

File No. 170313

Committee Item No. \_\_\_\_\_

Board Item No. 13.

## COMMITTEE/BOARD OF SUPERVISORS

### AGENDA PACKET CONTENTS LIST

Committee: \_\_\_\_\_

Date: \_\_\_\_\_

Board of Supervisors Meeting

Date: April 25, 2017

#### Cmte Board

- |                          |                                     |  |
|--------------------------|-------------------------------------|--|
| <input type="checkbox"/> | <input type="checkbox"/>            | Motion                                       |
| <input type="checkbox"/> | <input type="checkbox"/>            | Resolution                                   |
| <input type="checkbox"/> | <input type="checkbox"/>            | Ordinance                                    |
| <input type="checkbox"/> | <input type="checkbox"/>            | Legislative Digest                           |
| <input type="checkbox"/> | <input type="checkbox"/>            | Budget and Legislative Analyst Report        |
| <input type="checkbox"/> | <input type="checkbox"/>            | Youth Commission Report                      |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | Introduction Form                            |
| <input type="checkbox"/> | <input type="checkbox"/>            | Department/Agency Cover Letter and/or Report |
| <input type="checkbox"/> | <input type="checkbox"/>            | MOU  |
| <input type="checkbox"/> | <input type="checkbox"/>            | Grant Information Form                       |
| <input type="checkbox"/> | <input type="checkbox"/>            | Grant Budget                                 |
| <input type="checkbox"/> | <input type="checkbox"/>            | Subcontract Budget                           |
| <input type="checkbox"/> | <input type="checkbox"/>            | Contract/Agreement                           |
| <input type="checkbox"/> | <input type="checkbox"/>            | Form 126 – Ethics Commission                 |
| <input type="checkbox"/> | <input type="checkbox"/>            | Award Letter                                 |
| <input type="checkbox"/> | <input type="checkbox"/>            | Application                                  |
| <input type="checkbox"/> | <input type="checkbox"/>            | Public Correspondence                        |

#### OTHER

- |                          |                                     |   |
|--------------------------|-------------------------------------|---|
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | <u>Appeal Letter - March 20, 2017</u>                 |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | <u>Appellant Supplemental Letter - April 17, 2017</u> |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | <u>Planning Appeal Response - April 17, 2017</u>      |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | <u>Clerical Documents and Hearing Notices</u>         |
| <input type="checkbox"/> | <input type="checkbox"/>            | _____   |

Prepared by: Brent Jalipa

Date: April 20, 2017

Prepared by: \_\_\_\_\_

Date: \_\_\_\_\_

RECEIVED  
BOARD OF SUPERVISORS  
SAN FRANCISCO

2017 MAR 20 PM 2: 23

BY BF

March 20, 2017

Board President London Breed  
and Members of the Board of Supervisors  
c/o Clerk of the Board of Supervisors  
1 Dr. Carlton B. Goodlett Place  
San Francisco, California 94102

Re: Appeal of CEQA Exemption Determination  
953 Treat Avenue (APN 3639/028)  
Planning Department Case 2015-006510CUA/VAR

Honorable Board President Breed and Supervisors,

I write to appeal the Planning Department's determination that the demolition project proposed at 953 Treat Avenue is exempt from environmental review under the California Environmental Quality Act (CEQA). In my professional opinion, the demolition will have a significant impact on a historic resource and is therefore not exempt from CEQA. (CEQA Guidelines section 15300.2 subdivision (f).)

On March 25, 2016, the Planning Department issued a CEQA Categorical Exemption Determination finding that no historic resource is present on the site either as an individual resource or as a contributor to a district. On February 16, 2017, the Planning Commission approved a Conditional Use authorization for the demolition project. This appeal is timely because it is being filed within 30 days of the project receiving the first approval action based on the categorical exemption.

The project proposes the demolition of the existing single-family residence at 953 Treat Avenue constructed in 1887. It is my professional opinion that the residence is a historic resource that qualifies for individual listing in the California Register of Historical Resources under Criteria 1 and 2. The 130-year old structure is a good example of vernacular, worker housing in the Italianate style and is significant for its association with John Center, pioneer, builder and businessman.

Further evidence in support of the building's historic significance is stated in the Planning Department's own research and publication, including *City Within a City: a Historic Context Statement for San Francisco's Mission District*.<sup>1</sup> This study explains the significance of John Center and the John Center Water Works, a water system that

---

<sup>1</sup> *City Within a City: a Historic Context Statement for San Francisco's Mission District*, prepared by the City and County of San Francisco Planning Department, dated November 2007. pps. 47, 59.

**Katherine T. Petrin | Architectural Historian & Preservation Planner**  
1736 Stockton Street, Suite 2A, San Francisco, California 94133

saved hundreds of buildings in the Mission after the post-earthquake fires, including 953 Treat. John Center Corporation owned 953 Treat from 1894-1924.

In 2010, as part of the Department's *South Mission Historic Resources Survey*, the resource at 953 Treat Avenue was identified and evaluated. It received two status codes: 3CS [appears eligible for the California Register as an individual property through survey evaluation] and 7N [needs to be reevaluated].

Since 2005, the building has been assessed for historic significance on various occasions; evaluators have reached conflicting conclusions.

Due to the demolition of a historic resource, the proposed project has potentially significant environmental impacts. The City's reliance on the Categorical Exemption therefore violates CEQA. CEQA review is warranted and mandated by law.

I request that you grant this appeal and require environmental review.

Thank you for your consideration.

Sincerely,



Katherine T. Petrin  
Architectural Historian

CC: (w/o enclosures)

Ms. Esmeralda Jardines, Planner, San Francisco Planning Department  
Office of District Supervisor Hillary Ronen  
Susan Brandt-Hawley, Brandt-Hawley Law Group  
Mike Buhler, San Francisco Heritage  
F. Joseph Butler, AIA

27 January 2017

Ms. Esmeralda Jardines, Planner  
City of San Francisco Planning Department  
1650 Mission Street, #400  
San Francisco, California 94103

Re: 953 Treat Avenue (APN 3639/028)

Ms. Jardines:

On behalf of Friends of 953 Treat, a group of neighbors, I am writing to oppose the proposed demolition of the residence at 953 Treat Avenue, constructed in the Italianate style in 1887. Since 2000 I have practiced in San Francisco as an Architectural Historian and Preservation Planner and I regularly apply the National Register and California Register criteria to evaluate historic buildings. I utilize local, state, and national preservation regulations and regularly prepare historic significance assessments for environmental review documents. I meet the *Secretary of the Interior's Historic Preservation Professional Qualifications Standards* in History and Architectural History.

Based on my background and experience, it is my professional opinion that the 1887 residence qualifies for individual listing in the California Register of Historical Resources at the local level. The 130-year old structure is a good example of vernacular, worker housing in the Italianate style and is significant for its association with John Center, pioneer, builder and businessman. Center owned the building at 953 Treat during the 1906 earthquake and fires. He constructed the water system that saved this building and hundreds of others in the area from the post-earthquake fires. These events and the significance of John Center and the John Center Water Works are documented in *City Within a City: a Historic Context Statement for San Francisco's Mission District*, prepared by the Planning Department.<sup>1</sup>

Friends of 953 Treat urge retention of the historic residence and suggest that it be incorporated into the currently-proposed project to built two new two-unit residential condominiums on the site.

### **Previous Evaluations**

#### **2005**

Prior evaluations of the historic qualifications of 953 Treat Avenue reached conflicting conclusions. In April 2005 a Historic Resource Evaluation prepared by former owner

---

<sup>1</sup> *City Within a City: a Historic Context Statement for San Francisco's Mission District*, prepared by the City and County of San Francisco Planning Department, dated November 2007. pps. 47, 59.

**Katherine T. Petrin | Architectural Historian & Preservation Planner  
1736 Stockton Street, Suite 2A, San Francisco, California 94133**

James W. Heinzer concluded that the property was not historically significant. In response, a memo issued by the San Francisco Planning Department on 15 September 2005 classified the property as a Category B historic resource warranting further consultation and review. In November 2005, the Planning Department appears to have issued a Categorical Exemption. However, the building was not demolished.

#### **2010**

In 2010, as part of the South Mission Historic Resources Survey, 953 Treat was identified and evaluated. It received two status codes: 3CS [appears eligible for the California Register as an individual property through survey evaluation] and 7N [needs to be reevaluated]. (See San Francisco Planning Department Property Information Map/Database for the 3CS code assigned 30 November 2010.)

#### **2015-16**

In 2015, new owners retained the firm Page & Turnbull as preservation consultant to assess the property's historic significance and complete a Historic Resource Evaluation. The firm provided an opinion that the residence does not qualify as a historic resource for purposes of the California Environmental Quality Act (CEQA).<sup>2</sup> The Planning Department concurred and issued a CEQA Categorical Exemption Determination dated 25 March 2016, finding that no resource is present either as an individual resource or as a contributor to a district.

We disagree with the final determination.

#### **Description of the Historic Building**

Located on the east side of Treat Avenue, between 22nd and 23rd Streets, 953 Treat Avenue sits on an irregular-shaped lot that measures 4,275 square feet. Built in 1887 as a wood framed, single-family residence in the Italianate style, it is a 1-story over raised basement structure. Clad in wood shingles on the primary facade and channel drop wood siding on the secondary facades, is capped by a gable roof. The primary facade faces west and includes 3 structural bays. There is a garage addition to the south with a shed roof, and another addition to the rear of the building with a shed roof. Typical fenestration consists of double-hung wood-sash windows with hoods. The primary entrance is located on the north facade and features a paneled wood door with a bracketed hood, accessed by a flight of wood stairs. Character-defining features include a wood porch, a bracketed cornice, sash windows with hoods, primary entrance door below a bracketed door hood, and a high false-front parapet at the roofline.<sup>3</sup>

---

<sup>2</sup> *Historic Resource Evaluation, 953 Treat Avenue, San Francisco, California* by Page & Turnbull, dated 27 April 2015.

<sup>3</sup> Primary Record, 953 Treat Avenue, dated 17 March 2008.

## Historic Significance

Water records indicate the building was constructed in 1887. The original architect and builder are not identified.

The building is associated with John Center (1816-1908), a pioneering figure “who was later dubbed the ‘father of the Mission’”. Center was instrumental in the construction of the plank road and streetcar lines. He was a major landowner and subdivided large expanses of land to facilitate new streets and housing.<sup>4</sup> More importantly, though not noted in the Page & Turnbull *Historic Resource Evaluation*, he designed and built the John Center Water Works, a fact that is directly relevant to the survival of the subject building in 1906.

John Center Corporation owned 953 Treat from 1894-1924, during which time the building survived the 1906 earthquake and the fire that destroyed much of the northern Mission district. The post-earthquake fire destroyed much of the South of Market District before moving into the northeast Mission. The fire was halted at 20<sup>th</sup> Street just a few blocks north of 953 Treat.<sup>5</sup> The fire was extinguished because of the Center's supply of water. A few months after the disaster, an article in the *San Francisco Chronicle* titled, “Owe their Homes to One Man's Foresight, Hundreds of Buildings in the Mission Saved from Fire by John Center's Private Water System,” stated:<sup>6</sup>

John Center now in his 90<sup>th</sup> year, came to San Francisco in 1849 and settled on the land which he and his many houses occupy... He constructed his own water system as early as 1851 and improved the original system as time advanced and the demand increased. It includes artesian wells, a large subterranean reservoir, two frame tanks with a capacity of 80,000 gallons each, fire hydrants and connections.... [After 27 hours of fighting the fire] Center saved every house he owns, not a shingle of one of his houses burned while the damage from the earthquake was trifling... This saved all the property east of Howard (now South Van Ness) and south of 14<sup>th</sup> Street.<sup>7</sup>

John Center died in 1908. His obituary reiterated his contribution in saving hundreds of buildings in the Mission District from the post-earthquake fires, stating:

One of Center's most important acts was the boring of wells on his property at Sixteenth and Shotwell streets in 1881. Cut off from the supply of the Spring Water Company, the Mission was absolutely without fire

---

<sup>4</sup> Page & Turnbull HRE, dated 27 April 2015, p. 22.

<sup>5</sup> Page & Turnbull HRE, dated 27 April 2015, p. 23.

<sup>6</sup> “Owe Their Homes to One Man's Foresight, Hundreds of Buildings in the Mission Saved from Fire by John Center's Private Water System” in the *San Francisco Chronicle*, 5 July 1906, p. 12.

<sup>7</sup> Ibid.

protection and Center prepared for the fire which he feared would come, although it was not until 25 years later that his foresight was proved correct and the wells he had dug proved of inestimable benefit not alone in saving his property but also of those around him.<sup>8</sup>

### **Integrity**

As was typical for modest 19<sup>th</sup> century vernacular residences, 953 Treat was subject to alterations, most unrecorded and unpermitted. After initial construction in 1887, the building incurred a series of small projecting volumes. No permits are extant. By 1914 the structure was fully built out. 953 Treat retains a high degree of original material in addition to the character-defining architectural features listed above, and retains its overall characteristics of the Italianate style.

The Primary Record (DPR form) completed in 2008 for the South Mission Historic Resources Survey, noted that the residence remained in good condition. 953 Treat retains a sufficient degree of integrity, which as defined by the standards of the National Register of Historic Places, allows a property to convey its significance and authenticity.

### **Eligibility for California Register of Historical Resources**

The California Register of Historical Resources is a listing of resources of architectural, historical, archeological and cultural significance. From California Code of Regulations, Title 14, Section 4852:

(b) Criteria for evaluating the significance of historical resources. An historical resource must be significant at the local, state, or national level under one or more of the following four criteria:

(1) It is associated with events that have made a significant contribution to the broad patterns of local or regional history, or the cultural heritage of California or the United States;

(2) It is associated with the lives of persons important to local, California, or national history;

(3) It embodies the distinctive characteristics of a type, period, region, or method of construction, or represents the work of a master or possesses high artistic values; or

(4) It has yielded, or has the potential to yield, information important to the prehistory or history of the local area, California, or the nation.'

---

<sup>8</sup> "Father of Mission, John Center, Dies" in the *San Francisco Call*, 20 July 1908, Vol. 104, p.1.

Significant as a survivor of the 1906 earthquake and due to its association with John Center and the John Center Water Works, 953 Treat qualifies for listing, as an individual resource, on the California Register of Historical Resources at the local level under Criteria 1 and 2. This is my professional opinion.

The proposed demolition of this important San Francisco resource requires environmental review under CEQA, unless feasible adaptive reuse of the structure is designed into the new construction project. Friends of 953 Treat advocate just such a solution.

I would be pleased to further discuss this matter. Thank you.

Sincerely,



Katherine T. Petrin  
Architectural Historian

CC: Office of District Supervisor Hillary Ronen  
Susan Brandt-Hawley, Brandt-Hawley Law Group  
Mike Buhler, San Francisco Heritage  
F. Joseph Butler, AIA  
Tim Frye, Historic Preservation Officer, San Francisco Planning Department



SAN FRANCISCO

## OWE THEIR HOMES TO ONE MAN'S FORESIGHT

### Hundreds of Buildings in the Mission Saved From Fire by John Center's Private Water System.

One section of San Francisco which escaped the fire has hardly been mentioned outside. The news has been spread abroad that the greater portion of San Francisco has been destroyed by the fire of April 18th to 20th, including the entire business and manufacturing section, and the major part of the residence section. The parts which escaped destruction were enumerated, and included the Western Addition west of Franklin street, Pacific Heights, Presidio Heights, the residence section about Golden Gate Park, that portion of Hayes valley west of Octavia street, and part of the Mission beyond Twelfth street. Hundreds of houses, homes and shops east of Howard and south of Fourteenth street escaped the fire, and are as good to-day as they were before the earthquake, because the slight damage caused by the earthquake has been repaired and every trace of injury obliterated.

It has been the cause of much wonder since the fire how that particular section escaped the ravages of the flames, which swept all else in their path west of Howard street and north of Fourteenth street. Built entirely of wood, the houses stand very close together, and numerous narrow streets subdivide the thickly built squares between the main thoroughfares. Yet it escaped, and the foresight and forethought of John Center saved it.

John Center, now in his sixtieth year, came to San Francisco in 1849, and settled on the land which he and his many houses occupy on Sixteenth, Seventeenth, Folsom, Harrison and Alabama streets. He constructed his own water system as early as 1851, and improved the original system as time advanced and the demand in-

creased. It includes artesian wells, a large subterranean reservoir, two frame tanks with a capacity of 20,000 gallons each, five hydrants and connections. In this system the artesian wells flow into the underground cistern, from which the water is pumped into the tanks by a steam pump with a capacity of 2,000 gallons an hour.

Those who assisted in fighting the fire and succeeded in checking it and saving all of Center's property within a radius of three blocks square, including Sixteenth, Seventeenth, Folsom, Harrison, Alabama and the intervening streets, tell how that section of the city was saved from the flames.

When the fire crossed Fourteenth street the dwellers of that section put up a persistent and stubborn fight to stay its progress. With two streams of water from the John Center system fire engines were supplied, and the fire checked on Fourteenth street and again on Howard street. When checked in one direction, however, the flames came back from another, and on Thursday morning returned by way of Sixteenth street.

Again the fire was checked at Howard street after the flames had been fought incessantly for twenty-seven hours. Center saved every house he owns; not a shingle of one of his houses burned, while the damage from the earthquake was trifling, and amounted to only broken chimneys, cracked plaster and wrenched brick foundations. This, of course, saved all the property east of Howard street and south of Fourteenth street.

On Friday morning, April 20th, there remained six feet of water in the tanks, enough to have maintained two streams for fifteen more hours, or to have fed one stream indefinitely from the large subterranean reservoir.

## INVITES MANY TO ITS NEW HOME

## RESISTS ARREST WHEN DETECTED

## LEVELING



## MANILA SEND A LARGE EXHIBIT

Products of the Philippines  
Their Way to Commerce  
Museum.

Through the interest of Hamilton Wright who turned from an agent through the Orient, the Mercantile Museum is to be a large exhibit of Philippine products. This exhibit was ready a month ago and as the vessel sailed to London Worcester, Secretary of the Philippines, immediately telegraphed that he was interested as to its success.

"Owe Their Homes to One Man's Foresight, Hundreds of Buildings in the Mission Saved from Fire by John Center's Private Water System" in the *San Francisco Chronicle*, 5 July 1906, p. 12.



**SAN FRANCISCO  
PLANNING DEPARTMENT**

RECEIVED  
BOARD OF SUPERVISORS  
SAN FRANCISCO

MAR 20 PM 2:23

BY BJ

**CEQA Categorical Exemption Determination**

**PROPERTY INFORMATION/PROJECT DESCRIPTION**

Project Address		Block/Lot(s)	
953 Treat Avenue		3639/028	
Case No.	Permit No.	Plans Dated	
2015-006510ENV	20151104-1757/-1763/-1768	11/10/2015	
<input checked="" type="checkbox"/> Addition/ Alteration	<input type="checkbox"/> Demolition (requires HRER if over 45 years old)	<input type="checkbox"/> New Construction	<input type="checkbox"/> Project Modification (GO TO STEP 7)
Project description for Planning Department approval. Proposed demolition of (E) SFH to construct two (N) buildings containing two residential units each and two parking spaces. Totaling four residential units with four parking spaces.			

**STEP 1: EXEMPTION CLASS**

TO BE COMPLETED BY PROJECT PLANNER

<b>Note: If neither Class 1 or 3 applies, an <i>Environmental Evaluation Application</i> is required.</b>	
<input checked="" type="checkbox"/>	Class 1 – Existing Facilities. Interior and exterior alterations; additions under 10,000 sq. ft.
<input checked="" type="checkbox"/>	Class 3 – New Construction/ Conversion of Small Structures. Up to three (3) new single-family residences or six (6) dwelling units in one building; commercial/office structures; utility extensions; change of use under 10,000 sq. ft. if principally permitted or with a CU.
<input type="checkbox"/>	Class __

**STEP 2: CEQA IMPACTS**

TO BE COMPLETED BY PROJECT PLANNER

<b>If any box is checked below, an <i>Environmental Evaluation Application</i> is required.</b>	
<input type="checkbox"/>	<b>Air Quality:</b> Would the project add new sensitive receptors (specifically, schools, day care facilities, hospitals, residential dwellings, and senior-care facilities) within an Air Pollution Exposure Zone? Does the project have the potential to emit substantial pollutant concentrations (e.g., backup diesel generators, heavy industry, diesel trucks)? <i>Exceptions: do not check box if the applicant presents documentation of enrollment in the San Francisco Department of Public Health (DPH) Article 38 program and the project would not have the potential to emit substantial pollutant concentrations. (refer to EP_ArcMap &gt; CEQA Catex Determination Layers &gt; Air Pollutant Exposure Zone)</i>
<input type="checkbox"/>	<b>Hazardous Materials:</b> If the project site is located on the Maher map or is suspected of containing hazardous materials (based on a previous use such as gas station, auto repair, dry cleaners, or heavy manufacturing, or a site with underground storage tanks): Would the project involve 50 cubic yards or more of soil disturbance - or a change of use from industrial to residential? If yes, this box must be checked and the project applicant must submit an Environmental Application with a Phase I

	Environmental Site Assessment. <i>Exceptions: do not check box if the applicant presents documentation of enrollment in the San Francisco Department of Public Health (DPH) Maher program, a DPH waiver from the Maher program, or other documentation from Environmental Planning staff that hazardous material effects would be less than significant (refer to EP_ArcMap &gt; Maher layer).</i>
<input type="checkbox"/>	<b>Transportation:</b> Does the project create six (6) or more net new parking spaces or residential units? Does the project have the potential to adversely affect transit, pedestrian and/or bicycle safety (hazards) or the adequacy of nearby transit, pedestrian and/or bicycle facilities?
<input checked="" type="checkbox"/>	<b>Archeological Resources:</b> Would the project result in soil disturbance/modification greater than two (2) feet below grade in an archeological sensitive area or eight (8) feet in a non-archeological sensitive area? (refer to EP_ArcMap > CEQA Catex Determination Layers > Archeological Sensitive Area)
<input type="checkbox"/>	<b>Noise:</b> Does the project include new noise-sensitive receptors (schools, day care facilities, hospitals, residential dwellings, and senior-care facilities) fronting roadways located in the noise mitigation area? (refer to EP_ArcMap > CEQA Catex Determination Layers > Noise Mitigation Area)
<input type="checkbox"/>	<b>Subdivision/Lot Line Adjustment:</b> Does the project site involve a subdivision or lot line adjustment on a lot with a slope average of 20% or more? (refer to EP_ArcMap > CEQA Catex Determination Layers > Topography)
<input type="checkbox"/>	<b>Slope = or &gt; 20%:</b> Does the project involve excavation of 50 cubic yards of soil or more, new construction, or square footage expansion greater than 1,000 sq. ft. outside of the existing building footprint? (refer to EP_ArcMap > CEQA Catex Determination Layers > Topography) <b>If box is checked, a geotechnical report is required.</b>
<input type="checkbox"/>	<b>Seismic: Landslide Zone:</b> Does the project involve excavation of 50 cubic yards of soil or more, new construction, or square footage expansion greater than 1,000 sq. ft. outside of the existing building footprint? (refer to EP_ArcMap > CEQA Catex Determination Layers > Seismic Hazard Zones) <b>If box is checked, a geotechnical report is required.</b>
<input type="checkbox"/>	<b>Seismic: Liquefaction Zone:</b> Does the project involve excavation of 50 cubic yards of soil or more, new construction, or square footage expansion greater than 1,000 sq. ft. outside of the existing building footprint? (refer to EP_ArcMap > CEQA Catex Determination Layers > Seismic Hazard Zones) <b>If box is checked, a geotechnical report will likely be required.</b>
<b>If no boxes are checked above, GO TO STEP 3. If one or more boxes are checked above, an <u>Environmental Evaluation Application</u> is required, unless reviewed by an Environmental Planner.</b>	
<input checked="" type="checkbox"/>	Project can proceed with categorical exemption review. The project does not trigger any of the CEQA impacts listed above.
Comments and Planner Signature (optional): Jean Poling	
Sponsor enrolled in DPH Maher program. No archeological effects.	

**STEP 3: PROPERTY STATUS – HISTORIC RESOURCE  
TO BE COMPLETED BY PROJECT PLANNER**

<b>PROPERTY IS ONE OF THE FOLLOWING:</b> (refer to Parcel Information Map)	
<input type="checkbox"/>	<b>Category A:</b> Known Historical Resource. <b>GO TO STEP 5.</b>
<input checked="" type="checkbox"/>	<b>Category B:</b> Potential Historical Resource (over 45 years of age). <b>GO TO STEP 4.</b>
<input type="checkbox"/>	<b>Category C:</b> Not a Historical Resource or Not Age Eligible (under 45 years of age). <b>GO TO STEP 6.</b>

**STEP 4: PROPOSED WORK CHECKLIST**  
**TO BE COMPLETED BY PROJECT PLANNER**

Check all that apply to the project.	
<input type="checkbox"/>	1. <b>Change of use and new construction.</b> Tenant improvements not included.
<input type="checkbox"/>	2. <b>Regular maintenance or repair</b> to correct or repair deterioration, decay, or damage to building.
<input type="checkbox"/>	3. <b>Window replacement</b> that meets the Department's <i>Window Replacement Standards</i> . Does not include storefront window alterations.
<input type="checkbox"/>	4. <b>Garage work.</b> A new opening that meets the <i>Guidelines for Adding Garages and Curb Cuts</i> , and/or replacement of a garage door in an existing opening that meets the Residential Design Guidelines.
<input type="checkbox"/>	5. <b>Deck, terrace construction, or fences</b> not visible from any immediately adjacent public right-of-way.
<input type="checkbox"/>	6. <b>Mechanical equipment installation</b> that is not visible from any immediately adjacent public right-of-way.
<input type="checkbox"/>	7. <b>Dormer installation</b> that meets the requirements for exemption from public notification under <i>Zoning Administrator Bulletin No. 3: Dormer Windows</i> .
<input type="checkbox"/>	8. <b>Addition(s)</b> that are not visible from any immediately adjacent public right-of-way for 150 feet in each direction; does not extend vertically beyond the floor level of the top story of the structure or is only a single story in height; does not have a footprint that is more than 50% larger than that of the original building; and does not cause the removal of architectural significant roofing features.
<b>Note: Project Planner must check box below before proceeding.</b>	
<input checked="" type="checkbox"/>	Project is not listed. <b>GO TO STEP 5.</b>
<input type="checkbox"/>	Project does not conform to the scopes of work. <b>GO TO STEP 5.</b>
<input type="checkbox"/>	Project involves <b>four or more</b> work descriptions. <b>GO TO STEP 5.</b>
<input type="checkbox"/>	Project involves <b>less than four</b> work descriptions. <b>GO TO STEP 6.</b>

**STEP 5: CEQA IMPACTS – ADVANCED HISTORICAL REVIEW**  
**TO BE COMPLETED BY PRESERVATION PLANNER**

Check all that apply to the project.	
<input type="checkbox"/>	1. Project involves a <b>known historical resource (CEQA Category A)</b> as determined by Step 3 and conforms entirely to proposed work checklist in Step 4.
<input type="checkbox"/>	2. <b>Interior alterations to publicly accessible spaces.</b>
<input type="checkbox"/>	3. <b>Window replacement</b> of original/historic windows that are not "in-kind" but are consistent with existing historic character.
<input type="checkbox"/>	4. <b>Façade/storefront alterations</b> that do not remove, alter, or obscure character-defining features.
<input type="checkbox"/>	5. <b>Raising the building</b> in a manner that does not remove, alter, or obscure character-defining features.
<input type="checkbox"/>	6. <b>Restoration</b> based upon documented evidence of a building's historic condition, such as historic photographs, plans, physical evidence, or similar buildings.
<input type="checkbox"/>	7. <b>Addition(s)</b> , including mechanical equipment that are minimally visible from a public right-of-way and meet the <i>Secretary of the Interior's Standards for Rehabilitation</i> .

<input type="checkbox"/>	8. <b>Other work consistent</b> with the <i>Secretary of the Interior Standards for the Treatment of Historic Properties</i> (specify or add comments):
<input type="checkbox"/>	9. <b>Other work</b> that would not materially impair a historic district (specify or add comments):  (Requires approval by Senior Preservation Planner/Preservation Coordinator) _____
<input checked="" type="checkbox"/>	10. <b>Reclassification of property status</b> to Category C. (Requires approval by Senior Preservation Planner/Preservation Coordinator) a. Per HRER dated: _____ (attach HRER) b. Other (specify): Per PTR form dated 3/25/2016
<b>Note: If ANY box in STEP 5 above is checked, a Preservation Planner MUST check one box below.</b>	
<input type="checkbox"/>	<b>Further environmental review required.</b> Based on the information provided, the project requires an <i>Environmental Evaluation Application</i> to be submitted. <b>GO TO STEP 6.</b>
<input checked="" type="checkbox"/>	<b>Project can proceed with categorical exemption review.</b> The project has been reviewed by the Preservation Planner and can proceed with categorical exemption review. <b>GO TO STEP 6.</b>
Comments (optional):	
Preservation Planner Signature: Justin Greving <small>Digitally signed by Justin Greving DN: dc=org, dc=sfgov, dc=cityplanning, ou=CityPlanning, ou=Current Planning, cn=Justin Greving, email=Justin.Greving@sfgov.org Date: 2016.03.28 10:19:36 -0700</small>	

**STEP 6: CATEGORICAL EXEMPTION DETERMINATION**  
TO BE COMPLETED BY PROJECT PLANNER

<input type="checkbox"/>	<b>Further environmental review required.</b> Proposed project does not meet scopes of work in either (check all that apply): <input type="checkbox"/> Step 2 – CEQA Impacts <input type="checkbox"/> Step 5 – Advanced Historical Review <b>STOP! Must file an <i>Environmental Evaluation Application</i>.</b>	
<input checked="" type="checkbox"/>	<b>No further environmental review is required. The project is categorically exempt under CEQA.</b>	
	Planner Name: Justin A Greving	Signature:  <b>Justin Greving</b> <small>Digitally signed by Justin Greving DN: dc=org, dc=sfgov, dc=cityplanning, ou=CityPlanning, ou=Current Planning, cn=Justin Greving, email=Justin.Greving@sfgov.org Date: 2016.03.28 10:19:36 -0700</small>
	Project Approval Action: <b>Building Permit</b> If Discretionary Review before the Planning Commission is requested, the Discretionary Review hearing is the Approval Action for the project.	
	Once signed or stamped and dated, this document constitutes a categorical exemption pursuant to CEQA Guidelines and Chapter 31 of the Administrative Code. In accordance with Chapter 31 of the San Francisco Administrative Code, an appeal of an exemption determination can only be filed within 30 days of the project receiving the first approval action.	

**STEP 7: MODIFICATION OF A CEQA EXEMPT PROJECT  
TO BE COMPLETED BY PROJECT PLANNER**

In accordance with Chapter 31 of the San Francisco Administrative Code, when a California Environmental Quality Act (CEQA) exempt project changes after the Approval Action and requires a subsequent approval, the Environmental Review Officer (or his or her designee) must determine whether the proposed change constitutes a substantial modification of that project. This checklist shall be used to determine whether the proposed changes to the approved project would constitute a "substantial modification" and, therefore, be subject to additional environmental review pursuant to CEQA.

**PROPERTY INFORMATION/PROJECT DESCRIPTION**

Project Address (If different than front page)		Block/Lot(s) (If different than front page)
Case No.	Previous Building Permit No.	New Building Permit No.
Plans Dated	Previous Approval Action	New Approval Action
Modified Project Description:		

**DETERMINATION IF PROJECT CONSTITUTES SUBSTANTIAL MODIFICATION**

Compared to the approved project, would the modified project:	
<input type="checkbox"/>	Result in expansion of the building envelope, as defined in the Planning Code;
<input type="checkbox"/>	Result in the change of use that would require public notice under Planning Code Sections 311 or 312;
<input type="checkbox"/>	Result in demolition as defined under Planning Code Section 317 or 19005(f)?
<input type="checkbox"/>	Is any information being presented that was not known and could not have been known at the time of the original determination, that shows the originally approved project may no longer qualify for the exemption?
<b>If at least one of the above boxes is checked, further environmental review is required. CATEX FORM</b>	

**DETERMINATION OF NO SUBSTANTIAL MODIFICATION**

<input type="checkbox"/>	The proposed modification would not result in any of the above changes.
If this box is checked, the proposed modifications are categorically exempt under CEQA, in accordance with prior project approval and no additional environmental review is required. This determination shall be posted on the Planning Department website and office and mailed to the applicant, City approving entities, and anyone requesting written notice.	
Planner Name:	Signature or Stamp:



# SAN FRANCISCO PLANNING DEPARTMENT

## PRESERVATION TEAM REVIEW FORM

1650 Mission St.  
Suite 400  
San Francisco,  
CA 94103-2479

Reception:  
**415.558.6378**

Fax:  
**415.558.6409**

Planning  
Information:  
**415.558.6377**

Preservation Team Meeting Date:		Date of Form Completion:	3/24/2016
---------------------------------	--	--------------------------	-----------

PROJECT INFORMATION:		
Planner:	Address:	
Justin Greving	953 Treat Avenue	
Block/Lot:	Cross Streets:	
3639/028	22nd and 23rd streets	
CEQA Category:	Art. 10/11:	BPA/Case No.:
B	n/a	2015-00651ENV

PURPOSE OF REVIEW:			PROJECT DESCRIPTION:	
<input checked="" type="radio"/> CEQA	<input type="radio"/> Article 10/11	<input type="radio"/> Preliminary/PIC	<input type="radio"/> Alteration	<input checked="" type="radio"/> Demo/New Construction

DATE OF PLANS UNDER REVIEW:	10/28/2015
-----------------------------	------------


PROJECT ISSUES:	
<input checked="" type="checkbox"/>	Is the subject Property an eligible historic resource?
<input type="checkbox"/>	If so, are the proposed changes a significant impact?
Additional Notes:	
Submitted: Historic Resource Evaluation prepared by Page & Turnbull (dated April 27, 2015)	
Proposed Project: Demolition of (e) single family house. Construction of two new two-unit residential condominium buildings with roof terrace and off-street parking.	

PRESERVATION TEAM REVIEW:				
Historic Resource Present		<input type="radio"/> Yes	<input checked="" type="radio"/> No *	<input type="radio"/> N/A
Individual		Historic District/Context		
Property is individually eligible for inclusion in a California Register under one or more of the following Criteria:		Property is in an eligible California Register Historic District/Context under one or more of the following Criteria:		
Criterion 1 - Event:	<input type="radio"/> Yes <input checked="" type="radio"/> No	Criterion 1 - Event:	<input type="radio"/> Yes <input checked="" type="radio"/> No	
Criterion 2 - Persons:	<input type="radio"/> Yes <input checked="" type="radio"/> No	Criterion 2 - Persons:	<input type="radio"/> Yes <input checked="" type="radio"/> No	
Criterion 3 - Architecture:	<input type="radio"/> Yes <input checked="" type="radio"/> No	Criterion 3 - Architecture:	<input type="radio"/> Yes <input checked="" type="radio"/> No	
Criterion 4 - Info. Potential:	<input type="radio"/> Yes <input checked="" type="radio"/> No	Criterion 4 - Info. Potential:	<input type="radio"/> Yes <input checked="" type="radio"/> No	
Period of Significance:	<input type="text" value="n/a"/>	Period of Significance:	<input type="text" value="n/a"/>	
		<input type="radio"/> Contributor <input type="radio"/> Non-Contributor		

Complies with the Secretary's Standards/Art 10/Art 11:	<input type="radio"/> Yes	<input type="radio"/> No	<input checked="" type="radio"/> N/A
CEQA Material Impairment:	<input type="radio"/> Yes	<input checked="" type="radio"/> No	
Needs More Information:	<input type="radio"/> Yes	<input checked="" type="radio"/> No	
Requires Design Revisions:	<input type="radio"/> Yes	<input checked="" type="radio"/> No	
Defer to Residential Design Team:	<input checked="" type="radio"/> Yes	<input type="radio"/> No	

\* If No is selected for Historic Resource per CEQA, a signature from Senior Preservation Planner or Preservation Coordinator is required.

PRESERVATION TEAM COMMENTS	
<p>According to the Historic Resource Evaluation prepared by Page &amp; Turnbull (dated April 27, 2015) and information found in the Planning Department files, the subject property at 953 Treat Avenue contains a single-family one-story over basement flat-front Italianate residence constructed in 1887 (source: water tap record). Permitted exterior alterations to the property include: reroofing (1978), and bringing the rear porch up to code (1988). Visual inspection and Sanborn maps indicate the original property has seen substantial additions including doubling the volume of the building sometime between 1887 and 1900, and construction of a number of different rear and side additions to the property, some of which are still extant.</p> <p>The subject property was previously surveyed as part of the South Mission Historic Resource Survey in 2010 and was given a status code of 7R, meaning, "not determined: requires intensive research."</p> <p>No known historic events occurred at the subject property (Criterion 1). The property sits on an irregularly shaped parcel next to what was once the San Francisco &amp; San Jose Railroad, however there is no indication of a link between the railroad and the early occupants or owners of the property. With a construction date of 1887 the subject property is not representative of the earliest development of the Mission District. None of the owners or occupants have been identified as important to history (Criterion 2). The building is not architecturally distinct such that it would qualify individually for listing in the California Register under Criterion 3. Although 953 Treat Avenue has features that call it out as a simple Italianate structure, with an irregular bay pattern and unusual side entrance, the building is not representative of the architectural style as it appears in the Mission district and many other flat-front Italianate buildings better reflect this mid-19th century style.</p> <p>The subject property is not located within the boundaries of any identified historic district. The subject property is located in the Mission district neighborhood in an area that was previously surveyed. There are a number of California Register-eligible historic districts in the vicinity identified as part of the survey including the "Alabama Street Pioneers" historic district that consists of a high concentration of 1860s and 1870s flat-front Italianate buildings. While the South Mission Historic Resource Survey identified some properties along this section of Treat Avenue that are individually eligible, a historic district on this block was not identified.</p> <p>Therefore the subject property is not eligible for listing in the California Register under any criteria individually or as part of a historic district.</p>	

Signature of a Senior Preservation Planner / Preservation Coordinator:	Date:
	8/25/2016

SAN FRANCISCO  
PLANNING DEPARTMENT



953 Treat Ave



*Historic Resource Evaluation*

*953 Treat Avenue  
San Francisco, California*



1641



**SAN FRANCISCO  
PLANNING DEPARTMENT**

RECEIVED  
BOARD OF SUPERVISORS  
SAN FRANCISCO

2017 MAR 20 PM 2:23

BY

**Executive Summary  
Conditional Use / Residential Demolition**

HEARING DATE: FEBRUARY 16, 2017

1650 Mission St.  
Suite 400  
San Francisco,  
CA 94103-2479

Reception:  
**415.558.6378**

Fax:  
**415.558.6409**

Planning  
Information:  
**415.558.6377**

*Date:* February 9, 2017  
*Case No.:* 2015-006510CUA/VAR  
*Project Address:* 953 Treat Avenue  
*Zoning:* UMU (Urban Mixed Use) Zoning District  
 40-X Height and Bulk District  
*Block/Lot:* 3639/027 and 028  
*Project Sponsor:* Geoff Gibson, Winder Gibson Architects  
 1898 Mission Street  
 San Francisco, CA 94103  
*Staff Contact:* Esmeralda Jardines – (415) 575-9144  
[esmeralda.jardines@sfgov.org](mailto:esmeralda.jardines@sfgov.org)  
*Recommendation:* Approval with Conditions

**PROJECT DESCRIPTION**

The project proposes demolition of an existing one-story single-family residence, and construction of two new four-story, 40-foot tall, residential buildings with three dwelling units each for a total of six dwelling units on the project site. The new buildings would contain one off-street automobile parking space each for a total of two off-street parking spaces, and six Class 1 bicycle parking spaces.

DEMOLITION APPLICATION		NEW BUILDING APPLICATION	
Demolition Case Number	2015-006510CUA	New Building Case Number	2015-006510CUA
Recommendation	Approve with Conditions	Recommendation	Approve with Conditions
Demolition Application Number	201511041757	New Building Application Number	201511041768; 201511041763
Number Of Existing Units	1	Number Of New Units	6
Existing Parking	1	New Parking	2
Number Of Existing Bedrooms	2	Number Of New Bedrooms	16
Existing Building Area	±937 Sq. Ft.	New Building Area	±10,578 Sq. Ft.
312 Expiration Date	02/16/17	Date Time & Materials Fees Paid	N/A

**SITE DESCRIPTION AND PRESENT USE**

The subject property is located on the east side of Treat Avenue between 22nd and 23rd Streets on Lots 027 and 028 in Assessor’s Block 3639. Lot 027 is a triangular lot measuring 19.5 feet along Treat Avenue and 24 feet as its deepest length, approximately measuring 139 square feet. Lot 28 is a trapezoidal lot measuring 75 feet along Treat Avenue, the parallel property lines each measure 24 feet at its narrowest length and extends 90 feet at its deepest length, approximately measuring 3,750 square feet. As part of the proposed project, the Project Sponsor is seeking a Lot Line Adjustment (See Case No. 2016-003112LLA) that would remove the property line separating Lots 027 and 028 to create one triangular lot. Currently, the subject parcel contains a one-story single-family residence measuring approximately 937 square feet in size and approximately 17 feet-7 inches feet in height. The existing residence has been vacant since 2015. The project site is located in the UMU (Urban Mixed Use) Zoning District and a 40-X Height and Bulk District.

**SURROUNDING PROPERTIES AND NEIGHBORHOOD**

The project site is located in a varied neighborhood within the Mission Area Plan within close proximity to several Residential Zoning Districts, including: RH-2 (Residential, House-Two-Family), RH-3 (Residential, House-Three-Family), and RM-1 (Residential-Mixed, Low Density), as well as near NC-3 (Moderate-Scale Neighborhood Commercial), and P (Public) Zoning Districts. The immediate context is mixed in character with a variety of uses including: commercial, residential and public uses in the vicinity. Along Treat Avenue on either side of the subject property is a two-story industrial building to the north and south; across Treat Avenue to the west is a row of two- to-three-story residences, as well as a school (approximately one block north), and the Southern Pacific Railroad to the east. On the east side of the vacant railroad parcel are several four-story residential buildings. Diagonally across from the project site at the corner of 23rd Street and Treat Avenue is Parque Niños Unidos, a park under the jurisdiction of the San Francisco Recreation and Parks Department.

**ENVIRONMENTAL REVIEW**

On March 25, 2016, the Project was determined to be exempt from the California Environmental Quality Act (“CEQA”) as a Class 15301 and 15303 Categorical Exemption under CEQA as described in the determination contained in the Planning Department files for this Project.

**HEARING NOTIFICATION**

TYPE	REQUIRED PERIOD	REQUIRED NOTICE DATE	ACTUAL NOTICE DATE	ACTUAL PERIOD
Posted Notice	20 days	January 27, 2017	January 27, 2017	20 days
Mailed Notice	20 days	January 27, 2017	January 27, 2017	20 days

The proposal requires a Section 312 neighborhood notification, which was conducted in conjunction with the Conditional Use Authorization process.

## PUBLIC COMMENT

The Department has received four comments in opposition to the proposal; more specifically, opposition to the historic determination of the existing building and the demolition of said building. The Department has also received a list of neighbors support the project. All public correspondence has been submitted in the Planning Commission packets.

## ISSUES AND OTHER CONSIDERATIONS

- Conditional Use Authorization: The project requires Conditional Use Authorization pursuant to Planning Code Sections 303, 317 and 843.27 to demolish an existing single-family residence.
- Variances: The project is requesting a variance from the Zoning Administrator to address the Planning Code requirements for permitted obstructions (Planning Code Section 136) and street frontage (Planning Code Section 145.1).

Planning Code Section 136 outlines the requirements for features, which may be permitted over street, alleys, setbacks, yards or useable open space. The minimum horizontal separation between bay windows shall be two feet at the line establishing the required open area. Currently, the Project includes two bay windows along the Treat Avenue façade for the South Building. Although these bay windows satisfy the maximum permitted bay window projection and dimensional requirements, the aforementioned bay windows are only separated nine inches where a two-foot separation is required. Therefore, the Project is seeking a variance of the permitted obstruction requirements from the Zoning Administrator.

Planning Code Section 145.1 requires off-street parking at street grade on a development lot to be set back at least 25 feet on the ground floor; that no more than one-third of the width or 20 feet, whichever is less, of any given street frontage of a new structure parallel to and facing a street shall be devoted to parking and loading ingress or egress; that space for active uses be provided within the first 25 feet of building depth on the ground floor. The Project meets most of the requirements of Planning Code Section 145.1; however, at grade, the bicycle parking is proposed along the Treat Avenue frontage; more specifically, along the front most property line. Bicycle parking is not considered an active use if within the first 25 feet from the street. Therefore, the Project does not meet the requirements for active uses as required in Planning Code Section 145.1 and is seeking a variance of the street frontage requirements from the Zoning Administrator.

- Family-Sized Units: All six new dwelling units are appropriately-sized for families, with four two-bedroom units and two four-bedroom units, which range in size from 1,015 square feet to 2,653 square feet.
- Development Impact Fees: The Project would be subject to the following development impact fees, which are estimated as follows:

FEE TYPE	PLANNING CODE SECTION/FEE	AMOUNT
Eastern Neighborhoods Impact Fee (9,176 gsf– New Residential, Tier 1)	423 (@ \$10.70)	\$98,183.2
Eastern Neighborhoods Impact Fee (937 gsf– Change in Use from Residential to Residential, Tier 1)	423 (@ \$0)	\$0
Residential Child-Care Impact Fee (10,578 gsf – 9 Units or Less) (with EN Credit)	414A (@ \$.26)	\$2,750.28
	<b>TOTAL</b>	<b>\$100,933.48</b>

Please note that these fees are subject to change between Planning Commission approval and approval of the associated Building Permit Application, as based upon the annual updates managed by the Development Impact Fee Unit of the Department of Building Inspection.

### **MISSION ACTION PLAN 2020**

The project site falls within the area of the ongoing Mission Action Plan 2020 (MAP2020). MAP 2020 is collaboration, initiated by the community, between community organizations and the City of San Francisco, to create and preserve affordable housing and bring economic stability to the Mission. The goal is to remain and attract low to moderate income residents and community-serving businesses, artists, and nonprofits in order to strengthen and preserve the socioeconomic and cultural diversity of the Mission neighborhood.

Community organizations initiated the plan given the loss and displacement trends of low to moderate income residents, community-serving businesses, artists, and nonprofits affecting the neighborhood due to the affordability crisis. Some of the concerns community representatives involved in MAP2020 and other community organizing efforts, such as the proposed moratoriums earlier this year, have articulated relate to the role market-rate projects could play in exacerbating the direct or indirect displacement and gentrification of this historically working-class neighborhood. Community advocates would like more scrutiny and examination of what these potential effects are, and for market-rate projects to contribute to the solutions, to neighborhood stabilization, and to minimize any potential displacement.

These community concerns gave rise, to the Mission Interim Zoning Controls, while permanent solutions and controls are drafted. Interim zoning controls are intended to provide the Commission with additional information to consider in its deliberation related to a project’s contribution to the goals of neighborhood stabilization and whether they are addressing any potential negative effects such as direct displacement of residents or businesses.

On January 26, 2017, the Department published a draft of the Mission Action Plan 2020, which is available for public comment. In the meantime, the interim controls are in effect to help inform the

Commissioners in their decision-making process. For more information on neighborhood trends and the MAP2020 process, please go to:

<http://sf-planning.org/mission-action-plan-2020>

### **MISSION 2016 INTERIM ZONING CONTROLS**

Planning Commission Resolution No. 19548 requires that any residential or mixed use Project that is a “Medium Project” between 25,000 and 75,000 gross square feet of non-residential use or between 25 and 75 dwelling units shall require a Large Project Authorization under Planning Code Section 329, and provide additional information that shall be considered by the Planning Commission in its deliberation of the application.

953 Treat Avenue is a residential project proposing six dwelling units with a total of 10,578 square feet of residential use. Because the project is proposing less than 25,000 square feet of non-residential uses and less than 25 dwelling units, the project is not considered a “Medium Project” per the aforementioned thresholds; consequently, the Project is not subject to the Mission 2016 Interim Zoning Controls.

### **REQUIRED COMMISSION ACTION**

In order for the project to proceed, the Commission must grant Conditional Use Authorization to allow the demolition of a single-family residence within the UMU Zoning District, pursuant to Planning Code Sections 303, 317 and 843.27.

### **BASIS FOR RECOMMENDATION**

- The Project will result in a net gain of five dwelling-units.
- The Project will create six new family-sized dwelling-units, four with two bedrooms and two with four bedrooms.
- No tenants will be displaced as a result of this Project.
- Given the scale of the Project, there will be no significant impact on the existing capacity of the local street system or MUNI.
- The UMU Zoning District has no density limits for residential uses. This District is intended to accommodate a greater density than what currently exists on this underutilized lot, and several of the surrounding properties reflect this ability to accommodate the maximum density. The Project is therefore an appropriate in-fill development,
- Although the structure is more than 50-years old, a review of the Historic Resource Evaluation resulted in a determination that the existing building is not an historic resource or landmark.
- The proposed Project meets all applicable requirements of the Planning Code.

<b>RECOMMENDATION:</b>	<b>Approval with Conditions.</b>	—
------------------------	----------------------------------	---

**Executive Summary**  
**Hearing Date: February 16, 2017**

**CASE NO. 2015-006510CUAVAR**  
**953 Treat Avenue**

**Attachments:**

Block Book Map

Sanborn Map

Zoning Map

Height & Bulk Map

Aerial Photographs

Site Photographs

Environmental Evaluation / Historic Resources Information

Reduced Plans

Color Renderings

Context Photos

Project Sponsor Submittal: Page & Turnbull Letter; 953 Treat Avenue Opposition Clarification

Opposition: Katherine Petrin Letter; Luke Dechanu, Ernest Heinzer, Veronica Erickson Emails

Public Correspondence Emails

Attachment Checklist

- |   |   |
|---|---|
| <input checked="" type="checkbox"/> Executive Summary           | <input checked="" type="checkbox"/> Project sponsor submittal   |
| <input checked="" type="checkbox"/> Draft Motion                | Drawings: <u>Existing Conditions</u>                            |
| <input checked="" type="checkbox"/> Environmental Determination | <input checked="" type="checkbox"/> Check for legibility        |
| <input checked="" type="checkbox"/> Zoning District Map         | Drawings: <u>Proposed Project</u>                               |
| <input checked="" type="checkbox"/> Height & Bulk Map           | <input checked="" type="checkbox"/> Check for legibility        |
| <input checked="" type="checkbox"/> Context Photos              | 3-D Renderings (new construction or significant addition)       |
| <input checked="" type="checkbox"/> Site Photos                 | <input checked="" type="checkbox"/> Check for legibility        |
| <input checked="" type="checkbox"/> Parcel Map                  | <input type="checkbox"/> Health Dept. review of RF levels       |
| <input checked="" type="checkbox"/> Sanborn Map                 | <input type="checkbox"/> RF Report                              |
| <input checked="" type="checkbox"/> Aerial Photo                | <input type="checkbox"/> Community Meeting Notice               |
|   | <input checked="" type="checkbox"/> Environmental Determination |

Exhibits above marked with an "X" are included in this packet

EJ \_\_\_\_\_

Planner's Initials





# SAN FRANCISCO PLANNING DEPARTMENT

Subject to: (Select only if applicable)

- Affordable Housing (Sec. 415)
- Jobs Housing Linkage Program (Sec. 413)
- Downtown Park Fee (Sec. 412)
- First Source Hiring (Admin. Code)
- Child Care Requirement (Sec. 414)
- Other (EN Impact Fee, Sec. 423)

1650 Mission St.  
Suite 400  
San Francisco,  
CA 94103-2479

Reception:  
415.558.6378

Fax:  
415.558.6409

Planning  
Information:  
415.558.6377

## Planning Commission Motion No. XXXXX

HEARING DATE: FEBRUARY 16, 2017

Case No.: 2015-006510CUA  
 Project Address: 953 TREAT AVENUE  
 Zoning: UMU (Urban Mixed Use) Zoning District  
 40-X Height and Bulk District –  
 Block/Lot: 3639/027 and 028  
 Project Sponsor: Geoff Gibson, Winder Gibson Architects  
 1898 Mission Street  
 San Francisco, CA 94103  
 Staff Contact: Esmeralda Jardines – (415) 575-9144  
[esmeralda.jardines@sfgov.org](mailto:esmeralda.jardines@sfgov.org)

ADOPTING FINDINGS RELATING TO THE APPROVAL OF CONDITIONAL USE AUTHORIZATION PURSUANT TO PLANNING CODE SECTIONS 303, 317 AND 843.27 TO DEMOLISH AN EXISTING SINGLE-FAMILY RESIDENCE AND CONSTRUCT TWO, FOUR-STORY, 40-FOOT TALL, RESIDENTIAL BUILDINGS WITH A TOTAL OF SIX DWELLING UNITS, ON ASSESSOR’S BLOCK 3639, LOTS 027 AND 028 WITHIN THE UMU (URBAN MIXED USE) ZONING DISTRICT AND A 40-X HEIGHT AND BULK DISTRICT, AND ADOPTING FINDINGS UNDER THE CALIFORNIA ENVIRONMENTAL QUALITY ACT.

### PREAMBLE

On October 24, 2016, Geoff Gibson of Winder Gibson Architects (Project Architect) for Shadi AbouKhater (Project Sponsor) filed an application with the Planning Department (hereinafter “Department”) for Conditional Use Authorization under Planning Code Sections 303, 317 and 843.27 to demolish an existing single-family residence and construct two four-story, 40-foot tall, residential buildings with three dwelling units each at 953 Treat Avenue within an UMU (Urban Mixed Use) District and a 40-X Height and Bulk District.

On March 25, 2016, the Project was determined to be exempt from the California Environmental Quality Act (“CEQA”) as a Class 15301 and 15303 Categorical Exemption under CEQA as described in the determination contained in the Planning Department files for this Project.

On February 16, 2017, the San Francisco Planning Commission (hereinafter “Commission”) conducted a duly noticed public hearing at a regularly scheduled meeting on Conditional Use Application No. 2015-006510CUA.

The Planning Department, Jonas P. Ionin, is the custodian of records, located in the File for Case No. 2015-006510CUA at 1650 Mission Street, Fourth Floor, San Francisco, California.

The Commission has heard and considered the testimony presented to it at the public hearing and has further considered written materials and oral testimony presented on behalf of the applicant, Department staff, and other interested parties.

**MOVED**, that the Commission hereby authorizes the Conditional Use requested in Application No. 2015-006510CUA, subject to the conditions contained in "EXHIBIT A" of this motion, based on the following findings:

### **FINDINGS**

Having reviewed the materials identified in the preamble above, and having heard all testimony and arguments, this Commission finds, concludes, and determines as follows:

1. The above recitals are accurate and constitute findings of this Commission.
2. **Site Description and Present Use.** The subject property is located on the east side of Treat Avenue between 22nd and 23rd Streets on Lots 027 and 028 in Assessor's Block 3639. Lot 027 is a triangular lot measuring 19.5 feet along Treat Avenue and 24 feet as its deepest length, approximately measuring 139 square feet. Lot 28 is a trapezoidal lot measuring 75 feet along Treat Avenue, the parallel property lines each measure 24 feet at its narrowest length and extends 90 feet at its deepest length, approximately measuring 3,750 square feet. As part of the proposed project, the Project Sponsor is seeking a Lot Line Adjustment (See Case No. 2016-003112LLA) that would remove the property line separating Lots 027 and 028 to create one triangular lot. Currently, the subject parcel contains a one-story single-family residence measuring approximately 937 square feet in size and approximately 17 feet-7 inches feet in height. The existing residence has been vacant since 2015. The project site is located in the UMU (Urban Mixed Use) Zoning District and a 40-X Height and Bulk District.
3. **Surrounding Properties and Neighborhood.** The project site is located in a varied neighborhood within the Mission Area Plan within close proximity to several Residential Zoning Districts, including: RH-2 (Residential, House-Two-Family), RH-3 (Residential, House-Three-Family), and RM-1 (Residential-Mixed, Low Density), as well as near NC-3 (Moderate-Scale Neighborhood Commercial), and P (Public) Zoning Districts. The immediate context is mixed in character with a variety of uses including: commercial, residential and public uses in the vicinity. Along Treat Avenue on either side of the subject property is a two-story industrial building to the north and south; across Treat Avenue to the west is a row of two- to-three-story residences, as well as a school (approximately one block north), and the Southern Pacific Railroad to the east. On the east side of the vacant railroad parcel are several four-story residential buildings. Diagonally across from the project site at the corner of 23rd Street and Treat Avenue is Parque Niños Unidos, a park under the jurisdiction of the San Francisco Recreation and Parks Department.

4. **Project Description.** The project proposes demolition of an existing one-story single-family residence, and construction of two new four-story, 40-foot tall, residential buildings with three dwelling units each for a total of six dwelling units on the project site. The new buildings would contain one off-street automobile parking space each for a total of two off-street parking spaces, and six Class 1 bicycle parking spaces.
5. **Public Comment.** The Department has received four comments in opposition to the proposal; more specifically, opposition to the historic determination of the existing building and the demolition of said building. The Department has also received a list of neighbors support the project. All public correspondence has been submitted in the Planning Commission packets.
6. **Planning Code Compliance:** The Commission finds that the Project is consistent with the relevant provisions of the Planning Code in the following manner: –

- A. **Residential Demolition – Section 317:** Pursuant to Planning Code Section 317, Conditional Use Authorization is required for applications proposing to remove a residential unit in the UMU Zoning District. This Code Section establishes a checklist of criteria that delineate the relevant General Plan Policies and Objectives.

*As the project requires Conditional Use Authorization per the requirements of Section 317, the additional criteria specified under Section 317 have been incorporated as findings in this Motion.*

- B. **Permitted Uses in UMU Zoning Districts.** Planning Code Sections 843.20 states that residential uses are principally permitted uses within the UMU Zoning District.

*The Project would construct two new residential buildings with three dwelling units each, for a total of six dwelling units on the project site, within the UMU Zoning District; therefore, the proposed project complies with Planning Code Section 843.20.*

- C. **Lot Area and Width.** Per Planning Code Section 121, the minimum lot width shall be 25 feet and the minimum lot area shall be 2,500 square feet.

*Lot 027 is a triangular lot measuring 19.5 feet along Treat Avenue and 24 feet as it's deepest length, approximately measuring 139 square feet. Lot 28 is a trapezoidal lot measuring 75 feet along Treat Avenue, the parallel property lines each measure 24 feet at its narrowest length and extends 90 feet at its deepest length, approximately measuring 3,750 square feet. As part of the proposed project, the Project Sponsor is seeking a Lot Line Adjustment that would remove the property line separating Lots 027 and 028 to create one triangular lot. Thus, the proposed Lot Line Adjustment would bring the Project Site into greater conformance with the Planning Code requirements as outlined in Section 121.*

- D. **Front Setback Requirement.** Planning Code Section 132 states that the minimum front setback shall be based on the average of adjacent properties or a Legislated Setback.

*The adjacent building to the north does not have a front setback and the nearest building to the south is facing 23<sup>rd</sup> Street, both of which are warehouses; therefore, there is no front setback requirement for the proposed building. The Project proposes no front setback, thus complying with Planning Code Section 132.*

- E. **Rear Yard Requirement.** Planning Code Section 134 requires a minimum rear yard equal to 25 percent of the total lot depth of the lot to be provided at every residential level. The Project is on an irregular shaped lot. In using the triangular lot method of measurement, where the side lot lines converge to a point, a line five feet long within the lot parallel to and at a maximum distance from the front lot line shall be deemed to be the rear lot line for the purposes of determining the depth of the rear yard. Per Planning Code Sections 130, 134 and 843.04, the required rear yard is 18'-7 5/16"; which is 25% of 74'-5 1/4", for a lot measuring 93'-6 7/16" along Treat Avenue, 78'-1 5/16" to the south property line, and 121'-11" along the Old Southern Railroad Right-of-Way (or 3,889 square feet).

*Currently, the single-family residence covers the south edge of Lot 028. Because the subject lot is a trapezoidal lot, the rearmost lot line utilized to measure the require rear yard is the property line abutting the Southern Pacific Railroad which measures 121'-11". The depth of the trapezoidal lot is 78'-1 5/16". Thus, the required rear yard for Lot 028 is 25% of the lot depth or approximately 19'-6 3/10". However, a portion of the existing single-family residence is within the entirety of the require rear yard. Therefore, the existing rear yard is not a code-complying rear yard.*

*With the proposed Lot Line Adjustment, the new proposed lot becomes a triangular lot. The new proposed lot depth is 74'-5 1/4"; further, the new proposed rear yard is 18'-7 5/16", which satisfies the 25% requirement. Therefore, new proposed rear yard is code-complying.*

*The subject block does not possess an established pattern of mid-block open space, nor does the subject lot provide an existing rear yard since the majority of the project site is currently occupied by an industrial building. The Project maintains the street wall along the Southern Pacific Railroad frontage.*

*The Project does not impede access to light and air for the adjacent properties. Many of the abutting residential properties have narrow rear yards or no rear yards. Almost 3/4 of the lots on block 3639 do not provide code-complying rear yards, some of which have full lot coverage. The Project is setback from the neighboring properties to the east as it is separated by the Southern Pacific Railroad parcel, which functions as a de-facto mid-block open space for that block face.*

- F. **Useable Open Space.** Planning Code Section 135 requires a minimum of 80 square feet of open space per dwelling unit, if not publically accessible, or 54 square feet of open space per dwelling unit, if publically accessible. Private useable open space shall have a minimum horizontal dimension of six feet and a minimum area of 36 square feet if located on a deck, balcony, porch or roof, and shall have a minimum horizontal dimension of 10 feet and a minimum area of 100 square feet if located on open ground, a terrace or the surface of an inner or outer court. Common useable open space shall be at least 15 feet in every horizontal dimension and shall be a minimum area of 300 square feet.

*For the proposed six dwelling units, the Project is required to provide 480 square feet of useable open space. Overall, the Project exceeds the open space requirements for two dwelling units through two individual private roof decks, which measure 1,320 square feet (North Building) and 845 square feet (South Building). Further, the remaining four additional units also provide their own private open space via four private decks and rear yards, which cumulatively measure 760 square feet, for four of the six dwelling units. The private decks are of varying depths and widths but all of which meet the dimensional requirements for private usable open space of Planning Code Section 135. Therefore, the Project complies with Planning Code Section 135.*

- G. **Permitted Obstructions.** Planning Code Section 136 outlines the requirements for features, which may be permitted over street, alleys, setbacks, yards or useable open space. The minimum horizontal separation between bay windows shall be two feet at the line establishing the required open area, and shall be increased in proportion to the distance from such line by means of 135-degree angles drawn outward from the ends of such two-foot dimension, reaching a minimum of eight feet along a line parallel to and at a distance of three feet from the line establishing the required open area.

*Currently, the Project includes two bay windows along the Treat Avenue façade for the South Building. These bay windows satisfy the maximum permitted bay window projection and dimensional requirements; however, these bay windows are only separated 9" from each other, where the Planning Code requires a two-foot separation. Therefore, the Project is seeking a variance of the permitted obstruction requirements from the Zoning Administrator (See Case No. 2015-006510VAR).*

- H. **Bird-Safe Glazing.** Planning Code Section 139 outlines the standards for bird-safe buildings, including the requirements for location-related and feature-related hazards.

*The subject lot is not located in close proximity to an Urban Bird Refuge. The Project meets the requirements of feature-related standards; therefore, the Project complies with Planning Code Section 139.*

- I. **Dwelling Unit Exposure.** Planning Code Section 140 requires that at least one room of all dwelling units face onto a public street, code-complying rear yard or other open area that meets minimum requirements for area and horizontal dimensions. To meet exposure requirements, a public alley and side yard must be at least 25 feet in width, or an open area (either an inner court or a space between separate buildings on the same lot) must be no less than 25 feet in every horizontal dimension for the floor at which the dwelling unit is located, a public street is by definition at least 30 feet in width.

*All six dwelling units have direct exposure onto either the street, Treat Avenue, some also have exposure to the code-complying required rear yard. Three dwelling units (South Building) face both Treat Avenue the code-complying rear yard of 18'- 7 5/16" inches, and the remaining three dwelling units (North Building) face Treat Avenue. Therefore, the Project provides code-complying exposure for all dwelling units.*

- J. **Street Frontage.** Planning Code Section 145.1 requires off-street parking at street grade on a development lot to be set back at least 25 feet on the ground floor; that no more than one-third of the width or 20 feet, whichever is less, of any given street frontage of a new structure parallel to and facing a street shall be devoted to parking and loading ingress or egress; that space for active uses be provided within the first 25 feet of building depth on the ground floor.

*The Project meets most of the requirements of Planning Code Section 145.1; however, at grade, the bicycle parking is proposed along the Treat Avenue frontage; more specifically, along the frontmost property line. Bicycle parking is not considered an active use if within the first 25 feet from the street. Therefore, the Project does not meet the requirements for active uses as required in Planning Code Section 145.1 and is seeking a variance of the street frontage requirements from the Zoning Administrator (See Case No. 2015-006510VAR).*

- K. **Off-Street Parking.** In the UMU Zoning District, Planning Code Section 151.1 principally permits up to .75 cars for each dwelling unit. Further, dwelling units with at least 2 bedrooms and at least 1,000 square feet of occupied floor area are permitted up to one car for each dwelling unit.

For the six dwelling units: six of which are two-bedrooms over 1,000 square feet, the Project is principally permitted six off-street parking spaces.

*Currently, the Project provides two off-street parking spaces with a garage entrance within each building. However, in an effort to reduce the potential conflict and collisions with cyclists and to maximize the on-street parking curb space, the two buildings will be sharing one curb cut. Therefore, the Project complies with Planning Code Section 151.1.*

- L. **Bicycle Parking.** Planning Section 155.2 of the Planning Code requires at least one Class 1 bicycle parking spaces for each dwelling unit and one Class 2 bicycle parking space for every 20 dwelling units.

The Project includes six dwelling units; therefore, the Project is required to provide 6 Class 1 bicycle parking spaces and no Class 2 bicycle parking spaces for the residential use.

*The Project will provide six Class 1 bicycle parking spaces. Therefore, the Project complies with Planning Code Section 155.2.*

- M. **Dwelling Unit Mix.** Planning Code Section 207.6 requires that no less than 40 percent of the total number of proposed dwelling units contain at least two bedrooms, or no less than 30 percent of the total number of proposed dwelling units contain at least three bedrooms.

*For the six dwelling units, the Project is required to provide at least two, two-bedroom units or two three-bedroom units. The Project provides four two-bedroom units and two four-bedroom units. Therefore, the Project meets the requirements for dwelling unit mix.*

- N. **Height.** Planning Code Section 260 requires that all structures be no taller than the height prescribed in the subject height and bulk district. The proposed Project is located in a 40-X Height and Bulk District, with a 40-foot height limit.

*The project proposes the demolition of the existing single-story, single-family residence measuring 17'-7" and construction of two new residential buildings measuring 40 feet in height in the 40-X Height and Bulk District. Therefore, the Project meets the requirements for height.*

- O. **Shadow.** Planning Code Section 295 restricts net new shadow, cast by structures exceeding a height of 40 feet, upon property under the jurisdiction of the Recreation and Park Commission. Any project in excess of 40 feet in height and found to cast net new shadow must be found by the Planning Commission, with comment from the General Manager of the Recreation and Parks Department, in consultation with the Recreation and Park Commission, to have no adverse impact upon the property under the jurisdiction of the Recreation and Park Commission.

*Though diagonally across the street from Parque Niños Unidos, the proposed project is not in excess of 40 feet and therefore, does not require a shadow application. Further, based upon a preliminary shadow analysis, the Project does not cast any net new shadow upon property under the jurisdiction of the Recreation and Parks Commission even at 40 feet.*

- P. **Child Care Requirements for Residential Projects.** Planning Code Section 414A is applicable to new development that results in at least one net new residential unit.

*The Project includes 10,578 gross square feet of new residential use associated with the new construction of six dwelling units. This square footage shall be subject to the Residential Child-Care Impact Fee, as outlined in Planning Code Section 414A.*

- Q. **Eastern Neighborhood Infrastructure Impact Fee.** Planning Code Section 423 is applicable to any development project within the UMU Zoning District that results in new construction of residential use and the addition of gross square feet of non-residential space.

*The Project includes the demolition of an approximately 937 square-foot single-family residence and the new construction of 10,578 square feet amongst two residential buildings and 465 square feet of garage space. Excluding the square footage dedicated to the garage and subtracting the 937 square feet of residential to residential replacement square footage per table 423.3B, the remaining 9,176 square feet of residential use are subject to Eastern Neighborhood Infrastructure Impact Fees, as outlined in Planning Code Section 423.*

7. **Planning Code Section 303** establishes criteria for the Planning Commission to consider when reviewing applications for Conditional Use approval. On balance, the project does comply with said criteria in that:

- A. The proposed new uses and building, at the size and intensity contemplated and at the proposed location, will provide a development that is necessary or desirable, and compatible with, the neighborhood or the community.

*The use and size of the proposed project is compatible with the immediate neighborhood. While the Project proposes demolition of an existing single-family residence, the proposed Project increases the permitted residential density. The proposed units are all family-sized with two- to four-bedrooms. The replacement buildings are also designed to be in keeping with the existing development pattern and respond to the mixed neighborhood character. Therefore, the project is considered to be necessary and desirable given the quality and design of the new residences and the amount of new residential units.*

- B. The proposed project will not be detrimental to the health, safety, convenience or general welfare of persons residing or working in the vicinity. There are no features of the project that could be detrimental to the health, safety or convenience of those residing or working the area, in that:

- i. Nature of proposed site, including its size and shape, and the proposed size, shape and arrangement of structures;

*The four-story massing at the Treat Avenue street frontage is appropriate given the two-to-three-story context of the neighborhood. The proposed building will be two stories higher than the adjacent warehouse to the north but it remains compatible with the neighborhood's numerous four-story structures to the east. The project would demolish a noncomplying structure, a portion of the single-family residence is within the required required rear yard on Lot 028. The replacement buildings would provide a code-complying 18'-7 5/16" deep rear yard; thus, would contribute landscaped area to the mid-block open space.*

- ii. The accessibility and traffic patterns for persons and vehicles, the type and volume of such traffic, and the adequacy of proposed off-street parking and loading;

*The Planning Code does not require off-street parking in an UMU Zoning District, limits are set forth in 151.1. The proposed two off-street parking spaces are within said limits for the six new dwelling units. The project is also proposing the required six new Class 1 bicycle parking sapces to accommodate alternative means of transit. There are two existing curb cuts. As part of the proposed project, both curb cuts would be restored and one new curb cut would be introduced; the proposed curb cut would be shared by the two buildings.*

- iii. The safeguards afforded to prevent noxious or offensive emissions such as noise, glare, dust and odor;

*As the proposed Project is residential in nature, unlike commercial or industrial uses, the proposed residential use is not considered to have the potential to produce noxious or offensive emissions.*

- iv. Treatment given, as appropriate, to such aspects as landscaping, screening, open spaces, parking and loading areas, service areas, lighting and signs;



*The proposed Project treatments, materials and streetscape improvements have been appropriately selected to be harmonious and complimentary to the existing surrounding neighborhood. The Project provides new street trees along Treat Avenue and will undertake public realm improvements including: curb restoration, curb cut reconfiguration and street frontage landscaping. The Project will consolidate its curb cuts such that both buildings share one curb cut along Treat Avenue. Code-complying usable open space is provided for all six units within both buildings via: rear yards, balconies, and roof decks. The Commission finds that these improvements would improve the public realm in this neighborhood.*

- C. That the use as proposed will comply with the applicable provisions of the Planning Code and will not adversely affect the General Plan.

*The Project complies with most of the relevant requirements and standards of the Planning Code and is seeking a variance from the Zoning Administrator to address the Planning Code requirements permitted obstructions over the street and street frontages. Further, the Project is consistent with objectives and policies of the General Plan as detailed below.*

- D. That the use as proposed would provide development that is in conformity with the purpose of the applicable UMU District.

*The proposed project is consistent with the stated purpose of the UMU District. The Urban Mixed Use (UMU) District is intended to promote a vibrant mix of uses while maintaining the characteristics of this formerly industrially-zoned area. It is also intended to serve as a buffer between residential districts and PDR districts in the Eastern Neighborhoods. Within the UMU, allowed uses include production, distribution, and repair uses such as light manufacturing, home and business services, arts activities, warehouse, and wholesaling. Additional permitted uses include retail, educational facilities, and nighttime entertainment. Housing is also permitted, but is subject to higher affordability requirements. Family-sized dwelling units are encouraged. Within the UMU, office uses are restricted to the upper floors of multiple story buildings. In considering any new land use not contemplated in this District, the Zoning Administrator shall take into account the intent of this District as expressed in this Section and in the General Plan. Accessory Dwelling Units are permitted within the district pursuant to subsection 207(c)(4) of the Planning Code.*

8. **Additional Findings pursuant to Section 317** establishes criteria for the Planning Commission to consider when reviewing applications to demolish or convert Residential Buildings. On balance, the Project does comply with said criteria in that:

- i. Whether the property is free of a history of serious, continuing code violations;

*A review of the Department of Building Inspection and the Planning Department databases showed no active enforcement cases or notices of violation for the subject property.*

- ii. Whether the housing has been maintained in a decent, safe, and sanitary condition;

*The existing structure appears to have been maintained in a decent, safe and sanitary condition.*

- iii. Whether the property is an "historic resource" under CEQA;

*Although the existing structure is more than 50 years old, a review of the supplemental information resulted in a determination that the existing structure at 953 Treat Avenue is not a historical resource (See Case No. 2015-006510ENV)*

- iv. Whether the removal of the resource will have a substantial adverse impact under CEQA;

*Not applicable. The existing building at 953 Treat Avenue is not a historical resource.*

- v. Whether the Project converts rental housing to other forms of tenure or occupancy;

*The existing single-family residence is currently a vacant abandoned rental unit. The proposed dwelling units may be rental or sold as ownership units, which will be determined at a later date.*

- vi. Whether the Project removes rental units subject to the Rent Stabilization and Arbitration Ordinance;

*The existing single family dwelling is currently vacant. The Rent Stabilization and Arbitration Ordinance includes provisions for eviction controls, price controls, and other controls, and it is the purview of the Rent Board to determine which specific controls apply to a building or property. After contacting the Rent Stabilization and Arbitration Board, they confirmed that there were no related eviction notices that were filed at the Rent Board after December 10, 2013. Further, there are no other Rent Board records evidencing an eviction after December 10, 2013. The Department can confirm that there are no tenants currently living in the dwelling. No database records were identified relating to an unauthorized unit at 953 Treat Avenue.*

- vii. Whether the Project conserves existing housing to preserve cultural and economic neighborhood diversity;

*Although the Project proposes the demolition of an existing single-family residence, the new construction Project proposes two new buildings with three dwelling units each that will result in an additional five dwelling units, for a total of six new dwelling units on the project site.*

- viii. Whether the Project conserves neighborhood character to preserve neighborhood cultural and economic diversity;

*The replacement buildings conserve neighborhood character with appropriate scale, design, and materials, and improve cultural and economic diversity by appropriately increasing the number of units with multiple bedrooms (some up to four), which provide family-sized housing. The project would conserve the existing residential use by providing five additional dwelling units, for a total of six dwelling units, to the City's housing stock.*

- ix. Whether the Project protects the relative affordability of existing housing;

*The Project removes an older single-family residence, which is generally considered more affordable than a more recently constructed unit. However, the project also adds five new dwelling units to the City's housing stock, further increasing the supply of housing.*

- x. Whether the Project increases the number of permanently affordable units as governed by Section 415;

*The Project is not subject to the provisions of Planning Code Section 415, as the project only proposes six dwelling units.*

- xi. Whether the Project locates in-fill housing on appropriate sites in established neighborhoods;

*The Project has been designed to be in keeping with the scale and development pattern of the mixed neighborhood character. Although the proposed buildings are two stories taller than the directly adjacent warehouse, the proposed residential buildings are characteristic of other existing residential buildings located along Harrison Street, parallel to Treat Avenue and within the same block face, that also abut the Southern Pacific Railroad.*

- xii. Whether the project increases the number of family-sized units on-site;

*The Project proposes six new opportunities for family-sized housing. Two four-bedroom dwelling units are proposed, one in each building, and two, two-bedroom units are proposed within each building for a total of six units with two-bedrooms or more.*

- xiii. Whether the Project creates new supportive housing;

*The Project does not create supportive housing.*

- xiv. Whether the Project is of superb architectural and urban design, meeting all relevant design guidelines, to enhance existing neighborhood character;

*The overall scale, design, and materials of the proposed buildings are consistent with the block-face and compliment the neighborhood character with a contemporary design.*

- xv. Whether the Project increases the number of on-site dwelling units;

*The Project will increase the number of on-site units from one dwelling unit to six dwelling units.*

- xvi. Whether the Project increases the number of on-site bedrooms.

*The existing building contains a total of two bedrooms. The Project will contain a total of 16 bedrooms across six dwelling units.*

- xvii. Whether or not the replacement project would maximize density on the subject lot; and,

*Per Planning Code Section 843.24, there is no maximum residential density in the UMU District as the aforementioned is determined by height and bulk requirements. The Project proposes the demolition of the existing single-family residence and new construction of a two, three-unit buildings for a total of six units, increasing the existing site density from one to six.*

- xviii. If replacing a building not subject to the Residential Rent Stabilization and Arbitration Ordinance, whether the new project replaces all the existing units with new Dwelling Units of a similar size and with the same number of bedrooms.

*The existing single family dwelling is currently vacant. The Rent Stabilization and Arbitration Ordinance includes provisions for eviction controls, price controls, and other controls, and it is the purview of the Rent Board to determine which specific controls apply to a building or property. After contacting the Rent Stabilization and Arbitration Board, they confirmed that there were no related eviction notices that were filed at the Rent Board after December 10, 2013. Further, there are no other Rent Board records evidencing an eviction after December 10, 2013. The Department can confirm that there are no tenants currently living in the dwelling. No database records were identified relating to an unauthorized unit at 953 Treat Avenue.*

*Regarding unit size and count, the existing dwelling unit has 937 square feet of habitable area and two bedrooms. The proposed building contains six units; two with four bedrooms and four with two bedrooms with a cumulative residential square footage of 10,578 square feet. The new units provide more than the existing square footage and bedroom count.*

9. **General Plan Compliance.** The Project is, on balance, consistent with the following Objectives and Policies of the General Plan:

## **HOUSING ELEMENT**

### **Objectives and Policies**

#### **OBJECTIVE 1**

**IDENTIFY AND MAKE AVAILABLE FOR DEVELOPMENT ADEQUATE SITES TO MEET THE CITY'S HOUSING NEEDS, ESPECIALLY PERMANENTLY AFFORDABLE HOUSING.**

##### **Policy 1.1**

Plan for the full range of housing needs in the City and County of San Francisco, especially affordable housing.

**Policy 1.10**

Support new housing projects, especially affordable housing, where households can easily rely on public transportation, walking and bicycling for the majority of daily trips.

*The Project is a medium-density residential development on an underutilized site in a transitioning industrial and residential area. The Project site is an ideal infill site that currently contains a vacant single-family home. The project site was rezoned to UMU as part of the Eastern Neighborhoods Area Plan, which recognized the importance of mixed residential and industrial areas. The surrounding neighborhood features a wide variety of zoning, which is consistent with the Project's residential and industrial character.*

**OBJECTIVE 2:**

**RETAIN EXISTING HOUSING UNITS, AND PROMOTE SAFETY AND MAINTENANCE STANDARDS, WITHOUT JEOPARDIZING AFFORDABILITY.**

**Policy 2.1:**

Discourage the demolition of sound existing housing, unless the demolition results in a net increase in affordable housing.

*The Project proposes demolition of an existing residential structure containing a two-bedroom single-family residence. However, the new construction proposal will result in six family-sized units, and thereby contribute to the general housing stock of the city.*

**OBJECTIVE 3:**

**PROTECT THE AFFORDABILITY OF THE EXISTING HOUSING STOCK, ESPECIALLY RENTAL UNITS.**

**Policy 3.1:**

Preserve rental units, especially rent controlled units, to meet the City's affordable housing needs.

**Policy 3.3:**

Maintain balance in affordability of existing housing stock by supporting affordable moderate ownership opportunities.

**Policy 3.4:**

Preserve "naturally affordable" housing types, such as smaller and older ownership units.

*While the project will demolish an existing vacant dwelling, the new construction project will result in an increase in the density of the property and contributes five net new dwelling units, for a total of six, and a net addition of 14 bedrooms, for a total of 16, to the existing housing stock.*

**OBJECTIVE 4**

**FOSTER A HOUSING STOCK THAT MEETS THE NEEDS OF ALL RESIDENTS ACROSS LIFECYCLES**

**Policy 4.1**

Develop new housing, and encourage the remodeling of existing housing, for families with children.

**Policy 4.5**

Ensure that new permanently affordable housing is located in all of the City's neighborhoods, and encourage integrated neighborhoods, with a diversity of unit types provided at a range of income levels.

*The Project will provide family-sized dwelling units ranging in size from 1,015 square feet to 2,653 square feet; thus, further diversifying the housing stock. This encourages diversity among residents within the neighborhood and the larger City. In addition, the Project provides meets the requirements for dwelling unit mix.*

**OBJECTIVE 11:**

**SUPPORT AND RESPECT THE DIVERSE AND DISTINCT CHARACTER OF SAN FRANCISCO'S NEIGHBORHOODS.**

**Policy 11.1:**

Promote the construction and rehabilitation of well-designed housing that emphasizes beauty, flexibility, and innovative design, and respects existing neighborhood character.

**Policy 11.2:**

Ensure implementation of accepted design standards in project approvals.

**Policy 11.3:**

Ensure growth is accommodated without substantially and adversely impacting existing residential neighborhood character.

**Policy 11.5:**

Ensure densities in established residential areas promote compatibility with prevailing neighborhood character.

*The proposed new construction is appropriate in terms of material, scale, proportions and massing for the surrounding neighborhood. Furthermore, the proposal results in an increase in density on the site while maintaining general compliance with the requirements of the Planning Code.*

**URBAN DESIGN**

**OBJECTIVE 1:**

**EMPHASIS OF THE CHARACTERISTIC PATTERN WHICH GIVES TO THE CITY AND ITS NEIGHBORHOODS AN IMAGE, A SENSE OF PURPOSE, AND A MEANS OF ORIENTATION.**

**Policy 1.2:**

Recognize, protect and reinforce the existing street pattern, especially as it is related to topography.

*The project proposes demolition of an existing residential building with noncomplying features. Similar to other existing structures on the block-face, both proposed buildings contain a garage at the ground floor that is to be constructed to the front lot line. The existing street pattern is a mix of predominately two- and three-story buildings. Four-story buildings can be found within the subject block but are predominantly fronting Harrison Street, parallel to Treat Avenue, on the east side of the Southern Pacific Railroad. The Project proposes new construction that will reinforce the existing pattern at the 3639 block face as the building scale is appropriate for the subject block's street frontage; the topography is flat on-site.*

**Policy 1.3:**

Recognize that buildings, when seen together, produce a total effect that characterizes the city and its districts.

*The proposed façade and massing are compatible with the existing neighborhood character and development pattern, particularly because the proposed buildings are of a similar massing, width and height to the existing structures in the neighborhood. The proposed varied materials (i.e hardiboard siding, wood, stucco, equitone siding, and vertical boardform concrete) are compatible with the adjacent neighbors and neighborhood.*

**MISSION AREA PLAN**

**Objectives and Policies**

Land Use

**OBJECTIVE 1.1**

IN AREAS OF THE MISSION WHERE HOUSING AND MIXED-USE IS ENCOURAGED, MAXIMIZE DEVELOPMENT POTENTIAL IN KEEPING WITH NEIGHBORHOOD CHARACTER.

**Policy 1.2.1**

Ensure that in-fill housing development is compatible with its surroundings.

**Policy 1.2.3**

In general, where residential development is permitted, control residential density through building height and bulk guidelines and bedroom mix requirements.

**Policy 1.2.4**

Identify portions of the Mission where it would be appropriate to increase maximum heights for residential development.

*The proposed new construction Project proposes a permitted height, residential density and dwelling unit mix.*

Housing

**OBJECTIVE 2.3**

ENSURE THAT NEW RESIDENTIAL DEVELOPMENTS SATISFY AN ARRAY OF HOUSING NEEDS WITH RESPECT TO TENURE, UNIT MIX AND COMMUNITY SERVICES

**Policy 2.3.3**

Require that a significant number of units in new developments have two or more bedrooms, except Senior Housing and SRO developments unless all Below Market Rate units are two or more bedrooms.

**Policy 2.3.5**

Explore a range of revenue-generating tools including impact fees, public funds and grants, assessment districts, and other private funding sources, to fund community and neighborhood improvements.

**Policy 2.3.6**

Establish an impact fee to be allocated towards an Eastern Neighborhoods Public Benefit Fund to mitigate the impacts of new development on transit, pedestrian, bicycle, and street improvements, park and recreational facilities, and community facilities such as libraries, child care and other neighborhood services in the area.

*Of the proposed six dwelling units, four units are two-bedroom units and two are four bedroom units; thus, 100% of dwelling unit mix is provided with at least two bedrooms, where only 40% is required. The Project is subject to the Eastern Neighborhoods Infrastructure Impact Fee as well as the Residential Child Care Fee both of which will provide funds for community and neighborhood improvements.*

Built Form

**OBJECTIVE 3.1**

PROMOTE AN URBAN FORM THAT REINFORCES THE MISSION'S DISTINCTIVE PLACE IN THE CITY'S LARGER FORM AND STRENGTHENS ITS PHYSICAL FABRIC AND CHARACTER

**Policy 3.1.8**

New development should respect existing patterns of rear yard open space. Where an existing pattern of rear yard open space does not exist, new development on mixed-use-zoned parcels should have greater flexibility as to where open space can be located.

**OBJECTIVE 3.2**

PROMOTE AN URBAN FORM AND ARCHITECTURAL CHARACTER THAT SUPPORTS WALKING AND SUSTAINS A DIVERSE, ACTIVE AND SAFE PUBLIC REALM



**Policy 3.2.1**

Require high quality design of street-facing building exteriors.

**Policy 3.2.3**

Minimize the visual impact of parking.

**Policy 3.2.4**

Strengthen the relationship between a building and its fronting sidewalk.

**Policy 3.2.6**

Sidewalks abutting new developments should be constructed in accordance with locally appropriate guidelines based on established best practices in streetscape design.

*In an effort to strengthen the relationship between the building and its fronting sidewalk, the Project incorporates walkups which provide a transition between the private and public realm. The proposed landscaping, curb cut consolidation and streetscape improvements further enhance the public realm.*

10. **Planning Code Section 101.1(b)** establishes eight priority-planning policies and requires review of permits for consistency with said policies. On balance, the project does comply with said policies in that:

A. That existing neighborhood-serving retail uses be preserved and enhanced and future opportunities for resident employment in and ownership of such businesses be enhanced.

*Existing neighborhood-serving retail uses would not be displaced or otherwise adversely affected by the proposal, as the existing buildings do not contain commercial uses/spaces. The proposed residential buildings would increase would house more individuals to patronize the existing neighborhood-serving retail uses.*

B. That existing housing and neighborhood character be conserved and protected in order to preserve the cultural and economic diversity of our neighborhoods.

*The project is compatible with the existing housing and and mixed-use neighborhood character of the immediate neighborhood. The project proposes a height and scale compatible with the adjacent neighbors, and the project proposes adding five additional units, for a total of six, which is compatible with the existing density in other buildings Treat Avenue and the surrounding block faces.*

C. That the City's supply of affordable housing be preserved and enhanced,

*The existing single family dwelling is currently vacant, and is not designated as an inclusionary affordable housing unit.*

D. That commuter traffic not impede MUNI transit service or overburden our streets or neighborhood parking.

*The Project is not anticipated to impede transit service or overburden our streets with neighborhood parking. The project includes required amount of bicycle parking and off-street parking below the principally-permitted amount, thus supporting the City's transit first policies.*

- E. That a diverse economic base be maintained by protecting our industrial and service sectors from displacement due to commercial office development, and that future opportunities for resident employment and ownership in these sectors be enhanced.

*The Project does not include commercial office development and would not affect industrial or service sector uses or related employment opportunities. Ownership of industrial or service sector businesses would not be affected by the Project.*

- F. That the City achieve the greatest possible preparedness to protect against injury and loss of life in an earthquake.

*The replacement structures would be built in compliance with San Francisco's current Building Code Standards and would meet all earthquake safety requirements.*

- G. That landmarks and historic buildings be preserved.

*Landmark or historic buildings do not occupy the Project site. The existing building is not a historic resource.*

- H. That our parks and open space and their access to sunlight and vistas be protected from development.

*Though diagonally across the street from Parque Niños Unidos, the project will have no negative impact on existing parks and open spaces. The project does not exceed the 40-foot height limit, and is thus not subject to the requirements of Planning Code Section 295 – Height Restrictions on Structures Shadowing Property Under the Jurisdiction of the Recreation and Park Commission. The height of the proposed structures is compatible with the established neighborhood development.*

11. The Project is consistent with and would promote the general and specific purposes of the Code provided under Section 101.1(b) in that, as designed, the Project would contribute to the character and stability of the neighborhood and would constitute a beneficial development.
12. The Commission hereby finds that approval of the Conditional Use Authorization would promote the health, safety and welfare of the City.

**DECISION**

That based upon the Record, the submissions by the Applicant, the staff of the Department and other interested parties, the oral testimony presented to this Commission at the public hearings, and all other written materials submitted by all parties, the Commission hereby **APPROVES Conditional Use Application No. 2015-006510CUA** subject to the following conditions attached hereto as "EXHIBIT A" which is incorporated herein by reference as though fully set forth.

**APPEAL AND EFFECTIVE DATE OF MOTION:** Any aggrieved person may appeal this Conditional Use Authorization to the Board of Supervisors within thirty (30) days after the date of this Motion No. XXXXX. The effective date of this Motion shall be the date of this Motion if not appealed (After the 30-day period has expired) OR the date of the decision of the Board of Supervisors if appealed to the Board of Supervisors. For further information, please contact the Board of Supervisors at (415) 554-5184, City Hall, Room 244, 1 Dr. Carlton B. Goodlett Place, San Francisco, CA 94012.

**Protest of Fee or Exaction:** You may protest any fee or exaction subject to Government Code Section 66000 that is imposed as a condition of approval by following the procedures set forth in Government Code Section 66020. The protest must satisfy the requirements of Government Code Section 66020(a) and must be filed within 90 days of the date of the first approval or conditional approval of the development referencing the challenged fee or exaction. For purposes of Government Code Section 66020, the date of imposition of the fee shall be the date of the earliest discretionary approval by the City of the subject development.

If the City has not previously given Notice of an earlier discretionary approval of the project, the Planning Commission's adoption of this Motion, Resolution, Discretionary Review Action or the Zoning Administrator's Variance Decision Letter constitutes the approval or conditional approval of the development and the City hereby gives **NOTICE** that the 90-day protest period under Government Code Section 66020 has begun. If the City has already given Notice that the 90-day approval period has begun for the subject development, then this document does not re-commence the 90-day approval period.

I hereby certify that the Planning Commission **ADOPTED** the foregoing Motion XXXXX on February 16, 2017.

Jonas P. Ionin  
Commission Secretary

AYES:

NAYS:

ABSENT:

RECUSED:

ADOPTED:       —  
February 16, 2017

## EXHIBIT A

### AUTHORIZATION

This authorization is for conditional use to allow the demolition of a single-family residence and construction of two four-story, 40-foot tall, residential buildings (measuring approximately 5,562 (North Building) and 5,016 (South Building) square feet), with three dwelling units each (for a total of six dwelling units), 2,925 square feet of private usable open space between both buildings, two off-street parking spaces and six bicycle parking spaces on Assessor's Block 3639, Lots 027 & 028, located at 953 Treat Avenue, pursuant to Planning Code Sections 303, 317 and 843.27 within the UMU (Urban Mixed Use) Zoning District and a 40-X Height and Bulk District; in general conformance with plans, dated February 3, 2017, and stamped "EXHIBIT B" included in the docket for Case No. 2015-006510CUA and subject to conditions of approval reviewed and approved by the Commission on February 16, 2017 under Motion No. XXXXXX. This authorization and the conditions contained herein run with the property and not with a particular Project Sponsor, business, or operator.

### RECORDATION OF CONDITIONS OF APPROVAL

Prior to the issuance of the building permit or commencement of use for the Project the Zoning Administrator shall approve and order the recordation of a Notice in the Official Records of the Recorder of the City and County of San Francisco for the subject property. This Notice shall state that the project is subject to the conditions of approval contained herein and reviewed and approved by the Planning Commission on February 16, 2017 under Motion No. XXXXXX.

### PRINTING OF CONDITIONS OF APPROVAL ON PLANS

The conditions of approval under the 'Exhibit A' of this Planning Commission Motion No. XXXXXX shall be reproduced on the Index Sheet of construction plans submitted with the site or building permit application for the Project. The Index Sheet of the construction plans shall reference to the Conditional Use authorization and any subsequent amendments or modifications.

### SEVERABILITY

The Project shall comply with all applicable City codes and requirements. If any clause, sentence, section or any part of these conditions of approval is for any reason held to be invalid, such invalidity shall not affect or impair other remaining clauses, sentences, or sections of these conditions. This decision conveys no right to construct, or to receive a building permit. "Project Sponsor" shall include any subsequent responsible party.

### CHANGES AND MODIFICATIONS

Changes to the approved plans may be approved administratively by the Zoning Administrator. Significant changes and modifications of conditions shall require Planning Commission approval of a new Conditional Use authorization.

## Conditions of Approval, Compliance, Monitoring, and Reporting

### PERFORMANCE

1. **Validity.** The authorization and right vested by virtue of this action is valid for three (3) years from the effective date of the Motion. The Department of Building Inspection shall have issued a Building Permit or Site Permit to construct the project and/or commence the approved use within this three-year period.

*For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, [www.sf-planning.org](http://www.sf-planning.org)*

2. **Expiration and Renewal.** Should a Building or Site Permit be sought after the three (3) year period has lapsed, the project sponsor must seek a renewal of this Authorization by filing an application for an amendment to the original Authorization or a new application for Authorization. Should the project sponsor decline to so file, and decline to withdraw the permit application, the Commission shall conduct a public hearing in order to consider the revocation of the Authorization. Should the Commission not revoke the Authorization following the closure of the public hearing, the Commission shall determine the extension of time for the continued validity of the Authorization.

*For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, [www.sf-planning.org](http://www.sf-planning.org)*

3. **Diligent Pursuit.** Once a site or Building Permit has been issued, construction must commence within the timeframe required by the Department of Building Inspection and be continued diligently to completion. Failure to do so shall be grounds for the Commission to consider revoking the approval if more than three (3) years have passed since this Authorization was approved.

*For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, [www.sf-planning.org](http://www.sf-planning.org)*

4. **Extension.** All time limits in the preceding three paragraphs may be extended at the discretion of the Zoning Administrator where implementation of the project is delayed by a public agency, an appeal or a legal challenge and only by the length of time for which such public agency, appeal or challenge has caused delay.

*For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, [www.sf-planning.org](http://www.sf-planning.org)*

5. **Conformity with Current Law.** No application for Building Permit, Site Permit, or other entitlement shall be approved unless it complies with all applicable provisions of City Codes in effect at the time of such approval.

*For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, [www.sf-planning.org](http://www.sf-planning.org)*

6. **Additional Project Authorization.** The Project Sponsor must obtain a variance from the Zoning Administrator to address the Planning Code requirements for permitted obstructions and street frontage (Planning Code Sections 136 and 145) and satisfy all the conditions thereof. The conditions set forth below are additional conditions required in connection with the Project. If these conditions overlap with any other requirement imposed on the Project, the more restrictive or protective condition or requirement, as determined by the Zoning Administrator, shall apply.  
*For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, [www.sf-planning.org](http://www.sf-planning.org)*

#### DESIGN – COMPLIANCE AT PLAN STAGE

7. **Final Materials.** The Project Sponsor shall continue to work with Planning Department on the building design. Final materials, glazing, color, texture, landscaping, and detailing shall be subject to Department staff review and approval. The architectural addenda shall be reviewed and approved by the Planning Department prior to issuance.  
*For information about compliance, contact the Case Planner, Planning Department at 415-558-6378, [www.sf-planning.org](http://www.sf-planning.org)*
8. **Garbage, Composting and Recycling Storage.** Space for the collection and storage of garbage, composting, and recycling shall be provided within enclosed areas on the property and clearly labeled and illustrated on the building permit plans. Space for the collection and storage of recyclable and compostable materials that meets the size, location, accessibility and other standards specified by the San Francisco Recycling Program shall be provided at the ground level of the buildings.  
*For information about compliance, contact the Case Planner, Planning Department at 415-558-6378, [www.sf-planning.org](http://www.sf-planning.org)*
9. **Rooftop Mechanical Equipment.** Pursuant to Planning Code 141, the Project Sponsor shall submit a roof plan to the Planning Department prior to Planning approval of the building permit application. Rooftop mechanical equipment, if any is proposed as part of the Project, is required to be screened so as not to be visible from any point at or below the roof level of the subject building.  
*For information about compliance, contact the Case Planner, Planning Department at 415-558-6378, [www.sf-planning.org](http://www.sf-planning.org)*
10. **Transformer Vault.** The location of individual project PG&E Transformer Vault installations has significant effects to San Francisco streetscapes when improperly located. However, they may not have any impact if they are installed in preferred locations. Therefore, the Planning Department recommends the following preference schedule in locating new transformer vaults, in order of most to least desirable:
- On-site, in a basement area accessed via a garage or other access point without use of separate doors on a ground floor façade facing a public right-of-way;
  - On-site, in a driveway, underground;
  - On-site, above ground, screened from view, other than a ground floor façade facing a public right-of-way;

- d. Public right-of-way, underground, under sidewalks with a minimum width of 12 feet, avoiding effects on streetscape elements, such as street trees; and based on Better Streets Plan guidelines;
- e. Public right-of-way, underground; and based on Better Streets Plan guidelines;
- f. Public right-of-way, above ground, screened from view; and based on Better Streets Plan guidelines;
- g. On-site, in a ground floor façade (the least desirable location).

Unless otherwise specified by the Planning Department, Department of Public Work's Bureau of Street Use and Mapping (DPW BSM) should use this preference schedule for all new transformer vault installation requests.

*For information about compliance, contact Bureau of Street Use and Mapping, Department of Public Works at 415-554-5810, <http://sfdpw.org>*

11. **Bicycle Parking.** The Project shall provide no fewer than six Class 1 bicycle parking spaces as required by Planning Code Sections 155.1.

*For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, [www.sf-planning.org](http://www.sf-planning.org)*

12. **Parking Maximum.** Pursuant to Planning Code Section 151.1, the Project shall provide no more than two (2) off-street parking spaces.

*For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, [www.sf-planning.org](http://www.sf-planning.org)*

13. **Child Care Fee - Residential.** The Project is subject to the Residential Child Care Fee, as applicable, pursuant to Planning Code Section 414A.

*For information about compliance, contact the Case Planner, Planning Department at 415-558-6378, [www.sf-planning.org](http://www.sf-planning.org)*

14. **Eastern Neighborhoods Infrastructure Impact Fee.** The Project is subject to the Eastern Neighborhoods Infrastructure Impact Fee, as applicable, pursuant to Planning Code Section 423.

*For information about compliance, contact the Case Planner, Planning Department at 415-558-6378, [www.sf-planning.org](http://www.sf-planning.org)*

## MONITORING - AFTER ENTITLEMENT

15. **Enforcement.** Violation of any of the Planning Department conditions of approval contained in this Motion or of any other provisions of Planning Code applicable to this Project shall be subject to the enforcement procedures and administrative penalties set forth under Planning Code Section 176 or Section 176.1. The Planning Department may also refer the violation complaints to other city departments and agencies for appropriate enforcement action under their jurisdiction.

*For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, [www.sf-planning.org](http://www.sf-planning.org)*

16. **Monitoring.** The Project requires monitoring of the conditions of approval in this Motion. The Project Sponsor or the subsequent responsible parties for the Project shall pay fees as established under Planning Code Section 351(e) (1) and work with the Planning Department for information about compliance.

*For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, [www.sf-planning.org](http://www.sf-planning.org)*

17. **Revocation due to Violation of Conditions.** Should implementation of this Project result in complaints from interested property owners, residents, or commercial lessees which are not resolved by the Project Sponsor and found to be in violation of the Planning Code and/or the specific conditions of approval for the Project as set forth in Exhibit A of this Motion, the Zoning Administrator shall refer such complaints to the Commission, after which it may hold a public hearing on the matter to consider revocation of this authorization.

*For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, [www.sf-planning.org](http://www.sf-planning.org)*

## OPERATION

18. **Sidewalk Maintenance.** The Project Sponsor shall maintain the main entrance to the building and all sidewalks abutting the subject property in a clean and sanitary condition in compliance with the Department of Public Works Streets and Sidewalk Maintenance Standards.

*For information about compliance, contact Bureau of Street Use and Mapping, Department of Public Works, 415-695-2017, <http://sfdpw.org>*

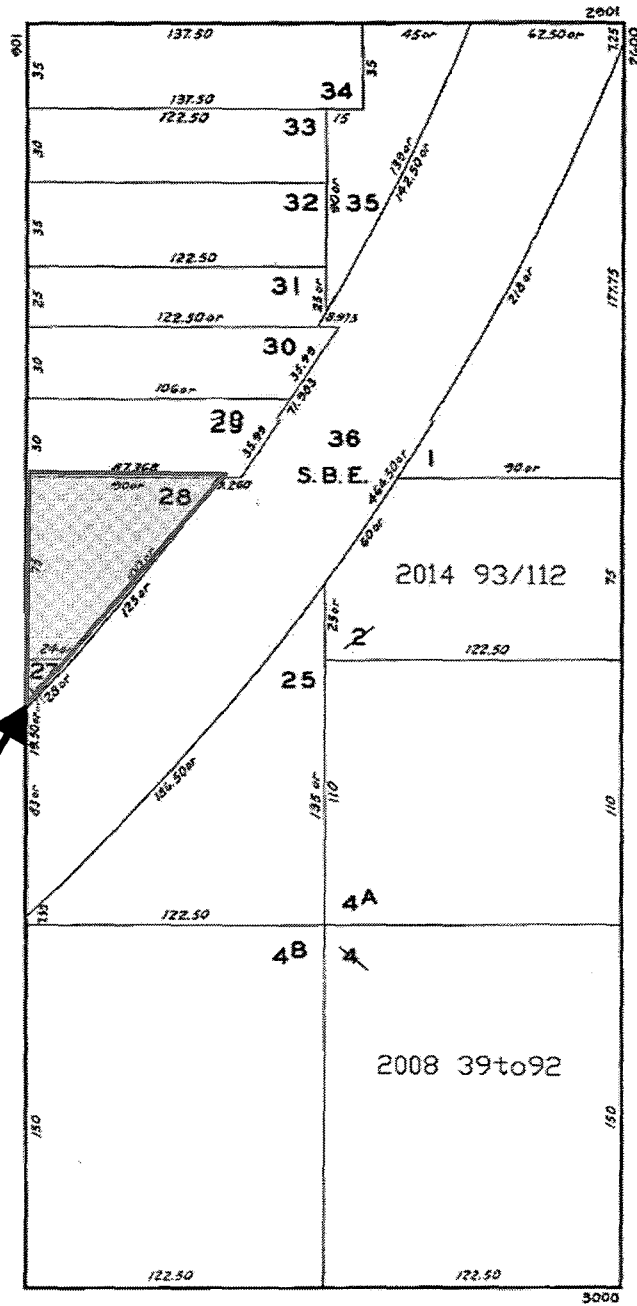
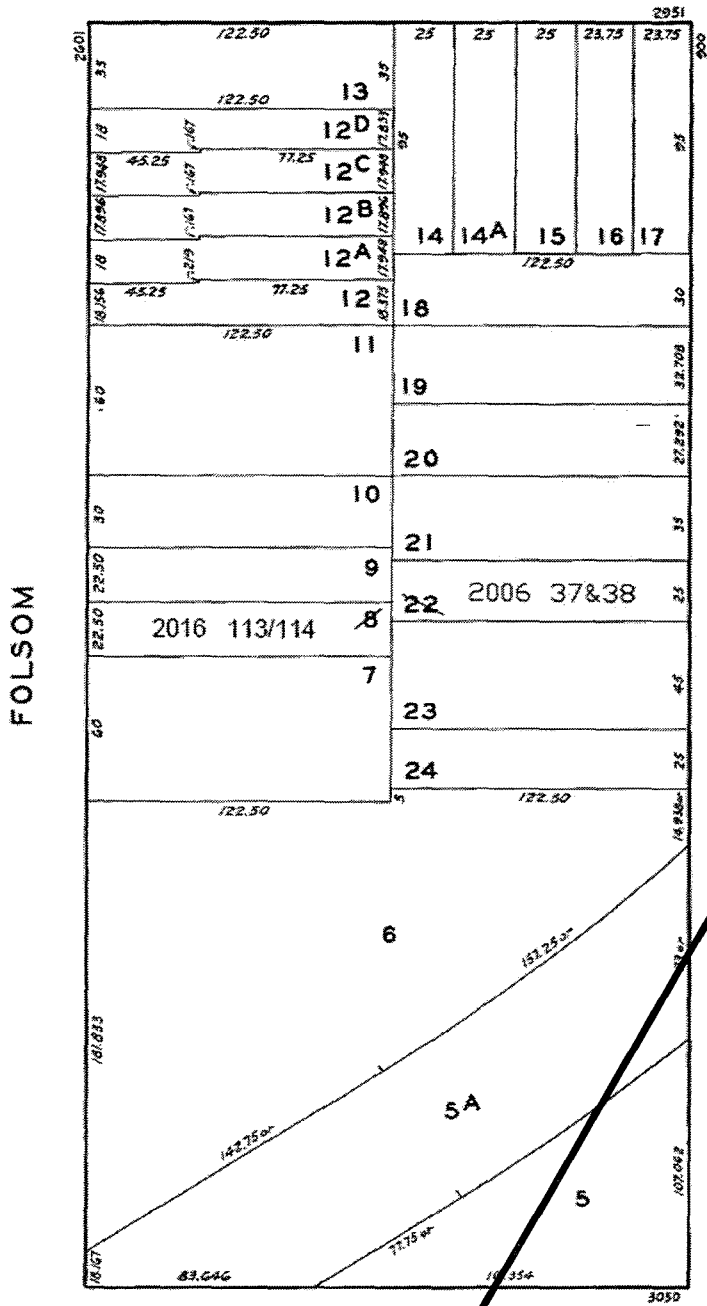
19. **Community Liaison.** Prior to issuance of a building permit to construct the project and implement the approved use, the Project Sponsor shall appoint a community liaison officer to deal with the issues of concern to owners and occupants of nearby properties. The Project Sponsor shall provide the Zoning Administrator with written notice of the name, business address, and telephone number of the community liaison. Should the contact information change, the Zoning Administrator shall be made aware of such change. The community liaison shall report to the Zoning Administrator what issues, if any, are of concern to the community and what issues have not been resolved by the Project Sponsor.

*For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, [www.sf-planning.org](http://www.sf-planning.org)*



# Parcel Map

22 ND



23 RD

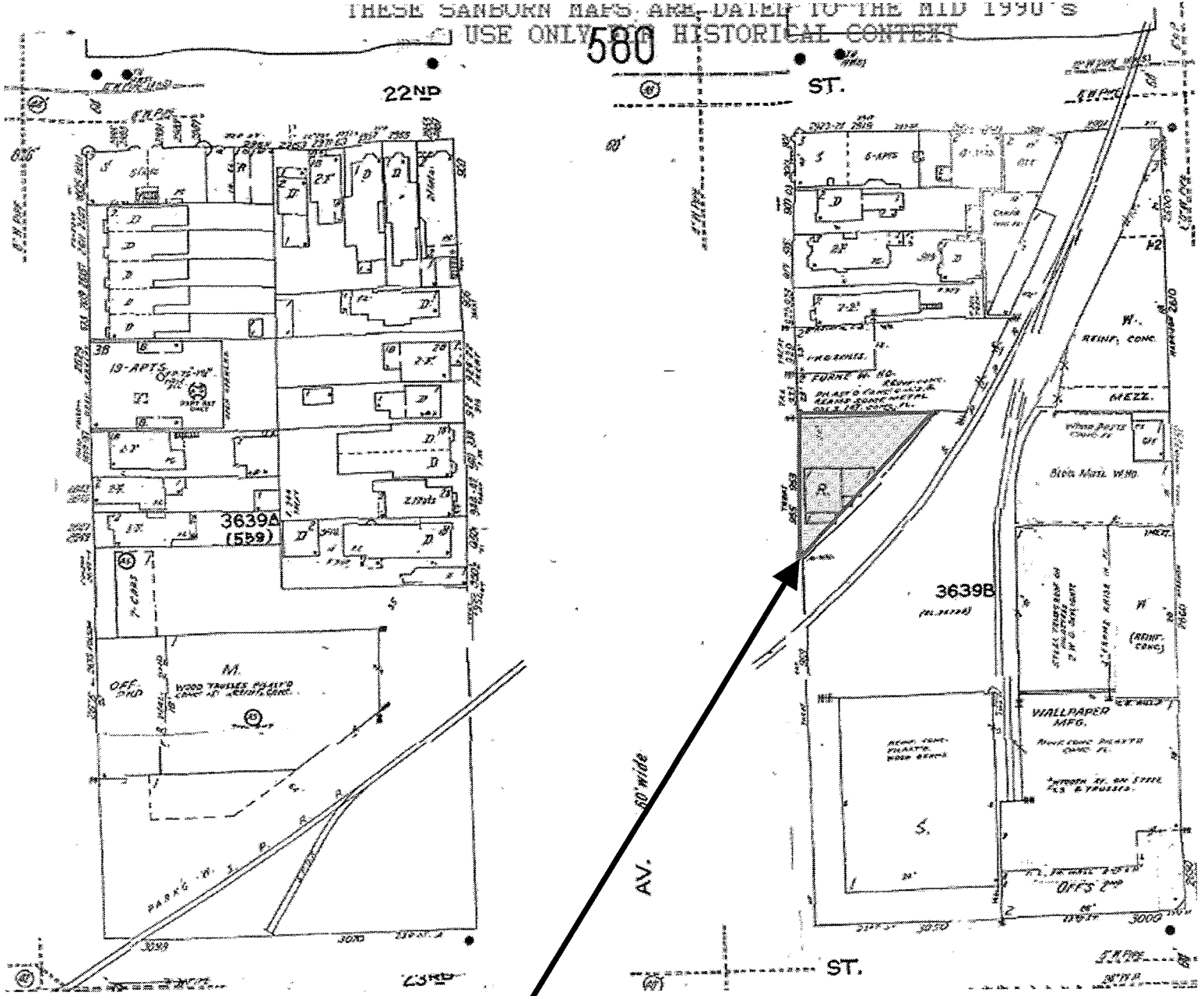
**SUBJECT PROPERTY**

Conditional Use Authorization and Variance Hearing  
 Case Number 2015-006510CUAVAR  
 953 Treat Avenue  
 Block 3639 Lot 027 and 028



# Sanborn Map\*

THESE SANBORN MAPS ARE DATED TO THE MID 1990'S  
 USE ONLY FOR HISTORICAL CONTEXT



**SUBJECT PROPERTY**

\*The Sanborn Maps in San Francisco have not been updated since 1998, and this map may not accurately reflect existing conditions.

Conditional Use Authorization and Variance Hearing

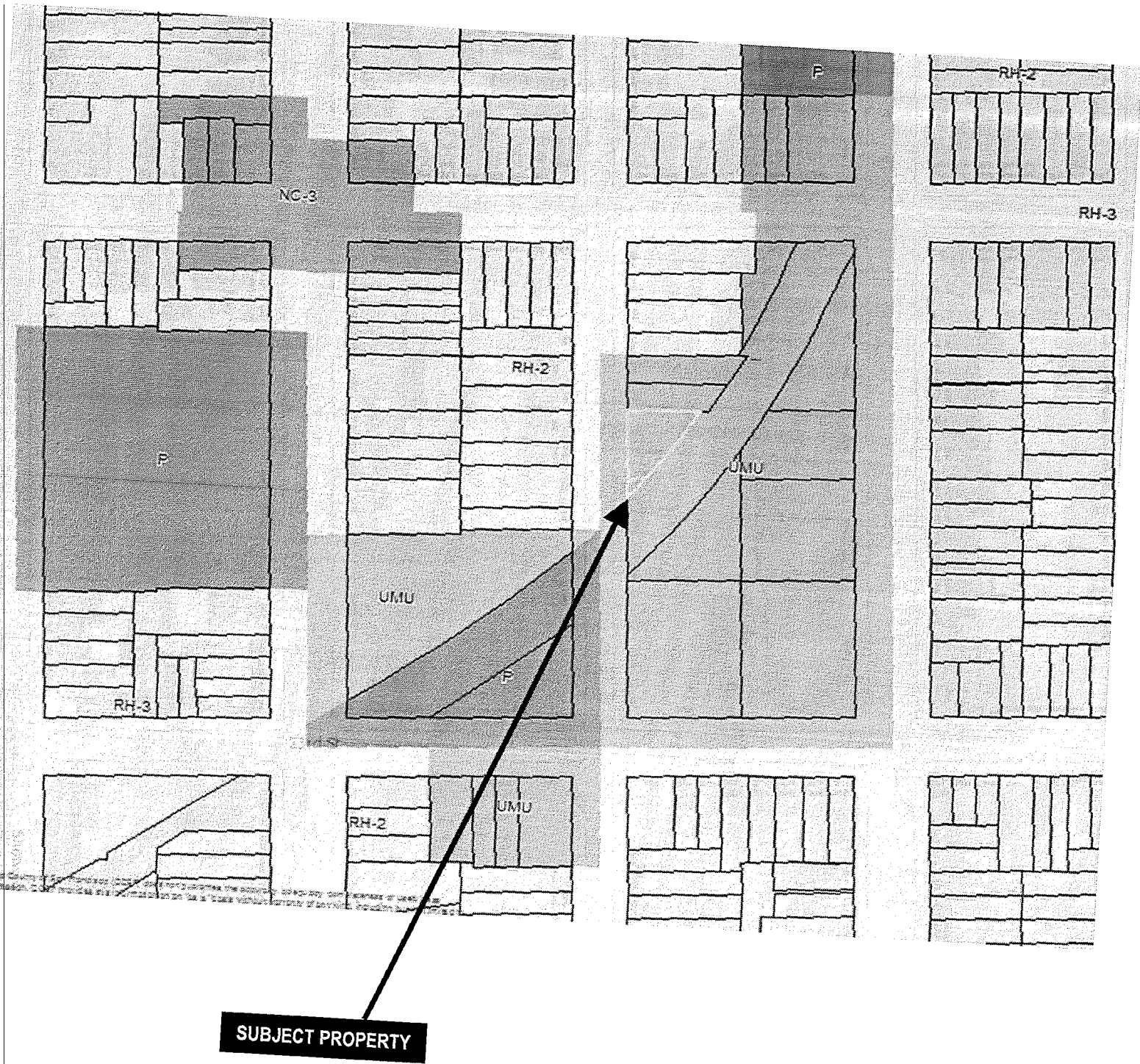
Case Number 2015-006510CUAVAR

953 Treat Avenue

Block 3639 Lot 027 and 028



# Zoning Map



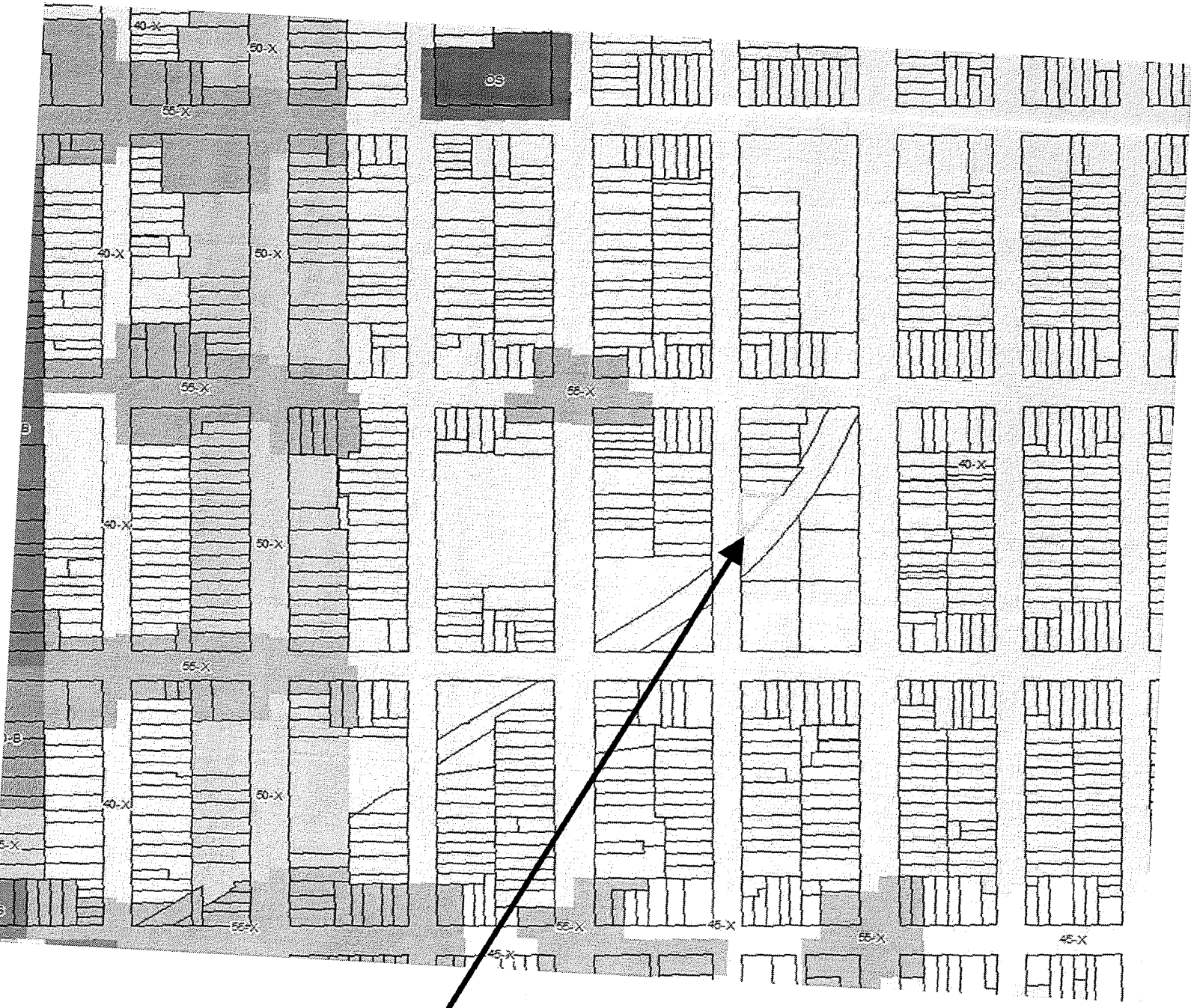
**SUBJECT PROPERTY**



Conditional Use Authorization and Variance  
Hearing  
Case Number 2015-006510CUAVAR  
953 Treat Avenue  
Block 3639 Lot 027 and 028

SAN FRANCISCO  
PLANNING DEPARTMENT

# Height and Bulk District



**SUBJECT PROPERTY**

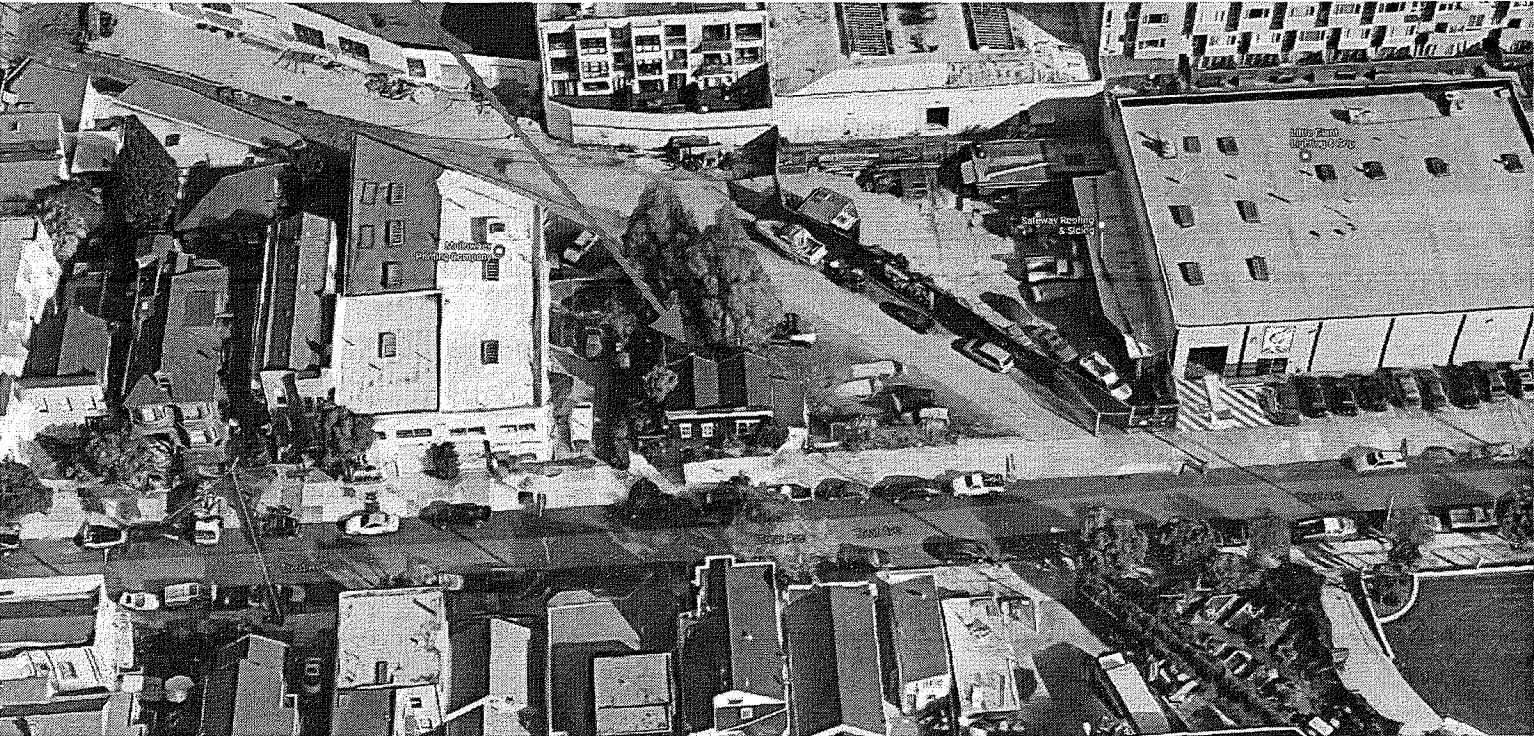
Conditional Use Authorization and Variance  
Hearing  
Case Number 2015-006510CUAVAR  
953 Treat Avenue  
Block 3639 Lot 027 and 028

# Aerial Photos



**SUBJECT PROPERTY**

**SUBJECT PROPERTY**



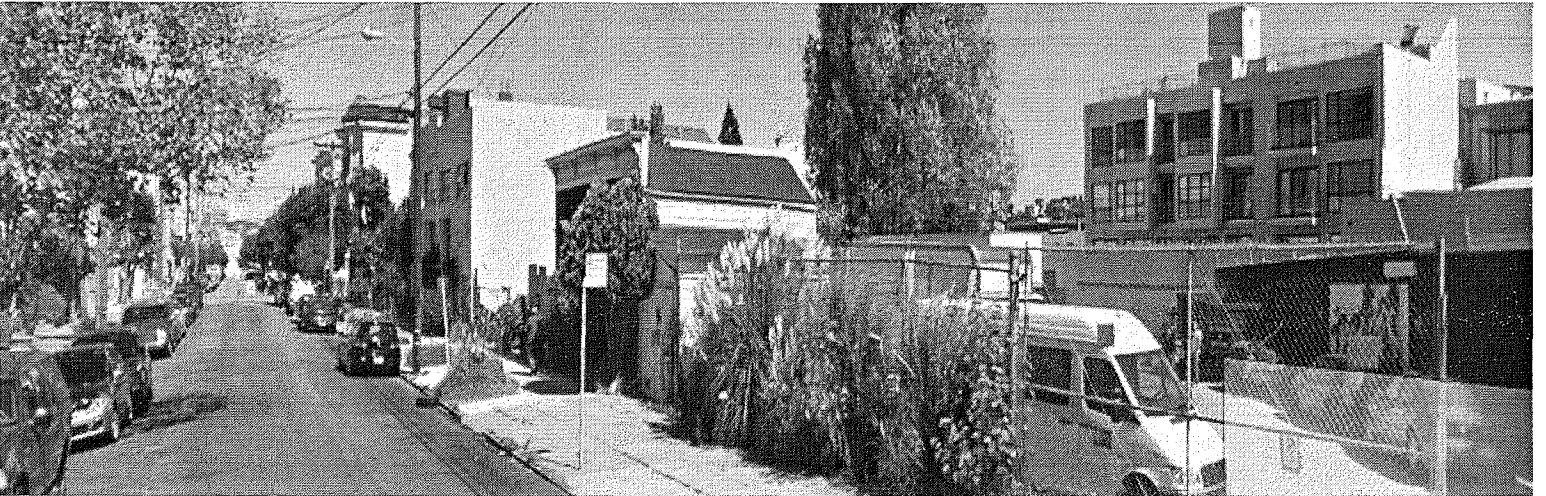
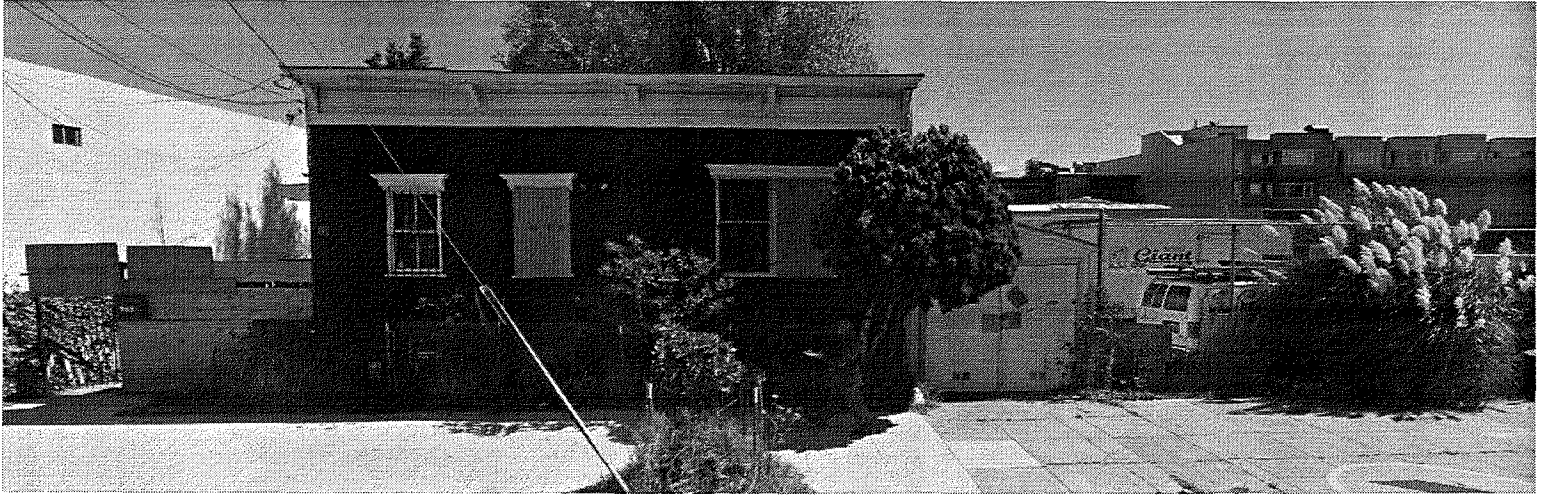
Conditional Use Authorization and Variance Hearing

Case Number 2015-006510CUAVAR

953 Treat Avenue

Block 3639 Lot 027 and 028

# Site Photos



Conditional Use Authorization and Variance  
Hearing

Case Number 2015-006510CUAVAR

953 Treat Avenue

Block 3639 Lot 027 and 028



**SAN FRANCISCO  
PLANNING DEPARTMENT**

**CEQA Categorical Exemption Determination**

**PROPERTY INFORMATION/PROJECT DESCRIPTION**

Project Address		Block/Lot(s)	
953 Treat Avenue		3639/028	
Case No.	Permit No.	Plans Dated	
2015-006510ENV	20151104-1757/-1763/-1768	11/10/2015	
<input checked="" type="checkbox"/> Addition/ Alteration	<input type="checkbox"/> Demolition (requires HRER if over 45 years old)	<input type="checkbox"/> New Construction	<input type="checkbox"/> Project Modification (GO TO STEP 7)
Project description for Planning Department approval. Proposed demolition of (E) SFH to construct two (N) buildings containing two residential units each and two parking spaces. Totaling four residential units with four parking spaces.			

**STEP 1: EXEMPTION CLASS**

TO BE COMPLETED BY PROJECT PLANNER

<b>Note: If neither Class 1 or 3 applies, an <i>Environmental Evaluation Application</i> is required.</b>	
<input checked="" type="checkbox"/>	Class 1 – Existing Facilities. Interior and exterior alterations; additions under 10,000 sq. ft.
<input checked="" type="checkbox"/>	Class 3 – New Construction/ Conversion of Small Structures. Up to three (3) new single-family residences or six (6) dwelling units in one building; commercial/office structures; utility extensions; change of use under 10,000 sq. ft. if principally permitted or with a CU.
<input type="checkbox"/>	Class _____

**STEP 2: CEQA IMPACTS**

TO BE COMPLETED BY PROJECT PLANNER

<b>If any box is checked below, an <i>Environmental Evaluation Application</i> is required.</b>	
<input type="checkbox"/>	<b>Air Quality:</b> Would the project add new sensitive receptors (specifically, schools, day care facilities, hospitals, residential dwellings, and senior-care facilities) within an Air Pollution Exposure Zone? Does the project have the potential to emit substantial pollutant concentrations (e.g., backup diesel generators, heavy industry, diesel trucks)? <i>Exceptions: do not check box if the applicant presents documentation of enrollment in the San Francisco Department of Public Health (DPH) Article 38 program and the project would not have the potential to emit substantial pollutant concentrations. (refer to EP_ArcMap &gt; CEQA Catex Determination Layers &gt; Air Pollutant Exposure Zone)</i>
<input type="checkbox"/>	<b>Hazardous Materials:</b> If the project site is located on the Maher map or is suspected of containing hazardous materials (based on a previous use such as gas station, auto repair, dry cleaners, or heavy manufacturing, or a site with underground storage tanks): Would the project involve 50 cubic yards or more of soil disturbance - or a change of use from industrial to residential? If yes, this box must be checked and the project applicant must submit an Environmental Application with a Phase I

	Environmental Site Assessment. <i>Exceptions: do not check box if the applicant presents documentation of enrollment in the San Francisco Department of Public Health (DPH) Maher program, a DPH waiver from the Maher program, or other documentation from Environmental Planning staff that hazardous material effects would be less than significant (refer to EP_ArcMap &gt; Maher layer).</i>
<input type="checkbox"/>	<b>Transportation:</b> Does the project create six (6) or more net new parking spaces or residential units? Does the project have the potential to adversely affect transit, pedestrian and/or bicycle safety (hazards) or the adequacy of nearby transit, pedestrian and/or bicycle facilities?
<input checked="" type="checkbox"/>	<b>Archeological Resources:</b> Would the project result in soil disturbance/modification greater than two (2) feet below grade in an archeological sensitive area or eight (8) feet in a non-archeological sensitive area? (refer to EP_ArcMap > CEQA Catex Determination Layers > Archeological Sensitive Area)
<input type="checkbox"/>	<b>Noise:</b> Does the project include new noise-sensitive receptors (schools, day care facilities, hospitals, residential dwellings, and senior-care facilities) fronting roadways located in the noise mitigation area? (refer to EP_ArcMap > CEQA Catex Determination Layers > Noise Mitigation Area)
<input type="checkbox"/>	<b>Subdivision/Lot Line Adjustment:</b> Does the project site involve a subdivision or lot line adjustment on a lot with a slope average of 20% or more? (refer to EP_ArcMap > CEQA Catex Determination Layers > Topography)
<input type="checkbox"/>	<b>Slope = or &gt; 20%:</b> Does the project involve excavation of 50 cubic yards of soil or more, new construction, or square footage expansion greater than 1,000 sq. ft. outside of the existing building footprint? (refer to EP_ArcMap > CEQA Catex Determination Layers > Topography) <b>If box is checked, a geotechnical report is required.</b>
<input type="checkbox"/>	<b>Seismic: Landslide Zone:</b> Does the project involve excavation of 50 cubic yards of soil or more, new construction, or square footage expansion greater than 1,000 sq. ft. outside of the existing building footprint? (refer to EP_ArcMap > CEQA Catex Determination Layers > Seismic Hazard Zones) <b>If box is checked, a geotechnical report is required.</b>
<input type="checkbox"/>	<b>Seismic: Liquefaction Zone:</b> Does the project involve excavation of 50 cubic yards of soil or more, new construction, or square footage expansion greater than 1,000 sq. ft. outside of the existing building footprint? (refer to EP_ArcMap > CEQA Catex Determination Layers > Seismic Hazard Zones) <b>If box is checked, a geotechnical report will likely be required.</b>
<b>If no boxes are checked above, GO TO STEP 3. If one or more boxes are checked above, an <u>Environmental Evaluation Application</u> is required, unless reviewed by an <u>Environmental Planner</u>.</b>	
<input checked="" type="checkbox"/>	Project can proceed with categorical exemption review. The project does not trigger any of the CEQA impacts listed above.
Comments and Planner Signature (optional): Jean Poling <small>Digitally signed by Jean Poling</small> Sponsor enrolled in DPH Maher program. No archeological effects.	

**STEP 3: PROPERTY STATUS – HISTORIC RESOURCE  
TO BE COMPLETED BY PROJECT PLANNER**

<b>PROPERTY IS ONE OF THE FOLLOWING:</b> (refer to Parcel Information Map)	
<input type="checkbox"/>	Category A: Known Historical Resource. <b>GO TO STEP 5.</b>
<input checked="" type="checkbox"/>	Category B: Potential Historical Resource (over 45 years of age). <b>GO TO STEP 4.</b>
<input type="checkbox"/>	Category C: Not a Historical Resource or Not Age Eligible (under 45 years of age). <b>GO TO STEP 6.</b>



**STEP 4: PROPOSED WORK CHECKLIST**  
**TO BE COMPLETED BY PROJECT PLANNER**

<b>Check all that apply to the project.</b>	
<input type="checkbox"/>	1. <b>Change of use and new construction.</b> Tenant improvements not included.
<input type="checkbox"/>	2. <b>Regular maintenance or repair</b> to correct or repair deterioration, decay, or damage to building.
<input type="checkbox"/>	3. <b>Window replacement</b> that meets the Department's <i>Window Replacement Standards</i> . Does not include storefront window alterations.
<input type="checkbox"/>	4. <b>Garage work.</b> A new opening that meets the <i>Guidelines for Adding Garages and Curb Cuts</i> , and/or replacement of a garage door in an existing opening that meets the Residential Design Guidelines.
<input type="checkbox"/>	5. <b>Deck, terrace construction, or fences</b> not visible from any immediately adjacent public right-of-way.
<input type="checkbox"/>	6. <b>Mechanical equipment installation</b> that is not visible from any immediately adjacent public right-of-way.
<input type="checkbox"/>	7. <b>Dormer installation</b> that meets the requirements for exemption from public notification under <i>Zoning Administrator Bulletin No. 3: Dormer Windows</i> .
<input type="checkbox"/>	8. <b>Addition(s)</b> that are not visible from any immediately adjacent public right-of-way for 150 feet in each direction; does not extend vertically beyond the floor level of the top story of the structure or is only a single story in height; does not have a footprint that is more than 50% larger than that of the original building; and does not cause the removal of architectural significant roofing features.
<b>Note: Project Planner must check box below before proceeding.</b>	
<input checked="" type="checkbox"/>	Project is not listed. <b>GO TO STEP 5.</b>
<input type="checkbox"/>	Project <b>does not conform</b> to the scopes of work. <b>GO TO STEP 5.</b>
<input type="checkbox"/>	Project involves <b>four or more</b> work descriptions. <b>GO TO STEP 5.</b>
<input type="checkbox"/>	Project involves <b>less than four</b> work descriptions. <b>GO TO STEP 6.</b>

**STEP 5: CEQA IMPACTS – ADVANCED HISTORICAL REVIEW**  
**TO BE COMPLETED BY PRESERVATION PLANNER**

<b>Check all that apply to the project.</b>	
<input type="checkbox"/>	1. Project involves a <b>known historical resource (CEQA Category A)</b> as determined by Step 3 and conforms entirely to proposed work checklist in Step 4.
<input type="checkbox"/>	2. <b>Interior alterations to publicly accessible spaces.</b>
<input type="checkbox"/>	3. <b>Window replacement</b> of original/historic windows that are not "in-kind" but are consistent with existing historic character.
<input type="checkbox"/>	4. <b>Façade/storefront alterations</b> that do not remove, alter, or obscure character-defining features.
<input type="checkbox"/>	5. <b>Raising the building</b> in a manner that does not remove, alter, or obscure character-defining features.
<input type="checkbox"/>	6. <b>Restoration</b> based upon documented evidence of a building's historic condition, such as historic photographs, plans, physical evidence, or similar buildings.
<input type="checkbox"/>	7. <b>Addition(s)</b> , including mechanical equipment that are minimally visible from a public right-of-way and meet the <i>Secretary of the Interior's Standards for Rehabilitation</i> .

<input type="checkbox"/>	8. <b>Other work consistent</b> with the <i>Secretary of the Interior Standards for the Treatment of Historic Properties</i> (specify or add comments):
<input type="checkbox"/>	9. <b>Other work</b> that would not materially impair a historic district (specify or add comments):  (Requires approval by Senior Preservation Planner/Preservation Coordinator) _____
<input checked="" type="checkbox"/>	10. <b>Reclassification of property status</b> to Category C. (Requires approval by Senior Preservation Planner/Preservation Coordinator) a. Per HRER dated: _____ (attach HRER) b. Other (specify): <b>Per PTR form dated 3/25/2016</b>
<b>Note: If ANY box in STEP 5 above is checked, a Preservation Planner MUST check one box below.</b>	
<input type="checkbox"/>	<b>Further environmental review required.</b> Based on the information provided, the project requires an <i>Environmental Evaluation Application</i> to be submitted. <b>GO TO STEP 6.</b>
<input checked="" type="checkbox"/>	<b>Project can proceed with categorical exemption review.</b> The project has been reviewed by the Preservation Planner and can proceed with categorical exemption review. <b>GO TO STEP 6.</b>
Comments (optional):	
Preservation Planner Signature: Justin Greving <small>Digitally signed by Justin Greving DN: dc=sf.gov, dc=sf.gov, dc=cityplanning, ou=CityPlanning, ou=Current Planning, cn=Justin Greving, email=Justin.Greving@sfgov.org Date: 2016.03.28 10:19:36 -07'00'</small>	

**STEP 6: CATEGORICAL EXEMPTION DETERMINATION  
TO BE COMPLETED BY PROJECT PLANNER**

<input type="checkbox"/>	<b>Further environmental review required.</b> Proposed project does not meet scopes of work in either (check all that apply): <input type="checkbox"/> Step 2 – CEQA Impacts <input type="checkbox"/> Step 5 – Advanced Historical Review <b>STOP! Must file an <i>Environmental Evaluation Application</i>.</b>	
<input checked="" type="checkbox"/>	<b>No further environmental review is required. The project is categorically exempt under CEQA.</b>	
	Planner Name: Justin A Greving	Signature:  <b>Justin Greving</b> <small>Digitally signed by Justin Greving DN: dc=sf.gov, dc=sf.gov, dc=cityplanning, ou=CityPlanning, ou=Current Planning, cn=Justin Greving, email=Justin.Greving@sfgov.org Date: 2016.03.28 10:19:36 -07'00'</small>
	Project Approval Action: <b>Building Permit</b> If Discretionary Review before the Planning Commission is requested, the Discretionary Review hearing is the Approval Action for the project.	
Once signed or stamped and dated, this document constitutes a categorical exemption pursuant to CEQA Guidelines and Chapter 31 of the Administrative Code. In accordance with Chapter 31 of the San Francisco Administrative Code, an appeal of an exemption determination can only be filed within 30 days of the project receiving the first approval action.		

**STEP 7: MODIFICATION OF A CEQA EXEMPT PROJECT**

**TO BE COMPLETED BY PROJECT PLANNER**

In accordance with Chapter 31 of the San Francisco Administrative Code, when a California Environmental Quality Act (CEQA) exempt project changes after the Approval Action and requires a subsequent approval, the Environmental Review Officer (or his or her designee) must determine whether the proposed change constitutes a substantial modification of that project. This checklist shall be used to determine whether the proposed changes to the approved project would constitute a "substantial modification" and, therefore, be subject to additional environmental review pursuant to CEQA.

**PROPERTY INFORMATION/PROJECT DESCRIPTION**

Project Address (If different than front page)		Block/Lot(s) (If different than front page)
Case No.	Previous Building Permit No.	New Building Permit No.
Plans Dated	Previous Approval Action	New Approval Action
Modified Project Description:		

**DETERMINATION IF PROJECT CONSTITUTES SUBSTANTIAL MODIFICATION**

Compared to the approved project, would the modified project:	
<input type="checkbox"/>	Result in expansion of the building envelope, as defined in the Planning Code;
<input type="checkbox"/>	Result in the change of use that would require public notice under Planning Code Sections 311 or 312;
<input type="checkbox"/>	Result in demolition as defined under Planning Code Section 317 or 19005(f)?
<input type="checkbox"/>	Is any information being presented that was not known and could not have been known at the time of the original determination, that shows the originally approved project may no longer qualify for the exemption?
If at least one of the above boxes is checked, further environmental review is required <b>CATEX FORM</b>	

**DETERMINATION OF NO SUBSTANTIAL MODIFICATION**

<input type="checkbox"/>	The proposed modification would not result in any of the above changes.
If this box is checked, the proposed modifications are categorically exempt under CEQA, in accordance with prior project approval and no additional environmental review is required. This determination shall be posted on the Planning Department website and office and mailed to the applicant, City approving entities, and anyone requesting written notice.	
Planner Name:	Signature or Stamp:



# SAN FRANCISCO PLANNING DEPARTMENT

## PRESERVATION TEAM REVIEW FORM

1650 Mission St.  
Suite 400  
San Francisco,  
CA 94103-2479

Reception:  
**415.558.6378**

Fax:  
**415.558.6409**

Planning  
Information:  
**415.558.6377**

<b>Preservation Team Meeting Date:</b>		<b>Date of Form Completion</b>	3/24/2016
--	--	--------------------------------	-----------

PROJECT INFORMATION:		
<b>Planner:</b>	<b>Address:</b>	
Justin Greving	953 Treat Avenue	
<b>Block/Lot:</b>	<b>Cross Streets:</b>	
3639/028	22nd and 23rd streets	
<b>CEQA Category:</b>	<b>Art. 10/11:</b>	<b>BPA/Case No.:</b>
B	n/a	2015-00651ENV

PURPOSE OF REVIEW:			PROJECT DESCRIPTION:	
<input checked="" type="radio"/> CEQA	<input type="radio"/> Article 10/11	<input type="radio"/> Preliminary/PIC	<input type="radio"/> Alteration	<input checked="" type="radio"/> Demo/New Construction

<b>DATE OF PLANS UNDER REVIEW:</b>	10/28/2015
------------------------------------	------------

PROJECT ISSUES:	
<input checked="" type="checkbox"/>	Is the subject Property an eligible historic resource?
<input type="checkbox"/>	If so, are the proposed changes a significant impact?
Additional Notes:	
Submitted: Historic Resource Evaluation prepared by Page & Turnbull (dated April 27, 2015)	
Proposed Project: Demolition of (e) single family house. Construction of two new two-unit residential condominium buildings with roof terrace and off-street parking.	

PRESERVATION TEAM REVIEW:			
<b>Historic Resource Present</b>		<input type="radio"/> Yes	<input checked="" type="radio"/> No *
		<input type="radio"/> N/A	
<b>Individual</b>		<b>Historic District/Context</b>	
Property is individually eligible for inclusion in a California Register under one or more of the following Criteria:		Property is in an eligible California Register Historic District/Context under one or more of the following Criteria:	
Criterion 1 - Event:	<input type="radio"/> Yes <input checked="" type="radio"/> No	Criterion 1 - Event:	<input type="radio"/> Yes <input checked="" type="radio"/> No
Criterion 2 -Persons:	<input type="radio"/> Yes <input checked="" type="radio"/> No	Criterion 2 -Persons:	<input type="radio"/> Yes <input checked="" type="radio"/> No
Criterion 3 - Architecture:	<input type="radio"/> Yes <input checked="" type="radio"/> No	Criterion 3 - Architecture:	<input type="radio"/> Yes <input checked="" type="radio"/> No
Criterion 4 - Info. Potential:	<input type="radio"/> Yes <input checked="" type="radio"/> No	Criterion 4 - Info. Potential:	<input type="radio"/> Yes <input checked="" type="radio"/> No
Period of Significance:	n/a	Period of Significance:	n/a
		<input type="radio"/> Contributor <input type="radio"/> Non-Contributor	

Complies with the Secretary's Standards/Art 10/Art 11:	<input type="radio"/> Yes	<input type="radio"/> No	<input checked="" type="radio"/> N/A
CEQA Material Impairment:	<input type="radio"/> Yes	<input checked="" type="radio"/> No	
Needs More Information:	<input type="radio"/> Yes	<input checked="" type="radio"/> No	
Requires Design Revisions:	<input type="radio"/> Yes	<input checked="" type="radio"/> No	
Defer to Residential Design Team:	<input checked="" type="radio"/> Yes	<input type="radio"/> No	

\* If No is selected for Historic Resource per CEQA, a signature from Senior Preservation Planner or Preservation Coordinator is required.

PRESERVATION TEAM COMMENTS:	
<p>According to the Historic Resource Evaluation prepared by Page &amp; Turnbull (dated April 27, 2015) and information found in the Planning Department files, the subject property at 953 Treat Avenue contains a single-family one-story over basement flat-front Italianate residence constructed in 1887 (source: water tap record). Permitted exterior alterations to the property include: reroofing (1978), and bringing the rear porch up to code (1988). Visual inspection and Sanborn maps indicate the original property has seen substantial additions including doubling the volume of the building sometime between 1887 and 1900, and construction of a number of different rear and side additions to the property, some of which are still extant.</p> <p>The subject property was previously surveyed as part of the South Mission Historic Resource Survey in 2010 and was given a status code of 7R, meaning, "not determined: requires intensive research."</p> <p>No known historic events occurred at the subject property (Criterion 1). The property sits on an irregularly shaped parcel next to what was once the San Francisco &amp; San Jose Railroad, however there is no indication of a link between the railroad and the early occupants or owners of the property. With a construction date of 1887 the subject property is not representative of the earliest development of the Mission District. None of the owners or occupants have been identified as important to history (Criterion 2). The building is not architecturally distinct such that it would qualify individually for listing in the California Register under Criterion 3. Although 953 Treat Avenue has features that call it out as a simple Italianate structure, with an irregular bay pattern and unusual side entrance, the building is not representative of the architectural style as it appears in the Mission district and many other flat-front Italianate buildings better reflect this mid-19th century style.</p> <p>The subject property is not located within the boundaries of any identified historic district. The subject property is located in the Mission district neighborhood in an area that was previously surveyed. There are a number of California Register-eligible historic districts in the vicinity identified as part of the survey including the "Alabama Street Pioneers" historic district that consists of a high concentration of 1860s and 1870s flat-front Italianate buildings. While the South Mission Historic Resource Survey identified some properties along this section of Treat Avenue that are individually eligible, a historic district on this block was not identified.</p> <p>Therefore the subject property is not eligible for listing in the California Register under any criteria individually or as part of a historic district.</p>	

Signature of a Senior Preservation Planner / Preservation Coordinator:	Date:
	8/25/2016

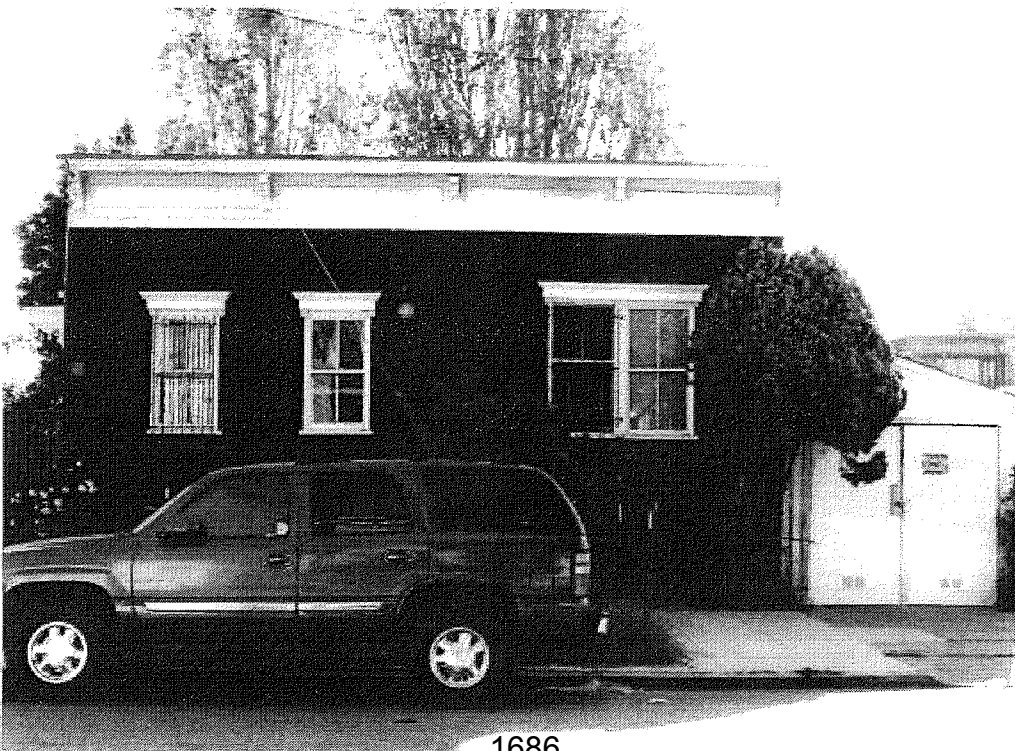
SAN FRANCISCO  
PLANNING DEPARTMENT

953 Treat Ave



*Historic Resource Evaluation*

*953 Treat Avenue  
San Francisco, California*



1686

**GENERAL NOTES**

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE FULL COMPLIANCE OF ALL EXISTING CODES, ORDINANCES, PERMITS, AND REGULATIONS FOR THIS PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES.

2. ALL WORK IS TO BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE CODES, LAWS, ORDINANCES, REGULATIONS, PERMITS, AND APPROVALS RELATED TO THIS PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES.

3. THE CONTRACTOR SHALL COORDINATE AND BE RESPONSIBLE FOR ALL WORK OF THE SUBCONTRACTORS AND VENDORS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES.

4. THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING AND PROPOSED MEASUREMENTS AND CONDITIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES.

5. ANY CHANGES, ADDITIONS, OR DELETIONS TO THESE DRAWINGS AND SPECIFICATIONS MUST BE APPROVED BY THE ARCHITECT AND OWNER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES.

6. THE OWNER'S RESPONSIBILITY IS TO PROVIDE THE DESIGN CONTRACT FOR THE CONTRACTOR TO PROCEED WITH THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES.

7. AT THE CONTRACTOR'S RESPONSIBILITY TO VERIFY AND CORRECT ALL UTILITY CONDITIONS, UTILITIES, AND RECORDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES.

8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES.

9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES.

10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES.

11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES.

12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES.

13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES.

14. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES.

15. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES.

16. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES.

17. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES.

18. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES.

19. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES.

20. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES.

21. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES.

22. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES.

23. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES.

24. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES.

**ABBREVIATIONS**

AC	ARCHITECT
AE	ARCHITECT ENGINEER
CE	CITY ENGINEER
CO	CITY OFFICIAL
CP	CITY PLANNING
CS	CITY SERVICES
EA	ENVIRONMENTAL ANALYST
EE	ELECTRICAL ENGINEER
EG	ENVIRONMENTAL GEOLOGIST
EM	ENVIRONMENTAL MITIGATOR
EP	ENVIRONMENTAL PLANNING
ES	ENVIRONMENTAL SCIENTIST
EV	ENVIRONMENTAL VISUALIZATION
EX	EXHIBIT
FM	FINANCIAL MANAGER
FR	FRONTIER
GA	GENERAL AGREEMENT
GC	GENERAL CONTRACTOR
GE	GENERAL ENGINEER
GF	GENERAL FURNITURE
GG	GENERAL GEOMETRY
GH	GENERAL HISTORY
GI	GENERAL INFORMATION
GJ	GENERAL JOURNAL
GK	GENERAL KNOWLEDGE
GL	GENERAL LOG
GM	GENERAL MANAGEMENT
GN	GENERAL NATURE
GO	GENERAL OBJECTIVE
GP	GENERAL PLAN
GQ	GENERAL QUALITY
GR	GENERAL RECORD
GS	GENERAL SURVEY
GT	GENERAL TIME
GU	GENERAL USE
GV	GENERAL VALUE
GW	GENERAL WATER
GX	GENERAL X-RAY
GY	GENERAL YIELD
GZ	GENERAL ZONE

**DRAWING INDEX**

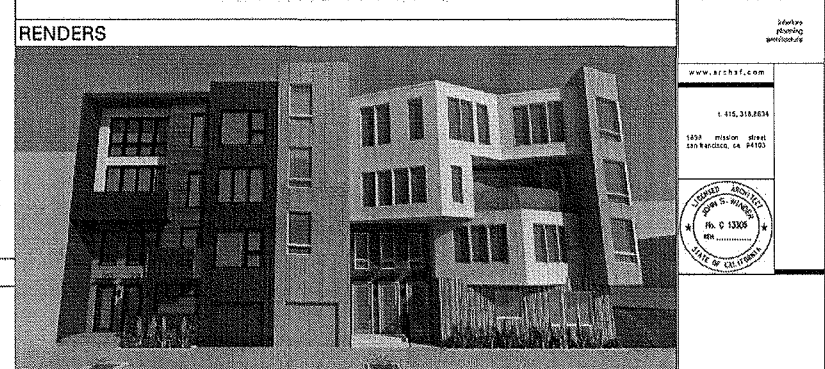
- A0.00 COVER SHEET
- A0.01 PLANNING CODE NOTES
- A0.02 GREEN BUILDING CHECKLIST (NORTH BUILDING)
- A0.03 GREEN BUILDING CHECKLIST (SOUTH BUILDING)
- A0.04 EXISTING BLOCK SITE PLAN
- A0.05 PROPOSED BLOCK SITE PLAN
- A1.00 EXISTING/DETAILED SITE PLAN
- A1.01 EXISTING/DETAILED FIRST FLOOR PLAN
- A1.02 EXISTING/DETAILED ELEVATIONS
- A2.00 PROPOSED SITE PLAN
- A2.01 PROPOSED FIRST FLOOR PLAN
- A2.02 PROPOSED SECOND FLOOR PLAN
- A2.03 PROPOSED THIRD FLOOR PLAN
- A2.04 PROPOSED FOURTH FLOOR PLAN
- A2.05 PROPOSED FIFTH FLOOR PLAN
- A3.01 PROPOSED FRONT ELEVATION (WEST)
- A3.02 PROPOSED SIDE ELEVATION (SOUTH)
- A3.03 PROPOSED SIDE ELEVATION (NORTH)
- A3.04 PROPOSED REAR ELEVATION (EAST)
- A3.05 PROPOSED SIDE ELEVATION (WEST)
- A3.06 PROPOSED ELEVATIONS WITH HEIGHTS

- A3.07 PROPOSED SECTION
- A3.08 PROPOSED SECTION
- A3.09 PROPOSED SECTION

- A3.10 RENOVATIONS
- A3.11 EXISTING PHOTOS
- A3.12 EXISTING PHOTOS
- A3.13 EXISTING PHOTOS

**SURVEY**

**953 TREAT AVENUE**  
BUILDING #1 AND #2



**PROJECT DESCRIPTION**

REEL DEMOLITION OF EXISTING SINGLE FAMILY HOME AND GARAGE. CONSTRUCT TWO NEW BUILDINGS, EACH WITH 5 RESIDENTIAL UNITS AND 1 OFF STREET PARKING PLACE. TOTAL OF 10 NEW RESIDENTIAL UNITS AND 2 OFF STREET PARKING PLACES.

NORTH BUILDING PERMITS: 2014-1104  
SOUTH BUILDING PERMITS: 2014-1105

PERMITS FOR PERMITS: 2014-1106

CONSTRUCTION PERMITS: 2014-1107

CONSTRUCTION PERMITS: 2014-1108

CONSTRUCTION PERMITS: 2014-1109

CONSTRUCTION PERMITS: 2014-1110

CONSTRUCTION PERMITS: 2014-1111

CONSTRUCTION PERMITS: 2014-1112

CONSTRUCTION PERMITS: 2014-1113

CONSTRUCTION PERMITS: 2014-1114

CONSTRUCTION PERMITS: 2014-1115

CONSTRUCTION PERMITS: 2014-1116

CONSTRUCTION PERMITS: 2014-1117

CONSTRUCTION PERMITS: 2014-1118

CONSTRUCTION PERMITS: 2014-1119

CONSTRUCTION PERMITS: 2014-1120

**PROJECT DATA (BOTH BUILDINGS)**

ITEM	DESCRIPTION
1.00	RESIDENTIAL UNITS
2.00	OFF STREET PARKING
3.00	REAR YARD
4.00	FRONT YARD
5.00	REAR PORCH
6.00	FRONT PORCH
7.00	REAR DECK
8.00	FRONT DECK
9.00	REAR PATIO
10.00	FRONT PATIO
11.00	REAR BALCONY
12.00	FRONT BALCONY
13.00	REAR TERRACE
14.00	FRONT TERRACE
15.00	REAR WALKWAY
16.00	FRONT WALKWAY
17.00	REAR DRIVEWAY
18.00	FRONT DRIVEWAY
19.00	REAR GARAGE
20.00	FRONT GARAGE

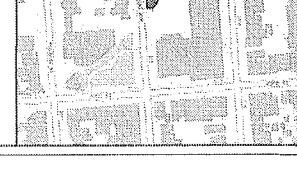
**PROJECT DIRECTORY**

ARCHITECT	CLIENT
Winder Gibson Architects	850 Treat Avenue LLP
170 Corte Ave	170 Corte Ave
San Francisco, CA 94103	Contra Costa, CA 94504

**CONTACT:**

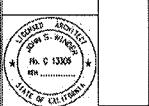
David Gibson	Shah Akhbar
T: 415.316.8834 / 4083	T: 415.623.1110
Email: dgibson@winder.com	Email: shaah@winder.com

**VICINITY MAP**



**WINDER GIBSON architects**

www.wgarch.com  
415.316.8834  
1819 mission street  
san francisco, ca 94103



**953 TREAT AVENUE**  
NORTH & SOUTH BUILDING  
SAN FRANCISCO, CA 94110

**SITE PERMIT**

COVER SHEET, PROJECT DATA
DATE: 02/20/17
SCALE: AS SHOWN
DRAWN: GC, DP, DV
1592

**PLANNING DEPARTMENT CODE COMPLIANCE NOTES**

PROJECT LOCATION: 953 TREAT AVE. BLOCK 3630, LOTS 02708  
 ZONING DISTRICT: UMU (URBAN MIXED USE)  
 BUILDING HEIGHT LIMIT: 40'X  
 HEIGHT LIMIT: 40 FEET MAXIMUM, 40'-0" PROPOSED.  
 EXISTING BUILDING USE: VACANT SINGLE FAMILY HOME. 2 BEDROOMS, WITH 1-CAR OFF-STREET PARKING GARAGE AND CURBCUT FOR MULTIPLE-CAR UNCOVERED OFF-STREET PARKING. ALL STRUCTURES AND IMPROVEMENTS TO BE DEMOLISHED, DETERMINED NOT TO BE A HISTORIC RESOURCE.  
 PROPOSED BUILDING USE: TWO NEW BUILDINGS EACH WITH THREE RESIDENTIAL UNITS AND ONE OFF-STREET PARKING PLACE FOR A TOTAL OF 6 NEW RESIDENTIAL UNITS AND TWO OFF-STREET PARKING SPACES ON THE PROPERTY.  
 LOT AREA (PER ASSESSOR):  
 LOT 027 = 139 SF  
 LOT 028 = 3750 SF  
 TOTAL COMBINED LOT AREA = 3889 SF  
 LLA FILED WITH DPW TO MERGE LOTS.

**ARTICLE 1.2: DIMENSIONS, AREAS AND OPEN SPACE**

**SEC 121 MINIMUM LOT WIDTH AND AREA**  
 a. FRONTAGE - MINIMUM = 15'. PROVIDED = 93'-4"  
 b. SUBDIVISIONS - N/A  
 c. MEASUREMENT - N/A  
 d. MINIMUM LOT WIDTH - MINIMUM = 25'. PROVIDED = 93'-4"  
 e. MINIMUM LOT AREA - MINIMUM = 2500 SF. PROVIDED = 3889 SF

**SEC 132 FRONT SETBACKS**  
 NONE REQUIRED FOR UMU ZONING.

**SEC 134 REAR YARDS**  
 (A)(1) UMU MINIMUM REAR YARD = 25% OF LOT DEPTH OR 15'. WHICHEVER IS GREATER PER PLANNING INTERPRETATION. TRIANGULAR LOT DEPTH IS MEASURED AS FOLLOWS: DRAW A LINE 5' LONG PARALLEL TO THE FRONT PROPERTY LINE, PLACE THIS LINE AT THE REAR CORNER OF THE TRIANGULAR LOT, TOUCHING TWO PROPERTY LINES. THE RESULTANT DISTANCE FROM THAT LINE TO THE FRONT PROPERTY LINE IS THE EFFECTIVE LOT DEPTH AND REAR YARDS ARE ESTABLISHED FROM THAT LINE.  
 SUBJECT PROPERTY LOT DEPTH (FROM 5' LINE AS SHOWN ON SITE PLAN) IS 74'-5". REQUIRED REAR YARD IS 18'-7". PROVIDED REAR YARD 20'-11".

**SEC 135 USABLE OPEN SPACE**  
 TABLE 155-5: UMU A MINIMUM OF 80 SF OF PRIVATE USABLE SPACE/UNIT.  
 ALL 6 UNITS HAVE PRIVATE OPEN SPACE EQUAL TO OR GREATER THAN 60 SF AS SHOWN AND NOTED ON FLOOR PLANS. MINIMUM DIMENSIONS FOR AT-GRADE USABLE OPEN SPACES = 10' AND MINIMUM AREA = 100SF. MINIMUM DIMENSION FOR DECK, BALCONY AND ROOF USABLE OPEN SPACES = 5' AND MINIMUM AREA = 38 SF.

**SEC 136 OBSTRUCTIONS OVER STREETS AND ALLEYS**  
 (A) (2) BAY WINDOWS - AT BOTH BUILDINGS WHERE FACING TREAT AVE. OUTLINES OF MAXIMUM PERMITTED OBSTRUCTIONS ARE INDICATED ON FLOOR PLANS.  
 (A) MIN HEADROOM = 7.5'. PROVIDED = 9'.  
 (B) MAX PROJECTION = 3" WHERE SIDEWALK IS GREATER THAN 9'. PROJECT PROJECTION = 3". PROJECT SIDEWALK = 15'.  
 (C) GLASS AREA - COMPLIANT. REQUIRED GLAZING ON ALL SIDES AND FACES OF ALL PROJECTIONS.  
 (D) MAXIMUM LENGTH - COMPLIANT PER DASHED OUTLINES SHOWN ON PLANS.  
 VARIANCE REQUIRED FOR PERMITTED OBSTRUCTION CONDITION AT SECOND FLOOR ONLY OF SOUTH BUILDING. DISTANCE BETWEEN PERMITTED OBSTRUCTIONS IS REQUIRED TO BE 2'-0". DISTANCE PROVIDED IS 9' 5/16". ALL OTHER PERMITTED OBSTRUCTIONS COMPLY.

**SEC 139 BIRD SAFE BUILDINGS**  
 BUILDING TO COMPLY WITH BIRD SAFE STANDARDS PER STANDARDS FOR BIRD SAFE BUILDINGS\* PUBLISHED BY SF PLANNING DEPT. PROPERTY DOES NOT QUALIFY FOR LOCATION-RELATED STANDARDS AND IS NOT LOCATED NEAR AN URBAN BIRD REFUGE. MAX AREA OF UNBROKEN GLAZED SEGMENTS SHALL BE 24 SF PER SECTION 139. THEREFORE, BIRD-SAFE GLAZING NOT REQUIRED PER FEATURE-RELATED STANDARDS.

**SEC 140 ALL DWELLING UNITS IN ALL USE DISTRICTS TO FACE ON AN OPEN AREA**  
 ALL 6 DWELLING UNITS WITHIN THIS DEVELOPMENT FACE TREAT AVE.

**SEC 145.1 STREET FRONTAGES IN MIXED USE DISTRICTS**  
 (B) (2) ACTIVE USES - ACTIVE USES ARE PROVIDED AT THE GROUND FLOOR WITH RESIDENTIAL ENTRYWAYS AND RESIDENTIAL UNITS. A VARIANCE IS SOUGHT FOR THE INCLUSION OF THE REQUIRED BICYCLE PARKING AT THE GROUND FLOOR ALONG THE STREET FACADE POSITIONED THERE DUE TO THE TRIANGULAR SHAPE OF THE LOT.  
 (C) (1) ABOVE-GROUND PARKING - ONE PARKING PLACE PER BUILDING IS PROVIDED. PER (A), EACH PARKING PLACE MUST BE WITHIN THE FIRST 25' OF THE BUILDING. EACH IS LOCATED IMMEDIATELY AT THE SIDEWALK, FOLLOWING THE DOMINANT PATTERN ON THE BLOCK.

**ARTICLE 1.5: OFF-STREET PARKING AND LOADING**

**SEC 161 PARKING REQUIREMENTS PER SEC 843.08**  
 UMU RESIDENTIAL, NONE REQUIRED.

**TABLE 161.1 SCHEDULE OF PERMITTED OFF-STREET PARKING**  
 PER TABLE 161.1 IN UMU DISTRICTS, 1 PARKING SPACE IS ALLOWED PER EACH 2 BEDROOM UNIT OVER 1,000 SF. ALL PROPOSED UNITS QUALIFY. 6 X 10 = 6 PARKING SPACES PERMITTED. PROJECT PROPOSES 2 OFF-STREET PARKING SPACES. PROJECT COMPLIES AS OF RIGHT (NO CL).

**SEC 165.2 BICYCLE PARKING REQUIREMENTS**  
 RESIDENTIAL USES: ONE CLASS 1 SPACE FOR EVERY DWELLING UNIT. (B) DWELLING UNITS = (B) BICYCLE PARKING PLACES REQUIRED. BICYCLE PARKING PROVIDED IN BICYCLE PARKING ROOMS AND GARAGES FOR A TOTAL OF (B) CLASS 1 BICYCLE PARKING PLACES WITHIN THE PROJECT.

**ARTICLE 2.6: HEIGHT AND BULK DISTRICTS**  
**SEC 207.5.1 84.24 DENSITY OF DWELLING UNITS IN MIXED USE DISTRICTS**  
 (E) THERE SHALL BE NO DENSITY LIMIT FOR ANY RESIDENTIAL USE IN EASTERN NEIGHBORHOODS MIXED USE DISTRICTS.

**SEC 207.6 REQUIRED MINIMUM DWELLING UNIT MIX IN EASTERN NEIGHBORHOOD MIXED USE DISTRICTS**  
 (C)(1) 40% OR MORE OF THE DWELLINGS UNITS ARE TO BE 2-BEDROOMS. ALL 6 PROPOSED DWELLING UNITS ARE 2-BEDROOMS OR MORE.

**SEC 260 HEIGHT LIMITS: MEASUREMENT**  
 BUILDING HEIGHT IS MEASURED PER SEC 260(A) FROM THE CURB AT THE MIDPOINT OF THE PROPERTY. HEIGHT LIMIT = 40'-0". PROPOSED BUILDING HEIGHT = 40'-0". MEASURED TO THE SURFACE OF THE LOW-SLOPE ROOF / ROOF TERRACE.  
 (B) EXEMPTIONS: (1) (B) - ELEVATOR STAIR AND MECHANICAL PENTHOUSES MAY EXCEED THE HEIGHT LIMIT BY A MAXIMUM OF 10'. PROPOSED STAIR PENTHOUSE ROOF HEIGHT = 50'-4".

**ARTICLE 3: ZONING PROCEDURES**

**SEC 303 CONDITIONAL USE**  
 PROJECT REQUIRES A CONDITIONAL USE AUTHORIZATION PER THE PROCEDURES AND PROCESS OUTLINED IN SECTION 303 DUE TO THE DEMOLITION OF THE EXISTING DWELLING UNIT WITHIN THE EXISTING SINGLE FAMILY HOME.

**SEC 306 VARIANCES**  
 PROJECT REQUIRES A VARIANCE PER THE PROCEDURES AND PROCESS OUTLINED IN SECTION 305 DUE TO THE FOLLOWING TWO CONDITIONS:  
 VARIANCE REQUIRED FOR PERMITTED OBSTRUCTION CONDITION AT SECOND FLOOR ONLY OF SOUTH BUILDING PER SEC. 136. DISTANCE BETWEEN PERMITTED OBSTRUCTIONS IS REQUIRED TO BE 2'-0". DISTANCE PROVIDED IS 9' 5/16".  
 VARIANCE REQUIRED FOR THE INCLUSION OF THE REQUIRED BICYCLE PARKING AT THE GROUND FLOOR ALONG THE STREET FACADE AT BOTH BUILDINGS PER SEC. 145.1.

**SEC 312 NEIGHBORHOOD NOTIFICATION**  
 PROJECT IS SUBJECT TO 20-DAY NEIGHBORHOOD NOTICE PER SECTION 312 WHEN COMBINED WITH A CUA.

**SEC 317 LOSS OF RESIDENTIAL UNIT THROUGH DEMOLITION**  
 PROJECT PROPOSES THE LOSS OF A SINGLE RESIDENTIAL UNIT THROUGH THE DEMOLITION OF THE EXISTING SINGLE FAMILY HOME. SECTION 317 FEEINGS HAVE BEEN PROVIDED TO THE PLANNING DEPARTMENT. 6 NEW RESIDENTIAL UNITS ARE PROPOSED.

**ARTICLE 4: DEVELOPMENT IMPACT FEES**  
**SEC 414A CHILD CARE REQUIREMENTS FOR RESIDENTIAL PROJECTS**  
 THE PROJECT WILL BE SUBJECT TO THE IMPACT FEES AND REQUIREMENTS OF SECTION 414A FOR CHILD CARE REQUIREMENTS FOR RESIDENTIAL PROJECTS.

**SEC 419 AFFORDABLE HOUSING**  
 DOES NOT APPLY AS DEVELOPMENT IS UNDER 10 RESIDENTIAL UNITS.

**SEC 423 EASTERN NEIGHBORHOODS IMPACT FEES**  
 THE PROJECT WILL BE SUBJECT TO THE IMPACT FEES AND REQUIREMENTS OF SECTION 423 EASTERN NEIGHBORHOODS IMPACT FEES. PER SEC 423.2 (A) (1) (C) THE RESIDENTIAL PORTIONS OF ALL PROJECTS WITHIN THE UMU ZONING ARE TIER 1.

**ARTICLE 4: DEVELOPMENT IMPACT FEES**

**SEC 414A CHILD CARE REQUIREMENTS FOR RESIDENTIAL PROJECTS**  
 THE PROJECT WILL BE SUBJECT TO THE IMPACT FEES AND REQUIREMENTS OF SECTION 414A FOR CHILD CARE REQUIREMENTS FOR RESIDENTIAL PROJECTS.

**SEC 419 AFFORDABLE HOUSING**  
 DOES NOT APPLY AS DEVELOPMENT IS UNDER 10 RESIDENTIAL UNITS.

**SEC 423 EASTERN NEIGHBORHOODS IMPACT FEES**  
 THE PROJECT WILL BE SUBJECT TO THE IMPACT FEES AND REQUIREMENTS OF SECTION 423 EASTERN NEIGHBORHOODS IMPACT FEES. PER SEC 423.2 (A) (1) (C) THE RESIDENTIAL PORTIONS OF ALL PROJECTS WITHIN THE UMU ZONING ARE TIER 1.

**WINDER GIBSON**  
 architects

www.wrchsf.com

415.318.8531

1830 Mission Street  
 San Francisco, CA 94103



**953 TREAT AVENUE**  
 NORTH & SOUTH BUILDING  
 SAN FRANCISCO, CA 94110

SITE PERMIT

PLANNING CODE NOTES


A 0.01  
 DATE: 02/07/17  
 SCALE: 1/8"=1'-0"  
 DRAWN: DFG



22 nd ST.

**WINDER GIBSON**  
architects

MARKER  
PINNING  
PROHIBITED

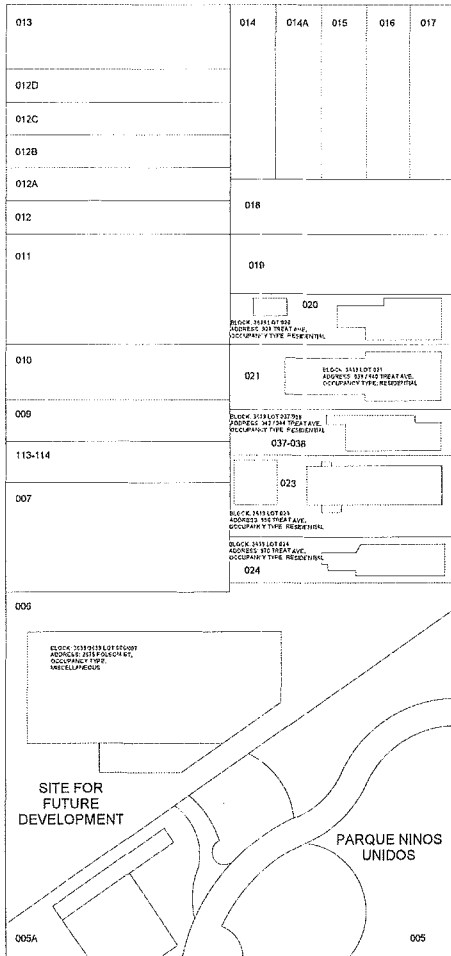
[www.wgarch.com](http://www.wgarch.com)

L. 415. 318.8534

1924 mission street  
SAN FRANCISCO, CA 94103

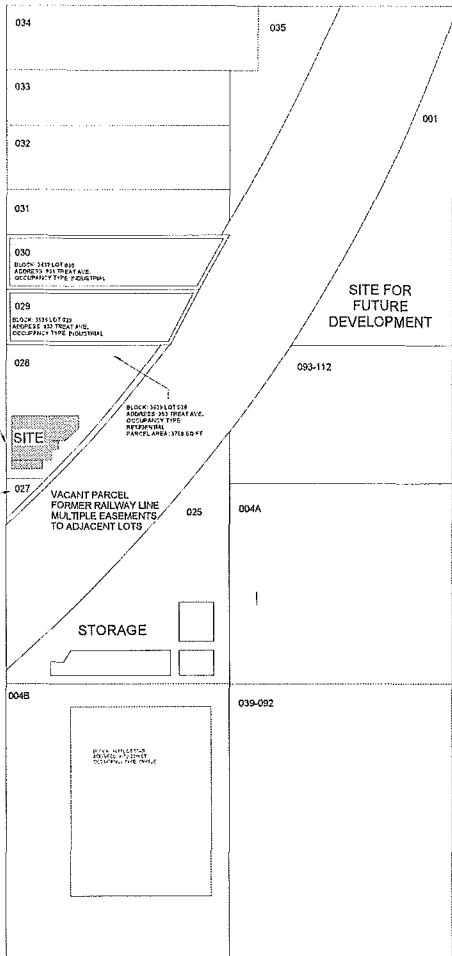


FOLSOM ST.



TREAT AVE.

23 rd ST.



HARRISON ST.

1 PARCEL MAP (BLOCK 3539) - EXISTING  
1" = 50'

953 TREAT AVENUE

NORTH & SOUTH BUILDING  
SAN FRANCISCO, CA 94110

SITE PERMIT

FULL PARCEL SITE PLAN OF  
BLOCK 3539

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

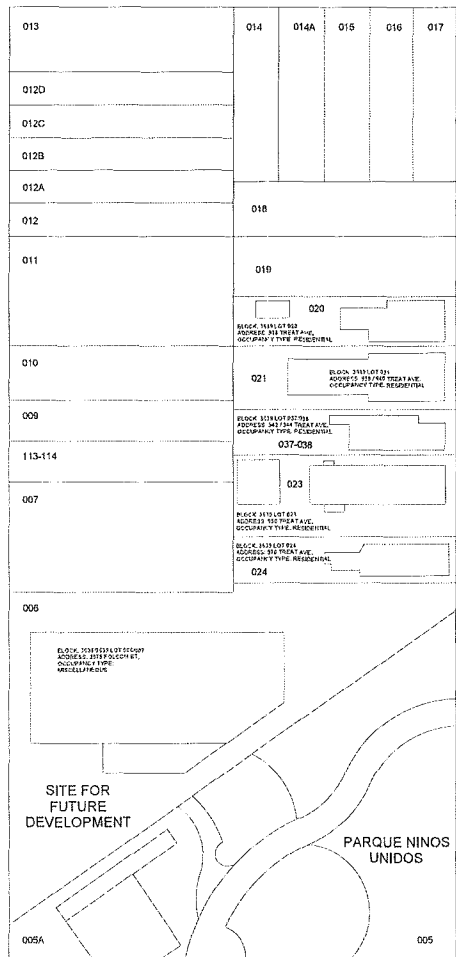
DATE \_\_\_\_\_ DRAWN BY \_\_\_\_\_  
SCALE 1" = 50'  
DRAWN BY \_\_\_\_\_

A0.50

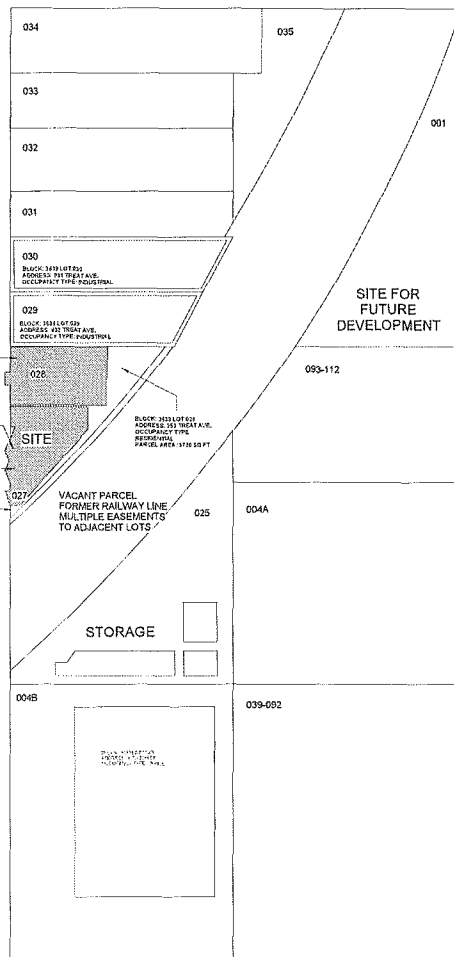
1522

22 nd ST.

FOLSOM ST.



23 rd ST.



HARRISON ST.

**WINDER GIBSON**  
architects

www.wgarch.com

1-415-318-2434  
1839 mission street  
SAN FRANCISCO, CA 94103



953 TREAT AVENUE  
NORTH & SOUTH BUILDING  
SAN FRANCISCO, CA 94110

SITE PERMIT

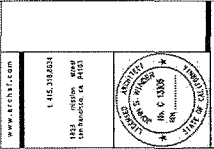
FULL PARCEL SITE PLAN OF  
BLOCK 3491

1 PARCEL MAP (BLOCK 3491) - PROPOSED  
1" = 20'-0"

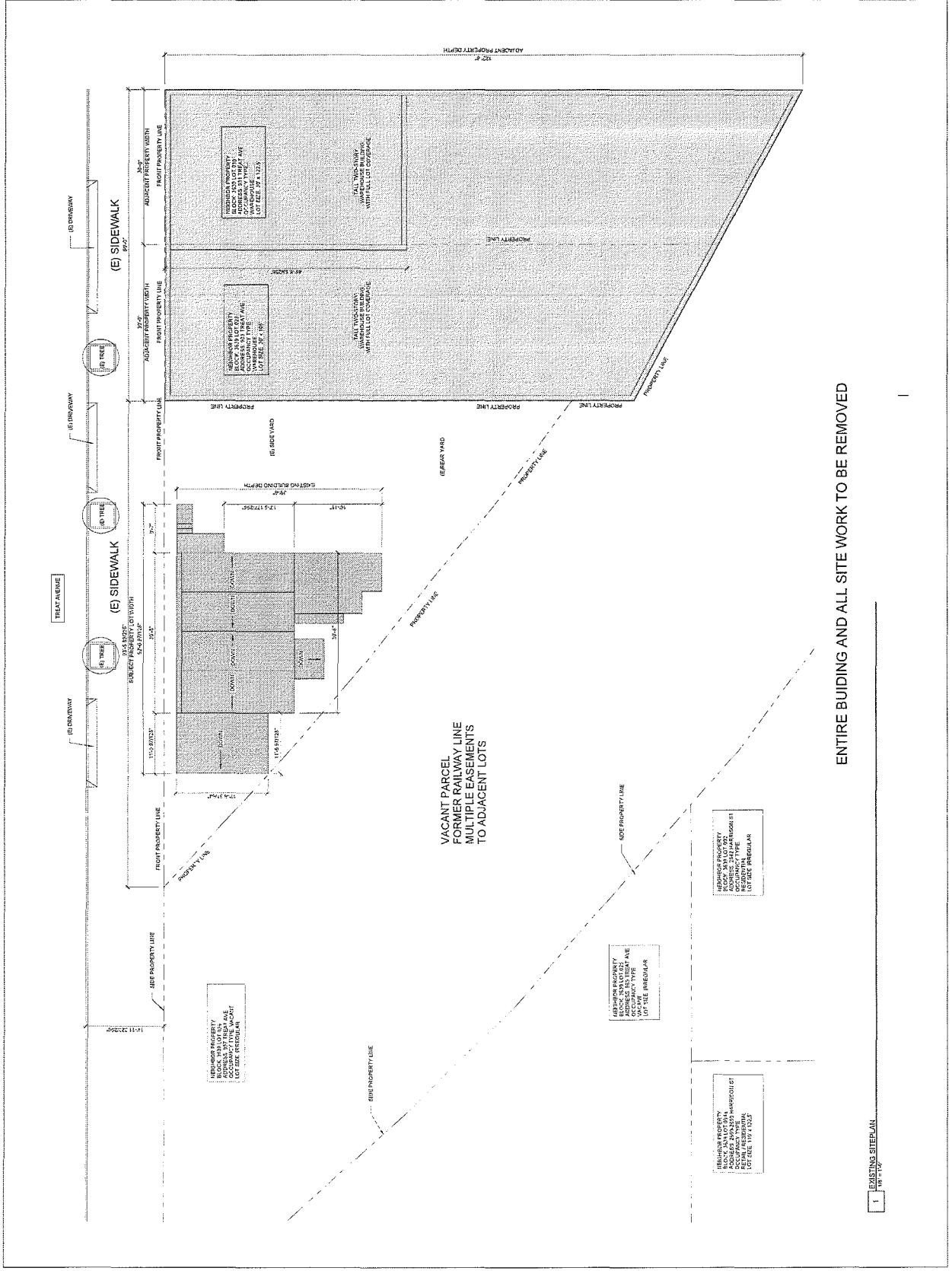
DATE: 02/21/17  
SCALE: 1" = 20'-0"  
DRAWN: DM

A0.51

1590



DATE: \_\_\_\_\_  
 SCALE: \_\_\_\_\_  
 SHEET NO.: \_\_\_\_\_  
 TOTAL SHEETS: \_\_\_\_\_



**ENTIRE BUILDING AND ALL SITE WORK TO BE REMOVED**

1 EXISTING SITEPLAN

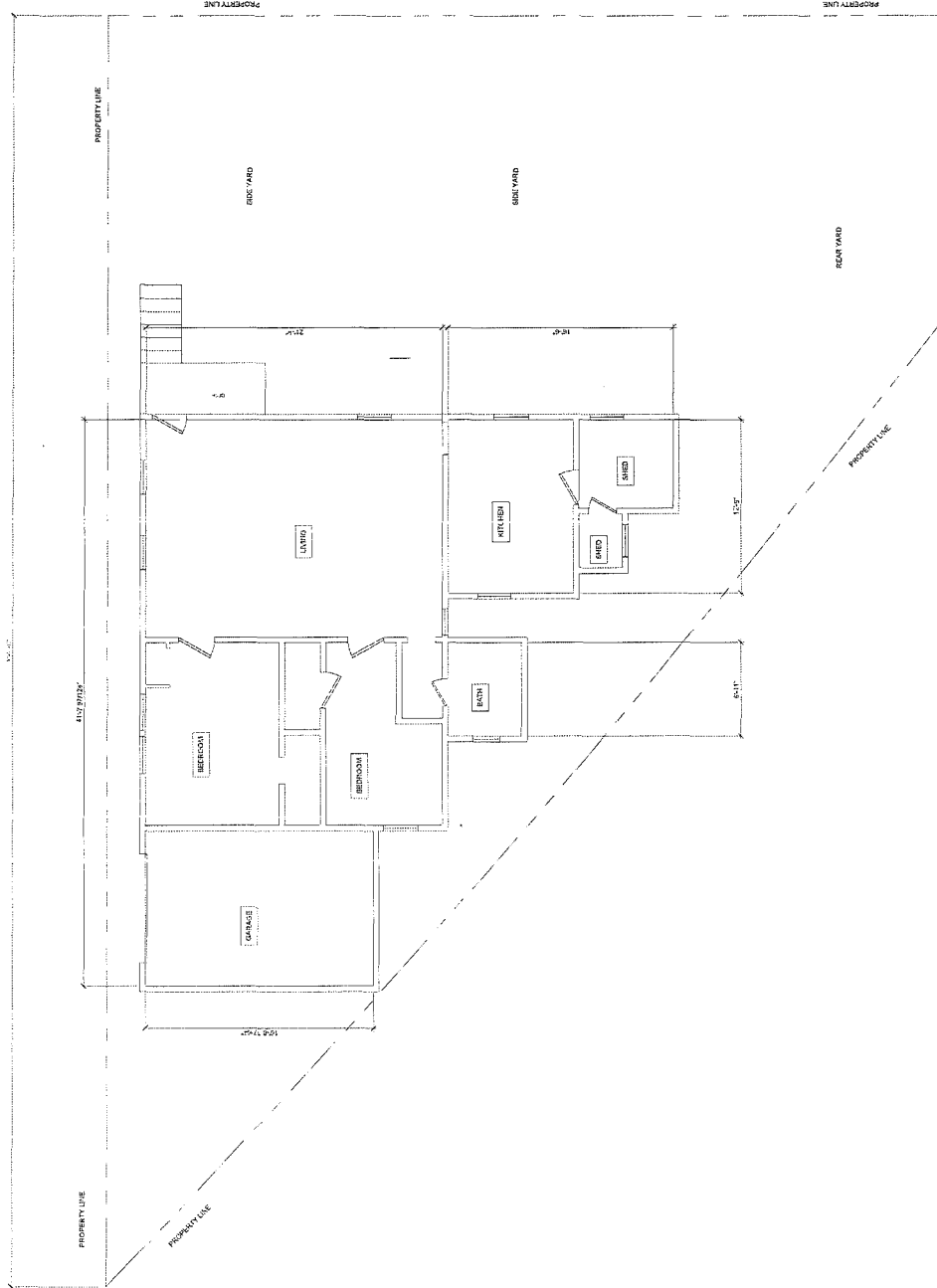


EXISTING AND FIRST FLOOR

DATE	DATE
SCALE	SCALE
BY	BY
CHK'D	CHK'D

DATE	DATE
SCALE	SCALE
BY	BY
CHK'D	CHK'D

TREAT AVE



ENTIRE BUILDING AND ALL SITE WORK TO BE REMOVED

1 EXISTING FIRST FLOOR PLAN  
1/8" = 1'-0"

**WINDER  
GIBSON**  
architects

markus gibson  
winder gibson

www.archt.com

t. 415.318.8234  
1833 mission street  
san francisco, ca 94103



**9553 TREAT AVENUE**  
NORTH & SOUTH BUILDING  
SAN FRANCISCO, CA 94110

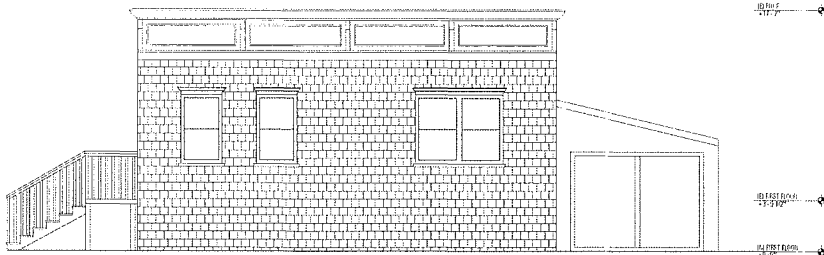
**SITE PERMIT**

EXISTING/PROPOSED ELEVATION  
REVISIONS

DATE: 05/20/17  
SCALE: 1/8" = 1'-0"  
DRAWN: DM

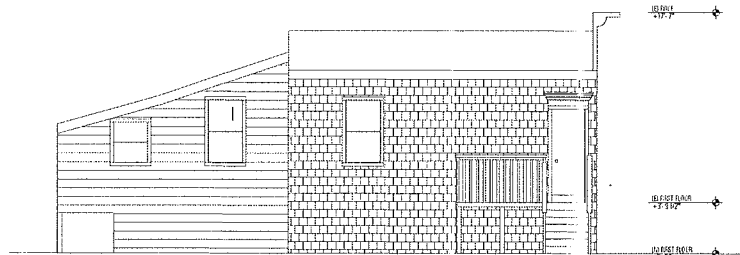
**A1.02**

1559



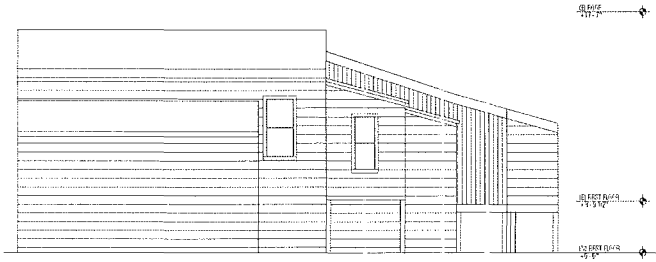
ENTIRE BUILDING AND ALL SITE WORK TO BE REMOVED

1 EXISTING ELEVATION WEST  
1/8" = 1'-0"



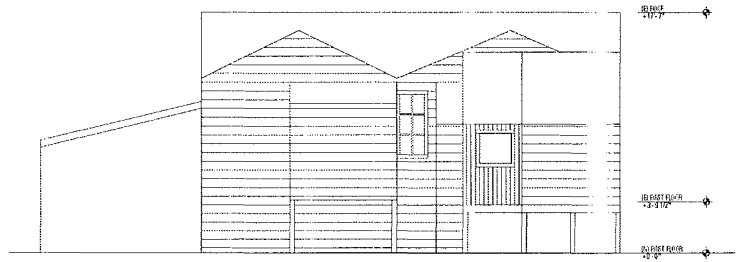
ENTIRE BUILDING AND ALL SITE WORK TO BE REMOVED

2 EXISTING ELEVATION SOUTH  
1/8" = 1'-0"



ENTIRE BUILDING AND ALL SITE WORK TO BE REMOVED

3 EXISTING ELEVATION NORTH  
1/8" = 1'-0"



ENTIRE BUILDING AND ALL SITE WORK TO BE REMOVED

4 EXISTING ELEVATION EAST  
1/8" = 1'-0"

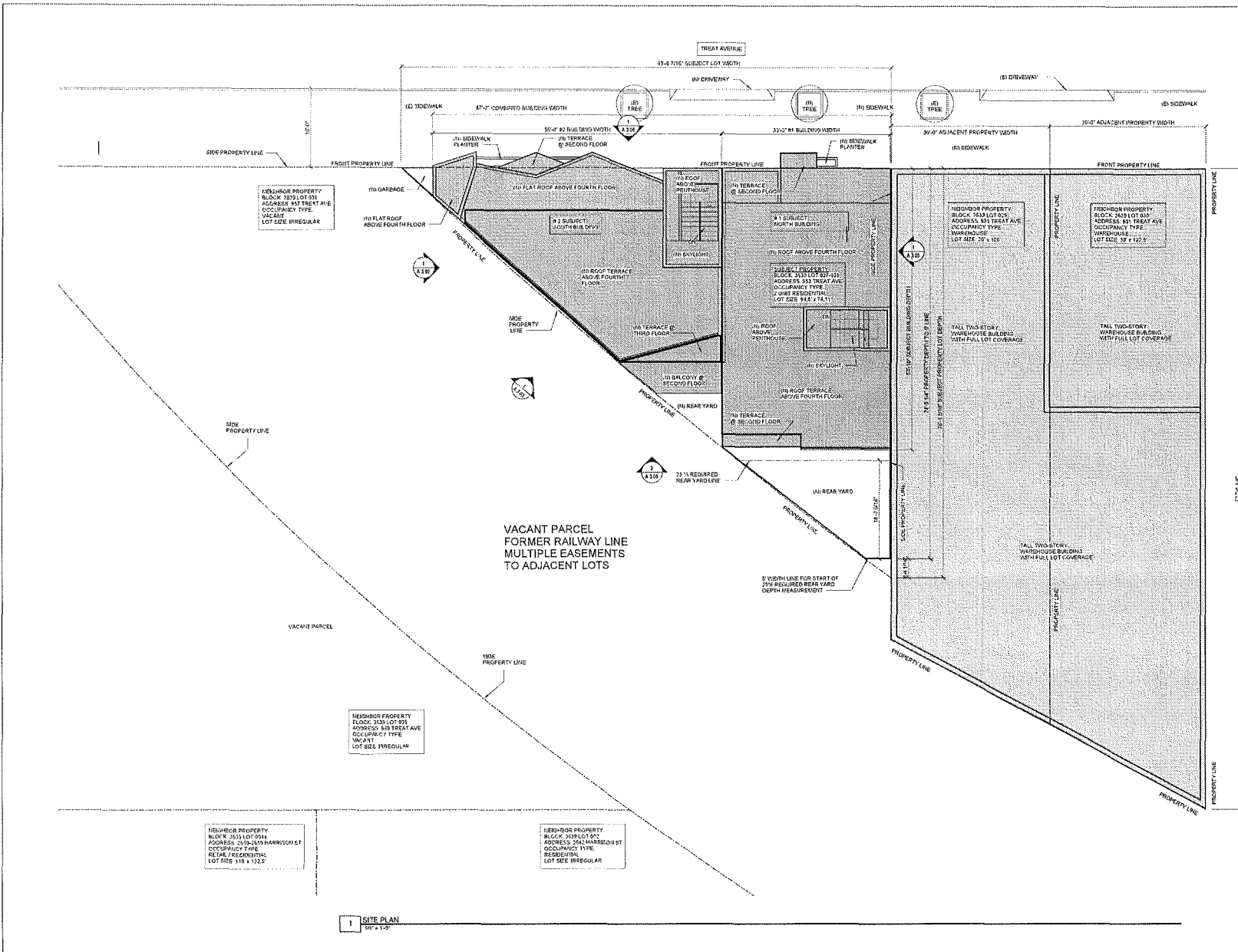


**933 TREAT AVENUE**  
NORTH & SOUTH BUILDING  
SAN FRANCISCO, CA 94110

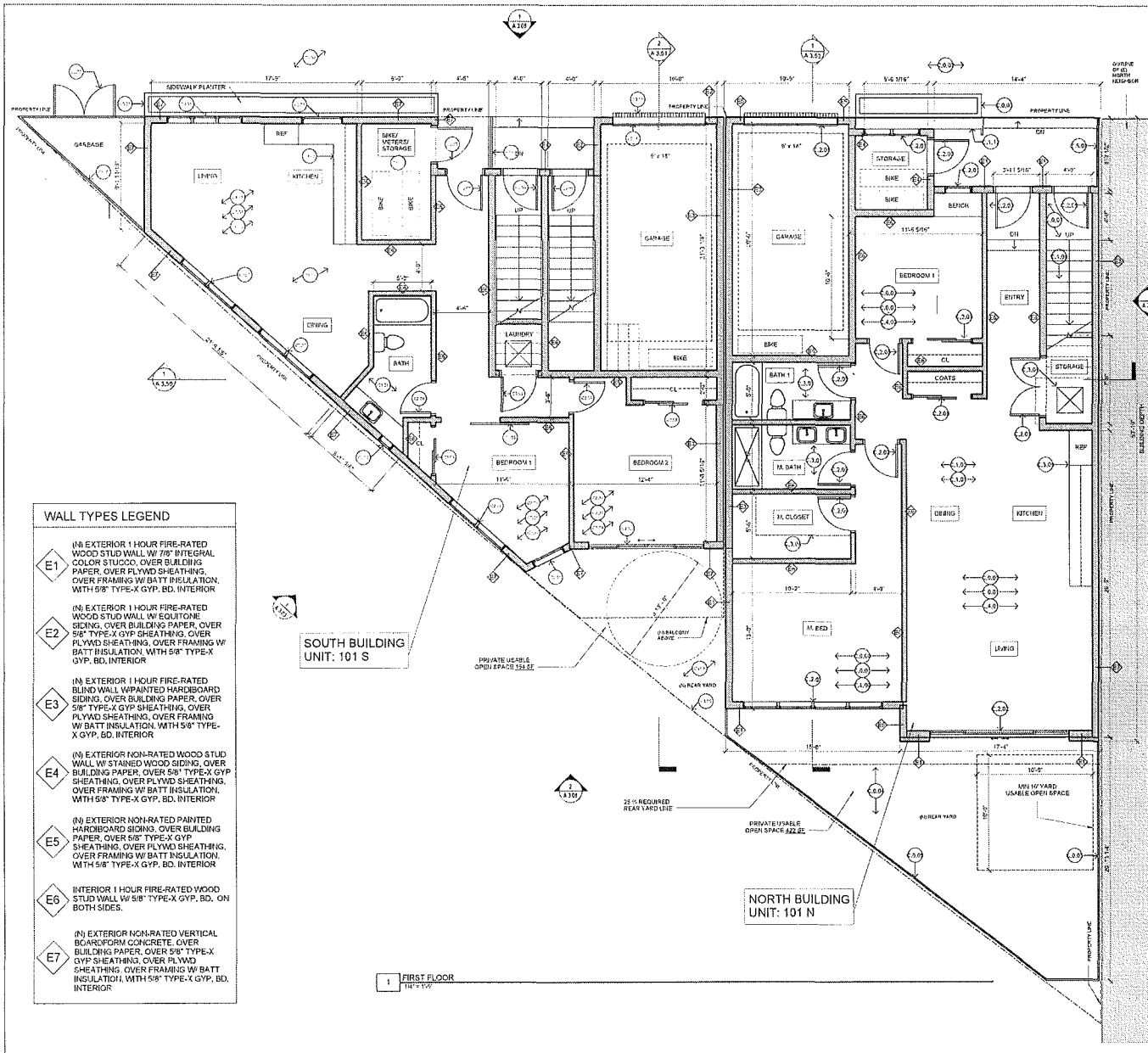
**SITE PERMIT**

NO.	DATE	DESCRIPTION

DATE: 02/17/17  
SCALE: 1/8" = 1'-0"  
DRAWN: G.D., J.D.  
1559



1 SITE PLAN  
1/8" = 1'-0"



**WALL TYPES LEGEND**

**E1** (N) EXTERIOR 1 HOUR FIRE-RATED WOOD STUD WALL W/ 7/8" INTEGRAL COLOR STUCCO, OVER BUILDING PAPER, OVER PLYWOOD SHEATHING, OVER FRAMING W/ BATT INSULATION, WITH 5/8" TYPE-X GYP. BD, INTERIOR

**E2** (N) EXTERIOR 1 HOUR FIRE-RATED WOOD STUD WALL W/ EQUITONE SIDING, OVER BUILDING PAPER, OVER 5/8" TYPE-X GYP SHEATHING, OVER PLYWOOD SHEATHING, OVER FRAMING W/ BATT INSULATION, WITH 5/8" TYPE-X GYP. BD, INTERIOR

**E3** (N) EXTERIOR 1 HOUR FIRE-RATED BLIND WALL W/ PAINTED HARDBOARD SIDING, OVER BUILDING PAPER, OVER 5/8" TYPE-X GYP SHEATHING, OVER PLYWOOD SHEATHING, OVER FRAMING W/ BATT INSULATION, WITH 5/8" TYPE-X GYP. BD, INTERIOR

**E4** (N) EXTERIOR NON-RATED WOOD STUD WALL W/ STAINED WOOD SIDING, OVER BUILDING PAPER, OVER 5/8" TYPE-X GYP SHEATHING, OVER PLYWOOD SHEATHING, OVER FRAMING W/ BATT INSULATION, WITH 5/8" TYPE-X GYP. BD, INTERIOR

**E5** (N) EXTERIOR NON-RATED PAINTED HARDBOARD SIDING, OVER BUILDING PAPER, OVER 5/8" TYPE-X GYP SHEATHING, OVER PLYWOOD SHEATHING, OVER FRAMING W/ BATT INSULATION, WITH 5/8" TYPE-X GYP. BD, INTERIOR

**E6** INTERIOR 1 HOUR FIRE-RATED WOOD STUD WALL W/ 5/8" TYPE-X GYP. BD, ON BOTH SIDES.

**E7** (N) EXTERIOR NON-RATED VERTICAL BOARDFORM CONCRETE, OVER BUILDING PAPER, OVER 5/8" TYPE-X GYP SHEATHING, OVER PLYWOOD SHEATHING, OVER FRAMING W/ BATT INSULATION, WITH 5/8" TYPE-X GYP. BD, INTERIOR

**CONSTRUCTION SHEET NOTES**

NOTE NO.	COMMENT
C0.00	NEW CONCRETE FOUNDATIONS S.S.D.
C0.01	NEW CONCRETE SLAB
C0.02	NEW CONCRETE SIDEWALK AND CURB CUT
C0.03	NEW SIDEWALK PLANTER
C0.04	LANDSCAPING AT REAR YARD TO BE DETERMINED
C0.05	NEW WOOD FENCE, 6' TALL
C1.00	NEW 5/8" TYPE-X GYPSUM WALLBOARD AT CEILING
C1.01	NEW FLOOR FRAMING
C1.02	ONE-HOUR FIRE-RATED FLOOR ASSEMBLY BETWEEN RESIDENTIAL UNITS AND BETWEEN GARAGE AND RESIDENTIAL UNITS. 5/8" TYPE-X SHEETROCK OVER IC CHANNELS BELOW. 3/4" PLYWOOD SUBFLOOR AND 3/4" HARDWOOD FLOORING ABOVE. R-18 BATT INSULATION. MINIMUM STC 50 (45 FIELD TES)
C1.03	NEW ONE-HOUR FIRE-RATED ASSEMBLY MINIM 50 STC AND 50 IIC BETWEEN UNITS
C1.04	NEW ONE-HOUR FIRE-RATED LOW-SLOPE ROOF TERRACE WITH TILE SURFACE OVER MORTAR BED OVER BUILT-UP CLASS-A OR B ROOFING. PLYWOOD SHEATHING, WOOD FRAMING AND 5/8" TYPE-X GYP. BD. AT CEILING. WITH ROOF DRAIN AND OVERFLOW DRAIN OR SCUPPER.
C1.05	NEW ONE-HOUR FIRE-RATED SLOPED UNOCCUPIED ROOF WITH BUILT-UP CLASS-A OR B ROOFING. 1 1/8" PLYWOOD WOOD FRAMING AND 5/8" TYPE-X GYP. BD. AT CEILING. WITH ROOF DRAIN AND OVERFLOW DRAIN OR SCUPPER.
C1.06	NEW NON-RATED LOW-SLOPE UNOCCUPIED ROOF WITH BUILT-UP CLASS-A OR B ROOFING. PLYWOOD SHEATHING, WOOD FRAMING AND 5/8" TYPE-X GYP. BD. AT CEILING. WITH ROOF DRAIN AND OVERFLOW DRAIN OR SCUPPER.
C1.07	NEW ONE-HOUR FIRE-RATED 42" HIGH PARAPET WALL WITH INTEGRAL COLOR STUCCO OVER 5/8" TYPE-X GYPSUM SHEATHING ON BOTH SIDES WITH PAINTED WOOD CAP OVER SHEETMETAL FLASHING
C1.08	NEW INTERIOR STAIR, MIN 10" RUN, MAX 7.75" RISE. WITH STEEL STRUCTURE, HARDWOOD TREADS AND RISERS, WOOD GUARDRAIL/HANDRAIL ON ONE SIDE, 36" HIGH, MAX 4" OPENING.
C1.09	NEW 42" HIGH FRAMELESS TEMPERED GLASS GUARDRAIL WITH METAL CAP
C1.10	NEW 42" HIGH FRAMELESS METAL GUARDRAIL POSTS WITH MAX 4" INCH GAP. FRONT OF BUILDING WITH SOLID GUARDRAIL WITH SIDING AND TEMPERED GLASS AT THE ENDS
C1.11	NEW BUILT-IN CABINETS / SHELVES
C1.12	NEW 42" HIGH SOLID GUARDRAILS WITH SIDING AND TEMPERED GLASS AT THE ENDS
C2.00	NEW EXTERIOR STAINED WOOD DOUBLE-GLAZED ENTRY DOOR IN NEW OPENING
C2.01	NEW EXTERIOR POWDER COATED ALUMINUM DOUBLE-GLAZED WINDOW IN NEW OPENING
C2.02	NEW EXTERIOR POWDER COATED ALUMINUM DOUBLE-GLAZED MULTI-PANEL SLIDING DOOR IN NEW OPENING
C2.03	NEW EXTERIOR POWDER COATED ALUMINUM DOUBLE-GLAZED SLIDING DOOR IN NEW OPENING
C2.04	NEW EXTERIOR POWDER COATED ALUMINUM DOUBLE-GLAZED SWING DOOR UNIT IN NEW OPENING
C2.05	NEW INTERIOR BARN DOOR
C2.06	NEW DOUBLE-GLAZED, TEMPERED, FIXED, ALUMINUM CURB-MOUNTED SKYLIGHT
C2.07	NEW 45 MILUTE FIRE-RATED EXTERIOR STEEL DOUBLE-GLAZED WINDOW WITH FIRULITE GLASS AT PROPERTY LINE
C2.08	NEW EXTERIOR SOLID-CORE PAINTED WOOD UPWARD-ACTING GARAGE DOOR WITH AUTOMATIC GARAGE DOOR OPENER AND MIN 200 SQ. IN VENTILATION
C2.09	NEW INTERIOR DOOR
C3.00	NEW KITCHEN WITH CABINETS, COUNTERS, APPLIANCES AND FIXTURES
C3.01	NEW BATHROOM WITH NEW FIXTURES AND FINISHES, TILE FLOOR AND VENTILATION
C3.03	NEW LAUNDRY CLOSET WITH NEW WASHER & DRYER, NEW CABINETS, NEW VENT AS REQUIRED.
C3.04	NEW CLOSET SYSTEM
C3.06	NEW BIKE STORAGE
C4.00	NEW HARDWOOD FLOORING
C4.01	NEW POLISHED, STAINED AND SEALED CONCRETE FLOORING
C5.00	NEW WOOD SLATED WALL
C5.03	NEW TRENCH DRAIN AT GARAGE DOOR

**WINDER GIBSON architects**

www.wgarch.com

1 415.318.2533

1819 mission street san francisco ca 94103

**953 TREAT AVENUE**  
NORTH & SOUTH BUILDING  
SAN FRANCISCO, CA 94110

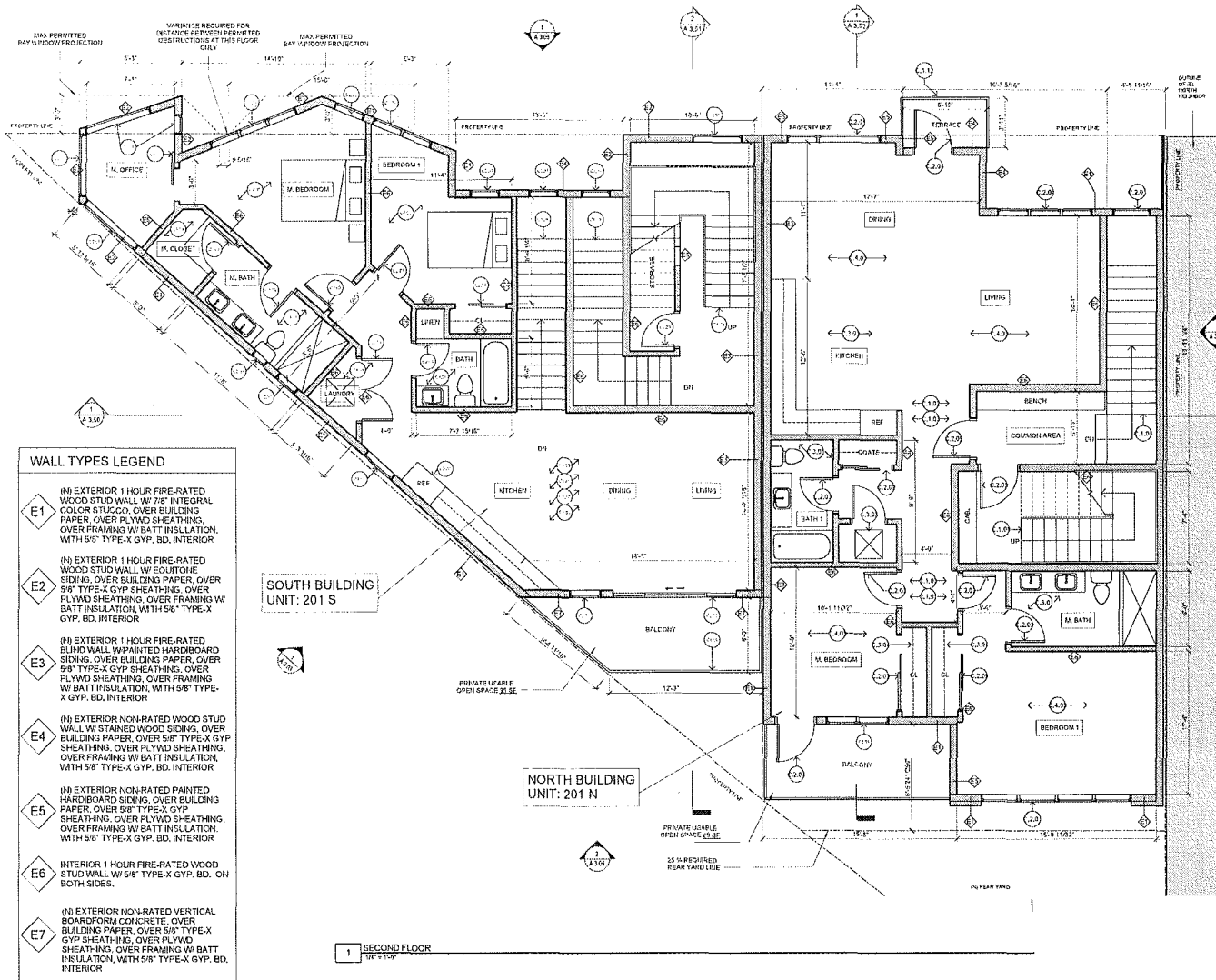
**SITE PERMIT**

FIRST FLOOR PLAN

**A 2.01**

DATE: 02/20/17  
SCALE: 1/4" = 1'-0"  
DRAWN: GG DP

1593



**WALL TYPES LEGEND**

- E1 (N) EXTERIOR 1 HOUR FIRE-RATED WOOD STUD WALL W/ 7/8" INTEGRAL COLOR STUCCO, OVER BUILDING PAPER, OVER PLYWD SHEATHING, OVER FRAMING W/ BATT INSULATION, WITH 5/8" TYPE-X GYP. BD, INTERIOR
- E2 (N) EXTERIOR 1 HOUR FIRE-RATED WOOD STUD WALL W/ EQUITONE SIDING, OVER BUILDING PAPER, OVER 5/8" TYPE-X GYP SHEATHING, OVER PLYWD SHEATHING, OVER FRAMING W/ BATT INSULATION, WITH 5/8" TYPE-X GYP. BD, INTERIOR
- E3 (N) EXTERIOR 1 HOUR FIRE-RATED BLIND WALL W/ PAINTED HARDBOARD SIDING, OVER BUILDING PAPER, OVER 5/8" TYPE-X GYP SHEATHING, OVER PLYWD SHEATHING, OVER FRAMING W/ BATT INSULATION, WITH 5/8" TYPE-X GYP. BD, INTERIOR
- E4 (N) EXTERIOR NON-RATED WOOD STUD WALL W/ STAINED WOOD SIDING, OVER BUILDING PAPER, OVER 5/8" TYPE-X GYP SHEATHING, OVER PLYWD SHEATHING, OVER FRAMING W/ BATT INSULATION, WITH 5/8" TYPE-X GYP. BD, INTERIOR
- E5 (N) EXTERIOR NON-RATED PAINTED HARDBOARD SIDING, OVER BUILDING PAPER, OVER 5/8" TYPE-X GYP SHEATHING, OVER PLYWD SHEATHING, OVER FRAMING W/ BATT INSULATION, WITH 5/8" TYPE-X GYP. BD, INTERIOR
- E6 INTERIOR 1 HOUR FIRE-RATED WOOD STUD WALL W/ 5/8" TYPE-X GYP. BD, ON BOTH SIDES.
- E7 (N) EXTERIOR NON-RATED VERTICAL BOARDFORM CONCRETE, OVER BUILDING PAPER, OVER 5/8" TYPE-X GYP SHEATHING, OVER PLYWD SHEATHING, OVER FRAMING W/ BATT INSULATION, WITH 5/8" TYPE-X GYP. BD, INTERIOR

**CONSTRUCTION SHEET NOTES**

NOTE NO.	COMMENT
C0.00	NEW CONCRETE FOUNDATIONS 5,5,0.
C0.01	NEW CONCRETE SLAB
C0.02	NEW CONCRETE SIDEWALK AND CURB CUT
C0.03	NEW SIDEWALK PLANTER
C0.04	LANDSCAPING AT REAR YARD TO BE DETERMINED
C0.05	NEW WOOD FENCE, 6' TALL
C1.00	NEW 5/8" TYPE-X GYPSUM WALLBOARD AT CEILING
C1.01	NEW FLOOR FRAMING
C1.02	ONE-HOUR FIRE-RATED FLOOR ASSEMBLY BETWEEN RESIDENTIAL UNITS AND BETWEEN GARAGE AND RESIDENTIAL UNITS. 5/8" TYPE-X SHEETROCK OVER 1/2" CHANNELS BELOW, 3/4" PLYWOOD SURFLOOR AND 3/4" HARDWOOD FLOORING ABOVE, R-19 BATT INSULATION, MINIMUM STC 50 (45 FIELD TES)
C1.03	NEW ONE-HOUR FIRE-RATED ASSEMBLY WITHIN 50 FT. AND 50 FT. BETWEEN UNITS
C1.04	NEW ONE-HOUR FIRE-RATED LOW-SLOPE ROOF TERRACE WITH TILE SURFACE OVER MORTAR BED OVER BUILT-UP CLASS-A OR B ROOFING, PLYWOOD SHEATHING, WOOD FRAMING AND 5/8" TYPE-X GYP. BD. AT CEILING, WITH ROOF DRAIN AND OVERFLOW DRAIN OR SCUPPER
C1.05	NEW ONE-HOUR FIRE-RATED SLOPED UNOCCUPIED ROOF WITH BUILT-UP CLASS-A OR B ROOFING, 1 1/8" PLYWOOD WOOD FRAMING AND 5/8" TYPE-X GYP. BD. AT CEILING, WITH ROOF DRAIN AND OVERFLOW DRAIN OR SCUPPER
C1.06	NEW NON-RATED LOW-SLOPE UNOCCUPIED ROOF WITH BUILT-UP CLASS-A OR B ROOFING, PLYWOOD SHEATHING, WOOD FRAMING AND 5/8" TYPE-X GYP. BD. AT CEILING, WITH ROOF DRAIN AND OVERFLOW DRAIN OR SCUPPER
C1.07	NEW ONE-HOUR FIRE-RATED 2" HIGH PARAPET WALL WITH INTEGRAL COLOR STUCCO OVER 5/8" TYPE-X GYPSUM SHEATHING ON BOTH SIDES WITH PAINTED WOOD CAP OVER SHEET METAL FLASHING
C1.08	NEW INTERIOR STAIR, MIN 10" RUN, MAX 7.75" RISE, WITH 3" STEEL STRUCTURE, HANDWOOD TREADS AND RISERS, WOOD GUARDRAIL-HANDRAIL ON ONE SIDE, 36" HIGH, MAX 4" OPENING.
C1.09	NEW 4" HIGH FRAMELESS TEMPERED GLASS GUARDRAIL WITH METAL CAP
C1.10	NEW 42" HIGH FRAMELESS METAL GUARDRAIL POSTS WITH MAX 4" INCH GAP, FRONT OF BUILDING WITH SOLID GUARDRAIL WITH SIDING AND TEMPERED GLASS AT THE ENDS
C1.11	NEW 42" HIGH FRAMELESS TEMPERED GLASS GUARDRAIL WITH SIDING
C1.12	NEW 42" HIGH SOLID GUARDRAILS WITH SIDING AND TEMPERED GLASS AT THE ENDS
C2.00	NEW EXTERIOR STAINED WOOD DOUBLE-GLAZED ENTRY DOOR IN NEW OPENING
C2.01	NEW EXTERIOR POWDER COATED ALUMINUM DOUBLE-GLAZED WINDOW IN NEW OPENING
C2.02	NEW EXTERIOR POWDER COATED ALUMINUM DOUBLE-GLAZED MULTIPANEL SLIDING DOOR IN NEW OPENING
C2.03	NEW EXTERIOR POWDER COATED ALUMINUM DOUBLE-GLAZED SLIDING DOOR IN NEW OPENING
C2.04	NEW EXTERIOR POWDER COATED ALUMINUM DOUBLE-GLAZED SWING DOOR IN NEW OPENING
C2.05	NEW INTERIOR BARN DOOR
C2.06	NEW DOUBLE-GLAZED, TEMPERED, FIXED, ALUMINUM CURB-MOUNTED SKYLIGHT
C2.07	NEW 45 MINUTE FIRE-RATED EXTERIOR STEEL DOUBLE-GLAZED WINDOW WITH FIRELITE GLASS AT PROPERTY LINE
C2.08	NEW EXTERIOR SOLID-CORE PAINTED WOOD UPWARD-ACTING GARAGE DOOR WITH AUTOMATIC GARAGE DOOR OPENER AND MIN 200 SQ. IN VENTILATION
C2.09	NEW INTERIOR DOOR
C3.00	NEW KITCHEN WITH CABINETS, COUNTERS, APPLANCES AND FIXTURES
C3.01	NEW BATHROOM WITH NEW FIXTURES AND FINISHES, TILE FLOOR AND VENTILATION
C3.03	NEW LAUNDRY CLOSET WITH NEW WASHER & DRYER, NEW CABINETS, VENT AS REQUIRED.
C3.04	NEW CLOSET SYSTEM
C3.05	NEW BIKE STORAGE
C4.00	NEW HARDWOOD FLOORING
C4.01	NEW POLISHED, STAINED AND SEALED CONCRETE FLOORING
C5.00	NEW WOOD SLATED WALL
C5.03	NEW TRENCH DRAIN AT GARAGE DOOR

**WINDER GIBSON**  
architects

1415 318.8204  
1834 Mission Street  
San Francisco CA 94103

www.wgarch.com

1415 318.8204  
1834 Mission Street  
San Francisco CA 94103

**953 TREAT AVENUE**  
NORTH & SOUTH BUILDING  
SAN FRANCISCO, CA 94110

SITE PERMIT

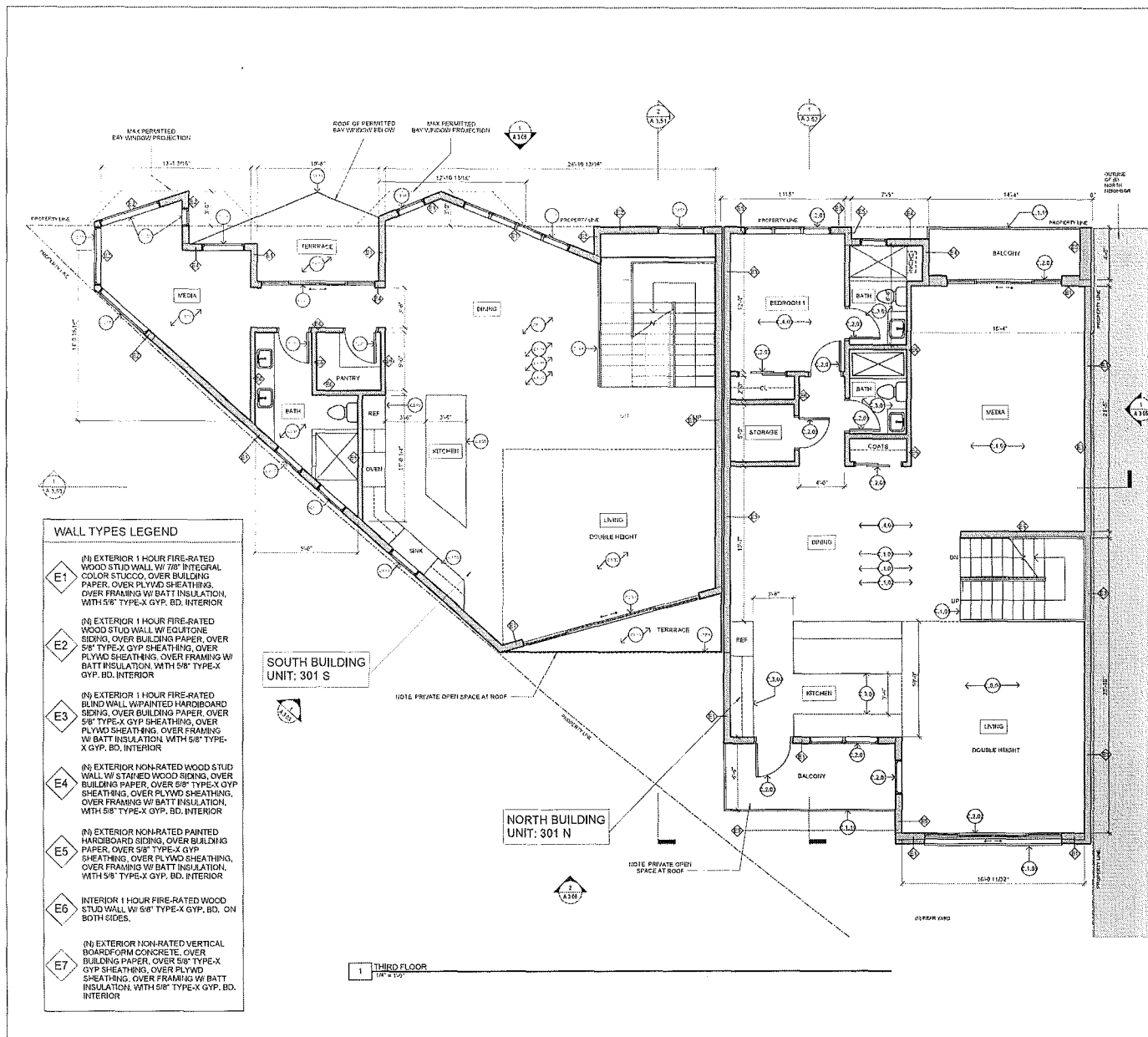
RECORD FLOOR PLAN

DATE: 02/27/17  
SCALE: 1/8" = 1'-0"  
DRAWN: DP/CG

A.2.02

1592





**WALL TYPES LEGEND**

E1	(N) EXTERIOR 1 HOUR FIRE-RATED WOOD STUD WALL W/ 7/8" INTEGRAL COLOR STUCCO, OVER BUILDING PAPER, OVER PLYWD SHEATHING, OVER FRAMING W/ BATT INSULATION, WITH 5/8" TYPE-X GYP. BD. INTERIOR
E2	(N) EXTERIOR 1 HOUR FIRE-RATED WOOD STUD WALL W/ EQUITONE SIDING, OVER BUILDING PAPER, OVER 5/8" TYPE-X GYP SHEATHING, OVER FRAMING W/ BATT INSULATION, WITH 5/8" TYPE-X GYP. BD. INTERIOR
E3	(N) EXTERIOR 1 HOUR FIRE-RATED BLIND WALL W/ PAINTED HARDBOARD SIDING, OVER BUILDING PAPER, OVER 5/8" TYPE-X GYP SHEATHING, OVER FRAMING W/ BATT INSULATION, WITH 5/8" TYPE-X GYP. BD. INTERIOR
E4	(N) EXTERIOR NON-RATED WOOD STUD WALL W/ STAINED WOOD SIDING, OVER BUILDING PAPER, OVER 5/8" TYPE-X GYP SHEATHING, OVER PLYWD SHEATHING, OVER FRAMING W/ BATT INSULATION, WITH 5/8" TYPE-X GYP. BD. INTERIOR
E5	(N) EXTERIOR NON-RATED PAINTED HARDBOARD SIDING, OVER BUILDING PAPER, OVER 5/8" TYPE-X GYP SHEATHING, OVER PLYWD SHEATHING, OVER FRAMING W/ BATT INSULATION, WITH 5/8" TYPE-X GYP. BD. INTERIOR
E6	INTERIOR 1 HOUR FIRE-RATED WOOD STUD WALL W/ 5/8" TYPE-X GYP. BD. ON BOTH SIDES.
E7	(N) EXTERIOR NON-RATED VERTICAL BOARDFORM CONCRETE, OVER BUILDING PAPER, OVER 5/8" TYPE-X GYP SHEATHING, OVER FRAMING W/ BATT INSULATION, WITH 5/8" TYPE-X GYP. BD. INTERIOR

**CONSTRUCTION SHEET NOTES**

NOTE NO.	COMMENT
C0.00	NEW CONCRETE FOUNDATIONS S.S.D.
C0.01	NEW CONCRETE SLAB
C0.02	NEW CONCRETE SIDEWALK AND CURB CLUT
C0.03	NEW SIDEWALK PLANTER
C0.04	LANDSCAPING AT REAR YARD TO BE DETERMINED
C0.05	NEW WOOD FENCE, 8' TALL
C1.00	NEW 5/8" TYPE-X GYPSUM WALLBOARD AT CEILING
C1.01	NEW FLOOR FRAMING
C1.02	ONE-HOUR FIRE-RATED FLOOR ASSEMBLY BETWEEN RESIDENTIAL UNITS AND BETWEEN GARAGE AND RESIDENTIAL UNITS. 5/8" TYPE-X SHEETROCK OVER IC CHANNELS BELOW. 3/4" PLYWOOD SUBFLOOR AND 3/4" HARDWOOD FLOORING ABOVE. R-19 BATT INSULATION. MINIMUM STC 50 (45 FIELD TES)
C1.03	NEW ONE-HOUR FIRE-RATED ASSEMBLY TYPICAL TO STC AND IBOC BETWEEN UNITS
C1.04	NEW ONE-HOUR FIRE-RATED LOW-SLOPE ROOF TERRACE WITH TILE SURFACE OVER MORTAR BED OVER BUILT-UP CLASS-A OR B ROOFING. PLYWOOD SHEATHING, WOOD FRAMING AND 5/8" TYPE-X GYP. BD. AT CEILING, WITH ROOF DRAIN AND OVERFLOW DRAIN OR SCUPPER
C1.05	NEW ONE-HOUR FIRE-RATED SLOPED UNOCCUPIED ROOF WITH BUILT-UP CLASS-A OR B ROOFING. 1" BATT PLYWOOD, WOOD FRAMING AND 5/8" TYPE-X GYP. BD. AT CEILING, WITH ROOF DRAIN AND OVERFLOW DRAIN OR SCUPPER
C1.06	NEW NON-RATED LOW-SLOPE UNOCCUPIED ROOF WITH BUILT-UP CLASS-A OR B ROOFING. PLYWOOD SHEATHING, WOOD FRAMING AND 5/8" TYPE-X GYP. BD. AT CEILING, WITH ROOF DRAIN AND OVERFLOW DRAIN OR SCUPPER
C1.07	NEW ONE-HOUR FIRE-RATED 42" HIGH PARAPET WALL WITH INTEGRAL COLOR STUCCO OVER 5/8" TYPE-X GYPSUM SHEATHING ON BOTH SIDES WITH PAINTED WOOD CAP OVER SHEETMETAL FLASHING
C1.08	NEW INTERIOR STAIR, MIN 10" RUN, MAX 7.75" RISE, WITH STEEL STRUCTURE, HARDWOOD TREADS AND RISERS, WOOD GUARDRAIL/HANDRAIL ON ONE SIDE, 36" HIGH, MAX 4" OPENING.
C1.09	NEW 42" HIGH FRAMELESS TEMPERED GLASS GUARDRAIL WITH METAL CAP
C1.10	NEW 42" HIGH FRAMELESS METAL GUARDRAIL POSTS WITH MAX 4 INCH GAP. FRONT OF BUILDING WITH SOLID GUARDRAIL WITH SIDING AND TEMPERED GLASS AT THE ENDS
C1.11	NEW BUILT-IN CABINETS / SHELVES
C1.12	NEW 42" HIGH SOLID GUARDRAILS WITH SIDING AND TEMPERED GLASS AT THE ENDS
C2.00	NEW EXTERIOR STAINED WOOD DOUBLE-GLAZED ENTRY DOOR IN NEW OPENING
C2.01	NEW EXTERIOR POWDER COATED ALUMINUM DOUBLE-GLAZED WINDOW IN NEW OPENING
C2.02	NEW EXTERIOR POWDER COATED ALUMINUM DOUBLE-GLAZED MULTIPANEL SLIDING DOOR IN NEW OPENING
C2.03	NEW EXTERIOR POWDER COATED ALUMINUM DOUBLE-GLAZED SLIDING DOOR IN NEW OPENING
C2.04	NEW EXTERIOR POWDER COATED ALUMINUM DOUBLE-GLAZED SWING DOOR UNIT IN NEW OPENING
C2.05	NEW INTERIOR BARN DOOR
C2.06	NEW DOUBLE-GLAZED, TEMPERED, FIXED, ALUMINUM CURS-MOUNTED SKYLIGHT
C2.07	NEW 44 MINUTE FIRE-RATED EXTERIOR STEEL DOUBLE-GLAZED WINDOW WITH FIRELITE GLASS AT PROPERTY LINE
C2.08	NEW EXTERIOR SOLID-CORE PAINTED WOOD UPWARD ACTING GARAGE DOOR WITH AUTOMATIC GARAGE DOOR OPENER AND MIN 200 SQ. IN VENTILATION
C2.09	NEW INTERIOR DOOR
C3.00	NEW KITCHEN WITH CABINETS, COUNTERS, APPLIANCES AND FIXTURES
C3.01	NEW BATHROOM WITH NEW FIXTURES AND FINISHES, TILE FLOOR AND VENTILATION
C3.03	NEW LAUNDRY CLOSET WITH NEW WASHER & DRYER, NEW CABINETS, VENT AS REQUIRED.
C3.04	NEW CLOSET SYSTEM
C3.06	NEW BIKE STORAGE
C4.00	NEW HARDWOOD FLOORING
C4.01	NEW POLISHED, STAINED AND SEALED CONCRETE FLOORING
C5.00	NEW WOOD SLATED WALL
C5.03	NEW TRENCH DRAIN AT GARAGE DOOR

**WINDER GIBSON architects**

1000 Mission Street  
San Francisco, CA 94103

415.318.8534

www.wgarch.com

DATE: 03/20/17  
SCALE: 1/8" = 1'-0"  
DRAWN: DP.GG

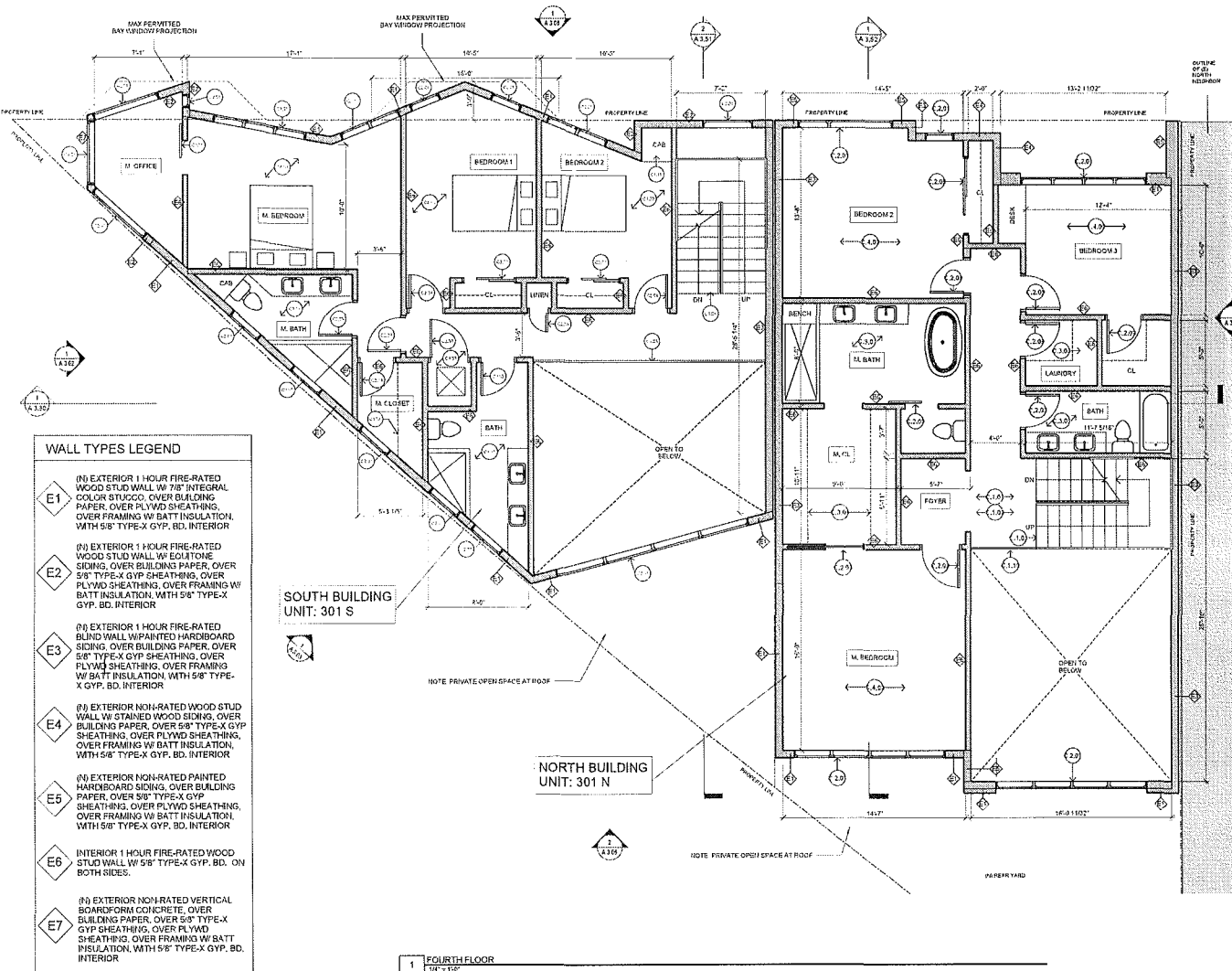
**953 TREAT AVENUE**  
NORTH & SOUTH BUILDING  
SAN FRANCISCO, CA 94110

**SITE PERMIT**

THIRD FLOOR PLAN

**A 2.03**

1997



**WALL TYPES LEGEND**

- E1 (1) EXTERIOR 1 HOUR FIRE-RATED WOOD STUD WALL W/ 7/8" INTEGRAL COLOR STUCCO, OVER BUILDING PAPER, OVER PLYWD SHEATHING, OVER FRAMING W/ BATT INSULATION, WITH 5/8" TYPE-X GYP. BD. INTERIOR
- E2 (2) EXTERIOR 1 HOUR FIRE-RATED WOOD STUD WALL W/ EQUITONE SIDING, OVER BUILDING PAPER, OVER 5/8" TYPE-X GYP SHEATHING, OVER PLYWD SHEATHING, OVER FRAMING W/ BATT INSULATION, WITH 5/8" TYPE-X GYP. BD. INTERIOR
- E3 (3) EXTERIOR 1 HOUR FIRE-RATED BLIND WALL W/ PAINTED HARDBOARD SIDING, OVER BUILDING PAPER, OVER 5/8" TYPE-X GYP SHEATHING, OVER PLYWD SHEATHING, OVER FRAMING W/ BATT INSULATION, WITH 5/8" TYPE-X GYP. BD. INTERIOR
- E4 (4) EXTERIOR NON-RATED WOOD STUD WALL W/ STAINED WOOD SIDING, OVER BUILDING PAPER, OVER 5/8" TYPE-X GYP SHEATHING, OVER PLYWD SHEATHING, OVER FRAMING W/ BATT INSULATION, WITH 5/8" TYPE-X GYP. BD. INTERIOR
- E5 (5) EXTERIOR NON-RATED PAINTED HARDBOARD SIDING, OVER BUILDING PAPER, OVER 5/8" TYPE-X GYP SHEATHING, OVER PLYWD SHEATHING, OVER FRAMING W/ BATT INSULATION, WITH 5/8" TYPE-X GYP. BD. INTERIOR
- E6 INTERIOR 1 HOUR FIRE-RATED WOOD STUD WALL W/ 5/8" TYPE-X GYP. BD. ON BOTH SIDES.
- E7 (6) EXTERIOR NON-RATED VERTICAL BOARDFORM CONCRETE, OVER BUILDING PAPER, OVER 5/8" TYPE-X GYP SHEATHING, OVER PLYWD SHEATHING, OVER FRAMING W/ BATT INSULATION, WITH 5/8" TYPE-X GYP. BD. INTERIOR

NOTE NO.	COMMENT
C0.00	NEW CONCRETE FOUNDATIONS S.S.D.
C0.01	NEW CONCRETE SLAB
C0.02	NEW CONCRETE SIDEWALK AND CURB CUT
C0.03	NEW SIDEWALK PLANTER
C0.04	LANDSCAPING AT REAR YARD TO BE DETERMINED
C0.05	NEW WOOD FENCE, 6' TALL
C1.00	NEW 5/8" TYPE-X GYPSUM WALLBOARD AT CEILING
C1.01	NEW FLOOR FRAMING
C1.02	ONE-HOUR FIRE-RATED FLOOR ASSEMBLY BETWEEN RESIDENTIAL UNITS AND BETWEEN GARAGE AND RESIDENTIAL UNITS. 1/2" TYPE-X SHEETROCK OVER IC CHANNELS BELOW, 3/4" PLYWOOD SUBFLOOR AND 3/4" HARDWOOD FLOORING ABOVE, R-19 BATT INSULATION, MINIMUM STC 50 (45 FIELD TES)
C1.03	NEW ONE-HOUR FIRE-RATED ASSEMBLY (MIN 50 STC AND 50 IIC BETWEEN UNITS)
C1.04	NEW ONE-HOUR FIRE-RATED LOW-SLOPE ROOF TERRACE WITH TILE SURFACE OVER MORTAR BED OVER BUILT-UP CLASS-A OR B ROOFING, PLYWOOD SHEATHING, WOOD FRAMING AND 5/8" TYPE-X GYP. BD. AT CEILING, WITH ROOF DRAIN AND OVERFLOW DRAIN OR SCUPPER
C1.05	NEW ONE-HOUR FIRE-RATED SLOPED UNOCCUPIED ROOF WITH BUILT-UP CLASS-A OR B ROOFING, 1 1/2" PLYWOOD WOOD FRAMING AND 5/8" TYPE-X GYP. BD. AT CEILING, WITH ROOF DRAIN AND OVERFLOW DRAIN OR SCUPPER
C1.06	NEW UNRATED LOW-SLOPE UNOCCUPIED ROOF WITH BUILT-UP CLASS-A OR B ROOFING, PLYWOOD SHEATHING, WOOD FRAMING AND 5/8" TYPE-X GYP. BD. AT CEILING, WITH ROOF DRAIN AND OVERFLOW DRAIN OR SCUPPER
C1.07	NEW ONE-HOUR FIRE-RATED 42" HIGH PARAPET WALL WITH INTEGRAL COLOR STUCCO OVER 5/8" TYPE-X GYPSUM SHEATHING ON BOTH SIDES WITH PAINTED WOOD CAP OVER SHEETMETAL FLASHING
C1.08	NEW INTERIOR STAIR, MIN 10" RUN, MAX 7.75" RISE, WITH STEEL STRUCTURE, HARDWOOD TREADS AND RISERS, WOOD GUARDRAIL/HANDRAIL ON ONE SIDE, 36" HIGH, MAX 4" OPENING.
C1.09	NEW 42" HIGH FRAMELESS TEMPERED GLASS GUARDRAIL WITH METAL CAP
C1.10	NEW 42" HIGH FRAMELESS METAL GUARDRAIL POSTS WITH MAX 4 INCH GAP, FRONT OF BUILDING WITH SOLID GUARDRAIL WITH SIDING AND TEMPERED GLASS AT THE ENDS
C1.11	NEW BUILT-IN CABINETS / SHELVES
C1.12	NEW 42" HIGH SOLID GUARDRAILS WITH SIDING AND TEMPERED GLASS AT THE ENDS
C2.00	NEW EXTERIOR STAINED WOOD DOUBLE-GLAZED ENTRY DOOR IN NEW OPENING
C2.01	NEW EXTERIOR POWDER COATED ALUMINUM DOUBLE-GLAZED WINDOW IN NEW OPENING
C2.02	NEW EXTERIOR POWDER COATED ALUMINUM DOUBLE-GLAZED MULTIPANEL SLIDING DOOR IN NEW OPENING
C2.03	NEW EXTERIOR POWDER COATED ALUMINUM DOUBLE-GLAZED SLIDING DOOR IN NEW OPENING
C2.04	NEW EXTERIOR POWDER COATED ALUMINUM DOUBLE-GLAZED SWING DOOR UNIT IN NEW OPENING
C2.05	NEW INTERIOR BARN DOOR
C2.06	NEW DOUBLE-GLAZED, TEMPERED, FIXED, ALUMINUM CURB-MOUNTED SKYLIGHT
C2.07	NEW 45 MINUTE FIRE-RATED EXTERIOR STEEL DOUBLE-GLAZED WINDOW WITH FIRELITE GLASS AT PROPERTY LINE
C2.08	NEW EXTERIOR SOLID-CORE PAINTED WOOD UPWARD-ACTING GARAGE DOOR WITH AUTOMATIC GARAGE DOOR OPENER AND MIN 200 SQ.FT VENTILATION
C2.09	NEW INTERIOR DOOR
C3.00	NEW KITCHEN WITH CABINETS, COUNTERS, APPLIANCES AND FIXTURES
C3.01	NEW BATHROOM WITH NEW FIXTURES AND FINISHES, TILE FLOOR AND VENTILATION
C3.03	NEW LAUNDRY CLOSET WITH NEW WASHER & DRYER, NEW CABINETS, VENT AS REQUIRED.
C3.04	NEW CLOSET SYSTEM
C3.06	NEW BIKE STORAGE
C4.00	NEW HARDWOOD FLOORING
C4.01	NEW POLISHED, STAINED AND SEALED CONCRETE FLOORING
C5.00	NEW WOOD SLATED WALL
C5.03	NEW TRENCH DRAIN AT GARAGE DOOR

**WINDER GIBSON**  
architects

www.wgarch.com  
1555 Mission Street  
San Francisco, CA 94103  
415.318.8324

953 TREAT AVENUE  
NORTH & SOUTH BUILDING  
SAN FRANCISCO, CA 94110

SITE PERMIT

FOURTH FLOOR PLAN

DATE: 8/20/17  
SCALE: 1/4" = 1'-0"  
DRAWN: DR.GIG

A.2.04

1993





CONSTRUCTION SHEET NOTES	
NOTE NO.	COMMENT
C0.00	NEW CONCRETE FOUNDATIONS S.S.D.
C0.01	NEW CONCRETE SLAB
C0.02	NEW CONCRETE SIDEWALK AND CURB CUT
C0.03	NEW SIDEWALK PLANTER
C0.04	LANDSCAPING AT REAR YARD TO BE DETERMINED
C0.05	NEW WOOD FENCE, 6' TALL
C1.00	NEW 5/8" TYPE-X GYPSUM WALLBOARD AT CEILING
C1.01	NEW FLOOR FRAMING
C1.02	ONE-HOUR FIRE-RATED FLOOR ASSEMBLY BETWEEN RESIDENTIAL UNITS AND BETWEEN GARAGE AND RESIDENTIAL UNITS. 5/8" TYPE-X SHEETROCK OVER IC CHANNELS BELOW, 3/4" PLYWOOD SUBFLOOR AND 3/4" HARDWOOD FLOORING ABOVE. R-19 BATT INSULATION. MINIMUM STC 50 (45 FIELD TEST)
C1.03	NEW ONE-HOUR FIRE-RATED ASSEMBLY WITH 5/8" STC AND 50 IIC BETWEEN UNITS
C1.04	NEW ONE-HOUR FIRE-RATED LOW-SLOPE ROOF TERRACE WITH TILE SURFACE OVER MORTAR BED OVER BUILT-UP CLASS-A OR B ROOFING. PLYWOOD SHEATHING, WOOD FRAMING AND 5/8" TYPE-X GYP. BD. AT CEILING, WITH ROOF DRAIN AND OVERFLOW DRAIN OR SCUPPER
C1.05	NEW ONE-HOUR FIRE-RATED SLOPED UNOCCUPIED ROOF WITH BUILT-UP CLASS-A OR B ROOFING. 1" 1/8" PLYWOOD, WOOD FRAMING AND 5/8" TYPE-X GYP. BD. AT CEILING, WITH ROOF DRAIN AND OVERFLOW DRAIN OR SCUPPER.
C1.06	NEW UNOCCUPIED LOW-SLOPE UNOCCUPIED ROOF WITH BUILT-UP CLASS-A OR B ROOFING. PLYWOOD SHEATHING, WOOD FRAMING AND 5/8" TYPE-X GYP. BD. AT CEILING, WITH ROOF DRAIN AND OVERFLOW DRAIN OR SCUPPER
C1.07	NEW ONE-HOUR FIRE-RATED 42" HIGH PARAPET WALL WITH INTEGRAL COLOR STUCCO OVER 5/8" TYPE-X GYPSUM SHEATHING ON BOTH SIDES WITH PAINTED WOOD CAP OVER SHEET METAL FLASHING
C1.08	NEW INTERIOR STAIR, MIN 10" RUN, MAX 7.75" RISE, WITH STEEL STRUCTURE, HANDWOOD TREADS AND RISERS, WOOD GUARDRAIL/HANDRAIL ON ONE SIDE, 36" HIGH, MAX 4" OPENING.
C1.09	NEW 42" HIGH FRAMELESS TEMPERED GLASS GUARDRAIL WITH METAL CAP
C1.10	NEW 42" HIGH FRAMELESS METAL GUARDRAIL POSTS WITH MAX 4 INCH GAP, FRONT OF BUILDING WITH SOLID GUARDRAIL, WITH SIDING AND TEMPERED GLASS AT THE ENDS
C1.11	NEW BUILT-IN CABINETS / SHELVES
C1.12	NEW 47" HIGH SOLID GUARDRAILS WITH SIDING AND TEMPERED GLASS AT THE ENDS
C2.00	NEW EXTERIOR STAINED WOOD DOUBLE-GLAZED ENTRY DOOR IN NEW OPENING
C2.01	NEW EXTERIOR POWDER COATED ALUMINUM DOUBLE-GLAZED WINDOW IN NEW OPENING
C2.02	NEW EXTERIOR POWDER COATED ALUMINUM DOUBLE-GLAZED MULTIPANEL SLIDING DOOR IN NEW OPENING
C2.03	NEW EXTERIOR POWDER COATED ALUMINUM DOUBLE-GLAZED SLIDING DOOR IN NEW OPENING
C2.04	NEW EXTERIOR POWDER COATED ALUMINUM DOUBLE-GLAZED SWING DOOR UNIT IN NEW OPENING
C2.05	NEW INTERIOR BARN DOOR
C2.06	NEW DOUBLE-GLAZED TEMPERED FIXED ALUMINUM CURB-MOUNTED SKYLIGHT
C2.07	NEW 45 MINUTE FIRE-RATED EXTERIOR STEEL DOUBLE-GLAZED WINDOW WITH FIRELEITE GLASS AT PROPERTY LINE
C2.08	NEW EXTERIOR SOLID-CORE PAINTED WOOD UPWARD-ACTING GARAGE DOOR WITH AUTOMATIC GARAGE DOOR OPENER AND M11 200 SQ IN VENTILATION
C2.09	NEW INTERIOR DOOR
C3.00	NEW KITCHEN WITH NEW CABINETS, COUNTERS, APPLIANCES AND FIXTURES
C3.01	NEW BATHROOM WITH NEW FIXTURES AND FINISHES, TILE FLOOR AND VENTILATION
C3.03	NEW LAUNDRY CLOSET WITH NEW WASHER & DRYER, NEW CABINETS, VENT AS REQUIRED.
C3.04	NEW CLOSET SYSTEM
C3.06	NEW BIKE STORAGE
C4.00	NEW HARDWOOD FLOORING
C4.01	NEW POLISHED, STAINED AND SEALED CONCRETE FLOORING
C5.00	NEW WOOD SLATED WALL
C5.03	NEW TRENCH DRAIN AT GARAGE DOOR

**WINDER GIBSON**  
architects

www.archsl.com

L 415.318.8244  
1826 Mission Street  
San Francisco, CA 94103

953 TREAT AVENUE  
NORTH & SOUTH BUILDING  
SAN FRANCISCO, CA 94110

SITE PERMIT

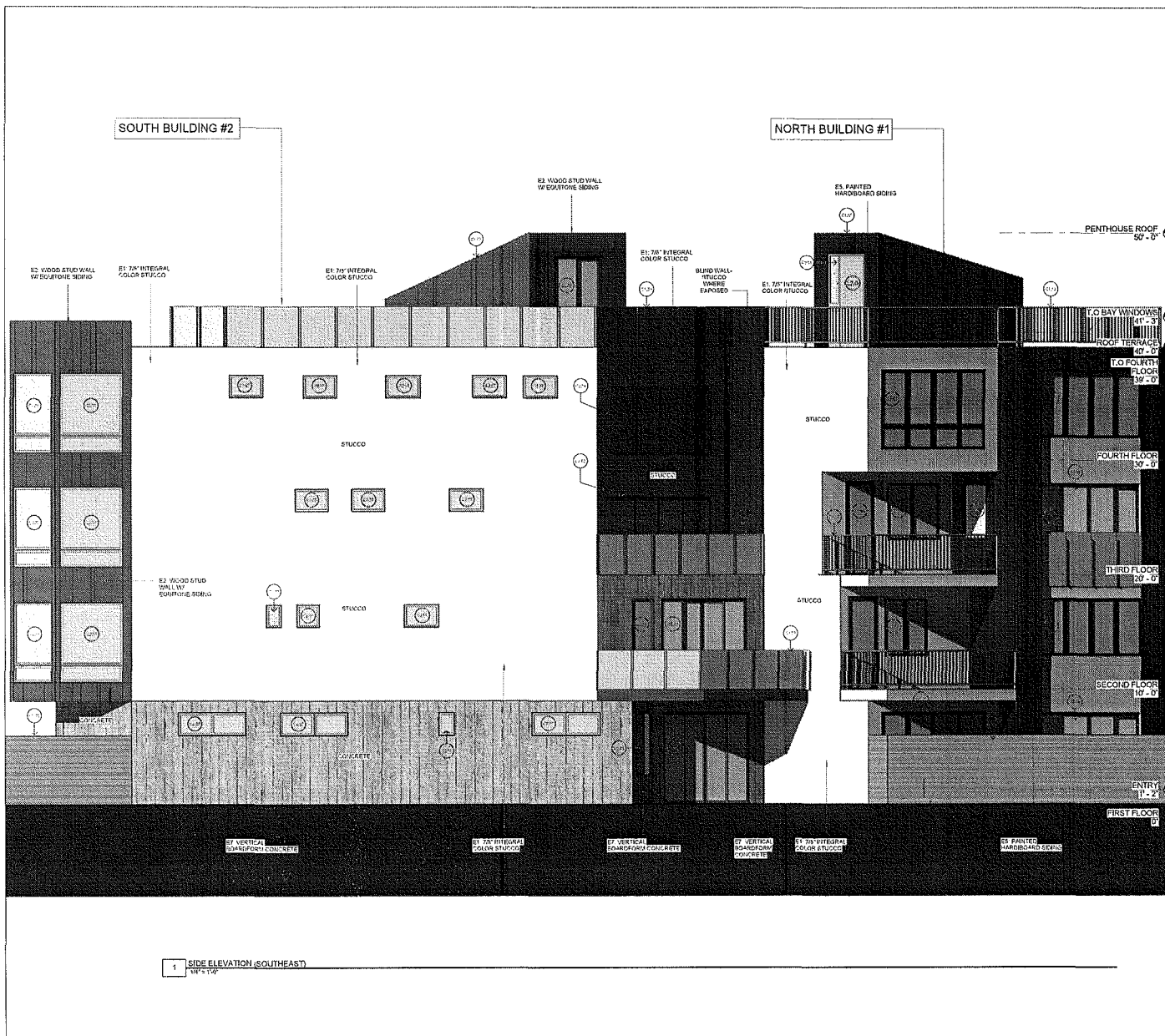
FRONT ELEVATION (WEST)

DATE: 02/17/12  
SCALE: 3/8" = 1'-0"  
DRAWN: [Signature]

A 3.01

1509





CONSTRUCTION SHEET NOTES	
NOTE NO.	COMMENT
C0.00	NEW CONCRETE FOUNDATIONS S.S.D.
C0.01	NEW CONCRETE SLABS
C0.02	NEW CONCRETE SIDEWALK AND CURB CUT
C0.03	NEW SIDEWALK PLANTER
C0.04	LANDSCAPING AT REAR YARD TO BE DETERMINED
C0.05	NEW WOOD FENCE, 6' TALL
C1.00	NEW 5/8" TYPE-X GYPSUM WALLBOARD AT CEILING
C1.01	NEW FLOOR FRAMING
C1.02	ONE-HOUR FIRE-RATED FLOOR ASSEMBLY BETWEEN RESIDENTIAL UNITS AND BETWEEN GARAGE AND RESIDENTIAL UNITS. 5/8" TYPE-X SHEETROCK OVER 10 CHANNELS BELOW, 3/4" PLYWOOD SUBFLOOR AND 3/4" HARDWOOD FLOORING ABOVE. R-19 BATT INSULATION. MINIMUM STC 50 (45 FIELD TES)
C1.03	NEW ONE-HOUR FIRE-RATED ASSEMBLY W/ MIN 50 STC AND 50 IIC BETWEEN UNITS
C1.04	NEW ONE-HOUR FIRE-RATED LOW-SLOPE ROOF TERRACE WITH TILE SURFACE OVER MORTAR BED OVER BUILT-UP CLASS-A OR B ROOFING. PLYWOOD SHEATHING, WOOD FRAMING AND 5/8" TYPE-X GYP. BD. AT CEILING, WITH ROOF DRAIN AND OVERFLOW DRAIN OR SCUPPER
C1.05	NEW ONE-HOUR FIRE-RATED SLOPED UNOCCUPIED ROOF WITH BUILT-UP CLASS-A OR B ROOFING, 1 1/8" PLYWOOD, WOOD FRAMING AND 5/8" TYPE-X GYP. BD. AT CEILING, WITH ROOF DRAIN AND OVERFLOW DRAIN OR SCUPPER
C1.06	NEW NON-RATED LOW-SLOPE UNOCCUPIED ROOF WITH BUILT-UP CLASS-A OR B ROOFING, PLYWOOD SHEATHING, WOOD FRAMING AND 5/8" TYPE-X GYP. BD. AT CEILING, WITH ROOF DRAIN AND OVERFLOW DRAIN OR SCUPPER
C1.07	NEW ONE-HOUR FIRE-RATED 42" HIGH PARTIET WALL WITH INTEGRAL COLOR STUCCO OVER 5/8" TYPE-X GYPSUM SHEATHING ON BOTH SIDES WITH PAINTED WOOD CAP OVER SHEET METAL FLASHING
C1.08	NEW INTERIOR STAIR, MIN 10" RUN, MAX 7.75" RISE, WITH STEEL STRUCTURE, HARDWOOD TREADS AND RISERS, WOOD GUARDRAIL/HANDRAIL ON ONE SIDE, 36" HIGH, MAX 4" OPENING.
C1.09	NEW 42" HIGH FRAMELESS TEMPERED GLASS GUARDRAIL WITH METAL CAP
C1.10	NEW 42" HIGH FRAMELESS METAL GUARDRAIL POSTS WITH MAX 4 INCH GAP. FRONT OF BUILDING WITH SOLID GUARDRAIL WITH SIDING AND TEMPERED GLASS AT THE ENDS
C1.11	NEW BUILT-IN CABINETS / SHELVES
C1.12	NEW 42" HIGH SOLID GUARDRAILS WITH SIDING AND TEMPERED GLASS AT THE ENDS
C2.00	NEW EXTERIOR STAINED WOOD DOUBLE-GLAZED ENTRY DOOR IN NEW OPENING
C2.01	NEW EXTERIOR POWDER COATED ALUMINUM DOUBLE-GLAZED WINDOW IN NEW OPENING
C2.02	NEW EXTERIOR POWDER COATED ALUMINUM DOUBLE-GLAZED MULTIPANEL SLIDING DOOR IN NEW OPENING
C2.03	NEW EXTERIOR POWDER COATED ALUMINUM DOUBLE-GLAZED SLIDING DOOR IN NEW OPENING
C2.04	NEW EXTERIOR POWDER COATED ALUMINUM DOUBLE-GLAZED SWING DOOR UNIT IN NEW OPENING
C2.05	NEW INTERIOR BARN DOOR
C2.06	NEW DOUBLE-GLAZED, TEMPERED, FIXED, ALUMINUM CURB-MOUNTED SKYLIGHT
C2.07	NEW 45 MINUTE FIRE-RATED EXTERIOR STEEL DOUBLE-GLAZED WINDOW WITH FIRELITE GLASS AT PROPERTY LINE
C2.08	NEW EXTERIOR SOLID-CORE PAINTED WOOD UPWARD-ACTING GARAGE DOOR WITH AUTOMATIC GARAGE DOOR OPENER AND MIN 200 SQ. IN VENTILATION
C2.09	NEW INTERIOR DOOR
C3.00	NEW KITCHEN WITH CABINETS, COUNTERS, APPLANCES AND FIXTURES
C3.01	NEW BATHROOM WITH NEW FIXTURES AND FINISHES, TILE FLOOR AND VENTILATION
C3.03	NEW LAUNDRY CLOSET WITH NEW WASHER & DRYER, NEW CABINETS, VENT AS REQUIRED.
C3.04	NEW CLOSET SYSTEM
C3.05	NEW BIKE STORAGE
C4.00	NEW HARDWOOD FLOORING
C4.01	NEW POLISHED, STAINED AND SEALED CONCRETE FLOORING
C5.00	NEW WOOD SLATED WALL
C5.03	NEW TRENCH DRAIN AT GARAGE DOOR

**WINDER GIBSON**  
architects

www.wrchsf.com

1415, 318.8254

1931 Mission Street  
San Francisco, CA 94103

DATE: 03/21/17  
SCALE: 3/4" = 1'-0"  
DRAWN: DM

1922

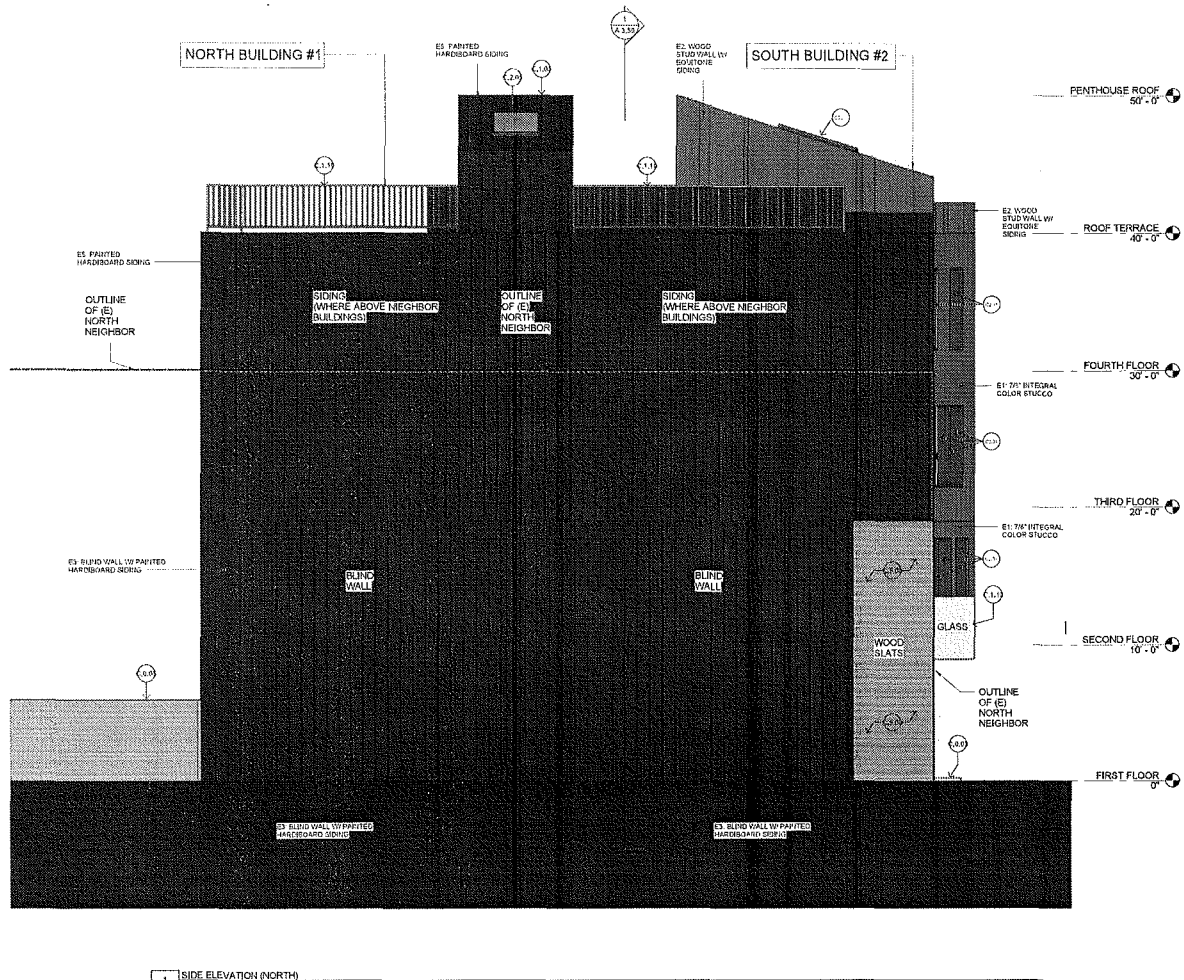
953 TREAT AVENUE  
NORTH & SOUTH BUILDING  
SAN FRANCISCO, CA 94110

SITE PERMIT

SITE ELEVATION (SOUTHEAST)

A.3.03





1 SIDE ELEVATION (NORTH)  
1/4" = 1'-0"

CONSTRUCTION SHEET NOTES	
NOTE NO.	COMMENT
C0.00	NEW CONCRETE FOUNDATIONS S.S.D.
C0.01	NEW CONCRETE SLAB
C0.02	NEW CONCRETE SIDEWALK AND CURB CUT
C0.03	NEW SIDEWALK PLANTER
C0.04	LANDSCAPING AT REAR YARD TO BE DETERMINED
C0.05	NEW WOOD FENCE, 6' TALL
C1.00	NEW 5/8" TYPE-X GYPSUM WALLBOARD AT CEILING
C1.01	NEW FLOOR FRAMING
C1.02	ONE-HOUR FIRE-RATED FLOOR ASSEMBLY BETWEEN RESIDENTIAL UNITS AND BETWEEN GARAGE AND RESIDENTIAL UNITS. 5/8" TYPE-X SHEETROCK OVER 1" CHANNELS BELOW, 3/4" PLYWOOD SUBFLOOR AND 2" HARDWOOD FLOORING ABOVE. R-19 BATT INSULATION MINIMUM STC 50 (45 FIELD TES)
C1.03	NEW ONE-HOUR FIRE-RATED ASSEMBLY MAIN STC AND 50 IC BETWEEN UNITS
C1.04	NEW ONE-HOUR FIRE-RATED LOW-SLOPE ROOF TERRACE WITH TILE SURFACE OVER MORTAR BED OVER BUILT-UP CLASS-A OR B ROOFING, PLYWOOD SHEATHING, WOOD FRAMING AND 5/8" TYPE-X GYP. BD. AT CEILING, WITH ROOF DRAIN AND OVERFLOW DRAIN OR SCUPPER
C1.05	NEW ONE-HOUR FIRE-RATED SLOPED UNOCCUPIED ROOF WITH BUILT-UP CLASS-A OR B ROOFING, 1" PLYWOOD, WOOD FRAMING AND 5/8" TYPE-X GYP. BD. AT CEILING, WITH ROOF DRAIN AND OVERFLOW DRAIN OR SCUPPER
C1.06	NEW NON-RATED LOW-SLOPE UNOCCUPIED ROOF WITH BUILT-UP CLASS-A OR B ROOFING, PLYWOOD SHEATHING, WOOD FRAMING AND 5/8" TYPE-X GYP. SD. AT CEILING, WITH ROOF DRAIN AND OVERFLOW DRAIN OR SCUPPER
C1.07	NEW ONE-HOUR FIRE-RATED 4" HIGH PARAPET WALL WITH INTEGRAL COLOR STUCCO OVER 5/8" TYPE-X GYPSUM SHEATHING ON BOTH SIDES WITH PAINTED WOOD CAP OVER SHEETMETAL FLASHING
C1.08	NEW INTERIOR STAIR, MIN 10' RUN, MAX 7.75' RISE, WITH STEEL STRUCTURE, HARDWOOD TREADS AND RISERS, WOOD GUARDRAIL/HANDRAIL ON ONE SIDE, 36" HIGH, MAX 4" OPENING.
C1.09	NEW 42" HIGH FRAMELESS TEMPERED GLASS GUARDRAIL WITH METAL CAP
C1.10	NEW 42" HIGH FRAMELESS METAL GUARDRAIL POSTS WITH MAX 4 INCH GAP. FRONT OF BUILDING WITH SOLID GUARDRAIL WITH SIDING AND TEMPERED GLASS AT THE ENDS
C1.11	NEW BUILT-IN CABINETS / SHELVES
C1.12	NEW 42" HIGH SOLID GUARDRAILS WITH SIDING AND TEMPERED GLASS AT THE ENDS
C2.00	NEW EXTERIOR STAINED WOOD DOUBLE-GLAZED ENTRY DOOR IN NEW OPENING
C2.01	NEW EXTERIOR POWDER COATED ALUMINUM DOUBLE-GLAZED WINDOW IN NEW OPENING
C2.02	NEW EXTERIOR POWDER COATED ALUMINUM DOUBLE-GLAZED MULTIPANEL SLIDING DOOR IN NEW OPENING
C2.03	NEW EXTERIOR POWDER COATED ALUMINUM DOUBLE-GLAZED SLIDING DOOR IN NEW OPENING
C2.04	NEW EXTERIOR POWDER COATED ALUMINUM DOUBLE-GLAZED SWING DOOR UNIT IN NEW OPENING
C2.05	NEW INTERIOR BATH DOOR
C2.06	NEW DOUBLE-GLAZED, TEMPERED, FIXED, ALUMINUM CURB MOUNTED SKYLIGHT
C2.07	NEW 45 MINUTE FIRE-RATED EXTERIOR STEEL DOUBLE-GLAZED WINDOW WITH PIRELITE GLASS AT PROPERTY LINE
C2.08	NEW EXTERIOR SOLID-CORE PAINTED WOOD UPWARD-ACTING GARAGE DOOR WITH AUTOMATIC GARAGE DOOR OPENER AND MIN 200 SQ IN VENTILATION
C2.09	NEW INTERIOR DOOR
C3.00	NEW KITCHEN WITH CABINETS, COUNTERTOPS, APPLIANCES AND FIXTURES
C3.01	NEW BATHROOM WITH NEW FIXTURES AND FINISHES, TILE FLOOR AND VENTILATION
C3.03	NEW LAUNDRY CLOSET WITH NEW WASHER & DRYER, NEW CABINETS, VENT AS REQUIRED.
C3.04	NEW CLOSET SYSTEM
C3.05	NEW BIKE STORAGE
C4.00	NEW HARDWOOD FLOORING
C4.01	NEW POLISHED, STAINED AND SEALED CONCRETE FLOORING
C5.00	NEW WOOD SLATED WALL
C5.03	NEW TRENCH DRAIN AT GARAGE DOOR

**WINDER GIBSON**  
architects

www.archsf.com

1.415.382434  
1833 Mission Street  
San Francisco, CA 94103



**933 TREAT AVENUE**  
NORTH & SOUTH BUILDING  
SAN FRANCISCO, CA 94110

SITE PERMIT

100% ELEVATION (NORTH)	DATE	03/23/17
_____	SCALE	1/4" = 1'-0"
_____	DRAWN	DP

**A 3.05**

DATE 03/23/17  
SCALE 1/4" = 1'-0"  
DRAWN DP

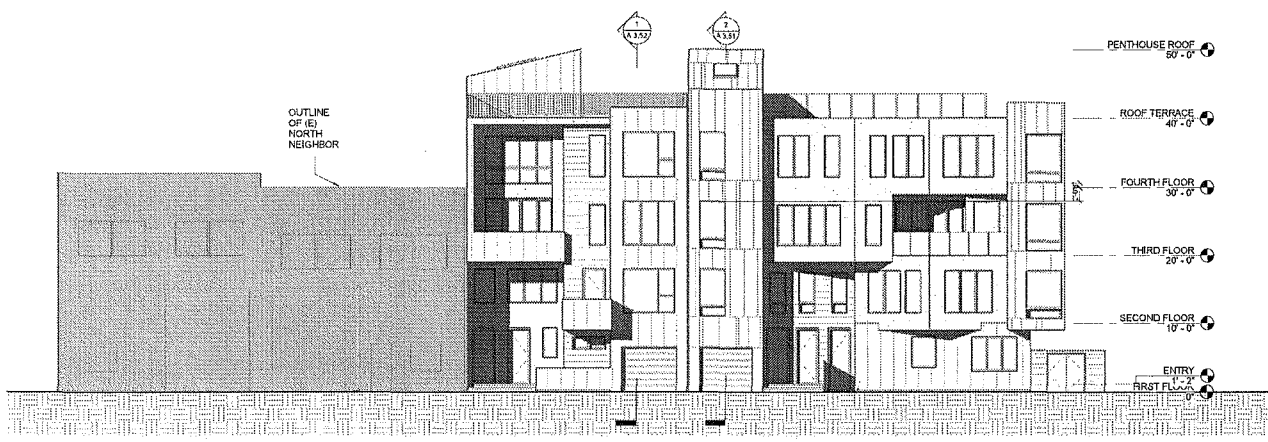


**WINDER  
GIBSON**  
architects

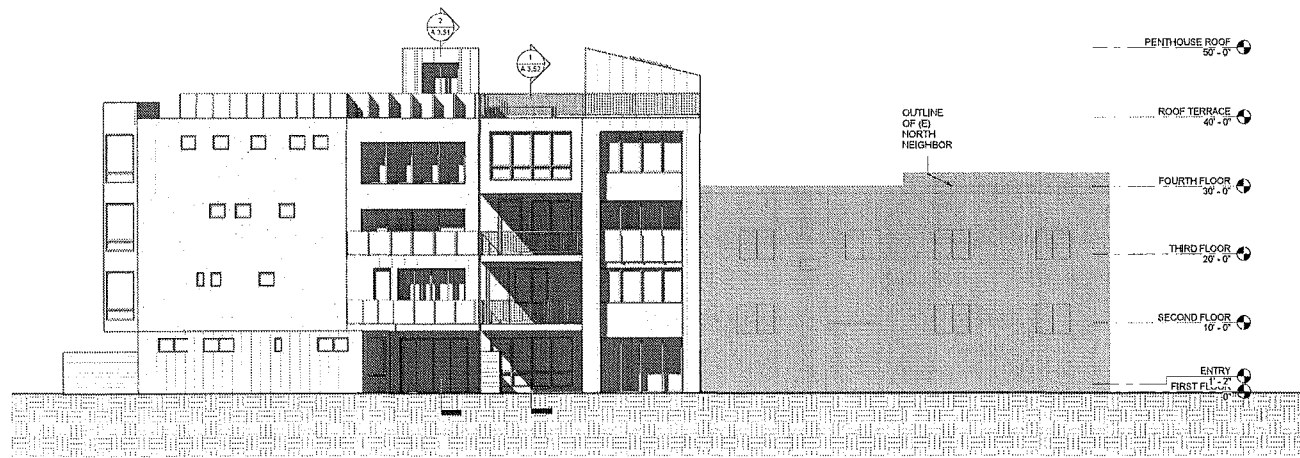
interior  
exterior  
architecture

www.wgarch.com

L 415.318.8234  
1833 MISSION STREET  
SAN FRANCISCO, CA 94103



1 FRONT ELEVATION (WEST) AND NEIGHBOR  
1/8" = 1'-0"



2 REAR ELEVATION (EAST) AND NEIGHBOR  
1/8" = 1'-0"

963 TREAT AVENUE  
NORTH & SOUTH BUILDING  
SAN FRANCISCO, CA 94110

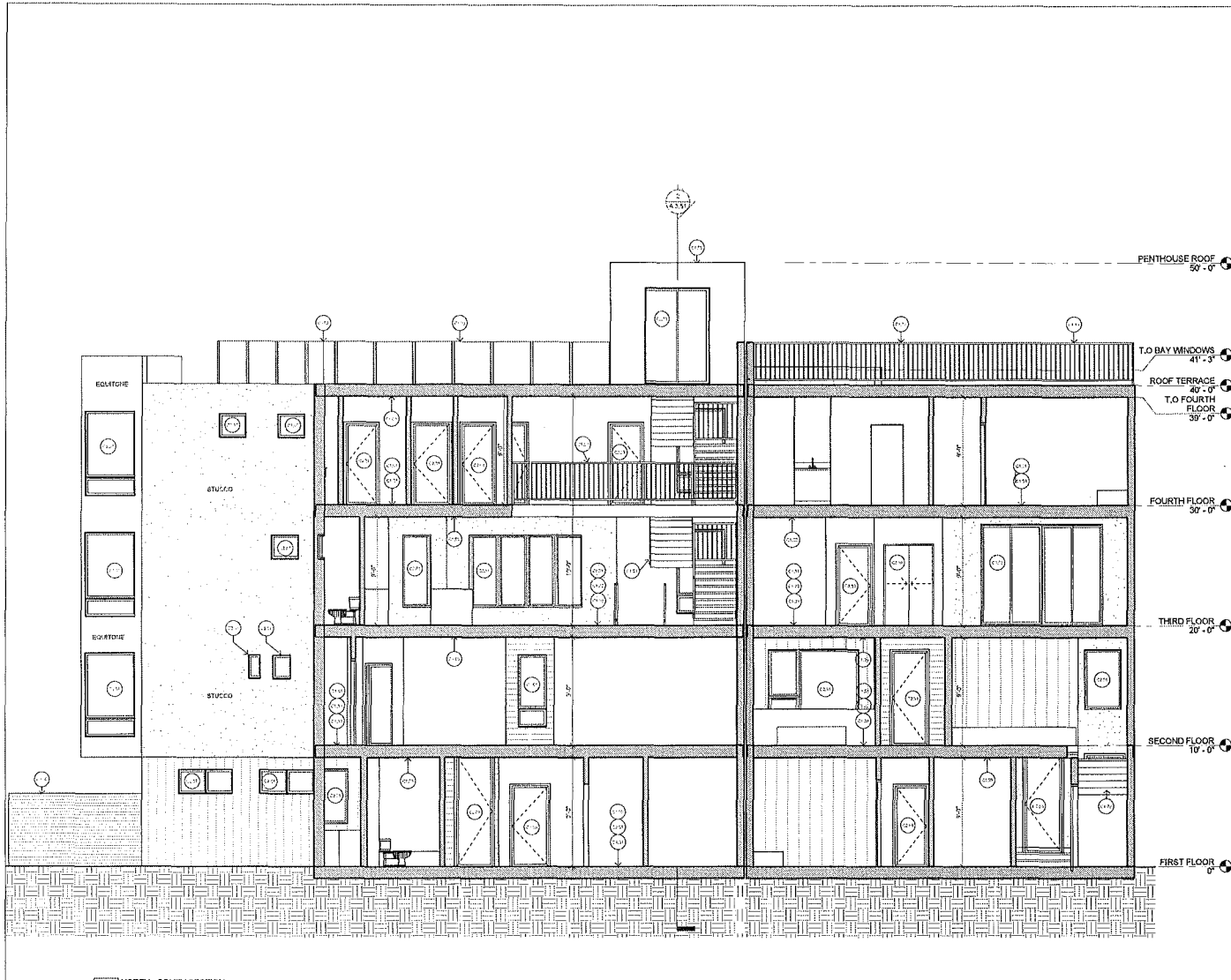
SITE PERMIT

ELEVATIONS AND NEIGHBOR  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

A 3.06

DATE: 03/07/10  
SCALE: 1/8" = 1'-0"  
DRAWN: DP

1502



1 NORTH - SOUTH SECTION  
1/4" = 1'-0"

CONSTRUCTION SHEET NOTES	
NOTE NO.	COMMENT
C0.00	NEW CONCRETE FOUNDATIONS S.S.D.
C0.01	NEW CONCRETE SLAB
C0.02	NEW CONCRETE SIDEWALK AND CURB CUT
C0.03	NEW SIDEWALK PLANTER
C0.04	LANDSCAPING AT REAR YARD TO BE DETERMINED
C0.05	NEW WOOD FENCE, 6' TALL
C1.00	NEW 5/8" TYPE-X GYPSUM WALLEBOARD AT CEILING
C1.01	NEW FLOOR FRAMING
C1.02	ONE-HOUR FIRE-RATED FLOOR ASSEMBLY BETWEEN RESIDENTIAL UNITS AND BETWEEN GARAGE AND RESIDENTIAL UNITS, 5/8" TYPE-X SHEETROCK OVER IC CHANNELS BELOW, 3/4" PLYWOOD SUBFLOOR AND 3/4" HARDWOOD FLOORING ABOVE, R-19 BATT INSULATION, MINIMUM STC 50 (45 FIELD TES)
C1.03	NEW ONE-HOUR FIRE-RATED ASSEMBLY (MIN 50 STC AND 50 IIC BETWEEN UNITS)
C1.04	NEW ONE-HOUR FIRE-RATED LOW-SLOPE ROOF TERRACE WITH TILE SURFACE OVER MORTAR BED OVER BUILT-UP CLASS-A OR B ROOFING, PLYWOOD SHEATHING, WOOD FRAMING AND 5/8" TYPE-X GYP. BD. AT CEILING, WITH ROOF DRAIN AND OVERFLOW DRAIN OR SCUPPER
C1.05	NEW ONE-HOUR FIRE-RATED SLOPED UNOCCUPIED ROOF WITH BUILT-UP CLASS-A OR B ROOFING, 1" 1/8" PLYWOOD, WOOD FRAMING AND 5/8" TYPE-X GYP. BD. AT CEILING, WITH ROOF DRAIN AND OVERFLOW DRAIN OR SCUPPER.
C1.06	NEW NONRATED LOW-SLOPE UNOCCUPIED ROOF WITH BUILT-UP CLASS-A OR B ROOFING, PLYWOOD SHEATHING, WOOD FRAMING AND 5/8" TYPE-X GYP. BD. AT CEILING, WITH ROOF DRAIN AND OVERFLOW DRAIN OR SCUPPER
C1.07	NEW ONE-HOUR FIRE-RATED 42" HIGH PARAPET WALL WITH INTEGRAL COLOR STUCCO OVER 5/8" TYPE-X GYPSUM SHEATHING ON BOTH SIDES WITH PAINTED WOOD CAP OVER SHEETMETAL FLASHING
C1.08	NEW INTERIOR STAIR, MIN 10" RUN, MAX 17.75" RISE, WITH STEEL STRUCTURE, HARDWOOD TREADS AND RISERS, WOOD GUARDRAIL/HANDRAIL ON ONE SIDE, 36" HIGH, MAX 4" OPENING.
C1.09	NEW 42" HIGH FRAMELESS TEMPERED GLASS GUARDRAIL WITH METAL CAP
C1.10	NEW 42" HIGH FRAMELESS METAL GUARDRAIL POSTS WITH MAX 4 INCH GAP, FRONT OF BUILDING WITH SOLID GUARDRAIL WITH SIDING AND TEMPERED GLASS AT THE ENDS
C1.11	NEW MULTIPLE CABINETS / SHELVES
C1.12	NEW 47" HIGH SOLID GUARDRAILS WITH SIDING AND TEMPERED GLASS AT THE ENDS
C2.00	NEW EXTERIOR STAINED WOOD DOUBLE-GLAZED ENTRY DOOR IN NEW OPENING
C2.01	NEW EXTERIOR POWDER COATED ALUMINUM DOUBLE-GLAZED WINDOW IN NEW OPENING
C2.02	NEW EXTERIOR POWDER COATED ALUMINUM DOUBLE-GLAZED MULTIPANEL SLIDING DOORS IN NEW OPENINGS
C2.03	NEW EXTERIOR POWDER COATED ALUMINUM DOUBLE-GLAZED SLIDING DOOR IN NEW OPENING
C2.04	NEW EXTERIOR POWDER COATED ALUMINUM DOUBLE-GLAZED SWING DOOR UNIT IN NEW OPENING
C2.05	NEW INTERIOR BARN DOOR
C2.06	NEW DOUBLE-GLAZED, TEMPERED, FIXED, ALUMINUM CURB-MOUNTED SKYLIGHT
C2.07	NEW 45 MINUTE FIRE-RATED EXTERIOR STEEL DOUBLE-GLAZED WINDOW WITH FIRELITE GLASS AT PROPERTY LINE
C2.08	NEW EXTERIOR SOLID-CORE PAINTED WOOD UPWARD-ACTING GARAGE DOOR WITH AUTOMATIC GARAGE DOOR OPENER AND MIN 200 SQ. IN VENTILATION
C2.09	NEW INTERIOR DOOR
C3.00	NEW KITCHEN WITH CABINETS, COUNTERS, APPLIANCES AND FIXTURES
C3.01	NEW BATH-ROOM WITH NEW FIXTURES AND FINISHES, TILE FLOOR AND VENTILATION
C3.03	NEW LAUNDRY CLOSET WITH NEW WASHER & DRYER, NEW CABINETS, VENT AS REQUIRED.
C3.04	NEW CLOSET SYSTEM
C3.06	NEW BIKE STORAGE
C4.00	NEW HARDWOOD FLOORING
C4.01	NEW POLISHED, STAINED AND SEALED CONCRETE FLOORING
C5.00	NEW WOOD SLATED WALL
C5.03	NEW TRENCH DRAIN AT GARAGE DOOR

**WINDER GIBSON**  
architects

www.wgarch.com

1 415.388.8234  
1838 Mission Street  
San Francisco, CA 94103



**953 TREAT AVENUE**  
NORTH & SOUTH BUILDING  
SAN FRANCISCO, CA 94110

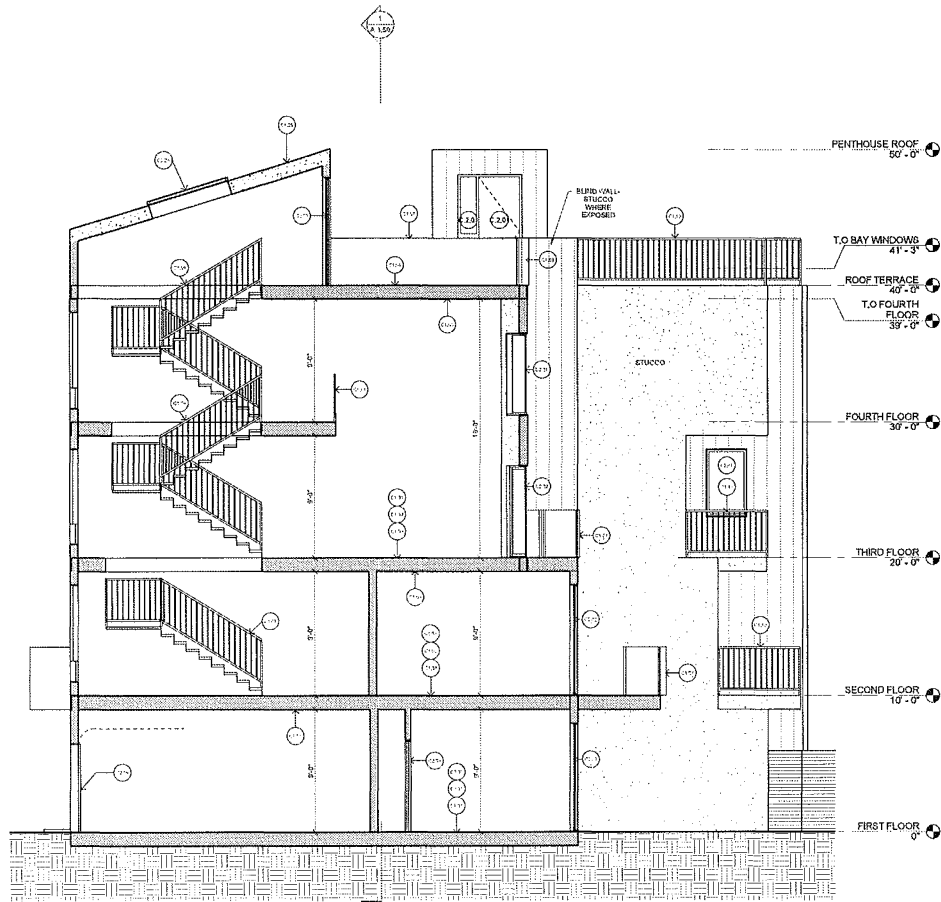
SITE PERMIT

SEC 12031	

DATE: 03/01/17  
SCALE: 1/4" = 1'-0"  
DRAWN: BP

A3.50

1599



2 EAST-WEST SECTION THROUGH SOUTH BUILDING

CONSTRUCTION SHEET NOTES	
NOTE NO.	COMMENT
C0.00	NEW CONCRETE FOUNDATIONS S.S.D.
C0.01	NEW CONCRETE SLAB
C0.02	NEW CONCRETE SIDEWALK AND CURB CUT
C0.03	NEW SIDEWALK PLANTER
C0.04	LANDSCAPING AT REAR YARD TO BE DETERMINED
C0.05	NEW WOOD FENCE, 6' TALL
C1.00	NEW 5/8" TYPE-X GYPSUM WALLBOARD AT CEILING
C1.01	NEW FLOOR FRAMING
C1.02	ONE-HOUR FIRE-RATED FLOOR ASSEMBLY BETWEEN RESIDENTIAL UNITS AND BETWEEN GARAGE AND RESIDENTIAL UNITS. 1/2" TYPE-X SHEETROCK OVER 10 CHANNELS BELOW 3/4" PLYWOOD SUBFLOOR AND 3/4" HARDWOOD FLOORING ABOVE. R-19 BATT INSULATION. MINIMUM STC 50 (45 FIELD TEST)
C1.03	NEW ONE-HOUR FIRE-RATED ASSEMBLY WITH 50 STC AND 50 IIC BETWEEN UNITS
C1.04	NEW ONE-HOUR FIRE-RATED LOW-SLOPE ROOF TERRACE WITH TILE SURFACE OVER MORTAR BED OVER BUILT-UP CLASS-A OR B ROOFING, PLYWOOD SHEATHING, WOOD FRAMING AND 5/8" TYPE-X GYP. BD. AT CEILING, WITH ROOF DRAIN AND OVERFLOW DRAIN OR SCUPPER
C1.05	NEW ONE-HOUR FIRE-RATED SLOPED UNOCCUPIED ROOF WITH BUILT-UP CLASS-A OR B ROOFING, 1 1/8" PLYWOOD, WOOD FRAMING AND 5/8" TYPE-X GYP. BD. AT CEILING, WITH ROOF DRAIN AND OVERFLOW DRAIN OR SCUPPER
C1.06	NEW NON-RATED LOW-SLOPE UNOCCUPIED ROOF WITH BUILT-UP CLASS-A OR B ROOFING, PLYWOOD SHEATHING, WOOD FRAMING AND 5/8" TYPE-X GYP. BD. AT CEILING, WITH ROOF DRAIN AND OVERFLOW DRAIN OR SCUPPER
C1.07	NEW ONE-HOUR FIRE-RATED 4" HIGH PARAPET WALL WITH INTEGRAL COLOR STUCCO OVER 5/8" TYPE-X GYPSUM SHEATHING ON BOTH SIDES WITH PAINTED WOOD CAP OVER SHEETMETAL FLASHING
C1.08	NEW INTERIOR STAIR, MIN 10" RUN, MAX 7.75" RISE, WITH STEEL STRUCTURE, HARDWOOD TREADS AND RISERS, WOOD GUARDRAIL/HANDRAIL ON ONE SIDE, 36" HIGH, MAX 4" OPENING.
C1.09	NEW 42" HIGH FRAMELESS TEMPERED GLASS GUARDRAIL WITH METAL CAP
C1.10	NEW 42" HIGH FRAMELESS METAL GUARDRAIL POSTS WITH MAX 4" INCH GAP, FRONT OF BUILDING WITH SOLID GUARDRAIL WITH SIDING AND TEMPERED GLASS AT THE ENDS
C1.11	NEW BUILT-IN CABINETS / SHELVES
C1.12	NEW 42" HIGH SOLID GUARDRAILS WITH SIDING AND TEMPERED GLASS AT THE ENDS
C2.00	NEW EXTERIOR STAINED WOOD DOUBLE-GLAZED ENTRY DOOR IN NEW OPENING
C2.01	NEW EXTERIOR POWDER COATED ALUMINUM DOUBLE-GLAZED WINDOW IN NEW OPENING
C2.02	NEW EXTERIOR POWDER COATED ALUMINUM DOUBLE-GLAZED MULTIPANEL SLIDING DOOR IN NEW OPENING
C2.03	NEW EXTERIOR POWDER COATED ALUMINUM DOUBLE-GLAZED SLIDING DOOR IN NEW OPENING
C2.04	NEW EXTERIOR POWDER COATED ALUMINUM DOUBLE-GLAZED SWING DOOR UNIT IN NEW OPENING
C2.05	NEW INTERIOR BARN DOOR
C2.06	NEW DOUBLE-GLAZED, TEMPERED, FIXED, ALUMINUM CURB-MOUNTED SKYLIGHT
C2.07	NEW 45 MINUTE FIRE-RATED EXTERIOR STEEL DOUBLE-GLAZED WINDOW WITH FIRELITE GLASS AT PROPERTY LINE
C2.08	NEW EXTERIOR SOLID-CORE PAINTED WOOD UPWARD-ACTING GARAGE DOOR DOOR WITH AUTOMATIC GARAGE DOOR OPENER AND MIN 200 SQ. IN VENTILATION
C2.09	NEW INTERIOR DOOR
C3.00	NEW KITCHEN WITH CABINETS, COUNTERS, APPLIANCES AND FIXTURES
C3.01	NEW BATHROOM WITH NEW FIXTURES AND FINISHES, TILE FLOOR AND VENTILATION
C3.03	NEW LAUNDRY CLOSET WITH NEW WASHER & DRYER, NEW CABINETS, VENT AS REQUIRED.
C3.04	NEW CLOSET SYSTEM
C3.05	NEW BIKE STORAGE
C4.00	NEW HARDWOOD FLOORING
C4.01	NEW POLISHED, STAINED AND SEALED CONCRETE FLOORING
C5.00	NEW WOOD SLATED WALL
C5.03	NEW TRENCH DRAIN AT GARAGE DOOR

**WINDER GIBSON**  
architects

www.wgarch.com  
info@wgarch.com  
415.318.6254

1638 mission street  
SAN FRANCISCO, CA 94103

1-415-318-6254

1638 mission street  
SAN FRANCISCO, CA 94103



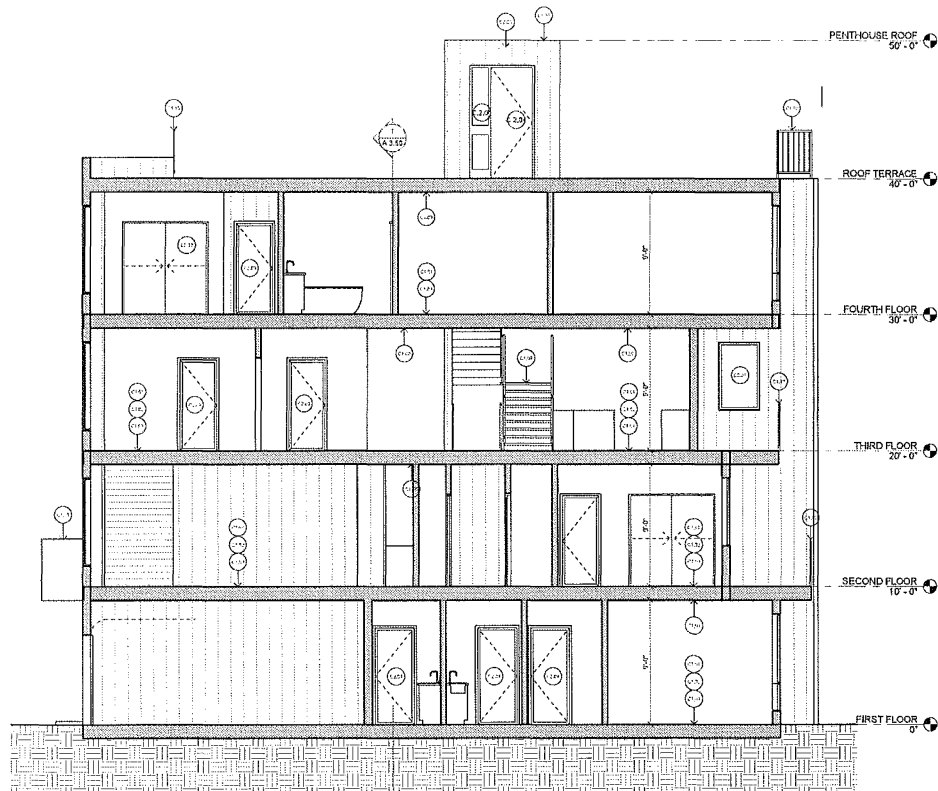
953 TREAT AVENUE  
NORTH & SOUTH BUILDING  
SAN FRANCISCO, CA 94110

SITE PERMIT

SECTION: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

DATE: 03/07/17  
SCALE: 1/8" = 1'-0"  
DRAWN: DP

A3.51



1 EAST - WEST SECTION THROUGH NORTH BUILDING  
1/4" = 1'-0"

CONSTRUCTION SHEET NOTES	
NOTE NO.	COMMENT
C0.00	NEW CONCRETE FOUNDATIONS S.S.D.
C0.01	NEW CONCRETE SLAB
C0.02	NEW CONCRETE SIDEWALK AND CURB CUT
C0.03	NEW SIDEWALK PLANTER
C0.04	LANDSCAPING AT REAR YARD TO BE DETERMINED
C0.05	NEW WOOD FENCE, 6' TALL
C1.00	NEW 5/8" TYPE-X GYPSUM WALLBOARD AT CEILING
C1.01	NEW FLOOR FRAMING
C1.02	NEW ONE-HOUR FIRE-RATED FLOOR ASSEMBLY BETWEEN RESIDENTIAL UNITS AND BETWEEN GARAGE AND RESIDENTIAL UNITS. 5/8" TYPE-X SHEETROCK OVER IC CHANNELS BELOW, 3/4" PLYWOOD SUBFLOOR AND 3/4" HARDWOOD FLOORING ABOVE. R-19 BATT INSULATION, MINIMUM STC 50 (45 FIELD TES)
C1.03	NEW ONE-HOUR FIRE-RATED ASSEMBLY W/ MIN 50 STC AND 50 IIC BETWEEN UNITS
C1.04	NEW ONE-HOUR FIRE-RATED LOW-SLOPE ROOF TERRACE WITH TILE SURFACE OVER MORTAR BED OVER BUILT-UP CLASS-A OR B ROOFING, PLYWOOD SHEATHING, WOOD FRAMING AND 5/8" TYPE-X GYP, SD, AT CEILING, WITH ROOF DRAIN AND OVERFLOW DRAIN OR SCUPPER
C1.05	NEW ONE-HOUR FIRE-RATED SLOPED UNOCCUPIED ROOF WITH BUILT-UP CLASS-A OR B ROOFING, 1 1/8" PLYWOOD, WOOD FRAMING AND 5/8" TYPE-X GYP, SD, AT CEILING, WITH ROOF DRAIN AND OVERFLOW DRAIN OR SCUPPER.
C1.06	NEW NON-RATED LOW-SLOPE UNOCCUPIED ROOF WITH BUILT-UP CLASS-A OR B ROOFING, PLYWOOD SHEATHING, WOOD FRAMING AND 5/8" TYPE-X GYP, SD, AT CEILING, WITH ROOF DRAIN AND OVERFLOW DRAIN OR SCUPPER
C1.07	NEW ONE-HOUR FIRE-RATED 36" HIGH PARAPET WALL WITH INTEGRAL COLOR STUCCO OVER 5/8" TYPE-X GYPSUM SHEATHING ON BOTH SIDES WITH PAINTED WOOD CAP OVER SHEETMETAL FLASHING
C1.08	NEW INTERIOR STAIR, MIN 10" RUN, MAX 7.75" RISE, WITH STEEL STRUCTURE, HARDWOOD TREADS AND RISERS, WOOD GUARDRAIL/HANDRAIL ON ONE SIDE, 36" HIGH, MAX 4" OPENING.
C1.09	NEW 42" HIGH FRAMELESS TEMPERED GLASS GUARDRAIL WITH METAL CAP
C1.10	NEW 42" HIGH FRAMELESS METAL GUARDRAIL POSTS WITH MAX 4 INCH GAP, FRONT OF BUILDING WITH SOLID GUARDRAIL WITH SIDING AND TEMPERED GLASS AT THE ENDS
C1.11	NEW BUILT-IN CABINETS / SHELVES
C1.12	NEW 42" HIGH SOLID GUARDRAILS WITH SIDING AND TEMPERED GLASS AT THE ENDS
C2.00	NEW EXTERIOR STAINED WOOD DOUBLE-GLAZED ENTRY DOOR IN NEW OPENING
C2.01	NEW EXTERIOR POWDER COATED ALUMINUM DOUBLE-GLAZED WINDOW IN NEW OPENING
C2.02	NEW EXTERIOR POWDER COATED ALUMINUM DOUBLE-GLAZED MULTIPANEL SLIDING DOOR IN NEW OPENING
C2.03	NEW EXTERIOR POWDER COATED ALUMINUM DOUBLE-GLAZED SLIDING DOOR IN NEW OPENING
C2.04	NEW EXTERIOR POWDER COATED ALUMINUM DOUBLE-GLAZED SWING DOOR UNIT IN NEW OPENING
C2.05	NEW INTERIOR BARN DOOR
C2.06	NEW DOUBLE-GLAZED, TEMPERED, FIXED, ALUMINUM CURB-MOUNTED SKYLIGHT
C2.07	NEW 45 MINUTE FIRE-RATED EXTERIOR STEEL DOUBLE-GLAZED WINDOW WITH FIRELITE GLASS AT PROPERTY LINE
C2.08	NEW EXTERIOR SOLID-CORE PAINTED WOOD UPWARD-ACTING GARAGE DOOR WITH AUTOMATIC GARAGE DOOR OPENER AND MIN 200 SQ. IN VENTILATION
C2.09	NEW INTERIOR DOOR
C3.00	NEW KITCHEN WITH CABINETS, COUNTERTOPS, APPLIANCES AND FIXTURES
C3.01	NEW BATH-ROOM WITH NEW FIXTURES AND FINISHES, TILE FLOOR AND VENTILATION
C3.03	NEW LAUNDRY CLOSET WITH NEW WASHER & DRYER, NEW CABINETS, VENT AS REQUIRED.
C3.04	NEW CLOSET SYSTEM
C3.05	NEW BIKE STORAGE
C4.00	NEW HARDWOOD FLOORING
C4.01	NEW POLISHED, STAINED AND SEALED CONCRETE FLOORING
C5.00	NEW WOOD SLATED WALL
C5.03	NEW TRENCH DRAIN AT GARAGE DOOR

**WINDER GIBSON**  
architects

3rd floor  
phone  
415.318.2534

www.wgarch.com

1 415.318.2534

1833 mississippi street  
san francisco ca 94103



933 TREAT AVENUE  
NORTH & SOUTH BUILDING  
SAN FRANCISCO, CA 94110

SITE PERMIT

SECTION:	

DATE: 03/20/17  
SCALE: 1/4" = 1'-0"  
DRAWN: [Signature]

A3.52

**WINDER  
GIBSON**  
architects

WWW.WGARCH.COM

L. WILSON  
ARCHITECT  
REGISTERED ARCHITECT



953 TREAT AVENUE  
NORTH & SOUTH BUILDING  
SAN FRANCISCO, CA 94110

SITE PERMIT

REVISIONS

A19.01

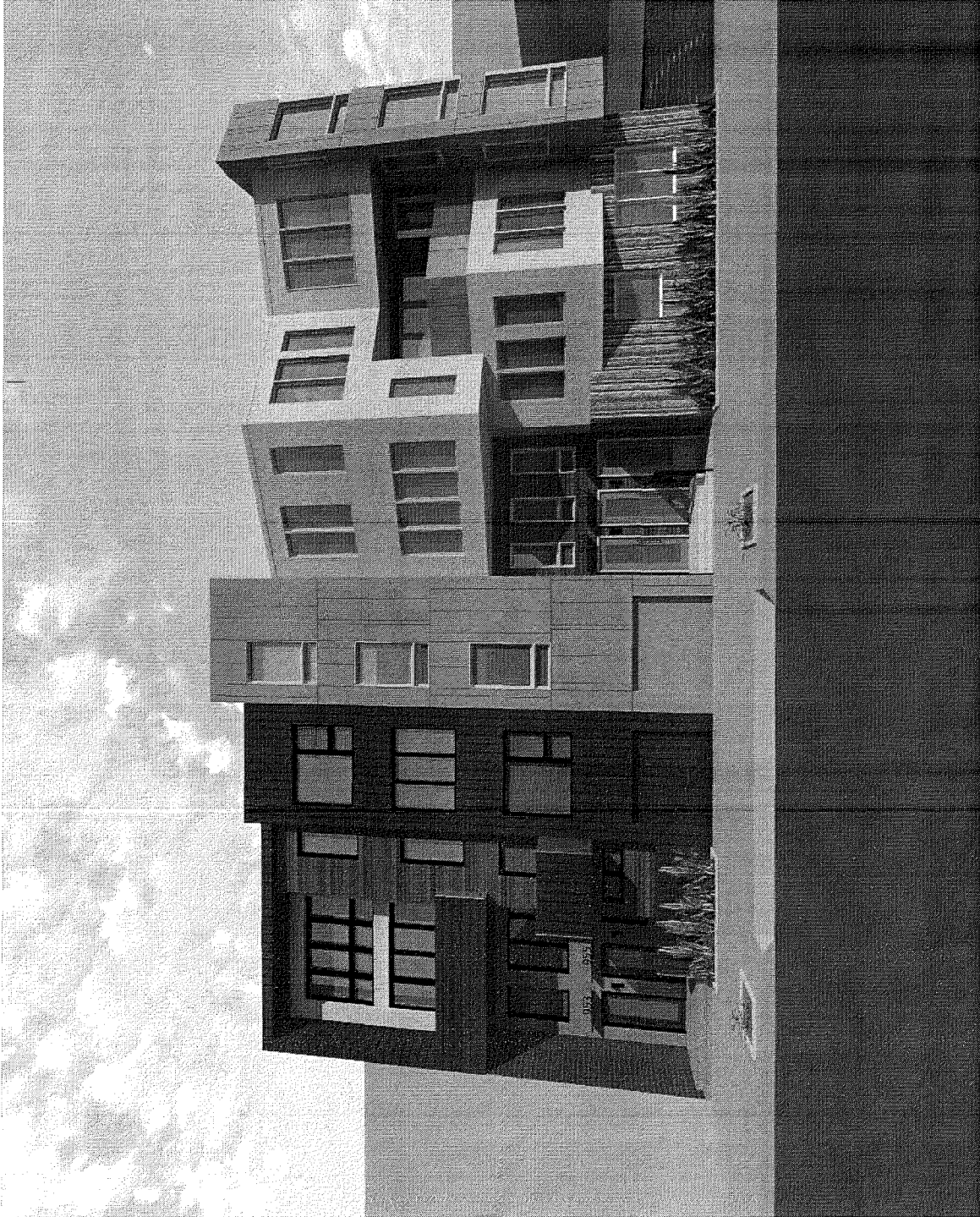
DATE	SCALE	DATE	SCALE



PROPOSED FRONT FACADE VIEW- LOOKING SOUTHEAST



NO.	DATE	BY	REVISION



PROPOSED FRONT FACADE VIEW-LOOKING EAST

**WINDER  
GIBSON**  
architects  
WINDER GIBSON ARCHITECTS  
1000 CALIFORNIA STREET  
SAN FRANCISCO, CA 94108  
WWW.WGARCHITECTS.COM

1415 10/28/24  
1929 01/28/25  
1929 01/28/25



953 TREAT AVENUE  
NORTH & SOUTH BUILDING  
SAN FRANCISCO, CA 94110

SITE PERMIT

PROJECT:  
DATE:  
SCALE:  
SHEET NO.:

A19.03

DATE: 10/28/24  
SCALE: 1/8" = 1'-0"  
SHEET NO. 1929



PROPOSED FRONT FACADE VIEW- LOOKING NORTHEAST



PROPOSED NORTH BUILDING ENTRY- VIEW LOOKING SOUTHEAST



**WINDER  
GIBSON**  
architects

3000  
SAN FRANCISCO  
94110

WWW.WGIBSON.COM

L. LEE JORDAN  
ARCHITECT  
SAN FRANCISCO, CA 94110



953 TREAT AVENUE  
NORTH & SOUTH BUILDING  
SAN FRANCISCO, CA 94110

SITE PERMIT

REVISIONS:  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

A 9.05

DATE: 01/11/11  
SCALE: AS SHOWN  
DRAWN BY: [blank]  
CHECKED BY: [blank]  
DATE: 01/11/11

1529



PROPOSED SOUTH BUILDING ENTRY- LOOKING NORTHEAST

**WINDER  
GIBSON**  
architects

www.wgibson.com  
1415 BISHOP  
SAN FRANCISCO, CA 94103



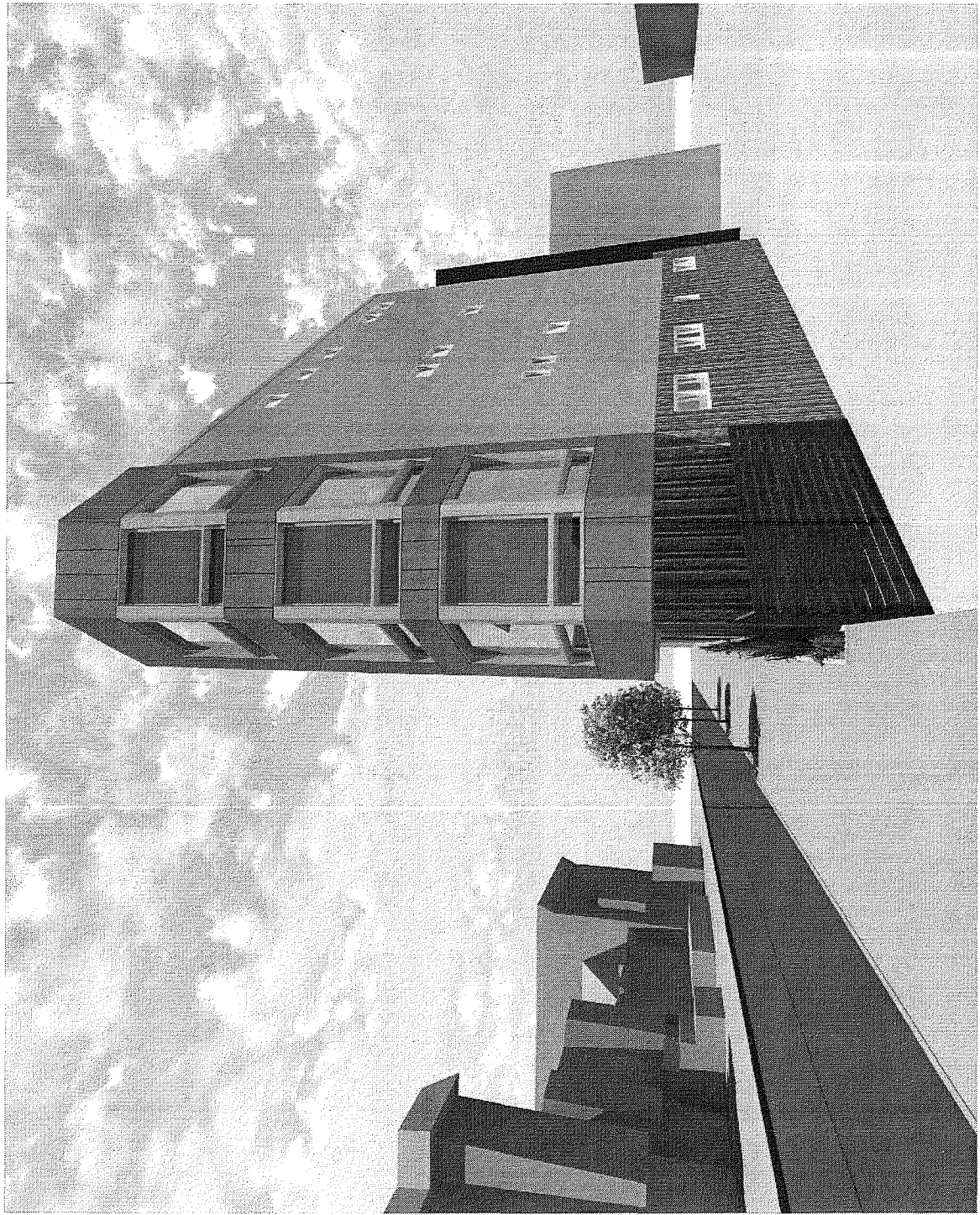
953 TREAT AVENUE  
NORTH & SOUTH BUILDING  
SAN FRANCISCO, CA 94110

SITE PERMIT

PROJECT NO.	
DATE	
SCALE	
DRAWN BY	
CHECKED BY	
DATE	
PROJECT NO.	
DATE	
SCALE	
DRAWN BY	
CHECKED BY	
DATE	

A19.06

DATE: 10/11/19  
SCALE: 1/8"=1'-0"  
DRAWN BY: JG  
CHECKED BY: JG  
DATE: 10/11/19



PROPOSED SIDE FACADE VIEW-LOOKING NORTH

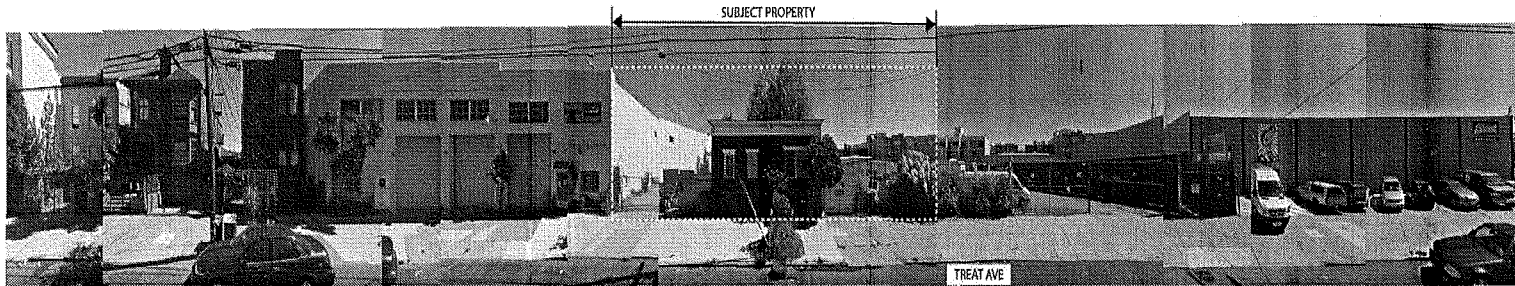
**WINDER  
GIBSON**  
architects

Sketches  
Planning  
Architecture

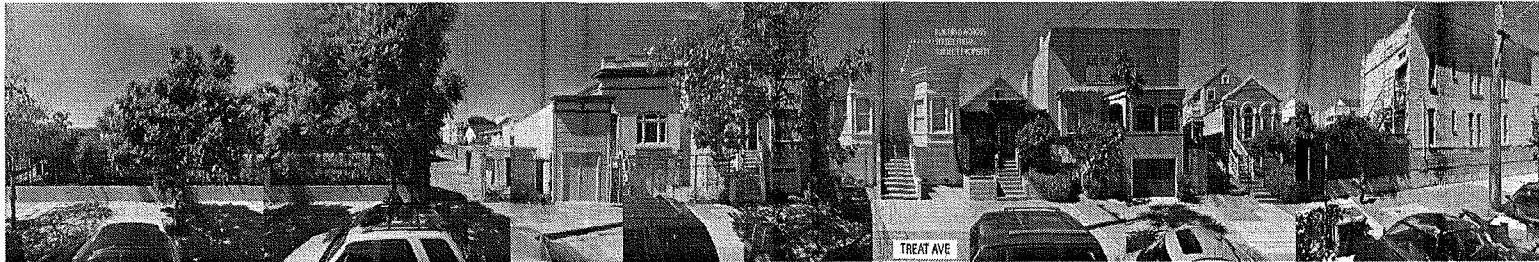
www.wcgarch.com

L 415.318.6034

1830 mission street  
san francisco, ca 94103



SUBJECT PROPERTY AND ADJACENT BUILDINGS (LOOKING SOUTH)



BUILDINGS ACROSS THE STREET FROM SUBJECT PROPERTY (LOOKING NORTH)

933 TREAT AVENUE  
NORTH & SOUTH BUILDING  
SAN FRANCISCO, CA 94110

SITE PERMIT

EXISTING PHOTOS  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

DATE: \_\_\_\_\_  
SCALE: \_\_\_\_\_  
DRAWN: \_\_\_\_\_  
ID: \_\_\_\_\_

A 9.50

1599

**WINDER  
GIBSON**  
architects

Interior  
Exterior  
Landscape

www.archsf.com

L 415.318.0334

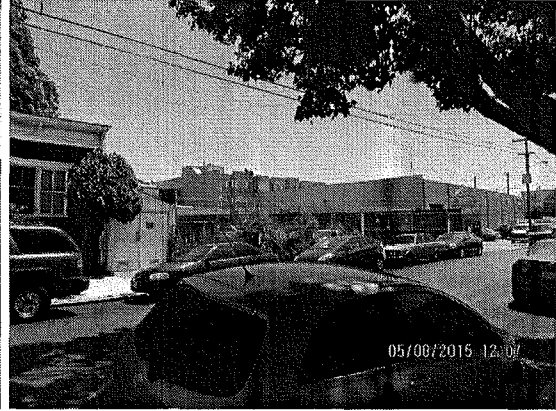
1632 Mission Street  
San Francisco, CA 94103



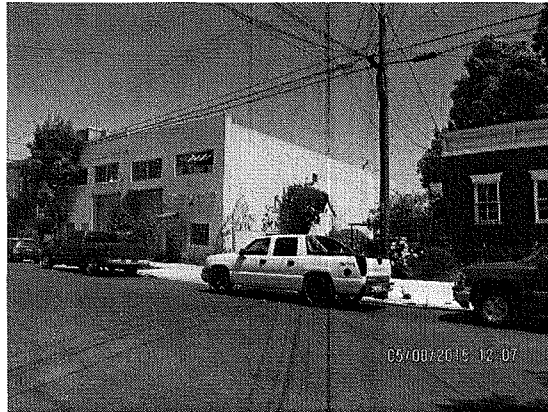
EXISTING BUILDING- LOOKING NORTHEAST



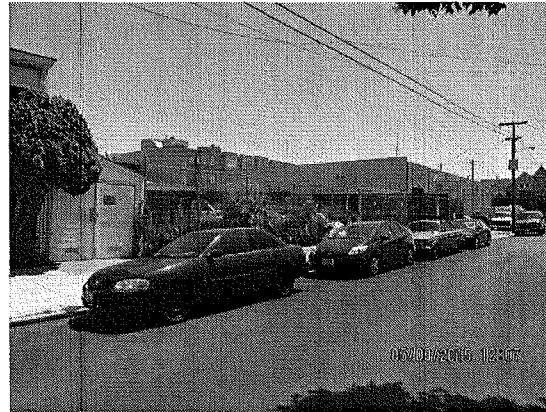
EXISTING BUILDING- LOOKING EAST



TREAT STREET- LOOKING SOUTHEAST



TREAT STREET- LOOKING NORTHEAST



TREAT STREET- LOOKING SOUTHEAST

953 TREAT AVENUE  
NORTH & SOUTH BUILDING  
SAN FRANCISCO, CA 94110

SITE PERMIT

EXISTING PHOTOS

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

DATE 05/07/17  
SCALE  
DRAWN ID

A9.51

1509

**WINDER  
GIBSON**  
architects

100  
MARKET  
SAN FRANCISCO, CA 94102

WWW.WGARCH.COM

L. PLS. J. BARNETT  
1001 MARKET ST. SUITE 100  
SAN FRANCISCO, CA 94102



953 TREAT AVENUE  
NORTH & SOUTH BUILDING  
SAN FRANCISCO, CA 94110

SITE PERMIT

EXHIBIT PHOTOS

A 9.52

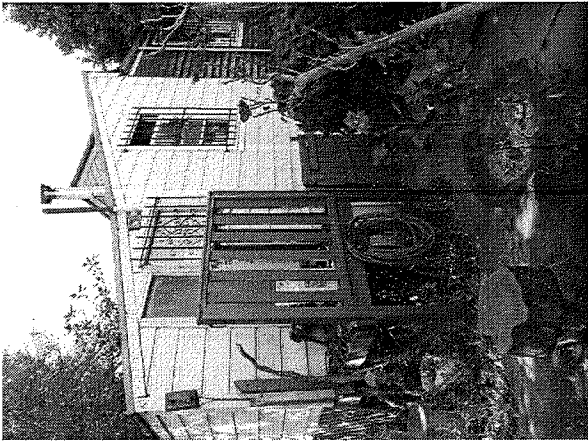
DATE: 10/15/10  
SCALE: AS SHOWN  
SHEET: 02  
PROJECT: 1001



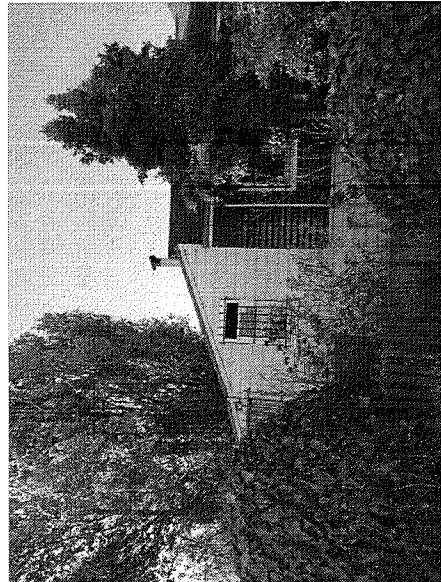
EXISTING BUILDING- LOOKING WEST



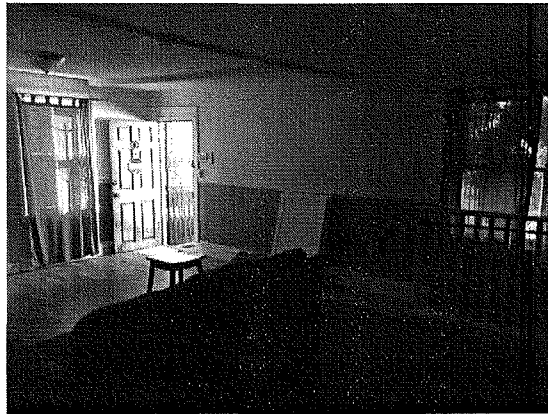
EXISTING BUILDING- LOOKING NORTHEAST



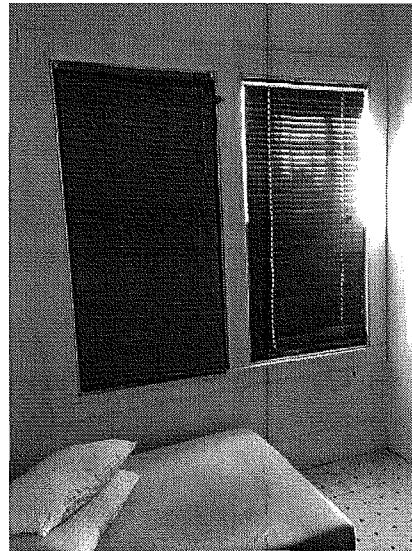
EXISTING BUILDING- LOOKING SOUTHWEST



EXISTING BUILDING- LOOKING SOUTH



EXISTING BUILDING- LIVING ROOM



EXISTING BUILDING- BEDROOM



EXISTING BUILDING- BEDROOM



EXISTING BUILDING- BATHROOM



EXISTING BUILDING- KITCHEN



EXISTING BUILDING- LAUNDRY ROOM

**WINDER  
GIBSON**  
architects

interior  
exterior  
photography

www.wgarch.com

1.415.318.8234

1855 mission street  
san francisco, ca 94103



**953 TREAT AVENUE**  
NORTH & SOUTH BUILDING  
SAN FRANCISCO, CA 94110

SITE PERMIT

EXISTING PHOTOS

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

DATE: \_\_\_\_\_

SCALE: \_\_\_\_\_

DRAWN BY: \_\_\_\_\_

ID: \_\_\_\_\_

**A9.53**

1999



**PROJECT  
SPONSOR  
SUBMITTAL**



February 2, 2017

Shadi AbouKhater  
953 Treat Avenue, LP  
[shadi@SAKDesignBuilding.com](mailto:shadi@SAKDesignBuilding.com)  
415.823.1110

RE: 953 Treat Avenue

Mr. AbouKhater,

Page & Turnbull prepared a Historic Resource Evaluation (HRE) for the property at 953 Treat Avenue, which was finalized on April 27, 2015. The conclusion of the report was that the cottage, originally constructed in 1887 with additions and expansions made before 1915, is not associated to important events, people, or architectural design, and therefore is not eligible for listing in the California Register of Historical Resources (California Register). As a result, the HRE found that the building does not qualify as a historic resource for the purposes of the California Environmental Quality Act (CEQA). This was the second HRE to make that conclusion; the first was prepared by James Heinzer in 2005. The San Francisco Planning Department concurred on Page & Turnbull's HRE findings in its CEQA Categorical Exemption Determination, dated November 10, 2015.

We understand that architectural historian Katherine Petrin has submitted a letter to the Planning Department on January 27, 2017. Ms. Petrin's letter is incorrect in stating that the 2010 South Mission Historic Resource Survey produced two status codes: 3CS ("appears eligible or the California Register as an individual property through survey evaluation") and 7N ("needs to be reevaluated"). Only the 7N status code was attributed to the parcel on the San Francisco Planning Department Property Information Map (PIM) or any survey materials. A copy of the PIM data is attached to this letter. As the HRE states,

- The map of *Complete Survey Findings* shows the parcel as a "Non-Resource property identified by survey"<sup>1</sup>;

---

<sup>1</sup> "Complete Survey Findings," updated 11/09/2010. [http://www.sf-planning.org/ftp/files/Preservation/South\\_Mission/Map\\_of\\_Historic\\_Resource\\_Survey\\_Findings.pdf](http://www.sf-planning.org/ftp/files/Preservation/South_Mission/Map_of_Historic_Resource_Survey_Findings.pdf)

- The map of *Individually Eligible Historic Resources and Potential Historic Districts* and the interactive *South Mission Historic Resource Survey Map* show the parcel as a “Potential Historic Resource identified by survey - requires further research”<sup>2</sup>;
- Matrix of all surveyed properties assigns a CHRSC of 7R to 953 Treat Avenue, noting that its resource eligibility was “not determined: requires intensive research.”<sup>3</sup>

Ms. Petrin’s letter notes that former property owner John Center/the John Center Company was a major landowner who installed a water supply system that prevented destruction of a portion of the Mission District from the fires that were caused by the April 18, 1906 earthquake. While John Center may have been locally significant for this feat, Ms. Petrin’s letter does not demonstrate that the cottage at 953 Treat Avenue is individually significant in direct association with this act. Indeed, according to Ms. Petrin’s letter, “The fire was halted at 20<sup>th</sup> Street just a few blocks north of 953 Treat.”<sup>4</sup> The fire was not stopped *at the subject street or property*, nor did Center live at the property during the time that he and his company owned it. According to the 2005 HRE, he was “the largest landowner in the Mission District from the 1860s to his death at age 92 in 1908. [...] His holdings were so extensive that one newspaper in 1908 stated that hardly a parcel in the Mission District did not have in its chain of title the John Center Company.”<sup>5</sup> His water system prevented 953 Treat Avenue from being destroyed by fire, but also presumably saved all of the other buildings in the immediate vicinity. Ms. Petrin’s letter corroborates this by stating that John Center contributed to “saving hundreds of buildings in the Mission District from the post-earthquake fires.”<sup>6</sup>

While the building survived the 1906 earthquake, this does not automatically warrant individual significance or eligibility for listing in the California Register. According to the evaluation process that is outlined in National Register Bulletin 15, which is the basis of the California Register criteria evaluation process, to be considered for listing under National Register Criterion A (California Register Criterion 1), a property must be associated with one or more events important in the defined historic context. Criterion A/1 recognizes properties associated with single events, such as the founding of a town, or with a pattern of events, repeated activities, or historic trends, such as the gradual rise of a port city’s prominence in trade and commerce. The event or trends, however, must clearly be important within the associated context: settlement, in the case of the town, or development of a maritime economy, in the case of the port city. Moreover, *the property must have*

---

<sup>2</sup> “Individually Eligible Historic Resources and Potential Historic Districts,” updated 11/09/2010, [http://www.sf-planning.org/ftp/files/Preservation/South\\_Mission/Map\\_of\\_Individual\\_Historic\\_Resources.pdf](http://www.sf-planning.org/ftp/files/Preservation/South_Mission/Map_of_Individual_Historic_Resources.pdf); South Mission Historic Resource Survey Map, <http://sf-planning.org/south-mission-historic-resource-survey-map>

<sup>3</sup> “List of Surveyed Properties,” 8/31/2010, [http://www.sf-planning.org/ftp/files/Preservation/South\\_Mission/Indiv\\_address.pdf](http://www.sf-planning.org/ftp/files/Preservation/South_Mission/Indiv_address.pdf)

<sup>4</sup> Katherine Petrin, “Re: 953 Treat Avenue (APN 3639/028),” (January 27, 2017): 3.

<sup>5</sup> James Heinzer, Historic Resource Evaluation for 953 Treat Avenue (April 28, 2005): 4.

<sup>6</sup> Petrin, “Re: 953 Treat Avenue,” 3.

*an important association with the event or historic trends, and it must retain historic integrity* (italics added for emphasis by author).<sup>7</sup> Ms. Petrin has not demonstrated that 953 Treat Avenue has a direct and important association that represents its surrounding neighborhood's survival of the 1906 earthquake and fires that rises above most other properties in the immediate area. Page & Turnbull retains the stance described in the 2015 HRE that the property is not significant under California Register Criterion 1.

Furthermore, according to the evaluation process that is outlined in National Register Bulletin 15, a finding of significance under National Register Criterion B (or California Register Criterion 2) involves several steps. First, the person associated with the property must be identified as individually significant within a historic context. They cannot simply be a member of an identifiable profession, class, or social or ethnic group. The person must have gained importance within his or her profession or group. Second, a property eligible under Criterion B/2 must be associated with the person's productive life, reflecting the time period when he or she achieved significance. Among all places associated with the person, the subject building must best represent his or her contribution.<sup>8</sup> Ms. Petrin has not demonstrated that the cottage at 953 Treat Avenue best represents John Center's significance such that the building would be individually significant in association, when John Center and the John Center Company owned a large expanse of land with a number of buildings on it, and John Center's water system apparently saved hundreds of buildings. Page & Turnbull retains the stance described in the 2015 HRE that the property is not significant under California Register Criterion 2.

In conclusion, Page & Turnbull does not believe that Ms. Petrin's letter demonstrates that the building at 953 Treat Avenue is individually significant and eligible for listing in the California Register. We continue to support our finding from the HRE that the building is not eligible and should not be considered a historic resource for the purposes of CEQA.

---

<sup>7</sup> U.S. Department of the Interior, National Park Service, National Register Bulletin 15: How to Apply the National Register Criteria for Evaluation. [https://www.nps.gov/nr/publications/bulletins/nrb15/nrb15\\_6.htm](https://www.nps.gov/nr/publications/bulletins/nrb15/nrb15_6.htm)

<sup>8</sup> Ibid.



# SAN FRANCISCO PLANNING DEPARTMENT

---

## Report for: 953 TREAT



### Property Report: 953 TREAT

General information related to properties at this location.

PARCELS (Block/Lot):

3639/028

PARCEL HISTORY:

None

ADDRESSES:

953 TREAT AVE, SAN FRANCISCO, CA 94110

NEIGHBORHOOD:

Mission

CURRENT PLANNING TEAM:

SE Team

PLANNING DISTRICT:

District 8: Mission

SUPERVISOR DISTRICT:

District 9 (Hillary Ronen)

CENSUS TRACTS:

2010 Census Tract 022803

TRAFFIC ANALYSIS ZONE:

Traffic Analysis Zone: 170

RECOMMENDED PLANTS:

Would you like to grow plants that create habitat and save water? Check out the plants that we would recommend for this property at SF Plant Finder.

CITY PROPERTIES:

None

PORT FACILITIES:

None

ASSESSOR'S REPORT:

Address: 953 TREAT AV  
Parcel: 3639028  
Assessed Values:  
Land: \$25,284.00  
Structure: \$75,942.00  
Fixtures: -  
Personal Property: -  
Last Sale: 3/26/2015  
Last Sale Price: \$1,900,000.00  
Year Built: 1891  
Building Area: 738 sq ft  
Parcel Area: 3,750 sq ft  
Parcel Shape: Other  
Parcel Frontage: -  
Parcel Depth: -  
Construction Type: Wood or steel frame  
Use Type: Dwelling  
Units: 1  
Stories: 1  
Rooms: 5  
Bedrooms: -  
Bathrooms: 1  
Basement: -

---

Historic Preservation Report: 953 TREAT

Historic preservation surveys and evaluations. The Historic Resource status shown on this page is tentative, to confirm the status of your property please speak to a Preservation Technical Specialist. Tel: 415-558-6377; Email: [pic@sfgov.org](mailto:pic@sfgov.org)

HISTORIC EVALUATION:

Parcel: 3639028  
Building Name:  
Address: 953 TREAT AV  
Planning Dept. Historic Resource Status: C - No Historic Resource Present / Not Age Eligible

ARTICLE 10 DESIGNATED HISTORIC DISTRICTS AND LANDMARKS:

None

ARTICLE 11 PRESERVATION DESIGNATION:

None

NATIONAL REGISTER HISTORIC DISTRICTS:

None

CALIFORNIA REGISTER HISTORIC DISTRICTS:

None

HISTORIC RESOURCE EVALUATION RESPONSES:

Planning App. No.: 2015-006510ENV  
Date: 3/25/2016  
Decision: No Historic Resource Present  
Individual or District: Both  
Further Information: [View](#)  
Planning App. No.: 2005.0429E  
Date: 10/14/2005  
Decision: No Historic Resource Present  
Individual or District:  
Further Information: [View](#) [View](#)

HISTORIC SURVEYS:

Parcel: 3639028  
Survey Name: [South Mission Historic Resource Survey](#)  
Evaluation Date: 11/30/2010  
Survey Rating: 7N  
Rating Description: Needs to be reevaluated (Formerly NR Status Code 4)

---

[View DPR Survey Form for Parcel 3639028](#)

SOUTH MISSION HISTORIC RESOURCE SURVEY:

Parcel: 3639/028  
Address: 953 TREAT AV  
Resource Attribute 1: HP2. Single Family Property  
Resource Attribute 2:  
Year Built: 1891  
Year Built Source: SF Assessor  
Architectural Style: Italianate  
CHRSC: 7N  
Resource Type: Individual (potential)  
Resource Eligibility: not determined: requires intensive research

Historic District:

Survey Form/Photo:

[Click to view Form](#)

[View South Mission Historic Resource Survey Website](#)

HISTORIC CONTEXT STATEMENTS:

None

LEGACY BUSINESS REGISTRY:

None

ARCHITECTURE:

Unknown

*The Disclaimer: The City and County of San Francisco (CCSF) does not guarantee the accuracy, adequacy, completeness or usefulness of any information. CCSF provides this information on an 'as is' basis without warranty of any kind, including but not limited to warranties of merchantability or fitness for a particular purpose, and assumes no responsibility for anyone's use of the information.*

Printed: 2/2/2017

<http://propertymap.sfplanning.org>

# 953 TREAT AVE OPPOSITION CLARIFICATION

1. Letter from planned sponsor shedding light on real person driving opposition.
2. Signed Support Letter from Residential Neighbor Don DeMartini who has lived in the area for decades and knows Earnest Heinzer well.
3. Signed Support Letter from other Residential Neighbors
4. E-mail from Jan 5<sup>th</sup> 2016 showing Ernest and Katherine working together with their names highlighted.
5. The 2005 HRE classifying 953 Treat as non-historical for a project to demo the structure. Earnest R. Heinzer is highlighted as the project sponsor.



February 3<sup>rd</sup>, 2017

Dear Planning Commission,

As the project sponsor of 953 Treat Ave, I have put a lot of time and effort in neighborhood outreach. It is rare to have such strong neighborhood support for a development project in San Francisco. As you can see with the attachments I have signed letters of support for the project. The lot currently has a very small single family home in very poor shape. We are looking to replace it with a multi-unit building that can house more families. I think it is important to understand this is a good project supported by the neighbors (who are residents and not commercial tenants) and the Planning Department, bringing more housing to San Francisco and replacing a dilapidated small home that attracts crime.

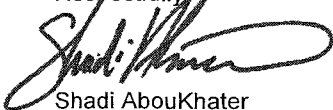
I would like to shed some light on the motivation for Katherine Petrin's opposition to 953 Treat Ave historic findings. The person who is really driving this opposition is Ernest Heinzer. Ernest and his brother Jim Heinzer owned 953 Treat Ave and the next door commercial building together. Back in 2005 Ernest and Jim were the sponsors to demo 953 Treat Ave. It was found to be non-historical and the demo was approved, file attached. (On the bottom of Page 3 you can see that Ernest is listed as one of the project sponsors). They subsequently did not go through with the project. Fast forward to 2014 Jim and Ernest split up their assets which gave Jim 953 Treat Ave, with Ernest keeping 933 Treat Ave next door. Jim then sold it to us included with the historic findings and previous plans to demo the property in the disclosures.

Jim and Ernest had a falling out and no longer really speak with each other. From speaking with all the residents in the area Ernest is a very difficult person. He has yelled at neighbors' children, scared his tenants, etc. I have spoken to many of his current commercial tenants and they are in fear of losing their lease if they don't show some type of support on this opposition. Ernest does not like change and has grown some type of personal attachment to the 953 Treat Ave and also may feel like this is a way to get back his brother. We may unfortunately be in the middle of some kind of a brother feud.

Ernest engaged Katherine Petrin last year in order to find a way to preserve the building, as evidenced by the attached email dated January 5, 2016 to Justin, including Katherine in the To list (Notably, Luke Dechanu is not even included in this email). Ernest and Katherine have held several meetings with Ernest's tenants and even tried to gather some actual residents that live in the area. None of the residents will support Ernest and I actually have a letter from the residents supporting our project. As I had mentioned before the only reason any of Ernest's tenants may support him is from the fear of losing their commercial lease. Luke Dechanu is one of these commercial tenants. I reached out to Luke last year and never heard back from him. He had no interest in speaking with me. I also reached out to Katherine last year and she was coy with me and said she was just an interested party. Luke and Katherine will tell you they are acting on their own at this point as Ernest knows he has a conflict of interest. But, as Justin knows he reached out to him with Katherine on the e-mail on January 5, 2016, a copy attached. I was told by one of the tenants that in the last meeting Katherine had to say she was working on her own due to Ernest's conflict of interest. We are also a bit concerned about the misrepresentations in Katherine's document stating that the "Friends of 953 Treat" is a group comprised of neighbors. The document was not signed by any neighbors as my letters attached are. We don't believe there are any actual "Friends of 953 Treat" and the representation of this as a neighborhood group is false and misleading. This group appears to solely consist of couple people, (Luke Dechanu) acting on behalf of Ernest in order to keep him in the shadows.

This project has undergone two historical reviews, once in 2005 and once in 2015, both of which were found to be NON-Historical by third parties and the Planning Department. We have now also had Page & Turnbull review Ms. Patrin's claims to which Page & Turnbull has refuted and holds the designation that 953 Treat Ave is NON-Historical. As you can imagine this is very frustrating. We have gained true neighborhood support for this project and worked hard to design a building that works with the neighborhood and the Planning Department could support. We are now faced with one man who does not like change that is disguising this opposition as a historical debate. This must be frustrating for you as well as it is a poor use of Planning Departments resources.

Respectfully



Shadi AbouKhater  
Project Sponsor

953 Treat Ave

Dear Justin and Tina,

We are writing you to express our support of the proposed project at 953 Treat Ave. The structure currently on the property is in extremely poor condition. It has no foundation, and windows, walls and roof are falling apart. The building attracts homeless and undesirables to the area. Many of us have young children and use the park down the street. The demo of the building and construction of 4 family oriented condos would be a welcome and needed change to the property and the Treat neighborhood. We know and see no reason this building should be preserved.

Ernie Heinzer has approached us to gain support in keeping the building. As you can see from this letter his views are not supported. We also find it a bit disingenuous of him since he looked to gain support for demo of the building in 2005 when it suited his needs. We hope that he is not slowing down the process to make the proposed project at 953 Treat Ave a reality. We sincerely appreciate your consideration in this matter.

X Donald DeMartini

NAME:

X Janet L. DeMartini

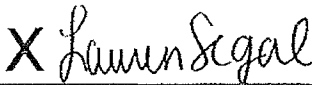
NAME:

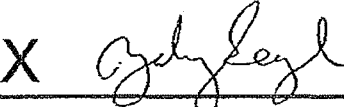
953 Treat Ave


Thursday, March 24, 2016

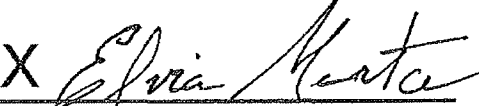
Dear Justin and Tina,


We are writing you to express our support of the proposed project at 953 Treat Ave. The structure currently on the property is in extremely poor condition. It has no foundation, and windows, walls and roof are falling apart. The building attracts homeless and undesirables to the area. Many of us have young children and use the park down the street. The demo of the building and construction of 4 family oriented condos would be a welcome and needed change to the property and the Treat neighborhood. We know and see no reason this building should be preserved. We hope that there is nothing slowing down the process to make the proposed project at 953 Treat Ave a reality. We sincerely appreciate your consideration in this matter.

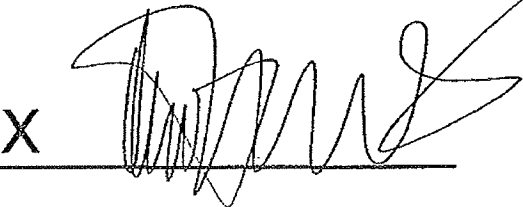
X   
NAME: Lauren Segal

X   
NAME: Zachary Segal

X   
NAME: BRYAN JAMAY

X   
NAME: ELVIA MARTA

X   
NAME: Carmela Zavaleta

X   
NAME: Oscar Zavaleta

923-9257  
Treat

**Ernie Heinzer**

**From:** "Ernest Heinzer" <erheinzer@mindspring.com>  
**To:** "Ernest Robert Heinzer" <ernest@eaheinzer.com>; "Mike Buhler" <MBuhler@sfheritage.org>;  
"Kathrine Petrin" <petrinkatherine@gmail.com>  
**Sent:** Tuesday, January 05, 2016 10:55 AM  
**Attach:** ATT00049.png; ATT00050.png; ATT00051.png; ATT00052.png; ATT00053.png  
**Subject:** Fwd: RE: 953 Treat Ave.

----- Forwarded Message -----

**Subject:** RE: 953 Treat Ave.  
**Date:** Tue, 5 Jan 2016 16:58:17 +0000  
**From:** Greving, Justin (CPC) <justin.greving@sfgov.org>  
**To:** Ernest Heinzer <erheinzer@mindspring.com>

Ernest,

I have not begun my review of the project. It is 4<sup>th</sup> in my queue so I will likely not get to it until the end of January.

\*Justin Greving  
Preservation Planner\*

Planning Department, City and County of San Francisco  
1650 Mission Street, Suite 400, San Francisco, CA 94103

\*Direct: \*415-575-9169 \*Fax: \*415-558-6409

\*Email: \*justin.greving@sfgov.org <mailto:justin.greving@sfgov.org>\_

\*Web: \*www.sfplanning.org <http://www.sfplanning.org/>

facebook-logo-square <https://www.facebook.com/sfplanning>flickr  
<http://www.flickr.com/photos/sfplanning>twitter-logo-square  
<https://twitter.com/sfplanning>you-tube1  
<http://www.youtube.com/sfplanning>mail <http://signup.sfplanning.org/>

\*Planning Information Center (PIC):\*415-558-6377 or pic@sfgov.org  
<mailto:pic@sfgov.org>

\*Property Information Map (PIM):\*http://propertymap.sfplanning.org

-----Original Message-----

**From:** Hilyard, Gretchen (CPC)  
**Sent:** Tuesday, December 29, 2015 10:09 AM  
**To:** Ernest Heinzer  
**Cc:** Greving, Justin (CPC)  
**Subject:** RE: 953 Treat Ave.

Hi Ernest,



# PLANNING DEPARTMENT

City and County of San Francisco • 1660 Mission Street, Suite 500 • San Francisco, California • 94103-2414

MAIN NUMBER (415) 558-6378	DIRECTOR'S OFFICE PHONE: 558-6411 4TH FLOOR FAX: 558-6426	ZONING ADMINISTRATOR PHONE: 558-6350 5TH FLOOR FAX: 558-6409	PLANNING INFORMATION PHONE: 558-6377 MAJOR ENVIRONMENTAL FAX: 558-5991	COMMISSION CALENDAR INFO: 558-6422 INTERNET WEB SITE <a href="http://SFGOV.ORG/PLANNING">SFGOV.ORG/PLANNING</a>
-------------------------------	--	---	---	--

## MEMORANDUM: Historic Resource Evaluation Response

MEA Planner: Nannie Turrell

Project Address: 953 Treat Avenue  
Block: 3639, Lot: 028  
Case No.: 2005.0429E  
Date of Review: 9-15-05

Planning Department Reviewer:  
Winslow Hastie  
415-558-6381  
winslow.hastie@sfgov.org

### Preparer / Consultant

Name: James W. Heinzer  
Company: n/a  
Address: 933 Treat Ave., SF, CA  
Phone: 824-1237  
Fax: 824-1285  
Email: jim@eaheinzer.com

### Owner

Name: same as Preparer  
Company:  
Address:  
Phone:  
Fax:  
Email:

### PROPOSED PROJECT

- Demolition
- Alteration

### Project description:

To demolish the existing single-family dwelling.

### Pre-Existing Historic Rating / Survey

None. Constructed pre-1913.

### Historic District / Neighborhood Context

This residence is located in a mixed-use residential, commercial and industrial area within the Mission neighborhood.

NOTE: If the property is a pre-existing known historical resource, skip to section 3 below.

**1.) California Register Criteria of Significance:** Note, a building may be an historical resource if it meets any of the California Register criteria listed below. If more information is needed to make such a determination please specify what information is needed. (This determination for California Register Eligibility is made based on existing data and research provided to the Planning Department by the above named preparer / consultant and other parties. Key pages of report and a photograph of the subject building are attached.)

- **Event:** or  Yes  No  Unable to determine
- **Persons:** or  Yes  No  Unable to determine
- **Architecture:** or  Yes  No  Unable to determine
- **Information Potential:**  Further investigation recommended.

**District or Context**  Yes, may contribute to a potential district or significant context

**If Yes; Period of significance:**

Notes: This simple, shingled flat-front Italianate cottage is not significant architecturally, nor does it appear from the information provided that any significant events or persons are associated with the property. Therefore, the subject building is not eligible for the California Register, nor would it be considered an historical resource per CEQA.

**2.) Integrity** is the ability of a property to convey its significance. To be a resource for the purposes of CEQA, a property must not only be shown to be significant under the California Register criteria, but it also must have integrity. To retain historic integrity a property will always possess several, and usually most, of the aspects. The subject property has retained or lacks integrity from the period of significance noted above:

not

location,  Retains  Lacks  
design,  Retains  Lacks  
materials,  Retains  Lacks  
workmanship  Retains  Lacks

setting,  Retains  Lacks  
feeling,  Retains  Lacks  
association.  Retains  Lacks

Notes: Since the building is not an historical resource per CEQA the analysis of its historic integrity is not an issue.

**3.) DETERMINATION: Whether the property is an "historical resource" for purposes of CEQA**

No Resource Present (Go to 6. below)       Historical Resource Present (Continue to 4.)       Category A (1/2)  
 Category B  
 Category C

Notes:

**4.) If the property appears to be an historical resource, whether the proposed project is consistent with the Secretary of Interior's Standards or if any proposed modifications would materially impair the resource (i.e. alter in an adverse manner those physical characteristics which justify the property's inclusion in any registry to which it belongs).**

- The project appears to meet the Secretary of the Interior's Standards. (go to 6. below) (Optional)  See attached explanation of how the project meets standards.  
 The project is **NOT** consistent with the Secretary of the Interior's Standards and is a significant impact as proposed. (Continue to 5. if the project is an alteration)

Notes:

**5.) Character-defining features of the building to be retained or respected in order to avoid a significant adverse effect by the project, presently or cumulatively, as modifications to the project to reduce or avoid impacts. Please recommend conditions of approval that may be desirable to mitigate the project's adverse effects.**

**6.) Whether the proposed project may have an adverse effect on off-site historical resources, such as adjacent historic properties.**

Yes  No  Unable to determine

**PRESERVATION COORDINATOR REVIEW**

Signature

  
Mark Luellen, Preservation Coordinator

Date

10-14-05

Cc: A. Green, Recording Secretary, Landmarks Preservation Advisory Board  
M. Oropeza-Singh / Historic Resource Impact Review File



# PLANNING DEPARTMENT

City and County of San Francisco • 1660 Mission Street, Suite 500 • San Francisco, California • 94103-2414

MAIN NUMBER  
(415) 558-6378

DIRECTOR'S OFFICE  
PHONE: 558-6411

4TH FLOOR  
FAX: 558-6426

ZONING ADMINISTRATOR  
PHONE: 558-6350

5TH FLOOR  
FAX: 558-6409

PLANNING INFORMATION  
PHONE: 558-6377

MAJOR ENVIRONMENTAL  
FAX: 558-5991

COMMISSION CALENDAR  
INFO: 558-6422

INTERNET WEB SITE  
WWW.SFGOV.ORG/PLANNING

## CERTIFICATE OF DETERMINATION OF EXEMPTION/EXCLUSION FROM ENVIRONMENTAL REVIEW

Project Title: 2005.0429E: 953 Treat Avenue, Demolition of Single-Family Dwelling  
Location: East side of Treat Avenue, between 22<sup>nd</sup> and 23<sup>rd</sup> streets; Assessor's Block/Lot: 3639/028  
City and County: San Francisco

Description of Nature and Purpose of Project: The proposed project is to demolish a one-story, approximately 1,130-square-foot single-family dwelling on an approximately 4,274-square-foot, triangle-shaped parcel. The dwelling appears to be in relatively poor physical condition. The original building (which was built on wood piers) was constructed around 1891. In the intervening years, a variety of building additions/improvements have been made.

The house is on the south portion of the parcel, and a parking area and a loading area are on the north portion of the parcel for the use of the adjoining parcel, which has a heavy commercial/light industrial use and which parcel and business are owned by the project sponsors. The existing loading and parking areas would be retained for the adjacent use. On the south and east sides of the subject project site is a defunct Southern Pacific Railroad right-of-way that is currently used as parking, storage and access for surrounding and nearby businesses. The subject project site is within a C-M (Heavy Commercial) District and a 40-X Height and Bulk District, in the Mission District.

At this time, the project proposal is only to demolish the single-family house. Any future construction proposal for the subject project site would require an environmental application with the Planning Department.

Name of Person, Board, Commission or Department Proposing to Carry Out Project:  
James W. Heinzer, Barbara G. Heinzer, and Ernest R. Heinzer, property owners, (415) 824-1237

EXEMPT STATUS:  
 Categorical Exemption [State CEQA Guidelines, Section 15301(1)(1); Class Number: 1].

REMARKS: (See second page.)

Contact Person: Irene Nishimura Telephone: (415) 558-5967

Date of Determination: I do hereby certify that the above determination has been made pursuant to State and Local requirements.

November 8, 2005

PAUL E. MALTZER  
Environmental Review Officer

cc: James W. Heinzer, Barbara G. Heinzer, and Ernest R. Heinzer, Project Sponsors  
Winslow Hastie, Historic Preservation Technical Specialist/Planner, Southeast Neighborhood Planning Team  
Julian Banales, Senior Planner, Southeast Neighborhood Planning Team  
Historic Resources Mailing List  
L. Fernandez/M.D.F. Exemption/Exclusion File

## Remarks

The existing single-family building and its history have been evaluated by the Planning Department Historic Preservation staff in order to determine if the building is an historical architectural resource as defined under the California Register of Historical Resources criteria and the California Environmental Quality Act (CEQA). The Planning Department has determined that the building is not an historical architectural resource based on the criteria for listing on the California Register of Historical Resources (see attached Memorandum: Historic Resource Evaluation Response, dated September 15, 2005, prepared by Winslow Hastie, Planner/Historic Preservation Technical Specialist). Research on the building found that the building is not associated with a significant historic event, person, or architecture. Additionally, the building has not retained or lacks historic architectural integrity. Thus, the existing building is not considered an historical architectural resource according to the California Register criteria and CEQA. Furthermore, the Planning Department's archeological resources technical specialist/planner has determined that the demolition project is not expected to affect any CEQA-significant archeological resources (see attached Memorandum, dated August 15, 2005, prepared by Randall Dean). Therefore, the proposed demolition of the building would not have a significant, adverse impact on an historical resource.

CEQA State Guidelines Section 15301(l)(1) provides exemptions from environmental review those projects that involve demolition of up to three single-family residences in urbanized areas. The proposed project would be demolition of a single-family dwelling in a C-M (Heavy Commercial) District in the Mission District, which is a highly urbanized area. Hence, the proposed single-family house demolition project is appropriately exempt from environmental review under Section 15301(l) as a Class 1 project.

CEQA State Guidelines Section 15300.2 states that a categorical exemption shall not be used for an activity where there is a reasonable possibility that the activity will have a significant effect on the environment due to unusual circumstances. There is no unusual circumstance surrounding the current proposal that would suggest a reasonable possibility of a significant effect.

For the above reasons, the proposed project is appropriately exempt from environmental review.

The proposed project involves only the demolition of the single-family house, and this Categorical Exemption Certificate of Determination is issued only for the proposed demolition project. Any future construction proposal would need an environmental application and be required to be reviewed by the Planning Department for potential environmental effects.

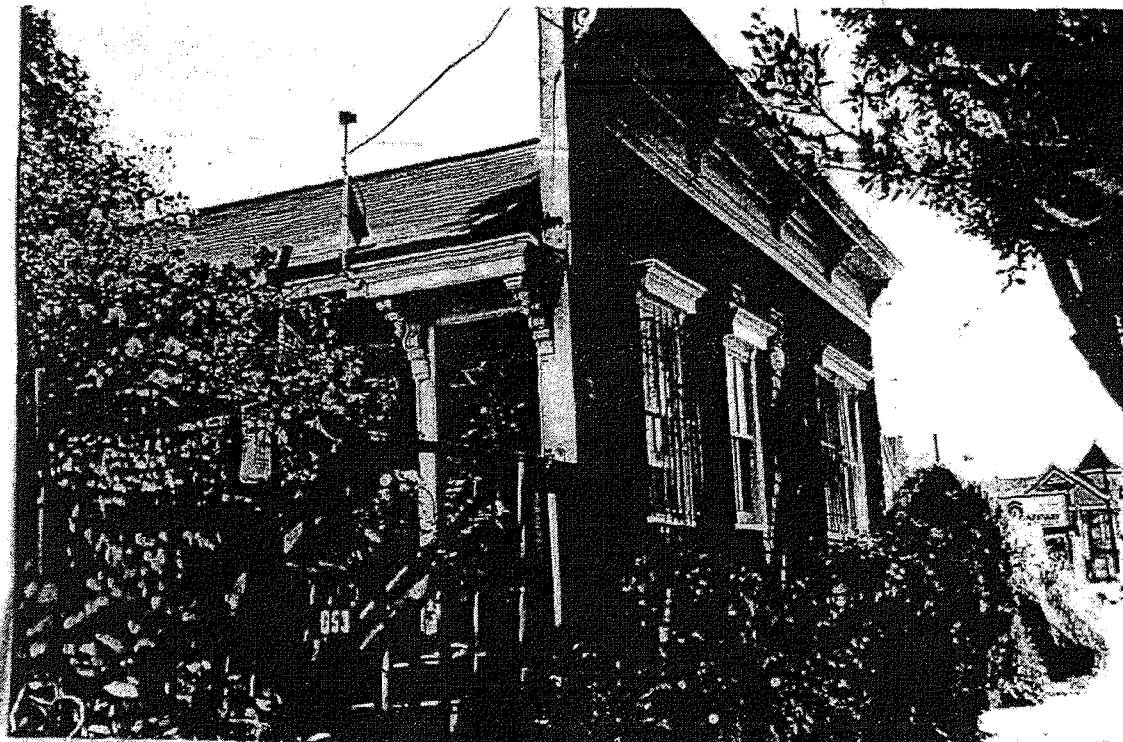


3639 / 028

RIGHT



LEFT

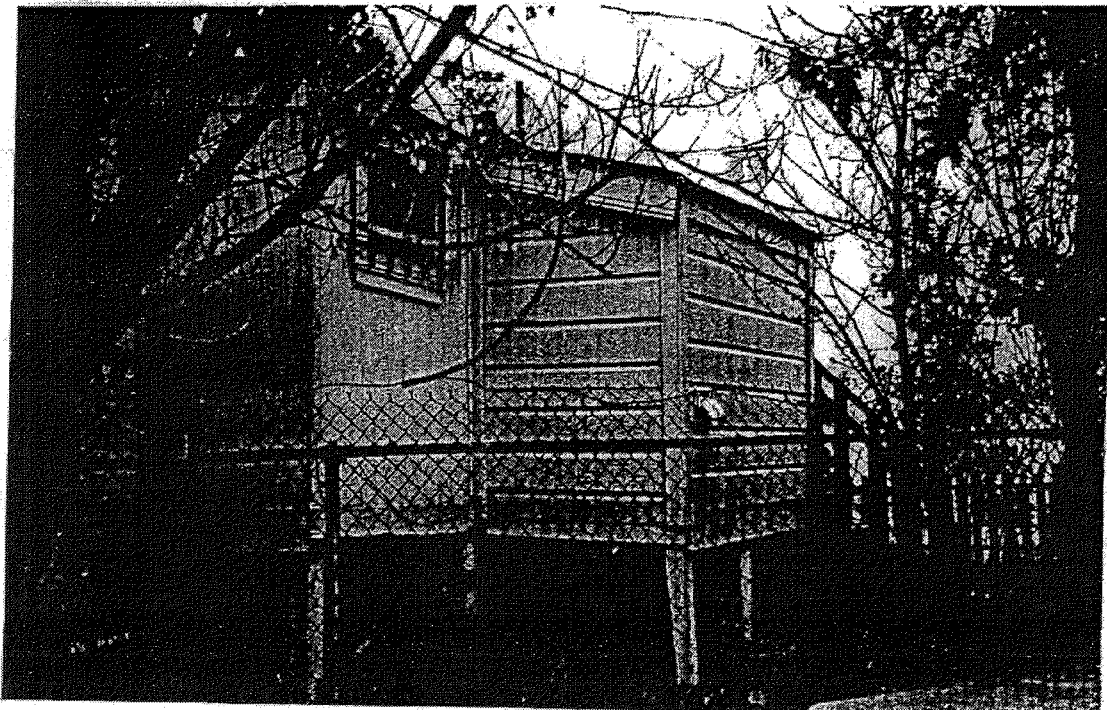




**TOP**



**BACK**



## MEMORANDUM

**Date:** 15 August 2005

**To:** Irene Nishimura

**From:** Randall Dean

**Topic:** Archeological sensitivity 953 Treat Avenue (2005.0429E)

*Project:* Proposed project is the demolition of a one-story single family dwelling with the intention of eventual new construction but no current plans for a replacement structure. The existing dwelling was constructed c. 1891. The dwelling has no basement and is supported on wood piers. This date is supported by the 1886-93 Sanborn map. It appears that the first water connection was on/after 1906. Nothing is known of former residences. Abutting on the project site to the east is the former Southern Pacific RR ROW that had train service from 1864 until the 1990s.

*Archeological/historical context:* No prehistoric resources have been recorded in the project vicinity. An examination of U.S. Coast Survey maps for the period 1852-1869 did not reveal in structures on the project site during this period. It is possible that an artifact-filled privy or well or trash pit is present on the project site and that such archeological deposits would have an adequate number of data sets and clear association with distinct household(s) with characteristics significant to current historical/archeological research issues.

*Project Site:* (APN 3639/28) Nothing is known about the formation of the project site in terms of previous fill or site alteration. It does appear that little prior soils disturbance has occurred since the existing dwelling rests on wood piers.

*Potential project impacts:* The demolition project is not expected to affect any CEQA-significant archeological resources. However, when project plans for new construction are submitted, the impacts of the new construction on CEQA-significant archeological resources will require reevaluation.

*Recommendation:* No archeological mitigation measure required for the project as demolition only.

**Follow-Up** (*this applies only to those applications subject to environmental evaluation*)

PLEASE let me review the text of the environmental evaluation document (Neg. Dec., EIR, Addendum, etc) including archeological mitigation measure before publication. Preferably two weeks before.

This also goes for the draft Mitigation Monitoring & Reporting Plan (MMRP) once it is completed.

---

Lastly, if you let me know when your documents are finalized, I can keep a copy of the archeology mitigation measures and MMRP on file to follow-up on the implementation of their archeology requirements.

# OPPOSITION

## Jardines, Esmeralda (CPC)

---

**From:** Katherine Petrin <petrin.katherine@gmail.com>  
**Sent:** Friday, January 27, 2017 4:14 PM  
**To:** Jardines, Esmeralda (CPC); Ronen, Hillary; Frye, Tim (CPC); Susan Brandt Hawley; Mike Buhler; Joe Butler  
**Cc:** Luke Dechanu  
**Subject:** 953 Treat Avenue (APN 3639/028)  
**Attachments:** Petrin Letter Re 953 Treat 2017 0127.pdf

Ms. Jardines,

Attached please find my letter submitted on behalf of Friends of 953 Treat, a group of neighbors, stating opposition to the proposed demolition of the residence at 953 Treat Avenue, constructed in 1887.

We believe the 1887 residence qualifies for individual listing in the California Register of Historical Resources at the local level. The 130-year old structure is a good example of vernacular, worker housing in the Italianate style and is significant for its association with John Center, pioneer, builder and businessman. Center owned the building at 953 Treat during the 1906 earthquake and fires. He constructed the water system that saved this building and hundreds of others in the area from the post-earthquake fires. These events and the significance of John Center and the John Center Water Works are documented in *City Within a City: a Historic Context Statement for San Francisco's Mission District*, prepared by the Planning Department in 2007.

Friends of 953 Treat seek a preservation alternative in which the historic house be retained and incorporated into the proposed project.

We would be pleased to discuss this matter at your convenience.

Thank you,  
Katherine Petrin

**Katherine Petrin Consulting**  
**Architectural History and Preservation Planning**  
**Maybeck Building**  
**1736 Stockton Street, Suite 2A**  
**San Francisco, California 94133**  
**415.333.0342**

[www.linkedin.com/pub/katherine-petrin/5/77/530/](http://www.linkedin.com/pub/katherine-petrin/5/77/530/)

27 January 2017

Ms. Esmeralda Jardines, Planner  
City of San Francisco Planning Department  
1650 Mission Street, #400  
San Francisco, California 94103

Re: 953 Treat Avenue (APN 3639/028)

Ms. Jardines:

On behalf of Friends of 953 Treat, a group of neighbors, I am writing to oppose the proposed demolition of the residence at 953 Treat Avenue, constructed in the Italianate style in 1887. Since 2000 I have practiced in San Francisco as an Architectural Historian and Preservation Planner and I regularly apply the National Register and California Register criteria to evaluate historic buildings. I utilize local, state, and national preservation regulations and regularly prepare historic significance assessments for environmental review documents. I meet the *Secretary of the Interior's Historic Preservation Professional Qualifications Standards* in History and Architectural History.

Based on my background and experience, it is my professional opinion that the 1887 residence qualifies for individual listing in the California Register of Historical Resources at the local level. The 130-year old structure is a good example of vernacular, worker housing in the Italianate style and is significant for its association with John Center, pioneer, builder and businessman. Center owned the building at 953 Treat during the 1906 earthquake and fires. He constructed the water system that saved this building and hundreds of others in the area from the post-earthquake fires. These events and the significance of John Center and the John Center Water Works are documented in *City Within a City: a Historic Context Statement for San Francisco's Mission District*, prepared by the Planning Department.<sup>1</sup>

Friends of 953 Treat urge retention of the historic residence and suggest that it be incorporated into the currently-proposed project to built two new two-unit residential condominiums on the site.

### **Previous Evaluations**

#### **2005**

Prior evaluations of the historic qualifications of 953 Treat Avenue reached conflicting conclusions. In April 2005 a Historic Resource Evaluation prepared by former owner

---

<sup>1</sup> *City Within a City: a Historic Context Statement for San Francisco's Mission District*, prepared by the City and County of San Francisco Planning Department, dated November 2007. pps. 47, 59.

**Katherine T. Petrin | Architectural Historian & Preservation Planner**  
1736 Stockton Street, Suite 2A, San Francisco, California 94133

James W. Heinzer concluded that the property was not historically significant. In response, a memo issued by the San Francisco Planning Department on 15 September 2005 classified the property as a Category B historic resource warranting further consultation and review. In November 2005, the Planning Department appears to have issued a Categorical Exemption. However, the building was not demolished.

### **2010**

In 2010, as part of the South Mission Historic Resources Survey, 953 Treat was identified and evaluated. It received two status codes: 3CS [appears eligible for the California Register as an individual property through survey evaluation] and 7N [needs to be reevaluated]. (See San Francisco Planning Department Property Information Map/Database for the 3CS code assigned 30 November 2010.)

### **2015-16**

In 2015, new owners retained the firm Page & Turnbull as preservation consultant to assess the property's historic significance and complete a Historic Resource Evaluation. The firm provided an opinion that the residence does not qualify as a historic resource for purposes of the California Environmental Quality Act (CEQA).<sup>2</sup> The Planning Department concurred and issued a CEQA Categorical Exemption Determination dated 25 March 2016, finding that no resource is present either as an individual resource or as a contributor to a district.

We disagree with the final determination.

### **Description of the Historic Building**

Located on the east side of Treat Avenue, between 22nd and 23rd Streets, 953 Treat Avenue sits on an irregular-shaped lot that measures 4,275 square feet. Built in 1887 as a wood framed, single-family residence in the Italianate style, it is a 1-story over raised basement structure. Clad in wood shingles on the primary facade and channel drop wood siding on the secondary facades, is capped by a gable roof. The primary facade faces west and includes 3 structural bays. There is a garage addition to the south with a shed roof, and another addition to the rear of the building with a shed roof. Typical fenestration consists of double-hung wood-sash windows with hoods. The primary entrance is located on the north facade and features a paneled wood door with a bracketed hood, accessed by a flight of wood stairs. Character-defining features include a wood porch, a bracketed cornice, sash windows with hoods, primary entrance door below a bracketed door hood, and a high false-front parapet at the roofline.<sup>3</sup>

---

<sup>2</sup> *Historic Resource Evaluation, 953 Treat Avenue, San Francisco, California* by Page & Turnbull, dated 27 April 2015.

<sup>3</sup> Primary Record, 953 Treat Avenue, dated 17 March 2008.



### Historic Significance

Water records indicate the building was constructed in 1887. The original architect and builder are not identified.

The building is associated with John Center (1816-1908), a pioneering figure “who was later dubbed the ‘father of the Mission’”. Center was instrumental in the construction of the plank road and streetcar lines. He was a major landowner and subdivided large expanses of land to facilitate new streets and housing.<sup>4</sup> More importantly, though not noted in the Page & Turnbull *Historic Resource Evaluation*, he designed and built the John Center Water Works, a fact that is directly relevant to the survival of the subject building in 1906.

John Center Corporation owned 953 Treat from 1894-1924, during which time the building survived the 1906 earthquake and the fire that destroyed much of the northern Mission district. The post-earthquake fire destroyed much of the South of Market District before moving into the northeast Mission. The fire was halted at 20<sup>th</sup> Street just a few blocks north of 953 Treat.<sup>5</sup> The fire was extinguished because of the Center’s supply of water. A few months after the disaster, an article in the *San Francisco Chronicle* titled, “Owe their Homes to One Man’s Foresight, Hundreds of Buildings in the Mission Saved from Fire by John Center’s Private Water System,” stated:<sup>6</sup>

John Center now in his 90<sup>th</sup> year, came to San Francisco in 1849 and settled on the land which he and his many houses occupy... He constructed his own water system as early as 1851 and improved the original system as time advanced and the demand increased. It includes artesian wells, a large subterranean reservoir, two frame tanks with a capacity of 80,000 gallons each, fire hydrants and connections.... [After 27 hours of fighting the fire] Center saved every house he owns, not a shingle of one of his houses burned while the damage from the earthquake was trifling... This saved all the property east of Howard (now South Van Ness) and south of 14<sup>th</sup> Street.<sup>7</sup>

John Center died in 1908. His obituary reiterated his contribution in saving hundreds of buildings in the Mission District from the post-earthquake fires, stating:

One of Center’s most important acts was the boring of wells on his property at Sixteenth and Shotwell streets in 1881. Cut off from the supply of the Spring Water Company, the Mission was absolutely without fire

---

<sup>4</sup> Page & Turnbull HRE, dated 27 April 2015, p. 22.

<sup>5</sup> Page & Turnbull HRE, dated 27 April 2015, p. 23.

<sup>6</sup> “Owe Their Homes to One Man’s Foresight, Hundreds of Buildings in the Mission Saved from Fire by John Center’s Private Water System” in the *San Francisco Chronicle*, 5 July 1906, p. 12.

<sup>7</sup> Ibid.

protection and Center prepared for the fire which he feared would come, although it was not until 25 years later that his foresight was proved correct and the wells he had dug proved of inestimable benefit not alone in saving his property but also of those around him.<sup>8</sup>

### **Integrity**

As was typical for modest 19<sup>th</sup> century vernacular residences, 953 Treat was subject to alterations, most unrecorded and unpermitted. After initial construction in 1887, the building incurred a series of small projecting volumes. No permits are extant. By 1914 the structure was fully built out. 953 Treat retains a high degree of original material in addition to the character-defining architectural features listed above, and retains its overall characteristics of the Italianate style.

The Primary Record (DPR form) completed in 2008 for the South Mission Historic Resources Survey, noted that the residence remained in good condition. 953 Treat retains a sufficient degree of integrity, which as defined by the standards of the National Register of Historic Places, allows a property to convey its significance and authenticity.

### **Eligibility for California Register of Historical Resources**

The California Register of Historical Resources is a listing of resources of architectural, historical, archeological and cultural significance. From California Code of Regulations, Title 14, Section 4852:

(b) Criteria for evaluating the significance of historical resources. An historical resource must be significant at the local, state, or national level under one or more of the following four criteria:

(1) It is associated with events that have made a significant contribution to the broad patterns of local or regional history, or the cultural heritage of California or the United States;

(2) It is associated with the lives of persons important to local, California, or national history;

(3) It embodies the distinctive characteristics of a type, period, region, or method of construction, or represents the work of a master or possesses high artistic values; or

(4) It has yielded, or has the potential to yield, information important to the prehistory or history of the local area, California, or the nation.'

---

<sup>8</sup> "Father of Mission, John Center, Dies" in the *San Francisco Call*, 20 July 1908, Vol. 104, p.1.

Significant as a survivor of the 1906 earthquake and due to its association with John Center and the John Center Water Works, 953 Treat qualifies for listing, as an individual resource, on the California Register of Historical Resources at the local level under Criteria 1 and 2. This is my professional opinion.

The proposed demolition of this important San Francisco resource requires environmental review under CEQA, unless feasible adaptive reuse of the structure is designed into the new construction project. Friends of 953 Treat advocate just such a solution.

I would be pleased to further discuss this matter. Thank you.

Sincerely,



Katherine T. Petrin  
Architectural Historian

CC: Office of District Supervisor Hillary Ronen  
Susan Brandt-Hawley, Brandt-Hawley Law Group  
Mike Buhler, San Francisco Heritage  
F. Joseph Butler, AIA  
Tim Frye, Historic Preservation Officer, San Francisco Planning Department

SAN FRANCISCO

## OWE THEIR HOMES TO ONE MAN'S FORESIGHT

### Hundreds of Buildings in the Mission Saved From Fire by John Center's Private Water System.

One section of San Francisco which escaped the fire has hardly been mentioned outside. The news has been spread abroad that the greater portion of San Francisco has been destroyed by the fire of April 18th to 20th, including the entire business and manufacturing section, and the major part of the residence section. The parts which escaped destruction were enumerated, and included the Western Addition west of Franklin street, Pacific Heights, Presidio Heights, the residence section about Golden Gate Park, that portion of Hayes valley west of Octavia street, and part of the Mission beyond Twentieth street. Hundreds of houses, homes and shops east of Howard and south of Fourteenth street escaped the fire, and are as good to-day as they were before the earthquake, because the slight damage caused by the earthquake has been repaired and every trace of injury obliterated.

It has been the cause of much wonder since the fire how that particular section escaped the ravages of the flames, which swept all else in their path west of Howard street and north of Fourteenth street. Built entirely of wood, the houses stand very close together, and numerous narrow streets subdivide the thickly built squares between the main thoroughfares. Yet it escaped, and the foresight and forethought of John Center saved it.

John Center, now in his ninetieth year, came to San Francisco in 1842, and settled on the land which he and his many houses occupy on Sixteenth, Seventeenth, Folsom, Harrison and Alabama streets. He constructed his own water system as early as 1851, and improved the original system as time advanced and the demand in-

creased. It includes artesian wells, a large subterranean reservoir, two frame tanks with a capacity of 20,000 gallons each, five hydrants and connections. In this system the artesian wells flow into the underground cistern, from which the water is pumped into the tanks by a steam pump with a capacity of 20,000 gallons an hour.

Those who assisted in fighting the fire and succeeded in checking it and saving all of Center's property within a radius of three blocks square, including Sixteenth, Seventeenth, Folsom, Harrison, Alabama and the intervening streets, tell how that section of the city was saved from the flames.

When the fire crossed Fourteenth street the dwellers of that section put up a persistent and stubborn fight to stay its progress. With two streams of water from the John Center system four engines were supplied, and the fire checked on Fourteenth street and again on Howard street. When checked in one direction, however, the flames came back from another, and on Thursday morning returned by way of Sixteenth street.

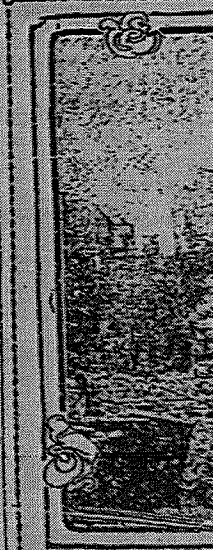
Again the fire was checked at Howard street after the flames had been fought incessantly for twenty-seven hours. Center saved every house he owns; not a shingle of any of his houses burned, while the damage from the earthquake was trifling, and amounted to only broken chimneys, cracked plaster and wrenched brick foundations. This, of course, saved all the property east of Howard street and south of Fourteenth street.

On Friday morning, April 18th, there remained six feet of water in the tanks, enough to have maintained two streams for fifteen more hours, or to have fed one stream indefinitely from the large subterranean reservoir.

### INVITES MANY TO ITS NEW HOME

### RESISTS ARREST WHEN DETECTED

## LEVELING



### MANILA SEND A LARGE EXHIBIT

Products of the Philippines  
Their Way to Commerce  
Museum.

Through the interest of Hamilton Wright, who turned from an agent through the Orient, the Commercial Museum is to be a large exhibit of Philippine products. This exhibit was ready a month ago, and as the steamer sailed to Boston Worcester, Secretary of the Philippines, learned that he was instructed as to its destination.

"Owe Their Homes to One Man's Foresight, Hundreds of Buildings in the Mission Saved from Fire by John Center's Private Water System" in the *San Francisco Chronicle*, 5 July 1906, p. 12.

**Jardines, Esmeralda (CPC)**

---

**From:** Luke Dechanu <hello.luke.dee@gmail.com>  
**Sent:** Wednesday, November 30, 2016 7:50 AM  
**To:** Jardines, Esmeralda (CPC)  
**Subject:** 953 Treat Avenue, San Francisco 94110

Dear Esmeralda,

Can you please tell the Director's Office and the Planning Commission that many people are concern and opposed to the demolition of a historic resource, the existing cottage on the site.

Thank you,  
- Luke Dechanu

## Jardines, Esmeralda (CPC)

---

**From:** Luke Dechanu <hello.luke.dee@gmail.com>  
**Sent:** Monday, June 06, 2016 2:13 PM  
**To:** Jardines, Esmeralda (CPC)  
**Subject:** 953 Treat Avenue, San Francisco 94110 2015-006510DRM, 2015-006510PRJ, 2015-006510ENV, 2015-006510PPA, 2016-003112LLA, 2016-002708GEN and all other related cases

Dear Ms. Jardines:

I am interested in the project at 953 Treat and Planning Department and Planning Commission actions on the pending applications.

So that I and those listed below will be informed of all proceedings on these application and can timely participate in the decision process, I request that I and those listed below be placed on the public notification list and be notified by the Planning Department in advance of all actions and hearings:

Luis Pinto  
[dadeluis@gmail.com](mailto:dadeluis@gmail.com)

Adam Feibelman  
[adam5100@hotmail.com](mailto:adam5100@hotmail.com)

Ethel Brennan  
[ethelbrennan@gmail.com](mailto:ethelbrennan@gmail.com)

Christine Wolheim  
[christine@wolheimstyle.com](mailto:christine@wolheimstyle.com)

Paul Mullooney  
[pmullooney@gmail.com](mailto:pmullooney@gmail.com)

Mansur Nurullah  
[mansurnurullah@gmail.com](mailto:mansurnurullah@gmail.com)

Chris Reardon  
[simpleslider@yahoo.com](mailto:simpleslider@yahoo.com)

Graham French  
[glasscoatphotobooth@gmail.com](mailto:glasscoatphotobooth@gmail.com)

Erik Otto  
[helloerikotto@gmail.com](mailto:helloerikotto@gmail.com)

Chad Hasegawa  
[itsmewalls@gmail.com](mailto:itsmewalls@gmail.com)

Joe Butler  
[fjoseph1butler@gmail.com](mailto:fjoseph1butler@gmail.com)

Katherine Petrin  
[petrin.katherine@gmail.com](mailto:petrin.katherine@gmail.com)

John Morrison  
[john@jwmorrison.net](mailto:john@jwmorrison.net)

Luke Dechanu  
[hello.luke.dee@gmail.com](mailto:hello.luke.dee@gmail.com)

Veronica Erickson  
[veronicaerickson01@me.com](mailto:veronicaerickson01@me.com)

Please send written notices to me at the street address above and email notices to me and the others at the email addresses provided. I would also appreciate acknowledgement of your receipt of this request at your earliest convenience. Thank you.

Sincerely,  
Luke Dechanu

## Jardines, Esmeralda (CPC)

---

**From:** Ernest Heinzer <erheinzer@mindspring.com>  
**Sent:** Tuesday, February 07, 2017 10:04 AM  
**To:** Jardines, Esmeralda (CPC)  
**Subject:** 953 Treat Ave. 2015 0065 10cuavar

Dear Ms Jardines:

I am sending this a mail to you to urge you not to let the little cottage at 953 Ave. be torn down. It is one of few pre 1906 buildings in the area and the only one on 900 block that is largely in an original state. We must preserve the few remaining buildings that are left. The 953 cottage has connections to John Center a well known early San Franciscan. There were plans to save the cottage and build 4 condominiums around the little house. Please do not let the developer take this San Francisco historic building away.

Sincerely

Ernest Robert Heinzer  
269 Randall Street '  
San Francisco Ca 94131



**Jardines, Esmeralda (CPC)**

---

**From:** Veronica Erickson <veronicaerickson01@me.com>  
**Sent:** Wednesday, February 08, 2017 5:13 PM  
**To:** Jardines, Esmeralda (CPC)  
**Subject:** 953 treat avenue

Thank you for keeping me updated. I am opposed to having the house 953 Treat Avenue torn down.

Thank you.

Sent from my iPad

## **Jardines, Esmeralda (CPC)**

---

**From:** christinewolheim@gmail.com on behalf of Christine Wolheim  
<christine@wolheimstyle.com>  
**Sent:** Wednesday, February 08, 2017 6:33 PM  
**To:** Jardines, Esmeralda (CPC)  
**Subject:** Re: 953 Treat Avenue, San Francisco 94110 2015-006510DRM, 2015-006510PRJ, 2015-006510ENV, 2015-006510PPA, 2016-003112LLA, 2016-002708GEN and all other related cases

Hello Esmerelda,

My name is Christine Wolheim.

I am a tenant at 933 Treat Ave, (next door to the proposed building site).

My studio Mate Ethel Brennan and I attended a meeting about the proposed building site in order to be informed about its nature and the nature and history of the Structure slated to be torn down.

We do not oppose the project. We are neutral parties.  
Please remove our names from the list of opponents.

We're happy to continue to be included in discussions of relevance.

Thank you for your time and including us.

Kindly,  
Christine Wolheim

On Fri, Feb 3, 2017 at 4:07 PM, Jardines, Esmeralda (CPC) <[esmeralda.jardines@sfgov.org](mailto:esmeralda.jardines@sfgov.org)> wrote:

Hello Luke, et al.,

Attached please find the most current plans for 953 Treat Avenue. Please let the 953 Treat Avenue team or I know if you have any questions or if we can provide further information. Also attached is the notification poster for case no. 2015-006510CUAVAR.

The published Planning Commission packet should be available next Friday, February 10, 2017; the public hearing is scheduled for February 16, 2017.

Please let me know if I can be of assistance in the interim.

**Jardines, Esmeralda (CPC)**

---

**From:** Paul MULLOWNEY <pmullowney@gmail.com>  
**Sent:** Monday, February 06, 2017 1:58 PM  
**To:** Jardines, Esmeralda (CPC)  
**Subject:** Re: 953 Treat Avenue, San Francisco 94110 2015-006510DRM, 2015-006510PRJ, 2015-006510ENV, 2015-006510PPA, 2016-003112LLA, 2016-002708GEN and all other related cases

Dear Esmeralda,

Please take me off this list. I don't want to receive emails and I do not oppose the demolition of the property nor do I oppose the new building.

Thank you very much,

Paul MULLOWNEY

—  
On Fri, Feb 3, 2017 at 4:07 PM, Jardines, Esmeralda (CPC) <[esmeralda.jardines@sfgov.org](mailto:esmeralda.jardines@sfgov.org)> wrote:

Hello Luke, et al.,

Attached please find the most current plans for 953 Treat Avenue. Please let the 953 Treat Avenue team or I know if you have any questions or if we can provide further information. Also attached is the notification poster for case no. 2015-006510CUAVAR.

The published Planning Commission packet should be available next Friday, February 10, 2017; the public hearing is scheduled for February 16, 2017.

Please let me know if I can be of assistance in the interim.

Thank you,

Esmeralda Jardines

Planner, Current Planning, SE Quadrant

—  
SAN FRANCISCO

**Jardines, Esmeralda (CPC)**

---

**From:** podrido66 . <dadeluis@gmail.com>  
**Sent:** Tuesday, February 07, 2017 4:32 PM  
**To:** John Morrison  
**Cc:** Jardines, Esmeralda (CPC); hello.luke.dee@gmail.com; adam5100@hotmail.com; ethelbrennan@gmail.com; christine@wolheimstyle.com; pmullowney@gmail.com; mansurnurullah@gmail.com; simpleslider@yahoo.com; glasscoatphotobooth@gmail.com; helloerikotto@gmail.com; itsmewalls@gmail.com; fjoseph1butler@gmail.com; petrin.katherine@gmail.com; veronicaerickson01@me.com; Geoff Gibson (Gibson@archsf.com); David Phan (phan@archsf.com)  
**Subject:** Re: 953 Treat Avenue, San Francisco 94110 2015-006510DRM, 2015-006510PRJ, 2015-006510ENV, 2015-006510PPA, 2016-003112LLA, 2016-002708GEN and all other related cases

I am also not at treat anymore.

Thank you

On Fri, Feb 3, 2017 at 4:45 PM, John Morrison <[john@jwmorrison.net](mailto:john@jwmorrison.net)> wrote:  
Hello,

Thanks a bunch guys. No need to keep me on this list. I'm not at treat anymore.

John

Sent from my iPhone

On Feb 3, 2017, at 16:07, Jardines, Esmeralda (CPC) <[esmeralda.jardines@sfgov.org](mailto:esmeralda.jardines@sfgov.org)> wrote:

Hello Luke, et al.,

Attached please find the most current plans for 953 Treat Avenue. Please let the 953 Treat Avenue team or I know if you have any questions or if we can provide further information. Also attached is the notification poster for case no. 2015-006510CUAVAR.

The published Planning Commission packet should be available next Friday, February 10, 2017; the public hearing is scheduled for February 16, 2017.

Please let me know if I can be of assistance in the interim.

Thank you,

RECEIVED  
BOARD OF SUPERVISORS  
SAN FRANCISCO

2017 MAR 20 PM 2:23

BY BK

**KATHERINE PETRIN CONSULTING**  
1736 STOCKTON ST STE 2A  
SAN FRANCISCO, CA 94133

416  
90-78/1211

20 March 2017  
DATE

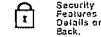
PAY TO THE  
ORDER OF

Planning Department

\$ 578. —

Five Hundred Seventy-Eight —

DOLLARS



**BANK OF THE WEST**

North Beach Office  
480 COLUMBUS AVE.  
SAN FRANCISCO, CA 94133  
1-800-489-2265

FOR \_\_\_\_\_

[Signature] MP

**From:** [BOS Legislation. \(BOS\)](#)  
**To:** [petrinkatherine@gmail.com](mailto:petrinkatherine@gmail.com)  
**Cc:** [gibson@archsf.com](mailto:gibson@archsf.com); [Shadi@SAKDesignBuild.com](mailto:Shadi@SAKDesignBuild.com); [Givner, Jon \(CAT\)](#); [Stacy, Kate \(CAT\)](#); [Byrne, Marlena \(CAT\)](#); [Rahaim, John \(CPC\)](#); [Sanchez, Scott \(CPC\)](#); [Gibson, Lisa \(CPC\)](#); [Starr, Aaron \(CPC\)](#); [Rodgers, AnMarie \(CPC\)](#); [Navarrete, Joy \(CPC\)](#); [Poling, Jeanie \(CPC\)](#); [Jardines, Esmeralda \(CPC\)](#); [Greving, Justin \(CPC\)](#); [Tam, Tina \(CPC\)](#); [Ionin, Jonas \(CPC\)](#); [BOS-Supervisors](#); [BOS-Legislative Aides](#); [Calvillo, Angela \(BOS\)](#); [Somera, Alisa \(BOS\)](#); [BOS Legislation. \(BOS\)](#)  
**Subject:** APPEAL RESPONSES: Exemption Determination Appeal - Proposed Project at 953 Treat Avenue - Appeal Hearing on April 25, 2017  
**Date:** Monday, April 17, 2017 2:07:52 PM  
**Attachments:** [image001.png](#)

---

Good afternoon,

Please find linked below a letter received April 17, 2017 by the Office of the Clerk of the Board from the Planning Department and the Appellant concerning the Community Plan Exemption Appeal for the proposed project at 2675 Folsom Street.

[Planning Letter - April 17, 2017](#)

[Appellant Letter - April 17, 2017](#)

**The appeal hearing for this matter is scheduled for a 3:00 p.m. special order before the Board on April 25, 2017.**

I invite you to review the entire matter on our [Legislative Research Center](#) by following the link below:

[Board of Supervisors File No. 170313](#)

Regards,

**Brent Jalipa**

**Legislative Clerk**

Board of Supervisors - Clerk's Office

1 Dr. Carlton B. Goodlett Place, Room 244

San Francisco, CA 94102

(415) 554-7712 | Fax: (415) 554-5163

[brent.jalipa@sfgov.org](mailto:brent.jalipa@sfgov.org) | [www.sfbos.org](http://www.sfbos.org)



Click [here](#) to complete a Board of Supervisors Customer Service Satisfaction form

***Disclosures:** Personal information that is provided in communications to the Board of Supervisors is subject to disclosure under the California Public Records Act and the San Francisco Sunshine Ordinance. Personal information provided will not be redacted. Members of the public are not required to provide personal identifying information when they communicate with the Board of Supervisors and its committees. All written or oral communications that members of the public submit to the Clerk's Office regarding pending legislation or hearings will be made available to all members of the public for inspection and copying. The Clerk's Office does not redact any information from these submissions. This means that personal information—including names, phone numbers, addresses and similar information that a member of the public elects to submit to the Board and its committees—may appear on the Board of Supervisors' website or in other public documents that members of the public may inspect or copy.*

April 17, 2017

Board President London Breed  
and Members of the Board of Supervisors  
c/o Clerk of the Board of Supervisors  
1 Dr. Carlton B. Goodlett Place  
San Francisco, California 94102

Re: Appeal of CEQA Exemption Determination  
953 Treat Avenue (APN 3639/028)  
Planning Department Case 2015-006510CUA/VAR

Honorable Board President Breed and Supervisors,

In support of this appeal, I assert that, in my professional opinion, the 1887 residence at 953 Treat Avenue qualifies as an historic resource subject to the California Environmental Quality Act (CEQA). (CEQA Guidelines section 15300.2 subdivision (f).)

With regard to my professional qualifications, I am a San Francisco-based Architectural Historian and Preservation Planner in private practice, having nearly twenty years of professional experience since completing a Masters degree in Historic Preservation of Architecture. I have authored 100s of historic resource evaluations, including National Register nominations, historic structure reports, master planning studies, preservation plans and surveys. I meet *The Secretary of the Interior's Professional Qualifications Standards* in History, Historic Preservation Planning and Architectural History.

The basis for and import of this appeal goes beyond the current project. The Planning Department's treatment 953 Treat Avenue as exempt from environmental review is illustrative of how the status of older, potentially historic San Francisco properties is debated. It seems apparent that the question of historic status is influenced by the advocacy of project applicants rather than the actual status of the site as a qualified resource. Historic status is a matter of research and identification and it must be considered in project design and adaptive reuse, not as a response to proposed development.

In 2010 the City recognized that 953 Treat Avenue is eligible for historic status, assigning a status code of 3CS [appears eligible for the California Register as an individual property through survey evaluation]. The project applicant, seeking demolition, has now submitted another opinion discounting that status without adequate supporting facts.

By granting this appeal and affirming the historic status of 953 Treat Avenue, based on the evidence presented below and in the project file, the Board of Supervisors can assure that the Planning Department more carefully identifies the historic status of the

**Katherine T. Petrin | Architectural Historian & Preservation Planner**  
**1736 Stockton Street, Suite 2A, San Francisco, California 94133**

City's resources on their merits without irrelevant consideration of project applicants' desire for demolition. The result will be the protection and revitalization of our City's historic resources as project applicants understand the required parameters of development to retain and incorporate qualified historic structures – when appropriate and feasible. This will also result in the preservation of the City's existing housing stock.

The proposed demolition of 953 Treat Avenue highlights various issues:

- On November 30, 2010, the Planning Department determined that in 953 Treat is eligible for the California Register as an individual property through the Department's South Mission Historic Resources Survey. [**Attachment 1**]
- In conflict with the Planning Department's prior survey findings, the Department issued a Categorical Exemption Determination on March 25, 2016 in connection with a pending project to demolish 953 Treat, finding it not historic and therefore not requiring any environmental review.
- A historic building should not be evaluated multiple times resulting in differing findings, especially in light of a pending development project. Historic status determination should not be a response to proposed development.
- As a small residence on a large lot, 953 Treat can be retained and incorporated into a re-designed project providing an equivalent amount of housing. In fact, a 2007 proposal to re-develop the lot was approved [but not built] that would have retained the historic house and added four new units of housing and PDR uses. As the 2007 approved project illustrates, a feasible and viable preservation alternative exists that supports meaningful preservation planning while adding new housing on an infill lot. [**Attachments 4-6**]
- This appeal is not an attempt to thwart development; it is an attempt to rectify a potentially missed opportunity on the part of the City to foster meaningful preservation planning (and retention of existing housing), while providing new housing units.
- **The big question is why tear down a 130-year old cottage, vernacular worker housing, that barely survived the 1906 earthquake and fire (under uniquely San Francisco circumstances) when instead it could be made part of a new infill development that would satisfy *multiple* City goals by building an equivalent amount of housing AND respecting preservation policies.**



The follow paragraphs support the points made above.

### **Survey Findings and Other Evaluations of 953 Treat Avenue**

In 2010, as part of the Planning Department's South Mission Historic Resources Survey, 953 Treat was identified and evaluated, receiving status code: 3CS [appears eligible for the California Register as an individual property through survey evaluation]. **[Attachment 1]**

The South Mission Survey was conducted by Planning Department staff, which retained the firm Page & Turnbull as consultants. Page & Turnbull inspected 953 Treat and noted that the building was in "good condition."<sup>1</sup> **[Attachment 8]**

In 2015, the new owner of 953 Treat retained Page & Turnbull as preservation consultant to assess the property's historic significance and complete a Historic Resource Evaluation (HRE). In conflict with the prior survey findings, the HRE concluded that the residence does not qualify as a historic resource for purposes of the California Environmental Quality Act (CEQA).<sup>2</sup>

On March 25, 2016, the Planning Department concurred with the Page & Turnbull report and issued a CEQA Categorical Exemption Determination finding that no historic resource is present on the site either as an individual resource or as a contributor to a district.

On February 16, 2017, the Planning Commission approved a Conditional Use Authorization for the demolition project.

The 3CS status code [appears eligible for the California Register as an individual property through survey evaluation] appeared on the San Francisco Planning Department Property Information Database until February 17, 2017, the day after the Planning Commission voted to approve the project, at which time it was removed from the website.

### **953 Treat Avenue, a Historic Resource**

In my professional opinion, the residence at 953 Treat Avenue is a historic resource eligible for the California Register. **[Attachment 2]** Constructed in the Italianate style in 1887, the 130-year old structure is a good example of vernacular worker housing and is significant for its association with John Center, pioneer, builder and businessman. Center owned the building at 953 Treat during the 1906 earthquake and fires. He constructed the water system that saved this building and hundreds of others in the area from the post-earthquake fires. **[Attachment 3]** These events and the significance of John Center and the John Center Water Works are documented in *City Within a City: a Historic*

---

<sup>1</sup> Primary Record, 953 Treat Avenue, by Page & Turnbull, dated April 3, 2008.

<sup>2</sup> *Historic Resource Evaluation, 953 Treat Avenue, San Francisco, California* by Page & Turnbull, dated 27 April 2015.

Context Statement for San Francisco's Mission District, prepared by the Planning Department.<sup>3</sup>

### **Historic Significance**

San Francisco Water Department records indicate the building was constructed in 1887. The building is associated with John Center (1816-1908), a pioneering figure “who was later dubbed the ‘father of the Mission.’” Center was instrumental in the construction of the plank road and streetcar lines. He was a major landowner and subdivided large expanses of land to facilitate new streets and housing.<sup>4</sup> More importantly, though not noted in the Page & Turnbull *Historic Resource Evaluation*, he designed and built the John Center Water Works, a fact that is directly relevant to the survival of the subject building in 1906.

John Center Corporation owned 953 Treat from 1894-1924, during which time the building survived the 1906 earthquake and the fire that destroyed much of the northern Mission district. The post-earthquake fire destroyed much of the South of Market District before moving into the northeast Mission. The fire was halted at 20<sup>th</sup> Street just a few blocks north of 953 Treat.<sup>5</sup> The fire was extinguished because of the Center’s supply of water. A few months after the disaster, an article in the *San Francisco Chronicle* titled, “Owe their Homes to One Man’s Foresight, Hundreds of Buildings in the Mission Saved from Fire by John Center’s Private Water System,” stated:<sup>6</sup>

John Center now in his 90<sup>th</sup> year, came to San Francisco in 1849 and settled on the land which he and his many houses occupy... He constructed his own water system as early as 1851 and improved the original system as time advanced and the demand increased. It includes artesian wells, a large subterranean reservoir, two frame tanks with a capacity of 80,000 gallons each, fire hydrants and connections.... [After 27 hours of fighting the fire] Center saved every house he owns, not a shingle of one of his houses burned while the damage from the earthquake was trifling... This saved all the property east of Howard (now South Van Ness) and south of 14<sup>th</sup> Street.<sup>7</sup>

John Center died in 1908. His obituary reiterated his contribution in saving hundreds of buildings in the Mission District from the post-earthquake fires, stating:

---

<sup>3</sup> *City Within a City: a Historic Context Statement for San Francisco’s Mission District*, prepared by the City and County of San Francisco Planning Department, dated November 2007. pps. 47, 59.

<sup>4</sup> Page & Turnbull HRE, dated 27 April 2015, p. 22.

<sup>5</sup> Page & Turnbull HRE, dated 27 April 2015, p. 23.

<sup>6</sup> “Owe Their Homes to One Man’s Foresight, Hundreds of Buildings in the Mission Saved from Fire by John Center’s Private Water System” in the *San Francisco Chronicle*, 5 July 1906, p. 12.

<sup>7</sup> *Ibid.*

One of Center's most important acts was the boring of wells on his property at Sixteenth and Shotwell streets in 1881. Cut off from the supply of the Spring Water Company, the Mission was absolutely without fire protection and Center prepared for the fire which he feared would come, although it was not until 25 years later that his foresight was proved correct and the wells he had dug proved of inestimable benefit not alone in saving his property but also of those around him.<sup>8</sup>

### **A Contributor to the Historic Character of the Streetscape**

Built in 1887 as a wood framed, single-family residence in the Italianate style, it is a 1-story over raised basement structure. Character-defining features include a wood porch, a bracketed cornice, sash windows with hoods, primary entrance door below a bracketed door hood, and a high false-front parapet at the roofline.<sup>9</sup>

The Urban Design Element of the City's General Plan advocates for visual diversity among buildings and streetscapes and states that "the relationships of building forms to one another and to other elements of the city pattern should be moderated so that the effects will be complementary and harmonious" meaning that buildings of differing type, scale, and character side by side is desirable. This is another reason to retain 953 Treat Avenue and incorporate it into the proposed project.

### **Integrity**

As was typical for modest 19<sup>th</sup> century vernacular residences, 953 Treat was subject to alterations, most unrecorded and unpermitted. After initial construction in 1887, the building incurred a series of small projecting volumes. No permits are extant. By 1914 the structure was fully built out. Alterations carried out at an early date would be considered historic in their own right and do not detract from overall integrity. 953 Treat retains a high degree of original material and its original character-defining architectural features.

The survey form, a Primary Record (DPR form), completed in 2008 for the South Mission Historic Resources Survey, noted that the residence remained in good condition. 953 Treat retains a sufficient degree of integrity, which as defined by the standards of the National Register of Historic Places, allows a property to convey its significance and authenticity.

### **Eligibility for California Register of Historical Resources**

Based on my background and experience, it is my professional opinion that the 1887 residence qualifies for individual listing in the California Register of Historical Resources. Significant as a survivor of the 1906 earthquake and due to its association with John Center and the John Center Water Works, 953 Treat qualifies for listing, as an individual

---

<sup>8</sup> "Father of Mission, John Center, Dies" in the *San Francisco Call*, 20 July 1908, Vol. 104, p.1.

<sup>9</sup> Primary Record, 953 Treat Avenue, by Page & Turnbull, dated April 3, 2008.

resource, on the California Register of Historical Resources at the local level under Criteria 1 and 2.

**A Great Preservation Alternative**

953 Treat Avenue is a small-scale residence measuring 738 sq ft (according to Planning Department records). It sits on an irregular-shaped lot that measures 4,275 square feet (or 3,750 sq ft according to Planning Department records).

Because of the amount of open space on the lot, the proposed project could be easily redesigned so that the existing structure 953 Treat could be incorporated into the currently-proposed residential condominium project.

As stated above, a 2007 proposal to re-develop the lot would have retained historic residence. The project, which was approved in 2008, was for "minor improvements" to the single family dwelling at 953 Treat and construction of PDR use, a new warehouse building, with four residential units above. [Attachments 4-6] Because of national economic conditions, the project was not built. As the 2007 approved project illustrates, a feasible and viable preservation alternative exists that supports meaningful preservation planning while adding new housing on an infill lot.

The proposed demolition of this historic 130-year old cottage requires environmental review under CEQA, unless a feasible adaptive reuse of the structure is designed into the new construction project.

Thank you for your consideration.

Sincerely,



Katherine T. Petrin  
Architectural Historian

CC:

Office of District Supervisor Hillary Ronen  
Susan Brandt-Hawley, Brandt-Hawley Law Group  
Mike Buhler, San Francisco Heritage  
F. Joseph Butler, AIA

# Attachment 1

The screenshot displays the San Francisco Property Information Map interface. The search bar contains '953 treat' and the search results are shown on the right. The map on the left shows the location of 953 Treat on Treat Ave. The search results include details for the parcel 3639028, including its address, resource attributes, year built, and survey information.

**San Francisco Property Information Map**  
Public Access to Useful Property Information & Resources at the Click of a Mouse

[Map Help](#) | [Your Feedback](#)  
Tell us what you think of this map.

[Link](#) [Disclaimer](#) [Download Data](#)

**Step 1: Search or Click on the Map**  
Search Examples: 400 Van Ness Ave 0787/001  
Mission and Van Ness 2015-005040PRJ  
Ferry Building

**Step 2: Review Property Information**  
Click tabs below to view property or parcel information

Property | Zoning | Preservation | **Planning Apps** | Building Permits | Other Permits | Complaints | Appeals | BBNs

Individual or District: Both  
Further Information: [View](#)  
Planning App. No.: 2005.0429E  
Date: 10/14/2005  
Decision: No Historic Resource Present  
Individual or District:  
Further Information: [View](#) [View](#)

**HISTORIC SURVEYS:** [MAP](#)

Parcel: 3639028  
Survey Name: [South Mission Historic Resource Survey](#)  
Evaluation Date: 11/30/2010  
Survey Rating: 3CS  
Rating Description: Appears eligible for CR as an individual property through survey evaluation.

[View DPR Survey Form for Parcel 3639028](#)

**SOUTH MISSION HISTORIC RESOURCE SURVEY:** [MAP](#)

Parcel: 3639/028  
Address: 953 TREAT AV  
Resource Attribute 1: HP2. Single Family Property  
Resource Attribute 2:  
Year Built: 1891  
Year Built Source: SF Assessor  
Architectural Style: Italianate  
CHRSC: 7N  
Resource Type: Individual (potential)  
Resource Eligibility: not determined: requires intensive research  
Historic District:  
Survey Form/Photo: [Click to view Form](#)  
[View South Mission Historic Resource Survey Website](#)

953 Treat, evaluated by the Planning Department in 2010 through survey as 3CS (an eligible historic resource).

## Attachment 2



**953 Treat, an Italianate vernacular worker's cottage, built 1887, a historic resource, proposed for demolition**

# Attachment 3

SAN

## OWE THEIR HOMES TO ONE MAN'S FORESIGHT

### Hundreds of Buildings in the Mission Saved From Fire by John Center's Private Water System.

One section of San Francisco which escaped the fire has hardly been mentioned outside. The news has been spread abroad that the greater portion of San Francisco has been destroyed by the fire of April 18th to 20th, including the entire business and manufacturing section, and the major part of the residence section. The parts which escaped destruction were enumerated, and included the Western Addition west of Franklin street, Pacific Heights, Presidio Heights, the residence section about Golden Gate Park, that portion of Hayes valley west of Octavia street, and part of the Mission beyond Twentieth street. Hundreds of houses, homes and shops east of Howard and south of Fourteenth street escaped the fire, and are as good to-day as they were before the earthquake, because the slight damage caused by the earthquake has been repaired and every trace of injury obliterated.

It has been the cause of much wonder since the fire how that particular section escaped the ravages of the flames, which swept all else in their path west of Howard street and north of Fourteenth street. Built entirely of wood, the houses stand very close together, and numerous narrow streets subdivide the thickly built squares between the main thoroughfares. Yet it escaped, and the foresight and forethought of John Center saved it.

John Center, now in his ninetieth year, came to San Francisco in 1849, and settled on the land which he and his many houses occupy on Sixteenth, Seventeenth, Folsom, Harrison and Alabama streets. He constructed his own water system as early as 1851, and improved the original system as time advanced and the demand in-

creased. It includes artesian wells, a large subterranean reservoir, two frame tanks with a capacity of 20,000 gallons each, fire hydrants and connections. In this system the artesian wells flow into the underground cistern, from which the water is pumped into the tanks by a steam pump with a capacity of 20,000 gallons an hour.

Those who assisted in fighting the fire and succeeded in checking it and saving all of Center's property within a radius of three blocks square, including Sixteenth, Seventeenth, Folsom, Harrison, Alabama and the intervening streets, tell how that section of the city was saved from the flames.

When the fire crossed Fourteenth street the dwellers of that section put up a persistent and stubborn fight to stay its progress. With two streams of water from the John Center system four engines were supplied, and the fire checked on Fourteenth street and again on Howard street. When checked in one direction, however, the flames came back from another, and on Thursday morning returned by way of Sixteenth street.

Again the fire was checked at Howard street, after the flames had been fought incessantly for twenty-seven hours. Center saved every house he owns; not a shingle of one of his houses burned, while the damage from the earthquake was trifling, and amounted to only broken chimneys, cracked plaster and wrenched brick foundations. This, of course, saved all the property east of Howard street and south of Fourteenth street.

On Friday morning, April 20th, there remained six feet of water in the tanks, enough to have maintained two streams for fifteen more hours, or to have fed one stream indefinitely from the large subterranean reservoir.

Through Hamilton turned fr through u mercial M a large ex This exhi a month clals cab Worcester the Phil

MANILA  
AL  
Products  
Their

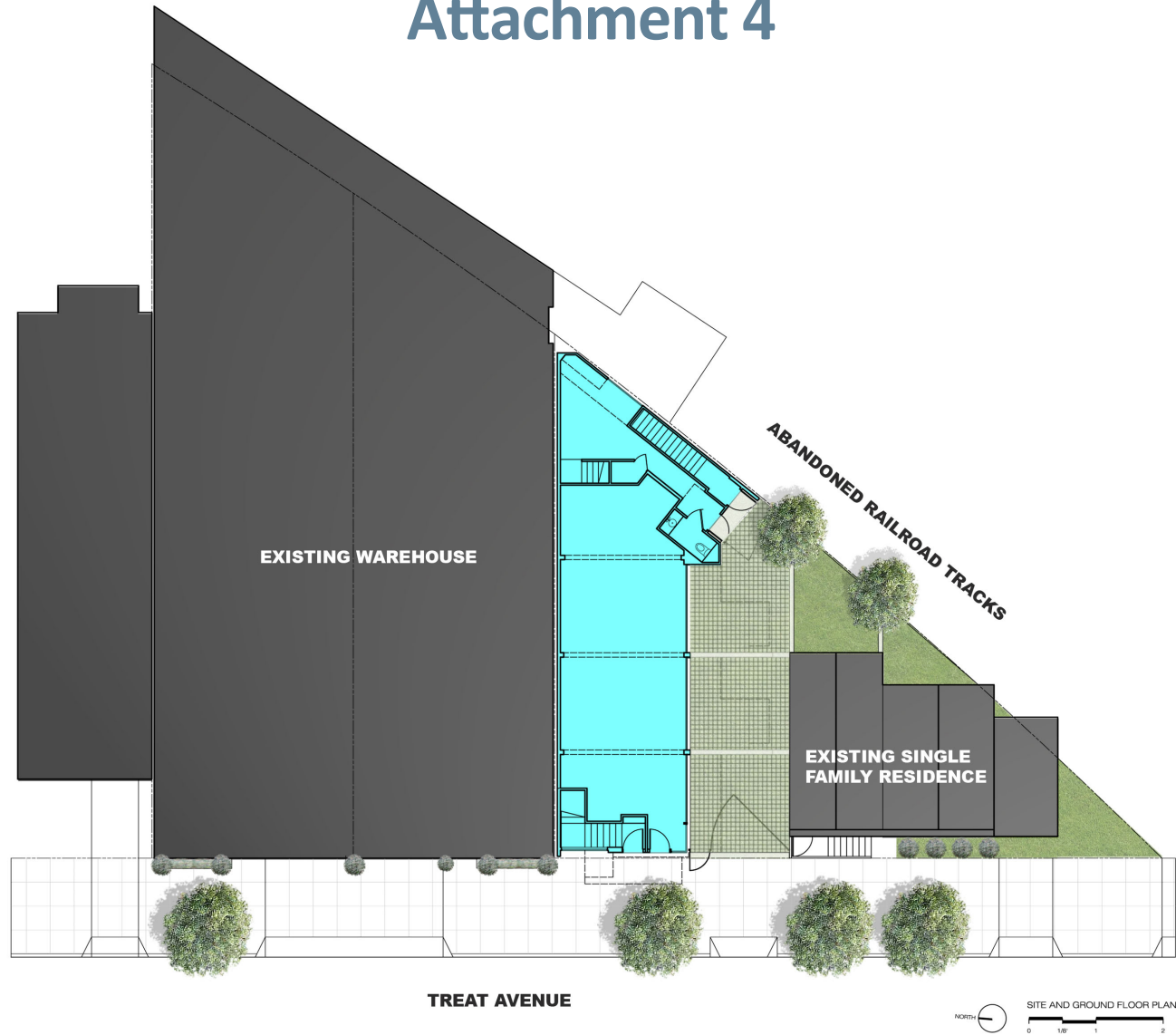
LEVE

INVITES MANY TO  
ITS NEW HOME

RESISTS ARREST  
WHEN DETECTED

Significant for its association with John Center, builder of the water system that saved this building and hundreds of others in the area from the 1906 post-earthquake fires; also documented in *City Within a City: a Historic Context Statement for San Francisco's Mission District*, prepared by the Planning Department (2007)

# Attachment 4



**953 Treat (Existing Single Family Residence at right) is a 738 sq ft building on an approximately 4,000 sq ft lot, leaving a lot of already vacant space for development.**



## Attachment 5



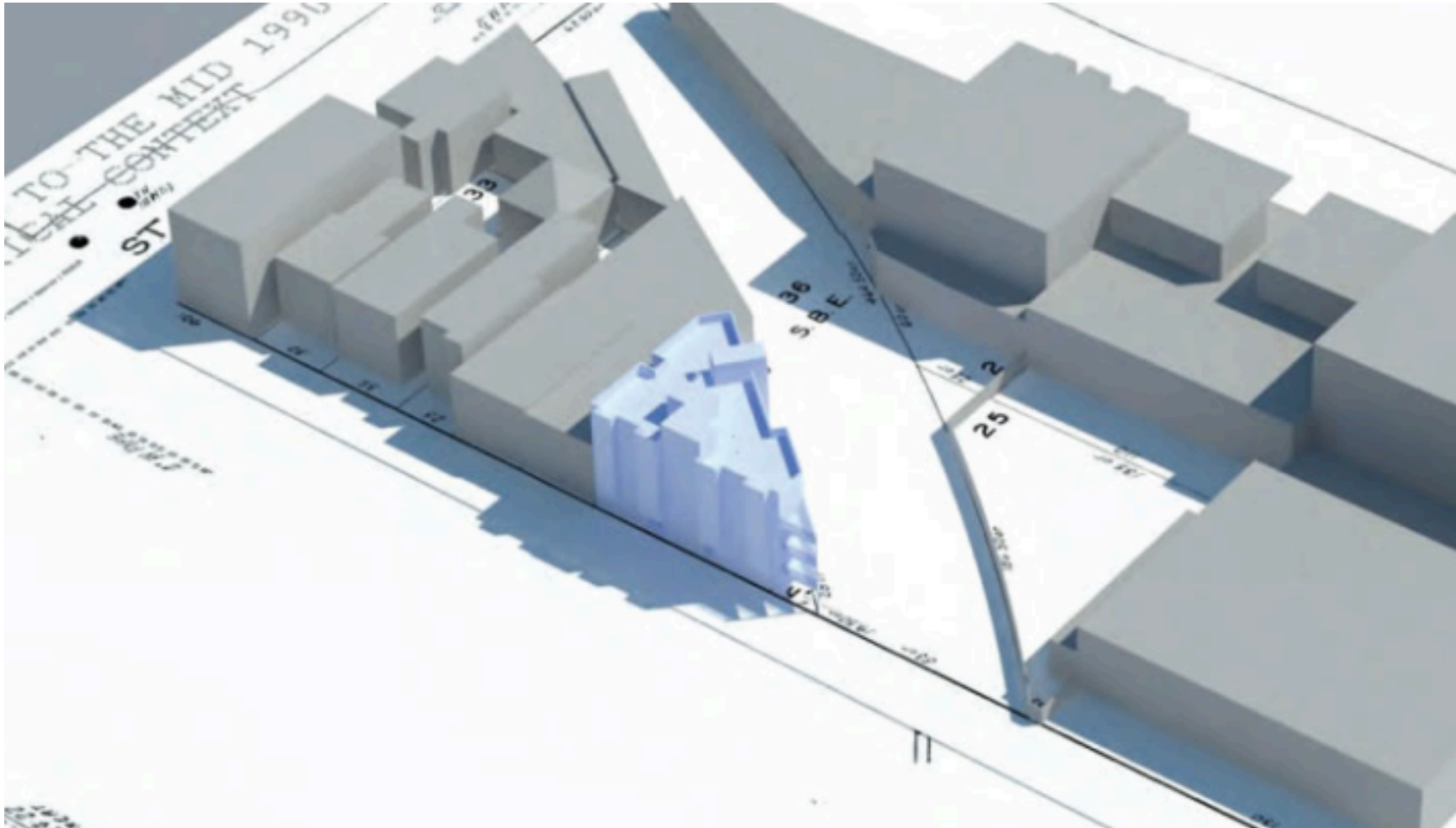
**An approved 2007-08 proposal shows historic house (at right) and new units (at left); this is not the current plan, but it is a viable preservation option.**

## Attachment 6



**The approved 2007-08 proposal would have retained historic house (R) and added new housing units and PDR use (center); this not the current plan.**

## Attachment 7



**This illustrates the massing of the current proposal; footprint fills site; historic house would be demolished.**

# Attachment 8

State of California - The Resources Agency	Primary # _____
DEPARTMENT OF PARKS AND RECREATION	HRI # _____
PRIMARY RECORD	Trinomial _____
Other Listings _____	CHR Status Code: _____
Review Code _____	Reviewer _____ Date _____

Page 1 of 2 Resource Name or #: (Assigned by recorder) 953 TREAT AVE

**P1. Other Identifier:**

\*P2. Location:  Not for Publication  Unrestricted

\*a. County: San Francisco

\*b. USGS Quad: San Francisco North, CA Date: 1995

c. Address: 953 TREAT AVE City: San Francisco ZIP 94110

d. UTM Zone: Easting: Northing:

e. Other Locational Data: Assessor's Parcel Number 3639 028

\*P3a. Description: (Describe resource and major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

953 Treat Avenue is located on an irregular-shaped lot with 4,275 square feet of frontage on the east side of Treat Avenue, between 22nd and 23rd Streets. Built in 1891, 953 Treat Avenue is a 1-story over raised basement, wood frame single family residence designed in the Italianate style. The rectangular-plan building, clad in wood shingles on the primary façade and channel drop wood siding on the secondary façades, is capped by a gable roof. The foundation is not visible. The primary façade faces west and includes 3 structural bays. There is a garage addition to the south with a shed roof, and another addition to the rear of the building with a shed roof. Typical fenestration consists of double-hung wood-sash windows with hoods. The primary entrance is located on the north façade and features a paneled wood door with a bracketed hood, accessed by a flight of wood stairs. Architectural and site features include a wood porch, a bracketed cornice, and a high false-front parapet at the roofline.

The building appears to be in good condition.

\*P3b. Resource Attributes: (List attributes and codes) HP2. Single Family Property

\*P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other

P5a. Photo



P5b. Description of Photo:

View of primary façade looking north.  
3/17/2008

\*P6. Date Constructed/Age:

Historic  Prehistoric  Both

1891 SF Assessor's Office

\*P7. Owner and Address

HEINZER ERNEST R  
933 TREAT AVE  
933 TREAT AVE  
SAN FRANCISCO CA

\*P8. Recorded By:

Page & Turnbull, Inc. (GH/CD)  
724 Pine Street  
San Francisco, CA 94108

\*P9. Date Recorded: 4/3/2008

\*P10. Survey Type:

Reconnaissance

\*P11. Report Citation: (Cite survey report and other sources, or enter "None")

Eastern Neighborhoods Mission Survey

\*Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record

Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record

Artifact Record  Photograph Record  Other (list):

DPR 523 A (1/95)

\*Required Information

953 Treat was surveyed as part of the Planning Department's South Mission Historic Resources Survey, 2008-11.



**Categorical Exemption Appeal**  
**953 Treat Avenue**

1650 Mission St.  
Suite 400  
San Francisco,  
CA 94103-2479

Reception:  
**415.558.6378**

Fax:  
**415.558.6409**

Planning  
Information:  
**415.558.6377**

**DATE:** April 17, 2017  
**TO:** Angela Calvillo, Clerk of the Board of Supervisors  
**FROM:** Lisa Gibson, Acting Environmental Review Officer – (415) 575-9032  
Joy Navarrete, Senior Environmental Planner – (415) 575-9040  
Justin Greving, Preservation Planner – (415) 575-9169  
**RE:** Board File Number 170313, Planning Department Case No. 2015-006510ENV  
Appeal of Categorical Exemption for 953 Treat Avenue  
**HEARING DATE:** April 25, 2017  
**ATTACHMENTS:** Attachment A – Historic Resource Evaluation prepared by Page & Turnbull  
dated April 27, 2015  
Attachment B – South Mission Historic Resource Survey findings (excerpt)  
Attachment C – Photos and maps

---

**PROJECT SPONSOR:** Geoff Gibson, Winder Gibson Architects, (415) 318-8634  
**APPELLANT:** Katherine Petrin, Architectural Historian & Preservation Planner, (415) 333-0342

---

**INTRODUCTION**

This memorandum and the attached documents are a response to the letter of appeal to the Board of Supervisors (the “Board”) regarding the Planning Department’s (the “Department”) issuance of a Categorical Exemption under the California Environmental Quality Act (“CEQA Determination”) for the proposed 953 Treat Avenue project (the “Project”).

The Department, pursuant to CEQA, the CEQA Guidelines, 14 Cal. Code of Reg. Sections 1500 *et seq.*, and Chapter 31 of the San Francisco Administrative Code, determined on March 28, 2016 that the Project is exempt from CEQA in accordance with CEQA Guidelines Section 15301 and Section 15303, or Class 1 and 3, respectively.

The decision before the Board is whether to uphold the Department’s decision to issue a categorical exemption and deny the appeal, or to overturn the Department’s decision to issue a categorical exemption and return the project to the Department staff for additional environmental review.

## **SITE DESCRIPTION & EXISTING USE**

The project is located on the east side of Treat Avenue between 22nd and 23rd streets on lots 27 and 28 in Assessor's Block 3639. The subject property is located within the UMU (Urban Mixed Use) Zoning District, and the 40-X Height and Bulk District. Lot 27 is a triangular lot measuring 19.5 feet along Treat Avenue and 24 Feet at its deepest length, measuring approximately 139 square feet. Lot 28 is a trapezoidal lot measuring 75 feet along Treat Avenue, the parallel property lines each measure 24 feet at its narrowest length and extends 90 feet at its deepest length, approximately measuring 3,750 square feet. The property is developed with a single-family one-story dwelling measuring approximately 987 square feet in size and approximately 17 feet 7 inches in height (See Attachment C – Photos and Maps, figures 1-4 for photographs of the subject property.)

## **PROJECT DESCRIPTION**

The Categorical Exemption for the Project issued on March 25, 2016 was for demolition of the existing one-story, single-family dwelling, and construction of two new four-story 40-foot tall residential buildings containing two residential units each and two parking spaces (the Project was later amended to include three residential units per building, or six units total).

## **BACKGROUND**

On July 10, 2015, Geoff Gibson of Winder Gibson Architects (project sponsor), filed an environmental evaluation application for the Project. On March 25, 2016, the Department determined that the Project was categorically exempt under CEQA Guidelines Section 15301, Class 1 – Existing Facilities, and CEQA Guidelines Section 15303, Class 3 – New Construction/Conversion of Small Structures, and that no further environmental review was required.

On January 27, 2017 Katherine Petrin wrote a letter of opposition to the Project on behalf of Friends of 953 Treat.

On February 16, 2017, the Planning Commission approved a Conditional Use Authorization for the Project and the Zoning Administrator granted the Project a Variance.

On March 20, 2017, an appeal of the Categorical Exemption Determination was filed by Katherine Petrin.

## **CEQA GUIDELINES**

### **Categorical Exemptions**

Section 21084 of the California Public Resources Code requires that the CEQA Guidelines identify a list of classes of projects that have been determined not to have a significant effect on the environment and are exempt from further environmental review.

In response to that mandate, the State Secretary of Resources found that certain classes of projects, which are listed in CEQA Guidelines Sections 15301 through 15333, do not have a significant impact on the environment, and therefore are categorically exempt from the requirement for the preparation of further environmental review.

The CEQA State Guidelines Section 15301(e)(2), or Class 1, provides an exemption from environmental review for demolition and removal of individual small structures including up to three single-family residences. The Project includes the demolition and removal of one single-family residence. Therefore, the proposed work would be exempt under Class 1.

CEQA Guidelines Section 15303(a) or Class 3, provides an exemption from environmental review for new construction of up to six dwelling units in urbanized areas. The Project includes the construction of six new dwelling units in an urbanized area. Therefore the proposed work would be exempt under Class 3.

In determining the significance of environmental effects caused by a project, CEQA State Guidelines Section 15064(f) states that the decision as to whether a project may have one or more significant effects shall be based on substantial evidence in the record of the lead agency. CEQA State Guidelines 15604(f)(5) offers the following guidance: "Argument, speculation, unsubstantiated opinion or narrative, or evidence that is clearly inaccurate or erroneous, or evidence that is not credible, shall not constitute substantial evidence. Substantial evidence shall include facts, reasonable assumption predicated upon facts, and expert opinion supported by facts."

## **APPELLANT ISSUES AND PLANNING DEPARTMENT RESPONSES**

The concerns raised in the March 20, 2017 Appeal Letter are cited below and are followed by the Department's responses:

**Issue 1: The Appellant contends the subject property is a historic resource that qualifies for individual listing in the California Register of Historical Resources under Criteria 1 for the reason that the 130-year old structure is a good example of vernacular worker housing in the Italianate style.**

**Response 1: The Department does not find that the subject property is eligible for listing in the California Register under Criterion 1 as there are many better examples of vernacular worker housing in the Italianate style in the Mission district. The Department maintains the determination that the property is not eligible under any of the established California Register Criteria and is not a historic resource under CEQA.**

Section 15064.5 of the CEQA Guidelines sets forth the definition of historical resources, as cited below:

*(1) A resource listed in, or determined to be eligible by the State Historical Resources Commission, for listing in the California Register of Historical Resources (Pub. Res. Code §5024.1, Title 14 CCR, Section 4850 et seq.).*

*(2) A resource included in a local register of historical resources, as defined in section 5020.1(k) of the Public Resources Code or identified as significant in an historical resource survey meeting the*

*requirements section 5024.1(g) of the Public Resources Code, shall be presumed to be historically or culturally significant. Public agencies must treat any such resource as significant unless the preponderance of evidence demonstrates that it is not historically or culturally significant.*

*(3) Any object, building, structure, site, area, place, record, or manuscript which a lead agency determines to be historically significant or significant in the architectural, engineering, scientific, economic, agricultural, educational, social, political, military, or cultural annals of California may be considered to be an historical resource, provided the lead agency's determination is supported by substantial evidence in light of the whole record. Generally, a resource shall be considered by the lead agency to be "historically significant" if the resource meets the criteria for listing on the California Register of Historical Resources (Pub. Res. Code §5024.1, Title 14 CCR, Section 4852) including the following:*

- (A) Is associated with events that have made a significant contribution to the broad patterns of California's history and cultural heritage;*
- (B) Is associated with the lives of persons important in our past;*
- (C) Embodies the distinctive characteristics of a type, period, region, or method of construction, or represents the work of an important creative individual, or possesses high artistic values; or*
- (D) Has yielded, or may be likely to yield, information important in prehistory or history.*

*(4) The fact that a resource is not listed in, or determined to be eligible for listing in the California Register of Historical Resources, not included in a local register of historical resources (pursuant to section 5020.1(k) of the Public Resources Code), or identified in an historical resources survey (meeting the criteria in section 5024.1(g) of the Public Resources Code) does not preclude a lead agency from determining that the resource may be an historical resource as defined in Public Resources Code sections 5020.1(j) or 5024.1.*

The subject property is not listed in any local, state, or federal registers; nor has the property been demonstrated to meet the criteria for listing in the California Register of Historical Resources.

As part of the evaluation whether 953 Treat would be considered a historic resource, the Department went back to review the findings of the South Mission Historic Resources Survey and evaluate the subject property in relationship to other simple vernacular worker housing in the Italianate style. Of the approximately 3,800 buildings surveyed in 2010 as part of the South Mission Historic Resources survey, over 400 properties were identified as being constructed in the Italianate style and more than half of these buildings retained sufficient integrity to be considered historic resources for purposes of CEQA. As demonstrated by the survey results, the Planning Department concluded there are many examples of vernacular working housing in the Italianate style in the Mission district. A representative sample of this building typology has been included in the attachments (see Attachment C – Photos and Maps: figures 5-8). Each of these were determined to be individually eligible for listing in the California Register and retain better integrity than the subject property. These simple working class cottages in the Italianate style are better examples than 953 Treat Avenue for the reason that they retain their original configuration and building footprint which most often contained a strict rhythm of fenestration along the primary façade, either with paired windows and a side entry, or a centered entry with two adjoining windows. In these instances the properties retain their general form and massing from when they were constructed and do not have substantial additions or material alterations to the windows and siding, unlike 953 Treat Avenue.



In comparison with these other properties, 953 Treat does not retain sufficient integrity to be eligible under Criterion 1 as an example of vernacular worker housing in the Italianate style. The subject property has seen multiple alterations such that it no longer retains sufficient integrity to communicate its 1887 construction date. Sometime between 1889 and 1900, the building was doubled in volume and expanded to the south, thus substantially altering the original fenestration pattern of the property. Sometime before 1900, a shed to the south side of the property was also added along with a number of projecting volumes to the rear of the building. In addition, cedar siding was added at a later unknown date to the primary and one secondary elevation. Because of these alterations, 953 Treat Avenue no longer retains the original building footprint or symmetrical and highly ordered fenestration pattern found among simple vernacular worker housing in the Italianate style and is not a good example of this housing typology (See Attachment C – Photos and Maps: figure 9). Therefore, the property does not qualify as a historic resource under Criterion 1.

**Issue 2: The Appellant contends the subject property is significant under Criterion 2 for its association with John Center. Per the appeal letter, John Center and the John Center Water Works was a system that, “saved hundreds of buildings in the Mission after the post-earthquake fires, including 953 Treat. John Center Corporation owned 953 Treat from 1894-1924.”**

**Response 2: The Planning Department does not find there are sufficient ties between John Center and the 953 Treat Avenue property such that it would be eligible under Criterion 2. While the Planning Department does not refute the fact that John Center was an important individual, there is no established connection such that 953 Treat Avenue would be significant under Criterion 2 for its association with him.**

Although the property sits in an area of the Mission that was not consumed by the 1906 Earthquake and Fire, this in and of itself does not make it significant, as many neighborhoods in the Mission were not destroyed. The subject property is not particularly close to the fire line which reached its southern boundary at Twentieth and Howard streets, approximately 7 blocks away (see Attachment C – Photos and Maps: figure 10).

Other properties have been identified for their significance in escaping the 1906 Earthquake and Fire; however they are most often located directly along the fire line to substantiate this association. For example the “South Van Ness Avenue-Shotwell-Folsom Streets” and the “Guerrero Street Fire Line” historic districts have been identified as being eligible for listing in the National or California Register due to the fact that they were directly on the fire line of the 1906 Fire and Earthquake and their existence delineates the boundaries of the Fire. Furthermore, the “South Van Ness Avenue-Shotwell-Folsom Streets” historic district is located on the same block as John Center’s Water Works and it was his water wells that would have stopped the fires from crossing 15<sup>th</sup> Street to save these properties. While 953 Treat Street happens to have been owned by John Center in 1906, it was rented out to Louis Barner, a painter who lived on the property with his family at the time of the 1906 Earthquake and Fire. The subject property is in no way directly related to John Center’s Water Works and is simply one of many investment properties Center owned in the Mission that predates 1906 and survived the Earthquake and Fire.

According to the evaluation process outlined in the National Register Bulletin 15, a finding of significance for association with an individual (Criterion 2), is twofold. First, a person must be found to have individual significance in an established context, and second, the property must have a direct connection with this individual.<sup>1</sup> Properties significant under Criterion 2 must be associated with a person's productive life, reflecting the time period when he or she achieved significance. Examples of properties significant for their association with people are provided in Bulletin 15 and include the home of an important merchant or labor leader, the studio of an important artist, or the business headquarters of an important industrialist.

The Planning Department does not find there are sufficient ties between John Center and the subject property such that it would be eligible under Criterion 2. Although John Center owned 953 Treat Avenue between 1894-1924, Center was not the original owner, did not build the property, nor is there any evidence that he lived or worked out of this address during any point in his life. The fact that the property was purchased by John Center in 1894 is not remarkable given the fact that he owned vast amounts of real estate in the Mission and South of Market area. As mentioned in an article published soon after Center's death in 1908, "the property interests involved [with Center's estate] are extensive and possibly worth much more than \$1,500,000. The main holdings of the decedent consisted of hundreds of lots, improved and unimproved in the Mission district between Mission, Folsom, Fourteenth and Seventeenth and in other parts of the Mission, all of which John Center had acquired during his sixty years of residence."<sup>2</sup>

While the Planning Department does not refute the fact that John Center was an important individual, there is no established connection such that 953 Treat Avenue would be significant under Criterion 2 for its association with him. The Appellant does not provide substantial evidence of any such significance under Criterion 2.

**Issue 3: The Appellant contends that the subject property was part of the Department's South Mission Historic Resources Survey and was given two status codes: 3CS (appears eligible for the California Register as an individual property through survey evaluation), and 7N (needs to be reevaluated).**

**Response 3: The San Francisco Property Information Map ("PIM") incorrectly identified the property as being surveyed and given a status code of 3CS; however the actual South Mission Survey website and survey findings adopted by the Historic Preservation Commission in 2011 correctly identify the status code assignment of 7N "needs to be reevaluated."**

953 Treat was surveyed as part of the Department's South Mission Historic Resources Survey but it was not evaluated and was assigned a status code of 7N, "needs to be reevaluated." An error in the San Francisco Property Information Map ("PIM") incorrectly identified the property as being given a status code of 3CS, "eligible for listing in the California Register as an individual property through survey

---

<sup>1</sup>Staff of the National Register of Historic Places, "How to Apply the National Register Criteria for Evaluation bulletin," Section VI, Revised for internet 2002, [https://www.nps.gov/nr/publications/bulletins/nrb15/nrb15\\_6.htm](https://www.nps.gov/nr/publications/bulletins/nrb15/nrb15_6.htm)

<sup>2</sup>"Center's Heirs are to Contest," *The San Francisco Chronicle*, August 17, 1908, 2.

evaluation.”<sup>3</sup> The actual South Mission Survey website and survey findings adopted by the Historic Preservation Commission in 2011 correctly identify the status code as 7N, “needs to be reevaluated.” (See Attachment B – South Mission Historic Resource Survey findings (excerpt). The survey findings for 953 Treat Avenue are highlighted and show the correctly identified survey status of 7N).<sup>4</sup>

While the accuracy of the information in the PIM database is generally reliable, errors such as this one do occur on occasion. This error has since been corrected to reflect the correct survey status of 7N.

**Issue 4: The Appellant contends that “since 2005 the building has been assessed for historic significance on various occasions: evaluators have reached conflicting conclusions.”**

**Response 4: The Planning Department does not find that evaluators reached conflicting conclusions regarding the historic significance of 953 Treat Avenue.**

On November 8, 2005, a Certificate of Determination of Exemption from Environmental Review was issued for the demolition of the subject property (2005.0429E).<sup>5</sup> As part of this previous review a Historic Resource Evaluation Response was prepared for 953 Treat Avenue and did not find it to be a historic resource. However demolition of the subject property never occurred. Five years later the area was surveyed as part of the South Mission Historic Resources survey. At the time of the survey the subject property was not evaluated and was assigned the status code of 7N. This survey did not make the determination that the property was a historic resource. Merely that more analysis would be needed. With submittal of environmental evaluation application for the current Project the historic resource status of 953 Treat was still undecided and the project sponsor was required to hire a qualified consultant to prepare a Historic Resource Evaluation (HRE) for the subject property. Ultimately, the Planning Department accepted the findings of the HRE prepared by Page & Turnbull dated April 27, 2015 and issued a Preservation Team Review Form dated March 25, 2016 that summarized the findings in the HRE. A determination was made that the subject property was ineligible for listing in the California Register and therefore not a historic resource under CEQA.<sup>6</sup>

## **CONCLUSION**

The Department does not find that the Appellant has presented any additional information such that the findings of no historic resource would be overturned. Although the Department respects the professional judgement of Katherine Petrin, no substantial evidence supporting a fair argument has been provided to

---

<sup>3</sup> The San Francisco Property Information Map can be accessed here:

<http://propertymap.sfplanning.org/?dept=planning/>

<sup>4</sup> The actual survey findings state the property was given a status code of 7R, “Identified in Reconnaissance Survey, Not Evaluated.” All status codes with a 7 mean the property was not evaluated for National Register or California Register and requires evaluation.

<sup>5</sup> Certificate of Determination of Exemption/Exclusion from Environmental Review for 2005.0429E: 953 Treat Avenue prepared by Paul E. Maltzer, dated November 8, 2005.

<sup>6</sup> Page & Turnbull has also reviewed the letter written by the Appellant dated January 27, 2017 and maintains their professional opinion that 953 Treat Avenue is not a historic resource under CEQA. In a memo dated February 2, 2017, Page & Turnbull stands by the conclusions of their April 27, 2015 HRE.

refute the Planning Department's determination that 953 Treat Avenue is not eligible for listing in the California Register under any criteria and is therefore not a historic resource under CEQA.

In conclusion, the Planning Department correctly concludes that the proposed project would not result in a significant adverse impact to an individual historic resource

For the reasons stated above and in the CEQA Categorical Exemption Determination, the CEQA Determination complies with the requirements of CEQA and the Project is appropriately exempt from environmental review pursuant to the cited exemptions. The Department therefore recommends that the Board uphold the CEQA Categorical Exemption Determination and deny the appeal of the CEQA Determination.

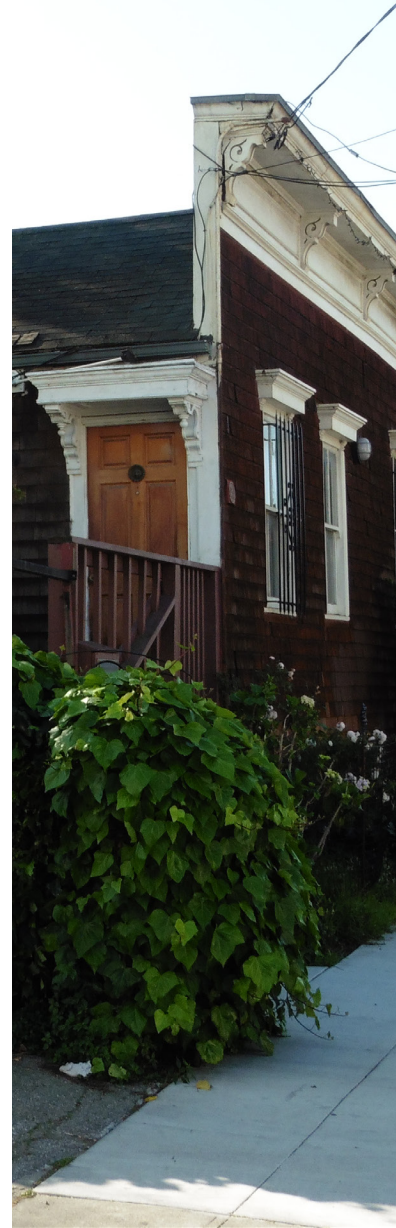
**Attachment A –  
Historic Resource  
Evaluation prepared by  
Page & Turnbull dated  
April 27, 2015**

[this page intentionally left blank]

953 TREAT AVENUE  
HISTORIC RESOURCE EVALUATION

SAN FRANCISCO, CALIFORNIA  
[15064]

PREPARED FOR:  
SHADI ABOUKHATER



PAGE & TURNBULL

imagining change in historic environments through design, research, and technology

APRIL 27, 2015

FINAL





**TABLE OF CONTENTS**

**I. INTRODUCTION..... I**

SUMMARY OF DETERMINATION ..... 1

METHODOLOGY ..... 2

**II. CURRENT HISTORIC STATUS ..... 3**

NATIONAL REGISTER OF HISTORIC PLACES ..... 3

CALIFORNIA REGISTER OF HISTORICAL RESOURCES ..... 3

SAN FRANCISCO CITY LANDMARKS ..... 3

CALIFORNIA HISTORICAL RESOURCE STATUS CODE..... 3

SAN FRANCISCO ARCHITECTURAL HERITAGE ..... 4

1976 DEPARTMENT OF CITY PLANNING ARCHITECTURAL QUALITY SURVEY ..... 4

HISTORIC RESOURCE EVALUATION (2005) ..... 4

SOUTH MISSION HISTORIC RESOURCE SURVEY ..... 5

**III. ARCHITECTURAL DESCRIPTION AND SITE HISTORY ..... 7**

953 TREAT AVENUE..... 7

NEIGHBORHOOD SETTING ..... 16

PROJECT SITE HISTORY ..... 18

CONSTRUCTION CHRONOLOGY ..... 21

**IV. HISTORIC CONTEXT ..... 22**

THE MISSION DISTRICT ..... 22

RAILROAD HISTORY..... 24

OWNER/OCCUPANT HISTORY ..... 25

**V. ARCHITECT/BUILDER/LANDSCAPE ARCHITECT ..... 26**

**VI. EVALUATION..... 27**

CALIFORNIA REGISTER OF HISTORICAL RESOURCES ..... 27

OPINION ON PREVIOUS EVALUATION..... 28

**VII. CONCLUSION ..... 31**

**VIII: BIBLIOGRAPHY ..... 32**

PUBLISHED WORKS ..... 32

NEWSPAPERS AND INTERNET RESOURCES ..... 32

PUBLIC RECORDS ..... 32

### I. INTRODUCTION

This Historic Resource Evaluation (HRE) has been completed for 953 Treat Avenue (APN 3639/028), a residence on a 4,275 sq. ft. triangular lot in San Francisco’s Mission District (**Figure 1**). The building was constructed in 1887 for Owen and Isabella Gorman; the original architect and builder are unknown. It is irregular in plan, and developed in a vernacular interpretation of the Italianate style. The parcel is zoned “UMU – Urban Mixed Use.”<sup>1</sup>

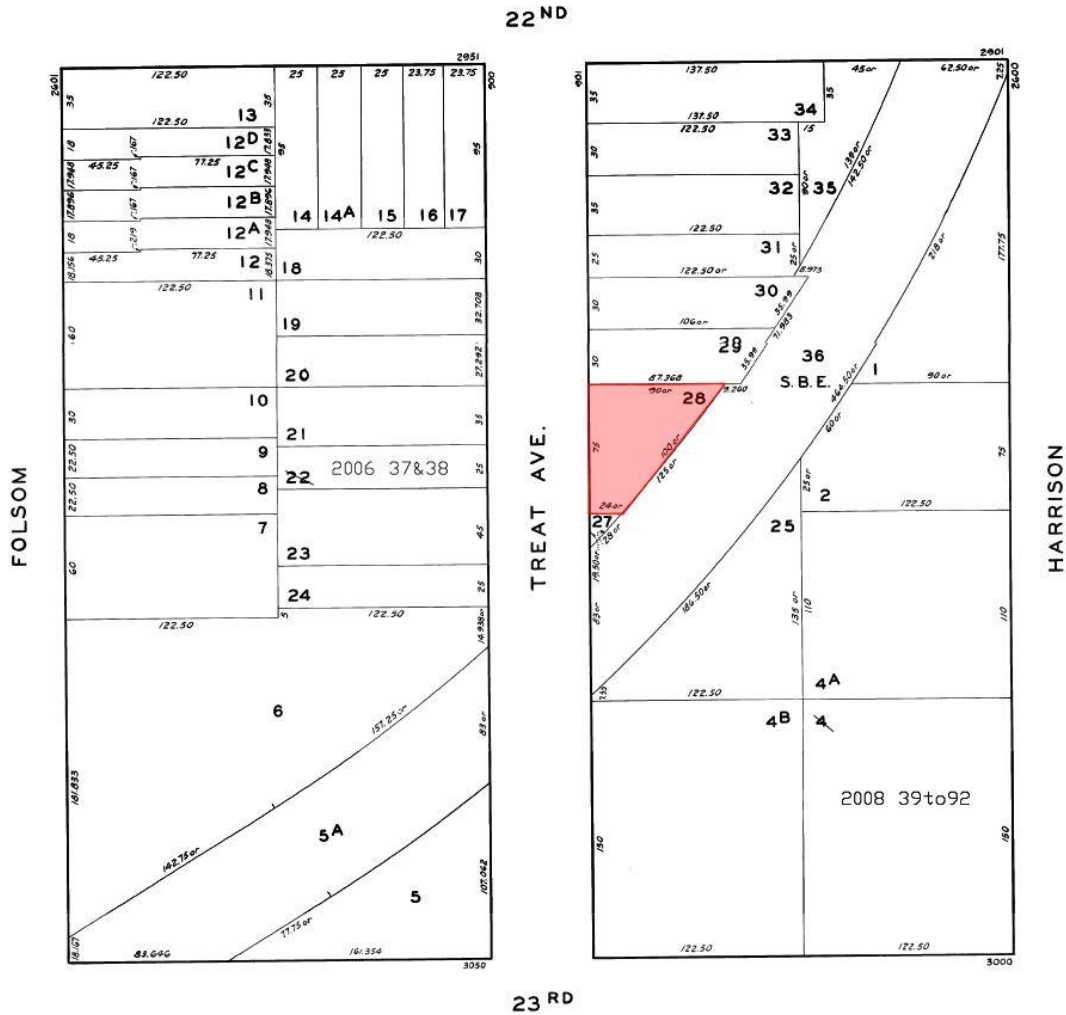


Figure 1. City & County of San Francisco Assessor’s map of subject block, 2008. 953 Treat Avenue is shaded in red.

Source: San Francisco Property Information Map, edited by author.

### SUMMARY OF DETERMINATION

953 Treat Avenue has been evaluated for the California Register of Historical Resources in previous reports and surveys, with conflicting results. This evaluation finds the property not to be individually eligible for listing in the California Register under any significance criteria. Nor does the property fall within the boundaries of any recognized historic districts. For these reasons, 953 Treat Avenue does

<sup>1</sup> San Francisco Property Information Map.

not qualify as a historic resource for the purposes of review under the California Environmental Quality Act (CEQA).

## **METHODOLOGY**

This report follows the outline provided by the San Francisco Planning Department for Historic Resource Evaluation reports, and provides an examination of the current historic status for 953 Treat Avenue, a building description, and a historic context statement. The report also includes an evaluation of the property's eligibility for listing in the California Register.

A previous HRE had been written for the property in 2005. Page & Turnbull supplemented the prior report with additional research to provide further details on the building's construction, owner, and occupant history, and a broad neighborhood historic context in order to establish the building's relationship to the development of the Mission District.

Page & Turnbull prepared this report using research collected at various local repositories, including the San Francisco Assessor, San Francisco Department of Building Inspection, San Francisco Public Library, and the San Francisco Historical Photograph Collection. Research was also collected using online sources, including the ProQuest historical newspaper database, digital Sanborn Fire Insurance Map collection, and Ancestry.com.

All photographs in this report were taken by Page & Turnbull in March, 2015, unless otherwise noted.

## II. CURRENT HISTORIC STATUS

According to the San Francisco Property Information Map, the property at 953 Treat Avenue has been given a Planning Department Historic Resource Status Code of “C–Not a Historic Resource.” However, 953 Treat Avenue has received conflicting historic survey evaluations in the past. The following section examines the national, state, and local historical ratings currently assigned to the building at 953 Treat Avenue. This section also reviews previous reports and findings concerning the property.

### NATIONAL REGISTER OF HISTORIC PLACES

The National Register of Historic Places (National Register) is the nation’s most comprehensive inventory of historic resources. The National Register is administered by the National Park Service and includes buildings, structures, sites, objects, and districts that possess historic, architectural, engineering, archaeological, or cultural significance at the national, state, or local level.

953 Treat Avenue is not currently listed in the National Register of Historic Places.

### CALIFORNIA REGISTER OF HISTORICAL RESOURCES

The California Register of Historical Resources (California Register) is an inventory of significant architectural, archaeological, and historical resources in the State of California. Resources can be listed in the California Register through a number of methods. State Historical Landmarks and National Register-listed properties are automatically listed in the California Register. Properties can also be nominated to the California Register by local governments, private organizations, or citizens. The evaluative criteria used by the California Register for determining eligibility are closely based on those developed by the National Park Service for the National Register of Historic Places.

953 Treat Avenue is not currently listed in the California Register of Historical Resources.

### SAN FRANCISCO CITY LANDMARKS

San Francisco City Landmarks are buildings, properties, structures, sites, districts, and objects of “special character or special historical, architectural or aesthetic interest or value and are an important part of the City’s historical and architectural heritage.”<sup>2</sup> Adopted in 1967 as Article 10 of the City Planning Code, the San Francisco City Landmark program protects listed buildings from inappropriate alterations and demolitions through review by the San Francisco Historic Preservation Commission. These properties are important to the city’s history and help to provide significant and unique examples of the past that are irreplaceable. In addition, these landmarks help to protect the surrounding neighborhood development and enhance the educational and cultural dimension of the city.

953 Treat Avenue is not currently designated as a San Francisco City Landmark or Structure of Merit, nor is it located in the C-3 (Downtown) area and therefore is not an Article 11 historic resource.

### CALIFORNIA HISTORICAL RESOURCE STATUS CODE

Properties listed or under review by the State of California Office of Historic Preservation are assigned a California Historical Resource Status Code (Status Code) of “1” to “7” to establish their historical significance in relation to the National Register of Historic Places (National Register or

---

<sup>2</sup> San Francisco Planning Department, *Preservation Bulletin No. 9 – Landmarks*, accessed online at <http://www.sf-planning.org/Modules/ShowDocument.aspx?documentid=5081> on January 9, 2015.

NR) or California Register of Historical Resources (California Register or CR). Properties with a Status Code of “1” or “2” are either eligible for listing in the California Register or the National Register, or are already listed in one or both of the registers. Properties assigned Status Codes of “3” or “4” appear to be eligible for listing in either register, but normally require more research to support this rating. Properties assigned a Status Code of “5” have typically been determined to be locally significant or to have contextual importance. Properties with a Status Code of “6” are not eligible for listing in either register. Finally, a Status Code of “7” means that the resource has not been evaluated for the National Register or the California Register, or needs reevaluation.

As of 2012, 953 Treat Avenue was not listed in the California Historic Resources Information System (CHRIS) database with any Status Code.

### SAN FRANCISCO ARCHITECTURAL HERITAGE

San Francisco Architectural Heritage (Heritage) is the city’s oldest not-for-profit organization dedicated to increasing awareness and preservation of San Francisco’s unique architectural heritage. Heritage has completed several major architectural surveys in San Francisco, the most important of which was the 1977-78 Downtown Survey. This survey, published in publication *Splendid Survivors* in 1978, forms the basis of San Francisco’s Downtown Plan. Heritage ratings, which range from “D” (minor or no importance) to “A” (highest importance), are analogous to Categories V through I of Article 11 of the San Francisco Planning Code, although the Planning Department did use their own methodology to reach their own findings. In 1984, the original survey area was expanded from the Downtown to include the South of Market area in a survey called “Splendid Extended.”

953 Treat Avenue is not located within the survey area of *Splendid Survivors* or “Splendid Extended”.

### 1976 DEPARTMENT OF CITY PLANNING ARCHITECTURAL QUALITY SURVEY

The 1976 Department of City Planning Architectural Quality Survey (1976 DCP Survey) is what is referred to in preservation parlance as a “reconnaissance” or “windshield” survey. The survey looked at the entire City and County of San Francisco to identify and rate architecturally significant buildings and structures on a scale of “-2” (detrimental) to “+5” (extraordinary). No research was performed and the potential historical significance of a resource was not considered when a rating was assigned. Buildings rated “3” or higher in the survey represent approximately the top two percent of San Francisco’s building stock in terms of architectural significance. However, it should be noted here that the 1976 DCP Survey has come under increasing scrutiny over the past decade due to the fact that it has not been updated in over twenty-five years. As a result, the 1976 DCP Survey has not been officially recognized by the San Francisco Planning Department as a valid local register of historic resources for the purposes of the California Environmental Quality Act (CEQA).

953 Treat Avenue is not listed in the 1976 DCP Survey.

### HISTORIC RESOURCE EVALUATION (2005)

An Historic Resource Evaluation (HRE) report for 953 Treat Avenue was completed in 2005 by James W. Heinzer, one of the property owners. The report contained a description of the house, interior and exterior, as well as a narrative of recent changes to the property. Heinzer also included a description of the surrounding buildings and provided an in-depth description of the legal contentions concerning ownership of the contiguous railroad right-of-way parcel which lies adjacent to the subject property. Heinzer made the following list of conclusions regarding 953 Treat Avenue on page 6 of his report:

1. “The house is a collection of tacked on smaller structures on exposed piers with various disjointed rooflines and pitches;
2. The dwelling is in extremely poor structural condition which will be substantiated in the Soundness Report;
3. In its location between two two-story cement tilt up commercial buildings in the predominately commercial area of its block; the house looks out of place;
4. No doubt early residents of the 953 Treat Ave. house witnessed the Mission District’s remaining vegetable gardens turn into new homes and commercial buildings but who those residents were and what they did as professions is not known;
5. While from 1891 to 1991 the resident of the 953 Treat Ave. house could see rail cars go by on the contiguous railroad right-of-way, those residents were not railroad employees that lived in the house as part of their railroad employment;
6. Though the 953 Treat Ave. home was owned by the John Center Corporation whose major shareholder was John Center, the most influential San Franciscan of his time in the Mission District, John Center never lived in the house;
7. The major accomplishments of John Center to the development of San Francisco are no more represented by the 953 Treat Ave. house that the land in and around the house or the land in many other areas of the Mission District which John Center grew vegetables on in the mid 1800’s;
8. My investigation could not find any person of historical significance that ever lived in the 953 Treat Ave. house;
9. For over the last 50 years the house has been a rental property; and
10. Future development of the contiguous former railroad right-of-way parcel appears unlikely and therefore should not effect [sic] the development of the Treat Ave. parcel.”<sup>3</sup>

Heinzer concluded that the subject property was not historically significant. Page & Turnbull responded to Heinzer’s conclusions in the Evaluation section of this document.

In response to Heinzer’s HRE, the Planning Department provided a Historic Resource Evaluation Response (HRER) memorandum, noting that 953 Treat Avenue is not eligible for the California Register, and therefore would not be considered an historical resource under CEQA. However, the memorandum went on to classify the property as “Category B”.<sup>4</sup> A Category B historic resource status is defined as a property “requiring further consultation and review.”<sup>5</sup>

### **SOUTH MISSION HISTORIC RESOURCE SURVEY**

953 Treat Avenue was evaluated as part of the City of San Francisco’s South Mission Historic Resource Survey in 2010. The survey area was approximately bounded by 20<sup>th</sup> Street to the north, Potrero Avenue to the east, Cesar Chavez Street to the south, and Guerrero Street to the west. The survey documented and assessed approximately 3,800 individual buildings and identified 13 historic districts. Primary Record Department of Parks and Recreation 523A forms were used to record most buildings determined to be historic resources or potential historic resources. The South Mission Survey was adopted by the Historic Preservation Commission on November 17, 2011.<sup>6</sup>

---

<sup>3</sup> James Heinzer, Historic Resource Evaluation for 953 Treat Ave., April 28, 2005, p. 6.

<sup>4</sup> Winslow Hastie, “Memorandum: Historic Resource Evaluation Response,” San Francisco Planning Department, September 15, 2005.

<sup>5</sup> “San Francisco Preservation Bulletin No. 16,” San Francisco Planning Department.

<sup>6</sup> San Francisco Planning Department, “South Mission Historic Resource Survey,” January 6, 2014. <http://www.sf-planning.org/index.aspx?page=2473>

953 Treat Avenue is not located within any of the 13 identified historic districts. A 523A form was completed for the subject property during the survey, but a CHR Status Code was not assigned. The survey documents show conflicting assessments regarding individual significance:

- The map of *Complete Survey Findings* shows the parcel as a “Non-Resource property identified by survey”<sup>7</sup>;
- The map of *Individually Eligible Historic Resources and Potential Historic Districts* shows the parcel as a “Potential Historic Resource identified by survey - requires further research”<sup>8</sup>;
- Matrix of all surveyed properties assigns a CHRSC of 7R to 953 Treat Avenue, noting that its resource eligibility was “not determined: requires intensive research”<sup>9</sup>;

In sum, it appears that further research and evaluation was needed before an individual determination on the significance of the subject property could be made.

---

<sup>7</sup> “Complete Survey Findings,” updated 11/09/2010. [http://www.sf-planning.org/ftp/files/Preservation/South\\_Mission/Map\\_of\\_Historic\\_Resource\\_Survey\\_Findings.pdf](http://www.sf-planning.org/ftp/files/Preservation/South_Mission/Map_of_Historic_Resource_Survey_Findings.pdf)

<sup>8</sup> “Individually Eligible Historic Resources and Potential Historic Districts,” updated 11/09/2010, [http://www.sf-planning.org/ftp/files/Preservation/South\\_Mission/Map\\_of\\_Individual\\_Historic\\_Resources.pdf](http://www.sf-planning.org/ftp/files/Preservation/South_Mission/Map_of_Individual_Historic_Resources.pdf)

<sup>9</sup> “List of Surveyed Properties,” 8/31/2010, [http://www.sf-planning.org/ftp/files/Preservation/South\\_Mission/Indiv\\_address.pdf](http://www.sf-planning.org/ftp/files/Preservation/South_Mission/Indiv_address.pdf)

### III. ARCHITECTURAL DESCRIPTION AND SITE HISTORY

#### 953 TREAT AVENUE

953 Treat Avenue is located on a triangular lot measuring approximately 90' x 94.5' x 125' on the east side of Treat Avenue between 22<sup>nd</sup> and 23<sup>rd</sup> streets. The property abuts the former railroad easement to the east. The building is one story over a raised crawlspace. The building is irregular in plan. The footprint consists of a rectangular core with several projecting volumes on the rear (east) and south facades (**Figure 2**). The building is wood frame on a wood pier foundation, and capped with two parallel front-gable roofs at the main core and shed roofs at the rear and side volumes. Due to the irregular and complicated footprint, the following description begins with the Treat Avenue (west) façade and continues around the building in a clock-wise direction, incorporating full descriptions of each projecting volume into the discussion of the façade where it originates.

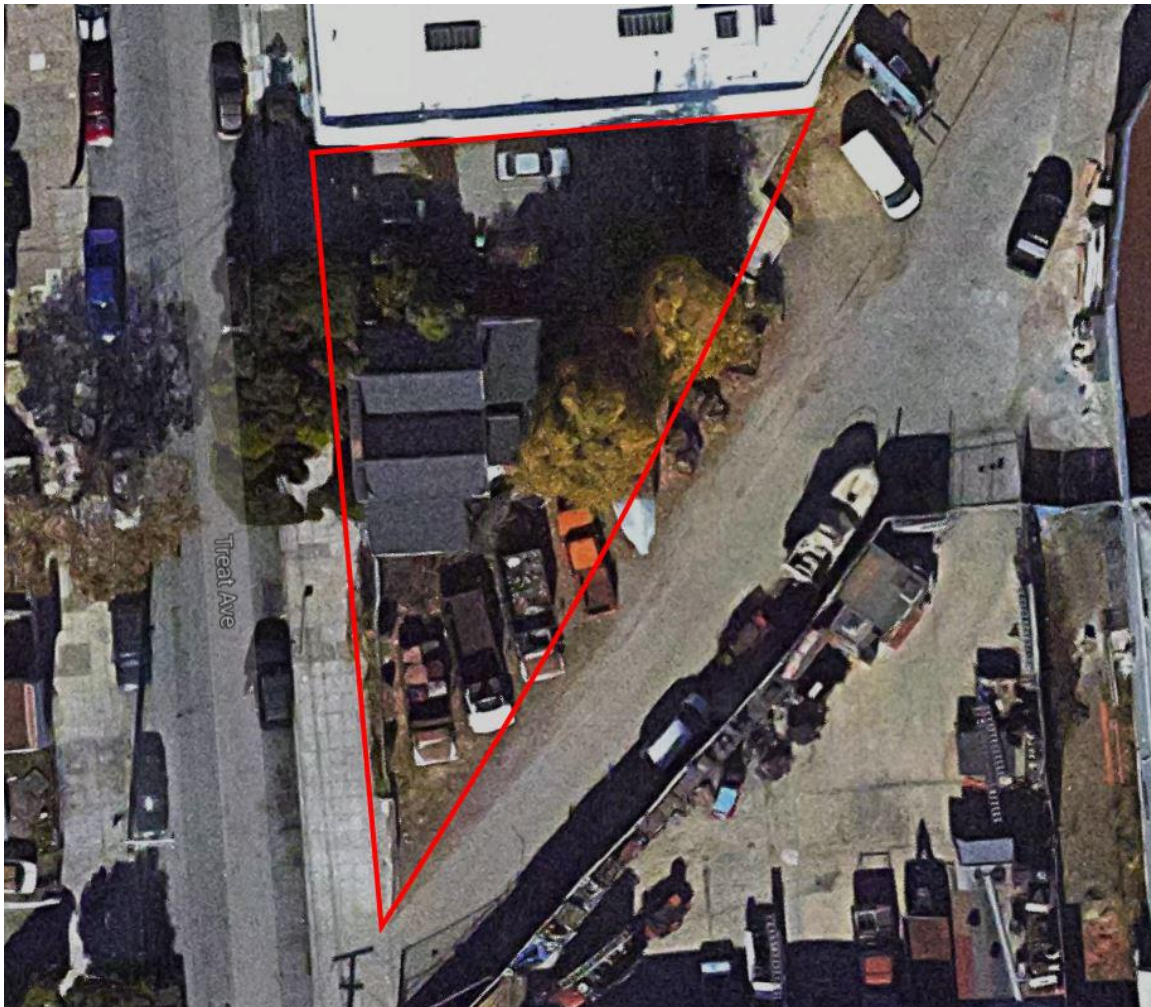


Figure 2. Aerial view of subject property, outlined in red.  
Source: Google Maps, edited by author.





Figure 3. 953 Treat Ave, looking east.

#### Primary (West) Façade

The primary façade faces west towards Treat Avenue (**Figure 4**). It features a false front in the Italianate style and is clad in wood shingles. The raised crawl space contains two metal vents at the north end, and two boarded wood frame openings at the south end. The first story contains four wood-sash, double-hung, split-pane windows surmounted by flat hoods. The windows span the façade, with the two at the south end being paired. Two of the four windows are covered by iron grates (**Figure 5 & 6**). The façade terminates in a bracketed cornice (**Figure 7**).



Figure 4. Primary false front façade, looking east.



Figure 5. Primary façade windows.



Figure 6. Primary façade windows.



Figure 7. False front and bracketed cornice, looking south along Treat Avenue.

### North Façade

The north façade is divided into two portions that are distinguished by roof shape and cladding materials (**Figure 8**). The right (west) end of the façade terminates in the long eave of a gable roof. The raised crawlspace is clad in drop wood siding and contains a fixed six-lite, wood-frame window (**Figure 9**). The first story contains the building's primary entrance. The entrance is at the far right (west, close to the primary façade of the building) of the façade and is fronted by a small wood deck accessed via seven wood steps. The entry consists of a paneled wood door surmounted by a decorative bracketed hood (**Figure 10**). A wood-sash, double-hung window with wood casing is located to the right of the entry (**Figure 11**).

The left (east) portion of the north façade terminates in the slope of a shed roof, and is clad in drop wood siding (**Figure 12**). The crawl space under the residence can be accessed from this portion via a small wood-slat door (**Figure 13**). The first story contains a double-hung, wood-sash window, and a fixed window (**Figure 14**). A secondary entrance is located at the far left (east, near the rear of the building) of the façade, and features a wood door and small wood deck. All of the windows on the north façade are covered by security bars



Figure 8. North façade, looking south.



Figure 9. Window to crawlspace at north façade.

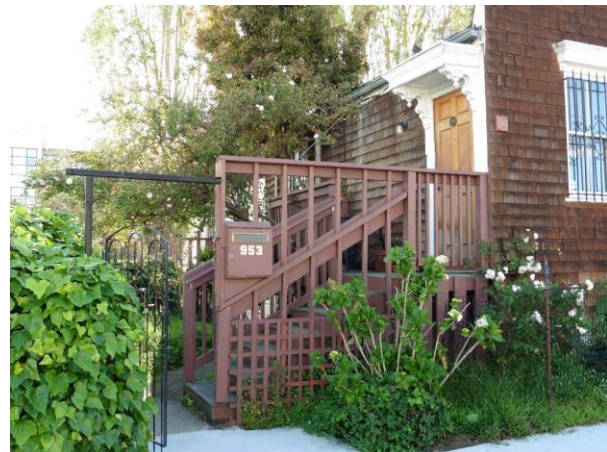


Figure 10. Primary entrance at northwest corner.



Figure 11. Double hung window at north façade, looking southwest.

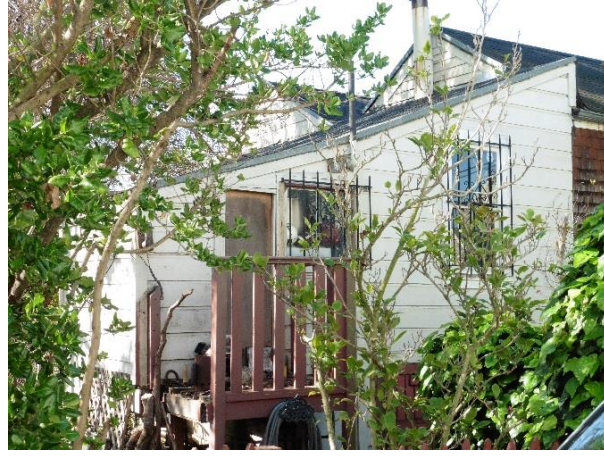


Figure 12. Eastern portion of north façade, looking southwest.



Figure 13. Crawlspace entrance at north façade.



Figure 14. Double hung window in east portion of façade.

### Rear (East) Façade

The rear (east) façade faces onto the former railroad right-of-way which cuts through the subject block at a diagonal angle. It features several projecting volumes with shed roofs. These volumes are all raised above ground and supported by wood piers on concrete block.

The projecting volume at the right (north) portion of the façade contains one wood-frame, double hung window with security bars on its south face (see Figure 17). In the ell on the east side, there is a small projecting volume clad in vertical wood siding and containing one fixed, wood-frame window covered with security bars (Figure 15). At center, on the façade of the main building core, is a vertical, fixed wood frame multi-lite window (Figure 16, Figure 17). The projecting volume at the left (south) portion of the façade contains a vertical vinyl sliding window within a wood frame on its south face (Figure 18, Figure 19, Figure 20).



Figure 15. Projecting volumes on north portion of facade, looking northwest.



Figure 16. Window at center of building, looking west between two projecting volumes.

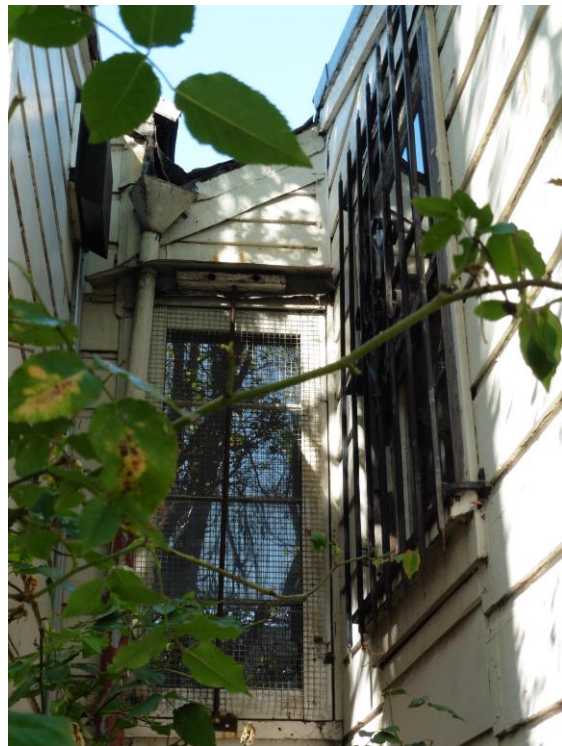


Figure 17. Close view of window on northern projecting volume and window at center.



Figure 18. Projecting volume at south portion of façade, looking south.



Figure 19. South face of projecting volume at south portion of façade, looking north.



Figure 20. Vinyl window within wood frame on south side of projecting addition.

### South Façade

The south façade terminates in the long eave of a gable roof. It contains one wood-sash, double-hung window at the right (east) end (**Figure 22**). The rest of the façade is comprised of an attached garage, which projects from the façade under a shed roof with a slightly overhanging eave (**Figure 21**). The garage contains no fenestration.



Figure 21. South façade, looking north.

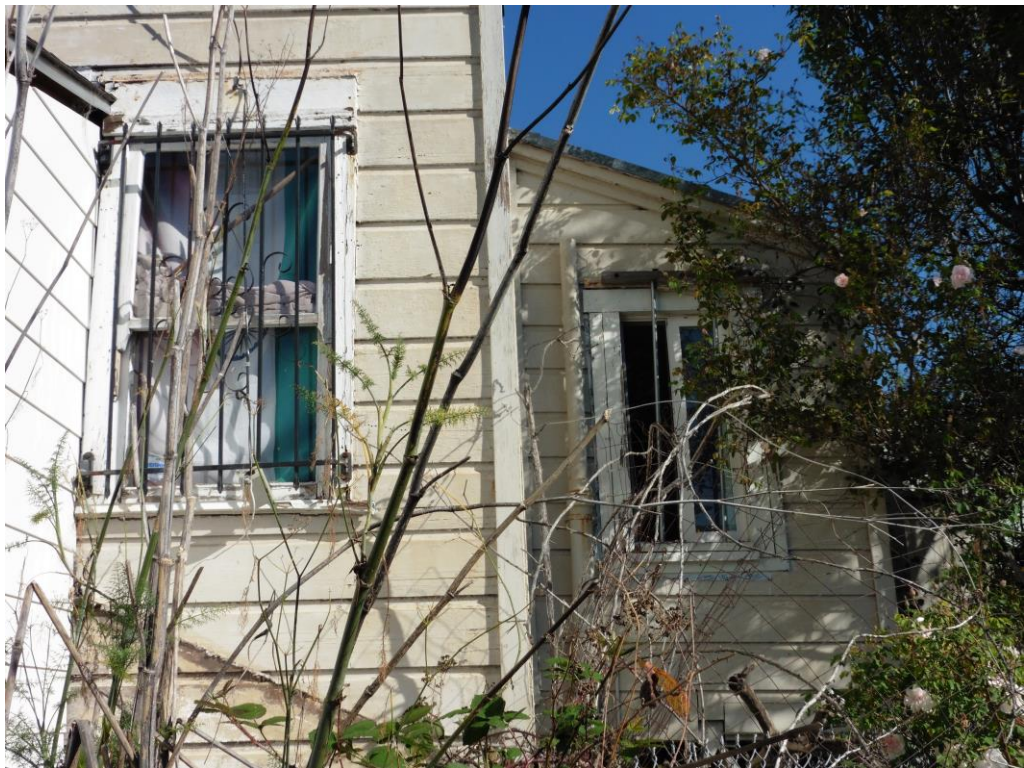


Figure 22. Window on south façade (left). Window on rear projecting volume also visible (right).



### Landscape

953 Treat Avenue occupies the southern portion of the triangular lot. The primary façade is lined with low-lying greenery between the residence and the sidewalk along Treat Avenue. The north, east, and south façades are heavily vegetated with camellias, climbing roses, and other shrubs and brambles. A small brick and cement paved area is located at the north façade (**Figure 23**). The northern portion of the lot is paved and separated from the house and garden by a hedge and a wood picket fence (**Figure 24**). A chain link fence marks the majority of the rear of the property line, facing onto the former railroad easement.



Figure 23. Side yard along north façade, looking east.



Figure 24. Paved northern portion of subject lot, looking east.

### NEIGHBORHOOD SETTING

The neighborhood surrounding 953 Treat Avenue is a mix of commercial, industrial, and residential buildings. The residences are primarily two story over garage Victorian homes and are occupied by single and multi-unit uses. Commercial and industrial buildings, also one to two stories in height, are generally utilitarian in design. A dominant feature of the area is the railroad right-of-way that cuts diagonally through the subject block (**Figure 25, Figure 26, Figure 27**). The easement has been paved over, although metal tracks are still partially visible. To the immediate north of the subject property is a two story warehouse and several residences in a variety of styles (**Figure 28**). On the west side of Treat Avenue there is a community park, an empty lot, and one- and two-story residences (**Figure 29, Figure 30, Figure 31**). To the south of the subject property is a two story warehouse (**Figure 32**).



Figure 25. Railroad right-of-way, looking west.  
Subject property is at right.



Figure 26. Railroad right-of-way, looking northeast.



Figure 27. Four story construction east of  
subject property and railroad right-of-way,  
looking east.



Figure 28. Warehouse north of subject  
property.

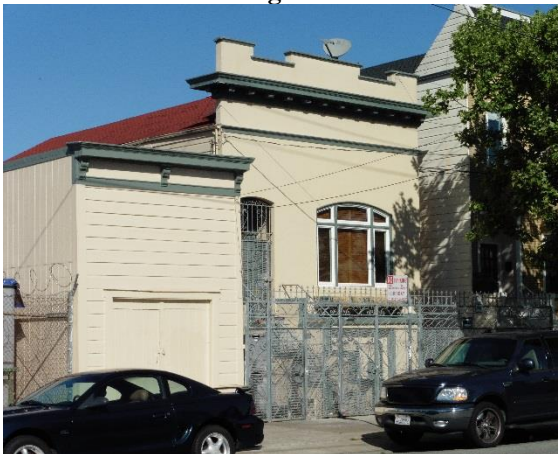


Figure 29. Garage and residence on west side  
of Treat Avenue.



Figure 30. Residences across from subject  
property.



Figure 31. Residences on west side of Treat Avenue.



Figure 32. Warehouse building south of the subject property, looking southeast.

### PROJECT SITE HISTORY

The San Francisco & San Jose Railroad track cut through the lower Mission valley and the subject area around 1863. No construction occurred on the subject parcel until the subject building was constructed in 1887, according to the Spring Valley Water Tap records. The original architect or builder is unknown.

On the 1889 Sanborn map, a one story building is shown on the subject lot (**Figure 33**). This building appears to represent the northern portion of the extant building, which includes the primary and secondary entrances and a single gable roof with adjoining sheds. It was rectangular in plan with two volumes extending in a linear fashion off the east façade. By 1900, the adjoining lot to the north had been incorporated into the subject parcel and the building had nearly doubled in size (**Figure 34**). New additions included the expansion of the main core of the house to the south (the second gable roof), the projecting volume which is now the garage, and additional sheds at what has come to be considered the rear (east) façade. The property also included a stable or other ancillary building at the northeast point of the parcel.

The building was spared from the widespread fire that destroyed much of the northern Mission district in 1906. By 1914, the building footprint had expanded even further to include additional projecting volumes at the east façade, the expansion of the stable, and two more ancillary structures on the parcel (**Figure 35**). This footprint remains the same through the 1950 Sanborn map, with no alterations except the loss of the shed building along the north lot line (**Figure 36**).

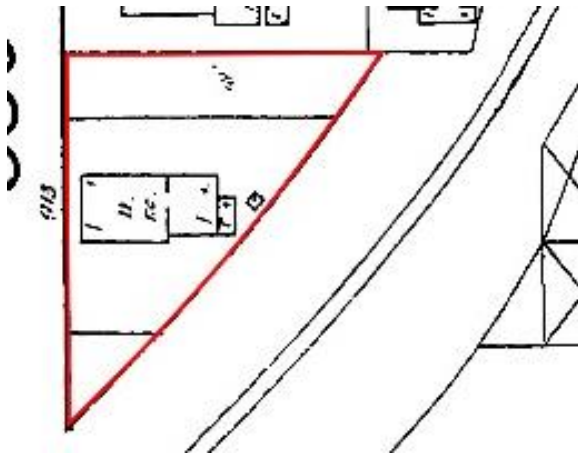


Figure 33. 1889 Sanborn map. Notations read “D” and “PC” for “patent chimney.” Subject property outlined in red. North is up.  
Source: 1866-1893 Sanborn Fire Insurance Map, volume 3, sheet 82a.



Figure 34. 1900 Sanborn map. Subject property outlined in red. North is up.  
Source: 1899-1900 Sanborn Fire Insurance Map, volume 5, sheet 512.

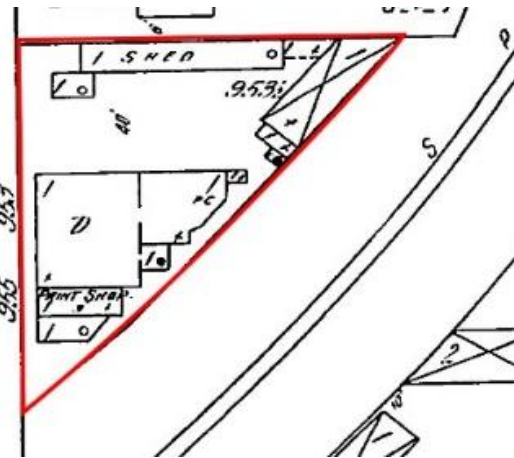


Figure 35. 1914 Sanborn map. Subject property outlined in red.  
Source: 1913-1915 Sanborn Fire Insurance Map, volume 6, sheet 598.

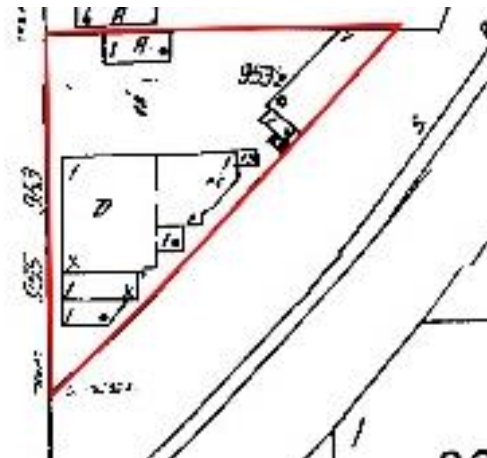


Figure 36. 1950 Sanborn map. Subject property outlined in red.  
Source: 1950 Sanborn Fire Insurance Map, volume 6, sheet 598.

In a 1938 aerial image, 953 Treat Avenue appears to have a footprint very similar to that existing today (**Figure 37**). The staggered east façade resulting from numerous projecting volumes and some ancillary buildings are visible in the photograph. The rear façade of the property was captured in a photograph from 1959 (**Figure 38**). In the photograph, lack of landscaping and trees at the rear of the property afford a better view of the façade than what is available today. A small lean-to is visible on the south side of the building. That structure is no longer extant, but markings of the shed roof are still visible on the south façade of the garage. A wood fence separated the residence from the railroad tracks. Additional known alterations are including in the following construction chronology.



Figure 37. 1938 aerial view of the subject property.  
Source: 1938 San Francisco Aerial, David Rumsey Historical Map Collection.



Figure 38. Rear façade of the subject property in 1959, when the Southern Pacific's small branch line was still in operation.  
Source: AAB-9455, San Francisco Public Library Historical Photograph Collection.

**CONSTRUCTION CHRONOLOGY**

Only two building permits are on file with the San Francisco Department of Building Inspection:

Date	Source	Description
1887	Spring Valley water tap records	953 Treat Avenue was constructed. Architect or builder unknown. <sup>10</sup>
1978	Building permit #08805495	Building was re-roofed

Based on physical observation of the building and evidence provided by historic maps, many additions occurred for which no permits exist:

- By 1900, the main building core was doubled, the south shed was added, and projecting volumes were added to the rear facade.
- The false front is too large to have adorned the smaller original street facing façade. It was likely added during or after the building core was doubled, but before 1938 when it appears in the aerial photograph.
- Several ancillary buildings on the northern portion of the property, including a stable and a shed, were constructed at unknown dates and are no longer extant. The first appearance of a stable was before 1900 and the remainder of the buildings were completed by 1914. A small shed, no longer extant, was also added to the east side of the garage addition.

James Heinzer’s 2005 HRE included a narrative of work on the house that he and his parents had performed during their occupancy of the subject property. Changes by the elder Heinzers included interior work and a re-roofing in 1978, as evidenced by the permit history. The work undertaken by Mr. Heinzer amounted to a re-roofing project in 2004, plumbing work, repairs to the wooden decks, replacement of the water heater and garage doors, new piers on concrete block placed underneath the house, and replacement of windows (although he does not specify which windows).

<sup>10</sup> Spring Valley Water Tap Records, vol. 6, p. 2351. San Francisco Property Information Map lists construction date as 1891.

## IV. HISTORIC CONTEXT

### THE MISSION DISTRICT

In 1776, Father Francisco Palou founded Mission Dolores on the banks of what the Spanish explorers had named Laguna de Manatí. Albeit altered and periodically rebuilt over the centuries, Mission Dolores still stands at the southwest corner of Dolores and Sixteenth streets, serving as the cultural heart of the neighborhood. After the Mexican government secularized the California missions in 1833, what is now the Mission District passed into the hands of several prominent Californio families. These ranching families – the Sanchezes, Noes, Guerreros and Valencias – remain memorialized by street names in the district.

California was incorporated into the United States with the Treaty of Guadalupe Hidalgo in 1848. For almost a decade after statehood, what is now the Mission District remained a rural area outside jurisdiction of the city of San Francisco. The isolated area became home to a wide variety of pastimes from roadhouses to commercial resorts. In 1850, a financier named Charles L. Wilson constructed a plank toll road along the current route of Mission Street between downtown and Sixteenth Street. The toll road provided the first reliable route from the Mexican/American settlement at Yerba Buena Cove to the patchwork settlement that had grown up around Mission Dolores.

Soon after the completion of the plank road San Francisco annexed the land now comprising the Mission District as part of the Consolidation Act of 1856. There had been a series of expansions of the city limits, gradually incorporating the open ranch lands. As the City of San Francisco attempted to organize the chaotic settlement and ownership claims for the area, the southern boundary of the city moved continually south. Steadily improving transportation during the second half of the 19<sup>th</sup> century allowed better access to the area. By 1867, there were several omnibus lines operating between downtown and the Mission, as well as a steam railroad line running along Harrison Street. Recreational and amusement facilities continued to thrive in the Mission. The most famous of these was Woodward's Gardens. Located on Mission Street, between Thirteenth and Fourteenth Streets, the early amusement park housed gardens, a picnic ground, an art museum, a zoo and many other attractions.

The largely under-developed land also provided the opportunity for horse-racing tracks, and the popularity of the racecourse entertainments drew more people to the area, which in turn led to the construction of new roads and began to increase property values.<sup>11</sup> The Pioneer racetrack was owned by George and John Treat. George Treat began to sell acres of the Pioneer land to the Homestead Union in 1861, and gradually the land was surveyed and divided into house lots. Following suit, the other racing tracks were sold and surveyed for subdivision in 1863 and renamed the Perkins Tract.<sup>12</sup> The subject building was later constructed on Perkins Tract land.

The Mission District also served as a major source of agriculture. John Center, a figure who was later dubbed the “father of the Mission,” developed a thriving fruit and vegetable trade to meet the influx of residents to San Francisco.<sup>13</sup> Center had been influential in the construction of the plank road and streetcar lines. He was a major landholder and subdivided large expanses of land to facilitate new streets and housing.

During the late half of the 19<sup>th</sup> century, residential development grew apace. Following the arrival of effective mass transit, speculators and homestead associations began to plat the district, laying out a

---

<sup>11</sup> Horatio Stoll, “Growth and Development of the Mission: Wonderful Record of Sixty Years,” *San Francisco Call*, July 18, 1908.

<sup>12</sup> Angus Macfarlane, “San Francisco Racetracks,” *The Argonaut*, p. 6.

<sup>13</sup> Horatio Stoll, “Growth and Development of the Mission,” *San Francisco Call*, July 18, 1908.

grid of streets as far south as what is now Cesar Chavez (previously Army Street). Some large-scale development in the vicinity was carried out by major real estate companies such as the Real Estate Associates and San Francisco Homestead Union. However, there were also many individual developments that created an eclectic collection of building types within the Mission. The Tanforan Cottages, located on the 200 block of Dolores Street, were built between 1853 and 1854 and are some of the oldest surviving dwellings in the city represent an earlier piecemeal approach to residential development. Typical of the early “pioneer” period, generally 1848-1864, were small, single story lightly framed wood frame cottages often with porches or false fronts or vernacular interpretations of the Greek and Gothic Revival styles.<sup>14</sup>

San Francisco’s status as a major port and a manufacturing and financial center was cemented in the later half of the 19<sup>th</sup> century. The period of 1864-1906, often termed the “Gilded Age,” was one of the most significant periods of growth for the Mission District. The Mission grew into a collection of dense neighborhoods representing a variety of classes and cultures. A mixed building stock developed, reflecting a range of Victorian styles that were popular in the later 19<sup>th</sup> century. The Italianate style began to appear in the mid-1860s and was popular through the 1870s. Front gables were masked with a false front and parapet featuring bracketed cornices and hooded apertures. Later designs added angular window bays to the flat fronts. In the 1880s and 1890s, the Stick-Eastlake style and the Queen Anne style dominated. These houses, often multi-unit flats instead of single-family residences, were more ornately decorated than previous styles. A few dwellings were constructed in the Shingle style during this time, but it was less common. The Romeo flats building type emerged to accommodate the high-density needs of the neighborhood and working class residents.<sup>15</sup>

The 1906 Earthquake and Fire changed everything, converting the Mission District into a thoroughly urban industrial and predominantly working-class district. The fire that sprang up as a result of the earthquake quickly destroyed the workers’ cottages, boarding houses, and machine shops of the South of Market District before moving into the Northeast Mission, destroying everything in its path before finally being halted at Twentieth Street, just a few blocks north of the 953 Treat Avenue. Downtown businesses destroyed in the conflagration relocated to Mission Street, while thousands of working-class immigrants uprooted from the South of Market District moved into the neighborhood.

A substantial portion of the new residents of the Mission were either Irish-born immigrants or their children. Most were employed in working-class occupations. Many men worked as teamsters, carpenters, or longshoremen and the women were often employed as domestic servants in the homes of the wealthy. Union activism thrived in the community, and remained high in the Mission District throughout the first half of the twentieth century as working-class residents sought to establish a forty-hour workweek and decent wages. Outside of work the “Mission Irish,” as they came to be known throughout the city, created a cohesive ethnic community in the Mission with its own insular culture, churches, bars, union halls, groceries, funeral parlors, and even accent.

The Mission District thrived as a self-contained predominantly Irish-American ethnic community until well after the Second World War. The war took thousands of local men out of the neighborhood to fight in Europe and the South Pacific and put many local women to work in local industries. Following the return of younger Mission residents from overseas after the war, many took advantage of the benefits conferred by the GI Act, such as educational grants and low-interest home loans. Newly developed housing tracts of the Sunset/Parkside, Marin County and the Peninsula encouraged many to move out of the aging Victorian flats of the Mission.

---

<sup>14</sup> City and County of San Francisco Planning Department, “City Within A City: Historic Context Statement for San Francisco’s Mission District,” November 2007, p. 27.

<sup>15</sup> City and County of San Francisco Planning Department, “City Within A City,” p. 49.



As the Irish-Americans abandoned the Mission, they were gradually replaced by Mexican, Salvadoran and Nicaraguan immigrants. From the 1950s to the present, the continued influx of immigrants from these countries has transformed the Mission into San Francisco's largest predominantly Latino neighborhood. Department stores and theaters along Mission Street which once catered to the Irish-American residents were converted into shops and community institutions serving the Latino community. Murals commemorating Latino history and culture transformed walls and fences into vivid public art. During the 1980s and 1990s the Mission experienced yet another cycle of transformation, as artists and other "Bohemians" were attracted to the neighborhood for its inexpensive rents, balmy climate, picturesque architecture and vibrant cultural scenes. Meanwhile, escalating real estate prices elsewhere in San Francisco have inspired urban professionals to purchase old Victorian flats and cottages in the heart of the Mission, sparking escalating concerns about gentrification and development.

## RAILROAD HISTORY

Transportation played a crucial role in the development of the Mission District. The flat valley provided the optimal route between San Francisco and the rest of the Peninsula. The historic El Camino Real route, plank roads, horse-drawn omnibuses, and streetcars all facilitated the development and settlement of the Mission district. The most powerful force, however, was the railroad, which strengthened the connection between the San Francisco ports and the Peninsula throughout the 19<sup>th</sup> century.

In 1863, the San Francisco & San Jose Railroad was established. The railroad line was arranged to follow the old route of the El Camino Real, cutting through the lower Mission Valley. The diagonal route was the result of arranging a minimal amount of easements with local landowners. John Center was among those landowners who granted a conveyance through his property in 1863.<sup>16</sup> The San Francisco & San Jose Railroad was a small company that ran a relatively short line providing passenger and freight service between San Francisco and San Jose. The founders aspired to expand south to creating a transcontinental line.<sup>17</sup> In December 1865, the company was reorganized and renamed the Southern Pacific Railroad Company.

The San Francisco & San Jose Railroad attracted the attention of the Big Four: railroad magnates Leland Stanford, Mark Hopkins, Collis Huntington, and Charles Crocker. They acquired this railroad in 1870, kept the name, and rapidly expanded it across the United States. The line that cut through the subject parcel and Center's land became known as the historic "Old Main Line" of the San Francisco & San Jose Railroad.

Eventually, this line was discontinued when outer lands on the San Francisco Bay were filled in to create a shorter route down to the Peninsula. The "Old Main Line" became a small branch line of the Southern Pacific and one of the last "in-town" rail services in the city. One terminus for this branch was at 23<sup>rd</sup> and Folsom, only one block from the subject property. The Southern Pacific line ceased passenger service through the San Bruno Gap and the Mission in 1930. Freight service was disconnected not long after.<sup>18</sup> The tracks behind the subject property became a short, local branch of the line, known as a spur line, which was used through 1991, when it was finally closed completely. Although the railroad no longer runs through the Mission, the influence that it had in bringing residents and businesses to the area is unmistakable. The diagonal route of the railroad is still visible in the block cut-throughs and irregularly curving lots located in several blocks.

---

<sup>16</sup> "Exhibit 14" James Heinzer's Historic Resource Evaluation, 2005.

<sup>17</sup> Loren Nicholson, *Rails Across The Ranchos: Centennial Edition Celebrating the Southern Pacific Railroad Coastal Line*, (San Luis Obispo, CA: California Heritage Publishing Associates), 1993, p. 7-9.

<sup>18</sup> San Francisco Planning Department, "City Within A City," November 2007, p. 78.

**OWNER/OCCUPANT HISTORY**

The following table shows the owner and occupant history for 953 Treat Avenue, gathered from various resources including the San Francisco Assessor’s Office, San Francisco city directories, and James Heinzer’s 2005 HRE:

Date	Owner	Occupant
1887- c. 1894	Owen and Isabella Gorman and family <sup>19</sup>	Owen and Isabella Gorman and family <sup>20</sup>
c. 1894 – 1924	John Center Company <sup>21</sup>	1894-1924: Louis Barner and family <sup>22</sup>
1924 – 1935	Henry and Evelyn Barner	Henry and Evelyn Barner
1935 – 1944	Louis and Minnie Miller	Unknown
1944 – 1952	Henry and Evelyn Barner	Unknown
1952 – 1953	Emma Kluckhuhn	Unknown
1954 – 1980	Ernest A. and Janet W. Heinzer	Various renters
1980 – present	James W. and Barbara Heinzer; James Heinzer	Various renters

The first known occupants of the house were Owen and Isabella Gorman. Gorman worked as a wool presser and moved out of the subject property after the death of his wife. The 1894 Block Book shows John Center as the owner of the subject lot. Louis Barner then moved into the subject property with his family, including his son Henry. Louis and Henry Barner were both employed as painters, which explains the labeling of a paint shop on the 1914 Sanborn map. Henry and his wife Evelyn later purchased the property from the John Center Company. They retained ownership intermittently until 1953, when Ernest and Janet Heinzer purchased 953 Treat Avenue. The Heinzers owned the adjacent property to the north where they operated a furniture manufacturing company while renting out 953 Treat Avenue.

<sup>19</sup> Crocker-Langley San Francisco City Directory, 1887; “Deaths,” *San Francisco Call*, 1892.

<sup>20</sup> Crocker-Langley San Francisco City Directory, 1887; “Deaths,” *San Francisco Call*, 1892.

<sup>21</sup> San Francisco Block Book, 1894, San Francisco Public Library; Sale of property from John Center Company to Henry Barber and Wife, 1924, “Exhibit 10,” James Heinzer HRE, 2005.

<sup>22</sup> Crocker-Langley San Francisco City Directory: 1894, 1900, 1905, 1910, 1924; California Voter Registrations, *Index to Register, City and County of San Francisco, Precinct 35*, April 1924. Accessed via Ancestry.com, held by the California State Library, roll 31; California Voter Registrations, *Index to Register, City and County of San Francisco, Precinct 35*, April 1, 1916. Accessed via Ancestry.com, held by the California State Library, roll 15.

## **V. ARCHITECT/BUILDER/LANDSCAPE ARCHITECT**

The original architect or builder of 953 Treat Avenue is unknown. No original or early building permit is available at the Department of Building Inspection. Furthermore, the neighborhood does not appear to be the work of a single builder or developer. The eclectic mix of building styles and types in the surrounding blocks suggests that the neighborhood developed parcel by parcel. Given the irregular development of the subject property, it's likely that early owners of 953 Treat Avenue built onto the property or demolished sections and ancillary buildings as dictated by the evolving needs of the occupants.

## VI. EVALUATION

### CALIFORNIA REGISTER OF HISTORICAL RESOURCES

The California Register of Historical Resources (California Register) is an inventory of significant architectural, archaeological, and historical resources in the State of California. Resources can be listed in the California Register through a number of methods. State Historical Landmarks and National Register-listed properties are automatically listed in the California Register. Properties can also be nominated to the California Register by local governments, private organizations, or citizens. The evaluative criteria used by the California Register for determining eligibility are closely based on those developed by the National Park Service for the National Register of Historic Places. Resources eligible for the National Register are automatically listed in the California Register of Historical Resources.<sup>23</sup>

In order for a property to be eligible for listing in the California Register, it must be found significant under one or more of the following criteria.

- *Criterion 1 (Events):* Resources that are associated with events that have made a significant contribution to the broad patterns of local or regional history, or the cultural heritage of California or the United States.
- *Criterion 2 (Persons):* Resources that are associated with the lives of persons important to local, California, or national history.
- *Criterion 3 (Architecture):* Resources that embody the distinctive characteristics of a type, period, region, or method of construction, or represent the work of a master, or possess high artistic values.
- *Criterion 4 (Information Potential):* Resources or sites that have yielded or have the potential to yield information important to the prehistory or history of the local area, California, or the nation.

The following section examines the eligibility of 953 Treat Avenue for individual listing in the California Register:

#### Criterion 1 (Events)

953 Treat Avenue does not appear to be significant under Criterion 1 (Events) as a resource associated with events that have made a significant contribution to the broad patterns of local or regional history, or the cultural heritage of California or the United States. No significant event has occurred involving the development of 953 Treat Avenue. Apart from its proximity to the tracks, the property does not have a significant link with the history of the San Francisco & San Jose Railroad or the Southern Pacific Railroad in the Mission district. The building was not constructed to serve the railroad or to house those associated with the railroad.

Furthermore, the building was not linked to the agricultural development in the Mission led by John Center, nor is the land known to have been used for that purpose. 953 Treat Avenue was part of the increasing residential development in the Mission before the turn of the 19<sup>th</sup> century. Small cottages gave way to larger, more stylized designs as more people moved to the Mission and access to the area became easy with public transportation routes. However, the subject building does not sufficiently

---

<sup>23</sup> California Office of Historic Preservation, *Technical Assistant Series No. 7, How to Nominate a Resource to the California Register of Historical Resources* (Sacramento, CA: California Office of State Publishing, 4 September 2001) 11.

embody the broad pattern of multi-unit residences that became characteristic of this development. For these reasons, 953 Treat Avenue does not appear to be individually eligible for listing in the California Register under Criterion 1.

#### Criterion 2 (Persons)

953 Treat Avenue does not appear to be significant under Criterion 2 (Persons) as a resource associated with the lives of persons important to local, California, or national history. Research on the owners and occupants of the property—the Gormans, Barners, Millers, Emma Kluckhuhn, or the Heinzers—has not revealed them to be historically significant persons. The influential John Center Company owned the property for a time, however, the parcel belonged to a vast holding of land and does not appear to have been directly connected with John Center himself in any notable way, such as a personal residence. Therefore, 953 Treat Avenue does not appear to be individually eligible for listing in the California Register under Criterion 2.

#### Criterion 3 (Architecture)

953 Treat Avenue does not appear to be significant under Criterion 3 (Architecture) as a property that embodies the distinctive characteristics of a type, period, region, or method of construction, or represents the work of a master, or possesses high artistic values. The property does not represent the distinctive character of residential architecture in the Mission District; rather, the property contains an amalgamation of different architectural styles from the district. 953 Treat Avenue's light wood frame construction, gable roof, and false front are characteristic of the early "pioneer" period homes, yet it was built outside of that style's period of significance (1848-1864). 953 Treat Avenue mimics these characteristics of an earlier time, likely taking cues from neighborhood examples. The following "Gilded Age" period saw many Italianate style residences in the 1860s and 1870s. Italianate features are visible in the front of the building in the hood of the primary entrance, the false front with a bracketed cornice, and the carved wood casings of the windows. However, the subject building post-dates the era of heavy Italianate construction in the Mission neighborhood and the front of the building is clad with wood shingles, an atypical treatment that detracts from the Italianate design. Lastly, the original architect or builder of 953 Treat Avenue is unknown. 953 Treat Avenue therefore does not possess high artistic style, embody an architectural style or building type, and does not embody the work of a master, and.

For these reasons, 953 Treat Avenue does not appear individually eligible for listing in the California Register under Criterion 3 (Architecture).

#### Criterion 4 (Information Potential)

953 Treat Avenue was not evaluated for significance under Criterion 4 (Information Potential). Criterion 4 generally applies to the potential for archaeological information to be uncovered at a site, which is beyond the scope of this report.

### OPINION ON PREVIOUS EVALUATION

Overall, Page & Turnbull concurs with many of the findings within Heizer's 2005 HRE. The occupant and ownership history reveals that no persons of historic significance are directly connected with the property, and its design does not represent the work of a master or possess high artistic values. However, additional research has revealed some misconceptions in prior documentation. The following section directly addresses the conclusions made on page 6 of James Heizer's 2005 HRE point by point:

1. "The house is a collection of tacked on smaller structures on exposed piers with various disjointed rooflines and pitches;"

The building footprint is composed of several different volumes. The main volume is a double gabled rectangular core. Several shed roof additions project from the rear (east) façade of the building. Based on Sanborn Fire Insurance Maps, the extant footprint appears to date from 1915 at the latest. The building has undergone changes but many of these date from very early in the building's history. The rectangular addition on the north end of the east facade dates from the original construction.

2. "The dwelling is in extremely poor structural condition which will be substantiated in the Soundness Report;"  
According to the National Register standards, the current condition of a building does not affect the analysis of potential significance and integrity. National Register and California Register criteria are not contingent upon current condition. For this purposes of this report, condition was not a factor in the evaluation.<sup>24</sup>
3. "In its location between two two-story cement tilt up commercial buildings in the predominately commercial area of its block; the house looks out of place;"  
A mix of industrial and residential uses has been present in this neighborhood since the 19<sup>th</sup> century. The commercial buildings specified here were constructed after 953 Treat Avenue and many other residences in the area. Much of the surrounding block remains residential. Furthermore, the neighborhood is zoned for mixed use, so residential buildings remain appropriate.
4. "No doubt early residents of the 953 Treat Ave. house witnessed the Mission District's remaining vegetable gardens turn into new homes and commercial buildings but who those residents were and what they did as professions is not known;"  
This report has provided as expanded occupant and ownership history. The Gormans and the Barners do not appear to be significantly connected to the agricultural history of the Mission District or with other events in the area. For these reasons, the property has been not been found eligible for listing under California Register Criterion 2 (Persons).
5. "While from 1891 to 1991 the resident of the 953 Treat Ave. house could see rail cars go by on the contiguous railroad right-of-way, those residents were not railroad employees that lived in the house as part of their railroad employment;"  
The expanded owner and occupant history supports this finding.
6. "Though the 953 Treat Ave. home was owned by the John Center Corporation whose major shareholder was John Center, the most influential San Franciscan of his time in the Mission District, John Center never lived in the house;"  
The subject property does not appear to have been subject connected in a significant way to the John Center Company workings in the area, as discussed under finding #4, or with John Center himself.
7. "The major accomplishments of John Center to the development of San Francisco are no more represented by the 953 Treat Ave. house that the land in and around the house or the land in many other areas of the Mission District which John Center grew vegetables on in the mid 1800's;"  
As described in the evaluations for Criteria 1 and 2 (Events and Persons), no significant link between the subject property and vegetable production of the Mission has been found.

---

<sup>24</sup> U.S. Department of the Interior, National Park Service, "National Register Bulletin 15: How to Apply the National Register Criteria for Evaluation," section 8, revised 2002.

8. “My investigation could not find any person of historical significance that ever lived in the 953 Treat Ave. house;”  
The expanded owner and occupant history concurs with this statement. The occupation of the house by two families for lengths of time is noteworthy but cannot alone confer significance.
9. “For over the last 50 years the house has been a rental property;”  
The use of 953 Treat Avenue is not considered a detriment to the building’s historic potential.
10. “Future development of the contiguous former railroad right-of-way parcel appears unlikely and therefore should not effect [sic] the development of the Treat Ave. parcel.”  
Development of the contiguous parcel was not evaluated as part of this report. The potential for development of the nearby right-of-way does not impact the historic potential for 953 Treat Avenue.

## VII. CONCLUSION

953 Treat Avenue is a single story wood frame cottage with an Italianate style false front clad in wood shingle. The original structure dates to 1887, with additions and expansions made before 1915. Adjacent to the subject property runs the former right-of-way of the Southern Pacific Railroad, forming the irregular triangular lot of the property. None of the occupants or owners have been identified as significant, nor is the property significantly connected with either the railroad or agricultural activity in the area. While maintaining elements of early cottages in the Mission District and design characteristics of Italianate false fronts, the cumulative design is not exemplary of any particular architectural style or period in the Mission's history. 953 Treat Avenue has been determined not to be eligible for listing in the California Register. For this reason, 953 Treat Avenue does not qualify as a historic resource for the purposes of review under the California Environmental Quality Act (CEQA).



## VIII: BIBLIOGRAPHY

### PUBLISHED WORKS

Nicholson, Loren. *Rails Across The Ranchos: Centennial Edition Celebrating the Southern Pacific Railroad Coastal Line*. San Luis Obispo, CA: California Heritage Publishing Associates, 1993.

### NEWSPAPERS AND INTERNET RESOURCES

California Voter Registrations, *Index to Register, City and County of San Francisco, Precinct 35*, April 1924. Accessed via Ancestry.com, held by the California State Library, roll 31.

California Voter Registrations, *Index to Register, City and County of San Francisco, Precinct 35*, April 1, 1916. Accessed via Ancestry.com, held by the California State Library, roll 15.

City and County of San Francisco Planning Department, "City Within a City: Historic Context Statement for San Francisco's Mission District." *San Francisco Planning Department* (2007). Accessed March 27, 2015. [http://www.sf-planning.org/ftp/files/Preservation/South\\_Mission/Mission\\_District\\_Context\\_Statement\\_Nov2007.pdf](http://www.sf-planning.org/ftp/files/Preservation/South_Mission/Mission_District_Context_Statement_Nov2007.pdf)

Harrison, Ryker. "1938 San Francisco Aerial." David Rumsey Historical Map Collection.

*San Francisco Call*, 1890-1913. Accessed via California Digital Newspaper Collection.

City and County of San Francisco Planning Department. "South Mission Historic Resource Survey." Last modified January 6, 2014. <http://www.sf-planning.org/index.aspx?page=2473>.

United States Federal Census Records, Ancestry.com

U.S. Department of the Interior, National Park Service, "National Register Bulletin 15: How to Apply the National Register Criteria for Evaluation," section 8, revised 2002. <http://www.nps.gov/nr/publications/bulletins/nrb15/>

### PUBLIC RECORDS

Sanborn Fire Insurance Maps

San Francisco Assessor-Recorder's Office, Sales Index

San Francisco City Directories

San Francisco Department of Building Inspection, Building Permit Applications

San Francisco Planning Department Online Property Information Map

Spring Valley Water Company Tap Records, San Francisco Public Library History Center

San Francisco Public Library Historical Photographs Collection



ARCHITECTURE  
PLANNING & RESEARCH  
PRESERVATION TECHNOLOGY

[www.page-turnbull.com](http://www.page-turnbull.com)

417 S. Hill Street, Suite 211  
Los Angeles, California 90013  
213.221.1200 / 213.221.1209 fax

2401 C Street, Suite B  
Sacramento, California 95816  
916.930.9903 / 916.930.9904 fax

417 Montgomery Street, 8<sup>th</sup> Floor  
San Francisco, CA 94104  
415.362.5154 / 415.362.5560 fax



[this page intentionally left blank]

**Attachment B –  
South Mission Historic  
Resource Survey findings  
(excerpt)**

[this page intentionally left blank]

San Francisco Planning Department - South Mission Historic Resource Survey  
Property Information Catalog (sorted by Street Address)

Assessor Block/Lot	Address (Low #)	Address (High #)	Street	Attribute Code/Description 1	Attribute Code/Description 2	Year Built	Year Built Source	Primary Record (OPR 352A)	Architectural Style 1	Architectural Style 2	Historic District	CHSRC	Listing Type	Resource Eligibility	Notes
3613-044	864	864	TREAT AV	HP2, Single Family Property		1925	Architectural est.	No	None			6Z	none	determined not eligible for listing	Sheds located at rear of lot.
3613-050	867	867	TREAT AV	HP2, Single Family Property		1886	SFPUC water tap	Yes	Stick/Establie			3CS	Individual	California Register	
3613-045	870	870	TREAT AV	HP3, Multiple Family Property		1871	SFPUC water tap	Yes	Italianate			3CS	Individual	California Register	Additional building (post-1914) located at rear of lot.
3613-048	871	871	TREAT AV	HP2, Single Family Property		1895	Sanborn Co. maps (est.)	Yes	Italianate			3CS	Individual	California Register	
3613-046	876	876	TREAT AV	HP2, Multiple Family Property		1915	SF Assessor	No	Eclectic/Modern			6Z	none	determined not eligible for listing	
3613-048	877	877	TREAT AV	HP3, Multiple Family Property		1920	Architectural est.	No	Mediterranean Revival			6Z	none	determined not eligible for listing	
3613-017	882	882	TREAT AV	HP3, Multiple Family Property		1865	1869 USCS map (est.)	Yes	Greek Revival			3S	Individual	National Register & California Register	
3613-047	883	883	TREAT AV	HP2, Single Family Property		1921	SF Assessor	No	None			6Z	Individual	determined not eligible for listing	
3639-034	901	901	TREAT AV	HP2, Multiple Family Property		1885	SFPUC water tap	No	Stick/Establie			6Z	none	determined not eligible for listing	
3639-018	906	906	TREAT AV	HP2, Single Family Property		1888	1889 USCS map (est.)	Yes	Italianate			7R	Individual (potential)	not determined; requires intensive research	
3639-033	907	907	TREAT AV	HP3, Multiple Family Property		1883	1889 USCS map (est.)	No	Italianate			6Z	none	determined not eligible for listing	
3639-032	915	915	TREAT AV	HP3, Multiple Family Property		1905	Sanborn Co. maps (est.)	Yes	Classical Revival			3CS	Individual	California Register	Additional dwelling (circa 1905) locate at rear of lot.
3639-019	922	922	TREAT AV	HP2, Multiple Family Property		1876	SFPUC water tap	No	Mediterranean Revival			6Z	none	determined not eligible for listing	Front appears to be alteration/addition
3639-031	923	923	TREAT AV	HP3, Multiple Family Property		1885	Sanborn Co. maps (est.)	No	Stick/Establie			6Z	none	determined not eligible for listing	
3639-020	928	928	TREAT AV	HP2, Single Family Property		1879	SFPUC water tap	No	Greek Revival			6Z	none	determined not eligible for listing	
3639-029	935	935	TREAT AV	HP8, Industrial Building		1853	SF Assessor	No	Industrial			6Z	none	determined not eligible for listing	Semi-attached building occupies multiple lots; 1914 in rear. Entry, unusual classically-influenced Queen Anne duplex. Porchhouse addition is mostly screened from view.
3639-030	936	936	TREAT AV	HP8, Industrial Building		1953	SF Assessor	No	Industrial			6Z	none	determined not eligible for listing	
3639-021	938	938	TREAT AV	HP3, Multiple Family Property		1885	SFPUC water tap	Yes	Queen Anne			3CS	Individual	California Register	Early, unusual classically-influenced Queen Anne duplex. Porchhouse addition is mostly screened from view.
3639-037	942	942	TREAT AV	HP3, Multiple Family Property		1880	Sanborn Co. maps (est.)	No	Stick/Establie			6Z	none	determined not eligible for listing	
3639-023	950	950	TREAT AV	HP2, Single Family Property		1874	SFPUC water tap	Yes	Italianate			6Z	none	determined not eligible for listing	Building in rear was stables, likely constructed circa 1905.
3639-028	953	953	TREAT AV	HP2, Single Family Property		1891	SF Assessor	Yes	Italianate			7R	Individual (potential)	not determined; requires intensive research	
3639-038	957	957	TREAT AV	HP8, Industrial Building		0	SF Assessor	No	None			n/a	none	not evaluated; vacant property; less than 50 years old	
3639-025	969	969	TREAT AV	HP8, Industrial Building		1905	SF Assessor	No	None			n/a	none	not evaluated; vacant property; less than 50 years old	
3639-024	970	970	TREAT AV	HP2, Single Family Property		1905	Sanborn Co. maps (est.)	No	Italianate			3CS	Individual	California Register	Building appears as store on 1914 Sanborn property; vacant property; less than 50 years old
3639-050A	980	980	TREAT AV	HP3, Multiple Family Property		0	SF Assessor	No	Modern			n/a	none	not evaluated; less than 50 years old	Park
3617-001	1000	1000	V.ALENCIA ST	HP3, Multiple Family Property		1978	SF Assessor	No	Modern			n/a	none	not evaluated; less than 50 years old	
3616-025	1007	1017	V.ALENCIA ST	HP3, Multiple Family Property		1884	SFPUC water tap	Yes	Italianate			3CS	Individual	California Register	
3617-003	1014	1024	V.ALENCIA ST	HP3, Multiple Family Property		1909	SF Assessor	Yes	Mission Revival			6L	none	determined not eligible for listing	
3616-024	1021	1021	V.ALENCIA ST	HP8, Industrial Building		1922	SF Assessor	Yes	Industrial			7R	Individual (potential)	not determined; requires intensive research	Appears to have lost ornament at parapet.
3617-004	1026	1026	V.ALENCIA ST	HP6, 1-3 Story Commercial Building		1940	SF Assessor	Yes	None			6Z	none	determined not eligible for listing	
3617-005	1030	1030	V.ALENCIA ST	HP3, Multiple Family Property		1895	Sanborn Co. maps (est.)	Yes	Classical Revival			6L	none	not evaluated; less than 50 years old	
3616-023	1031	1031	V.ALENCIA ST	HP3, Multiple Family Property		1892	SF Assessor	No	Modern			n/a	none	not evaluated; less than 50 years old	
3616-022	1037	1041	V.ALENCIA ST	HP3, Multiple Family Property		1880	Sanborn Co. maps (est.)	Yes	Italianate			3CS	Individual	California Register	
3617-006	1038	1048	V.ALENCIA ST	HP3, Multiple Family Property		1885	Sanborn Co. maps (est.)	Yes	None/Italian			6Z	none	determined not eligible for listing	2 buildings located on lot with unified facades.
3616-021	1043	1043	V.ALENCIA ST	HP3, Multiple Family Property		2005	Architectural est.	No	Modern			n/a	none	not evaluated; less than 50 years old	

[this page intentionally left blank]



# **Attachment C – Photos and maps**

[this page intentionally left blank]



Figure 1 – 953 Treat Ave – Primary façade (west elevation) showing alterations including expansion of the original building to the south which resulted in the irregular fenestration pattern, addition of shingles, and shed addition to the south (left).



Figure 2 – 953 Treat Ave – North elevation.



Figure 3 – 953 Treat Avenue – South elevation showing additions to the south.



Figure 4 – 953 Treat Avenue – West (left) and South (right) elevation showing shed addition.



Figure 5 – 724 Treat Avenue – This simple vernacular Italianate cottage was identified as being individually eligible for listing in the California Register. This property retains a high degree of integrity and maintains its original massing, form, regular fenestration pattern, and architectural details.



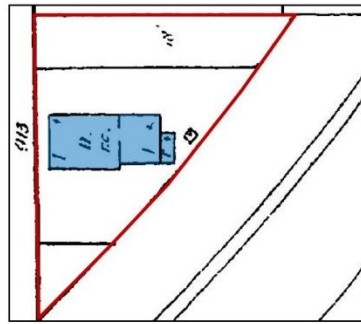
Figure 6 – 2967 23<sup>rd</sup> Street – This simple vernacular Italianate cottage was identified as being individually eligible for listing in the California Register. The property retains its original massing, form, and fenestration pattern, and architectural details.



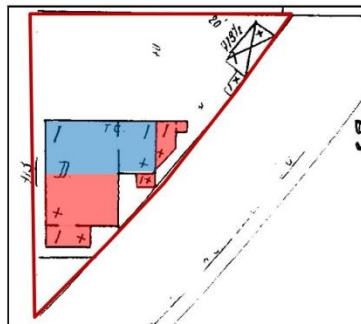
Figure 7 – 1009 Treat Avenue – This simple vernacular Italianate cottage was identified as being individually eligible for listing in the California Register. The property retains its original massing, form, and fenestration pattern, and architectural details.



Figure 8 – 2756 Folsom Street – This simple vernacular Italianate cottage was identified as being individually eligible for listing in the California Register. The property retains its original massing, form, and fenestration pattern, and architectural details.



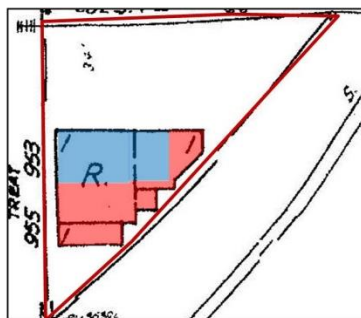
1889 Sanborn Map



1899 Sanborn Map



1950 Sanborn Map



1990 Sanborn Map

Figure 9 – Sanborn maps show the extent of expansion and alterations over time that have taken place at the subject property. The subject parcel is outlined in red, the original 1887 structure is shaded in blue, and later alterations are shaded in red.

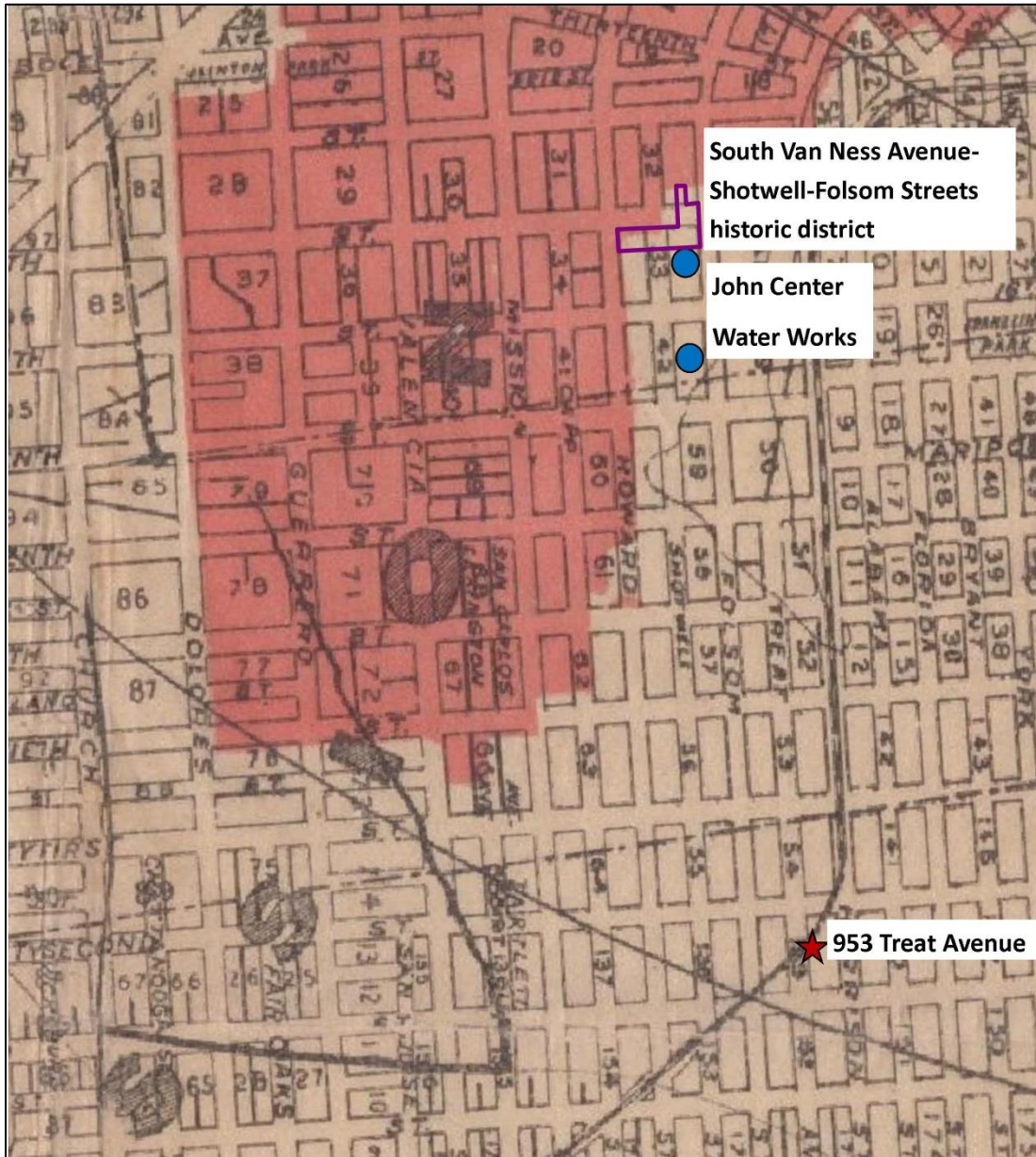


Figure 10 – Map of the Mission District showing the extent of the 1906 Fire in red. The location of the South Van Ness Avenue-Shotwell-Folsom Streets historic district is outlined in purple, the location of John Center Water Works are two blue circles, and the location 953 Treat Avenue is a red star.



## Law, Lisa (BOS)

---

**From:** Docs, SF (LIB)  
**Sent:** Tuesday, April 11, 2017 9:15 AM  
**To:** BOS Legislation, (BOS)  
**Subject:** Re: HEARING NOTICE: Exemption Determination Appeal - Proposed Project at 953 Treat Avenue - Appeal Hearing on April 25, 2017

**Categories:** 170313

Posted/SF Docs/4/11/2017/Laurel Yerkey

---

**From:** BOS Legislation, (BOS)  
**Sent:** Tuesday, April 11, 2017 8:54 AM  
**To:** Docs, SF (LIB)  
**Cc:** BOS Legislation, (BOS)  
**Subject:** FW: HEARING NOTICE: Exemption Determination Appeal - Proposed Project at 953 Treat Avenue - Appeal Hearing on April 25, 2017

Good morning,

Please see the below link for posting regarding the appeal hearing on 953 Treat Avenue for public viewing.

Thank you.

**Lisa Lew**  
Board of Supervisors  
San Francisco City Hall, Room 244  
San Francisco, CA 94102  
P 415-554-7718 | F 415-554-5163  
[lisa.lew@sfgov.org](mailto:lisa.lew@sfgov.org) | [www.sfbos.org](http://www.sfbos.org)



Click [here](#) to complete a Board of Supervisors Customer Service Satisfaction form

The [Legislative Research Center](#) provides 24-hour access to Board of Supervisors legislation, and archived matters since August 1998.

*Disclosures: Personal information that is provided in communications to the Board of Supervisors is subject to disclosure under the California Public Records Act and the San Francisco Sunshine Ordinance. Personal information provided will not be redacted. Members of the public are not required to provide personal identifying information when they communicate with the Board of Supervisors and its committees. All written or oral communications that members of the public submit to the Clerk's Office regarding pending legislation or hearings will be made available to all members of the public for inspection and copying. The Clerk's Office does not redact any information from these submissions. This means that personal information—including names, phone numbers, addresses and similar information that a member of the public elects to submit to the Board and its committees—may appear on the Board of Supervisors' website or in other public documents that members of the public may inspect or copy.*

---

**From:** BOS Legislation, (BOS)  
**Sent:** Tuesday, April 11, 2017 8:39 AM  
**To:** BOS Legislation, (BOS) <bos.legislation@sfgov.org>; petrinkatherine@gmail.com  
**Cc:** gibson@archsf.com; Shadi@SAKDesignBuild.com; Givner, Jon (CAT) <jon.givner@sfgov.org>; Stacy, Kate (CAT) <kate.stacy@sfgov.org>; Byrne, Marlena (CAT) <marlena.byrne@sfgov.org>; Rahaim, John (CPC) <john.rahaim@sfgov.org>; Sanchez, Scott (CPC) <scott.sanchez@sfgov.org>; Gibson, Lisa (CPC) <lisa.gibson@sfgov.org>; Starr, Aaron (CPC) <aaron.starr@sfgov.org>; Rodgers, AnMarie (CPC) <anmarie.rodgers@sfgov.org>; Navarrete, Joy (CPC) <joy.navarrete@sfgov.org>; Poling, Jeanie (CPC) <jeanie.poling@sfgov.org>; Jardines, Esmeralda (CPC) <esmeralda.jardines@sfgov.org>; Greving, Justin (CPC) <justin.greving@sfgov.org>; Tam, Tina (CPC) <tina.tam@sfgov.org>; Ionin, Jonas (CPC) <jonas.ionin@sfgov.org>; BOS-Supervisors <bos-supervisors@sfgov.org>; BOS-

Legislative Aides <bos-legislative\_aides@sfgov.org>; Calvillo, Angela (BOS) <angela.calvillo@sfgov.org>; Somera, Alisa (BOS) <alisa.somera@sfgov.org>

**Subject:** HEARING NOTICE: Exemption Determination Appeal - Proposed Project at 953 Treat Avenue - Appeal Hearing on April 25, 2017

Good morning,

The Office of the Clerk of the Board has scheduled an appeal hearing for Special Order before the Board of Supervisors on **April 25, 2017, at 3:00 p.m.**, to hear an appeal regarding the Exemption Determination for the proposed project on 953 Treat Avenue.

Please find the following link to the hearing notice for the matter:

[Hearing Date - April 25, 2017](#)


I invite you to review the entire matter on our [Legislative Research Center](#) by following the link below:

[Board of Supervisors File No. 170313](#)

Regards,

**Lisa Lew**

Board of Supervisors  
San Francisco City Hall, Room 244  
San Francisco, CA 94102  
P 415-554-7718 | F 415-554-5163  
[lisa.lew@sfgov.org](mailto:lisa.lew@sfgov.org) | [www.sfbos.org](http://www.sfbos.org)

 Click [here](#) to complete a Board of Supervisors Customer Service Satisfaction form  
The [Legislative Research Center](#) provides 24-hour access to Board of Supervisors legislation, and archived matters since August 1998.

*Disclosures: Personal information that is provided in communications to the Board of Supervisors is subject to disclosure under the California Public Records Act and the San Francisco Sunshine Ordinance. Personal information provided will not be redacted. Members of the public are not required to provide personal identifying information when they communicate with the Board of Supervisors and its committees. All written or oral communications that members of the public submit to the Clerk's Office regarding pending legislation or hearings will be made available to all members of the public for inspection and copying. The Clerk's Office does not redact any information from these submissions. This means that personal information—including names, phone numbers, addresses and similar information that a member of the public elects to submit to the Board and its committees—may appear on the Board of Supervisors' website or in other public documents that members of the public may inspect or copy.*

## Lew, Lisa (BOS)

---

**From:** BOS Legislation, (BOS)  
**Sent:** Tuesday, April 11, 2017 8:39 AM  
**To:** BOS Legislation, (BOS); petrinkatherine@gmail.com  
**Cc:** gibson@archsf.com; Shadi@SAKDesignBuild.com; Givner, Jon (CAT); Stacy, Kate (CAT); Byrne, Marlena (CAT); Rahaim, John (CPC); Sanchez, Scott (CPC); Gibson, Lisa (CPC); Starr, Aaron (CPC); Rodgers, AnMarie (CPC); Navarrete, Joy (CPC); Poling, Jeanie (CPC); Jardines, Esmeralda (CPC); Greving, Justin (CPC); Tam, Tina (CPC); Ionin, Jonas (CPC); BOS-Supervisors; BOS-Legislative Aides; Calvillo, Angela (BOS); Somera, Alisa (BOS)  
**Subject:** HEARING NOTICE: Exemption Determination Appeal - Proposed Project at 953 Treat Avenue - Appeal Hearing on April 25, 2017

Good morning,

The Office of the Clerk of the Board has scheduled an appeal hearing for Special Order before the Board of Supervisors on **April 25, 2017, at 3:00 p.m.**, to hear an appeal regarding the Exemption Determination for the proposed project on 953 Treat Avenue.

Please find the following link to the hearing notice for the matter:

[Hearing Date - April 25, 2017](#)

I invite you to review the entire matter on our [Legislative Research Center](#) by following the link below:

[Board of Supervisors File No. 170313](#)

Regards,

**Lisa Lew**

Board of Supervisors  
San Francisco City Hall, Room 244  
San Francisco, CA 94102  
P 415-554-7718 | F 415-554-5163  
[lisa.lew@sfgov.org](mailto:lisa.lew@sfgov.org) | [www.sfbos.org](http://www.sfbos.org)



Click [here](#) to complete a Board of Supervisors Customer Service Satisfaction form

The [Legislative Research Center](#) provides 24-hour access to Board of Supervisors legislation, and archived matters since August 1998.

*Disclosures: Personal information that is provided in communications to the Board of Supervisors is subject to disclosure under the California Public Records Act and the San Francisco Sunshine Ordinance. Personal information provided will not be redacted. Members of the public are not required to provide personal identifying information when they communicate with the Board of Supervisors and its committees. All written or oral communications that members of the public submit to the Clerk's Office regarding pending legislation or hearings will be made available to all members of the public for inspection and copying. The Clerk's Office does not redact any information from these submissions. This means that personal information—including names, phone numbers, addresses and similar information that a member of the public elects to submit to the Board and its committees—may appear on the Board of Supervisors' website or in other public documents that members of the public may inspect or copy.*

BOARD of SUPERVISORS



City Hall  
1 Dr. Carlton B. Goodlett Place, Room 244  
San Francisco 94102-4689  
Tel. No. 554-5184  
Fax No. 554-5163  
TDD/TTY No. 544-5227

**PROOF OF MAILING**

Legislative File No. 170313

Description of Items: Hearing Notice - Appeal of Determination of Exemption From Environmental Review - Proposed Project at 953 Treat Avenue

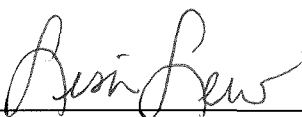
I, Lisa Lew, an employee of the City and County of San Francisco, mailed the above described document(s) by depositing the sealed items with the United States Postal Service (USPS) with the postage fully prepaid as follows:

Date: April 11, 2017

Time: 8:30 a.m.

USPS Location: Repro Pick-up Box in the Clerk of the Board's Office (Rm 244)

Mailbox/Mailslot Pick-Up Times (if applicable): N/A

Signature: 

Instructions: Upon completion, original must be filed in the above referenced file.

BOARD of SUPERVISORS



City Hall  
1 Dr. Carlton B. Goodlett Place, Room 244  
San Francisco 94102-4689  
Tel. No. 554-5184  
Fax No. 554-5163  
TDD/TTY No. 554-5227

## NOTICE OF PUBLIC HEARING

### BOARD OF SUPERVISORS OF THE CITY AND COUNTY OF SAN FRANCISCO

NOTICE IS HEREBY GIVEN THAT the Board of Supervisors of the City and County of San Francisco will hold a public hearing to consider the following appeal and said public hearing will be held as follows, at which time all interested parties may attend and be heard:

- Date:** Tuesday, April 25, 2017
- Time:** 3:00 p.m.
- Location:** Legislative Chamber, City Hall, Room 250  
1 Dr. Carlton B. Goodlett, Place, San Francisco, CA
- Subject:** **File No. 170313.** Hearing of persons interested in or objecting to the determination of exemption from environmental review under the California Environmental Quality Act issued as a Categorical Exemption by the Planning Department on March 28, 2016, for a proposed project located at 953 Treat Avenue, to demolish the existing one-story single-family residence and construct two new four-story 40-foot tall residential buildings with three dwelling units each for a total of six dwelling units on the project site. (District 9) (Appellant: Katherine Petrin) (Filed March 20, 2017)

In accordance with Administrative Code, Section 67.7-1, persons who are unable to attend the hearing on this matter may submit written comments prior to the time the hearing begins. These comments will be made as part of the official public record in this matter and shall be brought to the attention of the Board of Supervisors. Written comments should be addressed to Angela Calvillo, Clerk of the Board, City Hall, 1 Dr. Carlton B. Goodlett Place, Room 244, San Francisco, CA, 94102. Information relating to this matter is available in the Office of the Clerk of the Board and agenda information relating to this matter will be available for public review on Friday, April 21, 2017.

  
Angela Calvillo  
Clerk of the Board

## Jalipa, Brent (BOS)

---

**From:** BOS Legislation, (BOS)  
**Sent:** Wednesday, March 29, 2017 5:00 PM  
**To:** Ko, Yvonne (CPC)  
**Cc:** BOS Legislation, (BOS); BOS-Operations  
**Subject:** APPEAL CHECK PICKUP: Exemption Determination Appeal - Proposed Project at 953 Treat Avenue - Appeal Hearing on April 25, 2017

**Categories:** 170313

Good afternoon Yvonne,

The appeal check for the 953 Treat Avenue Appeal is ready to be picked up here in the Clerk's Office weekdays from 8 a.m. through 5 p.m.

The appellant did not submit an Appeal Waiver Form.

Regards,

**Brent Jalipa**

**Legislative Clerk**

Board of Supervisors - Clerk's Office

1 Dr. Carlton B. Goodlett Place, Room 244

San Francisco, CA 94102

(415) 554-7712 | Fax: (415) 554-5163

[brent.jalipa@sfgov.org](mailto:brent.jalipa@sfgov.org) | [www.sfbos.org](http://www.sfbos.org)

---

**From:** BOS Legislation, (BOS)

**Sent:** Wednesday, March 29, 2017 3:43 PM

**To:** petrinkatherine@gmail.com

**Cc:** gibson@archsf.com; Shadi@SAKDesignBuild.com; Givner, Jon (CAT) <jon.givner@sfgov.org>; Stacy, Kate (CAT) <kate.stacy@sfgov.org>; Byrne, Marlina (CAT) <marlena.byrne@sfgov.org>; Rahaim, John (CPC) <john.rahaim@sfgov.org>; Sanchez, Scott (CPC) <scott.sanchez@sfgov.org>; Gibson, Lisa (CPC) <lisa.gibson@sfgov.org>; Starr, Aaron (CPC) <aaron.starr@sfgov.org>; Rodgers, AnMarie (CPC) <anmarie.rodgers@sfgov.org>; Navarrete, Joy (CPC) <joy.navarrete@sfgov.org>; Poling, Jeanie (CPC) <jeanie.poling@sfgov.org>; Jardines, Esmeralda (CPC) <esmeralda.jardines@sfgov.org>; Greving, Justin (CPC) <justin.greving@sfgov.org>; Tam, Tina (CPC) <tina.tam@sfgov.org>; Ionin, Jonas (CPC) <jonas.ionin@sfgov.org>; BOS-Supervisors <bos-supervisors@sfgov.org>; BOS-Legislative Aides <bos-legislative\_aides@sfgov.org>; Calvillo, Angela (BOS) <angela.calvillo@sfgov.org>; Somera, Alisa (BOS) <alisa.somera@sfgov.org>; BOS Legislation, (BOS) <bos.legislation@sfgov.org>

**Subject:** Exemption Determination Appeal - Proposed Project at 953 Treat Avenue - Appeal Hearing on April 25, 2017

Good afternoon,

The Office of the Clerk of the Board has scheduled an appeal hearing for Special Order before the Board of Supervisors on **April 25, 2017, at 3:00 p.m.** Please find linked below a letter of appeal filed for the proposed project at 953 Treat Avenue, as well as direct links to the Planning Department's timely filing determination, and an informational letter from the Clerk of the Board.

[Exemption Determination Appeal Letter - March 20, 2017](#)

Planning Department Memo - March 24, 2017

Clerk of the Board Letter - March 29, 2017

I invite you to review the entire matter on our Legislative Research Center by following the link below:

Board of Supervisors File No. 170313

Thank you,

**Brent Jalipa**

**Legislative Clerk**

Board of Supervisors - Clerk's Office

1 Dr. Carlton B. Goodlett Place, Room 244

San Francisco, CA 94102

(415) 554-7712 | Fax: (415) 554-5163

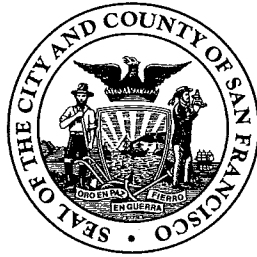
[brent.jalipa@sfgov.org](mailto:brent.jalipa@sfgov.org) | [www.sfbos.org](http://www.sfbos.org)



Click [here](#) to complete a Board of Supervisors Customer Service Satisfaction form

***Disclosures:** Personal information that is provided in communications to the Board of Supervisors is subject to disclosure under the California Public Records Act and the San Francisco Sunshine Ordinance. Personal information provided will not be redacted. Members of the public are not required to provide personal identifying information when they communicate with the Board of Supervisors and its committees. All written or oral communications that members of the public submit to the Clerk's Office regarding pending legislation or hearings will be made available to all members of the public for inspection and copying. The Clerk's Office does not redact any information from these submissions. This means that personal information—including names, phone numbers, addresses and similar information that a member of the public elects to submit to the Board and its committees—may appear on the Board of Supervisors' website or in other public documents that members of the public may inspect or copy.*

BOARD of SUPERVISORS



City Hall  
1 Dr. Carlton B. Goodlett Place, Room 244  
San Francisco 94102-4689  
Tel. No. 554-5184  
Fax No. 554-5163  
TDD/TTY No. 544-5227

March 29, 2017

**File Nos. 170313-170316**

**Planning Case No. 2015-006510ENV**

Received from the Board of Supervisors Clerk's Office one check, in the amount of Five Hundred Seventy Eight Dollars (\$578) representing the filing fee paid by Katherine Petrin, for the appeal of the CEQA Exemption Determination for the proposed project at 953 Treat Avenue.

**Planning Department**

**By:**

Tony  
\_\_\_\_\_  
Print Name

 3/30/17  
\_\_\_\_\_  
Signature and Date



## Jalipa, Brent (BOS)

---

**From:** BOS Legislation, (BOS)  
**Sent:** Wednesday, March 29, 2017 3:43 PM  
**To:** petrinkatherine@gmail.com  
**Cc:** gibson@archsf.com; Shadi@SAKDesignBuild.com; Givner, Jon (CAT); Stacy, Kate (CAT); Byrne, Marlena (CAT); Rahaim, John (CPC); Sanchez, Scott (CPC); Gibson, Lisa (CPC); Starr, Aaron (CPC); Rodgers, AnMarie (CPC); Navarrete, Joy (CPC); Poling, Jeanie (CPC); Jardines, Esmeralda (CPC); Greving, Justin (CPC); Tam, Tina (CPC); Ionin, Jonas (CPC); BOS-Supervisors; BOS-Legislative Aides; Calvillo, Angela (BOS); Somera, Alisa (BOS); BOS Legislation, (BOS)  
**Subject:** Exemption Determination Appeal - Proposed Project at 953 Treat Avenue - Appeal Hearing on April 25, 2017  
**Categories:** 170313

Good afternoon,

The Office of the Clerk of the Board has scheduled an appeal hearing for Special Order before the Board of Supervisors on **April 25, 2017, at 3:00 p.m.** Please find linked below a letter of appeal filed for the proposed project at 953 Treat Avenue, as well as direct links to the Planning Department's timely filing determination, and an informational letter from the Clerk of the Board.

[Exemption Determination Appeal Letter - March 20, 2017](#)

[Planning Department Memo - March 24, 2017](#)

[Clerk of the Board Letter - March 29, 2017](#)

I invite you to review the entire matter on our [Legislative Research Center](#) by following the link below:

[Board of Supervisors File No. 170313](#)

Thank you,

**Brent Jalipa**

**Legislative Clerk**

Board of Supervisors - Clerk's Office

1 Dr. Carlton B. Goodlett Place, Room 244

San Francisco, CA 94102

(415) 554-7712 | Fax: (415) 554-5163

[brent.jalipa@sfgov.org](mailto:brent.jalipa@sfgov.org) | [www.sfbos.org](http://www.sfbos.org)



Click [here](#) to complete a Board of Supervisors Customer Service Satisfaction form

***Disclosures:** Personal information that is provided in communications to the Board of Supervisors is subject to disclosure under the California Public Records Act and the San Francisco Sunshine Ordinance. Personal information provided will not be redacted. Members of the public are not required to provide personal identifying information when they communicate with the Board of Supervisors and its committees. All written or oral communications that members of the public submit to the Clerk's Office regarding pending legislation or hearings will be made available to all members of the public for inspection and copying. The Clerk's Office does not redact any information from these submissions. This means that personal information—including names, phone numbers, addresses and similar information that a member of the public elects to submit to the Board and its committees—may appear on the Board of Supervisors' website or in other public documents that members of the public may inspect or copy.*

BOARD of SUPERVISORS



City Hall  
1 Dr. Carlton B. Goodlett Place, Room 244  
San Francisco 94102-4689  
Tel. No. 554-5184  
Fax No. 554-5163  
TDD/TTY No. 544-5227

March 29, 2017

Katherine Petrin  
1736 Stockton Street, Suite 2A  
San Francisco, California 94133

**Subject: Appeal of CEQA Exemption Determination - Proposed Project at 953  
Treat Avenue**

Dear Ms. Petrin:

The Office of the Clerk of the Board is in receipt of a memorandum dated March 24, 2017, from the Planning Department regarding their determination on the timely filing of appeal of the CEQA Exemption Determination for the proposed project at 953 Treat Avenue.

The Planning Department has determined that the appeal was filed in a timely manner.

Pursuant to Administrative Code, Section 31.16, a hearing date has been scheduled for **Tuesday, April 25, 2017, at 3:00 p.m.**, at the Board of Supervisors meeting to be held in City Hall, 1 Dr. Carlton B. Goodlett Place, Legislative Chamber, Room 250, San Francisco, CA 94102.

Continues on next page

Please provide to the Clerk's Office by noon:

**20 days prior to the hearing:** names and addresses of interested parties to be notified of the hearing, in spreadsheet format; and

**11 days prior to the hearing:** any documentation which you may want available to the Board members prior to the hearing.

For the above, the Clerk's office requests one electronic file (sent to [bos.legislation@sfgov.org](mailto:bos.legislation@sfgov.org)) and two copies of the documentation for distribution.

NOTE: If electronic versions of the documentation are not available, please submit 18 hard copies of the materials to the Clerk's Office for distribution. If you are unable to make the deadlines prescribed above, it is your responsibility to ensure that all parties receive copies of the materials.

If you have any questions, please feel free to contact Legislative Clerks Brent Jalipa at (415) 554-7712, or Lisa Lew at (415) 554-7718.

Very truly yours,



for Angela Calvillo  
Clerk of the Board

- c: Geoff Gibson, Project Sponsor, Winder Gibson Architects
- Jon Givner, Deputy City Attorney
- Kate Stacy, Deputy City Attorney
- Marlena Byrne, Deputy City Attorney
- John Rahaim, Planning Director
- Scott Sanchez, Zoning Administrator, Planning Department
- Lisa Gibson, Environmental Review Officer, Planning Department
- Aaron Starr, Manager of Legislative Affairs, Planning Department
- AnMarie Rodgers, Senior Policy Advisor, Planning Department
- Joy Navarrete, Environmental Planning
- Jeanie Poling, Environmental Planning
- Esmerelda Jardines, Staff Contact, Planning Department
- Jonas Ionin, Planning Commission Secretary

## Jalipa, Brent (BOS)

---

**From:** Gibson, Lisa (CPC)  
**Sent:** Friday, March 24, 2017 5:08 PM  
**To:** BOS Legislation, (BOS)  
**Cc:** Givner, Jon (CAT); Stacy, Kate (CAT); Byrne, Marlena (CAT); Sanchez, Scott (CPC); Rodgers, AnMarie (CPC); Starr, Aaron (CPC); Jardines, Esmeralda (CPC); Ionin, Jonas (CPC); BOS-Supervisors; BOS-Legislative Aides; Calvillo, Angela (BOS); Somera, Alisa (BOS); Lew, Lisa (BOS); Poling, Jeanie (CPC); Navarrete, Joy (CPC); Rahaim, John (CPC)  
**Subject:** RE: Appeal of CEQA Exemption Determination - Proposed Project at 953 Treat Avenue - Timeliness Determination Request  
**Attachments:** 953 Treat Ave Catex Appeal Timeliness Determination 3-24-17.pdf  
**Categories:** 170313

Dear Brent,

Attached please find our determination that the appeal was timely filed. Thank you.

**Lisa Gibson**  
**Acting Environmental Review Officer/  
Director of Environmental Planning**

Planning Department | City and County of San Francisco  
1650 Mission Street, Suite 400, San Francisco, CA 94103  
Direct: 415-575-9032 | Fax: 415-558-6409  
Email: [lisa.gibson@sfgov.org](mailto:lisa.gibson@sfgov.org)  
Web: [www.sfplanning.org](http://www.sfplanning.org)



---

**From:** BOS Legislation, (BOS)  
**Sent:** Wednesday, March 22, 2017 1:14 PM  
**To:** Rahaim, John (CPC)  
**Cc:** Givner, Jon (CAT); Stacy, Kate (CAT); Byrne, Marlena (CAT); Sanchez, Scott (CPC); Gibson, Lisa (CPC); Rodgers, AnMarie (CPC); Starr, Aaron (CPC); Jardines, Esmeralda (CPC); Ionin, Jonas (CPC); BOS-Supervisors; BOS-Legislative Aides; Calvillo, Angela (BOS); Somera, Alisa (BOS); Lew, Lisa (BOS); BOS Legislation, (BOS)  
**Subject:** Appeal of CEQA Exemption Determination - Proposed Project at 953 Treat Avenue - Timeliness Determination Request

Good afternoon, Director Rahaim:

The Office of the Clerk of the Board is in receipt of an appeal of the CEQA Exemption Determination for the proposed project at 953 Treat Avenue. The appeal was filed by Katherine Petrin on March 20, 2017.

Please find the attached letter of appeal and timely filing determination request letter from the Clerk of the Board.

Kindly review for timely filing determination.

Regards,  
**Brent Jalipa**  
Legislative Clerk

Board of Supervisors - Clerk's Office  
1 Dr. Carlton B. Goodlett Place, Room 244  
San Francisco, CA 94102  
(415) 554-7712 | Fax: (415) 554-5163  
[brent.jalipa@sfgov.org](mailto:brent.jalipa@sfgov.org) | [www.sfbos.org](http://www.sfbos.org)



# SAN FRANCISCO PLANNING DEPARTMENT

**MEMO**

DATE: March 24, 2017  
 TO: Angela Calvillo, Clerk of the Board of Supervisors  
 FROM: Lisa Gibson, Acting Environmental Review Officer *LG*  
 RE: Appeal Timeliness Determination – 953 Treat Avenue,  
 Planning Department Case No. 2015-006510ENV

1650 Mission St.  
 Suite 400  
 San Francisco,  
 CA 94103-2479

Reception:  
 415.558.6378

Fax:  
 415.558.6409

Planning  
 Information:  
 415.558.6377

An appeal of the categorical exemption for the proposed project at 953 Treat Avenue (Planning Department Case No. 2015-006510ENV) was filed with the Office of the Clerk of the Board of Supervisors on March 20, 2017, by Katherine T. Petrin (Appellant). As explained below, the Planning Department finds the appeal to be timely filed.

Date of Approval Action	30 Days after Approval Action	Appeal Deadline (Must Be Day Clerk of Board's Office Is Open)	Date of Appeal Filing	Timely?
February 16, 2017	Saturday, March 18, 2017	Monday, March 20, 2017	March 20, 2017	Yes

**Approval Action:** The Planning Department issued a categorical exemption for the project at 953 Treat Avenue on March 28, 2016. The Approval Action for the project was the approval of a Conditional Use authorization by the Planning Commission on February 16, 2017 (Date of the Approval Action).

**Appeal Deadline:** Section 31.16(a) and (e) of the San Francisco Administrative Code states that any person or entity may appeal an exemption determination to the Board of Supervisors during the time period beginning with the date of the exemption determination and ending 30 days after the Date of the Approval Action. The 30<sup>th</sup> day after the Date of the Approval Action was Saturday, March 18, 2017. The next date when the Office of the Clerk of the Board was open was Monday, March 20, 2017 (Appeal Deadline).

**Appeal Filing and Timeliness:** The Appellant filed the appeal of the exemption determination on March 20, 2017, prior to the Appeal Deadline. Therefore, the appeal is considered timely.

## **Jalipa, Brent (BOS)**

---

**From:** BOS Legislation, (BOS)  
**Sent:** Wednesday, March 22, 2017 1:14 PM  
**To:** Rahaim, John (CPC)  
**Cc:** Givner, Jon (CAT); Stacy, Kate (CAT); Byrne, Marlena (CAT); Sanchez, Scott (CPC); Gibson, Lisa (CPC); Rodgers, AnMarie (CPC); Starr, Aaron (CPC); Jardines, Esmeralda (CPC); Ionin, Jonas (CPC); BOS-Supervisors; BOS-Legislative Aides; Calvillo, Angela (BOS); Somera, Alisa (BOS); Lew, Lisa (BOS); BOS Legislation, (BOS)  
**Subject:** Appeal of CEQA Exemption Determination - Proposed Project at 953 Treat Avenue - Timeliness Determination Request  
**Attachments:** Appeal Ltr 032017.pdf; COB Ltr 032217.pdf  
**Categories:** 170313

Good afternoon, Director Rahaim:

The Office of the Clerk of the Board is in receipt of an appeal of the CEQA Exemption Determination for the proposed project at 953 Treat Avenue. The appeal was filed by Katherine Petrin on March 20, 2017.

Please find the attached letter of appeal and timely filing determination request letter from the Clerk of the Board.

Kindly review for timely filing determination.

Regards,

**Brent Jalipa**

**Legislative Clerk**

Board of Supervisors - Clerk's Office  
1 Dr. Carlton B. Goodlett Place, Room 244  
San Francisco, CA 94102  
(415) 554-7712 | Fax: (415) 554-5163  
[brent.jalipa@sfgov.org](mailto:brent.jalipa@sfgov.org) | [www.sfbos.org](http://www.sfbos.org)


BOARD of SUPERVISORS



City Hall  
1 Dr. Carlton B. Goodlett Place, Room 244  
San Francisco 94102-4689  
Tel. No. 554-5184  
Fax No. 554-5163  
TDD/TTY No. 544-5227

March 22, 2017

To: John Rahaim  
Planning Director

From:  Angela Calvillo  
Clerk of the Board of Supervisors

**Subject: Appeal of California Environmental Quality Act (CEQA) Determination of Exemption from Environmental Review - 953 Treat Avenue**

An appeal of the CEQA Determination of Exemption from Environmental Review for the proposed project at 953 Treat Avenue was filed with the Office of the Clerk of the Board by Katherine T. Petrin on March 20, 2017.

Pursuant to Administrative Code, Chapter 31.16, I am forwarding this appeal, with attached documents, to the Planning Department to determine if the appeal has been filed in a timely manner. The Planning Department's determination should be made within three (3) working days of receipt of this request.

If you have any questions, please feel free to contact Legislative Clerks John Carroll at (415) 554-4445, Brent Jalipa at (415) 554-7712 or Lisa Lew at (415) 554-7718.

c: Jon Givner, Deputy City Attorney  
Kate Stacy, Deputy City Attorney  
Marlena Byrne, Deputy City Attorney  
Scott Sanchez, Zoning Administrator, Planning Department  
Lisa Gibson, Environmental Review Officer, Planning Department  
AnMarie Rodgers, Senior Policy Advisor, Planning Department  
Aaron Starr, Manager of Legislative Affairs, Planning Department  
Esmerelda Jardines, Staff Contact, Planning Department  
Jonas Ionin, Planning Commission Secretary, Planning Department

# Introduction Form

By a Member of the Board of Supervisors or the Mayor

Time stamp  
or meeting date

I hereby submit the following item for introduction (select only one):

- 1. For reference to Committee. (An Ordinance, Resolution, Motion, or Charter Amendment)
- 2. Request for next printed agenda Without Reference to Committee.
- 3. Request for hearing on a subject matter at Committee.
- 4. Request for letter beginning "Supervisor [ ] inquires"
- 5. City Attorney request.
- 6. Call File No. [ ] from Committee.
- 7. Budget Analyst request (attach written motion).
- 8. Substitute Legislation File No. [ ]
- 9. Reactivate File No. [ ]
- 10. Question(s) submitted for Mayoral Appearance before the BOS on [ ]

Please check the appropriate boxes. The proposed legislation should be forwarded to the following:

- Small Business Commission       Youth Commission       Ethics Commission
- Planning Commission       Building Inspection Commission

**Note: For the Imperative Agenda (a resolution not on the printed agenda), use a Imperative Form.**

**Sponsor(s):**

Clerk of the Board

**Subject:**

Hearing - Appeal of Determination of Exemption From Environmental Review - Proposed Project at 953 Treat Avenue

**The text is listed below or attached:**

Hearing of persons interested in or objecting to the determination of exemption from environmental review under the California Environmental Quality Act issued as a Categorical Exemption by the Planning Department on March 28, 2016, for a proposed project located at 953 Treat Avenue, to demolish the existing one-story single-family residence and construct two new four-story 40-foot tall residential buildings with three dwelling units each for a total of six dwelling units on the project site. (District 9) (Appellant: Katherine Petrin) (Filed March 20, 2017)

Signature of Sponsoring Supervisor: Alisa Gomez

For Clerk's Use Only:

170313