



SAN FRANCISCO PLANNING DEPARTMENT

Planning Commission Motion No. 20375

HEARING DATE: JANUARY 24, 2019

Record No.: 2018-008877CUA
Project Address: 1519 POLK STREET
Zoning: Polk Street NCD (Neighborhood Commercial) Zoning District
65-A Height and Bulk District
Fringe Financial Service Restricted Use District
Block/Lot: 0643/004
Project Sponsor: Sabrina Thillard
1400 43rd Avenue
San Francisco, CA 94122
Property Owner: John Jenkel
3325 Gravenstein Highway North
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ADOPTING FINDINGS RELATING TO THE APPROVAL OF CONDITIONAL USE AUTHORIZATION PURSUANT TO PLANNING CODE SECTIONS 303 AND 723 FOR THE ESTABLISHMENT OF A BAR USE (DBA ORA) AT THE FIRST FLOOR WITHIN THE POLK STREET NCD (NEIGHBORHOOD COMMERCIAL) ZONING DISTRICT AND 65-A HEIGHT AND BULK DISTRICT.

PREAMBLE

On July 19, 2018, Sabrina Thillard of Nonovi, LLC (hereinafter "Project Sponsor") filed Application No. 2018-008877CUA (hereinafter "Application") with the Planning Department (hereinafter "Department") for a Conditional Use Authorization to establish a bar use at the first floor of an existing, four-story, mixed-use building (hereinafter "Project") at 1519 Polk Street, Block 0643 Lot 004 (hereinafter "Project Site").

On January 24, 2019, the San Francisco Planning Commission (hereinafter "Commission") conducted a duly noted public hearing at a regularly scheduled meeting on Conditional Use Application No. 2018-008877CUA.

The Planning Department Commission Secretary is the custodian of records; the File for Record No. 2018-008877CUA is located at 1650 Mission Street, Suite 400, San Francisco, California.

On January 14, 2019 the Project was determined to be exempt from the California Environmental Quality Act ("CEQA") as a Class 3 Categorical Exemption under CEQA as described in the determination contained in the Planning Department files for this Project.

The Commission has heard and considered the testimony presented to it at the public hearing and has further considered written materials and oral testimony presented on behalf of the applicant, Department staff, and other interested parties.

MOVED, that the Commission hereby authorizes the Conditional Use as requested in Application No. 2018-008877CUA, subject to the conditions contained in "EXHIBIT A" of this motion, based on the following findings:

FINDINGS

Having reviewed the materials identified in the preamble above, and having heard all testimony and arguments, this Commission finds, concludes, and determines as follows:

1. The above recitals are accurate and constitute findings of this Commission.

Project Description. The proposal is for the establishment of a bar use (wine and cheese bar DBA ORA) in an existing and vacant retail storefront (approximately 805 square feet in area at the first floor level of the building with a 575 square foot basement storage area) in an existing four story, mixed use building. Interior tenant improvements, a new business sign, and window replacement at the front façade of the building are associated with this proposal. The establishment proposes to maintain the following business hours: Sunday, Tuesday, Wednesday and Thursday from 4:30 pm – 11:30 pm and from 4:30 pm – 1:00 am on Friday and Saturday. The business will not be open on Mondays.

The proposed use is an independent use and locally owned, which is encouraged throughout San Francisco. The proposed use is not a Formula Retail use. The proposal requires a change of use, and Section 311-neighborhood notification was conducted in conjunction with the Conditional Use Authorization process.

2. **Site Description and Present Use.** The approximately 6,952 square foot subject property is located on the West side of Polk Street at the corner of California Street; Lot 004 of Assessor's Block 0643 (District 3). The property is developed with a four story, mixed use residential and commercial building with a total of five commercial tenant spaces at the first floor, one of which is the vacant subject tenant space. There are 29 existing dwelling units located on the second through fourth stories of the building which will not be impacted by this proposal. The building, constructed in 1914, is considered an "A" Historic Resource. The subject space, last utilized as a retail establishment, has been vacant since approximately June 2017.

The subject tenant space is approximately 1,380 square feet, with 805 square feet on the first floor and 575 square feet at the basement level, to be used as tenant storage. The tenant space has frontage on Polk Street.

3. **Surrounding Properties and Neighborhood.** The Project Site is located within the Polk Street Neighborhood Commercial (NCD) Zoning District, the 65-A Height and Bulk District, and the Nob Hill neighborhood, adjacent to the Pacific Heights and Western Addition neighborhoods. The

Residential-Commercial, High Density (RC-4) Zoning District is located to the West and South of the subject property and the Residential-Mixed, Medium Density (RM-3) Zoning District is located to the East of the subject property.

The immediate neighborhood includes mixed-use developments, with commercial tenant spaces located at the first floor and residential units located at the remaining floors. The neighborhood includes a mix of land uses including restaurants, financial services, institutional community uses, retail stores, and personal services.

4. **Public Outreach and Comments.** The Department has not received any public outreach or comments to date.
5. **Planning Code Compliance.** The Commission finds that the Project is consistent with the relevant provisions of the Planning Code in the following manner:
 - A. **Use Size.** Planning Code Section 723 principally permits non-residential uses to occupy 1,999 square feet of area. Non-residential uses occupying equal to or more than 2,000 square feet of area require the issuance of a Conditional Use Authorization.

The subject tenant space is approximately 1,380 square feet in area and does not require the issuance of Conditional Use Authorization for use size.

- B. **Hours of Operation.** Planning Code Section 723 principally permits business hours between 6 a.m. and 2 a.m. Operation outside of the listed business hours requires the issuance of a Conditional Use Authorization.

The proposed hours of operation for this business are Sunday, Tuesday, Wednesday and Thursday from 4:30 pm – 11:30 pm and from 4:30 pm – 1:00 am on Friday and Saturday. The business will be closed on Mondays.

- C. **Street Frontage in Neighborhood Commercial Districts.** Section 145.1 of the Planning Code requires that within NC Districts space for active uses shall be provided within the first 25 feet of building depth on the ground floor and 15 feet on floors above from any facade facing a street at least 30 feet in width. In addition, the floors of street-fronting interior spaces housing non-residential active uses and lobbies shall be as close as possible to the level of the adjacent sidewalk at the principal entrance to these spaces. Frontages with active uses that must be fenestrated with transparent windows and doorways for no less than 60 percent of the street frontage at the ground level and allow visibility to the inside of the building. The use of dark or mirrored glass shall not count towards the required transparent area. Any decorative railings or grillwork, other than wire mesh, which is placed in front of or behind ground floor windows, shall be at least 75 percent open to perpendicular view. Rolling or sliding security gates shall consist of open grillwork rather than solid material, so as to provide visual interest to pedestrians when the gates are closed, and to permit light to pass through mostly

unobstructed. Gates, when both open and folded or rolled as well as the gate mechanism, shall be recessed within, or laid flush with, the building facade.

The Project would bring the subject property in to compliance with section 145.1 of the Planning Code by establishing an active use in this currently vacant tenant space at the first floor level. The remainder of the subject property's four first floor tenant spaces are currently devoted to active uses.

6. **Conditional Use Findings.** Planning Code Section 303 establishes criteria for the Planning Commission to consider when reviewing applications for Conditional Use authorization. On balance, the project complies with said criteria in that:

- A. The proposed new uses and building, at the size and intensity contemplated and at the proposed location, will provide a development that is necessary or desirable, and compatible with, the neighborhood or the community.

The Project is necessary and desirable for the neighborhood and community as it will activate an existing first floor tenant space that has been vacant for at least a year and a half. The Project is compatible with the active, pedestrian-oriented, and continuous commercial frontage character of the surrounding neighborhood. The Project would preserve and maintain the small-scale storefront pattern of this neighborhood. The neighborhood is currently active in to the evening with existing bar and restaurant uses, continuing a pattern of diverse uses.

- B. The proposed project will not be detrimental to the health, safety, convenience or general welfare of persons residing or working in the vicinity. There are no features of the project that could be detrimental to the health, safety or convenience of those residing or working the area, in that:

- (1) Nature of proposed site, including its size and shape, and the proposed size, shape and arrangement of structures;

The height and bulk of the existing building will remain the same and will not alter the existing appearance or character of the project vicinity. The proposed work will not affect the building envelope.

- (2) The accessibility and traffic patterns for persons and vehicles, the type and volume of such traffic, and the adequacy of proposed off-street parking and loading;

The Planning Code does not require parking or loading for a 1,380 square foot bar use in this zoning district. The proposed use is designed to meet the needs of the immediate neighborhood and should not generate significant amounts of vehicular trips from the immediate neighborhood or citywide. On-street parking is available adjacent to the subject site, and Code-compliant bicycle parking will be provided. It is anticipated that many visitors will visit the small, neighborhood-serving business on foot.

- (3) The safeguards afforded to prevent noxious or offensive emissions such as noise, glare, dust and odor;

The proposed use is subject to the standard conditions of approval for a bar use and outlined in Exhibit A. Condition 17 specifically obligates the project sponsor to mitigate odor and noise generated by the bar use.

- (4) Treatment given, as appropriate, to such aspects as landscaping, screening, open spaces, parking and loading areas, service areas, lighting and signs;

The project does not require any additional landscaping or screening, and no new off-street parking spaces, loading spaces, open space, or service areas are proposed. Any proposed signage will be consistent with the controls of the Planning Code.

- C. That the use as proposed will comply with the applicable provisions of the Planning Code and will not adversely affect the General Plan.

The Project complies with all relevant requirements and standards of the Planning Code and is consistent with objectives and policies of the General Plan as detailed below.

- D. That the use as proposed would provide development that is in conformity with the purpose of the applicable Neighborhood Commercial District.

The Project is consistent with the stated purpose of the NCD District in that the intended gathering space for the neighboring community. It will preserve the small-scale and fine grain storefronts common in this Zoning District. Further, this proposal will establish an active use.

7. **Planning Code Section 303(o)** establishes criteria for the Planning Commission to consider when reviewing applications for Eating and Drinking Uses Such concentration should not exceed 35 percent of the total commercial frontage as measured in linear feet within the immediate area of the subject site in the Polk Street NCD. For the purposes of this Section of the Code, the immediate area shall be defined as all properties located within 300' of the subject property and also located within the same zoning district. On balance, the project does comply with said criteria in that:

There is approximately 2,580 linear feet of commercial frontage within 300 feet of the project site and in the same zoning district (Polk Street NCD). Approximately 507 linear feet or 19.65% of this commercial frontage is comprised of eating and drinking establishments. The change of use to a bar will add approximately 11.5 linear feet, increasing the eating and drinking establishment percentage to 20.08% within 300 feet of the project site. This is far below the threshold allowable of 35% for eating and drinking uses within the Polk Street NCD.

8. **General Plan Compliance.** The Project is, on balance, consistent with the following Objectives and Policies of the General Plan:

NEIGHBORHOOD COMMERCE

Objectives and Policies

OBJECTIVE 1:

MANAGE ECONOMIC GROWTH AND CHANGE TO ENSURE ENHANCEMENT OF THE TOTAL CITY LIVING AND WORKING ENVIRONMENT.

Policy 1.1:

Encourage development which provides substantial net benefits and minimizes undesirable consequences. Discourage development that has substantial undesirable consequences that cannot be mitigated.

Policy 1.2:

Assure that all commercial and industrial uses meet minimum, reasonable performance standards.

Policy 1.3:

Locate commercial and industrial activities according to a generalized commercial and industrial land use plan.

The proposed development will provide desirable goods and services to the neighborhood and will provide resident employment opportunities to those in the community. The Project Site is located within a Neighborhood Commercial District with established diverse uses, including commercial retail, eating and drinking, professional retail services and mixed uses residential buildings, and is thus consistent with activities in the commercial land use plan. The Project would not result in undesirable consequence for the surrounding neighborhood.

OBJECTIVE 2:

MAINTAIN AND ENHANCE A SOUND AND DIVERSE ECONOMIC BASE AND FISCAL STRUCTURE FOR THE CITY.

Policy 2.1:

Seek to retain existing commercial and industrial activity and to attract new such activity to the City.

The Project will not result in the loss of any existing commercial or industrial activity and will enhance the diverse economic base of the City. The existing storefront space is vacant, and this use would establish an active use.

OBJECTIVE 6:

MAINTAIN AND STRENGTHEN VIABLE NEIGHBORHOOD COMMERCIAL AREAS EASILY ACCESSIBLE TO CITY RESIDENTS.

Policy 6.1:

Ensure and encourage the retention and provision of neighborhood-serving goods and services in the city's neighborhood commercial districts, while recognizing and encouraging diversity among the districts.

No commercial tenant would be displaced because the storefront space is currently vacant, and the project would not prevent the district from achieving optimal diversity in the types of goods and services available in the neighborhood.

The following guidelines, in addition to others in this objective for neighborhood commercial districts, should be employed in the development of overall district zoning controls as well as in the review of individual permit applications, which require case-by-case review and City Planning Commission approval. Pertinent guidelines may be applied as conditions of approval of individual permit applications. In general, uses should be encouraged which meet the guidelines; conversely, uses should be discouraged which do not.

Eating and Drinking Establishments

Eating and drinking establishments include bars, sit-down restaurants, fast food restaurants, self-service restaurants, and take-out food. Associated uses, which can serve similar functions and create similar land use impacts, include ice cream stores, bakeries and cookie stores. Guidelines for eating and drinking establishments are needed to achieve the following purposes:

- Regulate the distribution and proliferation of eating and drinking establishments, especially in districts experiencing increased commercial activity;
- Control nuisances associated with their proliferation;
- Preserve storefronts for other types of local-serving businesses; and
- Maintain a balanced mix of commercial goods and services.
- The regulation of eating and drinking establishments should consider the following:
 - Balance of retail sales and services;
 - Current inventory and composition of eating and drinking establishments;
 - Total occupied commercial linear frontage, relative to the total district frontage;
 - Uses on surrounding properties;
 - Available parking facilities, both existing and proposed;
 - Existing traffic and parking congestion; and
 - Potential impacts on the surrounding community.

There may be concern with the potential over-concentration of eating and drinking establishments in this Zoning District. The Commerce and Industry Element of the General Plan contains Guidelines for Specific Uses. For eating and drinking establishments, the Guidelines state, "the balance of commercial uses may be threatened when eating and drinking establishments occupy more than 20% of the total occupied commercial frontage." Planning staff verified the Project Sponsor's site survey of the Polk Street NCD which contains the proposed building. With the proposed bar use, approximately 20.08% of the frontage of this Zoning District within 300 linear feet of the subject property is attributed to eating and drinking establishments.

Policy 6.2:

Promote economically vital neighborhood commercial districts which foster small business enterprises and entrepreneurship and which are responsive to the economic and technological innovation in the marketplace and society.

An independent entrepreneur is sponsoring this proposal. The proposed use is proposed within an active space approximately 800 square feet in size for operations and is a neighborhood serving use. This is not a Formula Retail use.

9. **Planning Code Section 101.1(b)** establishes eight priority-planning policies and requires review of permits for consistency with said policies. On balance, the project complies with said policies in that:

- A. That existing neighborhood-serving retail uses be preserved and enhanced and future opportunities for resident employment in and ownership of such businesses be enhanced.

The proposal would enhance the district by providing a bar in an area that is not over concentrated by eating and drinking establishments. The business is locally owned, and the Project Sponsor currently owns and operates another small business in the City. Allowing them to open a second establishment would enable them to grow their business and would create employment opportunities for the community in the future.

- B. That existing housing and neighborhood character be conserved and protected in order to preserve the cultural and economic diversity of our neighborhoods.

The Project will be consistent with the existing character of the District and will not remove or add any housing. The existing units in the surrounding neighborhood would not be adversely affected by the opening and operation of this bar use, proposed within approximately 800 square feet of operational area.

- C. That the City's supply of affordable housing be preserved and enhanced,

The Project does not involve the removal or addition of housing.

- D. That commuter traffic not impede MUNI transit service or overburden our streets or neighborhood parking.

The project site is located in an area well served by transit and should not generate significant vehicular trips from the immediate neighborhood or citywide. The subject property is along MUNI route 19 and the California Cable Car route. Various other MUNI routes, including routes 1, 47, and 49, are within a short walking distance from the subject property.

- E. That a diverse economic base be maintained by protecting our industrial and service sectors from displacement due to commercial office development, and that future opportunities for resident employment and ownership in these sectors be enhanced.

The Project does not include commercial office development. The subject commercial storefront space is currently vacant. Activation of this vacant tenant space will increase opportunities for future resident employment.

- F. That the City achieve the greatest possible preparedness to protect against injury and loss of life in an earthquake.

The Project would not impact the subject property's ability to withstand an earthquake. However, the project will be required to meet at Building Code seismic requirements.

- G. That landmarks and historic buildings be preserved.

The Project would not damage or remove any character-defining features of this historic resource.

- H. That our parks and open space and their access to sunlight and vistas be protected from development.

The Project would not impact any existing parks or open spaces.

10. The Project is consistent with and would promote the general and specific purposes of the Code provided under Section 101.1(b) in that, as designed, the Project would contribute to the character and stability of the neighborhood and would constitute a beneficial development.
11. The Commission hereby finds that approval of the Conditional Use would promote the health, safety and welfare of the City.

DECISION

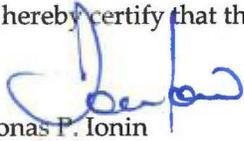
That based upon the Record, the submissions by the Applicant, the staff of the Department and other interested parties, the oral testimony presented to this Commission at the public hearings, and all other written materials submitted by all parties, the Commission hereby **APPROVES Conditional Use Application No. 2018-008877CUA** subject to the following conditions attached hereto as "EXHIBIT A" in general conformance with plans on file, dated July 11, 2018, and stamped "EXHIBIT B", which is incorporated herein by reference as though fully set forth.

APPEAL AND EFFECTIVE DATE OF MOTION: Any aggrieved person may appeal this Conditional Use Authorization to the Board of Supervisors within thirty (30) days after the date of this Motion. The effective date of this Motion shall be the date of this Motion if not appealed (after the 30-day period has expired) OR the date of the decision of the Board of Supervisors if appealed to the Board of Supervisors. For further information, please contact the Board of Supervisors at (415) 554-5184, City Hall, Room 244, 1 Dr. Carlton B. Goodlett Place, San Francisco, CA 94102.

Protest of Fee or Exaction: You may protest any fee or exaction subject to Government Code Section 66000 that is imposed as a condition of approval by following the procedures set forth in Government Code Section 66020. The protest must satisfy the requirements of Government Code Section 66020(a) and must be filed within 90 days of the date of the first approval or conditional approval of the development referencing the challenged fee or exaction. For purposes of Government Code Section 66020, the date of imposition of the fee shall be the date of the earliest discretionary approval by the City of the subject development.

If the City has not previously given Notice of an earlier discretionary approval of the project, the Planning Commission's adoption of this Motion, Resolution, Discretionary Review Action or the Zoning Administrator's Variance Decision Letter constitutes the approval or conditional approval of the development and the City hereby gives **NOTICE** that the 90-day protest period under Government Code Section 66020 has begun. If the City has already given Notice that the 90-day approval period has begun for the subject development, then this document does not re-commence the 90-day approval period.

I hereby certify that the Planning Commission **ADOPTED** the foregoing Motion on January 24, 2019.


Jonas P. Ionin
Commission Secretary

AYES: Melgar, Fong, Hillis, Johnson, Moore, Richards

NAYS: None

ABSENT: Koppel

ADOPTED: January 24, 2019

EXHIBIT A

AUTHORIZATION

This authorization is for a conditional use to allow a bar use (d.b.a. **ORA**) located at 1519 Polk Street, Block 0643, and Lot 004, pursuant to Planning Code Section(s) **303** and **723** within the **Polk Street Neighborhood Commercial District** and a **65-A** Height and Bulk District; in general conformance with plans, dated **July 11, 2018**, and stamped "EXHIBIT B" included in the docket for Record No. **2018-008877CUA** and subject to conditions of approval reviewed and approved by the Commission on **January 24, 2019** under Motion No. **20375**. This authorization and the conditions contained herein run with the property and not with a particular Project Sponsor, business, or operator.

RECORDATION OF CONDITIONS OF APPROVAL

Prior to the issuance of the building permit or commencement of use for the Project the Zoning Administrator shall approve and order the recordation of a Notice in the Official Records of the Recorder of the City and County of San Francisco for the subject property. This Notice shall state that the project is subject to the conditions of approval contained herein and reviewed and approved by the Planning Commission on **January 24, 2019** under Motion No. **20375**.

PRINTING OF CONDITIONS OF APPROVAL ON PLANS

The conditions of approval under the 'Exhibit A' of this Planning Commission Motion No. **20375** shall be reproduced on the Index Sheet of construction plans submitted with the site or building permit application for the Project. The Index Sheet of the construction plans shall reference to the Conditional Use authorization and any subsequent amendments or modifications.

SEVERABILITY

The Project shall comply with all applicable City codes and requirements. If any clause, sentence, section or any part of these conditions of approval is for any reason held to be invalid, such invalidity shall not affect or impair other remaining clauses, sentences, or sections of these conditions. This decision conveys no right to construct, or to receive a building permit. "Project Sponsor" shall include any subsequent responsible party.

CHANGES AND MODIFICATIONS

Changes to the approved plans may be approved administratively by the Zoning Administrator. Significant changes and modifications of conditions shall require Planning Commission approval of a new Conditional Use authorization.

Conditions of Approval, Compliance, Monitoring, and Reporting PERFORMANCE

1. **Validity.** The authorization and right vested by virtue of this action is valid for three (3) years from the effective date of the Motion. The Department of Building Inspection shall have issued a Building Permit or Site Permit to construct the project and/or commence the approved use within this three-year period.
For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org
2. **Expiration and Renewal.** Should a Building or Site Permit be sought after the three (3) year period has lapsed, the project sponsor must seek a renewal of this Authorization by filing an application for an amendment to the original Authorization or a new application for Authorization. Should the project sponsor decline to so file, and decline to withdraw the permit application, the Commission shall conduct a public hearing in order to consider the revocation of the Authorization. Should the Commission not revoke the Authorization following the closure of the public hearing, the Commission shall determine the extension of time for the continued validity of the Authorization.
For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org
3. **Diligent pursuit.** Once a site or Building Permit has been issued, construction must commence within the timeframe required by the Department of Building Inspection and be continued diligently to completion. Failure to do so shall be grounds for the Commission to consider revoking the approval if more than three (3) years have passed since this Authorization was approved.
For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org
4. **Extension.** All time limits in the preceding three paragraphs may be extended at the discretion of the Zoning Administrator where implementation of the project is delayed by a public agency, an appeal or a legal challenge and only by the length of time for which such public agency, appeal or challenge has caused delay.
For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org
5. **Conformity with Current Law.** No application for Building Permit, Site Permit, or other entitlement shall be approved unless it complies with all applicable provisions of City Codes in effect at the time of such approval.
For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

6. **Expiration and Renewal.** Should a Building or Site Permit be sought after the three (3) year period has lapsed, the project sponsor must seek a renewal of this Authorization by filing an application for an amendment to the original Authorization or a new application for Authorization. Should the project sponsor decline to so file, and decline to withdraw the permit application, the Commission shall conduct a public hearing in order to consider the revocation of the Authorization. Should the Commission not revoke the Authorization following the closure of the public hearing, the Commission shall determine the extension of time for the continued validity of the Authorization.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

7. **Diligent Pursuit.** Once a site or Building Permit has been issued, construction must commence within the timeframe required by the Department of Building Inspection and be continued diligently to completion. Failure to do so shall be grounds for the Commission to consider revoking the approval if more than three (3) years have passed since the date that the Planning Code text amendment(s) and/or Zoning Map amendment(s) became effective.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

8. **Extension.** All time limits in the preceding three paragraphs may be extended at the discretion of the Zoning Administrator where implementation of the project is delayed by a public agency, an appeal or a legal challenge and only by the length of time for which such public agency, appeal or challenge has caused delay.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

9. **Conformity with Current Law.** No application for Building Permit, Site Permit, or other entitlement shall be approved unless it complies with all applicable provisions of City Codes in effect at the time of such approval.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

DESIGN – COMPLIANCE AT PLAN STAGE

10. **Final Materials.** The Project Sponsor shall continue to work with Planning Department on the building design. Final materials, glazing, color, texture, landscaping, and detailing shall be subject to Department staff review and approval. The architectural addenda shall be reviewed and approved by the Planning Department prior to issuance.

For information about compliance, contact the Case Planner, Planning Department at 415-558-6378, www.sf-planning.org

11. **Garbage, composting and recycling storage.** Space for the collection and storage of garbage, composting, and recycling shall be provided within enclosed areas on the property and clearly

labeled and illustrated on the building permit plans. Space for the collection and storage of recyclable and compostable materials that meets the size, location, accessibility and other standards specified by the San Francisco Recycling Program shall be provided at the ground level of the buildings.

For information about compliance, contact the Case Planner, Planning Department at 415-558-6378, www.sf-planning.org

12. **Rooftop Mechanical Equipment.** Pursuant to Planning Code 141, the Project Sponsor shall submit a roof plan to the Planning Department prior to Planning approval of the building permit application. Rooftop mechanical equipment, if any is proposed as part of the Project, is required to be screened so as not to be visible from any point at or below the roof level of the subject building. *For information about compliance, contact the Case Planner, Planning Department at 415-558-6378, www.sf-planning.org*

13. **Odor Control Unit.** In order to ensure any significant noxious or offensive odors are prevented from escaping the premises once the project is operational, the building permit application to implement the project shall include air cleaning or odor control equipment details and manufacturer specifications on the plans if applicable as determined by the project planner. Odor control ducting shall not be applied to the primary façade of the building. *For information about compliance, contact the Case Planner, Planning Department at 415-558-6378, www.sf-planning.org*

PARKING AND TRAFFIC

14. **Bicycle Parking** Pursuant to Planning Code Sections 155.1 and 155.4, the Project shall provide no fewer than 2 Class 2 bicycle parking spaces. SFMTA has final authority on the type, placement and number of Class 2 bicycle racks within the public ROW. Prior to issuance of first architectural addenda, the project sponsor shall contact the SFMTA Bike Parking Program at bikeparking@sfmta.com to coordinate the installation of on-street bicycle racks and ensure that the proposed bicycle racks meet the SFMTA's bicycle parking guidelines. Depending on local site conditions and anticipated demand, SFMTA may request the project sponsor pay an in-lieu fee for Class II bike racks required by the Planning Code. *For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org*

MONITORING - AFTER ENTITLEMENT

15. **Enforcement.** Violation of any of the Planning Department conditions of approval contained in this Motion or of any other provisions of Planning Code applicable to this Project shall be subject to the enforcement procedures and administrative penalties set forth under Planning Code Section 176 or Section 176.1. The Planning Department may also refer the violation complaints to other city departments and agencies for appropriate enforcement action under their jurisdiction. *For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org*

16. **Revocation due to Violation of Conditions.** Should implementation of this Project result in complaints from interested property owners, residents, or commercial lessees which are not resolved by the Project Sponsor and found to be in violation of the Planning Code and/or the specific conditions of approval for the Project as set forth in Exhibit A of this Motion, the Zoning Administrator shall refer such complaints to the Commission, after which it may hold a public hearing on the matter to consider revocation of this authorization.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

OPERATION

17. **Eating and Drinking Uses.** As defined in Planning Code Section 202.2, Eating and Drinking Uses, as defined in Section 102, shall be subject to the following conditions:

- A. The business operator shall maintain the main entrance to the building and all sidewalks abutting the subject property in a clean and sanitary condition in compliance with the Department of Public Works Street and Sidewalk Maintenance Standards. In addition, the operator shall be responsible for daily monitoring of the sidewalk within a one-block radius of the subject business to maintain the sidewalk free of paper or other litter associated with the business during business hours, in accordance with Article 1, Section 34 of the San Francisco Police Code.

For information about compliance, contact the Bureau of Street Use and Mapping, Department of Public Works at 415-554-.5810, <http://sfdpw.org>.

- B. When located within an enclosed space, the premises shall be adequately soundproofed or insulated for noise and operated so that incidental noise shall not be audible beyond the premises or in other sections of the building, and fixed-source equipment noise shall not exceed the decibel levels specified in the San Francisco Noise Control Ordinance.

For information about compliance of fixed mechanical objects such as rooftop air conditioning, restaurant ventilation systems, and motors and compressors with acceptable noise levels, contact the Environmental Health Section, Department of Public Health at (415) 252-3800, www.sfdph.org.

For information about compliance with construction noise requirements, contact the Department of Building Inspection at 415-558-6570, www.sfdbi.org.

For information about compliance with the requirements for amplified sound, including music and television, contact the Police Department at 415-553-0123, www.sf-police.org.

- C. While it is inevitable that some low level of odor may be detectable to nearby residents and passersby, appropriate odor control equipment shall be installed in conformance with the approved plans and maintained to prevent any significant noxious or offensive odors from escaping the premises.

For information about compliance with odor or other chemical air pollutants standards, contact the Bay Area Air Quality Management District, (BAAQMD), 1-800-334-ODOR (6367), www.baaqmd.gov and Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

- D. Garbage, recycling, and compost containers shall be kept within the premises and hidden from public view, and placed outside only when being serviced by the disposal company. Trash shall be contained and disposed of pursuant to garbage and recycling receptacles guidelines set forth by the Department of Public Works.

For information about compliance, contact the Bureau of Street Use and Mapping, Department of Public Works at 415-554-5810, <http://sfdpw.org>.

18. **Sidewalk Maintenance.** The Project Sponsor shall maintain the main entrance to the building and all sidewalks abutting the subject property in a clean and sanitary condition in compliance with the Department of Public Works Streets and Sidewalk Maintenance Standards.

For information about compliance, contact Bureau of Street Use and Mapping, Department of Public Works, 415-695-2017, <http://sfdpw.org>

19. **Community Liaison.** Prior to issuance of a building permit to construct the project and implement the approved use, the Project Sponsor shall appoint a community liaison officer to deal with the issues of concern to owners and occupants of nearby properties. The Project Sponsor shall provide the Zoning Administrator and all registered neighborhood groups for the area with written notice of the name, business address, and telephone number of the community liaison. Should the contact information change, the Zoning Administrator and registered neighborhood groups shall be made aware of such change. The community liaison shall report to the Zoning Administrator what issues, if any, are of concern to the community and what issues have not been resolved by the Project Sponsor.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

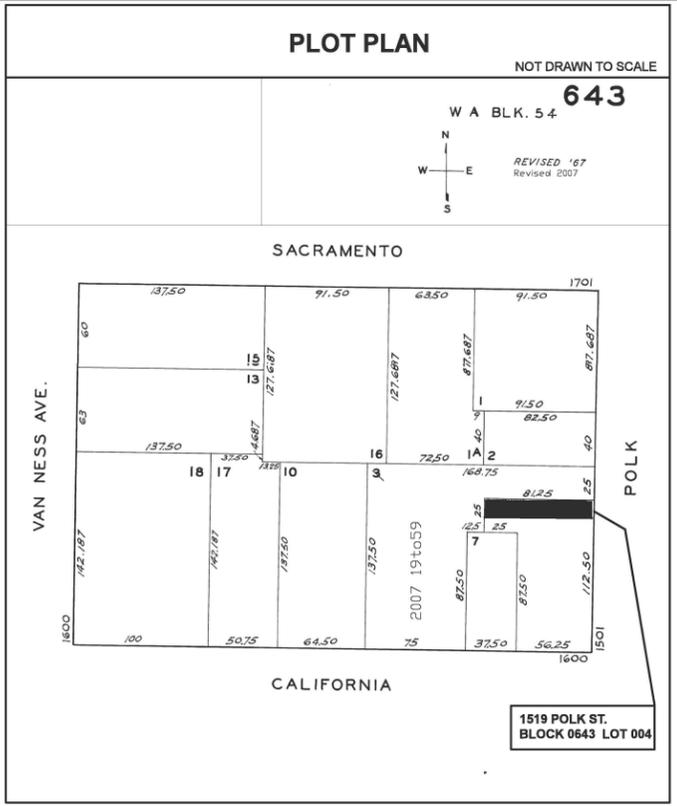
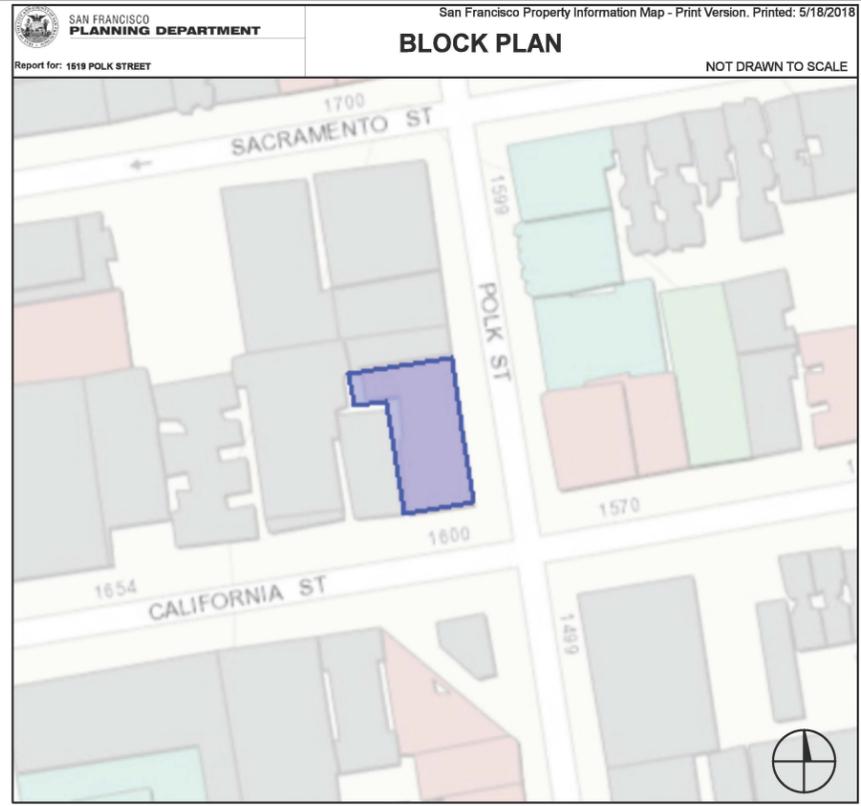
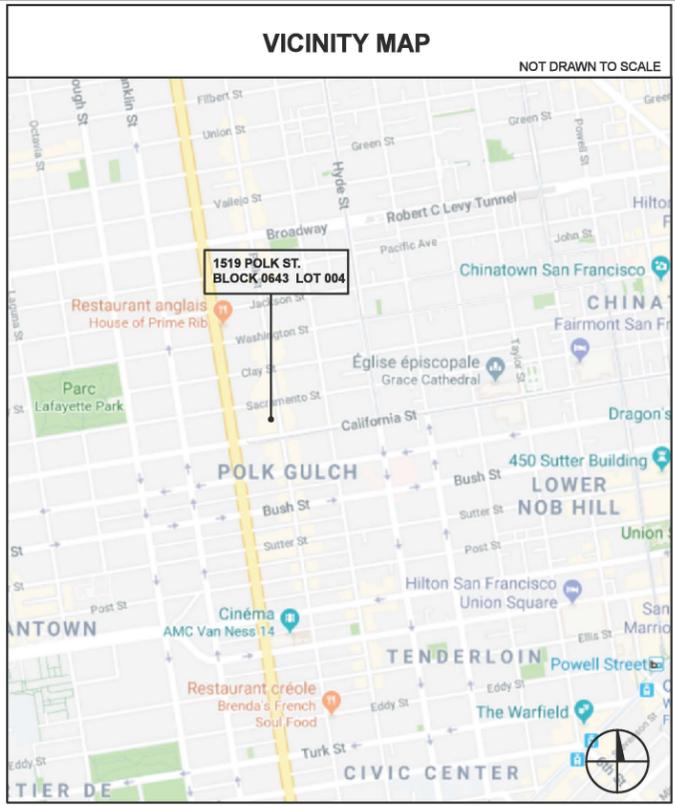
20. **Notices Posted at Bars and Entertainment Venues.** Notices urging patrons to leave the establishment and neighborhood in a quiet, peaceful, and orderly fashion and to not litter or block driveways in the neighborhood, shall be well-lit and prominently displayed at all entrances to and exits from the establishment.

For information about compliance, contact the Entertainment Commission, at 415 554-6678, www.sfgov.org/entertainment

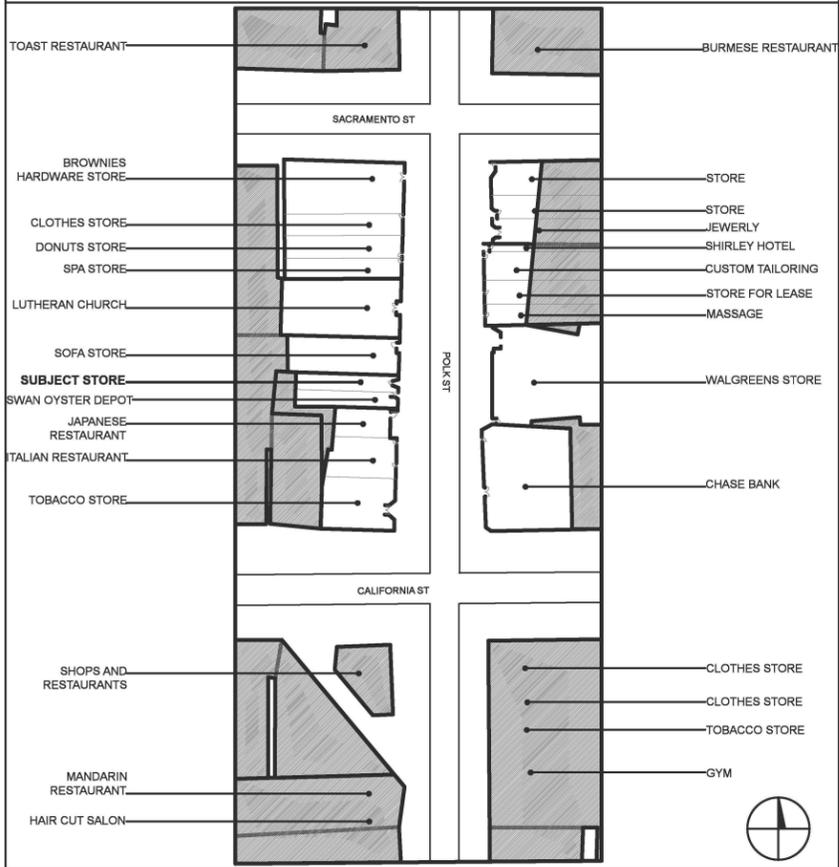
21. **Lighting.** All Project lighting shall be directed onto the Project site and immediately surrounding sidewalk area only, and designed and managed so as not to be a nuisance to adjacent residents. Nighttime lighting shall be the minimum necessary to ensure safety, but shall in no case be directed so as to constitute a nuisance to any surrounding property.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

PROJECT DIRECTORY	
PROJECT ADDRESS : 1519 Polk Street San Francisco, CA 94109	ENGINEER OF RECORD : OPTIMAL DESIGN GROUP M. Val A. RABICHEV, PE 1700 Bush Street, Suite 1A San Francisco CA 94109 Office : 415.441.0809 val@optimaldesigngroup.com www.OptimalDesignGroup.com
TENANT : ORA, Bar "Sabrina & Patrick THILLARD" 1519 Polk Street San Francisco, CA 94109	
PROJECT INFO	
SCOPE OF WORK : New bar within existing outline of existing vacant retail store.	ASSESSOR'S BLOCK / LOT : 0643 / 004 4 Story above basement.
GOVERNING CODE : SFBC - 2016	ZONING : Polk Street NCD
SHEET INDEX	
A0	PROJECT INFO
A1	EXISTING ELEVATION
A2	NEW ELEVATION
A3	EXISTING AND NEW ELEVATION DETAIL
A4	EXISTING AND NEW BASEMENT FLOOR PLAN
A5	EXISTING AND NEW FIRST FLOOR PLAN
A6	SECTION A
A7	SECTION B
A8	SECTIONS C, D, E, F & G



PLAN OF NEIGHBORING COMMERCIAL SPACES AT GROUND FLOOR
NOT DRAWN TO SCALE

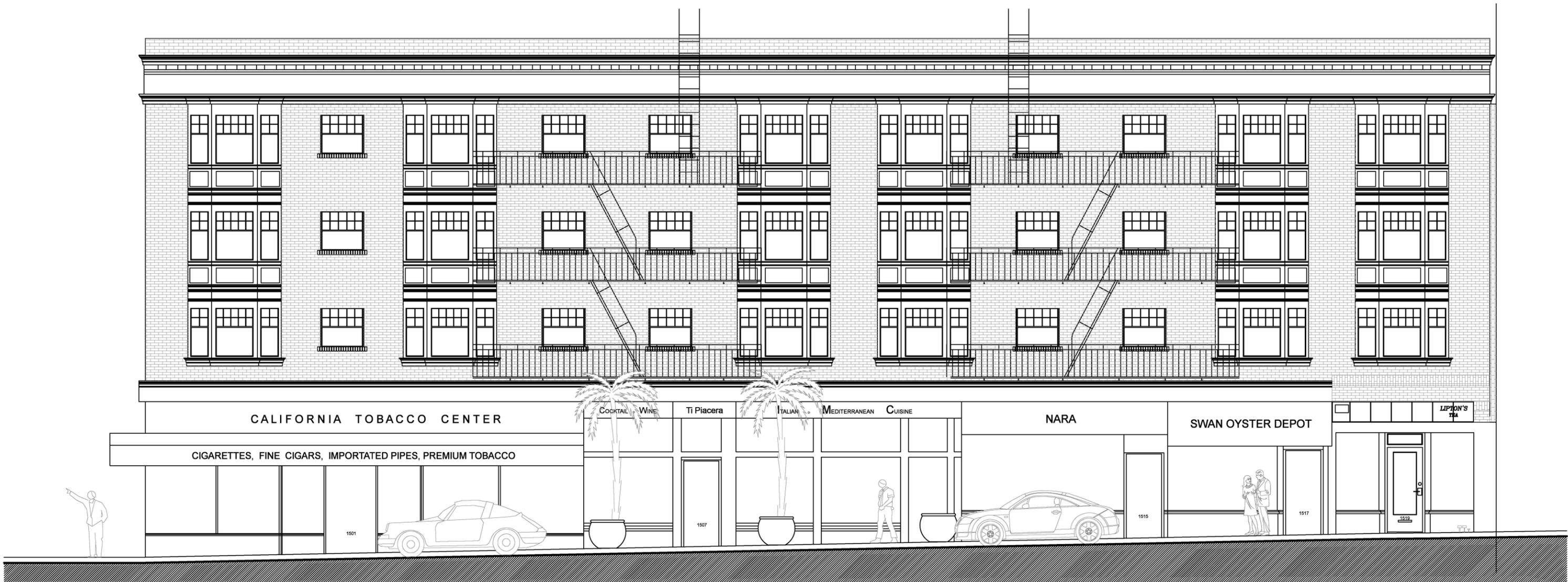


GENERAL NOTES

- GENERAL, DIVISION 1
- 1.1 WORKMANSHIP OF NEW ELEMENTS INSTALLATION SHALL CONFORM TO CURRENT SAN FRANCISCO BUILDING CODE (SFBC), ALL OTHER APPLICABLE CODES/REGULATIONS, AND APPROVED PROJECT DRAWINGS
LEVEL OF STRUCTURAL UPGRADE SHALL BE AS OUTLINED IN PROJECT SCOPE AND ON PROJECT DRAWINGS
 - 1.2 CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR SELECTION OF CONSTRUCTION METHODS & PROCEDURES AND FOR SAFETY OF WORK. CONTRACTOR SHALL BE LICENSED & SHALL CARRY INSURANCE COVERAGE COMMENSURATE WITH PROJECT REQ'MENTS, HE SHALL REPAIR ANY DAMAGE CAUSED BY HIS WORK
 - 1.3 CONTRACTOR SHALL PROVIDE FOR AND BE SOLELY RESPONSIBLE FOR POSITIVE DRAINAGE & WATERPROOFING OF ROOFS, DECKS, WALLS, WINDOWS, & OTHER ELEMENTS. ER WILL TAKES NO RESPONSIBILITY FOR THESE ITEMS
 - 1.4 CONTRACTOR SHALL COORDINATE VARIOUS TRADES INVOLVED INCLUDING LOCATIONS OF MECHANICAL, PLUMBING, ELECTRICAL ELEMENTS, CONTACT ENGINEER IF INTERFERE WITH STRUCTURAL ELEMENTS
- NOTE: WHENEVER A REQUIREMENT IS CALLED IN THESE DRAWINGS FOR CONTRACTOR TO CONTACT ER OR OTHER PROFESSIONALS TO RESOLVE ISSUE OR POTENTIAL CONFLICT, IT IS MEANT THAT SUCH CALL SHALL BE MADE BEFORE PROCEEDING W/ AFFECTED WORK
- CONTRACTOR SHALL MAINTAIN ON SITE AND STRICTLY ADHERE TO DRAWINGS SET REPRESENTING LATEST APPROVED PROJECT VERSION/REVISION AS APPLIES
 - 1.5 DO NOT SCALE DRAWINGS, DO NOT USE STRUCTURAL DRAWINGS FOR LAYOUT, USE DIMENSIONS IN ARCHITECTURAL DRAWINGS, CONTACT DESIGNER OR ENGINEER IF QUESTIONS
 - 1.6 CONTRACTOR SHALL VERIFY ALL SITE CONDITIONS AND DRAWINGS PRIOR TO START. IF ANY CONDITION AT THE SITE OR IN CONSTRUCTION DOCUMENTS APPEARS UNCLEAR, NOT COVERED, OR CONTRADICTORY, SUCH AS CONFLICT BET. ARCHITECTURAL, STRUCTURAL MECHANICAL (OR OTHER PLANS AS APPLIES) DRAWINGS, CONTRACTOR SHALL CONTACT ENGINEER FOR CLARIFICATION PRIOR TO PROCEEDING. WORK DONE WITHOUT VERIFICATION/CLARIFICATION SHALL BE ENTIRELY CONTRACTOR'S RESPONSIBILITY
 - 1.7 ALL WORK SHALL CONFORM TO STANDARDS OF LOCAL CONSTRUCTION PRACTICE. ALL ELEMENTS SHALL BE PLUMB & LEVEL (U.O.N.), BE TIED TOGETHER, SECURELY SUPPORTED, PROTECTED FROM EXPOSURE, SEPARATED FROM ADJACENT STRUCTURES TO ER'S SATISFACTION. SHORING AND OTHER MEASURES SHALL BE TAKEN TO PROTECT ADJACENT ELEMENTS. QUESTIONABLE FIELD CONDITIONS SHALL BE RESOLVED TO ER'S SATISFACTION PRIOR TO WORK
INTENT OF THESE DRAWINGS IS TO COMPLETE PROJECT DESCRIBED IN THIS SET IN HIGH QUALITY. ALL MATERIALS/WORK NEEDED FOR THIS PURPOSE SHALL BE PROVIDED BY CONTRACTOR WHETHER SPECIFICALLY CALLED ON PLANS OR NOT

- 1.8 DETAILS AND NOTES ON DRAWINGS SHALL APPLY TO SIMILAR CONDITIONS, U.O.N.
- 1.9 ALL WORK SHALL HAVE PROVISIONS FOR EXPANSION, CONTRACTION, SHRINKAGE & REASONABLE DEFLECTION. BEFORE END OF WORK, ALL DOOR/WINDOW OPENING AND FINISHES ARE TO BE ADJUSTED AFTER SETTLING OF STRUCTURE
- 1.10 OPENING AND PENETRATIONS NOT SPECIFIED ON DRAWINGS SHALL BE DETAILED, SUBMITTED BY CONTRACTOR AND APPROVED PRIOR TO INSTALLATION
- 1.11 ENSURE ADEQUACY OF (E) FRAMING AND OTHER ELEMENTS TO BE LEFT IN PLACE REPAIR/REPLACE AS REQ'D IF (E) ELEMENTS ARE IMPAIRED BY TERMITE, ROT, DISCONTINUITY, EXCESSIVE PRIOR CUTS, OR OTHER DEFECTS
- 1.12 ELEMENTS W/ SIGNIFICANT DEAD LOADS, SUCH AS STONE, TILE, APPLIANCES, CABINETS SHALL BE INSTALLED BEFORE ADJACENT DOORS, WINDOWS, FINISHES; ALTERNATIVELY - PROVIDE FOR SPECIAL MEASURES OF DEFLECTION CONTROL AS APPLICABLE FOR THE PARTICULAR SITUATION, SUCH AS CAMBERING OR DOUBLING SUPPORTING JOISTS/BEAMS, PROVIDING CROSS BLOCKING, AND/OR OTHER MEASURES, CONTACT ENGINEER FOR VERIFICATION
- 1.13 THIS DRAWING IS ONLY VALID WHEN WET SIGNED BY ER AND WHEN BEARS APPROVAL STAMP BY BUILDING OFFICIAL HAVING JURISDICTION. DRAWINGS SHALL REMAIN PROPERTY OF ER. USE OF DRAWING ONLY AUTHORIZED FOR PRESENT CLIENT W/IN PRESENT SIGNED AGREEMENT. NO USE OF THE DRAWING OR BENEFITS THEREOF BY A THIRD PARTY IS ALLOWED WITHOUT SEPARATE WRITTEN AGREEMENT WITH ER. UNAUTHORIZED USE IS UNLAWFUL
- 1.14 CONTRACTUALLY, ER DISCLAIMS RESPONSIBILITY FOR FOLLOWING ITEMS: EXISTING CONDITIONS VERIFICATION, WATERPROOFING, DRAINAGE, UTILITIES, SUBSURFACE/SOILS CONDITIONS, CONSTRUCTION METHOD, PROCEDURES, JOB SAFETY, CONSTRUCTION OVERSIGHT, INSPECTIONS
IT SHALL BE OWNERS' OR CONTRACTOR'S RESPONSIBILITY TO ADDRESS THESE ITEMS BY QUALIFIED PROFESSIONALS AS CALLED BY PROJECT REQUIREMENTS
REFERENCING OR PARTIALLY ADDRESSING SOME OF THESE ITEMS ON DRAWINGS OR NOTES,, SUCH AS BUT NOT LIMITED TO, SUGGESTED SEQUENCE OF WORK, CALLING SELECTED WATERPROOFING/DRAINAGE, EXISTING ELEMENTS, SHALL NOT BE INTERPRETED AS AFFECTING/REDUCING AFOREMENTIONED DISCLAIMER

DESIGNER Didier Foulon INTERIOR DESIGNER 79 Beaver Street San Francisco, CA 94114 Phone : 203-600-9418 e-mail : contact@didierfoulon.com	PROJECT "ORA" 1519 Polk Street San Francisco, CA 94109	ENGINEER OPTIMAL DESIGN GROUP 1700 Bush Street, Suite 1A San Francisco, CA 94109 e-mail: val@optimaldesigngroup.com Office : 415-441-0809 Fax : 415-723-7185 www.OptimalDesignGroup.com	CLIENTS Mr & Mrs THILLARD 1519 Polk Street San Francisco, CA 94109	PROJECT INFO ADDRESS 1519 Polk Street San Francisco, CA 94109 ASSESSOR'S BLOCK / LOT 0643 / 004 ZONING: N.C.D. (Neighborhood Commercial District)	DISTRICT: 3 SCOPE OF WORK Wine bar interior remodeling. No additional floor area, No additional square-footage, No height change.	NAME OF SHEET - PROJECT DIRECTORY - PROJECT INFO - SHEET INDEX - VICINITY MAP - BLOCK PLAN - PLOT PLAN - PLAN OF NEIGHBORING COMMERCIAL SPACES AT GROUND FLOOR - GENERAL NOTES	DATE JULY 11, 2018 SCALE	CATEGORY & # A0
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CALIFORNIA TOBACCO CENTER

CIGARETTES, FINE CIGARS, IMPORTATED PIPES, PREMIUM TOBACCO

COCKTAIL WINE

Ti Piacera

ITALIAN MEDITERRANEAN CUISINE

NARA

SWAN OYSTER DEPOT

LIPSON'S

CALIFORNIA TOBACCO CENTER

1501 POLK STREET

"TI PIACERA" RESTAURANT - ITALIAN & MEDITERRANEAN CUISINE

1507 POLK STREET

"NARA" JAPANESE RESTAURANT

1515 POLK STREET

SWAN OYSTER DEPOT

1517 POLK STREET

VACANT RETAIL STORE

1519 POLK STREET

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CLIENTS
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 1519 Polk Street
 San Francisco, CA 94109

PROJECT INFO
 ADDRESS
 1519 Polk Street
 San Francisco, CA 94109
 ASSESSOR'S BLOCK / LOT
 0643 / 004
 ZONING: N.C.D.
 (Neighborhood Commercial District)

DISTRICT: 3
SCOPE OF WORK
 Wine bar interior remodeling.
 No additional floor area,
 No additional square-footage,
 No height change.

NAME OF SHEET
 EXISTING ELEVATION
 Date JULY11, 2018
 Scale 1/8" = 1' - 0"

CATEGORY & #
 A1



CALIFORNIA TOBACCO CENTER

CIGARETTES, FINE CIGARS, IMPORTATED PIPES, PREMIUM TOBACCO

COCKTAIL WINE TI Piacera ITALIAN MEDITERRANEAN CUISINE

NARA

SWAN OYSTER DEPOT

ORA

CALIFORNIA TOBACCO CENTER

1501 POLK STREET

"TI PIACERA" RESTAURANT - ITALIAN & MEDITERRANEAN CUISINE

1507 POLK STREET

"NARA" JAPANESE RESTAURANT

1515 POLK STREET

SWAN OYSTER DEPOT

1517 POLK STREET

PROPOSED "ORA"

1519 POLK STREET

DESIGNER
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PROJECT
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 San Francisco, CA 94109
 ASSESSOR'S BLOCK / LOT
 0643 / 004
 ZONING: N.C.D.
 (Neighborhood Commercial District)

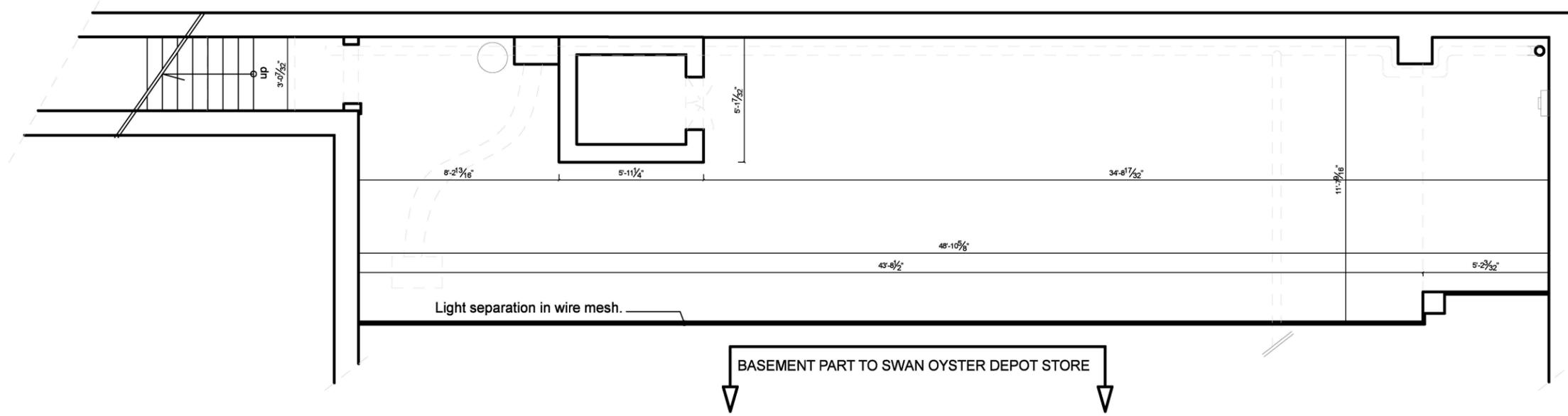
DISTRICT: 3
SCOPE OF WORK
 Wine bar interior remodeling.
 No additional floor area,
 No additional square-footage,
 No height change.

NAME OF SHEET

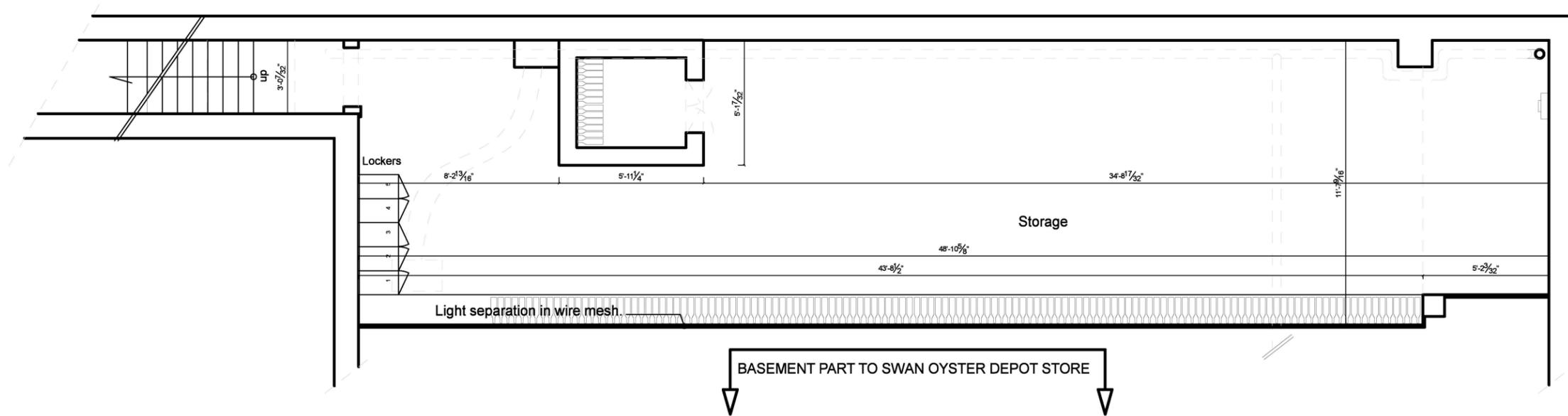
NEW ELEVATION

Date JULY11, 2018
 Scale 1/8" = 1' - 0"

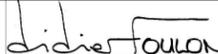
CATEGORY & #
 A2

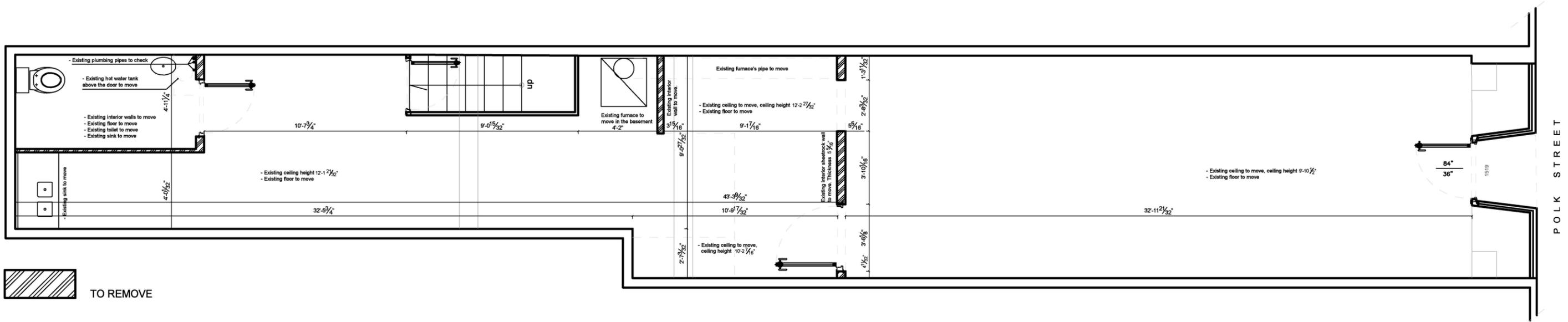


EXISTING FLOOR PLAN - BASEMENT FLOOR

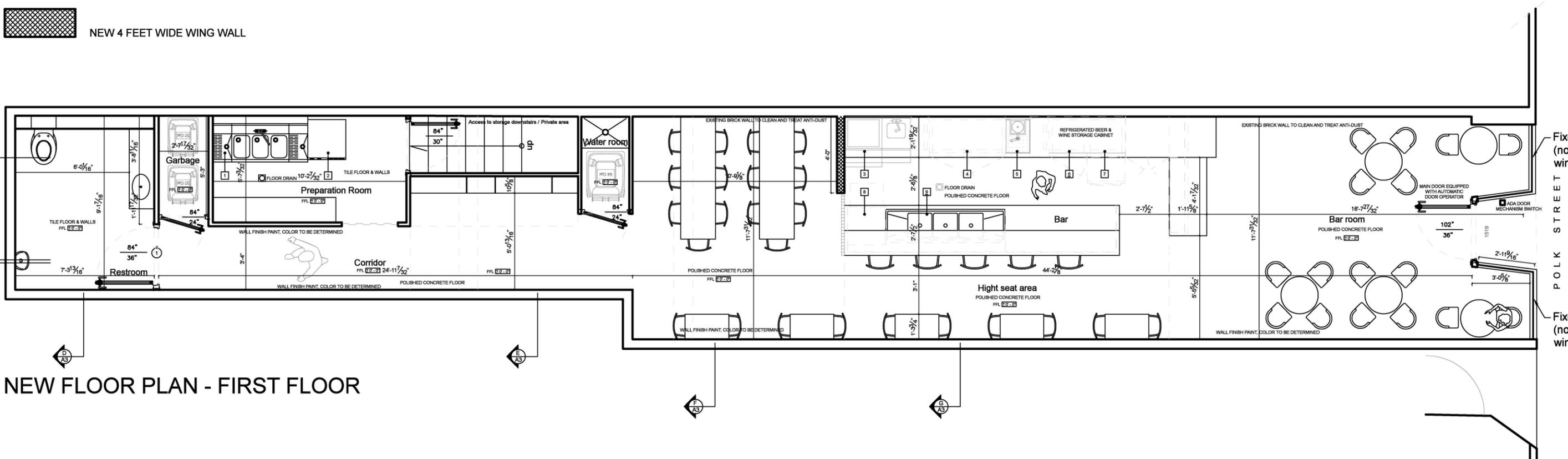


NEW FLOOR PLAN - BASEMENT FLOOR

DESIGNER  DIDIER FOULON INTERIOR DESIGNER 79 Beaver Street San Francisco, CA 94114 Phone : 203-600-9418 e-mail : contact@didierfoulon.com	PROJECT "ORA" 1519 Polk Street San Francisco, CA 94109	ENGINEER OPTIMAL DESIGN GROUP 1700 Bush Street, Suite 1A San Francisco, CA 94109 e-mail: val@optimaldesigngroup.com Office : 415-441-0809 Fax : 415-723-7185 www.OptimalDesignGroup.com	CLIENTS Mr & Mrs THILLARD 1519 Polk Street San Francisco, CA 94109	PROJECT INFO ADDRESS 1519 Polk Street San Francisco, CA 94109 ASSESSOR'S BLOCK / LOT 0643 / 004 ZONING: N.C.D. (Neighborhood Commercial District)	DISTRICT: 3 SCOPE OF WORK Wine bar interior remodeling. No additional floor area, No additional square-footage, No height change.	NAME OF SHEET BASEMENT FLOOR - EXISTING FLOOR PLAN - NEW FLOOR PLAN	Date JULY11, 2018	CATEGORY & # A4
							Scale 3/16" = 1' - 0"	

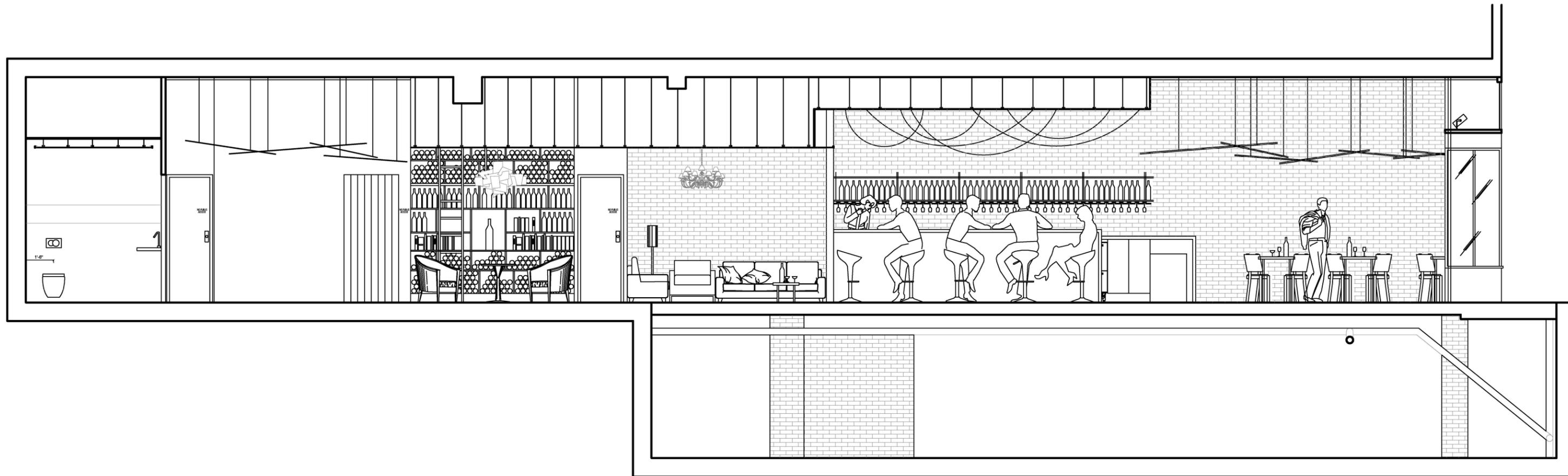


EXISTING FLOOR PLAN - FIRST FLOOR



NEW FLOOR PLAN - FIRST FLOOR

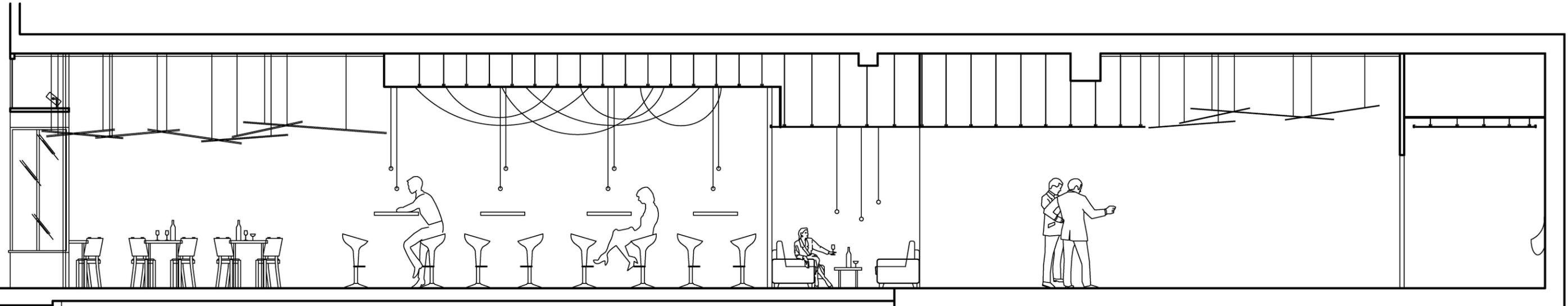
ARCHITECTURE <i>Didier Foulon</i> ARCHITECTURE INTERIOR EXTERIOR 79 Beaver Street San Francisco, CA 94114 Phone 203-600-9418 E-mail contact@didierfoulon.com	PROJECT "ORA" Wine bar 1519 Polk Street San Francisco, CA 94109	ENGINEER OPTIMAL DESIGN GROUP 1700 Bush Street, Suite 1A San Francisco, CA 94109 e-mail: val@optimaldesigngroup.com Office : 415-441-0809 www.OptimalDesignGroup.com	CLIENTS Mr & Mrs THILLARD 1519 Polk Street San Francisco, CA 94109	PROJECT INFO ADDRESS 1519 Polk Street San Francisco, CA 94109 ASSESSOR'S BLOCK / LOT 0643 / 004 ZONING: N.C.D. (Neighborhood Commercial District)	DISTRICT: 3 SCOPE OF WORK Wine bar interior remodeling. No additional floor area, No additional square-footage, No height change.	NAME OF SHEET FIRST FLOOR - EXISTING FLOOR PLAN - NEW FLOOR PLAN	Date	JAN. 14, 2019	CATEGORY & # A5
							Scale	3/16" = 1' - 0"	



Restroom Ceiling height 8'-4" Corridor Ceiling height 12' Reading area Ceiling height 8'-4" Lounge area Ceiling height 8'-4" Bar Ceiling height 10'-5" Bar room Ceiling height 12'

SECTION A

DESIGNER didier FOULON INTERIOR DESIGNER 79 Beaver Street San Francisco, CA 94114 Phone : 203-600-9418 e-mail : contact@didierfoulon.com	PROJECT "ORA" 1519 Polk Street San Francisco, CA 94109	ENGINEER OPTIMAL DESIGN GROUP 1700 Bush Street, Suite 1A San Francisco, CA 94109 e-mail: val@optimaldesigngroup.com Office : 415-441-0809 Fax : 415-723-7185 www.OptimalDesignGroup.com	CLIENTS Mr & Mrs THILLARD 1519 Polk Street San Francisco, CA 94109	PROJECT INFO ADDRESS 1519 Polk Street San Francisco, CA 94109 ASSESSOR'S BLOCK / LOT 0643 / 004 ZONING: N.C.D. (Neighborhood Commercial District)	DISTRICT: 3 SCOPE OF WORK Wine bar interior remodeling. No additional floor area, No additional square-footage, No height change.	NAME OF SHEET SECTION A	DATE Date JULY11, 2018 SCALE Scale 3/16" = 1' - 0"	CATEGORY & # A6
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SECTION B

Bar room Ceiling height 12'	Bar Ceiling height 10'-5"	Lounge area Ceiling height 8'-4"	Corridor Ceiling height 12'	Restroom Ceiling height 8'-4"
--------------------------------	------------------------------	-------------------------------------	--------------------------------	----------------------------------

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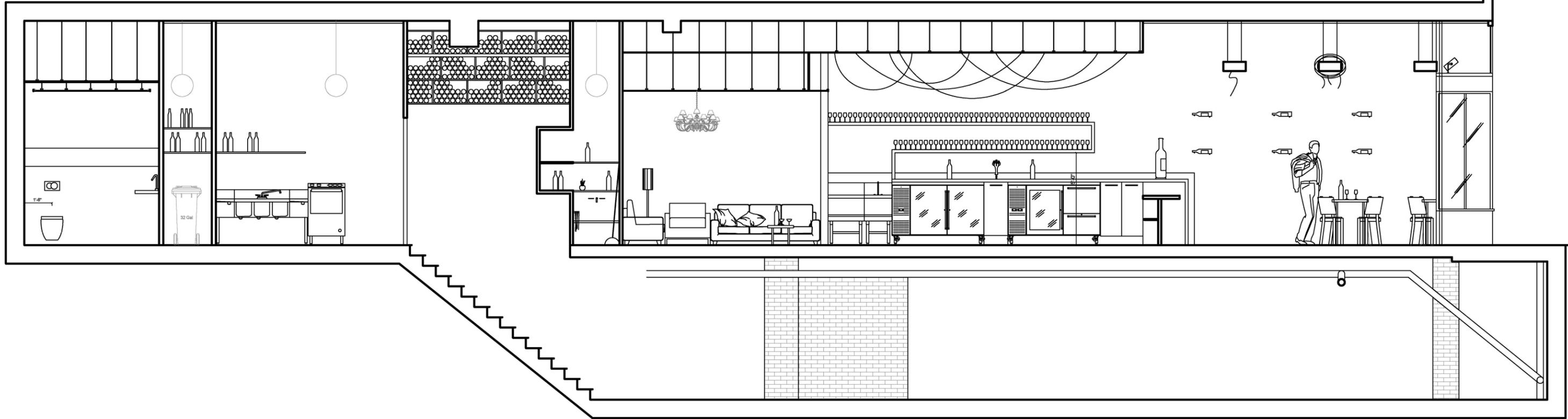
CLIENTS
 Mr & Mrs THILLARD
 1519 Polk Street
 San Francisco, CA 94109

PROJECT INFO
 ADDRESS
 1519 Polk Street
 San Francisco, CA 94109
 ASSESSOR'S BLOCK / LOT
 0643 / 004
 ZONING: N.C.D.
 (Neighborhood Commercial District)

DISTRICT: 3
SCOPE OF WORK
 Wine bar interior remodeling.
 No additional floor area,
 No additional square-footage,
 No height change.

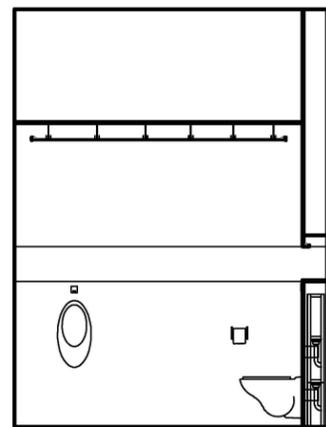
NAME OF SHEET
 SECTION B
 Date JULY11, 2018
 Scale 3/16" = 1' - 0"

CATEGORY & #
 A7



Restroom Ceiling height 8'-4" Garbages Ceiling height 12' Preparation room Ceiling height 12' Storage downstairs / Private area Water room Ceiling height 12' Lounge area Ceiling height 8'-4" Bar Ceiling height 10'-5" Bar room Ceiling height 12'

SECTION C



Restroom
Ceiling height 8'-4"

SECTION D



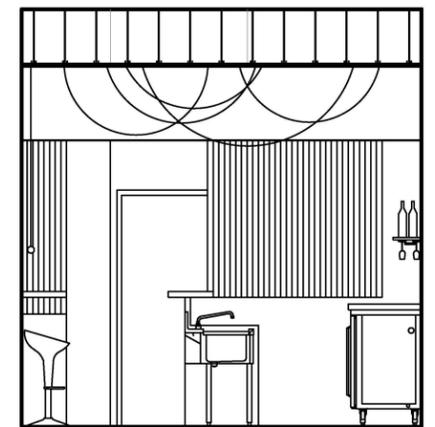
Reading area Storage downstairs
Private area
Ceiling height 8'-4"

SECTION E



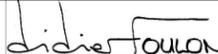
Lounge area
Ceiling height 8'-4"

SECTION F



Bar
Ceiling height 10'-5"

SECTION G

DESIGNER  INTERIOR DESIGNER 79 Beaver Street San Francisco, CA 94114 Phone : 203-600-9418 e-mail : contact@didierfoulon.com	PROJECT "ORA" 1519 Polk Street San Francisco, CA 94109	ENGINEER OPTIMAL DESIGN GROUP 1700 Bush Street, Suite 1A San Francisco, CA 94109 e-mail: val@optimaldesigngroup.com Office : 415-441-0809 Fax : 415-723-7185 www.OptimalDesignGroup.com	CLIENTS Mr & Mrs THILLARD 1519 Polk Street San Francisco, CA 94109	PROJECT INFO ADDRESS 1519 Polk Street San Francisco, CA 94109 ASSESSOR'S BLOCK / LOT 0643 / 004 ZONING: N.C.D. (Neighborhood Commercial District)	DISTRICT: 3 SCOPE OF WORK Wine bar interior remodeling. No additional floor area, No additional square-footage, No height change.	NAME OF SHEET	SECTIONS - C - D - E - F - G	Date JULY11, 2018	CATEGORY & # <h1>A8</h1>
								Scale 3/16" = 1' - 0"	

TO BE CONFIRMED UPON SHOP
DRAWING FROM FABRICATOR

Interior

Exterior

1

Existing Glasses
To Fix or Repair

Existing Header

Head Jamb
Sealant

Thermal Break

Wooden rail

Dual Glazing

78"

Wooden rail

Thermal Break

Sill Jamb

Sill Pan

Existing Wall

2

SCALE : 3" = 1'-0"
Date OCTOBER 23, 2018

DESIGNER  DIDIER FOULON INTERIOR DESIGNER 79 Beaver Street San Francisco, CA 94114 Phone : 203-600-9418 e-mail : contact@didierfoulon.com	PROJECT "ORA" 1519 Polk Street San Francisco, CA 94109	ENGINEER OPTIMAL DESIGN GROUP 1700 Bush Street, Suite 1A San Francisco, CA 94109 e-mail: val@optimaldesigngroup.com Office : 415-441-0809 Fax : 415-723-7185 www.OptimalDesignGroup.com	CLIENTS Mr & Mrs THILLARD 1519 Polk Street San Francisco, CA 94109	PROJECT INFO ADDRESS 1519 Polk Street San Francisco, CA 94109 ASSESSOR'S BLOCK / LOT 0643 / 004 ZONING: N.C.D. (Neighborhood Commercial District)	DISTRICT: 3 SCOPE OF WORK Wine bar interior remodeling. No additional floor area. No additional square-footage. No height change.	NAME OF SHEET WINDOWS DETAIL	CATEGORY & # A2-3