NOTICE TO BOARD OF SUPERVISORS OF APPEAL FROM ACTION OF THE CITY PLANNING COMMISSION 2018 DEC - 7

SY_____

Notice is hereby given of an appeal to the Board of Supervisors from the following action of the City Planning Commission.

The property is located at 3637-3657 SACRAMENTO. ST.

Date of City Planning Commission Action
(Attach a Copy of Planning Commission's Decision)

DEC. 7, 2018
Appeal Filing Date

The Planning Commission disapproved in whole or in part an application for reclassification of

	property, Case No
· · · · · · · · · · · · · · · · · · ·	The Planning Commission disapproved in whole or in part an application for establishment, abolition or modification of a set-back line, Case No
V	The Planning Commission approved in whole or in part an application for conditional use authorization, Case No. 2007-1347
	The Planning Commission disapproved in whole or in part an application for conditional use authorization, Case No

Statement of Appeal:

a) Set forth the part(s) of the decision the appeal is taken from:

SEE ATTACHED.

b) Set forth the reasons in support of your appeal:

SEE ATTACHED.

Person to Whom Notices Shall Be Mailed

Name and Address of Person Filing Appeal:

RACHEL LEWIS

RACHEL LEWS

433 LOCUST, STREET 433 LOCUST ST.

Address S.F. CA 94118

Address S.F., CA 94118

415-346-4502 Telephone Number Telephone Number

Signature of Appellant or

California-Locust Neighbor's Group Association

believe that there is sufficient public inte	1 (b), the undersigned members of the Board of Supervisors rest and concern to warrant an appeal of the Planning Commission uthorization regarding (address)	
of the Board to calendar this item at the	, District The undersigned members respectfully re soonest possible date.	quest the Clerk
SIGNATURE	DATE	
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(Attach copy of Planning Commission's Decision)

(attached at end of packet)

EXHIBIT B

LIST OF OWNER ADDRESSES AND BLOCK/ LOT NUMBERS INCLUDED

SIGNATURE REF. PAGE	OWNER NAME	ADDRESS/ES OWNED	BLOCK/ LOT NUMBER
page 1	ATELIER ASSOCIATES	3625 SACRAMENTO	1018016
page 2, lines 3 & 5	BARBANELL FAMILY T	3627-29 SACRAMENTO	1018015
page 2, lines 1 & 2	SUSAN FOSLIEN 2006	3683-85 SACRAMENTO	1018008
page 3	MEHMET and NEVIN T	3536- 38 CALIFORNIA	1018004B
page 4	DILENA FAMILY LLC	3524-26 CALIFORNIA	1018003E
page 4	LOIS PAGANINI TRUST	3524-26 CALIFORNIA	1018003E
page 5	BLOSSOM LEE REVOC	3518-20 CALIFORNIA	1018003D
page 6	LEWIS RACHEL REVOC	433 LOCUST	1018002
page 6	LEWIS RACHEL A	433 LOCUST	1018002
page 6	LOCUST STREET TRUS	433 LOCUST	1018002
page 6	FOURTH STREET PART	433 LOCUST	1011060
page 7	BLAU LAURENCE ALA	3544 CALIFORNIA	1018032
page 7	BALU ROBERT A	3544 CALIFORNIA	1018032
page 8, line 4	WARE WENDY ELIZAB	3542 CALIFORNIA	1018031
page 8, line 2 & 3	KOPCZYNSKI FAMILY T	3530 CALIFORNIA	1018029
page 9	JAMES and TINA EVAN	327 LOCUST	1011031
page 10	BURTON NAN	325 LOCUST	1011030
page 11	JAMES THADDEUS MO	323 LOCUST	1011029
page 2, line 4	ENGMANN OPTIONS I	3650-64 SACRAMENTO	1011011
page 28	JOHN MORAN and US	3616-18 SACRAMENTO	1011006
page 12	HOWARD L and MARC	3608-10 SACRAMENTO	1011005
page 13	LOCUST PROPERTIES I	436,442 LOCUST	1019043
page 14	KAUS FAMILY TRUST	3626-28 SACRAMENTO	1011008
page 15	SIMONIAN CHARLENE	3609-13 SACRAMENTO	1018018
page 8, line 1	LYDIA GARCIA TRUST	3532 CALIFORNIA	1018030
page 16	LOW FAMILY TRUST	3585 SACRAMENTO	1019020
page 17	FRIESE REVOCABLE TR	3675 CLAY ST	1011022
page 18	FERGUSON REVOC LV	3622 SACRAMENTO	1011065
page 19	TAMER ALBERT	3624 SACRAMENTO	1011064
page 20, 20A, 20B	CHAFEN FAM LIV TRU	3678-80 SACRAMENTO	1011015
page 27, line 3	LEONG BELINDA	440 LOCUST ST	1019042
page 21	JEAN K MOHOROVICH	3560 CALIFORNIA	1018004A
page 22	LISA GUDE ZANZE REV	438 LOCUST ST	1019041
page 28A line (47	LA CAVERA FMLY LVG	3673 SACRAMENTO	1018010
page 23	ROSENBERG FAMILY F	3575 SACRAMENTO	1019022
page 24	HUME KOUKOPOULO	326 SPRUCE	1011018
page 25	BARBARA A LAWLESS	345 LOCUST, #2C	1011058
page 25	BARBARA A LAWLESS	345 LOCUST, #1C	1011057
page 26	YU SING/SUN CHU LIM	418, 420, 422 SPRUCE	1018006
page 27, line 2	BULKLEY FAMILY LP	3632-38 SACRAMENTO	1011009

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City Planning Commission Class No	2	007	-/	34	1
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City Planning Commission 47 Case No. 2007-1347

The undersigned declare that they are hereby subscribers to this Notice of Appeal and are owners of property affected by the proposed amendment or conditional use (that is, owners of property within the area that is the subject of the application for amendment or conditional use, or within a radius of 300 feet of the exterior boundaries of the property.

If ownership has changed and assessment roll has not been amended, we attach proof of ownership change. It signing for a firm or corporation, proof of authorization to sign on behalf of the organization is attached.

•	Street Address, property owned	Assessor's Block & Lot	Printed Name of Owner(s)	Original Signature of Owner(s)
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City Planning Commission Case No. 2007-1347

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	Street Address, property owned	Assessor's Block & Lot	Printed Name of Owner(s)	Original Signature of Owner(s)
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Street Address Property Owned 3524 / 3526	Assessor's Block <u>& Lot Number</u> 1018/003E	Name of Owners	Original Signature of Owners
California Street	·	50% Share Dilena Family LLC	Deal helms, Trustee
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2018 DEC -7 AM 10: 17 City Planning Commission Case No. 2007-1347

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	Street Address, property owned	Assessor's Block & Lot	Printed Name of Owner(s)	Original Signature of Owner(s)
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City Planning Commission Case No. 2007-1347

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	Street Address, property owned	Assessor's Block & Lot	Printed Name of Owner(s)	Original Signature of Owner(s)
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City Planning Commission Case No. 2007 - 1347

The undersigned declare that they are hereby subscribers to this Notice of Appeal and are owners of property affected by the proposed amendment or conditional use (that is, owners of property within the area that is the subject of the application for amendment or conditional use, or within a radius of 300 feet of the exterior boundaries of the property.

	Street Address, property owned	Assessor's Block & Lot	Printed Name o	f Owner(s)	Original Signature of Owner(s)	
1.	3532 California	S1018030			Lipia Garcie	. · .
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City Planning Commission Case No. 2007-1347

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	Street Address, property owned	Assessor's Block & Lot	Printed Name of Owner(s)	Original Signature of Owner(s)
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2018 DEC -7 AN 10: 17	City Planning Commission Case No. 2007 - 1347
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City Planning Commission Case No. 2007-1347

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	Street Address, property owned	Assessor's Block & Lot	Printed Name of Owner(s)	Original Signature of Owner(s)
1.	3608 Secramento St.	1011/005	Howard L. Herman	Howard Herman
2.	3608 Sacramento St	1011/005	Marcia E. Herman	Marcia E Harrian
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The undersigned seclare that they are hereby subscribers to this Notice of Appeal and are owners of property affected by the proposed amendment or conditional use (that is, owners of property within the area that is the subject of the application for amendment or conditional use, or within a radius of 300 feet of the exterior boundaries of the property.

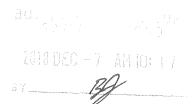
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City Planning Commission Case No. 2007 - 1347

City Planning Commission
Case No. 2007 – 1347

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	Street Address, property owned	Assessor's Block & Lot	Printed Name of Owner(s)	Original Signature of Owner(s)
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City Planning Commission Case No. 2007. 1347 E

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	Street Address, property owned	Assessor's Block & Lot	Printed Name of Owner(s)	Original Signature of Owner(s)
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City Planning Commission
Case No. 2007-1347

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	Street Address, property owned	Assessor's Block & Lot	Printed Name of Owner(s)	Original Signature of Owner(s)
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City Planning Commission
Case No. 2007-1347

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City Planning Commission
Case No. 2007 - 1347

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City Planning Commission Case No. 2427, 1347

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City Planning Commission Case No. 2007-1347

Case No. 2007-1347

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	Street Address, property owned	Assessor's Block & Lot	Printed Name of Owner(s)	Original Signature of Owner(s)
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ATTORNEY'S CERTIFICATE

I, DEANNA D. LYON, hereby declare:

That I am an active member of the State Bar of California; and

That the attached pertinent pages of the Second Amendment and Restatement of the CHAFEN FAMILY LIVING TRUST dated October 5, 1998 (which designate Less T. Chafen and Margaret E. Chafen as Trustee, recite the powers of the Trustee, and depict the Settlors' signatures and the acknowledgement thereof) are true and correct copies of the originals.

I declare under penalty of perjury under the laws of the State of California that the foregoing statements are true and correct.

Dated: August 8, 2014

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PAGE 20 A

ARTICLE 13 Miscellaneous Provisions

- 13.1. Omission of Heirs. Except as otherwise provided in this Agreement, the Settlors have intentionally and with full knowledge omitted to provide for their heirs.
- 13.2. Unenforceable Provisions. If any provisions of this Agreement are unenforceable, the remaining provisions shall, nevertheless, be carried into effect.
- 13.3. Governing Law. This trust has been accepted by the Trustee in the State of California, and unless otherwise provided in this Agreement, its validity, construction and all rights under it shall be governed by the laws of that State.

Signed on June 27, 2014, at Oakland, California.

LESS T. CHAFEN, Settlor

MARGARET E. CHAFEN, Settlor

State of California

County of Alameda

On June 27, 2014, before me, PHYLLIS QUINTERO, a Notary Public, personally appeared LESS T. CHAFEN and MARGARET E. CHAFEN, who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument, and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.

Notary Public

PHYLLIS QUINTERO
Commission # 2030697
Notary Public - California
Alameda County
My Comm. Expires Jul 21, 2017

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City Planning Commission Case No. 2007 - 1347

The undersigned declare that they are hereby subscribers to this flotice of Appeal and are owners of property affected by the proposed amendment or conditional use (that is, owners of property within the area that is the subject of the application for amendment or conditional use, or within a radius of 300 feet of the exterior boundaries of the property.

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City Planning Commission Case No. 2007-1347

City Planning Commission
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City Planning Commission Case No. 2007. 1347

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City Planning Commission Case No. 2067, 1347

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	Street Address,	Assessor's	Printed Name of Owner(s)	Original Signature
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City Planning Commission Case No. 2007-1347

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City Planning Commission Case No. 2007. (3\forall 7)

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City Planning Commission Case No. 2007, 1347

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December 7, 2018

To: Board of Supervisors

Re: 3637-3657 Sacramento Street

Case # 2007.1347



We are writing to express the concerns of the California-Locust Neighbor's Association, as well as numerous other owners within the 300 ft. radius of 3637-3657 Sacramento Street. We wish to appeal the decision made on November 8, 2018 by the Planning Commission, despite *overwhelming* neighborhood opposition from owners, residents, and businesses. *(see Exhibit A)*

1- WE ARE APPEALING THE CUA FOR LOT SIZE EXCEEDING 5,000 SQ FT.

<u>The Planning Commission findings:</u> "The proposed use or feature, at the size and intensity contemplated and at the proposed location, will provide a development that is necessary or desirable for, and compatible with, the neighborhood or the community;"

<u>Our Findings:</u> The CUA allows a building of a mass and height which is <u>totally incompatible</u> with the buildings on the mid-block of 3600 Sacramento, and larger in scale than every building in the Sacramento Street NC District (except for the Menorah Park senior housing project); therefore the project is <u>not</u> compatible;

- The combined lot size of 14,585 SF exceeds the recommended size in the Neighborhood Commercial District by 292%.
- The frontage of this project would be 110', 24% of the entire block. (The median frontage on Sacramento Street is only 27 ½ feet.)
- The Sacramento Street NCD spans just over five blocks and includes only 105 lots. The existing two lots already exceed the maximum allowed size and are currently the sixth and tenth largest lots in the NCD. Only 16 lots are over 5,000 SF. The median lot size is only 3314 SF.
- The proposed size creates a mass and facade that is **not** compatible with the existing scale of the district and does **not** contribute to the positive visual quality of the district, **as the NCD code requires**. No part of the proposed use requires the larger lot size in order to function. The project has not adequately addressed the need for loading zones that the intensity of the proposed retail and medical offices will require, or made safeguards to prevent related noxious or offensive emissions from such uses.

2- WE ARE APPEALING THE CUA FOR NON-RESIDENTIAL USES EXCEEDING 2500 SQ FT.

The Planning Commission's Findings:

"That such use or feature as proposed will not be detrimental to the health, safety, convenience or general welfare of persons residing or working in the vicinity, or injurious to property, improvements or potential development in the vicinity, with respect to aspects including but not limited to the following;

- -The nature of the proposed site, including its size and shape, and the proposed size, shape and arrangement of structures;
- -The accessibility and traffic patterns for persons and vehicles, the type and volume of such traffic, and the adequacy of proposed off-street parking and loading;
- -The safeguards afforded to prevent noxious or offensive emissions such as noise, glare, dust and odor:
- -Treatment given, as appropriate, to such aspects as landscaping, screening, open spaces, parking and loading areas, service areas, lighting and signs...."

<u>Our Findings</u>: In the Sacramento NCD, only four CUAs are non-residential use size exceptions: University High School, Spruce Restaurant, and two mixed use developments on lots over 5000 sf. Neither of these mixed use developments contains a non-residential use over the allowed size. CUAs in this district are rare.

- None of the proposed non-residential use sizes has a nature that requires the size being over 2500 sf in order to function.
- The proposed design of the project has NOT been made with discrete elements that respect the scale of other development in the district. Only very minor changes in depth have been proposed, where most other developments provide major vertical bays or other major features that provide a human scale to the buildings.
- With the imminent departure of CPMC hospital, the need for new medical offices in this neighborhood is waning. Doctors are moving closer to hospitals. In addition, medical office uses create continual medical deliveries, package deliveries etc. as proven by the developer's other building on the corner of California and Locust Streets. There is simply no freight unloading space on Sacramento Street, which is already a very congested block during the daytime.
- Lastly, 6000 sq ft of contiguous retail space is unnecessary and undesirable. The Sacramento Street NC District is made up of small retail frontages. Larger retail, such as what is proposed, is more appropriate in the NCS district one block away. There is already an abundance of open retail spaces in this neighborhood, and after the multi-year construction period is over, there will unfortunately be many more to choose from.

In summary, this project would have a detrimental effect on the many residents, families and businesses that reside and/or operate a business near this project. This includes detrimental effects during construction as well as after construction is completed. Many of the small businesses and restaurants all along Sacramento Street are not likely to survive a project of this size and duration. There are other substantial environmental concerns as well, which we are addressing in our (separate) CEQA appeal.

Sincerely,

California-Locust Neighbor's Group Association and Property Owners

EXHIBIT A:

OPPOSITION LETTERS AT 11/8 HEARING



2010 DEC - 7 AM D: 16

Planning Commission Motion No. 20336

IJ...

1650 Mission St. Suite 400 San Francisco, CA 94103-2479

Reception: 415.558.6378

Fax:

415.558.6409

Planning Information: 415,558,6377

HEARING DATE: NOVEMBER 8, 2018

Record No.:

2007.1347CUA

Project Address:

3637-3657 SACRAMENTO STREET

Zoning:

Sacramento Street Neighborhood Commercial District

40-X Height and Bulk District

Block/Lots:

1018/012 and 020

Project Sponsor:

Annie Chen

Litke Properties, Inc.

3490 California Street, Suite 206

San Francisco, CA 94118

Property Owner:

Sacramento Locust Associates

3490 California Street, Suite 206

San Francisco, CA 94118

Staff Contact:

Mary Woods ~ (415) 558-6315

mary.woods@sfgov.org

ADOPTING FINDINGS RELATING TO A CONDITIONAL USE AUTHORIZATION PURSUANT TO PLANNING CODE SECTIONS 102, 121.1, 121.2, 303 AND 724, TO ALLOW A MODIFICATION FROM THE REAR YARD REQUIREMENTS OF PLANNING CODE SECTIONS 134 AND 136 AS PART OF A PROJECT THAT WOULD DEMOLISH THREE EXISTING BUILDINGS AND CONSTRUCT A NEW FOUR-STORY, 40-FOOT TALL, MIXED USE BUILDING CONTAINING RESIDENTIAL USE (APPROXIMATELY 17,100 GROSS SQUARE FEET) WITH 18 DWELLING UNITS (CONSISTING OF 6 1-BEDROOM UNITS, AND 12 2-BEDROOM UNITS); RETAIL/COMMERCIAL SPACE (APPROXIMATELY 6,500 GROSS SQUARE FEET), MEDICAL OFFICES (APPROXIMATELY 10,000 GROSS SQUARE FEET), 64 OFF-STREET PARKING SPACES (INCLUDING ONE CAR SHARE SPACE) AND 35 BICYCLE PARKING SPACES (APPROXIMATELY 38,700 GROSS SQUARE FEET) LOCATED AT 3637-3657 SACRAMENTO STREET, LOTS 012 AND 020 IN ASSESSOR'S BLOCK 1018, WITHIN THE SACRAMENTO STREET NEIGHBORHOOD COMMERCIAL DISTRICT AND A 40-X HEIGHT AND BULK DISTRICT.

PREAMBLE

On June 24, 2014, Annie Chen of Litke Properties, Inc. (hereinafter "Project Sponsor") filed Application No. 2007.1347CUA (hereinafter "Application") with the Planning Department (hereinafter "Department") for a Conditional Use Authorization to demolish three existing buildings and construct a new four-story, 40-foot tall, mixed use building with retail/commercial space, medical offices (i.e., medical or dental offices) and 18 dwelling units (hereinafter "Project") at 3637-3657 Sacramento Street, Assessor's Block 1018, Lots 012 and 020 (hereinafter "Project Site").

The Planning Department Commission Secretary is the custodian of records; the File for Record No. 2007.1347CUA is located at 1650 Mission Street, Suite 400, San Francisco, California.

On November 8, 2018, the San Francisco Planning Commission (hereinafter "Commission") conducted a duly noticed public hearing at a regularly scheduled meeting on Conditional Use Authorization Application No. 2007.1347CUA. The Commission has heard and considered the testimony presented to it at the public hearing and has further considered written materials and oral testimony presented on behalf of the applicant, Department staff, and other interested parties. At this hearing, the Planning Commission discussed and approved a design modification for this Project to remove one level of the below-grade/underground parking garage, resulting in a two-level underground parking garage for the Project. This design direction was adopted per the amended Conditions of Approval the Planning Commission adopted at the November 8, 2018 hearing, directing the Project Sponsor to develop a revised design that removes one level of the below-grade/underground parking garage.

On September 20, 2018, the Project was determined to be exempt from the California Environmental Quality Act ("CEQA") as a Class 32 Categorical Exemption under CEQA as described in the determination contained in the Planning Department files for this Project.

MOVED, that the Commission hereby authorizes the Conditional Use Authorization as requested in Application No. 2007.1347CUA, subject to the conditions contained in "EXHIBIT A" of this motion, based on the following findings:

FINDINGS

Having reviewed the materials identified in the preamble above, and having heard all testimony and arguments, this Commission finds, concludes, and determines as follows:

- 1. The above recitals are accurate and constitute findings of this Commission.
- 2. Project Description. The Project includes demolition of the three existing buildings on the Project Site, and new construction of a four-story, 40-foot tall, mixed use building containing approximately 6,500 gross square feet of retail/commercial use on the first floor, approximately 10,000 gross square feet of medical offices on the second floor, and 18 dwelling units (approximately 17,100 gross square feet) on the third and fourth floors. The Project proposes 64 parking spaces on three below-grade levels consisting of 45 short-term public parking spaces on the first and second levels (13 retail spaces and 32 medical spaces), 18 residential parking spaces on the third level, and one car share space. The Project will no longer provide three levels of underground parking, as originally proposed. At the November 8, 2018 hearing, the Planning Commission directed the removal of one level of the underground parking, resulting in two levels of underground parking for the Project. The garage would also provide 21 Class 1 bicycle parking spaces and 14 Class 2 bicycle parking spaces on Sacramento Street. The Project includes a dwelling unit mix consisting of 12 two-bedroom units, and 6 one-bedroom units. The Project includes approximately 2,700 gross square feet of common open space via the ground floor rear yard, and 53 square feet of a private deck.
- 3. Site Description and Present Use. The Project is located on two lots (Lots 012 and 020 with a combined lot area of approximately 14,585 square feet), which have approximately 110 feet of

frontage along Sacramento Street and approximately 132 feet in depth. Lot 012, located at 3657 Sacramento Street, contains a single-story, 12,250-square-foot, 75-space parking garage that was built in 1920. Lot 020 contains two structures: a two-story, occupied medical/dental office building with three surface parking spaces located at 3637 Sacramento Street, that was built in 1966, and an occupied three-story medical/dental office building located at 3641 Sacramento Street, that was built in 1974.

- 4. Surrounding Properties and Neighborhood. The Project Site is bounded on the east and west by two- and three-story wood-frame mixed-use buildings that share common property lines. The Project Site is located within the Sacramento Street corridor, a mixed-use urban area with a mixture of two- to three-story buildings with residential units and offices above ground-floor commercial/retail. Neighboring uses include retail, restaurants, offices, and residential uses. The topography at the Project Site and Project area slopes gently downward to the south and upward to the east.
- 5. Public Outreach and Comments. The Project Sponsor had met with nearby residents and local neighborhood organizations on various occasions over the past few years. The Department has received correspondence from 156 people regarding the proposed Project. This correspondence includes 135 letters in support of the Project, and 21 letters in opposition to the Project. Issues and concerns expressed about the proposed Project include the size of the Project (that it is incompatible with the surrounding low-density residential neighborhood), the rear yard Variances that the Project is seeking, noise and disruption during construction. Neighbors with properties fronting on California Street, but facing the rear of the Project Site were concerned that a high wall would be placed at the rear property line. In response to this concern, the Project was redesigned to eliminate the need for that wall and place the rear yard open space at the same level as the properties facing the rear of the Project Site. According to the Project Sponsor, one adjacent neighbor who was initially opposed to the Project, dropped the opposition based on the design revisions.
- 6. **Planning Code Compliance.** The Commission finds that the Project is consistent with the relevant provisions of the Planning Code in the following manner:
 - A. Use: Retail Sales and Services/Commercial, Health Services/Medical/Dental, Public Parking Garage, and Residential Dwelling Units. Planning Code Section 724 sets forth the permitted uses in the Sacramento Street NCD (Neighborhood Commercial District). Section 724 establishes that retail sales and services, health services and residential dwelling units, as defined by Section 102, are principally permitted, while a public parking garage, as defined by Section 102, is conditionally permitted in the Sacramento Street NCD pursuant to Sections 303(c) and 303(t). Findings under Sections 303(c) and 303(t) are listed below.
 - The Project is proposing retail/commercial uses on the ground floor, medical/health service uses on the second floor, and residential dwelling units on the third and fourth floors. The Project also proposes 64 parking spaces on three below-grade levels consisting of 45 short-term public parking spaces on the first and second levels (13 retail spaces and 32 medical spaces), 18 residential parking spaces on the third level, and one car share space. The garage would also provide 21 Class 1 bicycle parking spaces.

B. Height and Bulk. Planning Code Sections 250 and 724 establish the height and bulk districts.

The Project Site is located within a 40-X Height and Bulk District. This district allows a maximum building height of 40 feet and has no bulk limit per Section 250. The proposed Project is at a height of 40 feet.

C. Lot Size. Planning Code Sections 121.1 and 724 require Conditional Use authorization for development lots exceeding 5,000 square feet. Findings pursuant to Section 121.1(b) are listed below under item number 7.

The Project Site consists of two lots (012 and 020) with a combined lot size of approximately 14,500 square feet. Lot 012 has 50 feet of frontage on Sacramento Street and a lot depth of approximately 132 feet, totaling approximately 6,600 square feet. Lot 020 has 60 feet of frontage on Sacramento Street and a lot depth of approximately 132 feet, totaling approximately 7,900 square feet.

D. Use Size. Planning Code Sections 121.2 and 724 require Conditional Use authorization for non-residential use size exceeding 2,500 square feet for each individual use. Findings pursuant to Section 121.2(a) are listed below under item number 8.

The Project proposes approximately 6,500 gross square feet of retail/commercial use on the first/ground floor, and approximately 10,000 gross square feet of medical offices on the second floor.

E. **Public Parking Garage.** Planning Code Sections 303(t) and 724 require Conditional Use authorization for a public parking garage, as defined under Section 102. Findings pursuant to Section 303(t) are listed below under item number 10.

The Project proposes 64 parking spaces on three below-grade levels consisting of 45 short-term public parking spaces on the first and second levels (13 retail spaces and 32 medical spaces), 18 residential parking spaces on the third level, and one car share space.

F. Basic Floor Area Ratio (FAR). Planning Code Section 124 limits the building square footage to 1.8 square feet of building area for every 1 square foot of lot area, or approximately 26,100 square feet of building area for the subject Site. However, in NC Districts, the FAR limits do not apply to dwellings or to other residential uses per Section 124(b).

The Project Site contains approximately 14,500 square feet of lot area, which would allow approximately 26,100 gross square feet of floor area. The Project proposes 18 dwelling units, totaling approximately 17,100 gross square feet, and non-residential uses totaling approximately 16,500 gross square feet.

G. Rear Yard. Planning Code Section 134 requires that in the Sacramento Street NCD a 25 percent rear yard be provided. An approximately 33-foot deep rear yard from the rear lot line would need to be provided for the Project. Section 136(c)(26) states that garages which are

underground, if their top surfaces are developed as usable open space, that no such garage could occupy any area within the rear 15 feet of the depth of the lot. However, Section 134(e)(1) allows, in NC Districts, a Zoning Administrator modification from the rear yard requirements. The Project is seeking a Zoning Administrator modification from the rear yard requirement pursuant to Sections 134(e)(1) and 307.

The Project proposes a rear yard of approximately 33 feet in depth, an area of approximately 3,630 square feet of open space. Of which, approximately, 2,700 square feet would be common usable open space for the residential units. Because the proposed underground garage occupies the last 15 feet of the rear property line, the Project is seeking a Zoning Administrator modification of the rear yard requirement. The Project proposes mechanical rooms, stairs, and storage space within the last 15 feet.

H. Open Space. Planning Code Section 135 requires 133 square feet of common usable open space or 100 square feet of private usable open space per dwelling unit.

The Project meets the common usable open space requirement of approximately 2,400 square feet by providing a rear yard, totaling approximately 2,700 square feet, for the proposed 18 dwelling units.

I. Dwelling Unit Exposure. Planning Code Section 140 requires that all dwelling units face a public street or side yard at least 25 feet in width, a required rear yard, or an open area of 25 feet in width.

All of the units in the Project meet this requirement.

J. Street Frontage in Neighborhood Commercial Districts. Planning Code Section 145.1 requires that within NC Districts space for active uses shall be provided within the first 25 feet of building depth on the ground floor and 15 feet on floors above from any facade facing a street at least 30 feet in width. In addition, the floors of street-fronting interior spaces housing non-residential active uses and lobbies shall be as close as possible to the level of the adjacent sidewalk at the principal entrance to these spaces. Frontages with active uses that must be fenestrated with transparent windows and doorways for no less than 60 percent of the street frontage at the ground level and allow visibility to the inside of the building. The use of dark or mirrored glass shall not count towards the required transparent area. Any decorative railings or grillwork, other than wire mesh, which is placed in front of or behind ground floor windows, shall be at least 75 percent open to perpendicular view. Rolling or sliding security gates shall consist of open grillwork rather than solid material, so as to provide visual interest to pedestrians when the gates are closed, and to permit light to pass through mostly unobstructed. Gates, when both open and folded or rolled as well as the gate mechanism, shall be recessed within, or laid flush with, the building facade.

The proposed Project is consistent with the relevant provisions under Section 145.1. The proposed ground floor level is set back approximately 3 feet along Sacramento Street to provide a buffer along the streetscape and an opportunity for outdoor uses by the retail/commercial units. The proposed ground floor has approximately 68 feet of retail/commercial frontage on Sacramento Street with

transparent windows and doorways, approximately 21 feet for a garage entrance, and approximately 13 feet for a lobby entrance and an egress corridor.

K. Off-Street Parking - Retail/Commercial. Planning Code Section 151 permits one off-street parking space for each 500 square feet of occupied floor area up to 20,000 square feet for commercial or retail stores.

The amount of parking specified in Section 151 is the minimum amount of off-street parking allowed at the Project Site. The Project proposes approximately 6,300 occupied square feet of retail/commercial space. The allowed parking minimum would be 13 spaces. The Project is proposing 13 parking spaces for its retail/commercial uses.

L. Off-Street Parking – Health Service/Medical/Dental. Planning Code Section 151 permits one off-street parking space for each 300 square feet of occupied floor area where the occupied floor area exceeds 5,000 square feet for health services or medical/dental offices.

The amount of parking specified in Section 151 is the minimum amount of off-street parking allowed at the Project Site. The Project proposes approximately 9,600 occupied square feet of medical/dental offices. The allowed parking minimum would be 32 spaces. The Project is proposing 32 parking spaces for its medical/dental uses.

M. Off-Street Parking - Residential. Planning Code Section 151 states that one off-street parking space is permitted as of right for each dwelling unit.

The Project proposes a total of 18 residential parking spaces for 18 dwelling units.

N. Off-Street Freight Loading - Retail/Commercial. Planning Code Section 152 requires one offstreet freight loading space for retail stores where the occupied floor area of structure or use is over 10,000 square feet.

The Project proposes approximately 6,300 occupied square feet of retail/commercial space. Therefore, an off-street freight loading space is not required.

O. Off-Street Freight Loading - Health/Medical/Residential. Planning Code Section 152 requires one off-street freight loading space for all other uses, excluding retail/commercial uses, where the combined occupied floor area of structure or use is over 100,000 square feet.

The Project proposes approximately 16,000 occupied square feet of residential use, and approximately 9,600 occupied square feet of health services or medical/dental offices, totaling approximately 25,600 occupied square feet. Therefore, an off-street freight loading space is not required

P. Handicapped Parking. Planning Code Section 155(i) requires one handicapped parking space for each 25 off-street parking spaces provided.

The Project proposes a total of 63 off-street parking spaces. Therefore, three handicapped parking spaces are required and provided on-site.

Q. **Bicycle Parking - Class 1.** Planning Section 155.2 requires one Class 1 space for every dwelling unit. For retail sales and services, one Class 1 space is required for every 7,500 of occupied floor area. For health services, one Class 1 space is required for every 5,000 of occupied floor area. All bicycle parking must meet the standards set forth under Section 155.1.

With regard to Class 1 bicycle parking spaces, the Project will provide 18 spaces for the proposed 18 dwelling units, one space for the proposed retail/commercial space at approximately 6,300 occupied square feet, two spaces for the proposed health services/medical/dental offices at approximately 9,600 occupied square feet, and none are required for a public parking garage, totaling 21 spaces.

R. **Bicycle Parking - Class 2.** Planning Code Section 155.2 requires one Class 2 space for every 20 dwelling units and a minimum of two Class 2 space and one for every 2,500 square feet of occupied floor area for retail sales and services space. All bicycle parking must meet the standards set forth under Section 155.1.

With regard to Class 2 bicycle parking spaces, the Project will provide 1 space for the proposed 18 dwelling units, three spaces for the proposed retail/commercial space at approximately 6,300 occupied square feet, four spaces for the proposed health services/medical/dental offices at approximately 9,600 occupied square feet, and six spaces for the proposed public parking garage, totaling 14 spaces.

S. Car Share Parking Spaces. Planning Code Section 166 requires one car share space for projects with more than 50 units but not exceeding 200 units.

The Project containing 18 dwelling units is not required to provide any car share spaces, but one carshare parking space is provided on-site.

T. Child-Care and Transportation Sustainability Impact Fees. Planning Code Sections 411 and 414 authorize the imposition of certain development impact fees on new development projects to offset impacts on child-care services and the transit system. Land use categories for all impact fees are defined in Code Section 401.

The Project Sponsor will comply with the requirements of these Sections prior to the issuance of the first construction document.

U. Inclusionary Affordable Housing Program. Planning Code Section 415 sets forth the requirements and procedures for the Inclusionary Affordable Housing Program. Under Planning Code Section 415.3, the current percentage requirements apply to projects that consist of ten or more units. Pursuant to Planning Code Section 415.5, the Project must pay the Affordable Housing Fee ("Fee"). This Fee is made payable to the Department of Building Inspection ("DBI") for use by the Mayor's Office of Housing and Community Development

for the purpose of increasing affordable housing citywide. The applicable percentage is dependent on the number of units in the project, the zoning of the property, and the date that the project submitted a complete Environmental Evaluation Application. A complete Environmental Evaluation Application was submitted on November 20, 2007; therefore, pursuant to Planning Code Section 415.3 the Inclusionary Affordable Housing Program requirement for the Affordable Housing Fee is at a rate equivalent to an off-site requirement of 20%.

The Project Sponsor submitted an 'Affidavit of Compliance with the Inclusionary Affordable Housing Program: Planning Code Section 415,' to satisfy the requirements of the Inclusionary Affordable Housing Program through payment of the Fee, in an amount to be established by the Mayor's Office of Housing and Community Development. The applicable percentage is dependent on the total number of units in the project, the zoning of the property, and the date that the project submitted a complete Environmental Evaluation Application. A complete Environmental Evaluation Application was submitted on November 20, 2007; therefore, pursuant to Planning Code Section 415.3, the Inclusionary Affordable Housing Program requirement for the Affordable Housing Fee is at a rate equivalent to an off-site requirement of 20%.

- V. **Signage**. Any proposed signage will be subject to the review and approval of the Planning Department pursuant to Article 6 of the Planning Code
- W. Transportation Demand Management (TDM) Plan. Pursuant to Planning Code Section 169 and the TDM Program Standards, the Project shall finalize a TDM Plan prior Planning Department approval of the first Building Permit or Site Permit. As currently proposed, the Project must achieve a target of 7 points.

The Project submitted a completed Environmental Evaluation Application prior to September 4, 2016. Therefore, the Project must only achieve 50% of the point target established in the TDM Program Standards, resulting in a required target of 7 points for the residential use. As currently proposed, the Project will achieve its required 7 points through the following TDM measures:

- Bicycle Parking (Option A)
- Bicycle Repair Station
- Car-Share Parking (Option A)
- Delivery Supportive Amenities
- Family TDM Amenities
- Multimodal Wayfinding Signage
- Real Time Transportation Information Displays
- Parking Supply
- 7. Planning Code Section 121.1(b) Findings Relating to Lot Size. Section 121.1(b) establishes criteria for the Planning commission to consider when reviewing applications for projects seeking a development lot size greater than 5,000 square feet through the Conditional Use authorization process. On balance, the Project does comply with said criteria in that:

(1) The mass and facade of the proposed structure are compatible with the existing scale of the district.

The Project is designed as a four-story, 40-foot tall, mixed use development, consisting of retail/commercial space on the ground floor, medical/dental offices on the second floor, and residential units on the upper floors. The Project is composed of 25-foot vertical segments to be more in character with the block and neighborhood, creating separate storefront modules, and increasing the consistency of the design on the second through fourth floors to look more residential in character. The ground floor retail/commercial storefronts were modulated to emulate the existing size and scale of the storefronts on Sacramento Street with a center entry, planters, large glazed areas and a horizontal band to separate the ground floor building base from the upper floor residential façade. The vertical building modules emulate the 25-foot-wide building on the block face. The vertical brick pilasters emulate the similar brick features of the wider mixed-use buildings across the street.

(2) The facade of the proposed structure is compatible with design features of adjacent facades that contribute to the positive visual quality of the district.

The Project's architectural treatments, façade design and building materials include brick siding, cement plaster, metal awning, metal sectional garage door with translucent panels, aluminum storefront, stone cladding for the recessed planters, stoned pavers, transom windows, prefinished aluminum windows, and sandblasted glass guardrails. The Project is contemporary in its character. The Project incorporates a simple, yet elegant, architectural language that is accentuated by contrasts in the exterior materials. Overall, the Project offers a high quality architectural treatment, which provides for unique and expressive architectural design that is consistent and compatible with the surrounding neighborhood.

- 8. Planning Code Section 121.2(a) Findings Relating to Use Size. Section 121.2(a) establishes criteria for the Planning commission to consider when reviewing applications for projects seeking non-residential use size greater than 2,500 square feet for each individual use through the Conditional Use authorization process. On balance, the Project does comply with said criteria in that:
 - (1) The intensity of activity in the district is not such that allowing the larger use will be likely to foreclose the location of other needed neighborhood-serving uses in the area.

The Project will create retail uses that currently do not exist; therefore, no foreclosure will result from the proposed Project. The Project will also replace the existing medical/dental uses that serve the neighborhood, in addition to creating 18 new units of housing. The Project will take two underutilized lots with outdated structures that interrupt a consistent streetscape and provide a consistent, neighborhood-compatible streetscape and the following features:

- Ground floor retail uses compatible with this neighborhood commercial district,
- Second floor medical/dental uses desired by both neighborhood residents and medical/dental tenants of existing buildings,

- 18 residential units at the third and fourth floors, and
- Three levels of underground parking to serve retail, medical/dental, and residential uses. The Project will no longer provide three levels of underground parking, as originally proposed. At the November 8, 2018 hearing, the Planning Commission directed the removal of one level of the underground parking, resulting in two levels of underground parking for the Project.
- (2) The proposed use will serve the neighborhood, in whole or in significant part, and the nature of the use requires a larger size in order to function, and

The subject property is an underutilized Site on a neighborhood commercial corridor with access to public transit nearby. The proposed development is compatible with existing uses, provides needed housing, serves the needs of the neighborhood, and is consistent with the City's policies for this neighborhood. The massing of the buildings, like other neighborhood buildings, is at the street front, resulting in a new, compatible streetscape. Also, the addition of a generous rear-yard creates a previously non-existing mid-block open space benefitting not just the Project, but all neighboring buildings.

The existing garage structure has 78 parking spaces, leased to nearby residents, small business owners, and people who work in the neighborhood. The proposed Project will restore some of these parking spaces by providing access to a short term public parking garage on Levels P1 and P2 with 45 parking spaces. These spaces will serve the parking needs for the building's businesses and customers, local merchants and customers, and residential visitors. At the November 8, 2018 hearing, the Planning Commission directed the removal of one level of the underground parking, resulting in two levels of underground parking for the Project.

The existing building does not contain any retail/commercial uses even though the Project Site is located in a commercial zoning district. The proposed ground floor retail/commercial use, which is consistent with zoning, will activate the pedestrian level shopping and urban experience promoted by the Sacramento Street NCD zoning, which is a significant enhancement from the inactive street frontage of the existing uses at the Site. The new ground floor retail/commercial use will also provide jobs and business ownership opportunities for local residents.

The existing buildings have medical and dental businesses that serve the neighborhood. The proposed second floor medical/dental offices will continue to serve neighbors and promote a diversity of neighborhood-serving purposes and employment opportunities.

(3) The building in which the use is to be located is designed in discrete elements which respect the scale of development in the district.

The Project's architectural treatments, façade design and building materials include horizontal metal band separating ground floor commercial from residential floors, vertical brick pilasters dividing commercial spaces and residential lobby into smaller storefront modules, aluminum windows and storefronts, transom windows, exterior cement plaster, sandblasted glass guardrails, and metal sectional garage door with translucent panels. The Project is modern in its character.

- 9. Conditional Use Findings. Planning Code Section 303(c) establishes criteria for the Planning Commission to consider when reviewing applications for Conditional Use authorization. On balance, the project complies with said criteria in that:
 - A. The proposed use or feature, at the size and intensity contemplated and at the proposed location, will provide a development that is necessary or desirable for, and compatible with, the neighborhood or the community. If the proposed use exceeds the Non-Residential Use Size limitations for the district in which the use is located, the following shall be considered:
 - (1) The intensity of activity in the district is not such that allowing the larger use will be likely to foreclose the location of other needed neighborhood-serving uses in the area.

The Project will create retail uses that currently do not exist; therefore, no foreclosure will result from the proposed Project. The Project will also replace the existing medical/dental uses that serve the neighborhood, in addition to creating 18 new units of housing. The Project will take two underutilized lots with outdated structures that interrupt a consistent streetscape and provide a consistent, neighborhood-compatible streetscape and the following features:

- Ground floor retail uses compatible with this neighborhood commercial district,
- Second floor medical/dental uses desired by both neighborhood residents and medical/dental tenants of existing buildings,
- 18 residential units at the third and fourth floors, and
- Three levels of underground parking to serve retail, medical/dental, and residential uses. The Project will no longer provide three levels of underground parking, as originally proposed. At the November 8, 2018 hearing, the Planning Commission directed the removal of one level of the underground parking, resulting in two levels of underground parking for the Project.
- (2) The proposed use will serve the neighborhood, in whole or in significant part, and the nature of the use requires a larger size in order to function, and

The subject property is an underutilized Site on a neighborhood commercial corridor with access to public transit nearby. The proposed development is compatible with existing uses, provides needed housing, serves the needs of the neighborhood, and is consistent with the City's policies for this neighborhood. The massing of the buildings, like other neighborhood buildings, is at the street front, resulting in a new, compatible streetscape. Also, the addition of a generous rear-yard creates a previously non-existing mid-block open space benefitting not just the Project, but all neighboring buildings.

The existing garage structure has a total of 78 parking spaces, leased out to the neighborhood apartment renters, small business owners, and people who work in the neighborhood. The proposed Project will restore some of these parking spaces by providing access to a short term

public parking garage on Levels P1 and P2 with 45 parking spaces. These spaces will serve the parking needs for the building's businesses and customers, local merchants and customers, and residential visitors. At the November 8, 2018 hearing, the Planning Commission directed the removal of one level of the underground parking, resulting in two levels of underground parking for the Project.

The existing building does not contain any retail/commercial uses even though the Project Site is located in a commercial zoning district. The proposed ground floor retail/commercial use, which is consistent with zoning, will activate the pedestrian level shopping and urban experience promoted by the Sacramento Street NCD zoning, which is a significant enhancement from the inactive street frontage of the existing uses at the Site. The new ground floor retail/commercial use will also provide jobs and business ownership opportunities for local residents.

The existing buildings have medical and dental businesses that serve the neighborhood. The proposed second floor medical/dental offices will continue to serve neighbors and promote a diversity of neighborhood-serving purposes and employment opportunities.

(3) The building in which the use is to be located is designed in discrete elements which respect the scale of development in the district.

The Project's architectural treatments, façade design and building materials include horizontal metal band separating ground floor commercial from residential floors, vertical pilasters dividing commercial spaces and residential lobby into smaller storefront modules, aluminum windows and storefronts, transom windows, exterior cement plaster, sandblasted glass guardrails, and metal sectional garage door with translucent panels. The Project is modern in its character.

- B. Such use or feature as proposed will not be detrimental to the health, safety, convenience or general welfare of persons residing or working in the vicinity, or injurious to property, improvements or potential development in the vicinity, with respect to aspects including but not limited to the following:
 - (1) The nature of the proposed site, including its size and shape, and the proposed size, shape and arrangement of structures;

The Project Site is in an area developed with a mix of commercial and residential buildings consistent with the proposed uses. The proposed building will continue a street façade plane of buildings along this portion of Sacramento Street. Because the proposed mixed use development of retail/ commercial/medical/dental/residential is in the Sacramento Street NCD and is close to the Laurel Village shopping center on California Street, the new residential units will provide needed housing for working families.

The proposed underground parking garage is necessary and desirable because it replaces existing parking uses at the Site. The parking garage is below grade as compared to the existing on-grade parking structure. At the November 8, 2018 hearing, the Planning Commission directed the

removal of one level of the underground parking, resulting in two levels of underground parking for the Project.

The 40-foot height of the proposed building is consistent with the prescribed height limit. The layout of the new building will create an approximately 2,700 square-foot rear yard open space that will not only enhance the Project, but also enhance the mid-block open space that would benefit the residential buildings on California Street that are immediately south of the Project Site. While the existing buildings extend to the rear property line, the proposed building will be set back approximately 33 feet from the rear property line; thereby, creating a mid-block open space that is currently non-existent.

The neighbors on California Street expressed concerns that a wall proposed at the Project's rear property line would be a tall structure looming over their back yards. To address those concerns, the Project was redesigned to eliminate that wall.

(2) The accessibility and traffic patterns for persons and vehicles, the type and volume of such traffic, and the adequacy of proposed off-street parking and loading and of proposed alternatives to off-street parking, including provisions of car-share parking spaces, as defined in Section 166 of this Code.

The existing garage has 78 off-street parking spaces serving the existing medical/dental office buildings. The proposed building will provide 63 off-street parking spaces in the minimal amount required by Code, thus maintaining a similar amount of parking use that already exists on the site. While a car share parking space is not required, the Project will provide one car share parking space in the garage. According to the Project Sponsor, the daily vehicle trip generation of the existing buildings and parking garage use would be comparable to the daily vehicle trip generation that of the proposed uses.

The proposed underground off-street parking will be allocated as follow:

Retail: 13 required spaces + 0 accessory spaces = 13 (In/Out paid short-term)

Medical: 32 required spaces + 0 accessory spaces = 32 (In/Out paid short-term)

Residential: 18 required spaces + 0 accessory spaces = 18

Car Share: 0 required; but 1 car share space will be provided in the parking garage

The retail and medical/dental parking spaces on Levels P1 and P2 will operate as an In/Out paid short-term public parking. All parking spaces will be located underground and will not displace any potential retail, medical/dental or residential uses. The operation of this underground parking will not disturb the adjacent properties. At the November 8, 2018 hearing, the Planning Commission directed the removal of one level of the underground parking, resulting in two levels of underground parking for the Project.

Except for moving-in and moving-out, the dwelling units will not generate any substantial loading demands. The Project Sponsor will ensure that the initial move-ins are phased and will apply for

the temporary closure of on-street parking spaces to accommodate the initial move-ins and future move-outs.

(3) The safeguards afforded to prevent noxious or offensive emissions such as noise, glare, dust and odor;

Noise will be generated during the construction phase of the Project. Construction noise is regulated by Article 29 of the San Francisco Police Code. Dust control is enforced by the Department of Building Inspection (under San Francisco Building Code, San Francisco Administrative Code, Chapter 1A) and the Department of Public Works. The Project Sponsor has stated that construction hours will be limited to Mondays through Fridays from 7 a.m. to 6 p.m., and on Saturdays from 8 a.m. to 5 p.m. All impact tools will be muffled to minimize noise during construction. During construction, the Project Sponsor and its contractor will water and sweep the Site and sidewalk to minimize release of dust and particulate matter into the air. On-site dust monitoring will be employed during demolition to make sure that proper watering and sweeping is done to protect surrounding residents, pedestrians, and others near the site.

Upon completion of the Project, the Project will not generate any offensive odor, noxious fumes, noise or dust.

(4) Treatment given, as appropriate, to such aspects as landscaping, screening, open spaces, parking and loading areas, service areas, lighting and signs; and

As a predominately mixed-use commercial and residential development, lighting in the evening will be mainly generated by interior lighting, according to the Project Sponsor. Exterior lighting of any signage will be governed by Article 6 of the Planning Code and will be reviewed by Department staff under separate permit application process. The Project will plant new street trees. The proposed sidewalk design will incorporate features of the Better Streets Plan, such as, permeable paving, planting strips between street trees, and bicycle racks.

C. Such use or feature as proposed will comply with the applicable provisions of this Code and will not adversely affect the General Plan.

The Project complies with all relevant requirements and standards of the Planning Code and is consistent with objectives and policies of the General Plan as detailed below.

D. Such use or feature as proposed will provide development that is in conformity with the stated purpose of the applicable Use District.

The proposed Project is consistent with the stated purposes of the Sacramento Street NCD in that the proposed mixed use development will provide new retail/commercial uses on the ground floor, replace the existing medical uses with new similar uses on the second floor, and create 18 new housing units on the third and fourth floors.

- 10. Planning Code Section 303(t) Findings Relating to Public Parking Garage. Section 303(t) establishes criteria, as applicable, for the Planning commission to consider when reviewing applications for non-accessory parking for a specific use or uses through the Conditional Use authorization process. On balance, the Project does comply with said criteria in that:
 - (a) Demonstration that trips to the use or uses to be served, and the apparent demand for additional parking, cannot be satisfied by the amount of parking classified by this Code as accessory, by transit service which exists or is likely to be provided in the foreseeable future, by car pool arrangements, by more efficient use of existing on-street and off-street parking available in the area, and by other means; mass and facade of the proposed structure are compatible with the existing scale of the district.

The Project replaces 78 existing, at-grade parking spaces, with 63 entirely below-grade spaces that will serve the building's businesses and customers, local merchants and their customers, and new residents in the Project. The 63 parking spaces are the minimum number of spaces required by Code. Thus, the Project will result in a decrease in parking spaces provided on-site; a net loss of 15 parking spaces. The Project Sponsor believes that visitors to the site will rely more on public transit, and other ride sharing alternatives. At the November 8, 2018 hearing, the Planning Commission directed the removal of one level of the underground parking, resulting in two levels of underground parking for the Project.

- (b) Demonstration that the apparent demand for additional parking cannot be satisfied by the provision by the applicant of one or more car-share parking spaces in addition to those that may already be required by Section <u>166</u> of this Code;
 - Not applicable. The Project is not required to provide any car share spaces; however, one will be provided on-site.
- (c) The absence of potential detrimental effects of the proposed parking upon the surrounding area, especially through unnecessary demolition of sound structures, contribution to traffic congestion, or disruption of or conflict with transit services, walking, and cycling;
 - The Project will remove an existing parking garage that is not well-designed to contemporary standards. In its place, the Project will provide a three-level underground parking garage that will operate with pedestrian and cyclist safety features, such as secured bicycle parking spaces; a warning bell, and a strobe light. At the November 8, 2018 hearing, the Planning Commission directed the removal of one level of the underground parking, resulting in two levels of underground parking for the Project.
- (d) In the case of uses other than housing, limitation of the proposed parking to short-term occupancy by visitors rather than long-term occupancy by employees; and

The non-residential parking spaces will be limited to short term, paid parking. At the November 8, 2018 hearing, the Planning Commission directed the removal of one level of the underground parking, resulting in two levels of underground parking for the Project.

(e) Availability of the proposed parking to the general public at times when such parking is not needed to serve the use or uses for which it is primarily intended.

The non-residential parking spaces will be available to the general public for use by other neighborhood merchants and businesses. At the November 8, 2018 hearing, the Planning Commission directed the removal of one level of the underground parking, resulting in two levels of underground parking for the Project.

11. **General Plan Compliance.** The Project is, on balance, consistent with the following Objectives and Policies of the General Plan:

HOUSING ELEMENT

Objectives and Policies

OBJECTIVE 1:

IDENTIFY AND MAKE AVAILABLE FOR DEVELOPMENT ADEQUATE SITES TO MEET THE CITY'S HOUSING NEEDS, ESPECIALLY PERMANENTLY AFFORDABLE HOUSING.

OBJECTIVE 4:

FOSTER A HOUSING STOCK THAT MEETS THE NEEDS OF ALL RESIDENTS ACROSS LIFECYCLES.

Policy 4.1

Develop new housing, and encourage the remodeling of existing housing, for families with children.

OBJECTIVE 11:

SUPPORT AND RESPECT THE DIVERSE AND DISTINCT CHARACTER OF SAN FRANCISCO'S NEIGHBORHOODS.

Policy 11.1

Promote the construction and rehabilitation of well-designed housing that emphasizes beauty, flexibility, and innovative design, and respects existing neighborhood character.

Policy 11.3

Ensure growth is accommodated without substantially and adversely impacting existing residential neighborhood character.

OBJECTIVE 12:

BALANCE HOUSING GROWTH WITH ADEQUATE INFRASTRUCTURE THAT SERVES THE CITY'S GROWING POPULATION.

COMMERCE AND INDUSTRY ELEMENT

Objectives and Policies

OBJECTIVE 1:

MANAGE ECONOMIC GROWTH AND CHANGE TO ENSURE ENHANCEMENT OF THE TOTAL CITY LIVING AND WORKING ENVIRONMENT.

Policy 1.3

Locate commercial and industrial activities according to a generalized commercial and industrial land use plan.

OBJECTIVE 2:

MAINTAIN AND ENHANCE A SOUND AND DIVERSE ECONOMIC BASE AND FISCAL STRUCTURE FOR THE CITY.

Policy 2.1

Seek to retain existing commercial and industrial activity and to attract new such activity to the city.

OBJECTIVE 6:

MAINTAIN AND STRENGTHEN VIABLE NEIGHBORHOOD COMMERCIAL AREAS EASILY ACCESSIBLE TO CITY RESIDENTS.

Policy 6.1

Ensure and encourage the retention and provision of neighborhood-serving goods and services in the city's neighborhood commercial districts, while recognizing and encouraging diversity among the districts the construction and rehabilitation of well-designed housing that emphasizes beauty.

Policy 6.2

Promote economically vital neighborhood commercial districts which foster small business enterprises and entrepreneurship and which are responsive to economic and technological innovation in the marketplace and society.

Policy 6.3

Preserve and promote the mixed commercial-residential character in neighborhood commercial districts. Strike a balance between the preservation of existing affordable housing and needed expansion of commercial activity.

Policy 6.4

Encourage the location of neighborhood shopping areas throughout the city so that essential retail goods and personal services are accessible to all residents.

Policy 6.7

Promote high quality urban design on commercial streets.

Policy 6.9

Regulate uses so that traffic impacts and parking problems are minimized.

URBAN DESIGN ELEMENT

Objectives and Policies

OBJECTIVE 1:

EMPHASIS OF THE CHARACTERISTIC PATTERN WHICH GIVES TO THE CITY AND ITS NEIGHBORHOODS AN IMAGE, A SENSE OF PURPOSE, AND A MEANS OF ORIENTATION.

Policy 1.3

Recognize that buildings, when seen together, produce a total effect that characterizes the city and its districts.

OBJECTIVE 3:

MODERATION OF MAJOR NEW DEVELOPMENT TO COMPLEMENT THE CITY PATTERN, THE RESOURCES TO BE CONSERVED, AND THE NEIGHBORHOOD ENVIRONMENT.

Policy 3.1

Promote harmony in the visual relationships and transitions between new and older buildings.

Policy 3.2

Avoid extreme contrasts in color, shape and other characteristics which will cause new buildings to stand out in excess of their public importance.

Policy 3.5

Relate the height of buildings to important attributes of the city pattern and to the height and character of existing development.

Policy 3.6

Relate the bulk of buildings to the prevailing scale of development to avoid an overwhelming or dominating appearance in new construction.

OBJECTIVE 4:

IMPROVEMENT OF THE NEIGHBORHOOD ENVIRONMENT TO INCREASE PERSONAL SAFETY, COMFORT, PRIDE AND OPPORTUNITY.

Policy 4.4

Design walkways and parking facilities to minimize danger to pedestrians.

Policy 4.12

Install, promote and maintain landscaping in public and private areas.

TRANSPORTATAION ELEMENT

OBJECTIVE 1:

MEET THE NEEDS OF ALL RESIDENTS AND VISITORS FOR SAFE, CONVENIENT AND INEXPENSIVE TRAVEL WITHIN SAN FRANCISCO AND BETWEEN THE CITY AND OTHER PARTS OF THE REGION WHILE MAINTAINING THE HIGH QUALITY LIVING ENVIRONMENT OF THE BAY AREA.

Policy 1.6

Ensure choices among modes of travel and accommodate each mode when and where it is most appropriate.

OBJECTIVE 2:

USE THE TRANSPORTATION SYSTEM AS A MEANS FOR GUIDING DEVELOPMENT AND IMPROVING THE ENVIRONMENT.

OBJECTIVE 11:

MAINTAIN PUBLIC TRANSIT AS THE PRIMARY MODE OF TRANSPORTATION IN SAN FRANCISCO AND AS A MEANS THROUGH WHICH TO GUIDE FUTURE DEVELOPMENT AND IMPROVE REGIONAL MOBILITY AND AIR QUALITY.

OBJECTIVE 24:

IMPROVE THE AMBIENCE OF THE PEDESTRIAN ENVIRONMENT.

Policy 24.2

Maintain and expand the planting of street trees and the infrastructure to support them.

Policy 24.4

Preserve pedestrian-oriented building frontages.

OBJECTIVE 28:

PROVIDE SECURE AND CONVENIENT PARKING FACILITIES FOR BICYCLES.

Policy 28.1

Provide secure bicycle parking in new governmental, commercial, and residential developments.

Policy 28.3

Provide parking facilities which are safe, secure, and convenient.

OBJECTIVE 34:

RELATE THE AMOUNT OF PARKING IN RESIDENTIAL AREAS AND NEIGHBORHOOD COMMERCIAL DISTRICTS TO THE CAPACITY OF THE CITY'S STREET SYSTEM AND LAND USE PATTERNS.

Policy 34.1

Regulate off-street parking in new housing so as to guarantee needed spaces without requiring excesses and to encourage low auto ownership in neighborhoods that are well-served by transit and are convenient to neighborhood shopping.

Policy 34.3

Permit minimal or reduced off-street parking supply for new buildings in residential and commercial areas adjacent to transit centers and along transit preferential streets.

Policy 34.5

Minimize the construction of new curb cuts in areas where on-street parking is in short supply and locate them in a manner such that they retain or minimally diminish the number of existing on-street parking spaces.

OBJECTIVE 35:

MEET SHORT-TERM PARKING NEEDS IN NEIGHBORHOOD SHOPPING DISTRICTS CONSISTENT WITH PRESERVATION OF A DESIRABLE ENVIRONMENT FOR PEDESTRIANS AND RESIDENTS.

Policy 35.2

Assure that new neighborhood shopping district parking facilities and other auto-oriented uses meet established guidelines.

The Project is a four-story, mixed use development, consisting of ground floor retail/commercial space, medical/ dental offices on the second floor, and 18 new dwelling units on the upper floors. The proposed Project includes a dwelling unit mix consisting of 12 two-bedroom units, and 6 one-bedroom units. The Project also proposes 64 off-street parking spaces on three below-grade levels consisting of 45 short-term public parking spaces on the first and second levels (13 retail spaces and 32 medical spaces), 18 residential parking spaces on the third level, and one car share space. The garage would also provide 21 Class 1 bicycle parking spaces and 14 Class 2 bicycle parking spaces on Sacramento Street. The Project will no longer provide three levels of underground parking, as originally proposed. At the November 8, 2018 hearing, the Planning Commission directed the removal of one level of the underground parking, resulting in two levels of underground parking for the Project.

Overall, the Project features an appropriate use encouraged by the NC District for this location. The Project introduces a contemporary architectural vocabulary that is sensitive to the prevailing scale and neighborhood fabric. The Project provides for a high quality designed exterior, which features a variety of materials, colors and textures. The Project provides ample useable open space and improves the public

rights of way with new street trees and landscaping. On balance, the Project is consistent with the Objectives and Policies of the General Plan.

- 12. **Planning Code Section 101.1(b)** establishes eight priority-planning policies and requires review of permits for consistency with said policies. On balance, the project complies with said policies in that:
 - A. That existing neighborhood-serving retail uses be preserved and enhanced and future opportunities for resident employment in and ownership of such businesses be enhanced.

There are no existing retail uses at the Site. The Project will enhance the district by providing new retail/commercial uses, providing opportunities for local resident employment in and/or ownership of such businesses.

B. That existing housing and neighborhood character be conserved and protected in order to preserve the cultural and economic diversity of our neighborhoods.

The existing housing in the surrounding neighborhood would not be affected. There are no existing dwelling units on the site. The Project proposes to add 18 new dwelling units to the City's housing stock. The Project reflects the mix of residential and retail uses in the area.

C. That the City's supply of affordable housing be preserved and enhanced,

There are no existing dwelling units on the site. The Project proposes to add 18 new dwelling units. The Project will satisfy the inclusionary housing requirement through payment of the in-lieu fee, in an amount to be established by the Mayor's Office of Housing and Community Development.

D. That commuter traffic not impede MUNI transit service or overburden our streets or neighborhood parking.

The Project will provide 64 off-street parking spaces, including one car share parking space. The onsite parking spaces would reduce the burden on local streets and neighborhood parking. The Site is well-served by nearby public transportation options. The Project also provides sufficient bicycle parking spaces for its residents and proposed retail/commercial/medical uses. At the November 8, 2018 hearing, the Planning Commission directed the removal of one level of the underground parking, resulting in two levels of underground parking for the Project.

E. That a diverse economic base be maintained by protecting our industrial and service sectors from displacement due to commercial office development, and that future opportunities for resident employment and ownership in these sectors be enhanced.

The Project does not include commercial office development. The Project will not affect industrial or service sector uses or related employment opportunities. Ownership of industrial or service sector businesses will not be affected by this Project.

F. That the City achieve the greatest possible preparedness to protect against injury and loss of life in an earthquake.

The Project will be designed and constructed to conform to the structural and seismic safety requirements of the Building and Fire Code requirements.

G. That landmarks and historic buildings be preserved.

Currently, the Project Site does not contain any City Landmarks or historic buildings.

H. That our parks and open space and their access to sunlight and vistas be protected from development.

The Project will not affect sunlight access to any public parks or open space. The Project proposes a building 40 feet in height.

- 13. The Project is consistent with and would promote the general and specific purposes of the Code provided under Section 101.1(b) in that, as designed, the Project would contribute to the character and stability of the neighborhood and would constitute a beneficial development.
- 14. The Commission hereby finds that approval of the Conditional Use Authorization would promote the health, safety and welfare of the City.

DECISION

That based upon the Record, the submissions by the Applicant, the staff of the Department and other interested parties, the oral testimony presented to this Commission at the public hearings, and all other written materials submitted by all parties, the Commission hereby **APPROVES Conditional Use Authorization Application No. 2007.1347CUA** subject to the following conditions attached hereto as "EXHIBIT A" in general conformance with plans on file, dated September 24, 2018 and labeled "EXHIBIT B", which is incorporated herein by reference as though fully set forth.

APPEAL AND EFFECTIVE DATE OF MOTION: Any aggrieved person may appeal this Conditional Use Authorization to the Board of Supervisors within thirty (30) days after the date of this Motion. The effective date of this Motion shall be the date of this Motion if not appealed (after the 30-day period has expired) OR the date of the decision of the Board of Supervisors if appealed to the Board of Supervisors. For further information, please contact the Board of Supervisors at (415) 554-5184, City Hall, Room 244, 1 Dr. Carlton B. Goodlett Place, San Francisco, CA 94102.

Protest of Fee or Exaction: You may protest any fee or exaction subject to Government Code Section 66000 that is imposed as a condition of approval by following the procedures set forth in Government Code Section 66020. The protest must satisfy the requirements of Government Code Section 66020(a) and must be filed within 90 days of the date of the first approval or conditional approval of the development referencing the challenged fee or exaction. For purposes of Government Code Section 66020, the date of imposition of the fee shall be the date of the earliest discretionary approval by the City of the subject development.

If the City has not previously given Notice of an earlier discretionary approval of the project, the Planning Commission's adoption of this Motion, Resolution, Discretionary Review Action or the Zoning Administrator's Variance Decision Letter constitutes the approval or conditional approval of the development and the City hereby gives **NOTICE** that the 90-day protest period under Government Code Section 66020 has begun. If the City has already given Notice that the 90-day approval period has begun for the subject development, then this document does not re-commence the 90-day approval period.

I hereby entify that the Planning Commission ADOPTED the foregoing Motion on November 8, 2018.

Christine L. Silva

Acting Commission Secretary

AYES:

Hillis, Fong, Johnson, Koppel

NAYS:

Melgar, Richards

ABSENT:

Moore

ADOPTED:

November 8, 2018

EXHIBIT A

AUTHORIZATION

This authorization is for a Conditional Use to allow a mixed use development located at 3637-3657 Sacramento Street, Assessor's Block 1018, Lots 012 and 020 pursuant to Planning Code Sections 102, 121.1, 121.2, 303 AND 724 within the Sacramento Street Neighborhood Commercial District and a 40-X Height and Bulk District; in general conformance with plans, dated September 24, 2018, and labeled "EXHIBIT B" included in the docket for Record No. 2007.1347CUA and subject to Conditions of Approval reviewed and approved by the Commission on November 8, 2018 under Motion No. 20336. This authorization and the conditions contained herein run with the property and not with a particular Project Sponsor, business, or operator.

RECORDATION OF CONDITIONS OF APPROVAL

Prior to the issuance of the Site or Building Permit or commencement of use for the Project, the Zoning Administrator shall approve and order the recordation of a Notice in the Official Records of the Recorder of the City and County of San Francisco for the subject property. This Notice shall state that the Project is subject to the Conditions of Approval contained herein and reviewed and approved by the Planning Commission on November 8, 2018 under Motion No. 20336.

PRINTING OF CONDITIONS OF APPROVAL ON PLANS

The Conditions of Approval under the 'Exhibit A' of this Planning Commission Motion No. 20336 shall be reproduced on the Index Sheet of construction plans submitted with the Site or Building Permit application for the Project. The Index Sheet of the construction plans shall reference to the Conditional Use authorization and any subsequent amendments or modifications.

SEVERABILITY

The Project shall comply with all applicable City codes and requirements. If any clause, sentence, section or any part of these Conditions of Approval is for any reason held to be invalid, such invalidity shall not affect or impair other remaining clauses, sentences, or sections of these conditions. This decision conveys no right to construct, or to receive a Building Permit. Project Sponsor shall include any subsequent responsible party.

CHANGES AND MODIFICATIONS

Changes to the approved plans may be approved administratively by the Zoning Administrator. Significant changes and modifications of conditions shall require Planning Commission approval of a new Conditional Use authorization.

Conditions of Approval, Compliance, Monitoring, and Reporting PERFORMANCE

1. Validity. The authorization and right vested by virtue of this action is valid for three (3) years from the effective date of the Motion. The Department of Building Inspection shall have issued a Building Permit or Site Permit to construct the Project and/or commence the approved use within this three-year period.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

2. Expiration and Renewal. Should a Building or Site Permit be sought after the three (3) year period has lapsed, the Project Sponsor must seek a renewal of this Authorization by filing an application for an amendment to the original Authorization or a new application for Authorization. Should the Project Sponsor decline to so file, and decline to withdraw the permit application, the Commission shall conduct a public hearing in order to consider the revocation of the Authorization. Should the Commission not revoke the Authorization following the closure of the public hearing, the Commission shall determine the extension of time for the continued validity of the Authorization.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

3. Diligent pursuit. Once a Site Permit or Building Permit has been issued, construction must commence within the timeframe required by the Department of Building Inspection and be continued diligently to completion. Failure to do so shall be grounds for the Commission to consider revoking the approval if more than three (3) years have passed since this Authorization was approved.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

4. Extension. All time limits in the preceding three paragraphs may be extended at the discretion of the Zoning Administrator where implementation of the Project is delayed by a public agency, an appeal or a legal challenge and only by the length of time for which such public agency, appeal or challenge has caused delay.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

Conformity with Current Law. No application for Building Permit, Site Permit, or other
entitlement shall be approved unless it complies with all applicable provisions of City Codes in
effect at the time of such approval.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

DESIGN - COMPLIANCE AT PLAN STAGE

- 6. Below-Grade/Underground Parking Garage. The Project Sponsor shall provide a two-level underground parking garage, not three levels as originally proposed. The Project Sponsor shall work with Planning Department on the final design for the garage.
 For information about compliance, contact the Case Planner, Planning Department at 415-558-6378, www.sf-planning.org
- 7. **Final Materials.** The Project Sponsor shall continue to work with Planning Department on the building design. Final materials, glazing, color, texture, landscaping, and detailing shall be subject to Department staff review and approval. The architectural addenda shall be reviewed and approved by the Planning Department prior to issuance.

 For information about compliance, contact the Case Planner, Planning Department at 415-558-6378, www.sf-planning.org
- 8. Garbage, composting and recycling storage. Space for the collection and storage of garbage, composting, and recycling shall be provided within enclosed areas on the property and clearly labeled and illustrated on the building permit plans. Space for the collection and storage of recyclable and compostable materials that meets the size, location, accessibility and other standards specified by the San Francisco Recycling Program shall be provided at the ground level of the buildings.
 For information about compliance, contact the Case Planner, Planning Department at 415-558-6378,

For information about compliance, contact the Case Planner, Planning Department at 415-558-6378, www.sf-planning.org

- 9. Rooftop Mechanical Equipment. Pursuant to Planning Code 141, the Project Sponsor shall submit a roof plan to the Planning Department prior to Planning approval of the building permit application. Rooftop mechanical equipment, if any is proposed as part of the Project, is required to be screened so as not to be visible from any point at or below the roof level of the subject building.
 - For information about compliance, contact the Case Planner, Planning Department at 415-558-6378, www.sf-planning.org
- 10. Streetscape Plan. Pursuant to Planning Code Section 138.1, the Project Sponsor shall continue to work with Planning Department staff, in consultation with other City agencies, to refine the design and programming of the Streetscape Plan so that the plan generally meets the standards of the Better Streets Plan and all applicable City standards. The Project Sponsor shall complete final design of all required street improvements, including procurement of relevant City permits, prior to issuance of first architectural addenda, and shall complete construction of all required street improvements prior to issuance of first temporary certificate of occupancy.

 For information about compliance, contact the Case Planner, Planning Department at 415-558-6378, www.sf-planning.org
- 11. Transformer Vault. The location of individual project PG&E Transformer Vault installations has significant effects to San Francisco streetscapes when improperly located. However, they may

not have any impact if they are installed in preferred locations. Therefore, the Planning Department recommends the following preference schedule in locating new transformer vaults, in order of most to least desirable:

- A. On-site, in a basement area accessed via a garage or other access point without use of separate doors on a ground floor façade facing a public right-of-way;
- B. On-site, in a driveway, underground;
- C. On-site, above ground, screened from view, other than a ground floor façade facing a public right-of-way;
- D. Public right-of-way, underground, under sidewalks with a minimum width of 12 feet, avoiding effects on streetscape elements, such as street trees; and based on Better Streets Plan guidelines;
- E. Public right-of-way, underground; and based on Better Streets Plan guidelines;
- F. Public right-of-way, above ground, screened from view; and based on Better Streets Plan guidelines;
- G. On-site, in a ground floor façade (the least desirable location).

Unless otherwise specified by the Planning Department, Department of Public Work's Bureau of Street Use and Mapping (DPW BSM) should use this preference schedule for all new transformer vault installation requests.

For information about compliance, contact Bureau of Street Use and Mapping, Department of Public Works at 415-554-5810, http://sfdpw.org

12. **Overhead Wiring.** The Property Owner will allow MUNI to install eyebolts in the building adjacent to its electric streetcar line to support its overhead wire system if requested by MUNI or MTA.

For information about compliance, contact San Francisco Municipal Railway (Muni), San Francisco Municipal Transit Agency (SFMTA), at 415-701-4500, www.sfmta.org

PARKING AND TRAFFIC

13. Transportation Demand Management (TDM) Program. Pursuant to Planning Code Section 169, the Project shall finalize a TDM Plan prior to the issuance of the first Building Permit or Site Permit to construct the Project and/or commence the approved uses. The Property Owner, and all successors, shall ensure ongoing compliance with the TDM Program for the life of the Project, which may include providing a TDM Coordinator, providing access to City staff for site inspections, submitting appropriate documentation, paying application fees associated with required monitoring and reporting, and other actions.

Prior to the issuance of the first Building Permit or Site Permit, the Zoning Administrator shall approve and order the recordation of a Notice in the Official Records of the Recorder of the City and County of San Francisco for the subject property to document compliance with the TDM Program. This Notice shall provide the finalized TDM Plan for the Project, including the relevant details associated with each TDM measure included in the Plan, as well as associated monitoring, reporting, and compliance requirements.

For information about compliance, contact the TDM Performance Manager at <u>tdm@sfgov.org</u> or 415-558-6377, <u>www.sf-planning.org</u>.

14. Bicycle Parking (Non-Residential Only). Pursuant to Planning Code Section 155.2, the Project shall provide no fewer than 16 bicycle parking spaces (3 Class 1 and 13 Class 2 bicycle parking spaces). SFMTA has final authority on the type, placement and number of Class 2 bicycle racks within the public ROW. Prior to issuance of first architectural addenda, the project sponsor shall contact the SFMTA Bike Parking Program at bikeparking@sfmta.com to coordinate the installation of on-street bicycle racks and ensure that the proposed bicycle racks meet the SFMTA's bicycle parking guidelines. Depending on local site conditions and anticipated demand, SFMTA may request the project sponsor pay an in-lieu fee for Class II bike racks required by the Planning Code.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

15. **Bicycle Parking (Residential Only).** The Project shall provide no fewer than 19 bicycle parking spaces (18 Class 1 and 1 Class 2 bicycle parking spaces) as required by Planning Code Section 155.2.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

- 16. Parking Requirement. Pursuant to Planning Code Section 151, the Project shall provide 63 off-street parking spaces (18 for residential, 13 for retail/commercial and 32 for medical offices). At the November 8, 2018 hearing, the Planning Commission directed the removal of one level of the underground parking, resulting in two levels of underground parking for the Project.

 For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org
- 17. Managing Traffic During Construction. The Project Sponsor and construction contractor(s) shall coordinate with the Traffic Engineering and Transit Divisions of the San Francisco Municipal Transportation Agency (SFMTA), the Police Department, the Fire Department, the Planning Department, and other construction contractor(s) for any concurrent nearby Projects to manage traffic congestion and pedestrian circulation effects during construction of the Project. For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

PROVISIONS

18. **Anti-Discriminatory Housing.** The Project shall adhere to the requirements of the Anti-Discriminatory Housing policy, pursuant to Administrative Code Section 1.61. For information about compliance, contact the Case Planner, Planning Department at 415-558-6378, www.sf-planning.org

- 19. **First Source Hiring.** The Project shall adhere to the requirements of the First Source Hiring Construction and End-Use Employment Program approved by the First Source Hiring Administrator, pursuant to Section 83.4(m) of the Administrative Code. The Project Sponsor shall comply with the requirements of this Program regarding construction work and on-going employment required for the Project.
 - For information about compliance, contact the First Source Hiring Manager at 415-581-2335, www.onestopSF.org
- 20. Transportation Sustainability Fee. The Project is subject to the Transportation Sustainability Fee (TSF), as applicable, pursuant to Planning Code Section 411A.
 For information about compliance, contact the Case Planner, Planning Department at 415-558-6378, www.sf-planning.org
- 21. Child Care Fee Residential. The Project is subject to the Residential Child Care Fee, as applicable, pursuant to Planning Code Section 414A.

 For information about compliance, contact the Case Planner, Planning Department at 415-558-6378, www.sf-planning.org
- 22. Inclusionary Affordable Housing Program. The following Inclusionary Affordable Housing Requirements are those in effect at the time of Planning Commission action. In the event that the requirements change, the Project Sponsor shall comply with the requirements in place at the time of issuance of first construction document.
 - 1. Requirement. Pursuant to Planning Code Section 415.5, the Project Sponsor must pay an Affordable Housing Fee at a rate equivalent to the applicable percentage of the number of units in an off-site project needed to satisfy the Inclusionary Affordable Housing Program Requirement for the principal project. The applicable percentage for this Project is 20 percent (20%). The Project Sponsor shall pay the applicable Affordable Housing Fee at the time such Fee is required to be paid.

 For information about compliance, contact the Case Planner, Planning Department at 415-558-6378, where of planning organs are the Mayor's Office of Housing and Community Department at 415-701-
 - For information about compliance, contact the Case Planner, Planning Department at 415-558-6378, www.sf-planning.org or the Mayor's Office of Housing and Community Development at 415-701-5500, www.sf-moh.org.
 - 2. Other Conditions. The Project is subject to the requirements of the Inclusionary Affordable Housing Program under Section 415 et seq. of the Planning Code and the terms of the City and County of San Francisco Inclusionary Affordable Housing Program Monitoring and Procedures Manual ("Procedures Manual"). The Procedures Manual, as amended from time to time, is incorporated herein by reference, as published and adopted by the Planning Commission, and as required by Planning Code Section 415. Terms used in these conditions of approval and not otherwise defined shall have the meanings set forth in the Procedures Manual. A copy of the Procedures Manual can be obtained at the Mayor's Office of Housing and Community Development ("MOHCD") at 1 South Van Ness Avenue or on the Planning Department or Mayor's Office of Housing and Community Development's websites, including on the internet at:

http://sf-planning.org/Modules/ShowDocument.aspx?documentid=4451.

As provided in the Inclusionary Affordable Housing Program, the applicable Procedures Manual is the manual in effect at the time the subject units are made available for sale or rent. For information about compliance, contact the Case Planner, Planning Department at 415-558-6378, www.sf-planning.org or the Mayor's Office of Housing and Community Development at 415-701-5500, www.sf-moh.org.

- a. The Project Sponsor must pay the Fee in full sum to the Development Fee Collection Unit at the DBI for use by MOHCD prior to the issuance of the first construction document.
- b. Prior to the issuance of the first construction permit by the DBI for the Project, the Project Sponsor shall record a Notice of Special Restriction on the property that records a copy of this approval. The Project Sponsor shall promptly provide a copy of the recorded Notice of Special Restriction to the Department and to MOHCD or its successor.
- c. If Project applicant fails to comply with the Inclusionary Affordable Housing Program requirement, the Director of DBI shall deny any and all site or building permits or certificates of occupancy for the development project until the Planning Department notifies the Director of compliance. A Project Sponsor's failure to comply with the requirements of Planning Code Sections 415 et seq. shall constitute cause for the City to record a lien against the development project and to pursue any and all other remedies at law.

MONITORING - AFTER ENTITLEMENT

- 23. Enforcement. Violation of any of the Planning Department conditions of approval contained in this Motion or of any other provisions of Planning Code applicable to this Project shall be subject to the enforcement procedures and administrative penalties set forth under Planning Code Section 176 or Section 176.1. The Planning Department may also refer the violation complaints to other city departments and agencies for appropriate enforcement action under their jurisdiction. For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org
- 24. Revocation due to Violation of Conditions. Should implementation of this Project result in complaints from interested property owners, residents, or commercial lessees which are not resolved by the Project Sponsor and found to be in violation of the Planning Code and/or the specific conditions of approval for the Project as set forth in Exhibit A of this Motion, the Zoning Administrator shall refer such complaints to the Commission, after which it may hold a public hearing on the matter to consider revocation of this authorization.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

OPERATION

- 25. Sidewalk Maintenance. The Project Sponsor shall maintain the main entrance to the building and all sidewalks abutting the subject property in a clean and sanitary condition in compliance with the Department of Public Works Streets and Sidewalk Maintenance Standards.
 For information about compliance, contact Bureau of Street Use and Mapping, Department of Public Works, 415-695-2017, http://sfdpw.org
- 26. Community Liaison. Prior to issuance of a building permit to construct the project and implement the approved use, the Project Sponsor shall appoint a community liaison officer to deal with the issues of concern to owners and occupants of nearby properties. The Project Sponsor shall provide the Zoning Administrator and all registered neighborhood groups for the area with written notice of the name, business address, and telephone number of the community liaison. Should the contact information change, the Zoning Administrator and registered neighborhood groups shall be made aware of such change. The community liaison shall report to the Zoning Administrator what issues, if any, are of concern to the community and what issues have not been resolved by the Project Sponsor.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

- 27. **Lighting.** All Project lighting shall be directed onto the Project site and immediately surrounding sidewalk area only, and designed and managed so as not to be a nuisance to adjacent residents. Nighttime lighting shall be the minimum necessary to ensure safety, but shall in no case be directed so as to constitute a nuisance to any surrounding property.
 - For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org



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Sacramento Street

Mixed-Use Condominium Project

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GARY G E E $\mathbf{A} \cdot \mathbf{I} \cdot \mathbf{A}$

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Project No. 07-018

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EXHIBIT B

Cover Sheet

A0.0

3637 SACRAMENTO STREET - STREET VIEW



PROJECT DESCRIPTION

PROPOSED DEMOLITION OF EXISTING BUILDINGS.

PROPOSED NEW CONSTRUCTION OF FOUR-STORY MIXED-USE DEVELOPMENT WITH GROUND FLOOR AND SECOND FLOOR COMMERCIAL USE AND 18 RESIDENTIAL CONDOMINIUM UNITS ON THIRD AND FOURTH FLOORS, ALL OVER A THREE LEVEL BASEMENT PARKING GARAGE.

PROJECT INFORMATION

3637 - 3657 SACRAMENTO STREET ADDRESS:

SAN FRANCISCO, CA 94118

BLOCK / LOT: 1018 / 12 & 20

LOT AREA: 14,585.34 SQ. FT.

ZONING: SACRAMENTO NCD

HEIGHT/ BULK: 40-X

PROPOSED 40'-0"

SETBACKS: FRONT:

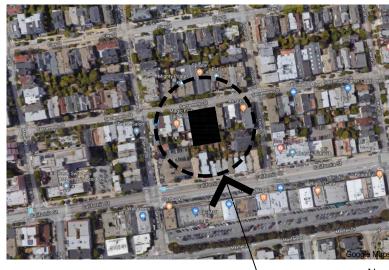
REAR: 25% REAR YARD AT GRADE

F.A.R.: 1.8 TO 1

PROPOSED 1.13 FOR COMMERCIAL

GROSS FLOOR AREA

LOCATION MAP



PROJECT SITE



DRAWING INDEX

A0.0 **COVER SHEET**

A0.1 PROJECT INFORMATION PLANNING INFORMATION A0.2a

PLANNING DEPARTMENT NOTES A0.2b

A0.2c PLANNING DEPARTMENT NOTES

SITE SURVEY

A0.2d **EXISTING BLOCK DIAGRAM**

A0.2e **BLOCK DIAGRAM**

A0.2f STREET PARKING DIAGRAMS

A1.1 **EXISTING SITE PLAN**

EXISTING AS-BUILT DRAWINGS: 3637 SACRAMENTO ST. EX1.0 EXISTING AS-BUILT DRAWINGS: 3641 SACRAMENTO ST. EX2.0

EX3.0 EXISTING AS-BUILT DRAWINGS: 3657 SACRAMENTO ST.

A1.2 SITE PLAN

BASEMENT PARKING LEVEL P3 FLOOR PLAN A2.1

BASEMENT PARKING LEVEL P2 FLOOR PLAN A2.2 BASEMENT PARKING LEVEL P1 FLOOR PLAN A2.3

A2.4 **GROUND LEVEL FLOOR PLAN**

A2.5 SECOND LEVEL FLOOR PLAN

A2.6 THIRD LEVEL FLOOR PLAN

A2.7 FOURTH LEVEL FLOOR PLAN

A2.8 **ROOF PLAN**

A2.9 PENTHOUSE ROOF PLAN

R1 SACRAMENTO STREET VIEW

A3.1 **EXTERIOR ELEVATION**

R2 SACRAMENTO STREET COMMERCIAL STOREFRONT VIEW

A3.1d **ELEVATION STUDY**

A3.2 **EXTERIOR ELEVATION**

A3.3 **EXTERIOR ELEVATION**

A3.4 **EXTERIOR ELEVATION**

A4.1 **BUILDING SECTION**

A4.2 **BUILDING SECTION**

BUILDING SECTION A4.3 ARCHITECTURAL PROFILES A9.1

CONCEPTUAL LANDSCAPE PLAN

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Project Information

Scale: None

A0.1

OPEN SPACE, 18 RESIDENTIAL UNITS:

REQUIRED: 100 SQ.FT. PER UNIT IF PRIVATE USABLE OPEN SPACE OR

100 SQ.FT. x 1.33 PER UNIT IF COMMON USABLE OPEN SPACE

COMMON OPEN SPACE:

18 UNITS X 133 SQ.FT. = 2,394 SQ.FT. REQUIRED

PROVIDED: COMMON OPEN SPACE AT REAR YARD = 2,734 SQ.FT.

PRIVATE DECK AT UNIT 401 = 53 SQ.FT.

OFF-STREET AUTOMOBILE PARKING:

	ACCESSIBLE	STANDARD	COMPACT	CAR-SHARE***	TOTAL
PARKING LEVEL P1	1	10	9	1***	20***
PARKING LEVEL P2	1	13	8	0	22
PARKING LEVEL P3	1	18	2	0	21
TOTAL PARKING PROVIDED	3	41	19	1***	63***

IN / OUT PAID SHORT-TERM PARKING PROVIDED ON PARKING LEVELS P1, P2 AND P3:

RESIDENTIAL PARKING PROVIDED ON PARKING LEVEL P3:

TOTAL PARKING PROVIDED:

63 SPACES

45 SPACES

18 SPACES

BICYCLE PARKING:

	CLASS 1	CLASS 2	TOTAL
SIDEWALK	0	7 RACKS	14
PARKING LEVEL P1 LOCKABLE ENCLOSURE	3 LOCKERS	0	3
PARKING LEVEL P3 LOCKABLE ENCLOSURE	18 RACKS	0	18
TOTAL BICYCLE PARKING PROVIDED	21	14	35

NOTE: EACH CLASS 2 BICYCLE RACK ACCOMMODATES 2 BICYCLES.

COMMERCIAL BICYCLE PARKING PROVIDED ON

SIDEWALK AND PARKING LEVEL P1:

RESIDENTIAL BICYCLE PARKING PROVIDED ON

SIDEWALK AND PARKING LEVEL P3:

19 SPACES

16 SPACES

TOTAL BICYCLE PARKING PROVIDED:

35 SPACES

- * OCCUPIED FLOOR AREA IS DEFINED PER PLANNING CODE SECTION 102.9 AS GROSS FLOOR AREA MINUS NON-ACCESSORY PARKING, DRIVEWAY AND MANUEVERING AREAS, EXTERIOR WALLS, MECHANICAL EQUIPMENT. APPURTANCES AND AREAS NECESSARY TO THE OPERATION OR MAINTENANCE OF THE BUILDING, TENANT STORAGE SPACE.
- ** PLANNING CODE SECTION 102.9 DEFINITION EXCLUDES FROM GROSS FLOOR AREA CALCULATIONS: BASEMENT SPACE USED FOR STORAGE OR SERVICES NECESSARY TO THE OPERATION OR MAINTENANCE OF THE BUILDING; PARKING IN BASEMENT; BICYCLE PARKING; ROOF LEVEL STAIR, ELEVATOR AND MECHANICAL PENTHOUSES.
- *** CAR-SHARE SPACE NOT INCLUDED IN TOTAL PARKING SPACE COUNT; SERVICE VEHICLE LOADING NOT INCLUDED IN TOTAL PARKING SPACE COUNT

BUILDING AREA CALCULATIONS (Per Planning):

AREA TABULATION BY FLOOR / USE	OCCUPIED AREA *	GROSS FLOOR AREA BY USE **	GROSS FLOOR AREA BY FLOOR **
BASEMENT PARKING LEVEL P3			2,758 SQ.FT.
RESIDENTIAL STORAGE, LOBBY, CIRCULATION		2,758 SQ.FT.	
BASEMENT PARKING LEVEL P2			1,715 SQ.FT.
LOBBY, CIRCULATION		1,715 SQ.FT.	
BASEMENT PARKING LEVEL P1			1,985 SQ.FT.
LOBBY, CIRCULATION		1,985 SQ.FT.	
GROUND LEVEL			7,880 SQ.FT.
RETAIL USE	6,321 SQ.FT.	6,555 SQ.FT.	
LOBBY, CIRCULATION		1,325 SQ.FT.	
SECOND LEVEL			10,533 SQ.FT.
MEDICAL / DENTAL USE	9,574 SQ.FT.	9,976 SQ.FT.	
CIRCULATION		557 SQ.FT.	
THIRD LEVEL			10,183 SQ.FT.
9 RESIDENTIAL CONDOMINIUMS (3 - 1 BRs & 6 - 2 BRs)	7,977 SQ.FT.	8,596 SQ.FT.	
CIRCULATION		1,587 SQ.FT.	
FOURTH LEVEL			10,092 SQ.FT.
9 RESIDENTIAL CONDOMINIUMS (3 - 1 BRs & 6 - 2 BRs)	7,934 SQ.FT.	8,564 SQ.FT.	
CIRCULATION		1,528 SQ.FT.	
ROOF			77 SQ.FT.
ROOF PENTHOUSE CORRIDOR		77 SQ.FT.	
TOTAL OCCUPIED FLOOR AREA *	31,806 SQ.FT.*		
TOTAL GROSS FLOOR AREA **		45,223 SQ.FT.**	45,223 SQ.FT.**

**AREAS NOT INCLUDED IN GROSS FLOOR AREA CALCULATIONS:

BASEMENT PARKING GARAGE 33,180 SQ.FT. * OCCUPIED AREA BICYCLE PARKING 436 SQ.FT. * OCCUPIED AREA

BUILDING SERVICES 5,104 SQ.FT.

PROJECT SUMMARY TABLE	EXISTING USES	EXISTING USES TO BE RETAINED	NET NEW CONSTRUCTION	PROJECT TOTALS		
PROJECT FEATURES						
DWELLING UNITS			18	18		
HOTEL ROOMS						
PARKING SPACES	78		-15	63		
LOADING SPACES						
NUMBER OF BUILDINGS	3		-2	1		
HEIGHT OF BUILDING(S)	33'		7'	40'		
NUMBER OF STORIES	2 + BASEMENT		2 + BASEMENT	4 + BASEMENT		
BICYCLE SPACES			35	35		
	GROSS SQUARE F	OOTAGE (GSF)				
RESIDENTIAL			17,162 SQ.FT.	17,162 SQ.FT.		
RETAIL			6,555 SQ.FT.	6,555 SQ.FT.		
MEDICAL / DENTAL	13,138 SQ.FT.		-3,162 SQ.FT.	9,976 SQ.FT.		
OFFICE						
INDUSTRIAL / PDR						
PARKING	6,125 SQ.FT.		-6,125 SQ.FT.	0 SQ.FT.		
OTHER: COMMON AREA			11,530 SQ.FT.	11,530 SQ.FT.		
TOTAL 1	19,263 SQ.FT.		25,960 SQ.FT.	45,223 SQ.FT.		
AREAS NOT INCLUDED IN GROSS SQUARE FOOTAGE TOTALS						
PARKING, IN BASEMENT	6,125 SQ.FT.		27,055 SQ.FT.	33,180 SQ.FT.		
OTHER: BICYCLE PARKING			436 SQ.FT.	436 SQ.FT.		
OTHER: BUILDING SERVICES			5,104 SQ.FT.	5,104 SQ.FT.		
TOTAL 2	6,125 SQ.FT.		32,595 SQ.FT.	38,720 SQ.FT.		
GRAND TOTAL (TOTAL 1 + TOTAL 2)	25,388 SQ.FT.		58,555 SQ.FT.	83,943 SQ.FT.		

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April 28, 2017

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November 21, 2017 Additional Information Requested by Planning/EE

July 12, 2018 Revisions per Owner

September 24, 2018 Additional Information Requested by Planning

Planning Information

Scale: None

A0.2a

PLANNING CODE ANALYSIS TABLE

CODE SECTION	ZONING CATEGORY	REQUIRED / ALLOWED	PROVIDED / PROPOSED	COMMENTS	
SFPC MAP ZN03	ZONING MAP	SACRAMENTO STREET NCD	RESIDENTIAL AND COMMERCIAL USE		
SFPC 724	PERMITTED USE	PERMITTED RESIDENTIAL, COMMERCIAL USES	RESIDENTIAL AND COMMERCIAL USE; ACESSORY PARKING; COMMON USABLE OPEN SPACE (RESIDENTIAL)		Mi Sa
SFPC 724	HEIGHT AND BULK LIMIT	40 - X	40'-0" MAXIMUM HEIGHT TO ROOF, MEASURED FROM CENTERLINE OF PROPERTY		
SFPC 724; 121.1(b)	LOT SIZE	LOT AREA 5,000 SQ.FT. AND GREATER REQUIRES CONDITIONAL USE AUTHORIZATION	14,585.34 SQ.FT. LOT AREA	CONDITIONAL USE APPLICATION SUBMITTED PER SFPC 303(c) & 121.1(b)	G
SFPC 724; 121.2(a)	USE SIZE (NON-RESIDENTIAL)	PERMITTED UP TO 2,499 SQ.FT. GROSS FLOOR AREA FOR EACH INDIVIDUAL USE; CONDITIONAL USE REQUIRED 2,500 SQ.FT. AND ABOVE (SECTION 121.2 (a)) RETAIL: PERMITTED ON GROUND LEVEL, BUT EXCEEDS PERMITTED GROSS FLOOR AREA	GROUND LEVEL RETAIL: 6,555 SQ.FT. GROSS	CONDITIONAL USE APPLICATION SUBMITTED PER SFPC 303(c) & 121.2(a)	Pro (
		MEDICAL / DENTAL SERVICE: PERMITTED ON SECOND LEVEL AND ABOVE	SECOND LEVEL MEDICAL / DENTAL: 9,976 SQ.FT. GROSS		Re
SFPC 724	F.A.R.	1.8 TO 1 1.8 X 14,585.34 SQ.FT. = 26,253.612 SQ.FT. ALLOWABLE GROSS FLOOR AREA	RESIDENTIAL: F.A.R. DOES NOT APPLY TO RESIDENTIAL COMMERCIAL: 16,531 SQ.FT. / 14,585.34 SQ.FT. = 1.13 F.A.R.		F
SFPC 724	DWELLING UNIT DENSITY	1 DWELLING UNIT PER 800 SQ.FT. OF LOT AREA 14,585.34 SQ.FT. LOT AREA / 800 SQ.FT. = 18 UNITS ALLOWED	18 DWELLING UNITS PROVIDED		1 , F
SFPC 724	USABLE OPEN SPACE	PER UNIT, 100 SQ.FT. IF PRIVATE OR 133 SQ.FT. IF COMMON USABLE OPEN SPACE 18 UNITS X 133 SQ.FT. = 2,394 SQ.FT. COMMON USABLE OPEN SPACE REQUIRED	2,734 SQ.FT. COMMON USABLE OPEN SPACE PROVIDED AT REAR YARD. 53 SQ.FT. PRIVATE OPEN SPACE PROVIDED AT UNIT 401.		Ren
SFPC 724; 134; 136(c)	REAR YARD	LOT COVERAGE: MINIMUM REAR YARD DEPTH AT 25% LOT DEPTH (SECTION 134(a)(1)): LOT DEPTH = 132.594' 25% LOT DEPTH = 33'-2"	33'-2" REAR YARD DEPTH (25% LOT DEPTH)		
		REAR YARD REQUIRED AT GRADE LEVEL AND ABOVE. MAY MODIFY REQUIREMENTS BY SUBMITTING VARIANCE APPLICATION FOR A REAR YARD MODIFICATION IN NC DISTRICTS (SECTION 134(e)) AS ALLOWED PER SECTION 136(c)(26): UNDERGROUND PARKING GARAGE, IF TOP SURFACE IS DEVELOPED AS USABLE OPEN SPACE, PROVIDED IT DOES NOT OCCUPY ANY AREA WITHIN REAR 15' OF LOT DEPTH.	REAR YARD PROVIDED AT GRADE LEVEL AND ABOVE. TOP SURFACE OF UNDERGROUND PARKING GARAGE IS DEVELOPED AS USABLE OPEN SPACE. UNDERGROUND PARKING GARAGE LEVEL IS WITHIN 15' OF REAR PROPERTY LINE.	VARIANCE APPLICATION SUBMITTED TO REQUEST REAR YARD MODIFICATION FOR SECTION 136(c)(26) AS ALLOWED UNDER SECTION 134(e)(1)	
		REAR YARD REQUIRED AT GRADE LEVEL AND ABOVE IN NC DISTRICTS (SECTION 134(e)) AS ALLOWED PER SECTION 136(c)(24)(A): DECKS, AT OR BELOW THE ADJACENT FIRST FLOOR OF OCCUPANCY, IF DEVELOPED AS USABLE OPEN SPACE AND IF A DOWNSLOPE OF 15% OR LESS, SHALL NOT EXCEED A HEIGHT OF 3' ABOVE GRADE AT ANY POINT IN THE REQUIRED OPEN AREA	USABLE OPEN SPACE IS AT GRADE.		
		PER SECTION 136(c)(15), RAILINGS NO MORE THAN 3'-6" IN HEIGHT ABOVE ANY PERMITTED DECK OR ABOVE THE SURFACE OF ANY OTHER PERMITTED STRUCTURE IN THE REQUIRED OPEN AREA	REAR YARD PERIMETER WALL ON DOWNSLOPING LOT IS 3'-6" IN HEIGHT WHERE A RETAINING WALL IS REQUIRED AT HIGHER EXISTING ADJACENT REAR YARDS.		
SFPC 139	BIRD-SAFE BUILDINGS	LOCATION-RELATED HAZARDS: BUILDINGS WITHIN 300' OF AN URBAN BIRD REFUGE.	NOT APPLICABLE; BUILDING IS NOT WITHIN 300' OF AN URBAN BIRD REFUGE.		
		FEATURE-RELATED HAZARDS: INCLUDE FREE-STANDING GLASS WALLS, WIND BARRIERS, SKYWALKS, BALCONIES, AND	BALCONY GUARDRAILS SHALL COMPLY WITH BIRD-SAFE GLAZING STANDARDS.		
		GREENHOUSES ON ROOFTOPS THAT HAVE UNBROKEN GLAZED SEGMENTS 24 SQ.FT. AND LARGER IN SIZE.			

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Planning Department Notes

Scale: None

A0.2b

PLANNING CODE ANALYSIS TABLE (Continued)

CODE SECTION	ZONING CATEGORY	REQUIRED / ALLOWED	PROVIDED / PROPOSED	COMMENTS
SFPC 724; 151.1	OFF-STREET PARKING (RESIDENTIAL)	1 SPACE PER DWELLING UNIT 18 UNITS = 18 SPACES MINIMUM REQUIRED	18 SPACES PROVIDED ON PARKING LEVEL P3	
SFPC 724; 151.1	OFF-STREET PARKING (COMMERCIAL)	OTHER RETAIL: 1 SPACE / 500 SQ.FT. OF OCCUPIED FLOOR AREA UP TO 20,000 SQ.FT. WHERE OCCUPIED FLOOR AREA EXCEEDS 5,000 SQ.FT. (TABLE 151)	GROUND LEVEL RETAIL: 13 SPACES (REQUIRED) PROVIDED ON PARKING LEVEL P1	
		GROUND LEVEL RETAIL = 6,321 SQ.FT. OCCUPIED 6,321 SQ.FT. / 500 SQ.FT. = 13 SPACES MINIMUM REQUIRED	SECOND LEVEL MEDICAL / DENTAL: 32 SPACES PROVIDED ON PARKING LEVELS P1, P2 & P3	
		MEDICAL OR DENTAL: 1 SPACE / 300 SQ.FT. OF OCCUPIED FLOOR AREA WHERE OCCUPIED FLOOR AREA EXCEEDS 5,000 SQ.FT. (TABLE 151)	45 SPACES PROVIDED ON PARKING LEVELS P1, P2 AND P3 TO BE OPERATED AS IN / OUT PAID SHORT-TERM PARKING, PUBLIC	
		SECOND LEVEL MEDICAL / DENTAL = 9,574 SQ.FT. OCCUPIED 9,574 SQ.FT. / 300 SQ.FT. = 32 SPACES MINIMUM REQUIRED	PARKING GARAGE (AS DEFINED UNDER SF PLANNING CODE SECTION 102)	
FPC 102; 303(t)	PARKING GARAGE, PUBLIC	AS DEFINED BY SF PLANNING CODE SECTION 102, A RETAIL AUTOMOTIVE USE THAT PROVIDES TEMPORARY PARKING ACCOMMODATIONS FOR AUTOMOBILES, TRUCKS, VANS, BICYCLES, OR MOTORCYCLES IN A GARAGE OPEN TO THE GENERAL PUBLIC, WITHOUT	PROPOSED FOR IN / OUT PAID SHORT-TERM RETAIL AND MEDICAL / DENTAL PARKING ON PARKING LEVELS P1, P2 & P3	CONDITIONAL USE APPLICATION SUBMITTED PER SFPC 303(c) & 303(t)
		PARKING OF RECREATIONAL VEHICLES, MOBILE HOMES, BOATS, OR OTHER VEHICLES, OR STORAGE OF VEHICLES, GOODS, OR EQUIPMENT. PROVISIONS REGULATING AUTOMOBILE PARKING ARE SET FORTH IN SECTIONS 155, 156, 303(t) OR (u) AND OTHER PROVISIONS OF ARTICLE 1.5 OF THE SF PLANNING CODE.	1 CAR-SHARE PARKING SPACE PROVIDED ON PARKING LEVEL P1	
SFPC 166	CAR-SHARING	RESIDENTIAL: NONE REQUIRED FOR 0 - 49 UNITS	NONE PROVIDED	
		COMMERCIAL: 1 CAR-SHARE PARKING SPACE REQUIRED FOR 25 - 49 SPACES FOR NON-RESIDENTIAL USES	1 CAR-SHARE PARKING SPACE PROVIDED ON PARKING LEVEL P1	
SFPC 724; 150	OFF-STREET FREIGHT LOADING	RESIDENTIAL: 0 OFF-STREET FREIGHT LOADING SPACES REQUIRED WHERE GROSS FLOOR AREA IS 0 - 100,000 SQ.FT. (TABLE 152) THIRD & FOURTH LEVEL RESIDENTIAL = 15,911 SQ.FT. OCCUPIED; NONE REQUIRED	NONE PROVIDED	
		RETAIL: 0 OFF-STREET FREIGHT LOADING SPACES REQUIRED WHERE GROSS FLOOR AREA IS 0 - 10,000 SQ.FT. (TABLE 152) GROUND LEVEL RETAIL = 6,321 SQ.FT. OCCUPIED; NONE REQUIRED		
		MEDICAL / DENTAL: 0 OFF-STREET FREIGHT LOADING SPACES REQUIRED WHERE GROSS FLOOR AREA IS 0 - 100,000 SQ.FT. (TABLE 152) SECOND LEVEL MEDICAL / DENTAL = 9,574 SQ.FT. OCCUPIED; NONE REQUIRED		
SFPC 155.2	BICYCLE PARKING (COMMERCIAL), CLASS 1	GROUND LEVEL RETAIL: 1 SPACE / 7,500 SQ.FT. OCCUPIED FLOOR AREA 6,321 SQ.FT. / 7,500 SQ.FT. = 1 SPACE REQUIRED	1 SPACE + 2 SPACES + 0 SPACES = 3 SPACES REQUIRED 3 CLASS 1 BICYCLE LOCKERS PROVIDED ON PARKING LEVEL P1	
		SECOND LEVEL MEDICAL / DENTAL: 1 SPACE / 5,000 SQ.FT. OCCUPIED FLOOR AREA 9,574 SQ.FT. / 5,000 SQ.FT. = 2 SPACES REQUIRED		
		PRIVATE PARKING GARAGE: NONE REQUIRED		
	BICYCLE PARKING (COMMERCIAL), CLASS 2	GROUND LEVEL RETAIL: MINIMUM 2 SPACES; 1 SPACE FOR EVERY 2,500 SQ.FT. OCCUPIED FLOOR AREA 6,321 SQ.FT. / 2,500 SQ.FT. = 3 SPACES REQUIRED	3 SPACES + 4 SPACES + 6 SPACES = 13 SPACES REQUIRED 13 CLASS 2 SPACES PROVIDED AT 7 SIDEWALK RACKS	
		SECOND LEVEL MEDICAL / DENTAL: 1 SPACE FOR EVERY 15,000 SQ.FT. OCCUPIED FLOOR AREA, BUT NO LESS THAN 4 SPACES 9,574 SQ.FT. / 15,000 SQ.FT. = 1 SPACE; MIN. 4 SPACES REQUIRED		
		PRIVATE PARKING GARAGE: 1 SPACE FOR EVERY 20 CAR SPACES, BUT NO LESS THAN 6 SPACES 47 SPACES / 20 = 2 SPACES; MIN. 6 SPACES REQUIRED		
SFPC 155.2	BICYCLE PARKING (RESIDENTIAL), CLASS 1	1 SPACE FOR EVERY DWELLING UNIT 18 UNITS = 18 SPACES REQUIRED	18 SPACES PROVIDED IN LOCKABLE ENCLOSURE ON PARKING LEVEL P3	
	BICYCLE PARKING (RESIDENTIAL), CLASS 2	1 SPACE PER 20 UNITS 18 UNITS = 1 SPACE REQUIRED	1 SPACE PROVIDED AT 1 SIDEWALK RACK	

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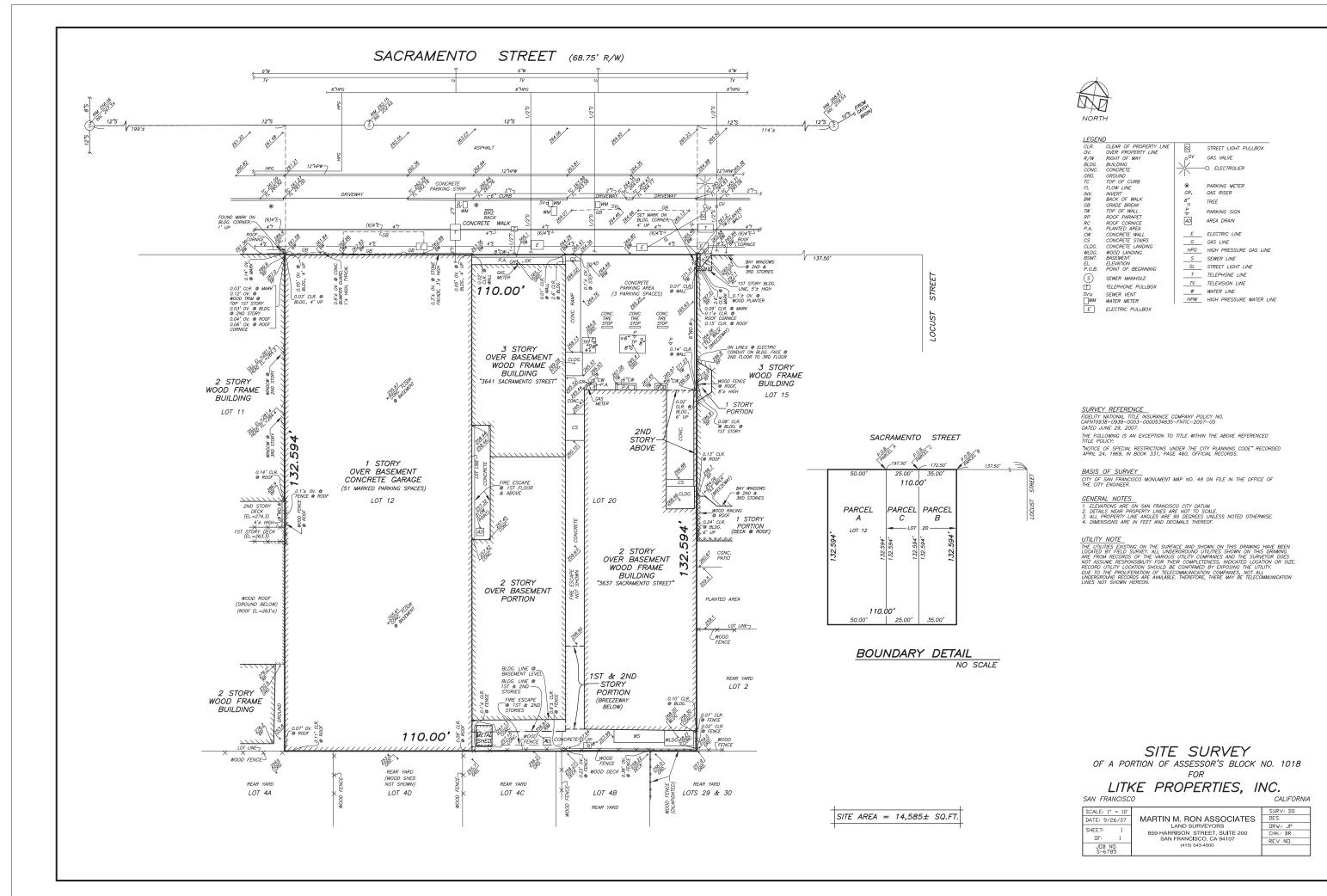
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Planning Department Notes

Scale: None

A0.2c



SACRAMENTO STREET



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Existing Block Diagram

Scale: 1/32" = 1'-0"

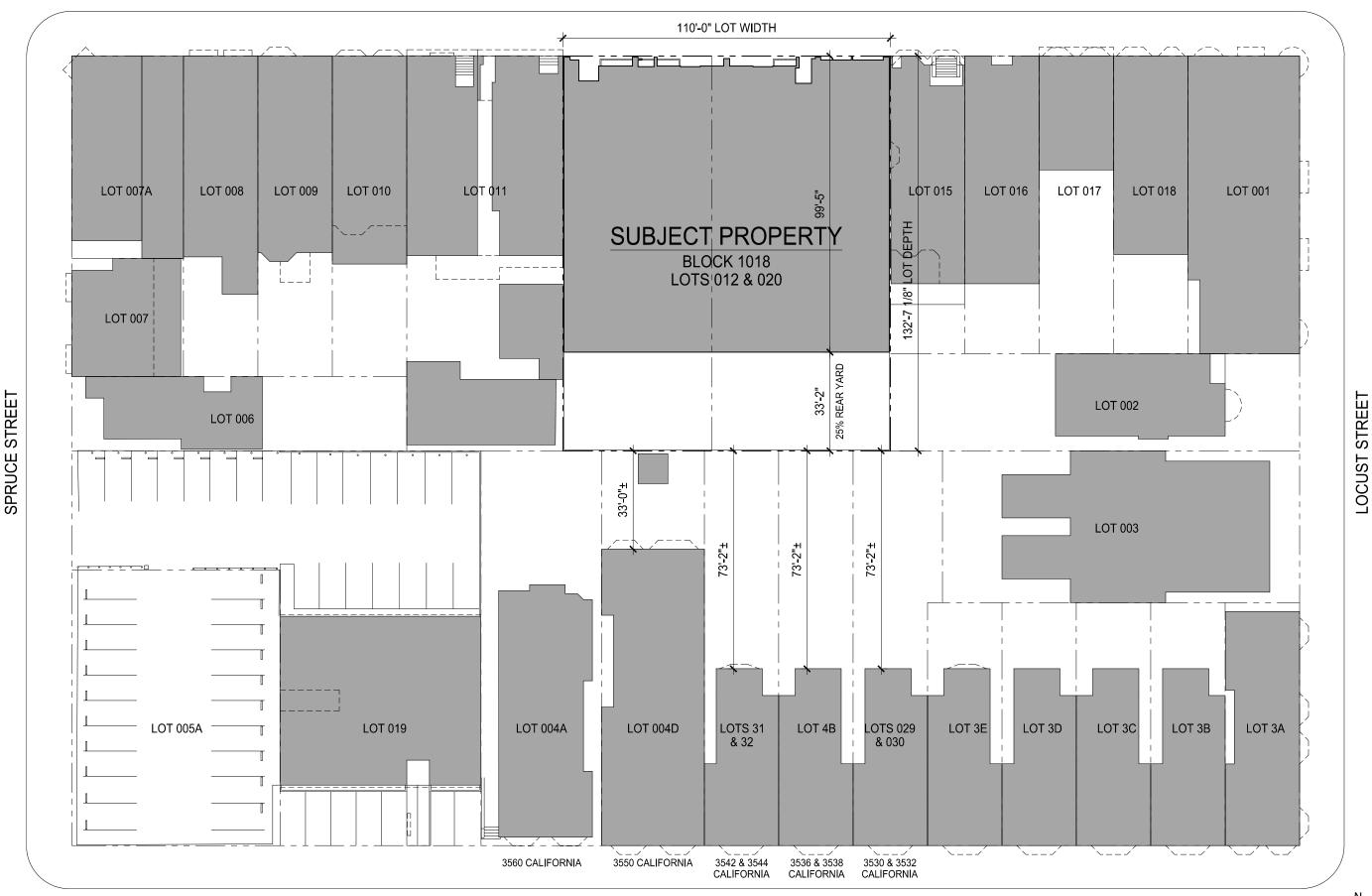
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CALIFORNIA STREET

EXISTING BLOCK DIAGRAM

SCALE: 1/32" = 1'-0"

SACRAMENTO STREET



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September 24, 2018 Additional Information Requested by Planning

Proposed Block Diagram

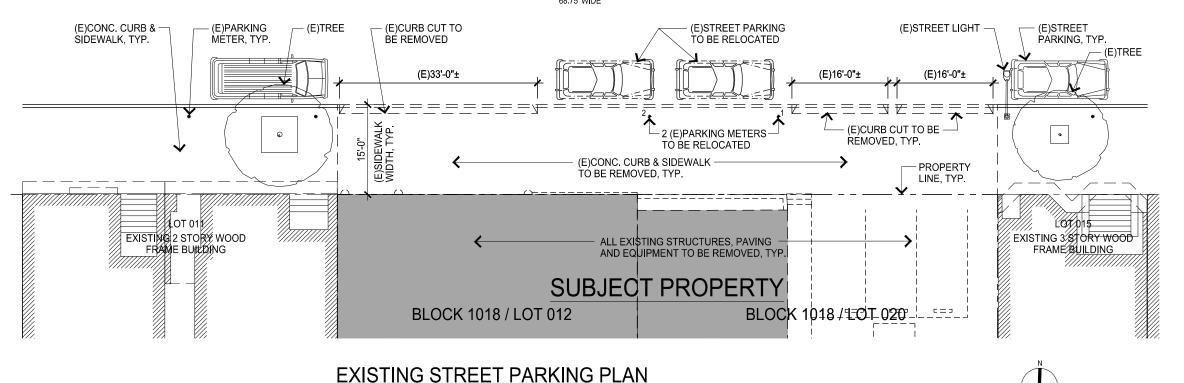
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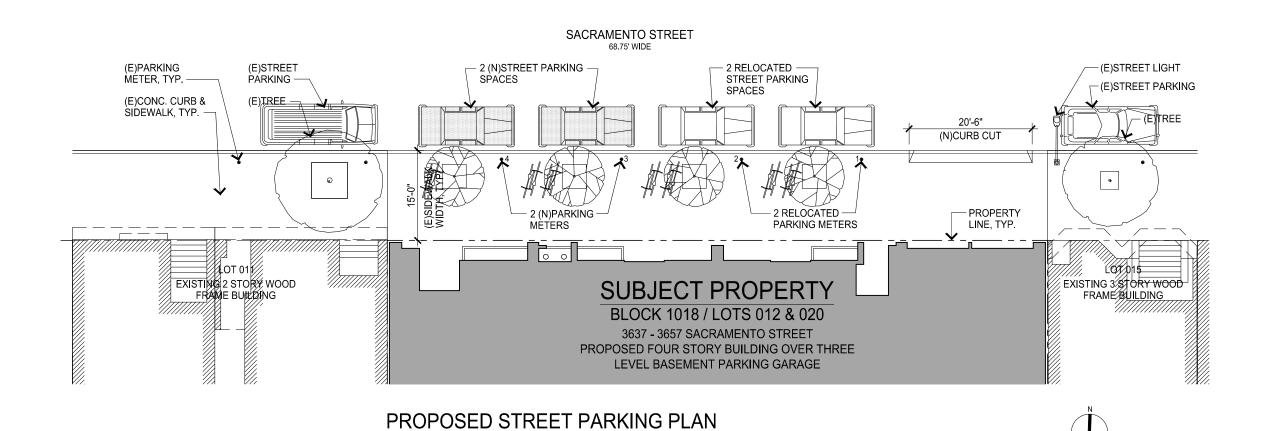
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CALIFORNIA STREET

PROPOSED BLOCK DIAGRAM
SCALE: 1/32" = 1'-0"

SACRAMENTO STREET 68.75' WIDE





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Project No. 07-018

March 17, 2017

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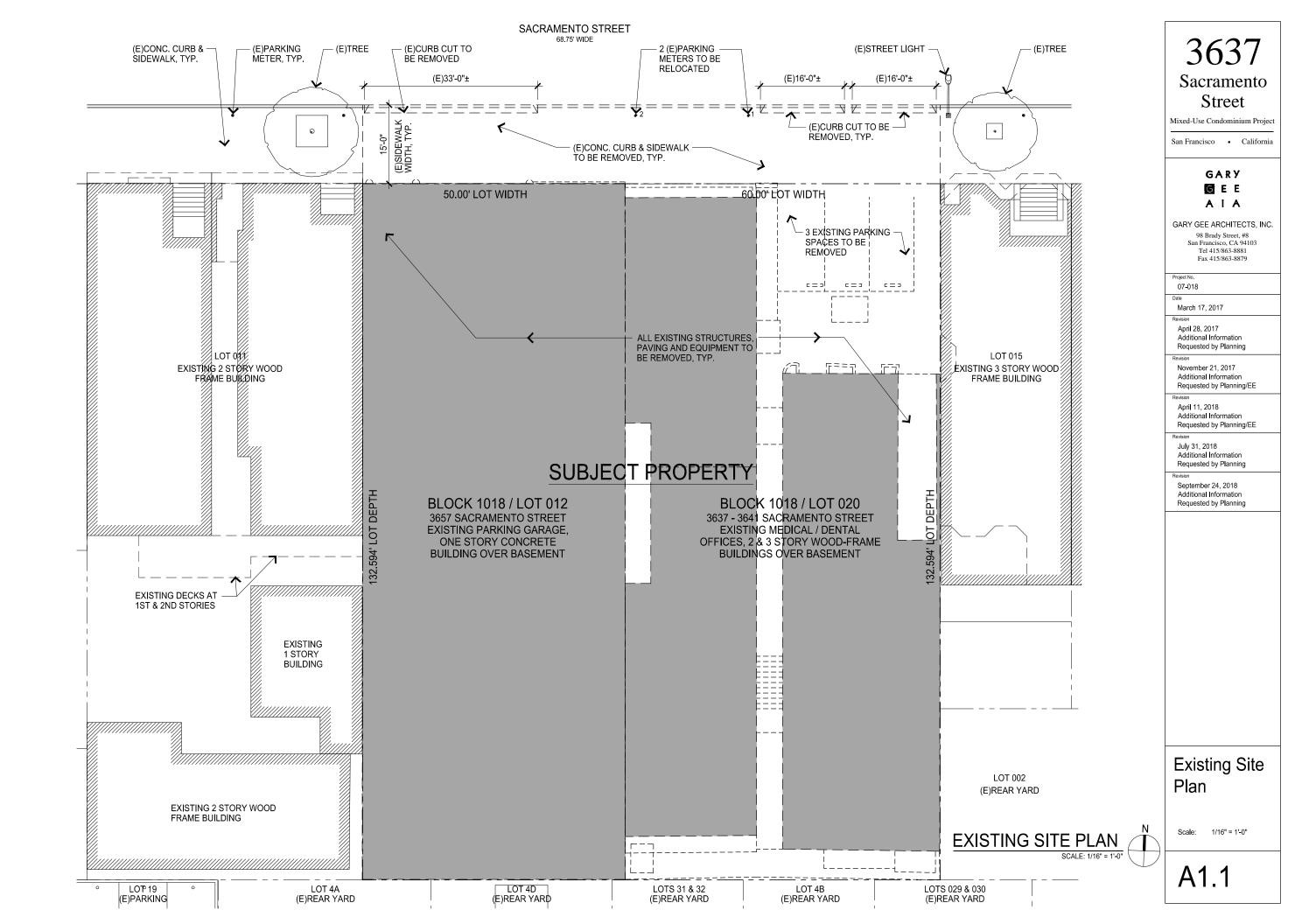
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Street **Parking** Diagrams

Scale: 1/16" = 1'-0"

A0.2f





ENTRANCE SIDE GATE

SACRAMENTO STREET FACADE

AS-BUILT ELEVATION

SCALE: 1/16" = 1'-0"

BASEMENT

SECOND

GROUND

AS-BUILT FLOOR PLANS

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Date

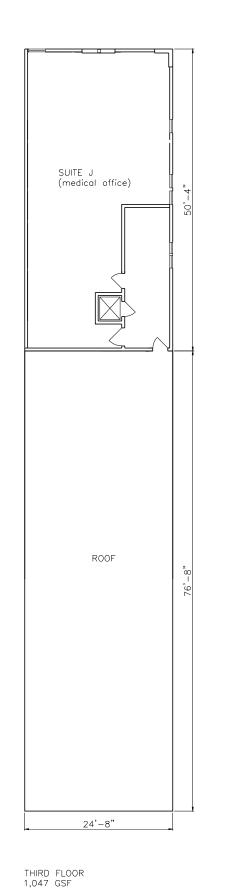
February 17, 2017

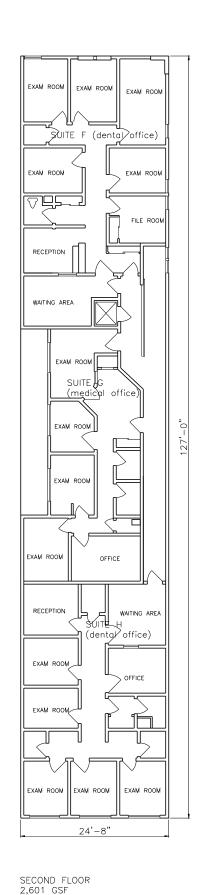
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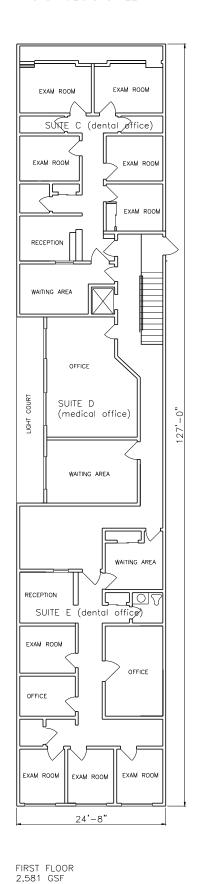
As-Built Drawings: 3637 Sacramento

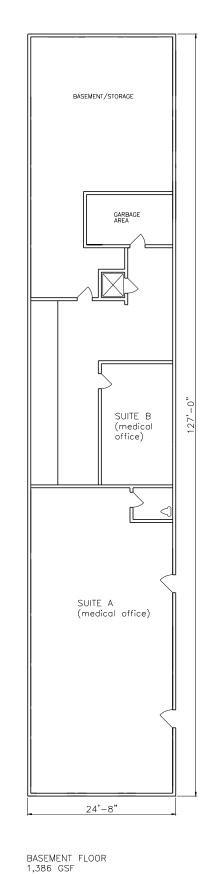
Scale: 1/16" = 1'-0"

EX1.0









As-Built Drawings: 3641 Sacramento

Scale: 1/16" = 1'-0"

EX2.0

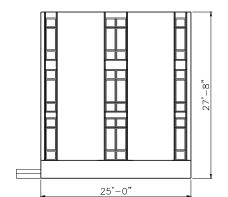
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SACRAMENTO STREET FACADE

AS-BUILT ELEVATION

AS-BUILT FLOOR PLANS

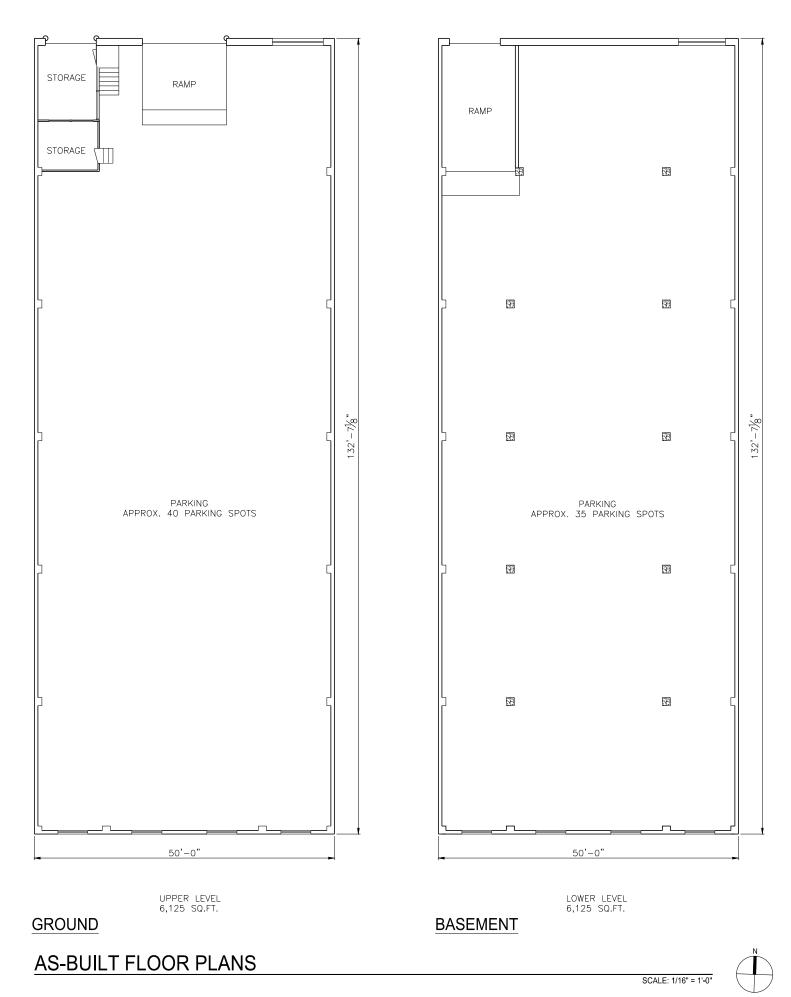
THIRD

SECOND

GROUND

BASEMENT





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As-Built Drawings: 3657 Sacramento

Scale: 1/16" = 1'-0"

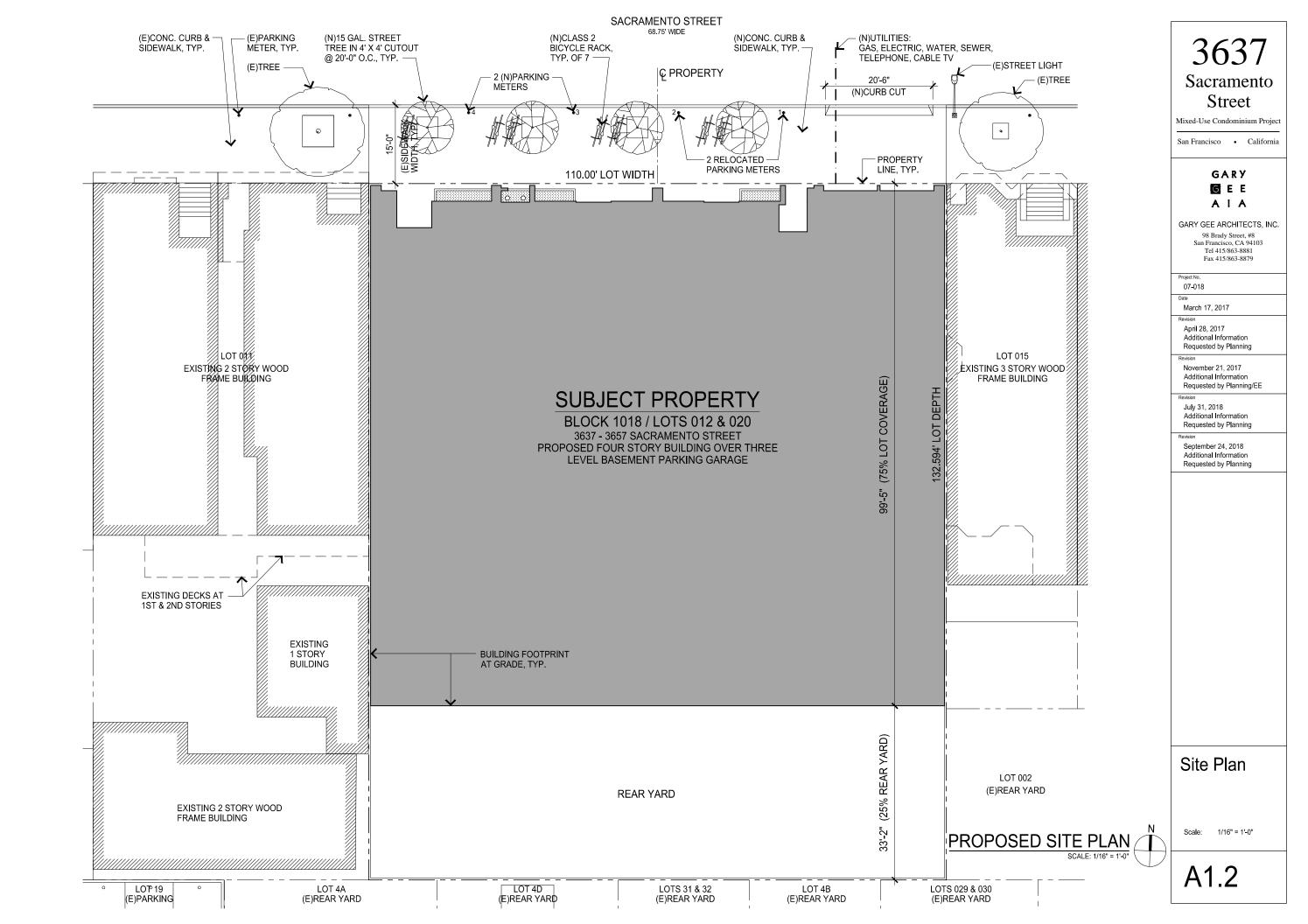
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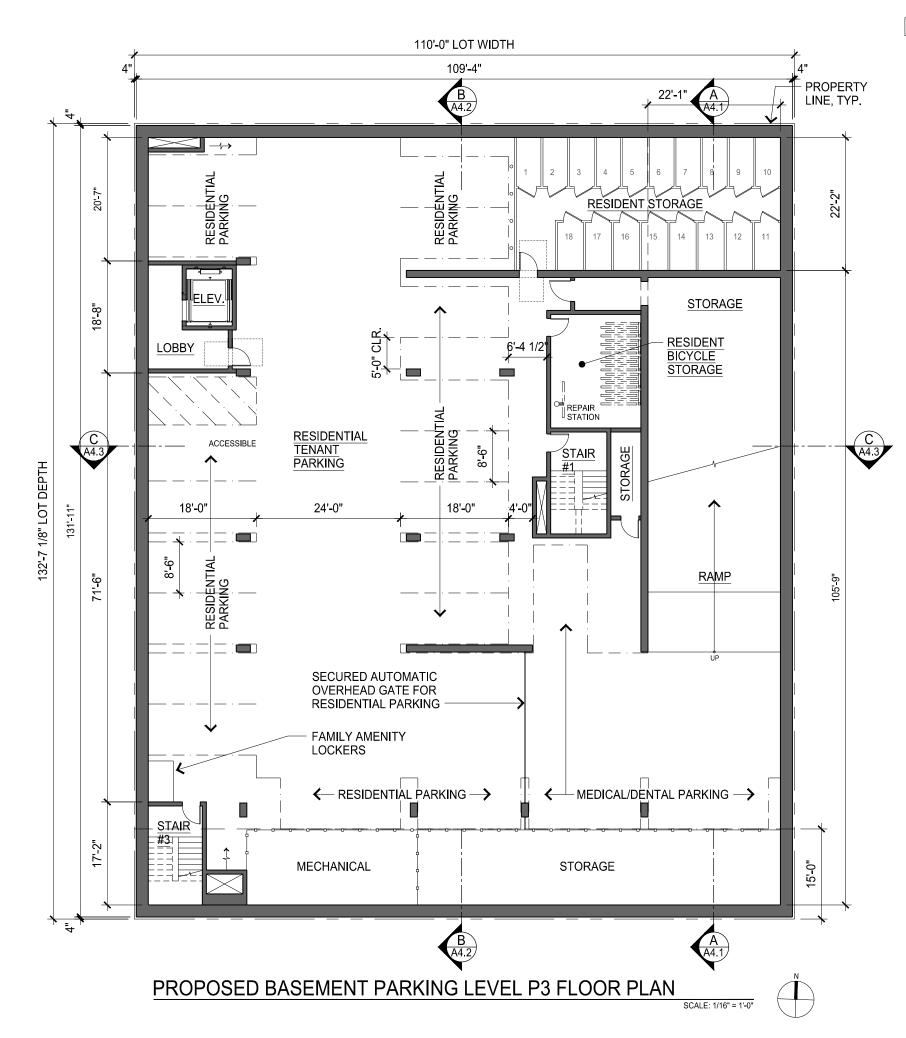
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SACRAMENTO STREET FACADE

AS-BUILT ELEVATION

SCALE: 1/16" = 1'-0"





PARKING LEVEL P3

OFF-STREET AUTOMOBILE PARKING, RESIDENTIAL AND MEDICAL / DENTAL:

	ACCESSIBLE	STANDARD	COMPACT	TOTAL
PARKING LEVEL P3	1	18	2	21

	REQUIRED	ACCESSORY	TOTAL
RESIDENTIAL	18	0	18
MEDICAL / DENTAL	3	0	3
TOTAL	21	0	21

BICYCLE PARKING, RESIDENTIAL:

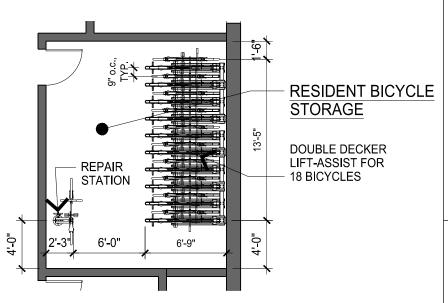
	CLASS 1	CLASS 2	TOTAL
PARKING LEVEL P3			
LOCKABLE ENCLOSURE	18	0	18

GROSS FLOOR AREA PER PLANNING CODE DEFINITION: RESIDENTIAL STORAGE, LOBBY, 2,758 SQ.FT. STAIRS, CORRIDORS, WALLS, ETC.

FLOOR AREA NOT INCLUDED IN CALCULATIONS:

AUTOMOBILE PARKING 9,953 SQ.FT. * OCCUPIED AREA 316 SQ.FT. * OCCUPIED AREA BICYCLE PARKING **BUILDING SERVICES** 1,358 SQ.FT.

*REFER TO SHEET A0.2a FOR DEFINITION OF OCCUPIED FLOOR AREA **REFER TO SHEET A0.2a FOR DEFINITION OF GROSS FLOOR AREA



ENLARGED FLOOR PLAN: RESIDENT BICYCLE STORAGE



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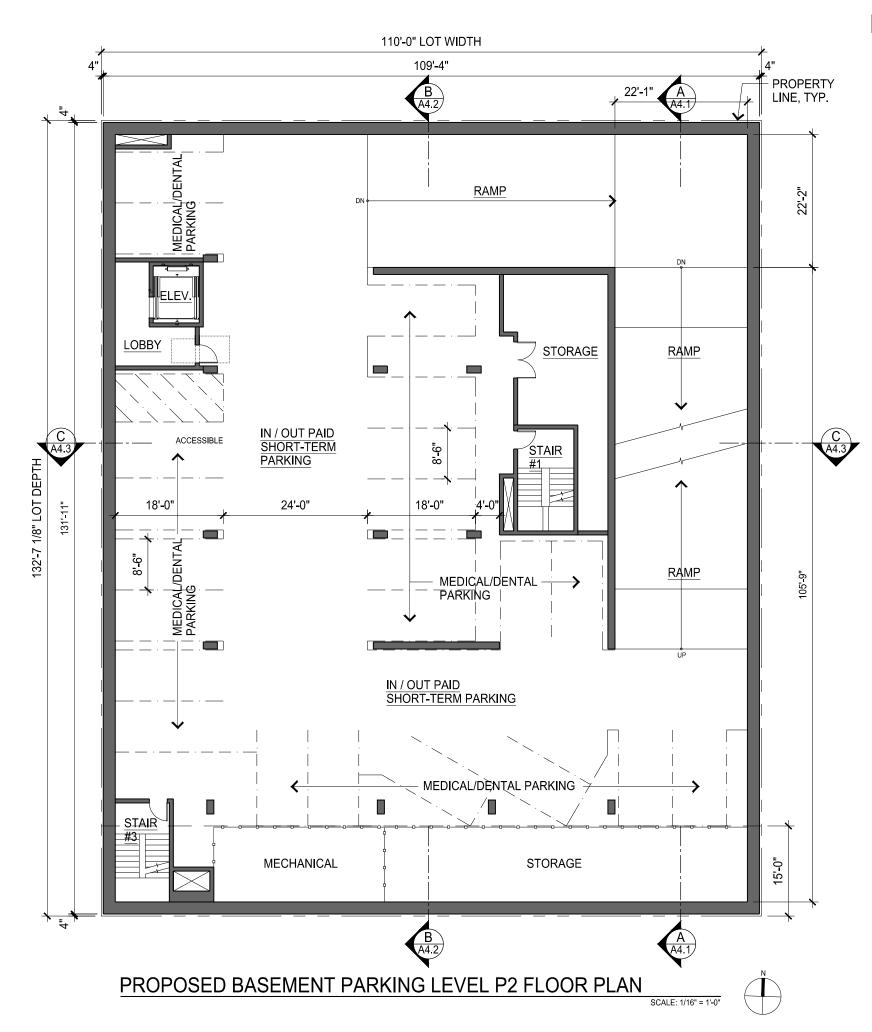
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Basement Parking Level P3 Floor Plan

Scale: As noted



PARKING LEVEL P2

OFF-STREET AUTOMOBILE PARKING, COMMERCIAL:

	ACCESSIBLE	STANDARD	COMPACT	TOTAL
PARKING LEVEL P2	1	13	8	22

	REQUIRED	ACCESSORY	TOTAL
MEDICAL / DENTAL	22	0	22

GROSS FLOOR AREA PER PLANNING CODE DEFINITION: LOBBY, STAIRS, CORRIDORS, 1,715 SQ.FT. WALLS, ETC.

FLOOR AREA NOT INCLUDED IN CALCULATIONS:

AUTOMOBILE PARKING 10,988 SQ.FT. * OCCUPIED AREA **BUILDING SERVICES** 1,649 SQ.FT.

*REFER TO SHEET A0.2a FOR DEFINITION OF OCCUPIED FLOOR AREA **REFER TO SHEET A0.2a FOR DEFINITION OF GROSS FLOOR AREA

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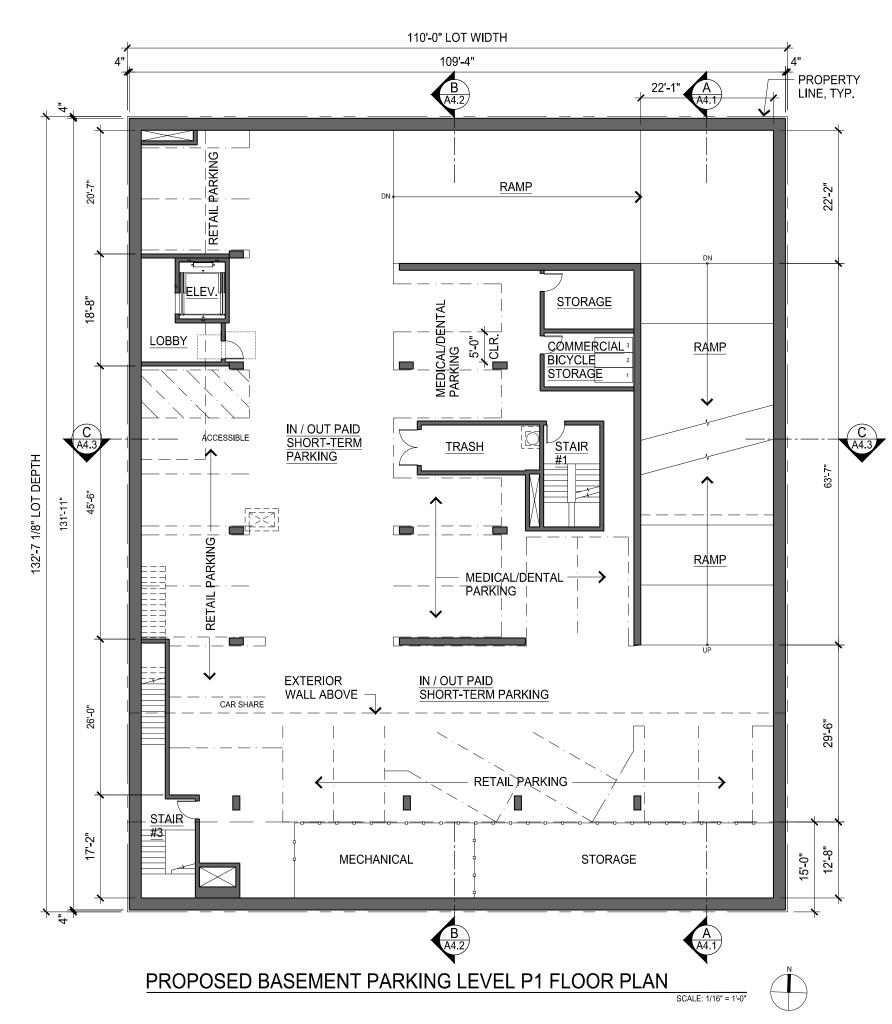
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Basement Parking Level P2 Floor Plan

Scale: 1/16" = 1'-0"



PARKING LEVEL P1

OFF-STREET AUTOMOBILE PARKING, COMMERCIAL:

	ACCESSIBLE	STANDARD	COMPACT	TOTAL
PARKING LEVEL P1	1	10	9	20

CAR-SHARE PARKING (Per Table 166) REQUIRED FOR NON-RESIDENTIAL USES:

1 SPACE REQUIRED (1 SPACE / 25-49 PARKING SPACES)

1 SPACE PROVIDED, LOCATED ON PARKING LEVEL P1

(NOT INCLUDED IN THE TOTAL COMMERCIAL PARKING SPACE COUNT)

	REQUIRED	ACCESSORY	TOTAL
RETAIL	13	0	13
MEDICAL / DENTAL	7	0	7
TOTAL	20	0	20

BICYCLE PARKING, COMMERCIAL:

	CLASS 1	CLASS 2	TOTAL
PARKING LEVEL P1			
LOCKABLE ENCLOSURE	3 LOCKERS	0	3

GROSS FLOOR AREA PER PLANNING CODE DEFINITION: LOBBY, STAIRS, CORRIDORS, 1,985 SQ.FT. WALLS, ETC.

FLOOR AREA NOT INCLUDED IN CALCULATIONS:

10,734 SQ.FT. * OCCUPIED AREA AUTOMOBILE PARKING BICYCLE PARKING 120 SQ.FT. * OCCUPIED AREA

BUILDING SERVICES 1,499 SQ.FT.

*REFER TO SHEET A0.2a FOR DEFINITION OF OCCUPIED FLOOR AREA **REFER TO SHEET A0.2a FOR DEFINITION OF GROSS FLOOR AREA

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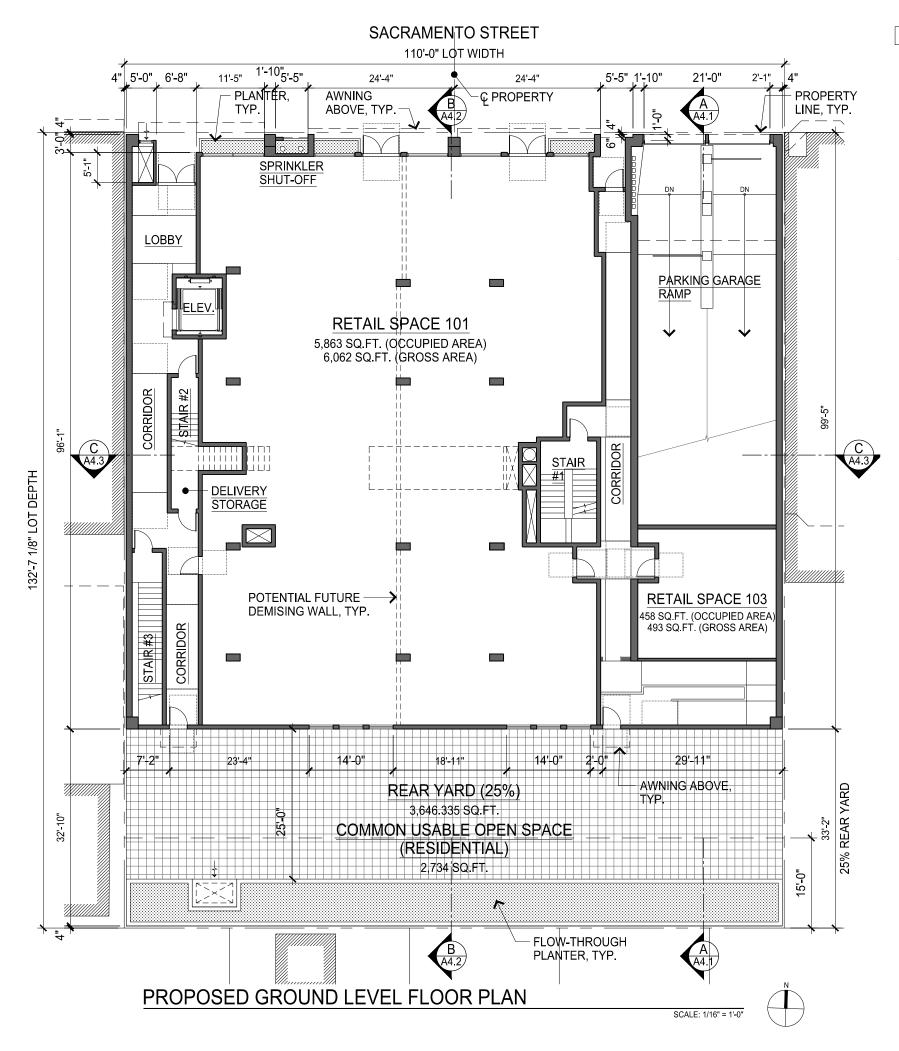
Revisions per Owner

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Basement Parking Level P1 Floor Plan

Scale: 1/16" = 1'-0"



GROUND FLOOR LEVEL

GROSS FLOOR AREA PER PLANNING CODE DEFINITION:

RETAIL M USE 6,555 SQ.FT. LOBBY, STAIRS, CORRIDORS, 1,325 SQ.FT.

WALLS, ETC.

1,020 0 4...

TOTAL GROSS FLOOR AREA

7,880 SQ.FT. **

FLOOR AREA NOT INCLUDED IN CALCULATIONS:

AUTOMOBILE DRIVE RAMP

1,505 SQ.FT. * OCCUPIED AREA

*REFER TO SHEET A0.2a FOR DEFINITION OF OCCUPIED FLOOR AREA
**REFER TO SHEET A0.2a FOR DEFINITION OF GROSS FLOOR AREA

RESIDENTIAL COMMON OPEN SPACE AT REAR YARD:
REQUIREMENTS FOR 18 RESIDENTIAL UNITS:
100 SQ.FT. x 1.33 PER UNIT FOR COMMON USABLE OPEN SPACE
18 UNITS x 100 SQ.FT. x 1.33 = 2,394 SQ.FT. REQUIRED

PROVIDED: 2,734 SQ.FT.

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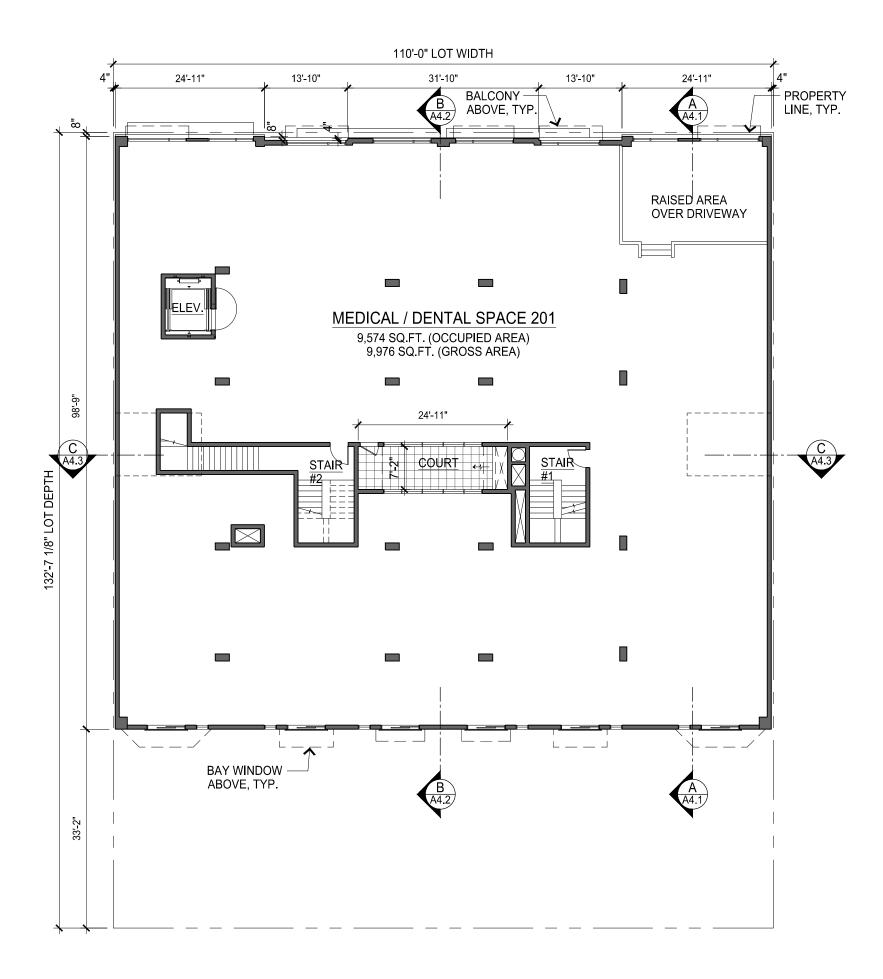
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Ground Level Floor Plan

Scale: 1/16" = 1'-0"



SECOND FLOOR LEVEL

GROSS FLOOR AREA PER PLANNING CODE DEFINITION: MEDICAL / DENTAL USE 9,976 SQ.FT. STAIRS, CORRIDORS, WALLS, ETC. 557 SQ.FT. TOTAL GROSS FLOOR AREA 10,533 SQ.FT.

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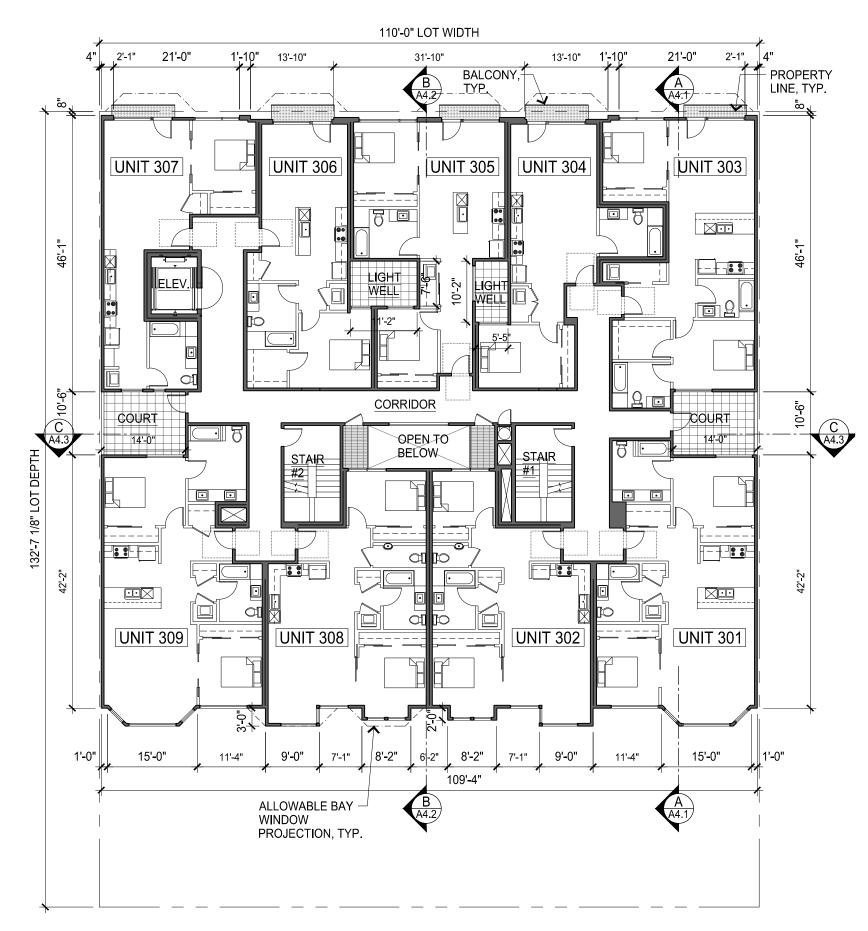
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Second Level Floor Plan

Scale: 1/16" = 1'-0"



THIRD FLOOR LEVEL

THIRD LEVEL UNIT TABULATION:

	BEDROOMS /	OCCUPIED	GROSS
	BATHROOMS	AREA	AREA
UNIT 301	2 BR / 2 BA	1,075 SQ.FT.	1,139 SQ.FT.
UNIT 302	2 BR / 1.5 BA	887 SQ.FT.	955 SQ.FT.
UNIT 303	2 BR / 2 BA	1,005 SQ.FT.	1,085 SQ.FT.
UNIT 304	1 BR / 1 BA	701 SQ.FT.	770 SQ.FT.
UNIT 305	2 BR / 1 BA	841 SQ.FT.	916 SQ.FT.
UNIT 306	1 BR / 1 BA	736 SQ.FT.	786 SQ.FT.
UNIT 307	1 BR / 1 BA	732 SQ.FT.	806 SQ.FT.
UNIT 308	2 BR / 1.5 BA	915 SQ.FT.	982 SQ.FT.
UNIT 309	2 BR / 2 BA	1,086 SQ.FT.	1,157 SQ.FT.
TOTAL		7,977 SQ.FT.	8,596 SQ.FT.

GROSS FLOOR AREA PER PLANNING CODE DEFINITION:

9 RESIDENTIAL UNITS (3 - 1 BRs & 6 - 2 BRs) 8,596 SQ.FT.

STAIRS, CORRIDORS, WALLS, ETC. 1,587 SQ.FT.

TOTAL GROSS AREA 10,183 SQ.FT.

ALLOWED PROJECTIONS:

PER PLANNING CODE SECTION 136(c)(2), BAY WINDOWS AND BALCONIES ARE ALLOWED TO PROJECT THREE FEET (3'-0) OVER STREETS IF SIDEWALK WIDTH IS GREATER THAN NINE FEET (9'-0"). THE MAXIMUM LENGTH OF PROJECTION IS FIFTEEN FEET (15'-0") AT LINE ESTABLISHING REQUIRED OPEN AREA AND REDUCED IN PROPORTION TO 9'-0" BY MEANS OF 45° ANGLES AT A DISTANCE OF 3'-0" FROM THE LINE ESTABLISHING THE REQUIRED OPEN AREA.

PER PLANNING CODE SECTION 136(c)(3)(D), THE AGGREGATE LENGTH OF ALL BAY WINDOWS AND BALCONIES PROJECTING INTO THE REQUIRED OPEN AREA SHALL BE NO MORE THAN 2/3 THE BUILDABLE WIDTH OF THE LOT ALONG A REAR BUILDING WALL.

BUILDABLE WIDTH ALONG REAR WALL: 109'-4" 2/3 BUILDABLE WIDTH: 72'-11" AGGREGATE LENGTH OF BAY WINDOWS AND BALCONIES: 64'-4"

64'-4" = 58.8% OF 109'-4" (BUILDABLE WIDTH ALONG REAR WALL) AND IS LESS THAN 2/3 (66.6%) OF BUILDABLE WIDTH.

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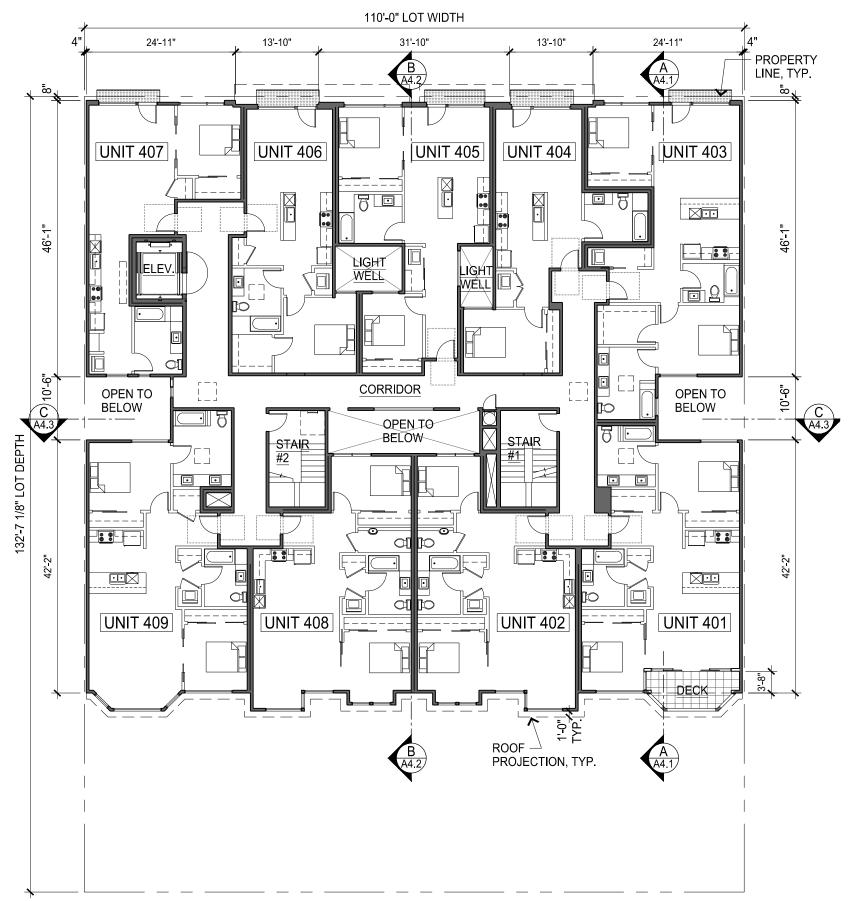
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Additional Information
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Third Level Floor Plan

Scale: 1/16" = 1'-0"



FOURTH FLOOR LEVEL

FOURTH LEVEL UNIT TABULATION:

	BEDROOMS /	OCCUPIED	GROSS
	BATHROOMS	AREA	AREA
UNIT 401	2 BR / 2 BA	982 SQ.FT.	1,051 SQ.FT.
UNIT 402	2 BR / 1.5 BA	887 SQ.FT.	955 SQ.FT.
UNIT 403	2 BR / 2 BA	1,054 SQ.FT.	1,141 SQ.FT.
UNIT 404	1 BR / 1 BA	701 SQ.FT.	770 SQ.FT.
UNIT 405	2 BR / 1 BA	841 SQ.FT.	916 SQ.FT.
UNIT 406	1 BR / 1 BA	736 SQ.FT.	786 SQ.FT.
UNIT 407	1 BR / 1 BA	731 SQ.FT.	806 SQ.FT.
UNIT 408	2 BR / 1.5 BA	915 SQ.FT.	982 SQ.FT.
UNIT 409	2 BR / 2 BA	1,086 SQ.FT.	1,157 SQ.FT.
TOTAL		7,934 SQ.FT.	8,564 SQ.FT.

GROSS FLOOR AREA PER PLANNING CODE DEFINITION:

9 RESIDENTIAL UNITS (3 - 1 BRs & 6 - 2 BRs) 8,564 SQ.FT.

STAIRS, CORRIDORS, WALLS, ETC. 1,528 SQ.FT.

TOTAL GROSS AREA 10,092 SQ.FT.

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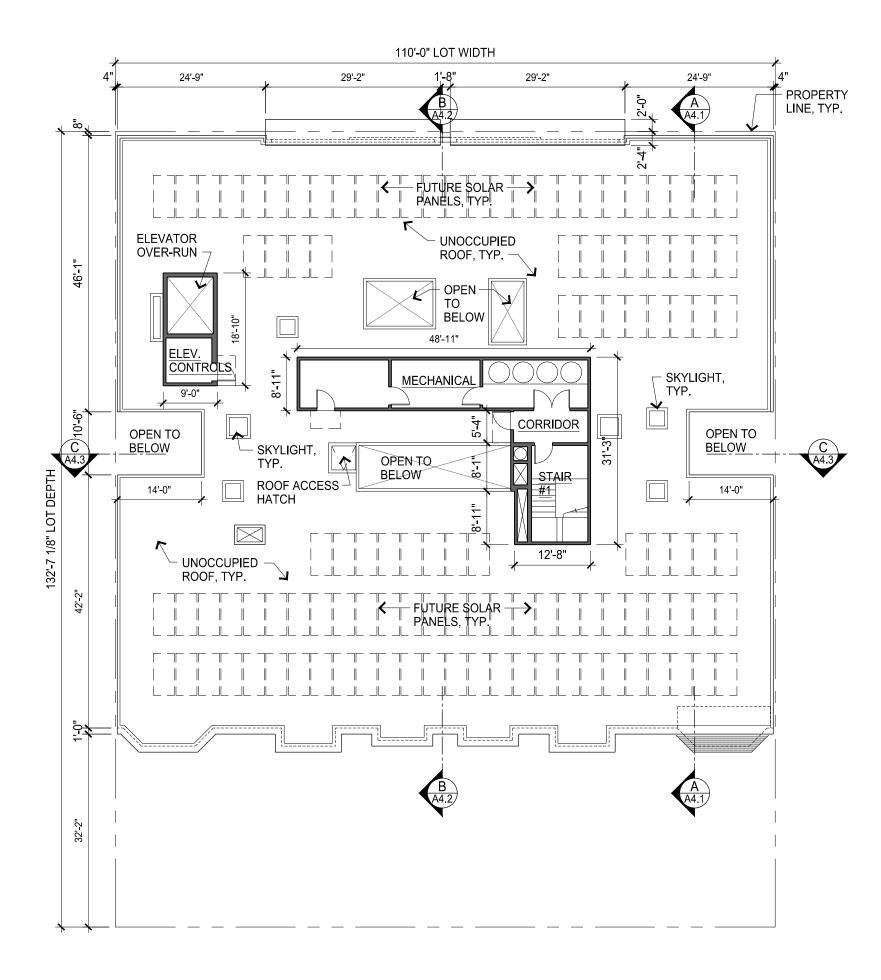
Fourth Level Floor Plan

Scale: 1/16" = 1'-0"

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PROPOSED FOURTH LEVEL FLOOR PLAN

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PROPOSED ROOF LEVEL FLOOR PLAN



ROOF LEVEL

GROSS FLOOR AREA PER PLANNING CO	DE DEFINITION:
ROOF PENTHOUSE CORRIDOR	77 SQ.FT.
TOTAL GROSS AREA	77 SQ.FT.

FLOOR AREA NOT INCLUDED IN CALCULATIONS:

STAIRS 163 SQ.FT. BUILDING SERVICES 598 SQ.FT.

ROOFTOP PROJECTIONS:

PER SECTION 260.(b)(1), THE SUM OF THE HORIZONTAL AREAS OF ALL ROOFTOP PROJECTIONS SHALL NOT EXCEED 20% OF THE HORIZONTAL AREA OF THE ROOF ABOVE WHICH THEY ARE SITUATED.

TOTAL ROOF AREA 10,953 SQ.FT. 20% OF TOTAL ROOF AREA 2,190 SQ.FT.

ROOFTOP PROJECTIONS:

ELEVATOR PENTHOUSE 169 SQ.FT. STAIR #1 PENTHOUSE 175 SQ.FT. CORRIDOR 77 SQ.FT. MECHANICAL PENTHOUSE 436 SQ.FT. MECHANICAL SHAFTS 62 SQ.FT. **SKYLIGHTS** 237 SQ.FT. ROOF ACCESS HATCH 23 SQ.FT. MECHANICAL EQUIPMENT -- SQ.FT.

TOTAL AREA OF ROOFTOP 1,179 SQ.FT. PROJECTIONS

1,179 SQ.FT. = 10.8% OF 10,953 SQ.FT. (TOTAL ROOF AREA) AND IS LESS THAN 2,190 SQ.FT. (20% OF TOTAL ROOF AREA)

SOLAR PANELS:

3,314 SQ.FT.

3,314 SQ.FT. = 30.3% OF 10,953 SQ.FT. (TOTAL ROOF AREA) AND IS MORE THAN 3,286 SQ.FT. (30%) OF TOTAL ROOF AREA.

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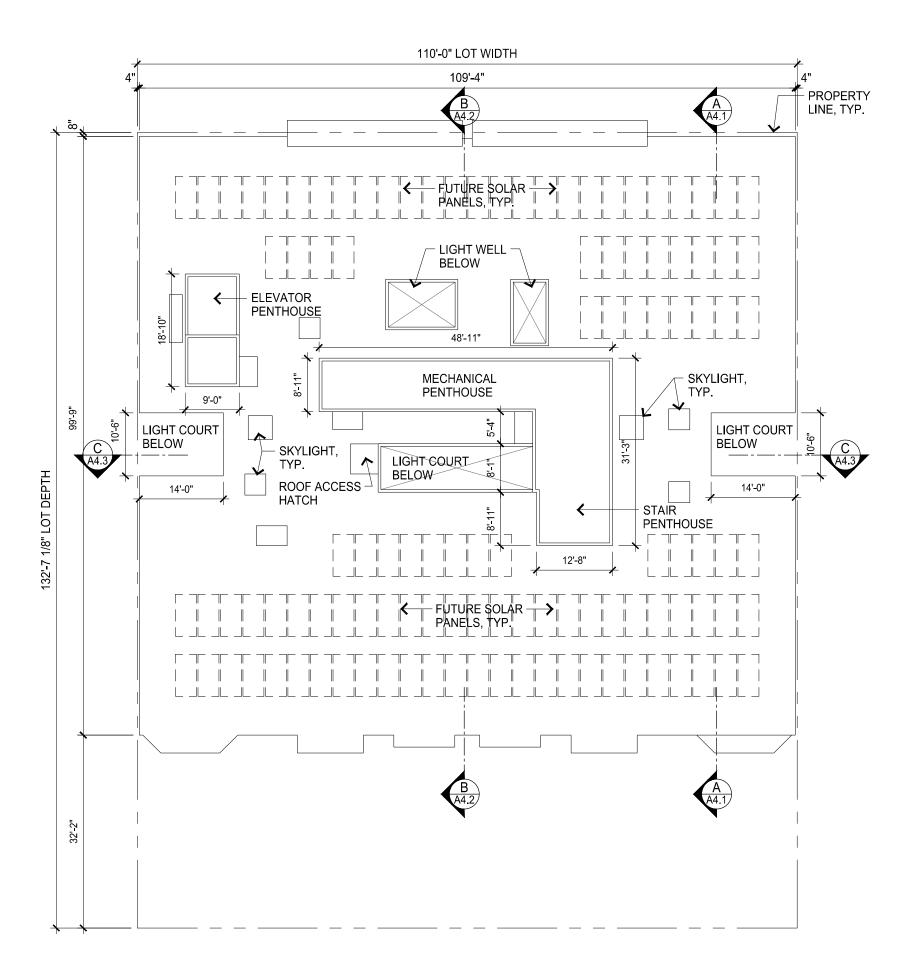
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Roof Level Floor Plan

Scale: 1/16" = 1'-0"



PROPOSED PENTHOUSE ROOF PLAN



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Penthouse Roof Plan

Scale: 1/16" = 1'-0"



PROPOSED SACRAMENTO STREET VIEW

3637 SACRAMENTO STREET UPPER FLOOR FACADE DESIGN CONCEPTS

- UPPER FLOOR LEVELS TWO THROUGH FOUR:
 FACADE DIVIDED VERTICALLY INTO 24' TO 25' MODULES
 VERTICAL CEMENT PLASTER AND BRICK PILASTERS DEFINE THREE MAJOR FACADE PLANES
 PROJECTING BALCONIES, WINDOW BANDS, METAL BAND SEPARATING GROUND FLOOR AND PARAPET DEFINES HORIZONTAL BUILDING PLANES

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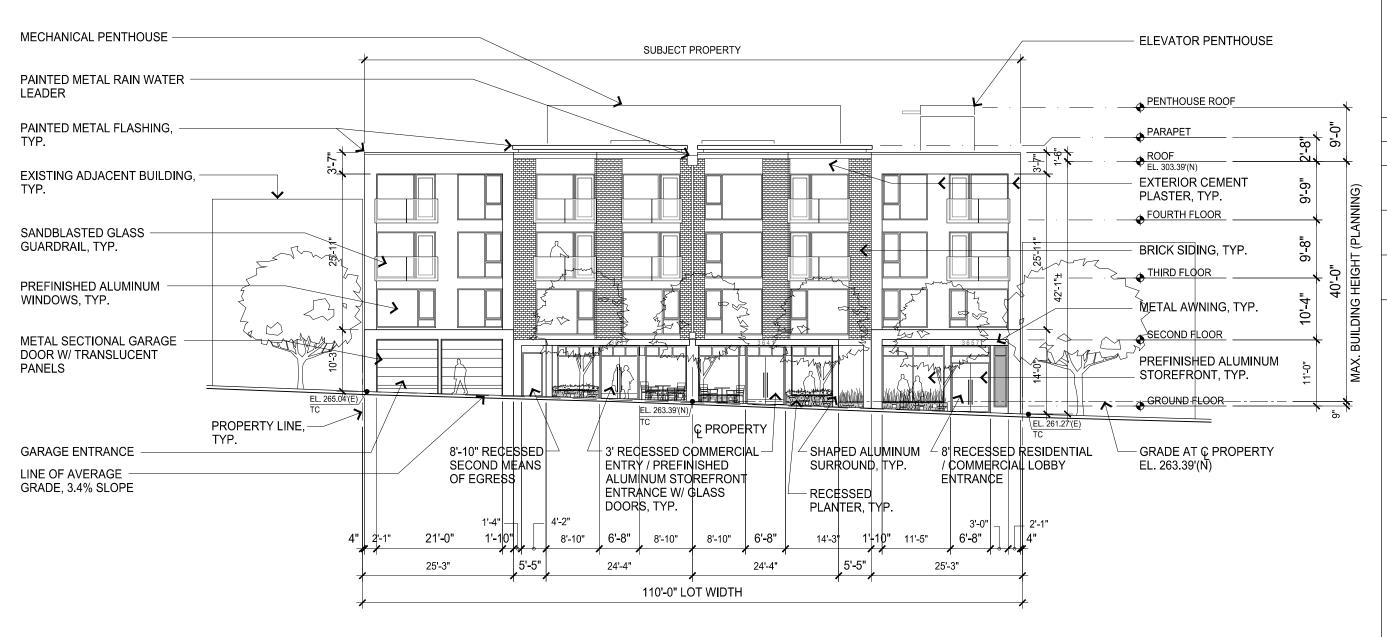
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Proposed Sacramento Street View Rendering

R1



NOTE: GLASS GUARDRAILS SHALL COMPLY WITH BIRD-SAFE GLAZING STANDARDS, TYP.

PROPOSED NORTH ELEVATION (SACRAMENTO STREET)

ALE: 1/16" = 1'-0"

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Exterior Elevation

Scale: 1/16" = 1'-0"



PROPOSED SACRAMENTO STREET COMMERCIAL STOREFRONT VIEW

3637 SACRAMENTO STREET GROUND FLOOR DESIGN CONCEPTS

- COMMERCIAL STOREFRONTS AND RESIDENTIAL LOBBY ORIENTED FOR PEDESTRIAN SCALE:

 STOREFRONTS IN 24' TO 25' WIDE MODULES WITH SMALLER WINDOWS AND PLANTERS

 HORIZONTAL BAND SEPARATES GROUND FLOOR LEVEL COMMERCIAL FROM RESIDENTIAL FLOORS

 VERTICAL PILASTERS DIVIDE COMMERCIAL SPACES AND RESIDENTIAL LOBBY INTO SMALLER STOREFRONT MODULES

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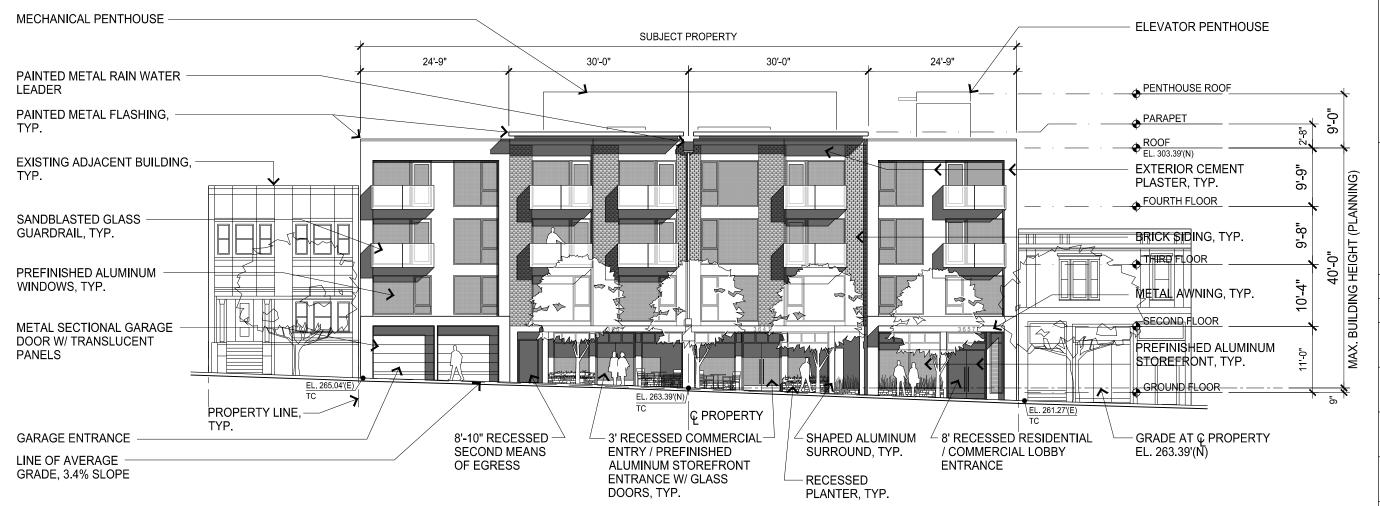
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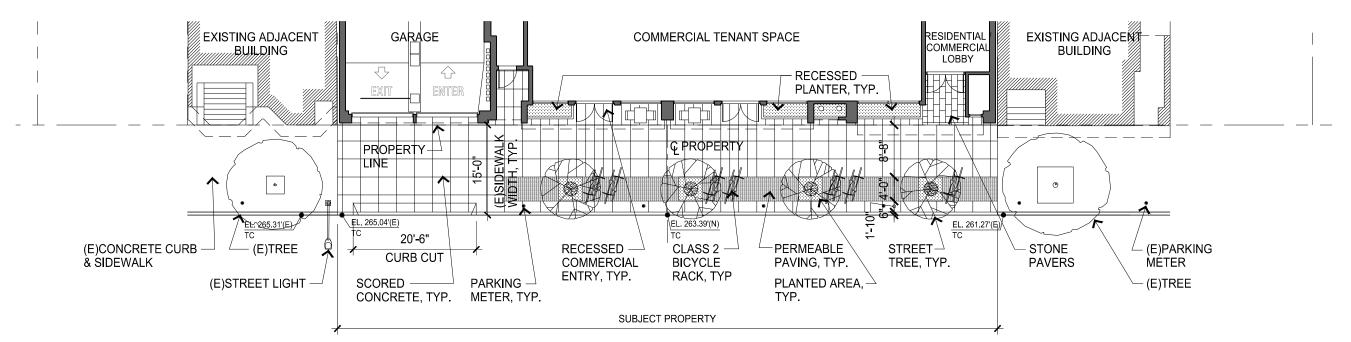
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Proposed Commercial Storefront View Rendering

R2



PROPOSED NORTH ELEVATION (SACRAMENTO STREET)



SACRAMENTO STREET

PROPOSED GROUND LEVEL PLAN - SACRAMENTO STREET FRONTAGE



SCALE: 1/16" = 1'-0"

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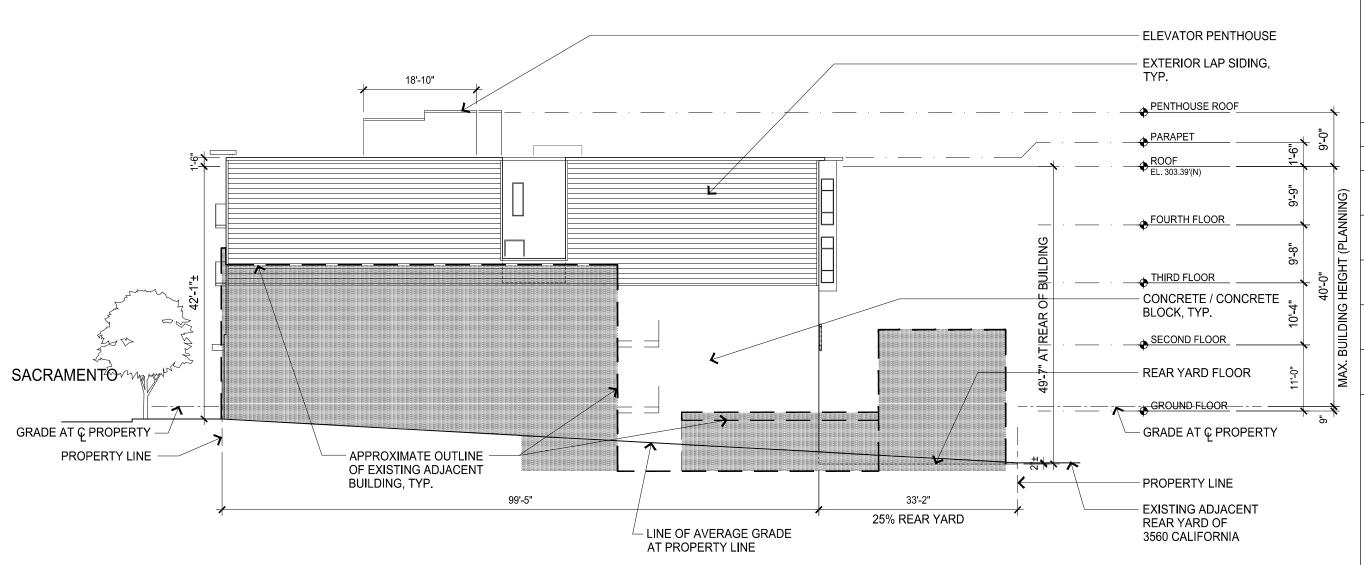
Revision

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Elevation Study

Scale: 1/16" = 1'-0"

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PROPOSED WEST ELEVATION

SCALE: 1/16" = 1'-0"

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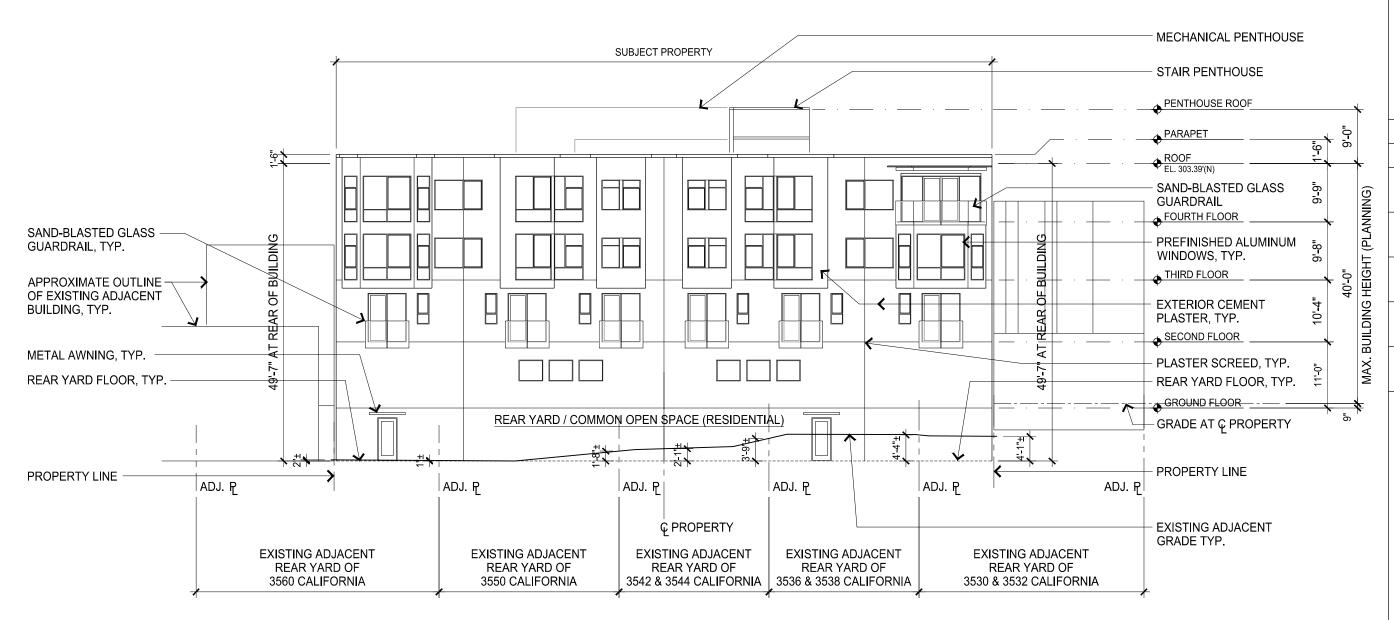
evision

July 31, 2018 Additional Information Requested by Planning

September 24, 2018 Additional Information Requested by Planning

Exterior Elevation

Scale: 1/16" = 1'-0"



GLASS GUARDRAILS SHALL COMPLY WITH BIRD-SAFE GLAZING STANDARDS, TYP.

PROPOSED SOUTH ELEVATION

SCALE: 1/16" = 1'-0"

3637

Sacramento Street

Mixed-Use Condominium Project

San Francisco • California

GARY GEE AIA

GARY GEE ARCHITECTS, INC.

98 Brady Street, #8 San Francisco, CA 94103 Tel 415/863-8881

Project No. 07-018

March 17, 2017

April 28, 2017 Additional Information Requested by Planning

November 21, 2017 Additional Information Requested by Planning/EE

July 12, 2018 Revisions per Owner

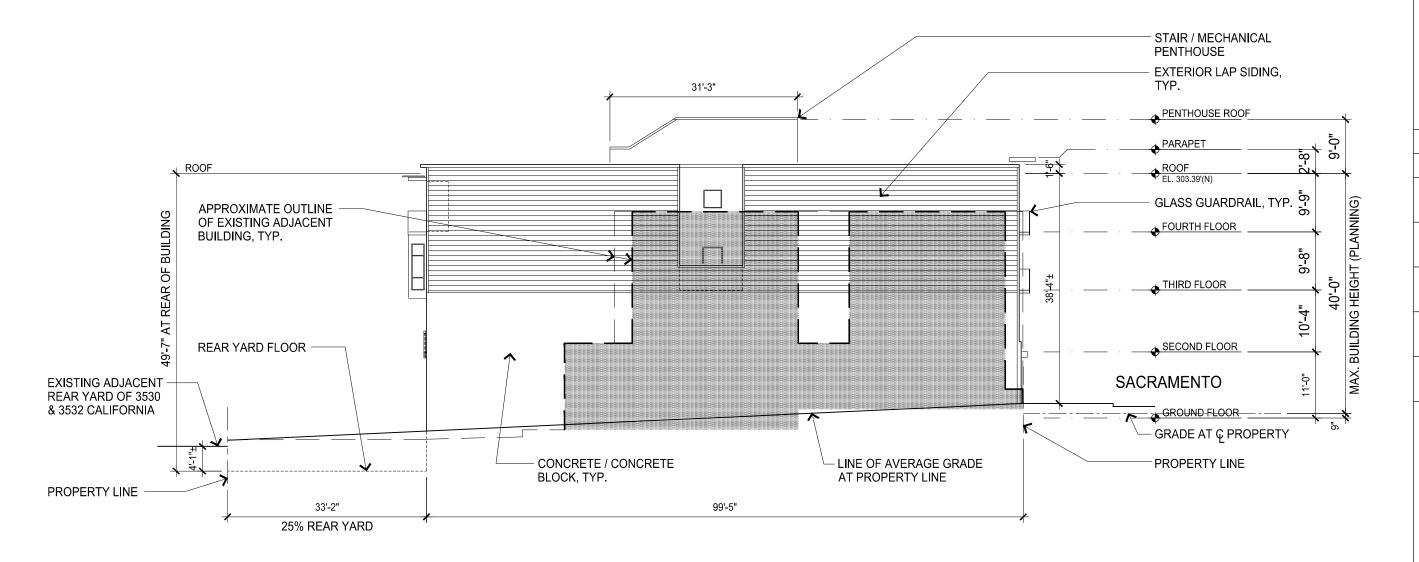
July 31, 2018

Additional Information Requested by Planning

September 24, 2018 Additional Information Requested by Planning

Exterior Elevation

Scale: 1/16" = 1'-0"



PROPOSED EAST ELEVATION

SCALE: 1/16" = 1'-0"

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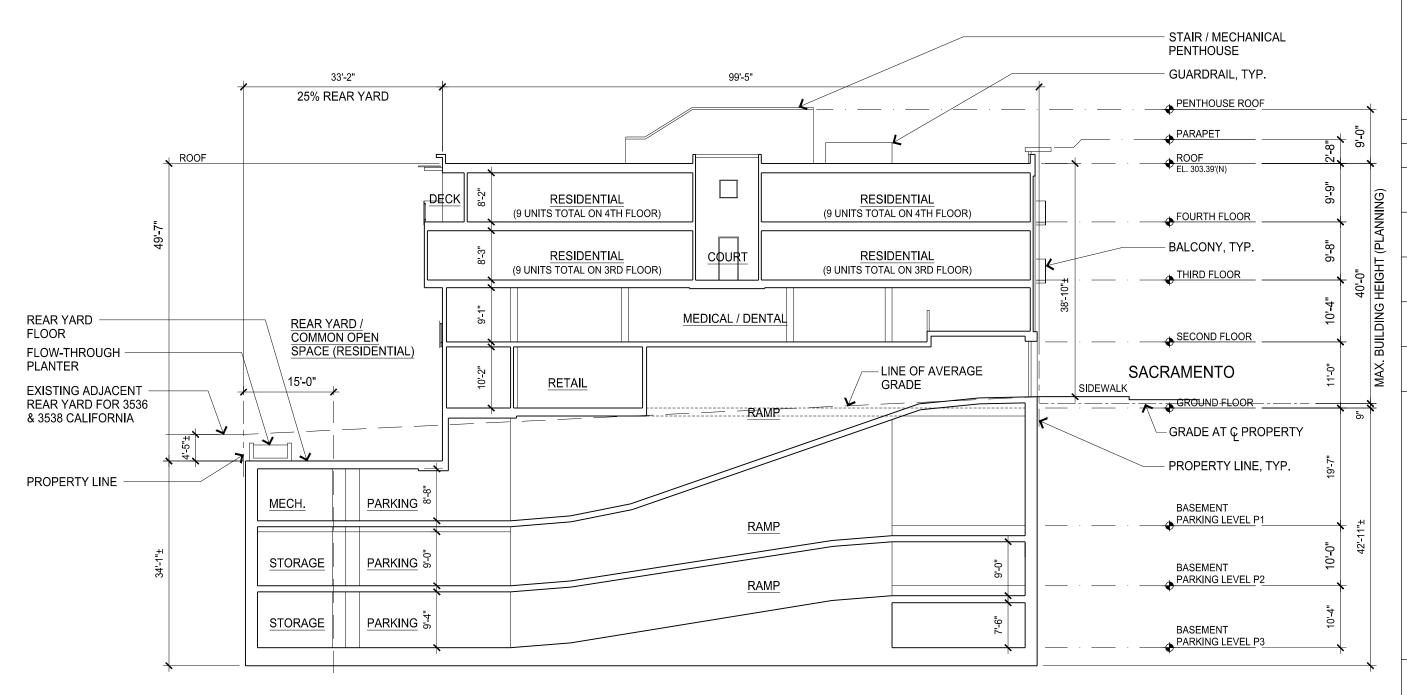
July 12, 2018 Revisions per Owner

July 31, 2018 Additional Information Requested by Planning

September 24, 2018 Additional Information Requested by Planning

Exterior Elevation

Scale: 1/16" = 1'-0"



PROPOSED BUILDING SECTION A - at AUTO RAMP

SCALE: 1/16" = 1'-0"

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July 12, 2018 Revisions per Owner

Revision July 31, 2018

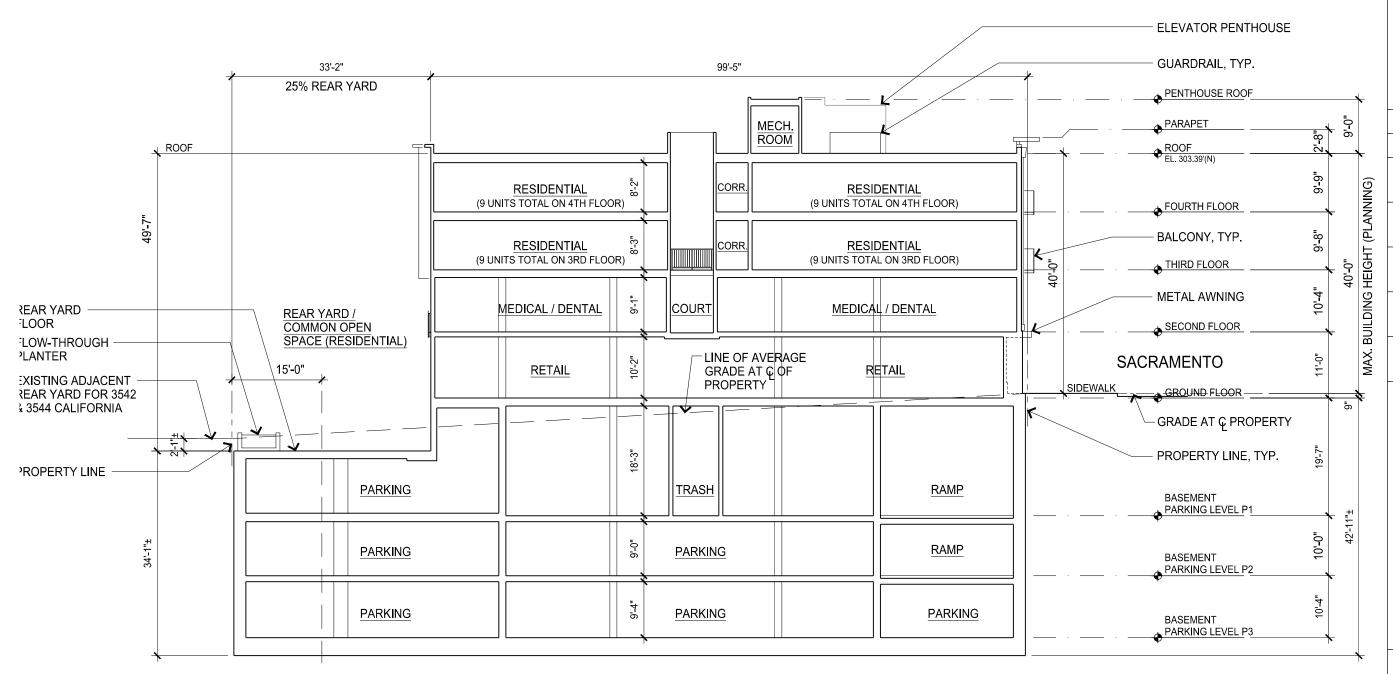
Additional Information
Requested by Planning

September 24, 2018 Additional Information Requested by Planning

Building Section

Scale: 1/16" = 1'-0"

A4.1



PROPOSED BUILDING SECTION B - at CENTERLINE OF LOT

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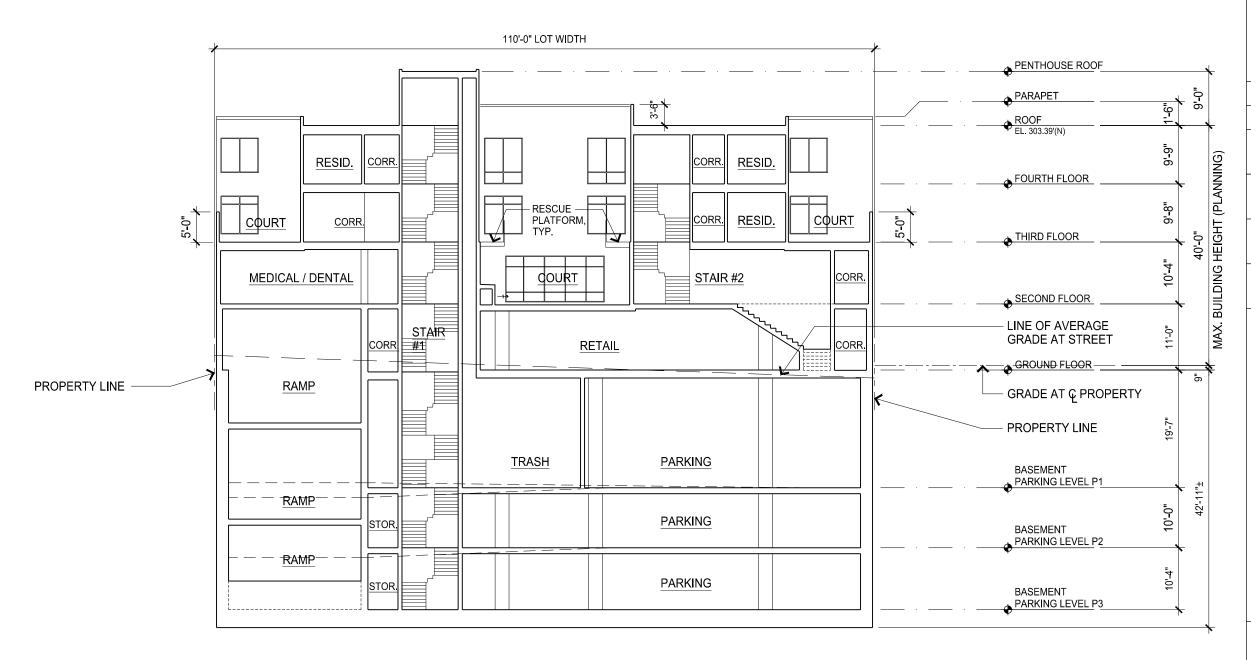
July 31, 2018 Additional Information Requested by Planning

September 24, 2018 Additional Information Requested by Planning

Building Section

Scale: 1/16" = 1'-0"

A4.2



PROPOSED BUILDING SECTION C - CROSS SECTION

SCALE: 1/16" = 1'-0"

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Revision

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Building Section

Scale: 1/16" = 1'-0"

A4.3



METAL SECTIONAL GARAGE DOOR WITH TRANSLUCENT PANELS, TYP.

GARAGE DOOR CONCEPTUAL IMAGE

BONELLI WINDOWS & DOORS
2000 SERIES WINDOW

4 1/2"

HEAD / JAMB
SM. AT FIXED

HORIZONTAL
MULLION

FRAMELESS
DOOR

SILL

BONELLI WINDOWS & DOORS
2000 SERIES NAIL ON FIXED WINDOW

HEAD / JAMB
SM. AT FIXED

FRAMELESS
DOOR

SILL

SILL

TO STANDARD

TO STAN

(B) WINDOW

STOREFRONT PROFILES

(A) DOOR

NO SCALE

SCALE: 1/4" = 1'-0"

SPRINKLER SHUT-OFF PREFINISHED ALUMINUM STOREFRONT RECESSED PLANTER, TYP EXTERIOR CEMENT PLASTER, TYP PROPERTY LINE SCORED CONC. SIDEWALK, TYP. STOREFRONT JAMB



KEY ELEVATION: SACRAMENTO STREET FACADE

SCALE: 1/4" = 1'-0"

METAL AWNING

EXTERIOR CEMENT
PLASTER, TYP.

PREFINISHED ALUMINUM
STOREFRONT, TYP.

RECESSED PLANTER, TYP.

STONE CAP, TYP.

STONE CAP, TYP.

STONE CLADDING, TYP.

GROUND FLOOR

PROPERTY LINE, TYP.

STOREFRONT AT PLANTER

TRANSOM

FRAMELESS TEMP.
GLASS DOOR

PREFINISHED ALUM.
STOREFRONT

PULL, BRUSHED S.S.

KICK PLATE,
BRUSHED S.S.

3'-0"

3'-0"

SCALE: 1/16" = 1'-0"

ENTRY DOOR ELEVATION

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Sacramento

Street
Mixed-Use Condominium Project

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Project No.

Date March 17, 2017

April 28, 2017
Additional Information
Requested by Planning

Revision

November 21, 2017

Additional Information

Requested by Planning/EE

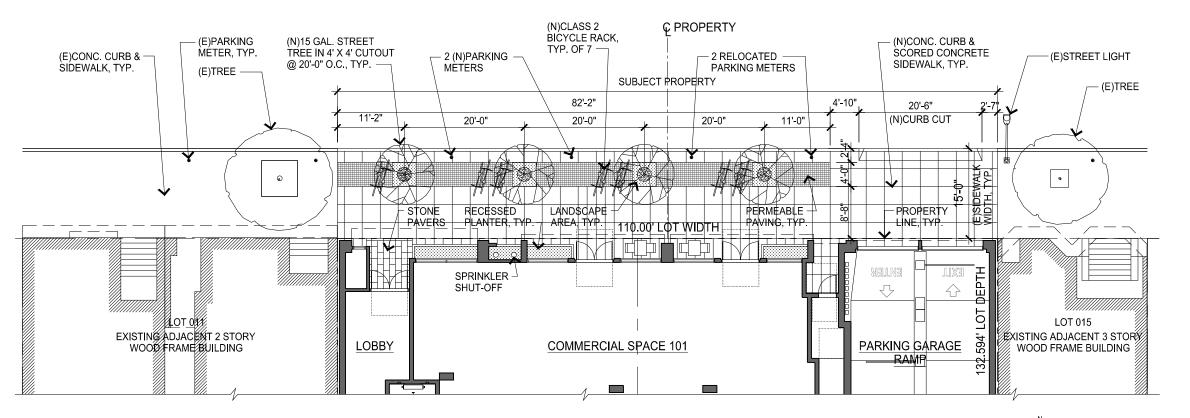
Architectural Profiles

Scale: As noted

A9.1

SCALE: 1/4" = 1'-0"

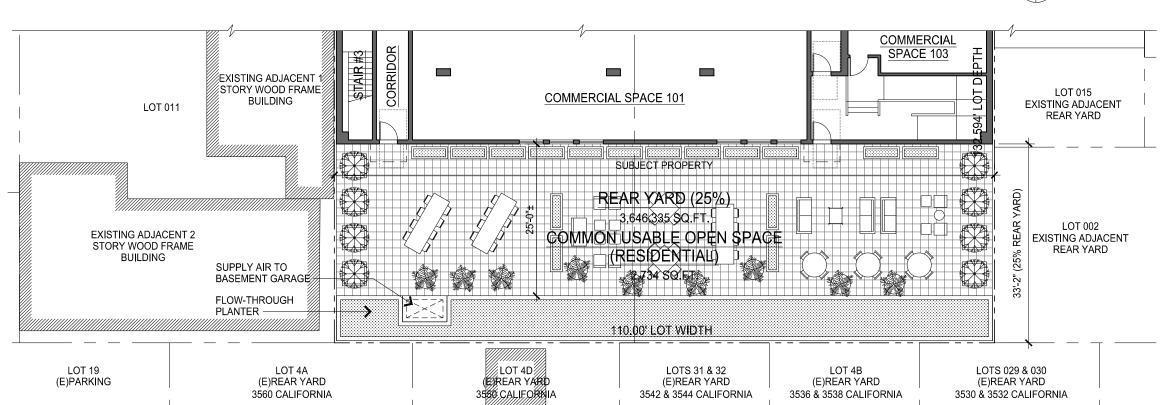
SACRAMENTO STREET 68.75' WIDE







SCALE: 1/16" = 1'-0"



PROPOSED REAR YARD / COMMON OPEN SPACE LANDSCAPE PLAN



SCALE: 1/16" = 1'-0"

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Revision

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Revision

September 24, 2018 Additional Information Requested by Planning

Conceptual Landscape Plan

Scale: 1/16" = 1'-0"

L0.1

FIRST REPUBLIC BANK 3533 CALIFORNIA STREET SAN FRANCISCO, CA 94118 1005

11-8166/3210 19 @CHECK ANNUT

12/05/18

PAY TO THE San Francisco Planning Department ORDER OF______

\$

****617.00

LOCUST STREET TRUST

433 LOCUST ST SAN FRANCISCO, CA 94118

DOLLARS

MEMO 2007.1347CUA 3637-57 Sacramento St. Appeal to Board of Supervisors

AUTHORIZED SIGNATURE

ದಿ Recycled paper utilizes 30% post-consumer content

LOCUST STREET TRUST

1005

12/05/18

San Francisco Planning Department

****617.00

2007.1347CUA 3637-57 Sacramento St. Appeal to Board of Supervisors

Miscellaneous

\$617.00

LOCUST STREET TRUST

1005

12/05/18

San Francisco Planning Department

4***617.00

2007.1347CUA 3637-57 Sacramento St. Appeal to Board of Supervisors

Miscellaneous

\$617.00





BOARD OF SELECTIONS
SALES FOR

semmen -7 AM 10: 15

BOARD OF SUPERVISORS APPEAL FEE WAIVER FOR NEIGHBORHOOD ORGANIZATIONS

APPLICATION

Appellant's Information			
Name: Rachel Lewis			
Address: 433 LOCUST ST. Ema	il Address: Alexwt	@ MA	C.CO
	phone: 415-346-		
Neighborhood Group Organization Information			
Name of Organization: California - Louist	Neighbor's Gra	oup f	tss oci
	il Address: branding	211scel	bych
	phone:		0 0
Property Information	415-407-2	776	
Project Address: 3637-3657 Savvamen	to St.		
Project Application (PRJ) Record No: 2007-1347 CU Buildi			
Date of Decision (if any): $1 - 9 - 18$			
Required Criteria for Granting Waiver All must be satisfied; please attach supporting materials.			
REQUIRED CRITERIA		YES	NO
The appellant is a member of the stated neighborhood organization and is a on behalf of the organization. Authorization may take the form of a letter sig officer of the organization.			
The appellant is appealing on behalf of an organization that is registered with the Planning Department and that appears on the Department's current list of neighborhood organizations.			
The appellant is appealing on behalf of an organization that has been in exis to the submittal of the fee waiver request. Existence may be established by e to the organization's activities at that time such as meeting minutes, resolution	vidence including that relating		
The appellant is appealing on behalf of a neighborhood organization that is is the subject of the appeal.	affected by the project and that		
For Department Use Only Application received by Planning Department:			
Ву:	_ Date:		aagaal eXAre
Submission Checklist:			
☐ APPELLANT AUTHORIZATION ☐ CURRENT ORGANIZATION REG	ISTRATION	ORGANIZATIO	ON AGE
☐ PROJECT IMPACT ON ORGANIZATION			
□ WAIVER APPROVED □ V	VAIVER DENIED		