

GENERAL NOTES

- THE CONTRACTOR AGREES THAT, IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. THE CONTRACTOR FURTHER AGREES TO DEFEND, INDEMNIFY AND HOLD OWNER AND ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXEMPTING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE ENGINEER.
- EXCAVATIONS SHALL BE ADEQUATELY SHORED, BRACED AND SHEETED SO THAT THE EARTH WILL NOT SLIDE OR SETTLE AND SO THAT ALL EXISTING IMPROVEMENTS OF ANY KIND WILL BE FULLY PROTECTED FROM DAMAGE. ANY DAMAGE RESULTING FROM A LACK OF ADEQUATE SHORING, BRACING AND SHEETING, SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND HE SHALL EFFECT NECESSARY REPAIRS OR RECONSTRUCTION AT HIS OWN EXPENSE. WHERE THE EXCAVATION FOR A CONDUIT TRENCH, AND/OR STRUCTURE IS FIVE FEET OR MORE IN DEPTH, THE CONTRACTOR SHALL PROVIDE ADEQUATE SHEETING, SHORING AND BRACING OR EQUIVALENT METHOD, FOR THE PROTECTION OF LIFE, OR LIMB, WHICH SHALL CONFORM TO THE APPLICABLE CONSTRUCTION SAFETY ORDERS OF THE DIVISION OF INDUSTRIAL SAFETY OF THE STATE OF CALIFORNIA, THE CONTRACTOR SHALL ALWAYS COMPLY WITH OSHA REQUIREMENTS.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN PERMITS NECESSARY TO PERFORM THE WORK SHOWN IN THESE PLANS FROM THE APPROPRIATE AGENCIES.
- THE CONTRACTOR SHALL TAKE EFFECTIVE ACTION TO PREVENT THE FORMATION OF AN AIRBORNE DUST NUISANCE AND SHALL BE RESPONSIBLE FOR ANY DAMAGE RESULTING FROM HIS FAILURE TO DO SO.
- THE CONTRACTOR SHALL PROVIDE FOR INGRESS AND EGRESS FOR PRIVATE PROPERTY ADJACENT TO WORK THROUGHOUT THE PERIOD OF CONSTRUCTION.
- THE CONTRACTOR SHALL PROVIDE ALL LIGHTS, SIGNS, BARRICADES, FLAGGERS OR OTHER DEVICES NECESSARY TO PROVIDE FOR SAFETY.
- THE CONTRACTOR SHALL POST EMERGENCY TELEPHONE NUMBERS FOR POLICE, FIRE, AMBULANCE, AND THOSE AGENCIES RESPONSIBLE FOR MAINTENANCE OF UTILITIES IN THE VICINITY OF JOB SITE.
- ALL QUANTITIES AND PAY ITEMS ARE BASED ON HORIZONTAL MEASUREMENTS.
- LENGTHS OF SANITARY SEWERS AND STORM DRAINS ARE HORIZONTAL DISTANCES FROM CENTER TO CENTER OF STRUCTURES, ROUNDED OFF TO THE NEAREST FOOT.
- EXISTING UNDERGROUND UTILITIES AND IMPROVEMENTS ARE SHOWN IN THEIR APPROXIMATE LOCATIONS BASED UPON RECORD INFORMATION AVAILABLE TO THE ENGINEER AT THE TIME OF PREPARATION OF THESE PLANS. LOCATIONS MAY NOT HAVE BEEN VERIFIED IN THE FIELD AND NO GUARANTEE IS MADE AS TO THE ACCURACY OR COMPLETENESS OF THE INFORMATION SHOWN. THE CONTRACTOR SHALL NOTIFY UTILITY COMPANIES AT LEAST THREE (3) WORKING DAYS IN ADVANCE OF CONSTRUCTION TO FIELD LOCATE UTILITIES. CALL UNDERGROUND SERVICE ALERT (U.S.A.), AT (800) 227-2600. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXISTENCE AND LOCATION OF THOSE UTILITIES SHOWN ON THESE PLANS OR INDICATED IN THE FIELD BY LOCATING SERVICES. ADDITIONAL COSTS INCURRED AS A RESULT OF CONTRACTOR'S FAILURE TO VERIFY LOCATIONS OF EXISTING UTILITIES PRIOR TO BEGINNING OF CONSTRUCTION IN THEIR VICINITY SHALL BE BORNE BY THE CONTRACTOR AND ASSUMED INCLUDED AND MERGED IN THE CONTRACT UNIT PRICE.
- THE CONSTRUCTION OF ALL GRAVITY UNDERGROUND LINES (SANITARY SEWERS AND STORM DRAIN LINES) SHALL BEGIN AT THE MOST DOWNSTREAM END UNLESS OTHERWISE SPECIFICALLY APPROVED BY THE ENGINEER.
- ALL EXISTING UTILITIES AND IMPROVEMENTS THAT BECOME DAMAGED DURING CONSTRUCTION SHALL BE COMPLETELY RESTORED TO THE SATISFACTION OF THE LOCAL AGENCY ENGINEER, AT THE CONTRACTOR'S SOLE EXPENSE.
- ANY RELOCATION OF PUBLIC UTILITIES SHALL BE CONDUCTED IN ACCORDANCE WITH ANY AND ALL REQUIREMENTS OF THE UTILITY COMPANY INCLUDING FEES, BONDS, PERMITS AND WORKING CONDITIONS, ETC. THIS WORK SHALL BE DONE AT NO EXPENSE TO THE UTILITY COMPANY. THE OWNER SHALL PAY THE COST OF ALL SUCH RELOCATION WORK INCLUDING FEES, BONDS, PERMITS, ETC.
- IF ARCHEOLOGICAL MATERIALS ARE UNCOVERED DURING GRADING, TRENCHING OR OTHER EXCAVATION, EARTHWORK WITHIN 100 FEET OF THESE MATERIALS SHALL BE STOPPED UNTIL A PROFESSIONAL ARCHAEOLOGIST WHO IS CERTIFIED BY THE SOCIETY OF CALIFORNIA ARCHAEOLOGY (SCA) AND/OR THE SOCIETY OF PROFESSIONAL ARCHAEOLOGY (SOPA) HAS HAD AN OPPORTUNITY TO EVALUATE THE SIGNIFICANCE OF THE FIND AND SUGGEST APPROPRIATE MITIGATION MEASURES, IF THEY ARE DEEMED NECESSARY.
- SHOULD IT APPEAR THAT THE WORK TO BE DONE OR ANY MATTER RELATIVE THERETO IS NOT SUFFICIENTLY DETAILED OR EXPLAINED ON THESE PLANS, THE CONTRACTOR SHALL CONTACT THE ENGINEER FOR SUCH FURTHER (415) 777-2166 FOR SUCH FURTHER EXPLANATIONS AS MAY BE NECESSARY.

PROJECT NOTES

- OWNER: AVALON BAY COMMUNITIES
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CONTACT: MEG SPRIGGS
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- ARCHITECT: PYATOK ARCHITECTS, INC.
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CONTACTS: PETER WALLER, PRINCIPAL
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FAX: (510) 465-8575
EMAIL: pwaller@pyatok.com, asteichen@pyatok.com
- CITY & COUNTY: CITY AND COUNTY OF SAN FRANCISCO
- SANITARY SEWER: CITY AND COUNTY OF SAN FRANCISCO
- WATER: CITY AND COUNTY OF SAN FRANCISCO
- GAS & ELECTRICAL: PG&E
- TELEPHONE SERVICE: AT&T
- CABLE TV: COMCAST /AT&T
- BENCHMARK: LETTER "O" IN "OPEN" TOP OF HIGH PRESSURE FIRE HYDRANT AT THE NORTHWEST CORNER OF OAK & LAGUNA STREETS. ELEVATION = 88.24 FEET, CITY OF SAN FRANCISCO DATUM.
- ALL APPLICABLE IMPROVEMENTS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PROVISIONS OF THE CURRENT CITY OF SAN FRANCISCO ORDINANCE CODES, CALTRANS STANDARD SPECIFICATIONS, AND CITY OF SAN FRANCISCO STANDARD PLANS. ALL IMPROVEMENTS ARE SUBJECT TO INSPECTION AND APPROVAL BY THE CITY OF SAN FRANCISCO PUBLIC WORKS DEPARTMENT. CONTRACTOR SHALL CONTACT COUNTY AT LEAST TWO (2) WORKING DAYS PRIOR TO THE START OF ANY WORK TO ARRANGE FOR INSPECTION.
- ALL NEW UTILITY DISTRIBUTION SERVICES SHALL BE PLACED UNDERGROUND.
- PRIOR TO PLACING CURB, SIDEWALK, ASPHALT CONCRETE, SUBBASE, OR BASE MATERIAL, ALL UNDERGROUND FACILITIES WITHIN THE RIGHT-OF-WAY SHALL BE INSTALLED, BACKFILL COMPLETED, AND THE PUBLIC WORKS DEPARTMENT'S CONSTRUCTION DIVISION NOTIFIED BY EACH OF THE UTILITY COMPANIES HAVING FACILITIES WITHIN THE WORK AREA, THAT THE UTILITY INSTALLATION HAS SATISFACTORILY PASSED ACCEPTANCE TESTS.
- IF DURING CONSTRUCTION, ARCHAEOLOGICAL REMAINS ARE ENCOUNTERED, CONSTRUCTION IN THE VICINITY SHALL BE HALTED, AN ARCHAEOLOGIST CONSULTED, AND THE CITY PLANNING DEPARTMENT NOTIFIED. IF, IN THE OPINION OF THE ARCHAEOLOGIST, THE REMAINS ARE SIGNIFICANT, MEASURES AS MAY BE REQUIRED BY THE PUBLIC WORKS DIRECTOR, SHALL BE TAKEN TO PROTECT THEM.
- A CALIFORNIA DIVISION OF OCCUPATIONAL SAFETY AND HEALTH (CALOSHA) PERMIT SHALL BE OBTAINED FOR TRENCHES FIVE FEET OR GREATER IN DEPTH. A COPY OF THIS PERMIT SHALL BE SUPPLIED TO THE PUBLIC WORKS DEPARTMENT. AN ADDITIONAL COPY SHALL BE KEPT AT THE JOB SITE AT ALL TIMES.
- THE CONTRACTOR SHALL NOT DESTROY ANY PERMANENT SURVEY POINTS WITHOUT THE CONSENT OF THE CITY ENGINEER. ANY PERMANENT MONUMENTS OR POINTS DESTROYED SHALL BE REPLACED BY A REGISTERED CIVIL ENGINEER OR LICENSED LAND SURVEYOR IN THE STATE OF CALIFORNIA AT THE CONTRACTOR'S EXPENSE.
- THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY FIELD CHANGES MADE WITHOUT WRITTEN AUTHORIZATION FROM THE PUBLIC WORKS DIRECTOR AND/OR THE CIVIL ENGINEER. ALL REVISIONS TO THESE PLANS MUST BE REVIEWED BY THE PUBLIC WORKS DEPARTMENT PRIOR TO CONSTRUCTION AND SHALL BE ACCURATELY SHOWN ON REVISED PLANS SIGNED BY THE PUBLIC WORKS DIRECTOR.
- THE CONTRACTOR SHALL PROVIDE TO THE CIVIL ENGINEER A REDLINED COPY OF "AS-BUILT" PLANS FOR PREPARATION OF RECORD DRAWINGS.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO IMMEDIATELY NOTIFY THE CIVIL ENGINEER UPON DISCOVERY OF ANY FIELD CONFLICTS.
- ANY DEVIATIONS OR CHANGES IN THESE PLANS WITHOUT OFFICIAL APPROVAL OF THE CIVIL ENGINEER SHALL ABSOLVE THE CIVIL ENGINEER OF ANY AND ALL RESPONSIBILITY OF SAID DEVIATION OR CHANGE.
- PRIOR TO MOVING ANY MATERIAL TO OR FROM THE SITE, THE CONTRACTOR SHALL OBTAIN APPROVAL FOR HAUL ROUTE FROM THE CITY PUBLIC WORKS DIRECTOR.
- WHERE ABANDONED UNDERGROUND STRUCTURES ARE ENCOUNTERED, THE CONTRACTOR SHALL REMOVE THE ABANDONED STRUCTURES TO SUFFICIENT DEPTH TO ALLOW NEW UNDERGROUND LINES TO CROSS. THE CITY ENGINEER MAY REQUIRE FURTHER WORK TO BE DONE AFTER A VISUAL INSPECTION.
- ALL CONSTRUCTION ACTIVITIES SHALL BE PERFORMED IN CONFORMANCE WITH THE APPROVED STORM WATER POLLUTION PREVENTION PLAN FOR THIS PROJECT AND AS REQUIRED BY THE STATE OF CALIFORNIA WATER RESOURCES CONTROL BOARD.
- ALL MANHOLES & VALVE BOXES SHALL BE ADJUSTED TO NEW FINISHED GRADE AFTER FINAL PAVING.
- PRIOR TO THE START OF CONSTRUCTION, THE DEVELOPER AND/OR CONTRACTOR SHALL CONTACT THE CITY'S PUBLIC WORKS DEPARTMENT AND REQUEST A PRECONSTRUCTION CONFERENCE.
- THE CONTRACTOR SHALL PROVIDE DUST CONTROL FOR THE ENTIRE PROJECT AT ALL TIMES. THE SITE SHALL BE SPRINKLED AS NECESSARY TO PREVENT DUST NUISANCE. IN THE EVENT THE CONTRACTOR NEGLECTS TO USE ADEQUATE MEASURES TO CONTROL DUST, THE CITY RESERVES THE RIGHT TO TAKE WHATEVER MEASURES ARE NECESSARY TO CONTROL DUST AND CHARGE THE COST TO THE CONTRACTOR.
- DURING THE CONSTRUCTION, THE PUBLIC STREETS SHALL BE CLEANED AS OFTEN AS REQUIRED TO REMOVE ANY ACCUMULATION OF MUD AND DEBRIS RESULTING FROM THIS CONSTRUCTION IF IMPORT OR EXPORT OF DIRT IS NECESSARY.
- TRENCHES SHALL NOT BE LEFT OPEN OVERNIGHT IN PUBLIC STREET AREAS. THE CONTRACTOR SHALL BACKFILL TRENCHES, OR PLACE STEEL PLATING AND/OR HOT-MIX ASPHALT AS REQUIRED TO PROTECT OPEN TRENCHES AT THE END OF EVERY WORK DAY.
- THE CONTRACTOR SHALL DESIGN, CONSTRUCT AND MAINTAIN ALL SAFETY DEVICES, INCLUDING SHORING, AND SHALL BE RESPONSIBLE FOR CONFORMANCE TO ALL LOCAL, STATE AND FEDERAL SAFETY AND HEALTH STANDARD, LAWS AND REGULATIONS.

- ALL CONSTRUCTION ACTIVITIES ON THE PROJECT SITE SHALL BE LIMITED TO 7 A.M. TO 6 P.M., MONDAY THROUGH FRIDAY, UNLESS ALTERNATIVE HOURS ARE APPROVED BY THE DIRECTOR OF PUBLIC WORKS. CONSTRUCTION EQUIPMENT, INCLUDING COMPRESSORS, GENERATORS, AND MOBILE EQUIPMENT, SHALL BE FITTED WITH PROPERLY WORKING MUFFLERS.
- DEWATERING MAY BE REQUIRED FOR CONSTRUCTION OF UNDERGROUND UTILITIES. IN ADDITION, THE BOTTOMS OF UTILITY TRENCHES MAY BECOME UNSTABLE AS A RESULT OF GROUNDWATER INTRUSION. THE CONTRACTOR SHALL PROVIDE DEWATERING AS NECESSARY, AND OVER-EXCAVATE AND BACKFILL UNSTABLE TRENCH BOTTOMS WITH ROCKS PRIOR TO INSTALLING THE UTILITY LINES.
- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE REQUIREMENTS AND RECOMMENDATIONS CONTAINED IN THE GEOTECHNICAL INVESTIGATION REPORT FOR PROJECT NO. 750512002, DATED MAY 23, 2011, AND PREPARED BY TREADWELL & ROLLO.

CONCRETE

- CONCRETE FLAT WORK SHALL COMPLY WITH THE CITY SAN FRANCISCO SPECIFICATIONS AND STANDARDS. CURB AND GUTTER/PARKING STRIP SHALL BE CONSTRUCTED PER CITY OF SAN FRANCISCO STANDARD PLAN FILE NO. 87,170. SIDEWALKS SHALL BE CONSTRUCTED PER CITY OF SAN FRANCISCO STANDARD PLAN FILE NO. 87,173.

EROSION CONTROL PLAN

- EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ALL FORECASTED RAIN EVENTS AND SHALL BE MAINTAINED DAILY AS REQUIRED TO CONTROL AND CONTAIN EROSION CAUSED SILT DEPOSITS AND PROVIDE FOR THE SAFE DISCHARGE OF SILT-FREE WATER INTO STORM RAIN FACILITIES. DESIGN OF THESE MEASURES MUST BE APPROVED/UPDATED EACH YEAR PRIOR TO SEPTEMBER 30.
- SEE EROSION CONTROL PLAN FOR ADDITIONAL REQUIREMENTS.

SANITARY, STORM, AND COMBINED SEWER

- ALL CONSTRUCTION MATERIAL AND METHODS SHALL COMPLY WITH THE CITY OF SAN FRANCISCO SPECIFICATIONS AND STANDARDS.
- SEWER LATERALS SHALL BE AT THE LOCATIONS SHOWN ON THE PLANS AND PER CITY OF SAN FRANCISCO STANDARD PLANS, FILE NUMBERS 87,196 AND 87,197, UNLESS OTHERWISE NOTED ON THE PLANS.
- STORM WATER INLETS SHALL BE PER CITY OF SAN FRANCISCO STANDARD PLANS, FILE NUMBERS 87,187, 87,189 87,193, AND 87,194.
- IF DAMAGED DURING CONSTRUCTION, ANY EXISTING SEWER PIPELINES OR STRUCTURES THAT ARE TO REMAIN AFTER DEVELOPMENT SHALL BE REPLACED TO THE SATISFACTION OF THE CITY OF SAN FRANCISCO DEPARTMENT OF PUBLIC WORKS.
- NO ASPHALT PAVING SHALL BE PLACED UNTIL THE NEW SEWER LINES ARE COMPLETED AND ACCEPTED BY THE CITY OF SAN FRANCISCO DEPARTMENT OF PUBLIC WORKS.

WATER SYSTEM

- NEW WATER SERVICES SHALL BE INSTALLED BY THE SAN FRANCISCO WATER DEPARTMENT (SFWD) FROM THE EXISTING MAIN UP TO AND INCLUDING THE INSTALLATION OF THE NEW WATER METER, INCLUDING EXCAVATION AND PAVEMENT RESTORATION. THE CONTRACTOR SHALL INSTALL THE WATER LINE FROM THE WATER METER TO THE BUILDING.

FIRE DEPARTMENT REQUIREMENTS

- FIRE LANES SHALL NOT BE OBSTRUCTED IN ANY MANNER, INCLUDING PARKING. PARKING IS ONLY PERMITTED OUTSIDE OF FIRE ACCESS AREAS AND WHEN CLEARLY DESIGNATED AND APPROVED ON THE PLANS.
- FIRE LANE POSTING SHALL BE FIELD COORDINATED WITH THE FIRE DEPARTMENT.
- A MINIMUM 18-INCH VERTICAL CLEARANCE SHALL BE MAINTAINED FROM THE HYDRANT STEMS TO THE TOP OF SIDEWALK, TOP OF CURB AND GRADE.
- A MINIMUM 3-FOOT CLEARANCE SHALL BE PROVIDED AROUND THE SIDE AND REAR OF FIRE HYDRANTS. NO PARKING OR OTHER OBSTRUCTIONS SHALL BE PERMITTED ALONG THE ACCESS ROAD FRONTING THE HYDRANT, FOR A DISTANCE OF 15-FOOT IN EACH DIRECTION.
- PRIOR TO CITY OF SAN FRANCISCO FINAL ACCEPTANCE, FIELD INSPECTION AND APPROVAL IS REQUIRED BY THE FIRE DEPARTMENT. CONTRACTOR SHALL CONTACT SAN FRANCISCO TO SCHEDULE AN INSPECTION.
- CONTRACTOR SHALL COMPLY WITH THE FOLLOWING FIRE REQUIREMENTS PRIOR TO AND DURING CONSTRUCTION:
 - ARTICLE 87 OF THE CALIFORNIA FIRE CODE CONCERNING FIRE SAFETY DURING CONSTRUCTION SHALL BE ABIDED BY. A COPY OF SUCH, ALONG WITH ANY REQUIRED SAFETY PLANS, SHALL BE MAINTAINED AT THE JOB SITE.
 - AN APPROVED MEANS FOR REPORTING EMERGENCIES SHALL BE PROVIDED AT THE JOB SITE.
 - A MINIMUM OF ONE 2A 20BC FIRE EXTINGUISHER SHALL BE MAINTAINED WITHIN 75-FOOT OF TRAVEL DISTANCE FROM ANY PORTION OF THE BUILDING BEING CONSTRUCTED. FIRE EXTINGUISHERS SHALL BE ON THE SAME LEVEL AND WITHIN 30-FOOT OF HAZARDOUS OPERATIONS. SEE FIRE CODE FOR ADDITIONAL REQUIREMENTS.

EXISTING:

	ELECTROLIER
	ELECTROLIER W/(2) RISERS
	ELECTROLIER & TRAFFIC SIGNAL
	ELECTROLIER & NO PARKING SIGN
	ELECTROLIER & STREET SIGN
	ELECTROLIER W/ STREET SIGN & NO PARKING SIGN
	ELECTROLIER & PEDESTRIAN/VEHICULAR TRAFFIC SIGNALS
	PEDESTRIAN/VEHICULAR TRAFFIC SIGNALS
	JOINT POLE
	WATER METER
	WATER RISER
	WATER VALVE
	IRRIGATION BOX
	HIGH PRESSURE WATER VALVE
	LOW PRESSURE FIRE HYDRANT
	HIGH PRESSURE FIRE HYDRANT
	CATCH BASIN
	CATCH BASIN
	DRAIN
	SEWER CLEANOUT
	SEWER VENT
	SEWER MANHOLE
	GAS VALVE
	ELECTRIC MANHOLE
	ELECTRIC PULLBOX
	HIGH VOLTAGE ELECTRIC VAULT
	TELEVISION PULLBOX
	STREET LIGHT PULLBOX
	"RLC" PULLBOX
	TRAFFIC SIGNAL PULLBOX
	TRAFFIC SIGNAL CONTROL BOX, 8' HIGH
	BACK OF WALK
	CURB CATCH BASIN
	POLE, 12'± HIGH
	UNKNOWN MANHOLE
	UNKNOWN ABANDONED POINT PULLBOX
	UNKNOWN PULLBOX
	UNKNOWN BOX, 4' HIGH
	TREE
	DEAD TREE
	TWIN TREES
	TREE CLUSTER
	TREE PIT W/TREE
	TREE PIT (NO TREE)
	BOLLARD
	MONITORING WELL
	NO PARKING SIGN
	TRAFFIC SIGN
	OVERHEAD ELECTRIC WIRE
	OVERHEAD TELEVISION WIRES
	OVERHEAD ELECTRIC & TELEVISION WIRES
	SEWER LINE (PER RECORD)
	ELECTRIC LINE
	GAS LINE
	HIGH PRESSURE GAS LINE
	SEWER LINE
	STREET LIGHT LINE
	TELEPHONE LINE
	TRAFFIC SIGNAL LINE
	WATER LINE
	HIGH PRESSURE WATER LINE
	DUCT
	INVERT
	PIPE
	FINISH FLOOR
	FINISH GRADE
	FIRE HYDRANT
	FLOW LINE
	FINISH SURFACE FEET
	GUTTER
	GAGE
	GALVANIZED GRADE BREAK
	GROUND
	HIGH DENSITY POLYETHYLENE HANDICAP RAMP
	INSIDE DIAMETER INCHES
	INVERT
	JUNCTION BOX
	JOINT POLE
	JOINT TRENCH
	LENGTH LATERAL
	LINEAR FEET
	LIGHT POLE
	LEFT

CIVIL SYMBOLS

PROPOSED:

	NEW STREET LIGHT (SINGLE ARM)
	TRAFFIC SIGNAL
	CATCH BASIN
	SEWER FRESH AIR VENT
	WATER METER
	STREET LIGHT PULLBOX
	TRAFFIC SIGNAL PULLBOX
	GAS METER
	SPOT ELEVATION

CIVIL ABBREVIATIONS & SYMBOLS NOTES

- LISTING OF ABBREVIATIONS AND SYMBOLS DOES NOT IMPLY ALL ABBREVIATIONS ARE USED IN THE CONTRACT DRAWINGS.
- SCREENING OR SHADING OF WORK IS USED TO INDICATE EXISTING COMPONENTS OR TO DE-EMPHASIZE PROPOSED IMPROVEMENTS TO HIGHLIGHT SELECTED TRADE WORK. REFER TO CONTEXT OF EACH DRAWING FOR USAGE.
- HEAVY LINES AND SYMBOLS INDICATE WORK TO BE DONE BY THE CONTRACTOR. LIGHT LINES AND SYMBOLS INDICATE EXISTING FEATURES OR WORK TO BE DONE BY ANOTHER ENTITY.
- LEGEND SHEETS ARE PROVIDED FOR EACH DISCIPLINE. SYMBOLS AND ABBREVIATIONS MAY NOT BE CONSISTENT BETWEEN DIFFERENT DISCIPLINES. USE THE APPROPRIATE LEGEND SHEET WITH THE CORRESPONDING DISCIPLINE DRAWINGS.

CIVIL ABBREVIATIONS & SYMBOLS NOTES:

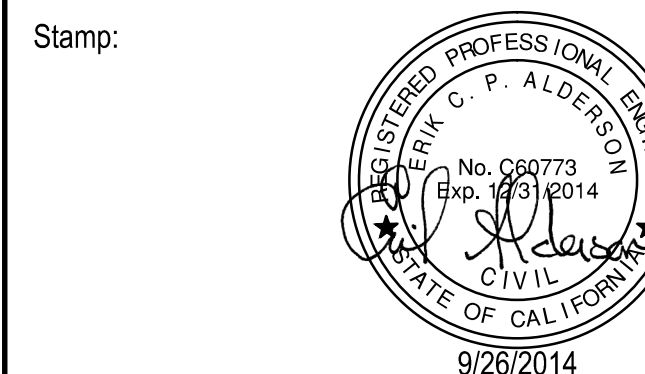
AB	AGGREGATE BASE	MAX	MAXIMUM
AC	ASPHALTIC CONCRETE	MIN	MINIMUM
ACP	ASBESTOS CEMENT PIPE	MISC	MISCELLANEOUS
AD	AREA DRAIN	MH	MANHOLE
APPROX	APPROXIMATELY	N/A	NOT APPLICABLE
ASB	AGGREGATE SUB-BASE	NGVD	NATIONAL GEODETIC VERTICAL DATUM
ASPH	ASPHALTIC CONCRETE		
AVG	AVERAGE		
BC	BEGIN CURVE	NIC	NOT IN CONTRACT
BLDG	BUILDING	NTS	NOT TO SCALE
BM	BENCH MARK	OD	OUTSIDE DIAMETER
BVC	BEGIN VERTICAL CURVE	OV	OUTSIDE PROPERTY LINE
BYCE	BEGIN ELEVATION CURVE	PA	PLANTED AREA
	ELEVATION	PCC	PORTLAND CEMENT CONCRETE
BVCS	BEGIN VERTICAL CURVE STATION	PED	PEDESTRIAN
BW	BACK OF WALK	PH	POTHOLE (UTILITY WAS POTHOLED)
C	CURB	POC	POINT OF CONNECTION
CB	CATCH BASIN	PUE	PUBLIC UTILITY
C&G	CURB & GUTTER		
CI	CAST IRON		
CL	CENTERLINE	PVC	POLYVINYL CHLORIDE
CLR	CLEAR OF PROPERTY LINE	PVI	POINT OF VERTICAL INFLECTION
CMP	CORRUGATED METAL PIPE	R	RADIUS
CO	CLEANOUT	RC	REINFORCED CONCRETE
CONC	CONCRETE	RCP	REINFORCED CONCRETE PIPE
CONST	CONSTRUCTION	REQD	REQUIRED
CONT	CONTINUOUS	RT	RIGHT
CS	COMBINED SEWER	R/W	RIGHT OF WAY
CY	CUBIC YARD	RET WALL	RETAINING WALL
DET	DETAIL	SCH	SCHEDULE
DI	DRAINAGE INLET	SD	STORM DRAIN
DIA	DIAMETER	SDMH	STORM DRAIN MANHOLE
DIM	DIMENSION	SF	SAN FRANCISCO
D/W	DRIVEWAY	SHT	SHEET
(E)	EXISTING	SL	STREET LIGHT
EA	EACH	SPEC	SPECIFICATIONS
EC	END CURVE	SS	SANITARY SEWER
ELEV	ELEVATION	SSMH	SANITARY SEWER MANHOLE
ELEC	ELECTRIC	STA	STATION
EP	EDGE OF PAVEMENT	STD	STANDARD
ET	ET CETERA	STL	STEEL
EG	EXISTING GROUND	S/W	SIDEWALK
EVCE	END VERTICAL CURVE ELEVATION	T	TELEPHONE
EVCS	END VERTICAL CURVE STATION	TC	TOP OF CURB
FF	FINISH FLOOR	TD	TRENCH DRAIN
FG	FINISH GRADE	TEL	TELEPHONE
FH	FIRE HYDRANT	TEMP	TEMPORARY
FL	FLOW LINE	TP	TOP OF PAVEMENT
FS	FINISH SURFACE	TS	TRAFFIC SIGNAL
FT	FEET	TYP	TYPICAL
G	GUTTER	TW	TOP WALL
GA	GAGE	UNO	UNLESS NOTED OTHERWISE
GALV	GALVANIZED	UTL	COMMON TRENCH UTILITIES
GB	GRADE BREAK		
GRD	GROUND	VAR	VARIES
HDPE	HIGH DENSITY POLYETHYLENE	VC	VERTICAL CURVE
HR	HANDICAP RAMP	VERT	VERTICAL
ID	INSIDE DIAMETER	W	WATER
IN	INCHES	WL	WATER LINE
INV	INVERT	WV	WATER VALVE
JB	JUNCTION BOX	W/O	WITHOUT
JP	JOINT POLE		
JT	JOINT TRENCH		
L	LENGTH		
LAT	LATERAL		
LF	LINEAR FEET		
LP	LIGHT POLE		
LT	LEFT		



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AVALON HAYES VALLEY PARCEL P

SITE PERMIT SET	10/03/2012
STREET IMPROVEMENT SUBMITTAL	11/01/2012
DESIGN DEVELOPMENT PRICING SET	11/29/2012
DESIGN DEVELOPMENT FINAL SET	01/15/2013
SITE PERMIT RESUBMITTAL	01/28/2013
50% CD SET	02/15/2013
MAJOR ENCROACHMENT PERMIT	02/15/2013
SITE PERMIT ADDENDUM #1	03/01/2013
SITE PERMIT ADDENDUM #2	03/25/2013
SITE PERMIT ADDENDUM #3	04/12/2013
GMP / 90% CD SET	04/18/2013
BID ADDENDUM #1	04/26/2013
CIVIL ADDENDUM	06/28/2013
SF WATER PERMIT	07/18/2013
SEWER, WATER, & JT REV.	09/06/2013
OAK STREET REVISIONS	03/24/2014
GRADING CORRECTIONS	04/08/2014
SFPDW COMMENTS REV.	07/18/2014
LAGUNA ST. REVISIONS	09/09/2014
SFPUC COMMENTS REV.	09/24/2014



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Job Number: 1018
Drawn by: EA
Checked by: KL
Date: SEPT. 9, 2014
Scale: AS SHOWN

Title
CIVIL LEGEND ABBREVIATIONS AND GENERAL NOTES

Sheet

C0.1

GRADING CONSTRUCTION NOTES:

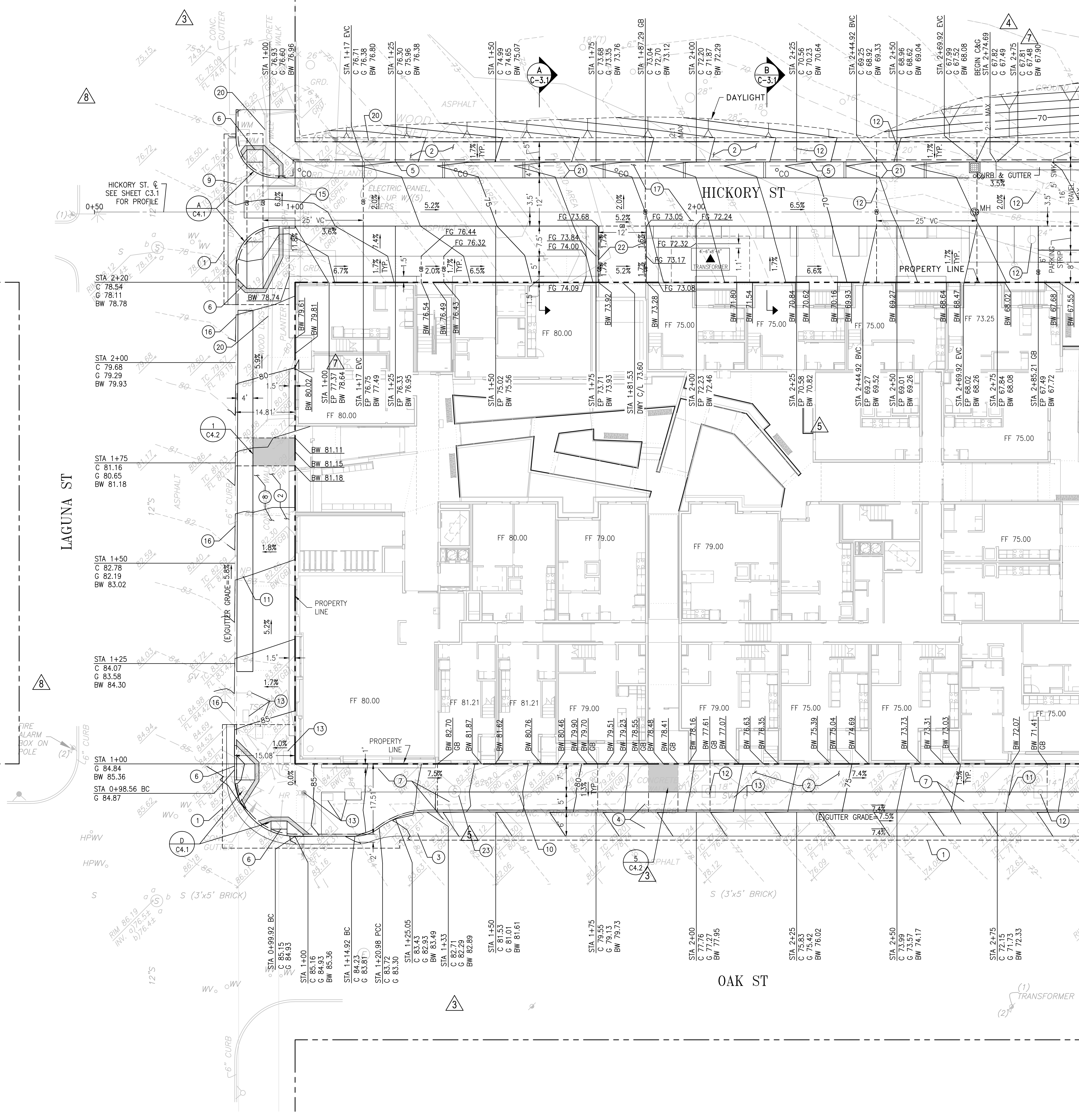
- SAWCUT EXISTING PAVEMENT & CONFORM TO EXISTING GRADES.
- NEW CONCRETE SIDEWALK PER PROJECT LANDSCAPE PLAN & CITY STANDARD PLAN, FILE NUMBER 87,173.
- NEW "COMBINED 6-INCH CONCRETE CURB AND GUTTER" PER CITY STANDARD PLAN, FILE NUMBERS 87,170 & 87,173.
- NEW "COMBINED 6-INCH CONCRETE CURB AND PARKING STRIP" PER CITY STANDARD PLAN, FILE NO. 87,170.
- NEW CONCRETE CURB, HEIGHT VARIES, PER CITY STANDARD PLAN, FILE NUMBERS 87,169 & 87,173.
- NEW CONCRETE CURB RAMP WITH DETECTABLE SURFACE. SEE RAMP DETAILS, SHEET C4.1, AND CITY STANDARD PLANS CR-1 & CR-2.
- REMOVE EXISTING SIDEWALK, CURB AND GUTTER/PARKING STRIP.
- REMOVE EXISTING SIDEWALK ONLY, EXISTING CURB TO REMAIN.
- REMOVE EXISTING DRIVEWAY AND GUTTER/PARKING STRIP.
- REMOVE EXISTING STREET SIGNS.
- REMOVE STREET SIGNS AND BOLLARDS WHILE CONSTRUCTING SIDEWALK AND RETURN TO ORIGINAL LOCATION AFTER CONSTRUCTION.
- REMOVE EXISTING TREE, SEE LANDSCAPE PLAN.
- PROTECT STREET LIGHTS, TRAFFIC SIGNAL BOXES/POLES, FIRE HYDRANTS, CLENOUTS, WATER VALVES, SEWER VENTS, AND MANHOLE COVERS IN PLACE. RIMS AND COVERS OF EXISTING UTILITIES STRUCTURES TO BE ADJUSTED TO NEW GRADE. SEE UTILITY PLAN.
- RELOCATE EXISTING UTILITY STRUCTURE, SEE UTILITY PLAN.
- REMOVE EXISTING FENCE.
- EXISTING CONCRETE CURB TO REMAIN, PROTECT IN PLACE.
- REMOVE EXISTING PAVEMENT & BASE AND CONSTRUCT NEW CONCRETE ROADWAY. SEE LANDSCAPE PLANS FOR CONSTRUCTION OF HICKORY STREET PAVEMENT.
- EXISTING TREE TO REMAIN, PROTECT IN PLACE.
- CONCRETE BENCHES TO BE RELOCATED BY LOT 24 OWNER (CITY).
- REMOVE EXISTING WOOD STRUCTURE.
- NEW LANDSCAPE BIORETENTION FACILITY, PER PROJECT LANDSCAPE PLANS & DETAILS. SEE SHEET C3.2 FOR BIORETENTION FACILITY PROFILE.
- CENTER DRIVEWAY ON CENTER OF GARAGE OPENINGS. SEE ARCHITECTURAL PLANS FOR BUILDING ENTRANCE AND DRIVEWAY LOCATIONS.
- REMOVE ABANDONED MH. SEE UTILITY PLANS.

GENERAL GRADING NOTES:

- STATIONING SHOWN IS CALCULATED ALONG THE PROPERTY LINE AND STARTS AT 1+00 AT THE PROPERTY CORNERS.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO REROUTE PEDESTRIAN AND VEHICULAR TRAFFIC AROUND THE CONSTRUCTION AREA.
- SEE LANDSCAPE DRAWINGS FOR FINISHED SURFACE DETAILS AND SPECIFICATIONS FOR SIDEWALK AND PAVING IN HICKORY STREET.

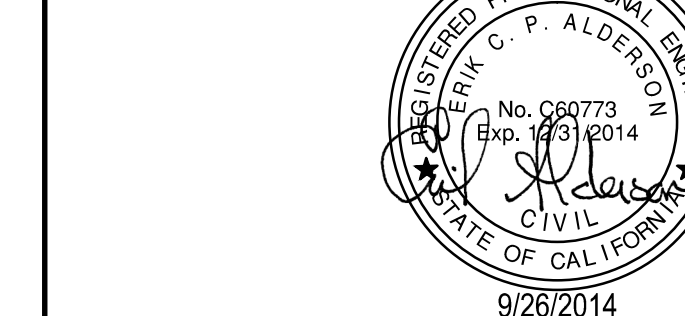
LEGEND:

- ACCESSIBLE ENTRANCE AREA, SEE SHEET C4.2 FOR DETAILS
- DETAIL NUMBER
- SHEET NUMBER



MATCH-LINE SEE SHEET C1.2

SITE PERMIT SET	10/03/2012
STREET IMPROVEMENT SUBMITTAL	11/01/2012
DESIGN DEVELOPMENT PRICING SET	11/29/2012
DESIGN DEVELOPMENT FINAL SET	01/15/2013
SITE PERMIT RESUBMITTAL	01/28/2013
50% CD SET	02/15/2013
MAJOR ENCROACHMENT PERMIT	02/15/2013
SITE PERMIT ADDENDUM #1	03/01/2013
SITE PERMIT ADDENDUM #2	03/25/2013
SITE PERMIT ADDENDUM #3	04/01/2013
GMP / 90% CD SET	04/18/2013
BID ADDENDUM #1	04/26/2013
CIVIL ADDENDUM	06/28/2013
SF WATER PERMIT	07/18/2013
SEWER, WATER, & JT REV.	09/06/2013
OAK STREET REVISIONS	03/24/2014
GRADING CORRECTIONS	04/08/2014
SFPDW COMMENTS REV.	07/18/2014
LAGUNA ST. REVISIONS	09/09/2014
SFPUC COMMENTS REV.	09/24/2014



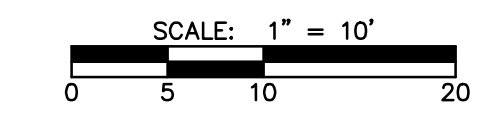
Client:
AVALON BAY COMMUNITIES
455 MARKET STREET, SUITE 1650
SAN FRANCISCO, CA 94105

Job Number: 1018
Drawn by: EA
Checked by: KL
Date: SEPT. 9, 2014
Scale: AS SHOWN

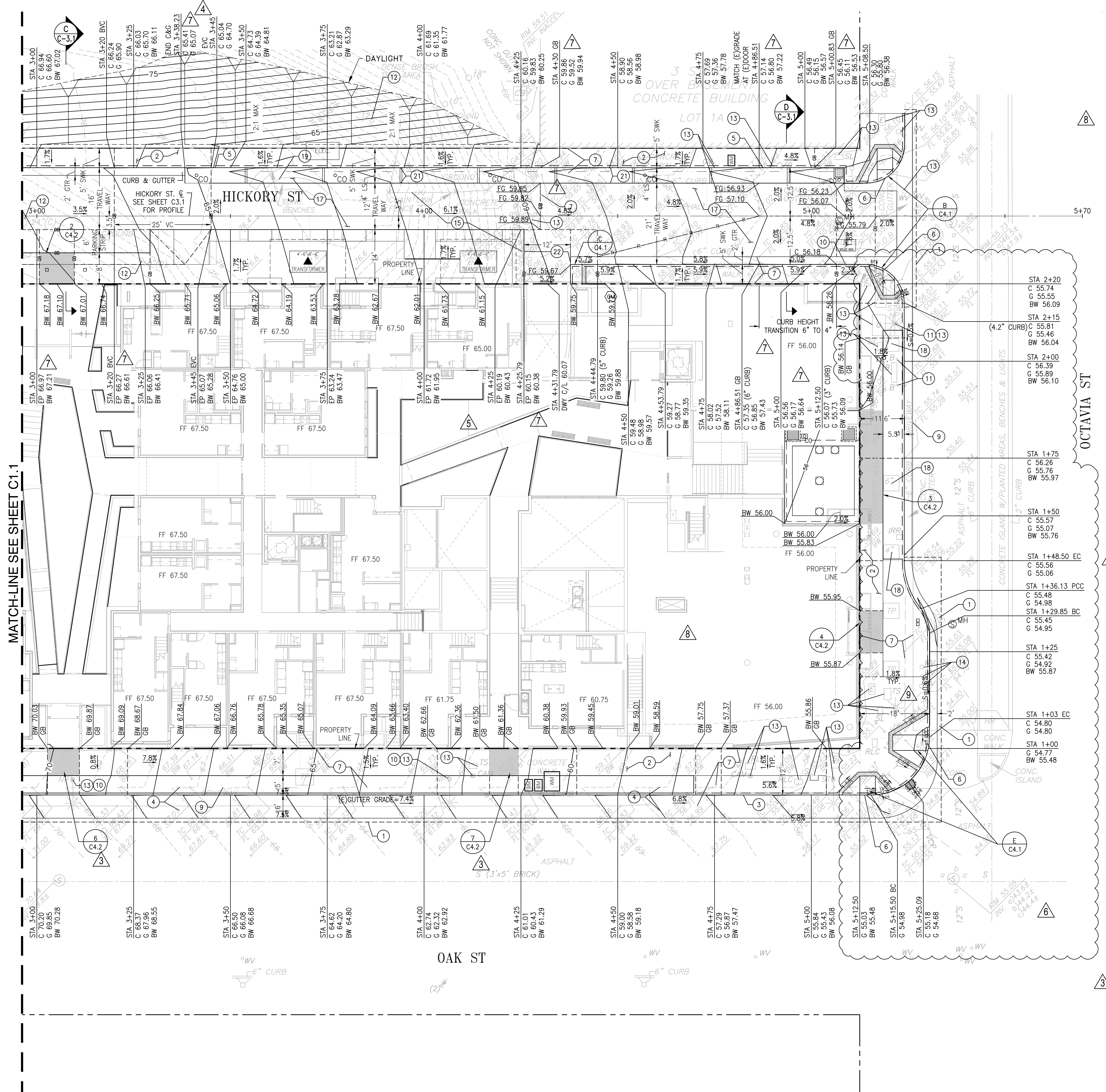
Title:
GRADING PLAN WEST

Sheet

C1.1



323-325 OCTAVIA STREET & 400 LAGUNA STREET
 SAN FRANCISCO, CA 94102
 (BLOCK 0831/LOT 023)
AVALON HAYES VALLEY PARCEL P



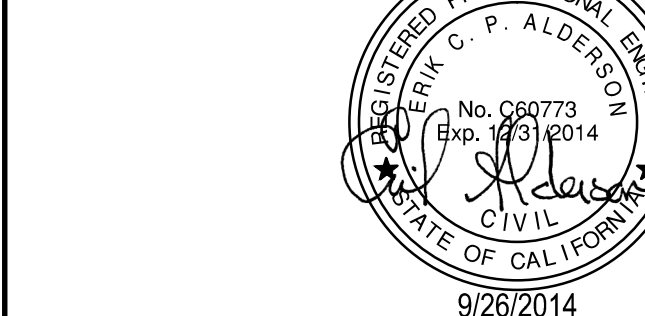
- GRADING CONSTRUCTION NOTES:**
- SAWCUT EXISTING PAVEMENT & CONFORM TO EXISTING GRADES.
 - NEW CONCRETE SIDEWALK PER PROJECT LANDSCAPE PLAN & CITY STANDARD PLAN, FILE NUMBER 87,173.
 - NEW "COMBINED 6-INCH CONCRETE CURB AND GUTTER" PER CITY STANDARD PLAN, FILE NUMBERS 87,170 & 87,173.
 - NEW "COMBINED 6-INCH CONCRETE CURB AND PARKING STRIP" PER CITY STANDARD PLAN, FILE NO. 87,170.
 - NEW CONCRETE CURB, HEIGHT VARIES, PER CITY STANDARD PLAN, FILE NUMBERS 87,169 & 87,173.
 - NEW CONCRETE CURB RAMP WITH DETECTABLE SURFACE. SEE RAMP DETAILS, SHEET C4.1, AND CITY STANDARD PLANS CR-1 & CR-2.
 - REMOVE EXISTING SIDEWALK, CURB AND GUTTER/PARKING STRIP.
 - REMOVE EXISTING SIDEWALK ONLY, EXISTING CURB TO REMAIN.
 - REMOVE EXISTING DRIVEWAY AND GUTTER/PARKING STRIP.
 - REMOVE EXISTING STREET SIGNS.
 - REMOVE STREET SIGNS AND BOLLARDS WHILE CONSTRUCTING SIDEWALK AND RETURN TO ORIGINAL LOCATION AFTER CONSTRUCTION.
 - REMOVE EXISTING TREE, SEE LANDSCAPE PLAN.
 - PROTECT STREET LIGHTS, TRAFFIC SIGNAL BOXES/POLES, FIRE HYDRANTS, CLENOTS, WATER VALVES, SEWER VENTS, AND MANHOLE COVERS IN PLACE. RIMS AND COVERS OF EXISTING UTILITIES STRUCTURES TO BE ADJUSTED TO NEW GRADE. SEE UTILITY PLAN.
 - RELOCATE EXISTING UTILITY STRUCTURE, SEE UTILITY PLAN.
 - REMOVE EXISTING FENCE.
 - EXISTING CONCRETE CURB TO REMAIN, PROTECT IN PLACE.
 - REMOVE EXISTING PAVEMENT & BASE AND CONSTRUCT NEW CONCRETE ROADWAY. SEE LANDSCAPE PLANS FOR CONSTRUCTION OF HICKORY STREET PAVEMENT.
 - EXISTING TREE TO REMAIN, PROTECT IN PLACE.
 - CONCRETE BENCHES TO BE RELOCATED BY LOT 24 OWNER (CITY).
 - REMOVE EXISTING WOOD STRUCTURE.
 - NEW LANDSCAPE BIORETENTION FACILITY, PER PROJECT LANDSCAPE PLANS & DETAILS. SEE SHEET C3.2 FOR BIORETENTION FACILITY PROFILE.
 - CENTER DRIVEWAY ON CENTER OF GARAGE OPENINGS. SEE ARCHITECTURAL PLANS FOR BUILDING ENTRANCE AND DRIVEWAY LOCATIONS.
 - REMOVE ABANDONED MH. SEE UTILITY PLANS.

- GENERAL GRADING NOTES:**
- STATIONING SHOWN IS CALCULATED ALONG THE PROPERTY LINE AND STARTS AT 1+00 AT THE PROPERTY CORNERS.
 - IT IS THE CONTRACTOR'S RESPONSIBILITY TO REROUTE PEDESTRIAN AND VEHICULAR TRAFFIC AROUND THE CONSTRUCTION AREA.
 - SEE LANDSCAPE DRAWINGS FOR FINISHED SURFACE DETAILS AND SPECIFICATIONS FOR SIDEWALK AND PAVING IN HICKORY STREET.

LEGEND:

- ACCESSIBLE ENTRANCE AREA, SEE SHEET C4.2 FOR DETAILS
- DETAIL NUMBER
- SHEET NUMBER

DATE	DESCRIPTION	BY
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11/29/2012	DESIGN DEVELOPMENT PRICING SET	
01/15/2013	DESIGN DEVELOPMENT FINAL SET	
01/28/2013	SITE PERMIT RESUBMITTAL	
02/15/2013	50% CD SET	
02/15/2013	MAJOR ENCROACHMENT PERMIT	
03/01/2013	SITE PERMIT ADDENDUM #1	
03/25/2013	SITE PERMIT ADDENDUM #2	
04/01/2013	SITE PERMIT ADDENDUM #3 (CITY)	
04/18/2013	GMP / 90% CD SET	
04/26/2013	BID ADDENDUM #1	
06/28/2013	CIVIL ADDENDUM	
07/18/2013	SF WATER PERMIT	
09/06/2013	SEWER, WATER, & JT REV.	
03/24/2014	OAK STREET REVISIONS	
04/08/2014	GRADING CORRECTIONS	
07/18/2014	SFPDW COMMENTS REV.	
09/09/2014	LAGUNA ST. REVISIONS	
09/24/2014	SFPUC COMMENTS REV.	



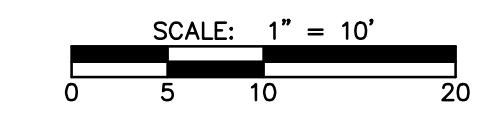
Client:
AVALON BAY COMMUNITIES
 455 MARKET STREET, SUITE 1650
 SAN FRANCISCO, CA 94105

Job Number: 1018
 Drawn by: EA
 Checked by: KL
 Date: SEPT. 9, 2014
 Scale: AS SHOWN

Title
GRADING PLAN EAST

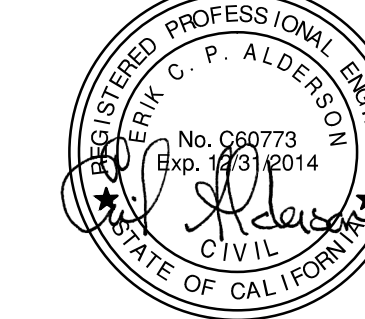
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C1.2



323-325 OCTAVIA STREET & 400 LAGUNA STREET
SAN FRANCISCO, CA 94102
(BLOCK 0831/LOT 023)
AVALON HAYES VALLEY PARCEL P

SITE PERMIT SET	10/03/2012
STREET IMPROVEMENT SUBMITTAL	11/01/2012
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SITE PERMIT ADDENDUM #3	04/01/2013
GMP / 90% CD SET	04/18/2013
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SF WATER PERMIT	07/18/2013
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OAK STREET REVISIONS	03/24/2014
GRADING CORRECTIONS	04/08/2014
SFPDW COMMENTS REV.	07/18/2014
LAGUNA ST. REVISIONS	09/09/2014
SFPUC COMMENTS REV.	09/24/2014

Stamp:


Client:
AVALON BAY COMMUNITIES
 455 MARKET STREET, SUITE 1650
 SAN FRANCISCO, CA 94105

Job Number: 1018
 Drawn by: EA
 Checked by: KL
 Date: SEPT. 9, 2014
 Scale: AS SHOWN

Title
UTILITY PLAN WEST

Sheet

C2.1

UTILITY CONSTRUCTION NOTES:

STORM, SANITARY, AND COMBINED SEWER

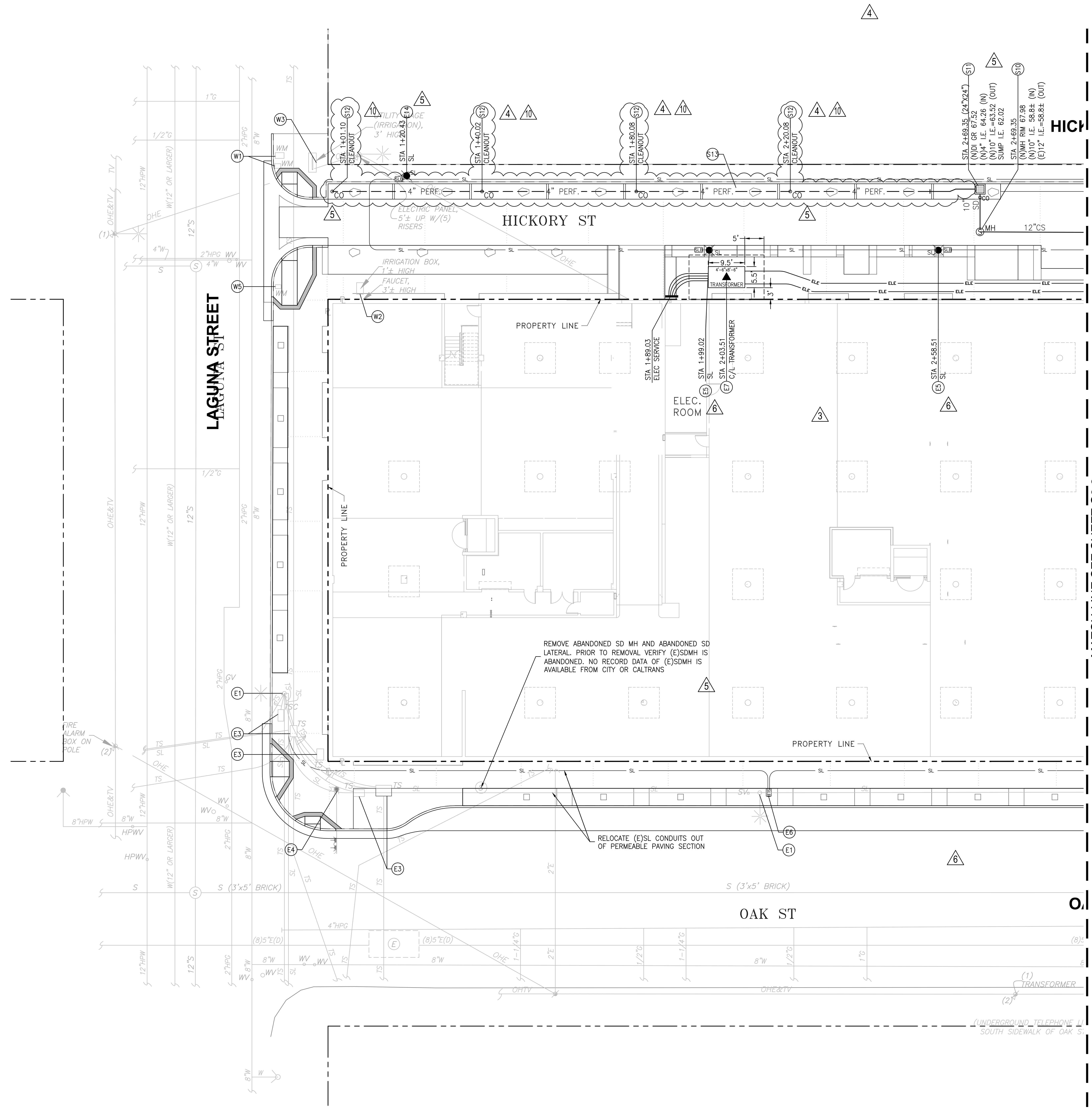
- (S1) EXISTING SEWER MANHOLE, ADJUST RIM TO NEW GRADE.
 - (S2) NEW CITY OF SF STD (FILE NO. 87,188) STORM DRAIN CATCH BASIN. INSTALL ON (E)10" VCP SD LINE.
 - (S3) NEW FRESH AIR VENT.
 - (S4) NEW STORM DRAIN, SANITARY SEWER, OR COMBINED SEWER LATERAL AT MINIMUM 2% SLOPE. USE EXTRA STRENGTH VCP.
 - (S5) CONNECT NEW STORM, SANITARY, OR COMBINED SEWER LINE/MAHONE TO NEW SEWER LINE/MANHOLE.
 - (S6) CONNECT NEW STORM, SANITARY, OR COMBINED SEWER LINE/MAHONE TO EXISTING SEWER LINE/MANHOLE.
 - (S7) EXISTING SEWER MANHOLE. ADJUST RIM TO NEW GARDE.
 - (S8) RELOCATE EXISTING SEWER CLEANOUT INTO NEW SIDEWALK AND ADJUST TO NEW GRADE.
 - (S9) EXISTING 10" VCP SEWER, PLUG & FILL TO ABANDON PER CITY STANDARD SPECIFICATIONS PART 3, SECTION 302.
 - (S10) NEW CITY OF SF STD (FILE NO. 87,181) PRECAST CONCRETE MANHOLE.
 - (S11) NEW CITY OF SF STD (FILE NO. LA-214) 2X2 CONCRETE CATCH BASIN/SAND TRAP W/CLEAN OUT. SEE DETAIL 1 ON SHEET C5.2
 - (S12) NEW CLEANOUT. SEE DETAIL 3 ON SHEET C5.2
 - (S13) NEW 4" SCH. 40 PVC DOWNWARD FACING PERFORATED PIPE. PERFORATION SIZE AND SPACING PER AASHTO M278.
 - (S14) NEW DRY WELL SYSTEM. SEE DETAILS ON SHEET C5.3.
- DOMESTIC, FIRE, AND IRRIGATION WATER**
- (W1) EXISTING WATER VALVE OR METER, ADJUST COVER TO NEW GRADE.
 - (W2) EXISTING IRRIGATION BOX, TO BE REMOVED.
 - (W3) EXISTING IRRIGATION STRUCTURE, TO BE REMOVED/RELOCATED BY LOT 24 OWNER (CITY).
 - (W4) EXISTING WATER METER, TO BE RELOCATED BY SFWD. LINE FROM METER TO BUILDING TO BE CONNECTED BY CONTRACTOR.
 - (W5) EXISTING WATER METER, TO BE REMOVED BY SFWD.
 - (W6) CONNECT NEW WATER SERVICE LATERAL TO EXISTING 8" WATER LINE. WATER METER AND LINE FROM MAIN TO METER TO BE INSTALLED BY SFWD, LINE FROM METER TO BUILDING TO BE INSTALLED BY CONTRACTOR. SIZE AND CONFIGURATION OF WATER METERS TO BE SFWD.
 - (W7) EXISTING WATER VALVE & TWO 2" AIR RELEASE VALVES. COORDINATE RELOCATION WORK, SCOPE, AND FEES WITH SFWD. POSSIBILITY OF RELOCATION OF THESE FACILITIES TO BE DETERMINED BY SFWD
 - (W8) NEW WATER SERVICE LINE. SEE PLUMBING PLANS.
 - (W9) NEW FIRE SERVICE LINE. SEE FIRE PROTECTION PLANS.

ELECTRICAL

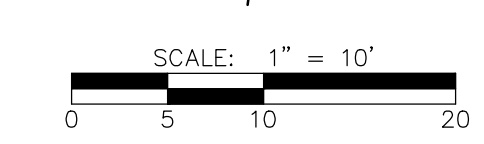
- (E1) EXISTING STREET LIGHT TO REMAIN, PROTECT IN PLACE.
- (E2) EXISTING TRAFFIC SIGNAL CAMERA RELOCATE AS NECESSARY, SEE STREET LIGHT WIRING PLANS SHEET T-1.
- (E3) EXISTING UTILITY BOX, ADJUST COVER TO NEW GRADE.
- (E4) EXISTING TRAFFIC SIGNAL POLE, TO REMAIN, PROTECT IN PLACE.
- (E5) NEW STREET LIGHT AND PULLBOX. SEE STREET LIGHT WIRING PLANS SHEET T-1.
- (E6) TIE-IN NEW STREET LIGHT CONDUITS TO EXISTING STREET LIGHT SYSTEM. SEE STREET LIGHT WIRING PLANS SHEET T-1.
- (E7) NEW ELECTRICAL TRANSFORMER, 4'-6" X 8'-6".
- (E8) NEW JOINT TRENCH, SEE JOINT TRENCH PLANS FOR DETAILS.
- (E10) TELEPHONE SERVICE. SEE JOINT TRENCH PLANS FOR DETAILS. COORDINATE LOCATIONS OF BOXES, CONDUITS AND POC IN THE FIELD WITH UTILITY SERVICE PROVIDERS.
- (E11) CATV SERVICE. SEE JOINT TRENCH PLANS FOR DETAILS
- (E12) EXISTING TRAFFIC SIGNAL BOX, RELOCATE AS SHOWN. SEE STREET LIGHT WIRING PLANS SHEET T-1.
- (E13) EXISTING UNKNOWN CABINET AND BOLLARDS TO REMAIN, PROTECT IN PLACE.
- (E14) NEW STREET LIGHT AND PULLBOX. SEE STREET LIGHT WIRING PLANS SHEET T-1, AND DETAIL 1 ON L4.05

GAS

- (G1) CONNECT NEW GAS SERVICE TO EXISTING 6" HIGH PRESSURE GAS LINE. SEE JOINT TRENCH PLANS.
- (G2) EXISTING GAS VALVE, ADJUST COVER TO NEW GRADE.

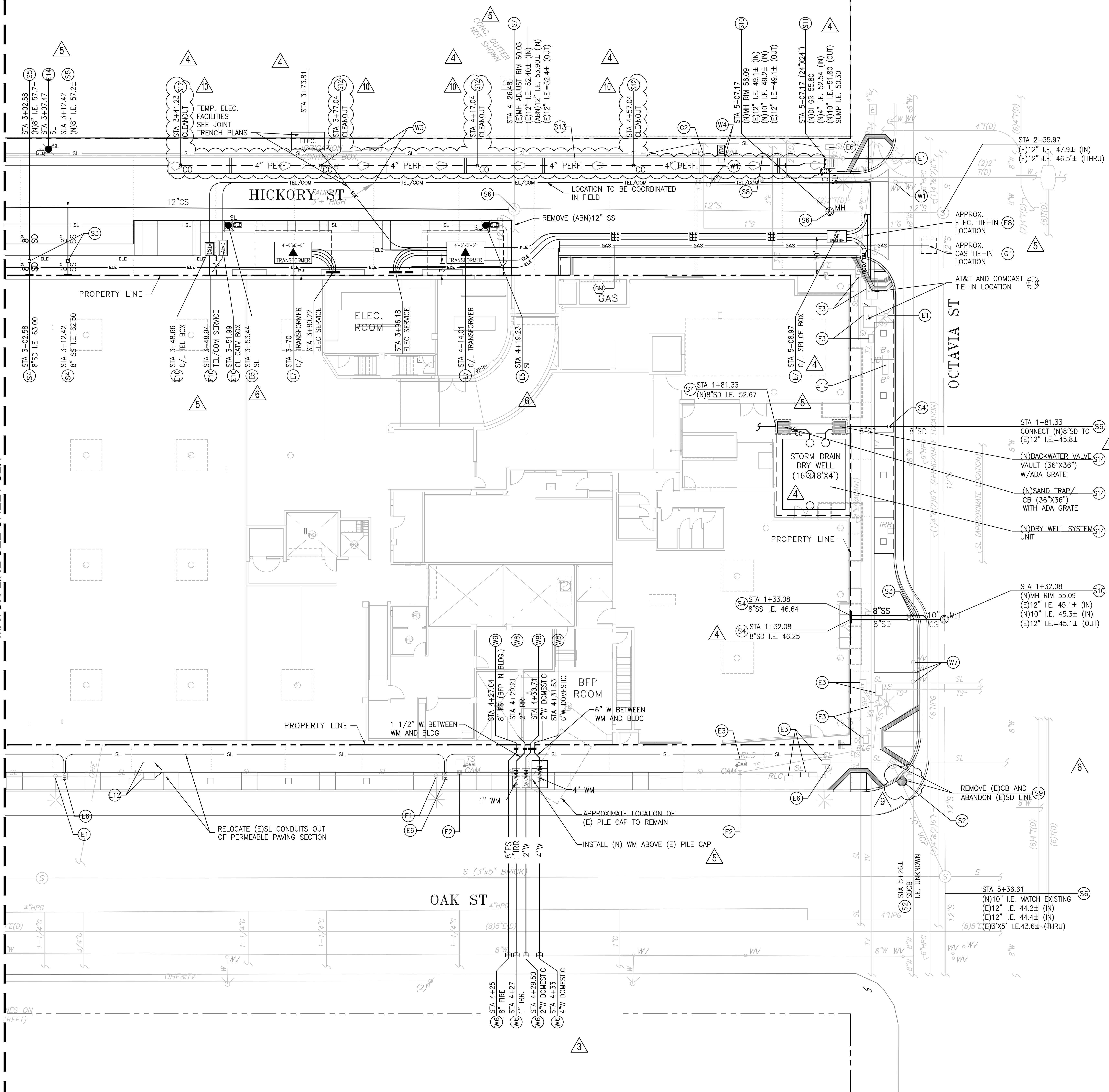


MATCH-LINE SEE SHEET C2.2



323-325 OCTAVIA STREET & 400 LAGUNA STREET
 SAN FRANCISCO, CA 94102
 (BLOCK 0831/LOT 023)
AVALON HAYES VALLEY PARCEL P

MATCH-LINE SEE SHEET C2.1



UTILITY CONSTRUCTION NOTES:

STORM, SANITARY, AND COMBINED SEWER

- (S1) EXISTING SEWER MANHOLE, ADJUST RIM TO NEW GRADE.
 - (S2) NEW CITY OF SF STD (FILE NO. 87,188) STORM DRAIN CATCH BASIN. INSTALL ON (E)10" VCP SD LINE.
 - (S3) NEW FRESH AIR VENT.
 - (S4) NEW STORM DRAIN, SANITARY SEWER, OR COMBINED SEWER LATERAL AT MINIMUM 2% SLOPE. USE EXTRA STRENGTH VCP.
 - (S5) CONNECT NEW STORM, SANITARY, OR COMBINED SEWER LINE/MAHONE TO NEW SEWER LINE/MANHOLE.
 - (S6) CONNECT NEW STORM, SANITARY, OR COMBINED SEWER LINE/MAHONE TO EXISTING SEWER LINE/MANHOLE.
 - (S7) EXISTING SEWER MANHOLE. ADJUST RIM TO NEW GARDE.
 - (S8) RELOCATE EXISTING SEWER CLEANOUT INTO NEW SIDEWALK AND ADJUST TO NEW GRADE.
 - (S9) EXISTING 10" VCP SEWER, PLUG & FILL TO ABANDON PER CITY STANDARD SPECIFICATIONS PART 3, SECTION 302.
 - (S10) NEW CITY OF SF STD (FILE NO. 87,181) PRECAST CONCRETE MANHOLE.
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 - (S12) NEW CLEANOUT. SEE DETAIL 3 ON SHEET C5.2
 - (S13) NEW 4" SCH. 40 PVC DOWNWARD FACING PERFORATED PIPE. PERFORATION SIZE AND SPACING PER AASHTO M278.
 - (S14) NEW DRY WELL SYSTEM. SEE DETAILS ON SHEET C5.3.
- DOMESTIC, FIRE, AND IRRIGATION WATER**
- (W1) EXISTING WATER VALVE OR METER, ADJUST COVER TO NEW GRADE.
 - (W2) EXISTING IRRIGATION BOX, TO BE REMOVED.
 - (W3) EXISTING IRRIGATION STRUCTURE, TO BE REMOVED/RELOCATED BY LOT 24 OWNER (CITY).
 - (W4) EXISTING WATER METER, TO BE RELOCATED BY SFWD. LINE FROM METER TO BUILDING TO BE CONNECTED BY CONTRACTOR.
 - (W5) EXISTING WATER METER, TO BE REMOVED BY SFWD.
 - (W6) CONNECT NEW WATER SERVICE LATERAL TO EXISTING 8" WATER LINE. WATER METER AND LINE FROM MAIN TO METER TO BE INSTALLED BY SFWD. LINE FROM METER TO BUILDING TO BE INSTALLED BY CONTRACTOR. SIZE AND CONFIGURATION OF WATER METERS TO BE SFWD.
 - (W7) EXISTING WATER VALVE & TWO 2" AIR RELEASE VALVES. COORDINATE RELOCATION WORK, SCOPE, AND FEES WITH SFWD. POSSIBILITY OF RELOCATION OF THESE FACILITIES TO BE DETERMINED BY SFWD
 - (W8) NEW WATER SERVICE LINE. SEE PLUMBING PLANS.
 - (W9) NEW FIRE SERVICE LINE. SEE FIRE PROTECTION PLANS.
- ELECTRICAL**
- (E1) EXISTING STREET LIGHT TO REMAIN, PROTECT IN PLACE.
 - (E2) EXISTING TRAFFIC SIGNAL CAMERA RELOCATE AS NECESSARY, SEE STREET LIGHT WIRING PLANS SHEET T-1.
 - (E3) EXISTING UTILITY BOX, ADJUST COVER TO NEW GRADE.
 - (E4) EXISTING TRAFFIC SIGNAL POLE, TO REMAIN, PROTECT IN PLACE.
 - (E5) NEW STREET LIGHT AND PULLBOX. SEE STREET LIGHT WIRING PLANS SHEET T-1.
 - (E6) TIE-IN NEW STREET LIGHT CONDUITS TO EXISTING STREET LIGHT SYSTEM. SEE STREET LIGHT WIRING PLANS SHEET T-1.
 - (E7) NEW ELECTRICAL TRANSFORMER, 4'-6" X 8'-6".
 - (E8) NEW JOINT TRENCH, SEE JOINT TRENCH PLANS PLANS FOR DETAILS.
 - (E9) TELEPHONE SERVICE. SEE JOINT TRENCH PLANS FOR DETAILS. COORDINATE LOCATIONS OF BOXES, CONDUITS AND POC IN THE FIELD WITH UTILITY SERVICE PROVIDERS.
 - (E10) CATV SERVICE. SEE JOINT TRENCH PLANS FOR DETAILS
 - (E11) EXISTING TRAFFIC SIGNAL BOX, RELOCATE AS SHOWN. SEE STREET LIGHT WIRING PLANS SHEET T-1.
 - (E12) EXISTING UNKNOWN CABINET AND BOLLARDS TO REMAIN, PROTECT IN PLACE.
 - (E13) EXISTING UNKNOWN CABINET AND BOLLARDS TO REMAIN, PROTECT IN PLACE.
 - (E14) NEW STREET LIGHT AND PULLBOX. SEE STREET LIGHT WIRING PLANS SHEET T-1, AND DETAIL 1 ON L4-05
- GAS**
- (G1) CONNECT NEW GAS SERVICE TO EXISTING 6" HIGH PRESSURE GAS LINE. SEE JOINT TRENCH PLANS.
 - (G2) EXISTING GAS VALVE, ADJUST COVER TO NEW GRADE.

DATE	DESCRIPTION	BY
10/03/2012	SITE PERMIT SET	
11/01/2012	STREET IMPROVEMENT SUBMITTAL	
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03/01/2013	SITE PERMIT ADDENDUM #1	
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07/18/2014	SFPDW COMMENTS REV.	
09/09/2014	LAGUNA ST. REVISIONS	
09/24/2014	SFPUC COMMENTS REV.	

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 No. 020773
 Exp. 03/31/2014
 STATE OF CALIFORNIA
 CIVIL
 9/26/2014

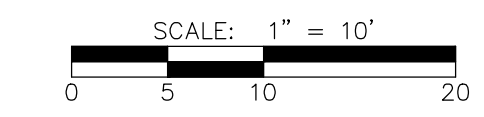
Client:
AVALON BAY COMMUNITIES
 455 MARKET STREET, SUITE 1650
 SAN FRANCISCO, CA 94105

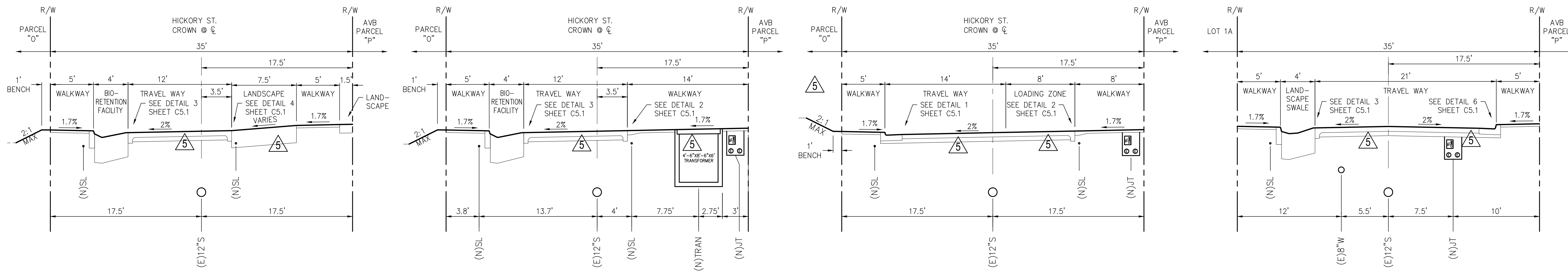
Job Number: 1018
 Drawn by: EA
 Checked by: KL
 Date: SEPT. 9, 2014
 Scale: AS SHOWN

Title
 UTILITY PLAN EAST

Sheet

C2.2





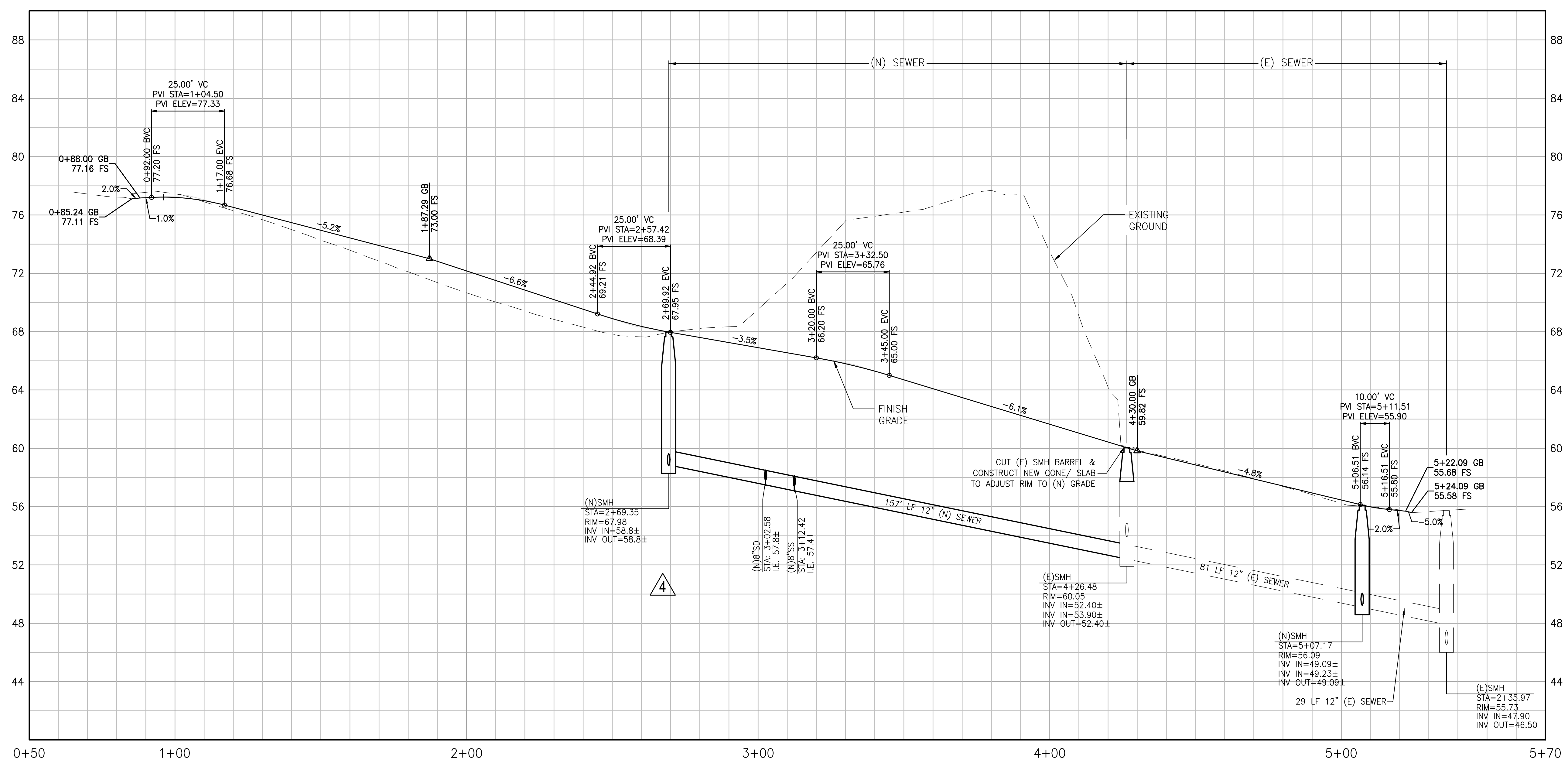
SECTION A-A
 NTS

SECTION B-B
 NTS

SECTION C-C
 NTS

SECTION D-D
 NTS

5



PROFILE
 SCALE: 1"=20' H; 1"=4' V

UTILITY CONSTRUCTION NOTES:

- STORM, SANITARY, AND COMBINED SEWER
- (S1) INVERTS AND RIMS OF EXISTING MANHOLES AND 12" ISP NOT FOUND IN FIELD BASED ON RECORD DATA. CONTRACTOR TO VERIFY INVERTS AND PIPE AND MANHOLE CONDITIONS PRIOR TO CONSTRUCTION.
 - (S2) UNPLUG ABANDONED 12" ISP AND REPLACE AS NEEDED.

323-325 OCTAVIA STREET & 400 LAGUNA STREET
 SAN FRANCISCO, CA 94102
 (BLOCK 0831/LOT 023)
AVALON HAYES VALLEY PARCEL P

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MAJOR ENCROACHMENT PERMIT	02/15/2013
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SITE PERMIT ADDENDUM #2	03/25/2013
SITE PERMIT ADDENDUM #3	04/01/2013
GMP / 90% CD SET	04/18/2013
BID ADDENDUM #1	04/26/2013
CIVIL ADDENDUM	06/28/2013
SF WATER PERMIT	07/18/2013
SEWER, WATER, & JT REV.	09/06/2013
OAK STREET REVISIONS	03/24/2014
GRADING CORRECTIONS	04/08/2014
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LAGUNA ST. REVISIONS	09/09/2014
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Client:
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 455 MARKET STREET, SUITE 1650
 SAN FRANCISCO, CA 94105

Job Number: 1018
 Drawn by: EA
 Checked by: KL
 Date: SEPT. 9, 2014
 Scale: AS SHOWN

Title
 HICKORY STREET PROFILE

Sheet

C3.1

STA @ CL WALL	TC @ WALL	TOP OF WALL	BTM OF WALL (TOP OF FTG)	WALL HEIGHT
1+17	76.71	76.38	71.69	4.69
1+37	75.67	75.34	70.50	4.84
1+57	74.62	74.29	69.32	4.97
1+77	73.58	73.25	68.13	5.12
1+97	72.40	72.07	66.95	5.12
2+17	71.08	70.75	65.76	4.99
2+37	69.77	69.44	64.57	4.87
2+57	68.55	68.22	63.39	4.83

STA @ CL WALL	TC @ WALL	TOP OF WALL	BTM OF WALL (TOP OF FTG)	WALL HEIGHT
3+54	64.49	64.16	59.28	4.88
3+74	63.27	62.94	58.07	4.87
3+94	62.05	61.72	56.85	4.87
4+14	60.83	60.50	55.63	4.87
4+34	59.66	59.33	54.42	4.91
4+54	58.70	58.37	53.20	5.17
4+74	57.74	57.41	51.99	5.42
4+94	56.78	56.45	50.77	5.68

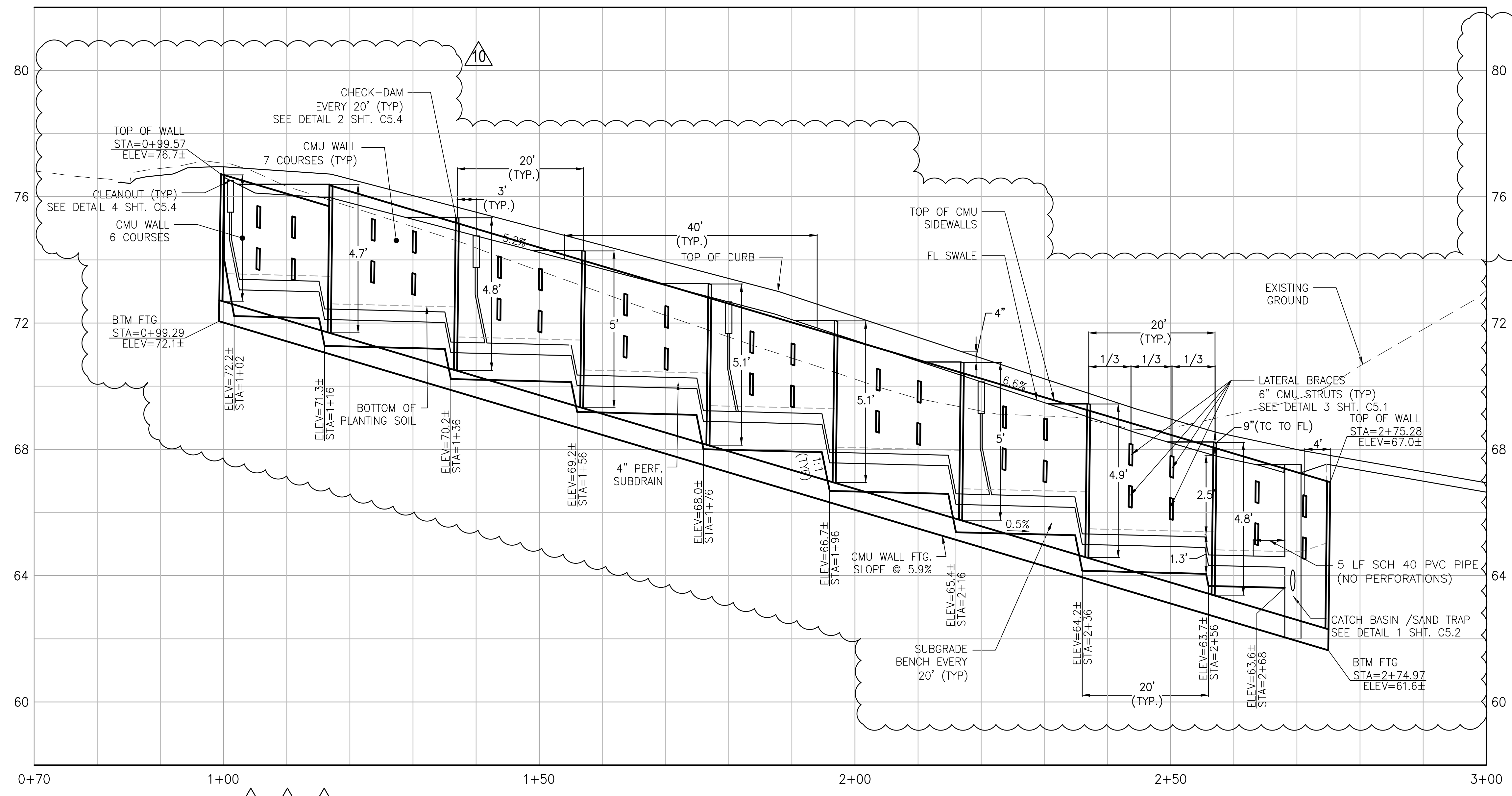
Stamp:

Client: **AVALON BAY COMMUNITIES**
 455 MARKET STREET, SUITE 1650
 SAN FRANCISCO, CA 94105

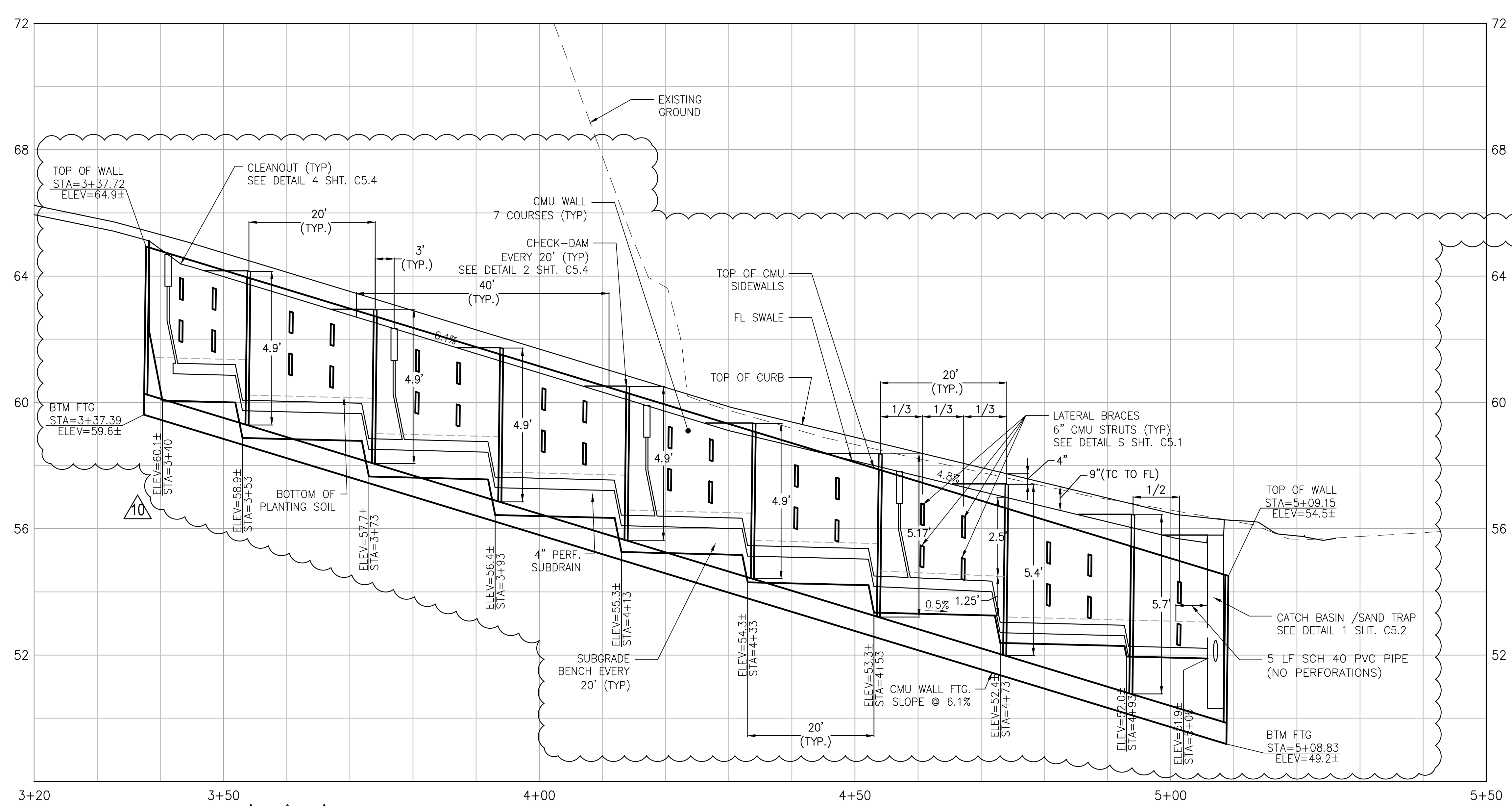
Job Number: 1018
 Drawn by: EA
 Checked by: KL
 Date: SEPT. 9, 2014
 Scale: AS SHOWN

Title: **BIO-RETENTION FACILITY SUBGRADE PROFILES**

Sheet: **C3.2**



BIO-RETENTION FACILITY SUBGRADE PROFILE - WEST
 SCALE: SCALE: 1"=10' H: 1"=2' V



BIO-RETENTION FACILITY SUBGRADE PROFILE - EAST
 SCALE: SCALE: 1"=10' H: 1"=2' V

AVALON HAYES VALLEY PARCEL P
 323-325 OCTAVIA STREET & 400 LAGUNA STREET
 SAN FRANCISCO, CA 94102
 (BLOCK 0831/LOT 023)

SITE PERMIT SET	10/03/2012
STREET IMPROVEMENT SUBMITTAL	11/01/2012
DESIGN DEVELOPMENT PRICING SET	11/29/2012
DESIGN DEVELOPMENT FINAL SET	01/15/2013
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SITE PERMIT ADDENDUM #2	03/25/2013
SITE PERMIT ADDENDUM #3	04/01/2013
GMP / 90% CD SET	04/18/2013
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CIVIL ADDENDUM	06/28/2013
SF WATER PERMIT	07/18/2013
SEWER, WATER, & JT REV.	09/06/2013
OAK STREET REVISIONS	03/24/2014
GRADING CORRECTIONS	04/08/2014
SFPDW COMMENTS REV.	07/18/2014
LAGUNA ST. REVISIONS	09/09/2014
SFPUC COMMENTS REV.	09/24/2014

Stamp:

Client:
AVALON BAY COMMUNITIES
 455 MARKET STREET, SUITE 1650
 SAN FRANCISCO, CA 94105

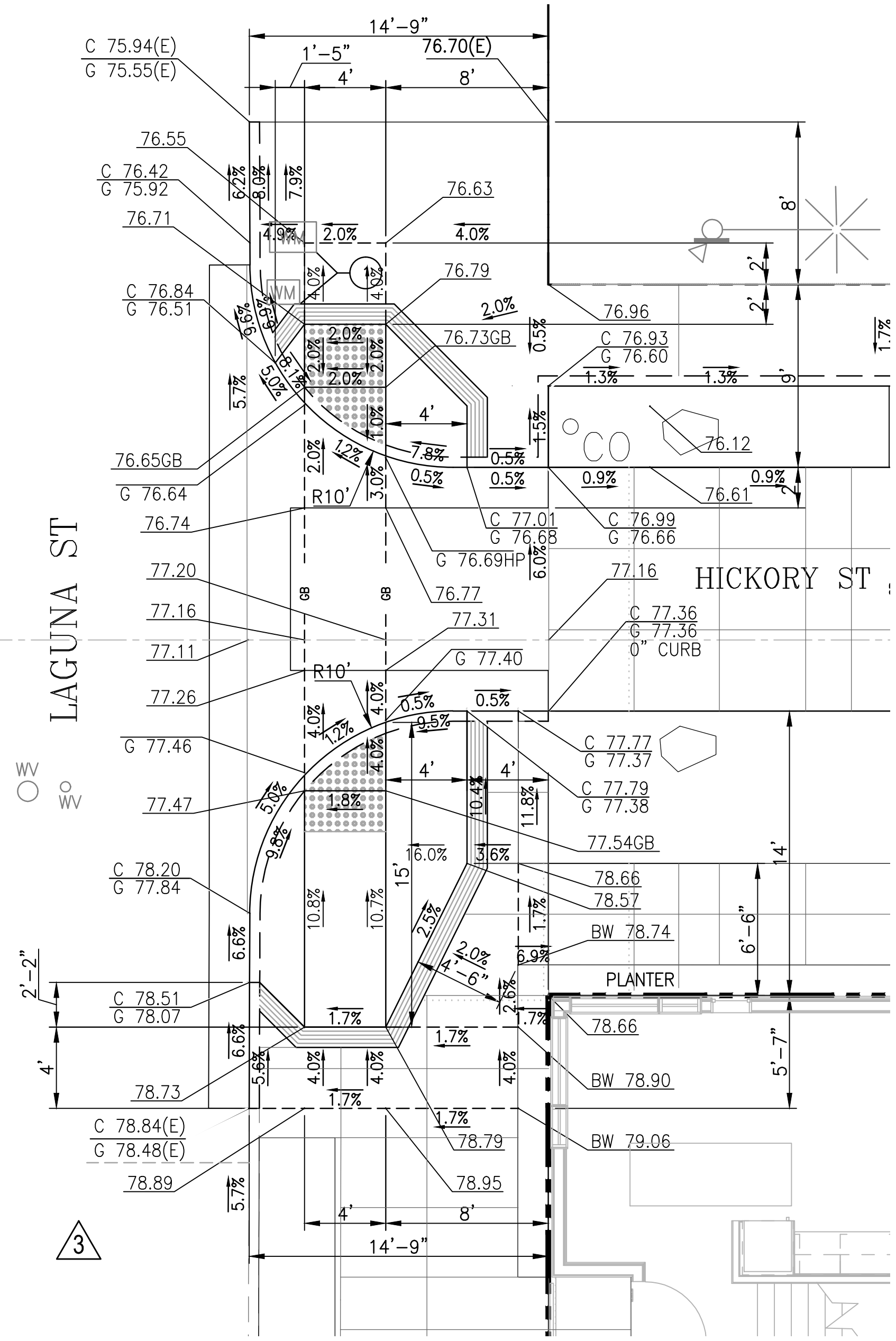
Job Number: 1018
 Drawn by: EA
 Checked by: KL
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 Scale: AS SHOWN

Title:
CURB RAMP DETAILS

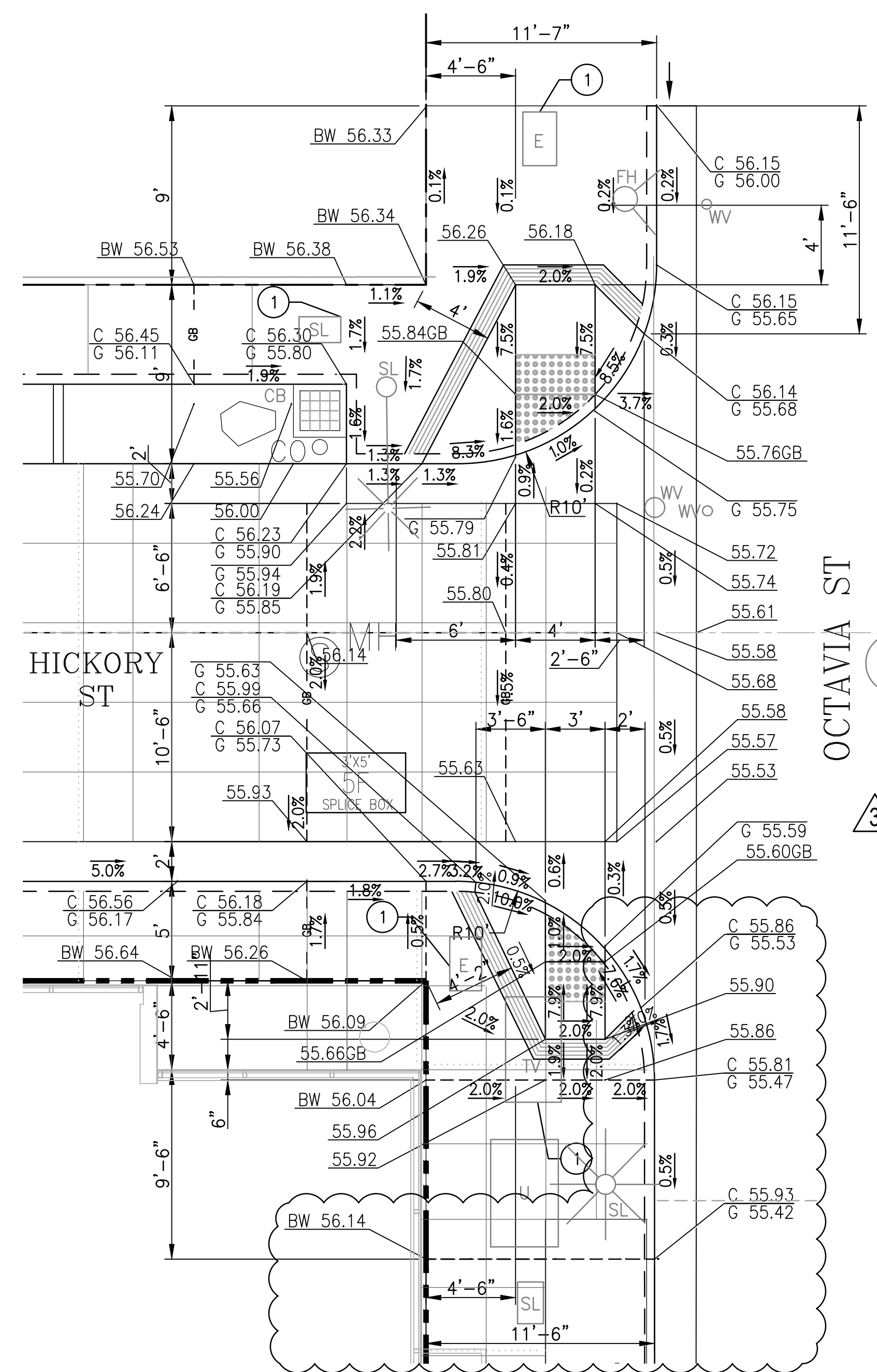
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C4.1

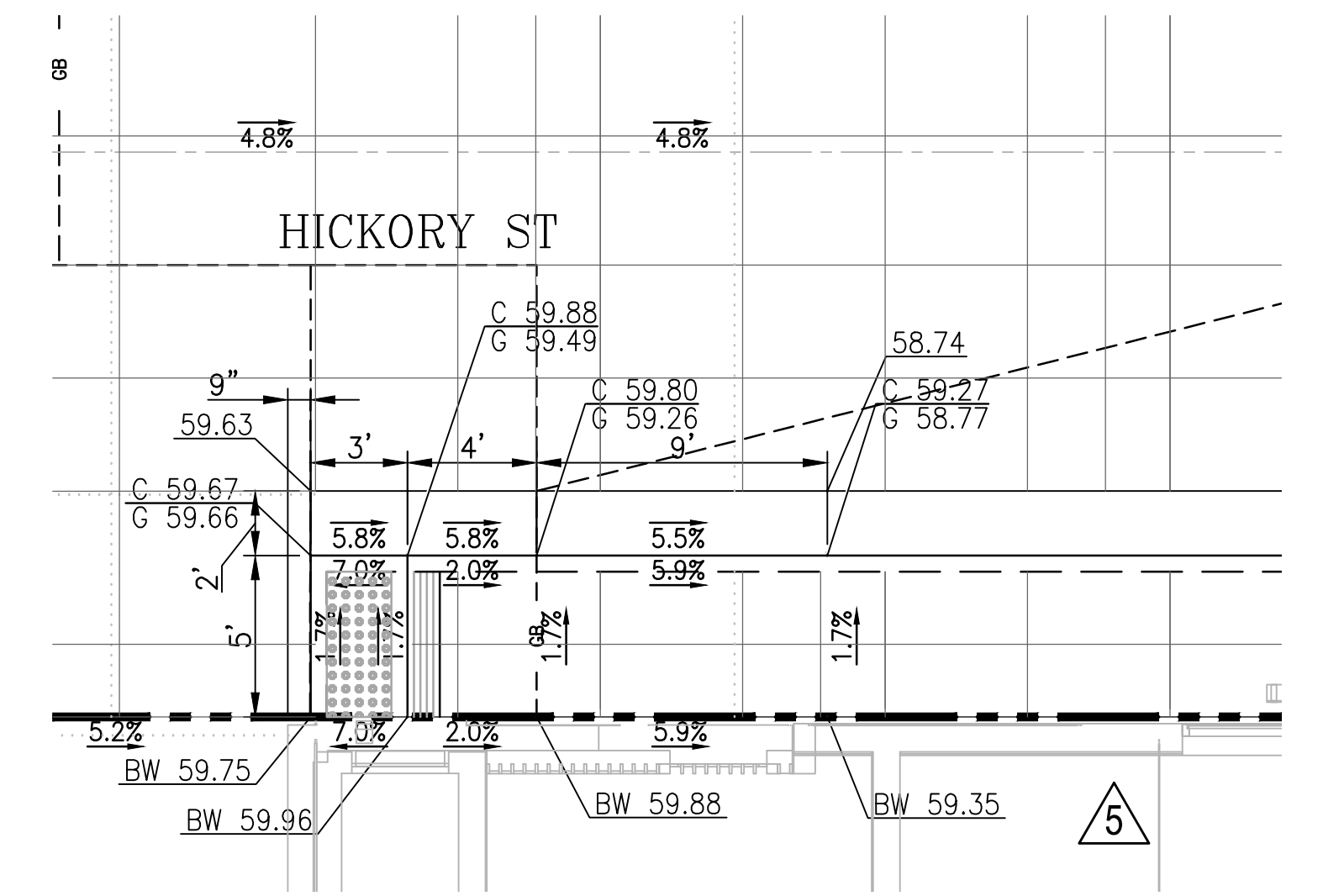
NOTE:
 ① RESET UTILITY BOXES TO NEW GRADE



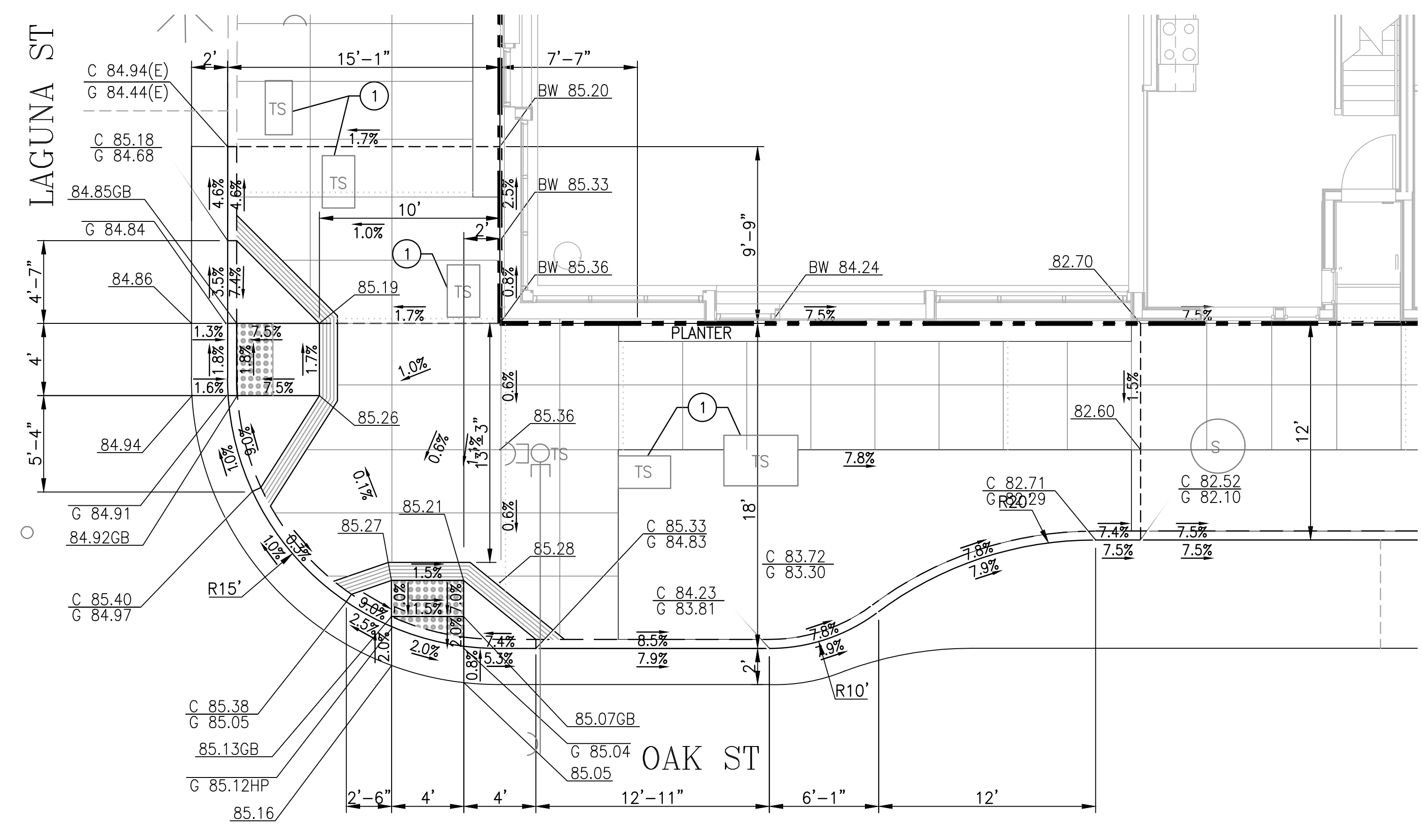
**CURB RAMP DETAIL
 HICKORY ST & LAGUNA ST**
 SCALE: 1"=5"
 A



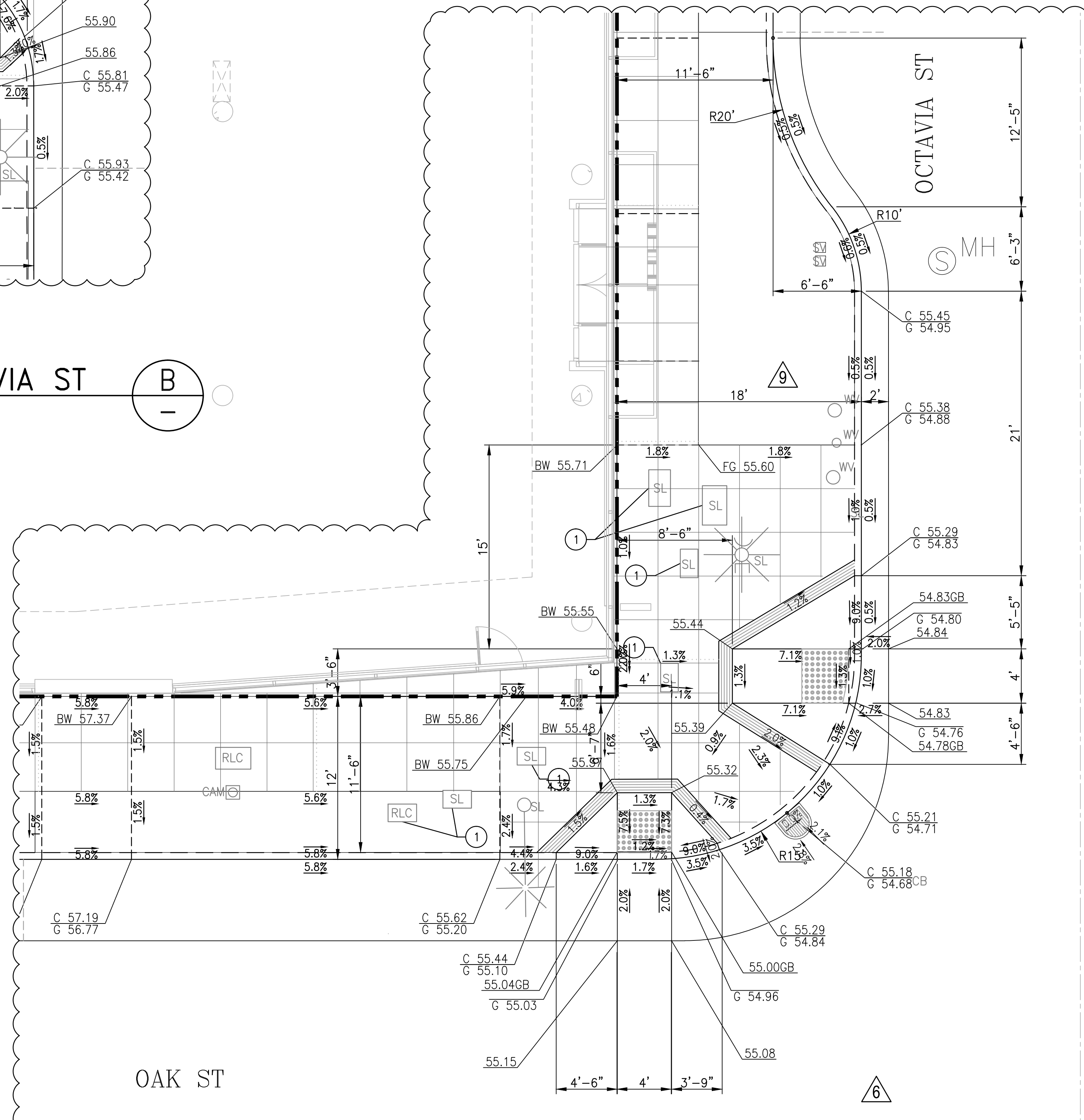
**CURB RAMP DETAIL
 HICKORY ST & OCTAVIA ST**
 SCALE: 1"=5"
 B



**CURB RAMP DETAIL
 HICKORY ST**
 SCALE: 1"=5"
 C

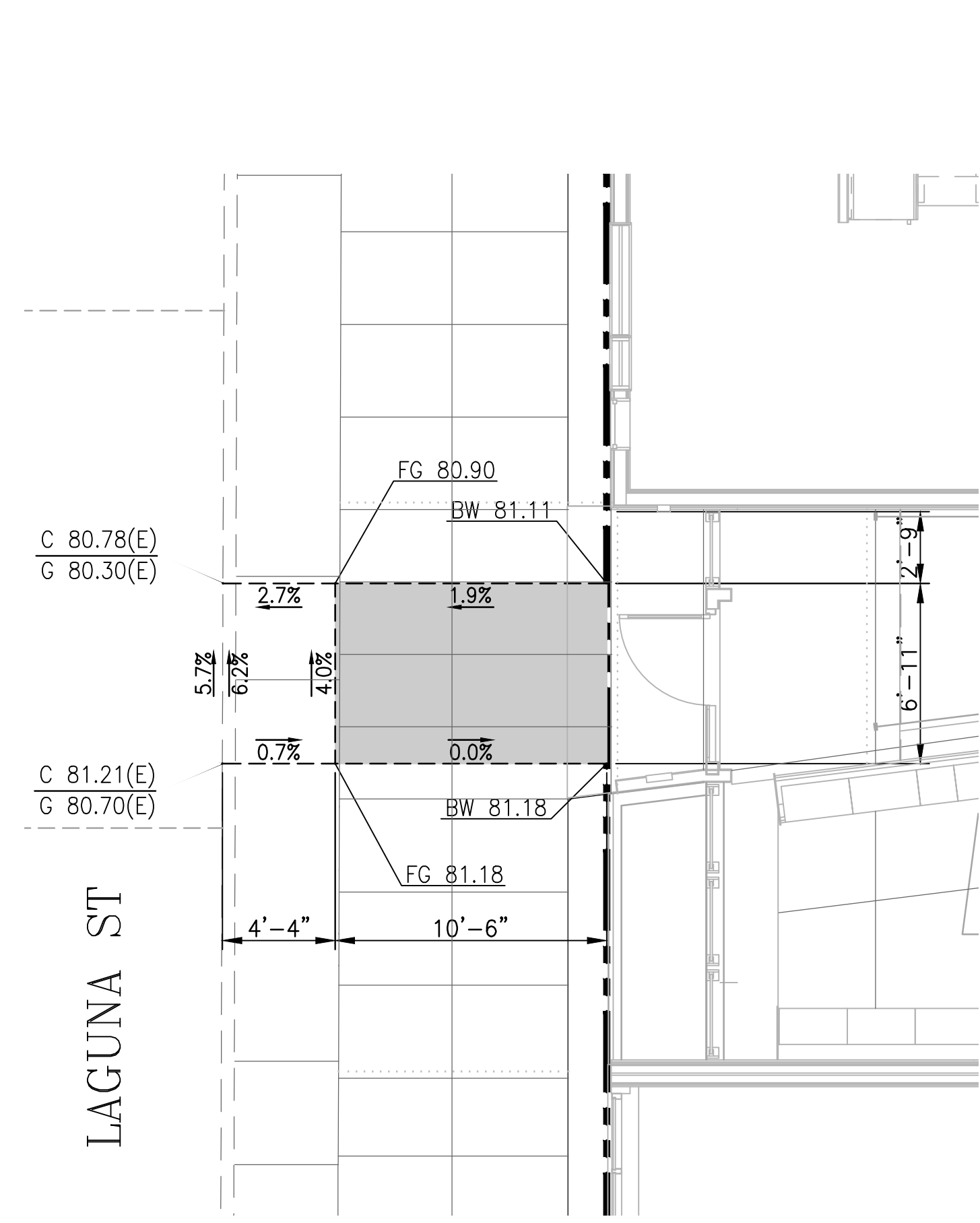


**CURB RAMP DETAIL
 OAK ST & LAGUNA ST**
 SCALE: 1"=5"
 D

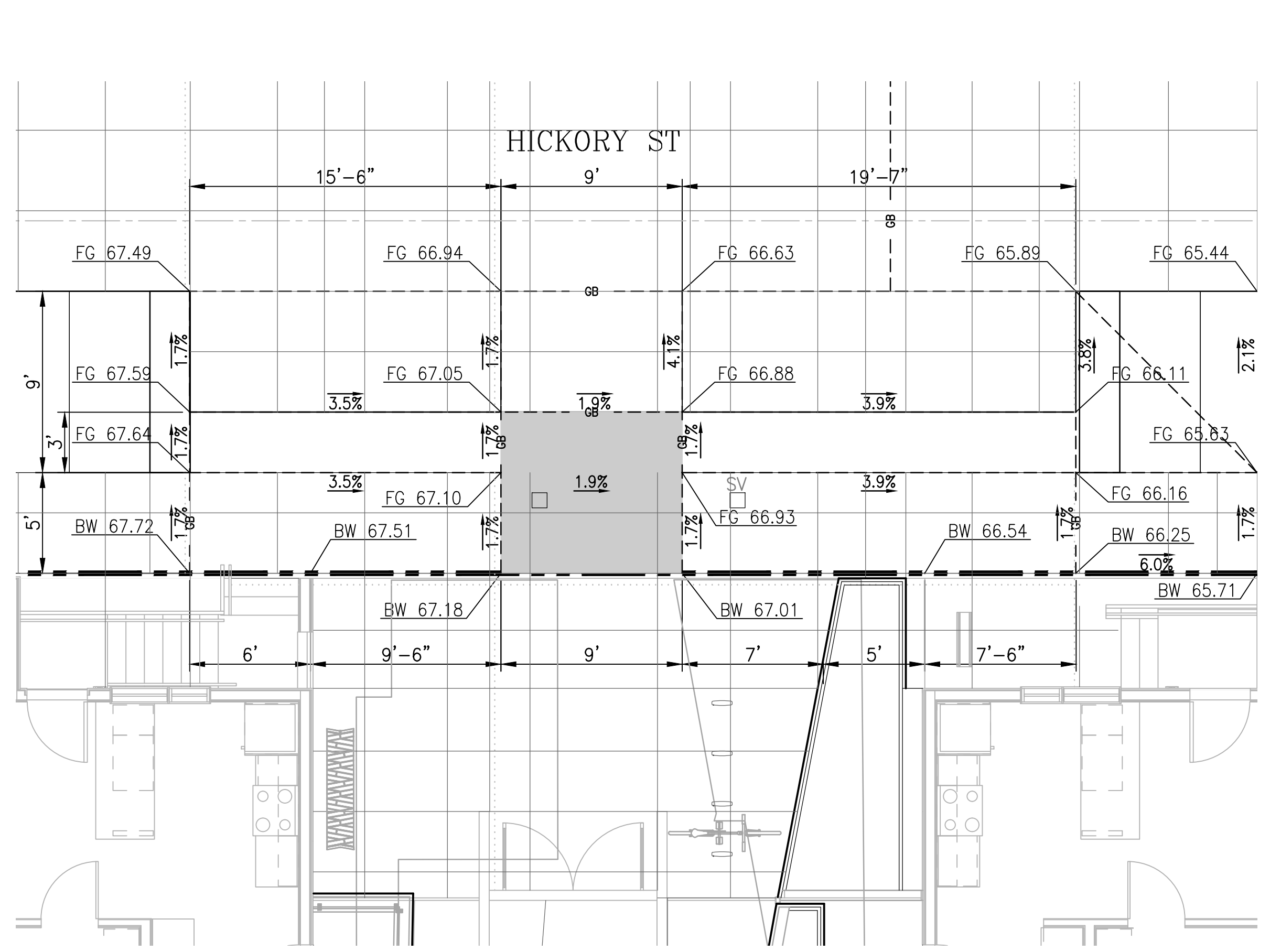


**CURB RAMP DETAIL
 OAK ST & OCTAVIA ST**
 SCALE: 1"=5"
 E

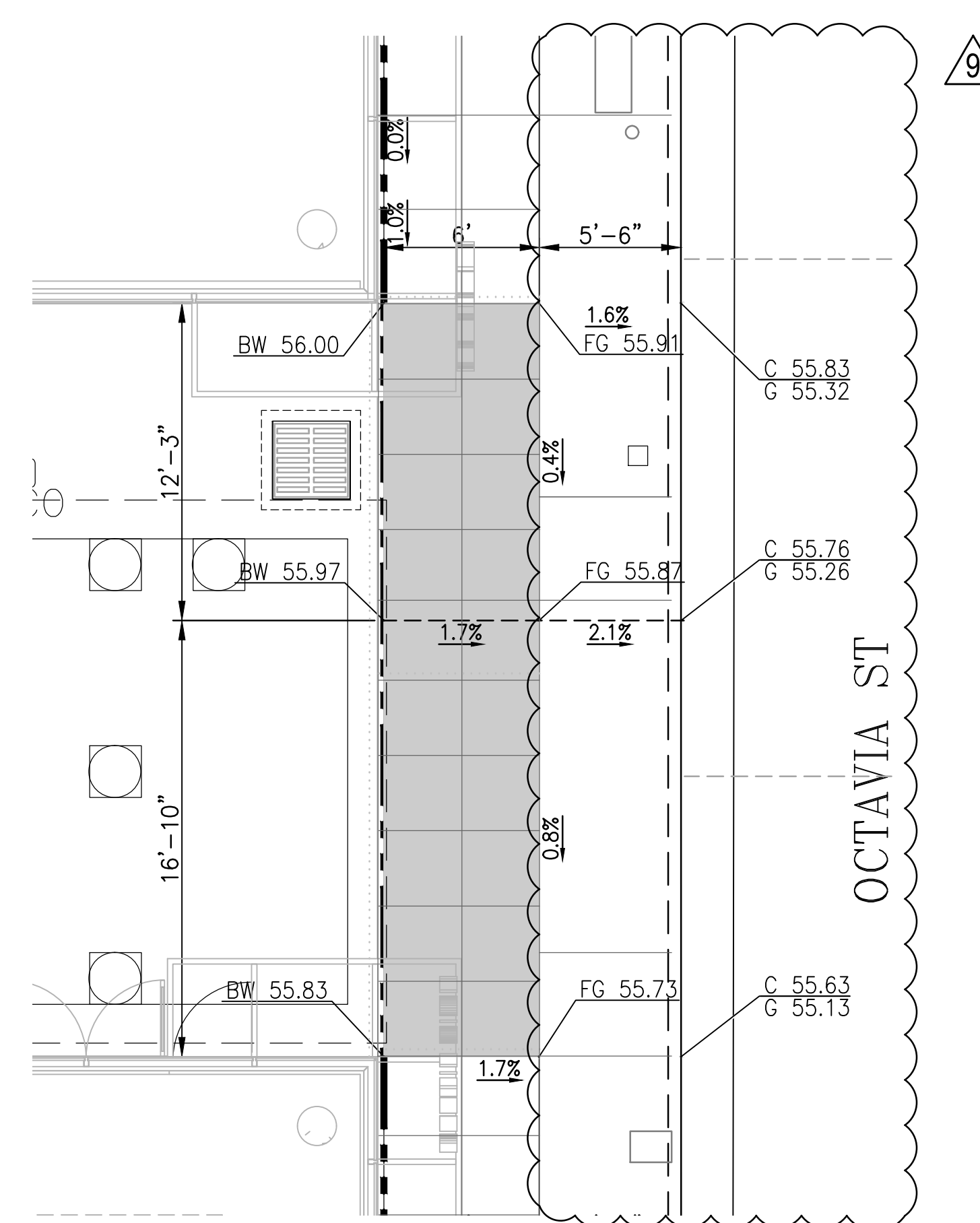
323-325 OCTAVIA STREET & 400 LAGUNA STREET
 SAN FRANCISCO, CA 94102
 (BLOCK 0831/LOT 023)
AVALON HAYES VALLEY PARCEL P



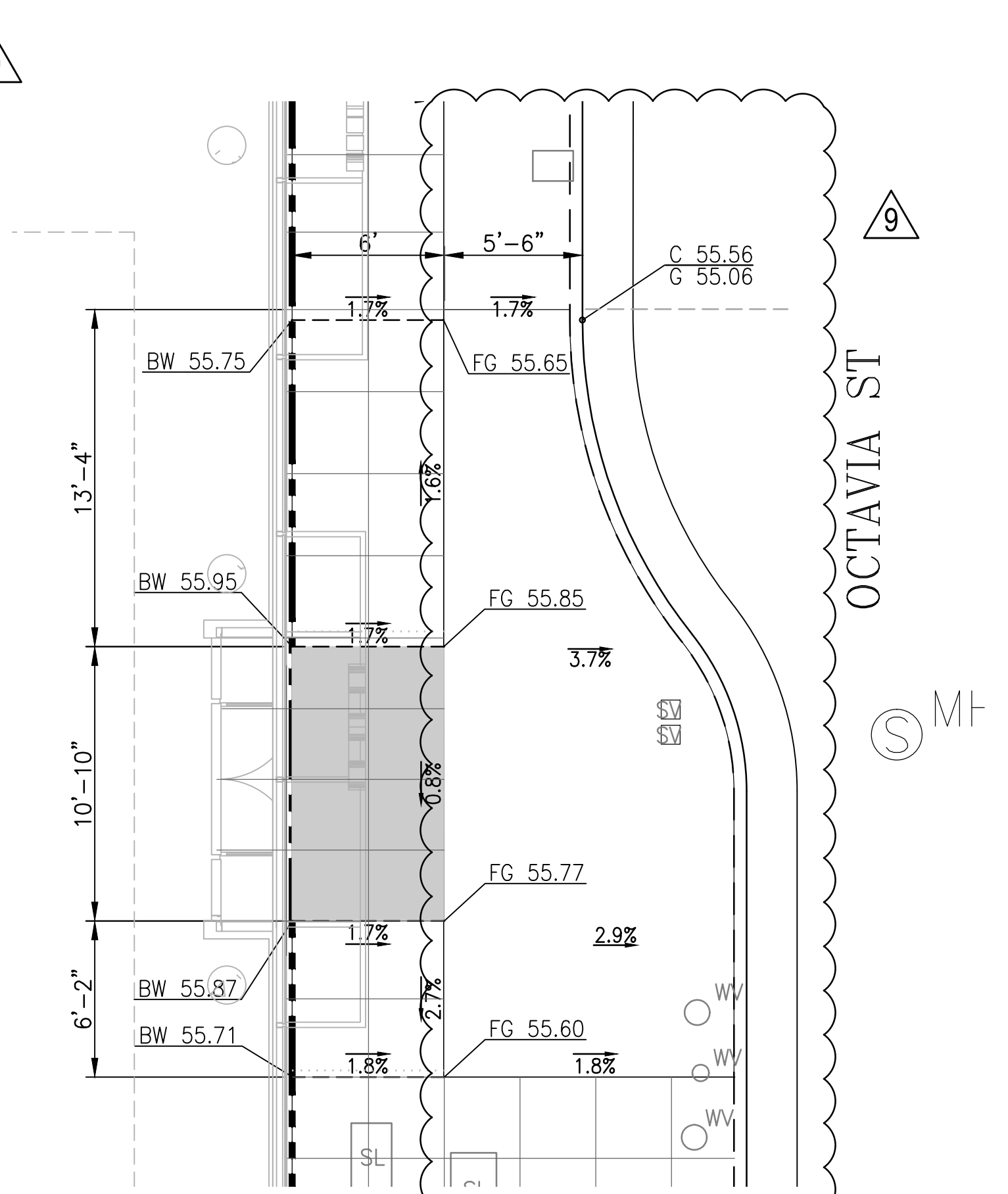
ACCESSIBLE ENTRANCE DETAIL 1
 SCALE: 1"=5'



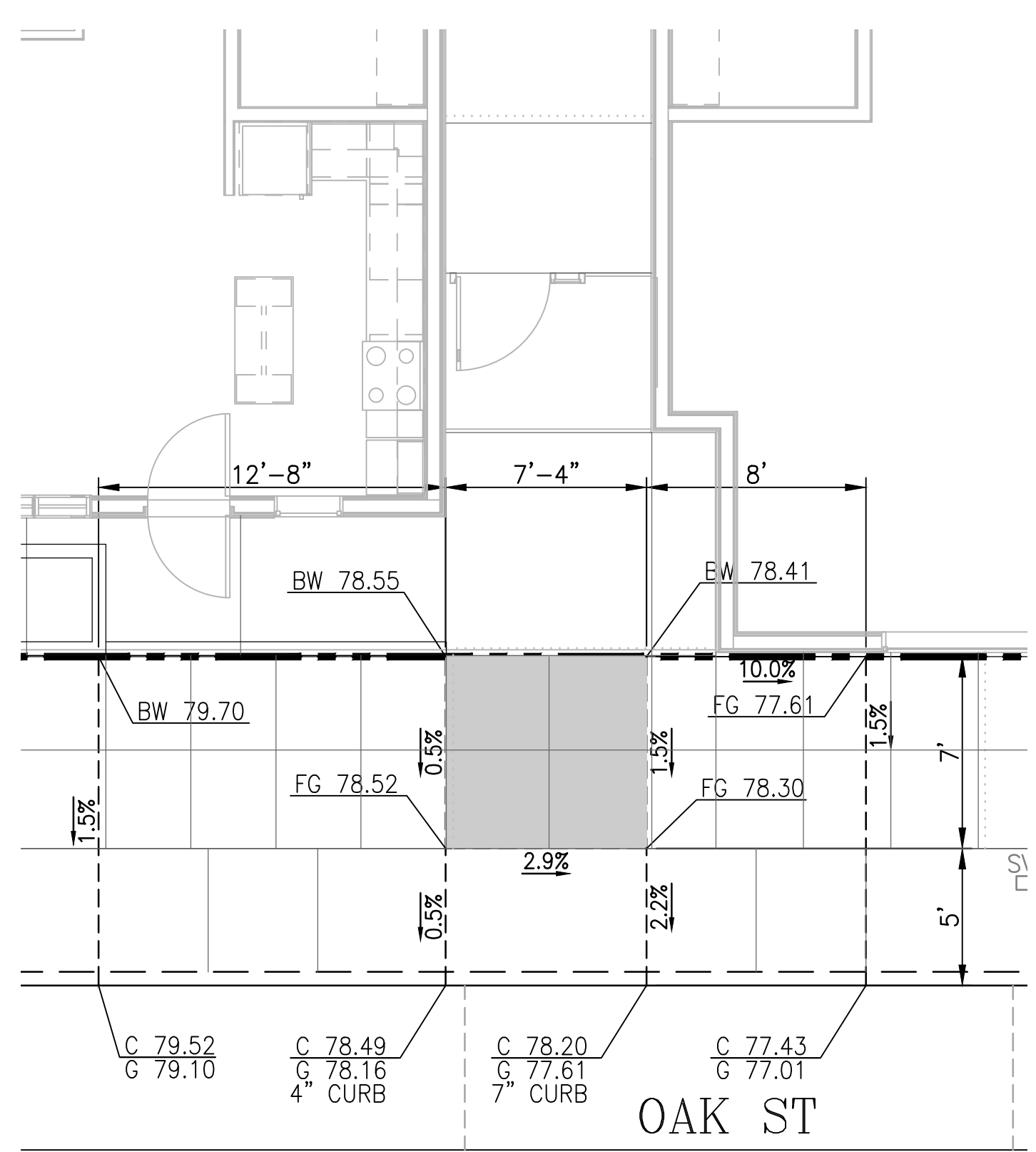
ACCESSIBLE ENTRANCE DETAIL 2
 SCALE: 1"=5'



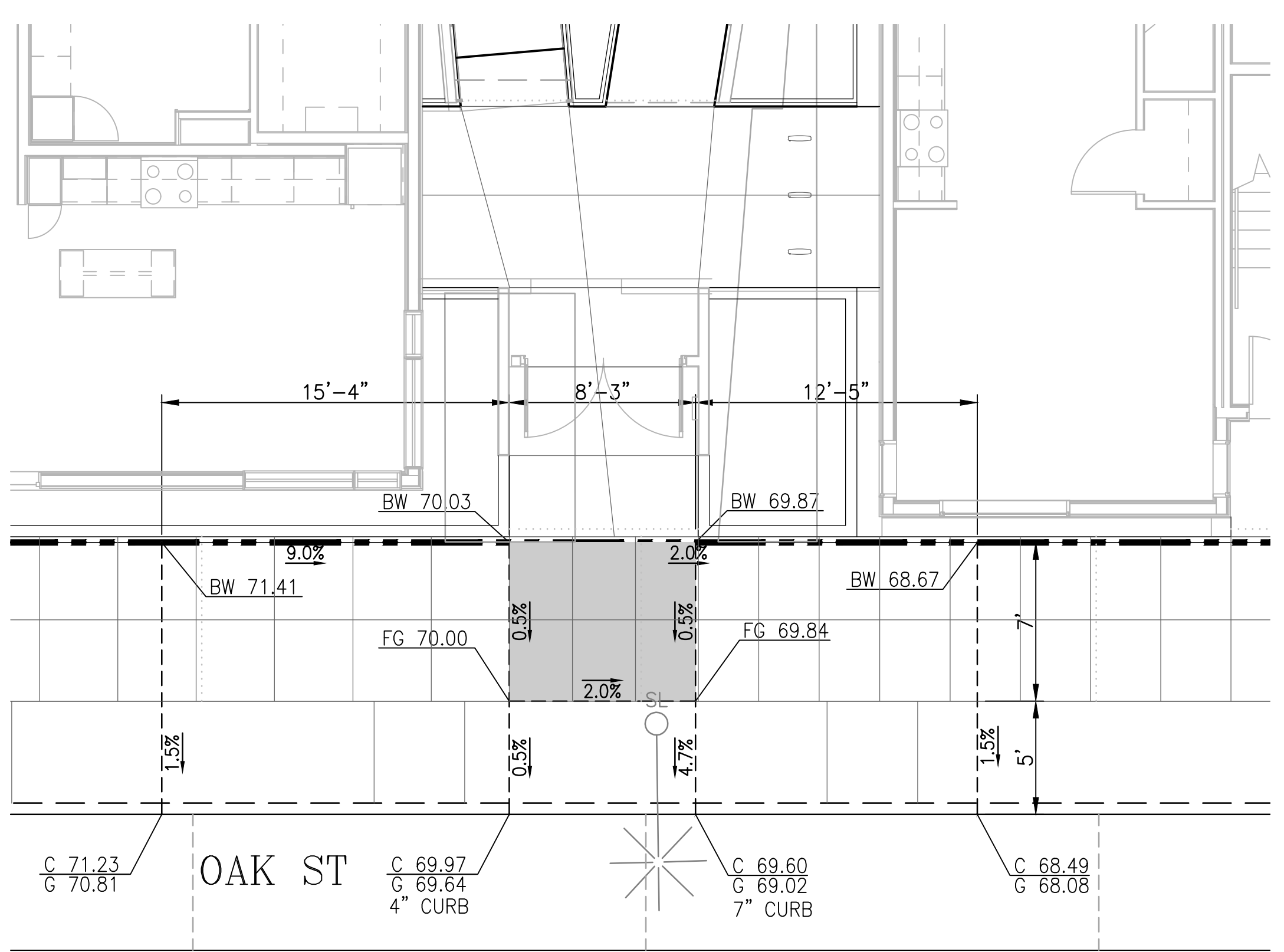
ACCESSIBLE ENTRANCE DETAIL 3
 SCALE: 1"=5'



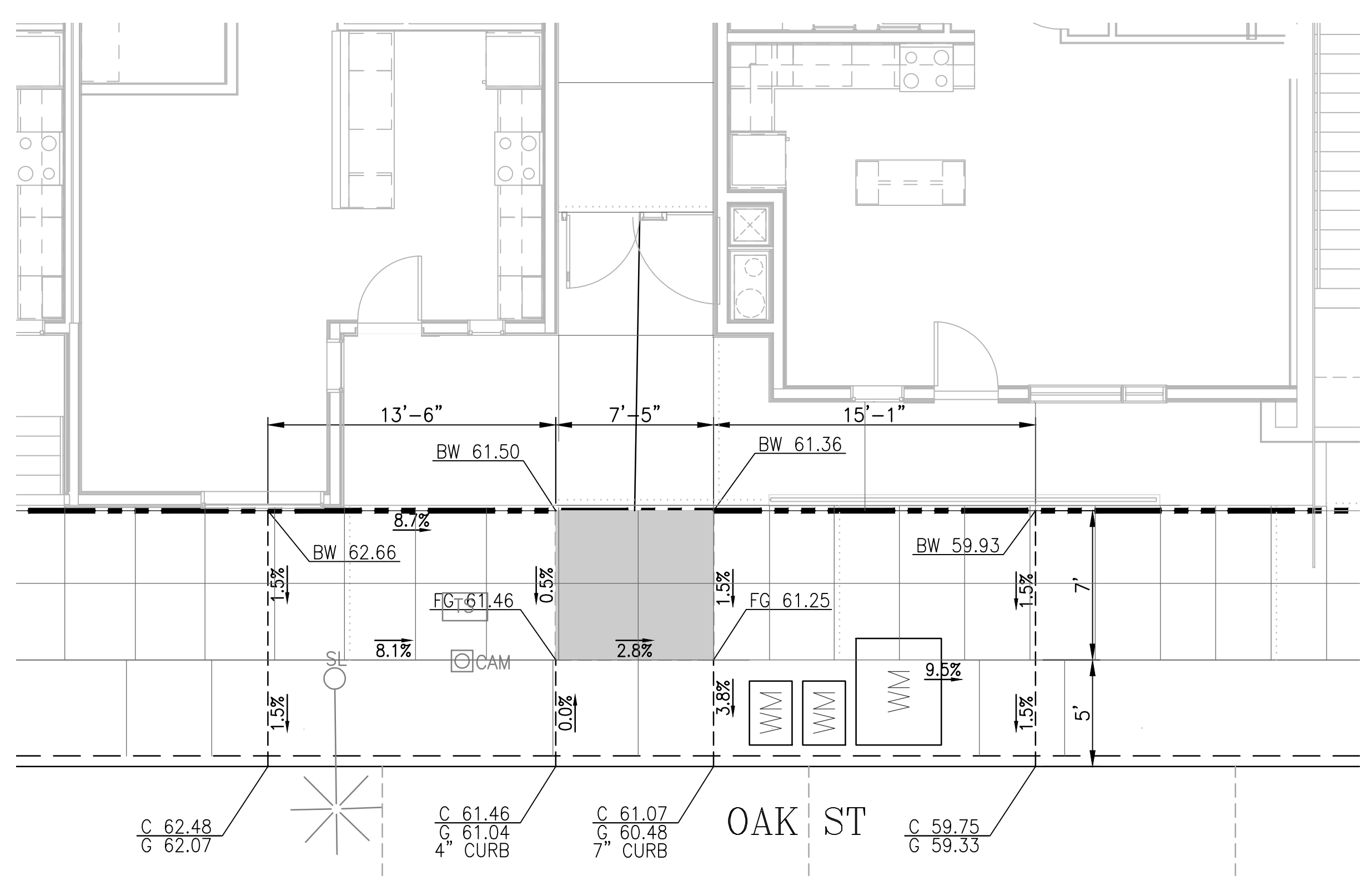
ACCESSIBLE ENTRANCE DETAIL 4
 SCALE: 1"=5'



ACCESSIBLE ENTRANCE DETAIL 5
 SCALE: 1"=5'



ACCESSIBLE ENTRANCE DETAIL 6
 SCALE: 1"=5'



ACCESSIBLE ENTRANCE DETAIL 7
 SCALE: 1"=5'

LEGEND:
 ACCESSIBLE ENTRANCE AREA

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SFPD/W COMMENTS REV.	07/18/2014
LAGUNA ST. REVISIONS	09/09/2014
SFPD COMMENTS REV.	09/24/2014

Stamp:

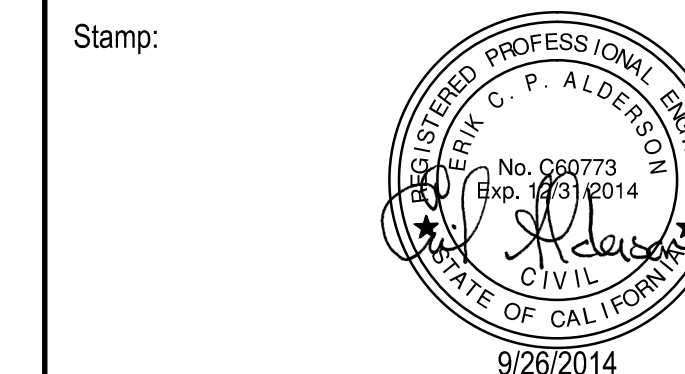
Client:
AVALON BAY COMMUNITIES
 455 MARKET STREET, SUITE 1650
 SAN FRANCISCO, CA 94105

Job Number: 1018
 Drawn by: EA
 Checked by: KL
 Date: SEPT. 9, 2014
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Title:
ACCESSIBLE ENTRANCE DETAILS

Sheet

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 SAN FRANCISCO, CA 94105

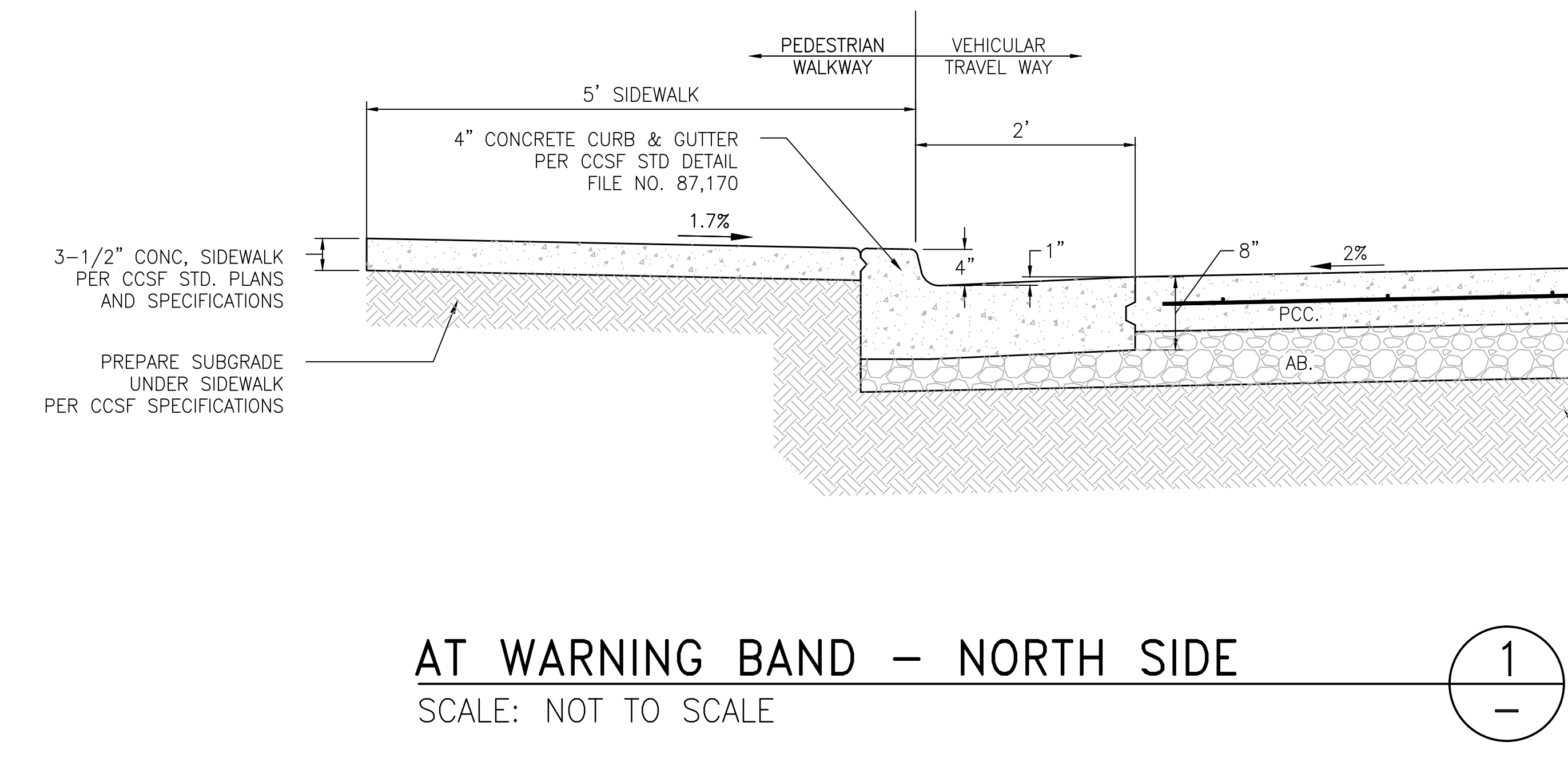
Job Number: 1018
 Drawn by: EA
 Checked by: KL
 Date: SEPT. 9, 2014
 Scale: AS SHOWN

Title
**CONSTRUCTION DETAILS
 HICKOTY STREET SECTIONS**

Sheet

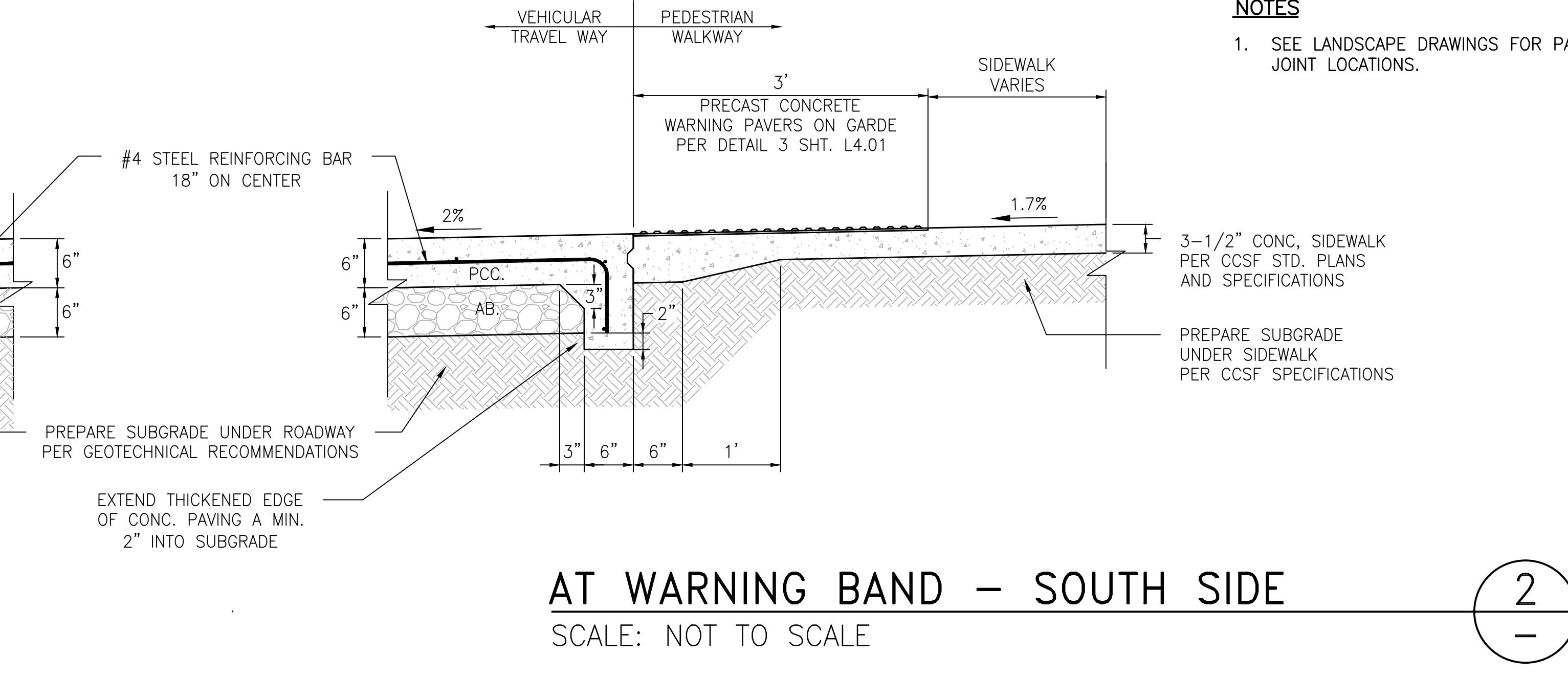
NOTES

1. SEE LANDSCAPE DRAWINGS FOR PAVEMENT FINISH AND CONTRACTION JOINT LOCATIONS.



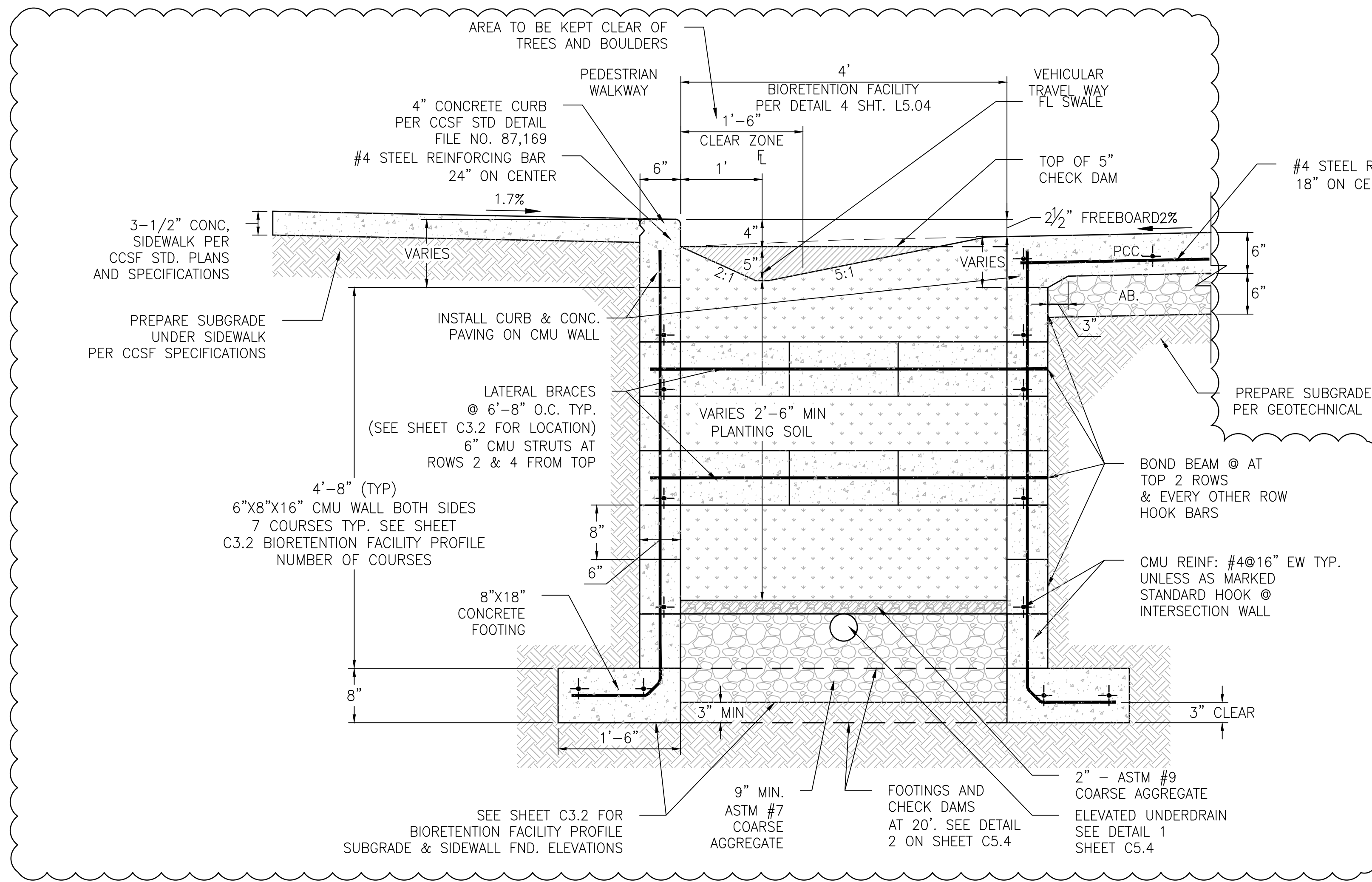
AT WARNING BAND - NORTH SIDE
 SCALE: NOT TO SCALE

1



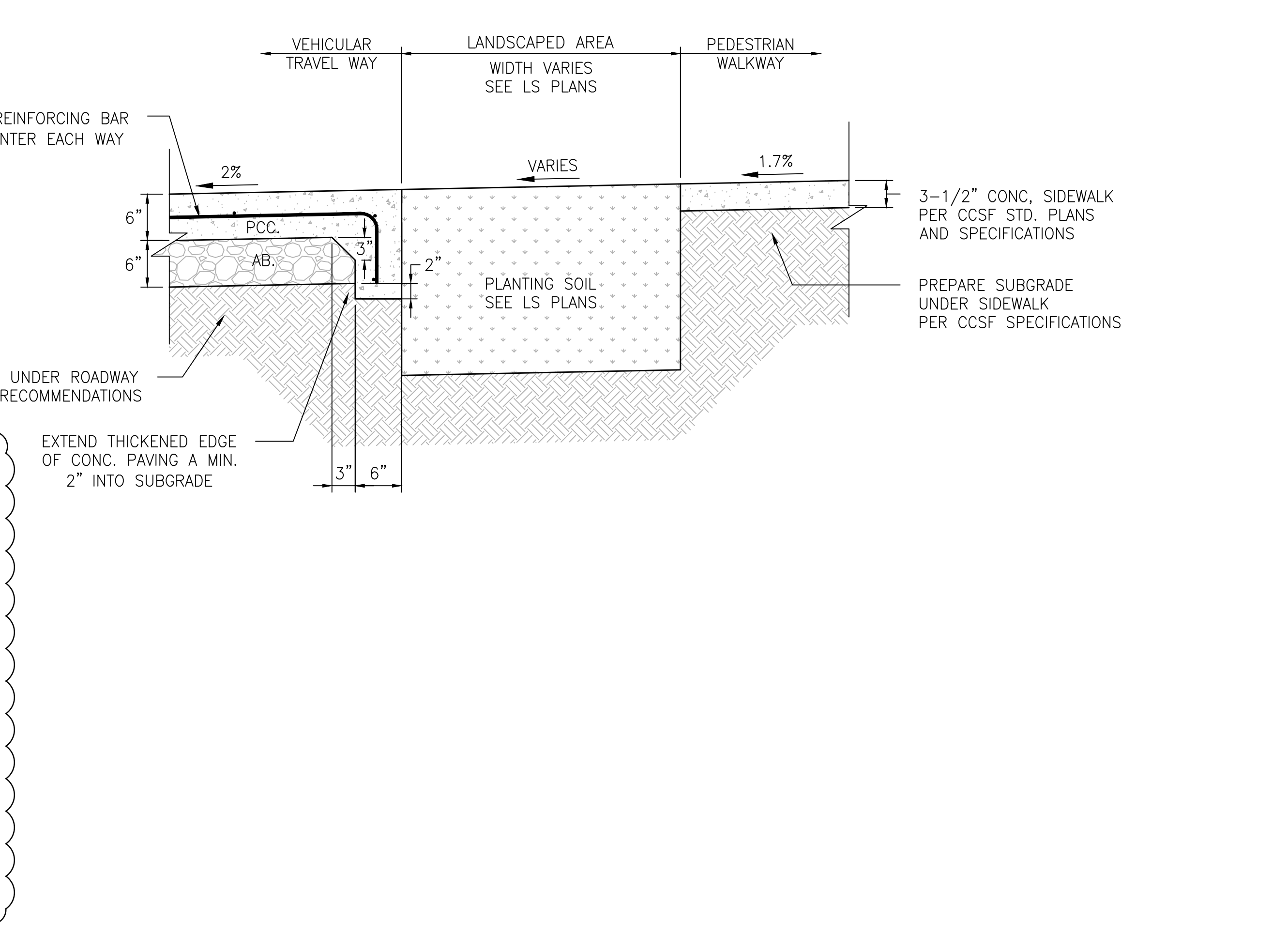
AT WARNING BAND - SOUTH SIDE
 SCALE: NOT TO SCALE

2



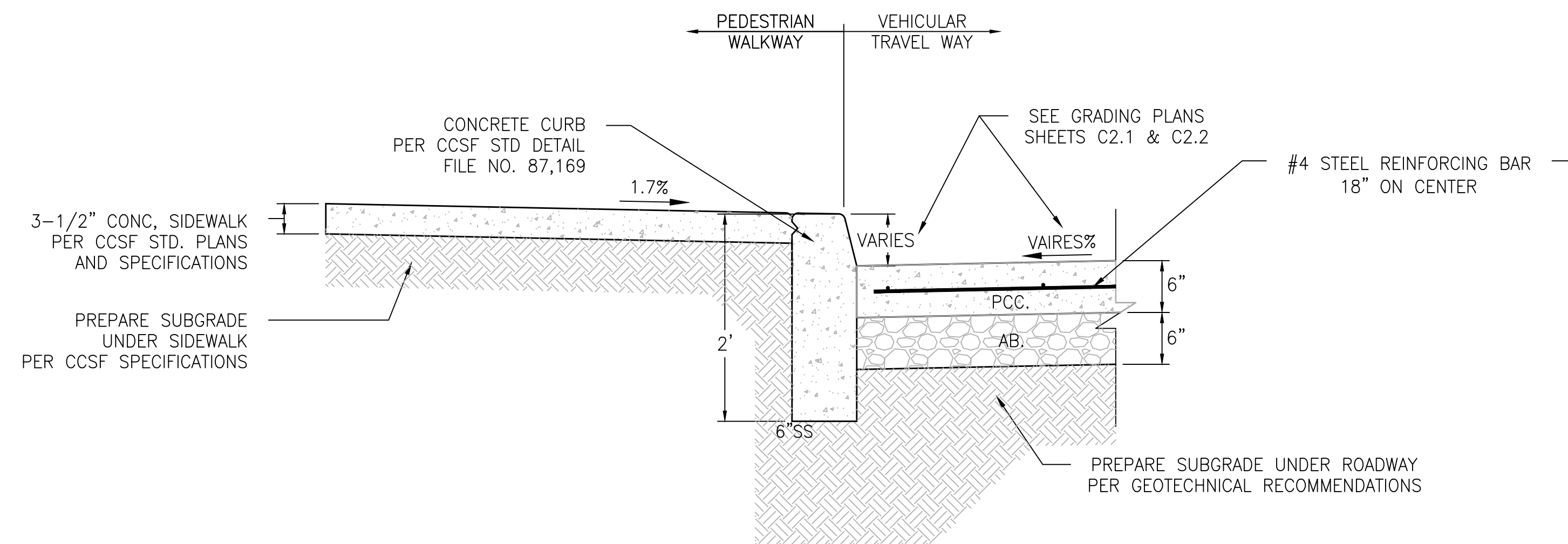
AT BIORETENTION FACILITY
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3



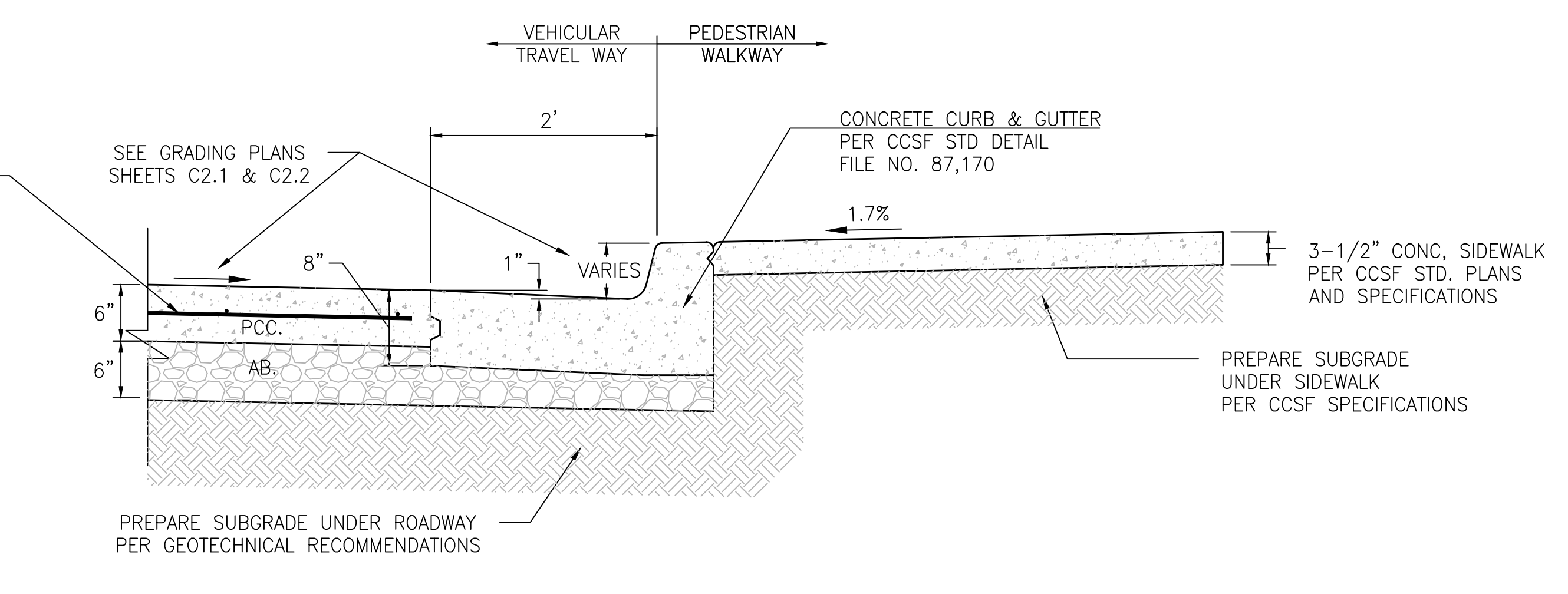
AT LANDSCAPED AREAS
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4



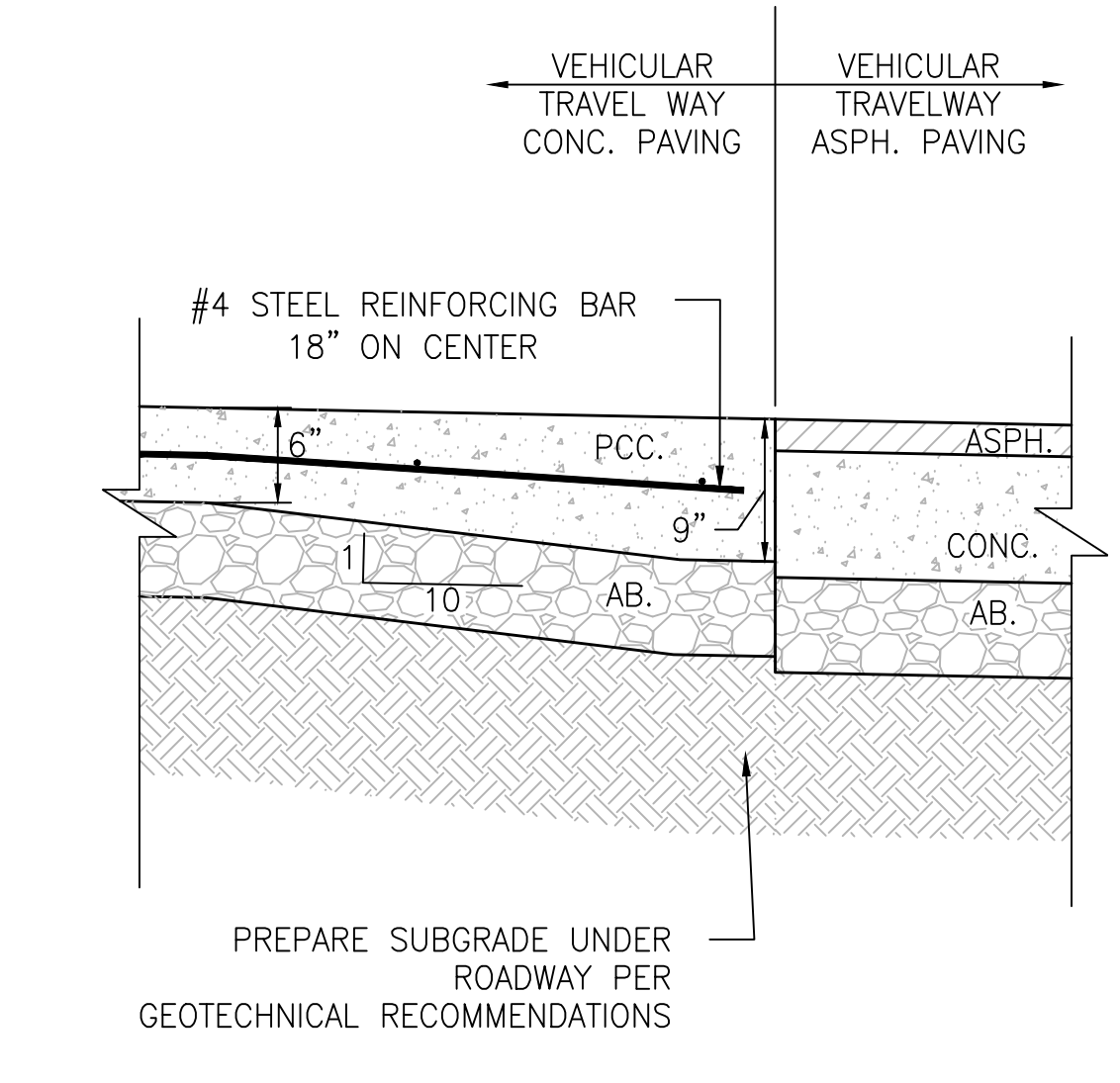
AT VERTICAL CURB
 SCALE: NOT TO SCALE

5



AT CURB & GUTTER
 SCALE: NOT TO SCALE


6



AT EDGE CONDITION
 SCALE: NOT TO SCALE

7

SITE PERMIT SET	10/03/2012
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Stamp:


Client:
AVALON BAY COMMUNITIES
 455 MARKET STREET, SUITE 1650
 SAN FRANCISCO, CA 94105

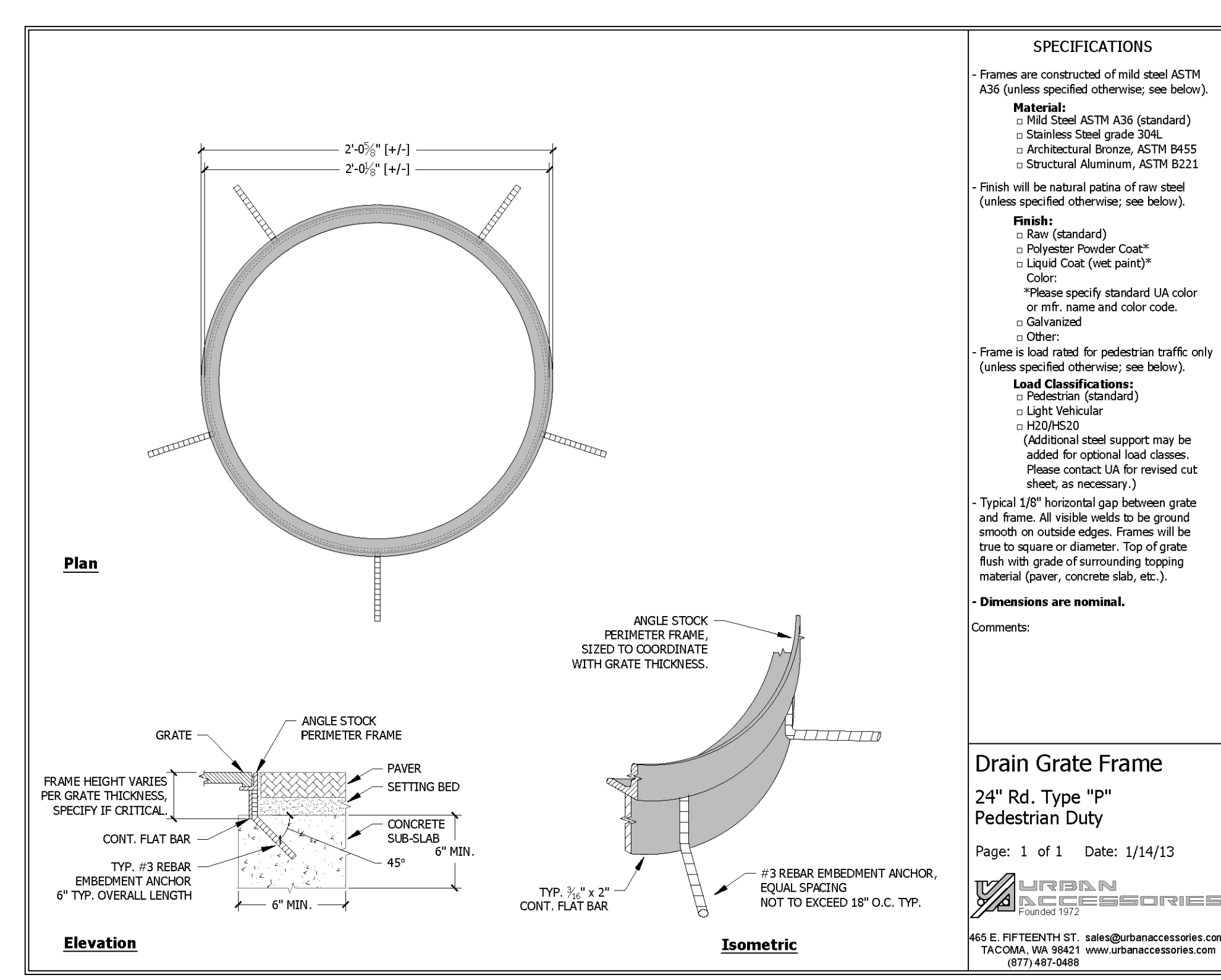
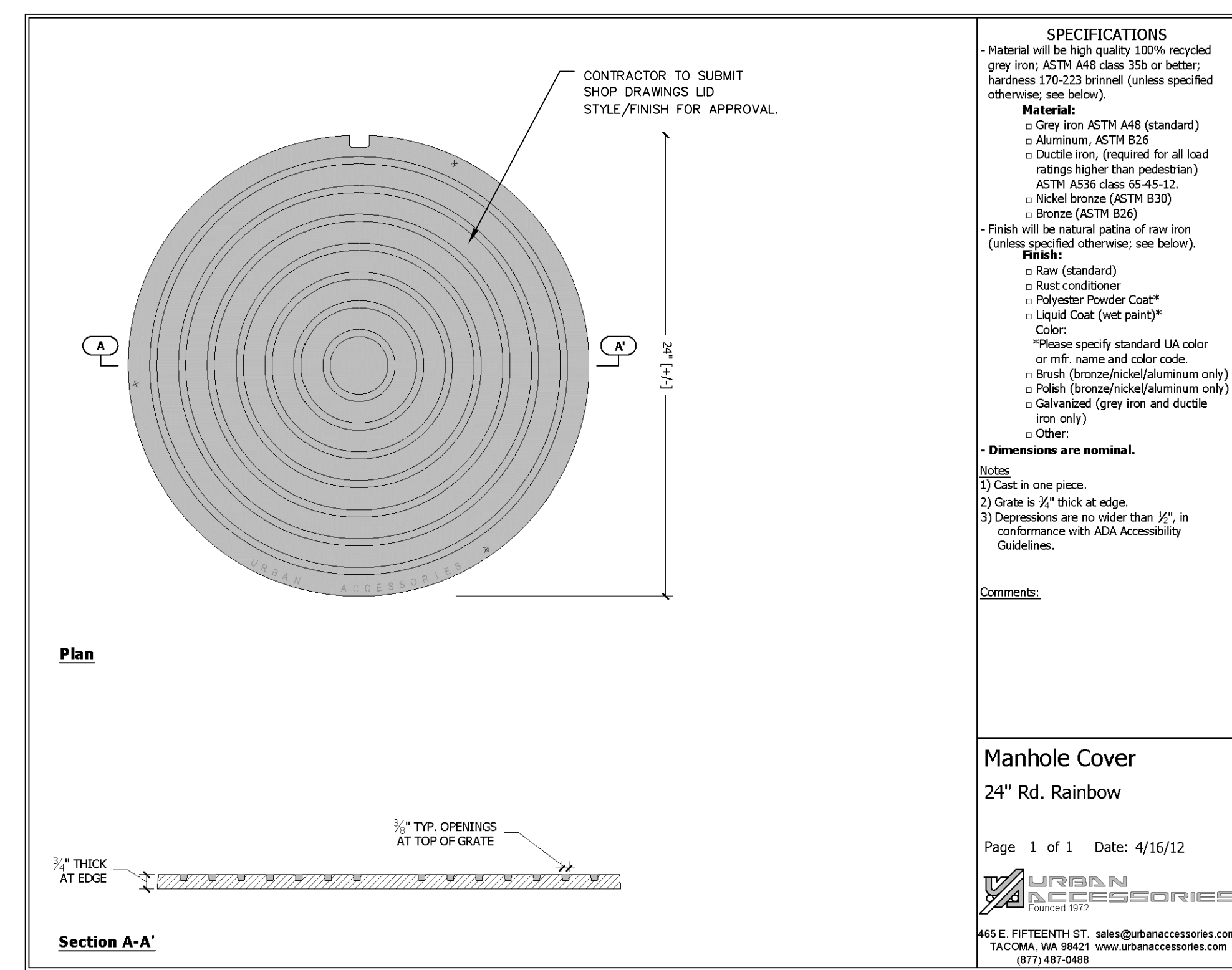
Job Number: 1018
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Title
CONSTRUCTION DETAILS

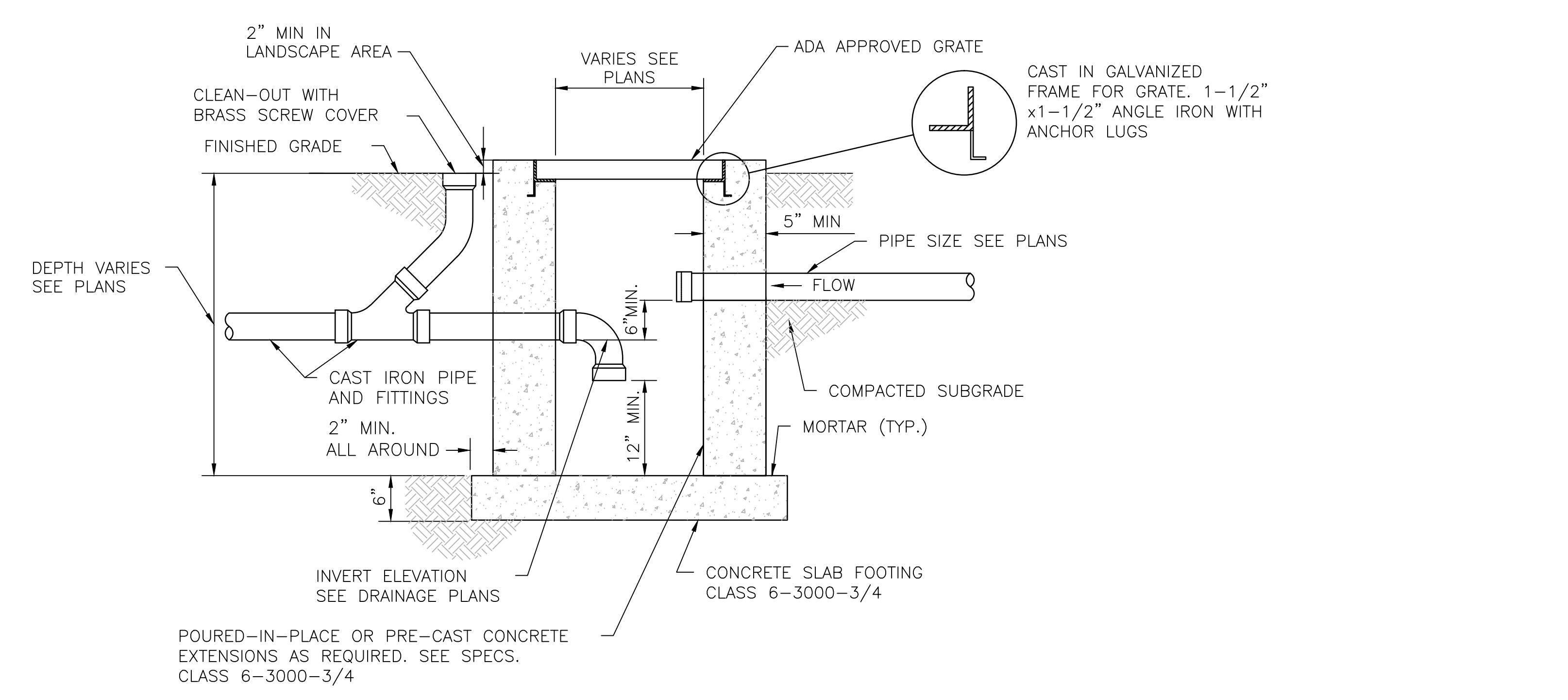
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C5.2

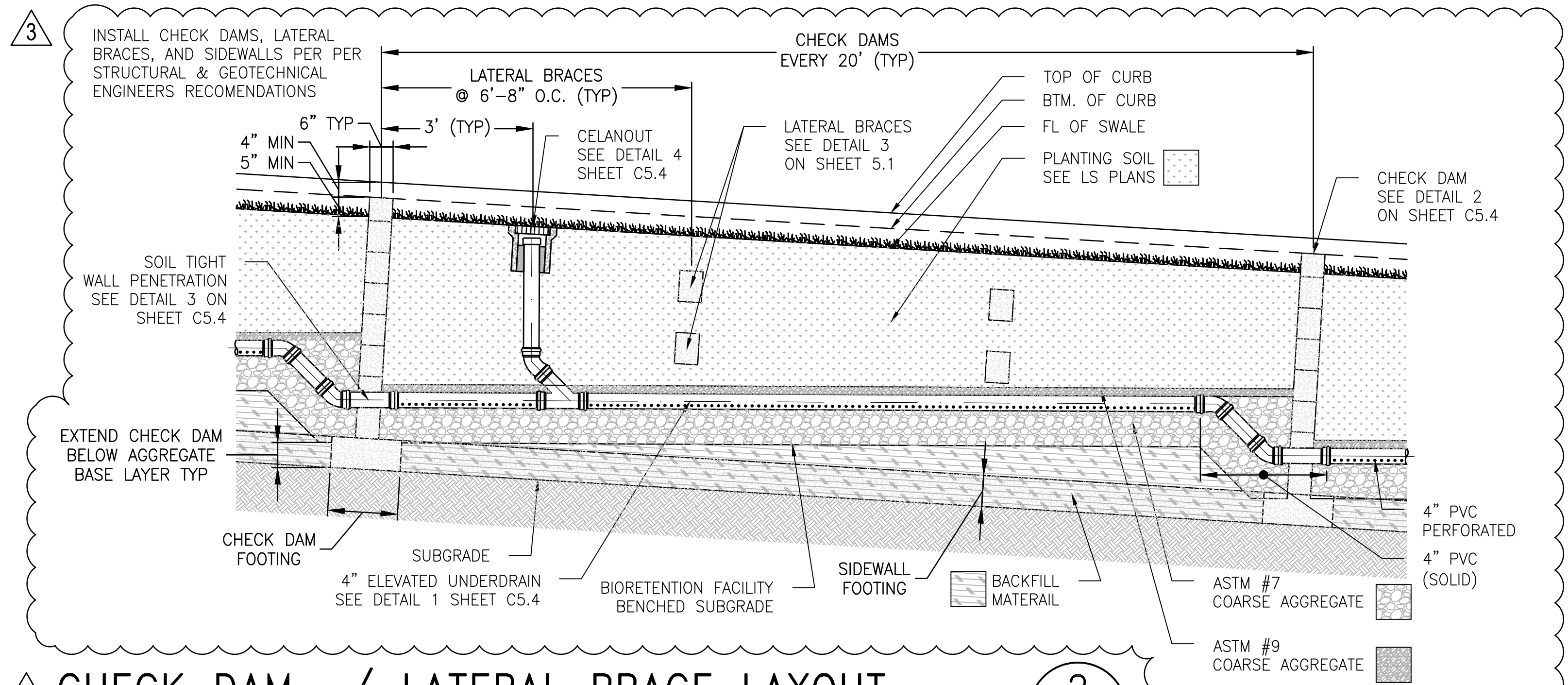
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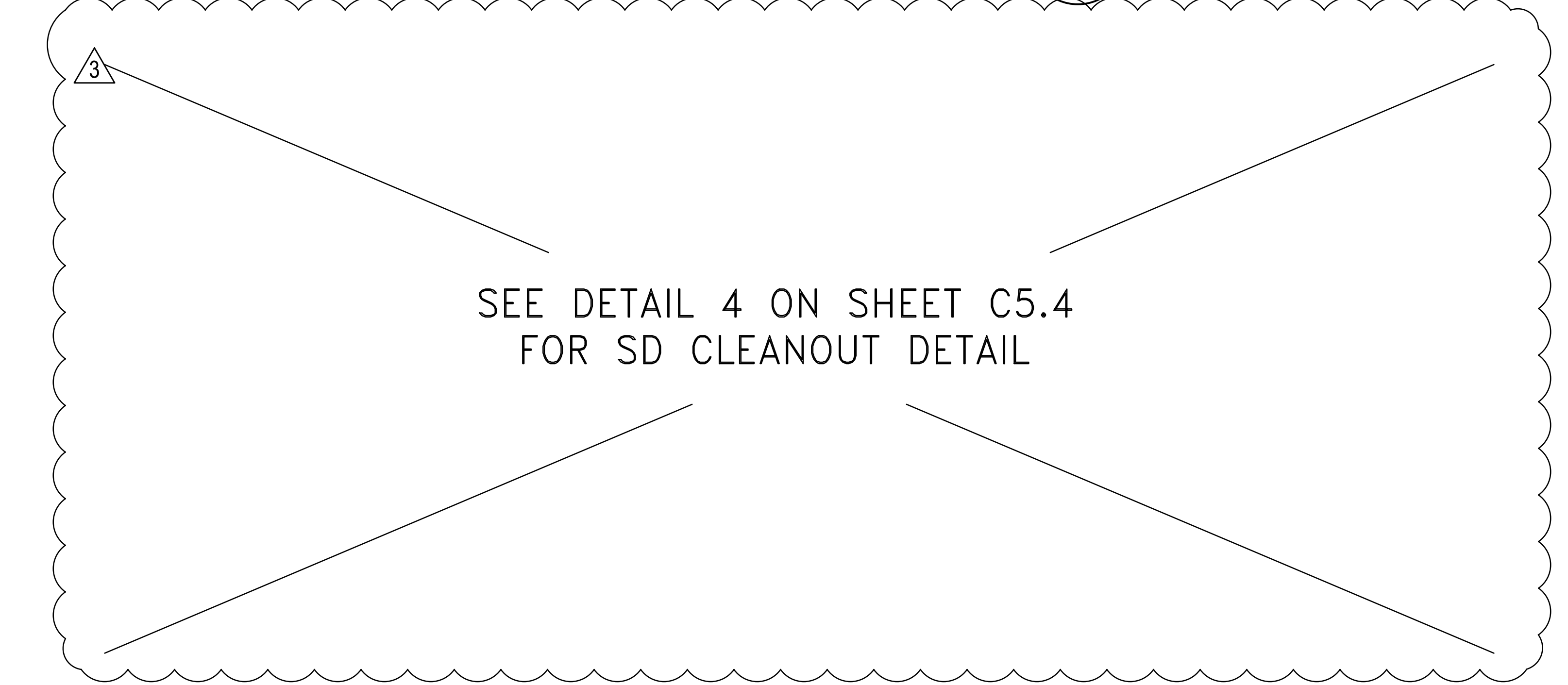
DRYWELL ACCESS COVER DETAIL
SCALE: NOT TO SCALE



CATCH BASIN / SAND TRAP WITH CLEANOUT
SCALE: NOT TO SCALE



CHECK DAM / LATERAL BRACE LAYOUT
SCALE: NOT TO SCALE



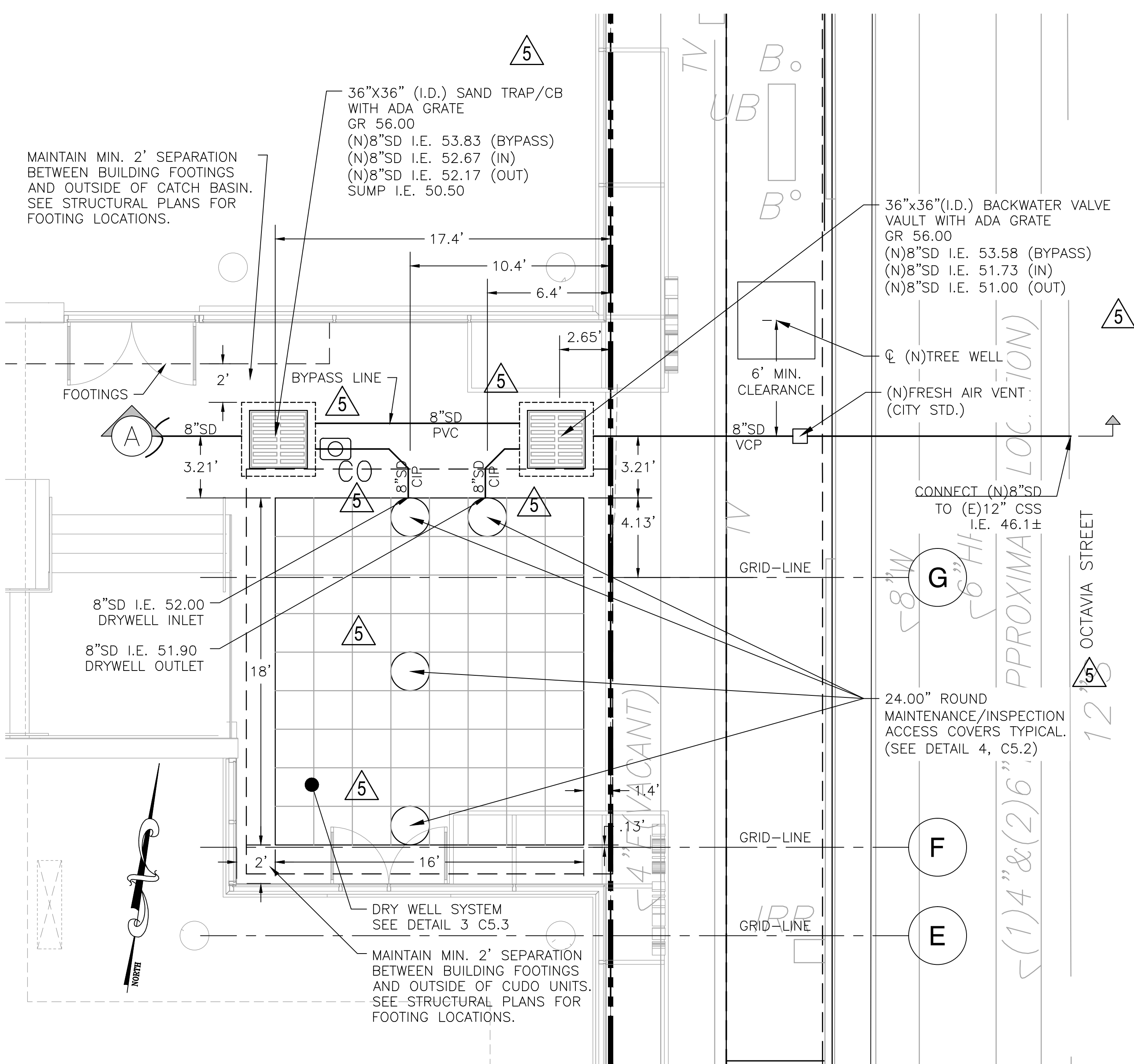
STORM DRAIN CLEANOUT
SCALE: NOT TO SCALE



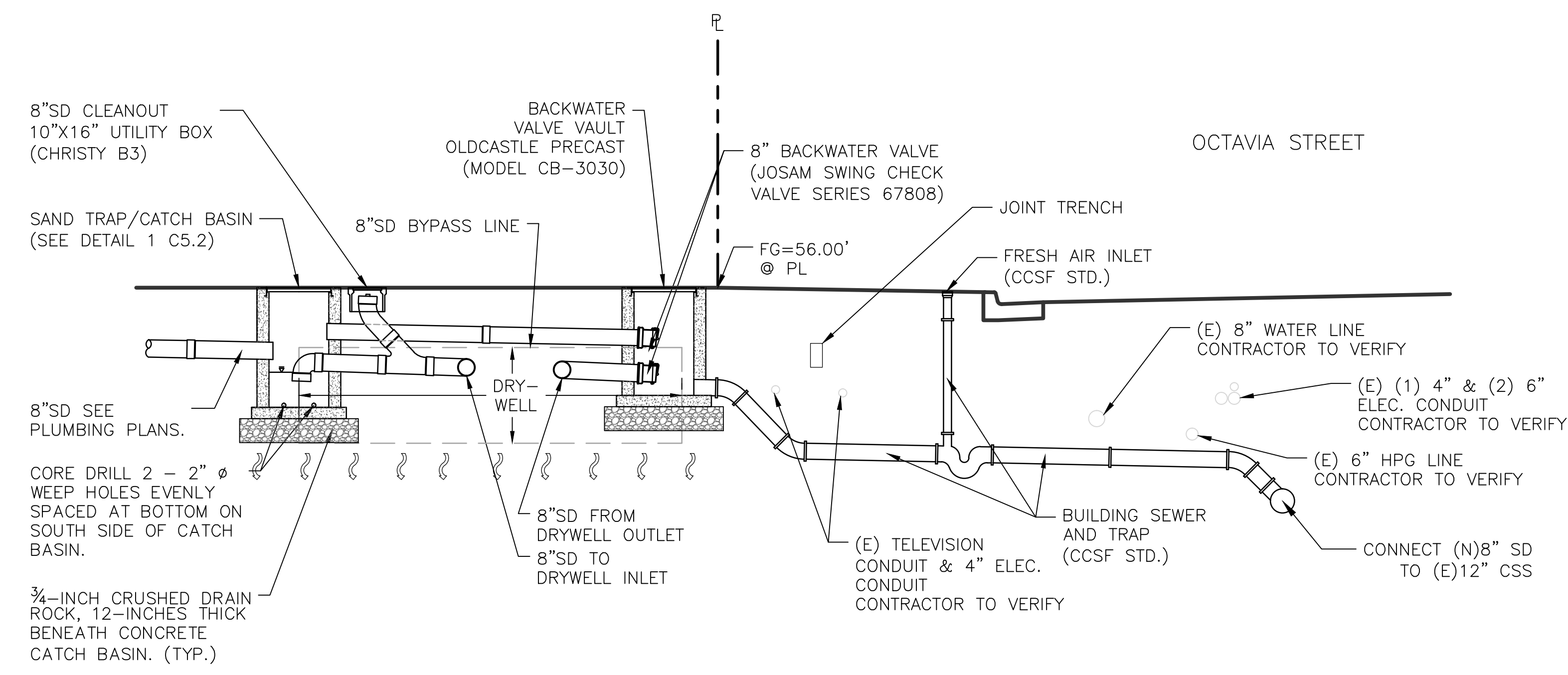
STORM DRAIN CLEANOUT
SCALE: NOT TO SCALE



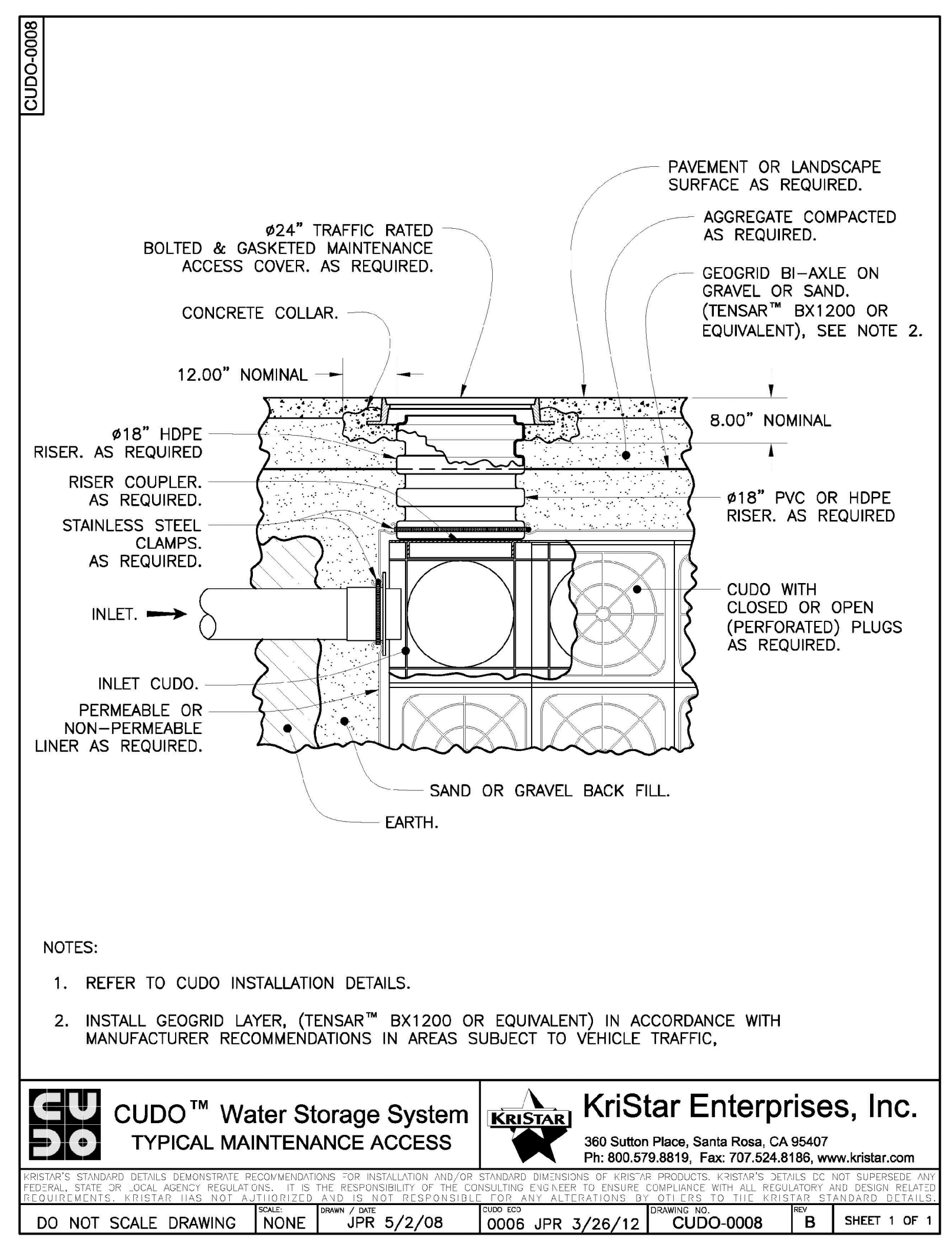
323-325 OCTAVIA STREET & 400 LAGUNA STREET
 SAN FRANCISCO, CA 94102
 (BLOCK 0831/LOT 023)
AVALON HAYES VALLEY PARCEL P



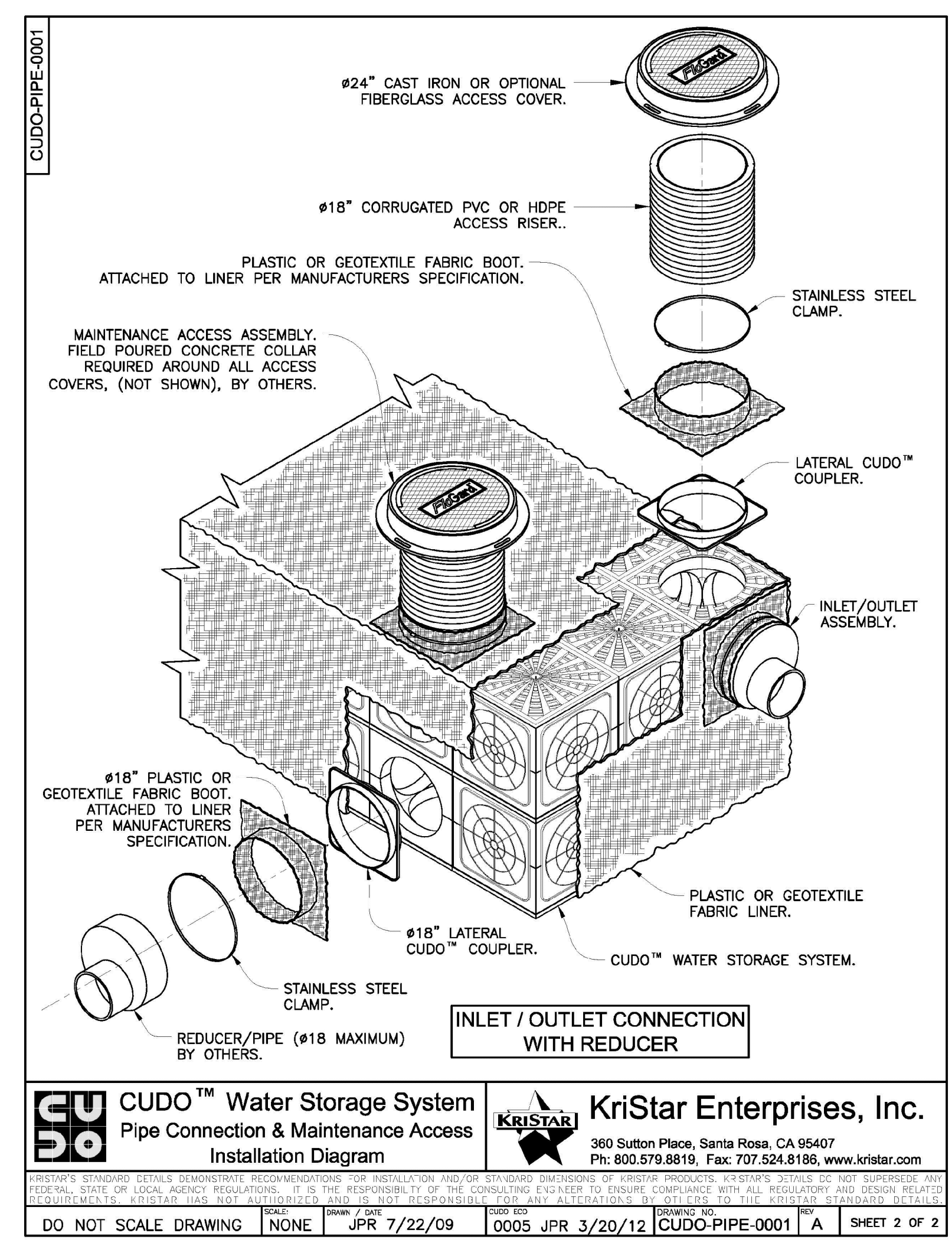
DRY WELL SYSTEM - LAYOUT
 SCALE: 1"=4'



DRY WELL SYSTEM - SECTION A-A
 SCALE: 1"=4'

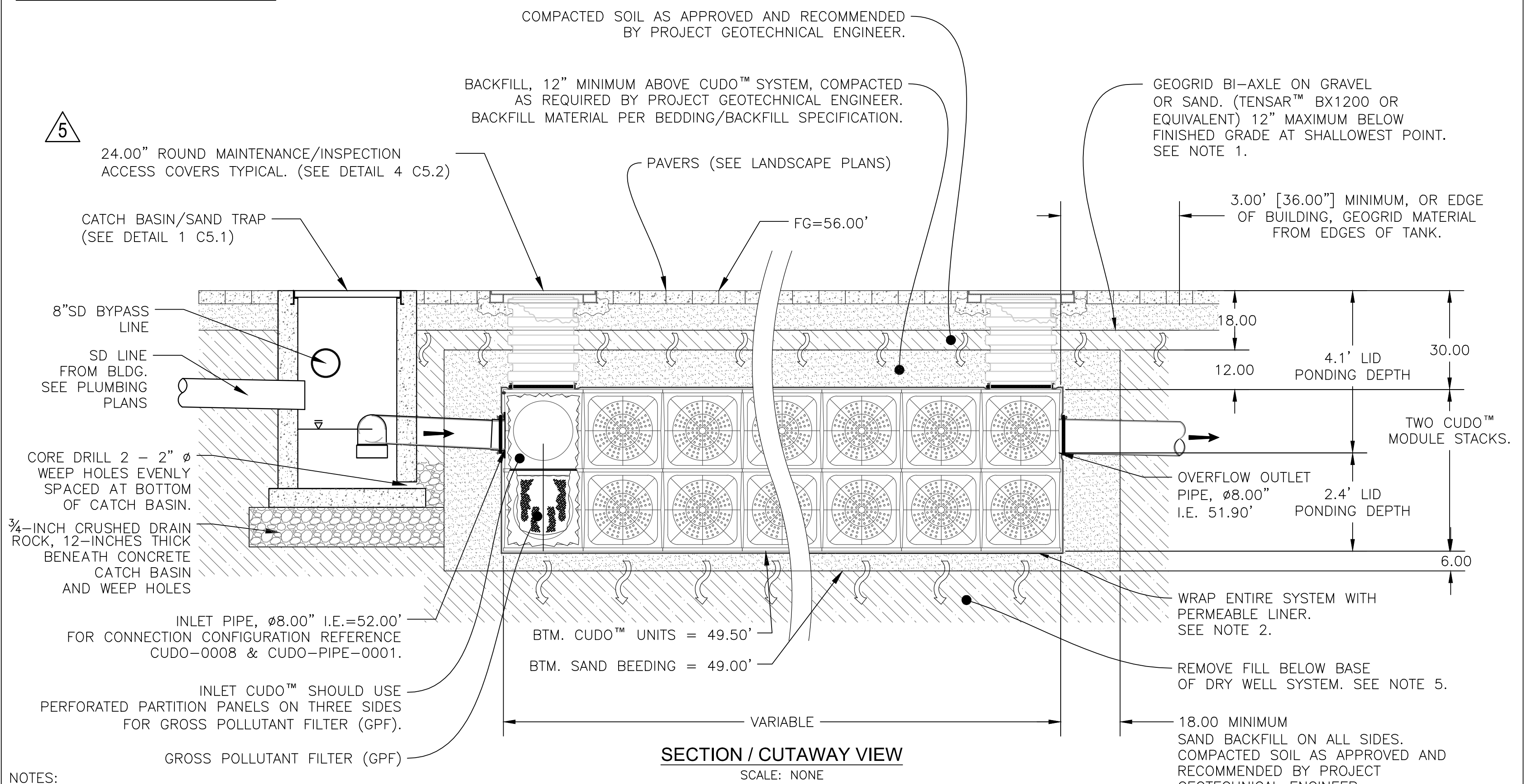


CUDO™ Water Storage System
 Typical Maintenance Access



CUDO™ Water Storage System
 Pipe Connection & Maintenance Access Installation Diagram

CUDO-IN-0002 MODIFIED



- NOTES:
- INSTALL GEOGRID LAYER, (TENSAR+ BX1200 OR EQUIVALENT) IN ACCORDANCE WITH MANUFACTURER RECOMMENDATIONS.
 - SYSTEM ENCASED ENTIRELY WITH NONWOVEN POLYPROPYLENE GEOTEXTILE FILTER FABRIC AS REQUIRED.
 - FIELD POURED CONCRETE COLLAR REQUIRED AROUND ALL ACCESS COVERS & HATCHES, BY OTHERS.
 - ALL EXTERNAL PIPING & ANGLES BY OTHERS. REFER TO PLANS.
 - CONTRACTOR SHALL REMOVE ALL FILL MATERIAL BELOW THE BASE OF THE DRY-WELL SYSTEM AND NATIVE DUNE SAND TO AN ELEVATION OF APPROXIMATELY 49' AND REPLACE WITH BACKFILL PER GEOTECHNICAL RECOMMENDATIONS.
 - BASE OF DRY-WELL SYSTEM SHALL BE INSPECTED BY GEOTECHNICAL ENGINEER PRIOR TO PLACEMENT OF BEDDING MATERIAL.

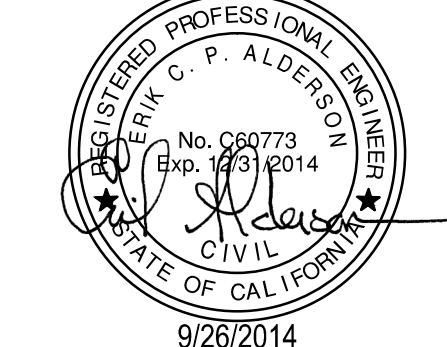
KriStar Enterprises, Inc.
 360 Sutton Place, Santa Rosa, CA 95407
 Ph: 800.579.8819, Fax: 707.524.8186, www.kristar.com

CUDO™ Stormwater Infiltration System
 Typical Installation Detail
 Permeable Pavement Area

KRISTAR'S STANDARD DETAILS DEMONSTRATE RECOMMENDATIONS FOR INSTALLATION AND/OR STANDARD DIMENSIONS OF KRISTAR PRODUCTS. KRISTAR'S DETAILS DO NOT SUPERSEDE ANY FEDERAL, STATE OR LOCAL AGENCY REGULATIONS. IT IS THE RESPONSIBILITY OF THE CONSULTING ENGINEER TO ENSURE COMPLIANCE WITH ALL REGULATORY AND DESIGN RELATED REQUIREMENTS. KRISTAR HAS NOT AUTHORIZED AND IS NOT RESPONSIBLE FOR ANY ALTERATIONS BY OTHERS TO THE KRISTAR STANDARD DETAILS.

DRY WELL SYSTEM DETAIL
 SCALE: NOT TO SCALE

STREET IMPROVEMENT SUBMITTAL	11/01/2012
DESIGN DEVELOPMENT PRICING SET	11/29/2012
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AVALON BAY COMMUNITIES
 455 MARKET STREET, SUITE 1650
 SAN FRANCISCO, CA 94105

Job Number: 1018
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 Checked by: KL
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 Scale: AS SHOWN

Title
CONSTRUCTION DETAILS

Sheet

C5.3

SITE PERMIT SET	10/03/2012
STREET IMPROVEMENT SUBMITTAL	11/01/2012
DESIGN DEVELOPMENT PRICING SET	11/29/2012
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LAGUNA ST. REVISIONS	09/09/2014
SFPUC COMMENTS REV.	09/24/2014

Stamp:

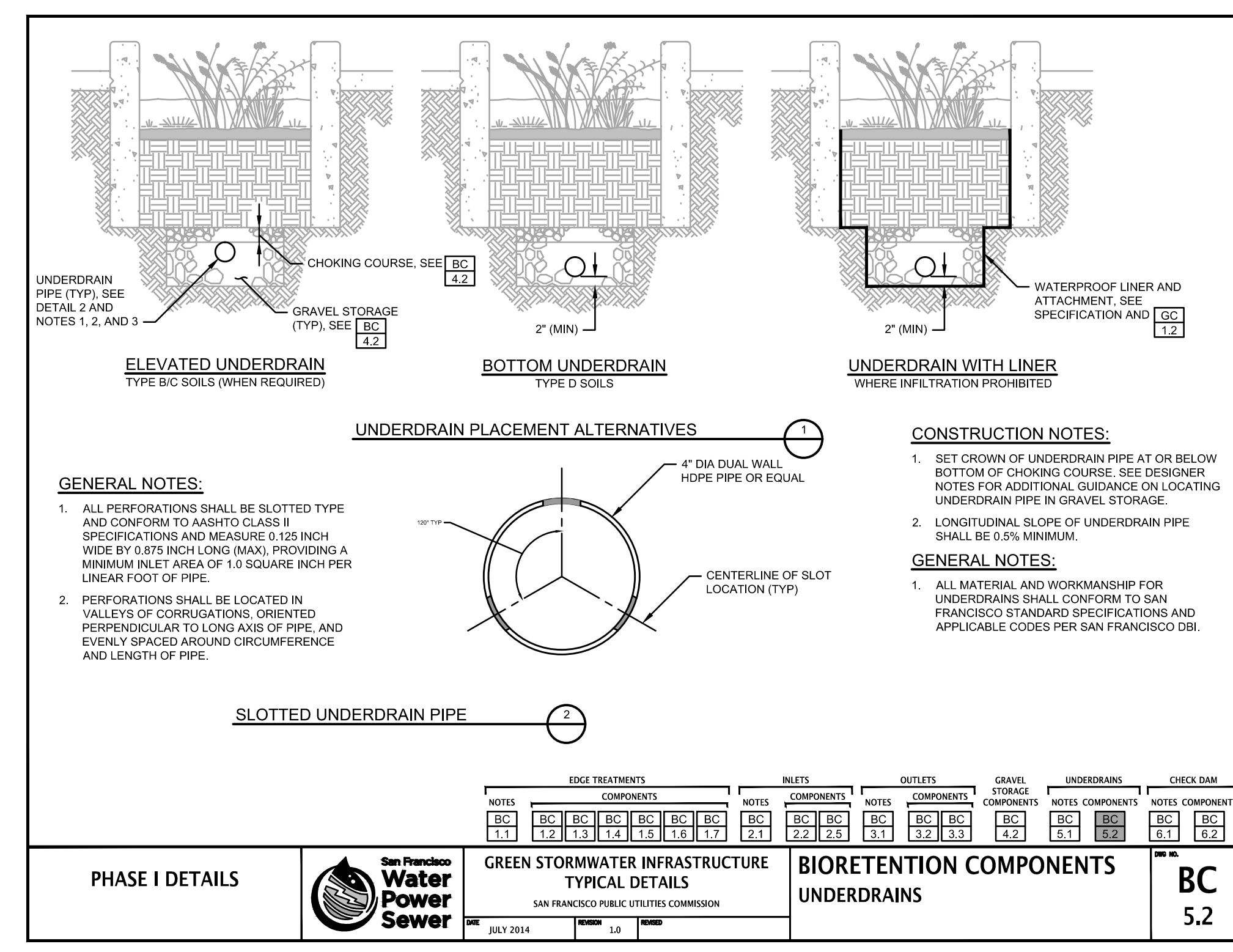
Client:
AVALON BAY COMMUNITIES
 455 MARKET STREET, SUITE 1650
 SAN FRANCISCO, CA 94105

Job Number: 1018
 Drawn by: EA
 Checked by: KL
 Date: SEPT. 9, 2014
 Scale: AS SHOWN

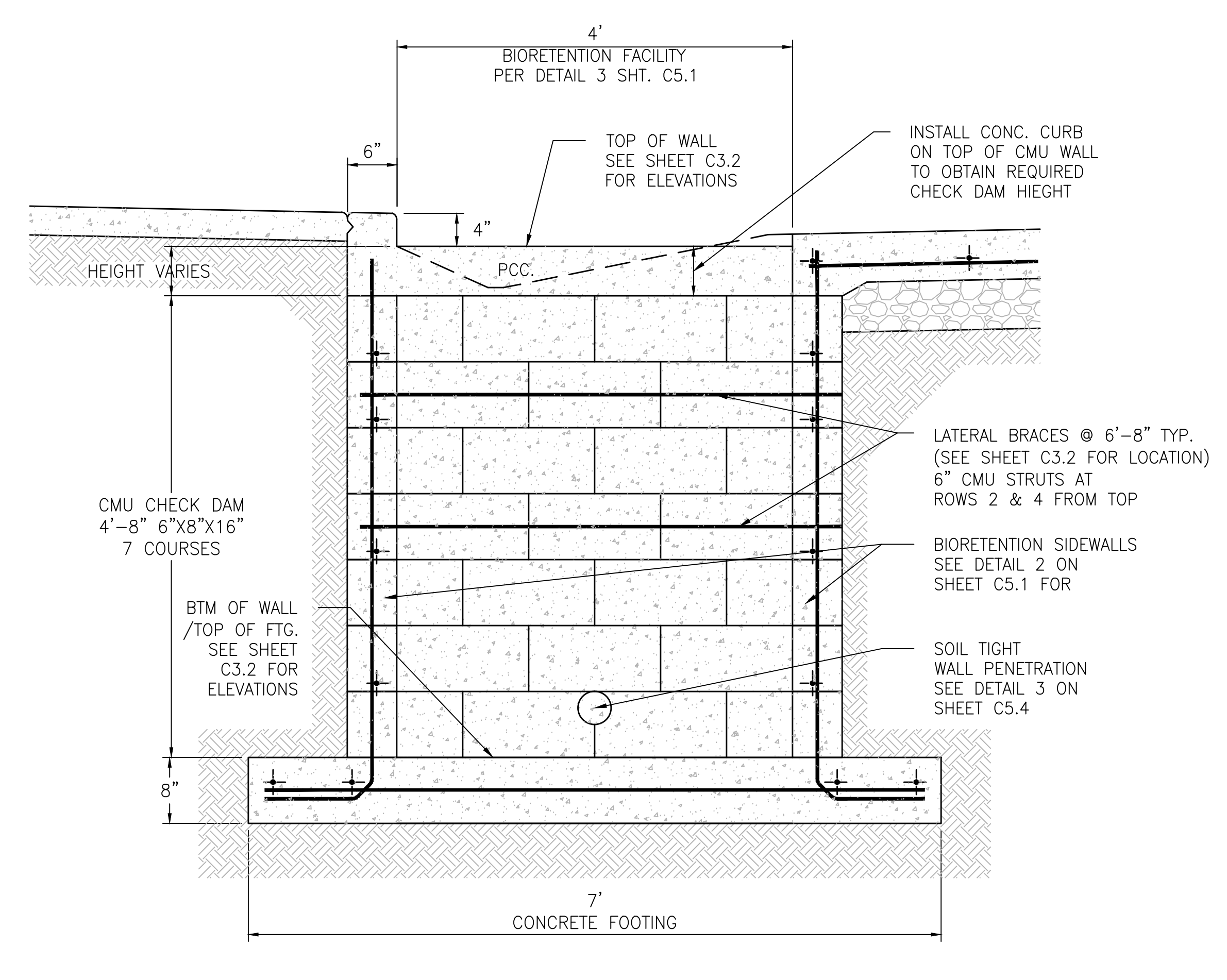
Title
SFPUC GREEN STORMWATER INFRASTRUCTURE TYPICAL DETAILS

Sheet

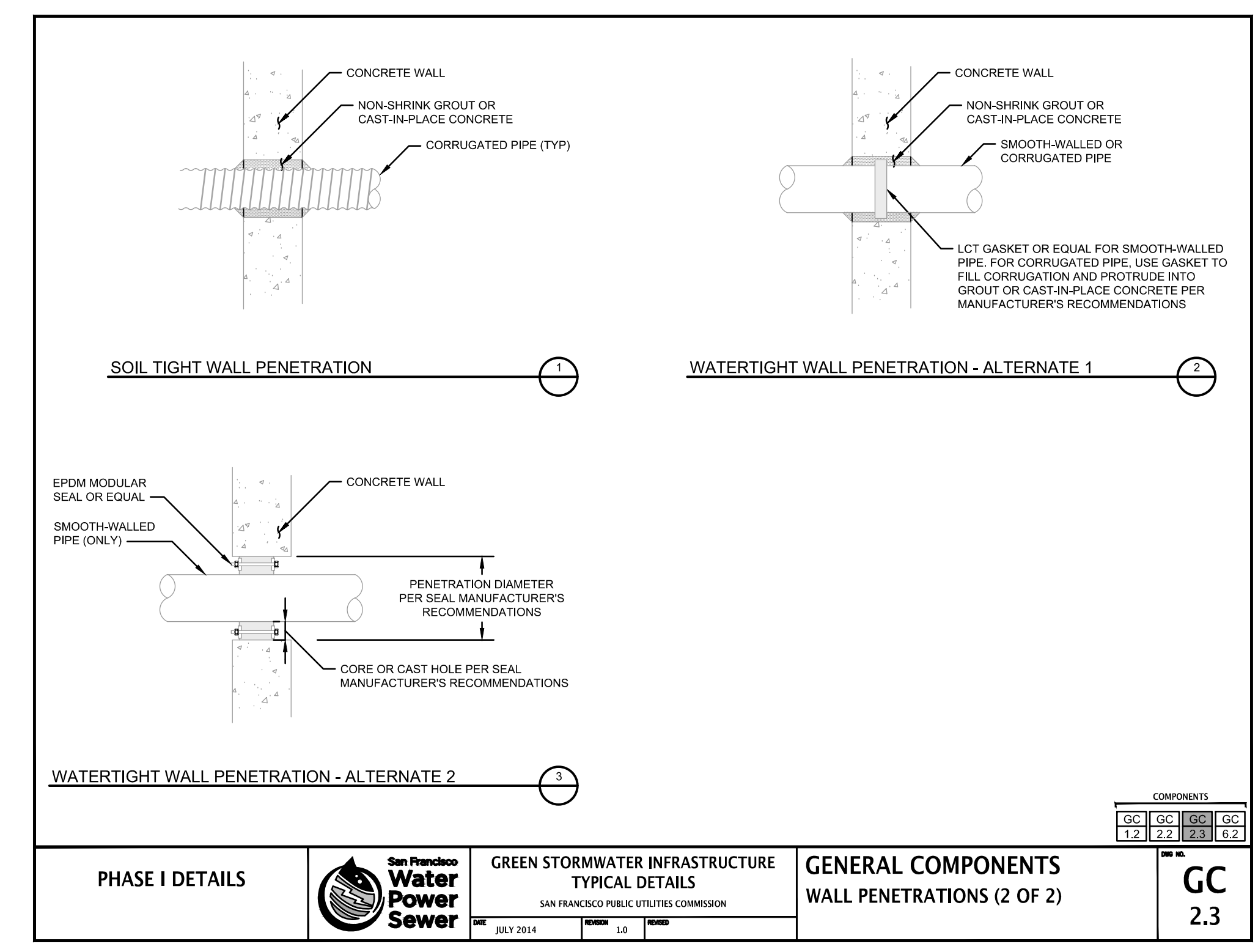
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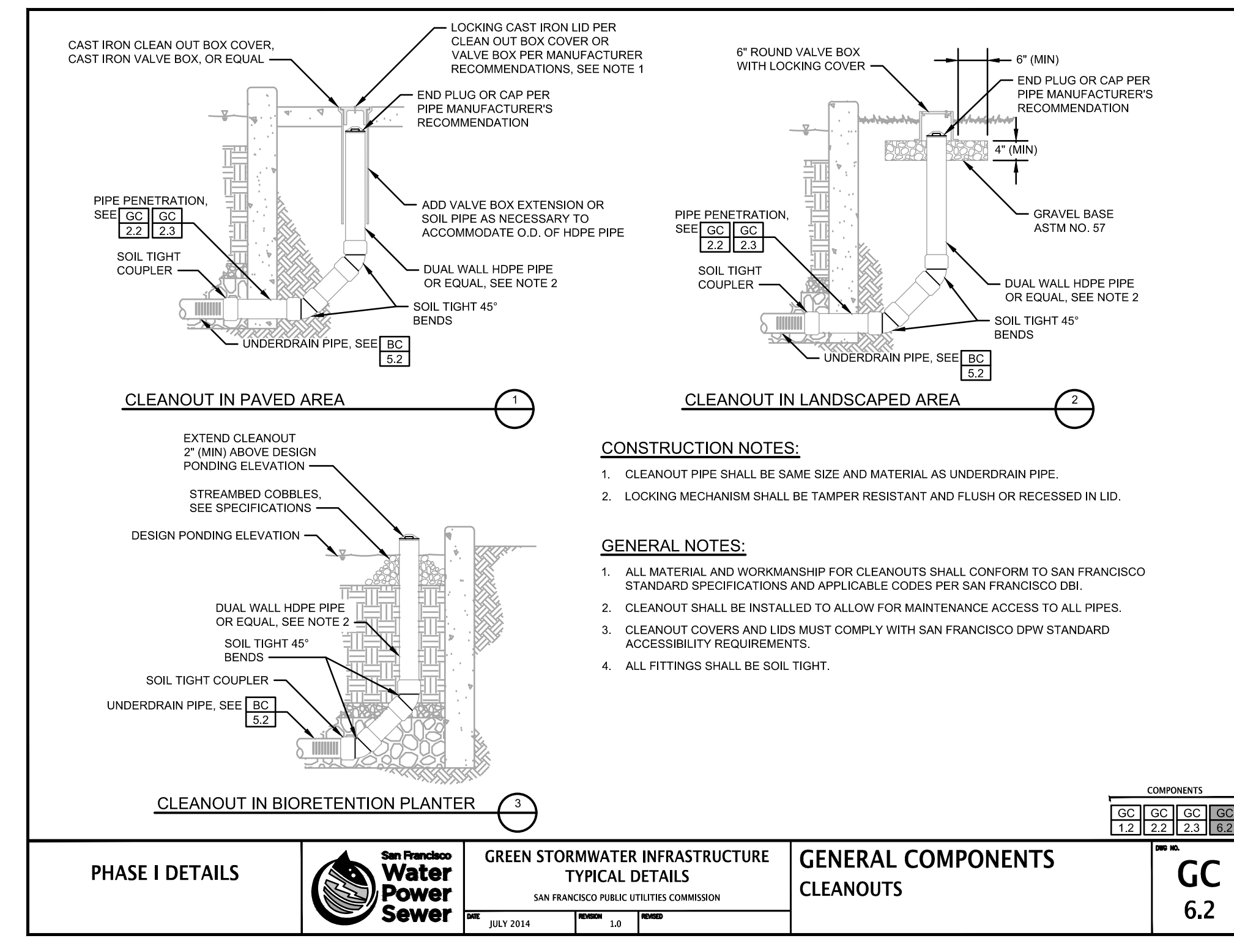
BIORETENTION UNDERDRAIN
 SCALE: N.T.S.



BIORETENTION CHECK DAM
 SCALE: N.T.S.



BIORETENTION WALL PENETRATIONS
 SCALE: N.T.S.



BIORETENTION CLEANOUTS
 SCALE: N.T.S.

EROSION CONTROL GENERAL NOTES

- 1. ALL GRADING WORK SHALL BE WINTERIZED PRIOR TO OCTOBER 15, BY PLACING APPROPRIATES SILT FENCING, SILT FENCE/STRAW BALE DIKES AND STRAW BALES IN A MANNER TO MINIMIZE EROSION AND COLLECT SEDIMENT AND ALSO BY HYDROSEEDING AREAS DISTURBED.
2. THIS PLAN IS INTENDED FOR EROSION CONTROL ONLY. OTHER INFORMATION SHOWN HEREIN MAY NOT BE THE MOST CURRENT. SEE GRADING PLAN FOR SLOPE INFORMATION.
3. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS AND FILING ALL PLANS WITH THE RELATED AGENCIES ASSOCIATED WITH THEIR WORK. THIS SHALL INCLUDE, BUT NOT BE LIMITED TO, PERMITS FOR STORAGE OF HAZARDOUS MATERIALS, BUSINESS PLANS, PERMITS FOR STORAGE OF FLAMMABLE LIQUIDS, GRADING PERMITS, OR OTHER PLANS OR PERMITS REQUIRED BY CCSF. ALL PROPERTY OWNERS, CONTRACTORS, OR SUBCONTRACTORS WORKING ON-SITE ARE INDIVIDUALLY RESPONSIBLE FOR OBTAINING AND SUBMITTING ANY BUSINESS PLANS OR PERMITS REQUIRED BY CITY, STATE OR LOCAL AGENCIES.
4. ALL EROSION CONTROL MEASURES SHALL BE MAINTAINED, DURING THE RAINY SEASON (OCT. 1 TO MAY 1), UNTIL DISTURBED AREAS ARE STABILIZED. CHANGES TO THIS PLAN TO MEET FIELD CONDITIONS WILL BE MADE ONLY WITH THE APPROVAL OF, OR AT THE DIRECTION OF THE OWNER. CHANGES MADE TO SUIT FIELD CONDITIONS SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION CCSF FOR COMMENT AND APPROVAL.
5. ALL EROSION CONTROL FACILITIES MUST BE INSPECTED AND REPAIRED AT THE END OF EACH WORKING DAY OR DAILY DURING THE RAINY SEASON.
6. IF SIGNIFICANT SEDIMENT OR OTHER VISUAL SYMPTOMS OF IMPURITIES ARE NOTICED IN THE STORM WATER, CONTACT CCSF IMMEDIATELY.
7. CONTRACTOR IS RESPONSIBLE FOR INSPECTION AND RESTORATION OF ALL ASPECTS OF THE EROSION CONTROL PLAN. SEDIMENT ON THE SIDEWALKS AND GUTTERS SHALL BE REMOVED BY SHOVEL OR BROOM AND DISPOSED APPROPRIATELY.
8. ALL EMPLOYEES, CONTRACTORS, AND SUBCONTRACTORS ARE RESPONSIBLE FOR CONFORMING TO THE ELEMENTS SHOWN ON THIS PLAN OR RELATED DOCUMENTS.
9. CONTRACTOR TO EMPLOY BEST MANAGEMENT PRACTICES (BMP'S) IN ACCORDANCE WITH CALIFORNIA STORMWATER QUALITY ASSOCIATION (CASQA), THE STORMWATER BEST MANAGEMENT PRACTICE CONSTRUCTION HANDBOOK LATEST RECOMMENDATIONS.
10. ALL DUMPSTERS OR OTHER TRASH STORAGE ENCLOSURES SHALL BE UTILIZED SOLELY FOR NON-HAZARDOUS MATERIALS.
11. DURING THE RAINY SEASON, ALL PAVED AREAS WILL BE KEPT CLEAR OF EARTH MATERIAL AND DEBRIS. THIS SITE SHALL BE MAINTAINED SO THAT A MINIMUM OF SEDIMENT- LADEN RUNOFF ENTERS THE STORM DRAIN SYSTEM. THESE PLANS SHALL REMAIN IN EFFECT UNTIL THE IMPROVEMENTS ARE ACCEPTED BY CCSF AND ALL SLOPES ARE STABILIZED.
12. BORROW AREAS AND TEMPORARY STOCKPILES SHALL BE PROTECTED WITH APPROPRIATE EROSION CONTROL MEASURES TO THE SATISFACTION OF CCSF.
13. REMOVE SPOILS PROMPTLY AND AVOID STOCKPILING OF FILL MATERIAL WHEN RAIN IS FORECAST. IF RAIN IS FORECAST OR APPARENT STOCKPILED SOILS AND OTHER MATERIALS SHALL BE COVERED WITH PLASTIC OR A TARP, AT THE REQUEST OF CCSF.
14. STORE, HANDLE AND DISPOSE OF CONSTRUCTION MATERIALS AND WASTES SO AS TO PREVENT THEIR ENTRY INTO THE STORM DRAIN SYSTEM. CONTRACTOR MUST NOT ALLOW CONCRETE, WASHWATERS, SLURRIES, PAINT OR OTHER MATERIALS TO ENTER THE CATCH BASINS, STORM DRAINAGE, OR ENTER SIT RUNOFF.
15. USE FILTRATION OR OTHER APPROVED MEASURES TO REMOVE SEDIMENT FROM DEWATERING EFFLUENT.
16. NO CLEANING, FUELING OR MAINTAINING VEHICLES ON SITE SHALL BE PERMITTED TO ALLOW DELETERIOUS MATERIALS FROM ENTERING THE CATCH BASINS, STORM DRAINAGE, OR ENTER SITE RUNOFF.
17. EROSION CONTROL MEASURES TO BE EMPLOYED PER THE LATEST EDITION OF THE CALIFORNIA STORMWATER QUALITY ASSOCIATION (CASQA) "STORMWATER BEST MANAGEMENT PRACTICE CONSTRUCTION HANDBOOK", WHERE APPLICABLE.
18. THE CONTRACTOR SHALL SCHEDULE MAJOR GRADING OPERATIONS DURING DRY MONTHS WHEN PRACTICAL. ALLOW ENOUGH TIME BEFORE RAINFALL BEGINS TO STABILIZE THE SOIL WITH VEGETATION OR PHYSICAL MEANS OR TO INSTALL SEDIMENT TRAPPING DEVICES.
19. NON-ACTIVE AREAS SHOULD BE STABILIZED AS SOON AS PRACTICAL AFTER THE CESSATION OF SOIL DISTURBING ACTIVITIES OR ONE DAY PRIOR TO THE ONSET OF PRECIPITATION. APPLY PERMANENT EROSION CONTROL TO AREAS DEEMED SUBSTANTIALLY COMPLETE DURING THE PROJECT'S DEFINED SEEDING WINDOW.
20. THE CONTRACTOR SHALL MONITOR THE WEATHER FORECAST FOR RAINFALL. WHEN RAINFALL IS PREDICTED, ADJUST THE CONSTRUCTION SCHEDULE TO ALLOW THE IMPLEMENTATION OF SOIL STABILIZATION AND SEDIMENT TREATMENT CONTROLS ON ALL DISTURBED AREAS PRIOR TO THE ONSET OF RAIN.
21. THE CONTRACTOR SHALL BE PREPARED YEAR ROUND TO DEPLOY EROSION CONTROL AND SEDIMENT CONTROL BMPS. KEEP THE SITE STABILIZED YEAR ROUND, AND RETAIN AND MAINTAIN RAINY SEASON SEDIMENT TRAPPING DEVICES IN OPERATIONAL CONDITION.

SILT FENCE MATERIALS

- 1. FILTER FABRIC SHALL BE A PERVIOUS SHEET OF SYNTHETIC POLYMER COMPOSED OF AT LEAST 85% BY WEIGHT ETHYLENE, PROPYLENE, AMIDE, ESTER OF VINYLIDENE YARN, WOVEN OR NOW WOVEN, AND SHALL CONTAIN STABILIZERS AND/OR INHIBITORS TO RESIST DETERIORATION BY HEAT, WATER AND ULTRAVIOLET LIGHT. THE FABRIC SHALL CONFORM TO THE FOLLOWING CRITERIA:
A. THE EQUIVALENT OPENING SIZE (U.S. STANDARD SIEVE) SHALL BE WITHIN THE RANGE 70-100.
B. THE TENSILE STRENGTH (ATSM D1682G) SHALL BE AT LEAST 120 POUNDS. THE STRENGTH OF FABRIC REQUIRED DEPENDS ON THE WIRE SUPPORT FENCE. IF EXTRA-STRENGTH FABRIC IS USED WITHOUT A SUPPORT FENCE, THE STRENGTH REQUIRED SHALL BE 200 POUNDS MINIMUM WITH POSTS SPACED ON 6 FOOT CENTERS.
2. POSTS FOR SILT FENCES SHALL BE EITHER 4-INCH-DIAMETER WOOD OR 1.33-POUNDS-PER LINEAR FOOT STEEL WITH A MINIMUM LENGTH OF 5 FEET. STEEL POSTS SHALL HAVE PROJECTIONS FOR FASTENING WIRE TO THEM.
3. WIRE FENCE REINFORCEMENT FOR SILT FENCES SHALL BE A MINIMUM OF 42 INCHES IN HEIGHT, SHALL BE A MINIMUM OF 14-GAUGE, AND SHALL HAVE A MAXIMUM MESH SPACING OF 6 FEET.

SILT FENCE CONSTRUCTION SPECIFICATIONS

- 1. THE HEIGHT OF A SILT FENCE SHALL NOT EXCEED 36 INCHES. ON SLOPES, THE FENCE LINE SHALL FOLLOW THE CONTOUR AS CLOSELY AS POSSIBLE. IN SMALL SWALES, THE FENCE LINE SHALL BE CURVED UPSTREAM AT THE SIDES TO DIRECT THE FLOW TOWARD THE MIDDLE OF THE FENCE.
2. IF POSSIBLE, THE FILTER FABRIC SHALL BE CUT FROM A CONTINUOUS ROLL TO AVOID THE USE JOINTS. WHEN JOINTS ARE NECESSARY, FILTER CLOTH SHALL BE SPLICED ONLY AT A SUPPORT POST, WITH A MINIMUM 6-INCH OVERLAP AND BOTH ENDS SECURELY FASTENED TO THE POST.
3. STEEL POSTS SHALL BE SPACED A MAXIMUM OF 10 FEET APART AND DRIVEN SECURELY INTO THE GROUND (MINIMUM OF 12 INCHES). WHEN EXTRA-STRENGTH FABRIC IS USED WITHOUT THE WIRE SUPPORT FENCE, OR WOOD POST ARE UTILIZED, POST SPACING SHALL NOT EXCEED 6 FEET.
4. A TRENCH SHALL BE EXCAVATED APPROXIMATELY 4 INCHES WIDE AND 4 INCHES DEEP ALONG THE LIE OF POST AND UPSLOPE FROM THE BARRIER.
5. WHEN STANDARD-STRENGTH FILTER FABRIC IS USED, A WIRE MESH SUPPORT FENCE SHALL BE FASTENED SECURELY TO THE UPSLOPE SIDE OF THE POSTS USING HEAVY-DUTY WIRE STAPLES AT LEAST 1 INCH LONG, TIE WIRES OR HOG RINGS. THE WIRE SHALL EXTEND INTO THE TRENCH A MINIMUM OF 2 INCHES AND SHALL NOT EXTEND MORE THAN 36 INCHES ABOVE THE ORIGINAL GROUND SURFACE.
6. THE STANDARD-STRENGTH FILTER FABRIC SHALL BE STAPLED OR WIRED TO THE FENCE, AND 8 INCHES OF THE FABRIC SHALL EXTEND INTO THE TRENCH. THE FABRIC SHALL NOT EXTEND MORE THAN 36 INCHES ABOVE THE ORIGINAL GROUND SURFACE. FILTER FABRIC SHALL NOT BE STAPLED TO EXISTING TREES.
7. WHEN EXTRA-STRENGTH FILTER FABRIC AND CLOSER POST SPACING ARE USED, THE WIRE MESH SUPPORT FENCE MAY BE ELIMINATED. IN SUCH A CASE, THE FILTER FABRIC IS STAPLED OR WIRE DIRECTLY TO THE POSTS WITH ALL OTHER PROVISIONS OF NO. 6 ABOVE APPLYING.
8. THE TRENCH SHALL BE BACK FILLED AND THE SOIL COMPACTED OVER THE TOE OF THE FILTER FABRIC.
9. SILT FENCES SHALL BE REMOVED WHEN THEY HAVE SERVED THEIR USEFUL PURPOSE, NOT BEFORE THE UPSLOPE AREA HAS BEEN PERMANENTLY STABILIZED.

SILT FENCE MAINTENANCE

- 1. SILT FENCES AND FILTER BARRIERS SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL AND REQUIRED REPAIRS SHALL BE MADE IMMEDIATELY.
2. SHOULD THE FABRIC ON A SILT FENCE OR FILTER BARRIER DECOMPOSE OR BECOME INEFFECTIVE PRIOR TO THE END OF THE BARRIER'S EXPECTED USABLE LIFE AND THE BARRIER STILL BE NECESSARY, THE FABRIC SHALL BE REPLACED PROMPTLY.
3. SEDIMENT DEPOSITS SHOULD BE REMOVED WHEN DEPOSITS REACH APPROXIMATELY ONE HALF THE HEIGHT OF THE BARRIER.
4. ANY SEDIMENT DEPOSITS REMAINING IN PLACE AFTER THE SILT FENCE OR FILTER BARRIER IS NO LONGER REQUIRED SHALL BE DRESSED TO CONFORM WITH THE EXISTING GRADE, PREPARED AND SEEDED.

CONSTRUCTION ENTRANCE DESIGN & CONSTRUCTION SPECIFICATIONS

- 1. THE MATERIAL FOR CONSTRUCTION OF THE PAD ENTRANCE SHALL BE BETWEEN 2 TO 3 INCH ROCK/STONE.
2. THE THICKNESS OF THE PAD ENTRANCE SHALL NOT BE LESS THAN 8 INCHES.
3. THE WIDTH OF THE PAD ENTRANCE SHALL NOT BE LESS THAN THE FULL WIDTH OF ALL POINTS ON INGRESS OR EGRESS.
4. THE LENGTH OF THE PAD ENTRANCE SHALL BE AS REQUIRED, BUT NOT LESS THAN 50 FEET.
5. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND, AND REPAIR AND/OR LEAN OUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHT-OF-WAY SHALL BE REMOVED IMMEDIATELY.
6. WHEN NECESSARY, WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHTS-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN. ALL SEDIMENT SHALL BE PREVENTED FROM ENTERING ANY STORM DRAIN, DITCH OR WATERCOURSE THROUGH USE OF SAND BAGS, GRAVEL, BOARDS OR OTHER APPROVED METHODS.
7. CONSTRUCTION ENTRANCE SHALL BE COORDINATED IN THE FIELD WITH CITY INSPECTORS APPROVAL.

DUST CONTROL

ON AN AS-NEEDED BASIS OR AS DIRECTED BY THE CITY OR OWNER, THE CONTRACTOR SHALL UTILIZE ONE OF THE FOLLOWING METHODS TO CONTROL DUST:

- 1. WATER - THE EXPOSED SOIL SURFACED SHOULD BE MOISTENED PERIODICALLY WITH ADEQUATE WATER TO CONTROL DUST.
2. CALCIUM CHLORIDE - SHOULD BE EITHER LOOSE DRY GRANULES OR FLAKES FINE ENOUGH TO FEED THROUGH A SPREADER AT A RATE THAT WILL KEEP SURFACE MOIST BUT NOT CAUSE POLLUTION OR PLANT DAMAGE.

POLLUTION PREVENTION - IT'S PART OF THE PLAN

MAKE SURE YOUR CREWS AND SUBS DO THE JOB RIGHT! RUNOFF FROM STREET AND OTHER PAVED AREAS IS A MAJOR SOURCE OF POLLUTION AND DAMAGE TO CREEKS AND THE SAN FRANCISCO BAY. CONSTRUCTION ACTIVITIES CAN DIRECTLY AFFECT THE HEALTH OF CREEK AND THE BAY UNLESS CONTRACTORS AND CREWS PLAN AHEAD TO KEEP DIRT, DEBRIS, AND OTHER CONSTRUCTION WASTE AWAY FROM STORM DRAINS AND LOCAL CREEKS. FOLLOWING THESE GUIDELINES AND THE PROJECT SPECIFICATIONS WILL ENSURE YOUR COMPLIANCE WITH CITY OF OAKLAND REQUIREMENTS.

MATERIALS STORAGE & SPILL CLEANUP NON-HAZARDOUS MATERIALS MANAGEMENT

- 1. SAND, DIRT, AND SIMILAR MATERIALS MUST BE STORED AT LEAST 10 FEET (3 METERS) FROM CATCH BASINS. ALL CONSTRUCTION MATERIALS MUST BE COVERED WITH A TARP AND CONTAINED WITH A PERIMETER CONTROL DURING WET WEATHER OR WHEN RAIN IS FORECASTED OR WHEN NOT ACTIVELY BEING USED WITHIN 14 DAYS.
2. USE (BUT DON'T OVERUSE) RECLAIMED WATER FOR DUST CONTROL AS NEEDED.
3. SWEEP OR VACUUM STREETS AND OTHER PAVED AREAS DAILY. DO NOT WASH DOWN STREETS OR WORK AREAS WITH WATER!
4. RECYCLE ALL ASPHALT, CONCRETE, AND AGGREGATE BASE MATERIAL FROM DEMOLITION ACTIVITIES.
5. CHECK DUMPSTERS REGULARLY FOR LEAKS AND TO MAKE SURE THEY ARE NOT OVERFILLED. REPAIR OR REPLACE LEAKING DUMPSTERS PROMPTLY.
6. COVER ALL DUMPSTERS WITH A TARP AT THE END OF EVERY WORK DAY OR DURING WET WEATHER.

HAZARDOUS MATERIALS MANAGEMENT

- 1. LABEL ALL HAZARDOUS MATERIALS AND HAZARDOUS WASTES (SUCH AS PESTICIDES, PAINTS, THINNERS, SOLVENTS, FUEL, OIL, AND ANTIFREEZE) IN ACCORDANCE WITH CITY, STATE, AND FEDERAL REGULATIONS.
2. STORE HAZARDOUS MATERIALS AND WASTES IN WATER TIGHT CONTAINERS, STORE IN APPROPRIATE SECONDARY CONTAINMENT AND COVER THEM AT THE END OF EVERY WORK DAY OR DURING WET WEATHER OR WHEN RAIN IS FORECASTED.
3. FOLLOW MANUFACTURER'S APPLICATION INSTRUCTIONS FOR HAZARDOUS MATERIALS AND BE CAREFUL NOT TO USE MORE THAN NECESSARY. DO NOT APPLY CHEMICALS OUTDOORS WHEN RAIN IS FORECAST WITHIN 24 HOURS.
4. BE SURE TO ARRANGE FOR APPROPRIATE DISPOSAL OF ALL HAZARDOUS WASTES.

SPILL PREVENTION AND CONTROL

- 1. KEEP A STOCKPILE OF SPILL CLEANUP MATERIALS (RAGS, ABSORBENTS, ETC.) AVAILABLE AT THE CONSTRUCTION SITE AT ALL TIMES.
2. WHEN SPILLS OR LEAKS OCCUR, CONTAIN THEM IMMEDIATELY AND BE PARTICULARLY CAREFUL TO PREVENT LEAKS AND SPILLS FROM REACHING THE GUTTER, STREET, OR STORM DRAIN. NEVER WASH SPILLED MATERIAL INTO A GUTTER, STREET, STORM DRAIN, OR CREEK!
3. DISPOSE OF ALL CONTAINMENT AND CLEANUP MATERIALS PROPERLY.
4. REPORT ANY HAZARDOUS MATERIALS SPILLS IMMEDIATELY! DIAL 911 OR CITY OF SAN FRANCISCO PUBLIC WORKS AT (415) 554-6920.

CONSTRUCTION ENTRANCES AND PERIMETER

- 1. ESTABLISH AND MAINTAIN EFFECTIVE PERIMETER CONTROLS AND STABILIZE ALL CONSTRUCTION ENTRANCES AND EXITS TO SUFFICIENTLY CONTROL EROSION AND SEDIMENT DISCHARGES FROM SITE AND TRACKING OFF SITE.
2. SWEEP OR VACUUM ANY STREET TRACKING IMMEDIATELY AND SECURE SEDIMENT SOURCE TO PREVENT FURTHER TRACKING.

VEHICLE AND EQUIPMENT MAINTENANCE & CLEANING

- 1. INSPECT VEHICLES AND EQUIPMENT FOR LEAKS FREQUENTLY. USE DRIP PANS TO CATCH LEAKS UNTIL REPAIRS ARE MADE; REPAIR LEAKS PROMPTLY.
2. FUEL AND MAINTAIN VEHICLES ON SITE ONLY IN A BERMED AREA OR OVER A DRIP PAN THAT IS BIG ENOUGH TO PREVENT RUNOFF.
3. IF YOU MUST CLEAN VEHICLES OR EQUIPMENT ON SITE, CLEAN WITH WATER ONLY IN A BERMED AREA THAT WILL NOT ALLOW RINSE WATER TO RUN INTO GUTTERS, STREETS, STORM DRAINS, OR CREEKS.
4. DO NOT CLEAN VEHICLES OR EQUIPMENT ON-SITE USING SOAPS, SOLVENTS, DEGREASERS, STEAM CLEANING EQUIPMENT, ETC.

EARTHWORK & CONTAMINATED SOILS

- 1. KEEP EXCAVATED SOIL ON THE SITE WHERE IT IS LEAST LIKELY TO COLLECT IN THE STREET.
2. TRANSFER TO DUMP TRUCKS SHOULD TAKE PLACE ON THE SITE, NOT IN THE STREET.
3. USE FIBER ROLLS, SILT FENCES, OR OTHER CONTROL MEASURES TO MINIMIZE THE FLOW OF SILT OFF THE SITE.
4. EARTH MOVING ACTIVITIES ARE ONLY ALLOWED DURING DRY WEATHER BY PERMIT AND AS APPROVED BY THE CITY OF OAKLAND IN THE FIELD.
5. MATURE VEGETATION IS THE BEST FORM OF EROSION CONTROL. MINIMIZE DISTURBANCE TO EXISTING VEGETATION WHENEVER POSSIBLE.
6. IF YOU DISTURB A SLOPE DURING CONSTRUCTION, PREVENT EROSION BY SECURING THE SOIL WITH EROSION CONTROL FABRIC, OR SEED WITH FAST GROWING GRASSES AS SOON AS POSSIBLE. PLACE FIBER ROLLS DOWN-SLOPE UNTIL SOIL IS SECURE.
7. IF YOU SUSPECT CONTAMINATION (FROM SITE HISTORY, DISCOLORATION, ODOR, TEXTURE, ABANDONED UNDERGROUND TANKS OR PIPES, OR BURIED DEBRIS), CALL THE ENGINEER FOR HELP IN DETERMINING WHAT TESTING SHOULD BE DONE, AND MANAGE DISPOSAL OF CONTAMINATED SOIL ACCORDING TO THEIR INSTRUCTIONS.

SAW CUTTING

- 1. ALWAYS COMPLETELY COVER OR BARRICADE STORM DRAIN INLETS WHEN SAW CUTTING. USE FILTER FABRIC, CATCH BASIN INLET FILTERS, OR SAND/GRAVEL BAGS TO KEEP SLURRY OUT OF THE STORM DRAIN SYSTEM.
2. SHOVEL, ABSORB, OR VACUUM SAW-CUT SLURRY AND PICK UP ALL WASTE AS SOON AS YOU ARE FINISHED IN ONE LOCATION OR AT THE END OF EACH WORK DAY (WHICHEVER IS SOONER!).
3. IF SAW CUT SLURRY ENTERS A CATCH BASIN, CLEAN IT UP IMMEDIATELY.

PAVING/ASPHALT WORK

- 1. ALWAYS COVER STORM DRAIN INLETS AND MANHOLES WHEN PAVING OR APPLYING SEAL COAT, TACK COAT, SLURRY SEAL, OR FOG SEAL.
2. PROTECT GUTTERS, DITCHES, AND DRAINAGE COURSES WITH SAND/GRAVEL BAGS, OR EARTHEN BERMS.
3. DO NOT SWEEP OR WASH DOWN EXCESS SAND FROM SAND SEALING INTO GUTTERS, STORM DRAINS, OR CREEKS. COLLECT SAND AND RETURN IT TO THE STOCKPILE, OR DISPOSE OF IT AS TRASH.
4. DO NOT USE WATER TO WASH DOWN FRESH ASPHALT CONCRETE PAVEMENT.

CONCRETE, GROUT, AND MORTAR STORAGE & WASTE DISPOSAL

- 1. STORE CONCRETE, GROUT, AND MORTAR UNDER COVER, ON PALLETS, AND AWAY FROM DRAINAGE AREAS. THESE MATERIALS MUST NEVER REACH A STORM DRAIN.
2. WASH OUT CONCRETE EQUIPMENT/TRUCKS OFF-SITE OR INTO CONTAINED WASHOUT AREAS THAT WILL NOT ALLOW DISCHARGE OF WASH WATER INTO THE UNDERLYING SOIL OR ONTO THE SURROUNDING AREAS.
3. COLLECT THE WASH WATER FROM WASHING EXPOSED AGGREGATE CONCRETE AND REMOVE IT FOR APPROPRIATE DISPOSAL OFF SITE.

PAINTING

- 1. NEVER RINSE PAINT BRUSHES OR MATERIALS IN A GUTTER OR STREET!
2. PAINT OUT EXCESS WATER-BASED PAINT BEFORE RINSING BRUSHES, ROLLERS, OR CONTAINERS IN A SINK.
3. PAINT OUT EXCESS OIL-BASED PAINT BEFORE CLEANING BRUSHES IN THINNER.
4. FILTER PAINT THINNERS AND SOLVENTS FOR REUSE WHENEVER POSSIBLE. DISPOSE OF OIL-BASED PAINT SLUDGE AND UNUSABLE THINNER AS HAZARDOUS WASTE.

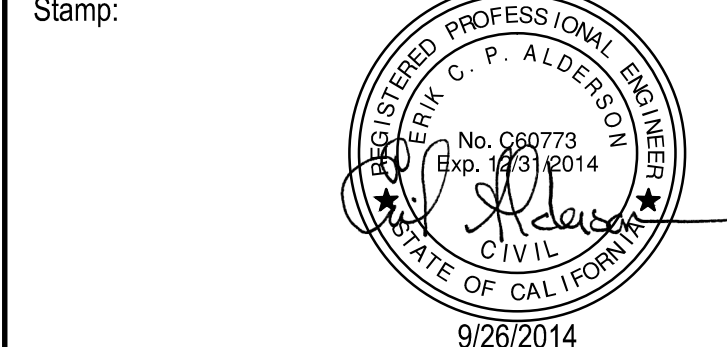
LANDSCAPE MATERIALS

- 1. CONTAIN, COVER, AND STORE ON PALLETS ALL STOCKPILED LANDSCAPE MATERIALS (MULCH, COMPOST, FERTILIZERS, ETC.) DURING WET WEATHER OR WHEN RAIN IS FORECASTED OR WHEN NOT ACTIVELY BEING USED WITHIN 14 DAYS.
2. DISCONTINUE THE APPLICATION OF ANY ERODIBLE LANDSCAPE MATERIAL WITHIN 2 DAYS OF FORECASTED RAIN AND DURING WET WEATHER.

STORM DRAIN POLLUTERS MAY BE LIABLE FOR FINES OF \$10,000 OR MORE PER DAY!



Table with 2 columns: Milestone/Document Name and Date. Includes items like SITE PERMIT SET (10/03/2012), STREET IMPROVEMENT SUBMITTAL (11/01/2012), DESIGN DEVELOPMENT PRICING SET (11/29/2012), etc.



Client: AVALON BAY COMMUNITIES
455 MARKET STREET, SUITE 1650
SAN FRANCISCO, CA 94105
Job Number: 1018
Drawn by: EA
Checked by: KL
Date: SEPT. 9, 2014
Scale: AS SHOWN

Title: EROSION CONTROL GENERAL NOTES

Sheet: C6.1

\\pds-bmr\proj\02102101\001\02102101.dwg: 2/16/2014 10:23:11 AM, User: mlozano, Plot: 2/16/2014 10:23:11 AM, Plot Device: HP DesignJet T1100e

SITE PERMIT SET	10/03/2012
STREET IMPROVEMENT SUBMITTAL	11/01/2012
DESIGN DEVELOPMENT PRICING SET	11/29/2012
DESIGN DEVELOPMENT FINAL SET	01/15/2013
SITE PERMIT RESUBMITTAL	01/28/2013
50% CD SET	02/15/2013
MAJOR ENCROACHMENT PERMIT	02/15/2013
SITE PERMIT ADDENDUM #1	03/01/2013
SITE PERMIT ADDENDUM #2	03/25/2013
SITE PERMIT ADDENDUM #3	04/01/2013
GMP / 90% CD SET	04/18/2013
BID ADDENDUM #1	04/26/2013
CIVIL ADDENDUM	06/28/2013
SF WATER PERMIT	07/18/2013
SEWER, WATER, & JT REV.	09/06/2013
OAK STREET REVISIONS	03/24/2014
GRADING CORRECTIONS	04/08/2014
SFPDW COMMENTS REV.	07/18/2014
LAGUNA ST. REVISIONS	09/09/2014
SFPUC COMMENTS REV.	09/24/2014

Stamp:

Client:
AVALON BAY COMMUNITIES
 455 MARKET STREET, SUITE 1650
 SAN FRANCISCO, CA 94105

Job Number: 1018
 Drawn by: EA
 Checked by: KL
 Date: SEPT. 9, 2014
 Scale: AS SHOWN

Title:
EROSION CONTROL PLAN

Sheet

SCALE: 1" = 15'
 0 7.5 15 30

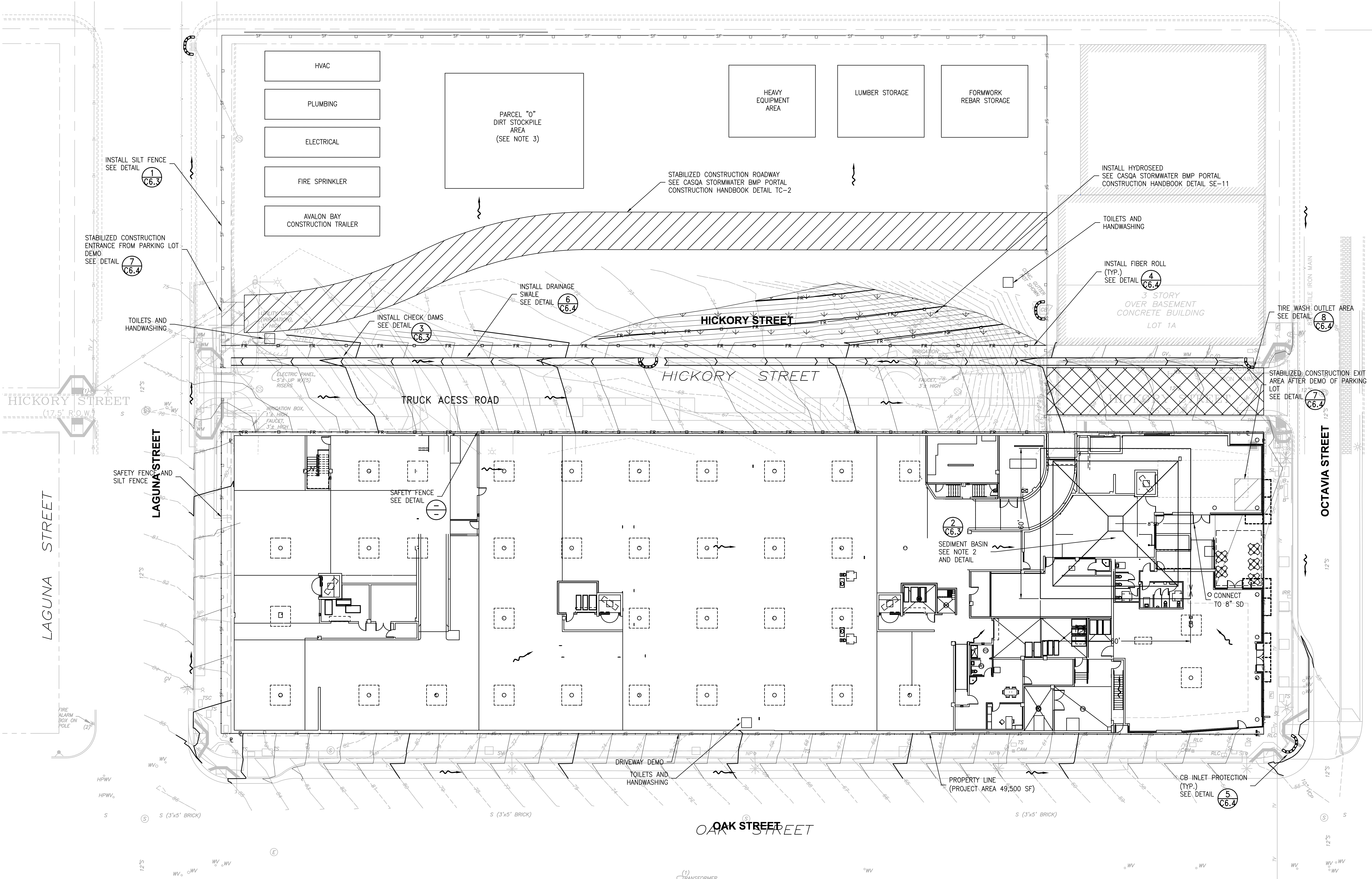


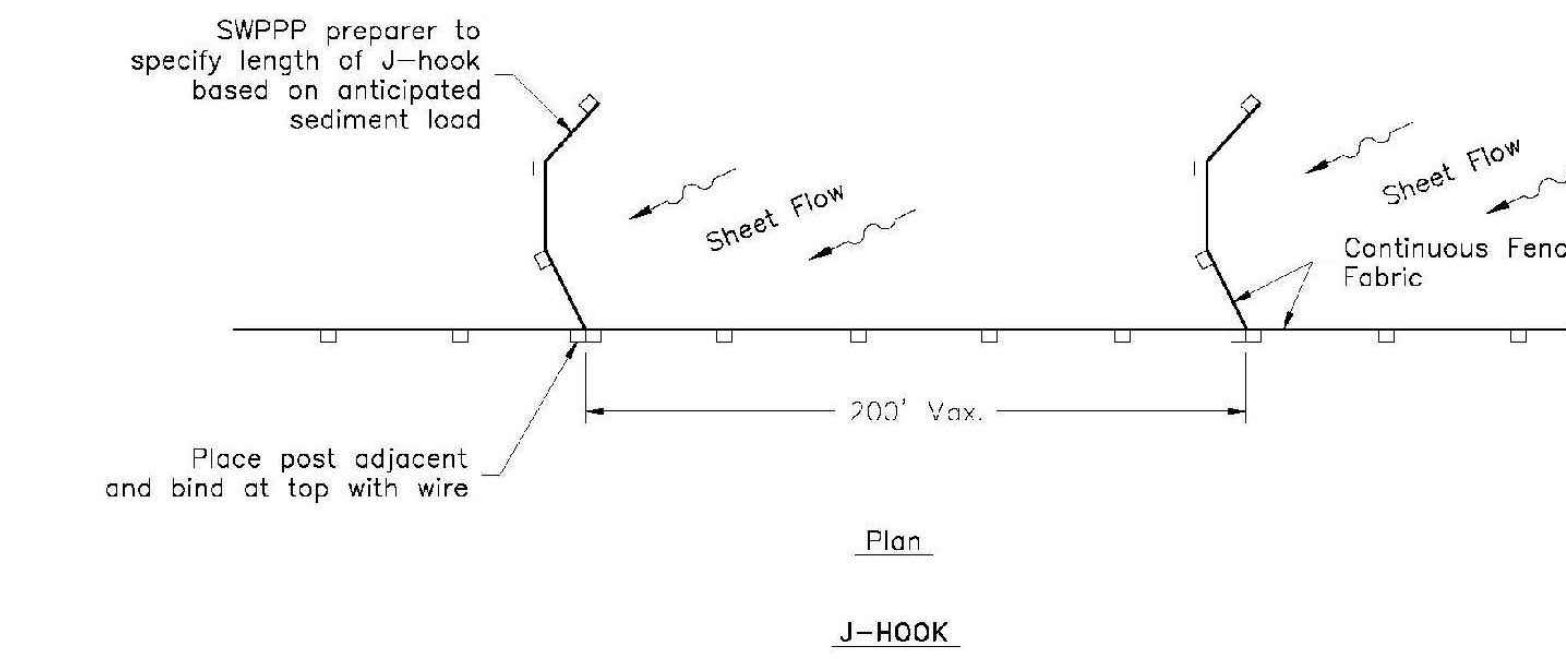
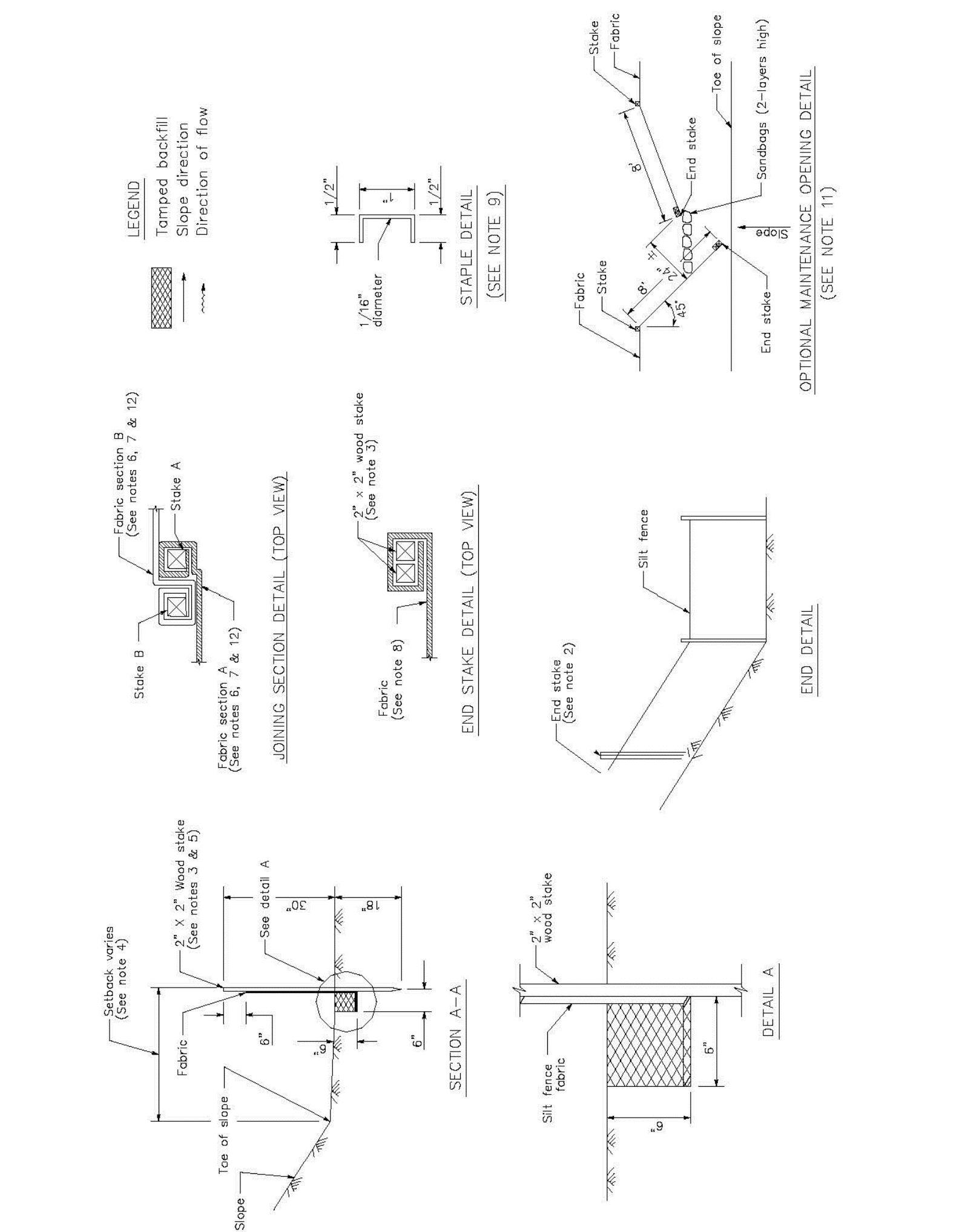
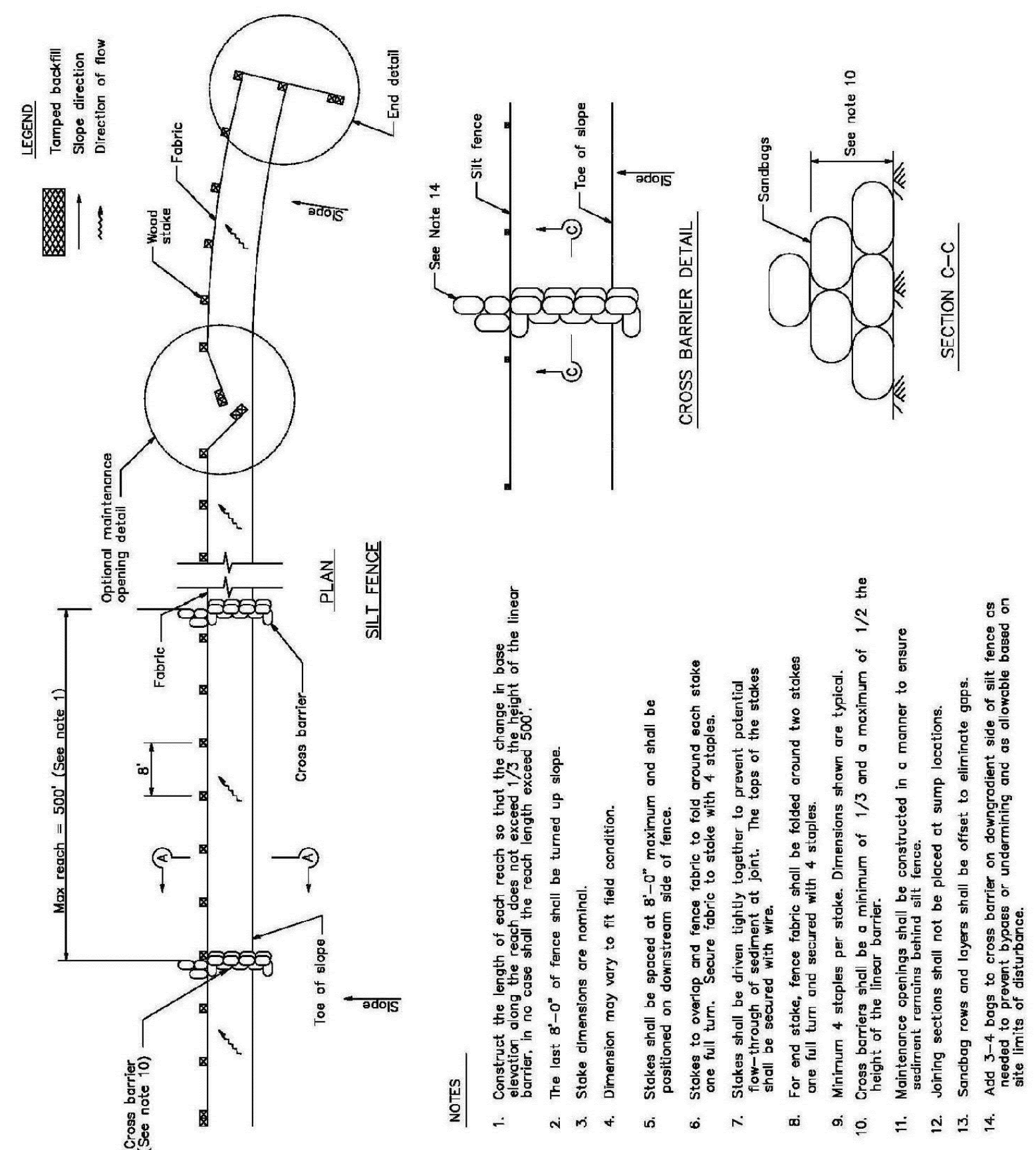
NOTES:

- SOILS ON SITE ARE TO BE COVERED PRIOR TO RAIN.
- CURRENT SEDIMENT BASIN SIZE IS CALCULATED BASED ON AREA OF HALF THE SITE UNCOVERED. CALCULATION IS BASED ON CASQA STORMWATER BMP PORTAL CONSTRUCTION HANDBOOK DETAIL SE-2.
- COVER AND BERM STOCKPILE MATERIALS NOT IN ACTIVE USE.
- FUELING AREA TO BE LOCATED OFF-SITE

LEGEND:

- INLET PROTECTION (TYP) PER CASQA DETAIL SE-10, TYPE 3 SEE DETAIL **5** C6.4
- SILT FENCE PER PER CASQA DETAIL SE-1, SEE DETAIL **1** C6.3
- SAFETY FENCE PER DETAIL _____ ON SHEET _____
- FIBER ROLL PER CASQA DETAIL SE-5, SEE DETAIL **4** C6.4
- INSTALL HYDROSEED ON AREA NEEDED TO GRADE/CUT BACK FOR HICKORY ST PER CASQA DETAIL SE-11
- ROCK AREA
- ENTRANCE/OUTLET TIRE WASH AREA PER CASQA DETAIL SE-8, SEE DETAIL **8** C6.4
- FLOW ARROW





SILT FENCE
 SCALE: NOT TO SCALE

1

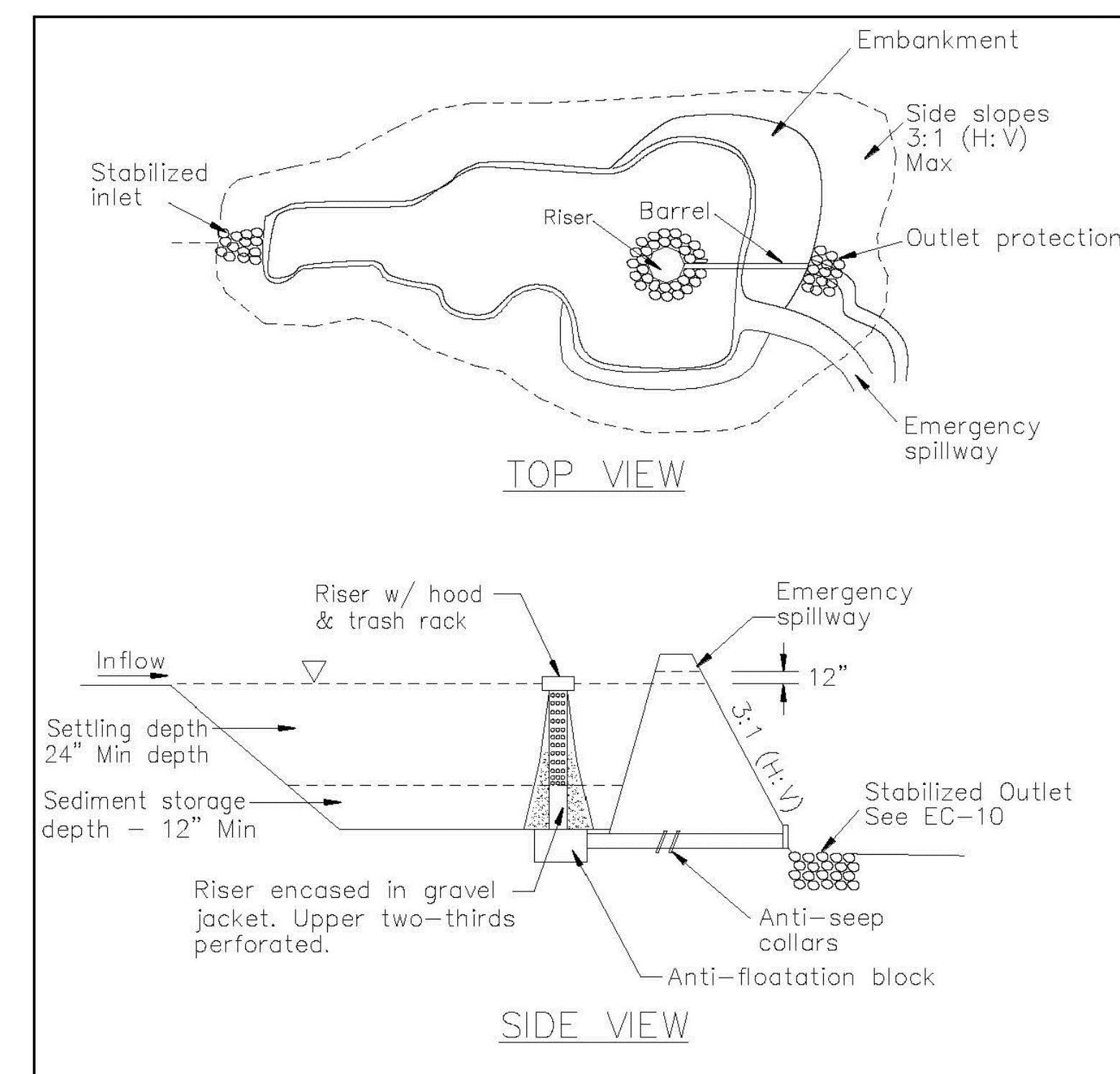
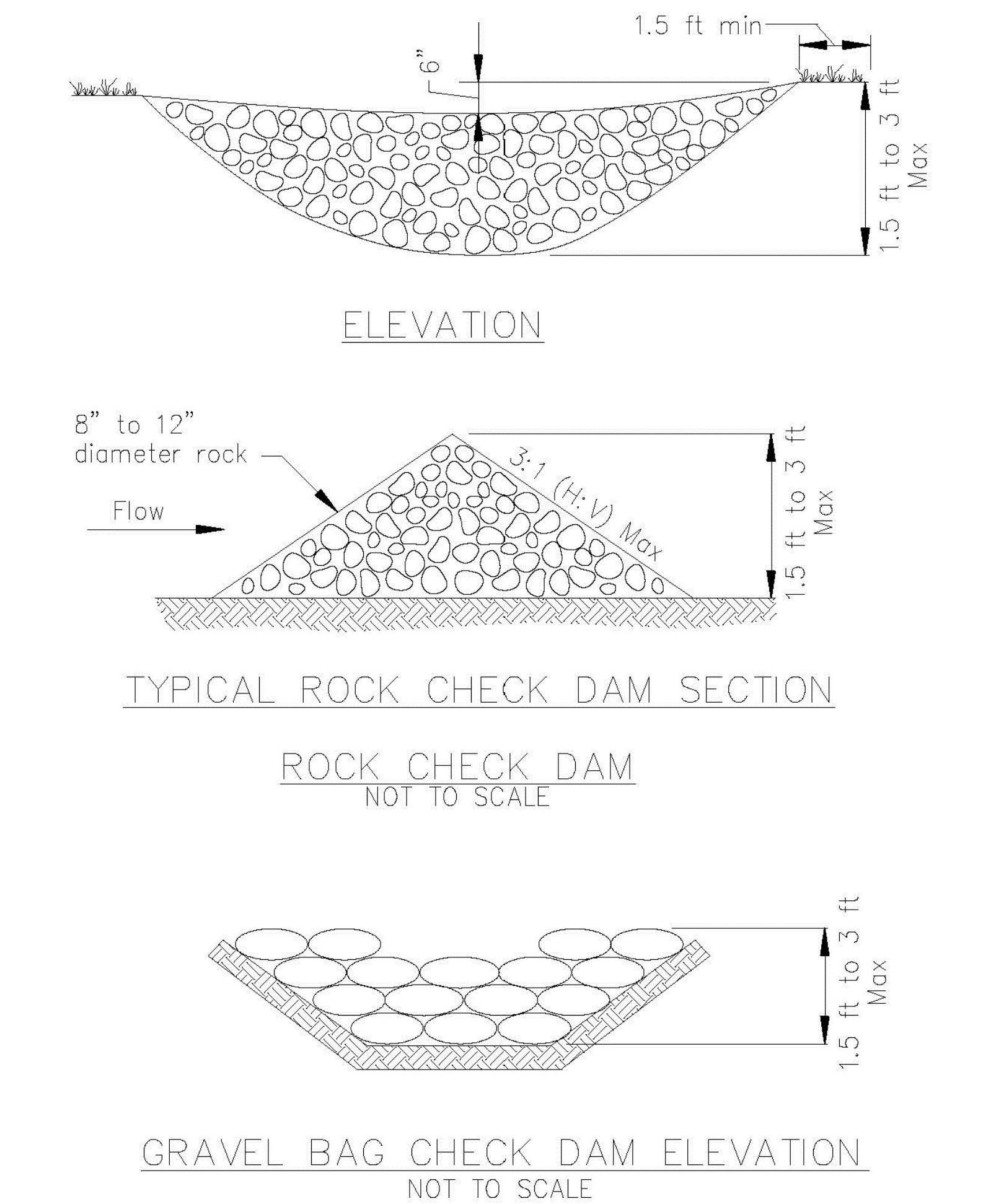


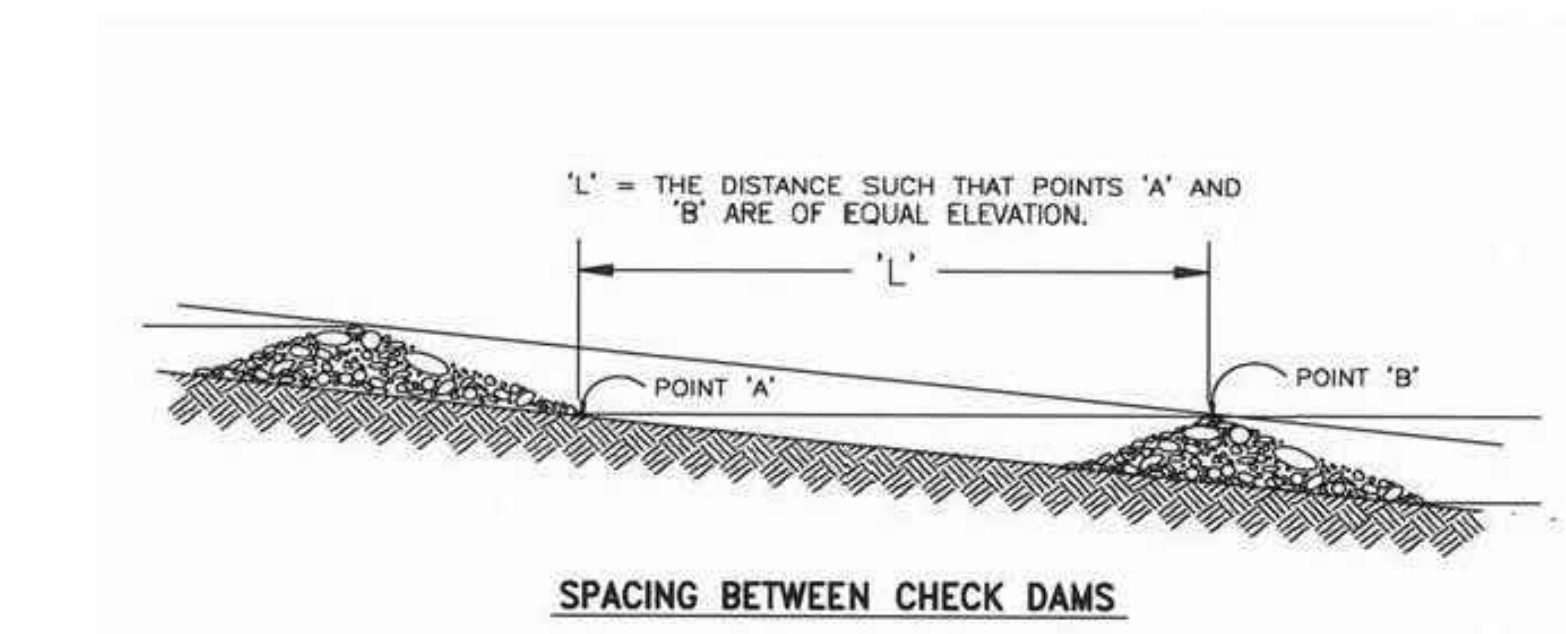
FIGURE 1: TYPICAL TEMPORARY SEDIMENT BASIN MULTIPLE ORIFICE DESIGN NOT TO SCALE

SEDIMENT BASIN
 SCALE: NOT TO SCALE

2



CHECK DAMS
 SCALE: NOT TO SCALE



3

323-325 OCTAVIA STREET & 400 LAGUNA STREET
 SAN FRANCISCO, CA 94102
 (BLOCK 0831/LOT 023)
AVALON HAYES VALLEY PARCEL P

SITE PERMIT SET	10/03/2012
STREET IMPROVEMENT SUBMITTAL	11/01/2012
DESIGN DEVELOPMENT PRICING SET	11/29/2012
DESIGN DEVELOPMENT FINAL SET	01/15/2013
SITE PERMIT RESUBMITTAL	01/28/2013
50% CD SET	02/15/2013
MAJOR ENCROACHMENT PERMIT	02/15/2013
SITE PERMIT ADDENDUM #1	03/01/2013
SITE PERMIT ADDENDUM #2	03/25/2013
SITE PERMIT ADDENDUM #3	04/01/2013
CMP / 90% CD SET	04/18/2013
BID ADDENDUM #1	04/26/2013
CIVIL ADDENDUM	06/28/2013
SF WATER PERMIT	07/18/2013
SEWER, WATER, & JT REV.	09/06/2013
OAK STREET REVISIONS	03/24/2014
GRADING CORRECTIONS	04/08/2014
SFPDW COMMENTS REV.	07/18/2014
LAGUNA ST. REVISIONS	09/09/2014
SFPUC COMMENTS REV.	09/24/2014

Stamp:
 REGISTERED PROFESSIONAL ENGINEER
 No. C60773
 Exp. 03/31/2014
 CIVIL
 STATE OF CALIFORNIA
 9/26/2014

Client:
AVALON BAY COMMUNITIES
 455 MARKET STREET, SUITE 1650
 SAN FRANCISCO, CA 94105

Job Number: 1018
 Drawn by: EA
 Checked by: KL
 Date: SEPT. 9, 2014
 Scale: AS SHOWN

Title
**EROSION CONTROL
 DETAILS - SHEET 1**

Sheet

