

RECORDING REQUESTED BY AND
WHEN RECORDED RETURN TO:

Richard P. Waxman, Esq.
Wendel, Rosen, Black & Dean LLP
P.O. Box 2047
Oakland, CA 94604



San Francisco Assessor-Recorder
Phil Ting, Assessor-Recorder
DOC- 2011-J211606-00

Acct 1-CHICAGO Title Company
Tuesday, JUL 12, 2011 08:00:00
Ttl Pd \$17.00 Rcpt # 0004180078
REEL K436 IMAGE 0091
OKC/AK/1-3

SPACE ABOVE THIS LINE FOR RECORDER'S USE

160310058 Accon
152 COLERIDGE STREET
22 / 5615

Grant Deed

The undersigned grantor(s) declare(s):
Documentary transfer tax is: \$-0-, City Tax is \$-0-

- () computed on full value of property conveyed, or
() computed on full value less value of liens
and encumbrances remaining at time of sale
() Unincorporated area
(X) Realty not sold.

R&T Code §11923(a)(4) and 11925(d);
San Francisco Municipal Code §1106(b)
and 1108(d)
Conveyance is for the sole purpose of
effecting a reorganization involving a
corporate merger; proportional ownership
interests in property remain exactly the same
before and after the transfer.

FOR NO VALUABLE CONSIDERATION,

WALDEN HOUSE, INC., a California nonprofit public benefit corporation ("Grantor"),

hereby GRANTS to

HAIGHT ASHBURY FREE CLINICS, INC., a California nonprofit public benefit corporation
("Grantee"),

all of its right, title and interest in and to that property in the City and County of San Francisco, State
of California, described in the attached Exhibit A.

(A.P.N.: Lot 22, Block 5615; commonly known as 152 Coleridge St., San Francisco, California)

Pursuant to a corporate merger between Grantor and Grantee, Grantor has merged into Grantee and
will cease to exist as an entity. This Grant Deed is executed and recorded for the sole purpose of
reflecting that fee title to the subject property is now vested in Grantee as a result of that corporate
merger.

Date: 7/7, 2011

WALDEN HOUSE, INC.,
a California nonprofit public benefit
corporation

By: [Signature]
Name: David Cranford
Its: Chief Financial Officer

017257.0001\1834402.1

State of California

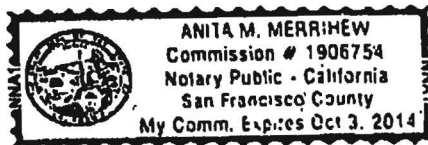
County of SAN FRANCISCO

On July 7, 2011 2011 before me, ANITA M. MERRIHEW, Notary Public, personally appeared DAVID CRAWFORD who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/~~she/they~~ executed the same in his/~~her/their~~ authorized capacity(~~ies~~), and that by his/~~her/their~~ signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.

Anita M. Merrihew
Notary Public



017257.0001\1814402.1

EXHIBIT A

Legal Description of Property

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE CITY OF SAN FRANCISCO, COUNTY OF SAN FRANCISCO, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT ON THE NORTHWESTERLY LINE OF COLERIDGE STREET DISTANT THEREON 240 FEET NORTHEASTERLY FROM THE NORTHEASTERLY LINE OF VIRGINIA AVENUE; RUNNING THENCE NORTHEASTERLY ALONG SAID LINE OF COLERIDGE STREET 30 FEET; THENCE AT A RIGHT ANGLE NORTHWESTERLY 150 FEET; THENCE AT A RIGHT ANGLE SOUTHWESTERLY 30 FEET; THENCE AT A RIGHT ANGLE SOUTHEASTERLY 150 FEET TO THE POINT OF BEGINNING.

APN: Lot 22, Block 5615

C17257.0001\1834402.1



City and County of San Francisco
Joaquín Torres, Assessor-Recorder

Recording Requested By:
AMROCK LLC
662 Woodward Ave.
Detroit, MI 48226

Doc #	2021151673	Fees	\$39.00
9/30/2021	9:26:26 AM	Taxes	\$0.00
GS	Electronic	Other	\$0.00
Pages	6	SB2 Fees	\$0.00
Customer	2224	Paid	\$39.00

After Recording Return To and
Mail Tax Statements To:

**Adriano E. Castro and Alexandra Medina, as Trustees of the Adriano E. Castro and
Alexandra Medina 2004 Revocable Inter-Vivos Trust dated April 13, 2004
65 Virginia Avenue, San Francisco, CA 94110-5002**

PROPERTY APPRAISAL (TAX/APN) PARCEL IDENTIFICATION NUMBER

5615-024

QUITCLAIM DEED

THE UNDERSIGNED GRANTOR(s) DECLARE(s)

7615924

☒ This transfer is exempt from the documentary transfer tax:
Individual(s) to/from his/her own trust

Exempt from \$75 SB2 fee: Transfer of real property that is a residential dwelling to an owner-
occupier - GC 27388.1(a)(2)

☐ The documentary transfer tax is \$0.00 and is computed on:
☐ the full value of the interest in the property conveyed
☐ the full value less the value of liens or encumbrances remaining at the time of sale



RPA

70880721QC101010104

The property is located in an:

☐ unincorporated area.

☒ the City of San Francisco

Alexandra Medina and Adriano E. Castro, wife and husband, as joint tenants, whose mailing address is 65 Virginia Avenue, San Francisco, CA 94110-5002, hereinafter grantors, for \$0.00 (Zero Dollars and Zero Cnts) in consideration paid, grant and quitclaim to Adriano E. Castro and Alexandra Medina, as Trustees of the Adriano E. Castro and Alexandra Medina 2004 Revocable Inter-Vivos Trust dated April 13, 2004, hereinafter grantee, whose tax mailing address is 65 Virginia Avenue, San Francisco, CA 94110-5002, with quitclaim covenants, all right, title, interest and claim to the following land in the following real property:

Tax Id Number(s): 5615-024

Land situated in the City of San Francisco in the County of San Francisco in the State of CA

BEGINNING AT A POINT OF INTERSECTION OF THE NORTHEASTERLY LINE OF VIRGINIA AVENUE WITH THE NORTHWESTERLY LINE OF COLERIDGE STREET; RUNNING THENCE NORTHWESTERLY ALONG SAID LINE OF VIRGINIA AVENUE 27 FEET, THENCE AT A RIGHT ANGLE NORTHEASTERLY 70 FEET; THENCE AT A RIGHT ANGLE SOUTHEASTERLY 27 FEET TO THE NORTHWESTERLY LINE OF COLERIDGE STREET AND THENCE SOUTHWESTERLY ALONG SAID LINE OF COLERIDGE STREET 70 FEET TO THE POINT OF BEGINNING.

BEING A PORTION OF PRECITA VALLEY LANDS.

Commonly known as: 65 Virginia Avenue, San Francisco, CA 94110-5002

Prior instrument reference: _____



RPA

70880721QC101010204

Seller makes no representations or warranties, of any kind or nature whatsoever, other than those set out above, whether expressed, implied, implied by law, or otherwise, concerning the condition of the title of the property prior to the date the seller acquired title.

The real property described above is conveyed subject to and with the benefit of: All easements, covenants, conditions and restrictions of record; in so far as in force applicable.

The real property described above is conveyed subject to the following: All easements, covenants, conditions and restrictions of record; All legal highways; Zoning, building and other laws, ordinances and regulations; Real estate taxes and assessments not yet due and payable; Rights of tenants in possession.

TO HAVE AND TO HOLD the same together with all and singular the appurtenances thereunto belonging or in anywise appertaining, and all the estate, right, title interest, lien equity and claim whatsoever of the said grantors, either in law or equity, to the only proper use, benefit and behalf of the grantee forever.



Executed by the undersigned on 9/8/, 20 21:

Alexandra Medina
Alexandra Medina

Adriano E. Castro
Adriano E. Castro

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California

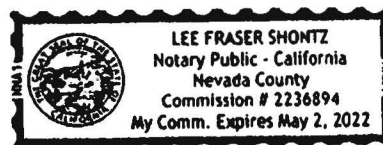
County of Nevada

On September 8, 2021 before me, Lee Fraser Shontz, Notary Public, personally appeared Alexandra Medina and Adriano E. Castro who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.

Signature Lee N



FOR NOTARY STAMP

This instrument prepared by:

Jay A. Rosenberg, Esq., Rosenberg PLLC, Attorneys At Law, 101 South Reid Street, Suite 307, Sioux Falls, South Dakota 57103 (513) 247-9605 Fax: (866) 611-0170.



RPA

70880721QC101010404

CALIFORNIA ALL- PURPOSE CERTIFICATE OF ACKNOWLEDGMENT

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California }

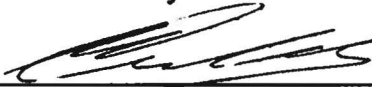
County of San Francisco }

On 8/10/2021 before me, Nafees Subedar, Notary Public
(Here insert name and title of the officer)

personally appeared Adriano E. Castro,
who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s) or the entity upon behalf of which the person(s) acted, executed the instrument.

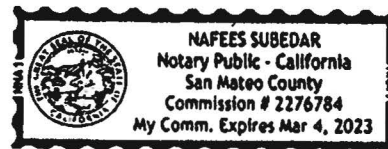
I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.



Notary Public Signature

(Notary Public Seal)



ADDITIONAL OPTIONAL INFORMATION

DESCRIPTION OF THE ATTACHED DOCUMENT

Quit Claim Deed
(Title or description of attached document)

(Title or description of attached document continued)

Number of Pages 2 Document Date _____

CAPACITY CLAIMED BY THE SIGNER

- ☐ Individual (s)
☐ Corporate Officer

(Title)

- ☐ Partner(s)
☐ Attorney-in-Fact
☐ Trustee(s)
☐ Other _____

INSTRUCTIONS FOR COMPLETING THIS FORM

This form complies with current California statutes regarding notary wording and, if needed, should be completed and attached to the document. Acknowledgments from other states may be completed for documents being sent to that state so long as the wording does not require the California notary to violate California notary law.

- State and County information must be the State and County where the document signer(s) personally appeared before the notary public for acknowledgment.
- Date of notarization must be the date that the signer(s) personally appeared which must also be the same date the acknowledgment is completed.
- The notary public must print his or her name as it appears within his or her commission followed by a comma and then your title (notary public).
- Print the name(s) of document signer(s) who personally appear at the time of notarization.
- Indicate the correct singular or plural forms by crossing off incorrect forms (i.e. ~~he/she/they~~, is /are) or circling the correct forms. Failure to correctly indicate this information may lead to rejection of document recording.
- The notary seal impression must be clear and photographically reproducible. Impression must not cover text or lines. If seal impression smudges, re-seal if a sufficient area permits, otherwise complete a different acknowledgment form.
- Signature of the notary public must match the signature on file with the office of the county clerk.
 - ❖ Additional information is not required but could help to ensure this acknowledgment is not misused or attached to a different document.
 - ❖ Indicate title or type of attached document, number of pages and date.
 - ❖ Indicate the capacity claimed by the signer. If the claimed capacity is a corporate officer, indicate the title (i.e. CEO, CFO, Secretary).
- Securely attach this document to the signed document with a staple.

EXHIBIT A - LEGAL DESCRIPTION

Tax Id Number(s): 5615-024

Land situated in the City of San Francisco in the County of San Francisco in the State of CA

BEGINNING AT A POINT OF INTERSECTION OF THE NORTHEASTERLY LINE OF VIRGINIA AVENUE WITH THE NORTHWESTERLY LINE OF COLERIDGE STREET; RUNNING THENCE NORTHWESTERLY ALONG SAID LINE OF VIRGINIA AVENUE 27 FEET, THENCE AT A RIGHT ANGLE NORTHEASTERLY 70 FEET; THENCE AT A RIGHT ANGLE SOUTHEASTERLY 27 FEET TO THE NORTHWESTERLY LINE OF COLERIDGE STREET AND THENCE SOUTHWESTERLY ALONG SAID LINE OF COLERIDGE STREET 70 FEET TO THE POINT OF BEGINNING.

BEING A PORTION OF PRECITA VALLEY LANDS.

NOTE: The Company is prohibited from insuring the area or quantity of the land. The Company does not represent that any acreage or footage calculations are correct. References to quantity are for identification purposes only.

Commonly known as: 65 Virginia Ave, San Francisco, CA 94110-5002

NOTE: The property address, tax parcel identification number, and property type are provided solely for informational purposes and are not insurable for this transaction.

RECORDING REQUESTED BY
Old Republic Title Company
367180-MBR
Lot 24A, Block 5615
WHICH RECORDED MAP TO
Heather Kaufman & Don
Lucchesi
45 Virginia Avenue
San Francisco, CA 94110

San Francisco Co Assessor-Recorder
Doris M. Ward, Assessor-Recorder

DOC - 98-G326507-00
Acct 4-OLD REPUBLIC Title Company
Friday, MAR 27, 1998 08:00:00
REC \$9.00;PAG \$5.00;MIC \$1.00
STP \$4.00;TX2\$2,397.00
Ttl Pd \$2,416.00 Nbr-0000894174
REEL H099 IMAGE 0131 ocr/CP/1-5

Grant Deed

The undersigned grantor(s) declare(s):
Documentary transfer tax is \$ 2,397.00

- (X) computed on full value of property conveyed, or
() computed on full value less value of liens and encumbrances remaining at time of sale.
() Unincorporated area: () City of
() Realty not sold.

FOR A VALUABLE CONSIDERATION, receipt of which is hereby acknowledged,

Edward Henning, trustee of the Virginia Z. Tivio
Trust dated August 19, 1994 and Lori D. Canevari a married woman as her separate
property and Jill R. Peacock a married woman as her separate property
hereby GRANT(S) to Heather Kaufman, an unmarried woman and Don Lucchesi, an
unmarried man, as Joint Tenants

that property in San Francisco County, State of California, described as:

* * * See "Exhibit A" attached hereto and made a part hereof. * * *

Mail Tax Statements to Grantee at address above

Date March 24, 1998

STATE OF CALIFORNIA

COUNTY OF Sonoma

On 3/25/98 before me, the
undersigned, a Notary Public in and for said State, personally appeared
Lori D. Canevari and Jill R. Peacock**

personally known to me (or proved to me on the basis of satisfactory
evidence) to be the person(s) whose name(s) is/are subscribed to the within
instrument and acknowledged to me that he/she/they executed the same in
his/her/their authorized capacity(ies), and that by his/her/their signature(s) on
the instrument the person(s), or the entity upon behalf of which the person(s)
acted, executed the instrument.

WITNESS my hand and official seal

Signature

Name

Laurel R. Greenfield

(typed or printed)

Signed-in-counter by
Edward Henning, trustee

Lori D. Canevari

Jill R. Peacock



(This area for official notarial seal)

MAIL TAX STATEMENTS AS DIRECTED ABOVE

RECORDING REQUESTED BY
ORDER # Old Republic Title Company
367180-MBR
APN Lot 24A; Block 5615
WHEN RECORDED MAIL TO

Name Heather Kaufman & Don
Lucchesi
Street Address 45 Virginia Avenue
City San Francisco, CA 94110
State
Zip

G326507

SPACE ABOVE THIS LINE FOR RECORDER'S USE

Grant Deed

The undersigned grantor(s) declare(s):

Documentary transfer tax is \$ 2,397.00

(X) computed on full value of property conveyed, or

() computed on full value less value of liens and encumbrances remaining at time of sale.

() Unincorporated area: () City of

() Realty not sold.

FOR A VALUABLE CONSIDERATION, receipt of which is hereby acknowledged,

Edward Henning, Trustee of the Virginia Z. Tivio
Trust dated August 19, 1994 and Lori D. Canevari a married woman as her separate
property and Jill R. Peacock a married woman as her separate property
herby GRANT(S) to Heather Kaufman, an unmarried woman and Don Lucchesi, an
unmarried man, as Joint Tenants

that property in San Francisco County, State of California, described as:

* * * See "Exhibit A" attached hereto and made a part hereof. * * *

Mail Tax Statements to Grantee at address above

Date March 24, 1998

STATE OF CALIFORNIA

COUNTY OF San Francisco

On 3/26/98 before me, the
undersigned, a Notary Public in and for said State, personally appeared

Edward Henning, trustee

personally-known-to-me (or proved to me on the basis of satisfactory
evidence) to be the person(s) whose name(s) is/are subscribed to the within
instrument and acknowledged to me that he/she/they executed the same in
his/her authorized capacity(ies), and that of his/her signature(s) on
the instrument the person(s), or the entity upon behalf of which the person(s)
acted, executed the instrument.

WITNESS my hand and official seal.

Signature S. Churton

Name S. Churton

(typed or printed)

FTGIS 140891

Edward Henning, trustee

Lori D. Canevari

Jill R. Peacock



(This area for official notarial seal)

MAIL TAX STATEMENTS AS DIRECTED ABOVE

G326507

Order No. : 367180-WER

EXHIBIT "A"

The land referred to is situated in the State of California, City and County of San Francisco, and is described as follows:

BEGINNING at a point on the northeasterly line of Virginia Avenue, distant thereon 79 feet northwesterly from the northwesterly line of Coleridge Street; running thence northwesterly along the northeasterly line of Virginia Avenue 26 feet; thence at a right angle northeasterly 70 feet; thence at a right angle southeasterly 26 feet; and thence at a right angle southwesterly 70 feet to the point of beginning.

BEING portion of Precita Valley Lands.

Assessor's Lot 24A; Block 5615

RECORDING REQUESTED BY
Old Republic Title Company
ORDER # 367180-MBR
APR Lot 24A; Block 5615
WHEN RECORDED MAIL TO
Name Edward Henning
Street P.O. Box 6848
Address San Rafael, CA 94903-0848
City
State/Zip

G326507

Certification of Trustee
(California Probate Code Section 18100.5)

The Undersigned being of legal age, declares under penalty of perjury:
1. Declarant(s) certifies the existence of the following described Trust and states that he/she/they are all of the current Trustees.
Name of Trust: Virginia Z. Tivio Trust
Date of Trust: August 19, 1994
Trustor/Settlor(s): Virginia Z. Tivio
Original Trustee(s): Virginia Z. Tivio or Edward Henning
Trust Identification No. (Employer Identification No. or Social Security No.):
2. Declarant(s) state(s) that the Trust is in full force and effect and has not been revoked, terminated, or otherwise amended in any manner which would cause the representations in this Certification to be incorrect. The name(s) of all persons who have any power to revoke the Trust are: Virginia Z. Tivio or Edward Henning
3. Declarant(s) state(s) that the following named Trustee(s) is/are fully empowered to act for said Trust and is/are properly exercising his/her/their authority under said Trust in negotiating for, contracting for, and executing the document(s) attached hereto, or set forth below, and that no Trustee(s) other than the following named Trustees are necessary under the Trust to sign said document(s):
Name of Trustee(s) Authorized to Sign: Virginia Z. Tivio or Edward Henning
Nature of Document(s): seller's instructions and grant deed
4. Declarant(s) state(s) that to the best of his/her/their knowledge, there are no claims, challenges of any kind or causes of action alleged, contesting or questioning the validity of the Trust or the Trustee's authority to act for the Trust.
5. This Declaration is prepared and executed pursuant to California Probate Code Section 18100.5.

Signed under penalty of perjury, this 24 day of March, 1998

STATE OF CALIFORNIA
COUNTY OF San Francisco
On 3/24/98 before me, the undersigned, a Notary Public in and for said State, personally appeared Edward Henning

personally known to me (or proved to me on the basis of satisfactory evidence) to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.
WITNESS my hand and official seal.

S. Churton
Notary Public in and for said County and State
S. Churton
(Notary's name must be typed or legibly printed)

(Signature)
(Name - Typed or Printed)
Edward Henning
(Signature)
Edward Henning
(Name - Typed or Printed)



(FOR NOTARY STAMP OR SEAL)

CRIC - 1000 11/98

Order No. : 367180-MBR

G326507

EXHIBIT "A"

The land referred to is situated in the State of California, City and County of San Francisco, and is described as follows:

BEGINNING at a point on the northeasterly line of Virginia Avenue, distant thereon 79 feet northwesterly from the northwesterly line of Coleridge Street; running thence northwesterly along the northeasterly line of Virginia Avenue 26 feet; thence at a right angle northeasterly 70 feet; thence at a right angle southeasterly 26 feet; and thence at a right angle southwesterly 70 feet to the point of beginning.

BEING portion of Precita Valley Lands.

Assessor's Lot 24A; Block 5615

20199K78674100004

San Francisco Assessor-Recorder

Carmen Chu, Assessor-Recorder

DOC 2019-K786741-00

Acct 2005-Fidelity Title Company Concord

Wednesday, JUN 26, 2019 10:51:21

Ttl Pd\$12,940.50

Nbr-0006021214

okc/RE/1-4

RECORDING REQUESTED BY:

Fidelity National Title Company

Escrow Order No.: FSFM3031900595A

When Recorded Mail Document and Tax Statement To:

Johannes Cornelius Hermann and Dr. Aynur Hermann
39 Virginia Avenue
San Francisco, CA 94110

Property Address: 39 Virginia Avenue, San Francisco, CA 94110

APN/Parcel ID(s): Lot 024B, Block 5615

SPACE ABOVE THIS LINE FOR RECORDER'S USE

Exempt from fee per GC 27388.1 (a) (2); recorded in connection with a transfer subject to the imposition of documentary transfer tax.

Grant Deed

This document is exempt from the \$75 Building Homes and Jobs Act Fee (Per Government Code GC §27388.1) because:

Reason for exemption:

- ☒ Document is a transfer of real property subject to the imposition of transfer tax
- ☐ Document is a transfer of real property that is a residential dwelling to an owner-occupier
- ☐ Document is recorded in connection with an exempt transfer of real property (i.e, subject to transfer tax or owner-occupied). If not recorded concurrently, provide recording date and document number of related transfer document:
Recording date _____ Document Number _____
- ☐ The \$225.00 per transaction cap is reached.
- ☐ Document is not related to real property.

THIS PAGE ADDED TO PROVIDE ADEQUATE SPACE FOR RECORDING INFORMATION

(Additional recording fee applies)

Recording Document Cover Page
SCA0000079.doc / Updated: 04.26.18

Page 1

Printed: 06.20.19 @ 09:38 AM
CA-FT-FSFM-01500.080303-FSFM3031900595A

RECORDING REQUESTED BY:
Fidelity National Title Company

**When Recorded Mail Document
and Tax Statement To:**
Johannes Hermann and Dr. Aynur Hermann
39 Virginia Avenue
San Francisco, CA 94110

SPACE ABOVE THIS LINE FOR RECORDER'S USE

Escrow Order No.: FFSM3031900595A

Exempt from fee per GC 27388.1 (a) (2); recorded in connection with a transfer subject to
the imposition of documentary transfer tax.

Property Address: 39 Virginia Avenue,
San Francisco, CA 94110
APN/Parcel ID(s): Lot 024B, Block 5615

GRANT DEED

The undersigned grantor(s) declare(s)

- ☐ This transfer is exempt from the documentary transfer tax.
☒ **The documentary transfer tax is \$12,907.50** and is computed on:
 ☒ the full value of the interest or property conveyed.
 ☐ the full value less the liens or encumbrances remaining thereon at the time of sale.
The property is located in ☒ the **City of San Francisco**.

FOR A VALUABLE CONSIDERATION, receipt of which is hereby acknowledged, Ronni L Pitman, a married woman
as her sole and separate property

hereby GRANT(S) to Johannes Hermann and Dr. Aynur Hermann, husband and wife as community property with right
of survivorship

the following described real property in the City of San Francisco, County of San Francisco, State of California:

SEE EXHIBIT "A" ATTACHED HERETO AND MADE A PART HEREOF

MAIL TAX STATEMENTS AS DIRECTED ABOVE

Grant Deed
SCA0000129.doc / Updated: 11.20.17

Printed: 06.20.19 @ 09:48 AM
CA-FT-FFSM-01500.080303-FFSM3031900595A


GRANT DEED

(continued)

APN/Parcel ID(s): Lot 024B, Block 5615

Dated: June 20, 2019

IN WITNESS WHEREOF, the undersigned have executed this document on the date(s) set forth below.


Ronni L Pitman

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

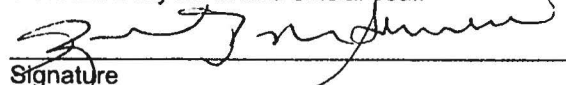
State of California
County of San Francisco

On 6-24-2019 before me, Raul Paredes Sermeno, Notary Public,
(here insert name and title of the officer)

personally appeared Ronni L. Pitman,
who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.


Signature

(Seal)

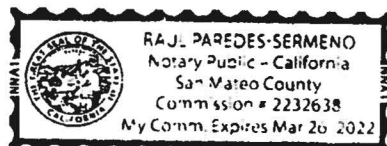


EXHIBIT "A"
Legal Description

For APN/Parcel ID(s): Lot 024B, Block 5615

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE CITY OF SAN FRANCISCO, COUNTY OF SAN FRANCISCO, STATE OF CALIFORNIA AND IS DESCRIBED AS FOLLOWS:

COMMENCING AT A POINT ON THE NORTHEASTERLY LINE OF VIRGINIA AVENUE, DISTANT THEREON 105 FEET NORTHWESTERLY FROM THE NORTHWESTERLY LINE OF COLERIDGE STREET; RUNNING THENCE NORTHWESTERLY ALONG SAID LINE OF VIRGINIA AVENUE 26 FEET; THENCE AT A RIGHT ANGLE NORTHEASTERLY 70 FEET; THENCE AT A RIGHT ANGLE SOUTHEASTERLY 26 FEET; THENCE AT A RIGHT ANGLE SOUTHWESTERLY 70 FEET TO THE POINT OF COMMENCEMENT.

BEING A PORTION OF PRECITA VALLEY LOTS NO. 372 AND 373.

20209K92374800004
San Francisco Assessor-Recorder
Carmen Chu, Assessor-Recorder
DOC 2020-K923748-00
Acct 2075-Visionet Systems Inc.
Wednesday, APR 15, 2020 15:51:38
Ttl Pd \$23.00 Nbr-0006181685
AL1/RE/1-4

Recording Requested by:

and

When Recorded Mail to:

VISIONET SYSTEMS INC
183 INDUSTRY DRIVE
PITTSBURGH PA 15275

Assessor Parcel Number (APN): 5615-0240

Street Address: 51 Virginia Ave.

Interspouse Transfer Grant Deed
(Please fill in Document Title(s) above this line)

This document is exempt from the \$75 Building Homes and Jobs Act Fee (per Government Code §27388.1) because:

- ☐ Document is a transfer of real property subject to the imposition of transfer tax
- ☒ Document is a transfer of real property that is a residential dwelling to an owner-occupier
- ☐ Document is recorded in connection with an exempt transfer of real property (i.e., subject to transfer tax or owner-occupied). If not recorded concurrently, provide recording date and document number of related transfer document:
Recording date _____ Document Number _____
- ☐ The \$225 per transaction cap is reached
- ☐ Document is not related to real property

**This page added to provide adequate space for recording information
(additional recording fee applies)**

RECORDING REQUESTED BY:

Realty Data Company, 55 South Main Street, Naperville, IL 60540

WHEN RECORDED MAIL TO:

Realty Data Company, 55 South Main Street, Naperville, IL 60540

File No. is-20-415778

MAIL TAX STATEMENTS TO:

NAME: Christopher Scott Conway

ADDRESS: 51 Virginia Avenue

CITY: San Francisco

STATE/ZIP: CA 94110

APN: 5615-024C

Title Order No.: _____ Space Above This Line for Recorder's Use Escrow No. _____

INTERSPOUSAL TRANSFER GRANT DEED

THE UNDERSIGNED GRANTOR(s) DECLARE(s):

DOCUMENTARY TRANSFER TAX is \$ 0. CITY TAX \$ 0.

☐ Computed on full value of property conveyed, or ☐ Computed on full value less value of liens or encumbrances remaining at time of sale or transfer.

☐ Unincorporated area: ☒ City of San Francisco, and

☒ This conveyance is exempt from Documentary Transfer Tax:

☐ "This is a bona fide gift and the grantor received nothing in return, R & T 11911".

☒ "This conveyance establishes sole and separate property of the spouse, R & T 11911".

☐ "This conveyance is in dissolution of marriage by one spouse to the other, R & T 11927".

☒ Check when creating separate property interest in the grantee spouse: "It is the express intent of the grantor, being the spouse of the grantee, to convey all right, title and interest of the grantor, community or otherwise, in and to the herein described property to the grantee as his/her sole and separate property.

☐ Excluded from Reappraisal Under Proposition 13, California Constitution Article 13A § 1, et seq.

☐ This conveyance does not constitute a "change of ownership", R & T 63.

- ☐ A transfer to a trustee for the beneficial use of a spouse, or the surviving spouse of a deceased transferor, or by a trustee of such a trust to the spouse of the trustor.
- ☐ A transfer to a spouse or former spouse in connection with a property settlement agreement or decree of dissolution of a marriage or legal separation.
- ☐ A creation, transfer, or termination, solely between spouses, of any co-owner's interest.
- ☐ The distribution of a legal entity's property to a spouse or former spouse in exchange for the interest of such spouse in the legal entity in connection with a property settlement agreement or a decree of dissolution of a marriage or legal separation.
- ☐ Other:

FOR A VALUABLE CONSIDERATION, receipt of which is hereby acknowledged,

VAN THI NGOC TRAN, spouse of Grantee

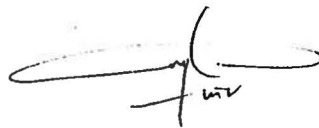
hereby GRANT(s) to

CHRISTOPHER SCOTT CONWAY, a married man, as his sole and separate property, the following described real property in the County of San Francisco, State of California (Assessor's Parcel No. 5615-024C):

Beginning at a point on the Northeasterly line of Virginia Avenue, distant thereon 53 feet Northwesterly from the Northwesterly line of Coleridge Street; running thence Northwesterly along said line of Virginia Avenue 26 feet; thence at a right angle Southwesterly along said line of Virginia Avenue 26 feet; thence at a right angle Northeasterly 70 feet; thence at a right angle Southeasterly 26 feet; and thence at a right angle Southwesterly 70 feet to the point of beginning.

Being a portion of Precita Valley Lands.

IN WITNESS WHEREOF, Grantor's hand this the 10 day March, 2020.



VAN THI NGOC TRAN

(seal)

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California

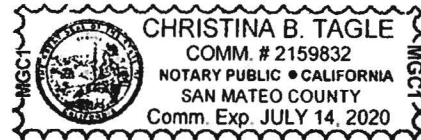
County of San Francisco ss:

On March 10, 2020 before me, Christina B. Tagle,
Notary Public, personally appeared VAN THI NGOC TRAN, who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signatures(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.

Christina B. Tagle
Notary Public
My Commission expires: July 14, 2020



(seal)

RECORDING REQUESTED BY
NANCY LAM
DAXIN WILSON LIN
AND WHEN RECORDED MAIL TO:

Name: NANCY LAM & DAXIN W LIN
Address: 57 VIRGINIA AVE.
City & State: SAN FRANCISCO, CA
Zip: 94110

PROPERTY ADDRESS:
57 VIRGINIA AVENUE
SAN FRANCISCO, CA

ASSESSORS PARCEL NO. 5615-024D



San Francisco Assessor-Recorder
Carmen Chu, Assessor-Recorder

DOC- 2019-K750548-00

Wednesday, APR 03, 2019 12:21:31

Ttl Pd \$17.00

Rcpt # 0005976811

oes/ES/1-2

SPACE ABOVE THIS LINE FOR RECORDER'S USE

GRANT DEED

The undersigned Grantor(s) declare(s) under penalty of perjury that the following is true and correct:

Documentary transfer tax is \$ 0.00 *Exempt from SB2 Fee. Owner Occupied Residential

☐ Computed on full value of property conveyed, or Dwelling. (Per Government Code 27388.1)

☐ Computed on full value less value of liens and encumbrances remaining at time of sale.

☒ Unincorporated area: ☒ City of SAN FRANCISCO

, and

FOR A VALUABLE CONSIDERATION, receipt of which is hereby acknowledged, NANCY LAM, A MARRIED WOMAN AS HER SOLE AND SEPARATE PROPERTY (ACQUIRED TITLE AS A SINGLE WOMAN), AND DAXIN WILSON LIN (AKA DA XIN LIN), A MARRIED MAN AS HIS SOLE AND SEPARATE PROPERTY (ACQUIRED TITLE AS A SINGLE MAN), AS JOINT TENANTS

hereby GRANT(S) to NANCY LAM, A MARRIED WOMAN AS HER SOLE AND SEPARATE PROPERTY AS TO AN UNDIVIDED 50% INTEREST, AND DAXIN WILSON LIN, A MARRIED MAN AS HIS SOLE AND SEPARATE PROPERTY AS TO AN UNDIVIDED 50% INTEREST, AS TENANTS IN COMMON

the following described real property in the City of SAN FRANCISCO, County of SAN FRANCISCO, State of California:

LEGAL DESCRIPTION IN EXHIBIT "A" ATTACHED HERETO AND MADE A PART HEREOF.

Dated 03/24/2019

NANCY LAM

DAXIN WILSON LIN

ACKNOWLEDGMENT

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California)

County of SAN FRANCISCO)

On 03/24/2019

before me, KRISTINE CHEN, NOTARY PUBLIC
(HERE INSERT NAME AND TITLE OF THE OFFICER)

personally appeared NANCY LAM AND DAXIN WILSON LIN

who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.

Signature

(SEAL)



Title Order No.

Escrow, Loan, or Attorney File No.

MAIL TAX STATEMENTS TO:

NANCY LAM & DAXIN WILSON LIN, 57 VIRGINIA AVE., SAN FRANCISCO, CA 94110
NAME ADDRESS CITY, STATE, ZIP

NONJC-010 Rev. 07/01/2015

CEB Essential
cal.com: [i]Forms

GRANT DEED

LAM, NANCY

EXHIBIT "A"

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE CITY OF SAN FRANCISCO, COUNTY OF SAN FRANCISCO, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:

COMMENCING AT A POINT ON THE NORTHEASTERLY LINE OF VIRGINIA AVENUE DISTANT THEREON 27 FEET NORTHWESTERLY FROM THE NORTHWESTERLY LINE OF COLERIDGE STREET; RUNNING THENCE NORTHWESTERLY ALONG THE NORTHEASTERLY LINE OF VIRGINIA AVENUE 26 FEET; THENCE AT A RIGHT ANGLE NORTHEASTERLY 70 FEET; THENCE AT A RIGHT ANGLE SOUTHEASTERLY 26 FEET; AND THENCE AT A RIGHT ANGLE SOUTHWESTERLY 70 FEET TO THE NORTHEASTERLY LINE OF VIRGINIA AVENUE AND THE POINT OF COMMENCEMENT.

BEING PART OF PRECITA VALLEY LANDS.

APN: Lot 024D, Blcok 5615

RECORDING REQUESTED BY &
MAIL TO:

Linda Coon Ling Yu, as trustee of
Lai Gin Yu 2012 irrevocable Trust
173 Somerset St.
San Francisco, CA 94134

San Francisco Assessor-Recorder
Carmen Chu, Assessor-Recorder
DOC- 2013-J708646-00
Check Number 1239
Friday, JUL 19, 2013 14:58:09
Ttl Pd \$21.00 Rcpt # 0004740198
REEL K942 IMAGE 0623
oar/JL/1-2

A. P. N.: **BLOCK 5615 LOT 25**

Space above line for Recorder's Use NO TAX DUE.

GRANT DEED

Documentary transfer tax is NONE. (Not pursuant to
a sale. This conveyance Given for No Value, 'This is a
bonafide gift and the grantor received nothing in return, R
& T 11911)

Michael Hsu Signature of
Declarant or Agent determining tax.
Firm Name: Law Offices of Michael Hsu

Unincorporated area X City of San Francisco

FOR A VALUABLE CONSIDERATION, receipt of which is hereby acknowledged,
GRANTOR(S) LAI GIN YU, TRUSTEE OF LAI GIN QUAN YU SURVIVOR'S TRUST, TRUST
CREATED UNDER THE KWOK TUNG YU AND LAI GIN QUAN YU REVOCABLE TRUST, DATED
11/14/95, AS TO AN UNDIVIDED 50% INTEREST, **GRANT(S) TO LINDA COON LING YU, AS**
TRUSTEE OF THE LAI GIN YU 2012 IRREVOCABLE TRUST, DATED DECEMBER 18, 2012, AS TO
AN UNDIVIDED 50% INTEREST, the following real property in the City of San Francisco, County
of San Francisco, State of California. Described in Exhibit "A" attached hereto and
incorporated herein.

Commonly known as: 31-33 Virginia, SF, CA

Dated: 7-19-13

Lai Gin Quan Yu Survivor's Trust created
under the Kwok Tung Yu and Lai Gin Quan Yu
Revocable Trust, Dated 11/14/1995

State of California)
County of SAN FRANCISCO)

Lai Gin Yu

Lai Gin Yu, Trustee

On 7-19-13 before me, Monica Wong, Notary Public,
(insert name and title of the officer)

personally appeared Lai Gin Yu, who proved to me on the basis of satisfactory evidence to be
the person(S) whose (s) is/are subscribed to the within instrument and acknowledged to me that
he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their
signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s)
acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the
foregoing paragraph is true and correct.

WITNESS my hand and official seal. (Seal)

Signature Monica Wong

MAIL TAX STATEMENT TO SAME ADDRESS AS ABOVE

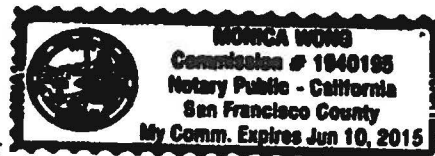


Exhibit "A"
Legal Description

All that certain real property situated in the City of San Francisco, County of San Francisco, State of California, and is described as follows:

BEGINNING AT A POINT ON THE NORTHEASTERLY LINE OF VIRGINIA AVENUE, DISTANT THEREON 131 FEET NORTHWESTERLY FROM THE NORTHWESTERLY LINE OF COLERIDGE STREET; RUNNING THENCE NORTHEASTERLY AND ALONG SAID LINE OF VIRGINIA AVENUE 25 FEET; THENCE AT A RIGHT ANGLE NORTHEASTERLY 70 FEET; THENCE AT A RIGHT ANGLE SOUTHEASTERLY 25 FEET; THENCE AT A RIGHT ANGLE SOUTHWESTERLY 70 FEET TO THE POINT OF BEGINNING. BEING PORTION OF PRECITA VALLET LOTS 372 AND 373.

Assessor's parcel No BLOCK 5615 LOT 25
Commonly known as: 31-33 Virginia, SF. CA

RECORDING REQUESTED BY:

Republic Title Company

Order No.: 0224035748-KN

APN: Lot 026; Block 5615

When Recorded Mail Document and Tax Statements to:

The Silas Geneson Separate Property Living Trust,
dated May 21, 2010

2201 Market St, #476
San Francisco, CA 94114

23-25 Virginia Ave. ✓

20159K05334500003

San Francisco Assessor-Recorder

Carmen Chu, Assessor-Recorder

DOC 2015-K053345-00

Acct 5002-Old Republic Title Company

Tuesday, APR 28, 2015 11:43:37

Ttl Pd \$9,593.50

Nbr-0005140798

okc/RE/1-3

SPACE ABOVE THIS LINE IS FOR RECORDER'S USE

Grant Deed

The undersigned grantor(s) declare(s):

Documentary Transfer Tax is \$9,562.50

(X) computed on full value of property conveyed, or

() computed on full value less of liens and encumbrances remaining at time of sale.

() Unincorporated area: (X) City of San Francisco

FOR A VALUABLE CONSIDERATION, receipt of which is hereby acknowledged,
Carmen Rosales, an unmarried woman

hereby GRANT(S) to

Silas Geneson, Trustee of The Silas Geneson Separate Property Living Trust, dated May 21, 2010, and any
amendments thereto

that property in City of San Francisco, San Francisco County, State of California, described as:

See "Exhibit A" attached hereto and made a part hereof.

Date: April 24, 2015



Carmen Rosales

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California
County of San Francisco

On 4/27/2015 before me, Y. Barrueta-Digesti, a Notary Public, personally appeared Carmen Rosales, who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) (s) are subscribed to the within instrument and acknowledged to me that he (s) / she / they executed the same in his (s) / her / their authorized capacity(ies), and that by his (s) / her / their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.

Signature: Y. Barrueta-Digesti
Name: Y. Barrueta-Digesti
(Typed or Printed)

(Seal)



ORDER NO. : 0224035748-KN

EXHIBIT A

The land referred to is situated in the County of San Francisco, City of San Francisco, State of California, and is described as follows:

Commencing at a point on the Northeasterly line of Virginia Avenue, distant thereon 102 feet and 6 inches Southeasterly from the Southeasterly line of Mission Street; and running thence Southeasterly along said line of Virginia Avenue 25 feet; thence at a right angle Northeasterly 70 feet; thence at a right angle Northwesterly 25 feet; and thence at a right angle Southwesterly 70 feet to the opint of commencement.

Being a portion of Lots 372 and 373. Precita Valley Lands.

APN: Lot 026, Block 5615

RECORDING REQUESTED BY:
Law Offices of Bresler & Lee
1255 Post Street, Suite 427
San Francisco, CA 94109

WHEN RECORDED MAIL TO:
MEE FENG QUAN
1117 Kirkham Street
San Francisco, CA 94122

San Francisco Assessor-Recorder
Phil Ting, Assessor-Recorder
DOC- 2006-1286749-00
Check Number 3295
Tuesday, NOV 21, 2006 15:41:12
Ttl Pd \$9.00 Nbr-0003118416
REEL J272 IMAGE 0826
ofa/ET/1-1

A.P.N.: LOT 28, BLOCK 5615
3319-3323 Mission Street,
San Francisco, CA 94110

No consideration for transfer to Revocable Living Trust
Exempt: Section 62(d) & 11930 of California Code of Revenue
and Taxation
Documentary Transfer Tax: 0

QUIT CLAIM DEED

By this instrument, for no consideration, I, MEE FENG QUAN, do hereby remise, release and forever quitclaim unto MEE FENG QUAN, as Trustee of the MEE FENG QUAN TRUST, U.D.T. ("Under Declaration of Trust"), dated November 20, 2006, ALL that REAL PROPERTY situated in the City of San Francisco, County of San Francisco, State of California, bounded and described as follows:

BEGINNING at a point on the southeasterly line of Mission Street, distant thereon 240 feet northeasterly from the northeasterly line of Virginia Avenue; running thence northeasterly along said line of Mission Street 35 feet; thence at a right angle southeasterly 133 feet, 6 inches; thence at a right angle southwesterly 35 feet; thence at a right angle northwesterly 133 feet, 6 inches, to the point of beginning. Being portion of PRECITA VALLEY LOT 369.

November 20, 2006

Mee Feng Quan
MEE FENG QUAN

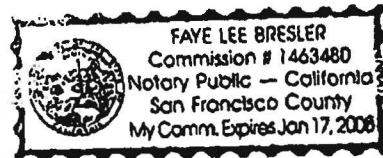
ACKNOWLEDGMENT

STATE OF CALIFORNIA)
COUNTY OF SAN FRANCISCO)

On November 20, 2006, before me, FAYE LEE BRESLER, Notary Public, personally appeared MEE FENG QUAN, personally known to me (or proved to me on the basis of satisfactory evidence) to be the person whose name is subscribed to the within Quit Claim Deed and acknowledged to me that she executed the same in her authorized capacity, and that by her signature on the instrument the person, or the entity upon behalf of which the person acted, executed the instrument.

WITNESS my hand and official seal.

Faye Lee Bresler
NOTARY PUBLIC



Mail Tax Statements To:
MEE FENG QUAN, 1117 Kirkham Street, San Francisco, CA 94122

APN: Lot 79, Block 5615

RECORDING REQUESTED BY:
Ross McLauran Madden, Esq.
2001 Union Street, Suite 330
San Francisco, CA 94123
415-567-1212

WHEN RECORDED MAIL TO:
Ross McLauran Madden, Esq.
2001 Union Street, Suite 330
San Francisco, CA 94123
415-567-1212

San Francisco Assessor-Recorder
Carmen Chu, Assessor-Recorder
DOC- 2013-J688592-00
Check Number 6333
Wednesday, JUN 19, 2013 13:44:22
Ttl Pd \$26.00 Rcpt # 0004716613
REEL K921 IMAGE 0670
okc/KC/1-4

46

TITLE OF DOCUMENT

QUITCLAIM DEED

MAIL TAX INFORMATION TO:
GRACIELA OROPEZA
21 Virginia Avenue
San Francisco CA 94110

DOCUMENTARY TRANSFER TAX DUE: \$ 0.00
[X] Grantee is a Trust for the benefit of Grantors
(Revenue & Taxation Code Sect. 11930)

Declarant: Ross McLauran Madden

Street Address: 21 Virginia Avenue, San Francisco CA 94110

FOR VALUABLE CONSIDERATION, receipt of which is hereby
acknowledged, GRACIELA OROPEZA, an unmarried woman, and ALFREDO
OROPEZA, an unmarried man, as Joint Tenants, hereby remise, release,
and forever quitclaim to GRACIELA OROPEZA, as Trustee of the GRACIELA
OROPEZA 2013 REVOCABLE TRUST, u/d/t dated 1/15/2013, that property in
the City of San Francisco, County of San Francisco, State of
California, described as follows:

Quitclaim Deed, Page 1.

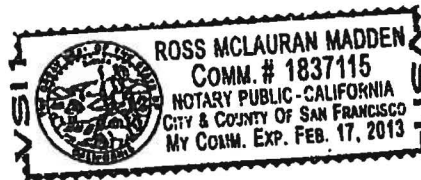
As per Exhibit "A" attached hereto and incorporated herein by
this reference.

Date: JAN 15 2013

Graciela Oropeza
GRACIELA OROPEZA

[Signature]
ALFREDO OROPEZA

State of California,)
County of San Francisco)



On JAN 15 2013, before me, ROSS MCLAURAN MADDEN, a Notary Public for the State of California, personally appeared GRACIELA OROPEZA, who proved to me on the basis of satisfactory evidence to be the person whose name is subscribed to the within instrument and acknowledged that she executed the same in her authorized capacity, and that by her signature on the instrument the person, or the entity upon behalf of which the person acted, executed the instrument. I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.

[Signature]
Notary Public for the State of California

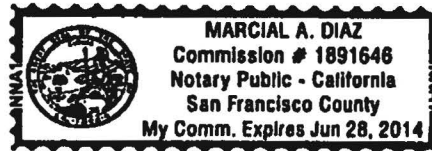
Quitclaim Deed, Page 2.

State of California,)
)
County of San Francisco)

On 05/01/2013, before me, Marcial A. Diaz —
[print name of Notary], a Notary Public for the State of California,
personally appeared ALFREDO OROPEZA, who proved to me on the basis
of satisfactory evidence to be the person whose name is
subscribed to the within instrument and acknowledged that he
executed the same in his authorized capacity, and that by his
signature on the instrument the person, or the entity upon behalf of
which the person acted, executed the instrument. I certify under
PENALTY OF PERJURY under the laws of the State of California that the
foregoing paragraph is true and correct.

WITNESS my hand and official seal.

Marcial A. Diaz
Notary Public for the State of California



Quitclaim Deed, Page 3.

EXHIBIT "A"

Description:

Lot 79, as shown on that certain map entitled, "Parcel Map of a Portion of Precita Valley Lands, Block No. 23, Being Also A Portion of Assessor's Block No. 5615, San Francisco, California", which map was filed for record in the office of the recorder, in the City and County of San Francisco, State of California, on April 13, 1978, in Book 7 of Parcel Maps, at page 90.

Quitclaim Deed, Page 4.



RECORDING REQUESTED BY:

JULIET NASER

MAIL DEED AND TAX STMTS TO:

YACOUB M. NASER
1438 – 21st Avenue
San Francisco, CA 94122

**City and County of San Francisco
Douglas Legg, Interim Assessor-Recorder**

Doc #	2021017479	Fees	\$17.00
2/2/2021	12:31:39 PM	Taxes	\$0.00
YY	Electronic	Other	\$0.00
Pages	2	SB2 Fees	\$75.00
Customer	7205	Paid	\$92.00

APN: 5615-080

Address: 3349 Mission St, San Francisco, CA 94110 (73.4% interest)

-----SPACE ABOVE THIS LINE FOR RECORDER'S USE-----

GRANT DEED
(Inheritance & Gift – Parent To Child)

The undersigned grantor(s) declare(s):
Documentary transfer tax is \$NONE (Inheritance & Gift to children, no consideration given), R&T Code 11930
(X) Realty not sold

FOR NO CONSIDERATION, JULIET NASER, as Trustee of the NASER FAMILY, 1998 REVOCABLE TRUST dated August 31, 1998, as to an undivided 73.4% interest,

hereby GRANTS to YACOUB M. NASER, a married man as his sole and separate property, as to an undivided thirty-six and seven-tenths percent (36.7%) interest, and to YACOUB M. NASER, as Trustee of the H R NASER IRREVOCABLE TRUST dated January 30, 2021, as to an undivided thirty-six and seven-tenths percent (36.7%) interest,

the following described real property in the City and County of San Francisco, State of California:

Lot 80, as shown on that certain Map entitled, PARCEL MAP OF A PORTION OF PRECITA VALLEY LANDS, BLOCK NO. 23, BEING ALSO A PORTION OF ASSESSOR'S BLOCK NO. 5616, SAN FRANCISCO, CALIFORNIA," which Map was filed for record in the Office of the Recorder in the City and County of San Francisco, State of California, on April 13, 1978, in Book 7 of Parcel Maps, at Page 90.

MAIL TAX STATEMENT AS DIRECTED ABOVE.

Dated: January 30, 2021

Juliet Naser
JULIET NASER, Trustee

ACKNOWLEDGMENT

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

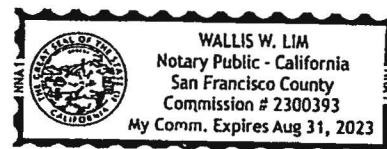
STATE OF CALIFORNIA)
) SS
COUNTY OF SAN FRANCISCO)

On January 30, 2021, before me, Wallis W. Lim, Notary Public, personally appeared JULIET NASER, who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY of PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.

Signature Wallis W. Lim
Wallis W. Lim, Notary Public





CITY AND COUNTY OF SAN FRANCISCO
DEPARTMENT OF BUILDING INSPECTION
49 South Van Ness Ave, Suite 400
San Francisco, CA 94103-1226

PAYMENT RECEIPT

Printed on: 05/28/2024 11:03:08 AM

Building Inspection Division

Phone:(628) 652-3450

Payment Date: 05/28/2024

Job Address

3333 MISSION ST - CC8680

Receipt Number: BID21739

Issued By: EMENENDE

Payment received from:

Application Number:

BERNAL HEIGHTS HOUSING CORP
515 CORTLAND AVE
SAN FRANCISCO CA 94110

Condo Conversion CC8680

3333 MISSION ST - CC8680

Payment received for the items indicated:

Fee Description	Payment Amount	Complaint#/ (if applicable)
BID Condo Conversion	\$2,459.85	

TOTAL

\$2,459.85

BY _____

DBI COPY

City and County of San Francisco
Department of Building Inspection



BID 21739
London N. Breed, Mayor
Patrick O'Riordan, C.B.O., Director

APPLICATION FOR PHYSICAL INSPECTION

CC-2680

Addresses of building to be inspected: 3 3 3 3 MISSION STREET

Names of Applicant: ELEVATE HOUSING PARTNERS LP

Mailing Address: 515 CORTLAND AVENUE SF CA 94110

Contact Person for Inspection Appointment: GINA DACUS

Contact Number: 415 - 206 - 2140 ext. 169

Email: GDACUS@BHNC.ORG

Primary Use of Property	No. of Units	Fee (effective August 28, 2023)
Single Unit		\$1,871.63
2 to 4 Units		\$2,459.85
5 Units or more		\$2,459.85 plus additional standard hourly rate \$181.82/hr
Commercial/ Mixed Use	1	\$2,459.85 Plus additional standard hourly rate \$181.82/hr
Hotels:		See Table 1A-G item #7

Number of structures on lot: 1 (Do not count detached garage, sheds, etc. A separate application will need to be submitted and paid for each additional structure.)

Important Note:

- The entire building must be available for a complete and continuous inspection at the time for which the inspection is arranged. No additional inspections will be made. A report will not be sent to the owner if all areas are not inspected. Filing fee will be forfeited if appointment is not kept or if entire building is not made available for inspection.
- Physical inspection of building must include cellars, basements, garages and all stories of the building within an area defined by area separation walls.
- All violation found must be corrected within a reasonable period of time after the date of report. If violations are not corrected, building will be referred to Code Enforcement Section for enforcement of code violations.

I am ☒ the legal owner ☐ the authorized agent of the legal owner, of the property at the address of subject building, and hereby request that a physical inspection be made of subject building.

DocuSigned by:

Gina Dacus

5/23/2024

Signature of Owner/Authorized Agent
Elevate Housing Partners L.P.

Date

Department of Building Inspection - Inspection Services

49 South Van Ness Ave, Suite 400 - San Francisco CA 94103

Office (628) 652-3400 - www.sfdbi.org

P:\clerical\Forms & Org Charts\Forms\BID\Condo Conversion_Physical Insptn\2023.08.28_CondoInspection + 15%

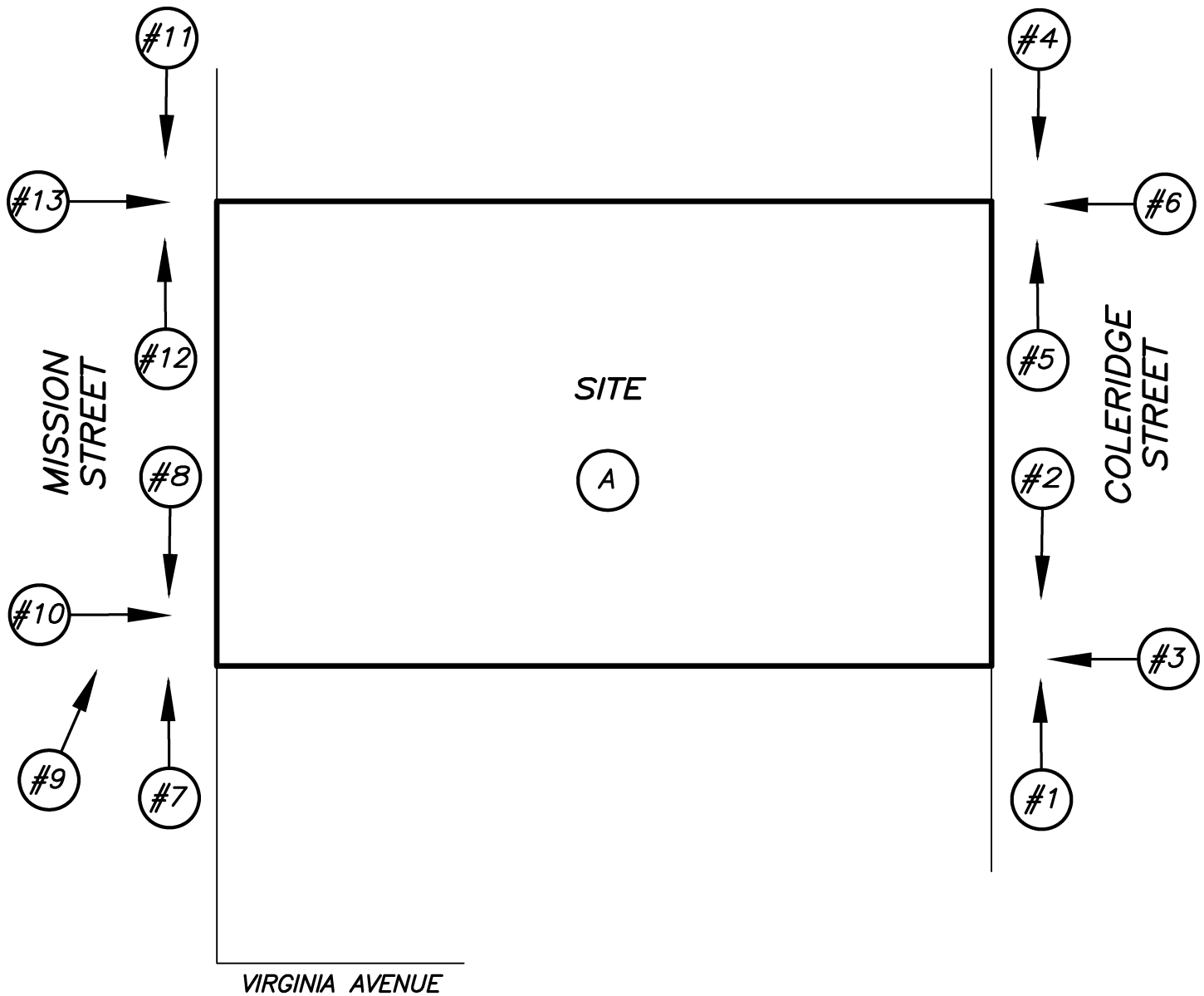


PHOTO DIAGRAM

ASSESSOR'S BLOCK NO. 5615
SAN FRANCISCO, CA.

BY JP CHKD. BR DATE 5/13/24 SCALE NONE SHEET 1 OF 9 JOB NO. T-1419

MARTIN M. RON ASSOCIATES, INC.
LAND SURVEYORS

859 HARRISON STREET
SAN FRANCISCO, CA. 94107
(415) 543-4500
T-1419 PHOTO DIAGRAM.dwg



A

PHOTO DIAGRAM

ASSESSOR'S BLOCK NO. 5615
SAN FRANCISCO, CA.

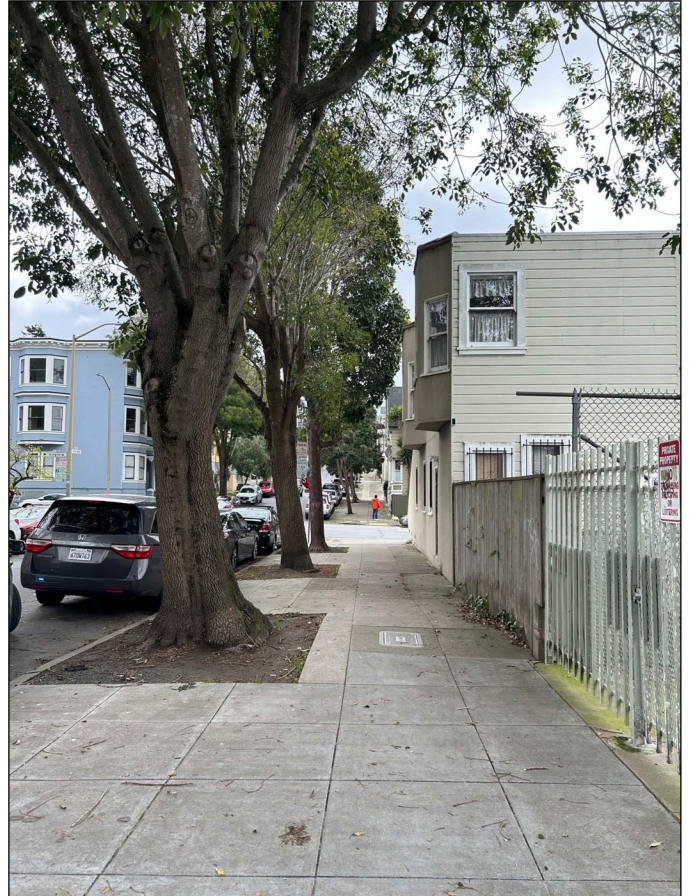
BY JP CHKD. BR DATE 5/13/24 SCALE NONE SHEET 2 OF 9 JOB NO. T-1419

MARTIN M. RON ASSOCIATES, INC.
LAND SURVEYORS

859 HARRISON STREET
SAN FRANCISCO, CA. 94107
(415) 543-4500
T-1419 PHOTO DIAGRAM.dwg



#1



#2

PHOTO DIAGRAM

ASSESSOR'S BLOCK NO. 5615
SAN FRANCISCO, CA.

BY JP CHKD. BR DATE 5/13/24 SCALE NONE SHEET 3 OF 9 JOB NO. T-1419

MARTIN M. RON ASSOCIATES, INC.
LAND SURVEYORS

859 HARRISON STREET
SAN FRANCISCO, CA. 94107
(415) 543-4500
T-1419 PHOTO DIAGRAM.dwg



#3



#4

PHOTO DIAGRAM

ASSESSOR'S BLOCK NO. 5615
SAN FRANCISCO, CA.

BY JP CHKD. BR DATE 5/13/24 SCALE NONE SHEET 4 OF 9 JOB NO. T-1419

MARTIN M. RON ASSOCIATES, INC.
LAND SURVEYORS

859 HARRISON STREET
SAN FRANCISCO, CA. 94107
(415) 543-4500
T-1419 PHOTO DIAGRAM.dwg



#5



#6

PHOTO DIAGRAM

ASSESSOR'S BLOCK NO. 5615
SAN FRANCISCO, CA.

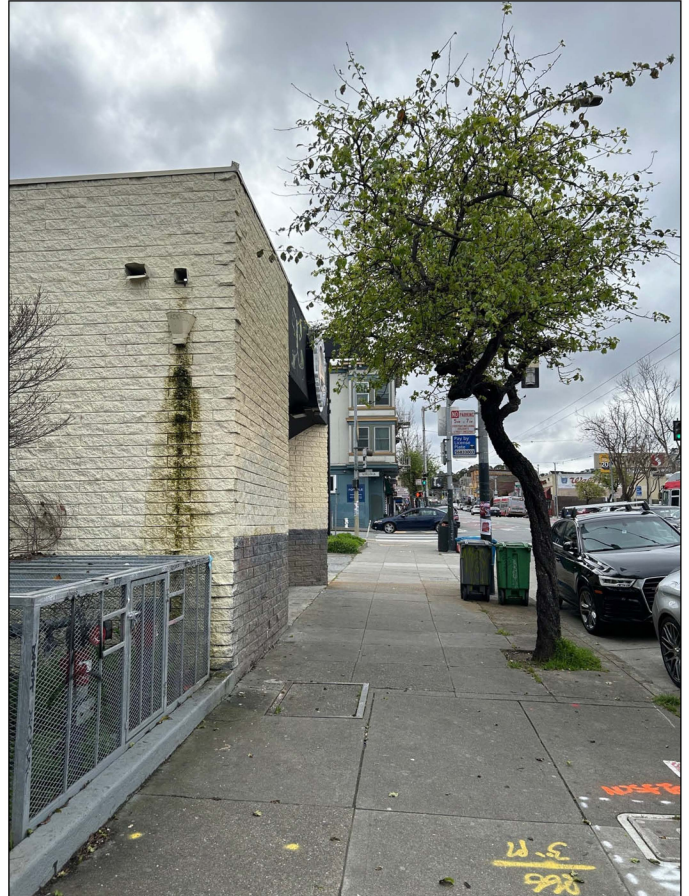
BY JP CHKD. BR DATE 5/13/24 SCALE NONE SHEET 5 OF 9 JOB NO. T-1419

MARTIN M. RON ASSOCIATES, INC.
LAND SURVEYORS

859 HARRISON STREET
SAN FRANCISCO, CA. 94107
(415) 543-4500
T-1419 PHOTO DIAGRAM.dwg



#7



#8

PHOTO DIAGRAM

ASSESSOR'S BLOCK NO. 5615
SAN FRANCISCO, CA.

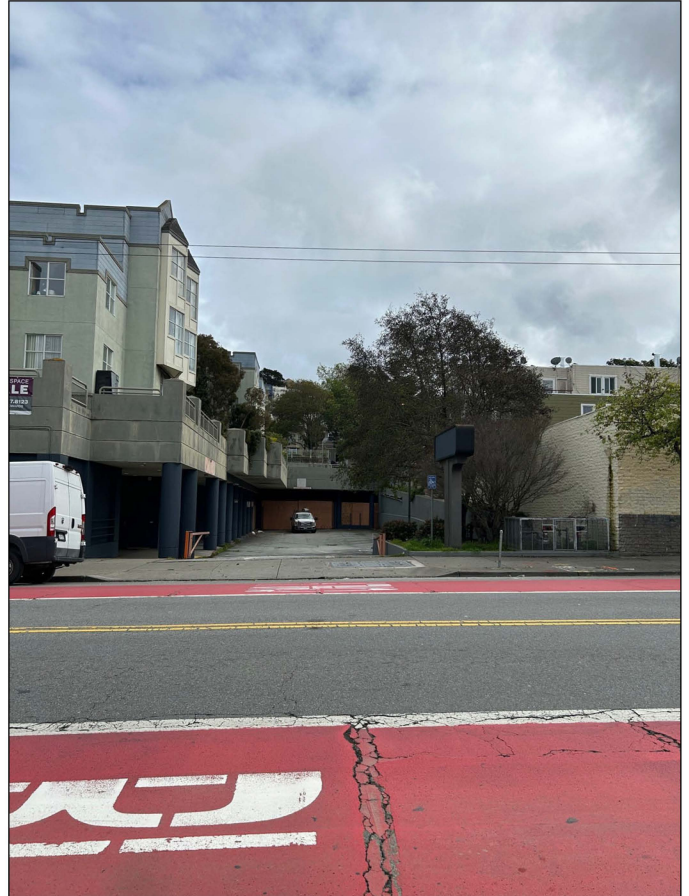
BY JP CHKD. BR DATE 5/13/24 SCALE NONE SHEET 6 OF 9 JOB NO. T-1419

MARTIN M. RON ASSOCIATES, INC.
LAND SURVEYORS

859 HARRISON STREET
SAN FRANCISCO, CA. 94107
(415) 543-4500
T-1419 PHOTO DIAGRAM.dwg



#9



#10

PHOTO DIAGRAM

ASSESSOR'S BLOCK NO. 5615
SAN FRANCISCO, CA.

BY JP CHKD. BR DATE 5/13/24 SCALE NONE SHEET 7 OF 9 JOB NO. T-1419

MARTIN M. RON ASSOCIATES, INC.
LAND SURVEYORS

859 HARRISON STREET
SAN FRANCISCO, CA. 94107
(415) 543-4500
T-1419 PHOTO DIAGRAM.dwg



#11



#12

PHOTO DIAGRAM

ASSESSOR'S BLOCK NO. 5615
SAN FRANCISCO, CA.

BY JP CHKD. BR DATE 5/13/24 SCALE NONE SHEET 8 OF 9 JOB NO. T-1419

MARTIN M. RON ASSOCIATES, INC.
LAND SURVEYORS

859 HARRISON STREET
SAN FRANCISCO, CA. 94107
(415) 543-4500
T-1419 PHOTO DIAGRAM.dwg



#13

PHOTO DIAGRAM

ASSESSOR'S BLOCK NO. 5615
SAN FRANCISCO, CA.

BY <u>JP</u>	CHKD. <u>BR</u>	DATE <u>5/13/24</u>	SCALE <u>NONE</u>	SHEET <u>9 OF 9</u>	JOB NO. <u>T-1419</u>
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MARTIN M. RON ASSOCIATES, INC.
LAND SURVEYORS

859 HARRISON STREET
SAN FRANCISCO, CA. 94107
(415) 543-4500
T-1419 PHOTO DIAGRAM.dwg

City and County of San Francisco

Department of Public Works

F. FORMS

Form No. 1

Building History

Assessor's Block 5615 Lot 099

Address 3333 Mission Street, San Francisco, CA 94110

Item No. 6 - Building History

The Commercial Condominium Conversion is for Lot 099 which encompasses a ground floor commercial unit and parking garage. The property was built in 1988 and been vacant for two years.

Form No. 2

Owner's Release of Interest in Common Areas

In accordance with section 1323(a)(6) of the San Francisco Subdivision Code, this is my statement that neither I nor any of my agents shall retain any right, title, or interest in any common area or areas or facilities except those common areas in which I might retain any individual interest by virtue of ownership of one or more of the individual units.

Dated: 5/23/2024

Signed: _____

DocuSigned by:

Gina Dacus

119F69C1E745423

Elevate Housing Partners L.P., a California limited partnership

Dated: 5/23/2024

Signed: _____

DocuSigned by:

Gina Dacus

Bernal Center Housing Partners, a California limited partnership

Dated: _____

Signed: _____

Dated: _____

Signed: _____

Form No. 3

Proposition "M" Findings Form **The Eight Priority Policies** **of Section 101.1 of the San Francisco Planning Code**

Date: 5/23/2024

City Planning Case No. 2023-011158PPS (if available)

Address 3333 Mission Street and 190 Coleridge Street, San Francisco, CA 94110

Assessor's Block 5615 Lot(s) 099,100,101

Proposal: Mixed-use project with affordable housing

EIGHT PRIORITY GENERAL PLAN POLICIES

As a result of the passage of Proposition M (Section 101.1 of the San Francisco Planning Code), findings that demonstrate consistency with the eight priority policies of Section 101.1 must be presented to the Department of City Planning as part of your project application review for general conformity with San Francisco's General Plan.

Photographs of the subject property are required for priority policy review and must be submitted as part of the application.

INSTRUCTIONS TO APPLICANTS: Please present information in detail about how your application relates to each of the eight priority policies listed below. The application will be found to be incomplete if the responses are not thorough. Use a separate document and attach if more space is needed.

1. That existing neighborhood-serving retail uses be preserved and enhanced and future opportunities for resident employment in and ownership of such businesses enhanced;

The Project site has a commercial space that will be preserved for neighborhood-serving retail uses. The Project will maintain the current existing 49 affordable senior housing units and provide 70 new dwelling units, at affordability levels with a 30% to 120% AMI range. The new residents will enhance the proposed ground-floor retail uses by providing new residents, who may patron and/or own these businesses.

2. That existing housing and neighborhood character be conserved and protected in order to preserve the cultural and economic diversity of our neighborhood;

The Project provides 70 new dwelling units, resulting in an overall increase in the neighborhood housing stock. The Project would preserve ground-floor retail use, which adds to the public realm by facilitating a commercial space along the neighborhood commercial corridor. The Project also includes a redesign and improvement of Coleridge Park. The Project is expressive in design and would protect and preserve the cultural and economic diversity of the neighborhood.

City and County of San Francisco

Department of Public Works

3. That the City's supply of affordable housing be preserved and enhanced;

The Project will preserve the existing 49 units of affordable senior housing and add 70 affordable units, ranging from 30% to 120% AML. Therefore, the Project will increase the supply of affordable housing units in the City.

4. That commuter traffic not impede Muni transit service or overburden our streets or neighborhood parking;

The Project site is served by nearby public transportation options. The Project is located along a Muni bus line (14, 14R, and 49-Mission) and is within walking distance of the Muni Line J light rail at 30th and Dolores Streets. In addition, the Project is within one block of 30th Street and Mission Street bus route (lines 24 and 36). Future residents would be afforded close proximity to bus lines and light rail line.

5. That a diverse economic base be maintained by protecting our industrial and service sectors from displacement due to commercial office development, and that future opportunities for resident employment and ownership in these sectors be enhanced;

The Project does not include commercial office development. The commercial portion of the Project is limited to approximately 15,898 square feet at the ground floor, thus assisting in diversifying the neighborhood.

6. That the City achieve the greatest possible preparedness to protect against injury and loss of life in an earthquake;

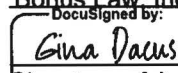
The Project will be designed and constructed to conform to the structural and seismic safety requirements of the Building Code. As such, this Project will improve the property's ability withstand an earthquake.

7. That landmarks and historic buildings be preserved; and

Currently, the Project site does not contain any City Landmarks or listed California Register Historic Buildings.

8. That our parks and open space and their access to sunlight and vistas be protected from development.

The Project's new construction will be 5 stories over the existing parking garage and is not subject to environmental review nor the review of shadows on our parks and open spaces under Planning Code Section 295, as the 100% affordable unit project qualifies for form based density bonus, pursuant to CA Gov. Code § 65915(b)(1)(G) and 65915(d)(2)(D). In combination with State Density Bonus Law, the Project is consistent with this finding.

DocuSigned by:

 Signature of Applicant

5/23/2024
 Date

Form No. 4

Required ONLY when creating a new lot line on property occupied with existing building(s) (NOT required if Map is only for merging adjoining lots).

Department of Building Inspection Requirements

Property Address: 3333 MISSION STREET, 190 COLERIDGE STREET

Assessor's Block: 5615

Lot Number(s): 099, 100 & 101

Submit a separate check payable to the Department of Building Inspection. Form number 2 will be forwarded to DBI, it is important to be sure it is complete. Photos and Architectural floor plans should be attached if they are available. DBI reviews for building code compliance mainly fire rating, they will require the following information (DBI Inspection Fee in fee schedule at <https://www.sfpublicworks.org/citysurveyor>):

Building Inspection Fees

\$538 -

Area of Wall(s) = (Length X Height)

Area of ALL Openings (Total)

Construction material – what is the wall(s) made of

Pictures detailing above

Architect floor plans (if available)

Other

NOTE:

PAYMENT RECEIPT FOR PHYSICAL INSPECTION
FOR 3333 MISSION STREET COMMERCIAL UNIT
APN 5615-099 ATTACHED

BERNAL HEIGHTS HOUSING CORPORATION
515 CORTLAND AVE
SAN FRANCISCO, CA 94110-5611

WELLS FARGO BANK, N.A.
www.wellsfargo.com
11-4288/1210

3713

05/23/2024

PAY TO THE
ORDER OF

CCSF - DBI

Five Hundred Thirty Eight Dollars

CCSF - DBI
CCSF - DBI
San Francisco, CA
United States

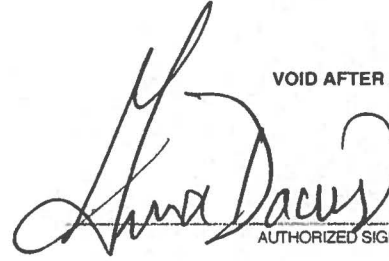
\$

538.00

DOLLARS

VOID AFTER 90 DAYS

MEMO 3333 Mission Review fee
APN 5615-099-101


AUTHORIZED SIGNATURE

⑈0000003713⑈ ⑆121042882⑆ 5307338086⑈

Photo Safe Deposit

Details on Back.



CEQA Exemption Determination

PROPERTY INFORMATION/PROJECT DESCRIPTION

Project Address		Block/Lot(s)
3333 Mission St, 190 Coleridge St		5615099, 5615100, 5615101
Case No.		Permit No.
2025-010054PRJ		
<input type="checkbox"/> Addition/ Alteration	<input type="checkbox"/> Demolition (requires HRE for Category B Building)	<input type="checkbox"/> New Construction
Project description for Planning Department approval. DPW referral - 3 Lot Vertical Subdivision and 1 Residential 6 Commercial Condominium Project		

EXEMPTION TYPE

The project has been determined to be exempt under the California Environmental Quality Act (CEQA).	
<input checked="" type="checkbox"/>	Class 1 - Existing Facilities. (CEQA Guidelines section 15301) Interior and exterior alterations; additions under 10,000 sq. ft.
<input type="checkbox"/>	Class 3 - New Construction. (CEQA Guidelines section 15303) Up to three new single-family residences or six dwelling units in one building; commercial/office structures; utility extensions; change of use under 10,000 sq. ft. if principally permitted or with a CU.
<input type="checkbox"/>	Class 32 - In-Fill Development. (CEQA Guidelines section 15332) New Construction of seven or more units or additions greater than 10,000 sq. ft. and meets the conditions described below: (a) The project is consistent with the applicable general plan designation and all applicable general plan policies as well as with applicable zoning designation and regulations. (b) The proposed development occurs within city limits on a project site of no more than 5 acres substantially surrounded by urban uses. (c) The project site has no value as habitat for endangered rare or threatened species. (d) Approval of the project would not result in any significant effects relating to traffic, noise, air quality, or water quality. (e) The site can be adequately served by all required utilities and public services.
<input type="checkbox"/>	Other _____
<input type="checkbox"/>	Common Sense Exemption (CEQA Guidelines section 15061(b)(3)). It can be seen with certainty that there is no possibility of a significant effect on the environment.

ENVIRONMENTAL SCREENING ASSESSMENT

Comments:

Planner Signature: Gabriela Pantoja

PROPERTY STATUS - HISTORIC RESOURCE

PROPERTY IS ONE OF THE FOLLOWING:

<input type="checkbox"/>	Category A: Known Historical Resource.
<input type="checkbox"/>	Category B: Potential Historical Resource (over 45 years of age).
<input checked="" type="checkbox"/>	Category C: Not a Historical Resource or Not Age Eligible (under 45 years of age).

PROPOSED WORK CHECKLIST

Check all that apply to the project.


<input type="checkbox"/>	Change of use and new construction. Tenant improvements not included.
<input type="checkbox"/>	Regular maintenance or repair to correct or repair deterioration, decay, or damage to building.
<input type="checkbox"/>	Garage work. A new opening that meets the <i>Guidelines for Adding Garages and Curb Cuts</i> , or replacement of a garage door in an existing opening that meets the Residential Design Guidelines.
<input type="checkbox"/>	Deck, terrace construction, or fences not visible from any immediately adjacent public right-of-way.
<input type="checkbox"/>	Mechanical equipment installation that is not visible from any immediately adjacent public right-of-way.
<input type="checkbox"/>	Dormer installation that meets the requirements for exemption from public notification under <i>Zoning Administrator Bulletin No. 3: Dormer Windows</i> .
<input type="checkbox"/>	Addition(s) not visible from any immediately adjacent public right-of-way for 150 feet in each direction; or does not extend vertically beyond the floor level of the top story of the structure, or does not cause the removal of architectural significant roofing features.
<input type="checkbox"/>	Façade or storefront alterations that do not remove, alter, or obscure character -defining features.
<input type="checkbox"/>	Restoration based upon documented evidence of a building's historic condition , such as historic photographs, plans, physical evidence, or similar buildings.
Note: Project Planner must check box below before proceeding.	
<input type="checkbox"/>	Project is not listed.
<input type="checkbox"/>	Project involves scope of work listed above.

ADVANCED HISTORICAL REVIEW

Check all that apply to the project.

<input type="checkbox"/>	Reclassification of property status. (<i>Attach HRER Part I relevant analysis; requires Principal Preservation Planner approval</i>) <input type="checkbox"/> Reclassify to Category A <input type="checkbox"/> Reclassify to Category C <input type="checkbox"/> Lacks Historic Integrity <input type="checkbox"/> Lacks Historic Significance
<input type="checkbox"/>	Project involves a known historical resource (CEQA Category A)
<input type="checkbox"/>	Project does not substantially impact character-defining features of a historic resource (see Comments)
<input type="checkbox"/>	Project is compatible, yet differentiated, with a historic resource.
<input type="checkbox"/>	Project consistent with the Secretary of the Interior Standards for the Treatment of Historic Properties
Note: If ANY box above is checked, a Preservation Planner MUST sign below.	
<input type="checkbox"/>	Project can proceed with EXEMPTION REVIEW. The project has been reviewed by the Preservation Planner and can proceed with exemption review.
Comments by Preservation Planner:	
Preservation Planner Signature:	

EXEMPTION DETERMINATION

	No further environmental review is required. The project is exempt under CEQA. There are no unusual circumstances that would result in a reasonable possibility of a significant effect.	
	Project Approval Action: DPW Referral	Signature: Gabriela Pantoja 10/27/2025
	Supporting documents are available for review on the San Francisco Property Information Map, which can be accessed at https://sfplanninggis.org/pim/ . Individual files can be viewed by clicking on the Planning Applications link, clicking the "More Details" link under the project's environmental record number (ENV) and then clicking on the "Related Documents" link. Once signed and dated, this document constitutes an exemption pursuant to CEQA Guidelines and chapter 31 of the San Francisco Administrative Code. Per chapter 31, an appeal of an exemption determination to the Board of Supervisors shall be filed within 30 days after the approval action occurs at a noticed public hearing, or within 30 days after posting on the planning department's website (https://sfplanning.org/resource/ceqa-exemptions) a written decision or written notice of the approval action, if the approval is not made at a noticed public hearing.	

City and County of San Francisco

E. COMMERCIAL CONDOMINIUM CONVERSION APPLICATION CHECKLIST

Check the following items enclosed where applicable:

Submitted per guidelines and in this order?		Official Use Only:	No.	Item Description and Order	Total of copies	Which and how many of total required items are needed for each agency?			Form No. (where applicable)
Yes	No	OK?				DPW	DCP	DBI	
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	1.	Three (3) copies of Tentative Parcel Map *One additional copy will be required if project falls within the jurisdiction of SFRA.	3	2*	1		
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	2.	Three (3) copies of Tentative Final Map *One additional copy will be required if project falls within the jurisdiction of SFRA.	3	2*	1		
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	3.	Subdivision Fee (\$ 16,620.00 ____)	1				
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	4.	Preliminary Title Report (dated within 3 months)	2	1	1		
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	5.	Grant Deeds and any other recorded documents for: <input checked="" type="checkbox"/> Subject Site and <input checked="" type="checkbox"/> Adjoiners	1	1			
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6.	Building History	2	1	1		Form No. 1
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	7.	Physical Inspection Report or Receipt of application for Physical Inspection from DBI	2	1	1		
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	8.	Owner's Release of Interest in Common Areas [Sec. 1323 (6)]	2	1	1		Form No. 2
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	9.	Neighborhood Notification package for Notice of Tentative Map decision [Section 1313 & 1314]	<input checked="" type="checkbox"/> 300-Foot Radius Map <input checked="" type="checkbox"/> Address List <input checked="" type="checkbox"/> Envelopes	1 1 1	1 1 1		
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	10.	Photographs of subject property streetscape, as follows[Public Works Code Sec. 723.2 & Planning Code] <input checked="" type="checkbox"/> Front photo from the street looking at the property, including sidewalk without obstructions <input checked="" type="checkbox"/> Photo from left side showing property line and sidewalk fronting subject site <input checked="" type="checkbox"/> Photo from right side showing property line and sidewalk fronting subject site <input checked="" type="checkbox"/> Photo of rear of property	2	1	1		
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	11.	Proposition "M" Findings demonstrating consistency with Eight Priority General Plan Policies [Planning Code Sec. 101.1(b)]	2	1	1		Form No. 3

Date: Nov 7, 2025



Daniel Lurie,
Mayor

Carla Short,
Director of Public Works

Project Delivery:
Bureau of Surveys and
Mapping

Office of the
City and County Surveyor

Bureau of Surveys and Mapping
49 South Van Ness Ave.,
Suite 900,
San Francisco, CA 94103
Phone: (628)271-2000

sfpublicworks.org
facebook.com/sfpublicworks
twitter.com/sfpublicworks

Ben Ron
Martin M. Ron Associates, Inc.
859 Harrison Street
Suite 200
San Francisco, CA 94107

Conditional Approval of Tentative Map 12259

**Re: 3333 Mission, 190 Coleridge Street
San Francisco, California
APN 5615-099-100-101**

Decision

Public Works hereby states that the Tentative Final Map Application 12259, prepared on behalf of Elevate Housing Partners L.P., a California limited partnership, Bernal Senior Housing Corporation, a California nonprofit benefit corporation and Bernal Senior Housing Partners, a California limited partnership, by Martin M. Ron Associates, Inc. submitted on May 30, 2024, and revised Tentative Map received June 11, 2025 is hereby approved subject to compliance with, but not necessarily limited to, the following findings and conditions:

FINDINGS

This Application requests approval of a total of 3 Lot Vertical Subdivision, 5 Residential and 10 Commercial Unit Mixed-Use Condominium Project. None of the conditions described in Government Code Sections 66474(a) through (g), inclusive, exist with respect to this subdivision.

The Subdivision meets and performs the requirements or conditions imposed by the California Subdivision Map Act and the City and County of San Francisco (CCSF) Subdivision Code and Regulations.

The Tentative Map approval shall be effective upon execution by the Director of DPW.

CONDITIONS

DEPARTMENT OF CITY PLANNING (DCP)

In a letter dated Oct 27, 2025, the Planning Department confirmed that:

The project is consistent with the General Plan and the Priority Policies of Planning Code Section 101.1(b).

DEPARTMENT OF BUILDING INSPECTION (DBI)

The C.C.S.F. Building Code and all Department of Building Inspection conditions outlined in the attached D.B.I. memo dated **Sept 22, 2025**. Copy of D.B.I. approval attached.

- All provisions of the CCSF Subdivision Code, CCSF Subdivision Regulations, CCSF Mapping Standards, CA Subdivision Map Act, and CA Professional Land Surveyors Act.
- The final version of the map must graphically show all easements affecting the subject parcel and demonstrate or note compliance with the intended purpose of each.
- Please place the following statement on your checkprint submittal:

“This subdivision of land contains a vertical subdivision of airspace. Vertical subdivisions often necessitate reciprocal easement agreements such as but not limited to access, maintenance, utilities, support, encroachments, emergency ingress and egress, permitted uses, no build zones, environmental hazards, etc. Some of these requirements may have a public nature to which the City and County of San Francisco is or should be a beneficiary. These are often not of a nature to be disclosed graphically on a survey map. Users of this map are therefore advised to consult their title company and legal counsel to determine whether adequate provisions exist and are sufficient and enforceable.”

SAN FRANCISCO PUBLIC UTILITIES COMMISSION (SFPUC) WATER ENTERPRISE

SFPUC Water Enterprise Comments

Water Fixture Efficiency

The project sponsor must comply with the San Francisco Commercial or Residential Water Conservation Ordinance (San Francisco Building Code Chapter 13A and San Francisco Housing Code Chapters 12 and 12A). Additionally, please refer to Chapter 4 of the San Francisco Plumbing Code, which sets maximum flow rates for plumbing fixtures such as water closets, urinals, showerheads, and faucet aerators.

Landscape Irrigation

If the project will install or modify 500 square feet or more of landscape area, then the project sponsor must comply with San Francisco’s Water Efficient Irrigation Ordinance, adopted as Chapter 63 of the San Francisco Administrative Code and the SFPUC Rules & Regulations Regarding Water Service to Customers. The SFPUC must review and approve the project’s landscape and irrigation plans prior to installation.

Water Distribution – San Francisco Water Division (SFWD), formerly City Distribution Division (CDD)

1. After reviewing the provided document(s), SFWD takes no exceptions to the proposed plans. Please see Exhibit A and submit any questions to cddengineering@sflower.org.

2. To ensure the welfare and safety of people and structures in the City and County of San Francisco, the project sponsor must design all applicable water facilities, including potable, fire-suppression, and non-potable water systems, to conform to the current SFPUC- San Francisco Water Division (SFWD) and San Francisco Fire Department (SFFD) standards and practices. These include, but are not limited to, the following:

- SFWD/CDD Standard Specifications for the Installation of Ductile Iron Water Mains 16-Inches and Smaller (January 2020 or Latest Revision);
- SFWD/CDD Standard Plans (January 2020 or Latest Revision);
- SFPUC Asset Protection Standards (May 2017 or Latest Revision);
- SFPUC Rules and Regulations Governing Water Service to Customers (September 2016);
- San Francisco Fire Code (2016);
- California Safe Drinking Water Act; and
- California Code of Regulations Titles 17 and 22

In addition to conforming to applicable SFPUC, SFWD, and SFFD standards, a hydraulic analysis will be required to confirm adequacy of water distribution system for both potable, non-potable, and fire use. If current distribution system pressures and flows are inadequate, the project sponsor will be responsible for any water distribution system improvements required to meet the proposed project's water demands. Additionally, a capacity fee will be assessed for the entire project. To initiate this process, please contact the SFPUC Customer Service Bureau at 415-551-2900.

To ensure adequate fire suppression reliability and capacity, the project sponsor may be required to include construction of one or more of the following: two sources of water delivery (connections to two separate potable water mains), low pressure fire hydrants, and Auxiliary Water Supply System (AWSS) high pressure distribution piping and hydrants.

SFPUC Wastewater Enterprise Comments

Sewer Systems

1. The project sponsor must provide both existing and proposed utility drawings and show all lateral connections on drawings. Each building must have its own sewer/storm lateral constructed per SFPUC Sewer Lateral Standard Details Dwg No. 5. Sewer vents must be located two feet (2') behind the proposed face of the curb.
2. The project sponsor must provide the final proposed building sanitary and storm flows in gallons per minute (GPM) at each point of connection. For storm flow calculations, see the 2015 San Francisco Subdivision Regulations.
3. Reuse of existing laterals will not be allowed. The project sponsor must replace existing laterals according to current SFPUC Sewer Lateral Installation Standards, regardless of as-found condition. Proposed lower laterals must have a minimum six-inch (6") diameter for single-family residential occupancy and a minimum eight-inch (8") diameter for multi-family residential or commercial occupancies. Lower laterals must be at a minimum 2% slope.
4. Any modifications that affect the street flow, including but not limited to sidewalk bulb-outs, altered/moved catch basins, sidewalk widening, etc. will require cross-sectional analyses of each street affected by proposed changes. The project sponsor must determine the existing flow line and compare the pre-existing flow line to the proposed flow line at the affected streets, demonstrating that the existing street overland capacity is not impacted by the proposed development. Upstream conveyance flows are not necessary. If the existing cross-sectional area of flow cannot be contained within the new proposed right of way, the project sponsor must propose a solution. The analysis must be stamped and signed by

the project sponsor's Engineer of Record and submitted to the SFPUC Wastewater Enterprise for review and approval.

5. If the project sponsor is widening a sidewalk, the project sponsor must replace any existing sewer laterals within the sidewalk widening limits, and relocate the sewer lateral's cleanout to comply with the requirement that sewer vents must be located two feet (2') behind the proposed face of the curb.

6. Per SFPUC Asset Protection Standards S2.a, "Sidewalk extensions, bulb-outs, curbs, and gutters shall not be built in the same location as existing manholes." Any existing manhole(s) located within the proposed sidewalk extension or bulb-out must be relocated for any proposed sidewalk changes to be approved. The face of any new curb must be horizontally offset from the outside edge of any manhole frame by a minimum of eighteen inches (18").

7. Sewer laterals require five feet (5') of clearance from outside of the sewer lateral to the centerline of the tree basin.

8. The project sponsor is responsible for designing and building at the correct elevation to avoid flooding from overland flow.

9. All materials must comply with the latest available City standards or better, subject to approval by the SFPUC.

10. Any proposed force mains are considered private. The SFPUC Wastewater Enterprise's responsibility starts at the connection point to SFPUC Wastewater Enterprise assets.

11. Any increase in wastewater demand must be submitted to the SFPUC for review and approval, including but not limited to, expansion of property, change in usage, addition of units, etc. The capacity of the

sewer system must be analyzed to ensure that it can accommodate the flows. The project sponsor has the option of providing the analysis, or having the SFPUC provide the analysis. If the project sponsor does the analysis, the SFPUC Wastewater Enterprise will review and approve. If the SFPUC does the analysis, the project sponsor will reimburse the SFPUC for personnel time. Note if capacity is limited, additional mitigation will be required from the project.

12. Construction activities such as pile driving, compaction, pipe jacking, and large excavations can damage SFPUC Wastewater Enterprise assets. If these activities take place, monitoring for vibration and settlement of SFPUC Wastewater Enterprise assets will be required. The project sponsor must submit a monitoring plan to the SFPUC for review and approval.

13. (For large excavation) Foundation excavation within the proposed property will likely impact utilities. The SFPUC Wastewater Enterprise must review and approve a work plan prior to the commencement of excavation work, including but not limited to, excavation of basements and underground utilities. The project sponsor will need to perform pre- and post-CCTV inspection of SFPUC Wastewater Enterprise assets prior to the commencement of any excavation. CCTV inspection performed by the project sponsor must comply with SFPUC standards. Resultant damage must be remedied by the project sponsor.

14. Special foundations such as tiebacks, pressure grout/soil stabilization, etc., that encroach into public rights of way must include pre- and post-CCTV inspection of SFPUC Wastewater Enterprise assets to ensure no impact from the project.

15. Pre- and post-construction videos of SFPUC Wastewater Enterprise assets will be required if construction activities, such as the examples above, are performed. The videos must be submitted in Pipeline Assessment Certification Program (PACP) format and reviewed by the SFPUC Wastewater Enterprise.
16. Dewatering discharge to the sewer system requires review and approval by the SFPUC Wastewater Enterprise.
17. The project sponsor must provide a detailed permanent dewatering plan, including but not limited to, water quality, estimated flow, etc., for any underground basements.
18. The SFPUC Wastewater Enterprise must be notified at sewerinspections@sfgov.org prior to the commencement of any construction activities.
19. The project sponsor must reimburse the City for all construction management fees and project oversight during construction.
20. Any newly installed sewers must be air tested and televised according to SFPUC standards. The contractor must coordinate with SFPUC staff for field witness of CCTV inspection and testing. SFPUC standards can be obtained prior to construction.
21. New manholes will require vacuum testing, and new sewers will require either air testing (to applicable ASTM standards) or a Focused Electron Leak Locator (FELL).
22. The project sponsor must provide manhole details, including a requirement for contractor shop drawings.
23. The project sponsor must provide a monitoring plan for the potential settlement of surrounding utilities and buildings.

Stormwater Management

24. The project sponsor must submit a Stormwater Control Plan to document compliance with the Stormwater Management Ordinance requirements, if the project creates or replaces more than 5,000 square feet of impervious surface area. For more information, see <https://www.sfpuc.gov/smr>.

SFPUC Power Enterprise Comments

Hetch Hetchy Power

San Francisco Administrative Code Section 99 identifies certain types of development projects that present good opportunities for City electric service from the SFPUC. The SFPUC has been providing clean, reliable Hetch Hetchy Power for almost 100 years and is San Francisco's local publicly owned electric utility. The SFPUC provides its customers in new developments with 100% GHG-free electricity at stable, affordable rates. The SFPUC can assess the feasibility of providing clean energy to this project and whether such service would benefit the project and the City's existing electric customers. For more information, please contact HHPower@sfgov.org.

Streetlights

If the project sponsor is performing work on any sidewalks, the project sponsor may need to perform streetlight work. Streetlight work will be reviewed and permitted through the Public Works Street Improvement permit process. For more information about streetlight requirements, standard streetlight

design and installation, photometric requirements, separation requirements, Standard plans, and SFPUC's Streetlight Catalog of approved streetlight fixtures and poles, visit <https://sfpuc.gov/streetlights>.

SFPUC Real Estate Services Comments

At this time, the SFPUC Real Estate Services Division does not identify any conflicts with the proposal as it relates to the SFPUC's property rights. However, the SFPUC is not waiving any rights or interests in the subject property that may exist by law.

The SFPUC will not accept utilities outside of the public right-of-way.

PUBLIC WORKS: BUREAU OF STREET USE AND MAPPING (BSM) PERMITS DIVISION:

The approval of this map does not constitute approval of the proposed transformer on Mission Street. A separate Vault Encroachment is required, and approval must be acquired prior to the final design.

- The information suggests that Lot 1 in the subdivision will be the fronting property owner for both Mission and Coleridge Streets. Hence the owner of this parcel will be the entity that will be responsible for the maintenance of the sidewalk and be the entity that will be paying for all assessments (please clarify if this is not the case).
- A separate Street Improvement Permit is required for the construction of the sidewalk on both frontages and the installation/removal of driveway cuts.
- Will there be easement or other elements to allow for eaves, window and door swings from proposed Lot 2 and Lot 3 over Lot 1?

PUBLIC WORKS: BUREAU OF STREET USE AND MAPPING (BSM) MAPPING DIVISION:

The exterior Subdivision boundary shall be monumented to the satisfaction of the City and County Surveyor. Along right of way lines, provide monumentation at each property corner or on property line extended.

- If sidewalk improvements are completed prior to map recordation, monuments shall be installed prior to map filing.

- If sidewalk improvements are not completed prior to map filing, monuments shall be shown as "TO BE SET NO LATER THAN ___(date)___" or similar on the map. If said monuments vary in position or description from what is shown on this map, such variance shall be noted and filed with the City and County Surveyor of San Francisco in either a Certificate of Correction, Corner Record or Amended Map as appropriate.

All provisions of the CCSF Subdivision Code, CCSF Subdivision Regulations, CCSF Mapping Standards, CA Subdivision Map Act, and CA Professional Land Surveyors Act shall be complied with.

Sincerely,

Elias W. French, PLS 9406
City and County Surveyor
Bureau of Surveying and Mapping

cc: Lauren Chang

AFTER ISSUANCE OF THE TENTATIVE MAP DECISION (APPROVAL OR CONDITIONAL APPROVAL)

Submit the initial FINAL MAP or PARCEL MAP check print in pdf format to subdivision.mapping@sfdpw.org for technical review. Use the following naming convention for this initial check print submittal: PIDxxxx_ABxxxx_date (use yyyyymmdd format).

Submit one (1) copy of the completed Map Review Checklist. Go to the SFPW website to print this list.

<http://www.sfdpw.org>, under "Services A-Z", select "More" then select "Mapping, Maps". Under "Information for Mapping Professionals," select "Map Review Checklist."

Submit electronic closure calculations for non-rectangular boundaries. This is needed for SFPW's technical map review process (this is a task for your surveyor/engineer).

Submit a tracking spreadsheet detailing the satisfaction of those conditions of approval as detailed herein. (Per the 2015 San Francisco Subdivision Regulations at page 12 item 3, and also at page 27 item "B".)

Note: City and County Surveyor may request a copy of the land surveyor's field notes or any other relevant survey information necessary to support the submitted check print map.

CHECKPRINT AND SUBDIVISION MAP REVIEW PROCESS

Respond promptly to additional requests for information

Make requested changes to check prints and resubmit revised check print (if requested) to subdivision.mapping@sfdpw.org using the naming convention for any subsequent check print submittal, PIDxxxx_ABxxxx_date (use yyyyymmdd format).

When requested by SFPW, submit the signed map in Mylar form and the documents + recording fees requested on the Mylar Request Transmittal :

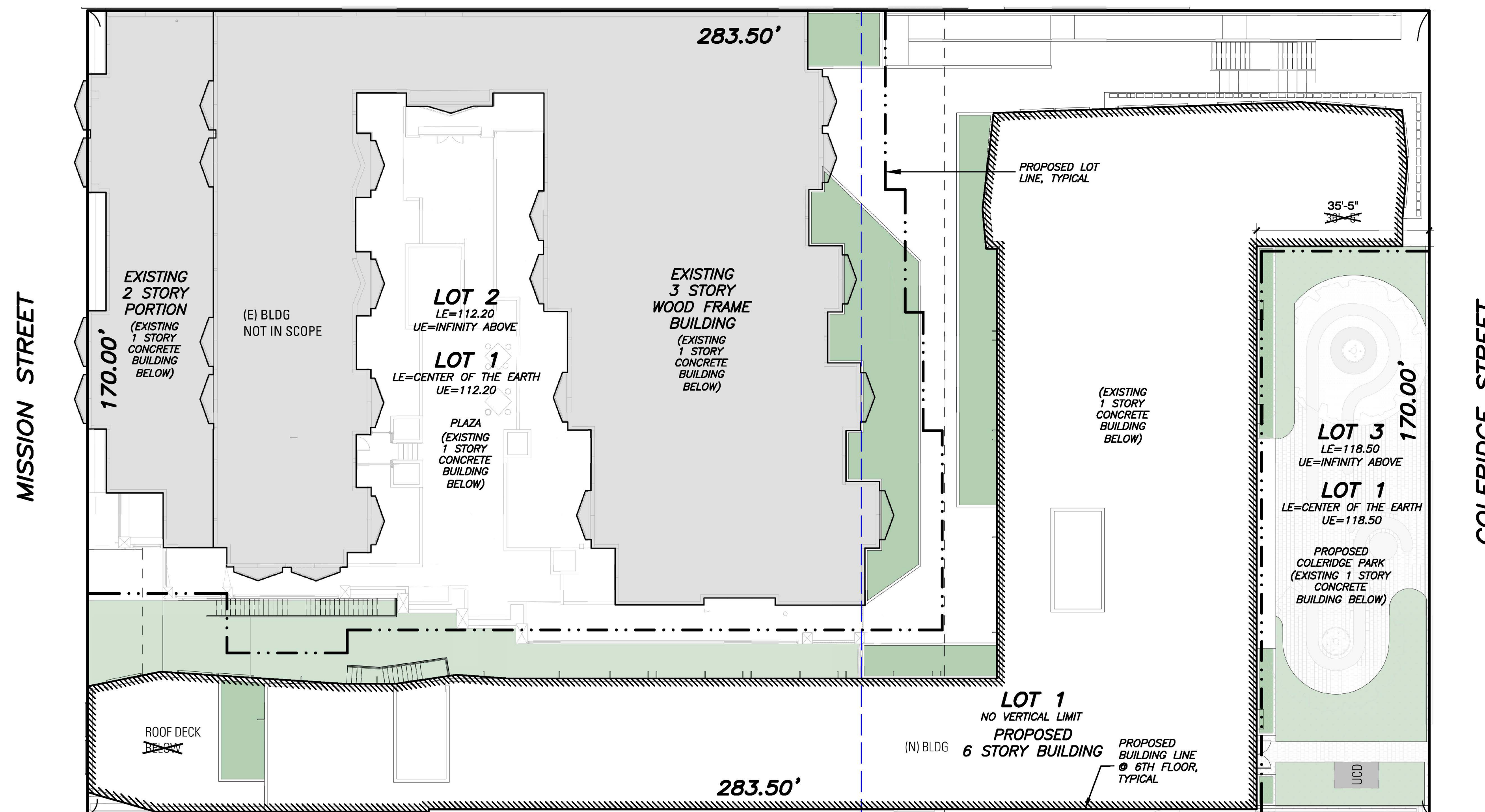
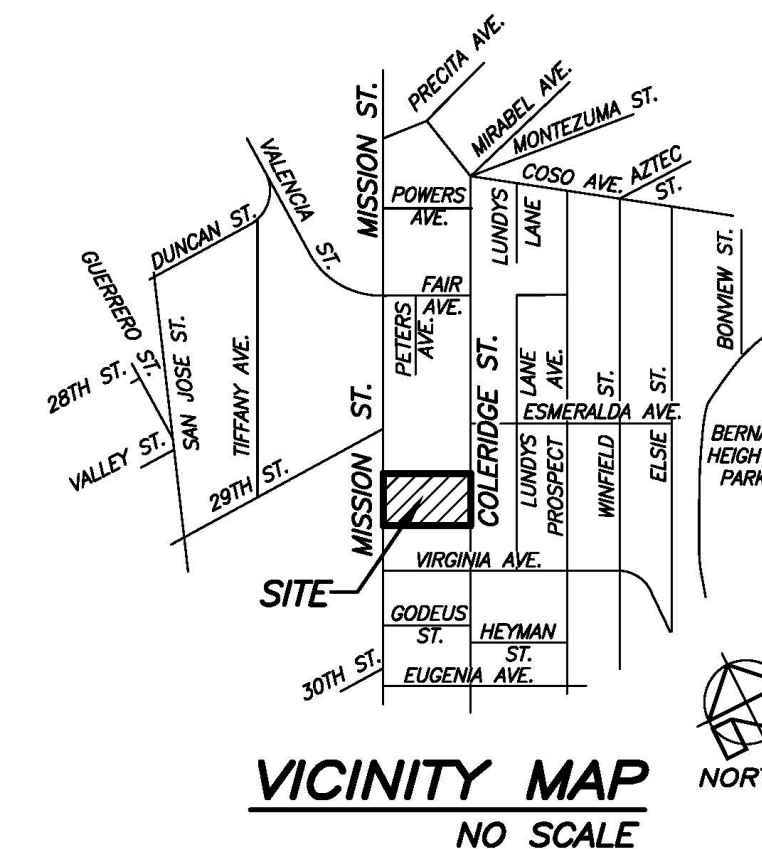
- **Department of Public Works will not accept incomplete mylar submittal packages. All items requested in the initial mylar request must be submitted in a single package, or be in possession of SFPW. Incomplete submittals will be returned.**
- Updated Preliminary Title Report (dated within 45 days of mylar submittal).
- Valid Tax Certificate (obtained from the Office of the Treasurer and Tax Collector).
- Check for recordation fee
- **All other documents requested per the Mylar Request transmittal.**

In those cases where a City Agency issued conditional approval of the map, mylars **should not** be submitted to SFPW until:

- The agency that issued the conditions has provided SFPW with confirmation that they have been met.
- The applicant has addressed the agency's conditions.

Following submittal of the Mylar map, SFPW will continue processing the map and finalizing with the filing of the FINAL MAP or the PARCEL MAP in the office of the County Recorder.

See "KEY Activities in the Condominium Process" on page 3 of application for a more detailed description of the above.



SITE PLAN W/PROPOSED LOTS

SCALE: 1"=16'

(SEE SHEETS 2 AND 3 FOR NEW CONSTRUCTION LEVELS 1-6)
(SEE SHEET 4 FOR DIMENSIONS OF PROPOSED LOTS)

SHEET INDEX	
SHEET NO.	SHEET TITLE
1	COVER SHEET
2	PROPOSED PARCELIZATION 1 OF 3
3	PROPOSED PARCELIZATION 2 OF 3
4	PROPOSED PARCELIZATION 3 OF 3
5	EXISTING SITE CONDITIONS 1 OF 2
6	EXISTING SITE CONDITIONS 2 OF 2
7	CODE DIAGRAMS
8	CONSTRUCTION PHASING & EGRESS

PROJECT DATA

STREET ADDRESS: 3333 MISSION STREET AND 190 COLERIDGE STREET
ASSESSOR'S PARCEL NUMBERS: APN 5615-099 THRU 101
PROJECT AREA: 48,195 SQ.FT.
EXISTING LAND USE: APN 5615-099: EXISTING 1 STORY BUILDING (COMMERCIAL SPACE) WITH 1 STORY PARKING GARAGE
APN 5615-100: EXISTING 3 STORY BUILDING (SENIOR RESIDENTIAL HOUSING)
APN 5615-101: EXISTING PARK
PROPOSED LAND USE: LOT 1: PROPOSED 6 STORY BUILDING (SENIOR RESIDENTIAL HOUSING), EXISTING 1 STORY BUILDING (COMMERCIAL SPACE) WITH 1 STORY PARKING GARAGE
LOT 2: EXISTING 3 STORY BUILDING (SENIOR RESIDENTIAL HOUSING)
LOT 3: PROPOSED PARK

LEGEND

LE LOWER ELEVATION
UE UPPER ELEVATION
--- PERIMETER PROPERTY LINE
--- PROPOSED LOT LINE

OWNER/DEVELOPER

ELEVATE HOUSING PARTNERS, L.P., A CALIFORNIA LIMITED PARTNERSHIP AND
BERNAL SENIOR HOUSING PARTNERS, A CALIFORNIA LIMITED PARTNERSHIP

BENCHMARK

"+" CUT WEST END LOWER TERRAZZO STEP 6 FOOT WEST OF THE NORTHWEST CORNER OF VIRGINIA AVENUE AND COLERIDGE STREET. ELEVATION = 119.943 FEET "OLD" SAN FRANCISCO CITY DATUM.

GENERAL NOTES

1. DETAILS NEAR PROPERTY LINES MAY NOT BE TO SCALE.
2. ALL PROPERTY LINE ANGLES ARE 90 DEGREES UNLESS NOTED OTHERWISE.
3. DIMENSIONS ARE IN FEET AND DECIMALS THEREOF.

SURVEYOR'S STATEMENT

THIS MAP WAS PREPARED BY ME OR UNDER MY DIRECTION AND IS BASED UPON A FIELD SURVEY.

BY: *Ben B. Ron*
BENJAMIN B. RON
PLS NO. 5015
DATE: MAY 24, 2024



**TENTATIVE
FINAL MAP**

A THREE LOT VERTICAL SUBDIVISION
A 6 COMMERCIAL UNIT AND 1 RESIDENTIAL UNIT
CONDOMINIUM PROJECT WITHIN LOT 1
BEING A MERGER AND RE-SUBDIVISION OF LOTS 99-101 OF THAT
CERTAIN PARCEL MAP RECORDED JUNE 29, 1987 IN BOOK 35 OF
PARCEL MAPS AT PAGES 100 AND 101, OFFICIAL RECORDS.

BEING A PORTION OF 100 PRECITA VALLEY LANDS

CITY AND COUNTY OF SAN FRANCISCO, STATE OF CALIFORNIA

MARTIN M. RON ASSOCIATES, INC.

Land Surveyors
859 Harrison Street, Suite 200
San Francisco California

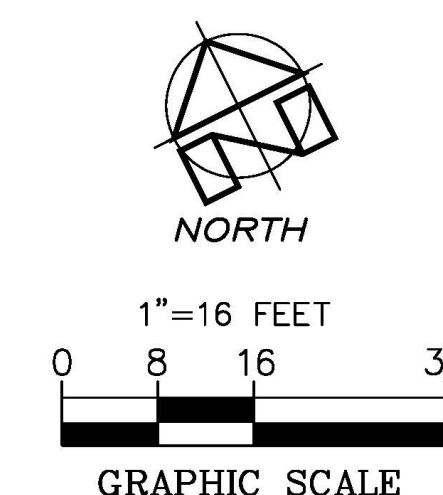
MAY 2024

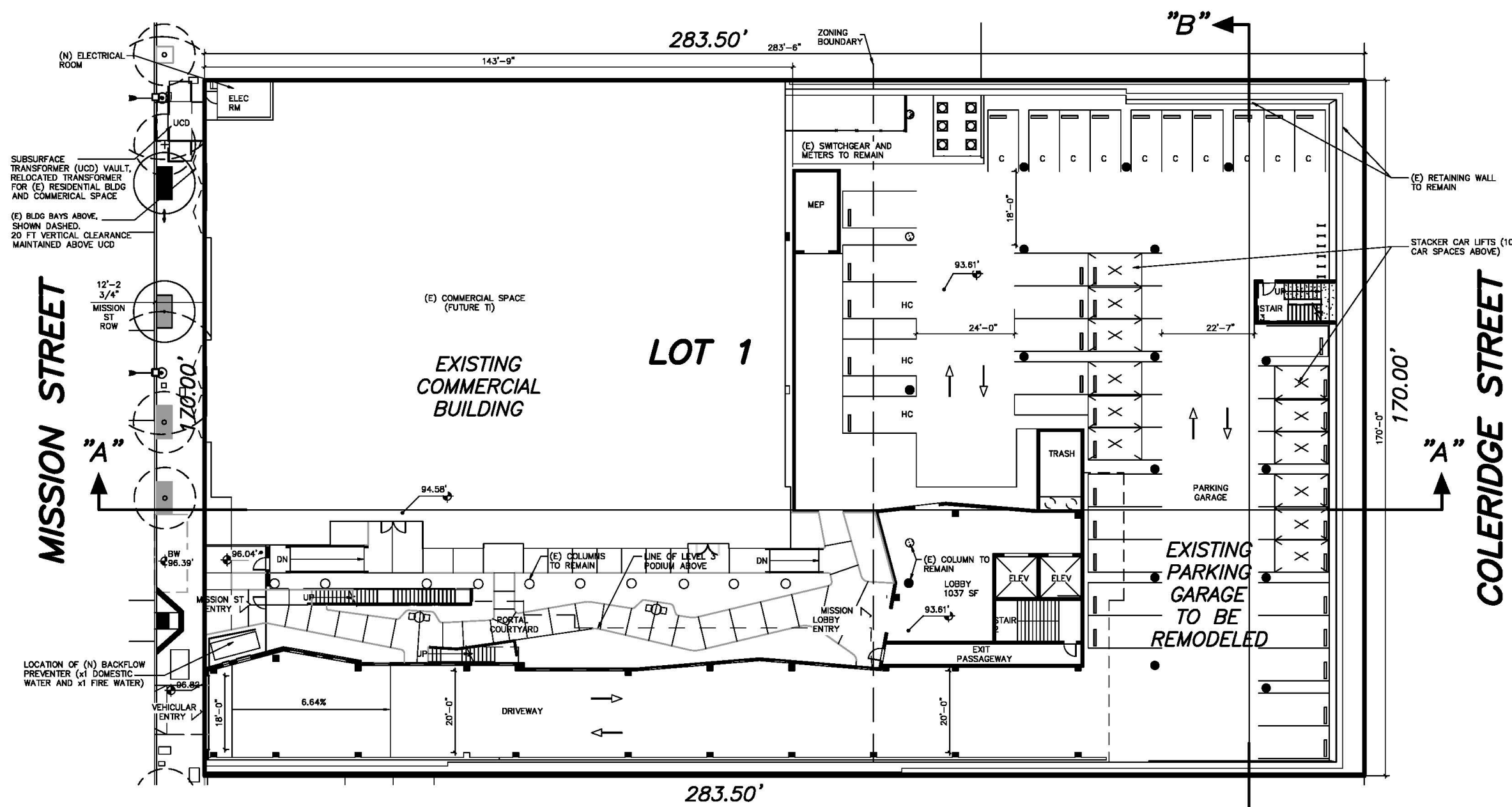
SCALE: 1"=16'

SHEET 1 OF 8

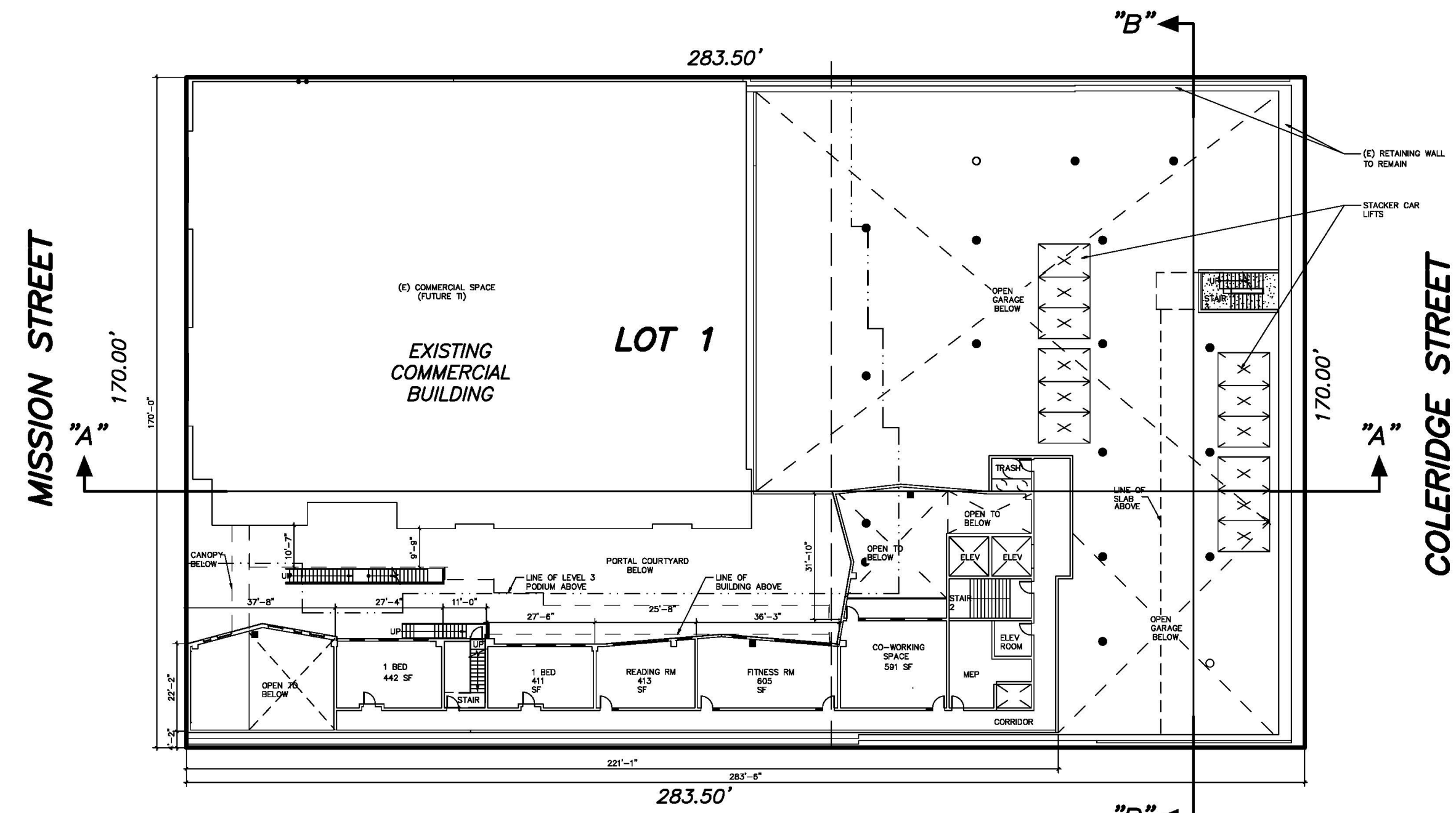
APN 5615-099 THRU 101

3333 MISSION STREET
190 COLERIDGE STREET

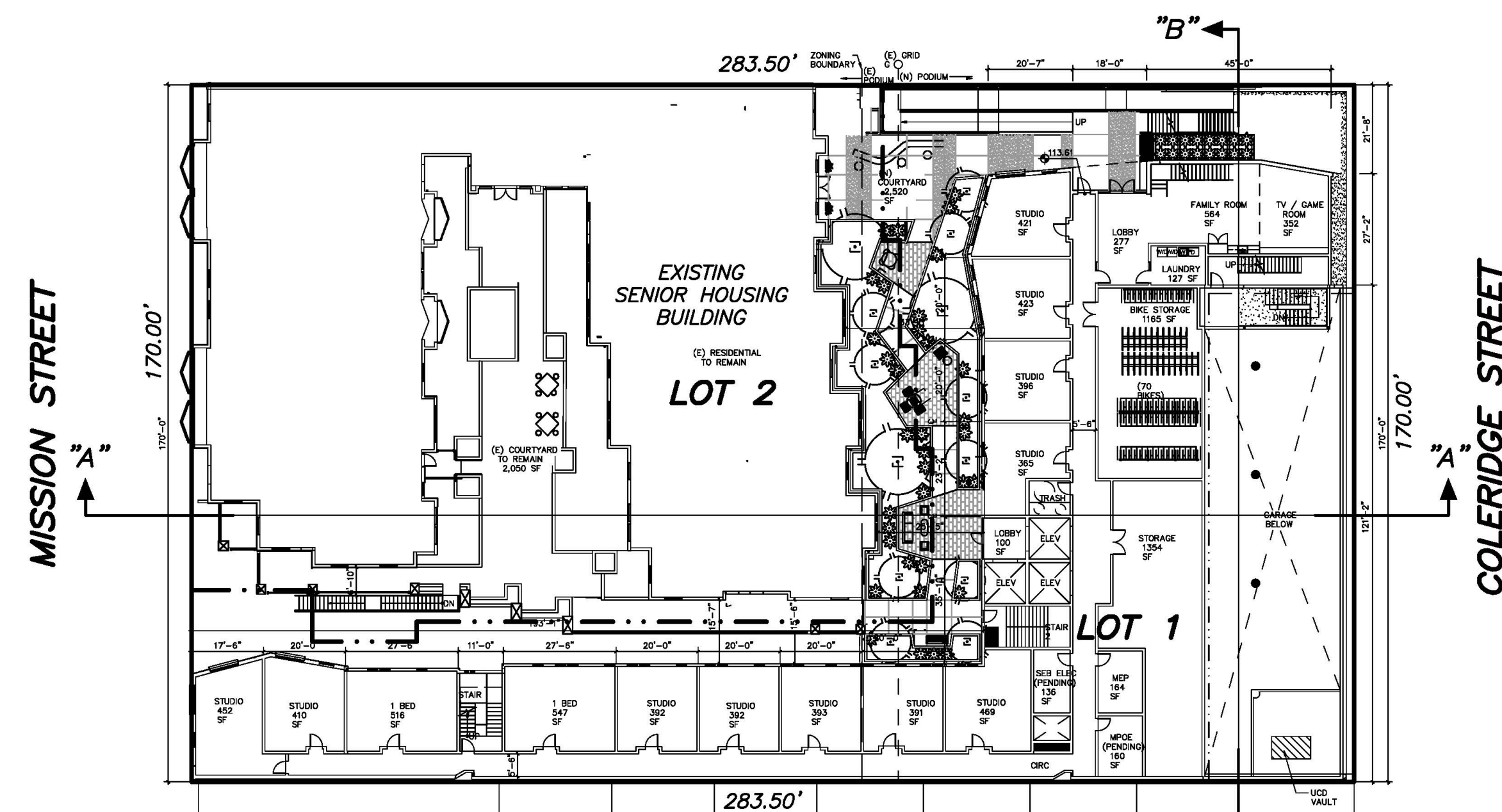




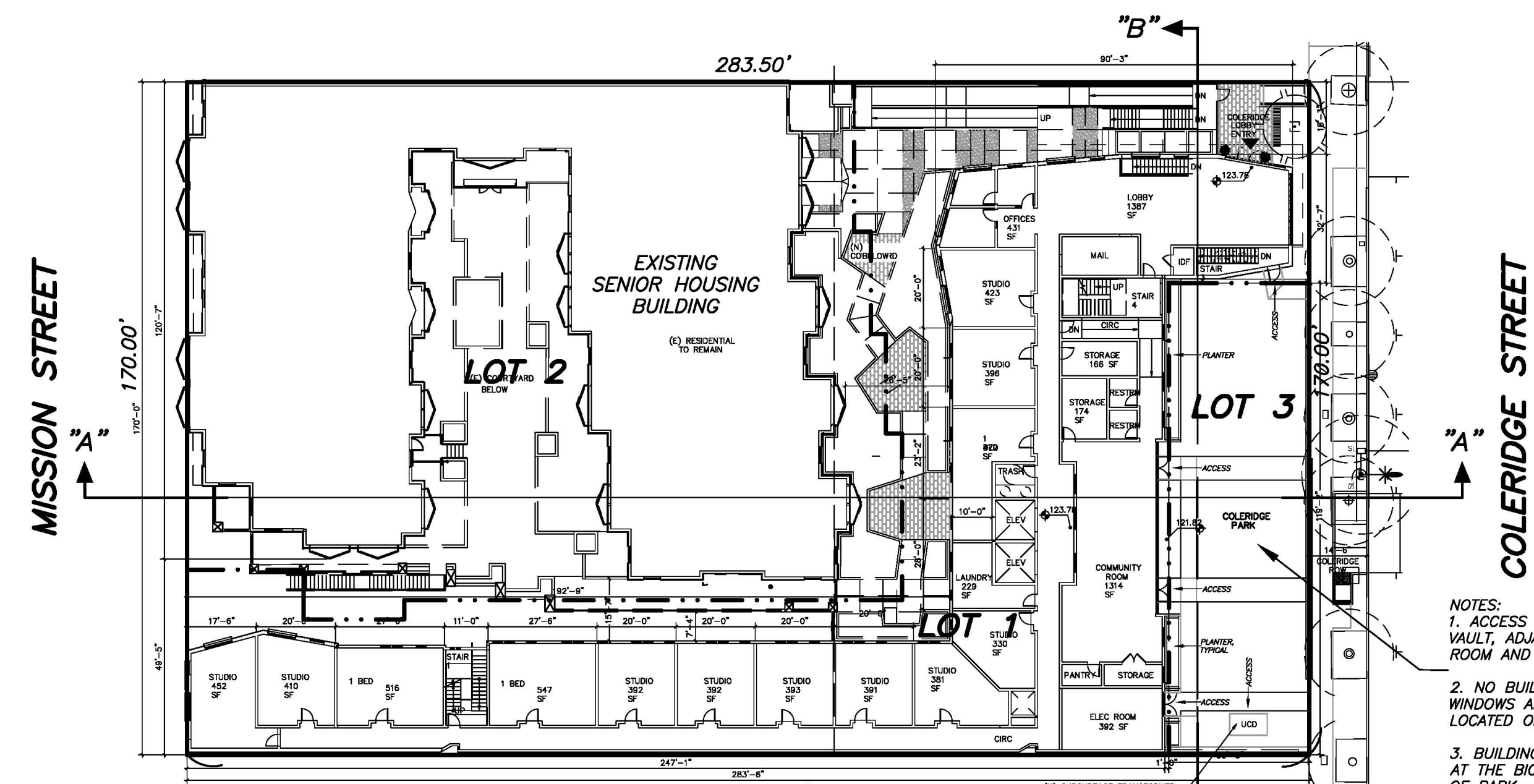
LEVEL 1
(MISSION STREET LEVEL)



LEVEL 2



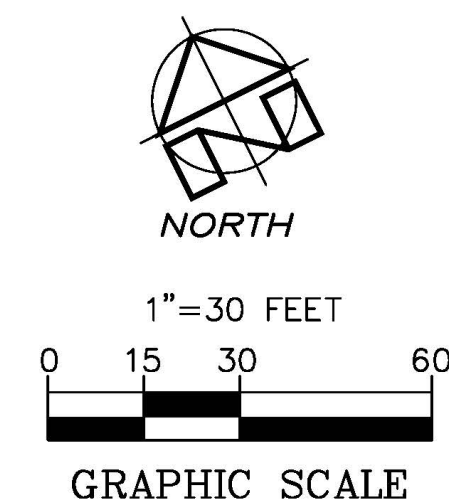
LEVEL 3



LEVEL 4
(COLERIDGE STREET LEVEL)

- NOTES:
1. ACCESS EASEMENTS WILL BE NEEDED TO THE UCD VAULT, ADJACENT ELECTRICAL ROOM, THE COMMUNITY ROOM AND THE EGRESS STAIR.
 2. NO BUILD EASEMENT WILL BE NEEDED FOR WINDOWS AND DOORS ON THE PROPOSED BUILDING LOCATED ON LOT 1.
 3. BUILDING DRAINAGE EASEMENT WILL BE NEEDED AT THE BIORETENTION PLANTERS ALONG WEST SIDE OF PARK.

PROPOSED PARCELIZATION 1 OF 3



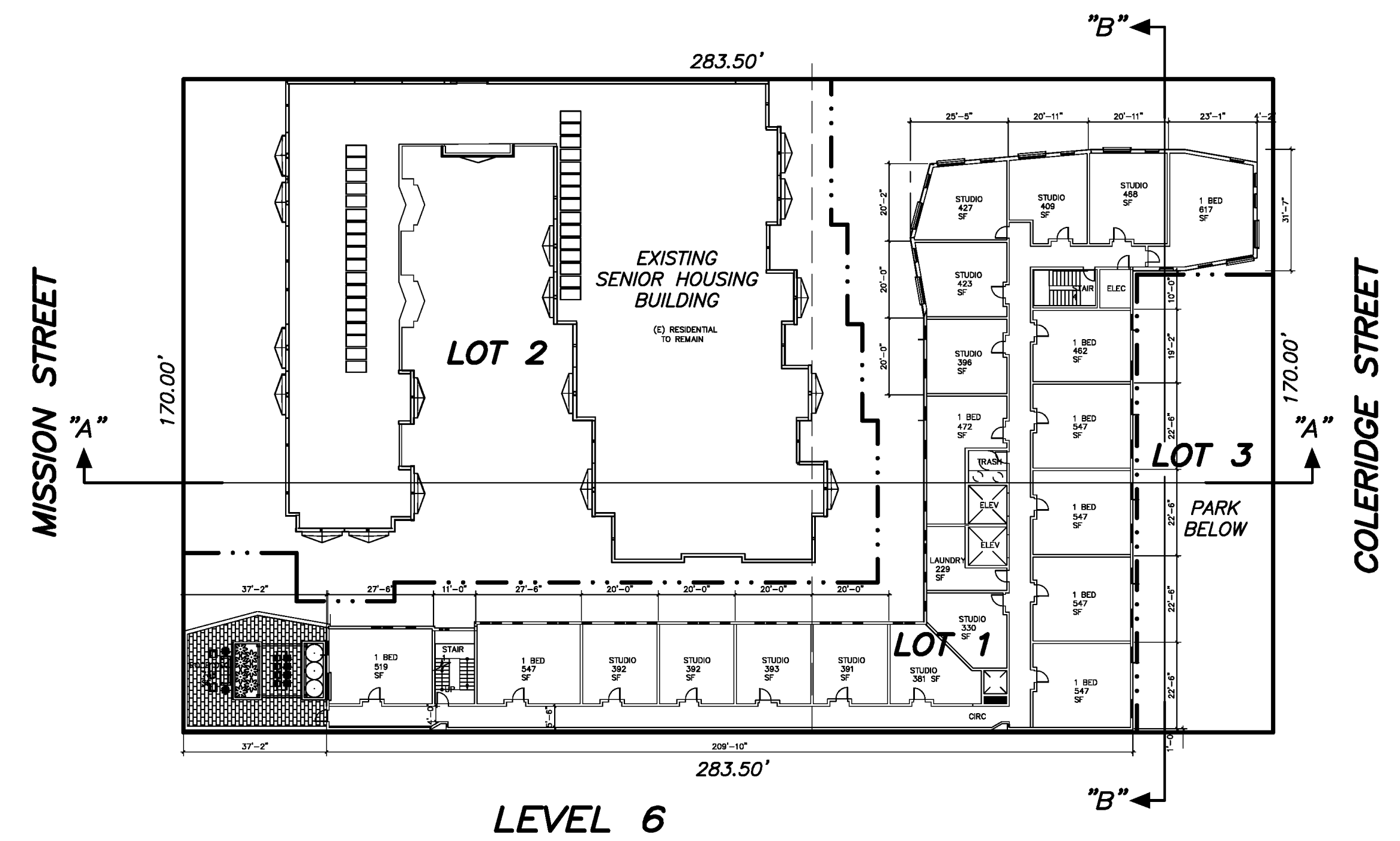
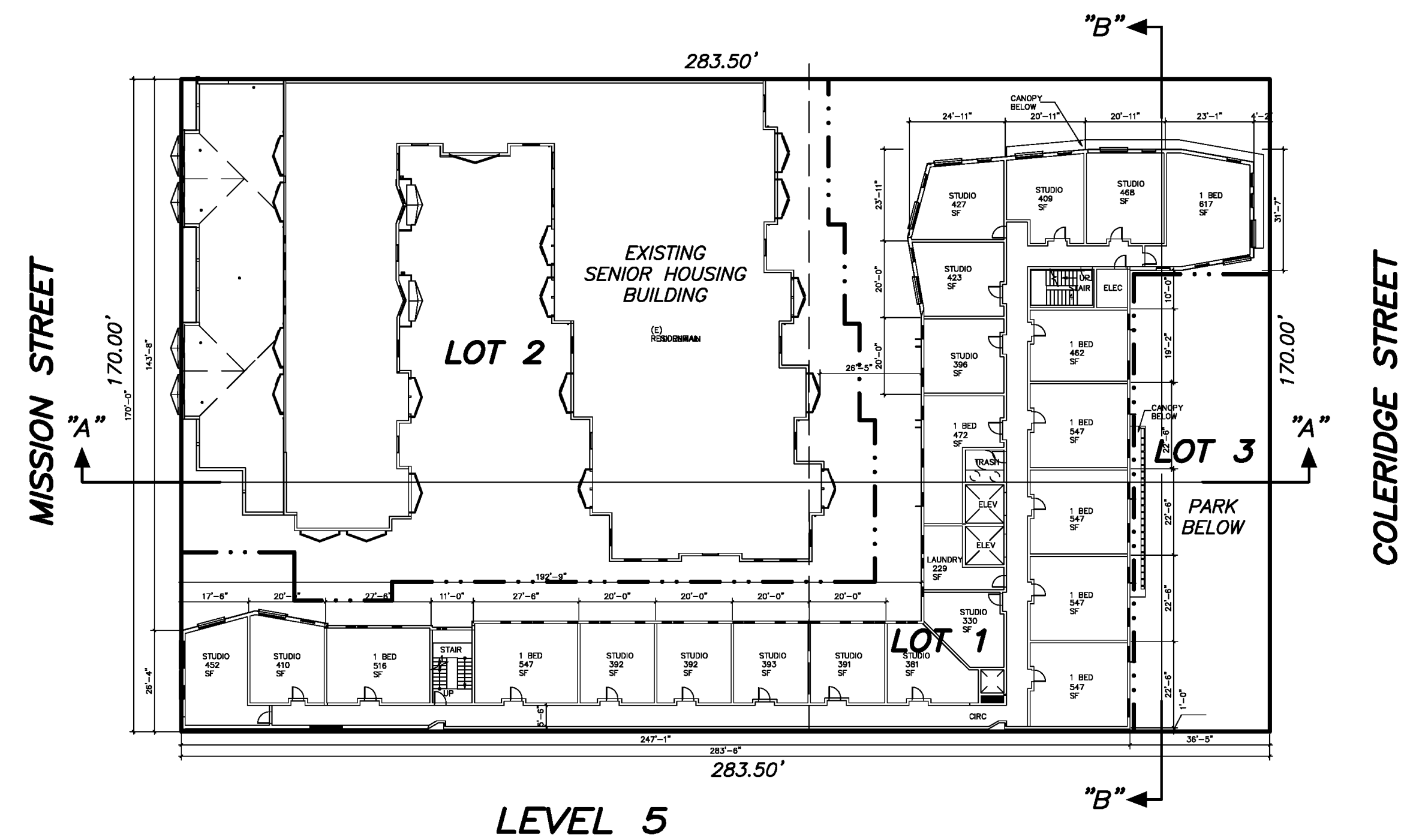
TENTATIVE FINAL MAP

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CONDOMINIUM PROJECT WITHIN LOT 1
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CERTAIN PARCEL MAP RECORDED JUNE 28, 1987 IN BOOK 35 OF
PARCEL MAPS AT PAGES 100 AND 101, OFFICIAL RECORDS.
BEING A PORTION OF 100 PRECITA VALLEY LANDS
CITY AND COUNTY OF SAN FRANCISCO, STATE OF CALIFORNIA
MARTIN M. RON ASSOCIATES, INC.
Land Surveyors
859 Harrison Street, Suite 200
San Francisco California

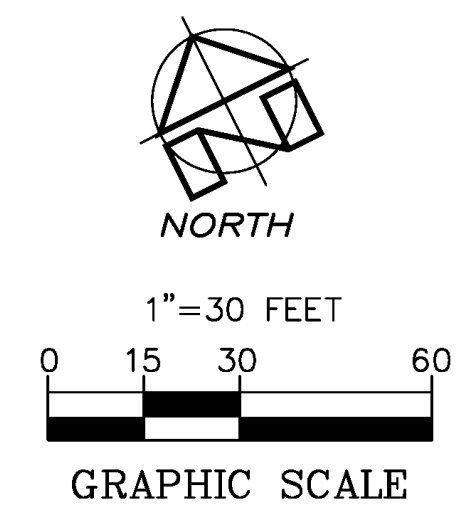
MAY 2024 SCALE: 1"=30' SHEET 2 OF 8

APN 5615-099 THRU 101 3333 MISSION STREET
190 COLERIDGE STREET

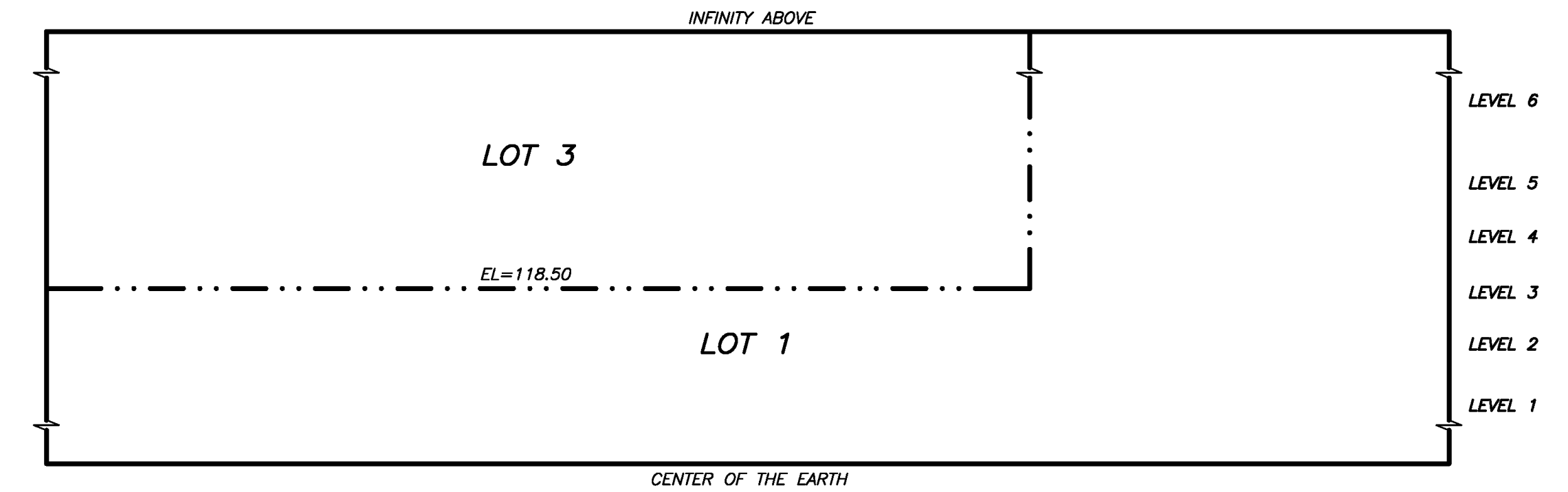
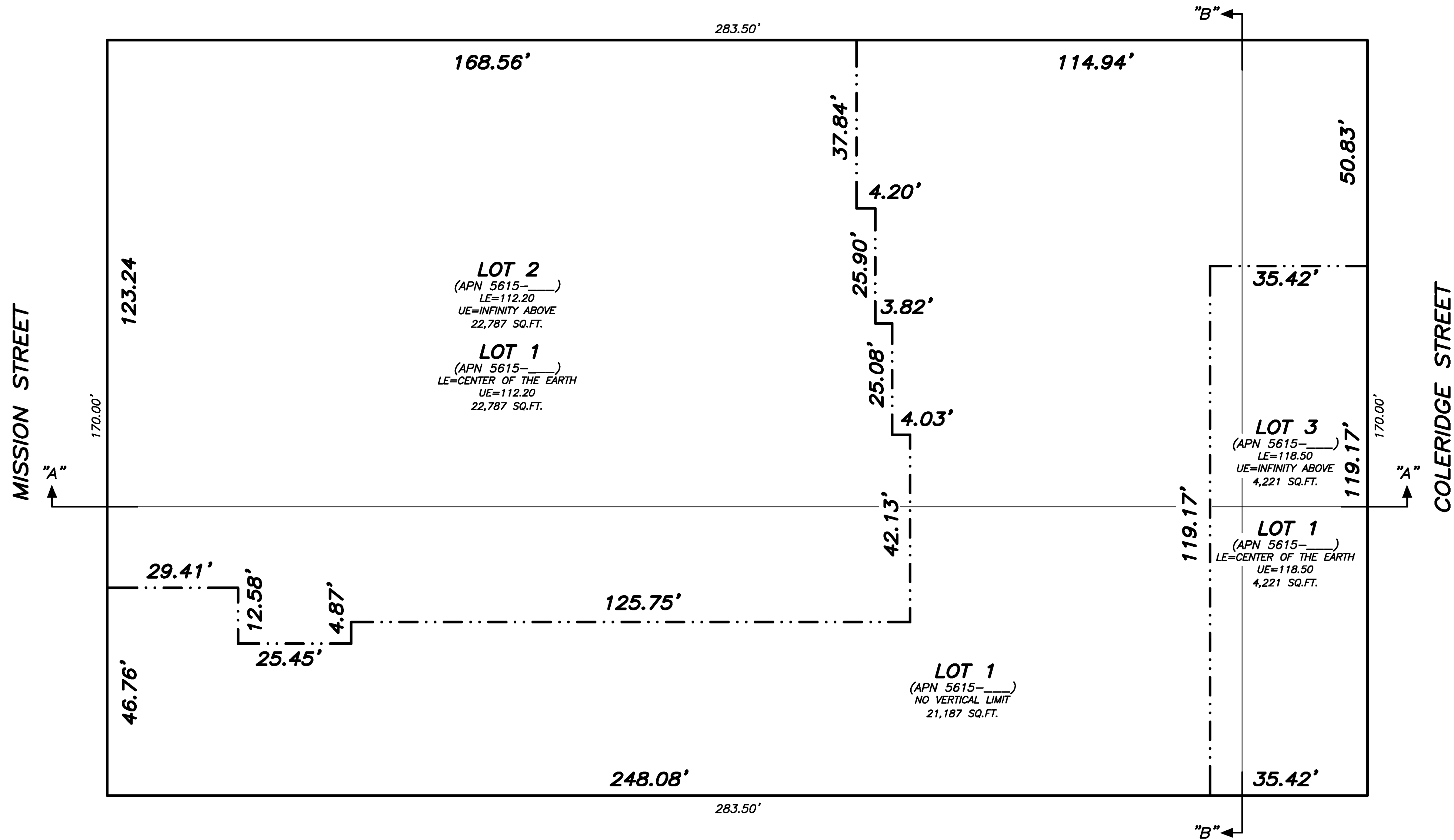
LEGEND
PERIMETER PROPERTY LINE
PROPOSED LOT LINE



PROPOSED PARCELIZATION
2 OF 3



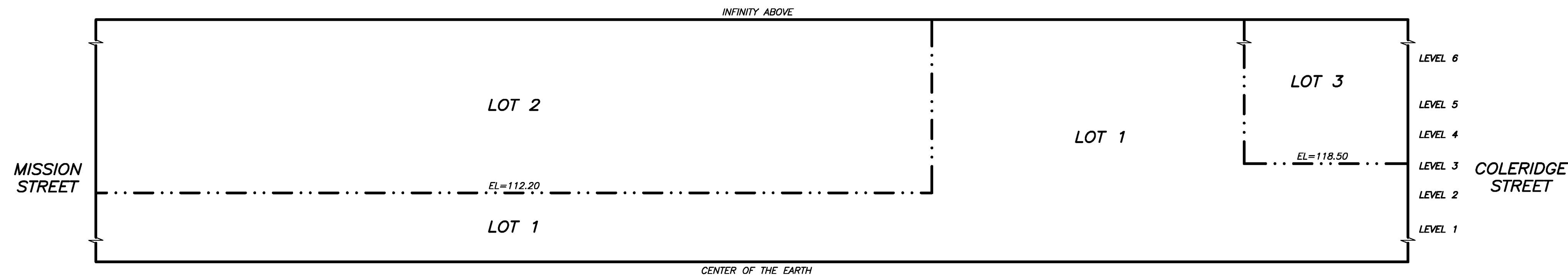
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Land Surveyors
859 Harrison Street, Suite 200
San Francisco, California
MAY 2024
SCALE: 1"=30'
SHEET 3 OF 8
APN 5615-099 THRU 101
3333 MISSION STREET
190 COLERIDGE STREET



LEGEND

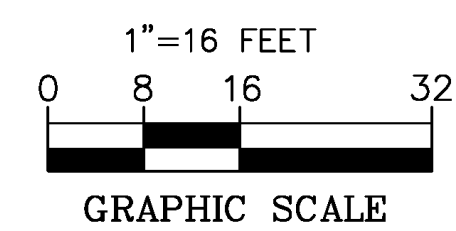
APN	ASSESSOR'S PARCEL NUMBER
EL	ELEVATION
LE	LOWER ELEVATION
UE	UPPER ELEVATION
---	PERIMETER PROPERTY LINE
---	PROPOSED LOT LINE

AREA, SQUARE FOOTAGE		
LOT	APN	AREA
LOT 1	APN 5615-___	48,195 SQ.FT.
LOT 2	APN 5615-___	22,787 SQ.FT.
LOT 3	APN 5615-___	4,221 SQ.FT.
TOTAL		75,203 SQ.FT.



SECTION "A"-"A"

PROPOSED PARCELIZATION
3 OF 3



TENTATIVE
FINAL MAP

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San Francisco California

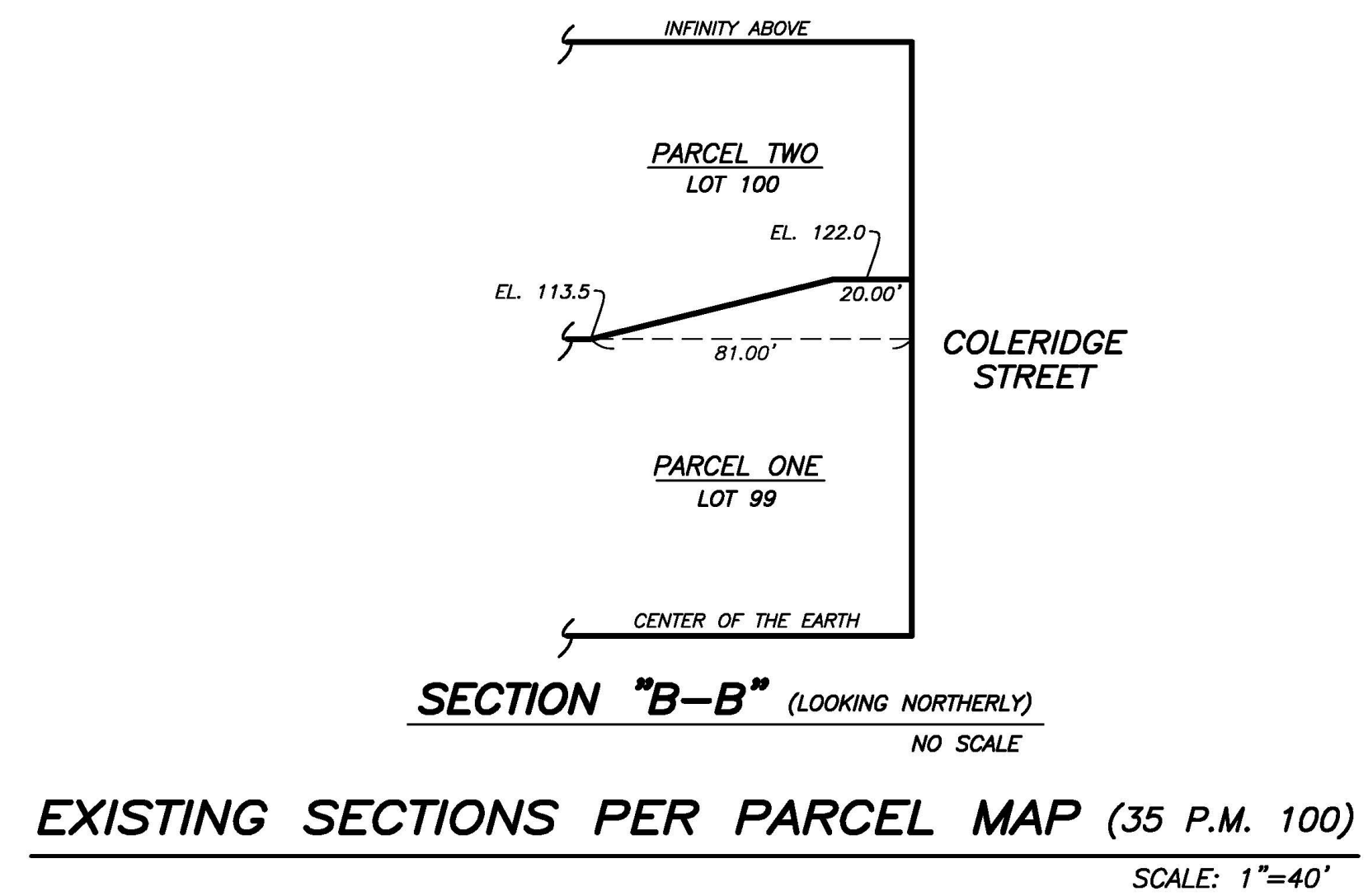
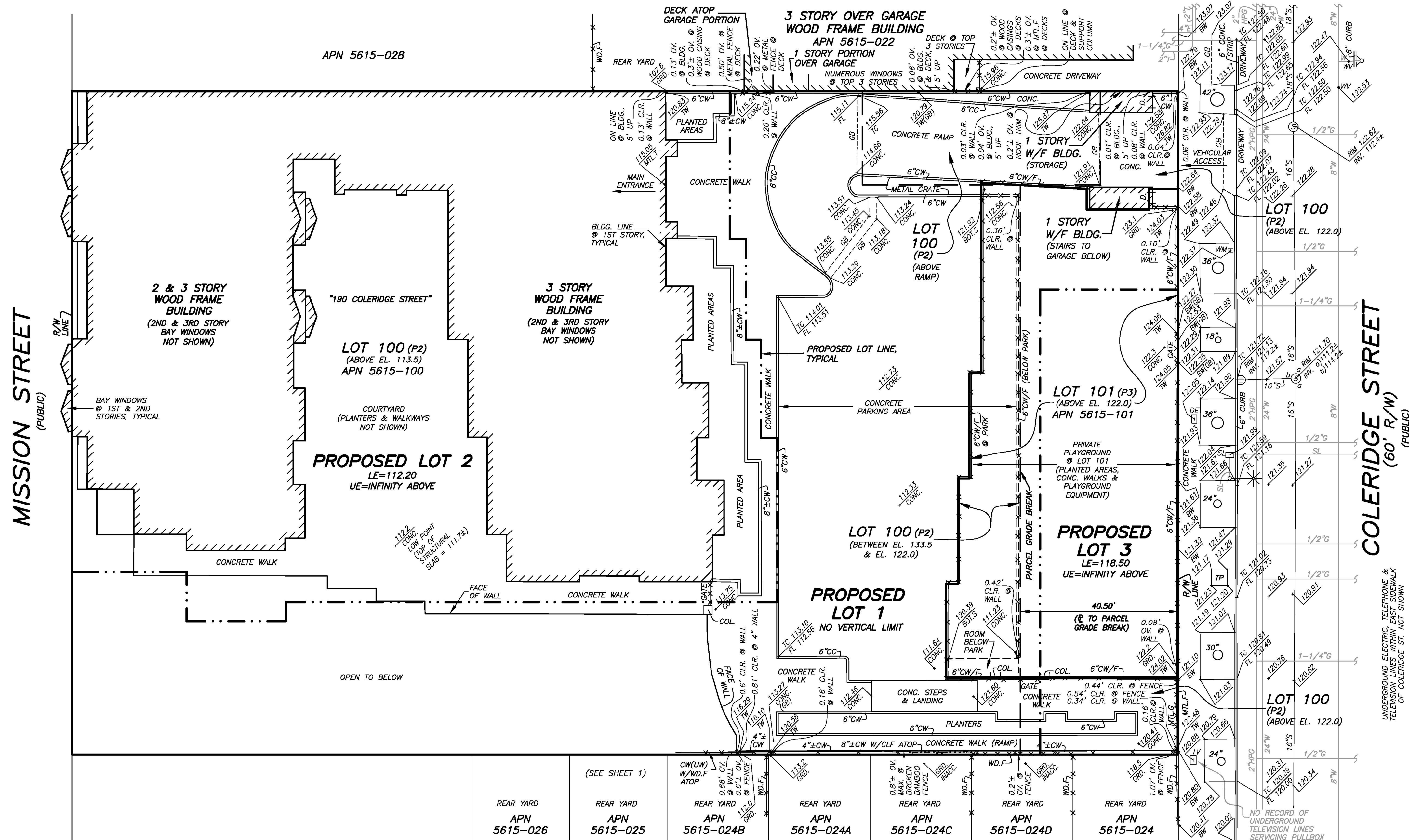
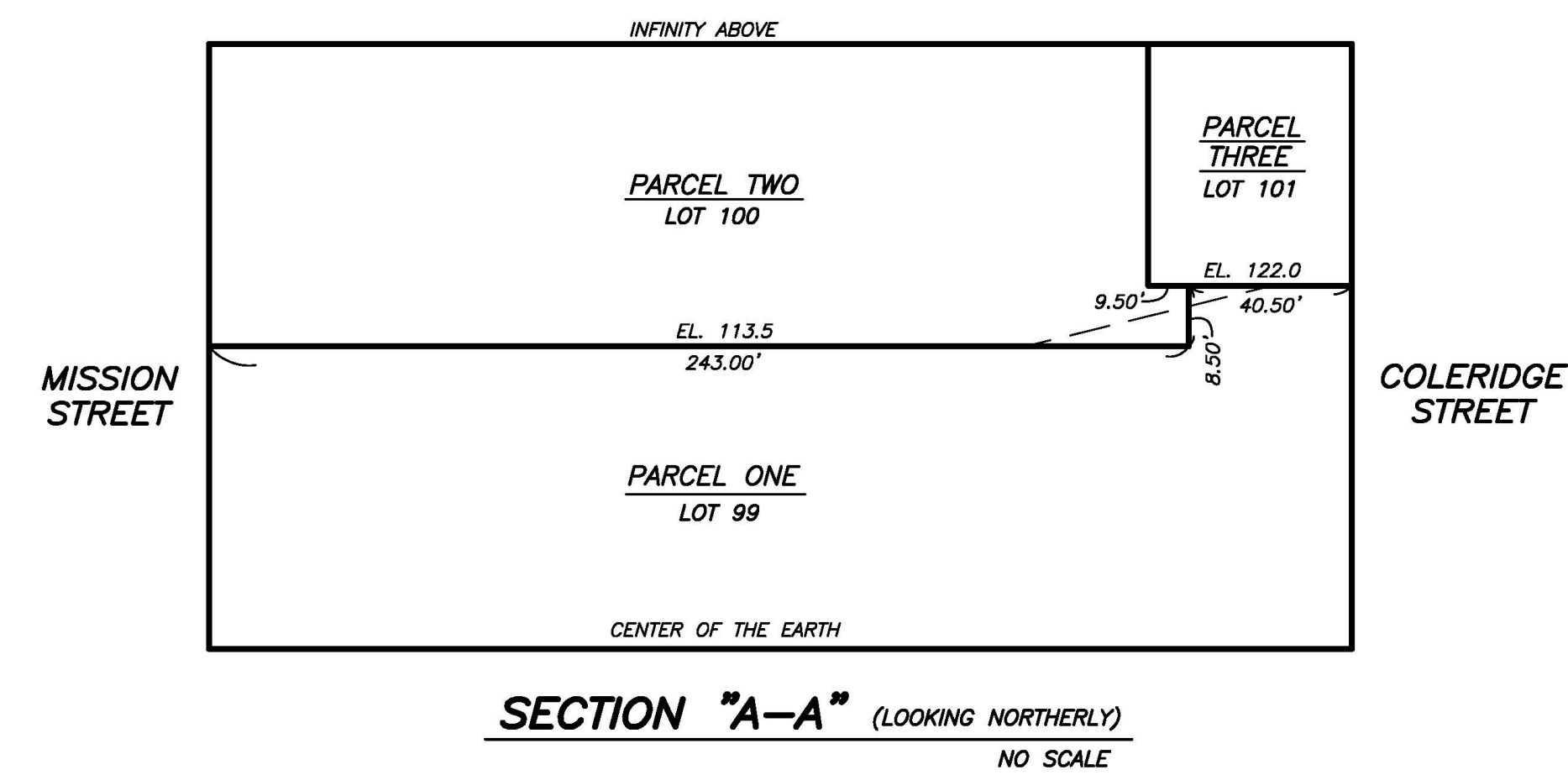
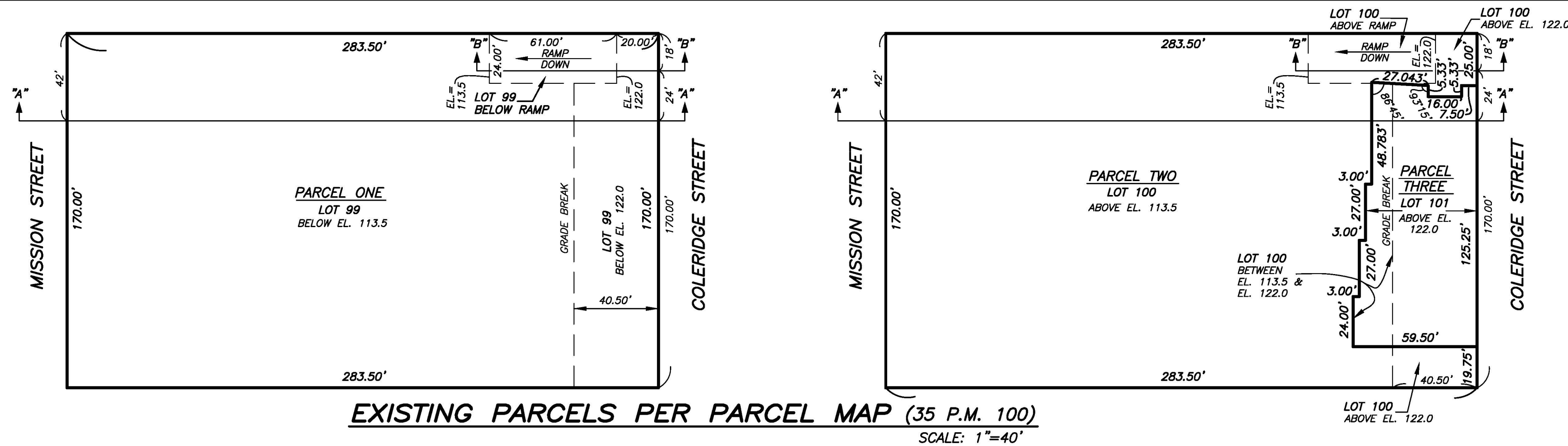
MAY 2024

SCALE: 1"=16'

SHEET 4 OF 8

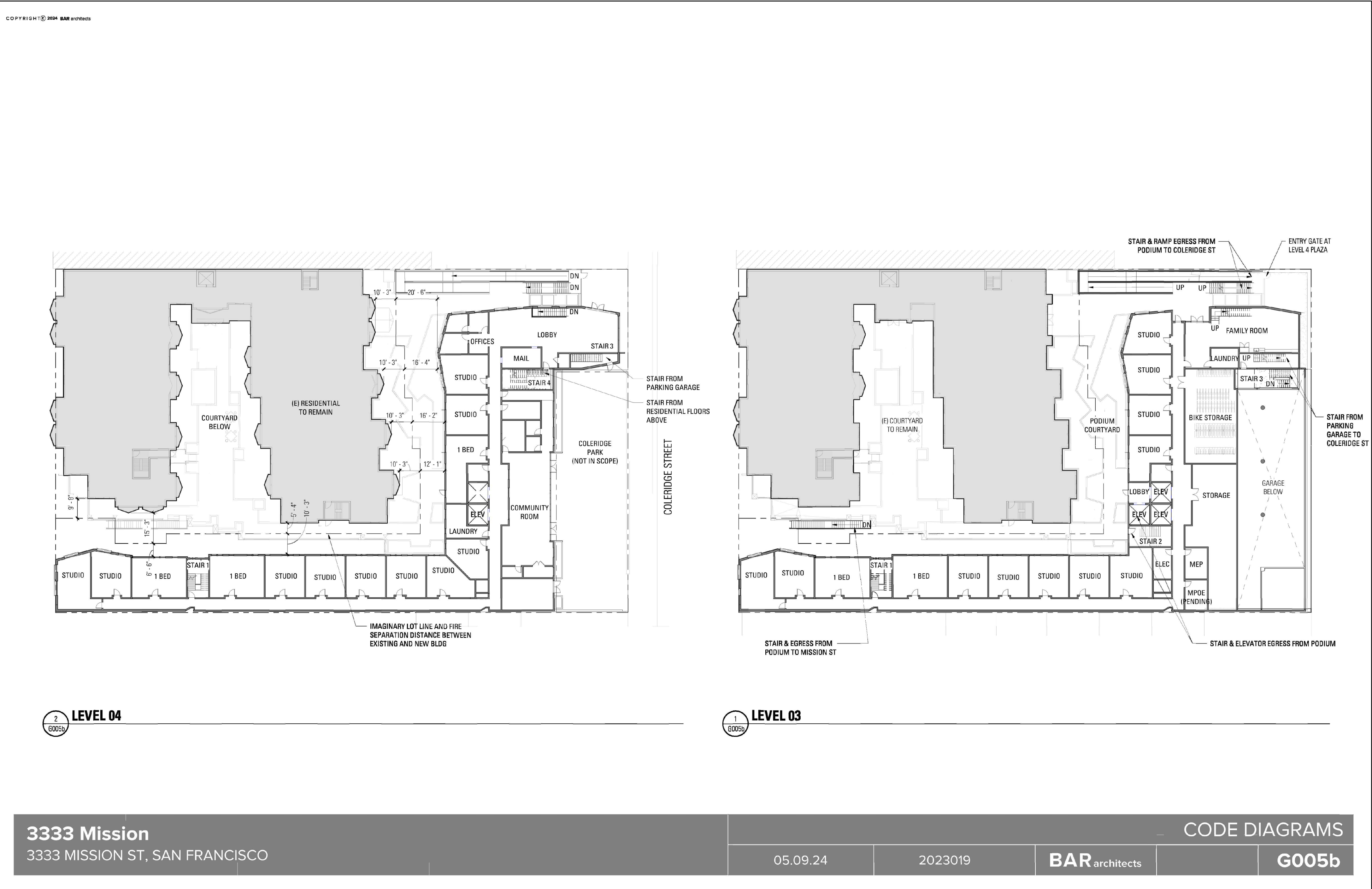
APN 5615-099 THRU 101

3333 MISSION STREET
190 COLERIDGE STREET

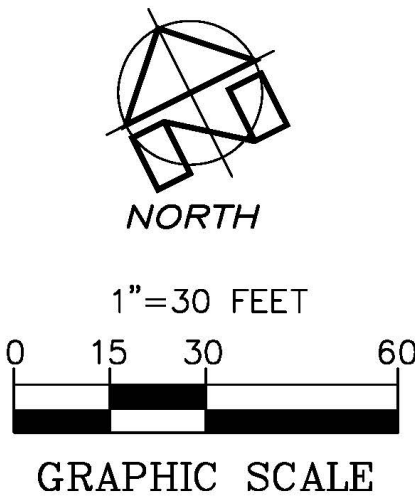


SURVEY REFERENCE
CHICAGO TITLE COMPANY PRELIMINARY REPORT/AMEND-A, ORDER NO. 15611245-156-TJK-JM DATED MARCH 1, 2024.
THE FOLLOWING ARE PERTINENT EXCEPTIONS TO TITLE WITHIN THE ABOVE REFERENCED PRELIMINARY REPORT:
THE FOLLOWING MATTERS AFFECT TRACT ONE:
6. "NOTICE OF SPECIAL RESTRICTIONS UNDER THE CITY PLANNING CODE" RECORDED FEBRUARY 3, 1987 IN REEL E271, IMAGE 1443, OFFICIAL RECORDS.
7. RECITALS, NOTES AND LEGENDS AS SHOWN ON THAT CERTAIN PARCEL MAP FILED FOR RECORD ON JUNE 29, 1987, IN BOOK 35 OF PARCEL MAPS, AT PAGE 100.
8. "DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTIONS ESTABLISHING A PLAN FOR REAL ESTATE DEVELOPMENT OWNERSHIP OF MISSION COLERIDGE DEVELOPMENT" RECORDED JUNE 29, 1987, IN REEL E373, IMAGE 617, OFFICIAL RECORDS. AMENDMENT RECORDED JUNE 21, 1988, IN REEL E620, IMAGE 1, OFFICIAL RECORDS.
THE FOLLOWING MATTERS AFFECT TRACT TWO:
20. "NOTICE OF SPECIAL RESTRICTIONS UNDER THE CITY PLANNING CODE" RECORDED FEBRUARY 3, 1987 IN REEL E271, IMAGE 1443, OFFICIAL RECORDS.
21. "DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTIONS ESTABLISHING A PLAN FOR REAL ESTATE DEVELOPMENT OWNERSHIP OF MISSION COLERIDGE DEVELOPMENT" RECORDED JUNE 29, 1987, IN REEL E373, IMAGE 617, OFFICIAL RECORDS. AMENDMENT RECORDED JUNE 21, 1988, IN REEL E620, IMAGE 1, OFFICIAL RECORDS.
22. "NOTICE OF SPECIAL RESTRICTIONS UNDER THE CITY PLANNING CODE" RECORDED OCTOBER 27, 1987 IN REEL E457, IMAGE 1097, OFFICIAL RECORDS.
23. "DECLARATION OF HOUSING DEVELOPMENT GRANT COVENANTS" RECORDED MARCH 11, 1988 IN REEL E548, IMAGE 1018, OFFICIAL RECORDS. "AMENDED AND RESTATED DECLARATION OF HOUSING DEVELOPMENT GRANT COVENANTS" RECORDED MARCH 24, 1988 IN REEL E557, IMAGE 1276, OFFICIAL RECORDS.
34. "MEMORANDUM EASEMENT" RECORDED JULY 20, 2004, DOCUMENT NO. 2004-H776722, OFFICIAL RECORDS. TELEVISION SIGNAL CORPORATION IS GRANTED A NON-EXCLUSIVE EASEMENT TO PROVIDE BROADBAND COMMUNICATIONS SERVICES.
35. "GRANT OF EASEMENT" RECORDED AUGUST 20, 2015, DOCUMENT NO. 2015-K112907, OFFICIAL RECORDS. COMCAST OF CALIFORNIA, INC. IS GRANTED A NON-EXCLUSIVE EASEMENT TO PROVIDE BROADBAND COMMUNICATIONS SERVICES.

TENTATIVE FINAL MAP
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Land Surveyors
859 Harrison Street, Suite 200
San Francisco California
MAY 2024
SCALE: 1"=16'
SHEET 6 OF 8
APN 5615-099 THRU 101
3333 MISSION STREET
190 COLERIDGE STREET



CODE DIAGRAMS



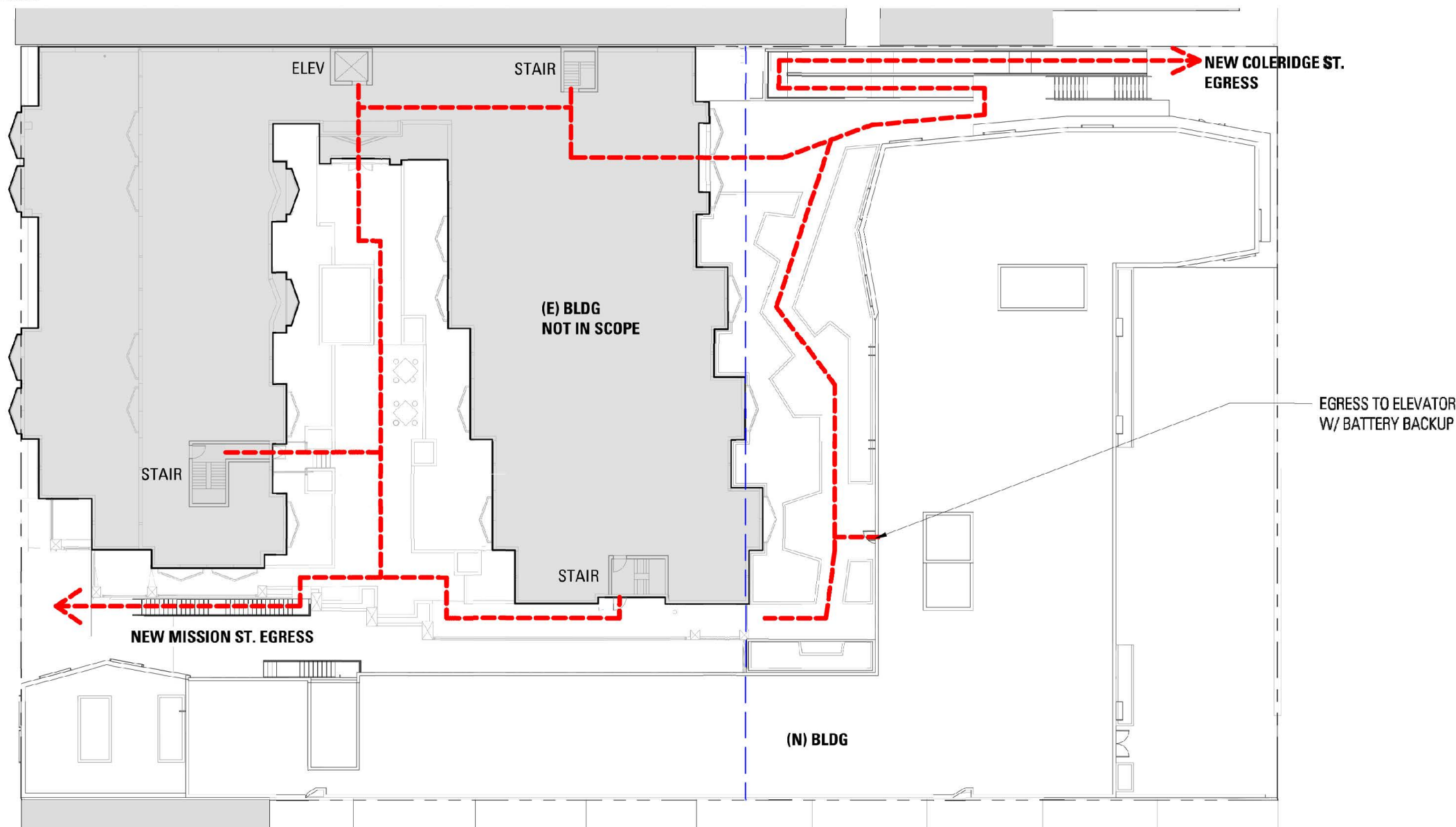
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PARCEL MAPS AT PAGES 100 AND 101, OFFICIAL RECORDS.
BEING A PORTION OF 100 PRECITA VALLEY LANDS
CITY AND COUNTY OF SAN FRANCISCO, STATE OF CALIFORNIA
MARTIN M. RON ASSOCIATES, INC.
Land Surveyors
859 Harrison Street, Suite 200
San Francisco, California

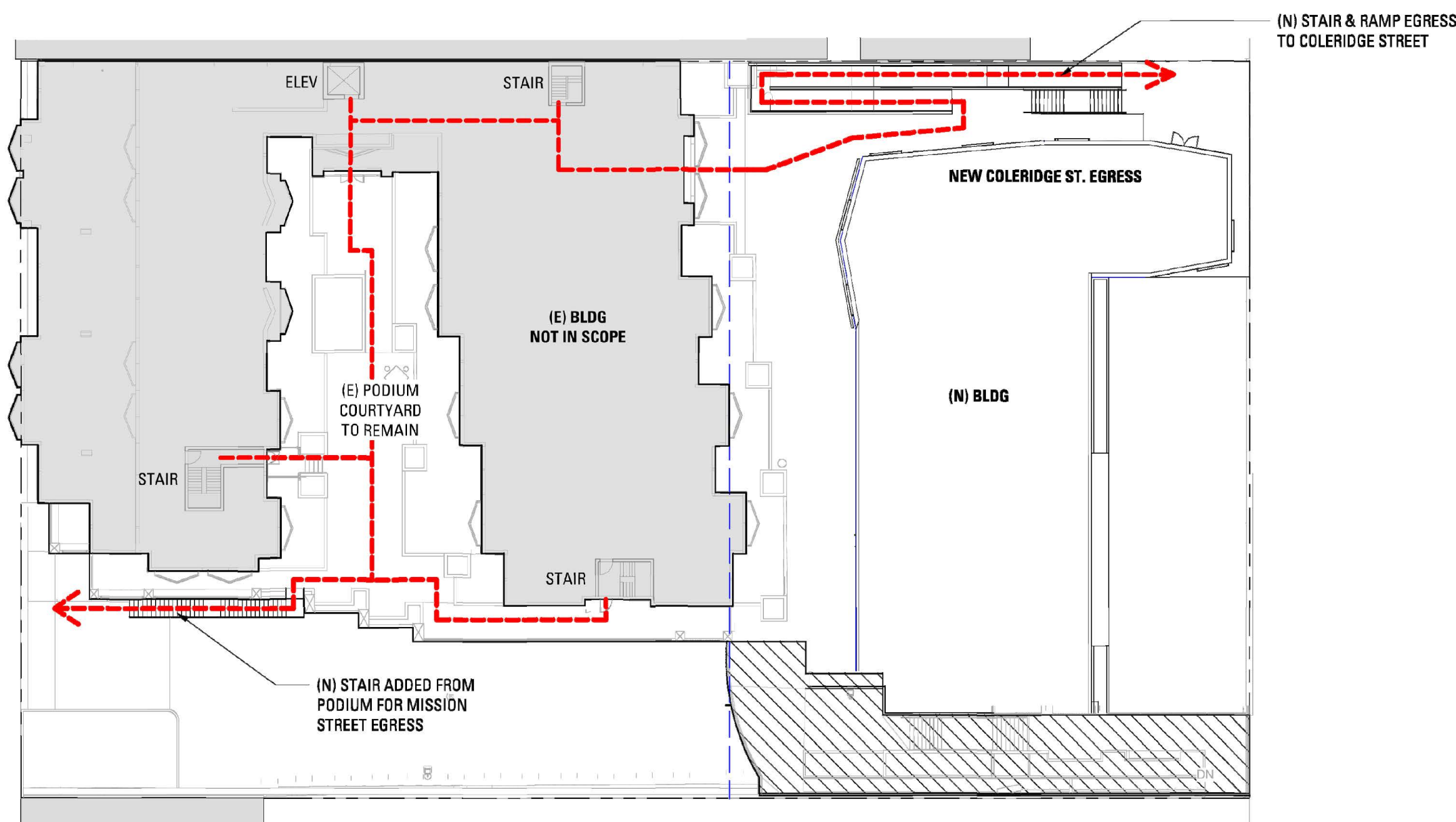
MAY 2024 SCALE: 1"=30' SHEET 7 OF 8

APN 5615-099 THRU 101 3333 MISSION STREET
190 COLERIDGE STREET

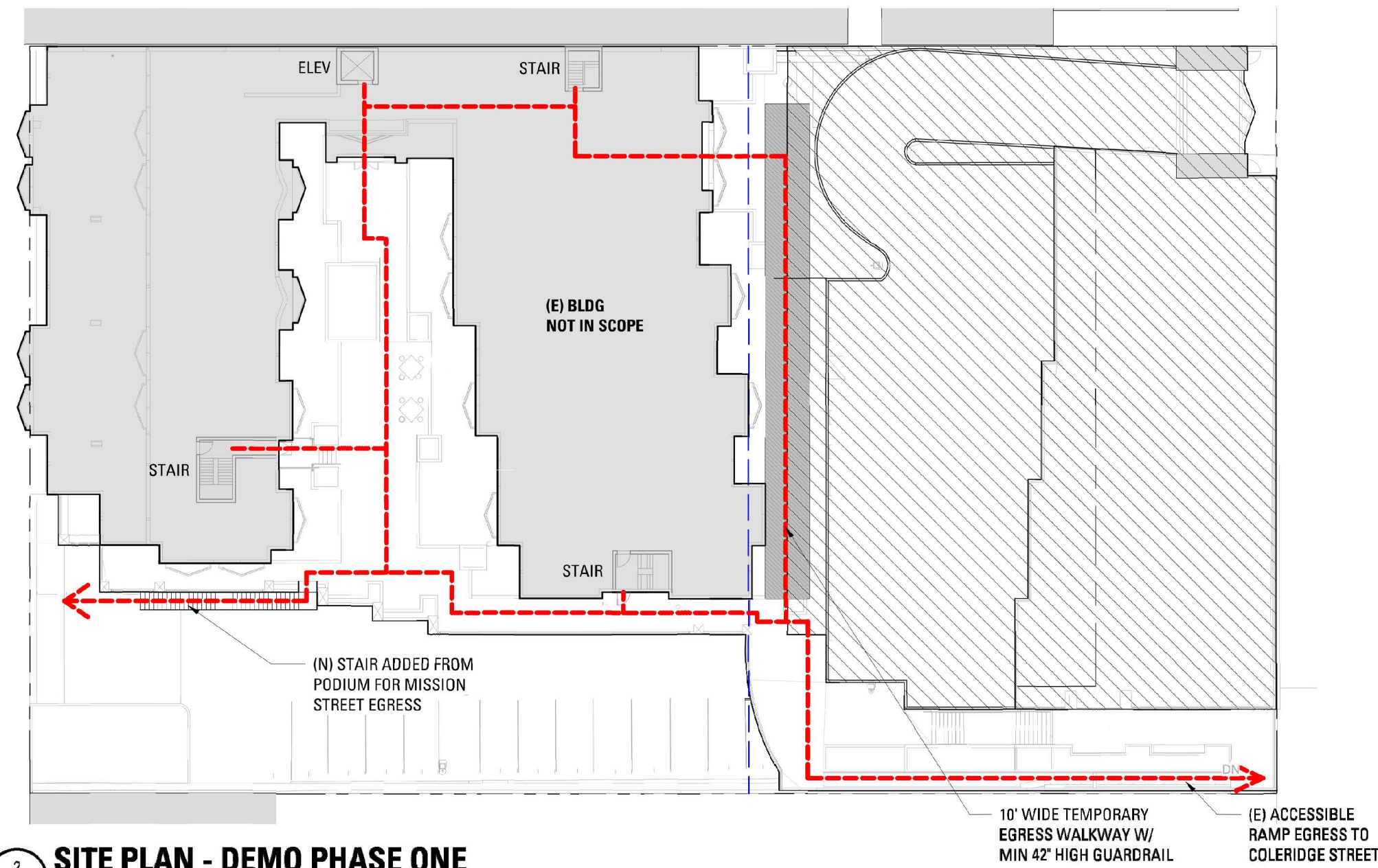
COPYRIGHT © 2024 BAR architects



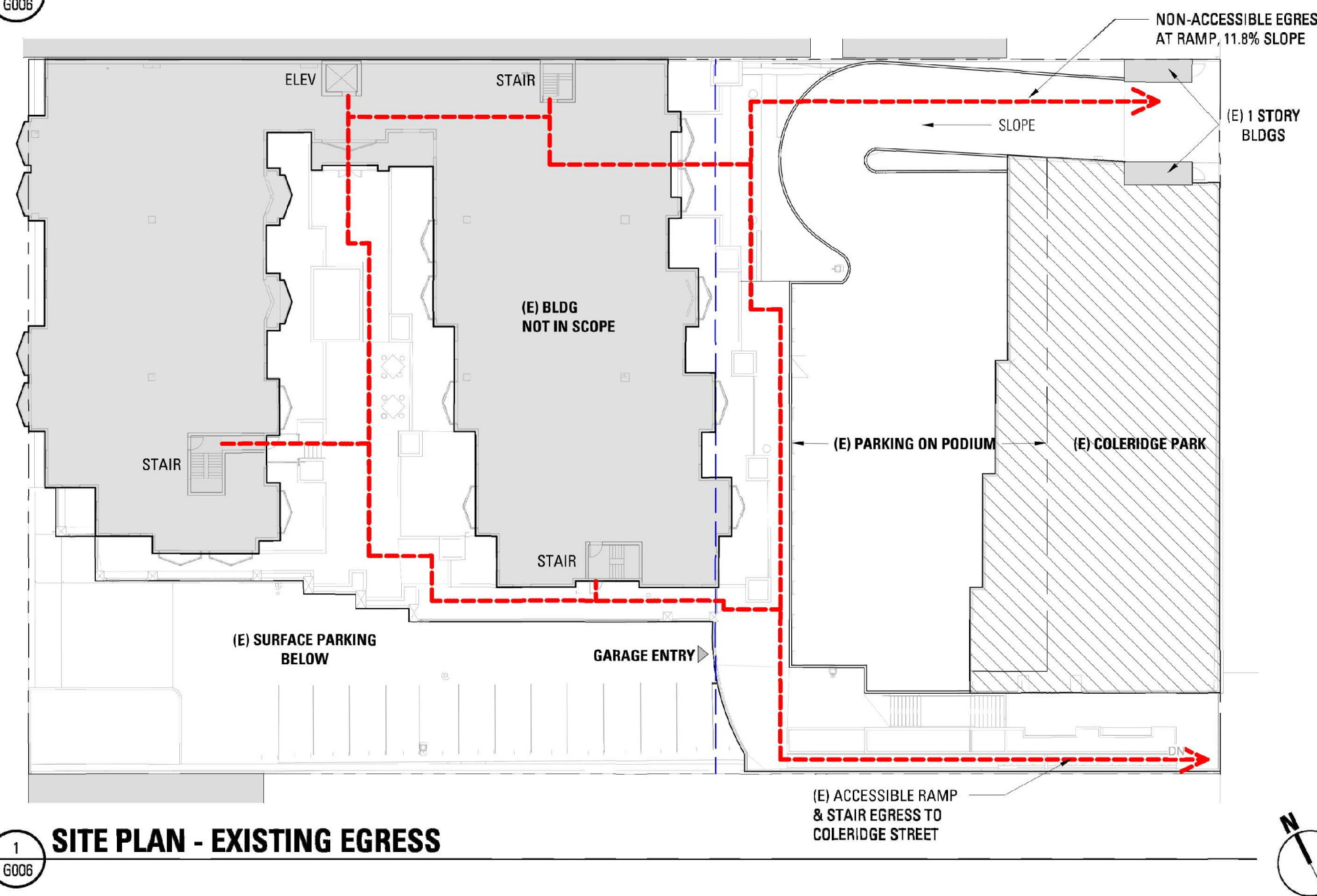
4
6005
SITE PLAN DIAGRAM - NEW SITE EGRESS



3
6006
SITE PLAN - DEMO PHASE TWO



2
6006
SITE PLAN - DEMO PHASE ONE



1
6006
SITE PLAN - EXISTING EGRESS

3333 Mission
3333 MISSION ST, SAN FRANCISCO

CONSTRUCTION PHASING & EGRESS

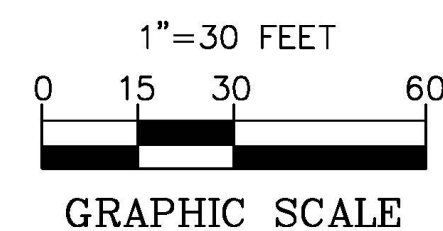
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2023019

BAR architects

G006

CONSTRUCTION PHASING & EGRESS



**TENTATIVE
FINAL MAP**

A THREE LOT VERTICAL SUBDIVISION
A 6 COMMERCIAL UNIT AND 1 RESIDENTIAL UNIT
CONDOMINIUM PROJECT WITHIN LOT 1
BEING A MERGER AND RE-SUBDIVISION OF LOTS 99-101 OF THAT
CERTAIN PARCEL MAP RECORDED JUNE 29, 1987 IN BOOK 35 OF
PARCEL MAPS AT PAGES 100 AND 101, OFFICIAL RECORDS.

BEING A PORTION OF 100 PRECITA VALLEY LANDS

CITY AND COUNTY OF SAN FRANCISCO, STATE OF CALIFORNIA

MARTIN M. RON ASSOCIATES, INC.
Land Surveyors
859 Harrison Street, Suite 200
San Francisco, California

MAY 2024

SCALE: 1"=30'

SHEET 8 OF 8

APN 5615-099 THRU 101

3333 MISSION STREET
190 COLERIDGE STREET

D. APPLICATION

(Required for all Commercial Condominium Conversions)

Property Address: 3333 Mission Street and 190 Coleridge Street, San Francisco, CA 94110

For DPW-BSM use only

ID No.: _____

Assessor's Block: 5615 Lot Number(s): 099,100,101

Owner:	
Name:	Elevate Housing Partners L.P. and Bernal Senior Housing Partners - Gina Dacus
Address:	515 Cortland Avenue, San Francisco, CA 94110
Phone:	415.206.2140 ext. 169
E-mail:	gdacus@bhnc.org
Attorney's Information: (If Any)	
Name:	Sheppard Mullin - Lauren Chang
Address:	333 South Hope Street, 43rd Floor, Los Angeles, CA 90071
Phone:	213.617.5588
E-mail:	lchang@sheppardmullin.com
Surveyor preparing the subdivision map:	
Name:	Martin M. Ron Associates - Ben Ron
Address:	859 Harrison Street, Suite 200, San Francisco, CA 94107
Phone:	415.269.8156
E-mail:	ben@martinron.com
Subdivider: (If different from owner)	
Name:	
Address:	

Number of Units in Project: 3 Vertical Lots and 10 Commercial and 5 Residential Condominium Units

This subdivision results in an airspace: ☐ No ☒ Yes (shown on Tentative Map)

**STATE OF CALIFORNIA
CITY AND COUNTY OF SAN FRANCISCO**

I (We) Elevate Housing Partners L.P. and Bernal Senior Housing Partners

(Print Subdivider's Name in full)

declare, under penalty of perjury, that I am (we are) the owner(s) [authorized agent of the owner(s)] of the property that is the subject of this application, that the statements herein and in the attached exhibits present the information required for this application, and the information presented is true and correct to the best of my (our) knowledge and belief.

Date: 7/10/2025

Signed:

DocuSigned by:
Gina Dacus

Elevate Housing Partners L.P., a California limited partnership

Date: 7/10/2025

Signed:

DocuSigned by:
Gina Dacus

Bernal Senior Housing Partners, a California limited partnership



LETTER # 1
RESPOND BY: July 18, 2024

London N. Breed
Mayor

Carla Short
Acting Director

Nicolas Huff
Bureau of Street-Use and
Mapping Manager

Office of the
City and County Surveyor

Street-Use and Mapping
49 South Van Ness Ave.,
Suite 300,
San Francisco, CA 94103
Phone: (628) 271-2000

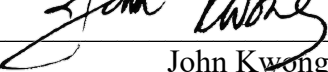
sfpublicworks.org
facebook.com/sfpublicworks
twitter.com/sfpublicworks

To: subdivision.mapping@sfdpw.org

Re: Tentative Map No.
Assessor's Block/Lot: 5625/099-100-101
Address: 3333 Mission Street & 190 Coleridge Street
San Francisco, Ca

Check One:

- ☐ The above-referenced application is approved as-is and there are no conditions required.
- ☐ The above referenced application requires the following conditions below:
 - The approval of this map does not constitute approval of the proposed transformer on Mission Street. A separate Vault Encroachment is required, and approval must be acquired prior to the final design.
 - The information suggests that Lot 1 in the subdivision will be the fronting property owner for both Mission and Coleridge Streets. Hence the owner of this parcel will be the entity that will be responsible for the maintenance of the sidewalk and be the entity that will be paying for all assessments (please clarify if this is not the case).
 - A separate Street Improvement Permit is required for the construction of the sidewalk on both frontages and the installation/removal of driveway cuts.
 - Will there be easement or other elements to allow for eaves, window and door swings from proposed Lot 2 and Lot 3 over Lot 1?
- ☐ The above referenced application is disapproved for the following reasons:

Signed 
Print Name John Kwong
Bureau/division SFPW-BSM Permits

Elevate Housing Partners L.P.
515 Cortland Avenue
San Francisco, CA 94110

Bernal Senior Housing Partners
515 Cortland Avenue
San Francisco, CA 94110

July 9, 2025

Elias W. French
City and County Surveyor
Department of Public Works
Bureau of Street-Use & Mapping
49 South Van Ness Ave., 3rd Floor
San Francisco, CA 94103

Project Address: 3333 Mission Street and 190 Coleridge Street, San Francisco, CA 94110
APNs: 5615-099, 5615-100, and 5615-101
Planning Record No: 2024-011564PRJ
Application: Commercial Condominium Conversion

Dear Mr. French:

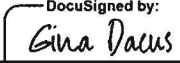
As part of the SB 35 entitlements application, approved on April 16, 2025, for the project located at 3333 Mission Street and 190 Coleridge Street, San Francisco, CA 94110, and in compliance with the California Subdivision Map Act, the San Francisco Subdivision Code, the San Francisco Regulations, and all amendments thereto, I, the undersigned subdivider, hereby submit to you for your review and processing (i) a proposed vertical subdivision of 3 lots and (ii) entitlement of 10 commercial and 5 residential condominium units. As the project includes both new construction and the conversion of commercial condominiums, please see enclosed Commercial Condominium Conversion Application and Checklist and all applicable items, fees, documents and data checked thereon.

Respectfully,

Elevate Housing Partners L.P.,
a California limited partnership

By: Dreambuilders Collective LLC,
a California limited liability company,
its Managing General Partner

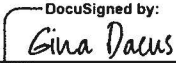
By: Bernal Heights Housing Corporation,
a California nonprofit public benefit corporation,
its Sole Member and Manager

By: 
119E69C1F745423

Gina Dacus, Executive Director

Bernal Senior Housing Partners,
a California limited partnership

By: Bernal Senior Housing Corporation,
a California nonprofit corporation,
its General Partner

By: 
Gina Dacus, Executive Director

Attachment: Application Packet



City and County of San Francisco
San Francisco Public Works - Bureau of Surveying and Mapping
Office of the City and County Surveyor
49 South Van Ness, 9th Floor - San Francisco, CA 94103
Tel 628-271-2000
Subdivision.Mapping@sfdpw.org



Revised Tentative Map

Date: August 11, 2025

Department of Building Inspection
Plan Review Services
49 South Van Ness Avenue
5th Floor, Suite 590
San Francisco, CA 94103

To Whom It May Concern:

Project ID: 12259			
Project Type: 3 Lot Airspace/Vertical Subdivision, 5 New Condominium and 10 Commercial Condominium Conversion			
Address#	StreetName	Block	Lot
3333	MISSION ST	5615	099
190	COLERIDGE ST	5615	100
190	COLERIDGE ST	5615	101
Revised Tentative Map Referral			

Pursuant to Section 1325 of the City and County of San Francisco Subdivision Code and Section 4.105 of the 1996 City Charter, a print of the above referenced Tentative Map is submitted for your review and consideration. Under the provisions of the Subdivision Map Act and the Subdivision Code, your Department must respond to the Bureau of Street-Use and Mapping within 30 days of the date of this letter. Failure to do so constitutes automatic approval from your department. Thank you for your timely review of this Tentative Map.

Sincerely,

BRS/st
Enclosures:

Tentative Map
DBI Requirements Form
Application Fee

Elias W. French
City and County Surveyor
Bureau of Surveying and Mapping

This Tentative Map has been:

X

Approved by DBI

Conditionally Approved by DBI, Subject to the following conditions (Any requested documents should be sent in with a copy of this letter to Department of Building Inspection at the above address):

Date 09/22/2025

Signed



Vivian Huang - BLDG

DEPARTMENT OF
BUILDING INSPECTION

September 22, 2025



City and County of San Francisco

San Francisco Public Works - Bureau of Street Use and Mapping
49 South Van Ness Ave, Suite 300 - San Francisco, CA 94103
sfpublicworks.org - tel (628) 271-2000



Date: June 17, 2024

Department of Building Inspection
Plan Review Services
49 South Van Ness Avenue
5th Floor, Suite 590
San Francisco, CA 94103

To Whom It May Concern:

Project ID:		12259	
Project Type:		3 Lot Vertical Subdivision and 1 Residential and 6 Commercial Condominium units	
Address#	StreetName	Block	Lot
3333	MISSION ST	5615	099
190	COLERIDGE ST	5615	100
190	COLERIDGE ST	5615	101
Tentative Map Referral			

Pursuant to Section 1325 of the City and County of San Francisco Subdivision Code and Section 4.105 of the 1996 City Charter, a print of the above referenced Tentative Map is submitted for your review and consideration. Under the provisions of the Subdivision Map Act and the Subdivision Code, your Department must respond to the Bureau of Street-Use and Mapping within 30 days of the date of this letter. Failure to do so constitutes automatic approval from your department. Thank you for your timely review of this Tentative Map.

Sincerely,

BRS/st

Enclosures:

Tentative Map
DBI Requirements Form
Application Fee

WILLIAM E. BLACKWELL JR., PLS 8251
Acting City and County Surveyor
Bureau of Street-Use and Mapping

This Tentative Map has been:

_____ Approved by DBI

☒ Conditionally Approved by DBI, Subject to the following conditions (Any requested documents should be sent in with a copy of this letter to Department of Building Inspection at the above address):
_____ (see attached document on condition of approval)

Date 11/21/2024

Signed _____



Project ID:	12259
Project Type:	3 Lot Vertical Subdivision and 1 Residential and 6 Commercial Condominium units

File for a building application permit to demonstrate the existing building complies with the SF Building Code with respect to the proposed lot line or show the existing building will be upgraded to comply with the SF Building Code.

The scope of work for the building permit to read: *“Upgrade/demonstrate existing building in preparation for proposed property line”*

Plans to show:

- 1) Architectural layout of the subject property(ies).
- 2) Fire resistance rating of walls and openings (parallel to proposed property line) meet or will be upgraded to comply with CBC Section 705
- 3) Proposed property line shall not remove access to stairs.

NOTE: If work is to be performed on the building, separate existing and proposed floor plans are required. The existing floor plan shall describe all demolition with differing line weights and descriptive words/sentences. The proposed floor plan shall describe all new materials to be installed to meet code in preparation of the proposed lot line.

Permit application shall be reviewed, approved, issued, and final inspected by the Department of Building Inspection. Once permit is final inspected and closed out, please write an email to dbi.subdivisions@sfgov.org with the following attachments:

- DBI approved plans in PDF format
- Final job card signed off
- DPW to DBI referral letter

Attached documents will be reviewed for completeness and make a determination.



City and County of San Francisco

San Francisco Public Works · Bureau of Surveying and Mapping

Office of the City and County Surveyor

49 South Van Ness, 9th Floor · San Francisco, CA 94103

Tel 628-271-2000

Subdivision.Mapping@sfdpw.org



July 22, 2025

TENTATIVE MAP DECISION

Department of City Planning
49 South Van Ness Avenue
14th Floor, Suite 1400
San Francisco, CA 94103

Project ID: 12259			
Project Type: 3 Lot Vertical Subdivision, 5 New Condominium and 10 Commercial Condominium Conversion			
Address#	StreetName	Block	Lot
3333	MISSION ST	5615	099
190	COLERIDGE ST	5615	100
190	COLERIDGE ST	5615	101
Tentative Map Referral			

Attention: Mr. Corey Teague.

Please review* and respond to this referral within 30 days in accordance with the Subdivision Map Act.

(*In the course of review by City agencies, any discovered items of concern should be brought to the attention of Public Works for consideration.)

Sincerely

Elias W. French
City and County Surveyor
Bureau of Surveying and Mapping

The subject Tentative Map has been reviewed by the Planning Department and does comply with applicable provisions of the Planning Code. On balance, the Tentative Map is consistent with the General Plan and the Priority Policies of Planning Code Section 101.1 ~~based on the attached findings.~~ The subject referral is exempt from California Environmental Quality Act (CEQA) environmental review as categorically exempt Class____, CEQA Determination Date_____, based on the attached checklist.

The subject Tentative Map has been reviewed by the Planning Department and does comply with applicable provisions of the Planning Code subject to the attached conditions.

The subject Tentative Map has been reviewed by the Planning Department and does not comply with applicable provisions of the Planning Code due to the following reason(s):

PLANNING DEPARTMENT

Signed_____

Date_____

Planner's Name _____
for, Corey Teague, Zoning Administrator



Issuing Policies of Chicago Title Insurance Company

Order No.: 15611245-156-TJK-JM

TO:

Chicago Title Company
150 Spear Street, Suite 825
San Francisco, CA 94105
Phone: (415) 291-5100
ATTN: Terina J. Kung

Title Officer: Jeff Martin
Email: jeff.martin@ctt.com

Escrow Officer: Terina J. Kung
Email: Terina.Kung@ctt.com
150 Spear Street, Suite 825
San Francisco, CA 94105
(415) 291-5100

PROPERTY ADDRESS: 3333 Mission Street and 190 Coleridge Street, San Francisco, CA

AMENDED PRELIMINARY REPORT/AMENDMENT

*In response to the application for a policy of title insurance referenced herein, **Chicago Title Company** hereby reports that it is prepared to issue, or cause to be issued, as of the date hereof, a policy or policies of title insurance describing the land and the estate or interest therein hereinafter set forth, insuring against loss which may be sustained by reason of any defect, lien or encumbrance not shown or referred to as an exception herein or not excluded from coverage pursuant to the printed Schedules, Conditions and Stipulations or Conditions of said policy forms.*

The printed Exceptions and Exclusions from the coverage and Limitations on Covered Risks of said policy or policies are set forth in Attachment One. The policy to be issued may contain an arbitration clause. When the Amount of Insurance is less than that set forth in the arbitration clause, all arbitrable matters shall be arbitrated at the option of either the Company or the Insured as the exclusive remedy of the parties. Limitations on Covered Risks applicable to the CLTA and ALTA Homeowner's Policies of Title Insurance which establish a Deductible Amount and a Maximum Dollar Limit of Liability for certain coverages are also set forth in Attachment One. Copies of the policy forms should be read. They are available from the office which issued this report.

This report (and any supplements or amendments hereto) is issued solely for the purpose of facilitating the issuance of a policy of title insurance and no liability is assumed hereby. If it is desired that liability be assumed prior to the issuance of a policy of title insurance, a Binder or Commitment should be requested.

The policy(s) of title insurance to be issued hereunder will be policy(s) of Chicago Title Insurance Company, a Florida corporation.

Please read the exceptions shown or referred to herein and the exceptions and exclusions set forth in Attachment One of this report carefully. The exceptions and exclusions are meant to provide you with notice of matters which are not covered under the terms of the title insurance policy and should be carefully considered.

It is important to note that this preliminary report is not a written representation as to the condition of title and may not list all liens, defects and encumbrances affecting title to the land.

Chicago Title Company

By: 

Authorized Signature

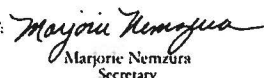


By:



Michael J. Nolan
President

ATTEST:


Marjorie Nemzura
Secretary



AMENDED PRELIMINARY REPORT

EFFECTIVE DATE: June 20, 2025 at 7:30 a.m., Amended: July 8, 2025, Amendment No. A

ORDER NO.: 15611245-156-TJK-JM

The form of policy or policies of title insurance contemplated by this report is:

ALTA Extended Owner's Policy (7-1-21)

1. THE ESTATE OR INTEREST IN THE LAND HEREINAFTER DESCRIBED OR REFERRED TO COVERED BY THIS REPORT IS:

A Fee, as to Tract One;

And

A Fee as to Parcel(s) One, Two, Three and Four of Tract Two;

An Easement more described below as to Parcel(s) Six, Seven, Eight and Nine of Tract Two; and

A leasehold as created by that certain lease dated September 28, 1989, executed by Bernal Senior Housing Corporation, a California nonprofit public benefit corporation, as lessor, and Bernal Senior Housing Partners, a California Limited Partnership, as lessee, and recorded September 28, 1989, Instrument No. E440962, Reel E966, Image 897, of Official Records, for the term, upon and subject to all of the provisions contained therein, as to Parcel Five of Tract Two

2. TITLE TO SAID ESTATE OR INTEREST AT THE DATE HEREOF IS VESTED IN:

Elevate Housing Partners L.P., a California limited partnership, as to Tract One; and

Bernal Senior Housing Corporation, a California nonprofit benefit corporation, as to the Fee of Tract Two, Parcels One and Two;

Bernal Senior Housing Partners, a California limited partnership, as to the Fee of Tract Two, Parcels Three and Four; and

Bernal Senior Housing Partners, a California limited partnership, as to a Leasehold Interest, of Tract Two, Parcel Five

3. THE LAND REFERRED TO IN THIS REPORT IS DESCRIBED AS FOLLOWS:

See Exhibit A attached hereto and made a part hereof.

EXHIBIT A LEGAL DESCRIPTION

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE CITY OF SAN FRANCISCO, IN THE COUNTY OF SAN FRANCISCO, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:

TRACT ONE:

Parcel One of Lot 99, as shown on that certain Map entitled, "Parcel Map Showing the Subdivision of Airspace in a portion of the Precita Valley Lands also being a portion of Assessor's Block 5615, San Francisco, California", Recorded June 29, 1987 in Parcel Map [Book 35 at Pages 100 and 101](#) Series No. E-014384, Official Records.

APN: Lot 099, Block 5615

TRACT TWO:

Parcel One:

Parcel Two Lot 100, as shown on that certain Map entitled "Parcel Map Showing the Subdivision of Airspace in a Portion of the Precita Valley Lands also Being a Portion of Assessor's Block 5615", San Francisco, California recorded June 29, 1987 in Parcel Map [Book 35 at Pages 100 and 101](#) Series No. E014384, Official Records.

Excepting therefrom all buildings and other improvements located upon said real property as of September 28, 1989 or thereafter constructed or erected upon said real property as conveyed in the Grant Deed dated September 28, 1989 from Bernal Senior Housing Partners, a California Limited Partnership to Bernal Senior Housing Corporation, a California nonprofit public benefit corporation, Recorded September 28, 1989 [Reel E966 Image 894](#) Instrument No. 1989- 440961 Official Records.

Parcel Two:

Parcel Three Lot 101, as shown on that certain Map entitled "Parcel Map Showing the Subdivision of Airspace in a Portion of the Precita Valley Lands also Being a Portion of Assessor's Block 5615", San Francisco, California recorded June 29, 1987 in Parcel Map [Book 35 at Pages 100 and 101](#) Series No. E014384, Official Records.

Excepting therefrom all buildings and other improvements located upon said real property as of September 28, 1989 or thereafter constructed or erected upon said real property as conveyed in the Grant Deed dated September 28, 1989 from Bernal Senior Housing Partners, a California Limited Partnership to Bernal Senior Housing Corporation, a California nonprofit public benefit corporation, Recorded September 28, 1989 [Reel E966 Image 894](#) Instrument No. 1989- 440961 Official Records.

Parcel Three:

All Buildings and other improvements located upon that certain land described as:

Parcel Two Lot 100, as shown on that certain Map entitled "Parcel Map Showing the Subdivision of Airspace in a Portion of the Precita Valley Lands also Being a Portion of Assessor's Block 5615", San Francisco, California recorded June 29, 1987 in Parcel Map [Book 35 at Pages 100 and 101](#) Series No. E014384, Official Records.

As reserved in the deed dated September 28, 1989 from Bernal Senior Housing Partners, a California Limited Partnership to, Bernal Senior Housing Corporation, a California nonprofit public benefit corporation recorded September 28, 1989 [Reel E966 Image 894](#) Instrument No. 1989-440961 Official Records.

APN: Lot 100, Block 5615

Parcel Four:

All Buildings and other improvements located upon that certain land described as:

**EXHIBIT A
(Continued)**

Parcel Three Lot 101, as shown on that certain Map entitled "Parcel Map Showing the Subdivision of Airspace in a Portion of the Precita Valley Lands also Being a Portion of Assessor's Block 5615", San Francisco, California recorded June 29, 1987 in Parcel Map [Book 35 at Pages 100 and 101](#) Series No. E014384, Official Records.

As reserved in the deed dated September 28, 1989 from Bernal Senior Housing Partners, a California Limited Partnership to, Bernal Senior Housing Corporation, a California nonprofit public benefit corporation recorded September 28, 1989 [Reel E966 Image 894 Instrument No. 1989- 440961 Official Records.](#)

APN: Lot 101, Block 5615

Parcel Five:

Parcel Two Lot 100, as shown on that certain Map entitled "Parcel Map Showing the Subdivision of Airspace in a Portion of the Precita Valley Lands also being a Portion of Assessor's Block 5615", San Francisco, California recorded June 29, 1987 in Parcel Map [Book 35 at Pages 100 and 101](#) Series No. E014384, Official Records.

Excepting therefrom all buildings and other improvements located upon said real property as of September 28, 1989 or thereafter constructed or erected upon said real property as conveyed in the Grant Deed dated September 28, 1989 from Bernal Senior Housing Partners, a California Limited Partnership to Bernal Senior Housing Corporation, a California nonprofit public benefit corporation, Recorded September 28, 1989 [Reel E966 Image 894 Instrument No. 1989- 440961 Official Records.](#)

APN: Lot 100, Block 5615

Parcel Six:

A Non-exclusive emergency access easement appurtenant to Parcels One, Two, Three, Four and Five hereinabove described for vehicular and pedestrian ingress and egress over Parcel One Lot 99 as shown on the map referred to above, as said easement is described in that certain Declaration of Covenants, Conditions and Restrictions dated June 3, 1987 recorded June 29, 1987 in [Reel E373, Image 617, Series No. E014385](#), and that certain Amendment to Declaration dated June 1, 1988 and recorded June 21, 1988 in [Reel E620, Image 1, Series No. E192878](#).

Parcel Seven:

A Non-Exclusive easement appurtenant to Parcels One, Two, Three, Four and Five hereinabove described over Parcel One Lot 99 as shown on the map referred to above for structural support and integrity of improvements located on Parcel Two Lot 100 and Parcel Three Lot 101 shown in Parcel A above as said easements are described in that certain Declaration of Covenants; Conditions and Restrictions dated June 3, 1987 recorded June 29, 1987 in [Reel E373, Image 617, Series No. E014385](#), and that certain Amendment to Declaration dated June 1, 1988 and recorded June 21, 1988 in [Reel E620, Image 1, Series No. E192878](#).

Parcel Eight:

A Non-Exclusive easement appurtenant to Parcels One, Two, Three, Four and Five hereinabove described over Parcel One Lot 99 as shown on the map referred to above for construction, maintenance, elevators and utilities as said easement is described in that certain Declaration of Covenants, Conditions and Restrictions dated June 3, 1987 recorded June 29, 1987 in [Reel E373, Image 617, Series No. E014385](#), and that certain Amendment to Declaration dated June 1, 1988 and recorded June 21, 1988 in [Reel E620, Image 1, Series No. E192878](#).

**EXHIBIT A
(Continued)**

Parcel Nine:

A Non-Exclusive easement appurtenant to Parcels One, Two, Three, Four and Five hereinabove described over Parcel One Lot 99 as shown on the map referred to above for the purpose of accommodating and maintaining any encroachments due to engineering errors, errors in original construction, reconstruction, repair, settlement or shifting or movement of the building, or any other similar cause as said easement is described in that certain Declaration of Covenants, Conditions and Restrictions dated June 3, 1987 recorded June 29, 1987 in Reel E373, Image 617, Series No. E014385, and that certain Amendment to Declaration dated June 1, 1988 and recorded June 21, 1988 in Reel E620, Image 1, Series No. E192878.

EXCEPTIONS

AT THE DATE HEREOF, ITEMS TO BE CONSIDERED AND EXCEPTIONS TO COVERAGE IN ADDITION TO THE PRINTED EXCEPTIONS AND EXCLUSIONS IN SAID POLICY FORM WOULD BE AS FOLLOWS:

THE FOLLOWING MATTERS AFFECT TRACT ONE:

1. Property taxes, which are a lien not yet due and payable, including any assessments collected with taxes to be levied for the fiscal year 2025-2026.
2. Intentionally deleted
3. Prior to close of escrow, please contact the Tax Collector's Office to confirm all amounts owing, including current fiscal year taxes, supplemental taxes, escaped assessments and any delinquencies.
4. The lien of supplemental or escaped assessments of property taxes, if any, made pursuant to the provisions of Chapter 3.5 (commencing with Section 75) or Part 2, Chapter 3, Articles 3 and 4, respectively, of the Revenue and Taxation Code of the State of California as a result of the transfer of title to the vestee named in Schedule A or as a result of changes in ownership or new construction occurring prior to Date of Policy.
5. The Land lies within the boundaries of a Mello Roos Community Facilities District ("CFD"), as follows:

CFD No: 90-1
For: School Facility Repair and Maintenance

This property, along with all other parcels in the CFD, is liable for an annual special tax. This special tax is included with and payable with the general property taxes of the City and County of San Francisco. The tax may not be prepaid.

Further information may be obtained by contacting:

Chief Financial Officer
San Francisco Unified School District
135 Van Ness Ave. – Room 300
San Francisco, CA 94102
Phone (415) 241-6542

6. Notice of Special Restrictions under the City Planning Code of the City and County of San Francisco upon the terms and conditions contained therein

Recording Date: February 3, 1987
Recording No.: D939499, Reel E271, Image 1443, of Official Records

Reference is made to said document for full particulars.

7. Recitals, notes and legends as shown on that certain Parcel Map, filed for record on June 29, 1987, in Book 35, Page 100, of Parcel Maps.

**EXCEPTIONS
(Continued)**

8. Covenants, conditions and restrictions but omitting any covenants or restrictions, if any, including but not limited to those based upon age, race, color, religion, sex, gender, gender identity, gender expression, sexual orientation, marital status, national origin, ancestry, familial status, source of income, disability, veteran or military status, genetic information, medical condition, citizenship, primary language, and immigration status, as set forth in applicable state or federal laws, except to the extent that said covenant or restriction is permitted by applicable law, as set forth in the document

Recording Date: June 29, 1987
Recording No: E014385, Reel E373, Image 617, of Official Records

Said covenants, conditions and restrictions provide that a violation thereof shall not defeat the lien of any mortgage or deed of trust made in good faith and for value.

Liens and charges as set forth in the above mentioned declaration,

Payable to: Mission Coleridge Owners Association

Modification(s) of said covenants, conditions and restrictions

Recording Date: June 21, 1988
Recording No: E192878, Reel E620, Image 1, of Official Records

EXCEPTIONS (Continued)

9. A deed of trust to secure an indebtedness in the amount shown below,

Amount: \$5,283,000.00
 Dated: January 30, 2024
 Trustor/Grantor: Elevate Housing Partners L.P., a California limited partnership
 Trustee: Chicago Title Company, a California corporation
 Beneficiary: Low Income Investment Fund, a California nonprofit public benefit corporation
 Loan No.: 34236
 Recording Date: January 30, 2024
Recording No: 2024011148, of Official Records

10. Matters contained in that certain document

Entitled: Order of Abatement
 Dated: June 4, 2024
 Executed by: Department of Building Inspection
 Recording Date: August 1, 2024
Recording No: 2024061137

Reference is hereby made to said document for full particulars.

11. Matters contained in that certain document

Entitled: Notice of Recordation of Lien for Delinquent Water, Utility Tax and Wastewater Charges
 Lien Case Number: 2809506625
 Owner: Elevate Housing Partners LP
 Lien Amount: \$274.36
 Recording Date: June 20, 2025
Recording No: 2025044533, of Official Records

Reference is hereby made to said document for full particulars.

12. Any rights, interests, or claims which may exist or arise by reason of the following matters disclosed by survey,

Job No.: T1363
 Dated: _____, 2024
 Prepared by: Martin M. Ron Associates
 Matters shown:

A) Encroachment of Improvements onto adjacent land to the Southwest (Lot 028, Block 5615):

1. 0.02' ov. @ bldg., 5' up
2. 0.05' ov. @ roof

EXCEPTIONS (Continued)

B) Encroachment of Improvements into Mission Street:

1. 0.01' ov. @ bldg., 5' up
2. 1.6'± ov. @ sign, 10'± up

C) Encroachment of Improvements onto adjacent land to the Southwest (Lot 080, Block 5615):

1. 0.32' ov. @ curb

D) Encroachment of Improvements located on adjacent land to the Southwest (Lot 028, Block 5615), onto said land:

1. 0.1'± ov. @ conduit, ground to top of 1st story
2. 0.2'± ov. @ electric box, 11'± up

E) Encroachment of Improvements located on adjacent land to the Southwest (Lot 080, Block 5615), onto said Land:

1. 0.5'± ov. max. @ roof drain @ grade & 10'± up (broken)

F) Encroachment of Improvements located on land adjacent land to the Southwest (Lot 079, Block 5615), onto said Land:

1. 0.02' ov. @ wall
2. 0.27' ov. @ wall
3. 0.22' ov. @ wall

G) Encroachment of Improvements located on land adjacent land to the Southwest (Lot 026, Block 5615), onto said Land:

1. 0.03' ov. @ wall
2. 0.13' ov. @ wall

H) Encroachment of Improvements located on land adjacent land to the Southwest (Lot 025, Block 5615), onto said Land:

1. 0.13' ov. @ wall
2. 0.36' ov. @ wall

I) Encroachment of Improvements located on land adjacent land to the Southwest (Lot 024B, Block 5615), onto said Land:

1. 0.62' ov. @ wall
2. 0.58' ov. @ wall
3. 0.68' ov. @ wall
4. 0.6'± ov. @ fence

SUBJECT TO NEW SURVEY OR NO CHANGE AFFIDAVIT.

EXCEPTIONS (Continued)

13. The Company will require that an Owner's Affidavit be completed by the party(s) named below before the issuance of any policy of title insurance.

Party(s): Elevate Housing Partners L.P., a California limited partnership

The Company reserves the right to add additional items or make further requirements after review of the requested Affidavit.

14. Before issuing its policy of title insurance, the Company will require the following for the below-named limited partnership:

Name: Elevate Housing Partners L.P., a California limited partnership

Certificate of Limited Partnership filed with the Secretary of State, in compliance with the provisions of the California Revised Limited Partnership Act, Section 15611 et. seq., Corporations Code.
Certified Copy of the Certificate of Limited Partnership certified by the Secretary of State filed with the County Recorder.

The Company reserves the right to add additional items or make further requirements after review of the requested documentation

15. The Company will require the following documents for review prior to the issuance of any title insurance predicated upon a conveyance or encumbrance from the entity named below:

Limited Liability Company: AJJLA Commercial 1, LLC a California limited liability company (General Partner)

- a) A copy of its operating agreement, if any, and all amendments, supplements and/or modifications thereto, certified by the appropriate manager or member.
- b) If a domestic Limited Liability Company, a copy of its Articles of Organization and all amendments thereto with the appropriate filing stamps.
- c) If the Limited Liability Company is member-managed, a full and complete current list of members certified by the appropriate manager or member.
- d) A current dated certificate of good standing from the proper governmental authority of the state in which the entity is currently domiciled.
- e) If less than all members, or managers, as appropriate, will be executing the closing documents, furnish evidence of the authority of those signing.
- f) If Limited Liability Company is a Single Member Entity, a Statement of Information for the Single Member will be required.
- g) Each member and manager of the LLC without an Operating Agreement must execute in the presence of a notary public the Certificate of California LLC (Without an Operating Agreement) Status and Authority form.

EXCEPTIONS (Continued)

16. The Company will require the following documents for review prior to the issuance of any title insurance predicated upon a conveyance or encumbrance from the entity named below:

Limited Liability Company: Dreambuilders Collective LLC, a California limited liability company
(General Partner)

- a) A copy of its operating agreement, if any, and all amendments, supplements and/or modifications thereto, certified by the appropriate manager or member.
- b) If a domestic Limited Liability Company, a copy of its Articles of Organization and all amendments thereto with the appropriate filing stamps.
- c) If the Limited Liability Company is member-managed, a full and complete current list of members certified by the appropriate manager or member.
- d) A current dated certificate of good standing from the proper governmental authority of the state in which the entity is currently domiciled.
- e) If less than all members, or managers, as appropriate, will be executing the closing documents, furnish evidence of the authority of those signing.
- f) If Limited Liability Company is a Single Member Entity, a Statement of Information for the Single Member will be required.
- g) Each member and manager of the LLC without an Operating Agreement must execute in the presence of a notary public the Certificate of California LLC (Without an Operating Agreement) Status and Authority form.

THE FOLLOWING MATTERS AFFECT TRACT TWO:

- 17. Property taxes, which are a lien not yet due and payable, including any assessments collected with taxes to be levied for the fiscal year 2025-2026.
- 18. Intentionally deleted
- 19. Prior to close of escrow, please contact the Tax Collector's Office to confirm all amounts owing, including current fiscal year taxes, supplemental taxes, escaped assessments and any delinquencies.
- 20. The lien of supplemental or escaped assessments of property taxes, if any, made pursuant to the provisions of Chapter 3.5 (commencing with Section 75) or Part 2, Chapter 3, Articles 3 and 4, respectively, of the Revenue and Taxation Code of the State of California as a result of the transfer of title to the vestee named in Schedule A or as a result of changes in ownership or new construction occurring prior to Date of Policy.

EXCEPTIONS (Continued)

21. The Land lies within the boundaries of a Mello Roos Community Facilities District ("CFD"), as follows:

CFD No: 90-1
For: School Facility Repair and Maintenance

This property, along with all other parcels in the CFD, is liable for an annual special tax. This special tax is included with and payable with the general property taxes of the City and County of San Francisco. The tax may not be prepaid.

Further information may be obtained by contacting:

Chief Financial Officer
San Francisco Unified School District
135 Van Ness Ave. – Room 300
San Francisco, CA 94102
Phone (415) 241-6542

22. Notice of Special Restrictions under the City Planning Code of the City and County of San Francisco upon the terms and conditions contained therein

Recording Date: February 3, 1987
Recording No.: D939499, Book E271, Page 1443, of Official Records

Reference is made to said document for full particulars.

23. Covenants, conditions, restrictions and easements but omitting any covenants or restrictions, if any, including but not limited to those based upon age, race, color, religion, sex, gender, gender identity, gender expression, sexual orientation, marital status, national origin, ancestry, familial status, source of income, disability, veteran or military status, genetic information, medical condition, citizenship, primary language, and immigration status, as set forth in applicable state or federal laws, except to the extent that said covenant or restriction is permitted by applicable law, as set forth in the document

Recording Date: June 29, 1987
Recording No.: E014385, Book E373, Page 617, of Official Records

Said covenants, conditions and restrictions provide that a violation thereof shall not defeat the lien of a first mortgage or first deed of trust made in good faith and for value.

Modification(s) of said covenants, conditions and restrictions

Recording Date: June 21, 1988
Recording No.: E192878, Book E620, Page 1, of Official Records

Liens and charges as set forth in the above mentioned declaration,

Payable to: Mission Coleridge Owners Association

EXCEPTIONS (Continued)

24. Notice of Special Restrictions under the City Planning Code of the City and County of San Francisco upon the terms and conditions contained therein

Recording Date: October 27, 1987
Recording No.: E079675, Book E457, Page 1097, of Official Records

Reference is made to said document for full particulars.

25. Matters contained in that certain document

Entitled: Declaration of Housing Development Grant Covenants
 Dated: March 10, 1988
 Executed by: Bernal Heights Community Foundation, a California nonprofit public benefit corporation
 Recording Date: March 11, 1988
Recording No.: E142897, Book E548, Page 1018, of Official Records

Reference is hereby made to said document for full particulars.

An agreement to modify the terms and provisions of the said document, as therein provided

Executed by: Bernal Heights Community Foundation, a California nonprofit public benefit corporation
 Recording Date: March 24, 1988
Recording No.: E148377, Reel E557, Image 1276, of Official Records

26. A deed of trust to secure an indebtedness in the amount shown below,

Amount: \$2,000,000.00
 Dated: September 26, 1989
 Trustor/Grantor: Bernal Senior Housing Partners, a California limited partnership
 Trustee: Lawyers Title Insurance Corporation
 Beneficiary: Metropolitan Life Foundation
 Recording Date: September 28, 1989
Recording No.: E440958, Reel E966, Image 837, of Official Records

Affects: Parcels One thru Five

27. An assignment of all moneys due, or to become due as rental or otherwise from said Land, to secure payment of an indebtedness, shown below and upon the terms and conditions therein

Amount: \$2,000,000.00
 Assigned to: Metropolitan Life Foundation
 Assigned By: Bernal Senior Housing Partners, a California limited partnership
 Recording Date: September 28, 1989
Recording No.: E440959, Reel E966, Image 875, of Official Records

Affects: Parcels One thru Five

EXCEPTIONS (Continued)

28. A financing statement as follows:

Debtor: Bernal Senior Housing Partners
 Secured Party: Metropolitan Life Foundation
 Recording Date: September 28, 1989
 Recording No: E440960, Reel E966, Image 887, of Official Records

Affects: Parcels One thru Five

29. An unrecorded lease with certain terms, covenants, conditions and provisions set forth therein as disclosed by the document

Entitled: Memorandum of Lease
 Lessor: Bernal Senior Housing Corporation
 Lessee: Bernal Senior Housing Partners
 Recording Date: September 28, 1989
 Recording No: E440962, Reel E966, Image 897, of Official Records

The present ownership of the leasehold created by said lease and other matters affecting the interest of the lessee are not shown herein.

Affects: Parcel Five

30. A deed of trust to secure an indebtedness in the amount shown below,

Amount: \$80,000.00
 Dated: September 8, 1989
 Trustor/Grantor: Bernal Senior Housing Partners, a California limited partnership
 Trustee: Lawyers Title Insurance Corporation
 Beneficiary: City and County of San Francisco
 Recording Date: September 28, 1989
 Recording No: E440964, Reel E966, Image 908, of Official Records

Affects: Parcels Three and Five

31. A deed of trust to secure an indebtedness in the amount shown below,

Amount: \$445,569.00
 Dated: September 28, 1989
 Trustor/Grantor: Bernal Senior Housing Partners, a California limited partnership
 Trustee: Lawyers Title Insurance Corporation
 Beneficiary: Redevelopment Agency of the City and County of San Francisco
 Recording Date: September 28, 1989
 Recording No: E440965, Reel E966, Image 915, of Official Records

Affects: Parcels Three and Five

**EXCEPTIONS
(Continued)**

32. A deed of trust to secure an indebtedness in the amount shown below,

Amount: \$360,279.00
Dated: September 28, 1989
Trustor/Grantor: Bernal Senior Housing Partners, a California limited partnership
Trustee: Lawyers Title Insurance Corporation
Beneficiary: City and County of San Francisco
Recording Date: September 28, 1989
Recording No: E440966, Reel E966, Image 919, of Official Records

Affects: Parcels Three and Five

33. A deed of trust to secure an indebtedness in the amount shown below,

Amount: \$166,000.00
Dated: September 28, 1989
Trustor/Grantor: Bernal Senior Housing Partners, a California limited partnership
Trustee: Lawyers Title Insurance Corporation
Beneficiary: City and County of San Francisco
Recording Date: September 28, 1989
Recording No: E440967, Reel E966, Image 926, of Official Records

Affects: Parcel Two

34. A deed of trust to secure an indebtedness in the amount shown below,

Amount: \$49,000.00
Dated: September 28, 1989
Trustor/Grantor: Bernal Senior Housing Partners, a California limited partnership
Trustee: Lawyers Title Insurance Corporation
Beneficiary: City and County of San Francisco
Recording Date: September 28, 1989
Recording No: E440968, Reel E966, Image 931, of Official Records

Affects: Parcel Two

35. An option to purchase said Land with certain terms, covenants, conditions and provisions as set forth therein.

Optionor: Bernal Senior Housing Partners
Optionee: Bernal Housing Corporation
Disclosed by: Purchase Option Agreement
Recording Date: September 28, 1989
Recording No: E440969, Reel 966, Image 936, of Official Records

Affects: Parcels One and Three

**EXCEPTIONS
(Continued)**

36. Matters contained in that certain document

Entitled: Memorandum of Easement
Dated: June 29, 2001
Executed by: Bernal Senior Housing Corp.
Recording Date: July 28, 2004
Recording No: 2004-H776722-00, Reel I689, Image 0944, of Official Records

Reference is hereby made to said document for full particulars.

37. Matters contained in that certain document

Entitled: Grant of Easement
Dated: December 9, 2014
Executed by: Bernal Senior Housing Corporation, a California Limited Liability Company
Recording Date: August 20, 2015
Recording No: 2015-K112907-00, of Official Records

Reference is hereby made to said document for full particulars.

38. The effect of any failure to comply with the terms, covenants, conditions and provisions of the lease described or referred to in Schedule A.

39. Any rights, interests or claims which are not shown by the public records but which could be ascertained by making inquiry of the lessors and their successors in interest, in the lease described or referred to in Schedule A.

40. Any defect in or invalidity of, or other matters relating to the leasehold estate referred to herein, which would be disclosed by an examination of the unrecorded lease.

41. This Company will require the following documents for review prior to the issuance of any title insurance predicated upon a conveyance or encumbrance by the corporation named below.

Name of corporation: Bernal Senior Housing Corporation, a California nonprofit benefit corporation

- a) A copy of the corporation By-laws and Articles of Incorporation.
- b) An original or certified copy of the resolution authorizing the subject transaction, together with a Certificate of Compliance pursuant to Section 5912 or 7912 Corporations Code.
- c) If the Articles and/or By-laws require approval by a "parent" organization, a copy of those By-laws and Articles of Incorporation is required.

The Company reserves the right to add additional items or make further requirements after review of the requested documentation.

**EXCEPTIONS
(Continued)**

42. The Company will require the following documents for review prior to the issuance of any title insurance predicated upon a conveyance or encumbrance from the limited partnership named below:

Name: Bernal Senior Housing Partners, a California limited partnership

- a) A complete copy of the limited partnership agreement and all amendments thereto.
- b) Satisfactory evidence that the partnership was validly formed and is in good standing.

The Company reserves the right to add additional items or make further requirements after review of the requested documentation.

THE FOLLOWING MATTERS AFFECT ALL TRACTS:

43. Any rights of the parties in possession of a portion of, or all of, said Land, which rights are not disclosed by the public records.

The Company will require, for review, a full and complete copy of any unrecorded agreement, contract, license and/or lease, together with all supplements, assignments and amendments thereto, before issuing any policy of title insurance without excepting this item from coverage.

The Company reserves the right to except additional items and/or make additional requirements after reviewing said documents.

44. Matters which may be disclosed by an inspection and/or by a correct ALTA/NSPS Land Title Survey of said Land that is satisfactory to the Company, and/or by inquiry of the parties in possession thereof.

45. The Company will require that an Owner's Affidavit be completed by the party(s) named below before the issuance of any policy of title insurance.

Party(s): The Vestee(s) named herein

The Company reserves the right to add additional items or make further requirements after review of the requested Affidavit.

46. The requirement that the complete and correct name(s) of the buyer(s) in this transaction be submitted to the Title Department at least 5 days prior to the close of Escrow.

47. This transaction requires high liability approval prior to close of escrow together with an inspection of the subject property.

Please advise title department with an estimated date that your transaction will close so we can schedule the necessary approvals and inspections.

48. Prior to the close of escrow and the issuance of an ALTA Coverage Policy, an inspection of the property will be required.

**EXCEPTIONS
(Continued)**

49. The transaction contemplated in connection with this Report is subject to the review and approval of the Company's Corporate Underwriting Department. The Company reserves the right to add additional items or make further requirements after such review.

END OF EXCEPTIONS

NOTES

1. Note: The Company is not aware of any matters which would cause it to decline to attach CLTA Endorsement Form 116 indicating that there is located on said Land a Commercial Property, known as 3333 Mission Street and 190 Coleridge Street, San Francisco, CA, as to Tract One; and a Multiple Family Dwelling, known as 190 Coleridge Street, San Francisco, CA, as to Tract Two, to an Extended Coverage Loan Policy.

2. Note: The name(s) of the proposed insured(s) furnished with this application for title insurance is/are:

No names were furnished with the application. Please provide the name(s) of the buyers as soon as possible.

3. Note: The only conveyance(s) affecting said Land, which recorded within 24 months of the date of this report, are as follows:

Grantor:	Big Lots Stores - PNS Stores, Inc., a California corporation, successor by conversion to PNS Stores, Inc., a California corporation
Grantee:	Elevate Housing Partners L.P., a California limited partnership
Recording Date:	January 30, 2024
Recording No:	<u>2024011147, of Official Records</u>

Affect: Tract One

4. Note: The charge for a policy of title insurance, when issued through this application for title insurance, will be based on the Short Term Rate.

5. Note: Property taxes for the fiscal year shown below are PAID. For proration purposes the amounts were:

<u>Tax Identification No.:</u>	<u>Lot 099, Block 5615</u>
Fiscal Year:	2024-2025
1st Installment:	\$18,238.76
2nd Installment:	\$18,238.76
Land:	\$1,811,461.00
Improvements:	\$1,235,080.00
Code Area:	1000
Bill No.:	20240405567

6. Note: Property taxes for the fiscal year shown below are PAID. For proration purposes the amounts were:

<u>Tax Identification No.:</u>	<u>Lot 100, Block 5615</u>
Fiscal Year:	2024-2025
1st Installment:	\$613.00
2nd Installment:	\$613.00
Land:	\$1,397,313.00
Improvements:	\$2,851,723.00
Personal Property:	\$36,241.00
Fixtures:	\$321,510.00
Code Area:	1000
Bill No.:	20240405568

NOTES (Continued)

7. Note: Property taxes for the fiscal year shown below are PAID. For proration purposes the amounts were:

Tax Identification No.:	<u>Lot 101, Block 5615</u>
Fiscal Year:	2024-2025
1st Installment:	NO TAXES DUE
2nd Installment:	NO TAXES DUE
Land:	\$206,708.00
Improvements:	\$143,750.00
Code Area:	1000
Bill No.:	20240405569

8. Requirement that a Transfer Tax Affidavit accompany every Deed (Grant Deed, Quitclaim Deed, Interspousal Deed) to be recorded in the City and County of San Francisco. This transfer Tax Affidavit is in addition to the change of ownership form (PCOR) and is required by the County Recorder. This item will not appear on any policy of title insurance.

9. Effective December 27, 2016, as mandated through local ordinance, the transfer tax rates are as follows:

More than \$100 but Less than or Equal to \$250,000 at \$2.50 for each \$500 or portion thereof (\$5.00 per thousand)

\$250,001 but Less than \$999,999 at \$3.40 for each \$500 or portion thereof (\$6.80 per thousand)

\$1,000,000 or More but Less than \$4,999,999 at \$3.75 for each \$500 or portion thereof (\$7.50 per thousand)

\$5,000,000 or More but Less than \$9,999,999 at \$11.25 for each \$500 or portion thereof (\$22.50 per thousand)

\$10,000,000.00 or More but Less than \$24,999,999 at \$27.50 for each \$500 or portion thereof (\$55.00 per thousand)

\$25,000,000.00 or More at \$30.00 for each \$500 or portion thereof (\$60.00 per thousand)

NOTE: These rates are for documents recorded on or after December 27, 2016, regardless of when the instrument was executed.

10. Notice: Please be aware that due to the conflict between federal and state laws concerning the cultivation, distribution, manufacture or sale of marijuana, the Company is not able to close or insure any transaction involving Land that is associated with these activities.
11. The application for title insurance was placed by reference to only a street address or tax identification number. The proposed Insured must confirm that the legal description in this report covers the parcel(s) of Land requested to be insured. If the legal description is incorrect, the proposed Insured must notify the Company and/or the settlement company in order to prevent errors and to be certain that the legal description for the intended parcel(s) of Land will appear on any documents to be recorded in connection with this transaction and on the policy of title insurance.

NOTES
(Continued)

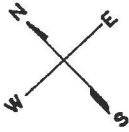
12. Note: If a county recorder, title insurance company, escrow company, real estate broker, real estate agent or association provides a copy of a declaration, governing document or deed to any person, California law requires that the document provided shall include a statement regarding any unlawful restrictions. Said statement is to be in at least 14-point bold face type and may be stamped on the first page of any document provided or included as a cover page attached to the requested document. Should a party to this transaction request a copy of any document reported herein that fits this category, the statement is to be included in the manner described.
13. Note: Any documents being executed in conjunction with this transaction must be signed in the presence of an authorized Company employee, an authorized employee of a Company agent, an authorized employee of the insured lender, or by using Bancserv or other Company-approved third-party service. If the above requirement cannot be met, please call the Company at the number provided in this report.
14. Pursuant to Government Code Section 27388.1, as amended and effective as of 1-1-2018, a Documentary Transfer Tax (DTT) Affidavit may be required to be completed and submitted with each document when DTT is being paid or when an exemption is being claimed from paying the tax. If a governmental agency is a party to the document, the form will not be required. DTT Affidavits may be available at a Tax Assessor-County Clerk-Recorder.
15. Note: The policy of title insurance will include an arbitration provision. The Company or the insured may demand arbitration. Arbitrable matters may include, but are not limited to, any controversy or claim between the Company and the insured arising out of or relating to this policy, any service of the Company in connection with its issuance or the breach of a policy provision or other obligation. Please ask your escrow or title officer for a sample copy of the policy to be issued if you wish to review the arbitration provisions and any other provisions pertaining to your Title Insurance coverage.
16. Due to the special requirements of SB 50 (California Public Resources Code Section 8560 et seq.), any transaction that includes the conveyance of title by an agency of the United States must be approved in advance by the Company's State Counsel, Regional Counsel, or one of their designees.

END OF NOTES

Jeff Martin/817

5615

PRECITA VALLEY LANDS
SHEET 1



SCALE: 1" = 60'

LOTS MERGED

LOTS INTO LOT
154 " 38 1948
130 omitted
56A into 56 52
30A " 37 56
lot144 into lots113to116 for 2007 roll
lot172 into lots109to111 for 2009 roll
lot113 into lots117&118 for 2012 roll

**3241-3243 MISSION STREET
A CONDOMINIUM**

LOT NO.	UNIT NO.	% COMMON AREA
90	1	14.237
91	2	13.650
92	3	7.537
93	4	7.192
94	5	13.882
95	6	14.490
96	7	7.537
97	8	8.018
98	STORE	13.457

**3239 MISSION ST.
A CONDOMINIUM**

LOT NO.	UNIT NO.	% COMMON AREA
82	1	11.478
83	2	13.534
84	3	12.075
85	4	10.468
86	5	13.534
87	6	12.075
88	7	13.418
89	8	13.418

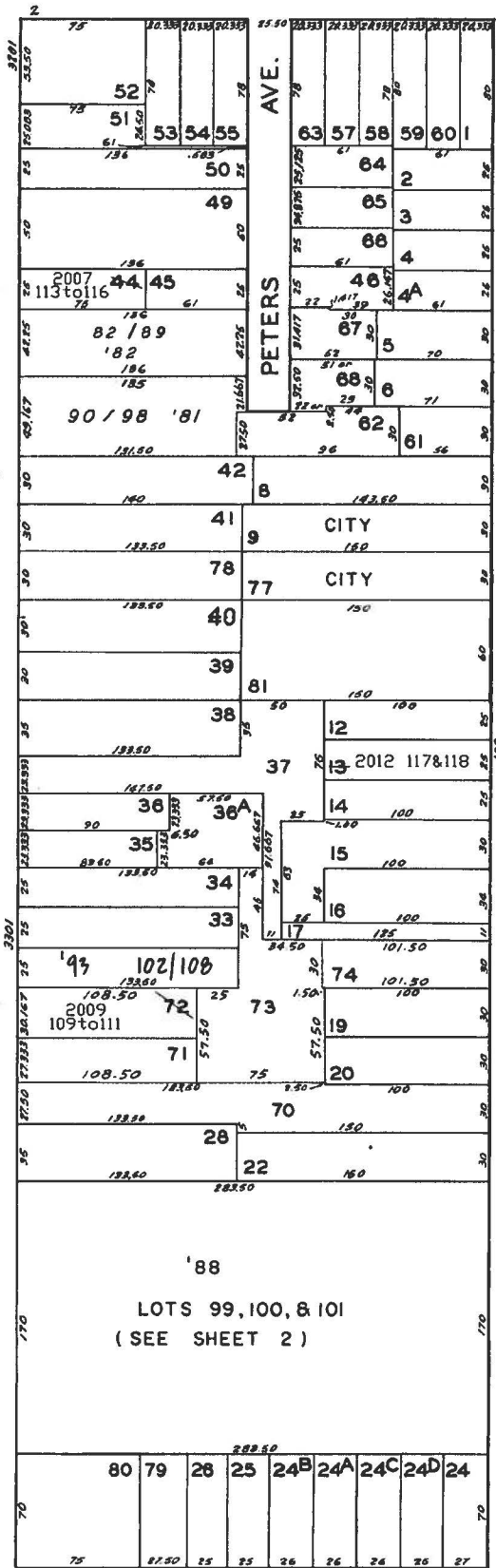
3301 MISSION ST.

A CONDOMINIUM

LOT	UNIT	% COMM. AREA
102	101	22.09
103	201	13.91
104	202	11.60
105	301	14.10
106	302	12.12
107	401	14.10
108	402	12.12

3229-3235 MISSION ST.
A CONDOMINIUM

LOT	UNIT	% COMM. AREA
113	3229	20
114	3231	25
115	3233	30
116	3235	25



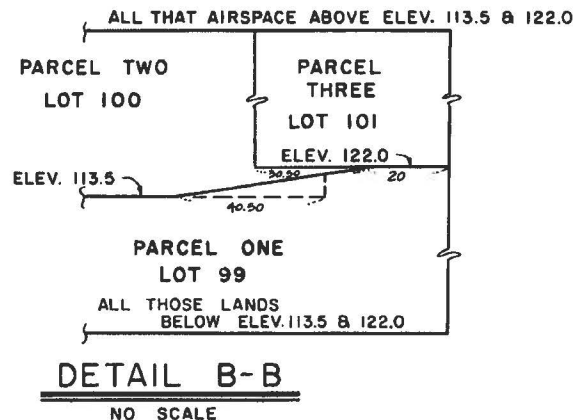
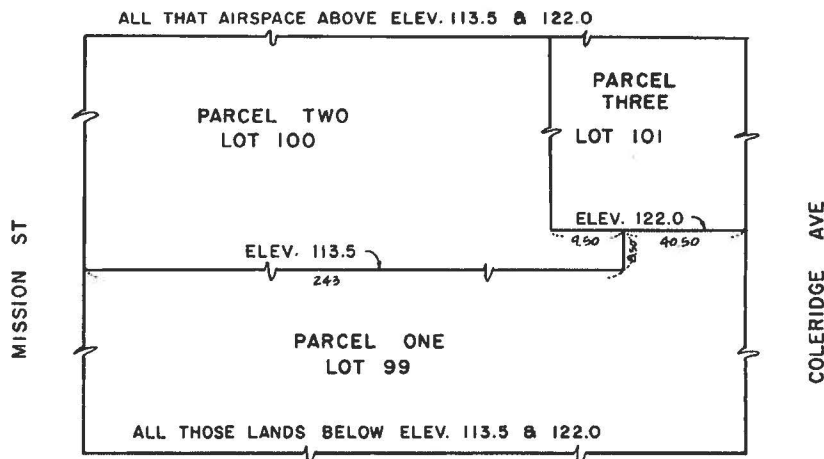
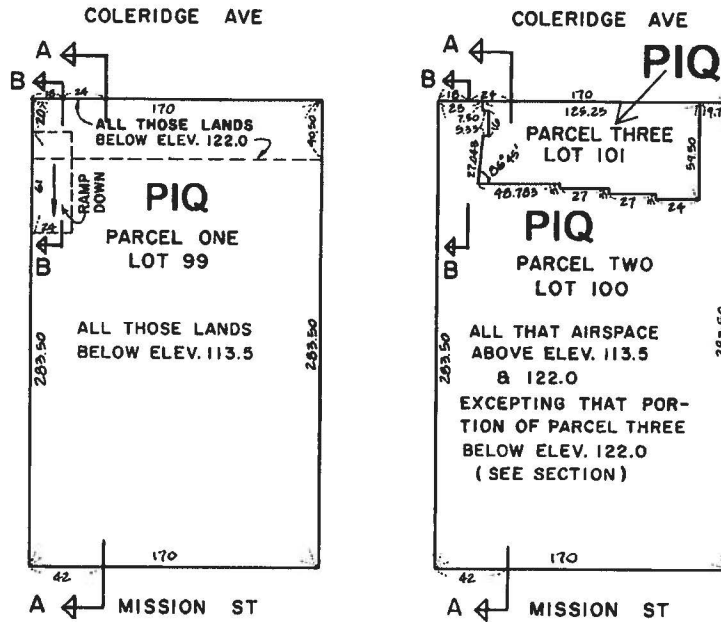
REVISED	'60
"	'62
"	'66
"	'78
"	'79
"	'80
"	'81
"	'82
"	'88
"	'93

Revised 2007
Revised 2009
Revised 2012

This map/plot is being furnished as an aid in locating the herein described Land in relation to adjoining streets, natural boundaries and other land, and is not a survey of the land depicted. Except to the extent a policy of title insurance is expressly modified by endorsement, if any, the Company does not insure dimensions, distances, location of easements, acreage or other matters shown thereon.

VIRGINIA

AVE.



This map/plat is being furnished as an aid in locating the herein described Land in relation to adjoining streets, natural boundaries and other land, and is not a survey of the land depicted. Except to the extent a policy of title insurance is expressly modified by endorsement, if any, the Company does not insure dimensions, distances, location of easements, acreage or other matters shown thereon.

This map/plat is being furnished as an aid in locating the herein described Land in relation to adjoining streets, natural boundaries and other land, and is not a survey of the land depicted. Except to the extent a policy of title insurance is expressly modified by endorsement, if any, the Company does not insure dimensions, distances, location of easements, acreage or other matters shown thereon.



TO: San Francisco Department of Public Works Bureau of Surveying and Mapping

FROM: San Francisco Public Utilities Commission In-City Project Review Committee

DATE: August 15, 2025

SUBJECT: SFPUC Comments regarding Revised Tentative Subdivision Map No. 12259 for 3333 Mission Street

Thank you for the opportunity to review and comment regarding the revised Tentative Subdivision Map No. 12259 for 3333 Mission Street (Assessor's Block/Lot 5615/099, 5615/100, and 5615/101) in San Francisco. The San Francisco Public Utilities Commission (SFPUC) offers the following comments:

SFPUC Water Enterprise Comments

Water Fixture Efficiency

The project sponsor must comply with the San Francisco Commercial or Residential Water Conservation Ordinance (San Francisco Building Code Chapter 13A and San Francisco Housing Code Chapters 12 and 12A). Additionally, please refer to Chapter 4 of the San Francisco Plumbing Code, which sets maximum flow rates for plumbing fixtures such as water closets, urinals, showerheads, and faucet aerators.

Landscape Irrigation

If the project will install or modify 500 square feet or more of landscape area, then the project sponsor must comply with San Francisco's Water Efficient Irrigation Ordinance, adopted as Chapter 63 of the San Francisco Administrative Code and the SFPUC Rules & Regulations Regarding Water Service to Customers. The SFPUC must review and approve the project's landscape and irrigation plans prior to installation.

Water Distribution – San Francisco Water Division (SFWD), formerly City Distribution Division (CDD)

1. After reviewing the provided document(s), SFWD takes no exceptions to the proposed plans. Please see Exhibit A and submit any questions to cddengineering@sfwater.org.
2. To ensure the welfare and safety of people and structures in the City and County of San Francisco, the project sponsor must design all applicable water facilities, including potable, fire-suppression, and non-potable water systems, to conform to the current SFPUC- San Francisco Water

Daniel L. Lurie
Mayor

Kate H. Stacy
President

Joshua Arce
Vice President

Avni Jamdar
Commissioner

Steve Leveroni
Commissioner

Meghan Thurlow
Commissioner

Dennis J. Herrera
General Manager



Division (SFWD) and San Francisco Fire Department (SFFD) standards and practices. These include, but are not limited to, the following:

- SFWD/CDD Standard Specifications for the Installation of Ductile Iron Water Mains 16-Inches and Smaller (January 2020 or Latest Revision);
- SFWD/CDD Standard Plans (January 2020 or Latest Revision);
- SFPUC Asset Protection Standards (May 2017 or Latest Revision);
- SFPUC Rules and Regulations Governing Water Service to Customers (September 2016);
- San Francisco Fire Code (2016);
- California Safe Drinking Water Act; and
- California Code of Regulations Titles 17 and 22

In addition to conforming to applicable SFPUC, SFWD, and SFFD standards, a hydraulic analysis will be required to confirm adequacy of water distribution system for both potable, non-potable, and fire use. If current distribution system pressures and flows are inadequate, the project sponsor will be responsible for any water distribution system improvements required to meet the proposed project's water demands. Additionally, a capacity fee will be assessed for the entire project. To initiate this process, please contact the SFPUC Customer Service Bureau at 415-551-2900.

To ensure adequate fire suppression reliability and capacity, the project sponsor may be required to include construction of one or more of the following: two sources of water delivery (connections to two separate potable water mains), low pressure fire hydrants, and Auxiliary Water Supply System (AWSS) high pressure distribution piping and hydrants.

SFPUC Wastewater Enterprise Comments

Sewer Systems

1. The project sponsor must provide both existing and proposed utility drawings and show all lateral connections on drawings. Each building must have its own sewer/storm lateral constructed per SFPUC Sewer Lateral Standard Details Dwg No. 5. Sewer vents must be located two feet (2') behind the proposed face of the curb.
2. The project sponsor must provide the final proposed building sanitary and storm flows in gallons per minute (GPM) at each point of connection. For storm flow calculations, see the 2015 San Francisco Subdivision Regulations.
3. Reuse of existing laterals will not be allowed. The project sponsor must replace existing laterals according to current SFPUC Sewer Lateral Installation Standards, regardless of as-found condition. Proposed lower laterals must have a minimum six-inch (6") diameter for single-family residential occupancy and a minimum eight-inch (8") diameter for multi-

family residential or commercial occupancies. Lower laterals must be at a minimum 2% slope.

4. Any modifications that affect the street flow, including but not limited to sidewalk bulb-outs, altered/moved catch basins, sidewalk widening, etc. will require cross-sectional analyses of each street affected by proposed changes. The project sponsor must determine the existing flow line and compare the pre-existing flow line to the proposed flow line at the affected streets, demonstrating that the existing street overland capacity is not impacted by the proposed development. Upstream conveyance flows are not necessary. If the existing cross-sectional area of flow cannot be contained within the new proposed right of way, the project sponsor must propose a solution. The analysis must be stamped and signed by the project sponsor's Engineer of Record and submitted to the SFPUC Wastewater Enterprise for review and approval.
5. If the project sponsor is widening a sidewalk, the project sponsor must replace any existing sewer laterals within the sidewalk widening limits, and relocate the sewer lateral's cleanout to comply with the requirement that sewer vents must be located two feet (2') behind the proposed face of the curb.
6. Per SFPUC Asset Protection Standards S2.a, "Sidewalk extensions, bulb-outs, curbs, and gutters shall not be built in the same location as existing manholes." Any existing manhole(s) located within the proposed sidewalk extension or bulb-out must be relocated for any proposed sidewalk changes to be approved. The face of any new curb must be horizontally offset from the outside edge of any manhole frame by a minimum of eighteen inches (18").
7. Sewer laterals require five feet (5') of clearance from outside of the sewer lateral to the centerline of the tree basin.
8. The project sponsor is responsible for designing and building at the correct elevation to avoid flooding from overland flow.
9. All materials must comply with the latest available City standards or better, subject to approval by the SFPUC.
10. Any proposed force mains are considered private. The SFPUC Wastewater Enterprise's responsibility starts at the connection point to SFPUC Wastewater Enterprise assets.
11. Any increase in wastewater demand must be submitted to the SFPUC for review and approval, including but not limited to, expansion of property, change in usage, addition of units, etc. The capacity of the

sewer system must be analyzed to ensure that it can accommodate the flows. The project sponsor has the option of providing the analysis, or having the SFPUC provide the analysis. If the project sponsor does the analysis, the SFPUC Wastewater Enterprise will review and approve. If the SFPUC does the analysis, the project sponsor will reimburse the SFPUC for personnel time. Note if capacity is limited, additional mitigation will be required from the project.

12. Construction activities such as pile driving, compaction, pipe jacking, and large excavations can damage SFPUC Wastewater Enterprise assets. If these activities take place, monitoring for vibration and settlement of SFPUC Wastewater Enterprise assets will be required. The project sponsor must submit a monitoring plan to the SFPUC for review and approval.
13. (For large excavation) Foundation excavation within the proposed property will likely impact utilities. The SFPUC Wastewater Enterprise must review and approve a work plan prior to the commencement of excavation work, including but not limited to, excavation of basements and underground utilities. The project sponsor will need to perform pre- and post-CCTV inspection of SFPUC Wastewater Enterprise assets prior to the commencement of any excavation. CCTV inspection performed by the project sponsor must comply with SFPUC standards. Resultant damage must be remedied by the project sponsor.
14. Special foundations such as tiebacks, pressure grout/soil stabilization, etc., that encroach into public rights of way must include pre- and post-CCTV inspection of SFPUC Wastewater Enterprise assets to ensure no impact from the project.
15. Pre- and post-construction videos of SFPUC Wastewater Enterprise assets will be required if construction activities, such as the examples above, are performed. The videos must be submitted in Pipeline Assessment Certification Program (PACP) format and reviewed by the SFPUC Wastewater Enterprise.
16. Dewatering discharge to the sewer system requires review and approval by the SFPUC Wastewater Enterprise.
17. The project sponsor must provide a detailed permanent dewatering plan, including but not limited to, water quality, estimated flow, etc., for any underground basements.
18. The SFPUC Wastewater Enterprise must be notified at sewerinspections@sfgwater.org prior to the commencement of any construction activities.

19. The project sponsor must reimburse the City for all construction management fees and project oversight during construction.
20. Any newly installed sewers must be air tested and televised according to SFPUC standards. The contractor must coordinate with SFPUC staff for field witness of CCTV inspection and testing. SFPUC standards can be obtained prior to construction.
21. New manholes will require vacuum testing, and new sewers will require either air testing (to applicable ASTM standards) or a Focused Electron Leak Locator (FELL).
22. The project sponsor must provide manhole details, including a requirement for contractor shop drawings.
23. The project sponsor must provide a monitoring plan for the potential settlement of surrounding utilities and buildings.

Stormwater Management

24. The project sponsor must submit a Stormwater Control Plan to document compliance with the Stormwater Management Ordinance requirements, if the project creates or replaces more than 5,000 square feet of impervious surface area. For more information, see <https://www.sfpuc.gov/smr>.

SFPUC Power Enterprise Comments

Hetch Hetchy Power

San Francisco Administrative Code Section 99 identifies certain types of development projects that present good opportunities for City electric service from the SFPUC. The SFPUC has been providing clean, reliable Hetch Hetchy Power for almost 100 years and is San Francisco's local publicly owned electric utility. The SFPUC provides its customers in new developments with 100% GHG-free electricity at stable, affordable rates. The SFPUC can assess the feasibility of providing clean energy to this project and whether such service would benefit the project and the City's existing electric customers. For more information, please contact HHPower@sfwater.org.

Streetlights

If the project sponsor is performing work on any sidewalks, the project sponsor may need to perform streetlight work. Streetlight work will be reviewed and permitted through the Public Works Street Improvement permit process. For more information about streetlight requirements, standard streetlight design and installation, photometric requirements, separation requirements, Standard plans, and SFPUC's Streetlight Catalog of approved streetlight fixtures and poles, visit <https://sfpuc.gov/streetlights>.

SFPUC Real Estate Services Comments

At this time, the SFPUC Real Estate Services Division does not identify any conflicts with the proposal as it relates to the SFPUC's property rights. However, the SFPUC is not waiving any rights or interests in the subject property that may exist by law.

The SFPUC will not accept utilities outside of the public right-of-way.

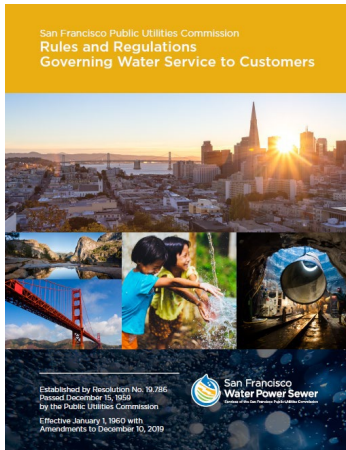
Exhibit A



SFPUC Asset Protection Standards

For the protection of existing SFPUC Assets in existing SFPUC Rights-of-Way or Easements

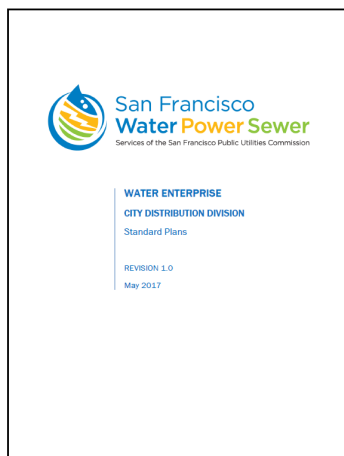
<https://sfpuc.org/construction-contracts/design-guidelines-standards/asset-protection-standards>



SFPUC Rules and Regulations Governing Water Service to Customers

Rules and regulations governing the installation and maintenance of potable water service.

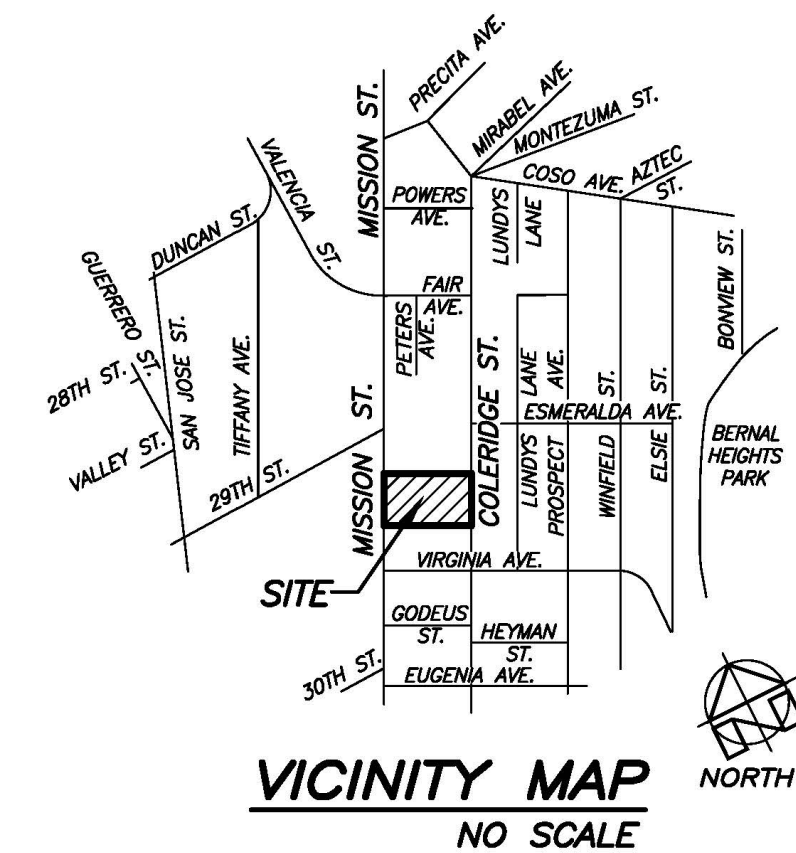
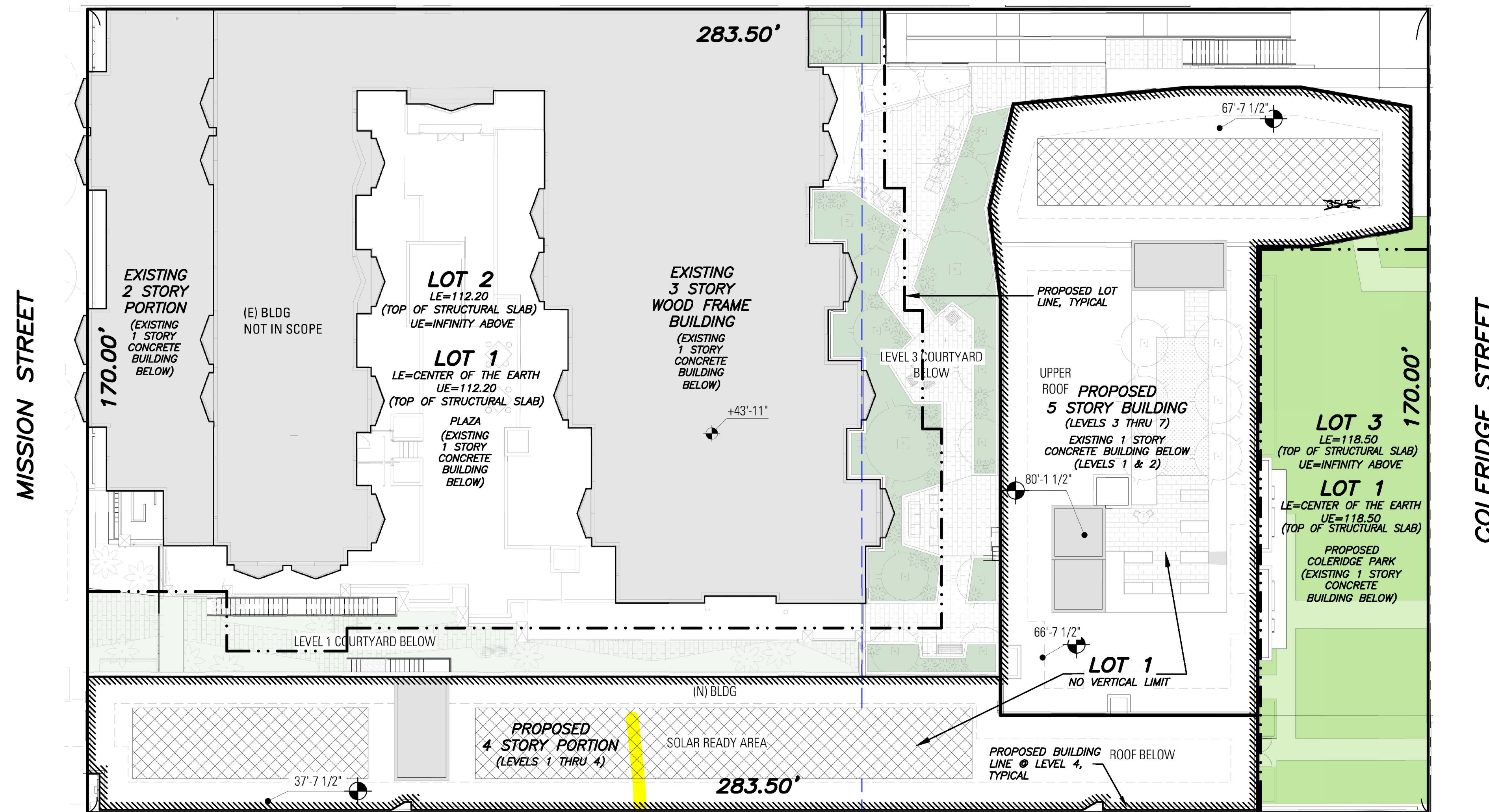
https://sfpuc.org/sites/default/files/accounts-and-services/RulesRegs-waterservice_11FEB2020.pdf



San Francisco Water Division Standard Specifications and Plans

For the installation of new potable water mains and water services

<https://sfpuc.org/construction-contracts/design-guidelines-standards/water-main-installation>



PROJECT DATA

STREET ADDRESS: 3333 MISSION STREET AND 190 COLERIDGE STREET

ASSESSOR'S PARCEL NUMBERS: APN 5615-099 THRU 101

PROJECT AREA: 48,195 SQ.FT.

EXISTING LAND USE: APN 5615-099: EXISTING 1 STORY BUILDING (COMMERCIAL SPACE) WITH 1 STORY PARKING GARAGE

APN 5615-100: EXISTING 3 STORY BUILDING (SENIOR RESIDENTIAL HOUSING)

APN 5615-101: EXISTING PARK

PROPOSED LAND USE: LOT 1: PROPOSED 5 & 4 STORY BUILDING (SENIOR RESIDENTIAL HOUSING), PROPOSED REMODELED 1 STORY BUILDING (COMMERCIAL SPACE AND PROPOSED 5 SENIOR RESIDENTIAL HOUSING UNITS W/MEZZANINES) AND REMODELED 1 STORY PARKING GARAGE

LOT 2: EXISTING 3 STORY BUILDING (SENIOR RESIDENTIAL HOUSING)

LOT 3: PROPOSED REMODELED PARK

LEGEND

LE LOWER ELEVATION

UE UPPER ELEVATION

PERIMETER PROPERTY LINE

PROPOSED LOT LINE

OWNER/DEVELOPER

ELEVATE HOUSING PARTNERS, L.P., A CALIFORNIA LIMITED PARTNERSHIP AND BERNAL SENIOR HOUSING PARTNERS, A CALIFORNIA LIMITED PARTNERSHIP

BENCHMARK

"+" CUT WEST END LOWER TERRAZZO STEP 6 FOOT WEST OF THE NORTHWEST CORNER OF VIRGINIA AVENUE AND COLERIDGE STREET. ELEVATION = 119.943 FEET "OLD" SAN FRANCISCO CITY DATUM.

GENERAL NOTES

1. DETAILS NEAR PROPERTY LINES MAY NOT BE TO SCALE.

2. ALL PROPERTY LINE ANGLES ARE 90 DEGREES UNLESS NOTED OTHERWISE.

3. DIMENSIONS ARE IN FEET AND DECIMALS THEREOF.

SURVEYOR'S STATEMENT

THIS MAP WAS PREPARED BY ME OR UNDER MY DIRECTION AND IS BASED UPON A FIELD SURVEY.

BY: *Ben B. Ron*

BENJAMIN B. RON
PLS NO. 5015
DATE: JULY 10, 2025



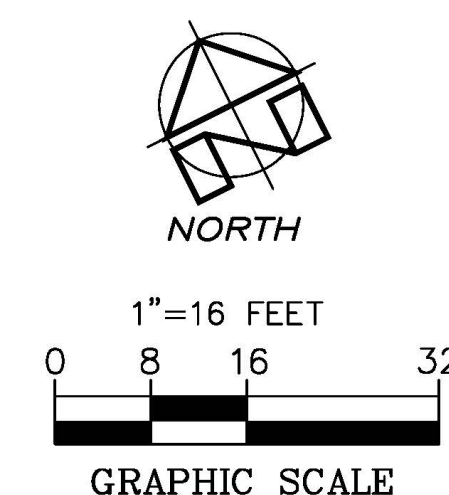
SITE PLAN W/PROPOSED LOTS

SCALE: 1"=16'

(SEE SHEETS 2 AND 3 FOR NEW CONSTRUCTION LEVELS 1 THRU 7)

(SEE SHEET 4 FOR DIMENSIONS OF PROPOSED LOTS)

SHEET INDEX	
SHEET NO.	SHEET TITLE
1	COVER SHEET
2	PROPOSED PARCELIZATION 1 OF 3
3	PROPOSED PARCELIZATION 2 OF 3
4	PROPOSED PARCELIZATION 3 OF 3
5	EXISTING SITE CONDITIONS 1 OF 2
6	EXISTING SITE CONDITIONS 2 OF 2
7	CODE DIAGRAMS
8	CODE DIAGRAMS
9	CODE DIAGRAMS
10	CONSTRUCTION PHASING & EGRESS



**TENTATIVE
FINAL MAP 12259**

A THREE LOT VERTICAL SUBDIVISION
A CONDOMINIUM PROJECT WITHIN LOT 1
FOR UP TO 10 COMMERCIAL UNITS AND 5 RESIDENTIAL UNITS
BEING A MERGER AND RE-SUBDIVISION OF LOTS 99-101 OF THAT
CERTAIN PARCEL MAP RECORDED JUNE 29, 1987 IN BOOK 35 OF
PARCEL MAPS AT PAGES 100 AND 101, OFFICIAL RECORDS.

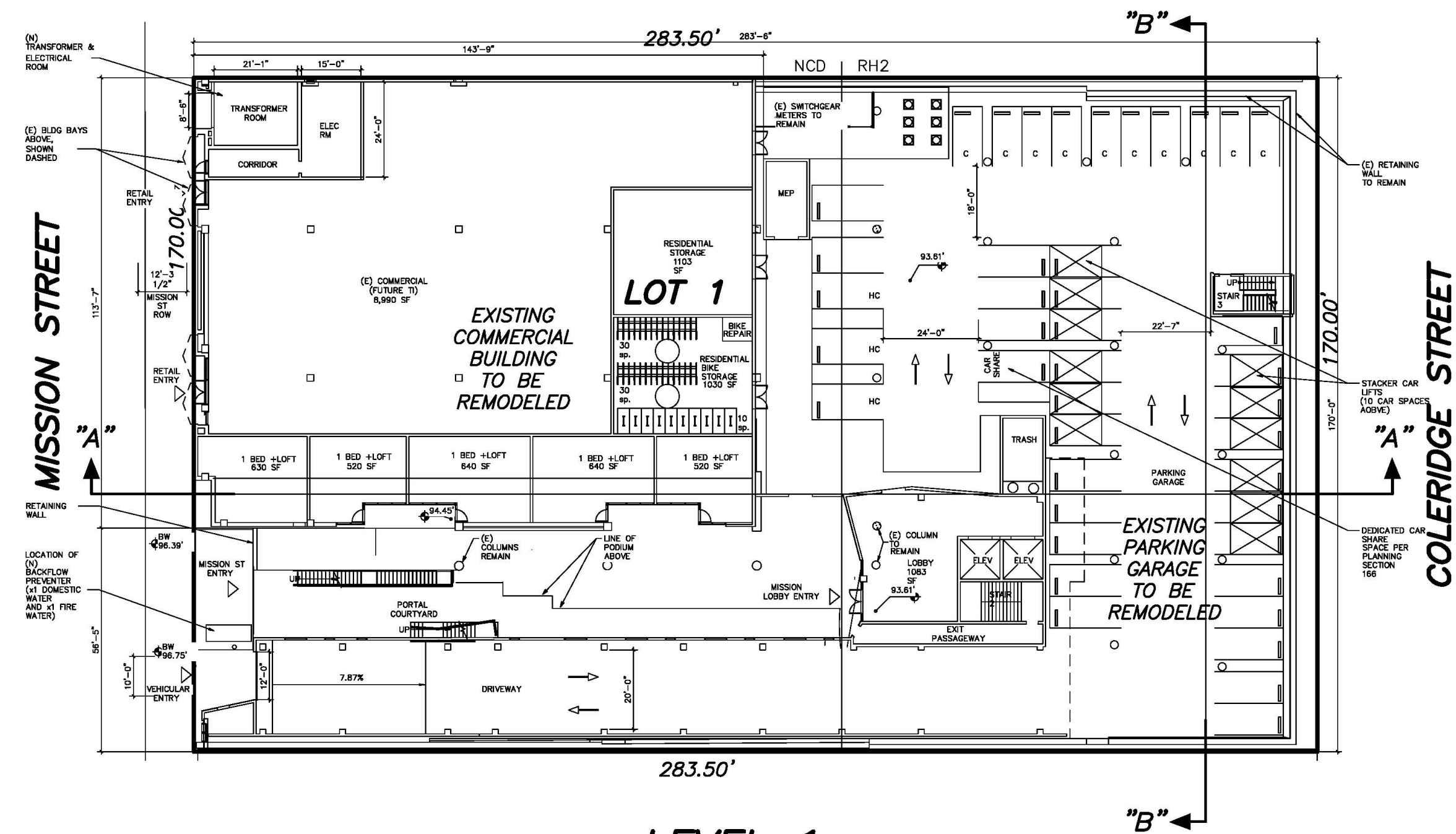
BEING A PORTION OF 100 PRECITA VALLEY LANDS

CITY AND COUNTY OF SAN FRANCISCO, STATE OF CALIFORNIA

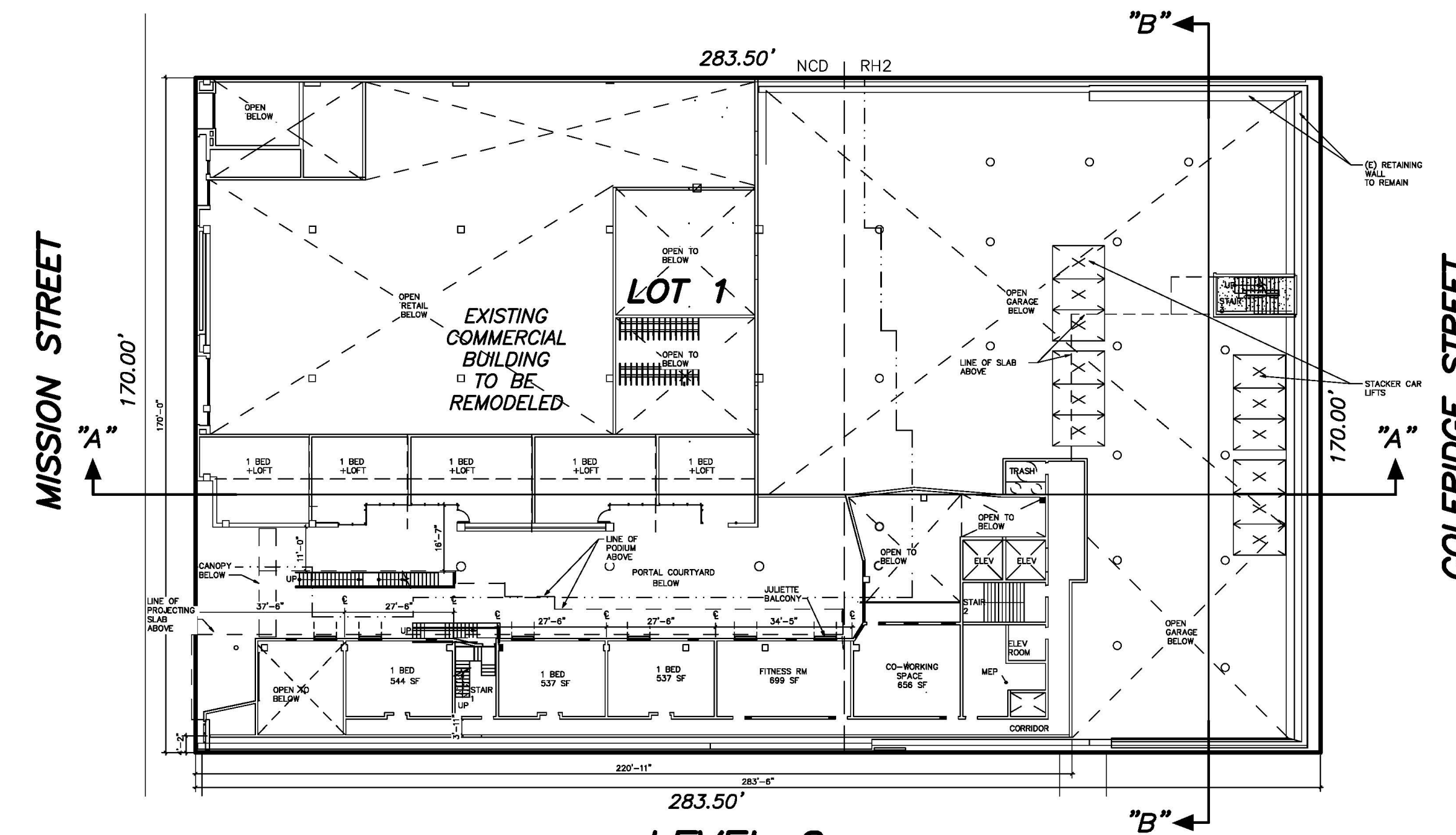
MARTIN M. RON ASSOCIATES, INC.
Land Surveyors
859 Harrison Street, Suite 200
San Francisco, California

JULY 2025 SCALE: 1"=16' SHEET 1 OF 10

APN 5615-099 THRU 101 3333 MISSION STREET
190 COLERIDGE STREET

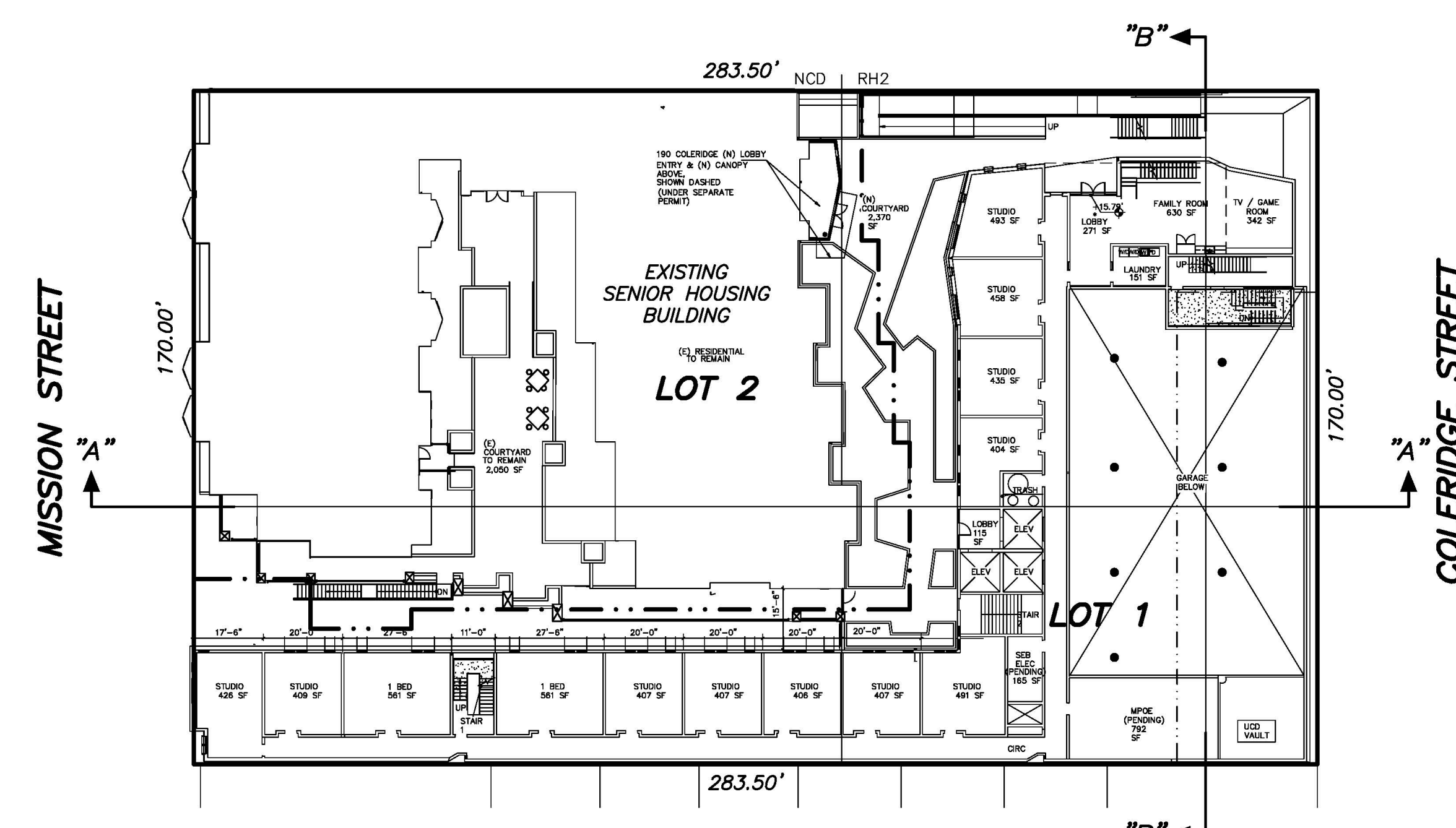


LEVEL 1
(MISSION STREET LEVEL)
LOWER ELEVATION = CENTER OF THE EARTH (97.82 & BELOW)
UPPER ELEVATION = 103.61

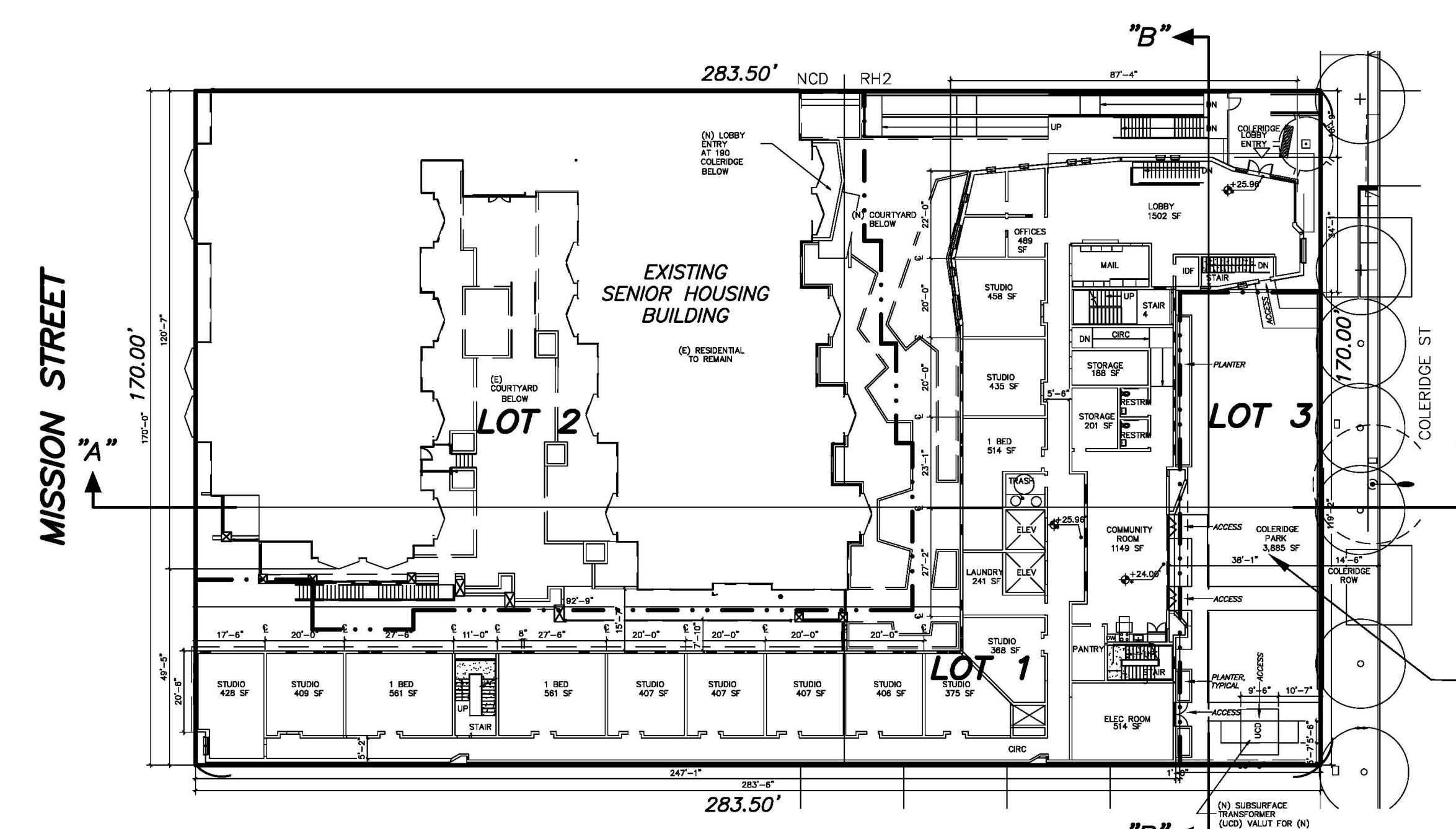


LEVEL 2
LOWER ELEVATION = 103.61
UPPER ELEVATION = 113.61

LEGEND
— PERIMETER PROPERTY LINE
--- PROPOSED LOT LINE



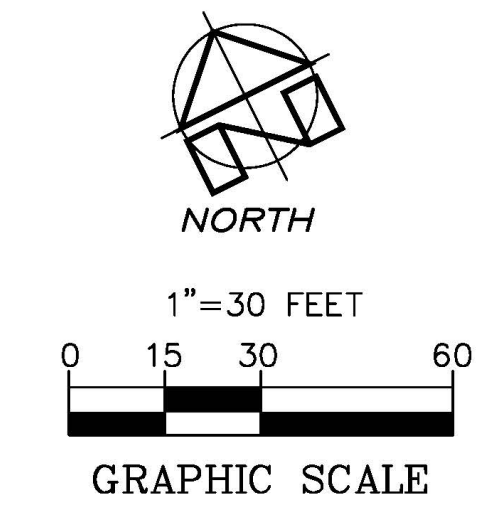
LEVEL 3
LOWER ELEVATION = 113.61
UPPER ELEVATION = 123.78



LEVEL 4
(COLERIDGE STREET LEVEL)
LOWER ELEVATION = 123.78
UPPER ELEVATION = 133.94

- NOTES:**
1. ACCESS EASEMENTS WILL BE NEEDED TO THE UCD VAULT, ADJACENT ELECTRICAL ROOM, THE COMMUNITY ROOM AND THE EGRESS STAIR.
 2. NO BUILD EASEMENT WILL BE NEEDED FOR WINDOWS AND DOORS ON THE PROPOSED BUILDING LOCATED ON LOT 1.
 3. BUILDING DRAINAGE EASEMENT WILL BE NEEDED AT THE BIORETENTION PLANTERS ALONG WEST SIDE OF PARK.

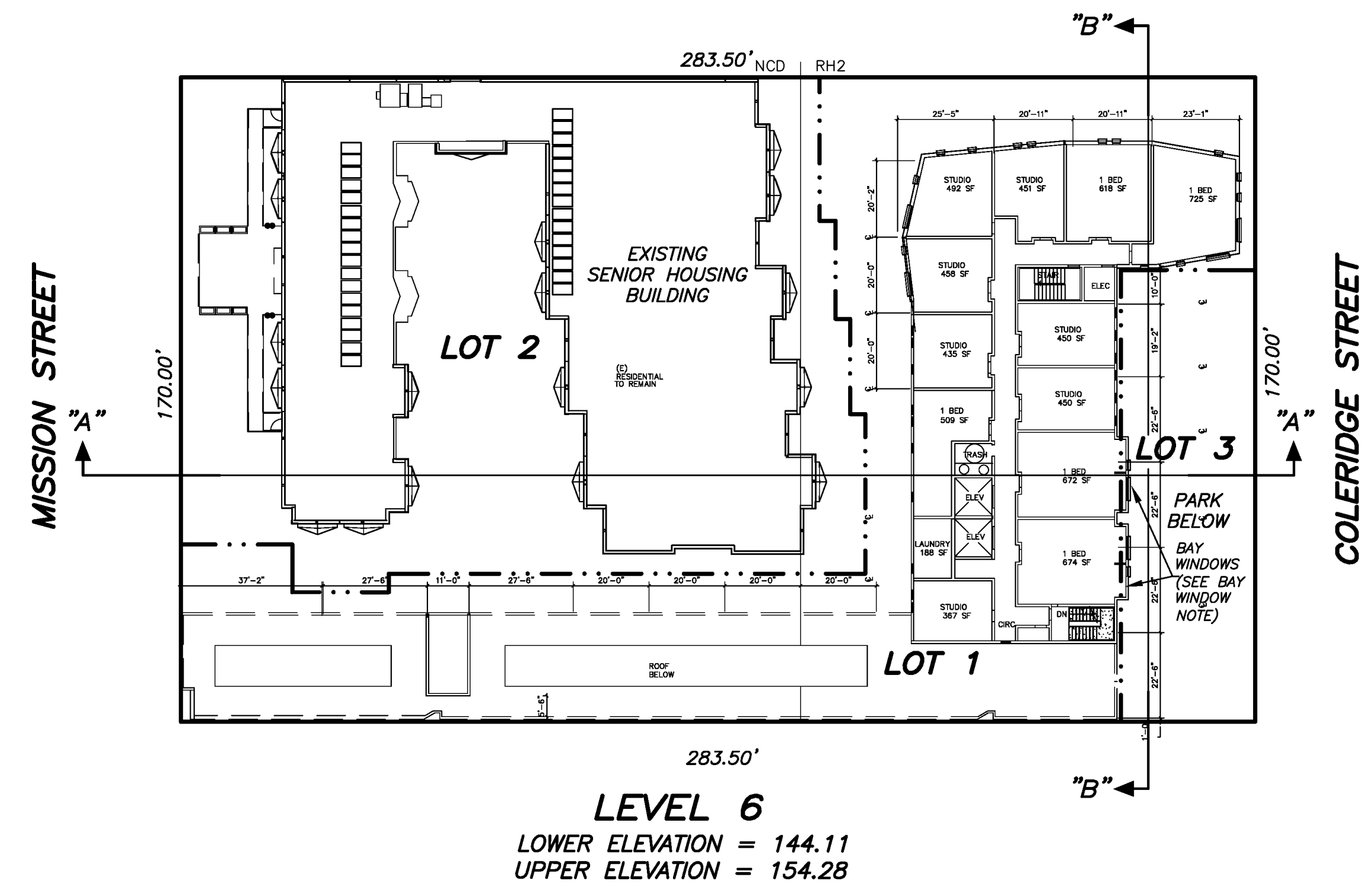
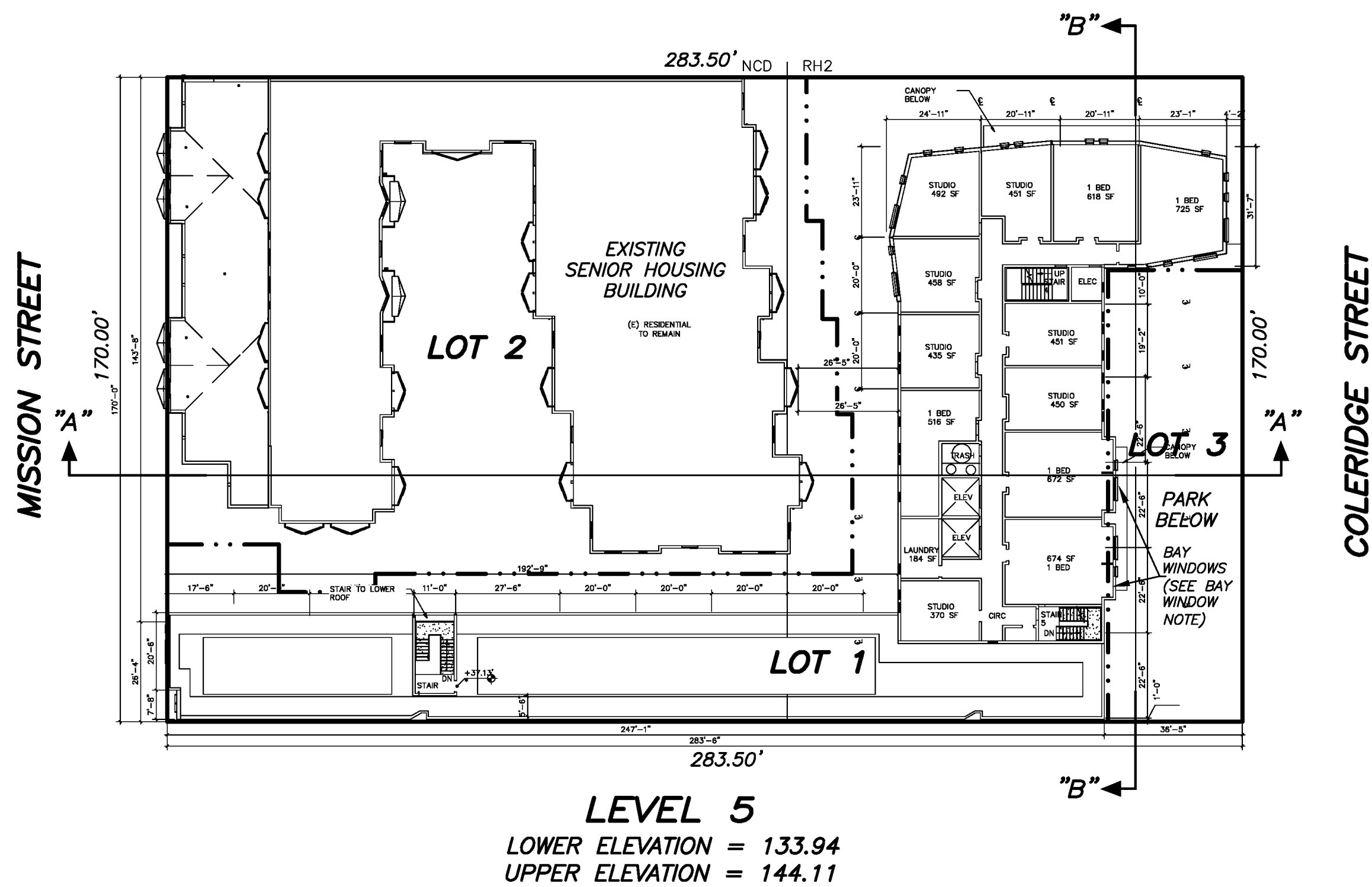
PROPOSED PARCELIZATION
1 OF 3



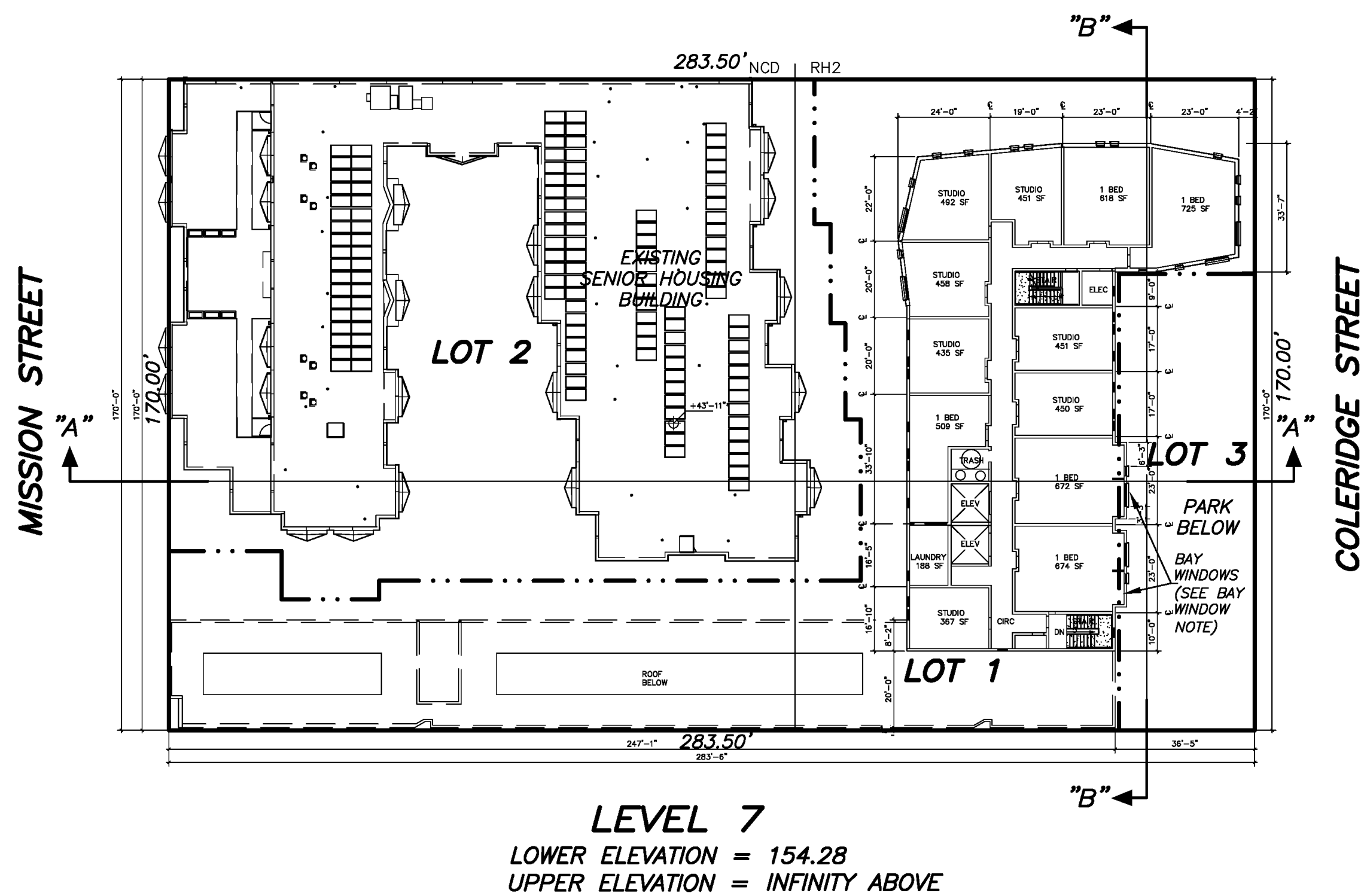
TENTATIVE
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PARCEL MAPS AT PAGES 100 AND 101, OFFICIAL RECORDS.
BEING A PORTION OF 100 PRECITA VALLEY LANDS
CITY AND COUNTY OF SAN FRANCISCO, STATE OF CALIFORNIA
MARTIN M. RON ASSOCIATES, INC.
Land Surveyors
859 Harrison Street, Suite 200
San Francisco California

JULY 2025 SCALE: 1"=30' SHEET 2 OF 10
APN 5615-099 THRU 101 3333 MISSION STREET
190 COLERIDGE STREET

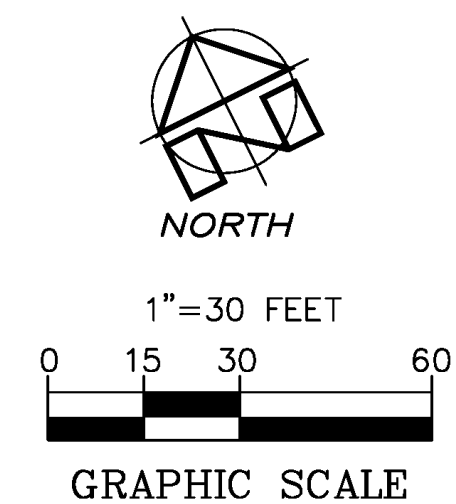


LEGEND
 — PERIMETER PROPERTY LINE
 - - - PROPOSED LOT LINE



BAY WINDOW NOTE:
 BAY WINDOWS ON LEVELS 5, 6 & 7 ENCR OACH INTO LOT 3 BY 2.0 FEET.
 AN ENCR OACHMENT EASEMENT WILL BE RECORDED FOR SAID BAY WINDOWS.

PROPOSED PARCELIZATION 2 OF 3



TENTATIVE FINAL MAP 12259

A THREE LOT VERTICAL SUBDIVISION
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BEING A PORTION OF 100 PRECITA VALLEY LANDS

CITY AND COUNTY OF SAN FRANCISCO, STATE OF CALIFORNIA

MARTIN M. RON ASSOCIATES, INC.

Land Surveyors

859 Harrison Street, Suite 200

San Francisco California

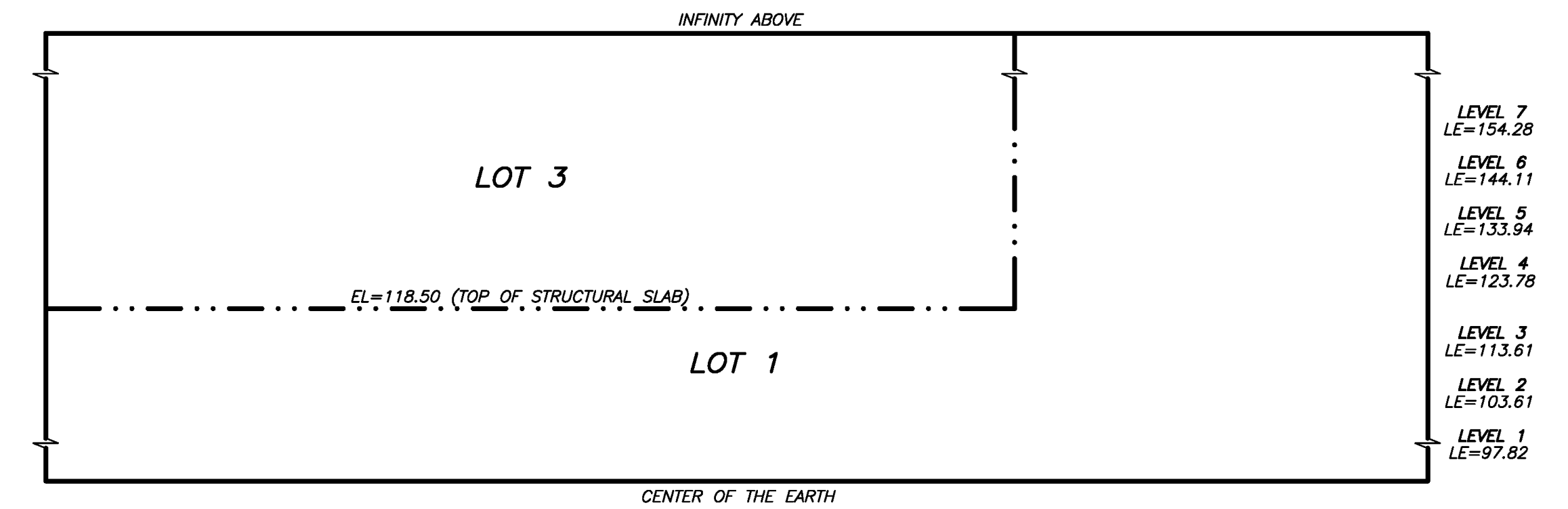
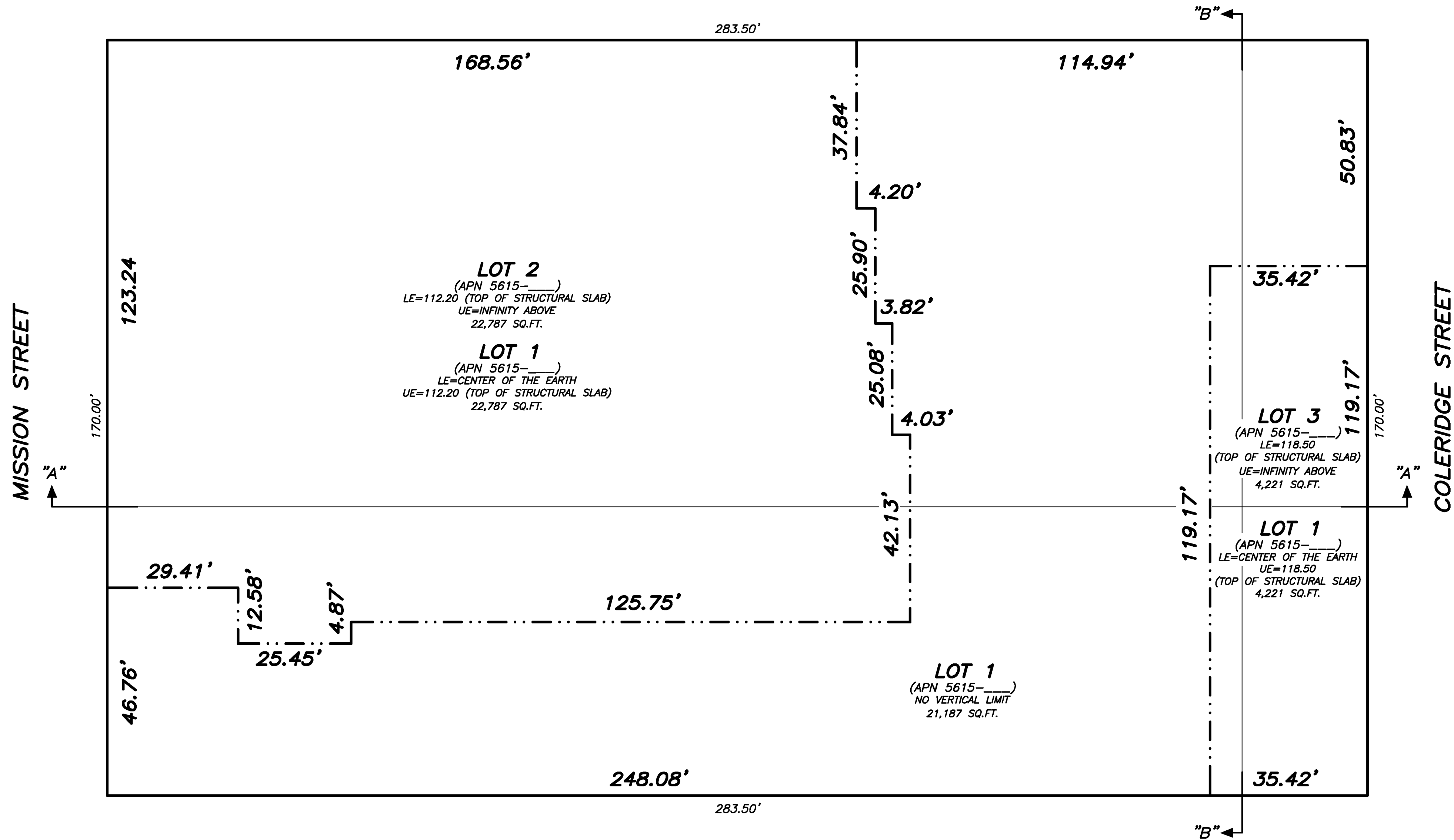
JULY 2025

SCALE: 1"=30'

SHEET 3 OF 10

APN 5615-099 THRU 101

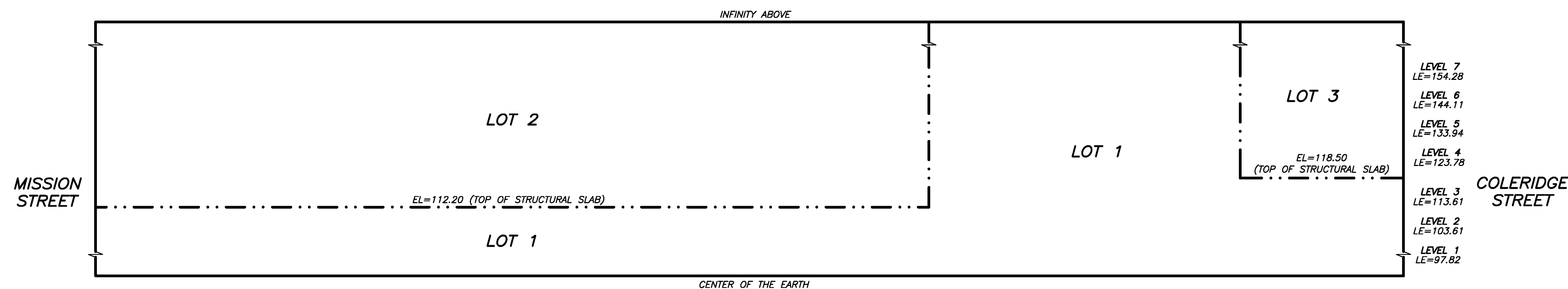
3333 MISSION STREET
190 COLERIDGE STREET



LEGEND

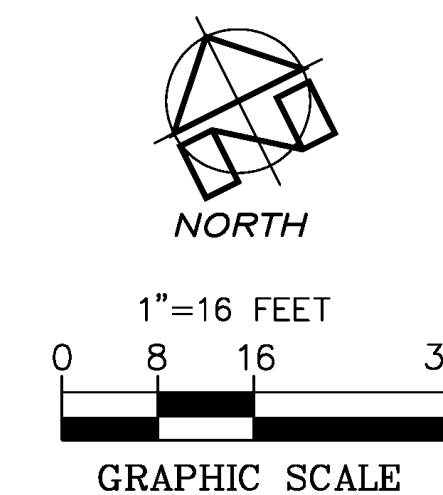
APN	ASSESSOR'S PARCEL NUMBER
EL	ELEVATION
LE	LOWER ELEVATION
UE	UPPER ELEVATION
---	PERIMETER PROPERTY LINE
---	PROPOSED LOT LINE

AREA, SQUARE FOOTAGE		
LOT	APN	AREA
LOT 1	APN 5615-___	48,195 SQ.FT.
LOT 2	APN 5615-___	22,787 SQ.FT.
LOT 3	APN 5615-___	4,221 SQ.FT.
TOTAL		75,203 SQ.FT.



SECTION "A"-"A"

PROPOSED PARCELIZATION
3 OF 3



TENTATIVE
FINAL MAP 12259

A THREE LOT VERTICAL SUBDIVISION
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Land Surveyors

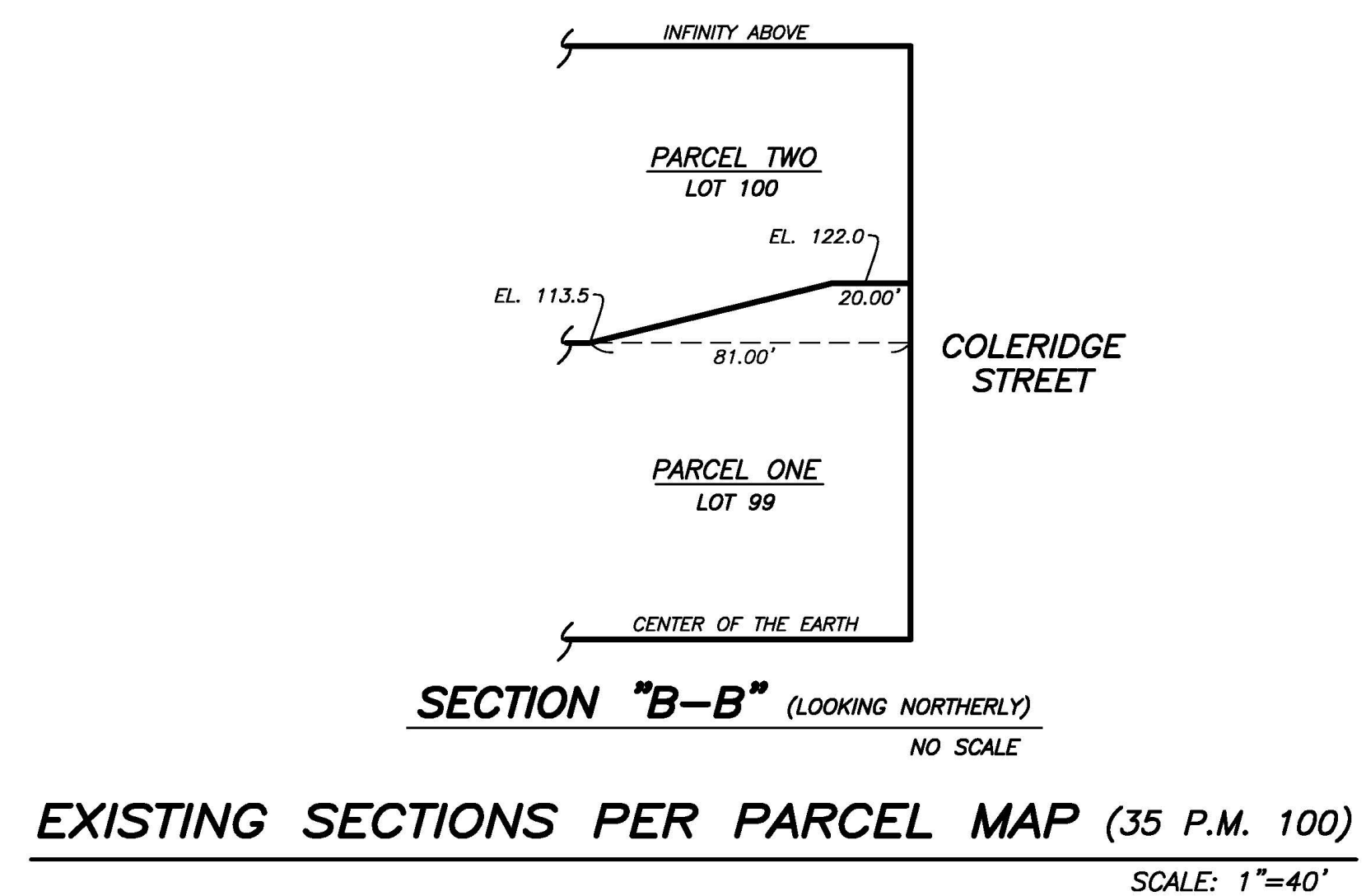
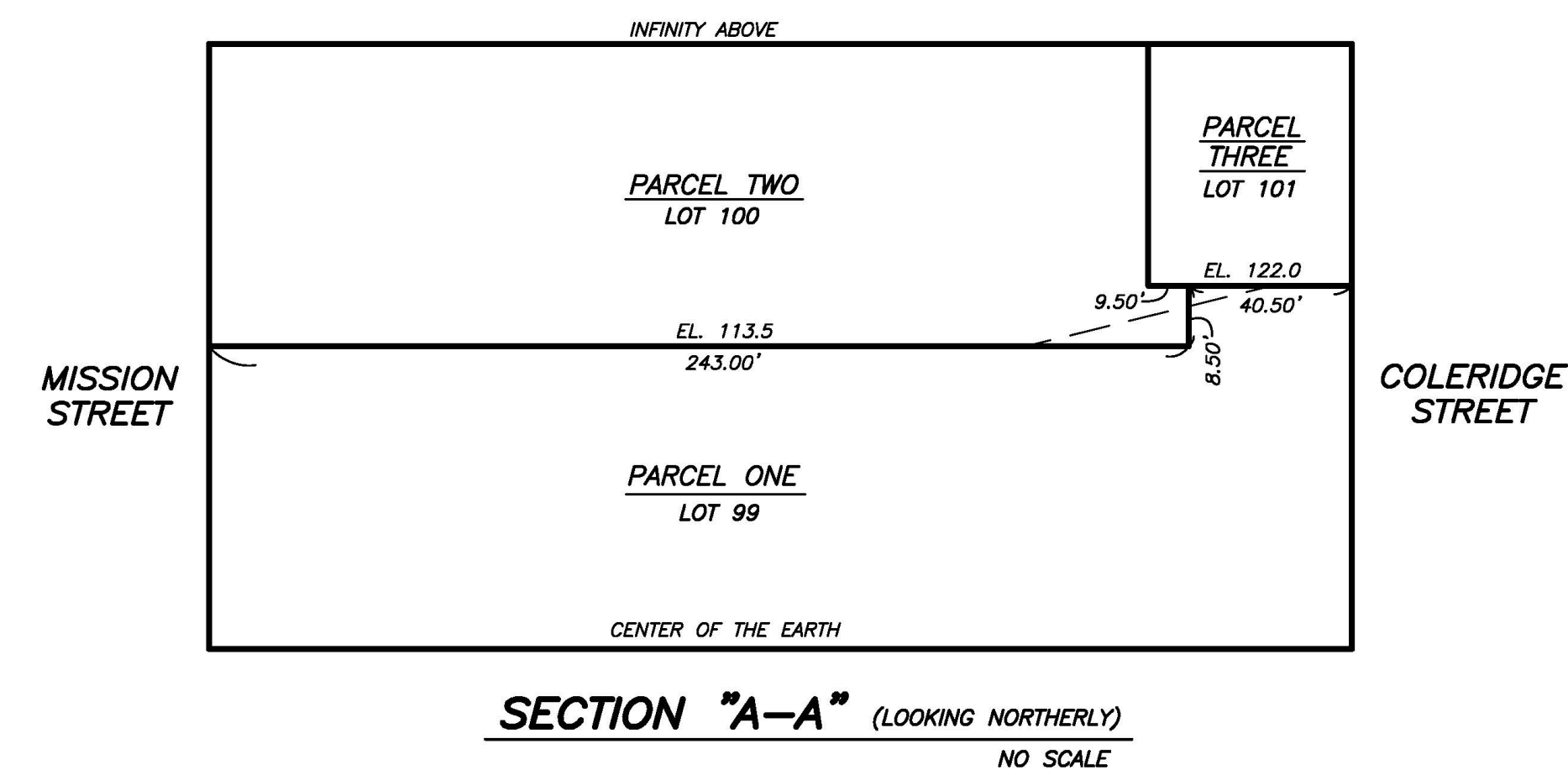
859 Harrison Street, Suite 200
San Francisco, California

JULY 2025 SCALE: 1"=16' SHEET 4 OF 10

APN 5615-099 THRU 101

3333 MISSION STREET
190 COLERIDGE STREET

T-1363/DWG/T-1419_TFM_REV1.dwg



TENTATIVE
FINAL MAP 12259

A THREE LOT VERTICAL SUBDIVISION
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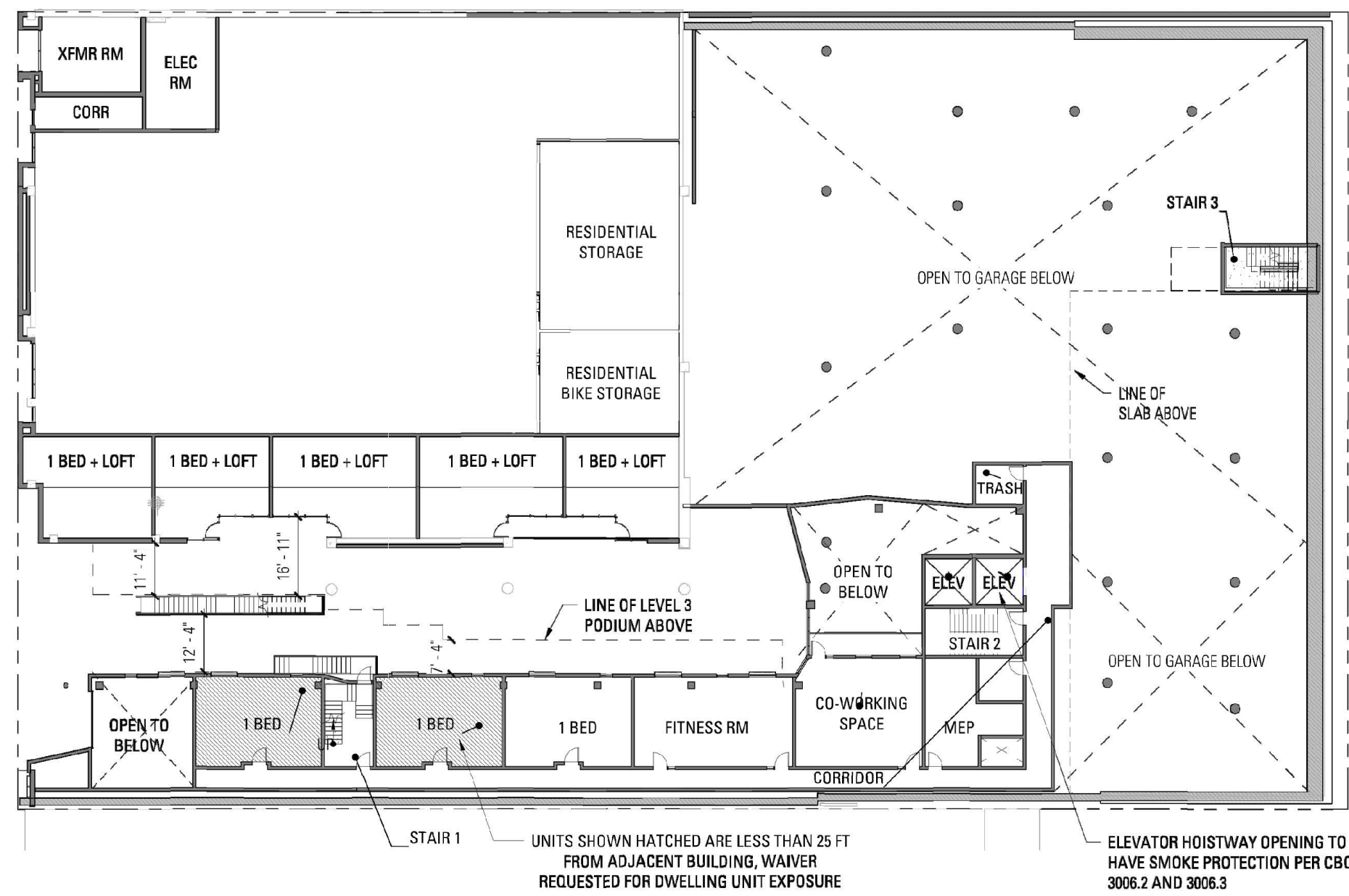
BEING A PORTION OF 100 PRECITA VALLEY LANDS
CITY AND COUNTY OF SAN FRANCISCO, STATE OF CALIFORNIA

MARTIN M. RON ASSOCIATES, INC.
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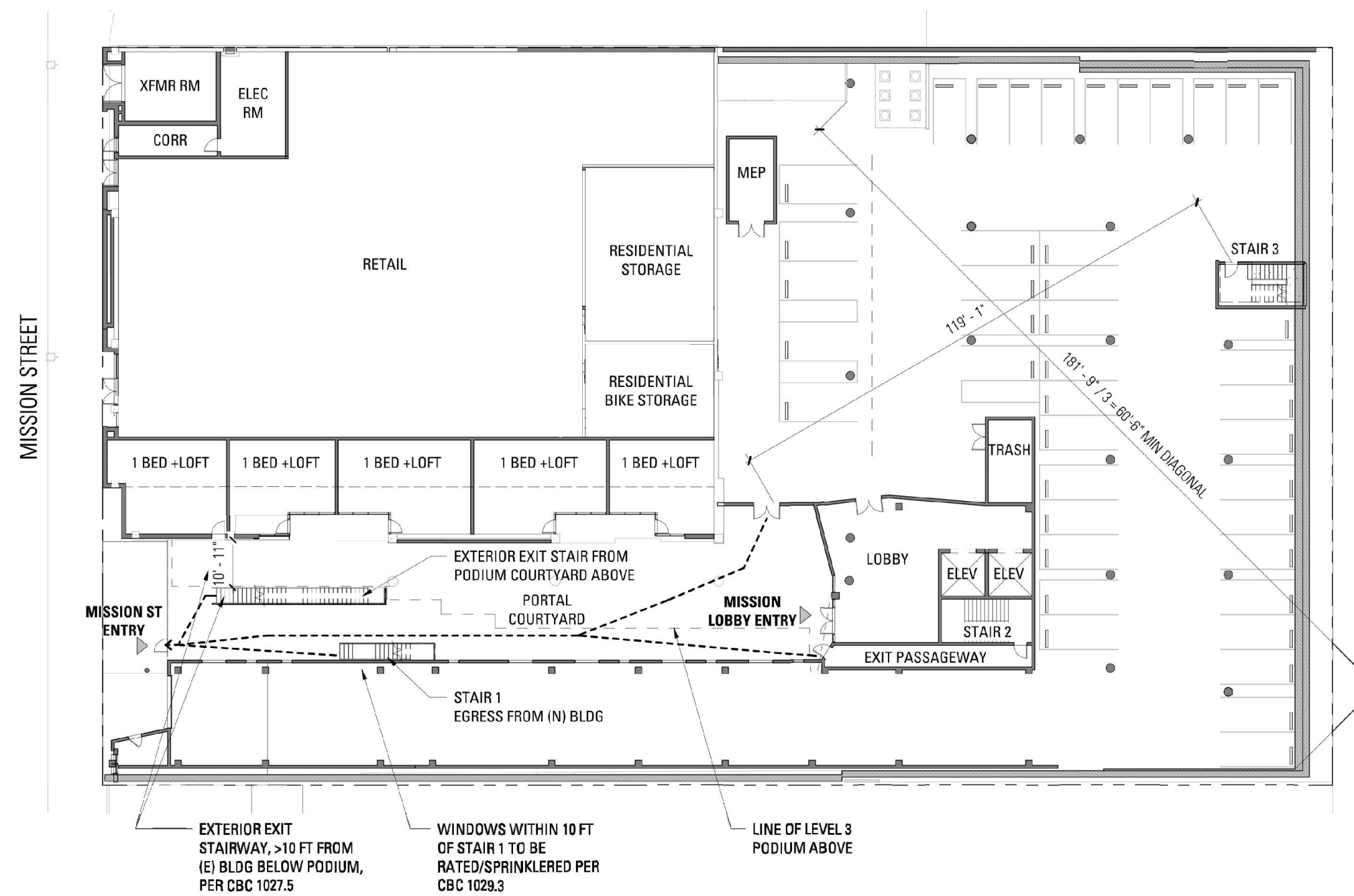
JULY 2025 SCALE: 1"=16' SHEET 6 OF 10

APN 06515-099 THRU 101 3333 MISSION STREET
190, COLERIDGE STREET

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2
0005a
LEVEL 02



1
0005a
LEVEL 01

3333 Mission
3333 MISSION ST, SAN FRANCISCO

CODE DIAGRAMS

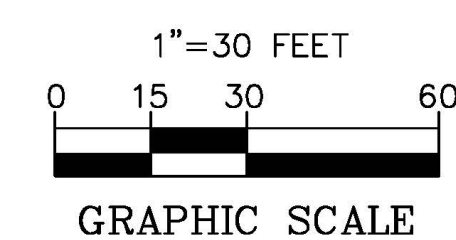
03.20.25

2023019

BAR architects

G005a

CODE DIAGRAMS



**TENTATIVE
FINAL MAP 12259**

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BEING A PORTION OF 100 PRECITA VALLEY LANDS

CITY AND COUNTY OF SAN FRANCISCO, STATE OF CALIFORNIA

MARTIN M. RON ASSOCIATES, INC.
Land Surveyors

859 Harrison Street, Suite 200
San Francisco, California

JULY 2025

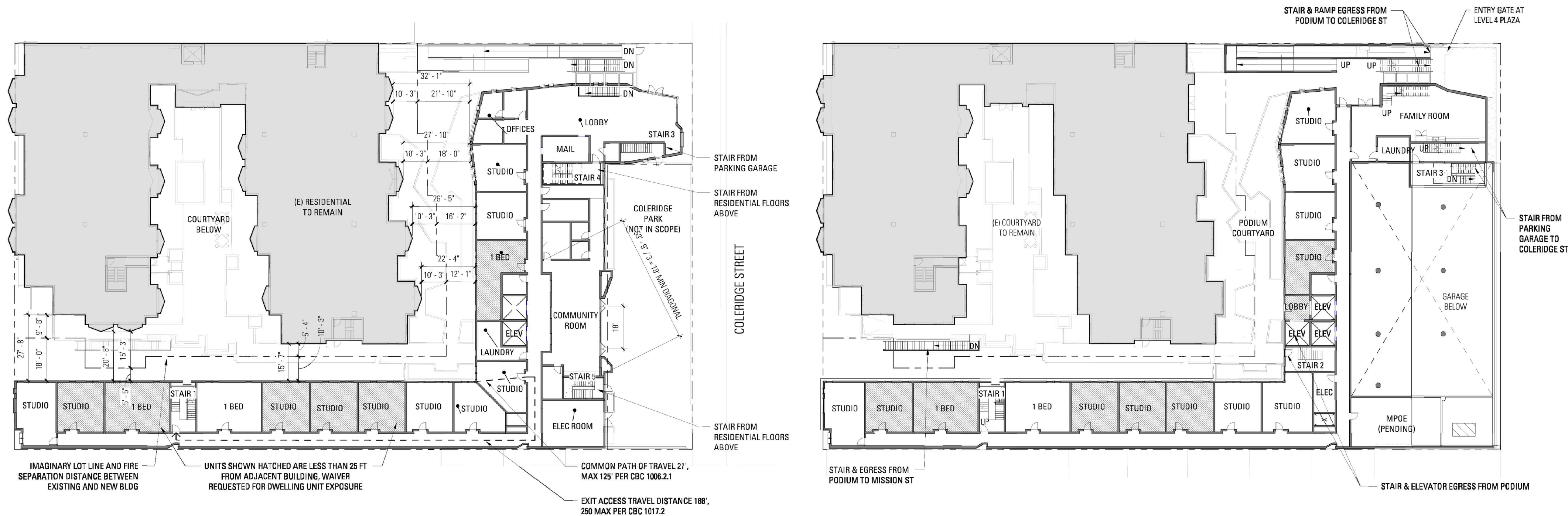
SCALE: 1"=30'

SHEET 7 OF 10

APN 5615-099 THRU 101

3333 MISSION STREET
190 COLLIERIDGE STREET

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3333 Mission
3333 MISSION ST, SAN FRANCISCO

CODE DIAGRAMS

03.20.25

2023019

BAR architects

G005b

CODE DIAGRAMS



1"=30 FEET
0 15 30 60
GRAPHIC SCALE

**TENTATIVE
FINAL MAP 12259**

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MARTIN M. RON ASSOCIATES, INC.

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859 Harrison Street, Suite 200
San Francisco, California

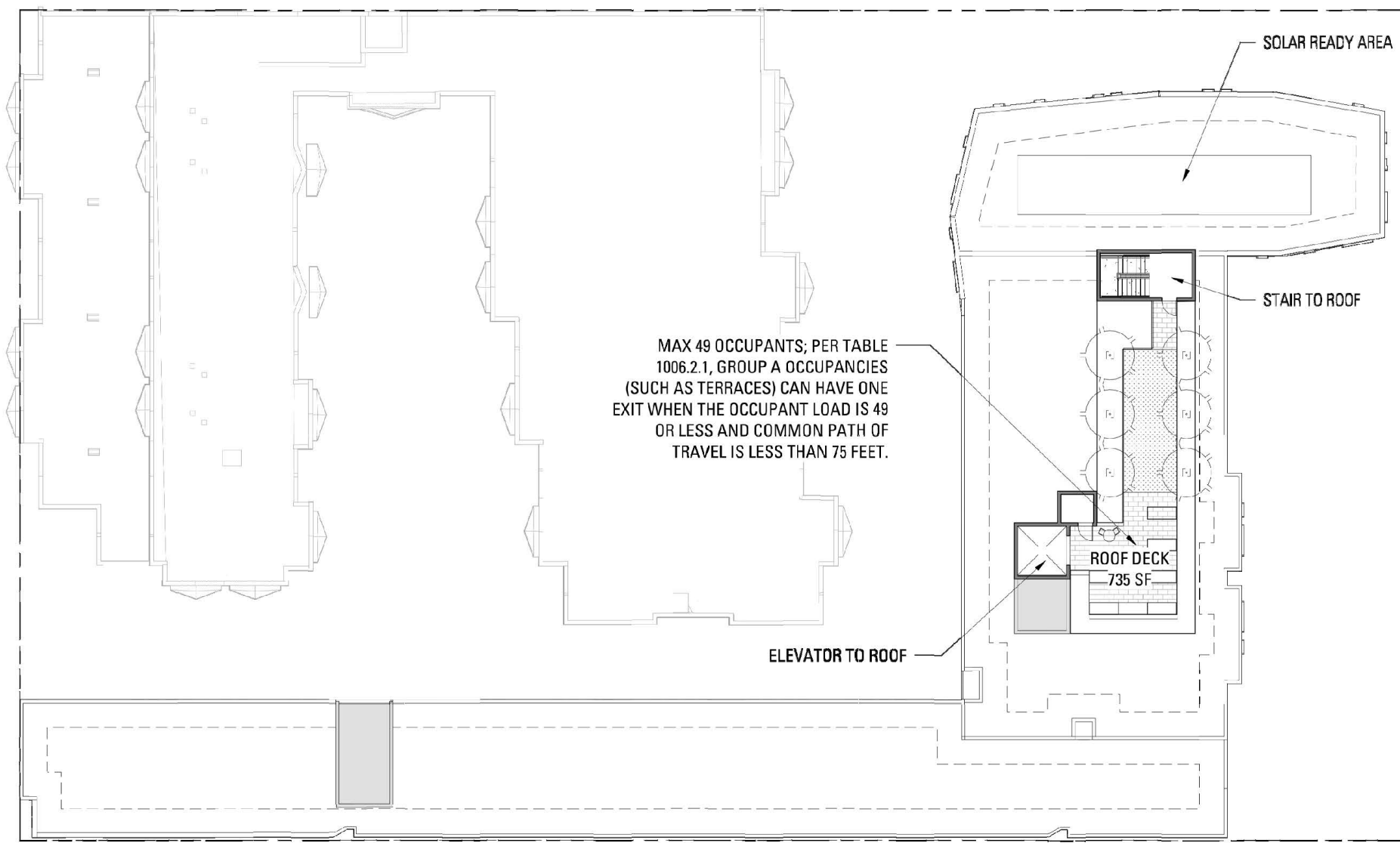
JULY 2025

SCALE: 1"=30'

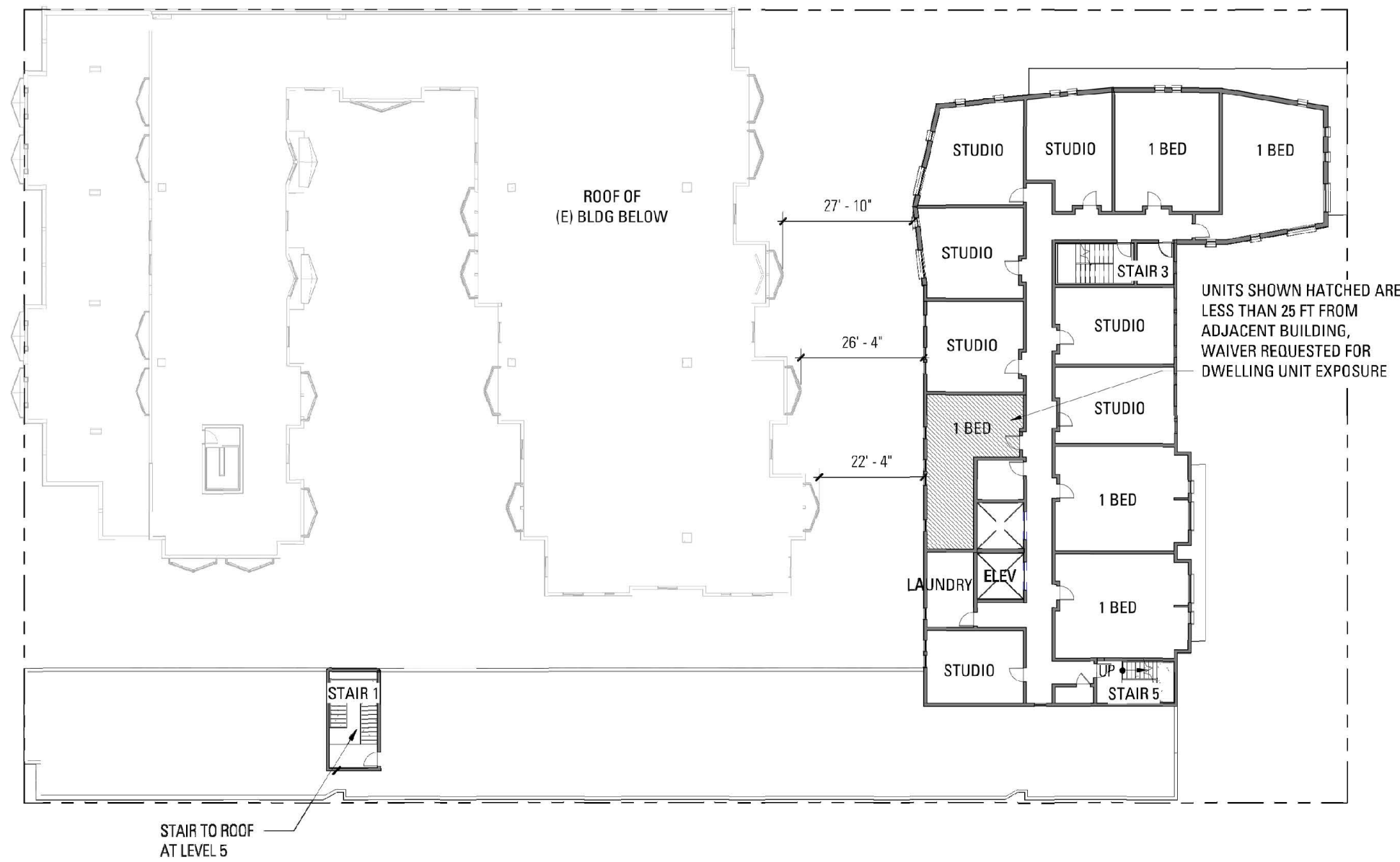
SHEET 8 OF 10

APN 5615-099 THRU 101

3333 MISSION STREET
190 COLERIDGE STREET



2 ROOF LEVEL
20'-0"



1 LEVEL 05 (LEVEL 6-7 SIM)
6005c

3333 Mission
3333 MISSION ST, SAN FRANCISCO

CODE DIAGRAMS

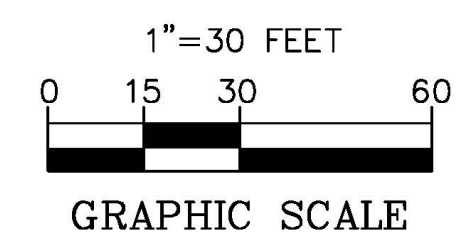
03.20.25

2023019

BAR architects

G005c

CODE DIAGRAMS



**TENTATIVE
FINAL MAP 12259**

A THREE LOT VERTICAL SUBDIVISION
A CONDOMINIUM PROJECT WITHIN LOT 1
FOR UP TO 10 COMMERCIAL UNITS AND 5 RESIDENTIAL UNITS
BEING A MERGER AND RE-SUBDIVISION OF LOTS 99-101 OF THAT
CERTAIN PARCEL MAP RECORDED JUNE 29, 1987 IN BOOK 35 OF
PARCEL MAPS AT PAGES 100 AND 101, OFFICIAL RECORDS.

BEING A PORTION OF 100 PRECITA VALLEY LANDS

CITY AND COUNTY OF SAN FRANCISCO, STATE OF CALIFORNIA

MARTIN M. RON ASSOCIATES, INC.
Land Surveyors
859 Harrison Street, Suite 200
San Francisco, California

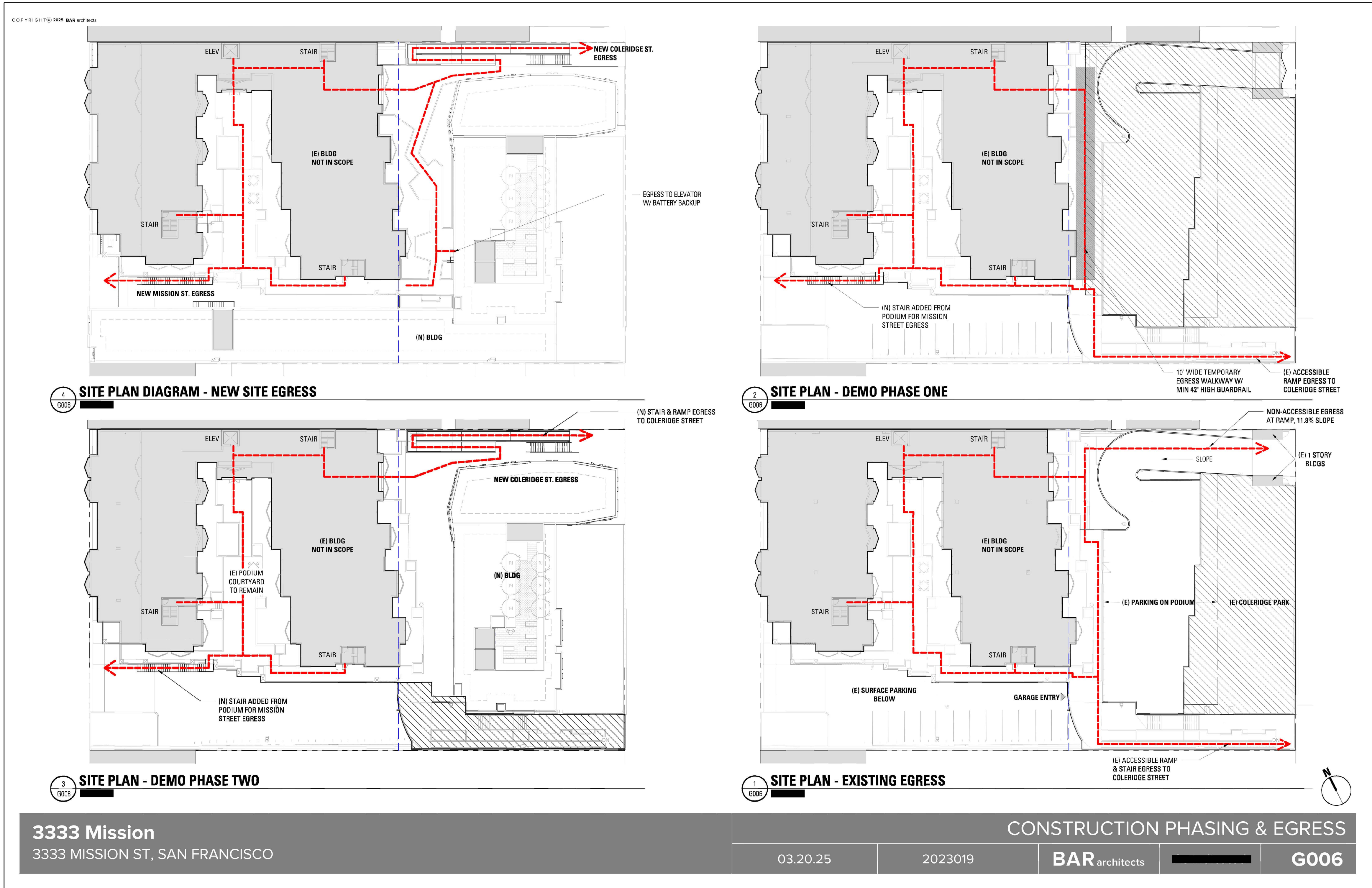
JULY 2025

SCALE: 1"=30'

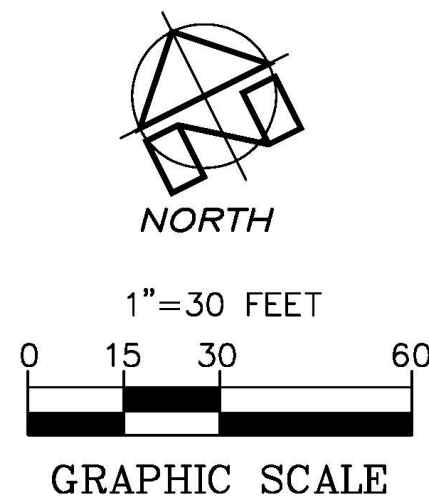
SHEET 9 OF 10

APN 5615-099 THRU 101

3333 MISSION STREET
190 COLLIERIDGE STREET



CONSTRUCTION PHASING & EGRESS



TENTATIVE
FINAL MAP 12259

A THREE LOT VERTICAL SUBDIVISION
A CONDOMINIUM PROJECT WITHIN LOT 1
FOR UP TO 10 COMMERCIAL UNITS AND 5 RESIDENTIAL UNITS
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San Francisco, California

JULY 2025 SCALE: 1"=30' SHEET 10 OF 10

APN 5615-099 THRU 101

3333 MISSION STREET
190 COLERIDGE STREET



**City and County of San Francisco
Joaquin Torres, Assessor-Recorder**

Recording Requested by:

San Francisco Water, Power and Sewer
Customer Services

525 Golden Gate Ave., 2nd Floor
San Francisco, CA 94102

Doc #	2025052606	Fees	\$20.00
7/16/2025	3:27:28 PM	Taxes	\$0.00
KC	Electronic	Other	\$0.00
Pages	1 Title 019	SB2 Fees	\$0.00
Customer	022	Paid	\$20.00

**Notice of Lien Release for Delinquent Water, Utility Tax, and
Wastewater Charges**

The Lien number described below, recorded in the official records of the City and County of San Francisco, by San Francisco Water, Power and Sewer, against real property described below, has been paid in full and is hereby released.

Lien Recorded Number:	2025044533
Date Lien Recorded:	06-20-2025
Lien Case Number:	2809506625
Owner:	ELEVATE HOUSING PARTNERS LP
Service Address:	3333 MISSION ST
Service Period:	01-09-2025 to 02-24-2025
Block/Lot:	5615 099

If you have any questions, please call the Collection and Lien Unit at (415)551-4760.

San Francisco Water, Power and Sewer
Services of the San Francisco Public Utilities Commission

By:

Deidre Andrus
Customer Services Director
Authorized facsimile signature