

NOTICE OF SPECIAL RESTRICTIONS UNDER THE PLANNING CODE

RECORDING REQUESTED BY And When



Doc # 2022065687

Recorded Mail To:

**City and County of San Francisco
Joaquin Torres, Assessor – Recorder**

Name: 988 Harrison Street

7/5/2022	1:33:01 PM	Fees	\$56.00
Pages 15	Title 394	Taxes	\$0.00
Customer 001	AM	Other	\$0.00
		SB2 Fees	\$75.00
		Paid	\$131.00

Address: 2044 Fillmore Street, 3rd Floor

City: San Francisco

State: CA

ZIP: 94115

(Space Above This Line For Recorder's Use)

I, (We) Sean Sullivan, (the "Project Sponsor"), the owner of that certain real property situated in the City and County of San Francisco, State of California more particularly described as follows: (or see attached sheet marked "Exhibit A" on which property is more fully described):

(LEGAL DESCRIPTION AS ON DEED ATTACHED – EXHIBIT A)

BEING ASSESSOR'S BLOCK: 3753, LOT: 148;

COMMONLY KNOWN AS: 988 Harrison St;

hereby give notice that there are special restrictions on the use of said property under Part II, Chapter II of the San Francisco Municipal Code (Planning Code).

Said restrictions consist of conditions attached to Large Project Authorization Application No. **2014.0832** authorized by the Planning Commission of the City and County of San Francisco on **February 25, 2016** as set forth in Planning Commission **Motion No. 19574** for a Large Project Authorization under Planning Code Section 329 to allow the construction of an eight-story building with 90 dwelling units, 73 parking spaces, and approximately 6,845 square feet of ground floor commercial space within an MUR (Mixed Use-Residential) Zoning District and the SoMa Youth and Family Special Use District as well as the 85-X Height and Bulk District.

The approved dwelling unit mix of the project under Motion No. 19574 was 29 studios, 27 one-bedroom units, and 44 two-bedroom units for a total of 100 dwelling units. After the Motion was executed, Planning reviewed and approved a modified dwelling unit mix that includes 5 studios, 49 one-bedroom units, 34 two-bedroom units, and 2 two-bedroom townhome units, for a total of 90 dwelling units.

The following units in the Project have been designated as affordable to satisfy the requirements of Planning Code Section 415 et. al. the Inclusionary Affordable Housing Program. The unit numbers listed below are reflected in the reduced set of plans, dated January 17, 2022, which are attached to this document as Exhibit B.

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Unit #	Unit Type	Unit Size (square feet)	AMI Level
203	1BR/1BA	551	90%
207	2BR/2BA	849	90%
214	Studio/1BA	401	90%
301	2BR/2BA	789	90%
305	2BR/2BA	840	90%
309	1BR/1BA	619	90%
408	1BR/1BA	622	90%
410	1BR/1BA	621	90%
413	2BR/2BA	835	90%
502	2BR/2BA	853	90%
503	1BR/1BA	551	90%
511	1BR/1BA	615	90%

The restrictions and conditions of which notice is hereby given are:

Affordable Units. The following Inclusionary Affordable Housing Requirements are those in effect at the time of Planning Commission action. In the event that the requirements change, the Project shall comply with the requirements in place at the time of issuance of first construction document.

- Number of Required Units.** Pursuant to Planning Code Section 415.6, the Project is required to provide thirteen and one half percent (13.5%) of the proposed dwelling units as affordable to qualifying households. The Project contains ninety (90) units; therefore, twelve (12) affordable units are currently required. The Project Sponsor will fulfill this requirement by providing the twelve (12) affordable units on-site. If the number of market-rate units change, the number of required affordable units shall be modified accordingly with written approval from Planning Department staff in consultation with the Mayor's Office of Housing and Community Development ("MOHCD").
For information about compliance, contact the Planning Department at 628-652-7600, www.sfplanning.org or the Mayor's Office of Housing and Community Development at 415-701-5500, www.sfmohcd.org.
- Unit Mix.** The Project contains five (5) studios, forty-nine (49) one-bedroom units, 34 two-bedroom units, and 2 two-bedroom townhome units; therefore, the required affordable unit mix is one (1) studio unit, six (6) one-bedroom units, and five (5) two-bedroom units. If the market-rate unit mix changes, the affordable unit mix will be

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modified accordingly with written approval from Planning Department staff in consultation with MOHCD.

For information about compliance, contact the Planning Department at 628-652-7600, www.sfplanning.org or the Mayor's Office of Housing and Community Development at 415-701-5500, www.sfmohcd.org.

3. **Income Levels for Affordable Units.** Pursuant to Planning Code Section 415.3, the Project is required to provide 13.5% of the proposed dwelling units as affordable to qualifying households at a sales price of 90% of Area Median Income. If the number of market-rate units change, the number of required affordable units shall be modified accordingly with written approval from Planning Department staff in consultation with MOHCD.
For information about compliance, contact the Planning Department at 628-652-7600, www.sfplanning.org or the Mayor's Office of Housing and Community Development at 415-701-5500, www.sfmohcd.org.
4. **Phasing.** If any building permit is issued for partial phasing of the Project, the Project Sponsor shall have designated not less than 13.5% of each phase's total number of dwelling units as affordable on-site units.
For information about compliance, contact the Planning Department at 628-652-7600, www.sfplanning.org or the Mayor's Office of Housing and Community Development at 415-701-5500, www.sfmohcd.org.
5. **Duration.** Under Planning Code Section 415.8, all units constructed pursuant to Section 415.6 must remain affordable to qualifying households for the life of the Project.
For information about compliance, contact the Planning Department at 628-652-7600, www.sfplanning.org or the Mayor's Office of Housing and Community Development at 415-701-5500, www.sfmohcd.org.
6. **Other Conditions.** The Project is subject to the requirements of the Inclusionary Affordable Housing Program under Section 415 et seq. of the Planning Code and City and County of San Francisco Inclusionary Affordable Housing Program Monitoring and Procedures Manual ("Procedures Manual"), as amended from time to time. The Procedures Manual is incorporated herein by reference, as published and adopted by the Planning Commission, and as required by Planning Code Section 415. Terms used in these conditions of approval and not otherwise defined shall have the meanings set forth in the Procedures Manual. A copy of the Procedures Manual can be obtained at the MOHCD at 1 South Van Ness Avenue or on the Planning Department or MOHCD websites, including on the internet at: <https://sfmohcd.org/inclusionary-housing-program-manuals>. As provided in the Inclusionary Affordable Housing Program, the applicable Procedures Manual is the manual in effect at the time the subject units are made available for sale.
For information about compliance, contact the Planning Department at 628-652-7600, www.sfplanning.org or the Mayor's Office of Housing and Community Development at 415-701-5500, www.sfmohcd.org.
 - a. The affordable unit(s) shall be designated on the building plans prior to the issuance of the first construction permit by the Department of Building Inspection ("DBI"). The affordable unit(s) shall (1) be constructed, completed, ready for

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occupancy and marketed no later than the market rate units, and (2) be evenly distributed throughout the building floor plates; and (3) be of comparable overall quality, construction and exterior appearance as the market rate units in the principal project. The interior features in affordable units should be generally the same as those of the market units in the principal project, but need not be the same make, model or type of such item as long they are of good and new quality and are consistent with then-current standards for new housing. Other specific standards for on-site units are outlined in the Planning Code and Procedures Manual.

- b. When the units in the building are offered for sale, the affordable unit(s) shall be sold to Qualified Buyer Household, as defined in the Procedures Manual, including but not limited to First-time Homebuyer requirement. The affordable unit shall be priced to be affordable to households whose gross annual income, adjusted for household size, does not exceed ninety (90) percent of the median income for the City and County of San Francisco as defined in the Inclusionary Affordable Housing Program. The initial sales price of such units shall be calculated according to the Procedures Manual. Limitations on (i) reselling; (ii) renting; (iii) recouping capital improvements; (iv) refinancing; and (v) procedures for inheritance apply and are forth in the Procedures Manual.
- c. The Project Sponsor is responsible for following the marketing, reporting, and monitoring requirements and procedures as set forth in the Procedures Manual. MOHCD shall be responsible for overseeing and monitoring the marketing of affordable units. The Project Sponsor must contact MOHCD at least eight months prior to the beginning of marketing for any unit in the building.
- d. Required parking spaces shall be made available to initial buyers of affordable units according to the Procedures Manual.
- e. Prior to the issuance of the architectural addenda for the Project, the Project Sponsor shall record a Notice of Special Restriction on the property that contains these conditions of approval and a reduced set of plans that identify the affordable units satisfying the requirements of this approval, satisfied through the recordation of this Notice. The Project Sponsor shall promptly provide a copy of the recorded Notice of Special Restriction to the Planning Department and to MOHCD or its successor.
- f. The Project Sponsor has demonstrated that it is eligible for the On-Site Affordable Housing Alternative under Planning Code Section 415.6 instead of payment of the Affordable Housing Fee, and has submitted the Affidavit of Compliance with the Inclusionary Affordable Housing Program: Planning Code Section 415 to the Planning Department stating that any affordable units designated as on-site units shall be sold as ownership units and will remain as ownership units for the life of the Project.

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- g. If the Project Sponsor fails to comply with the Inclusionary Affordable Housing Program requirement, the Director of DBI shall deny any and all site or building permits or certificates of occupancy for the development project until MOHCD notifies the Director of compliance. A Project's failure to comply with the requirements of Planning Code Section 415 et seq. shall constitute cause for the City to record a lien against the development project and to pursue any and all available remedies at law, including penalties and interest, if applicable.**

The use of said property contrary to these special restrictions shall constitute a violation of the Planning Code, and no release, modification or elimination of these restrictions shall be valid unless notice thereof is recorded on the Land Records by the Zoning Administrator of the City and County of San Francisco; except that in the event that the zoning standards above are modified so as to be less restrictive and the uses therein restricted are thereby permitted and in conformity with the provisions of the Planning Code, this document would no longer be in effect and would be null and void.

NOTICE OF SPECIAL RESTRICTIONS UNDER THE PLANNING CODE

(Signature) Sean Sullivan
(Signature) (Printed Name)

Dated: July, 1, 2022 at San Francisco, California.
(Month, Day) (City)

(Signature) (Printed Name)

Dated: _____, 20 at _____, California.
(Month, Day) (City)

(Signature) (Printed Name)

Dated: _____, 20 at _____, California.
(Month, Day) (City)

Each signature must be acknowledged by a notary public before recordation; add Notary Public Certification(s) and Official Notarial Seal(s) below.

ACKNOWLEDGMENT

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California
County of San Francisco)

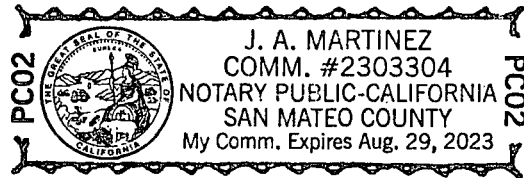
On July 1st, 2022 before me, J A Martinez - Notary Public
(insert name and title of the officer)

personally appeared Sean Sullivan
who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.

Signature 



(Seal)

EXHIBIT "A"
DESCRIPTION OF REAL PROPERTY

This Exhibit "A" is attached to that certain Deed of Trust, Assignment of Rents, Security Agreement and Fixture Filing (Construction Trust Deed) dated May 11, 2022, executed by HARRISON STREET SF LLC, a Delaware limited liability company, as Trustor.

LEGAL DESCRIPTION:

Real property in the City of San Francisco, County of San Francisco, State of California, described as follows:

PARCEL ONE:

COMMENCING AT THE POINT OF INTERSECTION OF THE NORTHWESTERLY LINE OF HARRISON STREET AND THE NORTHEASTERLY LINE OF 6TH STREET, RUNNING THENCE NORTHWESTERLY ALONG SAID NORTHEASTERLY LINE OF 6TH STREET 57 FEET, THENCE AT RIGHT ANGLES NORTHEASTERLY AND PARALLEL WITH HARRISON STREET 75 FEET, THENCE AT RIGHT ANGLES NORTHWESTERLY AND PARALLEL WITH 6TH STREET 23 FEET, THENCE AT RIGHT ANGLES NORTHEASTERLY AND PARALLEL WITH HARRISON STREET 13 FEET 5 INCHES, AND THENCE AT RIGHT ANGLES SOUTHEASTERLY AND PARALLEL WITH 6TH STREET 80 FEET TO THE NORTHWESTERLY LINE OF HARRISON STREET, AND THENCE SOUTHWESTERLY ALONG SAID NORTHWESTERLY LINE OF HARRISON STREET 88 FEET AND 5 INCHES TO THE NORTHEASTERLY LINE OF 6TH STREET AND THE POINT OF COMMENCEMENT.

PARCEL TWO:

COMMENCING AT A POINT FORMED BY THE INTERSECTION OF THE SOUTHEASTERLY LINE OF CLARA STREET WITH THE NORTHEASTERLY LINE OF SIXTH STREET; RUNNING THENCE NORTHEASTERLY ALONG SAID LINE OF CLARA STREET 72 FEET; THENCE AT RIGHT ANGLE SOUTHEASTERLY 28 FEET; THENCE AT A RIGHT ANGLE NORTHEASTERLY 3 FEET; THENCE AT RIGHT ANGLE SOUTHEASTERLY 75 FEET; THENCE AT A RIGHT ANGLE SOUTHWESTERLY 75 FEET TO SAID NORTHEASTERLY LINE OF SIXTH STREET; THENCE NORTHWESTERLY ALONG SAID LINE OF SIXTH STREET 103 FEET TO THE POINT OF COMMENCEMENT.

BEING PART OF 100 VARA BLOCK NO. 383.

EXCEPTING THEREFROM:

ALL RIGHT, TITLE AND INTEREST, IF ANY, IN AND TO ANY OIL, GAS, AND OTHER MINERALS (INCLUDING, WITHOUT LIMITATION, HELIUM, LIGNITE, SULFUR, PHOSPHATE AND OTHER SOLID, LIQUID AND GASEOUS SUBSTANCES), REGARDLESS OF THE NATURE THEREOF AND WHETHER SIMILAR OR DISSIMILAR BUT ONLY TO THE EXTENT ANY OF THE FORGOING IS IN ITS NATURAL STATE AND NATURAL LOCATIONS AND NOT SUBJECT TO THE DOMINION AND CONTROL OF ANY PERSON, AND, UPON THIRTY (30) DAYS PRIOR WRITTEN NOTICE TO GRANTEE, THE RIGHT TO EXPLORE FOR, DEVELOP AND PRODUCE SAME, AS WELL AS THE RIGHT TO LEASE SUCH PORTION OF THE PROPERTY HEREBY EXCEPTED FOR SUCH PURPOSES, AND ALL MINERAL AND ROYALTY RIGHTS WHATSOEVER IN, ON, UNDER AND PERTAINING TO THE PROPERTY BUT GRANTOR, ITS SUCCESSORS AND ASSIGNS, SHALL HAVE NO RIGHT TO USE, OR RIGHT OF INGRESS TO OR EGRESS FROM ANY PART OF THE SURFACE OF THE PROPERTY FOR EXPLORATION AND PRODUCING PURPOSES, EXCEPT WITH RESPECT TO (I) CURRENT ACTIVITIES AT AND ANY EXISTING CONTRACTUAL OR LEASEHOLD RIGHTS GRANTED TO THIRD PARTIES AND (II) ANY ADDITIONAL ACTIVITIES WHICH HAVE BEEN CONSENTED TO IN WRITING BY GRANTEE, WHOSE CONSENT SHALL NOT BE UNREASONABLY WITHHELD, EXCEPT AS SET FORTH IN THE PRECEDING SENTENCE, ANY OIL AND GAS DRILLING OPERATIONS, SHALL BE CONDUCTED BY MEANS OF WELLS, THE SURFACE LOCATIONS OF WHICH ARE ON OTHER LANDS AND WHICH MAY BE DRILLED INTO AND BOTTOMED IN OR UNDER THE PROPERTY. GRANTOR SHALL EXERCISE ITS RIGHTS UNDER THE FOREGOING MINERAL, OIL AND GAS RESERVATION

SO AS NOT TO DISTURB ANY IMPROVEMENTS, INSTALLATIONS, PETROLEUM OR OTHER PRODUCTS CONTAINED IN SUCH IMPROVEMENTS OR INSTALLATIONS OR SURFACE ACTIVITIES ON THE PROPERTY. GRANTOR IS TO RECEIVE AND RETAIN ALL BONUSES, RENTALS AND ROYALTIES PAYABLE UNDER ANY SUCH MINERAL, OIL AND GAS LEASE OR LEASES. GRANTOR MAY ASSIGN, TRANSFER, SELL OR CONVEY SUCH OIL, GAS AND MINERAL RESERVATION TO ANY PERSON, CORPORATION, PARTNERSHIP OR OTHER ENTITY AS RESERVED BY SHELL OIL COMPANY BY GRANT DEED RECORDED JULY 1, 1998, INSTRUMENT NO. 98-380524, OFFICIAL RECORDS.

Assessor's Lot: 148, Block: 3753

NOTICE OF SPECIAL RESTRICTIONS UNDER THE PLANNING CODE

EXHIBIT B

PLANS OF PROJECT INDICATING LOCATION OF AFFORDABLE UNITS

[INTENTIONALLY LEFT BLANK]

RATED PROTECTIVE OPENINGS:

- AT 1-HOUR WALLS
20-MINUTE FIRE RATED DOORS - CORRIDORS / UNIT ENTRY
- AT 2-HOUR WALLS
10-MINUTE FIRE RATED DOORS - STAIR ENCLOSURES / TRASH CHUTE

NOTES

- EQUIPPED THROUGHOUT WITH AN APPROVED AUTOMATIC SPRINKLER SYSTEM IN ACCORDANCE WITH CBC 903.1.1 AND AN APPROVED EMERGENCY VOICED ALARM COMMUNICATION SYSTEM IN ACCORDANCE WITH CBC 903.2.2.
- SHEAR WALLS SHOWN FOR REFERENCE ONLY; SEE STRUCTURAL DRAWINGS.
- PER CBC 204 SEC. 1009.2.1, EX. 1: ELEVATOR SHALL NOT BE CONSIDERED PART OF AN ACCESSIBLE MEANS OF EGRESS. STANDBY POWER SHALL NOT BE PROVIDED IN ACCORDANCE CBC SECTION 27, AS IT IS NOT A PART AN ACCESSIBLE MEAN OF EGRESS.
- PER CBC 204 SEC. 1009.4, EALL ELEVATORS ARE NOT REQUIRED TO BE ACCESSED FROM AN AREA OF REFUGE IN CONSULTATION WITH A HORIZONTAL EXIT.
- PROVIDE TWO-WAY COMMUNICATION DEVICE AT ELEVATOR AT ALL LEVELS ABOVE LEVEL OF DISCHARGE, PER CBC 1008.6.
- ELEVATOR SHAFT ENCLOSURE TO COMPLY WITH CBC 713.4.
- SMOKE DOORS ON MAGNETIC HOLD-OPEN HARDWARE PROVIDED AT THE HOISTWAY OPENINGS ON ALL FLOORS EXCEPT GROUND FLOOR AND ROOF.
- CLASS I DRY STANDPIPE, PER NFPA 14 & CBC SECTION 905, TYP., LOCATIONS INDICATED ON PLANS AS PER 6 TO COMPLY WITH SFDD 48.06.
- FOR PENETRATIONS THROUGH RATED WALLS, CEILING, OR ROOF, SEE 904.10.1.1.

rg-architecture
428 SOUTH VAN NESS AVENUE
SAN FRANCISCO, CA 94110
415.448.8272
info@rg-architecture.com



REVISED DATE:

REVISIONS NO.	DATE	ISSUE
08/19/20		PLAN CHECK
11/18/22		SFPD PLAN CHECK
11/19/20		50% CD
04/17/22		100% CD
01/26/22		ADDENDA 2

ISSUE
01/26/22 ADDENDA 2

OWNER
988 HARRISON SF LLC
2044 Filmore Street, 3rd Floor
San Francisco, CA 94103

PROJECT NAME
988 Harrison St / 377 6th St.
San Francisco, CA 94107

BLOCK/LOT
3753/148

SCALE
AS NOTED

DRAWN BY
SR

CHECKED BY
RG

PROJECT NO.
2019/2

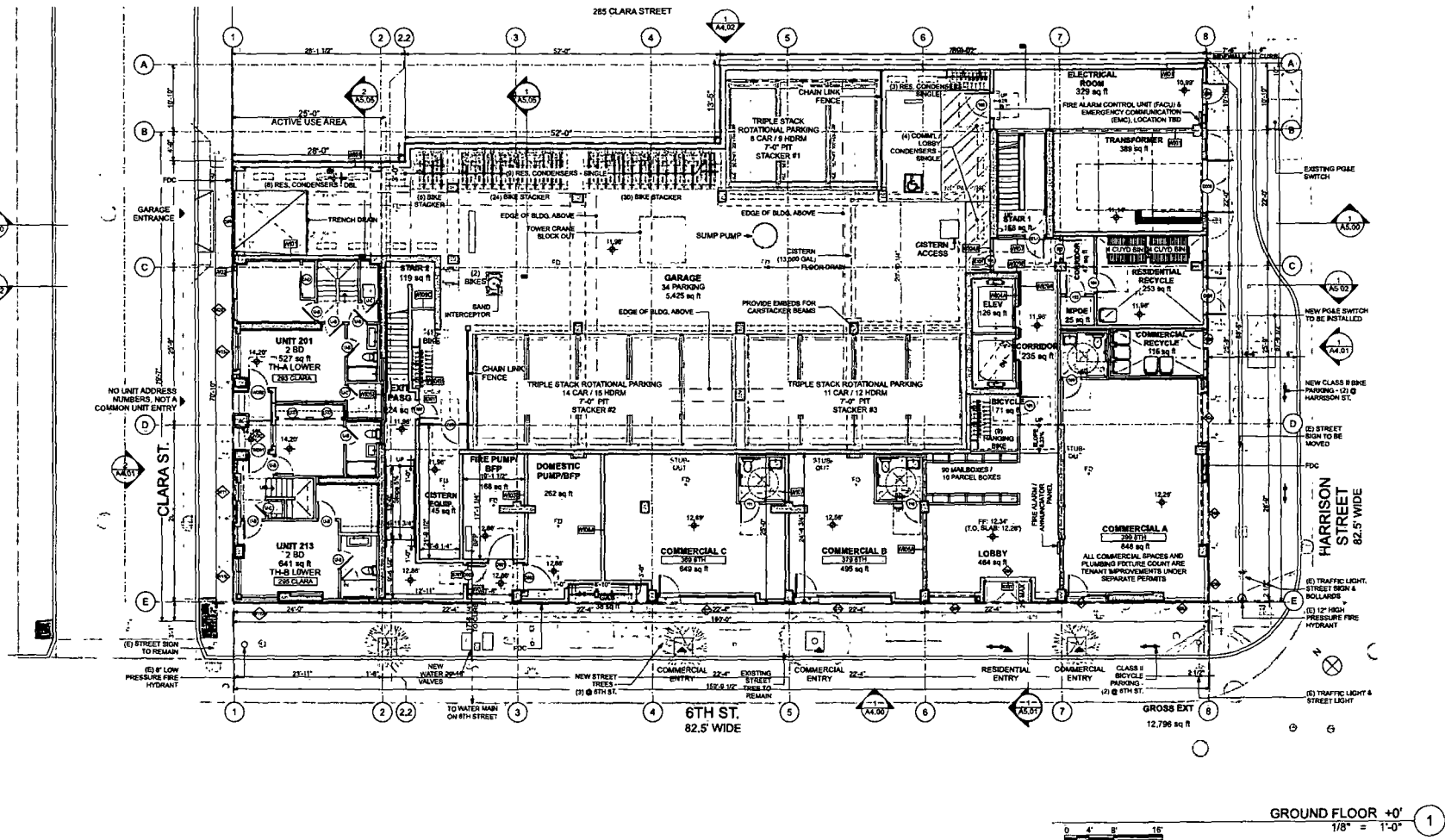
DATE OF PUBLICATION
1/26/22

DATE OF PUBLICATION
1/26/22

GROUND FLOOR PLAN

DRAWING NO. 24 OF 100

A2.01

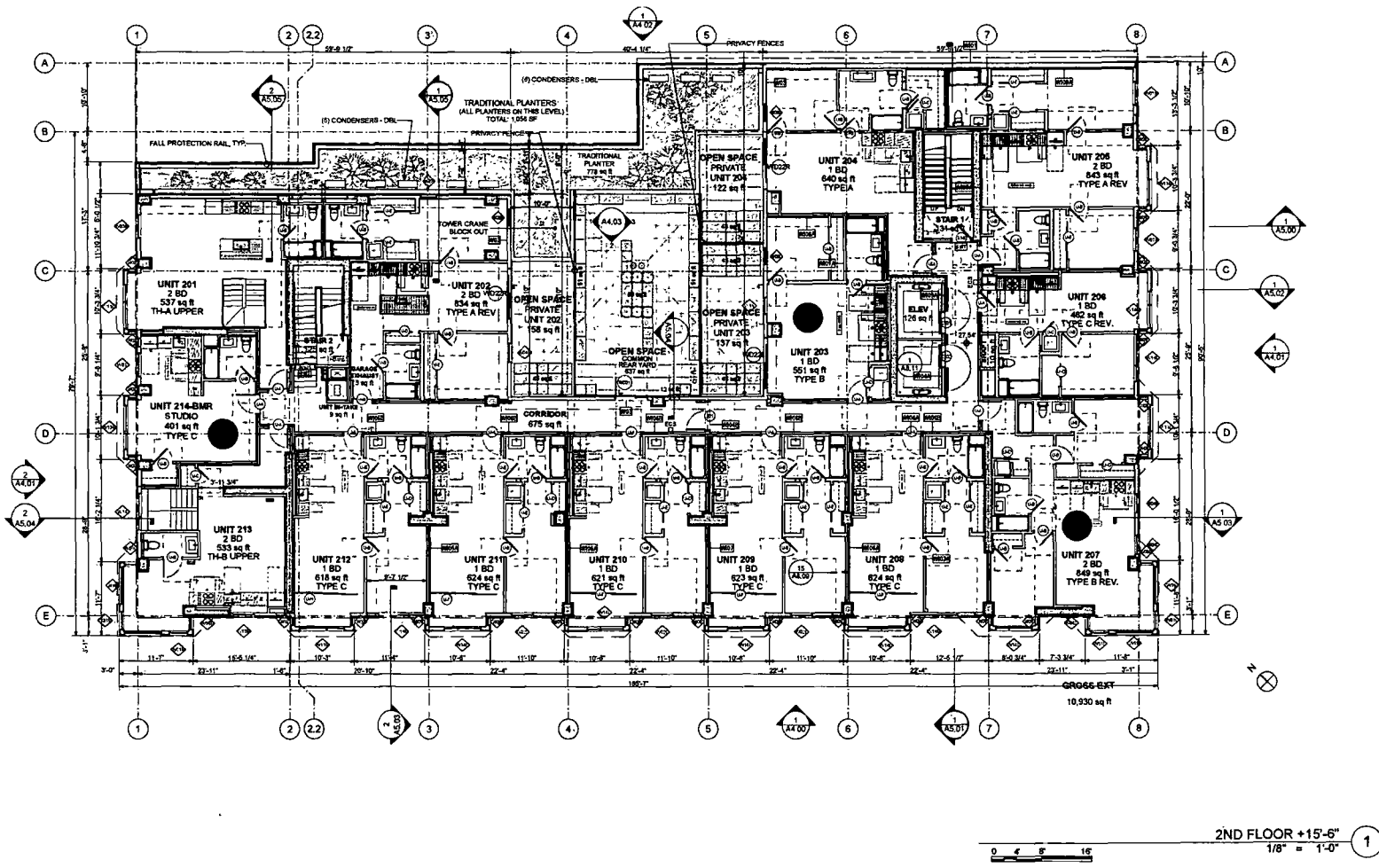


RATED PROTECTIVE OPENINGS:

- AT 1-HOUR WALLS
- 20-MINUTE FIRE RATED DOORS - CORRIDORS / UNIT ENTRY
- AT 2-HOUR WALLS
- 90-MINUTE FIRE RATED DOORS - STAIR ENCLOSURES / TRASH CHUTE

NOTES

01. EQUIPPED THROUGHOUT WITH AN APPROVED AUTOMATIC SPRINKLER SYSTEM IN ACCORDANCE WITH CBC 903.1.1 AND AN APPROVED EMERGENCY VOICEALARM COMMUNICATION SYSTEM IN ACCORDANCE WITH CBC 907.5.2.3.
02. SHEAR WALLS SHOWN FOR REFERENCE ONLY. SEE STRUCTURAL DRAWINGS.
03. PER CBC 2018 SEC 1099.2.1, EX. 1: ELEVATOR SHALL NOT BE CONSIDERED PART OF AN ACCESSIBLE MEANS OF EGRESS. STANDBY POWER SHALL NOT BE PROVIDED IN ACCORDANCE CBC SECTION 17.45.11.6. NOT A FINIT AN ACCESSIBLE MEAN OF EGRESS.
04. PER CBC 2018 SEC 1099.4. ELEVATORS ARE NOT REQUIRED TO BE ACCESSIBLE FROM AN AREA OF REFUGE IN CONJUNCTION WITH A HORIZONTAL EXIT.
05. PROVIDE TWO-WAY COMMUNICATION DEVICE AT ELEVATOR AT ALL LEVELS ABOVE LEVEL OF DISCHARGE, PER CBC 1009.6.
06. ELEVATOR SHAFT ENCLOSURE TO COMPLY WITH CBC 713.4.
07. SMOKE DOORS ON MAGNETIC HOLD-OPEN HARDWARE PROVIDED AT THE HOSTWAY OPENINGS ON ALL FLOORS EXCEPT GROUND FLOOR AND ROOF.
08. CLASS I DRY STANDPIPE, PER NFPA 14 & CBC SECTION 905, TYP., LOCATIONS INDICATED ON PLANS AS TYP. & TO COMPLY WITH SFPA AD-09.
09. FOR PENETRATIONS THROUGH RATED WALLS, CEILING, OR ROOF, SEE #140(N),



REVISIONS	NO.	DATE	ISSUE
	001	08/19/20	PLAN CHECK
	002	11/19/20	SFFD PLAN CHECK
	003	11/19/20	50% CD
	004	01/17/22	100% CD

ISSUE
01/17/22 100% CD SET

OWNER
988 HARRISON SF LLC
2044 Filmore Street, 3rd Floor
San Francisco, CA 94103

PROJECT NAME
**988 Harrison St./
377 6th St.**
San Francisco, CA 94107

BLOCK/LOT
3753/146

SCALE
AS NOTED
DRAWN BY
SX
CHECKED BY
RG
PROJECT NO.
201902
DATE OF PUBLICATION
1/20/22

**SECOND FLOOR
PLAN**

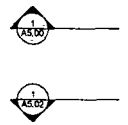
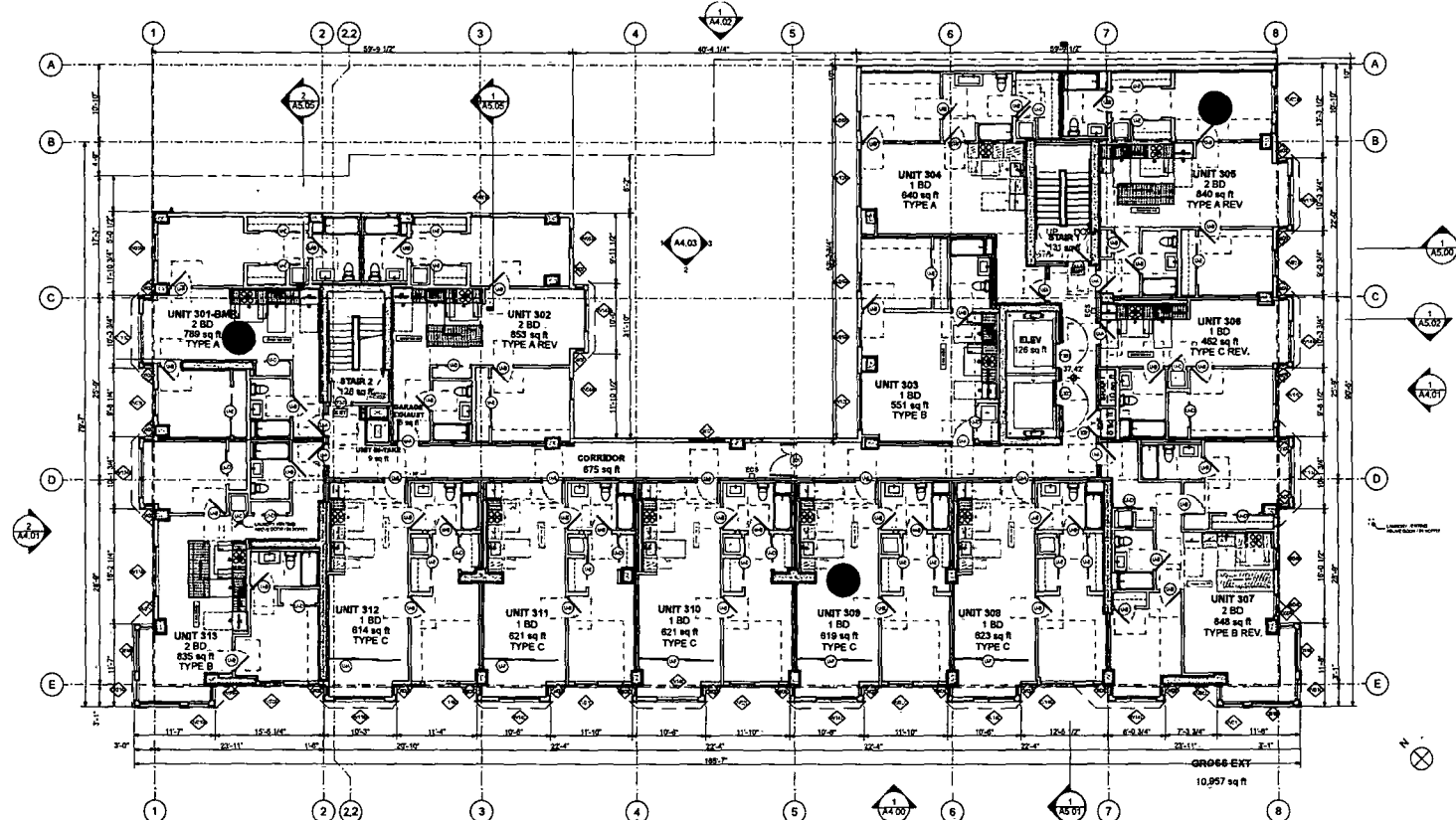
RATED PROTECTIVE OPENINGS:

AT 1-HOUR WALLS
20-MINUTE FIRE RATED DOORS - CORRIDORS / UNIT ENTRY

AT 2-HOUR WALLS
90-MINUTE FIRE RATED DOORS - STAIR ENCLOSURES / TRASH CHUTE

NOTES

01. EQUIPPED THROUGHOUT WITH AN APPROVED AUTOMATIC SPRINKLER SYSTEM IN ACCORDANCE WITH CBC 903.3.1.1 AND AN APPROVED EMERGENCY VOICEMAIL COMMUNICATION SYSTEM IN ACCORDANCE WITH CBC 907.2.2.
02. SHEAR WALLS SHOWN FOR REFERENCE ONLY; SEE STRUCTURAL DRAWINGS
03. PER CBC 2014 SEC. 1209.2.1, EX. 1 ELEVATOR B-MALL **NOT** BE CONSIDERED PART OF AN ACCESSIBLE MEANS OF EGRESS; STANDBY POWER SHALL **NOT** BE PROVIDED IN ACCORDANCE CBC SECTION 27, AS IT IS NOT A PART AN ACCESSIBLE MEAN OF EGRESS.
04. PER CBC 2014 SEC. 1209.4, E.L.S, ELEVATORS ARE NOT REQUIRED TO BE ACCESSSED FROM AN AREA OF REFUGE IN CONNECTION WITH A HORIZONTAL EXIT.
05. PROVIDE TWO-WAY COMMUNICATION DEVICE AT ELEVATOR AT ALL LEVELS ABOVE LEVEL OF DISCHARGE, PER CBC 1009.3.
06. ELEVATOR SHAFT ENCLOSURE TO COMPLY WITH CBC 713.4.
07. SMOKE DOORS ON MAGNETIC HOLD-OPEN HARDWARE PROVIDED AT THE HOISTWAY OPENINGS ON ALL FLOORS EXCEPT GROUND FLOOR AND ROOF.
08. CLASS I DRY STANDPIPE, PER HFM 14 & CBC SECTION 905 TYPE; LOCATIONS INDICATED ON PLANS AS TR & TO COMPLY WITH SFD04B.09.
09. FOR PENETRATIONS THROUGH RATED WALLS, CEILING, OR ROOF; SEE PLAN 04(04).



3RD FLOOR +25'-4 1/2" (1)
0 4 8 16
1/8" = 1'-0"

rg-architecture
428 SOUTH VAN NESS AVENUE
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REVISIONS

NO.	DATE	ISSUE
08/18/20		PLAN CHECK
11/19/20		SFD PLAN CHECK
11/19/20		50% CD
01/17/22		100% CD

ISSUE
01/17/22 100% CD SET

OWNER
988 HARRISON SF LLC
2044 Filmore Street, 3rd Floor
San Francisco, CA 94103

PROJECT NAME
**988 Harrison St./
377 6th St.**
San Francisco, CA 94107

BLOCK/LOT
3753/148

SCALE
AS NOTED

DRAWN BY
SK

CHECKED BY
RG

PROJECT NO.
201902
DATE OF PUBLICATION
1/20/22

**THIRD FLOOR
PLAN**

DRAWING NO. 24 OF 100

A2.03

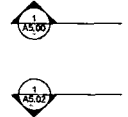
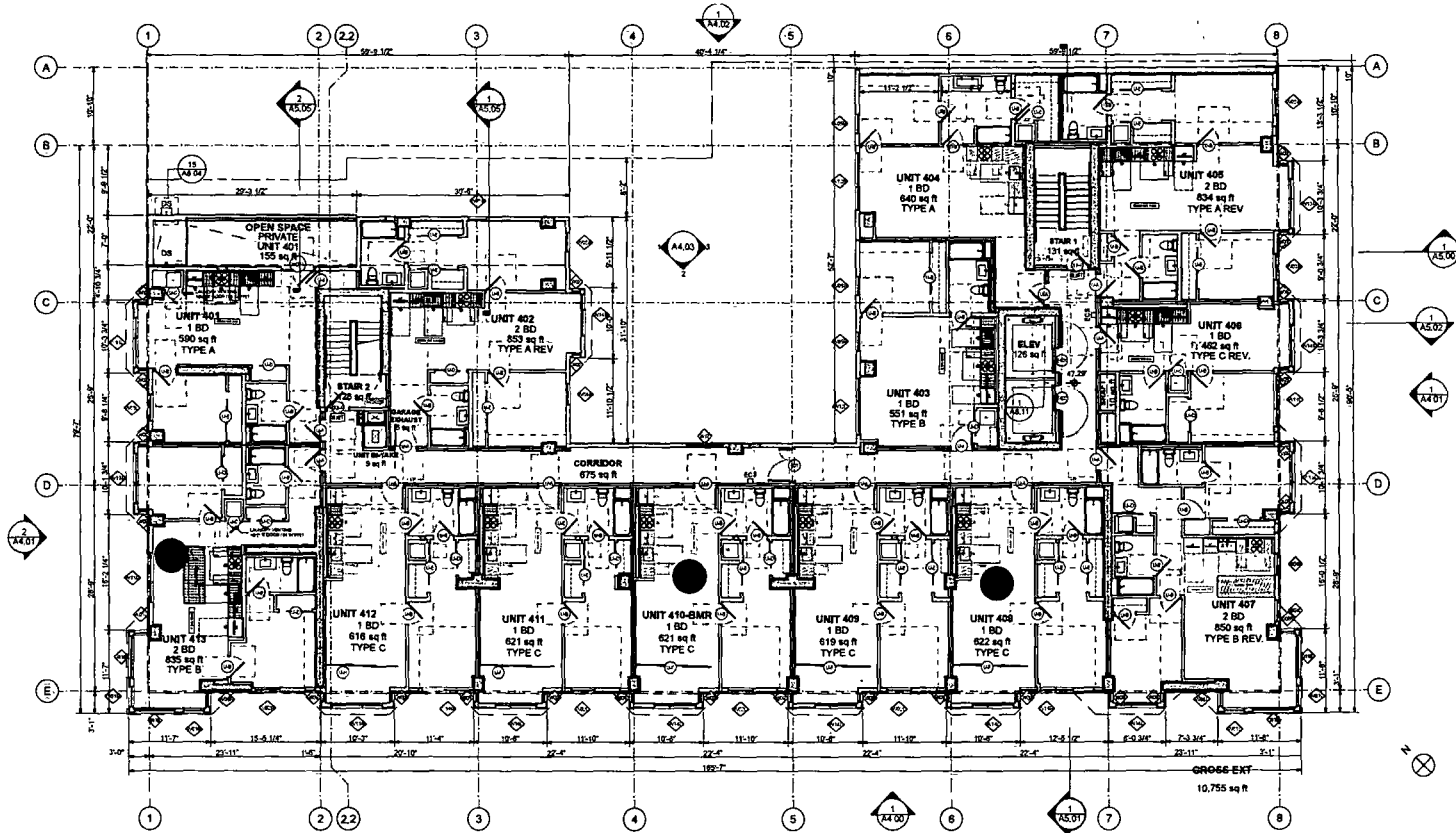
RATED PROTECTIVE OPENINGS:

AT 1-HOUR WALLS
 30-MINUTE FIRE RATED DOORS - CORRIDORS / UNIT ENTRY

AT 2-HOUR WALLS:
 90-MINUTE FIRE RATED DOORS - STAIR ENCLOSURES / TRASH CHUTE

NOTES

01. EQUIPPED THROUGHOUT WITH AN APPROVED AUTOMATIC SPRINKLER SYSTEM IN ACCORDANCE WITH CBC 903.3.1.1 AND AN APPROVED EMERGENCY VOICE/ALARM COMMUNICATION SYSTEM IN ACCORDANCE WITH CBC 907.2.2.
02. SHEAR WALLS SHOWN FOR REFERENCE ONLY. SEE STRUCTURAL DRAWINGS.
03. PER CBC 2018 SEC 1009.2.1.2.1, ELEVATOR SHALL NOT BE CONSIDERED PART OF AN ACCESSIBLE MEANS OF EGRESS. STANDBY POWER SHALL NOT BE PROVIDED IN ACCORDANCE CBC SECTION 27, AS IT IS NOT A PART AN ACCESSIBLE MEANS OF EGRESS.
04. PER CBC 2018 SEC 1009.4.2.1, ELEVATORS ARE NOT REQUIRED TO BE ACCESSIBLE FROM AN AREA OF REFUGE IN CONJUNCTION WITH A HORIZONTAL EXIT.
05. PROVIDE TWO-WAY COMMUNICATION DEVICE AT ELEVATOR AT ALL LEVELS ABOVE LEVEL OF DISCHARGE. PER CBC 1009.5.
06. ELEVATOR SHAFT ENCLOSURE TO COMPLY WITH CBC 713.4.
07. SMOKE DOORS ON MAGNETIC HOLD-OPEN HARDWARE PROVIDED AT THE HOSTWAY OPENINGS ON ALL FLOORS EXCEPT GROUND FLOOR AND ROOF.
08. CLASS I DRY STANDPIPE, PER HFWA 14 & CBC SECTION 905. TYP.; LOCATIONS INDICATED ON PLANS AS 'R' & TO COMPLY WITH SFDD A84.06
09. FOR PENETRATIONS THROUGH RATED WALLS, CEILING, OR ROOF. SEE A4.02(4).



4TH FLOOR +35'-3" (1)
 1/8" = 1'-0"

ry architecture
 675 BETHUN HESS AVENUE
 SAN FRANCISCO, CA 94103
 415.444.8207
 info@ryarchitect.com



REVISIONS

NO.	DATE	ISSUE
08/19/09		PLAN CHECK
11/19/09		SFFD PLAN CHECK
11/19/09		50% CD
01/17/22		100% CD

ISSUE
 01/17/22 100% CD SET

OWNER
 988 HARRISON SF LLC
 2044 Fillmore Street, 3rd Floor
 San Francisco, CA 94103

PROJECT NAME
 988 Harrison St./
 377 6th St.
 San Francisco, CA 94107

BLOCK/LDT
 3753/148

SCALE
 AS NOTED
 DRAWN BY
 SX
 CHECKED BY
 RG
 PROJECT NO.
 201902
 DATE OF PUBLICATION
 1/20/22

FOURTH FLOOR
 PLAN

DRAWING NO. 27 OF 150

A2.04

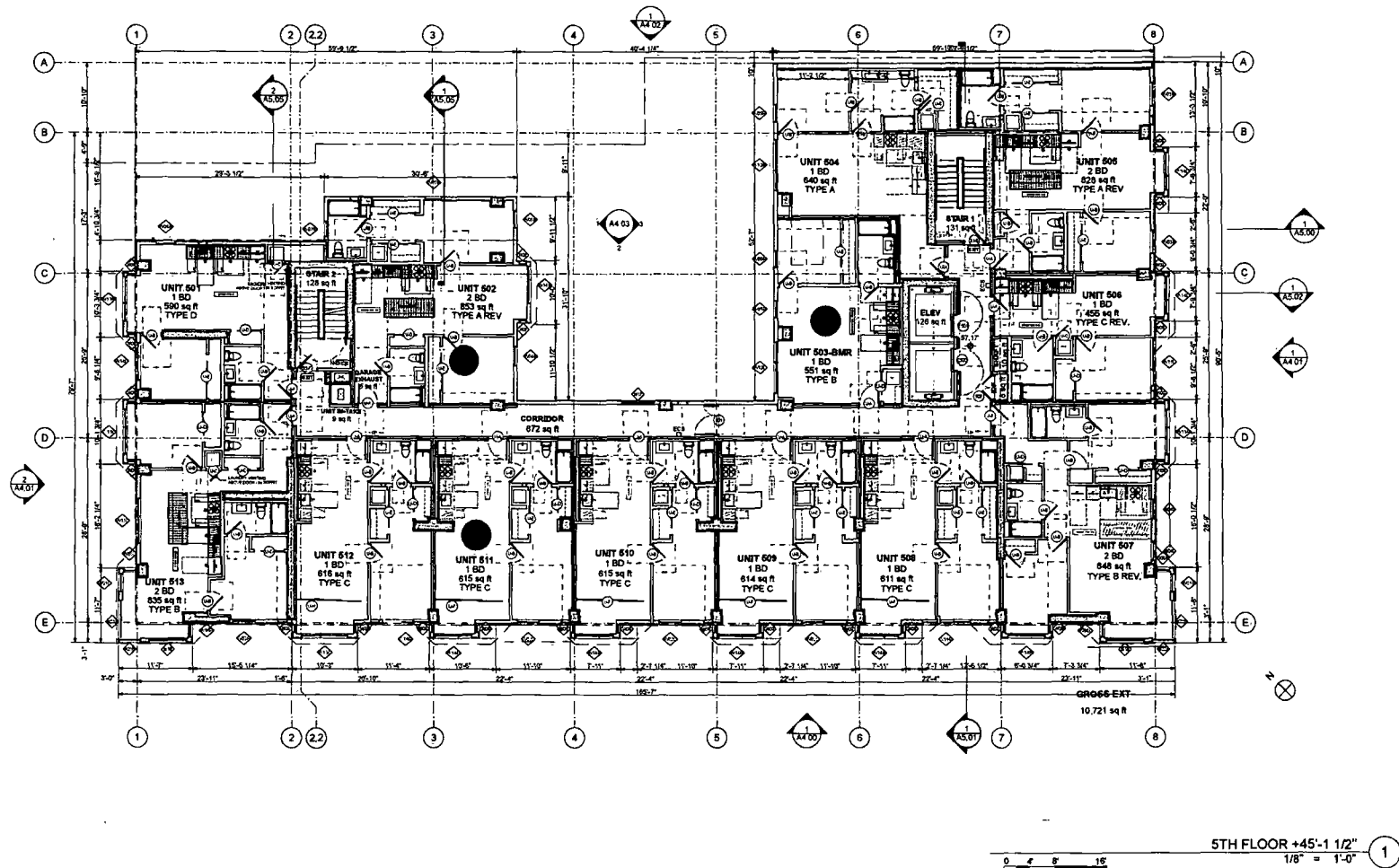
RATED PROTECTIVE OPENINGS:

AT 1-HOUR WALLS:
20-MINUTE FIRE RATED DOORS - CORRIDORS / UNIT ENTRY

AT 2-HOUR WALLS:
90-MINUTE FIRE RATED DOORS - STAIR ENCLOSURES / TRASH CHUTE

NOTES

01. EQUIPPED THROUGHOUT WITH AN APPROVED AUTOMATIC SPRINKLER SYSTEM IN ACCORDANCE WITH CBC 903.1.1 AND AN APPROVED EMERGENCY VOICEMAIL/COMMUNICATION SYSTEM IN ACCORDANCE WITH CBC 907.3.2.2.
02. SHEAR WALLS SHOWN FOR REFERENCE ONLY. SEE STRUCTURAL DRAWINGS.
03. PER CBC 2019 SEC 1002.2.1, EX. 1 ELEVATOR SHALL BE CONSIDERED PART OF AN ACCESSIBLE MEANS OF EGRESS. STANDBY POWER SHALL NOT BE PROVIDED IN ACCORDANCE WITH CBC SECTION 27, AS IT IS NOT A PART AN ACCESSIBLE MEAN OF EGRESS.
04. PER CBC 2019 SEC 1008.4, EX. 3, ELEVATORS ARE NOT REQUIRED TO BE ACCESSED FROM AN AREA OF REFUGE IN CONJUNCTION WITH A HORIZONTAL EXIT.
05. PROVIDE TWO-WAY COMMUNICATION DEVICE AT ELEVATOR AT ALL LEVELS ABOVE LEVEL OF DISCHARGE; PER CBC 1008.8.
06. ELEVATOR SHAFT ENCLOSURE TO COMPLY WITH CBC 713.4.
07. SMOKE DOORS ON MAGNETIC HOLD-OPEN HARDWARE PROVIDED AT THE HOISTWAY OPENINGS ON ALL FLOORS EXCEPT GROUND FLOOR AND ROOF.
08. CLASS I DRY STANDING, PER NFPA 11 & CBC SECTION 905, TYPE, LOCATIONS INDICATED ON PLANS AS 'R' & TO COMPLY WITH SFDD A8.06.
09. FOR PENETRATIONS THROUGH RATED WALLS, CEILING, OR ROOF, SEE R-41(D)(4).



REVISIONS

NO.	DATE	ISSUE
01/17/22		PLAN CHECK
11/17/20		SFFD PLAN CHECK
11/17/20		50% CD
01/17/22		100% CD

REVISIONS

NO.	DATE	ISSUE
01/17/22		100% CD SET

ISSUE
01/17/22 100% CD SET

OWNER
988 HARRISON SF LLC
2044 Filmore Street, 3rd Floor
San Francisco, CA 94103

PROJECT NAME
**988 Harrison St /
377 6th St.**
San Francisco, CA 94107

BLOCK/LOT
3753/148

SCALE
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**FIFTH FLOOR
PLAN**

DRAWING NO. 21 OF 100
A2.05