

File No. 180987

Committee Item No. 5

Board Item No. \_\_\_\_\_

## COMMITTEE/BOARD OF SUPERVISORS

### AGENDA PACKET CONTENTS LIST

Committee: Government Audit and Oversight

Date: November 7, 2018

Board of Supervisors Meeting:

Date: \_\_\_\_\_

#### Cmte Board

- |                                     |                          |  |
|-------------------------------------|--------------------------|--|
| <input type="checkbox"/>            | <input type="checkbox"/> | Motion                                       |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | Resolution                                   |
| <input type="checkbox"/>            | <input type="checkbox"/> | Ordinance                                    |
| <input type="checkbox"/>            | <input type="checkbox"/> | Legislative Digest                           |
| <input type="checkbox"/>            | <input type="checkbox"/> | Budget and Legislative Analyst Report        |
| <input type="checkbox"/>            | <input type="checkbox"/> | Youth Commission Report                      |
| <input type="checkbox"/>            | <input type="checkbox"/> | Introduction Form                            |
| <input type="checkbox"/>            | <input type="checkbox"/> | Department/Agency Cover Letter and/or Report |
| <input type="checkbox"/>            | <input type="checkbox"/> | MOU  |
| <input type="checkbox"/>            | <input type="checkbox"/> | Grant Information Form                       |
| <input type="checkbox"/>            | <input type="checkbox"/> | Grant Budget                                 |
| <input type="checkbox"/>            | <input type="checkbox"/> | Subcontract Budget                           |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | Contract/Agreement                           |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | Form 126 – Ethics Commission                 |
| <input type="checkbox"/>            | <input type="checkbox"/> | Award Letter                                 |
| <input type="checkbox"/>            | <input type="checkbox"/> | Application                                  |
| <input type="checkbox"/>            | <input type="checkbox"/> | Public Correspondence                        |

#### OTHER

- |                                     |                          |  |
|-------------------------------------|--------------------------|--|
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <u>Case Report - 2018 Mills Act Applications</u> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <u>HPC Reso. No. 993 - October 3, 2018</u>       |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <u>Rehabilitation and Maintenance Plans</u>      |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <u>Assessor's Mills Act Valuation</u>            |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <u>Mills Act Application Documents</u>           |

Prepared by: John Carroll

Date: November 2, 2018

Prepared by: \_\_\_\_\_

Date: \_\_\_\_\_

1 [Mills Act Historical Property Contract - 354-356 San Carlos Street].  
2

3 **Resolution approving an historical property contract between Joyjit and Preetha Nath,**  
4 **the owners of 354-356 San Carlos Street, and the City and County of San Francisco,**  
5 **under Administrative Code, Chapter 71; and authorizing the Planning Director and the**  
6 **Assessor-Recorder to execute and record the historical property contract.**  
7

8 WHEREAS, The California Mills Act (Government Code, Section 50280 et seq.)  
9 authorizes local governments to enter into a contract with the owners of a qualified historical  
10 property who agree to rehabilitate, restore, preserve, and maintain the property in return for  
11 property tax reductions under the California Revenue and Taxation Code; and

12 WHEREAS, The Planning Department has determined that the actions contemplated in  
13 this Resolution comply with the California Environmental Quality Act (California Public  
14 Resources Code, Sections 21000 et seq.), and

15 WHEREAS, Said determination is on file with the Clerk of the Board of Supervisors in  
16 File No. 180987, is incorporated herein by reference, and the Board herein affirms it; and

17 WHEREAS, San Francisco contains many historic buildings that add to its character  
18 and international reputation and that have not been adequately maintained, may be  
19 structurally deficient, or may need rehabilitation, and the costs of properly rehabilitating,  
20 restoring, and preserving these historic buildings may be prohibitive for property owners; and

21 WHEREAS, Administrative Code, Chapter 71 was adopted to implement the provisions  
22 of the Mills Act and to preserve these historic buildings; and

23 WHEREAS, 354-356 San Carlos Street is designated as a Contributor to the Liberty  
24 Hill Historic District under Article 10 of the Planning Code and thus qualifies as an historical  
25 property as defined in Administrative Code, Section 71.2; and

1           WHEREAS, A Mills Act application for an historical property contract has been  
2 submitted by Joyjit & Preetha Nath, the owners of 354-356 San Carlos Street, detailing  
3 rehabilitation work and proposing a maintenance plan for the property; and

4           WHEREAS, As required by Administrative Code, Section 71.4(a), the application for  
5 the historical property contract for 354-356 San Carlos Street was reviewed by the Assessor's  
6 Office and the Historic Preservation Commission; and

7           WHEREAS, The Assessor-Recorder has reviewed the historical property contract and  
8 has provided the Board of Supervisors with an estimate of the property tax calculations and  
9 the difference in property tax assessments under the different valuation methods permitted by  
10 the Mills Act in its report transmitted to the Board of Supervisors on October 10, 2018, which  
11 report is on file with the Clerk of the Board of Supervisors in File No. 180987 and is hereby  
12 declared to be a part of this Resolution as if set forth fully herein; and

13           WHEREAS, The Historic Preservation Commission recommended approval of the  
14 historical property contract in its Resolution No.993, including approval of the Rehabilitation  
15 Program and Maintenance Plan, attached to said Resolution, which is on file with the Clerk of  
16 the Board of Supervisors in File No. 180987 and is hereby declared to be a part of this  
17 Resolution as if set forth fully herein; and

18           WHEREAS, The draft historical property contract between Joyjit & Preetha Nath, the  
19 owners of 354-356 San Carlos Street, and the City and County of San Francisco is on file with  
20 the Clerk of the Board of Supervisors in File No. 180987 and is hereby declared to be a part of  
21 this resolution as if set forth fully herein; and

22           WHEREAS, The Board of Supervisors has conducted a public hearing pursuant to  
23 Administrative Code, Section 71.4(d) to review the Historic Preservation Commission's  
24 recommendation and the information provided by the Assessor's Office in order to determine  
25

1 whether the City should execute the historical property contract for 354-356 San Carlos  
2 Street; and

3 WHEREAS, The Board of Supervisors has balanced the benefits of the Mills Act to the  
4 owners of 354-356 San Carlos Street with the cost to the City of providing the property tax  
5 reductions authorized by the Mills Act, as well as the historical value of 354-356 San Carlos  
6 Street and the resultant property tax reductions, and has determined that it is in the public  
7 interest to enter into a historical property contract with the applicants; now, therefore, be it

8 RESOLVED, That the Board of Supervisors hereby approves the historical property  
9 contract between Joyjit & Preetha Nath, the owners of 354-356 San Carlos Street, and the  
10 City and County of San Francisco; and, be it

11 FURTHER RESOLVED, That the Board of Supervisors hereby authorizes the Planning  
12 Director and the Assessor-Recorder to execute the historical property contract and record the  
13 historical property contract.

**Recording Requested by, and  
when recorded, send notice to:**  
City and County of San Francisco  
Planning Department  
Attn: Shannon Ferguson  
1650 Mission Street, Suite 400  
San Francisco, CA 94103-2414

**CALIFORNIA MILLS ACT  
HISTORIC PROPERTY AGREEMENT  
354-356 SAN CARLOS STREET  
SAN FRANCISCO, CALIFORNIA**

THIS AGREEMENT is entered into by and between the City and County of San Francisco, a California municipal corporation ("City") and Joyjit & Preetha Nath ("Owners").

RECITALS

Owners are the owners of the property located at 354-356 San Carlos Street, in San Francisco, California (Block 3609, Lot 093). The building located at 354-356 San Carlos is designated as a Contributor to Liberty Hill Historic District (the "Historic Property"). The Historic Property is a Qualified Historic Property, as defined under California Government Code Section 50280.1.

Owners desire to execute a rehabilitation and ongoing maintenance project for the Historic Property. Owners' application calls for the rehabilitation and restoration of the Historic Property according to established preservation standards, which it estimates will cost fifty thousand dollars (\$50,000.00). (See Rehabilitation Plan, Exhibit A.) Owners' application calls for the maintenance of the Historic Property according to established preservation standards, which is estimated will cost approximately twenty-three thousand, one thousand six hundred dollars (\$1,600.00) annually (See Maintenance Plan, Exhibit B).

The State of California has adopted the "Mills Act" (California Government Code Sections 50280–50290, and California Revenue & Taxation Code, Article 1.9 [Section 439 et seq.]) authorizing local governments to enter into agreements with property Owners to reduce their property taxes, or to prevent increases in their property taxes, in return for improvement to and maintenance of historic properties. City has adopted enabling legislation, San Francisco Administrative Code Chapter 71, authorizing it to participate in the Mills Act program.

Owners desire to enter into this Agreement (also referred to as a Mills Act Agreement or a Historic Property Agreement) with City to help mitigate anticipated expenditures to restore and maintain the Historic Property. City is willing to enter into this Agreement to mitigate these expenditures and to induce Owners to restore and maintain the Historic Property in excellent condition in the future.

NOW, THEREFORE, in consideration of the mutual obligations, covenants, and conditions contained in this Agreement, the parties hereto do agree as follows:

1. Application of Mills Act. The benefits, privileges, restrictions, and obligations provided for in the Mills Act will be applied to the Historic Property during the Term (as defined in Paragraph 7 below), commencing on the date that this Agreement is recorded.

2. Rehabilitation of the Historic Property. Owners will undertake and complete the work set forth in Exhibit A ("Rehabilitation Plan") according to certain standards and requirements. Those standards and requirements include, but are not limited to: the Secretary of the Interior's Standards for the Treatment of Historic Properties ("Secretary's Standards"); the rules and regulations of the Office of Historic Preservation of the California Department of Parks and Recreation ("OHP Rules and Regulations"); the State Historical Building Code as determined applicable by City; all applicable building safety standards; and the requirements of the Historic Preservation Commission, the Planning Commission, and the Board of Supervisors, including but not limited to any Certificates of Appropriateness approved under Planning Code Article 10. Owners will (a) apply for any necessary permits no more than six (6) months after the date this Agreement is recorded, (b) commence the work within six (6) months of receipt of necessary permits, and (c) complete the work within three (3) years from the date of receipt of permits. Upon written request by Owners, the Zoning Administrator, at his or her discretion, may grant an extension of the time periods set forth in this paragraph. Owners may apply for an extension by a letter to the Zoning Administrator, and the Zoning Administrator may grant the extension by letter without a hearing. The work will be deemed complete when the Director of Planning determines that the Historic Property has been rehabilitated in accordance with the standards set forth in this Paragraph. Failure to timely complete the work may result in cancellation of this Agreement as set forth in Paragraphs 11 and 12 below.

3. Maintenance. Owners will maintain the Historic Property during the time this Agreement is in effect in accordance with the standards for maintenance set forth in Exhibit B ("Maintenance Plan"), the Secretary's Standards; the OHP Rules and Regulations; the State Historical Building Code as determined applicable by City; all applicable building safety standards; and the requirements of the Historic Preservation Commission, the Planning Commission, and the Board of Supervisors, including but not limited to any Certificates of Appropriateness approved under Planning Code Article 10.

4. Damage. If fifty percent (50%) or less of the Historic Property is damaged by any cause whatsoever, Owners will replace and repair the damaged area(s) of the Historic Property. For repairs that do not require a permit, Owners will commence the repair work within thirty (30) days after the date of the damage and will diligently perform and complete the repair work within a reasonable time, as determined by City. Where specialized services are required due to the nature of the work and the historic character of the features damaged, "commence the repair work" within the meaning of this paragraph may include contracting for repair services. For repairs that require a permit(s), Owners will apply for any necessary permits for the work within sixty (60) days after the date of the damage, commence the repair work within one hundred twenty (120) days of receipt of the required permit(s), and diligently perform and complete the repair work within a reasonable period of time, as determined by City. Upon written request by Owners, the Zoning Administrator, at his or her discretion, may grant an extension of the time periods set forth in this paragraph. Owners may apply for an extension by a letter to the Zoning Administrator, and the Zoning Administrator may grant the extension by letter without a hearing. All repair work must comply with the design and standards established for the Historic Property in Exhibits A and B attached hereto and Paragraph 3 above. If twenty percent (20%) or more of the Historic Property is damaged due to a catastrophic event, such as an earthquake, or if more than fifty percent (50%) of the Historic Property is destroyed from any cause whatsoever, then City and Owners may mutually agree to terminate this Agreement and Owners will not be obligated to pay the cancellation fee set forth in Paragraph 12 below. Upon the termination, City will assess the full value of the Historic Property without regard to any restriction imposed upon the Historic Property by this Agreement and Owners will pay property taxes to City based upon that valuation as of the date of termination.

5. Insurance. Owners will obtain and maintain adequate property insurance to meet Owners' repair and replacement obligations under this Agreement and will submit evidence of that insurance to City upon request.
6. Inspections and Compliance Monitoring. Before entering into this Agreement Owners have allowed, and every five years during the Term (defined in Paragraph 7 below) upon seventy-two (72) hours advance notice Owners will allow any representative of City, the Office of Historic Preservation of the California Department of Parks and Recreation, or the State Board of Equalization, to inspect of the interior and exterior of the Historic Property, to determine Owners' compliance with this Agreement. Throughout the term of this Agreement, Owners will provide all reasonable information and documentation about the Historic Property demonstrating compliance with this Agreement, as requested by any of the above-referenced representatives.
7. Term. This Agreement will be effective on the recording date for a term of ten years from that date ("Term"), as it may be extended. As provided in Government Code section 50282, one year will be added automatically to the Term on each anniversary date of this Agreement, unless notice of nonrenewal is given as set forth in Paragraph 9 below.
8. Valuation. Pursuant to Section 439.4 of the California Revenue and Taxation Code, as amended from time to time, this Agreement must have been signed, accepted and recorded on or before the lien date (January 1) for a fiscal year (the following July 1-June 30) for the Historic Property to be valued under the taxation provisions of the Mills Act for that fiscal year.
9. Notice of Nonrenewal. If in any year of this Agreement either Owners or City desire not to renew this Agreement, then that party will serve written notice on the other party before the annual renewal date. Owners must serve the written notice of nonrenewal to City at least ninety (90) days before the date of renewal. City must serve the written notice of non-renewal to Owners at least sixty (60) days before the date of renewal. If City elects not to renew the Agreement, then the Board of Supervisors must make City's determination that this Agreement will not be renewed and send a notice of nonrenewal to Owners. Upon receipt by Owners of a notice of nonrenewal from City, Owners may make a written protest. At any time before the renewal date, the City's Board of Supervisors may withdraw its notice of nonrenewal. If either party serves a notice of nonrenewal of this Agreement, this Agreement will remain in effect for the remaining balance of the Term. If either party elects not to renew this Agreement, then the electing party may cause a notice of nonrenewal in the form attached as Exhibit C to this Agreement to be completed and recorded. Upon the expiration of this Agreement, City will assess the full value of the Historic Property without regard to any restriction imposed upon the Historic Property by this Agreement and Owners will pay property taxes to City based upon that valuation as of the date of expiration.
10. Payment of Fees. As provided for in Government Code Section 50281.1 and San Francisco Administrative Code Section 71.6, upon filing an application to enter into a Mills Act Agreement with City, Owners will pay City the reasonable costs related to the preparation and approval of the Agreement. In addition, Owners will pay City for the actual costs of inspecting the Historic Property, as set forth in Paragraph 6 above.
11. Default. If City determine that any of the following have occurred, City will give Owners written notice by registered or certified mail specifying the failure:
  - (a) Owners' failure to timely complete the rehabilitation work set forth in Exhibit A, in accordance with Paragraph 2 above;
  - (b) Owners' failure to maintain the Historic Property as set forth in Exhibit B, in accordance with Paragraph 3 above;

- (c) Owners' failure to repair any damage to the Historic Property in a timely manner, as provided in Paragraph 4 above;
- (d) Owners' failure to allow any inspections or requests for information, as provided in Paragraph 6 above;
- (e) Owners' failure to pay any fees requested by City as provided in Paragraph 10 above;
- (f) Owners' failure to maintain adequate insurance for the replacement cost of the Historic Property, as required by Paragraph 5 above; or
- (g) Owners' failure to comply with any other provision of this Agreement.

If Owners do not undertake and diligently pursue corrective action to the reasonable satisfaction of City within thirty (30) days after the date of the notice, then the Board of Supervisors will conduct a public hearing to determine whether an event of default has occurred. Notice of the public hearing will be mailed to the last known address of each owner of property in the Hayes Valley Residential Historic District and published under Government Code section 6061. If the Board of Supervisors determines that an event of default has occurred, City will either cancel this Agreement as set forth in Paragraph 12 below or bring an action to enforce this contract, including, but not limited to, an action for specific performance or injunction.

12. Cancellation. If the Board of Supervisors determines that an event of default has occurred and elects to cancel the contract, then Owners will pay a cancellation fee of twelve and one-half percent (12.5%) of the fair market value of the Historic Property at the time of cancellation. The City Assessor will determine fair market value of the Historic Property without regard to any restriction imposed on the Historic Property by this Agreement. The Cancellation Fee will be paid to the City Tax Collector at such time and in such manner as City may prescribe. As of the date of cancellation, Owners will pay property taxes to City without regard to any restriction imposed on the Historic Property by this Agreement and based upon the Assessor's determination of the fair market value of the Historic Property as of the date of cancellation.

13. Enforcement of Agreement. No failure by City to cancel this Agreement or file an action will be deemed to be a waiver of this Agreement or any claim for an event of default under this Agreement.

14. Indemnification. Owners will indemnify, defend, and hold harmless City and all of its boards, commissions, departments, agencies, agents, and employees (individually and collectively, the "Indemnitees") from and against any and all liabilities, losses, costs, claims, judgments, settlements, damages, liens, fines, penalties, and expenses incurred in connection with or arising in whole or in part from: (a) any accident, injury to or death of a person, loss of or damage to property occurring in or about the Historic Property; (b) the use or occupancy of the Historic Property; (c) the condition of the Historic Property; (d) any construction or other work undertaken on the Historic Property; or (e) any claims by unit or interval Owners for property tax reductions in excess those provided for under this Agreement. This indemnification will include, without limitation, reasonable fees for attorneys, consultants, and experts and related costs that may be incurred by the Indemnitees and the Indemnitees' cost of investigating any claim. In addition to Owners' obligation to indemnify the Indemnitees, Owners specifically acknowledge and agree that they have an immediate and independent obligation to defend the Indemnitees from any claim that actually or potentially falls within this indemnification provision, even if the allegations are or may be groundless, false, or fraudulent, which obligation arises at the time such claim is tendered to Owners, and continues at all times thereafter. Owners' obligations under this Paragraph survive termination of this Agreement.

15. Eminent Domain. In the event that a the Historic Property is acquired in whole or part by eminent domain or other similar action, this Agreement will be cancelled and no cancellation fee will be imposed, as provided by Government Code Section 50288.



16. Binding on Successors and Assigns. The covenants, benefits, restrictions, and obligations contained in this Agreement will run with the land and be binding upon and inure to the benefit of all successors in interest and assigns of Owners. Successors in interest and assigns have the same rights and obligations under this Agreement as the original Owners who entered into the Agreement.

17. Legal Fees. If either City or Owners fail to perform any of their obligations under this Agreement or if a dispute arises concerning the meaning or interpretation of any provision of this Agreement, the prevailing party may recover all costs and expenses incurred in enforcing or establishing its rights under this Agreement, including reasonable attorneys' fees, in addition to court costs and any other relief ordered by a court of competent jurisdiction. Reasonable attorneys' fees of the City's Office of the City Attorney will be based on the fees regularly charged by private attorneys with the equivalent number of years of experience who practice in the City of San Francisco in law firms with approximately the same number of attorneys as employed by the Office of the City Attorney.

18. Governing Law. This Agreement will be construed and enforced in accordance with the laws of the State of California.

19. Recordation. Within 20 days after the date of execution of this Agreement, the parties will cause this Agreement to be recorded with the Office of the Recorder of the City and County of San Francisco.

20. Amendments. This Agreement may be amended in whole or in part only by a written recorded instrument executed by the parties hereto in the same manner as this Agreement.

21. No Implied Waiver. No failure by City to insist on the strict performance of any obligation of Owners under this Agreement or to exercise any right, power, or remedy arising out of an event of default or breach of this Agreement will constitute a waiver of the event of default or breach or of City's right to demand strict compliance with any terms of this Agreement.

22. Authority. If Owners sign as a corporation or a partnership, each of the persons executing this Agreement on behalf of Owners covenants and warrants that the entity is a duly authorized and existing entity, that the entity has and is qualified to do business in California, that Owners have full right and authority to enter into this Agreement, and that each and all of the persons signing on behalf of Owners are authorized to do so.

23. Severability. If any provision of this Agreement is determined to be invalid or unenforceable, the remainder of this Agreement will not be affected thereby, and each other provision of this Agreement will be valid and enforceable to the fullest extent permitted by law, except to the extent that enforcement of this Agreement without the invalidated provision would be unreasonable or inequitable under all the circumstances or would frustrate a fundamental purpose of this Agreement.

24. Tropical Hardwood Ban. City urges companies not to import, purchase, obtain, or use for any purpose, any tropical hardwood or tropical hardwood product.

25. MacBride Principles. City urges companies doing business in Northern Ireland to move toward resolving employment inequities and encourages them to abide by the MacBride Principles as expressed in San Francisco Administrative Code Section 12F.1 et seq. City also urges San Francisco companies to do business with corporations that abide by the MacBride Principles. Owners acknowledge that it has read and understands the above statement of City concerning doing business in Northern Ireland.

26. Sunshine. Owners understand and agree that under the San Francisco Sunshine Ordinance (San Francisco Administrative Code, Chapter 67) and the State Public Records Law (Gov't Code Section 6250 et seq.), this Agreement and any and all records, information, and materials submitted to City under this Agreement or the Mills Act are public records subject to public disclosure.

27. Conflict of Interest. Through its execution of this Agreement, Owners acknowledge that it is familiar with the provisions of Section 15.103 of the City's Charter, Article III, Chapter 2 of the San Francisco Campaign and Governmental Conduct Code, and California Government Code section 87100 et seq. and section 1090 et seq., and certifies that it does not know of any facts that constitute a violation of those provisions and agrees that it will immediately notify City if it becomes aware of any such fact during the Term.

28. Notification of Limitations on Contributions. Through execution of this Agreement, Owners acknowledge that it is familiar with Section 1.126 of City's Campaign and Governmental Conduct Code, which prohibits any person who contracts with City, whenever such transaction would require approval by a City elective officer or the board on which that City elective officer serves, from making any campaign contribution to the officer at any time from the commencement of negotiations for the contract until three (3) months after the date the contract is approved by City elective officer or the board on which that City elective officer serves. San Francisco Ethics Commission Regulation 1.126-1 provides that negotiations are commenced when a prospective contractor first communicates with a City officer or employee about the possibility of obtaining a specific contract. This communication may occur in person, by telephone or in writing, and may be initiated by the prospective contractor or a City officer or employee. Negotiations are completed when a contract is finalized and signed by City and the contractor. Negotiations are terminated when City and/or the prospective contractor end the negotiation process before a final decision is made to award the contract.

29. Nondiscrimination. In the performance of this Agreement, Owners agree not to discriminate on the basis of the fact or perception of a person's, race, color, creed, religion, national origin, ancestry, age, height, weight, sex, sexual orientation, gender identity, domestic partner status, marital status, disability or Acquired Immune Deficiency Syndrome or HIV status (AIDS/HIV status), or association with members of such protected classes, or in retaliation for opposition to discrimination against such classes, against any City employee, employee of or applicant for employment with Owners, or against any bidder or contractor for public works or improvements, or for a franchise, concession or lease of property, or for goods or services or supplies to be purchased by Owners. A similar provision must be included in all subordinate agreements let, awarded, negotiated, or entered into by Owners for the purpose of implementing this Agreement.

30. Exhibits. Exhibits A, B, and C attached to this Agreement are incorporated and made a part of this Agreement by reference.

31. Charter Provisions. This Agreement is governed by and subject to the provisions of the City Charter.

32. Signatures. This Agreement may be signed and dated in counterparts, and when all counterparts are assembled, will be considered one document.

IN WITNESS WHEREOF, the parties hereto have executed this Agreement as follows:

CITY AND COUNTY OF SAN FRANCISCO:

By: \_\_\_\_\_ (signature) DATE: \_\_\_\_\_  
\_\_\_\_\_ (name), Assessor-Recorder

By: \_\_\_\_\_ (signature) DATE: \_\_\_\_\_  
\_\_\_\_\_ (name), Director of Planning

APPROVED AS TO FORM:  
DENNIS J. HERRERA  
CITY ATTORNEY

By: \_\_\_\_\_ (signature) DATE: \_\_\_\_\_  
\_\_\_\_\_ (name), Deputy City Attorney

OWNERS

By: \_\_\_\_\_ (signature) DATE: \_\_\_\_\_  
Joyjit Nath, Owner

By: \_\_\_\_\_ (signature) DATE: \_\_\_\_\_  
Preetha Nath, Owner

OWNER(S) SIGNATURE(S) MUST BE NOTARIZED.  
ATTACH PUBLIC NOTARY FORMS HERE.

## Exhibit A: Rehabilitation/Restoration Plan for 354-356 San Carlos Street

### #1 Building Feature: Removal of non-original stucco and other features

Rehab/Restoration  Maintenance  Completed  Proposed

Contract Year Work Completion: 2016

Total Cost: \$25,000

#### Description of Work:

Non-original stucco was carefully removed from the front façade of the building to reveal the original wood siding. Non-original windows were removed from the house. The non-original stair and site work at the front of the building was also removed. Best preservation practices were utilized to protect existing features to remain from damage. Work was performed by qualified persons with experience with historic buildings.

### #2 Building Feature: Horizontal wood siding, wood trim and wood decorative features

Rehab/Restoration  Maintenance  Completed  Proposed

Contract Year Work Completion: 2016

Total Cost: \$41,000

#### Description of Work:

Once the stucco was removed all exterior wood elements were evaluated for repair. Missing elements were recreated to match existing similar. Broken elements were repaired with a wood patch if larger than 2" or epoxy if smaller. All rot was removed and patched or repaired. Best preservation practices were utilized. Work was performed by qualified persons with experience with historic wood elements.

### #3 Building Feature: Wood Windows

Rehab/Restoration  Maintenance  Completed  Proposed

Contract Year Work Completion: 2016

Total Cost: \$38,000

#### Description of Work:

Most of the windows were non-original and removed and replaced with new to match the existing original. The original wood windows were repaired in place. Each one was inspected for operation and deterioration. Wood was repaired by Dutchman patch or epoxy and repainted. Glass was replaced where necessary. Ropes and hardware were replaced where missing or broken. Sealants and weather-stripping was installed to be minimally visible. Best preservation practices were utilized. Work was performed by qualified persons with experience with historic wood windows and was in conformance with NPS Preservation Brief #9 *The Repair of Historic Wooden Windows*.

### #4 Building Feature: Exterior paint

Rehab/Restoration  Maintenance  Completed  Proposed

Contract Year Work Completion: 2016

Total Cost: \$25,000

#### Description of Work:

The entire house was repainted once repairs were completed. Best preservation practices were utilized. Work was performed by qualified persons with experience with historic

buildings and in conformance with NPS Preservation Brief #10 *Exterior Paint Problems on Historic Woodwork*.

#5 Building Feature: New wood stair

Rehab/Restoration  Maintenance  Completed  Proposed

Contract Year Work Completion: 2016

Total Cost: \$15,000

Description of Work:

The non-original stair was replaced with a reconstruction of the original. Best preservation practices were utilized. Work was performed by qualified persons with experience with historic buildings.

#6 Building Feature: Foundation and Structural work

Rehab/Restoration  Maintenance  Completed  Proposed

Contract Year Work Completion: 2016

Total Cost: \$173,000

Description of Work:

The project included a full seismic upgrade with a new concrete slab and foundation on the ground floor and shear walls on the upper floors. Two moment frames were also installed. Best preservation practices were utilized to protect existing features to remain from damage. Work was performed by qualified persons with experience with historic buildings.

#7 Building Feature: Roof

Rehab/Restoration  Maintenance  Completed  Proposed

Contract Year Work Completion: 2029

Total Cost: \$12,200

Description of Work:

The roof is nearing the end of its material life and is due to be replaced. The size, shape and configuration of the roof will be retained. Best preservation practices will be utilized during installation of the new roofing material to protect existing features to remain from damage. Work will be performed by qualified persons with experience with historic buildings.

**Exhibit B: Maintenance Plan for 354-356 San Carlos Street**

#8 Building Feature: Roof, gutters and drains

Rehab/Restoration  Maintenance  Completed  Proposed

Contract Year Work Completion: Annually

Total Cost: \$500

Description of Work:

The roof, gutters and drains are to be inspected and cleaned every year. Debris is to be removed. Standing water is to be drained and the drainage issue resolved. Material deterioration is to be repaired. Drain and gutter attachments are to be checked and reattached if necessary. Evidence of leaks or standing water are to be addressed. Best preservation practices will be utilized during inspection to protect existing features from damage. Work will be performed by qualified persons with experience with historic buildings.

#9 Building Feature: Wood Windows

Rehab/Restoration  Maintenance  Completed  Proposed

Contract Year Work Completion: Annually

Total Cost: \$500

Description of Work:

The interior and exterior of the windows will be cleaned annually by hand. Limited water will be used. There will be no power washing. Each window will be checked for operation as much as possible but annually at a minimum. The replacement windows will be under warranty for at least ten years. Any issues will be brought to the attention of the manufacturer or installer for resolution. Maintenance will conform to manufacturer's instructions. Any issue with the original windows, such as broken sash cord or detached weight will be addressed by qualified persons with experience with historic wood windows and in conformance with NPS Preservation Brief #9 *The Repair of Historic Wooden Windows*. Any sign of water on the interior of any of the windows will be addressed immediately. Hardware for windows will be lubricated as necessary or as described by the manufacturer.

#10 Building Feature: Foundation and structure

Rehab/Restoration  Maintenance  Completed  Proposed

Contract Year Work Completion: Annually

Total Cost: \$100

Description of Work:

Each year the building will be inspected for cracks. Any cracks found in the concrete foundation or slab or diagonal cracks found on the interior drywall will be recorded. A crack gauge will be installed on cracks larger than a 1/4". If movement is recorded a structural engineer will be brought in to determine cause.

#11 Building Feature: Wood stairs

Rehab/Restoration  Maintenance  Completed  Proposed

Contract Year Work Completion: Annually

Total Cost: \$500

Description of Work:

The painted wood stair will be cleaned every year. Careful pressure washing is ok if best preservation practices are utilized to protect other features from damage and work is performed by qualified persons with experience with historic buildings. Repaint where paint is failing. The underside of stairs will be inspected for mold and rot. If found, the wood will be repaired or replaced.

#12 Building Feature: Horizontal wood siding, wood trim and wood decorative features

Rehab/Restoration  Maintenance  Completed  Proposed

Contract Year Work Completion: Every five years

Total Cost: \$500

Description of Work:

The exterior wood features have been recently repaired and painted. There should be no reason to repaint the building for at least twenty years. Should the paint show failure in any location a qualified person with experience with historic buildings will assess the cause of the problem in conformance with NPS Preservation Brief #10 *Exterior Paint Problems on Historic Woodwork*. Every five years the exterior wood work will be very gently cleaned of dirt and debris by hand and without the use of excessive water. The work will be performed by qualified persons with experience with historic buildings.

## 7. Other Information

### Photographs



*Figure 1. Before image of 354-356 San Carlos St. taken in 2012. Front facade view looking east.*





*Figure 2. After image of 354-356 San Carlos taken in 2016. Front facade, view looking east.*



# SAN FRANCISCO PLANNING DEPARTMENT

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## Mills Act Historical Property Contracts Case Report

1650 Mission St.  
Suite 400  
San Francisco,  
CA 94103-2479

Reception:  
**415.558.6378**

Fax:  
**415.558.6409**

Planning  
Information:  
**415.558.6377**

*Hearing Date:* October 3, 2018  
*Staff Contact:* Shannon Ferguson – (415) 575-9074  
shannon.ferguson@sfgov.org  
*Reviewed By:* Tim Frye – (415) 575-6822  
tim.frye@sfgov.org

a. *Filing Date:* May 1, 2018  
*Case No.:* 2018-006629MLS  
*Project Address:* **2253 Webster Street** (District 2)  
*Landmark District:* Contributor to the Webster Street Historic District  
*Zoning:* RH-2 (Residential-House, Two-Family District)  
*Height & Bulk:* 40-X  
*Block/Lot:* 0612/001  
*Applicant:* Virginia Hong Revoc Living Trust  
2253 Webster Street  
San Francisco, CA 94115

b. *Filing Date:* May 1, 2018  
*Case No.:* 2018-006717MLS  
*Project Address:* **353 Kearny Street** (District 3)  
*Landmark District:* Category IV–Contributory Building to Kearny-Market-Mason-Sutter  
Conservation District  
*Zoning:* C-3-O – Downtown-Office  
*Height and Bulk:* 80-130-F  
*Block/Lot:* 0270/001  
*Applicant:* Pine Kearny LLC  
590 Pacific Avenue  
San Francisco, CA 94133

c. *Filing Date:* May 1, 2018  
*Case No.:* 2018-006796MLS  
*Project Address:* **465-467 Oak Street** (District 5)  
*Landmark District:* Contributor to the California Register of Historical Places-listed  
Hayes Valley Residential Historic District  
*Zoning:* RTO (Residential Transit Oriented District)  
*Height and Bulk:* 40-X  
*Block/Lot:* 0840/017  
*Applicant:* Joseph E & Jennifer A Laska Jnt Lvg Trust  
467 Oak Street  
San Francisco, CA 94102

**Mill Act Applications  
October 3, 2018**

2018-006629MLS (2253 Webster Street); 2018-006717MLS (353 Kearny Street);  
2018006796MLS (465-467 Oak Street); 2018-006690MLS (587 Waller Street); 2018-  
006794MLS (354-356 San Carlos Street); 2018-007338MLS (811 Treat Avenue)

- d. *Filing Date:* May 1, 2018  
*Case No.:* 2018-006690MLS  
*Project Address:* **587 Waller Street** (District 8)  
*Landmark District:* Contributing building to Duboce Park Historic District  
*Zoning:* RTO (Residential Transit Oriented District)  
*Height and Bulk:* 40-X  
*Block/Lot:* 0865/021  
*Applicant:* Christopher Hansten & June Kwon  
4658 18th St. PH  
San Francisco, CA 94114
- e. *Filing Date:* May 1, 2017  
*Case No.:* 2018-006794MLS  
*Project Address:* **354-356 San Carlos Street** (District 9)  
*Landmark District:* Contributor to Liberty Hill Historic District  
*Zoning:* RTO-M – Residential Transit Oriented - Mission  
*Height and Bulk:* 40-X  
*Block/Lot:* 3609/093  
*Applicant:* Joyjit & Preetha Nath  
354 San Carlos Street  
San Francisco, CA 94110
- f. *Filing Date:* May 1, 2017  
*Case No.:* 2018-007338MLS  
*Project Address:* **811 Treat Avenue** (District 9)  
*Landmark District:* Individually listed on the National Register of Historic Places  
*Zoning:* RH-3 – Residential-House, Three Family  
*Height and Bulk:* 40-X  
*Block/Lot:* 3613/053  
*Applicant:* Golden Gate Properties LLC  
2170 Sutter Street  
San Francisco, CA 94115

**PROPERTY DESCRIPTIONS**

- a. 2253 Webster Street: The subject property is located on the west side of Webster Street between Washington and Clay streets, Assessor's Block 0612, Lot 001. The subject property is located within a RH-2 (Residential-House, Two-Family District) zoning district and a 40-X Height and Bulk district. The subject property is a contributing building to the Webster Street Historic District. It is a two-story, plus basement, wood-frame, single-family dwelling designed in the Italianate style and built in circa 1900.

- b. **353 Kearny Street:** The subject property is located on the southwest corner of Kearny and Pine streets, Assessor's Block 0270, Lot 001. The subject property is located within the C-3-O – Downtown-Office zoning district and a 80-130-F Height and Bulk district. The subject property is a Category IV – Contributory Building to Kearny-Market-Mason-Sutter Conservation District. It is a five-story over basement, brick masonry, commercial building designed in the Renaissance-Revival style by San Francisco architectural firm Salfield & Kohlberg and was built in 1907.
- c. **465 Oak Street:** The subject property is located on the south side of Oak Street between Buchanan and Laguna streets, Assessor's Block 0840, Lot 017. The subject property is located within a RTO (Residential Transit Oriented District) zoning district and a 40-X Height and Bulk district. The subject property is a contributing building to the California Register of Historical Places- listed Hayes Valley Residential Historic District. It is a two-story plus basement, wood-frame, two-family dwelling designed in the flat-front Italiante style and built in circa 1900.
- d. **587 Waller Street:** The subject property is located on the south side of Waller Street between Pierce and Potomac streets, Assessor's Block 0865 Lot 021. The subject property is located within a RTO (Residential Transit Oriented District) zoning district and a 40-X Height and Bulk district. The subject property is a contributing building to the Duboce Park Historic District. It is a two-and-half-story plus basement, wood-frame, single-family dwelling designed in the Queen Anne style and built in circa 1900.
- e. **354-356 San Carlos Street:** The subject property is located on the west side of San Carlos Street between 20th and 21st streets, Assessor's Block 3609, Lot 093. The subject property is located within the RTO-M – Residential Transit Oriented - Mission zoning district and 40X Height and Bulk district. The subject property is a potential contributor to Liberty Hill Historic District. It is a three-story wood-frame, two-family residential building originally designed in the Italianate style and was built in 1877 by The Real Estate Associates (T.R.E.A.). The front façade was altered with stucco cladding, stuccoed front steps, and vinyl windows at an unknown date. Rehabilitation work was completed in 2015-2016.
- f. **811 Treat Avenue:** The subject property is located on the east side of San Carlos Street between 21st and 22nd streets, Assessor's Block 3613, Lot 053. The subject property is located within the RH-3 – Residential-House, Three Family zoning district and 40X Height and Bulk district. The subject property is individually listed on the National Register of Historic Places. Known as the Henry Geilfuss House, the property comprises an Italianate main residence designed by local master architect Henry Geilfuss circa 1882 as his personal residence; a raised room (c. 1882, altered c. 1900); a workshop (c. 1920) and a garage (c. 1940). The main residence and raised room are contributing features; the workshop and garage are non-contributing features that were added after Geilfuss moved from the property.

## PROJECT DESCRIPTION

This project is a Mills Act Historical Property Contract application.

## **MILLS ACT REVIEW PROCESS**

Once a Mills Act application is received, the matter is referred to the Historic Preservation Commission (HPC) for review. The HPC shall conduct a public hearing on the Mills Act application, historical property contract, and proposed rehabilitation and maintenance plan, and make a recommendation for approval or disapproval to the Board of Supervisors.

The Board of Supervisors will hold a public hearing to review and approve or disapprove the Mills Act application and contract. The Board of Supervisors shall conduct a public hearing to review the Historic Preservation Commission recommendation, information provided by the Assessor's Office, and any other information the Board requires in order to determine whether the City should execute a historical property contract for the subject property.

The Board of Supervisors shall have full discretion to determine whether it is in the public interest to enter into a Mills Act contract and may approve, disapprove, or modify and approve the terms of the contract. Upon approval, the Board of Supervisors shall authorize the Director of Planning and the Assessor-Recorder's Office to execute the historical property contract.

## **MILLS ACT REVIEW PROCEDURES**

The Historic Preservation Commission is requested to review and make recommendations on the following:

- The draft Mills Act Historical Property Contract between the property owner and the City and County of San Francisco.
- The proposed rehabilitation and maintenance plan.

The Historic Preservation Commission may also comment in making a determination as to whether the public benefit gained through restoration, continued maintenance and preservation of the property is sufficient to outweigh the subsequent loss of property taxes to the City.

## **APPLICABLE PRESERVATION STANDARDS**

Ordinance No. 191-96 amended the San Francisco Administrative Code by adding Chapter 71 to implement the California Mills Act, California Government Code Sections 50280 *et seq.* The Mills Act authorizes local governments to enter into contracts with private property owners who will rehabilitate, restore, preserve, and maintain a "qualified historical property." In return, the property owner enjoys a reduction in property taxes for a given period. The property tax reductions must be made in accordance with Article 1.9 (commencing with Section 439) of Chapter 3 of Part 2 of Division 1 of the California Revenue and Taxation Code.

## **TERM**

Mills Act contracts must be made for a minimum term of ten years. The ten-year period is automatically renewed by one year annually to create a rolling ten-year term. One year is added automatically to the initial term of the contract on the anniversary date of the contract, unless notice of nonrenewal is given or

**Mill Act Applications**  
**October 3, 2018**

2018-006629MLS (2253 Webster Street); 2018-006717MLS (353 Kearny Street);  
2018006796MLS (465-467 Oak Street); 2018-006690MLS (587 Waller Street); 2018-  
006794MLS (354-356 San Carlos Street); 2018-007338MLS (811 Treat Avenue)

the contract is terminated. If the City issues a notice of nonrenewal, then one year will no longer be added to the term of the contract on its anniversary date and the contract will only remain in effect for the remainder of its term. The City must monitor the provisions of the contract until its expiration and may terminate the Mills Act contract at any time if it determines that the owner is not complying with the terms of the contract or the legislation. Termination due to default immediately ends the contract term. Mills Act contracts remain in force when a property is sold.

## **ELIGIBILITY**

San Francisco Administrative Code Chapter 71, Section 71.2, defines a “qualified historic property” as one that is not exempt from property taxation and that is one of the following:

- (a) Individually listed in the National Register of Historic Places;
- (b) Listed as a contributor to an historic district included on the National Register of Historic Places;
- (c) Designated as a City landmark pursuant to San Francisco Planning Code Article 10;
- (d) Designated as contributory to a landmark district designated pursuant to San Francisco Planning Code Article 10; or
- (e) Designated as significant (Categories I or II) or contributory (Categories III or IV) to a conservation district designated pursuant to San Francisco Planning Code Article 11.

All properties that are eligible under the criteria listed above must also meet a tax assessment value to be eligible for a Mills Act Contract. The tax assessment limits are listed below:

### *Residential Buildings*

Eligibility is limited to a property tax assessment value of not more than \$3,000,000.

### *Commercial, Industrial or Mixed Use Buildings*

Eligibility is limited to a property tax assessment value of not more than \$5,000,000.

Properties may be exempt from the tax assessment values if it meets any one of the following criteria:

- The qualified historic property is an exceptional example of architectural style or represents a work of a master architect or is associated with the lives of persons important to local or national history; or
- Granting the exemption will assist in the preservation and rehabilitation of a historic structure (including unusual and/or excessive maintenance requirements) that would otherwise be in danger of demolition, deterioration, or abandonment;

Properties applying for a valuation exemption must provide evidence that it meets the exemption criteria, including a historic structure report to substantiate the exceptional circumstances for granting the exemption. The Historic Preservation Commission shall make specific findings in determining whether to recommend to the Board of Supervisors that the valuation exemption should be approved. Final approval of this exemption is under the purview of the Board of Supervisors.

## PUBLIC/NEIGHBORHOOD INPUT

The Department has not received any public comment regarding the Mills Act Historical Property Contract.

## STAFF ANALYSIS

The Department received six Mills Act applications by the May 1, 2018 filing date. The Project Sponsors, Planning Department Staff, and the Office of the City Attorney have negotiated the six attached draft historical property contracts, which include a draft rehabilitation and maintenance plan for the historic building. Department Staff believes the draft historical property contracts and plans are adequate. Please see below for complete analysis.

- a. **2253 Webster Street:** As detailed in the Mills Act application, the applicant proposes to rehabilitate and maintain the historic property. Staff determined that the proposed work, detailed in the attachments, is consistent with the Secretary of Interior's Standards for Rehabilitation.

The subject property is currently valued by the Assessor's Office as under \$3,000,000 (see attached Market Analysis and Income Approach reports) and did not require a Historic Structure Report.

The applicant completed some rehabilitation of the building in 2017, including dry rot repair and painting with an estimated cost of \$75,270. The proposed Rehabilitation Plan includes flashing replacement, roof repair and replacement, additional dry rot repair, installing new compatible handrail, replacing the front door in-kind. Rehabilitation work is estimated to cost \$87,364.31 over ten years.

The proposed Maintenance Plan includes annual inspection of the wood siding, windows, roof, front porch and door. Maintenance work is estimated to cost \$3,500 annually. Any needed repairs will be made in kind and will avoid altering, removing or obscuring character-defining features of the building.

No changes to the use of the property are proposed. Please refer to the attached Rehabilitation and Maintenance Plan for a full description of the proposed work. The attached draft historical property contract will help the applicant mitigate these expenditures and will induce the applicant to maintain the property in excellent condition in the future.

- b. **353 Kearny Street:** As detailed in the Mills Act application, the applicant proposes to rehabilitate and maintain the historic property. Staff determined that the proposed work, detailed in the attachments, is consistent with the Secretary of Interior's Standards for Rehabilitation.

The subject property is currently valued by the Assessor's Office at over \$3,000,000 (see attached Market Analysis and Income Approach reports). The subject property qualifies for an exemption as it is designated as a Category IV – Contributory Building to Kearny-Market-Mason-Sutter Conservation District under Article 11 of the Planning Code. A Historic Structure Report was

required in order to demonstrate that granting the exemption would assist in the preservation of a property that might otherwise be in danger of demolition or substantial alterations

The proposed Rehabilitation Plan includes roof replacement, parapet bracing, elevator penthouse repair, brick repair and repointing at the façade and basement under sidewalk, repair and in-kind replacement of wood windows, plaster repair at rear façade, sheet metal cornice repair or in-kind replacement, fire escape repair, historic elevator and stair repair, storefront repair and replacement. Rehabilitation work is estimated to cost \$1,091,077 over ten years.

The proposed Maintenance Plan includes annual inspection of roof, parapet bracing, elevator penthouse, basement, wood windows, brick and plaster facades, storefronts, sheet metal cornice,, and fire escape with in-kind repair of any deteriorated elements as necessary. Maintenance work is estimated to cost \$23,694 annually. Any needed repairs will be made in kind and will avoid altering, removing or obscuring character-defining features of the building.

No changes to the use of the property are proposed. Please refer to the attached Rehabilitation and Maintenance Plan for a full description of the proposed work. The attached draft historical property contract will help the applicant mitigate these expenditures and will induce the applicant to maintain the property in excellent condition in the future.

- c. 465-467 Oak Street: As detailed in the Mills Act application, the applicant proposes to rehabilitate and maintain the historic property. Staff determined that the proposed work, detailed in the attachments, is consistent with the Secretary of Interior's Standards for Rehabilitation.

The subject property is currently valued by the Assessor's Office as under \$3,000,000 (see attached Market Analysis and Income Approach reports) and did not require a Historic Structure Report.

The applicant completed rehabilitation work to the building in 2017, including wood window repair, exterior painting, brick chimney repair at an estimated cost of \$6963.28. The proposed Rehabilitation Plan includes seismic upgrade, roof replacement, rear stair and balcony replacement, and exterior repainting. Rehabilitation work is estimated to cost \$369,600 over ten years.

The proposed Maintenance Plan includes annual inspection of roof, gutters and downspouts, windows, doors, front steps and porch, and wood siding a trim. Any needed repairs will be made in kind and will avoid altering, removing or obscuring character-defining features of the building. Maintenance work is estimated to cost approximately \$2,000 annually.

No changes to the use of the property are proposed. Please refer to the attached Rehabilitation and Maintenance Plan for a full description of the proposed work. The attached draft historical property contract will help the applicant mitigate these expenditures and will induce the applicant to maintain the property in excellent condition in the future.



- d. **587 Waller Street:** As detailed in the Mills Act application, the applicant proposes to rehabilitate and maintain the historic property. Staff determined that the proposed work, detailed in the attachments, is consistent with the Secretary of Interior's Standards for Rehabilitation.

The subject property is currently valued by the Assessor's Office as under \$3,000,000 (see attached Market Analysis and Income Approach reports) and did not require a Historic Structure Report.

The proposed Rehabilitation Plan includes seismic and foundation work, roof replacement, front façade restoration, window replacement, and front steps and porch restoration. Rehabilitation work is estimated to cost \$337,400 over ten years.

The proposed Maintenance Plan includes annual inspection of gutters and downspouts, windows, front steps and porch, front façade, and roof. Any needed repairs resulting from inspection will be made in kind and will avoid altering, removing or obscuring character-defining features of the building. Maintenance work is estimated to cost approximately \$1,300 annually.

No changes to the use of the property are proposed. Please refer to the attached Rehabilitation and Maintenance Plan for a full description of the proposed work. The attached draft historical property contract will help the applicant mitigate these expenditures and will induce the applicant to maintain the property in excellent condition in the future.

- e. **354-356 San Carlos Street:** As detailed in the Mills Act application, the applicant proposes to rehabilitate and maintain the historic property. Staff determined that the proposed work, detailed in the attachments, is consistent with the Secretary of Interior's Standards for Rehabilitation and Preservation.

The subject property is currently valued by the Assessor's Office as under \$3,000,000 (see attached Market Analysis and Income Approach reports) and did not require a Historic Structure Report.

The applicant completed substantial rehabilitation work to the property in 2016, including front façade restoration, window replacement, exterior painting, front stair replacement, and foundation and structural work at an estimated cost of \$317,000. The proposed Rehabilitation Plan includes roof replacement. Rehabilitation work is estimated to cost \$50,000 over ten years.

The proposed Maintenance Plan includes annual inspection of the roof, gutters and drains, windows, foundation and structure, stairs. Annual inspection of the siding and trim will occur every five years. Any needed repairs resulting from inspection will be made in kind and will avoid altering, removing or obscuring character-defining features of the building. Maintenance work is estimated to cost approximately \$1,600 annually.

No changes to the use of the property are proposed. Please refer to the attached Rehabilitation and Maintenance Plan for a full description of the proposed work. The attached draft historical

**Mill Act Applications  
October 3, 2018**

2018-006629MLS (2253 Webster Street); 2018-006717MLS (353 Kearny Street);  
2018006796MLS (465-467 Oak Street); 2018-006690MLS (587 Waller Street); 2018-  
006794MLS (354-356 San Carlos Street); 2018-007338MLS (811 Treat Avenue)

property contract will help the applicant mitigate these expenditures and will induce the applicant to maintain the property in excellent condition in the future.

- f. **811 Treat Avenue:** As detailed in the Mills Act application, the applicant proposes to rehabilitate and maintain the historic property. Staff determined that the proposed work, detailed in the attachments, is consistent with the Secretary of Interior's Standards for Rehabilitation and Preservation.

The subject property is currently valued by the Assessor's Office as under \$3,000,000 (see attached Market Analysis and Income Approach reports) and did not require a Historic Structure Report.

The proposed Rehabilitation Plan includes siding and trim repair and repainting, incompatible garage door replacement, door repair and decorative glass replacement, and roof replacement. Rehabilitation work is estimated to cost \$67,000 over ten years.

The proposed Maintenance Plan includes annual inspection of the foundation, roof, gutters, drains, windows, doors, and stairs and porch. Inspection of the siding and trim will occur every five years. Any needed repairs resulting from inspection will be made in kind and will avoid altering, removing or obscuring character-defining features of the building. Maintenance work is estimated to cost approximately \$2,100 annually.

No changes to the use of the property are proposed. Please refer to the attached Rehabilitation and Maintenance Plan for a full description of the proposed work. The attached draft historical property contract will help the applicant mitigate these expenditures and will induce the applicant to maintain the property in excellent condition in the future.

## **ASSESSOR-RECORDER INFORMATION**

Based on information received from the Assessor-Recorder, the following properties will receive an estimated first year reduction as a result of the Mills Act Contract. Please refer to the attached Preliminary Valuation spreadsheet prepared by the Assessor for detailed information about each property.

- a) **2253 Webster Street:** Estimated Property Tax Savings of \$13,750 (a 54.73% reduction from factored base year value)
- b) **353 Kearny Street:** Estimated Property Tax Savings of \$26,963 (a 33.82% reduction from factored base year value)
- c) **465 Oak Street:** Estimated Property Tax Savings of \$16,250 (a 52.98% reduction from factored base year value)
- d) **587 Waller Street:** Estimated Property Tax Savings of \$16,412 (a 58.33% reduction from factored base year value)

**Mill Act Applications  
October 3, 2018**

2018-006629MLS (2253 Webster Street); 2018-006717MLS (353 Kearny Street);  
2018006796MLS (465-467 Oak Street); 2018-006690MLS (587 Waller Street); 2018-  
006794MLS (354-356 San Carlos Street); 2018-007338MLS (811 Treat Avenue)

- e) **354-356 San Carlos Street:** Estimated Property Tax Savings: \$4,532 (a 25.05% reduction from factored base year value).
- f) **811 Treat Avenue:** Estimated Property Tax Savings: \$368 (a 2.20% reduction from factored base year value).

**PLANNING DEPARTMENT RECOMMENDATION**

- The Planning Department recommends that the Historic Preservation Commission adopt a resolution recommending **approval** of the Mills Act Historical Property Contracts and Rehabilitation and Maintenance Plans to the Board of Supervisors for the following properties:
  - a. 2253 Webster Street
  - b. 353 Kearny Street
  - c. 465 Oak Street
  - d. 587 Waller Street
  - e. 354-356 San Carlos Street
  - f. 811 Treat Avenue

**ISSUES AND OTHER CONSIDERATIONS**

Mills Act Contract property owners are required to submit an annual affidavit demonstrating compliance with Rehabilitation and Maintenance Plans.

**HISTORIC PRESERVATION COMMISSION ACTIONS**

Review and adopt a resolution for each property:

1. Recommending to the Board of Supervisors approval of the proposed Mills Act Historical Property Contract between the property owner(s) and the City and County of San Francisco;
2. Approving the proposed Mills Act Rehabilitation and Maintenance Plan for each property.

**Attachments:**

- a. **2253 Webster Street:**
  - Draft Resolution
  - Draft Mills Act Historical Property Contract
  - Draft Rehabilitation Program & Maintenance Plan
  - Draft Mills Act Valuation provided by the Assessor-Recorder's Office
  - Pre-Approval Inspection Report
  - Mills Act Application

**Mill Act Applications**  
**October 3, 2018**

2018-006629MLS (2253 Webster Street); 2018-006717MLS (353 Kearny Street);  
2018006796MLS (465-467 Oak Street); 2018-006690MLS (587 Waller Street); 2018-  
006794MLS (354-356 San Carlos Street); 2018-007338MLS (811 Treat Avenue)

**b. 353 Kearny Street:**

Draft Resolution  
Draft Mills Act Historical Property Contract  
Draft Rehabilitation Program & Maintenance Plan  
Draft Mills Act Valuation provided by the Assessor-Recorder's Office  
Pre-Approval Inspection Report  
Mills Act Application  
Historic Structure Report

**c. 465-467 Oak Street:**

Draft Resolution  
Draft Mills Act Historical Property Contract  
Draft Rehabilitation Program & Maintenance Plan  
Draft Mills Act Valuation provided by the Assessor-Recorder's Office  
Pre-Approval Inspection Report  
Mills Act Application

**d. 587 Waller Street:**

Draft Resolution  
Draft Mills Act Historical Property Contract  
Draft Rehabilitation Program & Maintenance Plan  
Draft Mills Act Valuation provided by the Assessor-Recorder's Office  
Pre-Approval Inspection Report  
Mills Act Application

**e. 354-356 San Carlos Street:**

Draft Resolution  
Draft Mills Act Historical Property Contract  
Draft Rehabilitation Program & Maintenance Plan  
Draft Mills Act Valuation provided by the Assessor-Recorder's Office  
Pre-Approval Inspection Report  
Mills Act Application

**f. 811 Treat Avenue:**

Draft Resolution  
Draft Mills Act Historical Property Contract  
Draft Rehabilitation Program & Maintenance Plan  
Draft Mills Act Valuation provided by the Assessor-Recorder's Office  
Pre-Approval Inspection Report  
Mills Act Application



# SAN FRANCISCO PLANNING DEPARTMENT

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## Historic Preservation Commission Resolution No. 993 HEARING DATE OCTOBER 3, 2018

1650 Mission St.  
Suite 400  
San Francisco,  
CA 94103-2479

Reception:  
415.558.6378

Fax:  
415.558.6409

Planning  
Information:  
415.558.6377

*Case No.:* 2018-006794MLS  
*Project Address:* 354-356 San Carlos Street (District 9)  
*Landmark District:* Contributor to Liberty Hill Historic District  
*Zoning:* RTO-M – Residential Transit Oriented - Mission  
*Height and Bulk:* 40-X  
*Block/Lot:* 3609/093  
*Staff Contact:* Shannon Ferguson – (415) 575-9074  
shannon.ferguson@sfgov.org  
*Reviewed By:* Tim Frye – (415) 575-6822  
tim.frye@sfgov.org

**ADOPTING FINDINGS RECOMMENDING TO THE BOARD OF SUPERVISORS APPROVAL OF THE MILLS ACT HISTORICAL PROPERTY CONTRACT, REHABILITATION PROGRAM, AND MAINTENANCE PLAN FOR 354-356 SAN CARLOS STREET:**

**WHEREAS,** The Mills Act, California Government Code Sections 50280 et seq. (“the Mills Act”) authorizes local governments to enter into contracts with owners of private historical property who assure the rehabilitation, restoration, preservation and maintenance of a qualified historical property; and

**WHEREAS,** In accordance with Article 1.9 (commencing with Section 439) of Chapter 3 of Part 2 of Division 1 of the California Revenue and Taxation Code, the City and County of San Francisco may provide certain property tax reductions, such as those provided for in the Mills Act; and

**WHEREAS,** Ordinance No. 191-96 amended the San Francisco Administrative Code by adding Chapter 71, to implement Mills Act locally; and

**WHEREAS,** The Planning Department has determined that the actions contemplated in this Resolution are categorically exempt from with the California Environmental Quality Act (California Public Resources Code Sections 21000 et seq.) under section 15331; and

**WHEREAS,** The existing building located at 354-356 San Carlos Street is listed under Article 10 of the San Francisco Planning Code Planning Code as a Contributor to the Liberty Hill Historic District and thus qualifies as a historic property; and

**WHEREAS,** The Planning Department has reviewed the Mills Act Application, Historical Property Contract, Historical Property Contract, Rehabilitation Program, and Maintenance Plan for 354-356 San Carlos Street, which are located in Case Docket No. 2018-006794MLS. The Planning Department

recommends approval of the Mills Act historical property contract, rehabilitation program, and maintenance plan; and

**WHEREAS**, The Historic Preservation Commission (HPC) recognizes the historic building at 354-356 San Carlos Street as an historical resource and believes the Rehabilitation Program and Maintenance Plan are appropriate for the property; and

**WHEREAS**, At a duly noticed public hearing held on October 3, 2018, the Historic Preservation Commission reviewed documents, correspondence and heard oral testimony on the Mills Act Application, Historical Property Contract, Rehabilitation Program, and Maintenance Plan for 354-356 San Carlos Street, which are located in Case Docket No. 2018-006794MLS.

**THEREFORE BE IT RESOLVED** that the Historic Preservation Commission hereby recommends that the Board of Supervisors approve the Mills Act Historical Property Contract, including the Rehabilitation Program, and Maintenance Plan for the historic building located at 354-356 San Carlos Street, attached herein as Exhibits A and B, and fully incorporated by this reference.

**BE IT FURTHER RESOLVED** That the Historic Preservation Commission hereby directs its Commission Secretary to transmit this Resolution, the Mills Act Historical Property Contract, including the Rehabilitation Program, and Maintenance Plan for 354-356 San Carlos Street, and other pertinent materials in the case file 2018-006794MLS to the Board of Supervisors.

I hereby certify that the foregoing Resolution was ADOPTED by the Historic Preservation Commission on October 3, 2018.



Jonas P. Ionin  
Commissions Secretary

AYES: Wolfram, Hyland, Black, Johns, Matsuda, Pearlman

NOES: None

ABSENT: Johnck

ADOPTED: October 3, 2018

## **Exhibit A: Rehabilitation/Restoration Plan for 354-356 San Carlos Street**

### #1 Building Feature: Removal of non-original stucco and other features

Rehab/Restoration  Maintenance  Completed  Proposed

Contract Year Work Completion: 2016

Total Cost: \$25,000

#### Description of Work:

Non-original stucco was carefully removed from the front façade of the building to reveal the original wood siding. Non-original windows were removed from the house. The non-original stair and site work at the front of the building was also removed. Best preservation practices were utilized to protect existing features to remain from damage. Work was performed by qualified persons with experience with historic buildings.

### #2 Building Feature: Horizontal wood siding, wood trim and wood decorative features

Rehab/Restoration  Maintenance  Completed  Proposed

Contract Year Work Completion: 2016

Total Cost: \$41,000

#### Description of Work:

Once the stucco was removed all exterior wood elements were evaluated for repair. Missing elements were recreated to match existing similar. Broken elements were repaired with a wood patch if larger than 2" or epoxy if smaller. All rot was removed and patched or repaired. Best preservation practices were utilized. Work was performed by qualified persons with experience with historic wood elements.

### #3 Building Feature: Wood Windows

Rehab/Restoration  Maintenance  Completed  Proposed

Contract Year Work Completion: 2016

Total Cost: \$38,000

#### Description of Work:

Most of the windows were non-original and removed and replaced with new to match the existing original. The original wood windows were repaired in place. Each one was inspected for operation and deterioration. Wood was repaired by Dutchman patch or epoxy and repainted. Glass was replaced where necessary. Ropes and hardware were replaced where missing or broken. Sealants and weather-stripping was installed to be minimally visible. Best preservation practices were utilized. Work was performed by qualified persons with experience with historic wood windows and was in conformance with NPS Preservation Brief #9 *The Repair of Historic Wooden Windows*.

### #4 Building Feature: Exterior paint

Rehab/Restoration  Maintenance  Completed  Proposed

Contract Year Work Completion: 2016

Total Cost: \$25,000

#### Description of Work:

The entire house was repainted once repairs were completed. Best preservation practices were utilized. Work was performed by qualified persons with experience with historic

buildings and in conformance with NPS Preservation Brief #10 *Exterior Paint Problems on Historic Woodwork*.

#5 Building Feature: New wood stair

Rehab/Restoration  Maintenance  Completed  Proposed

Contract Year Work Completion: 2016

Total Cost: \$15,000

Description of Work:

The non-original stair was replaced with a reconstruction of the original. Best preservation practices were utilized. Work was performed by qualified persons with experience with historic buildings.

#6 Building Feature: Foundation and Structural work

Rehab/Restoration  Maintenance  Completed  Proposed

Contract Year Work Completion: 2016

Total Cost: \$173,000

Description of Work:

The project included a full seismic upgrade with a new concrete slab and foundation on the ground floor and shear walls on the upper floors. Two moment frames were also installed. Best preservation practices were utilized to protect existing features to remain from damage. Work was performed by qualified persons with experience with historic buildings.

#7 Building Feature: Roof

Rehab/Restoration  Maintenance  Completed  Proposed

Contract Year Work Completion: 2029

Total Cost: \$12,200

Description of Work:

The roof is nearing the end of its material life and is due to be replaced. The size, shape and configuration of the roof will be retained. Best preservation practices will be utilized during installation of the new roofing material to protect existing features to remain from damage. Work will be performed by qualified persons with experience with historic buildings.



## Exhibit B: Maintenance Plan for 354-356 San Carlos Street

### #8 Building Feature: Roof, gutters and drains

Rehab/Restoration  Maintenance  Completed  Proposed

Contract Year Work Completion: Annually

Total Cost: \$500

#### Description of Work:

The roof, gutters and drains are to be inspected and cleaned every year. Debris is to be removed. Standing water is to be drained and the drainage issue resolved. Material deterioration is to be repaired. Drain and gutter attachments are to be checked and reattached if necessary. Evidence of leaks or standing water are to be addressed. Best preservation practices will be utilized during inspection to protect existing features from damage. Work will be performed by qualified persons with experience with historic buildings.

### #9 Building Feature: Wood Windows

Rehab/Restoration  Maintenance  Completed  Proposed

Contract Year Work Completion: Annually

Total Cost: \$500

#### Description of Work:

The interior and exterior of the windows will be cleaned annually by hand. Limited water will be used. There will be no power washing. Each window will be checked for operation as much as possible but annually at a minimum. The replacement windows will be under warranty for at least ten years. Any issues will be brought to the attention of the manufacturer or installer for resolution. Maintenance will conform to manufacturer's instructions. Any issue with the original windows, such as broken sash cord or detached weight will be addressed by qualified persons with experience with historic wood windows and in conformance with NPS Preservation Brief #9 *The Repair of Historic Wooden Windows*. Any sign of water on the interior of any of the windows will be addressed immediately. Hardware for windows will be lubricated as necessary or as described by the manufacturer.

### #10 Building Feature: Foundation and structure

Rehab/Restoration  Maintenance  Completed  Proposed

Contract Year Work Completion: Annually

Total Cost: \$100

#### Description of Work:

Each year the building will be inspected for cracks. Any cracks found in the concrete foundation or slab or diagonal cracks found on the interior drywall will be recorded. A crack gauge will be installed on cracks larger than a 1/4". If movement is recorded a structural engineer will be brought in to determine cause.

### #11 Building Feature: Wood stairs

Rehab/Restoration  Maintenance  Completed  Proposed

Contract Year Work Completion: Annually

Total Cost: \$500

Description of Work:

The painted wood stair will be cleaned every year. Careful pressure washing is ok if best preservation practices are utilized to protect other features from damage and work is performed by qualified persons with experience with historic buildings. Repaint where paint is failing. The underside of stairs will be inspected for mold and rot. If found, the wood will be repaired or replaced.

#12 Building Feature: Horizontal wood siding, wood trim and wood decorative features

Rehab/Restoration  Maintenance  Completed  Proposed

Contract Year Work Completion: Every five years

Total Cost: \$500

Description of Work:

The exterior wood features have been recently repaired and painted. There should be no reason to repaint the building for at least twenty years. Should the paint show failure in any location a qualified person with experience with historic buildings will assess the cause of the problem in conformance with NPS Preservation Brief #10 *Exterior Paint Problems on Historic Woodwork*. Every five years the exterior wood work will be very gently cleaned of dirt and debris by hand and without the use of excessive water. The work will be performed by qualified persons with experience with historic buildings.

## 7. Other Information

### Photographs



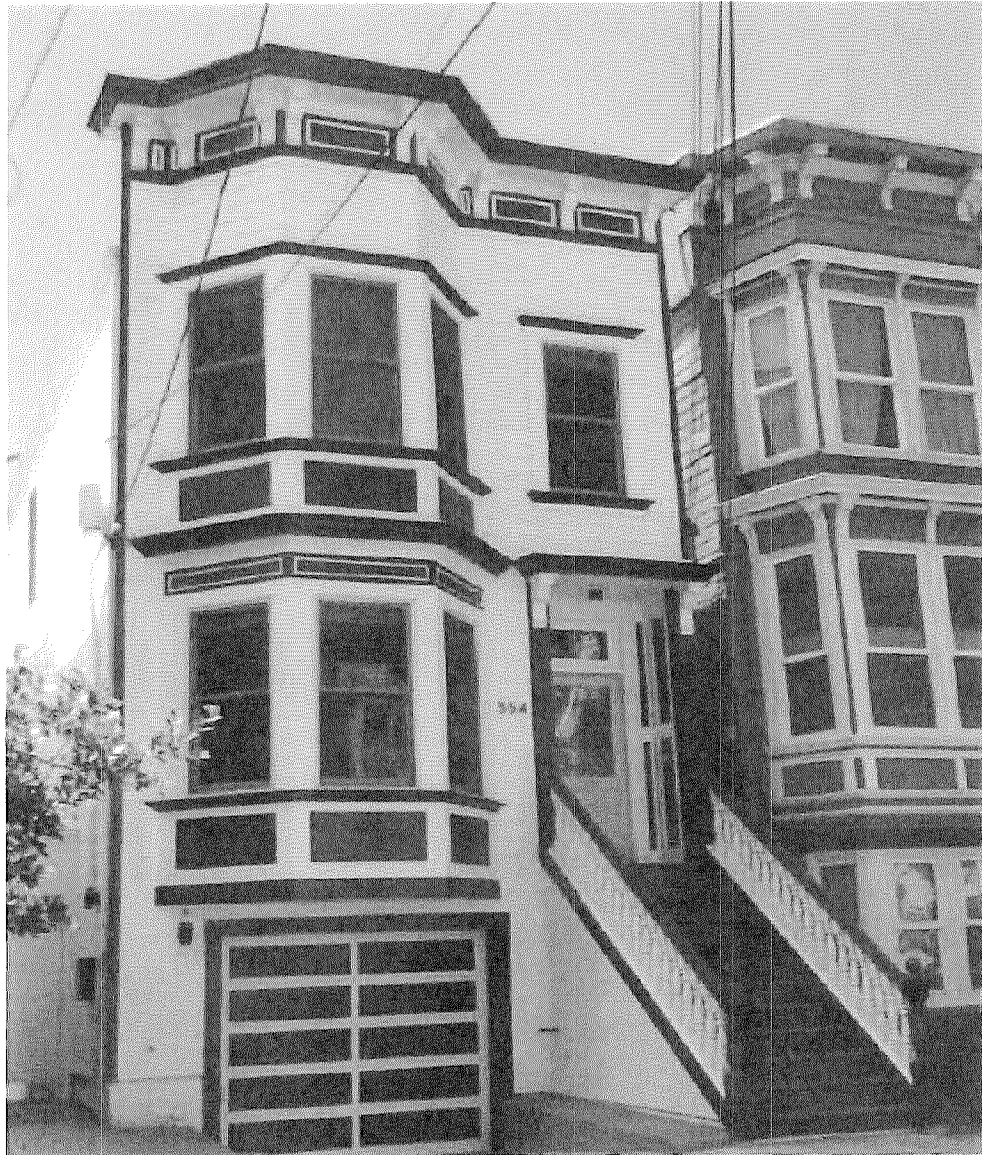
*Figure 1. Before image of 354-356 San Carlos St. taken in 2012. Front facade view looking east.*



*Figure 2. After image of 354-356 San Carlos taken in 2016. Front facade, view looking east.*



**Office of the Assessor / Recorder - City and County of San Francisco  
Mills Act Valuation**



354-356 San Carlos St  
3609-093

**OFFICE OF THE ASSESSOR-RECORDER - CITY & COUNTY OF SAN FRANCISCO  
MILLS ACT VALUATION**

<b>APN:</b>	3609-093	<b>Valuation Date:</b>	7/1/2018
<b>Address:</b>	354-356 San Carlos St	<b>Application Date:</b>	5/1/2018
<b>SF Landmark No.:</b>	N/A	<b>Application Term:</b>	1 year
<b>Applicant's Name:</b>	Joyjit & Preetha Nath	<b>Last Sale Date:</b>	8/29/2012
<b>Agt./Tax Rep./Atty:</b>	N/A	<b>Last Sale Price:</b>	\$1,100,000
<b>Fee Appraisal Provided:</b>	None provided		

FACTORED BASE YEAR (ROLL) VALUE		INCOME CAPITALIZATION APPROACH		SALES COMPARISON APPROACH	
Land	\$833,338	Land	\$693,997	Land	\$990,000
Imps.	\$709,844	Imps.	\$462,664	Imps.	\$660,000
Personal Prop	\$100	Personal Prop	\$100	Personal Prop	\$100
<b>Total</b>	<b>\$1,543,282</b>	<b>Total</b>	<b>\$1,156,661</b>	<b>Total</b>	<b>\$ 1,650,100</b>

**Property Description**

<b>Property Type:</b>	MRES	<b>Year Built:</b>	1900	<b>Neighborhood:</b>	Inner Mission
<b>Type of Use:</b>	Multi-family	<b>Total Rentable Area:</b>	2,070sf	<b>Land Area:</b>	1,611sf
<b>Owner-Occupied:</b>	Yes, One Unit	<b>Stories:</b>	3	<b>Zoning:</b>	RTO-M
<b>Unit Types:</b>	Residential	<b>Total No. of Units:</b>	2	<b>Parking Spaces:</b>	2-car garage

**Special Conditions**

Property underwent significant renovations in 2015-2016. This included a full seismic upgrade with new foundation, creating a new unit in existing storage space, combining existing two units into one and renovating kitchen, baths, adding bedrooms, moving stairs, etc.

**Conclusions and Recommendations**

	Per Unit	Per SF	Total
Factored Base Year Roll Value	\$771,641	\$746	\$1,543,282
Income Approach - Direct Capitalization	\$578,330	\$559	\$1,156,661
Sales Comparison Approach	\$825,050	\$797	\$1,650,100
<b>Recommended Value Estimate</b>	<b>\$578,330</b>	<b>\$559</b>	<b>\$1,156,661</b>

**Appraiser:** K Blackfield

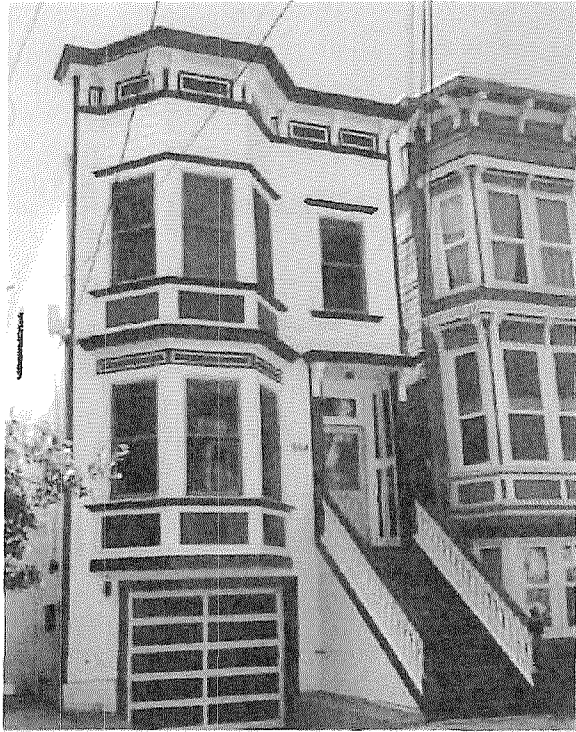
**Principal Appraiser:** C Hoffman

**Hearing Date:** 9/1/2018

**SUBJECT PHOTOGRAPHS AND LOCATOR MAP**

**Address: 354-356 San Carlos St**

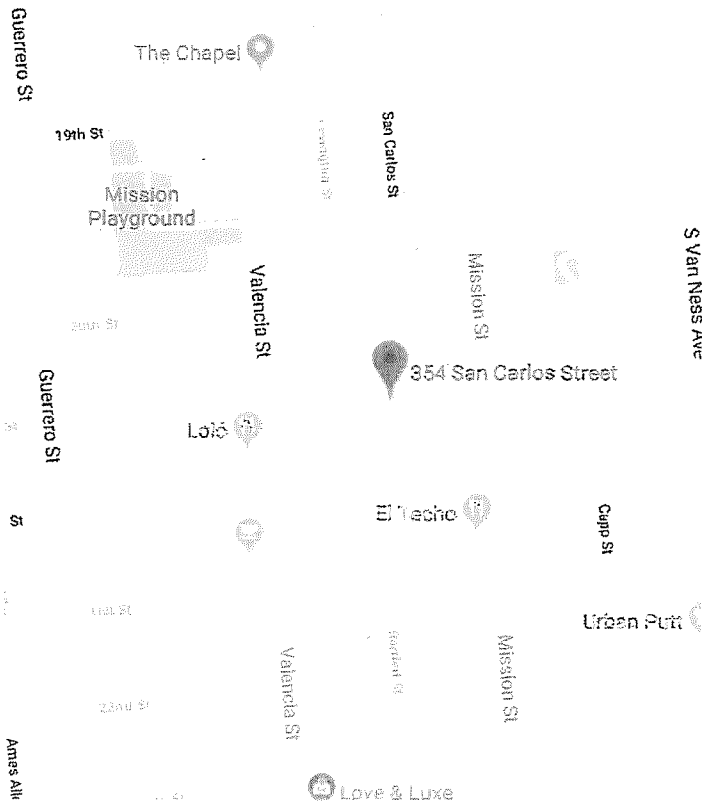
**APN: 3609-093**



After Renovations



Before Renovations



**INCOME APPROACH**

**Address:** 354-356 San Carlos St  
**APN:** 3609-093  
**Valuation Date:** 7/1/2018

	<u>Monthly Rent</u>		<u>Annualized</u>	
Potential Gross Income	\$10,975	x	12	\$131,700
Less: Vacancy & Collection Loss			3%	<u>(\$3,951)</u>
Effective Gross Income				\$127,749
Less: Anticipated Operating Expenses (Pre-Property Tax)			15%	<u>(\$19,162)</u>
<b>Net Operating Income (Pre-Property Tax)</b>				<b>\$108,587</b>

**Restricted Capitalization Rate**

2018 interest rate per State Board of Equalization		4.0000%	
Risk rate (4% owner occupied / 2% all other property types)		3.5490%	
2017 property tax rate **		1.1723%	
Amortization rate for improvements only			
Remaining economic life (Years)	60	0.0167	<u>0.6667%</u>
Improvements constitute % of total property value	40%		<b>9.3879%</b>

**RESTRICTED VALUE ESTIMATE**

**\$1,156,661**

**Rent Roll as of**

<u>Unit</u>	<u>Bdrm/Ba</u>	<u>SF</u>	<u>Move In Date</u>	<u>Contract/ Market Rent</u>	<u>Annual Rent</u>	<u>Annual Rent / Foot</u>
356	0/1	407	Unknown	\$2,475	\$29,700	\$73
354	3/2.5	1,663	O/O	\$8,500	\$102,000	\$61
<b>Totals:</b>		<b>2,070</b>		<b>\$10,975</b>	<b>\$131,700</b>	<b>\$64</b>

**Weighted Risk Rate - Owner-Occupied and Leased Units**

<u>Unit</u>	<u>SF</u>	<u>Occupancy</u>	<u>Rent</u>	<u>%</u>	<u>Risk Factor- Pre-Set Rate</u>	<u>=</u>	<u>Weighted Risk Rate</u>
356	407	Tenant- contract rent	\$2,475	22.6%	2.0000%	=	0.4510%
354	1663	Owner-Occupied	\$8,500	77.4%	4.0000%	=	3.0979%
			\$10,975				<b>3.5490%</b>



**Rent Comparables**

**Address:** 354-356 San Carlos St  
**Valuation Date:** 7/1/2018

**Three-bedroom Comps**

**Rental Comp #1**



**Address:** 2460 Folsom St  
**Distance from Subj:** .27 miles  
**SF:** 1400sf  
**Bed/Bath:** 3/2  
**Condition:** Average, Some updates  
**Parking Included:** Yes  
**Monthly Rent:** \$7,500  
**Monthly Rent/SF:** \$5.36

**Rental Comp #2**



**Address:** 601-603 Capp St  
**Distance from Subj:** .18 miles  
**SF:** 1250sf  
**Bed/Bath:** 3/1  
**Condition:** Good, updates  
**Monthly Rent:** \$7,500  
**Monthly Rent/SF:** \$4.40

**Rental Comp #3**



**Address:** 1167 Valencia St  
**Distance from Subj:** .24 miles  
**SF:** 1500sf  
**Bed/Bath:** 3/2  
**Condition:** Good, updates  
**Monthly Rent:** \$8,500  
**Monthly Rent/SF:** \$5.67

**Rental Comp #4**

No Photo

**Address:** Guerrero St  
**SF:** 1500sf  
**Bed/Bath:** 3/3  
**Condition:** Yes  
**Monthly Rent:** \$8,000  
**Monthly Rent/SF:** \$5.33

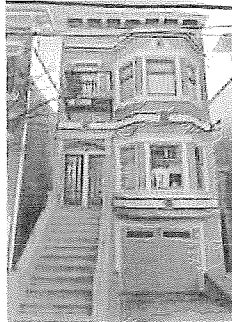
Monthly Rent  
 High: \$8,500  
 Low: \$7,500

Rent/SF  
 High: \$5.67  
 Low: \$4.40

Assessor Recommendation  
 \$5.25 monthly rent/sf  
 \$8,731 1663sf

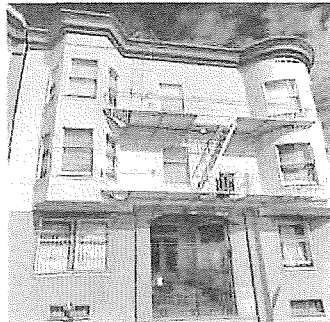
**Studio Comps**

**Rental Comp #5**



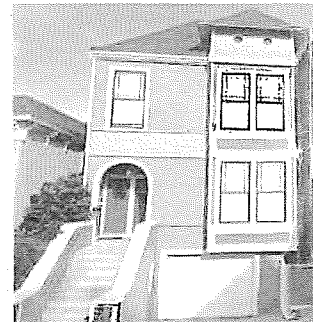
**Address:** 339B San Carlos St  
**Distance from Subj:** .01 mile  
**SF:** 432sf  
**Bed/Bath:** 0/1  
**Condition:** Average, Dated  
**Parking Included:** No  
**Monthly Rent:** \$2,250  
**Monthly Rent/SF:** \$5.21

**Rental Comp #6**



**Address:** 3476 18th St Apt 22  
**Distance from Subj:** .29 miles  
**SF:** Unknown  
**Bed/Bath:** 0/1  
**Condition:** Average, Dated  
**Parking Included:** No  
**Monthly Rent:** \$2,075  
**Monthly Rent/SF:** Unknown

**Rental Comp #7**



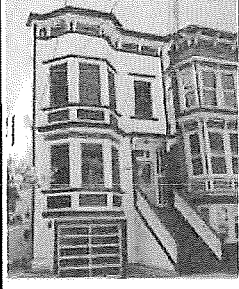



**Address:** 506A Liberty St  
**Distance from Subj:** .7 miles  
**SF:** Unknown  
**Bed/Bath:** 0/1  
**Condition:** No  
**Monthly Rent:** \$2,575  
**Monthly Rent/SF:** Unknown

Monthly Rent  
 High: \$2,575  
 Low: \$2,075

Rent/SF  
 High: Unknown  
 Low: Unknown

Assessor Recommendation  
 - monthly rent/sf  
 \$2,200 407sf

**SALES COMPARISON APPROACH**

	<b>Subject</b>	<b>Sale 1</b>	<b>Sale 2</b>	<b>Sale 3</b>			
<b>APN</b>	3609-093	4270-032A	4145-016B	6595-011			
							
<b>Address</b>	354-356 San Carlos St	2805-2807 Harrison St	2388-2390 Bryant St	1527-1529 Guerrero St			
<b>Sales Price</b>	\$1,100,000	\$1,430,000	\$1,790,000	\$1,725,000			
	Description	Description	Adjust.	Description	Adjust.	Description	Adjust.
<b>Date of Valuation/Sale</b>	07/01/18	03/05/18		03/23/18		04/03/18	
<b>Neighborhood</b>	Inner Mission	Inner Mission		Inner Mission		Noe Valley	
<b>Proximity to Subject</b>		.59 miles SE		.57 miles SE		.76 miles SW	
<b>Lot Size</b>	1,611	1,350		1,000		1,807	
<b>View</b>	None	None		None		Partial Hills	
<b>Year Built</b>	1900	1914		1902		1898	
<b>Condition</b>	Good, renovated	Good, renovated		Good, renovated		Good, renovated	
<b>Gross Living Area</b>	2,070	2,268		2,335		1,785	
<b>Total Units</b>	2	2		2		2	
<b>Income</b>	\$29,700 for 1 unit	\$13,485 for 1 unit		\$50,400 for 1 unit		\$37,140 for 1 unit	
<b>Studios</b>	1	0		0		0	
<b>1-Bed</b>	0	0		0		1	
<b>2-Bed</b>	0	2		1		1	
<b>3-Bed</b>	1	0		1		0	
<b>Bathrooms</b>	3 full and 1 half	3 full and 1 half		3 full		2 full	
<b>Parking</b>	2-car garage	None	\$100,000	None	\$100,000	2-car garage	
<b>Net Adjustments</b>			\$100,000		\$100,000		\$0
<b>Indicated Value</b>			\$1,530,000		\$1,890,000		\$1,725,000
<b>Adjust. \$ Per Unit</b>			\$765,000		\$945,000		\$862,500
<b>Adjust. \$ Per Sq. Ft.</b>			\$675		\$809		\$966

**VALUE RANGE:**                      Low  
**PER UNIT VALUE RANGE:**      \$1,530,000                      \$765,000

High  
 \$1,890,000                      \$945,000

**VALUE CONCLUSION:**                      \$1,650,000

**Adjustments (Rounded to the Nearest \$1,000):**

\$100,000 adj on Comps 1 and 2 for lack of garage parking.



# SAN FRANCISCO PLANNING DEPARTMENT

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## PRE-APPROVAL INSPECTION REPORT

*Report Date:* May 17, 2018  
*Inspection Date:* May 17, 2017; 3:00pm  
*Filing Date:* May 1, 2018  
*Case No.:* 2018-006794MLS  
*Project Address:* 354-356 San Carlos Street  
*Block/Lot:* 3609/093  
*Eligibility:* Contributor to Liberty Hill Historic District  
*Zoning:* RTO-M – Residential Transit Oriented - Mission  
*Height & Bulk:* 40X  
*Supervisor District:* District 9 (Hillary Ronen)  
*Project Sponsor:* Joyjit Nath, Preetha Nath  
*Address:* 354 San Carlos Street  
San Francisco, CA 94110  
415-633-6816  
joyjit@infotune.com, preetha@gmail.com  
*Staff Contact:* Shannon Ferguson – (415) 575-9074  
shannon.ferguson@sfgov.org  
*Reviewed By:* Tim Frye – (415) 575-6822  
tim.frye@sfgov.org

1650 Mission St.  
Suite 400  
San Francisco,  
CA 94103-2479

Reception:  
**415.558.6378**

Fax:  
**415.558.6409**

Planning  
Information:  
**415.558.6377**

### PRE-INSPECTION

- Application fee paid
  
- Record of calls or e-mails to applicant to schedule pre-contract inspection

**INSPECTION OVERVIEW**

Date and time of inspection: May 17, 2018; 3:00pm

Parties present: Shannon Ferguson, Joyjit and Preetha Nath

- Provide applicant with business cards
- Inform applicant of contract cancellation policy
- Inform applicant of monitoring process

Inspect property. If multi-family or commercial building, inspection included a:

- Thorough sample of units/spaces
- Representative
- Limited
- Review any recently completed and in progress work to confirm compliance with Contract. n/a
- Review areas of proposed work to ensure compliance with Contract.
- Review proposed maintenance work to ensure compliance with Contract.
- Identify and photograph any existing, non-compliant features to be returned to original condition during contract period. n/a

- Yes     No    Does the application and documentation accurately reflect the property's existing condition? If no, items/issues noted:
- Yes     No    Does the proposed scope of work appear to meet the Secretary of the Interior's Standards? If no, items/issues noted: See below
- Yes     No    Does the property meet the exemption criteria, including architectural style, work of a master architect, important persons or danger of deterioration or demolition without rehabilitation? If no, items/issues noted: n/a
- Yes     No    Conditions for approval? If yes, see below.

## NOTES

354-356 San Carlos Street (District 9) is located on the west side of San Carlos Street between 20<sup>th</sup> and 21<sup>st</sup> streets, Assessor's Block 3609, Lot 093. The subject property is located within the RTO-M – Residential Transit Oriented - Mission zoning district and 40X Height and Bulk district. The subject property is a potential contributor to Liberty Hill Historic District. It is a three-story wood-frame, two-family residential building designed in the Italianate style and was built in 1877 by The Real Estate Associates (T.R.E.A.).

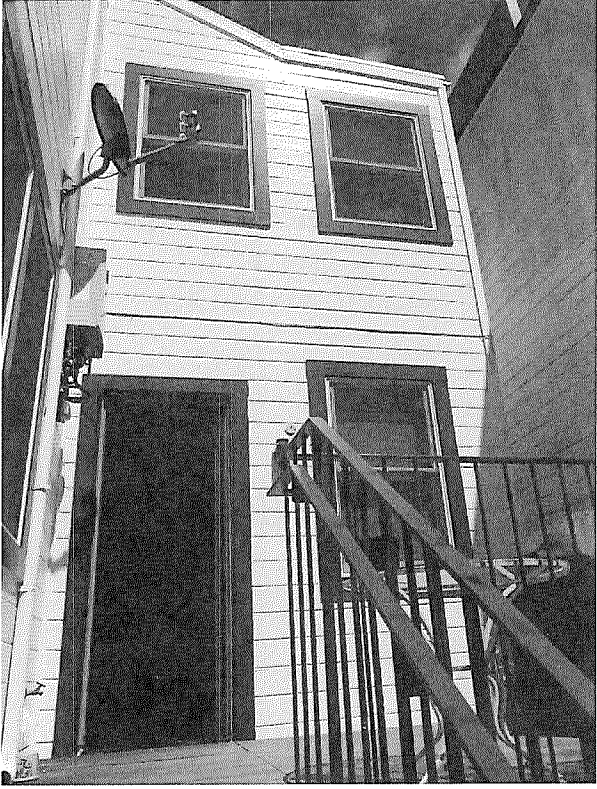
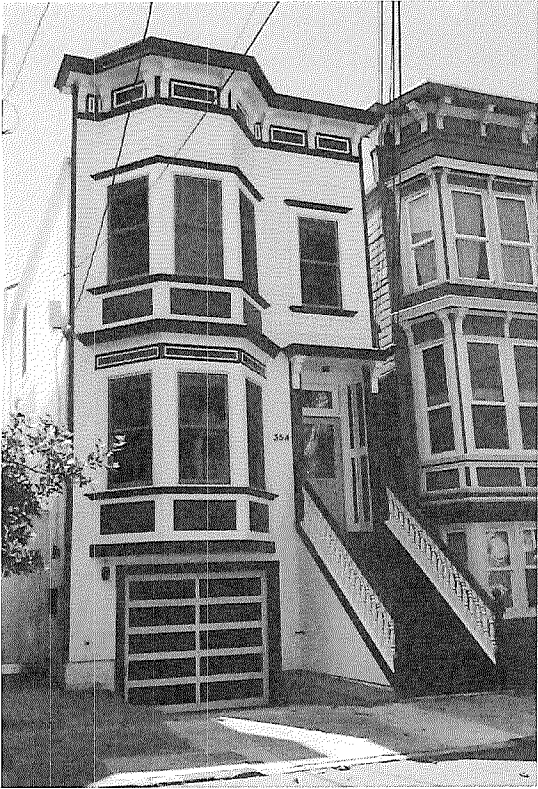
The subject property is currently valued by the Assessor's Office at under \$3,000,000. Therefore, an exemption from the tax assessment value is not required.

Rehabilitation work was completed in 2015-2016. Completed work includes removal of non-historic stucco; repair/restoration of wood siding, trim and decorative features; replacement of aluminum windows with compatible windows at the front facade; repair of remaining historic wood windows; exterior painting; new wood stair; and foundation and structural work. The applicant proposes to replace the roof with an estimated cost of \$50,000.

The maintenance plan proposes annual inspections and any necessary repairs of the wood siding, trim, and decorative features, windows, wood stair, foundation, and roof with an estimated cost of \$1,200 annually.

- Rehabilitation work was completed in 2015-2016.

PHOTOGRAPHS



# MILLS ACT HISTORICAL PROPERTY CONTRACT Application Checklist:

Applicant should complete this checklist and submit along with the application to ensure that all necessary materials have been provided. Saying "No" to any of the following questions may nullify the timelines established in this application.

1	<b>Mills Act Application</b> Has each property owner signed? Has each signature been notarized?	YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>
2	<b>High Property Value Exemption Form &amp; Historic Structure Report</b> Required for Residential properties with an assessed value over \$3,000,000 and Commercial/Industrial properties with an assessed value over \$5,000,000. Have you included a copy of the Historic Structures Report completed by a qualified consultant?	YES <input type="checkbox"/> NO <input type="checkbox"/> N/A <input checked="" type="checkbox"/>
3	<b>Draft Mills Act Historical Property Contract</b> Are you using the Planning Department's standard "Historical Property Contract?" Have all owners signed and dated the contract? Have all signatures been notarized?	YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>
4	<b>Notary Acknowledgement Form</b> Is the Acknowledgement Form complete? Do the signatures match the names and capacities of signers?	YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>
5	<b>Draft Rehabilitation/Restoration/Maintenance Plan</b> Have you identified and completed the Rehabilitation, Restoration, and Maintenance Plan organized by contract year, including all supporting documentation related to the scopes of work?	YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>
6	<b>Photographic Documentation</b> Have you provided both interior and exterior images (either digital, printed, or on a CD)? Are the images properly labeled?	YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>
7	<b>Site Plan</b> Does your site plan show all buildings on the property including lot boundary lines, street name(s), north arrow and dimensions?	YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>
8	<b>Tax Bill</b> Did you include a copy of your most recent tax bill?	YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>
9	<b>Rental Income Information</b> Did you include information regarding any rental income on the property, including anticipated annual expenses, such as utilities, garage, insurance, building maintenance, etc.?	YES <input type="checkbox"/> NO <input type="checkbox"/> N/A <input checked="" type="checkbox"/>
10	<b>Payment</b> Did you include a check payable to the San Francisco Planning Department? Current application fees can be found on the Planning Department Fee Schedule under Preservation Applications.	YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>
11	<b>Recordation Requirements</b> A Board of Supervisors approved and fully executed Mills Act Historical Property contract must be recorded with the Assessor-Recorder. The contract must be <u>accompanied</u> by the following in order to meet recording requirements: - All approvals, signatures, recordation attachments - Fee: Check payable to the Office of the Assessor-Recorder" in the appropriate recording fee amount. Please visit <a href="http://www.sfassessor.org">www.sfassessor.org</a> for an up-to-date fee schedule for property contracts. - Preliminary Change of Ownership Report (PCOR). Please visit <a href="http://www.sfassessor.org">www.sfassessor.org</a> for an up-to-date PCOR (see example on page 20).	YES <input type="checkbox"/> NO <input type="checkbox"/>

# APPLICATION FOR Mills Act Historical Property Contract

Applications must be submitted in both hard copy and digital copy form to the Planning Department at 1650 Mission St., Suite 400 by May 1st in order to comply with the timelines established in the Application Guide. Please submit only the Application and required documents.

## 1. Owner/Applicant Information (If more than three owners, attach additional sheets as necessary.)

PROPERTY OWNER 1 NAME: <b>JOYJIT NATH</b>	TELEPHONE: <b>(415) 373-6816</b>
PROPERTY OWNER 1 ADDRESS: <b>354 SAN CARLOS ST. SF 94110</b>	EMAIL: <b>joyjit@infotune.com</b>
PROPERTY OWNER 2 NAME: <b>PREETHA NATH</b>	TELEPHONE: <b>415 633-6816</b>
PROPERTY OWNER 2 ADDRESS: <b>354 SAN CARLOS ST. SF 94110</b>	EMAIL: <b>preetha@gmail.com</b>
PROPERTY OWNER 3 NAME:	TELEPHONE: ( )
PROPERTY OWNER 3 ADDRESS:	EMAIL:

## 2. Subject Property Information

PROPERTY ADDRESS: <b>354-356 SAN CARLOS ST.</b>	ZIP CODE: <b>94110</b>
PROPERTY PURCHASE DATE: <b>29 AUGUST 2012</b>	ASSESSOR BLOCK/LOT(S): <b>3609 / 093</b>
MOST RECENT ASSESSED VALUE: <b>\$1,473,241</b>	ZONING DISTRICT: <b>RTO-M</b>

Are taxes on all property owned within the City and County of San Francisco paid to date?	YES <input checked="" type="checkbox"/>	NO <input type="checkbox"/>
Is the entire property owner-occupied? If No, please provide an approximate square footage for owner-occupied areas vs. rental income (non-owner-occupied areas) on a separate sheet of paper.	YES <input checked="" type="checkbox"/>	NO <input type="checkbox"/>
Do you own other property in the City and County of San Francisco? If Yes, please list the addresses for all other property owned within the City of San Francisco on a separate sheet of paper.	YES <input type="checkbox"/>	NO <input checked="" type="checkbox"/>
Are there any outstanding enforcement cases on the property from the San Francisco Planning Department or the Department of Building Inspection? If Yes, all outstanding enforcement cases must be abated and closed for eligibility for the Mills Act.	YES <input type="checkbox"/>	NO <input checked="" type="checkbox"/>

I/we am/are the present owner(s) of the property described above and hereby apply for an historical property contract. By signing below, I affirm that all information provided in this application is true and correct. I further swear and affirm that false information will be subject to penalty and revocation of the Mills Act Contract.

Owner Signature:  Date: 10/14/17  
 Owner Signature:  Date: 10/14/17  
 Owner Signature: \_\_\_\_\_ Date: \_\_\_\_\_



3. Property Value Eligibility:

Choose one of the following options:

The property is a Residential Building valued at less than \$3,000,000.	YES <input checked="" type="checkbox"/>	NO <input type="checkbox"/>
The property is a Commercial/Industrial Building valued at less than \$5,000,000.	YES <input type="checkbox"/>	NO <input checked="" type="checkbox"/>

\*If the property value exceeds these options, please complete the following: Application of Exemption.

Application for Exemption from Property Tax Valuation

If answered "no" to either question above please explain on a separate sheet of paper, how the property meets the following two criteria and why it should be exempt from the property tax valuations.

1. The site, building, or object, or structure is a particularly significant resource and represents an exceptional example of an architectural style, the work of a master, or is associated with the lives of significant persons or events important to local or natural history; or
2. Granting the exemption will assist in the preservation of a site, building, or object, or structure that would otherwise be in danger of demolition, substantial alteration, or disrepair. (A Historic Structures Report, completed by a qualified historic preservation consultant, must be submitted in order to meet this requirement.)

4. Property Tax Bill



All property owners are required to attach a copy of their recent property tax bill.

PROPERTY OWNER NAMES: JOYJIT NATH PREETHA NATH
MOST RECENT ASSESSED PROPERTY VALUE: \$1,473,241
PROPERTY ADDRESS: 354-356 SAN CARLOS ST. SF 94110

5. Other Information

All property owners are required to attach a copy of all other information as outlined in the checklist on page 7 of this application.

By signing below, I/we acknowledge that I/we am/are the owner(s) of the structure referenced above and by applying for exemption from the limitations certify, under the penalty of perjury, that the information attached and provided is accurate.

Owner Signature:  Date: 10/14/17  
Owner Signature:  Date: 10/14/17  
Owner Signature: \_\_\_\_\_ Date: \_\_\_\_\_

5. Rehabilitation/Restoration & Maintenance Plan

A 10 Year Rehabilitation/Restoration Plan has been submitted detailing work to be performed on the subject property YES  NO

A 10 Year Maintenance Plan has been submitted detailing work to be performed on the subject property YES  NO

Proposed work will meet the *Secretary of the Interior's Standards for the Treatment of Historic Properties* and/or the California Historic Building Code. YES  NO

Property owner will ensure that a portion of the Mills Act tax savings will be used to finance the preservation, rehabilitation, and maintenance of the property YES  NO

Use this form to outline your rehabilitation/restoration plan. Copy this page as necessary to include all items that apply to your property. Begin by listing recently completed rehabilitation work (if applicable) and continue with work you propose to complete within the next ten years, followed by your proposed maintenance work. Arranging all scopes of work in order of priority.

Please note that *all applicable Codes and Guidelines apply to all work*, including the Planning Code and Building Code. If components of the proposed Plan require approvals by the Historic Preservation Commission, Planning Commission, Zoning Administrator, or any other government body, these approvals must be secured prior to applying for a Mills Act Historical Property Contract. This plan will be included along with any other supporting documents as part of the Mills Act Historical Property contract.

# _____ (Provide a scope number)	BUILDING FEATURE:		
Rehab/Restoration <input type="checkbox"/>	Maintenance <input type="checkbox"/>	Completed <input type="checkbox"/>	Proposed <input type="checkbox"/>
CONTRACT YEAR FOR WORK COMPLETION:			
TOTAL COST (rounded to nearest dollar):			
DESCRIPTION OF WORK:			
SEE ATTACHED.			

Draft Rehabilitation/Restoration/Maintenance Plan (Continued) **SEE ATTACHED**

# _____ (Provide a scope number)	BUILDING FEATURE:
Rehab/Restoration <input type="checkbox"/>	Maintenance <input type="checkbox"/> Completed <input type="checkbox"/> Proposed <input type="checkbox"/>
CONTRACT YEAR WORK COMPLETION:	
TOTAL COST (rounded to nearest dollar):	
DESCRIPTION OF WORK:	

# _____ (Provide a scope number)	BUILDING FEATURE:
Rehab/Restoration <input type="checkbox"/>	Maintenance <input type="checkbox"/> Completed <input type="checkbox"/> Proposed <input type="checkbox"/>
CONTRACT YEAR WORK COMPLETION:	
TOTAL COST (rounded to nearest dollar):	
DESCRIPTION OF WORK:	

# _____ (Provide a scope number)	BUILDING FEATURE:
Rehab/Restoration <input type="checkbox"/>	Maintenance <input type="checkbox"/> Completed <input type="checkbox"/> Proposed <input type="checkbox"/>
CONTRACT YEAR WORK COMPLETION:	
TOTAL COST (rounded to nearest dollar):	
DESCRIPTION OF WORK:	

## Exhibit A: Rehabilitation/Restoration Plan for 354-356 San Carlos Street

### #1 Building Feature: Removal of non-original stucco and other features

Rehab/Restoration  Maintenance  Completed  Proposed

Contract Year Work Completion: 2016

Total Cost: \$25,000

#### Description of Work:

Non-original stucco was carefully removed from the front façade of the building to reveal the original wood siding. Non-original windows were removed from the house. The non-original stair and site work at the front of the building was also removed. Best preservation practices were utilized to protect existing features to remain from damage. Work was performed by qualified persons with experience with historic buildings.

### #2 Building Feature: Horizontal wood siding, wood trim and wood decorative features

Rehab/Restoration  Maintenance  Completed  Proposed

Contract Year Work Completion: 2016

Total Cost: \$41,000

#### Description of Work:

Once the stucco was removed all exterior wood elements were evaluated for repair. Missing elements were recreated to match existing similar. Broken elements were repaired with a wood patch if larger than 2" or epoxy if smaller. All rot was removed and patched or repaired. Best preservation practices were utilized. Work was performed by qualified persons with experience with historic wood elements.

### #3 Building Feature: Wood Windows

Rehab/Restoration  Maintenance  Completed  Proposed

Contract Year Work Completion: 2016

Total Cost: \$38,000

#### Description of Work:

Most of the windows were non-original and removed and replaced with new to match the existing original. The original wood windows were repaired in place. Each one was inspected for operation and deterioration. Wood was repaired by Dutchman patch or epoxy and repainted. Glass was replaced where necessary. Ropes and hardware were replaced where missing or broken. Sealants and weather-stripping was installed to be minimally visible. Best preservation practices were utilized. Work was performed by qualified persons with experience with historic wood windows and was in conformance with NPS Preservation Brief #9 *The Repair of Historic Wooden Windows*.

### #4 Building Feature: Exterior paint

Rehab/Restoration  Maintenance  Completed  Proposed

Contract Year Work Completion: 2016

Total Cost: \$25,000

#### Description of Work:

The entire house was repainted once repairs were completed. Best preservation practices were utilized. Work was performed by qualified persons with experience with historic

buildings and in conformance with NPS Preservation Brief #10 *Exterior Paint Problems on Historic Woodwork*.

#5 Building Feature: New wood stair

Rehab/Restoration  Maintenance  Completed  Proposed

Contract Year Work Completion: 2016

Total Cost: \$15,000

Description of Work:

The non-original stair was replaced with a reconstruction of the original. Best preservation practices were utilized. Work was performed by qualified persons with experience with historic buildings.

#6 Building Feature: Foundation and Structural work

Rehab/Restoration  Maintenance  Completed  Proposed

Contract Year Work Completion: 2016

Total Cost: \$173,000

Description of Work:

The project included a full seismic upgrade with a new concrete slab and foundation on the ground floor and shear walls on the upper floors. Two moment frames were also installed. Best preservation practices were utilized to protect existing features to remain from damage. Work was performed by qualified persons with experience with historic buildings.

#7 Building Feature: Roof

Rehab/Restoration  Maintenance  Completed  Proposed

Contract Year Work Completion: 2022

Total Cost: \$50,000-100,000

Description of Work:

The roof is nearing the end of its material life and is due to be replaced. The size, shape and configuration of the roof will be retained. Best preservation practices will be utilized during installation of the new roofing material to protect existing features to remain from damage. Work will be performed by qualified persons with experience with historic buildings.

## **Exhibit B: Maintenance Plan for 354-356 San Carlos Street**

### #8 Building Feature: Roof, gutters and drains

Rehab/Restoration  Maintenance  Completed  Proposed

Contract Year Work Completion: Annually

Total Cost: \$500

#### Description of Work:

The roof, gutters and drains are to be inspected and cleaned every year. Debris is to be removed. Standing water is to be drained and the drainage issue resolved. Material deterioration is to be repaired. Drain and gutter attachments are to be checked and reattached if necessary. Evidence of leaks or standing water are to be addressed. Best preservation practices will be utilized during inspection to protect existing features from damage. Work will be performed by qualified persons with experience with historic buildings.

### #9 Building Feature: Wood Windows

Rehab/Restoration  Maintenance  Completed  Proposed

Contract Year Work Completion: Annually

Total Cost: \$500

#### Description of Work:

The interior and exterior of the windows will be cleaned annually by hand. Limited water will be used. There will be no power washing. Each window will be checked for operation as much as possible but annually at a minimum. The replacement windows will be under warranty for at least ten years. Any issues will be brought to the attention of the manufacturer or installer for resolution. Maintenance will conform to manufacturer's instructions. Any issue with the original windows, such as broken sash cord or detached weight will be addressed by qualified persons with experience with historic wood windows and in conformance with NPS Preservation Brief #9 *The Repair of Historic Wooden Windows*. Any sign of water on the interior of any of the windows will be addressed immediately. Hardware for windows will be lubricated as necessary or as described by the manufacturer.

### #10 Building Feature: Foundation and structure

Rehab/Restoration  Maintenance  Completed  Proposed

Contract Year Work Completion: Annually

Total Cost: \$100

#### Description of Work:

Each year the building will be inspected for cracks. Any cracks found in the concrete foundation or slab or diagonal cracks found on the interior drywall will be recorded. A crack gauge will be installed on cracks larger than a 1/4". If movement is recorded a structural engineer will be brought in to determine cause.

### #11 Building Feature: Wood stairs

Rehab/Restoration  Maintenance  Completed  Proposed

Contract Year Work Completion: Annually

Total Cost: \$500

Description of Work:

The painted wood stair will be cleaned every year. Careful pressure washing is ok if best preservation practices are utilized to protect other features from damage and work is performed by qualified persons with experience with historic buildings. Repaint where paint is failing. The underside of stairs will be inspected for mold and rot. If found, the wood will be repaired or replaced.

#12 Building Feature: Horizontal wood siding, wood trim and wood decorative features

Rehab/Restoration  Maintenance  Completed  Proposed

Contract Year Work Completion: Every five years

Total Cost: \$500

Description of Work:

The exterior wood features have been recently repaired and painted. There should be no reason to repaint the building for at least twenty years. Should the paint show failure in any location a qualified person with experience with historic buildings will assess the cause of the problem in conformance with NPS Preservation Brief #10 *Exterior Paint Problems on Historic Woodwork*. Every five years the exterior wood work will be very gently cleaned of dirt and debris by hand and without the use of excessive water. The work will be performed by qualified persons with experience with historic buildings.

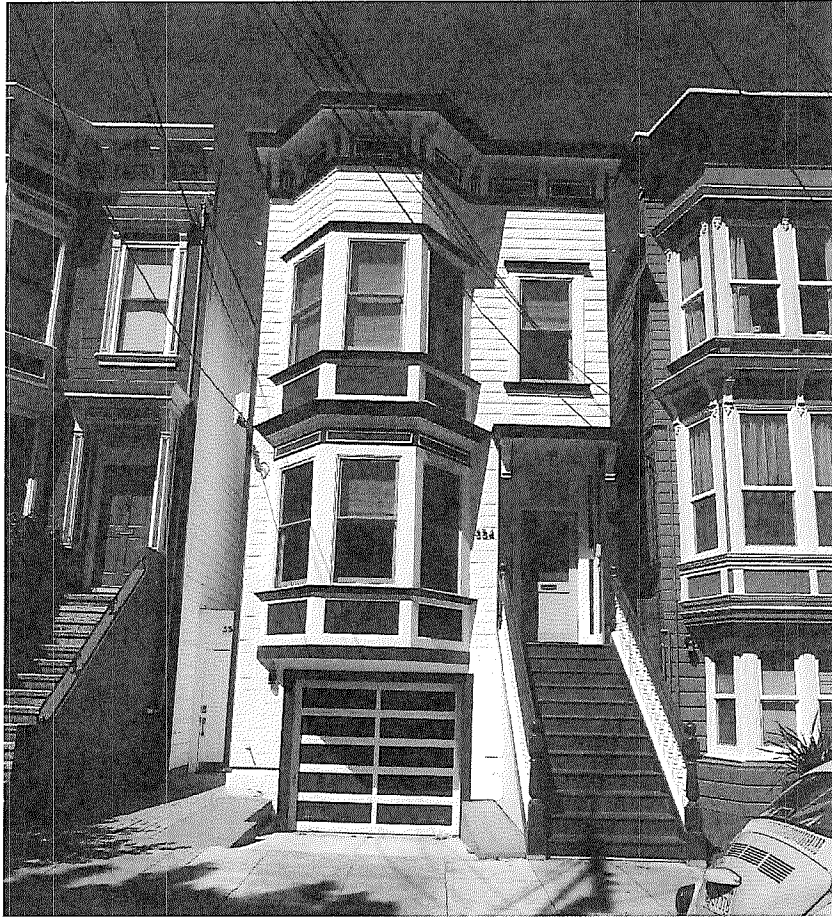
## 7. Other Information

### Photographs



*Figure 1. Before image of 354-356 San Carlos St. taken in 2012. Front facade view looking east.*





*Figure 2. After image of 354-356 San Carlos taken in 2016. Front facade, view looking east.*

## 6. Draft Mills Act Historical Property Agreement

Please complete the following Draft Mills Act Historical Property Agreement and submit with your application. A final Mills Act Historical Property Agreement will be issued by the City Attorney once the Board of Supervisors approves the contract. The contract is not in effect until it is fully executed and recorded with the Office of the Assessor-Recorder.

Any modifications made to this standard City contract by the applicant or if an independently-prepared contract is used, it shall be subject to approval by the City Attorney prior to consideration by the Historic Preservation Commission and the Board of Supervisors. This will result in additional application processing time and the timeline provided in the application will be nullified.

Recording Requested by,  
and when recorded, send notice to:  
Director of Planning  
1650 Mission Street  
San Francisco, California 94103-2414

California Mills Act Historical Property Agreement

PROPERTY NAME (IF ANY)

354-356 SAN CARLOS ST.

PROPERTY ADDRESS

San Francisco, California

THIS AGREEMENT is entered into by and between the City and County of San Francisco, a California municipal corporation ("City") and JOYJIT AND PREETHA NATH ("Owner/s").

RECITALS

Owners are the owners of the property located at 354-356 SAN CARLOS ST., in San Francisco, California  
3609 1 093. The building located at 354-356 SAN CARLOS ST.

BLOCK NUMBER

LOT NUMBER

PROPERTY ADDRESS

is designated as CONTRIBUTOR TO LIBERTY HILL HISTORIC DISTRICT (e.g. "a City Landmark pursuant to Article 10 of the Planning Code") and is also known as the

HISTORIC NAME OF PROPERTY (IF ANY)

Owners desire to execute a rehabilitation and ongoing maintenance project for the Historic Property. Owners' application calls for the rehabilitation and restoration of the Historic Property according to established preservation standards, which it estimates will cost approximately THREE HUNDRED FORTY THOUSAND (\$ 340,000 ). See Rehabilitation Plan, Exhibit A.

AMOUNT IN WORD FORMAT

AMOUNT IN NUMERICAL FORMAT

Owners' application calls for the maintenance of the Historic Property according to established preservation standards, which is estimated will cost approximately SIXTY THOUSAND (\$ 60,000 ) annually. See Maintenance Plan, Exhibit B.

AMOUNT IN WORD FORMAT

AMOUNT IN NUMERICAL FORMAT

The State of California has adopted the "Mills Act" (California Government Code Sections 50280-50290, and California Revenue & Taxation Code, Article 1.9 [Section 439 et seq.] authorizing local governments to enter into agreements with property owners to potentially reduce their property taxes in return for improvement to and maintenance of historic properties. The City has adopted enabling legislation, San Francisco Administrative Code Chapter 71, authorizing it to participate in the Mills Act program.

Owners desire to enter into a Mills Act Agreement (also referred to as a "Historic Property Agreement") with the City to help mitigate its anticipated expenditures to restore and maintain the Historic Property. The City is willing to enter into such Agreement to mitigate these expenditures and to induce Owners to restore and maintain the Historic Property in excellent condition in the future.

NOW, THEREFORE, in consideration of the mutual obligations, covenants, and conditions contained herein, the parties hereto do agree as follows:

## 1. Application of Mills Act.

The benefits, privileges, restrictions and obligations provided for in the Mills Act shall be applied to the Historic Property during the time that this Agreement is in effect commencing from the date of recordation of this Agreement.

## 2. Rehabilitation of the Historic Property.

Owners shall undertake and complete the work set forth in Exhibit A ("Rehabilitation Plan") attached hereto according to certain standards and requirements. Such standards and requirements shall include, but not be limited to: the Secretary of the Interior's Standards for the Treatment of Historic Properties ("Secretary's Standards"); the rules and regulations of the Office of Historic Preservation of the California Department of Parks and Recreation ("OHP Rules and Regulations"); the State Historical Building Code as determined applicable by the City; all applicable building safety standards; and the requirements of the Historic Preservation Commission, the Planning Commission, and the Board of Supervisors, including but not limited to any Certificates of Appropriateness approved under Planning Code Article 10. The Owners shall proceed diligently in applying for any necessary permits for the work and shall apply for such permits not less than six (6) months after recordation of this Agreement, shall commence the work within six (6) months of receipt of necessary permits, and shall complete the work within three (3) years from the date of receipt of permits. Upon written request by the Owners, the Zoning Administrator, at his or her discretion, may grant an extension of the time periods set forth in this paragraph. Owners may apply for an extension by a letter to the Zoning Administrator, and the Zoning Administrator may grant the extension by letter without a hearing. Work shall be deemed complete when the Director of Planning determines that the Historic Property has been rehabilitated in accordance with the standards set forth in this Paragraph. Failure to timely complete the work shall result in cancellation of this Agreement as set forth in Paragraphs 13 and 14 herein.

## 3. Maintenance.

Owners shall maintain the Historic Property during the time this Agreement is in effect in accordance with the standards for maintenance set forth in Exhibit B ("Maintenance Plan"), the Secretary's Standards; the OHP Rules and Regulations; the State Historical Building Code as determined applicable by the City; all applicable building safety standards; and the requirements of the Historic Preservation Commission, the Planning Commission, and the Board of Supervisors, including but not limited to any Certificates of Appropriateness approved under Planning Code Article 10.

## 4. Damage.

Should the Historic Property incur damage from any cause whatsoever, which damages fifty percent (50%) or less of the Historic Property, Owners shall replace and repair the damaged area(s) of the Historic Property. For repairs that do not require a permit, Owners shall commence the repair work within thirty (30) days of incurring the damage and shall diligently prosecute the repair to completion within a reasonable period of time, as determined by the City. Where specialized services are required due to the nature of the work and the historic character of the features damaged, "commence the repair work" within the meaning of this paragraph may include contracting for repair services. For repairs that require a permit(s), Owners shall proceed diligently in applying for any necessary permits for the work and shall apply for such permits not less than sixty (60) days after the damage has been incurred, commence the repair work within one hundred twenty (120) days of receipt of the required permit(s), and shall diligently prosecute the repair to completion within a reasonable period of time, as determined by the City. Upon written request by the Owners, the Zoning Administrator, at his or her discretion, may grant an extension of the time periods set forth in this paragraph. Owners may apply for an extension by a letter to the Zoning Administrator, and the Zoning Administrator may grant the extension by letter without a hearing. All repair work shall comply with the design and standards established for the Historic Property in Exhibits A and B attached hereto and Paragraph 3 herein. In the case of damage to twenty percent (20%) or more of the Historic Property due to a catastrophic event, such as an earthquake, or in the case of damage from any cause whatsoever that destroys more than fifty percent (50%) of the Historic Property, the City and Owners may mutually agree to terminate this Agreement. Upon such termination, Owners shall not be obligated to pay the cancellation fee set forth in Paragraph 14 of this Agreement. Upon such termination, the City shall assess the full value of the Historic Property without regard to any restriction imposed upon the Historic Property by this Agreement and Owners shall pay property taxes to the City based upon the valuation of the Historic Property as of the date of termination.

## 5. Insurance.

Owners shall secure adequate property insurance to meet Owners' repair and replacement obligations under this Agreement and shall submit evidence of such insurance to the City upon request.

## 6. Inspections.

Owners shall permit periodic examination of the exterior and interior of the Historic Property by representatives of the Historic Preservation Commission, the City's Assessor, the Department of Building Inspection, the Planning Department, the Office of Historic Preservation of the California Department of Parks and Recreation, and the State Board of Equalization, upon seventy-two (72) hours advance notice, to monitor Owners' compliance with the terms of this Agreement. Owners shall provide all reasonable information and documentation about the Historic Property demonstrating compliance with this Agreement as requested by any of the above-referenced representatives.

## 7. Term.

This Agreement shall be effective upon the date of its recordation and shall be in effect for a term of ten years from such date ("Initial Term"). As provided in Government Code section 50282, one year shall be added automatically to the Initial Term, on each anniversary date of this Agreement, unless notice of nonrenewal is given as set forth in Paragraph 10 herein.

## 8. Valuation.

Pursuant to Section 439.4 of the California Revenue and Taxation Code, as amended from time to time, this Agreement must have been signed, accepted and recorded on or before the lien date (January 1) for a fiscal year (the following July 1-June 30) for the Historic Property to be valued under the taxation provisions of the Mills Act for that fiscal year.

## 9. Termination.

In the event Owners terminates this Agreement during the Initial Term, Owners shall pay the Cancellation Fee as set forth in Paragraph 15 herein. In addition, the City Assessor-Recorder shall determine the fair market value of the Historic Property without regard to any restriction imposed on the Historic Property by this Agreement and shall reassess the property taxes payable for the fair market value of the Historic Property as of the date of Termination without regard to any restrictions imposed on the Historic Property by this Agreement. Such reassessment of the property taxes for the Historic Property shall be effective and payable six (6) months from the date of Termination.

## 10. Notice of Nonrenewal.

If in any year after the Initial Term of this Agreement has expired either the Owners or the City desires not to renew this Agreement that party shall serve written notice on the other party in advance of the annual renewal date. Unless the Owners serves written notice to the City at least ninety (90) days prior to the date of renewal or the City serves written notice to the Owners sixty (60) days prior to the date of renewal, one year shall be automatically added to the term of the Agreement. The Board of Supervisors shall make the City's determination that this Agreement shall not be renewed and shall send a notice of nonrenewal to the Owners. Upon receipt by the Owners of a notice of nonrenewal from the City, Owners may make a written protest. At any time prior to the renewal date, City may withdraw its notice of nonrenewal. If in any year after the expiration of the Initial Term of the Agreement, either party serves notice of nonrenewal of this Agreement, this Agreement shall remain in effect for the balance of the period remaining since the execution of the last renewal of the Agreement.

## 11. Payment of Fees.

Within one month of the execution of this Agreement, City shall tender to Owners a written accounting of its reasonable costs related to the preparation and approval of the Agreement as provided for in Government Code Section 50281.1 and San Francisco Administrative Code Section 71.6. Owners shall promptly pay the requested amount within forty-five (45) days of receipt.

## 12. Default.

An event of default under this Agreement may be any one of the following:

- (a) Owners' failure to timely complete the rehabilitation work set forth in Exhibit A in accordance with the standards set forth in Paragraph 2 herein;
- (b) Owners' failure to maintain the Historic Property in accordance with the requirements of Paragraph 3 herein;
- (c) Owners' failure to repair any damage to the Historic Property in a timely manner as provided in Paragraph 4 herein;
- (d) Owners' failure to allow any inspections as provided in Paragraph 6 herein;
- (e) Owners' termination of this Agreement during the Initial Term;
- (f) Owners' failure to pay any fees requested by the City as provided in Paragraph 11 herein;
- (g) Owners' failure to maintain adequate insurance for the replacement cost of the Historic Property; or
- (h) Owners' failure to comply with any other provision of this Agreement.

An event of default shall result in cancellation of this Agreement as set forth in Paragraphs 13 and 14 herein and payment of the cancellation fee and all property taxes due upon the Assessor's determination of the full value of the Historic Property as set forth in Paragraph 14 herein. In order to determine whether an event of default has occurred, the Board of Supervisors shall conduct a public hearing as set forth in Paragraph 13 herein prior to cancellation of this Agreement.

### 13. Cancellation.

As provided for in Government Code Section 50284, City may initiate proceedings to cancel this Agreement if it makes a reasonable determination that Owners have breached any condition or covenant contained in this Agreement, has defaulted as provided in Paragraph 12 herein, or has allowed the Historic Property to deteriorate such that the safety and integrity of the Historic Property is threatened or it would no longer meet the standards for a Qualified Historic Property. In order to cancel this Agreement, City shall provide notice to the Owners and to the public and conduct a public hearing before the Board of Supervisors as provided for in Government Code Section 50285. The Board of Supervisors shall determine whether this Agreement should be cancelled. The cancellation must be provided to the Office of the Assessor-Recorder for recordation.

### 14. Cancellation Fee.

If the City cancels this Agreement as set forth in Paragraph 13 above, Owners shall pay a cancellation fee of twelve and one-half percent (12.5%) of the fair market value of the Historic Property at the time of cancellation. The City Assessor shall determine fair market value of the Historic Property without regard to any restriction imposed on the Historic Property by this Agreement. The cancellation fee shall be paid to the City Tax Collector at such time and in such manner as the City shall prescribe. As of the date of cancellation, the Owners shall pay property taxes to the City without regard to any restriction imposed on the Historic Property by this Agreement and based upon the Assessor's determination of the fair market value of the Historic Property as of the date of cancellation.

### 15. Enforcement of Agreement.

In lieu of the above provision to cancel the Agreement, the City may bring an action to specifically enforce or to enjoin any breach of any condition or covenant of this Agreement. Should the City determine that the Owners has breached this Agreement, the City shall give the Owners written notice by registered or certified mail setting forth the grounds for the breach. If the Owners do not correct the breach, or if it does not undertake and diligently pursue corrective action, to the reasonable satisfaction of the City within thirty (30) days from the date of receipt of the notice, then the City may, without further notice, initiate default procedures under this Agreement as set forth in Paragraph 13 and bring any action necessary to enforce the obligations of the Owners set forth in this Agreement. The City does not waive any claim of default by the Owners if it does not enforce or cancel this Agreement.

### 16. Indemnification.

The Owners shall indemnify, defend, and hold harmless the City and all of its boards, commissions, departments, agencies, agents and employees (individually and collectively, the "City") from and against any and all liabilities, losses, costs, claims, judgments, settlements, damages, liens, fines, penalties and expenses incurred in connection with or arising in whole or in part from: (a) any accident, injury to or death of a person, loss of or damage to property occurring in or about the Historic Property; (b) the use or occupancy of the Historic Property by the Owners, their Agents or Invitees; (c) the condition of the Historic Property; (d) any construction or other work undertaken by Owners on the Historic Property; or (e) any claims by unit or interval Owners for property tax reductions in excess those provided for under this Agreement. This indemnification shall include, without limitation, reasonable fees for attorneys, consultants, and experts and related costs that may be incurred by the City and all indemnified parties specified in this Paragraph and the City's cost of investigating any claim. In addition to Owners' obligation to indemnify City, Owners specifically acknowledge and agree that they have an immediate and independent obligation to defend City from any claim that actually or potentially falls within this indemnification provision, even if the allegations are or may be groundless, false, or fraudulent, which obligation arises at the time such claim is tendered to Owners by City, and continues at all times thereafter. The Owners' obligations under this Paragraph shall survive termination of this Agreement.

### 17. Eminent Domain.

In the event that a public agency acquires the Historic Property in whole or part by eminent domain or other similar action, this Agreement shall be cancelled and no cancellation fee imposed as provided by Government Code Section 50288.

### 18. Binding on Successors and Assigns.

The covenants, benefits, restrictions, and obligations contained in this Agreement shall be deemed to run with the land and shall be binding upon and inure to the benefit of all successors and assigns in interest of the Owners.

19. Legal Fees.

In the event that either the City or the Owners fail to perform any of their obligations under this Agreement or in the event a dispute arises concerning the meaning or interpretation of any provision of this Agreement, the prevailing party may recover all costs and expenses incurred in enforcing or establishing its rights hereunder, including reasonable attorneys' fees, in addition to court costs and any other relief ordered by a court of competent jurisdiction. Reasonable attorneys fees of the City's Office of the City Attorney shall be based on the fees regularly charged by private attorneys with the equivalent number of years of experience who practice in the City of San Francisco in law firms with approximately the same number of attorneys as employed by the Office of the City Attorney.

20. Governing Law.

This Agreement shall be construed and enforced in accordance with the laws of the State of California.

21. Recordation.

The contract will not be considered final until this agreement has been recorded with the Office of the Assessor-Recorder of the City and County of San Francisco.

22. Amendments.

This Agreement may be amended in whole or in part only by a written recorded instrument executed by the parties hereto in the same manner as this Agreement.

23. No Implied Waiver.

No failure by the City to insist on the strict performance of any obligation of the Owners under this Agreement or to exercise any right, power, or remedy arising out of a breach hereof shall constitute a waiver of such breach or of the City's right to demand strict compliance with any terms of this Agreement.

24. Authority.

If the Owners sign as a corporation or a partnership, each of the persons executing this Agreement on behalf of the Owners does hereby covenant and warrant that such entity is a duly authorized and existing entity, that such entity has and is qualified to do business in California, that the Owner has full right and authority to enter into this Agreement, and that each and all of the persons signing on behalf of the Owners are authorized to do so.

25. Severability.

If any provision of this Agreement is determined to be invalid or unenforceable, the remainder of this Agreement shall not be affected thereby, and each other provision of this Agreement shall be valid and enforceable to the fullest extent permitted by law.

26. Tropical Hardwood Ban.

The City urges companies not to import, purchase, obtain or use for any purpose, any tropical hardwood or tropical hardwood product.

27. Charter Provisions.

This Agreement is governed by and subject to the provisions of the Charter of the City.

28. Signatures.

This Agreement may be signed and dated in parts

IN WITNESS WHEREOF, the parties hereto have executed this Agreement as follows:

\_\_\_\_\_  
CARMEN CHU  
ASSESSOR-RECORDER  
CITY & COUNTY OF SAN FRANCISCO

\_\_\_\_\_  
Date

\_\_\_\_\_  
JOHN RAHAIM  
DIRECTOR OF PLANNING  
CITY & COUNTY OF SAN FRANCISCO


\_\_\_\_\_  
Date

\_\_\_\_\_  
APPROVED AS PER FORM:  
DENNIS HERRERA  
CITY ATTORNEY  
CITY & COUNTY OF SAN FRANCISCO

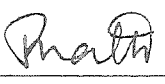
\_\_\_\_\_  
Signature

\_\_\_\_\_  
Date

\_\_\_\_\_  
Print name  
DEPUTY CITY ATTORNEY

\_\_\_\_\_  


\_\_\_\_\_  
10/14/17  
Date

\_\_\_\_\_  


\_\_\_\_\_  
10/14/17  
Date

\_\_\_\_\_  
JOYJIT NATH  
Print name  
OWNER

\_\_\_\_\_  
PREETHA NATH  
Print name  
OWNER

Owner/s' signatures must be notarized. Attach notary forms to the end of this agreement.  
(If more than one owner, add additional signature lines. All owners must sign this agreement.)



7. Notary Acknowledgment Form

The notarized signature of the majority representative owner or owners, as established by deed or contract, of the subject property or properties is required for the filing of this application. (Additional sheets may be attached.)

State of California

County of: SAN FRANCISCO

On: October 14, 2017 before me, Anthony Montero  
DATE INSERT NAME OF THE OFFICER

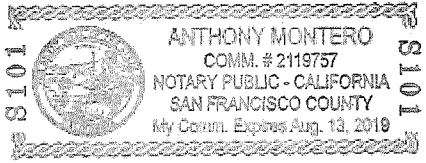
NOTARY PUBLIC personally appeared: Lalit Nath and Preetna Nath  
NAME(S) OF SIGNER(S)

who proved to me on the basis of satisfactory evidence to be the person(s) who name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.

Anthony Montero  
SIGNATURE



(PLACE NOTARY SEAL ABOVE)

**ACKNOWLEDGMENT**

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California  
County of SAN FRANCISCO )

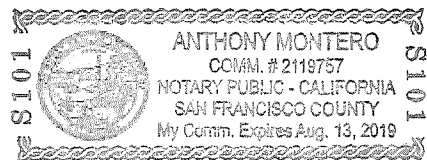
On OCTOBER 14, 2017 before me, ANTHONY MONTERO, NOTARY PUBLIC  
(insert name and title of the officer)

personally appeared JOY JIT NATH and PREETHA NATH \*\*\*\*\*  
who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.

Signature Anthony Montero (Seal)



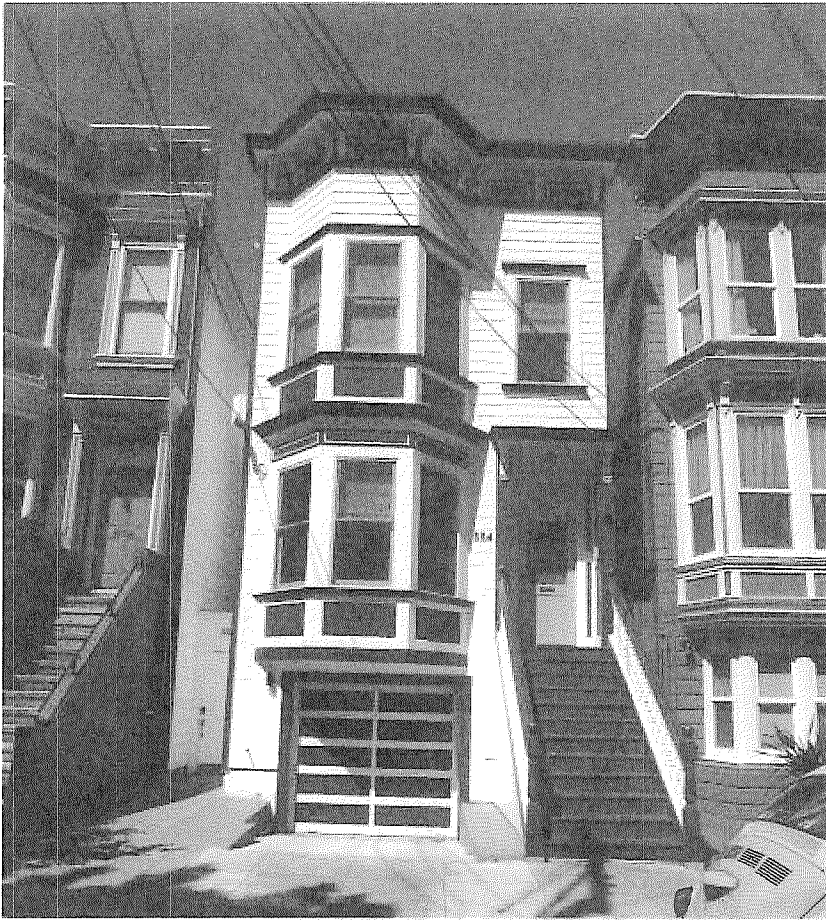
## 7. Other Information

### Photographs



*Figure 1. Before image of 354-356 San Carlos St. taken in 2012. Front facade view looking east.*

Application for Mills Act Historical Property contract for 354-356 San Carlos St.

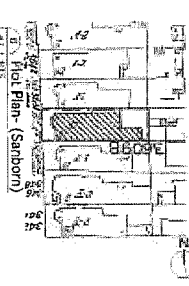


*Figure 2. After image of 354-356 San Carlos taken in 2016. Front facade, view looking east.*

AG	5-4
A5	5-3
A4	5-2
A3	5-1
A2	7-21

### SAN CARLOS

2013 Low-Rise Residential Mandatory Measures Summary



**PROPOSED SITE PLAN & ROOF PLAN**

2013 Low-Rise Residential Mandatory Measures Summary

2013 Low-Rise Residential Mandatory Measures Summary

2013 Low-Rise Residential Mandatory Measures Summary

**SAN CARLOS**

2013 Low-Rise Residential Mandatory Measures Summary

2013 Low-Rise Residential Mandatory Measures Summary

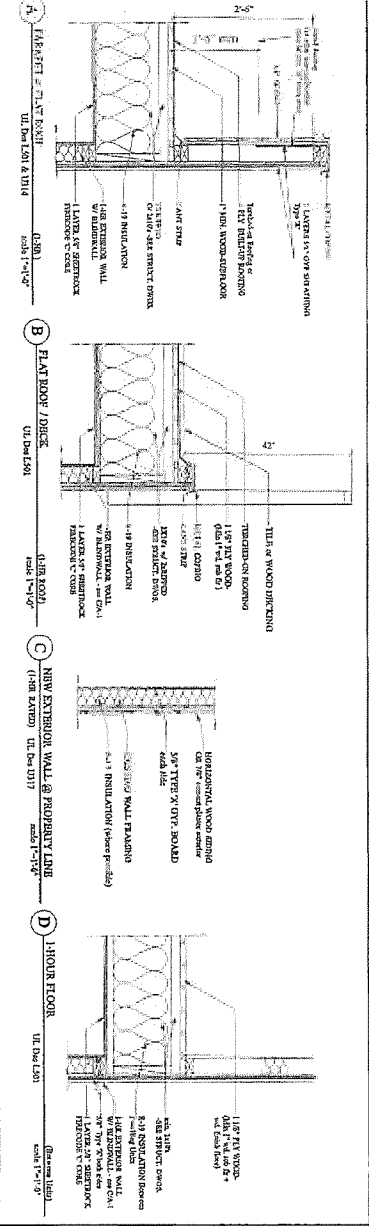
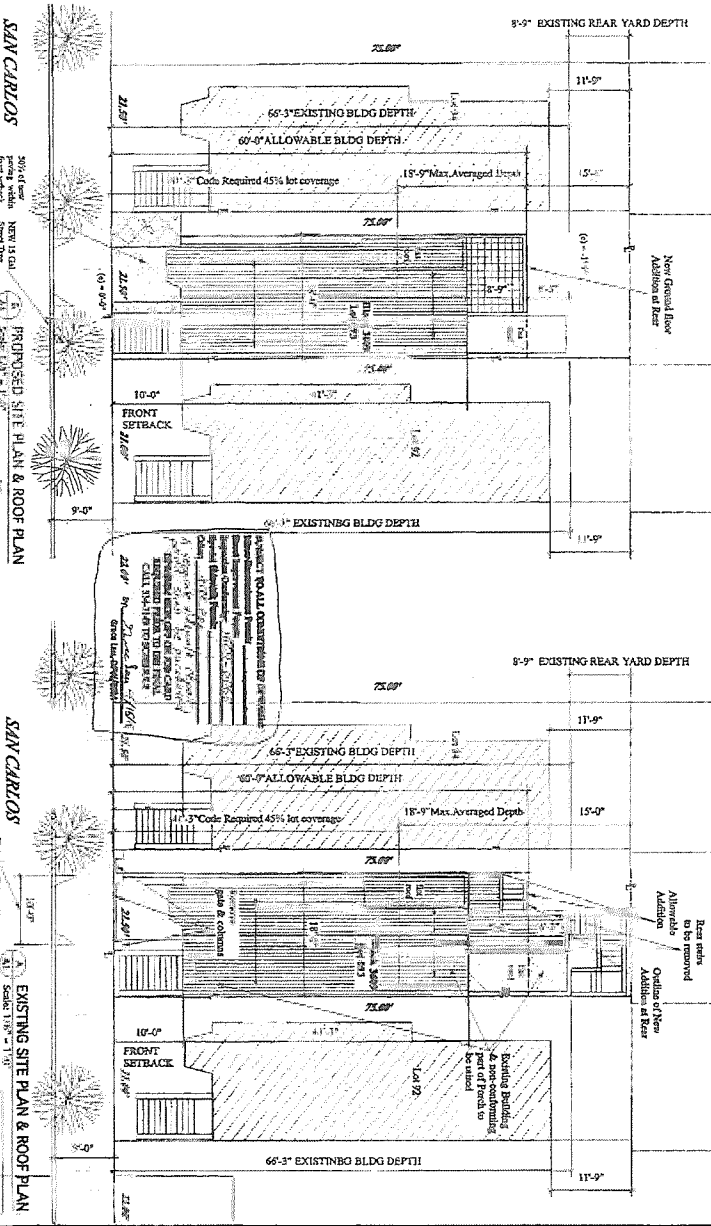
2013 Low-Rise Residential Mandatory Measures Summary

**EXISTING SITE PLAN & ROOF PLAN**

2013 Low-Rise Residential Mandatory Measures Summary

2013 Low-Rise Residential Mandatory Measures Summary

2013 Low-Rise Residential Mandatory Measures Summary



City and County of San Francisco  
Department of Building Inspection

April 8, 2013

Stephen Antonaros

2013 Market Street #224  
San Francisco, CA 94114

304 San Carlos St.  
APN 020 3520 14 020

Dear Mr. Antonaros:

We are pleased to be authorized to apply the California Historical Building Code to the building at 354 San Carlos St. This building is located in the 12000 Historic District. Based on the historical features of the building, you are advised to apply the California Historical Building Code to work that takes place in the building, and on the site at 354 San Carlos St.

Any special application to use the California Historical Building Code must detail the specific provisions of that code that you wish to apply along with the explanation of the reasons for why the existing building code cannot be applied. State Law requires that the Department of Building Inspection, Planning Department and other reviewing agencies in San Francisco accept reasonable engineering alternatives to the minimum code in dealing with qualified historical buildings. You may wish to contact Administrative Review Unit AS-019, Chief Clerk, Administrative Services for Historic Buildings, which is a part of the "Plans and Regulations" section of the San Francisco Building Code.

Very truly yours,  
David Luning  
Manager, Permit Submittal & Review

To: Stephen Antonaros  
304 San Carlos St.  
San Francisco, CA 94114

Techical Services Division  
1605 Market Street - San Francisco CA 94103  
Office Hours: 9:00am - 5:00pm, Monday - Friday

APR 10 2013

APR 10 2013

APPENDIX RECEIVED

#### 2013 Low-Rise Residential Mandatory Measures Summary

**2013 Low-Rise Residential Mandatory Measures Summary**

**2013 Low-Rise Residential Mandatory Measures Summary**

**2013 Low-Rise Residential Mandatory Measures Summary**

#### 2013 Low-Rise Residential Mandatory Measures Summary

**2013 Low-Rise Residential Mandatory Measures Summary**

**2013 Low-Rise Residential Mandatory Measures Summary**

**2013 Low-Rise Residential Mandatory Measures Summary**

INTERIOR ALTERATIONS & ADDITION TO REAR

354-356 SAN CARLOS STREET SAN FRANCISCO, CA 94110

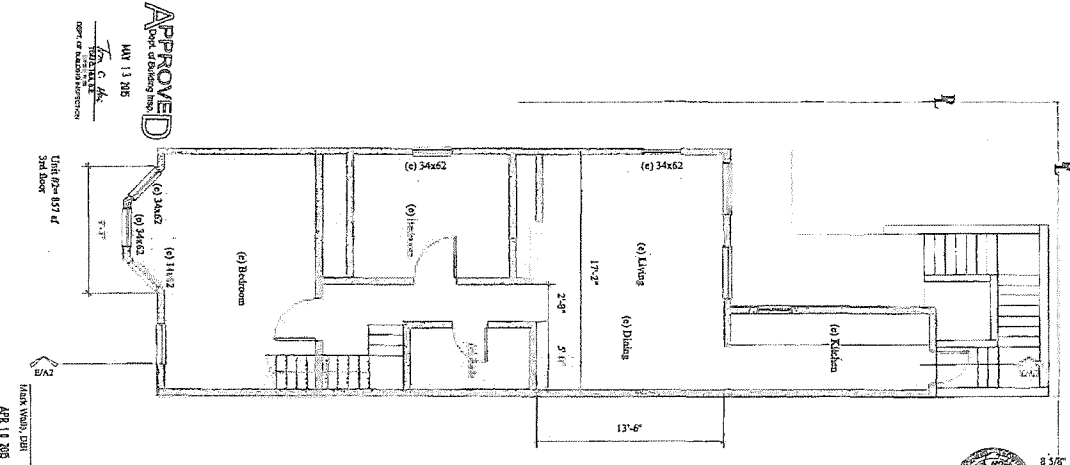
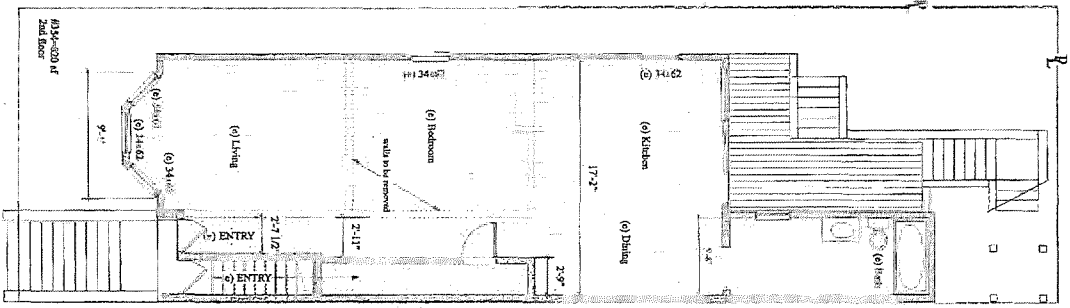
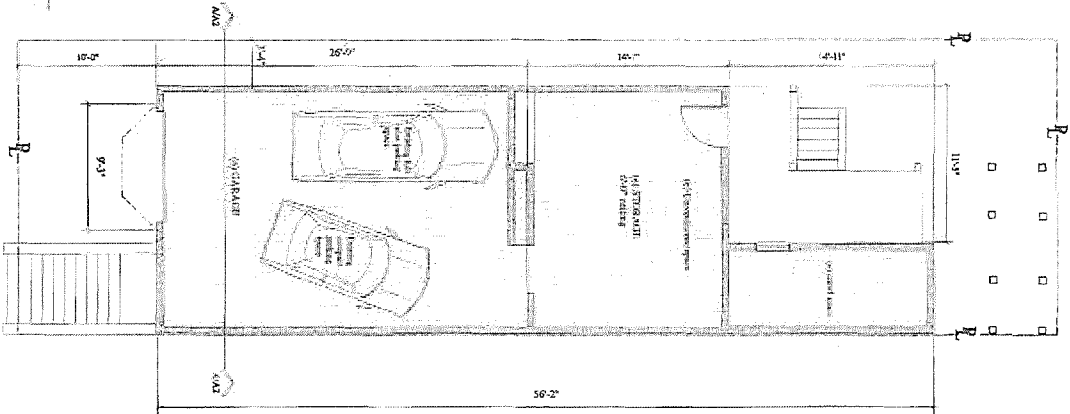
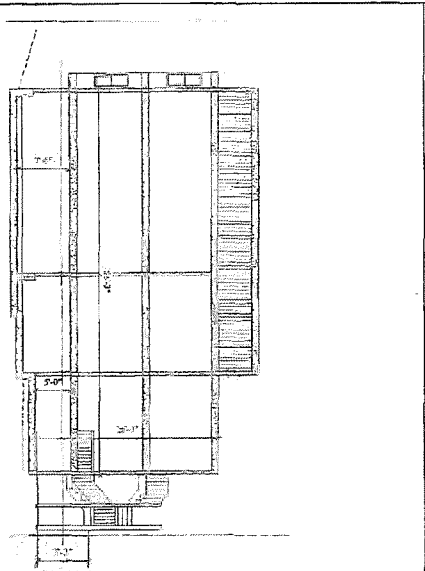
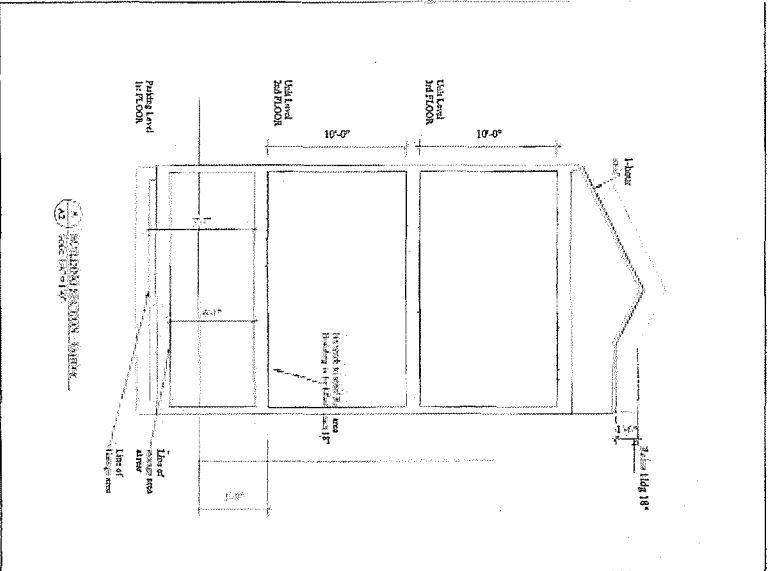
Block 3609 Lot 093

2013-04-05-3874-21

STEPHEN ANTONAROS ARCHITECT

2263 Market Street #224  
San Francisco, California 94114  
(415) 864 2261

REVISED: 01/13/2013  
02/13/2014  
03/13/2014  
04/10/2013



**EXISTING 1st FLOOR PLAN**  
 Same as 10-19-19  
 EXISTING WALL TO BE REMOVED  
 EXISTING WALL TO REMAIN

**EXISTING 2nd FLOOR PLAN**  
 Same as 10-19-19

**PROPOSED 2nd FLOOR PLAN**  
 Same as 10-19-19

**APPROVED**  
 MAY 11 2015  
 City of San Francisco  
 DEPT. OF BUILDING INSPECTION

**APPROVED RECEIVED**  
 APR 19 2015  
 STREET REPAIR ADMINISTRATION  
 CONSTRUCTION DIV.

NO.	DATE	REVISIONS
001	04/13/15	ISSUED FOR PERMITS
002	04/13/15	ISSUED FOR PERMITS
003	04/13/15	ISSUED FOR PERMITS
004	04/13/15	ISSUED FOR PERMITS
005	04/13/15	ISSUED FOR PERMITS
006	04/13/15	ISSUED FOR PERMITS
007	04/13/15	ISSUED FOR PERMITS
008	04/13/15	ISSUED FOR PERMITS
009	04/13/15	ISSUED FOR PERMITS
010	04/13/15	ISSUED FOR PERMITS

**INTERIOR ALTERATIONS & ADDITION TO REAR**  
 354-356 SAN CARLOS STREET SAN FRANCISCO, CA 94110  
 Block: 3609 Lot 093

**STEPHEN ANTONAROS ARCHITECT**  
 2261 Market Street #326  
 San Francisco, California 94114  
 (415) 854 2261  
 www.stephenantonaros.com

NO.	DATE	REVISIONS
001	04/13/15	ISSUED FOR PERMITS
002	04/13/15	ISSUED FOR PERMITS
003	04/13/15	ISSUED FOR PERMITS
004	04/13/15	ISSUED FOR PERMITS
005	04/13/15	ISSUED FOR PERMITS
006	04/13/15	ISSUED FOR PERMITS
007	04/13/15	ISSUED FOR PERMITS
008	04/13/15	ISSUED FOR PERMITS
009	04/13/15	ISSUED FOR PERMITS
010	04/13/15	ISSUED FOR PERMITS

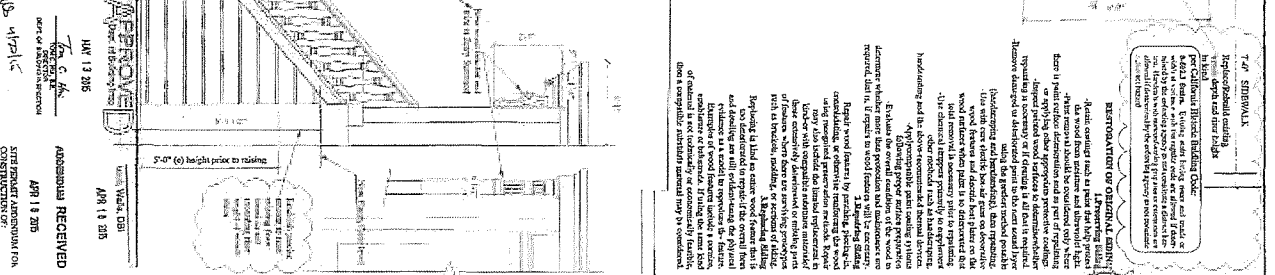
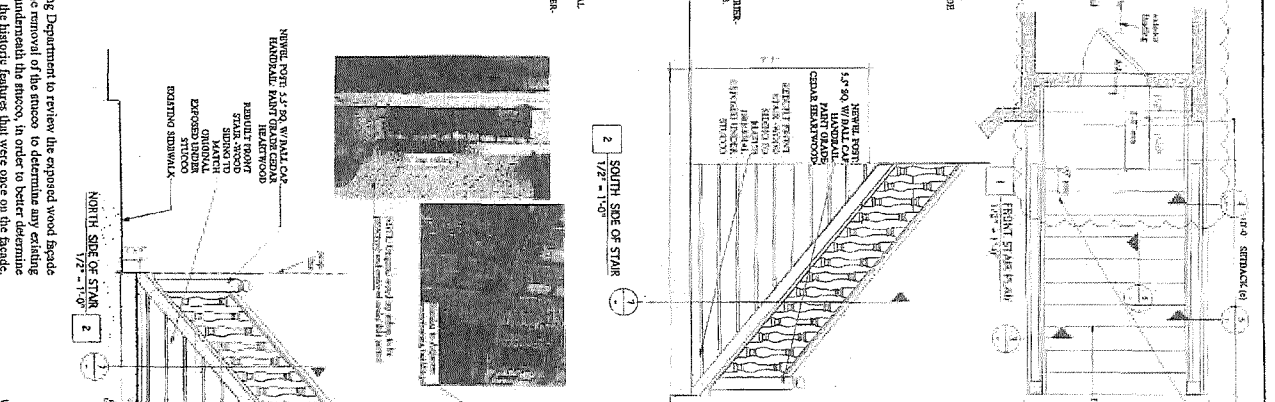
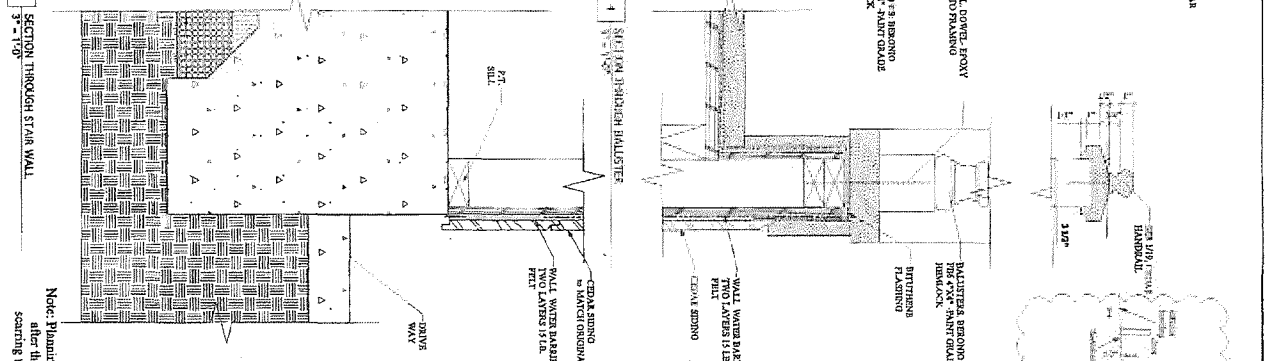
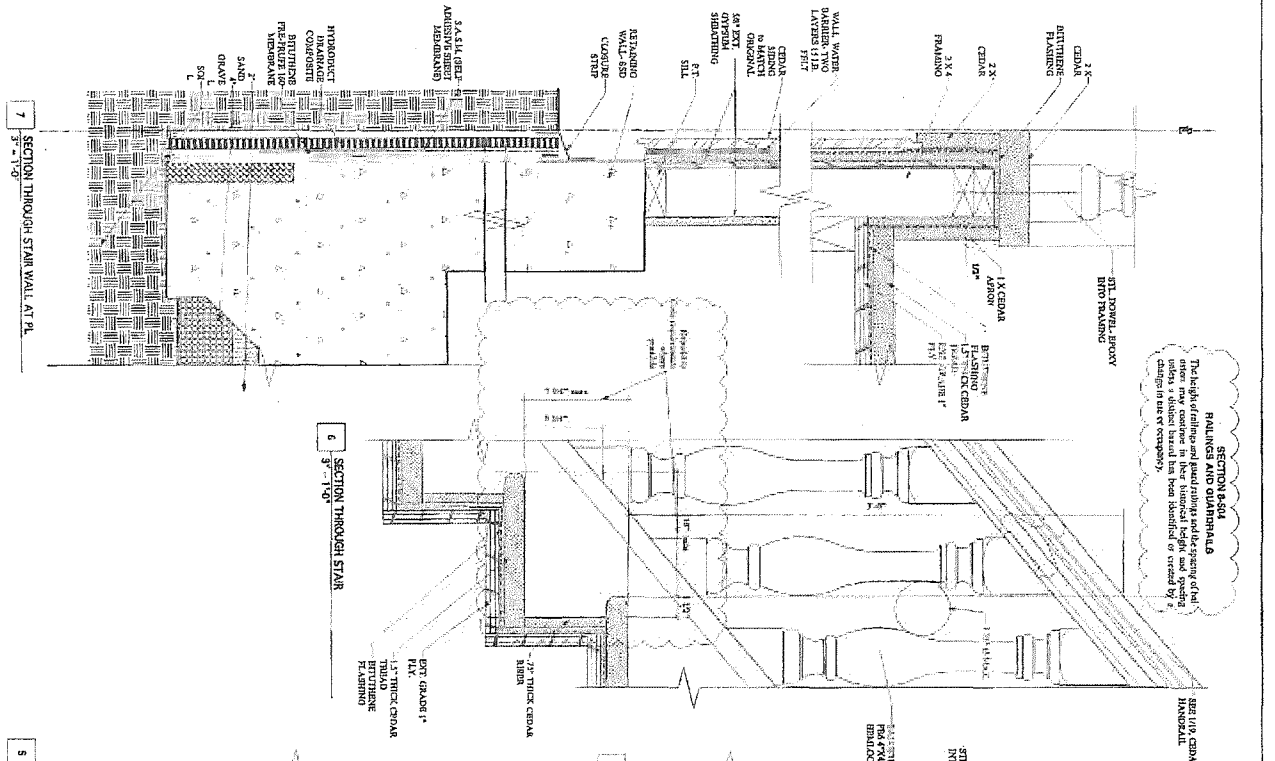








**SECTION 4: BALUSTERS AND HANDRAIL**  
The height, orniture and panelings and the structure of balusters and handrails in their historical height and paneling details a wood handrail has been identified or created by a wood conservator.



**RESTORATION OF HISTORIC STAIRS**  
The historic stairs were found in poor condition. The wood was dark, stained, and in many places the wood was missing or severely damaged. The handrails were also in poor condition. The goal of the restoration was to restore the stairs to their original appearance while preserving the historic fabric.

**RESTORATION OF HISTORIC STAIRS**  
The historic stairs were found in poor condition. The wood was dark, stained, and in many places the wood was missing or severely damaged. The handrails were also in poor condition. The goal of the restoration was to restore the stairs to their original appearance while preserving the historic fabric.

**RESTORATION OF HISTORIC STAIRS**  
The historic stairs were found in poor condition. The wood was dark, stained, and in many places the wood was missing or severely damaged. The handrails were also in poor condition. The goal of the restoration was to restore the stairs to their original appearance while preserving the historic fabric.

APPROVED  
DATE: APR 13 2015  
BY: [Signature]

APPROVED  
DATE: APR 13 2015  
BY: [Signature]

APPROVED  
DATE: APR 13 2015  
BY: [Signature]

APPROVED  
DATE: APR 13 2015  
BY: [Signature]

**INTERIOR ALTERATIONS & ADDITION TO REAR**  
354-356 SAN CARLOS STREET SAN FRANCISCO, CA 94110  
Block 3609 Lot 093

**STEPHEN ANTONAROS ARCHITECT**  
2261 Market Street # 522  
San Francisco, California 94114  
415-371-8276

**REVISIONS**  
Rev Description Date  
1 Initial Set 04/13/15  
2 04/13/15  
3 04/13/15  
4 04/13/15

**APPROVED**  
DATE: APR 13 2015  
BY: [Signature]

**APPROVED**  
DATE: APR 13 2015  
BY: [Signature]

**APPROVED**  
DATE: APR 13 2015  
BY: [Signature]

**APPROVED**  
DATE: APR 13 2015  
BY: [Signature]

CONTRACTOR OF RECORD: INTERIOR ALTERATIONS & ADDITION TO REAR  
 Project Name: 356 CARLOS STREET SAN FRANCISCO, CA 94114  
 Contract Number: 1305-11-001  
 Date: 04/11/2014

NO.	DESCRIPTION	UNIT	QTY	UNIT PRICE	TOTAL PRICE
1	DEMOLITION	SQ. FT.	100	1.00	100.00
2	FOUNDATION	SQ. FT.	200	2.00	400.00
3	FRAMING	SQ. FT.	300	3.00	900.00
4	ROOFING	SQ. FT.	150	1.50	225.00
5	MECHANICAL	HR.	50	5.00	250.00
6	ELECTRICAL	HR.	40	4.00	160.00
7	PLUMBING	HR.	30	3.00	90.00
8	PAINTING	SQ. FT.	100	1.00	100.00
9	FINISH	SQ. FT.	200	2.00	400.00
10	LABOR	HR.	100	10.00	1000.00
11	MATERIALS	VARIOUS			500.00
12	PERMITS	FEES			100.00
13	INSURANCE	MONTHS			120.00
14	PROFESIONAL FEES	MONTHS			120.00
15	CONTINGENCY	%			100.00
16	TOTAL				3000.00

NO.	DESCRIPTION	UNIT	QTY	UNIT PRICE	TOTAL PRICE
17	DEMOLITION	SQ. FT.	100	1.00	100.00
18	FOUNDATION	SQ. FT.	200	2.00	400.00
19	FRAMING	SQ. FT.	300	3.00	900.00
20	ROOFING	SQ. FT.	150	1.50	225.00
21	MECHANICAL	HR.	50	5.00	250.00
22	ELECTRICAL	HR.	40	4.00	160.00
23	PLUMBING	HR.	30	3.00	90.00
24	PAINTING	SQ. FT.	100	1.00	100.00
25	FINISH	SQ. FT.	200	2.00	400.00
26	LABOR	HR.	100	10.00	1000.00
27	MATERIALS	VARIOUS			500.00
28	PERMITS	FEES			100.00
29	INSURANCE	MONTHS			120.00
30	PROFESIONAL FEES	MONTHS			120.00
31	CONTINGENCY	%			100.00
32	TOTAL				3000.00

CONTRACTOR OF RECORD: INTERIOR ALTERATIONS & ADDITION TO REAR  
 Project Name: 356 CARLOS STREET SAN FRANCISCO, CA 94114  
 Contract Number: 1305-11-001  
 Date: 04/11/2014

NO.	DESCRIPTION	UNIT	QTY	UNIT PRICE	TOTAL PRICE
33	DEMOLITION	SQ. FT.	100	1.00	100.00
34	FOUNDATION	SQ. FT.	200	2.00	400.00
35	FRAMING	SQ. FT.	300	3.00	900.00
36	ROOFING	SQ. FT.	150	1.50	225.00
37	MECHANICAL	HR.	50	5.00	250.00
38	ELECTRICAL	HR.	40	4.00	160.00
39	PLUMBING	HR.	30	3.00	90.00
40	PAINTING	SQ. FT.	100	1.00	100.00
41	FINISH	SQ. FT.	200	2.00	400.00
42	LABOR	HR.	100	10.00	1000.00
43	MATERIALS	VARIOUS			500.00
44	PERMITS	FEES			100.00
45	INSURANCE	MONTHS			120.00
46	PROFESIONAL FEES	MONTHS			120.00
47	CONTINGENCY	%			100.00
48	TOTAL				3000.00

NO.	DESCRIPTION	UNIT	QTY	UNIT PRICE	TOTAL PRICE
49	DEMOLITION	SQ. FT.	100	1.00	100.00
50	FOUNDATION	SQ. FT.	200	2.00	400.00
51	FRAMING	SQ. FT.	300	3.00	900.00
52	ROOFING	SQ. FT.	150	1.50	225.00
53	MECHANICAL	HR.	50	5.00	250.00
54	ELECTRICAL	HR.	40	4.00	160.00
55	PLUMBING	HR.	30	3.00	90.00
56	PAINTING	SQ. FT.	100	1.00	100.00
57	FINISH	SQ. FT.	200	2.00	400.00
58	LABOR	HR.	100	10.00	1000.00
59	MATERIALS	VARIOUS			500.00
60	PERMITS	FEES			100.00
61	INSURANCE	MONTHS			120.00
62	PROFESIONAL FEES	MONTHS			120.00
63	CONTINGENCY	%			100.00
64	TOTAL				3000.00

CONTRACTOR OF RECORD: INTERIOR ALTERATIONS & ADDITION TO REAR  
 Project Name: 356 CARLOS STREET SAN FRANCISCO, CA 94114  
 Contract Number: 1305-11-001  
 Date: 04/11/2014

NO.	DESCRIPTION	UNIT	QTY	UNIT PRICE	TOTAL PRICE
65	DEMOLITION	SQ. FT.	100	1.00	100.00
66	FOUNDATION	SQ. FT.	200	2.00	400.00
67	FRAMING	SQ. FT.	300	3.00	900.00
68	ROOFING	SQ. FT.	150	1.50	225.00
69	MECHANICAL	HR.	50	5.00	250.00
70	ELECTRICAL	HR.	40	4.00	160.00
71	PLUMBING	HR.	30	3.00	90.00
72	PAINTING	SQ. FT.	100	1.00	100.00
73	FINISH	SQ. FT.	200	2.00	400.00
74	LABOR	HR.	100	10.00	1000.00
75	MATERIALS	VARIOUS			500.00
76	PERMITS	FEES			100.00
77	INSURANCE	MONTHS			120.00
78	PROFESIONAL FEES	MONTHS			120.00
79	CONTINGENCY	%			100.00
80	TOTAL				3000.00

NO.	DESCRIPTION	UNIT	QTY	UNIT PRICE	TOTAL PRICE
81	DEMOLITION	SQ. FT.	100	1.00	100.00
82	FOUNDATION	SQ. FT.	200	2.00	400.00
83	FRAMING	SQ. FT.	300	3.00	900.00
84	ROOFING	SQ. FT.	150	1.50	225.00
85	MECHANICAL	HR.	50	5.00	250.00
86	ELECTRICAL	HR.	40	4.00	160.00
87	PLUMBING	HR.	30	3.00	90.00
88	PAINTING	SQ. FT.	100	1.00	100.00
89	FINISH	SQ. FT.	200	2.00	400.00
90	LABOR	HR.	100	10.00	1000.00
91	MATERIALS	VARIOUS			500.00
92	PERMITS	FEES			100.00
93	INSURANCE	MONTHS			120.00
94	PROFESIONAL FEES	MONTHS			120.00
95	CONTINGENCY	%			100.00
96	TOTAL				3000.00

APPROVED: [Signature]  
 DATE: 04/11/2014

APPROVED: [Signature]  
 DATE: 04/11/2014

APPROVED: [Signature]  
 DATE: 04/11/2014

**INTERIOR ALTERATIONS & ADDITION TO REAR**  
 354-356 SAN CARLOS STREET SAN FRANCISCO, CA 94110  
 Block 3609 Lot 093

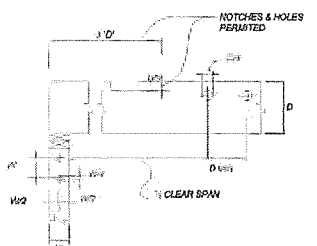
**STEPHEN ANTONAROS ARCHITECT**  
 2261 Market Street #204  
 San Francisco, California 94114  
 Tel: 415-775-6216

DATE: APR 11 2014  
 TIME: 10:00 AM

APPROVED: [Signature]  
 DATE: APR 11 2014

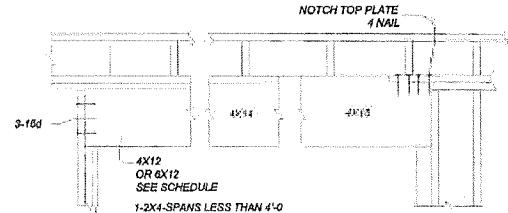
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 DATE: APR 10 2014

**T24**



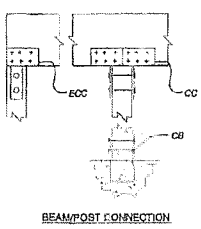
NOTES: HOLES & NOTCHES IN STUDS & JOISTS ARE NOT PERMITTED WHERE WLD ARE LESS THAN 3/4\"/>

TYPICAL HOLES IN BEAMS, BATTERS & STUDS



SPANS GREATER THAN 4'-0"  
BASEMENT - 4x8  
1ST FLR - 4x4  
2ND FLR - 2-2x4  
3RD FLR - 2-2x4

TYPICAL BEARING WALL HEADERS

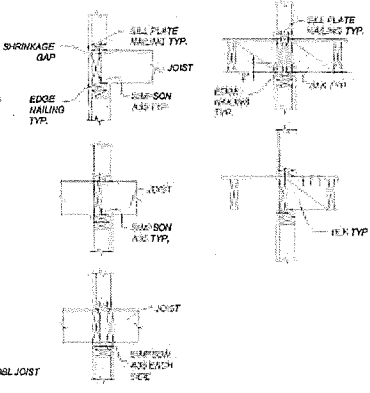


BEAM-POST CONNECTION



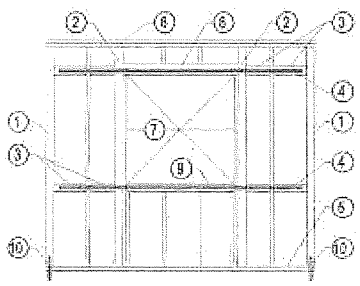
**NAILING SCHEDULE**  
2 STORY BUILDING  
TOP OF 2ND FLR WALLS 10-16d  
TOP OF 1ST FLR WALLS 22-16d  
TOP OF BASEMT WALLS 24-16d  
1.44 STORY BUILDING  
TOP OF 3RD & 4TH FLR WALLS 6-16d  
TOP OF 2ND FLR WALLS 10-16d  
TOP OF 1ST FLR WALLS 22-16d  
TOP OF BASEMT WALLS 24-16d

TYPICAL TOP PLATE SPLICE EXTERIOR & SHEAR WALLS



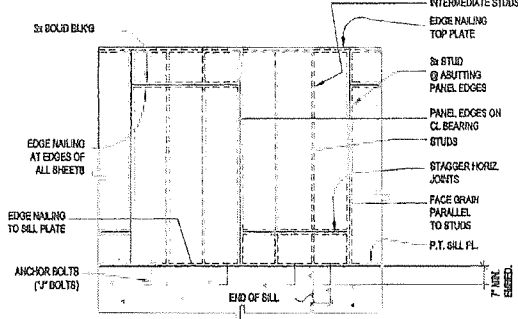
TYPICAL SHEAR WALL DETAILS

NON-LOAD BEARING WALL DETAILS



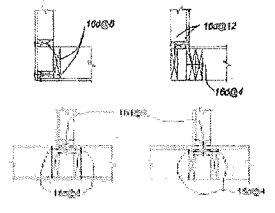
SHEARWALL TRANSFER PENETRATION

- 1 6x POST
- 2 4x FULL HEIGHT KING STUD W/ PLYWOOD EDGE NAILING
- 3 4x BLOCKING
- 4 1/2\"/>

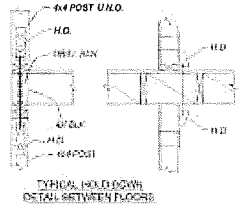


TYP. WALL SHEATHING

**GENERAL NOTES & DETAILS**  
NOT TO SCALE



TYPICAL SHEAR WALL INTERSECTION DETAILS



TYPICAL HOLD-DOWN DETAIL BETWEEN FLOORS

SHEAR WALL SCHEDULE						
WALL	ALLOWABLE SHEAR (PLF)	PLYWOOD	NAILING	CLIPS	ANCHOR BOLTS	SILL & NAILING
S1	310	1/2\"/>				
S2	460	1/2\"/>				
S3	600	1/2\"/>				
S4	710	1/2\"/>				

- NOTES:**
1. USE 10d COMMON NAILS UON. ALL NAILS TO P.T. WOOD SHALL BE GALVANIZED.
  2. PROVIDE 3x FRAMING MEMBERS INCLUDING BLOCKING AT ALL PLYWOOD ADJOINING PANEL EDGES FOR S2, S3 & S4. NAILING SHALL BE STAGGERED.
  3. ANCHOR BOLT SHALL HAVE A MINIMUM 3/8\"/>

HEADER SCHEDULE	
LEADER	SIZE
0-3'	4x4 X 8
3'-3\"/>	
6'-0\"/>	
8'-0\"/>	
10'-0\"/>	

GRAVITY DESIGN LOADS	
FLOOR LIVE LOAD = 40 PSF	FLOOR DEAD LOAD = 15 PSF
ROOF LIVE LOAD = 20 PSF	ROOF DEAD LOAD = 15 PSF
FRONT WALL DL = 15 PSF	SIDE & BACK DL = 15 PSF

**CRITERIA**

OCCUPANCY FACTOR, I = 1.0  
SITE CLASS D  
SOIL PROFILE = B<sub>s</sub>  
STRUCTURAL SYSTEM, R = 8.5  
SHORT PERIOD RESPONSE S<sub>s</sub> = 1.503  
1 PERIOD RESPONSE S<sub>1</sub> = 1.015  
SITE COEFFICIENT, F<sub>a</sub> = 1.0  
SITE COEFFICIENT, F<sub>v</sub> = 1.5  
BASE SHEAR, V = 0.19W

**PLAN REVISION**

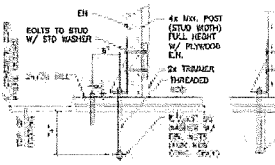
APR 14 2015  
CORRECTION OF SILL ANCHOR AND WOOD SECTION IS OUT  
LCSZ2015 01

By: [Signature]  
RICHSON W. TOLSON  
APR 24 2015

**APPROVED**  
Dept. of Building Insp.

MAY 13 2015 SECTION  
Tom C. [Signature]

SECTION DETAIL



HOLD-DOWN SCHEDULE						
SHEARWALL MODEL #	BOLTS TO STUDS NUMBER	STUDS SIZE	ROD SIZE	DIM. \"/>		
				EXISTING CONCRETE	NEW CONCRETE	
H03B	2	1 1/2\"/>				
H05B	3	1 1/2\"/>				
H07B	3	1 1/2\"/>				
H08B	3	1 1/2\"/>				
H01C	4	1 1/2\"/>				
H01D	5	1 1/2\"/>				

**PLAN CHECK RESPONSE**  
3-21-15

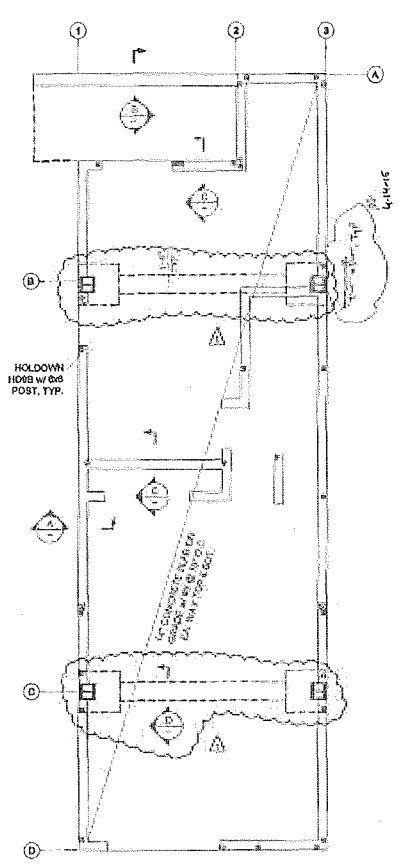
DESIGNED BY: K.O.C.	DATE: 5/5/14	CHECKED BY: K.P.	DATE: 6/5/14
PROJECT NO: 2014-40	DATE: 2014-40	DRAWING NO: S1	

REVISION: REVISED BY: [Signature] DATE: [Signature]

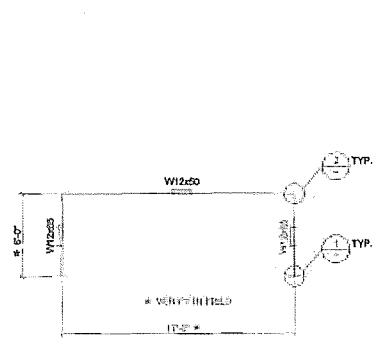
CLIENT: NEVIN O'CONNOR, INC. 3401 LAWTON STREET SAN FRANCISCO, CA 94122

PROJECT: NEW ADDITION/REMODEL 554 BAI CARLOS STREET SAN FRANCISCO, CA 94110

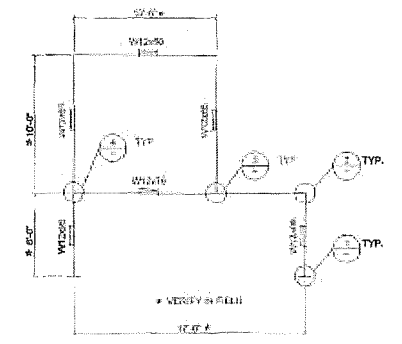
2013.0405.3874 S1/R2



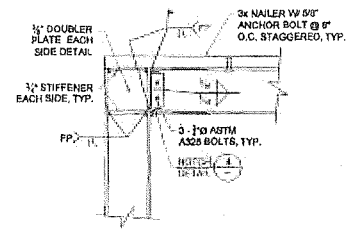
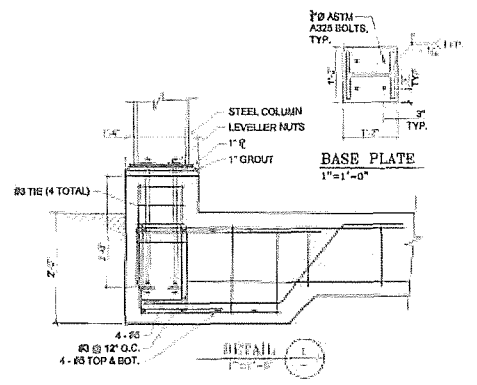
FOUNDATION PLAN  
1/4" = 1'-0"



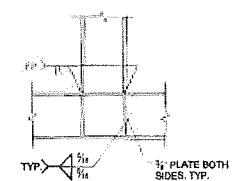
FRAME AT LINE B  
1/4" = 1'-0"



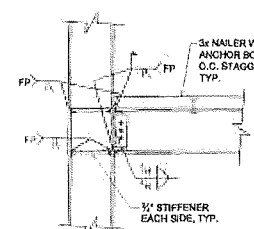
FRAME AT LINE C  
1/4" = 1'-0"



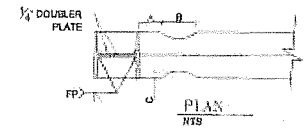
DETAIL 2  
NTS



DETAIL 3  
NTS

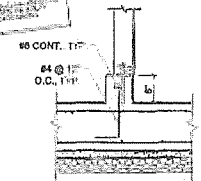


DETAIL 4  
NTS

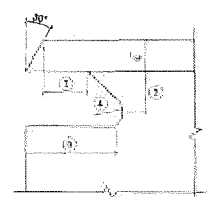


BEAM	A	B	C
W12x50	6"	6 1/2"	1 1/2"
W12x70	8 1/2"	8 1/2"	1 1/2"

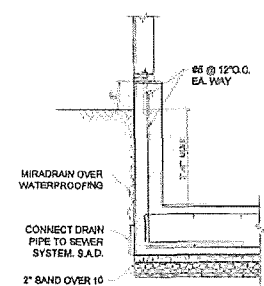
PLAN REVISION  
REV 14 205  
APPROVED FOR CONSTRUCTION



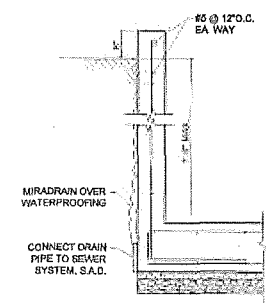
SECTION 5  
3/4" = 1'-0"



NOTCH DETAIL  
NTS



SECTION 6  
3/4" = 1'-0"



SECTION 7  
3/4" = 1'-0"

BEAM	②	③ (+ 1/4")	④	⑤ (+ 1/2")
W12x50	3/4"	3/4"	3/8" MIN.	1/8"
W12x70	3/4"	3/4"	3/8" MIN.	1/8"

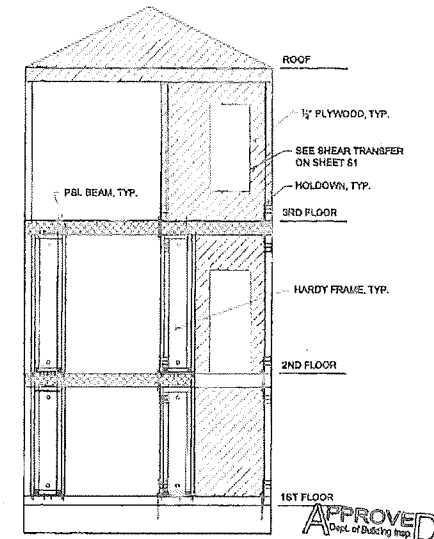
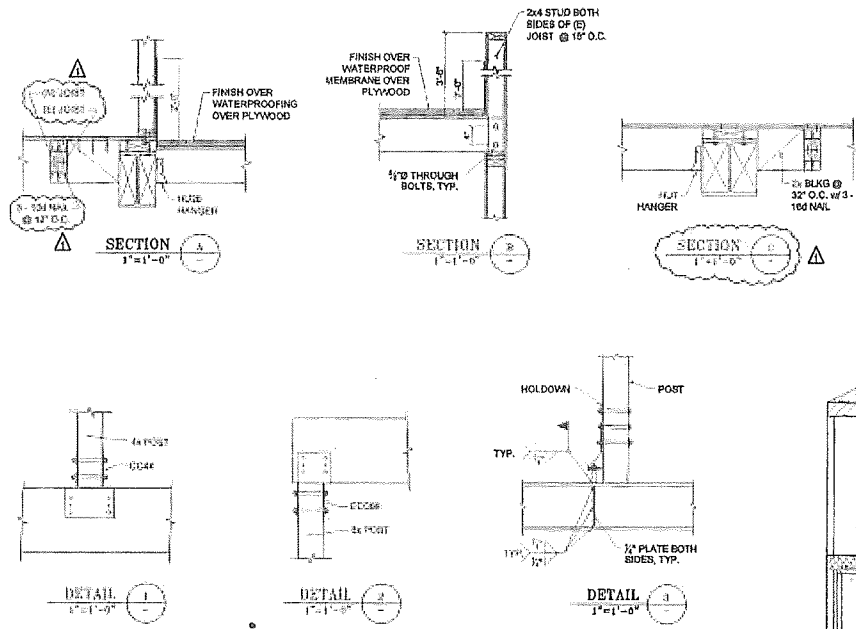
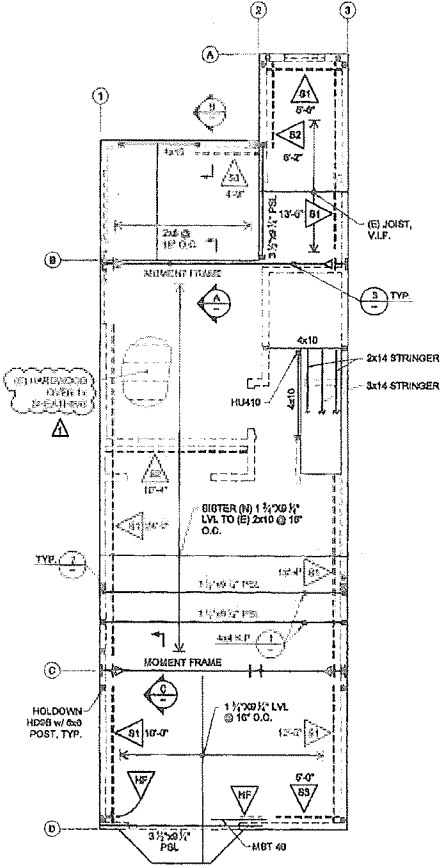
APPROVED  
MAY 13 205

APPROVED FOR CONSTRUCTION  
APR 21 205



PLAN CHECK RESPONSE  
3-21-10

DESIGNED BY K.O.C.	DATE 05/14	CLIENT K.P.	DATE 05/14	PROJECT NO. K.O.C. 2014-48	SCALE S2
KEVIN O'CONNOR, INC. 3401 LAVTON STREET SAN FRANCISCO, CA 94122			TEL: 415-261-1442 FAX: 415-261-0253 WWW.KOCONOR.COM		
T.S. NEWADDITIONS/REMODEL 304 SAN CARLOS STREET SAN FRANCISCO, CA 94110			PROJECT NO. 2014-48		



**APPROVED**  
Dept. of Building Insp.

MAY 13 2015



HANSON W. TULL, DEE  
APR 24 2015

PLAN CHECK RESPONSE  
3-21-15

ADDENDUM RECEIVED:  
APR 21 2015  
SITE PERMIT ADDENDUM FOR  
CONSTRUCTION OF:

REVISION	DATE	BY	DESCRIPTION
K.O.C.	05/14	KEVIN O'CONNOR, INC.	3401 LAWTON STREET SAN FRANCISCO, CA 94122
K.P.	05/14	KEVIN O'CONNOR, INC.	3401 LAWTON STREET SAN FRANCISCO, CA 94122
K.O.C.	05/14	KEVIN O'CONNOR, INC.	3401 LAWTON STREET SAN FRANCISCO, CA 94122
REVISION	DATE	BY	DESCRIPTION
	2014.42		53



## Ferguson, Shannon (CPC)

---

**From:** Joyjit Nath <joyjit@infotune.com>  
**Sent:** Friday, June 01, 2018 9:20 AM  
**To:** Ferguson, Shannon (CPC)  
**Cc:** Johanna Street; Preetha Nath  
**Subject:** Re: Mills Act Contract for 354-356 San Carlos Street

Shannon,

Sorry I had forgotten to send this earlier.

Currently, it is rented at \$2475/mo for a one-year lease (current lease expires at the end of Feb 2019).

Thanks

On Fri, Jun 1, 2018 at 9:08 AM, Ferguson, Shannon (CPC) <[shannon.ferguson@sfgov.org](mailto:shannon.ferguson@sfgov.org)> wrote:

Hi Joyjit,

Would you please send me the rental income from the studio unit? The Assessor will use this number to help calculate the valuation.

Thanks,

Shannon

**Shannon Ferguson**

**Senior Planner | Preservation**

Planning Department, City and County of San Francisco  
1650 Mission Street, Suite 400, San Francisco, CA 94103  
**Direct:** 415-575-9074 **Fax:** 415-558-6409

**Email:** [shannon.ferguson@sfgov.org](mailto:shannon.ferguson@sfgov.org)

**Web:** [www.sfplanning.org](http://www.sfplanning.org)







City & County of San Francisco  
 José Cisneros, Treasurer  
 David Augustine, Tax Collector  
 Secured Property Tax Bill

1 Dr. Carlton B. Goodlett Place  
 City Hall, Room 140  
 San Francisco, CA 94102  
 www.sftreasurer.org

For Fiscal Year July 1, 2017 through June 30, 2018

Vol	Block	Lot	Account Number	Tax Rate	Original Mail Date	Property Location
24	3609	093	360900930	1.1723%	October 11, 2017	354 SAN CARLOS ST

Assessed on January 1, 2017 at 12:01am

To: NATH JOYJIT & PREETHA

**NATH JOYJIT & PREETHA**  
**JOYJIT & PREETHA NATH**  
**354 SAN CARLOS ST**  
**SAN FRANCISCO CA 94110**

Description	Assessed Value	
	Full Value	Tax Amount
Land	816,999	9,577.67
Structure	656,142	7,691.95
Fixtures		
Personal Property	100	1.17
Gross Taxable Value	1,473,241	17,270.80
Less HO Exemption	7,000	82.06
Less Other Exemption		
<b>Net Taxable Value</b>	<b>1,466,241</b>	<b>\$17,188.74</b>

Direct Charges and Special Assessments

Code	Type	Telephone	Amount Due
29	RENT STABILIZATION	(415) 701-2311	45.00
46	SF BAY RS PARCEL TAX	(888) 508-8157	12.00
79	DW CODE ENF FEE	(415) 558-6220	104.00
89	SFUSD FACILITY DIST	(415) 355-2203	36.80
91	SFCCD PARCEL TAX	(415) 487-2400	99.00
98	SF - TEACHER SUPPORT	(415) 355-2203	244.10
<b>Total Direct Charges and Special Assessments</b>			<b>\$540.90</b>

**▶ TOTAL DUE \$17,729.64**

1st Installment	2nd Installment
\$8,864.82	\$8,864.82
Due: November 1, 2017 Delinquent after Dec 11, 2017	Due: February 1, 2018 Delinquent after April 10, 2018

Pay online at [SFTREASURER.ORG](http://SFTREASURER.ORG)

Keep this portion for your records. See back of bill for payment options and additional information.

**J.H. PAINTING**  
*We don't cut corners, we paint them.*

November 7, 2016

To: Joyjit & Preetha Nath  
 Homeowner

Project Title: 354 San Carlos Street  
 San Francisco, CA

Project Description: Exterior -touchups

Invoice number: 160112

Term: 15 Days

DESCRIPTION		COST
Scope of work – Exterior touchups		
<b>Extra line item:</b> <ul style="list-style-type: none"> <li>• Stair-case wall to include on side only of the building.</li> <li>• Touch up siding in back of the building by the deck.</li> <li>• Touch up of the new gutters.</li> <li>• Touch up only of the window trim of the building.</li> <li>• Touch up of concrete patches in the backyard by the foundation.</li> </ul>		
	<b>Subtotal:</b>	<b>\$495.00</b>
<b>Extra line item:</b> <ul style="list-style-type: none"> <li>• Paint the deck railing of the building.</li> </ul>		
	<b>Subtotal:</b>	<b>\$465.00</b>
<b>Extra line item:</b> <ul style="list-style-type: none"> <li>• Touch up of the stairs, one bedroom door panel, and the wedge of the bathroom door.</li> </ul>		
	<b>Subtotal:</b>	<b>\$65.00</b>
	<b>Total:</b>	<b>\$1,025.00</b>
All materials, labor, and sundries to be supplied by J.H. Painting. Tax on materials already included.		
<b>BALANCE DUE:</b>		<b>\$1,025.00</b>

All material is guaranteed to be as specified, and the above work was performed in accordance with the drawings and a specification provided for the above work and was completed in a substantial workmanlike manner for the agreed sum of one thousand twenty five dollars (\$1,025.00). J.H. Painting, License number 909833

<b>Donald Lewis Contractor Payment Schedule</b>						
<b>Total</b>	<b>Total to pay</b>	<b>Paid</b>		<b>Remaining</b>		
	<b>\$412,274.00</b>	<b>\$412,274.00</b>		<b>\$0.00</b>		
<b>Milestone</b>	<b>Amount</b>	<b>Paid</b>	<b>Orig date</b>	<b>Actual date</b>	<b>Date paid</b>	<b>Notes</b>
on signing of contract	\$7,500.00	\$7,500.00		11/25/2014	11/26/2014	Check #1091 mailed 11/26
on onset of work	\$25,000.00	\$25,000.00		6/8/2015	6/5/2015	Check #1168 paid in person
on completion of demo	\$15,000.00	\$15,000.00		6/22/2015	6/24/2015	Check #1169 mailed on 6/24
on completion of foundation	\$45,000.00	\$45,000.00		8/13/2015	8/14/2015	Check #1174 mailed 8/14
on completion of basement slab	\$15,000.00	\$15,000.00	9/3/2015	9/10/2015	9/8/2015	Check #1177 mailed 9/8
on completion of interior wood framing	\$20,000.00	\$20,000.00	8/21/2015	10/1/2015	10/1/2015	Check #1182 mailed 10/1
on completion of structural work	\$55,000.00	\$55,000.00	8/28/2015	10/14/2015	10/14/2015	Check #1186 and #1187 mailed 10/14
on completion of rough mechanicals	\$30,000.00	\$30,000.00	9/4/2015	11/6/2015	11/6/2015	Check #1195 mailed on 11/6
on installation of insulaton	\$10,000.00	\$10,000.00	9/11/2015	11/11/2015	11/11/2015	Check #1198 mailed on 11/11
on completion of window and exterior door installation	\$15,000.00	\$15,000.00	9/4/2015	11/20/2015	11/19/2015	USBank check #102 mailed on 11/19
on completion of drywall	\$25,000.00	\$25,000.00	12/11/2015	12/11/2015	12/7/2015	Check #1207 mailed on 12/7
on completion of interior trim and interior door installation	\$15,000.00	\$15,000.00		12/11/2015	12/7/2015	Check #1208 mailed on 12/7
on completion of installation of cabinets	\$10,000.00	\$10,000.00		1/20/2016	1/20/2015	USBank check #109 paid in person 1/20
on completion of countertops	\$7,500.00	\$7,500.00	2/12/2016	2/12/2016	2/16/2016	Usbank bill pay initiated 2/16 amount \$17363.50
on completion of installation of tile	\$5,000.00	\$5,000.00		1/20/2016	1/20/2016	USBank check #110 paid in person 1/20
on completion of hardwood flooring	\$10,000.00	\$10,000.00	2/12/2016	2/19/2016	2/16/2016	Usbank bill pay initiated 2/16 amount \$17363.50
on completion of interior painting	\$10,000.00	\$10,000.00	2/26/2016	3/14/2016	3/14/2016	Usbank bill pay initiated 3/14 amount \$10310.64
on trim out finish of electrical and plumbing	\$10,000.00	\$10,000.00	3/11/2016	4/6/2016	4/7/2016	Usbank billpay initiated 4/1 amount \$10051.64
on completion of final punch list and completion of job and sign off of permits	\$4,764.00	\$4,764.00	3/11/2016	6/3/2016	6/3/2016	Usbank billpay initiated 6/3 amount 5810.54
<b>Unexpected costs</b>	<b>\$77,510.00</b>					
Extra cost of steel	\$6,308.00	\$6,308.00	Unexpected	6/5/2015	6/5/2015	Check #1167 paid in person
Change order #1: Foundation -- signing of change order	\$14,000.00	\$14,000.00	Unexpected	6/26/2015	6/26/2015	Check #1171 mailed 6/26
Change order #1: Foundation -- completion of half foundation	\$20,000.00	\$20,000.00	Unexpected	7/28/2015	7/28/2015	Check #1172 mailed 7/28
Change order #2: Foundation -- completion of full foundation	\$20,000.00	\$20,000.00	Unexpected	8/14/2015	8/14/2015	Check #1175 mailed 8/14
Change order #3: Sewer work	\$4,500.00	\$4,500.00	Semi-expected	9/8/2015	9/8/2015	Check #1178 mailed 9/8
Change order #4: Structural: engineering changes + not on plans	\$8,450.00	\$8,450.00	Unexpected	10/23/2015	10/26/2015	Check #1189 mailed 10/26
Change order #4: Install doors drywall closet and lower ceiling	\$4,200.00	\$4,200.00	Unexpected	10/23/2015	10/26/2015	Check #1190 mailed 10/26
Re-imburse Donald's time to get permit extension	\$52.00	\$52.00	Unexpected	6/3/2016	6/3/2016	Usbank billpay initiated 6/3 amount 5810.54

**J.H. PAINTING**  
*We don't cut corners, we paint them.*

April 14, 2016

To: Joyjit Nath  
 Homeowner

Project Title: 354 San Carlos St.  
 San Francisco, CA

Project Description: Extra Work Order

Invoice number: 160031

Term: 15 Days

DESCRIPTION	COST
Scope of work - Exterior	
<b>Extra line item:</b>	
<ul style="list-style-type: none"> <li>• Paint concrete edges of the garage door entrance.</li> <li>• Paint rear windows located near the deck area.</li> <li>• Primed and painted miscellaneous items as instructed by Donald.</li> </ul>	
	<b>Total: \$845.00</b>
All materials, labor, and sundries to be supplied by J.H. Painting. Tax on materials already included.	
<b>BALANCE DUE:</b>	<b>\$845.00</b>

All material is guaranteed to be as specified, and the above work was performed in accordance with the drawings and a specification provided for the above work and was completed in a substantial workmanlike manner for the agreed sum of eight hundred forty five dollars (\$845.00).

J.H. Painting, License number 909833

# Donald Lewis General Contractor, Inc.

Lic #742228

17 Edgewood Way San Rafael, CA 94901

Phone: 415.713.2298 Fax: 518.713.2296

This is a contract for Joyjit Nath (Owner) from Donald Lewis (General Contractor) for work to be performed at 354-356 San Carlos street San Francisco, CA 94110

Total Cost of work to be preformed payment breakdown and payment schedule **\$334764.00**

\$6308 additional cost for steel beam sizing paid

\$ 7500 on signing of contract paid

\$ 25000 on onset of work paid

\$ 15000 on completion of demo paid

\$ 45000 on completion of foundation paid

\$ 15000 on completion of basement slab paid

\$ 20000 on completion of interior wood framing paid

\$ 55000 of structural work paid

\$ 30000 on completion of rough mechanicals paid

\$ 10000 on installation of insulaton paid

\$ 15000 on completion of window and exterior door installation paid

\$ 25000 on completion of drywall paid

\$ 15000 on completion of interior trim and interior door installation paid

\$ 10000 on completion of installation of cabients jan 20

\$ 5000 on completion of installation of tile jan 20

\$ 7500 on completion of countertops feb 12

\$ 10000 on completion of hardwood flooring feb 12

\$ 10000 on completion of interior painting feb 26

\$ 10000 on trim out /finish of electrical and plumbing march 11

\$ 4764 on completion of final punch list and completion of job and sign off of permits march 18

Contract: **Change order 1**

Additional cost to contract \$54,000.00 paid

**Change order 2** Replace sewer pipe and do all concrete work \$4500 paid

**Change order 3** Total charge of all changes engineering changes \$5350 paid na/plans \$3100 paid

**Change order 4** install doors drywall closets and lower ceiling \$4200 paid

**current payment due for jan 20 \$15000**

**January 18, 16**

# **M&M Painting**

**License 904728**

482 Montclair Ln., Tracy, CA 95376

(925) 453-1710 Cell Phone

(925) 371-0662 Business Line

## **EXTERIOR WORK PROPOSAL AND CONTRACT**

December 2, 2015

Proposal submitted to:

Donald Lewis

Address:

354 San Carlos St.

San Francisco, CA

Phone:

(415) 713-2298

### **Work Definition:**

#### **I. Preparation:**

Power wash exterior surfaces. Scrape, sand, and prime any loose or peeling paint. Apply Fiberglass bondo as needed to dry rot areas as needed. Caulk exterior surfaces and spackle as needed. Mask and tarp to protect all unpainted surfaces from paint.

#### **II. Paint Applications:**

**A. Exterior:** Prep and apply 1 coat of primer to siding, window trim columns, staircase, deck railing, and pillars. Prep and apply 1 coat of satin to siding. Prep and apply 2 coats of semi-gloss to all trim areas including window systems, pillars, columns, staircase, deck railing, doors, casings and trim areas.

#### **III. Color Selection:**

The color selection must be made to comply with the above specification in order to meet the proposed amount below. If there are any additions to the terms of the contract, the needed labor to meet these changes will be billed out at sixty five dollars (\$65.00) per hour plus any expenses incurred for additional materials and supplies. Colors must be approved by Mike Martinez before commencement of any work will occur.

#### **IV. Total Project Costs:**

The above work will be performed by Mike Martinez for labor and materials for the sum of:

A (4 sides) = \$ 17,280.00

Scaffolding = \$ 5,700.00

**V. Payment Schedule:**

Payable upon completion. All checks made payable to: **“M&M Painting.”**

**\$5,700 Scaffolding payment due at time of set up**

**\$8,640 Partial payment due 10 days after job begins**

**\$8,640 Balance due upon completion**

**THANK YOU FOR CONSIDERING ME FOR YOUR PROJECT!**

ACCEPTANCE OF PROPOSAL

Customer Signature \_\_\_\_\_ Date \_\_\_\_\_

## UNIT SUMMARY

The following is a schedule of the windows and doors for this project. For additional unit details, please see Line Item Quotes.

Additional charges, tax or Terms and Conditions may apply. Detail pricing is per unit.

NUMBER OF LINES: 20	TOTAL UNIT QTY: 20	EXT NET PRICE: USD	21,036.04
---------------------	--------------------	--------------------	-----------

LINE	MARK UNIT	BRAND	ITEM	NET PRICE	QTY	EXTENDED NET PRICE
1	1ST FLOOR	Marvin	Clad Ultimate Sliding French Door RO 60" X 80"	2,494.32	1	2,494.32
2	1ST FLOOR	Marvin	Clad Ultimate Inswing French Door RO 37 5/8" X 80"	1,594.48	1	1,594.48
3	1ST FLOOR	Marvin	Clad Ultimate Glider RO 60 1/2" X 54"	935.56	1	935.56
4	1ST FLOOR	Marvin	Clad Ultimate Awning RO 37" X 35 5/8"	594.32	1	594.32
5	2ND FLOOR FRONT	Marvin	Clad Ultimate Double Hung - Next Generation RO 36 1/4" X 72"	1,067.04	1	1,067.04
6	2ND FLOOR FRONT	Marvin	Clad Ultimate Double Hung - Next Generation RO 36 1/4" X 72"	1,067.04	1	1,067.04
7	2ND FLOOR FRONT	Marvin	Clad Ultimate Double Hung - Next Generation RO 36 1/4" X 72"	1,067.04	1	1,067.04
8	2ND FLOOR	Marvin	Clad Ultimate Inswing French Door RO 38 7/16" X 96"	1,858.20	1	1,858.20
9	DINNING	Marvin	Clad Ultimate Double Hung - Next Generation RO 36 1/4" X 72"	759.24	1	759.24
10	HOME OFFICE	Marvin	Clad Ultimate Double Hung - Next Generation RO 32 1/4" X 64"	637.64	1	637.64
11	HOME OFFICE	Marvin	Clad Ultimate Double Hung - Next Generation RO 32 1/4" X 64"	637.64	1	637.64
12	KITCHEN	Marvin	Clad Ultimate Double Hung - Next Generation RO 38 1/4" X 64"	674.12	1	674.12
13	3RD FLOOR FRONT	Marvin	Clad Ultimate Double Hung - Next Generation RO 36 1/4" X 72"	1,067.04	1	1,067.04
14	3RD FLOOR FRONT	Marvin	Clad Ultimate Double Hung - Next Generation RO 36 1/4" X 72"	1,067.04	1	1,067.04
15	3RD FLOOR FRONT	Marvin	Clad Ultimate Double Hung - Next Generation RO 36 1/4" X 72"	1,067.04	1	1,067.04
16	3RD FLOOR FRONT	Marvin	Clad Ultimate Double Hung - Next Generation RO 36 1/4" X 72"	1,067.04	1	1,067.04
17	MASTER BEDROOM	Marvin	Clad Ultimate Double Hung - Next Generation RO 42 1/4" X 60"	981.92	1	981.92
18	MASTER BEDROOM	Marvin	Clad Ultimate Double Hung - Next Generation RO 42 1/4" X 60"	674.12	1	674.12
19	SIDE ROOM	Marvin	Clad Ultimate Double Hung - Next Generation RO 38 1/4" X 68"	731.12	1	731.12
20	BATHROOM WINDOW	Marvin	Clad Ultimate Double Hung Picture - Next Generation RO 24" X 48"	994.08	1	994.08



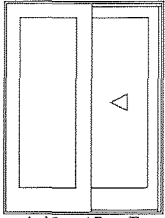
## LINE ITEM QUOTES

The following is a schedule of the windows and doors for this project. For additional unit details, please see Line Item Quotes. Additional charges, tax or Terms and Conditions may apply. Detail pricing is per unit.

Line #1	Mark Unit: 1ST FLOOR	Net Price:		2,494.32
Qty: 1		Ext. Net Price:	USD	2,494.32



Built around you.



As Viewed From The Exterior

FS 59" X 79 1/2"

RO 60" X 80"

**Egress Information**

Width: 21 11/16" Height: 75 3/32"

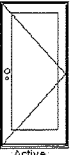
Net Clear Opening: 11.31 SqFt

Stone White Clad Exterior  
 Bare Pine Interior  
 Clad Ultimate Sliding French Door - OX  
 CN 50R66R  
 Rough Opening 60" X 80"  
 Left Panel  
 Stone White Clad Sash Exterior  
 Bare Pine Sash Interior  
 IG - 1 Lite  
 Tempered Low E2 w/Argon  
 Stainless Perimeter Bar  
 Ogee Interior Glazing Profile  
 Right Panel  
 Stone White Clad Sash Exterior  
 Bare Pine Sash Interior  
 IG - 1 Lite  
 Tempered Low E2 w/Argon  
 Stainless Perimeter Bar  
 Ogee Interior Glazing Profile  
 3 Point Multi-Point Lock on Active Panel  
 White Active Exterior Handle Set on Active Panel Non-Keyed  
 White Active Interior Handle Set on Active Panel  
 Exterior Standard Sliding Screen  
 Charcoal Fiberglass Mesh  
 Stone White Surround  
 \*\*\*Screen/Combo Ship Loose  
 Std Ultrex Sill  
 Bronze Ultrex Sill  
 Black Weather Strip  
 6 7/8" Jamb  
 Nailing Fin  
 \*\*\*Note: The selected Interior Finish would allow Finger Joints to appear on secondary surfaces.

Line #2	Mark Unit: IST FLOOR	Net Price:		1,594.48
Qty: 1		Ext. Net Price:	USD	1,594.48



Built around you.



Active

As Viewed From The Exterior

FS 36 5/8" X 79 1/2"

RO 37 5/8" X 80"

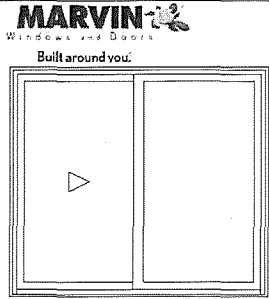
**Egress Information**

No Egress Information available.

Stone White Clad Exterior  
 Bare Pine Interior  
 Clad Ultimate Inswing French Door 6 9/16" - X Right Hand  
 CN 30R66R  
 Rough Opening 37 5/8" X 80"  
 Traditional Panels  
 Stone White Clad Sash Exterior  
 Bare Pine Sash Interior  
 IG - 1 Lite  
 Tempered Low E2 w/Argon  
 Stainless Perimeter Bar  
 Ogee Interior Glazing Profile  
 Traditional Lever(s)  
 Multi-Point Lock on Active Panel  
 White Active Exterior Handle Set on Active Panel Keyed  
 White Active Interior Handle Set on Active Panel  
 White Adjustable Hinges 3 Per Panel  
 Bronze Ultrex Sill  
 Black Weather Strip  
 Oak Sill Liner  
 6 9/16" Jamb

Nailing Fin  
 \*\*\*Note: The selected Interior Finish would allow Finger Joints to appear on secondary surfaces.

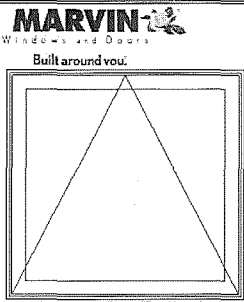
Line #3	Mark Unit: 1ST FLOOR	Net Price:		935.56
Qty: 1		Ext. Net Price:	USD	935.56



As Viewed From The Exterior  
 FS 59 1/2" X 53 1/2"  
 RO 60 1/2" X 54"  
**Egress Information**  
 Width: 26 21/64" Height: 49 9/32"  
 Net Clear Opening: 9.01 SqFt

Stone White Clad Exterior  
 Bare Pine Interior  
 Clad Ultimate Glider - XO - Left Hand  
 CN 5046  
 Rough Opening 60 1/2" X 54"  
 Frame Size 59 1/2" X 53 1/2"  
 Left Sash  
 Stone White Clad Sash Exterior  
 Bare Pine Sash Interior  
 IG - 3/4 in - 1 Lite  
 Low E2 w/Argon  
 Stainless Perimeter Bar  
 Ogee Interior Glazing Profile  
 Standard Bottom Rail  
 Right Sash  
 Stone White Clad Sash Exterior  
 Bare Pine Sash Interior  
 IG - 3/4 in - 1 Lite  
 Low E2 w/Argon  
 Stainless Perimeter Bar  
 Ogee Interior Glazing Profile  
 Standard Bottom Rail  
 White Weather Strip  
 Beige Sill Track  
 White Folding Handle  
 Active Sash Screen  
 Charcoal Fiberglass Mesh  
 Stone White Surround  
 6 7/8" Jamb's  
 Nailing Fin

Line #4	Mark Unit: 1ST FLOOR	Net Price:		594.32
Qty: 1		Ext. Net Price:	USD	594.32



As Viewed From The Exterior  
 FS 36" X 35 1/8"  
 RO 37" X 35 5/8"  
**Egress Information**  
 No Egress Information available.

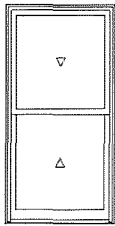
Stone White Clad Exterior  
 Bare Pine Interior  
 Clad Ultimate Awning - Roto Operating  
 CN 3636  
 Rough Opening 37" X 35 5/8"  
 Frame Size 36" X 35 1/8"  
 Stone White Clad Sash Exterior  
 Bare Pine Sash Interior  
 IG - 3/4 in - 1 Lite  
 Low E2 w/Argon  
 Stainless Perimeter Bar  
 Ogee Interior Glazing Profile  
 Standard Bottom Rail  
 White Weather Strip  
 White Folding Handle  
 White Multi - Point Lock  
 Interior Wood Screen  
 Charcoal Hi-Transparency Fbrgls Mesh  
 Bare Pine  
 Ogee Interior Screen Profile  
 6 7/8" Jamb's  
 Nailing Fin

Line #5	Mark Unit: 2ND FLOOR FRONT	Net Price:		1,067.04
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Qty: 1		Ext. Net Price:	USD	1,067.04
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Built around you.



As Viewed From The Exterior

FS 35 1/4" X 71 1/2"

RO 36 1/4" X 72"

**Egress Information**

Width: 31 21/32" Height: 30 5/8"

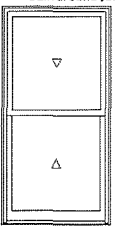
Net Clear Opening: 6.73 SqFt

Stone White Clad Exterior  
 Bare Pine Interior  
 Clad Ultimate Double Hung - Next Generation  
 CN 3032  
 Rough Opening 36 1/4" X 72"  
 #STONE WHITE CLAD OGEE EXTERIOR OGEE LUGS FACTORY APPLIED  
 Top Sash  
 Stone White Clad Sash Exterior  
 Bare Pine Sash Interior  
 IG - 1 Lite  
 Low E2 w/Argon  
 Stainless Perimeter Bar  
 Ogee Interior Glazing Profile  
 Bottom Sash  
 Stone White Clad Sash Exterior  
 Bare Pine Sash Interior  
 IG - 1 Lite  
 Low E2 w/Argon  
 Stainless Perimeter Bar  
 Ogee Interior Glazing Profile  
 White Interior Weatherstrip Package  
 White Exterior Weatherstrip Package  
 White Sash Lock  
 Aluminum Screen  
 Charcoal Fiberglass Mesh  
 Stone White Surround  
 6" Jamb  
 Nailing Fin  
 # Non system generated Pricing

Line #6	Mark Unit: 2ND FLOOR FRONT	Net Price:		1,067.04
Qty: 1		Ext. Net Price:	USD	1,067.04



Built around you.



As Viewed From The Exterior

FS 35 1/4" X 71 1/2"

RO 36 1/4" X 72"

**Egress Information**

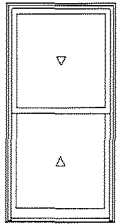
Width: 31 21/32" Height: 30 5/8"

Net Clear Opening: 6.73 SqFt

Stone White Clad Exterior  
 Bare Pine Interior  
 Clad Ultimate Double Hung - Next Generation  
 CN 3032  
 Rough Opening 36 1/4" X 72"  
 #STONE WHITE CLAD OGEE EXTERIOR OGEE LUGS FACTORY APPLIED  
 Top Sash  
 Stone White Clad Sash Exterior  
 Bare Pine Sash Interior  
 IG - 1 Lite  
 Low E2 w/Argon  
 Stainless Perimeter Bar  
 Ogee Interior Glazing Profile  
 Bottom Sash  
 Stone White Clad Sash Exterior  
 Bare Pine Sash Interior  
 IG - 1 Lite  
 Low E2 w/Argon  
 Stainless Perimeter Bar  
 Ogee Interior Glazing Profile  
 White Interior Weatherstrip Package  
 White Exterior Weatherstrip Package  
 White Sash Lock  
 Aluminum Screen  
 Charcoal Fiberglass Mesh  
 Stone White Surround  
 6" Jamb  
 Nailing Fin  
 # Non system generated Pricing

Line #7	Mark Unit: 2ND FLOOR FRONT	Net Price:		1,067.04
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Qty: 1		Ext. Net Price:	USD	1,067.04
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As Viewed From The Exterior

FS 35 1/4" X 71 1/2"  
 RO 36 1/4" X 72"

**Egress Information**

Width: 31 21/32" Height: 30 5/8"  
 Net Clear Opening: 6.73 SqFt

Stone White Clad Exterior  
 Bare Pine Interior  
 Clad Ultimate Double Hung - Next Generation  
 CN 3032  
 Rough Opening 36 1/4" X 72"  
 #STONE WHITE CLAD OGEE EXTERIOR OGEE LUGS FACTORY APPLIED

Top Sash  
 Stone White Clad Sash Exterior  
 Bare Pine Sash Interior  
 IG - 1 Lite  
 Low E2 w/Argon  
 Stainless Perimeter Bar  
 Ogee Interior Glazing Profile

Bottom Sash  
 Stone White Clad Sash Exterior  
 Bare Pine Sash Interior  
 IG - 1 Lite  
 Low E2 w/Argon  
 Stainless Perimeter Bar  
 Ogee Interior Glazing Profile

White Interior Weatherstrip Package  
 White Exterior Weatherstrip Package  
 White Sash Lock  
 Aluminum Screen  
 Charcoal Fiberglass Mesh  
 Stone White Surround

6" Jamb  
 Nailing Fin  
 # Non system generated Pricing

Line #8	Mark Unit: 2ND FLOOR	Net Price:		1,858.20
Qty: 1		Ext. Net Price:	USD	1,858.20



Active

As Viewed From The Exterior

FS 37 7/16" X 95 1/2"  
 RO 38 7/16" X 96"

**Egress Information**

No Egress Information available.

Stone White Clad Exterior  
 Bare Pine Interior  
 Clad Ultimate Inswing French Door 4 9/16" - X Right Hand  
 CN 3080  
 Rough Opening 38 7/16" X 96"

Traditional Panels  
 Stone White Clad Sash Exterior  
 Bare Pine Sash Interior  
 IG - 1 Lite  
 Tempered Low E2 w/Argon  
 Stainless Perimeter Bar  
 Ogee Interior Glazing Profile

Traditional Lever(s)  
 Multi-Point Lock on Active Panel  
 White Active Exterior Handle Set on Active Panel Keyed  
 White Active Interior Handle Set on Active Panel  
 White Adjustable Hinges 3 Per Panel  
 Bronze Ultrex Sill  
 Black Weather Strip  
 Oak Sill Liner

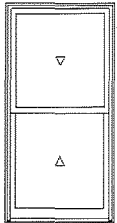
4 13/16" Jamb  
 Nailing Fin

\*\*\*Note: Because of jamb extension, this door may not open beyond 90 degrees.  
 \*\*\*Note: The selected Interior Finish would allow Finger Joints to appear on secondary surfaces.

Line #9	Mark Unit: DINNING	Net Price:		759.24
Qty: 1		Ext. Net Price:	USD	759.24



Stone White Clad Exterior  
 Bare Pine Interior  
 Clad Ultimate Double Hung - Next Generation  
 CN 3032



As Viewed From The Exterior

FS 35 1/4" X 71 1/2"

RO 36 1/4" X 72"

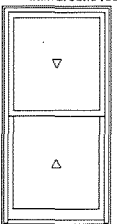
**Egress Information**

Width: 31 21/32" Height: 30 5/8"

Net Clear Opening: 6.73 SqFt

Rough Opening 36 1/4" X 72"  
 Top Sash  
 Stone White Clad Sash Exterior  
 Bare Pine Sash Interior  
 IG - 1 Lite  
 Low E2 w/Argon  
 Stainless Perimeter Bar  
 Ogee Interior Glazing Profile  
 Bottom Sash  
 Stone White Clad Sash Exterior  
 Bare Pine Sash Interior  
 IG - 1 Lite  
 Low E2 w/Argon  
 Stainless Perimeter Bar  
 Ogee Interior Glazing Profile  
 White Interior Weatherstrip Package  
 White Exterior Weatherstrip Package  
 White Sash Lock  
 Aluminum Screen  
 Charcoal Fiberglass Mesh  
 Stone White Surround  
 6" Jamb  
 Nailing Fin

Line #10	Mark Unit: HOME OFFICE	Net Price:	637.64
Qty: 1		Ext. Net Price: USD	637.64



As Viewed From The Exterior

FS 31 1/4" X 63 1/2"

RO 32 1/4" X 64"

**Egress Information**

Width: 27 21/32" Height: 26 5/8"

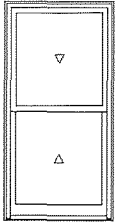
Net Clear Opening: 5.11 SqFt

Stone White Clad Exterior  
 Bare Pine Interior  
 Clad Ultimate Double Hung - Next Generation  
 CN 2628  
 Rough Opening 32 1/4" X 64"  
 Top Sash  
 Stone White Clad Sash Exterior  
 Bare Pine Sash Interior  
 IG - 1 Lite  
 Low E2 w/Argon  
 Stainless Perimeter Bar  
 Ogee Interior Glazing Profile  
 Bottom Sash  
 Stone White Clad Sash Exterior  
 Bare Pine Sash Interior  
 IG - 1 Lite  
 Low E2 w/Argon  
 Stainless Perimeter Bar  
 Ogee Interior Glazing Profile  
 White Interior Weatherstrip Package  
 White Exterior Weatherstrip Package  
 White Sash Lock  
 Aluminum Screen  
 Charcoal Fiberglass Mesh  
 Stone White Surround  
 4 13/16" Jamb  
 Nailing Fin

Line #11	Mark Unit: HOME OFFICE	Net Price:	637.64
Qty: 1		Ext. Net Price: USD	637.64



Stone White Clad Exterior  
 Bare Pine Interior  
 Clad Ultimate Double Hung - Next Generation  
 CN 2628  
 Rough Opening 32 1/4" X 64"  
 Top Sash  
 Stone White Clad Sash Exterior  
 Bare Pine Sash Interior



As Viewed From The Exterior

FS 31 1/4" X 63 1/2"

RO 32 1/4" X 64"

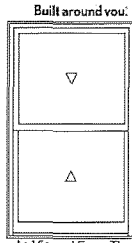
**Egress Information**

Width: 27 21/32" Height: 26 5/8"

Net Clear Opening: 5.11 SqFt

- IG - 1 Lite
- Low E2 w/Argon
- Stainless Perimeter Bar
- Ogee Interior Glazing Profile
- Bottom Sash
- Stone White Clad Sash Exterior
- Bare Pine Sash Interior
- IG - 1 Lite
- Low E2 w/Argon
- Stainless Perimeter Bar
- Ogee Interior Glazing Profile
- White Interior Weatherstrip Package
- White Exterior Weatherstrip Package
- White Sash Lock
- Aluminum Screen
- Charcoal Fiberglass Mesh
- Stone White Surround
- 4 13/16" Jamb
- Nailing Fin

Line #12	Mark Unit: KITCHEN	Net Price:	674.12
Qty: 1		Ext. Net Price:	674.12
		USD	



As Viewed From The Exterior

FS 37 1/4" X 63 1/2"

RO 38 1/4" X 64"

**Egress Information**

Width: 33 21/32" Height: 26 5/8"

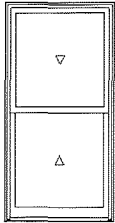
Net Clear Opening: 6.22 SqFt

- Stone White Clad Exterior
- Bare Pine Interior
- Clad Ultimate Double Hung - Next Generation
- CN 3228
- Rough Opening 38 1/4" X 64"
- Top Sash
- Stone White Clad Sash Exterior
- Bare Pine Sash Interior
- IG - 1 Lite
- Low E2 w/Argon
- Stainless Perimeter Bar
- Ogee Interior Glazing Profile
- Bottom Sash
- Stone White Clad Sash Exterior
- Bare Pine Sash Interior
- IG - 1 Lite
- Low E2 w/Argon
- Stainless Perimeter Bar
- Ogee Interior Glazing Profile
- White Interior Weatherstrip Package
- White Exterior Weatherstrip Package
- White Sash Lock
- Aluminum Screen
- Charcoal Fiberglass Mesh
- Stone White Surround
- 4 13/16" Jamb
- Nailing Fin

Line #13	Mark Unit: 3RD FLOOR FRONT	Net Price:	1,067.04
Qty: 1		Ext. Net Price:	1,067.04
		USD	



- Stone White Clad Exterior
- Bare Pine Interior
- Clad Ultimate Double Hung - Next Generation
- CN 3032
- Rough Opening 36 1/4" X 72"
- #STONE WHITE CLAD OGEE EXTERIOR OGEE LUGS FACTORY APPLIED
- Top Sash
- Stone White Clad Sash Exterior
- Bare Pine Sash Interior
- IG - 1 Lite
- Low E2 w/Argon
- Stainless Perimeter Bar

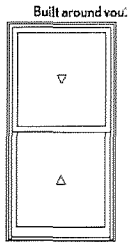


As Viewed From The Exterior  
 FS 35 1/4" X 71 1/2"  
 RO 36 1/4" X 72"

**Egress Information**  
 Width: 31 21/32" Height: 30 5/8"  
 Net Clear Opening: 6.73 SqFt

- Ogee Interior Glazing Profile
- Bottom Sash
- Stone White Clad Sash Exterior
- Bare Pine Sash Interior
- IG - 1 Lite
- Low E2 w/Argon
- Stainless Perimeter Bar
- Ogee Interior Glazing Profile
- White Interior Weatherstrip Package
- White Exterior Weatherstrip Package
- White Sash Lock
- Aluminum Screen
- Charcoal Fiberglass Mesh
- Stone White Surround
- 6" Jamb
- Nailing Fin
- # Non system generated Pricing

Line #14	Mark Unit: 3RD FLOOR FRONT	Net Price:		1,067.04
Qty: 1		Ext. Net Price:	USD	1,067.04



As Viewed From The Exterior  
 FS 35 1/4" X 71 1/2"  
 RO 36 1/4" X 72"

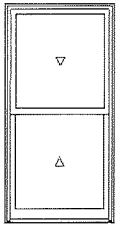
**Egress Information**  
 Width: 31 21/32" Height: 30 5/8"  
 Net Clear Opening: 6.73 SqFt

- Stone White Clad Exterior
- Bare Pine Interior
- Clad Ultimate Double Hung - Next Generation
- CN 3032
- Rough Opening 36 1/4" X 72"
- #STONE WHITE CLAD OGEE EXTERIOR OGEE LUGS FACTORY APPLIED
- Top Sash
- Stone White Clad Sash Exterior
- Bare Pine Sash Interior
- IG - 1 Lite
- Low E2 w/Argon
- Stainless Perimeter Bar
- Ogee Interior Glazing Profile
- Bottom Sash
- Stone White Clad Sash Exterior
- Bare Pine Sash Interior
- IG - 1 Lite
- Low E2 w/Argon
- Stainless Perimeter Bar
- Ogee Interior Glazing Profile
- White Interior Weatherstrip Package
- White Exterior Weatherstrip Package
- White Sash Lock
- Aluminum Screen
- Charcoal Fiberglass Mesh
- Stone White Surround
- 6" Jamb
- Nailing Fin
- # Non system generated Pricing

Line #15	Mark Unit: 3RD FLOOR FRONT	Net Price:		1,067.04
Qty: 1		Ext. Net Price:	USD	1,067.04



- Stone White Clad Exterior
- Bare Pine Interior
- Clad Ultimate Double Hung - Next Generation
- CN 3032
- Rough Opening 36 1/4" X 72"
- #STONE WHITE CLAD OGEE EXTERIOR OGEE LUGS FACTORY APPLIED
- Top Sash
- Stone White Clad Sash Exterior
- Bare Pine Sash Interior
- IG - 1 Lite
- Low E2 w/Argon
- Stainless Perimeter Bar



As Viewed From The Exterior

FS 35 1/4" X 71 1/2"

RO 36 1/4" X 72"

**Egress Information**

Width: 31 21/32" Height: 30 5/8"

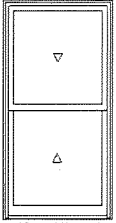
Net Clear Opening: 6.73 SqFt

- Ogee Interior Glazing Profile
- Bottom Sash
- Stone White Clad Sash Exterior
- Bare Pine Sash Interior
- IG - 1 Lite
- Low E2 w/Argon
- Stainless Perimeter Bar
- Ogee Interior Glazing Profile
- White Interior Weatherstrip Package
- White Exterior Weatherstrip Package
- White Sash Lock
- Aluminum Screen
- Charcoal Fiberglass Mesh
- Stone White Surround
- 6" Jamb
- Nailing Fin
- # Non system generated Pricing

Line #16	Mark Unit: 3RD FLOOR FRONT	Net Price:	1,067.04
Qty: 1		Ext. Net Price:	USD 1,067.04



Built around you.



As Viewed From The Exterior

FS 35 1/4" X 71 1/2"

RO 36 1/4" X 72"

**Egress Information**

Width: 31 21/32" Height: 30 5/8"

Net Clear Opening: 6.73 SqFt

- Stone White Clad Exterior
- Bare Pine Interior
- Clad Ultimate Double Hung - Next Generation
- CN 3032
- Rough Opening 36 1/4" X 72"
- #STONE WHITE CLAD OGEE EXTERIOR OGEE LUGS FACTORY APPLIED
- Top Sash
- Stone White Clad Sash Exterior
- Bare Pine Sash Interior
- IG - 1 Lite
- Low E2 w/Argon
- Stainless Perimeter Bar
- Ogee Interior Glazing Profile
- Bottom Sash
- Stone White Clad Sash Exterior
- Bare Pine Sash Interior
- IG - 1 Lite
- Low E2 w/Argon
- Stainless Perimeter Bar
- Ogee Interior Glazing Profile
- White Interior Weatherstrip Package
- White Exterior Weatherstrip Package
- White Sash Lock
- Aluminum Screen
- Charcoal Fiberglass Mesh
- Stone White Surround
- 6" Jamb
- Nailing Fin
- # Non system generated Pricing

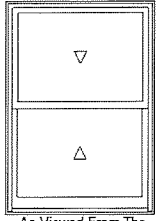
Line #17	Mark Unit: MASTER BEDROOM	Net Price:	981.92
Qty: 1		Ext. Net Price:	USD 981.92



Built around you.

- Stone White Clad Exterior
- Bare Pine Interior
- Clad Ultimate Double Hung - Next Generation
- CN 3626
- Rough Opening 42 1/4" X 60"
- #STONE WHITE CLAD OGEE EXTERIOR OGEE LUGS FACTORY APPLIED
- Top Sash
- Stone White Clad Sash Exterior
- Bare Pine Sash Interior
- IG - 1 Lite
- Low E2 w/Argon
- Stainless Perimeter Bar





As Viewed From The Exterior

FS 41 1/4" X 59 1/2"

RO 42 1/4" X 60"

**Egress Information**

Width: 37 21/32" Height: 24 5/8"

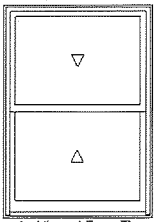
Net Clear Opening: 6.44 SqFt

- Ogee Interior Glazing Profile
- Bottom Sash
- Stone White Clad Sash Exterior
- Bare Pine Sash Interior
- IG - 1 Lite
- Low E2 w/Argon
- Stainless Perimeter Bar
- Ogee Interior Glazing Profile
- White Interior Weatherstrip Package
- White Exterior Weatherstrip Package
- White Sash Lock
- Aluminum Screen
- Charcoal Fiberglass Mesh
- Stone White Surround
- 4 13/16" Jamb
- Nailing Fin
- # Non system generated Pricing

Line #18	Mark Unit: MASTER BEDROOM	Net Price:	674.12
Qty: 1		Ext. Net Price:	674.12
		USD	



Built around you.



As Viewed From The Exterior

FS 41 1/4" X 59 1/2"

RO 42 1/4" X 60"

**Egress Information**

Width: 37 21/32" Height: 24 5/8"

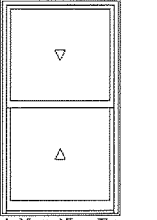
Net Clear Opening: 6.44 SqFt

- Stone White Clad Exterior
- Bare Pine Interior
- Clad Ultimate Double Hung - Next Generation
- CN 3626
- Rough Opening 42 1/4" X 60"
- Top Sash
- Stone White Clad Sash Exterior
- Bare Pine Sash Interior
- IG - 1 Lite
- Low E2 w/Argon
- Stainless Perimeter Bar
- Ogee Interior Glazing Profile
- Bottom Sash
- Stone White Clad Sash Exterior
- Bare Pine Sash Interior
- IG - 1 Lite
- Low E2 w/Argon
- Stainless Perimeter Bar
- Ogee Interior Glazing Profile
- White Interior Weatherstrip Package
- White Exterior Weatherstrip Package
- White Sash Lock
- Aluminum Screen
- Charcoal Fiberglass Mesh
- Stone White Surround
- 4 13/16" Jamb
- Nailing Fin

Line #19	Mark Unit: SIDE ROOM	Net Price:	731.12
Qty: 1		Ext. Net Price:	731.12
		USD	



Built around you.



As Viewed From The Exterior

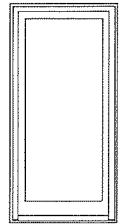
FS 37 1/4" X 67 1/2"

- Stone White Clad Exterior
- Bare Pine Interior
- Clad Ultimate Double Hung - Next Generation
- CN 3230
- Rough Opening 38 1/4" X 68"
- Top Sash
- Stone White Clad Sash Exterior
- Bare Pine Sash Interior
- IG - 1 Lite
- Low E2 w/Argon
- Stainless Perimeter Bar
- Ogee Interior Glazing Profile
- Bottom Sash
- Stone White Clad Sash Exterior

**RO 38 1/4" X 68"**  
**Egress Information**  
 Width: 33 21/32" Height: 28 5/8"  
 Net Clear Opening: 6.69 SqFt

Bare Pine Sash Interior  
 IG - 1 Lite  
 Low E2 w/Argon  
 Stainless Perimeter Bar  
 Ogee Interior Glazing Profile  
 White Interior Weatherstrip Package  
 White Exterior Weatherstrip Package  
 White Sash Lock  
 Aluminum Screen  
 Charcoal Fiberglass Mesh  
 Stone White Surround  
 4 13/16" Jamb  
 Nailing Fin

Line #20	Mark Unit: BATHROOM WINDOW	Net Price:	994.08
Qty: 1		Ext. Net Price: USD	994.08



As Viewed From The Exterior

FS 23" X 47 1/2"  
 RO 24" X 48"

**Egress Information**  
 No Egress Information available.

Stone White Clad Exterior  
 Bare Pine Interior  
 Clad Ultimate Double Hung Picture - Next Generation  
 Rough Opening 24" X 48"  
 Standard CN Height 46  
 Stone White Clad Sash Exterior  
 Bare Pine Sash Interior  
 IG - 1 Lite  
 Tempered Low E2 w/Argon  
 Stainless Perimeter Bar  
 Ogee Interior Glazing Profile  
 White Interior Weatherstrip Package  
 White Exterior Weatherstrip Package  
 4 9/16" Jamb  
 Nailing Fin

Project Subtotal Net Price: USD	21,036.04
9.000% Sales Tax: USD	1,893.24
Project Total Net Price: USD	22,929.28

joyit san carlos complete donald #.xls [1] 354 san carlos		11/17/2014	joyit san carlos complete w:allowanc 354 san carlos		11/7/2014 Actual
<b>COST ESTIMATE</b>			<b>COST ESTIMATE</b>		
Clean-up & maintenance & debris removal	\$13,000.00		Clean-up & maintenance & debris ren	\$13,000.00	
Temp. facilities & equipment rentals	\$1,500.00		Temp. facilities & equipment rentals	\$1,500.00	
Insurance/bonds	\$1,000.00		Insurance/bonds	\$1,000.00	
Superintendent	\$5,600.00		Superintendent	\$5,600.00	
<b>1 - General Req't's. Subtotal</b>	<b>\$21,100.00</b>		<b>1 - General Req't's. Subtotal</b>	<b>\$21,100.00</b>	
Scaffold	\$4,000.00		Scaffold	\$4,000.00	
Demo	\$18,500.00		Demo	\$18,500.00	
<b>2 - Site Construction Subtotal</b>	<b>\$22,500.00</b>		<b>2 - Site Construction Subtotal</b>	<b>\$22,500.00</b>	
Drainage Foundation	\$5,500.00		Drainage Foundation	\$5,500.00	
Paving & flatwork	\$15,000.00		Paving & flatwork	\$15,000.00	
Foundation	\$22,800.00		Foundation	\$22,800.00	
<b>3 - Concrete Subtotal</b>	<b>\$43,300.00</b>		<b>3 - Concrete Subtotal</b>	<b>\$43,300.00</b>	
Stucco removal	\$1,800.00		Stucco removal	\$1,800.00	
<b>4 - Masonry Subtotal</b>	<b>\$1,800.00</b>		<b>4 - Masonry Subtotal</b>	<b>\$1,800.00</b>	
	<b>\$1,800.00</b>			<b>\$1,800.00</b>	
2nd water meter			2nd water meter		
Permit cost (allowance) paid by owner			Permit cost (allowance) paid by owner		
<b>5 - City Costs Subtotal</b>	<b>\$0.00</b>		<b>5 - City Costs Subtotal</b>	<b>\$0.00</b>	
Structural work shearwalls steel	\$60,000.00		Structural work shearwalls steel	\$60,000.00	
Rough carpentry	\$60,000.00		Rough carpentry	\$60,000.00	
Ext. finish carpentry	\$41,000.00		Ext. finish carpentry	\$41,000.00	
Interior finish carpentry	\$45,000.00		Interior finish carpentry	\$45,000.00	
Kitchen + dining cabinetry (allowance)			Kitchen + dining cabinetry (allowance)	\$18,000.00	
Bathroom cabinetry (allowance)			Bathroom cabinetry (allowance)	\$2,500.00	
Closets (allowance)			Closets (allowance)	\$2,500.00	
<b>6 - Wood &amp; Plastics Subtotal</b>	<b>\$206,000.00</b>		<b>6 - Wood &amp; Plastics Subtotal</b>	<b>\$229,000.00</b>	
exterior painting (allowance)			exterior painting (allowance)	\$15,000.00	
Roofing patch			Roofing patch	\$3,500.00	

Insulation	\$5,500.00	Insulation	\$5,500.00	
Decking materials (allowances)		Decking materials (allowances)	\$4,500.00	
<b>7 - Thermal &amp; Moisture Prot. Subtotal</b>	<b>\$5,500.00</b>	<b>7 - Thermal &amp; Moisture Prot. Subtotal</b>	<b>\$28,500.00</b>	
Windows, skylights, Ext doors (allowance) (optional)		Windows, skylights, Ext doors (allowa	\$15,000.00	
Interior doors /trim(allowance)		front exterior facing/ trim (allowance)	\$8,500.00	
Garage door(allowance)		Interior doors /trim(allowance)	\$5,000.00	
Door hardware(allowance)		Garage door(allowance)		
<b>8 - Doors &amp; Windows Subtotal</b>	<b>\$0.00</b>	Door hardware(allowance)	\$1,000.00	
		<b>8 - Doors &amp; Windows Subtotal</b>	<b>\$29,500.00</b>	29368.14
Sheetrock	\$28,000.00	Sheetrock	\$28,000.00	
Bathroom tile (allowance)		Bathroom tile (allowance)	\$2,500.00	
Misc. glazing (shower, mirrors)		Misc. glazing (shower, mirrors)	\$2,000.00	
Stone slab countertops (allowance)		Stone slab countertops (allowance)	\$12,000.00	
Hardwood flooring (allowance)		Hardwood flooring (allowance)	\$15,000.00	
interior painting		interior painting	\$15,000.00	
<b>9 - Finishes Subtotal</b>	<b>\$28,000.00</b>	<b>9 - Finishes Subtotal</b>	<b>\$74,500.00</b>	
sewer line and new main		sewer line and new main		
Rough plumbing (estimate)		Rough plumbing (estimate)	\$24,100.00	
Bathroom fixtures (allowance)		Bathroom fixtures (allowance)	\$4,000.00	
Kitchen appliances (allowance)		Kitchen appliances (allowance)	\$12,000.00	
HVAC		HVAC	\$15,000.00	
<b>10 - Mechanical Subtotal</b>	<b>\$0.00</b>	<b>10 - Mechanical Subtotal</b>	<b>\$55,100.00</b>	
Rough electrical (estimate)		Rough electrical (estimate)	\$25,000.00	
Alarm system, phone, network, AV(allowance)		Alarm system, phone, network, AV(allowance)		
Lighting fixtures (allowance)		Lighting fixtures (allowance)		
<b>11 - Electrical Subtotal</b>	<b>\$0.00</b>	<b>11 - Electrical Subtotal</b>	<b>\$25,000.00</b>	
SUBTOTAL	<b>\$328,200.00</b>	SUBTOTAL	<b>\$530,300.00</b>	
OVERHEAD & PROFIT	<b>\$6,564.00</b>	OVERHEAD & PROFIT	<b>\$10,606.00</b>	
<b>TOTAL COST</b>	<b>\$334,764.00</b>	<b>TOTAL COST</b>	<b>\$540,906.00</b>	

[1] "below is a spreadsheet with allowances also a spreadsheet with my raw numbers less subcontractor numbers and allowances and example contract please look over and call if you have any questions  
please note the following were updated on spreadsheet. scaffold pricestucco removal for front. decking material allowance fornt exterior allowance and 2% profit added."

[2] "below is a spreadsheet with allowances also a spreadsheet with my raw numbers less subcontractor numbers and allowances and example contract please look over and call if you have any questions  
please note the following were updated on spreadsheet. scaffold pricestucco removal for front. decking material allowance fornt exterior allowance and 2% profit added."



# SAN FRANCISCO PLANNING DEPARTMENT

October 10, 2018

Ms. Angela Calvillo, Clerk  
Board of Supervisors  
City and County of San Francisco  
City Hall, Room 244  
1 Dr. Carlton B. Goodlett Place  
San Francisco, CA 94102

1650 Mission St.  
Suite 400  
San Francisco,  
CA 94103-2479

Reception:  
415.558.6378

Fax:  
415.558.6409

Planning  
Information:  
415.558.6377

Re: Transmittal of Planning Department Case Numbers: 2018-006629MLS; 2018-006717MLS; 2018-006796MLS; 2018-006690MLS; 2018-006794MLS; 2018-007338MLS

Six Individual Mills Act Historical Property Contract Applications for the following addresses: 2253 Webster Street; 353 Kearny Street; 465-467 Oak Street; 587 Waller Street; 354-356 San Carlos Street; 811 Treat Avenue

BOS File Nos: \_\_\_\_\_ (pending)

Historic Preservation Commission Recommendation: Approval

Dear Ms. Calvillo,

On October 3, 2018 the San Francisco Historic Preservation Commission (hereinafter "Commission") conducted a duly noticed public hearing at a regularly scheduled meeting to consider the proposed Mills Act Historical Property Contract Applications. At the October 3, 2018 hearing, the Commission voted to approve the proposed Resolutions.

The Resolutions recommend the Board of Supervisors approve the Mills Act Historical Property Contracts as each property is a historical resource and the proposed Rehabilitation and Maintenance plans are appropriate and conform to the *Secretary of the Interior's Standard for the Treatment of Historic Properties*. Please refer to the attached exhibits for specific work to be completed for each property.

The Project Sponsors submitted the Mills Act applications on May 1, 2018. As detailed in the Mills Act application, the Project Sponsors have committed to Rehabilitation and Maintenance plans that will include both annual and cyclical scopes of work. The Mills Act Historical Property Contract will help the Project Sponsors mitigate these expenditures and will enable the Project Sponsors to maintain the properties in excellent condition in the future.

The Planning Department will administer an inspection program to monitor the provisions of the contract. This program will involve a yearly affidavit issued by the property owner verifying compliance with the approved Maintenance and Rehabilitation plans as well as a cyclical 5-year site inspection.

RECEIVED  
BOARD OF SUPERVISORS  
SAN FRANCISCO  
2018 OCT 10 PM 3:54

Transmittal Materials  
Mills Act Historical Property Contracts

The Mills Act Historical Property Contract is time sensitive. Contracts must be recorded with the Assessor-Recorder by December 30, 2018 to become effective in 2019. Your prompt attention to this matter is appreciated.

If you have any questions or require further information please do not hesitate to contact me.

Sincerely,



Aaron D. Starr  
Manager of Legislative Affairs

cc: Erica Major, Office of the Clerk of the Board  
Andrea Ruiz-Esquide, City Attorney's Office

Attachments:

Mills Act Contract Case Report, dated October 3, 2018

**2253 Webster Street**

Historic Preservation Commission Resolution  
Draft Mills Act Historical Property Contract  
Draft Rehabilitation & Maintenance Plans  
Draft Mills Act Valuation provided by the Assessor-Recorder's Office  
Mills Act Application

**353 Kearny Street**

Historic Preservation Commission Resolution  
Draft Mills Act Historical Property Contract  
Draft Rehabilitation & Maintenance Plans  
Draft Mills Act Valuation provided by the Assessor-Recorder's Office  
Mills Act Application  
Historic Structure Report

**465-467 Oak Street**

Historic Preservation Commission Resolution  
Draft Mills Act Historical Property Contract  
Draft Rehabilitation & Maintenance Plans  
Draft Mills Act Valuation provided by the Assessor-Recorder's Office  
Mills Act Application

**587 Waller Street**

Historic Preservation Commission Resolution  
Draft Mills Act Historical Property Contract

**Transmittal Materials  
Mills Act Historical Property Contracts**

Draft Rehabilitation & Maintenance Plans  
Draft Mills Act Valuation provided by the Assessor-Recorder's Office  
Mills Act Application  
Historic Structure Report

**354-356 San Carlos Street**

Historic Preservation Commission Resolution  
Draft Mills Act Historical Property Contract  
Draft Rehabilitation & Maintenance Plans  
Draft Mills Act Valuation provided by the Assessor-Recorder's Office  
Mills Act Application

**811 Treat Avenue**

Historic Preservation Commission Resolution  
Draft Mills Act Historical Property Contract  
Draft Rehabilitation & Maintenance Plans  
Draft Mills Act Valuation provided by the Assessor-Recorder's Office  
Mills Act Application



**FORM SFEC-126:**  
**NOTIFICATION OF CONTRACT APPROVAL**  
(S.F. Campaign and Governmental Conduct Code § 1.126)

<b>City Elective Officer Information</b> <i>(Please print clearly.)</i>	
Name of City elective officer(s): Members, Board of Supervisors	City elective office(s) held: Members, Board of Supervisors
<b>Contractor Information</b> <i>(Please print clearly.)</i>	
Name of contractor: Joyjit Nath, Preetha Nath	
Please list the names of (1) members of the contractor's board of directors; (2) the contractor's chief executive officer, chief financial officer and chief operating officer; (3) any person who has an ownership of 20 percent or more in the contractor; (4) any subcontractor listed in the bid or contract; and (5) any political committee sponsored or controlled by the contractor. Use <b>additional pages as necessary.</b> Joyjit Nath, Preetha Nath	
Contractor address: 354 San Carlos Street San Francisco, CA 94110	
Date that contract was approved: <i>(By the SF Board of Supervisors)</i>	Amount of contracts: \$4,532 (estimated property tax savings)
Describe the nature of the contract that was approved: Mills Act Historical Property Contract	
Comments:	

This contract was approved by (check applicable):

the City elective officer(s) identified on this form

a board on which the City elective officer(s) serves: San Francisco Board of Supervisors  
Print Name of Board

the board of a state agency (Health Authority, Housing Authority Commission, Industrial Development Authority Board, Parking Authority, Redevelopment Agency Commission, Relocation Appeals Board, Treasure Island Development Authority) on which an appointee of the City elective officer(s) identified on this form sits

Print Name of Board

<b>Filer Information</b> <i>(Please print clearly.)</i>	
Name of filer: Angela Calvillo, Clerk of the Board	Contact telephone number: (415) 554-5184
Address: City Hall, Room 244, 1 Dr. Carlton B. Goodlett Pl., San Francisco, CA 94102	E-mail: Board.of.Supervisors@sfgov.org

\_\_\_\_\_  
Signature of City Elective Officer (if submitted by City elective officer)

\_\_\_\_\_  
Date Signed

\_\_\_\_\_  
Signature of Board Secretary or Clerk (if submitted by Board Secretary or Clerk)

\_\_\_\_\_  
Date Signed

Print Form

# Introduction Form

By a Member of the Board of Supervisors or Mayor

ALUCIV  
BOARD OF SUPERVISORS  
SAN FRANCISCO

2018 OCT 24 AM 9:30

Time stamp  
or meeting date

I hereby submit the following item for introduction (select only one):

- 1. For reference to Committee. (An Ordinance, Resolution, Motion or Charter Amendment).
- 2. Request for next printed agenda Without Reference to Committee.
- 3. Request for hearing on a subject matter at Committee.
- 4. Request for letter beginning : "Supervisor [ ] inquiries"
- 5. City Attorney Request.
- 6. Call File No. [ ] from Committee.
- 7. Budget Analyst request (attached written motion).
- 8. Substitute Legislation File No. [ ]
- 9. Reactivate File No. [ ]
- 10. Topic submitted for Mayoral Appearance before the BOS on [ ]

Please check the appropriate boxes. The proposed legislation should be forwarded to the following:

- Small Business Commission
- Youth Commission
- Ethics Commission
- Planning Commission
- Building Inspection Commission

**Note: For the Imperative Agenda (a resolution not on the printed agenda), use the Imperative Form.**

Sponsor(s):

Ronen

Subject:

[Mills Act Historical Property Contract - 354-356 San Carlos Street]

The text is listed:

Resolution approving an historical property contract between Joyjit and Preetha Nath, the owners of 354-356 San Carlos Street, and the City and County of San Francisco, under Administrative Code, Chapter 71; and authorizing the Planning Director and the Assessor-Recorder to execute and record the historical property contract. (Historic Preservation Commission)

Signature of Sponsoring Supervisor:

*Shelly Ronen*

For Clerk's Use Only