

File No. 110950

Committee Item No. _____

Board Item No. 31

COMMITTEE/BOARD OF SUPERVISORS

AGENDA PACKET CONTENTS LIST

Committee _____

Date _____

Board of Supervisors Meeting

Date September 27, 2011

Cmte Board

- | | | |
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| <input type="checkbox"/> | <input type="checkbox"/> | Resolution |
| <input type="checkbox"/> | <input type="checkbox"/> | Ordinance |
| <input type="checkbox"/> | <input type="checkbox"/> | Legislative Digest |
| <input type="checkbox"/> | <input type="checkbox"/> | Budget Analyst Report |
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| <input type="checkbox"/> | <input type="checkbox"/> | Introduction Form (for hearings) |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | Department/Agency Cover Letter and/or Report |
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| <input type="checkbox"/> | <input type="checkbox"/> | Grant Information Form |
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OTHER (Use back side if additional space is needed)

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|--------------------------|--------------------------|--|
| <input type="checkbox"/> | <input type="checkbox"/> | <u>Conditional Use Appeal - 4141 Geary Boulevard/450 - 6th Avenue</u> |
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Completed by: Joy Lamug

Date September 22, 2011

Completed by: _____

Date _____

An asterisked item represents the cover sheet to a document that exceeds 20 pages. The complete document is in the file.

4141 Geary, Verizon Antenna Appeal, letters to request continuance
LinShao Chin to: Joy Lamug, Rick Caldeira, AnMarie Rodgers, Judson True

09/19/2011 03:50 PM

Hi All,

Attached are letters from the appellant and Verizon wireless requesting a continuance on the 4141 Geary appeal hearing.

They are requesting the item be continued from 9/27 to 10/25.

Thanks,
Linshao



4141 geary Letter to Clerk of the Board.pdf 4141 geary verizon letter.pdf

Linshao Chin
Legislative Assistant
Office of Supervisor Eric Mar
San Francisco District 1
City Hall, Room 284
Phone: 415-554-7410
Fax: 415-554-7415
linshao.chin@sfgov.org
<http://www.sfbos.org/mar>

Mailing Address:
1 Dr. Carlton B. Goodlett Place, Room 244
San Francisco, CA 94102-4689

Internship position at Supervisor Mar's office:
<http://www.sfbos.org/index.aspx?page=12209>



9/19/2011

Clerk of the Board

1 Dr. Carlton B. Goodlett Place, City Hall, Room 244
San Francisco, Ca. 94102-4689
(415) 554-5184 - voice | (415) 554-5163 - fax
Board.of.Supervisors@sfgov.org

To: Clerk of the Board

I am the appellant in 4141 Geary Blvd appeal. I am requesting that the Board of Supervisors continue the appeal from September 27, 2011 to October 25, 2011.

Sincerely,

A handwritten signature in black ink, appearing to read 'Ja', with a long, sweeping horizontal line extending to the right.

Jacquelyn Coo
Administrator
415.386.0184 w
415.710.8523 c
jcoo@angelaschildrencenter.com



Wireless Site Acquisition & Construction Management



September 15, 2011

To the Clerk of the Board of Supervisors of San Francisco

Verizon Wireless is requesting that the Board of Supervisors continue the appeal of 4141 Geary Blvd from September 27, 2011 to October 25, 2011.

Regards,

Gabriella Barr
Project Manager
On Air LLC representing
Verizon Wireless
650 387 7016

BOARD of SUPERVISORS



City Hall
1 Dr. Carlton B. Goodlett Place, Room 244
San Francisco 94102-4689
Tel. No. 554-5184
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TDD/TTY No. 544-5227

August 31, 2011

John Rahaim, Director
Planning Department
1650 Mission Street, Suite 400
San Francisco, CA 94103

File No. 110950, Planning Case No. 2010.0951C
4141 Geary Boulevard/450 - 6th Avenue Conditional Use Appeal

Dear Director Rahaim:

This office is in receipt of an appeal filed by Sandra Fen Ng, on behalf of the San Francisco Tomorrow from the decision of the Planning Commission by its Motion No. 18415 dated July 28, 2011, approving a Conditional Use Authorization identified as Planning Case No. 2010.0951C, under Planning Code Sections 209.6(b) and 303 to install a wireless telecommunications facility consisting of nine (9) panel antennas and related equipment on an existing mechanical penthouse on the roof of a five-story publicly used structure (Kaiser Hospital) as part of Verizon's wireless telecommunications network within the RM-1 (Mixed, Low Density) and NC-3 (Neighborhood Commercial, Moderate Scale) Zoning Districts, and a 80-E Height and Bulk District, on property located at:

4141 Geary Boulevard/450 - 6th Avenue, Assessor's Block No. 1539, Lot No. 003.

Pursuant to Ordinance No. 121-01, Supervisors Eric Mar, John Avalos, David Chiu, Jane Kim, and Ross Mirkarimi, subscribed to this conditional use appeal as an alternative to obtaining the signatures of 20% of the property owners within 300 feet of the subject property.

A hearing date has been scheduled on **Tuesday, September 27, 2011, at 4:00 p.m.**, at the Board of Supervisors meeting to be held in City Hall, tentatively in Room 416, 4th Floor, at 1 Dr. Carlton B. Goodlett Place, San Francisco, CA 94102.

Sincerely,

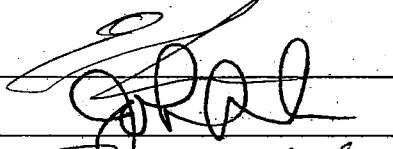
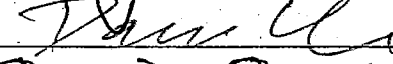



A handwritten signature in black ink, appearing to read "Angela Calvillo".

Angela Calvillo
Clerk of the Board

c:

Appellant, Sandra Fen Ng, 775 - 7th Avenue, San Francisco, CA 94118
Property Owner, Kaiser Foundation Hospitals, 1800 Harrison Street, 6th Floor, Oakland, CA 94612, w/ copy of appeal
Project Sponsor, Gabriella Barr for Verizon Wireless, 9210 Zayante Drive, Felton, CA 95018, w/ copy of appeal
Scott Sanchez, Zoning Administrator, Planning Department, w/ copy of appeal
AnMarie Rodgers, Planning Department, w/ copy of appeal
Tina Tam, Planning Department, w/ copy of appeal
Nannie Turrell, Planning Department, w/ copy of appeal
Linda Avery, Planning Department, w/ copy of appeal
Sara Velve, Planning Department, w/ copy of appeal
Cheryl Adams, Deputy City Attorney, w/ copy of appeal
Kate Stacy, Deputy City Attorney, w/ copy of appeal
Marlena Byrne, Deputy City Attorney, w/ copy of appeal

Pursuant to Planning Code Section 308.1(b), the undersigned members of the Board of Supervisors believe that there is sufficient public interest and concern to warrant an appeal of the Planning Commission on Case No. 2010.0951C, a conditional use authorization regarding (address) 4141 Geary Blvd / 4th - 6th Avenue, District _____. The undersigned members respectfully request the Clerk of the Board to calendar this item at the soonest possible date.

SIGNATURE	DATE
	<u>8-18-11</u>
	<u>8-22-11</u>
	<u>8/22/11</u>
	<u>8/24/11</u>
	<u>8/24/11</u>

(Attach copy of Planning Commission's Decision)



SAN FRANCISCO PLANNING DEPARTMENT

Subject to: (Select only if applicable)

- Affordable Housing (Sec. 415)
- Jobs Housing Linkage Program (Sec. 413)
- Downtown Park Fee (Sec. 412)
- First Source Hiring (Admin. Code)
- Child Care Requirement (Sec. 414)
- Other

1650 Mission St.
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CA 94103-2470

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Planning
Information
415.558.6377

Planning Commission Motion No. 18415

HEARING DATE: JULY 28, 2011

Date: July 21 2011
Case No.: 2010.0951C
Project Address: 4141 Geary Blvd./450 – 6th Avenue
Current Zoning: RM-1 (Mixed, Low Density)
 NC-3 (Neighborhood Commercial, Moderate Scale)
 80-E Height and Bulk District
Block/Lot: 1539/003
Project Sponsor: Gabriella Bar for
 Verizon Wireless
 9210 Zayante Drive
 Felton, CA 95018
Staff Contact: Sara Vellve - (415) 558 - 6263
 sara.vellve@sfgov.org
Recommendation: Approval with Conditions

ADOPTING FINDINGS RELATING TO THE APPROVAL OF A CONDITIONAL USE AUTHORIZATION UNDER PLANNING CODE SECTIONS 209.6(b) AND 303 TO INSTALL A WIRELESS TELECOMMUNICATIONS FACILITY CONSISTING OF NINE (9) PANEL ANTENNAS AND RELATED EQUIPMENT ON AN EXISTING MECHANICAL PENTHOUSE ON THE ROOF OF A FIVE-STORY PUBLICALLY USED STRUCTURE (KAISER HOSPITAL) AS PART OF VERIZON'S WIRELESS TELECOMMUNICATIONS NETWORK WITHIN THE RM-1 (MIXED, LOW DENSITY) AND NC-3 (NEIGHBORHOOD COMMERCIAL, MODERATE SCALE) ZONING DISTRICTS, AND A 80-E HEIGHT AND BULK DISTRICT.

PREAMBLE

On October 19, 2010, Gabriella Bar, as representative of Verizon Wireless, (hereinafter "Project Sponsor"), made an application (hereinafter "application"), for Conditional Use Authorization on the property at 4141 Geary Blvd./ 450 – 6th Avenue, Lot 003 in Assessor's Block 1539, (hereinafter "project site") to install a wireless telecommunications facility consisting of nine (9) panel antennas on an existing mechanical penthouse and related equipment on the adjacent roof of an existing five-story publicly used structure (Kaiser Hospital) as part of Verizon's wireless telecommunications network within the RM-1 (Mixed, Low Density) and NC-3 (Neighborhood Commercial, Moderate Scale) Zoning Districts, and a 80-E Height and Bulk District.

The project is exempt from the California Environmental Quality Act ("CEQA") as a Class 3 categorical exemption. The Commission has reviewed and concurs with said determination. The categorical exemption and all pertinent documents may be found in the files of the Planning Department (hereinafter "Department"), as the custodian of records, at 1650 Mission Street, San Francisco.

On July 28, 2011, the San Francisco Planning Commission (hereinafter "Commission") conducted a duly noticed public hearing at a regularly scheduled meeting on the application for a Conditional Use authorization.

The Commission has heard and considered the testimony presented to it at the public hearing and has further considered written materials and oral testimony presented on behalf of the applicant, department staff, and other interested parties.

MOVED, that the Commission hereby authorizes the Conditional Use in Application No. 2010.0951C, subject to the conditions contained in "EXHIBIT A" of this motion, based on the following findings:

FINDINGS

Having reviewed the materials identified in the preamble above, and having heard all testimony and arguments, this Commission finds, concludes, and determines as follows:

1. The above recitals are accurate and constitute findings of this Commission.
2. **Site Description and Present Use.** The subject site is zoned RM-1 (Mixed, Low Density) and NC (Neighborhood Commercial, Moderate Scale). The RM-1 District (south portion of subject lot where buildings front 6th Avenue) is characterized in the Planning Code as containing a mixture of dwelling types and a significant number of apartment buildings that broaden the range of unit sizes and variety of structures, but with an overall low density and moderately scaled buildings with neighborhood services and transit lines located within close proximity. The NC-3 District (north portion of lot fronting Geary Boulevard) is characterized in the Planning Code as containing a wide variety of comparison and specialty goods and services to a population greater than the immediate neighborhood in a linear commercial street stretching for many blocks.

The approximately 100,600 square foot site is developed as Kaiser Hospital's French Campus and consists of approximately four buildings in the block bounded by Geary Boulevard to the north, 6th Avenue to the west, Anza Street to the south and 5th Avenue to the west. The subject building where the proposed antennas would be located is five stories tall (plus a mechanical penthouse) and is located mid-block fronting 6th Avenue. The subject structure was constructed in approximately 1970.

3. **Surrounding Properties and Neighborhood.** The entire block is developed with buildings generally used by Kaiser Permanente for its medical and health services, and

operations. Lots across 6th Avenue from the subject site generally consist of single-to-multi family-buildings between Geary Boulevard and Anza Street. The building at the northeast corner of the intersection of 6th Avenue and Anza Street is leased to the University of San Francisco for student housing. The Richmond District Police Station is located directly across 6th Avenue from the subject building.

4. **Project Description.** Verizon Wireless proposes to install nine panel antennas, two GPS antennas, and associated equipment cabinets as part of their wireless transmission network. According to the *Wireless Telecommunications Services (WTS) Siting Guidelines*, the property is a Location Preference 1 (Publicly-used structure) as the site is developed with a medical office/hospital owned and operated by Kaiser Permanente. The nine panel antennas would be flush-mounted in groups of three on the north, east and south sides of an existing penthouse at a height of approximately 85 feet and no higher than the penthouse roof. In order to improve the visual quality of the site, all antennas will be screened from view by synthetic material that is RF (Radio Frequency) Transparent, which allows transmission to occur even though the antennas are obscured. The maximum dimension for all the proposed antennas is approximately 4 feet tall, 1 foot wide and 3 to 7 inches deep. The proposed WTS site also includes the installation of associated mechanical equipment which will be located on the roof of the five-story building immediately to the north of the penthouse and set back from the 6th Avenue property line by approximately 30 feet.
5. **Past History and Actions.** The Planning Commission established guidelines for the installation of wireless telecommunications facilities in 1996 ("*Guidelines*"). These *Guidelines* set forth the land use policies and practices that guide the installation and approval of wireless facilities throughout San Francisco. A large portion of the *Guidelines* was dedicated to establishing location preferences for these installations. The Board of Supervisors, in Resolution No. 635-96, provided input as to where wireless facilities should be located within San Francisco. The *Guidelines* were updated by the Commission in 2003, requiring community outreach, notification, and detailed information about the facilities to be installed.¹

Section 8.1 of the *Guidelines* outlines Location Preferences for wireless facilities. There are five primary areas where the installation of wireless facilities should be located:

1. Publicly-used Structures: such facilities as fire stations, utility structures, community facilities, hospitals, health centers and other public structures;
2. Co-Location Site: encourages installation of facilities on buildings that already have wireless installations;
3. Industrial or Commercial Structures: buildings such as warehouses, factories, garages, service stations;

¹ PC Resolution 16539, passed March 13, 2003.

4. Industrial or Commercial Structures: buildings such as supermarkets, retail stores, banks; and
5. Mixed Use Buildings in High Density Districts: buildings such as housing above commercial or other non-residential space.

Before the Planning Commission can review an application to install a wireless facility, the project sponsor must submit a five-year facilities plan, which must be updated biannually, an emissions report and approval by the Department of Public Health, Section 106 Declaration of Intent, a submittal checklist and details about the facilities to be installed.

Under Section 704(B)(iv) of the 1996 Federal Telecommunications Act, local jurisdictions cannot deny wireless facilities based on Radio Frequency (RF) radiation emissions so long as such facilities comply with the FCC's regulations concerning such emissions.

On July 28, 2011, the Commission conducted a duly noticed public hearing at a regularly scheduled meeting on the application for a Conditional Use authorization pursuant to Planning Code Sections 206.9(b) and 303 to install a wireless telecommunications facility consisting of nine panel antennas to be flush-mounted to an existing penthouse and related equipment on the roof of an existing five-story building as part of Verizon's wireless telecommunications network.

6. **Location Preference.** The *WTS Facilities Siting Guidelines* identify different types of buildings for the siting of wireless telecommunications facilities. Under the *Guidelines*, the Project is a Location Preference Number 1, as it is a preferred location for a publicly-used structure (hospital/health services).
7. **Radio Waves Range.** The Project Sponsor has stated that the proposed wireless network will transmit calls by radio waves operating in the 800 - 1900 Megahertz (MHZ) bands, which is regulated by the Federal Communications Commission (FCC) and which must comply with the FCC-adopted health and safety standards for electromagnetic radiation and radio frequency radiation.
8. **Radiofrequency (RF) Emissions:** The project sponsor retained Hammett & Edison, Inc., a radio engineering consulting firm, to prepare a report describing the expected RF emissions from the proposed facility. Pursuant to the *Guidelines*, the Department of Public Health reviewed the report and determined that the proposed facility complies with the standards set forth in the *Guidelines*.
9. **Department of Public Health Review and Approval.** The proposed project was referred to the Department of Public Health (DPH) for emissions exposure analysis. Existing RF levels at ground level were less than 1% of the FCC public exposure limit. There were no other observed similar antennas within 100 feet of this site. Verizon proposes to install nine new antennas. The antennas will be flush mounted on an existing penthouse at a height of approximately 85 feet above the ground. The estimated ambient RF field from

the proposed Verizon transmitters at ground level is calculated to be 0.0013 mW/sq cm, which is .23% of the FCC public exposure limit. The three dimensional perimeter of RF levels equal to the public exposure limit extends 30 feet and does not reach the roof of the building or any publicly accessible areas. Warning signs must be posted at the antennas and roof access points in English, Spanish, and Chinese. Workers should not have access to within six feet of the front of the antennas while in operation.

10. **Maintenance Schedule.** The proposed facility would operate without on-site staff but with a maintenance crew visiting the property approximately two or three times a month and on an as-needed basis to service and monitor the facility.
11. **Community Outreach.** Per the *Guidelines*, the project sponsor held a Community Outreach Meeting for the proposed project. The meeting began at 7:00 P.M. on Thursday, April 28, 2011 at the Richmond/Senator Milton Marks Branch Library, located at 351 Ninth Avenue, San Francisco. Approximately 35 members of the public attended the meeting, with five attendees indicating their opposition to the project on the sign-in sheet.
12. **Five-year plan:** Per the *Guidelines*, the project sponsor submitted its latest five-year plan, as required, in April 2011.
13. **Public Comment.** As of July 28, 2011, the Department has received one phone call and one letter in opposition to the proposal, both expressing concerns that were health related. In addition, the Community Outreach Sign-in Sheet indicates that 5 attendees of the meeting oppose the proposal.
14. **Planning Code Compliance.** The Commission finds that the Project is consistent with the relevant provisions of the Planning Code in the following manner:
 - A. **Use.** Per Planning Code Sections 209.6(b), a Conditional Use authorization is required for the installation of wireless transmission facilities.
15. **Planning Code Section 303** establishes criteria for the Planning Commission to consider when reviewing applications for Conditional Use approval. On balance, the project does comply with said criteria in that:
 - A. The proposed new uses and building, at the size and intensity contemplated and at the proposed location, will provide a development that is necessary or desirable, and compatible with, the neighborhood or the community.
 - i *Desirable: San Francisco is a leader of the technological economy; it is important and desirable to the vitality of the city to have and maintain adequate telecommunications coverage and data capacity. This includes the installation and upgrading of systems to keep up with changing technology and increases in usage. It is desirable for the City to allow wireless facilities to be installed.*

The proposed project at 4141 Geary Blvd./450 – 6th Avenue will be generally desirable and compatible with the surrounding neighborhood because the project will not conflict with the existing uses of the property and will be of such size and nature to be compatible with the surrounding nature of the vicinity. The approval of this authorization has been found, first and foremost, to insure public safety, and insure that the placement of antennas and related support and protection features are so located, designed, and treated architecturally to minimize their visibility from public places, to avoid intrusion into public vistas, avoid disruption of the architectural design integrity of building and insure harmony with neighborhood character.

- ii *Necessary: In the case of wireless installations, there are two criteria that the Commission reviews: coverage and capacity.*

Coverage: San Francisco does have sufficient overall wireless coverage (note that this is separate from carrier service). It is necessary for San Francisco to have as much coverage as possible in terms of wireless facilities. Due to the topography and tall buildings in San Francisco, unique coverage issues arise because the hills and buildings break up coverage. Thus, telecommunication carriers often install additional installations to make sure coverage is sufficient.

Capacity: While a carrier may have adequate coverage in a certain area, the capacity may not be sufficient. With the continuous innovations in wireless data technology and demand placed on existing infrastructure, individual telecommunications carriers must upgrade and in some instances expand their facilities network to be able to have proper data distribution. It is necessary for San Francisco, as a leader in technology, to have adequate capacity.

The proposed project at 4141 Geary Blvd./450 – 6th Avenue is necessary in order to achieve sufficient street, in-transit and in-building mobile phone coverage. Recent drive tests in the subject area conducted by the Verizon Radio Frequency Engineering Team provide conclusive evidence that the subject property is the most viable location, based on factors including quality of coverage, population density, land use compatibility, zoning and aesthetics. The proposed coverage area will serve the vicinity bounded by Fulton Street, 20th Avenue, Lake Street and Arguello Boulevard, as indicated in the coverage maps. This facility will fill in the gaps to improve coverage in the Inner Richmond District as well as to provide necessary facilities for emergency transmission and improved communication for the neighborhood, community and the region.

- B: *The proposed project will not be detrimental to the health, safety, convenience or general welfare of persons residing or working in the vicinity. There are no features of the project that could be detrimental to the health, safety or convenience of those residing or working the area, in that:*

- i Nature of proposed site, including its size and shape, and the proposed size, shape and arrangement of structures;

The proposed project must comply with all applicable Federal and State regulations to safeguard the health, safety and to ensure that persons residing or working in the vicinity will not be affected, and prevent harm to other personal property.

The Department of Public Health conducted an evaluation of potential health effects from Radio Frequency radiation, and has concluded that the proposed wireless transmission facilities will have no adverse health effects if operated in compliance with the FCC-adopted health and safety standards. The Department has received information that the proposed wireless system must be operated so as not to interfere with radio or television reception in order to comply with the provisions of its license under the FCC.

The Planning Department is developing a database of all such wireless communications facilities operating or proposed for operation in the City and County of San Francisco. All applicants are now required to submit information on the location and nature of all existing and approved wireless transmission facilities operated by the Project Sponsor. The goal of this effort is to foster public information as to the location of these facilities.

- ii The accessibility and traffic patterns for persons and vehicles, the type and volume of such traffic, and the adequacy of proposed off-street parking and loading;

No increase in traffic volume is anticipated with the facilities operating unmanned, with a single maintenance crew visiting the site two to three times a month or on an as-needed basis.

- iii The safeguards afforded to prevent noxious or offensive emissions such as noise, glare, dust and odor;

While some noise and dust may result from the erection of the antennas and transceiver equipment, noise or noxious emissions from continued use are not likely to be significantly greater than ambient conditions due to the operation of the wireless communication network.

- iv Treatment given, as appropriate, to such aspects as landscaping, screening, open spaces, parking and loading areas, service areas, lighting and signs;

The antennas are proposed to be flush mounted to the north, east and south facades of an existing penthouse and screened from view with RF transparent material painted to match the penthouse. Mechanical equipment would be located on the fifth floor roof of subject building adjacent to the penthouse.

- C. That the use as proposed will comply with the applicable provisions of the Planning Code and will not adversely affect the General Plan.

The project complies with all relevant requirements and standards of the Planning Code and is consistent with objectives and policies of the General Plan as detailed below.

- D. That the use as proposed would provide development that is in conformity with the purpose of the applicable Neighborhood Commercial District.

The proposed project is consistent with the stated purpose of the RM-1 (Mixed, Low Density) and NC-3 (Neighborhood Commercial, Moderate Scale) Districts in that the intended use is located on an existing building at a height of approximately 85 feet from grade and designed to resemble the existing penthouse.

16. **General Plan Compliance.** The Project is, on balance, consistent with the following Objectives and Policies of the General Plan

2004 HOUSING ELEMENT

HOUSING DENSITY, DENSITY, DESIGN & QUALITY OF LIFE

OBJECTIVE 11 - IN INCREASING THE SUPPLY OF HOUSING, PURSUE PLACE MAKING AND NEIGHBORHOOD BUILDING PRINCIPLES AND PRACTICES TO MAINTAIN SAN FRANCISCO'S DESIRABLE URBAN FABRIC AND ENHANCE LIVABILITY IN ALL NEIGHBORHOODS.

POLICY 11.2 - Ensure housing is provided with adequate public improvements, services, and amenities.

The project will improve Verizon Mobility coverage in residential, commercial and recreational areas along primary transportation routes in San Francisco.

2009 HOUSING ELEMENT

BALANCE HOUSING CONSTRUCTION AND COMMUNITY INFRASTRUCTURE

OBJECTIVE 12 - BALANCE HOUSING GROWTH WITH ADEQUATE INFRASTRUCTURE THAT SERVES THE CITY'S GROWING POPULATION.

POLICY 12.2 - Consider the proximity of quality of life elements, such as open space, child care, and neighborhood services, when developing new housing units.

POLICY 12.3 - Ensure new housing is sustainable supported by the City's public infrastructure systems.

The project will improve Verizon Mobility coverage in residential, commercial and recreational areas along primary transportation routes in San Francisco

URBAN DESIGN

HUMAN NEEDS

OBJECTIVE 4 - IMPROVEMENT OF THE NEIGHBORHOOD ENVIRONMENT TO INCREASE PERSONAL SAFETY, COMFORT, PRIDE AND OPPORTUNITY.

POLICY 4.14 - Remove and obscure distracting and cluttering elements.

The project adequately "stealths" the proposed antennas and related equipment by locating the antennas within screening and the equipment on a building roof and set back from the property line.

COMMERCE AND INDUSTRY ELEMENT

Objectives and Policies

OBJECTIVE 1:

MANAGE ECONOMIC GROWTH AND CHANGE TO ENSURE ENHANCEMENT OF THE TOTAL CITY LIVING AND WORKING ENVIRONMENT.

Policy 1:

Encourage development, which provides substantial net benefits and minimizes undesirable consequences. Discourage development, which has substantial undesirable consequences that cannot be mitigated.

Policy 2:

Assure that all commercial and industrial uses meet minimum, reasonable performance standards.

The project would enhance the total city living and working environment by providing communication services for residents and workers within the City. Additionally, the project would comply with Federal, State and Local performance standards.

OBJECTIVE 2:

MAINTAIN AND ENHANCE A SOUND AND DIVERSE ECONOMIC BASE AND FISCAL STRUCTURE FOR THE CITY.

Policy 1:

Seek to retain existing commercial and industrial activity and to attract new such activity to the city.

Policy 3:

Maintain a favorable social and cultural climate in the city in order to enhance its attractiveness as a firm location.

The site is an integral part of a wireless communications network that will enhance the City's diverse economic base.

OBJECTIVE 4:

IMPROVE THE VIABILITY OF EXISTING INDUSTRY IN THE CITY AND THE ATTRACTIVENESS OF THE CITY AS A LOCATION FOR NEW INDUSTRY.

Policy 1:

Maintain and enhance a favorable business climate in the City.

Policy 2:

Promote and attract those economic activities with potential benefit to the City.

The project would benefit the City by enhancing the business climate through improved communication services for residents and workers.

VISITOR TRADE

OBJECTIVE 8 - ENHANCE SAN FRANCISCO'S POSITION AS A NATIONAL CENTER FOR CONVENTIONS AND VISITOR TRADE.

POLICY 8.3 - Assure that areas of particular visitor attraction are provided with adequate public services for both residents and visitors.

The project will ensure that residents and visitors have adequate public service in the form of Verizon's mobile telecommunications.

COMMUNITY SAFETY ELEMENT

Objectives and Policies

OBJECTIVE 3:

ENSURE THE PROTECTION OF LIFE AND PROPERTY FROM THE EFFECTS OF FIRE OR NATURAL DISASTER THROUGH ADEQUATE EMERGENCY OPERATIONS PREPARATION.

Policy 1:

Maintain a local agency for the provision of emergency services to meet the needs of San Francisco.

Policy 2:

Develop and maintain viable, up-to-date in-house emergency operations plans, with necessary equipment, for operational capability of all emergency service agencies and departments.

Policy 3:

Maintain and expand agreements for emergency assistance from other jurisdictions to ensure adequate aid in time of need.

Policy 4:

Establish and maintain an adequate Emergency Operations Center.

Policy 5:

Maintain and expand the city's fire prevention and fire-fighting capability.

Policy 6:

Establish a system of emergency access routes for both emergency operations and evacuation.

The project would enhance the ability of the City to protect both life and property from the effects of a fire or natural disaster by providing communication services.

17. Planning Code Section 101.1(b) establishes eight priority-planning policies and requires review of permits for consistency with said policies. On balance, the project does comply with said policies in that:

- A. That existing neighborhood-serving retail uses be preserved and enhanced and future opportunities for resident employment in and ownership of such businesses be enhanced.

No neighborhood-serving retail use would be displaced and the wireless communications network will enhance personal communication services.

- B. That existing housing and neighborhood character be conserved and protected in order to preserve the cultural and economic diversity of our neighborhoods.

No residential uses would be displaced or altered in any way by the granting of this authorization.

- C. That the City's supply of affordable housing be preserved and enhanced.

The project would have no adverse impact on housing in the vicinity.

- D. That commuter traffic not impede MUNI transit service or overburden our streets or neighborhood parking:

Due to the nature of the project and minimal maintenance or repair, municipal transit service would not be impeded and neighborhood parking would not be overburdened.

- E. That a diverse economic base be maintained by protecting our industrial and service sectors from displacement due to commercial office development, and that future opportunities for resident employment and ownership in these sectors be enhanced.

The project would cause no displacement of industrial and service sector activity.

- F. That the City achieve the greatest possible preparedness to protect against injury and loss of life in an earthquake.

Compliance with applicable structural safety and seismic safety requirements would be considered during the building permit application review process.

- G. That landmarks and historic buildings be preserved.

The site contains a medical services/hospital building constructed in approximately 1970.

- H. That our parks and open space and their access to sunlight and vistas be protected from development.

The project will have no adverse effect on parks or open space, or their access to sunlight or vistas.

18. The Project is consistent with and would promote the general and specific purposes of the Code provided under Section 101.1(b) in that, as designed, the Project would contribute to the character and stability of the neighborhood and would constitute a beneficial development.
19. The Commission hereby finds that approval of the Determination of Compliance authorization would promote the health, safety and welfare of the City.

Motion No. 18415
Hearing Date: July 28, 2011

CASE NO. 2010.0951C
4141 Geary Blvd./450-6th Avenue

DECISION

The Commission, after carefully balancing the competing public and private interests, and based upon the Recitals and Findings set forth above, in accordance with the standards specified in the Code, hereby approves the Conditional Use authorization under Planning Code Sections 209.6(b) and 303 to install up to nine panel antennas flush mounted to an existing penthouse and screened from view, and associated equipment cabinets on the roof of a five-story health services/hospital as part of a wireless transmission network operated by Verizon Wireless on a Location Preference One (Preferred Location – Publicly-used structure) according to the *Wireless Telecommunications Services (WTS) Siting Guidelines*, within the RM-1 (Mixed, Low Density) and NC-3 (Neighborhood Commercial, Moderate Scale) Zoning Districts, and a 80-E Height and Bulk District, and subject to the conditions of approval attached hereto as Exhibit A.

APPEAL AND EFFECTIVE DATE OF MOTION: Any aggrieved person may appeal this conditional use authorization to the Board of Supervisors within thirty (30) days after the date of this Motion No. 18415. The effective date of this Motion shall be the date of this Motion if not appealed (after the 30-day period has expired) OR the date of the decision of the Board of Supervisors if appealed to the Board of Supervisors. For further information, please contact the Board of Supervisors at (415) 554-5184, City Hall, Room 244, 1 Dr. Carlton B. Goodlett Place, San Francisco, CA 94102.

I hereby certify that the foregoing Motion was adopted by the Planning Commission on July 28, 2011.

Linda Avery
Commission Secretary

AYES: Commissioners Olague, Miguel, Antonini, Moore and Sugaya

NAYS: None

ABSENT: Commissioners Borden and Fong

ADOPTED: July 28, 2011

EXHIBIT A

AUTHORIZATION

This approval is for Conditional Use authorization under Planning Code Sections 209.6(b) and 303 to install a wireless telecommunications facility consisting of nine panel antennas with related equipment, a Location Preference 1 (Preferred Location - Publicly Use Structure) according to the Wireless Telecommunications Services (WTS) Siting Guidelines, as part of Verizon's wireless telecommunications network within the RM-1 (Mixed, Low Density) and NC-3 (Neighborhood Commercial, Moderate Scale) Zoning Districts, and a 80-E Height and Bulk District.

RECORDATION OF CONDITIONS OF APPROVAL

Prior to the issuance of the building permit or commencement of use for the Project the Zoning Administrator shall approve and order the recordation of a Notice in the Official Records of the Recorder of the City and County of San Francisco for the subject property. This Notice shall state that the project is subject to the conditions of approval contained herein and reviewed and approved by the Planning Commission on July 28, 2011 under Motion No. 18415.

PRINTING OF CONDITIONS OF APPROVAL ON PLANS

The conditions of approval under the 'Exhibit A' of this Planning Commission Motion No. 18415 shall be reproduced on the Index Sheet of construction plans submitted with the Site or Building permit application for the Project. The Index Sheet of the construction plans shall reference to the Conditional Use authorization and any subsequent amendments or modifications.

SEVERABILITY

The Project shall comply with all applicable City codes and requirements. If any clause, sentence, section or any part of these conditions of approval is for any reason held to be invalid, such invalidity shall not affect or impair other remaining clauses, sentences, or sections of these conditions. This decision conveys no right to construct, or to receive a building permit. "Project Sponsor" shall include any subsequent responsible party.

CHANGES AND MODIFICATIONS

Changes to the approved plans may be approved administratively by the Zoning Administrator. Significant changes and modifications of conditions shall require Planning Commission approval of a new Conditional Use authorization.

Conditions of Approval, Compliance, Monitoring, and Reporting PERFORMANCE

1. **Validity and Expiration.** The authorization and right vested by virtue of this action is valid for three years from the effective date of the Motion. A building permit from the Department of Building Inspection to construct the project and/or commence the approved use must be issued as this Conditional Use authorization is only an approval of the proposed project and conveys no independent right to construct the project or to commence the approved use. The Planning Commission may, in a public hearing, consider the revocation of the approvals granted if a site or building permit has not been obtained within three (3) years of the date of the Motion approving the Project. Once a site or building permit has been issued, construction must commence within the timeframe required by the Department of Building Inspection and be continued diligently to completion. The Commission may also consider revoking the approvals if a permit for the Project has been issued, but is allowed to expire and more than three (3) years have passed since the Motion was approved.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sfplanning.org.

2. **Extension.** This authorization may be extended at the discretion of the Zoning Administrator only where failure to issue a permit by the Department of Building Inspection to perform said tenant improvements is caused by a delay by a local, State or Federal agency or by any appeal of the issuance of such permit(s).

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sfplanning.org.

DESIGN – COMPLIANCE AT PLAN STAGE

3. **Plan Drawings - WTS.** Prior to the issuance of any building or electrical permits for the installation of the facilities, the Project Sponsor shall submit final scaled drawings for review and approval by the Planning Department ("Plan Drawings"). The Plan Drawings shall describe:
 - a. **Structure and Siting.** Identify all facility related support and protection measures to be installed. This includes, but is not limited to, the location(s) and method(s) of placement, support, protection, screening, paint and/or other treatments of the antennas and other appurtenances to insure public safety, insure compatibility with urban design, architectural and historic preservation principles, and harmony with neighborhood character.
 - b. **For the Project Site, regardless of the ownership of the existing facilities.** Identify the location of all existing antennas and facilities; and identify the location of all approved (but not installed) antennas and facilities.
 - c. **Emissions.** Provide a report, subject to approval of the Zoning Administrator, that operation of the facilities in addition to ambient RF emission levels will not exceed adopted FCC standards with regard to human exposure in uncontrolled areas.

For information about compliance, contact the Case Planner, Planning Department at 415-558-6613, www.sfplanning.org.

4. Screening - WTS. To the extent necessary for information about compliance with adopted FCC regulations regarding human exposure to RF emissions, and upon the recommendation of the Zoning Administrator, the Project Sponsor shall:
- a. Modify the placement of the facilities;
 - b. Install fencing, barriers or other appropriate structures or devices to restrict access to the facilities;
 - c. Install multi-lingual signage, including the RF radiation hazard warning symbol identified in ANSI C95.2 1982, to notify persons that the facility could cause exposure to RF emissions;
 - d. Implement any other practice reasonably necessary to ensure that the facility is operated in compliance with adopted FCC RF emission standards.
 - e. To the extent necessary to minimize visual obtrusion and clutter, installations shall conform to the following standards:
 - f. Antennas and back up equipment shall be painted, fenced, landscaped or otherwise treated architecturally so as to minimize visual effects;
 - g. Rooftop installations shall be setback such that back up facilities are not viewed from the street;
 - h. Antennae attached to building facades shall be so placed, screened or otherwise treated to minimize any negative visual impact; and
 - i. Although co location of various companies' facilities may be desirable, a maximum number of antennas and back up facilities on the Project Site shall be established, on a case by case basis, such that "antennae farms" or similar visual intrusions for the site and area is not created.

For information about compliance, contact the Case Planner, Planning Department at 415-558-6613, www.sf-planning.org.

MONITORING - AFTER ENTITLEMENT

5. Enforcement. Violation of any of the Planning Department conditions of approval contained in this Motion or of any other provisions of Planning Code applicable to this Project shall be subject to the enforcement procedures and administrative penalties set forth under Planning Code Section 176 or Section 176.1. The Planning Department may also refer the violation complaints to other city departments and agencies for appropriate enforcement action under their jurisdiction.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org.

6. Monitoring. The Project requires monitoring of the conditions of approval in this Motion. The Project Sponsor or the subsequent responsible parties for the Project shall pay fees as established under Planning Code Section 351(e) (1) and work with the Planning Department for information about compliance.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org.

7. **Revocation due to Violation of Conditions.** Should implementation of this Project result in complaints from interested property owners, residents, or commercial lessees which are not resolved by the Project Sponsor and found to be in violation of the Planning Code and/or the specific Conditions of Approval for the Project as set forth in Exhibit A of this Motion, the Zoning Administrator shall refer such complaints to the Commission, after which it may hold a public hearing on the matter to consider revocation of this authorization.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sfplanning.org.

8. **Implementation and Monitoring Costs - WTS.**

- a. The Project Sponsor, on an equitable basis with other WTS providers, shall pay the cost of preparing and adopting appropriate General Plan policies related to the placement of WTS facilities. Should future legislation be enacted to provide for cost recovery for planning, the Project Sponsor shall be bound by such legislation.
- b. The Project Sponsor or its successors shall be responsible for the payment of all reasonable costs associated with the monitoring of the conditions of approval contained in this authorization, including costs incurred by this Department, the Department of Public Health, the Department of Electricity and Telecommunications, Office of the City Attorney, or any other appropriate City Department or agency pursuant to Planning Code Section 351(f) (2). The Planning Department shall collect such costs on behalf of the City.
- c. The Project Sponsor shall be responsible for the payment of all fees associated with the installation of the subject facility, which are assessed by the City pursuant to all applicable law.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sfplanning.org.

9. **Implementation and Monitoring - WTS.** In the event that the Project implementation report includes a finding that RF emissions for the site exceed FCC Standards in any uncontrolled location, the Zoning Administrator may require the Applicant to immediately cease and desist operation of the facility until such time that the violation is corrected to the satisfaction of the Zoning Administrator.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sfplanning.org.

10. **Project Implementation Report - WTS.** The Project Sponsor shall prepare and submit to the Zoning Administrator a Project Implementation Report. The Project Implementation Report shall:

- a. Identify the three dimensional perimeter closest to the facility at which adopted FCC standards for human exposure to RF emissions in uncontrolled areas are satisfied;
- b. Document testing that demonstrates that the facility will not cause any potential exposure to RF emissions that exceed adopted FCC emission standards for human exposure in uncontrolled areas.
- c. The Project Implementation Report shall compare test results for each test point with applicable FCC standards. Testing shall be conducted in compliance with FCC

regulations governing the measurement of RF emissions and shall be conducted during normal business hours on a non holiday weekday with the subject equipment measured while operating at maximum power.

- d. Testing, Monitoring, and Preparation. The Project Implementation Report shall be prepared by a certified professional engineer or other technical expert approved by the Department. At the sole option of the Department, the Department (or its agents) may monitor the performance of testing required for preparation of the Project Implementation Report. The cost of such monitoring shall be borne by the Project Sponsor pursuant to the condition related to the payment of the City's reasonable costs.
- i. Notification and Testing. The Project Implementation Report shall set forth the testing and measurements undertaken pursuant to Conditions 2 and 4.
 - ii. Approval. The Zoning Administrator shall request that the Certification of Final Completion for operation of the facility not be issued by the Department of Building Inspection until such time that the Project Implementation Report is approved by the Department for compliance with these conditions.

For information about compliance, contact the Environmental Health Section, Department of Public Health at (415) 252-3800, www.sfdph.org.

11. Notification prior to Project Implementation Report - WTS. The Project Sponsor shall undertake to inform and perform appropriate tests for residents of any dwelling units located within 25 feet of the transmitting antenna at the time of testing for the Project Implementation Report.
- a. At least twenty calendar days prior to conducting the testing required for preparation of the Project Implementation Report, the Project Sponsor shall mail notice to the Department, as well as to the resident of any legal dwelling unit within 25 feet of a transmitting antenna of the date on which testing will be conducted. The Applicant will submit a written affidavit attesting to this mail notice along with the mailing list.
 - b. When requested in advance by a resident notified of testing pursuant to subsection (a), the Project Sponsor shall conduct testing of total power density of RF emissions within the residence of that resident on the date on which the testing is conducted for the Project Implementation Report.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf.planning.org.

12. Installation - WTS. Within 10 days of the installation and operation of the facilities, the Project Sponsor shall confirm in writing to the Zoning Administrator that the facilities are being maintained and operated in compliance with applicable Building, Electrical and other Code requirements, as well as applicable FCC emissions standards.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf.planning.org.

13. Periodic Safety Monitoring - WTS. The Project Sponsor shall submit to the Zoning Administrator 10 days after installation of the facilities, and every two years thereafter, a certification attested to by a licensed engineer expert in the field of EMR/RF emissions, that the facilities are and have been operated within the then current applicable FCC standards for RF/EMF emissions.

For information about compliance, contact the Environmental Health Section, Department of Public Health at (415) 252-3800, www.sfdph.org.

OPERATION

14. **Community Liaison.** Prior to issuance of a building permit application to construct the project and implement the approved use, the Project Sponsor shall appoint a community liaison officer to deal with the issues of concern to owners and occupants of nearby properties. The Project Sponsor shall provide the Zoning Administrator written notice of the name, business address, and telephone number of the community liaison. Should the contact information change, the Zoning Administrator shall be made aware of such change. The community liaison shall report to the Zoning Administrator what issues, if any, are of concern to the community and what issues have not been resolved by the Project Sponsor.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863; www.sfplanning.org

15. **Out of Service – WTS.** The Project Sponsor or Property Owner shall remove antennae and equipment that has been out of service or otherwise abandoned for a continuous period of six months.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sfplanning.org

16. **Emissions Conditions – WTS.** It is a continuing condition of this authorization that the facilities be operated in such a manner so as not to contribute to ambient RF/EMF emissions in excess of then current FCC adopted RF/EMF emission standards; violation of this condition shall be grounds for revocation.

For information about compliance, contact the Environmental Health Section, Department of Public Health at (415) 252-3800, www.sfdph.org.

17. **Noise and Heat – WTS.** The WTS facility, including power source and cooling facility, shall be operated at all times within the limits of the San Francisco Noise Control Ordinance. The WTS facility, including power source and any heating/cooling facility, shall not be operated so as to cause the generation of heat that adversely affects a building occupant.

For information about compliance, contact the Environmental Health Section, Department of Public Health at (415) 252-3800, www.sfdph.org.

18. **Transfer of Operation – WTS.** Any carrier/provider authorized by the Zoning Administrator or by the Planning Commission to operate a specific WTS installation may assign the operation of the facility to another carrier licensed by the FCC for that radio frequency provided that such transfer is made known to the Zoning Administrator in advance of such operation, and all conditions of approval for the subject installation are carried out by the new carrier/provider.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sfplanning.org

Motion No. 18415
Hearing Date: July 28, 2011

CASE NO. 2010.0951C
4141 Geary Blvd./450-6th Avenue

19. **Compatibility with City Emergency Services – WTS.** The facility shall not be operated or caused to transmit on or adjacent to any radio frequencies licensed to the City for emergency telecommunication services such that the City's emergency telecommunications system experiences interference, unless prior approval for such has been granted in writing by the City.

For information about compliance, contact the Department of Technology, 415-581-4000, <http://sfgov3.org/index.aspx?page=1421>

SV:G:\DOCUMENTS\CONDITIONAL USES\2010.0951 - 4141 Geary, Verizon\Conditional Use Authorization - Wireless
Motion.doc



SAN FRANCISCO PLANNING DEPARTMENT

NEIGHBORHOOD ORGANIZATION FEE WAIVER REQUEST FORM

Appeals to the Board of Supervisors

1650 Mission St.
Suite 400
San Francisco,
CA 94103-2479

Reception:
415.558.6378

Fax:
415.558.6409

Planning
Information:
415.558.6377

This form is to be used by neighborhood organizations to request a fee waiver for CEQA and conditional use appeals to the Board of Supervisors.

Should a fee waiver be sought, an appellant must present this form to the Clerk of the Board of Supervisors or to Planning Information Counter (PIC) at the ground level of 1660 Mission Street along with relevant supporting materials identified below. Planning staff will review the form and may sign it 'over-the-counter' or may accept the form for further review.

Should a fee waiver be granted, the Planning Department would not deposit the check, which was required to file the appeal with the Clerk of the Board of Supervisors. The Planning Department will return the check to the appellant.

TYPE OF APPEAL FOR WHICH FEE WAIVER IS SOUGHT

[Check only one and attach decision document to this form]

- Conditional Use Authorization Appeals to the Board of Supervisors
- Environmental Determination Appeals to the Board of Supervisors (including EIR's, NegDec's, and CatEx's, GREs)

REQUIRED CRITERIA FOR GRANTING OF WAIVER

[All criteria must be satisfied. Please check all that apply and attach supporting materials to this form]

- The appellant is a member of the stated neighborhood organization and is authorized to file the appeal on behalf of that organization. Authorization may take the form of a letter signed by the president or other officer of an organization.
- The appellant is appealing on behalf of a neighborhood organization which is registered with the Planning Department and which appears on the Department's current list of neighborhood organizations.
- The appellant is appealing on behalf of a neighborhood organization, which was in existence at least 24 months prior to the submittal of the fee waiver request. Existence may be established by evidence including that relating to the organization's activities at that time such as meeting minutes, resolutions, publications, and rosters.
- The appellant is appealing on behalf of a neighborhood organization, which is affected by the project, which is the subject of the appeal.

APPELLANT & PROJECT INFORMATION [to be completed by applicant]	
Name of Applicant: <u>Jacavelyn Coe</u>	Address of Project: <u>4141 Geary Blvd</u>
Neighborhood Organization: <u>SF Tomorrow</u>	Planning Case No: <u>2010.0951C</u>
Applicant's Address: <u>775金門街, SF 94118</u>	Building Permit No: <u>motion #18415</u>
Applicant's Daytime Phone No: <u>415.386.0184</u>	Date of Decision: <u>7/28/2011</u>
Applicant's Email Address: <u>info@angelaschildnancenter.com</u>	

DCP STAFF USE ONLY	
<input type="checkbox"/> Appellant authorization	Planner's Name: _____
<input type="checkbox"/> Current organization registration	Date: _____
<input type="checkbox"/> Minimum organization age	Planner's Signature: _____
<input type="checkbox"/> Project impact on organization	

■ WAIVER APPROVED ■ WAIVER DENIED



San Francisco Tomorrow

Since 1970, Working to Protect the Urban Environment

August 29, 2011

John Rahaim
Director of City Planning
1650 Mission St., Ste. 400
San Francisco, CA 94103

RE: Request for Fee Waiver as a neighborhood organization

Dear Director Rahaim,

I am writing this letter to confirm that San Francisco Tomorrow (SFT) is a neighborhood organization according to the definition specified by your department. Our organization was established in 1971 to protect and preserve San Francisco's neighborhoods, and have frequently acted in that role. We have been listed on the Planning Department's list of neighborhood organizations for many years.

In the matter of the appeal of the Conditional Use of Verizon antennas at Kaiser Permanente SF at 498 6th Ave (No: 2010.0951C), I have authorized Jacquelyn and Sophia Coo, as well as Sandra Fenn, to represent our organization.

Sincerely,

Jennifer Clary
President

Will you want to live in San Francisco – tomorrow?

44 Woodland Ave, San Francisco, CA 94117

(415) 566-7050



SAN FRANCISCO PLANNING DEPARTMENT

MEMO

Conditional Use Authorization Appeal 4141 Geary Boulevard/450 – 6th Avenue

1650 Mission St.
Suite 400
San Francisco,
CA 94103-2479

Reception:
415.558.6378

Fax:
415.558.6409

Planning
Information:
415.558.6377

DATE: September 16, 2011
TO: Angela Calvillo, Clerk of the Board of Supervisors
FROM: John Rahaim, Planning Director – Planning Department (415) 558-6411
Sara Vellve, Case Planner – Planning Department (415) 558-6263
RE: File No. 110950 Planning Case No. 2010.0951C –
Appeal of approval of Conditional Use authorization for 4141 Geary Boulevard/
450 – 6th Avenue

HEARING DATE: September 27, 2011

ATTACHMENTS:
A. Commission Packet (including final motion No. 18415)
B. Appeal Letter (August 29, 2011)

PROJECT SPONSOR: Gabriella Barr, OnAir, LLC for Verizon Wireless, 9210 Zayante Drive, Felton, 95018

APPELLANT: Sandra Fen Ng, 775 – 7th Avenue, San Francisco, CA 94118

RECEIVED
BOARD OF SUPERVISORS
SAN FRANCISCO
2011 SEP 16 PM 2:52

INTRODUCTION:

This memorandum and the attached documents are a response to the letter of appeal to the Board of Supervisors (the "Board") regarding the Planning Commission's ("Commission") July 28, 2011 approval of the application for Conditional Use Authorization under Planning Code Sections 303 (Conditional Use Authorization) and 209.6(b) (Public Facilities and Utilities) to locate up to nine wireless telecommunication panel antennas on the mechanical penthouse of a medical office building operated by Kaiser Permanente. The subject building is located on 6th Avenue midway between Geary Boulevard and Anza Street within the NC-3 (Moderate Scale, Neighborhood Commercial) district, and a 80-E Height and Bulk District.

This response addresses the appeal ("Appeal Letter") to the Board filed on August 29, 2011 by Sandra Fen Ng, 775 – 7th Avenue, San Francisco, CA 94118. The Appeal Letter referenced the proposed project in Case No. 2010.0951C.

The decision before the Board is whether to uphold or overturn the Planning Commission's approval of Conditional Use Authorization to allow Verizon Wireless to establish a wireless telecommunications facility at the site by attaching up to nine panel antennas to the north, east and south sides of an existing mechanical penthouse at a height of approximately 85 feet from grade.

SITE DESCRIPTION & PRESENT USE:

The subject site is zoned RM-1 (Mixed, Low Density) and NC-3 (Neighborhood Commercial, Moderate Scale). The RM-1 District (south portion of subject lot where buildings front 6th Avenue) is characterized in the Planning Code as containing a mixture of dwelling types and a significant number of apartment buildings that broaden the range of unit sizes and variety of structures, but with an overall low density and moderately scaled buildings with neighborhood services and transit lines located within close proximity. The NC-3 District (north portion of lot fronting Geary Boulevard) is characterized in the Planning Code as containing a wide variety of comparison and specialty goods and services to a population greater than the immediate neighborhood in a linear commercial street stretching for many blocks.

The approximately 100,600 square foot site is developed as Kaiser Hospital's French Campus and consists of approximately four buildings in the block bounded by Geary Boulevard to the north, 6th Avenue to the west, Anza Street to the south and 5th Avenue to the west. The subject building where the proposed antennas would be located is five stories tall (plus a mechanical penthouse) and is located mid-block fronting 6th Avenue. The subject structure was constructed in approximately 1970.

SURROUNDING PROPERTIES AND NEIGHBORHOOD:

The entire block is developed with buildings generally used by Kaiser Permanente for its medical and health services, and operations. Lots across 6th Avenue from the subject site generally consist of single-to-multi-family buildings between Geary Boulevard and Anza Street. The building at the northeast corner of the intersection of 6th Avenue and Anza Street is leased to the University of San Francisco for student housing. The Richmond District Police Station is located directly across 6th Avenue from the subject building.

PROJECT DESCRIPTION:

Verizon Wireless proposes to install nine panel antennas, two GPS antennas, and associated equipment cabinets as part of their wireless transmission network. According to the *Wireless Telecommunications Services (WTS) Siting Guidelines*, the property is a Location Preference 1 (Publicly-used structure) as the site is developed with a medical office/hospital owned and operated by Kaiser Permanente. The nine panel antennas would be flush-mounted in groups of three on the north, east and south sides of an existing penthouse at a height of approximately 85 feet and no higher than the penthouse roof. In order to improve the visual quality of the site, all antennas will be screened from view by synthetic material that is RF (Radio Frequency) Transparent, which allows transmission to occur even though the antennas are obscured. The maximum dimension for the proposed antennas would be approximately 4 feet tall, 1 foot wide and 3 to 7 inches deep. The proposed WTS site also includes the installation of associated mechanical equipment which will be located on the roof of the five-story building immediately to the north of the penthouse and set back from the 6th Avenue property line by approximately 30 feet.

BACKGROUND:

2010 – Conditional Use Authorization Application filed

On October 19, 2010, Gabriella Bar of OnAir, LLC filed a Conditional Use application with the Planning Department on behalf of Verizon Wireless.

2011 – Conditional Use Authorization hearing

On July 28, 2011, the Commission adopted Motion No. 18415, approving Conditional Use Authorization allowing Verizon Wireless to locate up to nine panel antennas on the mechanical penthouse of a Kaiser Permanente medical office building per Planning Code Sections 303 and 209.6(b) at a duly noticed public hearing at a regularly scheduled meeting on Conditional Use Application No. 2010.0951C.

CONDITIONAL USE AUTHORIZATION REQUIREMENTS:

The Planning Commission must refer to the criteria outlined in Section 303 (Conditional Use) of the Planning Code. Section 303 states that the following must be met in order for the Commission to grant approval of an application:

1. That the proposed use or feature, at the size and intensity contemplated and at the proposed location, will provide a development that is necessary or desirable for, and compatible with, the neighborhood or the community; and
2. That such use or feature as proposed will not be detrimental to the health, safety, convenience or general welfare of persons residing or working in the vicinity, or injurious to property, improvements or potential development in the vicinity, with respect to aspects including but not limited to the following:
 - a. The nature of the proposed site, including its size and shape, and the proposed size, shape and arrangement of structures;
 - b. The accessibility and traffic patterns for persons and vehicles, the type and volume of such traffic, and the adequacy of proposed off-street parking and loading and of proposed alternatives to off-street parking, including provisions of car-share parking spaces, as defined in Section 166 of this Code.
 - c. The safeguards afforded to prevent noxious or offensive emissions such as noise, glare, dust and odor;
 - d. Treatment given, as appropriate, to such aspects as landscaping, screening, open spaces, parking and loading areas, service areas, lighting and signs; and
 - e. That such use or feature as proposed will comply with the applicable provisions of this Code and will not adversely affect the Master Plan.

APPELLANT ISSUES AND PLANNING DEPARTMENT RESPONSES:

The concerns raised in the Appeal Letter are cited in a summary below and are followed by the Department's response:

ISSUE #1 – THE PROJECT DOES NOT MEET THE CRITERIA FOR NECESSITY, DESIREABILITY OR COMPATABILITY: The Appellant contends that survey data and comment from residents within a 300 – 500 foot radius of the site supports the appeal.

RESPONSE #1: The Appellant's *Statement of Appeal* is one sentence long and only states that "Motion Number 18415 is not desirable and not compatible with the neighborhood". In fact, Motion No. 18415 did indeed find that the project was necessary and desirable and compatible with the community or neighborhood. Specifically, the Motion states:

- "The proposed project at 4141 Geary Blvd./450 – 6th Avenue is necessary in order to achieve sufficient street, in-transit and in-building mobile phone coverage."
- The proposed project at 4141 Geary Blvd./450 – 6th Avenue will be generally desirable and compatible with the surrounding neighborhood because the project will not conflict with the existing uses of the property and will be of such size and nature to be compatible with the surrounding nature of the vicinity.

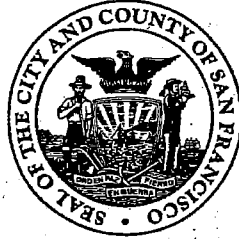
The appellant has not submitted any new information since the Planning Commission hearing. Therefore the Department is providing the Board with the materials the Commission used to make their decision (See Attached Executive Summary) and the Commission's Motion on the project recording their final action (See Attached Motion 18415). The Commission's Motion 18415 includes Findings pursuant to Planning Code Section 303 regarding the project's necessity, desirability and consistency with the General Plan and neighborhood. Should the Appellant provide additional information the future, the Planning Department will review it and respond as appropriate.

CONCLUSION:

In the Commission's authorization of the Conditional Use, the project was found to be necessary and desirable to augment Verizon's existing coverage and capacity for its voice and data services. In the Commission's authorization of the Conditional Use, the project was found to be visually compatible with the neighborhood as the antennas are screened from view and at a height of approximately 85 feet above grade.

For the reasons stated above, the Planning Department recommends that the Board uphold the Planning Commission's decision in approving the Conditional Use authorization for 4141 Geary Boulevard/450 – 6th Avenue and deny the Appellant's request for appeal.

BOARD of SUPERVISORS



City Hall
1 Dr. Carlton B. Goodlett Place, Room 244
San Francisco 94102-4689
Tel. No. 554-5184
Fax No. 554-5163
TDD/TTY No. 544-5227

August 31, 2011

John Rahaim, Director
Planning Department
1650 Mission Street, Suite 400
San Francisco, CA 94103

**File No. 110950, Planning Case No. 2010.0951C
4141 Geary Boulevard/450 - 6th Avenue Conditional Use Appeal**

Dear Director Rahaim:

This office is in receipt of an appeal filed by Sandra Fen Ng, on behalf of the San Francisco Tomorrow from the decision of the Planning Commission by its Motion No. 18415 dated July 28, 2011, approving a Conditional Use Authorization identified as Planning Case No. 2010.0951C, under Planning Code Sections 209.6(b) and 303 to install a wireless telecommunications facility consisting of nine (9) panel antennas and related equipment on an existing mechanical penthouse on the roof of a five-story publicly used structure (Kaiser Hospital) as part of Verizon's wireless telecommunications network within the RM-1 (Mixed, Low Density) and NC-3 (Neighborhood Commercial, Moderate Scale) Zoning Districts, and a 80-E Height and Bulk District, on property located at:

4141 Geary Boulevard/450 - 6th Avenue, Assessor's Block No. 1539, Lot No. 003.

Pursuant to Ordinance No. 121-01, Supervisors Eric Mar, John Avalos, David Chiu, Jane Kim, and Ross Mirkarimi, subscribed to this conditional use appeal as an alternative to obtaining the signatures of 20% of the property owners within 300 feet of the subject property.

A hearing date has been scheduled on **Tuesday, September 27, 2011, at 4:00 p.m.**, at the Board of Supervisors meeting to be held in City Hall, tentatively in Room 416, 4th Floor, at 1 Dr. Carlton B. Goodlett Place, San Francisco, CA 94102.


Sincerely,

A handwritten signature in black ink, appearing to read "Angela Calvillo".

Angela Calvillo
Clerk of the Board

c:
Appellant, Sandra Fen Ng, 775 - 7th Avenue, San Francisco, CA 94118
Property Owner, Kaiser Foundation Hospitals, 1800 Harrison Street, 6th Floor, Oakland, CA 94612, w/ copy of appeal
Project Sponsor, Gabriella Bar for Verizon Wireless, 9210 Zayante Drive, Felton, CA 95018, w/ copy of appeal
Scott Sanchez, Zoning Administrator, Planning Department, w/ copy of appeal
AnMarie Rodgers, Planning Department, w/ copy of appeal
Tina Tam, Planning Department, w/ copy of appeal
Nannie Turrell, Planning Department, w/ copy of appeal
Linda Avery, Planning Department, w/ copy of appeal
Sara Velve, Planning Department, w/ copy of appeal
Cheryl Adams, Deputy City Attorney, w/ copy of appeal
Kate Stacy, Deputy City Attorney, w/ copy of appeal
Marlena Byrne, Deputy City Attorney, w/ copy of appeal

**NOTICE TO BOARD OF SUPERVISORS OF APPEAL
FROM ACTION OF THE CITY PLANNING COMMISSION**

RECEIVED
BOARD OF SUPERVISORS
SAN FRANCISCO
2011 AUG 29 AM 10:27
BY 

Notice is hereby given of an appeal to the Board of Supervisors from the following action of the City Planning Commission.

The property is located at 4141 Geary Blvd

July 28, 2011
Date of City Planning Commission Action
(Attach a Copy of Planning Commission's Decision)

August 26th, 2011
Appeal Filing Date

The Planning Commission disapproved in whole or in part an application for reclassification of property, Case No. _____

The Planning Commission disapproved in whole or in part an application for establishment, abolition or modification of a set-back line, Case No. _____

The Planning Commission approved in whole or in part an application for conditional use authorization, Case No. 2010.0951C

The Planning Commission disapproved in whole or in part an application for conditional use authorization, Case No. _____

Statement of Appeal:

a) Set forth the part(s) of the decision the appeal is taken from:

This motion #18415 is not necessary, not desirable, and not compatible with our neighborhood.

b) Set forth the reasons in support of your appeal:

survey data and support from residents within 300-500 sq ft radius.

Person to Whom
Notices Shall Be Mailed

Name and Address of Person Filing Appeal:

Jacquelyn Coo / Sandra Fen Ng
Name

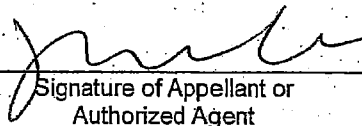
Sandra Fen Ng
Name

775 7th Ave, SF 94118
Address

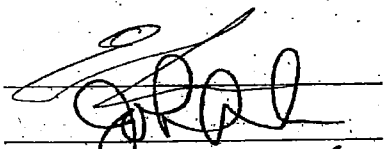
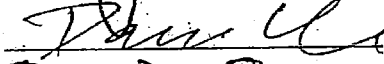
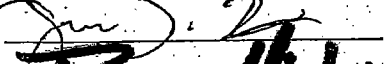

775 7th Ave, SF 94118
Address

415/386.0184
Telephone Number

415/386.0184
Telephone Number


Signature of Appellant or
Authorized Agent

Pursuant to Planning Code Section 308.1(b), the undersigned members of the Board of Supervisors believe that there is sufficient public interest and concern to warrant an appeal of the Planning Commission on Case No. 2010-0951C, a conditional use authorization regarding (address) 4141 Geary Blvd / 450 - 6th Avenue, District . The undersigned members respectfully request the Clerk of the Board to calendar this item at the soonest possible date.

SIGNATURE	DATE
	8-18-11
	8-22-11
	8/24/11
	8/24/11

(Attach copy of Planning Commission's Decision)



SAN FRANCISCO PLANNING DEPARTMENT

Subject to: (Select only if applicable)

- Affordable Housing (Sec. 415)
- Jobs Housing Linkage Program (Sec. 413)
- Downtown Park Fee (Sec. 412)
- First Source Hiring (Admin. Code)
- Child Care Requirement (Sec. 414)
- Other

1650 Mission St.
Suite 400
San Francisco
CA 94103-2473

Reception
415.558.6378

Fax:
415.558.6409

Planning
Information
415.558.6377

Planning Commission Motion No. 18415

HEARING DATE: JULY 28, 2011

Date: July 21 2011.
Case No.: 2010.0951C
Project Address: 4141 Geary Blvd./450 – 6th Avenue
Current Zoning: RM-1 (Mixed, Low Density)
 NC-3 (Neighborhood Commercial, Moderate Scale)
 80-E Height and Bulk District
Block/Lot: 1539/003
Project Sponsor: Gabriella Bar for
 Verizon Wireless
 9210 Zayante Drive
 Felton, CA 95018
Staff Contact: Sara Velve – (415) 558- 6263
 sara.velve@sfgov.org
Recommendation: Approval with Conditions

ADOPTING FINDINGS RELATING TO THE APPROVAL OF A CONDITIONAL USE AUTHORIZATION UNDER PLANNING CODE SECTIONS 209.6(b) AND 303 TO INSTALL A WIRELESS TELECOMMUNICATIONS FACILITY CONSISTING OF NINE (9) PANEL ANTENNAS AND RELATED EQUIPMENT ON AN EXISTING MECHANICAL PENTHOUSE ON THE ROOF OF A FIVE-STORY PUBLICALLY USED STRUCTURE (KAISER HOSPITAL) AS PART OF VERIZON'S WIRELESS TELECOMMUNICATIONS NETWORK WITHIN THE RM-1 (MIXED, LOW DENSITY) AND NC-3 (NEIGHBORHOOD COMMERCIAL, MODERATE SCALE) ZONING DISTRICTS, AND A 80-E HEIGHT AND BULK DISTRICT.

PREAMBLE

On October 19, 2010, Gabriella Bar, as representative of Verizon Wireless, (hereinafter "Project Sponsor"), made an application (hereinafter "application"), for Conditional Use Authorization on the property at 4141 Geary Blvd./ 450 – 6th Avenue, Lot 003 in Assessor's Block 1539, (hereinafter "project site") to install a wireless telecommunications facility consisting of nine (9) panel antennas on an existing mechanical penthouse and related equipment on the adjacent roof of an existing five-story publicly used structure (Kaiser Hospital) as part of Verizon's wireless telecommunications network within the RM-1 (Mixed, Low Density) and NC-3 (Neighborhood Commercial, Moderate Scale) Zoning Districts, and a 80-E Height and Bulk District.

The project is exempt from the California Environmental Quality Act ("CEQA") as a Class 3 categorical exemption. The Commission has reviewed and concurs with said determination. The categorical exemption and all pertinent documents may be found in the files of the Planning Department (hereinafter "Department"), as the custodian of records, at 1650 Mission Street, San Francisco.

On July 28, 2011, the San Francisco Planning Commission (hereinafter "Commission") conducted a duly noticed public hearing at a regularly scheduled meeting on the application for a Conditional Use authorization.

The Commission has heard and considered the testimony presented to it at the public hearing and has further considered written materials and oral testimony presented on behalf of the applicant, department staff, and other interested parties.

MOVED, that the Commission hereby authorizes the Conditional Use in Application No. 2010.0951C, subject to the conditions contained in "EXHIBIT A" of this motion, based on the following findings:

FINDINGS

Having reviewed the materials identified in the preamble above, and having heard all testimony and arguments, this Commission finds, concludes, and determines as follows:

1. The above recitals are accurate and constitute findings of this Commission.
2. **Site Description and Present Use.** The subject site is zoned RM-1 (Mixed, Low Density) and NC (Neighborhood Commercial, Moderate Scale). The RM-1 District (south portion of subject lot where buildings front 6th Avenue) is characterized in the Planning Code as containing a mixture of dwelling types and a significant number of apartment buildings that broaden the range of unit sizes and variety of structures, but with an overall low density and moderately scaled buildings with neighborhood services and transit lines located within close proximity. The NC-3 District (north portion of lot fronting Geary Boulevard) is characterized in the Planning Code as containing a wide variety of comparison and specialty goods and services to a population greater than the immediate neighborhood in a linear commercial street stretching for many blocks.

The approximately 100,600 square foot site is developed as Kaiser Hospital's French Campus and consists of approximately four buildings in the block bounded by Geary Boulevard to the north, 6th Avenue to the west, Anza Street to the south and 5th Avenue to the west. The subject building where the proposed antennas would be located is five stories tall (plus a mechanical penthouse) and is located mid-block fronting 6th Avenue. The subject structure was constructed in approximately 1970.

3. **Surrounding Properties and Neighborhood.** The entire block is developed with buildings generally used by Kaiser Permanente for its medical and health services, and

operations. Lots across 6th Avenue from the subject site generally consist of single-to-multi family-buildings between Geary Boulevard and Anza Street. The building at the northeast corner of the intersection of 6th Avenue and Anza Street is leased to the University of San Francisco for student housing. The Richmond District Police Station is located directly across 6th Avenue from the subject building.

4. **Project Description.** Verizon Wireless proposes to install nine panel antennas, two GPS antennas, and associated equipment cabinets as part of their wireless transmission network. According to the *Wireless Telecommunications Services (WTS) Siting Guidelines*, the property is a Location Preference 1 (Publicly-used structure) as the site is developed with a medical office/hospital owned and operated by Kaiser Permanente. The nine panel antennas would be flush-mounted in groups of three on the north, east and south sides of an existing penthouse at a height of approximately 85 feet and no higher than the penthouse roof. In order to improve the visual quality of the site, all antennas will be screened from view by synthetic material that is RF (Radio Frequency) Transparent, which allows transmission to occur even though the antennas are obscured. The maximum dimension for all the proposed antennas is approximately 4 feet tall, 1 foot wide and 3 to 7 inches deep. The proposed WTS site also includes the installation of associated mechanical equipment which will be located on the roof of the five-story building immediately to the north of the penthouse and set back from the 6th Avenue property line by approximately 30 feet.
5. **Past History and Actions.** The Planning Commission established guidelines for the installation of wireless telecommunications facilities in 1996 ("*Guidelines*"). These *Guidelines* set forth the land use policies and practices that guide the installation and approval of wireless facilities throughout San Francisco. A large portion of the *Guidelines* was dedicated to establishing location preferences for these installations. The Board of Supervisors, in Resolution No. 635-96, provided input as to where wireless facilities should be located within San Francisco. The *Guidelines* were updated by the Commission in 2003, requiring community outreach, notification, and detailed information about the facilities to be installed.¹

Section 8.1 of the *Guidelines* outlines Location Preferences for wireless facilities. There are five primary areas where the installation of wireless facilities should be located:

1. **Publicly-used Structures:** such facilities as fire stations, utility structures, community facilities, hospitals, health centers and other public structures;
2. **Co-Location Site:** encourages installation of facilities on buildings that already have wireless installations;
3. **Industrial or Commercial Structures:** buildings such as warehouses, factories, garages, service stations;

¹ PC Resolution 16539, passed March 13, 2003.

4. Industrial or Commercial Structures: buildings such as supermarkets, retail stores, banks; and
5. Mixed Use Buildings in High Density Districts: buildings such as housing above commercial or other non-residential space.

Before the Planning Commission can review an application to install a wireless facility, the project sponsor must submit a five-year facilities plan, which must be updated biannually, an emissions report and approval by the Department of Public Health, Section 106 Declaration of Intent, a submittal checklist and details about the facilities to be installed.

Under Section 704(B)(iv) of the 1996 Federal Telecommunications Act, local jurisdictions cannot deny wireless facilities based on Radio Frequency (RF) radiation emissions so long as such facilities comply with the FCC's regulations concerning such emissions.

On July 28, 2011, the Commission conducted a duly noticed public hearing at a regularly scheduled meeting on the application for a Conditional Use authorization pursuant to Planning Code Sections 206.9(b) and 303 to install a wireless telecommunications facility consisting of nine panel antennas to be flush-mounted to an existing penthouse and related equipment on the roof of an existing five-story building as part of Verizon's wireless telecommunications network.

6. **Location Preference.** The *WTS Facilities Siting Guidelines* identify different types of buildings for the siting of wireless telecommunications facilities. Under the *Guidelines*, the Project is a Location Preference Number 1, as it is a preferred location for a publicly-used structure (hospital/health services).
7. **Radio Waves Range.** The Project Sponsor has stated that the proposed wireless network will transmit calls by radio waves operating in the 800 - 1900 Megahertz (MHZ) bands, which is regulated by the Federal Communications Commission (FCC) and which must comply with the FCC-adopted health and safety standards for electromagnetic radiation and radio frequency radiation.
8. **Radiofrequency (RF) Emissions.** The project sponsor retained Hammett & Edison, Inc., a radio engineering consulting firm, to prepare a report describing the expected RF emissions from the proposed facility. Pursuant to the *Guidelines*, the Department of Public Health reviewed the report and determined that the proposed facility complies with the standards set forth in the *Guidelines*.
9. **Department of Public Health Review and Approval.** The proposed project was referred to the Department of Public Health (DPH) for emissions exposure analysis. Existing RF levels at ground level were less than 1% of the FCC public exposure limit. There were no other observed similar antennas within 100 feet of this site. Verizon proposes to install nine new antennas. The antennas will be flush mounted on an existing penthouse at a height of approximately 85 feet above the ground. The estimated ambient RF field from

the proposed Verizon transmitters at ground level is calculated to be 0.0013 mW/sq cm, which is .23% of the FCC public exposure limit. The three dimensional perimeter of RF levels equal to the public exposure limit extends 30 feet and does not reach the roof of the building or any publicly accessible areas. Warning signs must be posted at the antennas and roof access points in English, Spanish, and Chinese. Workers should not have access to within six feet of the front of the antennas while in operation.

10. **Maintenance Schedule.** The proposed facility would operate without on-site staff but with a maintenance crew visiting the property approximately two or three times a month and on an as-needed basis to service and monitor the facility.
11. **Community Outreach.** Per the *Guidelines*, the project sponsor held a Community Outreach Meeting for the proposed project. The meeting began at 7:00 P.M. on Thursday, April 28, 2011 at the Richmond/Senator Milton Marks Branch Library, located at 351 Ninth Avenue, San Francisco. Approximately 35 members of the public attended the meeting, with five attendees indicating their opposition to the project on the sign-in sheet.
12. **Five-year plan.** Per the *Guidelines*, the project sponsor submitted its latest five-year plan, as required, in April 2011.
13. **Public Comment.** As of July 28, 2011, the Department has received one phone call and one letter in opposition to the proposal, both expressing concerns that were health related. In addition, the Community Outreach Sign-in Sheet indicates that 5 attendees of the meeting oppose the proposal.
14. **Planning Code Compliance.** The Commission finds that the Project is consistent with the relevant provisions of the Planning Code in the following manner:
 - A. **Use.** Per Planning Code Sections 209.6(b), a Conditional Use authorization is required for the installation of wireless transmission facilities.
15. **Planning Code Section 303** establishes criteria for the Planning Commission to consider when reviewing applications for Conditional Use approval. On balance, the project does comply with said criteria in that:
 - A. The proposed new uses and building, at the size and intensity contemplated and at the proposed location, will provide a development that is necessary or desirable, and compatible with, the neighborhood or the community.
 - i. *Desirable: San Francisco is a leader of the technological economy; it is important and desirable to the vitality of the city to have and maintain adequate telecommunications coverage and data capacity. This includes the installation and upgrading of systems to keep up with changing technology and increases in usage. It is desirable for the City to allow wireless facilities to be installed.*

The proposed project at 4141 Geary Blvd./450 – 6th Avenue will be generally desirable and compatible with the surrounding neighborhood because the project will not conflict with the existing uses of the property and will be of such size and nature to be compatible with the surrounding nature of the vicinity. The approval of this authorization has been found, first and foremost, to insure public safety, and insure that the placement of antennas and related support and protection features are so located, designed, and treated architecturally to minimize their visibility from public places, to avoid intrusion into public vistas, avoid disruption of the architectural design integrity of building and insure harmony with neighborhood character.

- ii *Necessary: In the case of wireless installations, there are two criteria that the Commission reviews: coverage and capacity.*

Coverage: San Francisco does have sufficient overall wireless coverage (note that this is separate from carrier service). It is necessary for San Francisco to have as much coverage as possible in terms of wireless facilities. Due to the topography and tall buildings in San Francisco, unique coverage issues arise because the hills and buildings break up coverage. Thus, telecommunication carriers often install additional installations to make sure coverage is sufficient.

Capacity: While a carrier may have adequate coverage in a certain area, the capacity may not be sufficient. With the continuous innovations in wireless data technology and demand placed on existing infrastructure, individual telecommunications carriers must upgrade and in some instances expand their facilities network to be able to have proper data distribution. It is necessary for San Francisco, as a leader in technology, to have adequate capacity.

The proposed project at 4141 Geary Blvd./450 – 6th Avenue is necessary in order to achieve sufficient street, in-transit and in-building mobile phone coverage. Recent drive tests in the subject area conducted by the Verizon Radio Frequency Engineering Team provide conclusive evidence that the subject property is the most viable location, based on factors including quality of coverage, population density, land use compatibility, zoning and aesthetics. The proposed coverage area will serve the vicinity bounded by Fulton Street, 20th Avenue, Lake Street and Arguello Boulevard, as indicated in the coverage maps. This facility will fill in the gaps to improve coverage in the Inner Richmond District as well as to provide necessary facilities for emergency transmission and improved communication for the neighborhood, community and the region.

- B. The proposed project will not be detrimental to the health, safety, convenience or general welfare of persons residing or working in the vicinity. There are no features of the project that could be detrimental to the health, safety or convenience of those residing or working the area, in that:

- i Nature of proposed site, including its size and shape, and the proposed size, shape and arrangement of structures;

The proposed project must comply with all applicable Federal and State regulations to safeguard the health, safety and to ensure that persons residing or working in the vicinity will not be affected, and prevent harm to other personal property.

The Department of Public Health conducted an evaluation of potential health effects from Radio Frequency radiation, and has concluded that the proposed wireless transmission facilities will have no adverse health effects if operated in compliance with the FCC-adopted health and safety standards. The Department has received information that the proposed wireless system must be operated so as not to interfere with radio or television reception in order to comply with the provisions of its license under the FCC.

The Planning Department is developing a database of all such wireless communications facilities operating or proposed for operation in the City and County of San Francisco. All applicants are now required to submit information on the location and nature of all existing and approved wireless transmission facilities operated by the Project Sponsor. The goal of this effort is to foster public information as to the location of these facilities.

- ii The accessibility and traffic patterns for persons and vehicles, the type and volume of such traffic, and the adequacy of proposed off-street parking and loading;

No increase in traffic volume is anticipated with the facilities operating unmanned, with a single maintenance crew visiting the site two to three times a month or on an as-needed basis.

- iii The safeguards afforded to prevent noxious or offensive emissions such as noise, glare, dust and odor;

While some noise and dust may result from the erection of the antennas and transceiver equipment, noise or noxious emissions from continued use are not likely to be significantly greater than ambient conditions due to the operation of the wireless communication network.

- iv Treatment given, as appropriate, to such aspects as landscaping, screening, open spaces, parking and loading areas, service areas, lighting and signs;

The antennas are proposed to be flush mounted to the north, east and south facades of an existing penthouse and screened from view with RF transparent material painted to match the penthouse. Mechanical equipment would be located on the fifth floor roof of subject building adjacent to the penthouse.

- C. That the use as proposed will comply with the applicable provisions of the Planning Code and will not adversely affect the General Plan.

The project complies with all relevant requirements and standards of the Planning Code and is consistent with objectives and policies of the General Plan as detailed below.

- D. That the use as proposed would provide development that is in conformity with the purpose of the applicable Neighborhood Commercial District.

The proposed project is consistent with the stated purpose of the RM-1 (Mixed, Low Density) and NC-3 (Neighborhood Commercial, Moderate Scale) Districts in that the intended use is located on an existing building at a height of approximately 85 feet from grade and designed to resemble the existing penthouse.

16. General Plan Compliance. The Project is, on balance, consistent with the following Objectives and Policies of the General Plan

2004 HOUSING ELEMENT

HOUSING DENSITY, DENSITY, DESIGN & QUALITY OF LIFE

OBJECTIVE 11 - IN INCREASING THE SUPPLY OF HOUSING, PURSUE PLACE MAKING AND NEIGHBORHOOD BUILDING PRINCIPLES AND PRACTICES TO MAINTAIN SAN FRANCISCO'S DESIRABLE URBAN FABRIC AND ENHANCE LIVABILITY IN ALL NEIGHBORHOODS.

POLICY 11.2 - Ensure housing is provided with adequate public improvements, services, and amenities.

The project will improve Verizon Mobility coverage in residential, commercial and recreational areas along primary transportation routes in San Francisco.

2009 HOUSING ELEMENT

BALANCE HOUSING CONSTRUCTION AND COMMUNITY INFRASTRUCTURE

OBJECTIVE 12 - BALANCE HOUSING GROWTH WITH ADEQUATE INFRASTRUCTURE THAT SERVES THE CITY'S GROWING POPULATION.

POLICY 12.2 - Consider the proximity of quality of life elements, such as open space, child care, and neighborhood services, when developing new housing units.

POLICY 12.3 - Ensure new housing is sustainable supported by the City's public infrastructure systems.

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The project will improve Verizon Mobility coverage in residential, commercial and recreational areas along primary transportation routes in San Francisco

URBAN DESIGN

HUMAN NEEDS

OBJECTIVE 4 - IMPROVEMENT OF THE NEIGHBORHOOD ENVIRONMENT TO INCREASE PERSONAL SAFETY, COMFORT, PRIDE AND OPPORTUNITY.

POLICY 4.14 - Remove and obscure distracting and cluttering elements.

The project adequately "stealths" the proposed antennas and related equipment by locating the antennas within screening and the equipment on a building roof and set back from the property line.

COMMERCE AND INDUSTRY ELEMENT

Objectives and Policies

OBJECTIVE 1:

MANAGE ECONOMIC GROWTH AND CHANGE TO ENSURE ENHANCEMENT OF THE TOTAL CITY LIVING AND WORKING ENVIRONMENT.

Policy 1:

Encourage development, which provides substantial net benefits and minimizes undesirable consequences. Discourage development, which has substantial undesirable consequences that cannot be mitigated.

Policy 2:

Assure that all commercial and industrial uses meet minimum, reasonable performance standards.

The project would enhance the total city living and working environment by providing communication services for residents and workers within the City. Additionally, the project would comply with Federal, State and Local performance standards.

OBJECTIVE 2:

MAINTAIN AND ENHANCE A SOUND AND DIVERSE ECONOMIC BASE AND FISCAL STRUCTURE FOR THE CITY.

Policy 1:

Seek to retain existing commercial and industrial activity and to attract new such activity to the city.

Policy 3:

Maintain a favorable social and cultural climate in the city in order to enhance its attractiveness as a firm location.

The site is an integral part of a wireless communications network that will enhance the City's diverse economic base.

OBJECTIVE 4:

IMPROVE THE VIABILITY OF EXISTING INDUSTRY IN THE CITY AND THE ATTRACTIVENESS OF THE CITY AS A LOCATION FOR NEW INDUSTRY.

Policy 1:

Maintain and enhance a favorable business climate in the City.

Policy 2:

Promote and attract those economic activities with potential benefit to the City.

The project would benefit the City by enhancing the business climate through improved communication services for residents and workers.

VISITOR TRADE

OBJECTIVE 8 - ENHANCE SAN FRANCISCO'S POSITION AS A NATIONAL CENTER FOR CONVENTIONS AND VISITOR TRADE.

POLICY 8.3 - Assure that areas of particular visitor attraction are provided with adequate public services for both residents and visitors.

The project will ensure that residents and visitors have adequate public service in the form of Verizon's mobile telecommunications.

COMMUNITY SAFETY ELEMENT

Objectives and Policies

OBJECTIVE 3:

ENSURE THE PROTECTION OF LIFE AND PROPERTY FROM THE EFFECTS OF FIRE OR NATURAL DISASTER THROUGH ADEQUATE EMERGENCY OPERATIONS PREPARATION.

Policy 1:

Maintain a local agency for the provision of emergency services to meet the needs of San Francisco.

Policy 2:

Develop and maintain viable, up-to-date in-house emergency operations plans, with necessary equipment, for operational capability of all emergency service agencies and departments.

Policy 3:

Maintain and expand agreements for emergency assistance from other jurisdictions to ensure adequate aid in time of need.

Policy 4:

Establish and maintain an adequate Emergency Operations Center.

Policy 5:

Maintain and expand the city's fire prevention and fire-fighting capability.

Policy 6:

Establish a system of emergency access routes for both emergency operations and evacuation.

The project would enhance the ability of the City to protect both life and property from the effects of a fire or natural disaster by providing communication services.

17. Planning Code Section 101.1(b) establishes eight priority-planning policies and requires review of permits for consistency with said policies. On balance, the project does comply with said policies in that:

- A. That existing neighborhood-serving retail uses be preserved and enhanced and future opportunities for resident employment in and ownership of such businesses be enhanced.

No neighborhood-serving retail use would be displaced and the wireless communications network will enhance personal communication services.

- B. That existing housing and neighborhood character be conserved and protected in order to preserve the cultural and economic diversity of our neighborhoods.

No residential uses would be displaced or altered in any way by the granting of this authorization.

- C. That the City's supply of affordable housing be preserved and enhanced.

The project would have no adverse impact on housing in the vicinity.

- D. That commuter traffic not impede MUNI transit service or overburden our streets or neighborhood parking.

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Due to the nature of the project and minimal maintenance or repair, municipal transit service would not be impeded and neighborhood parking would not be overburdened.

- E. That a diverse economic base be maintained by protecting our industrial and service sectors from displacement due to commercial office development, and that future opportunities for resident employment and ownership in these sectors be enhanced.

The project would cause no displacement of industrial and service sector activity.

- F. That the City achieve the greatest possible preparedness to protect against injury and loss of life in an earthquake.

Compliance with applicable structural safety and seismic safety requirements would be considered during the building permit application review process.

- G. That landmarks and historic buildings be preserved.

The site contains a medical services/hospital building constructed in approximately 1970.

- H. That our parks and open space and their access to sunlight and vistas be protected from development.

The project will have no adverse effect on parks or open space, or their access to sunlight or vistas.

18. The Project is consistent with and would promote the general and specific purposes of the Code provided under Section 101.1(b) in that, as designed, the Project would contribute to the character and stability of the neighborhood and would constitute a beneficial development.

19. The Commission hereby finds that approval of the Determination of Compliance authorization would promote the health, safety and welfare of the City.

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CASE NO. 2010.0951C
4141 Geary Blvd./450-6th Avenue

DECISION

The Commission, after carefully balancing the competing public and private interests, and based upon the Recitals and Findings set forth above, in accordance with the standards specified in the Code, hereby approves the Conditional Use authorization under Planning Code Sections 209.6(b) and 303 to install up to nine panel antennas flush mounted to an existing penthouse and screened from view, and associated equipment cabinets on the roof of a five-story health services/hospital, as part of a wireless transmission network operated by Verizon Wireless on a Location Preference One (Preferred Location – Publicly-used structure) according to the *Wireless Telecommunications Services (WTS) Siting Guidelines*, within the RM-1 (Mixed, Low Density) and NC-3 (Neighborhood Commercial, Moderate Scale) Zoning Districts, and a 80-E Height and Bulk District, and subject to the conditions of approval attached hereto as Exhibit A.

APPEAL AND EFFECTIVE DATE OF MOTION: Any aggrieved person may appeal this conditional use authorization to the Board of Supervisors within thirty (30) days after the date of this Motion No. 18415. The effective date of this Motion shall be the date of this Motion if not appealed (after the 30-day period has expired) OR the date of the decision of the Board of Supervisors if appealed to the Board of Supervisors. For further information, please contact the Board of Supervisors at (415) 554-5184, City Hall, Room 244, 1 Dr. Carlton B. Goodlett Place, San Francisco, CA 94102.

I hereby certify that the foregoing Motion was adopted by the Planning Commission on July 28, 2011.

Linda Avery
Commission Secretary

AYES: Commissioners Olague, Miguel, Antonini, Moore and Sugaya
NAYS: None
ABSENT: Commissioners Borden and Fong
ADOPTED: July 28, 2011

Motion No. 18415
Hearing Date: July 28, 2011

CASE NO. 2010.0951C
4141 Geary Blvd./450-6th Avenue

EXHIBIT A

AUTHORIZATION

This approval is for Conditional Use authorization under Planning Code Sections 209.6(b) and 303 to install a wireless telecommunications facility consisting of nine panel antennas with related equipment, a Location Preference 1 (Preferred Location - Publicly Use Structure) according to the Wireless Telecommunications Services (WTS) Siting Guidelines, as part of Verizon's wireless telecommunications network within the RM-1 (Mixed, Low Density) and NC-3 (Neighborhood Commercial, Moderate Scale) Zoning Districts, and a 80-E Height and Bulk District.

RECORDATION OF CONDITIONS OF APPROVAL

Prior to the issuance of the building permit or commencement of use for the Project the Zoning Administrator shall approve and order the recordation of a Notice in the Official Records of the Recorder of the City and County of San Francisco for the subject property. This Notice shall state that the project is subject to the conditions of approval contained herein and reviewed and approved by the Planning Commission on July 28, 2011 under Motion No. 18415.

PRINTING OF CONDITIONS OF APPROVAL ON PLANS

The conditions of approval under the 'Exhibit A' of this Planning Commission Motion No. 18415 shall be reproduced on the Index Sheet of construction plans submitted with the Site or Building permit application for the Project. The Index Sheet of the construction plans shall reference to the Conditional Use authorization and any subsequent amendments or modifications.

SEVERABILITY

The Project shall comply with all applicable City codes and requirements. If any clause, sentence, section or any part of these conditions of approval is for any reason held to be invalid, such invalidity shall not affect or impair other remaining clauses, sentences, or sections of these conditions. This decision conveys no right to construct, or to receive a building permit. "Project Sponsor" shall include any subsequent responsible party.

CHANGES AND MODIFICATIONS

Changes to the approved plans may be approved administratively by the Zoning Administrator. Significant changes and modifications of conditions shall require Planning Commission approval of a new Conditional Use authorization.

Conditions of Approval, Compliance, Monitoring, and Reporting

PERFORMANCE

1. **Validity and Expiration.** The authorization and right vested by virtue of this action is valid for three years from the effective date of the Motion. A building permit from the Department of Building Inspection to construct the project and/or commence the approved use must be issued as this Conditional Use authorization is only an approval of the proposed project and conveys no independent right to construct the project or to commence the approved use. The Planning Commission may, in a public hearing, consider the revocation of the approvals granted if a site or building permit has not been obtained within three (3) years of the date of the Motion approving the Project. Once a site or building permit has been issued, construction must commence within the timeframe required by the Department of Building Inspection and be continued diligently to completion. The Commission may also consider revoking the approvals if a permit for the Project has been issued but is allowed to expire and more than three (3) years have passed since the Motion was approved.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sfplanning.org.

2. **Extension.** This authorization may be extended at the discretion of the Zoning Administrator only where failure to issue a permit by the Department of Building Inspection to perform said tenant improvements is caused by a delay by a local, State or Federal agency or by any appeal of the issuance of such permit(s).

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sfplanning.org.

DESIGN – COMPLIANCE AT PLAN STAGE

3. **Plan Drawings - WTS.** Prior to the issuance of any building or electrical permits for the installation of the facilities, the Project Sponsor shall submit final scaled drawings for review and approval by the Planning Department ("Plan Drawings"). The Plan Drawings shall describe:
 - a. **Structure and Siting.** Identify all facility related support and protection measures to be installed. This includes, but is not limited to, the location(s) and method(s) of placement, support, protection, screening, paint and/or other treatments of the antennas and other appurtenances to insure public safety, insure compatibility with urban design, architectural and historic preservation principles, and harmony with neighborhood character.
 - b. **For the Project Site, regardless of the ownership of the existing facilities.** Identify the location of all existing antennas and facilities; and identify the location of all approved (but not installed) antennas and facilities.
 - c. **Emissions.** Provide a report, subject to approval of the Zoning Administrator, that operation of the facilities in addition to ambient RF emission levels will not exceed adopted FCC standards with regard to human exposure in uncontrolled areas.

For information about compliance, contact the Case Planner, Planning Department at 415-558-6613, www.sfplanning.org.

4. Screening - WTS. To the extent necessary for information about compliance with adopted FCC regulations regarding human exposure to RF emissions, and upon the recommendation of the Zoning Administrator, the Project Sponsor shall:
 - a. Modify the placement of the facilities;
 - b. Install fencing, barriers or other appropriate structures or devices to restrict access to the facilities;
 - c. Install multi-lingual signage, including the RF radiation hazard warning symbol identified in ANSI C95.2 1982, to notify persons that the facility could cause exposure to RF emissions;
 - d. Implement any other practice reasonably necessary to ensure that the facility is operated in compliance with adopted FCC RF emission standards.
 - e. To the extent necessary to minimize visual obstruction and clutter, installations shall conform to the following standards:
 - f. Antennas and back up equipment shall be painted, fenced, landscaped or otherwise treated architecturally so as to minimize visual effects;
 - g. Rooftop installations shall be setback such that back up facilities are not viewed from the street;
 - h. Antennae attached to building facades shall be so placed, screened or otherwise treated to minimize any negative visual impact; and
 - i. Although co location of various companies' facilities may be desirable, a maximum number of antennas and back up facilities on the Project Site shall be established, on a case by case basis, such that "antennae farms" or similar visual intrusions for the site and area is not created.

For information about compliance, contact the Case Planner, Planning Department at 415-558-6613, www.sf-planning.org.

MONITORING - AFTER ENTITLEMENT

5. Enforcement. Violation of any of the Planning Department conditions of approval contained in this Motion or of any other provisions of Planning Code applicable to this Project shall be subject to the enforcement procedures and administrative penalties set forth under Planning Code Section 176 or Section 176.1. The Planning Department may also refer the violation complaints to other city departments and agencies for appropriate enforcement action under their jurisdiction.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org.

6. Monitoring. The Project requires monitoring of the conditions of approval in this Motion. The Project Sponsor or the subsequent responsible parties for the Project shall pay fees as established under Planning Code Section 351(e) (1) and work with the Planning Department for information about compliance.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org.

7. **Revocation due to Violation of Conditions.** Should implementation of this Project result in complaints from interested property owners, residents, or commercial lessees which are not resolved by the Project Sponsor and found to be in violation of the Planning Code and/or the specific Conditions of Approval for the Project as set forth in Exhibit A of this Motion, the Zoning Administrator shall refer such complaints to the Commission, after which it may hold a public hearing on the matter to consider revocation of this authorization.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org.

8. **Implementation and Monitoring Costs - WTS.**

- a. The Project Sponsor, on an equitable basis with other WTS providers, shall pay the cost of preparing and adopting appropriate General Plan policies related to the placement of WTS facilities. Should future legislation be enacted to provide for cost recovery for planning, the Project Sponsor shall be bound by such legislation.
- b. The Project Sponsor or its successors shall be responsible for the payment of all reasonable costs associated with the monitoring of the conditions of approval contained in this authorization, including costs incurred by this Department, the Department of Public Health, the Department of Electricity and Telecommunications, Office of the City Attorney, or any other appropriate City Department or agency pursuant to Planning Code Section 351(f) (2). The Planning Department shall collect such costs on behalf of the City.
- c. The Project Sponsor shall be responsible for the payment of all fees associated with the installation of the subject facility, which are assessed by the City pursuant to all applicable law.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org.

9. **Implementation and Monitoring - WTS.** In the event that the Project implementation report includes a finding that RF emissions for the site exceed FCC Standards in any uncontrolled location, the Zoning Administrator may require the Applicant to immediately cease and desist operation of the facility until such time that the violation is corrected to the satisfaction of the Zoning Administrator.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org.

10. **Project Implementation Report - WTS.** The Project Sponsor shall prepare and submit to the Zoning Administrator a Project Implementation Report. The Project Implementation Report shall:

- a. Identify the three dimensional perimeter closest to the facility at which adopted FCC standards for human exposure to RF emissions in uncontrolled areas are satisfied;
- b. Document testing that demonstrates that the facility will not cause any potential exposure to RF emissions that exceed adopted FCC emission standards for human exposure in uncontrolled areas;
- c. The Project Implementation Report shall compare test results for each test point with applicable FCC standards. Testing shall be conducted in compliance with FCC

regulations governing the measurement of RF emissions and shall be conducted during normal business hours on a non holiday weekday with the subject equipment measured while operating at maximum power.

- d. Testing, Monitoring, and Preparation. The Project Implementation Report shall be prepared by a certified professional engineer or other technical expert approved by the Department. At the sole option of the Department, the Department (or its agents) may monitor the performance of testing required for preparation of the Project Implementation Report. The cost of such monitoring shall be borne by the Project Sponsor pursuant to the condition related to the payment of the City's reasonable costs.
 - i. Notification and Testing. The Project Implementation Report shall set forth the testing and measurements undertaken pursuant to Conditions 2 and 4.
 - ii. Approval. The Zoning Administrator shall request that the Certification of Final Completion for operation of the facility not be issued by the Department of Building Inspection until such time that the Project Implementation Report is approved by the Department for compliance with these conditions.

For information about compliance, contact the Environmental Health Section, Department of Public Health at (415) 252-3800, www.sfdph.org.

11. Notification prior to Project Implementation Report - WTS. The Project Sponsor shall undertake to inform and perform appropriate tests for residents of any dwelling units located within 25 feet of the transmitting antenna at the time of testing for the Project Implementation Report.

- a. At least twenty calendar days prior to conducting the testing required for preparation of the Project Implementation Report, the Project Sponsor shall mail notice to the Department, as well as to the resident of any legal dwelling unit within 25 feet of a transmitting antenna of the date on which testing will be conducted. The Applicant will submit a written affidavit attesting to this mail notice along with the mailing list.
- b. When requested in advance by a resident notified of testing pursuant to subsection (a), the Project Sponsor shall conduct testing of total power density of RF emissions within the residence of that resident on the date on which the testing is conducted for the Project Implementation Report.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

12. Installation - WTS. Within 10 days of the installation and operation of the facilities, the Project Sponsor shall confirm in writing to the Zoning Administrator that the facilities are being maintained and operated in compliance with applicable Building, Electrical and other Code requirements, as well as applicable FCC emissions standards.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

13. Periodic Safety Monitoring - WTS. The Project Sponsor shall submit to the Zoning Administrator 10 days after installation of the facilities, and every two years thereafter, a certification attested to by a licensed engineer expert in the field of EMR/RF emissions, that the facilities are and have been operated within the then current applicable FCC standards for RF/EMF emissions.

For information about compliance, contact the Environmental Health Section, Department of Public Health at (415) 252-3800, www.sfdph.org.

OPERATION

14. **Community Liaison.** Prior to issuance of a building permit application to construct the project and implement the approved use, the Project Sponsor shall appoint a community liaison officer to deal with the issues of concern to owners and occupants of nearby properties. The Project Sponsor shall provide the Zoning Administrator written notice of the name, business address, and telephone number of the community liaison. Should the contact information change, the Zoning Administrator shall be made aware of such change. The community liaison shall report to the Zoning Administrator what issues, if any, are of concern to the community and what issues have not been resolved by the Project Sponsor.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863; www.sfplanning.org

15. **Out of Service – WTS.** The Project Sponsor or Property Owner shall remove antennae and equipment that has been out of service or otherwise abandoned for a continuous period of six months.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sfplanning.org

16. **Emissions Conditions – WTS.** It is a continuing condition of this authorization that the facilities be operated in such a manner so as not to contribute to ambient RF/EMF emissions in excess of then current FCC adopted RF/EMF emission standards; violation of this condition shall be grounds for revocation.

For information about compliance, contact the Environmental Health Section, Department of Public Health at (415) 252-3800, www.sfdph.org.

17. **Noise and Heat – WTS.** The WTS facility, including power source and cooling facility, shall be operated at all times within the limits of the San Francisco Noise Control Ordinance. The WTS facility, including power source and any heating/cooling facility, shall not be operated so as to cause the generation of heat that adversely affects a building occupant.

For information about compliance, contact the Environmental Health Section, Department of Public Health at (415) 252-3800, www.sfdph.org.

18. **Transfer of Operation – WTS.** Any carrier/provider authorized by the Zoning Administrator or by the Planning Commission to operate a specific WTS installation may assign the operation of the facility to another carrier licensed by the FCC for that radio frequency provided that such transfer is made known to the Zoning Administrator in advance of such operation, and all conditions of approval for the subject installation are carried out by the new carrier/provider.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sfplanning.org

Motion No. 18415
Hearing Date: July 28, 2011

CASE NO. 2010.0951C
4141 Geary Blvd./450-6th Avenue

19. Compatibility with City Emergency Services – WTS. The facility shall not be operated or caused to transmit on or adjacent to any radio frequencies licensed to the City for emergency telecommunication services such that the City's emergency telecommunications system experiences interference, unless prior approval for such has been granted in writing by the City.

*For information about compliance, contact the Department of Technology, 415-581-4000,
<http://sf.gov3.org/index.aspx?page=1421>*

SV:\G:\DOCUMENTS\CONDITIONAL USES\2010.0951 - 4141 Geary, Verizon\Conditional Use Authorization - Wireless
Motion.doc



SAN FRANCISCO PLANNING DEPARTMENT

NEIGHBORHOOD ORGANIZATION FEE WAIVER REQUEST FORM

Appeals to the Board of Supervisors

1650 Mission St.
Suite 400
San Francisco,
CA 94103-2479

Reception:
415.558.6378

Fax:
415.558.6409

Planning
Information:
415.558.6377

This form is to be used by neighborhood organizations to request a fee waiver for CEQA and conditional use appeals to the Board of Supervisors.

Should a fee waiver be sought, an appellant must present this form to the Clerk of the Board of Supervisors or to Planning Information Counter (PIC) at the ground level of 1660 Mission Street along with relevant supporting materials identified below. Planning staff will review the form and may sign it 'over-the-counter' or may accept the form for further review.

Should a fee waiver be granted, the Planning Department would not deposit the check, which was required to file the appeal with the Clerk of the Board of Supervisors. The Planning Department will return the check to the appellant.

TYPE OF APPEAL FOR WHICH FEE WAIVER IS SOUGHT

[Check only one and attach decision document to this form]

- Conditional Use Authorization Appeals to the Board of Supervisors
- Environmental Determination Appeals to the Board of Supervisors (including EIR's, NegDec's, and CatEx's, GREs)

REQUIRED CRITERIA FOR GRANTING OF WAIVER

[All criteria must be satisfied. Please check all that apply and attach supporting materials to this form]

- The appellant is a member of the stated neighborhood organization and is authorized to file the appeal on behalf of that organization. Authorization may take the form of a letter signed by the president or other officer of an organization.
- The appellant is appealing on behalf of a neighborhood organization which is registered with the Planning Department and which appears on the Department's current list of neighborhood organizations.
- The appellant is appealing on behalf of a neighborhood organization, which was in existence at least 24 months prior to the submittal of the fee waiver request. Existence may be established by evidence including that relating to the organization's activities at that time such as meeting minutes, resolutions, publications, and rosters.
- The appellant is appealing on behalf of a neighborhood organization, which is affected by the project, which is the subject of the appeal.

APPELLANT & PROJECT INFORMATION [to be completed by applicant]	
Name of Applicant: <u>Jacquelyn Coo</u>	Address of Project: <u>4141 Geary Blvd</u>
Neighborhood Organization: <u>SF Tomorrow</u>	Planning Case No: <u>2010.0951C</u>
Applicant's Address: <u>775 JMW Ave SF 94118</u>	Building Permit No: <u>motion #18415</u>
Applicant's Daytime Phone No: <u>415.386.0184</u>	Date of Decision: <u>7/28/2011</u>
Applicant's Email Address: <u>info@angelschildnrcntr.com</u>	

DCP STAFF USE ONLY

- Appellant authorization
- Current organization registration
- Minimum organization age
- Project impact on organization

Planner's Name: _____

Date: _____

Planner's Signature: _____

WAIVER APPROVED

WAIVER DENIED



San Francisco Tomorrow

Since 1970, Working to Protect the Urban Environment

August 29, 2011

John Rahaim
Director of City Planning
1650 Mission St., Ste. 400
San Francisco, CA 94103

RE: Request for Fee Waiver as a neighborhood organization

Dear Director Rahaim,

I am writing this letter to confirm that San Francisco Tomorrow (SFT) is a neighborhood organization according to the definition specified by your department. Our organization was established in 1971 to protect and preserve San Francisco's neighborhoods, and have frequently acted in that role. We have been listed on the Planning Department's list of neighborhood organizations for many years.

In the matter of the appeal of the Conditional Use of Verizon antennas at Kaiser Permanente SF at 498 6th Ave (No: 2010.0951C), I have authorized Jacquelyn and Sophia Coo, as well as Sandra Fenn, to represent our organization.

Sincerely,

Jennifer Clary
President

Will you want to live in San Francisco – tomorrow?

44 Woodland Ave, San Francisco, CA 94117

(415) 566-7050



SAN FRANCISCO PLANNING DEPARTMENT

Subject to: (Select only if applicable)

- Affordable Housing (Sec. 415)
- Jobs Housing Linkage Program (Sec. 413)
- Downtown Park Fee (Sec. 412)
- First Source Hiring (Admin. Code)
- Child Care Requirement (Sec. 414)
- Other

1650 Mission St.
Suite 400
San Francisco,
CA 94103-2479

Reception:
415.558.6378

Fax:
415.558.6409

Planning
Information:
415.558.6377

Planning Commission Motion No. 18415

HEARING DATE: JULY 28, 2011

Date: July 21 2011
Case No.: 2010.0951C
Project Address: 4141 Geary Blvd./450 – 6th Avenue
Current Zoning: RM-1 (Mixed, Low Density)
 NC-3 (Neighborhood Commercial, Moderate Scale)
 80-E Height and Bulk District
Block/Lot: 1539/003
Project Sponsor: Gabriella Bar for
 Verizon Wireless
 9210 Zayante Drive
 Felton, CA 95018
Staff Contact: Sara Vellve – (415) 558 - 6263
 sara.vellve@sfgov.org
Recommendation: **Approval with Conditions**

ADOPTING FINDINGS RELATING TO THE APPROVAL OF A CONDITIONAL USE AUTHORIZATION UNDER PLANNING CODE SECTIONS 209.6(b) AND 303 TO INSTALL A WIRELESS TELECOMMUNICATIONS FACILITY CONSISTING OF NINE (9) PANEL ANTENNAS AND RELATED EQUIPMENT ON AN EXISTING MECHANICAL PENTHOUSE ON THE ROOF OF A FIVE-STORY PUBLICALLY USED STRUCTURE (KAISER HOSPITAL) AS PART OF VERIZON'S WIRELESS TELECOMMUNICATIONS NETWORK WITHIN THE RM-1 (MIXED, LOW DENSITY) AND NC-3 (NEIGHBORHOOD COMMERCIAL, MODERATE SCALE) ZONING DISTRICTS, AND A 80-E HEIGHT AND BULK DISTRICT.

PREAMBLE

On October 19, 2010, Gabriella Bar, as representative of Verizon Wireless, (hereinafter "Project Sponsor"), made an application (hereinafter "application"), for Conditional Use Authorization on the property at 4141 Geary Blvd./ 450 – 6th Avenue, Lot 003 in Assessor's Block 1539, (hereinafter "project site") to install a wireless telecommunications facility consisting of nine (9) panel antennas on an existing mechanical penthouse and related equipment on the adjacent roof of an existing five-story publicly used structure (Kaiser Hospital) as part of Verizon's wireless telecommunications network within the RM-1 (Mixed, Low Density) and NC-3 (Neighborhood Commercial, Moderate Scale) Zoning Districts, and a 80-E Height and Bulk District.

The project is exempt from the California Environmental Quality Act ("CEQA") as a Class 3 categorical exemption. The Commission has reviewed and concurs with said determination. The categorical exemption and all pertinent documents may be found in the files of the Planning Department (hereinafter "Department"), as the custodian of records, at 1650 Mission Street, San Francisco.

On July 28, 2011, the San Francisco Planning Commission (hereinafter "Commission") conducted a duly noticed public hearing at a regularly scheduled meeting on the application for a Conditional Use authorization.

The Commission has heard and considered the testimony presented to it at the public hearing and has further considered written materials and oral testimony presented on behalf of the applicant, department staff, and other interested parties.

MOVED, that the Commission hereby authorizes the Conditional Use in Application No. 2010.0951C, subject to the conditions contained in "EXHIBIT A" of this motion, based on the following findings:

FINDINGS

Having reviewed the materials identified in the preamble above, and having heard all testimony and arguments, this Commission finds, concludes, and determines as follows:

1. The above recitals are accurate and constitute findings of this Commission.
2. **Site Description and Present Use.** The subject site is zoned RM-1 (Mixed, Low Density) and NC (Neighborhood Commercial, Moderate Scale). The RM-1 District (south portion of subject lot where buildings front 6th Avenue) is characterized in the Planning Code as containing a mixture of dwelling types and a significant number of apartment buildings that broaden the range of unit sizes and variety of structures, but with an overall low density and moderately scaled buildings with neighborhood services and transit lines located within close proximity. The NC-3 District (north portion of lot fronting Geary Boulevard) is characterized in the Planning Code as containing a wide variety of comparison and specialty goods and services to a population greater than the immediate neighborhood in a linear commercial street stretching for many blocks.

The approximately 100,600 square foot site is developed as Kaiser Hospital's French Campus and consists of approximately four buildings in the block bounded by Geary Boulevard to the north, 6th Avenue to the west, Anza Street to the south and 5th Avenue to the west. The subject building where the proposed antennas would be located is five stories tall (plus a mechanical penthouse) and is located mid-block fronting 6th Avenue. The subject structure was constructed in approximately 1970.

3. **Surrounding Properties and Neighborhood.** The entire block is developed with buildings generally used by Kaiser Permanente for its medical and health services, and

operations. Lots across 6th Avenue from the subject site generally consist of single-to-multi family-buildings between Geary Boulevard and Anza Street. The building at the northeast corner of the intersection of 6th Avenue and Anza Street is leased to the University of San Francisco for student housing. The Richmond District Police Station is located directly across 6th Avenue from the subject building.

4. **Project Description.** Verizon Wireless proposes to install nine panel antennas, two GPS antennas, and associated equipment cabinets as part of their wireless transmission network. According to the *Wireless Telecommunications Services (WTS) Siting Guidelines*, the property is a Location Preference 1 (Publicly-used structure) as the site is developed with a medical office/hospital owned and operated by Kaiser Permanente. The nine panel antennas would be flush-mounted in groups of three on the north, east and south sides of an existing penthouse at a height of approximately 85 feet and no higher than the penthouse roof. In order to improve the visual quality of the site, all antennas will be screened from view by synthetic material that is RF (Radio Frequency) Transparent, which allows transmission to occur even though the antennas are obscured. The maximum dimension for all the proposed antennas is approximately 4 feet tall, 1 foot wide and 3 to 7 inches deep. The proposed WTS site also includes the installation of associated mechanical equipment which will be located on the roof of the five-story building immediately to the north of the penthouse and set back from the 6th Avenue property line by approximately 30 feet.
5. **Past History and Actions.** The Planning Commission established guidelines for the installation of wireless telecommunications facilities in 1996 ("*Guidelines*"). These *Guidelines* set forth the land use policies and practices that guide the installation and approval of wireless facilities throughout San Francisco. A large portion of the *Guidelines* was dedicated to establishing location preferences for these installations. The Board of Supervisors, in Resolution No. 635-96, provided input as to where wireless facilities should be located within San Francisco. The *Guidelines* were updated by the Commission in 2003, requiring community outreach, notification, and detailed information about the facilities to be installed.¹

Section 8.1 of the *Guidelines* outlines Location Preferences for wireless facilities. There are five primary areas where the installation of wireless facilities should be located:

1. Publicly-used Structures: such facilities as fire stations, utility structures, community facilities, hospitals, health centers and other public structures;
2. Co-Location Site: encourages installation of facilities on buildings that already have wireless installations;
3. Industrial or Commercial Structures: buildings such as warehouses, factories, garages, service stations;

¹ PC Resolution 16539, passed March 13, 2003.

4. Industrial or Commercial Structures: buildings such as supermarkets, retail stores, banks; and
5. Mixed Use Buildings in High Density Districts: buildings such as housing above commercial or other non-residential space.

Before the Planning Commission can review an application to install a wireless facility, the project sponsor must submit a five-year facilities plan, which must be updated biannually, an emissions report and approval by the Department of Public Health, Section 106 Declaration of Intent, a submittal checklist and details about the facilities to be installed.

Under Section 704(B)(iv) of the 1996 Federal Telecommunications Act, local jurisdictions cannot deny wireless facilities based on Radio Frequency (RF) radiation emissions so long as such facilities comply with the FCC's regulations concerning such emissions.

On July 28, 2011, the Commission conducted a duly noticed public hearing at a regularly scheduled meeting on the application for a Conditional Use authorization pursuant to Planning Code Sections 206.9(b) and 303 to install a wireless telecommunications facility consisting of nine panel antennas to be flush-mounted to an existing penthouse and related equipment on the roof of an existing five-story building as part of Verizon's wireless telecommunications network.

6. **Location Preference.** The *WTS Facilities Siting Guidelines* identify different types of buildings for the siting of wireless telecommunications facilities. Under the *Guidelines*, the Project is a Location Preference Number 1, as it is a preferred location for a publicly-used structure (hospital/health services).
7. **Radio Waves Range.** The Project Sponsor has stated that the proposed wireless network will transmit calls by radio waves operating in the 800 - 1900 Megahertz (MHZ) bands, which is regulated by the Federal Communications Commission (FCC) and which must comply with the FCC-adopted health and safety standards for electromagnetic radiation and radio frequency radiation.
8. **Radiofrequency (RF) Emissions:** The project sponsor retained Hammett & Edison, Inc., a radio engineering consulting firm, to prepare a report describing the expected RF emissions from the proposed facility. Pursuant to the *Guidelines*, the Department of Public Health reviewed the report and determined that the proposed facility complies with the standards set forth in the *Guidelines*.
9. **Department of Public Health Review and Approval.** The proposed project was referred to the Department of Public Health (DPH) for emissions exposure analysis. Existing RF levels at ground level were less than 1% of the FCC public exposure limit. There were no other observed similar antennas within 100 feet of this site. Verizon proposes to install nine new antennas. The antennas will be flush mounted on an existing penthouse at a height of approximately 85 feet above the ground. The estimated ambient RF field from

the proposed Verizon transmitters at ground level is calculated to be 0.0013 mW/sq cm, which is .23% of the FCC public exposure limit. The three dimensional perimeter of RF levels equal to the public exposure limit extends 30 feet and does not reach the roof of the building or any publicly accessible areas. Warning signs must be posted at the antennas and roof access points in English, Spanish, and Chinese. Workers should not have access to within six feet of the front of the antennas while in operation.

10. **Maintenance Schedule.** The proposed facility would operate without on-site staff but with a maintenance crew visiting the property approximately two or three times a month and on an as-needed basis to service and monitor the facility.
11. **Community Outreach.** Per the *Guidelines*, the project sponsor held a Community Outreach Meeting for the proposed project. The meeting began at 7:00 P.M. on Thursday, April 28, 2011 at the Richmond/Senator Milton Marks Branch Library, located at 351 Ninth Avenue, San Francisco. Approximately 35 members of the public attended the meeting, with five attendees indicating their opposition to the project on the sign-in sheet.
12. **Five-year plan:** Per the *Guidelines*, the project sponsor submitted its latest five-year plan, as required, in April 2011.
13. **Public Comment.** As of July 28, 2011, the Department has received one phone call and one letter in opposition to the proposal, both expressing concerns that were health related. In addition, the Community Outreach Sign-in Sheet indicates that 5 attendees of the meeting oppose the proposal.
14. **Planning Code Compliance.** The Commission finds that the Project is consistent with the relevant provisions of the Planning Code in the following manner:
 - A. **Use.** Per Planning Code Sections 209.6(b), a Conditional Use authorization is required for the installation of wireless transmission facilities.
15. **Planning Code Section 303** establishes criteria for the Planning Commission to consider when reviewing applications for Conditional Use approval. On balance, the project does comply with said criteria in that:
 - A. The proposed new uses and building, at the size and intensity contemplated and at the proposed location, will provide a development that is necessary or desirable, and compatible with, the neighborhood or the community.
 - i *Desirable: San Francisco is a leader of the technological economy; it is important and desirable to the vitality of the city to have and maintain adequate telecommunications coverage and data capacity. This includes the installation and upgrading of systems to keep up with changing technology and increases in usage. It is desirable for the City to allow wireless facilities to be installed.*

The proposed project at 4141 Geary Blvd./450 – 6th Avenue will be generally desirable and compatible with the surrounding neighborhood because the project will not conflict with the existing uses of the property and will be of such size and nature to be compatible with the surrounding nature of the vicinity. The approval of this authorization has been found, first and foremost, to insure public safety, and insure that the placement of antennas and related support and protection features are so located, designed, and treated architecturally to minimize their visibility from public places, to avoid intrusion into public vistas, avoid disruption of the architectural design integrity of building and insure harmony with neighborhood character.

- ii *Necessary: In the case of wireless installations, there are two criteria that the Commission reviews: coverage and capacity.*

Coverage: San Francisco does have sufficient overall wireless coverage (note that this is separate from carrier service). It is necessary for San Francisco to have as much coverage as possible in terms of wireless facilities. Due to the topography and tall buildings in San Francisco, unique coverage issues arise because the hills and buildings break up coverage. Thus, telecommunication carriers often install additional installations to make sure coverage is sufficient.

Capacity: While a carrier may have adequate coverage in a certain area, the capacity may not be sufficient. With the continuous innovations in wireless data technology and demand placed on existing infrastructure, individual telecommunications carriers must upgrade and in some instances expand their facilities network to be able to have proper data distribution. It is necessary for San Francisco, as a leader in technology, to have adequate capacity.

The proposed project at 4141 Geary Blvd./450 – 6th Avenue is necessary in order to achieve sufficient street, in-transit and in-building mobile phone coverage. Recent drive tests in the subject area conducted by the Verizon Radio Frequency Engineering Team provide conclusive evidence that the subject property is the most viable location, based on factors including quality of coverage, population density, land use compatibility, zoning and aesthetics. The proposed coverage area will serve the vicinity bounded by Fulton Street, 20th Avenue, Lake Street and Arguello Boulevard, as indicated in the coverage maps. This facility will fill in the gaps to improve coverage in the Inner Richmond District as well as to provide necessary facilities for emergency transmission and improved communication for the neighborhood, community and the region.

- B. The proposed project will not be detrimental to the health, safety, convenience or general welfare of persons residing or working in the vicinity. There are no features of the project that could be detrimental to the health, safety or convenience of those residing or working the area, in that:

- i Nature of proposed site, including its size and shape, and the proposed size, shape and arrangement of structures;

The proposed project must comply with all applicable Federal and State regulations to safeguard the health, safety and to ensure that persons residing or working in the vicinity will not be affected, and prevent harm to other personal property.

The Department of Public Health conducted an evaluation of potential health effects from Radio Frequency radiation, and has concluded that the proposed wireless transmission facilities will have no adverse health effects if operated in compliance with the FCC-adopted health and safety standards. The Department has received information that the proposed wireless system must be operated so as not to interfere with radio or television reception in order to comply with the provisions of its license under the FCC.

The Planning Department is developing a database of all such wireless communications facilities operating or proposed for operation in the City and County of San Francisco. All applicants are now required to submit information on the location and nature of all existing and approved wireless transmission facilities operated by the Project Sponsor. The goal of this effort is to foster public information as to the location of these facilities.

- ii The accessibility and traffic patterns for persons and vehicles, the type and volume of such traffic, and the adequacy of proposed off-street parking and loading;

No increase in traffic volume is anticipated with the facilities operating unmanned, with a single maintenance crew visiting the site two to three times a month or on an as-needed basis.

- iii The safeguards afforded to prevent noxious or offensive emissions such as noise, glare, dust and odor;

While some noise and dust may result from the erection of the antennas and transceiver equipment, noise or noxious emissions from continued use are not likely to be significantly greater than ambient conditions due to the operation of the wireless communication network.

- iv Treatment given, as appropriate, to such aspects as landscaping, screening, open spaces, parking and loading areas, service areas, lighting and signs;

The antennas are proposed to be flush mounted to the north, east and south facades of an existing penthouse and screened from view with RF transparent material painted to match the penthouse. Mechanical equipment would be located on the fifth floor roof of subject building adjacent to the penthouse.

- C. That the use as proposed will comply with the applicable provisions of the Planning Code and will not adversely affect the General Plan.

The project complies with all relevant requirements and standards of the Planning Code and is consistent with objectives and policies of the General Plan as detailed below.

- D. That the use as proposed would provide development that is in conformity with the purpose of the applicable Neighborhood Commercial District.

The proposed project is consistent with the stated purpose of the RM-1 (Mixed, Low Density) and NC-3 (Neighborhood Commercial, Moderate Scale) Districts in that the intended use is located on an existing building at a height of approximately 85 feet from grade and designed to resemble the existing penthouse.

16. **General Plan Compliance.** The Project is, on balance, consistent with the following Objectives and Policies of the General Plan

2004 HOUSING ELEMENT

HOUSING DENSITY, DENSITY, DESIGN & QUALITY OF LIFE

OBJECTIVE 11 - IN INCREASING THE SUPPLY OF HOUSING, PURSUE PLACE MAKING AND NEIGHBORHOOD BUILDING PRINCIPLES AND PRACTICES TO MAINTAIN SAN FRANCISCO'S DESIRABLE URBAN FABRIC AND ENHANCE LIVABILITY IN ALL NEIGHBORHOODS.

POLICY 11.2 - Ensure housing is provided with adequate public improvements, services, and amenities.

The project will improve Verizon Mobility coverage in residential, commercial and recreational areas along primary transportation routes in San Francisco.

2009 HOUSING ELEMENT

BALANCE HOUSING CONSTRUCTION AND COMMUNITY INFRASTRUCTURE

OBJECTIVE 12 - BALANCE HOUSING GROWTH WITH ADEQUATE INFRASTRUCTURE THAT SERVES THE CITY'S GROWING POPULATION.

POLICY 12.2 - Consider the proximity of quality of life elements, such as open space, child care, and neighborhood services, when developing new housing units.

POLICY 12.3 - Ensure new housing is sustainable supported by the City's public infrastructure systems.

The project will improve Verizon Mobility coverage in residential, commercial and recreational areas along primary transportation routes in San Francisco

URBAN DESIGN

HUMAN NEEDS

OBJECTIVE 4 - IMPROVEMENT OF THE NEIGHBORHOOD ENVIRONMENT TO INCREASE PERSONAL SAFETY, COMFORT, PRIDE AND OPPORTUNITY.

POLICY 4.14 - Remove and obscure distracting and cluttering elements.

The project adequately "stealths" the proposed antennas and related equipment by locating the antennas within screening and the equipment on a building roof and set back from the property line.

COMMERCE AND INDUSTRY ELEMENT

Objectives and Policies

OBJECTIVE 1:

MANAGE ECONOMIC GROWTH AND CHANGE TO ENSURE ENHANCEMENT OF THE TOTAL CITY LIVING AND WORKING ENVIRONMENT.

Policy 1:

Encourage development, which provides substantial net benefits and minimizes undesirable consequences. Discourage development, which has substantial undesirable consequences that cannot be mitigated.

Policy 2:

Assure that all commercial and industrial uses meet minimum, reasonable performance standards.

The project would enhance the total city living and working environment by providing communication services for residents and workers within the City. Additionally, the project would comply with Federal, State and Local performance standards.

OBJECTIVE 2:

MAINTAIN AND ENHANCE A SOUND AND DIVERSE ECONOMIC BASE AND FISCAL STRUCTURE FOR THE CITY.

Policy 1:

Seek to retain existing commercial and industrial activity and to attract new such activity to the city.

Policy 3:

Maintain a favorable social and cultural climate in the city in order to enhance its attractiveness as a firm location.

The site is an integral part of a wireless communications network that will enhance the City's diverse economic base.

OBJECTIVE 4:

IMPROVE THE VIABILITY OF EXISTING INDUSTRY IN THE CITY AND THE ATTRACTIVENESS OF THE CITY AS A LOCATION FOR NEW INDUSTRY.

Policy 1:

Maintain and enhance a favorable business climate in the City.

Policy 2:

Promote and attract those economic activities with potential benefit to the City.

The project would benefit the City by enhancing the business climate through improved communication services for residents and workers.

VISITOR TRADE

OBJECTIVE 8 - ENHANCE SAN FRANCISCO'S POSITION AS A NATIONAL CENTER FOR CONVENTIONS AND VISITOR TRADE.

POLICY 8.3 - Assure that areas of particular visitor attraction are provided with adequate public services for both residents and visitors.

The project will ensure that residents and visitors have adequate public service in the form of Verizon's mobile telecommunications.

COMMUNITY SAFETY ELEMENT

Objectives and Policies

OBJECTIVE 3:

ENSURE THE PROTECTION OF LIFE AND PROPERTY FROM THE EFFECTS OF FIRE OR NATURAL DISASTER THROUGH ADEQUATE EMERGENCY OPERATIONS PREPARATION.

Policy 1:

Maintain a local agency for the provision of emergency services to meet the needs of San Francisco.

Policy 2:

Develop and maintain viable, up-to-date in-house emergency operations plans, with necessary equipment, for operational capability of all emergency service agencies and departments.

Policy 3:

Maintain and expand agreements for emergency assistance from other jurisdictions to ensure adequate aid in time of need.

Policy 4:

Establish and maintain an adequate Emergency Operations Center.

Policy 5:

Maintain and expand the city's fire prevention and fire-fighting capability.

Policy 6:

Establish a system of emergency access routes for both emergency operations and evacuation.

The project would enhance the ability of the City to protect both life and property from the effects of a fire or natural disaster by providing communication services.

17. **Planning Code Section 101.1(b)** establishes eight priority-planning policies and requires review of permits for consistency with said policies. On balance, the project does comply with said policies in that:

- A. That existing neighborhood-serving retail uses be preserved and enhanced and future opportunities for resident employment in and ownership of such businesses be enhanced.

No neighborhood-serving retail use would be displaced and the wireless communications network will enhance personal communication services.

- B. That existing housing and neighborhood character be conserved and protected in order to preserve the cultural and economic diversity of our neighborhoods.

No residential uses would be displaced or altered in any way by the granting of this authorization.

- C. That the City's supply of affordable housing be preserved and enhanced.

The project would have no adverse impact on housing in the vicinity.

- D. That commuter traffic not impede MUNI transit service or overburden our streets or neighborhood parking.

Due to the nature of the project and minimal maintenance or repair, municipal transit service would not be impeded and neighborhood parking would not be overburdened.

- E. That a diverse economic base be maintained by protecting our industrial and service sectors from displacement due to commercial office development, and that future opportunities for resident employment and ownership in these sectors be enhanced.

The project would cause no displacement of industrial and service sector activity.

- F. That the City achieve the greatest possible preparedness to protect against injury and loss of life in an earthquake.

Compliance with applicable structural safety and seismic safety requirements would be considered during the building permit application review process.

- G. That landmarks and historic buildings be preserved.

The site contains a medical services/hospital building constructed in approximately 1970.

- H. That our parks and open space and their access to sunlight and vistas be protected from development.

The project will have no adverse effect on parks or open space, or their access to sunlight or vistas.

18. The Project is consistent with and would promote the general and specific purposes of the Code provided under Section 101.1(b) in that, as designed, the Project would contribute to the character and stability of the neighborhood and would constitute a beneficial development.
19. The Commission hereby finds that approval of the Determination of Compliance authorization would promote the health, safety and welfare of the City.

DECISION

The Commission, after carefully balancing the competing public and private interests, and based upon the Recitals and Findings set forth above, in accordance with the standards specified in the Code, hereby approves the Conditional Use authorization under Planning Code Sections 209.6(b) and 303 to install up to nine panel antennas flush mounted to an existing penthouse and screened from view, and associated equipment cabinets on the roof of a five-story health services/hospital as part of a wireless transmission network operated by Verizon Wireless on a Location Preference One (Preferred Location – Publicly-used structure) according to the *Wireless Telecommunications Services (WTS) Siting Guidelines*, within the RM-1 (Mixed, Low Density) and NC-3 (Neighborhood Commercial, Moderate Scale) Zoning Districts, and a 80-E Height and Bulk District, and subject to the conditions of approval attached hereto as Exhibit A.

APPEAL AND EFFECTIVE DATE OF MOTION: Any aggrieved person may appeal this conditional use authorization to the Board of Supervisors within thirty (30) days after the date of this Motion No. 18415. The effective date of this Motion shall be the date of this Motion if not appealed (after the 30-day period has expired) OR the date of the decision of the Board of Supervisors if appealed to the Board of Supervisors. For further information, please contact the Board of Supervisors at (415) 554-5184, City Hall, Room 244, 1 Dr. Carlton B. Goodlett Place, San Francisco, CA 94102.

I hereby certify that the foregoing Motion was adopted by the Planning Commission on July 28, 2011.

Linda Avery
Commission Secretary

AYES: Commissioners Olague, Miguel, Antonini, Moore and Sugaya

NAYS: None

ABSENT: Commissioners Borden and Fong

ADOPTED: July 28, 2011

EXHIBIT A

AUTHORIZATION

This approval is for Conditional Use authorization under Planning Code Sections 209.6(b) and 303 to install a wireless telecommunications facility consisting of nine panel antennas with related equipment, a Location Preference 1 (Preferred Location – Publicly Use Structure) according to the Wireless Telecommunications Services (WTS) Siting Guidelines, as part of Verizon's wireless telecommunications network within the RM-1 (Mixed, Low Density) and NC-3 (Neighborhood Commercial, Moderate Scale) Zoning Districts, and a 80-E Height and Bulk District.

RECORDATION OF CONDITIONS OF APPROVAL

Prior to the issuance of the building permit or commencement of use for the Project the Zoning Administrator shall approve and order the recordation of a Notice in the Official Records of the Recorder of the City and County of San Francisco for the subject property. This Notice shall state that the project is subject to the conditions of approval contained herein and reviewed and approved by the Planning Commission on July 28, 2011 under Motion No. 18415.

PRINTING OF CONDITIONS OF APPROVAL ON PLANS

The conditions of approval under the 'Exhibit A' of this Planning Commission Motion No. 18415 shall be reproduced on the Index Sheet of construction plans submitted with the Site or Building permit application for the Project. The Index Sheet of the construction plans shall reference to the Conditional Use authorization and any subsequent amendments or modifications.

SEVERABILITY

The Project shall comply with all applicable City codes and requirements. If any clause, sentence, section or any part of these conditions of approval is for any reason held to be invalid, such invalidity shall not affect or impair other remaining clauses, sentences, or sections of these conditions. This decision conveys no right to construct, or to receive a building permit. "Project Sponsor" shall include any subsequent responsible party.

CHANGES AND MODIFICATIONS

Changes to the approved plans may be approved administratively by the Zoning Administrator. Significant changes and modifications of conditions shall require Planning Commission approval of a new Conditional Use authorization.

Conditions of Approval, Compliance, Monitoring, and Reporting PERFORMANCE

1. **Validity and Expiration.** The authorization and right vested by virtue of this action is valid for three years from the effective date of the Motion. A building permit from the Department of Building Inspection to construct the project and/or commence the approved use must be issued as this Conditional Use authorization is only an approval of the proposed project and conveys no independent right to construct the project or to commence the approved use. The Planning Commission may, in a public hearing, consider the revocation of the approvals granted if a site or building permit has not been obtained within three (3) years of the date of the Motion approving the Project. Once a site or building permit has been issued, construction must commence within the timeframe required by the Department of Building Inspection and be continued diligently to completion. The Commission may also consider revoking the approvals if a permit for the Project has been issued but is allowed to expire and more than three (3) years have passed since the Motion was approved.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org.

2. **Extension.** This authorization may be extended at the discretion of the Zoning Administrator only where failure to issue a permit by the Department of Building Inspection to perform said tenant improvements is caused by a delay by a local, State or Federal agency or by any appeal of the issuance of such permit(s).

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org.

DESIGN – COMPLIANCE AT PLAN STAGE

3. **Plan Drawings - WTS.** Prior to the issuance of any building or electrical permits for the installation of the facilities, the Project Sponsor shall submit final scaled drawings for review and approval by the Planning Department ("Plan Drawings"). The Plan Drawings shall describe:
 - a. **Structure and Siting.** Identify all facility related support and protection measures to be installed. This includes, but is not limited to, the location(s) and method(s) of placement, support, protection, screening, paint and/or other treatments of the antennas and other appurtenances to insure public safety, insure compatibility with urban design, architectural and historic preservation principles, and harmony with neighborhood character.
 - b. **For the Project Site, regardless of the ownership of the existing facilities.** Identify the location of all existing antennas and facilities; and identify the location of all approved (but not installed) antennas and facilities.
 - c. **Emissions.** Provide a report, subject to approval of the Zoning Administrator, that operation of the facilities in addition to ambient RF emission levels will not exceed adopted FCC standards with regard to human exposure in uncontrolled areas.

For information about compliance, contact the Case Planner, Planning Department at 415-558-6613, www.sf-planning.org.

4. **Screening - WTS.** To the extent necessary for information about compliance with adopted FCC regulations regarding human exposure to RF emissions, and upon the recommendation of the Zoning Administrator, the Project Sponsor shall:
- a. Modify the placement of the facilities;
 - b. Install fencing, barriers or other appropriate structures or devices to restrict access to the facilities;
 - c. Install multi-lingual signage, including the RF radiation hazard warning symbol identified in ANSI C95.2 1982, to notify persons that the facility could cause exposure to RF emissions;
 - d. Implement any other practice reasonably necessary to ensure that the facility is operated in compliance with adopted FCC RF emission standards.
 - e. To the extent necessary to minimize visual obtrusion and clutter, installations shall conform to the following standards:
 - f. Antennas and back up equipment shall be painted, fenced, landscaped or otherwise treated architecturally so as to minimize visual effects;
 - g. Rooftop installations shall be setback such that back up facilities are not viewed from the street;
 - h. Antennae attached to building facades shall be so placed, screened or otherwise treated to minimize any negative visual impact; and
 - i. Although co. location of various companies' facilities may be desirable, a maximum number of antennas and back up facilities on the Project Site shall be established, on a case by case basis, such that "antennae farms" or similar visual intrusions for the site and area is not created.

For information about compliance, contact the Case Planner, Planning Department at 415-558-6613, www.sf-planning.org.

MONITORING - AFTER ENTITLEMENT

5. **Enforcement.** Violation of any of the Planning Department conditions of approval contained in this Motion or of any other provisions of Planning Code applicable to this Project shall be subject to the enforcement procedures and administrative penalties set forth under Planning Code Section 176 or Section 176.1. The Planning Department may also refer the violation complaints to other city departments and agencies for appropriate enforcement action under their jurisdiction.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org.

6. **Monitoring.** The Project requires monitoring of the conditions of approval in this Motion. The Project Sponsor or the subsequent responsible parties for the Project shall pay fees as established under Planning Code Section 351(e) (1) and work with the Planning Department for information about compliance.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org.

7. **Revocation due to Violation of Conditions.** Should implementation of this Project result in complaints from interested property owners, residents, or commercial lessees which are not resolved by the Project Sponsor and found to be in violation of the Planning Code and/or the specific Conditions of Approval for the Project as set forth in Exhibit A of this Motion, the Zoning Administrator shall refer such complaints to the Commission, after which it may hold a public hearing on the matter to consider revocation of this authorization.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org.

8. **Implementation and Monitoring Costs - WTS.**

- a. The Project Sponsor, on an equitable basis with other WTS providers, shall pay the cost of preparing and adopting appropriate General Plan policies related to the placement of WTS facilities. Should future legislation be enacted to provide for cost recovery for planning, the Project Sponsor shall be bound by such legislation.
- b. The Project Sponsor or its successors shall be responsible for the payment of all reasonable costs associated with the monitoring of the conditions of approval contained in this authorization, including costs incurred by this Department, the Department of Public Health, the Department of Electricity and Telecommunications, Office of the City Attorney, or any other appropriate City Department or agency pursuant to Planning Code Section 351(f) (2). The Planning Department shall collect such costs on behalf of the City.
- c. The Project Sponsor shall be responsible for the payment of all fees associated with the installation of the subject facility, which are assessed by the City pursuant to all applicable law.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org.

9. **Implementation and Monitoring - WTS.** In the event that the Project implementation report includes a finding that RF emissions for the site exceed FCC Standards in any uncontrolled location, the Zoning Administrator may require the Applicant to immediately cease and desist operation of the facility until such time that the violation is corrected to the satisfaction of the Zoning Administrator.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org.

10. **Project Implementation Report - WTS.** The Project Sponsor shall prepare and submit to the Zoning Administrator a Project Implementation Report. The Project Implementation Report shall:

- a. Identify the three dimensional perimeter closest to the facility at which adopted FCC standards for human exposure to RF emissions in uncontrolled areas are satisfied;
- b. Document testing that demonstrates that the facility will not cause any potential exposure to RF emissions that exceed adopted FCC emission standards for human exposure in uncontrolled areas.
- c. The Project Implementation Report shall compare test results for each test point with applicable FCC standards. Testing shall be conducted in compliance with FCC

regulations governing the measurement of RF emissions and shall be conducted during normal business hours on a non holiday weekday with the subject equipment measured while operating at maximum power.

- d. **Testing, Monitoring, and Preparation.** The Project Implementation Report shall be prepared by a certified professional engineer or other technical expert approved by the Department. At the sole option of the Department, the Department (or its agents) may monitor the performance of testing required for preparation of the Project Implementation Report. The cost of such monitoring shall be borne by the Project Sponsor pursuant to the condition related to the payment of the City's reasonable costs.
- i. **Notification and Testing.** The Project Implementation Report shall set forth the testing and measurements undertaken pursuant to Conditions 2 and 4.
 - ii. **Approval.** The Zoning Administrator shall request that the Certification of Final Completion for operation of the facility not be issued by the Department of Building Inspection until such time that the Project Implementation Report is approved by the Department for compliance with these conditions.

For information about compliance, contact the Environmental Health Section, Department of Public Health at (415) 252-3800, www.sfdph.org.

11. **Notification prior to Project Implementation Report - WTS.** The Project Sponsor shall undertake to inform and perform appropriate tests for residents of any dwelling units located within 25 feet of the transmitting antenna at the time of testing for the Project Implementation Report.

- a. At least twenty calendar days prior to conducting the testing required for preparation of the Project Implementation Report, the Project Sponsor shall mail notice to the Department, as well as to the resident of any legal dwelling unit within 25 feet of a transmitting antenna of the date on which testing will be conducted. The Applicant will submit a written affidavit attesting to this mail notice along with the mailing list.
- b. When requested in advance by a resident notified of testing pursuant to subsection (a), the Project Sponsor shall conduct testing of total power density of RF emissions within the residence of that resident on the date on which the testing is conducted for the Project Implementation Report.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

12. **Installation - WTS.** Within 10 days of the installation and operation of the facilities, the Project Sponsor shall confirm in writing to the Zoning Administrator that the facilities are being maintained and operated in compliance with applicable Building, Electrical and other Code requirements, as well as applicable FCC emissions standards.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

13. **Periodic Safety Monitoring - WTS.** The Project Sponsor shall submit to the Zoning Administrator 10 days after installation of the facilities, and every two years thereafter, a certification attested to by a licensed engineer expert in the field of EMR/RF emissions, that the facilities are and have been operated within the then current applicable FCC standards for RF/EMF emissions.

For information about compliance, contact the Environmental Health Section, Department of Public Health at (415) 252-3800, www.sfdph.org.

OPERATION

14. **Community Liaison.** Prior to issuance of a building permit application to construct the project and implement the approved use, the Project Sponsor shall appoint a community liaison officer to deal with the issues of concern to owners and occupants of nearby properties. The Project Sponsor shall provide the Zoning Administrator written notice of the name, business address, and telephone number of the community liaison. Should the contact information change, the Zoning Administrator shall be made aware of such change. The community liaison shall report to the Zoning Administrator what issues, if any, are of concern to the community and what issues have not been resolved by the Project Sponsor.
For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org
15. **Out of Service – WTS.** The Project Sponsor or Property Owner shall remove antennae and equipment that has been out of service or otherwise abandoned for a continuous period of six months.
For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org
16. **Emissions Conditions – WTS.** It is a continuing condition of this authorization that the facilities be operated in such a manner so as not to contribute to ambient RF/EMF emissions in excess of then current FCC adopted RF/EMF emission standards; violation of this condition shall be grounds for revocation.
For information about compliance, contact the Environmental Health Section, Department of Public Health at (415) 252-3800, www.sfdph.org.
17. **Noise and Heat – WTS.** The WTS facility, including power source and cooling facility, shall be operated at all times within the limits of the San Francisco Noise Control Ordinance. The WTS facility, including power source and any heating/cooling facility, shall not be operated so as to cause the generation of heat that adversely affects a building occupant.
For information about compliance, contact the Environmental Health Section, Department of Public Health at (415) 252-3800, www.sfdph.org.
18. **Transfer of Operation – WTS.** Any carrier/provider authorized by the Zoning Administrator or by the Planning Commission to operate a specific WTS installation may assign the operation of the facility to another carrier licensed by the FCC for that radio frequency provided that such transfer is made known to the Zoning Administrator in advance of such operation, and all conditions of approval for the subject installation are carried out by the new carrier/provider.
For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

Motion No. 18415
Hearing Date: July 28, 2011

CASE NO. 2010.0951C
4141 Geary Blvd./450-6th Avenue

19. **Compatibility with City Emergency Services – WTS.** The facility shall not be operated or caused to transmit on or adjacent to any radio frequencies licensed to the City for emergency telecommunication services such that the City's emergency telecommunications system experiences interference, unless prior approval for such has been granted in writing by the City.

For information about compliance, contact the Department of Technology, 415-581-4000, <http://sfgov3.org/index.aspx?page=1421>

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Motion.doc



SAN FRANCISCO PLANNING DEPARTMENT

Executive Summary Conditional Use Authorization HEARING DATE: JULY 28, 2011

Date: July 21 2011
Case No.: 2010.0951C
Project Address: 4141 Geary Blvd./450 – 6th Avenue
Current Zoning: RM-1 (Mixed, Low Density)
NC-3 (Neighborhood Commercial, Moderate Scale)
80-E Height and Bulk District
Block/Lot: 1539/003
Project Sponsor: Gabriella Bar for
Verizon Wireless
9210 Zayante Drive
Felton, CA 95018
Staff Contact: Sara Vellve – (415) 558 - 6263
sara.vellve@sfgov.org
Recommendation: Approval with Conditions



1650 Mission St.
Suite 400
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CA 94103-2479

Reception:
415.558.6378

Fax:
415.558.6409

Planning
Information:
415.558.6377

PROJECT DESCRIPTION

Verizon Wireless proposes to install nine panel antennas, two GPS antennas, and associated equipment cabinets as part of their wireless transmission network. According to the *Wireless Telecommunications Services (WTS) Siting Guidelines*, the property is a Location Preference 1 (Publicly-used structure) as the site is developed with a medical office/hospital owned and operated by Kaiser Permanente. The nine panel antennas would be flush-mounted in groups of three on the north, east and south sides of an existing penthouse at a height of approximately 85 feet and no higher than the penthouse roof. In order to improve the visual quality of the site, all antennas will be screened from view by synthetic material that is RF (Radio Frequency) Transparent, which allows transmission to occur even though the antennas are obscured. The maximum dimension for the proposed antennas would be approximately 4 feet tall, 1 foot wide and 3 to 7 inches deep. The proposed WTS site also includes the installation of associated mechanical equipment which will be located on the roof of the five-story building immediately to the north of the penthouse and set back from the 6th Avenue property line by approximately 30 feet.

SITE DESCRIPTION AND PRESENT USE

The subject site is zoned RM-1 (Mixed, Low Density) and NC-3 (Neighborhood Commercial, Moderate Scale). The RM-1 District (south portion of subject lot where buildings front 6th Avenue) is characterized in the Planning Code as containing a mixture of dwelling types and a significant number of apartment buildings that broaden the range of unit sizes and variety of structures, but with an overall low density and moderately scaled buildings with neighborhood

services and transit lines located within close proximity. The NC-3 District (north portion of lot fronting Geary Boulevard) is characterized in the Planning Code as containing a wide variety of comparison and specialty goods and services to a population greater than the immediate neighborhood in a linear commercial street stretching for many blocks.

The approximately 100,600 square foot site is developed as Kaiser Hospital's French Campus and consists of approximately four buildings in the block bounded by Geary Boulevard to the north, 6th Avenue to the west, Anza Street to the south and 5th Avenue to the west. The subject building where the proposed antennas would be located is five stories tall (plus a mechanical penthouse) and is located mid-block fronting 6th Avenue. The subject structure was constructed in approximately 1970.

SURROUNDING PROPERTIES AND NEIGHBORHOOD

The entire block is developed with buildings generally used by Kaiser Permanente for its medical and health services, and operations. Lots across 6th Avenue from the subject site generally consist of single-to-multi-family buildings between Geary Boulevard and Anza Street. The building at the northeast corner of the intersection of 6th Avenue and Anza Street is leased to the University of San Francisco for student housing. The Richmond District Police Station is located directly across 6th Avenue from the subject building.

ENVIRONMENTAL REVIEW

The project is exempt from the California Environmental Quality Act ("CEQA") as a Class 3 categorical exemption. The categorical exemption and all pertinent documents may be found in the files of the Planning Department, as the custodian of records, at 1650 Mission Street, San Francisco.

HEARING NOTIFICATION

TYPE	REQUIRED PERIOD	REQUIRED NOTICE DATE	ACTUAL NOTICE DATE	ACTUAL PERIOD
Classified News Ad	20 days	July 8, 2011	July 6, 2011	22 days
Posted Notice	20 days	July 8, 2011	July 8, 2011	20 days
Mailed Notice	20 days	July 8, 2011	June 28, 2011	31 days

PUBLIC COMMENT

As of July 11, 2011, the Department has received one phone call in opposition to the proposal. The caller's concerns were health related. In addition, the Community Outreach Sign-in Sheet indicates that 5 meeting attendees oppose the proposal.

ISSUES AND OTHER CONSIDERATIONS

- The project will utilize the existing penthouse and flush-mount antennas that will be concealed behind a radio frequency transparent material.
- The project is a Location Preference 1, preferred location. Hospitals are considered a public facility per the WTS Facilities Siting Guidelines and are categorized as a preferred WTS siting location.
- Health and safety aspects of all wireless projects are reviewed under the Department of Public Health and the Department of Building Inspection.
- A Five Year Plan with approximate longitudinal and latitudinal coordinates of proposed locations, including the subject site, was submitted.
- All required public notifications were conducted in compliance with the City's code and policies.
- The project will provide wireless coverage to an area that currently receives marginal coverage.

REQUIRED COMMISSION ACTION

In order for the project to proceed, the Commission must grant the Conditional Use authorization pursuant to Planning Code Sections 209.6(b) and 303 to allow the installation of wireless facilities.

BASIS FOR RECOMMENDATION

The Department believes this project is necessary and/or desirable under Section 303 of the Planning Code for the following reasons:

- The project complies with the applicable requirements of the Planning Code.
- The project is consistent with the objectives and policies of the General Plan.
- The project is consistent with the 1996 WTS Facilities Siting Guidelines, Planning Commission Resolution No. 14182.
- The project site is a Location Preference 1, a preferred location, according to the Wireless Telecommunications Services (WTS) Siting Guidelines.
- The project will improve coverage for an area where there is currently marginal cell phone coverage.

RECOMMENDATION: Approval with Conditions
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Executive Summary
Hearing Date: July 28, 2011

CASE NO. 2010.0951C
4141 Geary Blvd./450-6th Avenue

- Executive Summary
- Draft Motion
- Zoning District Map
- Height & Bulk Map
- Parcel Map
- Sanborn Map
- Aerial Photo
- Context Photos
- Site Photos

- Project sponsor submittal
- Drawings: Proposed Project
- Check for legibility
- Photo Simulations
- Coverage Maps
- RF Report
- DPH Approval
- Community Outreach Report
- SHPO Review

Exhibits above marked with an "X" are included in this packet _____ Planner's
Initials

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Zoning District Map



SUBJECT PROPERTY

ZONING USE DISTRICTS

RESIDENTIAL HOUSE DISTRICTS

RH-1(D) RH-1 RH-1(S) RH-2 RH-3

RESIDENTIAL MIXED (APARTMENTS & HOUSES) DISTRICTS

RM-1 RM-2 RM-3 RM-4

NEIGHBORHOOD COMMERCIAL DISTRICTS

NC-1 NC-2 NC-3 NCD NC-S

SOUTH OF MARKET MIXED USE DISTRICTS

SPD RED WRSO SLR SLI SSO

COMMERCIAL DISTRICTS

C-2 C-3 C-3-G C-3-R C-3-O C-3(OSD)

INDUSTRIAL DISTRICTS

C-M M-1 M-2

CHINATOWN MIXED USE DISTRICTS

CRNC CVR CCB

RESIDENTIAL-COMMERCIAL DISTRICTS

RC-3 RC-4

REDEVELOPMENT AGENCY DISTRICTS

MB-RA MB-RA

DOWNTOWN RESIDENTIAL DISTRICTS

RH(D) TB(D)R

MISSION BAY DISTRICTS

MB-OS MB-O

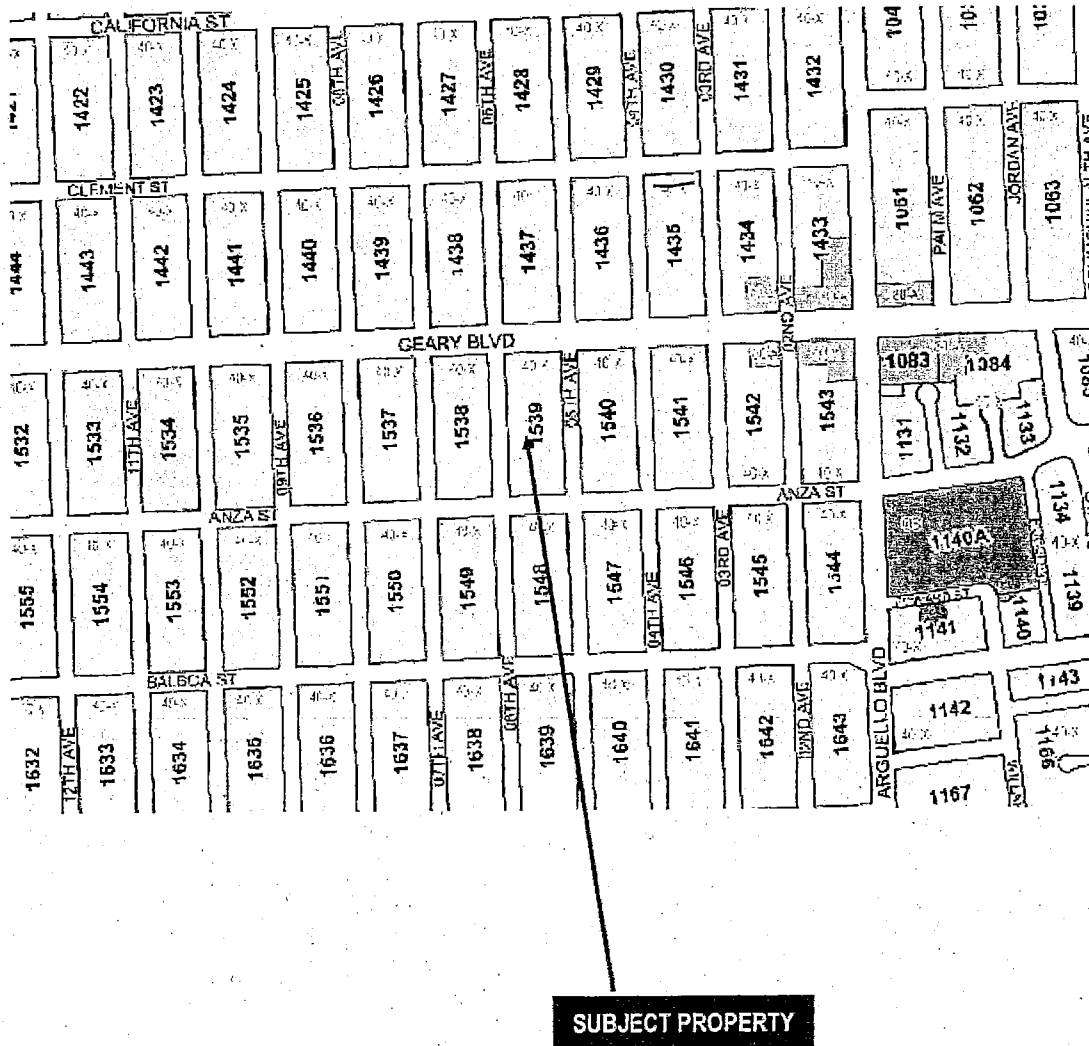
PUBLIC DISTRICT

P



Conditional Use Hearing
 Case Number 2010.0951C
 Verizon Wireless
 4141 Geary Blvd./450-6th Avenue

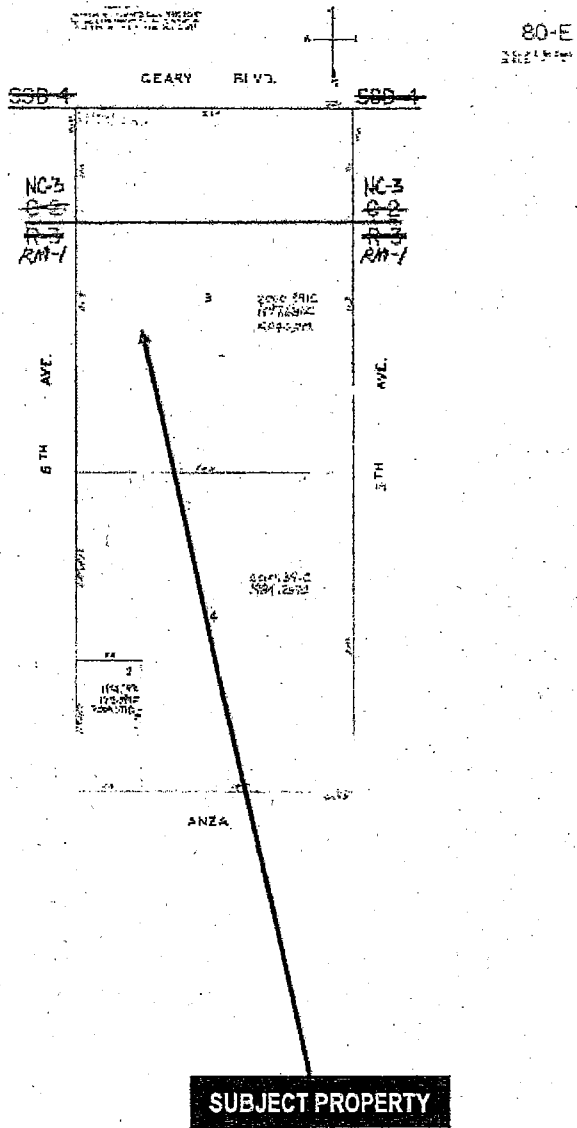
Height and Bulk Map



SUBJECT PROPERTY

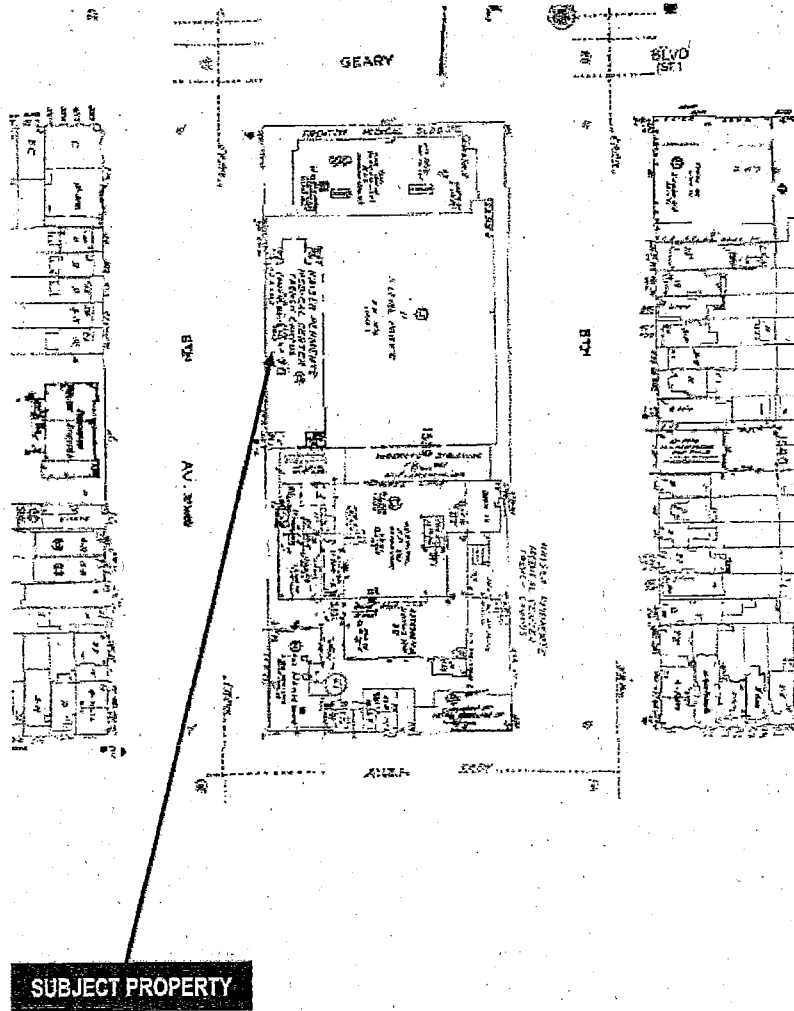
Conditional Use Hearing
Case Number 2010.0951C
Verizon Wireless
4141 Geary Blvd./450-6th Avenue

Parcel Map



Conditional Use Hearing
Case Number 2010.0951C
Verizon Wireless
4141 Geary Blvd./450-6th Avenue

Sanborn Map*



**The Sanborn Maps in San Francisco have not been updated since 1998, and this map may not accurately reflect existing conditions.*



**SAN FRANCISCO
PLANNING DEPARTMENT**

Conditional Use Hearing
Case Number 2010.0951C
Verizon Wireless
4141 Geary Blvd./450-6th Avenue

Aerial Photo



SUBJECT PROPERTY

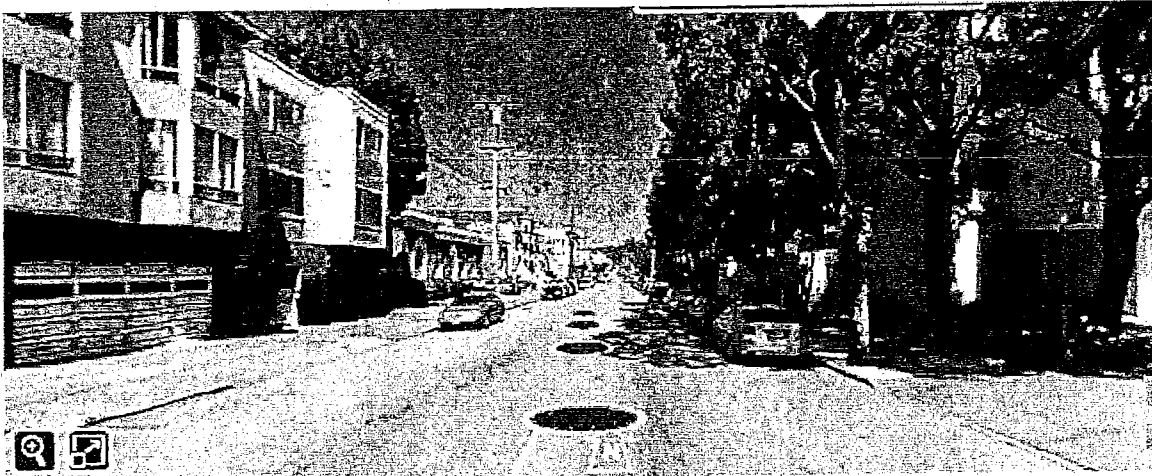


Conditional Use Hearing
Case Number 2010.0951C
Verizon Wireless
4141 Geary Blvd./450-6th Avenue

Context Photos



View looking south on 6th Avenue. Subject building on left,



View looking north on 6th Avenue. Subject building behind trees on right.



SAN FRANCISCO PLANNING DEPARTMENT

Subject to: (Select only if applicable)

- | | |
|--|--|
| <input type="checkbox"/> Affordable Housing (Sec. 415) | <input type="checkbox"/> First Source Hiring (Admin. Code) |
| <input type="checkbox"/> Jobs Housing Linkage Program (Sec. 413) | <input type="checkbox"/> Child Care Requirement (Sec. 414) |
| <input type="checkbox"/> Downtown Park Fee (Sec. 412) | <input type="checkbox"/> Other |

1650 Mission St.
Suite 400
San Francisco,
CA 94103-2479

Reception:
415.558.6378

Fac:
415.558.6409

Planning
Information:
415.558.6377

Planning Commission Motion

HEARING DATE: JULY 28, 2011

Date: July 21 2011
Case No.: 2010.0951C
Project Address: 4141 Geary Blvd./450 - 6th Avenue
Current Zoning: RM-1 (Mixed, Low Density)
NC-3 (Neighborhood Commercial, Moderate Scale)
80-E Height and Bulk District
Block/Lot: 1539/003
Project Sponsor: Gabriella Bar for
Verizon Wireless
9210 Zayante Drive
Felton, CA 95018
Staff Contact: Sara Vellve - (415) 558 - 6263
sara.vellve@sfgov.org
Recommendation: **Approval with Conditions**

ADOPTING FINDINGS RELATING TO THE APPROVAL OF A CONDITIONAL USE AUTHORIZATION UNDER PLANNING CODE SECTIONS 209.6(b) AND 303 TO INSTALL A WIRELESS TELECOMMUNICATIONS FACILITY CONSISTING OF NINE (9) PANEL ANTENNAS AND RELATED EQUIPMENT ON AN EXISTING MECHANICAL PENTHOUSE ON THE ROOF OF A FIVE-STORY PUBLICALLY USED STRUCTURE (KAISER HOSPITAL) AS PART OF VERIZON'S WIRELESS TELECOMMUNICATIONS NETWORK WITHIN THE RM-1 (MIXED, LOW DENSITY) AND NC-3 (NEIGHBORHOOD COMMERCIAL, MODERATE SCALE) ZONING DISTRICTS, AND A 80-E HEIGHT AND BULK DISTRICT.

PREAMBLE

On October 19, 2010, Gabriella Bar, as representative of Verizon Wireless, (hereinafter "Project Sponsor"), made an application (hereinafter "application"), for Conditional Use Authorization on the property at 4141 Geary Blvd./ 450 - 6th Avenue, Lot 003 in Assessor's Block 1539, (hereinafter "project site") to install a wireless telecommunications facility consisting of nine (9) panel antennas on an existing mechanical penthouse and related equipment on the adjacent roof of an existing five-story publicly used structure (Kaiser Hospital) as part of Verizon's wireless telecommunications network within the RM-1 (Mixed, Low Density) and NC-3 (Neighborhood Commercial, Moderate Scale) Zoning Districts, and a 80-E Height and Bulk District.

The project is exempt from the California Environmental Quality Act ("CEQA") as a Class 3 categorical exemption. The Commission has reviewed and concurs with said determination. The categorical exemption and all pertinent documents may be found in the files of the Planning Department (hereinafter "Department"), as the custodian of records, at 1650 Mission Street, San Francisco.

On July 28, 2011, the San Francisco Commission (hereinafter "Commission") conducted a duly noticed public hearing at a regularly scheduled meeting on the application for a Conditional Use authorization.

The Commission has heard and considered the testimony presented to it at the public hearing and has further considered written materials and oral testimony presented on behalf of the applicant, department staff, and other interested parties.

MOVED, that the Commission hereby authorizes the Conditional Use in Application No. 2010.0951C, subject to the conditions contained in "EXHIBIT A" of this motion, based on the following findings:

FINDINGS

Having reviewed the materials identified in the preamble above, and having heard all testimony and arguments, this Commission finds, concludes, and determines as follows:

1. The above recitals are accurate and constitute findings of this Commission.
2. **Site Description and Present Use.** The subject site is zoned RM-1 (Mixed, Low Density) and NC (Neighborhood Commercial, Moderate Scale). The RM-1 District (south portion of subject lot where buildings front 6th Avenue) is characterized in the Planning Code as containing a mixture of dwelling types and a significant number of apartment buildings that broaden the range of unit sizes and variety of structures, but with an overall low density and moderately scaled buildings with neighborhood services and transit lines located within close proximity. The NC-3 District (north portion of lot fronting Geary Boulevard) is characterized in the Planning Code as containing a wide variety of comparison and specialty goods and services to a population greater than the immediate neighborhood in a linear commercial street stretching for many blocks.

The approximately 100,600 square foot site is developed as Kaiser Hospital's French Campus and consists of approximately four buildings in the block bounded by Geary Boulevard to the north, 6th Avenue to the west, Anza Street to the south and 5th Avenue to the west. The subject building where the proposed antennas would be located is five stories tall (plus a mechanical penthouse) and is located mid-block fronting 6th Avenue. The subject structure was constructed in approximately 1970.

3. **Surrounding Properties and Neighborhood.** The entire block is developed with buildings generally used by Kaiser Permanente for its medical and health services, and

operations. Lots across 6th Avenue from the subject site generally consist of single-to-multi family-buildings between Geary Boulevard and Anza Street. The building at the northeast corner of the intersection of 6th Avenue and Anza Street is leased to the University of San Francisco for student housing. The Richmond District Police Station is located directly across 6th Avenue from the subject building.

4. **Project Description.** Verizon Wireless proposes to install nine panel antennas, two GPS antennas, and associated equipment cabinets as part of their wireless transmission network. According to the *Wireless Telecommunications Services (WTS) Siting Guidelines*, the property is a Location Preference 1 (Publicly-used structure) as the site is developed with a medical office/hospital owned and operated by Kaiser Permanente. The nine panel antennas would be flush-mounted in groups of three on the north, east and south sides of an existing penthouse at a height of approximately 85 feet and no higher than the penthouse roof. In order to improve the visual quality of the site, all antennas will be screened from view by synthetic material that is RF (Radio Frequency) Transparent, which allows transmission to occur even though the antennas are obscured. The maximum dimension for all the proposed antennas is approximately 4 feet tall, 1 foot wide and 3 to 7 inches deep. The proposed WTS site also includes the installation of associated mechanical equipment which will be located on the roof of the five-story building immediately to the north of the penthouse and set back from the 6th Avenue property line by approximately 30 feet.

5. **Past History and Actions.** The Planning Commission established guidelines for the installation of wireless telecommunications facilities in 1996 ("*Guidelines*"). These *Guidelines* set forth the land use policies and practices that guide the installation and approval of wireless facilities throughout San Francisco. A large portion of the *Guidelines* was dedicated to establishing location preferences for these installations. The Board of Supervisors, in Resolution No. 635-96, provided input as to where wireless facilities should be located within San Francisco. The *Guidelines* were updated by the Commission in 2003, requiring community outreach, notification, and detailed information about the facilities to be installed.¹

Section 8.1 of the *Guidelines* outlines Location Preferences for wireless facilities. There are five primary areas where the installation of wireless facilities should be located:

1. Publicly-used Structures: such facilities as fire stations, utility structures, community facilities, hospitals, health centers and other public structures;
2. Co-Location Site: encourages installation of facilities on buildings that already have wireless installations;
3. Industrial or Commercial Structures: buildings such as warehouses, factories, garages, service stations;

¹ PC Resolution 16539, passed March 13, 2003.

4. Industrial or Commercial Structures: buildings such as supermarkets, retail stores, banks; and
5. Mixed Use Buildings in High Density Districts: buildings such as housing above commercial or other non-residential space.

Before the Planning Commission can review an application to install a wireless facility, the project sponsor must submit a five-year facilities plan, which must be updated biannually, an emissions report and approval by the Department of Public Health, Section 106 Declaration of Intent, a submittal checklist and details about the facilities to be installed.

Under Section 704(B)(iv) of the 1996 Federal Telecommunications Act, local jurisdictions cannot deny wireless facilities based on Radio Frequency (RF) radiation emissions so long as such facilities comply with the FCC's regulations concerning such emissions.

On July 28, 2011, the Commission conducted a duly noticed public hearing at a regularly scheduled meeting on the application for a Conditional Use authorization pursuant to Planning Code Sections 206.9(b) and 303 to install a wireless telecommunications facility consisting of nine panel antennas to be flush-mounted to an existing penthouse and related equipment on the roof of an existing five-story building as part of Verizon's wireless telecommunications network.

6. **Location Preference.** The *WTS Facilities Siting Guidelines* identify different types of buildings for the siting of wireless telecommunications facilities. Under the *Guidelines*, the Project is a Location Preference Number 1, as it is a preferred location for a publicly-used structure (hospital/health services).
7. **Radio Waves Range.** The Project Sponsor has stated that the proposed wireless network will transmit calls by radio waves operating in the 800 - 1900 Megahertz (MHZ) bands, which is regulated by the Federal Communications Commission (FCC) and which must comply with the FCC-adopted health and safety standards for electromagnetic radiation and radio frequency radiation.
8. **Radiofrequency (RF) Emissions:** The project sponsor retained Hammett & Edison, Inc., a radio engineering consulting firm, to prepare a report describing the expected RF emissions from the proposed facility. Pursuant to the *Guidelines*, the Department of Public Health reviewed the report and determined that the proposed facility complies with the standards set forth in the *Guidelines*.
9. **Department of Public Health Review and Approval.** The proposed project was referred to the Department of Public Health (DPH) for emissions exposure analysis. Existing RF levels at ground level were less than 1% of the FCC public exposure limit. There were no other observed similar antennas within 100 feet of this site. Verizon proposes to install nine new antennas. The antennas will be flush mounted on an existing penthouse at a height of approximately 85 feet above the ground. The estimated ambient RF field from

the proposed Verizon transmitters at ground level is calculated to be 0.0013 mW/sq cm, which is .23% of the FCC public exposure limit. The three dimensional perimeter of RF levels equal to the public exposure limit extends 30 feet and does not reach the roof of the building or any publicly accessible areas. Warning signs must be posted at the antennas and roof access points in English, Spanish, and Chinese. Workers should not have access to within six feet of the front of the antennas while in operation.

10. **Maintenance Schedule.** The proposed facility would operate without on-site staff but with a maintenance crew visiting the property approximately two or three times a month and on an as-needed basis to service and monitor the facility.
11. **Community Outreach.** Per the *Guidelines*, the project sponsor held a Community Outreach Meeting for the proposed project. The meeting began at 7:00 P.M. on Thursday, April 28, 2011 at the Richmond/Senator Milton Marks Branch Library, located at 351 Ninth Avenue, San Francisco. 32 members of the public attended the meeting.
12. **Five-year plan:** Per the *Guidelines*, the project sponsor submitted its latest five-year plan, as required, in April 2011.
13. **Public Comment.** As of July 11, 2011, the Department has received one phone call in opposition to the proposal. The callers concerns were health related. In addition, the Community Outreach Sign-in Sheet indicates that 5 attendees of the meeting oppose the proposal.
14. **Planning Code Compliance.** The Commission finds that the Project is consistent with the relevant provisions of the Planning Code in the following manner:
 - A. **Use.** Per Planning Code Sections 209.6(b), a Conditional Use authorization is required for the installation of wireless transmission facilities.
15. **Planning Code Section 303** establishes criteria for the Planning Commission to consider when reviewing applications for Conditional Use approval. On balance, the project does comply with said criteria in that:
 - A. The proposed new uses and building, at the size and intensity contemplated and at the proposed location, will provide a development that is necessary or desirable, and compatible with, the neighborhood or the community.
 - i *Desirable: San Francisco is a leader of the technological economy; it is important and desirable to the vitality of the city to have and maintain adequate telecommunications coverage and data capacity. This includes the installation and upgrading of systems to keep up with changing technology and increases in usage. It is desirable for the City to allow wireless facilities to be installed.*

The proposed project at 4141 Geary Blvd./450 – 6th Avenue will be generally desirable and compatible with the surrounding neighborhood because the project will not conflict with the existing uses of the property and will be of such size and nature to be compatible with the surrounding nature of the vicinity. The approval of this authorization has been found, first and foremost, to insure public safety, and insure that the placement of antennas and related support and protection features are so located, designed, and treated architecturally to minimize their visibility from public places, to avoid intrusion into public vistas, avoid disruption of the architectural design integrity of building and insure harmony with neighborhood character.

- ii *Necessary: In the case of wireless installations, there are two criteria that the Commission reviews: coverage and capacity.*

Coverage: San Francisco does have sufficient overall wireless coverage (note that this is separate from carrier service). It is necessary for San Francisco to have as much coverage as possible in terms of wireless facilities. Due to the topography and tall buildings in San Francisco, unique coverage issues arise because the hills and buildings break up coverage. Thus, telecommunication carriers often install additional installations to make sure coverage is sufficient.

Capacity: While a carrier may have adequate coverage in a certain area, the capacity may not be sufficient. With the continuous innovations in wireless data technology and demand placed on existing infrastructure, individual telecommunications carriers must upgrade and in some instances expand their facilities network to be able to have proper data distribution. It is necessary for San Francisco, as a leader in technology, to have adequate capacity.

The proposed project at 4141 Geary Blvd./450 – 6th Avenue is necessary in order to achieve sufficient street, in-transit and in-building mobile phone coverage. Recent drive tests in the subject area conducted by the Verizon Radio Frequency Engineering Team provide conclusive evidence that the subject property is the most viable location, based on factors including quality of coverage, population density, land use compatibility, zoning and aesthetics. The proposed coverage area will serve the vicinity bounded by Fulton Street, 20th Avenue, Lake Street and Arguello Boulevard, as indicated in the coverage maps. This facility will fill in the gaps to improve coverage in the Inner Richmond District as well as to provide necessary facilities for emergency transmission and improved communication for the neighborhood, community and the region.

- B. The proposed project will not be detrimental to the health, safety, convenience or general welfare of persons residing or working in the vicinity. There are no features of the project that could be detrimental to the health, safety or convenience of those residing or working the area, in that:
 - i Nature of proposed site, including its size and shape, and the proposed size, shape and arrangement of structures;

The proposed project must comply with all applicable Federal and State regulations to safeguard the health, safety and to ensure that persons residing or working in the vicinity will not be affected, and prevent harm to other personal property.

The Department of Public Health conducted an evaluation of potential health effects from Radio Frequency radiation, and has concluded that the proposed wireless transmission facilities will have no adverse health effects if operated in compliance with the FCC-adopted health and safety standards. The Department has received information that the proposed wireless system must be operated so as not to interfere with radio or television reception in order to comply with the provisions of its license under the FCC.

The Planning Department is developing a database of all such wireless communications facilities operating or proposed for operation in the City and County of San Francisco. All applicants are now required to submit information on the location and nature of all existing and approved wireless transmission facilities operated by the Project Sponsor. The goal of this effort is to foster public information as to the location of these facilities.

- ii The accessibility and traffic patterns for persons and vehicles, the type and volume of such traffic, and the adequacy of proposed off-street parking and loading;

No increase in traffic volume is anticipated with the facilities operating unmanned, with a single maintenance crew visiting the site two to three times a month or on an as-needed basis.

- iii The safeguards afforded to prevent noxious or offensive emissions such as noise, glare, dust and odor;

While some noise and dust may result from the erection of the antennas and transceiver equipment, noise or noxious emissions from continued use are not likely to be significantly greater than ambient conditions due to the operation of the wireless communication network.

- iv Treatment given, as appropriate, to such aspects as landscaping, screening, open spaces, parking and loading areas, service areas, lighting and signs;

The antennas are proposed to be flush mounted to the north, east and south facades of an existing penthouse and screened from view with RF transparent material painted to match the penthouse. Mechanical equipment would be located on the fifth floor roof of subject building adjacent to the penthouse.

- C. That the use as proposed will comply with the applicable provisions of the Planning Code and will not adversely affect the General Plan.

The project complies with all relevant requirements and standards of the Planning Code and is consistent with objectives and policies of the General Plan as detailed below.

- D. That the use as proposed would provide development that is in conformity with the purpose of the applicable Neighborhood Commercial District.

The proposed project is consistent with the stated purpose of the RM-1 (Mixed, Low Density) and NC-3 (Neighborhood Commercial, Moderate Scale) Districts in that the intended use is located on an existing building at a height of approximately 85 feet from grade and designed to resemble the existing penthouse.

16. **General Plan Compliance.** The Project is, on balance, consistent with the following Objectives and Policies of the General Plan

2004 HOUSING ELEMENT

HOUSING DENSITY, DENSITY, DESIGN & QUALITY OF LIFE

OBJECTIVE 11 - IN INCREASING THE SUPPLY OF HOUSING, PURSUE PLACE MAKING AND NEIGHBORHOOD BUILDING PRINCIPLES AND PRACTICES TO MAINTAIN SAN FRANCISCO'S DESIRABLE URBAN FABRIC AND ENHANCE LIVABILITY IN ALL NEIGHBORHOODS.

POLICY 11.2 - Ensure housing is provided with adequate public improvements, services, and amenities.

The project will improve Verizon Mobility coverage in residential, commercial and recreational areas along primary transportation routes in San Francisco.

2009 HOUSING ELEMENT

BALANCE HOUSING CONSTRUCTION AND COMMUNITY INFRASTRUCTURE

OBJECTIVE 12 - BALANCE HOUSING GROWTH WITH ADEQUATE INFRASTRUCTURE THAT SERVES THE CITY'S GROWING POPULATION.

POLICY 12.2 - Consider the proximity of quality of life elements, such as open space, child care, and neighborhood services, when developing new housing units.

POLICY 12.3 - Ensure new housing is sustainably supported by the City's public infrastructure systems.

The project will improve Verizon Mobility coverage in residential, commercial and recreational areas along primary transportation routes in San Francisco

URBAN DESIGN

HUMAN NEEDS

OBJECTIVE 4 - IMPROVEMENT OF THE NEIGHBORHOOD ENVIRONMENT TO INCREASE PERSONAL SAFETY, COMFORT, PRIDE AND OPPORTUNITY.

POLICY 4.14 - Remove and obscure distracting and cluttering elements.

The project adequately "stealths" the proposed antennas and related equipment by locating the antennas within screening and the equipment on a building roof and set back from the property line.

COMMERCE AND INDUSTRY ELEMENT

Objectives and Policies

OBJECTIVE 1:

MANAGE ECONOMIC GROWTH AND CHANGE TO ENSURE ENHANCEMENT OF THE TOTAL CITY LIVING AND WORKING ENVIRONMENT.

Policy 1:

Encourage development, which provides substantial net benefits and minimizes undesirable consequences. Discourage development, which has substantial undesirable consequences that cannot be mitigated.

Policy 2:

Assure that all commercial and industrial uses meet minimum, reasonable performance standards.

The project would enhance the total city living and working environment by providing communication services for residents and workers within the City. Additionally, the project would comply with Federal, State and Local performance standards.

OBJECTIVE 2:

MAINTAIN AND ENHANCE A SOUND AND DIVERSE ECONOMIC BASE AND FISCAL STRUCTURE FOR THE CITY.

Policy 1:

Seek to retain existing commercial and industrial activity and to attract new such activity to the city.

Policy 3:

Maintain a favorable social and cultural climate in the city in order to enhance its attractiveness as a firm location.

The site is an integral part of a wireless communications network that will enhance the City's diverse economic base.

OBJECTIVE 4:

IMPROVE THE VIABILITY OF EXISTING INDUSTRY IN THE CITY AND THE ATTRACTIVENESS OF THE CITY AS A LOCATION FOR NEW INDUSTRY.

Policy 1:

Maintain and enhance a favorable business climate in the City.

Policy 2:

Promote and attract those economic activities with potential benefit to the City.

The project would benefit the City by enhancing the business climate through improved communication services for residents and workers.

VISITOR TRADE

OBJECTIVE 8 - ENHANCE SAN FRANCISCO'S POSITION AS A NATIONAL CENTER FOR CONVENTIONS AND VISITOR TRADE.

POLICY 8.3 - Assure that areas of particular visitor attraction are provided with adequate public services for both residents and visitors.

The project will ensure that residents and visitors have adequate public service in the form of Verizon's mobile telecommunications.

COMMUNITY SAFETY ELEMENT

Objectives and Policies

OBJECTIVE 3:

ENSURE THE PROTECTION OF LIFE AND PROPERTY FROM THE EFFECTS OF FIRE OR NATURAL DISASTER THROUGH ADEQUATE EMERGENCY OPERATIONS PREPARATION.

Policy 1:

Maintain a local agency for the provision of emergency services to meet the needs of San Francisco.

Policy 2:

Develop and maintain viable, up-to-date in-house emergency operations plans, with necessary equipment, for operational capability of all emergency service agencies and departments.

Policy 3:

Maintain and expand agreements for emergency assistance from other jurisdictions to ensure adequate aid in time of need.

Policy 4:

Establish and maintain an adequate Emergency Operations Center.

Policy 5:

Maintain and expand the city's fire prevention and fire-fighting capability.

Policy 6:

Establish a system of emergency access routes for both emergency operations and evacuation.

The project would enhance the ability of the City to protect both life and property from the effects of a fire or natural disaster by providing communication services.

17. **Planning Code Section 101.1(b)** establishes eight priority-planning policies and requires review of permits for consistency with said policies. On balance, the project does comply with said policies in that:

- A. That existing neighborhood-serving retail uses be preserved and enhanced and future opportunities for resident employment in and ownership of such businesses be enhanced.

No neighborhood-serving retail use would be displaced and the wireless communications network will enhance personal communication services.

- B. That existing housing and neighborhood character be conserved and protected in order to preserve the cultural and economic diversity of our neighborhoods.

No residential uses would be displaced or altered in any way by the granting of this authorization.

- C. That the City's supply of affordable housing be preserved and enhanced.

The project would have no adverse impact on housing in the vicinity.

- D. That commuter traffic not impede MUNI transit service or overburden our streets or neighborhood parking.

Due to the nature of the project and minimal maintenance or repair, municipal transit service would not be impeded and neighborhood parking would not be overburdened.

- E. That a diverse economic base be maintained by protecting our industrial and service sectors from displacement due to commercial office development, and that future opportunities for resident employment and ownership in these sectors be enhanced.

The project would cause no displacement of industrial and service sector activity.

- F. That the City achieve the greatest possible preparedness to protect against injury and loss of life in an earthquake.

Compliance with applicable structural safety and seismic safety requirements would be considered during the building permit application review process.

- G. That landmarks and historic buildings be preserved.

The site contains a medical services/hospital building constructed in approximately 1970.

- H. That our parks and open space and their access to sunlight and vistas be protected from development.

The project will have no adverse effect on parks or open space, or their access to sunlight or vistas.

18. The Project is consistent with and would promote the general and specific purposes of the Code provided under Section 101.1(b) in that, as designed, the Project would contribute to the character and stability of the neighborhood and would constitute a beneficial development.
19. The Commission hereby finds that approval of the Determination of Compliance authorization would promote the health, safety and welfare of the City.

Motion No. XXXX
Hearing Date: July 28, 2011

CASE NO. 2010.0951C
4141 Geary Blvd./450-6th Avenue

DECISION

The Commission, after carefully balancing the competing public and private interests, and based upon the Recitals and Findings set forth above, in accordance with the standards specified in the Code, hereby approves the Conditional Use authorization under Planning Code Sections 209.6(b) and 303 to install up to nine panel antennas flush mounted to an existing penthouse and screened from view, and associated equipment cabinets on the roof of a five-story health services/hospital as part of a wireless transmission network operated by Verizon Wireless on a Location Preference One (Preferred Location – Publicly-used structure) according to the *Wireless Telecommunications Services (WTS) Siting Guidelines*, within the RM-1 (Mixed, Low Density) and NC-3 (Neighborhood Commercial, Moderate Scale) Zoning Districts, and a 80-E Height and Bulk District, and subject to the conditions of approval attached hereto as Exhibit A.

APPEAL AND EFFECTIVE DATE OF MOTION: Any aggrieved person may appeal this conditional use authorization to the Board of Supervisors within thirty (30) days after the date of this Motion No. XXXX. The effective date of this Motion shall be the date of this Motion if not appealed (after the 30-day period has expired) OR the date of the decision of the Board of Supervisors if appealed to the Board of Supervisors. For further information, please contact the Board of Supervisors at (415) 554-5184, City Hall, Room 244, 1 Dr. Carlton B. Goodlett Place, San Francisco, CA 94102.

I hereby certify that the foregoing Motion was adopted by the Planning Commission on July 28, 2011.

Linda Avery
Commission
Secretary

AYES:

NAYS:

ABSENT:

ADOPTED: July 28, 2011

EXHIBIT A

AUTHORIZATION

This approval is for Conditional Use authorization under Planning Code Sections 209.6(b) and 303 to install a wireless telecommunications facility consisting of nine panel antennas with related equipment, a Location Preference 1 (Preferred Location – Publicly Use Structure) according to the Wireless Telecommunications Services (WTS) Siting Guidelines, as part of Verizon's wireless telecommunications network within the RM-1 (Mixed, Low Density) and NC-3 (Neighborhood Commercial, Moderate Scale) Zoning Districts, and a 80-E Height and Bulk District.

RECORDATION OF CONDITIONS OF APPROVAL

Prior to the issuance of the building permit or commencement of use for the Project the Zoning Administrator shall approve and order the recordation of a Notice in the Official Records of the Recorder of the City and County of San Francisco for the subject property. This Notice shall state that the project is subject to the conditions of approval contained herein and reviewed and approved by the Planning Commission on July 28, 2011 under Motion No. XXXX.

PRINTING OF CONDITIONS OF APPROVAL ON PLANS

The conditions of approval under the 'Exhibit A' of this Planning Commission Motion No. XXXX shall be reproduced on the Index Sheet of construction plans submitted with the Site or Building permit application for the Project. The Index Sheet of the construction plans shall reference to the Conditional Use authorization and any subsequent amendments or modifications.

SEVERABILITY

The Project shall comply with all applicable City codes and requirements. If any clause, sentence, section or any part of these conditions of approval is for any reason held to be invalid, such invalidity shall not affect or impair other remaining clauses, sentences, or sections of these conditions. This decision conveys no right to construct, or to receive a building permit. "Project Sponsor" shall include any subsequent responsible party.

CHANGES AND MODIFICATIONS

Changes to the approved plans may be approved administratively by the Zoning Administrator. Significant changes and modifications of conditions shall require Planning Commission approval of a new Conditional Use authorization.

Conditions of Approval, Compliance, Monitoring, and Reporting PERFORMANCE

1. **Validity and Expiration.** The authorization and right vested by virtue of this action is valid for three years from the effective date of the Motion. A building permit from the Department of Building Inspection to construct the project and/or commence the approved use must be issued as this Conditional Use authorization is only an approval of the proposed project and conveys no independent right to construct the project or to commence the approved use. The Planning Commission may, in a public hearing, consider the revocation of the approvals granted if a site or building permit has not been obtained within three (3) years of the date of the Motion approving the Project. Once a site or building permit has been issued, construction must commence within the timeframe required by the Department of Building Inspection and be continued diligently to completion. The Commission may also consider revoking the approvals if a permit for the Project has been issued but is allowed to expire and more than three (3) years have passed since the Motion was approved.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org.

2. **Extension.** This authorization may be extended at the discretion of the Zoning Administrator only where failure to issue a permit by the Department of Building Inspection to perform said tenant improvements is caused by a delay by a local, State or Federal agency or by any appeal of the issuance of such permit(s).

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org.

DESIGN – COMPLIANCE AT PLAN STAGE

3. **Plan Drawings - WTS.** Prior to the issuance of any building or electrical permits for the installation of the facilities, the Project Sponsor shall submit final scaled drawings for review and approval by the Planning Department ("Plan Drawings"). The Plan Drawings shall describe:
 - a. **Structure and Siting.** Identify all facility related support and protection measures to be installed. This includes, but is not limited to, the location(s) and method(s) of placement, support, protection, screening, paint and/or other treatments of the antennas and other appurtenances to insure public safety, insure compatibility with urban design, architectural and historic preservation principles, and harmony with neighborhood character.
 - b. **For the Project Site, regardless of the ownership of the existing facilities.** Identify the location of all existing antennas and facilities; and identify the location of all approved (but not installed) antennas and facilities.
 - c. **Emissions.** Provide a report, subject to approval of the Zoning Administrator, that operation of the facilities in addition to ambient RF emission levels will not exceed adopted FCC standards with regard to human exposure in uncontrolled areas.

For information about compliance, contact the Case Planner, Planning Department at 415-558-6613, www.sf-planning.org.

4. **Screening - WTS.** To the extent necessary for information about compliance with adopted FCC regulations regarding human exposure to RF emissions, and upon the recommendation of the Zoning Administrator, the Project Sponsor shall:
- a. Modify the placement of the facilities;
 - b. Install fencing, barriers or other appropriate structures or devices to restrict access to the facilities;
 - c. Install multi-lingual signage, including the RF radiation hazard warning symbol identified in ANSI C95.2 1982, to notify persons that the facility could cause exposure to RF emissions;
 - d. Implement any other practice reasonably necessary to ensure that the facility is operated in compliance with adopted FCC RF emission standards.
 - e. To the extent necessary to minimize visual obtrusion and clutter, installations shall conform to the following standards:
 - f. Antennas and back up equipment shall be painted, fenced, landscaped or otherwise treated architecturally so as to minimize visual effects;
 - g. Rooftop installations shall be setback such that back up facilities are not viewed from the street;
 - h. Antennae attached to building facades shall be so placed, screened or otherwise treated to minimize any negative visual impact; and
 - i. Although co location of various companies' facilities may be desirable, a maximum number of antennas and back up facilities on the Project Site shall be established, on a case by case basis, such that "antennae farms" or similar visual intrusions for the site and area is not created.

For information about compliance, contact the Case Planner, Planning Department at 415-558-6613, www.sf-planning.org.

MONITORING - AFTER ENTITLEMENT

5. **Enforcement.** Violation of any of the Planning Department conditions of approval contained in this Motion or of any other provisions of Planning Code applicable to this Project shall be subject to the enforcement procedures and administrative penalties set forth under Planning Code Section 176 or Section 176.1. The Planning Department may also refer the violation complaints to other city departments and agencies for appropriate enforcement action under their jurisdiction.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

6. **Monitoring.** The Project requires monitoring of the conditions of approval in this Motion. The Project Sponsor or the subsequent responsible parties for the Project shall pay fees as established under Planning Code Section 351(e) (1) and work with the Planning Department for information about compliance.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

7. **Revocation due to Violation of Conditions.** Should implementation of this Project result in complaints from interested property owners, residents, or commercial lessees which are not resolved by the Project Sponsor and found to be in violation of the Planning Code and/or the specific Conditions of Approval for the Project as set forth in Exhibit A of this Motion, the Zoning Administrator shall refer such complaints to the Commission, after which it may hold a public hearing on the matter to consider revocation of this authorization.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org.

8. **Implementation and Monitoring Costs - WTS.**

a. The Project Sponsor, on an equitable basis with other WTS providers, shall pay the cost of preparing and adopting appropriate General Plan policies related to the placement of WTS facilities. Should future legislation be enacted to provide for cost recovery for planning, the Project Sponsor shall be bound by such legislation.

b. The Project Sponsor or its successors shall be responsible for the payment of all reasonable costs associated with the monitoring of the conditions of approval contained in this authorization, including costs incurred by this Department, the Department of Public Health, the Department of Electricity and Telecommunications, Office of the City Attorney, or any other appropriate City Department or agency pursuant to Planning Code Section 351(f) (2). The Planning Department shall collect such costs on behalf of the City.

c. The Project Sponsor shall be responsible for the payment of all fees associated with the installation of the subject facility, which are assessed by the City pursuant to all applicable law.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org.

9. **Implementation and Monitoring - WTS.** In the event that the Project implementation report includes a finding that RF emissions for the site exceed FCC Standards in any uncontrolled location, the Zoning Administrator may require the Applicant to immediately cease and desist operation of the facility until such time that the violation is corrected to the satisfaction of the Zoning Administrator.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org.

10. **Project Implementation Report - WTS.** The Project Sponsor shall prepare and submit to the Zoning Administrator a Project Implementation Report. The Project Implementation Report shall:

a. Identify the three dimensional perimeter closest to the facility at which adopted FCC standards for human exposure to RF emissions in uncontrolled areas are satisfied;

b. Document testing that demonstrates that the facility will not cause any potential exposure to RF emissions that exceed adopted FCC emission standards for human exposure in uncontrolled areas.

c. The Project Implementation Report shall compare test results for each test point with applicable FCC standards. Testing shall be conducted in compliance with FCC

regulations governing the measurement of RF emissions and shall be conducted during normal business hours on a non holiday weekday with the subject equipment measured while operating at maximum power.

- d. Testing, Monitoring, and Preparation. The Project Implementation Report shall be prepared by a certified professional engineer or other technical expert approved by the Department. At the sole option of the Department, the Department (or its agents) may monitor the performance of testing required for preparation of the Project Implementation Report. The cost of such monitoring shall be borne by the Project Sponsor pursuant to the condition related to the payment of the City's reasonable costs.
 - i. Notification and Testing. The Project Implementation Report shall set forth the testing and measurements undertaken pursuant to Conditions 2 and 4.
 - ii. Approval. The Zoning Administrator shall request that the Certification of Final Completion for operation of the facility not be issued by the Department of Building Inspection until such time that the Project Implementation Report is approved by the Department for compliance with these conditions.

For information about compliance, contact the Environmental Health Section, Department of Public Health at (415) 252-3800, www.sfaph.org.

11. Notification prior to Project Implementation Report - WTS. The Project Sponsor shall undertake to inform and perform appropriate tests for residents of any dwelling units located within 25 feet of the transmitting antenna at the time of testing for the Project Implementation Report.
 - a. At least twenty calendar days prior to conducting the testing required for preparation of the Project Implementation Report, the Project Sponsor shall mail notice to the Department, as well as to the resident of any legal dwelling unit within 25 feet of a transmitting antenna of the date on which testing will be conducted. The Applicant will submit a written affidavit attesting to this mail notice along with the mailing list.
 - b. When requested in advance by a resident notified of testing pursuant to subsection (a), the Project Sponsor shall conduct testing of total power density of RF emissions within the residence of that resident on the date on which the testing is conducted for the Project Implementation Report.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

12. Installation - WTS. Within 10 days of the installation and operation of the facilities, the Project Sponsor shall confirm in writing to the Zoning Administrator that the facilities are being maintained and operated in compliance with applicable Building, Electrical and other Code requirements, as well as applicable FCC emissions standards.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

13. Periodic Safety Monitoring - WTS. The Project Sponsor shall submit to the Zoning Administrator 10 days after installation of the facilities, and every two years thereafter, a certification attested to by a licensed engineer expert in the field of EMR/RF emissions, that the facilities are and have been operated within the then current applicable FCC standards for RF/EMF emissions.

For information about compliance, contact the Environmental Health Section, Department of Public Health at (415) 252-3800, www.sfdph.org.

OPERATION

14. **Community Liaison.** Prior to issuance of a building permit application to construct the project and implement the approved use, the Project Sponsor shall appoint a community liaison officer to deal with the issues of concern to owners and occupants of nearby properties. The Project Sponsor shall provide the Zoning Administrator written notice of the name, business address, and telephone number of the community liaison. Should the contact information change, the Zoning Administrator shall be made aware of such change. The community liaison shall report to the Zoning Administrator what issues, if any, are of concern to the community and what issues have not been resolved by the Project Sponsor.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

15. **Out of Service – WTS.** The Project Sponsor or Property Owner shall remove antennae and equipment that has been out of service or otherwise abandoned for a continuous period of six months.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

16. **Emissions Conditions – WTS.** It is a continuing condition of this authorization that the facilities be operated in such a manner so as not to contribute to ambient RF/EMF emissions in excess of then current FCC adopted RF/EMF emission standards; violation of this condition shall be grounds for revocation.

For information about compliance, contact the Environmental Health Section, Department of Public Health at (415) 252-3800, www.sfdph.org.

17. **Noise and Heat – WTS.** The WTS facility, including power source and cooling facility, shall be operated at all times within the limits of the San Francisco Noise Control Ordinance. The WTS facility, including power source and any heating/cooling facility, shall not be operated so as to cause the generation of heat that adversely affects a building occupant.

For information about compliance, contact the Environmental Health Section, Department of Public Health at (415) 252-3800, www.sfdph.org.

18. **Transfer of Operation – WTS.** Any carrier/provider authorized by the Zoning Administrator or by the Planning Commission to operate a specific WTS installation may assign the operation of the facility to another carrier licensed by the FCC for that radio frequency provided that such transfer is made known to the Zoning Administrator in advance of such operation, and all conditions of approval for the subject installation are carried out by the new carrier/provider.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

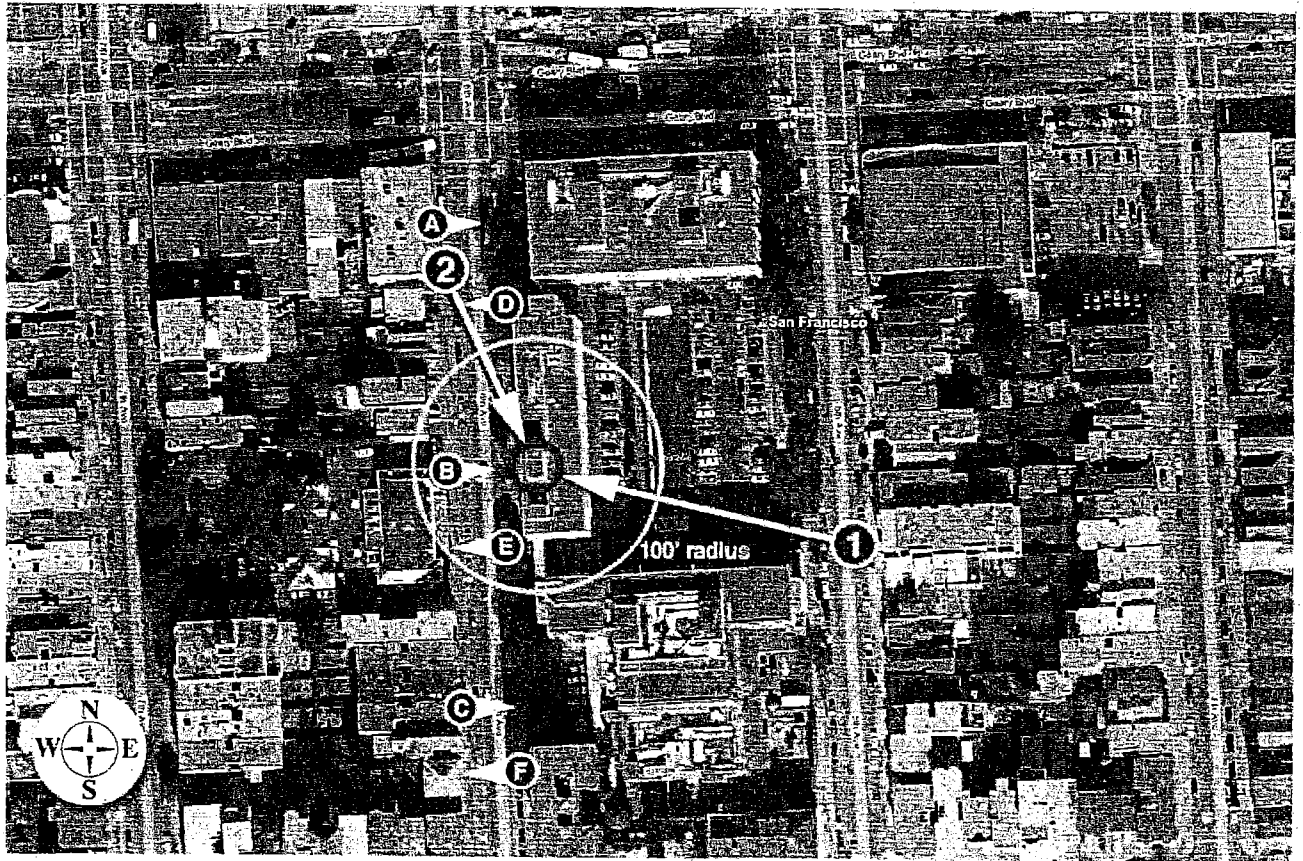
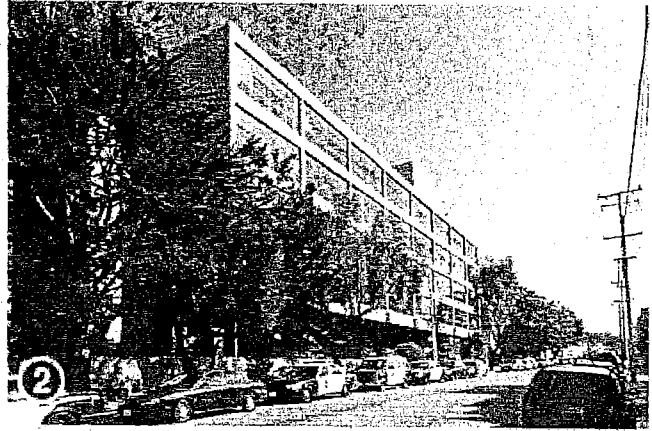
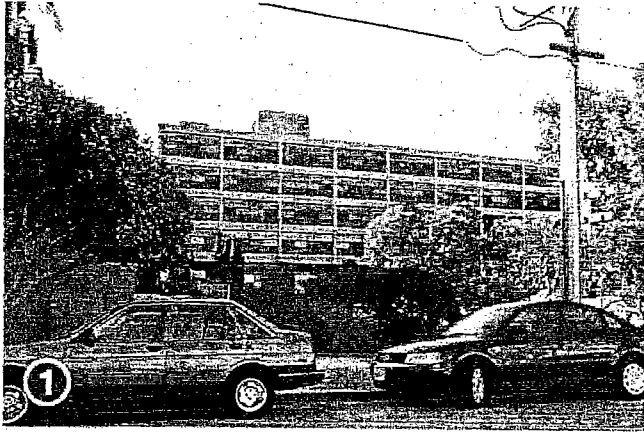
Motion No. XXXX
Hearing Date: July 28, 2011

CASE NO. 2010.0951C
4141 Geary Blvd./450-6th Avenue

19. **Compatibility with City Emergency Services – WTS.** The facility shall not be operated or caused to transmit on or adjacent to any radio frequencies licensed to the City for emergency telecommunication services such that the City's emergency telecommunications system experiences interference, unless prior approval for such has been granted in writing by the City.

For information about compliance, contact the Department of Technology, 415-581-4000, <http://sfgov3.org/index.aspx?page=1421>

SV:G:\DOCUMENTS\CONDITIONAL USES\2010.0951 - 4141 Geary, Verizon\Conditional Use Authorization - Wireless
Motion.doc



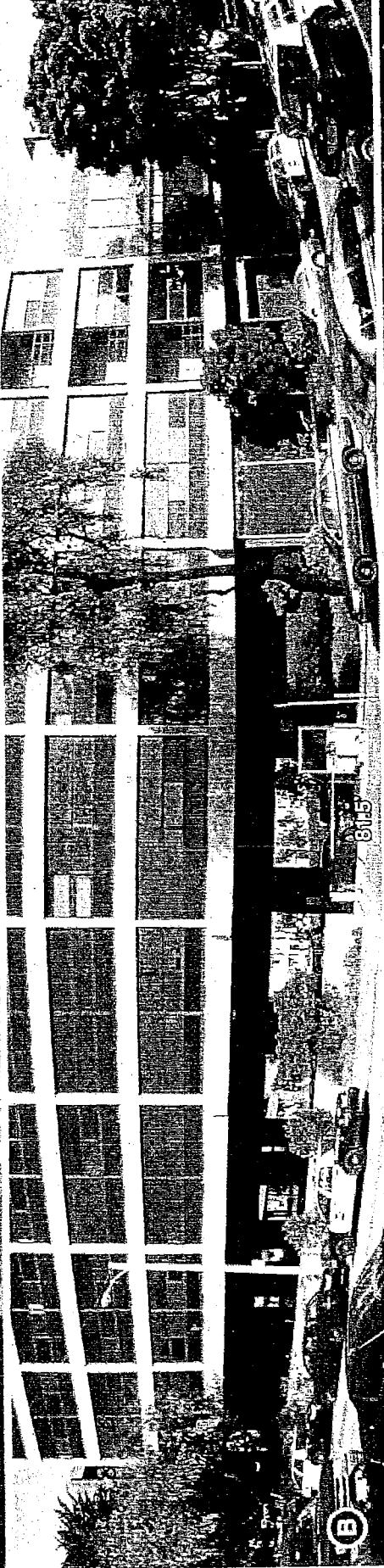
Geary WA Site # 161541

Aerial Map

10/04/10

450 6th Avenue and 4141 Geary Boulevard
San Francisco, CA 94118

Applied Imagination 510 914-0500



Photosurvey 1

Geary WA Site # 161541
450 6th Avenue and 4141 Geary Boulevard
San Francisco, CA 94118

Applied Imaginaton 510 914-0500

10/06/09

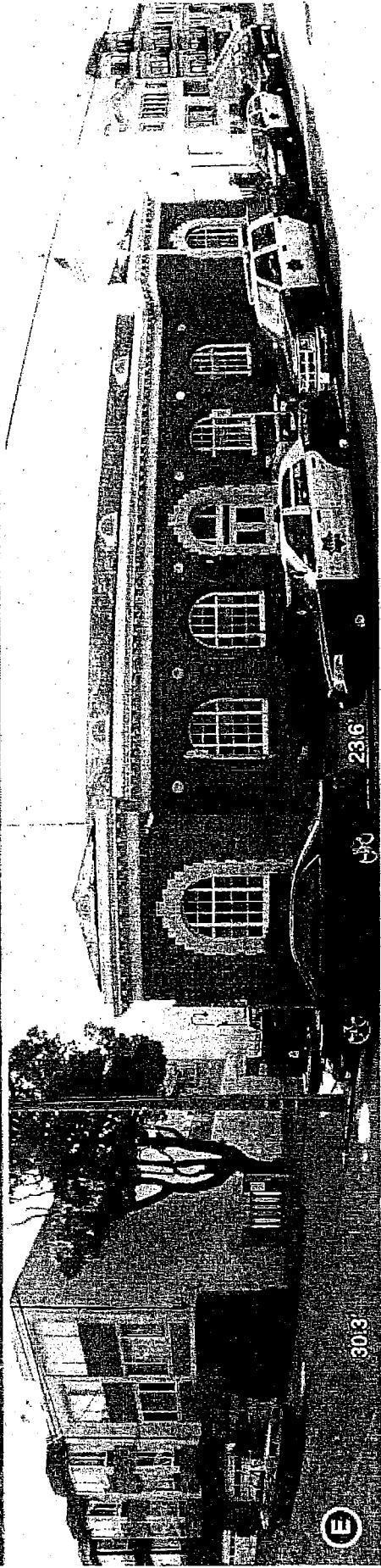
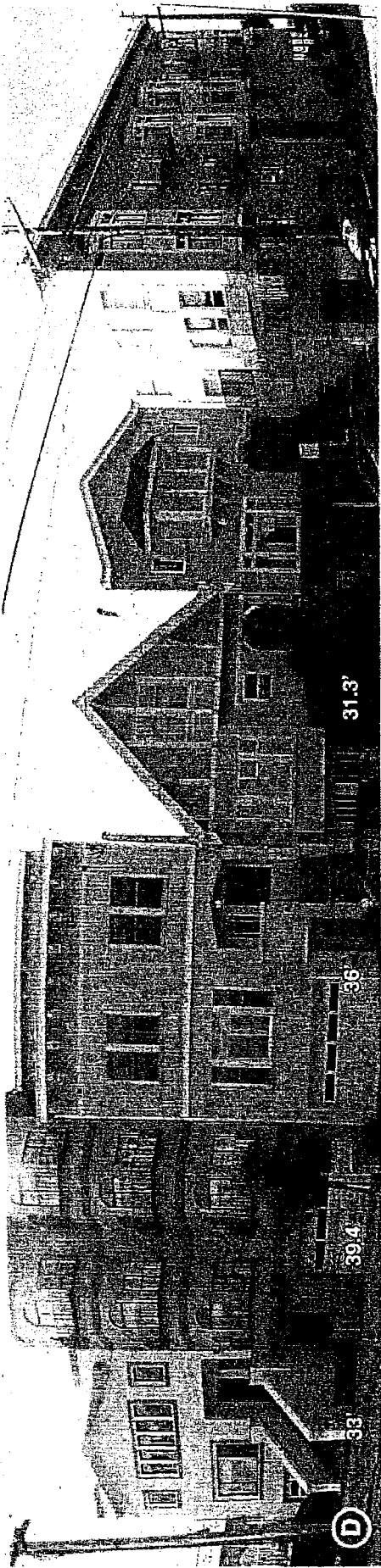


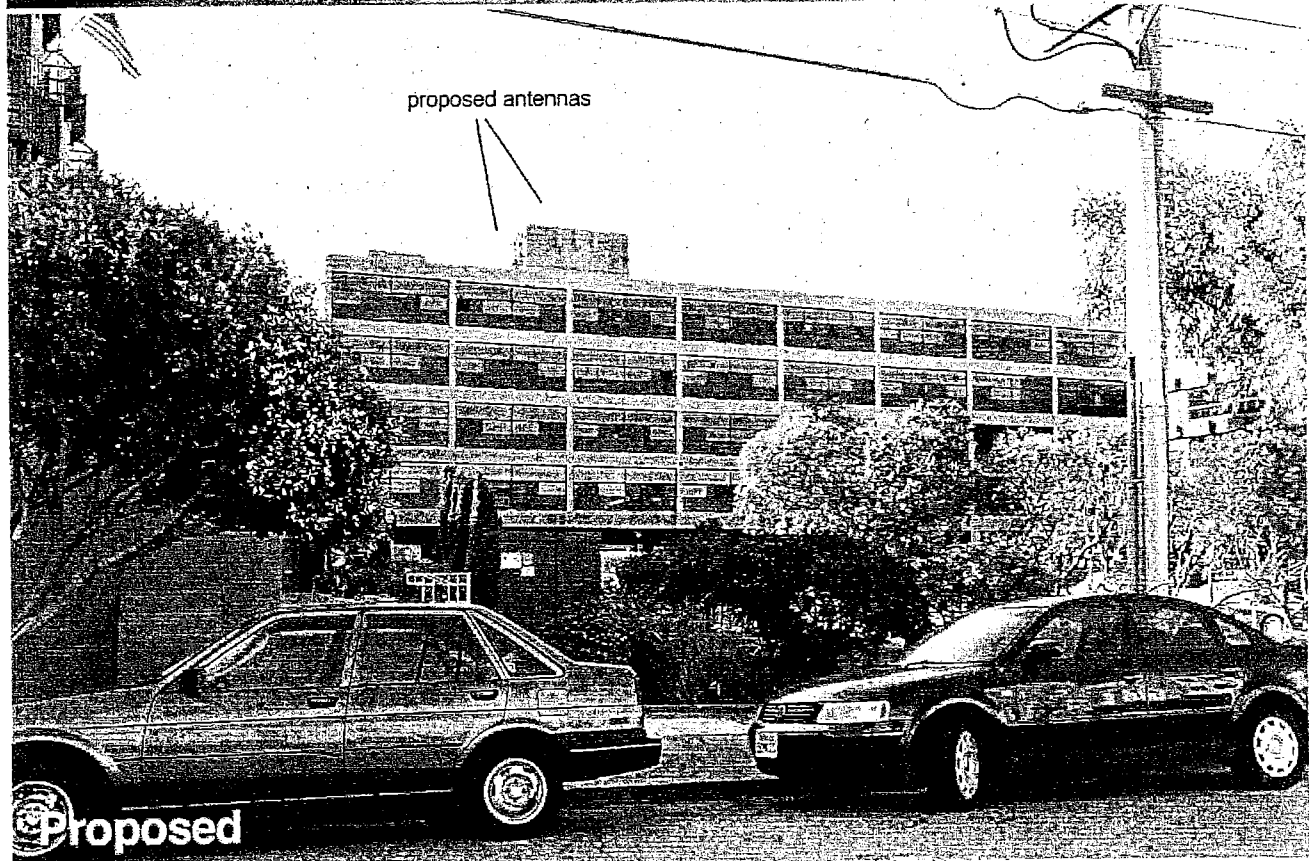
Photo survey 2

Geary WA Site # 161541
450 6th Avenue and 4141 Geary Boulevard
San Francisco, CA 94118

Vertigo Wireless

10/06/09

Applied Imaginon 510 814-4500



verizon wireless

Geary WA

Site # 161541

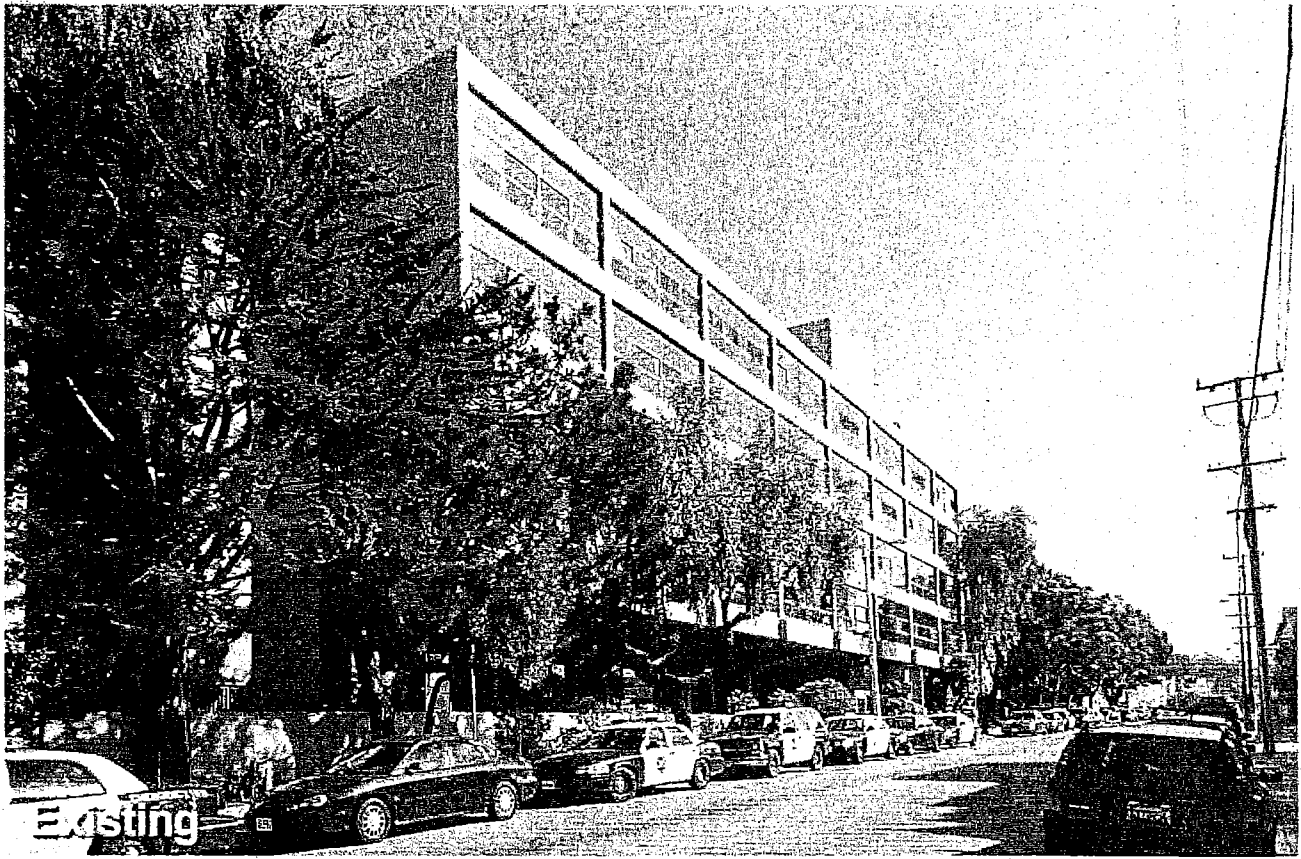
Looking Northwest from 5th Avenue

10/04/10

450 6th Avenue and 4141 Geary Boulevard
San Francisco, CA 94118

View #1

Applied Imagination 510 914-0500



verizon wireless

Geary WA

Site # 161541

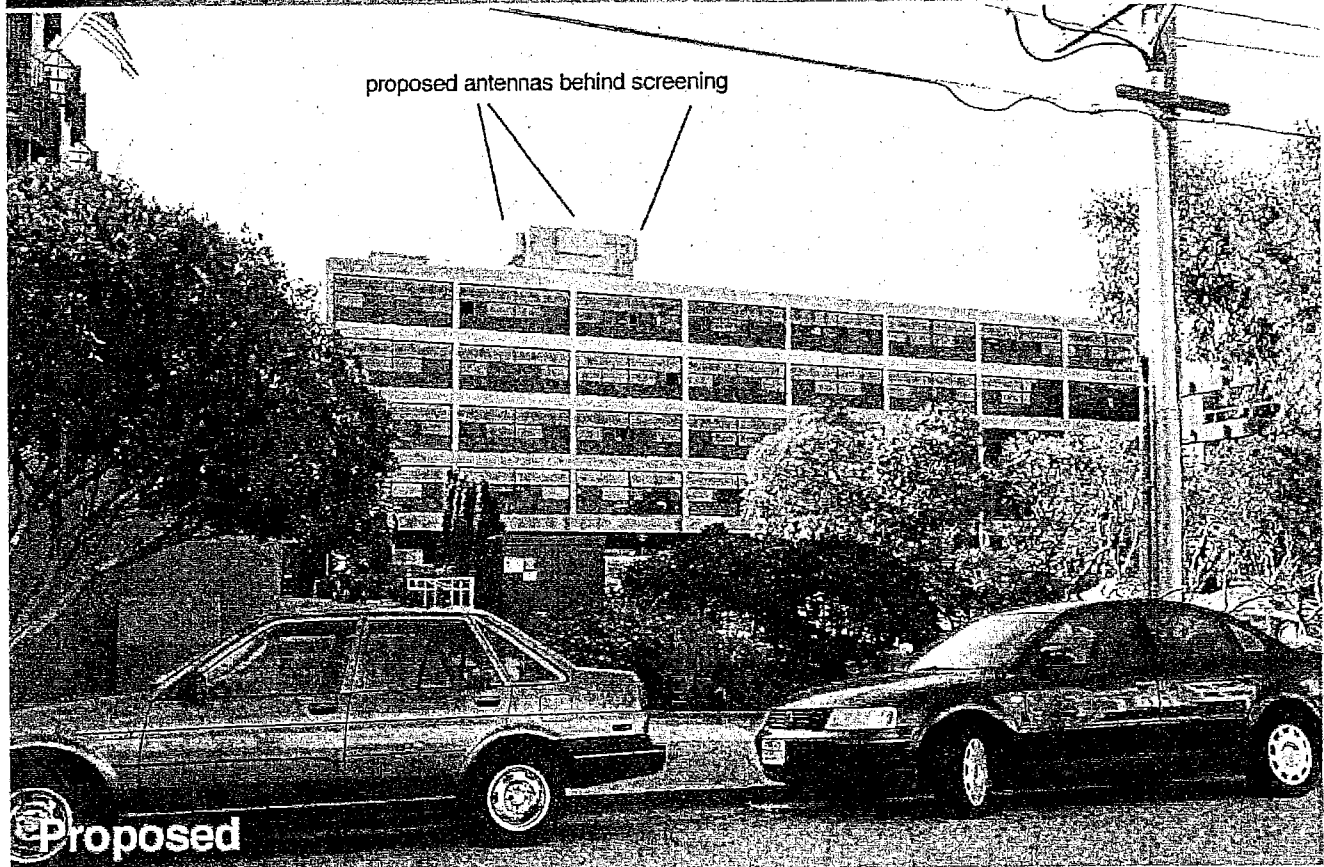
Looking South from 6th Avenue

10/04/10

450 6th Avenue and 4141 Geary Boulevard
San Francisco, CA 94118

View #2

Applied Imagination 510 914-0500



Geary WA

Site # 161541

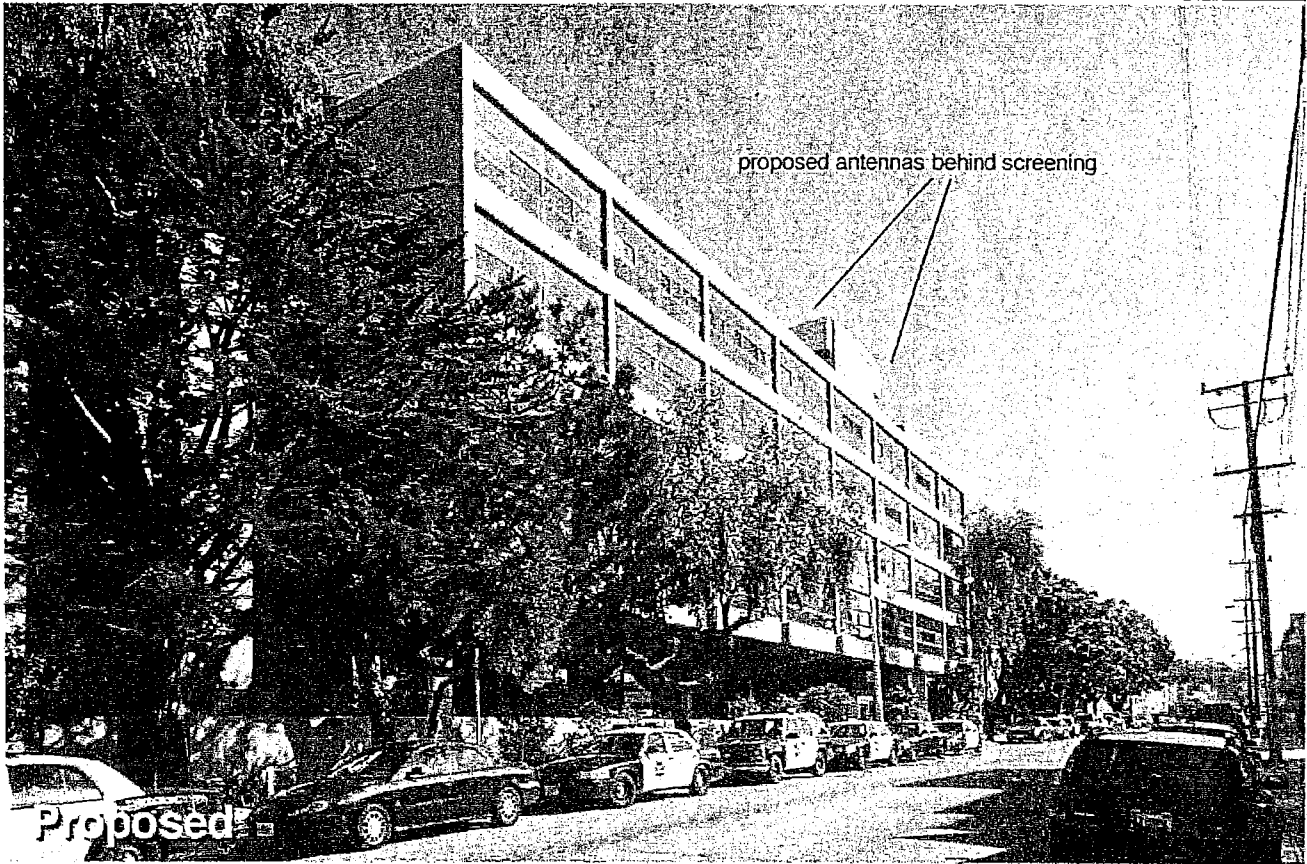
Looking Northwest from 5th Avenue

7/12/11

450 6th Avenue
San Francisco, CA 94118

View #1

Applied Imagination 510 914-0500



verizon wireless

Geary WA

Site # 161541

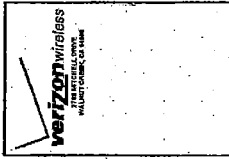
Looking South from 6th Avenue

7/12/11

450 6th Avenue
San Francisco, CA 94118

View #2

Applied Imagination 510 914-0500



JMSA
 JMSA CONSULTANTS & ENGINEERS, INC.
 4100 N. 117th Ave., Suite 100
 San Francisco, CA 94133

ON AIR
 AIR CDR

PROJECT NO.: 161541
 DRAWING NO.: 10
 CHECKED BY: JR
 CAD FILE: 161541

SUBMITTALS

1.	RFI/101	ISSUE
2.	RFI/102	ISSUE
3.	RFI/103	ISSUE
4.	RFI/104	ISSUE
5.	RFI/105	ISSUE
6.	RFI/106	ISSUE
7.	RFI/107	ISSUE
8.	RFI/108	ISSUE
9.	RFI/109	ISSUE
10.	RFI/110	ISSUE

DATE: 161541
 CLIENT: GEARY WA
 450 8TH AVENUE
 SAN FRANCISCO, CA 94116
 SAN FRANCISCO COUNTY

SHEET TITLE
EMF REPORT

SHEET NUMBER
T-2

Verizon Wireless - Proposed Base Station (Site No. 161541) - Geary WA
 450 8th Avenue - San Francisco, California

1. Purpose of Report
 The purpose of this report is to provide information regarding the potential effects of electromagnetic fields (EMF) and radio frequency energy (RF) from the proposed base station on the general public. This information is intended to assist the public in making an informed decision regarding the proposed base station. The report is based on the information provided by the applicant and the results of field measurements conducted by JMSA.

2. Description of the Proposed Base Station
 The proposed base station is a 150-foot tower located at 450 8th Avenue, San Francisco, California. The tower is supported by a steel lattice structure and is equipped with two antennas. The antennas are located at the top of the tower and are oriented in the north-south and east-west directions. The tower is surrounded by a concrete foundation and is situated on a lot that is currently vacant.

3. Methodology
 The methodology used in this report is based on the Federal Communications Commission (FCC) guidelines for the assessment of EMF and RF exposure. The guidelines require that the maximum permissible exposure (MPE) limits be compared to the predicted exposure levels. The MPE limits are based on the frequency of the radiation and the duration of the exposure. The predicted exposure levels were calculated using the FCC guidelines and the information provided by the applicant.

4. Results
 The results of the field measurements and the calculations show that the predicted exposure levels are well below the MPE limits. The maximum predicted exposure level is 0.001 V/m, which is significantly lower than the MPE limit of 0.02 V/m. This indicates that the proposed base station will not cause any adverse health effects on the general public.

5. Conclusions
 Based on the information and data provided, the maximum predicted exposure levels are well below the MPE limits. Therefore, the proposed base station is expected to be safe for the general public. The report is based on the information provided by the applicant and the results of field measurements conducted by JMSA. It is recommended that the applicant provide additional information regarding the proposed base station to the public.

6. Recommendations
 It is recommended that the applicant provide additional information regarding the proposed base station to the public. This information should include a description of the proposed base station, the results of the field measurements, and the calculations used to determine the predicted exposure levels. The applicant should also provide information regarding the safety of the proposed base station and the potential effects of EMF and RF exposure on the general public.

7. Acknowledgments
 The author would like to thank the following individuals for their assistance in the preparation of this report: [Name], [Name], and [Name].

8. References
 Federal Communications Commission (FCC). (2002). *Guidelines for the assessment of electromagnetic fields (EMF) and radio frequency energy (RF) exposure from man-made sources*. Washington, DC: FCC.

Verizon Wireless - Proposed Base Station (Site No. 161541) - Geary WA
 450 8th Avenue - San Francisco, California

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Verizon Wireless - Proposed Base Station (Site No. 161541) - Geary WA
 450 8th Avenue - San Francisco, California

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Verizon Wireless - Proposed Base Station (Site No. 161541) - Geary WA
 450 8th Avenue - San Francisco, California

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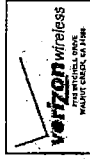
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Verizon Wireless
WARRANTY CHECK ONLY

MSA
Manufacturing & Planning, Inc.
10000 Wilshire Blvd, Suite 1000
Beverly Hills, CA 90210
Tel: 310.274.1000
Fax: 310.274.1001

ON AIR
RE: SKL

PROJECT NO: TESH1
ISSUED BY: M
CHECKED BY: RE
CDO FILE: TESH1

SUBMITTALS
1. 10/14/11 100% PAPER
2. 10/14/11 100% PAPER
3. 10/14/11 100% PAPER
4. 10/14/11 100% PAPER
5. 10/14/11 100% PAPER
6. 10/14/11 100% PAPER

SITE
161541
GEARY WA
4011 GEARY AVENUE
SAN FRANCISCO, CA 94114
SAN FRANCISCO COUNTY

SHEET TITLE
BATTERY SPECS

SHEET NUMBER
T-4

NorthStar TELECOM logo and various technical specifications and diagrams for battery systems.



NorthStar Battery Lead-Acid Battery Model No. 12 Volt Dry Cell

Table with multiple columns and rows, likely a data table for battery specifications or test results.

MATERIAL SAFETY DATA SHEET
LEAD-ACID BATTERY
NorthStar logo and safety information.

Table with columns for hazard identification, physical/chemical properties, and stability/reactivity.

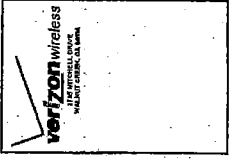
Section 1: Hazard Identification

MATERIAL SAFETY DATA SHEET
LEAD-ACID BATTERY
NorthStar logo and safety information.

MATERIAL SAFETY DATA SHEET
LEAD-ACID BATTERY
NorthStar logo and safety information.

MATERIAL SAFETY DATA SHEET
LEAD-ACID BATTERY
NorthStar logo and safety information.

Battery Information table with columns for Battery Model, Capacity, Voltage, and Energy.



MSA
Architecture & Planning, Inc.
San Francisco, CA
415.774.8300

ON AIR
THE BOLD

PROJECT NO.	161541
DRAWN BY	AM
CHECKED BY	RE
LAD FILE	161541

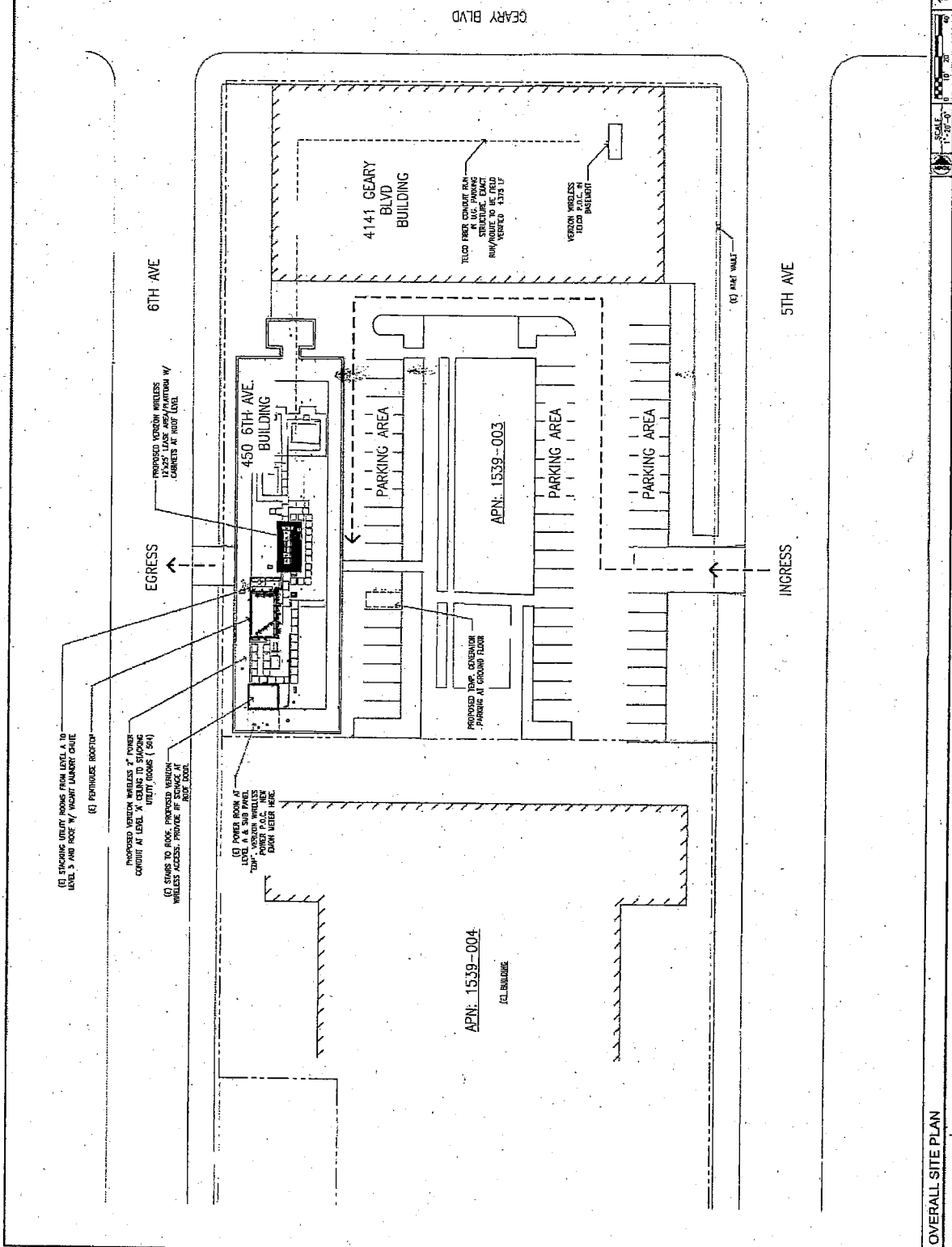
SUBMITTALS	
1.	10/20/11 ISSUE CORRECTIONS
2.	11/11/11 ISSUE CORRECTIONS
3.	12/22/11 ISSUE CORRECTIONS
4.	01/20/12 ISSUE CORRECTIONS
5.	02/21/12 ISSUE CORRECTIONS
6.	03/26/12 ISSUE CORRECTIONS
7.	04/26/12 ISSUE CORRECTIONS
8.	07/17/12 ISSUE CORRECTIONS

SEE APPROVALS ATTACHED TO THIS SET OF PLANS. THIS PROJECT IS BEING SUBMITTED FOR REVIEW AND APPROVAL BY THE CITY OF SAN FRANCISCO. THE CITY OF SAN FRANCISCO OFFICE OF THE SUPERVISOR, PUBLIC WORKS DEPARTMENT, TELECOMMUNICATIONS SECTION.

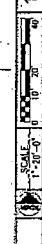
SITE
161541
GEARY WA
450 6TH AVENUE
SAN FRANCISCO, CA 94103
SAN FRANCISCO COUNTY

SHEET TITLE
OVERALL SITE PLAN

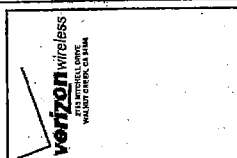
SHEET NUMBER
A-0



- (E) EMPLOYEES TRAVEL FROM LEVEL 1 TO LEVEL 3 AND ROUTE W/ NIGHT MARKET DRIVE
- (E) PERIMETER BOOTSTRAP
- REMOVED WIRELESS WIRELESS POWER CIRCUIT AT LEVEL 3A. CHANGE TO SHOW UTILITY ROOMS (584)
- (E) GEARY TO PARK: IMPROVED WIRELESS WIRELESS ACCESS. PROVIDE OF SERVICE AT ROOF DOOR
- (E) POWER ROOM AT LEVEL 3A. PROVIDE WIRELESS POWER ROOM HERE.



OVERALL SITE PLAN



MSA
 Architecture & Planning, Inc.
 4400 15th Avenue, Suite 100
 San Francisco, CA 94114
 Phone: (415) 774-1100
 Fax: (415) 774-1101

ON AIR
 AN AIR

PROJECT NO: 101941
 DRAWN BY: JH
 CHECKED BY: RZ
 CAD FILE: 101941

SUBMITTALS

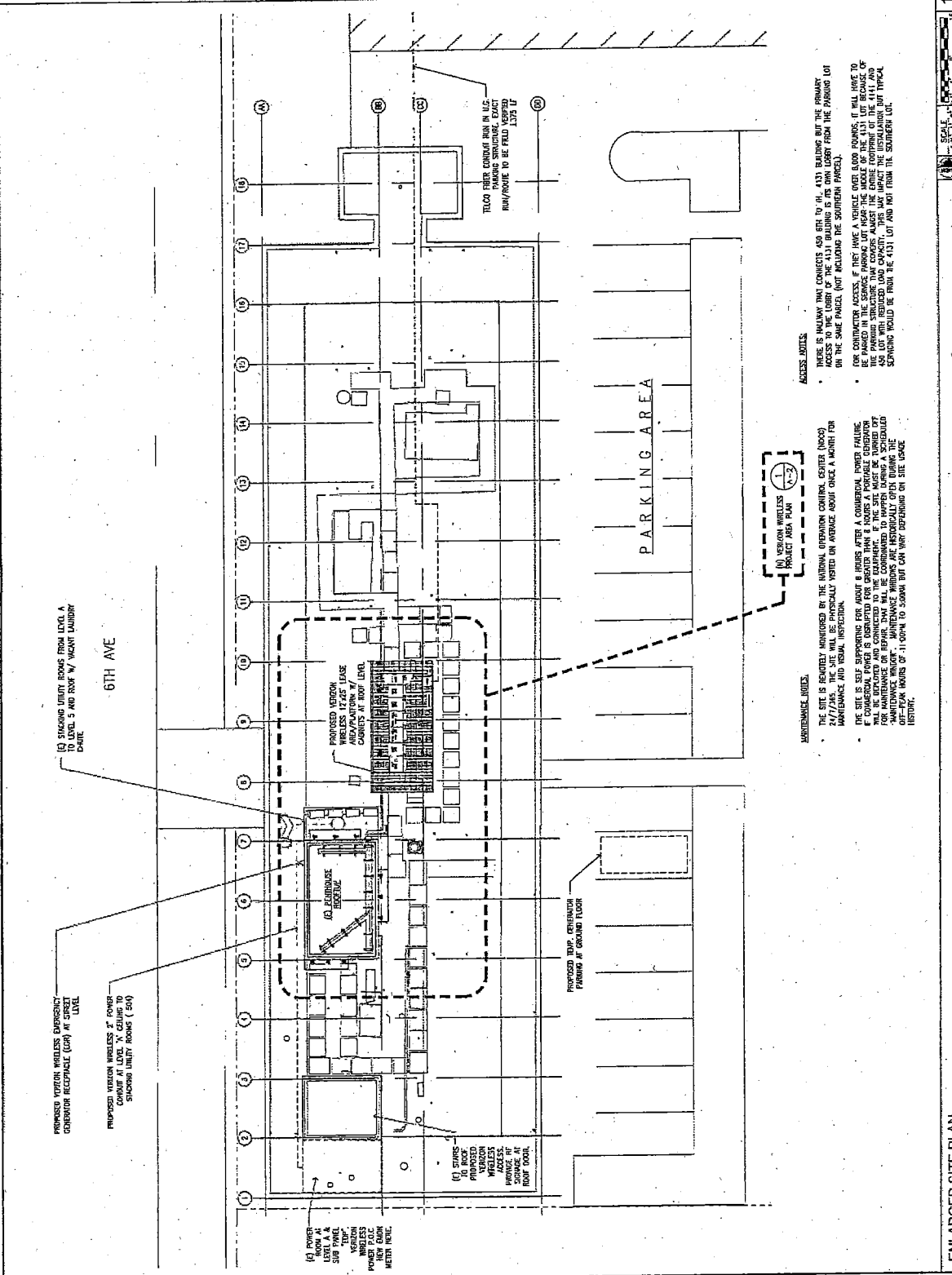
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THE WORK IS COMPLETED AND THE DRAWING IS BEING SUBMITTED FOR PERMITS. THE WORK IS BEING COMPLETED BY THE ARCHITECT AND NOT BY THE CONTRACTOR. THE WORK IS BEING COMPLETED BY THE ARCHITECT AND NOT BY THE CONTRACTOR.

SITE
 161941
 GEARY WA
 450 6TH AVENUE
 SAN FRANCISCO, CA 94118
 SAN FRANCISCO COUNTY

SHEET TITLE
ENLARGED SITE PLAN

SHEET NUMBER
 A-1



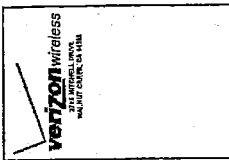
ACCESS NOTES

- THERE IS A HAZARD THAT CONNECTS 450 6TH TO 411 BUILDING BUT THE PRIMARY ACCESS IS TO THE LOBBY OF THE 411 BUILDING BY ITS OWN LOBBY FROM THE PARKING LOT ON THE SAME PARCEL (NOT INCLUDING THE SOUTHERN PARCEL).
- OUR CONTRACTOR ACCESS, IF THEY HAVE A VEHICLE OVER 6000 POUNDS, IT WILL HAVE TO BE PARKED IN THE SERVICE YARD NEAR THE MIDDLE OF THE 411 LOT BECAUSE OF THE HAZARD. THE SERVICE YARD IS NOT A PARKING LOT AND THE CONTRACTOR ACCESS TO THE 411 LOT WILL BE LIMITED AND CONFINED. THIS MAY IMPACT THE INSTALLATION BUT TYPICAL SPACING WOULD BE FROM THE 411 LOT AND NOT FROM THE SOUTHERN LOT.

MAINTENANCE NOTES

- THE SITE IS CURRENTLY MAINTAINED BY THE NATIONAL OPERATIONS CONTROL CENTER (NOCC) AND IS CURRENTLY MAINTAINED ON A DAILY BASIS. A MAINTENANCE SCHEDULE FOR THE SITE IS BEING DEVELOPED FOR 2011. THE SITE IS BEING MAINTAINED BY THE NATIONAL OPERATIONS CONTROL CENTER (NOCC) AND IS CURRENTLY MAINTAINED ON A DAILY BASIS. A MAINTENANCE SCHEDULE FOR THE SITE IS BEING DEVELOPED FOR 2011. THE SITE IS BEING MAINTAINED BY THE NATIONAL OPERATIONS CONTROL CENTER (NOCC) AND IS CURRENTLY MAINTAINED ON A DAILY BASIS. A MAINTENANCE SCHEDULE FOR THE SITE IS BEING DEVELOPED FOR 2011.

ENLARGED SITE PLAN



MSA
 MSA Architects & Planners, Inc.
 2840 J Street West
 San Francisco, CA 94115
 Tel: 415.771.1177
 Fax: 415.771.1178
 Email: info@msa.com



PROJECT NO: 161541
DRAWN BY: M
CHECKED BY: RE
CAD FILE: 161541

SUBMITTALS

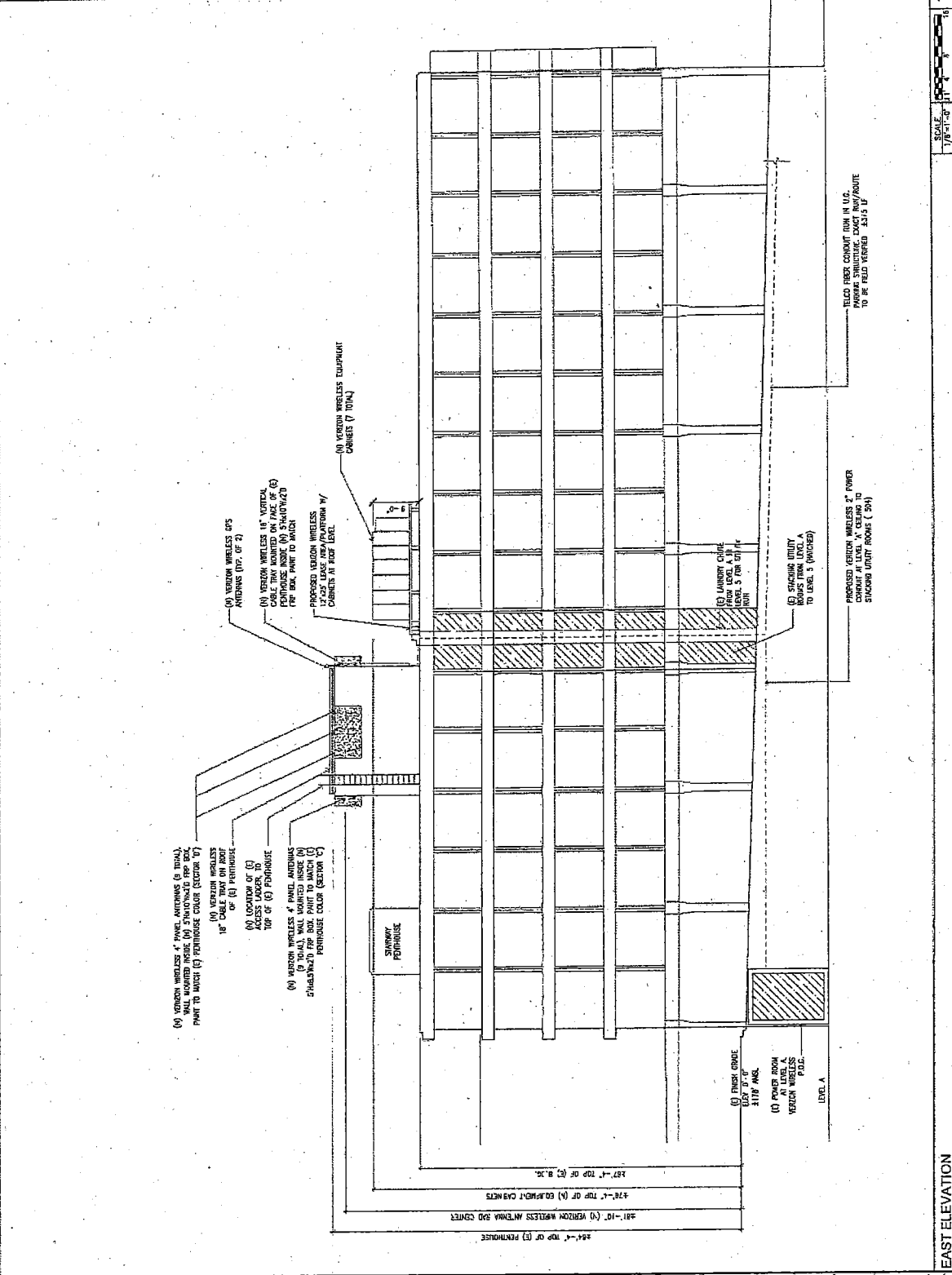
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10. 04/13/11 PERMITS

ALL DIMENSIONS UNLESS OTHERWISE NOTED IN U.S. FEET AND INCHES. DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED.
 ALL WORK SHALL BE IN ACCORDANCE WITH THE 2009 IBC AND ALL APPLICABLE LOCAL ORDINANCES.
 THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS.

SITE
161541
GEARY WA
 450 6TH AVENUE
 SAN FRANCISCO, CA 94118
 SAN FRANCISCO COUNTY

SHEET TITLE
ELEVATION

SHEET NUMBER
A-3



SCALE: 1/8" = 1'-0"
1

EAST ELEVATION

			<table border="1"> <tr><td>PROJECT NO:</td><td>161541</td></tr> <tr><td>DRAWN BY:</td><td>BJ</td></tr> <tr><td>CHECKED BY:</td><td>RE</td></tr> <tr><td>CAD FILE:</td><td>161541</td></tr> <tr><td colspan="2">SUBMITTALS</td></tr> <tr><td>1.</td><td>REVISIONS</td></tr> <tr><td>2.</td><td>REVISIONS</td></tr> <tr><td>3.</td><td>REVISIONS</td></tr> <tr><td>4.</td><td>REVISIONS</td></tr> <tr><td>5.</td><td>REVISIONS</td></tr> <tr><td>6.</td><td>REVISIONS</td></tr> <tr><td>7.</td><td>REVISIONS</td></tr> <tr><td>8.</td><td>REVISIONS</td></tr> <tr><td>9.</td><td>REVISIONS</td></tr> <tr><td>10.</td><td>REVISIONS</td></tr> </table>	PROJECT NO:	161541	DRAWN BY:	BJ	CHECKED BY:	RE	CAD FILE:	161541	SUBMITTALS		1.	REVISIONS	2.	REVISIONS	3.	REVISIONS	4.	REVISIONS	5.	REVISIONS	6.	REVISIONS	7.	REVISIONS	8.	REVISIONS	9.	REVISIONS	10.	REVISIONS	<table border="1"> <tr><td>SITE:</td><td>161541</td></tr> <tr><td>CLIENT:</td><td>GEARY WA</td></tr> <tr><td>ADDRESS:</td><td>4141 GARY BUILDING</td></tr> <tr><td>CITY:</td><td>SAN FRANCISCO, CA 94133</td></tr> <tr><td>COUNTY:</td><td>SAN FRANCISCO COUNTY</td></tr> </table>	SITE:	161541	CLIENT:	GEARY WA	ADDRESS:	4141 GARY BUILDING	CITY:	SAN FRANCISCO, CA 94133	COUNTY:	SAN FRANCISCO COUNTY
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NOTICE TO WORKERS

PLEASE BE ADVISED THAT THE WORKERS SHALL BE CLEARLY MARKED WITH A WHITE BACKGROUND AND BLACK LETTERING, AND SHALL BE PLACED AT LEAST 10 FEET FROM THE SIGN.

NOTES:

- WORKING SIGN TO BE MOUNTED AT ANTENNAS & EQUIPMENT LOCATIONS
- FOR SIGN ONLY, NOT FOR CURRENT COVERINGS.

NOTES:

- WORKING SIGN TO BE CLEARLY MARKED WITH A WHITE BACKGROUND AND BLACK LETTERING, AND SHALL BE PLACED AT LEAST 10 FEET FROM THE SIGN.

PROPOSED 12" X 18" PLASTIC SIGN

RF WARNING SIGNAGE

SCALE: NOT TO SCALE

NOTICE TO WORKERS

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PROPOSED 12" X 18" PLASTIC SIGN

EMERGENCY SHUTDOWN PROCEDURE

SCALE: NOT TO SCALE

NOT USED

SCALE: NOT TO SCALE

ANTENNA WALL MOUNT

SCALE: NOT TO SCALE

NOTICE TO WORKERS

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EMERGENCY SHUTDOWN PROCEDURE

SCALE: NOT TO SCALE

NOT USED

SCALE: NOT TO SCALE

ANTENNA WALL MOUNT

SCALE: NOT TO SCALE

NOT USED

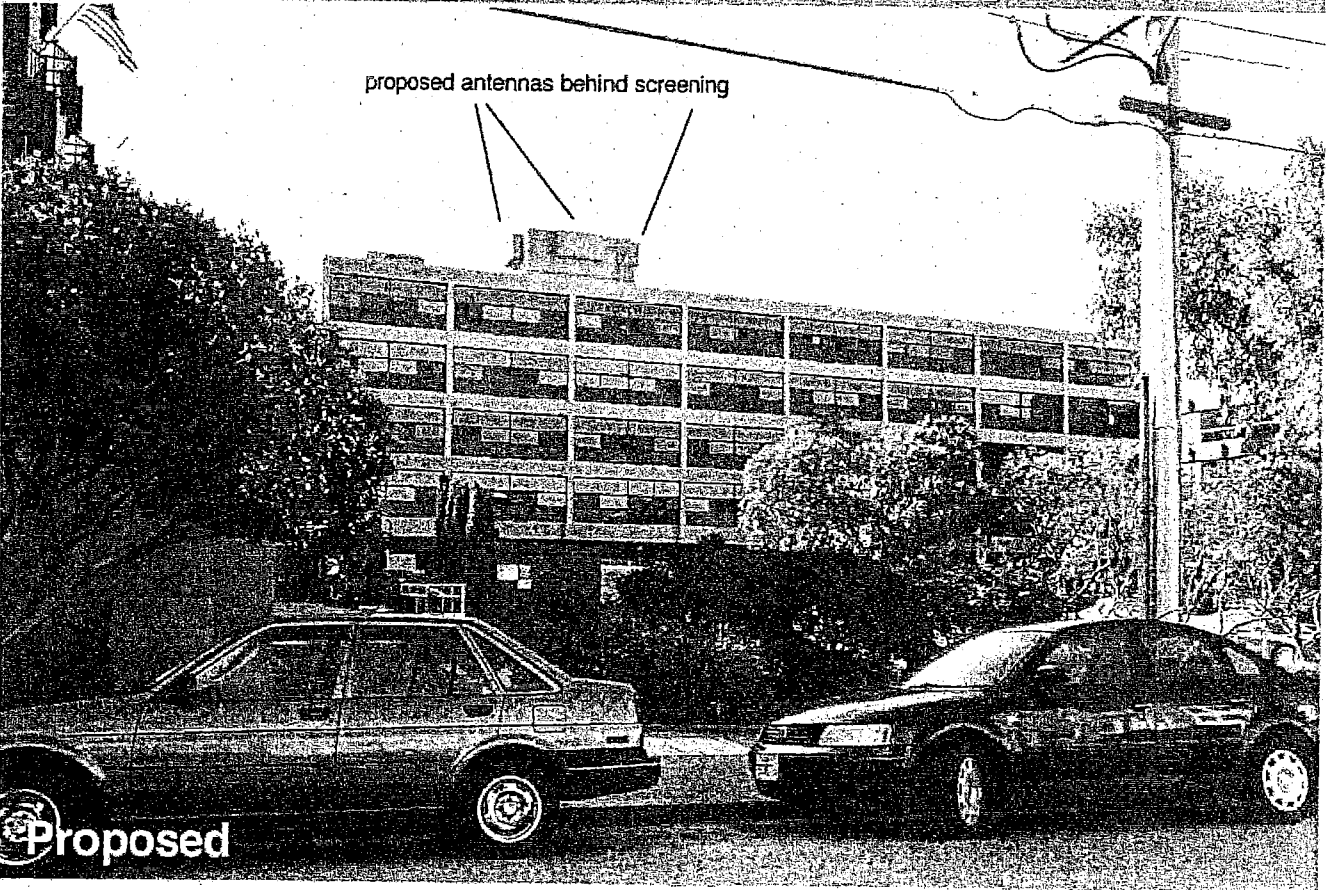
SCALE: NOT TO SCALE

EMERGENCY SHUTDOWN SIGNAGE

SCALE: NOT TO SCALE



Existing



proposed antennas behind screening

Proposed



Geary WA

Site # 161541

Looking Northwest from 5th Avenue

7/12/11

450 6th Avenue
San Francisco, CA 94118

View #1

Applied Imagination 510 914-0500



verizon wireless

Geary WA

Site # 161541

Looking South from 6th Avenue

7/12/11

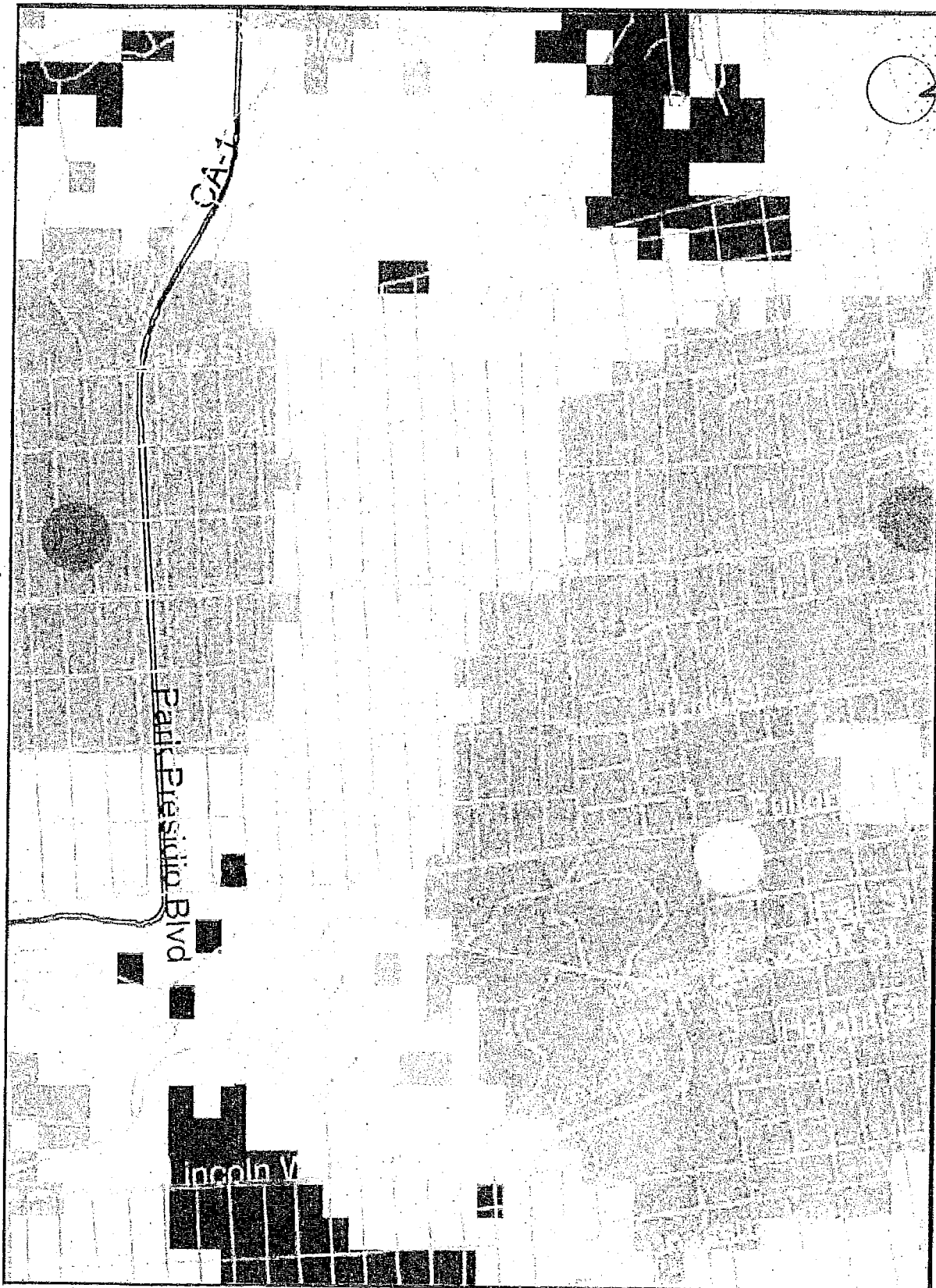
450 6th Avenue
San Francisco, CA 94118

View #2

Applied Imagination 510 914-0500

Geary WA at 450 6th Ave. and 4141 Blvd.

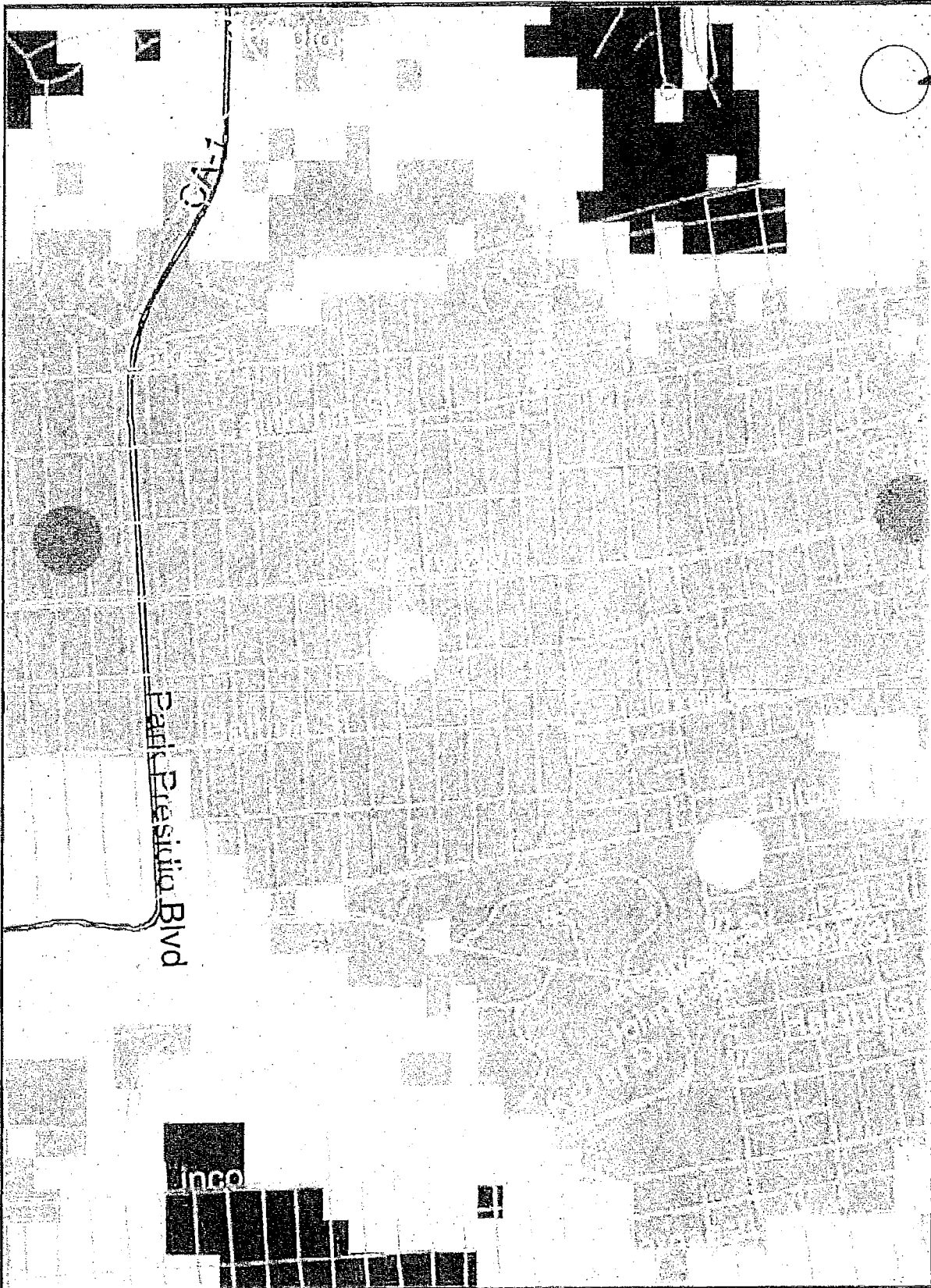
Before New Site



Green = Good Coverage; Yellow = Marginal Coverage
Red = Bad to No Coverage; All sites except the new site are existing.

Geary WA at 450 6th Ave. and 4141 Blvd.

With New Site



Green = Good Coverage; Yellow = Marginal Coverage
Red = Bad to No Coverage; All sites except the new site are existing.

**Verizon Wireless - Proposed Base Station (Site No. 161541 "Geary WA")
450 6th Avenue - San Francisco, California**

Statement of Hammett & Edison, Inc., Consulting Engineers

The firm of Hammett & Edison, Inc., Consulting Engineers, has been retained on behalf of Verizon Wireless, a personal wireless telecommunications carrier, to evaluate the base station (Site No. 161541 "Geary WA") proposed to be located at 450 6th Avenue in San Francisco, California, for compliance with appropriate guidelines limiting human exposure to radio frequency ("RF") electromagnetic fields.

Background

The San Francisco Department of Public Health has adopted a 10-point checklist for determining compliance of WTS facilities with prevailing safety standards. The acceptable limits set by the FCC for exposures of unlimited duration are:

Wireless Service	Frequency Band	Occupational Limit	Public Limit
Microwave (Point-to-Point)	5-23,000 MHz	5.00 mW/cm ²	1.00 mW/cm ²
BRS (Broadband Radio)	2,600	5.00	1.00
AWS (Advanced Wireless)	2,100	5.00	1.00
PCS (Personal Communication)	1,950	5.00	1.00
Cellular	870	2.90	0.58
SMR (Specialized Mobile Radio)	855	2.85	0.57
700 MHz	700	2.35	0.47
[most restrictive frequency range]	30-300	1.00	0.20

The site was visited by Mr. Robert W. Hammett, a qualified field technician contracted by Hammett & Edison, Inc., during normal business hours on June 8, 2010, a non-holiday weekday, and reference has been made to information provided by Verizon, including zoning drawings by MSA Architecture & Planning, Inc., dated June 1, 2010.

Checklist

1. The location of all existing antennas and facilities at site. Existing RF levels.

There were observed no other wireless base stations installed at the site. Existing RF levels for a person at ground near the site were less than 1% of the most restrictive public exposure limit.

2. The location of all approved (but not installed) antennas and facilities. Expected RF levels from approved antennas.

No other WTS facilities or other communications facilities are reported to be approved for this site but not yet installed.



**Verizon Wireless • Proposed Base Station (Site No. 161541 "Geary WA")
450 6th Avenue • San Francisco, California**

3. The number and types of WTS within 100 feet of proposed site and estimates of additive EMR emissions at proposed site.

There were no other WTS facilities observed within 100 feet of the site, although antennas for low-power, two-way radio communications were noted on a hotel nearby.

4. Location (and number) of Applicant's antennas and back-up facilities per building and location (and number) of other WTS at site.

Verizon proposes to install nine Powerwave antennas – six Model P65-15-XL-2 and three Model 7721-00 – on the sides of the mechanical equipment penthouse above the roof of the five-story hospital building, mounted with up to 4° downtilt at an effective height of about 82 feet above ground, 14½ feet above the roof, and oriented in groups of three toward 10°T, 100°T, and 210°T.

5. Power rating (maximum and expected operating power) for all existing and proposed backup equipment subject to application.

The expected operating power of the Verizon transmitters is reflected in the resulting effective radiated power given in Item 6 below; the transmitters may operate at a power below their maximum rating.

6. Total number of watts per installation and total number of watts for all installations at site.

The maximum effective radiated power proposed by Verizon in any direction is 1,840 watts, representing simultaneous operation at 640 watts for PCS, 800 watts for cellular and 400 watts for 700 MHz.

7. Plot or roof plan showing method of attachment of antennas, directionality of antennas, and height above roof level. Discuss nearby inhabited buildings.

The drawings show the proposed antennas to be installed as described in Item 4 above. There were observed no buildings of similar height nearby.

8. Estimated ambient RF levels for proposed site and identify three-dimensional perimeter where exposure standards are exceeded.

For a person anywhere at ground, the maximum ambient RF exposure level due to the proposed Verizon operation is calculated to be 0.0013 mW/cm², which is 0.23% of the applicable public exposure limit. Ambient RF levels at the site are therefore estimated to remain less than 1% of the limit. The three-dimensional perimeter of RF levels equal to the public exposure limit is calculated to extend up to 30 feet out from the antenna faces; this does not reach the roof of the building or any publicly accessible areas.



Verizon Wireless • Proposed Base Station (Site No. 161541 "Geary WA")
450 6th Avenue • San Francisco, California

9. Describe proposed signage at site.

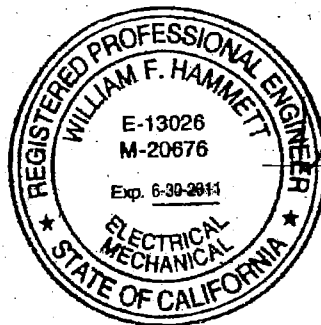
Due to their mounting location, the Verizon antennas would not be accessible to the general public, and so no mitigation measures are necessary to comply with the FCC public exposure guidelines. To prevent occupational exposures in excess of the FCC guidelines, no access within 6 feet directly in front of the antennas themselves, such as might occur during maintenance work on the penthouse, should be allowed while the base station is in operation, unless other measures can be demonstrated to ensure that occupational protection requirements are met. Posting explanatory warning signs* at the roof access door and at the antennas, such that the signs would be readily visible from any angle of approach to persons who might need to work within that distance, would be sufficient to meet FCC-adopted guidelines.

10. Statement of authorship.

The undersigned author of this statement is a qualified Professional Engineer, holding California Registrations Nos. E-13026 and M-20676, which expire on June 30, 2011. This work has been carried out under his direction, and all statements are true and correct of his own knowledge except, where noted, when data has been supplied by others, which data he believes to be correct.

Conclusion

Based on the information and analysis above, it is my professional opinion that the proposed Verizon Wireless base station operation at 450 6th Avenue in San Francisco will comply with the prevailing standards for limiting public exposure to radio frequency energy and, therefore, will not for this reason cause a significant impact on the environment. Posting explanatory signs is recommended to establish compliance with occupational exposure limitations.



William F. Hammett
William F. Hammett, P.E.
707/996-5200

June 30, 2010

* Warning signs should comply with OET-65 color, symbol, and content recommendations. Contact information should be provided (e.g., a telephone number) to arrange for access to restricted areas. The selection of language(s) is not an engineering matter; the San Francisco Department of Public Health recommends that all signs be written in English, Spanish, and Chinese.





City and County of San Francisco
DEPARTMENT OF PUBLIC HEALTH
ENVIRONMENTAL HEALTH SECTION

Gavin Newsom, Mayor
 Mitchell H. Katz, MD, Director of Health
 Rajiv Bhatia, MD, MPH, Director of EH

Review of Cellular Antenna Site Proposals

Project Sponsor : Verizon **Planner:** Sara Vellve
RF Engineer Consultant: Hammett and Edison **Phone Number:** (707) 996-5200
Project Address/Location: 450 06TH Av
Site ID: 1342 **SiteNo.:** 161541

The following information is required to be provided before approval of this project can be made. These information requirements are established in the San Francisco Planning Department Wireless Telecommunications Services Facility Siting Guidelines dated August 1996. In order to facilitate quicker approval of this project, it is recommended that the project sponsor review this document before submitting the proposal to ensure that all requirements are included.

- 1. The location of all existing antennas and facilities. Existing RF levels. (WTS-FSG, Section 11, 2b)
 Existing Antennas No Existing Antennas: 0
- 2. The location of all approved (but not installed) antennas and facilities. Expected RF levels from the approved antennas. (WTS-FSG Section 11, 2b)
 Yes No
- 3. The number and types of WTS within 100 feet of the proposed site and provide estimates of cumulative EMR emissions at the proposed site. (WTS-FSG, Section 10.5.2)
 Yes No
- 4. Location (and number) of the Applicant's antennas and back-up facilities per building and number and location of other telecommunication facilities on the property (WTS-FSG, Section 10.4.1a)
- 5. Power rating (maximum and expected operating power) for all existing and proposed backup equipment subject to the application (WTS-FSG, Section 10.4.1c)
 Maximum Power Rating: 1840 watts.
- 6. The total number of watts per installation and the total number of watts for all installations on the building (roof or side) (WTS-FSG, Section 10.5.1).
 Maximum Effective Radiant: 1840 watts.
- 7. Preferred method of attachment of proposed antenna (roof, wall mounted, monopole) with plot or roof plan. Show directionality of antennas. Indicate height above roof level. Discuss nearby inhabited buildings (particularly in direction of antennas) (WTS-FSG, Section 10.4.1d)
- 8. Report estimated ambient radio frequency fields for the proposed site (identify the three-dimensional perimeter where the FCC standards are exceeded.) (WTS-FSG, Section 10.5) State FCC standard utilized and power density exposure level (i.e. 1986 NCRP, 200 µw/cm²)
 Maximum RF Exposure: 0.0013 mW/cm² Maximum RF Exposure Percent: 0.23
- 9. Signage at the facility identifying all WTS equipment and safety precautions for people nearing the equipment as may be required by any applicable FCC-adopted standards. (WTS-FSG, Section 10.9.2). Discuss signage for those who speak languages other than English.
 Public_Exclusion_Area Public Exclusion In Feet: 30
 Occupational_Exclusion_Area Occupational Exclusion In Feet: 6

X 10. Statement on who produced this report and qualifications.

X **Approved.** Based on the information provided the following staff believes that the project proposal will comply with the current Federal Communication Commission safety standards for radiofrequency radiation exposure. FCC standard 1986-NCRP **Approval of the subsequent Project Implementation Report is based on project sponsor completing recommendations by project consultant and DPH.**

Comments:

There are currently 0 existing antennas operated by Verizon installed on the roof top of the building at 450 06TH Avenue. Existing RF levels at ground level were less than 1% of the FCC public exposure limit. There were observed no other antennas within 100 feet of this site. Verizon proposes to install 9 new antennas on the mechanical equipment penthouse above the roof of the building. The antennas will be mounted at a height of 82 feet above the ground. The estimated ambient RF field from the proposed Verizon transmitters at ground level is calculated to be 0.0013 mW/sq cm., which is 0.23 % of the FCC public exposure limit. The three dimensional perimeter of RF levels equal to the public exposure limit extends 30 feet and does not reach any publicly accessible areas. Warnings signs must be posted at the antennas and roof access points in English, Spanish and Chinese. Worker should not have access to within 6 feet of the front of the antennas while they are in operation.

 Not Approved, additional information required.

 Not Approved, does not comply with Federal Communication Commission safety standards for radiofrequency radiation exposure. FCC Standard

 1 Hours spent reviewing

Charges to Project Sponsor (in addition to previous charges, to be received at time of receipt by S)

Signed: Patrick Fosdahl

Dated: 10/19/2010

Patrick Fosdahl
Environmental Health Management Section
San Francisco Dept. of Public Health
1390 Market St., Suite 210,
San Francisco, CA. 94102
(415) 252-3904

**Verizon Wireless Community Outreach Meeting for Geary WA
Proposed Site at 450 6th Avenue, San Francisco California
Verizon Site Number 161541, April 28th, 2011, 7:00 to 8:15 PM.**

Location of the meeting:

Richmond/Senator Milton Marks Branch Library, 351 9th Avenue.

Number of Verizon Representatives:

4 Managers;

- 1. Gabriella Barr, Project Manager with On Air LLC,**
- 2. Russ Bentsen, Radio Frequency Engineer, Verizon,**
- 3. Oliver Fontana, Construction Manager with On Air LLC,**
- 4. Tom Miller, Project Manager, Verizon Wireless.**

Number of Outside Consultants:

1 Manager;

- 1. Rajat Mathur, P.E., with Hammett and Edison, Consulting Engineers,
Broadcast and Wireless.**

Translator: Chi Ling Wong

Number of Neighborhood Attendees: 32 Persons with the sign in sheet attached.

The complete summary of the community meeting regarding the questions asked and the responses provided follows.

Question #1: "No one saw the mailed notice of the neighborhood meeting and why was it mailed out when it was?"

This question was asked by several of the Attendees. The response provided to the Attendees is that Verizon Wireless followed the exact procedure as delineated in the San Francisco Planning Guidelines. Also stated was that these guidelines are carefully and uniformly prepared to insure that the Community has a consistent, equitable and well tested notification process following a standard operating procedure with the City of San Francisco Planning. Furthermore and noticeably, it was stated that as there was a large group in attendance for this meeting, obviously, the community was notified in a timely manner. It was also stated that approximately 1300 mailings went out which has been documented and verified. Also, San Francisco guidelines for invitations are that they should be sent out at least 14 calendar days before the meeting to insure that all parties had the notification with plenty of time to schedule attending this meeting.

Question #2: "There are old people and children in this neighborhood and this facility is not good for their health."

This question was asked by many of the Attendees. The responses were made by all parties, especially by the Radio Frequency and Emissions experts. The Radio Frequency and Emission experts detailed the Hammett and Edison report which was on site with copies for Attendees to take with them after the meeting. These experts detailed the safety of the project, relative to both the antennas and the equipment. The detail was provided in both Engineering terminology as well as laymen's terms. The FCC public limits include a 50-times safety factor intended to ensure a safe environment for all persons, whether young or old, healthy or infirm, large or small, for continuous operation of radio sources. Radio frequency (RF), also known as electromagnetic fields (EMF) are common in all facets of modern life. Such fields with frequencies between about 100 kiloHertz (kHz) and 100 GigaHertz (GHz) [100,000 and 100,000,000,000 cycles per second] are known as radio frequency fields, or simply "RF." Microwave ovens operate in this range, as do cordless telephones, cellular telephones, CB radios, garage door openers, motion sensors, walkie-talkies, and numerous other devices. RF should not be confused with extremely low frequency energy (ELF). ELF fields are typically associated with household electric devices, such as electric blankets, and with overhead power lines. These operate at a frequency of 60 Hertz – millions or billions of times lower in frequency than RF. Neither should RF be confused with ultra-violet (UV) or X-ray energy, which is at frequencies millions or billions of times higher than RF energy. Radiated energy near X-ray frequencies is called ionizing, because it has enough energy to remove electrons from individual atoms. RF radiation is non-ionizing; that is, it does not by its nature change matter at the atomic level. There have been studies of people exposed to RF energy over a long period of time. The epidemiological studies have not shown adverse health effects at exposure levels at or below the FCC standard. The World Health Organization (WHO) maintains a comprehensive searchable database of research in the effects of electromagnetic fields on biological systems, available at <http://www.who.int/peh-emf/en/>. It was stated that as verified, the emission from the Verizon project are dramatically below the FCC standards. Specifically, for a person at ground level, the maximum RF exposure level is 0.23% of the public exposure limit. Ambient RF levels at the site are estimated to remain less than 1% of the limit. The three-dimensional perimeter of RF levels equal to the public exposure limit is calculated to extend up to 30 feet out from the antenna faces; this does not reach the roof of the building or any publicly accessible areas. Furthermore, the maximum effective radiated power proposed by Verizon in any direction is 1,840 watts, representing simultaneous operation at 640 watts for PCS, 800 watts for cellular and 400 watts for 700 MHz. Due to their mounting location, the Verizon antennas would not be accessible to the general public, and so no mitigation measures are necessary to comply with the FCC public exposure guidelines. Based upon the information and analysis of the Hammett and Edison report, the Hammett and Edison Engineer confirms what Bill Hammett authorized that the proposed Verizon Wireless base station operation at 450 6th Avenue in San Francisco will comply with the prevailing standards for limiting public exposure to

radio frequency energy and therefore, will not for this reason cause a significant impact on the environment.

Question #3: "How do you know that the emissions will be good in the future?"

This question was asked by several members of the meeting. Again, the responses were made by all parties, and especially by the Radio Frequency and Emissions experts. The Radio Frequency and Emission experts detailed the specific and detailed process that will be made to insure the emissions are safe at installation in accordance with the Hammett and Edison report. Additionally, the emissions are checked within the first 10 days of installation and then every 2 years thereafter and the facility must be within the FCC guidelines. Verizon Wireless is licensed by the FCC and must provide accurate and detailed documentation verifying compliance at the Facilities. Also, there are Operations Engineers that inspect the sites approximately once or twice per month insuring that the Facility is operating within the FCC guidelines.

Question #4: "When will the site be built?"

This question was asked by a few members at the meeting. The responses were made by the Verizon representatives with the most emphasis made by the Construction Manager. The construction of the site, if approved would be built sometime within the next year. The site will be scheduled for a Planning Commission Hearing sometime in the near future, hopefully, June, 2011. If the project is approved, there is a 30 day appeal period following the Commission approval. Following this appeal period, Verizon will file for a building permit which will take approximately 3 months to complete. Finally, the site would be installed, which will require about 3 additional months to complete. Therefore, the site would likely be on the air early 2012 at the earliest.

Additional Informational Materials provided at the meeting:

2. Complete sets of the current Zoning drawings,
3. Photosimulations of the proposed facility showing before and after photosimulations,
4. Coverage maps detailing the before and after wireless coverage at the site and surrounding area,
5. Hammett and Edison report.

NOTICE OF NEIGHBORHOOD MEETING

To: All Neighbors and Owners within a 500 foot radius of 450 6th Avenue and 4141 Geary Boulevard San Francisco, CA 94118

Meeting Information
Date: Thursday, April 28th, 2011
Time: 7:00 P.M.
Where: Richmond/Senator Milton Marks Branch Library
351 Ninth Avenue
San Francisco, CA 94118

Site Information
Address: 450 6th Avenue and 4141 Geary Boulevard
San Francisco, CA 94118
Block/Lot: 1539/003
Zoning: RM1 and NC-3

Applicant
Verizon Wireless Corporation

Contact Information
Gabriella Barr
On Air, LLC
(650) 387 7016

Verizon Wireless is proposing a wireless communication facility at 450 6th Avenue and 4141 Geary Boulevard, San Francisco CA 94118. The proposed wireless site would be an unmanned facility consisting of 9 panel antennas flush mounted to the penthouse at roof level of an existing 5 story, publicly-used structure. All flush mounted antennas on the penthouse would be painted to match the existing building. All associated equipment would be placed on the rooftop of the building. This project will be scheduled for a Planning Commission Hearing subsequent to this neighborhood meeting.

You are invited and encouraged to attend the Community Outreach Meeting, to be held at the Richmond/Senator Milton Marks Branch Library, 351 Ninth Avenue, San Francisco, CA 94118 on Thursday, April 28th, 2011 at 7 P.M. to learn more about the project. Please note: This is not a Library Sponsored Program. Please use the public contact information provided below.

If you have any questions regarding the proposal and are unable to attend the meeting, please contact Gabriella Barr at (650) 387 7016. Please contact Sara Vellve, City of San Francisco Planning Department, at (415) 558 6263, should you have questions regarding the City of San Francisco Planning permit process.

NOTE: If you require an interpreter to be present at the meeting, please contact our office at (650) 387-7016 at your earliest convenience and we will make every effort to provide you with an interpreter.

AVISO DE REUNION EN EL VECINDARIO

A: Vecinos y propietarios dentro de un radio de 500 pies de 450 6th Avenue y 4141 Geary Boulevard San Francisco, CA 94118

Información acerca de la reunión

Fecha: jueves, 28 de abril de 2011
Hora: 7:00 de la tarde
Lugar: barrio Richmond, Biblioteca Sucursal Senador Milton Marks
351 9th Avenue
San Francisco, CA 94118

Información sobre el sitio

Dirección: 450 6th Avenue y 4141 Geary Boulevard
San Francisco, CA 94118
Cuadra/Lote: 1539/003
Zonificación: RM1 y NC-3

Solicitante

Verizon Wireless Corporation

Información de contacto

Gabriella Barr
On Air, LLC
(650) 387-7016

Verizon Wireless piensa situar una instalación de comunicaciones inalámbricas en 450 6th Avenue y 4141 Geary Boulevard, San Francisco CA 94118. El propuesto sitio inalámbrico sería una instalación sin tripulación y constaría de 9 antenas panel encastradas en el ático al nivel de la azotea de una construcción existente de 5 pisos, usada por el público. Todas las antenas encastradas en el ático serían pintadas para hacer juego con el edificio existente. Todo el equipo relacionado se instalaría en la azotea del edificio. Se programará una audiencia ante la Comisión de Planeación con posterioridad a esta reunión de la vecindad.

Se le invita y se le anima a asistir a la Reunión de Orientación Comunitaria, misma convocada en el barrio Richmond, Biblioteca Sucursal Senador Milton Marks (Senator Milton Marks Branch Library), 351 9th Avenue, San Francisco, CA 94118, el jueves, 28 de abril, 2011 a las 7 de la tarde para mayor información sobre el proyecto. Nota bene: Este no es un programa patrocinado por la biblioteca. Favor de usar la información de contacto público provista a continuación.

Si tiene alguna pregunta sobre la propuesta y no puede asistir a la reunión, sírvase comunicarse con Gabriella Barr al teléfono (650) 387-7016. Si tiene preguntas referentes al proceso de permisos de planeación de la ciudad de San Francisco, sírvase comunicarse con Sara Vellve, del Departamento de Planeación de la Ciudad de San Francisco, al teléfono (415) 575-9082.

NOTA: Si requiere la presencia de un intérprete en la reunión, por favor comuníquese cuanto antes con nuestra oficina al teléfono (916) 217-7513 y haremos todo lo posible para proporcionarle un intérprete.

社區會議通知

致: 加州三藩市 (郵編 94118) 第六街 450 號及 Geary 大道 4141 號五百英尺內的居民和業主

會議詳情

日期: 2011 年 4 月 28 日 (星期四)
時間: 晚上 7:00
地點: Richmond/Senator Milton Marks 圖書館
351 Ninth Avenue
San Francisco, CA 94118

設施地點資料

地址: 450 6th Avenue and 4141 Geary Boulevard
San Francisco, CA 94118
街段 / 地段: 1539/003
劃區: RM1 及 NC-3

申請公司

Verizon Wireless Corporation

聯絡人

Gabriella Barr
On Air, LLC
(650) 387 7016

Verizon Wireless 建議在加州三藩市 (郵編 94118) 第六街 450 號及 Geary 大道 4141 號設立無線電通訊設施。建議中的設施無須人手操作, 包括在現有五層樓高的公共結構屋頂閣樓對齊安裝九條天線, 所有天線將塗上與現有大樓一致的油漆。所有連帶設備將置於大樓屋頂。本計劃將於此社區諮詢會議後排期在規劃委員會聽證會 (Planning Commission Hearing) 上審核。

我們誠意邀請您出席將於 2011 年 4 月 28 日星期四晚上 7:00 在 Richmond/Senator Milton Marks 圖書館 (地址: 351 Ninth Avenue, San Francisco, CA 94118) 舉行的社區諮詢會議, 進一步了解本計劃。請注意: 此社區諮詢會議並非由圖書館主辦, 如欲查詢, 請使用下列聯絡資料。

若對上述建議有任何疑問, 但無法出席社區會議, 請致電 (650) 387 7016 與 Gabriella Barr 聯絡; 若對三藩市規劃許可程序有任何疑問, 請致電 (415) 558 6263 與三藩市規劃部 (City of San Francisco Planning Department) Sara Vellve 聯絡。

註: 如需翻譯人員在會上提供協助, 請即致電或 (650) 387 7016 與本辦事處聯絡, 我們會盡力為您安排翻譯服務。

Pre-Application Meeting Sign-in Sheet

Meeting Date: 4/28/11
 Meeting Time: 7 PM
 Meeting Address: 450 6th Avenue 4141 Geary SF 94118
 Project Address: Kaiser Foundation Hospital
 Property Owner Name: Gabriel Barr for Verizon Wireless
 Project Sponsor/Representative: Gabriel Barr for Verizon Wireless

Please print your name below, state your address and/or affiliation with a neighborhood group, and provide your phone number. Providing your name below does not represent support or opposition to the project; it is for documentation purposes only.

NAME/ORGANIZATION	ADDRESS	PHONE #	EMAIL	SEND PLANS
1. Angela's chicken center		386-0186	775 7TH AVE	Ca 94 118 <input checked="" type="checkbox"/>
2. Coo's child care		386-0184	777 7TH AVE	Ca 94 118 <input checked="" type="checkbox"/>
3.			Emill	<input type="checkbox"/>
4. Anna Kwong	650-12th AVE	387-5591		<input type="checkbox"/>
5. Jacqueline Goo		387-2898	jcoo021@gmail.com	<input checked="" type="checkbox"/>
6. Calvin Lee		751-5698		<input type="checkbox"/>
7. NITA Yee Lee		751-5698		<input type="checkbox"/>
8. DAN WONG		752-3286		<input type="checkbox"/>
9. SUZANNE TOK		752-3286		<input type="checkbox"/>
10. Man Fen Yu		387-3709		<input type="checkbox"/>
11. Sun H Lee		752-3428		<input type="checkbox"/>
12. Bile C. Lee		613-0058		<input type="checkbox"/>
13. Him. Coo		777 7TH AVE #1	518-2858	<input checked="" type="checkbox"/>
14. Sophia Coo		"	#2 251-3830	8-5998 <input checked="" type="checkbox"/>
15. Felicia Coo		"	#4	710-8362 <input type="checkbox"/>
16. Juk Ying Lau		752-4202		<input type="checkbox"/>
17. Hemant Singh		948-7283		<input type="checkbox"/>
18. SKORPIO +		415-577-2571		<input type="checkbox"/>
	SUSANNE floyd 351 5th Ave	415 751 4975		

agents: GABRIELLA BARR 9210 Cayente Drive Felton 650 387 7016
 Verizon Russ Bentson 925 279 6523 Russelle Bentson @ Comcast.net
 Verizon Tom Muller 925 279 6617 Thomas Muller @ Verizon Wireless.com
 RF Ray Mathur 707 996 5202 Mathur@h-e.com
 Hammer & Edison

COMMUNITY OUTREACH MEETING
Verizon Project: Geary WA
Date: Thursday, April 28th, 2011, 7:00 pm

	Name	Address	Email address	Phone number
1	MIMI LEE	679 6 th AVE. S.F., CA 94118		(415) 221-0159
2	譚彩珍	635 5 th AVE S.F., CA 94118		(415) 387-10154 387-0154
3	Raul Di Tora	528 BALBOA		415 751-9038
4	Binh Le Quat	612 6th AVE S.F CA 94118		(415) 386-2034
5	Tina ma	677 6th AVE S.F CA 94118		
6	object Henry Wang	420 5th Ave SF CA 94118	henrywang888@gmail.com	(415) 387-0598 (H)
7	object Guangqi Wang	420 5th Ave SF CA 94118	ggw999@gmail.com	(415) 387-2598
8	object Changi Li	420 5th Ave. SF. CA 94118	changli@gmail.com	(415) 387-0598
9	object Jenny Chiu	323 6th Ave SF. CA 94118	drjenny@hotmail.com	(415) 668-6789
10	object Donald Chiu	327 6th Ave. S.F. CA 94118	drdtchiu@hotmail.com	(415) 668-6789
11	MARY CHEN	681-6th AVE S.F CA 94118		(415) 750-0913
12	Yee LIAN CHANG	523-6th AVE S.F CA 94118		(415) 668-1065
13	Chun Wu.	618-6th AVE. S.F. CA 94118		876-1638
14	TING 2	528 BALBOA ST 94118		751-9038

Affidavit of Conducting a Pre-Application Meeting, Sign-in Sheet and Issues/Responses submittal

Gabriella BARR, do hereby declare as follows:

- I have conducted a Pre-Application Meeting for the proposed new construction or alteration prior to submitting any entitlement (Building Permit, Variance, Conditional Use, etc.) in accordance with Planning Commission Pre-Application Policy.
- The meeting was conducted at Teichman Senator Milton Marko (location/address) on 4/28/11 (date) from 2 PM (time). Branch Library
- I have included the mailing list, meeting initiation, sign-in sheet, issue/response summary, and reduced plans with the entitlement Application. I understand that I am responsible for the accuracy of this information and that erroneous information may lead to suspension or revocation of the permit.
- I have prepared these materials in good faith and to the best of my ability.

I declare under penalty of perjury under the laws of the State of California that the foregoing is true and correct.

EXECUTED ON THIS DAY, Thursday April 28, 20 11 IN SAN FRANCISCO.

Gabriella Barr
Signature

Gabriella BARR
Name (type or print)

Agent for applicant
Relationship to Project (e.g. Owner, Agent)
(If Agent, give business name & profession)

4141 Stearns 480 6th Avenue
Project Address

San Francisco Ca
94118



SAN FRANCISCO PLANNING DEPARTMENT

Wireless Telecommunications Services (WTS) Facilities

Section 106

Declaration of Intent to Comply

May 7, 2010

Wireless Telecommunication Services (WTS) Facilities subject to the WTS Guidelines and this declaration include antennas which both receive and transmit radio signals, telecommunications relay stations, or other similar structures which transmit voice, video or data.

Pursuant to Section 106 of the National Historic Preservation Act of 1966 the Federal Communications Commission (FCC) must take into account the effects of its proposed undertakings on historic properties. These undertakings typically include projects, activities, or programs that require a permit, a license, or approval from the FCC. The regulations that implement Section 106 (36 CFR Part 800) require the FCC to consult with the State Historic Preservation Officer (SHPO).

A Section 106 evaluation is required for all new WTS facilities proposed on any structure 45 years of age and older, within 250 feet of an eligible historic district, or a significant alteration to an existing site. Complying with Section 106 of the National Historic Preservation Act (NHPA) is a statutory obligation that is separate and distinct from complying with the National Environmental Policy Act (NEPA). For more information, please visit the California Office of Historic Preservation Website, http://ohp.parks.ca.gov/?page_id=22327.

I hereby declare on behalf of the service provider, identified below, that it intends to comply with Section 106 of the National Historic Preservation Act of 1966.

Gabriella Barr

Signature

Gabriella Barr

Name (Print)

450 6th Avenue # 4141 Clearing Blvd.

Project Address

San Francisco Ca

10/18/10

Date

Verizon Wireless

Service Provider

94118

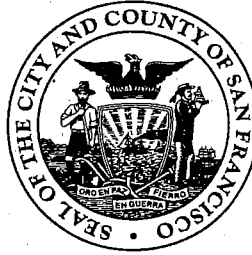
1650 Mission St.
Suite 400
San Francisco,
CA 94103-2479

Reception:
415.558.6378

Fax:
415.558.6409

Planning
Information:
415.558.6377

BOARD of SUPERVISORS



City Hall
1 Dr. Carlton B. Goodlett Place, Room 244
San Francisco 94102-4689
Tel. No. 554-5184
Fax No. 554-5163
TDD/TTY No. 554-5227

NOTICE OF PUBLIC HEARING

BOARD OF SUPERVISORS OF THE CITY AND COUNTY OF SAN FRANCISCO

NOTICE IS HEREBY GIVEN THAT the Board of Supervisors of the City and County of San Francisco will hold a public hearing to consider the following proposal and said public hearing will be held as follows, at which time all interested parties may attend and be heard:

Date: Tuesday, September 27, 2011


Time: 4:00 p.m.

Location: Room 416, 4th Floor located at City Hall, 1 Dr. Carlton B. Goodlett Place, San Francisco, CA 94102

Subject: File No. 110950. Hearing of persons interested in or objecting to the decision of the Planning Commission's July 28, 2011, Conditional Use Authorization identified as Planning Case No. 2010.0951C, by its Motion No. 18415, under Planning Code Sections 209.6(b) and 303, to install a wireless telecommunications facility consisting of nine panel antennas and related equipment on an existing mechanical penthouse on the roof of a five-story publicly used structure (Kaiser Hospital) as part of Verizon's wireless telecommunications network within the RM-1 (Mixed, Low Density) and NC-3 (Neighborhood Commercial, Moderate Scale) Zoning Districts, and a 80-E Height and Bulk District, on property located at 4141 Geary Boulevard/450 - 6th Avenue, Assessor's Block No. 1539, Lot No. 003. (District 1) (Filed by Sandra Fen Ng on behalf of the San Francisco Tomorrow and subscribed by Supervisors Mar, Avalos, Chiu, Kim, and Mirkarimi.)

Pursuant to Government Code Section 65009, notice is hereby given, if you challenge, in court, the matter described above, you may be limited to raising only those issues you or someone else raised at the public hearing described in this notice, or in written correspondence delivered to the Board of Supervisors at, or prior to, the public hearing.

In accordance with Section 67.7-1 of the San Francisco Administrative Code, persons who are unable to attend the hearing on these matters may submit written comments to the City prior to the time the hearing begins. These comments will be made a part of the official public records in these matters, and shall be brought to the attention of the Board of Supervisors. Written comments should be addressed to Angela Calvillo, Clerk of the Board, Room 244, City Hall, 1 Dr. Carlton B. Goodlett Place, San Francisco, CA 94102. Information relating to this matter is available in the Office of the Clerk of the Board and agenda information will be available for public review on Thursday, September 22, 2011.



Angela Calvillo
Clerk of the Board

DATED/POSTED/MAILED: September 16, 2011

