

File No. 130756

Committee Item No. 1

Board Item No. \_\_\_\_\_

# COMMITTEE/BOARD OF SUPERVISORS

## AGENDA PACKET CONTENTS LIST

Committee: Land Use and Economic Development Date July 29, 2013

Board of Supervisors Meeting Date \_\_\_\_\_

### Cmte Board

- |                                     |                          |  |
|-------------------------------------|--------------------------|--|
| <input type="checkbox"/>            | <input type="checkbox"/> | Motion                                       |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | Resolution                                   |
| <input type="checkbox"/>            | <input type="checkbox"/> | Ordinance                                    |
| <input type="checkbox"/>            | <input type="checkbox"/> | Legislative Digest                           |
| <input type="checkbox"/>            | <input type="checkbox"/> | Budget and Legislative Analyst Report        |
| <input type="checkbox"/>            | <input type="checkbox"/> | Youth Commission Report                      |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | Introduction Form                            |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | Department/Agency Cover Letter and/or Report |
| <input type="checkbox"/>            | <input type="checkbox"/> | MOU  |
| <input type="checkbox"/>            | <input type="checkbox"/> | Grant Information Form                       |
| <input type="checkbox"/>            | <input type="checkbox"/> | Grant Budget                                 |
| <input type="checkbox"/>            | <input type="checkbox"/> | Subcontract Budget                           |
| <input type="checkbox"/>            | <input type="checkbox"/> | Contract/Agreement                           |
| <input type="checkbox"/>            | <input type="checkbox"/> | Form 126 – Ethics Commission                 |
| <input type="checkbox"/>            | <input type="checkbox"/> | Award Letter                                 |
| <input type="checkbox"/>            | <input type="checkbox"/> | Application                                  |
| <input type="checkbox"/>            | <input type="checkbox"/> | Public Correspondence                        |

### OTHER (Use back side if additional space is needed)

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|-------------------------------------|--------------------------|------------------------------------|
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | Street Encroachment Agreement      |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | DPW Order No. 181388               |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | TASC Recommendation, dtd 12/31/12  |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | General Plan Referral, dtd 1/30/13 |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | General Plan Referral Application  |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | Chinese Hospital Plans             |
| <input type="checkbox"/>            | <input type="checkbox"/> | _____                              |
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Completed by: Alisa Miller Date July 26, 2013

Completed by: \_\_\_\_\_ Date \_\_\_\_\_

1 [Street Encroachment - Chinese Hospital - 835 Jackson Street]

2  
3 **Resolution granting revocable permission to the Chinese Hospital to occupy a portion of**  
4 **the public right-of-way to construct, install, and maintain the following infrastructure**  
5 **improvements: one 5,000 gallon fuel oil storage tank and four PG&E transformer vaults**  
6 **at the Jackson Street frontage, a new 10" sewer line, under the sidewalk and parallel to**  
7 **the property line, two 6,000 gallon sewer holding tanks, one new rain water storage tank,**  
8 **with its location to be determined by Public Utilities Commission, and two pump station**  
9 **vaults at the James Place frontage, for hospital operations at 835 Jackson Street**  
10 **(Assessor's Block No. 0192, Lot No. 041), conditioned upon the payment of an annual**  
11 **assessment fee of \$1,913.00; and making environmental findings, findings of**  
12 **consistency with the General Plan and the priority policies of Planning Code, Section**  
13 **101.1.**

14  
15 WHEREAS, Pursuant to Public Works Code Section 786, permission was requested by  
16 KCA Engineers, authorized agents for the owner, Chinese Hospital, to occupy a portion of the  
17 public right-of-way to construct, install one (1) 5,000 gallon fuel oil storage tank and four (4)  
18 PG&E transformer vaults at the Jackson Street frontage; a new 10" sewer line under the  
19 sidewalk and parallel to the property line, two (2) 6,000 gallon sewer holding tanks, one (1) rain  
20 water storage tank with its location to be determined by PUC, and two (2) pump station vaults at  
21 the James Place frontage, as shown on the plans, a copy of which is on file in the office of the  
22 Clerk of the Board of Supervisors in File No. 130756; and

23 WHEREAS, The Planning Department, by letter dated January 30, 2013, declared that  
24 the proposed encroachments are in conformity with the General Plan and to the priority policies  
25 of Planning Code Section 101.1. A copy of said letter is on file with the Clerk of the Board of

1 Supervisors in File No. 130756, and is incorporated herein by reference; and

2 WHEREAS, San Francisco Municipal Transportation Agency (SFMTA), in the minutes of  
3 the Transportation Advisory Staff Committee (TASC) dated December 31, 2012 recommended  
4 conditional approval of the encroachments; provided that during construction, the contractor  
5 provides temporary traffic control; and

6 WHEREAS, Following a duly noticed public hearing on May 29, 2013, the  
7 Department of Public Works recommended approval of the proposed encroachment via DPW  
8 Order Number 181,388, approved June 18, 2013; a copy of which is on file in the office of the  
9 Clerk of the Board of Supervisors in File No. 130756; and

10 WHEREAS, Notwithstanding the determination set forth above, it is the decision of the  
11 Board of Supervisors that the proposed encroachment is in the best interest of the general  
12 public, is desirable and convenient with the owner's use and enjoyment of its property, and is  
13 appropriate use of the public right-of-way; and

14 WHEREAS, The permit and associated encroachment agreement, which are  
15 incorporated herein by reference and attached hereto as Exhibit A, shall not become effective  
16 until:

17 (a) The Permittee executes and acknowledges the permit and delivers said permit to the  
18 City's Controller;

19 (b) Permittee delivers to the City Controller a policy of insurance provided for in said  
20 agreement and the Controller shall have had approved the same as complying with the  
21 requirement of said agreement. The Controller may, in his discretion, accept, in lieu of said  
22 insurance policy, the certificate of an insurance company certifying to the existence of such a  
23 policy; and

24 (c) The City Controller records the permit and associated agreement in the office of the  
25 County Recorder; and

1           WHEREAS, The Permittee, at the Permittee's sole expense and as is necessary as a  
2 result of this permit, shall make the following arrangements:

3           (a) To provide for the support and protection of facilities belonging to the Department of  
4 Public Works, San Francisco Water Department, the San Francisco Fire Department and other  
5 City Departments, and public utility companies; and

6           (b) To remove or relocate such facilities and provide access to such facilities for the  
7 purpose of constructing, reconstructing, maintaining, operating, or repairing such facilities; and

8           WHEREAS, The Permittee shall procure the necessary permits from Bureau of Street-  
9 Use and Mapping, Department of Public Works, and pay the necessary permit fees and  
10 inspection fees before starting work; and

11           WHEREAS, The Board of Supervisors shall implement an annual assessment fee of  
12 \$1,913.00 for the use of said rights-of-way, which shall be increased at the beginning of each  
13 fiscal year based upon the Consumer Price Index quotient, and shall be re-evaluated by DPW  
14 every five (5) years; and

15           WHEREAS, No structures shall be erected or constructed within said street right-of-way  
16 except as specifically permitted herein; and

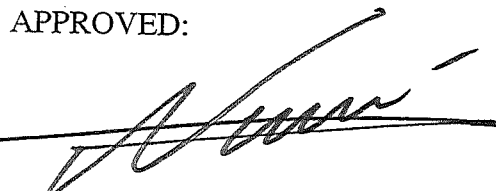
17           WHEREAS, The Permittee shall assume all costs for the maintenance and repair of the  
18 encroachments and no cost or obligation of any kind shall accrue to the City and County of San  
19 Francisco by reason of this permission granted; now, therefore, be it

20           RESOLVED, That pursuant to Public Works Code Section 786, the Board of Supervisors  
21 hereby grants permission, revocable at the will of the Director of the Department of Public  
22 Works, to Chinese Hospital, to occupy portions of the public rights-of-way to construct, install  
23 and maintain one (1) 5,000 gallon fuel oil storage tank and four (4) PG&E transformer vaults at  
24 the Jackson Street frontage, a new 10" sewer line under the sidewalk and parallel to the  
25 property line, two (2) 6,000 gallon sewer

1 holding tanks, one (1) rain water storage tank with its location to be determined by PUC,  
2 and two (2) pump station vaults at the James Place frontage, for hospital operations at  
3 835 Jackson Street (Block 0192, Lots 041), conditioned upon the payment of an annual  
4 assessment fee of \$1913.00 and other conditions set forth herein; and, be it

5           FURTHER RESOLVED, That this Board finds the permit to be consistent with the  
6 General Plan and priority policies of Planning Code Section 101.1. for the reasons set  
7 forth in the City Planning Department letter.

8 APPROVED:  
9

10   
11 \_\_\_\_\_  
12 Mohammed Nuru

13 Director of Public Works  
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Edwin M. Lee, Mayor  
Mohammed Nuru, Director



July 15, 2013

Clerk, Board of Supervisors  
City Hall, Room 244  
San Francisco, CA 94102-4689

Dear Clerk of the Board:

Attached please find an original, two copies, and one electronic copy of a proposed resolution for Board of Supervisors consideration. This resolution would grant revocable permission to COO Chinese Hospital to occupy the public rights-of-way to construct, install, and maintain the following infrastructure improvements: One (1) 5,000 gallon fuel oil storage tank and four (4) PG&E transformer vaults at the Jackson Street frontage; a new 10" sewer line, under the sidewalk and parallel to the property line, two (2) 6,000 gallon sewer holding tanks, one (1) new rain water storage tank, with its location to be determined by PUC, and two (2) pump station vaults at the James Place frontage. The resolution would also make findings of consistency with the priority policies of Planning Code Section 101.1.

Pursuant to Section 786 of the Public Works Code, COO Chinese Hospital, the Permittee, requested a Major Encroachment Permit in a letter dated October 4, 2012. The Transportation Advisory Staff Committee (TASC) heard this request on December 31, 2012 and recommended it for approval. The Planning Department, by letter dated January 30, 2013, found the infrastructure improvements to be in conformity with the General Plan and with the priority policies of Planning Code Section 101.1.


The following is a list of accompanying documents (five sets):

- Letter from Applicant, COO Chinese Hospital, dated December 31, 2012.
- Letter from the Planning Department dated January 30, 2013.
- DPW Order No. 181388, approved June 18, 2013, recommending the approval of the proposed Major Encroachment.
- Proposed plans for the Major Encroachment Permit.
- Signed and Notarized Street Encroachment Agreement.



The following person may be contacted regarding this matter: Mr. Rassendyll Dennis of BSM at (415) 554-4683.

Sincerely,



Mohammed Nuru  
Director of Public Works

Attachments: As Noted





RECEIVED  
 BOARD OF SUPERVISORS  
 SAN FRANCISCO

2013 JUL 17 PM 2:04

Edwin M. Lee, Mayor  
 Mohammed Nuru, Director



Jerry Sanguinetti, Bureau Manager

## MAJOR ENCROACHMENT RESOLUTION ROUTING SHEET

Everyone involved in the processing of this Major Encroachment Resolution is requested to complete this form so that the Department has a written record of the steps taken. Please notify the sender (see below) of any delays or questions.

### PERMIT INFORMATION

Permit No. 12Me-0008	Date Sent: 7/15/2013	Date Due at BOS
Block/Lot 0192/041	Project Address: 835 Jackson Street	

### SENDER

Name: RASSENDYLL DENNIS	Telephone: 554-4683
Address: 1155 Market Street, 3 <sup>rd</sup> Floor	Email: RASSENDYLL.DENNIS@SFDPW.ORG

### ROUTE

Date Received	To	Date Forwarded or Signed
7/16/13	Frank W. Lee Executive Assistant To Director City Hall, Room 348	
7/17/13	Mohammed Nuru Director of Public Works City Hall, Room 348	
	Clerk of Board of Supervisors (BOS) City Hall, Room 244 (Submit a copy of this sheet with packet.)	
	When the legislation packet is submitted to BOS, please return this original routing sheet to sender.	



130750





**CITY AND COUNTY OF SAN FRANCISCO  
DEPARTMENT OF PUBLIC WORKS**

**STREET ENCROACHMENT AGREEMENT**

**WITNESSETH**

In consideration of the adoption by the Board of Supervisors of the City and County of San Francisco of Resolution No. 181159 at its meeting of DPW a true copy of which is attached hereto marked Exhibit A, and by this reference incorporated herein, and subject to all the terms, conditions and restrictions of this Agreement, also by reference incorporated herein, Permittee agrees that in accordance with this agreement and Exhibit A:

1. The permitted encroachment shall constitute a revocable license, shall be personal to Permittee and shall not be assignable or transferable by Permittee, whether separate from or together with any interest of Permittee.

Upon revocation the undersigned permittee, subsequent owners, or their heirs and assignees will within 30 days remove or cause to be removed the encroachment and all materials used in connections with its construction, without expense to the City and County of San Francisco, and shall restore the area to a condition satisfactory to the Department of Public Works.

2. The occupancy, construction and maintenance of the encroachment shall be in the location and as specified by the plans submitted, revised, approved and filed in the Department of Public Works. The permittee, by acceptance of this permit, acknowledges its responsibility to comply with all requirements of the occupancy, construction and maintenance of the encroachment as specified in Public Works Code Section 786 and with the sidewalk maintenance requirements specified in Public Works Code Section 706.
3. The permittee shall verify the locations of City and public service utility company facilities that may be affected by the work authorized by this permit and shall assume all responsibility for any damage to such facilities due to the work. The permittee shall make satisfactory arrangements and payments for any necessary temporary relocation of City and public utility company facilities.
4. In consideration of this Permit being issued for the work described in the application, Permittee on its behalf and that of any successor or assign, and on behalf of any lessee, promises and agrees to perform all the terms of this Permit and to comply with all applicable laws, ordinances and regulations.

Permittee agrees on its behalf and that of any successor or assign to hold harmless, defend, and indemnify the City and County of San Francisco, including, without limitation, each of its commissions, departments, officers, agents and employees (hereinafter collectively referred to as the "City") from and against any and all losses, liabilities, expenses, claims, demands, injuries, damages, fines, penalties, costs or judgments including, without limitation, attorneys' fees and costs (collectively, "claims") of any kind allegedly arising directly or indirectly from (i) any act by, omission by, or negligence of, Permittee or its subcontractors, or the offices, agents or employees of either, while engaged in the performance of the work authorized by this Permit, or while in or about the property subject to this Permit for any reason connected in any way whatsoever with the performance of the work authorized by this Permit, or allegedly resulting directly or indirectly from the maintenance or installation of any equipment, facilities or structures authorized under this Permit, (ii) any accident or injury to any contractor or subcontractor, or any officer, agent, or employee of either of them, while engaged in the performance of the work authorized by this Permit, or while in or about the property, for any reason connected with the performance of the work authorized by this Permit, or arising from liens or claims for services rendered or labor or materials furnished in or for the performance of the work authorized by this Permit, (iii) injuries or damages to real or personal property, good will, and persons in, upon or in any way allegedly connected with the work authorized by this Permit from any cause or claims arising at any time, and potentially falls within this indemnity provision, even if the allegations are or may be groundless, false or fraudulent, which obligations arises at the time such claim is tendered to Permittee by the City and continues at all times thereafter. Permittee agrees that the indemnification obligations assumed under this Permit shall survive expiration of the Permit or completion of work.

Permittee shall obtain and maintain through the terms of this Permit insurance as the City deems necessary to protect the City against claims for damages for personal injury, accidental death and property damage allegedly arising from any work done under this Permit. Such insurance shall in no way limit Permittee's indemnity hereunder. Certificates of insurance, in form and with insurers satisfactory to the City, evidencing all coverages above shall be furnished to the City before commencing any operations under this Permit, with complete copies of policies furnished promptly upon City request.

5. Permittee will, at its own expense, maintain in full force and effect an insurance policy or policies issued by insurers with ratings comparable to A-VIII, or higher that are authorized to do business in the State of California, and that are satisfactory to the City. Approval of the insurance by City shall not relieve or decrease Permittee's liability hereunder.

Permittee must maintain in force, during the full term of the Agreement, insurance in the following amounts and coverages. Workers' Compensation, in statutory amounts, with Employer's Liability limits not less than \$1,000,000 each accident, injury, or illness; and Commercial General Liability Insurance with Limits not less than \$1,000,000 each occurrence and \$2,000,00 in the aggregate for bodily injury and property damage, including contractual liability, personal injury, products and completed operations; and Commercial Automobile Liability insurance with limits not less than \$1,000,000 each occurrence combined single limit or bodily injury and

property damage, including owned, non-owned and hired auto coverage as applicable. Said policies shall include the City and County of San Francisco and its officers and employees jointly and severally as additional insured and shall apply as primary insurance and shall stipulate that no other insurance affected by the City and County of San Francisco will be called on to contribute to a loss covered hereunder.

All policies shall be endorsed to provide thirty (30) days advance written notice to the City of reduction, nonrenewal or material changes in coverages or cancellation of coverages for any reason. Notices shall be sent to the Department of Public Works, Bureau of Street Use and Mapping, 1155 Market Street, 3<sup>rd</sup> Floor, San Francisco, CA, 94103. The permission granted by said resolution shall automatically terminate upon the termination of such insurance. Upon such termination, Permittee shall restore the right-of-way, without expense to the "Personal Injuries", as used herein, shall include wrongful death.

6. The permittee shall obtain a building permit as the Central Permit Bureau, 1660 Mission Street for the construction or alteration of any building.
7. The permittee shall contact the Street Permit Section (415) 554-5810, at least 48 hours prior to starting work to arrange an inspection schedule.
8. The permittee acknowledge its responsibility to notify any successor owners of the existence of the encroachment and the successor owner's obligation to obtain a permit from the Department of Public Works 60 days in advance of any pending sale of the permittee's adjacent property. The permittee's obligation to remove the encroachment and restore the right-of-way to a condition satisfactory to the Department of Public Works shall survive the revocation, expiration or termination of this permit or sale of permittee's adjacent property.
9. The permittee's right to use City property, as set forth in this permit is appurtenant to the property described as: Lot 041, Assessor's Block 0192

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The provisions of the permit shall bind all subsequent purchases and owners of the described property.

Subsequent purchasers and owners shall be subject to the revocation and termination provisions set forth in this permit.

10. The permittee or subsequent owners recognize and understand that this permit may create a possessory interest subject to property taxation and that the permittee or subsequent owner or owners may be subject to the payment of such taxes.
11. The permittee or subsequent owner or owners recognize the recordation of this permit.

All of the provisions of this agreement shall be deemed provisions of said resolution. All of the provisions of said resolution shall be deemed provisions of this agreement.

In witness whereof the undersigned Permittee(s) have executed this agreement this 6 day of June, 2013.

Brenda Yee  
Chief Executive Officer, Chinese Hospital

STATE OF CALIFORNIA )  
COUNTY OF San Francisco ) SS

On June 6, 2013 before me, Jeffrey Lo Notary Public in and for said County and State, personally appeared Brenda Yee personally known to me (or proven to me on the name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by this by his/her/their signature(s) on the instrument the person(s), or entity upon behalf of which the person(s) acted, executed the instrument.

WITNESS my hand and official seal

(NOTARY STAMP OR SEAL)

Jeffrey Lo  
Notary Public in and for said County and State



City and County of San Francisco



Edwin M. Lee, Mayor  
Mohammed Nuru, Director

San Francisco Department of Public Works  
Office of the Deputy Director & City Engineer, Fuad Sweiss  
Bureau of Street-Use & Mapping  
1155 Market Street, 3rd Floor  
San Francisco Ca 94103  
(415) 554-5810 www.sfdpw.org



Jerry Sanguinetti, Bureau Manager

**DPW Order No: 181388**

APPROVAL OF A MAJOR (STREET) ENCROACHMENT PERMIT TO CONSTRUCT THE FOLLOWING INFRASTRUCTURE IMPROVEMENTS: ONE (1) 5,000 GALLON FUEL OIL STORAGE TANK, FOUR (4) PG&E TRANSFORMER VAULTS, SEWER LINES, TWO (2) ENMC 5,000 GALLON WATER STORAGE TANKS, A RAIN WATER STORAGE TANK, A PUMP STATION VAULT UNDER THE SIDEWALK AND OTHER PUBLIC IMPROVEMENTS FOR CHINESE HOSPITAL AT 835 JACKSON STREET (BLOCK 0192, LOT 041).

**APPLICANT:** KCA Engineers  
318 Brannan Street  
Redwood City, CA 94065  
Attention: Peter Bekey

**OWNER:** COO Chinese Hospital  
845 Jackson Street  
San Francisco, CA 94133  
Attention: Linda Schumacher

**PROPERTY DESCRIPTION:** Lot 041 in Assessor's Block 0192  
835 Jackson Street  
San Francisco, CA 94111

**DESCRIPTION OF REQUEST:** Major (Street) Encroachment Permit

**BACKGROUND:**

1. On September 12, 2012, the applicant filed a Major (Street) Encroachment application (Permit# 12ME-0008) with the Department of Public Works (DPW).
2. On December 31, 2012, the San Francisco Municipal Transportation Agency (SFMTA) meeting of the Transportation Advisory Staff Committee (TASC), considered and approved traffic control modifications related to the improvements.
3. On January 30, 2013, the Planning Commission, at their hearing, adopted findings that the project, along with the infrastructure improvements, is consistent with the objectives and policies of the General Plan.
4. On April 3, 2013, DPW scheduled and mailed a Notice for Public Hearing (DPW Order#181,159), scheduled for May 29, 2013, to all property owners within a 300-foot radius of the subject encroachments.
5. On April 30, 2013, DPW received two e-mails during the public notification period requesting general information and expressing concerns about the proposed encroachments.



San Francisco Department of Public Works  
Making San Francisco a beautiful, livable, vibrant, and sustainable city.


6. DPW Hearing Officer, Janet Ng, conducted a public hearing on May 29, 2013 and heard testimony regarding the subject encroachment from DPW staff, and recommended the Major Encroachment Permit for approval.
7. The owner's representative, project engineer attended the hearing and presented testimony in support of this project.
8. Aside from the above two e-mails, there was no additional written testimony submitted, and no additional public testimony was presented at the hearing.
9. The Hearing Officer made her recommendation after hearing the above testimony, and reviewing the application, reports, plans and other documents contained in the Department of Public Works files.

**RECOMMENDATION:** APPROVAL of the request for the Major Encroachment Permit and transmittal to the Board of Supervisors for approval based on the following findings.

**FINDING 1:** Recommendation for approval by TASC.

**FINDING 2:** Planning Department and its Commission's findings that the proposed infrastructure improvements are consistent with objectives and policies with the General Plan.


**FINDING 3:** There were no objections to the Major Encroachment Permit for the infrastructure improvements during the Public Hearing.

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Sanguinetti, Jerry  
Bureau Manager

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X Mohammed Nuru

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Nuru, Mohammed  
Director, DPW

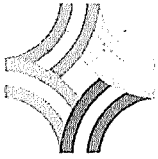
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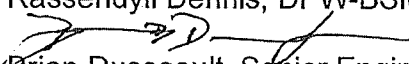
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Sweiss, Fuad  
Deputy Director and City Engineer





**MEMORANDUM**

**DATE:** December 31, 2012  
**TO:** Rassendyll Dennis, DPW-BSM  
**THROUGH:**  Brian Dusseault, Senior Engineer  
**FROM:** <sup>NW</sup> Norman Wong, Associate Engineer  
**SUBJECT:** 835 Jackson Street – Major Encroachment Permit

At its meeting of October 25, 2012, TASC recommended approval for a Major Encroachment Permit for:

- 1) A new 5,000 gallon fuel oil underground storage tank on Jackson Street.
- 2) Two new 6,000 gallon sewer storage tanks on James Alley (partly on public right of way)
- 3) A pump station vault on James Alley (partly on public right of way)

Underground PG&E transformer and vault and a rainwater storage tank on James Alley are also proposed.

The Major Encroachment Permit should include this and other necessary temporary traffic control conditions required of the builder.

If you have any questions, please call me at 701-4600. Thank you.

Edwin M. Lee  
Mayor

Tom Nolan  
Chairman

Cheryl Brinkman  
Vice-Chairman

Leona Bridges  
Director

Malcolm Heinicke  
Director

Jerry Lee  
Director

Joél Ramos  
Director

Cristina Rubke  
Director

Edward D. Reiskin  
Director of  
Transportation





# SAN FRANCISCO PLANNING DEPARTMENT

## General Plan Referral

*Date:* January 30, 2013  
*Case No.* Case No. 2008.0762R  
Chinese Hospital, Major Encroachment

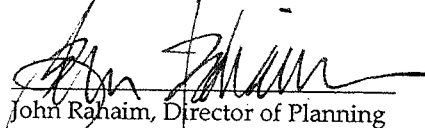
*Block/Lot No.:* AB 01092/041

*Project Sponsor:* Linda Schumacher, COO Chinese Hospital  
Chinese Hospital  
845 Jackson Street  
San Francisco, CA 94133

*Referred By:* Rassendyll Dennis  
Bureau of Street Use and Mapping  
875 Stevenson Street, Room 460  
San Francisco, CA 94103

*Staff Contact:* Neil Hrushowy- (415) 558-6471  
[neil.hrushowy@sfgov.org](mailto:neil.hrushowy@sfgov.org)

*Recommendation:* Finding the project, on balance, is in conformity with  
the General Plan

*Recommended By:*   
John Rahaim, Director of Planning

1650 Mission St.  
Suite 400  
San Francisco,  
CA 94103-2479

Reception:  
415.558.6378

Fax:  
415.558.6409

Planning  
Information:  
415.558.6377

### PROJECT DESCRIPTION

We are in receipt of your letter dated October 30, 2012, as revised on January 30, 2013, requesting that the Planning Department consider a General Plan Referral application concerning the installation of a fuel oil storage tank; four PG&E transformer vaults; sewer lines; two water storage tanks; a rain water storage tank; and, a pump station vault, pursuant to Section 4.105 of the Charter and Section 2A.53 of the Administrative Code. The proposed project calls for the City to grant a major encroachment permit for under the sidewalk of Jackson Street and the portion of James Alley owned by the City and County of San Francisco.



## ENVIRONMENTAL REVIEW

The proposed project received CEQA clearance under Case No. 2008.0762E, Chinese Hospital Replacement Project Initial Study, finalized on 05/16/11.

## GENERAL PLAN COMPLIANCE AND BASIS FOR RECOMMENDATION

The Project is consistent with the following relevant objectives and policies of the General Plan. The Objectives and Policies are shown in **bold font**, policy text is in regular font, and staff comments are in *italic font*.

## URBAN DESIGN ELEMENT

### OBJECTIVE 4

#### **IMPROVEMENT OF THE NEIGHBORHOOD ENVIRONMENT TO INCREASE PERSONAL SAFETY, COMFORT, PRICE AND OPPORTUNITY**

##### Urban Design Principle 14

**Vehicle-free or pedestrian-priority spaces contribute to pedestrian comfort and the public life of the city.**

##### Urban Design Principle 16

**Alleys and small streets which are usable as part of the general network of pedestrian and service ways are potential areas of activity and interest.**

*Comment: James Alley is designed to become a high-quality pedestrian route and public space for city residents and visitors to the hospital.*

### POLICY 4.11

**Make use of street space and other unused public areas for recreation, particularly in dense neighborhoods, such as those close to downtown, where land for traditional open spaces is more difficult to assemble.**

### POLICY 4.14

**Remove and obscure distracting and cluttering elements.**

*Comment: Undergrounding the fuel oil and rainwater storage tank maintains maximum open space for pedestrians and improves visual quality.*

## ENVIRONMENTAL PROTECTION ELEMENT

### POLICY 2.2

**Promote citizen action as a means of voluntarily conserving natural resources and improving environmental quality.**

*Comment: The installation of the rainwater storage tank will help diminish the load on the City's stormwater system.*

**RECOMMENDATION:** Finding the Project, on balance, in-conformity with the General Plan

Attachments:

Attachment 1 – Project description.

cc: Neil Hrushowy, Planning Department

PLANNING CODE SECTION 101.1(B) PROVISIONS- EIGHT PRIORITY POLICIES

Planning Code Section 101.1(b) establishes the following eight priority planning policies and requires review of permits for consistency with said policies. The subject project is found to be consistent with the Eight Priority Policies of Planning Code Section 101.1(b) in that:

1. That existing neighborhood-serving retail uses be preserved and enhanced and future opportunities for resident employment in and ownership of such businesses enhanced.  
*The project would not affect neighborhood serving retail uses or opportunities for employment in or ownership of such businesses.*
2. That existing housing and neighborhood character be conserved and protected in order to preserve the cultural and economic diversity of our neighborhoods.  
*The Project would not affect the City's housing stock or neighborhood character.*
3. That the City's supply of affordable housing be preserved and enhanced.  
*The Project will not affect the supply of affordable housing.*
4. That commuter traffic not impede Muni transit service or overburden our streets or neighborhood parking.  
*The Project would not adversely impede MUNI transit service or overburden city streets and neighborhood parking.*
5. That a diverse economic base be maintained by protecting our industrial and service sectors from displacement due to commercial office development, and that future opportunities for resident employment and ownership in these sectors be enhanced.  
*The Project would not affect the industrial or service sectors or future opportunities for resident employment or ownership in these sectors.*
6. That the City achieve the greatest possible preparedness to protect against injury and loss of life in an earthquake.  
*The Project, limited to underground infrastructure improvements, would not adversely affect City preparedness against injury or loss of life in an earthquake. All development would be constructed consistent with current Building and Seismic Codes and regulations.*
7. That landmarks and historic buildings be preserved.  
*The Project would not affect any landmark or historic buildings.*
8. That our parks and open space and their access to sunlight and vistas be protected from development.  
*The Project would have no adverse effect on parks and open space or their access to sunlight and vistas.*

I:\Citywide\General Plan\General Plan Referrals\2008\2008.0762R Chinese Hosp Encroachment Permit\2008.0762R 835-845 Jackson St, Chinese Hospital, James Alley.doc

DESCRIPTION OF PROJECT ELEMENTS INCLUDED IN CASE 2008.0762R

ATTACHMENT 1

*Note: Referenced Exhibits available for review in Docket 2008.0762R)*

Chinese Hospital is seeking the approval for the construction and installation of underground tanks and vaults:

1. One (1) 5,000 gallon fuel oil storage tank beneath the sidewalk on Jackson Street.
2. Four (4) PG&E electrical transformer vaults beneath the sidewalk on Jackson Street.
3. Sewer lines from the new hospital, parallel to the property line, but beneath the sidewalk on Jackson Street.
4. Two (2) Enmc 5,000 gallon water storage tanks on James Alley. One-half of James Alley is owned by Chinese Hospital. The other one-half is owned by the City. The storage tanks will be installed on Chinese Hospital property but will extend partially into the public alley.
5. A rain water storage tank on James Alley. The tank will be installed on Chinese Hospital property but will extend partially into the public alley.
6. A pump station vault on James Alley. The vault will be installed on Chinese Hospital property but will extend partially into the public alley.



Wayne Hu

mailing address: 317 West Portal Avenue #27428, San Francisco, CA 94127  
tel: 415-745-1372 | cell: 415-602-2761 | email: whu233@gmail.com

6

October 30, 2012

Rassendyll Dennis  
Bureau of Street Use & Mapping  
City & County of San Francisco  
875 Stevenson Street, Room 460  
San Francisco, CA 94103

re: Chinese Hospital – Major Encroachment Permit – General Plan Referral

Dear Rassendyll:

Enclosed is our complete application for the General Plan Referral and Chinese Hospital Check of \$3,454.00 for the Planning Department fee.

Sincerely,

Wayne Hu

Encl.

WARNING: ORIGINAL DOCUMENT HAS A TRUE WATERMARK. HOLD TO LIGHT TO VIEW.



**CHINESE HOSPITAL**  
845 JACKSON STREET  
SAN FRANCISCO, CALIFORNIA 94133  
982-2400

WELLS FARGO BANK  
115 Hospital Dr., Van Wert, OH 45891

394043 <sup>56-382</sup>/<sub>412</sub>

DATE	CHECK NUMBER
10/22/12	394043

THREE THOUSAND FOUR HUNDRED FIFTY FOUR DOLLARS AND NO CENT

CHECK AMOUNT
\$ *****3454.00

TO SAN FRANCISCO PLANNING DEPT.  
THE 1650 MISSION ST., SUITE 400  
ORDER SAN FRANCISCO CA 94103  
OF:

# APPLICATION FOR General Plan Referral

## PART 1. PROJECT LOCATION & APPLICANT INFORMATION

### A. Project Location

STREET ADDRESS OF PROJECT: Sidewalk in front of 835-845 Jackson Street, north line of Jackson St between James Alley & Stone Street
ASSESSOR'S BLOCK/LOT NO(S) If project is in public right-of-way, provide block/lot nos. of fronting property. Block 192 Lot 41

### B. Project Information

PROJECT TITLE / DESCRIPTION: Please Summarize and describe the project. Install 1 - fuel oil storage tank, 4 - PG&E transformer vaults and sewer lines parallel to the property line on Jackson St and Install 2 water storage tanks, 1 rain water storage tank, and 1 pump station vault partially on James Alley. (See Attached Comment #2	
PRESENT OR PREVIOUS USE: Sidewalk	PROPOSED USE:

### C. Applicant/Agent Information:

APPLICANT'S NAME: Linda Schumacher, COO, Chinese Hospital	APPLICANT'S SIGNATURE	
APPLICANTS ADDRESS: Chinese Hospital 845 Jackson Street San Francisco, CA 94133	PHONE: 415-677-2477	FAX:
	EMAIL: lindas@chasf.org	
AGENT'S NAME ( CONTACT FOR INFORMATION ): David Lem	COMPANY NAME: Stahl Lem Inc., Construction Manager	
AGENT'S ADDRESS: Stahl Lem Inc 900 Kearny St, Suite 500 San Francisco, CA 94108	PHONE: 415-677-2474	FAX:
	EMAIL: david@stahllem.com	

### D. City Department with Jurisdiction (submit additional sheets if necessary)

DEPARTMENT WITH JURISDICTION: Bureau of Street Use & Mapping, DPW <input type="checkbox"/> Check here if same as above		
NAME OF DEPARTMENT CONTACT: Rassendyll Dennis	SIGNATURE OF DEPARTMENT CONTACT:	
ADDRESS: Bureau Street Use & Mapping, DPW 875 Stevenson Street, Room 460 San Francisco, CA 94103	PHONE: 415-554-4683	FAX:
	EMAIL: rassendyll.dennis@sfdpw.org	

If more than one department has jurisdiction, attach additional sheets.

## PART 2. PROJECT INFORMATION CHECKLIST

### A. Project Checklist PROJECT & PROPOSED ACTION ( Please check all that apply )

#### Property or Open Space

- Acquisition / Lease
- Sale / Lease
- Change in Use
- Other ( Specify below )

#### Public Building or Structure

- New Construction
- Alteration
- Demolition
- Change in Use
- Acquisition / Lease
- Sale / Lease
- Other ( Specify below )

#### Redevelopment Area / Project

- New
- Major Change
- Other ( Specify below )

#### Sidewalk, Street, Transportation Route

- Widening less than 1 block\*
- Widening
- Narrowing
- Extension
- Encroachment Permit
- Street Vacation
- Abandonment
- Other ( Specify below )

#### Subdivision

- New
- Replat
- Lot Line Adjustment
- Other ( Specify below )

#### Public Housing

- New Construction
- Major Change
- Other ( Specify below )

#### Publicly Assisted Private Housing

- New Construction
- Major Change
- Other ( Specify below )

#### Capital Improvement Plan

- Annual Capital Expenditure Plan
- Six Year Capital Improvement Program
- Capital Improvement Project
- Other ( Specify below )

#### Long Term Financing Proposal

- General Obligation Bond
- General Revenue Bond
- Non-Profit Corporation Proposal
- Other ( Specify below )

\* Limited to bulb-outs, corner bulbs and sidewalk widening.

If Other, please specify ( attach additional sheets if necessary ):

Chinese Hospital is seeking the approval for the construction and installation of underground tanks and vaults:

1. One (1) 5,000 gallon fuel oil storage tank beneath the sidewalk on Jackson Street.
2. Four (4) PG&E electrical transformer vaults beneath the sidewalk on Jackson Street.
3. Sewer lines from the new hospital, parallel to the property line, but beneath the sidewalk on Jackson Street.
4. Two (2) 6,000 gallon water storage tanks on James Alley. One-half of James Alley is owned by Chinese Hospital. The other one-half is owned by the City. The storage tanks will be installed on Chinese Hospital property but will extend partially into the public alley.
5. A rain water storage tank on James Alley. The tank will be installed on Chinese Hospital property but will extend partially into the public alley.
6. A pump station vault on James Alley. The vault will be installed on Chinese Hospital property but will extend partially into the public alley.

5. That a diverse economic base be maintained by protecting our industrial and service sectors from displacement due to commercial office development, and that future opportunities for resident employment and ownership in these sectors be enhanced;

There will not displacement of industrial and services sectors as the storage tanks, transformer vaults, pump vault and sewer lines will be located beneath the sidewalk.

6. That the City achieve the greatest possible preparedness to protect against injury and loss of life in an earthquake;

The New Hospital will improve the health care for the community and emergency health services against injury and loss of life in an earthquake. The New Hospital will be built to current building code seismic requirements. The storage tanks, transformer vaults, pump vault and sewer line are critical to the operation of the New Hospital especially in preparation for emergency health care services required during an earthquake.

7. That landmarks and historic buildings be preserved; and

The installation of storage tanks, transformer vaults, pump vault and sewer line will not impact any landmark or historic buildings.

8. That our parks and open space and their access to sunlight and vistas be protected from development.

The installation of the storage tanks, transformer vaults, pump vault and sewer line will be beneath the sidewalk and will not impact parks and open space and their access to sunlight and vistas.



PART 4. APPLICATION CHECKLIST & APPLICANT AFFIDAVIT

A. Application Submittal Checklist

Applications must be accompanied by this checklist and required materials. The checklist is to be completed and signed by the applicant or authorized agent and the City Department with jurisdiction.

REQUIRED MATERIALS (Check if provided)	IF NOT PROVIDED, PLEASE EXPLAIN
<input type="checkbox"/> Two copies of the completed application, with all blanks filled in, signed by applicant and 2 copies of the following application materials:	
<input type="checkbox"/> Name and signature of City Department with jurisdiction over the project	
<input type="checkbox"/> Letter from Applicant, authorizing agent to represent applicant	
<input type="checkbox"/> Set of project drawings	
<input type="checkbox"/> Location Map (showing adjacent properties)	
<input type="checkbox"/> Site Plan	
<input type="checkbox"/> 8.5"x11" or 11"x17" Reduction of Site Plan	
<input type="checkbox"/> Architectural floors plans and elevations	
<input type="checkbox"/> Photographs of Project Site and its immediate vicinity, with viewpoints labeled	
<input type="checkbox"/> Planning Code Section 101.1 Prop. M Findings	
<input type="checkbox"/> Check payable to Planning Dept.	

B. Applicant's Affidavit

I certify the accuracy of the following declarations:

- a. The undersigned is the owner or authorized agent of the owner of this property.
- b. The information presented is true and correct to the best of my knowledge.
- c. I understand that other applications and information may be required.

Linda Schumacher  
Signature of Applicant

10-17-12  
Date

Linda Schumacher, COO, Chinese Hospital  
Name of Applicant or Authorized Agent (Type or Print)

\_\_\_\_\_  
Signature of City Department Representative (if City-sponsored Project)

\_\_\_\_\_  
Date

\_\_\_\_\_  
Name of City Department Representative (Type or Print)

After your case is assigned to a planner, you may be contacted and asked to provide an electronic version of this application including associated photos and drawings.



# CHINESE HOSPITAL

SAN FRANCISCO, CALIFORNIA

OSHPD # IS-072017 FACILITY NUMBER 14621

# INCREMENT NO. 2

OSHPD & CCSF RE-SUBMITTAL - CIVIL

CIVIL WITH UTILITY CONNECTIONS

19 FEBRUARY 2013



## SHEET INDEX

SHEET NUMBER	SHEET TITLE
C11	BOUNDARY MAP & SITE PLAN
C12	TOPOGRAPHIC SURVEY
C13	EXISTING HOSPITAL BASEMENT ELEVATIONS
C14	TOPOGRAPHIC SURVEY POWELL GARAGE
C15	SURROUNDING BUILDINGS ELEVATION PLAN
C16	EXISTING WATER LINES AND FIRE HYDRANTS
C21	EXISTING UTILITIES PLAN WITH EXISTING BUILDING ENTRANCES
C22	ON-SITE SURFACE DEKOLUTION PLAN
C31	HOSPITAL EXCAVATION PLAN
C32	STREET IMPROVEMENTS 845 JACKSON STREET
C41	SURFACE IMPROVEMENTS 835 JACKSON STREET
C42	UNDERGROUND IMPROVEMENTS 835 JACKSON STREET
C43	STREET IMPROVEMENTS JAMES ALLEY
C44	STREET IMPROVEMENTS STONE STREET
C45	STREET IMPROVEMENTS TRENTON STREET
C46	GRADING PLAN BEHIND EXISTING HOSPITAL
C51	GRADING PLAN FRONT OF NEW HOSPITAL
C52	DETAILS
C61	DETAILS
C62	DETAILS
C63	DETAILS
C64	DETAILS
C65	DETAILS
C66	DETAILS
C71	SWPPP PLAN
C72	SWPPP DETAILS
C73	SHORING AND UNDERPINNING LAYOUT
C81	PROPERTY LINE ANALYSIS
C91	P.O.B.E. VAULTS
C92	P.O.B.E. VAULTS



Issued For	Rev.	Date
CITY PERMITS	01	02/13/24
CITY PERMITS	02	02/13/24
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The information on this drawing was prepared by the consultant in accordance with the contract documents and the laws and regulations of the State of California. The consultant is not responsible for the accuracy of the information provided by the owner or other third parties.



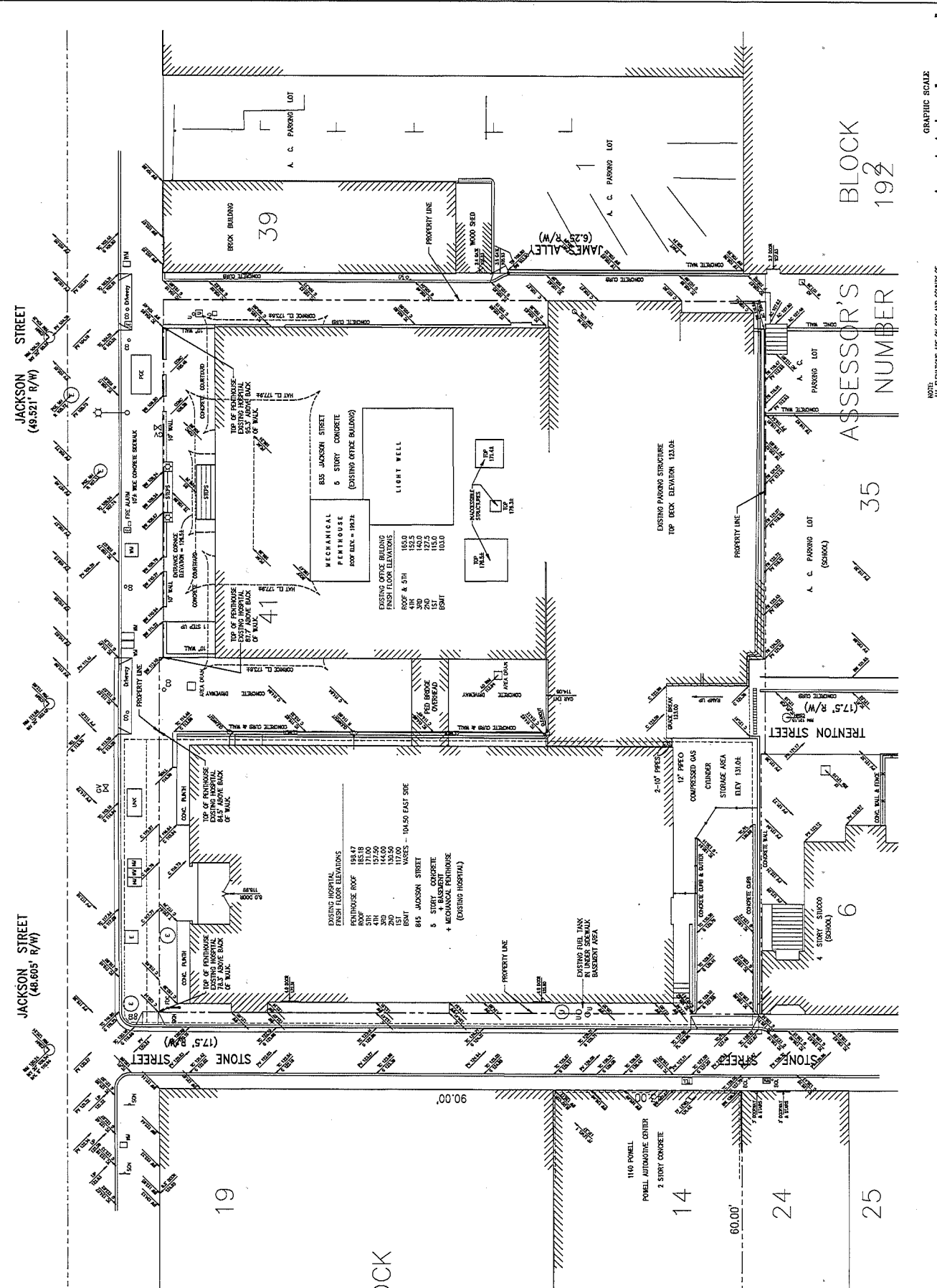
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 BY: [Signature]

Scale of Symbols  
 1" = 10'-0"



PROJECT NUMBER: 021328  
 DRAWING NUMBER: C1.2  
 DATE: 10/29/20

TOPOGRAPHIC SURVEY



ALL ELEVATIONS ARE ON CITY AND COUNTY OF SAN FRANCISCO DATUM.

BLOCK 192  
 ASSESSOR'S NUMBER 35

JACKSON STREET (49.521' R/W)  
 JACKSON STREET (48.605' R/W)  
 STONE STREET (17.5' R/W)  
 TRENTON STREET (17.5' R/W)  
 JAMES ALLEY (6.25' R/W)

BRICK BUILDING 39  
 MECHANICAL PENHOUSE ROOF ELEV. = 192.3  
 LIGHT WELL  
 EXISTING OFFICE BUILDING ROOF & 5TH FLOOR ELEVATIONS: 185.0, 187.0, 190.0, 192.0, 194.0, 196.0, 198.0, 200.0, 202.0, 204.0, 206.0, 208.0, 210.0, 212.0, 214.0, 216.0, 218.0, 220.0, 222.0, 224.0, 226.0, 228.0, 230.0, 232.0, 234.0, 236.0, 238.0, 240.0, 242.0, 244.0, 246.0, 248.0, 250.0, 252.0, 254.0, 256.0, 258.0, 260.0, 262.0, 264.0, 266.0, 268.0, 270.0, 272.0, 274.0, 276.0, 278.0, 280.0, 282.0, 284.0, 286.0, 288.0, 290.0, 292.0, 294.0, 296.0, 298.0, 300.0, 302.0, 304.0, 306.0, 308.0, 310.0, 312.0, 314.0, 316.0, 318.0, 320.0, 322.0, 324.0, 326.0, 328.0, 330.0, 332.0, 334.0, 336.0, 338.0, 340.0, 342.0, 344.0, 346.0, 348.0, 350.0, 352.0, 354.0, 356.0, 358.0, 360.0, 362.0, 364.0, 366.0, 368.0, 370.0, 372.0, 374.0, 376.0, 378.0, 380.0, 382.0, 384.0, 386.0, 388.0, 390.0, 392.0, 394.0, 396.0, 398.0, 400.0, 402.0, 404.0, 406.0, 408.0, 410.0, 412.0, 414.0, 416.0, 418.0, 420.0, 422.0, 424.0, 426.0, 428.0, 430.0, 432.0, 434.0, 436.0, 438.0, 440.0, 442.0, 444.0, 446.0, 448.0, 450.0, 452.0, 454.0, 456.0, 458.0, 460.0, 462.0, 464.0, 466.0, 468.0, 470.0, 472.0, 474.0, 476.0, 478.0, 480.0, 482.0, 484.0, 486.0, 488.0, 490.0, 492.0, 494.0, 496.0, 498.0, 500.0, 502.0, 504.0, 506.0, 508.0, 510.0, 512.0, 514.0, 516.0, 518.0, 520.0, 522.0, 524.0, 526.0, 528.0, 530.0, 532.0, 534.0, 536.0, 538.0, 540.0, 542.0, 544.0, 546.0, 548.0, 550.0, 552.0, 554.0, 556.0, 558.0, 560.0, 562.0, 564.0, 566.0, 568.0, 570.0, 572.0, 574.0, 576.0, 578.0, 580.0, 582.0, 584.0, 586.0, 588.0, 590.0, 592.0, 594.0, 596.0, 598.0, 600.0, 602.0, 604.0, 606.0, 608.0, 610.0, 612.0, 614.0, 616.0, 618.0, 620.0, 622.0, 624.0, 626.0, 628.0, 630.0, 632.0, 634.0, 636.0, 638.0, 640.0, 642.0, 644.0, 646.0, 648.0, 650.0, 652.0, 654.0, 656.0, 658.0, 660.0, 662.0, 664.0, 666.0, 668.0, 670.0, 672.0, 674.0, 676.0, 678.0, 680.0, 682.0, 684.0, 686.0, 688.0, 690.0, 692.0, 694.0, 696.0, 698.0, 700.0, 702.0, 704.0, 706.0, 708.0, 710.0, 712.0, 714.0, 716.0, 718.0, 720.0, 722.0, 724.0, 726.0, 728.0, 730.0, 732.0, 734.0, 736.0, 738.0, 740.0, 742.0, 744.0, 746.0, 748.0, 750.0, 752.0, 754.0, 756.0, 758.0, 760.0, 762.0, 764.0, 766.0, 768.0, 770.0, 772.0, 774.0, 776.0, 778.0, 780.0, 782.0, 784.0, 786.0, 788.0, 790.0, 792.0, 794.0, 796.0, 798.0, 800.0, 802.0, 804.0, 806.0, 808.0, 810.0, 812.0, 814.0, 816.0, 818.0, 820.0, 822.0, 824.0, 826.0, 828.0, 830.0, 832.0, 834.0, 836.0, 838.0, 840.0, 842.0, 844.0, 846.0, 848.0, 850.0, 852.0, 854.0, 856.0, 858.0, 860.0, 862.0, 864.0, 866.0, 868.0, 870.0, 872.0, 874.0, 876.0, 878.0, 880.0, 882.0, 884.0, 886.0, 888.0, 890.0, 892.0, 894.0, 896.0, 898.0, 900.0, 902.0, 904.0, 906.0, 908.0, 910.0, 912.0, 914.0, 916.0, 918.0, 920.0, 922.0, 924.0, 926.0, 928.0, 930.0, 932.0, 934.0, 936.0, 938.0, 940.0, 942.0, 944.0, 946.0, 948.0, 950.0, 952.0, 954.0, 956.0, 958.0, 960.0, 962.0, 964.0, 966.0, 968.0, 970.0, 972.0, 974.0, 976.0, 978.0, 980.0, 982.0, 984.0, 986.0, 988.0, 990.0, 992.0, 994.0, 996.0, 998.0, 1000.0

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Issued For	Rev.	Date
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FOR REVIEW	49	08.13.18
FOR REVIEW	50	08.13.18

The information on this drawing was prepared by the consultant under the supervision of the consultant's professional staff. The consultant is not responsible for the accuracy of the information provided by the owner or for the accuracy of the information provided by the owner's consultants.



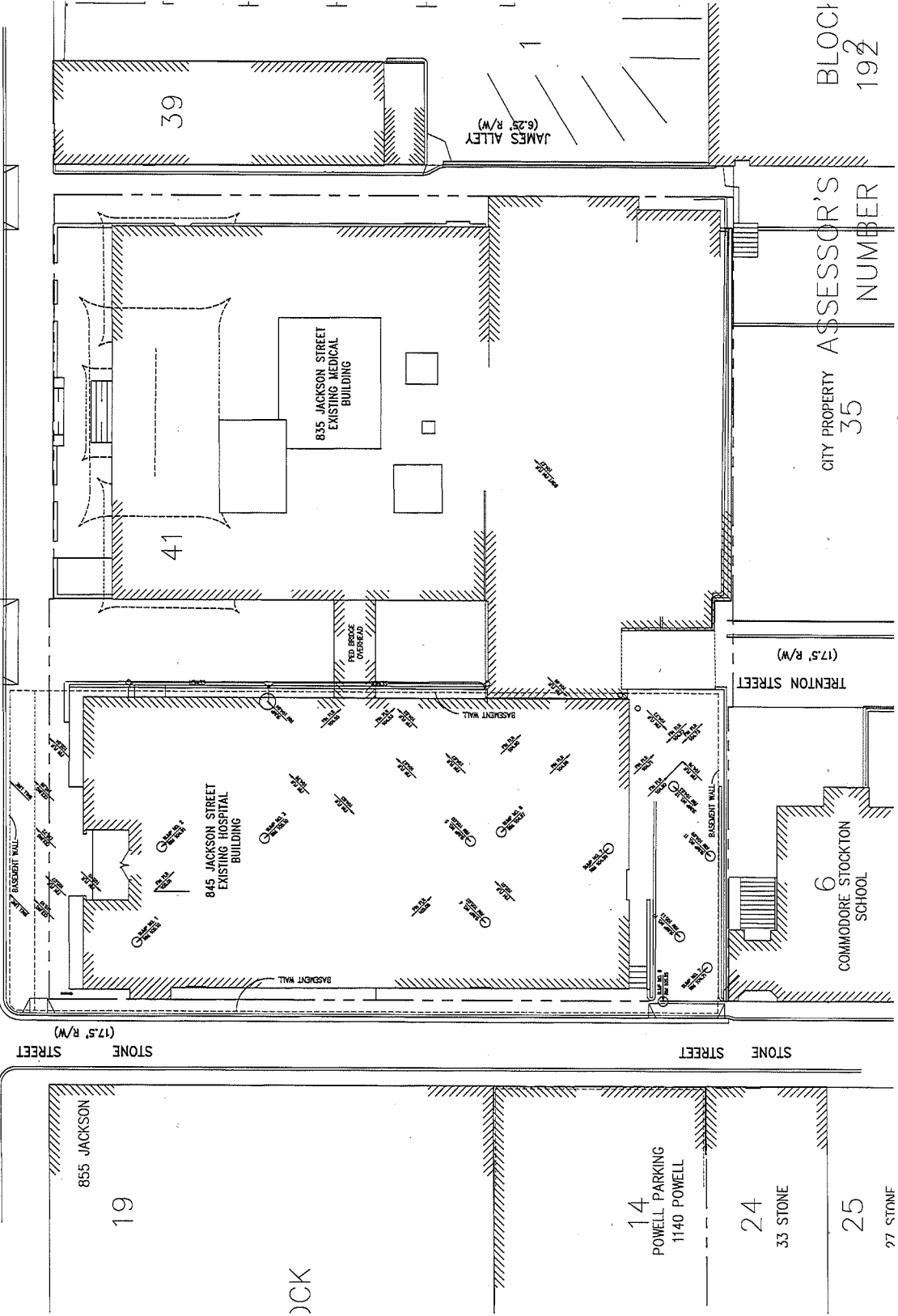
Scale and Signature

APPROVED  
 PROJECT MANAGER  
 DATE



Project Number: 023334  
 Drawing Number: **C1.3**  
 Date: 10/27/19

JACKSON STREET  
 (48.605' R/W)



**CHINESE HOSPITAL**

845 JACKSON STREET  
SAN FRANCISCO, CA

OSHPD # 18-072017  
Facility Number 14621  
**NEW ACUTE CARE HOSPITAL & SKILLED NURSING UNIT**

**JACOBS**  
3000 West Portal Expressway  
Daly City, CA 94015  
Phone: 214-624-7600

CONTRACTOR:  
**ARUP**  
1500 RAYBURN DRIVE  
DALLAS, TEXAS 75201

OWNER CONSULTANT:  
**ICA ENGINEERS**  
1000 MARKET STREET  
TREASUNWELL & ROLLY

**KCA ENGINEERS INC.**  
CONSULTING CIVIL ENGINEERS  
1111 MARKET STREET  
SUITE 1000  
SAN FRANCISCO, CA 94102  
PHONE: 415-774-2200

ISSUED FOR	REV.	DATE
CITY PERMITS	1	08/11/17
FOR REVIEW	2	08/11/17
FOR REVIEW	3	08/11/17
FOR REVIEW	4	08/11/17
FOR REVIEW	5	08/11/17
FOR REVIEW	6	08/11/17
FOR REVIEW	7	08/11/17
FOR REVIEW	8	08/11/17
FOR REVIEW	9	08/11/17
FOR REVIEW	10	08/11/17

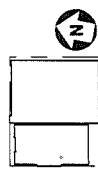
Scale and Signature

The signature of the Engineer is a true and correct copy of the original and is not to be used for any other purpose without the written consent of the Engineer.



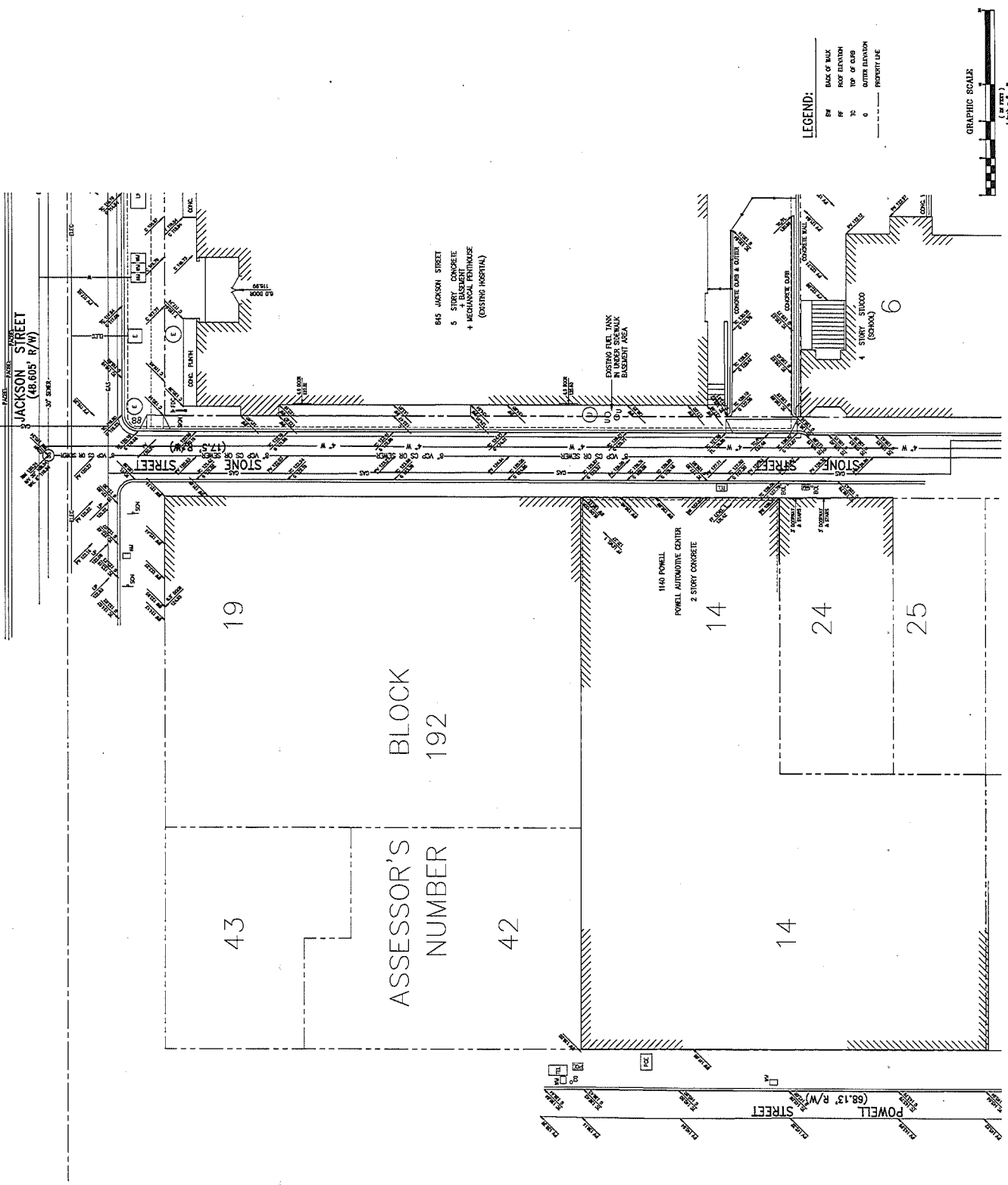
APPROVED  
BY THE BOARD OF SUPERVISORS  
COUNTY OF SAN FRANCISCO

DATE OF APPROVAL  
FACILITY OCCUPANCY PERMIT



Scale: 1/8" = 1'-0"  
**TOPOGRAPHIC SURVEY**  
**POWELL GARAGE**  
Project Number: 081338  
Drawn: JAC

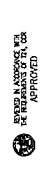
**C1.4**  
10/07/19



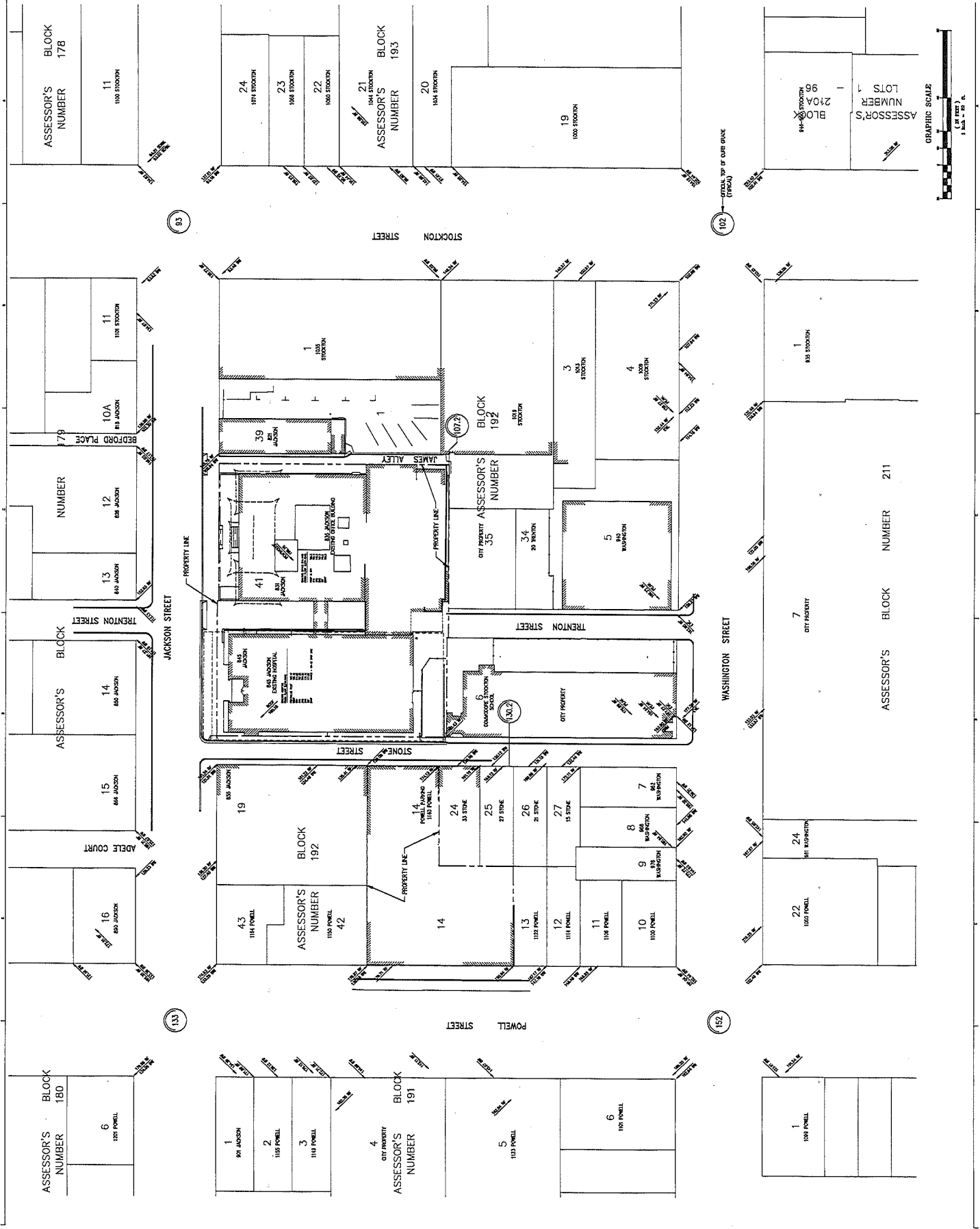
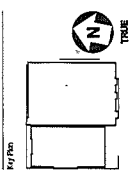
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DTT PERMITS	01	05/11/10
DTT ERECTION	01	05/11/10
DTT MECHANICAL	01	05/11/10
DTT ELECTRICAL	01	05/11/10
DTT PLUMBING	01	05/11/10
DTT CONCRETE	01	05/11/10
DTT FINISHES	01	05/11/10
DTT GENERAL	01	05/11/10

Scale and Symbols

**LEGEND**  
 This information is provided for informational purposes only and does not constitute a contract. The accuracy of this information is not guaranteed by the manufacturer.



THIS PROJECT HAS BEEN REVIEWED BY THE ARCHITECT AND APPROVED.



CHINESE HOSPITAL  
846 JACKSON STREET  
SAN FRANCISCO, CA

OSHPD # 19-072017  
Facility Number 4604  
NEW ACUTE CARE HOSPITAL & SKILLED NURSING UNIT  
JACOBS  
608 North Market Embarcadero  
San Francisco, CA 94111  
Phone: 214.924.7500

CONSULTANT:  
AUP  
MARTIN ASSOCIATES  
1000 MARKET STREET  
SAN FRANCISCO, CA 94102

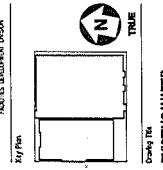
OWNER CONSULTANT:  
KCA ENGINEERS  
TREATYWELL & BULL  
1000 MARKET STREET  
SAN FRANCISCO, CA 94102

KCA ENGINEERS INC.  
CONSULTING ENGINEERS  
1000 MARKET STREET  
SAN FRANCISCO, CA 94102  
TEL: 415.774.4111  
WWW.KCAENGINEERS.COM

SEAL AND SIGNATURE  
DATE: 10/21/10

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APPROVED  
DATE: 10/21/10  
PROJECT NUMBER: 19-072017



EXISTING WATER LINES AND FIRE HYDRANTS  
PROJECT NUMBER: 19-072017  
DATE: 10/21/10

LOCAL FIRE AUTHORITY APPROVAL  
PROJECT # 138719017-36  
ADDRESS: 846 JACKSON ST  
CITY: SAN FRANCISCO, CA  
LOCAL FIRE AUTHORITY APPROVAL CODE

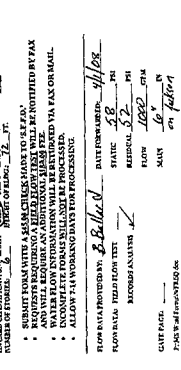
LOCAL FIRE AUTHORITY APPROVAL  
PROJECT # 138719017-36  
ADDRESS: 846 JACKSON ST  
CITY: SAN FRANCISCO, CA  
LOCAL FIRE AUTHORITY APPROVAL CODE

# LOCAL FIRE AUTHORITY APPROVAL

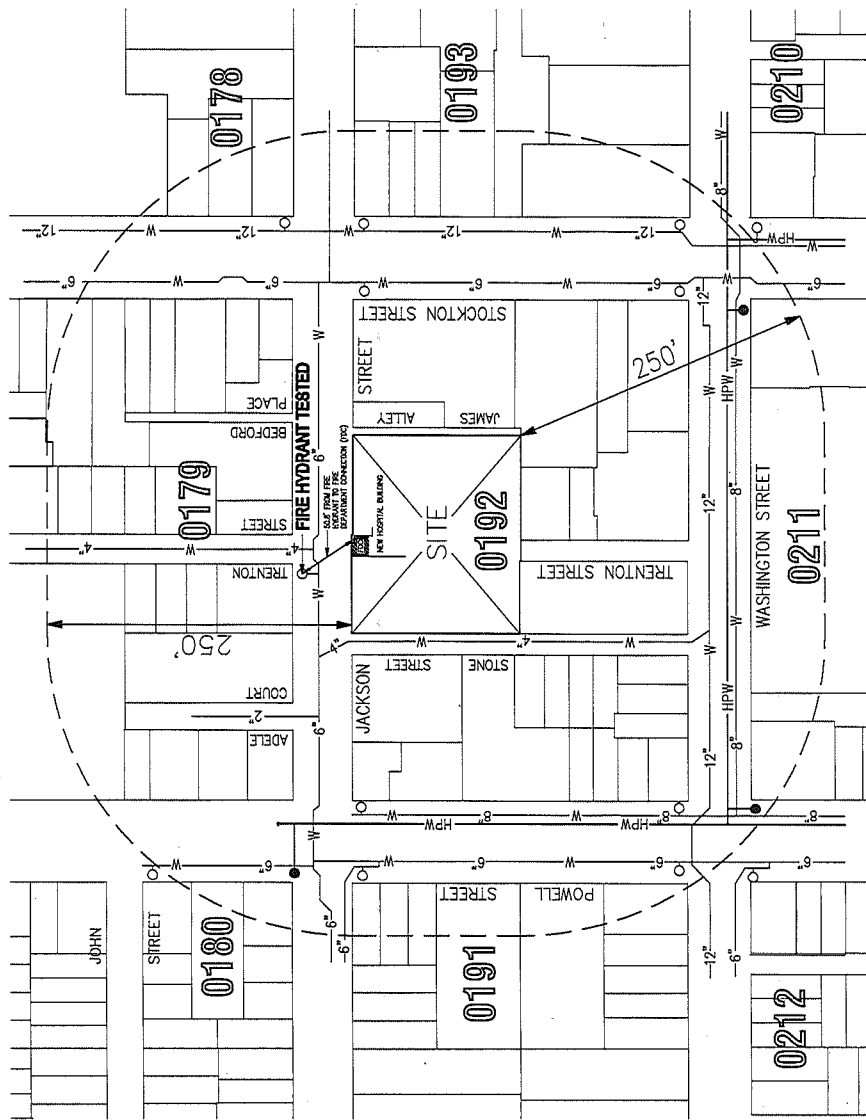
SAN FRANCISCO FIRE DEPARTMENT  
BUREAU OF FIRE PREVENTION AND INSPECTION  
1400 MARKET STREET, SAN FRANCISCO, CA 94102  
CONTACT: INSPECTION DIVISION (415) 558-6600

## REQUEST FOR WATER INFORMATION

DATE: 3/15/10  
WORKSHEET: KCA Engineers  
CONTACT PERSON: KCA  
PROJECT: NEW ACUTE CARE HOSPITAL & SKILLED NURSING UNIT  
ADDRESS FOR WATER INFORMATION: PROVIDE WATER INFORMATION TO THE FIRE DEPARTMENT  
CROSS STREET (IF APPLICABLE): JACKSON ST. & WASHINGTON ST.

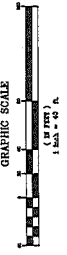


## PRESSURE TEST RESULTS



October 19, 2007  
Fire Hydrant Test Report  
Site: 846 Jackson Street - San Francisco, CA 94102  
Inspector: [Signature]  
City: San Francisco, CA

LEGEND  
0212 ASSESSOR'S BLOCK NUMBER  
○ LOW PRESSURE HYDRANT  
● HIGH PRESSURE HYDRANT



STATE OF CALIFORNIA - DEPARTMENT OF PUBLIC SAFETY  
FIRE PREVENTION DIVISION



**CHINESE HOSPITAL**  
 843 JACKSON STREET  
 SAN FRANCISCO, CA

OSHPD # 19-02917  
 Facility Number 14821  
**NEW ACUTE CARE HOSPITAL & SKILLED NURSING UNIT**

**JACOBS**  
 668 North David Expressway  
 Dallas, TX 75206  
 Phone: 214.424.7500

CONSULTANTS:  
 ARUP  
 MAZZETTI & ASSOCIATES  
 1177 MARKET STREET  
 SAN FRANCISCO, CA

OWNER CONSULTANT:  
 ICA ENGINEERS  
 TREADWELL & ROLLY

ICA ENGINEERS INC.  
 CONSULTING ENGINEERS  
 & LAND SURVEYORS  
 1177 MARKET STREET  
 SAN FRANCISCO, CA  
 94102-4000  
 TEL: 415.774.2200  
 FAX: 415.774.2201

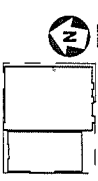
Item No.	Desc.	Unit	QTY	PRICE	TOTAL
1	PERMITS				
2	CONTRACT ADMINISTRATION				
3	UTILITY ASSESSMENT				
4	CONSTRUCTION ADMINISTRATION				
5	CONSTRUCTION MANAGEMENT				
6	CONSTRUCTION SUPERVISION				
7	CONSTRUCTION INSPECTION				
8	CONSTRUCTION TESTING				
9	CONSTRUCTION MATERIALS TESTING				
10	CONSTRUCTION LABORATORY TESTING				
11	CONSTRUCTION EQUIPMENT TESTING				
12	CONSTRUCTION SAFETY MONITORING				
13	CONSTRUCTION DOCUMENT PREPARATION				
14	CONSTRUCTION BIDDING ASSISTANCE				
15	CONSTRUCTION CONTRACT ADMINISTRATION				
16	CONSTRUCTION CLAIMS ASSISTANCE				
17	CONSTRUCTION SCHEDULING				
18	CONSTRUCTION COST ESTIMATION				
19	CONSTRUCTION PAYROLL ESTIMATION				
20	CONSTRUCTION MATERIALS ESTIMATION				
21	CONSTRUCTION LABOR ESTIMATION				
22	CONSTRUCTION EQUIPMENT ESTIMATION				
23	CONSTRUCTION SUBMITTALS				
24	CONSTRUCTION MEETINGS				
25	CONSTRUCTION REPORTS				
26	CONSTRUCTION RECORDS				
27	CONSTRUCTION CLOSEOUT				
28	CONSTRUCTION DEFECTS				
29	CONSTRUCTION WARRANTY				
30	CONSTRUCTION TRAINING				
31	CONSTRUCTION COMMUNITY RELATIONS				
32	CONSTRUCTION PUBLIC AFFAIRS				
33	CONSTRUCTION LEGAL COUNSEL				
34	CONSTRUCTION FINANCIAL ASSISTANCE				
35	CONSTRUCTION RISK MANAGEMENT				
36	CONSTRUCTION SUSTAINABILITY				
37	CONSTRUCTION ACCESSIBILITY				
38	CONSTRUCTION SECURITY				
39	CONSTRUCTION INSURANCE				
40	CONSTRUCTION TAX ASSISTANCE				
41	CONSTRUCTION ENVIRONMENTAL				
42	CONSTRUCTION HISTORIC PRESERVATION				
43	CONSTRUCTION ARCHITECTURAL				
44	CONSTRUCTION INTERIOR DESIGN				
45	CONSTRUCTION LANDSCAPE ARCHITECTURE				
46	CONSTRUCTION CIVIL ENGINEERING				
47	CONSTRUCTION MECHANICAL ENGINEERING				
48	CONSTRUCTION ELECTRICAL ENGINEERING				
49	CONSTRUCTION PLUMBING ENGINEERING				
50	CONSTRUCTION STRUCTURAL ENGINEERING				
51	CONSTRUCTION GEOTECHNICAL ENGINEERING				
52	CONSTRUCTION ENVIRONMENTAL ENGINEERING				
53	CONSTRUCTION TRANSPORTATION ENGINEERING				
54	CONSTRUCTION AEROSPACE ENGINEERING				
55	CONSTRUCTION CHEMICAL ENGINEERING				
56	CONSTRUCTION METALLURGICAL ENGINEERING				
57	CONSTRUCTION INDUSTRIAL ENGINEERING				
58	CONSTRUCTION AGRICULTURAL ENGINEERING				
59	CONSTRUCTION MARINE ENGINEERING				
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70	CONSTRUCTION AERONAUTICAL ENGINEERING				

The preparation of these documents and the performance of the work herein are the responsibility of the professional engineer or architect who has signed these documents.

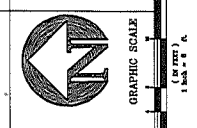
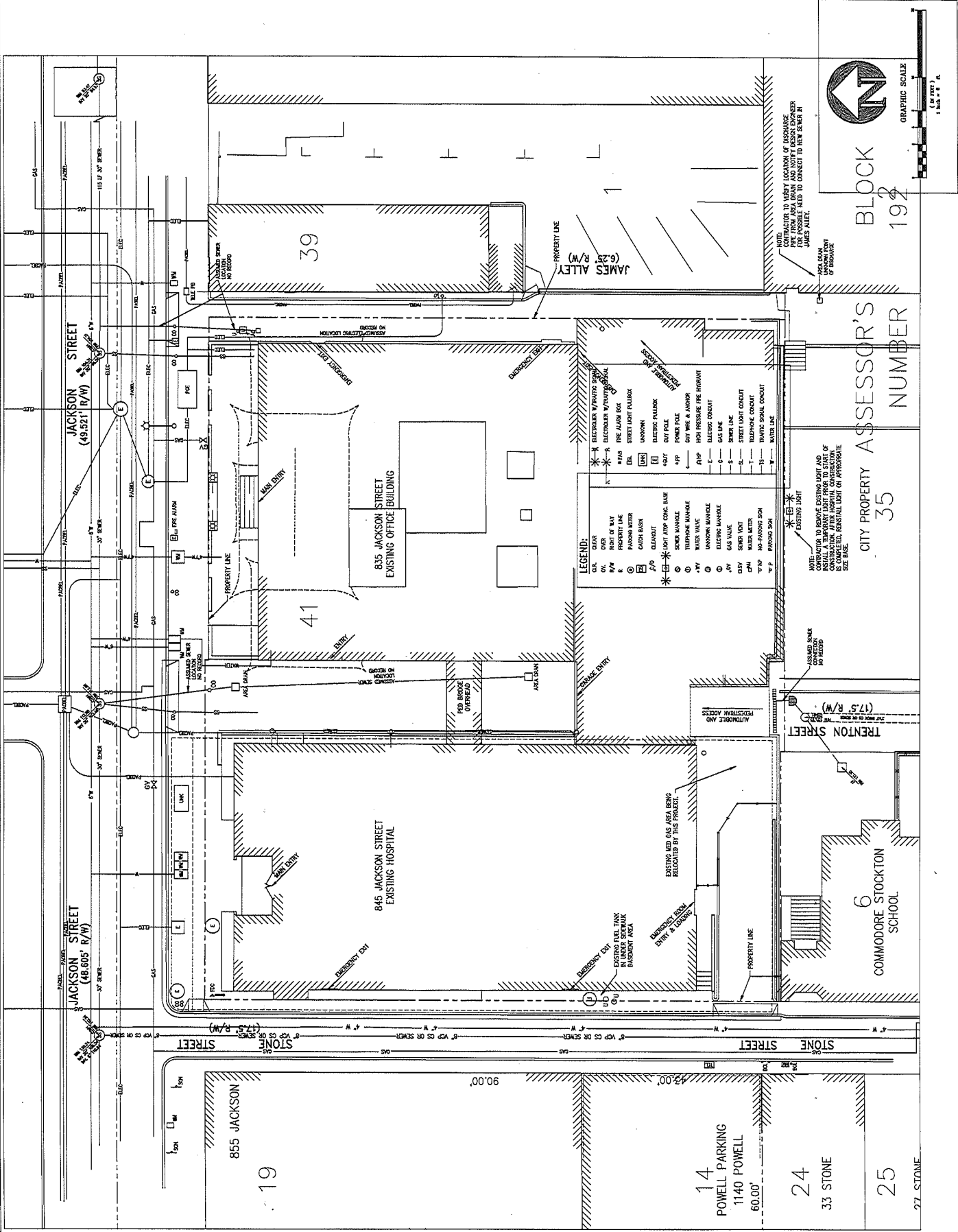


APPROVED  
 ICA ENGINEERS INC.  
 1177 MARKET STREET  
 SAN FRANCISCO, CA 94102-4000  
 TEL: 415.774.2200  
 FAX: 415.774.2201

Scale of Symbols: 1/8" = 1'-0"  
 NOTES: SEE EXISTING RECORD DRAWINGS FOR UTILITY LOCATIONS.



EXISTING UTILITIES PLAN WITH EXISTING BUILDING ENTRANCES  
 Project Number: 010338  
 Drawing Number: C2.2  
 Date: 10/09/10



BLOCK 192  
 CITY PROPERTY ASSESSOR'S NUMBER 35  
 GRAPHIC SCALE  
 1" = 60' 0"

NOTE: THIS IS AN EXISTING UTILITIES PLAN. ALL UTILITIES SHOWN ARE BASED ON RECORD DRAWINGS AND FIELD SURVEY. THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO START OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND RECORDS FROM THE CITY OF SAN FRANCISCO.

NOTE: THE EXISTING GAS AREA BEING RELOCATED BY THIS PROJECT.

EXISTING FUEL TANKS IN UNDER SEWERAGE BUDGET AREA

EXISTING MED GAS AREA BEING RELOCATED BY THIS PROJECT.

EXISTING FUEL TANKS IN UNDER SEWERAGE BUDGET AREA

EXISTING FUEL TANKS IN UNDER SEWERAGE BUDGET AREA





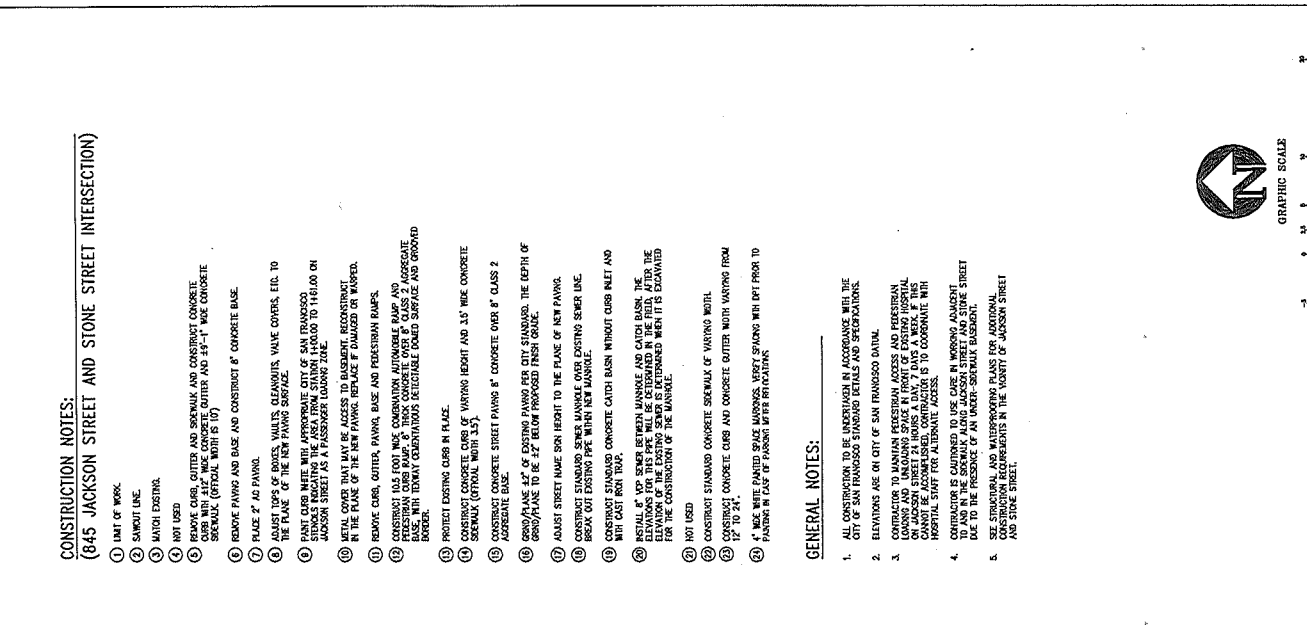
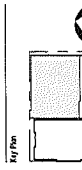
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50	1	08/11/10

This signature of CA represents the approval of the design and construction of the project. It is not a warranty of the design and construction of the project. It is not a guarantee of the performance of the project. It is not a statement of the value of the project. It is not a statement of the cost of the project. It is not a statement of the time of the project. It is not a statement of the location of the project. It is not a statement of the nature of the project. It is not a statement of the scope of the project. It is not a statement of the content of the project. It is not a statement of the quality of the project. It is not a statement of the quantity of the project. It is not a statement of the condition of the project. It is not a statement of the status of the project. It is not a statement of the progress of the project. It is not a statement of the completion of the project. It is not a statement of the termination of the project. It is not a statement of the expiration of the project. It is not a statement of the termination of the project. It is not a statement of the expiration of the project.

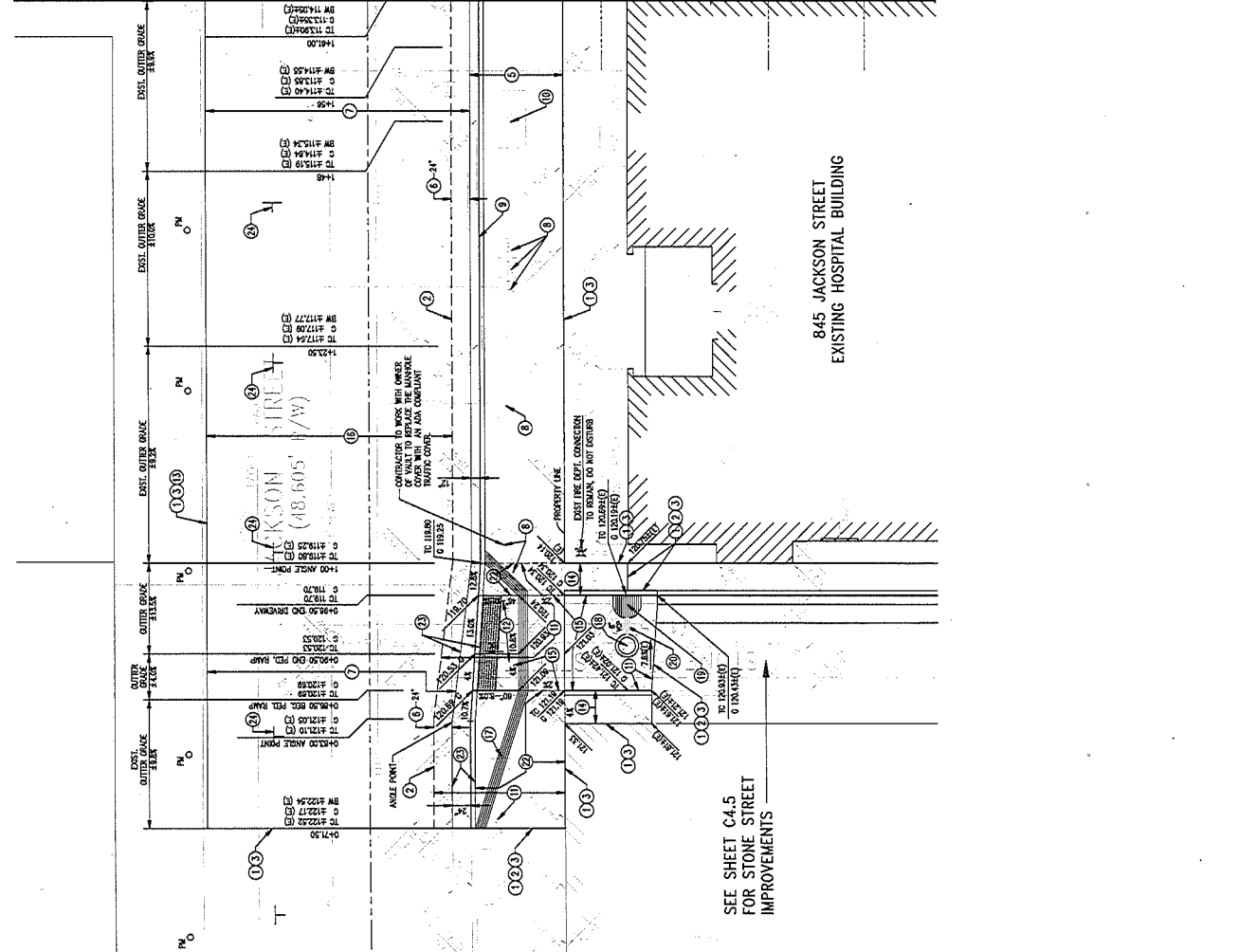


DESIGNED BY: JACOBS  
 CHECKED BY: ADP  
 APPROVED BY: [Signature]

Scale of Approach  
 INDICATED OTHERWISE



MATCHLINE STA. 1+61.00 ~ SEE DRAWING C4.2 FOR SURFACE IMPROVEMENTS  
 MATCHLINE STA. 1+61.00 ~ SEE DRAWING C4.3 FOR UNDERGROUND IMPROVEMENTS



SEE SHEET C4.5 FOR STONE STREET IMPROVEMENTS

OSHPD #18-072017  
 Facility Number 14621  
**NEW ACUTE CARE HOSPITAL & SKILLED NURSING UNIT**

**JACOBS**  
 668 North Central Expressway  
 Suite 100  
 Dallas, TX 75206  
 Phone: 214.424.7600

CONSULTANT:  
 ARUP  
 MAZZETTI LABORATORIES  
 1100 W. 14th Street  
 San Francisco, CA 94115

OWNER CONSULTANT:  
 HCA ENGINEERS  
 1000 Market Street  
 Third Floor  
 San Francisco, CA 94102

163 INVESTORS, INC.  
 CONSULTING CIVIL ENGINEERS  
 A LIAISON SERVICES  
 1000 Market Street  
 Third Floor  
 San Francisco, CA 94102

Issued For	Rev.	Date
CITY PERMITS	01	02/19
CITY PERMITS	02	02/19
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CITY PERMITS	100	02/19

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APPROVED FOR THE CITY OF SAN FRANCISCO  
 PUBLIC WORKS DEPARTMENT

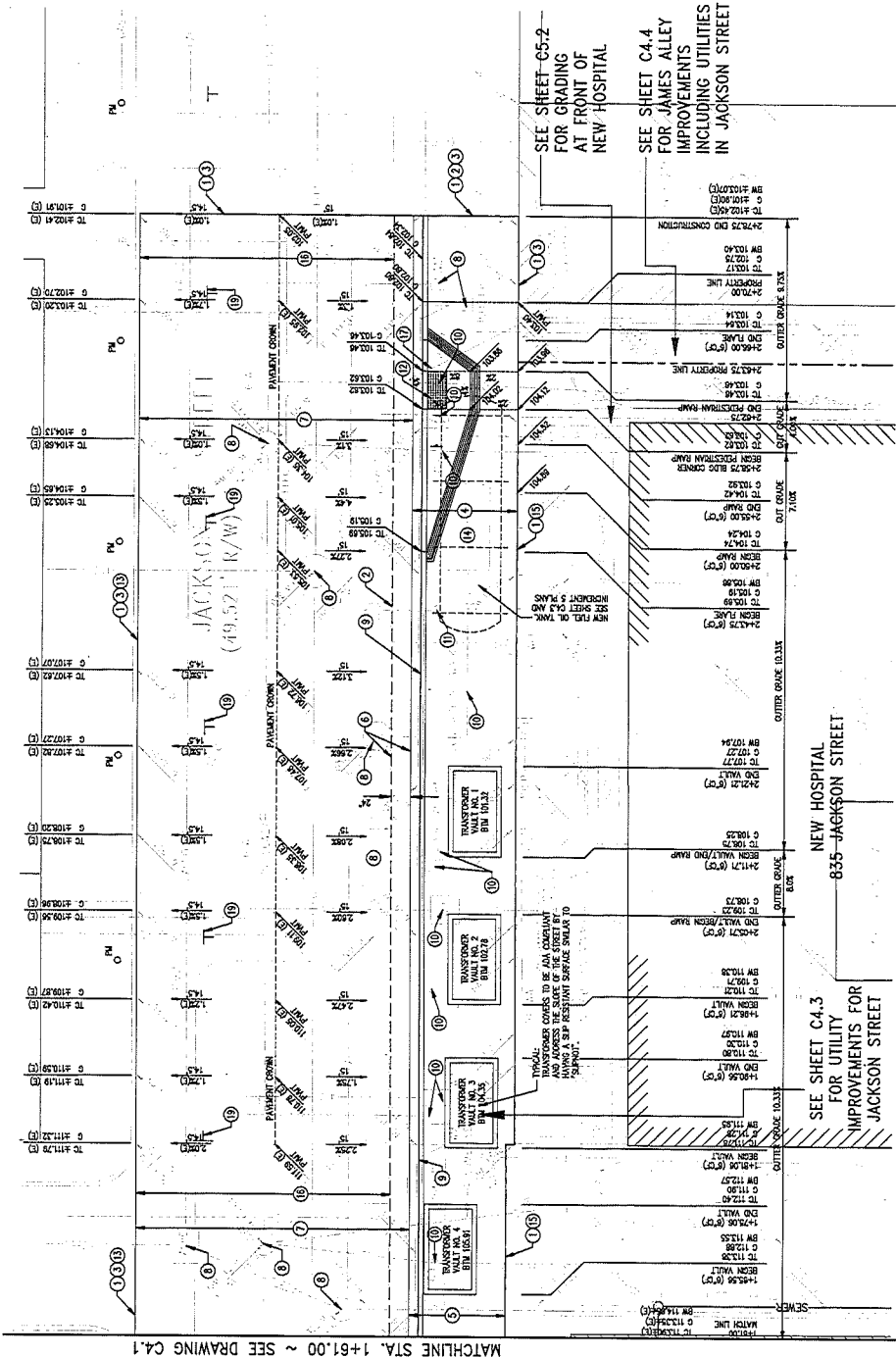
Scale of 1/8" = 1'-0"  
 1/8" = 1'-0"

DATE: 02/19/19  
 SURFACE IMPROVEMENTS  
 835 JACKSON STREET

PROJECT NUMBER: 021334  
 DRAWING NUMBER: C4.2  
 DATE: 10/04/19

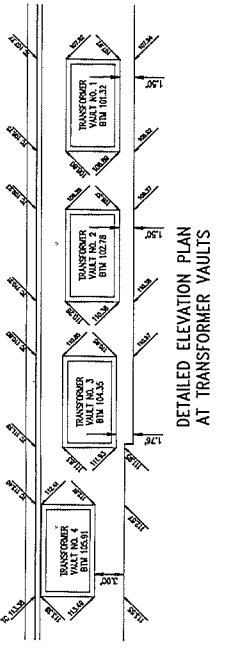
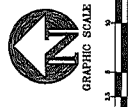
**CONSTRUCTION NOTES:**  
 (835 JACKSON STREET)

1. LIMIT OF WORK.
2. MATCH LINE.
3. MATCH EXISTING.
4. REMOVE CURB, OUTER AND SIDEWALK AND CONSTRUCT CONCRETE SIDEWALK (OFFICIAL MOTION IS TO).
5. REMOVE CURB, OUTER AND SIDEWALK AND CONSTRUCT CONCRETE CURB WITH 4" W.C. CONCRETE OUTER AND 4" W.C. CONCRETE SIDEWALK (OFFICIAL MOTION IS TO).
6. REMOVE PAVING AND BASE AND CONSTRUCT 8" CONCRETE BASE.
7. PLACE 4" AC PAVING TO GRADES SHOWN.
8. MATCH TOP OF JACKETS, VALVES, REGISTERS, VALVE COVERS, ETC. TO THE GRADE OF THE NEW PAVING SURFACE.
9. PAINT CURB WHITE WITH APPLICABLE CITY OF SAN FRANCISCO STANDARDS REGARDING THE AREA FROM STATION 149 TO 2138.75 ON JACKSON STREET AS A PASSERBY LOADING ZONE.
10. EXISTING STRUCTURES AND LATERALS TO BE REMOVED FOR THE REPAIRMENTS OF THE ASBESTIC CEMENT CHIMNEY.
11. REMOVE STREET LIGHT AND BASE.
12. CONSTRUCT 11.25 FOOT WIDE COMBINATION AUTOMOBILE RAMP AND BICYCLE RAMP WITH 4" W.C. CONCRETE OVER 8" CLASS 2 AGGREGATE BASE WITH 10% CURB AND 10% SIDEWALK SURFACE AND GRADED DORNER.
13. PROTECT EXISTING CURB IN PLACE.
14. EXISTING TRANSFORMER VAULT TO BE REMOVED. COORDINATE WITH PG & E.
15. MATCH CHIMNEY AT NEW HOSPITAL BUILDING.
16. GRAD/PAVE 4" OF EXISTING PAVING PER CITY STANDARDS. THE DEPTH OF GRAD/PAVE TO BE 4" BELOW PROPOSED FINISH GRADE.
17. RELOCATE STREET NAME SIGN TO (7A).
18. NOT USED.
19. 4" W.C. MATCH EXISTING CURB JACKETS, VALVE SPACING WITH LEFT PAVEMENT PAINTING IN CASE OF PAVING DEEP RELATIONS.



**GENERAL NOTES:**

1. ALL CONSTRUCTION TO BE INSTALLED IN ACCORDANCE WITH THE CITY OF SAN FRANCISCO STANDARD DETAILS AND SPECIFICATIONS.
2. ELEVATIONS ARE ON CITY OF SAN FRANCISCO DATUM.
3. CONTRACTOR TO MAINTAIN PEDESTRIAN ACCESS AND PEDESTRIAN LOADING AND UNLOADING SPACE IN FRONT OF EXISTING HOSPITAL BUILDING. CONTRACTOR SHALL MAINTAIN PEDESTRIAN ACCESS AND UNLOADING SPACE IN FRONT OF EXISTING HOSPITAL BUILDING. CONTRACTOR SHALL MAINTAIN PEDESTRIAN ACCESS AND UNLOADING SPACE IN FRONT OF EXISTING HOSPITAL BUILDING. CONTRACTOR SHALL MAINTAIN PEDESTRIAN ACCESS AND UNLOADING SPACE IN FRONT OF EXISTING HOSPITAL BUILDING.
4. CONTRACTOR IS CAUTIONED TO USE CARE IN WORKING ADJACENT EXISTING STRUCTURES AND UTILITIES. CONTRACTOR SHALL MAINTAIN PEDESTRIAN ACCESS AND UNLOADING SPACE IN FRONT OF EXISTING HOSPITAL BUILDING.
5. SEE STRUCTURAL AND WATERWORKS PLANS FOR ADDITIONAL CONSTRUCTION REQUIREMENTS IN THE VICINITY OF JACKSON STREET AND STORE STREET.



MATCHLINE STA. 1+61.00 ~ SEE DRAWING C4.1



CHINESE HOSPITAL  
845 JACKSON STREET  
SAN FRANCISCO, CA

OSHPD #18-07017  
Facility Number 14631  
NEW ACUTE CARE HOSPITAL & SKILLED NURSING UNIT

JACOBS  
300 South Park Avenue  
P.O. Box 1239  
Boca Raton, FL 33432  
Phone: 248-771-1600

CONSULTANTS:  
ASHP  
PETER J. B. JOHNSON & ASSOCIATES  
1020 UNIVERSITY AVENUE  
SUITE 1100  
SAN FRANCISCO, CA 94108

OWNER CONSULTANTS:  
KIMBERLY H. WOOD  
KIMBERLY H. WOOD & ASSOCIATES  
2400 CALIFORNIA STREET  
SAN FRANCISCO, CA 94115  
PHONE: 415-398-5000

BID SET 07-

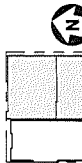
KCA ENGINEERS INC.  
CONSULTING ENGINEERS  
1020 UNIVERSITY AVENUE  
SUITE 1100  
SAN FRANCISCO, CA 94108  
PHONE: 415-774-1000

Item	Qty	Unit	Material
1			CITY STREET LIGHT
2			TRAFFIC SIGNAL
3			TRAFFIC SIGNAL
4			TRAFFIC SIGNAL
5			TRAFFIC SIGNAL

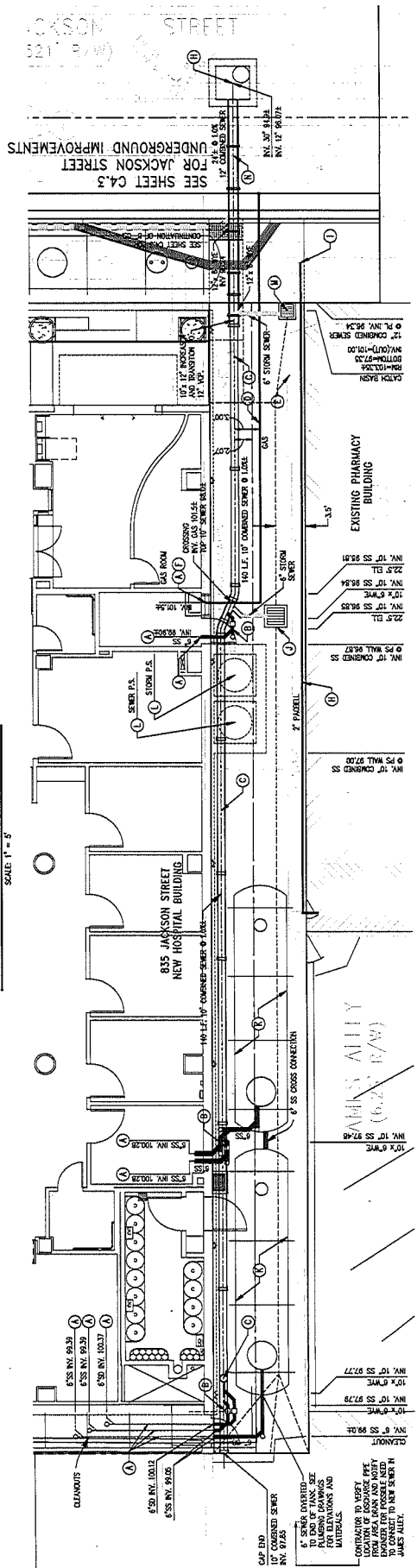
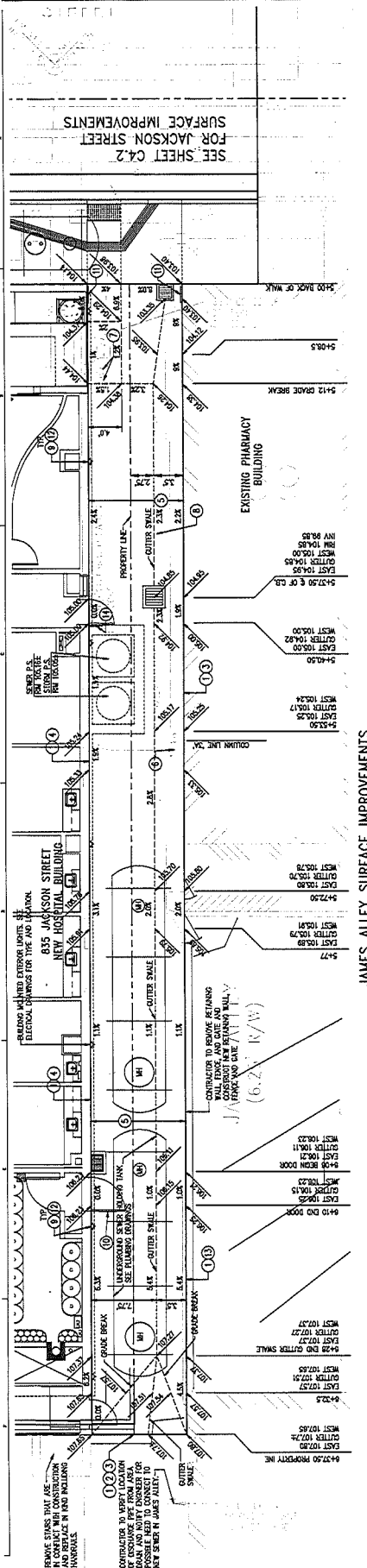
1. The signature of all responsible persons and the seal of the professional engineer is required for the drawings and specifications. The signature of the professional engineer is required for the specifications.



APPROVED  
CITY ENGINEER  
CITY OF SAN FRANCISCO



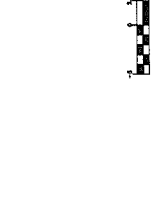
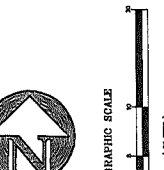
8TH STREET IMPROVEMENTS  
JAMES ALLEY  
Project Number: 083335  
Drawing Number: C4.4  
DATE: 10/24/13



GENERAL NOTES:  
1. ALL CONSTRUCTION TO BE UNDERMINED IN ACCORDANCE WITH THE CITY OF SAN FRANCISCO STREETS AND SIDEWALKS REGULATIONS.  
2. REMEDIATION AS PER CITY OF SAN FRANCISCO DESIGN.  
3. SEE INVOICE & PLAN FOR PLUMBING AND ELECTRICAL INFORMATION.  
4. SEE INVOICE & PLAN FOR PLUMBING AND ELECTRICAL INFORMATION.  
5. SEE INVOICE & PLAN FOR PLUMBING AND ELECTRICAL INFORMATION.  
6. SEE INVOICE & PLAN FOR PLUMBING AND ELECTRICAL INFORMATION.  
7. SEE INVOICE & PLAN FOR PLUMBING AND ELECTRICAL INFORMATION.  
8. SEE INVOICE & PLAN FOR PLUMBING AND ELECTRICAL INFORMATION.

CONSTRUCTION NOTES:  
(JAMES ALLEY UTILITIES)  
1. TWO PUMP STATIONS...  
2. INSTALL 1/2\"/>

CONSTRUCTION NOTES:  
(JAMES ALLEY SURFACE IMPROVEMENTS)  
1. LIMIT OF WORK...  
2. SAWCUT LINE...  
3. PATCH EXISTING...  
4. PATCH NEW HOSPITAL BUILDING...  
5. REMOVE CURB, GUTTER, SIDEWALK AND RECONSTRUCT...  
6. REMOVE PAVEMENT...  
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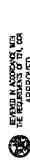


KCA ENGINEERS INC.  
 CONSULTING CIVIL ENGINEERS  
 & LAND SURVEYORS  
 1400 MARKET STREET, SUITE 200  
 SAN FRANCISCO, CA 94102

Item No.	Description	Unit	Quantity	Price
1	PREPARE & SUBMIT			
2	PERMITS			
3	CONSTRUCTION			
4	INSPECTION			
5	FINAL REPORT			
6	TOTAL			

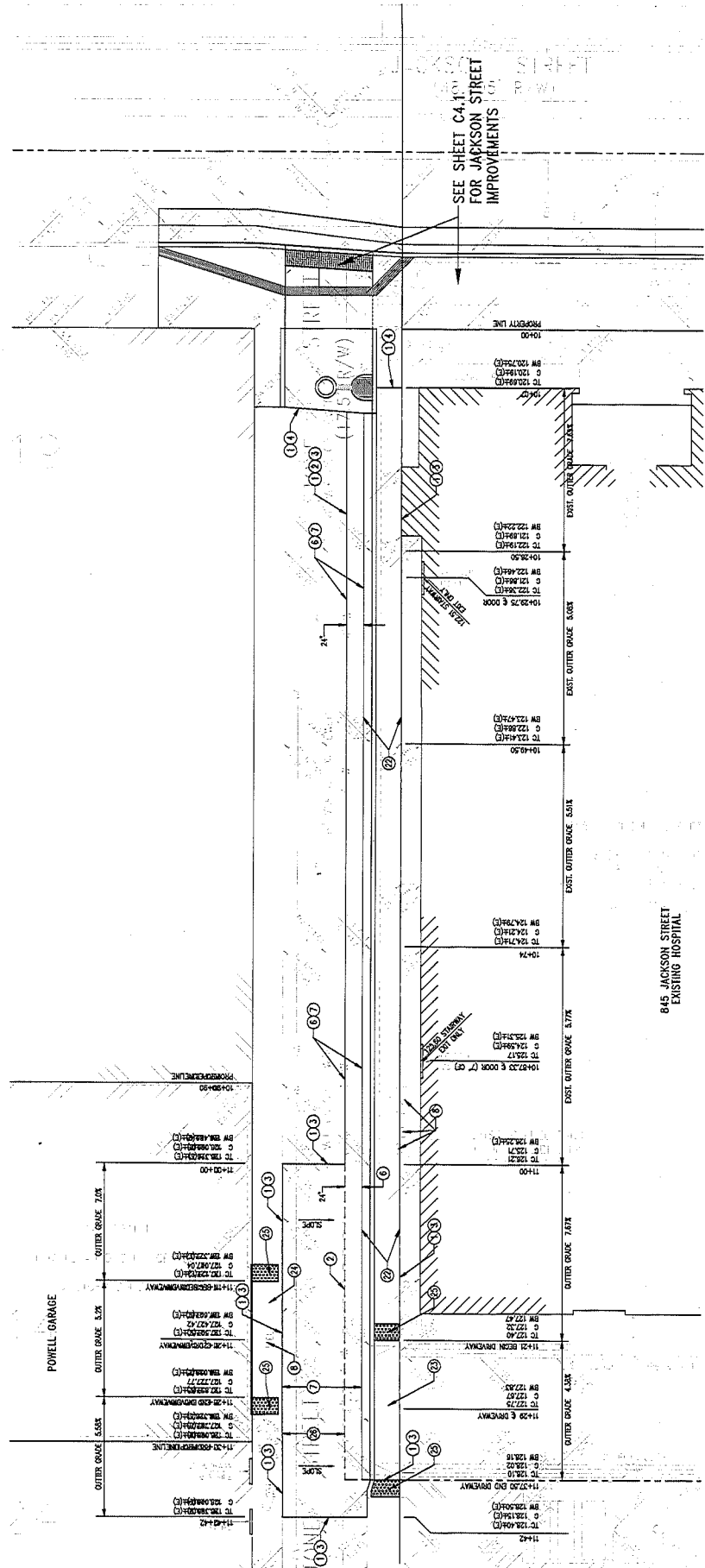
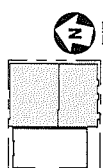
Scale and Symbols

The signature of KCA represents only participation in the preparation of the drawings and does not constitute an endorsement or approval by KCA of the construction or the responsibility for any errors or omissions on the drawings.



City of San Francisco  
 PUBLIC WORKS DEPARTMENT  
 APPROVED

DATE: 10/27/15  
 PROJECT: 15-1001

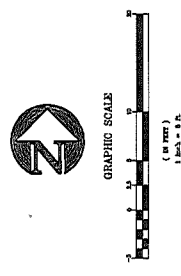


**GENERAL NOTES:**

1. ALL CONSTRUCTION TO BE UNDERTAKEN IN ACCORDANCE WITH THE CITY OF SAN FRANCISCO STANDARD DETAILS AND SPECIFICATIONS.
2. ELEVATIONS ARE ON CITY OF SAN FRANCISCO DATUM.
3. CONTRACTOR TO MAINTAIN PEDESTRIAN ACCESS AND FOOTSTRAIT LANDING AND UNLOADING SPACE IN FRONT OF EXISTING HOSPITAL. CONTRACTOR TO MAINTAIN PEDESTRIAN ACCESS TO HOSPITAL. CONTRACTOR TO COORDINATE WITH HOSPITAL STAFF FOR ALTERNATE ACCESS.
4. CONTRACTOR IS CAUTIONED TO USE CARE IN WORKING ADJACENT STREET SIDE TO THE PRESENCE OF AN ADJACENT-SIDEWAY BASEMENT. SEE STRUCTURAL AND WATERPROOFING PLANS FOR ADDITIONAL CONSTRUCTION RECOMMENDATIONS IN THE VICINITY OF STONE STREET AND JACKSON STREET.

**CONSTRUCTION NOTES:  
 (STONE STREET)**

1. LIMIT OF WORK.
2. SAWCUT LINE.
3. MATCH EXISTING.
4. MATCH IMPROVEMENTS ON SHEET C4.1.
5. REMOVE PAVING AND BASE AND CONSTRUCT 8" CONCRETE BASE.
6. PLACE 2" AC PAVING.
7. ADJUST TOPS OF EXIST. CURBS, VAULTS, CLEANOUTS, WALK OVERS, ETC. TO THE FINISH OF THE NEW PAVING SURFACE.
8. REMOVE CURB, OUTER AND SIDEWALK AND CONSTRUCT CONCRETE CURB WITH 3.5" WIDE CONCRETE OUTER AND 3.5'-6" WIDE CONCRETE SIDEWALK (OVERALL WIDTH IS 3.5').
9. CONSTRUCT 18" WIDE, 4" THICK CONCRETE AUTOMOBILE RAMP.
10. EXISTING SIDEWALK TO BE USED AS A 14' FOOT WIDE CONCRETE AUTOMOBILE RAMP.
11. APPLY A 24" LONG DOWED SURFACE FOR THE FULL WIDTH OF THE SIDEWALK AT EACH END OF THE DRIVEWAY.
12. GRAD/PLANE 4.5' OF EXISTING PAVING FOR CITY STANDARD. THE DEPTH OF GRAD/PLANE TO BE A MINIMUM OF 3.2' BELOW PROPOSED FINISH GRADES.





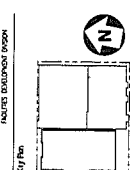
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This is a preliminary drawing and is not to be used for construction. It is intended for informational purposes only. The contractor is responsible for verifying all dimensions and conditions before construction. No warranty is made by the engineer for the accuracy of this drawing.



Scale of Symbols  
 1" = 10'-0"

REVIEWED AND APPROVED FOR THE CITY OF SAN FRANCISCO  
 APPROVED

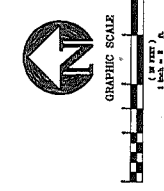
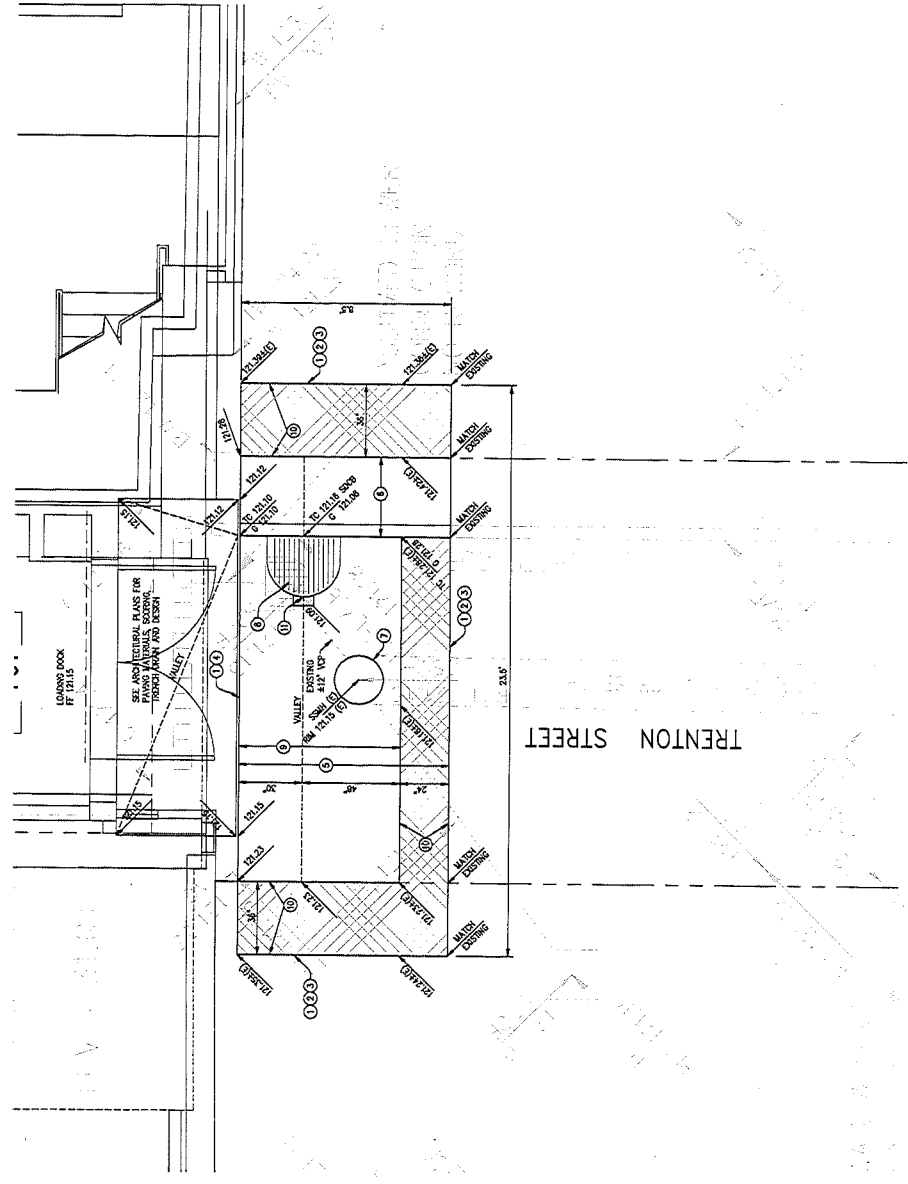


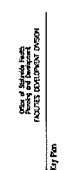
**CONSTRUCTION NOTES:**

1. LIMIT OF WORK.
2. SANIT LINE.
3. MATCH EXISTING.
4. MATCH LEADING PAVE FOR NEW HOSPITAL BUILDING.
5. REMOVE PAVING, BASE, RUBBER CURB, SIDEWALK, ETC.
6. CONSTRUCT 4" THICK CONCRETE CURB WITH 4.5" WIDE CONCRETE SIDEWALK.
7. ADJUST MANHOLE COVER INTO THE PLANE OF THE NEW PAVING.
8. REMOVE EXISTING CATCH BASIN AND CONSTRUCT STANDARD CITY CATCH BASIN WITH RUBBER CURB INLET AND WITH CAST IRON TOP.
9. CONSTRUCT 3" THICK AC PAVING OVER CONCRETE VALLEY WITH #4 BARS EACH WAY AND CONCRETE VALLEY OUTER WITH #4 BARS ON 8" CONCRETE BASE.
10. CONSTRUCT 3" THICK AC PAVING ON 8" CONCRETE BASE.
11. CONNECT NEW CATCH BASIN TO EXISTING STREET DRAIN PIPE WITH SAME SIZE AND MATERIAL. STORM DRAIN PIPE, VERIFY ELEVATION PRIOR TO CONSTRUCTING CATCH BASIN.

**GENERAL NOTES:**

1. ALL CONSTRUCTION TO BE DONE WITHIN 180 DAYS FROM THE DATE OF THE CITY OF SAN FRANCISCO PERMITS AND SPECIFICATIONS.
2. ELEVATIONS ARE ON CITY OF SAN FRANCISCO DATUM.
3. CONTRACTOR TO VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO CONSTRUCTION.
4. PRIOR TO INITIATING THIS CONSTRUCTION CONTRACTOR IS TO VERIFY THE EXISTING ELEVATIONS.
5. NEW PAVING AND STRENGTH HAS RECENTLY BEEN CONSTRUCTED BY THE ADAMS SCHOOL CONTRACTOR TO REPLACE ANY STRENGTH DAMAGED BY CONSTRUCTION.



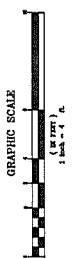
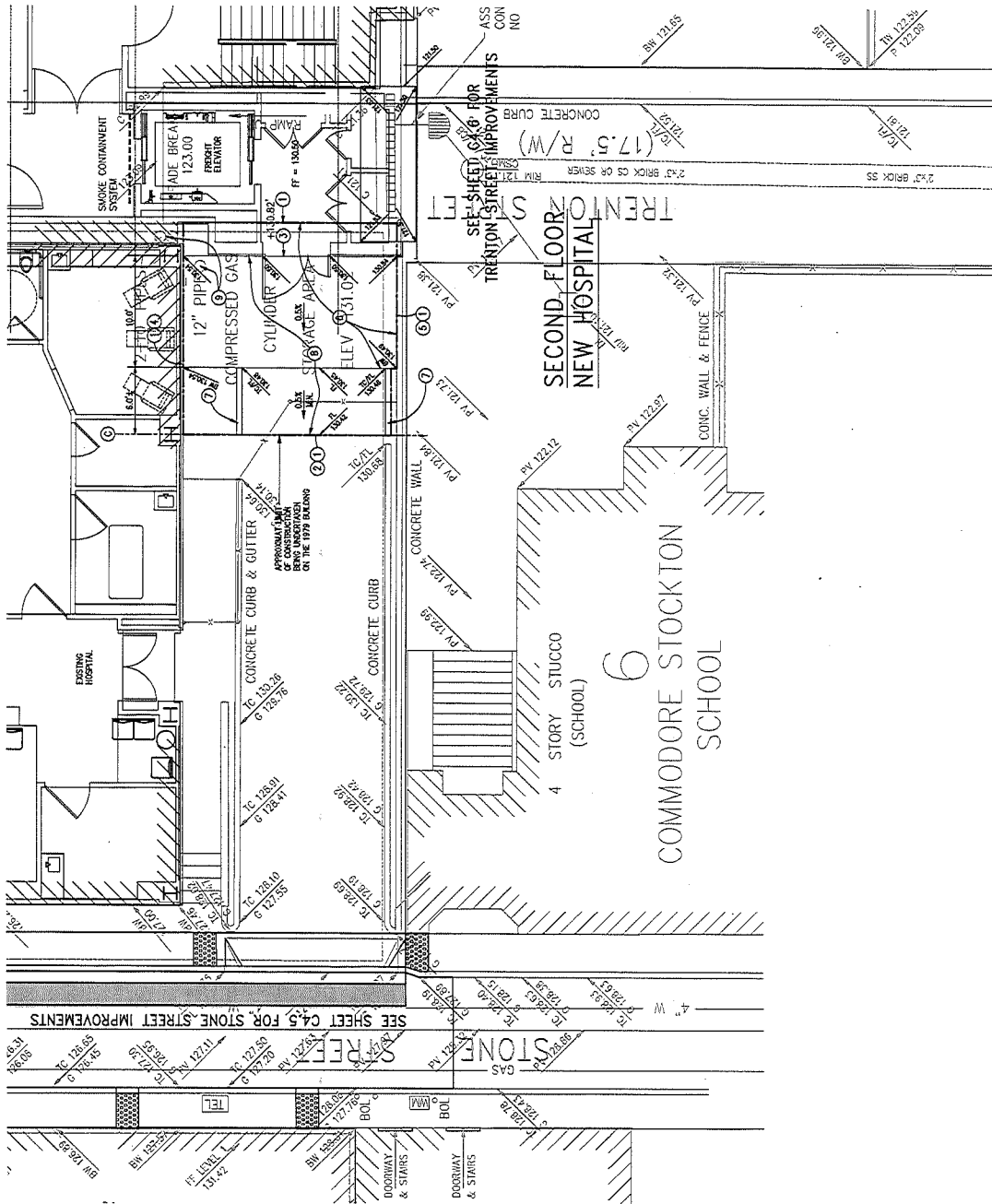


**CONSTRUCTION NOTES:**

1. LIMIT OF WORK
2. MATCH EXISTING
3. MATCH PROPOSED HOSPITAL
4. MATCH EXISTING HOSPITAL
5. MATCH EXISTING WALL
6. REMOVE FINISHING, TEMPORARY PAVING, CURB, SIDEWALK AND MEDICAL GAS ENCLOSURES.
7. CONSTRUCT NEW CURB. APPLY TO EXISTING STRUCTURE PER CALTRANS STANDARD AGY WITH 8" LONG #4 DOMES GROUDED INTO HOLES AT 3' SPACING.
8. CONSTRUCT CONCRETE PAVING AS NECESSARY TO CONFORM TO GRADES SHOWN. AFTER DEMOLITION THE ENGINEER WILL ISSUE A SKETCH ADJUSTING GRADES IF NECESSARY TO MINIMIZE THE IMPACT ON THE BASEMENT STRUCTURE. THE PAVING SHALL BE A BRICK PAVEMENT WITH APPROXIMATELY 6" SPACING ON SORE LINES.
9. PROTECT EXISTING PIPES IN PLACE.

**GENERAL NOTES:**

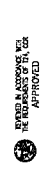
1. ALL CONSTRUCTION TO BE UNDERTAKEN IN ACCORDANCE WITH THE CITY OF SAN FRANCISCO STANDARD DETAILS AND SPECIFICATIONS.
2. ELEVATIONS ARE ON CITY OF SAN FRANCISCO DATUM.
3. CONTRACTOR IS CAUTIONED TO USE EXTREME CARE WHILE WORKING IN THIS AREA IN ORDER TO NOT DAMAGE THE EXISTING BASEMENT ROOF SURFACE EXISTING MEDICAL GAS FACILITIES TO BE RELOCATED IN ACCORDANCE WITH PLANS BEING PREPARED BY OTHERS.
4. PRIOR TO PLACING NEW PAVING, ARCHITECT WILL DETERMINE IF A WATER PROOFING MEMBRANE NEEDS TO BE INSTALLED.
5. THIS WORK TO BE COORDINATED WITH THE DESIGN PREPARED BY GEORGE EASTMAN ARCHITECTS FOR THE 1919 BUILDING WHICH WILL PROBABLY HAVE BEEN COMPLETED AT THE TIME THIS WORK IS TO BE UNDERTAKEN.



Issued For	Rev.	Date
CITY PERMITS	01	01/13/19
CITY PERMITS	02	03/01/19
CONTRACT	01	03/01/19
CONTRACT	02	03/01/19
CONTRACT	03	03/01/19
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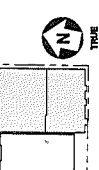
Scale and Signature

The licensor of ACP represents only participants in the construction process. It does not assume any responsibility for any material or workmanship deficiencies.

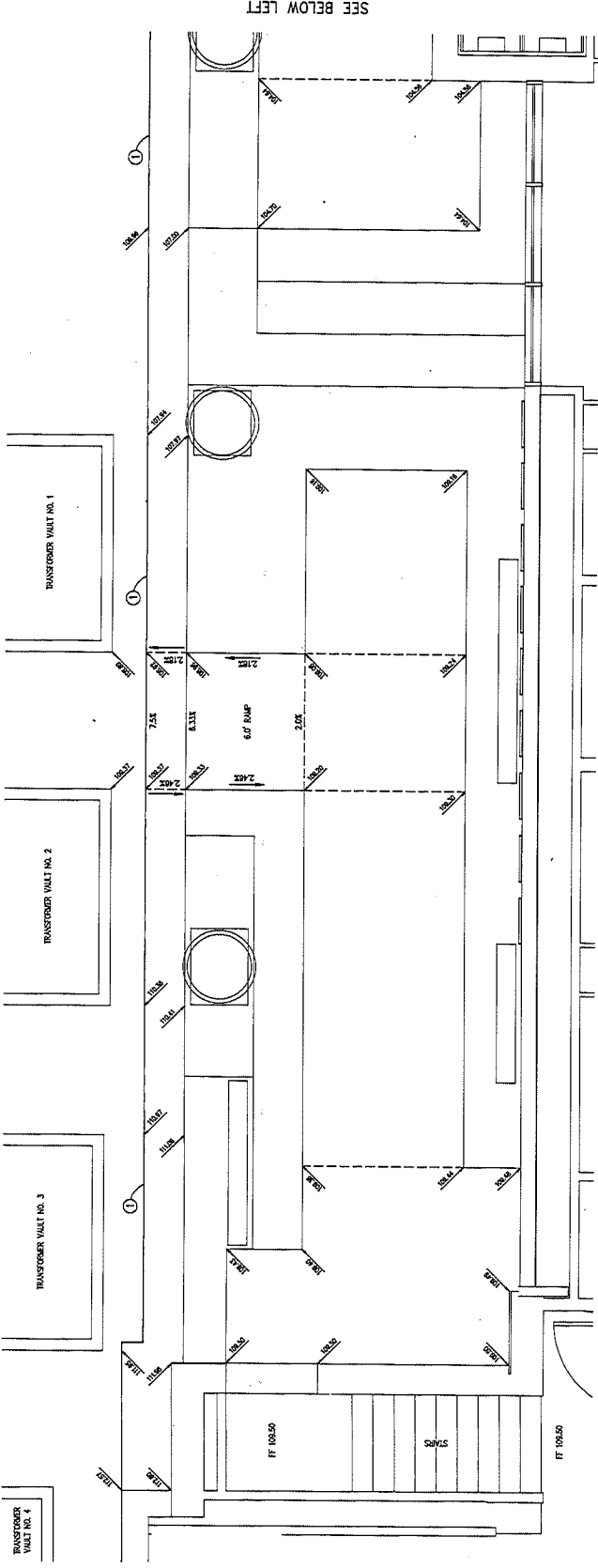


IC ENGINEERS, INC.  
 10111 RICHMOND AVE., SUITE 100  
 DALLAS, TEXAS 75243  
 TEL: 972.382.1111  
 FAX: 972.382.1112

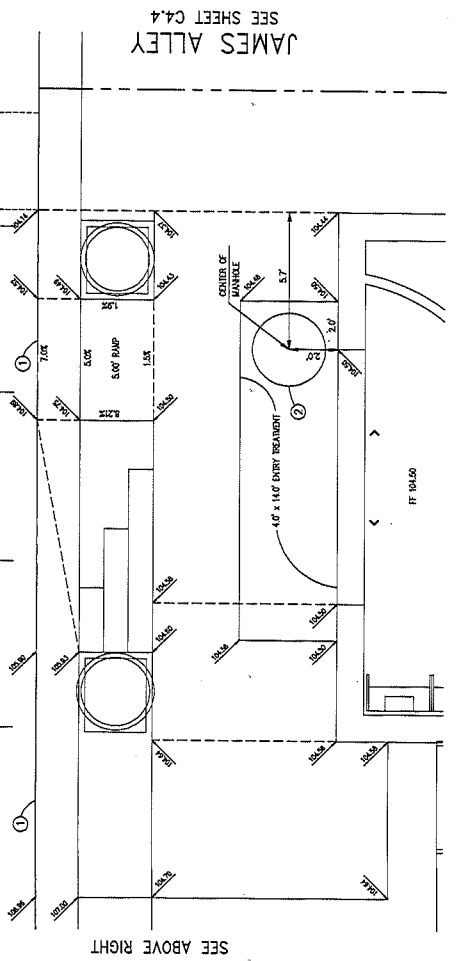
IC ENGINEERS, INC.  
 10111 RICHMOND AVE., SUITE 100  
 DALLAS, TEXAS 75243  
 TEL: 972.382.1111  
 FAX: 972.382.1112



**JACKSON STREET**  
 SEE SHEET C4.2 & C4.3 FOR  
 JACKSON STREET IMPROVEMENTS



**JACKSON STREET**  
 SEE SHEET C4.2 & C4.3 FOR  
 JACKSON STREET IMPROVEMENTS



- GENERAL NOTES:**
1. THIS PLAN IS FOR DETERMINING ELEVATIONS FOR THE TOPPING SLAB/FRESH SURFACE ONLY. SEE ARCHITECTURAL PLANS FOR PAVING MATERIALS, STAIR DETAILS, DRAINAGE AND ALL OTHER CONSTRUCTION DETAILS.
  2. CONTRACTOR TO VERIFY THE LOCATION OF COLUMNS AND LERGES AND NOTIFY ENGINEER, SO THAT FINISH GRADES CAN BE ADJUSTED TO ASSURE ADA COMPLIANCE.

- CONSTRUCTION NOTES:**
- ① MATCH NEW STREET CONSTRUCTION
  - ② 36" ACCESS MANHOLE TO FIRE PROTECTION STORAGE TANK. SEE ARCHITECTURAL PLANS FOR SURFACE TREATMENT OF THE MANHOLE COVER. SEE STRUCTURAL PLANS FOR CONSTRUCTION DETAILS FOR MANHOLE FRAME.



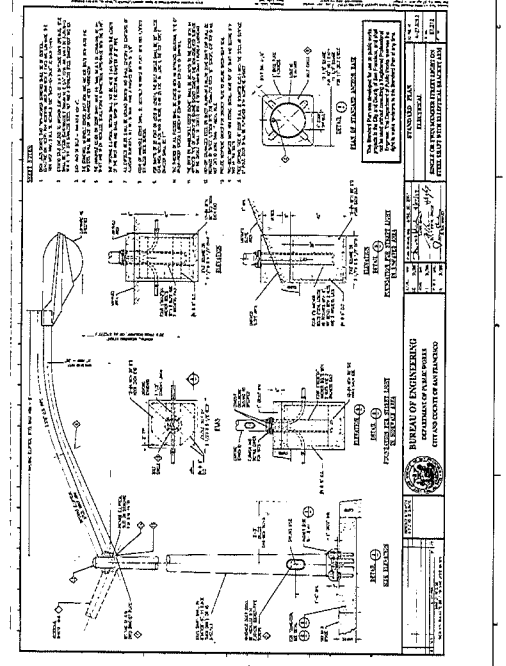
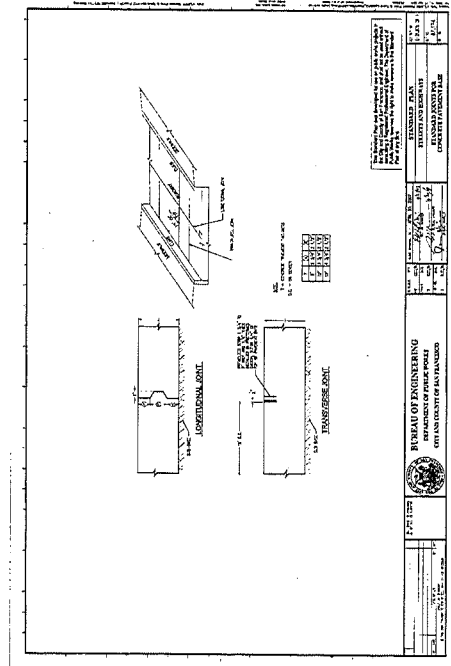
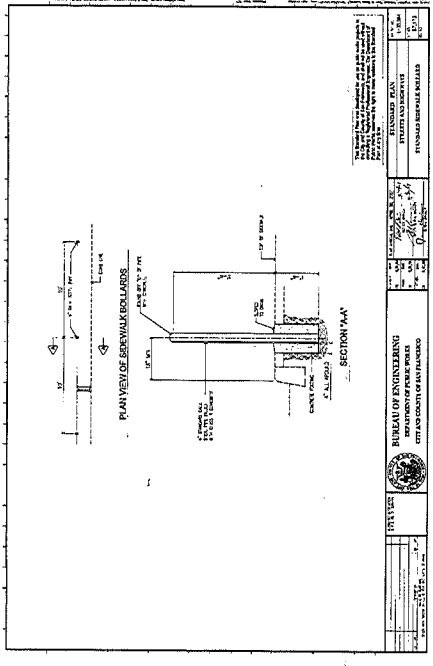
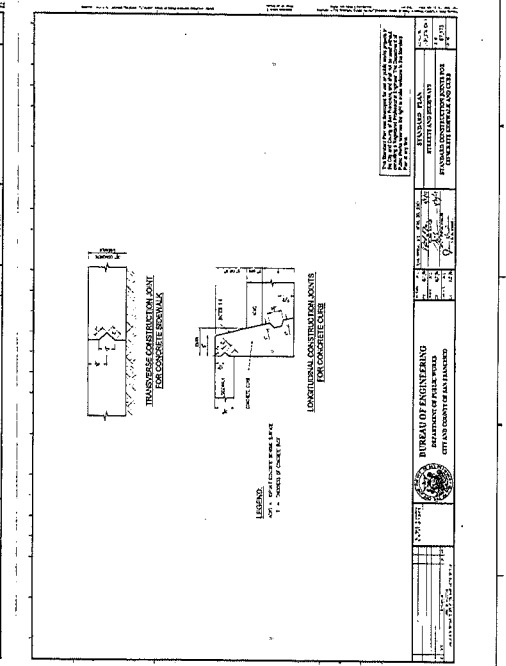
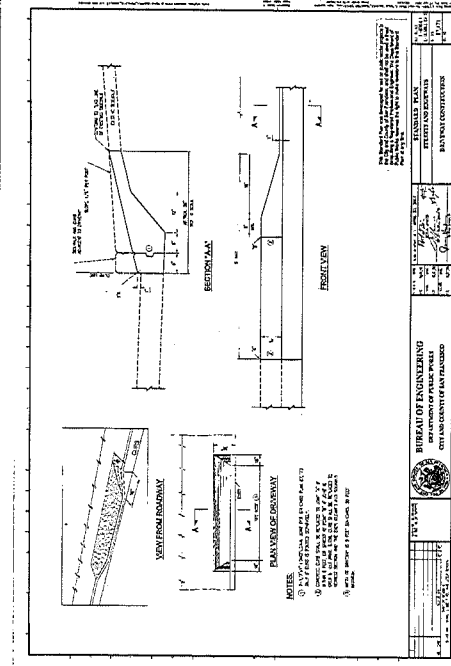
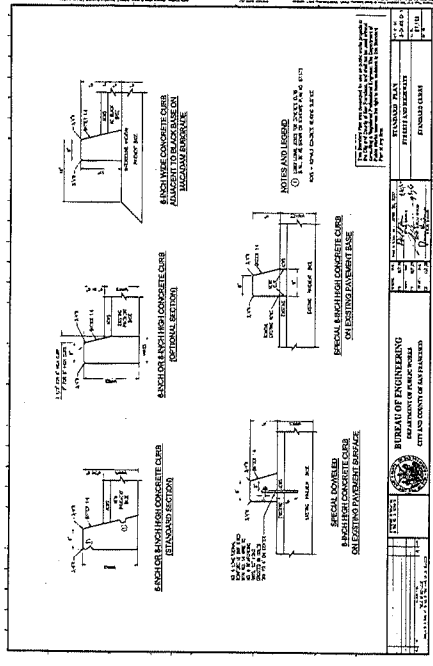
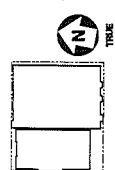
**PRELIMINARY PLAN**  
 FOR REVIEW ~ 01.28.19

Issued For	Rev.	Date
CITY PERMITS	01	01/15/10
CITY PERMITS	02	01/15/10
CITY PERMITS	03	01/15/10
CITY PERMITS	04	01/15/10
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CITY PERMITS	99	01/15/10
CITY PERMITS	100	01/15/10

**EXPERIMENTAL**  
 This signature of KCAE represents and warrants that the design and construction of the work indicated by this submittal.



**APPROVED**  
 [Signature]  
 KCA ENGINEERS, INC.  
 CONSULTING ENGINEERS  
 11111





**CHINESE HOSPITAL**  
 848 JACKSON STREET  
 SAN FRANCISCO, CA

OSHPD # 18-072017  
 Facility Number 14821  
**NEW ACUTE CARE HOSPITAL & SKILLED NURSING UNIT**

**JACOBS**  
 6888 North Central Expressway  
 Dallas, TX 75208  
 Phone: 214.424.7000

CONTRACTOR:  
**ARIP**  
**MAZZITTI & ASSOCIATES**  
 11000

OWNER CONTRACTOR:  
 KCA ENGINEERS  
 1000  
 THEATRE & ROU

BID SET 0

KCA ENGINEERS, INC.  
 CONSULTING CIVIL ENGINEERS  
 11000  
 11000

Issued For	Rev.	Date
CITY PERMITS	1	01/11/17
CITY PERMITS	2	01/11/17
CITY PERMITS	3	01/11/17
CITY PERMITS	4	01/11/17
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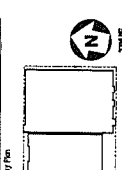
Scale and Dimensions

**PRELIMINARY**  
 This information is for informational purposes only and is not intended to be used for construction. It is subject to change without notice and is not to be used for any other purpose.



SEAL & SIGNATURE OF REGISTERED PROFESSIONAL ENGINEER  
 APPROVED

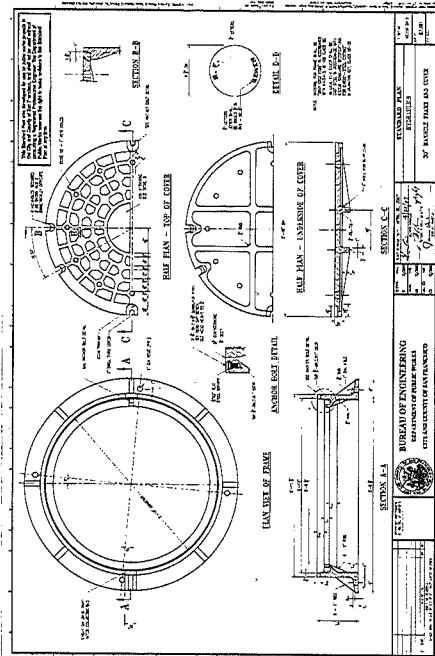
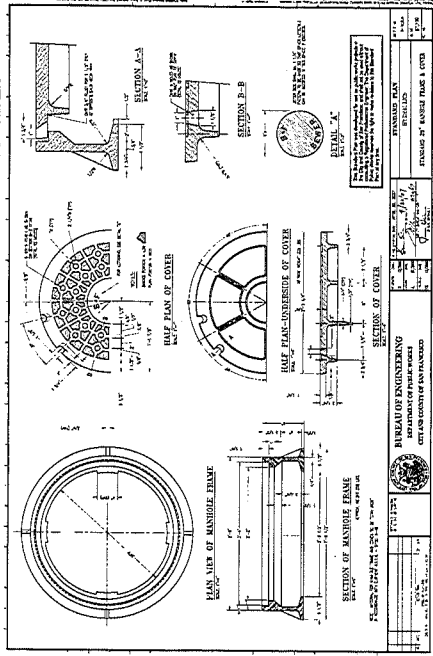
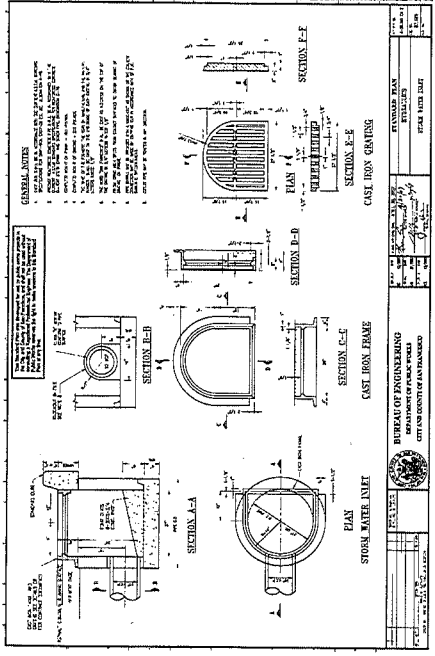
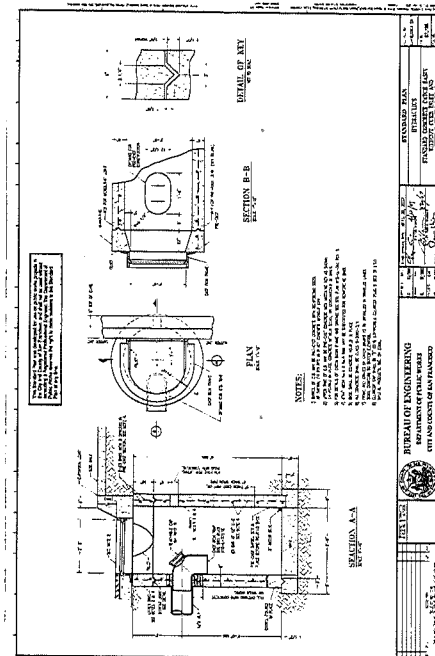
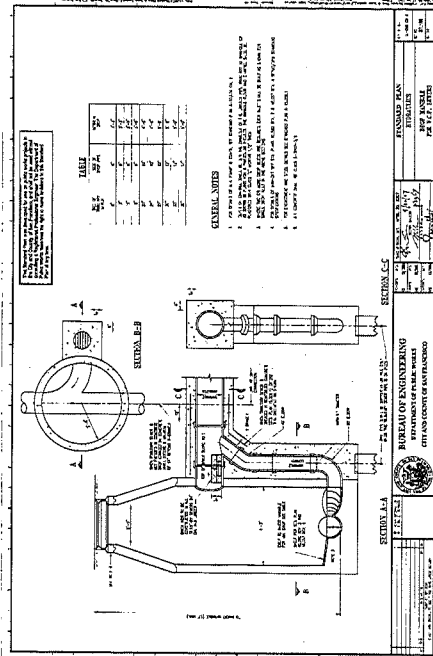
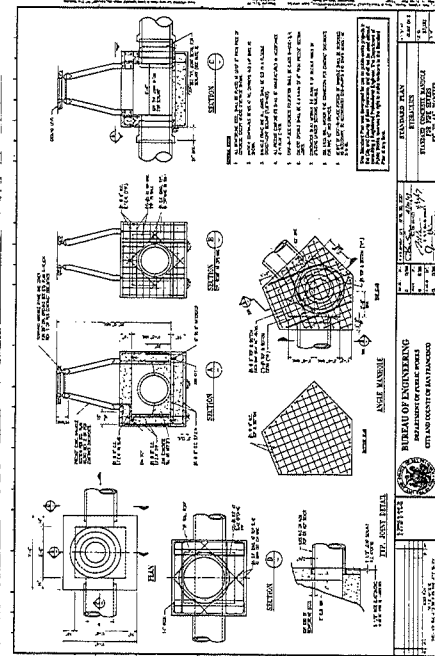
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 PARTIAL DEVELOPMENT DRAWING



DATE: 01/11/17  
 DRAWING NO.: 01133  
 SHEET NO.: C6.3

PROJECT NAME: CHINESE HOSPITAL  
 DRAWING NO.: 01133  
 SHEET NO.: C6.3

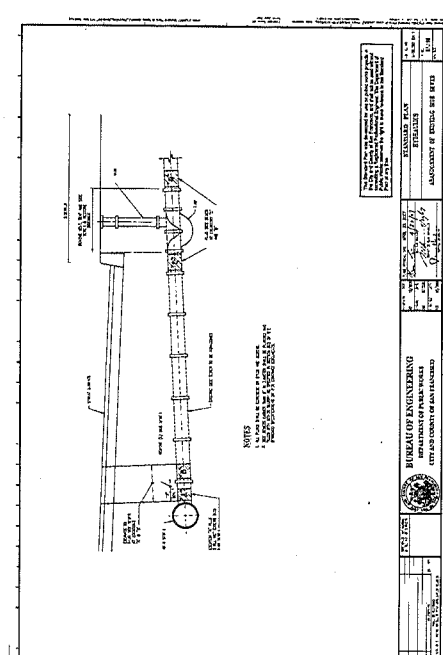
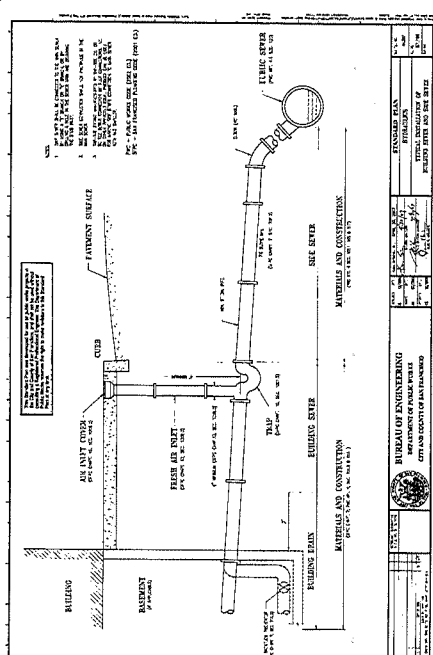
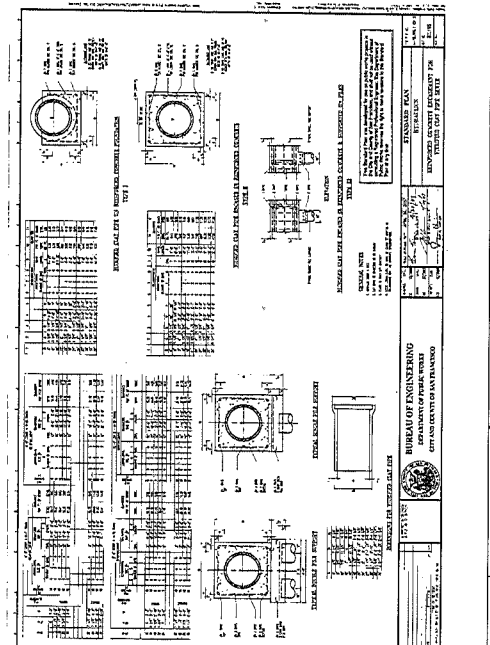
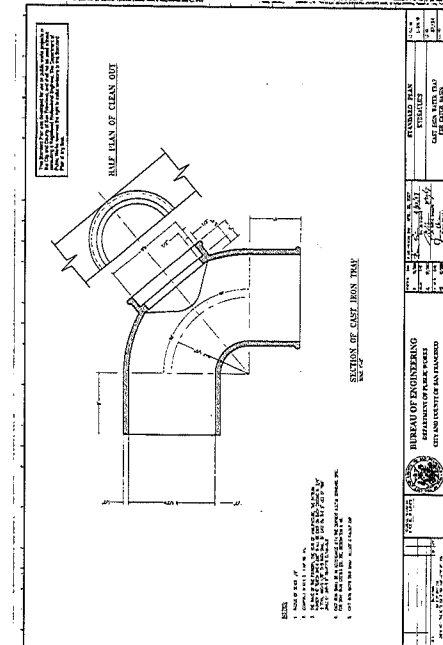
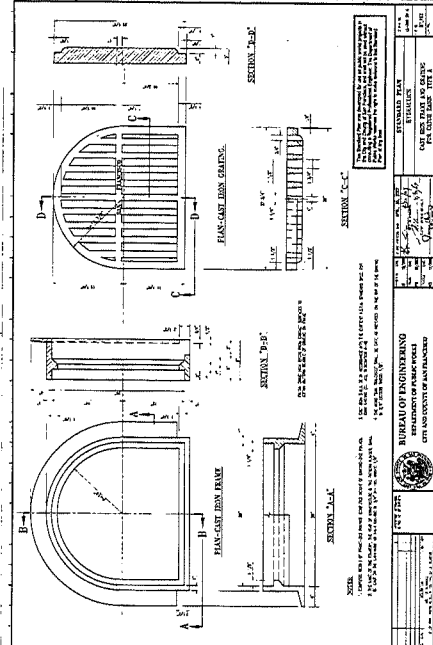
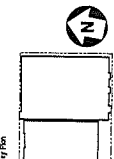
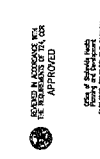
DATE: 01/11/17



**MCA ENGINEERS INC.**  
 CONSULTING ENGINEERS  
 1100 MARKET STREET  
 CHICAGO, ILLINOIS 60601  
 TEL: 312.566.3800  
 FAX: 312.566.3809

Item No.	Description	Unit	Quantity	Price	Total
1	PREPARED PLAN	SHEET	1	150.00	150.00
2	FIELD REVISION	PER FOOT	1	500.00	500.00
3	COPYING PERMITS	PER SET	1	100.00	100.00
4	FOR FILING	PER SET	1	100.00	100.00
5	FOR ARCHIVE	PER SET	1	100.00	100.00
6	FOR REVISION	PER SET	1	100.00	100.00
7	FOR APPROVAL	PER SET	1	100.00	100.00
8	FOR RECORDS	PER SET	1	100.00	100.00
9	FOR DEPOSIT	PER SET	1	100.00	100.00
10	FOR ARCHIVE	PER SET	1	100.00	100.00

**LEGISLATION**  
 THE ARCHITECT OF A STATE UNIVERSITY HAS THE HONOR OF BEING THE FIRST ARCHITECT TO DESIGN A BUILDING IN THIS STATE TO BE THE PROPERTY OF THE STATE UNIVERSITY.



REVISION	DATE	BY	APP'D	CHECKED	SCALE

**BUREAU OF ENGINEERING**  
 DEPARTMENT OF PUBLIC WORKS  
 CITY AND COUNTY OF SAN FRANCISCO

**REVISIONS**

1. CORRECTED PER ARCHITECT'S COMMENTS

2. CORRECTED PER ARCHITECT'S COMMENTS

3. CORRECTED PER ARCHITECT'S COMMENTS

4. CORRECTED PER ARCHITECT'S COMMENTS

5. CORRECTED PER ARCHITECT'S COMMENTS

**BUREAU OF ENGINEERING**  
 DEPARTMENT OF PUBLIC WORKS  
 CITY AND COUNTY OF SAN FRANCISCO

OWNER CONSULTANT:  
 MCA DOWNS  
 2500 CALIFORNIA STREET  
 TRAVELERS REST, VA

BID SET 01

MCA DOWNS, INC.  
 CONSULTING ENGINEERS  
 1400 SHERBOURNE DRIVE  
 SAN FRANCISCO, CA 94104  
 TEL: 415.774.1100  
 FAX: 415.774.1101

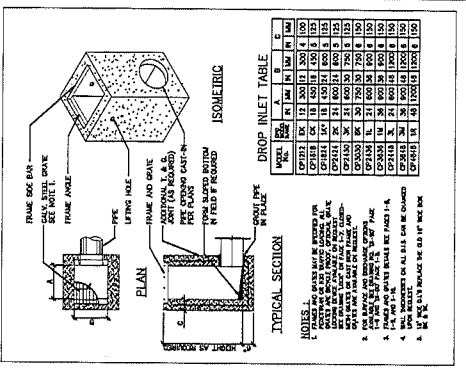
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100	1	EA	DRIVE LOCKING DEVICE

1. PRELIMINARY  
 This drawing is a preliminary drawing and is not to be used for construction purposes without the approval of the architect.

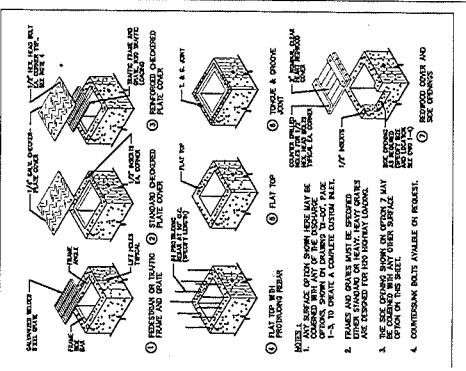
APPROVED  
 MCA DOWNS, INC.  
 CONSULTING ENGINEERS

Scale of Symbols

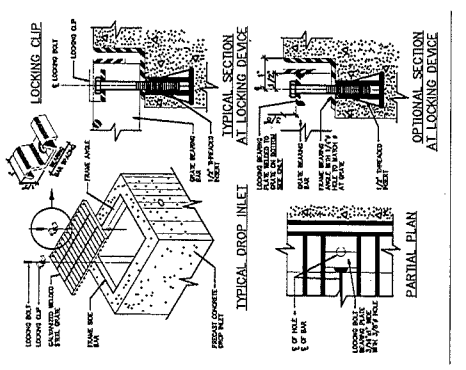
FRAMES & GRATES FOR DROP PANELS  
 5/19/73  
 1-2



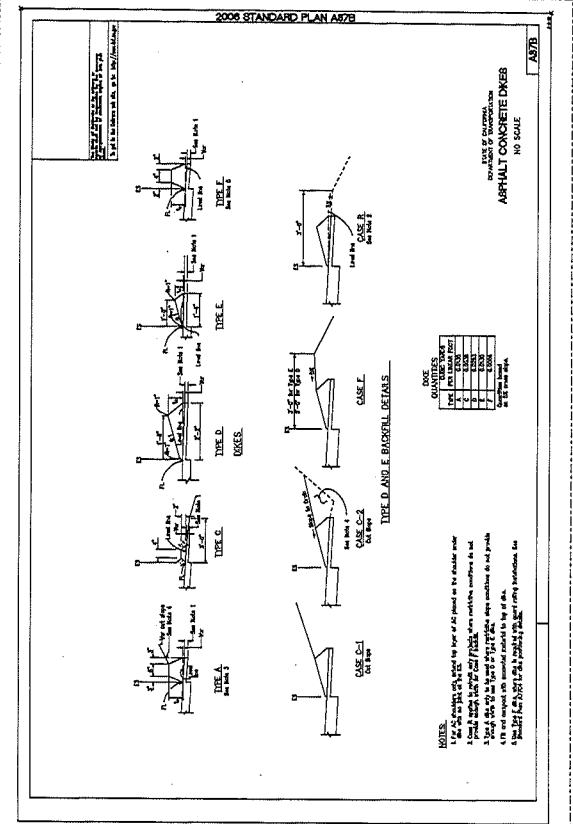
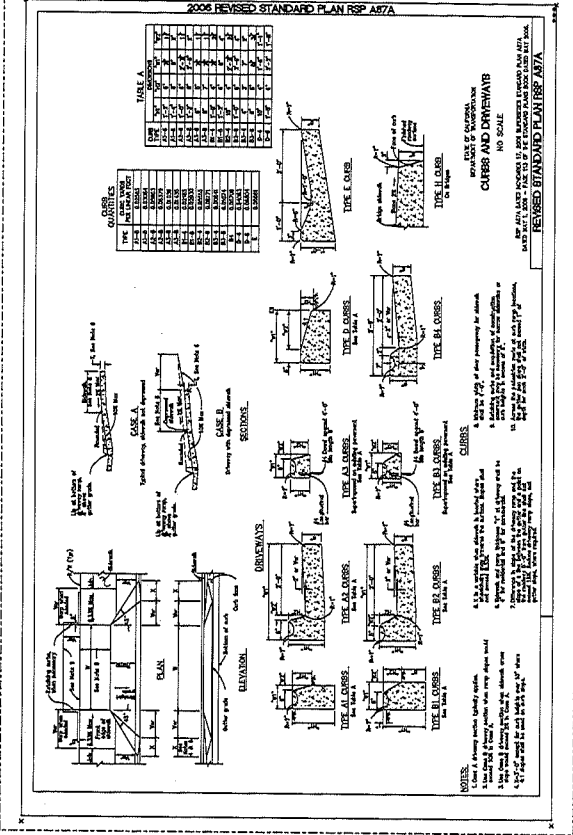
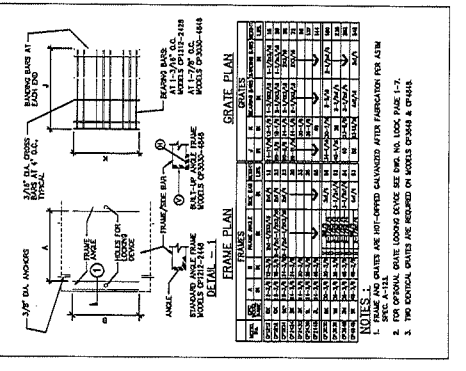
DROP PANEL SURFACE OPTIONS  
 5/19/73  
 1-4



DRIVE LOCKING DEVICE FOR PANELS  
 5/19/73  
 1-7



FRAMES & GRATES FOR DROP PANELS  
 5/19/73  
 1-9





Item	Quantity	Unit	Price
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2.00	1.00	EA	0.00
3.00	1.00	EA	0.00
4.00	1.00	EA	0.00
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50.00	1.00	EA	0.00

**PROBATIONARY**  
 The signature of KCA Engineers Inc. is hereby certified as being that of the duly authorized representative of KCA Engineers Inc. for the purpose of this contract. The signature of KCA Engineers Inc. is hereby certified as being that of the duly authorized representative of KCA Engineers Inc. for the purpose of this contract.

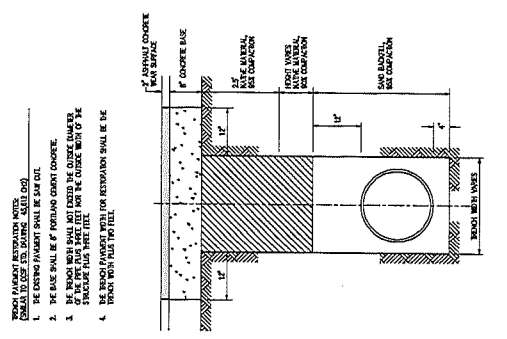


APPROVED  
 JACOB MAZZETTA  
 REGISTERED PROFESSIONAL ARCHITECT

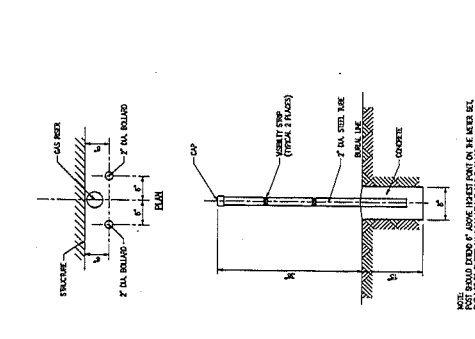
SCALE OF DRAWING SHALL BE AS SHOWN ON DRAWING. UNLESS OTHERWISE NOTED, ALL DIMENSIONS SHALL BE IN FEET AND INCHES. UNLESS OTHERWISE NOTED, ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED.



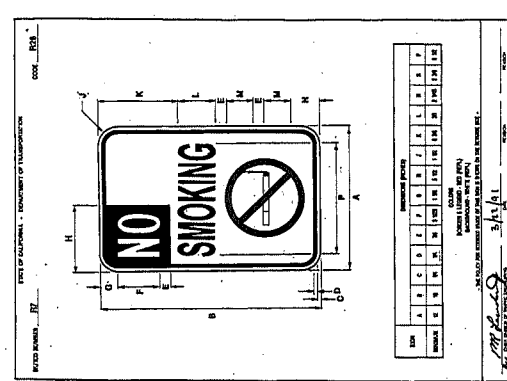
Details  
 Project No. 041838  
 Drawing No. C6.6  
 Date 10/27/15



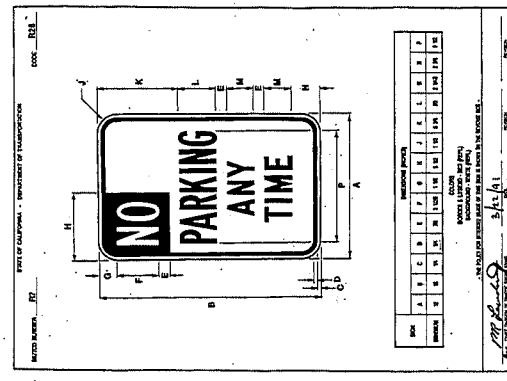
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 NOT TO SCALE



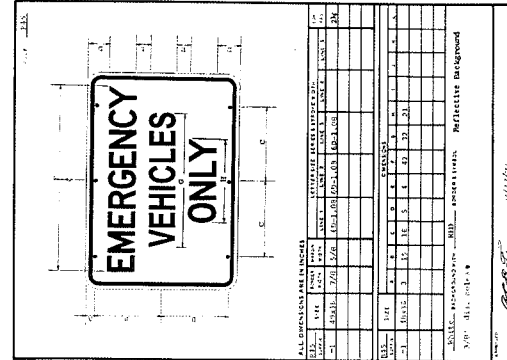
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 NOT TO SCALE



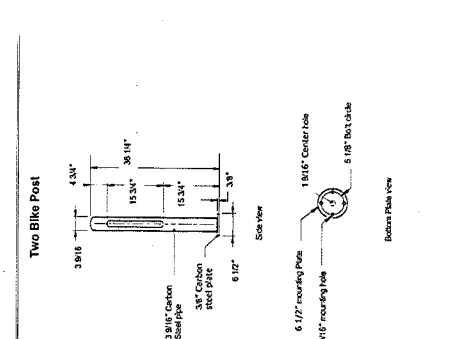
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 NOT TO SCALE



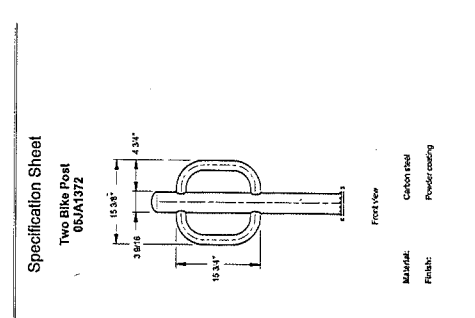
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 NOT TO SCALE



**EMERGENCY VEHICLES ONLY SIGN**  
 NOT TO SCALE



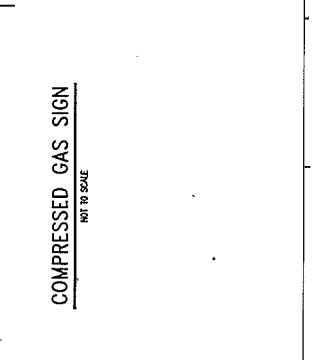
**Two Bike Post**  
 NOT TO SCALE



**Two Bike Post 05/A1372**  
 NOT TO SCALE



**Specification Sheet**  
 NOT TO SCALE



**COMPRESSED GAS SIGN**  
 NOT TO SCALE

**CHINESE HOSPITAL**  
845 JACKSON STREET  
SAN FRANCISCO, CA

**JACOBS**  
669 North Oxford Expressway  
Dulles, VA 22006  
Phone: 703.424.7500

**NEW ACUTE CARE HOSPITAL & SKILLED NURSING UNIT**  
Facility Number 14841

**CONSULTANTS:**  
**ARUP**  
**MAZZETTI ASSOCIATES**  
**UNIVERSITY OF CALIFORNIA**

**OWNER CONSULTANT:**  
**WCA ENGINEERS**  
**THE SPERRY COMPANY**  
**TRAPNIEL & BULLY**

**BID SET 01:**  
**KVA ENGINEERS INC.**  
**CONSULTING ENGINEERS & ARCHITECTS**  
**1100 MARKET STREET, SUITE 2000**  
**SAN FRANCISCO, CA 94102**

Item	Quantity	Unit	Price	Total
CITY PERMITS	1	SET		
CITY PERMITS	1	SET		
CITY PERMITS	1	SET		
CITY PERMITS	1	SET		
CITY PERMITS	1	SET		
CITY PERMITS	1	SET		
CITY PERMITS	1	SET		
CITY PERMITS	1	SET		
CITY PERMITS	1	SET		
CITY PERMITS	1	SET		

**DEFINITIONS:**  
The signatures of all persons who have reviewed the drawings are required to be placed on the drawings and the drawings shall not be used for construction until they are stamped and approved by the Building Official.



APPROVED  
BY  
DATE

**SWPPP PLAN**  
PROJECT NUMBER: 04458  
DRAWING NUMBER: C7.1  
DATE: 10/26/10

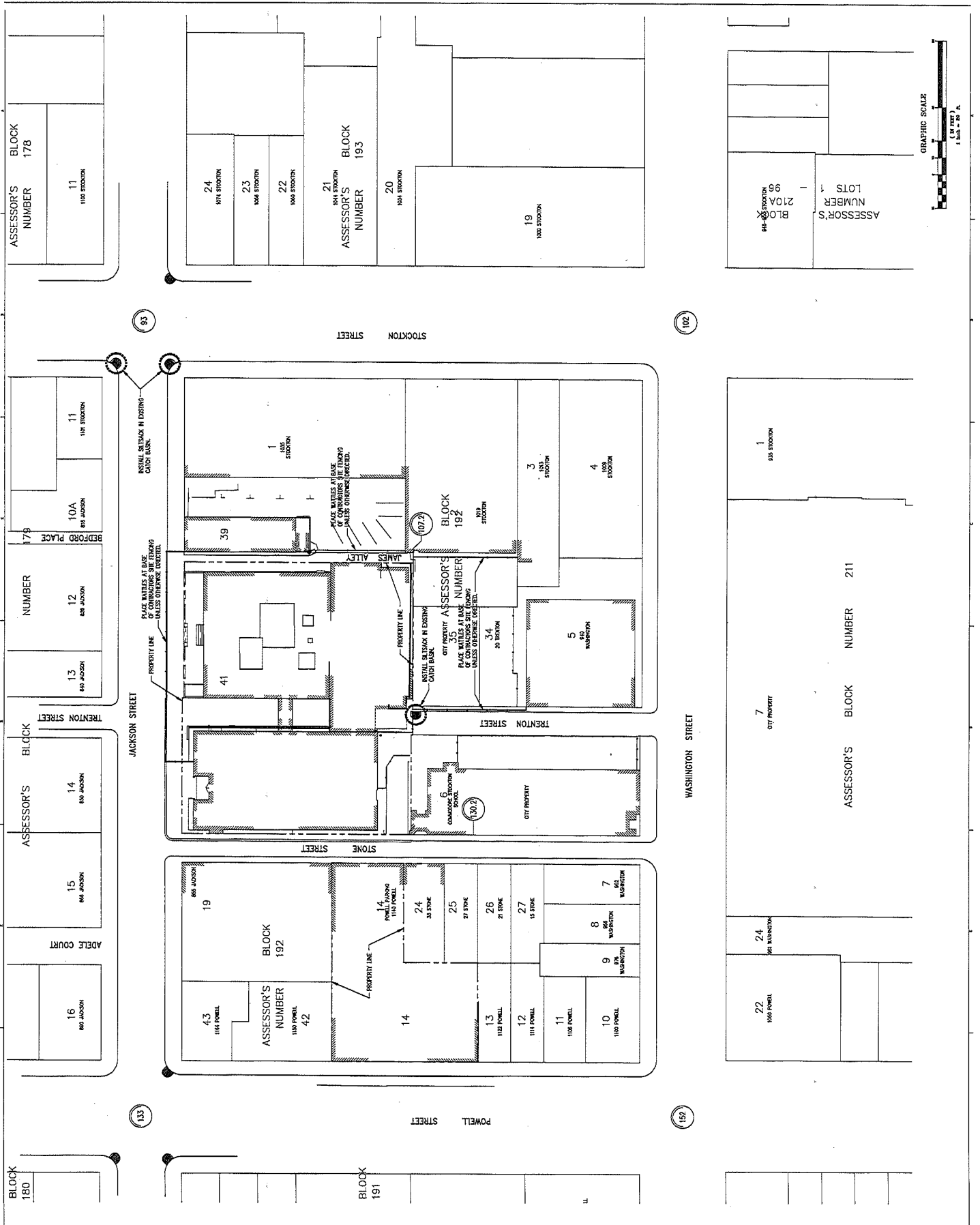
99

100

102

101

103



Need For	Yes	No
1. CITY PERMITS	.....	.....
2. CITY INSPECTION	.....	.....
3. CITY REVIEW	.....	.....
4. COUNTY PERMITS	.....	.....
5. COUNTY INSPECTION	.....	.....
6. COUNTY REVIEW	.....	.....

Scale and Symbols

**LEGEND**  
This legend is a general reference and does not constitute a contract. It is subject to the terms and conditions of the contract documents. Work related to this submittal.



APPROVED  
BY: [Signature]  
DATE: [Date]

BY: [Signature]  
DATE: [Date]



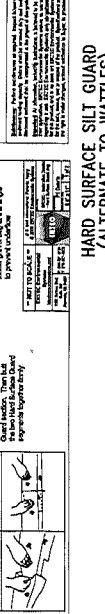
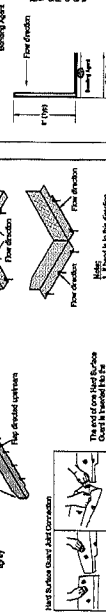
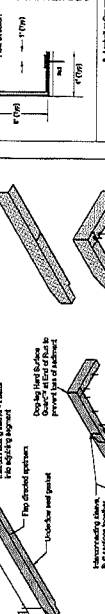
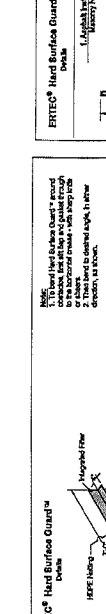
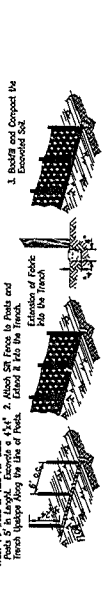
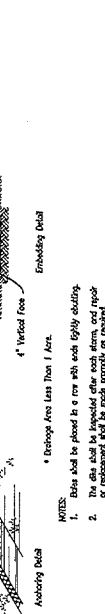
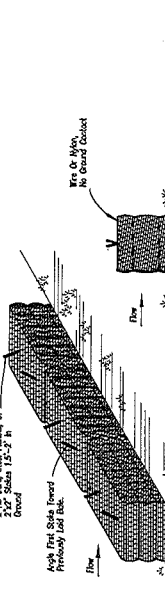
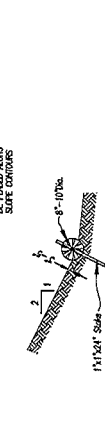
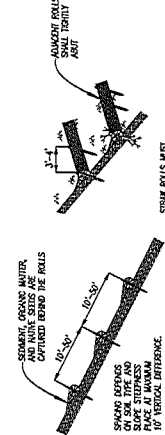
Drawn by: [Name]  
SWPPP DETAILS

Project Number: 011338  
Drawing Number: C7.2

Page No.: 18/19/10

**EROSION AND POLLUTION CONTROL NOTES:**

1. All erosion control devices must be inspected and repaired at the end of each work shift. If any device is found to be damaged, it shall be replaced immediately.
2. If any device is found to be damaged, it shall be replaced immediately. If the storm water control design engineer requires, the contractor shall be responsible for inspection and restoration of all aspects of the erosion control plan. Sediment on the sidewalk and driveway shall be removed by hand or vacuum and disposed of appropriately.
3. All employees, contractors, and subcontractors are responsible for complying with the erosion control plan on this plan or related documents.
4. Contractors to employ Best Management Practices (BMPs) in accordance with the Association of Bay Area Governments (ABAG) Best Management Practices.
5. All stormwater or other storm storage enclosures shall be utilized only for stormwater enclosures.
6. All stormwater enclosures shall be inspected and repaired at the end of each work shift. If any device is found to be damaged, it shall be replaced immediately.
7. All stormwater enclosures shall be inspected and repaired at the end of each work shift. If any device is found to be damaged, it shall be replaced immediately.
8. Borrow areas and temporary stockpiles shall be protected with appropriate erosion control measures to the satisfaction of the City and the City Engineer.
9. Stormwater enclosures shall be inspected and repaired at the end of each work shift. If any device is found to be damaged, it shall be replaced immediately.
10. Stormwater enclosures shall be inspected and repaired at the end of each work shift. If any device is found to be damaged, it shall be replaced immediately.
11. Use filtration or other approved measures to remove sediment from stormwater enclosures.
12. Stormwater enclosures shall be inspected and repaired at the end of each work shift. If any device is found to be damaged, it shall be replaced immediately.
13. Water on active construction areas at least twice a day, or as needed to prevent visible dust plumes from blowing onto or off the site.
14. Hydrated or epoxy (non-toxic) and stabilizers to inactive construction areas (temporary graded areas inactive for ten days or more).
15. Replant vegetation in disturbed areas as quickly as possible.
16. Limit the area subject to excavation, grading and other construction activity at any one time.
17. Stormwater enclosures shall be inspected and repaired at the end of each work shift. If any device is found to be damaged, it shall be replaced immediately.
18. Stormwater enclosures shall be inspected and repaired at the end of each work shift. If any device is found to be damaged, it shall be replaced immediately.
19. On site storm drain locations are to be protected to prevent intrusion of foreign materials into the storm drain system.
20. Trucks leaving the site must be covered to prevent spillage.
21. See sheet CD.3 for additional minimum requirements.
22. Contractor is responsible for complying with the requirements of the California Air Resources Board (CARB) and the State Water Resources Control Board (SWRCB) for the "CLEAN AIR ACT" and the "CLEAN WATER ACT" which can be found at [www.fortisbio.org](http://www.fortisbio.org).



**CHINESE HOSPITAL**  
**HOSPITAL**  
 848 JACKSON STREET  
 SAN FRANCISCO, CA

OSHPD # 18-072017  
 Facility Number 14621  
**NEW ACUTE CARE HOSPITAL & SKILLED NURSING UNIT**

**JACOBS**  
 6666 North Central Expressway  
 Dallas, TX 75206  
 Phone: 214-967-7000

**CONSULTANT:**  
 ANIP  
 MAZETTA ASSOCIATES  
 15150 WILSON BLVD.  
 WESTRIDGE, CA 94590

**OWNER CONSULTANT:**  
 KCA ENGINEERS  
 1000 MARKET STREET  
 SAN FRANCISCO, CA 94102

NO. 103  
 801 ENGINEERS, INC.  
 1001 VAN DYKE AVE.  
 SAN FRANCISCO, CA 94109  
 Phone: 415-774-1100

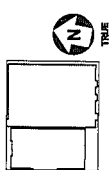
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018 - PERMITS	01	03-11-17
019 - PERMITS	01	03-11-17
020 - PERMITS	01	03-11-17
021 - PERMITS	01	03-11-17
022 - PERMITS	01	03-11-17

Scale and Signature



**STATE OF CALIFORNIA**  
**DEPARTMENT OF INDUSTRIAL RELATIONS**  
 DIVISION OF LABOR RELATIONS AND EMPLOYMENT  
 1400 MARKET STREET, SUITE 1400  
 SAN FRANCISCO, CA 94102  
 Phone: (415) 774-1100  
 Fax: (415) 774-1101  
 Web: www.dir.ca.gov

APPROVED FOR THE PROJECT:  
 (Signature)  
 DATE: (Date)




**DRY WASH SHEET DETAILS**  
 Project Name: C0158  
 Drawing Number: C7.3  
 Date: 10/07/00

# Stormwater Pollution Prevention Program


## Pollution Prevention – It's Part of the Plan

### It is your responsibility to do the job right!


Runoff from streets and other paved areas is a major source of pollution in local creeks, San Francisco Bay and the Pacific Ocean. Construction activities can directly affect the health of our waters unless contractors and crews plan ahead to keep dirt, debris, and other ordinance requirements. Remember, ongoing monitoring and maintenance of installed controls is crucial to proper implementation.




**Heavy Equipment Operation**




**Barth-Moving Activities**



**Roadwork & Paving**



**Fresh Concrete & Mortar Application of Solvents & Adhesives**



**Landscaping, Gardening, and Pool Maintenance**

**General Construction & Site Supervision**

- Always identify and protect riparian habitat and riparian vegetation. Do not remove, damage, or destroy any riparian habitat or vegetation. If you must remove, damage, or destroy any riparian habitat or vegetation, you must first obtain a permit from the appropriate agency.
- Minimize erosion and sedimentation. Install and maintain sediment control measures such as sediment basins, silt fences, and erosion control blankets.
- Minimize soil erosion and sedimentation. Install and maintain erosion control measures such as erosion control blankets, silt fences, and sediment basins.
- Minimize dust emissions. Use dust control measures such as water spraying and windbreaks.
- Minimize fuel and oil leaks. Use spill containment measures such as spill kits and absorbents.
- Minimize noise and vibration. Use noise and vibration control measures such as noise barriers and vibration dampeners.
- Minimize traffic impacts. Use traffic control measures such as traffic signs and cones.
- Minimize impacts on neighboring properties. Use measures such as noise barriers and vibration dampeners.
- Minimize impacts on wildlife and other sensitive resources. Use measures such as wildlife exclusion and habitat restoration.
- Minimize impacts on aesthetics. Use measures such as site screening and vegetation management.
- Minimize impacts on public safety. Use measures such as signage and safety barriers.

**General Industrial Practice**

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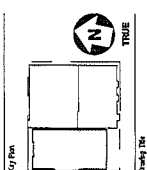
**Storm drain polluters may be liable for fines of up to \$25,000 per day!**

Under the new San Francisco Ordinance 14B, which went into effect on September 1, 2003, property owners are now responsible for preventing pollution from their property. This includes cleaning up spills, leaks, and other sources of pollution that could enter storm drains. Failure to do so can result in fines of up to \$25,000 per day.

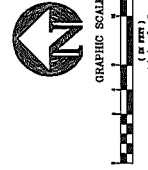
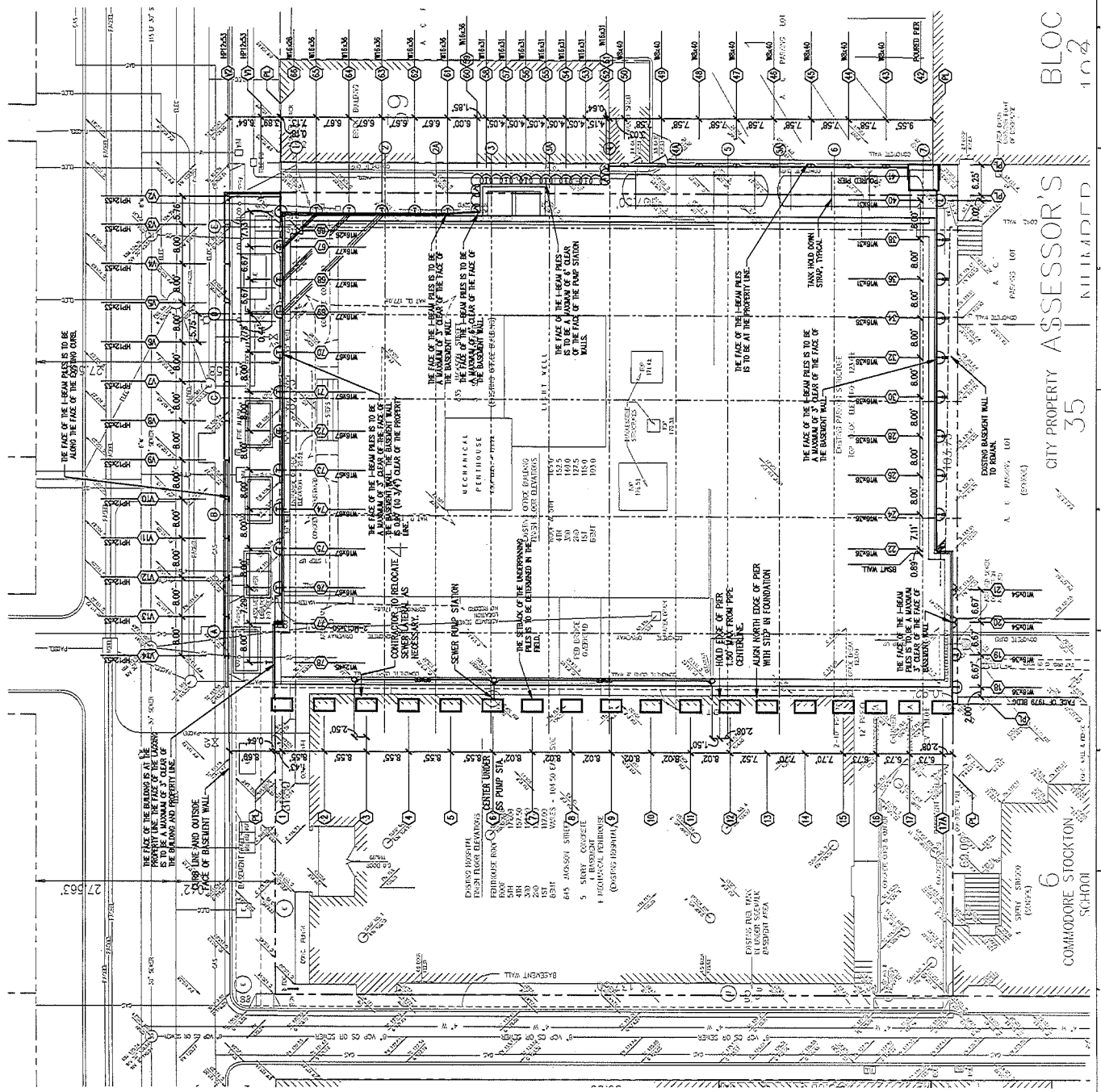
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CONTRACT	1	08/14/17
ADDITIONAL	1	08/14/17
REVISIONS	1	08/14/17
FOR REVIEW	1	08/14/17
FOR PERMITS	1	08/14/17
FOR BIDDING	1	08/14/17
FOR CONSTRUCTION	1	08/14/17



The signature of the Engineer and the seal of the Engineer are required for the approval of this drawing by the State of Texas. The Engineer is responsible for the accuracy of the information provided and the Engineer is not responsible for any information not provided by the Engineer.



- NOTES:**
- SEE SHORING PLANS BY SURE ENGINEERING FOR NOTES AND DETAILS.
  - SEWER LINES ARE TO BE LOCATED PRIOR TO START OF UNDERPINNING CONSTRUCTION.
  - LOCATION OF UNDERPINNING PILES MAY VARY BASED ON THE LOCATION OF THE FIELD LOCATED SEWER PIPES AND PUMP STATION.
  - CONTRACTOR IS RESPONSIBLE FOR MAINTAINING SEWER SERVICE DURING THE UNDERPINNING CONSTRUCTION OF THE SITE.
  - SOME TYPE OF DESIGN FOR THE RELOCATION OF THE SEWER SYSTEM WILL BE SUBMITTED TO THE CONTRACTOR PRIOR TO THE COMPLETION OF THE EXCAVATION.



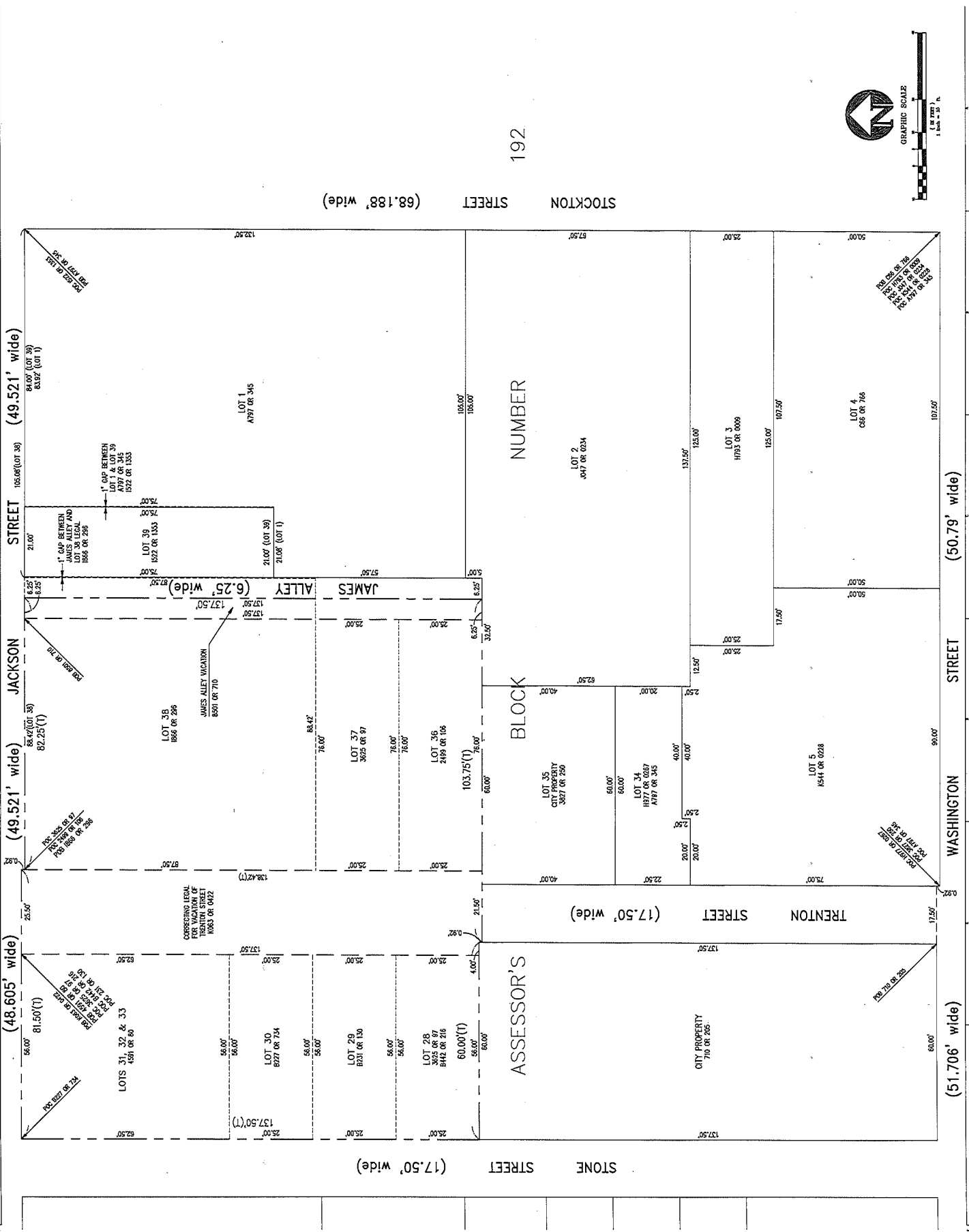
CITY PROPERTY ASSESSOR'S BLOC 102  
 35  
 COMMODORE STOCKTON SCHOOL

**CHINESE HOSPITAL**  
 848 JACKSON STREET  
 SAN FRANCISCO, CA  
 OSHPD # 18-072017  
 Facility Number 14821  
**NEW ACUTE CARE HOSPITAL & SKILLED NURSING UNIT**

**KCA ENGINEERS INC.**  
 CONSULTING CIVIL ENGINEERS  
 & LAND SURVEYORS  
 1400 MARKET STREET, SUITE 100  
 SAN FRANCISCO, CA 94102  
 (415) 774-2200  
 www.kca-engineers.com



**PROPERTY LINE ANALYSIS**  
 Project Name: CH 1338  
 Drawing Number: C9.1  
 Date: 10/29/12



192

STOCKTON STREET (68.188' wide)

JACKSON STREET (49.521' wide)

JACKSON STREET (49.521' wide)

JACKSON STREET (49.521' wide)

STONE STREET (17.50' wide)

WASHINGTON STREET (50.79' wide)

WASHINGTON STREET (50.79' wide)

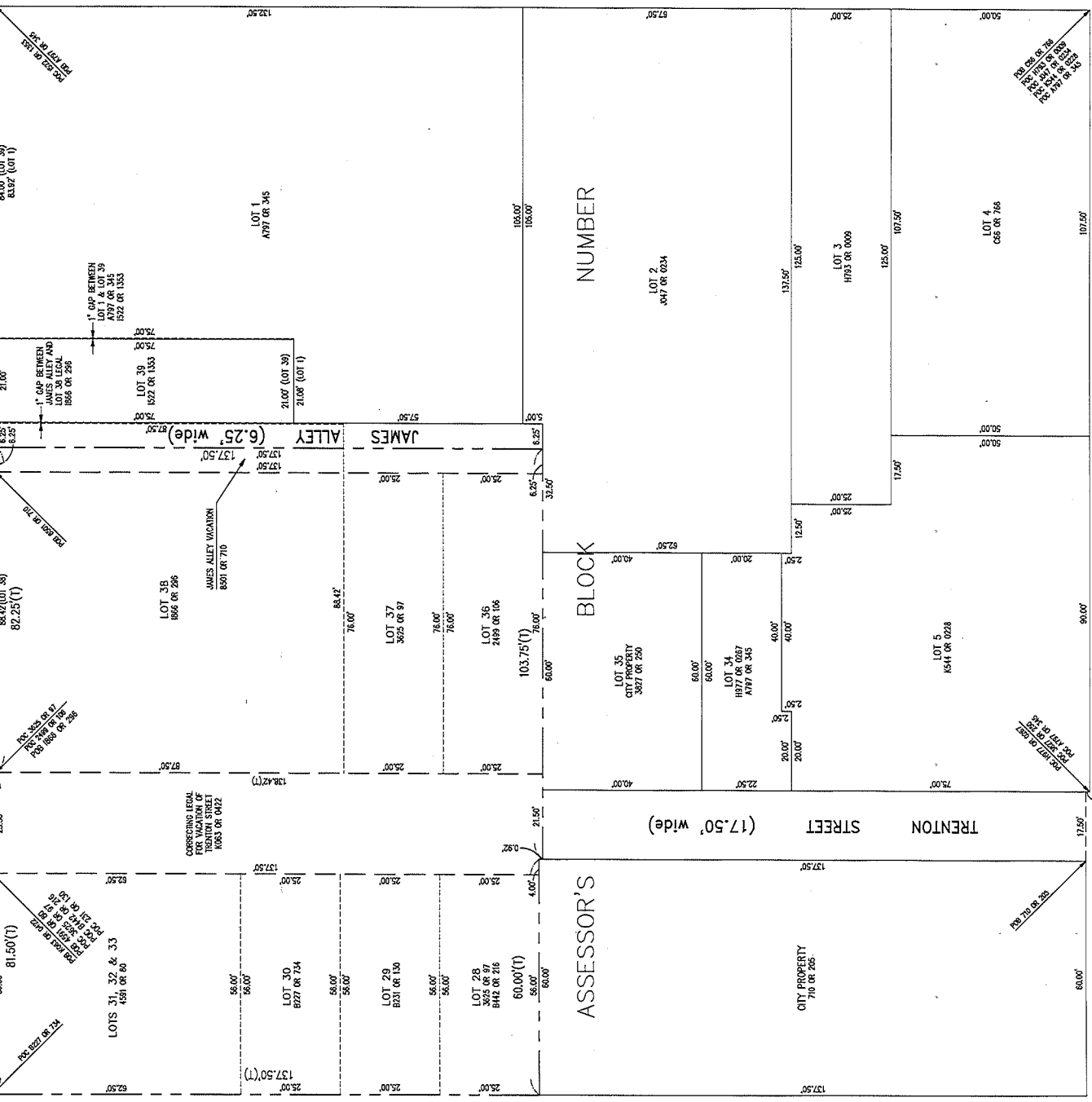
WASHINGTON STREET (50.79' wide)

NUMBER

BLOCK

ASSESSOR'S

TRENTON STREET (17.50' wide)



**CHINESE HOSPITAL**  
845 JACKSON STREET  
SAN FRANCISCO, CA  
OSHPD # IS-072017  
Facility Number 14621  
NEW ACUTE CARE  
HOSPITAL & SKILLED  
NURSING UNIT  
JACOBS CARTER BURGESS  
900 Fourth Street, Suite 500  
San Francisco, CA 94107  
Phone: 713/552-8801

CONSULTANTS:  
ARP  
MAZETTI & ASSOCIATES  
ENGINEERS, INC.  
SI ENGINEERS  
OWNER'S CONSULTANTS:  
KCA ENGINEERS  
TECHNOLOGICAL & ROLLO

Contract No. 2017-001-0001  
Project No. 17-001-0001  
Revision No. 00

Scale: 1" = 1'

Approved Professional Seal  
Professional Seal  
Professional Seal

Item No.	Rev.	Description	Date
1		ISSUE FOR PERMIT	08/11/17
2		FOR REVIEW AND COMMENT	08/11/17
3		FOR REVIEW AND COMMENT	08/11/17
4		FOR REVIEW AND COMMENT	08/11/17
5		FOR REVIEW AND COMMENT	08/11/17
6		FOR REVIEW AND COMMENT	08/11/17
7		FOR REVIEW AND COMMENT	08/11/17
8		FOR REVIEW AND COMMENT	08/11/17
9		FOR REVIEW AND COMMENT	08/11/17
10		FOR REVIEW AND COMMENT	08/11/17
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16		FOR REVIEW AND COMMENT	08/11/17
17		FOR REVIEW AND COMMENT	08/11/17
18		FOR REVIEW AND COMMENT	08/11/17
19		FOR REVIEW AND COMMENT	08/11/17
20		FOR REVIEW AND COMMENT	08/11/17

APPROVED PROFESSIONAL SEAL AND SIGNATURE  
APPROVED PROFESSIONAL SEAL AND SIGNATURE  
APPROVED PROFESSIONAL SEAL AND SIGNATURE

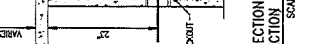
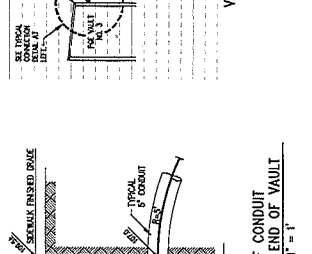
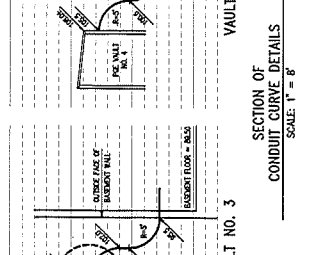
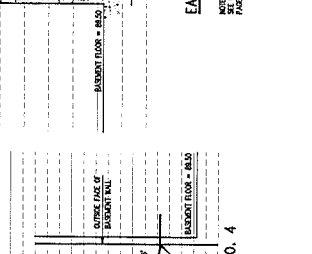
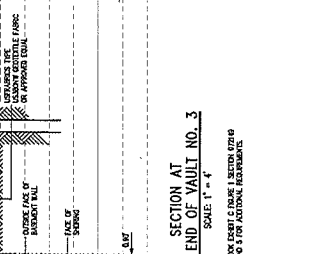
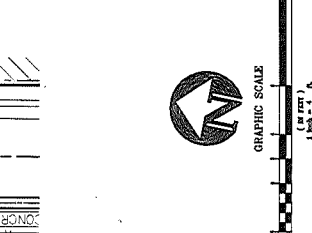
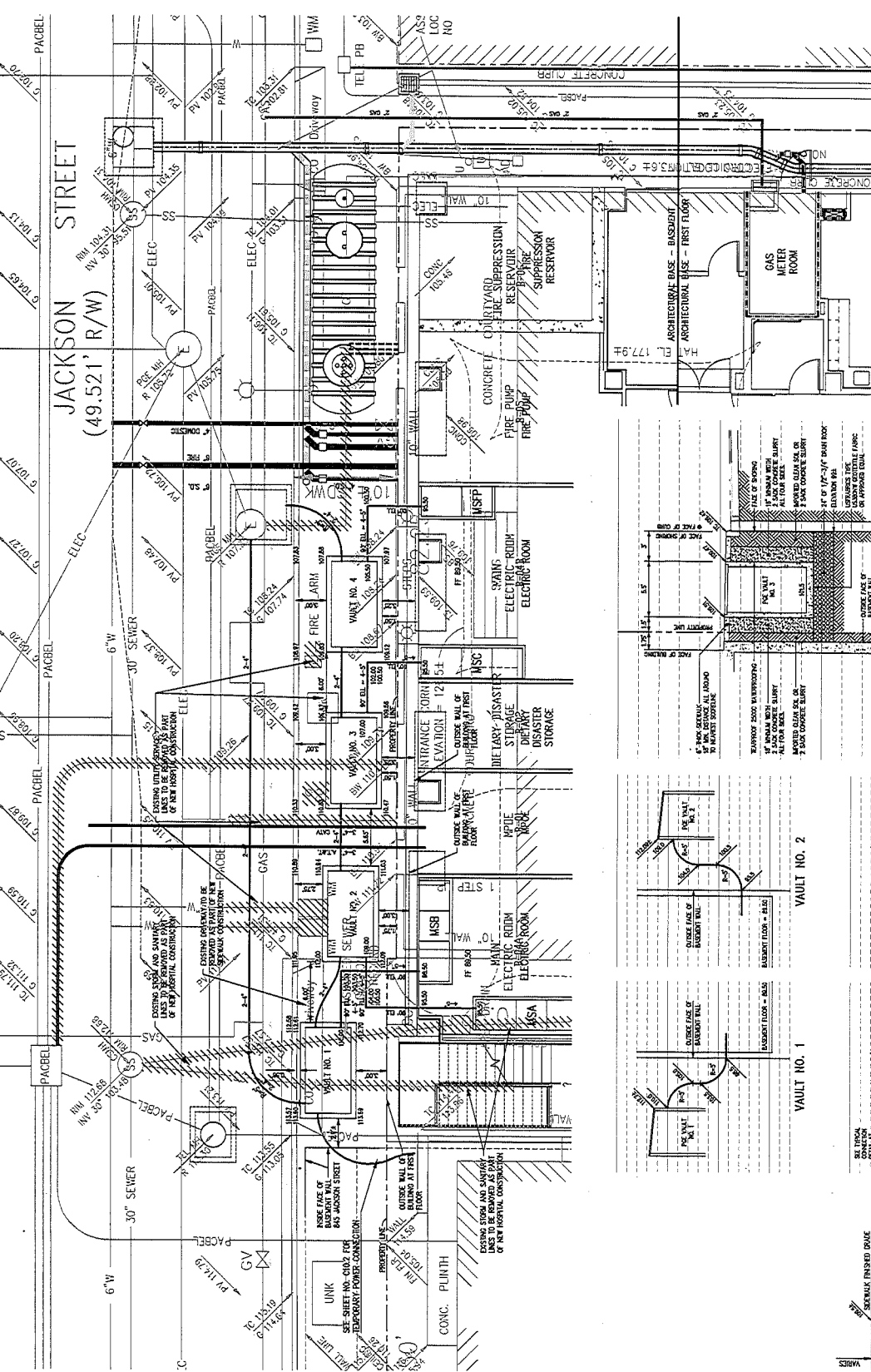
DATE: 08/11/17  
PROJECT NO.: 17-001-0001  
REVISION NO.: 00

SCALE: 1" = 1'

PROJECT NUMBER: 021538

DRAWING NUMBER: C10.1

SHEET NUMBER: 15/16



GRAPHIC SCALE  
1" = 10' 0"

N  
TRUE

Drawing Title  
**P.G.&E. VAULTS**

Scale: 1" = 1'

Project Number: 021538

Drawing Number: C10.1

Sheet Number: 15/16





# Introduction Form

By a Member of the Board of Supervisors or the Mayor

Time stamp  
or meeting date

I hereby submit the following item for introduction (select only one):

- 1. For reference to Committee.  
An ordinance, resolution, motion, or charter amendment.
- 2. Request for next printed agenda without reference to Committee.
- 3. Request for hearing on a subject matter at Committee.
- 4. Request for letter beginning "Supervisor [ ] inquires"
- 5. City Attorney request.
- 6. Call File No. [ ] from Committee.
- 7. Budget Analyst request (attach written motion).
- 8. Substitute Legislation File No. [ ]
- 9. Request for Closed Session (attach written motion).
- 10. Board to Sit as A Committee of the Whole.
- 11. Question(s) submitted for Mayoral Appearance before the BOS on [ ]

Please check the appropriate boxes. The proposed legislation should be forwarded to the following:

- Small Business Commission       Youth Commission       Ethics Commission
- Planning Commission       Building Inspection Commission

**Note: For the Imperative Agenda (a resolution not on the printed agenda), use a Imperative**

**Sponsor(s):**

Supervisor David Chiu

**Subject:**

Major Street Encroachment - 835 Jackson Street

**The text is listed below or attached:**

See attached.

Signature of Sponsoring Supervisor: David Chiu

For Clerk's Use Only:

130756