

Date: _____

1 [Final Map 8573 - Hunters Point Shipyard Phase 1]

2
3 **Motion approving Final Map 8573, Block 48 of Hunters Point Shipyard Phase 1, being a**
4 **merger and 17 lot resubdivision of existing Final Map No. 5255, Lot Nos. 1 through 89**
5 **and 93 through 127, Assessor's Parcel Block No. 4591D, Lot Nos. 1 through 7, 9**
6 **through 48, 50 through 55, 57 through 62, 64 through 93, and 97 through 131, resulting**
7 **in 17 lots intended for residential use, including a 404-unit residential condominium,**
8 **subject to specified conditions; approving an amendment to a Public Improvement**
9 **Agreement related to Final Map 8573; and acknowledging findings pursuant to the**
10 **General Plan, and the eight priority policies of Planning Code, Section 101.1.**

11
12 WHEREAS, The San Francisco Board of Supervisors ("Board") acknowledges the
13 findings made by the Planning Department, by its letter dated April 2, 2015, that the proposed
14 subdivision is consistent with the General Plan, the applicable provisions of the Planning
15 Code, and the eight priority policies of Planning Code, Section 101.1; and

16 WHEREAS, The General Plan findings are on file with the Clerk of the Board of
17 Supervisors in File No. 200241 and are incorporated herein by reference; and

18 WHEREAS, The Board acknowledges the findings made by the Successor Agency to
19 the Redevelopment Agency of the City and County of San Francisco ("Successor Agency") by
20 its letter dated April 12, 2016, that Final Map No. 8573 is consistent with the Hunters Point
21 Shipyard Redevelopment Plan and the relevant Plan Documents, as defined therein; and

22 WHEREAS, The Redevelopment Plan findings are on file with the Clerk of the Board of
23 Supervisors in File No. 200241 and are incorporated herein by reference; and

24 WHEREAS, The Board finds that the proposed subdivision is consistent with
25 Department of Public Works Order No. 202759, approved on March 1, 2020; and

1 WHEREAS, The Public Works Order is on file with the Clerk of the Board of
2 Supervisors in File No. 200241 and is incorporated herein by reference; and

3 WHEREAS, The Subdivider has not completed the required public improvements
4 associated with this Final Map at the time of the proposed approval of the Final Map, and the
5 Subdivider and the City previously entered into a Public Improvement Agreement to address
6 these requirements, and such Public Improvement Agreement must now be amended in
7 relation to Final Map No. 8573; and

8 WHEREAS, The property owner has submitted an offer of public improvements to the
9 City and the Director of Public Works in the abovementioned order recommended to the
10 Board that it accept such offer on behalf of the public, subject to completion and acceptance;
11 and

12 WHEREAS, The offer of improvements is on file with the Clerk of the Board of
13 Supervisors in File No. 200241 and is incorporated herein by reference; now, therefore, be it

14 MOVED, The Board of Supervisors hereby approves Final Map No. 8573, Block 48 of
15 Hunters Point Shipyard Phase 1, subject to the conditions specified in this motion, and said
16 map is hereby approved and adopted as an Official Final Map No. 8573; and, be it

17 FURTHER MOVED, The Board of Supervisors hereby approves the Second
18 Amendment to the Hunters Point Shipyard Phase 1 Public Improvement Agreement for Final
19 Map No. 8573 and authorizes the Director of Public Works and the City Attorney to execute
20 and file the agreement in the Official Records of the City and County of San Francisco; and,
21 be it

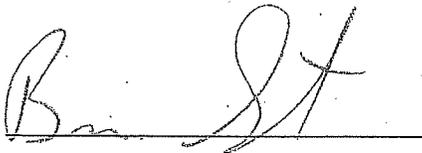
22 FURTHER MOVED, That the approval of this Final Map No. 8573 also is conditioned
23 upon compliance by the subdivider with all applicable provisions of the California Subdivision
24
25

1 Map Act, California Government Code Sections 66410 et seq., and the Candlestick
2 Point/Hunters Point Shipyard Subdivision Code and all amendments thereto; and, be it

3 FURTHER MOVED, That the Board accepts on behalf of the public, subject to
4 completion and acceptance, the offer of public improvements; and, be it

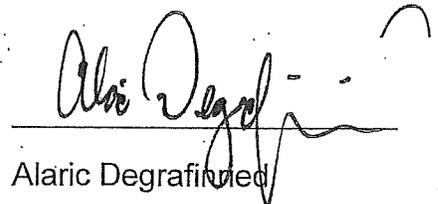
5 FURTHER MOVED, That the Board hereby authorizes the Director of the Department
6 of Public Works to enter all necessary recording information on Final Map No. 8573 and
7 authorizes the Clerk of the Board of Supervisors to execute the Clerk's Statement as set forth
8 herein.

9
10
11
12 DESCRIPTION APPROVED:

13 

14
15
16 Bruce R. Storrs, PLS
17 City and County Surveyor

18 RECOMMENDED:

19 

20 Alaric Degrafinied
21 Acting Director of Public Works
22
23
24
25



San Francisco Public Works
General – Director’s Office
City Hall, Room 348
1 Dr. Carlton B. Goodlett Place, S.F., CA 94102
(415) 554-6920 www.SFPublicWorks.org

Public Works Order No: 202759

**CITY AND COUNTY OF SAN FRANCISCO
DEPARTMENT OF PUBLIC WORKS**

RECOMMENDING APPROVAL OF FINAL MAP NO. 8573, BLOCK 48 OF HUNTERS POINT SHIPYARD PHASE 1, A SEVENTEEN LOT RESUBDIVISION AND A 404 UNIT RESIDENTIAL CONDOMINIUM PROJECT, BEING A MERGER AND RESUBDIVISION OF EXISTING FINAL MAP NO. 5255, LOT NOS. 1-89 AND 93-127, ASSESSOR’S BLOCK NO. 4591D, LOT NOS. 1-7, 9-48, 50-55, 57-62, 64-93, and 97-131.

FINDINGS

1. On April 14, 2016, the Director of Public Works (“Director”) adopted Public Works (“PW”) Order No. 184,785 approving Tentative Map No. 8573 for Block 48 of the Hunters Point Shipyard Phase 1 project (“Tentative Map”) for the merger and resubdivision of Assessor’s Block 4591D, Lots 1-7, 9-48, 50-55, 57-62, 64-93, and 97-131 (referred to collectively as “Block 48”) to create 17 lots and authorize up to 404 residential condominium units.
2. In PW Order No. 184,785, the Director determined that the Tentative Map was subject to the mitigation measures adopted by the former Redevelopment Commission for the Redevelopment Agency of the City and County of San Francisco and the City and County of San Francisco (“City”) Planning Commission on February 8, 2000, by Resolution No. 11-2000 and Resolution No. 14981, respectively. The City Planning Commission issued addenda to the previously-certified Final Environmental Impact Report (“FEIR”) on November 19, 2003, and July 13, 2006, respectively. Since the approval of the FEIR (subject to the addenda) and the associated project, there have been: i) no substantial changes to the project; ii) no substantial changes with respect to the surrounding circumstances; and iii) no new information of substantial importance that would result in new or more severe significant impacts than were addressed in the FEIR. Accordingly, no supplemental or subsequent EIR or other environmental review is required.
3. On June 13, 2019, the Director approved HPS Development Co., LP’s (“Subdivider”) request for a one-year extension of the Tentative Map pursuant to Government Code Section 66452.6(e) and Section IV.G of the Candlestick Point and Hunters Point

Shipyard Subdivision Regulations.

4. On December 5, 2019, Subdivider filed an application for a final map to merge and resubdivide Block 48 ("Final Map" or "Final Map No. 8573") to create a seventeen (17) lot subdivision and authorize up to 404 residential condominium units.
5. The Final Map merges and resubdivides certain real property that was subdivided as part of Final Map No. 5255, which the Board of Supervisors approved on July 21, 2009 by Motion M09-130 and which was recorded on August 12, 2009. Final Map No. 5255 established 131 development lots (Lots 1 through 131) open space lots (Lots A through F), and street lots (Lots 132 through 137).
6. In 2009, the Subdivider, the Redevelopment Agency of the City and County of San Francisco, and the City entered into a Public Improvement Agreement ("PIA") to address Subdivider's obligation to complete improvements for Phase 1 of the Hunters Point Redevelopment Plan Area, including public improvements located within the above-referenced street lots. In 2009, the Board of Supervisors approved the PIA concurrently with its approval of Final Map No. 5255. The parties to the PIA amended the agreement pursuant to that certain First Amendment to Hunters Point Shipyard Phase 1 Public Improvement Agreement, dated October 14, 2011. To address improvement security and the completion and dedication of public improvements associated with this Final Map, Subdivider has submitted to Public Works an executed Second Amendment to Hunters Point Shipyard Phase 1 Public Improvement Agreement, as amended.
7. The draft legislation transmitted herewith would authorize the Director and the City Attorney to execute the Second Amendment to the Hunters Point Phase 1 Public Improvement Agreement ("Second Amendment"), also submitted herewith, and file it in the Official Records of the City and County of San Francisco. The Director recommends that the Board of Supervisors approve the Second Amendment and authorize the Director and City Attorney to execute and file the Agreements in the Official Records of the City.
8. Subdivider has provided updated bonds to secure Subdivider's obligations to construct the public improvements pertaining to this Final Map according to the Public Improvement Agreement, as amended.
9. The Director has received an Offer of Improvements from the Subdivider ("Offer") for work as covered by the PIA, as amended, and has attached the Offer hereto. The Director recommends that the Board of Supervisors conditionally accept on behalf of the public the Offer as required by the Public Improvement Agreement, subject to the City Engineer's issuance of a Notice of Completion for the improvements and separate, subsequent Board of Supervisors action.

10. The City Planning Department, in a letter dated April 2, 2015, determined that the proposed subdivision is consistent with the General Plan and the Priority Policies of Planning Code Section 101.1
11. The Successor Agency submitted a letter dated April 12, 2016, from its Executive Director, determining that the subdivision is consistent with the Hunters Point Shipyard Redevelopment Plan ("HPS Plan") and the Plan Documents (as defined in the HPS Plan).
12. The Director and the County Surveyor find that the subdivision reflected on the Final Map is consistent with the requirements and conditions imposed by the Subdivision Map Act (Cal. Gov't Code §§ 66410 et seq.), the San Francisco Subdivision Code, and the Candlestick Point/Hunters Point Shipyard Subdivision Regulations, and the Tentative Map, and that the Final Map substantially conforms to the Tentative Map.
13. The Director, the Advisory Agency, acting in concurrence with the other City agencies, has determined that Final Map No. 8573 complies with all subdivision requirements thereto.
14. The Director, the City Engineer, and the County Surveyor recommend that the Board of Supervisors approve the Final Map subject to the conditions specified herein.

A. ATTACHMENTS & TRANSMITTALS:

1. ATTACHMENT 1, Enlarged Copy of Map Notes Included on Final Map No. 8573.
2. Transmitted herewith are the following:
 - i. One (1) copy of the Motion approving said map.
 - ii. One (1) set of the "Final Map No. 8573", comprising 8 sheets.
 - iii. One (1) copy of the Tax Certificates from the Office of the Treasurer and Tax Collector certifying that there are no liens against the property for taxes or special assessments collected as taxes.
 - iv. One (1) copy of the letter from the City Planning Department, dated April 2, 2015, verifying conformity of the subdivision with the General Plan and the Priority Policies set forth in the City Planning Code Section 101.1.
 - v. One (1) copy of the letter from the Office of Community Investment and Infrastructure determining consistency with the HPS Plan and the Plan Documents.
 - vi. One (1) copy of the Offer of Improvements.

- vii. One (1) copy of the previously approved Hunters Point Phase 1 Public Improvement Agreement and the First Amendment to the Hunters Point Phase 1 Public Improvement Agreement.
- viii. One (1) copy of the Subdivider executed Second Amendment to the Hunters Point Phase 1 Public Improvement Agreement, including Performance and Labor and Material Bonds.

It is recommended that the Board of Supervisors adopt this legislation.

X DocuSigned by:
Bruce Storrs

Storrs, Bruce
City and County Surveyor

X DocuSigned by:
Suzanne Suskind

Suskind, Suzanne
Acting City Engineer and Deputy Director of...

X DocuSigned by:
Alaric Degrafinried

Degrafinried, Alaric
Acting Director

py and paste this link to access all attachments to the Director's Order.

https://sfgov1-my.sharepoint.com/:f/g/personal/nicolas_huff_sfdpw_org/EgdUv7QVmkhJnBFVKT6M7T0BvbiQ2p-RGJpp-Y_loAiwdg?e=xyn9Xf

Certificate Of Completion

Envelope Id: 7200F433D3C4491F835F15EE4F068F78
Subject: Order 202759 - Hunters Point Shipyard Block 48 - Final Map 8573 Approval
Source Envelope:
Document Pages: 5 Signatures: 3
Certificate Pages: 5 Initials: 0
AutoNav: Enabled
Envelopeld Stamping: Enabled
Time Zone: (UTC-08:00) Pacific Time (US & Canada)

Status: Completed

Envelope Originator:
DPW DocuSign
30 Van Ness Ave. Suite 4400
San Francisco, CA 94102
dpw-docusign.service@sfdpw.org
IP Address: 208.121.64.5

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Status: Original
2/27/2020 5:14:25 PM
Holder: DPW DocuSign
dpw-docusign.service@sfdpw.org

Location: DocuSign

Signer Events

Bruce Storrs
Bruce.Storrs@sfdpw.org
Public Works
Security Level: Email, Account Authentication
(None)

Signature

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Bruce Storrs
97ABC41507B0494...
Signature Adoption: Pre-selected Style
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Suzanne Suskind
Suzanne.Suskind@sfdpw.org
City and County of San Francisco
Security Level: Email, Account Authentication
(None)

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Suzanne Suskind
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Alaric Degrafinried
Alaric.Degrafinried@sfdpw.org
City and County of San Francisco
Security Level: Email, Account Authentication
(None)

DocuSigned by:
Alaric Degrafinried
8179336C84404A5...
Signature Adoption: Pre-selected Style
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In Person Signer Events

Signature

Timestamp

Editor Delivery Events

Status

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Agent Delivery Events

Status

Timestamp

Intermediary Delivery Events

Status

Timestamp

Certified Delivery Events

Status

Timestamp

Carbon Copy Events

Kwong, John
John.Kwong@sfdpw.org
Public Works

Security Level: Email, Account Authentication
(None)

Electronic Record and Signature Disclosure:
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Ryan, James
james.ryan@sfdpw.org
Chief Surveyor
Public Works

Security Level: Email, Account Authentication
(None)

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Sent: 2/28/2020 12:10:19 PM

Thomas, John
John.Thomas@sfdpw.org
Deputy Director
Public Works

Security Level: Email, Account Authentication
(None)

Electronic Record and Signature Disclosure:
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Viewed: 2/28/2020 3:19:43 PM

Werdmuller Von Elgg, Maurits
Maurits.WerdmullerVonElgg@sfdpw.org
Public Works

Security Level: Email, Account Authentication
(None)

Electronic Record and Signature Disclosure:
Not Offered via DocuSign

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Huff, Nicolas
Nicolas.Huff@sfdpw.org
Public Works

Security Level: Email, Account Authentication
(None)

Electronic Record and Signature Disclosure:
Not Offered via DocuSign

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Witness Events

Signature

Timestamp

Notary Events

Signature

Timestamp

Envelope Summary Events

Status

Timestamps

Envelope Sent
Certified Delivered
Signing Complete
Completed

Hashed/Encrypted
Security Checked
Security Checked
Security Checked

3/1/2020 12:01:53 PM
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3/1/2020 12:01:53 PM
3/1/2020 12:01:53 PM

Payment Events

Status

Timestamps

Electronic Record and Signature Disclosure

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If you decide to receive notices and disclosures from us electronically, you may at any time change your mind and tell us that thereafter you want to receive required notices and disclosures only in paper format. How you must inform us of your decision to receive future notices and disclosure in paper format and withdraw your consent to receive notices and disclosures electronically is described below.

Consequences of changing your mind

If you elect to receive required notices and disclosures only in paper format, it will slow the speed at which we can complete certain steps in transactions with you and delivering services to you because we will need first to send the required notices or disclosures to you in paper format, and then wait until we receive back from you your acknowledgment of your receipt of such paper notices or disclosures. To indicate to us that you are changing your mind, you must withdraw your consent using the DocuSign 'Withdraw Consent' form on the signing page of your DocuSign account. This will indicate to us that you have withdrawn your consent to receive required notices and disclosures electronically from us and you will no longer be able to use your DocuSign Express user account to receive required notices and consents electronically from us or to sign electronically documents from us.

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Unless you tell us otherwise in accordance with the procedures described herein, we will provide electronically to you through your DocuSign user account all required notices, disclosures, authorizations, acknowledgements, and other documents that are required to be provided or made available to you during the course of our relationship with you. To reduce the chance of you inadvertently not receiving any notice or disclosure, we prefer to provide all of the required notices and disclosures to you by the same method and to the same address that you have given us. Thus, you can receive all the disclosures and notices electronically or in paper format through the paper mail delivery system. If you do not agree with this process, please let us know as described below. Please also see the paragraph immediately above that describes the consequences of your electing not to receive delivery of the notices and disclosures electronically from us.

How to contact Public Works:

You may contact us to let us know of your changes as to how we may contact you electronically, to request paper copies of certain information from us, and to withdraw your prior consent to receive notices and disclosures electronically as follows:

To contact us by email send messages to: dannie.tse@sfdpw.org

To advise Public Works of your new e-mail address

To let us know of a change in your e-mail address where we should send notices and disclosures electronically to you, you must send an email message to us at dannie.tse@sfdpw.org and in the body of such request you must state: your previous e-mail address, your new e-mail address. We do not require any other information from you to change your email address..

In addition, you must notify DocuSign, Inc to arrange for your new email address to be reflected in your DocuSign account by following the process for changing e-mail in DocuSign.

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To request delivery from us of paper copies of the notices and disclosures previously provided by us to you electronically, you must send us an e-mail to dannie.tse@sfdpw.org and in the body of such request you must state your e-mail address, full name, US Postal address, and telephone number. We will bill you for any fees at that time, if any.

To withdraw your consent with Public Works

To inform us that you no longer want to receive future notices and disclosures in electronic format you may:

- i. decline to sign a document from within your DocuSign account, and on the subsequent page, select the check-box indicating you wish to withdraw your consent, or you may;
- ii. send us an e-mail to dannie.tse@sfdpw.org and in the body of such request you must state your e-mail, full name, IS Postal Address, telephone number, and account number. We do not need any other information from you to withdraw consent.. The consequences of your withdrawing consent for online documents will be that transactions may take a longer time to process..

Required hardware and software

Operating Systems:	Windows2000? or WindowsXP?
Browsers (for SENDERS):	Internet Explorer 6.0? or above
Browsers (for SIGNERS):	Internet Explorer 6.0?, Mozilla FireFox 1.0, NetScape 7.2 (or above)
Email:	Access to a valid email account
Screen Resolution:	800 x 600 minimum
Enabled Security Settings:	<ul style="list-style-type: none"> •Allow per session cookies •Users accessing the internet behind a Proxy Server must enable HTTP 1.1 settings via proxy connection

** These minimum requirements are subject to change. If these requirements change, we will provide you with an email message at the email address we have on file for you at that time providing you with the revised hardware and software requirements, at which time you will have the right to withdraw your consent.

Acknowledging your access and consent to receive materials electronically

To confirm to us that you can access this information electronically, which will be similar to other electronic notices and disclosures that we will provide to you, please verify that you were able to read this electronic disclosure and that you also were able to print on paper or electronically save this page for your future reference and access or that you were able to e-mail this disclosure and consent to an address where you will be able to print on paper or save it for your future reference and access. Further, if you consent to receiving notices and disclosures exclusively in electronic format on the terms and conditions described above, please let us know by clicking the 'I agree' button below.

By checking the 'I Agree' box, I confirm that:

- I can access and read this Electronic CONSENT TO ELECTRONIC RECEIPT OF ELECTRONIC RECORD AND SIGNATURE DISCLOSURES document; and
- I can print on paper the disclosure or save or send the disclosure to a place where I can print it, for future reference and access; and
- Until or unless I notify Public Works as described above, I consent to receive from exclusively through electronic means all notices, disclosures, authorizations, acknowledgements, and other documents that are required to be provided or made available to me by Public Works during the course of my relationship with you.



Department of City Planning
 1650 Mission Street, Suite 400
 San Francisco, CA 94103

TENTATIVE MAP DECISION

Edwin M. Lee
 Mayor

Mohammed Nuru
 Director

Jerry Sanguinetti
 Bureau of Street Use & Mapping
 Manager

Bruce R. Storrs P.L.S.
 City and County Surveyor

Bureau of Street Use & Mapping
 1155 Market St., 3rd floor
 San Francisco, CA 94103
 tel (415) 554-5827
 Subdivision.Mapping@sfdpw.org

Project ID:	8573		
Project Type:	A merger and resubdivision of portions of Final Map 5255, resulting in 17 lots and up to 404 residential condominium units		
Address #	Street Names	Block	APN Lots
Various	Area bounded by Griffith St., Oakdale Ave., Navy Road, and Earl Street	AB 4591D	Lots 001-007, 009-048, 050-055, 057-062, 064-093, 097-133
Tentative Map Referral			

Attention: Scott F. Sanchez

The subject Tentative Map has been reviewed by the Planning Department and does comply with applicable provisions of the Planning Code. On balance, the Tentative Map is consistent with the General Plan and the Priority Policies of Planning Code Section 101.1 based on the attached findings.

CEQA Determination: EIR: 12.11.13: <http://sfmea.sfplanning.org/2007.0946>

The subject Tentative Map has been reviewed by the Planning Department and does comply with applicable provisions of the Planning Code subject to the following conditions:

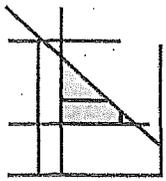
The subject Tentative Map has been reviewed by the Planning Department and does not comply with applicable provisions of the Planning Code. Due to the following reasons:

PLANNING DEPARTMENT

Signed Tina Chang
Digitally signed by Tina Chang
 DN: dc=org, dc=sfgov, dc=cityplanning,
 ou=City Planning, ou=Current Planning, cn=Tina
 Chang, email=Tina.Chang@sfgov.org
 Date: 2015.04.02 16:16:31 -0700

Date 04/2/2015

Planner's Name Tina Chang
 For Scott F. Sanchez, Zoning Administrator
 Enclosures: Application and Tentative Map



OCII

office of
COMMUNITY INVESTMENT
and INFRASTRUCTURE

450-0282016-197

April 12, 2016

Bruce Storrs
Department of Public Works
Office of the City and County Surveyor
1155 Market Street, 3rd Floor
San Francisco, CA 94103

Re: Consistency Determination Letter for Block 48, Assessor's Block 4591D

Mr. Storrs:

The Office of Community Infrastructure and Investment ("OCII") has received your request regarding the Hunters Point Shipyard Phase 1 Block 48 Tentative Subdivision Map No. 8573 and its consistency with the Hunters Point Shipyard Redevelopment Plan ("Plan"), Hunters Point Shipyard Phase 1 Disposition and Development Agreement entered into between San Francisco Redevelopment Agency and Lennar/BHVP, LLC dated December 2, 2003, as amended ("Phase 1 DDA") and the approved Block 48 Major Phase Application (Resolution No. 11-2015).

In compliance with Section 1634(a) of the Candlestick Point/Hunters Point Shipyard Subdivision Code ("Subdivision Code"), and all amendments thereto, the OCII has reviewed the pending Tentative Subdivision Map No. 8573 ("Tentative Map") (together with the design elements and improvements incorporated therein and authorized thereby), and finds that the proposed Tentative Map is consistent with the Subdivision Map Act, the Plan and the Plan Documents, as defined in Subdivision Code sections 1607(t) and 1607(s), respectively, including without limitation the Phase 1 DDA, applicable City Regulations, as such regulations exist as of this date. Additionally, OCII finds that the Tentative Map is in substantial conformance with the approved Block 48 Major Phase and recommends approval of this Tentative Map.

Thank you for your assistance on this matter.

Sincerely,

Tiffany Bohee
Executive Director

Edwin M. Lee
MAYOR

Tiffany Bohee
EXECUTIVE DIRECTOR

Mara Rosales
CHAIR

Miguel Bustos
Marily Mondejar
Leah Pimentel
Darshan Singh
COMMISSIONERS

One S. Van Ness Ave.
5th Floor
San Francisco, CA
94103

415 749 2400

www.sfocii.org

SECOND AMENDMENT TO HUNTERS POINT SHIPYARD

PHASE 1 PUBLIC IMPROVEMENT AGREEMENT

This SECOND AMENDMENT TO THE HUNTERS POINT SHIPYARD PHASE 1 PUBLIC IMPROVEMENT AGREEMENT (this “**Second Amendment**”) is entered into as of _____, 20__ (the “**Effective Date**”) by and between the CITY AND COUNTY OF SAN FRANCISCO, a municipal corporation of the State of California (the “**City**”), the SUCCESSOR AGENCY TO THE REDEVELOPMENT AGENCY OF THE CITY AND COUNTY OF SAN FRANCISCO, a public body, corporate and politic (the “**Agency**”), and HPS DEVELOPMENT CO., LP, a Delaware limited partnership (“**Subdivider**”).

RECITALS

- A. In 2006, the Director conditionally approved the Tentative Map entitled “Tentative Subdivision Map for Tract No. 2004-1 Hunters Point Shipyard.” The Director’s Conditions of Approval, dated August 9, 2006 (the “**2006 Conditions of Approval**”) required the Subdivider to complete installation of certain public improvements.
- B. Prior to completing the public improvements required by the 2006 Conditions of Approval, Subdivider requested the City’s approval of two Final Maps (Map No. 4231 and Map No. 5255). The City, the Redevelopment Agency of the City and County of San Francisco (the “**Redevelopment Agency**”), and Subdivider entered into the Hunters Point Shipyard Phase 1 Public Improvement Agreement (the “**Original Agreement**”) to secure the completion of public improvements required by the 2006 Conditions of Approval subsequent to the approval and recording of the Final Maps.
- C. The City, the Redevelopment Agency, and Subdivider entered into a First Amendment of the Original Agreement dated October 14, 2011 to provide for the removal of the S-Curve from the Phase 1 Required infrastructure and release Security and Reversionary Security for the S-Curve.
- D. On February 1, 2012, the Redevelopment Agency was dissolved pursuant to California State Assembly Bill 26 (“**AB 26**”), which was amended in part by California State Assembly Bill No. 1484 (“**AB 1484**”) (together, AB 26 and AB 1484, as amended from time to time, are referred to as the “**Redevelopment Dissolution Law**”). Pursuant to the Redevelopment Dissolution Law, all of the assets and obligations of the Redevelopment Agency were transferred to the Agency.
- E. Final Map Tract No. 5255, which was filed for record on August 12, 2009 in Book CC of Survey Maps, at Pages 176-185, inclusive, in the office of the County Recorder of the City and County of San Francisco, created 131 development lots for up to 397 condominium units. This development configuration was never constructed, and on February 20, 2015, Subdivider submitted an application for a new Tentative Subdivision Map seeking to merge and re-subdivide 124 of the development lots created by Final Map Tract No. 5255 into 17 development lots authorized for up to 404

condominium units. This tentative map, which was assigned number 8573 ("**Tentative Map No. 8573**"), was conditionally approved by the Director through DPW Order No. 184785.

- F. Subdivider has requested approval of a final subdivision map in advance of its completion of the improvements required by the conditions of approval adopted pursuant to Tentative Map No. 8573 ("**2016 Conditions of Approval**"), which public improvements include modifications and enhancements to the public improvements required under the 2006 Conditions of Approval and described in the Original Agreement with respect to the area subdivided by Map No. 5255. Given these modifications, amendments to Exhibit A-1 are required.
- G. Pursuant to the Original Agreement, Security has been provided for Phase 1 Required Infrastructure within the Final Map Tract No. 5255 and Final Map Tract No. 4231 areas. Pursuant to this Second Amendment, the City will release security for Phase 1 Required Infrastructure within the Final Map Tract No. 5255 area, and Subdivider shall provide replacement security.
- H. Subdivider will offer the Phase 1 Required Infrastructure for Acceptance by the City, with the exception of parks and open space areas constructed on Agency Parcels (as defined below), which will be offered to the Agency for acceptance in a form acceptable to the Agency.
- I. In order to permit approval and recordation of the Final Map and to implement the 2016 Conditions of Approval, and to simultaneously satisfy the security provisions of the Code and Section 13.3(c)(iii) of the Phase 1 DDA, the City, the Agency and Subdivider desire to enter into this Second Amendment.

AGREEMENT

NOW, THEREFORE, in consideration of the above recitals and the covenants, terms, conditions and restrictions contained herein, and without waiving any of the respective parties' rights under the Phase 1 DDA, the City, the Agency and Subdivider hereby amend the Original Agreement, as hereinafter set forth:

- 1. Amended Sections and Exhibits.
 - a. Exhibit A-1 – Plans and Specifications. Exhibit A-1 to the Original Agreement is hereby replaced in its entirety by Exhibit A-1 attached hereto.
 - b. Section 1(a) – Completion of Phase 1 Required Infrastructure.

Section 1(a) is hereby deleted and replaced with the following:

Subdivider shall, in good and workmanlike manner, furnish all necessary materials and complete construction of all Phase 1 Required Infrastructure no later than two (2) years from the Effective Date, with the exception of the Pocket

Parks (as identified in the Phase 1 DDA) located within the boundaries of Final Map Tract No. 5255, which shall each be completed no later than twenty-four (24) months after the issuance of the first Building Permit for adjacent Vertical Development (as those terms are defined in the Phase 1 DDA); provided, however, that the periods of time in this condition may be extended in accordance with Section 3(b) hereof.

c. Section 5(c) – Acceptance and Dedications.

Section 5(c) is hereby deleted and replaced with the following as Sections 5(c)(i) and 5(c)(ii):

- (i) Final Map Tract Nos. 4231 and 5255 include certain offers of dedication as more particularly set forth therein. The Board of Supervisors shall accept, conditionally accept or reject such offers of dedication, and shall also accept, conditionally accept or reject for public right of way and utility purposes the related City fee parcels and Phase 1 Required Infrastructure (or portions thereof) which are not included in such previous offers of dedication, by ordinance or other appropriate action upon the Director's determination in accordance with Section 5(a) of completion of the Phase 1 Required Infrastructure, or portion thereof. Subdivider will coordinate with the City and assist in the City's process for the offers of dedication and Acceptance of Phase 1 Required Infrastructure by (1) providing necessary maps, legal descriptions, and plats for street openings, offers of easements and/or dedications for right-of-way or utility purposes and for relinquishment of existing rights of access and utilities associates with on-site and off-site development; (2) executing easement agreements consistent with the Conditions of Approval for the Tentative Map; and (3) providing easement agreement documents consistent with the 2016 Conditions of Approval and the completion and Acceptance of the Phase 1 Required Infrastructure, including, as applicable, easements for emergency vehicle access and emergency exiting, public easements for those uses described in the master declarations and the declaration of restrictions, and public service easements for access by the City and for public utilities.
- (ii) Offers of dedication on the Final Maps do not include parks or open space on parcels owned by the Agency ("**Agency Parcels**"). The City, the Agency, and Subdivider agree that: (a) notwithstanding anything herein to the contrary, Subdivider shall offer parks and open space improvements on Agency Parcels to the Agency for Acceptance, in a form acceptable to the Agency; (b) Agency Parcels, both prior and subsequent to Subdivider's completion of parks and open space improvements thereon shall be owned by the Agency; and (c) Notwithstanding the foregoing, Subdivider may request Certificates of Completion for said parks and open space improvements pursuant to Section 4.4 of the Phase 1 DDA.

d. Section 8(c) – Major Encroachment Permit(s):

Section 8(c) is hereby deleted and replaced with the following:

With the exception of the Subdrains System (as defined in Attachment 1 hereto), all encroachments within any public Right-of-Way within the Property shall be permitted through the applicable encroachment permit issued to Subdivider, which encroachment permit may be, in Subdivider's sole discretion and in all events subject to applicable law, assigned to the Master Homeowners Association ("Master HOA") for purposes of maintenance of said encroachments consistent with the Master Declaration of Covenants, Conditions and Restrictions and Grant and Reservation of Easements of Hunters Point shipyard Phase One (Document No. 2009-1815408-00, "Master CC&Rs"). Any required encroachment permit shall be obtained prior to the earlier of acceptance of public street improvements or occupancy of any building (TCO or CFCO).

e. Section 8(e) – Subdrains.

Section 8 is hereby amended to include the following as a new Section 8(e):

Subdrains constructed to date are shown on as-built drawings prepared by ENGEO dated May 2009 that are included as Exhibit C to the Master CC&Rs and are hereafter referred to as the "Subdrains System." Prior to the earlier of acceptance of public street improvements or occupancy of any building (TCO or CFCO), Subdivider shall provide an amended offer of dedication for Lots 132-137 of Final Map Tract No. 5255 that includes the following requirements:

- (i) No portion of the Subdrains System within Lots 132 to 137, inclusive, as shown on Final Map Tract No. 5255, will be accepted by the City for public use and maintenance. Subdivider shall retain, by reservation in its amended offer of dedication, an easement for maintenance, repair, replacement, and reconstruction of the Subdrains System.
- (ii) Notwithstanding Subdivider's easement, prior City approval is needed for any adjustment or modification of the Subdrains System, either temporary or permanent, to the extent that such adjustment or modification occurs prior to dedication of streets overlaying the Subdrains System. Said adjustment or modification of the Subdrains System shall be shown on revised and approved Improvement Plans and attached to Sub-Association CC&Rs (as defined below) subject to review and approval by the City. City approved as-built drawings for the Subdrains System as it may be modified shall also be added to the Sub-Association CC&RS at the completion of construction.
- (iii) The City shall not be responsible for potential damages to the Subdrains System caused by City utility work or street maintenance within the public right-of-way except as may be caused solely by City's willful misconduct

or gross negligence, provided that the City takes reasonable precautions to avoid damage to the Subdrains System when performing utility work or street maintenance.

f. Section 8(f) – Sub-Association CC&Rs, Homeowners Association Documents, and Reservations.

Section 8 is amended to include a new section 8(f) as follows:

Prior to the earlier of Subdivider's request for acceptance of public improvements within the Final Map Tract No. 5255 area or the Final Map Tract No. 8573 area, or Subdivider's request for the first certificate of occupancy for any residential unit in the Final Map Tract No. 8573 area, Subdivider shall provide "**Sub-Association CC&Rs**", which are covenants conditions and restrictions pertaining solely to vertical development within the Map No. 8573 area, and governing homeowners association documents required by the Davis-Sterling Act and prepared for vertical development within the Map No. 8573 area ("**HOA Documents**") to the Director and the Agency for review to confirm that the Sub-Association CC&Rs reflect the following criteria:

- (i) Subdivider shall include a provision in the Sub-Association CC&Rs regarding the Subdrains System that is substantially consistent with Attachment 1 hereto, which shall be added as Exhibit C to the Original Agreement.
- (ii) Any modifications to the Subdrains System shall be depicted in approved Improvement Plans appended to the Sub-Association CC&Rs. After completion of said modifications, Subdivider shall append updated as-built drawings as an exhibit to the Sub-Association CC&Rs.
- (iii) Private storm drain and retaining wall easements shall be granted by Subdivider to the Master HOA or to a subsidiary homeowners association consistent with the Master CC&Rs.
- (iv) Any other necessary non-exclusive easements shall be described in the Sub-Association CC&Rs or HOA Documents.

g. Section 9(d)(i) – Notices.

- (i) A notice or communication under the Original Agreement, the First Amendment, or this Second Amendment by any party to the other (or by or to the Director) shall be sufficiently given or delivered if dispatched by hand or by registered or certified mail, postage prepaid, addressed as follows:

(A) In the case of a notice or communication to the Agency or the Director:

Director of Public Works
City and County of San Francisco
30 Van Ness Avenue, Suite 4200
San Francisco, CA 94102
Attention: Infrastructure Task Force Manager
Telefacsimile: (415) 581-2569

Office of Community Investment and Infrastructure
One South Van Ness, 5th Floor
San Francisco, CA 94103
Attention: Hunters Point Shipyard Phase 1 Project Manager
Reference: Hunters Point Shipyard Phase 1 Project
Telefacsimile: (415) 749-7585

With copies to:

Office of the City Attorney
City Hall, Room 234
1 Dr. Carlton B. Goodlett Place
San Francisco, CA 94102
Attention: John Malamut
Reference: Hunters Point Shipyard Phase 1 Project
Telefacsimile: (415) 554-4757

Office of Community Investment and Infrastructure
One South Van Ness, 5th Floor
San Francisco, CA 94103
Attention: General Counsel
Reference: Hunters Point Shipyard Phase 1 Project
Telefacsimile: (415) 749-2525

(B) And in the case of a notice or communication to Subdivider at:

HPS Development Co., LP
c/o Lennar
One Sansome Street, Suite 3750
San Francisco, CA 94104
Attention: Ryan Hauck
Telefacsimile: (415) 247-2939

With copies to:

Perkins Coie LLP
505 Howard Street, Suite 1000
San Francisco, CA 94105
Attention: Matthew S. Gray
Telefacsimile: (415) 344-7082

Paul Hastings LLP
55 Second Street, Suite 2400
San Francisco, CA 94105
Attention: David Hamsher
Telefacsimile: (415) 856-7123

2. Miscellaneous Provisions.

- a. Improvement Security. Subdivider previously provided security to secure the completion of Phase 1 Required Infrastructure within the Map No. 5255 boundary (“**Initial Security**”). The improvement plans corresponding with this security have been superseded by those plans specified in the revised Exhibit A-1 attached hereto. Therefore, Subdivider shall provide replacement security to the City in the form of bonds substantially similar to Exhibits B-1 and B-2 to the Original Agreement to secure the completion of the Phase 1 Required Infrastructure described in Exhibit A-1 attached hereto. Upon Subdivider’s delivery of such replacement security to the City, the City shall release the Initial Security.
- b. Continuing Effect. Except as otherwise expressly amended in Section 1 of this Second Amendment, all of the terms and conditions of the Original Agreement and the First Amendment remain in full force and effect.
- c. Incorporation. This Second Amendment constitutes part of the Original Agreement and First Amendment and any reference to the Original Agreement shall be deemed to include a reference to the Original Agreement as amended by the First Amendment and this Second Amendment.
- d. Other Definitions. All capitalized terms used but not defined herein shall have the meanings assigned thereto in the Original Agreement or First Amendment.
- e. Counterparts. This Second Amendment may be executed in any number of counterparts, each of which shall be an original and all of which together shall constitute one and the same document, binding on all parties hereto notwithstanding that each of the parties hereto may have signed different counterparts. Delivery of this Second Amendment may be effectuated by hand delivery, mail, overnight courier or electronic communication (including by PDF sent by electronic mail, facsimile, or similar means of electronic communication). Any electronic signatures shall have the same legal effect as manual signatures.

- f. Confirmation of Original Agreement and the First Amendment. As modified hereby, the Original Agreement and the First Amendment remain in full force and effect. In the event of any conflict between the provisions of the Second Amendment and the Original Agreement or the First Amendment, this Second Amendment shall prevail.

[Signatures on next page.]

IN WITNESS WHEREOF, the Parties have executed this Agreement as of the Effective Date set forth above

SUBDIVIDER:

HPS DEVELOPMENT CO., LP, A Delaware limited partnership

By: CP/HPS Development Co. GP, LLC, a Delaware limited liability company, its General Partner

By: _____
Name: Ryan Hauck
Title: VP

CITY:

Approved as to Form:

CITY AND COUNTY OF SAN FRANCISCO, a municipal corporation of the State of California

By: _____
Name: _____
Title: Deputy City Attorney

By: _____
Name: _____
Title: _____

AGENCY:

Approved as to Form:
James Morales, General Counsel

SUCCESSOR AGENCY TO THE REDEVELOPMENT AGENCY OF THE CITY AND COUNTY OF SAN FRANCISCO, a public body, corporate and politic

By: _____
Aaron Foxworthy
Deputy General Counsel

By: _____
Nadia Sesay
Executive Director

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

ALL-PURPOSE ACKNOWLEDGMENT NOTARY FOR CALIFORNIA

STATE OF CALIFORNIA)
CITY OF SAN RAMON)
COUNTY OF CONTRA COSTA)

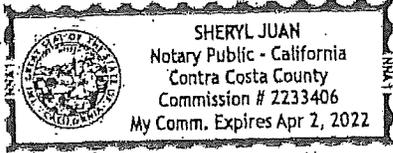
On NOV. 29, 2019, before me, SHERYL JUAN
Date Name and Title of Officer (e.g. "Jane Doe, Notary Public")

personally appeared Ryan Hauck
Name of Signer(s)

who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.



[Signature]
Signature of Notary Public

EXHIBIT A-1

Infrastructure per Plans and Specifications

1. Improvement Plans and Specifications prepared by DMJM Harris entitled "Hunters Point Shipyard Development Project, Parcel A' Infrastructure – Wet Utility Permit Set" dated August 3, 2007 and approved by or on behalf of the Director, on August 14, 2007.

Original Estimated Total Cost (2009): \$8,449,070.00

Estimated Hilltop Cost: \$6,122,461.45

Estimated Hillside Cost: \$2,326,608.55

2. Improvement Plans and Specifications prepared by DMJM Harris entitled "Hunters Point Shipyard Development Project, Parcel A' Infrastructure – Joint Trench Permit" dated July 31, 2008 and approved by or on behalf of the Director, on July 31, 2008.

Original Estimated Total Cost (2009): \$ 3,451,177.36

Estimated Hilltop Cost: \$2,328,897.10

Estimated Hillside Cost: \$1,122,280.27

3. Improvement Plans and Specifications prepared by DMJM Harris entitled "Hunters Point Shipyard Development Project, Parcel A' Infrastructure – Infrastructure Permit" dated September 22, 2008 and approved by or on behalf of the Director, on September 24, 2008.

Original Estimated Total Cost (2009): \$ 7,027,246.98

Estimated Hilltop Cost: \$5,314,827.43

Estimated Hillside Cost: \$1,712,419.54

4. Improvement Plans and Specifications prepared by BKF entitled "Hunters Point Shipyard Development Project, Parcel A' Infrastructure – Comprehensive Hillside IB 19" dated Nov 30, 2015. Revised Hillside Total Cost will supersede Original Hillside Total Cost per recent material & labor costs and scope updates.

Original Previous Estimated Hillside Total Cost (2009): \$5,161,308.36

Revised Estimated Hillside Total Cost (2016): \$10,316,429.20

ATTACHMENT 1

(Form of CC&R Provision Regarding Subdrains System)

Numerous properties within this Subproject, including private parcels and park open spaces, as well as public rights-of-way, are served by a subjacent system of subdrains, sandtraps and cleanouts installed throughout the entirety of HPS Phase One in 2009 to facilitate drainage and ensure slope stability (the "Subdrains System"). A diagram of the Subdrains System is included as Exhibit C to the Master Declaration. Each Owner, by acquiring title to any portion of this Subproject, acknowledges and understands the following:

- a) The Subdrains System underlie private parcels, parks and open spaces, and public rights-of-way throughout HPS Phase One.
- b) All Properties within the Subproject are subject to the flow of subsurface waters through the Subdrains System.
- c) All Properties within the Subproject are part of the HPS Phase One Master Association. Properties are assessed special taxes through the CFD, which funds maintenance of public park and open space areas. As such, the CFD will be responsible for maintaining that portion of the Subdrains System within the parks and open space, and the Master Association shall be responsible for maintaining the remainder of the Subdrains System.
- d) The City is not a party to the Master Declaration and has assumed no maintenance obligations or liability as a result of that declaration or this Subproject Declaration.
- e) The City is intended to be a third-party beneficiary of all covenants of this [Article/Section __] of the Sub-Association CC&Rs with the right to consent to any modification or revocation hereof and the right and authority, at its sole option, to enforce the provisions of this [Article/Section __] hereof.

**HUNTERS POINT SHIPYARD PHASE 1
PUBLIC IMPROVEMENT AGREEMENT**

This HUNTERS POINT SHIPYARD PHASE 1 PUBLIC IMPROVEMENT AGREEMENT (this "**Agreement**") is entered into as of July 21, 2009 (the "**Effective Date**"), by and between the CITY AND COUNTY OF SAN FRANCISCO, a municipal corporation of the State of California (the "**City**"), the REDEVELOPMENT AGENCY OF THE CITY AND COUNTY OF SAN FRANCISCO, a public body, corporate and politic, exercising its functions and powers and organized and existing under the Community Redevelopment Law of the State of California (together with any successor public agency designated by or pursuant to law, the "**Agency**"), and HPS DEVELOPMENT CO., LP, a Delaware limited partnership ("**Subdivider**").

RECITALS

A. Except as specifically defined herein, capitalized terms shall have the meanings given in (i) the Hunters Point Shipyard Subdivision Code of the City (the "**Code**"), (ii) the Redevelopment Plan for the Hunters Point Shipyard Redevelopment Project, adopted by the Board of Supervisors of the City (as amended from time to time, the "**Plan**"), (iii) the Phase 1 DDA (as defined below), (iv) the Plans and Specifications (as defined below) and (v) the Acquisition Agreement between Subdivider and the Agency dated April 5, 2005 (as amended from time to time, the "**Acquisition Agreement**").

B. On or about April 5, 2005, Subdivider acquired from the Agency, pursuant to that certain Disposition and Development Agreement (the "**Original DDA**") between the Agency and Subdivider, dated as of December 2, 2003; recorded in the Official Records of the City and County of San Francisco (the "**Official Records**"), certain real property described therein and commonly known as Phase 1 (the "**Property**"). The Original DDA was subsequently amended by that certain (collectively, together with the Original DDA and as amended from time to time, the "**Phase 1 DDA**"): (i) First Amendment to Disposition and Development Agreement, dated as of April 4, 2005, recorded in the Official Records; (ii) Second Amendment to Disposition and Development Agreement, dated as of October 17, 2006, recorded in the Official Records; (iii) Amendment to Attachment 10 (Schedule of Performance for Infrastructure Development and Open Space "Build Out" Schedule of Performance), dated as of August 5, 2008, recorded in the Official Records; and (iv) Fourth Amendment to Disposition and Development Agreement (Hunters Point Shipyard Phase 1), dated as of August 29, 2008, recorded in the Official Records.

C. Subdivider and the Agency are engaged in subdividing, and Subdivider is developing, the Property. A tentative map, entitled "Tentative Subdivision Map for Tract No. 2004-1 Hunters Point Shipyard", for the proposed subdivision of the Property was approved by the Director of the Department of Public Works (the "**Director**"), acting as the Advisory Agency, subject to certain requirements and conditions contained in the Director's Conditions of Approval dated October 9, 2005. An amended tentative map, entitled "Tentative Subdivision Map for Tract No. 2004-1 Hunters Point Shipyard" (the "**Tentative Map**") was approved by the Director, subject to certain requirements and conditions contained in the Director's Conditions of Approval dated August 9, 2006 (the "**Conditions of Approval**"). The Tentative Map supersedes the original tentative map approval.

D. Pursuant to the Plan, the Code, any applicable Plans and Specifications relating to the filing, approval, and recordation of subdivision maps and the Conditions of Approval, Subdivider submitted to the City, for approval and recordation, final maps for the Property, entitled: "Final Map Tract No. 4231 for Hunters Point Shipyard" and "Final Map Tract No. 5255 for Hunters Point Shipyard" (each a "Final Map" and collectively the "Final Maps") which, upon approval by the City, will be filed in the Official Records.

E. Subdivider has requested that the Final Maps be approved prior to the completion of construction and installation of the public improvements required by the Conditions of Approval of the Tentative Map and which are part of or appurtenant to the Property. Such public improvements are more particularly described in those certain improvement plans identified in Exhibit A-1 (as such plans are revised from time to time, the "Plans and Specifications"). The Plans and Specifications provide for the construction, installation and completion of the public improvements identified therein (the "Phase 1 Required Infrastructure"), and include the specifications and details of such public improvements. The term "Phase 1 Required Infrastructure" also includes the Interim Facilities more specifically identified in Exhibit A-2 (the "Interim Facilities") and the Future Facilities more specifically identified in Exhibit A-3 (the "Future Facilities"). The estimated costs of completing the Phase 1 Required Infrastructure are described on Exhibits A-1, A-2 and A-3 hereto (the "Estimated Costs"). Copies of the Plans and Specifications are on file with the San Francisco Department of Public Works ("DPW").

F. The Code provides that before a final subdivision map or parcel map is approved by the City, Subdivider shall have either (i) installed and completed all of the public improvements required by the City and detailed in the plans and specifications approved by the Director, or (ii) entered into an agreement with the City to install and complete, free of liens, all of such public improvements within a definite period of time and provided improvement securities to secure satisfactory performance of such agreement.

G. In order to permit the approval and recordation of the Final Maps by the City (including the dedications contained therein), to implement the Conditions of Approval, and to simultaneously satisfy the security provisions of the Code and Section 13.3(c)(iii) of the Phase 1 DDA, the City, the Agency and Subdivider desire to enter into this Agreement.

AGREEMENT

NOW THEREFORE, for good and valuable consideration, the amount and sufficiency of which are hereby acknowledged, Subdivider, the Agency and the City agree as follows:

1. Subdivider's Obligations.

(a) Completion of Phase 1 Required Infrastructure. Subdivider shall, in good and workmanlike manner, furnish all necessary materials and complete construction of the Phase 1 Required Infrastructure in accordance with the performance schedule(s) set forth in Attachment 10 to the Phase 1 DDA; provided, however, that the periods of time provided in this condition may be extended in accordance with Section 3(b) hereof.

(b) Delivery of As-Built Plans. Within three (3) months after Acceptance of the Phase 1 Required Infrastructure, or portion thereof, Subdivider shall furnish to DPW and, if requested, the City Department of Building Inspection, as-built plans for such Phase 1 Required Infrastructure, or portion thereof, in both electronic (in a reasonably current version of AutoCAD) and mylar formats and any reports required in connection with such Phase 1 Required Infrastructure, or portion thereof, by the Plans and Specifications.

2. Improvement Security.

(a) Security. Pursuant to the Code, in order to secure satisfactory performance of the construction or installation of all of the Phase 1 Required Infrastructure and to guarantee payment for the labor, materials, equipment and services required in connection therewith, Subdivider has furnished and delivered the following to the Director (collectively, the "**Security**"): (i) performance bonds substantially in the form attached as Exhibit B-1 hereto in an amount equal to the Estimated Costs (the "**Performance Bonds**") and (ii) performance bonds substantially in the form attached as Exhibit B-2 hereto in an amount equal to the Estimated Costs (the "**Labor and Materials Bonds**"). In addition to the Security, in full satisfaction of Section 13.3(c)(iii) of the Phase 1 DDA, Subdivider has furnished and delivered to the Director for the benefit of the Agency additional Performance Bonds and Labor and Materials Bonds, each in an amount equal to the Estimated Costs (collectively, the "**Reversionary Security**"). The amount of the Security and the Reversionary Security may be reduced pursuant to Section 4 hereof.

(b) Other Acceptable Security. In lieu of providing the Security or the Reversionary Security described in Section 2(a), Subdivider may, subject to the approval of the Director, provide a deposit or other security as described in Section 66499 of the Government Code (such deposit or other security shall also be considered "**Security**" or "**Reversionary Security**", as applicable).

(c) Use of Security by DPW. If the Phase 1 Required Infrastructure is not completed within the time periods specified in Section 1(a) and such period is not extended by the City as provided under this Agreement, or Subdivider has not satisfactorily corrected all deficiencies during the Warranty Period (as such term is defined in Section 7 below), then the Security may, by request of the Director and the subsequent resolution of the Board of Supervisors of the City, be used by the City for completion of the Phase 1 Required Infrastructure.

(d) Use of Security and Reversionary Security by the Agency. If Subdivider has committed an Event of Default under Section 13.2(d), (i), (j) or (k) of the Phase 1 DDA, then the Security and the Reversionary Security may, by request of the Executive Director of the Agency (the "**Executive Director**") and the subsequent resolution of the Agency Commission, be used by the Agency for completion of the Phase 1 Required Infrastructure.

3. Construction of Phase 1 Required Infrastructure.

(a) Permits and Fees. Subdivider shall not perform any work subject to this Agreement until all required permits have been obtained for the portion of work involved, and all applicable fees, including inspection and testing fees, have been paid.

(b) Extensions.

(i) Requested Extensions. Subdivider may request extensions of the time periods specified in Section 1(a) by submission of a request(s) to the Director. A request shall be in writing, state adequate evidence to justify the extension, and shall be made not less than thirty (30) days prior to expiration of this Agreement. The Director shall in good faith attempt to determine within such time whether an extension of time shall be granted. The Director's failure to respond within the time specified shall, however, not constitute either a grant or denial of the requested extension. The periods of time for performance under this Agreement shall be automatically extended for the period during which a request for an extension is pending a determination by the Director. The Director shall not unreasonably withhold, condition or delay a request for an extension. The Director may reasonably condition an extension subject to the terms of this Agreement and the conditions provided in the Code, including execution of an extension agreement.

(ii) Permit Processing. The periods of time for performance under this Agreement shall be automatically extended for the period of time associated with permit processing, including, without limitation, permit processing by and obtaining permits and approvals from all agencies with jurisdiction over the Phase 1 Required Infrastructure.

(iii) Unavoidable Delay. The periods of time for performance under this Agreement shall be automatically extended for Unavoidable Delay (as defined in the Phase 1 DDA).

(iv) Extensions Generally. The provisions in this Section 3(b) are in addition to and not a limitation of any other provision for extensions in this Agreement, the Phase 1 DDA or in the Plans and Specifications: No extension approved hereunder shall relieve the surety's liability under the Security or the Reversionary Security. A party requesting or claiming an extension of time for performance pursuant to this Section 3(b) must at all times be acting diligently and in good faith to avoid foreseeable delays in performance, to remove the cause of the delay or to develop a reasonable alternative means of performance.

(c) Revisions to Plans and Specifications. Requests by Subdivider for revisions, modifications or amendments to the approved Plans and Specifications (each, a "**Plan Revision**") shall be submitted in writing to the Director (or the Director's designee and, if requested by the Executive Director, to the Agency). Within ten (10) business days of receipt by the Director (or the Director's designee), the Director (or the Director's designee) shall in writing either (i) approve such proposed Plan Revision or (ii) deny such

proposed Plan Revision and state the reasons for such denial and the actions, if any, that the Director (or the Director's designee) in good faith believes can be taken to obtain later approval. The Director (or the Director's designee) shall approve proposed Plan Revisions which are substantially consistent with the Plans and Specifications, the Final Maps and the Phase 1 DDA. Construction of any proposed Plan Revision shall not commence without prior approval pursuant to this Section 3(c).

(i) Notwithstanding the foregoing, prior approval by the Director (or the Director's designee) of Plan Revisions and supplemental agreements with contractors (commonly referred to as "change orders") shall only be required for such Plan Revisions and change orders which (1) in any way materially alter the quality or character or expected future maintenance costs of the Phase 1 Required Infrastructure, (2) involve an amount equal to or greater than Two Hundred Thousand Dollars (\$200,000), (3) would result in aggregate change orders in excess of the budgeted contingency for construction costs; or (4) either change a line item by more than ten percent (10%) of the line item, transfer line items in excess of ten percent (10%) of the lesser revenue as shown in the then Approved Budget (as that term is defined in Attachment 25 of the Phase 1 DDA).

(ii) If the proposed Plan Revision includes a change which will require a material change to the Infrastructure Plan set forth in Attachment 9 of the Phase 1 DDA (the "**Infrastructure Plan**"), Subdivider shall not proceed with such affected portion of the work without the prior written authorization (or conditional authorization) from the Director (or the Director's designee). In such case, the Director shall in good faith attempt to consult with the Agency, the Agency Commission and/or the Board of Supervisors of the City, if required, and determine, within ten (10) business days of receipt of the proposed Plan Revision, whether to approve, conditionally approve or deny, in writing, the proposed Plan Revision. The Director's failure to respond within the time specified above, however, shall not constitute either an approval or denial of the application, provided that the Director shall respond in good faith within a reasonable time thereafter. The Director may, in the exercise of the Director's reasonable discretion, suspend performance of the affected portion of the work pending approval of the proposed Plan Revision, or may allow the Plan Revision to be performed by Subdivider, at Subdivider's own risk, pending final review and approval of the proposed Plan Revision, subject to such conditions as the Director may reasonably determine are appropriate. Any such conditional authorization to proceed with the proposed Plan Revision may include, without limitation, ensuring that (1) adequate security is still available (2) adequate other acceptable security has been provided or separate security is deemed unnecessary by the Director, or (3) additional security is provided, if the Security has been otherwise released, for both the proposed Plan Revision and, if deemed reasonable and appropriate by the Director, for any subsequent modification (or removal) of the proposed Plan Revision that may be required by a subsequent action, if any is necessary, approving, denying or modifying the proposed Plan Revision.

(iii) Any Infrastructure Plan amendments or other related documentation required because of a Plan Revision shall be processed with reasonable

promptness. Infrastructure Plan amendments may be processed separately or joined with other proposed amendments.

(iv) Plan Revisions shall be accompanied by drawings and specifications and other related documents showing the proposed Plan Revision so as to adequately describe the proposed change and the cost and affect thereof.

4. Release of Security and Reversionary Security. The Security and the Reversionary Security, as applicable, shall be released to Subdivider, or its successors in interest, or reduced, as follows:

(a) Release of Security.

(i) One Year Warranty Bond. Upon the Director's determination of completion of the Phase 1 Required Infrastructure in accordance with Section 5(a), the Security shall be reduced to ten percent (10%) of the original amount thereof for the purpose of warranting repair of any defect in the applicable portion of the Phase 1 Required Infrastructure which occurs within the Warranty Period (as defined below); provided, however, if any claims by any contractor, subcontractor or person furnishing labor, materials or equipment to Subdivider have been filed against the City or the Agency, then the Security applicable to such Phase 1 Required Infrastructure shall be reduced to an amount equal to the greater of (i) the amount of all such claims filed or (ii) ten percent (10%) of the original amount.

(ii) Partial Release of Security. Notwithstanding the release provisions in Section 4(a), upon the Director's determination of completion of a portion of the Phase 1 Required Infrastructure in accordance with Section 5(a), the Security applicable to such Phase 1 Required Infrastructure shall be reduced to an amount determined by the Director that is not less than the greater of (i) the amount required to guarantee the completion of the remaining portion of the Phase 1 Required Infrastructure and any other obligation imposed by the Subdivision Map Act, the Code, this Agreement, the Phase 1 DDA or any other agreement relating to the completion of the Phase 1 Required Infrastructure or (ii) ten percent (10%) of the original amount of the Security.

(iii) Release of Remaining Security. The remaining Security shall be released when all of the following have occurred:

(A) One (1) year following the date of Acceptance (as defined in Section 5(b)) of the Phase 1 Required Infrastructure, or portion thereof, by the Board of Supervisors, or, with respect to street trees and park trees, following the expiration of the Warranty Period, or, with respect to any specific claim of defects or deficiency in the Phase 1 Required Infrastructure, one (1) year following the date that any such deficiency which the Director identified in the Phase 1 Required Infrastructure in accordance with Section 4(a) has been corrected or waived in writing; and

(B) the Clerk of the Board of Supervisors (or the Clerk's designee) certifies that no claims by any contractor, subcontractor or person furnishing labor, materials or equipment for the Phase 1 Required Infrastructure have

been filed against the City or the Agency within the Warranty Period, all such claims have been satisfied, withdrawn, or otherwise secured by bond or other security approved by the Director (or the Director's designee).

(b) Release of Reversionary Security. Upon the Director's determination of completion in accordance with Section 5(a) of the Phase 1 Required Infrastructure, or portion thereof, the Executive Director shall promptly request that the Director release the Reversionary Security applicable to such Phase 1 Required Infrastructure, or portion thereof, and the Director shall promptly comply with such request.

5. Completion and Acceptance.

(a) Director's Inspection. Promptly upon request from Subdivider for a completion determination, the Director shall reasonably determine whether the Phase 1 Required Infrastructure, or portion thereof, is ready for its intended use and is completed in substantial conformity with the Plans and Specifications and applicable City Regulations (as that term is defined in the Acquisition Agreement). If the Director determines that such Phase 1 Required Infrastructure (or portion thereof) reasonably satisfies such requirements, then the Phase 1 Required Infrastructure (or portion thereof) shall be deemed complete and the Director shall promptly provide notice thereof to Subdivider and the Agency. If the Director determines that such Phase 1 Required Infrastructure (or portion thereof) does not reasonably satisfy such requirements, then the Director shall promptly provide notice thereof including identifying with particularity the reasons therefor.

(b) Acceptance. "Acceptance" by the City of the Phase 1 Required Infrastructure, or portion thereof, for public use and maintenance shall be deemed to have occurred when:

(i) the Director has certified to the Board of Supervisors that the Phase 1 Required Infrastructure, or portion thereof, has been deemed complete in accordance with Section 5(a); and

(ii) the Board of Supervisors accepts the Phase 1 Required Infrastructure, or portion thereof, for public use and maintenance, in accordance with the provisions of San Francisco Administrative Code Section 1.52.

(c) Acceptance and Dedications. The Final Maps include certain offers of dedication as more particularly set forth therein. The Board of Supervisors shall accept, conditionally accept or reject such offers of dedication, and shall also accept, conditionally accept or reject for public right of way and utility purposes the related City fee parcels and Phase 1 Required Infrastructure (or portions thereof) which are not included in such previous offers of dedication, by ordinance or other appropriate action upon the Director's determination in accordance with Section 5(a) of completion of the Phase 1 Required Infrastructure, or portion thereof. Subdivider will coordinate with the City and assist in the City's process for dedication and Acceptance of Phase 1 Required

Infrastructure by (i) providing necessary maps, legal descriptions and plats for street openings, easements and/or dedications for right of way or utility purposes and for relinquishment of existing rights of access and utilities associates with on-site and off-site development; (ii) executing easement agreements consistent with the Conditions of Approval for the Tentative Map; and (iii) providing easement agreement documents consistent with the Conditions of Approval of the Tentative Map and the completion and Acceptance of the Phase 1 Required Infrastructure, including, as applicable, easements for emergency vehicle access and emergency exiting, public easements for those uses described in the master declarations and the declaration of restrictions, and public service easements for access by the City and for public utilities.

6. Maintenance of Phase 1 Required Infrastructure.

(a) Maintenance Prior to Acceptance. Prior to Acceptance, Subdivider shall be responsible for the maintenance and repair of the Phase 1 Required Infrastructure.

(b) Maintenance Following Acceptance. Following Acceptance, the City shall assume the responsibility of operating and maintaining the Phase 1 Required Infrastructure, or portion thereof. Without limiting the generality of the foregoing, nothing in this Agreement shall be construed to mean that Subdivider is responsible under the Security or the Reversionary Security following Acceptance for the repair, replacement, restoration, or maintenance of Phase 1 Required Infrastructure damaged by the actions of third parties, including, without limitation, the owners or developers of adjacent projects, their agents, employees, contractors, subcontractors, invitees or licensees, and no actions by any such parties shall affect Subdivider's responsibilities or the release of the Security and/or the Reversionary Security.

7. Warranty and Indemnity.

(a) Warranty. Acceptance of Phase 1 Required Infrastructure, or portion thereof, by the City shall not constitute a waiver of defects by the City or the Agency. Subdivider covenants that all Phase 1 Required Infrastructure constructed or installed by Subdivider shall be free from defects in material or workmanship and shall perform satisfactorily for a period of one (1) year following the completion of the Phase 1 Required Infrastructure (or portion thereof) (the "**Warranty Period**"). During the Warranty Period, Subdivider shall, as necessary, and upon receipt of a request in writing from the Director that the work be done, correct, repair or replace any defects in the Phase 1 Required Infrastructure at its own expense. During the Warranty Period, should Subdivider fail to act with reasonable promptness to make such correction, repair or replacement, or should an emergency require that correction, repair or replacement be made before Subdivider can be notified (or prior to Subdivider's ability to respond after notice), City may, at its option, provided that notice thereof is provided to Subdivider, make the necessary correction, repair or replacement or otherwise perform the necessary work and Subdivider shall reimburse the City for the actual cost thereof.

(b) Indemnity. Pursuant to Section 17.1 of the Phase 1 DDA, the Agency and the City have been indemnified and held harmless from and against certain Losses (as defined in the Phase 1 DDA) arising out of, among other things, construction of the Infrastructure and agreements entered into by Subdivider in connection with its performance thereunder.

(c) City and Agency Liability. Neither the City nor the Agency shall be an insurer or surety for the design or construction of the Phase 1 Required Infrastructure pursuant to the Plans and Specifications, nor shall any officer or employee thereof be liable or responsible for any accident, loss, or damage happening or occurring during the construction of the Phase 1 Required Infrastructure as specified in this Agreement, except as may arise due to the willful misconduct or omissions or the active negligence of the City or the Agency.

8. Other Items.

(a) Private Roadway Funding Mechanisms. All private roadways shown on the Final Maps shall be constructed by the Vertical Developer (as defined in the Phase 1 DDA) of the applicable Lot (as defined in the Phase 1 DDA) and shall be operated and maintained pursuant to the terms of the Vertical DDA (as defined in the Phase 1 DDA) applicable to such Lot.

(b) Storm Drain V-Ditch Maintenance Responsibility. All storm drain V-ditches indicated in the as-built drawings for those certain plans titled "Hunters Point Shipyard Development Project, Parcel A' Grading and Retaining Walls" shall be maintained by the Agency and funding for such maintenance shall be provided by the Community Facility District.

(c) Major Encroachment Permit. All irrigation system conduits crossing streets indicated in the "Hunters Point Shipyard Development Project, Parcel A' Infrastructure" plans described in Exhibit A-1 shall be owned and maintained by the to-be-formed home owners association(s) created in connection with the vertical development of the property shown on the Final Maps. Any portion of such irrigation system that encroaches upon City property by crossing the public roadway will be permitted pursuant to Subdivider's application for and processing of a major encroachment permit through DPW.

(d) Post-Construction Stormwater Management Facility. In connection with the future build-out of infrastructure for Parcel B', Subdivider will construct a permanent collection and treatment facility (the "**Permanent Storm Water Treatment Facility**") for treatment of post-construction storm water runoff from the Property. The Permanent Storm Water Treatment Facility will be constructed within Parcel B' or a location otherwise approved. In combination with other storm water treatment facilities within the Property, the Permanent Storm Water Treatment Facility shall provide a level a treatment for storm water runoff from the Property that is required under the City's Storm Water Management Plan, dated January 2004, or as may be subsequently revised or replaced to satisfy the requirements for coverage of the City's

separate storm sewer system under that certain General Permit for the Discharge of Storm Water from Small Municipal Separate Storm Sewer Systems WQO No. 2003-0005-DWQ (“MS4 Permit”) issued by the State Water Resources Control Board, as determined by the SFPUC in coordination with the Regional Water Quality Control Board. Subdivider shall maintain and keep the interim post-construction storm water treatment facilities described in Exhibit A-2 operational until the Permanent Storm Water Treatment Facility is operational and Accepted by the City.

9. Miscellaneous.

(a) Final Map Recordation. The City, in accordance with the Code, shall record the Final Maps with the County Clerk in the Official Records of the City and County of San Francisco. The City shall notify Subdivider of the time of recordation of the Final Maps. In the event either Final Map is not recorded, this Agreement shall be null and void.

(b) Independent Contractor. In performing its obligations under this Agreement, Subdivider is not an agent or employee of the City or the Agency.

(c) Attorneys’ Fees. Should either party hereto institute any action or proceeding in court or other dispute resolution mechanism (“DRM”) to enforce any provision hereof or for damages by reason of an alleged breach of any provision of this Agreement, the prevailing party shall be entitled to receive from the losing party court or DRM costs or expenses incurred by the prevailing party including, without limitation, expert witness fees, document copying expenses, exhibit preparation costs, carrier expenses and postage and communication expenses, and such amount as the court or DRM may adjudge to be reasonable attorneys’ fees for the services rendered to the prevailing party in such action or proceeding. Attorneys’ fees under this Section 9(c) include attorneys’ fees on any appeal, and, in addition, a party entitled to attorneys’ fees shall be entitled to all other reasonable costs and expenses incurred in connection with such action.

For purposes of this Agreement, reasonable fees of any in-house counsel for the Agency, the City or Subdivider shall be based on the fees regularly charged by private attorneys with an equivalent number of years of professional experience in the subject matter area of the law for which the City’s or Subdivider’s in-house counsel’s services were rendered who practice in the City in law firms with approximately the same number of attorneys as employed by the City, or, in the case of Subdivider’s in-house counsel, as employed by the outside counsel for Subdivider.

(d) Notices.

(i) A notice or communication under this Agreement by any party to the other (or by or to the Director) shall be sufficiently given or delivered if dispatched by hand or by registered or certified mail, postage prepaid, addressed as follows:

In the case of a notice or communication to the Agency or the Director:

Director of Public Works
City and County of San Francisco
30 Van Ness Avenue, Suite 4200
San Francisco, CA 94102
Attn: Hunters Point Shipyard Phase 1 Project Manager
Telefacsimile: (415) 581-2569

San Francisco Redevelopment Agency
One South Van Ness, 5th Floor
San Francisco, CA 94103
Attn: Hunters Point Shipyard Phase 1 Project Manager
Reference: Hunters Point Shipyard Phase 1 Project
Telefacsimile: (415) 749-7585

With copies to:

Office of the Mayor
Office of Economic and Work Force Development
City and County of San Francisco
City Hall, Room 448
1 Dr. Carlton B. Goodlett Place
San Francisco, CA 94102
Attn: Michael Cohen
Reference: Hunters Point Phase 1 Project
Telefacsimile: (415) 554-4058

Office of the City Attorney
City Hall, Room 234
1 Dr. Carlton B. Goodlett Place
San Francisco, CA 94102
Attn: John Malamut
Reference: Hunters Point Shipyard Phase 1 Project
Telefacsimile: (415) 554-4757

San Francisco Redevelopment Agency
One South Van Ness, 5th Floor
San Francisco, CA 94103
Attn: General Counsel
Reference: Hunters Point Shipyard Phase 1 Project
Telefacsimile: (415) 749-7585

And in the case of a notice or communication to Subdivider at:

HPS Development Co., LP
c/o Lennar Urban
49 Stevenson Street, Suite 600
San Francisco, CA 94105
Attn: Kofi S. Bonner
Telefacsimile: (415) 995-1778

With copies to:

Sheppard, Mullin, Richter & Hampton LLP
Four Embarcadero Center, 17th Floor
San Francisco, CA 94111-4109
Attn: Robert A. Thompson
Telefacsimile: (415) 434-3947

Paul, Hastings, Janofsky & Walker LLP
55 Second Street, 24th Floor
San Francisco, CA 94105
Attn: Charles V. Thornton
Telefacsimile: (415) 856-7101

For the convenience of the parties, copies of notice may also be given by telefacsimile.

Every notice given to a party hereto, pursuant to the terms of this Agreement, must state (or must be accompanied by a cover letter that states) substantially the following:

(A) the section of this Agreement pursuant to which the notice is given and the action or response required, if any;

(B) if applicable, the period of time within which the recipient of the notice must respond thereto;

(C) if approval is being requested, shall be clearly marked "Request for Approval under the Hunters Point Shipyard Phase 1 Public Improvement Agreement"; and

(D) if a notice of disapproval or an objection which requires reasonableness, shall specify with particularity the reasons therefor.

(ii) Any mailing address or telefacsimile number may be changed at any time by giving written notice of such change in the manner provided above at least ten (10) days prior to the effective date of the change. All notices under this Agreement shall be deemed given, received, made or communicated on the date personal receipt actually occurs or, if mailed, on the delivery date or attempted delivery date shown on the return receipt. A party may not give official or binding notice by telefacsimile.

(iii) Any notice or request for review, consent or other determination or action by the Director that could be subject to deemed approval under any provision of this Agreement shall display prominently on the envelope enclosing such request (if any) and the first page of such request, substantially the following words: "HUNTERS POINT SHIPYARD INFRASTRUCTURE: IMMEDIATE ATTENTION REQUIRED; FAILURE TO RESPOND COULD RESULT IN THE REQUEST BEING DEEMED APPROVED."

(e) Successors and Assigns. This Agreement shall be binding upon and inure to the benefit of the successors and assigns of the parties hereto, and upon such transfer, Subdivider shall be released from its obligations hereunder upon providing written evidence of a proper Assignment and Assumption Agreement. Any such assignment shall be in writing, shall clearly identify the scope of the rights and/or obligations assigned and shall be subject to the reasonable approval of the Director.

(f) Interagency Cooperation Letter Agreement. The City shall cooperate with Subdivider consistent with the terms of the Interagency Cooperation Letter Agreement dated February 11, 2005, including, without limitation, in obtaining applicable approvals required for the construction of the Phase 1 Required Infrastructure. The City shall use reasonable efforts to obtain the compliance by the Agency and affected City departments with the provisions of the Interagency Cooperation Letter Agreement as they affect the inspection and Acceptance by the City of Phase 1 Required Infrastructure.

(g) Waiver. Failure by a party to insist upon the strict performance of any of the provisions of this Agreement by the other party, or the failure by a party to exercise its rights upon the default of the other party, shall not constitute a waiver of such party's right to insist upon and demand strict compliance by the other party with the terms of this Agreement thereafter.

(h) Parties in Interest. Nothing in this Agreement, expressed or implied, is intended to or shall be construed to confer upon or to give to any person or entity other than the parties hereto any rights, remedies or claims under or by reason of this Agreement or any covenants, conditions or stipulations hereof; and all covenants, conditions, promises, and agreements in this Agreement contained by or on behalf of the Agency, the City or Subdivider shall be for the sole and exclusive benefit of such parties.

(i) Amendment. This Agreement may be amended, from time to time, by written supplement or amendment hereto and executed by the City, the Agency and Subdivider. The Director is authorized to approve and execute on behalf of the City any amendment that the Director determines is in the City's best interests and does not materially increase the City's obligations or materially diminish the City's rights under this Agreement. The Executive Director is authorized to approve and execute on behalf of the Agency any amendment that the Executive Director determines is in the Agency's best interests and is consistent with the terms of the Phase 1 DDA and the implementation thereof.

(j) Counterparts. This Agreement may be executed in counterparts, each of which shall be deemed an original.

(k) Interpretation of Agreement. Unless otherwise provided in this Agreement, whenever approval, consent or satisfaction is required of Subdivider, the Agency or the City pursuant to this Agreement, it shall not be unreasonably withheld or delayed. Captions used in this Agreement are for convenience or reference only and shall not affect the interpretation or meaning of this Agreement. This Agreement shall in no way be construed to limit or replace any other obligations or liabilities which the parties may have under the Plan, the Plans and Specifications, the Phase 1 DDA, any permit to enter or any other agreement entered into in accordance therewith.

10. Insurance. At all times prior to Acceptance of the Phase 1 Required Infrastructure, Subdivider shall comply with the insurance requirements set forth in the Phase 1 DDA and as otherwise required by applicable City Regulations. Subdivider shall furnish to the Agency and the City, from time to time upon request by the Agency or the City's Risk Manager, a certificate of insurance (and/or, upon request by the Agency or the City's Risk Manager, a complete copy of any policy) regarding each insurance policy required to be maintained by Subdivider under the Phase 1 DDA and as otherwise required by applicable City Regulations.

[REMAINDER OF PAGE INTENTIONALLY BLANK]

IN WITNESS WHEREOF, Subdivider, the City and Agency have executed this Agreement as of the Effective Date.

Subdivider:

HPS DEVELOPMENT CO., LP,
a Delaware limited partnership

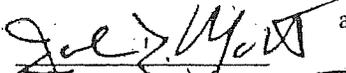
By: CP/HPS Development Co. GP, LLC,
a Delaware limited liability company,
its General Partner

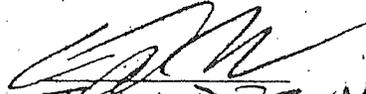
By: 
Name: Kofi Bonner
Its: Authorized Representative

City:

Approved as to Form:

CITY AND COUNTY OF SAN FRANCISCO,
a municipal corporation of the State of California

By: 
Name: JOHN S. MALAMUT
Title: Deputy City Attorney

By: 
Name: GERALD D. REBSKIN
Title: Director of Public Works

Agency:

Authorized by Agency Resolution No. 86-2008 adopted August 19, 2008

REDEVELOPMENT AGENCY OF THE CITY
AND COUNTY OF SAN FRANCISCO,
a public body, corporate and politic

Approved as to Form:

By: 
Name: James B. Morales
Title: Agency General Counsel

By: 
Name: FRED BLACKWELL
Title: EXECUTIVE DIRECTOR

EXHIBIT A-1

Infrastructure per Plans and Specifications

1. Improvement Plans and Specifications prepared by DMJM Harris entitled "Hunters Point Shipyard Development Project, Parcel A' Infrastructure – Wet Utility Permit Set" dated August 3, 2007 and approved by or on behalf of the Director, on August 14, 2007.

Estimated Cost: \$ 8,449,070.00

2. Improvement Plans and Specifications prepared by DMJM Harris entitled "Hunters Point Shipyard Development Project, Parcel A' Infrastructure – Joint Trench Permit" dated July 31, 2008 and approved by or on behalf of the Director, on July 31, 2008.

Estimated Cost: \$ 3,451,177.36

3. Improvement Plans and Specifications prepared by DMJM Harris entitled "Hunters Point Shipyard Development Project, Parcel A' Infrastructure – Infrastructure Permit" dated September 22, 2008 and approved by or on behalf of the Director, on September 24, 2008.

Estimated Cost: \$ 7,027,246.98

EXHIBIT A-2

Interim Facilities

4. Maintenance of Interim Subdrain Pump Stations pursuant to Improvement Plans and Specifications prepared by DMJM Harris entitled "Hunters Point Shipyard Redevelopment Project Hillside Temporary Pump Station" dated May 24, 2007 and "Hunters Point Shipyard Redevelopment Project Hilltop Temporary Pump Station" dated May 27, 2007 and approved by the City of San Francisco Department of Building Inspection and as may be set forth in an easement agreement between Subdivider and the Agency.

Estimated Cost: \$10,000

2. Maintenance of temporary Donahue Storm Drain and the existing 8" water line for Navy service as depicted on drawings by _____ dated _____ until permanent facilities are completed and accepted by the City.

Estimated Cost: \$40,000

3. Installation and maintenance of fossil filters at storm water inlets in Parcel A (more specifically, the Hilltop Parcel within Parcel A). Work shall also include the removal of said filters where necessary when the Permanent Storm Water Treatment Facility is installed and operational.

Estimated Cost: \$35,000

EXHIBIT A-3

Future Facilities

1. Open Space Improvements pursuant to that certain Open Space Schematic Design Package Approved by the Agency Commission on October 7, 2007 (Resolution No. III-2007), but subject to staff review and approval of the subsequent submittal and construction permit.

Estimated Cost: \$4,002,556.00

2. The Community Facilities Parcels on Parcel 55E, along Galvez Avenue to have improvements pursuant to certain plan "Conceptual Design, Galvez Avenue Improvements" dated April 16, 2007 prepared by Winzler and Kelly. Also provide for permanent utilities for IAM and Building 110 and Building 101, including but not limited to Attachment 23 of the DDA, sec. 1.2.

Estimated Cost: \$1,566,605.00

3. Conceptual S-Curve roadway and utility improvements pursuant to that certain KCA Engineers plan dated as of February 19, 2008.

Estimated Cost: \$3,370,000.00

4. Pocket Parks as shown to be constructed with vertical development phase and maintained until Acceptance by the City pursuant to that certain Phase 1 DDA.

Estimated Cost: \$1,231,316.00

5. Subdivider to cooperate with the Agency in the placement of driveways and utilities in conjunction with the Agency developments in accordance with the Agency reply to HPS Development's July 23, 2007 letter to the Agency.

Estimated Cost: Not Applicable

6. Permanent Storm Water Treatment Facility in accordance with Section 8(d) of the Agreement and as generally shown on drawing by ENGEO dated November 21, 2006.

Estimated Cost: \$1,156,938.00

7. Galvez Steps as generally shown on drawing by CMG Landscape Architects dated December 21, 2006.

Estimated Cost: \$567,212.15

EXHIBIT B-1

**Form: Faithful Performance Bond
Hunters Point Shipyard Phase 1 Required Infrastructure**

Whereas, the Board of Supervisors of the City and County of San Francisco, State of California, and **HPS Development Co., LP** (hereafter designated as "**Principal**") have entered into an agreement whereby Principal agrees to install and complete certain designated public improvements, which agreement, entitled Hunters Point Shipyard Phase 1 Public Improvement Agreement, dated _____, 200_, and identified as Phase 1 Required Infrastructure; and

Whereas, Principal is required under the terms of the agreement to furnish a bond for the faithful performance of the agreement;

Now, therefore, we, Principal and _____, as Surety ("**Surety**"), are held and firmly bound unto the **City and County of San Francisco** (hereafter called "**City of San Francisco**") in the penal sum of _____ Dollars (\$ _____) lawful money of the United States, for the payment of which we bind ourselves, our heirs, successors, executors, and administrators, jointly and severally, firmly by these presents.

The condition of this obligation is such that the obligation shall become null and void if the above-bounded Principal, his or its heirs, executors, administrators, successors, or assigns, shall in all things stand to, abide by, well and truly keep, and perform the covenants, conditions, and provisions in the agreement and any alteration thereof made as therein provided, on his or their part, to be kept and performed at the time and in the manner therein specified, and in all respects according to his or their true intent and meaning, and shall indemnify and save harmless the City of San Francisco, its officers, agents, and employees, as therein stipulated; otherwise, this obligation shall be and remain in full force and effect.

As part of the obligation secured hereby and in addition to the face amount specified, costs and reasonable expenses and fees shall be included, including reasonable attorneys' fees, incurred by the City of San Francisco in successfully enforcing the obligation, all to be taxed as costs and included in any judgment rendered.

The Surety hereby stipulates and agrees that no change, extension of time, alteration, or addition to the terms of the agreement, the work to be performed thereunder, or the specifications accompanying the agreement shall in any way affect its obligations on this bond. The Surety hereby waives notice of any such change, extension of time, alteration, or addition to the terms of the agreement, the work, or the specifications.

In witness whereof, this instrument has been duly executed by Principal and Surety on _____, 200__.

“PRINCIPAL”

HPS DEVELOPMENT CO., LP,
a Delaware limited partnership,

By: CP/HPS Development Co. GP, LLC,
a Delaware limited liability company,
its General Partner

By: _____
Name: _____
Title: _____

“SURETY”

By: _____

Its: _____

Address: _____

Telephone: _____

Facsimile: _____

EXHIBIT B-2

**Form: Labor and Material Bond
Hunters Point Shipyard Phase 1 Required Infrastructure**

Whereas, the Board of Supervisors of the City and County of San Francisco, State of California, and **HPS Development Co., LP** (hereafter designated as "**Principal**") have entered into an agreement whereby Principal agrees to install and complete certain designated public improvements, which agreement, entitled Hunters Point Shipyard Phase 1 Public Improvement Agreement, dated _____, 200_, and identified as Hunters Point Phase 1 Required Infrastructure is hereby referred to and made a part hereof; and

Whereas, under the terms of the agreement, Principal is required before entering upon the performance of the work to file a good and sufficient payment bond with the City and County of San Francisco to secure the claims to which reference is made in Title 15 (commencing with section 3082) of Part 4 of Division 3 of the Civil Code of the State of California;

Now, therefore, we, the Principal and the undersigned as corporate Surety ("**Surety**"), are held and firmly bound unto the **City and County of San Francisco** and all contractors, subcontractors, laborers, material men, and other persons employed in the performance of the agreement and referred to in Title 15 of the Civil Code in the sum of _____ Dollars (\$ _____), for materials furnished or labor thereon of any kind, or for amounts due under the Unemployment Insurance Act with respect to such work or labor, that Surety will pay the same in an amount not exceeding the amount set forth. If suit is brought on this bond, Surety will pay, in addition to the face amount thereof, costs and reasonable expenses and fees, including reasonable attorneys' fees, incurred by the City and County of San Francisco, in successfully enforcing the obligation, to be awarded and fixed by the Court, to be taxed as costs, and to be included in the judgment rendered.

It is hereby expressly stipulated and agreed that this bond shall inure to the benefit of any and all persons, companies, and corporations entitled to file claims under Title 15 (commencing with section 3082) of Part 4 of Division 3 of the Civil Code, so as to give a right of action to them or their assigns in any suit brought upon this bond.

If the condition of this bond is fully performed, then this obligation shall become null and void; otherwise, it shall be and remain in full force and effect.

The Surety hereby stipulates and agrees that no change, extension of time, alteration, or addition to the terms of the agreement or the specifications accompanying the agreement shall in any manner affect its obligations on this bond. The Surety hereby waives notice of any such change, extension, alteration, or addition.

In witness whereof, this instrument has been duly executed by Principal and Surety on _____, 200_.

"PRINCIPAL"

HPS DEVELOPMENT CO., LP,
a Delaware limited partnership,

By: CP/HPS Development Co. GP, LLC,
a Delaware limited liability company,
its General Partner

By: _____
Name: _____
Title: _____

"SURETY"

By: _____

Its: _____

Address: _____

Telephone: _____

Facsimile: _____

**FIRST AMENDMENT TO
HUNTERS POINT SHIPYARD PHASE 1
PUBLIC IMPROVEMENT AGREEMENT**

This FIRST AMENDMENT TO HUNTERS POINT SHIPYARD PHASE 1 PUBLIC IMPROVEMENT AGREEMENT (this "**First Amendment**") is entered into as of October 14, 2011 (the "**Effective Date**"), by and among the CITY AND COUNTY OF SAN FRANCISCO, a municipal corporation of the State of California (the "**City**"), the REDEVELOPMENT AGENCY OF THE CITY AND COUNTY OF SAN FRANCISCO, a public body, corporate and politic, exercising its functions and powers and organized and existing under the Community Redevelopment Law of the State of California (together with any successor public agency designated by or pursuant to law, the "**Agency**"), and HPS DEVELOPMENT CO., LP, a Delaware limited partnership ("**Subdivider**").

RECITALS

A. The City, the Agency and Subdivider entered into that certain Hunters Point Shipyard Phase 1 Public Improvement Agreement, dated as of July 21, 2009, with respect to the subdivision of the Property described therein (the "**Original Agreement**"). Except as specifically defined herein, capitalized terms shall have the meanings given in the Original Agreement.

B. Under the Original Agreement, Subdivider agreed, among other things, to complete construction of the Phase 1 Required Infrastructure and provide certain security therefor, all as more particularly described in the Original Agreement.

C. Paragraph 3 of Exhibit A-3 to the Original Agreement included within the Phase 1 Required Infrastructure construction of "S-Curve roadway and utility improvements pursuant to that certain KCA Engineers plan dated as of February 19, 2008" (the "**S-Curve**"). In accordance with the Original Agreement, for the completion of the S-Curve Subdivider posted Security for the benefit of the City and Reversionary Security for the benefit of the Agency, each in the sum of \$3,370,000 (the "**S-Curve Security**" and the "**S-Curve Reversionary Security**", respectively).

D. CP Development Co., LP, a Delaware limited partnership and the Agency entered into that certain Disposition and Development Agreement (Candlestick Point and Phase 2 of the Hunters Point Shipyard) dated for reference purposes as of June 3, 2010 (as amended and supplemented from time to time, the "**CP/HPS2 DDA**"), which provides for the elimination from the Phase 1 Required Infrastructure of the S-Curve and instead provides for, among other things, construction to widen Innes Avenue and Donahue Street.

E. In lieu of constructing the S-Curve, Subdivider is willing to provide the land for the widening of Innes Avenue and Donahue Street.

F. On or about the Effective Date, the City, the Agency and Subdivider will execute and deliver a Notice of Special Restrictions (the "**NSR**"), under which Subdivider is anticipated to provide the City with an Irrevocable Offer (as defined in the NSR) for the Offered Property (as defined in the NSR), all as more particularly set forth therein.

G. The City, the Agency and Subdivider now desire to amend the Original Agreement on the terms set forth herein to provide for the removal of the S-Curve from the Phase I Required Infrastructure and to accordingly release the S-Curve Security and the S-Curve Reversionary Security.

AGREEMENT

NOW THEREFORE, for good and valuable consideration, the amount and sufficiency of which are hereby acknowledged, Subdivider, the Agency and the City agree as follows:

1. Removal of S-Curve. Paragraph 3 of Exhibit A-3 to the Original Agreement is hereby deleted in its entirety and "Intentionally Deleted." shall be inserted in lieu thereof.

2. Release of Security and Reversionary Security. Notwithstanding Section 4 of the Original Agreement, the Director, on behalf of the City, agrees to immediately release the S-Curve Security and provide Subdivider with written confirmation thereof and the Agency hereby directs the Director to release the S-Curve Reversionary Security and provide Subdivider with written confirmation thereof.

3. Failure to Record Irrevocable Offer. The Parties acknowledge and agree that the Agency and/or the City shall be permitted to withhold any Site Improvement Permit for all or any portion of Lot 1 and Lot B as shown on that certain map entitled "Final Map 4231" recorded in the Official Records of the City and County of San Francisco on August 12, 2009 as Document No. I815396 and in Book CC of Survey Maps at pages 165 through 175, inclusive, until such time as Subdivider has provided the Irrevocable Offer in accordance with the NSR.

4. Miscellaneous.

(a) Counterparts. This First Amendment may be executed in any number of counterparts, each of which, when so executed and delivered, shall be deemed an original, and all of which together shall constitute one and the same instrument. Delivery of this First Amendment may be effectuated by hand delivery, mail, overnight courier or electronic communication (including by PDF sent by electronic mail, facsimile or similar means of electronic communication). Any signatures delivered by electronic communication shall have the same legal effect as manual signatures.

(b) Confirmation of Original Agreement; Conflicts with Original Agreement. As modified hereby, the Original Agreement remains in full force and effect. In the event of any conflict between the provisions of this First Amendment and the Original Agreement, the provisions of this First Amendment shall prevail.

(c) Governing Law. This First Amendment shall be construed and governed in accordance with the laws of the State of California, without regard to the laws pertaining to conflicts of laws.

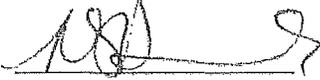
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IN WITNESS WHEREOF, Subdivider, the City and Agency have executed this First Amendment as of the Effective Date.

Subdivider:

HPS DEVELOPMENT CO., LP,
a Delaware limited partnership

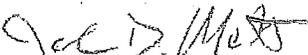
By: CP/HPS Development Co. GP, LLC,
a Delaware limited liability company,
its General Partner

By: 
Name: Kofi Bonner
Its: Authorized Representative

City:

Approved as to Form:

CITY AND COUNTY OF SAN FRANCISCO,
a municipal corporation of the State of California

By: 
Name: John D. Melamant
Title: Deputy City Attorney

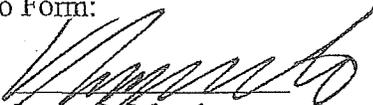
By: 
Name: Mohammed W. Alwan
Title: Director of Public Works

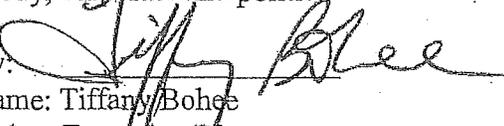
Agency:

Authorized by Agency Resolution No. 86-2008 adopted August 19, 2008

REDEVELOPMENT AGENCY OF THE CITY
AND COUNTY OF SAN FRANCISCO,
a public body, corporate and politic

Approved as to Form:

By: 
Name: James B. Morales
Title: Agency General Counsel

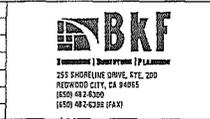
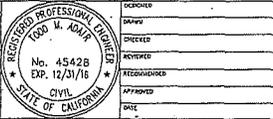
By: 
Name: Tiffany Bohee
Title: Executive Director

1839

SHEET NO.	DRAWING	DWG. NO.	SHEET NO.	DRAWING	DWG. NO.	SHEET NO.	DRAWING	DWG. NO.
1	TITLE SHEET	* T-1	46	ROADWAY LAYOUT - GRIFFITH STREET - 'GR' STA 8+35 TO 9+75	L-18	92	CONSTRUCTION DETAILS - CURB RAMP DETAILS - HILLSIDE AREA	* CD-23A
2	INDEX SHEET	* I-1	47	MATERIAL PLAN - NAVY ROAD - 'NV' STA 50+00 TO 55+00	M-1	93	CONSTRUCTION DETAILS - DRIVEWAY & LANDING DETAILS - HILLSIDE AREA	CD-23B
3	INDEX SHEET	* I-2	48	MATERIAL PLAN - NAVY ROAD - 'NV' STA 55+00 TO 59+00	M-2	94	CONSTRUCTION DETAILS - DRIVEWAY & LANDING DETAILS - HILLSIDE AREA	CD-23C
4	INDEX SHEET	I-3	49	MATERIAL PLAN - NAVY ROAD - 'NV' STA 59+00 TO 62+00	M-3	95	CONSTRUCTION DETAILS - CURB RAMP DETAILS - HILLSIDE AREA	* CD-24
5	GENERAL NOTES, ABBREVIATIONS AND LEGEND	* GN-1		OAKDALE AVENUE - 'OK' STA 20+25 TO 23+37.94	M-4	96	CONSTRUCTION DETAILS - CURB RAMP DETAILS - HILLSIDE AREA	* CD-24A
6	GENERAL NOTES, ABBREVIATIONS AND LEGEND	* GN-2	50	MATERIAL PLAN - NAVY ROAD - 'NV' STA 62+00 TO 65+27.30	M-4	97	CONSTRUCTION DETAILS - CURB RAMP DETAILS - HILLSIDE AREA	* CD-25
7	EIR MITIGATION MEASURES	* EIR-1	51	MATERIAL PLAN - OAKDALE AVENUE - 'OK' STA 10+00 TO 14+50	M-5	98	CONSTRUCTION DETAILS - CURB RAMP DETAILS - HILLSIDE AREA	CD-25A
8	EIR MITIGATION MEASURES	* EIR-2	52	MATERIAL PLAN - OAKDALE AVENUE - 'OK' STA 14+50 TO 20+25	M-6	99	CONSTRUCTION DETAILS - CONSTRUCTION DETAILS - HILLSIDE AREA	CD-26
9	EIR MITIGATION MEASURES	* EIR-3	53	ROADWAY PROFILE - NAVY ROAD - 'NV' STA 50+03.84 TO 59+00	* P-11	+00	TYPICAL CROSS SECTIONS	* X-1
10	HAUL ROUTE PLAN	* HR-1	54	ROADWAY PROFILE - OAKDALE AVENUE - 'OK' STA 10+14.03 TO 19+50	* P-12	101	TYPICAL CROSS SECTIONS	* X-2
11	DEMOLITION/DECONSTRUCTION PLAN - INNES AVENUE	* DM-1	55	ROADWAY PROFILE - NAVY ROAD - 'NV' 59+00 TO 65+27.30	* P-13	+02	TRAFFIC CONTROL PLAN - STAGE 1A	* TCF-1
12	DEMOLITION/DECONSTRUCTION PLAN - GALVEZ AVE. & HUDSON AVE.	* DM-2	56	ROADWAY PROFILE - OAKDALE AVENUE - 'OK' STA 19+50 TO 23+37.94	* P-14	+03	TRAFFIC CONTROL PLAN - STAGE 1B	* TCF-2
13	DEMOLITION/DECONSTRUCTION PLAN - NAVY ROAD	* DM-3	57	ROADWAY PROFILE - LA SALLE AVENUE - 'LA' STA 10+00 TO 11+14	* P-15	+04	TRAFFIC CONTROL PLAN - STAGE 1C	* TCF-3
14	UTILITY DEMOLITION - PARCEL A' HILLTOP	* UDM-1	58	ROADWAY PROFILE - GRIFFITH STREET - 'GA' STA 8+35.47 TO 13+61.76	P-16	+05	TRAFFIC CONTROL PLAN - STAGE 1	* TCF-4
15	UTILITY DEMOLITION - PARCEL A' HILLTOP	* UDM-2	59	CONSTRUCTION DETAILS - ROADWAY DETAILS	* CD-1	+06	TRAFFIC CONTROL PLAN - STAGE 1	* TCF-5
16	SURVEY CONTROL - HILLTOP AREA	* SV-1	60	CONSTRUCTION DETAILS - ROADWAY DETAILS	CD-1A	+07	TRAFFIC CONTROL PLAN - STAGE 2	* TCF-6
17	SURVEY CONTROL - HILLSIDE AREA	* SV-2	61	CONSTRUCTION DETAILS - ROADWAY DETAILS	CD-1B	+08	TRAFFIC CONTROL PLAN - STAGE 2	* TCF-7
18	KEYMAP AND LINE INDEX - ROADWAY LAYOUT	* K-1	62	CONSTRUCTION DETAILS - ROADWAY DETAILS	CD-1C	+09	TRAFFIC CONTROL PLAN - STAGE 2	* TCF-8
19	ROADWAY LAYOUT - INNES AVENUE - 'I1' STA 51+35.41 TO 57+67.47	* L-1	63	CONSTRUCTION DETAILS - ROADWAY DETAILS	CD-1D	+10	TRAFFIC CONTROL PLAN - ENTIRE HILLTOP AREA ROAD CLOSURE	* TCF-9
20	ROADWAY PROFILE - INNES AVENUE - 'I1' STA 53+75 TO 57+67.47	* P-1	64	CONSTRUCTION DETAILS - CURB RAMP DETAILS	* CD-2	111	TRAFFIC CONTROL PLAN - STAGE C - ENTIRE HILLSIDE ROAD CLOSURE	* TCF-10
21	ROADWAY LAYOUT - DONAHUE STREET - 'D' STA 106+50 TO 113+00	* L-2	65	CONSTRUCTION DETAILS - CURB RAMP DETAILS	* CD-2A	112	PAVEMENT DELINEATION & SIGNAGE PLAN	* PD-1
22	ROADWAY PROFILE - DONAHUE STREET - 'D' STA 106+29.52 TO 111+01.01	* P-2	66	CONSTRUCTION DETAILS - CURB RAMP DETAILS	* CD-2B	+13	PAVEMENT DELINEATION & SIGNAGE PLAN	* PD-2
23	ROADWAY LAYOUT - GALVEZ AVENUE - 'G' STA 59+00.96 TO 71+50	* L-3	67	CONSTRUCTION DETAILS - ROADWAY PROFILE - GRIFFITH STREET	* CD-3	+14	PAVEMENT DELINEATION & SIGNAGE PLAN	* PD-3
24	ROADWAY LAYOUT - KIRKWOOD AVENUE - 'KW' STA 10+00 TO 15+00	* L-4	68	CONSTRUCTION DETAILS - DEMOLITION PLAN - GRIFFITH STREET	* CD-4	+15	PAVEMENT DELINEATION & SIGNAGE PLAN - HILLTOP AREA	* PD-4
25	ROADWAY PROFILE - KIRKWOOD AVENUE - 'KW' STA 10+00 TO 15+00	* P-3	69	CONSTRUCTION DETAILS - DEMOLITION PLAN - CRISP/GRIFFITH STREET	* CD-4A	116	PAVEMENT DELINEATION & SIGNAGE PLAN - HILLSIDE AREA	* PD-5
26	ROADWAY LAYOUT - COLEMAN STREET - 'CM' STA 15+00 TO 22+25	* L-5	70	CONSTRUCTION DETAILS - KIRKWOOD, COLEMAN, FRIEDEL, & JERROLD AVE.	* CD-5	+17	CURB MARKING PLAN - HILLTOP AREA	* PD-6
27	ROADWAY PROFILE - COLEMAN STREET - 'CM' STA 15+00 TO 22+25	* P-4	71	CONSTRUCTION DETAILS - COLEMAN, FRIEDEL, HUDSON, & INNES AVE.	* CD-6	118	CURB MARKING PLAN - HILLSIDE AREA	* PD-7
28	ROADWAY LAYOUT - COLEMAN STREET - 'CM' STA 22+25 TO 29+72.09	* L-6	72	CONSTRUCTION DETAILS - INNES ST.	* CD-7	119	UTILITY PLAN - LEGEND, ABBREVIATION AND GENERAL NOTES	U-1
29	ROADWAY PROFILE - COLEMAN STREET - 'CM' STA 22+25 TO 29+72.09	* P-5	73	CONSTRUCTION DETAILS - NAVY RD. & OAKDALE ST.	* CD-8	+20	UTILITY LATERALS KEY PLAN - HILLTOP AREA	U-1A
30	ROADWAY LAYOUT - FRIEDEL STREET - 'FR' STA 10+00 TO 10+30.35	* L-7	74	CONSTRUCTION DETAILS - NAVY RD. & OAKDALE ST.	* CD-9	+21	UTILITY LATERALS KEY PLAN - HILLSIDE AREA	U-1B
31	ROADWAY PROFILE - FRIEDEL STREET - 'FR' STA 10+00 TO 10+30.35	* P-6	75	CONSTRUCTION DETAILS	* CD-10	+22	UTILITY PLAN - HILLTOP SYSTEM MAP / SHEET LAYOUT	U-2
32	ROADWAY LAYOUT - HUDSON AVENUE - 'HS' STA 11+02.90 TO 16+11.04	* L-8	76	CONSTRUCTION DETAILS	* CD-11	+23	UTILITY PLAN - LOW PRESSURE WATER - HILLTOP SYSTEM MAP	U-2A
33	ROADWAY PROFILE - HUDSON AVENUE - 'HS' STA 11+02.90 TO 16+11.04	* P-7	77	CONSTRUCTION DETAILS	* CD-11A	+24	UTILITY PLAN - RECLAIMED WATER - HILLTOP SYSTEM MAP	U-2B
34	ROADWAY LAYOUT - INNES AVENUE (HILLTOP) - 'A' STA 10+00 TO 16+11.04	* L-9	78	CONSTRUCTION DETAILS	CD-11B	+25	UTILITY PLAN - SANITARY SEWER - HILLTOP SYSTEM MAP	U-2C
35	ROADWAY PROFILE - INNES AVENUE (HILLTOP) - 'A' STA 10+00 TO 16+11.04	* P-8	79	CONSTRUCTION DETAILS	* CD-12	+26	UTILITY PLAN - STORM DRAIN - HILLTOP SYSTEM MAP	U-2D
36	ROADWAY LAYOUT - JERROLD AVENUE - 'JR' STA 10+00 TO 14+40.94	* L-10	80	CONSTRUCTION DETAILS - HUDSON ALLEY	* CD-13	127	UTILITY KEY PLAN - HILLSIDE SYSTEM MAP	U-3
37	ROADWAY PROFILE - JERROLD AVENUE - 'JR' STA 10+00 TO 14+40.94	* P-9	81	CONSTRUCTION DETAILS	* CD-14	128	UTILITY PLAN - LOW PRESSURE WATER - HILLSIDE SYSTEM MAP	U-3A
38	ROADWAY LAYOUT - INNES COURT - 'D' STA 10+00 TO 19+17.20	* L-11	82	CONSTRUCTION DETAILS - CURB RAMP DETAILS - HILLSIDE AREA	* CD-15	129	UTILITY PLAN - RECLAIMED WATER - HILLSIDE SYSTEM MAP	U-3B
39	ROADWAY PROFILE - INNES COURT - 'D' STA 10+00 TO 19+17.20	* P-10	83	CONSTRUCTION DETAILS - CURB RAMP DETAILS - HILLSIDE AREA	CD-15A	130	UTILITY PLAN - COMBINED SEWER - HILLSIDE SYSTEM MAP	U-3C
40	ROADWAY LAYOUT - NAVY ROAD - 'NV' STA 50+00 TO 55+00	* L-12	84	CONSTRUCTION DETAILS - CURB RAMP DETAILS - HILLTOP AREA	* CD-16	+31	UTILITY PLAN - HUDSON AVE. 'HS' STA 11+02.90 TO 16+11.04	U-4
41	ROADWAY LAYOUT - NAVY ROAD - 'NV' STA 55+00 TO 59+00	* L-13	85	CONSTRUCTION DETAILS - CURB RAMP DETAILS - HILLTOP AREA	* CD-17	+32	UTILITY PROFILE - HUDSON AVE. 'HS' STA 11+02.90 TO 16+11.04	U-5
42	ROADWAY LAYOUT - NAVY ROAD - 'NV' STA 59+00 TO 62+00	* L-14	86	CONSTRUCTION DETAILS - CURB RAMP DETAILS - HILLTOP AREA	* CD-18	+33	UTILITY PLAN - INNES AVE. MAIN STREET - 'I' STA 53+75 TO 57+67.47	U-6
43	ROADWAY LAYOUT - OAKDALE AVENUE - 'OK' STA 20+25 TO 23+37.94	* L-15	87	CONSTRUCTION DETAILS - CURB RAMP DETAILS - HILLTOP AREA	* CD-19	+34	UTILITY PROFILE - INNES AVE. MAIN STREET - 'I' STA 53+75 TO 57+67.47	U-7
44	ROADWAY LAYOUT - OAKDALE AVENUE - 'OK' STA 10+00 TO 14+50	L-16	88	CONSTRUCTION DETAILS - CURB RAMP DETAILS - HILLTOP AREA	* CD-20	+35	UTILITY PLAN - INNES AVE. 'A' STA 10+00 TO 16+11.04	U-8
45	ROADWAY LAYOUT - OAKDALE AVENUE - 'OK' STA 14+50 TO 20+25	L-17	89	CONSTRUCTION DETAILS - CURB RAMP DETAILS - HILLTOP AREA	* CD-21	+36	UTILITY PROFILE - INNES AVE. 'A' STA 10+00 TO 16+11.04	U-9
	* DRAWINGS THAT COMPRISE THE INFRASTRUCTURE PERMIT SET		91	CONSTRUCTION DETAILS - CURB RAMP DETAILS - HILLSIDE AREA	* CD-22			

REVISIONS

NO.	DATE	DESCRIPTION	DESIGNED	CHECKED	APPROVED
1	11-30-18	COMPREHENSIVE HILLSIDE 1B 1B			



LENNAR / BVHP
 48 STEVENSON STREET, SUITE 525
 SAN FRANCISCO, CALIFORNIA 94105

HUNTERS POINT SHIPYARD DEVELOPMENT PROJECT
 PARCEL A' INFRASTRUCTURE

SCALE: NO SCALE
 CONTRACT: DATE: 11-30-18
 SHEET: DRAWING: INDEX SHEET
 SHEET: 1-1

1840

SHEET NO.	DRAWING	DWG. NO.	SHEET NO.	DRAWING	DWG. NO.	SHEET NO.	DRAWING	DWG. NO.
137	UTILITY PLAN - INNES CT. - "B" STA 10+00 TO 19+17.20	U-10	182	UTILITY DETAILS	UD-6	226	PLANTING PLAN - KIRKWOOD AVE.	* PL-05
138	UTILITY PROFILE - INNES CT. - "B" STA 10+00 TO 19+17.20	U-11	183	UTILITY DETAILS	UD-7	227	PLANTING PLAN - COLEMAN ST.	* PL-06
139	UTILITY PROFILE - GALVEZ AVE. - "D" STREET	U-12	184	UTILITY DETAILS	UD-8	228	PLANTING PLAN - COLEMAN ST.	* PL-07
140	UTILITY PLAN & PROFILE - DONAHUE STREET	U-13	185	UTILITY DETAILS	UD-9	229	PLANTING PLAN - FRIEDEL ST.	* PL-08
141	UTILITY PLAN - JERROLD AVE. - "JR" STA 10+00 TO 11+40.94	U-14	186	UTILITY DETAILS	UD-10	230	PLANTING PLAN - HUDSON AVE.	* PL-09
142	UTILITY PROFILE - JERROLD AVE. - "JR" STA 10+00 TO 11+40.94	U-15	187	UTILITY DETAILS	UD-11	231	PLANTING PLAN - INNES AVE.	* PL-10
143	UTILITY PLAN - JERROLD AVENUE	U-16	188	UTILITY DETAILS	UD-12	232	PLANTING PLAN - JERROLD AVE.	* PL-11
144	UTILITY PROFILE - JERROLD AVE.	U-17	189	STREET LIGHT LAYOUT - HILLTOP AREA	* SL-1	233	PLANTING PLAN - INNES CT.	* PL-12
146	UTILITY PLAN - KIRKWOOD AVE. - "KW" STA 10+00 TO 15+00	U-18	190	STREET LIGHT LAYOUT - HILLSIDE AREA	* SL-2	234	PLANTING PLAN - HILLSIDE STREETScape	* PL-13
146	UTILITY PROFILE - KIRKWOOD AVE. - "KW" STA 10+25 TO 15+00	U-19	191	ELECTRICAL LEGEND, ABBREVIATIONS, DRAWING INDEX AND GENERAL NOTES	E-0.1	235	PLANTING PLAN - HILLSIDE STREETScape	PL-13A
147	UTILITY PLAN - COLEMAN ST. - "CM" STA 15+00 TO 22+25	U-20	192	ELECTRICAL SWITCHGEAR DETAIL PLAN - HILLTOP	E-0.2	236	PLANTING PLAN - NAVY & OAKDALE AVE.	* PL-14
148	UTILITY PROFILE - COLEMAN ST. - "CM" STA 15+00 TO 22+25	U-21	193	ELECTRICAL SWITCHGEAR DETAIL PLAN - HILLSIDE	E-0.3	237	PLANTING PLAN - NAVY & OAKDALE AVE.	PL-14A
149	UTILITY PLAN - COLEMAN ST. - "CM" STA 22+25 TO 29+72.09	U-22	194	JOINT TRENCH DETAILS	E-0.4	238	PLANTING PLAN - NAVY & OAKDALE AVE.	PL-15
150	UTILITY PROFILE - COLEMAN ST. - "CM" STA 22+25 TO 29+72.09	U-23	195	JOINT TRENCH DETAILS	E-0.5	239	PLANTING PLAN - NAVY & OAKDALE AVE.	* PL-15A
151	UTILITY PROFILE - GALVEZ AVE. - "G" STA 09+00 TO END	U-24	196	JOINT TRENCH DETAILS	E-0.6	240	PLANTING DETAILS - HILLSIDE	* PL-16
152	UTILITY PLAN - FRIEDEL ST. - "FR" STA 10+00 TO 10+30.35	U-25	197	JOINT TRENCH DETAILS	E-0.7	241	GALVEZ AVENUE STAIRS - LANDSCAPE DETAILS	* PL-17
153	UTILITY PROFILE - FRIEDEL ST. - "FR" STA 10+00 TO 10+30.35	U-26	198	JOINT TRENCH DETAILS	E-0.8	242	GALVEZ AVENUE STAIRWAY - LANDSCAPE DETAILS	* PL-18
154	UTILITY PLAN - DONAHUE ST. - "D" STA 10+00 TO 11+100	U-27	199	JOINT TRENCH DETAILS	E-0.9	243	GALVEZ AVENUE STAIRWAY - LANDSCAPE DETAILS	* PL-16A
155	UTILITY PROFILE - DONAHUE ST. - "D" STA 10+150 TO 11+100	U-28	200	JOINT TRENCH DETAILS	E-0.10	244	IRRIGATION NOTES AND LEGEND	* PL-19
156	UTILITY PLAN - LA SALLE AVE.	U-29	201	JOINT TRENCH - STREET CROSSING DETAILS	E-0.11	245	IRRIGATION PLAN - INNES AVE.	* PL-20
157	UTILITY PROFILE - LA SALLE AVE.	U-30	202	JOINT TRENCH - STREET CROSSING DETAILS	E-0.12	246	IRRIGATION PLAN - DONAHUE ST.	* PL-21
158	UTILITY PROFILE - LA SALLE LOW PRESSURE WATER PROFILE DETAIL	U-30A	203	JOINT TRENCH - STREET CROSSING DETAILS	E-0.13	247	IRRIGATION PLAN - COLEMAN ST. & GALVEZ AVE. STAIRWAY	* PL-22
159	UTILITY PLAN - NAVY RD. - "NV" STA 59+00 TO CONFORM - OAKDALE AVE. - "OK" STA 19+50 TO 23+37.94	U-31	204	JOINT TRENCH - STREET CROSSING DETAILS	E-0.14	248	IRRIGATION PLAN - KIRKWOOD AVE.	* PL-23
160	UTILITY PROFILE - NAVY RD. - "NV" STA 59+00 TO 65+26.42	U-32	205	JOINT TRENCH - STREET CROSSING DETAILS	E-0.15	249	IRRIGATION PLAN - COLEMAN ST.	* PL-24
161	UTILITY PROFILE - NAVY RD. - LOW PRESSURE WATER PROFILE DETAIL	U-32A	206	JOINT TRENCH AND STREET CROSSING DETAILS	E-0.16	250	IRRIGATION PLAN - COLEMAN ST.	* PL-25
162	UTILITY PLAN - NAVY RD. - "NV" STA 50+00 TO 59+00	U-33	207	CONDUIT SCHEDULES - HILLTOP	E-0.18	251	IRRIGATION PLAN - FRIEDEL ST.	* PL-26
163	UTILITY PROFILE - NAVY RD. - "NV" STA BEGIN TO 59+00	U-34	208	CONDUIT SCHEDULES - HILLTOP	E-0.19	252	IRRIGATION PLAN - HUDSON AVE.	* PL-27
164	UTILITY PLAN - OAKDALE AVE. - "OK" STA 10+00 TO 19+50	U-35	209	CONDUIT SCHEDULES - HILLSIDE AND HILLTOP	E-0.20	253	IRRIGATION PLAN - INNES AVE.	* PL-28
165	UTILITY PROFILE - OAKDALE AVE. - "OK" STA 10+00 TO 19+50	U-36	210	CONDUIT SCHEDULES - HILLTOP	E-0.21	254	IRRIGATION PLAN - JERROLD AVE.	* PL-29
166	UTILITY PROFILE - OAKDALE AVE. - "OK" STA 19+50 TO END	U-37	211	12 KV SINGLE LINE DIAGRAM - HILLTOP	E-1	255	IRRIGATION PLAN - INNES CT.	* PL-30
167	UTILITY PROFILE - GRIFFITH ST. - "GR" STA BEGIN TO 104+00	U-38	212	12 KV SINGLE LINE DIAGRAM - HILLSIDE	E-2	256	IRRIGATION PLAN - HILLSIDE STREETScape	* PL-31
168	UTILITY PLAN - OAKDALE AVE. - STA 10+00 TO END	U-39	213	POWER DISTRIBUTION LAYOUT - HILLTOP AREA	E-3	257	IRRIGATION PLAN - HILLSIDE STREETScape	PL-31A
169	UTILITY PROFILE - OAKDALE AVE. - STA 10+00 TO 17+00	U-40	214	ELECTRICAL DETAIL PLAN	E-3.1	258	IRRIGATION PLAN - HILLSIDE STREETScape	* PL-32
170	UTILITY PROFILE - OAKDALE AVE. - STA 17+00 TO END	U-41	215	POWER DISTRIBUTION LAYOUT - HILLSIDE AREA	E-4	259	IRRIGATION PLAN - HILLSIDE STREETScape	PL-32A
171	UTILITY PLAN - STREET "A" AND "B"	U-42	216	8/15 CONDUIT LAYOUT - HILLSIDE AREA	E-5	260	IRRIGATION PLAN - HILLSIDE STREETScape	* PL-33
172	UTILITY PROFILE - "A" STREET	U-43	217	8/15 CONDUIT LAYOUT - HILLSIDE AREA	E-6	261	IRRIGATION PLAN - HILLSIDE STREETScape	PL-33A
173	UTILITY PROFILE - "B" STREET	U-44	218	SERVICE TO LIGHTING POLE, IRRIGATION CONTROLLER, AND COMCAST - HILLTOP AREA	E-7	262	IRRIGATION SCHEDULES	* PL-34
174	UTILITY PLAN - WATER LINE WORK IN THE VICINITY OF HUDSON AVE., GALVEZ AVE., AND DONAHUE ST.	U-45	219	SERVICE TO LIGHTING POLE, IRRIGATION CONTROLLER, AND COMCAST - HILLSIDE AREA	E-8	263	IRRIGATION DETAILS	* PL-35
175	UTILITY LAYOUT DETAILS - PRIVATE STREETS "A" AND "B"	U-46	220	JOINT TRENCH - COMPOSITE - HILLTOP AREA	E-9	264	IRRIGATION DETAILS	PL-36
176	UTILITY LAYOUT DETAILS - HUDSON ALLEY "D" STREET	U-47	221	JOINT TRENCH - COMPOSITE - HILLSIDE AREA	E-10	265	IRRIGATION DETAILS	PL-37
177	UTILITY DETAILS	UD-1	222	PLANT MATERIAL MATRIX	* PL-01	266	IRRIGATION DETAILS	PL-38
178	UTILITY DETAILS	UD-2	223	PLANTING PLAN - INNES AVE.	* PL-02	267	IRRIGATION DETAILS	PL-39
179	UTILITY DETAILS	UD-3	224	PLANTING PLAN - DONAHUE ST.	* PL-03	268	AT&T DRAWING, NEW SUBMISSION FTTP (1 OF 1) RO/EST No. 5776710	
180	UTILITY DETAILS	UD-4	225	PLANTING PLAN - COLEMAN ST. & GALVEZ AVE. STAIRWAY	* PL-04	269	AT&T DRAWING, SUBMISSION HILLTOP FTTP (1 OF 1) RO/EST No. 5776710	
181	UTILITY DETAILS	UD-5		* DRAWINGS THAT COMPRISE THE INFRASTRUCTURE PFRM SET		270	AT&T DRAWING, SUBMISSION HILLTOP FTTP (1 OF 3) RO/EST No. 5776710	

DATE PLOTTED: 11/30/15 11:58 AM PLOTTER: HP DesignJet T1100PS

DESIGNED	
DRAWN	
CHECKED	
REVIEWED	
DESIGNED/NO	
APPROVED	
DATE	



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HUNTERS POINT SHIPYARD DEVELOPMENT PROJECT
 PARCEL A' INFRASTRUCTURE

INDEX SHEET

SCALE	NO SCALE
CONTRACT	DATE
	11-30-15
SHEET	CADWAL
	I-2

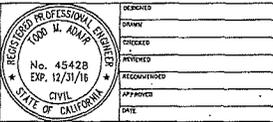
NO.	DATE	DESCRIPTION	REVISION	CHECKED	APPROVED
1	11-30-15	COMPREHENSIVE HILLSIDE 1B 19			

1841

SHEET NO.	DRAWING	DWG. NO.
271	AT&T DRAWING, SUBDIVISION HILLTOP FTTP (2 OF 3) - RG/EST No. 5770710	
272	AT&T DRAWING, SUBDIVISION HILLTOP FTTP (3 OF 3) - RG/EST No. 5770710	
273	AT&T DRAWING, SUBDIVISION HILLTOP FTTP (1 OF 3) - RG/EST No. 5709215	
274	AT&T DRAWING, SUBDIVISION HILLTOP FTTP (2 OF 3) - RG/EST No. 5709215	
275	AT&T DRAWING, SUBDIVISION HILLTOP FTTP (3 OF 3) - RG/EST No. 5709215	
276	COMCAST DRAWING HILLTOP	
277	COMCAST DRAWING HILLSIDE	
278	SWITCHEAR EQUIPMENT AND CONDUIT PLAN	
279	FOUNDATION PLAN FOR SWITCHEAR	
280	JOINT TRENCH INTENT PLAN	JT1.0
281	JOINT TRENCH GENERAL NOTES AND DETAILS	JT2.0
282	JOINT TRENCH SECTIONS AND DETAILS	JT3.0
283	JOINT TRENCH INTENT PLAN	JT4.0
284	JOINT TRENCH INTENT PLAN	JT5.0
285	JOINT TRENCH INTENT PLAN	JT6.0
286	SFPUC ELECTRIC PLANS - INSTALL 12KV UNDERGROUND SUBSTRUCTURE SYSTEM	E1.0
287	SFPUC ELECTRIC PLANS - 12KV PRIMARY CIRCUIT MAP	E2.0
288	SFPUC ELECTRIC PLANS - 12KV DISTRIBUTION SYSTEM SINGLE LINE	E3.0
289	SFPUC ELECTRIC PLANS - INSTALL 12KV UNDERGROUND SUBSTRUCTURE SYSTEM	E4.0
290	SFPUC ELECTRIC PLANS - INSTALL 12KV UNDERGROUND SUBSTRUCTURE SYSTEM	E5.0
291	SFPUC ELECTRIC PLANS - INSTALL 12KV UNDERGROUND SUBSTRUCTURE SYSTEM	E6.0
292	STREET LIGHTING GENERAL NOTES AND DETAILS	SL1.0
293	STREET LIGHTING GENERAL NOTES AND DETAILS	SL2.0
294	STREET LIGHTING PLAN	SL3.0
295	STREET LIGHTING PLAN	SL4.0
296	DEPARTMENT OF TELECOMMUNICATIONS AND INFORMATION SERVICES SUBSTRUCTURE PLAN	DT1.0
297	DEPARTMENT OF TELECOMMUNICATIONS AND INFORMATION SERVICES SUBSTRUCTURE PLAN	DT2.0
298	DEPARTMENT OF TELECOMMUNICATIONS AND INFORMATION SERVICES SUBSTRUCTURE PLAN	DT3.0
299	DEPARTMENT OF TELECOMMUNICATIONS AND INFORMATION SERVICES SUBSTRUCTURE PLAN	DT4.0
300	PG&E GAS CONSTRUCTION PLANS - TITLE SHEET AND GENERAL NOTES	1
301	PG&E GAS CONSTRUCTION PLANS - GAS DESIGN PLAN	2
302	PG&E GAS CONSTRUCTION PLANS - DETAILS AND BILL OF MATERIAL	3

* DRAWINGS THAT COMPRISE THE INFRASTRUCTURE PERMIT SET

NO.	DATE	DESCRIPTION	REVISION	CHECKED	APPROVED
1	11-30-15	COMPREHENSIVE HILLSIDE TO 19			
REVISIONS					



BKF
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HUNTERS POINT SHIPYARD DEVELOPMENT PROJECT
 PARCEL A' INFRASTRUCTURE
 INDEX SHEET

SCALE	NO SCALE
CONTRACT	DATE 11-30-15
PROJECT	DRAWING
SHEET	1-3

4849-2-1 1-1 3/16/15 11:58 AM 11/30/15 11:58 AM 11/30/15 11:58 AM 11/30/15 11:58 AM

GENERAL NOTES:

- THESE DRAWINGS REPRESENT THE GENERAL DESIGN INTENT TO BE IMPLEMENTED ON THE SITE. CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING THE ENGINEER AND THE CITY AND COUNTY OF SAN FRANCISCO FOR ANY ADDITIONAL CLARIFICATION NECESSARY TO ACCOMMODATE SITE CONDITIONS OR DETAIL.
- COORDINATE AND OTHERWISE INTEGRATE WORK WITH THAT OF OTHERS IN AN EFFICIENT, CRAFTSMANLIKE AND TRULY INGENUOUS SO AS TO PROVIDE THE CITY WITH A WELL CONSTRUCTED, EASILY MAINTAINABLE PROJECT.
- AT ALL TIMES, BE SOLELY AND COMPLETELY RESPONSIBLE FOR SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD HARMLESS THE CITY AND OWNER AND THEIR EMPLOYEES FROM LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT.
- CONFIRM GROUND ELEVATIONS AND OVERALL TOPOGRAPHY OF THE SITE PRIOR TO BEGINNING CONSTRUCTION. CONTRACTOR SHALL VERIFY ALL FIELD DIMENSIONS AND ELEVATIONS SHOWN ON THE PLANS AND SHALL NOTIFY ENGINEER AND CITY AND COUNTY OF SAN FRANCISCO OF ANY DISCREPANCIES FOR CORRECTIVE ACTION PRIOR TO PROCEEDING WITH THE WORK. CONTRACTOR SHALL NOTIFY ENGINEER AND CITY AND COUNTY OF SAN FRANCISCO IMMEDIATELY IN WRITING OF ANY DIFFERENCES IN TOPOGRAPHY FROM THAT SHOWN ON THESE PLANS WHICH MAY REQUIRE CHANGES IN DESIGN AND/OR AFFECT EARTHWORK QUANTITIES.
- COMPARE ALL PLANS FOR CONFORMANCE WITH LAYOUT DIMENSIONS AND ELEVATIONS. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER AND THE CITY AND COUNTY OF SAN FRANCISCO PRIOR TO PROCEEDING WITH THE WORK. NOTIFY ENGINEER AND CITY AND COUNTY OF SAN FRANCISCO PRIOR TO PROCEEDING WITH THE WORK IF DISCREPANCIES BETWEEN THE PLANS AND SPECIFICATIONS ARE IDENTIFIED.
- REVIEW THE CONSTRUCTION PLANS FOR ADJACENT WORK, ROADWAY, PUBLIC ACCESS, AND RAIL FACILITIES PRIOR TO STARTING WORK. BRING ANY CONFLICTS OR ISSUES TO THE ATTENTION OF THE ENGINEER AND THE CITY AND COUNTY OF SAN FRANCISCO.
- VERIFY LOCATIONS AND ELEVATIONS OF EXISTING FACILITIES TO WHICH NEW FACILITIES WILL CONNECT PRIOR TO COMMENCING WORK, SO THAT, IF NECESSARY, ADJUSTMENTS MAY BE MADE TO PROVIDE FOR SMOOTH TRANSITIONS.
- PROTECT AND/OR REPLACE MONUMENTS WITHIN PROJECT AREA. CONTACT CGSF DFM-BSM MAPPING DIVISION AND REFERENCE MONUMENTS AS REQUIRED BY THE COUNTY SURVEYOR PRIOR TO DISTURBANCE. DO NOT DESTROY ANY PERMANENT SURVEY MONUMENT WITHOUT THE CONSENT OF THE ENGINEER AND THE COUNTY SURVEYOR. ANY PERMANENT MONUMENTS OR POINTS DESTROYED SHALL BE REPLACED BY A LICENSED LAND SURVEYOR AT THE CONTRACTOR'S EXPENSE AND IN COMPLIANCE WITH THE PROVISIONS OF THE SURVEYOR'S ACT.
- RESTORE ALL WALLS, FENCES, SERVICES, UTILITIES, IMPROVEMENTS OR FEATURES DAMAGED DUE TO THE CONTRACTOR'S WORK TO THEIR PRE-EXISTING CONDITION. REPLACEMENT OF SUCH IMPROVEMENTS SHALL BE BY NEW CONSTRUCTION, EXCEPT WHERE THE ENGINEER REQUESTS REUSE OF EXISTING MATERIALS.
- FINISHED PAVING AND GRADING INCLUDES ADJUSTING RIMS OF MANHOLES, VALVE BOXES, PULL BOXES, METER BOXES AND ALL JUNCTION STRUCTURES TO FINISHED GRADE.
- IMMEDIATELY NOTIFY ENGINEER AND THE CITY AND COUNTY OF SAN FRANCISCO OF ANY UNANTICIPATED CONDITIONS WHICH ARE ENCOUNTERED, IN ORDER TO DETERMINE IF DESIGN CHANGES ARE REQUIRED.
- AS-BUILT DRAWINGS SHALL BE PROVIDED IN ACCORDANCE WITH SPECIFICATIONS SECTION 01220.
- KEEP TRAFFIC DISRUPTION TO A MINIMUM DURING CONSTRUCTION. ALL LANE CLOSURES AT ROAD CROSSINGS SHALL BE COORDINATED BEFOREHAND WITH THE ENGINEER, INFORM APPLICABLE POLICE, FIRE AND EMERGENCY AGENCIES 48 HOURS PRIOR TO PROPOSED LANE OR STREET CLOSURES. EXACT TIMING OF THESE CLOSURES SHALL BE AS DETERMINED BY THE ENGINEER. OBTAIN STREET CLOSURE PERMIT, BEFORE DEMOLITION/RECONSTRUCTION OR CONSTRUCTION BEGINS. PROVIDE A STREET CLOSURE PLAN TO CITY OF SAN FRANCISCO FOR REVIEW AND APPROVAL. THIS MAY BE DONE EITHER AHEAD OF OR IN CONJUNCTION WITH THE APPLICATION FOR THE STREET CLOSURE PERMIT.
- DURING CONSTRUCTION ACROSS PRIVATE DRIVEWAYS, PROVIDE ALTERNATE OR TEMPORARY ACCESS TO PRIVATE PROPERTY AT ALL TIMES.
- INFORM THE ENGINEER AND THE CITY AND COUNTY OF SAN FRANCISCO AND THE INSPECTION AGENCY FOR WORK REQUIRING SPECIAL INSPECTION AT LEAST THREE (3) WORKING DAYS PRIOR TO COMMENCEMENT OF SUCH WORK. THE ENGINEER MAY REQUIRE WORK PERFORMED WITHOUT REQUIRED INSPECTION TO BE REMOVED AND REPLACED AT THE DIRECTION OF THE ENGINEER. REMOVAL AND REPLACEMENT OF THIS WORK SHALL BE PERFORMED AT NO COST AND WITH NO EFFECT ON CONSTRUCTION SCHEDULE.
- THE EXISTENCE AND LOCATION OF UNDERGROUND UTILITY PIPELINES OR STRUCTURES SHOWN ON THESE PLANS WERE OBTAINED BY INSPECTION OF AVAILABLE RECORDS AND, IN SOME CASES, BY FIELD SURVEY. APPROVAL OF THESE PLANS BY THE ENGINEER DOES NOT CONSTITUTE A REPRESENTATION AS TO THE ACCURACY OR COMPLETENESS OF THE LOCATION OR EXISTENCE OR NONEXISTENCE OF ANY UNDERGROUND UTILITIES OR STRUCTURES WITHIN THE LIMITS OF THIS PROJECT. LATENCIES AND DISCONTINUITIES OF INDIVIDUAL UTILITIES SUCH AS WATER, GAS, FIRE, CABLE, TELEPHONE, ETC. ARE NOT SPECIFICALLY SHOWN ON THE PLANS BUT ARE KNOWN TO EXIST WITHIN THE PROJECT AREA. VERIFY LOCATIONS AND ELEVATIONS OF EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION AND LOCATE, PROTECT, AND MAINTAIN ALL EXISTING UTILITIES WHETHER OR NOT THEY ARE SHOWN ON THE DRAWINGS.
- PRIOR TO CONSTRUCTION, CONTACT THE UTILITY COMPANIES INVOLVED AND REQUEST VISUAL VERIFICATION OF LOCATIONS OF THEIR UNDERGROUND FACILITIES. THE UTILITY COMPANIES ARE MEMBERS OF THE UNDERGROUND SERVICE ALERT (U.S.A.) ON CALL PROGRAM. NOTIFY MEMBERS OF U.S.A. AT LEAST THREE (3) WORKING DAYS IN ADVANCE OF PERFORMING EXCAVATION WORK BY CALLING 811.

- TO SCALE PLANS ARE AVAILABLE TO SHOW THE DETAILS AND INFRASTRUCTURE INSTALLATION AT THESE LOCATIONS INCLUDING: 15.5' WIDTH LOTS ALONG HUDSON AND KIRKWOOD AND A REPRESENTATIVE SECTION OF 25' WIDTH LOTS ALONG NAVY ROAD.
- NO EXCAVATION WORK TO BE PERFORMED ON NAVY PROPERTY, WITHOUT PRIOR APPROVAL FROM THE NAVY.

REFERENCED STANDARD PLANS

CITY & COUNTY OF SAN FRANCISCO
DEPARTMENT OF PUBLIC WORKS, BUREAU OF ENGINEERING
STANDARD PLANS, DATED APRIL 2007 (SEE PLAN FOR REVISION DATES)

FILE NO.	DESCRIPTION
45.812	TRENCH PAVEMENT RESTORATION (7/82, REV. 2 1/85)
87.168	STD. COLD PLANING & RESURFACING (4/87, REV. 4/07)
87.169	STANDARD CURBS (4/07)
87.170	STANDARD COMBINED CURB AND PARKING STRIP OR CUTTER (4/07)
87.171 REV. 1	DRIVEWAY CONSTRUCTION (4/07, REV. 12/12)
87.173.	STANDARD CONSTRUCTION JOINTS FOR CONCRETE SIDEWALK AND CURB (4/07)
55.017 REV.4	STANDARD CURB RAMP PLANS AND GENERAL NOTES (9/86, REV. 5/13)
55.017.1 REV.1	DETECTABLE SURFACE LAYOUT DETAILS AND NOTES (11/02, REV. 6/13)
55.018.3 REV.0	SINGLE CURB RAMP PLANS (1/04)
55.018.4 REV.0	LANDSCAPED PATHWAYS AND MEDIAN RAMP (1/04)
96.608	STEEL REINFORCED BARS FOR SIDEWALK CONSTRUCTION (9/13)
PARKING/PASSENGER	DISABILITY ACCESS CODE QUICK SHEETS
LOADING ZONES	CITY AND COUNTY OF SAN FRANCISCO
PAGE 2	REV. 5/17/09

REFERENCED STANDARD PLANS

STATE OF CALIFORNIA
DEPARTMENT OF TRANSPORTATION
STANDARD PLANS, 2010 EDITION

FILE NO.	DESCRIPTION
STD. PLAN A20A	PAVEMENT MARKERS AND TRAFFIC LINES TYPICAL DETAILS
STD. PLAN A24A	PAVEMENT MARKING ARROWS
STD. PLAN A24A	PAVEMENT MARKING SYMBOLS AND NUMBERS
STD. PLAN A200	PAVEMENT MARKERS AND TRAFFIC LINES TYPICAL DETAILS
STD. PLAN A24D	PAVEMENT MARKINGS AND WORDS
STD. PLAN A24E	PAVEMENT MARKINGS WORDS AND CROSSWALKS

FILE NO.	DESCRIPTION
87.181	PRECAST CONCRETE MANHOLE FOR 12" AND 24" DIAMETER SEWERS (4/07)
87.187	STANDARD CONCRETE CATCH BASIN WITH CURB INLET AND CAST IRON TRAP (4/07)
87.191	30" MANHOLE FRAME AND COVER (4/07)
87.196	TYPICAL INSTALLATION OF BUILDING SEWER AND SIDE SEWER (4/07)
87.198	ABANDONMENT OF EXISTING SIDE SEWER (4/07)
L-7841 REV 4	LOCATION OF SIDE SEWER TRAP AND VENT IN REFERENCE TO CURB LINE (5/87)

SAN FRANCISCO PUBLIC UTILITIES COMMISSION
STANDARD PLANS, DATED OCTOBER 2005 (SEE PLAN FOR REVISION DATES)

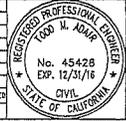
FILE NO.	DESCRIPTION
E-4989R REV 1	STANDARD PLAN FOR DUCTILE IRON PIPE MAIN INSTALLATIONS (2/15)
A-1240-2A REV 3	1" & 2" LONG SERVICE RENEWAL (10/05)
A-1240-2B REV 3	1" & 2" LONG SERVICE RENEWAL (10/05)

- THESE PLANS SHOW THE COMPLETE REQUIRED IMPROVEMENTS FOR THE DEVELOPMENT OF PARCEL A' INFRASTRUCTURE. THIS INCLUDES:
 - BASE BID ITEMS
 - ADDITIVE BID ITEMS NO. 1 - DOMAINE STORM DRAIN EXTENSION
 - ADDITIVE BID ITEMS NO. 2 - SIDEWALKS, DRIVEWAYS, IRRIGATION SYSTEMS AND LANDSCAPING BETWEEN CURB AND RIGHT-OF-WAY LINE. (GALVEZ STARTS LANDSCAPING AND IRRIGATION SYSTEMS. NOT INCLUDED IN THIS ADDITIVE BID ITEM)
 - ADDITIVE BID ITEMS NO. 3 - GALVEZ AVENUE SIDEWALK IMPROVEMENTS ON PARCEL B. SEE SPECIFICATION SECTIONS 00410 AND 01025

1842

DATE PLOTTED: 11/30/13 10:58:27 AM BY: JAVIER VAZQUEZ

NO.	DATE	REVISION	DESIGNED	DRAWN	CHECKED	REVIEWED	RECORDED	APPROVED
1	11-30-13	COMPREHENSIVE HILLSIDE IS 19						
REVISIONS								

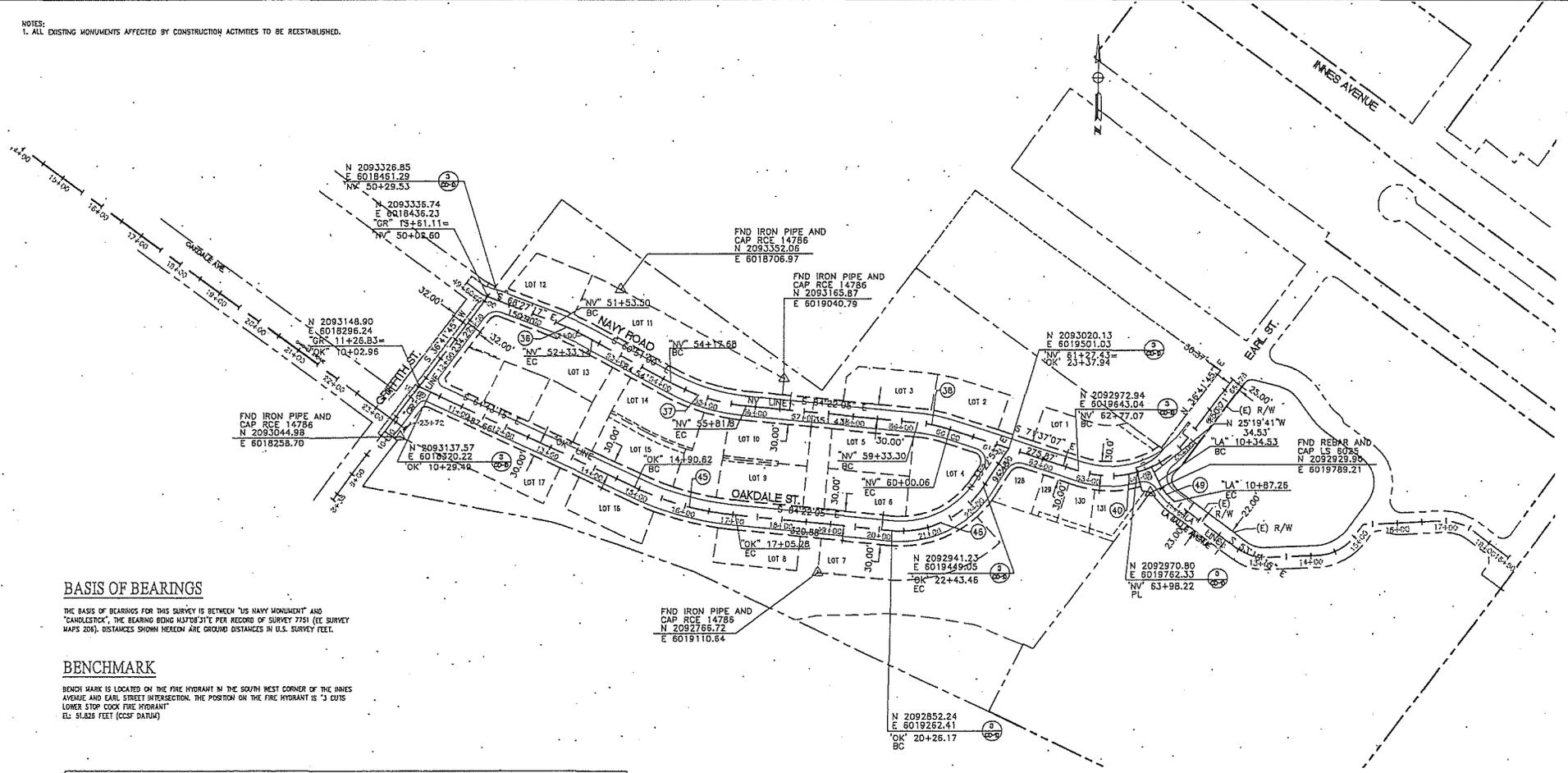


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HUNTERS POINT SHIPYARD DEVELOPMENT PROJECT
PARCEL A' INFRASTRUCTURE
GENERAL NOTES, ABBREVIATIONS AND LEGEND

SCALE	NONE
CONTRACT	DATE
	11-30-15
DRAWING	
	GN-1

NOTES:
1. ALL EXISTING MONUMENTS AFFECTED BY CONSTRUCTION ACTIVITIES TO BE REESTABLISHED.



1844

BASIS OF BEARINGS

THE BASIS OF BEARINGS FOR THIS SURVEY IS BETWEEN "US NAVY MONUMENT" AND "CANDLESTICK", THE BEARING BEING W40°31'E PER RECORD OF SURVEY 7751 (SEE SURVEY MAPS 200). DISTANCES SHOWN REFER TO GROUND DISTANCES IN U.S. SURVEY FEET.

BENCHMARK

BENCHMARK IS LOCATED ON THE FIRE HYDRANT IN THE SOUTH WEST CORNER OF THE IRVING AVENUE AND EARL STREET INTERSECTION. THE POSITION ON THE FIRE HYDRANT IS '3' CUTS LOWEST STOP COOK FIRE HYDRANT' EL: 51.825 FEET (CCSF DATUM)

CURVE DATA									
CURVE	RADIUS	LENGTH	TANGENT	CHORD	DELTA	BC	EC	BC	EC
36	600.00'	78.64'	38.88'	79.58'	07°26'17"	N 2093281.33	E 6018576.59	N 2093247.26	E 6018648.51
37	400.00'	164.19'	83.27'	163.04'	23°31'05"	N 2093157.37	E 6018809.68	N 2093108.64	E 6018965.26
38	300.00'	86.76'	33.52'	66.62'	12°44'58"	N 2093074.15	E 6019315.00	N 2093060.29	E 6019380.16
40	200.00'	250.23'	144.47'	234.23'	71°41'08"	N 2092972.93	E 6019643.04	N 2093043.22	E 6019866.47
45	626.00'	214.66'	108.39'	213.61'	19°38'50"	N 2092840.65	E 6018737.20	N 2092883.73	E 6018943.08
46	200.00'	217.30'	120.77'	206.76'	62°15'02"	N 2092852.24	E 6019262.41	N 2092941.23	E 6019449.05
49	108.00'	52.73'	26.90'	52.21'	27°58'34"	N 2092951.74	E 6019805.68	N 2092911.35	E 6019838.76

NO.	DATE	DESCRIPTION	REVISION	CHECKED	APPROVED
1	11-30-15	COMPREHENSIVE HILLSIDE 'B' IS			

DESIGNED	
DRAWN	
CHECKED	
REVIEWED	
APPROVED/ISSUED	
APPROVED	
DATE	

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HUNTERS POINT SHIPYARD DEVELOPMENT PROJECT
PARCEL 'A' INFRASTRUCTURE

SURVEY CONTROL
HILLSIDE AREA

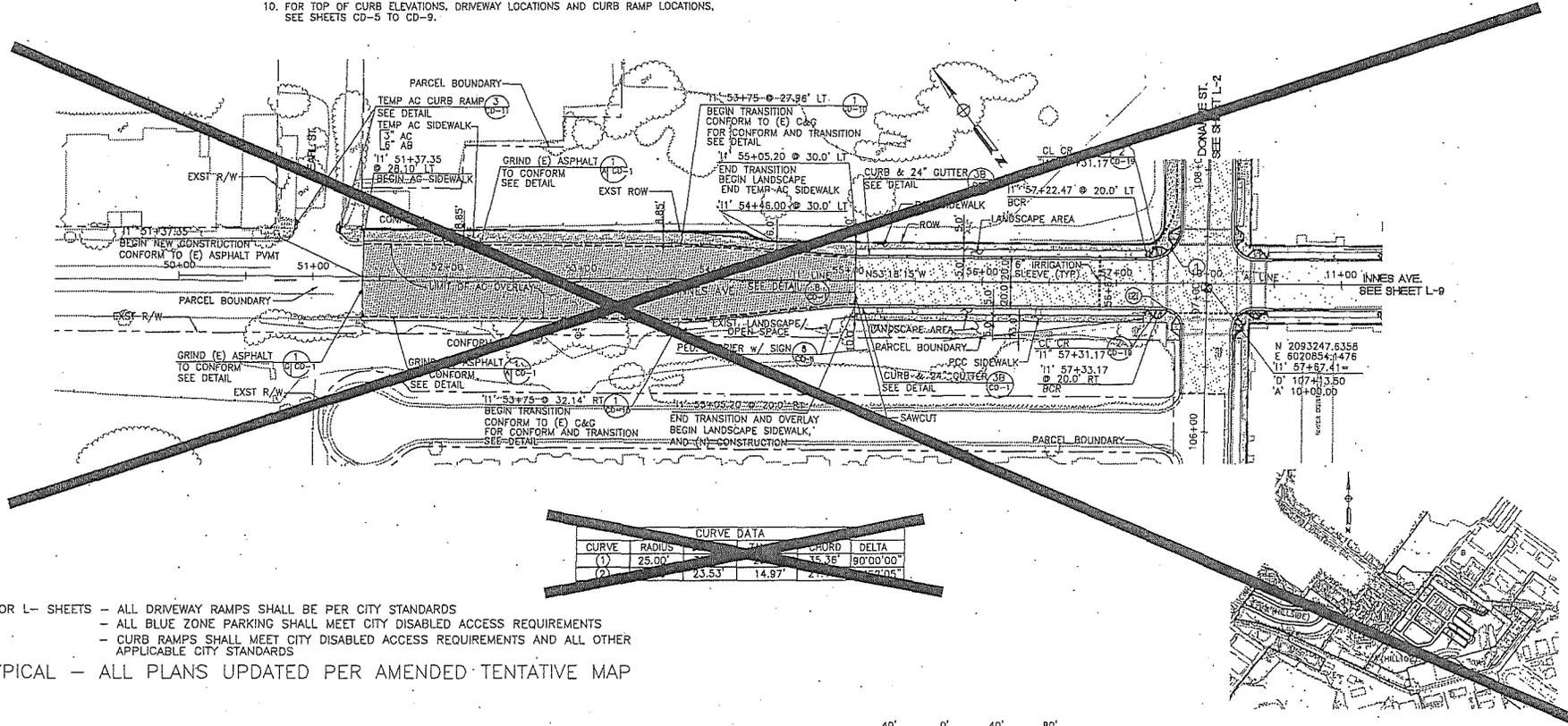
SCALE 1"=100'
CONTRACT DATE 11-30-15
SHEET DRAWING SV-2

LEGEND FOR LAYOUTS

- AC OVERLAY 
- SEE TYP. SECTIONS FOR PAVEMENT STRUCTURAL SECTION 
- TEMPORARY AC 
- TEMPORARY AC SIDEWALK 
- SIDEWALK/CURB RAMP/DRIVEWAY 

NOTES FOR LAYOUTS:

1. REFERENCES TO THE EDGE OF TRAVELED WAY ARE WITH RESPECT TO FACE OF CURB (FLOW LINE)
2. COORDINATES, DISTANCES AND BEARINGS ARE BASED ON THE CALIFORNIA SYSTEM ZONE 3
3. ALL DIMENSIONS ARE IN FEET AND INCHES UNLESS OTHERWISE SHOWN
4. FOR PAVEMENT STRUCTURAL SECTIONS, SEE SHEET X-1 & X-2
5. FOR CURB RAMP DETAILS, SEE SHEETS CD-2 AND CD-2A
6. BASE REPAIR MAY BE REQUIRED IN THE AC OVERLAY AREAS. IDENTIFYING ALL SUCH AREAS SHALL BE MADE BY THE RESIDENT ENGINEER
7. CURB REPAIR MAY BE REQUIRED BY AC IN THE DAMAGED AREAS ALONG INNES AVENUE. IDENTIFYING ALL SUCH AREAS SHALL BE MADE BY THE RESIDENT ENGINEER
8. FOR GENERAL LEGEND AND NOTES, SEE SHEETS GN-1 & GN-2
9. FOR LOCATIONS AND DETAIL OF DTIS/SFFD & SFPD PULL BOXES, SEE ELECTRICAL DRAWINGS
10. FOR TOP OF CURB ELEVATIONS, DRIVEWAY LOCATIONS AND CURB RAMP LOCATIONS, SEE SHEETS CD-5 TO CD-9.
11. REMOVE EXISTING PAVEMENT STRIPING, MARKINGS AND MARKERS BEFORE OVERLAY ON INNES AND GALVEZ AVE.
12. IRRIGATION SLEEVES SHALL NOT HAVE ANGLE POINTS. THE MINIMUM RADIUS FOR A CURVED SLEEVE SHALL BE 50 FEET.

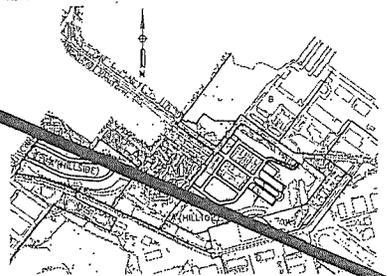
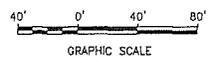


CURVE DATA

CURVE	RADIUS	CHORD	DELTA
(1)	25.00'	15.36'	90°00'00"
(2)	23.53'	14.97'	95°05'05"

TYPICAL FOR L- SHEETS - ALL DRIVEWAY RAMPS SHALL BE PER CITY STANDARDS
 - ALL BLUE ZONE PARKING SHALL MEET CITY DISABLED ACCESS REQUIREMENTS
 - CURB RAMPS SHALL MEET CITY DISABLED ACCESS REQUIREMENTS AND ALL OTHER APPLICABLE CITY STANDARDS

TYPICAL - ALL PLANS UPDATED PER AMENDED TENTATIVE MAP

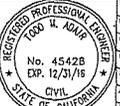


1845

DATE PLOTTED: 11/13/15 11:08 AM USER: JLM

NO.	DATE	DESCRIPTION	REVISED	CHECKED	APPROVED
1	11-30-15	COMPREHENSIVE HILLSIDE IB 19			

REVISIONS

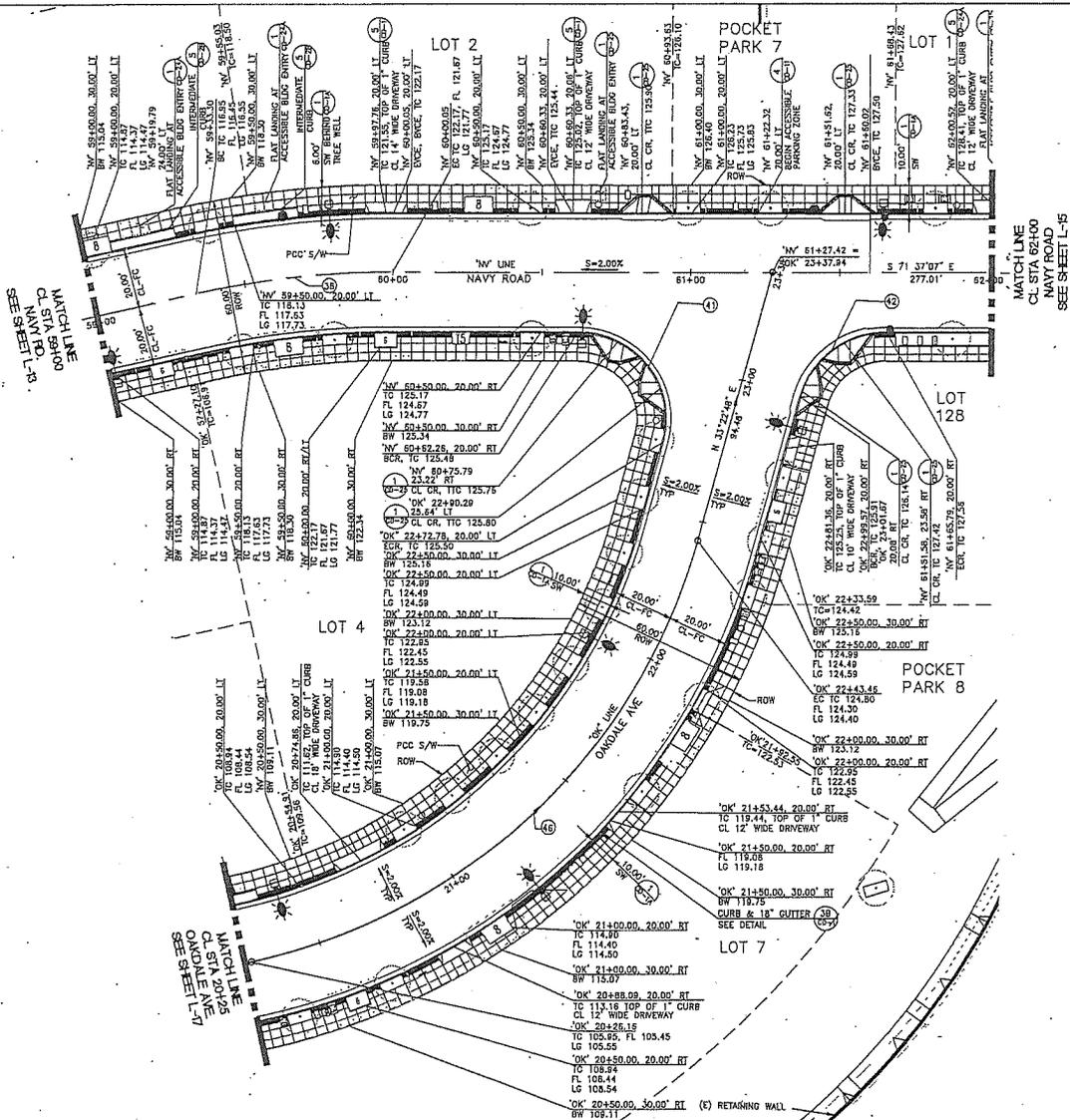

 REGISTERED PROFESSIONAL ENGINEER
 TODD H. ADAMS
 No. 45428
 Exp. 12/31/16
 CIVIL
 STATE OF CALIFORNIA


BKF
 Professional Engineering / Planning
 255 SHORELINE DRIVE, STE. 200
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 (650) 463-6300
 (650) 462-6389 (FAX)

LENNAR / BVHP
 48 STEVENSON STREET, SUITE 525
 SAN FRANCISCO, CALIFORNIA 94105

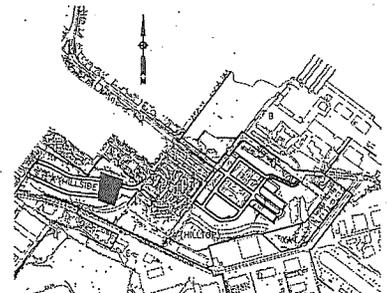
HUNTERS POINT SHIPYARD DEVELOPMENT PROJECT
 PARCEL A' INFRASTRUCTURE
 ROADWAY LAYOUT
 INNES AVENUE - '11' STA 51+35.41 TO 57+87.47

SCALE 1" = 40'
 CONTRACT DATE 11-30-15
 SHEET NO. DRAWING
 L-1

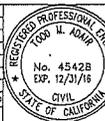


- NOTES:**
1. FOR NOTES, SEE SHEET GN-1 & GN-2
 2. FOR TRANSITION AND CONFORM AT GRIFFITH AND NAVY, SEE DETAIL 1 DRAWING CD-12
 3. SSMH'S, WY'S, CB'S AND OTHER WET UTILITIES ON GRIFFITH ROAD WITHIN CONSTRUCTION AREA SHALL BE ADJUSTED TO FINISHED GRADE
 4. SEE MATERIAL PLANS SHEETS M-1 TO M-6 FOR STREET LIGHT AND TREE WELL LOCATIONS.
 5. SEE PROJECT FINAL MAP FOR FINAL LOT DIMENSIONS AND MONUMENTATION.
 6. FOR GRADING AT CURB RAMP AND FLAT LANDINGS AT FUTURE ACCESSIBLE BUILDING ENTRANCES, SEE SHEETS CD-15, CD-15A, CD-23, CD-23A, CD-23B, CD-23C, CD-24, CD-24A, CD-25, CD-25A

CURVE DATA					
CURVE	RADIUS	LENGTH	TANGENT	CHORD	DELTA
(39)	300.00'	66.75'	33.52'	66.82'	12'44"58"
(41)	30.00'	54.98'	39.10'	47.80'	105'00"00"
(42)	30.00'	39.27'	23.02'	36.53'	75'00"00"
(46)	200.00'	217.30'	120.77'	206.76'	62'15"02"



NO.	DATE	DESCRIPTION	REVISED	CHECKED	APPROVED
1	11-30-15	COMPREHENSIVE HILLSIDE 18 19			



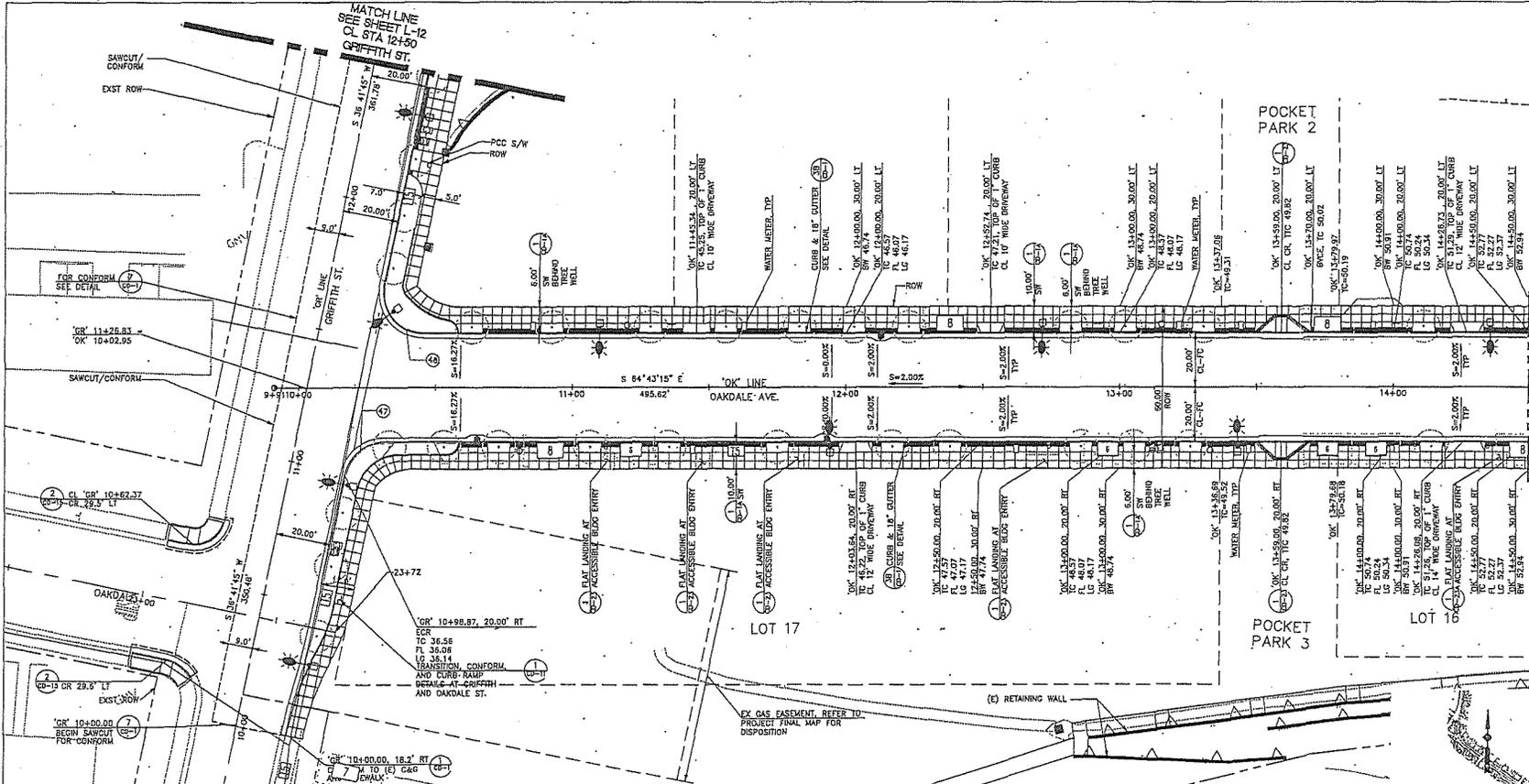
BKF
 BROADBENT KIMMEL FARR
 251 SHORELINE DRIVE, SUITE 200
 REDWOOD CITY, CA 94065
 (650) 482-6200
 (650) 482-6215 (FAX)

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 49 STEVENSON STREET, SUITE 525
 SAN FRANCISCO, CALIFORNIA 94105

HUNTERS POINT SHIPYARD DEVELOPMENT PROJECT
 PARCEL A' INFRASTRUCTURE
ROADWAY LAYOUT
 NAVY RD 59+00 TO 62+00 & OAKDALE AVE 20+25 TO 23+37.94

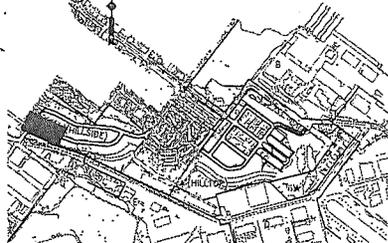
SCALE 1"=20'
 CONTRACT DATE 11-30-15
 SHEET DRAWN L-14
 SHEETS

11/30/15 11:58 AM 1848.DWG PLOTTED BY: BKT
 11/30/15 11:58 AM 1848.DWG PLOTTED BY: BKT



- NOTES:**
1. FOR NOTES, SEE SHEET L-1
 2. FOR TRANSITION AND CONFORM AT GRIFFITH AND NAVY, SEE DETAIL 1 DRAWING CD-5
 3. SSMH'S, WY'S, CB'S AND OTHER WET UTILITIES ON GRIFFITH ROAD WITHIN CONSTRUCTION AREA SHALL BE ADJUSTED TO FINISHED GRADE
 4. SEE MATERIAL PLANS SHEETS M-1 TO M-6 FOR STREET LIGHT AND TREE WELL LOCATIONS.
 5. SEE DETAIL 2 ON SHEET CD-2B FOR GRADING AT BUILDING ENTRANCES.
 6. SEE PROJECT FINAL MAP FOR FINAL LOT DIMENSIONS AND MONUMENTATION.
 7. FOR GRADING AT CURB RAMP FLAT LANDINGS AT FUTURE ACCESSIBLE BUILDING ENTRANCES, SEE SHEETS CD-15, CD-15A, CD-23, CD-23A, CD-23B, CD-23C, CD-24, CD-24A, CD-25, CD-25A

CURVE DATA				
CURVE	RADIUS	LENGTH	TANGENT	CHORD
(7)	15.00'	20.57'	12.27'	19.00'
(8)	15.00'	26.55'	18.33'	23.22'



NO.	DATE	DESCRIPTION	REVISION	CHECKED	APPROVED
1	11-30-13	COMPREHENSIVE HILLSIDE IS 19			

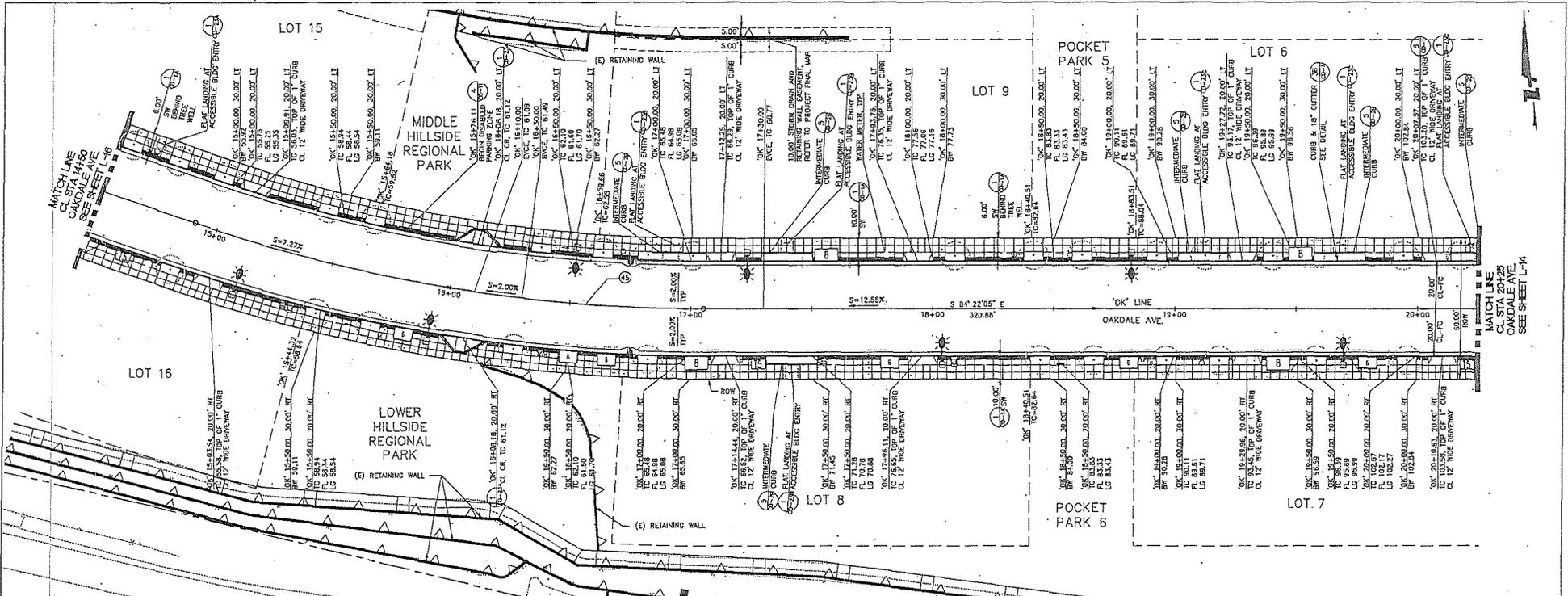
REGISTERED PROFESSIONAL ENGINEER
 TONY W. ANNE
 No. 45428
 EXP. 12/31/16
 CIVIL
 STATE OF CALIFORNIA

Bkf
 BAKER BRUNNEN & PIZZAZZI
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LENNAR / BVHP
 49 STEVENSON STREET, SUITE 525
 SAN FRANCISCO, CALIFORNIA 94105

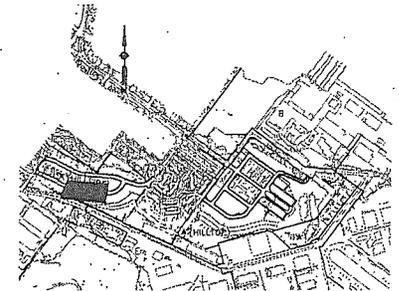
HUNTERS POINT SHIPYARD DEVELOPMENT PROJECT
 PARCEL A' INFRASTRUCTURE
ROADWAY LAYOUT
 OAKDALE AVENUE - "OK" STA 10+00 TO 14+50

SCALE 1"=20'
 CONTRACT DATE 11-30-13
 SHEET DRAWING L-16



- NOTES:**
- FOR NOTES, SEE SHEET L-1
 - FOR TRANSITION AND CONFORM AT GRIFFITH AND NAVY, SEE DETAIL 1 DRAWING CD-5
 - SSM'S, WV'S, CB'S AND OTHER WET UTILITIES ON GRIFFITH ROAD WITHIN CONSTRUCTION AREA SHALL BE ADJUSTED TO FINISHED GRADE
 - SEE MATERIAL PLANS SHEETS M-1 TO M-6 FOR STREET LIGHT AND TREE WELL LOCATIONS.
 - SEE DETAIL 2 ON SHEET CD-2B FOR GRADING AT BUILDING ENTRANCES.
 - SEE PROJECT FINAL MAP FOR FINAL LOT DIMENSIONS AND MONUMENTATION.
 - FOR GRADING AT CURB RAMP FLAT LANDINGS AT FUTURE ACCESSIBLE BUILDING ENTRANCES, SEE SHEETS CD-15, CD-15A, CD-23, CD-23A, CD-23B, CD-23C, CD-24, CD-24A, CD-25, CD-25A

CURVE DATA					
CURVE	RADIUS	LENGTH	TANGENT	CHORD	DELTA
(5)	626.00'	214.66'	108.39'	213.61'	19°38'50"
(7)	15.00'	20.57'	12.27'	19.00'	78°35'00"
(8)	15.00'	26.55'	18.33'	23.22'	101°25'00"



KEY MAP
N.T.S.

NO.	DATE	DESCRIPTION	DESIGNED	CHECKED	APPROVED
1	11-30-15	COMPREHENSIVE HILLSIDE 1B 19			

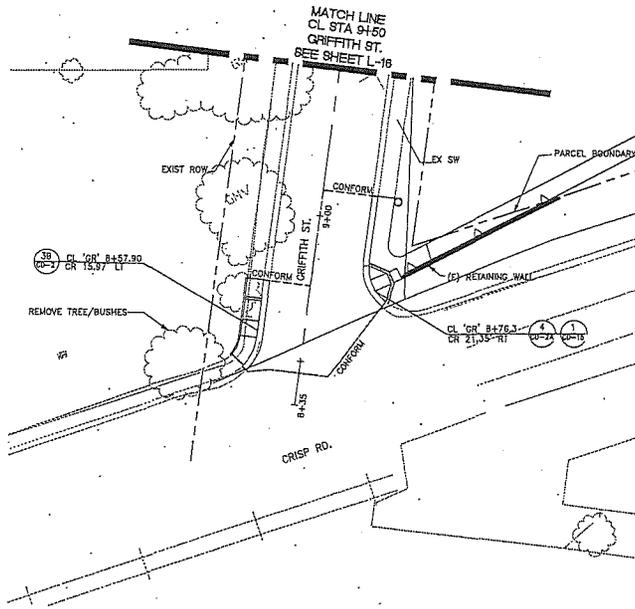
REGISTERED PROFESSIONAL ENGINEER
LENNAR / BVHP
 No. 45428
 Exp. 12/31/16
 CIVIL
 STATE OF CALIFORNIA

BKF
 ENGINEERING / ARCHITECTURE / PLANNING
 255 SHONLINE DRIVE, STE. 200
 REDWOOD CITY, CA 94065
 (650) 493-2000
 (650) 492-8389 (FAX)

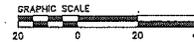
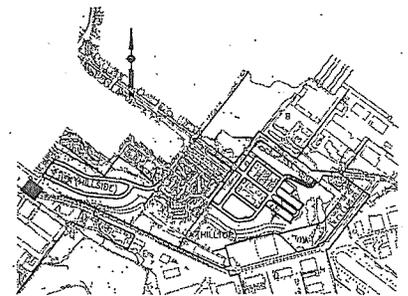
LENNAR / BVHP
 49 STEVENSON STREET, SUITE 225
 SAN FRANCISCO, CALIFORNIA 94105

HUNTERS POINT SHIPYARD DEVELOPMENT PROJECT
 PARCEL A' INFRASTRUCTURE
ROADWAY LAYOUT
 OAKDALE AVENUE - "OK" STA 14+50 TO 20+25

SCALE 1"=20'
 CONTRACT DATE 11-30-15
 SHEET DRAWING L-17

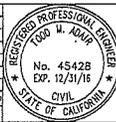


- NOTES:**
1. FOR NOTES, SEE SHEET L-1
 2. FOR TRANSITION AND CONFORM AT GRIFFITH AND NAVY, SEE DETAIL 1 DRAWING CD-5
 3. SSMH'S, WY'S, CB'S AND OTHER WET UTILITIES ON GRIFFITH ROAD WITHIN CONSTRUCTION AREA SHALL BE ADJUSTED TO FINISHED GRADE
 4. SEE MATERIAL PLANS SHEETS M-1 TO M-6 FOR STREET LIGHT AND TREE WELL LOCATIONS.
 5. SEE DETAIL 2 ON SHEET CD-2B FOR GRADING AT BUILDING ENTRANCES.
 6. SEE PROJECT FINAL MAP FOR FINAL LOT DIMENSIONS AND MONUMENTATION.
 7. FOR GRADING AT CURB RAMP FLAT LANDINGS AT FUTURE ACCESSIBLE BUILDING ENTRANCES, SEE SHEETS CD-15, CD-15A, CD-23, CD-23A, CD-23B, CD-23C, CD-24, CD-24A, CD-25, CD-25A



DATE: 11-23-15
DRAWN BY: J. VANDERKAM
CHECKED BY: P. J. HANCOCK
DATE: 11-23-15
SCALE: AS SHOWN

NO.	DATE	DESCRIPTION	REVISED	CHECKED	APPROVED
1	11-30-13	COMPREHENSIVE HILLSIDE 1B 13			
REVISIONS					



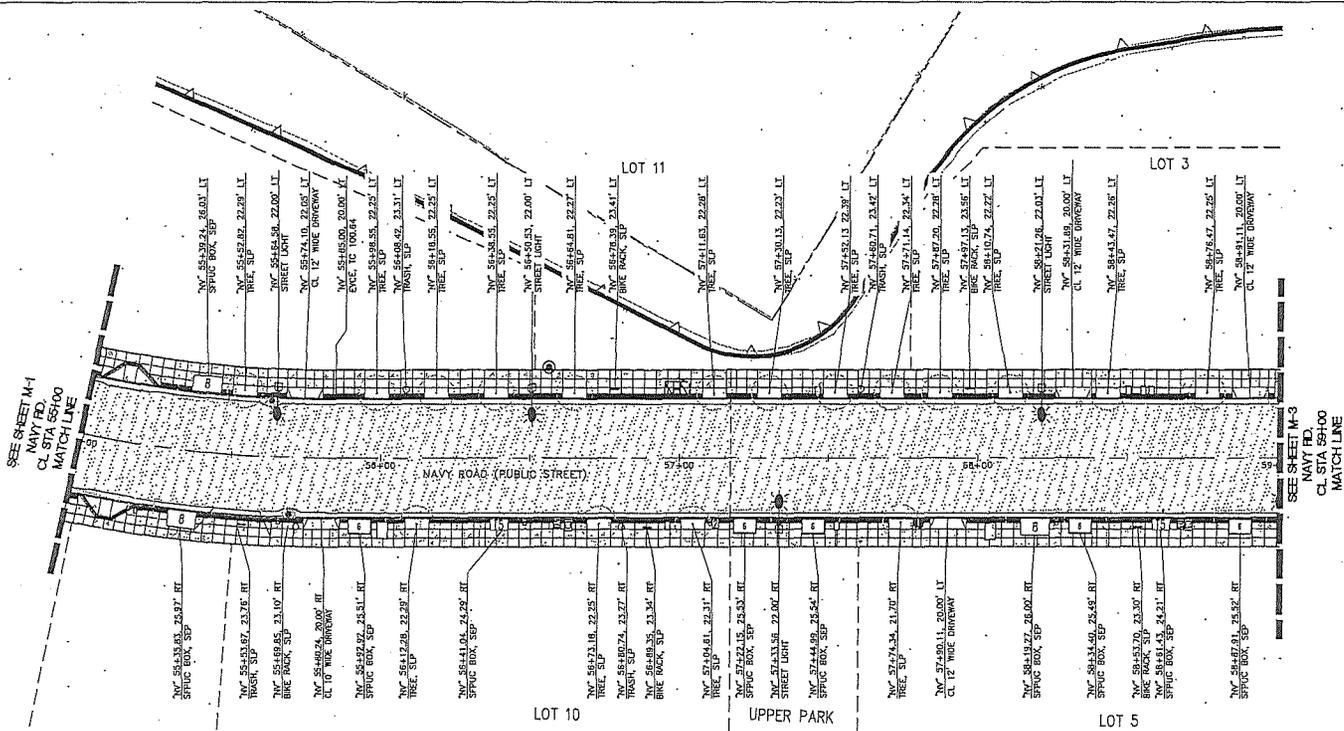
DESIGNED	
CHECKED	
REVIEWED	
RECOMMENDED	
APPROVED	
DATE	

BKf
BROWNE KENNEDY FOSTER
255 SHORELINE DRIVE, STE. 200
REDWOOD CITY, CA 94063
(650) 492-0200
(650) 492-0299 (FAX)

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49 STEVENSON STREET, SUITE 325
SAN FRANCISCO, CALIFORNIA 94105

HUNTERS POINT SHIPYARD DEVELOPMENT PROJECT
PARCEL A' INFRASTRUCTURE
ROADWAY LAYOUT
OAKDALE AVENUE - "OK" STA 10+00 TO 14+50

TOTAL 1"=20'	
CONTRACT	DATE
SHEET	DRAWING
11-30-15	L-18
SHEET	

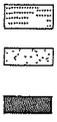


LEGEND FOR LAYOUTS

SEE TYP. SECTIONS FOR PAVEMENT STRUCTURAL SECTION

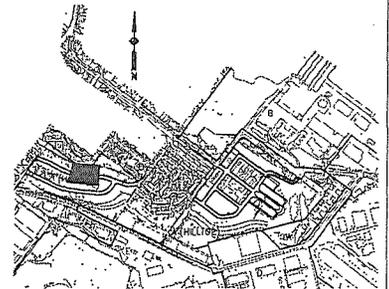
SIDEWALK/CURB RAMP/DRIVEWAY, SEE SHEETS (CD-2, CD-2A, AND CD-5 TO CD-9)

PAVERS SEE DETAILS, CD-1A TO CD-1D

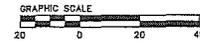


NOTES:

- FOR LEGEND AND NOTES, SEE SHEET GN-1 & GN-2
- FOR LOT LINE STATION, DRIVEWAY LOCATIONS, CURB RAMP LOCATIONS AND TOP OF CURB ELEVATIONS, SEE SHEET L-13
- FOR TRANSITION AND CONFORM AT GRIFFITH AND NAVY, SEE DETAIL 1 DRAWING CD-12
- SSM'S, WY'S, CB'S AND OTHER WET UTILITIES ON GRIFFITH ROAD WITHIN CONSTRUCTION AREA SHALL BE ADJUSTED TO FINISHED GRADE
- REFER TO LS PLANS FOR SCORING LAYOUT AND DETAILING
- REFER TO UTILITY PLANS FOR WET UTILITY STRUCTURES STATIONING
- UTILITY BOXES ARE STATIONED TO THE MID POINT AT THE BACK OF THE BOX. TREE BOXES ARE STATIONED TO THE CENTER OF THE TREE BOX



KEY MAP
N.T.S.



NO.	DATE	DESCRIPTION	DESIGNED	CHECKED	APPROVED
1	11-30-15	COMPREHENSIVE HILLSIDE TO 19			

REGISTERED PROFESSIONAL ENGINEER
TODD D. ADAMS
 No. 45428
 EXP. 12/31/18
 CIVIL
 STATE OF CALIFORNIA

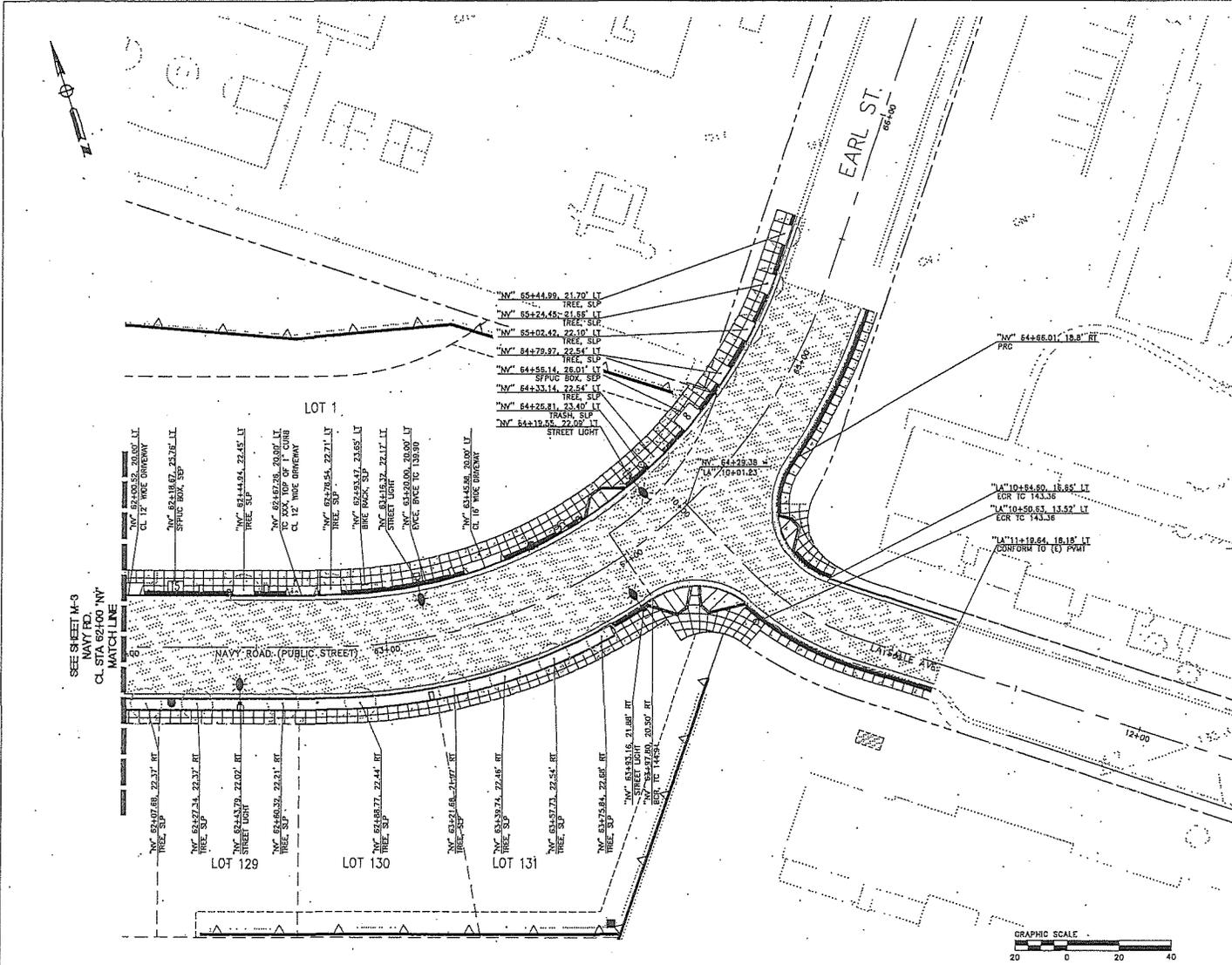
BkF
 ENGINEERING / DESIGN / PLANNING
 256 CHORLENE DRIVE, STE. 200
 REDWOOD CITY, CA 94065
 (650) 962-8300
 (850) 482-6339 (FAX)

LENNAR / BVHP
 49 STEVENSON STREET, SUITE 525
 SAN FRANCISCO, CALIFORNIA 94105

HUNTERS POINT SHIPYARD DEVELOPMENT PROJECT
 PARCEL A' INFRASTRUCTURE

MATERIAL PLAN
 NAVY ROAD - "N" STA 55+00 TO 59+00

SCALE	1"=20'
CONTRACT	11-30-15
SHEET	11-30-15
DATE	M-2



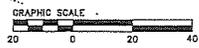
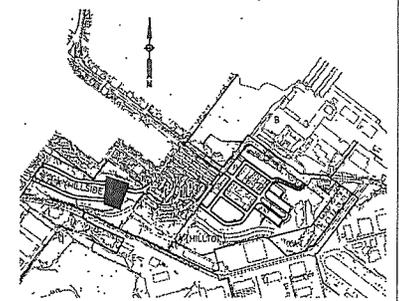
- NOTES:**
1. FOR LEGEND AND NOTES, SEE SHEET GN-1 & GN-2
 2. FOR LOT LINE STATION, DRIVEWAY LOCATIONS, CURB RAMP LOCATIONS AND TOP OF CURB ELEVATIONS, SEE SHEET L-13
 3. FOR TRANSITION AND CONFORM AT GRIFFITH AND NAVY, SEE DETAIL 1 DRAWING CD-12.
 4. SSMH'S, WY'S, CB'S AND OTHER WET UTILITIES ON GRIFFITH ROAD WITHIN CONSTRUCTION AREA SHALL BE ADJUSTED TO FINISHED GRADE
 5. REFER TO LS PLANS FOR SCORING LAYOUT AND DETAILING
 6. REFER TO UTILITY PLANS FOR WET UTILITY STRUCTURES STATIONING
 7. UTILITY BOXES ARE STATIONED TO THE MID POINT AT THE BACK OF THE BOX. TREE BOXES ARE STATIONED TO THE CENTER OF THE TREE BOX

LEGEND FOR LAYOUTS

SEE TYP. SECTIONS FOR PAVEMENT STRUCTURAL SECTION

SIDEWALK/CURB RAMP/DRIVEWAY, SEE SHEETS (CD-2, CD-2A, AND CD-5 TO CD-9)

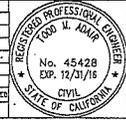
PAVERS SEE DETAILS, CD-1A TO CD-1D



DRAWING NO. 11-30-15-1856-18
 FILED DATE: 11-30-15
 PUBLISHED BY: BKF

SEE SHEET M-3
 NAVY RD.
 CL. STATIONING
 MATCHLINE

NO.	DATE	REVISIONS	DESIGNED	CHECKED	APPROVED
1	11-30-15	COMPREHENSIVE HILLSIDE 18 19			



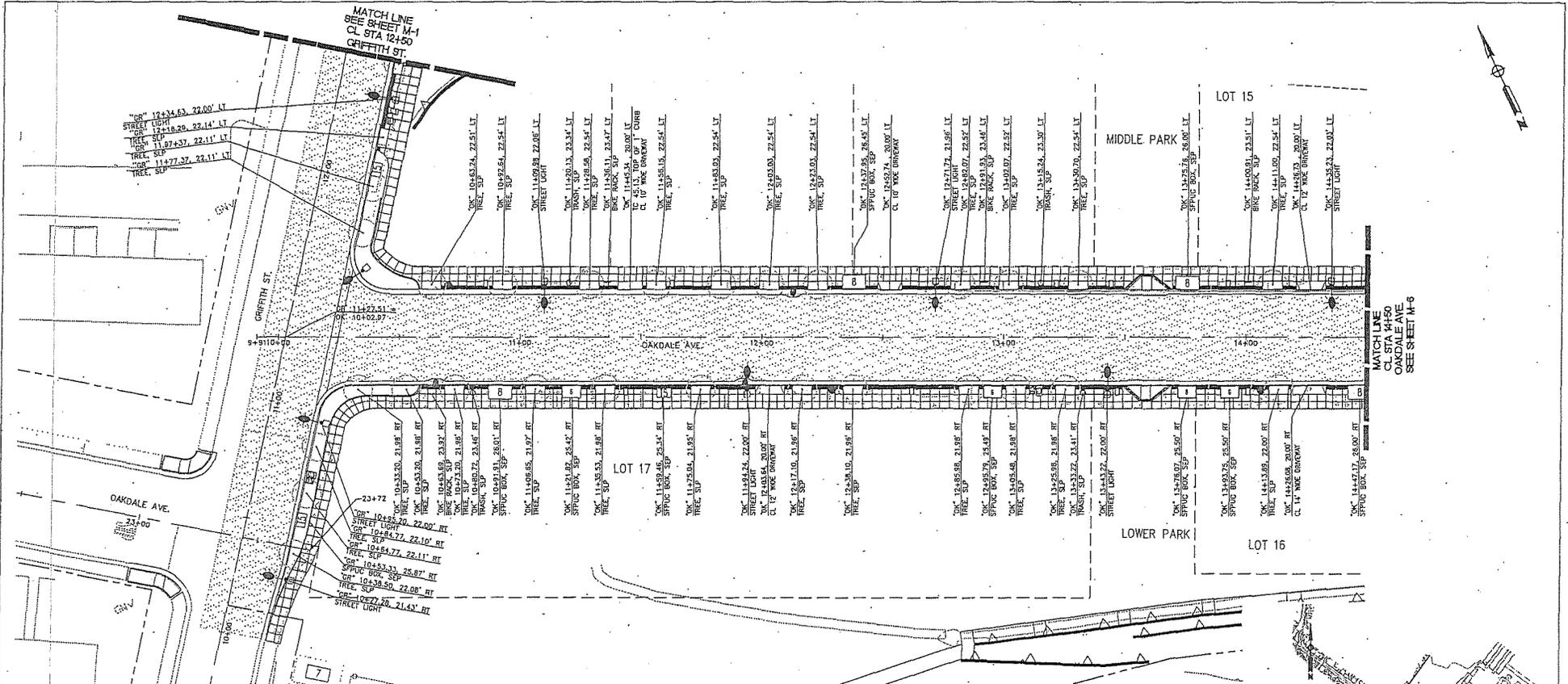
DESIGNED	DATE
CHECKED	
REVIEWED	
RECOMMENDED	
APPROVED	
DATE	

BKF
 ENGINEERS | ARCHITECTS | PLANNERS
 255 SHORELINE DRIVE, STE. 200
 REDWOOD CITY, CA 94065
 (650) 482-6200
 (650) 482-4398 (FAX)

LENNAR / BVHP
 49 STEVENSON STREET, SUITE 528
 SAN FRANCISCO, CALIFORNIA 94105

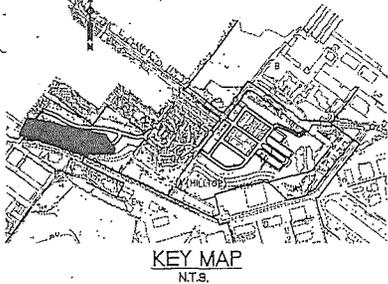
HUNTERS POINT SHIPYARD DEVELOPMENT PROJECT	
PARCEL A: INFRASTRUCTURE	
MATERIAL PLAN	
NAVY RD 62+00 TO CONFORM	

SCALE 1"=20'	
CONTRACT	DATE
SHEET	11-30-15
SHEETS	M-4

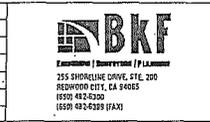
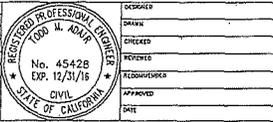


- NOTES:**
- FOR LEGEND AND NOTES, SEE SHEET GN-1 & GN-2
 - FOR LOT LINE STATION, DRIVEWAY LOCATIONS, CURB RAMP LOCATIONS AND TOP OF CURB ELEVATIONS, SEE SHEET L-13
 - FOR TRANSITION AND CONFORM AT GRIFFITH AND NAVY, SEE DETAIL 1 DRAWING CD-12
 - SSMH'S, WY'S, CB'S AND OTHER WET UTILITIES ON GRIFFITH ROAD WITHIN CONSTRUCTION AREA SHALL BE ADJUSTED TO FINISHED GRADE
 - REFER TO LS PLANS FOR SCORING LAYOUT AND DETAILING
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 - UTILITY BOXES ARE STATIONED TO THE MID POINT AT THE BACK OF THE BOX. TREE BOXES ARE STATIONED TO THE CENTER OF THE TREE BOX

- LEGEND FOR LAYOUTS**
- SEE TYP. SECTIONS FOR PAVEMENT STRUCTURAL SECTION
 - SIDEWALK/CURB RAMP/DRIVEWAY, SEE SHEETS (CD-2, CD-2A, AND CD-5 TO CD-9)
 - PAVERS, SEE SHEETS CD-1A TO CD-1D



NO.	DATE	DESCRIPTION	DESIGNED	CHECKED	APPROVED
1	11-30-15	COMPREHENSIVE HILLSIDE 19 19			
REVISIONS					

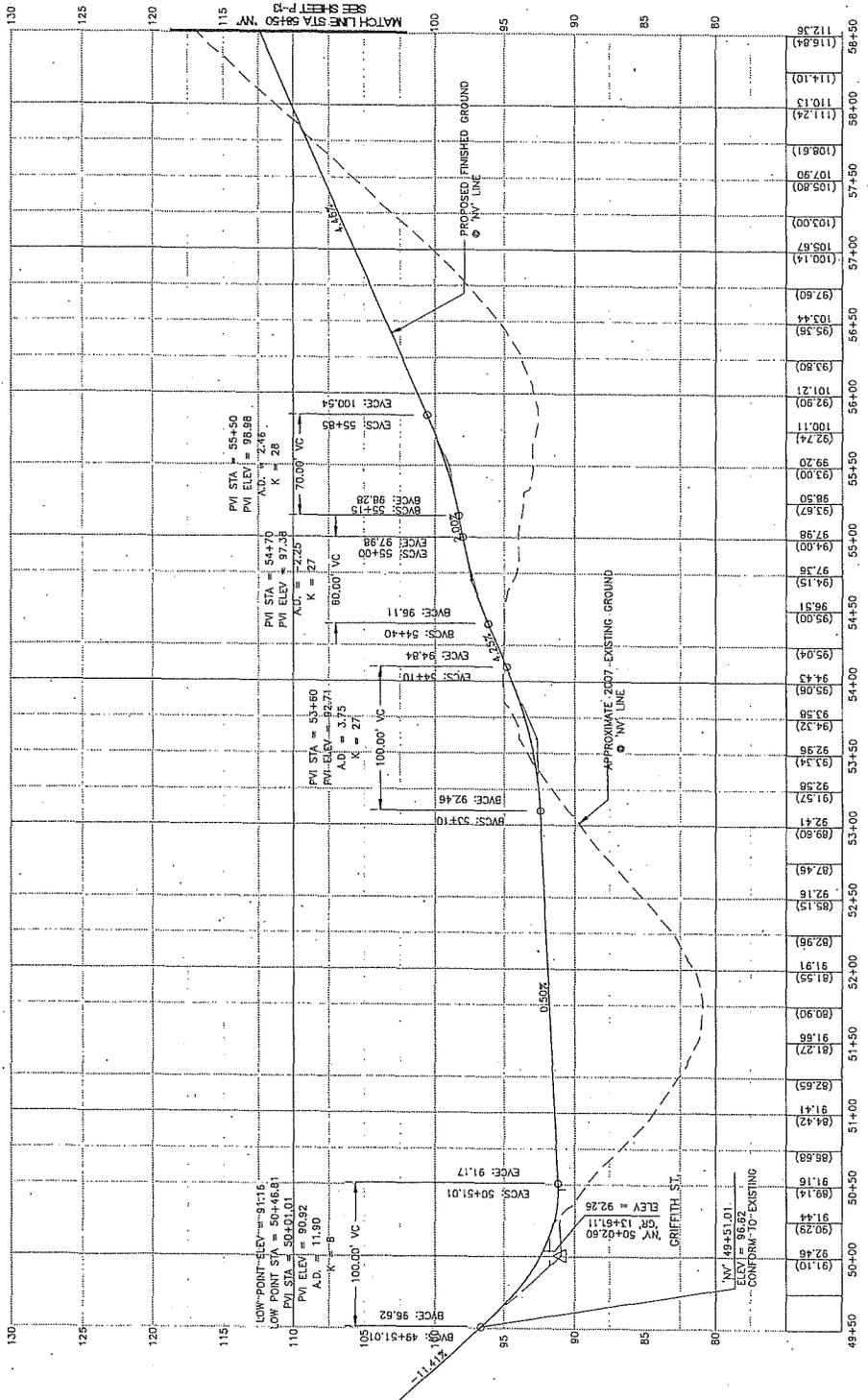


LENNAR / BVHP
 49 STEVENSON STREET, SUITE 525
 SAN FRANCISCO, CALIFORNIA 94105

HUNTERS POINT SHIPYARD DEVELOPMENT PROJECT
 PARCEL A' INFRASTRUCTURE

MATERIAL PLAN
 OAKDALE AVE. - "OK" STA 10+00 TO 14+50

SCALE: 1"=20'
 CONTRACT: 11-30-15
 SHEET: M-5



HUNTERS POINT SHIPYARD DEVELOPMENT PROJECT
PARCEL A' INFRASTRUCTURE
ROADWAY PROFILE
NAVY ROAD - NAVY STA 50+03.84 TO 59+00

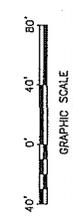
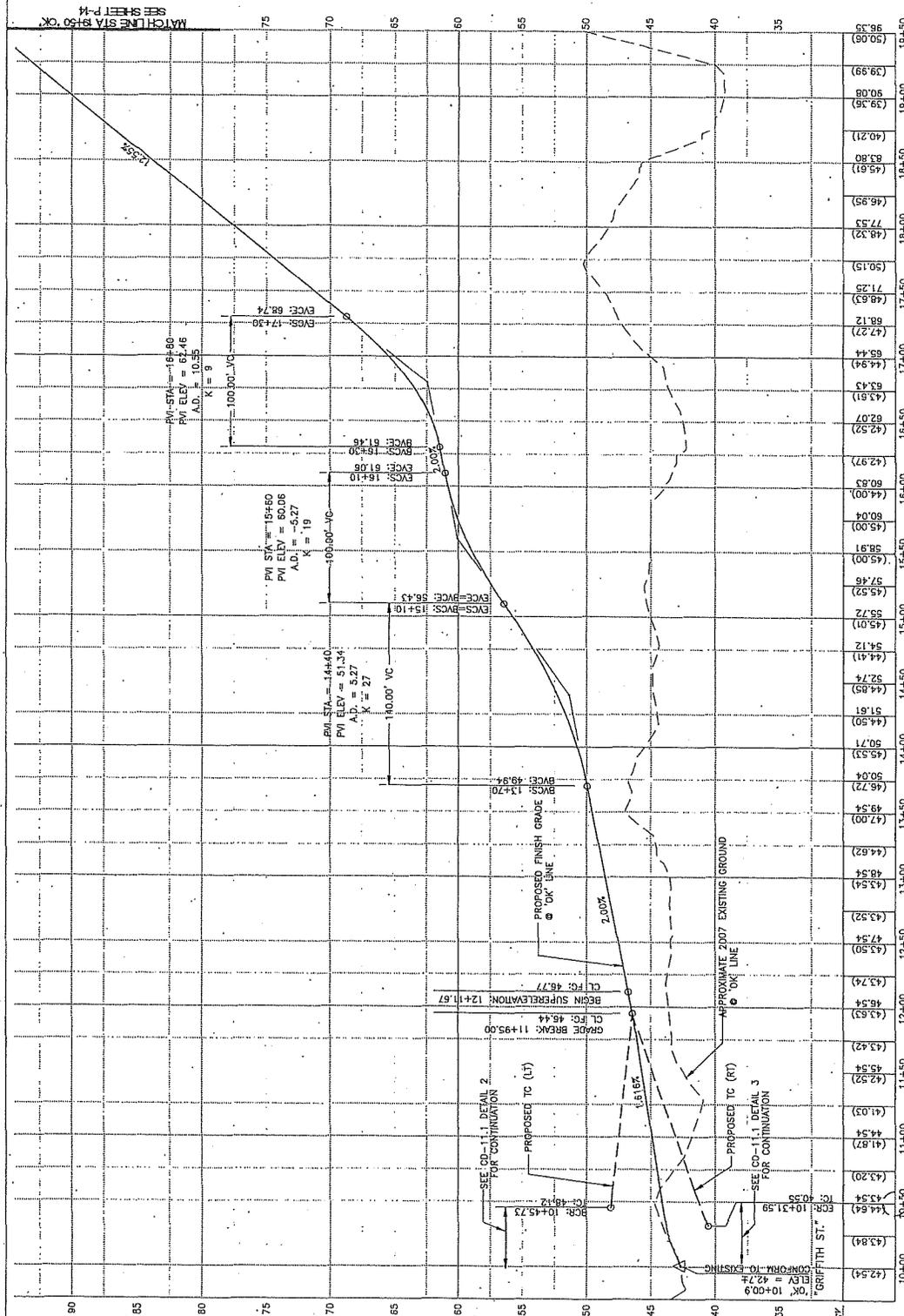
LENARR / BVHP
45 STEVENSON STREET, SUITE 525
SAN FRANCISCO, CALIFORNIA 94105

BKF
225 S. CALIFORNIA AVE., 4TH FLOOR
SAN FRANCISCO, CA 94105
415.774.2200

REVISIONS

NO.	DATE	REVISION	BY	CHKD
1	11-30-15	COMPREHENSIVE REVISION 18119	REVISOR	REVIEWER

DATE: 11-30-15
DRAWN: SAKT
CHECKED: SAKT
SCALE: AS SHOWN
PROJECT: HUNTERS POINT SHIPYARD DEVELOPMENT PROJECT
SHEET: 11-30-15
REVISED: 11-30-15

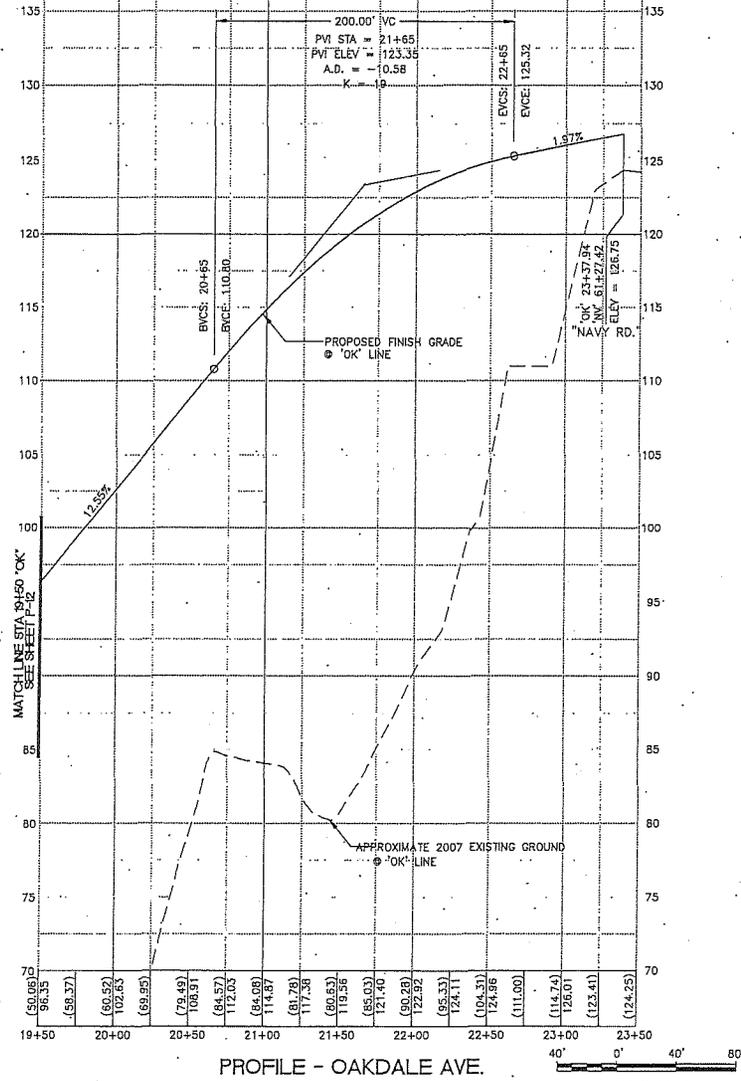


PROFILE - OAKDALE AV.

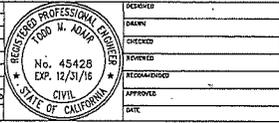
HUNTERS POINT SHIPYARD DEVELOPMENT PROJECT PARCEL A' INFRASTRUCTURE ROADWAY PROFILE OAKDALE AVENUE - 'OK' STA 10+04.03 TO 19+50		DATE: 11-30-15 DRAWN: P-12 SHEET: 7/8
LENNAR / BVHP 46 STEVENSON STREET, SUITE 305 SAN FRANCISCO, CALIFORNIA 94105		PROJECT NO.: 15-001-001 SHEET NO.: 7/8
BKF 255 SARGENT DRIVE, SUITE 200 REDWOOD CITY, CA 94061 (650) 962-8300 FAX		REGISTERED PROFESSIONAL ENGINEER STATE OF CALIFORNIA NO. 45438 EXPIRES 12/31/18
REVISIONS NO. DATE DESCRIPTION 1 11-30-15 COMPREHENSIVE RELEASE # 19		APPROVED: [Signature] DATE: 11/30/15

1862

CONTRACT NAME: 11-36-15 COMPREHENSIVE HILLSIDE 1B 19
 PROJECT DATE: 12-23-15
 DRAWN BY: M. ADAM
 CHECKED BY: M. ADAM
 DATE: 12-23-15



NO.	DATE	DESCRIPTION	REVISED	CHECKED	APPROVED
1	11-30-15	COMPREHENSIVE HILLSIDE 1B 19			
REVISIONS					



BKF
 BENTON & BOWEN / KIMLEY-HORN
 255 DUCHESNE DRIVE, 4TH FLOOR
 REDWOOD CITY, CA 94065
 (650) 462-6200
 (650) 462-6300 (FAX)

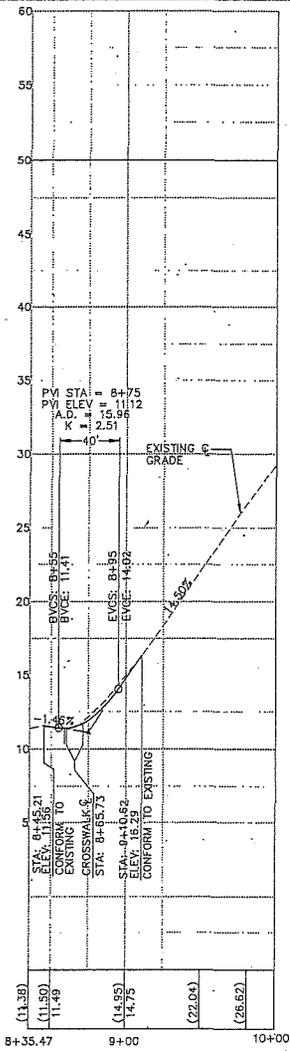
LENNAR / BVHP
 49 STEVENSON STREET, SUITE 925
 SAN FRANCISCO, CALIFORNIA 94105

HUNTERS POINT SHIPYARD DEVELOPMENT PROJECT
 PARCEL A' INFRASTRUCTURE

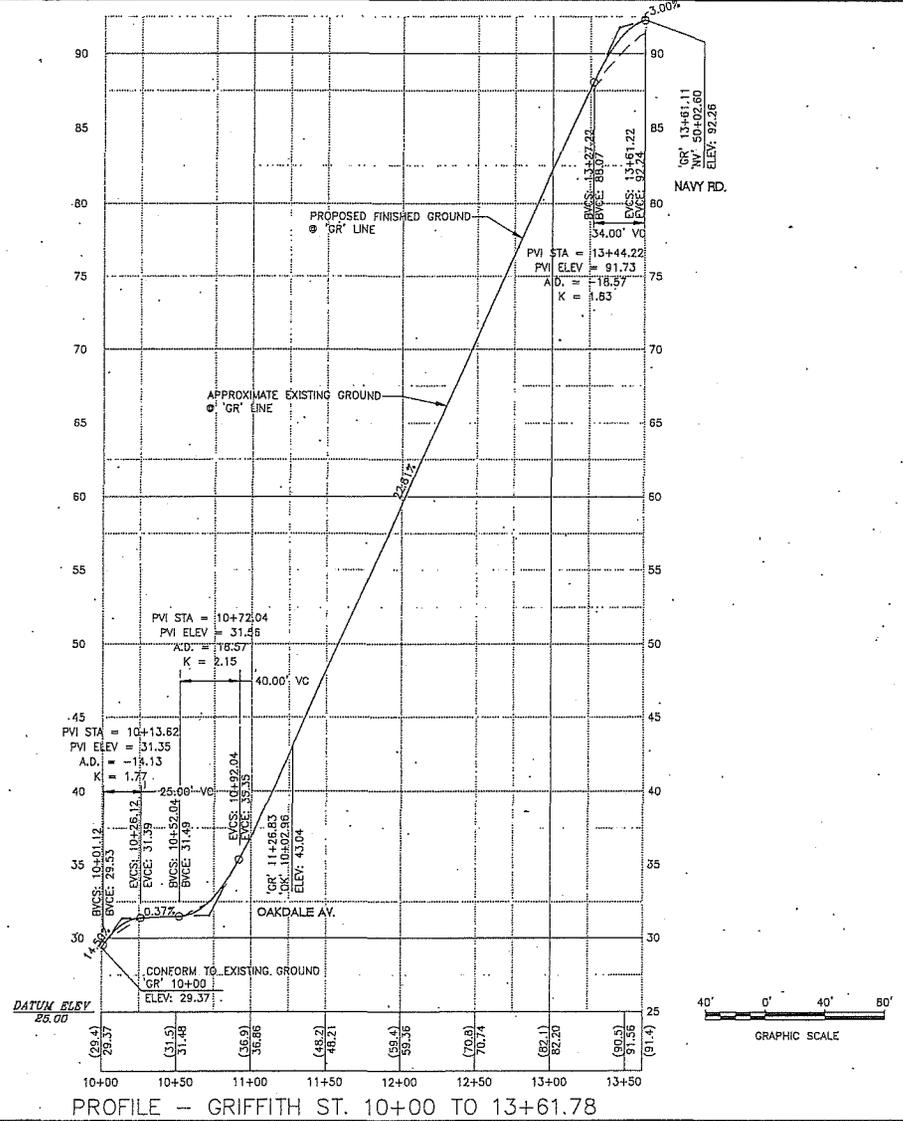
ROADWAY PROFILE
 OAKDALE AVENUE - 'OK' STA 19+50 TO 23+37.94

SCALE: HORIZ: 1" = 40'
 VERT: 1" = 4'

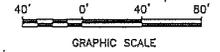
CONTRACT: 11-30-15
 DATE: 11-30-15
 SHEET: P-14
 DRAWING: P-14
 SHEETS:



PROFILE-GRIFFITH ST.
8+35.47 TO 10+00



PROFILE - GRIFFITH ST. 10+00 TO 13+61.78



NO.	DATE	DESCRIPTION	DESIGNED	CHECKED	APPROVED
1	11-30-18	COMPREHENSIVE HILLSIDE IB 19			
REVISIONS					

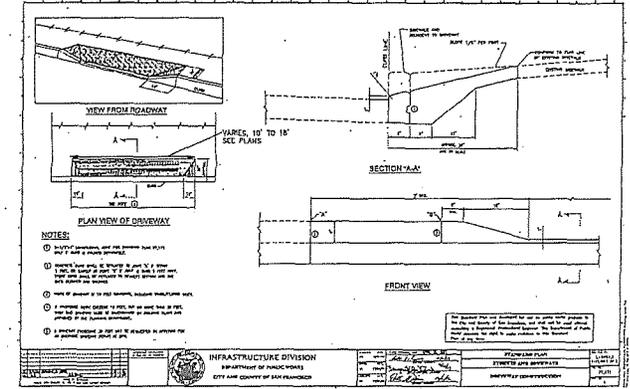
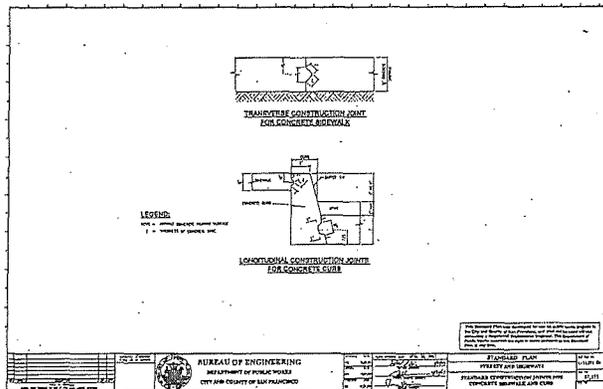
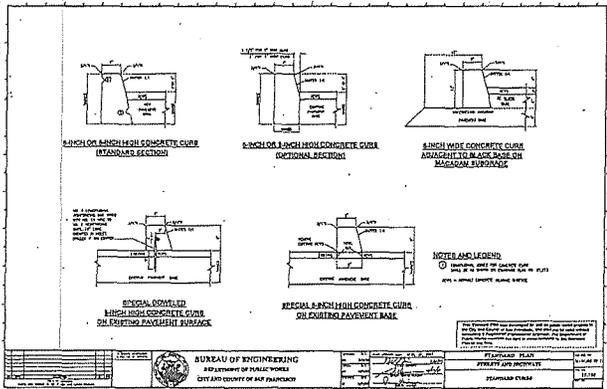
REGISTERED PROFESSIONAL ENGINEER
 No. 45428
 Exp. 12/31/15
 CIVIL
 STATE OF CALIFORNIA

BKF
 ENGINEERING & PLANNING
 255 SHIRAZ DRIVE, STE. 200
 REDWOOD CITY, CA 94065
 (650) 482-2200
 (650) 482-2008 (FAX)

LENNAR / BVHP
 49 STEVENSON STREET, SUITE 525
 SAN FRANCISCO, CALIFORNIA 94105

HUNTERS POINT SHIPYARD DEVELOPMENT PROJECT
 PARCEL A' INFRASTRUCTURE
ROADWAY PROFILE
 GRIFFITH STREET - 'GR' STA 8+35.47 TO 13+61.78

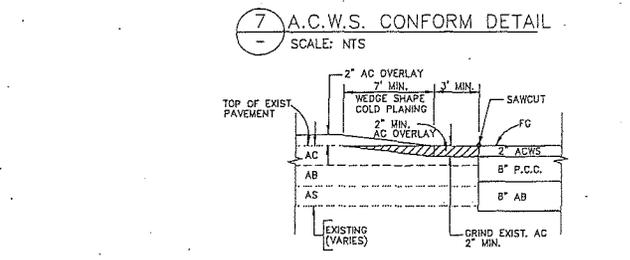
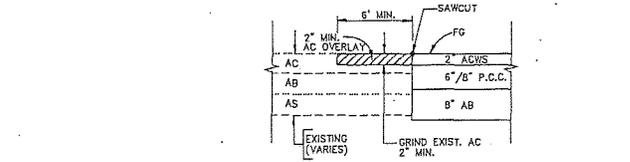
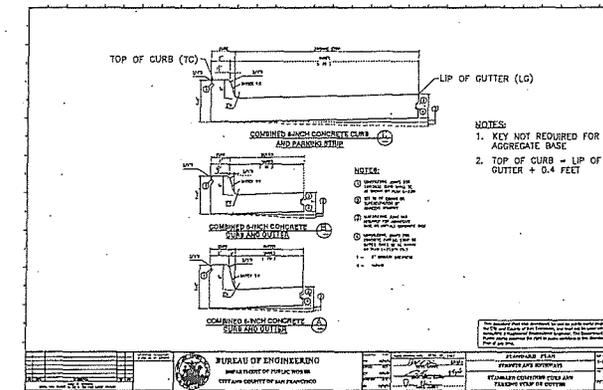
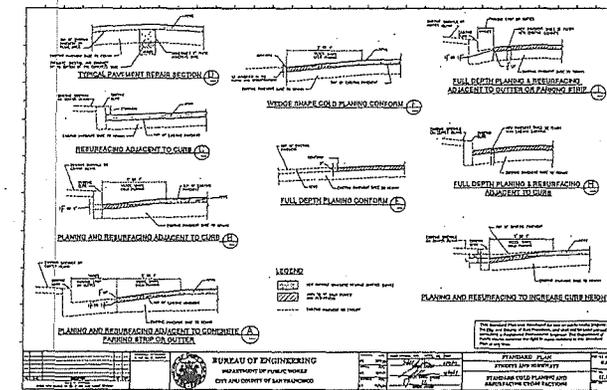
SCALE: HORIZ: 1" = 40'
 VERT: 1" = 4'
 CONTRACT: DATE: 11-30-15
 SHEET: DRAWING: P-16



2 6" CONCRETE CURB (Standard & Optional Section)
SCALE: NTS

4 STANDARD CONSTRUCTION JOINTS FOR CONCRETE SIDEWALK & CURB
SCALE: NTS

5 6 TYPICAL DRIVEWAY CONSTRUCTION & TYPICAL AUTOMOBILE RUNWAY
SCALE: NTS



1 CONFORM DETAILS
SCALE: NTS

3 STANDARD COMBINED CURB & GUTTER
SCALE: NTS

7 A.C.W.S. CONFORM DETAIL
SCALE: NTS

8 PAVEMENT SECTION CONFORM WITH AC OVERLAY
SCALE: NTS

1865

11-30-15

NO.	DATE	DESCRIPTION	REVISED	CHECKED	APPROVED
1	11-30-15	COMPREHENSIVE HILLSIDE 1B 19			

REGISTERED PROFESSIONAL ENGINEER
FRED M. ADAM
 No. 45428
 EXP. 12/31/16
 CIVIL
 STATE OF CALIFORNIA

BKF
 ENGINEERING | DESIGN | PLANNING | PROGRAM
 255 SHORELINE DRIVE, STE. 200
 REDWOOD CITY, CA 94065
 (650) 482-4300
 (650) 492-8399 (FAX)

LENNAR / BVHP
 48 STEVENSON STREET, SUITE 525
 SAN FRANCISCO, CALIFORNIA 94105

HUNTERS POINT SHIPYARD DEVELOPMENT PROJECT
 PARCEL A' INFRASTRUCTURE
CONSTRUCTION DETAILS
 ROADWAY DETAILS

SCALE: NO SCALE
 CONTRACT: DATE: 11-30-15
 SHEET: EMPHIS
 CD-1

TRANSVERSE CONSTRUCTION JOINT
-SEE SFDPW FILE NO. 87,173

CONCRETE PAVING
-SEE SFDPW STANDARD SPECIFICATION PART 2, SECTIONS 200 AND 204 FOR ADDITIONAL INFORMATION.

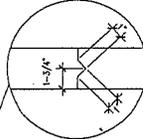
AGGREGATE BASE
-SEE SFDPW STANDARD SPECIFICATION PART 2, SECTIONS 200, 204, AND 205 FOR ADDITIONAL INFORMATION.

COMPACTED SUBGRADE
-SEE SFDPW STANDARD SPECIFICATION PART 2, SECTIONS 200 AND 204 FOR ADDITIONAL INFORMATION.

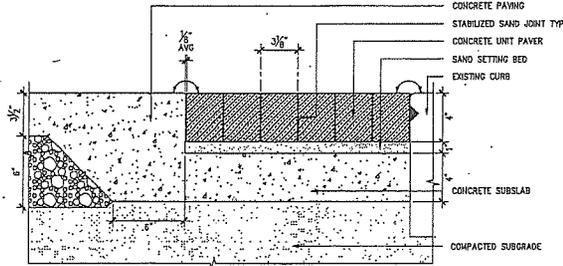
CONTRACTION JOINT
-SAW-CUT OR TOOLED
-1/4" SLAB DEPTH
-1/4" WIDE MAXIMUM
-SEE SFDPW FILE NO. 86,608 FOR ADDITIONAL INFORMATION

SEE SFDPW FILE NO. 86,608 FOR REINFORCED SIDEWALK PLAN.

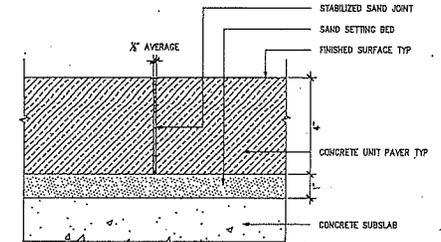
TRANSVERSE CONSTRUCTION JOINT



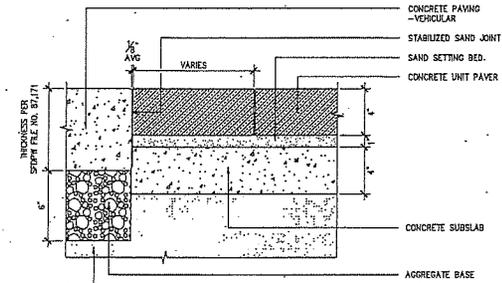
1 SIDEWALK PAVING
SCALE: NTS



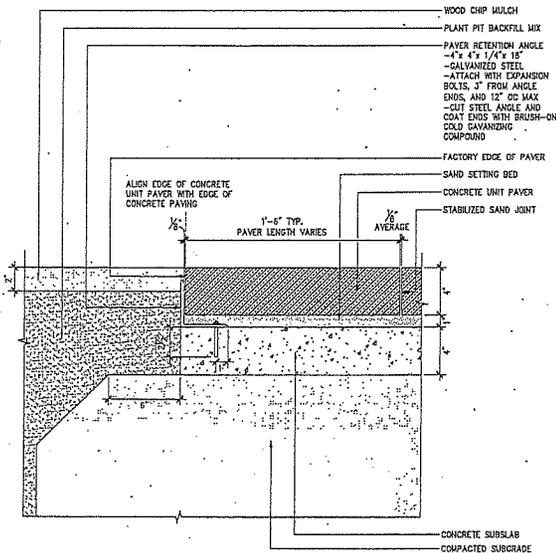
2 STABILIZED SAND JOINT AT CONCRETE UNIT PAVER
SCALE: NTS



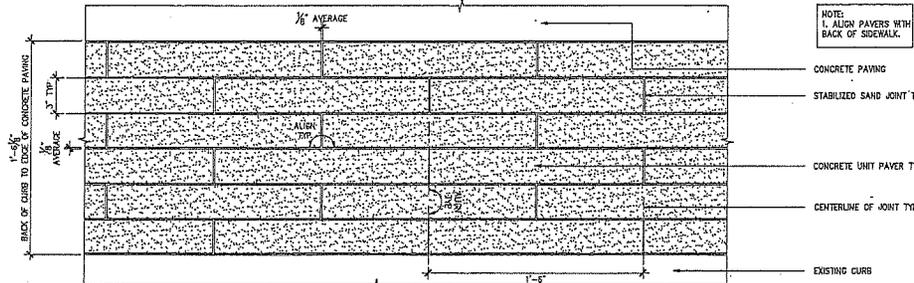
3 STABILIZED SAND JOINT AT CONCRETE UNIT PAVER
SCALE: NTS



4 CONCRETE UNIT PAVERS AT VEHICULAR PAVING
SCALE: NTS



5 PAVER AT RETENTION ANGLE
SCALE: NTS



6 CONCRETE UNIT PAVER LAYOUT
SCALE: NTS

GRANTED UNDER P.L. 86-36 (44 USC 3402) BY THE ARCHITECTURAL RECORD COMPANY, INC. 15-30-15

NO.	DATE	DESCRIPTION	REVISED	CHECKED	APPROVED
1	11-30-15	COMPREHENSIVE HILLSIDE 19 19			
REVISIONS					

REGISTERED PROFESSIONAL ENGINEER
 1000 U.S. HIGHWAY
 No. 45428
 Exp. 12/31/16
 CIVIL
 STATE OF CALIFORNIA

BKF
 BAKER | KIMMEL | FARRINGTON
 235 SHORBLING DRIVE, STE. 200
 REDWOOD CITY, CA 94063
 (650) 462-6100
 (650) 462-6109 (FAX)

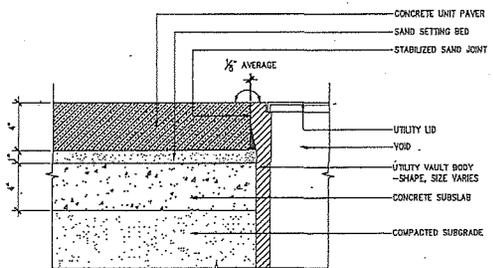
LENNAR / BVHP
 49 STEVENSON STREET, SUITE 525
 SAN FRANCISCO, CALIFORNIA 94105

HUNTERS POINT SHIPYARD DEVELOPMENT PROJECT
 PARCEL A' INFRASTRUCTURE
 CONSTRUCTION DETAILS
 ROADWAY DETAILS

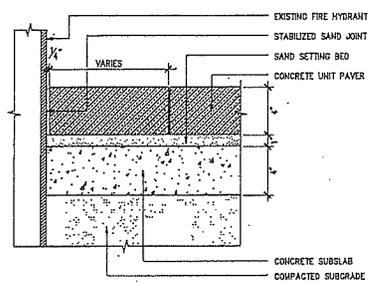
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CONTRACT	DATE
	11-30-15
SHEET	DRAWING
10	CD-1A
OF	SHEETS

1868

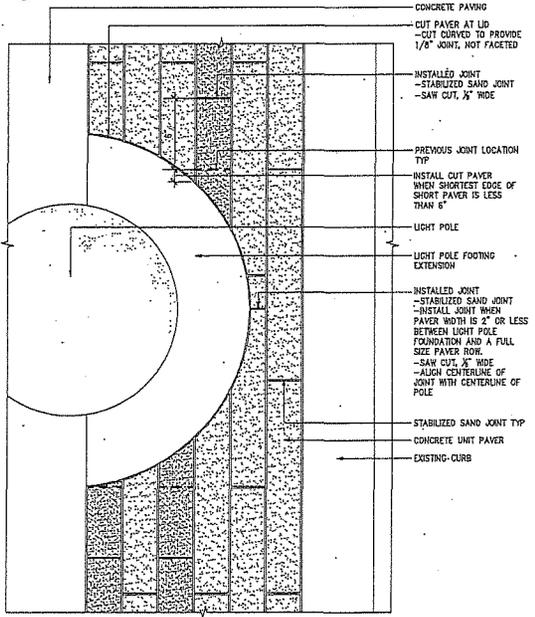
CLIENT'S NAME: 151001541 02/07/2016 02/07/2016 02/07/2016 02/07/2016 02/07/2016 02/07/2016 02/07/2016 02/07/2016 02/07/2016 02/07/2016
 PROJECT NAME: 151001541 02/07/2016 02/07/2016 02/07/2016 02/07/2016 02/07/2016 02/07/2016 02/07/2016 02/07/2016 02/07/2016
 DRAWING NO.: 151001541 02/07/2016 02/07/2016 02/07/2016 02/07/2016 02/07/2016 02/07/2016 02/07/2016 02/07/2016 02/07/2016



1 CONCRETE UNIT PAVERS AT VENTS & CLEANOUTS
SCALE: NTS

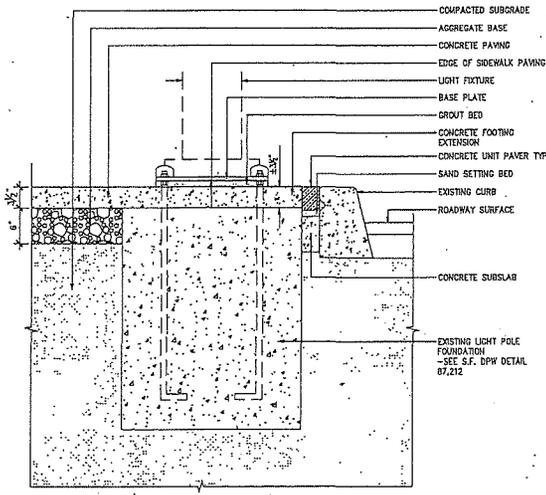


2 CONCRETE UNIT PAVERS AT FIRE HYDRANT
SCALE: NTS



NOTE:
 1. JOINT LAYOUT VARIES
 2. INSTALLED JOINT ALSO APPLIES BETWEEN LIGHT POLE FOOTING EXTENSION AND BACK OF CURB.

3 INSTALLED PAVER JOINT AT LIGHT POLE
SCALE: NTS



NOTE: FOR CONDITION OF FOUNDATION FOR STREET LIGHT IN UNPAVED AREA, SEE S.F. DPW DETAIL 07.212

4 LIGHT POLE AT CONCRETE UNIT PAVING AND CONCRETE PAVING
SCALE: NTS

NO.	DATE	DESCRIPTION	REVISIONS
1	11-30-14	COMPREHENSIVE HILLSIDE IB 19	

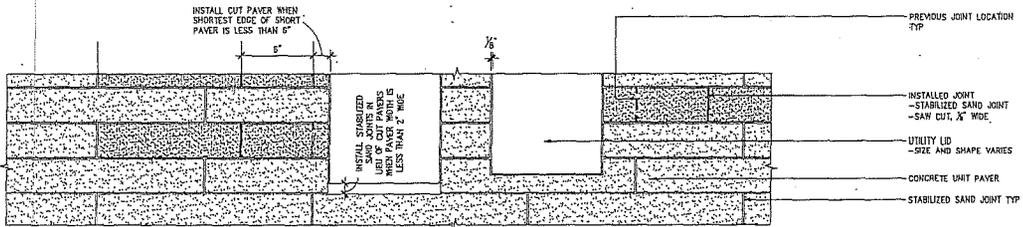
REGISTERED PROFESSIONAL ENGINEER
 No. 45428
 EXP. 12/31/16
 CIVIL
 STATE OF CALIFORNIA

Bkf
 ENGINEERING | ARCHITECTURE | PLANNING
 255 BROADWAY DRIVE, STE. 200
 FORTWOOD CITY, CA 94038
 (925) 462-8200
 (925) 462-8208 (FAX)

LENNAR / BVHP
 49 STEVENSON STREET, SUITE 525
 SAN FRANCISCO, CALIFORNIA 94105

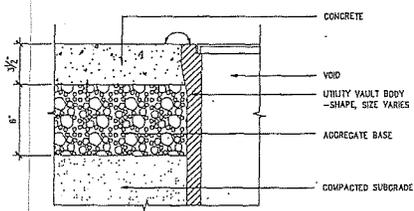
HUNTERS POINT SHIPYARD DEVELOPMENT PROJECT
 PARCEL A' INFRASTRUCTURE
CONSTRUCTION DETAILS
 ROADWAY DETAILS

SCALE	NO SCALE
CONTRACT	DATE 11-30-15
SHEET	BEARING
OF	CD-1C
SHEETS	

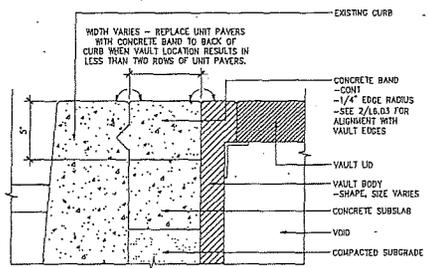


NOTE: INSTALL FACTORY EDGE SIDE OF CUT PAVER ALONG EXPOSED EDGES. INSTALL CUT SIDE OF PAVER TOWARDS PAVING FIELD.

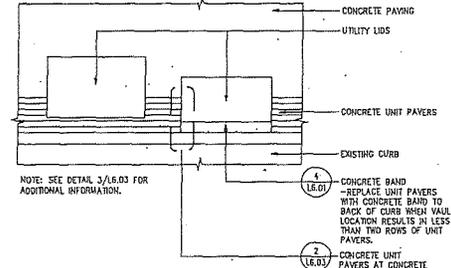
1 CONCRETE UNIT PAVERS AT RECTANGULAR UTILITY LID
SCALE: NTS



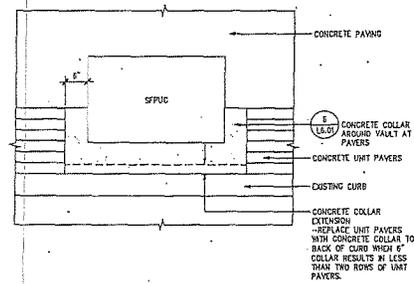
2 CONCRETE PAVING AT UTILITY VAULT
SCALE: NTS



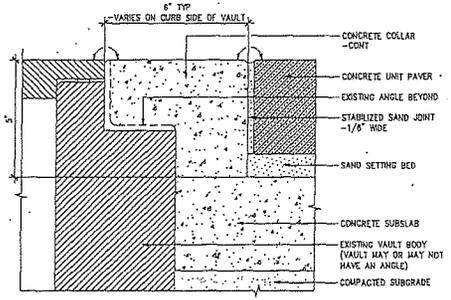
3 CONCRETE BAND AT UTILITY VAULT - SECTION
SCALE: NTS



4 CONCRETE BAND AT UTILITY VAULT
SCALE: NTS



5 CONCRETE COLLAR AT SFPUC VAULT
SCALE: NTS



6 CONCRETE COLLAR AT SFPUC VAULT - SECTION
SCALE: NTS

1869

SUBMITTED UNDER: 11-30-15 COMPREHENSIVE HILLSIDE IB 19 PROJECT CASE: 11-30-15 PROJECTED BY: 11-30-15

NO.	DATE	DESCRIPTION	REVISED	CHECKED	APPROVED
1	11-30-15	COMPREHENSIVE HILLSIDE IB 19			

REVISIONS



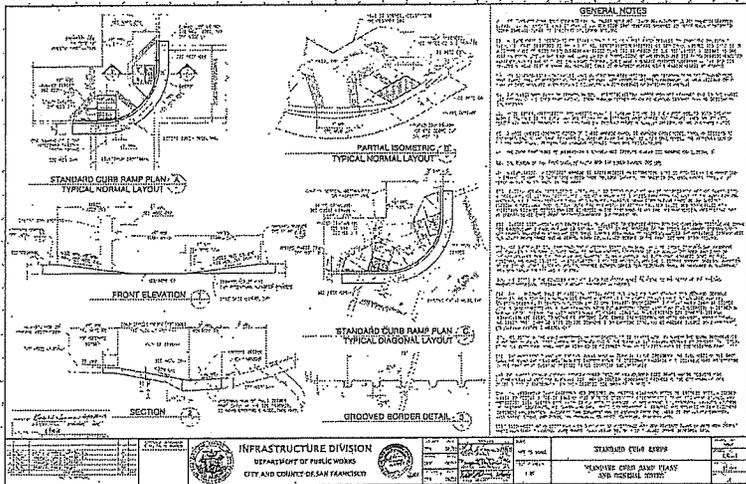
DESIGNED	
DRAWN	
CHECKED	
REVIEWED	
FOOTNOTED	
APPROVED	
SITE	



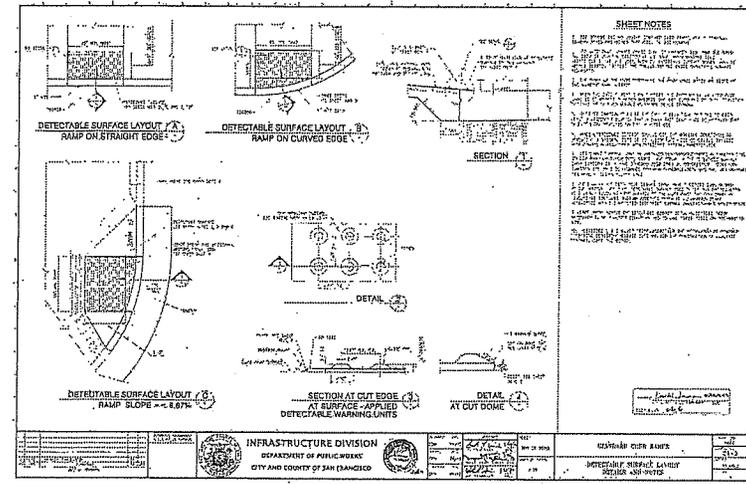
LENNAR / BVHP
49 STEVENSON STREET, SUITE 525
SAN FRANCISCO, CALIFORNIA 94105

HUNTERS POINT SHIPYARD DEVELOPMENT PROJECT
PARCEL A' INFRASTRUCTURE
CONSTRUCTION DETAILS
ROADWAY DETAILS

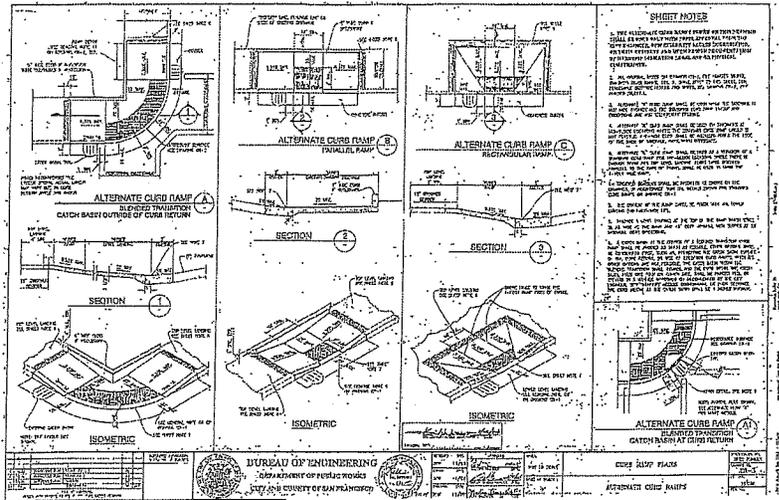
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CONTRACT	11-30-15
SHEET	DRAWING
CD	CD-1D



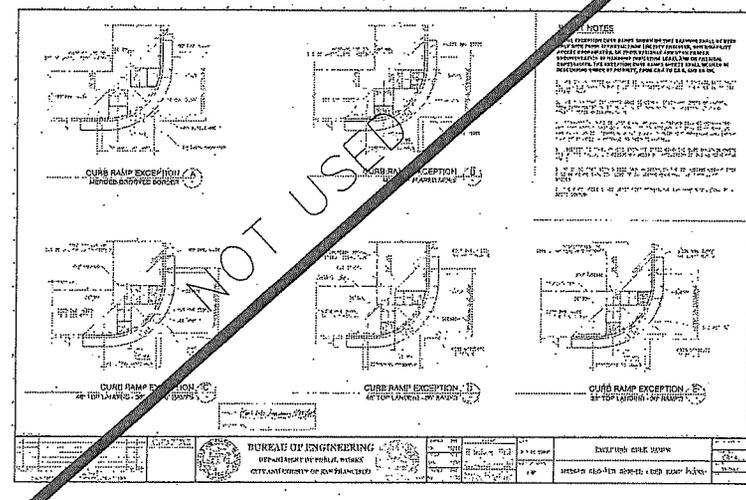
1 TYPICAL DOUBLE CURB RAMP LAYOUT



2 DETECTABLE SURFACE LAYOUT



3 ALTERNATE CURB RAMPS (PARALLEL & RECTANGULAR)



4 TYPICAL MERGED GROOVED BORDER CURB RAMP LAYOUT

1870

11-30-19 COMPREHENSIVE HILLSIDE IB 19
 NO. DATE DESCRIPTION REVISED CHECKED APPROVED
 REVISIONS

NO.	DATE	DESCRIPTION	REVISED	CHECKED	APPROVED
1	11-30-19	COMPREHENSIVE HILLSIDE IB 19			

REGISTERED PROFESSIONAL ENGINEER
 1950 U. ADMIN.
 No. 45428
 Exp. 12/31/18
 CIVIL
 STATE OF CALIFORNIA

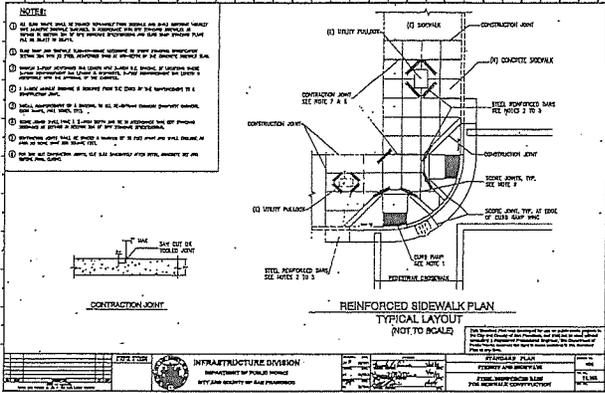
BKF
 CONSULTING ENGINEERS
 235 SHREVEBURG DRIVE, STE. 300
 REDWOOD CITY, CA 94065
 (650) 462-6200
 (650) 462-6308 (FAX)

DESIGNED: _____
 DRAWN: _____
 CHECKED: _____
 REVISIONS: _____
 FIELDWORKED: _____
 APPROVED: _____
 DATE: _____

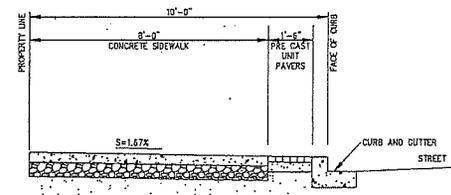
LENNAR / BVHP
 49 STEVENSON STREET, SUITE 525
 SAN FRANCISCO, CALIFORNIA 94105

HUNTERS POINT SHIPYARD DEVELOPMENT PROJECT
 PARCEL A' INFRASTRUCTURE
CONSTRUCTION DETAILS
 CURB RAMP DETAILS

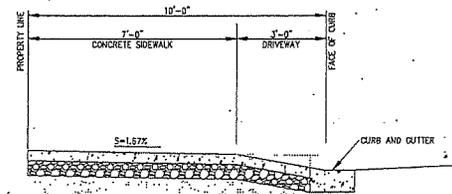
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SHEET	DRAWING
SHEETS	CD-2



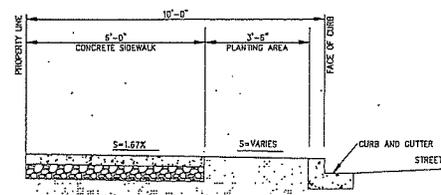
1 STEEL REINFORCED BARS FOR SIDEWALK CONSTRUCTION
SCALE: NTS



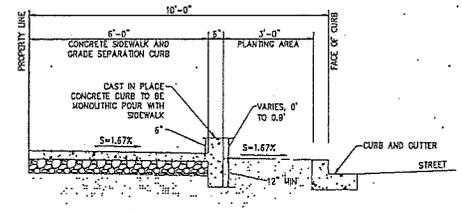
2 TYPICAL SECTION - SIDEWALK
SCALE: NTS



3 TYPICAL SECTION - SIDEWALK AT DRIVEWAYS
SCALE: NTS



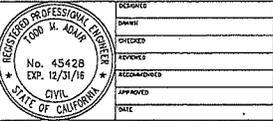
4 TYPICAL SECTION - SIDEWALK WITH PLANTING AREA
SCALE: NTS



5 TYPICAL SECTION - INTERMEDIATE CURB
SCALE: NTS

NOTE:
TYPICAL SECTION AT FUTURE ACCESSIBLE ENTRANCES WHERE INTERMEDIATE CURBS ARE NECESSARY. SEE SHEET CD-59 FOR SECTIONS FOR THE INTERMEDIATE CURB SOUTH OF NAVY ROAD FROM 'N' STA 61+70 TO 'N' STA 63+80.

NO.	DATE	DESCRIPTION	REVISED	CHECKED	APPROVED
1	7-30-15	COMPREHENSIVE HILLSIDE 1B 19			

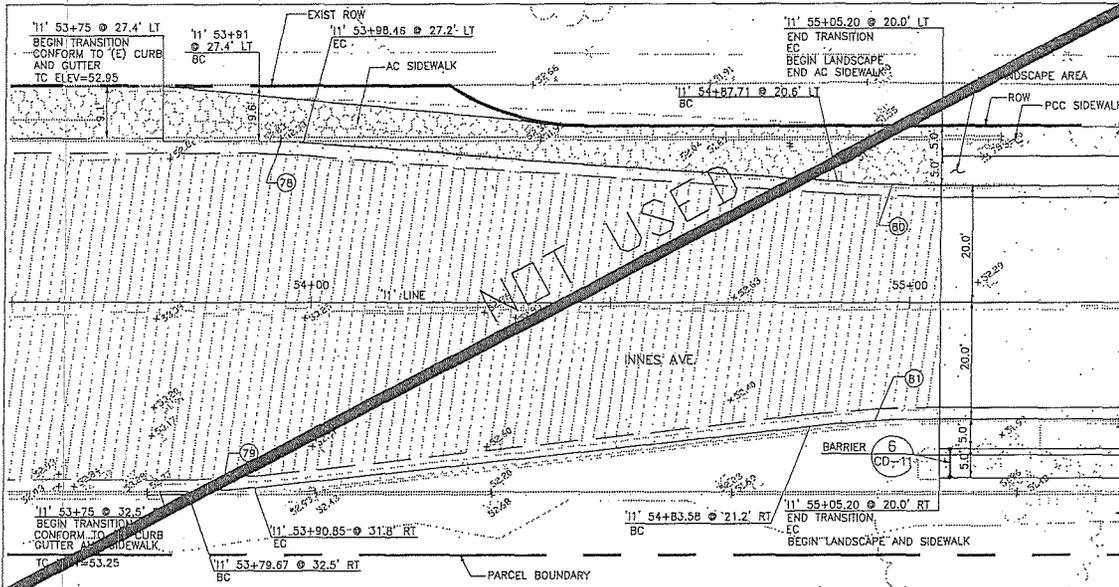


BKF
BKF
255 SHORELINE DRIVE, STE. 200
REDFORD CITY, CA 94665
(925) 492-5033
1800 462-8289 (FAX)

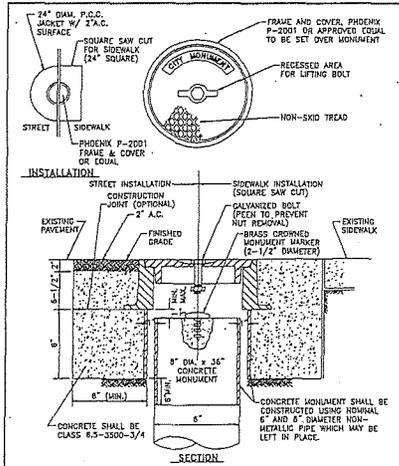
LENNAR / BVHP
49 STEVENSON STREET, SUITE 525
SAN FRANCISCO, CALIFORNIA 94108

HUNTERS POINT SHIPYARD DEVELOPMENT PROJECT
PARCEL 'A' INFRASTRUCTURE
CONSTRUCTION DETAILS
CURB RAMP DETAILS

SCALE	NO SCALE
CONTRACT	DATE
	11-30-15
SHEET	DATE
	07/30/15
BY	DATE
	07/30/15
PROJECT	CD-2B



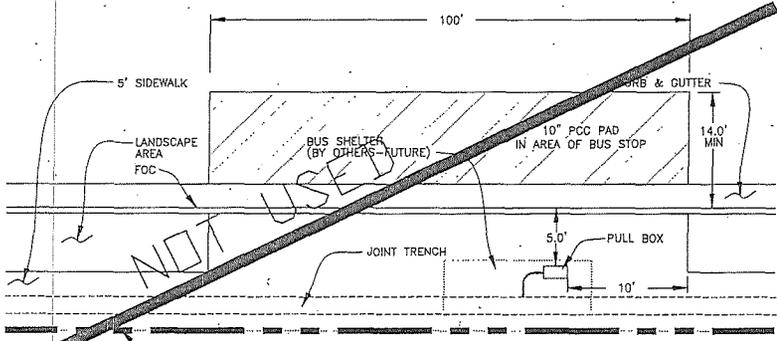
CURVE DATA					
CURVE	RADIUS	LENGTH	TANGENT	CHORD	DELTA
78	100.00'	7.46'	3.73'	7.46'	04°16'24"
79	100.00'	11.20'	5.61'	11.20'	06°25'08"
80	240.00'	17.51'	8.76'	17.51'	04°10'53"
81	190.00'	21.60'	10.81'	21.60'	06°30'46"



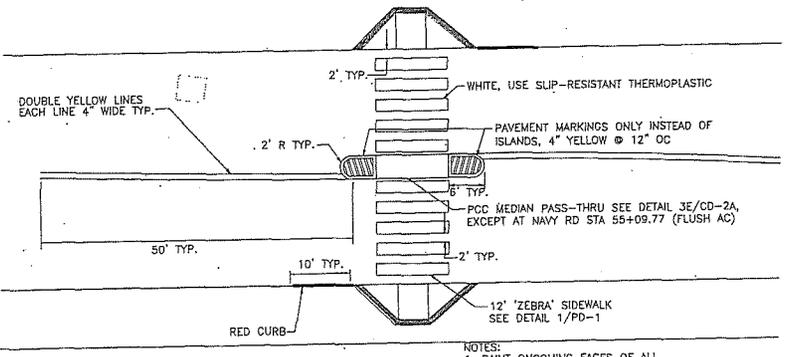
3 SURVEY STREET MONUMENT
SCALE: NTS

- NOTES: 1. FOR GENERAL LEGEND AND ABBREVIATION, SEE SHEET GN-2
2. FOR LAYOUT LEGEND, NOTES AND ABBREVIATION, SEE SHEET L-1

1 TRANSITION & CONFORM DETAIL AT INNES AVE. STA 53+75
SCALE: 1"=10'



2 TYPICAL BUS STOP
SCALE: NTS



- NOTES:
1. PAINT ONCOMING FACES OF ALL TRAFFIC-CALMING ISLAND CURBS WITH REFLECTIVE PAINT APPROVED BY CITY
2. SEE PD-5 FOR SIGNAGE
3. FOR CONCRETE TRAFFIC ISLAND, SEE CCF 87.172

4 TYPICAL ISLAND / PAVEMENT MARKINGS
L-12, L-13
SCALE: NTS

NO.	DATE	DESCRIPTION	REVISED	CHECKED	APPROVED
1	11-30-18	COMPREHENSIVE HILLSIDE 19			

REGISTERED PROFESSIONAL ENGINEER
TODD M. ADAMS
No. 45428
EXP. 12/31/16
CIVIL
STATE OF CALIFORNIA

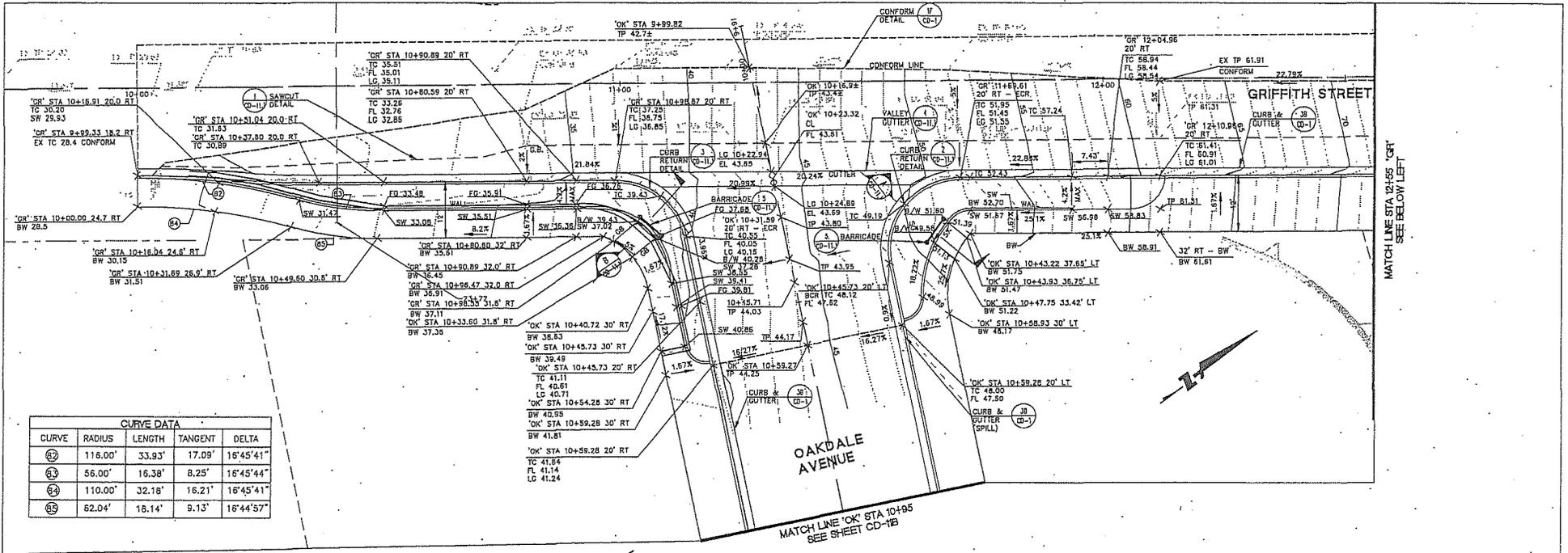
BKF
ENGINEERING | DESIGN | PLANNING
355 SHORELINE DRIVE, STE. 200
REDWOOD CITY, CA 94065
650.482.6300
(650) 482.6399 (FAX)

LENNAR / BVHP
49 STEVENSON STREET, SUITE 525
SAN FRANCISCO, CALIFORNIA 94105

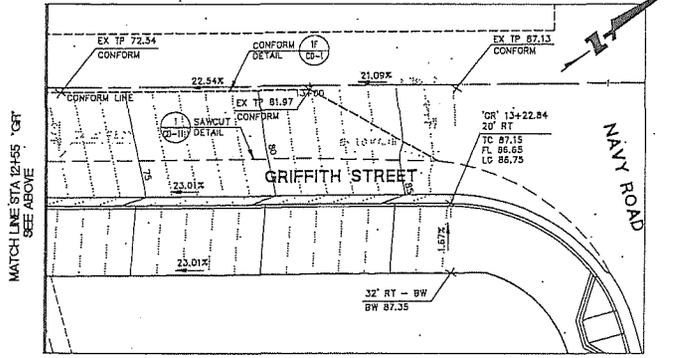
HUNTERS POINT SHIPYARD DEVELOPMENT PROJECT
PARCEL A' INFRASTRUCTURE

CONSTRUCTION DETAILS

SCALE: 1"=10'
CONTRACT: DATE: 11-30-15
SHEET: DRAWING:
CD-10
SHEET



CURVE DATA				
CURVE	RADIUS	LENGTH	TANGENT	DELTA
62	116.00'	33.93'	17.09'	16°45'41"
63	56.00'	16.38'	8.25'	16°45'44"
64	110.00'	32.18'	16.21'	16°45'41"
65	82.04'	18.14'	9.13'	16°44'57"



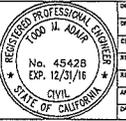
1 TRANSITION, CONFORM AT GRIFFITH STREET AND OAKDALE AVENUE
SCALE : 1"=10'

- NOTES:
1. FOR GENERAL LEGEND AND ABBREVIATION, SEE SHEET GN-2
 2. FOR LAYOUT LEGEND, NOTES AND ABBREVIATION, SEE SHEET L-1
 3. CONTRACTOR TO PROVIDE SHOP DRAWING FOR CITY APPROVAL.



DRAWING NUMBER: 11-30-15 CD-11
 PROJECT: HUNTERS POINT SHIPYARD DEVELOPMENT PROJECT
 SHEET: CONSTRUCTION DETAILS
 DATE: 11/30/15

NO.	DATE	DESCRIPTION	DESIGNED	CHECKED	APPROVED
1	11-30-15	COMPREHENSIVE HALSIDE 1B 19			
REVISIONS					



BKF
 BUREAU OF KIMBLE FLEMING
 255 SHORELINE DRIVE, STE. 200
 REDWOOD CITY, CA 94065
 (650) 462-8300
 (650) 462-8300 (FAX)

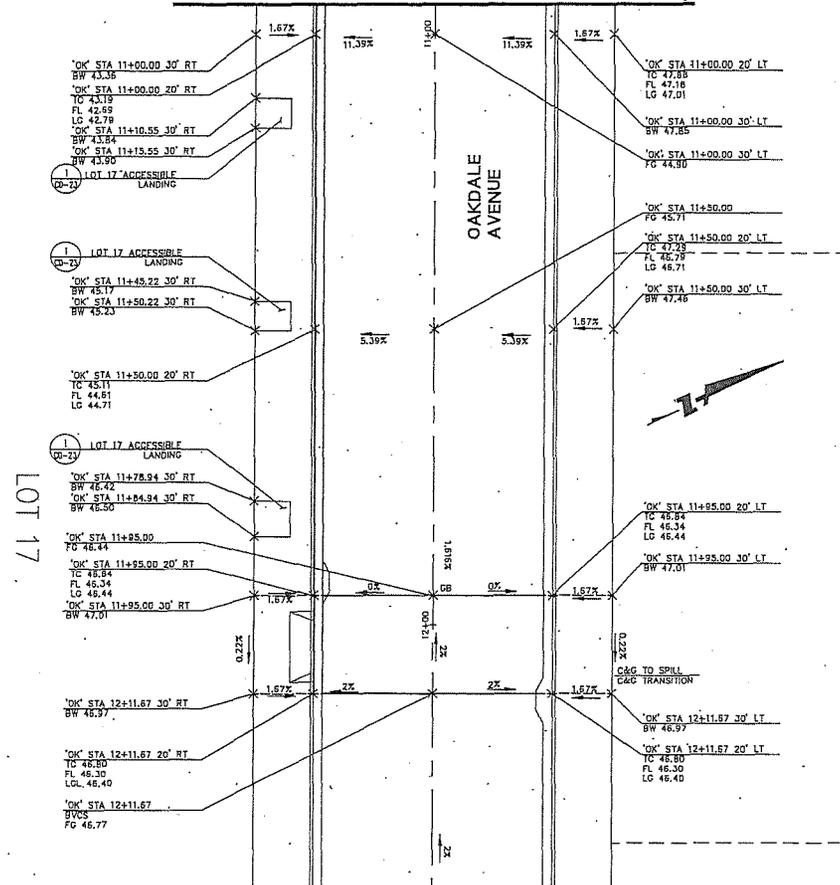
LENNAR / BVHP
 49 STEVENSON STREET, SUITE 625
 SAN FRANCISCO, CALIFORNIA 94105

HUNTERS POINT SHIPYARD DEVELOPMENT PROJECT
 PARCEL A' INFRASTRUCTURE
CONSTRUCTION DETAILS

SCALE	AS SPECIFIED
CONTRACT	DATE
	11-30-15
SHEET	DRAWING
	CD-11

1878

MATCH LINE 'OK' STA 10+95
SEE SHEET CD-11

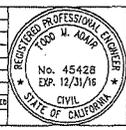


1 TRANSITION, CONFORM AT OAKDALE AVENUE
SCALE : 1"=10'



DRAWN BY: [Name] CHECKED BY: [Name] DATE: 11-30-15
 PROJECT: HUNTERS POINT SHIPYARD DEVELOPMENT PROJECT
 SHEET: CD-11B

NO.	DATE	DESCRIPTION	REVISED	CHECKED	APPROVED
1	11-30-15	COMPREHENSIVE HILLSIDE IS 19			



DESIGNED	DATE
DRAWN	DATE
CHECKED	DATE
REVIEWED	DATE
RECOMMENDED	DATE
APPROVED	DATE

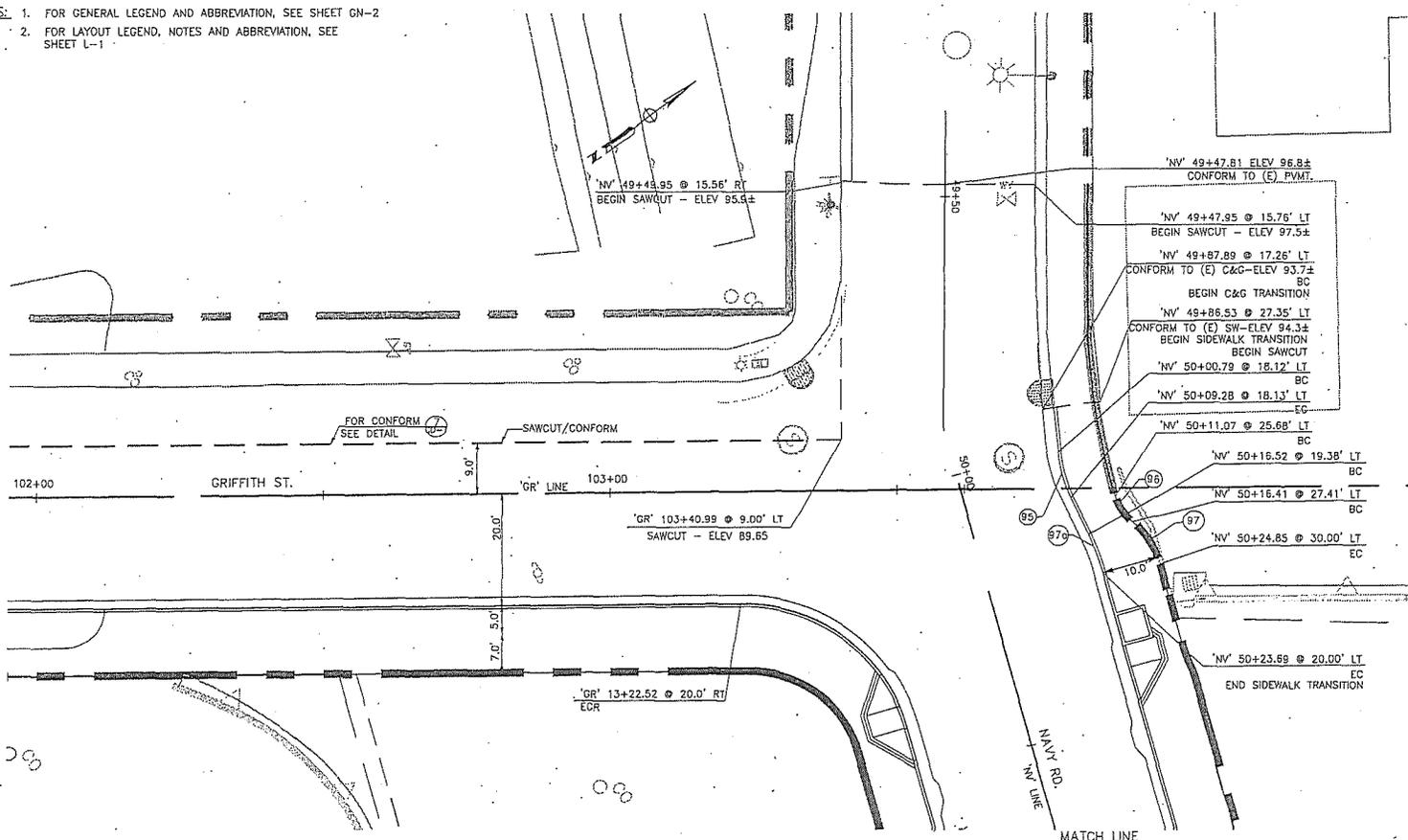


LENNAR / BVHP
49 STEVENSON STREET, SUITE 525
SAN FRANCISCO, CALIFORNIA 94105

HUNTERS POINT SHIPYARD DEVELOPMENT PROJECT
PARCEL A' INFRASTRUCTURE
CONSTRUCTION DETAILS

SCALE	AS SPECIFIED
CONTRACT	DATE
DRAWN	DATE
CHECKED	DATE
APPROVED	DATE
CD-11B	

- NOTES: 1. FOR GENERAL LEGEND AND ABBREVIATION, SEE SHEET GN-2
 2. FOR LAYOUT LEGEND, NOTES AND ABBREVIATION, SEE SHEET L-1



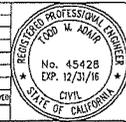
1 TRANSITION AND CONFORM DETAIL AT GRIFFITH AND NAVY RD.
 SCALE: 1"=10'

CURVE DATA					
CURVE	RADIUS	LENGTH	TANGENT	CHORD	DELTA
65	25.00'	8.53'	4.31'	8.49'	19°33'33"
66	10.00'	5.69'	2.92'	5.61'	32°35'23"
67	15.00'	8.95'	4.62'	8.82'	34°12'16"
67a	42.00'	7.21'	3.61'	7.20'	9°9'45"

1879

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NO.	DATE	DESCRIPTION	REVISED	CHECKED	APPROVED
1	11-30-12	COMPREHENSIVE HILLSIDE TB 19			



DESIGNED	
CHECKED	
REVIEWED	
PREPARED	
APPROVED	
DATE	



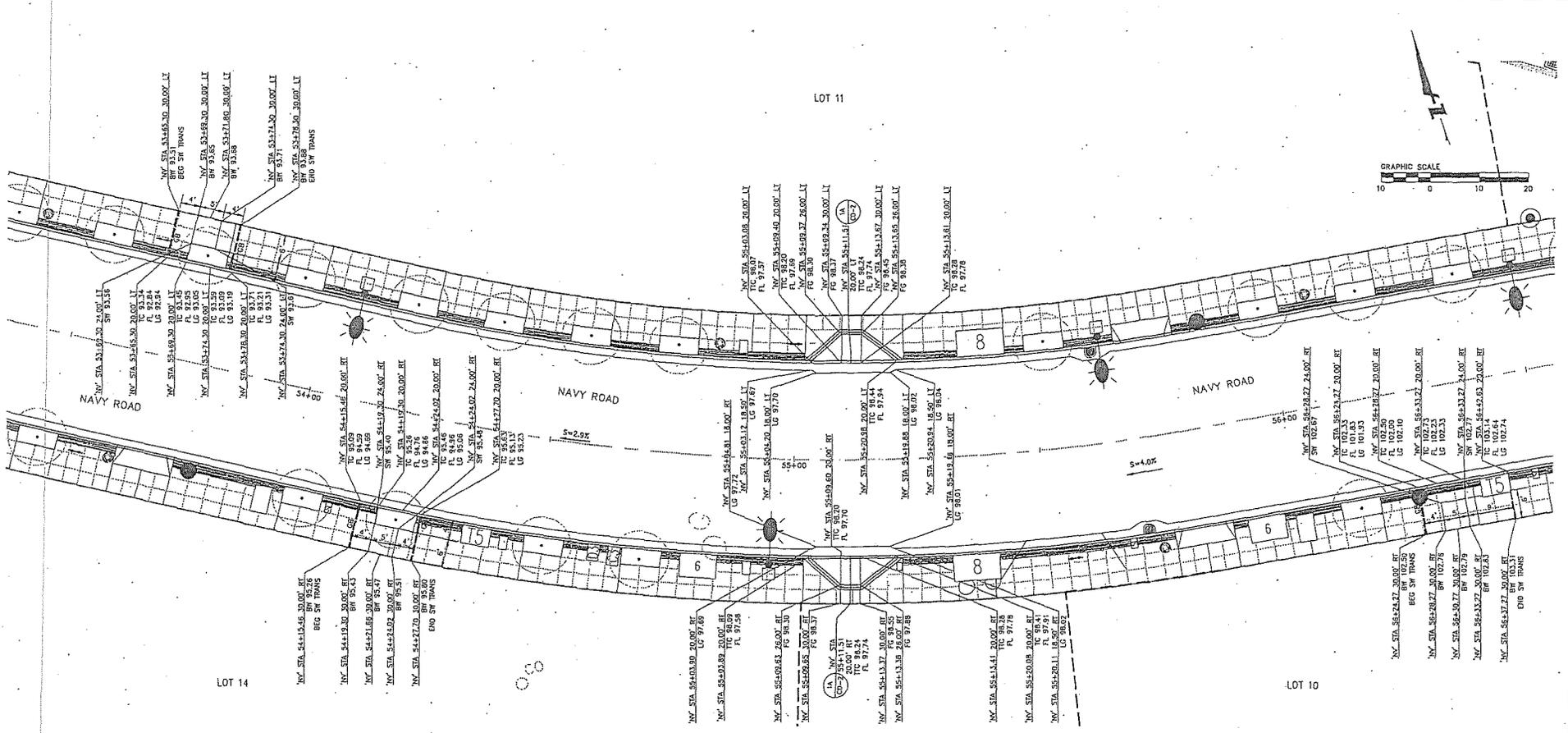
LENNAR / BVHP
 49 STEVENSON STREET, SUITE 525
 SAN FRANCISCO, CALIFORNIA 94105

HUNTERS POINT SHIPYARD DEVELOPMENT PROJECT
 PARCEL A' INFRASTRUCTURE
 CONSTRUCTION DETAILS

SCALE	AS SPECIFIED
DATE	11-30-15
SHEET	CD-12

1887

DATE: 11-30-15
DRAWN BY: J. M. M. / J. M. M.
CHECKED BY: J. M. M. / J. M. M.
DESIGNED BY: J. M. M. / J. M. M.



NOTES:

1. FOR CURB RAMPS CONSTRUCTION REFER TO CITY AND COUNTY OF SAN FRANCISCO STANDARD CURB RAMPS PLANS AND GENERAL NOTES
2. OFF-SITE RAMPS TO BE CONSTRUCTED AS DIRECTED ON THE FIELD
3. SEE DETAIL 2 ON SHEET CD-2B FOR TYPICAL INTERMEDIATE CURB

1 LOT 10,11,14 CURB RAMPS & ACCESSIBLE LANDINGS
 SCALE 1"=10'-0"

NO.	DATE	DESCRIPTION	REVISED	CHECKED	APPROVED
1	11-30-15	COMPREHENSIVE HILLSIDE IS 19			

REGISTERED PROFESSIONAL ENGINEER
 J. M. M. / J. M. M.
 No. 45428
 EXP. 12/31/16
 CIVIL
 STATE OF CALIFORNIA

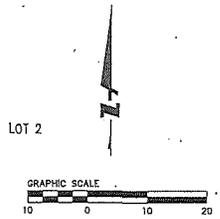
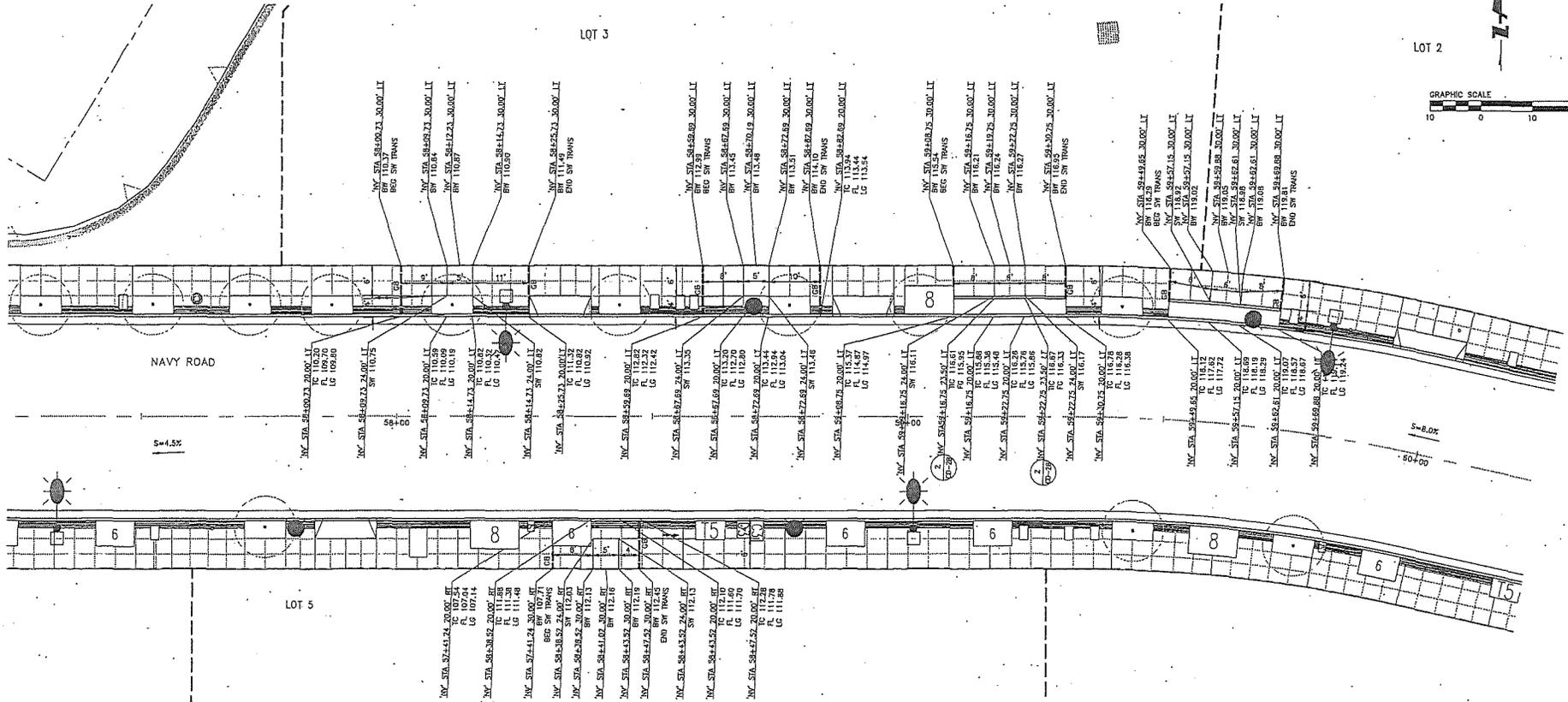
BKF
 ENGINEERING & SURVEYING FIRM
 255 SHORELINE DRIVE, STE. 200
 REDWOOD CITY, CA 94065
 (650) 482-8200
 (650) 482-8339 (FAX)

LENNAR / BVHP
 49 STEVENSON STREET, SUITE 525
 SAN FRANCISCO, CALIFORNIA 94105

HUNTERS POINT SHIPYARD DEVELOPMENT PROJECT
 PARCEL A' INFRASTRUCTURE
 CONSTRUCTION DETAILS
 CURB RAMPS DETAILS - HILLSIDE AREA

SCALE 1"=10'
 CONTRACT 11-30-15
 SHEET CD-24
 DRAWN

- NOTES:**
- FOR CURB RAMPS CONSTRUCTION REFER TO CITY AND COUNTY OF SAN FRANCISCO STANDARD CURB RAMPS PLANS AND GENERAL NOTES
 - OFF-SITE RAMPS TO BE CONSTRUCTED AS DIRECTED ON THE FIELD
 - SEE DETAIL 2 ON SHEET CD-2B FOR TYPICAL INTERMEDIATE CURB



1 LOT 2,3,5 ACCESSIBLE LANDINGS.
SCALE 1"=10'-0"

DRAWING NUMBER: 1888-11-30-15 CD-24A (1) DATE: 11/30/15 PROJECT: HUNTERS POINT SHIPYARD DEVELOPMENT PROJECT PARCEL A' INFRASTRUCTURE

NO.	DATE	DESCRIPTION	DESIGNED	CHECKED	APPROVED
1	11-30-15	COMPREHENSIVE HILLSIDE 18 19			
REVISIONS					

REGISTERED PROFESSIONAL ENGINEER
1000 N. ADAMS
No. 45428
EXP. 12/31/16
CIVIL
STATE OF CALIFORNIA

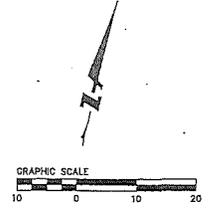
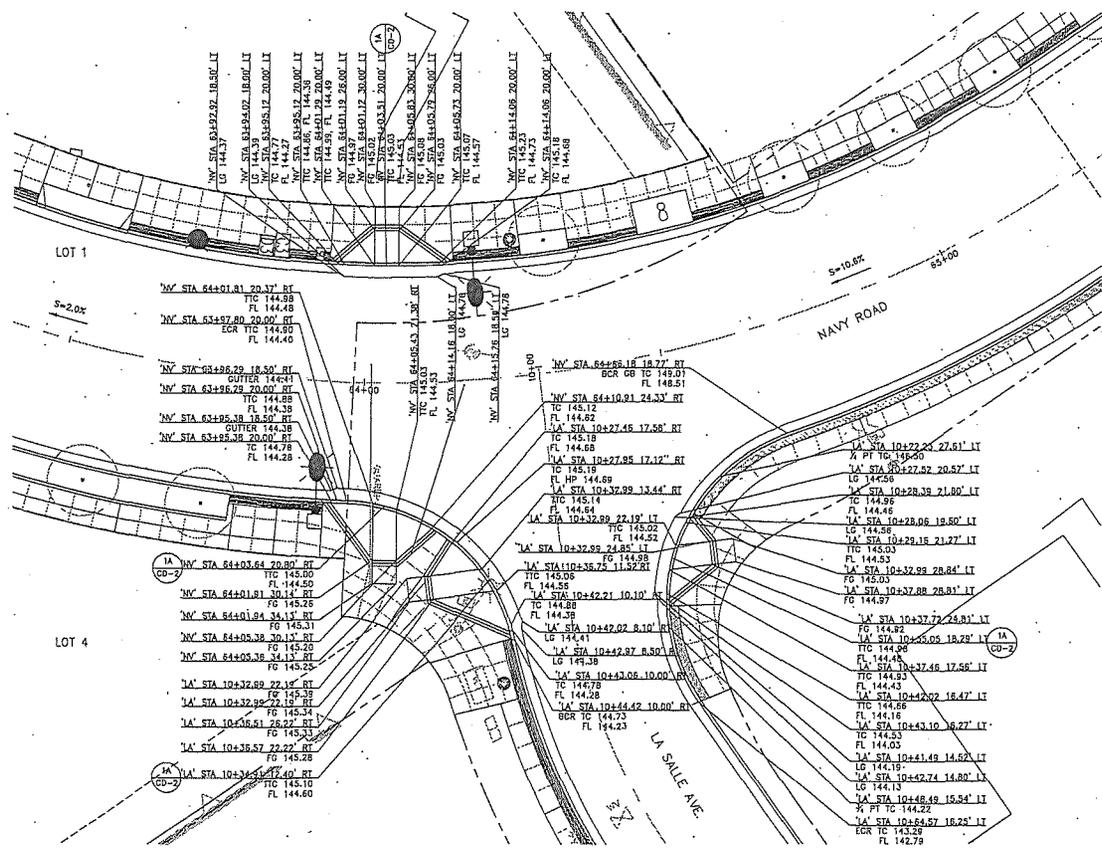
BKF
25 SHENKENS DRIVE, STE 200
REDWOOD CITY, CA 94065
(650) 482-6300
(650) 482-6300 (FAX)

LENNAR / BVHP
49 STEVENSON STREET, SUITE 525
SAN FRANCISCO, CALIFORNIA 94105

HUNTERS POINT SHIPYARD DEVELOPMENT PROJECT
PARCEL A' INFRASTRUCTURE
CONSTRUCTION DETAILS
DRIVEWAY & LANDING DETAILS - HILLSIDE AREA

SCALE	AS SHOWN
CONTRACT	DATE
SHEET	11-30-15
DRAWN	DATE
CHECKED	DATE
DATE	CD-24A

1890



NOTES:

1. FOR CURB RAMPS CONSTRUCTION REFER TO CITY AND COUNTY OF SAN FRANCISCO STANDARD CURB RAMPS PLANS AND GENERAL NOTES
2. OFF-SITE RAMPS TO BE CONSTRUCTED AS DIRECTED ON THE FIELD
3. SEE DETAIL 2 ON SHEET CD-2B FOR TYPICAL INTERMEDIATE CURB

1 LOT 1 & 4 CURB RAMPS
SCALE 1"=10'-0"

NO.	DATE	DESCRIPTION	REVISED	CHECKED	APPROVED
1	11-30-15	COMPREHENSIVE HILLSIDE IB 18			
REVISIONS					

REGISTERED PROFESSIONAL ENGINEER
TODD W. ADAMS
No. 45428
EXP. 12/31/16
CIVIL
STATE OF CALIFORNIA

BKF
Engineering | Surveying | Planning
215 SHORELINE DRIVE, STE. 200
REDWOOD CITY, CA 94065
(650) 482-8200
(650) 482-8599 (FAX)

LENNAR / BVHP
49 STEVENSON STREET, SUITE 525
SAN FRANCISCO, CALIFORNIA 94105

HUNTERS POINT SHIPYARD DEVELOPMENT PROJECT
PARCEL A INFRASTRUCTURE

CONSTRUCTION DETAILS
CURB RAMPS DETAILS - HILLSIDE AREA

SCALE 1"=10'
CONTRACT DATE 11-30-15
SHEET DRAWING
CD-25A

1681



San Francisco Ethics Commission

25 Van Ness Avenue, Suite 220, San Francisco, CA 94102

Phone: 415.252.3100 . Fax: 415.252.3112

ethics.commission@sfgov.org . www.sfethics.org

Received On:

File #:

200189

Bid/RFP #:

Notification of Contract Approval

SFEC Form 126(f)4

(S.F. Campaign and Governmental Conduct Code § 1.126(f)4)

A Public Document

Each City elective officer who approves a contract that has a total anticipated or actual value of \$100,000 or more must file this form with the Ethics Commission within five business days of approval by: (a) the City elective officer, (b) any board on which the City elective officer serves, or (c) the board of any state agency on which an appointee of the City elective officer serves. For more information, see: <https://sfethics.org/compliance/city-officers/contract-approval-city-officers>

1. FILING INFORMATION

TYPE OF FILING	DATE OF ORIGINAL FILING (for amendment only)
original	
AMENDMENT DESCRIPTION – Explain reason for amendment	

2. CITY ELECTIVE OFFICE OR BOARD

OFFICE OR BOARD	NAME OF CITY ELECTIVE OFFICER
Board of supervisors	Members

3. FILER'S CONTACT

NAME OF FILER'S CONTACT	TELEPHONE NUMBER
Angela calvillo	415-554-5184
FULL DEPARTMENT NAME	EMAIL
office of the Clerk of the Board	Board.of.Supervisors@sfgov.org

4. CONTRACTING DEPARTMENT CONTACT

NAME OF DEPARTMENTAL CONTACT	DEPARTMENT CONTACT TELEPHONE NUMBER
Cheryl Nashir	650.821.4500
FULL DEPARTMENT NAME	DEPARTMENT CONTACT EMAIL
AIR Airport Commission	Cheryl.Nashir@flysfo.com

8681

5. CONTRACTOR	
NAME OF CONTRACTOR HFF-BRH-SFO, LLC	TELEPHONE NUMBER 415-706-8171
STREET ADDRESS (including City, State and Zip Code) 123 Second St., Sausalito, CA 94965	EMAIL Glenn.Meyers@highflyingfoods.com

6. CONTRACT		
DATE CONTRACT WAS APPROVED BY THE CITY ELECTIVE OFFICER(S)	ORIGINAL BID/RFP NUMBER	FILE NUMBER (If applicable) 200189
DESCRIPTION OF AMOUNT OF CONTRACT \$1,000,000		
NATURE OF THE CONTRACT (Please describe) The operation of a sit-down restaurant in Terminal 1, Boarding Area C L16-0316 at San Francisco Int'l. Airport.		

7. COMMENTS

8. CONTRACT APPROVAL	
This contract was approved by:	
<input type="checkbox"/>	THE CITY ELECTIVE OFFICER(S) IDENTIFIED ON THIS FORM
<input checked="" type="checkbox"/>	A BOARD ON WHICH THE CITY ELECTIVE OFFICER(S) SERVES Board of Supervisors
<input type="checkbox"/>	THE BOARD OF A STATE AGENCY ON WHICH AN APPOINTEE OF THE CITY ELECTIVE OFFICER(S) IDENTIFIED ON THIS FORM SITS

9. AFFILIATES AND SUBCONTRACTORS

List the names of (A) members of the contractor's board of directors; (B) the contractor's principal officers, including chief executive officer, chief financial officer, chief operating officer, or other persons with similar titles; (C) any individual or entity who has an ownership interest of 10 percent or more in the contractor; and (D) any subcontractor listed in the bid or contract.

#	LAST NAME/ENTITY/SUBCONTRACTOR	FIRST NAME	TYPE
1	Meyers	Gleen	CEO
2	Mayers	Garrett	CFO
3	westlye	Kevin	COO
4			
5			
6			
7			
8			
9			
10			
11			
12			
13			
14			
15			
16			
17			
18			
19			

9. AFFILIATES AND SUBCONTRACTORS

List the names of (A) members of the contractor's board of directors; (B) the contractor's principal officers, including chief executive officer, chief financial officer, chief operating officer, or other persons with similar titles; (C) any individual or entity who has an ownership interest of 10 percent or more in the contractor; and (D) any subcontractor listed in the bid or contract.

#	LAST NAME/ENTITY/SUBCONTRACTOR	FIRST NAME	TYPE
20			
21			
22			
23			
24			
25			
26			
27			
28			
29			
30			
31			
32			
33			
34			
35			
36			
37			
38			

9. AFFILIATES AND SUBCONTRACTORS

List the names of (A) members of the contractor's board of directors; (B) the contractor's principal officers, including chief executive officer, chief financial officer, chief operating officer, or other persons with similar titles; (C) any individual or entity who has an ownership interest of 10 percent or more in the contractor; and (D) any subcontractor listed in the bid or contract.

#	LAST NAME/ENTITY/SUBCONTRACTOR	FIRST NAME	TYPE
39			
40			
41			
42			
43			
44			
45			
46			
47			
48			
49			
50			

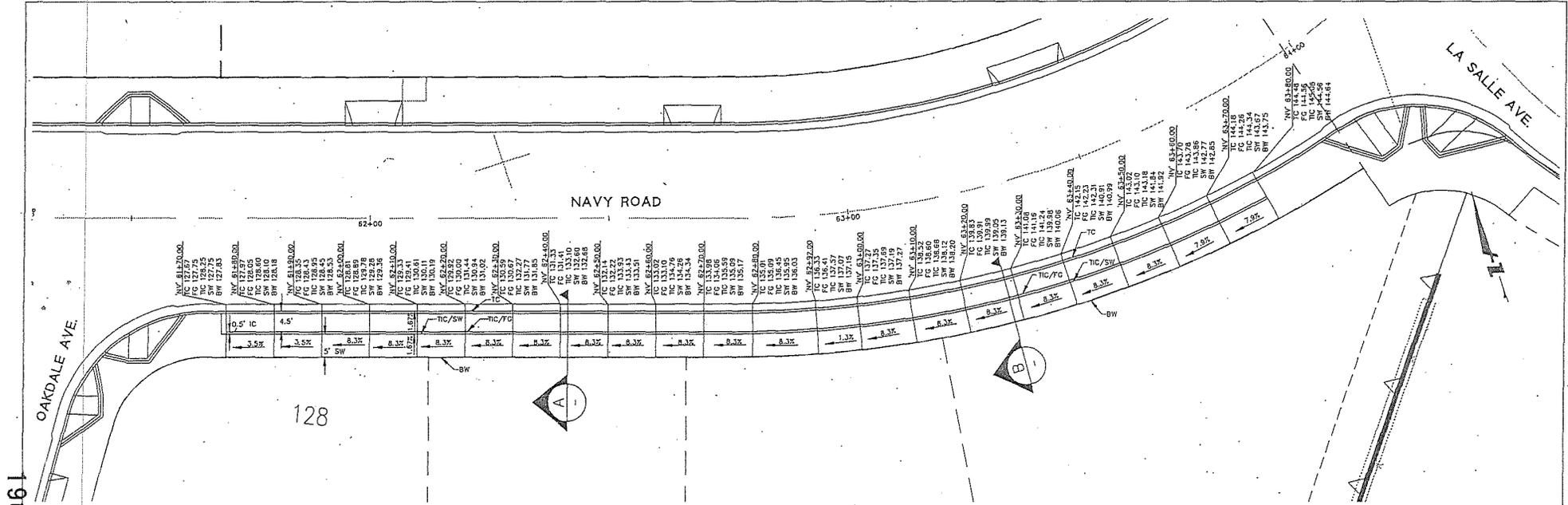
Check this box if you need to include additional names. Please submit a separate form with complete information. Select "Supplemental" for filing type.

10. VERIFICATION

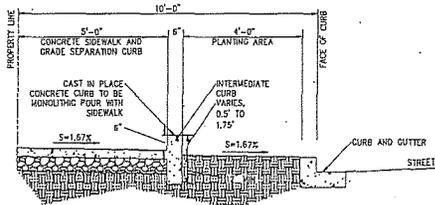
I have used all reasonable diligence in preparing this statement. I have reviewed this statement and to the best of my knowledge the information I have provided here is true and complete.

I certify under penalty of perjury under the laws of the State of California that the foregoing is true and correct.

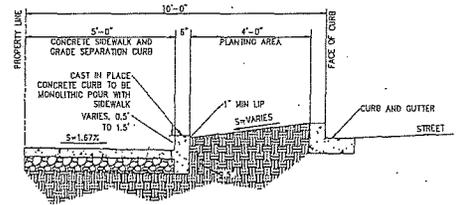
SIGNATURE OF CITY ELECTIVE OFFICER OR BOARD SECRETARY OR CLERK BOS Clerk of the Board	DATE SIGNED
--	-------------



1 NAVY ROAD SIDEWALK DETAIL
SCALE 1" = 10'



A TYPICAL SECTION - 'NV' STA 61+70.00 TO 'NV' STA 62+99.24
SCALE: NTS



B TYPICAL SECTION - 'NV' STA 62+99.24 TO 'NV' STA 63+80.00
SCALE: NTS

106 1901 128

NO.	DATE	DESCRIPTION	REVISED	CHECKED	APPROVED
1	11-30-15	COMPREHENSIVE HILLSIDE IB 19			
REVISIONS					

REGISTERED PROFESSIONAL ENGINEER
 1000 M. JORDAN
 No. 45428
 EXP. 12/31/16
 CIVIL
 STATE OF CALIFORNIA

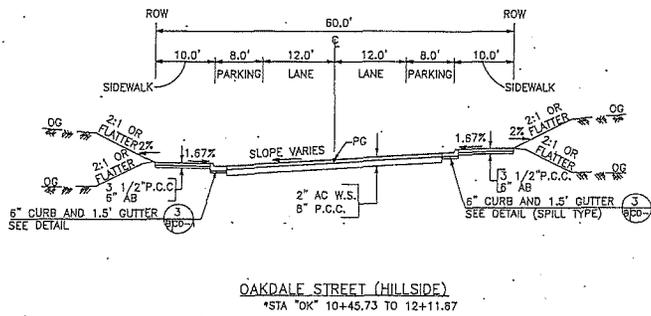
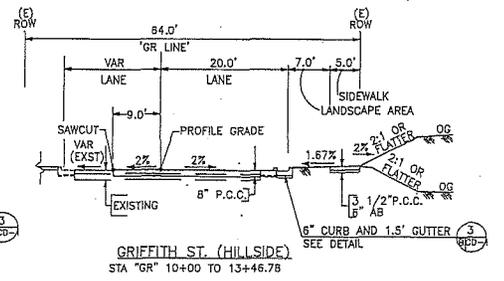
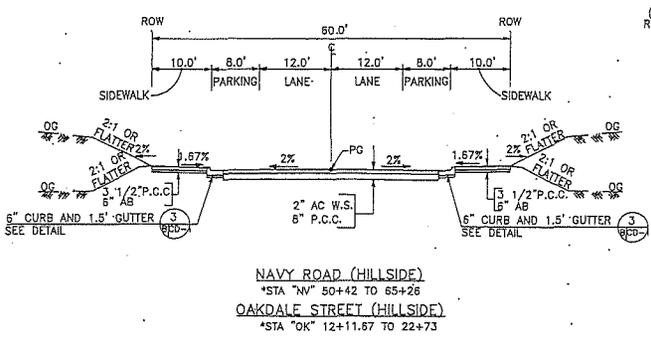
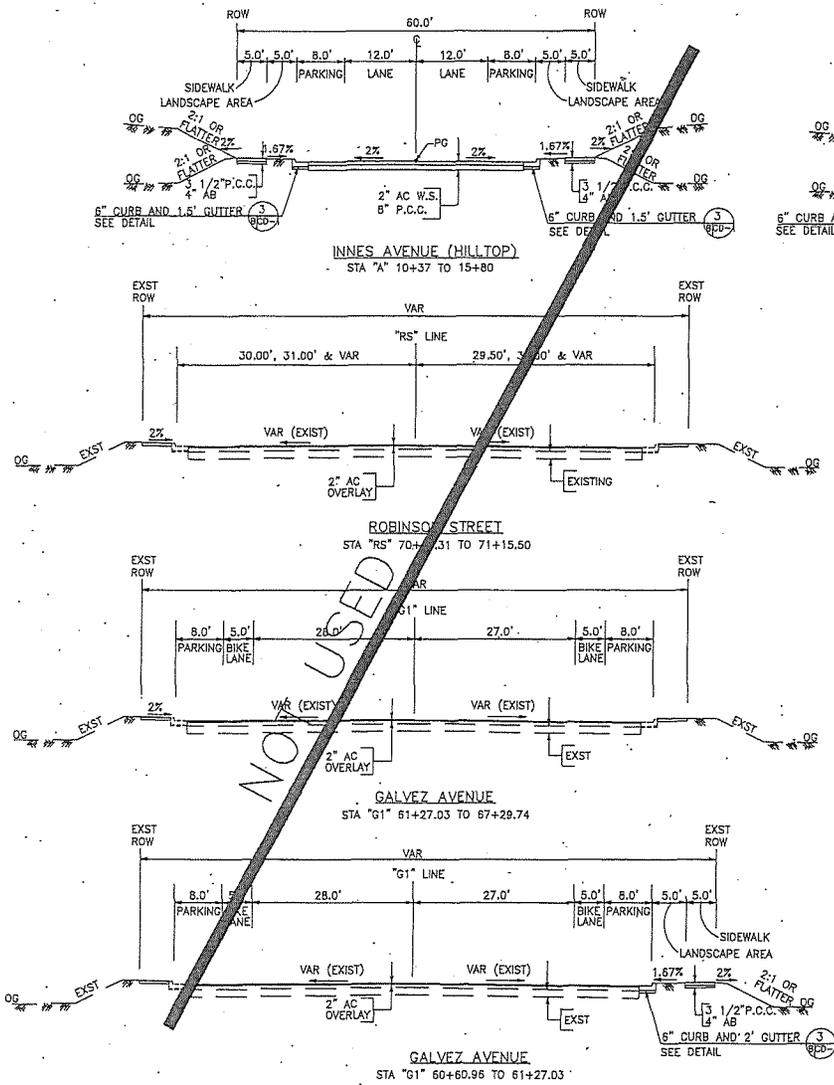
BKF
 ENGINEERING | DESIGN | PLANNING
 255 DIVISadero DRIVE, STE. 200
 REDWOOD CITY, CA 94065
 (650) 492-8200
 (650) 492-8339 (FAX)

LENNAR / BVHP
 49 STEVENSON STREET, SUITE 525
 SAN FRANCISCO, CALIFORNIA 94105

HUNTERS POINT SHIPYARD DEVELOPMENT PROJECT
 PARCEL A' INFRASTRUCTURE
CONSTRUCTION DETAILS
 CONSTRUCTION DETAILS - HILLSIDE AREA

SCALE 1" = 10'	
CONTRACT	DATE
11-30-15	
SHEET	DRAWING
CD-26	

1902



* SIDEWALKS ON NAVY AND OAKDALE INCLUDE INTERMEDIATE CURBS NOT SHOWN IN SECTIONS ABOVE. REFER TO CD-15, CD-15A, CD-23 TO CD-26 FOR LOCATIONS AND DETAILED GRADING OF INTERMEDIATE CURBS. INTERMEDIATE CURB DETAIL SHOWN ON SHEET CD-28.

- NOTES FOR TYPICAL SECTIONS:**
1. FOR SUBGRADE DETAILS, SEE CITY AND COUNTY OF SAN FRANCISCO STANDARD SPECIFICATIONS.
 2. DIMENSIONS OF STRUCTURAL SECTIONS ARE SUBJECT TO TOLERANCES SPECIFIED IN THE STANDARD SPECIFICATIONS
 3. FOR LOCATION OF SAWCUT & CONFORM LINES, SEE LAYOUT PLANS
 4. ALL DIMENSIONS ARE IN FEET AND INCHES UNLESS OTHERWISE SHOWN
 5. PLACE 4" CLASS 2 AB MECHANICALLY COMPACTED TO 95% OR HIGHER UNDER CURB, GUTTER AND SIDEWALK
 6. KEY OR LOGitudINAL JOINT IN CURB NOT REQUIRED FOR AGGREGATE BASE
 7. BASE REPAIR MAY BE REQUIRED IN THE AC OVERLAY AREAS. IDENTIFYING ALL SUCH AREAS SHALL BE MADE BY THE RESIDENT ENGINEER.

NO.	DATE	DESCRIPTION	DESIGNED	CHECKED	APPROVED
1	11-30-18	COMPREHENSIVE HILLSIDE ID 19			
REVISIONS					

REGISTERED PROFESSIONAL ENGINEER
1902 M. ADAM
 No. 45428
 Exp. 12/31/16
 STATE OF CALIFORNIA

BKF
 ENGINEERS / ARCHITECTS / PLANNERS
 255 SHORELINE DRIVE, STE. 200
 REDWOOD CITY, CA 94065
 (650) 492-6200
 (650) 492-6299 (FAX)

LENNAR / BVHP
 49 STEVENSON STREET, SUITE 525
 SAN FRANCISCO, CALIFORNIA 94105

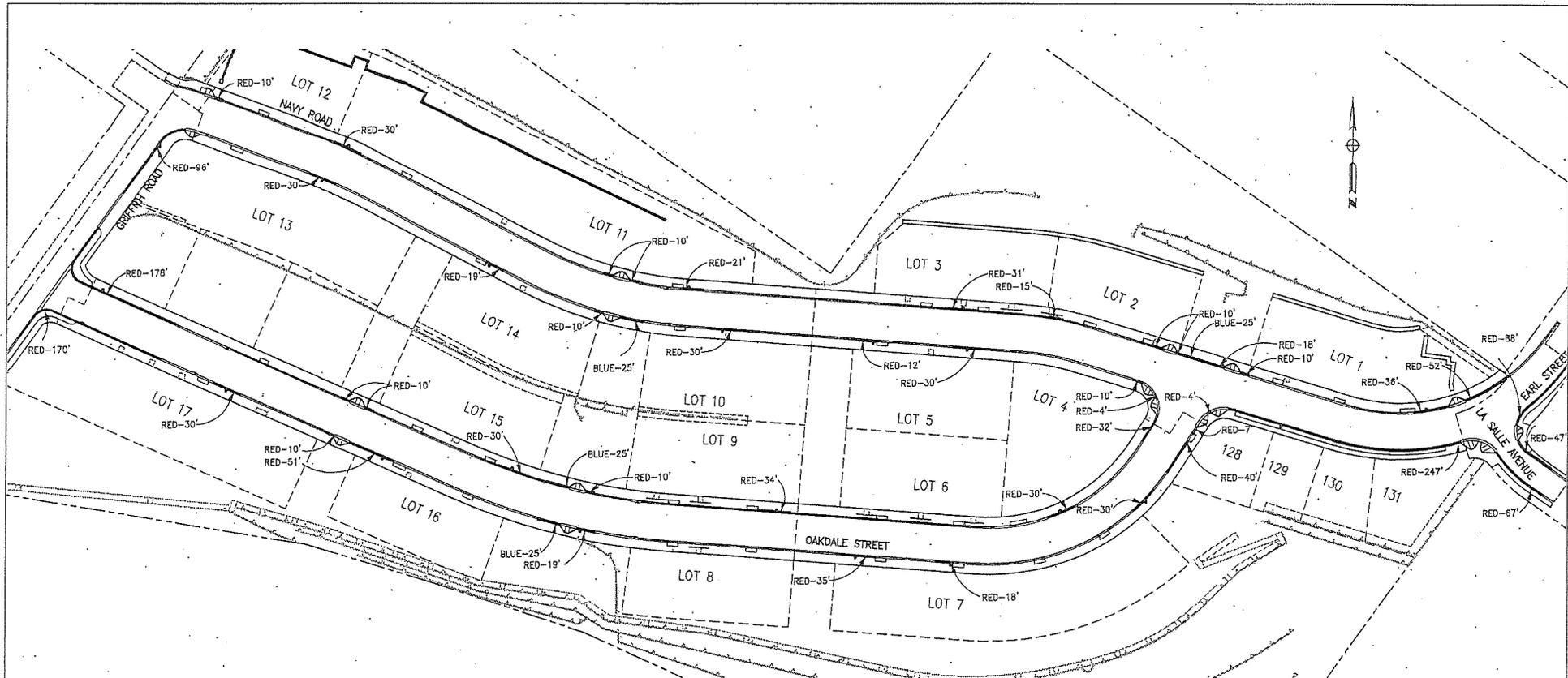
HUNTERS POINT SHIPYARD DEVELOPMENT PROJECT
 PARCEL A' INFRASTRUCTURE

TYPICAL CROSS SECTIONS

SCALE	NO SCALE
CONTRACT	DATE
PROJECT	DATE
SHEET	X-2

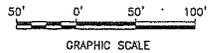
1906

DRAWING NO. 11-30-15-CURB MARKING PLAN FOR HILLSIDE AREA, 9/11/15, 11-30-15-CURB MARKING PLAN FOR HILLSIDE AREA, 9/11/15, 11-30-15-CURB MARKING PLAN FOR HILLSIDE AREA, 9/11/15



FOR GENERAL NOTES, PROJECT NOTES
AND SYMBOLS SEE DRAWING PD-1

FOR TYPICAL ISLAND DETAIL, SEE
DETAIL 4, DRAWING CD-10



THIS PLAN IS ACCURATE FOR CURB MARKING ONLY

NO.	DATE	DESCRIPTION	DESIGNED	CHECKED	APPROVED
1	11-30-15	COMPREHENSIVE HILLSIDE 19 15			
REVISIONS					

REGISTERED PROFESSIONAL ENGINEER
TOMAS M. ADAMS
No. 45428
EXP. 12/31/16
CIVIL
STATE OF CALIFORNIA

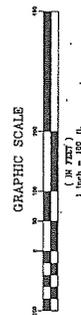
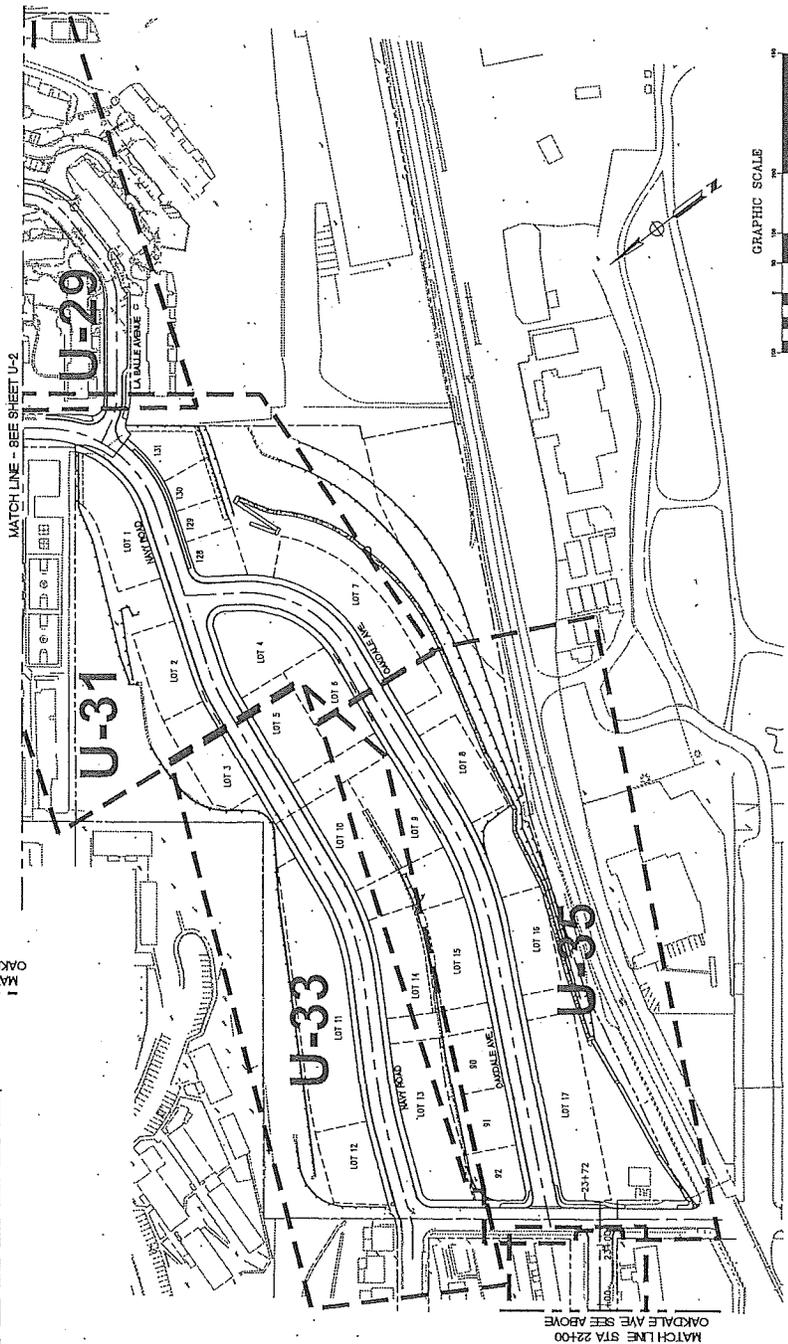
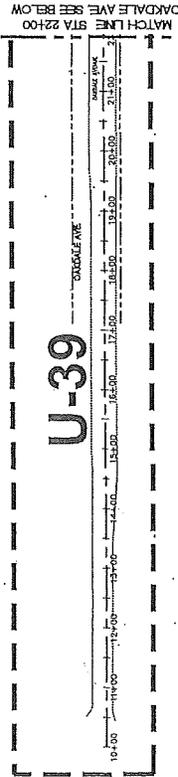
BKF
ENGINEERING & SURVEYING PLANNING
255 SHORELINE DRIVE, STE. 200
REDWOOD CITY, CA 94065
(650) 462-8100
(650) 462-8199 (FAX)

LENNAR / BVHP
49 STEVENSON STREET, SUITE 525
SAN FRANCISCO, CALIFORNIA 94105

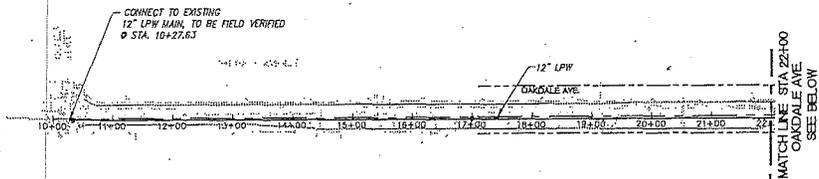
HUNTERS POINT SHIPYARD DEVELOPMENT PROJECT
PARCEL A' INFRASTRUCTURE
CURB MARKING PLAN
HILLSIDE AREA

SCALE 1"=50'

CONTRACT	DATE
SHEET	11-30-15
DRAWING	
PD-7	

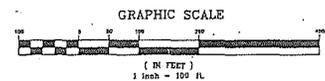
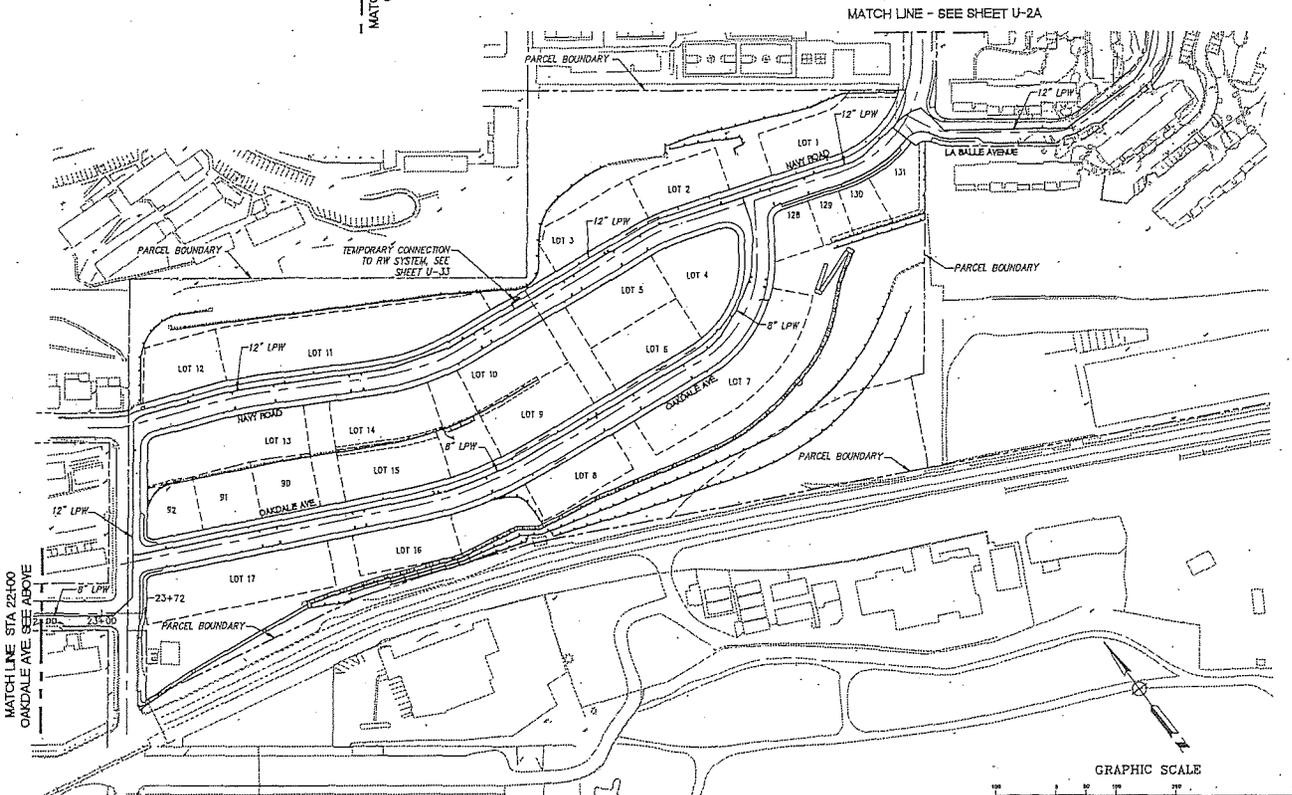


HUNTERS POINT SHIPYARD DEVELOPMENT PROJECT PARCEL A' INFRASTRUCTURE		SCALE 1" = 100' CONTRACT 11-30-15 SHEET U-3 OF 10
LENNAR / BVHP 49 STEVENSON STREET, SUITE 525 SAN FRANCISCO, CALIFORNIA 94105		UTILITY KEY PLAN HILLSIDE SYSTEM MAP
PROFESSIONAL ENGINEER No. 45428 Exp. 12/31/18 STATE OF CALIFORNIA		
REVISIONS		
NO.	DATE	DESCRIPTION
1	11-30-15	COMPREHENSIVE HILLSIDE B 18
		APPROVED
		REVISED
		CHECKED
		DRAWN



WATER MAIN INSTALLATION NOTES

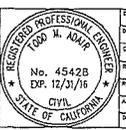
- CONTRACTOR SHALL PREPARE SITE FOR SFWO CREWS THROUGHOUT PROJECT CONSTRUCTION. CONTRACTOR SHALL SAWCUT, EXCAVATE, TRENCH, SHORE/BRACE, BACKFILL, RESTORE PAVEMENT, LIFT PLATES, PROVIDE TRAFFIC CONTROL, PROVIDE PERMITS, ETC. FOR ANY WORK PERFORMED IN THE FIELD FOR THIS PROJECT BY SFWO.
- PIPE MATERIAL AND INSTALLATION - CONTRACTOR SHALL INSTALL DUCTILE IRON PIPE, JOINT RESTRAINTS, AND RELEVANT APPURTENANCES AT LOCATIONS SPECIFIED IN DRAWING. INSTALLATION SHALL CONFORM TO CITY STANDARDS AND SFWO STANDARD SPECIFICATION 33 11 00. CONTRACTOR SHALL RESTRAIN JOINTS AS NECESSARY AND AS DIRECTED BY SFWO REPRESENTATIVE.
- TRENCHING AND BACKFILLING - ALL TRENCH EXCAVATION SHALL BE PERFORMED IN ACCORDANCE WITH DPW STANDARDS SECTIONS 702, 703; SFWO STANDARD DETAIL E-4899R R1. WHEN BACKFILLING, CONTRACTOR SHALL INSTALL BURIED WARNING AND IDENTIFICATION TAPE PER SECTIONS 2.02 AND 3.09. CONTRACTOR SHALL PROVIDE ADDITIONAL EXCAVATION AT CONNECTION POINTS FOR SFWO CREWS AND AS DEEMED NECESSARY BY CITY REPRESENTATIVE.
- HYDROSTATIC TEST - PRESSURE TEST SHALL BE PERFORMED BY THE DEVELOPER OR THE DEVELOPER'S CONTRACTOR. TEMPORARY ANCHORS MAY HAVE TO BE INSTALLED TO PREVENT PIPE MOVEMENT DURING THE TEST. PRESSURE TEST SHALL BE DONE IN ACCORDANCE WITH SFWO STANDARD SPECIFICATION 33 11 00 SECTION 3.08. HYDROSTATIC TEST IN THE FIELD. CONTRACTOR SHALL FURNISH ALL NECESSARY LABOR, MATERIAL, AND EQUIPMENT FOR THE TEST. TEST PRESSURE SHALL BE 150% OF THE MAXIMUM OPERATING PRESSURE OR 225 PSI, WHICHEVER IS GREATER, OR AS DETERMINED BY THE SFWO REPRESENTATIVE. NO PRESSURE DROP IS ALLOWED DURING THE 2 HOUR MINIMUM TEST TIME DURING WHICH NO ADDITIONAL WATER SHALL BE ADDED TO THE LINE UNDER TEST.
- CONTRACTOR SHALL EXCAVATE AND EXPOSE POINTS OF CONNECTION BETWEEN (N) DIP AND (E) DIP ON OAKDALE AVENUE. CONTRACTOR SHALL PREPARE SITE FOR SFWO CREWS TO MAKE MAIN CONNECTION WHICH INCLUDES BUT NOT BE LIMITED TO ADDITIONAL EXCAVATION, SHORING, TRAFFIC CONTROL, BRACING, LIFTING PLATES, BACKFILL, AND RESTORATION OF PAVEMENT. CONTRACTOR TO COORDINATE WORK WITH ASSIGNED SFWO INSPECTOR.
- CONTRACTOR SHALL INSTALL BURIED WARNING AND IDENTIFICATION TAPE PER SFWO STANDARD SPECIFICATION 31 23 36, SECTION 2.02 AND 3.09; AND PER STANDARD DETAIL E4899R R1.
- CONTRACTOR SHALL FURNISH AND INSTALL POLYETHYLENE ENCASEMENT TUBE OVER (N) DIP AND FITTINGS INSTALLED BY CONTRACTOR AND SFWO PERSONNEL. INSTALLATION SHALL BE IN ACCORDANCE WITH AWWA C105 AND SFWO STANDARD SPECIFICATION 33 44 41, FOR 4" AND LARGER SERVICE LATERALS. POLYETHYLENE ENCASEMENT SHALL TERMINATE AT ISOLATION VALVES.
- CONTRACTOR SHALL INSTALL PIPE AND JOINT RESTRAINTS AT LOCATIONS SPECIFIED IN SFWO STANDARD SPECIFICATION SECTION 33 11 00 (IE: VALVES, FITTINGS, BEAD-ENDS, ETC) AND AS DEEMED NECESSARY BY SFWO INSPECTOR.
- CONTRACTOR SHALL INSTALL LOW PRESSURE FIRE HYDRANT ISOLATION GATE VALVE DIRECTLY OFF 8x8 HYDRANT TEE AND INSTALL HYDRANT LATERAL TO BURY PIECE PER SFWO STANDARD DETAIL DRAWING E-4999R R1. SFWO SHALL SET HYDRANT RISER AND BODY. CONTRACTOR TO COORDINATE WORK WITH SFWO INSPECTOR.
- CONTRACTOR SHALL INSTALL FIRE SERVICE TEES AND GATE VALVES AS SHOWN ON DRAWINGS. SFWO SHALL INSTALL 6" SERVICE LATERALS TO 1 FOOT IN PROPOSED CURB. CONTRACTOR TO INSTALL THE REMAINING PORTION OF THE SERVICE LATERAL FROM 1 FOOT BEHIND THE CURB TO 1 FOOT BEHIND THE PROPERTY LINE. CONTRACTOR TO COORDINATE WORK WITH SFWO REPRESENTATIVE.
- CONTRACTOR SHALL INSTALL DOMESTIC SERVICE TEE AND GATE VALVE AS SHOWN ON DRAWINGS. SFWO SHALL INSTALL SERVICE LATERAL TO BACK OF PROPOSED WATER METER. CONTRACTOR TO INSTALL THE REMAINING PORTION OF THE SERVICE LATERAL FROM THE BACK OF THE METER TO 1 FOOT BEHIND THE PROPERTY LINE. CONTRACTOR TO COORDINATE WORK WITH SFWO REPRESENTATIVE.
- CONTRACTOR SHALL INSTALL SCREW TAP FOR SMALL SERVICES PER SFWO STANDARD SPECIFICATION 33 12 13 AND EXCAVATE SERVICE TRENCH, AS DIRECTED, FOR SFWO TO PERFORM SERVICE CHANGEOVER.



1909

DRAWING NUMBER: 11-30-15 COMPREHENSIVE HILLSIDE IS 19
DATE: 11-30-15
PROJECT: HUNTERS POINT SHIPYARD DEVELOPMENT PROJECT

NO.	DATE	DESCRIPTION	REVISED	CHECKED	APPROVED
1	11-30-15	COMPREHENSIVE HILLSIDE IS 19			
REVISIONS					



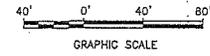
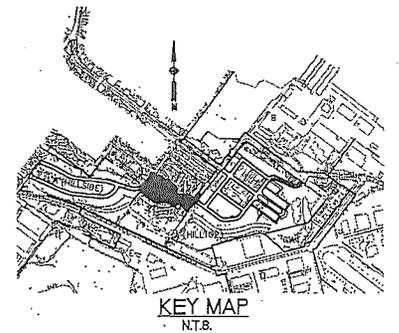
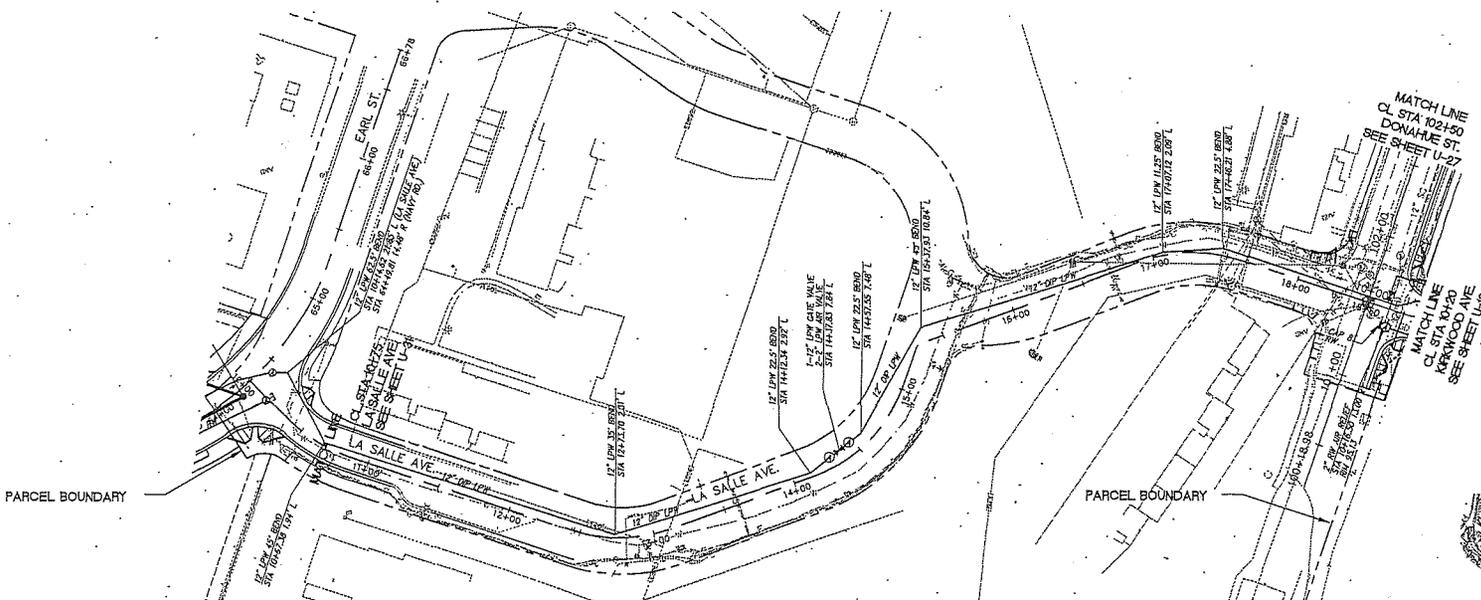
DESIGNED	
DRAWN	
CHECKED	
REVIEWED	
RECOMMENDED	
APPROVED	
DATE	

BKF
ENGINEERING / ENVIRONMENTAL PLANNING
255 SHIDELINE DRIVE, STE. 200
PACIFIC HILLS, CA 94065
(925) 462-8200
(925) 462-8200 (FAX)

LENNAR / BVHP
49 STEVENSON STREET, SUITE 225
SAN FRANCISCO, CALIFORNIA 94105

HUNTERS POINT SHIPYARD DEVELOPMENT PROJECT		SCALE: 1"=100'
PARCEL A' INFRASTRUCTURE		CONTRACT DATE: 11-30-15
UTILITY PLAN-LOW PRESSURE WATER		DRAWING NO.: U-3A
HILLSIDE SYSTEM MAP		SHEET

1912



HUNTERS POINT SHIPYARD DEVELOPMENT PROJECT
 PARCEL A INFRASTRUCTURE
 UTILITY PLAN
 LA SALLE AVENUE
 SHEET U-29

NO.	DATE	DESCRIPTION	REVISED	CHECKED	APPROVED
1	11-30-12	COMPREHENSIVE HILLSIDE JB 19			

REVISIONS

REGISTERED PROFESSIONAL ENGINEER
 CIVIL
 STATE OF CALIFORNIA
 No. 45428
 EXP. 12/31/16

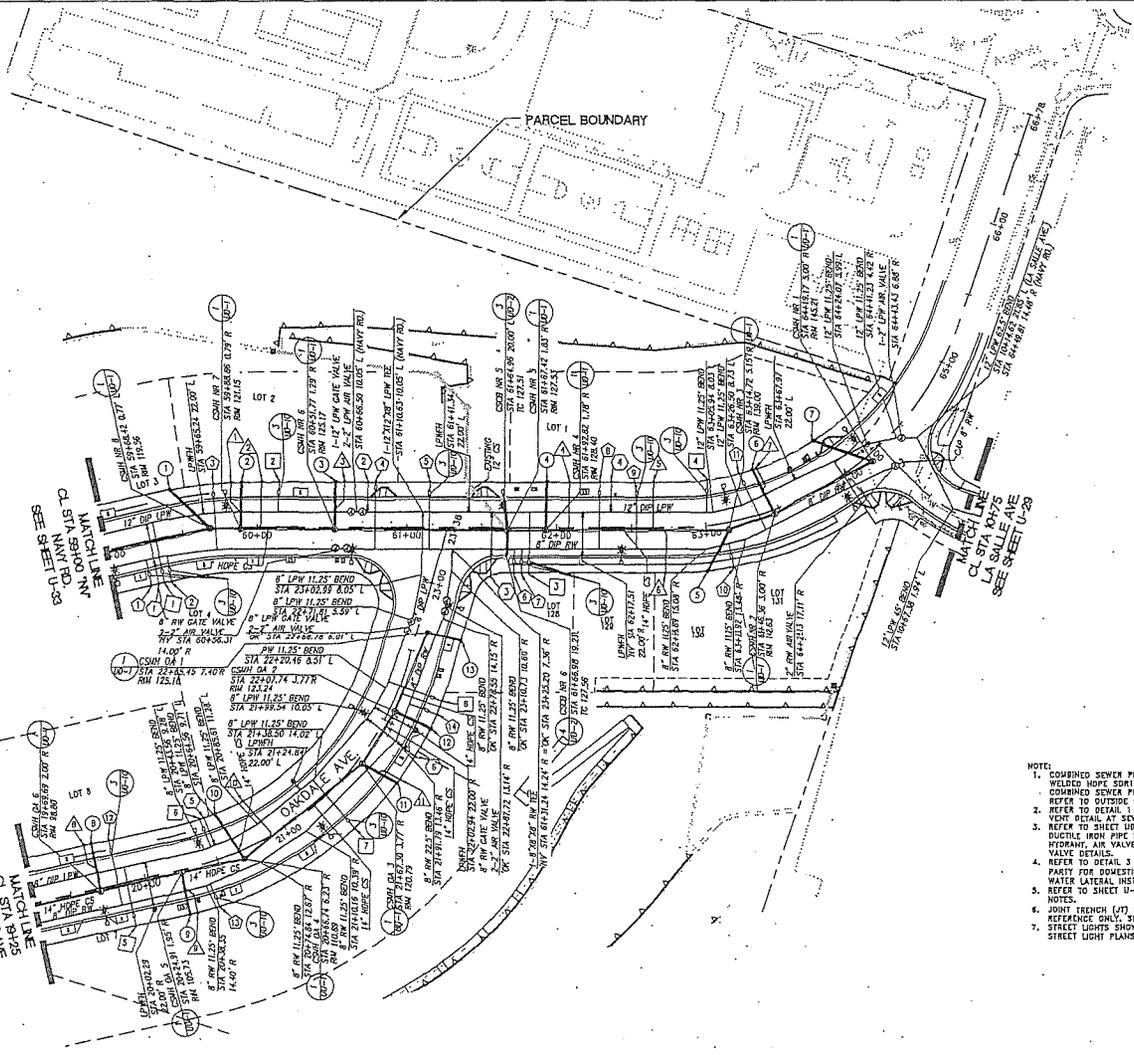
BKF
 ENGINEERING | SURVEYING | PLANNING
 255 SHIMMELIE DRIVE, STE. 200
 REDWOOD CITY, CA 94063
 (650) 462-8100
 (650) 462-6199 (FAX)

LENNAR / BVHP
 49 STEVENSON STREET, SUITE 525
 SAN FRANCISCO, CALIFORNIA 94105

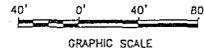
HUNTERS POINT SHIPYARD DEVELOPMENT PROJECT
 PARCEL A' INFRASTRUCTURE
UTILITY PLAN
 LA SALLE AVENUE

SCALE 1"=40'
 CONTRACT NO. DATE 11-30-15
 SHEET NO. 11 OF 15
 SHEETS U-29

1915



SEE SHEET U-37 FOR OAKDALE STREET PROFILE



- NOTES:
1. COMBINED SEWER PIPE MATERIAL TO BE FUSION WELDED HOPE SORT PIPE PER ASTM D3035.
 2. COMBINED SEWER PIPE SIZES SHOWN ON PLANS REFER TO OUTSIDE DIAMETER OF THE PIPE.
 3. REFER TO DETAIL 1 SHEET U-2 FOR TYPICAL AIR VENT DETAIL AT SEWER LATERAL.
 4. REFER TO SHEET U-3 STANDARD PLAN FOR DUCTILE IRON PIPE MAIN INSTALLATION FOR FIRE HYDRANT, AIR VALVE, TRENCH AND FLOW-OFF VALVE DETAILS.
 5. REFER TO DETAIL 3 SHEET U-4 FOR RESPONSIBLE PARTY FOR DOMESTIC WATER/FIRE WATER/RECYCLED WATER LATERAL INSTALLATION.
 6. REFER TO SHEET U-1 FOR ADDITIONAL UTILITY NOTES.
 7. JOINT TRENCH (JT) STRUCTURES SHOWN FOR REFERENCE ONLY, SEE JT PLANS.
 8. STREET LIGHTS SHOWN FOR REFERENCE ONLY, SEE STREET LIGHT PLANS.

NAVY ROAD 59+00 TO CONFORM

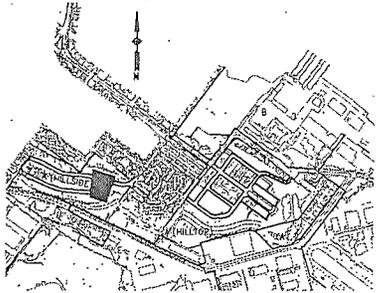
STORM DRAIN					LOW PRESSURE WATER				
ID	STA	OFFSET	SIZE (IN)	INV	ID	STA	OFFSET	SIZE (IN)	TP
SD LATERALS					LPW LATERALS				
1	59+48.01	31.00L	8	109.50	1	59+31.53	31.00R	8	112.79
2	59+50.07	31.00L	12	109.01	2	60+14.00	31.00L	2	118.75
3	60+51.80	31.00L	8	111.72	3	61+82.11	31.00R	2	127.08
4	61+83.33	31.00L	12	118.81	4	62+04.23	31.00L	2	132.84
5	62+45.38	31.00L	12	125.08					
6	63+40.76	31.00L	12	131.05					
7	63+93.48	31.00L	8	138.08					

SANITARY SEWER					RECLAIMED WATER				
ID	STA	OFFSET	SIZE (IN)	INV	ID	STA	OFFSET	SIZE (IN)	TP
SS LATERALS					RW LATERALS				
1	59+43.86	31.00L	8	109.13	1	59+22.73	31.00R	2	109.80
2	60+02.53	31.00L	8	109.78	2	59+56.70	31.00R	1	110.89
3	60+57.89	31.00R	8	111.87	3	60+72.89	31.00L	2	112.96
4	62+40.37	31.00L	8	128.72	4	60+76.87	31.00L	2	120.40
5	62+84.44	31.00R	8	124.10	5	61+13.03	31.00L	2	121.30
6	62+73.58	31.00R	8	124.87	6	61+72.11	31.00R	2	122.26
7	63+44.33	31.00R	8	131.12	7	61+72.11	31.00R	2	122.18
					8	62+28.58	31.00L	2	124.20
					9	62+53.46	24.25L	2	125.60
					10	62+13.48	31.00R	2	130.75
					11	62+29.91	31.00L	2	132.17

OAKDALE 19+25 TO 23+37.94

STORM DRAIN					LOW PRESSURE WATER				
ID	STA	OFFSET	SIZE (IN)	INV	ID	STA	OFFSET	SIZE (IN)	TP
SD LATERALS					LPW LATERALS				
1	19+99.89	31.00L	10	85.83	3	19+57.30	31.00L	2	83.72
2	20+42.81	31.00R	10	85.60	4	20+47.30	31.00R	2	103.79
10	20+59.85	31.00L	12	89.42	7	21+33.75	31.00R	2	113.40
11	21+70.86	31.00R	10	109.26	8	22+25.34	31.00R	2	119.52
12	22+07.74	31.00R	10	111.25					
13	22+44.42	31.00R	12	112.30					

SANITARY SEWER					RECLAIMED WATER				
ID	STA	OFFSET	SIZE (IN)	INV	ID	STA	OFFSET	SIZE (IN)	TP
SS LATERALS					RW LATERALS				
1	19+44.68	31.00L	8	86.16	1	19+59.01	31.00R	2	117.53
8	20+38.41	31.00R	8	95.73					
10	20+84.12	31.00R	8	101.16					
11	21+73.19	31.00R	8	109.75					



11-30-15 COMPREHENSIVE HILLSIDE JB 19
 NO. DATE DESCRIPTION REVISIONS
 1 11-30-15 COMPREHENSIVE HILLSIDE JB 19
 DATE DESCRIPTION REVISIONS

REGISTERED PROFESSIONAL ENGINEER
 FOOD M. ADAM
 No. 45428
 Exp. 12/31/16
 CIVIL
 STATE OF CALIFORNIA

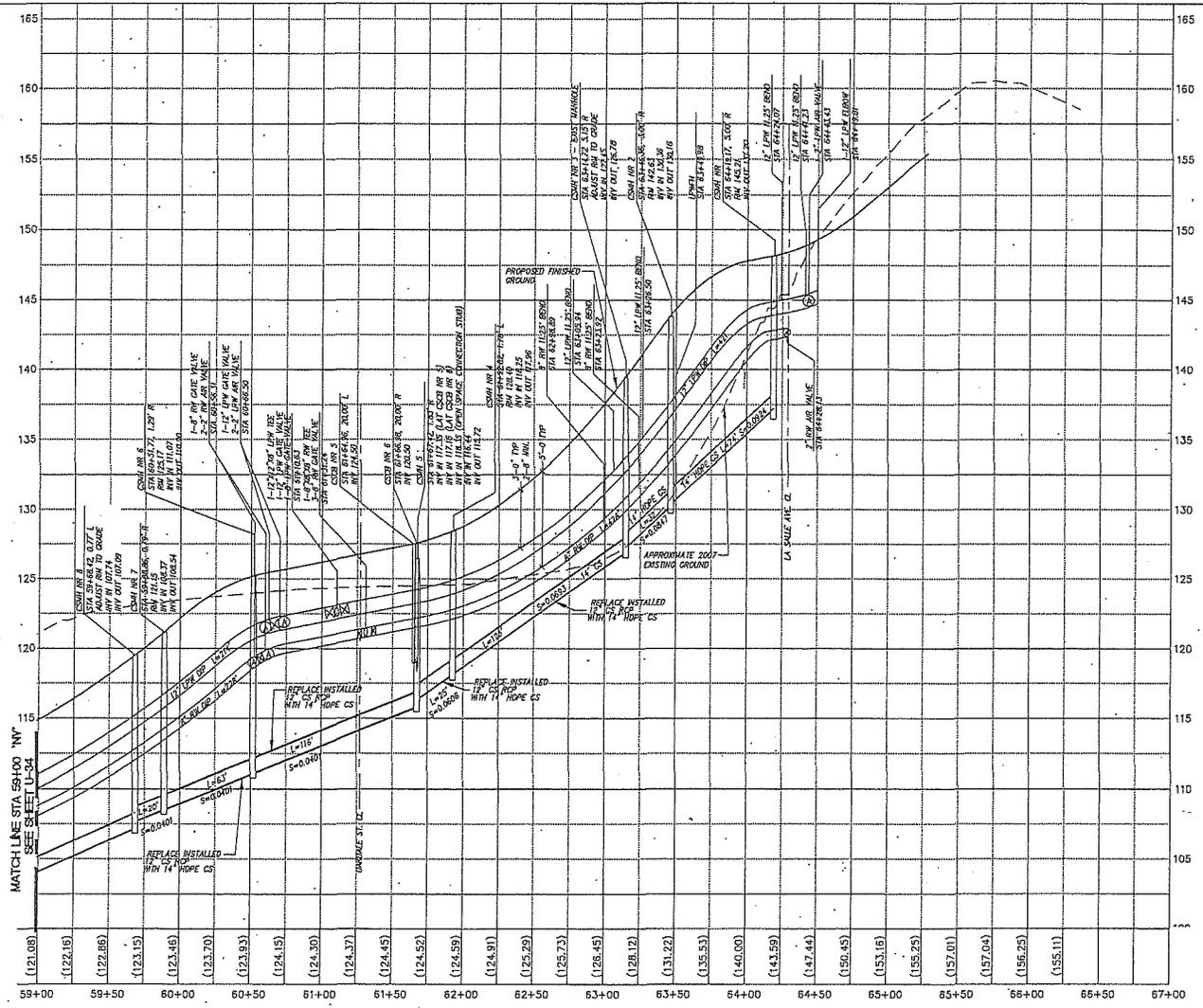
BKF
 ENGINEERING | SURVEYING | PLANNING
 255 SHORELINE DRIVE, STE. 200
 REDWOOD CITY, CA 94063
 (650) 482-3399 FAX

LENNAR / BVHP
 48 STEVENSON STREET, SUITE 525
 SAN FRANCISCO, CALIFORNIA 94105

HUNTERS POINT SHIPYARD DEVELOPMENT PROJECT
 PARCEL A' INFRASTRUCTURE
 UTILITY PLAN
 NAVY RD "N" STA 59+00 TO CONFORM & OAKDALE AVE "O" STA 19+25 TO 23+37.94

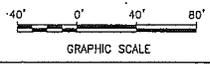
SCALE 1"=40'
 CONTRACT DATE 11-30-15
 SHEET DRAWING U-31
 SHEETS

1916



- NOTES:
1. POTHOLE EXISTING UTILITIES PRIOR TO TRENCHING.
 2. COMBINED SEWER PIPE MATERIAL TO BE FUSION WELDED HOPE SORT PIPE PER ASTM D3035. COMBINED SEWER PIPE SIZES SHOWN ON PLANS REFER TO THE OUTSIDE DIAMETER OF THE PIPE.

PROFILE - NAVY RD.



NO.	DATE	DESCRIPTION	REVISED	CHECKED	APPROVED
1	11-20-18	COMPREHENSIVE HILLSIDE 19			

REGISTERED PROFESSIONAL ENGINEER
 1800 M. ADAMS
 No. 45428
 EXP. 12/31/18
 STATE OF CALIFORNIA
 CIVIL

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 REDWOOD CITY, CA 94065
 (650) 442-8200
 (650) 442-8299 (FAX)

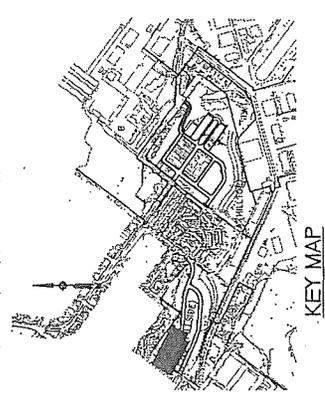
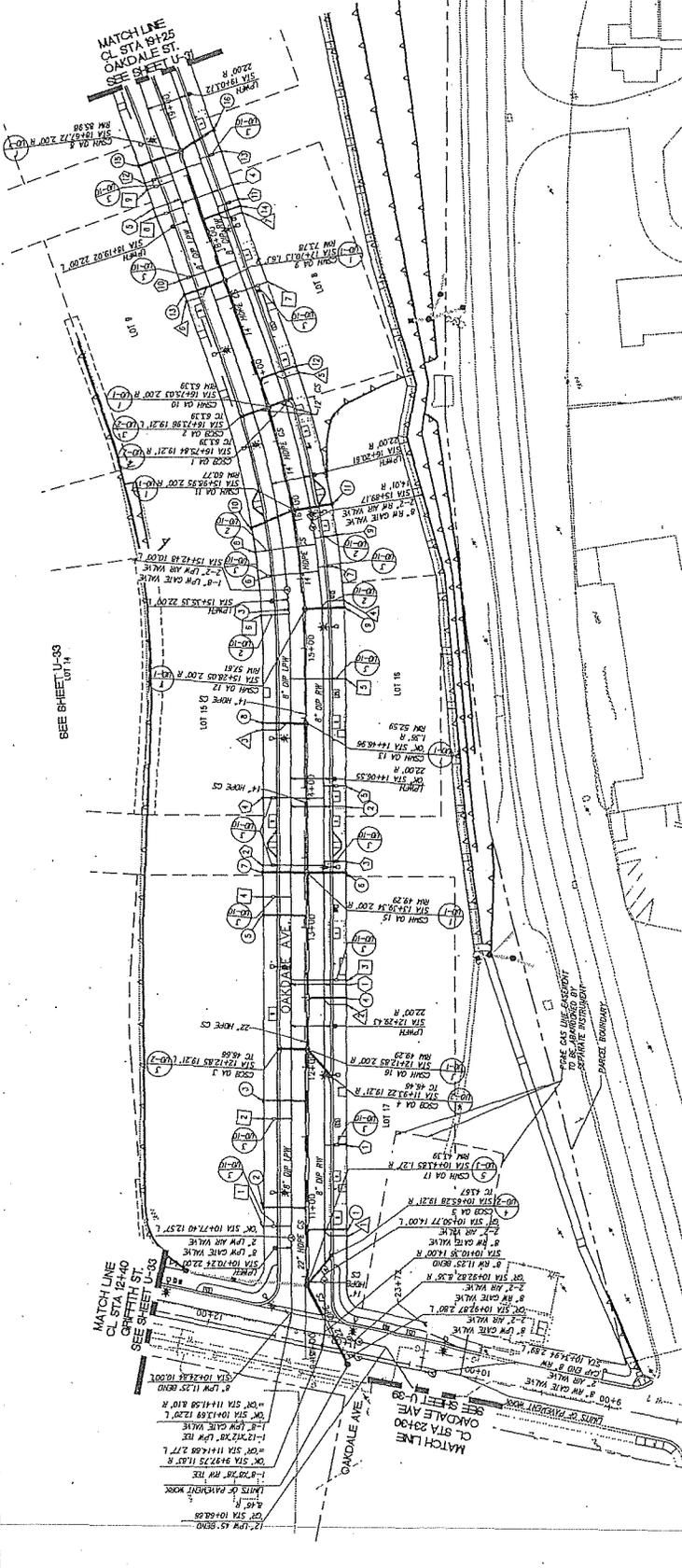
LENNAR / BVHP
 49 STEVENSON STREET, SUITE 525
 SAN FRANCISCO, CALIFORNIA 94105

HUNTERS POINT SHIPYARD DEVELOPMENT PROJECT
 PARCEL A' INFRASTRUCTURE

UTILITY PROFILE
 NAVY ROAD - "NV" STA 59+00 TO 65+26.42

SCALE 1"=40'
 1"=4'
 CONTRACT DATE 11-20-18
 SHEET NUMBER U-32

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KEY MAP
N.T.S.

OAKDALE 10+00 TO 19+25

STORM DRAIN SD LATERALS			
ID	STA	OFFSET	SIZE (IN)
1	10+43.82	31.000R	8
2	10+43.82	31.000R	8
3	10+43.82	31.000R	8
4	10+43.82	31.000R	8
5	10+43.82	31.000R	8
6	10+43.82	31.000R	8
7	10+43.82	31.000R	8
8	10+43.82	31.000R	8
9	10+43.82	31.000R	8
10	10+43.82	31.000R	8
11	10+43.82	31.000R	8
12	10+43.82	31.000R	8
13	10+43.82	31.000R	8
14	10+43.82	31.000R	8
15	10+43.82	31.000R	8
16	10+43.82	31.000R	8
17	10+43.82	31.000R	8
18	10+43.82	31.000R	8
19	10+43.82	31.000R	8
20	10+43.82	31.000R	8

SANITARY SEWER SS LATERALS			
ID	STA	OFFSET	SIZE (IN)
1	10+43.82	31.000R	8
2	10+43.82	31.000R	8
3	10+43.82	31.000R	8
4	10+43.82	31.000R	8
5	10+43.82	31.000R	8
6	10+43.82	31.000R	8
7	10+43.82	31.000R	8
8	10+43.82	31.000R	8
9	10+43.82	31.000R	8
10	10+43.82	31.000R	8
11	10+43.82	31.000R	8
12	10+43.82	31.000R	8
13	10+43.82	31.000R	8
14	10+43.82	31.000R	8
15	10+43.82	31.000R	8
16	10+43.82	31.000R	8
17	10+43.82	31.000R	8
18	10+43.82	31.000R	8
19	10+43.82	31.000R	8
20	10+43.82	31.000R	8

LOW PRESSURE WATER LPW LATERALS			
ID	STA	OFFSET	SIZE (IN)
1	10+43.82	31.000R	8
2	10+43.82	31.000R	8
3	10+43.82	31.000R	8
4	10+43.82	31.000R	8
5	10+43.82	31.000R	8
6	10+43.82	31.000R	8
7	10+43.82	31.000R	8
8	10+43.82	31.000R	8
9	10+43.82	31.000R	8
10	10+43.82	31.000R	8
11	10+43.82	31.000R	8
12	10+43.82	31.000R	8
13	10+43.82	31.000R	8
14	10+43.82	31.000R	8
15	10+43.82	31.000R	8
16	10+43.82	31.000R	8
17	10+43.82	31.000R	8
18	10+43.82	31.000R	8
19	10+43.82	31.000R	8
20	10+43.82	31.000R	8

FIRE WATER FW LATERALS			
ID	STA	OFFSET	SIZE (IN)
1	10+43.82	31.000R	8
2	10+43.82	31.000R	8
3	10+43.82	31.000R	8
4	10+43.82	31.000R	8
5	10+43.82	31.000R	8
6	10+43.82	31.000R	8
7	10+43.82	31.000R	8
8	10+43.82	31.000R	8
9	10+43.82	31.000R	8
10	10+43.82	31.000R	8
11	10+43.82	31.000R	8
12	10+43.82	31.000R	8
13	10+43.82	31.000R	8
14	10+43.82	31.000R	8
15	10+43.82	31.000R	8
16	10+43.82	31.000R	8
17	10+43.82	31.000R	8
18	10+43.82	31.000R	8
19	10+43.82	31.000R	8
20	10+43.82	31.000R	8

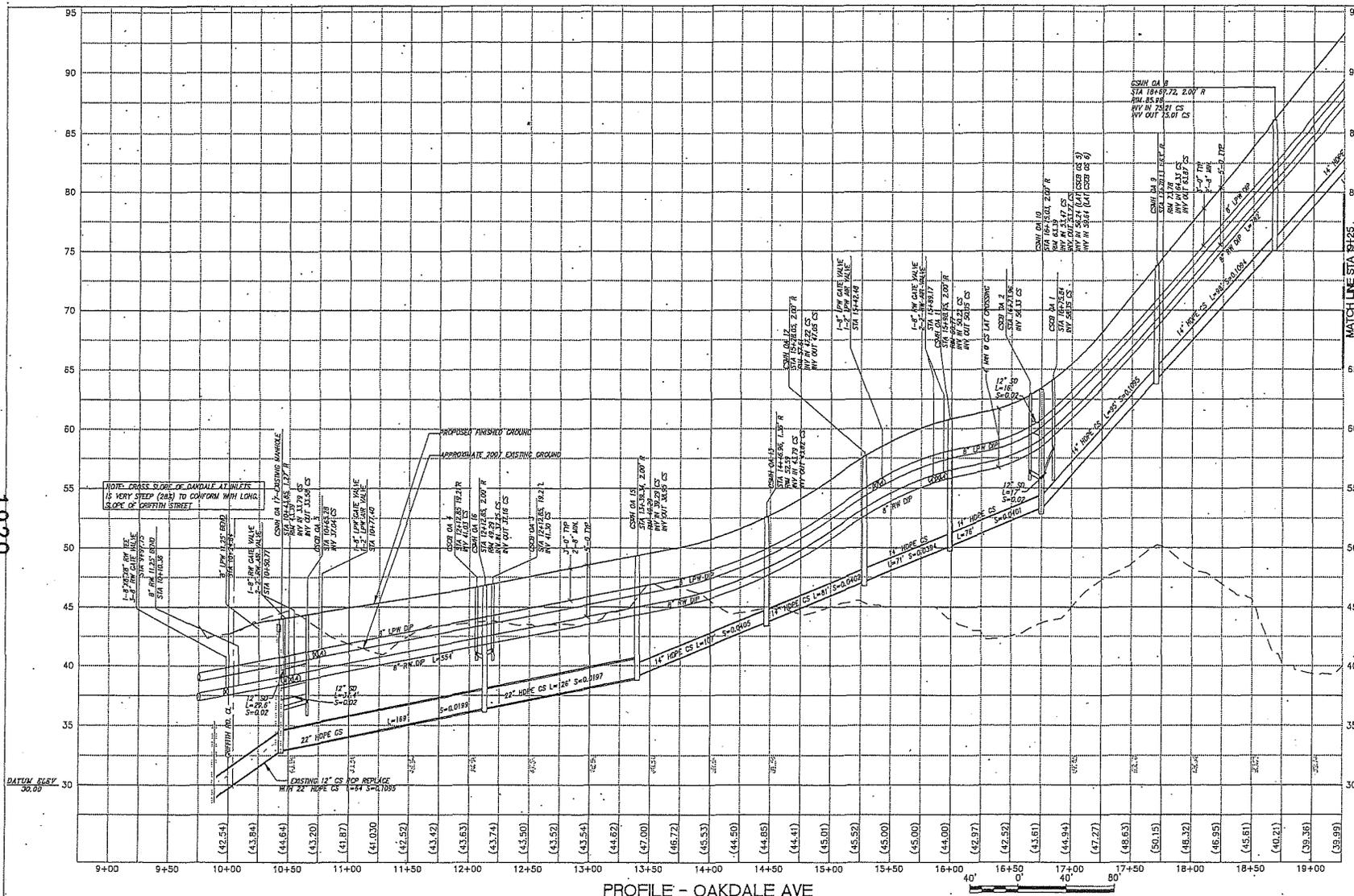
RECLAIMED WATER RW LATERALS			
ID	STA	OFFSET	SIZE (IN)
1	10+43.82	31.000R	8
2	10+43.82	31.000R	8
3	10+43.82	31.000R	8
4	10+43.82	31.000R	8
5	10+43.82	31.000R	8
6	10+43.82	31.000R	8
7	10+43.82	31.000R	8
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9	10+43.82	31.000R	8
10	10+43.82	31.000R	8
11	10+43.82	31.000R	8
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17	10+43.82	31.000R	8
18	10+43.82	31.000R	8
19	10+43.82	31.000R	8
20	10+43.82	31.000R	8



GRAPHIC SCALE

<p>LENNAR / BVHP 49 STONEMAN STREET, SUITE 505 SAN FRANCISCO, CALIFORNIA 94105</p>		<p>BKF Professional Engineers / Planners 225 SHARON DRIVE, STE. 200 SAN FRANCISCO, CALIFORNIA 94133 PHONE 415-238-8100</p>	
<p>HUNTERS POINT SHIPYARD DEVELOPMENT PROJECT PARCEL A' INFRASTRUCTURE</p>		<p>UTILITY PLAN OAKDALE STREET - "OK" STA 10+00 TO 19+25</p>	
<p>PROJECT NO. 11-30-15</p>		<p>DATE 11-30-15</p>	
<p>U-05</p>		<p>SCALE 1"=40'</p>	
<p>REVISIONS</p>		<p>PROFESSIONAL ENGINEER No. 45428 EXP. 12/31/16</p>	

1920



NOTES:
 1. COMBINED SEWER PIPE MATERIAL TO BE FUSION WELDED HOPE SHORT PIPE PER ASTM D3035. COMBINED SEWER PIPE SIZES SHOWN ON PLANS REFER TO THE OUTSIDE DIAMETER OF THE PIPE.

BAYVIEW
 30.00

PROFILE - OAKDALE AVE

NO.	DATE	DESCRIPTION	DESIGNED	DRAWN	CHECKED	REVIEWED	RECOMMENDED	APPROVED
1	11-30-15	COMPREHENSIVE HILLSIDE @ 19						
REVISIONS								

REGISTERED PROFESSIONAL ENGINEER
 TODD M. ADAMS
 No. 45428
 Exp. 12/31/16
 CIVIL
 STATE OF CALIFORNIA

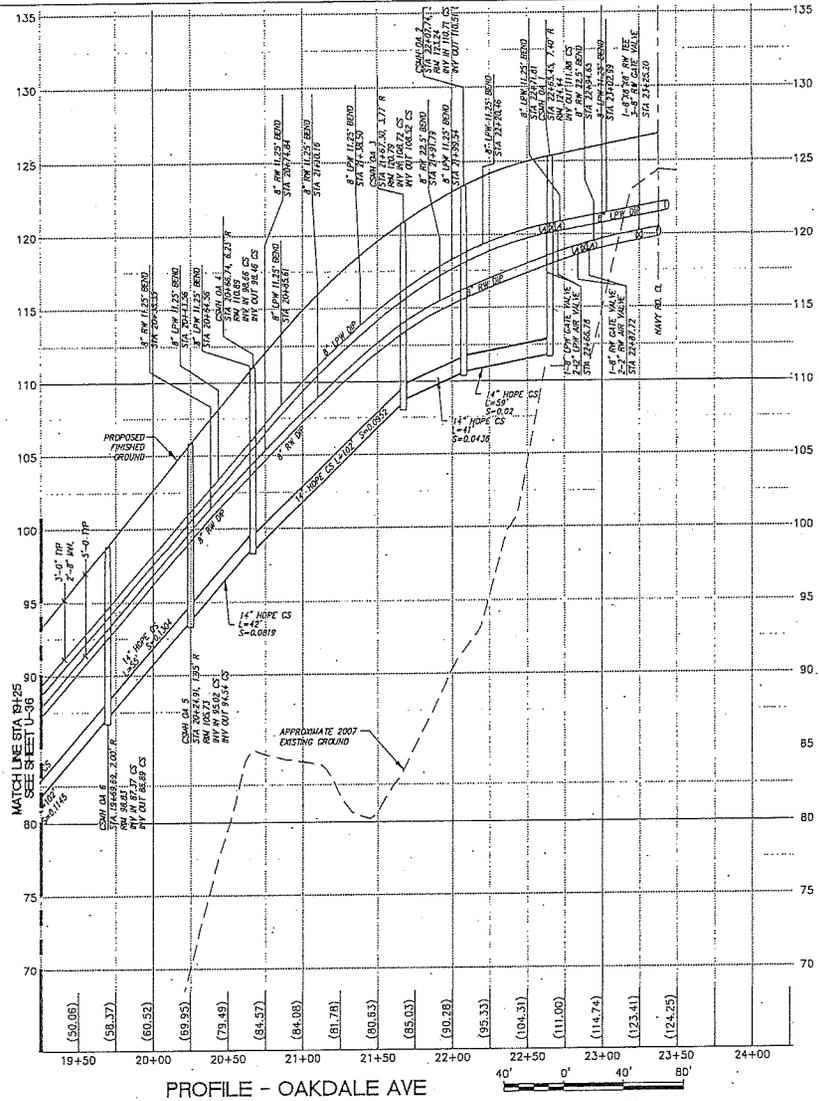
BKF
 ENGINEERS | ARCHITECTS | PLANNERS
 355 SHORELINE DRIVE, STE. 200
 REDWOOD CITY, CA 94061
 (650) 482-8000
 (650) 482-8033 (FAX)

LENNAR / BVHP
 46 STEVENSON STREET, SUITE 325
 SAN FRANCISCO, CALIFORNIA 94105

HUNTERS POINT SHIPYARD DEVELOPMENT PROJECT
 PARCEL A' INFRASTRUCTURE
 UTILITY PROFILE
 OAKDALE AVE - "OK" STA 10+00.00 TO 19+25.00

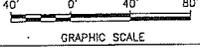
SCALE 1"=40'
 1"=80'
 CONTRACT DATE 11-30-15
 SHEET DRAWING U-36
 SHEETS

1921



- NOTES:
1. POT-HOLE EXISTING UTILITIES PRIOR TO TRENCHING.
 2. COMBINED SEWER PIPE MATERIAL TO BE FUSION WELDED HOPE SORT PIPE PER ASTM D2685. COMBINED SEWER PIPE SIZES SHOWN ON PLANS REFER TO THE OUTSIDE DIAMETER OF THE PIPE.

PROFILE - OAKDALE AVE



NO.	DATE	DESCRIPTION	REVISED	CHECKED	APPROVED
1	11-30-15	COMPREHENSIVE HILLSIDE IB 19			

REGISTERED PROFESSIONAL ENGINEER
 1900 M. J. JAMES
 No. 45428
 Exp. 12/31/16
 CIVIL
 STATE OF CALIFORNIA

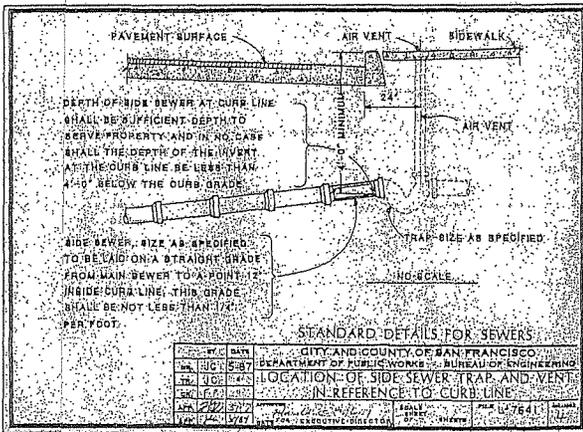
BKF
 Engineering | Surveying | Planning
 355 SHORELINE DRIVE, STE. 200
 REDWOOD CITY, CA 94065
 (650) 462-3300
 (650) 462-6399 (FAX)

LENNAR / BVHP
 49 STEVENSON STREET, SUITE 525
 SAN FRANCISCO, CALIFORNIA 94105

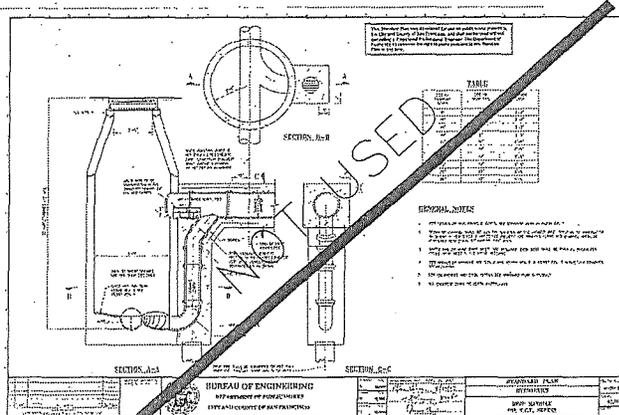
HUNTERS POINT SHIPYARD DEVELOPMENT PROJECT
 PARCEL A' INFRASTRUCTURE
 UTILITY PROFILE
 OAKDALE AVE - "OK" STA 19+25.00 TO END

SCALE	1"=40'
CONTRACT	11-30-15
DATE	
SHEET	U-37
DRAWING	
SHEET	

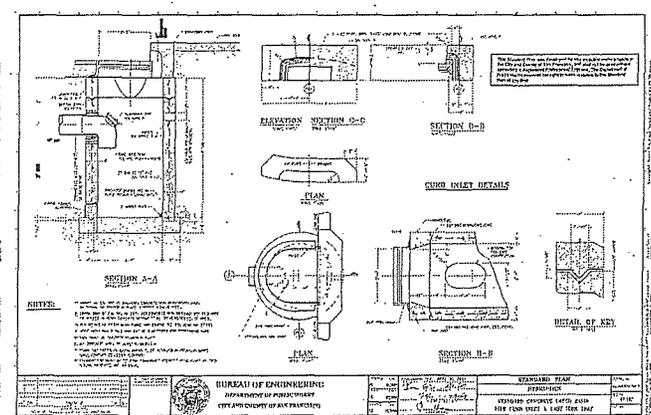
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 PLOTTER: HP DesignJet T1100PS
 PLOT SCALE: 1"=40'
 PLOT SHEET: U-37



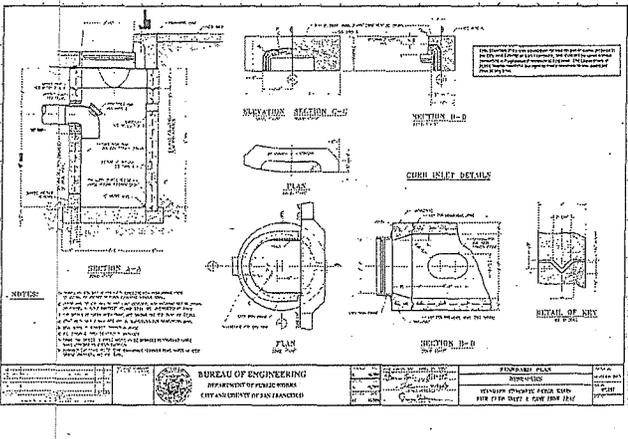
1 LOCATION OF SIDE SEWER TRAP AND VENT IN REFERENCE TO CURB LINE
SCALE: NTS



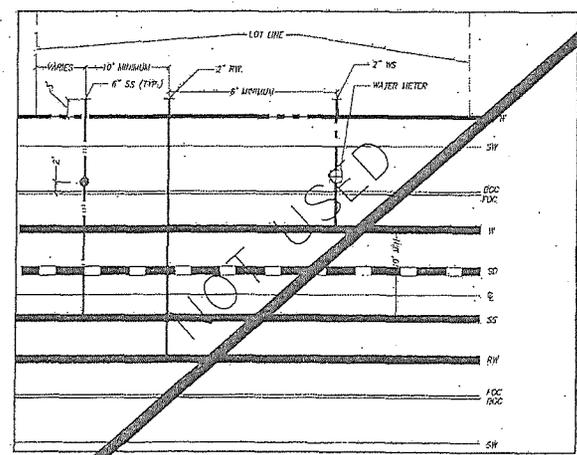
2 DROP MANHOLE FOR VCP SEWERS
SCALE: NTS



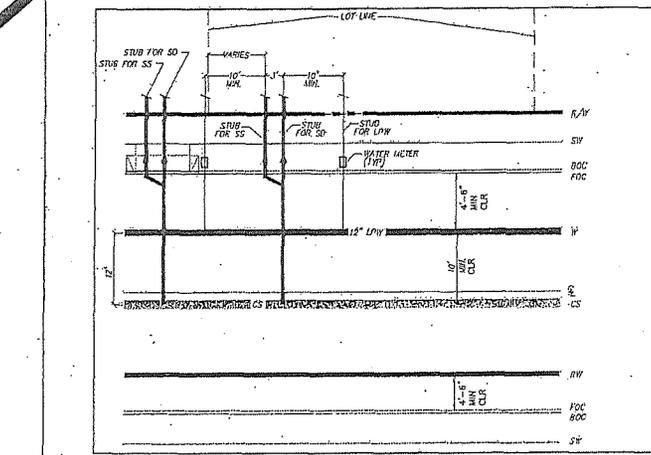
3 MODIFIED CONCRETE CATCH BASIN WITH CURB INLET AND CAST IRON TRAP
SCALE: NTS



4 CONCRETE CATCH BASIN WITH CURB INLET AND CAST IRON TRAP
SCALE: NTS



5 TYPICAL PARK AND OPEN SPACE SERVICE CONNECTIONS FOR HILLTOP (SEPARATED SYSTEM)
SCALE: 1" = 10'



6 TYPICAL PARK AND OPEN SPACE SERVICE CONNECTIONS FOR HILLSIDE (COMBINED SYSTEM)
SCALE: 1" = 10'

1927

DATE: 11-20-15
DRAWN BY: [Name]
CHECKED BY: [Name]
SCALE: AS SPECIFIED

NO.	DATE	DESCRIPTION	REVISED	CHECKED	APPROVED
1	11-20-15	COMPREHENSIVE HILLSIDE 1B 19			

REGISTERED PROFESSIONAL ENGINEER
TODD M. ADAMS
No. 45428
EXP. 12/31/16
CIVIL
STATE OF CALIFORNIA

DESIGNED: [Name]
DRAWN: [Name]
CHECKED: [Name]
REVIEWED: [Name]
RECORDED: [Name]
APPROVED: [Name]
DATE: [Date]

BKF
ENGINEERING / ARCHITECTURE / PLANNING
255 SHORELINE DRIVE, STE. 200
REDWOOD CITY, CA 94065
(650) 482-8300
(650) 482-8399 (FAX)

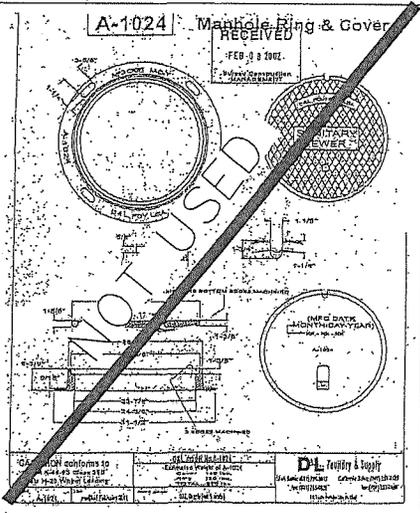
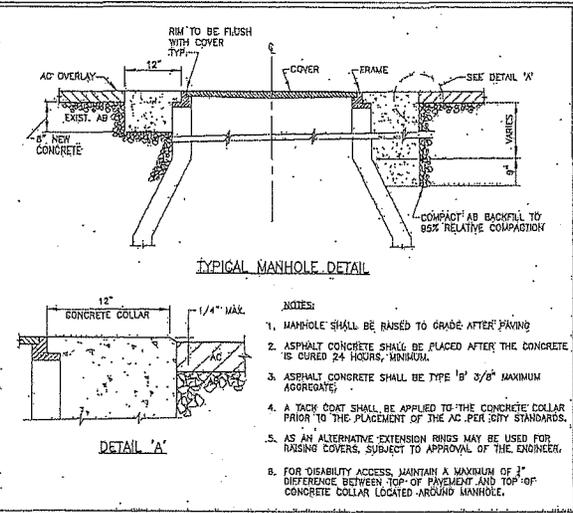
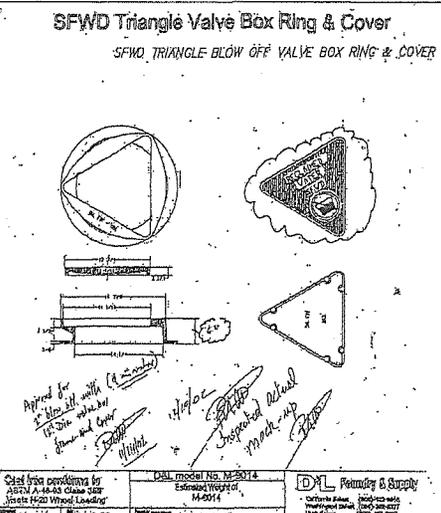
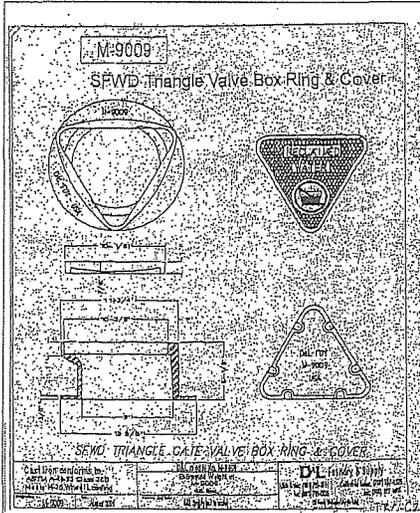
LENNAR / BVHP
49 STEVENSON STREET, SUITE 525
SAN FRANCISCO, CALIFORNIA 94105

HUNTERS POINT SHIPYARD DEVELOPMENT PROJECT
PARCEL A' INFRASTRUCTURE

UTILITY DETAILS

SCALE: AS SPECIFIED
CONTRACT: [Number]
DATE: 11-30-15
SHEET: UD-2

1928

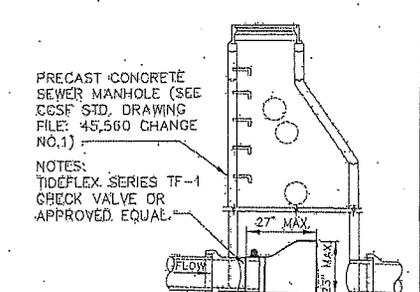
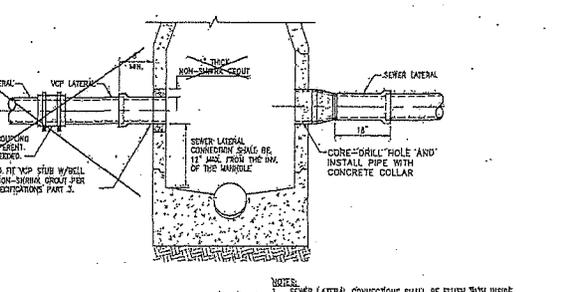
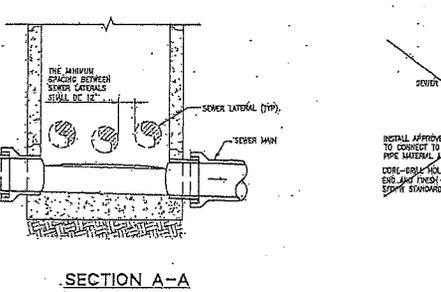
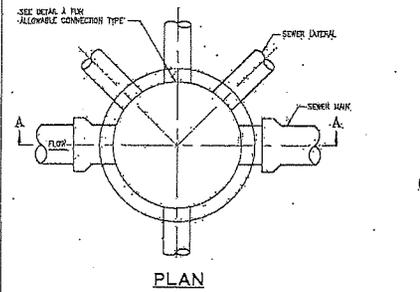


1 SFWD TRIANGLE GATE VALVE BOX & COVER
SCALE: NTS

2 SFWD TRIANGLE BLOW OFF VALVE BOX RING & COVER
SCALE: NTS

3 STANDARD TO RAISE A MANHOLE
SCALE: NTS

4 MANHOLE RING & COVER - SANITARY SEWER
SCALE: NTS



5 SEWER LATERAL CONNECTION TO MAIN MANHOLE
SCALE: NTS

6 TYPICAL COMBINED SEWER MANHOLE DETAIL WITH CHECK VALVE
SCALE: NTS

NO.	DATE	DESCRIPTION	REVISED	CHECKED	APPROVED
1	11-30-15	COMPREHENSIVE HILLSIDE IB 19			

REVISIONS

REGISTERED PROFESSIONAL ENGINEER
TOSCO M. ADAM
No. 45428
EXP. 12/31/16
STATE OF CALIFORNIA
CIVIL

BKF
ENGINEERS | ARCHITECTS | PLANNERS
215 SHORELINE DRIVE, STE. 200
REDWOOD CITY, CA 94065
(650) 482-6200
(650) 482-6389 (FAX)

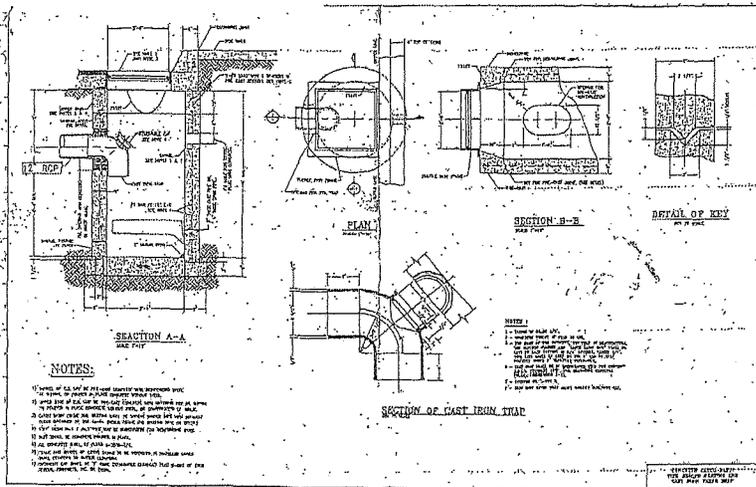
LENNAR / BVHP
49 STEVENSON STREET, SUITE 525
SAN FRANCISCO, CALIFORNIA 94105

HUNTERS POINT SHIPYARD DEVELOPMENT PROJECT
PARCEL 'A' INFRASTRUCTURE
UTILITY DETAILS

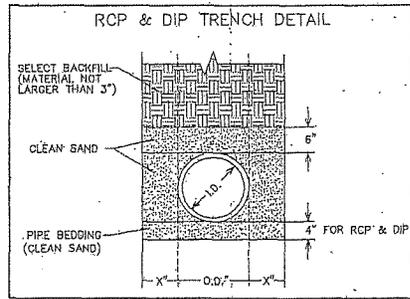
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CONTRACT: DATE: 11-30-15
SHEET: DRAWING:
OF: DRAWING:
SHEET: UD-3

DATE PLOTTED: 11/14/16 10:51 AM

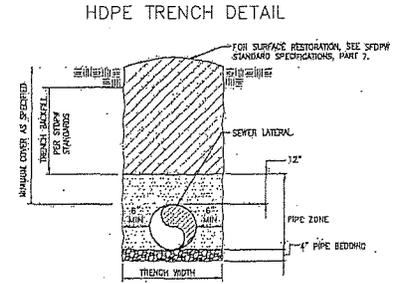
1929



1 STORM DRAIN CATCH BASIN (CAST IRON TRAP 4' MIN.)
SCALE: NTS NOTE: TO BE USED WITH THE COMBINED SEWER SYSTEM

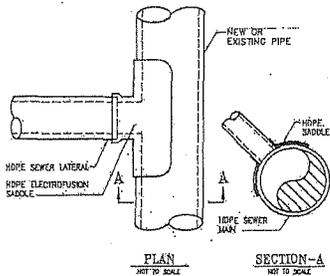


UNDER 10"	1.0'
10" TO 4.5'	1.0'
OVER 4.5'	2.0'



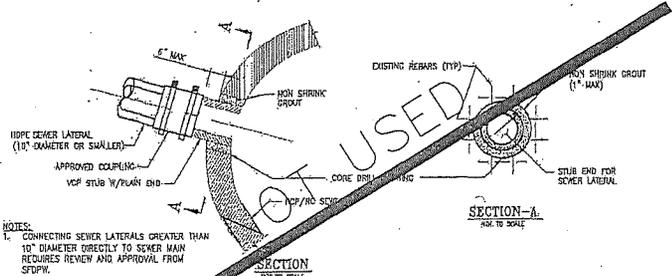
- NOTES:**
1. TRENCH DEPTH NOT EXCEEDING 5'-0" SHALL HAVE VERTICAL WALLS IN PIPE ZONE UNLESS NOTED OTHERWISE.
 2. BACKFILL SHALL BE NATIVE MATERIAL CAREFULLY PLACED AND MECHANICALLY COMPACTED, PER SDPW STANDARD SPECIFICATIONS.
 3. PIPE ZONE AND BEDDING MATERIAL SHALL BE NATURAL OR PREPARED SAND.
 4. FOR ADDITIONAL INFORMATION ON VCP SEWER LATERALS, SEE ASTM C12 "STANDARD PRACTICE FOR INSTALLING VITRIFIED CLAY PIPE LINES". FOR ADDITIONAL INFORMATION ON HDPE AND HDPE SEWER LATERALS, SEE ASTM D3034 "STANDARD PRACTICE FOR UNDERGROUND INSTALLATION OF THERMOPLASTIC PIPE FOR SEWERS AND OTHER GRAVITY-FLOW APPLICATIONS".

2 WET UTILITY TRENCH DETAILS
SCALE: NTS



- NOTES:**
1. PIPE SHALL BE CORED TO CONFORM TO THE OPENING OF THE SADDLE.
 2. NO SADDLES CAN BE INSTALLED WITHIN FOUR FEET OF AN EXISTING BRANCH.
 3. CONNECTING SEWER MAIN MUST BE MINIMUM ONE PIPE SIZE LARGER THAN THE SEWER LATERAL. NON-STANDARD CONNECTIONS REQUIRE APPROVAL FROM SDPW ENGINEER.
 4. APPROVED COUPLINGS SHALL BE PER SDPW STANDARD SPECIFICATIONS, PART 3.

3 HDPE SADDLE (CONNECTION TO NEW OR EXISTING PIPE)
SCALE: NTS



- NOTES:**
1. CONNECTING SEWER LATERALS GREATER THAN 10" DIAMETER DIRECTLY TO SEWER MAIN REQUIRES REVIEW AND APPROVAL FROM SDPW.
 2. ALL CONNECTIONS ARE REQUIRED TO BE BETWEEN THE 9 O'CLOCK AND 11 O'CLOCK POSITION ON THE SEWER MAIN.

4 VCP PLAIN END STUB AND APPROVED COUPLING CONNECTION (CONNECTION TO NEW OR EXISTING SEWER MAIN)
SCALE: NTS

4 (CONNECTION TO NEW OR EXISTING SEWER MAIN)
SCALE: NTS

DATE PLOTTED: 11/30/15 10:58 AM

NO.	DATE	DESCRIPTION	REVISED	CHECKED	APPROVED
1	11-30-15	COMPREHENSIVE HILLSIDE 10 19			

REVISIONS

REGISTERED PROFESSIONAL ENGINEER
TODD M. ADAM
No. 45428
EXP. 12/31/18
CIVIL
STATE OF CALIFORNIA

RECEIVED
DRAWN
CHECKED
REVIEWED
RECOMMENDED
APPROVED
DATE

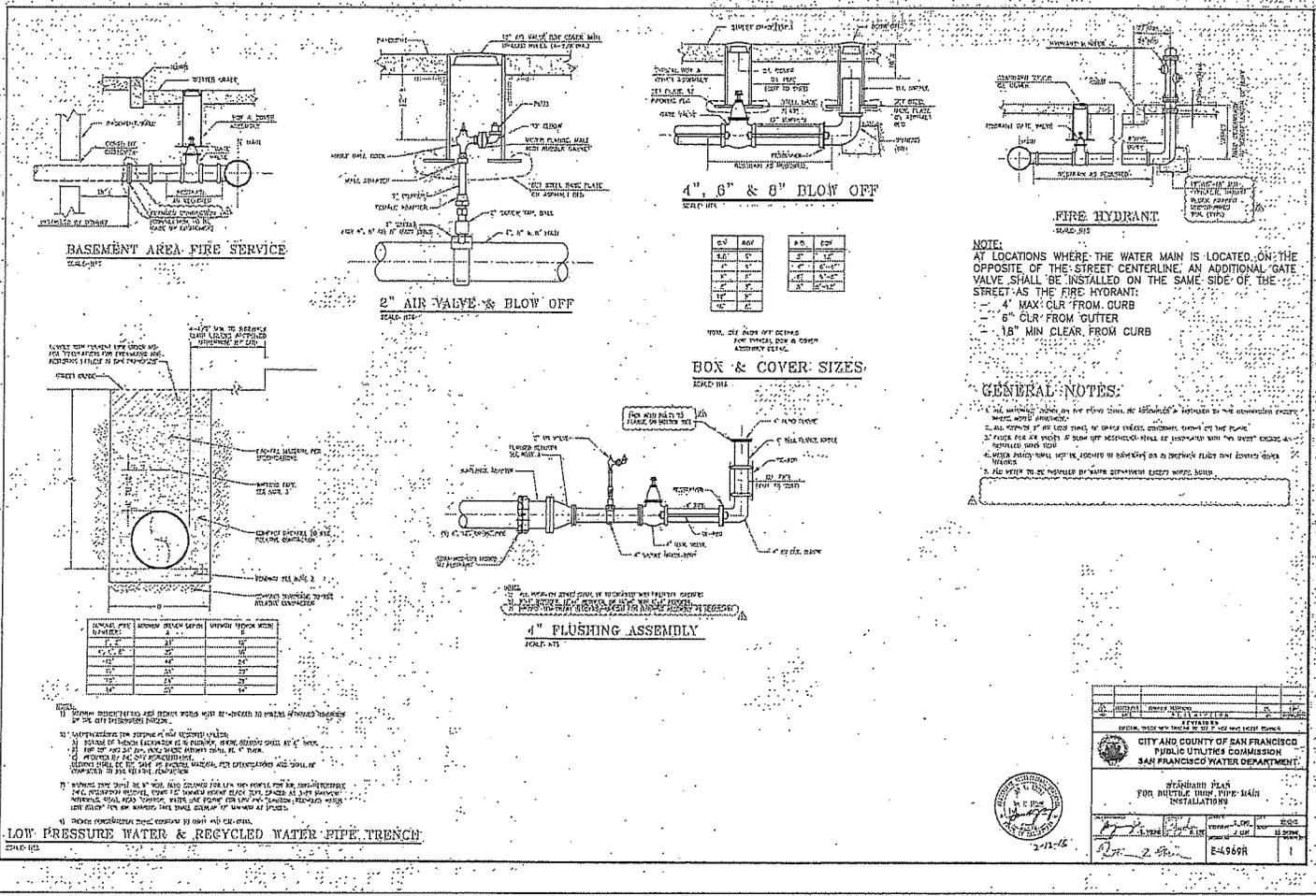
BKF
255 SHORELINE DRIVE, STE. 200
REDWOOD CITY, CA 94065
(650) 422-0200
(650) 422-0389 (FAX)

LENNAR / BVHP
49 STEVENSON STREET, SUITE 525
SAN FRANCISCO, CALIFORNIA 94103

HUNTERS POINT SHIPYARD DEVELOPMENT PROJECT
PARCEL A' INFRASTRUCTURE
UTILITY DETAILS

SCALE	AS SPECIFIED
CONTRACT	DATE 11-30-15
SHEET	DATE
OF	DATE
PROJECT	UD-4

1930



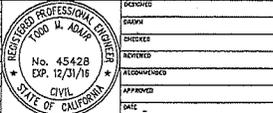
LOW PRESSURE WATER & RECYCLED WATER PIPE TRENCH

22449-1111

NOTE:
 AT LOCATIONS WHERE THE WATER MAIN IS LOCATED ON THE OPPOSITE OF THE STREET CENTERLINE, AN ADDITIONAL GATE VALVE SHALL BE INSTALLED ON THE SAME SIDE OF THE STREET AS THE FIRE HYDRANT:
 - 4' MAX. CLR. FROM CURB
 - 6" CLR. FROM GUTTER
 - 18" MIN. CLEAR. FROM CURB

GENERAL NOTES:
 1. ALL MATERIALS SHALL BE AS SPECIFIED OR APPROVED BY THE DEPARTMENT ENGINEER.
 2. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR THE CITY OF SAN FRANCISCO.
 3. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR THE CITY OF SAN FRANCISCO.
 4. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR THE CITY OF SAN FRANCISCO.
 5. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR THE CITY OF SAN FRANCISCO.

NO.	DATE	DESCRIPTION	APPROVED
1	11-30-13	COMPREHENSIVE HILLSIDE IS 18	



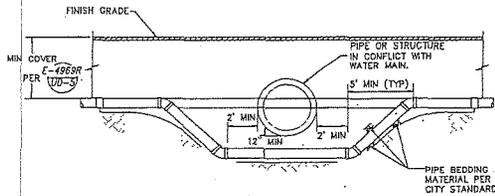
LENNAR / BVHP
 48 STEVENSON STREET, SUITE 525
 SAN FRANCISCO, CALIFORNIA 94105

HUNTERS POINT SHIPYARD DEVELOPMENT PROJECT
 PARCEL A' INFRASTRUCTURE
 UTILITY DETAILS

SCALE	AS SPECIFIED
CONTRACT	DATE 11-30-15
SHEET	DRAWING UD-5

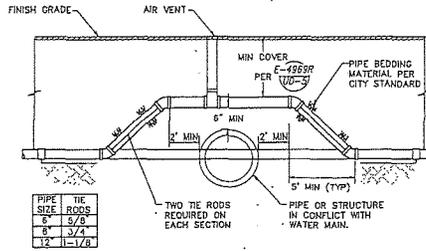
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1931



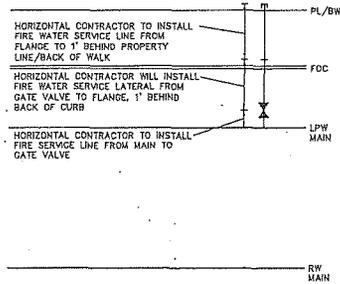
- NOTES:**
1. ALL PIPE & FITTINGS SHALL BE DOUBLE THICKNESS CEMENT-MORTAR LINED CLASS 53 DUCTILE IRON & SHALL BE ENCASED IN 8 MIL POLYETHYLENE PER CITY OF SAN FRANCISCO STANDARD CONSTRUCTION SPECIFICATIONS.
 2. PIPE JOINTS SHALL BE TYTON JOINTS WITH FIELD LOK GASKETS OR APPROVED EQUAL.
 3. ALL BENDS SHALL BE 45° OR 22-1/2° FITTINGS, AS REQUIRED FOR PROPER HORIZONTAL SEPARATION.

1 WATER MAIN INSTALLATION UNDER STRUCTURE
SCALE: NTS



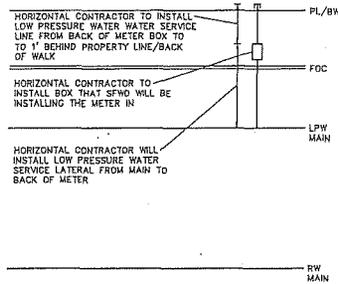
- NOTES:**
1. ALL PIPE & FITTINGS SHALL BE DOUBLE THICKNESS CEMENT-MORTAR LINED CLASS 53 DUCTILE IRON & SHALL BE ENCASED IN 8 MIL POLYETHYLENE PER CITY OF SAN FRANCISCO STANDARD CONSTRUCTION SPECIFICATIONS.
 2. PIPE JOINTS SHALL BE TYTON JOINTS WITH FIELD LOK GASKETS OR APPROVED EQUAL.
 3. ALL BENDS SHALL BE 45° OR 22-1/2° FITTINGS - NO 90° BENDS ALLOWED.

2 WATER MAIN INSTALLATION OVER STRUCTURE
SCALE: NTS

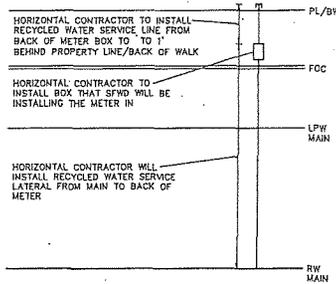


NOTE:
HORIZONTAL CONTRACTOR TO COORDINATE WITH SFD FOR INSPECTION AND TESTING FOR FIRE LATERAL FROM FLANGE POC TO PROPERTY LINE

FIRE WATER



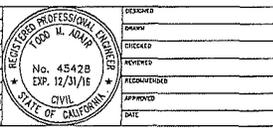
LOW PRESSURE WATER



RECYCLED WATER

3 RESPONSIBLE PARTY FOR DOMESTIC WATER/FIRE WATER/RECYCLED WATER LATERAL INSTALLATION
SCALE: NTS

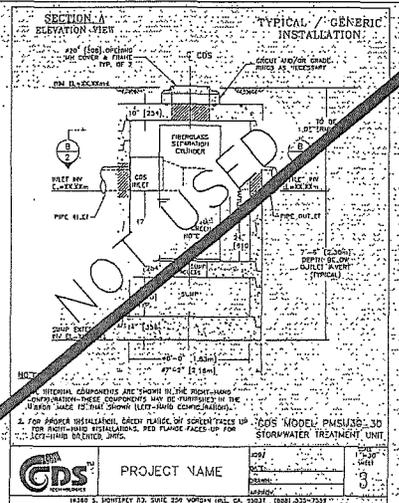
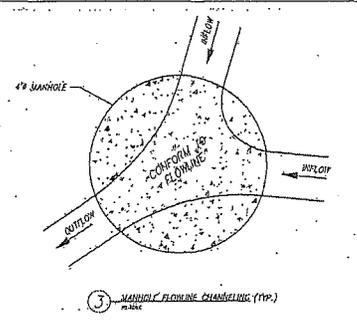
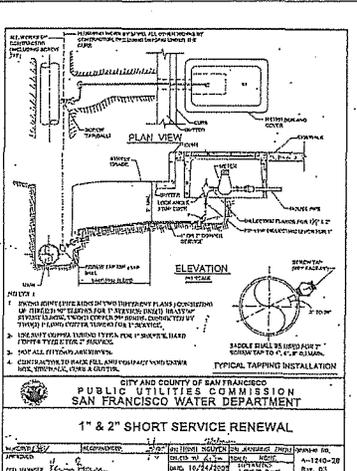
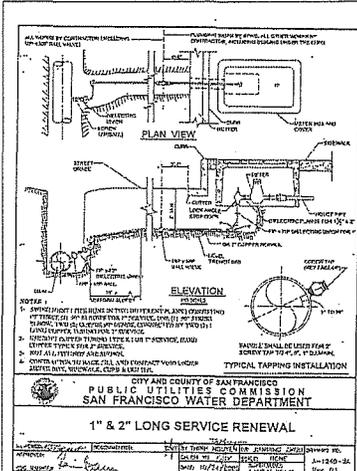
NO.	DATE	DESCRIPTION	DESIGNED	CHECKED	APPROVED
1	11-30-12	COMPREHENSIVE HILLSIDE TB 19			
REVISIONS					



LENNAR / BVHP
49 STEVENSON STREET, SUITE 525
SAN FRANCISCO, CALIFORNIA 94105

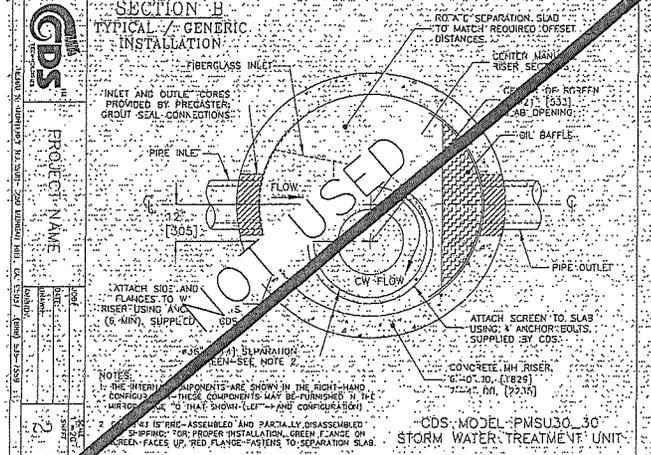
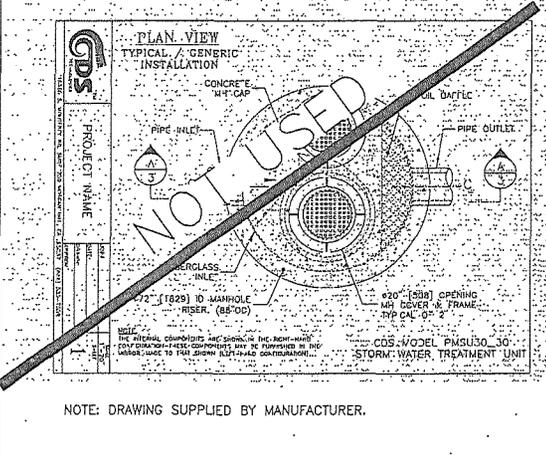
HUNTERS POINT SHIPYARD DEVELOPMENT PROJECT		SCALE: AS SPECIFIED
PARCEL A' INFRASTRUCTURE		CONTRACT DATE: 11-30-15
UTILITY DETAILS		SHEET DRAWING: UD-6

DATE PLOTTED: 11/30/15 10:58 AM

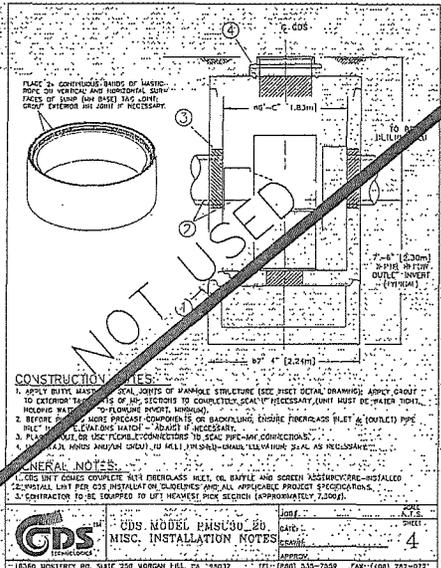


1 1' & 2" LONG SERVICE RENEWAL
SCALE: NTS

2 1' & 2" SHORT SERVICE RENEWAL
SCALE: NTS



4 CDS MODEL PMSU30_30
SCALE: NTS



1932

DATE: 10/24/2024
SCALE: NTS

NO.	DATE	DESCRIPTION	REVISIONS
1	11-30-15	COMPREHENSIVE HILLSIDE 18 15	

REGISTERED PROFESSIONAL ENGINEER
No. 45428
EXP. 12/31/16
CIVIL
STATE OF CALIFORNIA

BKF
335 CHORLEIGH DRIVE, ETC. 203
REDFORD CITY, CA 94605
(855) 482-8300
(855) 482-8308 (FAX)

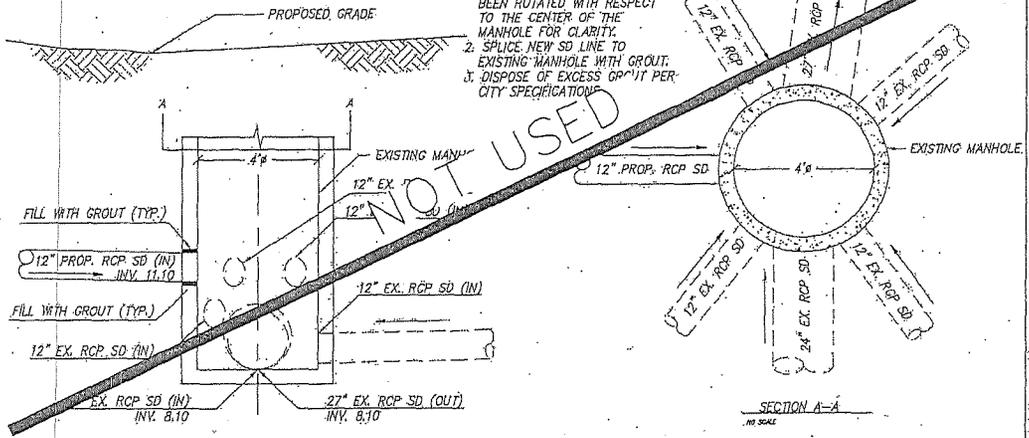
LENNAR / BVHP
48 STEVENSON STREET, SUITE 525
SAN FRANCISCO, CALIFORNIA 94105

HUNTERS POINT SHIPYARD DEVELOPMENT PROJECT
PARCEL A' INFRASTRUCTURE

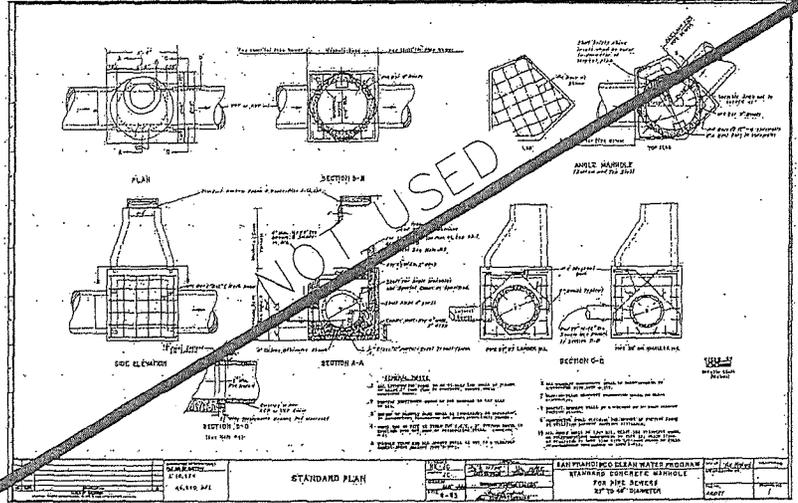
UTILITY DETAILS

SCALE: AS SPECIFIED
DATE: 11-30-15
SHEET: UD-7

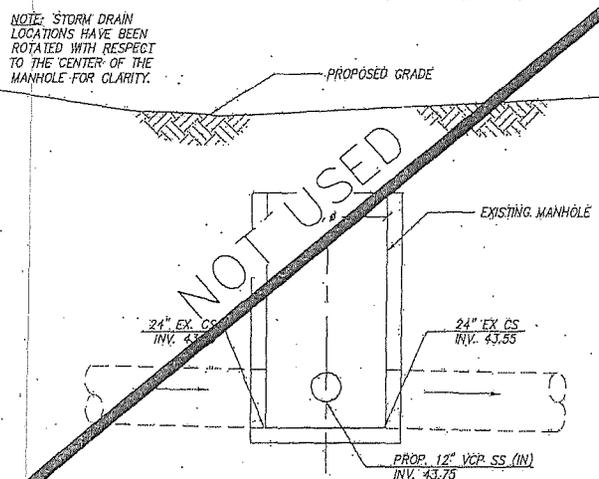
NOTES:
 1. STORM DRAIN LOCATIONS HAVE BEEN ROTATED WITH RESPECT TO THE CENTER OF THE MANHOLE FOR CLARITY.
 2. SPLICE NEW SD LINE TO EXISTING MANHOLE WITH GROUT.
 3. DISPOSE OF EXCESS GROUT PER CITY SPECIFICATIONS.



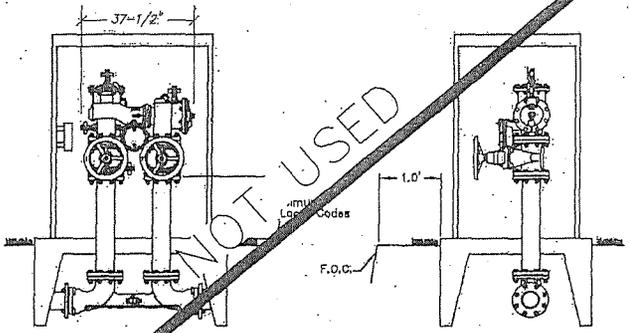
1 EXISTING STORM DRAIN MANHOLE CONNECTION ELEVATION (SHT U-24)
 SCALE: NTS



2 STANDARD CONCRETE MANHOLE 27" TO 48" DIAMETER
 SCALE: NTS

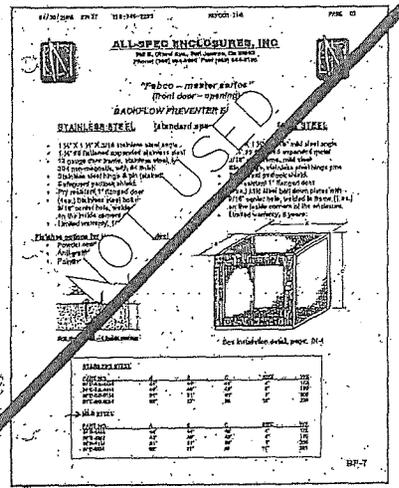


4 MANHOLE EXMH 1A CONNECTION DETAIL (SHT U-6)
 SCALE: NTS



FEBCO MODEL 880V
 Reduced Pressure Assembly - NRS Gates
 Outdoor Freeze Protection Installation

5 FEBCO MODEL 880V (8") BACKFLOW PREVENTER
 SCALE: NTS

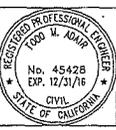


6 BACKFLOW PREVENTER ENCLOSURE DETAIL
 SCALE: NTS

1933

DRAWN BY: BKH, P. 11-30-15
 CHECKED BY: J. B. B. 11-30-15
 APPROVED BY: B. B. 11-30-15

NO.	DATE	DESCRIPTION	REVISED	CHECKED	APPROVED
1	11-30-15	COMPREHENSIVE HILLSIDE 10 19			
REVISIONS					



DESIGNED	
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DATE	

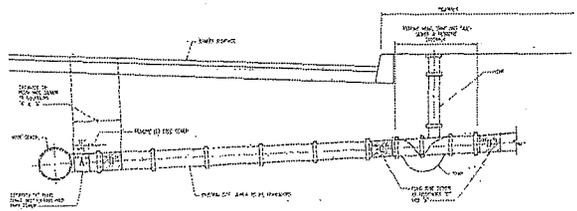


LENNAR / BVHP
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 SAN FRANCISCO, CALIFORNIA 94105

HUNTERS POINT SHIPYARD DEVELOPMENT PROJECT
 PARCEL A' INFRASTRUCTURE

UTILITY DETAILS

SCALE	AS SPECIFIED
CONTRACT	DATE 11-30-15
SHEET	NO. UD-8
TOTAL SHEETS	



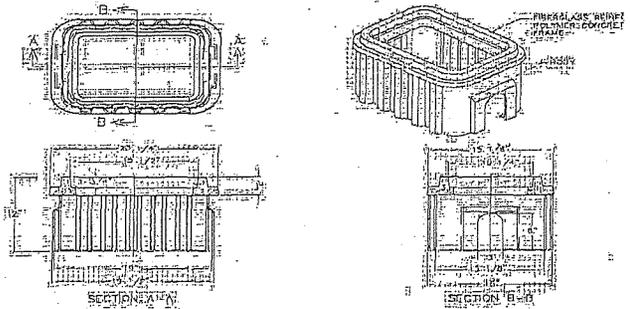
NOTES
 1. ALL WORK SHALL BE SUBJECT TO THE APPROVAL OF THE CITY AND COUNTY OF SAN FRANCISCO.
 2. SEE OTHER SHEETS FOR A COMPLETE LIST OF NOTES AND SPECIFICATIONS TO BE OBSERVED BY THE CONTRACTOR.

This Standard Plan was developed for use on all work prepared by the City and County of San Francisco, and shall be used when preparing a Standard Plan for the Department of Public Works. It is not to be used for any other purpose without the approval of the Department of Public Works.

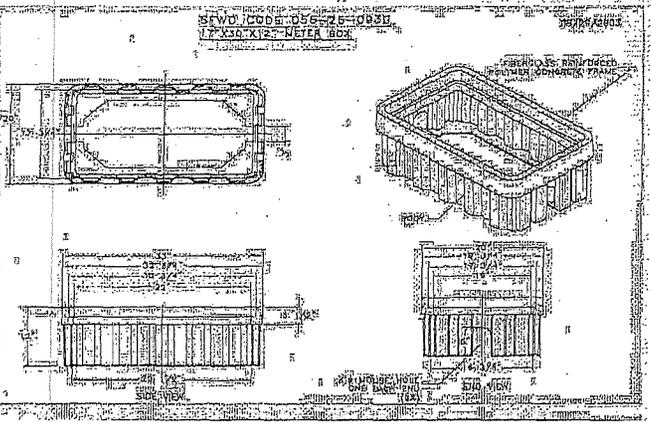
	BUREAU OF ENGINEERING DEPARTMENT OF PUBLIC WORKS CITY AND COUNTY OF SAN FRANCISCO	DESIGNED BY	STANDARD PLAN	DATE
		CHECKED BY	HYDRAULIC	11-30-15
		APPROVED BY	ABANDONMENT OF EXISTING 8" DIA. SEWER	SCALE
				NTS

1 SEWER ABANDONMENT
 SCALE: NTS

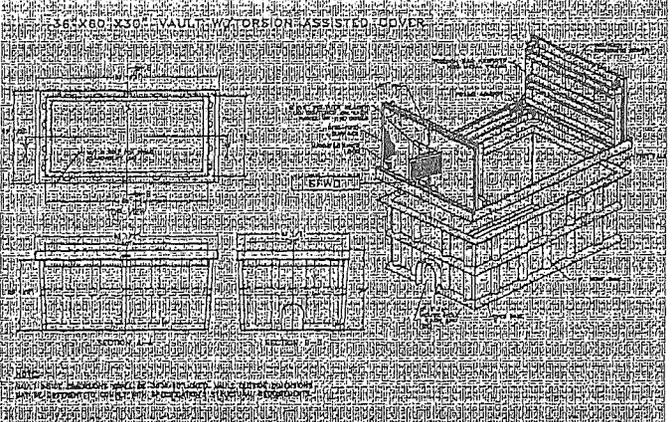
SEWDT CODE 1056-25-0925
 10'X15'X12" METER BOX



2 METER BOX FOR 1 INCH METER SERVICE
 SCALE: NTS



3 METER BOX FOR 2 INCH METER SERVICE
 SCALE: NTS



4 METER BOX FOR 4 INCH METER SERVICE
 SCALE: NTS

1935

DRAWING NUMBER: 11-30-15-COMPREHENSIVE WILLSDC 10 15
 DATE: 11-30-15
 DESIGNED BY: [Redacted]

NO.	DATE	DESCRIPTION	REVISED	CHECKED	APPROVED
1	11-30-15	COMPREHENSIVE WILLSDC 10 15			



DESIGNED BY	
CHECKED BY	
REVIEWED BY	
APPROVED BY	
DATE	

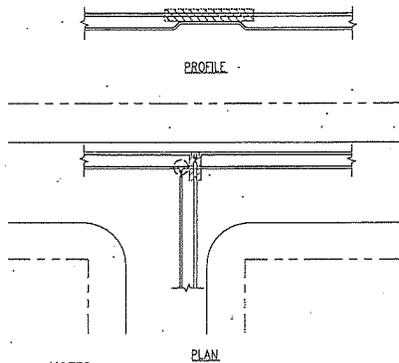
255 SHORELINE DRIVE, STE. 200
 REDWOOD CITY, CA 94065
 (650) 482-8200
 (650) 482-4399 (FAX)

LENNAR / BVHP
 49 STEVENSON STREET, SUITE 525
 SAN FRANCISCO, CALIFORNIA 94105

HUNTERS POINT SHIPYARD DEVELOPMENT PROJECT
 PARCEL A' INFRASTRUCTURE
 UTILITY DETAILS

SCALE	AS SPECIFIED
CONTRACT	DATE
	11-30-15
SHEET	DRAWING
OF	UD-10
SHEET	

1936



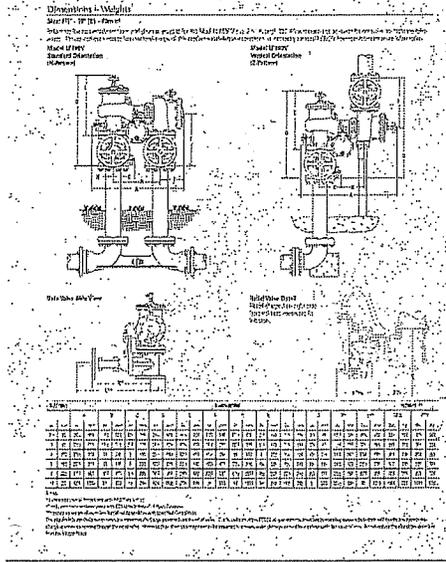
NOTES:

1. LOW PRESSURE WATER MAIN SHALL BE DUCTILE IRON WITH FIELD-LOK OR FAST-GRIP GASKETS PER SPECIFICATIONS.
2. LOW PRESSURE WATER JOINTS LESS THAN 4' FROM THE OUTSIDE DIAMETER OF THE RECYCLED WATER, AWWSS, IRRIGATION LINES INSIDE ROW OR STORM DRAIN PIPE OR LESS THAN 10' FROM THE OUTSIDE DIAMETER OF THE SS AT A CROSSING SHALL BE ENCASED. ENCASEMENT SHALL CONSIST OF WAX TAPE PRIMER, WAX TAPE, AND POLYPLY.
3. LOW PRESSURE WATER JOINTS LESS THAN 1' VERTICALLY AND 10' HORIZONTALLY FROM THE OUTSIDE DIAMETER OF THE SS SHALL BE ENCASED. ENCASEMENT SHALL CONSIST OF WAX TAPE PRIMER, WAX TAPE, AND POLYPLY.

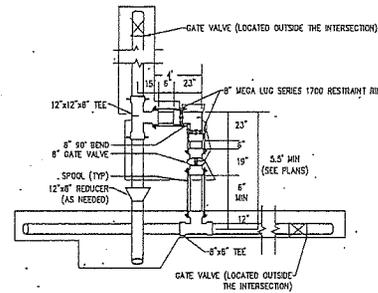
LEGEND:

ANY LPW JOINTS WITHIN THIS AREA MUST BE PROTECTED. SEE NOTE 2.

1 LPW PIPE SEPARATION WITH NON - POTABLE WATER MITIGATION
SCALE: NTS



2 BACKFLOW PREVENTION DETAIL
SCALE: NTS



3 12 X 8 WATER BYPASS DETAIL
SCALE: NTS

DRAWING NUMBER: 11-30-19-000-03 PROVIDED BY: 11-30-19-000-03

NO.	DATE	DESCRIPTION	REVISED	CHECKED	APPROVED
1	11-30-19	COMPREHENSIVE HILLSIDE 19 19			



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DRAWN	
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REVIEWED	
RECOMMENDED	
APPROVED	
SCALE	

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ENGINEERING & SURVEYING
255 SHORELINE DRIVE, STE. 200
REDWOOD CITY, CA 94065
650-462-0300
650-462-0300 (FAX)

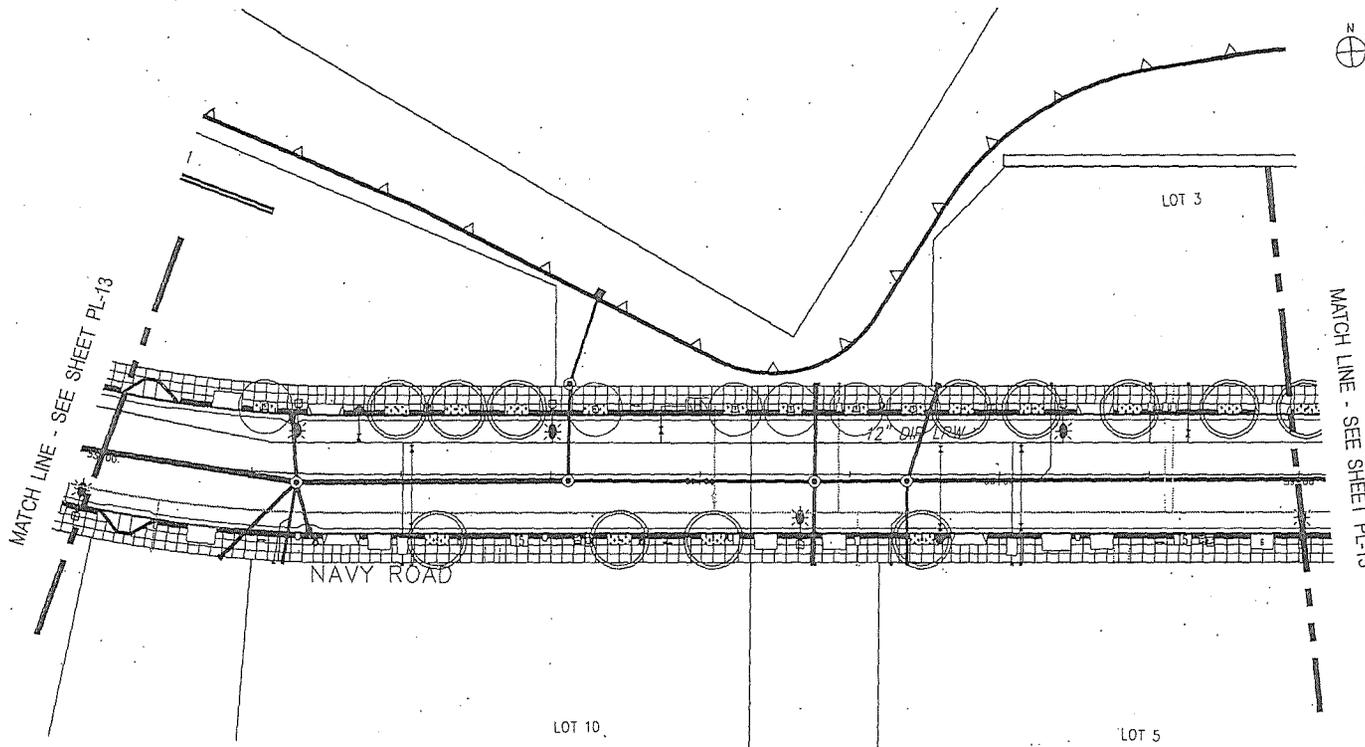
LENNAR / BVHP
49 STEVENSON STREET, SUITE 525
SAN FRANCISCO, CALIFORNIA 94105

HUNTERS POINT SHIPYARD DEVELOPMENT PROJECT
PARCEL A' INFRASTRUCTURE

UTILITY DETAILS

SCALE	AS SPECIFIED
CONTRACT	DATE 11-30-19
SHEET	DRAWING UD-11
TOTAL SHEETS	UD-11

1939

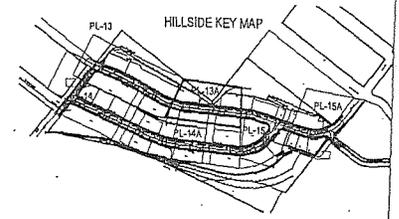


PLANTING LEGEND			
PLANT NAME	SYM.	DETAIL	
TREES			
LOPHOSTEMON CONFERTUS BRISBANE BOX	(Symbol)	4/PL-16	
TRISTRANODIOPSIS LAURINA WATER OLM	(Symbol)	4/PL-16	
OLEA EUROPAEA 'MAJESTIC BEAUTY' OLIVE	(Symbol)	4/PL-16	
GROUNDCOVER			
CAREX TESTICEA ORANGE SEDGE	(Symbol)	1,2,3/PL-16	
CAREX FLACCA BLUE SEDGE	(Symbol)	1,2,3/PL-16	



MATCH LINE - SEE SHEET PL-15

MATCH LINE - SEE SHEET PL-18



NO.	DATE	DESCRIPTION	REVISED	CHECKED	APPROVED
1	11-30-15	COMPREHENSIVE HILLSIDE IB 19			

REVISIONS



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REVIEWED	
PREPARED	
APPROVED	
DATE	

BKF
 Landscape Architecture / Planning
 315 SHURENE DRIVE
 STE. 200
 REDWOOD CITY, CA
 (650) 482-8300
 (650) 482-8300 (FAX)

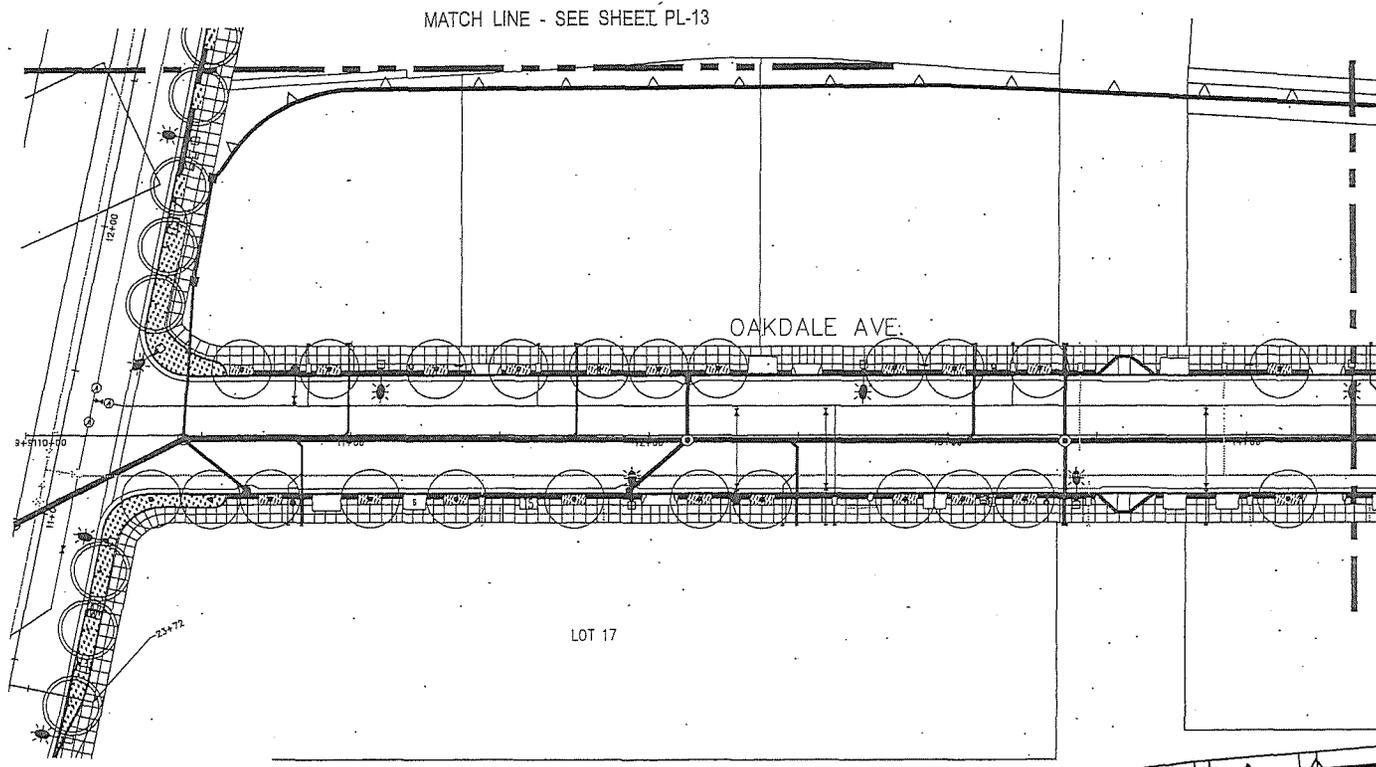
GWO
 GROUNDWORKS
 1974 San Bruno Berkeley, CA 94702
 Phone 510-872-2111
 web: gwo.net

LENNAR / BVHP
 49 STEVENSON STREET, SUITE 525
 SAN FRANCISCO, CALIFORNIA 94105

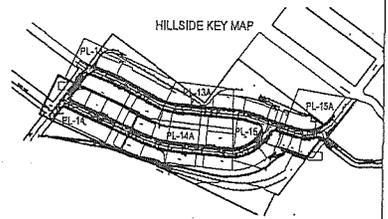
HUNTERS POINT SHIPYARD DEVELOPMENT PROJECT
 PARCEL A' INFRASTRUCTURE
 PLANTING PLAN
 HILLSIDE STREETScape

SCALE	1" = 20'
CONTRACT	DATE
SHEET	11-30-15
DATE	DRAWING
NO.	PL-13A

1940



PLANTING LEGEND			
PLANT NAME	SYM.	PLANT NAME	SYM.
TREES		GROUNDCOVER	
LOPHOSTEMON CONFERTUS	○	CAREX TESTACEA	▨
BRISBANE BOX	○	CAREX FLACCA	▨
TRISTANDOPSIS LAURINA	○	BLUE SEDGE	▨
WATER GUM	○		
OLEA EUROPAEA 'MAJESTIC BEAUTY'	○		
OLIVE	○		



NO.	DATE	DESCRIPTION	REVISED	CHECKED	APPROVED
1	11-30-13	COMPREHENSIVE HILLSIDE TB 13			

REVISIONS



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APPROVED	
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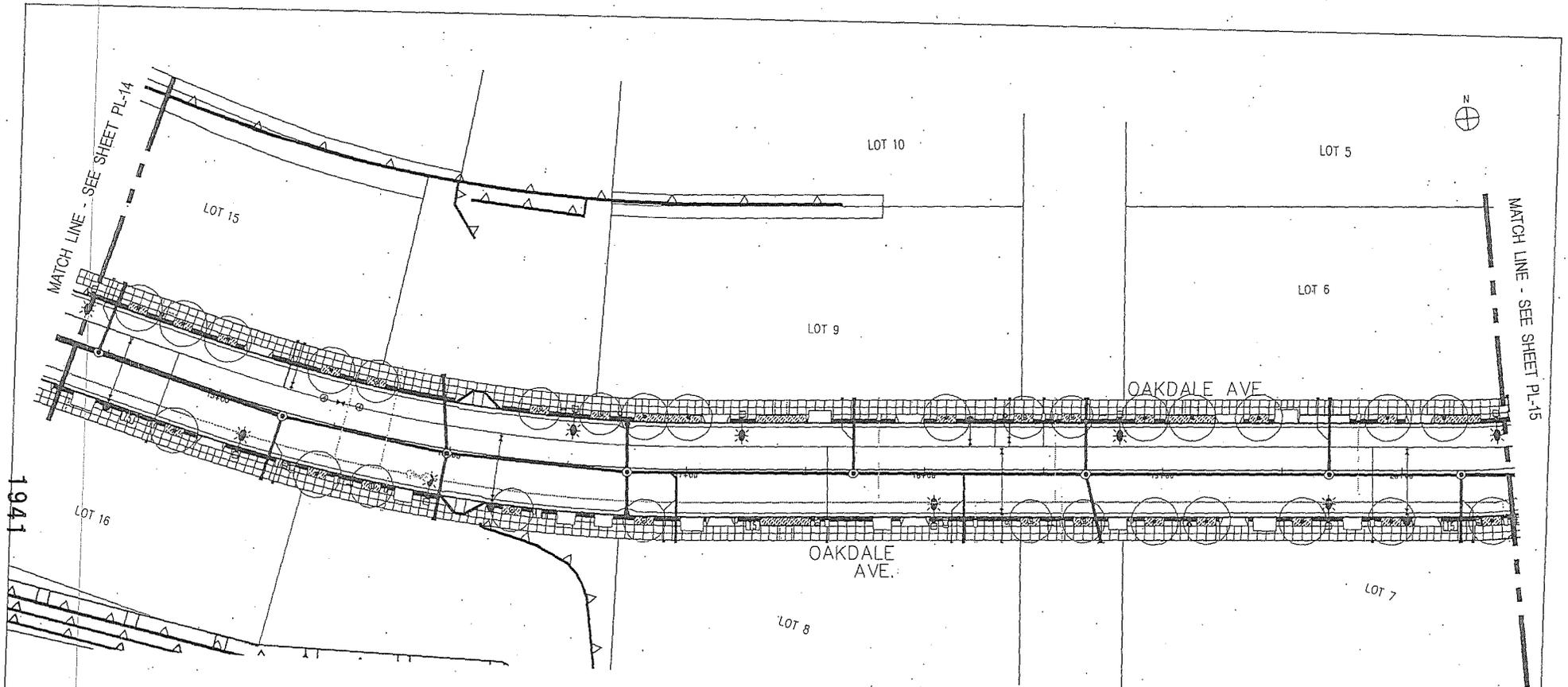
BKF
 Business | Engineering | Planning
 255 SHIPLEY DRIVE
 SUITE 300
 REDWOOD CITY, CA
 94063
 (650) 482-8300
 (650) 482-8399 (FAX)

GWO
 GROUNDWORKS LLC
 804 10th Street Berkeley, CA 94710
 Phone 510-852-2915
 Web: www.groundworks.com

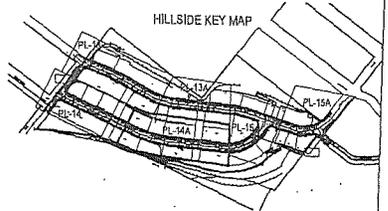
LENNAR / BVHP
 49 STEVENSON STREET, SUITE 525
 SAN FRANCISCO, CALIFORNIA 94105

HUNTERS POINT SHIPYARD DEVELOPMENT PROJECT
 PARCEL A' INFRASTRUCTURE
 PLANTING PLAN
 HILLSIDE STREETSCAPE

SCALE	1" = 20'
CONTRACT	DATE
11-30-13	
SHEET	DRAWING
PL-14	



PLANTING LEGEND			
PLANT NAME	SYM.	PLANT NAME	SYM.
TREES			
LOPHOSTEMON CONFERTUS	○	GROUNDCOVER	
BRISBANE BOX	○	CAREX TESTACEA	▨
TRISTRANDIOPSIS LAURINA	○	ORANGE SEDGE	▨
WATER GUM	○	CAREX PLACCA	▨
CLEA EUROPAEA MAJESTIC BEAUTY	○	BLUE SEDGE	▨
OLIVE	○		



REVISIONS				
NO.	DATE	DESCRIPTION	REVISED	CHECKED/APPROVED
1	11-30-15	COMPREHENSIVE HILLSIDE TB 19		



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PERMANENCED	
APPROVED	
DATE	

BKF
 BKF CONSULTING
 310 DOWNEY DRIVE
 STE. 200
 REDWOOD CITY, CA
 94063
 (650) 482-8300
 (650) 482-8399 (FAX)

GWO
 GROUNDWORKS
 1954 4th Street Berkeley, CA 94704
 (415) 527-8700
 www.groundworks.com

LENNAR / BVHP
 49 STEVENSON STREET, SUITE 525
 SAN FRANCISCO, CALIFORNIA 94105

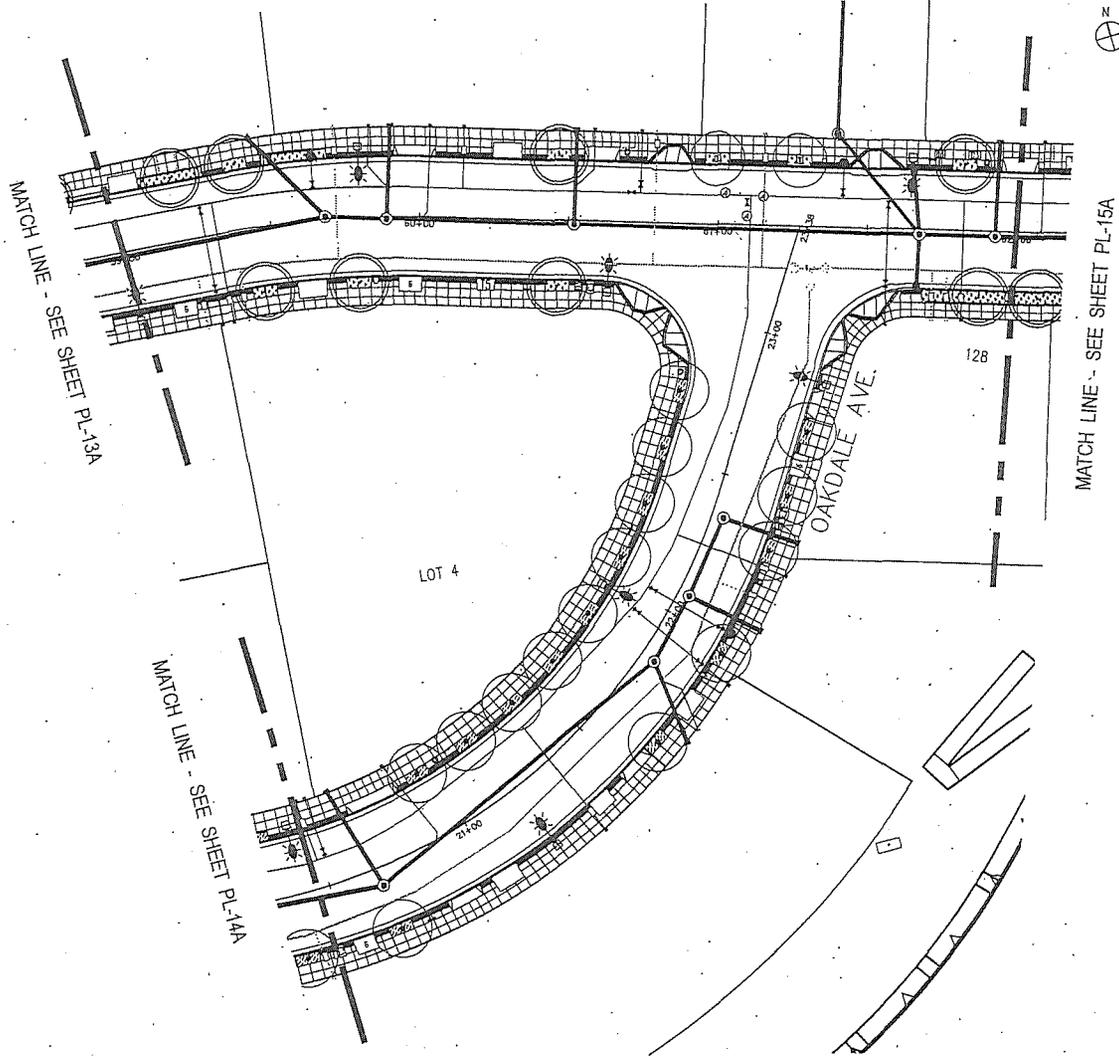
HUNTERS POINT SHIPYARD DEVELOPMENT PROJECT
 PARCEL A' INFRASTRUCTURE

SCALE 1" = 20'

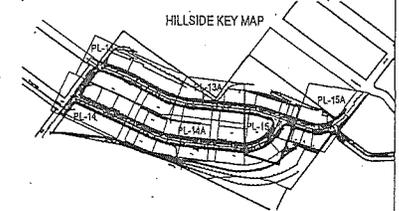
DATE 11-30-15

PROJECT SHEET PL-14A

1-942



PLANTING LEGEND		
PLANT NAME	SYM.	DETAIL
TREES		
LOPHOSTEMON CONFERTUS BRESKANE BOX	(Symbol)	4/PL-16
TRISTANOPSIS LAURINA WATER GUM	(Symbol)	4/PL-16
OLEA EUROPAEA "MAJESTIC BEAUTY" OLIVE	(Symbol)	4/PL-16
GROUNDCOVER		
CAREX TESTACEA ORANGE SEDGE	(Symbol)	1,2,3/PL-14
CAREX FLACCA BLUE SEDGE	(Symbol)	1,2,3/PL-14



NO.	DATE	REVISIONS	REVISED	CHECKED	APPROVED
1	11-30-15	COMPREHENSIVE HILLSIDE @ 15			



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CHECKED	
REVISED	
PERMANENCED	
APPROVED	
SITE	

BKF
 BROWNE | BROWNE | FLEMING
 255 SHIMMEL DRIVE,
 2ND FLOOR
 RICHWOOD CITY, CA
 94769
 (925) 482-8300
 (925) 482-8389 (FAX)

GWO
 GROUNDWORKS INC.
 1024 Lih Street Berkeley, CA 94702
 phone 510-832-2111
 web: groundworks.com

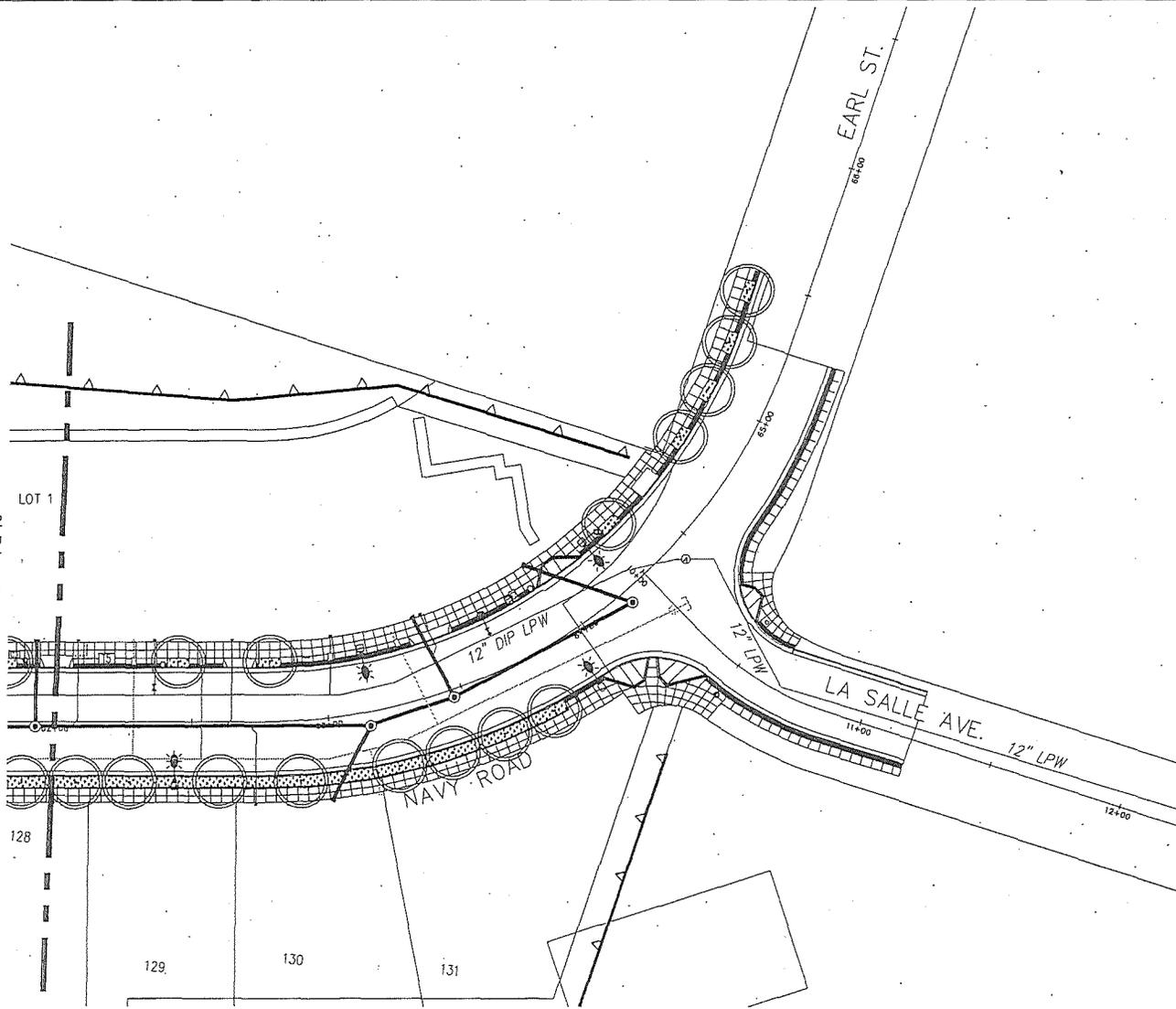
LENNAR / BVHP
 48 STEVENSON STREET, SUITE 525
 SAN FRANCISCO, CALIFORNIA 94105

HUNTERS POINT SHIPYARD DEVELOPMENT PROJECT
 PARCEL A' INFRASTRUCTURE
PLANTING PLAN
 HILLSIDE STREETScape

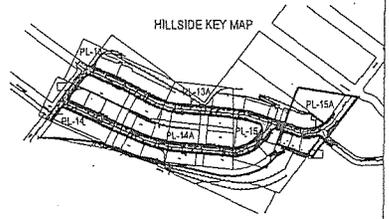
SCALE	1" = 20'
CONTRACT	DATE
	11-30-15
SHEET	DRAWING
	PL-15

1943

MATCH LINE - SEE SHEET PL-15



PLANTING LEGEND		
PLANT NAME	SYM.	DETAIL
TREES		
LOPHOSTEMON CONFERTUS BISHOP'S BOX	(Symbol: circle with dot)	4/PL-16
TRISTANDOPSIS LAURINA WATER GUM	(Symbol: circle with dot)	4/PL-16
CLEA EUROPAEA "MAJESTIC BEAUTY" OLIVE	(Symbol: circle with dot)	4/PL-16
GROUNDCOVER		
CAREX TESTACEA ORANGE SEDGE	(Symbol: cross-hatch pattern)	1,2,3/PL-16
CAREX FLACCA BLUE SEDGE	(Symbol: diagonal hatch pattern)	1,2,3/PL-16



NO.	DATE	DESCRIPTION	REVISED	CHECKED	APPROVED
1	11-30-13	COMPREHENSIVE HILLSIDE IB 19			

REVISIONS



DESIGNED	
DRAWN	
CHECKED	
REVIEWED	
PREPARED	
APPROVED	
DATE	

BKF
 ENGINEERING | ARCHITECTURE | PLANNING
 233 SHIPYARD DRIVE, STE. 300
 REDWOOD CITY, CA 94063
 (650) 482-8300
 (650) 482-8398 (FAX)

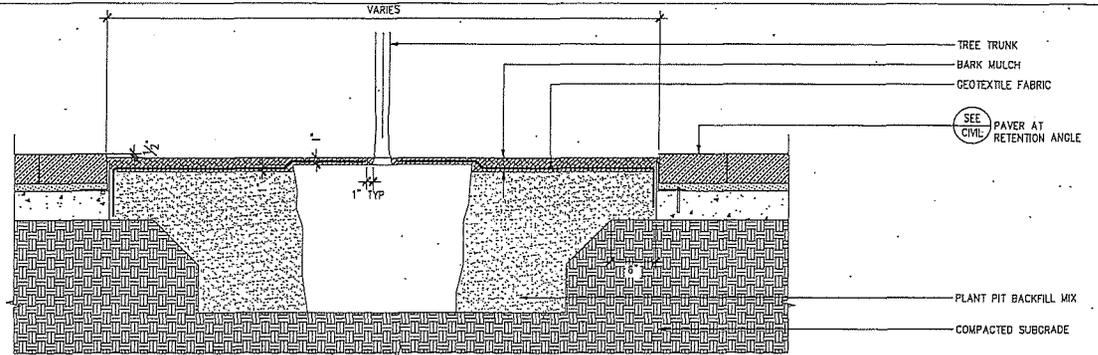
GWO
 GROUNDWORKS | Landscape Architecture
 1804 14th Street (backing on BAY)
 Phone: 610-810-2111
 web: gwoinc.com

LENNAR / BVHP
 49 STEVENSON STREET, SUITE 525
 SAN FRANCISCO, CALIFORNIA 94105

HUNTERS POINT SHIPYARD DEVELOPMENT PROJECT
 PARCEL A' INFRASTRUCTURE

PLANTING PLAN
 HILLSIDE STREETSCAPE

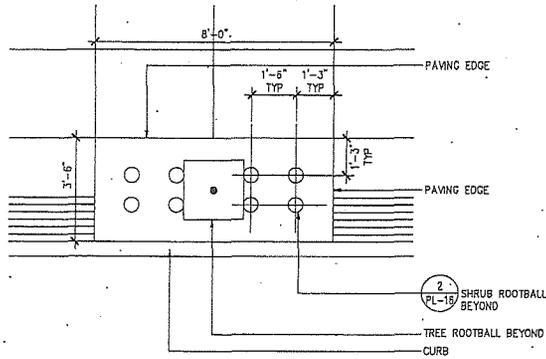
SCALE	1" = 20'
DATE	11-30-15
SHEET	DWING
NO.	PL-15A



4 | 24" BOX TREE PLANTING AT CONCRETE UNIT PAVERS

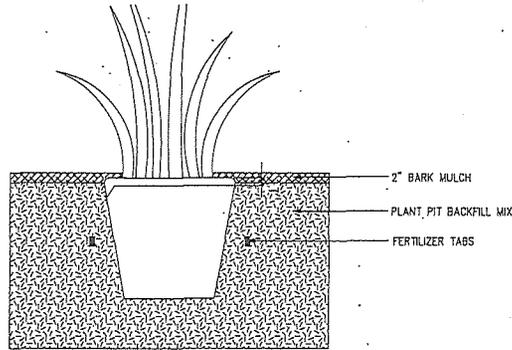
SCALE: 1/12"=1'-0"

1944



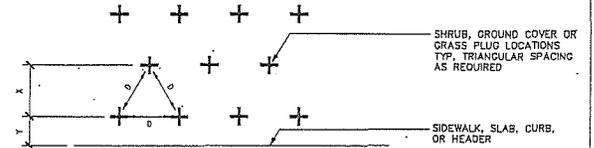
3 | 8'-0" PLANTER LAYOUT, TYP.

SCALE: 1/2"=1'-0"



2 | TYPICAL SHRUB PLANTING

NTS



TRIANGULAR SPACING CHART		
SPACING "D"	SPACING "X"	SPACING "Y"
1'-0" O.C.	10"	10"
1'-6" O.C.	16"	12"
2'-0" O.C.	21"	15"
3'-0" O.C.	30"	20"

1 | TRIANGULAR PLANT SPACING

SCALE: 1/2"=1'-0"

NO.	DATE	DESCRIPTION	DESIGNED	CHECKED	REVIEWED	APPROVED
1	11-30-18	COMPREHENSIVE HILLSIDE 1B 19				

REVISIONS

DESIGNED
CHECKED
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APPROVED
DATE

Bkf
BIRMINGHAM | BIRMINGHAM | FLORISSANT
233 SHORCLIFF DRIVE,
SUITE 300
PICKENS, GA 30132
(404) 482-8300
(404) 482-8399 (FAX)

GWO
GROUNDWORKS
3824 LAMAR STREET, METairie, LA 70002
phone 510-802-2711
info: groundworks@cs.com

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49 STEVENSON STREET, SUITE 525
SAN FRANCISCO, CALIFORNIA 94105

HUNTERS POINT SHIPYARD DEVELOPMENT PROJECT
PARCEL A' INFRASTRUCTURE

PLANTING DETAILS
HILLSIDE

SCALE
CONTRACT DATE 11-30-15
SHEET DRAWING
PL-16
SHEET

IRRIGATION CONTROLLER PROGRAMMING GUIDELINE

NOTE: PR = PRECIPITATION RATE (INCHES / HOUR)

THE CHARTS ARE INTENDED TO BE USED AS A GUIDELINE ONLY AND INDICATE APPROXIMATE RUN TIMES (IN MINUTES) FOR EACH ZONE BASED ON ESTIMATED WEEKLY WATER REQUIREMENTS FOR ESTABLISHED PLANT MATERIAL. THE FIGURES SHOWN IN THIS SCHEDULE ARE APPROXIMATE AND HAVE BEEN DEVELOPED FROM LOCAL CURRENT AVERAGES FOR EVAPOTRANSPIRATION, AND REFLECT MAXIMUM IRRIGATION REQUIREMENTS OF THE PLANT MATERIAL BASED ON PLANT TYPE AND SPACING. ACTUAL RUN TIMES MAY BE DIFFERENT DEPENDING ON A VARIETY OF FACTORS INCLUDING TOPOGRAPHY, SOIL STRUCTURE, SUN AND WIND EXPOSURE, WEATHER, ACTUAL PLANT WATER REQUIREMENTS, ETC.

STEP-BY-STEP SCHEDULING CHART DIRECTIONS:

1. THIS PROJECT CONSISTS OF THE FOLLOWING IRRIGATION ZONES:

- SHRUB AND GROUNDCOVER
- SHRUBS WITH BUBBLERS
- TREES WITH BUBBLERS

2. DETERMINE THE PLANT TYPE OF THE PARTICULAR ZONE, IE. TURF, SHRUB, TREE BUBBLER OR SHRUB BUBBLER.

- 3. USE THE TREE BUBBLER CHART FOR TREE BUBBLERS.
- 4. USE THE SHRUB BUBBLER CHART FOR SHRUB BUBBLERS.

BUBBLER SCHEDULE (TREE):

SPRINKLER MANUFACTURER	TURF	LOCATION	San Francisco											
PRECIPITATION RATE (INCHES/HOUR)	0.85	HEAD SPACING	N/A											
IRRIGATION SYSTEM EFFICIENCY	0.85	HEAD GPM	1											
PLANT FACTOR	0.4													
YEAR 2 REDUCTION AMOUNT	-10% OF YEAR 1 (ESTABLISHMENT) RUN TIME MINUTES													
	MONTH	JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEP	OCT	NOV	DEC	TOTAL
ETO PER MONTH (INCHES)	0.00	0.00	0.00	3.70	4.60	4.60	4.60	4.60	4.10	2.80	0.00	0.00	0.00	27.90
APPLIED ETO PER WEEK (INCHES)	0	0	0	0.83	0.85	1.06	1.13	1.11	0.95	0.65	0	0	0	
MINUTES OF WATER PER WEEK	YEAR 1	0	0	0	23	28	35	37	33	21	0	0	0	
	YEAR 2	0	0	0	21	28	34	33	28	19	0	0	0	
DAYS PER WEEK	YEAR 1	1	2	3	3	3	3	3	3	2	1			
	YEAR 2	1	2	3	3	3	3	3	3	2	1			
MINUTES OF WATER PER DAY	YEAR 1	0	0	0	8	12	13	12	10	7	0	0	0	
	YEAR 2	0	0	0	7	9	11	11	9	6	0	0	0	
CYCLES PER DAY	YEAR 1	1	1	1	2	3	3	2	2	1	1			
	YEAR 2	1	1	1	2	3	3	2	2	1	1			
MINUTES PER CYCLE	YEAR 1	0	0	0	4	5	4	6	5	7	0	0	0	
	YEAR 2	0	0	0	3	4	4	6	5	6	0	0	0	

DRIPLINE SCHEDULE:

SPRINKLER MANUFACTURER	TURF	LOCATION	San Francisco											
PRECIPITATION RATE (INCHES/HOUR)	0.81	HEAD SPACING	N/A											
IRRIGATION SYSTEM EFFICIENCY	0.85	HEAD GPM	0.5											
PLANT FACTOR	0.4													
YEAR 2 REDUCTION AMOUNT	-10% OF YEAR 1 (ESTABLISHMENT) RUN TIME MINUTES													
	MONTH	JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEP	OCT	NOV	DEC	TOTAL
ETO PER MONTH (INCHES)	0.00	0.00	0.00	3.00	3.70	4.60	4.60	4.60	4.10	2.80	0.00	0.00	0.00	27.90
APPLIED ETO PER WEEK (INCHES)	0	0	0	0.3	0.4	0.5	0.5	0.5	0.4	0.3	0	0	0	
MINUTES OF WATER PER WEEK	YEAR 1	0	0	0	24	30	37	39	33	23	0	0	0	
	YEAR 2	0	0	0	22	27	33	35	30	20	0	0	0	
DAYS PER WEEK	YEAR 1	1	2	3	3	3	3	3	3	2	1			
	YEAR 2	1	2	3	3	3	3	3	3	2	1			
MINUTES OF WATER PER DAY	YEAR 1	0	0	0	8	10	12	13	13	11	8	0	0	
	YEAR 2	0	0	0	7	9	11	12	12	10	7	0	0	
CYCLES PER DAY	YEAR 1	1	1	1	2	3	3	3	2	2	1	1	1	
	YEAR 2	1	1	1	2	3	3	3	2	2	1	1	1	
MINUTES PER CYCLE	YEAR 1	0	0	0	4	5	4	4	8	5	8	0	0	
	YEAR 2	0	0	0	4	4	4	6	5	7	0	0	0	

WATER USE CALCULATIONS

CONTROLLER 'A'										
1. HYDROUSE TANK										
2. Maximum Applied Water Use										
3. Estimated Total Water Use										
HYDROUSE CALCULATION TABLE										
HYDROUSE TYPE	IRRIGATION EFFICIENCY (%)	PLANT FACTOR	AREA (SQ FT)	ET (INCHES)	ET x AREA	ET x AREA x EFFICIENCY	ET x AREA x EFFICIENCY x PLANT FACTOR	ET x AREA x EFFICIENCY x PLANT FACTOR x PLANT FACTOR	ET x AREA x EFFICIENCY x PLANT FACTOR x PLANT FACTOR x PLANT FACTOR	ET x AREA x EFFICIENCY x PLANT FACTOR x PLANT FACTOR x PLANT FACTOR x PLANT FACTOR
SHRUBS WITH BUBBLERS	0.85	0.4	100	0.85	85	72.25	28.875	11.55	4.62	1.848
TREES WITH BUBBLERS	0.85	0.4	100	0.85	85	72.25	28.875	11.55	4.62	1.848
Total sq. ft. 200										
1. MAXIMUM APPLIED WATER ALLOWANCE (MAWA)										
Maximum Applied Water Allowance (MAWA) Gallons Per Year										
MAWA = (ET x 2.81 x LA) x (0.7) x (0.3) x SLA										
ET = Reference evapotranspiration										
0.7 = ET adjustment factor										
LA = Landscaped Area (square feet)										
0.3 = Conversion factor (gallons per square foot per year)										
2. ESTIMATED TOTAL WATER USE (ETWU)										
Estimated Total Water Use (ETWU) Gallons Per Year										
ETWU = (ET x 2.81 x PFA)										
ET = Reference evapotranspiration										
PFA = Plant factor for hydrozone										
LA = Hydrozone area (square feet)										
0.3 = Conversion factor (gallons per square foot per year)										
E = Irrigation efficiency (0.85) bubbler/drip										

CONTROLLER 'B'										
1. HYDROUSE TANK										
2. Maximum Applied Water Use										
3. Estimated Total Water Use										
HYDROUSE CALCULATION TABLE										
HYDROUSE TYPE	IRRIGATION EFFICIENCY (%)	PLANT FACTOR	AREA (SQ FT)	ET (INCHES)	ET x AREA	ET x AREA x EFFICIENCY	ET x AREA x EFFICIENCY x PLANT FACTOR	ET x AREA x EFFICIENCY x PLANT FACTOR x PLANT FACTOR	ET x AREA x EFFICIENCY x PLANT FACTOR x PLANT FACTOR x PLANT FACTOR	ET x AREA x EFFICIENCY x PLANT FACTOR x PLANT FACTOR x PLANT FACTOR x PLANT FACTOR
SHRUBS WITH BUBBLERS	0.85	0.4	100	0.85	85	72.25	28.875	11.55	4.62	1.848
TREES WITH BUBBLERS	0.85	0.4	100	0.85	85	72.25	28.875	11.55	4.62	1.848
Total sq. ft. 200										
1. MAXIMUM APPLIED WATER ALLOWANCE (MAWA)										
Maximum Applied Water Allowance (MAWA) Gallons Per Year										
MAWA = (ET x 2.81 x LA) x (0.7) x (0.3) x SLA										
ET = Reference evapotranspiration										
0.7 = ET adjustment factor										
LA = Landscaped Area (square feet)										
0.3 = Conversion factor (gallons per square foot per year)										
2. ESTIMATED TOTAL WATER USE (ETWU)										
Estimated Total Water Use (ETWU) Gallons Per Year										
ETWU = (ET x 2.81 x PFA)										
ET = Reference evapotranspiration										
PFA = Plant factor for hydrozone										
LA = Hydrozone area (square feet)										
0.3 = Conversion factor (gallons per square foot per year)										
E = Irrigation efficiency (0.85) bubbler/drip										

CONTROLLER 'C'										
1. HYDROUSE TANK										
2. Maximum Applied Water Use										
3. Estimated Total Water Use										
HYDROUSE CALCULATION TABLE										
HYDROUSE TYPE	IRRIGATION EFFICIENCY (%)	PLANT FACTOR	AREA (SQ FT)	ET (INCHES)	ET x AREA	ET x AREA x EFFICIENCY	ET x AREA x EFFICIENCY x PLANT FACTOR	ET x AREA x EFFICIENCY x PLANT FACTOR x PLANT FACTOR	ET x AREA x EFFICIENCY x PLANT FACTOR x PLANT FACTOR x PLANT FACTOR	ET x AREA x EFFICIENCY x PLANT FACTOR x PLANT FACTOR x PLANT FACTOR x PLANT FACTOR
SHRUBS WITH BUBBLERS	0.85	0.4	100	0.85	85	72.25	28.875	11.55	4.62	1.848
TREES WITH BUBBLERS	0.85	0.4	100	0.85	85	72.25	28.875	11.55	4.62	1.848
Total sq. ft. 200										
1. MAXIMUM APPLIED WATER ALLOWANCE (MAWA)										
Maximum Applied Water Allowance (MAWA) Gallons Per Year										
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0.3 = Conversion factor (gallons per square foot per year)										
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Estimated Total Water Use (ETWU) Gallons Per Year										
ETWU = (ET x 2.81 x PFA)										
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PFA = Plant factor for hydrozone										
LA = Hydrozone area (square feet)										
0.3 = Conversion factor (gallons per square foot per year)										
E = Irrigation efficiency (0.85) bubbler/drip										

CONTROLLER 'D'										
1. HYDROUSE TANK										
2. Maximum Applied Water Use										
3. Estimated Total Water Use										
HYDROUSE CALCULATION TABLE										
HYDROUSE TYPE	IRRIGATION EFFICIENCY (%)	PLANT FACTOR	AREA (SQ FT)	ET (INCHES)	ET x AREA	ET x AREA x EFFICIENCY	ET x AREA x EFFICIENCY x PLANT FACTOR	ET x AREA x EFFICIENCY x PLANT FACTOR x PLANT FACTOR	ET x AREA x EFFICIENCY x PLANT FACTOR x PLANT FACTOR x PLANT FACTOR	ET x AREA x EFFICIENCY x PLANT FACTOR x PLANT FACTOR x PLANT FACTOR x PLANT FACTOR
SHRUBS WITH BUBBLERS	0.85	0.4	100	0.85	85	72.25	28.875	11.55	4.62	1.848
TREES WITH BUBBLERS	0.85	0.4	100	0.85	85	72.25	28.875	11.55	4.62	1.848
Total sq. ft. 200										
1. MAXIMUM APPLIED WATER ALLOWANCE (MAWA)										
Maximum Applied Water Allowance (MAWA) Gallons Per Year										
MAWA = (ET x 2.81 x LA) x (0.7) x (0.3) x SLA										
ET = Reference evapotranspiration										
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2. ESTIMATED TOTAL WATER USE (ETWU)										
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ETWU = (ET x 2.81 x PFA)										
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PFA = Plant factor for hydrozone										
LA = Hydrozone area (square feet)										
0.3 = Conversion factor (gallons per square foot per year)										
E = Irrigation efficiency (0.85) bubbler/drip										

CONTROLLER 'E'										
1. HYDROUSE TANK										
2. Maximum Applied Water Use										
3. Estimated Total Water Use										
HYDROUSE CALCULATION TABLE										
HYDROUSE TYPE	IRRIGATION EFFICIENCY (%)	PLANT FACTOR	AREA (SQ FT)	ET (INCHES)	ET x AREA	ET x AREA x EFFICIENCY	ET x AREA x EFFICIENCY x PLANT FACTOR	ET x AREA x EFFICIENCY x PLANT FACTOR x PLANT FACTOR	ET x AREA x EFFICIENCY x PLANT FACTOR x PLANT FACTOR x PLANT FACTOR	ET x AREA x EFFICIENCY x PLANT FACTOR x PLANT FACTOR x PLANT FACTOR x PLANT FACTOR
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ETWU = (ET x 2.81 x PFA)										
ET = Reference evapotranspiration										
PFA = Plant factor for hydrozone										
LA = Hydrozone area (square feet)										
0.3 = Conversion factor (gallons per square foot per year)										
E = Irrigation efficiency (0.85) bubbler/drip										

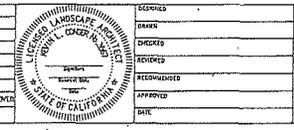
CONTROLLER 'F'										
1. HYDROUSE TANK										
2. Maximum Applied Water Use										
3. Estimated Total Water Use										
HYDROUSE CALCULATION TABLE										
HYDROUSE TYPE	IRRIGATION EFFICIENCY (%)	PLANT FACTOR	AREA (SQ FT)	ET (INCHES)	ET x AREA	ET x AREA x EFFICIENCY	ET x AREA x EFFICIENCY x PLANT FACTOR	ET x AREA x EFFICIENCY x PLANT FACTOR x PLANT FACTOR	ET x AREA x EFFICIENCY x PLANT FACTOR x PLANT FACTOR x PLANT FACTOR	ET x AREA x EFFICIENCY x PLANT FACTOR x PLANT FACTOR x PLANT FACTOR x PLANT FACTOR
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Irrigation Consultant:
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 2748 Camino Diablo
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 www.rdmiairrigation.com

1945

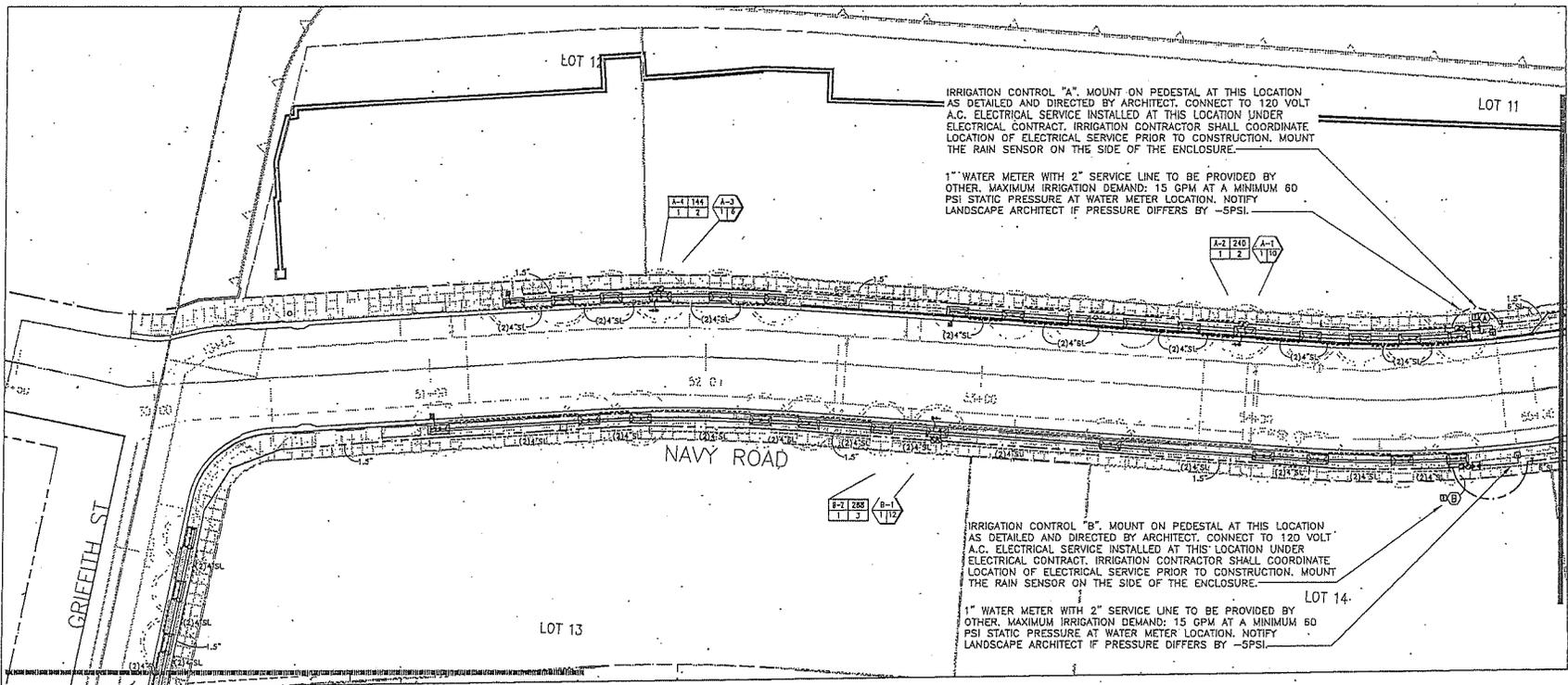
REVISIONS

NO.	DATE	DESCRIPTION	REVISED	CHECKED	APPROVED
1	11-30-15	COMPREHENSIVE HILLSIDE 18 19			



LENNAR / BVHP
 49 STEVENSON STREET, SUITE 525
 SAN FRANCISCO, CALIFORNIA 94105

HUNTERS POINT SHIPYARD DEVELOPMENT PROJECT		SCALE	NTS
PARCEL 'A' INFRASTRUCTURE		CONTRACT	DATE
			11-30-15
		SHEET	DRAWING
			PL-19
		SUBJECT	
		SUBJECT	



MATCH LINE - SEE SHEET PL-31A

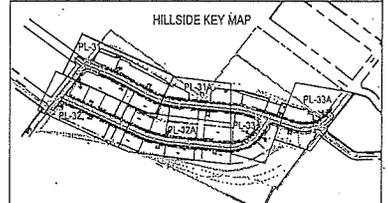
MATCH LINE - SEE SHEET PL-32

NOTES:

1. ONE BUBBLER SYMBOL IS SHOWN AT TREES FOR GRAPHIC CLARITY ONLY. INSTALL MINIMUM TWO BUBBLERS AT EACH TREE. INSTALL REQUIRED NUMBER OF BUBBLERS AS DETAILED.
2. IRRIGATION EQUIPMENT MAY BE SHOWN WITHIN HARDSCAPE FOR GRAPHIC CLARITY ONLY. INSTALL ALL IRRIGATION EQUIPMENT WITHIN PLANTED AREAS. IRRIGATION PIPE AND WIRE CROSSING BENEATH HARDSCAPE SURFACES SHALL BE CONTAINED WITHIN SLEEVING OR SCHEDULE 40 PVC CONDUIT. SLEEVING SIZE SHALL BE A MINIMUM OF TWO TIMES THE AGGREGATE DIAMETER OF ALL PIPES CONTAINED WITHIN SLEEVE. PROVIDE VERTICAL SWEEP FOR ALL ELECTRICAL CONDUIT ON EACH SIDE OF HARDSCAPE AND TERMINATE ENDS AT 12" MINIMUM DEPTH AND 12" FROM HARDSCAPE SURFACE.
3. UNSIZED LATERAL LINE PIPING LOCATED DOWN STREAM OF 1" PIPING SHALL BE 3/4" IN SIZE (TYPICAL).
4. SIZING OF LATERAL PIPE SHALL BE AS FOLLOWS:

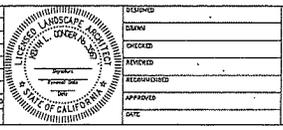
.75"	0-6 GPM
1"	7-12 GPM
1.25"	13-20 GPM
5. SIZING OF LATERAL PIPE FOR DRIPLINE (12" O.C. GRID WITH 0.6 GPH OR LESS EMITTERS) SHALL BE AS FOLLOWS:

.75"	0-500 FT
1"	501-1100 FT
1.25"	1101-2000 FT
1.5"	2001-3000 FT



Irrigation Consultant:
Russell D. Mitchell Associates, Inc.
 3766 Camino Dittlo
 Walnut Creek, CA 94597
 Tel 925.939.3983 • Fax 925.932.5671
 www.rdmitchell.com

NO.	DATE	DESCRIPTION	REVISED	CHECKED	APPROVED
1	11-30-15	COMPREHENSIVE HILLSIDE IB 19			
REVISIONS					



BKF
 Consultant / Surveyor / Planner
 255 SHORELINE DRIVE,
 STE. 200
 REDWOOD CITY, CA
 94065
 (650) 482-6300
 (650) 482-6398 (FAX)

CMG
 GUYER MOSS BILLIARD
 500 THIRD STREET SUITE 210
 SAN FRANCISCO, CA 94107
 TELEPHONE: 415/771-1010
 TELEFAX: 415/771-1011

LENNAR / BVHP
 49 STEVENSON STREET, SUITE 525
 SAN FRANCISCO, CALIFORNIA 94105

HUNTERS POINT SHIPYARD DEVELOPMENT PROJECT
 PARCEL A' INFRASTRUCTURE

IRRIGATION PLAN
 HILLSIDE STREETSCAPE

SCALE: 1" = 20'
 CONTRACT: 11-30-15
 SHEET: IRRIGATION
 OF: PL-31

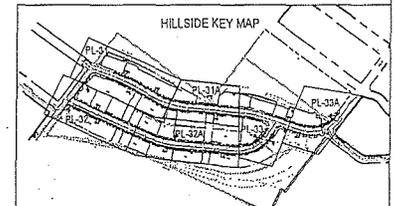
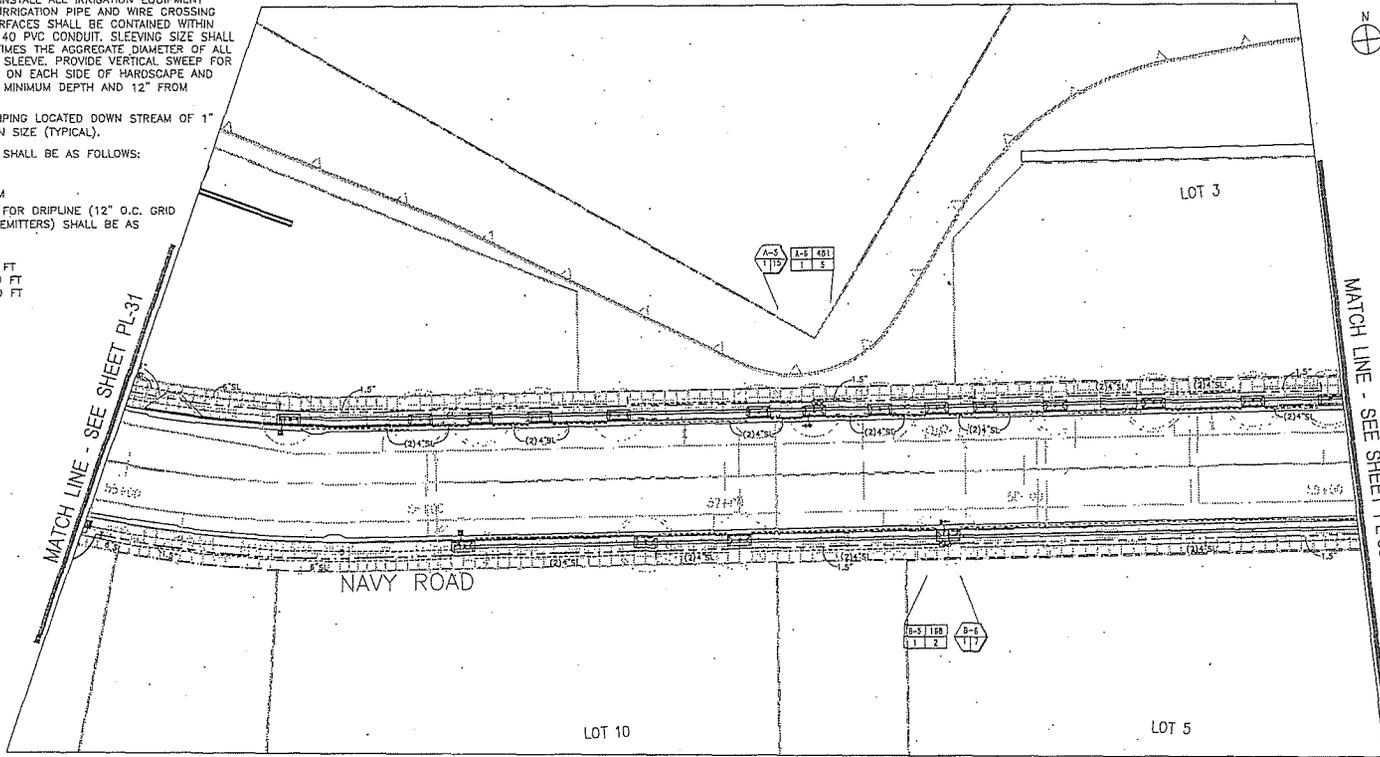
1946
 11-30-15
 RUSSELL D. MITCHELL
 LICENSED PROFESSIONAL ENGINEER
 STATE OF CALIFORNIA
 LICENSE NO. 50812
 3766 CAMINO DITTO
 WALNUT CREEK, CA 94597
 TEL 925.939.3983 FAX 925.932.5671
 WWW.RDMITCHELL.COM

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- UNSIIZED LATERAL LINE PIPING LOCATED DOWN STREAM OF 1" PIPING SHALL BE 3/4" IN SIZE (TYPICAL).
- SIZING OF LATERAL PIPE SHALL BE AS FOLLOWS:

.75"	0-6 GPM
1"	7-12 GPM
1.25"	13-20 GPM
- SIZING OF LATERAL PIPE FOR DRIPLINE (12" O.C. GRID WITH 0.6 GPH OR LESS EMITTERS) SHALL BE AS FOLLOWS:

.75"	0-500 FT
1"	501-1100 FT
1.25"	1101-2000 FT
1.5"	2001-3000 FT



Irrigation Consultant:
 Russell D. Mitchell Associates, Inc.
 2746 Camino Diablo
 Walnut Creek, CA 94597
 Tel 925-939-3963 • Fax 925-933-5671
 www.rdmitchell.com

1947
 Prepared by: [illegible]
 Checked by: [illegible]
 Date: 11-30-15

NO.	DATE	DESCRIPTION	REVISED	CHECKED	APPROVED
1	11-30-15	COMPREHENSIVE HILLSIDE IS 10			



DESIGNED	
DRAWN	
CHECKED	
REVISIONS	
APPROVED	
DATE	

BKF
 CONSULTING ENGINEERS & ARCHITECTS
 255 SHORELINE DRIVE,
 STE. 200
 REDWOOD CITY, CA
 94065
 (650) 482-6300
 (650) 482-6399 (FAX)

CMG
 CONOR HOSS GULLARD
 655 THIRD STREET SUITE 318
 SAN FRANCISCO, CA 94107
 TELEPHONE: 415/414-5010
 FACSIMILE: 415/414-5016

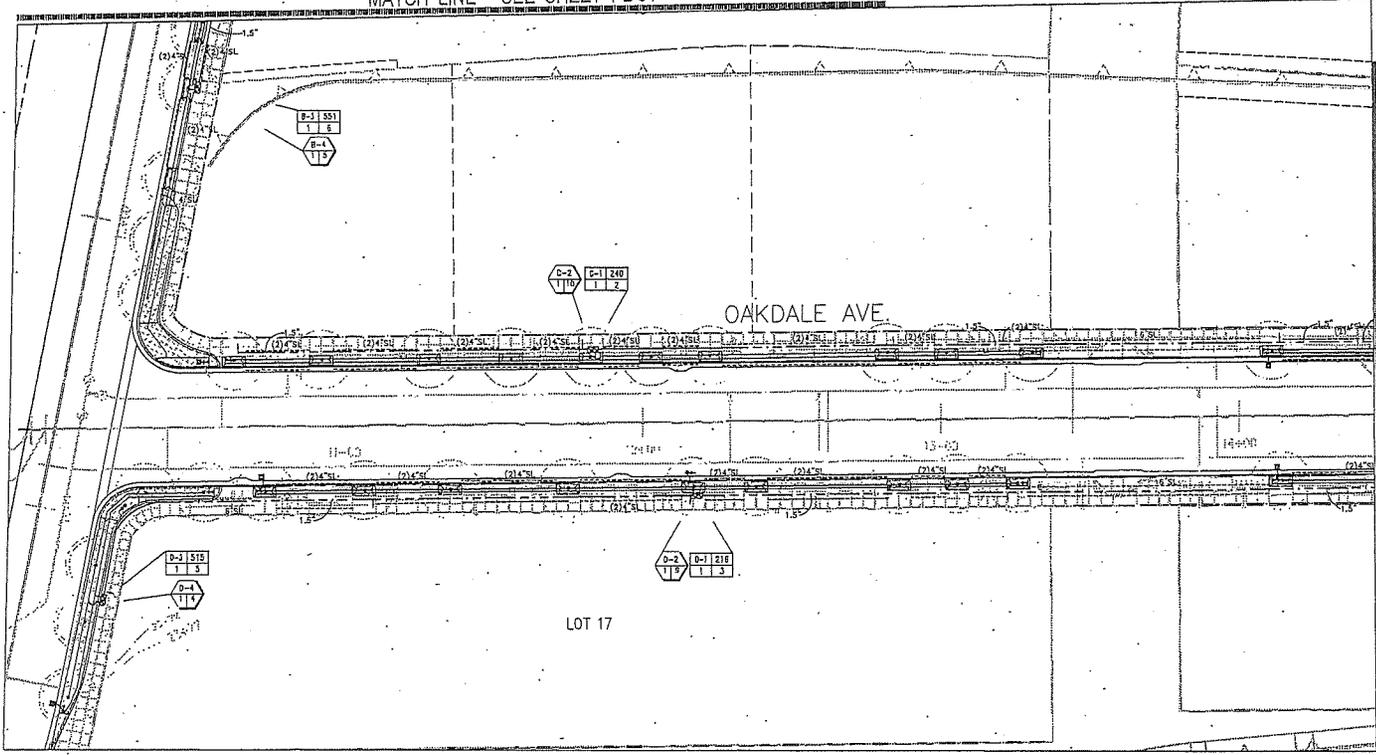
LENNAR / BVHP
 49 STEVENSON STREET, SUITE 525
 SAN FRANCISCO, CALIFORNIA 94105

HUNTERS POINT SHIPYARD DEVELOPMENT PROJECT
 PARCEL A' INFRASTRUCTURE

IRRIGATION PLAN
 HILLSIDE STREETSCAPE

SCALE: 1" = 20'
 CONTRACT: 11-30-15
 SHEET: 11-30-15
 DRAWING: [illegible]
 SHEETS: PL-31A

MATCH LINE - SEE SHEET PL-31



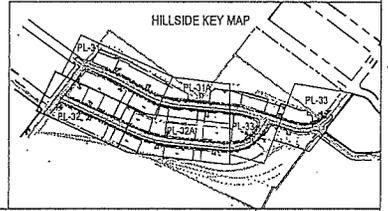
MATCH LINE - SEE SHEET PL-32A

NOTES:

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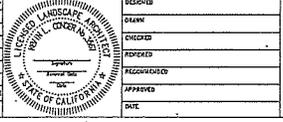
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Irrigation Consultant:
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 www.rdmirrigation.com

NO.	DATE	DESCRIPTION	REVISED	CHECKED	APPROVED
1	11-30-15	COMPREHENSIVE HILLSIDE B 19			
REVISIONS					



BKF
 Landscape Architecture & Planning
 255 SHORELINE DRIVE, STE. 200
 REDWOOD CITY, CA 94065
 (650) 482-6300
 (650) 482-6399 (FAX)

CMG
 CONNER MOSS GILLIARD
 100 TRINITY STREET SUITE 510
 SAN FRANCISCO, CA 94107
 TELEPHONE: 415/494-1616
 FACSIMILE: 415/494-1698

LENNAR / BVHP
 49 STEVENSON STREET, SUITE 825
 SAN FRANCISCO, CALIFORNIA 94105

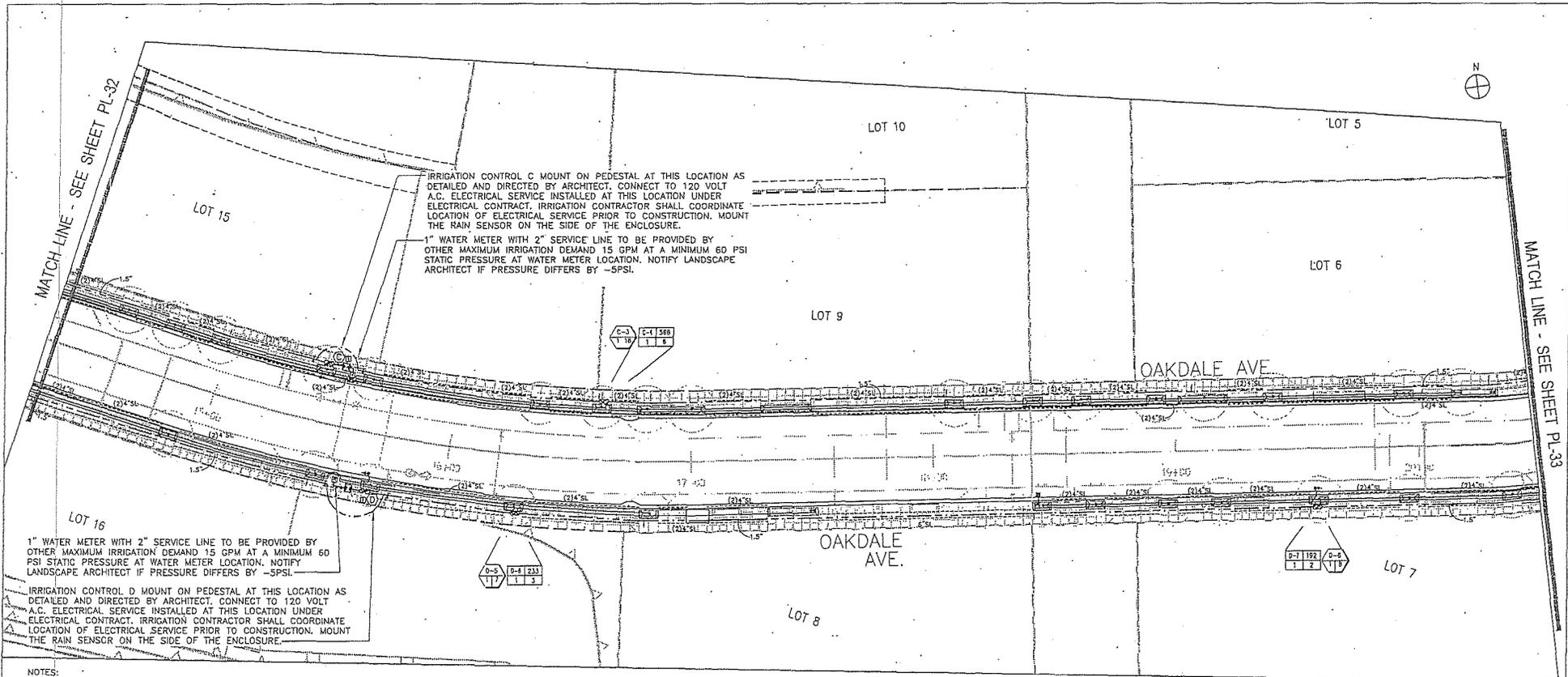
HUNTERS POINT SHIPYARD DEVELOPMENT PROJECT
 PARCEL A' INFRASTRUCTURE

IRRIGATION PLAN
 HILLSIDE STREETSCAPE

SCALE 1" = 20'
 CONTRACT DATE 11-30-15
 SHEET NO. PL-32

1948

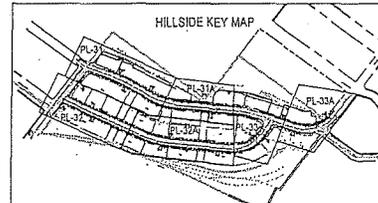
1949



- NOTES:
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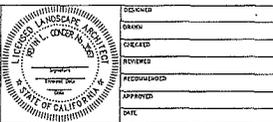
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 2769 Chelsea Pkbls
 Walnut Creek, CA 94597
 tel: 925.939.1983 | fax: 925.933.5471
 www.rdmitchell.com

NO.	DATE	DESCRIPTION	REVISIONS	REVISOR	CHECKED	APPROVED
1	11-30-15	COMPREHENSIVE HILLSIDE IS 19				



BKF
 BUREAU OF KIRK FARM
 255 SHORELINE DRIVE, STE. 200
 REDWOOD CITY, CA 94065
 (650) 482-8300
 (650) 482-6399 (FAX)

CMG
 CONNER MOSS GUILLARD
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 TELEPHONE: 415/443-3019
 FACSIMILE: 415/443-3010

LENNAR / BVHP
 49 STEVENSON STREET, SUITE 325
 SAN FRANCISCO, CALIFORNIA 94105

HUNTERS POINT SHIPYARD DEVELOPMENT PROJECT
 PARCEL A' INFRASTRUCTURE

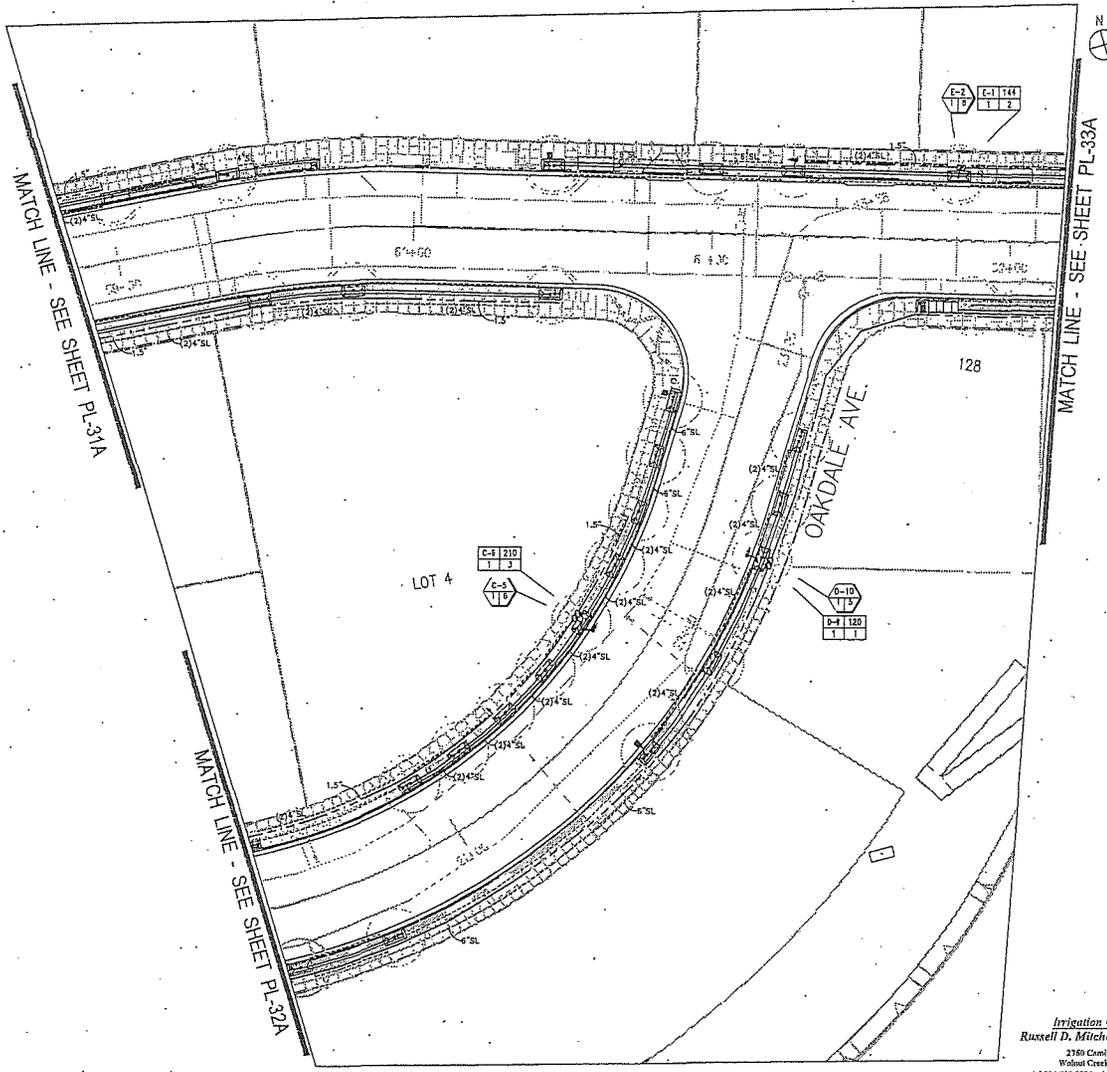
IRRIGATION PLAN
 HILLSIDE STREETSCAPE

SCALE: 1" = 20'

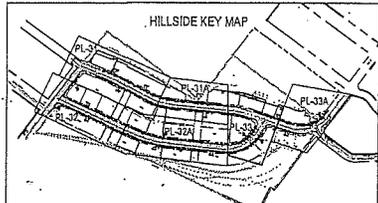
CONTRACT DATE: 11-30-15

SHEET NUMBER: PL-32A

1950
 HUNTERS POINT SHIPYARD DEVELOPMENT PROJECT - PARCEL A' INFRASTRUCTURE - IRRIGATION PLAN - HILLSIDE STREETScape
 11-30-15
 RUSSELL D. MITCHELL ASSOCIATES, INC.



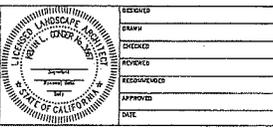
- NOTES:
- ONE BUBBLER SYMBOL IS SHOWN AT TREES FOR GRAPHIC CLARITY ONLY. INSTALL MINIMUM TWO BUBBLERS AT EACH TREE. INSTALL REQUIRED NUMBER OF BUBBLERS AS DETAILED.
 - IRRIGATION EQUIPMENT MAY BE SHOWN WITHIN HARDSCAPE FOR GRAPHIC CLARITY ONLY. INSTALL ALL IRRIGATION EQUIPMENT WITHIN PLANTED AREAS. IRRIGATION PIPE AND WIRE CROSSING BENEATH HARDSCAPE SURFACES SHALL BE CONTAINED WITHIN SLEEVING OR SCHEDULE 40 PVC CONDUIT. SLEEVING SIZE SHALL BE A MINIMUM OF TWO TIMES THE AGGREGATE DIAMETER OF ALL PIPES CONTAINED WITHIN SLEEVE. PROVIDE VERTICAL SWEEP FOR ALL ELECTRICAL CONDUIT ON EACH SIDE OF HARDSCAPE AND TERMINATE ENDS AT 12" MINIMUM DEPTH AND 12" FROM HARDSCAPE SURFACE.
 - UNSIIZED LATERAL LINE PIPING LOCATED DOWN STREAM OF 1" PIPING SHALL BE 3/4" IN SIZE (TYPICAL).
 - SIZING OF LATERAL PIPE SHALL BE AS FOLLOWS:
 .75" 0-6 GPM
 1" 7-12 GPM
 1.25" 13-20 GPM
 - SIZING OF LATERAL PIPE FOR DRIPLINE (12" O.C. GRID WITH 0.6 GPH OR LESS EMITTERS) SHALL BE AS FOLLOWS:
 .75" 0-500 FT
 1" 501-1100 FT
 1.25" 1101-2000 FT
 1.5" 2001-3000 FT



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 2160 Corona Bimbo
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NO.	DATE	DESCRIPTION	REVISED	CHECKED	APPROVED
1	11-30-15	COMPREHENSIVE HILLSIDE IS 18			

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HUNTERS POINT SHIPYARD DEVELOPMENT PROJECT
 PARCEL A' INFRASTRUCTURE
 IRRIGATION PLAN
 HILLSIDE STREETScape

SCALE	1" = 20'
CONTRACT	11-30-15
SHEET	PL-33
DRAWING	

IRRIGATION NOTES

- THESE IRRIGATION DRAWINGS ARE DIAGRAMMATIC AND INDICATIVE OF THE WORK TO BE INSTALLED. ALL PIPING, VALVES, AND OTHER IRRIGATION COMPONENTS MAY BE SHOWN WITH PAVED AREAS FOR GRAPHIC CLARITY ONLY AND ARE TO BE INSTALLED WITHIN PLANTING AREAS, DUE TO THE SCALE OF THE DRAWINGS, IT IS NOT POSSIBLE TO INDICATE ALL OFFSETS, FITTINGS, SLEEVINGS AND OTHER ITEMS WHICH MAY BE REQUIRED. INVESTIGATE THE STRUCTURAL AND FINISHED CONDITION AFFECTING THE CONTRACT WORK INCLUDING OBSTRUCTIONS, GRADE DIFFERENCES OR AREA VARIATIONS. IN THE EVENT OF FIELD DISCREPANCY WITH CONTRACT DOCUMENTS, PLAN THE INSTALLATION WORK ACCORDINGLY BY NOTIFICATION AND APPROVAL OF THE OWNER'S AUTHORIZED REPRESENTATIVE AND ACCORDING TO THE CONTRACT SPECIFICATIONS, NOTES AND COORDINATE IRRIGATION CONTRACT WORK WITH APPLICABLE CONTRACTORS FOR THE LOCATION AND INSTALLATION OF PIPE, CONDUIT OR SLEEVES THROUGH OR UNDER WALLS, ROADWAYS, PARKING AND STRUCTURES BEFORE CONSTRUCTION. IN THE EVENT THESE NOTIFICATIONS ARE NOT PERFORMED, THE CONTRACTOR ASSUMES FULL RESPONSIBILITY FOR REQUIRED REVISIONS.
- THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE CODES, STANDARDS, AND REGULATIONS. ALL WORK AND MATERIALS SHALL BE IN FULL ACCORDANCE WITH THE LATEST RULES AND REGULATIONS OF THE NATIONAL ELECTRIC CODE, THE UNIFORM PLUMBING CODE, PUBLISHED BY THE WESTERN PLUMBING OFFICIALS ASSOCIATION, AND OTHER STATE OR LOCAL LAWS OR REGULATIONS. NOTHING IN THESE DRAWINGS IS TO BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THESE CODES OR REGULATIONS. THE CONTRACTOR SHALL FURNISH WITHOUT ANY EXTRA CHARGE, ANY ADDITIONAL MATERIAL AND LABOR WHEN REQUIRED BY THE COMPLIANCE WITH THESE CODES AND REGULATIONS.
- THE CONTRACTOR SHALL COORDINATE INSTALLATION OF IRRIGATION SYSTEM WITH LAYOUT AND INSTALLATION OF THE PLANT MATERIALS TO INSURE THAT THERE WILL BE COMPLETE AND UNIFORM IRRIGATION COVERAGE OF PLANTING IN ACCORDANCE WITH THESE DRAWINGS AND CONTRACT DOCUMENTS. THE IRRIGATION LAYOUT SHALL BE CHECKED BY THE CONTRACTOR AND OWNER'S AUTHORIZED REPRESENTATIVE PRIOR TO CONSTRUCTION TO DETERMINE IF ANY CHANGES, DELETIONS, OR ADDITIONS ARE REQUIRED. IRRIGATION SYSTEM SHALL BE INSTALLED AND TESTED PRIOR TO INSTALLATION OF PLANT MATERIAL.
- THE INTENT OF THIS IRRIGATION SYSTEM IS TO PROVIDE THE MINIMUM AMOUNT OF WATER REQUIRED TO SUSTAIN GOOD PLANT HEALTH.
- IT IS THE RESPONSIBILITY OF THE MAINTENANCE CONTRACTOR AND/OR OWNER TO PROGRAM THE IRRIGATION CONTROLLER(S) TO PROVIDE THE MINIMUM AMOUNT OF WATER NEEDED TO SUSTAIN GOOD PLANT HEALTH. THIS INCLUDES MAKING ADJUSTMENTS TO THE PROGRAM FOR SEASONAL WEATHER CHANGES, PLANT MATERIAL WATER REQUIREMENTS, MOUNDS, SLOPES, SUN, SHADE AND WIND EXPOSURE.
- IT IS THE RESPONSIBILITY OF A LICENSED ELECTRICAL CONTRACTOR TO PROVIDE 120 VOLT A.C. (2.5 AMP DEMAND PER CONTROLLER) ELECTRICAL SERVICE TO THE CONTROLLER LOCATION(S). IT IS THE RESPONSIBILITY OF THE IRRIGATION CONTRACTOR TO COORDINATE THE ELECTRICAL SERVICE SHUT-OUT TO THE CONTROLLER(S). PROVIDE PROPER GROUNDING PER CONTROLLER MANUFACTURER'S INSTRUCTIONS AND IN ACCORDANCE WITH LOCAL CODES.
- PROVIDE EACH CONTROLLER WITH ITS OWN GROUND ROD. SEPARATE THE GROUND RODS BY A MINIMUM OF EIGHT FEET. THE GROUND ROD SHALL BE AN EIGHT FOOT LONG BY 5/8" DIAMETER ULL APPROVED COPPER CLAD ROD. INSTALL NO MORE THAN 6" OF THE GROUND ROD ABOVE FINISH GRADE. CONNECT #6 GAUGE WIRE WITH A ULL APPROVED GROUND ROD CLAMP TO ROD AND BACK TO GROUND SCREW AT BASE OF CONTROLLER WITH APPROPRIATE CONNECTOR. MAKE THIS WIRE AS SHORT AS POSSIBLE, AVOIDING KINKS OR BENDING.
- PROVIDE EACH IRRIGATION CONTROLLER WITH ITS OWN INDEPENDENT LOW VOLTAGE COMMON GROUND WIRE.
- INSTALL NEW BATTERIES IN THE IRRIGATION CONTROLLER(S) TO RETAIN PROGRAM IN MEMORY DURING TEMPORARY POWER FAILURES. USE QUANTITY, TYPE AND SIZE REQUIRED AS PER CONTROLLER MANUFACTURER'S INSTRUCTIONS.
- SCHEDULE A MEETING WHICH INCLUDES REPRESENTATIVES OF THE IRRIGATION CONTROLLER MANUFACTURER, THE MAINTENANCE CONTRACTOR, THE OWNER AND THE IRRIGATION CONTRACTOR AT THE SITE FOR INSTRUCTION ON THE PROPER PROGRAMMING AND OPERATION OF THE IRRIGATION CONTROLLER.
- IRRIGATION CONTROL WIRES: SOLID COPPER WITH ULL APPROVAL FOR DIRECT BURIAL IN GROUND. COMMON GROUND WIRE SIZE #14-1 WIRE WITH WHITE INSULATING JACKET. CONTROL WIRE SERVICING REMOTE CONTROL VALVES: SIZE #14-1 WIRE WITH INSULATING JACKET

- OF COLOR OTHER THAN WHITE. SPLICES SHALL BE MADE WITH 3M-D87 SEAL PACKS OR APPROVED EQUAL.
- INSTALL TWO SPARE CONTROL WIRES OF A DIFFERENT COLOR ALONG THE ENTIRE MAIN LINE. LOOP 36" EXCESS WIRE INTO EACH SINGLE VALVE BOX AND INTO ONE VALVE BOX IN EACH GROUP OF VALVES.
- SPLICING OF LOW VOLTAGE WIRES IS PERMITTED IN VALVE BOXES ONLY. LEAVE A 36" LONG, 1" DIAMETER COIL OF EXCESS WIRE AT EACH SPLICE AND A 36" LONG EXPANSION LOOP EVERY 100 FEET ALONG WIRE RUN. TAPE WIRES TOGETHER EVERY TEN FEET. DO NOT TAPE WIRES TOGETHER WHERE CONTAINED WITHIN SLEEVING OR CONDUIT.
- INSTALL BLACK PLASTIC VALVE BOXES WITH BOLT DOWN, NON HINGED COVER MARKED "IRRIGATION". BOX BODY SHALL HAVE KNOCK OUTS. ACCEPTABLE VALVE BOX MANUFACTURERS INCLUDE NDS, CARSON OR APPROVED EQUAL.
- INSTALL REMOTE CONTROL VALVE BOXES 12" FROM WALK, CURB, HEADER BOARD, BUILDING, OR LANDSCAPE FEATURE. AT MULTIPLE VALVE BOX GROUPS, INSTALL EACH BOX 12" FROM THE WALK, CURB, HEADER BOARD, BUILDING, OR LANDSCAPE FEATURE AND INSTALL EACH BOX 12" APART. PLANT LOCATIONS TAKE PRECEDENCE OVER VALVE BOX LOCATIONS. REVIEW PLANTING LAYOUT DETAILS PRIOR TO INSTALLATION.
- VALVE LOCATIONS SHOWN ARE DIAGRAMMATIC. INSTALL IN GROUND COVER/SHRUB AREAS.
- THE CONTRACTOR SHALL LABEL CONTROL LINE WIRE AT EACH REMOTE CONTROL VALVE WITH A 2 1/4" X 2 3/4" POLYURETHANE I.D. TAG, INDICATING IDENTIFICATION NUMBER OF VALVE (CONTROLLER AND STATION NUMBER). ATTACH LABEL TO CONTROL WIRE. THE CONTRACTOR SHALL PERMANENTLY STAMP ALL VALVE BOX LIDS WITH APPROPRIATE IDENTIFICATION AS NOTED IN CONSTRUCTION DETAILS.
- THE REMOTE CONTROL VALVES SPECIFIED ON THE DRAWINGS IS A PRESSURE REDUCING TYPE. SET THE DISCHARGE PRESSURE AS FOLLOWS:
A. DRIP EMITTERS=35 PSI
B. BUBBLERS= 30 PSI
- INSTALL A GATE VALVE TO ISOLATE EACH REMOTE CONTROL VALVE OR GROUP OF ROV'S LOCATED TOGETHER. GATE VALVE SIZE SHALL BE SAME AS THE LARGEST REMOTE CONTROL VALVE IN WAKFOLD.
- FLUSH AND ADJUST IRRIGATION OUTLETS AND NOZZLES FOR OPTIMUM PERFORMANCE AND TO PREVENT OVER SPRAY ONTO WALKS, ROADWAYS, AND/OR BUILDINGS. SELECT THE BEST DEGREE OF THE ARC AND RADIIUS TO FIT THE EXISTING SITE CONDITIONS AND THROTTLE THE FLOW CONTROL AT EACH VALVE TO OBTAIN THE OPTIMUM OPERATING PRESSURE FOR EACH CONTROL ZONE.
- SET SPRINKLER HEADS PERPENDICULAR TO FINISH GRADE.
- LOCATE EMITTER OUTLETS ON UPHILL SIDE OF PLANT OR TREE.
- LOCATE BUBBLERS ON UPHILL SIDE OF PLANT OR TREE.
- NOTIFY LOCAL JURISDICTIONS FOR INSPECTION AND TESTING OF INSTALLED BACKFLOW PREVENTION DEVICE.
- THE SPRINKLER SYSTEM DESIGN IS BASED ON THE MINIMUM OPERATING PRESSURE SHOWN ON THE IRRIGATION DRAWINGS. VERIFY WATER PRESSURE PRIOR TO CONSTRUCTION. REPORT ANY DIFFERENCE BETWEEN THE WATER PRESSURE INDICATED ON THE DRAWINGS AND THE ACTUAL PRESSURE READING AT THE IRRIGATION POINT OF CONNECTION TO THE OWNER'S AUTHORIZED REPRESENTATIVE.
- IRRIGATION DEMAND: REFER TO PLANS.
- PIPE SIZING SHOWN ON THE DRAWINGS IS TYPICAL. AS CHANGES IN LAYOUT OCCUR DURING STAKING AND CONSTRUCTION THE SIZE MAY NEED TO BE ADJUSTED ACCORDINGLY.
- PIPE THREAD SEALANT COMPOUND SHALL BE RECTOR SEAL FS.
- THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR MINOR CHANGES IN THE IRRIGATION LAYOUT DUE TO OBSTRUCTIONS NOT SHOWN ON THE IRRIGATION DRAWINGS SUCH AS LIGHTS, FIRE HYDRANTS, SIGNS, ELECTRICAL ENCLOSURES, ETC.
- THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR CHANGES

IRRIGATION LEGEND

SYMBOL	NUMBER	DESCRIPTION	NOZZLE GPM	OPERATING PSI	OPERATING RADIUS (FEET)	PRECIPITATION RATE
■	FB-50-PC	TORO BUBBLER (2 PER TREE)	0.5	30	TRICKLE	0.85
→	T-YD-500-34	TORO AIR RELIEF VALVE				
⊕	FCH-H-FIPT	TORO FLUSH VALVE				
⊖	T-DL-MP9	TORO DRIP ZONE INDICATOR				
⊖	P-220-26 SERIES	TORO REMOTE CONTROL VALVE				
⊖	P220-27-04/ T-ALFD10150-L	TORO REMOTE CONTROL VALVE WITH A PRESSURE REGULATOR (SET TO 45 PSI) AND A 1" DISC FILTER				
→	J3DNP	RAIN BIRD QUICK COUPLING VALVE				
⊖	DWS-200	GRISWOLD MASTER CONTROL VALVE (NORMALLY CLOSED)				
⊖	FS-B100	RAIN MASTER FLOW SENSOR (4-80 GPM)				
⊖	T-113-K	NIBCO GATE VALVE (LINE SIZE)				
⊖	825YA-1.5"	FEBCO REDUCED PRESSURE BACKFLOW ASSEMBLY				
⊖	RME-12EO-SPEED/ PMRKIT	RAIN MASTER EAGLE CONTROLLER MOUNTED IN A METAL PEDESTAL ENCLOSURE. CONTRACTOR TO INPUT HISTORICAL ET INTO THE CONTROLLER WHEN PROGRAMMING.				
⊖	PM-XMT-R	RAIN MASTER, HAND HELD TRANSMITTER (1 PER CONTROLLER)				
⊖	RSS00	IRRITROL RAIN SENSOR, MOUNT ON SIDE OF CONTROLLER ENCLOSURE (1 PER CONTROLLER)				
		CONTROLLER AND STATION NUMBER				
		FLOW (GPM)				
		REMOTE CONTROL VALVE SIZE (IN INCHES)				
		ASSOCIATED REMOTE CONTROL VALVE				
		CONTROLLER AND STATION NUMBER				
		AREA (SQ. FT.)				
		FLOW (GPM)				
		REMOTE CONTROL VALVE SIZE (IN INCHES)				
		ASSOCIATED REMOTE CONTROL VALVE				
		MAIN LINE: 1.5" AND SMALLER: 1120-SCHEDULE 40 PVC PLASTIC PIPE WITH SCHEDULE 40 PVC SOLVENT WELD FITTINGS. 16" COVER.				
		LATERAL LINE: 3/4" AND LARGER: 1120-SCHEDULE 40 PVC PLASTIC PIPE WITH SCHEDULE 40 PVC SOLVENT-WELD FITTINGS. 12" COVER.				
		NOTE: ALL PIPE SHALL BE PW PIPE "PW PURPLE PLUS", APACHE "PURPLE PIPE", OR APPROVED EQUAL FOR USE WITH RECYCLED WATER SYSTEMS.				
		SLEEVING: 1120-SCHEDULE 40 PVC PLASTIC PIPE. COVER TO BE AS INDICATED IN SPECIFICATIONS. SIZE AS SHOWN.				
		DRIP ZONE: TORO DL2000 SERIES DRIPLINE WITH LOC-EZE FITTINGS, PART #RCP-212. TUBING TO BE INSTALLED 4" BELOW GRADE IN A 12" O.C. GRID ACCORDING TO DETAILS. MINIMUM PIPE GRADE OF PVC LATERAL LINE WITH DRIP AREAS TO BE 1". EXTEND PVC HEADERS TO THE ENDS OF ALL DRIP ZONES TO BALANCE FLOW. SEE DETAILS FOR FURTHER INFORMATION.				

1952

1952
 11-30-15 COMPREHENSIVE HILLSIDE ID 10
 NO. DATE DESCRIPTION REVISOR CHECKED APPROVED
 REVISIONS



DESIGNED	
DRAWN	
CHECKED	
REVIEWED	
RECORDED	
APPROVED	
DATE	

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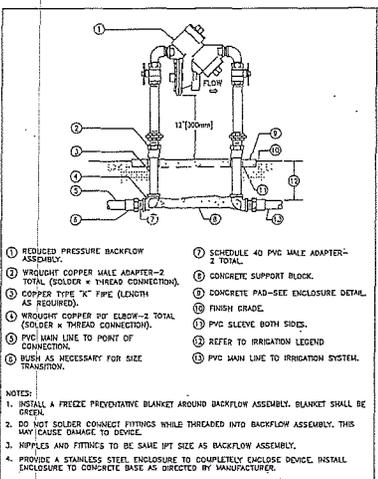
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HUNTERS POINT SHIPYARD DEVELOPMENT PROJECT
 PARCEL A' INFRASTRUCTURE
 IRRIGATION NOTES AND LEGEND

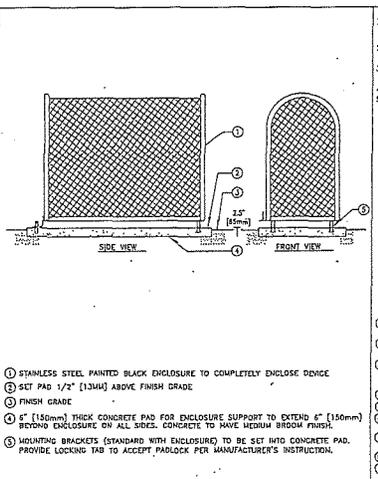
SCALE	NTS.
CONTRACT	DATE
	11-30-15
SHEET	DRAWING
	PL-34

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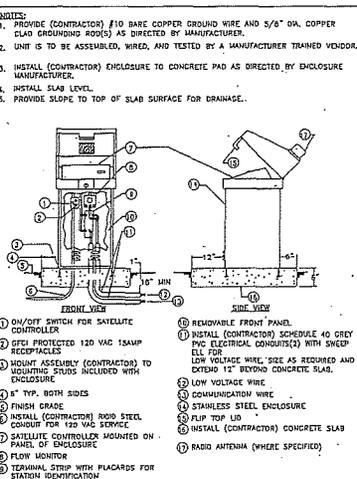
1953



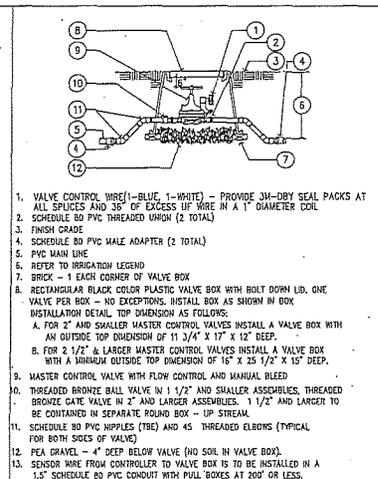
- 1 REDUCED PRESSURE BACKFLOW ASSEMBLY.
 - 2 WROUGHT COPPER MALE ADAPTER-2 TOTAL (SOLDER + THREAD CONNECTION).
 - 3 COPPER TYPE "K" PIPE (LENGTH AS REQUIRED).
 - 4 WROUGHT COPPER 90° ELBOW-2 TOTAL (SOLDER + THREAD CONNECTION).
 - 5 PVC MAIN LINE TO POINT OF CONNECTION.
 - 6 BRUSH AS NECESSARY FOR SIZE TRANSITION.
 - 7 SCHEDULE 40 PVC MALE ADAPTER-2 TOTAL.
 - 8 CONCRETE SUPPORT BLOCK.
 - 9 CONCRETE PAD-SEE ENCLOSURE DETAIL.
 - 10 FINISH GRADE.
 - 11 PVC SLEEVE BOTH SIDES.
 - 12 REFER TO IRRIGATION LEGEND.
 - 13 PVC MAIN LINE TO IRRIGATION SYSTEM TRANSITION.
- NOTES:
1. INSTALL A FREEZE PREVENTATIVE BLANKET AROUND BACKFLOW ASSEMBLY. BLANKET SHALL BE GREEN.
 2. DO NOT SOLDER CONNECT FITTINGS WHILE THREADED INTO BACKFLOW ASSEMBLY. THIS MAY CAUSE DAMAGE TO DEVICE.
 3. RIFPLES AND FITTINGS TO BE SAME ID SIZE AS BACKFLOW ASSEMBLY.
 4. PROVIDE A STAINLESS STEEL ENCLOSURE TO COMPLETELY ENCLOSE DEVICE. INSTALL ENCLOSURE TO CONCRETE BASE AS DIRECTED BY MANUFACTURER.



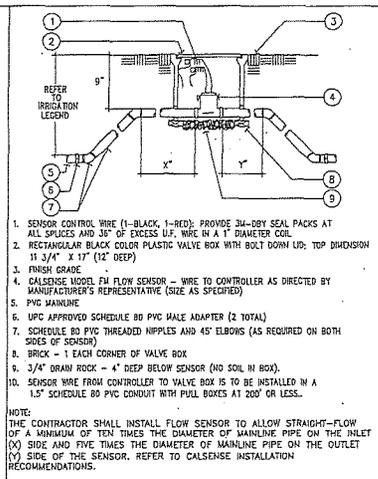
- 1 STAINLESS STEEL PAINTED BLACK ENCLOSURE TO COMPLETELY ENCLOSE DEVICE
- 2 SET PAD 1/2" (12MM) ABOVE FINISH GRADE
- 3 FINISH GRADE
- 4 6" (150mm) THICK CONCRETE PAD FOR ENCLOSURE SUPPORT TO EXTEND 6" (150mm) BEYOND ENCLOSURE ON ALL SIDES. CONCRETE TO HAVE MEDIUM BRUSH FINISH.



- NOTES:
1. PROVIDE (CONTRACTOR) #10 BARE COPPER GROUND WIRE AND 5/8" DIA. COPPER CLAD GROUNDING ROD(S) AS DIRECTED BY MANUFACTURER.
 2. UNIT IS TO BE ASSEMBLED, WIRED, AND TESTED BY A MANUFACTURER TRAINED VENDOR.
 3. INSTALL (CONTRACTOR) ENCLOSURE TO CONCRETE PAD AS DIRECTED BY ENCLOSURE MANUFACTURER.
 4. INSTALL SLAB LEVEL.
 5. PROVIDE SLOPE TO TOP OF SLAB SURFACE FOR DRAINAGE.
- 1 ON/OFF SWITCH FOR SATELLITE CONTROLLER
 - 2 GFCI PROTECTED 120 VAC 15AMP RECEPTACLES
 - 3 MOUNT ASSEMBLY (CONTRACTOR) TO MOUNTING STRIPS INCLUDED WITH ENCLOSURE
 - 4 8" TYP. BOTH SIDES
 - 5 FINISH GRADE
 - 6 INSTALL (CONTRACTOR) ROD STEEL CONDUIT FOR 120 VAC SERVICE
 - 7 SATELLITE CONTROLLER MOUNTED ON PANEL OF ENCLOSURE
 - 8 FLOW MONITOR
 - 9 TERMINAL STRIP WITH PLACARDS FOR STATION IDENTIFICATION
 - 10 REMOVABLE FRONT PANEL
 - 11 INSTALL (CONTRACTOR) SCHEDULE 40 GREY PVC ELECTRICAL CONDUIT(S) WITH SWEEP ELL FOR LOW VOLTAGE WIRE. SEE AS REQUIRED AND EXTEND 12" BEYOND CONCRETE SLAB.
 - 12 LOW VOLTAGE WIRE
 - 13 COMMUNICATION WIRE



- 1 VALVE CONTROL WIRE(1-BLUE, 1-WHITE) - PROVIDE 3M-DBY SEAL PACKS AT ALL SPLICES AND 3/8" OF EXCESS LIFE WIRE IN A 1" DIAMETER COIL
- 2 SCHEDULE 80 PVC THREADED UNION (2 TOTAL)
- 3 FINISH GRADE
- 4 SCHEDULE 80 PVC MALE ADAPTER (2 TOTAL)
- 5 PVC MAIN LINE
- 6 REFER TO IRRIGATION LEGEND
- 7 BRICK - 1 EACH CORNER OF VALVE BOX
- 8 RECTANGULAR BLACK COLOR PLASTIC VALVE BOX WITH BOLT DOWN LID. ONE VALVE PER BOX - NO EXCEPTIONS. INSTALL BOX AS SHOWN IN BOX INSTALLATION DETAIL. TOP DIMENSION AS FOLLOWS:
 - A. FOR 2" AND SMALLER MASTER CONTROL VALVES INSTALL A VALVE BOX WITH AN OUTSIDE TOP DIMENSION OF 11 3/4" X 17" X 12" DEEP.
 - B. FOR 2 1/2" & LARGER MASTER CONTROL VALVES INSTALL A VALVE BOX WITH A MINIMUM OUTSIDE TOP DIMENSION OF 16" X 25 1/2" X 15" DEEP.
- 9 MASTER CONTROL VALVE WITH FLOW CONTROL AND MANUAL BLEED TO BE CONTAINED IN SEPARATE ROUND BOX - UP STREAM.
- 10 SCHEDULE 80 PVC NIPPLES (T&E) AND 45° THREADED ELBOWS (TYPICAL FOR BOTH SIDES OF VALVE)
- 11 1/2" PEA GRAVEL - 4" DEEP BELOW VALVE (NO SOIL IN VALVE BOX).
- 12 SENSOR WIRE FROM CONTROLLER TO VALVE BOX IS TO BE INSTALLED IN A 1.5" SCHEDULE 80 PVC CONDUIT WITH PULL BOXES AT 200' OR LESS.



- 1 SENSOR CONTROL WIRE (1-BLACK, 1-RED); PROVIDE 3M-DBY SEAL PACKS AT ALL SPLICES AND 3/8" OF EXCESS LIFE WIRE IN A 1" DIAMETER COIL
 - 2 RECTANGULAR BLACK COLOR PLASTIC VALVE BOX WITH BOLT DOWN LID. TOP DIMENSION 11 3/4" X 17" (12" DEEP)
 - 3 FINISH GRADE
 - 4 CALSENSE VUECEL FM FLOW SENSOR - WIRE TO CONTROLLER AS DIRECTED BY MANUFACTURER'S REPRESENTATIVE (SIZE AS SPECIFIED)
 - 5 PVC MAINLINE
 - 6 UPC APPROVED SCHEDULE 80 PVC MALE ADAPTER (2 TOTAL)
 - 7 SCHEDULE 80 PVC THREADED NIPPLES AND 45° ELBOWS (AS REQUIRED ON BOTH SIDES OF SENSOR)
 - 8 BRICK - 1 EACH CORNER OF VALVE BOX
 - 9 3/4" DRAIN ROCK - 4" DEEP BELOW SENSOR (NO SOIL IN BOX).
 - 10 SENSOR WIRE FROM CONTROLLER TO VALVE BOX IS TO BE INSTALLED IN A 1.5" SCHEDULE 80 PVC CONDUIT WITH PULL BOXES AT 200' OR LESS.
- NOTE: THE CONTRACTOR SHALL INSTALL FLOW SENSOR TO ALLOW STRAIGHT-FLOW OF A MINIMUM OF TEN TIMES THE DIAMETER OF MAINLINE PIPE ON THE INLET (X) SIDE AND FIVE TIMES THE DIAMETER OF MAINLINE PIPE ON THE OUTLET (Y) SIDE OF THE SENSOR. REFER TO CALSENSE INSTALLATION RECOMMENDATIONS.

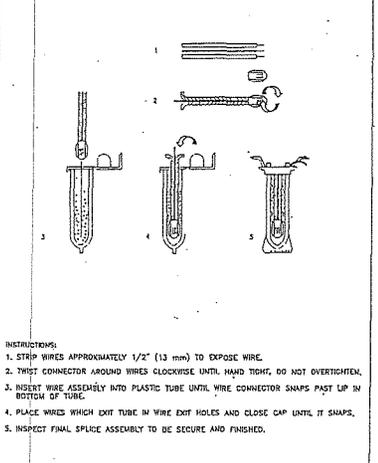
1 REDUCED PRESSURE BACKFLOW ASSEMBLY
SCALE: NONE
DET: RFP-1

2 BACKFLOW ASSEMBLY ENCLOSURE 3" (75mm) AND SMALLER
SCALE: NONE
DET: ENC-SMOOTH

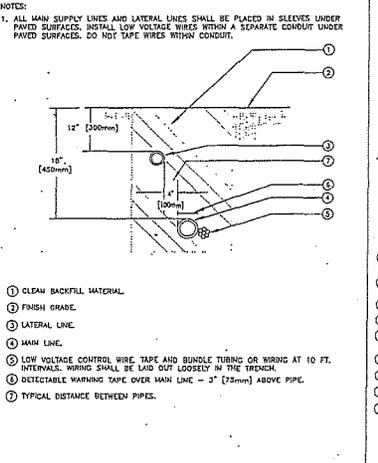
3 CONTROLLER IN ENCLOSURE
SCALE: NONE
DET: FIP-top

4 MASTER VALVE
SCALE: NONE
DET: NONE

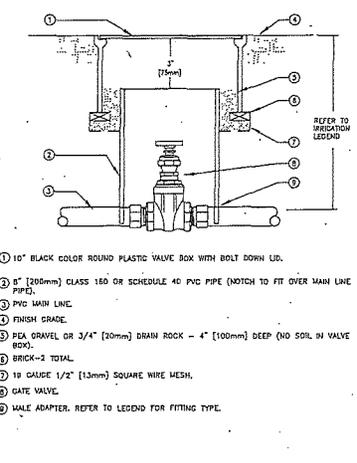
5 FLOW SENSOR
SCALE: NONE
DET: FL_SENSOR_CAL



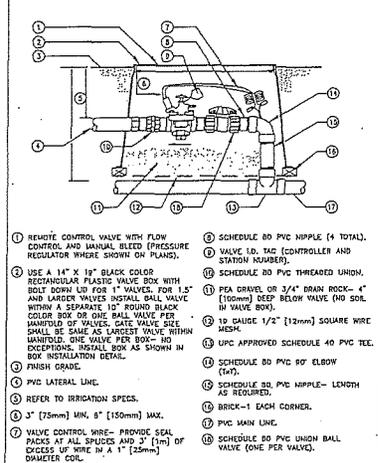
- INSTRUCTIONS:
1. STRIP WIRES APPROXIMATELY 1/2" (13 mm) TO EXPOSE WIRE.
 2. TWIST CONNECTOR AROUND WIRES CLOCKWISE UNTIL HAND TIGHT, DO NOT OVERTIGHTEN.
 3. INSERT WIRE ASSEMBLY INTO PLASTIC TUBE UNTIL WIRE CONNECTOR SNAPS PAST LIP IN BOTTOM OF TUBE.
 4. PLACE WIRES WHICH EXIT TUBE IN WIRE EXIT HOLES AND CLOSE CAP UNTIL IT SNAPS.
 5. INSPECT FINAL SPLICE ASSEMBLY TO BE SECURE AND FINISHED.



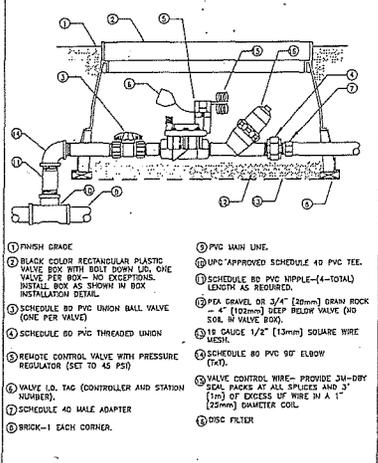
- NOTES:
1. ALL MAIN SUPPLY LINES AND LATERAL LINES SHALL BE PLACED IN SLEEVES UNDER PAVED SURFACES. INSTALL LOW VOLTAGE WIRES WITHIN A SEPARATE CONDUIT UNDER PAVED SURFACES. DO NOT TAPE WIRES WITHIN CONDUIT.
- 1 CLEAN BACKFILL MATERIAL.
 - 2 FINISH GRADE.
 - 3 LATERAL LINE.
 - 4 MAIN LINE.
 - 5 LOW VOLTAGE CONTROL WIRE TAPE AND BUNDLE TURNING OR WIRING AT 90° INTERVALS. WIRING SHALL BE LAID OUT LOOSELY IN THE TRENCH.
 - 6 DETECTABLE WARNING TAPE OVER MAIN LINE - 3" (75mm) ABOVE PIPE.
 - 7 TYPICAL DISTANCE BETWEEN PIPES.



- 1 10" BLACK COLOR ROUND PLASTIC VALVE BOX WITH BOLT DOWN LID.
 - 2 8" (200mm) CLASS 180 OR SCHEDULE 40 PVC PIPE (NOTCH TO FIT OVER MAIN LINE PIPE).
 - 3 PVC MAIN LINE.
 - 4 FINISH GRADE.
 - 5 PEA GRAVEL OR 3/4" (20mm) DRAIN ROCK - 4" (100mm) DEEP (NO SOIL IN VALVE BOX).
 - 6 BRICK-2 TOTAL.
 - 7 10 GAUGE 1/2" (13mm) SQUARE WIRE MESH.
 - 8 GATE VALVE.
- 9 MALE ADAPTER. REFER TO LEGEND FOR FITTING TYPE.



- 1 REMOTE CONTROL VALVE WITH FLOW CONTROL AND MANUAL BLEED (PRESSURE REGULATOR WHERE SHOWN ON PLANS).
- 2 USE A 14" X 17" BLACK COLOR RECTANGULAR PLASTIC VALVE BOX WITH BOLT DOWN LID FOR 1.5" AND LARGER VALVES. INSTALL BALL VALVE WITHIN A SEPARATE ROUND BLACK COLOR BOX OR ONE BALL VALVE PER MANHOLE OF VALVES. GATE VALVE PER SMALLER SIZE SAME AS LARGEST VALVE WITHIN MANHOLE. ONE VALVE PER BOX - NO EXCEPTIONS. INSTALL BOX AS SHOWN IN BOX INSTALLATION DETAIL.
- 3 FINISH GRADE
- 4 PVC LATERAL LINE.
- 5 REFER TO IRRIGATION SPECS.
- 6 3" (75mm) MIN. 8" (150mm) MAX.
- 7 VALVE CONTROL WIRE- PROVIDE 3M-DBY SEAL PACKS AT ALL SPLICES AND 3/8" OF EXCESS LIFE WIRE IN A 1" DIAMETER COIL.
- 8 SCHEDULE 80 PVC NIPPLE (4 TOTAL).
- 9 VALVE LID. TAG (CONTROLLER AND STATION NUMBER).
- 10 SCHEDULE 80 PVC THREADED UNION.
- 11 PEA GRAVEL OR 3/4" DRAIN ROCK - 4" (100mm) DEEP BELOW VALVE (NO SOIL IN VALVE BOX).
- 12 10 GAUGE 1/2" (12mm) SQUARE WIRE MESH.
- 13 UPC APPROVED SCHEDULE 40 PVC TEE.
- 14 SCHEDULE 80 PVC 90° ELBOW (T&T).
- 15 SCHEDULE 80 PVC NIPPLE- LENGTH AS REQUIRED.
- 16 BRICK- 1 EACH CORNER.
- 17 PVC MAIN LINE.
- 18 SCHEDULE 80 PVC UNION BALL VALVE (ONE PER VALVE).



- 1 FINISH GRADE
- 2 BLACK COLOR RECTANGULAR PLASTIC VALVE BOX WITH BOLT DOWN LID. ONE VALVE PER BOX - NO EXCEPTIONS. INSTALL BOX AS SHOWN IN BOX INSTALLATION DETAIL.
- 3 SCHEDULE 80 PVC UNION BALL VALVE (ONE PER VALVE)
- 4 REMOTE CONTROL VALVE WITH PRESSURE REGULATOR (SET TO 45 PSI)
- 5 VALVE LID. TAG (CONTROLLER AND STATION NUMBER).
- 6 SCHEDULE 40 MALE ADAPTER
- 7 BRICK- 1 EACH CORNER.
- 8 PVC MAIN LINE.
- 9 SCHEDULE 80 PVC UNION BALL VALVE (ONE PER VALVE).
- 10 PVC TEE.
- 11 SCHEDULE 80 PVC NIPPLE-(4-TOTAL) LENGTH AS REQUIRED.
- 12 PEA GRAVEL OR 3/4" (20mm) DRAIN ROCK - 4" (100mm) DEEP BELOW VALVE (NO SOIL IN VALVE BOX).
- 13 10 GAUGE 1/2" (12mm) SQUARE WIRE MESH.
- 14 SCHEDULE 80 PVC 90° ELBOW (T&T).
- 15 VALVE CONTROL WIRE- PROVIDE 3M-DBY SEAL PACKS AT ALL SPLICES AND 3/8" OF EXCESS LIFE WIRE IN A 1" (25mm) DIAMETER COIL.
- 16 DISC FILTER.

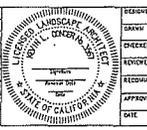
6 WEATHERPROOF WIRE SPLICE ASSEMBLY
SCALE: NONE
DET: WIRE-SPL

7 TRENCHING
SCALE: NONE
DET: TRENCH

8 GATE VALVE - 3" (75mm) AND SMALLER
SCALE: NONE
DET: SCV0

9 REMOTE CONTROL VALVE
SCALE: NONE
DET: RCV-UN-BV

10 REMOTE CONTROL VALVE (DRIZZONE)
SCALE: NONE
DET: RCV-FILTER4



LENNAR / BVHP
46 STEVENSON STREET, SUITE 525
SAN FRANCISCO, CALIFORNIA 94105

HUNTERS POINT SHIPYARD DEVELOPMENT PROJECT
PARCEL 'A' INFRASTRUCTURE
IRRIGATION DETAILS

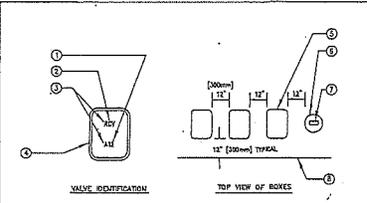
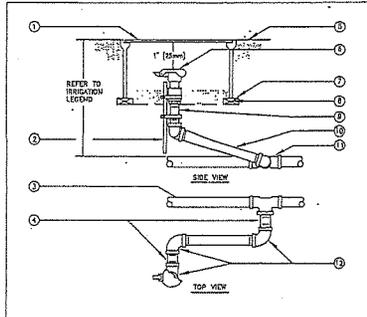
SCALE	N/T/S
CONTRACT	DATE 11-30-15
SHEET	DRAWING
NO.	PL-35

NO.	DATE	DESCRIPTION	REVISED	CHECKED	APPROVED
1	11-30-15	COMPREHENSIVE HILLSIDE 18 19			

REVISIONS

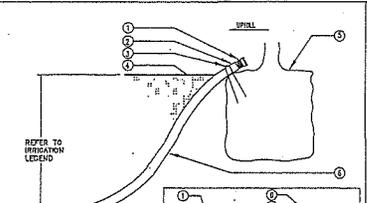
1954

DRAWING NAME, NUMBER AND DATE OF REVISIONS TO BE MAINTAINED IN THE OFFICE OF THE ENGINEER AND ARCHITECT. THE CLIENT SHALL BE RESPONSIBLE FOR THE PROTECTION OF THIS DRAWING.



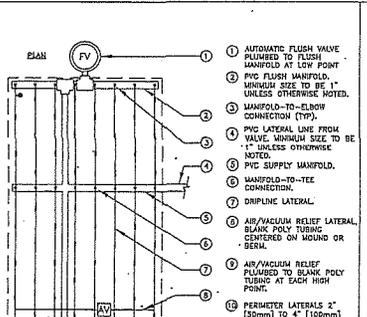
- VALVE IDENTIFICATION**
- ① CONTROLLER AND STATION
 - ② VALVE TYPE
 - ③ HEAT BRAND LETTERS AND NUMBERS INTO TOP
 - ④ VALVE BOX COVER
 - ⑤ RECTANGULAR BLACK COLOR VALVE BOX FOR 60° AND GATE VALVE
 - ⑥ ROUND BLACK COLOR VALVE BOX FOR 90° AND GATE VALVE
 - ⑦ HEAT BRAND LETTERS AND NUMBERS INTO TOP (TYPICAL)
 - ⑧ EDGE OF WALK, FENCE, CURB, ETC.

- INSTRUCTIONS:**
- CENTER VALVE BOX OVER REMOTE CONTROL VALVE TO FACILITATE SERVICING VALVE.
 - SET BOXES 1" (25mm) ABOVE FINISH GRADE OR MULCH COVER IN GROUND COVER/SHRUB AREA AND FLUSH WITH FINISH GRADE IN TURF AREA.
 - SET RCV AND VALVE BOX ASSEMBLY IN GROUND COVER/SHRUB AREA WHERE POSSIBLE.
 - SET BOXES PARALLEL TO EACH OTHER AND PERPENDICULAR TO EDGE OF WALK, FENCE, CURB, ETC.
 - AVOID HEAVILY COMPACTING SOIL AROUND VALVE BOXES TO PREVENT COLLAPSE AND DEFORMATION OF VALVE BOX SIDES.
 - INSTALL EXTENSION BY VALVE BOX MANUFACTURER AS REQUIRED TO COMPLETELY ENCLOSE ASSEMBLY FOR EASY ACCESS.

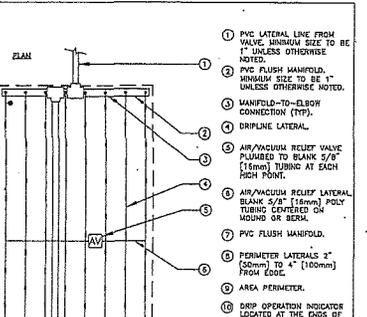


- NOTE:**
 SUGGESTED QUANTITY OF BUBBLERS PER TREES AND SHRUBS SIZE:
 • SHRUBS - 1 BUBBLER
 • 15 GAL OR 24" BOX - 2 BUBBLERS
 • 35 GAL OR 48" BOX - 4 BUBBLERS
 • 80 GAL OR 72" BOX - 8 BUBBLERS

- BUBBLER (TO BE INSTALLED ON SIDE OF ROOTBALL):**
- 1/2" (13mm) SCH. 40 MALE ADAPTER.
 - 1/2" (13mm) SCH. 40 MALE ADAPTER.
 - 8" (190mm) STEEL STAPLE.
 - FINISH GRADE.
 - TREE OR SHRUB ROOTBALL.
 - 1/2" (13mm) IPS FLEXIBLE PVC.
 - PVC TEE (SS), ELBOW (ST) OR FEMALE ADAPTER.
 - PVC LATERAL LINE.
 - TREE STAKES.
 - TREE OR SHRUB.
 - EDGE OF ROOTBALL (TYPICAL).

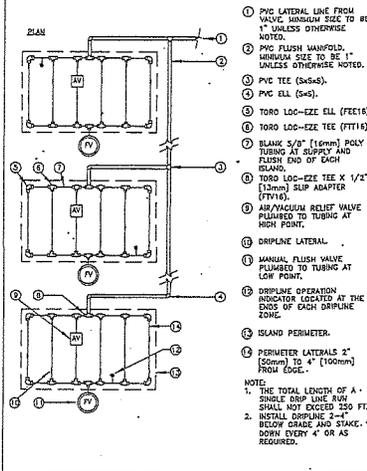


- NOTE:**
- THE TOTAL LENGTH OF A SINGLE DRIP LINE RUN SHALL NOT EXCEED 250 FT.
 - INSTALL DRIPLINE 2-4" BELOW GRADE AND STAKE DOWN EVERY 4' OR AS REQUIRED.



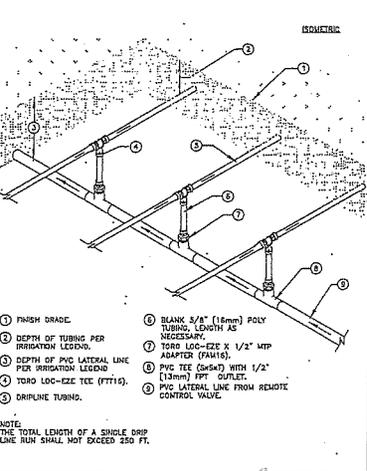
- NOTE:**
- THE TOTAL LENGTH OF A SINGLE DRIP LINE RUN SHALL NOT EXCEED 250 FT.
 - INSTALL DRIPLINE 2-4" BELOW GRADE AND STAKE DOWN EVERY 4' OR AS REQUIRED.

1 QUICK COUPLING VALVE
 SCALE: NONE
 REF: SUICK-C2



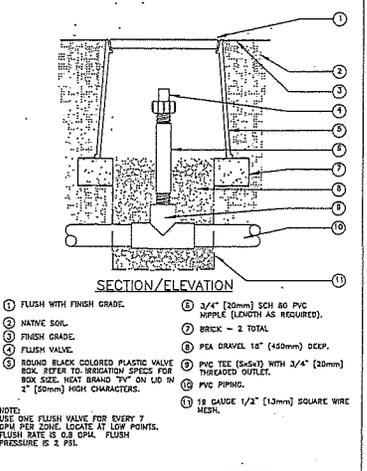
6 TORO DL 2000 ISLAND LAYOUT
 SCALE: NONE

2 VALVE BOX INSTALLATION
 SCALE: NONE
 REF: VALVE-B1



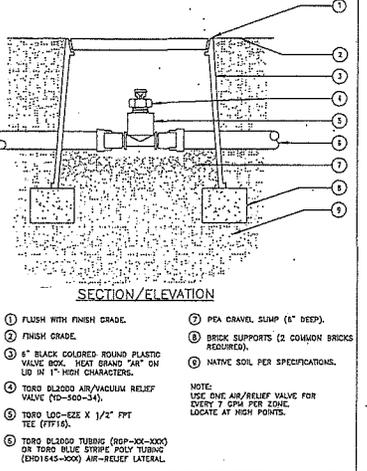
7 TORO DL 2000 CENTER FEED MANIFOLD
 SCALE: NONE

3 TREE AND SHRUB BUBBLER
 SCALE: NONE
 REF: TREE-BUBB



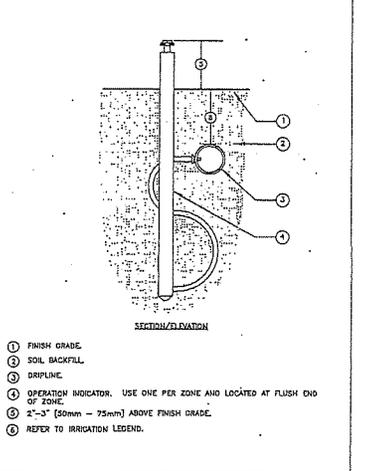
8 TORO DL 2000 FLUSH VALVE (PVC TEE)
 SCALE: NONE

4 TORO DL 2000 CENTER FEED LAYOUT
 SCALE: NONE



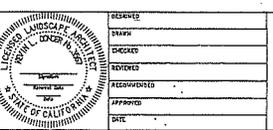
9 TORO DL 2000 AIR VACUUM RELIEF VALVE
 SCALE: NONE

5 TORO DL 2000 END FEED LAYOUT
 SCALE: NONE



10 TORO DL 2000 OPERATION INDICATOR
 SCALE: NONE

NO.	DATE	DESCRIPTION	APPROVED	CHECKED	DATE
1	11-30-15	COMPREHENSIVE HILLSIDE JB 19			



BKF
 BUREAU OF KIRBY FERTILIZERS
 255 SHORELINE DRIVE, STE. 200
 REDWOOD CITY, CA 94065
 (650) 482-6300 (650) 482-6399 (FAX)

CMG
 CONDER MOSS QUILLARD
 406 THIRD STREET SUITE 710
 SAN FRANCISCO, CA 94101
 TELEPHONE: 415/411-3970
 FACSIMILE: 415/411-3966

LENNAR / BVHP
 49 STEVENSON STREET, SUITE 525
 SAN FRANCISCO, CALIFORNIA 94105

HUNTERS POINT SHIPYARD DEVELOPMENT PROJECT
 PARCEL A' INFRASTRUCTURE
 IRRIGATION DETAILS

SCALE: NTS
 CONTRACT: DATE: 11-30-15
 SHEET: DRAWING: PL-36
 11/30/15

1958

JOINT TRENCH OCCUPANCY CODE	SECTION	C	M	S	T	P
1"	X	X	X	X	X	X
2"	X	X	X	X	X	X
3"	X	X	X	X	X	X
4"	X	X	X	X	X	X
5"	X	X	X	X	X	X
6"	X	X	X	X	X	X
8"	X	X	X	X	X	X
10"	X	X	X	X	X	X
12"	X	X	X	X	X	X
15"	X	X	X	X	X	X
18"	X	X	X	X	X	X
24"	X	X	X	X	X	X
30"	X	X	X	X	X	X
36"	X	X	X	X	X	X
42"	X	X	X	X	X	X
48"	X	X	X	X	X	X
54"	X	X	X	X	X	X
60"	X	X	X	X	X	X
66"	X	X	X	X	X	X
72"	X	X	X	X	X	X
78"	X	X	X	X	X	X
84"	X	X	X	X	X	X
90"	X	X	X	X	X	X
96"	X	X	X	X	X	X
102"	X	X	X	X	X	X
108"	X	X	X	X	X	X
114"	X	X	X	X	X	X
120"	X	X	X	X	X	X
126"	X	X	X	X	X	X
132"	X	X	X	X	X	X
138"	X	X	X	X	X	X
144"	X	X	X	X	X	X
150"	X	X	X	X	X	X
156"	X	X	X	X	X	X
162"	X	X	X	X	X	X
168"	X	X	X	X	X	X
174"	X	X	X	X	X	X
180"	X	X	X	X	X	X
186"	X	X	X	X	X	X
192"	X	X	X	X	X	X
198"	X	X	X	X	X	X
204"	X	X	X	X	X	X
210"	X	X	X	X	X	X
216"	X	X	X	X	X	X
222"	X	X	X	X	X	X
228"	X	X	X	X	X	X
234"	X	X	X	X	X	X
240"	X	X	X	X	X	X
246"	X	X	X	X	X	X
252"	X	X	X	X	X	X
258"	X	X	X	X	X	X
264"	X	X	X	X	X	X
270"	X	X	X	X	X	X
276"	X	X	X	X	X	X
282"	X	X	X	X	X	X
288"	X	X	X	X	X	X
294"	X	X	X	X	X	X
300"	X	X	X	X	X	X
306"	X	X	X	X	X	X
312"	X	X	X	X	X	X
318"	X	X	X	X	X	X
324"	X	X	X	X	X	X
330"	X	X	X	X	X	X
336"	X	X	X	X	X	X
342"	X	X	X	X	X	X
348"	X	X	X	X	X	X
354"	X	X	X	X	X	X
360"	X	X	X	X	X	X
366"	X	X	X	X	X	X
372"	X	X	X	X	X	X
378"	X	X	X	X	X	X
384"	X	X	X	X	X	X
390"	X	X	X	X	X	X
396"	X	X	X	X	X	X
402"	X	X	X	X	X	X
408"	X	X	X	X	X	X
414"	X	X	X	X	X	X
420"	X	X	X	X	X	X
426"	X	X	X	X	X	X
432"	X	X	X	X	X	X
438"	X	X	X	X	X	X
444"	X	X	X	X	X	X
450"	X	X	X	X	X	X
456"	X	X	X	X	X	X
462"	X	X	X	X	X	X
468"	X	X	X	X	X	X
474"	X	X	X	X	X	X
480"	X	X	X	X	X	X
486"	X	X	X	X	X	X
492"	X	X	X	X	X	X
498"	X	X	X	X	X	X
504"	X	X	X	X	X	X
510"	X	X	X	X	X	X
516"	X	X	X	X	X	X
522"	X	X	X	X	X	X
528"	X	X	X	X	X	X
534"	X	X	X	X	X	X
540"	X	X	X	X	X	X
546"	X	X	X	X	X	X
552"	X	X	X	X	X	X
558"	X	X	X	X	X	X
564"	X	X	X	X	X	X
570"	X	X	X	X	X	X
576"	X	X	X	X	X	X
582"	X	X	X	X	X	X
588"	X	X	X	X	X	X
594"	X	X	X	X	X	X
600"	X	X	X	X	X	X
606"	X	X	X	X	X	X
612"	X	X	X	X	X	X
618"	X	X	X	X	X	X
624"	X	X	X	X	X	X
630"	X	X	X	X	X	X
636"	X	X	X	X	X	X
642"	X	X	X	X	X	X
648"	X	X	X	X	X	X
654"	X	X	X	X	X	X
660"	X	X	X	X	X	X
666"	X	X	X	X	X	X
672"	X	X	X	X	X	X
678"	X	X	X	X	X	X
684"	X	X	X	X	X	X
690"	X	X	X	X	X	X
696"	X	X	X	X	X	X
702"	X	X	X	X	X	X
708"	X	X	X	X	X	X
714"	X	X	X	X	X	X
720"	X	X	X	X	X	X
726"	X	X	X	X	X	X
732"	X	X	X	X	X	X
738"	X	X	X	X	X	X
744"	X	X	X	X	X	X
750"	X	X	X	X	X	X
756"	X	X	X	X	X	X
762"	X	X	X	X	X	X
768"	X	X	X	X	X	X
774"	X	X	X	X	X	X
780"	X	X	X	X	X	X
786"	X	X	X	X	X	X
792"	X	X	X	X	X	X
798"	X	X	X	X	X	X
804"	X	X	X	X	X	X
810"	X	X	X	X	X	X
816"	X	X	X	X	X	X
822"	X	X	X	X	X	X
828"	X	X	X	X	X	X
834"	X	X	X	X	X	X
840"	X	X	X	X	X	X
846"	X	X	X	X	X	X
852"	X	X	X	X	X	X
858"	X	X	X	X	X	X
864"	X	X	X	X	X	X
870"	X	X	X	X	X	X
876"	X	X	X	X	X	X
882"	X	X	X	X	X	X
888"	X	X	X	X	X	X
894"	X	X	X	X	X	X
900"	X	X	X	X	X	X
906"	X	X	X	X	X	X
912"	X	X	X	X	X	X
918"	X	X	X	X	X	X
924"	X	X	X	X	X	X
930"	X	X	X	X	X	X
936"	X	X	X	X	X	X
942"	X	X	X	X	X	X
948"	X	X	X	X	X	X
954"	X	X	X	X	X	X
960"	X	X	X	X	X	X
966"	X	X	X	X	X	X
972"	X	X	X	X	X	X
978"	X	X	X	X	X	X
984"	X	X	X	X	X	X
990"	X	X	X	X	X	X
996"	X	X	X	X	X	X
1002"	X	X	X	X	X	X
1008"	X	X	X	X	X	X
1014"	X	X	X	X	X	X
1020"	X	X	X	X	X	X
1026"	X	X	X	X	X	X
1032"	X	X	X	X	X	X
1038"	X	X	X	X	X	X
1044"	X	X	X	X	X	X
1050"	X	X	X	X	X	X
1056"	X	X	X	X	X	X
1062"	X	X	X	X	X	X
1068"	X	X	X	X	X	X
1074"	X	X	X	X	X	X
1080"	X	X	X	X	X	X
1086"	X	X	X	X	X	X
1092"	X	X	X	X	X	X
1098"	X	X	X	X	X	X
1104"	X	X	X	X	X	X
1110"	X	X	X	X	X	X
1116"	X	X	X	X	X	X
1122"	X	X	X	X	X	X
1128"	X	X	X	X	X	X
1134"	X	X	X	X	X	X
1140"	X	X	X	X	X	X
1146"	X	X	X	X	X	X
1152"	X	X	X	X	X	X
1158"	X	X	X	X	X	X
1164"	X	X	X	X	X	X
1170"	X	X	X	X	X	X
1176"	X	X	X	X	X	X
1182"	X	X	X	X	X	X
1188"	X	X	X	X	X	X
1194"	X	X	X	X	X	X
1200"	X	X	X	X	X	X

EXISTING GAS LOCATION APPROXIMATE. AT CONTRACTOR TO FIELD VERIFY FOR EXACT LOCATION.

4'x8' BELL HOLE FOR GAS TIE-IN. WHEN EXCAVATING OR TRENCHING KEEP CLEAR OF EXISTING FACILITIES. (TYP.) CAUTION! ENERGIZED FACILITIES! HAND EXCAVATE ONLY IN PRESENCE OF INSPECTOR.

* THESE RECORDS MAY OR MAY NOT CONTAIN B.I.L.S. CONTACT THIS SECTION ONLY CONTAIN B.I.L.S. PRODUCT

SPRINKLE LOCATIONS TO BE EXCAVATED BY VERTICAL TEAM'S DRY UTILITY CONTRACTOR. PLS ADVISE US RESPONSIBILITY FOR UTILITY LOCATIONS.

SPRINKLE LOCATIONS TO BE EXCAVATED BY VERTICAL TEAM'S DRY UTILITY CONTRACTOR. PLS ADVISE US RESPONSIBILITY FOR UTILITY LOCATIONS.

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SPRINKLE LOCATIONS TO BE EXCAVATED BY VERTICAL TEAM'S DRY UTILITY CONTRACTOR. PLS ADVISE US RESPONSIBILITY FOR UTILITY LOCATIONS.

CAUTION! ENERGIZED FACILITIES!
 CONTRACTOR TO EXERCISE EXTREME CAUTION TO AVOID DAMAGING EXISTING UNDERGROUND UTILITIES. OBSTRUCTIONS INDICATED ARE FOR INFORMATION ONLY. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE LOCATION AND DEPTH WITH THE APPROPRIATE AGENCIES. NEITHER THE OWNER NOR THE DESIGNER ASSUME ANY RESPONSIBILITY THAT THE OBSTRUCTIONS INDICATED WILL ACTUALLY BE THE OBSTRUCTIONS ENCOUNTERED. POT-HOLING IS REQUIRED. HAND EXCAVATE ONLY IN PRESENCE OF UTILITY INSPECTOR.

- NOTES:**
- FIELD ADJUST SERVICE RING TO MINIMIZE INTERFERENCE WITH EXISTING FACILITIES (TYPICAL).
 - FIELD ADJUST SPUR BOXES TO KEEP CLEAR OF SIDEWALK, DRIVEWAYS AND EXISTING FACILITIES (TYPICAL).
 - TRANSITION TO WALKS FROM TRENCH NOT SHOWN. SEE TRANSITION DETAIL SHEET JT2 (TYPICAL).
 - INCIDENTAL TRENCHING TO SPUR BOXES NOT SHOWN (TYPICAL). CONTRACTOR TO PROVIDE ADDITIONAL TRENCHING AS REQUIRED FOR CONDUIT ROUTING TO SPUR BOXES AND CABINETS (TYPICAL).
 - OFFSET SPUR BOXES TO ROUTE TELEPHONE/ FIBER OPTIC CONDUIT AS NEEDED (TYPICAL).
 - ALL SPUR SPUR BOXES ADJACENT TO TRANSFORMER SHALL BE 24" IN DEPTH (TYPICAL).
 - DUE TO UNCERTAINTIES OF THE EXACT LOCATION OF EXISTING FACILITIES, FIELD LOCATING OF PROPOSED FACILITIES MAY BE REQUIRED. COORDINATE WITH VARIOUS UTILITIES FOR EXACT PLACEMENT.
 - EDGE OF SPUR BOXES & P pedestals SHALL BE 5' FROM EDGE OF F.H. AND 3' FROM STREET LIGHT (TYP.) CONTRACTOR TO AVOID DISTURBANCE OF F.H. THROUGH BLOCK.
 - MAINTAIN CLEAR & LEVEL WORKING SPACE AROUND PRIMARY SPUR BOXES & METERS PER PG&E DOCUMENT 0312.
 - COORDINATE TIE-IN WITH UTILITY COMPANY AS REQUIRED.
 - RESPECTIVE UTILITY TO OBTAIN CITY OR COUNTY APPROVAL OF ALL ABOVE GROUND EQUIPMENT.
 - HAND DIG TO EXPOSE ALL EXISTING FACILITIES.
 - CALL USA TO FIELD VERIFY EXISTING TRENCH LOCATION(S).
 - FIELD LOCATE JOINT TRENCH FACILITIES TO KEEP CLEAR OF SERVICE LATERALS. SERVICE LATERALS TO BE ROUTED TO AVOID SPUR BOX.
- (ADDITIONAL PAGE MAY BE REQUIRED.)

- NOTE:**
- CALL USA TO FIELD VERIFY EXISTING TRENCH LOCATION(S).
 - COORDINATE TIE-IN WITH UTILITY COMPANY AS REQUIRED.
 - HAND DIG TO EXPOSE ALL EXISTING FACILITIES.

NOTE:
 ALL BOXES TO BE INSTALLED WITHIN THE R/W AND/OR P.U.E. AREA.

EXISTING PAVEMENT NOTE:
 THE CONTRACTOR SHALL BE RESPONSIBLE TO REPLACE PAVEMENT AND/OR SIDEWALK WHERE REMOVED OR DAMAGED AS A RESULT OF ITS OPERATION (UNLESS OTHERWISE NOTED). REPLACEMENT OF PAVEMENT AND/OR SIDEWALK TO BE PER CITY SPECIFICATIONS.

R/W, P.U.E. & P.U.E. ACQUISITION NOTE:
 CONTRACTOR TO VERIFY RIGHT OF WAY, PUBLIC UTILITY EASEMENT AND/OR PUBLIC SERVICE EASEMENT ACQUISITION WITH THE APPLICANT PRIOR TO CONSTRUCTION WITHIN AREAS OF QUESTION.

NO.	DATE	DESCRIPTION	REVISION	CHECKED	APPROVED
1	11-30-15	COMPREHENSIVE HILLSIDE 18 19			
REVISIONS					

PROFESSIONAL ENGINEER
 STATE OF CALIFORNIA
 CIVIL
 No. 1200-15
 11/30/15

POWER SYSTEMS DESIGN
 2023 N. MAIN STREET, SUITE 200
 WALNUT CREEK, CA 94596
 TEL: 925-933-8445
 WWW.POWERSYSTEMSDESIGN.COM

PLANNING • TRANSMISSION • DISTRIBUTION • SUBSTATION • DRY UTILITY DESIGN

LENNAR / BVHP
 49 STEVENSON STREET, SUITE 525
 SAN FRANCISCO, CALIFORNIA 94105

HUNTERS POINT SHIPYARD DEVELOPMENT PROJECT
 PARCEL A' INFRASTRUCTURE
 JOINT TRENCH INTENT PLAN



NOT FOR CONSTRUCTION

SCALE	1"=30'
JOB NUMBER	14-031
DATE	11-30-15
SHEET	4
OF	6
DATE	JT.4.0

1960

SECTION	1	2	3	4	5	6	7
A	X	X	X	X	X	X	X
B	X	X	X	X	X	X	X
C	X	X	X	X	X	X	X
D	X	X	X	X	X	X	X
E	X	X	X	X	X	X	X
F	X	X	X	X	X	X	X
G	X	X	X	X	X	X	X
H	X	X	X	X	X	X	X
I	X	X	X	X	X	X	X
J	X	X	X	X	X	X	X
K	X	X	X	X	X	X	X
L	X	X	X	X	X	X	X
M	X	X	X	X	X	X	X
N	X	X	X	X	X	X	X
O	X	X	X	X	X	X	X
P	X	X	X	X	X	X	X
Q	X	X	X	X	X	X	X
R	X	X	X	X	X	X	X
S	X	X	X	X	X	X	X
T	X	X	X	X	X	X	X
U	X	X	X	X	X	X	X
V	X	X	X	X	X	X	X
W	X	X	X	X	X	X	X
X	X	X	X	X	X	X	X
Y	X	X	X	X	X	X	X
Z	X	X	X	X	X	X	X

THESE SECTIONS MAY OR MAY NOT CONTAIN SECTIONS
 THESE SECTIONS MAY OR MAY NOT CONTAIN R.I.L.L. CONTENT
 THESE SECTIONS MAY OR MAY NOT CONTAIN R.I.L.L. CONTENT

NOTES:

- FIELD ADJUST SERVICE XING TO MINIMIZE INTERFERENCE WITH EXISTING FACILITIES (TYPICAL).
- FIELD ADJUST SPICE BOXES TO KEEP CLEAR OF SIDEWALK, DRIVEWAYS AND EXISTING FACILITIES (TYPICAL).
- TRANSITION TO VAULTS FROM TRENCH NOT SHOWN, SEE TRANSITION DETAIL SHEET J12 (TYPICAL).
- ADDITIONAL TRENCHING TO SPICE BOXES NOT SHOWN (TYPICAL). CONTRACTOR TO PROVIDE ADDITIONAL TRENCHING AS REQUIRED FOR CONDUIT ROUTING TO SPICE BOXES AND CABINETS (TYPICAL).
- OFFSET SPICE BOXES TO ROUTE TELEPHONE/ FIBER OPTIC CONDUIT AS NEEDED (TYPICAL).
- ALL SPICE BOXES ADJACENT TO TRANSFORMER SHALL BE 24" IN DEPTH (TYPICAL).
- DUE TO UNCERTAINTIES OF THE EXACT LOCATION OF EXISTING FACILITIES, FIELD LOCATION OF PROPOSED FACILITIES MAY BE REQUIRED. CONFIRM WITH VARIOUS UTILITIES FOR EXACT PLACEMENT.
- EDGE OF SPICE BOXES & P pedestals SHALL BE 5' FROM EDGE OF F.H. AND 3' FROM STREET LIGHT (TYP.). CONTRACTOR TO AVOID DISTURBING F.H. THRUST BLOCK.
- MAINTAIN CLEAR & LEVEL WORKING SPACE AROUND PRIMARY SPICE BOXES & SPINDS PER PUE DOCUMENT 00112.
- COORDINATE TIE-IN WITH UTILITY COMPANY AS REQUIRED.
- RESPECTIVE UTILITY TO OBTAIN CITY OR COUNTY APPROVAL OF ALL ABOVE GROUND EQUIPMENT.
- HAND DIG TO EXPOSE ALL EXISTING FACILITIES.
- CALL USA TO FIELD VERIFY EXISTING TRENCH LOCATION(S).
- FIELD LOCATE JOINT TRENCH FACILITIES TO KEEP CLEAR OF SERVICE LATERALS. SERVICE LATERALS TO BE ROUTED TO AVOID SPICE BOX. (ADDITIONAL P.U.E. MAY BE REQUIRED.)

EXISTING PAVEMENT NOTE:

THE CONTRACTOR SHALL BE RESPONSIBLE TO REPLACE PAVEMENT AND/OR SIDEWALK WHERE REMOVED OR DAMAGED AS A RESULT OF ITS OPERATION (UNLESS OTHERWISE NOTED). REPLACEMENT OF PAVEMENT AND/OR SIDEWALK TO BE PER CITY SPECIFICATIONS.

NOTE:

- CALL USA TO FIELD VERIFY EXISTING TRENCH LOCATION(S).
- COORDINATE TIE IN WITH UTILITY COMPANY AS REQUIRED.
- HAND DIG TO EXPOSE ALL EXISTING FACILITIES.

CAUTION! ENERGIZED FACILITIES!

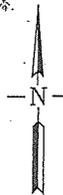
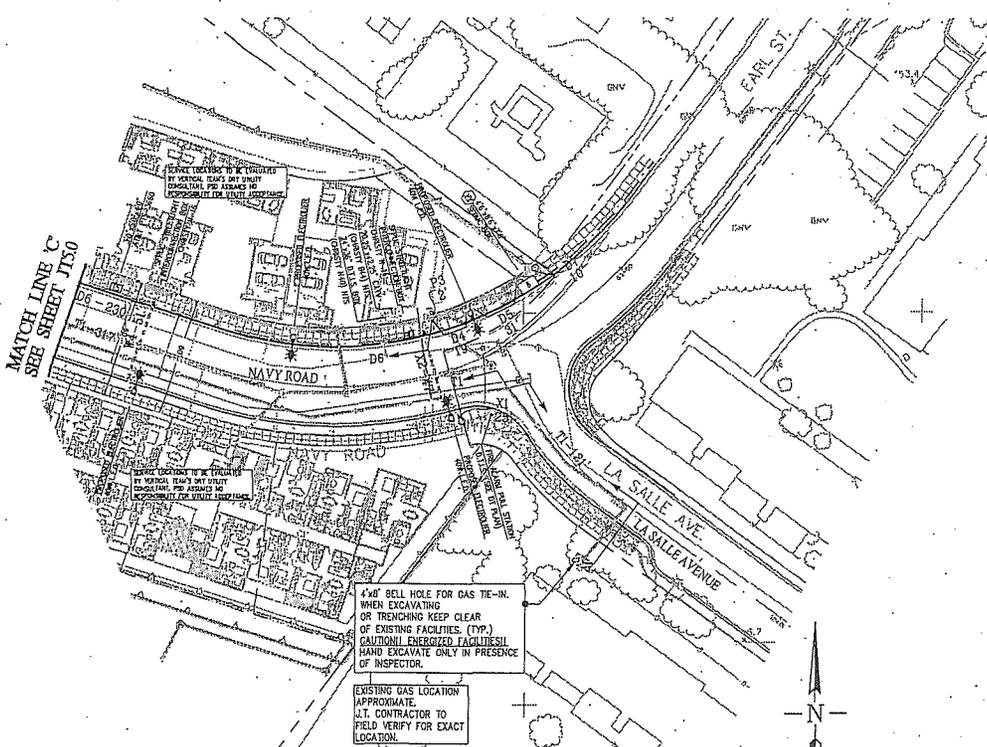
CONTRACTOR TO EXERCISE EXTREME CAUTION TO AVOID DAMAGING EXISTING UNDERGROUND UTILITIES. OBSTRUCTIONS INDICATED ARE FOR INFORMATION ONLY. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE LOCATION AND DEPTH WITH THE APPROPRIATE AGENCIES. NEITHER THE OWNER NOR THE DESIGNER ASSUME ANY RESPONSIBILITY THAT THE OBSTRUCTIONS INDICATED WILL ACTUALLY BE THE OBSTRUCTIONS ENCOUNTERED. POT-HOLING IS REQUIRED. HAND EXCAVATE ONLY IN PRESENCE OF UTILITY INSPECTOR.

R/W, P.U.E. & PUE ACQUISITION NOTE:

CONTRACTOR TO VERIFY RIGHT OF WAY, PUBLIC UTILITY EASEMENT AND/OR PUBLIC SERVICE EASEMENT ACQUISITION WITH THE APPLICANT PRIOR TO CONSTRUCTION WITHIN AREAS OF QUESTION.

NOTE:

ALL BOXES TO BE INSTALLED WITHIN THE R/W AND/OR PUE AREA.



NOT FOR CONSTRUCTION

NO.	DATE	DESCRIPTION	REVISED	CHECKED	APPROVED
1	11-30-12	COMPREHENSIVE HILLSIDE TB 19			

Professional Engineer Seal for **John D. Dwyer**, License No. 033348, CIVIL, State of California.

POWER SYSTEMS DESIGN
 2030 N. HAIN STREET, SUITE 200
 WALNUT CREEK, CA 94596
 TEL: 925-933-8455
 WWW.POWERSYSTEMSDSIGN.NET
 PLANNING • TRANSMISSION • DISTRIBUTION • SUBSTATION • DRY UTILITY DESIGN

LENNAR / BVHP
 49 STEVENSON STREET, SUITE 329
 SAN FRANCISCO, CALIFORNIA 94105

HUNTERS POINT SHIPYARD DEVELOPMENT PROJECT
 PARCEL A' INFRASTRUCTURE
 SCALE: 1"=30'
 SHEET: 6 OF 6
 DATE: 11-30-15
 DRAWING: JT6.0

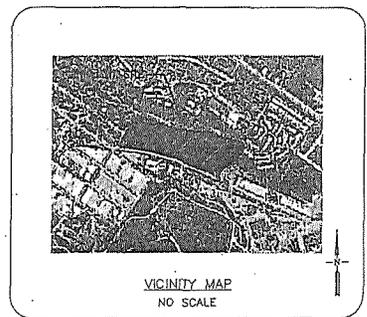
S.F.P.U.C. POWER - ELECTRIC

12KV UNDERGROUND SUBSTRUCTURE SYSTEM

BLOCK 48 - HILLSIDE PROJECT

GRIFFITH STREET AND CRISP ROAD

SAN FRANCISCO, CA



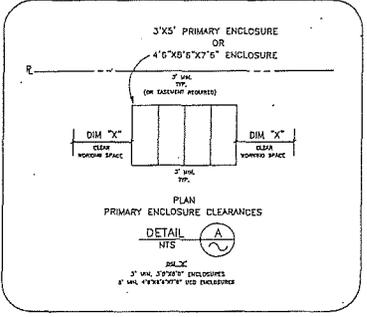
CONSTRUCTION DRAWING LEGEND	
(PROPOSED)	
— 0 —	CONDUIT (SCH. 40 PVC SIZE AND NUMBER AS INDICATED)
□	4'6"x6'6"x7'6" S.S. UCD 3/8 TRANSFORMER ENCLOSURE
□	4'0"x6'6"x6'0" S.S. HORIZ. 16 TRANSFORMER
□	4'0"x6'6"x6'0" PRIMARY SPLICE BOX (SWITCH ENCLOSURE)
□	17'X30'X26" SECONDARY BOX (ADJACENT TO TRANSFORMERS)
□	17'X30'X24" SECONDARY BOX (STREETLIGHT CONNECTION POINT)
⊕	PROPOSED L.E.D. STREET LIGHT (28.5' H/L, 6' ARM)
⊕	PROPOSED L.E.D. STREET LIGHT (22' H/L, 4' ARM)
⊕	PROPOSED L.E.D. PEDESTRIAN LIGHT (POST TOP 5'7")
—	DUCT LENGTH
∠	TOTAL DEGREES OF BENDS IN CONDUIT RUN (SEE NOTE 4)
(EXISTING)	
—	PRIMARY OVERHEAD DISTRIBUTION (3/8" SIZE AS SHOWN)
—	PRIMARY OVERHEAD DISTRIBUTION (1/8" SIZE AS SHOWN)
□	4'6"x6'6"x6'0" P PRIMARY SPLICE BOX
▷	OVERHEAD DISTRIBUTION TRANSFORMER
⊕	WOOD POLE

DRAWING LIST

E2.0	SINGLE LINE DIAGRAM	SHEET 2
E3.0	ELECTRIC KEY SKETCH	SHEET 3
E4.0	CONSTRUCTION DRAWING	SHEET 4
E5.0	CONSTRUCTION DRAWING	SHEET 5
E6.0	CONSTRUCTION DRAWING	SHEET 6

REFERENCES

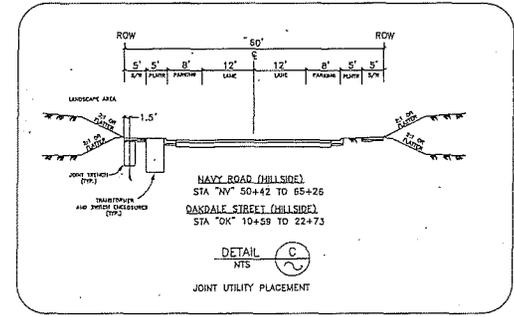
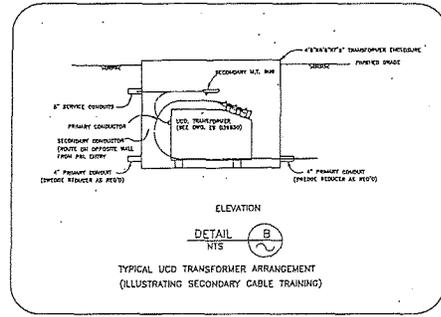
JOINT TRENCH UTILITY COMPOSITE DRAWING SET
 POWER ENTERPRISE SFPUC - ELECTRIC SERVICE GUIDELINES
 SFPUC 12KV DISTRIBUTION SUBSTRUCTURE MATERIAL SPECIFICATION
 PG&E UNDERGROUND CONSTRUCTION STANDARDS



1961

GENERAL NOTES

- APPLICANT CONTRACTOR TO PROVIDE ALL SUBSTRUCTURE WORK IN COMPLIANCE WITH THESE DRAWINGS, SFPUC SERVICE GUIDELINES, APPLICABLE PG&E STANDARDS FOR VAULT AND BOX INSTALLATIONS, AND DIRECTION OF SFPUC INSPECTOR. ALL ELECTRICAL EQUIPMENT, CABLES AND SPLICING SHALL BE SUPPLIED AND INSTALLED BY SFPUC POWER PERSONNEL. THESE DRAWINGS ARE SCHEMATIC IN NATURE. SEE JOINT TRENCH UTILITY COMPOSITE DRAWING SET FOR DETAILED TRENCH LOCATION, OCCUPANCY AND BOX LOCATIONS. SERVICE CONDUIT ARRANGEMENTS BY OTHERS, TRANSFORMER ENCLOSURES LOCATED BASED ON VERTICAL TEAM INPUT, AND ONE TRANSFORMER ENCLOSURE IS TYPICALLY PROVIDED FOR EACH BUILDING TO ACCOMMODATE LATE DEVELOPING LOAD GROWTH POTENTIAL. SERVICE CONDUIT ARRANGEMENTS ARE PER LATEST INFORMATION PROVIDED BY VERTICAL DEVELOPER. THE VERTICAL DEVELOPER SHALL ASSURE SERVICE CONDUIT ROUTING AND SWITCHGEAR LOCATIONS/CLEARANCES ARE COMPLIANT WITH SFPUC REQUIREMENTS, INCLUDING EUSERC STANDARDS.
- CITY PERMITS REQUIRED AND PROVIDED BY APPLICANT CONTRACTOR.
- RIGID CAP ALL SPARE OR FUTURE DIST. CONDUITS 5' BEYOND IMPROVEMENTS.
- CONDUIT INSTALLATION SHALL COMPLY WITH THE POWER ENTERPRISE SFPUC SERVICE GUIDELINES, PAGE 8 TABLE 2 (ACCOMPANYING MATERIAL SPECIFICATIONS). THIS TABLE DOCUMENTS LIMITATIONS ON ALLOWABLE BENDS AND ENCASEMENT REQUIREMENTS FOR CONDUIT BENDS IN CONDUIT RUNS. SCHEDULE 40 PVC CONDUIT IS ACCEPTABLE PER SFPUC ENGINEERING.
- SEE UTILITY COMPOSITE DRAWING FOR ACTUAL TRENCH AND SUBSTRUCTURE LOCATIONS, MECHANICAL PROTECTION AND RETAINING WALLS (IF REQUIRED).
- LOCATE ALL EXISTING UNDERGROUND FACILITIES BEFORE TRENCHING AND EXCAVATION. CALL USA AT 811 TWO DAYS BEFORE YOU DIG.
- PROVIDE CLEARANCES AND WORKING SPACE PER PG&E DWG. ES 051122. SEE DETAIL 'A' THIS SHEET.
- BNF ENGINEERS TO VERIFY ADEQUATE LAND RIGHTS EXIST FOR PROPOSED FACILITIES.
- CONTACT MR. WALT MELVILLE SFPUC INSPECTION DEPARTMENT AT (415) 554-2445 48 HOURS BEFORE COMMENCEMENT OF CONSTRUCTION. WORK NOT PROPERLY INSPECTED BY SFPUC WILL BE REJECTED.
- ALL SERVICE ENTRANCE FACILITIES SHALL CONFORM TO THE LATEST REVISION OF THE PG&E "GREENBOOK" SERVICE REQUIREMENTS (EUSERC STDS).
- DO NOT EXCEED 215 DEGREES OF BENDS IN ANY CONDUIT RUN (INCLUDING BEND AT THE FEED IN LOCATION). SEE NOTE 4.
- ACCOMPANYING MATERIAL SPECIFICATION QUANTITIES ARE ESTIMATED ONLY. CONTRACTOR IS RESPONSIBLE FOR ALL MATERIAL NECESSARY TO COMPLETE A FULLY OPERATIONAL SUBSTRUCTURE SYSTEM PER THESE DRAWINGS, SFPUC STANDARDS AND SFPUC ACCEPTANCE CRITERIA.
- DUE TO LIMITED INITIAL IMPROVEMENTS, THE APPLICANT WILL INSURE THAT ALL SUBSTRUCTURES INSTALLED ARE NOT DAMAGED, AND SHALL ASSUME RESPONSIBILITY FOR REPAIR OF SUCH FACILITIES SHOULD THEY BECOME DAMAGED, DURING SUBSEQUENT CONSTRUCTION.
- STREET LIGHTING NOT A PART OF THIS PLAN SET (SHOWN FOR REFERENCE).



WINTER PEAK LOADING
 INSUL. DIST. A
 12KV CORR.
 PSD# 14-031

NOT FOR CONSTRUCTION

NO.	DATE	DESCRIPTION	REVISED	CHECKED	APPROVED
1	11-30-15	COMPREHENSIVE HILLSIDE 1B 19			
REVISIONS					

DESIGNED BY JERRY JONES
CHECKED BY JERRY JONES
REVIEWED BY
APPROVED BY
DATE

POWER SYSTEMS DESIGN

2030 N. MAIN STREET, SUITE 200
 WALNUT CREEK, CA 94596
 TEL: 925-933-8483
 WWW.POWERSYSTEMSDESIGN.NET

PLANNING • TRANSMISSION • DISTRIBUTION • SUBSTATION • DRY UTILITY DESIGN

LENNAR / BVHP

49 STEVENSON STREET, SUITE 525
 SAN FRANCISCO, CALIFORNIA 94105

HUNTERS POINT SHIPYARD DEVELOPMENT PROJECT
 PARCEL A' INFRASTRUCTURE

S.F.P.U.C. 12KV UNDERGROUND DISTRIBUTION
 SUBSTRUCTURE SYSTEM

SCALE

1" = 10'

JOB NUMBER	DATE
14-031	11-30-15
SHEET	DRAWING
1	E1.0
5	

1962

LEGEND

- (PROPOSED)
- PRIMARY DISTRIBUTION CONDUIT (SIZE AND NUMBER AS SHOWN)
 - S.S. 200A 3-WAY SWITCH W/FUSED TAP (ENCLOSURE ONLY)
 - ⊙ S.S. DISTRIBUTION TRANSFORMER (ENCLOSURE ONLY)
- (EXISTING)
- PRIMARY OVERHEAD DISTRIBUTION (SIZE AS SHOWN)
 - PRIMARY UNDERGROUND DISTRIBUTION (SIZE AS SHOWN)
 - SPARE CONDUIT FOR FUTURE USE
 - PRIMARY FUSED RISER
 - PRIMARY OVERHEAD AIR SWITCH
 - PRIMARY SWITCHED RISER
 - OVERHEAD DISTRIBUTION TRANSFORMER
 - PRIMARY METER SET
 - S.S. 200A 3-WAY SWITCH
 - S.S. 200A 3-WAY SWITCH (ENCLOSURE ONLY)
 - S.S. 200A 4-WAY SWITCH
 - S.S. 200A 3-WAY SWITCH W/FUSED TAP
 - S.S. 200A 3-WAY SWITCH W/FUSED TAP (ENCLOSURE ONLY)
 - S.S. 200A LOADBREAK JUNCTION
 - S.S. 600A SEPARABLE SPLICE
 - S.S. DISTRIBUTION TRANSFORMER
 - S.S. DISTRIBUTION TRANSFORMER (ENCLOSURE ONLY)
 - EPR EPR-CONC-ENCAP-PE

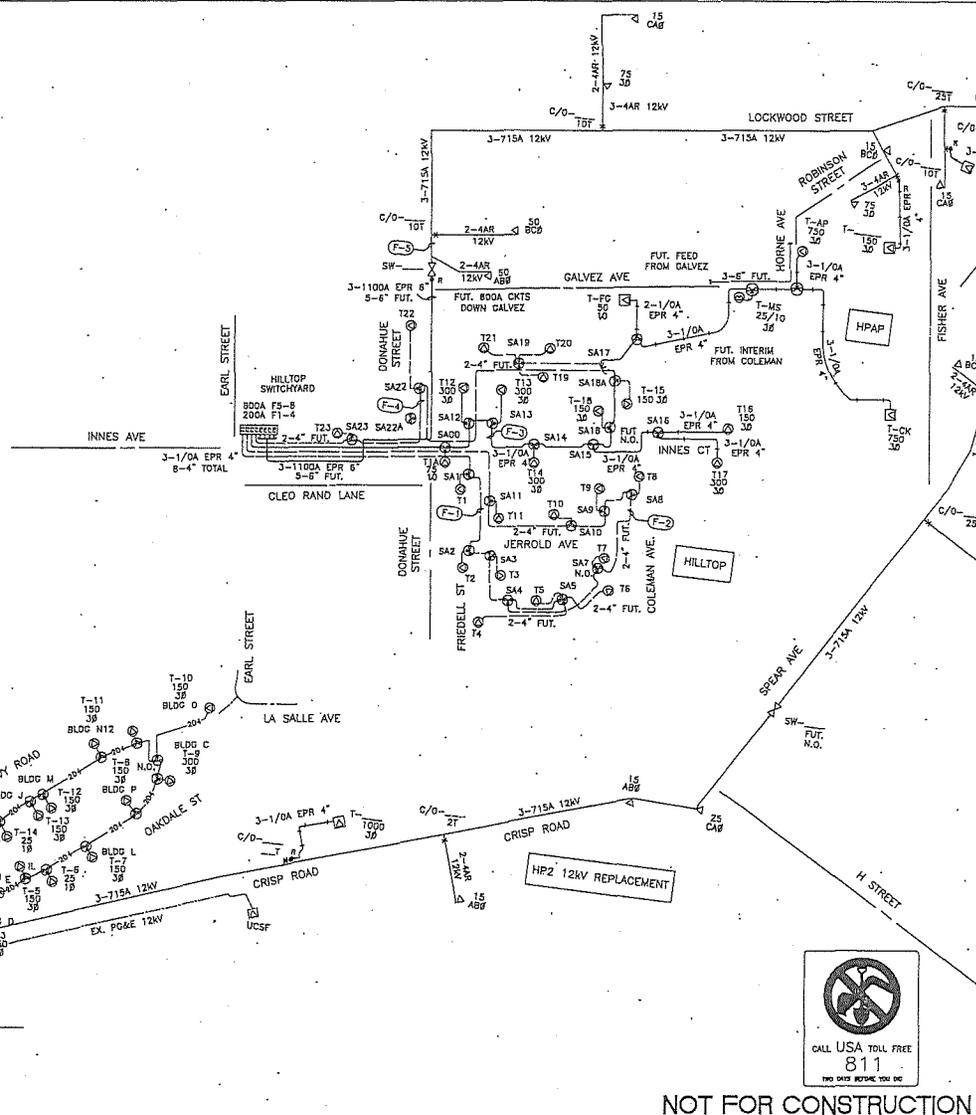
HILLSIDE PROJECT LOAD PROJECTION

12KV FDR NO.	T NO.	BLOCK	BLDG	N.P. (KVA)	DESIGN LOAD	RES UNITS	DATE NEEDED
F-1	T1	48	OCIB	150	117 KVA	39	TBD
	T2	48	OCBA	150	117 KVA	39	JAN 2017
	T3	48	D	150	36 KVA	12	JUN 2016
	T4	48	C	150	86 KVA	22	JAN/MAY 2017
	T5	48	I & L	150	90 KVA	30	JUN/MAY 2017
	T6	48	SL	25			
	T7	48	H & K	150	120 KVA	40	JUN/SEPT 2017
	T8	48	P	150	30 KVA	10	MAY 2017
	T9	48	C	300	117 KVA	39	JAN 2017
TOTAL F-1					893 KVA	241	
F-2	T10	48	O	150	33 KVA	11	MAR 2017
	T11	48	N1 & 2	150	88 KVA	26	MAR/MAY 2017
	T12	48	M	150	120 KVA	40	JUN 2017
	T13	48	J	150	120 KVA	40	SEPT 2017
	T14	48	SL	25			
	T15	48	F	150	120 KVA	40	MAY 2017
	T18	48	G	150	132 KVA	35	MAY 2017
	T17	48	B	150	132 KVA	44	AUG 2017
	T19	48	A	150	147 KVA	48	OCT 2017
TOTAL F-2					855 KVA	242	
TOTAL					1,558 KVA	483	

*OVERALL SYSTEM DIVERSITY NOT APPLIED

BASIS OF LOAD DEVELOPMENT

UNITS USE RESIDENTIAL UNIT DESIGN LOADS PER PG&E PLANNING DATA FOR APPROPRIATE CLIMATE ZONE AND DIVERSITY HOUSE LOADS AND SMALL ELECTRIC CHARGING COMPONENT INCLUDED



NOT FOR CONSTRUCTION

NO.	DATE	DESCRIPTION	REVISED	CHECKED	APPROVED
1	11-30-18	COMPREHENSIVE HILLSIDE @ 19			

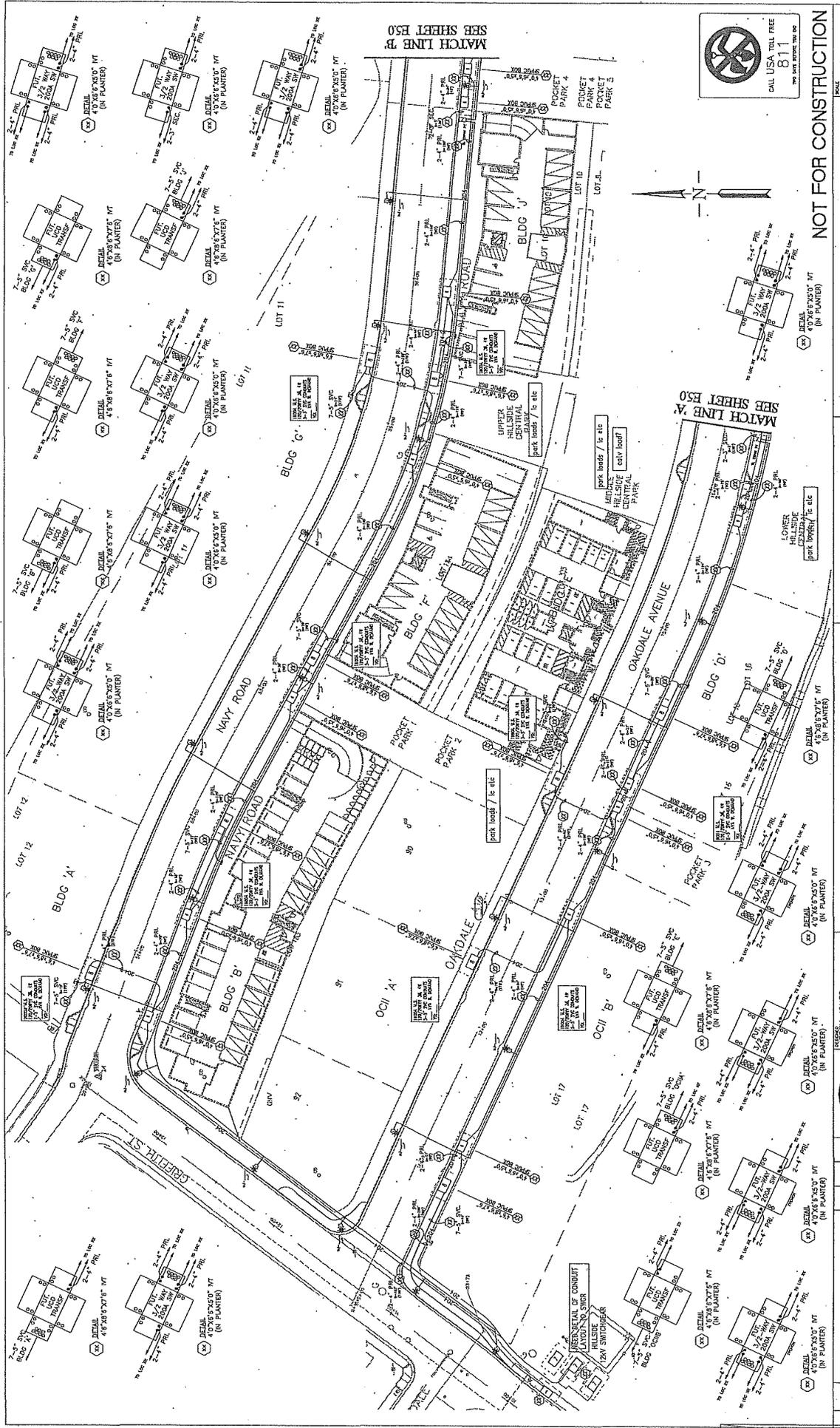
DESIGNED BY: JERRY JONES
 CHECKED BY: JERRY JONES
 REVISIONS: [Blank]
 APPROVED: [Blank]
 DATE: [Blank]

POWER SYSTEMS DESIGN
 2022 N. HAWK STREET, SUITE 200
 WALNUT CREEK, CA 94596
 TEL: 925-932-8445
 WWW.POWERSYSTEMSDSIGN.NET
 PLANNING • TRANSMISSION • DISTRIBUTION • SUBSTATION • DRY UTILITY DESIGN

LENNAR / BVHP
 49 STEVENSON STREET, SUITE 525
 SAN FRANCISCO, CALIFORNIA 94105

HUNTERS POINT SHIPYARD DEVELOPMENT PROJECT
 PARCEL A' INFRASTRUCTURE
 S.F.P.U.C. 12KV PRIMARY CIRCUIT MAP

NO.	DATE	DESCRIPTION
1	11-30-15	DATE
2		
6		



NOT FOR CONSTRUCTION

DATE	11-30-15
BY	JW
APP. NO.	4-031
PROJECT	PARCEL A' INFRASTRUCTURE
DATE	11-30-15
BY	JW
APP. NO.	4
PROJECT	S.F.P.U.C. 12KY UNDERGROUND DISTRIBUTION SUBSTRUCTURE SYSTEM
DATE	
BY	
APP. NO.	5
PROJECT	E4.0

HUNTERS POINT SHIPYARD DEVELOPMENT PROJECT
 PARCEL A' INFRASTRUCTURE

LENNAR / BVHP
 40 PERSIMON STREET, SUITE 505
 SAN FRANCISCO, CALIFORNIA 94105

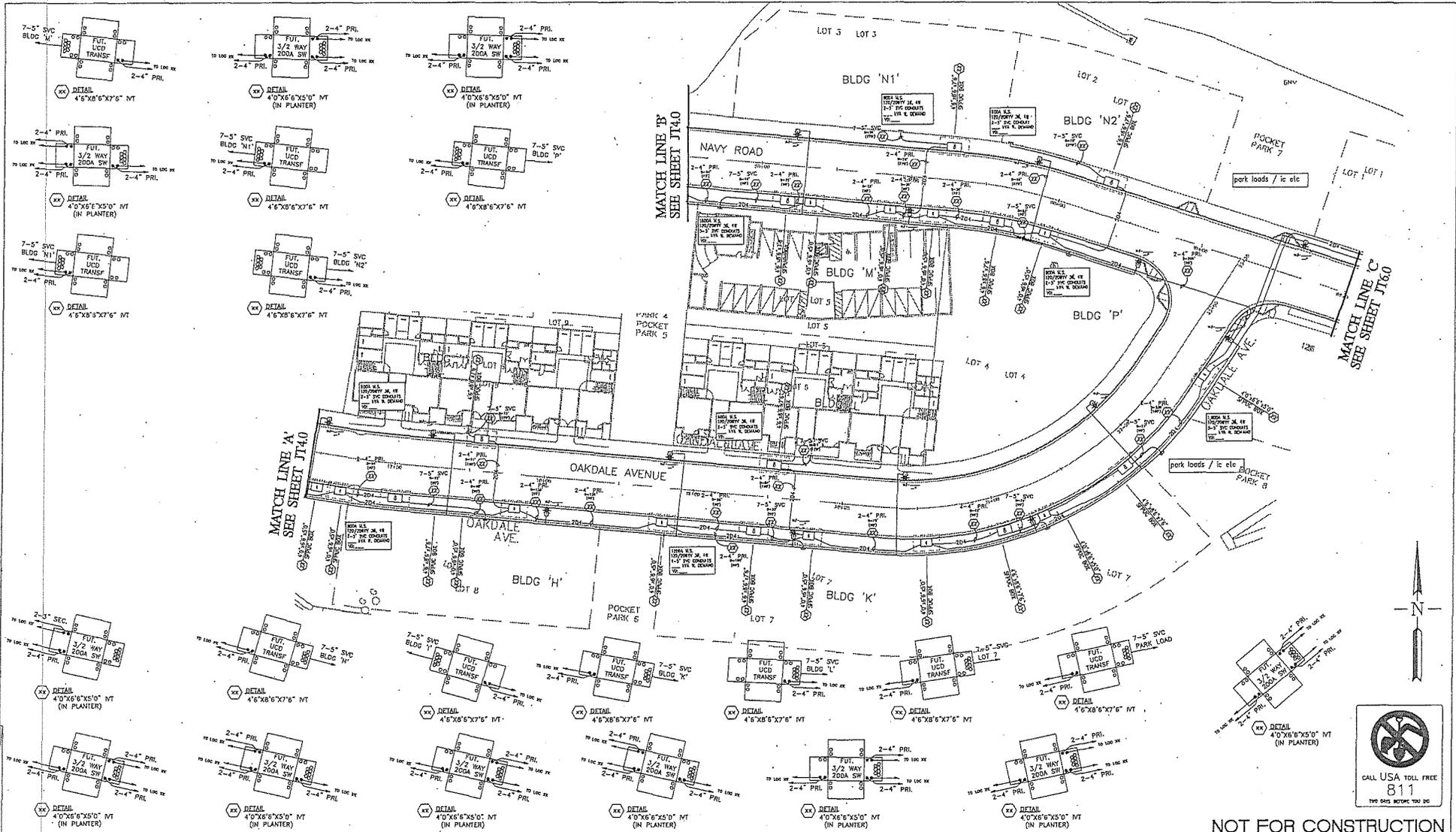
POWER SYSTEMS DESIGN
 200 N. VAN NEEB STREET, SUITE 200
 WALTON CREEK, CA 94597
 TEL: 925-234-1435
 WWW.POWERSYSTEMSDESIGN.COM
 PLANNING • TRANSMISSION • DISTRIBUTION • SUBSTATION • RAY DRUITT DESIGN

DESIGNED	MERRYL JONES
DRAWN	MERRYL JONES
CHECKED	MERRYL JONES
APPROVED	MERRYL JONES
DATE	



NO.	DATE	DESCRIPTION
1	11-30-15	COMPREHENSIVE RELEASE # 19
2		
3		
4		
5		
6		
7		
8		
9		
10		

1965



NOT FOR CONSTRUCTION

NO.	DATE	DESCRIPTION	REVISIONS
1-10-12		COMPREHENSIVE HILLSIDE 1B 19	



DESIGNED	JERRY JONES
CHECKED	JERRY JONES
REVIEWED	BOB BELLAS
APPROVED	
DATE	



2033 H. HAHN STREET, SUITE 200
WALNUT CREEK, CA 94596
TEL: 925-933-8485
WWW.POWERSYSTEMSDESIGN.NET

PLANNING • TRANSMISSION • DISTRIBUTION • SUBSTATION • DRY UTILITY DESIGN

LENNAR / BVHP
46 STEVENSON STREET, SUITE 325
SAN FRANCISCO, CALIFORNIA 94105

HUNTERS POINT SHIPYARD DEVELOPMENT PROJECT		SCALE	1"=30'
PARCEL A' INFRASTRUCTURE		DWG NUMBER	14-031
S.F.P.U.C. 12KV UNDERGROUND DISTRIBUTION SUBSTRUCTURE SYSTEM		DATE	11-30-15
		SHEET	5
		DRAWING	E5.0
		DATE	

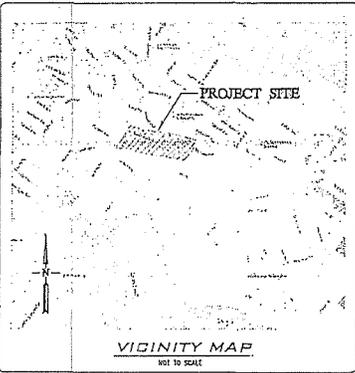
STREET LIGHTING PLAN SET

HILLSIDE PROJECT

SAN FRANCISCO, CA

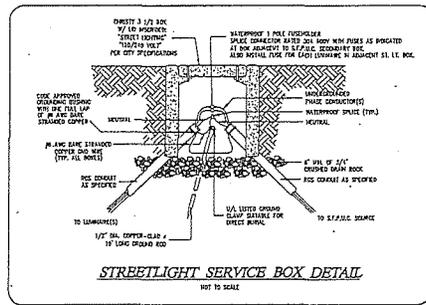
DRAWING LIST

SL-2	STREET GENERAL NOTES AND DETAILS	SHEET 2
SL-3	CONSTRUCTION DRAWING	SHEET 3
SL-4	CONSTRUCTION DRAWING	SHEET 4



LEGEND

400	PROPOSED LED, STREET LIGHT (400)
1/2"	STREET LIGHT CONDUIT
(2W)	2-WIRE THW BODY (SEE NOTE 7)
(3W)	3-WIRE THW BODY (SEE NOTE 7)
(3W/G)	2-WIRE W/GROUND (IF RECD) THW BODY (SEE NOTE 7)
12345	POLE NUMBER
□	PROPOSED STREET LIGHT SPLICE BOX (CHRISTY N-16)
△	DESIGNATES FUSE SIZE
□	EXISTING 17" x 36" S.F.P.U.C. SPLICE BOX (UTILITY CONNECTION POINT)
□	EXISTING 24" x 36" S.F.P.U.C. SPLICE BOX (UTILITY CONNECTION POINT)



REFERENCES

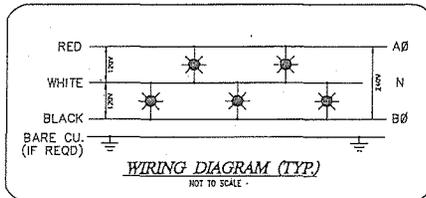
JOINT TRENCH DRY UTILITY COMPOSITE DRAWING SET
 POWER ENTERPRISE SFPUC - ELECTRIC CONSTRUCTION DRAWING SET
 DPW-ENGINEERING STANDARD SPECIFICATIONS - PART 8 ELECTRICAL WORK
 DPW-ENGINEERING STANDARD PLANS

87.201 PRECAST PULL BOX, COVERS AND LID
 87.203 STREETLIGHT SERVICE AND CIRCUIT REQUIREMENTS
 87.204 SPLICING DETAIL
 87.212 SINGLE OR TWIN MEMBER STREET LIGHT ON STEEL SHAFT WITH ELLIPTICAL BRACKET ARM

MANUFACTURER RECOMMENDED FUSE SIZES (SEE SFPUC STANDARD SPECIFICATIONS)

LED LUMINAIRE WATTAGE	LED LUMINAIRE 100% OUTPUT	200% BLP FUSE RATING
40	40	1.0 AMP
57	57	1.5 AMP
100	100	2.5 AMP

FUSES BULK, 30A ALC.



CITY OF SAN FRANCISCO

APPROVED BY: _____ DATE: _____
 CITY ENGINEER RCE NO: _____ EXP DATE: _____

LABOR AND CONSTRUCTION RESPONSIBILITY

STREET LIGHTING SYSTEM

SFPUC RATE SCHEDULE: _____ YES (REQ. BY CITY OF SF)
 INSTALL IN JOINT TRENCH: _____ YES (REQ. BY CITY OF SF)
 INSTALL IN SEPARATE TRENCH: _____ SEE JOINT TRENCH PLAN

WIRE:	_____	_____
SUPPLY:	_____	_____
INSTALL:	_____	_____
CONDUIT:	_____	_____
SUPPLY:	_____	_____
INSTALL:	_____	_____
BASES:	_____	_____
LUMINAIRES:	_____	_____
SPLICE BOX:	_____	_____
POLES:	_____	_____

ADDITIONAL NOTES:
 -STREET LIGHT LOCATIONS TO BE APPROVED BY CITY OF SAN FRANCISCO.
 -SEE JOINT TRENCH COMPOSITE FOR TRENCH LOCATION

NOTE:

A.) CALL USA TO FIELD VERIFY EXISTING TRENCH LOCATION(S).
 B.) COORDINATE THE IN WITH UTILITY COMPANY AS REQUIRED.
 C.) HAND DIG TO EXPOSE ALL EXISTING FACILITIES.

NOTE:

ALL BOXES TO BE INSTALLED WITHIN THE R/W AND/OR PUE AREA.

STREET LIGHT GENERAL NOTES

- WORK IN THE CITY OF SAN FRANCISCO RIGHT OF WAY SHALL NOT BE CONDUCTED UNLESS A CITY REPRESENTATIVE IS PRESENT TO INSPECT THE WORK.
- STREETLIGHT LOCATIONS, PHOTOMETRICS/LIGHT LEVELS SPECIFIED AND APPROVED BY OTHERS. PSD NOT RESPONSIBLE FOR LIGHTING UNIT SPACING, OR LIABLE FOR ANY INEFFICIENCIES OR DEFICIENCIES OF THE AFOREMENTIONED LAYOUT.
- PER SFPUC STANDARD 87.212: FOR SHAFTS OF 25 FOOT OR LESS IN LENGTH, THE BOLT CIRCLE SHALL BE 10" UNLESS OTHERWISE NOTED. FOR SHAFTS MORE THAN 25 FOOT IN LENGTH, THE BOLT CIRCLE DIAMETER SHALL BE 11". POST TOP ELECTROLYERS MAY REQUIRE SMALLER BOLT CIRCLE. CHECK WITH POLE MANUFACTURER.

STREET LIGHT GENERAL NOTES

- ALL MATERIAL & WORKMANSHIP SHALL COMPLY WITH THE LATEST VERSION OF THE NATIONAL ELECTRICAL CODE, AND ANY OTHER LOCAL ORDINANCES, OR AUTHORITY HAVING JURISDICTION (CITY OF SAN FRANCISCO), WHERE THERE IS A CONFLICT, THE MORE RESTRICTIVE SHALL APPLY.
- THE ELECTRICAL CONTRACTOR SHALL INSTALL THE UNDERGROUND SERVICE FROM THE LUMINAIRE TO S.F.P.U.C. SERVICE POINT AND TERMINATE CONDUIT AND WIRES AT S.F.P.U.C. BOX AS DIRECTED BY S.F.P.U.C. AND THIS PLAN SET.
- KEEP STREET LIGHTS A MINIMUM OF 5' AWAY FROM CURB RETURNS, 10' AWAY FROM SEWER AND WATER LATERALS, AND FROM FIRE HYDRANTS AND CATCH BASINS. (PER CITY OF SAN FRANCISCO)
- TWO OR MORE STREET LIGHTS ON THE SAME CIRCUIT SHALL BE WHERD TO BALANCE THE LOAD AS INDICATED IN THIS PLAN SET. (SEE WIRING DIAGRAM)
- CONDUIT AND FITTINGS:** ALL CONDUIT SHALL BE U.L. LISTED 1 1/2-INCH HOT DIP GALVANIZED STEEL AS INDICATED IN SECTION 601 OF CITY OF SAN FRANCISCO STANDARD SPECIFICATIONS. ALL METAL FITTINGS SHALL BE HOT DIP GALVANIZED AND U.L. LISTED FOR USE. THE CONDUIT SHALL BE CONTINUOUSLY GROUNDED AND BONDED PER THE LATEST VERSION OF THE N.E.C. ALL THREADS SHALL HAVE FACTORY HOT DIP GALVANIZING OR APPLICATION OF THREAD PROTECTION COMPOUND. CONDUIT BENDS AND OFFSETS SHALL BE MADE USING LISTED CONDUIT BENDERS OR FACTORY-MADE BENDS. TOTAL NUMBER OF BENDS IN ONE RUN SHALL NOT EXCEED 360 DEGREES. CONDUIT ENDS SHALL BE SEALED WITH A BLP APPVD SEAL OR COMPOUND. MINIMUM RADIUS BENDS SHALL BE 18". PROVIDE A 1/4 IN. POLYPROPYLENE PULL ROPE IN ALL EMPTY CONDUITS. ALL CROSSINGS TO BE PERPENDICULAR TO STREET.
- CONDUIT DEPTH:** 18" UNDER SIDEWALK; 24" IN PLANTER STRIP; 36" WITHIN ROADWAY AREA.
- WIRING & CABLE:** FIELD CABLE SHALL BE #8 AWG OR LARGER, 7 STRAND S.O. CU. PULL BOX TO STREET LIGHT WIRE AND INTERNAL POLE WIRE SHALL BE #10 AWG MIN. SOLID CU. BARE CU. GROUND WIRE AND FOR GND SHALL BE #8 AWG MIN. ALL INSULATED CABLE/WIRE SHALL BE UL LISTED BODY, TYPE THW IN COMPLIANCE WITH CITY OF SAN FRANCISCO STANDARD SPECIFICATION 600.
- SPLICE BOXES:** SPLICE BOXES SHALL BE CONCRETE CHRISTY N-16. LIDS TO BE INSCRIBED- FIRST LINE: STREET LIGHTING; SECOND LINE: 120/240 VOLT. SPLICE BOXES SHALL NOT BE MORE THAN 250 FEET APART. A PULL BOX SHALL BE INSTALLED AT EACH ELECTROLYER. REFER TO DPW STD. PL. 87.204.
- FUSES:** WATERPROOF IN-LINE FUSE HOLDERS SHALL BE INSTALLED PER DPW STD PLAN 87.203; THE USE OF INSULATING BOOT ON EACH FUSE HOLDER IS NOT ALLOWED FOR SERVICE CONNECTION. INSTALLED CONNECTIONS SHALL BE WRAPPED WITH A MINIMUM OF FOUR HALF-LAPPED LAYERS OF RUBBER OR RUBBER MASTIC TAPE. OVERLAP WITH AT LEAST TWO-HALF LAPPED LAYERS OF SCOTCHKOTE 33+ VINYL OR APPROVED PREMIUM TAPE. AFTER TAPPING SPLICES APPLY SCOTCHKOTE ELECTRICAL COATING EVENLY OVER SPLICES OR AS RECOMMENDED BY THE MANUFACTURER.
- SPlicing:** ALL SPLICES SHALL BE MADE IN HAND HOLES OR SPLICE BOXES ONLY. SPLICES SHALL BE COMPRESSION TYPE MADE IN COMPLIANCE WITH DPW STANDARD PLAN 87.204.
- POLE NUMBERS:** POLE NUMBERS ASSIGNED BY PUC-BLUP. SUPPLY AND INSTALL DECALS TO POLES AS SHOWN ON BLP# STANDARD DRAWING 1277A REVISION A. DECALS SHALL BE PRESSURE SENSITIVE AND HAVE A REFLECTORIZED YELLOW COLORED NUMBER THAT IS 2 1/2 INCH HIGH ON A BLACK BACKGROUND. THE OVERALL DECAL DIMENSION SHALL BE 1 3/4 INCHES WIDE X 2 7/8 INCHES HIGH. THE DECALS SHALL BE MANUFACTURED BY PANDUIT, PART NO. PSL207B OR APPROVED EQUAL. THE DECALS SHALL NOT BE INSTALLED IN THREATENING OR INCONVENIENT WEATHER.
- TRENCH:** CONDUIT TO BE INSTALLED IN JOINT TRENCH PER CITY. THE CONDUIT LAYOUT IS SHOWN SCHEMATICALLY. SEE CONSTRUCTION DRAWING AND STREET LIGHTING TRENCH PLAN FOR STREET LIGHT TRENCH LOCATION. ANY INCIDENTAL TRENCHING NOT SHOWN ON PLANS IS THE CONTRACTOR'S RESPONSIBILITY.
- THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY FIELD CHANGES MADE WITHOUT FIRST NOTIFYING PSD.
- PSD ASSUMES NO RESPONSIBILITY FOR ANY VARIANCE BETWEEN THESE PLANS AND THE ACTUAL FIELD CONDITIONS. CONTRACTOR SHOULD REVIEW PROJECT SITE PRIOR TO SUBMITTING ITS BID.
- CONTRACTOR TO CONSULT WITH LOCAL AGENCIES FOR THEIR CIRCUIT GROUNDING REQUIREMENTS. GROUND WIRE IS REQUIRED IN CONDUIT, INSTALL ACCORDINGLY.
- LEGEND SYMBOLS ARE SHOWN SCHEMATICALLY FOR CLARITY. INSTALL BEHIND CURB AND/OR SIDEWALK PER CITY SPECIFICATIONS KEEP CLEAR OF DRIVEWAYS AND PATHWAYS (TYPICAL).
- STREET LIGHTS SHALL BE LOCATED AS NOTED ON THESE PLANS
- ANY CHANGES OR MODIFICATIONS TO PROPOSED STREET LIGHT LOCATIONS SHALL BE APPROVED, IN WRITING, BY THE CITY PRIOR TO INSTALLATION.
- BACKFILL AND COMPACTION REQUIREMENTS SHALL MEET CITY SPECIFICATIONS.
- CONTRACTOR RESPONSIBLE FOR NOTIFYING FINISHED LAB FOR COMPACTION AND CONCRETE TESTS.
- SET ALL STREET LIGHTS TO ULTIMATE FINISHED GRADE. CONSULT WITH CITY FOR PROPER PHYSICAL PROTECTION AND/OR SIGNING AND STRIPING ADJACENT TO ANY STREET LIGHTS INSTALLED IN THEIR ULTIMATE LOCATIONS THAT ARE NOT PROTECTED BY A VERTICAL CURB, BERM AND COMPACT EARTH TO FINISHED GRADE A MINIMUM OF 5' AROUND STREET LIGHT BASES AT THESE LOCATIONS.

NOT FOR CONSTRUCTION

1967

NO.	DATE	DESCRIPTION	REVISION	CHECKED	APPROVED
1	1-30-15	COMPREHENSIVE HILLSIDE @ 19			

DESIGNED BY	AUSTIN BALL
CHECKED BY	AUSTIN BALL
DATE	10/29/15
APPROVED BY	[Signature]
DATE	10/29/15

POWER SYSTEMS DESIGN

2033 N. MAIN STREET, SUITE 200
 WAINWIT CREEK, CA 94596
 TEL: 925-933-8465
 WWW.POWERSYSTEMSDESIGN.NET

PLANNING • TRANSMISSION • DISTRIBUTION • SUBSTATION • DRY UTILITY DESIGN

LENNAR / BVHP

49 STEVENSON STREET, SUITE 525
 SAN FRANCISCO, CALIFORNIA 94105

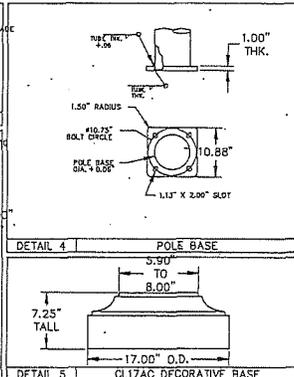
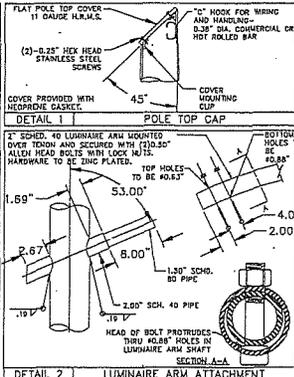
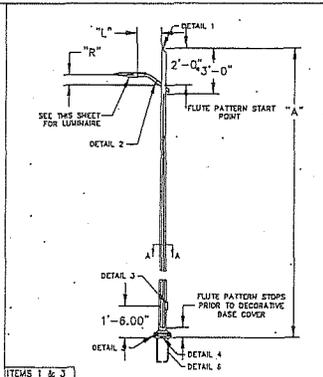
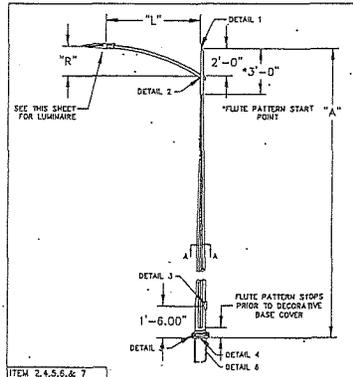
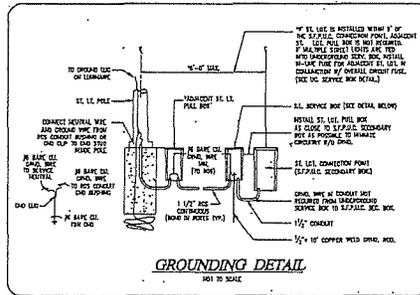
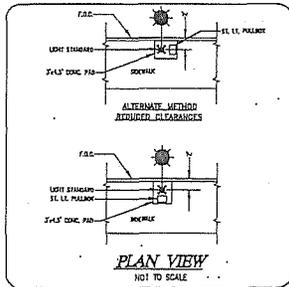
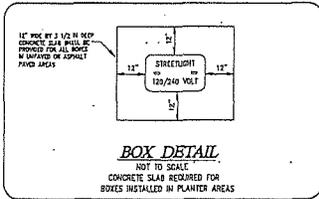
HUNTERS POINT SHIPYARD DEVELOPMENT PROJECT

PARCEL A' INFRASTRUCTURE

STREET LIGHTING GENERAL NOTES AND DETAILS

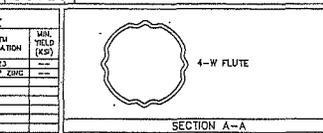
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JOB NUMBER	14-031
DATE	11-30-15
SHEET	1
DRAWING	SL-1

1968



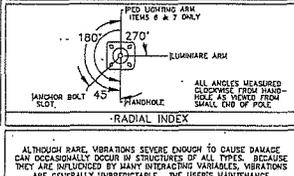
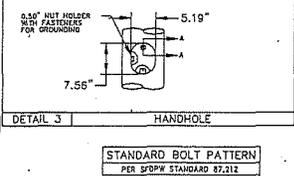
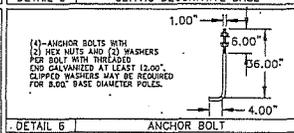
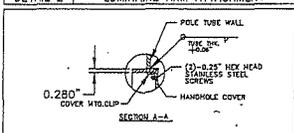
ITEM 2, 4, 5, 6, & 7

COMPONENT	ASTM DESIGNATION	WALL THICK (IN)	COMPONENT	ASTM DESIGNATION	WALL THICK (IN)
TAPERED SHAFTS	A563 GRA. A18	3/8	GALVANIZING STRUCTURE HARDWARE COATING	A123	---
BASE PLATE	A36	3/8	HOT DIP ZINC	---	---
LUMINAIRE ARM SHAFTS	A563 GRA. A18	3/8			
ANCHOR BOLTS	F1554 GR. 55	3/4			
NUTS	A563 GRA. A18	3/4			
WASHERS	F433	---			



POLE AND LUMINAIRE ARM DATA

ITEM	QTY.	PRODUCT DESCRIPTION	POLE SHAFT			LUMINAIRE ARM				
			BASE DIA. (IN)	TOP DIA. (IN)	LENGTH (FT)	GAUGE OR THICK. (IN)	LUMINAIRE ARM SPAN (FT)	RISE HEIGHT (FT)	PIPE DIA. (IN)	WALL THICK. (IN)
1	1	FLUTE-TAPERED-4-W-FLUTE-4-W-CLTAC-A18	7.00	3.92	25.00	0.118	4.00	2.00	2.33	0.154
2	1	FLUTE-TAPERED-4-W-FLUTE-4-W-CLTAC-A18	7.00	3.92	25.00	0.118	4.00	2.00	2.33	0.154
3	1	FLUTE-TAPERED-4-W-FLUTE-4-W-CLTAC-A18	7.00	3.92	25.00	0.118	4.00	2.00	2.33	0.154
4	1	FLUTE-TAPERED-4-W-FLUTE-4-W-CLTAC-A18	7.00	3.92	25.00	0.118	4.00	2.00	2.33	0.154
5	1	FLUTE-TAPERED-4-W-FLUTE-4-W-CLTAC-A18	7.00	3.92	25.00	0.118	4.00	2.00	2.33	0.154
6	1	FLUTE-TAPERED-4-W-FLUTE-4-W-CLTAC-A18	7.00	3.92	25.00	0.118	4.00	2.00	2.33	0.154
7	1	FLUTE-TAPERED-4-W-FLUTE-4-W-CLTAC-A18	7.00	3.92	25.00	0.118	4.00	2.00	2.33	0.154



F 04/22/13 CMZ 08/23/13 ADDOR LEFT FOR LIGHTING ARM.
 E JTF 03/02/12 JTF 03/02/12 REVISED DET2 TO A 3-BOLT CONNECTION
 D CMH 09/06/11 CMH 09/06/11 TECH LINES NOW POLE & ARMS FOR ORDERING
 JSS 08/18/10 CMH 08/18/10



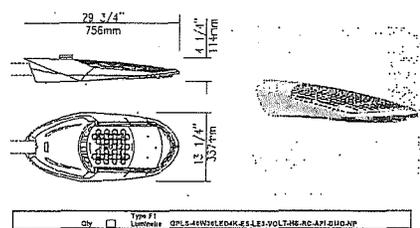
CONCEPT B DESIGN
 AREA LIGHTING STRUCTURES
 CITY OF SAN FRANCISCO

STANDARD BOLT PATTERN PER SFWP STANDARD 87.212

SHAFT LENGTH	BOLT CIRCLE
48"	10"
28"	11"

NOTE: POST TOP ELECTRODES MAY REQUIRE SMALLER BOLT CIRCLE. CHECK WITH POLE MANUFACTURER.

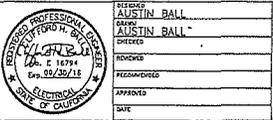
VIBRATION DISCLAIMER
 DBO0945



NOT FOR CONSTRUCTION

NO.	DATE	DESCRIPTION	REVISED	CHECKED	APPROVED
1	11-30-14	COMPREHENSIVE HILLSIDE 1B 19			

REVISIONS



POWER SYSTEMS DESIGN
 2033 N. MAIN STREET, SUITE 200
 WALNUT CREEK, CA 94596
 TEL: 925-933-8485
 WWW.POWERSYSTEMSDESIGN.NET

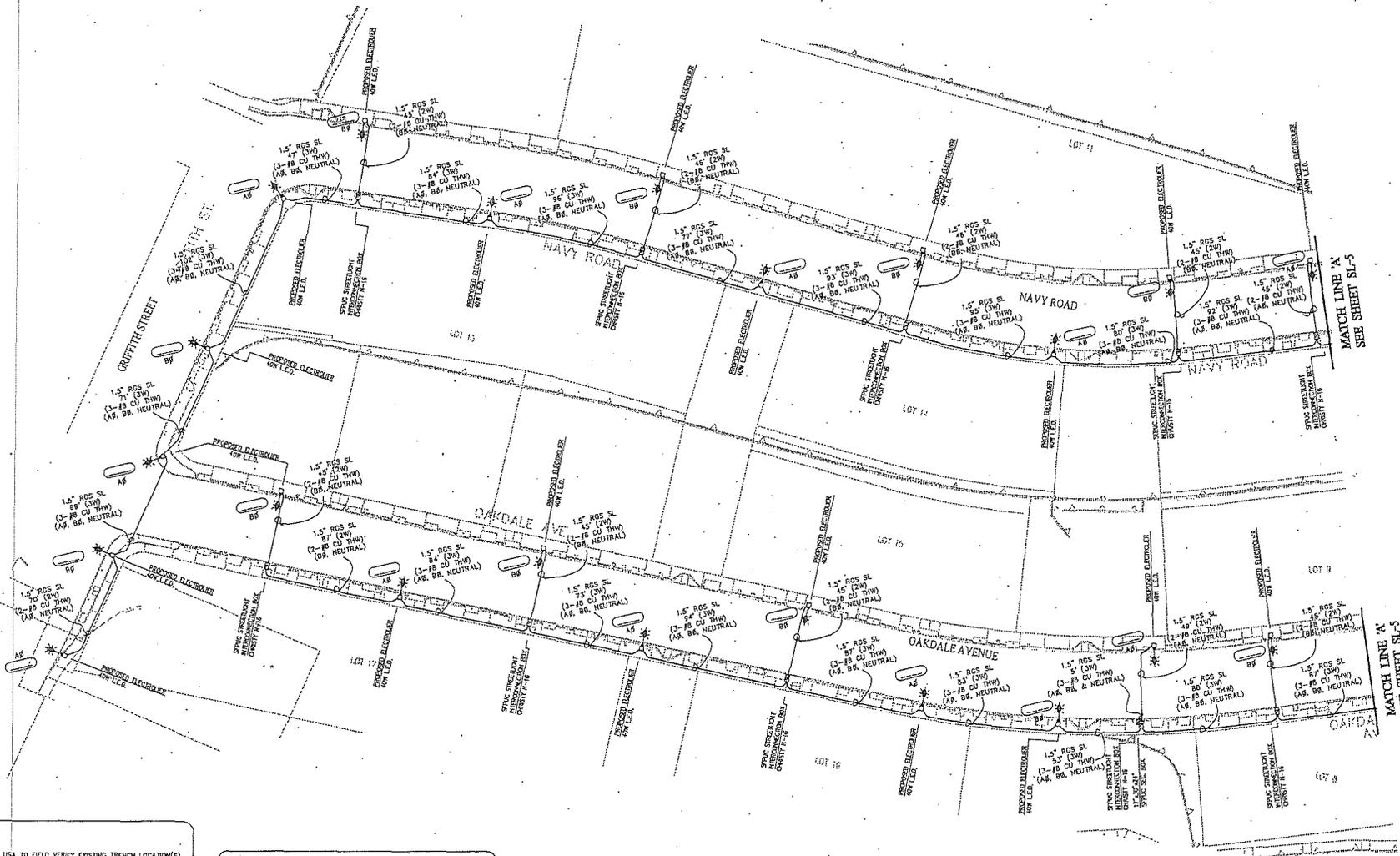
PLANNING • TRANSMISSION • DISTRIBUTION • SUBSTATION • DRY UTILITY DESIGN

LENNAR / BVHP
 49 STEVENSON STREET, SUITE 525
 SAN FRANCISCO, CALIFORNIA 94105

HUNTERS POINT SHIPYARD DEVELOPMENT PROJECT		PARCEL A' INFRASTRUCTURE
NO. 14-031	DATE 11-30-15	
SHEET 2	DATE	
4		SL-2

STREET LIGHTING GENERAL NOTES AND DETAILS

1969



NOTES:

- A.) CALL USA TO FIELD VERIFY EXISTING TRENCH LOCATIONS(S).
- B.) COORDINATE TIE IN WITH UTILITY COMPANIES AS REQUIRED.
- C.) HAND DIG TO EXPOSE ALL EXISTING FACILITIES.

NOTE:

CALL U.S.A. (2) FULL WORKING DAYS PRIOR TO STARTING WORK. IF EXISTING UTILITIES CONFLICT WITH POLE LOCATION, FIELD ADJUST TO CLEAR EXISTING UTILITIES AS REQUIRED.

NOTE:

CONDUIT SHOWN SCHEMATICALLY. REFER TO JOINT TRENCH COMPOSITE PLAN FOR EXACT TRENCH LOCATION AND DEPTH REQUIREMENTS.

NOTE:

ALL BOXES TO BE INSTALLED WITHIN THE R/W AND/OR PUE AREA.

NOT FOR CONSTRUCTION

NO.	DATE	DESCRIPTION	REVISED	CHECKED	APPROVED
1	11-30-15	COMPREHENSIVE HILLSIDE 1B 19			

DESIGNED BY
AUSTIN BALL

CHECKED BY
AUSTIN BALL

REVIEWED BY
[Signature]

APPROVED BY
[Signature]

DATE

POWER SYSTEMS DESIGN

2032 N. MAIN STREET, SUITE 200
WALNUT CREEK, CA 94596
TEL 925-933-8485
WWW.POWERSYSTEMSDESIGN.NET

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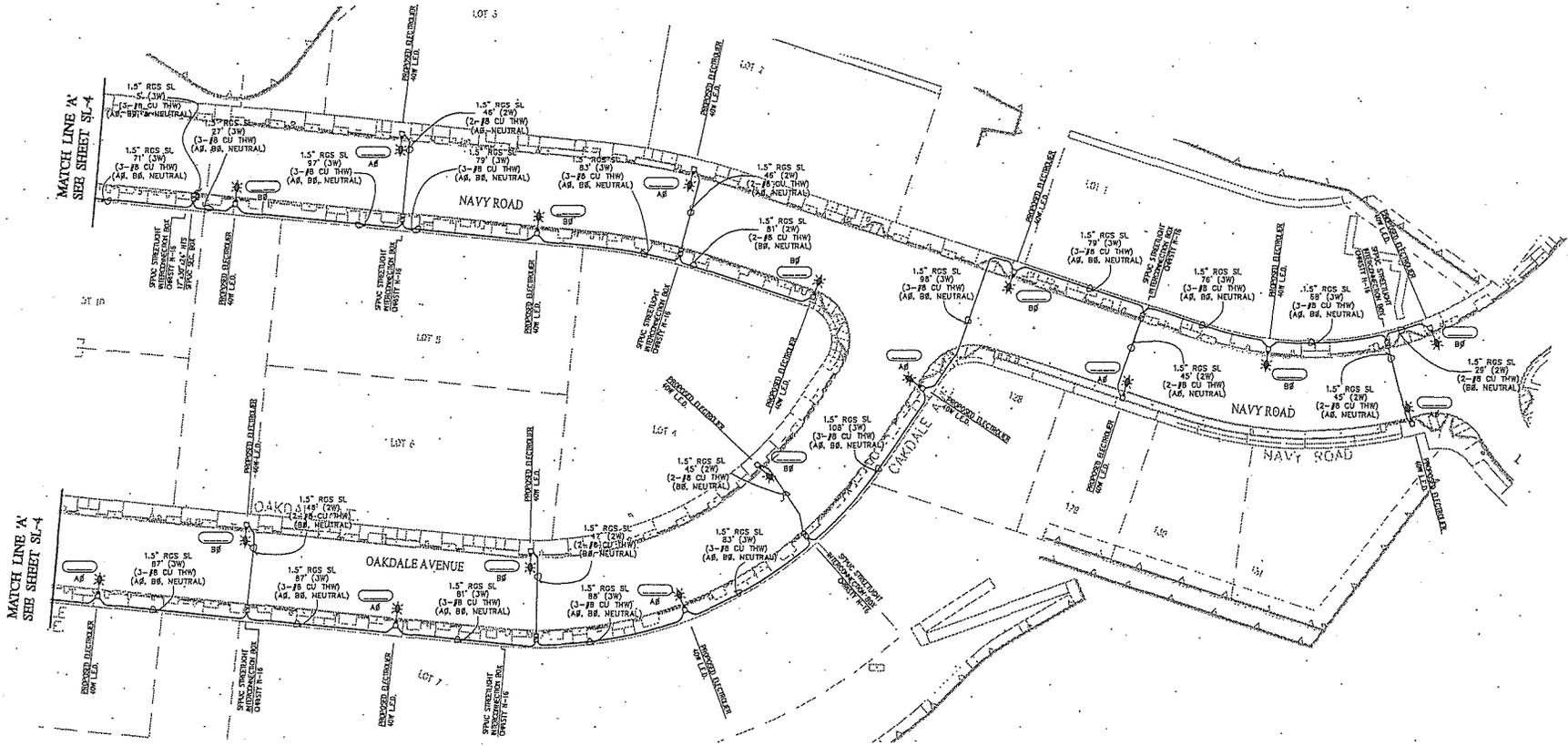
49 STEVENSON STREET, SUITE 525
SAN FRANCISCO, CALIFORNIA 94105

HUNTERS POINT SHIPYARD DEVELOPMENT PROJECT
PARCEL A' INFRASTRUCTURE

STREET LIGHTING PLAN

SCALE	1" = 30'
JOB NUMBER	14-031
DATE	11-30-15
SHEET	3
DRAWING	
DATE	
PROJECT	SL-3

1970



NOTES:

- A.) CALL USA TO FIELD VERIFY EXISTING TRENCH LOCATIONS.
- B.) COORDINATE TIE IN WITH UTILITY COMPANY AS REQUIRED.
- C.) HAND DIG TO EXPOSE ALL EXISTING FACILITIES.

NOTE:

CALL U.S.A. (2) FULL WORKING DAYS PRIOR TO STARTING WORK. IF EXISTING UTILITIES CONFLICT WITH POLE LOCATION, FIELD ADJUST TO CLEAR EXISTING UTILITIES AS REQUIRED.

NOTE:

CONDUIT SHOWN SCHEMATICALLY. REFER TO JOINT TRENCH COMPOSITE PLAN FOR EXACT TRENCH LOCATION AND DEPTH REQUIREMENTS.

NOTE:

ALL BOXES TO BE INSTALLED WITHIN THE R/W AND/OR PUE AREA.



NOT FOR CONSTRUCTION

NO.	DATE	DESCRIPTION	DESIGNED	CHECKED	APPROVED
1	11-30-15	COMPREHENSIVE, HILLSIDE IS 19			
REVISIONS					



DESIGNED	AUSTIN BALL
CHECKED	AUSTIN BALL
PERFORMED	
RECORDED	
APPROVED	
DATE	



POWER SYSTEMS DESIGN

2030 N. MAIN STREET, SUITE 200
WALNUT CREEK, CA 94596
TEL: 925-933-8485
WWW.POWERSYSTEMSDSIGN.NET

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LENNAR / BVHP

49 STEVENSON STREET, SUITE 525
SAN FRANCISCO, CALIFORNIA 94105

HUNTERS POINT SHIPYARD DEVELOPMENT PROJECT

PARCEL 'A' INFRASTRUCTURE

STREET LIGHTING PLAN

SCALE	1" = 30'
JOB NUMBER	14-031
DATE	11-30-15
SHEET	4
OF	4
PROJECT	SL-4

**D.T. SUBSTRUCTURE PLAN
HUNTERS POINT
HILLSIDE - BLOCK 48**

OAKDALE AVENUE AND NAVY ROAD

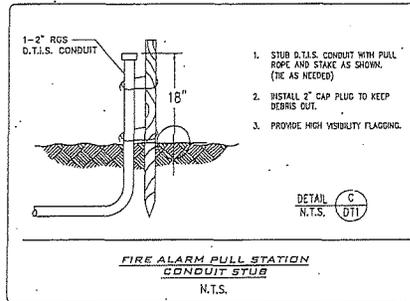
SAN FRANCISCO - CALIFORNIA

LEGEND

D.T. SOL.	4" PVC OR RIGID CONDUIT (SIZE & QUANTITY AS SHOWN)
RS	24"x36" D.T. SAN FRANCISCO CONDUIT (CHRISTY HAD)
FD	FIRE ALARM PULL STATION
D.T.	DEPARTMENT OF TELECOMMUNICATIONS & INFORMATION SERVICES
RS	RIGID GALVANIZED STEEL

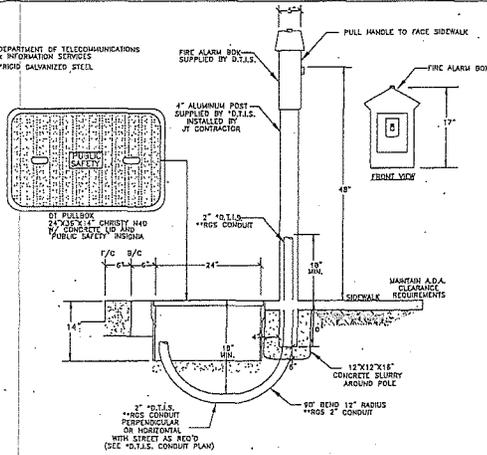
GENERAL NOTES

1. ALL D.T.I.S. 4" PVC CONDUIT SHALL BE SCHEDULE 80 BETWEEN PULL BOXES. D.T.I.S. CONDUIT(S) TO BE INSTALLED ON TOP OF THE COMMUNICATION LEVEL WHEN PARTICIPATING IN THE JOINT TRENCH. D.T.I.S. CONTRACTOR TO PROVIDE AND INSTALL PULL ROPE IN ALL D.T.I.S. CONDUITS AND TERMINATE IN BOXES AND POLES AS APPLICABLE.
2. 2" RIGID GALVANIZED STEEL (RS) CONDUIT TO BE INSTALLED BETWEEN FIRE ALARM PULL STATION AND NEAREST D.T.I.S. PULL BOX. SEE DETAILS 'A', 'B' AND 'C' ON THIS SHEET FOR ADDITIONAL INFORMATION.
3. INSTALL 1/10 AWG TRACER WIRE WITH ORANGE POLYETHYLENE (LOPP) INSULATION DIRECT BURIAL ON ALL CONDUIT ROUTES SHOWN. TERMINATE INSIDE BOXES AND POLES AS APPLICABLE.
4. PULL BOXES TO BE CHRISTY HAD 24"x36"x14" WITH CONCRETE LIDS INSCRIBED WITH "PUBLIC SAFETY". USE BOX EXTENSIONS AS NECESSARY.
5. D.T.I.S. TO FURNISH 4" ALUMINUM POST FOR CONTRACTOR INSTALL FIRE ALARM PULL STATION AND INTERNAL CABLING TO BE DONE BY THE CITY.
6. 4" ALUMINUM POST FOUNDATION SHALL BE CONCRETE SLURRY AND A MINIMUM OF 12"x12"x16".
7. PULL STATION LOCATION(S) TO BE APPROVED BY THE CITY. SEE CIVIL PLANS FOR ADDITIONAL LOCATION DETAILS.

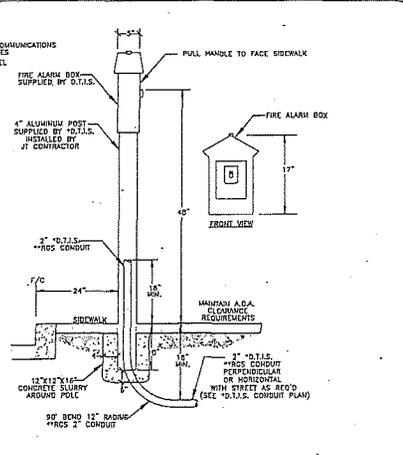


NOT FOR CONSTRUCTION

*DEPARTMENT OF TELECOMMUNICATIONS & INFORMATION SERVICES
**RIGID GALVANIZED STEEL



*DEPARTMENT OF TELECOMMUNICATIONS & INFORMATION SERVICES
**RIGID GALVANIZED STEEL



1971

NO.	DATE	DESCRIPTION	REVISIONS	REVISED	CHECKED	APPROVED
1	11-30-15	COMPREHENSIVE HILLSIDE 1B 19				

DESIGNED	
DRAWN	
CHECKED	
REVIEWED	
PERFORMED	
APPROVED	
DATE	



POWER SYSTEMS
2033 N. MAIN STREET, SUITE 200
WALNUT CREEK, CA 94596
TEL: 925-933-8455
WWW.POWERSYSTEMSDESIGN.NET

PLANNING • TRANSMISSION • DISTRIBUTION • SUBSTATION • DRY UTILITY DESIGN

LENNAR / BVHP

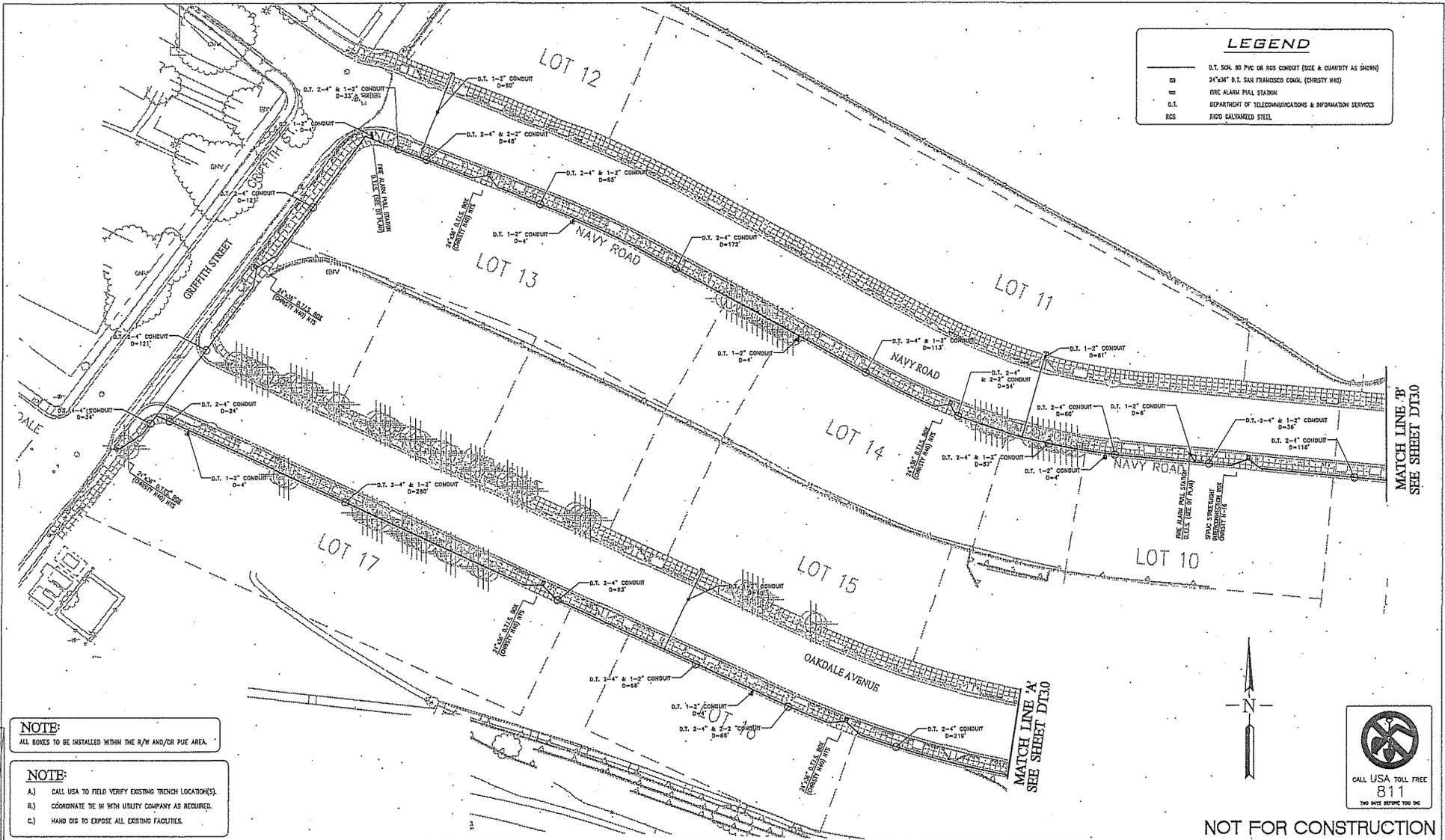
49 STEVENSON STREET, SUITE 525
SAN FRANCISCO, CALIFORNIA 94105

HUNTERS POINT SHIPYARD DEVELOPMENT PROJECT
PARCEL A' INFRASTRUCTURE

DEPARTMENT OF TELECOMMUNICATIONS AND
INFORMATION SERVICES SUBSTRUCTURE PLAN

SCALE	NA
JOB NUMBER	14-031
DATE	11-30-15
SHEET	1
DRAWING	DT1.0
DATE	
DATE	
DATE	

1972



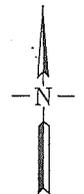
LEGEND	
	D.T. SCH. 80 PVC OR RGS CONDUIT (SIZE & QUANTITY AS SHOWN)
	24"x24" D.T. SAN FRANCISCO COAL (CHRISTY H4)
	TRC ALARM PIAL STATION
	D.T. DEPARTMENT OF TELECOMMUNICATIONS & INFORMATION SERVICES
	RGS RIGID GALVANIZED STEEL

NOTE:
ALL BOXES TO BE INSTALLED WITHIN THE R/W AND/OR PUE AREA.

NOTE:
A.) CALL USA TO FIELD VERIFY EXISTING TRENCH LOCATION(S).
B.) COORDINATE THE W/ WITH UTILITY COMPANY AS REQUIRED.
C.) HAND DIG TO EXPOSE ALL EXISTING FACILITIES.

MATCH LINE 'B'
SEE SHEET DT30

MATCH LINE 'A'
SEE SHEET DT30



NOT FOR CONSTRUCTION

NO.	DATE	DESCRIPTION	REVISED	CHECKED	APPROVED
1	7-30-13	COMPREHENSIVE HILLSIDE 19			
REVISIONS					

DESIGNED	
DRAWN	
CHECKED	
REVISED	
PERMANENCED	
APPROVED	
SITE	

POWER SYSTEMS DESIGN
 2033 N. MAIN STREET, SUITE 200
 WALNUT CREEK, CA 94596
 TEL: 925-933-9465
 WWW.POWERSYSTEMSDESIGN.NET
 PLANNING • TRANSMISSION • DISTRIBUTION • SUBSTATION • DRY UTILITY DESIGN

LENNAR / BVHP
 49 STEVENSON STREET, SUITE 525
 SAN FRANCISCO, CALIFORNIA 94105

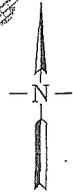
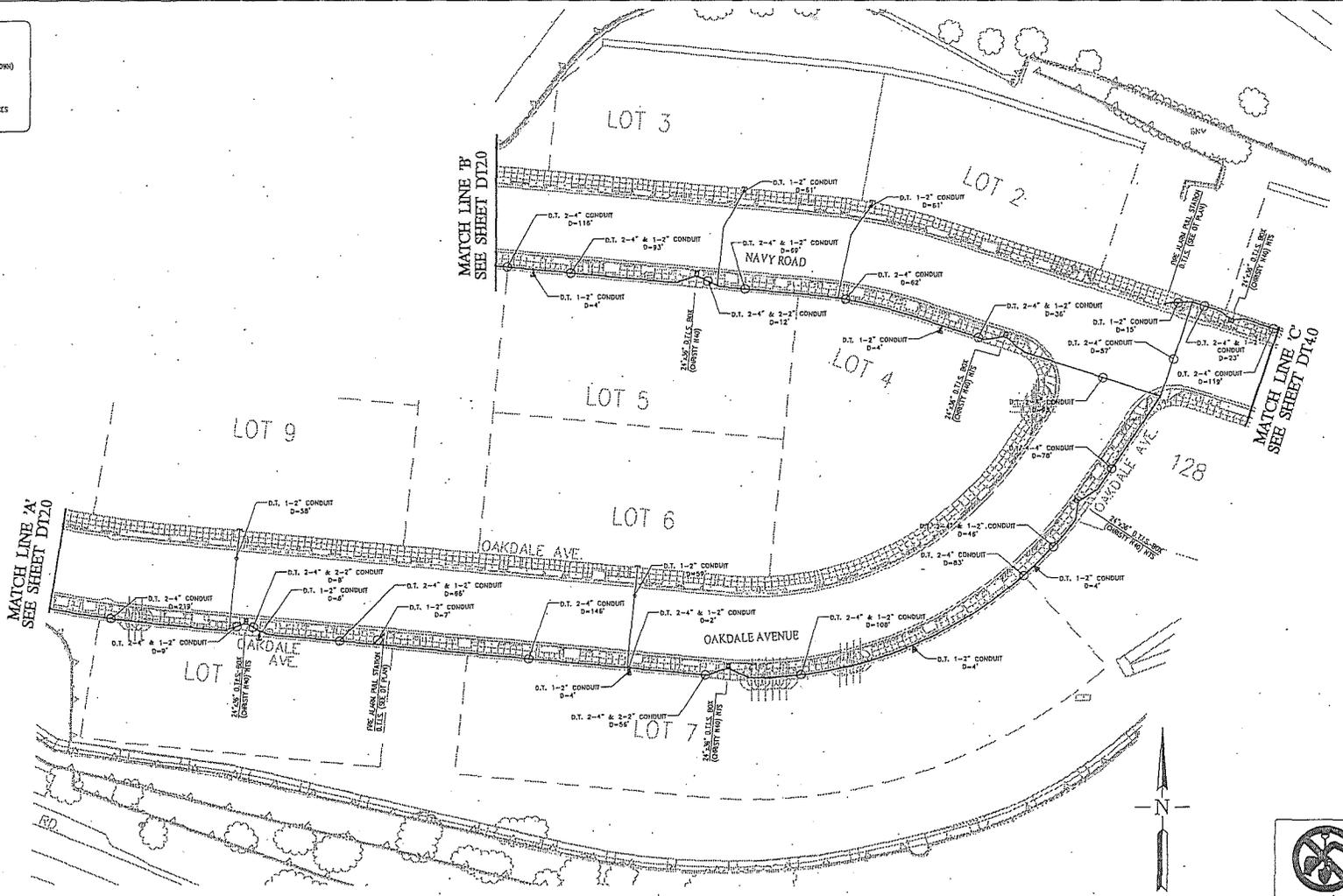
HUNTERS POINT SHIPYARD DEVELOPMENT PROJECT
 PARCEL A' INFRASTRUCTURE
 DEPARTMENT OF TELECOMMUNICATIONS AND
 INFORMATION SERVICES SUBSTRUCTURE PLAN

SCALE	1"=30'
JOB NUMBER	14-031
DATE	11-30-15
SHEET	2
DRAWING	
OF	4
SHEET	DT2.0

1973

LEGEND

- D.T. SOL. 80 PVC OR RIG CONDUIT (SEE Q. QUANTITY AS SHOWN)
- 24"x36" D.T. SAN FRANCISCO CONAL. (CROSBY MFG)
- FD FIRE ALARM PULL STATION
- D.T. DEPARTMENT OF TELECOMMUNICATIONS & INFORMATION SERVICES
- RIG RIGID GALVANIZED STEEL



NOTE:
ALL BOXES TO BE INSTALLED WITHIN THE R/W AND/OR PUE AREA.

- NOTE:**
- A.) CALL USA TO FIELD VERIFY EXISTING TRENCH LOCATION(S).
 - B.) COORDINATE TE IN WITH UTILITY COMPANY AS REQUIRED.
 - C.) HAND DIG TO EXPOSE ALL EXISTING FACILITIES.



NOT FOR CONSTRUCTION

NO.	DATE	DESCRIPTION	REVISED	CHECKED	APPROVED
1	11-30-15	COMPREHENSIVE HILLSIDE 1B 1P			
REVISIONS					

DESIGNED	
DRAWN	
CHECKED	
REVIEWED	
APPROVED	
DATE	



2033 N. HAIN STREET, SUITE 200
WALNUT CREEK, CA 9459A
TEL: 925-933-8485
WWW.POWERSYSTEMSDSIGN.NET

PLANNING • TRANSMISSION • DISTRIBUTION • SUBSTATION • DRY UTILITY DESIGN

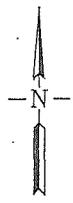
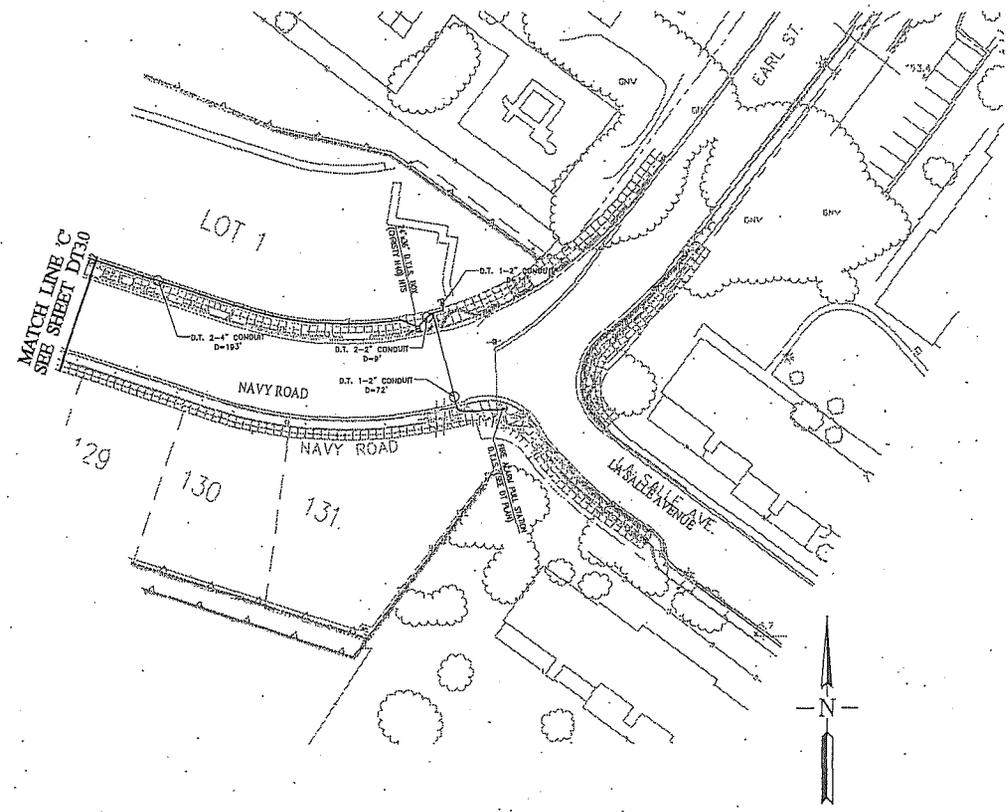
LENNAR / BVHP
49 STEVENSON STREET, SUITE 525
SAN FRANCISCO, CALIFORNIA 94105

HUNTERS POINT SHIPYARD DEVELOPMENT PROJECT
PARCEL A' INFRASTRUCTURE
DEPARTMENT OF TELECOMMUNICATIONS AND
INFORMATION SERVICES SUBSTRUCTURE PLAN

SCALE	1"=30'
JOB NUMBER	14-031
DATE	11-30-15
SHEET	3
DRAWING	DT3.0
	4

1974

LEGEND	
	D.T. SOL. 60 PVC OR RGS CONDUIT (SIZE & QUANTITY AS SHOWN)
	24"x36" D.T. SAN FRANCISCO CIGAL (CHRISTY Mfg)
	FIRE ALARM PULL STATION
	D.T. DEPARTMENT OF TELECOMMUNICATIONS & INFORMATION SERVICES
	RGS RIGID GALVANIZED STEEL



NOTE:
ALL BOXES TO BE INSTALLED WITHIN THE R/W AND/OR PUE AREA.

NOTE:
A.) CALL USA TO FIELD VERIFY EXISTING TRENCH LOCATION(S).
B.) COORDINATE THE IN WITH UTILITY COMPANY AS REQUIRED.
C.) HAND DIG TO EXPOSE ALL EXISTING FACILITIES.



NOT FOR CONSTRUCTION

NO.	DATE	DESCRIPTION	DESIGNED	CHECKED	APPROVED
1	11-30-15	COMPREHENSIVE HILLSIDE # 19			
REVISIONS					

DESIGNED	
DRAWN	
CHECKED	
REVIEWED	
DESIGNED	
APPROVED	
DATE	

POWER SYSTEMS DESIGN
 2033 N. MAIN STREET, SUITE 200
 WALNUT CREEK, CA 94598
 TEL: 925-933-8465
 WWW.POWERSYSTEMSDSIGN.NET
 PLANNING • TRANSMISSION • DISTRIBUTION • SUBSTATION • DRY UTILITY DESIGN

LENNAR / BVHP
 48 STEVENSON STREET, SUITE 525
 SAN FRANCISCO, CALIFORNIA 94108

HUNTERS POINT SHIPYARD DEVELOPMENT PROJECT
 PARCEL A' INFRASTRUCTURE
 DEPARTMENT OF TELECOMMUNICATIONS AND
 INFORMATION SERVICES SUBSTRUCTURE PLAN

SCALE	1"=30'
JOB NUMBER	14-031
DATE	11-30-15
SHEET	4
OF	4
DT4.0	

SCHEDULE OF SHEETS

- 1.....TITLE / NOTES
- 2.....GAS DESIGN PLAN
- 3.....DETAILS / BILL OF MATERIAL

HUNTER'S POINT - HILLSIDE PSD # 14-031 PM XXXXXXXX SAN FRANCISCO, CALIFORNIA

**PRELIMINARY
NOT FOR
CONSTRUCTION**

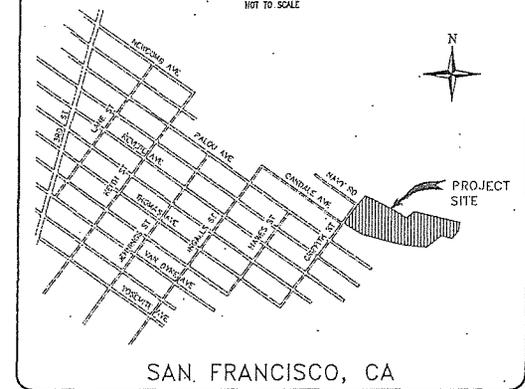
CONSTRUCTION NOTES

1. INSTALL PLASTIC GAS MAIN PER PG&E SPECIFICATION A-90, A-93.1, B-90, 0-10, 0-10.1, 0-13.1 AND THIS DRAWING.
2. MAINTAIN CLEARANCES AS OUTLINED IN UO STANDARD SS453 AND PG&E A-04.
3. REFER TO GAS STANDARDS A-90.2 & 0-13.1 FOR TYPICAL ANODE AND LOCATING WIRE INSTALLATION.
4. REFER TO GAS STANDARD A-34 FOR TEST CRITERIA ON GAS MAIN AND SERVICES.
5. RECORD PLASTIC MATERIAL AND TEST INFORMATION ON PLASTIC STAMP.
6. CONTRACTOR IS RESPONSIBLE FOR CROSSING EXISTING WATER, SEWER AND STORM DRAIN LINES, EITHER UNDER OR OVER, AS REQUIRED TO MEET PG&E COVER AND CLEARANCE REQUIREMENTS. REFER TO UO STANDARD SS453.
7. THE LOCATION OF ALL EXISTING OR NEWLY INSTALLED WATER, SEWER, STORM DRAIN, OR OTHER LINES, SHALL BE DETERMINED BY THE CONTRACTOR. THE CONTRACTOR SHALL NOT RELY ON PG&E TO LOCATE FACILITIES (PG&E WILL LOCATE PG&E FACILITIES UPON PRIOR USA NOTIFICATION). CALL USA AT "811" 48 HOURS PRIOR TO DIGGING.
8. THE CONTRACTOR WILL BE REQUIRED TO REMOVE AND REPLACE TRENCH SOIL WITH 100% SELECT BACKFILL AS REQUIRED BY PG&E SPECIFICATIONS AND ANY LOCAL CITY, COUNTY OR STATE REQUIREMENTS.
9. THE CONTRACTOR AND/OR DEVELOPER IS RESPONSIBLE FOR OBTAINING ALL NECESSARY RIGHT-OF-WAYS.
10. APPLICANT WILL OBTAIN ALL NECESSARY PERMITS. PG&E WILL OBTAIN TIE-IN PERMIT IF REQUIRED BY LOCAL JURISDICTION.
11. ALL STEEL CONNECTIONS EXPOSED WILL BE FIELD WRAPPED WITH COLD APPLIED TAPE PER PG&E SPECIFICATION E-25.
12. CONTRACTOR TO INSTALL 6" WIDE WARNING TAPE ABOVE THE GAS PIPELINE AT LEAST 12" BELOW GRADE AND NO CLOSER THAN 12" FROM THE PIPELINE PER GAS STANDARD L-18.

JOB SUMMARY

- INSTALL**
- (2,857) 2" PL HP GAS MAIN
(3) 5# ZINC ANODE(S)
(3) ELECTROLYSIS TEST STATION (ETS)
1. PG&E TO PERFORM ALL HOT TIE-IN WORK AND PURGING OF GAS PIPING PER GAS STANDARD A-38.
 2. PG&E TO PERFORM TRENCH INSPECTION. DEVELOPER TO COMPLY WITH PG&E INSPECTOR'S REQUIREMENTS.
 3. OPTION #2
A. JOINT TRENCH BY APPLICANT.
B. GAS MAIN AND STUBS TO BE INSTALLED BY APPLICANT.
 4. TRENCHING AGENT TO MAINTAIN MINIMUM 3" HORIZONTAL SEPARATION AND 1' MINIMUM UNDISTURBED SOIL BETWEEN PG&E AND WET FACILITIES.
 5. TRENCHING AGENT TO PROVIDE BELL HOLES AT ALL PG&E TIE-IN LOCATIONS. MINIMUM 5'x4'x1' BELOW EXISTING GAS FACILITIES FOR PLASTIC TIE-IN OR 4'x6'x1' BELOW EXISTING GAS FACILITIES FOR STEEL TIE-IN.

VICINITY LOCATION



ATTENTION FOREMAN

PRIOR TO STARTING JOB, CONSULT AREA CORROSION MECHANIC FOR LOCATING WIRE INSTALLATION AND CATHODIC PROTECTION REQUIREMENTS.

CONTACT: _____
PHONE: _____

THE CONTRACTOR SHALL OBTAIN ALL APPLICABLE PERMITS PRIOR TO COMMENCING THE WORK

SOFTWARE LICENSE STATEMENT

All work being submitted to PG&E by Gas Transmission Systems, Inc. was performed with licensed software.

Installation Tested or Inspected and Rated on Drawing
All Corrosion Levels Satisfactory Per
PG&E Gas Utility Standard TD-41EUS

Qualified Employee _____ Date _____
Corrosion mechanic signature is required when a CPD inventory is used in the scope of the project.

FOREMAN SHALL NOTIFY PG&E CORROSION MECHANIC PRIOR TO COMPLETION OF THE JOB FOR TESTING WIRING.

PG&E T&R DEPARTMENT, FIRST/LAST NAME _____
BY CORROSION MECHANIC _____
DATE CONTRACTED _____

DESIGN CHANGE STAMP

REVISIONS:

PROPER DEPTH OF REVIEW AND SUBMITTALS ARE APPROPRIATE TO THE SCOPE OF OUR CLIENT ESTABLISHMENT DESIGN.

IF A CHANGE IS NECESSARY PLEASE NOTIFY PG&E SO THAT OUR REPRESENTATIVE OF ENGINEERING DEPT. CAN APPROVE ANY SPECIAL DESIGN CHANGE OF WHICH APPLICANT'S REPRESENTATIVES WOULD BE NOT AWARE WITH THE ORIGINAL DESIGN. THIS MUST BE DONE PRIOR TO SUBMITTALS OF ANY SUBMITTALS.

THE REPRESENTATIVE SHALL BE FULLY RESPONSIBLE FOR ANY UNAPPROVED DESIGN CHANGES IN WHICH OR SUBSEQUENT DEPTH OF CONSTRUCTION.

THIS DOES NOT SUPERSEDE, BUT IT IS APPLIED TO ANY OF THE ORIGINAL DESIGN REPRESENTATIVE'S WORK PRODUCT THAT APPLICANT.

THANK YOU FOR YOUR COOPERATION.

DESIGN CHANGE COMPONENT

ANY CHANGE TO THIS DESIGN MUST BE APPROVED

BY: _____ GAS ASB
PHONE: _____

U.S.A. TICKET INFORMATION

DATE CALLED _____
TICKET NO. _____
BY _____

CALL: 611

PM NUMBER: xxxxx
NOTIFICATION NUMBER: xxxxxx
WALL MAP: xxxxx
CATHODIC PROTECTION AREA NUMBER: xxxxx
THERMIA BILLING AREA NUMBER: xxxxx
EMERGENCY ZONE: xxxxx
MACP: xx PSIG
NORP: xx PSIG

1975

DATE	BY	REVISIONS	DESCRIPTION	DATE
07/22/2015	ASB	1	ISSUED FOR PERMIT	07/22/2015

GTS
ENGINEERING & CONSULTING

GAS TRANSMISSION SYSTEMS, INC.
110 MARKET STREET, SUITE 100
SAN FRANCISCO, CA 94102
TEL: 415.774.3333
FAX: 415.774.3334
WWW.GAS-UTILITY.COM

07/22/2015

ASB SHOWN

GAS INTENT
HUNTERS POINT - HILLSIDE (PSD#14-031)
PM XXXXXXXX
SAN FRANCISCO, CALIFORNIA
015-15213-C
1 OF 3

RECORDING REQUESTED BY, AND
WHEN RECORDED RETURN TO:

Real Estate Division
City and County of San Francisco
25 Van Ness Avenue, Suite 400
San Francisco, CA 94102
Attn: Director of Property

Assessor's Block ("AB")
AB:

(Space above this line reserved for Recorder's use only)

OFFER OF IMPROVEMENTS

HPS DEVELOPMENT CO., LP a Delaware limited partnership ("HPS"), and its successors and assigns, does hereby irrevocably offer to the City and County of San Francisco, a municipal corporation (the "City"), and its successors and assigns, all of the public improvements required pursuant to that certain Public Improvement Agreement - Hunters Point Shipyard Phase 1, dated as of July 21, 2009, by and between HPS, City and the Former Redevelopment Agency of the City and County of San Francisco, as amended by that certain First Amendment to Hunters Point Shipyard Phase 1 Public Improvement Agreement, dated October 14, 2011, and that certain Second Amendment to Hunters Point Shipyard Phase 1 Public Improvement Agreement, dated _____.

The property where the public improvements are located is shown on Exhibit A hereto, which is located in the City.

It is understood and agreed that: (i) the City and its successors or assigns shall incur no liability or obligation whatsoever hereunder with respect to such offer of public improvements, and, except as may be provided by separate instrument, shall not assume any responsibility for the public improvements, unless and until such offer has been accepted by the appropriate action of the Board of Supervisors, and (ii) the City, in its sole discretion, may accept one or more components of the improvements, without prejudicing the City's discretion subsequently to accept or not accept other components, and (iii) upon acceptance of all or one or more components of this offer of public improvements by formal action of the Board of Supervisors, the City shall own and be responsible for maintenance of the accepted public facilities and improvements, except as such responsibility may be imposed on another by operation of law, as may be described in a master street encroachment permit authorized pursuant to Public Works Code § 786(b), or a similar agreement, pertaining to one or more of the public improvements

offered hereby, or as may be excluded from acceptance for maintenance and liability in the formal action of the City.

It is further understood that the improvements offered hereby expressly exclude those subsurface drains, cleanouts, and v-ditches described in City Department of Building Inspection ("DBI") Permit Nos. 200601263172 (Address: 4591A/077, Oakdale Avenue) and 200601263179 (Address: 4591A/076, Innes Avenue), and on file with DBI.

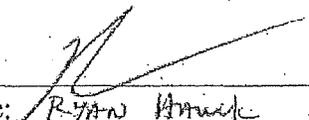
The provisions hereof shall insure to the benefit of, and be binding upon the heirs, successors, assigns, and personal representatives of the parties hereto.

IN WITNESS WHEREOF, the undersigned has executed this instrument this 5th day of December, 2019.

HPS

HPS DEVELOPMENT CO., LP, A Delaware limited partnership

By: CP/HPS Development Co. GP, LLC, a Delaware limited liability company, its General Partner

By: 
Name: Ryan Hruska
Title: Vice President

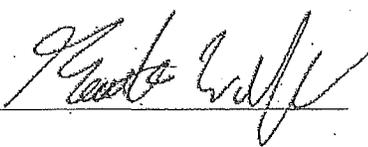
A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California)
) ss
County of San Francisco)

On 12-5-19, before me, Matthew Walkup, a notary public in and for said State, personally appeared Ryan Hauck, who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.

Signature  (Seal)

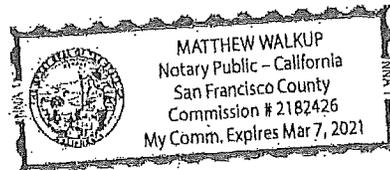


EXHIBIT A

Legal Description and Plat

NOVEMBER 26, 2019
JOB NO. 1804-001

EXHIBIT A
LEGAL DESCRIPTION
STREET IMPROVEMENT DEDICATION AREA
LOTS 132, 133, 136, AND 137, FINAL MAP NO. 5255
CITY AND COUNTY OF SAN FRANCISCO, CALIFORNIA

REAL PROPERTY, SITUATED IN THE CITY AND COUNTY OF SAN FRANCISCO, STATE OF CALIFORNIA, DESCRIBED AS FOLLOWS:

BEING ALL OF LOTS 132, 133, 136, AND 137, AS SAID LOTS ARE SHOWN AND SO DESIGNATED ON FINAL MAP NO. 5255, RECORDED AUGUST 12, 2009, IN BOOK CC OF SURVEY MAPS, AT PAGE 176, IN THE OFFICE OF THE RECORDER OF THE CITY AND COUNTY OF SAN FRANCISCO.

ATTACHED HERETO IS A PLAT TO ACCOMPANY LEGAL DESCRIPTION, AND BY THIS REFERENCE MADE A PART HEREOF.

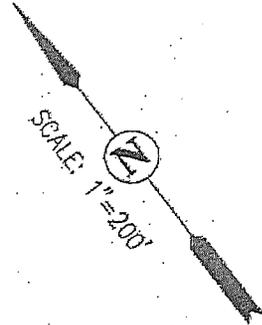
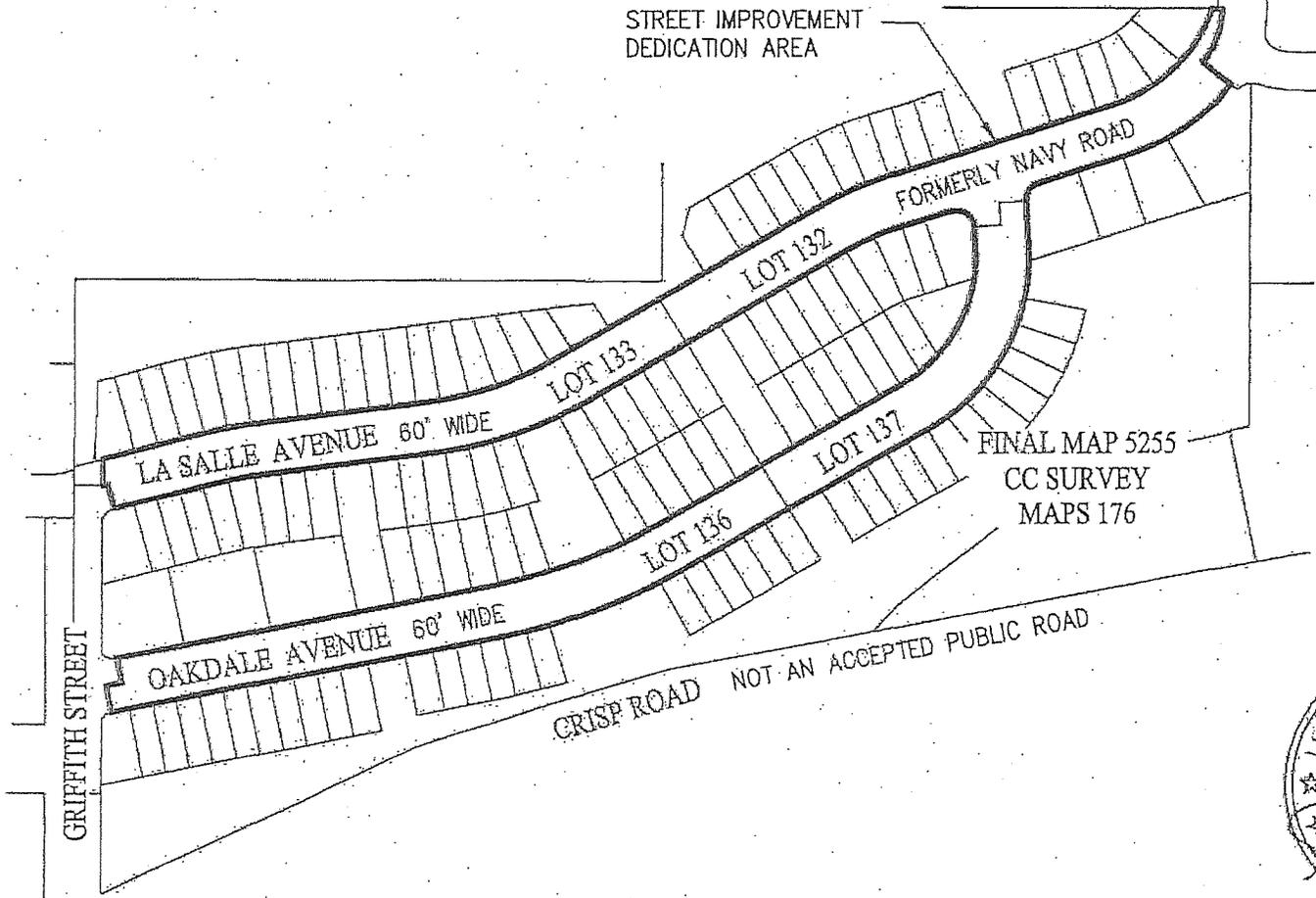
END OF DESCRIPTION



Sabrina Kyle Pack

SABRINA KYLE PACK, P.L.S.
L.S. NO. 8164

1983



FINAL MAP 5255
CC SURVEY
MAPS 176



EXHIBIT A

SHEET 1 OF 1

PLAT TO ACCOMPANY LEGAL DESCRIPTION

STREET IMPROVEMENT DEDICATION AREA
HILLSIDE, FINAL MAP 5255 (CC SURVEY MAPS 176)
CITY AND COUNTY OF SAN FRANCISCO, CALIFORNIA

NOVEMBER 26, 2019



SAN RAMON (925) 866-0322
SACRAMENTO (916) 375-1877
WWW.CBANDG.COM

CIVIL ENGINEERS * SURVEYORS * PLANNERS

Contract No. _____

Bond No. K15479280

Premium: \$396.00 / Annum
Final Map 8573, Block 48
Monumentation, Hunters Points,
Phase 1

PERFORMANCE BOND

KNOW ALL MEN BY THESE PRESENTS, that WHEREAS, the City and County of San Francisco, State of California, has awarded to:

HPS Development Co., LP

hereinafter designated as the "Principal", a contract, dated, _____, for the City and County of San Francisco's Office of Contract Administration Contract No. _____ (the "Contract").

WHEREAS, said Principal is required under the terms of said Contract to furnish a bond for the faithful performance of said Contract (the "Bond");

NOW, THEREFORE, we the Principal and Westchester Fire Insurance Company

as Surety, are firmly bound unto the City and County of San Francisco ("City") in the penal sum of

One hundred thirty nine thousand and 00/100 Dollars (\$ 139,000.00)

lawful money of the United States for the payment of which sum well and truly to be made, we bind ourselves, our heirs, executors, administrators, successors and assigns, jointly and severally firmly by these presents for a performance bond. The conditions of this obligation is such that if the said Principal does well and faithfully performs all the conditions and covenants of said Contract, according to the true intent and meaning thereof, upon its part to be kept and performed, then the above obligation is to be null and void, otherwise to remain in full force and effect.

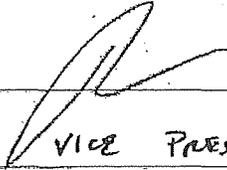
THE CONDITION OF THIS OBLIGATION IS SUCH, that if the above bounden Principal, its heirs, executors, administrators, successors or assigns, shall in all things stand to and abide by, and well and truly keep and perform the covenants, conditions and agreements in the said Contract, including the provisions for liquidated damages in the said Contract, any changes, additions or alterations thereof made as therein provided, on its part, to be kept and performed at the time and in the manner therein specified, and in all respects according to their true intent and meaning, and shall indemnify and save harmless the City and County of San Francisco, its officers and agents, as therein stipulated, then this obligation shall become null and void; otherwise it shall be and remain in full force and effect.

And the said Surety, for value received, hereby stipulates and agrees that no change, extension of time, alteration or addition to the terms of the Contract or to the work to be performed thereunder or the specifications accompanying the same and no inadvertent overpayment of progress payments shall in any way affect its obligations on this Bond, and it does hereby waive notice of any such change, extension of time, alteration or addition to the terms of the Contract or to the work or to the specifications or of any inadvertent overpayment of progress payments.

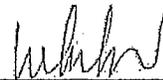
Contract No. _____
Bond No. K15479280

IN WITNESS WHEREOF, the above-bounden parties have executed this instrument under their seal this 20th day of February, 2020, the name and corporate seal of each corporate party being hereto affixed and these presents duly signed by its undersigned representative, pursuant to authority of its governing body.

PRINCIPAL HPS Development Co., LP, a Delaware limited partnership

By: 
Its: VICE PRESIDENT
Date: 2/21/20

SURETY Westchester Fire Insurance Company

By: 
Its: Mechelle Larkin
Date: February 20, 2020

NOTE: Signature of Sureties must be acknowledged by a Notary Public

CALIFORNIA ALL-PURPOSE ACKNOWLEDGMENT

CIVIL CODE § 1189

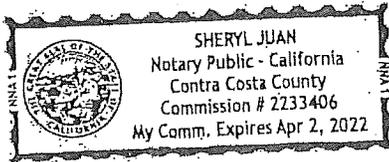
A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California
County of Contra Costa
On February 24, 2020 before me, Sheryl Juan, Notary Public
Date Here Insert Name and Title of the Officer
personally appeared Ryan Truck
Name(s) of Signer(s)

who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.



Signature [Handwritten Signature]
Signature of Notary Public

Place Notary Seal Above

OPTIONAL

Though this section is optional, completing this information can deter alteration of the document or fraudulent reattachment of this form to an unintended document.

Description of Attached Document

Title or Type of Document: _____
Document Date: _____ Number of Pages: _____
Signer(s) Other Than Named Above: _____

Capacity(ies) Claimed by Signer(s)

Signer's Name: _____
 Corporate Officer — Title(s): _____
 Partner — Limited General
 Individual Attorney in Fact
 Trustee Guardian or Conservator
 Other: _____
Signer Is Representing: _____

Signer's Name: _____
 Corporate Officer — Title(s): _____
 Partner — Limited General
 Individual Attorney in Fact
 Trustee Guardian or Conservator
 Other: _____
Signer Is Representing: _____

CALIFORNIA ALL-PURPOSE ACKNOWLEDGMENT

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

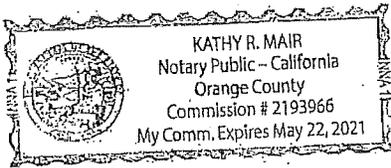
State of California)
County of Orange)

On FEB 20 2020 before me, Kathy R. Mair, Notary Public
DATE [Name of Notary Public and Title "Notary Public"]

personally appeared Mechelle Larkin
[Name(s) of Signer(s)]

who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.



WITNESS my hand and official seal.

Kathy R Mair
Signature of Notary Public

Place Notary Seal Above

OPTIONAL

Though this section is optional, completing this information can deter alteration of the document or fraudulent reattachment of this form to an unintended document.

Description of Attached Document

Title or Type of Document: _____

Document Date: _____ Number of Pages: _____

Signer(s) Other Than Named Above: _____

Capacity(ies) Claimed by Signer(s)

Signer's Name: Mechelle Larkin

- Corporate Officer -- Title(s): _____
 Partner -- Limited General
 Individual Attorney-in-Fact
 Trustee Guardian or Conservator
 Other: _____

Signer Is Representing: _____

Signer's Name: _____

- Corporate Officer -- Title(s): _____
 Partner -- Limited General
 Individual Attorney-in-Fact
 Trustee Guardian or Conservator
 Other: _____

Signer is Representing: _____

CHUBB®

Power of Attorney

Westchester Fire Insurance Company | ACE American Insurance Company

Know All by These Presents, that WESTCHESTER FIRE INSURANCE COMPANY and ACE AMERICAN INSURANCE COMPANY corporations of the Commonwealth of Pennsylvania, do each hereby constitute and appoint My Hua, Mechelle Larkin and Kathy R. Mair of Irvine, California; Tenzer V. Cunningham, Martha Gonzales, Joaquin Perez, Jeffrey Strassner and Brenda Wong of Los Angeles, California

each as their true and lawful Attorney-in-Fact to execute under such designation in their names and to affix their corporate seals to and deliver for and on their behalf as surety thereon or otherwise, bonds and undertakings and other writings obligatory in the nature thereof (other than bail bonds) given or executed in the course of business, and any instruments amending or altering the same, and consents to the modification or alteration of any instrument referred to in said bonds or obligations.

In Witness Whereof, WESTCHESTER FIRE INSURANCE COMPANY and ACE AMERICAN INSURANCE COMPANY have each executed and attested these presents and affixed their corporate seals on this 3rd day of September, 2019.

Dawn M. Chloros

Dawn M. Chloros, Assistant Secretary

Stephen M. Haney

Stephen M. Haney, Vice President



STATE OF NEW JERSEY

County of Hunterdon

SS.

On this 3rd day of September, 2019, before me, a Notary Public of New Jersey, personally came Dawn M. Chloros, to me known to be Assistant Secretary of WESTCHESTER FIRE INSURANCE COMPANY and ACE AMERICAN INSURANCE COMPANY, the companies which executed the foregoing Power of Attorney, and the said Dawn M. Chloros, being by me duly sworn, did depose and say that she is Assistant Secretary of WESTCHESTER FIRE INSURANCE COMPANY and ACE AMERICAN INSURANCE COMPANY and knows the corporate seals thereof, that the seals affixed to the foregoing Power of Attorney are such corporate seals and were thereto affixed by authority of said Companies; and that she signed said Power of Attorney as Assistant Secretary of said Companies by like authority; and that she is acquainted with Stephen M. Haney, and knows him to be Vice President of said Companies; and that the signature of Stephen M. Haney, subscribed to said Power of Attorney is in the genuine handwriting of Stephen M. Haney, and was thereto subscribed by authority of said Companies and in deponent's presence.

Notarial Seal



KATHERINE J. ADELAAR
NOTARY PUBLIC OF NEW JERSEY
No. 2316688
Commission Expires July 16, 2024

Katherine J. Adelaar
Notary Public

CERTIFICATION

Resolutions adopted by the Boards of Directors of WESTCHESTER FIRE INSURANCE COMPANY on December 11, 2006 ; ACE AMERICAN INSURANCE COMPANY on March 20, 2009:

"RESOLVED, that the following authorizations relate to the execution, for and on behalf of the Company, of bonds, undertakings, recognizances, contracts and other written commitments of the Company entered into in the ordinary course of business (each a "Written Commitment"):

- (1) Each of the Chairman, the President and the Vice Presidents of the Company is hereby authorized to execute any Written Commitment for and on behalf of the Company, under the seal of the Company or otherwise.
- (2) Each duly appointed attorney-in-fact of the Company is hereby authorized to execute any Written Commitment for and on behalf of the Company, under the seal of the Company or otherwise, to the extent that such action is authorized by the grant of powers provided for in such person's written appointment as such attorney-in-fact.
- (3) Each of the Chairman, the President and the Vice Presidents of the Company is hereby authorized, for and on behalf of the Company, to appoint in writing any person the attorney-in-fact of the Company with full power and authority to execute, for and on behalf of the Company, under the seal of the Company or otherwise, such Written Commitments of the Company as may be specified in such written appointment, which specification may be by general type or class of Written Commitments or by specification of one or more particular Written Commitments.
- (4) Each of the Chairman, the President and the Vice Presidents of the Company is hereby authorized, for and on behalf of the Company, to delegate in writing to any other officer of the Company the authority to execute, for and on behalf of the Company, under the Company's seal or otherwise, such Written Commitments of the Company as are specified in such written delegation, which specification may be by general type or class of Written Commitments or by specification of one or more particular Written Commitments.
- (5) The signature of any officer or other person executing any Written Commitment or appointment or delegation pursuant to this Resolution, and the seal of the Company, may be affixed by facsimile on such Written Commitment or written appointment or delegation.

FURTHER RESOLVED, that the foregoing Resolution shall not be deemed to be an exclusive statement of the powers and authority of officers, employees and other persons to act for and on behalf of the Company, and such Resolution shall not limit or otherwise affect the exercise of any such power or authority otherwise validly granted or vested."

I, Dawn M. Chloros, Assistant Secretary of WESTCHESTER FIRE INSURANCE COMPANY and ACE AMERICAN INSURANCE COMPANY (the "Companies") do hereby certify that

- (i) the foregoing Resolutions adopted by the Board of Directors of the Companies are true, correct and in full force and effect,
- (ii) the foregoing Power of Attorney is true, correct and in full force and effect.

Given under my hand and seals of said Companies at Whitehouse Station, NJ, this

FEB 20 2020



Dawn M. Chloros

Dawn M. Chloros, Assistant Secretary

IN THE EVENT YOU WISH TO VERIFY THE AUTHENTICITY OF THIS BOND OR NOTIFY US OF ANY OTHER MATTER, PLEASE CONTACT US AT:
Telephone (908) 993-3493 Fax (908) 902-3656 e-mail: surety@chubb.com

Bond No. K154792ZA

Premium: \$29,402.00 per annum

Per Second Amendment to Hunters Point Shipyard, Phase 1 Development Project, as respect to Parcel A' Infrastructure – comprehensive Hillside IB 19, Plans and Specs as prepared by BKF dated 11/30/2015

EXHIBIT B-1

**Form: Faithful Performance Bond
Hunters Point Shipyard Phase 1 Required Infrastructure**

Whereas, the Board of Supervisors of the City and County of San Francisco, State of California, and **HPS Development Co., LP** (hereafter designated as "**Principal**") have entered into an agreement whereby Principal agrees to install and complete certain designated public improvements, which agreement, entitled Hunters Point Shipyard Phase 1 Public Improvement Agreement, dated July 21, 2009, and identified as Phase 1 Required Infrastructure; and

Whereas, Principal is required under the terms of the agreement to furnish a bond for the faithful performance of the agreement;

Now, therefore, we, Principal and **Westchester Fire Insurance Company**, as Surety ("**Surety**"), are held and firmly bound unto the **City and County of San Francisco** (hereafter called "**City of San Francisco**") in the penal sum of **Ten million three hundred sixteen thousand four hundred twenty-nine and 20/100 Dollars (\$10,316,429.20)** lawful money of the United States, for the payment of which we bind ourselves, our heirs, successors, executors, and administrators, jointly and severally, firmly by these presents.

The condition of this obligation is such that the obligation shall become null and void if the above-bounded Principal, his or its heirs, executors, administrators, successors, or assigns, shall in all things stand to, abide by, well and truly keep, and perform the covenants, conditions, and provisions in the agreement and any alteration thereof made as therein provided, on his or their part, to be kept and performed at the time and in the manner therein specified, and in all respects according to his or their true intent and meaning, and shall indemnify and save harmless the City of San Francisco, its officers, agents, and employees, as therein stipulated; otherwise, this obligation shall be and remain in full force and effect.

As part of the obligation secured hereby and in addition to the face amount specified, costs and reasonable expenses and fees shall be included, including reasonable attorneys' fees, incurred by the City of San Francisco in successfully enforcing the obligation, all to be taxed as costs and included in any judgment rendered.

The Surety hereby stipulates and agrees that no change, extension of time, alteration, or addition to the terms of the agreement, the work to be performed thereunder, or the specifications accompanying the agreement shall in any way affect its obligations on this bond. The Surety hereby waives notice of any such change, extension of time, alteration, or addition to the terms of the agreement, the work, or the specifications.

In witness whereof, this instrument has been duly executed by Principal and Surety on **December 4, 2019**.

"PRINCIPAL"

HPS DEVELOPMENT CO., LP,
a Delaware limited partnership,
By: CP/HPS Development Co. GP, LLC,
a Delaware limited liability company,
its General Partner

By: _____

Name: RYAN HAUCK
Title: VICE PRESIDENT

"SURETY"

WESTCHESTER FIRE INSURANCE COMPANY

By: _____

Mechelle Larkin
Its: Mechelle Larkin, Attorney-in-Fact
Address: 436 Walnut Street, P.O. Box 1000
Philadelphia, PA 19106
Telephone: (215) 640-1000
Facsimile:

CALIFORNIA ALL-PURPOSE ACKNOWLEDGMENT

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California)

County of Orange)

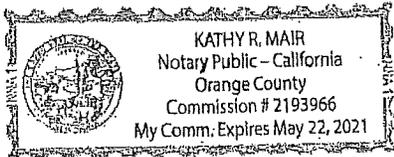
On DEC 04 2019 before me, Kathy R. Mair, Notary Public
DATE [Name of Notary Public and Title "Notary Public"]

personally appeared Mechelle Larkin
[Name(s) of Signer(s)]

who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.



Kathy R. Mair

Signature of Notary Public

Place Notary Seal Above

OPTIONAL

Though this section is optional, completing this information can deter alteration of the document or fraudulent reattachment of this form to an unintended document.

Description of Attached Document

Title or Type of Document: _____

Document Date: _____ Number of Pages: _____

Signer(s) Other Than Named Above: _____

Capacity(ies) Claimed by Signer(s)

Signer's Name: Mechelle Larkin

- Corporate Officer - Title(s): _____
 Partner - Limited General
 Individual Attorney-in-Fact
 Trustee Guardian or Conservator
 Other: _____

Signer Is Representing: _____

Signer's Name: _____

- Corporate Officer - Title(s): _____
 Partner - Limited General
 Individual Attorney-in-Fact
 Trustee Guardian or Conservator
 Other: _____

Signer is Representing: _____

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California)

) ss

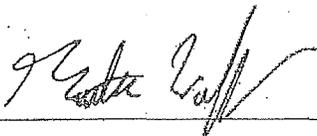
County of San Francisco)

On 12-5-19, before me, Matthew Walkup, a notary public in and for said State, personally appeared Ryan Havak, who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

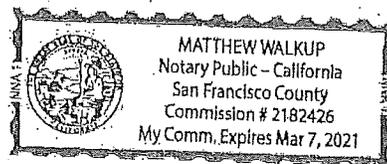
I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.

Signature



(Seal)



Bond No. K1547922A

Premium: included in Performance Bond's Premium

Per Second Amendment to Hunters Point Shipyard, Phase 1 Development Project, as respect to Parcel A' Infrastructure – comprehensive Hillside IB 19, Plans and Specs as prepared by BKF dated 11/30/2015

EXHIBIT B-2

**Form: Labor and Material Bond
Hunters Point Shipyard Phase 1 Required Infrastructure**

Whereas, the Board of Supervisors of the City and County of San Francisco, State of California, and **HPS Development Co., LP** (hereafter designated as "**Principal**") have entered into an agreement whereby Principal agrees to install and complete certain designated public improvements, which agreement, entitled Hunters Point Shipyard Phase 1 Public Improvement Agreement, dated July 21, 2009, and identified as Hunters Point Phase 1 Required Infrastructure is hereby referred to and made a part hereof; and

Whereas, under the terms of the agreement, Principal is required before entering upon the performance of the work to file a good and sufficient payment bond with the City and County of San Francisco to secure the claims to which reference is made in Title 15 (commencing with section 3082) of Part 4 of Division 3 of the Civil Code of the State of California;

Now, therefore, we, the Principal and the undersigned as corporate Surety ("**Surety**"), are held and firmly bound unto the **City and County of San Francisco** and all contractors, subcontractors, laborers, material men, and other persons employed in the performance of the agreement and referred to in Title 15 of the Civil Code in the sum of **Ten million three hundred sixteen thousand four hundred twenty-nine and 20/100 Dollars (\$10,316,429.20)**, for materials furnished or labor thereon of any kind, or for amounts due under the Unemployment Insurance Act with respect to such work or labor, that Surety will pay the same in an amount not exceeding the amount set forth. If suit is brought on this bond, Surety will pay, in addition to the face amount thereof, costs and reasonable expenses and fees, including reasonable attorneys' fees, incurred by the City and County of San Francisco, in successfully enforcing the obligation, to be awarded and fixed by the Court, to be taxed as costs, and to be included in the judgment rendered.

It is hereby expressly stipulated and agreed that this bond shall inure to the benefit of any and all persons, companies, and corporations entitled to file claims under Title 15 (commencing with section 3082) of Part 4 of Division 3 of the Civil Code, so as to give a right of action to them or their assigns in any suit brought upon this bond.

If the condition of this bond is fully performed, then this obligation shall become null and void; otherwise, it shall be and remain in full force and effect.

The Surety hereby stipulates and agrees that no change, extension of time, alteration, or addition to the terms of the agreement or the specifications accompanying the agreement shall in any manner affect its obligations on this bond. The Surety hereby waives notice of any such change, extension, alteration, or addition.

In witness whereof, this instrument has been duly executed by Principal and Surety on **December 4, 2019**.

"PRINCIPAL"

HPS DEVELOPMENT CO., LP,
a Delaware limited partnership,
By: CP/HPS Development Co. GP, LLC,
a Delaware limited liability company,
its General Partner.

By: _____

Name: RYAN HAUCK
Title: VICE PRESIDENT

"SURETY"

WESTCHESTER FIRE INSURANCE COMPANY

By: _____


Its: Mechelle Larkin, Attorney-in-Fact
Address: 436 Walnut Street, P.O. Box 1000
Philadelphia, PA 19106
Telephone: (215) 640-1000
Facsimile:

CALIFORNIA ALL-PURPOSE ACKNOWLEDGMENT

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California)

County of Orange)

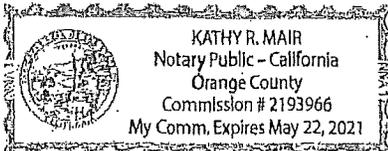
On DEC 04 2019 before me, Kathy R. Mair, Notary Public
DATE [Name of Notary Public and Title "Notary Public"]

personally appeared Mechelle Larkin
[Name(s) of Signer(s)]

who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.



Place Notary Seal Above

Kathy R. Mair
Signature of Notary Public

OPTIONAL

Though this section is optional, completing this information can deter alteration of the document or fraudulent reattachment of this form to an unintended document.

Description of Attached Document

Title or Type of Document: _____

Document Date: _____ Number of Pages: _____

Signer(s) Other Than Named Above: _____

Capacity(ies) Claimed by Signer(s)

Signer's Name: Mechelle Larkin

- Corporate Officer - Title(s): _____
- Partner - Limited General
- Individual Attorney-in-Fact
- Trustee Guardian or Conservator
- Other: _____

Signer is Representing: _____

Signer's Name: _____

- Corporate Officer - Title(s): _____
- Partner - Limited General
- Individual Attorney-in-Fact
- Trustee Guardian or Conservator
- Other: _____

Signer is Representing: _____

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California)

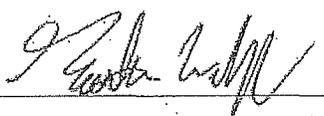
) ss

County of San Francisco)

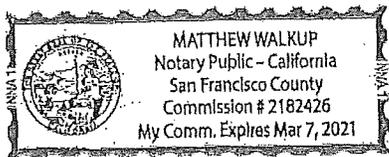
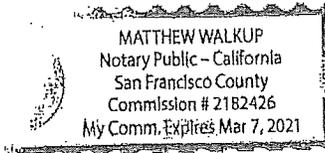
On 12-5-19, before me, Matthew Walkup, a notary public in and for said State, personally appeared Ryan Hauck, who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.

Signature 

(Seal)



CHUBB

Power of Attorney

Westchester Fire Insurance Company | ACE American Insurance Company

Know All by These Presents, that WESTCHESTER FIRE INSURANCE COMPANY and ACE AMERICAN INSURANCE COMPANY corporations of the Commonwealth of Pennsylvania, do each hereby constitute and appoint My Hua, Mechelle Larkin and Kathy R. Mair of Irvine, California; Tenzer V. Cunningham, Martha Gonzales, Joaquin Perez, Jeffrey Strassner and Brenda Wong of Los Angeles, California

each as their true and lawful Attorney-in-Fact to execute under such designation in their names and to affix their corporate seals to and deliver for and on their behalf as surety thereon or otherwise, bonds and undertakings and other writings obligatory in the nature thereof (other than bail bonds) given or executed in the course of business, and any instruments amending or altering the same, and consents to the modification or alteration of any instrument referred to in said bonds or obligations.

In Witness Whereof, WESTCHESTER FIRE INSURANCE COMPANY and ACE AMERICAN INSURANCE COMPANY have each executed and attested these presents and affixed their corporate seals on this 3rd day of September, 2019.

Dawn M. Chloros

Dawn M. Chloros, Assistant Secretary

Stephen M. Haney

Stephen M. Haney, Vice President



STATE OF NEW JERSEY

County of Hunterdon

ss.

On this 3rd day of September, 2019, before me, a Notary Public of New Jersey, personally came Dawn M. Chloros, to me known to be Assistant Secretary of WESTCHESTER FIRE INSURANCE COMPANY and ACE AMERICAN INSURANCE COMPANY, the companies which executed the foregoing Power of Attorney, and the said Dawn M. Chloros, being by me duly sworn, did depose and say that she is Assistant Secretary of WESTCHESTER FIRE INSURANCE COMPANY and ACE AMERICAN INSURANCE COMPANY and knows the corporate seals thereof, that the seals affixed to the foregoing Power of Attorney are such corporate seals and were thereto affixed by authority of said Companies; and that she signed said Power of Attorney as Assistant Secretary of said Companies by like authority; and that she is acquainted with Stephen M. Haney, and knows him to be Vice President of said Companies; and that the signature of Stephen M. Haney, subscribed to said Power of Attorney is in the genuine handwriting of Stephen M. Haney, and was thereto subscribed by authority of said Companies and in deponent's presence.

Notarial Seal



KATHERINE J. ADELAAR
NOTARY PUBLIC OF NEW JERSEY
No. 2316685
Commission Expires July 16, 2024

Katherine J. Adelaar

Notary Public

CERTIFICATION

Resolutions adopted by the Boards of Directors of WESTCHESTER FIRE INSURANCE COMPANY on December 11, 2006 ; ACE AMERICAN INSURANCE COMPANY on March 20, 2009:

"RESOLVED, that the following authorizations relate to the execution, for and on behalf of the Company, of bonds, undertakings, recognizances, contracts and other written commitments of the Company entered into in the ordinary course of business (each a "Written Commitment"):

- (1) Each of the Chairman, the President and the Vice Presidents of the Company is hereby authorized to execute any Written Commitment for and on behalf of the Company, under the seal of the Company or otherwise.
- (2) Each duly appointed attorney-in-fact of the Company is hereby authorized to execute any Written Commitment for and on behalf of the Company, under the seal of the Company or otherwise, to the extent that such action is authorized by the grant of powers provided for in such person's written appointment as such attorney-in-fact.
- (3) Each of the Chairman, the President and the Vice Presidents of the Company is hereby authorized, for and on behalf of the Company, to appoint in writing any person the attorney-in-fact of the Company with full power and authority to execute, for and on behalf of the Company, under the seal of the Company or otherwise, such Written Commitments of the Company as may be specified in such written appointment, which specification may be by general type or class of Written Commitments or by specification of one or more particular Written Commitments.
- (4) Each of the Chairman, the President and the Vice Presidents of the Company is hereby authorized, for and on behalf of the Company, to delegate in writing to any other officer of the Company the authority to execute, for and on behalf of the Company, under the Company's seal or otherwise, such Written Commitments of the Company as are specified in such written delegation, which specification may be by general type or class of Written Commitments or by specification of one or more particular Written Commitments.
- (5) The signature of any officer or other person executing any Written Commitment or appointment or delegation pursuant to this Resolution, and the seal of the Company, may be affixed by facsimile on such Written Commitment or written appointment or delegation.

FURTHER RESOLVED, that the foregoing Resolution shall not be deemed to be an exclusive statement of the powers and authority of officers, employees and other persons to act for and on behalf of the Company, and such Resolution shall not limit or otherwise affect the exercise of any such power or authority otherwise validly granted or vested."

I, Dawn M. Chloros, Assistant Secretary of WESTCHESTER FIRE INSURANCE COMPANY and ACE AMERICAN INSURANCE COMPANY (the "Companies") do hereby certify that

- (i) the foregoing Resolutions adopted by the Board of Directors of the Companies are true, correct and in full force and effect,
- (ii) the foregoing Power of Attorney is true, correct and in full force and effect.

Given under my hand and seals of said Companies at Whitehouse Station, NJ, this

DEC 04 2019



Dawn M. Chloros

Dawn M. Chloros, Assistant Secretary

IN THE EVENT YOU WISH TO VERIFY THE AUTHENTICITY OF THIS BOND OR NOTIFY US OF ANY OTHER MATTER, PLEASE CONTACT US AT:
Telephone (908) 903-3493 Fax (908) 903-3656 e-mail: surety@chubb.com

NOTES

1. THE REAL PROPERTY SHOWN HEREIN IS SUBJECT TO THE TERMS AND CONDITIONS OF THAT CERTAIN PUBLIC IMPROVEMENT AGREEMENT DATED JULY 21, 2009, EXECUTED BY THE CITY AND COUNTY OF SAN FRANCISCO AND HPS DEVELOPMENT CO, LP, AS AMENDED BY THAT FIRST AMENDMENT DATED OCTOBER 14, 2011, AND THAT SECOND AMENDMENT, DATED _____, 2018, RECORDED CONCURRENTLY HEREWITH.
2. SEE THE "MASTER DECLARATION OF COVENANTS, CONDITIONS, AND RESTRICTIONS AND GRANT AND RESERVATION OF EASEMENTS, HUNTERS POINT SHIPYARD PHASE ONE" RECORDED AUGUST 12, 2009, AS DOCUMENT NO. 2009-1815408 OF OFFICIAL RECORDS, AND ANY SUBSEQUENT MODIFICATIONS THEREOF, FOR INFORMATION ON SUBSURFACE DRAINS. THE REAL PROPERTY SHOWN HEREIN IS SUBJECT TO OTHER TERMS, CONDITIONS AND EASEMENTS CONTAINED THEREIN.
3. ADDITIONAL RESTRICTIONS AND RIGHTS PERTAINING TO THIS PROPERTY ARE DEFINED IN A DOCUMENT ENTITLED "DESIGN FOR DEVELOPMENT" ADOPTED BY THE SAN FRANCISCO REDEVELOPMENT AGENCY COMMISSION ON SEPTEMBER 30, 1997 BY RESOLUTION NO. 1997-193, AND AMENDED ON JANUARY 18, 2005 BY RESOLUTION NO. 7-2005 AND ANY SUBSEQUENT AMENDMENTS THEREOF. "DESIGN FOR DEVELOPMENT" MEANS THAT CERTAIN HUNTERS POINT SHIPYARD PHASE 1 DESIGN FOR DEVELOPMENT ORIGINALLY ADOPTED BY THE AGENCY COMMISSION ON SEPTEMBER 30, 1997 BY RESOLUTION NO. 193-1997, AMENDED BY THE AGENCY COMMISSION ON JANUARY 18, 2005 BY RESOLUTION NO. 7-2005, FURTHER AMENDED BY THE AGENCY COMMISSION ON JUNE 3, 2010 BY RESOLUTION NO. 68-2010, FURTHER AMENDED BY THE AGENCY COMMISSION ON JUNE 13, 2013, BY RESOLUTION NO. 18904, AND AS MAY BE FURTHER AMENDED OR SUPPLEMENTED FROM TIME TO TIME.
4. THE REAL PROPERTY SHOWN HEREIN IS SUBJECT TO ALL THE TERMS AND CONDITIONS OF THE AGREEMENTS, DECLARATIONS AND ALL OTHER DOCUMENTS AS REFERENCED ON THAT CERTAIN FINAL MAP 5255, RECORDED AUGUST 12, 2009, IN BOOK CC OF SURVEY MAPS, PAGES 176-185.
5. HOUSING DENSITY AND UNIT COUNT FOR THIS MAP WAS ESTABLISHED PER RESOLUTION NO. 11-2015, ADOPTED MARCH 3, 2015.



TAX CERTIFICATE

I, David Augustine, Tax Collector of the City and County San Francisco, State of California, do hereby certify, pursuant to the provisions of California Government Code Section 66492 et. seq., that according to the records of my office regarding the subdivision identified below:

1. There are no liens for unpaid City & County property taxes or special assessments collected as taxes, except taxes or assessments not yet payable.
2. The City and County property taxes and special assessments which are a lien, but not yet due, including estimated taxes, have been paid.

Block: 4591D
Lot: 001
Address: 1 - 9 Earl St

A handwritten signature in black ink, appearing to read "David Augustine".

David Augustine, Tax Collector

Dated this 21st day of February 2020. This certificate is valid for the earlier of 60 days from this date or December 31, 2020. If this certificate is no longer valid please contact the Office of Treasurer and Tax Collector at tax.certificate@sfgov.org to obtain another certificate.



TAX CERTIFICATE

I, David Augustine, Tax Collector of the City and County San Francisco, State of California, do hereby certify, pursuant to the provisions of California Government Code Section 66492 et. seq., that according to the records of my office regarding the subdivision identified below:

1. There are no liens for unpaid City & County property taxes or special assessments collected as taxes, except taxes or assessments not yet payable.
2. The City and County property taxes and special assessments which are a lien, but not yet due, including estimated taxes, have been paid.

Block: 4591D
Lot: 002
Address: 701 - 799 La Salle Ave

David Augustine, Tax Collector

Dated this 21st day of February 2020. This certificate is valid for the earlier of 60 days from this date or December 31, 2020. If this certificate is no longer valid please contact the Office of Treasurer and Tax Collector at tax.certificate@sfgov.org to obtain another certificate.



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2. The City and County property taxes and special assessments which are a lien, but not yet due, including estimated taxes, have been paid.

Block: 4591D
Lot: 003
Address: 701 - 799 La Salle Ave

A handwritten signature in black ink, appearing to read "David Augustine".

David Augustine, Tax Collector

Dated this 21st day of February 2020. This certificate is valid for the earlier of 60 days from this date or December 31, 2020. If this certificate is no longer valid please contact the Office of Treasurer and Tax Collector at tax.certificate@sfgov.org to obtain another certificate.



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Block: 4591D
Lot: 004
Address: 701 - 799 La Salle Ave

A handwritten signature in black ink, appearing to read "David Augustine".

David Augustine, Tax Collector

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TAX CERTIFICATE

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2. The City and County property taxes and special assessments which are a lien, but not yet due, including estimated taxes, have been paid.

Block: 4591D
Lot: 005
Address: 869 La Salle Ave

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Block: **4591D**
Lot: **006**
Address: **701 - 799 La Salle Ave**

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David Augustine, Tax Collector

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Block: 4591D
Lot: 007
Address: 701 - 799 La Salle Ave

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Block: 4591D
Lot: 009
Address: 801 - 899 La Salle Ave

David Augustine, Tax Collector

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Block: **4591D**
Lot: **010**
Address: **879 La Salle Ave**

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Block: 4591D
Lot: 011
Address: 801 - 899 La Salle Ave

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Block: 4591D
Lot: 012
Address: 801 - 899 La Salle Ave

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Block: **4591D**
Lot: **013**
Address: **801 - 899 La Salle Ave**

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Block: **4591D**
Lot: **014**
Address: **889 La Salle Ave**

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Block: **4591D**
Lot: **015**
Address: **801 - 899 La Salle Ave**

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Block: 4591D
Lot: 016
Address: 801 - 899 La Salle Ave

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Block: 4591D
Lot: 017
Address: 801 - 899 La Salle Ave

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Block: 4591D
Lot: 018
Address: 899 La Salle Ave

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Block: 4591D
Lot: 019
Address: 801 - 899 La Salle Ave

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Block: 4591D
Lot: 020
Address: 801 - 899 La Salle Ave

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Block: **4591D**
Lot: **021**
Address: **801 - 899 La Salle Ave**

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Block: 4591D
Lot: 022
Address: 801 - 899 La Salle Ave

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Block: 4591D
Lot: 023
Address: 801 - 899 La Salle Ave

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Block: 4591D
Lot: 024
Address: 801 - 899 La Salle Ave

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Block: 4591D
Lot: 025
Address: 801 - 899 La Salle Ave

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Block: 4591D
Lot: 026
Address: 801 - 899 La Salle Ave

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Block: **4591D**
Lot: **027**
Address: **801 - 899 La Salle Ave**

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Block: 4591D
Lot: 028
Address: 801 - 899 La Salle Ave

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Block: 4591D
Lot: 029
Address: 801 - 899 La Salle Ave

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Block: 4591D
Lot: 030
Address: 801 - 899 La Salle Ave

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Block: **4591D**
Lot: **031**
Address: **801 - 899 La Salle Ave**

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Block: 4591D
Lot: 032
Address: 801 - 899 La Salle Ave

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Block: 4591D
Lot: 033
Address: 801 - 899 La Salle Ave

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Block: 4591D
Lot: 034
Address: 801 - 899 La Salle Ave

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Block: **4591D**
Lot: **035**
Address: **801 - 899 La Salle Ave**

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Block: 4591D
Lot: 036
Address: 801 - 899 La Salle Ave

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Block: 4591D
Lot: 037
Address: 801 - 899 La Salle Ave

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Block: 4591D
Lot: 038
Address: 801 - 899 La Salle Ave

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Block: 4591D
Lot: 039
Address: 801 - 899 La Salle Ave

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Block: 4591D
Lot: 040
Address: 800 - 898 La Salle Ave

David Augustine, Tax Collector

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TAX CERTIFICATE

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1. There are no liens for unpaid City & County property taxes or special assessments collected as taxes, except taxes or assessments not yet payable.
2. The City and County property taxes and special assessments which are a lien, but not yet due, including estimated taxes, have been paid.

Block: 4591D
Lot: 041
Address: 800 - 898 La Salle Ave

David Augustine, Tax Collector

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Block: 4591D
Lot: 042
Address: 800 - 898 La Salle Ave

David Augustine, Tax Collector

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Block: 4591D
Lot: 043
Address: 800 - 898 La Salle Ave

David Augustine, Tax Collector

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Block: 4591D
Lot: 044
Address: 800 - 898 La Salle Ave

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Block: 4591D
Lot: 045
Address: 800 - 898 La Salle Ave

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Block: 4591D
Lot: 046
Address: 800 - 898 La Salle Ave

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Block: **4591D**
Lot: **047**
Address: **800 - 898 La Salle Ave**

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Block: 4591D
Lot: 048
Address: 800 - 898 La Salle Ave

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Block: 4591D
Lot: 050
Address: 800 - 898 La Salle Ave

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Block: 4591D
Lot: 051
Address: 2 - 98 Marina Green Dr

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Block: 4591D
Lot: 052
Address: 800 - 898 La Salle Ave

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Block: 4591D
Lot: 053
Address: 800 - 898 La Salle Ave

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Block: 4591D
Lot: 054
Address: 800 - 898 La Salle Ave

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Block: 4591D
Lot: 055
Address: 800 - 898 La Salle Ave

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Block: **4591D**
Lot: **057**
Address: **800 - 898 La Salle Ave**

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Block: 4591D
Lot: 058
Address: 800 - 898 La Salle Ave

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Block: **4591D**
Lot: **059**
Address: **800 - 898 La Salle Ave**

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Block: 4591D
Lot: 060
Address: 800 - 898 La Salle Ave

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Block: **4591D**
Lot: **061**
Address: **800 - 898 La Salle Ave**

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Block: **4591D**
Lot: **062**
Address: **800 - 898 La Salle Ave**

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Block: **4591D**
Lot: **064**
Address: **800 - 898 La Salle Ave**

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Block: 4591D
Lot: 065
Address: 800 - 898 La Salle Ave

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Block: 4591D
Lot: 066
Address: 800 - 898 La Salle Ave

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Block: 4591D
Lot: 067
Address: 800 - 898 La Salle Ave

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TAX CERTIFICATE

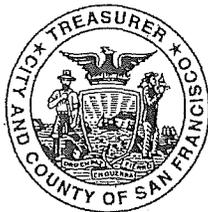
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Block: 4591D
Lot: 068
Address: 800 - 898 La Salle Ave

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Block: 4591D
Lot: 069
Address: 800 - 898 La Salle Ave

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Block: 4591D
Lot: 070
Address: 800 - 898 La Salle Ave

A handwritten signature in black ink, appearing to read "David Augustine".

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Block: 4591D
Lot: 071
Address: 800 - 898 La Salle Ave

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Block: **4591D**
Lot: **072**
Address: **800 - 898 La Salle Ave**

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Block: 4591D
Lot: 073
Address: 800 - 898 La Salle Ave

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Block: **4591D**
Lot: **074**
Address: **900 - 998 Oakdale Ave**

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Block: 4591D
Lot: 075
Address: 900 - 998 Oakdale Ave

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Block: **4591D**
Lot: **076**
Address: **900 - 998 Oakdale Ave**

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Block: 4591D
Lot: 077
Address: 900 - 998 Oakdale Ave

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2. The City and County property taxes and special assessments which are a lien, but not yet due, including estimated taxes, have been paid.

Block: 4591D
Lot: 078
Address: 900 - 998 Oakdale Ave

A handwritten signature in black ink, appearing to read "David Augustine".

David Augustine, Tax Collector

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Block: 4591D
Lot: 079
Address: 900 - 998 Oakdale Ave

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Block: **4591D**
Lot: **080**
Address: **900 - 998 Oakdale Ave**

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Block: 4591D
Lot: 081
Address: 900 - 998 Oakdale Ave

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Block: **4591D**
Lot: **082**
Address: **900 - 998 Oakdale Ave**

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Block: 4591D
Lot: 083
Address: 900 - 998 Oakdale Ave

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Block: **4591D**
Lot: **084**
Address: **900 - 998 Oakdale Ave**

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Block: **4591D**
Lot: **085**
Address: **900 - 998 Oakdale Ave**

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Lot: **086**
Address: **900 - 998 Oakdale Ave**

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Lot: 087
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Block: 4591D
Lot: 088
Address: 900 - 998 Oakdale Ave

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Lot: 089
Address: 900 - 998 Oakdale Ave

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Lot: 090
Address: 900 - 998 Oakdale Ave

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Block: 4591D
Lot: 091
Address: 900 - 998 Oakdale Ave

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Block: **4591D**
Lot: **092**
Address: **900 - 998 Oakdale Ave**

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Block: 4591D
Lot: 093
Address: 900 - 998 Oakdale Ave

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Block: 4591D
Lot: 097
Address: 901 - 999 Oakdale Ave

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Block: 4591D
Lot: 098
Address: 901 - 999 Oakdale Ave

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Block: 4591D
Lot: 099
Address: 901 - 999 Oakdale Ave

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Block: 4591D
Lot: 100
Address: 901 - 999 Oakdale Ave

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Block: 4591D
Lot: 101
Address: 901 - 999 Oakdale Ave

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Block: 4591D
Lot: 102
Address: 901 - 999 Oakdale Ave

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Block: 4591D
Lot: 103
Address: 901 - 999 Oakdale Ave

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Block: 4591D
Lot: 104
Address: 901 - 999 Oakdale Ave

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Block: 4591D
Lot: 105
Address: 901 - 999 Oakdale Ave

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Block: 4591D
Lot: 106
Address: 901 - 999 Oakdale Ave

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Lot: 107
Address: 901 - 999 Oakdale Ave

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Block: 4591D
Lot: 108
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Lot: 113
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Lot: **115**
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I, David Augustine, Tax Collector of the City and County San Francisco, State of California, do hereby certify, pursuant to the provisions of California Government Code Section 66492 et. seq., that according to the records of my office regarding the subdivision identified below:

1. There are no liens for unpaid City & County property taxes or special assessments collected as taxes, except taxes or assessments not yet payable.
2. The City and County property taxes and special assessments which are a lien, but not yet due, including estimated taxes, have been paid.

Block: 4591D
Lot: 116
Address: 901 - 999 Oakdale Ave

David Augustine, Tax Collector

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Block: 4591D
Lot: 117
Address: 901 - 999 Oakdale Ave

A handwritten signature in black ink, appearing to read "David Augustine".

David Augustine, Tax Collector

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Block: 4591D
Lot: 118
Address: 901 - 999 Oakdale Ave

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David Augustine, Tax Collector

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Block: 4591D
Lot: 119
Address: 901 - 999 Oakdale Ave

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Block: 4591D
Lot: 120
Address: 901 - 999 Oakdale Ave

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Block: **4591D**
Lot: **121**
Address: **901 - 999 Oakdale Ave**

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Block: 4591D
Lot: 122
Address: 901 - 999 Oakdale Ave

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Block: 4591D
Lot: 123
Address: 901 - 999 Oakdale Ave

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Block: 4591D
Lot: 124
Address: 901 - 999 Oakdale Ave

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Block: 4591D
Lot: 125
Address: 901 - 999 Oakdale Ave

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Block: 4591D
Lot: 126
Address: 901 - 999 Oakdale Ave

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Block: 4591D
Lot: 127
Address: 901 - 999 Oakdale Ave

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Block: 4591D
Lot: 128
Address: 901 - 999 Oakdale Ave

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Block: 4591D
Lot: 129
Address: 901 - 999 Oakdale Ave

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Block: 4591D
Lot: 130
Address: 901 - 999 Oakdale Ave

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Block: 4591D
Lot: 131
Address: 901 - 999 Oakdale Ave

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2124

OWNER'S STATEMENT

WE HEREBY STATE THAT WE ARE THE OWNERS AND THE HOLDERS OF SECURITY INTEREST OR HAVE SOME RIGHT, TITLE, OR INTEREST IN AND TO THE REAL PROPERTY INCLUDED WITHIN THE SUBDIVISION SHOWN ON THIS MAP; THAT WE ARE THE ONLY PERSONS HAVING ANY RECORD TITLE INTEREST IN THE SUBDIVIDED PROPERTY WHOSE CONSENT IS NECESSARY TO PASS CLEAR TITLE TO SAID REAL PROPERTY; AND THAT WE HEREBY CONSENT TO PREPARATION AND RECORDATION OF THIS FINAL MAP NO. 8573 AS SHOWN WITHIN THE DISTINCTIVE BORDER LINE.

THE AREAS DESIGNATED HEREIN AS PRIVATE STORM DRAIN AND RETAINING WALL CASEMENT (SORME) SHALL BE GRANTED TO THE HUNTERS POINT MASTER HOMEOWNERS ASSOCIATION OR SUB-ASSOCIATION, THEIR RESPECTIVE SUCCESSORS OR ASSIGNS, BY SEPARATE DOCUMENT IN ACCORDANCE WITH THE MASTER DECLARATION OF RESTRICTIONS (AS IS REFERENCED ON SHEET 2 NOTES, ITEM 2).

HP'S DEVELOPMENT CO., LP, A DELAWARE LIMITED PARTNERSHIP

BY: CP/HP'S DEVELOPMENT CO. GP, LLC, A DELAWARE LIMITED LIABILITY COMPANY, ITS GENERAL PARTNER



RYAN HAUDK
VICE-PRESIDENT

11-22-19
DATE

OWNER'S ACKNOWLEDGEMENT

A NOTARY PUBLIC OR OTHER OFFICER COMPLETING THIS CERTIFICATE VERIFIES ONLY THE IDENTITY OF THE INDIVIDUAL WHO SIGNED THE DOCUMENT TO WHICH THIS CERTIFICATE IS ATTACHED, AND NOT THE TRUTHFULNESS, ACCURACY, OR VALIDITY OF THAT DOCUMENT.

STATE OF California
COUNTY OF Contra Costa

ON November 22, 2019, BEFORE ME, Elizabeth Neal, A NOTARY PUBLIC, PERSONALLY APPEARED Ryan Haudk, WHO PROVED TO ME ON THE BASIS OF SATISFACTORY EVIDENCE TO BE THE PERSON(S) WHOSE NAME(S) IS/ARE SUBSCRIBED TO THE WITHIN INSTRUMENT AND ACKNOWLEDGED TO ME THAT HE/SHE/IT/WE EXECUTED THE SAME IN HIS/HER/HEM AUTHORIZED CAPACITY(IES), AND THAT BY HIS/HER/HEM SIGNATURE(S) ON THE INSTRUMENT THE PERSON(S), OR THE ENTITY UPON BEHALF OF WHICH THE PERSON(S) ACTED, EXECUTED THE INSTRUMENT.

I CERTIFY UNDER PENALTY OF PERJURY UNDER THE LAWS OF THE STATE OF CALIFORNIA THAT THE FOREGOING PARAGRAPH IS TRUE AND CORRECT.

WITNESS MY HAND AND OFFICIAL SEAL:
SIGNATURE: Elizabeth Neal
NAME (PRINT): Elizabeth Neal

(NOTE: SEAL OPTIONAL IF THE FOLLOWING INFORMATION IS COMPLETED)
PRINCIPAL COUNTY OF BUSINESS: Contra Costa
MY COMMISSION NUMBER: 2187347
MY COMMISSION EXPIRES: Mar 20, 2021

RECORDER'S STATEMENT

FILED THIS _____ DAY OF _____, 20____
AT _____, IN BOOK _____ OF CONDOMINIUM MAPS, AT
PAGES _____ AT THE REQUEST OF NORTH AMERICAN TITLE COMPANY.

BY: _____
COUNTY RECORDER
CITY AND COUNTY OF SAN FRANCISCO
STATE OF CALIFORNIA

FIELD SURVEY COMPLETION STATEMENT

THE FIELD SURVEY FOR THIS MAPS WAS COMPLETED ON OCTOBER 23, 2014. ALL PHYSICAL DETAILS INCLUDING CITY AND PRIVATE MONUMENTATION SHOWN HEREON EXISTED AS OF THE FIELD SURVEY COMPLETION DATE, UNLESS OTHERWISE NOTED.

FINAL MAP NO. 8573

A 404 UNIT RESIDENTIAL CONDOMINIUM PROJECT
BEING A MERGER AND 17 LOT SUBDIVISION OF
LOTS J - 89 AND 92 - 127, AS SHOWN ON THAT CERTAIN
FINAL MAP NO. 3255, FILED AUGUST 12, 2009,
IN BOOK CC OF SURVEY MAPS, AT PAGE 176
CITY AND COUNTY OF SAN FRANCISCO, STATE OF CALIFORNIA.

Carlson, Barbee & Gibson, Inc.
CIVIL ENGINEERS • SURVEYORS • PLANNERS
SAN RAMON, CALIFORNIA
NOVEMBER 2019

SURVEYOR'S STATEMENT

THIS MAP WAS PREPARED BY ME OR UNDER MY DIRECTION AND IS BASED UPON A FIELD SURVEY IN CONFORMANCE WITH THE REQUIREMENTS OF THE SUBDIVISION MAP ACT AND LOCAL ORDINANCE AT THE REQUEST OF HPS DEVELOPMENT COMPANY IN MAY 2015. I HEREBY STATE THAT ALL THE MONUMENTS ARE OF THE CHARACTER AND OCCUPY THE POSITIONS INDICATED OR THAT THEY WILL BE SET IN THOSE POSITIONS BEFORE DECEMBER 31, 2022, AND THAT THE MONUMENTS ARE SUFFICIENT TO ENABLE THE SURVEY TO BE RETRACTED, AND THAT THIS FINAL MAP SUBSTANTIALLY CONFORMS TO THE CONDITIONALLY APPROVED TENTATIVE MAP.

Sabrina Kyle Pack
SABRINA KYLE PACK
PLS. 0164



2/18/19
DATE

CITY AND COUNTY SURVEYOR'S STATEMENT

I HEREBY STATE THAT I HAVE EXAMINED THIS MAP; THAT THE SUBDIVISION AS SHOWN IS SUBSTANTIALLY THE SAME AS IT APPEARED ON THE TENTATIVE MAP, AND ANY APPROVED ALTERATIONS THEREOF; THAT ALL PROVISIONS OF THE CALIFORNIA SUBDIVISION MAP ACT AND ANY LOCAL ORDINANCES APPLICABLE AT THE TIME OF APPROVAL OF THE TENTATIVE MAP HAVE BEEN COMPLIED WITH; AND THAT I AM SATISFIED THIS MAP IS TECHNICALLY CORRECT.

BRUCE R. STORRS, CITY AND COUNTY SURVEYOR
CITY AND COUNTY OF SAN FRANCISCO

Bruce R. Storrs
BRUCE R. STORRS, LS 9314

DATE: 2/25/2020



APPROVALS

THIS MAP IS APPROVED THIS 28 DAY OF February 2020 BY ORDER NO.

Albi Deaforio
DIRECTOR OF PUBLIC WORKS AND ADVISORY AGENCY
CITY AND COUNTY OF SAN FRANCISCO
STATE OF CALIFORNIA

DATE: 2/28/2020

APPROVED AS TO FORM

DENNIS J. HERRERA, CITY ATTORNEY
Dennis J. Herrera
DEPUTY CITY ATTORNEY
CITY AND COUNTY OF SAN FRANCISCO

BOARD OF SUPERVISOR'S APPROVAL

ON _____ 20_____, THE BOARD OF SUPERVISOR'S OF THE CITY AND COUNTY OF SAN FRANCISCO, STATE OF CALIFORNIA APPROVED AND PASSED MOTION NO. _____ A COPY OF WHICH IS ON FILE IN THE OFFICE OF THE BOARD OF SUPERVISOR'S IN FILE NO. _____

TAX STATEMENT

I, ANGELA CALVILLO, CLERK OF THE BOARD OF SUPERVISORS OF THE CITY AND COUNTY OF SAN FRANCISCO, STATE OF CALIFORNIA DO HEREBY STATE THAT THE SUBDIVIDER HAS FILED A STATEMENT FROM THE TREASURER AND TAX COLLECTOR OF THE CITY AND COUNTY OF SAN FRANCISCO, SHOWING THAT ACCORDING TO THE RECORDS OF HIS OR HER OFFICE THERE ARE NO LIENS AGAINST THIS SUBDIVISION OR ANY PART THEREOF FOR UNPAID STATE, COUNTY, MUNICIPAL OR LOCAL TAXES, OR SPECIAL ASSESSMENTS COLLECTED AS TAXES.

DATED THIS _____ DAY OF _____ 20____

CLERK OF THE BOARD OF SUPERVISORS
CITY AND COUNTY OF SAN FRANCISCO
STATE OF CALIFORNIA

CLERK'S STATEMENT

I, ANGELA CALVILLO, CLERK OF THE BOARD OF SUPERVISORS OF THE CITY AND COUNTY OF SAN FRANCISCO, STATE OF CALIFORNIA, HEREBY STATE THAT SAID BOARD OF SUPERVISORS BY ITS MOTION NO. _____ ADOPTED _____ 20____ APPROVED THIS MAP ENTITLED "FINAL MAP NO. 8573".

IN TESTIMONY WHEREOF I HAVE HEREUNTO SUBSCRIBED MY HAND AND CAUSED THE SEAL OF THIS OFFICE TO BE AFFIXED.

CLERK OF THE BOARD OF SUPERVISORS
CITY AND COUNTY OF SAN FRANCISCO
STATE OF CALIFORNIA

NOTES

1. THE REAL PROPERTY SHOWN HEREIN IS SUBJECT TO THE TERMS AND CONDITIONS OF THAT CERTAIN PUBLIC IMPROVEMENT AGREEMENT DATED JULY 21, 2009, EXECUTED BY THE CITY AND COUNTY OF SAN FRANCISCO AND HPS DEVELOPMENT CO. LP, AS AMENDED BY THAT FIRST AMENDMENT DATED OCTOBER 14, 2011, AND THAT SECOND AMENDMENT, DATED _____, RECORDED CONCURRENTLY HERewith.
2. SEE THE "MASTER DECLARATION OF COVENANTS, CONDITIONS, AND RESTRICTIONS AND GRANT AND RESERVATION OF EASEMENTS, HUNTERS POINT SHIPYARD PHASE ONE" RECORDED AUGUST 12, 2009, AS DOCUMENT NO. 2009-1815408 OF OFFICIAL RECORDS, AND ANY SUBSEQUENT MODIFICATIONS THEREOF, FOR INFORMATION ON SUBSURFACE DRAINS. THE REAL PROPERTY SHOWN HEREIN IS SUBJECT TO OTHER TERMS, CONDITIONS AND EASEMENTS CONTAINED THEREIN.
3. ADDITIONAL RESTRICTIONS AND RIGHTS PERTAINING TO THIS PROPERTY ARE DEFINED IN A DOCUMENT ENTITLED "DESIGN FOR DEVELOPMENT" ADOPTED BY THE SAN FRANCISCO REDEVELOPMENT AGENCY COMMISSION ON SEPTEMBER 30, 1997 BY RESOLUTION NO. 1997-183, AND AMENDED ON JANUARY 18, 2005 BY RESOLUTION NO. 7-2005 AND ANY SUBSEQUENT AMENDMENTS THEREOF. "DESIGN FOR DEVELOPMENT" MEANS THAT CERTAIN HUNTERS POINT SHIPYARD PHASE 1 DESIGN FOR DEVELOPMENT ORIGINALLY ADOPTED BY THE AGENCY COMMISSION ON SEPTEMBER 30, 1997 BY RESOLUTION NO. 193-1997, AMENDED BY THE AGENCY COMMISSION ON JANUARY 18, 2005 BY RESOLUTION NO. 7-2005, FURTHER AMENDED BY THE AGENCY COMMISSION ON JUNE 3, 2010 BY RESOLUTION NO. 68-2010, FURTHER AMENDED BY THE AGENCY COMMISSION ON JUNE 13, 2013, BY RESOLUTION NO. 18904, AND AS MAY BE FURTHER AMENDED OR SUPPLEMENTED FROM TIME TO TIME.
4. THE REAL PROPERTY SHOWN HEREIN IS SUBJECT TO ALL THE TERMS AND CONDITIONS OF THE AGREEMENTS, DECLARATIONS AND ALL OTHER DOCUMENTS AS REFERENCED ON THAT CERTAIN FINAL MAP 5255, RECORDED AUGUST 12, 2009, IN BOOK CC OF SURVEY MAPS, PAGES 176-185.
5. HOUSING DENSITY AND UNIT COUNT FOR THIS MAP WAS ESTABLISHED PER RESOLUTION NO. 11-2015, ADOPTED MARCH 3, 2015.

GENERAL NOTES FOR CONDOMINIUM LOTS

- A) THIS MAP IS THE SURVEY MAP PORTION OF A CONDOMINIUM PLAN AS DESCRIBED IN CALIFORNIA CIVIL CODE SECTIONS 4120 AND 4265. THIS CONDOMINIUM PROJECT IS LIMITED TO 404 MAXIMUM NUMBER OF DWELLING UNITS. SEE LOT TABLE ON SHEET 3 FOR UNIT ALLOCATIONS.
- B) ALL INGRESS (ES), EGRESS (ES), PATH(S) OF TRAVEL, FIRE/EMERGENCY EXIT(S) AND EXITING COMPONENTS, EXIT PATHWAY(S) AND PASSAGEWAY(S), STAIRWAY(S), CORRIDOR(S), ELEVATOR(S), AND COMMON USE ACCESSIBLE FEATURE(S) AND FACILITIES SUCH AS RESTROOMS THAT THE BUILDING CODE REQUIRES FOR COMMON USE SHALL BE HELD IN COMMON UNDIVIDED INTEREST.
- C) UNLESS SPECIFIED OTHERWISE IN THE GOVERNING DOCUMENTS OF A CONDOMINIUM HOMEOWNERS' ASSOCIATION, INCLUDING ITS CONDITIONS, COVENANTS, AND RESTRICTIONS, THE HOMEOWNERS ASSOCIATION SHALL BE RESPONSIBLE, IN PERPETUITY, FOR THE MAINTENANCE, REPAIR, AND REPLACEMENT OF:
- (i) ALL GENERAL USE COMMON AREA IMPROVEMENTS; AND
 - (ii) ALL FRONTING SIDEWALKS, ALL PERMITTED OR UNPERMITTED PRIVATE ENCRoACHMENTS AND PRIVATELY MAINTAINED STREET TREES FRONTING THE PROPERTY, AND ANY OTHER OBLIGATION IMPOSED ON PROPERTY OWNERS FRONTING A PUBLIC RIGHT-OF-WAY PURSUANT TO THE PUBLIC WORKS CODE OR OTHER APPLICABLE MUNICIPAL CODES

D) IN THE EVENT THE AREAS IDENTIFIED IN (C)(II) ARE NOT PROPERLY MAINTAINED, REPAIRED, AND REPLACED ACCORDING TO THE CITY REQUIREMENTS, EACH HOMEOWNER SHALL BE RESPONSIBLE TO THE EXTENT OF HIS/HER PROPORTIONATE OBLIGATION TO THE HOMEOWNERS' ASSOCIATION FOR THE MAINTENANCE, REPAIR, AND REPLACEMENT OF THOSE AREAS. FAILURE TO UNDERTAKE SUCH MAINTENANCE, REPAIR, AND REPLACEMENT MAY RESULT IN CITY ENFORCEMENT AND ABATEMENT ACTIONS AGAINST THE HOMEOWNERS' ASSOCIATION AND/OR THE INDIVIDUAL HOMEOWNERS, WHICH MAY INCLUDE, BUT NOT BE LIMITED TO IMPOSITION OF A LIEN AGAINST THE HOMEOWNER'S PROPERTY.

E) APPROVAL OF THIS MAP SHALL NOT BE DEEMED APPROVAL OF THE DESIGN, LOCATION, SIZE, DENSITY OR USE OF ANY STRUCTURE(S) OR ANCILLARY AREAS OF THE PROPERTY ASSOCIATED WITH STRUCTURES, NEW OR EXISTING, WHICH HAVE NOT BEEN REVIEWED OR APPROVED BY APPROPRIATE CITY AGENCIES NOR SHALL SUCH APPROVAL CONSTITUTE A WAIVER OF THE SUBDIVIDER'S OBLIGATION TO ABATE ANY OUTSTANDING MUNICIPAL CODE VIOLATIONS. ANY STRUCTURES CONSTRUCTED SUBSEQUENT TO APPROVAL OF THIS FINAL MAP SHALL COMPLY WITH ALL RELEVANT MUNICIPAL CODES, INCLUDING BUT NOT LIMITED TO THE PLANNING, HOUSING AND BUILDING CODES, IN EFFECT AT THE TIME OF ANY APPLICATION FOR REQUIRED PERMITS.

F) BAY WINDOWS, FIRE ESCAPES AND OTHER ENCRoACHMENTS (IF ANY SHOWN HEREON, THAT EXIST, OR THAT MAY BE CONSTRUCTED) ONTO OR OVER OAKDALE AVENUE AND LA SALLE AVENUE (FORMERLY NAVY ROAD) ARE PERMITTED THROUGH AND ARE SUBJECT TO THE RESTRICTIONS SET FORTH IN THE BUILDING CODE AND PLANNING CODE OF THE CITY AND COUNTY OF SAN FRANCISCO. THIS MAP DOES NOT CONVEY ANY OWNERSHIP INTEREST IN SUCH ENCRoACHMENT AREAS TO THE CONDOMINIUM UNIT OWNER(S).

G) SIGNIFICANT ENCRoACHMENTS, TO THE EXTENT THEY WERE VISIBLE AND OBSERVED, ARE NOTED HEREON. HOWEVER, IT IS ACKNOWLEDGED THAT OTHER ENCRoACHMENTS FROM/ONTO ADJOINING PROPERTIES MAY EXIST OR BE CONSTRUCTED. IT SHALL BE THE RESPONSIBILITY SOLELY OF THE PROPERTY OWNERS INVOLVED TO RESOLVE ANY ISSUES THAT MAY ARISE FROM ANY ENCRoACHMENTS WHETHER DETECTED HEREON OR NOT. THIS MAP DOES NOT PURPORT TO CONVEY ANY OWNERSHIP INTEREST IN AN ENCRoACHMENT AREA TO ANY PROPERTY OWNER.

H) NO INGRESS OR EGRESS SHALL BE ALLOWED THROUGH OR ACROSS ADJOINING OPEN SPACE LOTS TO ACCESS PRIVATE DEVELOPMENT LOTS.

I) NO PUBLIC UTILITY MAINS SHALL CROSS THROUGH OPEN SPACE LOTS. ALL UTILITY MAINS SHALL BE PLACED WITH THE PUBLIC STREET RIGHT OF WAY, EXCEPT AS OTHERWISE DEVOTED BY A PUBLIC SERVICE EASEMENT.

J) NO PRIVATE UTILITY CONNECTIONS SERVICING THE PRIVATE DEVELOPMENTS SHALL CROSS THROUGH OPEN SPACE LOTS, EXCEPT THOSE NEEDED TO SERVE THAT OPEN SPACE LOT.

K) NO SURFACE-MOUNTED PRIVATE UTILITY INFRASTRUCTURE RELATED TO BUILDING PARCELS OR CLEARANCES FOR SUCH UTILITY INFRASTRUCTURE (METERS, PEDESTALS, VALVES, ENCLOSURES, ETC. THAT REQUIRE WORKING CLEARANCES) SHALL BE LOCATED ON OR ADJACENT TO THE OPEN SPACE LOT OR THE PUBLIC STREET RIGHT-OF-WAY FRONTAGE OF THE OPEN SPACE LOTS.

FINAL MAP NO. 8573

A 404 UNIT RESIDENTIAL CONDOMINIUM PROJECT BEING A MERGER AND 17 LOT SUBDIVISION OF LOTS 1 - 89 AND 93 - 127, AS SHOWN ON THAT CERTAIN FINAL MAP NO. 5255, FILED AUGUST 12, 2009, IN BOOK CC OF SURVEY MAPS, AT PAGE 176 CITY AND COUNTY OF SAN FRANCISCO, STATE OF CALIFORNIA.

Carlson, Barbee & Gibson, Inc.
CIVIL ENGINEERS • SURVEYORS • PLANNERS
SAN FRANCISCO, CALIFORNIA
NOVEMBER 2019

2125

LOT INFORMATION			
LOT NO.	AREA	ASSESSOR'S LOT NO.	CONDO UNITS
LOT 1	0.38 AC±	45910-144	11
LOT 2	0.25 AC±	45910-145	8
LOT 3	0.31 AC±	45910-146	18
LOT 4	0.38 AC±	45910-147	10
LOT 5	0.32 AC±	45910-148	40
LOT 6	0.32 AC±	45910-149	15
LOT 7	0.58 AC±	45910-150	26
LOT 8	0.27 AC±	45910-151	14
LOT 9	0.33 AC±	45910-152	15
LOT 10	0.32 AC±	45910-153	40
LOT 11	0.79 AC±	45910-154	34
LOT 12	0.33 AC±	45910-155	16
LOT 13	0.52 AC±	45910-156	44
LOT 14	0.33 AC±	45910-157	40
LOT 15	0.34 AC±	45910-158	22
LOT 16	0.27 AC±	45910-159	12
LOT 17	0.58 AC±	45910-160	39
TOTALS:	6.82 AC±		404

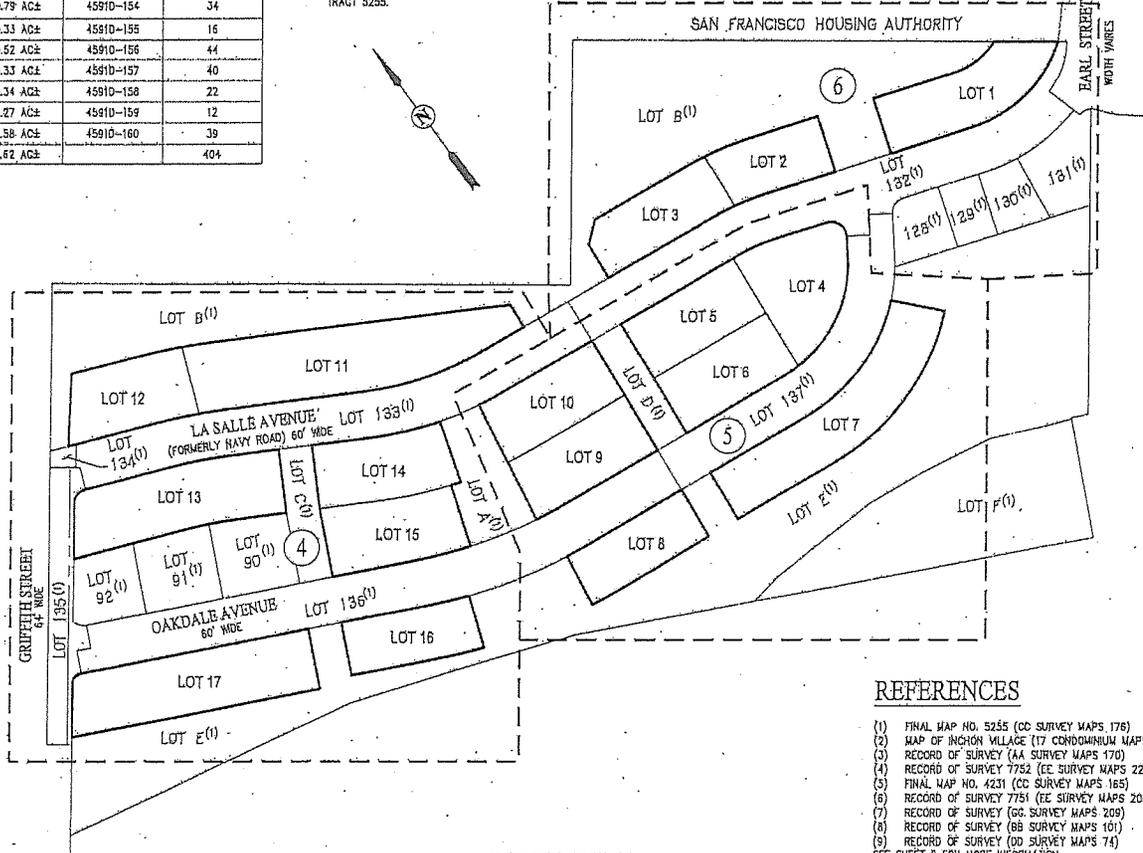
NOTES

- 1) ALL DISTANCES ARE GROUND DISTANCES SHOWN IN U.S. SURVEY FEET AND DECIMALS THEREOF.
- 2) THE PROPOSED ASSESSOR PARCEL NUMBERS SHOWN HEREON ARE FOR INFORMATIONAL USE ONLY AND SHOULD NOT BE RELIED UPON FOR ANY OTHER PURPOSE.
- 3) PER DISCUSSIONS WITH CCSF BUREAU OF STREET USE AND MAPPING, THE WELL MONUMENTS PER FM 5255(1) WILL NOT BE SET; REPLACEMENT MONUMENTS TO SERVE THE SAME PURPOSE SHALL BE SET AS INDICATED IN THE SCHEDULES. 1" BRASS CAPS IN CONCRETE SHOWN TO BE SET PER FM 5255(1) WILL BE SET PER THIS MAP, AT 4' OFFSETS PERPENDICULAR OR RADIAL TO EACH CORNER.
- 4) OAKDALE AVENUE AND LA SALLE AVENUE (FORMERLY NAVY ROAD) HAVE BEEN OFFERED FOR DEDICATION PER DN 2009-1 B154DS.
- 5) INTENTIONALLY DELETED.
- 6) SEE SHEETS 7 AND 8 FOR ADDITIONAL INFORMATION ON THE TRACT LINES OF FM 5255(1) AND FM 4231(5).
- 7) LOTS A, B, C, D, E AND F DELINEATED ON THE MAP OF TRACT 5255 (CC SURVEY MAPS 176), SHOWN AS ADJACENT PROPERTIES TO THE LOTS DELINEATED ON THIS MAP (TRACT 8573), ARE DESIGNATED AS OPEN SPACE ON SAID MAP OF TRACT 5255.

FOUND US NAVY MON(4)(5)(6)
NEAR THE INTERSECTION OF
MINES AVENUE AND EARL STREET
N 2,093,822.933 FEET (GRID)(4)(8)
E 6,020,345.522 FEET (GRID)(4)(6)
N37°08'31"E 10658.055'(GRID)(M-1)
10658.810'(GROUND)(M-1)(4)(6)

N42°03'23"E 804.10'(M-PL)
(GROUND)(CALCULATED)

FOUND SF CONTROL POINT
"CANDLESTICK", HIGH D CA 04 OF
PID-AB7879 (4)(6)
N 2,085,198.546 FEET (GRID)(4)(6)
E 6,013,911.478 FEET (GRID)(4)(6)



LEGEND

- SUBDIVISION BOUNDARY LINE
- LOT LINE
- EXISTING PROPERTY LINE
- CENTERLINE
- MONUMENT LINE
- LOT LINE TO BE REMOVED
- EASEMENT LINE
- THE LINE
- (M-PL) MONUMENT TO PROPERTY LINE
- (M-M) MONUMENT TO MONUMENT
- (R) RADIAL
- (T) TOTAL
- (#) INDICATES REFERENCE NUMBER
- ⊗ 2.5" BRASS DISK IN MONUMENT WELL PER(1), WILL NOT BE SET (SEE NOTE 3)
- ⊙ SET 1" BRASS DISK IN CONCRETE, STAMPED LS 8164 (SEE NOTE 3)
- ⊙ FOUND OTHER MONUMENT AS NOTED
- ⊙ FOUND 1.5" IRON PIPE, ROE 14786 PER(1), OR AS NOTED
- ⊙ SET 2.5" BRASS DISK IN MONUMENT WELL OR IRON PIPE WITH 2.5" BRASS DISK IN DIRT, LS 8164
- ⊙ SET 5/8" REBAR AND GAP OR 1" BRASS DISK IN CONCRETE, LS 8164
- ⊙ SNF SEARCHED FOR, NOT FOUND
- AB ASSESSOR'S BLOCK NO.
- CCSF CITY AND COUNTY OF SAN FRANCISCO
- SOWRE STORM DRAIN AND RETAINING WALL EASEMENT
- ④ SHEET LIMIT
- ④ SHEET NUMBER

BASIS OF BEARINGS

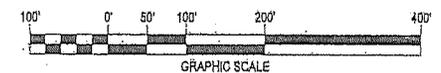
THE BASIS OF BEARINGS FOR THIS SURVEY IS BETWEEN "US NAVY MONUMENT" AND "CANDLESTICK", THE BEARING BEING N37°08'31"E PER RECORD OF SURVEY 7751 (CC SURVEY MAPS 208).

FINAL MAP NO. 8573

A 404 UNIT RESIDENTIAL CONDOMINIUM PROJECT
BEING A MERGER AND 17 LOT SUBDIVISION OF
LOTS 1 - 89 AND 93 - 127, AS SHOWN ON THAT CERTAIN
FINAL MAP NO. 5255, FILED AUGUST 12, 2009,
IN BOOK CC OF SURVEY MAPS, AT PAGE 176
CITY AND COUNTY OF SAN FRANCISCO, STATE OF CALIFORNIA.

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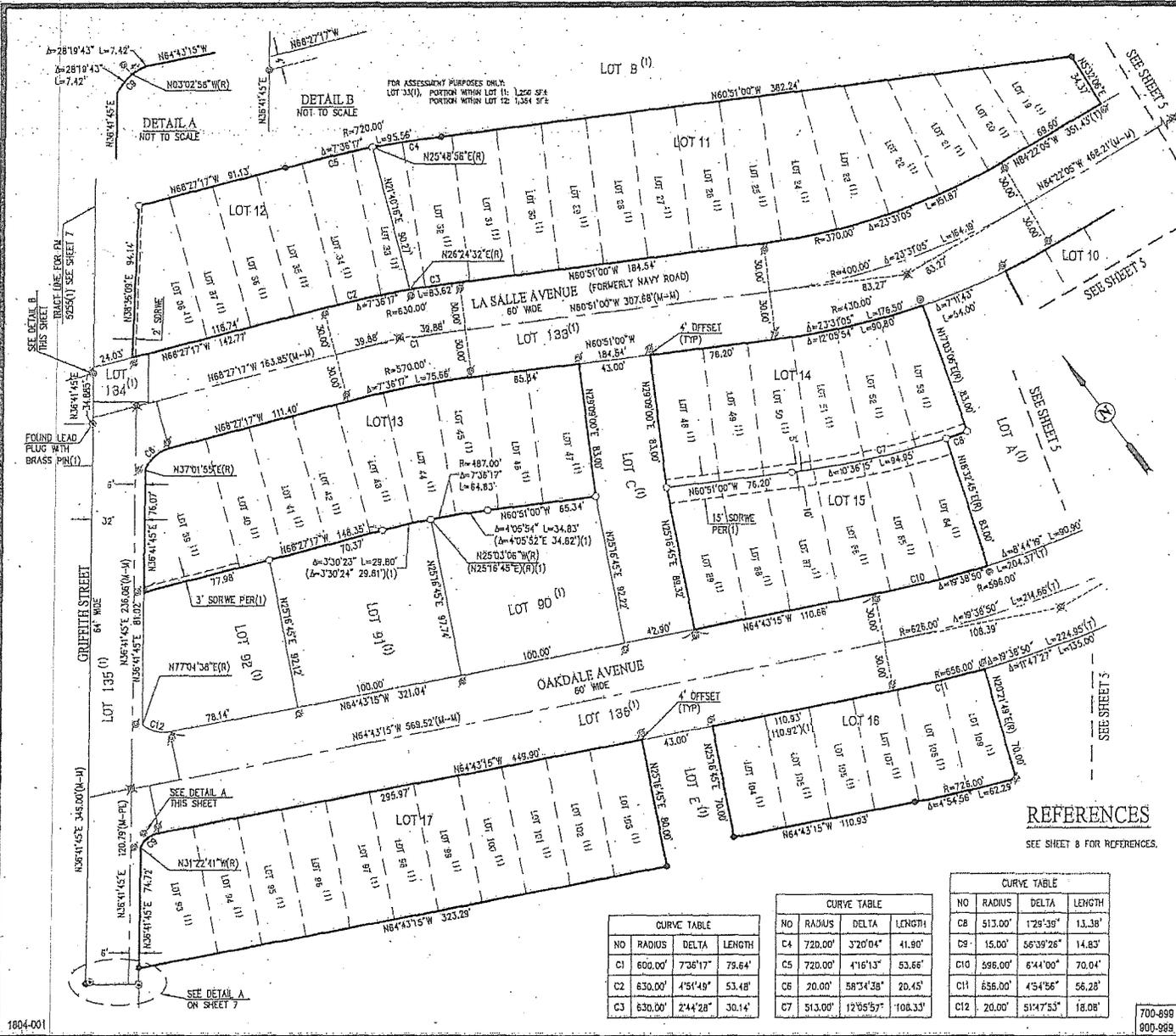
SCALE: 1" = 100' NOVEMBER 2019



REFERENCES

- (1) FINAL MAP NO. 5255 (CC SURVEY MAPS 176)
 - (2) MAP OF INCHON VILLAGE 117 CONDOMINIUM MAPS 112)
 - (3) RECORD OF SURVEY (AA SURVEY MAPS 170)
 - (4) RECORD OF SURVEY 7752 (CC SURVEY MAPS 220)
 - (5) FINAL MAP NO. 4231 (CC SURVEY MAPS 165)
 - (6) RECORD OF SURVEY 7751 (CC SURVEY MAPS 208)
 - (7) RECORD OF SURVEY (CC SURVEY MAPS 209)
 - (8) RECORD OF SURVEY (BB SURVEY MAPS 101)
 - (9) RECORD OF SURVEY (DD SURVEY MAPS 74)
- SEE SHEET 8 FOR MORE INFORMATION

INDEX SHEET



LEGEND

- SUBDIVISION BOUNDARY LINE
- LOT LINE
- EXISTING PROPERTY LINE
- CENTERLINE
- MONUMENT LINE
- LOT LINE TO BE REMOVED
- EASEMENT LINE
- THE LINE
- (M-PL) MONUMENT TO PROPERTY LINE
- (M-M) MONUMENT TO MONUMENT
- (R) RADIAL
- (T) TOTAL
- (I) INDICATES REFERENCE NUMBER
- ⊗ 2.5" BRASS DISK IN MONUMENT WELL PER(1), WILL NOT BE SET (SEE NOTE 3)
- ⊙ SET 1" BRASS DISK IN CONCRETE, STAMPED LS 8164 (SEE NOTE 3)
- ⊕ FOUND OTHER MONUMENT AS NOTED
- ⊖ FOUND 1.5" IRON PIPE, RC1 14786 PER(1), OR AS NOTED
- ⊗ SET 2.5" BRASS DISK IN MONUMENT WELL OR IRON PIPE WITH 2.5" BRASS DISK IN DIRT, LS 8164
- ⊙ SET 5/8" REBAR AND CAP OR 1" BRASS DISK IN CONCRETE, LS 8164
- ⊗ SNT SEARCHED FOR, NOT FOUND
- AJ ASSESSOR'S BLOCK NO.
- CCSF CITY AND COUNTY OF SAN FRANCISCO
- SDWRE STORM DRAIN AND RETAINING WALL EASEMENT
- SHEET LIMIT

NOTES

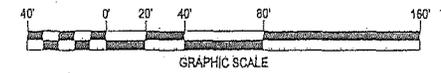
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- 4) OAKDALE AVENUE AND LA SALLE AVENUE (FORMERLY NAVY ROAD) HAVE BEEN OFFERED FOR DEDICATION PER DM 2009-1 816405.
- 5) SEE SHEET 3 FOR BASIS OF BEARINGS.
- 6) SEE SHEETS 7 AND 8 FOR ADDITIONAL INFORMATION ON THE TRACT LINES OF FM 5255(1) AND FM 4231(5).

FINAL MAP NO. 8573

A 404 UNIT RESIDENTIAL CONDOMINIUM PROJECT
 BEING A MERGER AND 17 LOT SUBDIVISION OF
 LOTS 1 - 89 AND 93 - 127, AS SHOWN ON THAT CERTAIN
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 IN BOOK CC OF SURVEY MAPS, AT PAGE 176
 CITY AND COUNTY OF SAN FRANCISCO, STATE OF CALIFORNIA.

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 SAN RAMON, CALIFORNIA

SCALE: 1" = 40' NOVEMBER 2019



REFERENCES

SEE SHEET 8 FOR REFERENCES.

CURVE TABLE			
NO	RADIUS	DELTA	LENGTH
C1	600.00'	73°17'	79.64'
C2	630.00'	45°149'	53.48'
C3	630.00'	244°28'	30.14'

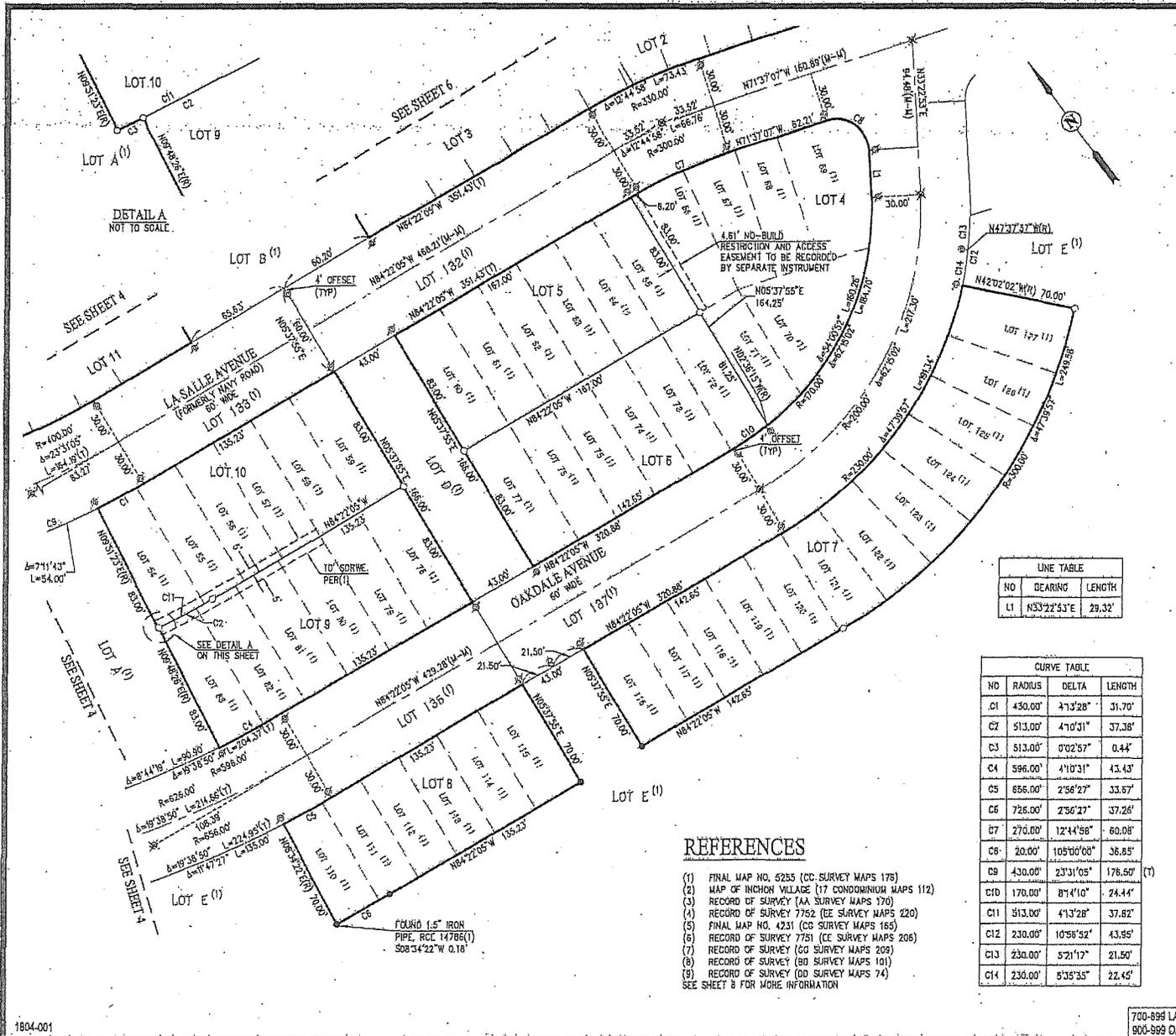
CURVE TABLE			
NO	RADIUS	DELTA	LENGTH
C4	720.00'	320°04'	41.90'
C5	720.00'	4°16'13"	63.66'
C6	20.00'	58°34'38"	20.45'
C7	513.00'	12°05'57"	108.33'

CURVE TABLE			
NO	RADIUS	DELTA	LENGTH
C8	513.00'	172°39'	13.38'
C9	15.00'	56°39'26"	14.83'
C10	595.00'	6°44'00"	70.04'
C11	656.00'	4°54'56"	66.28'
C12	20.00'	51°47'53"	18.08'

700-898 LA SALLE AVENUE
 800-988 OAKDALE AVENUE

APN 4591A-077

SHEET 4 OF 8



LEGEND

- SUBDIVISION BOUNDARY LINE
- LOT LINE
- EXISTING PROPERTY LINE
- CENTERLINE
- MONUMENT LINE
- LOT LINE TO BE REMOVED
- EASEMENT LINE
- THE LINE
- (M-PL) MONUMENT TO PROPERTY LINE
- (M-M) MONUMENT TO MONUMENT
- (R) RADIAL
- (T) TOTAL
- (I) INDICATES REFERENCE NUMBER
- ⊗ 2.5" BRASS DISK IN MONUMENT WELL PER(1), WILL NOT BE SET (SEE NOTE 3)
- ⊗ SET 1" BRASS DISK IN CONCRETE, STAMPED LS 6164 (SEE NOTE 3)
- ⊗ FOUND OTHER MONUMENT AS NOTED
- ⊗ FOUND 1.5" IRON PIPE, RCI 14786 PER(1), OR AS NOTED
- ⊗ SET 2.5" BRASS DISK IN MONUMENT WELL OR IRON PIPE WITH 2.5" BRASS DISK IN DIRT, LS 6164
- ⊗ SET 5/8" REBAR AND CAP OR 1" BRASS DISK IN CONCRETE, LS 6164
- ⊗ S/F SEARCHED FOR, NOT FOUND
- AB ASSESSOR'S BLOCK NO.
- CCSF CITY AND COUNTY OF SAN FRANCISCO
- SOWRE STORM DRAIN AND RETAINING WALL EASEMENT
- SHEET LIMIT

NOTES

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- 4) OAKDALE AVENUE AND LA SALLE AVENUE (FORMERLY NAVY ROAD) HAVE BEEN OFFERED FOR DEDICATION PER DN 2008-1 016105.
- 5) SEE SHEET 3 FOR BASIS OF BEARINGS.
- 6) SEE SHEETS 7 AND 8 FOR ADDITIONAL INFORMATION ON THE TRACT LINES OF FM 5255(1) AND FM 4231(5)

LINE TABLE

NO	BEARING	LENGTH
L1	N33°22'53"E	29.32'

CURVE TABLE

NO	RADIUS	DELTA	LENGTH
C1	430.00'	47°3'28"	31.70'
C2	513.00'	47°0'31"	37.38'
C3	513.00'	0°0'25"	0.44'
C4	596.00'	41°0'31"	43.43'
C5	656.00'	2°56'27"	33.67'
C6	726.00'	2°56'27"	37.26'
C7	276.00'	127°44'56"	60.08'
C8	20.00'	105°00'00"	36.85'
C9	430.00'	23°31'05"	178.50'
C10	170.00'	87°4'10"	24.44'
C11	513.00'	47°3'28"	37.62'
C12	230.00'	10°56'52"	43.95'
C13	230.00'	52°1'17"	21.50'
C14	230.00'	5°35'35"	22.45'

REFERENCES

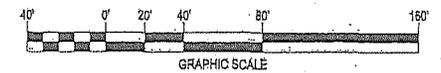
- (1) FINAL MAP NO. 5255 (CC SURVEY MAPS 176)
 - (2) MAP OF INCHON VILLAGE (17 CONDOMINIUM MAPS 112)
 - (3) RECORD OF SURVEY (AA SURVEY MAPS 170)
 - (4) RECORD OF SURVEY 7752 (CC SURVEY MAPS 220)
 - (5) FINAL MAP NO. 4231 (CC SURVEY MAPS 165)
 - (6) RECORD OF SURVEY 7751 (CC SURVEY MAPS 206)
 - (7) RECORD OF SURVEY (GG SURVEY MAPS 209)
 - (8) RECORD OF SURVEY (DD SURVEY MAPS 101)
 - (9) RECORD OF SURVEY (DD SURVEY MAPS 74)
- SEE SHEET 8 FOR MORE INFORMATION

FINAL MAP NO. 8573

A 404 UNIT RESIDENTIAL CONDOMINIUM PROJECT BEING A MERGER AND 17 LOT SUBDIVISION OF LOTS 1 - 89 AND 93 - 127, AS SHOWN ON THAT CERTAIN FINAL MAP NO. 5255, FILED AUGUST 12, 2009, IN BOOK CC OF SURVEY MAPS, AT PAGE 176 CITY AND COUNTY OF SAN FRANCISCO, STATE OF CALIFORNIA.

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 SAN RAMON, CALIFORNIA

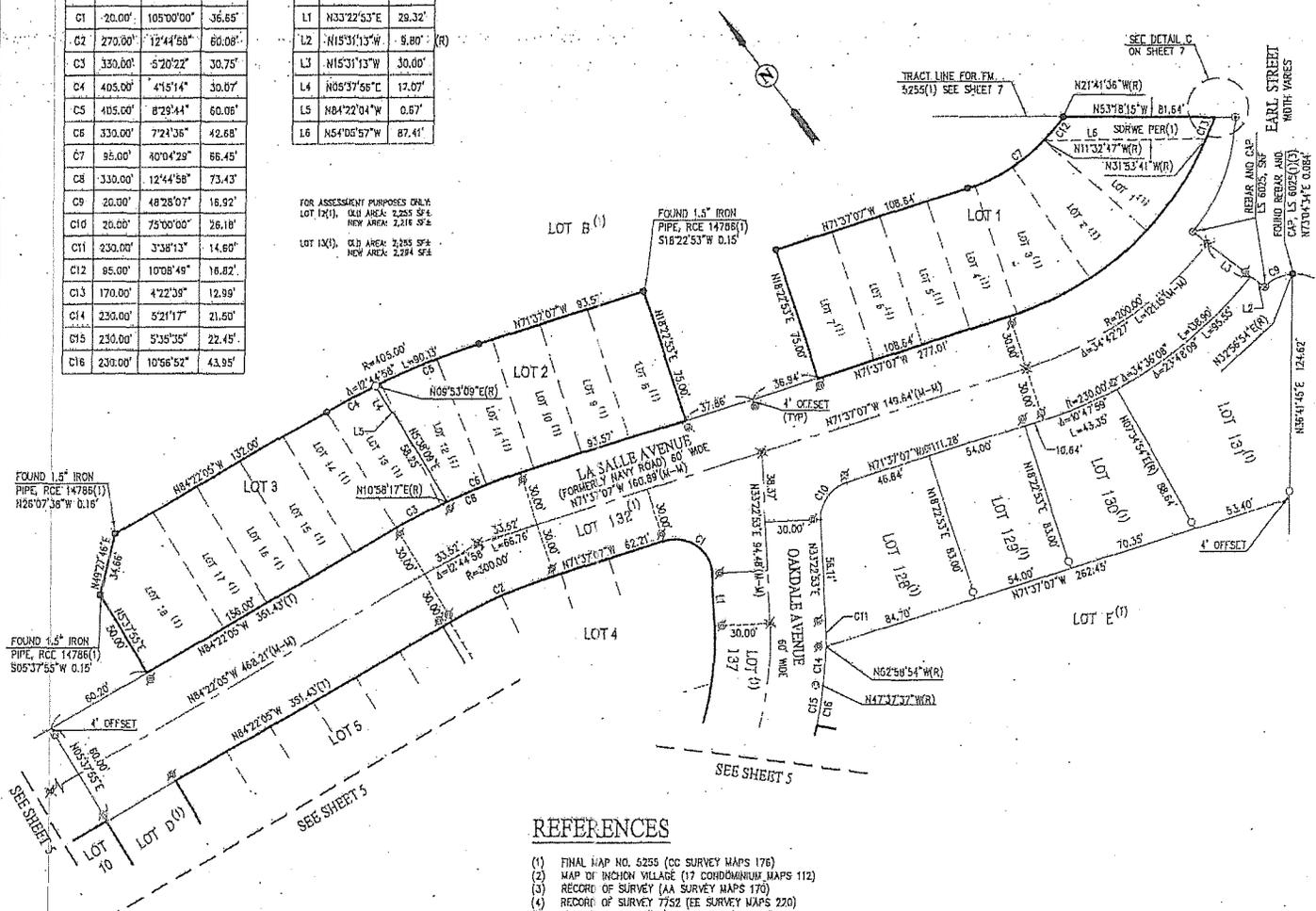
SCALE: 1" = 40' NOVEMBER 2019



CURVE TABLE			
NO.	RADIUS	DELTA	LENGTH
C1	20.00'	105°00'00"	36.65'
C2	270.00'	12°44'58"	60.08'
C3	330.00'	5°20'22"	30.75'
C4	405.00'	4°15'14"	30.07'
C5	405.00'	8°29'44"	60.06'
C6	330.00'	7°24'36"	42.68'
C7	95.00'	40°04'29"	66.45'
C8	330.00'	12°44'58"	73.43'
C9	20.00'	48°28'07"	16.92'
C10	20.00'	75°00'00"	26.18'
C11	230.00'	3°38'13"	14.60'
C12	85.00'	10°08'49"	16.82'
C13	170.00'	4°22'38"	12.99'
C14	230.00'	5°21'17"	21.50'
C15	230.00'	5°35'35"	22.45'
C16	230.00'	10°56'52"	43.95'

LINE TABLE		
NO.	BEARING	LENGTH
L1	N33°22'53"E	28.32'
L2	N15°31'13"W	9.80' (R)
L3	N15°31'13"W	30.00'
L4	N05°37'56"E	12.07'
L5	N84°22'04"W	0.67'
L6	N54°05'57"W	87.41'

FOR ASSESSMENT PURPOSES ONLY:
 LOT 1A(1), OLD AREA: 2,255 SF;
 NEW AREA: 2,216 SF;
 LOT 1X(1), OLD AREA: 2,185 SF;
 NEW AREA: 2,284 SF



LEGEND

- SUBDIVISION BOUNDARY LINE
- LOT LINE
- EXISTING PROPERTY LINE
- CENTERLINE
- MONUMENT LINE
- LOT LINE TO BE REMOVED
- EASEMENT LINE
- TIE LINE
- MONUMENT TO PROPERTY LINE
- MONUMENT TO MONUMENT
- RADIAL
- TOTAL
- INDICATES REFERENCE NUMBER
- 2.5" BRASS DISK IN MONUMENT WELL PER(1), WILL NOT BE SET (SEE NOTE 3)
- SET 1" BRASS DISK IN CONCRETE, STAMPED LS 8164 (SEE NOTE 3)
- FOUND OTHER MONUMENT AS NOTED
- FOUND 1.5" IRON PIPE, RCC 14786 PER(1), OR AS NOTED
- SET 2.5" BRASS DISK IN MONUMENT WELL OR IRON PIPE WITH 2.5" BRASS DISK IN DIRT, LS 8164
- SET 5/8" REBAR AND CAP OR 1" BRASS DISK IN CONCRETE, LS 8164
- S, SHF SEARCHED FOR, NOT FOUND
- AB ASSESSOR'S BLOCK NO.
- CC SF CITY AND COUNTY OF SAN FRANCISCO
- SD WRE STORM DRAIN AND RETAINING WALL EASEMENT

NOTES

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- 4) OAKDALE AVENUE AND LA SALLE AVENUE (FORMERLY NAVY ROAD) HAVE BEEN OFFERED FOR DEDICATION PER DA 2009-1 015495.
- 5) SEE SHEET 3 FOR BASIS OF BEARINGS.
- 6) SEE SHEETS 7 AND 8 FOR ADDITIONAL INFORMATION ON THE TRACT LINES OF FM 5255(1) AND FM 4231(5)

REFERENCES

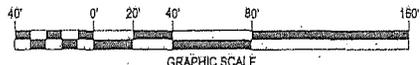
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 - (3) RECORD OF SURVEY (AA SURVEY MAPS 170)
 - (4) RECORD OF SURVEY 7752 (EE SURVEY MAPS 220)
 - (5) FINAL MAP NO. 4231 (CC SURVEY MAPS 165)
 - (6) RECORD OF SURVEY 7751 (EE SURVEY MAPS 206)
 - (7) RECORD OF SURVEY (GG SURVEY MAPS 209)
 - (8) RECORD OF SURVEY (BB SURVEY MAPS 101)
 - (9) RECORD OF SURVEY (DD SURVEY MAPS 74)
- SEE SHEET 8 FOR MORE INFORMATION

FINAL MAP NO. 8573

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 SAN RAMON, CALIFORNIA

SCALE: 1" = 40' NOVEMBER 2019



BASIS OF BEARINGS

THE BASIS OF BEARINGS FOR THIS SURVEY IS BETWEEN "US NAVY MONUMENT" AND "CANDLESTICK", THE BEARING BEING N37°08'31"E PER RECORD OF SURVEY 7751 (EE SURVEY MAPS 206).

REFERENCES

- (1) FINAL MAP NO. 5256 (CC SURVEY MAPS 176)
 - (2) MAP OF INCHON VILLAGE (17 CONDOMINIUM MAPS 112)
 - (3) RECORD OF SURVEY (AA SURVEY MAPS 170)
 - (4) RECORD OF SURVEY 7752 (EE SURVEY MAPS 220)
 - (5) FINAL MAP NO. 4231 (CC SURVEY MAPS 185)
 - (6) RECORD OF SURVEY 7751 (EE SURVEY MAPS 206)
 - (7) RECORD OF SURVEY (OO SURVEY MAPS 208)
 - (8) RECORD OF SURVEY (BB SURVEY MAPS 101)
 - (9) RECORD OF SURVEY (DD SURVEY MAPS 74)
- SEE SHEET 8 FOR MORE INFORMATION

NO	BEARING	LENGTH	
L1	N79°13'47"E	40.69'	(M-M)
L2	N10°01'41"E	178.21'	(M-M)
L3	N23°54'25"E	158.12'	(M-M)
L4	N84°24'35"E	233.85'	(M-M)
L5	N58°47'10"W	499.59'	(M-M)
L6	N29°53'50"E	285.24'	(M-M)
L7	N71°01'08"W	532.47'	(M-M)
L8	N71°21'43"W	298.48'	(M-M)
L9	N53°18'15"W	50.00'	(R)

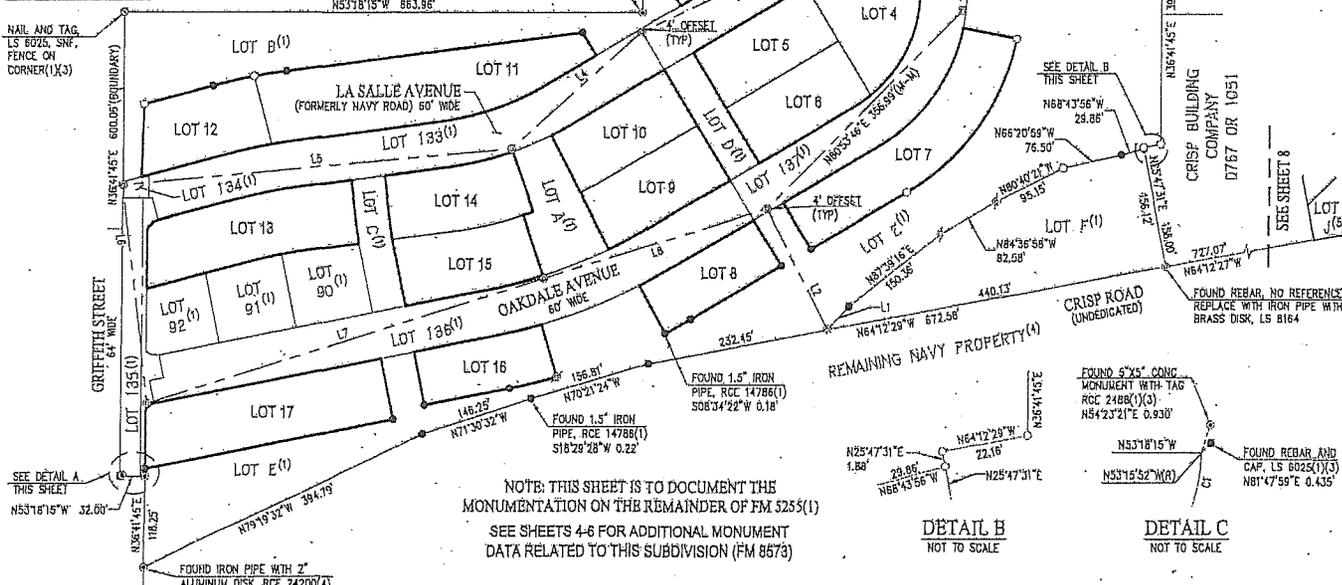
NO	RADIUS	DELTA	LENGTH
C1	105.00'	37°44'39"	89.17'
C2	20.00'	48°28'07"	16.92'



DETAIL A
NOT TO SCALE

DETAIL B
NOT TO SCALE

DETAIL C
NOT TO SCALE



NOTE: THIS SHEET IS TO DOCUMENT THE MONUMENTATION ON THE REMAINDER OF FM 5255(1) SEE SHEETS 4-6 FOR ADDITIONAL MONUMENT DATA RELATED TO THIS SUBDIVISION (FM 8573)

LEGEND

- SUBDIVISION BOUNDARY LINE
- LOT LINE
- EXISTING PROPERTY LINE
- CENTERLINE
- MONUMENT LINE
- LOT LINE TO BE REMOVED
- EASEMENT LINE
- TIE LINE
- (M-PL) MONUMENT TO PROPERTY LINE
- (M-M) MONUMENT TO MONUMENT
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- (#) INDICATES REFERENCE NUMBER
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- AD ASSESSOR'S BLOCK NO.
- CCSF CITY AND COUNTY OF SAN FRANCISCO
- SDWRE STORM DRAIN AND RETAINING WALL EASEMENT
- SHEET LIMIT

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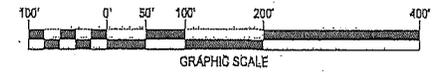
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- 4)

FINAL MAP NO. 8573

A 404 UNIT RESIDENTIAL CONDOMINIUM PROJECT BEING A MERGER AND 17 LOT SUBDIVISION OF LOTS 1 - 89 AND 93 - 127, AS SHOWN ON THAT CERTAIN FINAL MAP NO. 5255, FILED AUGUST 12, 2009, IN BOOK CC OF SURVEY MAPS, AT PAGE 176 CITY AND COUNTY OF SAN FRANCISCO, STATE OF CALIFORNIA.

Carlson, Barbee & Gibson, Inc.
CIVIL ENGINEERS • SURVEYORS • PLANNERS
SAN RAMON, CALIFORNIA

SCALE: 1" = 100' NOVEMBER 2019



BASIS OF BEARINGS

THE BASIS OF BEARINGS FOR THIS SURVEY IS BETWEEN "US NAVY MONUMENT" AND "CANDLESTICK", THE BEARING BEING N37°08'31"E PER RECORD OF SURVEY 7751 (EE SURVEY MAPS 206).

REMAINING NAVY PROPERTY (A)

DETAIL D
NOT TO SCALE

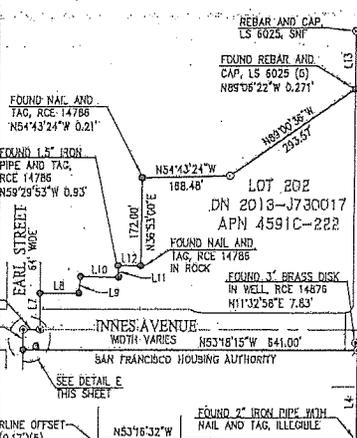
SEE DETAIL D
THIS SHEET

HUNTERS POINT
BOULEVARD
WIDTH VARIES

SEE DETAIL C
THIS SHEET

FISHER AVENUE
(UNDEVELOPED)

PARCEL UC-2
DN 2015-K192742
FF SURVEY MAPS 9



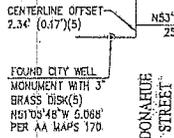
NOTE: THIS SHEET IS TO DOCUMENT THE MONUMENTATION ON THE BOUNDARY OF FM 4231 (CC SURVEY MAPS 165) PER SURVEYS PERFORMED ON NOVEMBER 6, 2014, AND FEBRUARY 23, 2017.

REFERENCES

- (1) FINAL MAP NO. 5255 (CC SURVEY MAPS 176) RECORDED AUGUST 12, 2009, SAN FRANCISCO COUNTY RECORDS.
- (2) MAP OF INCHON VILLAGE (17 COORDINATE MAPS 112) RECORDED JUNE 26, 1981, SAN FRANCISCO COUNTY RECORDS.
- (3) RECORD OF SURVEY (AA SURVEY MAPS 170) RECORDED OCTOBER 29, 2004, SAN FRANCISCO COUNTY RECORDS.
- (4) RECORD OF SURVEY 7752 (EE SURVEY MAPS 220) RECORDED JULY 18, 2014, SAN FRANCISCO COUNTY RECORDS.
- (5) FINAL MAP NO. 4231 (CC SURVEY MAPS 165) RECORDED AUGUST 12, 2009, SAN FRANCISCO COUNTY RECORDS.
- (6) RECORD OF SURVEY 7751 (EE SURVEY MAPS 205) RECORDED JULY 18, 2014, SAN FRANCISCO COUNTY RECORDS.
- (7) RECORD OF SURVEY (OO SURVEY MAPS 208) RECORDED DECEMBER 1, 2017, SAN FRANCISCO COUNTY RECORDS.
- (8) RECORD OF SURVEY (BB SURVEY MAPS 101) RECORDED AUGUST 22, 2006, SAN FRANCISCO COUNTY RECORDS.
- (9) RECORD OF SURVEY (DD SURVEY MAPS 74) RECORDED OCTOBER 14, 2010, SAN FRANCISCO COUNTY RECORDS.

NOTES

- (1) ALL DISTANCES ARE GROUND DISTANCES SHOWN IN U.S. SURVEY FEET AND DECIMALS THEREOF.
- (2) THE PROPOSED ASSESSOR PARCEL NUMBERS SHOWN HEREON ARE FOR INFORMATIONAL USE ONLY AND SHOULD NOT BE RELIED UPON FOR ANY OTHER PURPOSE.



DETAIL F
NOT TO SCALE

NO	BEARING	LENGTH
L2	N25°47'31"E	174.84'
L3	N53°18'15"W	48.00'
L4	N36°41'45"E	207.00'
L5	N38°41'45"E	40.00'
L6	N53°18'15"W	32.00'
L7	N36°41'45"E	71.24'
L8	N53°18'15"W	74.15'
L9	N41°19'00"E	33.00'
L10	N52°29'00"W	73.50'
L11	N33°53'00"E	24.00'
L12	N52°33'00"W	43.50'
L13	N36°41'45"E	113.08'
L14	N50°44'58"E	44.32'

NO	BEARING	LENGTH
L15	N69°31'12"E	57.63'
L16	N39°22'27"E	58.43'
L17	N53°48'15"W	65.56'
L18	N80°13'45"W	58.78'
L19	N01°37'07"W	7.61'

KIRKWOOD AVENUE
60' WIDE

SEE DETAIL F
THIS SHEET

FOUND 1" BRASS DISK IN CONC. RCE 14786, SNF

FOUND 1" BRASS DISK IN CONC. RCE 14786, SNF

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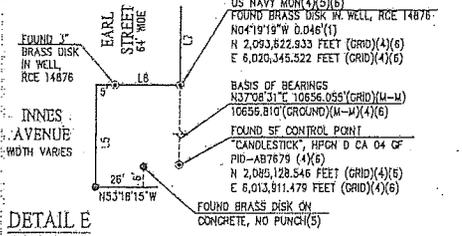
FOUND 1" BRASS DISK IN CONC. RCE 14786, SNF

FOUND 1" BRASS DISK IN CONC. RCE 14786, SNF

FOUND 1" BRASS DISK IN CONC. RCE 14786, SNF

LEGEND

- SUBDIVISION BOUNDARY LINE
- TRACT LINE OF FM 4231 (CC SURVEY MAPS 165)
- EXISTING PROPERTY LINE
- CENTERLINE
- MONUMENT LINE
- LOT LINE TO BE REMOVED
- EASEMENT LINE
- TIE LINE
- (M-PL) MONUMENT TO PROPERTY LINE
- (M-M) MONUMENT TO MONUMENT
- (R) RADIAL
- (S) TOTAL
- (I) INDICATES REFERENCE NUMBER
- 2.5" BRASS DISK IN MONUMENT WELL PER (1); WILL NOT BE SET (SEE NOTE 3)
- SET 1" BRASS DISK IN CONCRETE, STAMPED LS B164 (SEE NOTE 3)
- FOUND OTHER MONUMENT AS NOTED
- FOUND 1.5" IRON PIPE, RCE 14786 PER(S); OR AS NOTED
- FOUND 1" BRASS DISK SET IN CONCRETE OR PAVEMENT, RCE 14786
- SET 2.5" BRASS DISK IN MONUMENT WELL OR IRON PIPE WITH 2.5" BRASS DISK IN DIRT, LS B164
- SET 5/8" REBAR AND CAP OR 1" BRASS DISK IN CONCRETE, LS B164
- SEARCHED FOR, NOT FOUND
- SNF
- AS
- ASSESSOR'S BLOCK NO.
- CITY AND COUNTY OF SAN FRANCISCO
- SDWRK
- STORM DRAIN AND RETAINING WALL EASEMENT
- SHEET UNIT



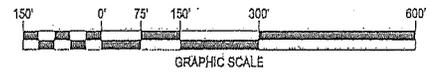
DETAIL E
NOT TO SCALE

FINAL MAP NO. 8573

A 404 UNIT RESIDENTIAL CONDOMINIUM PROJECT BEING A MERGER AND J7 LOT SUBDIVISION OF LOTS J - 89 AND 93 - 127, AS SHOWN ON THAT CERTAIN FINAL MAP NO. 5255, FILED AUGUST 12, 2009, IN BOOK CC OF SURVEY MAPS, AT PAGE 176, CITY AND COUNTY OF SAN FRANCISCO, STATE OF CALIFORNIA.

Carlson, Barbee & Gibson, Inc.
CIVIL ENGINEERS • SURVEYORS • PLANNERS
SAN RAMON, CALIFORNIA

SCALE: 1" = 150' NOVEMBER 2019



2181



Infrastructure Task Force

February 28, 2020

Angela Calvillo, Clerk of the Board
Board of Supervisors
1 Dr. Carlton B. Goodlet Place, Room 244
San Francisco, Ca 94102-4689

London N. Breed
Mayor

Alaric Degrafinried
Acting Director

Patrick Rivera, PE
Acting Bureau Manager

Bureau of Project Management
30 Van Ness Ave., 5th Floor
San Francisco, CA 94102
tel 415-558-4000

sfpublicworks.org
facebook.com/sfpublicworks
twitter.com/sfpublicworks

Subject: Approval of Hunters Point Block 48 Final Map 8573 and Second Amendment to Public Improvement Agreement

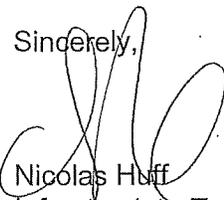
Dear Ms. Calvillo:

Attached please find an original and one (1) copy of the Motion for Board of Supervisors approval which will approve Final Map No. 8573 and the Second Amendment to Public Improvement Agreement related to the Final Map pursuant to the California Subdivision Map Act and the San Francisco Subdivision Code.

Please find attached one (1) Mylar of the above referenced Final Map. Also find attached the following accompanying documents (one set):

1. Motion (1 original/1 copy)
2. Public Works Order No. 202,759
3. Letter dated April 2, 2015 from City Planning Department verifying conformity with the General Plan and Priority Policies set forth in City Planning Code Section 101.1
4. Letter dated April 12, 2016 from the Office of Community Investment and Infrastructure determining consistency with project documents
5. Tax Certificates
6. Second Amendment to Public Improvement Agreement and improvement bonds
7. Improvement Plans (flash drive)
8. Offer of Improvements
9. Monumentation Bond

Please feel free to contact me for any assistance needed.

Sincerely,

Nicolas Huff
Infrastructure Task Force, Project Manager
Email: Nicolas.huff@sfdpw.org

RECEIVED
BOARD OF SUPERVISORS
SAN FRANCISCO
2020 MAR -2 AM 11:53
BY 