

MILLS ACT APPLICATION  
1315 WALLER STREET  
SAN FRANCISCO, CALIFORNIA  
[I8364A]

PREPARED FOR: TJARKO & AIMEE LEIFER

PRIMARY PROJECT CONTACT:  
Christina Dikas  
Page & Turnbull, 170 Maiden Lane, 5th floor  
San Francisco, CA 94108  
415.593.3224/ 415.362.5560 fax  
dikas@page-turnbull.com



## TABLE OF CONTENTS

This application contains the following documents:

**I. APPLICATION FORM**

**II. EXEMPTION STATEMENT AND SIGNIFICANCE EVALUATION**

**III. HISTORIC STRUCTURE REPORT**

INTRODUCTION

BRIEF HISTORY OF 1315 WALLER STREET AND HISTORIC SIGNIFICANCE

CONSTRUCTION CHRONOLOGY

CHARACTER-DEFINING FEATURES

ARCHITECTURAL DESCRIPTION

EXISTING CONDITIONS

TREATMENT RECOMMENDATIONS

**IV. 1315 WALLER STREET ADDITIONAL PHOTOGRAPHY**

EXTERIOR PHOTOGRAPHS

INTERIOR PHOTOGRAPHS

**V. SITE PLAN**

**VI. TAX BILL**

## **I. APPLICATION FORM**



# MILLS ACT HISTORICAL PROPERTY CONTRACT

## INFORMATIONAL PACKET AND APPLICATION GUIDE

State Law and Chapter 71 of the San Francisco Administrative Code allows the City and County of San Francisco to enter into a preservation contract with local property owners who restore and preserve qualified historic properties. In exchange for maintaining and preserving a historic property, the owner receives a property tax reduction. Planning staff are available to advise you in the preparation of this application. Call (415) 558-6377 for further information.

**Español:** Si desea ayuda sobre cómo llenar esta solicitud en español, por favor llame al 415.575.9010. Tenga en cuenta que el Departamento de Planificación requerirá al menos un día hábil para responder

中文：如果您希望獲得使用中文填寫這份申請表的幫助，請致電 415.575.9010。請注意，規劃部門需要至少一個工作日來回應。

**Tagalog:** Kung gusto mo ng tulong sa pagkumpleto ng application na ito sa Filipino, paki tawagan ang 415.575.9120. Paki tandaan na mangangailangan ang Planning Department ng hindi kukulangin sa isang araw na pantrabaho para makasagot.

## WHAT IS A MILLS ACT PROPERTY CONTRACT?

The Mills Act Contract is an agreement between the City and County of San Francisco and the owner of a qualified property based on California Government Code, Article 12, Sections 50280-50290 (Mills Act). This state law, enacted in 1972, grants the City and County of San Francisco the authority to enter into contracts with owners of qualified historic properties who actively participate in the restoration and maintenance of their historic properties while receiving property tax relief. Owners of qualifying historic properties who agree to comply with certain preservation restrictions receive a potential property tax savings to help offset the costs to restore, rehabilitate, and maintain their historic property according to the *Secretary of the Interior's Standards* and the California Historical Building Code. The Mills Act allows historic property owners to restore their historic buildings; obligates future owners to the maintenance and care of the property; and may provide significant property tax savings to the property owner, particularly to smaller, single-family homeowners. The San Francisco Board of Supervisors approves all final contracts. Once executed, the contract is recorded on the property and leads to reassessment of the property the following year.

## WHO MAY APPLY FOR A MILLS ACT PROPERTY CONTRACT?

The Mills Act is for qualified historic property owners who agree to rehabilitate, restore and maintain their property and in conformance with the *Secretary of the Interior's Treatment of Historic Properties*, in particular the Standards for Rehabilitation, and the California Historical Building Code. Rehabilitation, restoration and maintenance work to the property must begin and be completed during the initial ten year term of the Mills Act Contract. Qualified historic properties are those that have been designated as a City Landmark or those listed on the National Register or California Register of Historic Places. Eligibility for Historical Property Contracts shall be limited to residential buildings or structures with a pre-contract assessed valuation of \$3,000,000 or less and commercial and industrial buildings with a pre-contract assessed valuation of \$5,000,000 or less, unless the individual property is granted an exemption from those limits by the Board of Supervisors.

If a property has multiple owners, all property owners of the subject property must enter into the contract simultaneously.



## THE APPLICATION PACKET

This Application Packet is a summary of the Mills Act Historical Property Contract (“Mills Act Contract”) Program’s features. The complete details are described in the legal texts of the San Francisco Administrative Code, Chapter 71, California Government Code Sections 50280-50290 (Appendix A to this packet.) and California Taxation Code Article 1.9, Sections 439-439.4. (Appendix B to this packet.)

**IMPORTANT: Please read the entire application packet before getting started. Applicants are responsible for all of the information contained in the Application Guide. Be sure to review the Application Checklist to ensure that you are submitting all of the required documents. Incomplete applications may not meet the schedule outlined in this application.**

A Mills Act Historical Property Contract application provides the potential for property tax reduction. It is not a guarantee. Each property varies according to its income-generating potential and current assessed value. Mills Act properties are reassessed annually and periodically inspected for contract compliance.

## WHICH PROPERTIES ARE ELIGIBLE TO APPLY?

In order to participate in the Mills Act Contract Program, properties must meet the following four criteria:

### Criteria 1: Qualified Historic Property

The following are qualifying historic properties eligible for the Mills Act program.

- **Individually Designated Pursuant to Article 10 of the Planning Code.** Properties that have been designated as an individual city landmark.
- **Buildings in Landmark Districts Designated Pursuant to Article 10 of the Planning Code.** Properties that have been listed as a contributor to a city landmark district.
- **Properties Designated as Significant (Category I or II) Pursuant to Article 11 of the Planning Code.** Properties located in the C-3 Zoning District that have been determined to be a Category I or II, Significant Building.
- **Properties Designated as Contributory (Category III and IV) to a Conservation District Pursuant to Article 11 of the Planning Code.** Properties located in the C-3 Zoning District that have been determined to be Category III and IV.
- **Individual Landmarks under the California Register of Historical Resources.** Properties that have been officially designated as a California Register individual landmark.
- **Contributory Buildings in California Register of Historical Resources Historic Districts.** Properties that have been identified as a contributory building in a California Register Historic District.
- **Individual Landmarks listed in the National Register of Historic Places.** Properties that have been individually listed in the National Register.
- **Contributory Buildings listed in the National Register of Historic Places as a Historic District.** Properties that have been identified as a contributory building to a National Register Historic District.

*NOTE: Properties with outstanding violations issued by the San Francisco Planning Department or the Department of Building Inspection are not eligible to apply for the Mills Act. Outstanding violations must be corrected before submitting a Mills Act application.*

*To be considered a qualifying historic property, the property owner must submit a complete application for listing or designation on or before December 31 of the year before the Mills Act application is made.*

If there are any questions about whether your property is eligible, please contact the Planning Department at [CPC.MillsActInfo@sfgov.org](mailto:CPC.MillsActInfo@sfgov.org).

## Criteria 2. Tax Assessment Value

Qualified historic properties must also meet a tax assessment value to be eligible for a Mills Act Contract. All owners of the property must enter into the Mills Act contract with the City.

**For Residential Buildings:** Eligibility is limited to a property tax assessment value of less than \$3,000,000.

**For Commercial, Industrial or Mixed-Use Buildings:** Eligibility is limited to a property tax assessment value of less than \$5,000,000.

**Exceptions To Property Value Limits:** A property may be exempt from the tax assessment value if it meets the following criteria:

- The qualified historic property is an exceptional example of architectural style or represents a work of a master architect or is associated with the lives of persons important to local or national history; or
- Granting the exemption will assist in the preservation and rehabilitation of a historic structure (including unusual and/or excessive maintenance requirements) that would otherwise be in danger of demolition, deterioration, or abandonment.

Properties applying for a valuation exemption must provide evidence that the property meets the exemption criteria. This evidence must be documented by a qualified historic preservation consultant in a Historic Structure Report or Conditions Assessment to substantiate the circumstances for granting the exemption. Please contact Planning Department Preservation Staff to determine which report your property requires.

The Historic Preservation Commission shall make specific findings to the Board of Supervisors recommending approval or denial of the exemption. Final approval of this exemption is under the purview of the Board of Supervisors.

*NOTE: Owners of properties with comparatively low property taxes due to Proposition 13 may not see a benefit with a Mills Act Contract. The assessed value under the Mills Act may be higher than the existing base-year value of the property. Generally, owners who have purchased their properties within the last ten years are more likely to benefit from entering into a Mills Act contract. As the Planning Department cannot give tax advice, applicants should consult with financial and tax professionals to assess the merits of applying for the Mills Act.*

## Criteria 3. Priority Considerations

All applications are reviewed on the merits of the Priority Consideration Criteria. An application must meet a minimum of three out of five criteria to be given priority for the program and must demonstrate a need for restoration, rehabilitation and preservation. If fewer than three of the criteria are met your application will still be considered, but may not be given priority. Properties requiring only routine maintenance may not be given priority. Properties needing financial assistance to commence or complete rehabilitation work will be given priority.

Historic properties must meet three or more of the following priority consideration criteria in order to be given priority for a Mills Act Contract:

- **Necessity:** The project will require a financial incentive to help ensure the preservation of the property. This criterion will establish that the property is in danger of deterioration and in need of substantial rehabilitation and restoration that has significant associated costs. Properties with open complaints, enforcement cases or violations will not meet this criterion.
- **Investment:** The project will result in additional private investment in the property other than for routine maintenance. This may include seismic retrofitting and substantial rehabilitation and restoration work. This criterion will establish that the owner is committed to investing in the restoration, rehabilitation and maintenance the property.
- **Distinctiveness:** The project preserves a distinctive example of a property that is especially deserving of a contract due to its exceptional nature.
- **Recently Designated City Landmarks:** properties that have been recently designated landmarks will be given priority consideration.

- **Legacy Business:** The project will preserve a property at which a business included in the Legacy Business Registry is located. This criterion will establish that the owner is committed to preserving the property, including physical features that define the existing Legacy Business.

#### **Criteria 4. Rehabilitation/Restoration and Maintenance Plans**

The purpose of a Mills Act Contract is to restore, rehabilitate and maintain historic properties. Program participants shall have Rehabilitation/Restoration and Maintenance plans with qualifying scopes of work that rehabilitate, restore and maintain the property. Qualifying scopes of work are those that prolong the life of the building. Examples of qualifying scopes of work include the following:

- Exterior restoration, rehabilitation, and preservation associated with the creation of an Accessory Dwelling Unit
- Façade restoration, rehabilitation, preservation
- Accessibility and Life Safety improvements, such as seismic retrofit
- Window repair or restoration
- Front stair/entrance repair or restoration
- Roof replacement
- Structural improvements, such as a new foundation
- Storefront repair or restoration
- Façade stabilization and repair, such as terra cotta repair, repair of historic stucco or wood cladding
- Theater marquee repair, restoration, or reconstruction
- Materials conservation, such as murals, frescos, and decorative plasterwork

*NOTE: Additional scopes of work that are not listed above may be included as necessary to rehabilitate, restore and maintain the property. Scopes of work must be completed in conformance with the Secretary of the Interior's Standards for Rehabilitation and the California Historical Building Code. Critical infrastructure and rehabilitation tasks should be completed first. Scopes of work may be completed within the same calendar year as the application is made. All proposed scopes of work must be completed during the initial ten-year term of the contract. Permits and entitlements for scopes of work identified within the first three years of the Rehabilitation Plan must be filed prior to or during the Mills Act application process. All remaining permits and entitlements for scopes of work beyond year three must be secured and completed prior to the end of the ten-year Contract.*

#### **MILLS ACT TIMELINE**

**DECEMBER 31:** Property owners submits a complete application for listing or designation as a qualified historical property before December 31 of the year before the Mills Act application is made.

**JANUARY 1:** Mills Act application period open. All Mills Act applications must be filed no later than May 1.

**MARCH:** To be given priority consideration, property owner must schedule a Project Review Meeting no later than March 15. Preservation staff will review completed DRAFT Mills Act application and offer guidance on next steps. Project Review Meeting Applications are available San Francisco Planning Department Website at [www.sfplanning.org](http://www.sfplanning.org). **When completing the application, please state the purpose of the Project Review Meeting and check the box requesting the presence of Preservation Planner.**

Please note that meetings occur on a first come first basis. We recommend applying early to ensure that Preservation staff is available to meet with you prior to March 15.

**APRIL:** Schedule an Intake Appointment to submit your Mills Act application. Only complete submittals will be accepted! To ensure you have a complete application with all required materials, please refer to the checklist at the end of the application packet. Intake Application forms are available on the San Francisco Planning Department Website at [www.sfplanning.org](http://www.sfplanning.org).

**MAY 1:** Mills Act applications due.

**MID-MAY:** Planning staff schedules site visit of property with property owner.

**JUNE 1:** Planning transmits applications to Office of Assessor-Recorder.

**SEPTEMBER 1:** Estimated valuation from the Office of Assessor-Recorder submitted to property owner.

**SEPTEMBER 15:** Property owner has until September 15 to review the valuation and ask the Office of Assessor-Recorder questions.

**SEPTEMBER/OCTOBER:**

- **Historic Preservation Commission Hearing.** Planning Department staff presents application to Historic Preservation Commission (HPC) for their review. HPC may recommend, modify, or deny approval to the Board of Supervisors (BOS).

The HPC meets the first and third Wednesday of each month. The HPC Hearing will be the third Wednesday in September or the first Wednesday in October.

- **Government and Audit Oversight Committee Hearing.** Government and Audit Oversight (GAO) Committee may Recommend, Not Recommend, or forward without Recommendation to the Full Board.

**NOVEMBER: Board of Supervisors Final Hearing.** Clerk of the Board Schedules Final Board of Supervisors (BOS) hearing. BOS may approve, modify or deny the contract.

**DECEMBER:**

- **City Attorney's Office finalizes contracts.** City Attorney verifies, prints and signs final contracts and returns to Planning.
- **Owners pick up contracts from Planning.** Owners sign and notarize contracts.

**DECEMBER 15: Owners return signed and notarized contracts to Planning**  
Planning transmits contracts to Office of Assessor-Recorder to review and sign contracts.

**DECEMBER 30: Owner records contracts at Office of Assessor-Recorder**

- Office of the Assessor-Recorder  
City Hall, Room 190  
1 Dr. Carlton B. Goodlett Place  
San Francisco, CA 94102  
Recording Hours of Operation: Mon-Fri (8-4pm)

- Owner responsible for all recording fees

**JANUARY: Contracts are distributed**

- Original contract is mailed to the Planning Department. Owner pays for conformed copy for their records.

**FEBRUARY/MARCH: Mills Act Monitoring**

- Planning mails contract compliance affidavits to owners.  
Onsite property inspections occur every three years with Planning and the Assessor Recorder's Office.
- Owner returns affidavits to Planning no later than March 31.

# MILLS ACT PROCESS & TIMELINE

Detailed timeline information provided on previous page under "Important Dates and Milestones"

## Be Prepared

- Review the Informational Packet
- Determine whether your property qualifies for the Mills Act
- Gather estimates for all proposed scopes of work

### Phase 1:

#### Planning Department Reviews Application

- Schedule a Project Review meeting with Preservation staff by March 15.
- Property owner schedules an Intake Appointment to submit the Mills Act application (April)
- Property owner submits completed application to Planning (Deadline May 1)
- Planning Department and the Office of Assessor-Recorder schedule site visits with the Owner for a property inspection.

### Phase 2:

#### Assessor Calculates Valuations

- Planning transmits applications to Office of Assessor-Recorder. (June 1)
- Final valuation submitted to property owners. (September 1)
- Property owner reviews valuations. (Deadline September 15)

### Phase 3:

#### Approvals: Historic Preservation Commission (HPC) Hearing

- The HPC may recommend, modify, or deny approval to the Board of Supervisors.

### Phase 4:

#### Approvals: Government Audit and Oversight (GAO) Committee Hearing

- GAO Committee may Recommend, Not Recommend, or forward without Recommendation to the Full Board.

### Phase 5:

#### Approvals: Board of Supervisors (BoS) Final Hearing

- Clerk of the Board schedules Final BoS hearing according to availability on the committee agenda. The Board of Supervisors may approve, modify, or deny the contract.

### Phase 6:

#### Final Contracts Issued and Recorded

- City Attorney verifies, prints, and signs final contracts and returns to Planning.
- Owners pick up contracts from Planning, signs and has contracts notarized.
- Owners return contracts to Planning Department. (Deadline December 15)
- Planning transmits to Office of Assessor-Recorder to review and sign contracts.
- Owner records contracts at Office of Assessor-Recorder. (Deadline December 30)

### Phase 7:

#### Contracts are distributed

- Original contract is mailed to the Planning Department. Owner pays for conformed copy for their records.

### Phase 8:

#### Mills Act Monitoring

- Planning mails compliance affidavits to owners; owner then returns affidavit to Planning. (Deadline March 31)

**San Francisco Planning Department**  
1650 Mission St, 4th Floor, 9am – 5pm  
San Francisco, CA 94103  
415.558.6378  
www.sfplanning.org

**Office of Assessor Recorder**  
City Hall, Room 190, 8am-4pm  
San Francisco, CA 94103  
415.554.5596  
www.sfassessor.org

# TERMS AND ROLES OF THE MILLS ACT HISTORICAL PROPERTY CONTRACT

## Duration of Contract

The Mills Act contract is for a minimum term of ten years. Absent non-renewal or cancellation as set forth below, an additional year is automatically added to the contract each year on its anniversary date, so the contract remains valid for ten years. Under these circumstances, the contract runs (essentially in perpetuity) with the land, which means it is binding on all future owners of the property.

## Non-Renewal of the Contract

Should either party desire not to renew the contract for an additional year at any point, they can issue a notice of non-renewal giving the other party such notice. The owner may notify the Planning Department at least ninety days prior to the annual renewal date. The City may notify the owner at least sixty days prior to the annual renewal date. The owner may make a written protest. After either party issues a notice of non-renewal, the contract remains in effect for the balance of the 10-year term of the contract beyond the notice of non-renewal.

## Rehabilitation and Maintenance of the Historic Property

Any work performed to the property must conform to the *Secretary of the Interior's Standards for the Treatment of Historic Properties*, specifically, the Standards for Rehabilitation and the California Historical Building Code. The owner must apply for and receive any necessary building permits or approvals, such as a Certificate of Appropriateness, for the first three years of work outlined in the Rehabilitation/Restoration or Maintenance plans during the Mill Act application process. All work outlined in the Rehabilitation/Restoration and Maintenance Plans must be completed during the ten year term of the Mills Act Contract. Work completed in the same calendar year as the Mills Act application is made may be included in the Rehabilitation Plan. The Rehabilitation/Restoration and Maintenance Plans must include Qualifying Scopes of Work or work that is necessary to prolong the life of the building. Qualifying Scopes of work may include restoration, seismic upgrades, accessibility, and other life-safety upgrades. Additional work may also be necessary.

## Annual Monitoring and Periodic Inspections

The Planning Department issues an Affidavit for Annual Monitoring requiring the property owner to self-inspect and report to the Planning Department on the progress of rehabilitating and maintaining their property. The City may conduct periodic inspections of the property to confirm work has been completed in conformance with the approved Mills Act Contract. In compliance with state law, onsite inspections of the property by the Planning Department and the Office of the Assessor-Recorder will occur every five years. All site visits will be scheduled in advance with the property owner.

## Breach of Contract

If the property owner is found to be in breach of contract, the City may cancel the contract whereupon the Assessor-Recorder will collect a cancellation fee of 12 1/2 percent (12.5%) of the fair market value of the property as determined by the Assessor-Recorder. Failure to rehabilitate or maintain the property are grounds for cancellation, among others, as set forth in the contract.

## Recordation

A complete Mills Act contract must be recorded with the Office of the Assessor-Recorder. In order to record the contract, all approvals, signatures, recordation attachments must be included and all applicable recording fees must be paid by the property owner. A contract may be considered incomplete if all components are not adequately satisfied. To see the current recording fee schedule, go to [www.sfassessor.org](http://www.sfassessor.org).

## Transfer of Ownership

A Mills Act Contract runs with the property. Subsequent owners are bound by the terms and conditions of the contract, and obligated to complete any work identified in the contract that the prior owner did not complete, or partially completed and perform required maintenance, as well as all other owner obligations under the contract. For example, if an owner completes some of the contract mandated work in the first five years and then sells the property, the new buyer would have five years to complete the rehabilitation/restoration of the property. Prospective buyers will receive notice of the contract because it will be recorded.

## **Role of the Planning Department**

The Planning Department oversees all Mills Act applications, presents applications before the appropriate hearing bodies and monitors the City's existing Mills Act properties. Preservation Planners work with property owners to complete their applications and develop rehabilitation and maintenance plans that are specific to each property. Planners keep the applicants informed throughout the year, as the application moves forward through the Office of the Assessor-Recorder, the Historic Preservation Commission, and the Board of Supervisors. The Planning Department also serves as the main point of contact for annual monitoring.

## **Role of the Office of Assessor-Recorder**

The role of the Office of the Assessor-Recorder is to locate and accurately assess all taxable property in San Francisco and also serve as the county's official record-keeper of documents such as deeds, liens, maps and property contracts. In a Mills Act Historical Property contract, the Office of the Assessor-Recorder assesses qualified properties based on a state prescribed approach and records the fully executed contract. All Mills Act properties will receive an initial valuation during the application process and will be assessed annually by the January 1st lien date and in subsequent years, as required by state law.

## **Role of the Historic Preservation Commission**

The Historic Preservation Commission (HPC) will hold a hearing to make a recommendation to the Board of Supervisors whether to approve, modify or deny the application. The HPC may include recommendations regarding the proposed rehabilitation, restoration, and maintenance work, the historic value of the qualified property and any proposed restrictions or maintenance requirements to be included in the final Historical Property Contract. The HPC's recommendation will be forwarded to the Board of Supervisors.

If the Historic Preservation Commission recommends disapproval of the contract, such decision shall be final unless the property owner files an appeal with the Clerk of the Board of Supervisors within 10 days of final action of the Historic Preservation Commission.

## **Role of the Board of Supervisors**

The Mills Act Application is referred by the Planning Department to the Board of Supervisors. Every contract must be scheduled in a Committee of the Board of Supervisors. A report prepared by the Board of Supervisors Budget & Legislative Analysts Office will detail the property tax savings and the potential impact this may have on the City's finances. The Committee may recommend, not recommend or forward the application without recommendation to the full Board of Supervisors.

The Board of Supervisors has complete discretion whether to approve, disapprove, or approve with modifications the Mills Act Historical Property Contract. The final decision rests with the Board of Supervisors. The legislative process may take a minimum of five weeks.

## **FEES**

Check the current fee schedule at the San Francisco Planning Department website for Mills Act and Project Review application fees.

### **Mills Act Contract Recording Fee**

Contract recording fees are determined by the Office of the Assessor-Recorder. Contracts must be recorded in-person by the property owner at Office of the Assessor-Recorder.

### **Cancelations and Refunds**

Applicant may withdraw a Mills Act application at any time during the application cycle. Applicant may request a refund for any remaining fees (once staff time and materials are deducted) if the application is canceled prior to the Historic Preservation Commission Hearing.



# MILLS ACT HISTORICAL PROPERTY CONTRACT APPLICATION CHECKLIST:

Applicants should complete this checklist and submit along with the application to ensure that all necessary materials have been provided. **Any application found to be incomplete may nullify the timelines in this application.**

Applications must be submitted as a hard copy and a digital copy to the Planning Department Mills Act Coordinator by **May 1st** in order to comply with the established timelines.

## 1. Mills Act Application

YES  NO Has each property owner signed?

YES  NO Has each signature been notarized?

## 2. High Property Value Exemption Form & Historic Structure Report (if applicable)

Required for Residential properties with an assessed value over \$3,000,000 and Commercial/Industrial properties with an assessed value over \$5,000,000.

YES  NO Have you included a separate sheet of paper adequately justifying how the property meets the following exemption criteria and why it should be exempt from the property tax valuations?

YES  NO Have you included a copy of the Historic Structure Report completed by a qualified consultant?

## 3. Priority Consideration Criteria Checklist

YES  NO Have you included a separate sheet of paper adequately justifying how the property meets three or more priority consideration criteria?

## 4. Draft Mills Act Historical Property Contract

YES  NO Have you reviewed the Planning Department's standard "Historical Property Contract"?

## 5. Notary Acknowledgement Form

YES  NO Is the Acknowledgement Form complete?

YES  NO Do the signatures match the names and capacities of signers?

## 6. Draft Rehabilitation/Restoration and Draft Maintenance Plans

YES  NO Have you identified and completed the Rehabilitation/Restoration, and Maintenance Plans organized by contract year, including all supporting documentation, such as photographs and contractor's estimates related to the scopes of work?

## 7. Photographic Documentation

YES  NO Have you provided both interior and exterior images (either digitally or on separate sheets of paper)? Are the images properly labeled?



## 8. Site Plan

- YES  NO Does your site plan show all buildings on the property including lot boundary lines, street name(s), north arrow and dimensions?

## 9. Tax Bill

- YES  NO Did you include a copy of your most recent tax bill?

## 10. Rental Income Information

- YES  NO Did you include information regarding any rental income on the property, including anticipated annual expenses, such as utilities, garage, insurance, building maintenance, etc.?  
N/A

## 11. Application Fee Payment

- YES  NO Did you include a check payable to the San Francisco Planning Department? The current fee schedule for applications can be found on the Planning Department website.

## 12. Eligibility

APPLICATION FEE IS READY TO BE SUBMITTED PENDING INSTRUCTION FROM THE SAN FRANCISCO PLANNING DEPARTMENT. PER PLANNING, THE OWNER WILL BE NOTIFIED OF THE OUTSTANDING AMOUNT DUE FOLLOWING DEDUCTION FROM THE PAYMENT ON FILE FROM LAST YEAR'S SUBMISSION.

- YES  NO Is your property a qualified historic property?
- YES  NO If no, did you submit a complete city landmark designation application before December 31 of the previous year?  
N/A

## 13. Project Review Meeting

- YES  NO Did you attend a Project Review Meeting with Preservation Staff?

If yes, please provide date of Project Review Meeting. Date: March 10, 2020



## MILLS ACT HISTORICAL PROPERTY CONTRACT

### SUPPLEMENTAL APPLICATION

Note: Applications must be submitted in both hard copy and digital copy form to the Planning Department at 1650 Mission St., Suite 400 by May 1 in order to comply with the timelines established in the Application Guide. Please submit only the Application and required documents.

#### Property Information

Project Address: 1315 Waller Street, San Francisco, CA 94117

Block/Lot(s): 1255/080

Is the entire property owner-occupied?

Yes  No

If **NO**, please provide an approximate square footage for owner-occupied areas vs. rental income (non-owner-occupied areas). Attach a separate sheet of paper if necessary.

#### Rental Income Information

Include information regarding any rental income on the property, including anticipated annual expenses, such as utilities, garage, insurance, building maintenance, etc.? Attach a separate sheet of paper if necessary.

N/A

#### Property Owner's Information

(If more than three owners attach additional sheets as necessary. Property owner names must be listed exactly as listed on the deed)

Name (Owner 1): Tjarko Zuri Leifer

Company/Organization: N/A

Address: 1315 Waller Street  
San Francisco, CA 94117

Email Address: tjarko@gmail.com

Telephone: 415-730-9300

Name (Owner 2): Aimee Marie LaFont Leifer

Company/Organization: N/A

Address: 1315 Waller Street  
San Francisco, CA 94117

Email Address: aimeeleifer@gmail.com

Telephone: 415-730-9300

Name (Owner 3):

Company/Organization:

Address:

Email Address:

Telephone:

Do you own other property in the City and County of San Francisco?

Yes  No

If **YES**, please list the addresses and Block/Lot(s) for all other property owned within the City of San Francisco.

329-333 Lyon Street, Block/Lot 1207/006

**Applicant Information**  Same as above

Name:

Company/Organization:

Address:

Email Address:

Telephone:

**Please Select Billing Contact**  Owner  Applicant

Name: Tjarko Zuri Leifer

Email Address: tjarko@gmail.com

Telephone: 415-699-9592

Please Select Primary Project Contact:  Owner  Applicant

**Qualified Historic Property**

- Individually Designated Pursuant to Article 10 of the Planning Code.  
Landmark No.: \_\_\_\_\_ Landmark Name: \_\_\_\_\_
- Contributing Building in a Landmark District Designated Pursuant to Article 10 of the Planning Code.  
Landmark District Name: \_\_\_\_\_
- Significant (Category I or II) Pursuant to Article 11 of the Planning Code.
- Contributory (Category III) Pursuant to Article 11 of the Planning Code
- Contributory (Category IV) to a Conservation District Pursuant to Article 11 of the Planning Code.
- Individual Landmark under the California Register of Historical Resources
- Contributory Building in California Register of Historical Resources Historic Districts.
- Individual Landmark listed in the National Register of Historic Places.
- Contributory Building listed in the National Register of Historic Places as a Historic District.
- Submitted a complete application for listing or designation on or before December 31 of the year before the application is made.

Are there any outstanding violations on the property from the San Francisco Planning Department or the Department of Building Inspection? If **YES**, all outstanding violations must be abated and closed for eligibility for the Mills Act.

Yes  No

Are taxes on all property owned within the City and County of San Francisco paid to date? If **NO**, all property taxes must be paid for eligibility for the Mills Act.

Yes  No

**NOTE:** All property owners are required to include a copy of their most recent property tax bill.

## Tax Assessment Value

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Most Recent Assessed Value: \$ 3,319,150

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Choose one of the following options:

The property is a Residential Building valued at less than \$3,000,000

Yes  No

The property is a Commercial/Industrial Building valued at less than \$5,000,000

Yes  No

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## Exemption from Tax Assessment Value

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If the property value exceeds the Tax Assessment Value, please explain below how the property meets the following two criteria and why it should be exempt from the Tax Assessment Value.

1. The site, building, or object, or structure is a particularly significant resource and represents an exceptional example of an architectural style, the work of a master, or is associated with the lives of significant persons or events important to local or natural history;

Constructed in 1896 by shipwright and real estate developer John A. Whelan as his personal home, 1315 Waller Street is significant for its association with the pattern of residential development that characterized the Haight-Ashbury neighborhood at its peak in the late nineteenth century. With its dominant steeply gabled roof facing Waller Street and asymmetrical composition with a partial width front porch, canted bay windows, paired column supports, and abundance of richly patterned wall surfaces, 1315 Waller Street is also an exceptional example of the Queen Anne style of architecture as applied to a single-family house in the late nineteenth century in San Francisco.

2. Granting the exemption will assist in the preservation of a site, building, or object, or structure that would otherwise be in danger of demolition, substantial alteration, or disrepair.

Granting the exemption will aid in financing repairs, rehabilitation/restoration, and maintenance of the home that would otherwise be in danger of disrepair including: the historic decorative wood Queen Anne facade and wood-sided secondary facades, a deteriorated historic exterior door and garage doors at the primary facade, rehabilitation of the historic and replacement windows, the concrete/marble/wrought/cast iron entry stair including replacement of the plywood landing with a more appropriate stone/tile landing, and replacement of the roofing, flashings, and gutters/drains, and maintenance of the associated skylights.

**NOTE:** A Historic Structures Report, completed by a qualified historic preservation consultant, must be submitted in order to apply for an exemption from the tax assessment value.

Property owner will ensure that a portion of the Mills Act tax savings will be used to finance the preservation, rehabilitation, and maintenance of the property.

Yes  No

## Priority Consideration Criteria

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Please check the appropriate criteria as they apply to your property and explain on a separate piece of paper how the property meets the stated Priority Consideration Criteria. Only properties qualifying in three of the five categories are given priority consideration.

- Necessity:** The project will require a financial incentive to help ensure the preservation of the property. This criterion will establish that the property is in danger of deterioration and in need of substantial rehabilitation and restoration that has significant associated costs. Properties with open complaints, enforcement cases or violations will not meet this criterion.

The Mills Act will allow the building owners to conduct work that will restore historic integrity to the building, including the rehabilitation of the missing entry landing and of the replacement second floor windows and existing historic windows, restoration of deteriorated doors and garage doors at the primary facade, as well as wood repair and painting of the home. It will also allow for replacement of the roofing that has reached the end of its useful life. This work will be infeasible without the financial incentive that the Mills Act offers.

- Investment:** The project will result in additional private investment in the property other than for routine maintenance. This may include seismic retrofitting and substantial rehabilitation and restoration work. This criterion will establish that the owner is committed to investing in the restoration, rehabilitation and maintenance the property.

As stated under "Necessity," granting the Mills Act Contract will allow the building owners to invest in the home in a way that would otherwise be infeasible. The owners are very much committed to investing in the home as evidenced by the substantial loan they have taken already for major scopes such as seismic work (outside of the Mills Act application). The Mills Act will allow further investment into rehabilitation/restoration and

- Distinctiveness:** The project preserves a distinctive example of a property that is especially deserving of a contract due to its exceptional nature.

Known colloquially as "Winter" because of the distinctive snowflake applique at the center of its front facade, 1315 Waller Street was constructed in 1896 by shipwright and real estate developer John A. Whelan as part of a row of four houses, now known as the Four Seasons, and as Whelan's personal home. The house has become a prominent visual landmark in the Haight-Ashbury neighborhood along with the other three Four Seasons

- Recently Designated City Landmarks:** properties that have been recently designated landmarks will be given priority consideration.

- Legacy Business:** The project will preserve a property at which a business included in the Legacy Business Registry is located. This criterion will establish that the owner is committed to preserving the property, including physical features that define the existing Legacy Business.

## Photographic Documentation

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Provide both interior and exterior images (either on separate sheets of paper or digitally) and label the images properly.

## Site Plan

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On a separate sheet of paper, show all buildings on the property including lot boundary lines, street name(s), north arrow and dimensions on a site plan.

## Rehabilitation/Restoration & Maintenance Plans

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A 10 Year Rehabilitation/Restoration Plan, including estimates prepared by qualified contractors, has been submitted detailing work to be performed on the subject property

Yes  No

A 10 Year Maintenance Plan has been submitted detailing work to be performed on the subject property

Yes  No

Proposed work will meet the *Secretary of the Interior's Standards for the Treatment of Historic Properties*, the California Historic Building Code and all applicable Codes and Guidelines, including the Planning Code and Building Code.

Yes  No

## Rehabilitation/Restoration Plan (Exhibit A)

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Use this form to outline your Rehabilitation/Restoration Plan. Copy this page as necessary to include all rehabilitation and restoration scopes of work that you propose to complete within the next ten years. Arrange all scopes of work in order of priority.

<b>Scope: #</b> 1	<b>Building Feature:</b> Waller Street - Entry Stair Landing		
<input type="checkbox"/> Maintenance	<input checked="" type="checkbox"/> Rehab/Restoration	<input type="checkbox"/> Completed	<input checked="" type="checkbox"/> Proposed
Contract year work completion: 2023			
Total Cost: \$ 15,000			
Description of work:  Replace exposed plywood landing at the front door entry with appropriate marble/stone/tile mosaic flooring and waterproofing at landing.			

## Rehabilitation/Restoration Plan (Exhibit A)

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Use this form to outline your Rehabilitation/Restoration Plan. Copy this page as necessary to include all rehabilitation and restoration scopes of work that you propose to complete within the next ten years. Arrange all scopes of work in order of priority.

<b>Scope: #</b> 2	<b>Building Feature:</b> Waller Street - Entry Stair		
<input type="checkbox"/> Maintenance	<input checked="" type="checkbox"/> Rehab/Restoration	<input type="checkbox"/> Completed	<input checked="" type="checkbox"/> Proposed
Contract year work completion: 2023			
Total Cost: \$ 18,000			
Description of work:  Clean staining, soiling, biological growth, and discoloration at marble entry stair and concrete base landing/steps. Repair stone, including wear, chips, and cracks as needed. All work will comply with the National Park Service's Preservation Brief #1: Cleaning and Water-Repellent Treatments for Historic Masonry Buildings.			



## Rehabilitation/Restoration Plan (Exhibit A)

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Use this form to outline your Rehabilitation/Restoration Plan. Copy this page as necessary to include all rehabilitation and restoration scopes of work that you propose to complete within the next ten years. Arrange all scopes of work in order of priority.

<b>Scope: #</b> 3	<b>Building Feature:</b> Entry Stair Iron Handrail & Concrete Base
<input type="checkbox"/> Maintenance <input checked="" type="checkbox"/> Rehab/Restoration <input type="checkbox"/> Completed <input checked="" type="checkbox"/> Proposed	
Contract year work completion: 2023 and every 7-10 years as needed	
Total Cost: \$ 55,000	
Description of work:  Treat corrosion at handrails and prepare, prime, and paint with appropriate rust inhibitive metal paint. At the concrete base of the rail/side walls, remove paint and clean concrete substrate or prepare, prime, and repaint with appropriate breathable masonry paint.	

## Rehabilitation/Restoration Plan (Exhibit A)

Use this form to outline your Rehabilitation/Restoration Plan. Copy this page as necessary to include all rehabilitation and restoration scopes of work that you propose to complete within the next ten years. Arrange all scopes of work in order of priority.

<b>Scope: #</b> 4	<b>Building Feature:</b> Waller Street Facade - Painting
<input type="checkbox"/> Maintenance <input checked="" type="checkbox"/> Rehab/Restoration <input type="checkbox"/> Completed <input checked="" type="checkbox"/> Proposed	
Contract year work completion: 2023 and every 7-10 years as needed	
Total Cost: \$ 85,000	
Description of work:  Hire a qualified painting company to repair and repaint the front Waller Street facade of the house. Assess the facade for wood damage or deterioration, and repair as needed. Any needed repairs will avoid altering, removing or obscuring character-defining features of the building, and elements determined to be damaged or deteriorated beyond repair will be replaced in-kind (e.g., wood for wood). Prepare, prime, and paint with appropriate paint, including windows - (see Rehabilitation/Restoration Items 6, 7, & 11 for detail at windows and Item 8 for detail at doors). Install new sealants every paint cycle at flashings and where occurs as needed. All work will comply with the National Park Service's Preservation Brief #10: Exterior Paint Problems on Historic Woodwork.	

## Rehabilitation/Restoration Plan (Exhibit A)

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Use this form to outline your Rehabilitation/Restoration Plan. Copy this page as necessary to include all rehabilitation and restoration scopes of work that you propose to complete within the next ten years. Arrange all scopes of work in order of priority.

<b>Scope: #</b> 5	<b>Building Feature:</b> Secondary Side Elevations - Painting		
<input type="checkbox"/> Maintenance	<input checked="" type="checkbox"/> Rehab/Restoration	<input type="checkbox"/> Completed	<input checked="" type="checkbox"/> Proposed
Contract year work completion: 2023			
Total Cost: \$ 25,000			
Description of work:  Assess facades for wood damage or deterioration, and repair as needed. Repair checked/split wood siding. Patch holes at abandoned mechanical conduits/ducts as needed. Prepare, prime, and paint with appropriate paint, including windows - (see Rehabilitation/Restoration Items 9 & 10 for detail at windows). Install new sealants every paint cycle at flashings and where occurs as needed. All work will comply with the National Park Service's Preservation Brief #10: Exterior Paint Problems on Historic Woodwork.			

## Rehabilitation/Restoration Plan (Exhibit A)

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Use this form to outline your Rehabilitation/Restoration Plan. Copy this page as necessary to include all rehabilitation and restoration scopes of work that you propose to complete within the next ten years. Arrange all scopes of work in order of priority.

<b>Scope: #</b> 6	<b>Building Feature:</b> Waller Street Facade - 1st Floor Windows		
<input type="checkbox"/> Maintenance	<input checked="" type="checkbox"/> Rehab/Restoration	<input type="checkbox"/> Completed	<input checked="" type="checkbox"/> Proposed
Contract year work completion: 2023			
Total Cost: \$ 24,000			
Description of work:  Rehabilitate wood windows. At first floor original windows, consider restoring operability to windows that are not operable. Repair deteriorated wood where found and replace all unsound/deteriorated/missing glazing putty as needed. Repair/maintain hardware for operation where applicable. Prepare, prime, and paint all wood and putty. Consider installation of appropriate weatherstripping. All work will comply with the National Park Service's Preservation Brief #9: The Repair of Historic Wooden Windows and Preservation Brief #47: Maintaining the Exterior of Small and Medium Size Historic Buildings.			

## Rehabilitation/Restoration Plan (Exhibit A)

Use this form to outline your Rehabilitation/Restoration Plan. Copy this page as necessary to include all rehabilitation and restoration scopes of work that you propose to complete within the next ten years. Arrange all scopes of work in order of priority.

<b>Scope: #</b> 7	<b>Building Feature:</b> Waller Street Facade - 2nd Floor Windows		
<input type="checkbox"/> Maintenance	<input checked="" type="checkbox"/> Rehab/Restoration	<input type="checkbox"/> Completed	<input checked="" type="checkbox"/> Proposed
Contract year work completion: 2023			
Total Cost: \$ 64,000			
Description of work:  Rehabilitate wood-sash windows. At second floor non-historic (but compatible) double-paned insert windows, rehabilitate to improve weatherstripping/poor performance and deteriorated sash tracks or consider replacing with new wood sash to match the original appearance. Prepare, prime, and paint all wood with appropriate paint. All work will comply with the National Park Service's Preservation Brief #9: The Repair of Historic Wooden Windows and Preservation Brief #47: Maintaining the Exterior of Small and Medium Size Historic Buildings.			

## Rehabilitation/Restoration Plan (Exhibit A)

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Use this form to outline your Rehabilitation/Restoration Plan. Copy this page as necessary to include all rehabilitation and restoration scopes of work that you propose to complete within the next ten years. Arrange all scopes of work in order of priority.

<b>Scope: #</b> 8	<b>Building Feature:</b> Ground Level Garage Doors/Side Door		
<input type="checkbox"/> Maintenance	<input checked="" type="checkbox"/> Rehab/Restoration	<input type="checkbox"/> Completed	<input checked="" type="checkbox"/> Proposed
Contract year work completion: 2023			
Total Cost: \$ 20,000			
Description of work:  Rehabilitate garage doors and side (trade hall) door to treat deterioration, including checks/splits, and deterioration at joints of stiles and rails. Repair and maintain hardware to keep in good working order. Prepare, prime, and paint with appropriate paint. Clean and maintain glass lites at the garage doors. All work will comply with the National Park Service's Preservation Brief #47: Maintaining the Exterior of Small and Medium Size Historic Buildings.			

## Rehabilitation/Restoration Plan (Exhibit A)

Use this form to outline your Rehabilitation/Restoration Plan. Copy this page as necessary to include all rehabilitation and restoration scopes of work that you propose to complete within the next ten years. Arrange all scopes of work in order of priority.

<b>Scope: #</b> 9	<b>Building Feature:</b> West Facade - Bathroom Window		
<input type="checkbox"/> Maintenance	<input checked="" type="checkbox"/> Rehab/Restoration	<input type="checkbox"/> Completed	<input checked="" type="checkbox"/> Proposed
Contract year work completion: 2023			
Total Cost: \$ 8,000			
Description of work:  During painting work access, assess wood condition and repair deteriorated wood where found and replace all unsound/deteriorated/missing glazing putty as needed. Repair/maintain hardware for operation where applicable. Prepare, prime, and paint all wood and putty. Consider installation of appropriate weatherstripping. All work will comply with the National Park Service's Preservation Brief #47: Maintaining the Exterior of Small and Medium Size Historic Buildings.			

## Rehabilitation/Restoration Plan (Exhibit A)

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Use this form to outline your Rehabilitation/Restoration Plan. Copy this page as necessary to include all rehabilitation and restoration scopes of work that you propose to complete within the next ten years. Arrange all scopes of work in order of priority.

<b>Scope: #</b> 10	<b>Building Feature:</b> East Lightwell - Windows		
<input type="checkbox"/> Maintenance	<input checked="" type="checkbox"/> Rehab/Restoration	<input type="checkbox"/> Completed	<input checked="" type="checkbox"/> Proposed
Contract year work completion: 2023			
Total Cost: \$ 16,000			
Description of work:  During painting work access, assess wood condition of non-historic wood casement windows, and repair deteriorated wood where found and replace all unsound/deteriorated/missing glazing putty/sealant as needed. Replace plexiglas with glass. Repair/maintain hardware for operation where applicable. Prepare, prime, and paint all wood and putty/sealant. Consider installation of appropriate weatherstripping. Alternatively, consider appropriate replacement windows. All work will comply with the National Park Service's Preservation Brief #47: Maintaining the Exterior of Small and Medium Size Historic Buildings.			



## Rehabilitation/Restoration Plan (Exhibit A)

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Use this form to outline your Rehabilitation/Restoration Plan. Copy this page as necessary to include all rehabilitation and restoration scopes of work that you propose to complete within the next ten years. Arrange all scopes of work in order of priority.

<b>Scope: #</b> 11	<b>Building Feature:</b> Waller Street Facade - Attic Window		
<input type="checkbox"/> Maintenance	<input checked="" type="checkbox"/> Rehab/Restoration	<input type="checkbox"/> Completed	<input checked="" type="checkbox"/> Proposed
Contract year work completion: 2023			
Total Cost: \$ 10,000			
Description of work:  Based on further research and site investigation, rehabilitate or replace attic window with appropriate compatible wood window to resolve soundness of window and weather-tightness. Prepare, prime, and paint all wood with appropriate paint. All work will comply with the National Park Service's Preservation Brief #9: The Repair of Historic Wooden Windows.			

## Rehabilitation/Restoration Plan (Exhibit A)

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Use this form to outline your Rehabilitation/Restoration Plan. Copy this page as necessary to include all rehabilitation and restoration scopes of work that you propose to complete within the next ten years. Arrange all scopes of work in order of priority.

<b>Scope: #</b> 12	<b>Building Feature:</b> Rear-South Facade - Wood Repair
<input type="checkbox"/> Maintenance <input checked="" type="checkbox"/> Rehab/Restoration <input type="checkbox"/> Completed <input checked="" type="checkbox"/> Proposed	
Contract year work completion: 2024 and every 5-7 years as needed	
Total Cost: \$ <b>\$10,000</b>	
Description of work:  Investigate bulged/split siding at the west kitchen window and bulged siding and split eave board at the top of the south kitchen wall. Correct deficiencies and ensure weather-tightness as needed. Repair or replace siding to match existing as needed. Prepare, prime, and paint with appropriate paint. All work will comply with the National Park Service's Preservation Brief #47: Maintaining the Exterior of Small and Medium Size Historic Buildings.	

## Rehabilitation/Restoration Plan (Exhibit A)

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Use this form to outline your Rehabilitation/Restoration Plan. Copy this page as necessary to include all rehabilitation and restoration scopes of work that you propose to complete within the next ten years. Arrange all scopes of work in order of priority.

<b>Scope: #</b> 13	<b>Building Feature:</b> Rear/South Facade - Painting
<input type="checkbox"/> Maintenance <input checked="" type="checkbox"/> Rehab/Restoration <input type="checkbox"/> Completed <input checked="" type="checkbox"/> Proposed	
Contract year work completion: 2024 and every 5-7 years as needed	
Total Cost: \$ 30,000	
Description of work:  Assess facade for wood damage or deterioration, and repair as needed, including at wood windows and doors. Repair checked/split wood siding. Prepare, prime, and paint with appropriate paint, including windows (see Rehabilitation/Restoration Item #12 for detail at wood siding). Install new sealants every paint cycle at flashings and where occurs as needed. All work will comply with the National Park Service's Preservation Brief #10: Exterior Paint Problems on Historic Woodwork.	

## Rehabilitation/Restoration Plan (Exhibit A)

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Use this form to outline your Rehabilitation/Restoration Plan. Copy this page as necessary to include all rehabilitation and restoration scopes of work that you propose to complete within the next ten years. Arrange all scopes of work in order of priority.

<b>Scope: #</b> 14	<b>Building Feature:</b> Rear/South Facade - Roof Over Kitchen		
<input type="checkbox"/> Maintenance	<input checked="" type="checkbox"/> Rehab/Restoration	<input type="checkbox"/> Completed	<input checked="" type="checkbox"/> Proposed
Contract year work completion: 2024			
Total Cost: \$ 30,000			
Description of work:  Inspect roofing, and replace roofing at deck area over kitchen. Ensure waterproofing at guard rail penetrations/anchorage including repairing wood guardrail as needed. Ensure roof is sloped to drain properly to adjacent gutter. (See Rehabilitation/Restoration Item #16 for detail at gutters). Work shall be done in accordance with the National Park Service's Preservation Brief #4: Roofing for Historic Buildings and Preservation Brief #47: Maintaining the Exterior of Small and Medium Size Historic Buildings.			

## Rehabilitation/Restoration Plan (Exhibit A)

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Use this form to outline your Rehabilitation/Restoration Plan. Copy this page as necessary to include all rehabilitation and restoration scopes of work that you propose to complete within the next ten years. Arrange all scopes of work in order of priority.

<b>Scope: #</b> 15	<b>Building Feature:</b> Main Roof		
<input type="checkbox"/> Maintenance	<input checked="" type="checkbox"/> Rehab/Restoration	<input type="checkbox"/> Completed	<input checked="" type="checkbox"/> Proposed
Contract year work completion: 2024			
Total Cost: \$ 45,000			
Description of work:  Inspect main roof and replace existing shingle roofing with new shingle roofing. Repair or replace related flashing, waterproofing, and gutters as needed. (See Rehabilitation/Restoration Item #16 for detail at gutters). Work shall be done in accordance with the National Park Service's Preservation Brief #4: Roofing for Historic Buildings and Preservation Brief #47: Maintaining the Exterior of Small and Medium Size Historic Buildings.			

## Rehabilitation/Restoration Plan (Exhibit A)

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Use this form to outline your Rehabilitation/Restoration Plan. Copy this page as necessary to include all rehabilitation and restoration scopes of work that you propose to complete within the next ten years. Arrange all scopes of work in order of priority.

<b>Scope: #</b> 16	<b>Building Feature:</b> Roof Gutters		
<input type="checkbox"/> Maintenance	<input checked="" type="checkbox"/> Rehab/Restoration	<input type="checkbox"/> Completed	<input checked="" type="checkbox"/> Proposed
Contract year work completion: 2024			
Total Cost: \$ 12,000			
Description of work:  Inspect gutters and downspouts, including copper gutters, and repair or replace as needed in conjunction with roofing work.			

## Maintenance Plan (Exhibit B)

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Use this form to outline your Maintenance Plan. Copy this page as necessary to include all maintenance scopes of work that you propose to complete within the next ten years. Arrange all scopes of work in order of priority.

<b>Scope: #</b> 17	<b>Building Feature:</b> Facades - Visual Inspection
<input checked="" type="checkbox"/> Maintenance <input type="checkbox"/> Rehab/Restoration <input type="checkbox"/> Completed <input checked="" type="checkbox"/> Proposed	
Contract year work completion: Annually 2022 and annually thereafter	
Total Cost: \$ 10,000	
Description of work:  Perform visual inspection of exterior facades, including concrete and marble main entry stair with metal railings and marble/stone/tile landing, with binoculars, spotting scope, or similar as needed annually for paint and sealant failure, wood deterioration, metal railing deterioration, and other signs of deterioration (see Item #18 “Waller St. & Side Facades – Windows/Doors – Visual Inspection” and Item #19 “Rear/South Facade – Windows/Doors – Visual Inspection” for details related to those elements). Repair as needed. Work shall be done in accordance with the National Park Service's Preservation Brief #47: Maintaining the Exterior of Small and Medium Size Historic Buildings.	

## Maintenance Plan (Exhibit B)

Use this form to outline your Maintenance Plan. Copy this page as necessary to include all maintenance scopes of work that you propose to complete within the next ten years. Arrange all scopes of work in order of priority.

<b>Scope: #</b> 18	<b>Building Feature:</b> Waller St. & Side Facades - Windows/Doors Vi
<input checked="" type="checkbox"/> Maintenance <input type="checkbox"/> Rehab/Restoration <input type="checkbox"/> Completed <input checked="" type="checkbox"/> Proposed	
Contract year work completion: Annually 2022 and annually thereafter	
Total Cost: \$ \$10,000	
Description of work:  Perform visual inspection of wood windows and doors (including main entry door, garage doors, and side/trade hall doors at Waller St.) with binoculars, spotting scope, or similar as needed annually for paint, putty, and sealant failure as well as wood and other signs of deterioration. Assess hardware, window sash cords, window function, lubricate hardware, etc. Repair as needed. Work shall be done in accordance with the National Park Service's Preservation Brief #47: Maintaining the Exterior of Small and Medium Size Historic Buildings.	



## Maintenance Plan (Exhibit B)

Use this form to outline your Maintenance Plan. Copy this page as necessary to include all maintenance scopes of work that you propose to complete within the next ten years. Arrange all scopes of work in order of priority.

<b>Scope: #</b> 19	<b>Building Feature:</b> Rear/South Facade - Windows/Doors - Visual
<input checked="" type="checkbox"/> Maintenance <input type="checkbox"/> Rehab/Restoration <input type="checkbox"/> Completed <input checked="" type="checkbox"/> Proposed	
Contract year work completion: Annually 2024 and every 2 years thereafter	
Total Cost: \$ 10,000	
Description of work:  Perform visual inspection of wood windows and doors with binoculars, spotting scope, or similar as needed annually for paint, putty, and sealant failure as well as wood and other signs of deterioration. Assess hardware, window sash cords, window function, lubricate hardware, etc. Repair as needed. Work shall be done in accordance with the National Park Service's Preservation Brief #47: Maintaining the Exterior of Small and Medium Size Historic Buildings.	

## Maintenance Plan (Exhibit B)

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Use this form to outline your Maintenance Plan. Copy this page as necessary to include all maintenance scopes of work that you propose to complete within the next ten years. Arrange all scopes of work in order of priority.

<b>Scope: #</b> 20	<b>Building Feature:</b> Waller St. Facade & Rear/South Facade - Clean		
<input checked="" type="checkbox"/> Maintenance	<input type="checkbox"/> Rehab/Restoration	<input type="checkbox"/> Completed	<input checked="" type="checkbox"/> Proposed
Contract year work completion: Annually 2024 at Waller St. and 2025 at Rear/South Facade and every 2 years thereafter			
Total Cost: \$ 12,000			
Description of work:  Soft-wash/gently clean with mild detergent and low pressure rinsing/hand wiping to maintain appearance and prolong life of paint as recommended by paint manufacturer. Work shall be done in accordance with the National Park Service's Preservation Brief #47: Maintaining the Exterior of Small and Medium Size Historic Buildings.			

## Maintenance Plan (Exhibit B)

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Use this form to outline your Maintenance Plan. Copy this page as necessary to include all maintenance scopes of work that you propose to complete within the next ten years. Arrange all scopes of work in order of priority.

<b>Scope: #</b> 21	<b>Building Feature:</b> Rear/South Facade - Roof Over Kitchen
<input checked="" type="checkbox"/> Maintenance <input type="checkbox"/> Rehab/Restoration <input type="checkbox"/> Completed <input checked="" type="checkbox"/> Proposed	
Contract year work completion: Annually 2022 and annually thereafter	
Total Cost: \$ 15,000	
Description of work:  Inspect roofing for defects and deterioration annually, including associated flashing and sealants. Repair as needed. Work shall be done in accordance with the National Park Service's Preservation Brief #47: Maintaining the Exterior of Small and Medium Size Historic Buildings.	

## Maintenance Plan (Exhibit B)

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Use this form to outline your Maintenance Plan. Copy this page as necessary to include all maintenance scopes of work that you propose to complete within the next ten years. Arrange all scopes of work in order of priority.

<b>Scope: #</b> 22	<b>Building Feature:</b> Main Roof
<input checked="" type="checkbox"/> Maintenance <input type="checkbox"/> Rehab/Restoration <input type="checkbox"/> Completed <input checked="" type="checkbox"/> Proposed	
Contract year work completion: Annually 2022 and annually thereafter	
Total Cost: \$ 15,000	
Description of work:  Inspect roofing for defects and deterioration annually, including associated flashing, sealants, and skylights. Repair as needed. Work shall be done in accordance with the National Park Service's Preservation Brief #47: Maintaining the Exterior of Small and Medium Size Historic Buildings.	

## Maintenance Plan (Exhibit B)

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Use this form to outline your Maintenance Plan. Copy this page as necessary to include all maintenance scopes of work that you propose to complete within the next ten years. Arrange all scopes of work in order of priority.

<b>Scope: #</b> 23	<b>Building Feature:</b> Roof Gutters, Drain, and Downspouts
<input checked="" type="checkbox"/> Maintenance <input type="checkbox"/> Rehab/Restoration <input type="checkbox"/> Completed <input checked="" type="checkbox"/> Proposed	
Contract year work completion: Annually 2022 and annually thereafter	
Total Cost: \$ 15,000	
Description of work:  Inspect and clean all roof gutters, drains and downspouts annually. Repair as needed. Work shall be done in accordance with the National Park Service's Preservation Brief #47: Maintaining the Exterior of Small and Medium Size Historic Buildings.	

## Signature and Notary Acknowledgement Form

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By signing below, I/we acknowledge that I/we am/are the owner(s) of the structure referenced above and by applying for exemption from the limitations certify, under the penalty of perjury, that the information attached and provided is accurate. Attach notary acknowledgement.

Tjarko Leifer

\_\_\_\_\_  
Name (Print)

05/01/2020

\_\_\_\_\_  
Date



\_\_\_\_\_  
Signature

Aimee Leifer

\_\_\_\_\_  
Name (Print)

05/01/2020

\_\_\_\_\_  
Date



\_\_\_\_\_  
Signature

\_\_\_\_\_  
Name (Print)

\_\_\_\_\_  
Date

\_\_\_\_\_  
Signature

## Public Information Release

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Please read the following statements and check each to indicate that you agree with the statement. Then sign below in the space provided.

I understand that submitted documents will become public records under the California Public Records Act, and that these documents will be made available upon request to members of the public for inspection and copying.

I acknowledge that all photographs and images submitted as part of the application may be used by the City without compensation.

Tjarko Leifer

\_\_\_\_\_  
Name (Print)

05/01/2020

\_\_\_\_\_  
Date



\_\_\_\_\_  
Signature

## Public Information Release

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Tjarko Leifer

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Name (Print)

05/01/2020

---

Date

*Tjarko Leifer*

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Signature

## II. EXEMPTION STATEMENT AND SIGNIFICANCE EVALUATION

The Mills Act Historical Property Contract requires all residential properties that are assessed at a value of more than \$3 million to include a Historic Structure Report (HSR) as part of the application. Representatives of the San Francisco Planning Department have indicated that the HSR could be limited in scope and should include, at minimum, a brief history of the building, a description of the building's historic condition, a summary of its existing condition, and an outline of short-term and long-term recommendations for rehabilitation. This limited Historic Structure Report, together with the Rehabilitation/Restoration & Maintenance Plan, serves to fulfill the requirements of the Mills Act and primarily focuses on conditions and treatment recommendations for the exterior of the building.

The Mills Act Historical Property Contract also requires that all residential properties that are assessed at a value of more than \$3M include justification for how the property meets the following criteria:

1. The qualified historic property is an exceptional example of architectural style or represents a work of a master architect or is associated with the lives of persons important to local or national history; OR
2. Granting the exemption will assist in the preservation and rehabilitation of a historic structure (including unusual and/or excessive maintenance requirements) that would otherwise be in danger of demolition, deterioration, or abandonment.

The following addresses how the property meets both criteria:

Constructed in 1896 by shipwright and real estate developer John A. Whelan as his personal home, 1315 Waller Street is significant for its association with the pattern of residential development that characterized the Haight-Ashbury neighborhood at its peak in the late nineteenth century. With its dominant steeply gabled roof facing Waller Street and asymmetrical composition with a partial width front porch, canted bay windows, paired column supports, and abundance of richly patterned wall surfaces, 1315 Waller Street is also an exceptional example of the Queen Anne style of architecture as applied to a single-family house in the late nineteenth century in San Francisco, and therefore meets Criterion 1.

Granting the exemption will aid in financing repairs, rehabilitation/restoration, and maintenance of the home that would otherwise be in danger of disrepair including: the historic decorative wood Queen Anne facade and wood-sided secondary facades, a deteriorated historic exterior door and garage doors at the primary facade, rehabilitation of the historic and replacement windows, the concrete/marble/wrought/cast iron entry stair including replacement of the plywood landing with a more appropriate stone/tile landing, and replacement of the roofing, flashings, and gutters/drains, and maintenance of the associated skylights, and meets Criterion 2.



### III. HISTORIC STRUCTURE REPORT

#### INTRODUCTION

This Focused Historic Structure Report has been prepared to accompany a Mills Act Historical Property Contract for the John A. Whelan House at 1315 Waller Street (APN 1255/080) in San Francisco’s Haight-Ashbury neighborhood. The house was originally constructed in 1896 by shipwright and speculative real estate developer John A. Whelan as part of a row of four similarly designed houses, later known collectively as the Four Seasons Houses. The house at 1315 Waller Street is the easternmost building within the group and is identified as “Winter” for the applied snowflake centerpiece relief on its front façade. Whelan used the house as his personal family home.

1315 Waller Street was included in the 1976 Department of City Planning Architectural Quality Survey (1976 DCP Survey) with a rating of “3” out of “5.”<sup>1</sup> Page & Turnbull prepared a National Register of Historic Places (National Register) nomination for the property in December 2019 and found the property to be significant at the local level for its association with residential development of the Haight-Ashbury neighborhood in the late nineteenth century and as a fine example of the Queen Anne style of architecture.

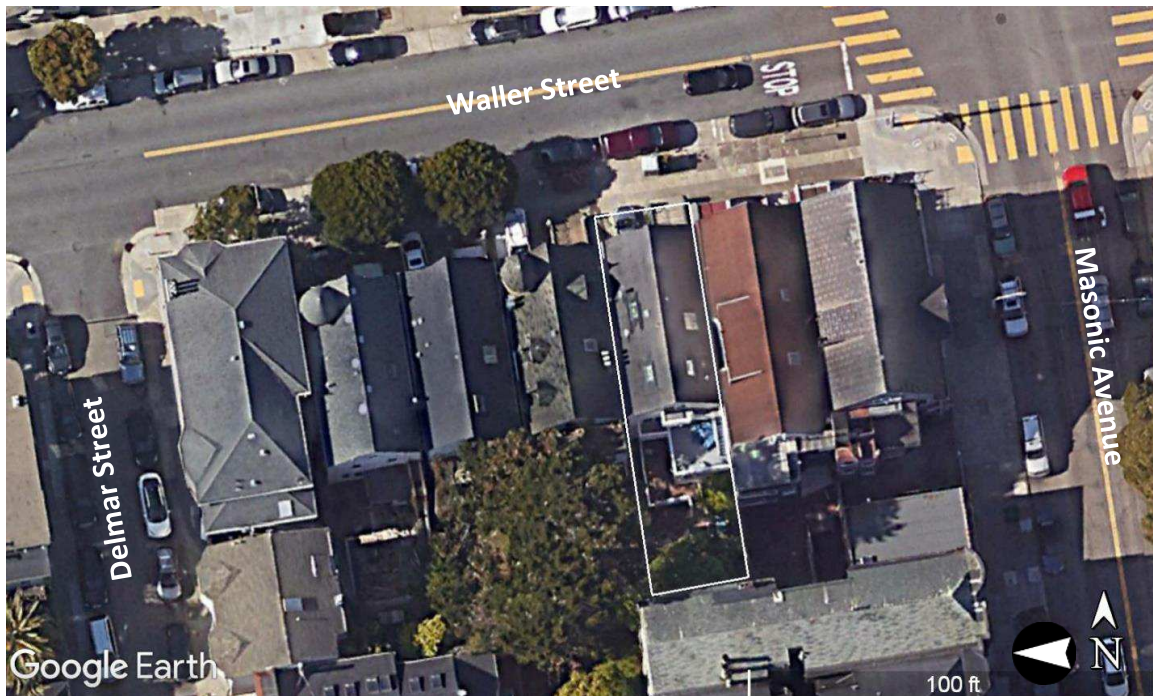


Figure 1: Aerial imagery of 1315 Waller Street. Google Earth Pro 2019.

<sup>1</sup> San Francisco Property Information Map, accessed March 16, 2020, <https://sfplanninggis.org/pim>.



**Figure 2: 1315 Waller Street, primary facade, November 2019. Looking southeast.**

### BRIEF HISTORY OF 1315 WALLER STREET AND HISTORIC SIGNIFICANCE

1315 Waller Street is significant for its association with the residential development of the Haight-Ashbury neighborhood and as a fine example of the Queen Anne style of architecture. The following is excerpted from the 2019 National Register of Historic Places (National Register) form for the property:

#### Development of the Haight-Ashbury Neighborhood

The house is located at the south edge of San Francisco's Haight-Ashbury neighborhood, the boundaries defined by Fell Street at the north, Divisadero Street at the east, and Stanyan Street at the west. The southern border varies, running along Waller Street, Frederick Street, and Haight Street. The Golden Gate Park Panhandle extends east-west at the northern edge of the Haight-Ashbury neighborhood. Buena Vista Park lies near the southeast corner of the neighborhood.

During the Mexican era (1821-1848), the land encompassing the neighborhood was granted to Benito Diaz, owner of the vast Rancho Punta de los Lobos.<sup>2</sup> Following California's admission to the United States in 1850, Mexican land grantees had to prove that their titles were valid. Diaz failed to demonstrate to the American courts that he had physically occupied his ranch, so in 1854 it reverted to Federal ownership. In 1851, Divisadero Street, the eastern boundary of the present-day Haight-Ashbury neighborhood, was established as the western boundary of the City of San Francisco. In 1856, the Outside Lands Committee was organized to gain legal title to county lands within the City's path of expansion and to prepare it for eventual development. The subsequent Outside Lands Ordinances gained title to the western part of San Francisco County, laid out streets, and set aside land for parks, schools, and other public buildings.<sup>3</sup>

<sup>2</sup> Buena Vista North Association, "Application for Historic District Status," August 25, 1989, 19.

<sup>3</sup> Buena Vista North Association, 20.



**Figure 1. Golden Gate Park Panhandle from Buena Vista Park, view north, 1882. Very little development had taken place before the establishment of the Haight Street Railroad in 1883. Source: FoundSF**

By the early 1850s, the area came under the control of a handful of individuals who subdivided the land into several large tracts, including the Haraszthy, San Souci, and Middleton Tracts. John Middleton came to own the majority of the Haight-Ashbury neighborhood. In 1850, he built the first house in the area, the Phelps House (1137 Oak Street, extant). The Middleton Tract passed through several hands before coming into the ownership of rancher Abner Phelps.<sup>4</sup>

Census records and city directories indicate that the Haight-Ashbury neighborhood was used for farming and livestock raising for much of the remainder of the nineteenth century. By the early 1880s, speculators and real estate developers began to show interest in the area due to its relative proximity to urbanized sections of the city as well as its location adjacent to several major parks. Golden Gate Park and Buena Vista Park were created by the Outside Land Ordinances of the late 1860s, partially in response to pressure from landowners in the area who believed the construction of civic amenities such as parks would increase the value of their holdings. After prolonged lobbying by streetcar companies and real estate speculators, the San Francisco Board of Supervisors awarded the Haight Street Cable Car franchise in 1883. Over the next year or so, Haight Street was graded and paved westward beyond Divisadero Street, and the cable car line was constructed down the center of the street.<sup>5</sup>

Real estate speculation in the Haight-Ashbury neighborhood picked up dramatically after the opening of the Haight Street Cable Car line. Much of the earliest development was recreational in nature and concentrated near the cable car turnaround at Haight and Stanyan Streets, the primary public entry to Golden Gate Park. The 1889 Sanborn-Perris Map Company fire insurance map shows the Haight Street Cable Car Railroad car houses, several one-story saloons, two restaurants, a store, a workshop and sheds, a number of one- and two-story dwellings, and many vacant lots.

Construction of housing followed the recreation boom during the late 1880s. An article in the October 22, 1889 *Examiner* noted that “following the cable roads... have come street improvements, gas, and water mains, street lights and finally the building of substantial residences.”<sup>6</sup> By the 1890s, the Haight-

<sup>4</sup> Ibid.

<sup>5</sup> San Francisco Real Estate Circular (June-August 1883).

<sup>6</sup> Christopher VerPlanck, “The Architecture and Social Structure of the Haight,” *San Francisco Apartment Magazine* (August 2001), accessed November 19, 2019, <http://www.friendsof1800.org/VIEWPOINT/haight.html>.

Ashbury neighborhood had become increasingly popular with developers including Daniel Einstein, the Hinkel Family, the Cox Brothers, Alexander Bailey, R.D. Cranston, and Hugh Keenan.<sup>7</sup> The 1899 Sanborn-Perris fire insurance map show the blocks around the 1896 John A. Whelan House filling in with single-family houses.

Most residences constructed in the area near the turn of the twentieth century consisted of a raised basement/garage, a main floor with a hall and staircase on one side and a front parlor, middle parlor, dining room and kitchen on the other side, and a second floor with three bedrooms and a bathroom.<sup>8</sup> The real estate sections of the local papers carried articles on the progress of development in the Haight-Ashbury neighborhood. On March 8, 1896, around the time the John A. Whelan House was completed, the *San Francisco Examiner* reported:

*The whole country about the heights is now thickly covered with homes of conspicuous size, and many of them of costly design. Masonic Avenue is lined with a large number of Eastlake dwellings, where barren sands were a few months ago. Waller Street has been brightened up very recently with several pretty structures. There are more of them on Cole Street and on Frederick Street.*<sup>9</sup>

The article also described the modern “electric lighting appliances” and “modern styles.” The houses cost \$6,500 to \$8,500 each, a considerable amount of money at the time considering that cottages on Potrero Hill were selling for between \$1,500 and \$3,000 during the same era. Since most of the housing in the Haight-Ashbury neighborhood was constructed between 1890 and 1910, Queen Anne is the dominant style.<sup>10</sup>

The area continued to be popular for recreational amenities that developed in the 1890s, building on the recreational atmosphere that already existed. In 1894, the California Midwinter International Exposition took place in Golden Gate Park, with the construction of a music concourse and the De Young Museum among over 100 other buildings. Two million visitors attended, drawing swarms through the prosperous and diverse Haight-Ashbury neighborhood.<sup>11</sup> The Chutes, a family amusement park located at Haight and Shrader Streets, opened in 1895, featuring a roller coaster, shooting gallery, and vaudeville theater among other attractions. The centerpiece of the park was an artificial lake featuring an early version of a log flume ride that gave the park its name. Additional recreational activities in the Chutes included an elevated railroad track that traveled through the park, painted panoramas, a merry-go-round, a photo gallery, a “zoological promenade,” an alligator house, a theater, and an exhibition hall called the Darwinian Temple.<sup>12</sup> Around 1900, The Chutes was taken apart and rebuilt further out on Fulton Street, and a lake south of Haight Street was drained. From 1902 onward, the vacated land was developed with commercial buildings and residences.<sup>13</sup>

The 1900 census reveals that demographics of the Haight-Ashbury neighborhood consisted of a conservative middle class, mostly married and with children. There was diversity in nationalities;

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7 Buena Vista North Association, 19-20.

8 VerPlanck.

9 Ibid.

10 Ibid.

11 Bob Bragman, “The unknown Midwinter Fair – San Francisco 1894,” SFGate, December 22, 2015, accessed November 21, 2019, <https://www.sfgate.com/bayarea/article/SF-Midwinter-Fair-that-no-one-knows-about-6713601.php>.

12 VerPlanck.

13 Ibid.

residents included native-born Americans, Germans, Irish, Swedes, Scots, Swiss, Australians, and French.<sup>14</sup>

On April 18, 1906, a 7.9 magnitude earthquake occurred, followed by three days of fires that decimated 490 city blocks and left half of the city's 410,000 residents homeless.<sup>15</sup> The fires were blocked at Van Ness Avenue from burning farther west, and the Haight-Ashbury neighborhood was spared.<sup>16</sup> After 1906, the area began to expand with the influx of earthquake refugees, so that within five years there were few large undeveloped parcels of land left in the neighborhood. The infill development that occurred after 1906 was primarily limited to commercial buildings on Haight and Stanyan Streets and three-story flats on the previously empty lots located along subsidiary streets.<sup>17</sup>

By World War I, nearly ninety percent of the Haight-Ashbury neighborhood was developed. There was a neighborhood school, Dudley Stone Grammar School, a public library, a variety of churches, and a nickelodeon. By the 1920s, there were nearly no empty lots. As the building stock began to age in the neighborhood, some owners clad their homes in stucco. By the end of the 1930s, most of the houses were owned by absentee landlords.<sup>18</sup>

The urban form of the Haight-Ashbury neighborhood continued to change during World War II. The single-family homes and residential flats buildings were subdivided into apartments and lodging houses to accommodate war workers. Between 1939 and 1945, the number of housing units in the Haight-Ashbury neighborhood practically doubled. In the 1950s, the middle-class residents fled to newer suburbs, and deferred maintenance, which first occurred during the Depression in the 1930s, continued to blight the neighborhood. A small number of new buildings were constructed in the 1950s, large stuccoed apartment buildings built on underutilized lots.<sup>19</sup>

In the 1950s and 1960s, the confluence of low rents and the neighborhood's Victorian and Edwardian building stock brought beatniks and hippies to the Haight-Ashbury neighborhood.<sup>20</sup> In the 1960s, the Haight-Ashbury neighborhood was one of the national centers of the hippie Counterculture Movement. Hippie culture created alternative beliefs, behaviors, and attitudes that undermined mainstream culture. Hippies experimented with gender equality, communal living, and free love. Hippies were driven by diverse motivations. Some were more political, holding anti-government sentiments and opposing the Vietnam War, and many hippies delved into art, religion, and meditation. They were united in their striving to create a counterculture.<sup>21</sup> Psychedelic drug use was a major influence in the Counterculture Movement.<sup>22</sup> By the late 1960s, the neighborhood had radio station KDIG and the band the Grateful Dead was headquartered at 710 Ashbury Street.<sup>23</sup> The hippie movement culminated in the Summer of Love in 1967, when 75,000 people gathered in the Haight-Ashbury neighborhood.<sup>24</sup> In the 1970s, the

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14 Ibid.

15 Risk Management Solutions, "The 1906 San Francisco Earthquake and Fire: Perspectives on a Modern Super Cat," 2006, 4-5.

16 United States Geological Survey, "Map of San Francisco Showing Burned District," 1907, accessed December 16, 2019, <https://pubs.usgs.gov/bul/0324/plate-56.pdf>.

17 VerPlanck, 19-20.

18 Ibid.

19 Ibid.

20 Ibid.

21 Terry H. Anderson, *The Movement and the Sixties: Protest in America from Greensboro to Wounded Knee* (New York: Oxford University Press, 1995), 241-244.

22 Donald R. Wesson, "Psychedelic Drugs, Hippie Counterculture, Speed and Phenobarbital Treatment of Sedative-Hypnotic Dependence: A Journey to the Haight Ashbury in the Sixties." *Journal of Psychoactive Drugs* 43, Issue 2 (2011).

23 Ibid.

24 Anderson, 176.



neighborhood went into decline. By the 1980s, the Haight-Ashbury's counterculture legacy translated into an allure for homebuyers, and the neighborhood has since become a tourist destination, especially the Haight Street commercial corridor.<sup>25</sup>

### John A. Whelan (1836-1910)

The house at 1315 Waller Street was constructed for shipwright and speculative real estate developer John Augustus Whelan in 1896, during the peak period of development in the Haight-Ashbury neighborhood.<sup>26</sup> Whelan was born in Philadelphia, Pennsylvania in 1836, the son of Irish immigrants. By 1866, he had moved to San Francisco, California.<sup>27</sup> Around 1868, Whelan began working for the North Transportation Company and Oregon Steamship Company, where he was in charge of the shipwrights and joiners department. Given his expertise in the construction and repair of ships, he was selected to testify before the State Assembly about the condition of the steamboat John L. Stephens in 1876.<sup>28</sup> One year later, Whelan had left the company and was advertising his services as an independent master shipwright, caulker, and sparmaker with his operations based at the Folsom Street wharf.<sup>29</sup>

By 1896, Whelan had founded the firm John A. Whelan & Brother with his brother James J. Whelan, also a native of Philadelphia. The firm built and repaired seafaring vessels in the San Francisco harbor and had offices at 250 Spear Street. The book *San Francisco: The Imperial City*, published in 1899, described the company as "prominent among those that have played an active part to bring about the commercial advancement of the city."<sup>30</sup> At the turn of the twentieth century, the firm was often contracted to repair ships for branches of the United States military. In 1901, the firm was employed by the Union Iron Works to repair the U.S.S. Pensacola at the U.S. naval training station in San Francisco.<sup>31</sup> One year later, the firm was contracted to carry out carpentry and joinery work to repair the United States Army transport ship U.S.A.T. *Crook*.<sup>32</sup>

In addition to his work as a shipwright, John Whelan was active in real estate development in San Francisco. Newspaper articles are populated with descriptions of properties that he acquired and sold from the 1880s to the early 1900s. On land he had purchased at the corner of Filbert and Larkin Streets, Whelan had built six two-story houses for \$20,000 in 1886, which he subsequently rented out to tenants.<sup>33</sup> In 1896, he had built the four Queen Anne style houses later known as the Four Seasons Houses, including his family home at 1315 Waller Street, originally addressed as 1305 Waller Street. In 1890, around the corner, he had built a row of six Stick style houses at 1326-1342 Masonic Avenue.<sup>34</sup>

Unlike the other properties he owned, 1315 Waller Street was constructed to be the personal residence of Whelan and his growing family.<sup>35</sup> Whelan had married his wife Annie (born in New York in 1838) in 1861. Together, the couple had seven children, although only four lived to adulthood. Their eldest,

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25 VerPlanck.

26 Spring Valley Water Company Tap Records, 1861-1930, San Francisco Public Library; Block Books, City and County of San Francisco Office of the Assessor-Recorder.

27 Seventh Ward Register of the City and County of San Francisco, California Great Registers, 1866-1910, FamilySearch.org.

28 *Appendix to the Journals of the Senate and Assembly*, Volume 4 (Sacramento: State Printing Office, 1876).

29 Advertisement, *Daily Alta California*, December 17, 1877.

30 *San Francisco: The Imperial City* (San Francisco: Mercantile Illustrating Co., 1899), 175.

31 Annual Report of the Chief of the Bureau of Construction and Repair to the Secretary of the Navy (Washington: Government Printing Office, 1900), 116.

32 "Repairs on the Crook Will Cost \$6118.50," *San Francisco Call*, August 29, 1902.

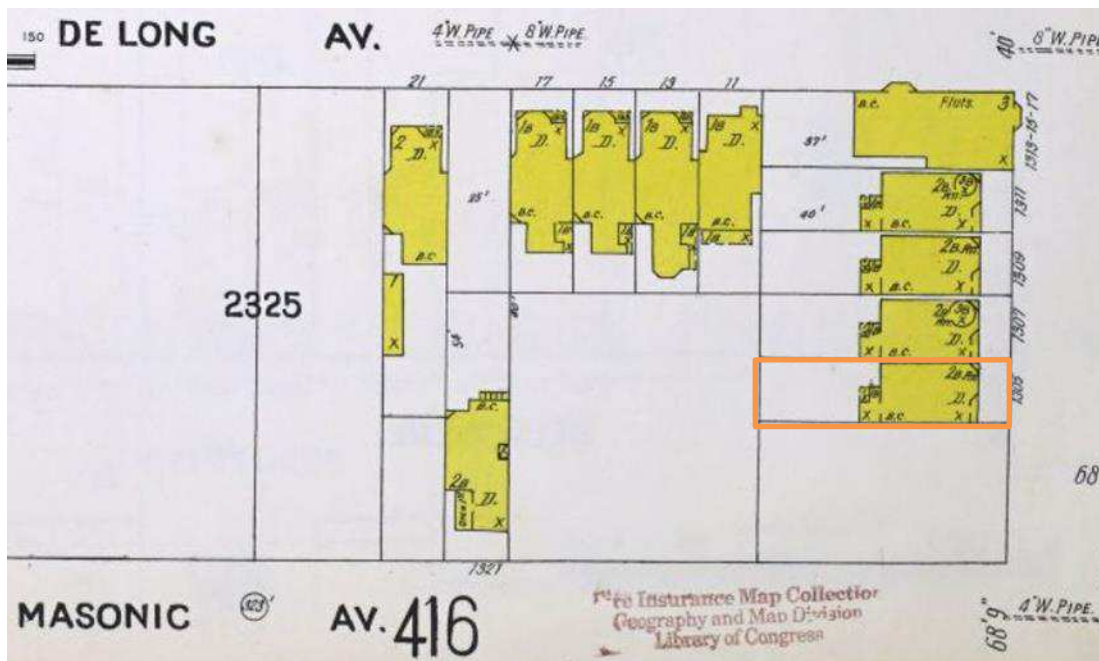
33 "Real Estate Market," *San Francisco Chronicle*, December 1, 1886.

34 Spring Valley Water Company Tap Records, 1861-1930, San Francisco Public Library.

35 U.S. Federal Census records, Ancestry.com.

Catherine, was born in Pennsylvania in 1865, while William (1870), Mary (1874), and Isabella (1881) were all born in California.<sup>36</sup>

The design of the front façade shares marked similarities to houses designed by well-known San Francisco contractors Cranston and Keenan and William Hinkel that survive at 1232 Masonic Avenue and 459 Ashbury Street, respectively. Because San Francisco's city records were destroyed in the 1906 earthquake and fires, the original permit for the building is not on file with the City, and the name of the architect or builder of the Whelan House remains unknown. It is likely that John Whelan, a shipwright with substantial carpentry experience in his own right, collaborated with an unknown contractor or master carpenter on the design of the house, drawing upon a popular local façade design or pattern book for inspiration.<sup>37</sup> The 1899 Sanborn-Perris fire insurance map shows the Whelan House as a two-story, wood frame single-family residence over a raised basement. The building had a rectangular floorplan with a rear porch at its southeast corner and a cutaway bay window at its primary façade, facing Waller Street.<sup>38</sup>



**Figure 2. 1899 Sanborn-Perris Map Company fire insurance map. John A. Whelan House outlined in orange. Source: Library of Congress, modified by Page & Turnbull.**

The Whelan family continued to live at the house through 1905. After the 1906 earthquake, Whelan sold the property to retired restaurateur Gustav Miersch and his wife, Bertha.<sup>39</sup> Whelan and his family subsequently moved into a house at 876 Francisco Street, where he died in 1910 at the age of 74.<sup>40</sup> Whelan's other three houses on Waller Street remained in the family until they were sold in 1912.<sup>41</sup> In

<sup>36</sup> The Victorian Alliance of San Francisco, "Buena Vista Neighborhood House Tour," 1998, 13-14.

<sup>37</sup> Ibid.

<sup>38</sup> Sanborn-Perris Map Co., "Insurance Maps of San Francisco, California," Volume 4, 1899.

<sup>39</sup> Deed records, City and County of San Francisco Office of the Assessor-Recorder.

<sup>40</sup> "Births, Marriages, Deaths," *San Francisco Chronicle*, April 28, 1910.

<sup>41</sup> The Victorian Alliance of San Francisco, 13.

1924, the John A. Whelan House was deeded to George Watson and remained in the Watson family until 1966. Since the 1960s, the house been owned by five subsequent ownership groups.<sup>42</sup>

The completion of the John A. Whelan House in 1896, by and as the personal home of a shipwright and sometime real estate developer, is representative of the pattern of residential development in the Haight-Ashbury neighborhood at its peak in the late nineteenth century. The end of Whelan's period of ownership in 1906 aligns with a period of transition in the neighborhood, as new residents displaced by the 1906 earthquake flooded into the area and new infill projects shifted primarily toward large commercial projects. Although the building has experienced some alterations over the years, it is an exceptional example of the kind of residential development that came to characterize the Haight-Ashbury neighborhood and is eligible under National Register Criterion A at the local level of significance.

### Design of the John A. Whelan House

The John A. Whelan House is also eligible at the local level under National Register Criterion C as an excellent example of a building that embodies the distinctive characteristics of the Queen Anne style as applied to a single-family house in the late nineteenth century in San Francisco.

Queen Anne was a popular architectural style among the elite during the Victorian era of the late nineteenth century. First used in England, this style referred back to the reign of Queen Anne (1702-1714) when solid, high quality construction methods and craftsmanship were emphasized in the architectural vernacular.<sup>43</sup> One of the main innovators and architects of this style was Richard Norman Shaw, who popularized the Queen Anne style in England with his half-timber designs and proliferation of built work. American architects introduced this style into the mainstream during the late 1870s. By the 1880s, the Queen Anne style had become the leading architectural style for the Victorian elite and upper-to-middle classes.

The Queen Anne style is characterized by its variety of features and combination of ornamentation. Typical Queen Anne features include steeply pitched roofs, irregular rooflines, towers and turrets, gable projections, cutaway bay windows, asymmetrical compositions, patterned shingle cladding, and swag and garland appliques.<sup>44</sup> The result of this fusion of ornamentation and composition was a highly textured and varied appearance that achieved the elegance and grace desired by the people of this era. Other architectural styles, such as Eastlake and Stick, frequently were combined with Queen Anne to produce asymmetrical and varied compositions.

The John A. Whelan House displays many of the key characteristics of a Queen Anne rowhouse, including a dominant steep gabled roof that faces Waller Street and an asymmetrical composition with a partial width front porch; paired column supports; canted bay windows at the first and second stories; and an abundance of richly patterned wall surfaces that display a mixture of Classical, Gothic, and natural influences. The elaborately adorned house has become a prominent visual landmark, along with the other three Four Seasons Houses, thanks to its playful and expressive decorative theme.

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42 San Francisco Block Books, City Directories, San Francisco Public Library; Index to the Great Register of Voters, U.S. Federal Census records, Ancestry.com.

43 Lester Walker, *American Shelter* (New York: The Overlook Press, Inc., 1997), 152.

44 Virginia & Lee McAlester, *A Field Guide to American Houses* (New York: Alfred A. Knopf, 2002), 263.



### CONSTRUCTION CHRONOLOGY

The construction chronology of 1315 Waller Street is discussed in Page & Turnbull’s National Register nomination (December 2019). For the purposes of this Focused Historic Structure Report, the property’s construction chronology is excerpted below from the nomination form.

Permit records, historic photographs, and fire insurance maps indicate that [1315 Waller Street] remained generally unchanged through the first several decades of the twentieth century. Fire insurance maps produced by the Sanborn Map Company in 1913 are less detailed than those of 1899 but indicate that the basic floorplan, height, and overall form of the subject building remained generally unchanged in the 1910s.<sup>45</sup> The first major changes to the house are documented in a building permit dated to 1920. The permit describes rebuilding the front stairs in brick to the property line, converting the basement into a private garage, and re-shingling the west side of the roof.<sup>46</sup>

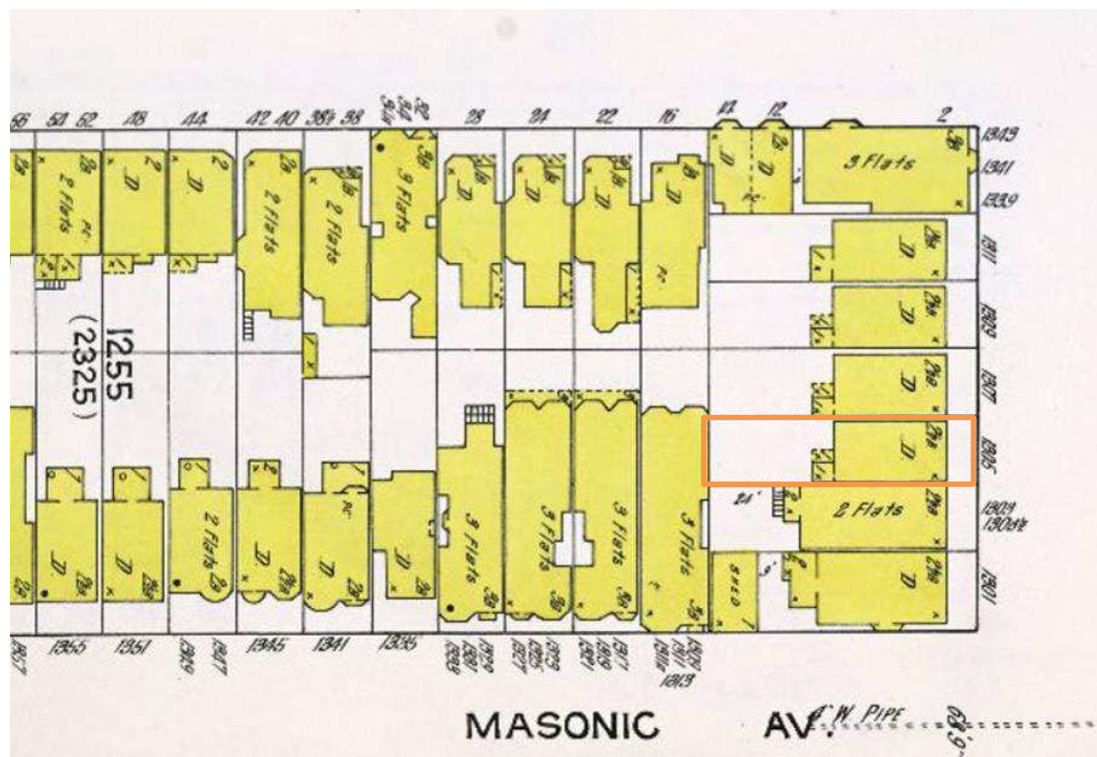


Figure 3. 1913 Sanborn Map Company fire insurance map. John A. Whelan House outlined in orange. Source: Library of Congress, modified by Page & Turnbull.

<sup>45</sup> Sanborn Map Co., “Insurance Maps of San Francisco, California,” Volume 4, 1913.

<sup>46</sup> Records of the San Francisco Department of Building Inspection.



**Figure 4. Masonic Avenue and Waller Street, 1937, Whelan House visible far right.**

No other alterations are documented in building permit records for a fifty-year period until the 1970s. In 1974, the San Francisco Board of Supervisors created the Upper Ashbury Rehabilitation Assistance Program (RAP) area, which incorporated the block on which the John A. Whelan house is located. RAP was a financial assistance and code enforcement program designed by the San Francisco Department of City Planning to encourage residential rehabilitation and the conservation of existing building stock in the city's older, deteriorating neighborhoods. Loans were granted to property owners to fund work to bring their buildings into compliance with the City Housing Code.<sup>47</sup>

In 1978, David and Virginia Keller, both aerospace engineers, purchased the house from its previous owner and began renovating it. They hired Paul Duchscherer, head designer of wallpaper design firm Bradbury & Bradbury, to work with them on the project.<sup>48</sup> Building permits from the late 1970s and early 1980s document that the renovation work was at least partially funded by RAP loans. Permits detail the demolition of interior walls and facades and stabilization of the exterior staircase.<sup>49</sup> The renovation work also included preserving exterior woodwork, floors and ceilings, and converting the building, which had been subdivided into a three-unit flat, back into a single-family house.<sup>50</sup>

Around the same time, the house's exterior facades, which were primarily painted white, were repainted in varying shades of blue with red, white, yellow, and silver accents. The colorful new paint scheme was inspired by the Colorist Movement, which emerged out of the Counterculture Movement in San Francisco in the 1960s and 1970s. While the movement began as a manifestation of the Counterculture Movement's celebration of free expression, it quickly

<sup>47</sup> San Francisco Department of City Planning, "Draft Environmental Impact Statement for the Rehabilitation Assistance Program for the Upper Ashbury," 1976, 1-6.

<sup>48</sup> Elaine Louie, "Gutted and Restored, an Ornate 'Winter House' in San Francisco," Mansion Global, accessed November 19, 2019, <https://www.mansionglobal.com/articles/gutted-and-restored-an-ornate-winter-house-in-san-francisco-39740>.

<sup>49</sup> Records of the San Francisco Department of Building Inspection.

<sup>50</sup> Louie.

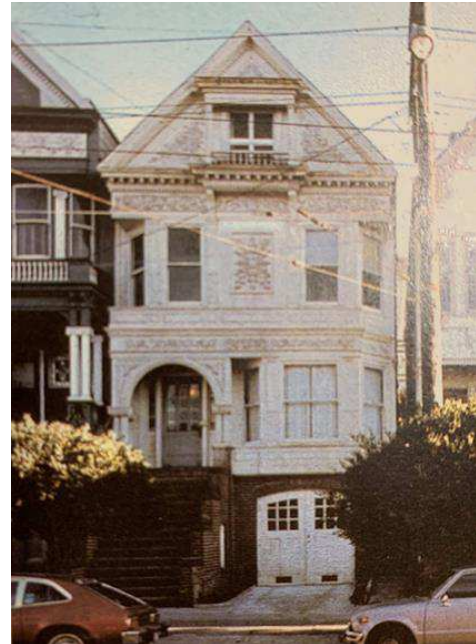
became linked to a national movement to preserve deteriorating Victorian architecture as property owners realized the ways in which colorful paint schemes that highlighted the ornate architectural details of these houses could increase property values and help revitalize neighborhoods. Although the 1970s-era paint scheme of the John A. Whelan House has since been muted, its predominant blue base shades remain.<sup>51</sup>

In 1993, the front staircase was rebuilt to match those of the other Four Seasons Houses on Waller Street, brick veneer cladding was removed from around the garage, new roofing was installed, and windows on the third floor were replaced in-kind. Subsequent alterations that took place in the 1990s were limited to interior work, including a bathroom remodel and repainting interior walls.

The rear façade has been modified with new siding and alterations to window and door openings. Much of this dates to a renovation project in 2017 during which the rear deck was constructed; kitchen, bathroom, and bedroom areas were remodeled; a second interior staircase was added from the first to the fourth floor; and a fourth-story window and the front garage door were replaced in-kind.<sup>52</sup>



**Figure 5. Four Seasons Houses at 1315-1343 Waller Street, Whelan House is the third house from the left, behind utility pole. Source: San Francisco Department of City Planning, Architectural Survey Form, 1976.**



**Figure 6. Before restoration, n.d. Source: Duchscherer and Keister, 173.**

<sup>51</sup> Elizabeth Pomada and Michael Larsen, *Painted Ladies Revisited* (New York: E.P. Dutton, 1989), 10-11, 96.

<sup>52</sup> Page & Turnbull, "John A. Whelan House," National Register of Historic Places Nomination Form, December 2019.





Figure 7. Whelan House, third from left, after renovation as one of San Francisco's Painted Ladies. Source: *Peninsula Living Newspaper*, 1979

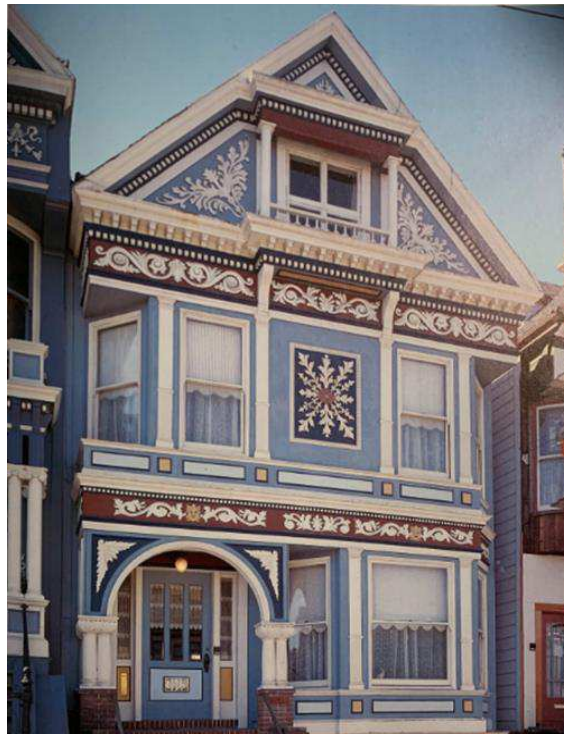


Figure 8. Paint scheme post-restoration, circa 1989. Source: Pomada and Larsen, 96.

### CHARACTER-DEFINING FEATURES

For a property to be eligible for national or state designation under criteria related to type, period, or method of construction, the essential physical features (or character-defining features) that enable the property to convey its historic identity must be evident. These distinctive character-defining features are the physical traits that commonly recur in property types and/or architectural styles. To be eligible, a property must clearly contain enough of those characteristics to be considered a true

representative of a particular type, period, or method of construction, and these features must also retain a sufficient degree of integrity. Characteristics can be expressed in terms such as form, proportion, structure, plan, style, or materials.

The character-defining features of 1315 Waller Street include:

- Two-story building with a raised basement and attic
- Rectilinear floor plan and wood construction
- Steeply pitched, front-facing gabled roof
- Asymmetrical front façade with staircase at east end leading to raised first-story entry
- Wood lap exterior cladding
- Front entry with arched surround with molded wood trim, supported by paired columns with foliate capitals
- Spandrels decorated with carved wood leaf designs
- Original double-hung wood sash windows
- Attenuated wood pilasters between window sashes
- Canted bay windows with recessed angled walls on first and second stories
- Entablatures between the first and second stories and between the second story and attic decorated with wood foliate scrolls, masks, dentils and modillions
- Rectangular wood panel at center of front façade with carved snowflake design
- Projecting balcony in the front gable end with wood railings, spindlework balusters, and attenuated Tuscan columns, supported by carved wood brackets
- Carved leaf designs and dentilled border at front gable end

## ARCHITECTURAL DESCRIPTION

The following description was originally prepared by Page & Turnbull for the John A. Whelan House National Register nomination form (December 2019). The photographs in this section were taken in 2019 and 2020.

### Overview and Setting

The John A. Whelan House is a two-story building with a raised basement and finished attic. The wood frame building has a rectilinear floorplan with a projecting rear bay at its southeast corner and a steeply pitched front-facing gabled roof with four skylights. Exterior walls are clad with wood lap siding above a concrete foundation. Typical windows consist of double-hung wood sashes with molded wood trim and undivided lites.

The front stairs of the building extend to the front lot line. The remaining area between the building's primary façade and the sidewalk is paved entirely with concrete and contains a driveway that leads from the garage to Waller Street. The narrow space between the building and the adjacent western property is also paved with concrete. At the rear of the building, the backyard consists of a brick paved patio bordered by low, curving brick planter walls. This planter contains a variety of low plantings and small trees.



**Figure 9. Four Seasons Houses with 1315 Waller St. as the second house from the left, view southwest.**



**Figure 10. Backyard patio, view southeast.**

## EXTERIOR

### Primary (Northwest) Façade

The primary façade faces Waller Street and is roughly two bays wide. A raised basement at street level contains a private garage with double wood paneled doors with nine stippled glass panes in the upper half of each door. The doors are set in a segmentally arched surround. To the west of these doors, a single wood panel door is set back from the façade that opens to a walkway at the southwest side of the house. To the east of the garage doors, an exterior staircase provides access to the main entrance on the first story of the building. These stairs feature concrete newels, curled wrought iron railings with cast iron elements, white marble treads and risers above the lowest three concrete treads and risers, and concrete walls that have been cast to appear as rusticated stone walls. A wood panel door with a slanted top rail, corresponding to the slope of the stairs, is set into the southwest wall of the stairs at street level, providing access to the interior from the driveway.

The main entrance is located through an arched opening at the top of the stairs. The opening has a molded wood trim and is supported by paired columns with foliate capitals that rest on rectangular pedestals. The spandrels of the arched opening are decorated with carved wood leaf designs. The entry beyond consists of a wood panel door with three integrated vertical lites, which is flanked by two narrow sidelites. A non-historic spherical porch light hangs from the ceiling in front of the door.

To the west of the main entrance, a canted bay window with recessed angled walls, wood sash windows, and wood paneled spandrel panels completes the first story. Attenuated pilasters accent the space between each window sash. The first and second stories are visually separated by ornamental bands with carved wood designs. The bands imitate a classical entablature, consisting of an unadorned architrave, a frieze decorated with foliate scrolls and masks, and a dentilled cornice. Windows at the second story rest on another ornamental wood band, decorated with rectangular wood panels. Fenestration at the second story consists of a canted bay window that spans the width of the façade and has angled side windows recessed beneath the corners of the gable end. The windows at the second story are non-historic windows inserted into the original window frames but are similar in style to the original first story windows. A rectangular wood panel carved with a snowflake design is centered between the sashes of the bay window and serves as the primary focal point of the façade. Decoration around the windows matches that of the first story.

The second-story windows support a second, wider entablature, also decorated with foliate scrolls and a cornice with both dentils and block modillions. Curved wood brackets spring from pilasters that frame



the snowflake centerpiece to support a projecting balcony in the gable end. This balcony has wood railings with spindlework balusters and is framed by attenuated Tuscan columns. The remaining surfaces of the gabled end are decorated with carved leaf designs and feature a dentilled border.



**Figure 11. Front northwest façade, view southeast.**



**Figure 12. Garage and exterior front stairs at northwest facade, view southeast.**



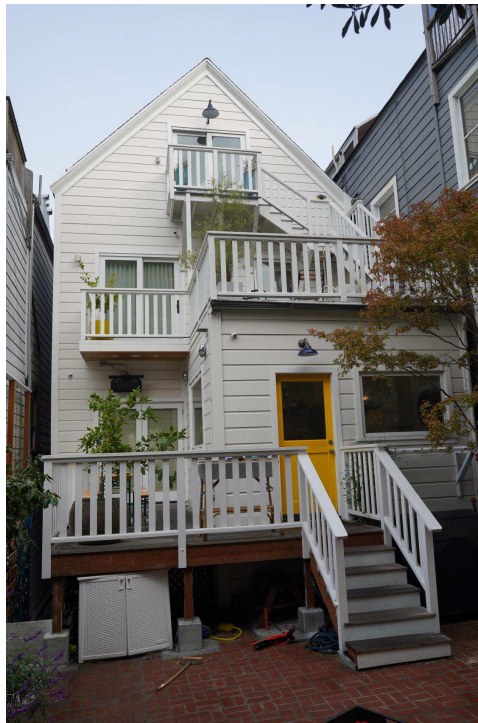
**Figure 13. Front entry detail, view southeast.**

### Southeast Façade

The rear, southeast façade has been modified. It is clad with wide, channel rustic wood lap siding and features a projecting one-story bay with a flat roof. Concrete steps at the southwest corner descend to an excavated basement level landing that is paved with concrete. The façade at this level contains a wood panel door with integrated glazing.

At grade, a small set of wood stairs leads up to wood deck on the first story with wood handrails and balusters, as well as a rear entry in the projecting bay. This entry features a wood panel door with an undivided glass lite and wood trim. A rectangular window with an undivided lite is located to the east. The porch wraps around the bay and leads to a set of wood frame double doors at the west end of the first story.

The flat roof of the projecting bay serves as a balcony at the second-story and features a wood railing that matches the railing of the deck below. Fenestration consists of a set of sliding wood frame glass doors at the façade's west end and a second glass door at its east end. From the second-story balcony, a wood staircase ascends to a smaller balcony and a set of sliding wood frame glass doors located in the gable end.

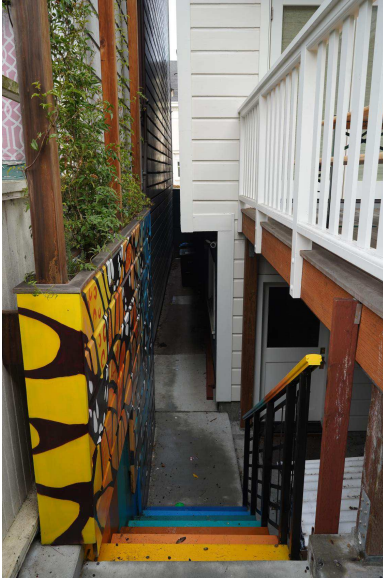


**Figure 14. Rear, southeast facade, view northwest.**

### Northeast and Southwest Façades

The northeast façade fully abuts the adjacent house at 1307 Waller Street to the east, while the southwest façade is separated by only a few feet from 1323 Waller Street to the west, thus the façades are not easily visible. The southwest façade of the projecting rear bay is accessible from the backyard. This portion has a wood panel door with integrated glazing and a wood slider window at the basement level, as well as a large undivided awning window at the first story above. The long southwest facade of the house above the walkway is generally comprised of channel rustic wood lap siding, one horizontal slider window at the basement story near the rear of the façade, one double-hung bathroom window at the second story, and mechanical flues, conduits, pipes, and downspouts. One small portion of the northeast side shares the adjacent building's lightwell and is generally comprised of channel rustic wood lap siding and single casement sashes, presumably at original window openings, at both the first and second stories.





**Figure 15. Steps from backyard to excavated basement level at southeast façade, view northwest.**



**Figure 16. Basement doors and windows at rear of building, view north.**



**Figure 17. Southeast façade at basement level, view northwest.**

## Roof

The main roof is comprised of asphalt shingle roofing and contains a couple skylights over the eastern side of the roof. One of the skylights appears to be a historic copper skylight placed over the interior stair up to the attic level. A copper gutter along the eastern neighboring building covers what appears to be an original gutter. The west slope of the roof could not be easily observed, but a gutter/diverter runs near the lower portion of the slope and directs water into a leader head and downspout on the west side of the building. The lower kitchen roof serves as an exterior occupied roof deck and is covered in an asphaltic roofing material. The wood deck railing is connected to the roof and is tied into the waterproofing system. There is evidence of patching at the wood rails as well. This roof drains to the

rear, southeast end into a copper gutter but can also spill off the southwestern side where there is no gutter or drainage system.

## INTERIOR

The interior contains many of its original materials and features. The first story contains a small entrance vestibule that opens to an elaborately carved wood staircase with spindlework balusters, wood panel wainscot, and a brass lamp on the first-floor newel post in the shape of a female figure holding a torch.<sup>53</sup> A front parlor with a salvaged period fireplace is located to the west of the entrance vestibule.<sup>53</sup> A dining room is located behind it at the rear of the house. From the entrance vestibule, a hallway leads past the staircase to a door accessing the basement, a small pantry, bathroom, and kitchen. The second story contains three bedrooms, while the finished attic contains an office and a rear den. Several skylights have been punched through the roof above the interior staircase and at the rear attic snug. Original wood panel doors, door and window trim, picture railings, base trim, and plaster ceiling medallions are intact in many rooms.



Figure 18. Main interior staircase, view southeast.



Figure 19. Salvaged period fireplace in the living room, view southwest.

<sup>53</sup> The fireplace was acquired from Omega Salvage in Berkeley, California, salvaged from another 1890s house.



Figure 20. View of the dining room and doors to the backyard from the living room, view southeast.



Figure 21. Second-story bedrooms, view northwest.



Figure 22. Third-story den, view southeast.

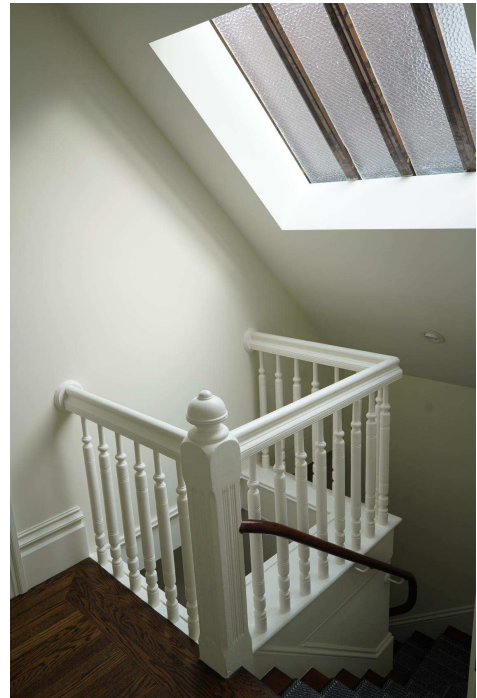


Figure 23. Staircase landing and third-story skylight, view north.

## EXISTING CONDITIONS

### Primary Waller Street (Northwest) Facade

The Waller Street façade is generally in fair condition. Some localized areas of wood deterioration were noted in various wood components. A couple missing ornamental trim pieces were noted near the garage. Gaps around the garage light fixture escutcheons are extant. A flowering bush is growing at the juncture of the garage wall and concrete stair side wall that is vining across the top of the garage and at most of the western metal stair handrail. The paint at this façade is in fair condition; it is beginning to show wear and its age, exhibiting noticeable fading in some locations. Additionally, areas with small holes from previous anchors were noted in various locations. The wood garage doors are in fair condition with some localized deterioration at the base of the doors, and the adjacent single wood panel door accessing the walkway to the side and back of the house is in fair to poor condition with substantially deteriorated mortise and tenon joints at several of the lower styles and rails and has a sistered wood member at the back of the door to stabilize the base.

The main stairs are in fair condition. The white marble is exhibiting a fair amount of ferrous staining, possibly due to moisture exposure. Biological growth is also extant, particularly in joints, under some bullnoses, and at the concrete portion of the steps. The concrete side wall, newels, and lower steps are in otherwise good condition, with the steps exhibiting general soiling. The top landing is in fair to poor condition, where an infill plywood floor panel is covered by a walk-off matt, and the perimeter of the marble landing exhibits more severe ferrous staining than the lower steps. The area beneath the plywood landing exhibits evidence of moisture. The walk-off matt may be holding moisture against the marble and contributing to the staining but cannot be removed until a more permanent repair of the landing is undertaken. The remainder of the wood entry level, including the door and sidelights is in good to fair condition. The wrought and cast iron railing is in fair condition and is beginning to corrode.

The first story historic windows are in fair condition and exhibit cracked, deteriorated and loose glazing putty. The non-historic insert windows at the second story are in fair to poor condition, where the upper sash are fixed in place so they do not fall down, and many of the vinyl tracks are cracked/broken. The owners report that these windows are not properly weather-stripped and are drafty. The owner has currently installed heavy shades/window treatments and Velcro along the sash perimeters in an attempt to mitigate some of the air infiltration. The owners report that the attic window sash in the gabled end is not secure in its opening and is drafty. It is unknown if this window is the original configuration or if it has been modified. Further research and site investigation are required to make this determination.

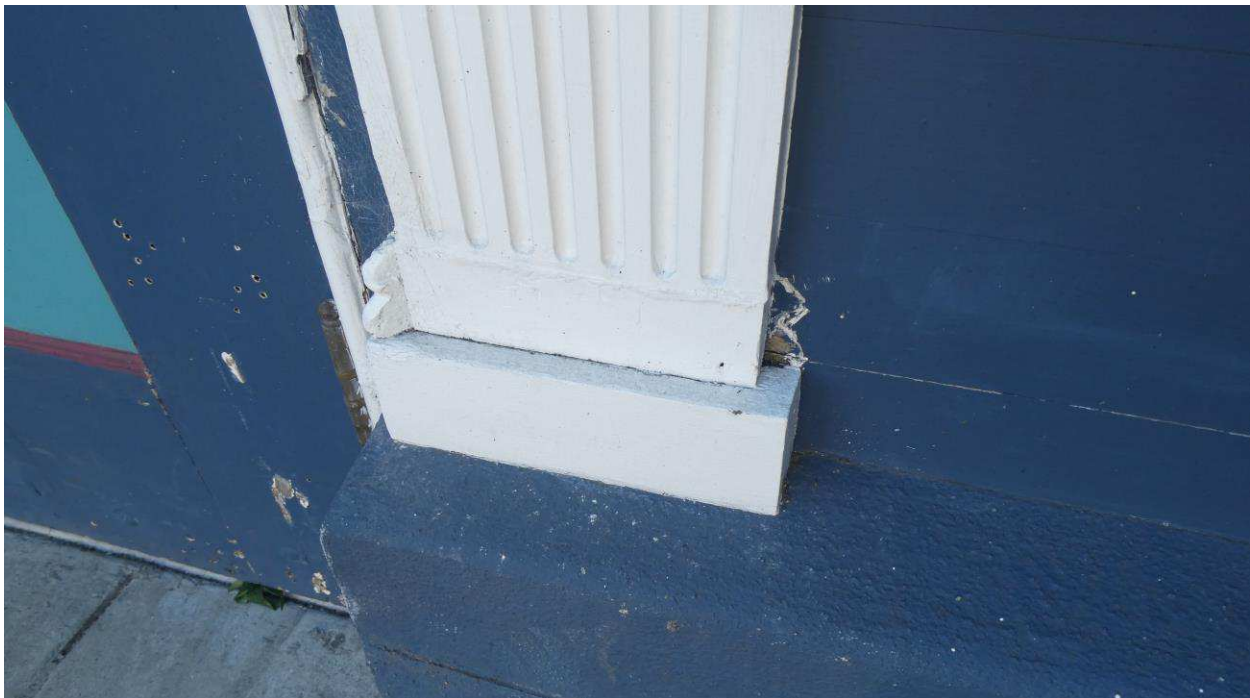




Figure 24: Overall photo showing the primary Waller Street Façade.



**Figure 25: Detail of wood deterioration and checking/splitting at the main entry.**

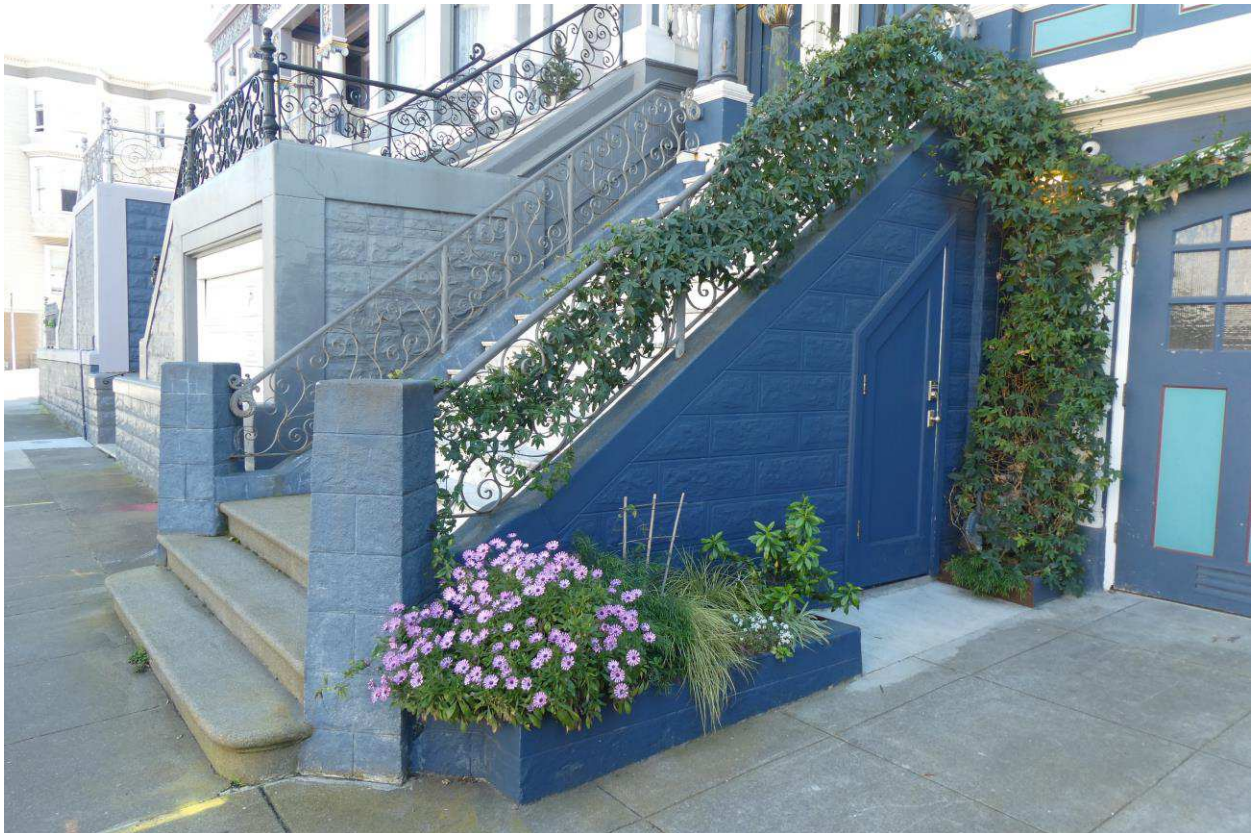


**Figure 26: Detail showing missing profiled trim at the garage door surround.**





**Figure 27: Detail showing gap between garage sconce escutcheon and wood siding.**



**Figure 28: Overall view of entry stairs with concrete lower steps, side wall and newels. Note the flowering plant growing at the juncture of the garage and main stairs.**



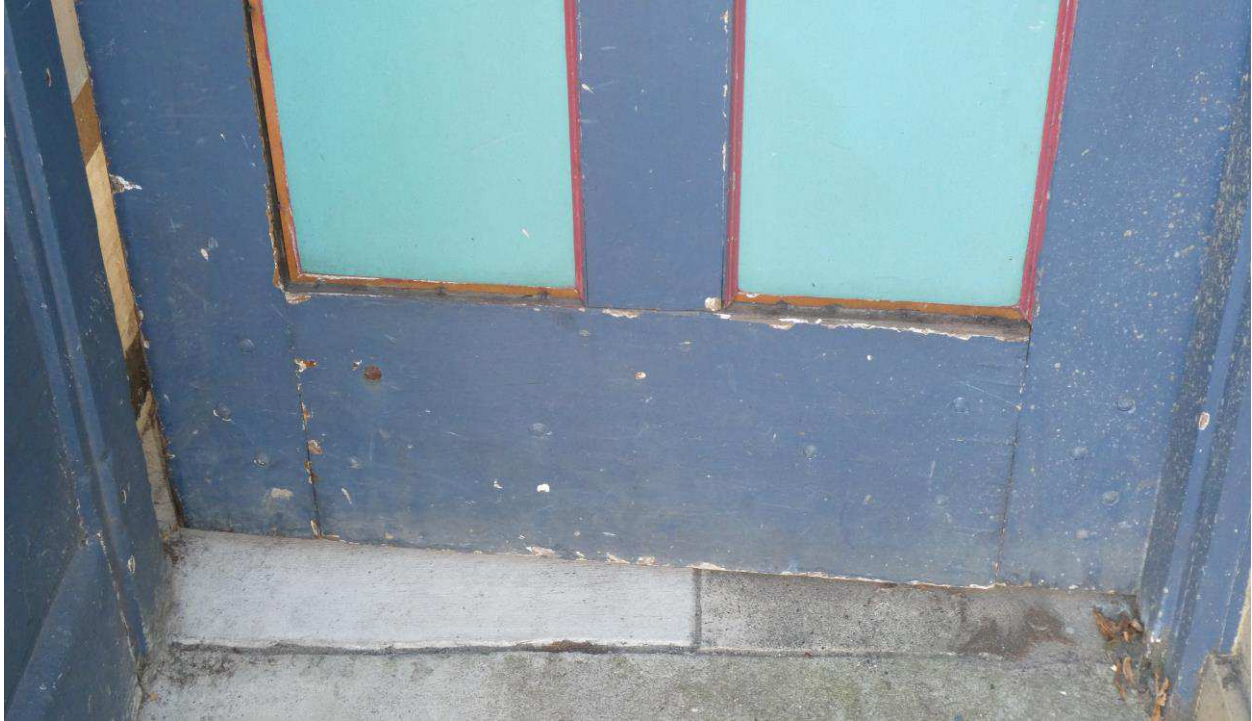


**Figure 29: Detail showing holes at the ground level siding.**



**Figure 30: Detail showing deteriorated wood at the bottoms of both garage doors.**



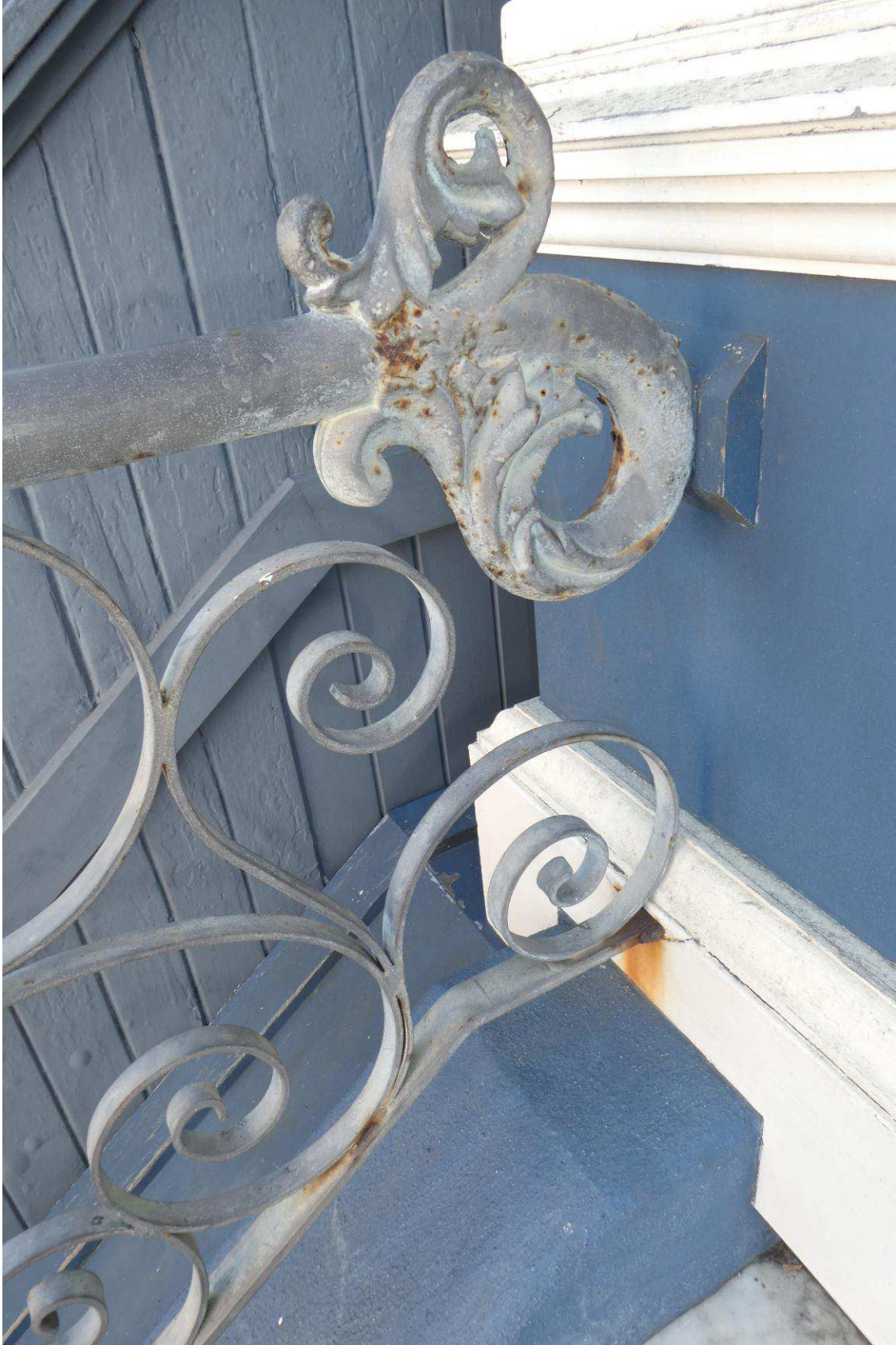


**Figure 31: Detail showing bottom of walkway door adjacent to the garage with deteriorated mortise and tenon joints and missing trim at the perimeter of the panels.**



**Figure 32: Detail showing plants and biological growth at joints in the concrete and marble stairs as well as beneath some of the bullnose marble stair treads.**





**Figure 33: Detail of typical corrosion at the wrought and cast iron stair rail.**

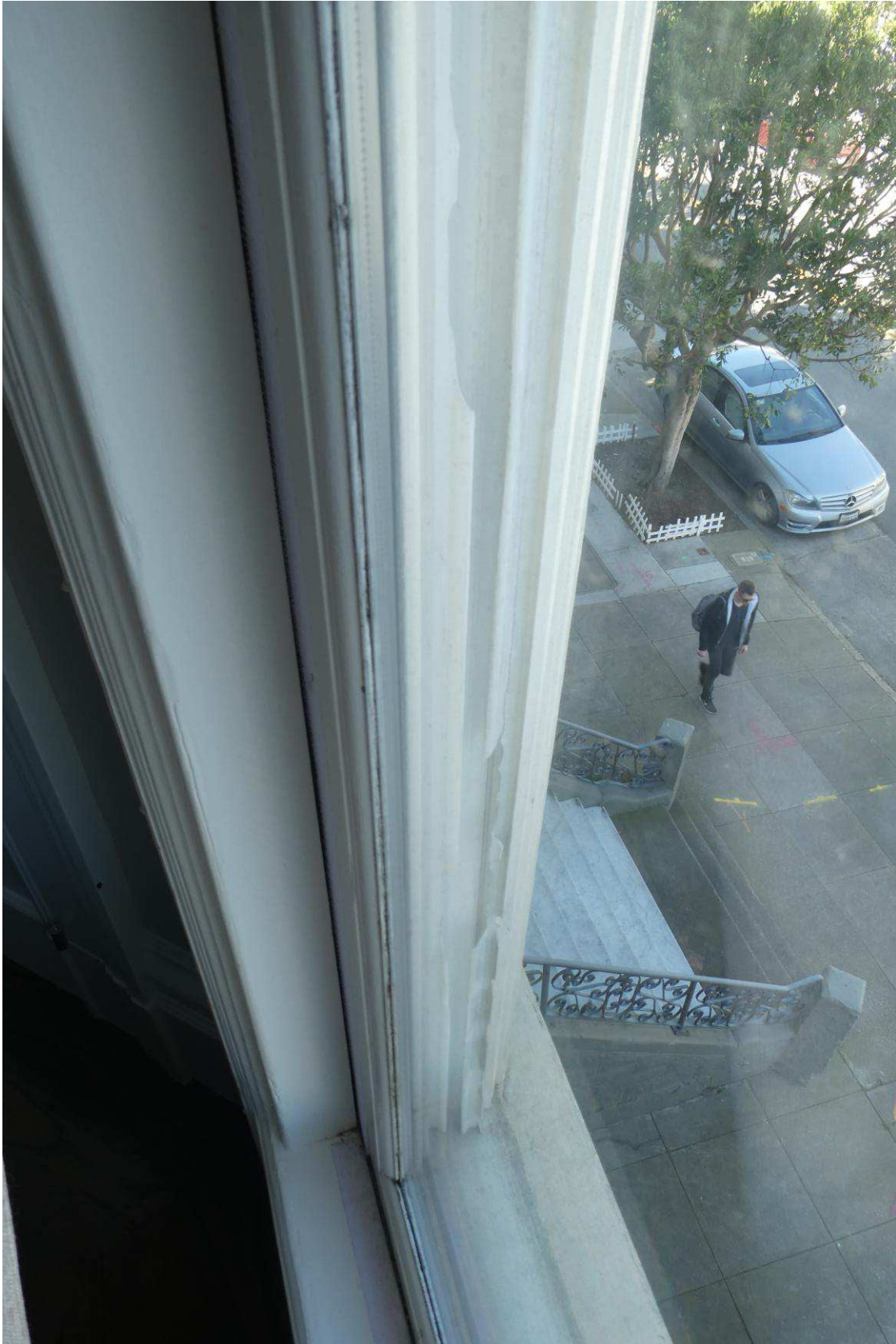




**Figure 34: Detail of top entry landing showing plywood infill and ferrous staining of the marble.**



**Figure 35: Detail showing cracked and deteriorated glazing putty at the first story windows.**



**Figure 36: Detail of the damaged/broken vinyl jambs at the Waller Street second story window exterior.**





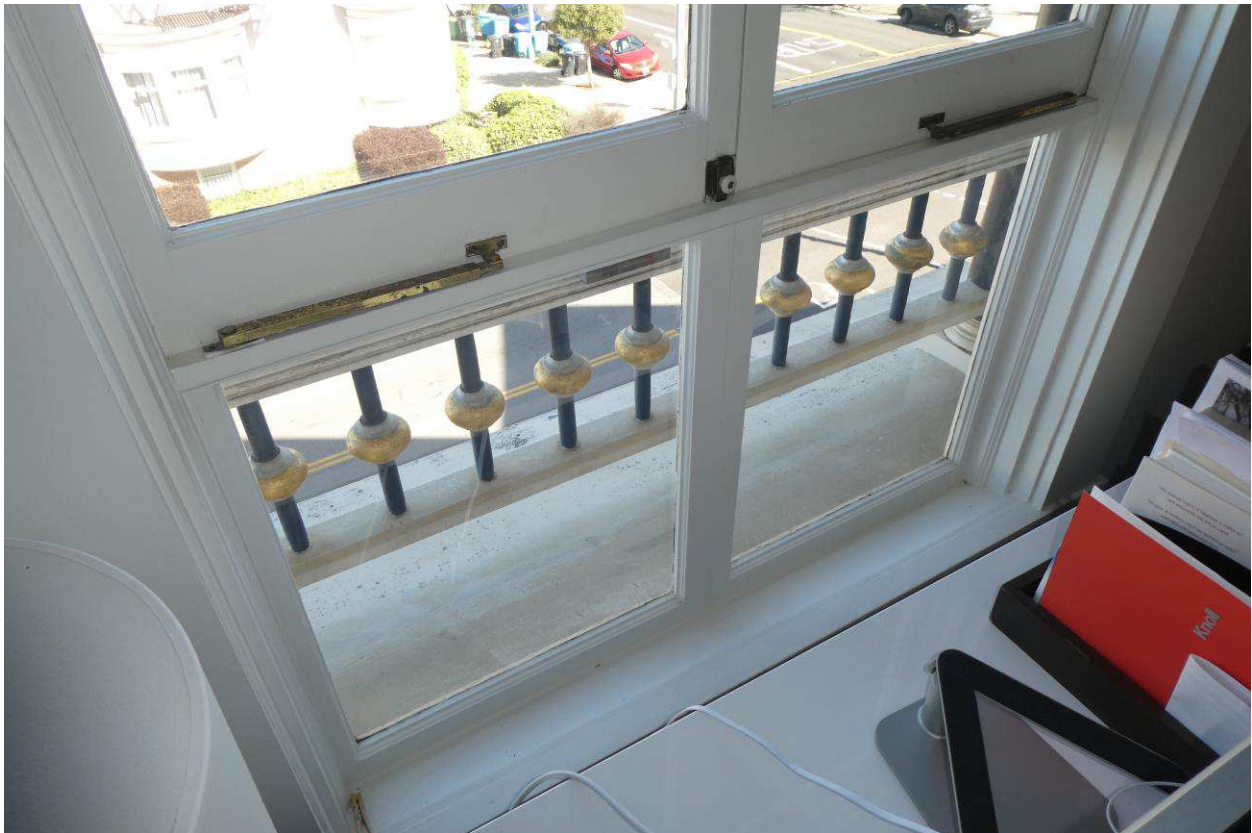
**Figure 37: Detail of the second story Waller Street window showing window treatments and Velcro attempt to mitigate air infiltration at the non-historic insert windows.**



**Figure 38: Exterior detail of the attic window at the Waller Street gable end.**



**Figure 39: Interior detail of the attic window at the Waller Street gable end, upper casement sash.**



**Figure 40: Interior detail of the attic window at the Waller Street gable end, lower fixed sash.**



**Rear (Southeast) Facade**

The rear façade is generally in fair condition with a few localized areas in fair-to-poor condition. The painted wood siding is in relatively good condition, however bulging and splitting of the wood siding was noted at the southwest kitchen wall adjacent to the window and at the top of the southeast kitchen wall and at the adjacent eave/soffit boards.



**Figure 41. Overall view of the rear, southeast facade, view northwest.**



**Figure 42: Detail showing the split/damaged wood at the southeast side of the first floor kitchen.**





**Figure 43: Detail of the bulging top siding board at the southeast side of the first floor kitchen.**



**Figure 44: Detail of bulging siding at the upper corner of the window, southwest side of the first floor kitchen. Note bulging at the lower corner in (Figure 45).**



**Figure 45: Detail of bulging siding at the lower corner of the window, southwest side of the first floor kitchen.**

### Side (Northeast and Southwest) Facades

The side façades all appear to be in good to fair condition. The painted wood siding is in relatively good condition. At the southwest façade, minor localized splitting at the wood siding was noted. The double hung bathroom window at the second story is in good condition; it does not have weather stripping. At the northeast façade, the non-historic casement windows at both levels are in fair condition; they have Plexiglas instead of glass, and exhibit failure/deterioration of glazing sealant at the exterior. They also do not have weather stripping.



**Figure 46: Overall view of the walkway at the southwest side of the building. Note the mechanical and plumbing flues/piping at the upper portion of the wall in the distance. See also (Figure 48).**





**Figure 47: Detail of checked/splitting at siding on the southwest elevation.**



**Figure 48: Detail showing the mechanical and plumbing flues/piping/conduits at the upper southwest wall.**



**Figure 49: Non-historic casement sash at the second floor looking into the northeast lightwell.**





**Figure 50: Detail showing deteriorated glazing sealant at the Plexiglas, second floor non-historic casement sash, northeast lightwell.**

Roof

The asphalt shingle roofing at the main roof is nearing the end of its useful life. No issues were noted with the skylights or copper gutters. The asphaltic kitchen roof has also reached the end of its useful life, as it has been previously patched.



**Figure 51: Copper gutter, counterflashing, and leader head where the main roof meets the neighboring building to the northeast.**





**Figure 52: Detail showing the main roof's gutter/diverter at the southwest gable side from Waller Street**



**Figure 53: Detail of the asphalt shingle roofing on the main roof and two skylights. The original copper skylight over the interior stair is to the right in the photo.**





**Figure 54: Detail showing the asphaltic roof at the decking above the first floor kitchen.**



**Figure 55: Detail showing the asphaltic roof at the decking above the first floor kitchen.**

## TREATMENT RECOMMENDATIONS

### Primary Waller Street (Northwest) Facade

Maintain sealants at the façade as well as paint and coatings at the wood elements, including siding, ornamental woodwork, windows, doors, and flashings. In conjunction with painting, assess the wood condition for damage and deterioration. Patch holes, and repair or replace damaged or missing elements to match the original as needed, taking care to avoid removing or altering character defining features unless they are damaged beyond repair. Seal the gaps at the garage scone escutcheons, and repair the deteriorated wood garage doors and the adjacent wood side door accessing the back yard. Monitor the flowering bush growing along the garage and stair rail to ensure the plant is not damaging the historic materials. Maintain the plant accordingly, and consider a planting support system that keeps the plant from attaching to the respective historic materials.

At the stairs, replace the plywood at the entry landing with an appropriate marble/stone/tile/mosaic flooring and waterproofing as needed. Clean the staining and biological growth at the marble and concrete steps, and repair wear, chips, and cracks as encountered and needed at the marble. Consideration of an appropriate marble sealer may help reduce the ferrous staining of the marble but should be further studied prior to application of a sealer. Treat corrosion at the wrought and cast iron handrails, and paint with an appropriate rust-inhibitive paint system. Repair the metal if deterioration is encountered. At the painted side walls and newels, consider removing paint and cleaning, or prime and repaint as part of building repainting campaigns using appropriate breathable paints and taking care not to use acidic or deleterious cleaners and strippers near the marble.

Rehabilitate the first story historic wood windows by repairing deteriorated wood where found, and replace the deteriorated and missing glazing putty. Maintain and repair the window hardware as needed. Consider restoration operability to windows that are not operable, and consider installation of appropriate weatherstripping. Rehabilitate the non-historic (but compatible) second story double-hung wood windows. Repair weatherstripping, sash balancing, and damaged sash tracks, or consider replacing with new sash to match the original appearance. Rehabilitate or replace the attic story window with an appropriate compatible wood window to resolve sash stability/soundness and weather-tightness based on further research and site investigation.

### Rear (Southeast) Facade

Maintain sealants at the façade as well as paint and coatings at the wood elements, including siding, windows, doors, and flashings. In conjunction with painting, assess the wood condition for damage and deterioration. Patch holes, and repair or replace damaged or missing elements to match the original as needed. Investigate bulged and split siding at the southwest (side) kitchen wall adjacent to the window and at the top of the southeast (rear) kitchen wall and at the adjacent eave/soffit boards.

### Side (Northeast and Southwest) Facades

Maintain sealants at the façades as well as paint and coatings at the wood elements, including siding, windows, and flashings. In conjunction with painting, assess the wood condition for damage and deterioration. Patch holes, and repair or replace damaged or missing elements to match the original as needed.

At the southwest façade, specifically repair splits at siding near the walkway and wherever encountered otherwise. Ensure pipe, vent, and other mechanical/plumbing penetrations are properly sealed. Repair

and paint the original bathroom window at the second story, and consider installation of weatherstripping.

At the northeast lightwell, specifically repair the two non-historic casement sash, and repair wood as needed if deterioration is found. Replace the Plexiglas with glass, and consider the installation of weatherstripping, or as an alternative, consider appropriate replacement sash or windows.

### Roof

Inspect the main roof, and replace the shingle roofing with new shingle roofing. Repair or replace related flashing, waterproofing, and gutters as needed. Regularly clean and maintain skylights and their weeps, gutters, and downspouts. Maintain flashing and sealants.

At the kitchen roof, replace the roofing at the deck area over the kitchen. Ensure complete waterproofing at the guard rail penetrations/anchorage, and repair the wood guard rail as needed. Ensure the roof is sloped to drain properly to the rear gutter, and ensure that water sheds properly at the side of the roof. Repair or replace the gutter as needed.



## IV. 1315 WALLER STREET ADDITIONAL PHOTOGRAPHY

### EXTERIOR PHOTOGRAPHS



Figure 24. Four Seasons Houses with 1315 Waller Street as the second house from the left, view southwest.



Figure 25. 1315 Waller Street, view southeast.





Figure 26. Front northwest façade, view southeast.





Figure 27. Garage and exterior front stairs at northwest facade, view southeast.



Figure 28. Front entry detail, view southeast.



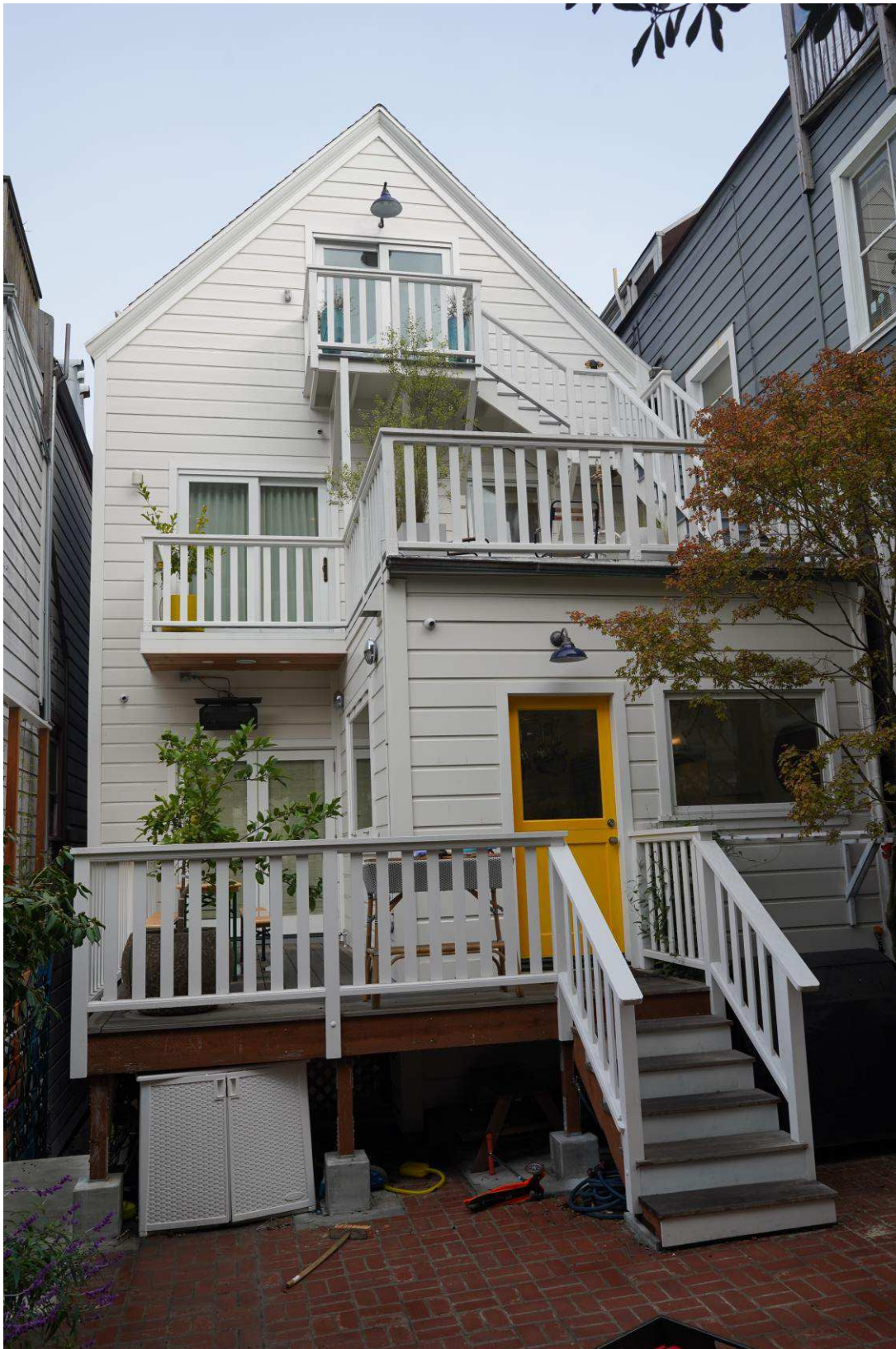


Figure 29. Rear, southeast facade, view northwest.



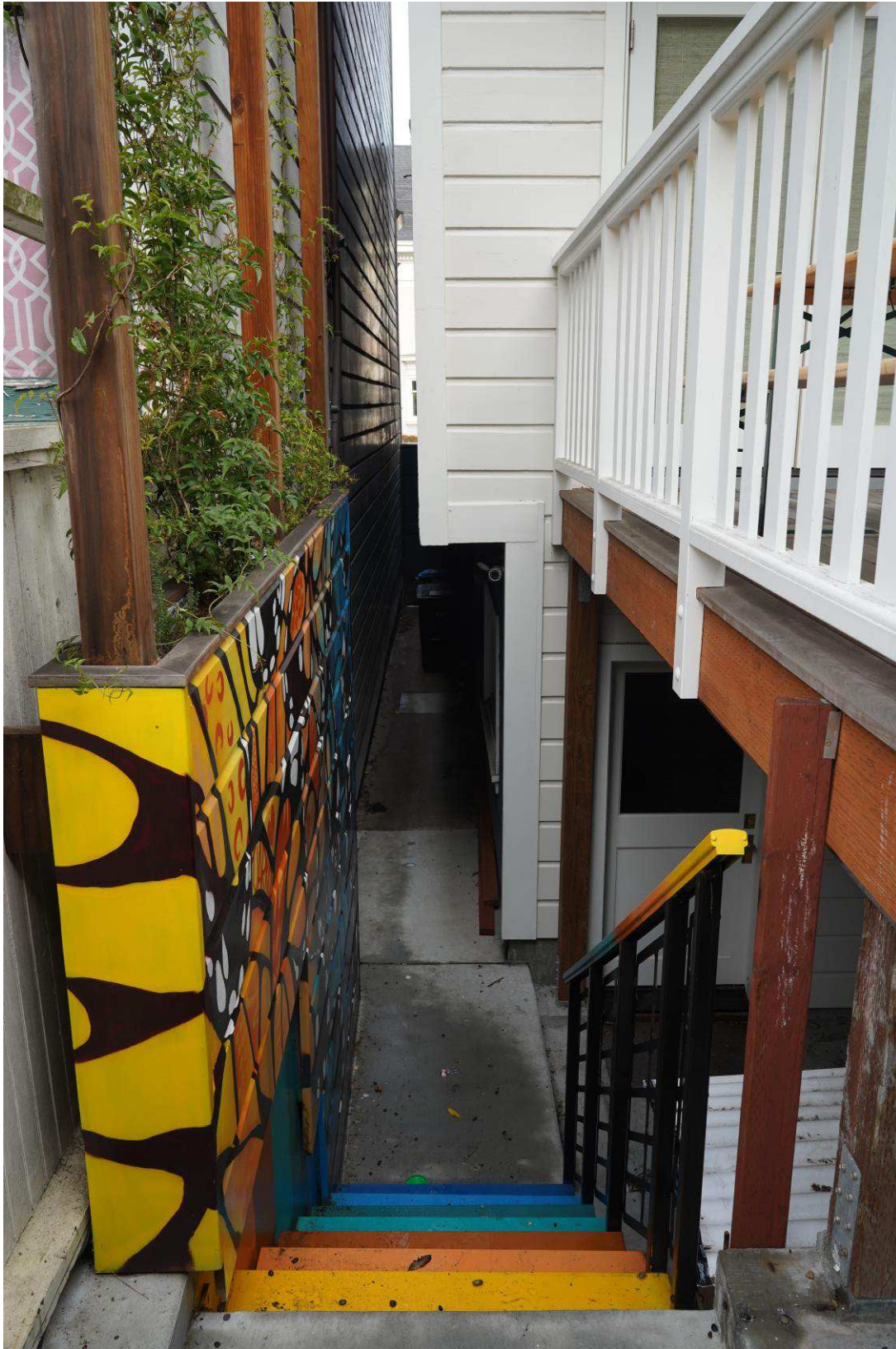


Figure 30. Steps from backyard to excavated basement level at southeast façade, view northwest.



Figure 31. Southeast façade at basement level, view northwest.





Figure 32. Basement doors and windows at rear of building, view north.



Figure 33. Backyard patio, view southeast.



INTERIOR PHOTOGRAPHS



Figure 34. Main interior staircase, view southeast.



Figure 35. Salvaged period fireplace in the living room, view southwest.



Figure 36. Living room, view northeast.





Figure 37. Living room, view southeast.



Figure 38. View of the dining room and doors to the backyard from the living room, view southeast.





Figure 39. Dining room, view southeast.

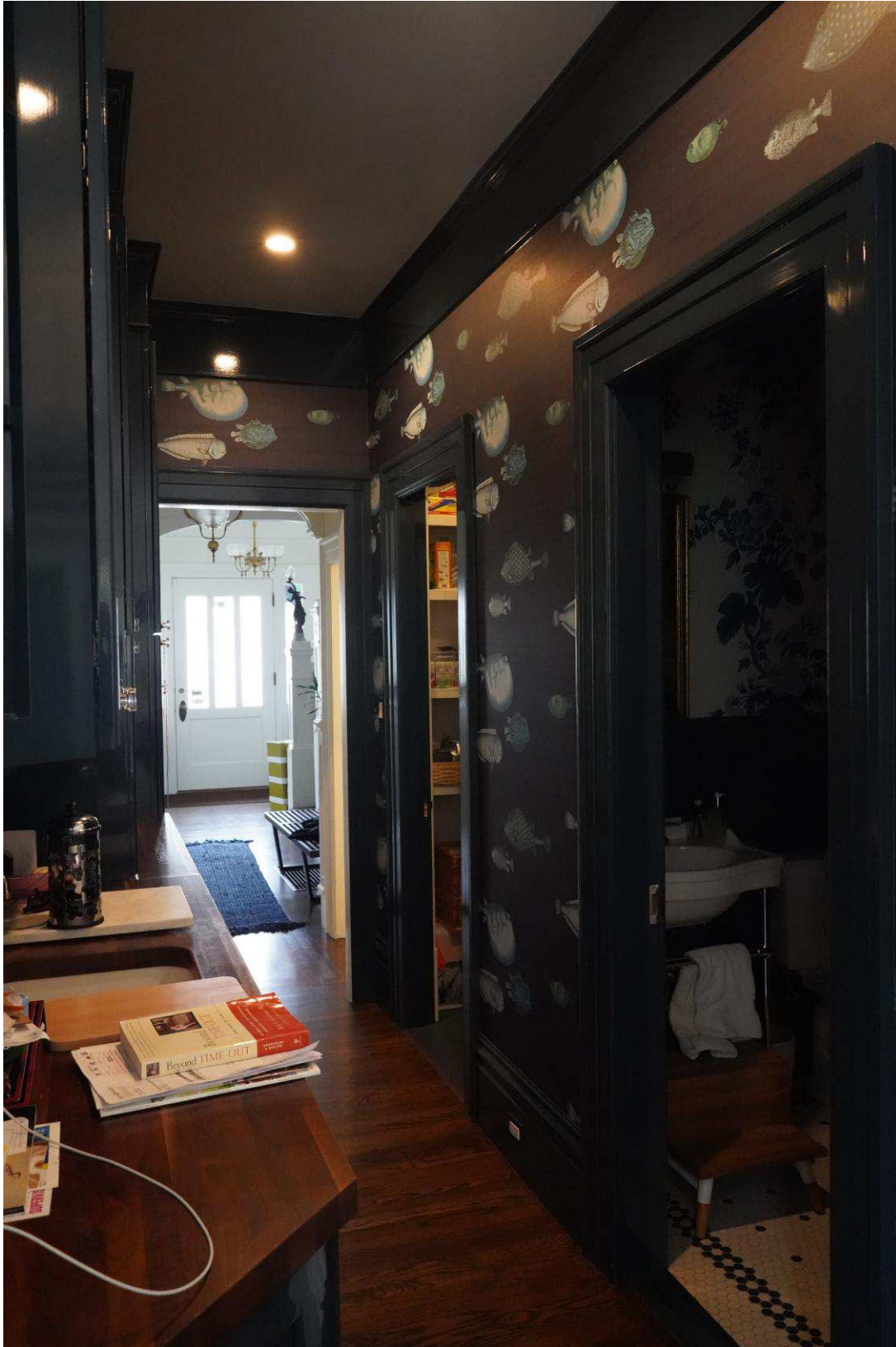


Figure 40. First floor hallway from front entry to kitchen, view northeast.



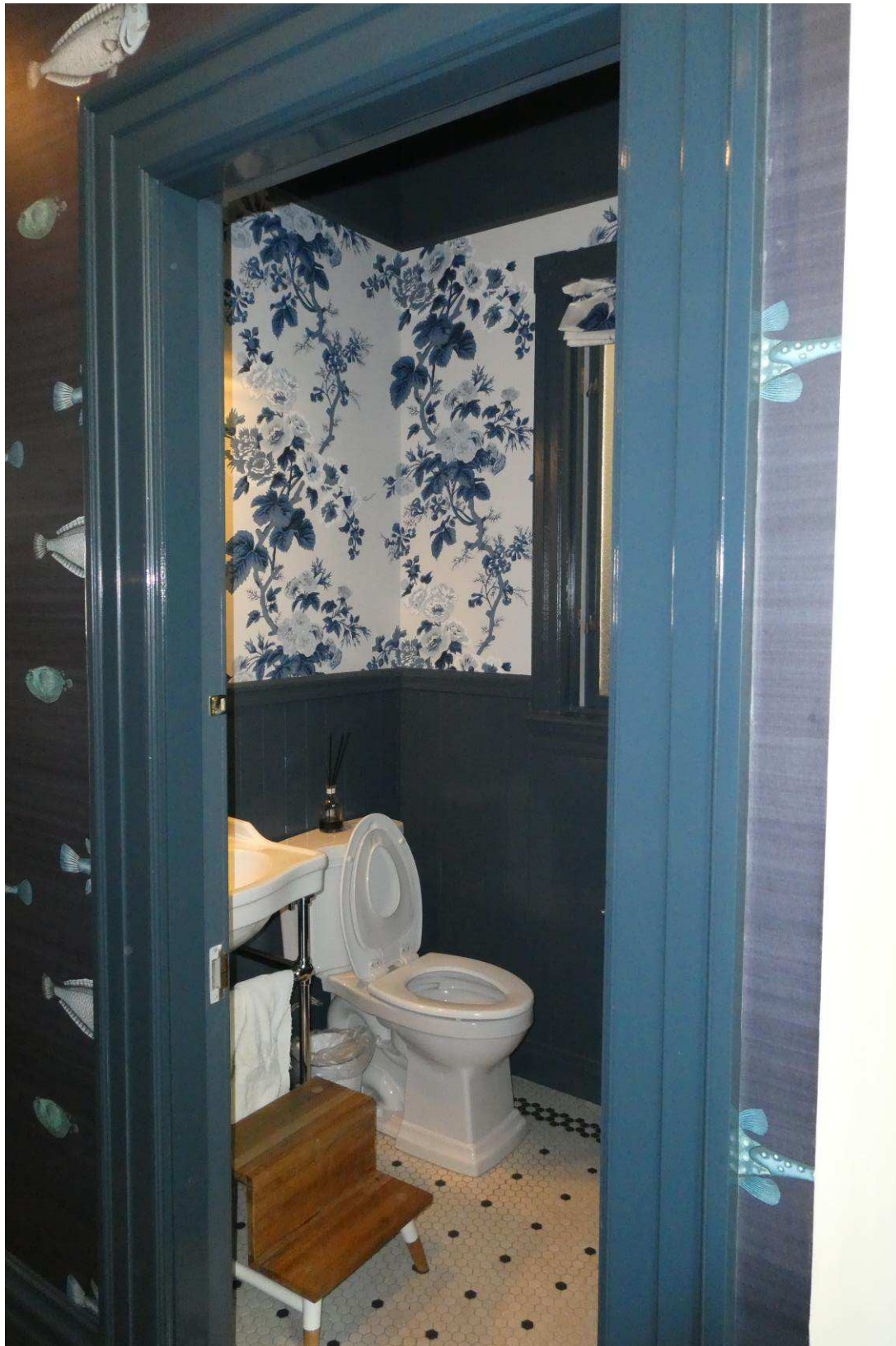


Figure 41. First-floor bathroom off the hallway, view northeast.



Figure 42. Kitchen, view southeast.





Figure 43. Kitchen, view southwest.



Figure 44. View looking north down stairs between first and second floors.



Figure 45. Detail of stair railing, view southwest.





Figure 46. Bedrooms on the second floor, view north.



Figure 47. Bedroom on west side of second floor, view northwest.





Figure 48. Bedroom on east side of second floor, view northeast.



Figure 49. Second-floor hallway, view southeast.



Figure 50. Seating room on east side of second floor, view southeast.





**Figure 51. View looking up at the third-floor stair landing and skylight.**





Figure 52. Third-floor stair landing, view northeast.



Figure 53. Den at rear of third floor, view southeast.

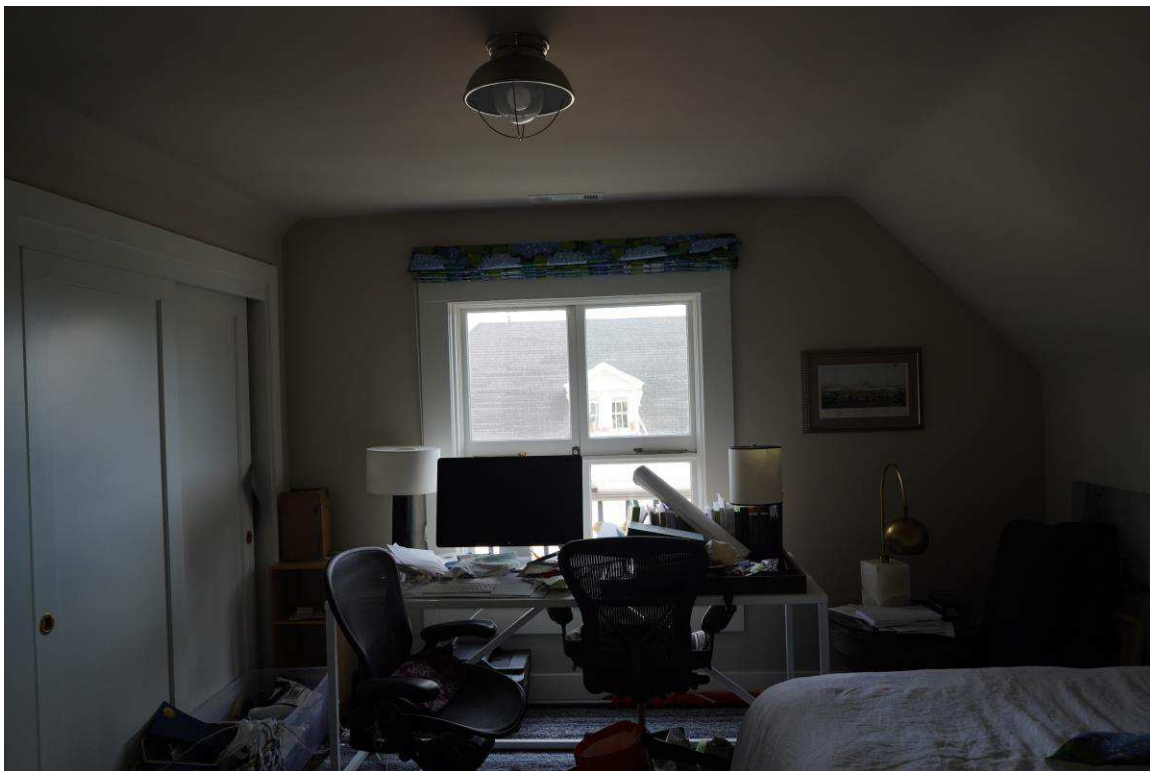
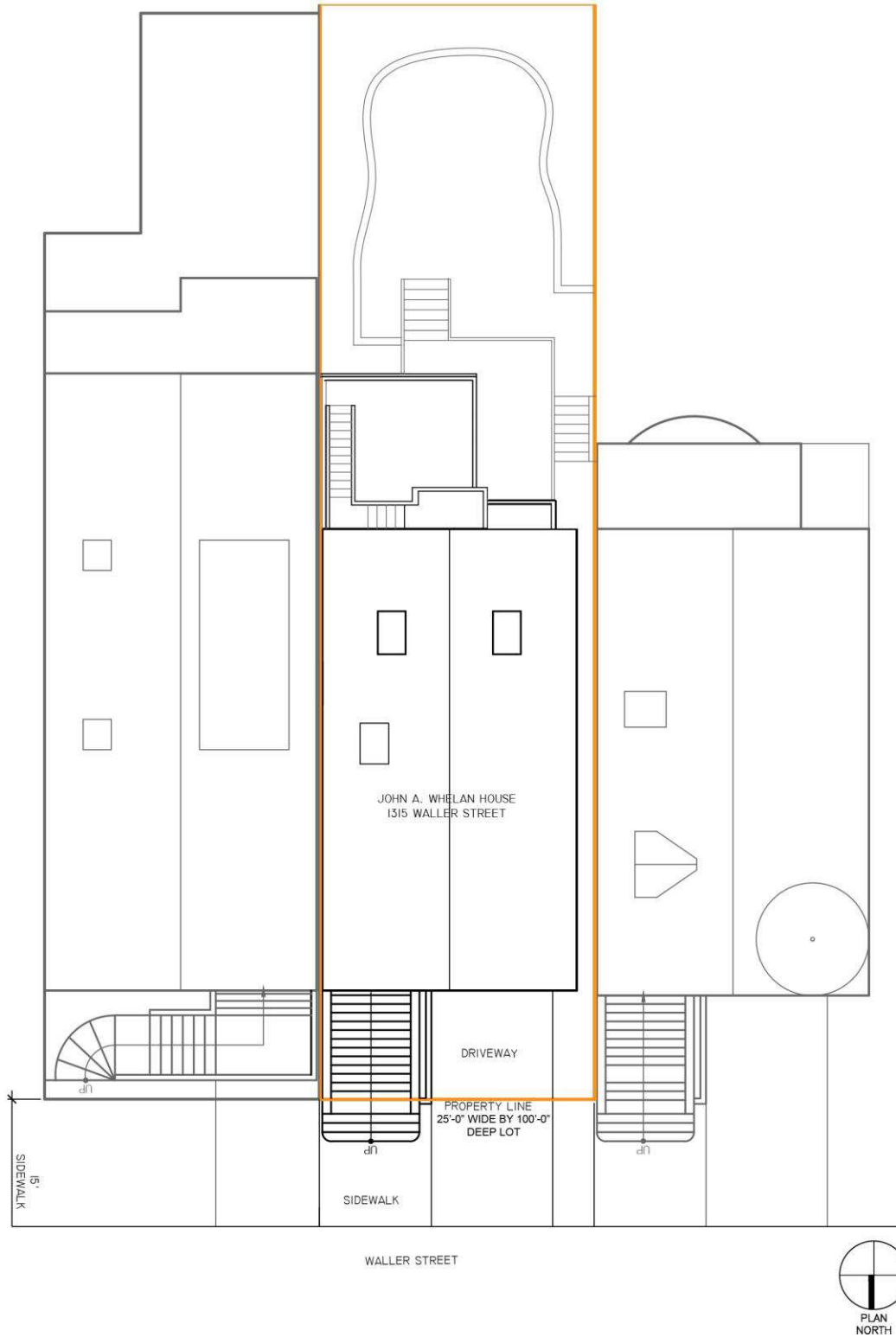


Figure 54. Office on third floor, view northwest.

## V. SITE PLAN



**VI. TAX BILL**



City & County of San Francisco  
José Cisneros, Treasurer  
David Augustine, Tax Collector  
Property Tax Bill (Secured)

1 Dr. Carlton B. Goodlett Place  
City Hall, Room 140  
San Francisco, CA 94102  
www.sftreasurer.org

For Fiscal Year July 1, 2019 through June 30, 2020

Vol 09	Block 1255	Lot 080	Tax Bill No 048288	Mail Date October 9, 2019	Property Location 1315 WALLER ST
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Assessed on January 1, 2019 at 12:01 am  
To: NAME WITHHELD PER CA AB 2238

**ADDRESS INFORMATION  
NOT AVAILABLE ONLINE**

Description	Assessed Value	
	Full Value	Tax Amount
Land	1,911,735	22,560.38
Structure	1,414,415	16,691.51
Fixtures		
Personal Property		
Gross Taxable Value	3,326,150	39,251.89
Less HO Exemption	7,000	82.60
Less Other Exemption		
<b>Net Taxable Value</b>	<b>3,319,150</b>	<b>\$39,169.28</b>

Direct Charges and Special Assessments			
Code	Type	Telephone	Amount Due
45	LWEA2018TAX	(415) 355-2203	309.52
46	SF BAY RS PARCEL TAX	(888) 508-8157	12.00
89	SFUSD FACILITY DIST	(415) 355-2203	38.28
91	SFCCD PARCEL TAX	(415) 487-2400	99.00
98	SF - TEACHER SUPPORT	(415) 355-2203	261.70
<b>Total Direct Charges and Special Assessments</b>			<b>\$720.50</b>

<b>▶ TOTAL DUE</b>	<b>\$39,889.78</b>
1st Installment	2nd Installment
\$19,944.89	\$19,944.89
DUE 12/10/2019	DUE 04/10/2020

Keep this portion for your records. See back of bill for payment options and additional information.



City & County of San Francisco  
Property Tax Bill (Secured)  
For Fiscal Year July 1, 2019 through June 30, 2020

Pay online at [www.sftreasurer.org](http://www.sftreasurer.org)

Vol 09	Block 1255	Lot 080	Tax Bill No 048288	Mail Date October 9, 2019	Property Location 1315 WALLER ST
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Check if contribution to Arts Fund is enclosed.  
For other donation opportunities go to [Give2SF.org](http://Give2SF.org)

Detach stub and return with your payment.  
Write your block and lot on your check.  
2nd installment cannot be accepted unless 1st is paid.

San Francisco Tax Collector  
Secured Property Tax  
P.O. Box 7426  
San Francisco, CA 94120-7426

**SECURED 2**

<b>▶ 2nd Installment Due</b>	<b>\$19,944.89</b>
------------------------------	--------------------

If paid or postmarked after APRIL 10, 2020  
the amount due (includes delinquent penalty of 10% and  
other applicable fees) is: \$21,984.37

091255008000 048288 00000000 00000000 0000 2003



City & County of San Francisco  
Property Tax Bill (Secured)  
For Fiscal Year July 1, 2019 through June 30, 2020

Pay online at [www.sftreasurer.org](http://www.sftreasurer.org)

Vol 09	Block 1255	Lot 080	Tax Bill No 048288	Mail Date October 9, 2019	Property Location 1315 WALLER ST
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Check if contribution to Arts Fund is enclosed.  
For other donation opportunities go to [Give2SF.org](http://Give2SF.org)

Detach stub and return with your payment.  
Write your block and lot on your check.  
If property has been sold, please forward bill to new owner.

San Francisco Tax Collector  
Secured Property Tax  
P.O. Box 7426  
San Francisco, CA 94120-7426

**SECURED 1**

<b>▶ 1st Installment Due</b>	<b>\$19,944.89</b>
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If paid or postmarked after DECEMBER 10, 2019  
the amount due (includes delinquent penalty of 10%) is:  
\$21,939.37

091255008000 048288 00000000 00000000 0000 1003





City & County of San Francisco  
José Cisneros, Treasurer  
David Augustine, Tax Collector  
Supplemental Property Tax Bill (Secured)  
FOR FISCAL YEAR JULY 1, 2018 THROUGH JUNE 30, 2019

1 Dr. Carlton B. Goodlett Place  
City Hall, Room 140  
San Francisco, CA 94102  
www.sftreasurer.org

Vol 09	Block 1255	Lot 080	Tax Bill No 811250	Mail Date 08/26/2019	Property Location 1315 WALLER ST
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Assessee: NAME WITHHELD PER CA AB 2238

**ADDRESS INFORMATION  
NOT AVAILABLE ONLINE**

<b>▶ TOTAL TAX DUE</b>		<b>\$590.22</b>
First Installment	Second Installment	
<b>\$295.11</b>	<b>\$295.11</b>	
<b>DUE</b> 12/10/2019	<b>DUE</b> 04/10/2020	

Assessed Value			
Description	New Base Year Value	Current Roll	Supplemental Assessment
Land	1,874,250	1,874,250	
Improvement. Structure	1,398,350	1,303,850	94,500
Less HO Exemption	7,000		7,000
Less Other Exemption			
<b>Assessed Value Total</b>	<b>3,265,600</b>	<b>3,178,100</b>	<b>87,500</b>

Supplemental assessment - see back for details

For The Period 11/08/2018 THROUGH 06/30/2019		
1.1630%	58%	Event Date 11/08/2018

Keep this portion for your records. See back of bill for payment options and additional information.



City & County of San Francisco  
Supplemental Property Tax Bill (Secured)  
FOR THE PERIOD 11/08/2018 THROUGH 06/30/2019

Pay online at [SFTREASURER.ORG](http://SFTREASURER.ORG)

Vol 09	Block 1255	Lot 080	Tax Bill No 811250	Mail Date 08/26/2019	Property Location 1315 WALLER ST
-----------	---------------	------------	-----------------------	-------------------------	-------------------------------------

Detach stub and return with payment.  
Write your block and lot on your check.  
2nd installment cannot be accepted unless 1st is paid.

<b>2nd Installment Due</b>
<b>\$295.11</b>

**2**

San Francisco Tax Collector  
Secured Supplemental Property Tax  
P.O. Box 7426  
San Francisco, CA 94120-7426

If paid or postmarked after  
the amount due (includes delinquent penalty of 10% and  
other applicable fees) is:  
**\$369.62**

**APRIL 10, 2020**

0912550008000 811250 000029511 000002951 042018 2503



City & County of San Francisco  
Supplemental Property Tax Bill (Secured)  
FOR THE PERIOD 11/08/2018 THROUGH 06/30/2019

Pay online at [SFTREASURER.ORG](http://SFTREASURER.ORG)

Vol 09	Block 1255	Lot 080	Tax Bill No 811250	Mail Date 08/26/2019	Property Location 1315 WALLER ST
-----------	---------------	------------	-----------------------	-------------------------	-------------------------------------

Detach stub and return with payment.  
Write your block and lot on your check.

<b>1st Installment Due</b>
<b>\$295.11</b>

**1**

San Francisco Tax Collector  
Secured Supplemental Property Tax  
P.O. Box 7426  
San Francisco, CA 94120-7426

If paid or postmarked after  
the amount due (includes delinquent penalty  
of 10%) is:  
**\$324.62**

**DECEMBER 10, 2019**

0912550008000 811250 000029511 000002951 121918 1503

ARCHITECTURE  
PLANNING & RESEARCH  
BUILDING TECHNOLOGY

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San Francisco, California 94108  
415.362.5154 / 415.362.5560 fax

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Sacramento, California 95816  
916.930.9903 / 916.930.9904 fax

417 S. Hill Street, Suite 211  
Los Angeles, California 90013  
213.221.1200 / 213.221.1209 fax



**ALL-PURPOSE ACKNOWLEDGMENT**

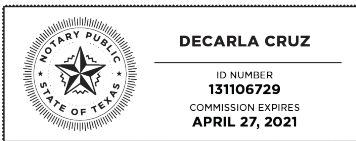
State/Commonwealth of TEXAS )  
 )  
 City  County of Denton )

On 05/01/2020 before me, DeCarla Cruz,  
*Date* *Notary Name*

personally appeared Aimee Leifer, Tjarko Zuri Leifer  
*Name(s) of Signer(s)*

- personally known to me -- **OR** --
- proved to me on the basis of the oath of \_\_\_\_\_ -- **OR** --  
*Name of Credible Witness*
- proved to me on the basis of satisfactory evidence: driver license  
*Type of ID Presented*

to be the individual(s) whose name(s) is (are) subscribed to the within instrument, and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies) and by proper authority, and that by his/her/their signature(s) on the instrument, the individual(s), or the person(s) or entity upon behalf of which the individual(s) acted, executed the instrument for the purposes and consideration therein stated.



WITNESS my hand and official seal.

Notary Public Signature: Decarla Cruz

Notary Name: Decarla Cruz

Notary Commission Number: 131106729

Notary Commission Expires: 04/27/2021

*Notarized online using audio-video communication*

Notarized online using audio-video communication

**DESCRIPTION OF ATTACHED DOCUMENT**

Title or Type of Document: Mills Act Historical Property Contract Application

Document Date: 05/01/2020 Number of Pages (w/ certificate): 138

Signer(s) Other Than Named Above: N/A

**Capacity(ies) Claimed by Signer(s)**

Signer's Name: Tjarko Leifer

Corporate Officer Title: \_\_\_\_\_

Partner –  Limited  General

Individual  Attorney in Fact

Trustee  Guardian of Conservator

Other: \_\_\_\_\_

Signer Is Representing: self

**Capacity(ies) Claimed by Signer(s)**

Signer's Name: Aimee Leifer

Corporate Officer Title: \_\_\_\_\_

Partner –  Limited  General

Individual  Attorney in Fact

Trustee  Guardian of Conservator

Other: \_\_\_\_\_

Signer Is Representing: self

## Exemption from Tax Assessment Value

If the property value exceeds the Tax Assessment Value, please explain below how the property meets the following two criteria and why it should be exempt from the Tax Assessment Value.

1. The site, building, or object, or structure is a particularly significant resource and represents an exceptional example of an architectural style, the work of a master, or is associated with the lives of significant persons or events important to local or natural history;

**Constructed in 1896 by shipwright and real estate developer John A. Whelan as his personal home, 1315 Waller Street is significant for its association with the pattern of residential development that characterized the Haight-Ashbury neighborhood at its peak in the late nineteenth century. With its dominant steeply gabled roof facing Waller Street and asymmetrical composition with a partial width front porch, canted bay windows, paired column supports, and abundance of richly patterned wall surfaces, 1315 Waller Street is also an exceptional example of the Queen Anne style of architecture as applied to a single-family house in the late nineteenth century in San Francisco.**

2. Granting the exemption will assist in the preservation of a site, building, or object, or structure that would otherwise be in danger of demolition, substantial alteration, or disrepair.

**Granting the exemption will aid in financing repairs, rehabilitation/restoration, and maintenance of the home that would otherwise be in danger of disrepair including: the historic decorative wood Queen Anne facade and wood-sided secondary facades, a deteriorated historic exterior door and garage doors at the primary facade, rehabilitation of the historic and replacement windows, the concrete/marble/wrought/cast iron entry stair including replacement of the plywood landing with a more appropriate stone/tile landing, and replacement of the roofing, flashings, and gutters/drains, and maintenance of the associated skylights.**

## Priority Consideration Criteria

Please check the appropriate criteria as they apply to your property and explain on a separate piece of paper how the property meets the stated Priority Consideration Criteria. Only properties qualifying in three of the five categories are given priority consideration.

**X Necessity:** The project will require a financial incentive to help ensure the preservation of the property. This criterion will establish that the property is in danger of deterioration and in need of substantial rehabilitation and restoration that has significant associated costs. Properties with open complaints, enforcement cases or violations will not meet this criterion.

**The Mills Act will allow the building owners to conduct work that will restore historic integrity to the building, including the rehabilitation of the missing entry landing and of the replacement second floor windows and existing historic windows, restoration of deteriorated doors and garage doors at the primary facade, as well as wood repair and painting of the home. It will also allow for replacement of the roofing that has reached the end of its useful life. This work will be infeasible without the financial incentive that the Mills Act offers.**

**X Investment:** The project will result in additional private investment in the property other than for routine maintenance. This may include seismic retrofitting and substantial rehabilitation and restoration work. This criterion will establish that the owner is committed to investing in the restoration, rehabilitation and maintenance the property.

**As stated under "Necessity," granting the Mills Act Contract will allow the building owners to invest in the home in a way that would otherwise be infeasible. The owners are very much committed to investing in the home as evidenced by the substantial loan they have taken already for major scopes such as seismic work (outside of the Mills Act application). The Mills Act will allow further investment into rehabilitation/restoration and maintenance and incentivize proper but costly rehabilitation and restoration that will contribute to preserving the home.**

**X Distinctiveness:** The project preserves a distinctive example of a property that is especially deserving of a contract due to its exceptional nature.

**Known colloquially as "Winter" because of the distinctive snowflake applique at the center of its front façade, 1315 Waller Street was constructed in 1896 by shipwright and real estate developer John A. Whelan as part of a row of four houses, now known as the Four Seasons, and as Whelan's personal home. The house has become a prominent visual landmark in the Haight-Ashbury neighborhood along with the other three Four Seasons Houses thanks to its playful and expressive decorative theme. An excellent example of a Queen Anne house, 1315 Waller Street exemplifies the pattern of residential development that characterized the Haight-Ashbury neighborhood at its peak in the late nineteenth century.**



**Exhibit A: Rehabilitation/ Restoration Plan**

				Description	Quantity	Unit	Rate	Sub	Markup	Total Cost (Current)	Total Cost Per Item	55.0% <= Markup
# 1	Building Feature: Waller Street - Entry Stair Landing			Remove existing plywood, preparation	8	HR	\$ 125.00	\$ 1,000	\$ 550	\$ 1,550	Sub Total Before Escalation =>	5.0% <= Escalation per year
Rehab/Restoration	Maintenance	Completed	Proposed	Install new marble/ tile TBD	60	SF	\$ 85.00	\$ 5,100	\$ 2,805	\$ 7,905		
Contract Year for Work Completion: 2023				Waterproof subfloor	60	SF	\$ 30.00	\$ 1,800	\$ 990	\$ 2,790		
Total Cost (rounded to nearest dollar): \$12,245							\$ -	\$ -	\$ -	\$ -		
Description of Work:				Escalate to 2023	1	LS	\$ 1,836.75	\$ 1,837	\$ 1,010	\$ 2,847		
Replace exposed plywood landing at the front door entry with appropriate marble/stone/tile mosaic flooring and waterproofing at landing. New front landing will be compatible to the historic building and conform to the Secretary of the Interior's Standards for Treatment of Historic Properties.												
<b>Total with Escalation =&gt;</b>											<b>\$15,091.96</b>	
# 2	Building Feature: Waller Street - Front Entry Stairs			Clean stair case.	32	HR	\$ 125.00	\$ 4,000	\$ 2,200	\$ 6,200	Sub Total Before Escalation =>	
Rehab/Restoration	Maintenance	Completed	Proposed	Repair stone	40	HR	\$ 125.00	\$ 5,000	\$ 2,750	\$ 7,750		
Contract Year for Work Completion: 2023				Allow for new material	1	LS	\$ 1,500.00	\$ 1,500	\$ 825	\$ 2,325		
Total Cost (rounded to nearest dollar): \$17,515				Water repellent treatment	8	HR	\$ 100.00	\$ 800	\$ 440	\$ 1,240		\$ 17,515
Description of Work:				Escalate to 2023	1	LS	\$ 2,627.25	\$ 2,627	\$ 1,445	\$ 4,072		
Clean staining, soiling, biological growth, and discoloration at marble entry stair and concrete base landing/steps. Repair stone, including wear, chips, and cracks as needed. All work will comply with the National Park Service's Preservation Brief #1: Cleaning and Water-Repellent Treatments for Historic Masonry Buildings. All work will conform to the Secretary of the Interior's Standards for Treatment of Historic Properties.												
<b>Total with Escalation =&gt;</b>											<b>\$21,587.24</b>	
# 3	Building Feature: Entry Stair Iron Handrail & Concrete Base			Prepare, prime and paint handrail	32	HR	\$ 95.00	\$ 3,040	\$ 1,672	\$ 4,712	Sub Total Before Escalation =>	
Rehab/Restoration	Maintenance	Completed	Proposed	Remove, prepare, prime and paint masonry	32	HR	\$ 100.00	\$ 3,200	\$ 1,760	\$ 4,960		
Contract Year for Work Completion: 2023 and Every 7-10 years as Needed							\$ -	\$ -	\$ -	\$ -		
Total Cost (rounded to nearest dollar): \$9,672							\$ -	\$ -	\$ -	\$ -		\$ 9,672
Description of Work:				Escalate to 2023	1	LS	\$ 1,450.80	\$ 1,451	\$ 798	\$ 2,249		
Treat corrosion at handrails and prepare, prime, and paint with appropriate rust inhibitive metal paint. At the concrete base of the rail/side walls, remove paint and clean concrete substrate (taking care not to use acidic cleaners near the marble steps) or prepare, prime, and repaint with appropriate breathable masonry paint. Work will comply with the National Park Service's Preservation Brief #27: The Maintenance and Repair of Architectural Cast Iron and Preservation Brief #15: Preservation of Historic Concrete. Work will conform to the Secretary of the Interior's Standards for Treatment of Historic Properties.												
<b>Total with Escalation =&gt;</b>											<b>\$11,920.74</b>	

**Exhibit A: Rehabilitation/ Restoration Plan**

#	Building Feature	Description	Quantity	Unit	Rate	Sub	Markup	Total Cost (Current)	Total Cost Per Item	55.0% <= Markup	
# 4	Building Feature: Waller Street Façade - Painting	Façade wood repair, sealing etc.	160	HR	\$ 95.00	\$ 15,200	\$ 8,360	\$ 23,560	Sub Total Before Escalation =>		
Rehab/Restoration	Maintenance	Completed	Proposed	320	HR	\$ 95.00	\$ 30,400	\$ 16,720		\$ 47,120	
Contract Year for Work Completion: 2023 and Every 7-10 years as Needed						\$ -	\$ -	\$ -		\$ -	
Total Cost (rounded to nearest dollar): \$70,680						\$ -	\$ -	\$ -	\$ 70,680		
Description of Work:		Escalate to 2023	1	LS	\$ 17,670.00	\$ 17,670	\$ 9,719	\$ 27,389			
<p>It appears the façade was last repainted sometime before 2008. Assess and inspect the facade for wood damage or deterioration, and repair as needed, including patching holes and sealing gaps at the garage sconce escutcheons. Any needed repairs will avoid altering, removing or obscuring character-defining features of the building, and elements determined to be damaged or deteriorated beyond repair will be replaced in-kind (e.g., wood for wood). Prepare, prime, and paint with appropriate paint, including windows - (see Rehabilitation/Restoration Item 5 for detail at windows and Item 6 for detail at doors). Install new sealants every paint cycle at flashings and where occurs as needed. All work will comply with the National Park Service's Preservation Brief #10: Exterior Paint Problems on Historic Woodwork. All work will conform to the Secretary of the Interior's Standards for Treatment of Historic Properties.</p>											
									<b>Total with Escalation =&gt;</b>	<b>\$98,068.50</b>	

#	Building Feature	Description	Quantity	Unit	Rate	Sub	Markup	Total Cost (Current)	Total Cost Per Item	55.0% <= Markup	
# 5	Building Feature: Waller Street Façade - Windows	Repair missing wood/ hardware	104	HR	\$ 95.00	\$ 9,880	\$ 5,434	\$ 15,314	Sub Total Before Escalation =>		
Rehab/Restoration	Maintenance	Completed	Proposed	52	HR	\$ 95.00	\$ 4,940	\$ 2,717		\$ 7,657	
Contract Year for Work Completion: 2023		Rehab weather stripping	26	HR	\$ 95.00	\$ 2,470	\$ 1,359	\$ 3,829		\$ 3,829	
Total Cost (rounded to nearest dollar): \$84,925		Replace windows	5	EA	\$ 7,500.00	\$ 37,500	\$ 20,625	\$ 58,125	\$ 84,925		
Description of Work:		Escalate to 2023	1	LS	\$ 12,738.68	\$ 12,739	\$ 7,006	\$ 19,745			
<p>Rehabilitate wood windows. Repair/maintain hardware for operation where applicable. Prepare, prime, and paint all wood and putty with appropriate paint. Consider installation of appropriate weather-stripping. At first floor original windows, consider restoring operability to windows that are not operable. Repair deteriorated wood where found and replace all unsound/deteriorated/missing glazing putty as needed. At second floor non-historic (but compatible) double-paned insert windows, rehabilitate to improve weather- stripping/poor performance and deteriorated sash tracks or consider replacing with new wood sash to match the original appearance. At attic window, rehabilitate or replace attic window with appropriate compatible wood window (based on further research and site investigation) to resolve soundness of window and weather-tightness. All work will comply with the National Park Service's Preservation Brief #9: The Repair of Historic Wooden Windows and Preservation Brief #47: Maintaining the Exterior of Small and Medium Size Historic Buildings. All work will conform to the Secretary of the Interior's Standards for Treatment of Historic Properties.</p>											
									<b>Total with Escalation =&gt;</b>	<b>\$104,669.45</b>	

**Exhibit A: Rehabilitation/ Restoration Plan**

Exhibit A: Rehabilitation/ Restoration Plan				Description	Quantity	Unit	Rate	Sub	Markup	Total Cost (Current)	Total Cost Per Item	55.0% <= Markup
# 6	Building Feature: Waller Street Doors			Repair missing wood/ hardware	80	HR	\$ 95.00	\$ 7,600	\$ 4,180	\$ 11,780	Sub Total Before Escalation ⇓	
Rehab/Restoration	Maintenance	Completed	Proposed	Prepare, prime and paint	50	HR	\$ 95.00	\$ 4,750	\$ 2,613	\$ 7,363		
Contract Year for Work Completion: 2023												
Total Cost (rounded to nearest dollar): \$19,143												
Description of Work:				Escalate to 2023	1	LS	\$ 2,871.38	\$ 2,871	\$ 1,579	\$ 4,451		

Rehabilitate and maintain doors, including hardware to keep in good working order. Prepare, prime, and paint with appropriate paint. At garage doors and side (trade hall) door, treat deterioration, including checks/splits, and deterioration at joints of stiles and rails. Clean and maintain glass lites at garage doors. All work will comply with the National Park Service's Preservation Brief #47: Maintaining the Exterior of Small and Medium Size Historic Buildings. All work will conform to the Secretary of the Interior's Standards for Treatment of Historic Properties.

**Total with Escalation => \$23,593.13**

# 7	Building Feature: Main Roof			Strip and replace existing shingle roof	1,500	SF	\$ 12.50	\$ 18,750	\$ 10,313	\$ 29,063	Sub Total Before Escalation ⇓	
Rehab/Restoration	Maintenance	Completed	Proposed	Repair, paint flashings, sealant joints	48	HR	\$ 95.00	\$ 4,560	\$ 2,508	\$ 7,068		
Contract Year for Work Completion: 2025												
Total Cost (rounded to nearest dollar): \$47,043												
Description of Work:				Escalate to 2025	1	LS	\$ 11,760.63	\$ 11,761	\$ 6,468	\$ 18,229		

The roofing at the main roof appears to have been replaced in 1993. Inspect main roof and replace existing shingle roofing with new shingle roofing. Repair or replace related flashing, waterproofing, and gutters as needed. Inspect gutters and downspouts, including copper gutters, and repair or replace as needed in conjunction with roofing work. Work shall be done in accordance with the National Park Service's Preservation Brief #4: Roofing for Historic Buildings and Preservation Brief #47: Maintaining the Exterior of Small and Medium Size Historic Buildings. All work will conform to the Secretary of the Interior's Standards for Treatment of Historic Properties.

**Total with Escalation => \$65,271.47**

**Exhibit A: Rehabilitation/ Restoration Plan**

Exhibit A: Rehabilitation/ Restoration Plan				Description	Quantity	Unit	Rate	Sub	Markup	Total Cost (Current)	Total Cost Per Item	55.0% <= Markup
# 8	Building Feature: Rear/ South Façade - Wood Repair			Investigate bulge/ struct., contractor, AE	24	HR	\$ 150.00	\$ 3,600	\$ 1,980	\$ 5,580	Sub Total Before Escalation	
Rehab/Restoration	Maintenance	Completed	Proposed	Repair and match siding as needed - allow	54	SF	\$ 75.00	\$ 4,050	\$ 2,228	\$ 6,278		
Contract Year for Work Completion: 2027				Prime and paint siding	24	HR	\$ 95.00	\$ 2,280	\$ 1,254	\$ 3,534		
Total Cost (rounded to nearest dollar): \$15,392							\$ -	\$ -	\$ -	\$ -		\$ 15,392
Description of Work:				Escalate to 2027	1	LS	\$ 5,387.03	\$ 5,387	\$ 2,963	\$ 8,350		

Investigate bulged/split siding at the west kitchen window and bulged siding and split eave board at the top of the south kitchen wall. Correct deficiencies and ensure weather-tightness as needed. Repair or replace siding to match existing as needed. Prepare, prime, and paint with appropriate paint. All work will comply with the National Park Service's Preservation Brief #47: Maintaining the Exterior of Small and Medium Size Historic Buildings and National Park Service's Preservation Brief #10: Exterior Paint Problems on Historic Woodwork. All work will conform to the Secretary of the Interior's Standards for Treatment of Historic Properties.

**Total with Escalation => \$23,741.39**

# 9	Building Feature: Rear/ South Façade - Painting			Investigate for damage	8.0	HR	\$ 125.00	\$ 1,000	\$ 550	\$ 1,550	Sub Total Before Escalation	
Rehab/Restoration	Maintenance	Completed	Proposed	Repair and match siding as needed - allow	100	SF	\$ 25.00	\$ 2,500	\$ 1,375	\$ 3,875		
Contract Year for Work Completion: 2027				Prime and paint siding, doors, windows	1,350	SF	\$ 7.50	\$ 10,125	\$ 5,569	\$ 15,694		
Total Cost (rounded to nearest dollar): \$23,444				New sealants, flashing	1	LS	\$ 1,500.00	\$ 1,500	\$ 825	\$ 2,325		\$ 23,444
Description of Work:				Escalate to 2027	1	LS	\$ 8,205.31	\$ 8,205	\$ 4,513	\$ 12,718		

Assess and inspect the facades for wood damage or deterioration, and repair as needed. Repair checked/split wood siding. Prepare, prime, and paint with appropriate paint, including windows and doors - (see Rehabilitation/Restoration Item #8 for detail at wood siding). Install new sealants every paint cycle at flashings and where occurs as needed. All work will comply with the National Park Service's Preservation Brief #10: Exterior Paint Problems on Historic Woodwork. All work will conform to the Secretary of the Interior's Standards for Treatment of Historic Properties.

**Total with Escalation => \$36,161.98**



**Exhibit A: Rehabilitation/ Restoration Plan**

#	Building Feature: Secondary Side Elevations - Painting	Description	Quantity	Unit	Rate	Sub	Markup	Total Cost (Current)	Total Cost Per Item	55.0% <= Markup	
# 10		Investigate for damage	4.0	HR	\$ 125.00	\$ 500	\$ 275	\$ 775	Sub Total Before Escalation =>		
Rehab/Restoration	Maintenance	Completed	Proposed	Repair and match siding as needed - allow	100	SF	\$ 25.00	\$ 2,500		\$ 1,375	\$ 3,875
Contract Year for Work Completion: 2029		Prime and paint siding, doors, windows	4,620	SF	\$ 7.50	\$ 34,650	\$ 19,058	\$ 53,708			
Total Cost (rounded to nearest dollar): \$58,358						\$ -	\$ -	\$ -		\$ 58,358	
Description of Work:		Escalate to 2029	1	LS	\$ 26,260.88	\$ 26,261	\$ 14,443	\$ 40,704			
Assess and inspect the facades for wood damage or deterioration, and repair as needed. Repair checked/split wood siding. Patch holes at abandoned mechanical conduits/ducts as needed. Prepare, prime, and paint with appropriate paint, including windows - (see Rehabilitation/Restoration Item 5 for detail at windows). Install new sealants every paint cycle at flashings and where occurs as needed. All work will comply with the National Park Service's Preservation Brief #10: Exterior Paint Problems on Historic Woodwork. All work will conform to the Secretary of the Interior's Standards for Treatment of Historic Properties.											
<b>Total with Escalation =&gt;</b>									<b>\$99,061.86</b>		

#	Building Feature: Secondary Side Elevations - Windows	Description	Quantity	Unit	Rate	Sub	Markup	Total Cost (Current)	Total Cost Per Item	55.0% <= Markup	
# 11		Investigate for damage	4.0	HR	\$ 125.00	\$ 500	\$ 275	\$ 775	Sub Total Before Escalation =>		
Rehab/Restoration	Maintenance	Completed	Proposed	Repair wood, putty and hardware	24	HR	\$ 95.00	\$ 2,280		\$ 1,254	\$ 3,534
Contract Year for Work Completion: 2029		Prime and paint windows	16	SF	\$ 95.00	\$ 1,520	\$ 836	\$ 2,356			
Total Cost (rounded to nearest dollar): \$24,490		New sealants, flashing, weatherstripping	1	LS	\$ 1,500.00	\$ 1,500	\$ 825	\$ 2,325			
Description of Work:		Window replace allow	2	EA	\$ 5,000.00	\$ 10,000	\$ 5,500	\$ 15,500	\$ 24,490		
During painting work access, assess wood condition and repair deteriorated wood where found and replace all unsound/deteriorated/missing glazing putty as needed. Repair/maintain hardware for operation where applicable. Prepare, prime, and paint all wood and putty. Consider installation of appropriate weatherstripping. At the east lightwell non-historic wood casement windows, replace Plexiglas with glass, and consider installation of appropriate weatherstripping. Alternatively, consider appropriate replacement windows. All work will comply with the National Park Service's Preservation Brief #47: Maintaining the Exterior of Small and Medium Size Historic Buildings. All work will conform to the Secretary of the Interior's Standards for Treatment of Historic Properties.											
		Escalate to 2029	1	LS	\$ 11,020.50	\$ 11,021	\$ 6,061	\$ 17,082			
<b>Total with Escalation =&gt;</b>									<b>\$41,571.78</b>		

**Exhibit A: Rehabilitation/ Restoration Plan**

#	Building Feature	Description	Quantity	Unit	Rate	Sub	Markup	Total Cost (Current)	Total Cost Per Item	55.0% <= Markup
# 12	Roofing Over Kitchen	Investigate for damage	4.0	HR	\$ 125.00	\$ 500	\$ 275	\$ 775		
Rehab/Restoration	Maintenance	Completed	Proposed	Remove and replace roofing	500	SF	\$ 35.00	\$ 17,500	\$ 9,625	\$ 27,125
Contract Year for Work Completion: 2031				Waterproofing, guardrail repair	8	HR	\$ 95.00	\$ 760	\$ 418	\$ 1,178
Total Cost (rounded to nearest dollar): \$33,728				New sealants, flashing	1	LS	\$ 3,000.00	\$ 3,000	\$ 1,650	\$ 4,650
Description of Work:							\$ -	\$ -	\$ -	\$ -
Inspect roofing, and replace roofing at deck area over kitchen. Ensure waterproofing at guard rail penetrations/anchorage including repairing wood guardrail as needed. Ensure roof is sloped to drain properly to adjacent gutter. Inspect gutters and downspouts, including copper gutters, and repair or replace as needed in conjunction with roofing work. Work shall be done in accordance with the National Park Service's Preservation Brief #4: Roofing for Historic Buildings and Preservation Brief #47: Maintaining the Exterior of Small and Medium Size Historic Buildings. All work will conform to the Secretary of the Interior's Standards for Treatment of Historic Properties.				Escalate to 2031	1	LS	\$ 18,550.40	\$ 18,550	\$ 10,203	\$ 28,753
									Sub Total Before Escalation =>	\$ 33,728
									<b>Total with Escalation =&gt;</b>	<b>\$62,481.12</b>

**Exhibit B: Maintenance Plan**

				Description	Quantity	Unit	Rate	Sub	Markup	Total Cost (Current)	Total Cost Per Item	55.0% <= Markup
# 1	Building Feature: Front Entry Stairs - Visual Inspection			Inspect and repair as noted	8	HR	\$ 125.00	\$ 1,000	\$ 550	\$ 1,550	Sub Total Before Escalation =>	5.0% <= Escalation per year
Rehab/Restoration	Maintenance	Completed	Proposed					\$ -	\$ -			
Contract Year for Work Completion: 2021 and annually thereafter								\$ -	\$ -			
Total Cost (rounded to nearest dollar): \$15,500								\$ -	\$ -	\$ -	\$ 1,550	
Description of Work:				Escalate to 2026 midpoint	1	LS	\$ 465.00	\$ 465	\$ 256	\$ 721	\$ 2,271	<= Subtotal per year
Perform visual inspection of concrete and marble main entry stair with metal railings and marble/stone/tile landing annually for paint and sealant failure, wood deterioration, metal railing deterioration, and other signs of deterioration. Assess adjacent bush/vegetation and maintain/trim to prevent building damage; consider a planting support system that keeps the plant from attaching to the adjacent historic materials. Repair as needed. If any damage or deterioration is found, the extent and nature of the damage will be assessed. Any needed repairs will avoid altering, removing or obscuring character-defining features of the building. If any elements are determined to be damaged or deteriorated beyond repair, replacements will be made in kind (e.g., wood for wood). Work shall be done in accordance with the National Park Service's Preservation Brief #47: Maintaining the Exterior of Small and Medium Size Historic Buildings and National Park Service's Preservation Brief #1: Cleaning and Water-Repellent Treatments for Historic Masonry Buildings.												
Years =>					10	YR					Total =>	\$15,500.00
Years =>					10	YR					Total with Escalation =>	\$22,707.50
# 2	Building Feature: Facades - Visual Inspection			Inspect and repair as noted	12	HR	\$ 125.00	\$ 1,500	\$ 825	\$ 2,325	Sub Total Before Escalation =>	
Rehab/Restoration	Maintenance	Completed	Proposed					\$ -	\$ -			
Contract Year for Work Completion: 2021 and annually thereafter								\$ -	\$ -			
Total Cost (rounded to nearest dollar): \$23,250								\$ -	\$ -	\$ -	\$ 2,325	
Description of Work:				Escalate to 2026 midpoint	1	LS	\$ 697.50	\$ 698	\$ 384	\$ 1,081	\$ 3,406	<= Subtotal per year
Perform visual inspection of facades, including wood siding and decorative trim, metal work and flashings, sealant failure, and other signs of deterioration. Repair as needed. If any damage or deterioration is found, the extent and nature of the damage will be assessed. Any needed repairs will avoid altering, removing or obscuring character-defining features of the building. If any elements are determined to be damaged or deteriorated. Beyond repair, replacements will be made in kind (e.g., wood for wood). Work shall be done in accordance with the National Park Service's Preservation Brief #47: Maintaining the Exterior of Small and Medium Size Historic Buildings and National Park Service's Preservation Brief #10: Exterior Paint Problems on Historic Woodwork.												
Years =>					10	YR					Total =>	\$23,250.00
Years =>					10	YR					Total with Escalation =>	\$34,061.25

**Exhibit B: Maintenance Plan**

				Description	Quantity	Unit	Rate	Sub	Markup	Total Cost (Current)	Total Cost Per Item	55.0% <= Markup
# 3	Building Feature: Windows and Doors - Visual Inspection			Inspect and repair as noted	12	HR	\$ 125.00	\$ 1,500	\$ 825	\$ 2,325	Sub Total Before Escalation =>	
Rehab/Restoration	Maintenance	Completed	Proposed				\$ -	\$ -	\$ -	\$ -		
Contract Year for Work Completion: 2021 and annually thereafter							\$ -	\$ -	\$ -	\$ -		
Total Cost (rounded to nearest dollar): \$23,250							\$ -	\$ -	\$ -	\$ -	\$ 2,325	
Description of Work:				Escalate to 2026 midpoint	1	LS	\$ 697.50	\$ 698	\$ 384	\$ 1,081	\$ 3,406	<= Subtotal per year
Perform visual inspection of wood windows and doors (including main entry door, garage doors, and side/trade hall doors at Waller St.) with binoculars, spotting scope, or similar as needed annually for paint, putty, and sealant failure as well as wood and other signs of deterioration. Assess hardware, window sash cords, window function, lubricate hardware, etc. Repair as needed. Any needed repairs will avoid altering, removing or obscuring character-defining features of the building. If any elements are determined to be damaged or deteriorated. Beyond repair, replacements will be made in kind (e.g., wood for wood). Work shall be done in accordance with the National Park Service's Preservation Brief #47: Maintaining the Exterior of Small and Medium Size Historic Buildings and Preservation Brief #9: The Repair of Historic Wooden Windows.												
				Years =>	10	YR					Total =>	\$23,250.00
				Years =>	10	YR					Total with Escalation =>	\$34,061.25
# 4	Building Feature: Waller St. Façade - Cleaning			Soft wash, clean facades	8	HR	\$ 125.00	\$ 1,000	\$ 550	\$ 1,550	Sub Total Before Escalation =>	
Rehab/Restoration	Maintenance	Completed	Proposed				\$ -	\$ -	\$ -	\$ -		
Contract Year for Work Completion: 2025 and every 2 years thereafter							\$ -	\$ -	\$ -	\$ -		
Total Cost (rounded to nearest dollar): \$6,200							\$ -	\$ -	\$ -	\$ -	\$ 1,550	
Description of Work:				Escalate to 2028	1	LS	\$ 620.00	\$ 620	\$ 341	\$ 961	\$ 2,511	<= Subtotal per year
Soft-wash/gently clean with mild detergent and low pressure rinsing/hand wiping to maintain appearance and prolong life of paint as recommended by paint manufacturer. Work shall be done in accordance with the National Park Service's Preservation Brief #47: Maintaining the Exterior of Small and Medium Size Historic Buildings.												
				Years =>	4	YR					Total =>	\$6,200.00
				Years =>	4	YR					Total with Escalation =>	\$10,044.00
# 5	Building Feature: Roof (Main & Roof Over Kitchen)			Inspect and repair as noted	8	HR	\$ 125.00	\$ 1,000	\$ 550	\$ 1,550	Sub Total Before Escalation =>	
Rehab/Restoration	Maintenance	Completed	Proposed				\$ -	\$ -	\$ -	\$ -		
Contract Year for Work Completion: 2021 and annually thereafter							\$ -	\$ -	\$ -	\$ -		
Total Cost (rounded to nearest dollar): \$15,500							\$ -	\$ -	\$ -	\$ -	\$ 1,550	
Description of Work:				Escalate to 2026 midpoint	1	LS	\$ 465.00	\$ 465	\$ 256	\$ 721	\$ 2,271	<= Subtotal per year
Inspect roofing for defects and deterioration annually, including associated flashing and sealants (and skylights at the main roof). Repair as needed. Any needed repairs will avoid altering, removing or obscuring character-defining features of the building. If any elements are determined to be damaged or deteriorated. Beyond repair, replacements will be made in kind (e.g., wood for wood). Work shall be done in accordance with the National Park Service's Preservation Brief #47: Maintaining the Exterior of Small and Medium Size Historic Buildings.												
				Years =>	10	YR					Total =>	\$15,500.00
				Years =>	10	YR					Total with Escalation =>	\$22,707.50



**Exhibit B: Maintenance Plan**

# 6		Building Feature: Roof Gutters and Downspouts		Description
Rehab/Restoration	Maintenance	Completed	Proposed	Inspect and repair as noted

Contract Year for Work Completion: 2021 and annually thereafter

Total Cost (rounded to nearest dollar): \$15,500

**Description of Work:**

Inspect and clean all roof gutters, drains and downspouts annually. Repair as needed. Any needed repairs will avoid altering, removing or obscuring character-defining features of the building. If any elements are determined to be damaged or deteriorated. Beyond repair, replacements will be made in kind (e.g., wood for wood). Work shall be done in accordance with the National Park Service's Preservation Brief #47: Maintaining the Exterior of Small and Medium Size Historic Buildings.

Escalate to 2026 midpoint

Years =>

Quantity	Unit	Rate	Sub	Markup	Total Cost (Current)	Total Cost Per Item	55.0% <= Markup
8	HR	\$ 125.00	\$ 1,000	\$ 550	\$ 1,550	Sub Total Before Escalation =>	
			\$ -	\$ -	\$ -		\$ 1,550
1	LS	\$ 465.00	\$ 465	\$ 256	\$ 721	\$ 2,271	<= Subtotal per year
						<b>Total =&gt;</b>	<b>\$15,500.00</b>
						<b>Total with Escalation =&gt;</b>	<b>\$22,707.50</b>

Years =>