

**NOTICE TO BOARD OF SUPERVISORS OF APPEAL
FROM ACTION OF THE CITY PLANNING COMMISSION**

Notice is hereby given of an appeal to the Board of Supervisors from the following action of the City Planning Commission.

The property is located at 575 Vermont St, San Francisco.

5/13/2021
Date of City Planning Commission Action
(Attach a Copy of Planning Commission's Decision)

6/11/2021
Appeal Filing Date

RECEIVED
BOARD OF SUPERVISORS
SAN FRANCISCO
2021 JUN 11 PM 2:42
BY AK

_____ The Planning Commission disapproved in whole or in part an application for reclassification of property, Case No. _____.

_____ The Planning Commission disapproved in whole or in part an application for establishment, abolition or modification of a set-back line, Case No. _____.

_____ The Planning Commission approved in whole or in part an application for conditional use authorization, Case No. 2020-000886LVA.

_____ The Planning Commission disapproved in whole or in part an application for conditional use authorization, Case No. _____.

Statement of Appeal:

a) Set forth the parts of the decision the appeal is taken from:

The 575 Vermont proposed project, 2020-000886CUA, was approved by the Planning Commission on 05/13/2021. However, it was based on insufficient, incomplete and erroneous facts described below.

b) Set forth the reasons in support of your appeal:

The 575 Vermont project plans and drawings didn't include grade, or side elevations and floor plans showing the relationship of project to neighboring walls, windows, and doors. Because of this, Planning didn't see how the project will substantially negatively impact immediate neighbors; most significantly, it will completely cover over the neighbor's sole bedroom window of his primary bedroom at 2136 18th St, which abuts the project. In addition, the project interferes with the remodel of neighbor 567 Vermont, blocks light for 567 Vermont, 587-589-591 Vermont and 2136 18th St., puts foundations at risk for same, and fails to align with the other buildings on the block. Supporting documentation is attached.

Person to Whom
Notices Shall Be Mailed

Name and Address of Person Filing Appeal:

Marion Parr
Name

Marion Parr & Scott Carr
Name

575 Lincoln Ave Palo Alto CA
Address 94301

591 VERMONT ST, SAN FRANCISCO
Address CA 94107

650-322-2512
Telephone Number

650-322-2512
Telephone Number

Marion Parr & Scott Carr
Signature of Appellant or
Authorized Agent

Statement of Appeal:

a) Set forth the part(s) of the decision the appeal is taken from:

See prior page

b) Set forth the reasons in support of your appeal:

See prior page

Person to Whom
Notices Shall Be Mailed

Name and Address of Person Filing Appeal:

Ron Altoonian
Name


Ron Altoonian
Name

2136 18th St, SAN FRANCISCO
Address CA 94107

2136 18th St, SAN FRANCISCO, CA
Address 94107

415-298-1488
Telephone Number

415-298-1488
Telephone Number


Signature of Appellant or
Authorized Agent

Statement of Appeal:

a) Set forth the part(s) of the decision the appeal is taken from:

See prior page

b) Set forth the reasons in support of your appeal:

See prior page

Person to Whom
Notices Shall Be Mailed

Look Stephens
Name

567 Vermont St, SF, CA
Address 94107

415-310-3630
Telephone Number

Name and Address of Person Filing Appeal:

Victoria Rose Carradero
Chris Loukas Stephens
Name

567 Vermont St., S.F., CA 94107
Address

415 310 3630
Telephone Number



Signature of Appellant or
Authorized Agent

TTEE Carradero Stephens
Family Trust

City Planning Commission
Case No. 2020-000886 COA

The undersigned declare that they are hereby subscribers to this Notice of Appeal and are owners of property affected by the proposed amendment or conditional use (that is, owners of property within the area that is the subject of the application for amendment or conditional use, or within a radius of 300 feet of the exterior boundaries of the property.

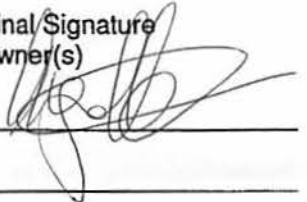
If ownership has changed and assessment roll has not been amended, we attach proof of ownership change. If signing for a firm or corporation, proof of authorization to sign on behalf of the organization is attached.

	Street Address, property owned	Assessor's Block & Lot	Printed Name of Owner(s)	Original Signature of Owner(s)
✓ 1.	<u>587-589-589 Vermont</u>	<u>4010/005</u>	<u>Marion Parr + Scott Carr</u>	<u>Marion Parr</u>
#1 2.	<u>587-589-591 Vermont</u>	<u>4010/005</u>	<u>Marion Parr + Scott Carr</u>	<u>Scott Carr</u>
✓ 3.	<u>572-574-576 Vermont</u>	<u>4011/012</u>	<u>Datel Hibes</u>	<u>Datel Hibes</u>
✓ 4.	<u>567 Vermont St.</u>	<u>4010/007A</u>	<u>Chris Loukas Stephens</u>	<u>Chris Loukas Stephens</u>
5.	<u>567 Vermont St.</u>	<u>4010/007A</u>	<u>Victoria Rose Carrabero</u>	<u>Victoria Rose Carrabero</u>
✓ 6.	<u>563 VERMONT ST.</u>	<u>4010/007</u>	<u>GAE SHULMAN</u>	<u>Gae Shulman</u>
7.	<u>563 VERMONT ST.</u>	<u>4010/007</u>	<u>MELVIN SHULMAN</u>	<u>Melvin Shulman</u>
✓ 8.	<u>559 Vermont</u>	<u>4010/008</u>	<u>Wynne Fran</u>	<u>MARCY FRASER</u>
9.	<u>559 Vermont</u>	<u>4010/008</u>	<u>LANA SANDAHL</u>	<u>Lana Sandahl</u>
✓ 10.	<u>529 VERMONT</u>	<u>4010/013</u>	<u>MARK PLATOSH</u>	<u>Mark Platosh</u>
11.	<u>509 VERMONT</u>	<u>4010/013</u>	<u>MARTHA KLUFAS</u>	<u>Martha Klufas</u>
✓ 12.	<u>509 VERMONT</u>	<u>4010/016</u>	<u>HENRY J EVANS</u>	<u>Henry J Evans</u>
✓ 13.	<u>531 Vermont</u>	<u>4010/012</u>	<u>Barry Ames</u>	<u>Barry Ames</u>
14.	<u>531 VERMONT</u>	<u>4010/012</u>	<u>LINDSAY AMES</u>	<u>Lindsay Ames</u>
✓ 15.	<u>536 Vermont</u>	<u>4011/006</u>	<u>John Schwengen</u>	<u>John Schwengen</u>
✓ 16.	<u>542 Vermont</u>	<u>4011/041</u>	<u>Jeff Jodine</u>	<u>Jeff Jodine</u>
17.	<u>542 Vermont</u>	<u>4011/041</u>	<u>Jessica Hoza</u>	<u>Jessica Hoza</u>
✓ 18.	<u>555 Vermont</u>	<u>4010/010</u>	<u>PAUL McDONALD</u>	<u>Paul McDonald</u>
19.	<u>555 Vermont</u>	<u>4010/010</u>	<u>SUSAN JANS</u>	<u>Susan Jans</u>
✓ 20.	<u>578 Vermont</u>	<u>4011/013</u>	<u>RAY CICERONE JR</u>	<u>Ray Cicerone Jr</u>
21.				
22.				

City Planning Commission
Case No. 2020-0008 86 CUA

The undersigned declare that they are hereby subscribers to this Notice of Appeal and are owners of property affected by the proposed amendment or conditional use (that is, owners of property within the area that is the subject of the application for amendment or conditional use, or within a radius of 300 feet of the exterior boundaries of the property.



If ownership has changed and assessment roll has not been amended, we attach proof of ownership change. If signing for a firm or corporation, proof of authorization to sign on behalf of the organization is attached.

	Street Address, property owned	Assessor's Block & Lot	Printed Name of Owner(s)	Original Signature of Owner(s)
✓ 1.	<u>528 Vermont</u>	<u>4011/005</u>	<u>Angela Neff</u>	
2.	_____	_____	_____	_____
3.	_____	_____	_____	_____
4.	_____	_____	_____	_____
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18.	_____	_____	_____	_____
19.	_____	_____	_____	_____
20.	_____	_____	_____	_____
21.	_____	_____	_____	_____
22.	_____	_____	_____	_____

City Planning Commission
 Case No. 2020-000886CUA

The undersigned declare that they are hereby subscribers to this Notice of Appeal and are owners of property affected by the proposed amendment or conditional use (that is, owners of property within the area that is the subject of the application for amendment or conditional use, or within a radius of 300 feet of the exterior boundaries of the property.

If ownership has changed and assessment roll has not been amended, we attach proof of ownership change. If signing for a firm or corporation, proof of authorization to sign on behalf of the organization is attached.

	Street Address, property owned	Assessor's Block & Lot	Printed Name of Owner(s)	Original Signature of Owner(s)
1.	<u>515 Vermont</u>	<u>4010/031</u>	<u>Jeffrey Huang</u>	
2.	<u>"</u>	<u>"</u>	<u>Christopher Beini</u>	
3.	_____	_____	_____	_____
4.	_____	_____	_____	_____
5.	_____	_____	_____	_____
6.	_____	_____	_____	_____
7.	_____	_____	_____	_____
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12.	_____	_____	_____	_____
13.	_____	_____	_____	_____
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17.	_____	_____	_____	_____
18.	_____	_____	_____	_____
19.	_____	_____	_____	_____
20.	_____	_____	_____	_____
21.	_____	_____	_____	_____
22.	_____	_____	_____	_____

City Planning Commission
 Case No. 2020-000886C0A

The undersigned declare that they are hereby subscribers to this Notice of Appeal and are owners of property affected by the proposed amendment or conditional use (that is, owners of property within the area that is the subject of the application for amendment or conditional use, or within a radius of 300 feet of the exterior boundaries of the property.

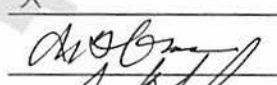
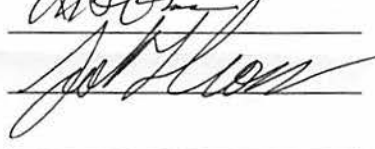
If ownership has changed and assessment roll has not been amended, we attach proof of ownership change. If signing for a firm or corporation, proof of authorization to sign on behalf of the organization is attached.

	Street Address, property owned	Assessor's Block & Lot	Printed Name of Owner(s)	Original Signature of Owner(s)
✓ 1.	<u>2131 18th St</u>	<u>4029/020</u>	<u>Kenneth R Waldroff</u>	<u>Kenneth R. Waldroff</u>
✓ 2.	<u>2136 18th St</u>	<u>4010/004</u>	<u>RON ALCONIAN</u>	<u>R. Alconian</u>
✓ 3.	<u>2137-18th St</u>	<u>4029/019</u>	<u>Albert Jew</u>	<u>Albert Jew</u>
✓ 4.	<u>2137-18th St</u>	<u>4029/019</u>	<u>Alan Jew</u>	<u>Alan Jew</u>
✓ 5.	<u>2116 18th St.</u>	<u>4010/021</u>	<u>Sudha Prathikanti Mark Anderson</u>	<u>Sudha Prathikanti Mark Anderson</u>
6.	_____	_____	_____	_____
7.	_____	_____	_____	_____
8.	_____	_____	_____	_____
9.	_____	_____	_____	_____
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21.	_____	_____	_____	_____
22.	_____	_____	_____	_____

City Planning Commission
 Case No. 2020-000886C0A

The undersigned declare that they are hereby subscribers to this Notice of Appeal and are owners of property affected by the proposed amendment or conditional use (that is, owners of property within the area that is the subject of the application for amendment or conditional use, or within a radius of 300 feet of the exterior boundaries of the property.

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Street Address, property owned	Assessor's Block & Lot	Printed Name of Owner(s)	Original Signature of Owner(s)
1. 2116 18th St	4010/021	X	X
2. 2106 18 th St.	4010/001C	MARIE CROSS	
3. 2106 18 th St.	4010/001C	SCOTT CROSS	
4. _____	_____	_____	_____
5. _____	_____	_____	_____
6. _____	_____	_____	_____
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21. _____	_____	_____	_____
22. _____	_____	_____	_____

City Planning Commission
 Case No. 2020-00088 CUA

The undersigned declare that they are hereby subscribers to this Notice of Appeal and are owners of property affected by the proposed amendment or conditional use (that is, owners of property within the area that is the subject of the application for amendment or conditional use, or within a radius of 300 feet of the exterior boundaries of the property.

If ownership has changed and assessment roll has not been amended, we attach proof of ownership change. If signing for a firm or corporation, proof of authorization to sign on behalf of the organization is attached.

Street Address, property owned	Assessor's Block & Lot	Printed Name of Owner(s)	Original Signature of Owner(s)
1. <u>549 Kansas St</u>	<u>4009/008H</u>	<u>Daniel Bacon</u>	<u>Daniel Bacon</u>
2. _____	_____	_____	_____
3. _____	_____	_____	_____
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21. _____	_____	_____	_____
22. _____	_____	_____	_____

City Planning Commission

Case No. 2020-000 886 CUA

The undersigned declare that they are hereby subscribers to this Notice of Appeal and are owners of property affected by the proposed amendment or conditional use (that is, owners of property within the area that is the subject of the application for amendment or conditional use, or within a radius of 300 feet of the exterior boundaries of the property.

If ownership has changed and assessment roll has not been amended, we attach proof of ownership change. If signing for a firm or corporation, proof of authorization to sign on behalf of the organization is attached.

	Street Address, property owned	Assessor's Block & Lot	Printed Name of Owner(s)	Original Signature of Owner(s)
1.	<u>587 San Bruno Ave</u>	<u>4011/017</u>	<u>Alexis B. Biadelli</u>	<u>Alexis B. Biadelli</u>
2.	_____	_____	_____	_____
3.	_____	_____	_____	_____
4.	_____	_____	_____	_____
5.	_____	_____	_____	_____
6.	_____	_____	_____	_____
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21.	_____	_____	_____	_____
22.	_____	_____	_____	_____

Pursuant to Planning Code Section 308.1(b), the undersigned members of the Board of Supervisors believe that there is sufficient public interest and concern to warrant an appeal of the Planning Commission on Case No. 2020-000886 LVA, a conditional use authorization regarding (address) 575 VERMONT ST, SAN FRANCISCO, District _____. The undersigned members respectfully request the Clerk of the Board to calendar this item at the soonest possible date.

SIGNATURE

DATE



(Attach copy of Planning Commission's Decision)



Appeal Filing to the Board of Supervisors Conditional Use Appeal Planning Code, Section 308.1

The decision of the City Planning Commission either approving or disapproving an application for a reclassification or a conditional use of property is final unless a valid appeal to the Board of Supervisors is filed in accordance with the procedures listed below. These paragraphs are written to provide a summary of the process. Further details are contained in Planning Code, Section 308.1. In case of conflict between these paragraphs and the Planning Code, the Planning Code provisions control.

Who May File An Appeal:

Any person may file an appeal, provided the notice of appeal is subscribed either by the owners (as shown on the City's tax records) of at least 20% of the land area described in the next two paragraphs or subscribed by five members of the Board of Supervisors. Street areas do not count in the area calculation. Other government-owned property is not counted unless the government agency concerned is itself a subscriber to the appeal.

If Disapproved:

When a proposed amendment of conditional use has been disapproved by the City Planning Commission, the property affected shall be deemed to be all property within the area that is the subject of the application for amendment or conditional use, and within 300 feet of all exterior boundaries of the property that is the subject of the application.

If Approved:

When a proposed conditional use has been approved by the City Planning Commission, the property affected shall be deemed to be all property within 300 feet of all exterior boundaries of the property for which the conditional use has been approved by the City Planning Commission, excluding the property for which the approval has been given.

NOTE: When a property is held in joint ownership, the signatures of joint owners shall be calculated in accordance with the provisions of Planning Code, Section 308.1(b)4.

Thus, if property is owned jointly by two persons, the signature of only one counts as representing only half of the square footage.



Appeal Filing to the Board of Supervisors Conditional Use Appeal Planning Code, Section 308.1

Filing Deadline:

In accordance with Planning Code, Section 308.1, the notice of appeal must be filed within 30 calendar days of the date of the Planning Commission's decision, which normally occurs on a Thursday.

NOTE: If the 30th day falls on a Saturday, Sunday or holiday, the appeal may be filed before 5:00 p.m. on the next business day.

What to File:

The following shall be filed with the Clerk of the Board of Supervisors:

(1 original and 2
hard-copies)

- 1) The required Appeal Form (signed by the Appellant/Authorized Agent) may be obtained from the Office of the Clerk of the Board of Supervisors, (attached);
- 2) A copy of the Planning Commission's Decision;
- 3) Any documentation to be included as evidence to support your appeal; and
- 4) \$665 Appeal Fee, payable to the Planning Department.¹
Administrative Code, Section 31.22
AND Planning Code, Section 350

Fee waiver and refund information is attached.

NOTE: Any materials will become public records, therefore, if any private information is included, Appellant is responsible for redacting such information prior to submission.

Where to File:

Clerk of the Board of Supervisors
1 Dr. Carlton B. Goodlett Place, Room 244
San Francisco, CA 94102

¹ Appeal Fee is subject to annual Consumer Price Index adjustment, as determined by the Controller. Contact the Clerk's Office at (415) 554-5184 or board.of.supervisors@sfgov.org to confirm current Appeal Fee.



Appeal Filing to the Board of Supervisors Conditional Use Appeal Planning Code, Section 308.1

Hearing Date:

Once the Appeal is determined ripe and timely, the Clerk will notify the appellant of the date, time, and place for the hearing before the Board of Supervisors.

Appeal hearings are scheduled at regular meetings of the full Board of Supervisors not less than 10 nor more than 30 days of the appeal filing. Appeals are scheduled on the last Tuesday within the 30 day period at 3:00 p.m.

Due to the fact that appeal hearings are scheduled from the date of filing, it is possible to have a hearing date scheduled before or very near the appeal filing deadline. If the Clerk of the Board receives additional appeal filings before the filing deadline, the initial hearing may be continued to not less than 10 nor more than 30 days.

No Committee hearing is held.

Hearing Notice:

20 days prior to the hearing, the appellant shall provide the names and addresses of the interested parties to be notified in spreadsheet format.

The Clerk sends notices to the appellant, owners of the subject property, owners of all properties within 300 feet, and other interested persons who request notification from the Clerk of the Board of Supervisors.

Additional Documentation:

Any additional documentation the appellant would like the Board members to consider must be delivered to the Clerk no later 12:00 p.m., 11 days prior to the hearing.

Decision:

The Board of Supervisors may disapprove the action of the Planning Commission by vote of not less than two-thirds of all members of the Board (8 votes).



Appeal Filing to the Board of Supervisors

Conditional Use Appeal

Planning Code, Section 308.1

Continuances:

Only the Board of Supervisors (not the Clerk of the Board) can continue or grant a written request for continuance of the appeal hearing.

A written request must be submitted by both parties, in advance, for the Board's consideration.

A continuance may also occur if less than a full Board is expected to be present on a hearing date.

The Board may not continue the hearing for more than 90 days from the date of filing of the appeal, pursuant to Planning Code, Section 308.1(c).

Contact:

Office of the Clerk of the Board
(415) 554-5184

V:\Appeals\Info Sheets\Conditional Use Appeal info Sheet
Effective 8/31/2020

Supporting documentation for BOS Appeal of Planning Commission decision 5/13/2021
re: 575 Vermont 2020-000886CUA

This Appeal is regarding a proposed project at 575 Vermont St on Potrero Hill near the corner of 18th and Vermont. The 500 block of Vermont St is a small-scale neighborhood of 2-story buildings, with a few 3-story buildings, most over 100 years old. The block is on the north face (downtown facing side) of Potrero Hill. The block slopes uphill to the south with no existing 4-story buildings on the block.

On 5/13/2021, the San Francisco Planning Commission approved 2020-000886CUA to demolish the existing small cottage to build a 4-story, 3-unit building comprising 2 luxury living units and a 300 sq ft, below-ground level ADU (see attached). As further detailed in this appeal and attachments, the Commission's decision was based on insufficient, incomplete and erroneous facts provided by the project owner and/or project architect. Most significantly, the **architect's plans failed to provide the current grade, or provide side elevations and floor plans that show the relationship of the project to neighboring walls, windows, doors and yards.** Because the architect failed to include this information on the plans, **Planning approved this CUA apparently on the incorrect assumption that there are no walls, windows, doors or yards substantially impacted.**

NEIGHBOR CONCERN: The only window in a bedroom of the neighboring property 2136 18th St will be completely blocked. The 2136 18th neighbor pointed out this window to the architect and owner of 575 Vermont in September 2019, and submitted a concern in writing to the Planning Commission in May 2021.

Applicant RESPONSE: All iterations of plans continue to show 2136 18th bedroom window will be completely blocked and covered over.

Picture below: Showing 2136 18th bedroom window that will be blocked



Supporting documentation for BOS Appeal of Planning Commission decision 5/13/2021
re: 575 Vermont 2020-000886CUA

Picture below on LEFT: Wide shot of 2136 18th Street bedroom showing bedroom's sole window on wall of 2136 18th north lot line (the south lot line of 575 Vermont).

Picture below on RIGHT: Closeup of 2136 18th St bedroom lot line window which will be BLOCKED.

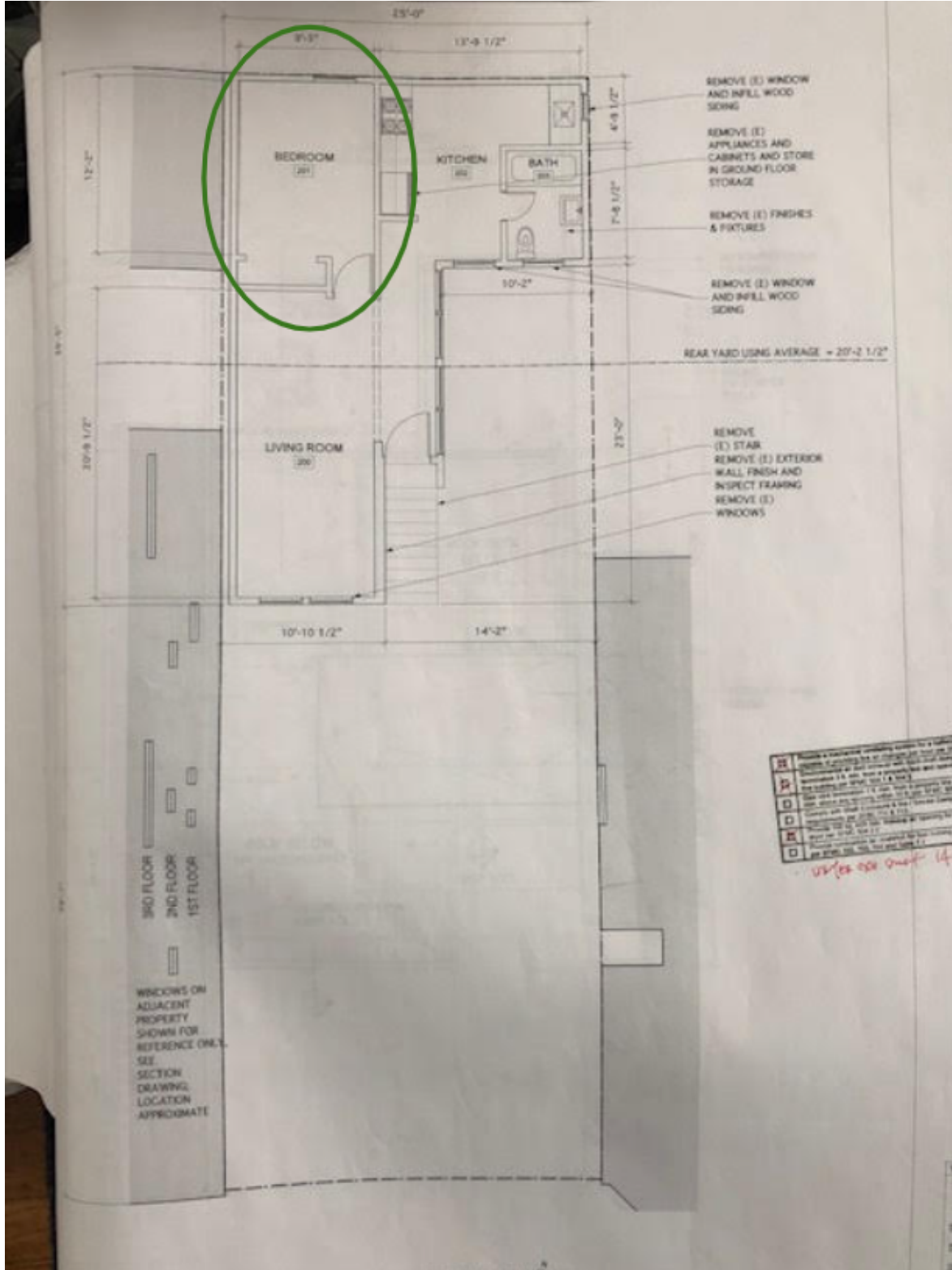


Picture below: View through 2136 18th St bedroom window, showing 575 Vermont front yard.



Supporting documentation for BOS Appeal of Planning Commission decision 5/13/2021
re: 575 Vermont 2020-000886CUA

Picture below: As-built plans of 2136 18th St, confirming space is a bedroom.



The adjacent neighbors have expressed a number of additional serious concerns since September 2019. The Applicant architect and owner have ignored the expressed concerns.

NEIGHBOR CONCERN: Scale - the proposed four story building is far too large, whether standing alone, or in comparison with other properties on the block.

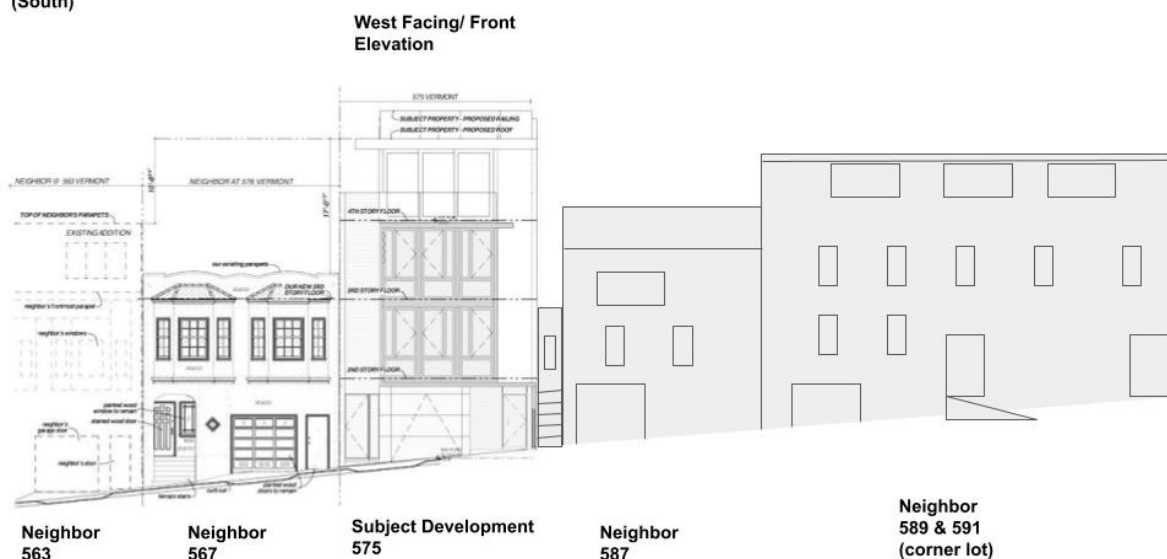
Applicant RESPONSE: Applicant reshuffled interior layout to add a poor quality, subterranean ADU instead of scaling the size of the building back to address the expressed concern. The ADU will be below-grade (i.e, underground) with its only access to light and air through a cellar stair. The ADU design does not provide quality housing.

NEIGHBOR CONCERN: Height - the building will loom over adjacent homes, blocking light and air to homes and light to yards.

Applicant RESPONSE: Applicant made the project even taller by adding a roof deck (increasing from 40 ft to 44 feet with roof deck parapet), and refused to conduct a shadow study when requested.¹ (Applicant's architect also requested that the adjacent property owners at 567 Vermont Street not include a roof deck in their long-planned expansion.)

Pictured below: Rendering of the proposed 575 project comparing the heights of neighboring buildings rising up the hill of Vermont St (587-589-591 *depictions in scale, by hand*). Proposed project will be 44 feet, much taller than all the surrounding buildings, and **without a natural stepping down of the roofline** consistent with the rest of the block.

Vermont St slopes up to the right
(South)



¹ It was not until the eve of this appeal that the owner agreed to conduct and provide the results of a shadow study to the 567 Vermont property owners; the study has not yet occurred.

NEIGHBOR CONCERN: Privacy - Applicant initially designed a side deck with a 9.5 ft sliding glass door that faces the third floor addition planned at neighbor 567 Vermont, forcing a redesign for the 567 remodel, as well as creating significant current and future neighbor and property owner conflicts over the 567 remodel.

Applicant RESPONSE: Applicant made the deck bigger and extended the sliding door to 12.5 feet in the newest version of their plans. The third story sliding door faces the wall of the proposed 567 Vermont expansion and window of the proposed primary bedroom, and the fourth story has a direct line of sight into the 567 primary bedroom window and deck.

NEIGHBOR CONCERN: Lack of cooperation in coordinating construction plans so as not to interfere with 567 Vermont remodel, and to minimize impact on neighbors

Applicant RESPONSE: In September 2019, 567 Vermont provided remodel plans to Applicant, but Applicant made no concerted effort to coordinate. Most recently, on 5/13/2021, the Planning Commission requested Applicant meet with 567 Vermont property owners to address concerns regarding 575's third and fourth floor windows. The Zoom conference call was scheduled for Friday June 4, but was canceled the same day by the developer. The Applicant and project architect were asked to provide the solutions they were going to propose during the call on June 4, but they were not provided. They were again requested to provide the proposed solutions in advance of any future call, but declined to do so.²

Additional concerns:

- The Planning Commission issued a "draft motion" that does not specify the Commission's conditional requirements of discussion to resolve issues with neighbors. See May 13, 2021 Case Report.pdf (attached) and video of hearing available at [Planning Commission - May 13th, 2021 \(granicus.com\)](#) (item 16). As it is unclear as to whether this triggered the time period to appeal, we are filing this appeal out of an abundance of caution.
- In addition, Planning inaccurately portrayed concerns of neighbors to the Planning Commission. This is reflected in the written concerns provided by neighbors in advance of the hearing (attached here), as well as in the statements provided at the hearing. While a formal transcript from the hearing on May 13, 2021 does not exist, the attached documents and caption notes of the hearing highlight the information that was, or was not, provided to the Commission in order to understand the scale, scope and risks of the proposed project (which further underscores the necessity for accurate plans, and appropriate shadow and topographic studies).

² A discussion eventually occurred on June 11, with no resolution of the Applicant's design and revisions that directly conflict with the planned 567 Vermont expansion.

- From attending the Planning Commission meeting hearing, it became clear that the Planning Commission was under the impression, among other things, that the neighbors' concerns about loss of privacy, loss of light and lack of air had been addressed by Applicant's minimal modifications, when they had not.

Conclusion

Unfortunately, the submission and approval for the 575 Vermont project was based on insufficient, incomplete and erroneous facts, and was not transparent in conveying scale, scope and impact to neighboring properties and the neighborhood generally. Planning, thus, didn't see that the project will substantially negatively impact immediately surrounding neighbors, including, among other things: **abutting, completely covering and blocking the north lot-line neighbor's sole bedroom window of the owner's home at 2136 18th St., cutting off all natural light and air to that bedroom**; directly conflicting and interfering with the proposed remodel for 567 Vermont, blocking light and air for 567 Vermont, 587-589-591 Vermont, and 2136 18th St., risking the foundations for these same properties, and an overall failure to align with the other buildings on the block.

The architect and owner could have voluntarily designed the proposed project to accommodate these various issues, including, but not limited to, respecting property line windows by incorporating light wells or side setbacks or by shortening the building to entirely avoid conflict. Instead, the architect ignored the issues by drawing and submitting side elevations and floor plans that fail to reflect the relationship of the proposed project ignoring grade, and existing neighboring walls, windows, doors, and yards.

The neighbors are not contesting development of this site but are appealing this particular design for the reasons detailed herein. The project could, and should be designed to meaningfully address and accommodate neighbors' concerns, while still allowing for development at the site.

For the foregoing reasons, we request the Board of Supervisors:

- disapprove the 5/13/2021 Planning Commission 2020-000886CUA; *and*
- return the 5/13/2021 Planning Commission 2020-000886CUA to SF Planning so that the plans can be revised to address the numerous issues negatively impacting multiple properties and neighbors on the block.

Respectfully submitted.

Here are the eight prehearing emails sent to the planning department for

Project Address: 575 VERMONT ST
Cross Streets: 17th and 18th Streets
Block / Lot No.: 4010 / 006
Zoning District(s): RH-2 / 40-X
Area Plan: Showplace Square / Potrero
Record No.: 2020-000886CUA

1. Katherine French - concerns about height, front setback, modern design out of place, parking.
2. Louk Stephens & Victoria R. Carradero - concerns about height & scale, non-cooperation with 567 remodel, roof deck, ADU with extensive excavation.
3. Ron Altoonian - concerns about scale and form, loss of light (will block only window in bedroom), structural concerns about excavation below foundation.
4. John Schwenger - concerns about scale and parking.
5. Marcy Fraser - concerns about scale, violations of SF planning code and residential design guidelines, blocking of light to mid-block open space.
6. Mark Platosh - concerns about height, scale and character of proposal, violation of 45% rear setback, roof deck.
7. Marion Parr & Scott Carr - concerns about height and scale, light to mid-block open space, privacy into existing windows, structural damage to existing 100 year old foundation, sub-standard low quality ADU.
8. Jessie Carr - concerns about height & scale, blocking of light to unit, privacy concerns with direct line-of-sight windows.

Extracted just the 575 Vermont comments from:

<https://commissions.sfplanning.org/cpcpackets/20210513pre.pdf> - pre hearing emails

For some unknown reason, the commissioners were told that there were only 3 emails in opposition that talked about "overall scale" and "parking". The other concerns were not brought to the attention of the commissioners.

From: [CPC-Commissions Secretary](#)
Cc: [Christensen, Michael \(CPC\)](#); [Feliciano, Josephine \(CPC\)](#)
Subject: FW: Comment for 575 Vermont Street hearing May 13
Date: Thursday, May 13, 2021 7:55:29 AM

Commission Affairs

San Francisco Planning
49 South Van Ness Avenue, Suite 1400, San Francisco, CA 94103
Direct: 628.652.7600 | www.sfplanning.org
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From: Katherine French <kfrench2000@hotmail.com>
Sent: Thursday, May 13, 2021 7:48 AM
To: CPC-Commissions Secretary <commissions.secretary@sfgov.org>
Subject: Comment for 575 Vermont Street hearing May 13

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Dear SF Planning Commission,

I own a condo and live on the 500 block of Vermont Street and am writing concerning the proposed new construction at 575 Vermont Street. I support residential development in our neighborhood. Although I will be sad to lose the green space with the beautiful Japanese maple tree that I pass on walks up the hill, I welcome development that will make our street more beautiful and more valuable. What I do not support is a building whose design is faulted for four reasons.

- It is too high compared to its neighbors. The 500 block of Vermont Street is sloped and each successive downhill building is shorter than its uphill neighbor; 575 Vermont Street as planned is notably taller than its uphill neighbor. This impedes views, morning sunlight on the sidewalk and street, and is out of proportion with the neighbors.
- Its building wall at the sidewalk replaces the garden setback that is common to other houses on the eastern side of the street and is out of place. It replaces a friendly neighborhood sidewalk feel with an unwelcoming gated barrier.
- Its design is modern, out of place in a neighborhood of historic gabled houses. The original, unrenovated exteriors with peaked roofs and bay windows here preserve the

authentic neighborhood feel of this block of Potrero Hill. These trendy rectilinear modern giants have plenty of design integrity, just not in this neighborhood.

- It does not provide enough parking. This building retains parking for one car (current state) but adds two more units that will rely on tight street parking.

Thank you for your consideration.

From: [CPC-Commissions Secretary](#)
Cc: [Christensen, Michael \(CPC\)](#); [Feliciano, Josephine \(CPC\)](#)
Subject: FW: 575 Vermont Street (2020-000886CUA)
Date: Thursday, May 13, 2021 7:47:45 AM
Attachments: [image002.png](#)
[image006.png](#)

Commission Affairs

San Francisco Planning
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From: Louk Stephens <louk.stephens@gmail.com>
Sent: Wednesday, May 12, 2021 4:35 PM
To: Christensen, Michael (CPC) <michael.christensen@sfgov.org>; CPC-Commissions Secretary <commissions.secretary@sfgov.org>
Cc: Louk Stephens <louk.stephens@gmail.com>; Victoria Carradero <vrcarradero@yahoo.com>
Subject: Fwd: 575 Vermont Street (2020-000886CUA)

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San Francisco Planning Department
Michael Christensen – Planner
RE: 575 Vermont Street; 2020-000886CUA

Dear Mr. Christensen & Planning Commissioners,

This letter is in reference to the proposed project at 575 Vermont Street (2020-000886CUA) currently under review by the Planning Commission. We are the homeowners of 567 Vermont Street, located right next door to the north of 575 Vermont, and have serious concerns about the proposed project.

I'm a native San Franciscan and my wife and I purchased our home at 567 Vermont in May 2005. We immediately fell in love with our friendly, diverse and sunny Potrero Hill block and neighborhood. We planned to stay and start a family here. Two young children and two dogs later, we have outgrown our living space and have long intended to expand our home with a vertical addition within standard setbacks to accommodate our family.

In 2019, we were in the schematic design phase for a project to add on to our house. During our design process, the house at 575 Vermont sold and we learned the owner planned to develop the lot. We reached out to them to see if they would like to coordinate our designs in an effort to ensure our projects were compatible with each other and to see if we could try to minimize impact to the neighborhood in terms of construction timing. They did not respond.

Having recently received the Notice of Hearing with the proposed project, it is apparent that the project is harmful to our current residence (*both* as it exists now and for any planned addition) and our neighborhood for the following reasons:

- The planned project will be two stories taller than all neighboring structures (17 feet taller than our existing house) and will overshadow our home and block our south light. As such, we request a shadow study be conducted to illustrate the impacts of the project to our light.

[see below included comparative elevation drawings – Attachment 1 and Attachment 2]

- As stated above, we reached out to the developer of this project before they began design, sent them our schematic plans (which we stopped developing in order to coordinate with them) and they ignored us. The project they have proposed has a 12.5 feet glass door in the Unit 1 rear living room that is pointed toward the northern side lot line and directly at our proposed addition as we had designed it in the plans they were given before they began their design process. We put our own permit process on hold to coordinate with them and now they have designed a project that is in direct conflict with our project. It's unfortunate that we were unable to coordinate with each other, but it is an affront to receive a design that hasn't even attempted to take our proposed plans into account.

- The project proposes access to a roof deck over the fourth story with one exit through a retractable skylight. The building code requires a continuous handrail on exit stairs. Because the exit stair passes through a skylight that closes through the stairwell, the handrail is not able to be continuous. As such, we request the project sponsor schedule a pre-application meeting with the Building Department to ensure this exit stair meets the building code.

- The proposed ADU will require extensive excavation. We have in recent years dealt with water issues in our basement, which has thick retaining walls that required repair. The proposed plans show a retaining wall on the southern side lot line and against the steps up from ADU to the yard. The drawings show a 12' tall that is only 8" thick. We have been advised that the constructed reality of a 12 foot tall retaining wall requires lagging and a much thicker concrete wall. The drawings show a kitchen backed to this concrete wall. If the wall will be furred to accommodate plumbing and electrical to serve this kitchen, this wall would be far thicker than shown, which further truncates the minimal amount of light and air the below grade windows

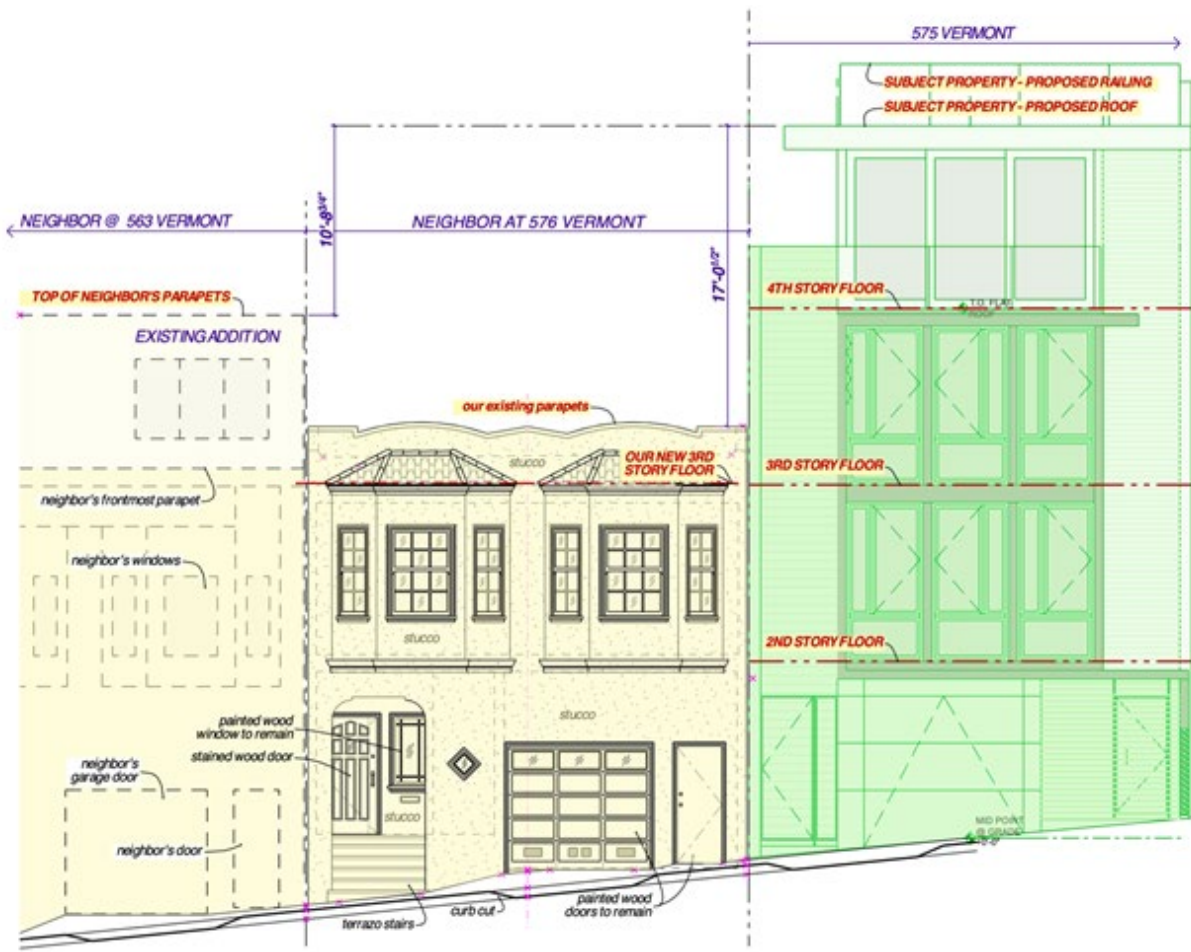
would provide to the ADU. We request that a topographical survey be conducted to verify the impacts of this excavation and that a structural and shoring engineer weigh in on the realities of the retaining wall thickness so that we can be sure this layout takes structure into account when calculating light and air to the ADU.

As owners of our home for over 16 years, where we live with our young children and intend to stay long term, we need to ensure our home is not unreasonably impacted by this large scale development project. This includes, but is not limited to, the likelihood of a battle with the future neighbors of 575 Vermont who will have concerns about our planned vertical addition obstructing their north facing windows.

Thank you for your consideration.

C. Loukas Stephens
Victoria R. Carradero
Resident owners of 567 Vermont Street

Attachment 1:

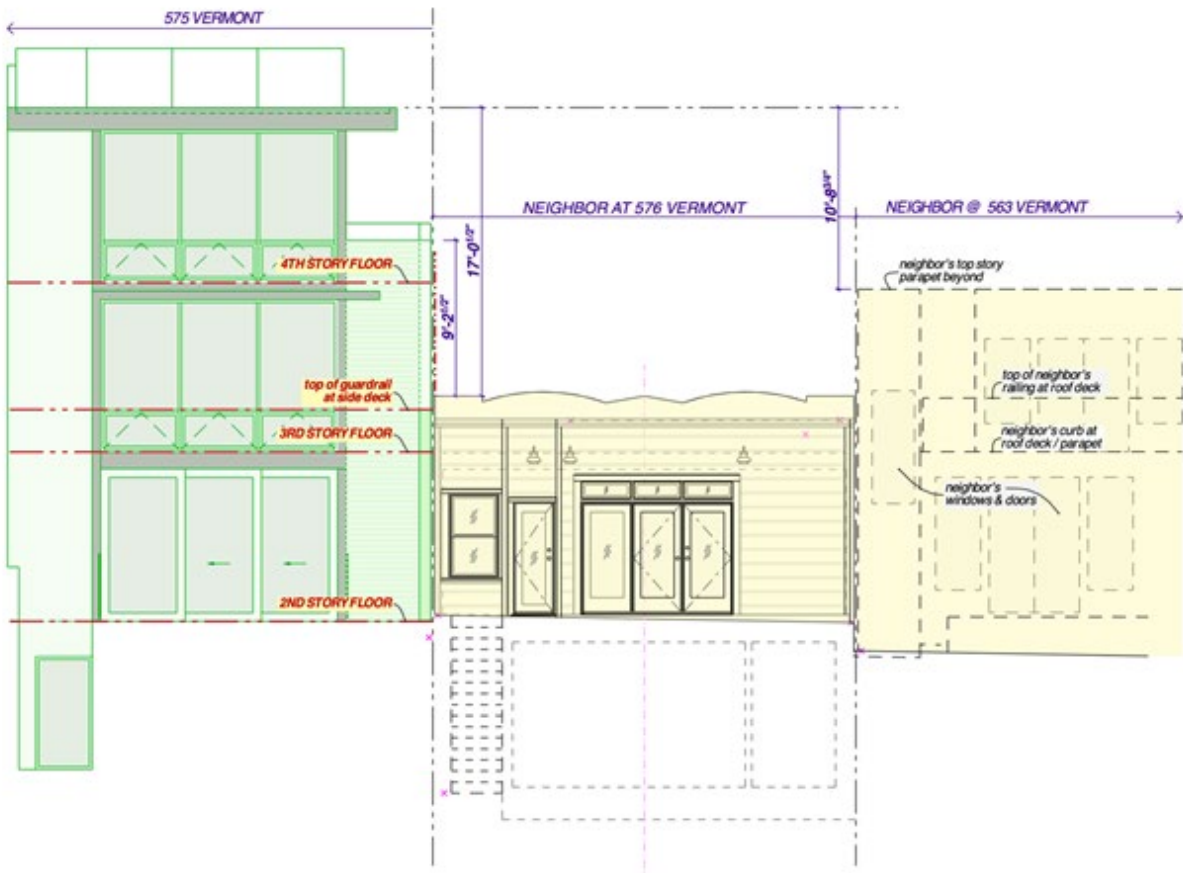


NEIGHBOR

NEIGHBOR

SUBJECT DEVELOPMENT
West Facing / Front Elevation

Attachment 2:



SUBJECT DEVELOPMENT
West Facing / Rear Elevation

NEIGHBOR

NEIGHBOR

From: [CPC-Commissions Secretary](#)
Cc: [Christensen, Michael \(CPC\)](#); [Feliciano, Josephine \(CPC\)](#)
Subject: FW: 575 Vermont St
Date: Wednesday, May 12, 2021 3:05:21 PM
Attachments: [SF-Planning_575_Vermont_st.pdf](#)

Commission Affairs

San Francisco Planning
49 South Van Ness Avenue, Suite 1400, San Francisco, CA 94103
Direct: 628.652.7600 | www.sfplanning.org
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From: Ronnie altoonian <mnkybump@gmail.com>
Sent: Wednesday, May 12, 2021 1:52 PM
To: CPC-Commissions Secretary <commissions.secretary@sfgov.org>
Subject: 575 Vermont St

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San Francisco Planning Dept
Michael Christensen – Planner
Re: 575 Vermont St
Record # 2020-000886CUA

Mr. Christensen:

This letter is in reference to the proposed development at 575 Vermont St that is scheduled for Conditional Use hearing on May 13, 2021 Record #2020-000886 CUA.

I am the homeowner of 2136 18th St and my property is adjacent to the south east section of subject property. I ask that you do not approve the demolition and development of this project until mine and my neighbor's concerns are heard and addressed. The current plan will have a negative impact on me and many of our neighbors. I'm hopeful that we can work together and come up with a solution that will be fair for everyone. I made exceptions for my neighbors when I expanded my home and I hope the same is true in this case of 575 Vermont St.

My Concerns:

Scale & Form: The scale of the building is not compatible with the neighboring homes and completely ignores the guidelines that have been established to preserve the character of the neighborhood. The proposed height will be an eyesore and tower over the existing homes and boxing-in the neighbors. There will be a loss of privacy, because at 40' tall, the owners will have a

bird's eye view into all our homes. The layout of the ground floor is underutilized and space that could otherwise be used for more living space or allow for 2 car parking.

Loss of Light & Ventilation: The proposed building is going to cover up my bedroom window and the window in the storage room that's directly below my room. This is a huge loss for me as there won't be any ventilation and my room will always be dark. I understand that lot-line windows are not protected but I'm essentially losing a bedroom. Not to mention that my home value will decrease as a result of this.

Structural concerns: There's a storage room under my home that is only accessible through a door in the floor. The room is approximately 8' deep, has thick concrete walls and located on the NW corner of my property. This room was constructed approximately 100 years ago and will be exposed because of the excavation of 575 Vermont St. I'm very concerned that this activity will compromise my home and the foundation that it sits on.

I'm asking that the planning commission take into consideration mine and my neighbor's concerns and deny the demolition permit and conditional use authorization until the building is redesigned to fit into the neighborhood.

Thank you

Ron Altoonian

From: [CPC-Commissions Secretary](#)
Cc: [Christensen, Michael \(CPC\)](#); [Feliciano, Josephine \(CPC\)](#)
Subject: FW: 575 Vermont Street
Date: Wednesday, May 12, 2021 10:16:14 AM

Commission Affairs

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From: John Schwenger <john.schwenger@sbcglobal.net>
Sent: Wednesday, May 12, 2021 9:36 AM
To: CPC-Commissions Secretary <commissions.secretary@sfgov.org>
Subject: 575 Vermont Street

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To Whom It May Concern,

The project is way to big for the location and is not in line with the other homes on the block. Not enough parking as our street is already impacted.

Please considered the project and scale it down to a reasonable size that is in step with the rest of the block.

Thank you,
John Schwenger
536 Vermont

From: [CPC-Commissions Secretary](#)
Cc: [Christensen, Michael \(CPC\)](#); [Feliciano, Josephine \(CPC\)](#)
Subject: FW: 575 Vermont Street, SF
Date: Tuesday, May 11, 2021 9:11:18 AM

Commission Affairs

San Francisco Planning
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From: Marcy FRASER <marcyfraserinsf@gmail.com>
Sent: Monday, May 10, 2021 4:32 PM
To: CPC-Commissions Secretary <commissions.secretary@sfgov.org>
Subject: 575 Vermont Street, SF

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Hello Commissioners:

I live at 559 Vermont, 2 houses away from the referenced address before the Commission. I have lived here since 1997. As proposed, 575 Vermont is out of scale with our neighborhood. In our immediate vicinity (1-1/2 blocks away) there are numerous larger, multistory apartment, condo and retail developments. Our block is not one of those developments. We have a school one block up and a couple of very small businesses nearby. Many, if not most of the recently constructed new residential development units are vacant.

Also, the 575 proposal appears to violate a number of items in the [San Francisco Planning Code](#) and to ignore guidelines from the [San Francisco Residential Design Guidelines](#). At 44 feet tall, it will block light to the mid-block open space, and it will invade the privacy of my neighbors' surrounding buildings and yards. Kids and grandkids play in those yards every day.

As a nurse who spent many years in public health, I support the addition of more housing in SF. However, we are at an inflection point with vacancies and change in the Showplace Square/Potrero neighborhood. I believe the negative impacts of the enormous current design will disrupt families and neighbors and be an eyesore on the block. Thank you for soliciting our feedback, and I look forward to your deliberations.

Marcy Fraser

PROJECT INFORMATION:

Project Address: 575 VERMONT ST -
Cross Streets: 17th and 18th Streets
Block / Lot No.: 4010 / 006
Zoning District(s): RH-2 / 40-X
Area Plan: Showplace Square / Potrero
Record No.: 2020-000886CUA

From: [CPC-Commissions Secretary](#)
Cc: [Christensen, Michael \(CPC\)](#); [Feliciano, Josephine \(CPC\)](#)
Subject: FW: 575 Vermont
Date: Monday, May 10, 2021 1:15:24 PM

Commission Affairs

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From: Mark Platosh <mark@platosh.com>
Sent: Monday, May 10, 2021 11:28 AM
To: CPC-Commissions Secretary <commissions.secretary@sfgov.org>
Subject: 575 Vermont

This message is from outside the City email system. Do not open links or attachments from untrusted sources.

Dear Planning Commission,

As a 15 year resident and current Safe SF block captain, I am writing you to reconsider the design of the massive development being proposed at 575 Vermont Street. Currently, there is an earthquake shack home there, but the plans for the new home are for a staggering 44' high + roof deck home that is out of character with the block entirely. This monstrosity of a home will block an incredible amount of light from the downslope neighbors. The house rear setback is also set at 25% instead of the mandatory 45%, and no the neighbors do not approve of this. As block captain, I have received numerous complaints from the neighbors who are living next door to this monstrosity. There are no 2 family homes anywhere near the size and footprint of this home, and none with a rooftop deck. The developer initially told the neighbors that it was going to be a 3 story home, and they would take neighbors' ideas into account. Apparently, that never happened, and we somehow are on the final design with 4 stories. A house of this size makes absolutely no sense in our neighborhood, and it needs to be trimmed down.

Thank you for your consideration

Mark Platosh
529 Vermont

From: [CPC-Commissions Secretary](#)
Cc: [Feliciano, Josephine \(CPC\)](#)
Subject: FW: Comments on proposed project at 575 Vermont
Date: Monday, May 10, 2021 8:18:19 AM
Attachments: [Letter to Planning - 575 Vermont Project.pdf](#)

Commission Affairs

San Francisco Planning
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From: Scott Carr <scott@parrcarr.com>
Sent: Sunday, May 09, 2021 3:29 PM
To: Christensen, Michael (CPC) <michael.christensen@sfgov.org>; CPC-Commissions Secretary <commissions.secretary@sfgov.org>
Cc: Marion Parr <marion@parrcarr.com>
Subject: Comments on proposed project at 575 Vermont

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Dear Mr. Christensen, attached please find our comments for the proposed project at 575 Vermont Street. We respectfully request the Planning Commission deny the demolition of the existing structure and conditional use authorization for the proposed project. The negative impacts of the current design far outweigh any potential benefit from this proposed project.

PROJECT INFORMATION

Project Address: 575 VERMONT ST
Cross Streets: 17th and 18th Streets
Block / Lot No.: 4010 / 006
Zoning District(s): RH-2 / 40-X
Area Plan: Showplace Square / Potrero
Record No.: 2020-000886CUA

Thank you very much.

--

Scott Carr and Marion Parr
scott@parrcarr.com

San Francisco Planning Department
Michael Christensen - Planner
Re: 575 Vermont Street - Project address
Record # 2020-000886CUA

Dear Mr. Christensen:

This letter is in reference to the proposed project at 575 Vermont Street that is coming before the Planning Commission for a Conditional Use hearing (Record # 2020-000886CUA) scheduled for May 13, 2021. We own the property to the south, 587-591 Vermont Street. **We respectfully request that you deny the demolition of the existing structure and conditional use authorization for the proposed project**, until a site-appropriate project is proposed. A redesign is necessary to address our concerns and the concerns of the neighbors. **The negative impacts of the current design far outweigh any potential benefit from this proposed project.**

Summarized list of concerns:

- **Scale (587 and 589 Vermont, 2136 18th St, and neighboring buildings)** - The height and volume of the project are completely out of scale with the adjoining properties of this key lot and with the rest of the neighborhood. The project proposal is not consistent with policies listed in the [San Francisco Residential Design Guidelines](#). The proposed 4-story building needs to be reduced to a 3-story building.
- **Light** - The proposed 4-story building will block light to all of the surrounding five lots and beyond. This includes, but is not limited to, the 587 Vermont living room, kitchen and bedroom windows, and the windows of 2136 18th St. The proposed project will also negatively impact the surrounding properties by shadowing the mid-block open space. The proposed building is too high and bulky and needs to be reduced to maintain appropriate natural light.
- **Privacy (587 and 589 Vermont)** - The project proposal has corner windows and decks that will invade the privacy of the tenants in 587 and 589 Vermont. The windows and front deck of the proposed 575 structure will have direct line-of-sight into the north-facing windows of 587 Vermont's living room and bedroom. The proposed structure's roof deck will also have direct line-of-sight into the living room of 589 Vermont. The proposed windows should not wrap and the deck needs screening. The project must be redesigned to maintain adequate privacy.
- **Structural (587 Vermont and 2136 18th St)** - The proposed project disregards the topography of the site. The south wall of the project will require excavation below the level of the foundations of two of the adjacent buildings to this key lot. Both these foundations are over 100 years old and at current grade. Given the inadequate structural design shown on the plans, it is certain that the project as drawn will damage the existing neighboring foundations resulting in structural damage to current living spaces and harm to the occupants. The proposed project must be redesigned to respect both the topography of the site and the surrounding area.
- **Studio/ADU** - The proposed studio on the ground level will have very little light and no air flow. The design does not provide quality housing.

Details of concerns:

Scale concerns

The height and volume of the project are out-of-scale with the adjoining properties of this key lot and with the rest of the neighborhood. The project violates the purpose of the 2021 San Francisco Planning code ([Article 1: General Zoning Provisions - Section 101 \(Purposes\), paragraph c](#))

*(c) To provide adequate **light**, air, privacy and convenience of access to property...*

in regards to providing “adequate light” and also to SF Planning Code [Section 251 \(Height and Bulk Districts: Purposes\), paragraphs a, b & d](#):

*(a) Relating of the height of buildings to important attributes of the City pattern and **to the height and character of existing development**;*

*(b) Relating of the bulk of buildings to the prevailing scale of development to **avoid an overwhelming or dominating appearance in new construction**;*

*(d) Promotion of **harmony** in the visual relationships and transitions between **new and older buildings**;*

The proposed 575 plan, if built as shown, will be by far the highest structure on the entire block. The plans show a 4-story building, 3 floors on top of the above-ground garage. Adding the roof deck will make it 44' high. This is significantly and substantially higher than the surrounding buildings, all of which are under 30' high. Specifically, the height of 587 Vermont is 29' above grade at the front steps, 567 Vermont is 26' at the lot line, 2136 18th St is approximately 19' at the lot line and 589 Vermont is 29' above grade at 18th St. The buildings across Vermont St on the west side are mainly 2-story buildings. **The proposed 575 Vermont project, at 150% the size of the tallest neighboring building, is out of context and inharmonious with the surroundings.**

The project appears to have been designed without any regard to setting or scale. The property is a key lot, directly bordering five neighboring properties. None of the other properties are remotely close to the massive height or size of this design. A project this large appears to have been purposely designed to have maximum negative impact on the surrounding properties, as it looms over the neighbors and provides a direct line-of-site into neighboring bedrooms, living spaces and gardens. The building will also have a negative impact on light, casting shadows to the north, north east, east and south east directions. **The project sponsors are capable of doing a much better job of meeting the Planning Commission's stated goal of integrating new projects into the surrounding properties so as to be compatible with the scale and character of neighboring buildings.** They can do better, and we request that they redesign the proposed plans to meet these goals.

To address these concerns, **the project should be scaled back to no more than 2 living floors over the garage, making it a 3-story building more in harmony with the neighborhood.** Attached in the Addendum below is a sketch drawn by a San Francisco architect in 2019 in response to the initial design proposal shared at the neighborhood meeting in 2019.

Were the planning department to consider allowing 4 stories, the top floor should be scaled back in size to a single room, increasing the rear set back by removing 14' of the structure to the east. In addition, the deck should be removed from the roof. If the applicants want to retain a deck, it might be added on the back of the new smaller top floor, which would have the advantage of providing relief from the afternoon winds. Attached in the Addendum below is a 2021 sketch from our architect showing a plan for how this might be implemented.

Blockage of light concerns

The proposed 4-story building will substantially reduce the amount of light and air to the kitchen, living room and bedroom of the adjacent building, 587 Vermont. While the proposed 5' indent above the 575 entry extending back 10' will partially mitigate the blockage of light and air specifically to the front steps and entryway of 587, the massive 4-story structure as proposed will block light to the entire northern side of 587. In addition, the mid-block open space will be negatively impacted by the huge proposed structure, blocking light from mid-morning until dusk. A redesign is necessary to make the project compatible with the existing building scale of neighboring structures to maintain as much light as possible to the surrounding areas.

Reducing the building to 3 stories (2 floors above the garage/studio at street level) would help mitigate the loss of light and air this proposed structure will cause.

Privacy concerns

There are north-facing windows at both 587 and 589 Vermont St. The 575 proposed plans show numerous places where there will be a direct line-of-sight into those windows, invading the privacy of the tenants of all four units (587, 589 and the new 575 units). This violates the purpose of the 2021 San Francisco Planning code [Section 101](#) (previously referenced) "*to provide adequate light, air, **privacy** and convenience of access to property*".

The window configurations of the proposed 575 plans need to be redesigned to break the line-of-sight between houses. The proposed corner window of 575's unit 1 bedroom 2 (page A2.1 of plans) will look directly into the existing living room window of 587 Vermont only approximately 10' away. Similarly, the proposed window in unit 2 bedroom 2 (pg A2.2) and the front deck (pg A2.3) will look into the existing bedroom windows of 587 Vermont. The proposed roof deck (pg A2.3) will look directly into the existing living room windows of 589 Vermont at a slight downward angle. The elevation on pg A3.1 also illustrates the problem areas.

To address these privacy concerns, at a minimum, the proposed corner bedroom windows should be changed to be just front facing, screening to the south should be added to the proposed 3rd floor front deck, and the proposed roof deck should be removed.

Structural concerns

The proposal does not respect the topography of the site and the surrounding area. The south foundation of the proposed 575 structure is along the lot line, abutting the existing foundations of 587 Vermont (along the area marked "Entry Path" and "Common Entry") and 2136 18th St (along area marked "Common Entry" and "Studio Kitchen" pg A2.0). The foundations of 2136 18th and 587 Vermont are over 100 years old (2136 18th St was built prior to 1906 and 587 Vermont was built prior to 1919), and both of these foundations are at the current grade. The proposed 575 foundation will require excavation *below* the foundations of those two buildings as the plans indicate that more than 8' of earth, plus what is required for the foundation footings, will be removed next to the property line. This is shown on the plans in the area below and to the right of the steps up to the existing front door of 575 Vermont, shown on "Existing Front Elevation" (pg A3.0). The existing foundations of the abutting buildings are at that current grade, 8' above the midpoint @ grade mark shown on the plans. Excavating below them for the proposed 575 foundation will be dangerous, certainly causing structural damage to both existing buildings. From an engineering point of view, it's clear that to prevent the

collapse of the adjacent buildings, the **new 575 foundation should follow the current grade** that slopes up to the east from the street. This would slightly change the entry path and reduce the studio kitchen area into a crawl space. The safety of the residents of the two neighboring buildings during construction must be taken into consideration during the planning phase. **Since the 575 plans, as currently proposed, do not contain sufficient information to ensure that foundations of the neighboring buildings would not be compromised, a redesign and more detailed plans are necessary before the project should be allowed to proceed.**

Studio/ADU concerns

While not a direct impact on our property at 587-591 Vermont, the proposed studio on the bottom floor is poorly designed. As it is below grade, the unit will have minimal light and air flow. Furthermore, upon reviewing the plans, our architect identified potential concerns about fire egress from the unit. While we believe that ADUs can be a great use of space and understand their importance for providing affordable housing in San Francisco, the design of this particular unit appears to lack light and air and may possibly be unsafe. **The current ADU design does not provide quality housing.**

Summary

We request that the planning commission listen to our concerns and the concerns of our neighbors as well. **The negative impacts of the proposed design vastly exceed any benefit.** Please deny the demolition permit and the conditional use authorization until the project has been redesigned.

Specifically, we request that the redesign be reduced to 3 stories to:

1. have an overall scale more in keeping with the size and scale of the neighbors,
2. reduce the blockage of light and air to 587 Vermont and the mid-block open space,
3. maintain privacy to surrounding buildings and open areas,
4. ensure the foundations of the neighboring structures will not be compromised, and
5. provide a liveable ADU that is quality housing.

We look forward to reviewing amended plans for the proposed project at 575 Vermont that address the issues described above.

Thank you for your consideration.

J. Scott Carr and Marion E. Parr

Addendum

Pictures (from Google Maps)

Here are some pictures that help illustrate our concerns.



SW aerial view, project will cast shadows to N, NE, E and SE affecting 5 abutting lots to this key lot and also to lots to east on Kansas Street. Note that the neighborhood is a collection of 2-story and 3-story buildings.



Mid-block open space area negatively impacted by the proposed project.



589 living room windows

587 bedroom windows

587 living room window

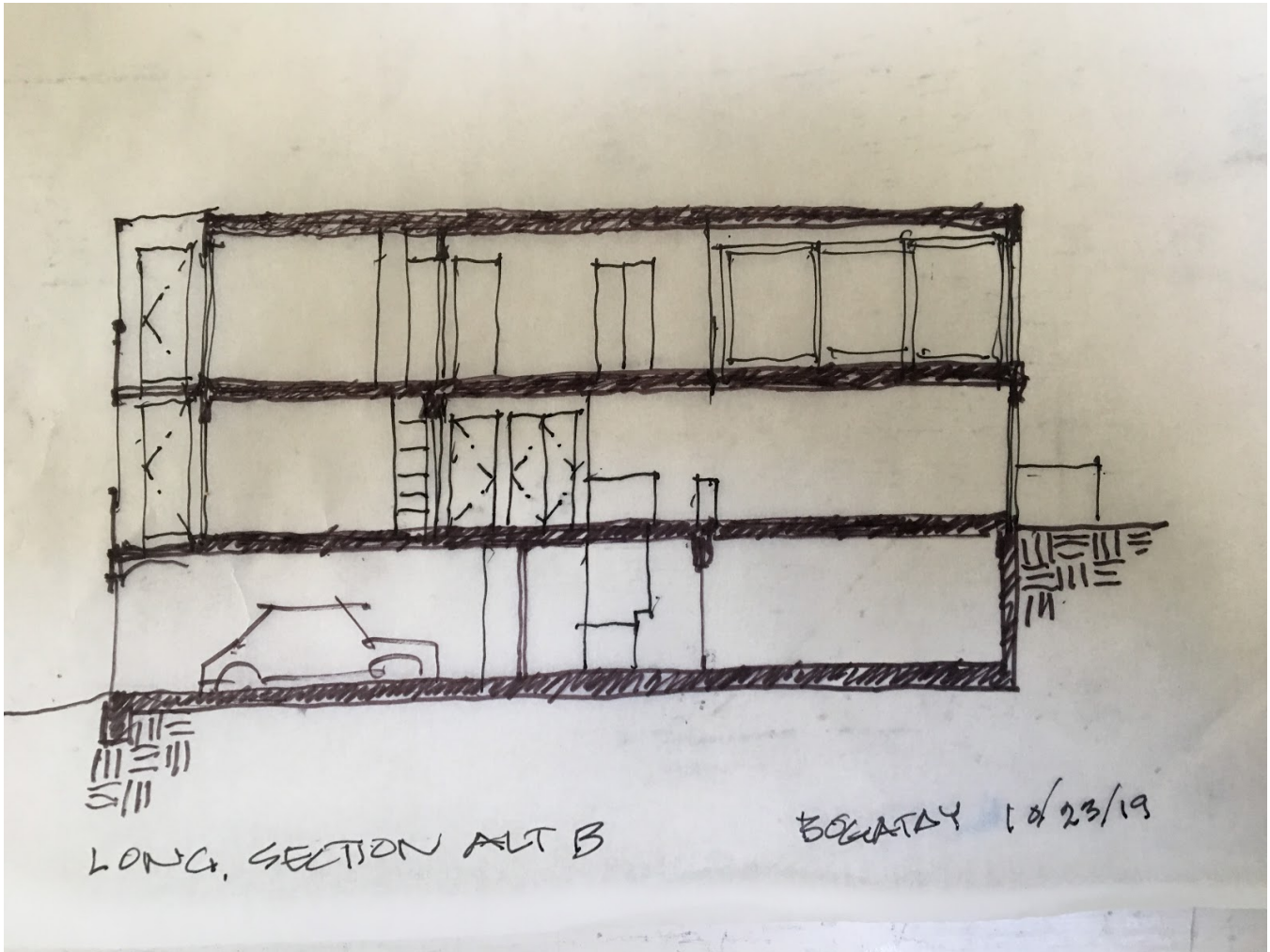
Privacy concerns towards 587 & 589 Vermont windows

Possible alternatives (from Lucia Bogaty, San Francisco architect)

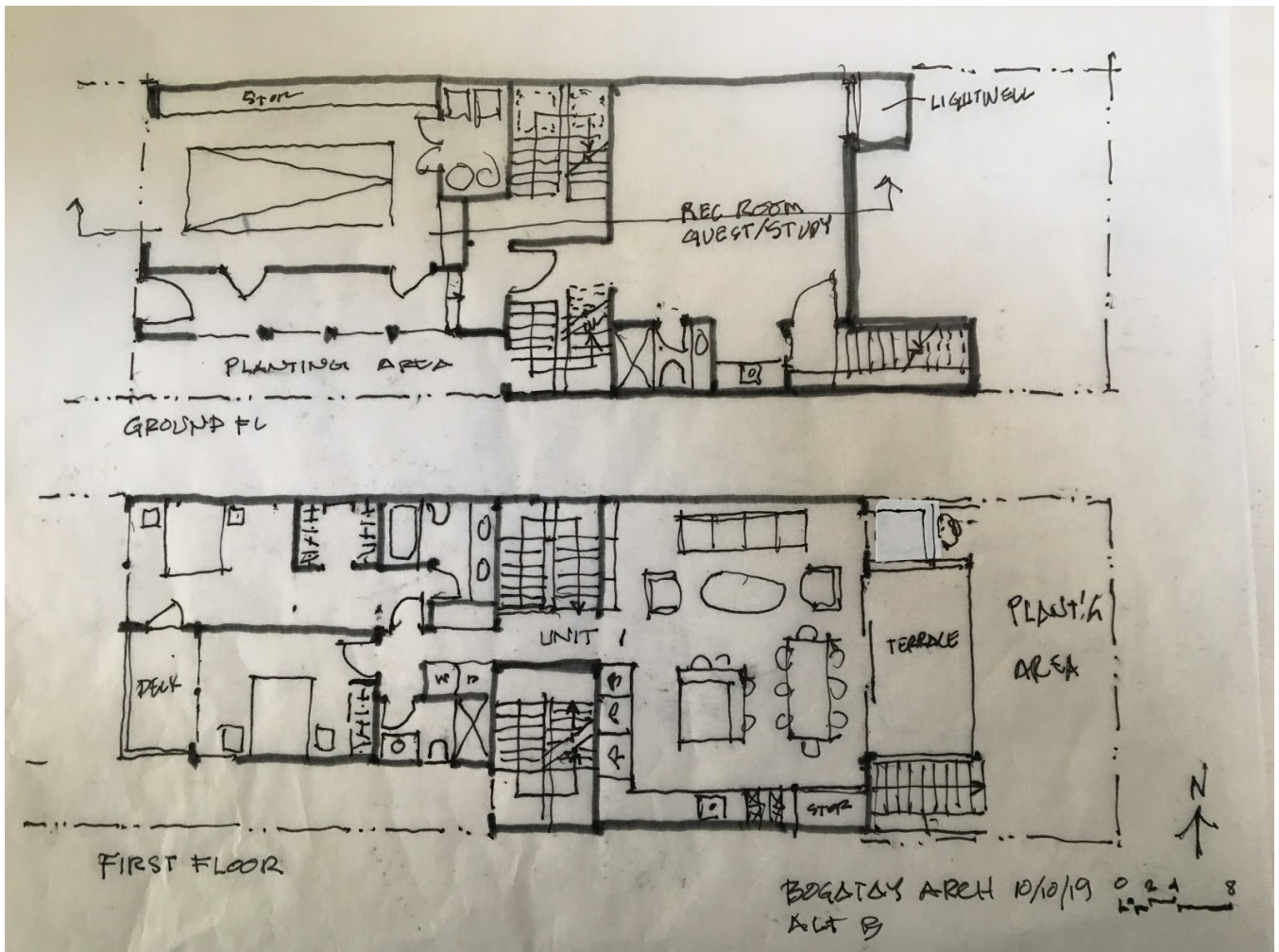
Note that these sketches may still have structural and privacy concerns that need to be addressed. They are proposals to reduce the scale of the project.

Ideal proposal (2 living floors for a 3-story building, from 2019):

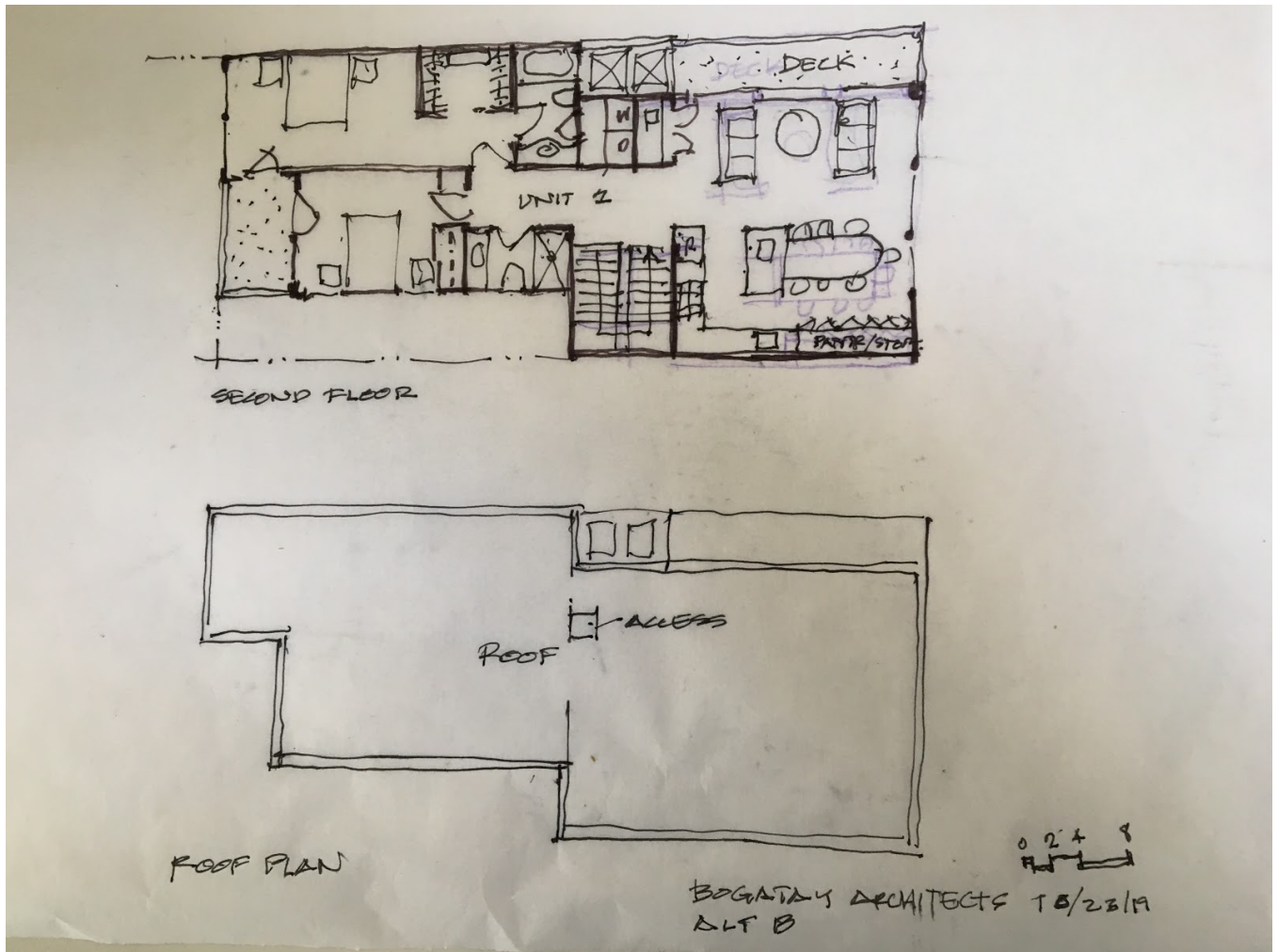
Here are sketches showing 2 living floors over a 1-story garage.



South elevation - ideal proposal of 2 floors over garage

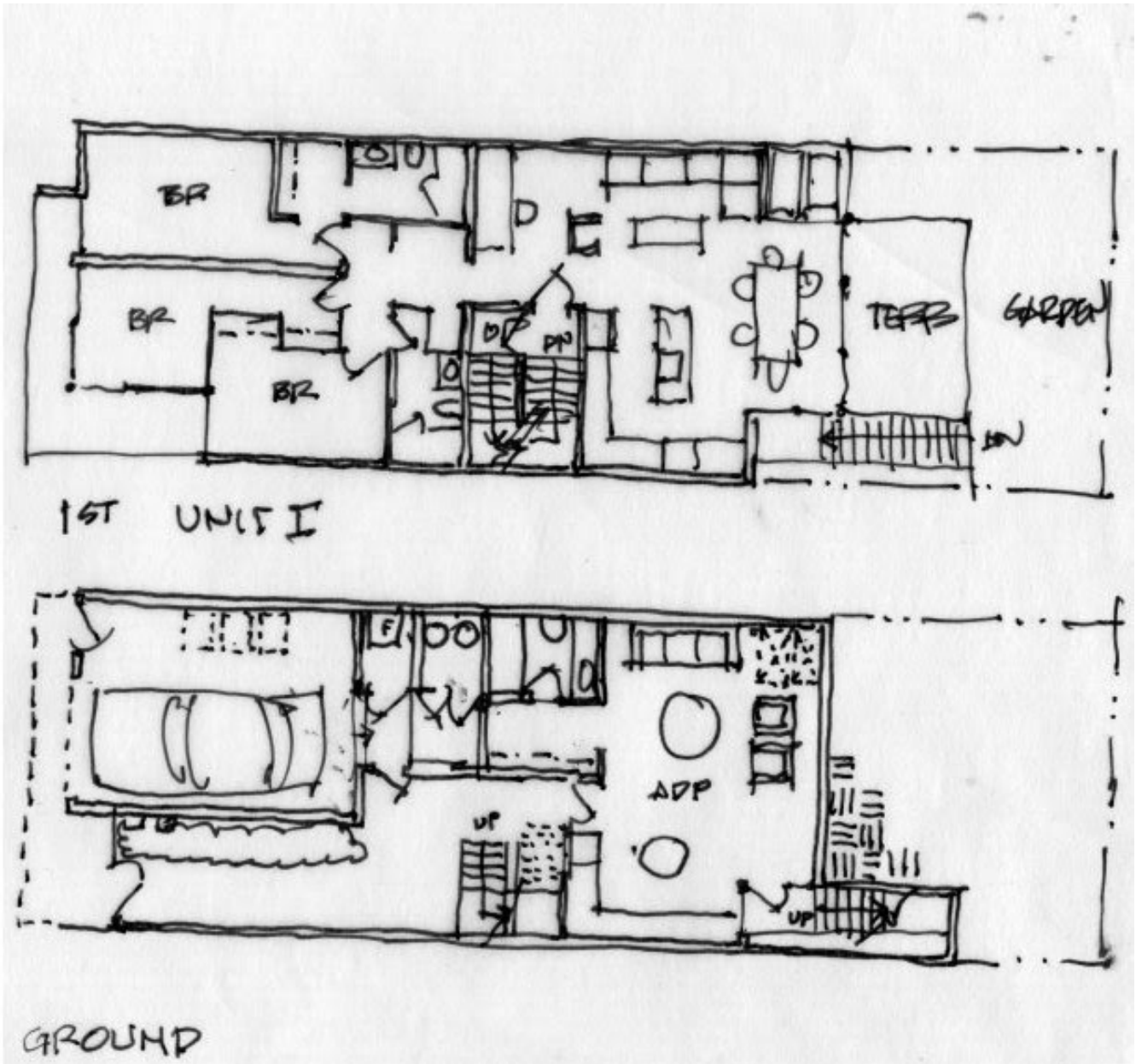


Plan for garage and first floor - ideal proposal of 2 floors over garage

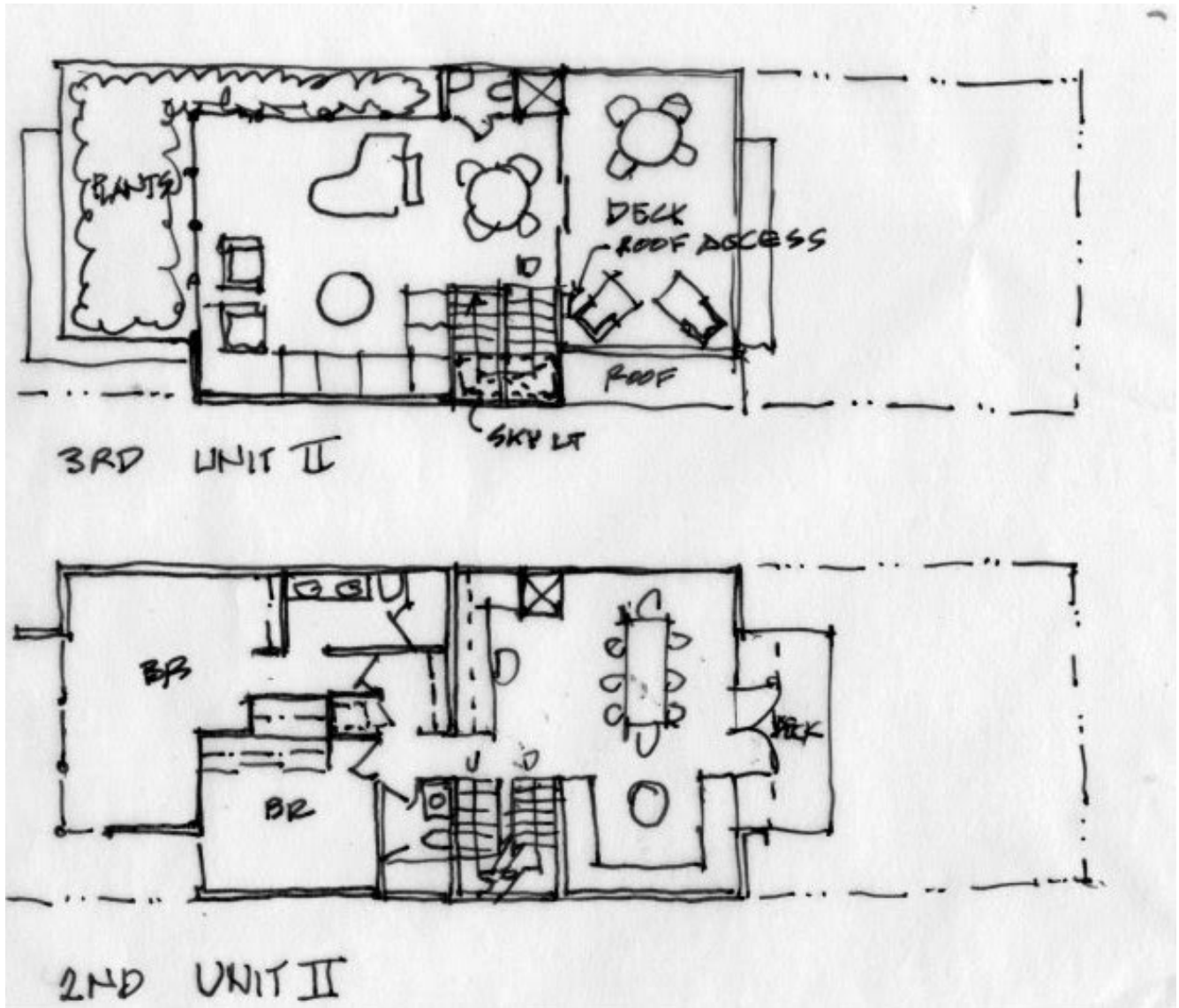


Plan for second floor and roof - ideal proposal of 2 floors over garage

Proposal to scale back top floor (from 2021):
Here are sketches showing a smaller third floor.



Plan for garage and first floor - alternate proposal with scaled back of top floor



Plan for second and third floors - alternate proposal with scaled back of top floor

B O G A T A Y A R C H I T E C T S

3676 20th Street San Francisco, CA 94110 (415) 826-3395 FAX (415) 252-7649 bogarch@ix.netcom.com

3 May 2021

NOTES ON 575 VERMONT STREET

Re: Recommended Design Changes

Attachment: Sketch plans showing changes

Goals: Improve light and Air to uphill neighbors, improve efficiency, provide shelter for decks from prevailing winds.

Ground Floor:

1. Eliminate duplicate access to ACU. Recoup space for garage and mechanical space, enlarging ACU.

First Floor:

1. Make Unit I on enlarged single floor, thus eliminating second stairwell. Use resulting space to enlarge living area.
2. Extend living area onto roof of ACU and put terrace on grade rather than on roof of ACU. This eliminates a potential waterproofing challenge.

Second Floor:

1. Incorporate area East of stair and formerly occupied by second stair into large kitchen/dining/family room for Unit II.
2. Makes nicer entrance to Unit II.
3. Provide dumb waiter to third floor in case of meals in living room above.

Third Floor:

1. Eliminate construction East of remaining stairwell.
2. Put deck on East side to give shelter from prevailing winds and provide views to NE.
3. Put planters on front setback as view from improved livingroom.

Roof:

1. Roof now exclusively for solar array.
2. Provide fixed ladder for service access
3. Provide fixed skylight over stair, saving money on

Notes on alternate proposal with scaled back of top floor

From: [CPC-Commissions Secretary](#)
Cc: [Christensen, Michael \(CPC\)](#); [Feliciano, Josephine \(CPC\)](#)
Subject: FW: 575 Vermont St proposal (Record No. 2020-000886CUA) - Neighbor concerns (587 Vermont St)
Date: Monday, May 10, 2021 8:17:46 AM

Commission Affairs

San Francisco Planning
49 South Van Ness Avenue, Suite 1400, San Francisco, CA 94103
Direct: 628.652.7600 | www.sfplanning.org
[San Francisco Property Information Map](#)

Due to COVID-19, San Francisco Planning is operating remotely, and the City's Permit Center is open on a limited basis. Our staff are [available by e-mail](#), and the Planning and Historic Preservation Commissions are convening remotely. The public is [encouraged to participate](#). Find more information on our services [here](#).

From: Jessie Carr <jessie.s.carr@gmail.com>
Sent: Sunday, May 09, 2021 4:48 PM
To: CPC-Commissions Secretary <commissions.secretary@sfgov.org>
Subject: 575 Vermont St proposal (Record No. 2020-000886CUA) - Neighbor concerns (587 Vermont St)

This message is from outside the City email system. Do not open links or attachments from untrusted sources.

Dear Mr. Christensen,

I am writing in reference to the proposed project at 575 Vermont Street, scheduled for a Conditional Use hearing (Record # 2020-000886CUA) with the Planning Commission on 13 May 2021. I am the tenant of the unit directly to the south, 587 Vermont Street. **I respectfully request that you deny the demolition of the existing structure and conditional use authorization for the proposed project**, as a redesign is necessary to address my concerns and the concerns of other neighbors.

My primary concerns with this proposal are that:

- the proposed 4-story structure is completely out of scale with the neighboring buildings, especially my unit, 587 Vermont,
- the project as designed will block light to the entire north-facing side of my unit, including my kitchen, living room, and bedroom, and
- the current proposal includes multiple design features which will invade my privacy due to direct line-of-sight windows/deck views from the proposed structure into my living room and bedroom windows.

Scale concerns

The San Francisco Planning Code highlights the importance of “*maintaining adequate light, air, and privacy*” as well as ensuring that new developments recognize the scale of existing surroundings and promote harmony between existing and new developments, avoiding structures that are overwhelming or dominating. Furthermore, the San Francisco Residential Design Guidelines reference both the immediate and broader neighborhood context of new developments, with specific guidelines for “*respect(ing) the topography of the site and the surrounding area*” and “*design(ing) the scale of the building to be compatible with the height and depth of surrounding buildings*”. The 575 Vermont proposal does not respect these goals, instead proposing a structure that would be by far the tallest structure on the block and more than 1.5 times the size of any neighboring buildings. The scale of the proposal should be substantially reduced to avoid towering over the neighboring buildings. **At a minimum, the proposed 4-story building needs to be reduced to a 3-story building to be more in harmony with the neighboring buildings.**

Light concerns

The proposed 4-story building will block both natural light and air to the living room, kitchen, and bedroom windows at my unit, 587 Vermont. One of the San Francisco Residential Design Guidelines is to “*articulate the building to minimize impacts on light and privacy to adjacent properties*”. This project, as currently proposed, will block all light to the north-facing windows of 587 Vermont (which account for half of all the windows in the unit); **the overall size of the proposed 575 Vermont building should be reduced to help mitigate the loss of natural light and air to 587 Vermont.**

Privacy concerns

Several of the windows and decks of the proposed 575 project will have direct line-of-sight to my north-facing windows at 587 Vermont, including my living room and my bedroom. As per the Residential Design Guideline referenced above, **at a minimum, the 575 Vermont proposal should be redesigned to minimize the invasion of my privacy at 587 Vermont by removing the corner windows, providing screening on the proposed 3rd floor deck, and removing the proposed roof deck.**

I respectfully request that the planning commission consider my concerns and the concerns of my neighbors and deny the demolition and conditional use authorization of the project as currently proposed. **Specifically, I request that the 575 Vermont project be reduced to no more than 3 stories (in total) to better match the size and scale of my unit and other neighboring structures, to reduce the blockage of light and air to my unit, and to maintain privacy to my unit.**

Thank you very much for your consideration, and please let me know if I can provide any further details on the concerns listed above.

Best,

Jessie Carr, Ph.D.

587 Vermont St. tenant



EXECUTIVE SUMMARY

CONDITIONAL USE AUTHORIZATION

HEARING DATE: MAY 13, 2021

Record No.: 2020-000886CUA
Project Address: 575 Vermont Street
Zoning: Residential-House, Two-Family (RH-2) Zoning District
40-X Height and Bulk District
Block/Lot: 4010 / 006
Project Sponsor: Aaron Lim
Timbre Architecture
1130 Keeler Avenue
Berkeley, CA 94708
Property Owner: Joel Micucci, LLC
P.O. Box 411494
San Francisco, CA 94141
Staff Contact: Michael Christensen – (628) 652-7567
Michael.Christensen@sfgov.org

Recommendation: Approval with Conditions

Project Description

The Project includes the demolition of an existing single-family home and construction of a four-story, 40-foot tall Residential building (measuring 3,318 gross square feet) containing two dwelling units, one Accessory Dwelling Unit (ADU), one off-street automobile parking space, and three off-street bicycle parking spaces.

Required Commission Action

In order for the Project to proceed, the Commission must grant a Conditional Use Authorization, pursuant to Planning Code Sections 209.1, 303 and 317, to allow the demolition of an existing Dwelling Unit and new construction of a four-story, two dwelling unit, one ADU residential building within the RH-2 Zoning District.

Issues and Other Considerations

- **Public Comment & Outreach.**
 - **Support/Opposition:** The Department has received 3 letters in opposition to the Project.
 - The opposition to the Project generally cited concern with the overall scale of the Project and concern that the Project does not provide sufficient parking to meet demand.
 - One neighbor also cited concern that the Project will receive comments from the Fire Department during permit review which may cause some changes to the design. The Department requested that specific information be provided to substantiate this claim, but none was provided.
- **Tenant History:** The existing single-family home is owner occupied.
- **Design Review Comments:** The Project has changed in the following significant ways since the original submittal to the Department:
 - Setting back the top floor an additional three feet from the front façade of the building.
 - Changing the front fenestration pattern to be more contextually appropriate.

Environmental Review

The Project is exempt from the California Environmental Quality Act (“CEQA”) under Class 1 and Class 3 categorical exemptions.

Basis for Recommendation

The Department finds that the Project is, on balance, consistent with the Showplace Square / Potrero Hill Area Plan and the Objectives and Policies of the General Plan. The Project replaces an existing single-family residence with a three-unit residence, maximizing the density of the lot. The addition of dwelling units to the existing structure, avoiding demolition, would be difficult given that the existing home is far setback from the street in a non-compliant manner. Thus, the Department also finds the project to be necessary, desirable, and compatible with the surrounding neighborhood, and not to be detrimental to persons or adjacent properties in the vicinity.

Attachments:

- Draft Motion – Conditional Use Authorization with Conditions of Approval (Exhibit A)
- Exhibit B – Environmental Determination
- Exhibit C – Land Use Data
- Exhibit D – Maps and Context Photos
- Exhibit E – Project Plans



PLANNING COMMISSION DRAFT MOTION

HEARING DATE: May 13, 2021

Record No.: 2020-000886CUA
Project Address: 575 Vermont Street
Zoning: Residential-House, Two-Family (RH-2) Zoning District
40-X Height and Bulk District
Block/Lot: 4010 / 006
Project Sponsor: Aaron Lim
Timbre Architecture
1130 Keeler Avenue
Berkeley, CA 94708
Property Owner: Joel Micucci, LLC
P.O. Box 411494
San Francisco, CA 94141
Staff Contact: Michael Christensen – (628) 652-7567
Michael.Christensen@sfgov.org

ADOPTING FINDINGS RELATING TO A CONDITIONAL USE AUTHORIZATION PURSUANT TO PLANNING CODE SECTIONS 209.1, 303 AND 317, TO ALLOW THE DEMOLITION OF AN EXISTING SINGLE FAMILY HOME AND CONSTRUCTION OF A NEW, FOUR-STORY, 40-FOOT TALL RESIDENTIAL BUILDING CONTAINING TWO DWELLING UNITS, ONE ACCESSORY DWELLING UNIT, ONE OFF-STREET AUTOMOBILE PARKING SPACE, AND THREE CLASS ONE BICYCLE PARKING SPACES, LOCATED AT 575 VERMONT STREET, LOT 006 IN ASSESSOR'S BLOCK 4010, WITHIN THE RH-2 (RESIDENTIAL, HOUSE, TWO-FAMILY) ZONING DISTRICT AND A 40-X HEIGHT AND BULK DISTRICT, AND ADOPTING FINDINGS UNDER THE CALIFORNIA ENVIRONMENTAL QUALITY ACT.

PREAMBLE

On January 21, 2020, Aaron Lim of Timbre Architecture (hereinafter "Project Sponsor") filed Application No. 2020-000886CUA (hereinafter "Application") with the Planning Department (hereinafter "Department") for a Conditional Use Authorization to demolish an existing single-family home and construct a new, four-story, 40-foot tall Residential building containing two dwelling units, one Accessory Dwelling Unit, one off-street automobile parking space, and three off-street bicycle parking spaces (hereinafter "Project") at 575 Vermont Street, Block 4010 Lot 006 (hereinafter "Project Site").

The Project is categorically exempt from the California Environmental Quality Act (CEQA) under Class 1 and Class 3 categorical exemptions.

On May 13, 2021, the Commission conducted a duly noticed public hearing at a regularly scheduled meeting on Conditional Use Authorization Application No. 2020-000886CUA.

The Planning Department Commission Secretary is the Custodian of Records; the File for Record No. 2020-000886CUA is located at 49 South Van Ness Avenue, Suite 1400, San Francisco, California.

The Commission has heard and considered the testimony presented to it at the public hearing and has further considered written materials and oral testimony presented on behalf of the applicant, Department staff, and other interested parties.

MOVED, that the Commission hereby authorizes the Conditional Use Authorization as requested in Application No. 2020-000886CUA, subject to the conditions contained in "EXHIBIT A" of this motion, based on the following findings:

FINDINGS

Having reviewed the materials identified in the preamble above, and having heard all testimony and arguments, this Commission finds, concludes, and determines as follows:

- 1. The above recitals are accurate and constitute findings of this Commission.**
- 2. Project Description.** The Project includes the demolition of an existing single-family home and construction of a four-story, 40-foot tall Residential building (measuring 3,318 gross square feet) containing two dwelling units, one Accessory Dwelling Unit, one off-street automobile parking space, and three off-street bicycle parking spaces.
- 3. Site Description and Present Use.** The Project is located on a 25' wide by 75' deep parcel fronting Vermont Street and is developed with a single-family home measuring 920 square feet with zero bedrooms which is set back approximately 28-feet front Vermont Street, breaking the typical development pattern of the block.
- 4. Surrounding Properties and Neighborhood.** The Project Site is located within the RH-2 Zoning District in the Showplace Square / Potrero Hill Area Plan. The immediate context is Residential in nature, with a mix of single-family homes and small multi-family buildings.
- 5. Public Outreach and Comments.** The Department has received 3 letters in opposition to the Project. The opposition to the Project generally cited concern with the overall scale of the Project and concern that the Project does not provide sufficient parking to meet demand. One neighbor also cited concern that the Project will receive comments from the Fire Department during permit review which may cause some changes to the design. The Department requested that specific information be provided to substantiate this claim, but none was provided.
- 6. Planning Code Compliance.** The Commission finds that the Project is consistent with the relevant provisions of the Planning Code in the following manner:
 - A. Residential Demolition.** Planning Code Section 317 states that a Conditional Use Authorization is required to demolish a residential unit, that no permit for residential demolition shall be approved prior to final approval of a building permit for a replacement structure, and that the Commission shall consider the replacement structure as part of its decision on the Conditional Use Authorization.

The Project Sponsor has submitted this request for Conditional Use Authorization to comply with this requirement, and the project plans include the demolition of the existing structure as well as the construction of the replacement structure. While the granting of the Conditional Use Authorization would authorize the permit to demolish the existing residential structure, formal approval of the permit to demolish the existing residential structure would not occur until the permit for the replacement structure has been finally approved.
 - B. Dwelling Unit Density.** Residential Dwelling Units are principally permitted in the RH-2 Zoning District with a maximum of two per lot.

The Project proposes two Dwelling Units, plus one Accessory Dwelling Unit, as allowed under State Law. Thus, the intended use is compliant with the dwelling unit density limits of the zoning district.

- C. **Rear Yard.** Planning Code Section 134 states properties in the RH-2 Zoning District must maintain a rear yard equal to 45% of the depth of the lot, subject to averaging based on adjacent neighbors.

The Project provides a rear yard equal to 30-feet, or 33% of the lot depth, as it matches the depth of the adjacent structure.

- D. **Open Space.** Planning Code Section 135 states that 125 square feet of usable open space must be provided per unit if private to each unit, or 166.25 square feet of usable open space must be provided if common between multiple units.

The lower dwelling unit and the Accessory Dwelling Unit are provided access to the Rear Yard. The upper unit is provided two roof decks. In total, these open space areas provide ample usable open space to meet this requirement.

- E. **Exposure.** Planning Code Section 140 states that all dwelling units in all districts must face onto an open area meeting the requirements of the Section.

The two principal dwelling units have windows facing toward the street and to the code compliant rear yard. The proposed ADU is exempt from the Exposure requirements of the Planning Code under State law; if Exposure was required, the unit would not be compliant.

- F. **Off-Street Parking.** Planning Code Section 151 sets a maximum of 1.5 parking spaces per unit on-site.

The Project provides a garage at the ground level which can accommodate one automobile. Thus, the Project complies with this requirement.

- G. **Bicycle Parking.** Planning Code Section 155.1 requires one Class One bicycle parking space per dwelling unit.

The Project provides three Class One bicycle parking spaces within the garage at the ground level. Thus, the project complies with this requirement.

- H. **Eastern Neighborhoods Infrastructure Impact Fee.** Planning Code Section 423 requires payment of the Eastern Neighborhoods Infrastructure Impact Fee for projects adding dwelling units within the Eastern Neighborhoods Mixed Use Districts.

The fee will apply on the building permit implementing the proposed project.

- I. **Residential Child Care Fee.** Planning Code Section 414A requires payment of the Child-Care Impact Fee for Residential projects adding at least 800 square feet of floor area.

The fee will apply on the building permit implementing the proposed project.

7. **Conditional Use Findings.** Planning Code Section 303 establishes criteria for the Planning Commission to consider when reviewing applications for Conditional Use authorization. On balance, the project complies with said criteria in that:

- A. The proposed new uses and building, at the size and intensity contemplated and at the proposed location, will provide a development that is necessary or desirable, and compatible with, the neighborhood or the community.

The use and size of the proposed project is compatible with the immediate neighborhood. While the Project proposes demolition of an existing single-family residence, the Project increases the number of dwelling units on the site. The proposed units are sized appropriately for the neighborhood and both Dwelling Units are family sized with two or more bedrooms. Therefore, the Project is considered to be necessary and desirable given the quality and design of the new residences and increase in the number of residential units.

- B. The proposed project will not be detrimental to the health, safety, convenience or general welfare of persons residing or working in the vicinity. There are no features of the project that could be detrimental to the health, safety or convenience of those residing or working the area, in that:

- (1) Nature of proposed site, including its size and shape, and the proposed size, shape and arrangement of structures;

The proposed building is compliant with the controls of the RH-2 Zoning District and the Residential Design Guidelines. The proposed building massing is typical for lots in the RH-2 Zoning District. While the proposed building is larger than some others in the area, the size is necessary to accommodate the proposed number of units.

- (2) The accessibility and traffic patterns for persons and vehicles, the type and volume of such traffic, and the adequacy of proposed off-street parking and loading;

No parking or loading is required for any use in San Francisco. A three-unit residential building is extremely unlikely to cause any major traffic impact or substantially change the availability of on-street parking or loading.

- (3) The safeguards afforded to prevent noxious or offensive emissions such as noise, glare, dust and odor;

As the Project is residential in nature, it is unlikely to have the potential to produce noxious or offensive emissions.

- (4) Treatment given, as appropriate, to such aspects as landscaping, screening, open spaces, parking and loading areas, service areas, lighting and signs;

The Project provides one screened off-street parking space within a garage, and the front setback area is appropriately landscaped and contains permeable surfaces to comply with the requirements of the Planning Code. As a small project, it does not contain service areas or signage that could detract from the visual quality of the site.

- C. That the use as proposed will comply with the applicable provisions of the Planning Code and will not adversely affect the General Plan.

The Project complies with all relevant requirements and standards of the Planning Code and is consistent with objectives and policies of the General Plan as detailed below.

- D. That use or feature as proposed will provide development that is in conformity with the stated purpose of the applicable Use District.

The Project is consistent with the stated purposed of RH-2 District by providing a small scale residential development that is consistent with established development patterns.

8. Residential Demolition (Section 317) Findings. In addition to the criteria of Section 303(c) of this Code, the Commission shall consider the extent to which the following criteria are met:

- A. Whether the property is free of a history of serious, continuing Code violations;

There are no active enforcement cases on the property.

- B. Whether the housing has been maintained in a decent, safe, and sanitary condition;

There are no active enforcement cases on the property. The existing home is over 100-years old, but appears to have been maintained in a decent, safe, and sanitary condition.

- C. Whether the property is an "historical resource" under CEQA;

The existing home was determined to not be a historic resource under CEQA.

- D. Whether the removal of the resource will have a substantial adverse impact under CEQA

The existing home was determined to not be a historic resource under CEQA.

- E. Whether the project converts rental housing to other forms of tenure or occupancy;

The existing home is owner occupied; thus, the Project does not change rental housing to other forms of tenure.

- F. Whether the project removes rental units subject to the Residential Rent Stabilization and Arbitration Ordinance or affordable housing;

The Planning Department cannot determine whether a specific unit is subject to the Residential Rent Stabilization and Arbitration Ordinance; however, generally single-family homes are exempt from the Rent Stabilization Ordinance. The existing unit is not a unit of Affordable Housing.

- G. Whether the project conserves existing housing to preserve cultural and economic neighborhood diversity;

The Project removes an existing single-family home. While older housing stock may be more affordable than new construction, in general single-family homes do not provide affordable housing stock for the City or further economic neighborhood diversity.

- H. Whether the project conserves neighborhood character to preserve neighborhood cultural and economic diversity;

The Project removes an existing single-family home which is far setback from the street, limiting the extent to which it contributes to neighborhood character. The replacement structure is contextually appropriate and well designed, meeting the Residential Design Guidelines and adding to neighborhood character.

- I. Whether the project protects the relative affordability of existing housing;

No existing affordable housing is removed by the Project.

- J. Whether the project increases the number of permanently affordable units as governed by Section 415;

The Project is not subject to Planning Code Section 415. A Project subject to Section 415 would need to contain at least ten units, which is not a permissible Project under the RH-2 Zoning District.

- K. Whether the project locates in-fill housing on appropriate sites in established neighborhoods;

The Project provides in-fill housing within the Potrero Hill neighborhood, which is an established neighborhood and was planned for additional housing capacity in the Showplace Square / Potrero Hill Area Plan.

- L. Whether the project increases the number of family-sized units on-site;

The Project removes a small, 920 square foot single-family home that contains zero defined bedrooms and replaces it with a three-unit structure containing one studio unit, one two-bedroom unit, and one three-bedroom unit. As such, the Project increases the number of family sized units on-site.

- M. Whether the project creates new supportive housing;

The Project does not create new supportive housing.

- N. Whether the project is of superb architectural and urban design, meeting all relevant design guidelines, to enhance existing neighborhood character;

The replacement structure is contextually appropriate and well designed, meeting the Residential Design Guidelines and providing to neighborhood character.

- O. Whether the project increases the number of on-site Dwelling Units;

The Project increases the number of on-site dwelling units from one to three.

- P. Whether the project increases the number of on-site bedrooms;

The Project increases the number of on-site bedrooms from zero to five.

- Q. Whether or not the replacement project would maximize density on the subject lot; and

The replacement project maximizes the allowed density on the subject lot at two dwelling units, plus one Accessory Dwelling Unit, as allowed under State law.

- R. If replacing a building not subject to the Residential Rent Stabilization and Arbitration Ordinance, whether the new project replaces all of the existing units with new Dwelling Units of a similar size and with the same number of bedrooms.

The replacement project would replace the existing studio unit on-site; additionally it will add one two-bedroom dwelling unit and one three-bedroom dwelling unit.

9. **General Plan Compliance.** The Project is, on balance, consistent with the following Objectives and Policies of the General Plan:

HOUSING ELEMENT

Objectives and Policies

OBJECTIVE 1

IDENTIFY AND MAKE AVAILABLE FOR DEVELOPMENT ADEQUATE SITES TO MEET THE CITY'S HOUSING NEEDS, ESPECIALLY PERMANENTLY AFFORDABLE HOUSING.

Policy 1.1

Plan for the full range of housing needs in the City and County of San Francisco, especially affordable housing.

Policy 1.10

Support new housing projects, especially affordable housing, where households can easily rely on public transportation, walking and bicycling for the majority of daily trips.

OBJECTIVE 4

FOSTER A HOUSING STOCK THAT MEETS THE NEEDS OF ALL RESIDENTS ACROSS LIFECYCLES.

Policy 4.1

Develop new housing, and encourage the remodeling of existing housing, for families with children.

Policy 4.4

Encourage sufficient and suitable rental housing opportunities, emphasizing permanently affordable rental units wherever possible.

Policy 4.5

Ensure that new permanently affordable housing is located in all of the City's neighborhoods, and encourage integrated neighborhoods, with a diversity of unit types provided at a range of income levels.

OBJECTIVE 11

SUPPORT AND RESPECT THE DIVERSE AND DISTINCT CHARACTER OF SAN FRANCISCO'S NEIGHBORHOODS.

Policy 11.1

Promote the construction and rehabilitation of well-designed housing that emphasizes beauty, flexibility, and innovative design, and respects existing neighborhood character.

Policy 11.2

Ensure implementation of accepted design standards in project approvals.

Policy 11.3

Ensure growth is accommodated without substantially and adversely impacting existing residential neighborhood character.

Policy 11.4

Continue to utilize zoning districts which conform to a generalized residential land use and density plan and the General Plan.

Policy 11.6

Foster a sense of community through architectural design, using features that promote community interaction.

Policy 11.8

Consider a neighborhood's character when integrating new uses, and minimize disruption caused by expansion of institutions into residential areas.

OBJECTIVE 12

BALANCE HOUSING GROWTH WITH ADEQUATE INFRASTRUCTURE THAT SERVES THE CITY'S GROWING POPULATION.

Policy 12.2

Consider the proximity of quality of life elements such as open space, child care, and neighborhood services, when developing new housing units.

URBAN DESIGN ELEMENT

Objectives and Policies

OBJECTIVE 1

EMPHASIS OF THE CHARACTERISTIC PATTERN WHICH GIVES TO THE CITY AND ITS NEIGHBORHOODS AN IMAGE, A SENSE OF PURPOSE, AND A MEANS OF ORIENTATION.

Policy 1.3

Recognize that buildings, when seen together, produce a total effect that characterizes the city and its districts.

Policy 1.7

Recognize the natural boundaries of districts, and promote connections between districts.

SHOWPLACE SQUARE / POTRERO HILL AREA PLAN

Land Use

Objectives and Policies

OBJECTIVE 2.3

REQUIRE THAT A SIGNIFICANT NUMBER OF UNITS IN NEW DEVELOPMENTS HAVE TWO OR MORE BEDROOMS EXCEPT SENIOR HOUSING AND SRO DEVELOPMENTS UNLESS ALL BELOW MARKET RATE UNITS ARE TWO OR MORE BEDROOM UNITS.

POLICY 2.3.3

Require that a significant number of units in new developments have two or more bedrooms, except Senior Housing and SRO developments.

The Project is a well-designed infill residential development, adding housing capacity within Showplace Square / Potrero Hill Area Plan, which anticipated additional infill housing development. The Project replaces an older, small home that has no defined bedrooms and replaces it with a three-unit building which contains two units suitable for families. The addition of two or more bedroom units is an objective of the Showplace Square / Potrero Hill Area Plan, and this Project furthers that objective while removing zero family friendly housing units.

10. Planning Code Section 101.1(b) establishes eight priority-planning policies and requires review of permits for consistency with said policies. On balance, the project complies with said policies in that:

- A. That existing neighborhood-serving retail uses be preserved and enhanced and future opportunities for resident employment in and ownership of such businesses be enhanced.

The project site does not possess any neighborhood-serving retail uses.

- B. That existing housing and neighborhood character be conserved and protected in order to preserve the cultural and economic diversity of our neighborhoods.

The Project removes one existing housing unit to create three new housing units. While preservation of existing housing is a goal of the City, this is not at the expense of providing housing for the City's growing population during a housing crisis, particularly when the existing unit is not suitable for families and is not in any way affordable.

- C. That the City's supply of affordable housing be preserved and enhanced,

The Project does not currently possess any existing affordable housing. The Project removes one market

rate single family home and replaces it with a three unit building, which is more naturally affordable.

- D. That commuter traffic not impede MUNI transit service or overburden our streets or neighborhood parking.

The Project Site is served by nearby public transportation options. The Planning Code does not require parking for any uses in support for the City's Transit First Policy.

- E. That a diverse economic base be maintained by protecting our industrial and service sectors from displacement due to commercial office development, and that future opportunities for resident employment and ownership in these sectors be enhanced.

The Project does not include commercial office development.

- F. That the City achieve the greatest possible preparedness to protect against injury and loss of life in an earthquake.

The Project will be designed and constructed to conform to the structural and seismic safety requirements of the Building Code. As such, this Project will improve the property's ability to withstand an earthquake.

- G. That landmarks and historic buildings be preserved.

Currently, the Project Site does not contain any City Landmarks or historic buildings.

- H. That our parks and open space and their access to sunlight and vistas be protected from development.

The Project does not impact any nearby parks or public open spaces.

- 11.** The Project is consistent with and would promote the general and specific purposes of the Code provided under Section 101.1(b) in that, as designed, the Project would contribute to the character and stability of the neighborhood and would constitute a beneficial development.
- 12.** The Commission hereby finds that approval of the Conditional Use Authorization would promote the health, safety and welfare of the City.

DECISION

That based upon the Record, the submissions by the Applicant, the staff of the Department and other interested parties, the oral testimony presented to this Commission at the public hearings, and all other written materials submitted by all parties, the Commission hereby **APPROVES Conditional Use Authorization Application No. 2020-000886CUA** subject to the following conditions attached hereto as “EXHIBIT A” in general conformance with plans on file, dated December 20, 2020, and stamped “EXHIBIT B”, which is incorporated herein by reference as though fully set forth.

APPEAL AND EFFECTIVE DATE OF MOTION: Any aggrieved person may appeal this Conditional Use Authorization to the Board of Supervisors within thirty (30) days after the date of this Motion. The effective date of this Motion shall be the date of this Motion if not appealed (after the 30-day period has expired) OR the date of the decision of the Board of Supervisors if appealed to the Board of Supervisors. For further information, please contact the Board of Supervisors at (415) 554-5184, City Hall, Room 244, 1 Dr. Carlton B. Goodlett Place, San Francisco, CA 94102.

Protest of Fee or Exaction: You may protest any fee or exaction subject to Government Code Section 66000 that is imposed as a condition of approval by following the procedures set forth in Government Code Section 66020. The protest must satisfy the requirements of Government Code Section 66020(a) and must be filed within 90 days of the date of the first approval or conditional approval of the development referencing the challenged fee or exaction. For purposes of Government Code Section 66020, the date of imposition of the fee shall be the date of the earliest discretionary approval by the City of the subject development.

If the City has not previously given Notice of an earlier discretionary approval of the project, the Planning Commission’s adoption of this Motion, Resolution, Discretionary Review Action or the Zoning Administrator’s Variance Decision Letter constitutes the approval or conditional approval of the development and the City hereby gives **NOTICE** that the 90-day protest period under Government Code Section 66020 has begun. If the City has already given Notice that the 90-day approval period has begun for the subject development, then this document does not re-commence the 90-day approval period.

I hereby certify that the Planning Commission ADOPTED the foregoing Motion on May 13, 2021.

Jonas P. Ionin
Commission Secretary

AYES:

NAYS:

ABSENT:

RECUSE:

ADOPTED: May 13, 2021

EXHIBIT A

Authorization

This authorization is for a conditional use to allow the demolition of an existing single-family home and construction of a four-story, 40-foot tall Residential building containing two dwelling units, one Accessory Dwelling Unit, one off-street automobile parking space, and three off-street bicycle parking spaces located at 575 Vermont Street, Block 4010 and Lot 006 pursuant to Planning Code Sections 209.1, 303 and 317 within the RH-2 Zoning District and a 40-X Height and Bulk District; in general conformance with plans, dated December 20, 2020, and stamped "EXHIBIT B" included in the docket for Record No. 2020-000886CUA and subject to conditions of approval reviewed and approved by the Commission on May 13, 2021 under Motion No. XXXXXX. This authorization and the conditions contained herein run with the property and not with a particular Project Sponsor, business, or operator.

Recordation of Conditions of Approval

Prior to the issuance of the building permit or commencement of use for the Project the Zoning Administrator shall approve and order the recordation of a Notice in the Official Records of the Recorder of the City and County of San Francisco for the subject property. This Notice shall state that the project is subject to the conditions of approval contained herein and reviewed and approved by the Planning Commission on May 13, 2021 under Motion No. XXXXXX.

Printing of Conditions of Approval on Plans

The conditions of approval under the 'Exhibit A' of this Planning Commission Motion No. XXXXXX shall be reproduced on the Index Sheet of construction plans submitted with the site or building permit application for the Project. The Index Sheet of the construction plans shall reference to the Conditional Use authorization and any subsequent amendments or modifications.

Severability

The Project shall comply with all applicable City codes and requirements. If any clause, sentence, section or any part of these conditions of approval is for any reason held to be invalid, such invalidity shall not affect or impair other remaining clauses, sentences, or sections of these conditions. This decision conveys no right to construct, or to receive a building permit. "Project Sponsor" shall include any subsequent responsible party.

Changes and Modifications

Changes to the approved plans may be approved administratively by the Zoning Administrator. Significant changes and modifications of conditions shall require Planning Commission approval of a new Conditional Use authorization.

CONDITIONS OF APPROVAL, COMPLIANCE, MONITORING, AND REPORTING

Performance

- 1. Validity.** The authorization and right vested by virtue of this action is valid for three (3) years from the effective date of the Motion. The Department of Building Inspection shall have issued a Building Permit or Site Permit to construct the project and/or commence the approved use within this three-year period.

For information about compliance, contact Code Enforcement, Planning Department at 628.652.7463, www.sfplanning.org

- 2. Expiration and Renewal.** Should a Building or Site Permit be sought after the three (3) year period has lapsed, the project sponsor must seek a renewal of this Authorization by filing an application for an amendment to the original Authorization or a new application for Authorization. Should the project sponsor decline to so file, and decline to withdraw the permit application, the Commission shall conduct a public hearing in order to consider the revocation of the Authorization. Should the Commission not revoke the Authorization following the closure of the public hearing, the Commission shall determine the extension of time for the continued validity of the Authorization.

For information about compliance, contact Code Enforcement, Planning Department at 628.652.7463, www.sfplanning.org

- 3. Diligent Pursuit.** Once a site or Building Permit has been issued, construction must commence within the timeframe required by the Department of Building Inspection and be continued diligently to completion. Failure to do so shall be grounds for the Commission to consider revoking the approval if more than three (3) years have passed since this Authorization was approved.

For information about compliance, contact Code Enforcement, Planning Department at 628.652.7463, www.sfplanning.org

- 4. Extension.** All time limits in the preceding three paragraphs may be extended at the discretion of the Zoning Administrator where implementation of the project is delayed by a public agency, an appeal or a legal challenge and only by the length of time for which such public agency, appeal or challenge has caused delay.

For information about compliance, contact Code Enforcement, Planning Department at 628.652.7463, www.sfplanning.org

- 5. Conformity with Current Law.** No application for Building Permit, Site Permit, or other entitlement shall be approved unless it complies with all applicable provisions of City Codes in effect at the time of such approval.

For information about compliance, contact Code Enforcement, Planning Department at 628.652.7463,

www.sfplanning.org

Design – Compliance at Plan Stage

- 6. Final Materials.** The Project Sponsor shall continue to work with Planning Department on the building design. Final materials, glazing, color, texture, landscaping, and detailing shall be subject to Department staff review and approval. The architectural addenda shall be reviewed and approved by the Planning Department prior to issuance.

For information about compliance, contact the Case Planner, Planning Department at 628.652.7567, www.sfplanning.org

- 7. Garbage, Composting and Recycling Storage.** Space for the collection and storage of garbage, composting, and recycling shall be provided within enclosed areas on the property and clearly labeled and illustrated on the building permit plans. Space for the collection and storage of recyclable and compostable materials that meets the size, location, accessibility and other standards specified by the San Francisco Recycling Program shall be provided at the ground level of the buildings.

For information about compliance, contact the Case Planner, Planning Department at 628.652.7567, www.sfplanning.org

- 8. Landscaping.** Pursuant to Planning Code Section 132, the Project Sponsor shall submit a site plan to the Planning Department prior to Planning approval of the building permit application indicating that 50% of the front setback areas shall be surfaced in permeable materials and further, that 20% of the front setback areas shall be landscaped with approved plant species. The size and specie of plant materials and the nature of the permeable surface shall be as approved by the Department of Public Works.

For information about compliance, contact the Case Planner, Planning Department at 628.652.7567, www.sfplanning.org

- 9. Landscaping, Permeability.** Pursuant to Planning Code Section 156, the Project Sponsor shall submit a site plan to the Planning Department prior to Planning approval of the building permit application indicating that 20% of the parking lot shall be surfaced with permeable materials and further indicating that parking lot landscaping, at a ratio of one tree, of a size comparable to that required for a street tree and of an approved species, for every 5 parking stalls, shall be provided. Permeable surfaces shall be graded with less than a 5% slope. The size and specie of plant materials and the nature of the permeable surface shall be as approved by the Department of Public Works.

For information about compliance, contact the Case Planner, Planning Department at 628.652.7567, www.sfplanning.org

Parking and Traffic

- 10. Bicycle Parking.** The Project shall provide no fewer than **three** Class 1 bicycle parking spaces as required by Planning Code Sections 155.1 and 155.2.

For information about compliance, contact Code Enforcement, Planning Department at 628.652.7463,

www.sfplanning.org

- 11. Parking Maximum.** Pursuant to Planning Code Section 151, the Project shall provide no more than **three (3)** off-street parking spaces.

For information about compliance, contact Code Enforcement, Planning Department at 628.652.7463, www.sfplanning.org

Provisions

- 12. Residential Child Care Impact Fee.** The Project is subject to the Residential Child Care Fee, as applicable, pursuant to Planning Code Section 414A.

For information about compliance, contact the Case Planner, Planning Department at 628.652. 7567, www.sfplanning.org

- 13. Eastern Neighborhoods Infrastructure Impact Fee.** The Project is subject to the Eastern Neighborhoods Infrastructure Impact Fee, as applicable, pursuant to Planning Code Section 423.

For information about compliance, contact the Case Planner, Planning Department at 628.652.7567, www.sfplanning.org

Monitoring - After Entitlement

- 14. Enforcement.** Violation of any of the Planning Department conditions of approval contained in this Motion or of any other provisions of Planning Code applicable to this Project shall be subject to the enforcement procedures and administrative penalties set forth under Planning Code Section 176 or Section 176.1. The Planning Department may also refer the violation complaints to other city departments and agencies for appropriate enforcement action under their jurisdiction.

For information about compliance, contact Code Enforcement, Planning Department at 628.652.7463, www.sfplanning.org

- 15. Revocation due to Violation of Conditions.** Should implementation of this Project result in complaints from interested property owners, residents, or commercial lessees which are not resolved by the Project Sponsor and found to be in violation of the Planning Code and/or the specific conditions of approval for the Project as set forth in Exhibit A of this Motion, the Zoning Administrator shall refer such complaints to the Commission, after which it may hold a public hearing on the matter to consider revocation of this authorization.

For information about compliance, contact Code Enforcement, Planning Department at 628.652.7463, www.sfplanning.org

Operation

- 16. Community Liaison.** Prior to issuance of a building permit to construct the project and implement the approved use, the Project Sponsor shall appoint a community liaison officer to deal with the issues of concern to owners and occupants of nearby properties. The Project Sponsor shall provide the Zoning Administrator

and all registered neighborhood groups for the area with written notice of the name, business address, and telephone number of the community liaison. Should the contact information change, the Zoning Administrator and registered neighborhood groups shall be made aware of such change. The community liaison shall report to the Zoning Administrator what issues, if any, are of concern to the community and what issues have not been resolved by the Project Sponsor.

For information about compliance, contact Code Enforcement, Planning Department at 628.652.7463, www.sfplanning.org



SAN FRANCISCO PLANNING DEPARTMENT

CEQA Categorical Exemption Determination

PROPERTY INFORMATION/PROJECT DESCRIPTION

Project Address		Block/Lot(s)
575 VERMONT ST		4010006
Case No.		Permit No.
2020-000886ENV		201912260713
<input type="checkbox"/> Addition/ Alteration	<input checked="" type="checkbox"/> Demolition (requires HRE for Category B Building)	<input checked="" type="checkbox"/> New Construction
<p>Project description for Planning Department approval. The project includes the demolition of an existing single-family residence and construction of a new three-story residential building with two dwelling units and one accessory dwelling unit.</p>		

STEP 1: EXEMPTION CLASS

The project has been determined to be categorically exempt under the California Environmental Quality Act (CEQA).	
<input checked="" type="checkbox"/>	Class 1 - Existing Facilities. Interior and exterior alterations; additions under 10,000 sq. ft.
<input checked="" type="checkbox"/>	Class 3 - New Construction. Up to three new single-family residences or six dwelling units in one building; commercial/office structures; utility extensions; change of use under 10,000 sq. ft. if principally permitted or with a CU.
<input type="checkbox"/>	<p>Class 32 - In-Fill Development. New Construction of seven or more units or additions greater than 10,000 sq. ft. and meets the conditions described below:</p> <p>(a) The project is consistent with the applicable general plan designation and all applicable general plan policies as well as with applicable zoning designation and regulations.</p> <p>(b) The proposed development occurs within city limits on a project site of no more than 5 acres substantially surrounded by urban uses.</p> <p>(c) The project site has no value as habitat for endangered rare or threatened species.</p> <p>(d) Approval of the project would not result in any significant effects relating to traffic, noise, air quality, or water quality.</p> <p>(e) The site can be adequately served by all required utilities and public services.</p> <p>FOR ENVIRONMENTAL PLANNING USE ONLY</p>
<input type="checkbox"/>	Class ____

STEP 2: CEQA IMPACTS

TO BE COMPLETED BY PROJECT PLANNER

<input checked="" type="checkbox"/>	<p>Air Quality: Would the project add new sensitive receptors (specifically, schools, day care facilities, hospitals, residential dwellings, and senior-care facilities within an Air Pollution Exposure Zone? Does the project have the potential to emit substantial pollutant concentrations (e.g., backup diesel generators, heavy industry, diesel trucks, etc.)? (refer to EP_ArcMap > CEQA Catex Determination Layers > Air Pollution Exposure Zone)</p>
<input type="checkbox"/>	<p>Hazardous Materials: If the project site is located on the Maher map or is suspected of containing hazardous materials (based on a previous use such as gas station, auto repair, dry cleaners, or heavy manufacturing, or a site with underground storage tanks): Would the project involve 50 cubic yards or more of soil disturbance - or a change of use from industrial to residential?</p> <p>Note that a categorical exemption shall not be issued for a project located on the Cortese List if the applicant presents documentation of enrollment in the San Francisco Department of Public Health (DPH) Maher program, a DPH waiver from the Maher program, or other documentation from Environmental Planning staff that hazardous material effects would be less than significant (refer to EP_ArcMap > Maher layer).</p>
<input type="checkbox"/>	<p>Transportation: Does the project involve a child care facility or school with 30 or more students, or a location 1,500 sq. ft. or greater? Does the project have the potential to adversely affect transit, pedestrian and/or bicycle safety (hazards) or the adequacy of nearby transit, pedestrian and/or bicycle facilities?</p>
<input checked="" type="checkbox"/>	<p>Archeological Resources: Would the project result in soil disturbance/modification greater than two (2) feet below grade in an archeological sensitive area or eight (8) feet in a non -archeological sensitive area? If yes, archeo review is required (refer to EP_ArcMap > CEQA Catex Determination Layers > Archeological Sensitive Area)</p>
<input type="checkbox"/>	<p>Subdivision/Lot Line Adjustment: Does the project site involve a subdivision or lot line adjustment on a lot with a slope average of 20% or more? (refer to EP_ArcMap > CEQA Catex Determination Layers > Topography). If yes, Environmental Planning must issue the exemption.</p>
<input type="checkbox"/>	<p>Slope = or > 25%: Does the project involve any of the following: (1) square footage expansion greater than 500 sq. ft. outside of the existing building footprint, (2) excavation of 50 cubic yards or more of soil, (3) new construction? (refer to EP_ArcMap > CEQA Catex Determination Layers > Topography) If box is checked, a geotechnical report is required and Environmental Planning must issue the exemption.</p>
<input type="checkbox"/>	<p>Seismic: Landslide Zone: Does the project involve any of the following: (1) square footage expansion greater than 500 sq. ft. outside of the existing building footprint, (2) excavation of 50 cubic yards or more of soil, (3) new construction? (refer to EP_ArcMap > CEQA Catex Determination Layers > Seismic Hazard Zones) If box is checked, a geotechnical report is required and Environmental Planning must issue the exemption.</p>
<input type="checkbox"/>	<p>Seismic: Liquefaction Zone: Does the project involve any of the following: (1) square footage expansion greater than 500 sq. ft. outside of the existing building footprint, (2) excavation of 50 cubic yards or more of soil, (3) new construction? (refer to EP_ArcMap > CEQA Catex Determination Layers > Seismic Hazard Zones) If box is checked, a geotechnical report will likely be required and Environmental Planning must issue the exemption.</p>
<p>Comments and Planner Signature (optional): Don Lewis</p> <p>Planning department staff archaeologist cleared the project with no effects on 3/23/2020.</p> <p>The project sponsor has submitted an article 38 application to the Department of Public Health.</p>	

**STEP 3: PROPERTY STATUS - HISTORIC RESOURCE
TO BE COMPLETED BY PROJECT PLANNER**

PROPERTY IS ONE OF THE FOLLOWING: (refer to <i>Property Information Map</i>)	
<input type="checkbox"/>	Category A: Known Historical Resource. GO TO STEP 5.
<input type="checkbox"/>	Category B: Potential Historical Resource (over 45 years of age). GO TO STEP 4.
<input checked="" type="checkbox"/>	Category C: Not a Historical Resource or Not Age Eligible (under 45 years of age). GO TO STEP 6.

**STEP 4: PROPOSED WORK CHECKLIST
TO BE COMPLETED BY PROJECT PLANNER**

Check all that apply to the project.	
<input type="checkbox"/>	1. Change of use and new construction. Tenant improvements not included.
<input type="checkbox"/>	2. Regular maintenance or repair to correct or repair deterioration, decay, or damage to building.
<input type="checkbox"/>	3. Window replacement that meets the Department's <i>Window Replacement Standards</i> . Does not include storefront window alterations.
<input type="checkbox"/>	4. Garage work. A new opening that meets the <i>Guidelines for Adding Garages and Curb Cuts</i> , and/or replacement of a garage door in an existing opening that meets the Residential Design Guidelines.
<input type="checkbox"/>	5. Deck, terrace construction, or fences not visible from any immediately adjacent public right-of-way.
<input type="checkbox"/>	6. Mechanical equipment installation that is not visible from any immediately adjacent public right-of-way.
<input type="checkbox"/>	7. Dormer installation that meets the requirements for exemption from public notification under <i>Zoning Administrator Bulletin No. 3: Dormer Windows</i> .
<input type="checkbox"/>	8. Addition(s) that are not visible from any immediately adjacent public right-of-way for 150 feet in each direction; does not extend vertically beyond the floor level of the top story of the structure or is only a single story in height; does not have a footprint that is more than 50% larger than that of the original building; and does not cause the removal of architectural significant roofing features.
Note: Project Planner must check box below before proceeding.	
<input type="checkbox"/>	Project is not listed. GO TO STEP 5.
<input type="checkbox"/>	Project does not conform to the scopes of work. GO TO STEP 5.
<input type="checkbox"/>	Project involves four or more work descriptions. GO TO STEP 5.
<input type="checkbox"/>	Project involves less than four work descriptions. GO TO STEP 6.

**STEP 5: CEQA IMPACTS - ADVANCED HISTORICAL REVIEW
TO BE COMPLETED BY PROJECT PLANNER**

Check all that apply to the project.	
<input type="checkbox"/>	1. Project involves a known historical resource (CEQA Category A) as determined by Step 3 and conforms entirely to proposed work checklist in Step 4.
<input type="checkbox"/>	2. Interior alterations to publicly accessible spaces.
<input type="checkbox"/>	3. Window replacement of original/historic windows that are not "in-kind" but are consistent with existing historic character.
<input type="checkbox"/>	4. Façade/storefront alterations that do not remove, alter, or obscure character-defining features.
<input type="checkbox"/>	5. Raising the building in a manner that does not remove, alter, or obscure character-defining features.
<input type="checkbox"/>	6. Restoration based upon documented evidence of a building's historic condition, such as historic photographs, plans, physical evidence, or similar buildings.

<input type="checkbox"/>	7. Addition(s) , including mechanical equipment that are minimally visible from a public right-of-way and meet the <i>Secretary of the Interior's Standards for Rehabilitation</i> .
<input type="checkbox"/>	8. Other work consistent with the <i>Secretary of the Interior Standards for the Treatment of Historic Properties</i> (specify or add comments):
<input type="checkbox"/>	9. Other work that would not materially impair a historic district (specify or add comments): (Requires approval by Senior Preservation Planner/Preservation Coordinator)
<input type="checkbox"/>	10. Reclassification of property status. (Requires approval by Senior Preservation Planner/Preservation <input type="checkbox"/> Reclassify to Category A a. Per HRER or PTR dated <input type="checkbox"/> Reclassify to Category C (attach HRER or PTR) b. Other (specify):
Note: If ANY box in STEP 5 above is checked, a Preservation Planner MUST sign below.	
<input type="checkbox"/>	Project can proceed with categorical exemption review. The project has been reviewed by the Preservation Planner and can proceed with categorical exemption review. GO TO STEP 6.
Comments (optional):	
Preservation Planner Signature:	

**STEP 6: CATEGORICAL EXEMPTION DETERMINATION
TO BE COMPLETED BY PROJECT PLANNER**

<input checked="" type="checkbox"/>	No further environmental review is required. The project is categorically exempt under CEQA. There are no unusual circumstances that would result in a reasonable possibility of a significant effect.	
	Project Approval Action: Planning Commission Hearing	Signature: Don Lewis 03/25/2020
	Once signed or stamped and dated, this document constitutes a categorical exemption pursuant to CEQA Guidelines and Chapter 31 of the Administrative Code. In accordance with Chapter 31 of the San Francisco Administrative Code, an appeal of an exemption determination can only be filed within 30 days of the project receiving the approval action. Please note that other approval actions may be required for the project. Please contact the assigned planner for these approvals.	

STEP 7: MODIFICATION OF A CEQA EXEMPT PROJECT

TO BE COMPLETED BY PROJECT PLANNER

In accordance with Chapter 31 of the San Francisco Administrative Code, when a California Environmental Quality Act (CEQA) exempt project changes after the Approval Action and requires a subsequent approval, the Environmental Review Officer (or his or her designee) must determine whether the proposed change constitutes a substantial modification of that project. This checklist shall be used to determine whether the proposed changes to the approved project would constitute a "substantial modification" and, therefore, be subject to additional environmental review pursuant to CEQA.

MODIFIED PROJECT DESCRIPTION

Modified Project Description:

DETERMINATION IF PROJECT CONSTITUTES SUBSTANTIAL MODIFICATION

Compared to the approved project, would the modified project:

- | | |
|--------------------------|--|
| <input type="checkbox"/> | Result in expansion of the building envelope, as defined in the Planning Code; |
| <input type="checkbox"/> | Result in the change of use that would require public notice under Planning Code Sections 311 or 312; |
| <input type="checkbox"/> | Result in demolition as defined under Planning Code Section 317 or 19005(f)? |
| <input type="checkbox"/> | Is any information being presented that was not known and could not have been known at the time of the original determination, that shows the originally approved project may no longer qualify for the exemption? |

If at least one of the above boxes is checked, further environmental review is required.

DETERMINATION OF NO SUBSTANTIAL MODIFICATION

- | | |
|--------------------------|---|
| <input type="checkbox"/> | The proposed modification would not result in any of the above changes. |
|--------------------------|---|

If this box is checked, the proposed modifications are categorically exempt under CEQA, in accordance with prior project approval and no additional environmental review is required. This determination shall be posted on the Planning Department website and office and mailed to the applicant, City approving entities, and anyone requesting written notice. In accordance with Chapter 31, Sec 31.08j of the San Francisco Administrative Code, an appeal of this determination can be filed within 10 days of posting of this determination.

Planner Name:

Date:



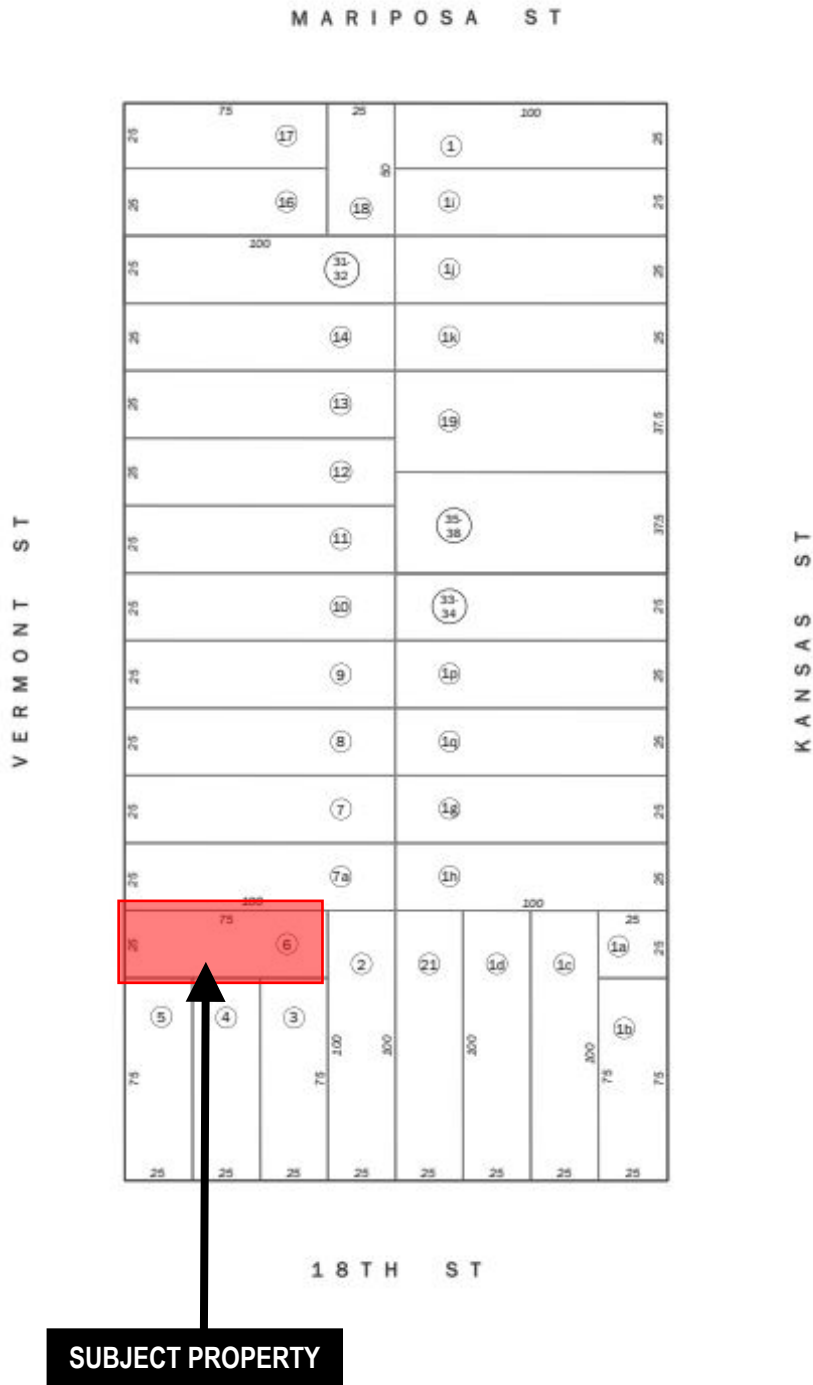
LAND USE INFORMATION

PROJECT ADDRESS: 575 VERMONT ST
RECORD NO.: 2020-000886PRJ

	EXISTING	PROPOSED	NET NEW
GROSS SQUARE FOOTAGE (GSF)			
Parking GSF	300	584	325
Residential GSF	620	2,734	2,698
TOTAL GSF	920	3,318	2,398
	EXISTING	NET NEW	TOTALS
PROJECT FEATURES (Units or Amounts)			
Dwelling Units - Affordable	0	0	0
Dwelling Units - Market Rate	1	2	3
Dwelling Units - Total	1	2	3
Number of Buildings	1	1	0
Number of Stories	1	4	3
Parking Spaces	1	1	0
Loading Spaces	0	0	0
Bicycle Spaces	0	3	3
Car Share Spaces	0	0	0
Other ()			

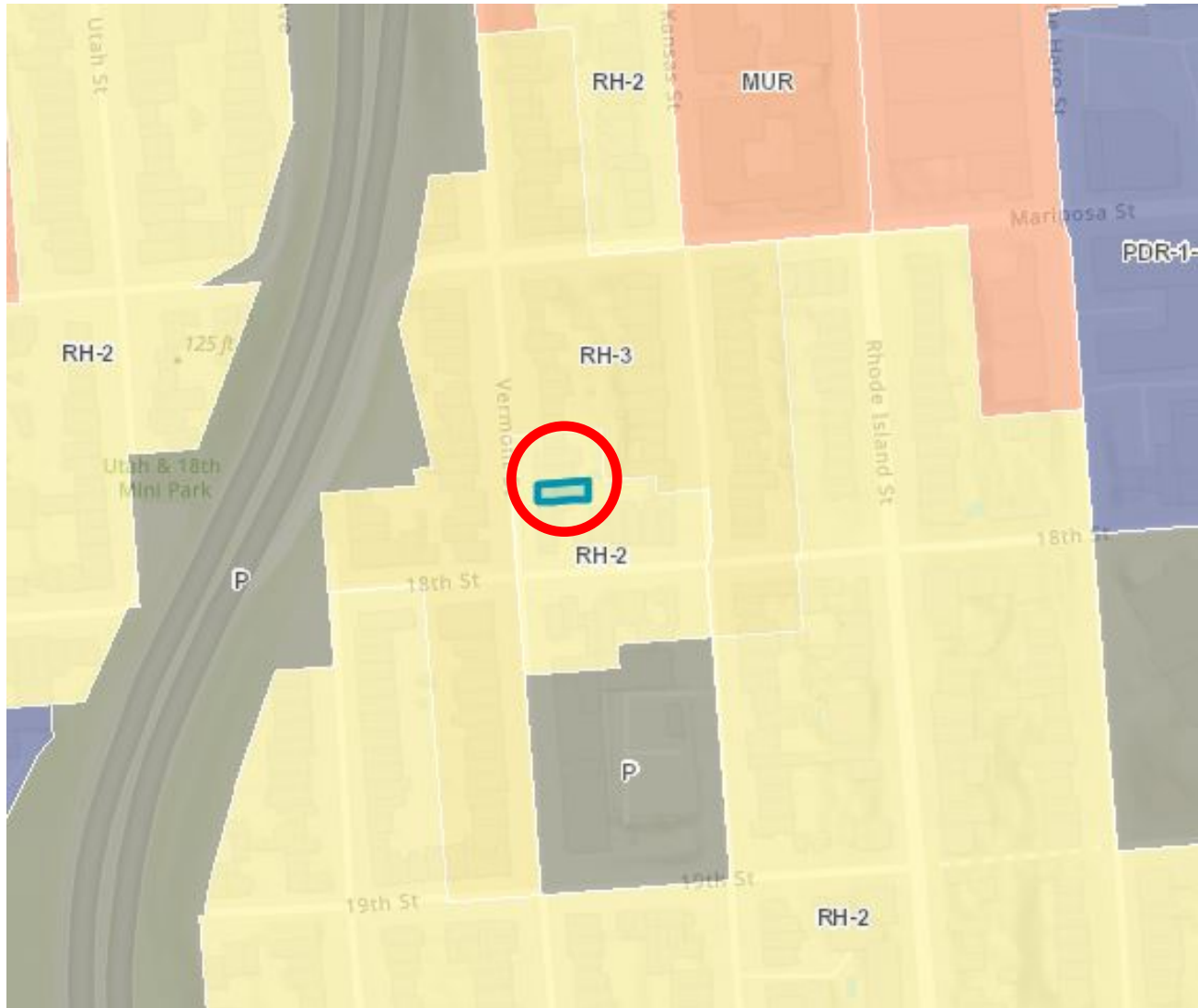
	EXISTING	PROPOSED	NET NEW
LAND USE - RESIDENTIAL			
Studio Units	1	1	0
One Bedroom Units	0	0	0
Two Bedroom Units	0	1	1
Three Bedroom (or +) Units	0	1	1
Group Housing - Rooms	0	0	0
Group Housing - Beds	0	0	0
SRO Units	0	0	0
Micro Units	0	0	0
Accessory Dwelling Units	0	1	1

Parcel Map



Conditional Use Hearing
Case Number 2020-000886CUA
575 Vermont Street

Zoning Map



Aerial Photo – View 1



SUBJECT PROPERTY



Conditional Use Hearing
Case Number 2020-000886CUA
575 Vermont Street

Site Photo



Conditional Use Hearing
Case Number 2020-000886CUA
575 Vermont Street

ABBREVIATIONS

A.F.F.	ABOVE FINISHED FLOOR
ALT.	ALTERNATE
APPROX.	APPROXIMATE
ARCH.	ARCHITECTURAL
BD.	BOARD
BLK'G.	BLOCKING
BTWN.	BETWEEN
CLG.	CEILING
CLKG.	CAULKING
CLR.	CLEAR
COL.	COLUMN
CONC.	CONCRETE
DN.	DOWN
(E)	EXISTING
EL.	ELEVATION
ELEV.	ELEVATION
EXT.	EXTERIOR
F.F.	FINISH FLOOR
FLR.	FLOOR
F.O.C.	FACE OF CONCRETE
GALV.	GALVANIZED
GYP. BD.	GYP. BOARD
H.B.	HOSE BIBB
HDWD.	HARDWOOD
HDWE.	HARDWARE
HVAC	HEATING, VENTILATION AND AIR CONDITIONING
INT.	INTERIOR
JST.	JOIST
MAX.	MAXIMUM
MECH.	MECHANICAL
MFR.	MANUFACTURER
MISC.	MISCELLANEOUS
(N)	NEW
N.I.C.	NOT IN CONTRACT
O.C.	ON CENTER
OH.	OVERHEAD
P.L.	PROPERTY LINE
PLYWD.	PLYWOOD
(R)	REMODELED OR RELOCATED
REINF.	REINFORCED
REQ'D.	REQUIRED
R.O.	ROUGH OPENING
SCHED.	SCHEDULE
S.F.	SQUARE FOOT
S.S.	STAINLESS STEEL
STL.	STEEL
STRUC.	STRUCTURAL
T & G	TONGUE & GROOVE
THK.	THICK
TYP.	TYPICAL
U.O.N.	UNLESS OTHERWISE NOTED
VERT.	VERTICAL
W/	WITH
W/O	WITHOUT

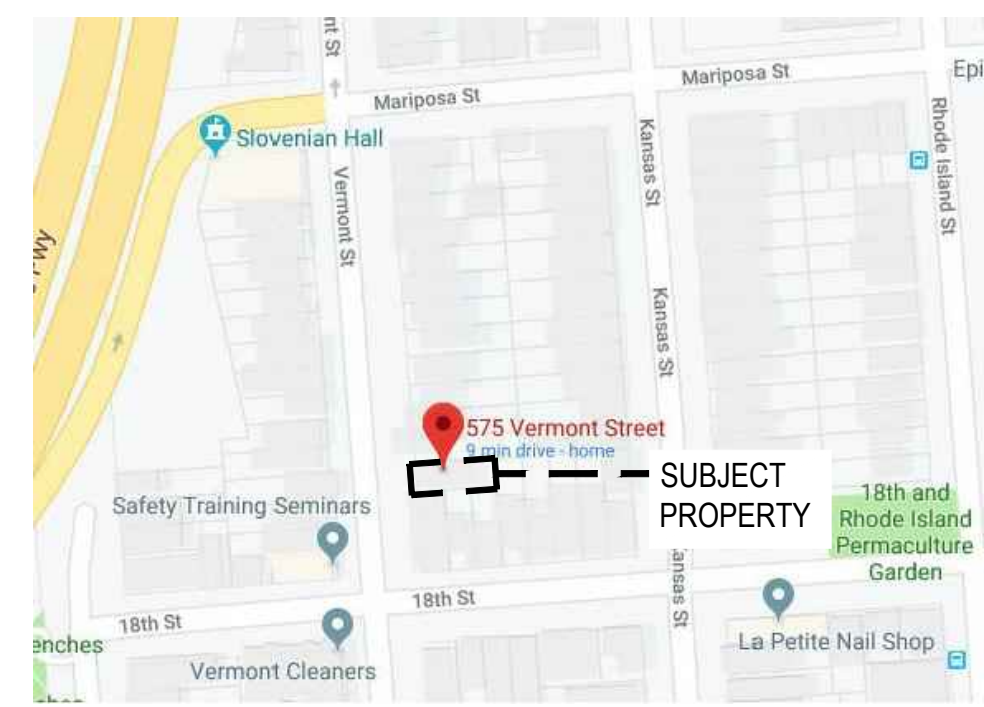
NOTE: Clarify with Architect all abbreviations not listed.

SYMBOLS

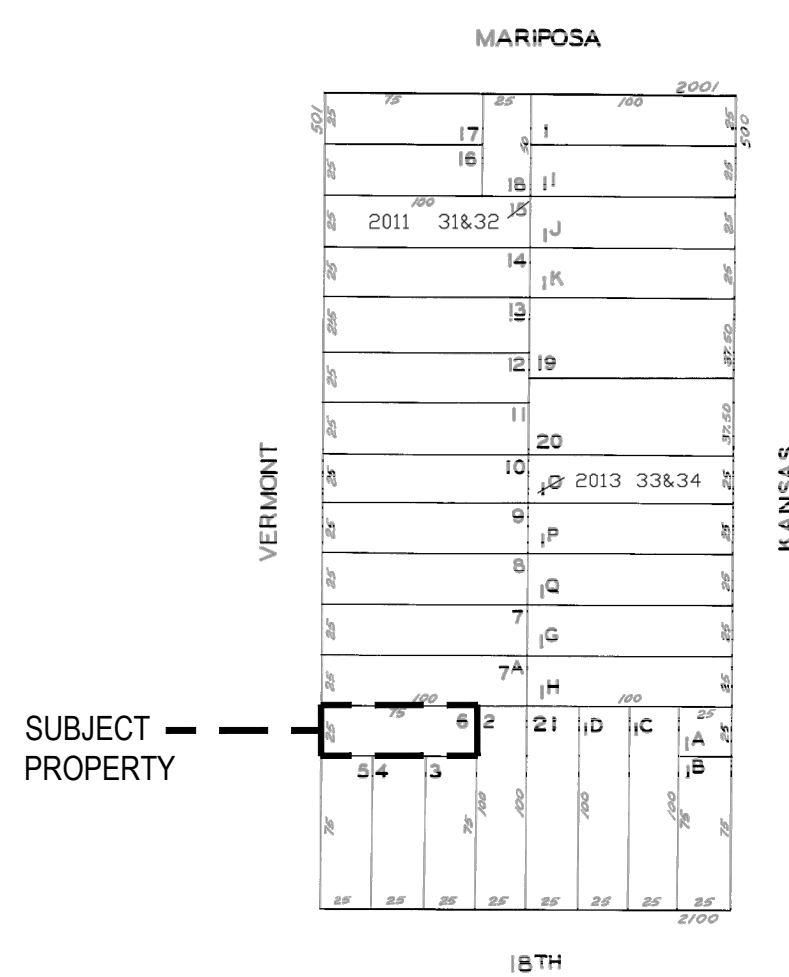
	SECTION: SECTION NUMBER SHEET NUMBER
	ELEVATION: ELEVATION NUMBER SHEET NUMBER
	DETAIL: DETAIL NUMBER SHEET NUMBER
	DOOR TAG: DOOR NUMBER DOOR TYPE
	WINDOW TAG: WINDOW NUMBER WINDOW TYPE
	ELEVATION TAG
	PROPERTY LINE
	CENTER LINE

REVISION

VICINITY MAP



PARCEL MAP



APPLICABLE CODES

CODE REVIEW INFORMATION

APPLICABLE CODES: ALL WORK DONE UNDER THIS CONTRACT SHALL COMPLY WITH THE PROVISIONS OF THE SPECIFICATIONS, DRAWINGS, AND CONSTRUCTION CRITERIA SET FORTH IN THESE DOCUMENTS AND SHALL SATISFY ALL APPLICABLE CODES, ORDINANCES, AND REGULATIONS OF ALL GOVERNING BODIES INVOLVED. ANY MODIFICATIONS TO THE CONTRACT WORK REQUIRED BY SUCH AUTHORITIES SHALL BE PERFORMED BY THE OWNER'S CONTRACTOR. ALL PERMITS AND LICENSES NECESSARY FOR THE EXECUTION OF THE WORK SHALL BE SECURED AND PAID FOR BY THE TENANT'S CONTRACTOR(S). APPLICABLE CODES INCLUDE, BUT ARE NOT LIMITED TO THE FOLLOWING:

THE MOST CURRENT OF THE FOLLOWING:

2016 CALIFORNIA RESIDENTIAL BUILDING CODE
2016 CALIFORNIA BUILDING CODE
2016 CALIFORNIA PLUMBING CODE
2016 CALIFORNIA ELECTRICAL CODE
2016 CALIFORNIA MECHANICAL CODE
2016 CALIFORNIA ENERGY CODE (TITLE 24)
SAN FRANCISCO MUNICIPAL CODE

SCOPE OF WORK

CONSTRUCT NEW THREE-STORY, TWO-UNIT RESIDENTIAL CONDO BUILDING OVER GARAGE w/ADU FOLLOWING DEMOLITION OF THE EXISTING ONE-STORY-OVER-GARAGE, SINGLE-FAMILY DWELLING ON THE SITE PER CEQA DETERMINATION CASE NO. 2006.1070E.

SOLAR PANEL SYSTEM TO BE INSTALLED UNDER A SEPARATE PERMIT.

EXISTING PHOTOS



FRONT VIEW: FROM VERMONT ST.



FRONT VIEW: FROM FRONT YARD

RENDERINGS OF PROPOSED PROJECT



FRONT VIEW: FROM VERMONT STREET



STREET VIEW: FROM SIDEWALK



STREET VIEW: FROM SIDEWALK



STREET VIEW: FROM SIDEWALK

PROJECT DIRECTORY

OWNER
JOEL MICUCCI LLC
P.O. BOX 411494
SAN FRANCISCO, CA 94141
TEL: 415.596.6661
EMAIL: jokule@gmail.com

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TIMBRE ARCHITECTURE
1130 KEELER AVE.
BERKELEY, CA 94708
TEL: 415 200 8106
EMAIL: bridgett@timbrearch.com

CONTRACTOR
PAT LOUGHRAN
7X7 CONSTRUCTION
409 MANGELS AVE.
SAN FRANCISCO, CA 94127
TEL: 510 420 1133
EMAIL: pat@7x7construction.com

DRAWING INDEX

GENERAL
G0.0 COVER SHEET
G0.1 CONTEXT PHOTOGRAPHS
G0.2 GS-1: GREEN BUILDING

ARCHITECTURAL
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A2.0 FLOOR PLANS
A2.1 FLOOR PLANS
A2.2 FLOOR & ROOF PLANS
A2.3 FLOOR & ROOF PLANS
A3.0 EXTERIOR ELEVATIONS
A3.1 EXTERIOR ELEVATIONS
A3.2 EXTERIOR ELEVATIONS
A3.3 EXTERIOR ELEVATIONS
A4.0 BUILDING SECTIONS
A4.1 BUILDING SECTIONS
A8.0 EXTERIOR DETAILS

PROJECT INFORMATION

ADDRESS: 575 VERMONT ST.
SAN FRANCISCO, CA 94107

BLOCK/LOT: 4010 / 006
OCCUPANCY: R-2
ZONING DISTRICT: RH-2 RESIDENTIAL, TWO-FAMILY
CONSTRUCTION TYPE: V-B

EXISTING USE: SINGLE-FAMILY RESIDENCE
PERMITTED USE: TWO-FAMILY RESIDENTIAL
PROPOSED USE: TWO-FAMILY RESIDENTIAL CONDO w/ADU

LOT AREA: 1,875 sq ft
LOT DIMENSIONS: 25' x 75'
FAR: 1.8x = 1,875 x 1.8 = 3,375 sf MAX.

SETBACKS:	MINIMUM	EXISTING	PROPOSED
FRONT:	NONE	0'-0"	NO CHANGE
REAR:	18'-9"	19'-11"	25'-0"
	(25% OF LOT DEPTH)		
SIDE YARD:	NONE	0'-0"	NO CHANGE

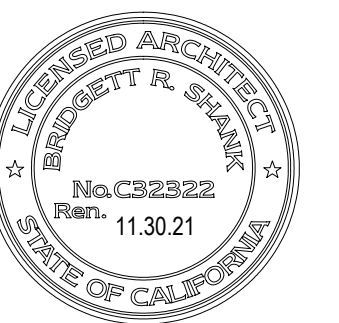
HEIGHT & BULK DISTRICT:	40-X	
	HEIGHT	# STORIES
EXISTING:	±26'-3"	ONE
PROPOSED:	40'-0"	THREE
PERMITTED:	40'-0"	THREE

EXISTING BUILDING AREA: 620 sf
DETACHED GARAGE: 259 sf

PROPOSED BUILDING AREA:	ADU	UNIT 1	UNIT 2	TOTAL
BASEMENT:	435 sf	-	-	435 sf
FIRST FLOOR:	-	1,113 sf	-	1,113 sf
SECOND FLOOR:	-	294 sf	719 sf	1,013 sf
THIRD FLOOR:	-	-	757 sf	757 sf
TOTAL:	435 sf	1,407 sf	1,476 sf	3,318 sf
GARAGE & MECH.:	412 sf			

PARKING SPACES:	EXISTING	PROPOSED	PERMITTED
	1	1	1

finbre
ARCHITECTURE
1130 Keeler Avenue, Suite 1
Berkeley, CA 94708
info@finbrearch.com
P 415.200.8106



PROJECT
575 Vermont St.

ADDRESS
575 Vermont St.
San Francisco, CA 94107

OWNER
Joel Micucci

CURRENT RELEASE DATE
October 20, 2020

CURRENT RELEASE SET
PLANNING PLAN
CHECK RESPONSE #1

PREVIOUS RELEASE
Title Date
Pre-Application Meeting Set 9.12.2019
Site Permit Set 12.20.2019

SHEET TITLE

PROJECT INFORMATION

SCALE NTS
JOB NUMBER 19-04
DRAWN BY BS

GO.0



PHOTO 'A' - FRONT VIEW AT STREET: SUBJECT PROPERTY DETACHED GARAGE



PHOTO 'B' - FRONT VIEW AT FRONT YARD: SUBJECT PROPERTY

PHOTO KEY MAP:

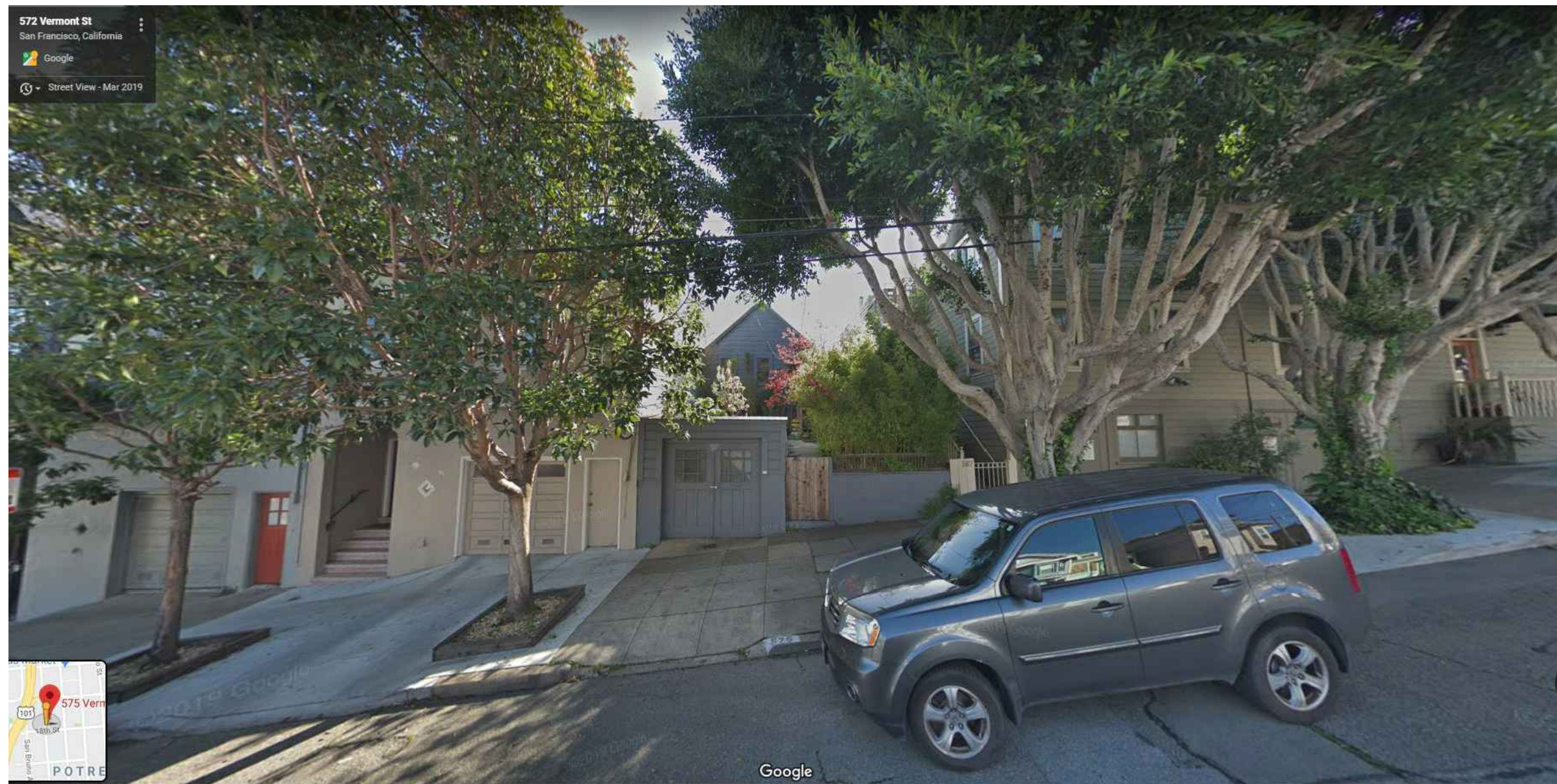
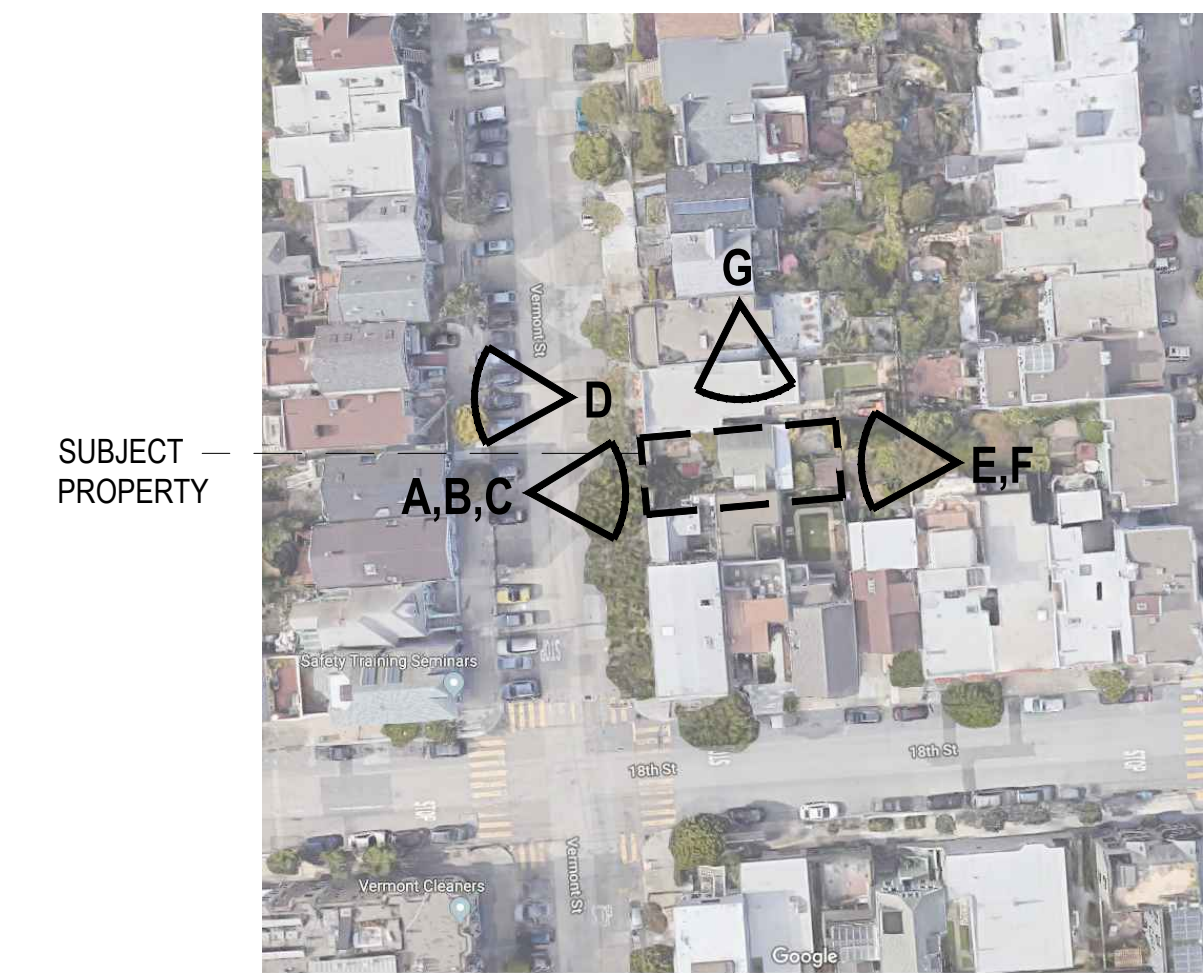


PHOTO 'C' - FRONT VIEW: SUBJECT PROPERTY & ADJACENT BUILDINGS

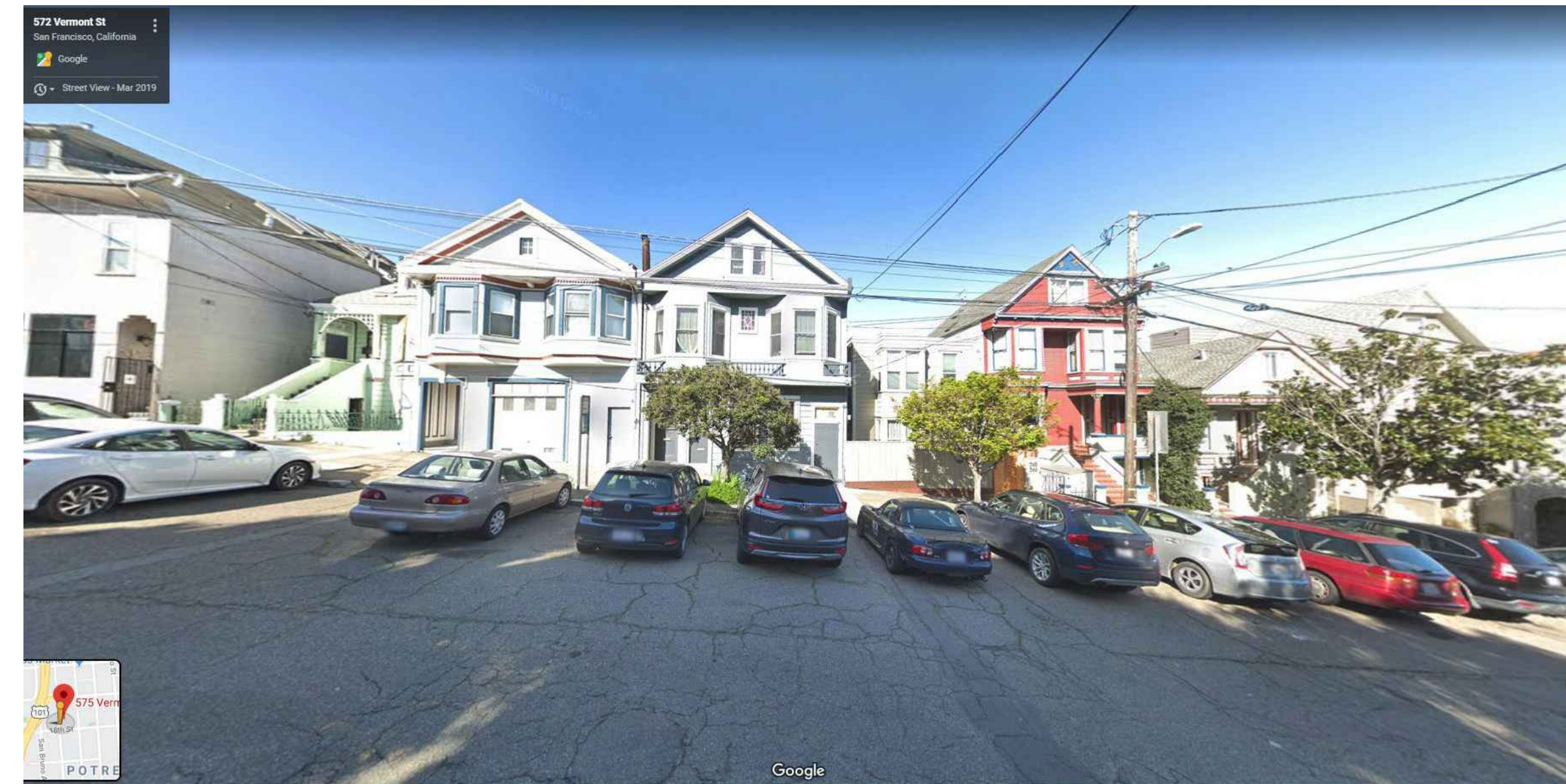


PHOTO 'D' - FRONT VIEW: FACING BUILDINGS



PHOTO 'E' - VIEW OF REAR FACADE



PHOTO 'F' - VIEW OF ADJACENT PROPERTY AT 567 VERMONT ST.

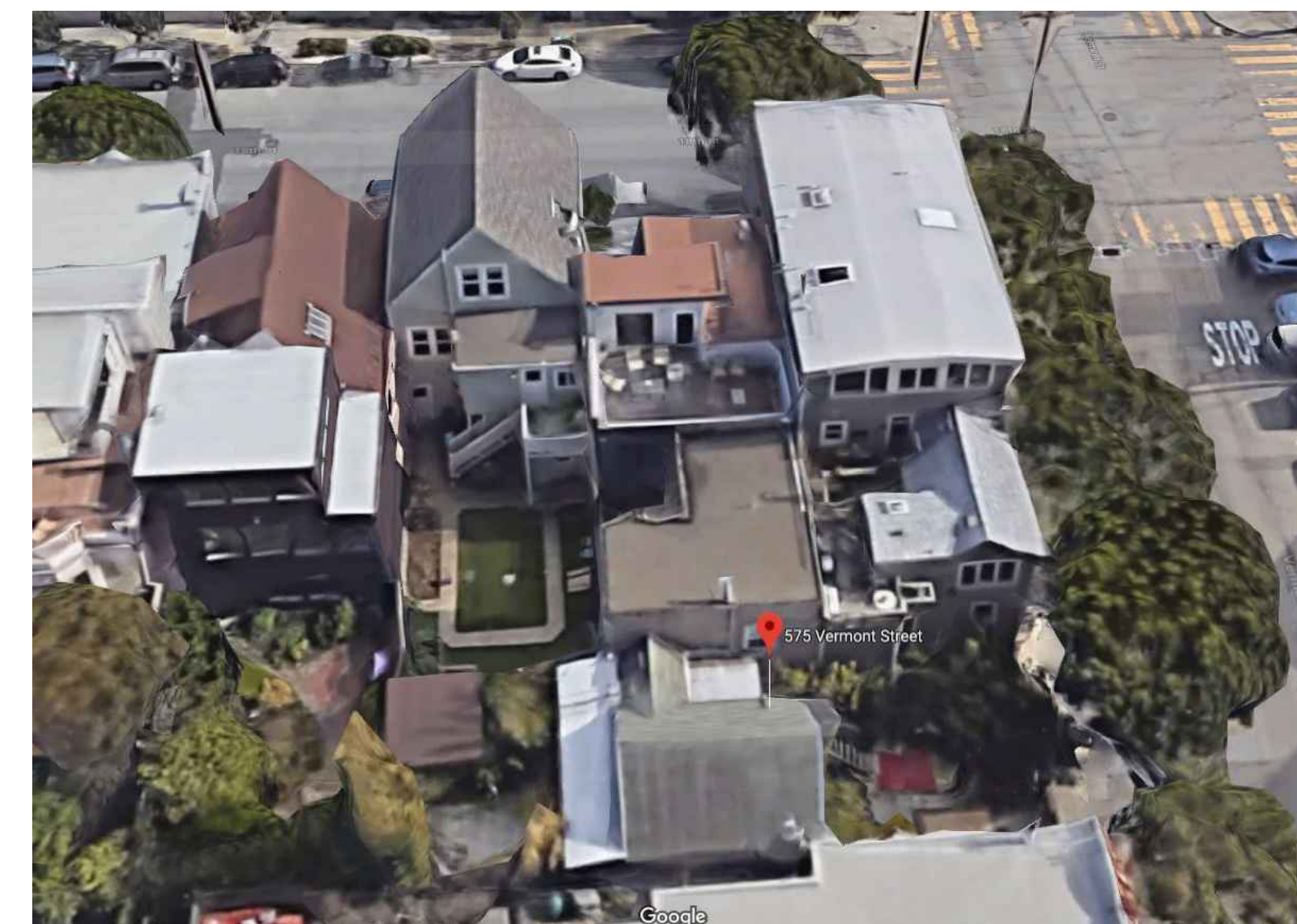


PHOTO 'G' - AERIAL VIEW OF ADJACENT PROPERTIES SOUTH OF SUBJECT PROPERTY

PROJECT
575 Vermont St.

ADDRESS
575 Vermont St.
San Francisco, CA 94107

OWNER
Joel Micucci

CURRENT RELEASE DATE
October 20, 2020

CURRENT RELEASE SET
PLANNING PLAN
CHECK RESPONSE #1

PREVIOUS RELEASE

Title	Date
Pre-Application Meeting Set	9.12.2019
Site Permit Set	12.20.2019

SHEET TITLE
**CONTEXT
PHOTOGRAPHS**

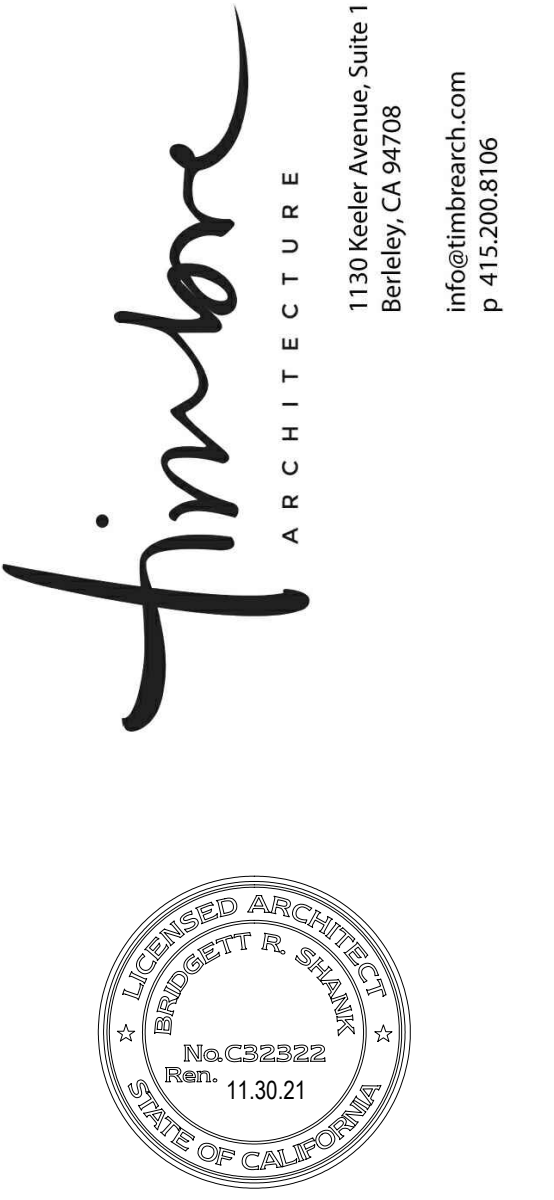
SCALE NTS
JOB NUMBER 19-04
DRAWN BY BS

G0.1

GS1: San Francisco Green Building Site Permit Submittal Form

Form version: February 1, 2018 (For permit applications January 2017 - December 2019)

INSTRUCTIONS:			NEW CONSTRUCTION				ALTERATIONS + ADDITIONS					PROJECT INFO				
1. Select one (1) column to identify requirements for the project. For addition and alteration projects, applicability of specific requirements may depend upon project scope. 2. Provide the Project Information in the box at the right. 3. A LEED or GreenPoint Rated Scorecard is not required with the site permit application, but using such tools as early as possible is recommended. 4. To ensure legibility of DBI archives, submittal must be a minimum of 24" x 36". Attachment GS2, GS3, GS4, GS5 or GS6 will be due with the applicable addendum. A separate "FINAL COMPLIANCE VERIFICATION" form will be required prior to Certificate of Completion. For details, see Administrative Bulletin 93. For Municipal projects, additional Environment Code Chapter 7 requirements may apply; see GS6.			CHECK THE ONE COLUMN THAT BEST DESCRIBES YOUR PROJECT →				<input checked="" type="checkbox"/> LOW-RISE RESIDENTIAL R 1-3 Floors	<input type="checkbox"/> HIGH-RISE RESIDENTIAL R 4+ Floors	<input type="checkbox"/> LARGE NON-RESIDENTIAL A,B,E,I,M 25,000 sq.ft. or greater	<input type="checkbox"/> OTHER NON-RESIDENTIAL F,H,L,S,U or A,B,E,I,M less than 25,000 sq.ft.	<input type="checkbox"/> RESIDENTIAL MAJOR ALTERATIONS + ADDITIONS R 25,000 sq.ft. or greater	<input type="checkbox"/> OTHER RESIDENTIAL ALTERATIONS + ADDITIONS R adds any amount of conditioned area	<input type="checkbox"/> NON-RESIDENTIAL MAJOR ALTERATIONS + ADDITIONS B,M 25,000 sq.ft. or greater	<input type="checkbox"/> FIRST-TIME NON-RESIDENTIAL INTERIORS A,B,I,M 25,000 sq.ft. or greater	<input type="checkbox"/> OTHER NON-RESIDENTIAL INTERIORS, ALTERATIONS + ADDITIONS A,B,E,F,H,L,I,M,S,U more than 1,000 sq.ft. or \$200,000	PROJECT NAME 575 Vermont St.
LEED/GPR	TITLE	SOURCE OF REQUIREMENT	DESCRIPTION OF REQUIREMENT				LEED SILVER (50+) or GPR (75+) CERTIFIED	LEED SILVER (50+) or GPR (75+) CERTIFIED	LEED GOLD (60+) CERTIFIED	n/r	LEED GOLD (60+) or GPR (75+) CERTIFIED	n/r	LEED GOLD (60+) CERTIFIED	LEED GOLD (60+) CERTIFIED	n/r	BLOCK/LOT 4010 / 006 ADDRESS 575 Vermont St. PRIMARY OCCUPANCY R-3
MATERIALS	LOW-EMITTING MATERIALS	CALGreen 4.504.2.1-5 & 5.504.4.1-6, SFGBC 4.103.2.2, 5.103.1.1, 5.103.3.1 & 5.103.4.1	Use products that comply with the emission limit requirements of 4.504.2.1-5, 5.504.4.1-6 for adhesives, sealants, paints, coatings, carpet systems including cushions and adhesives, resilient flooring (80% of area), and composite wood products. Major alterations to existing residential buildings must use low-emitting coatings, adhesives and sealants, and carpet systems that meet the requirements for GPR measures K2, K3 and L2 or LEED EQc2, as applicable. New large non-residential interiors and major alterations to existing residential and non-residential buildings must also use interior paints, coatings, sealants, and adhesives when applied on-site, flooring and composite wood that meet the requirements of LEED credit Low-Emitting Materials (EQc2).				4.504.2.1-5	4.504.2.1-5	LEED EQc2	5.504.4.1-6	LEED EQc2 or GPR K2, K3 & L2	4.504.2.1-5	LEED EQc2	LEED EQc2	5.504.4.1-6	GROSS BUILDING AREA 3,361 SF
WATER	INDOOR WATER USE REDUCTION	CALGreen 4.303.1 & 5.303.3, SFGBC 5.103.1.2, SF Housing Code sec.12A10, SF Building Code ch.13A	Meet flush/flow requirements for: toilets (1.28gpf); urinals (0.125gpf wall, 0.5gpf floor); showerheads (2.0gpm); lavatories (1.2gpm private, 0.5gpm public/common); kitchen faucets (1.8gpm); wash fountains (1.8gpm); metering faucets (0.2gpc); food waste disposers (1gpm/9gpm). Residential projects must upgrade all non-compliant fixtures per SF Housing Code sec.12A10. Large non-residential interiors, alterations & additions must upgrade all non-compliant fixtures per SF Building Code ch.13A. New large non-residential buildings must also achieve minimum 30% indoor potable water use reduction as calculated to meet LEED credit Indoor Water Use Reduction (WEC2).				•	•	LEED WEC2 (2 pts)	•	•	•	•	•	•	DESIGN PROFESSIONAL or PERMIT APPLICANT (sign & date)
	NON-POTABLE WATER REUSE	Health Code art.12C	New buildings > 40,000 sq.ft. must calculate a water budget. New buildings >250,000 sq.ft. must treat and use available rainwater, graywater, and foundation drainage and use in toilet and urinal flushing and irrigation. See www.sfwater.org for details.				n/r	•	•	n/r	n/r	n/r	n/r	n/r		
	WATER-EFFICIENT IRRIGATION	Administrative Code ch.63	New construction projects with aggregated landscape area >=500 sq.ft., or existing projects with modified landscape area >=1,000 sq.ft. shall use low water use plants or climate appropriate plants, restrict turf areas and comply with Model Water Efficient Landscape Ordinance restrictions by calculated ETAF (.55 for residential, .45 for non-residential or less) or by prescriptive compliance for projects with >=2,500 sq.ft. of landscape area. See www.sfwater.org for details.				•	•	•	•	•	•	•	•		
	WATER METERING	CALGreen 5.303.1	Provide submeters for spaces projected to consume >1,000gal/day (or >100gal/day in buildings >50,000 sq.ft.).				n/r	n/r	•	•	n/r	n/r	•	•		
ENERGY	ENERGY EFFICIENCY	CA Energy Code	Comply with all provisions of the CA Title 24 Part 6 Energy Standards.				•	•	•	•	•	•	•	•		
	BETTER ROOFS	SFGBC 4.201.1 & 5.201.1.2	New non-residential buildings >2,000 sq.ft. and <=10 occupied floors, and new residential buildings of any size and <=10 occupied floors, must designate 15% of roof Solar Ready, per Title 24 rules. Install photovoltaics or solar hot water systems in this area. With Planning Department approval, projects subject to SFPUC Stormwater Requirements may substitute living roof for solar energy systems.				•	<=10 floors	•	•	n/r	n/r	n/r	n/r		
	RENEWABLE ENERGY	SFGBC 5.201.1.3	Non-residential buildings with >=11 floors must acquire at least 1% of energy from on-site renewable sources, purchase green energy credits, or achieve 5 points under LEED credit Optimize Energy Performance (EAc2).				n/r	n/r	•	•	n/r	n/r	n/r	n/r		
	COMMISSIONING (Cx)	CALGreen 5.410.2 - 5.410.4.5.1	For projects >=10,000 sq.ft. include OPR, BOD, and commissioning plan in design & construction. Commission to comply. Alterations & additions with new HVAC equipment must test and adjust all equipment.				n/r	n/r	LEED EAc1 opt. 1	•	n/r	n/r	•	•		
PARKING	BICYCLE PARKING	CALGreen 5.106.4, Planning Code 155.1-2	Provide short- and long-term bike parking equal to 5% of motorized vehicle parking, or meet SF Planning Code sec.155.1-2, whichever is greater.				SF Planning Code sec.155.1-2	SF Planning Code sec.155.1-2	•	•	if applicable SF Planning Code sec.155.1-2	if applicable SF Planning Code sec.155.1-2	•	•	if >10 stalls added	
	DESIGNATED PARKING	CALGreen 5.106.5.2	Mark 8% of total parking stalls for low-emitting, fuel efficient, and carpool/van pool vehicles.				n/r	n/r	•	•	n/r	n/r	•	•	if >10 stalls added	
	WIRING FOR EV CHARGERS	SFGBC 4.106.4 & 5.106.5.3	Permit application January 2018 or after: Construct all new off-street parking spaces for passenger vehicles and trucks with dimensions capable of installing EVSE. Install service capacity and panelboards sufficient to provide >=40A 208 or 240V to EV chargers at 20% of spaces. Install >=40A 208 or 240V branch circuits to >=10% of spaces, terminating close to the proposed EV charger location. Installation of chargers is not required. Projects with zero off-street parking exempt. See SFGBC 4.106.4 or SFGBC 5.106.5.3 for details. Permit applications prior to January 2018 only: Install infrastructure to provide electricity for EV chargers at 6% of spaces for non-residential (CALGreen 5.106.5.3), 3% of spaces for multifamily with >=17 units (CALGreen 4.106.4.2), and each space in 1-2 unit dwellings (CALGreen 4.106.4.1). Installation of chargers is not required.				•	•	•	•	applicable for permit application January 2018 or after	n/r	applicable for permit application January 2018 or after	n/r	n/r	
WASTE DIVERSION	RECYCLING BY OCCUPANTS	SF Building Code AB-088	Provide adequate space and equal access for storage, collection and loading of compostable, recyclable and landfill materials.				•	•	•	•	•	•	•	•		
	CONSTRUCTION & DEMOLITION (C&D) WASTE MANAGEMENT	SFGBC 4.103.2.3 & 5.103.1.3.1, Environment Code ch.14, SF Building Code ch.13B	For 100% of mixed C&D debris use registered transporters and registered processing facilities with a minimum of 65% diversion rate. Divert a minimum of 75% of total C&D debris if noted.				•	75% diversion	75% diversion	•	•	•	75% diversion	•		
HVAC	HVAC INSTALLER QUALS	CALGreen 4.702.1	Installers must be trained and certified in best practices.				•	•	n/r	n/r	•	•	n/r	n/r	n/r	
	HVAC DESIGN	CALGreen 4.507.2	HVAC shall be designed to ACCA Manual J, D, and S.				•	•	n/r	n/r	•	•	n/r	n/r	n/r	
	REFRIGERANT MANAGEMENT	CALGreen 5.508.1	Use no halons or CFCs in HVAC.				n/r	n/r	•	•	n/r	n/r	•	•		
GOOD NEIGHBOR	LIGHT POLLUTION REDUCTION	CA Energy Code, CALGreen 5.106.8	Comply with CA Energy Code for Lighting Zones 1-4. Comply with 5.106.8 for Backlight/Uplight/Glare.				n/r	n/r	•	•	n/r	n/r	•	•		
	BIRD-SAFE BUILDINGS	Planning Code sec.139	Glass facades and bird hazards facing and/or near Urban Bird Refuges may need to treat their glass for opacity.				•	•	•	•	•	•	•	•		
	TOBACCO SMOKE CONTROL	CALGreen 5.504.7, Health Code art.19F	For non-residential projects, prohibit smoking within 25 feet of building entries, air intakes, and operable windows. For residential projects, prohibit smoking within 10 feet of building entries, air intakes, and operable windows and enclosed common areas.				•	•	•	•	•	•	•	•		
POLLUTION PREVENTION	STORMWATER CONTROL PLAN	Public Works Code art.4.2 sec.147	Projects disturbing >=5,000 sq.ft. in combined or separate sewer areas, or replacing >=2,500 impervious sq.ft. in separate sewer area, must implement a Stormwater Control Plan meeting SFPUC Stormwater Management Requirements. See www.sfwater.org for details.				•	•	•	•	if project extends outside envelope	if project extends outside envelope	if project extends outside envelope	if project extends outside envelope	if project extends outside envelope	
	CONSTRUCTION SITE RUNOFF CONTROLS	Public Works Code art.4.2 sec.146	Provide a construction site Stormwater Pollution Prevention Plan and implement SFPUC Best Management Practices. See www.sfwater.org for details.				if disturbing >=5,000 sq.ft.	•	if disturbing >=5,000 sq.ft.	if disturbing >=5,000 sq.ft.	if project extends outside envelope	if project extends outside envelope	if project extends outside envelope	if project extends outside envelope	if project extends outside envelope	
INDOOR ENVIRONMENTAL QUALITY	ACOUSTICAL CONTROL	CALGreen 5.507.4.1-3, SF Building Code sec.1207	Non-residential projects must comply with sound transmission limits (STC-50 exteriors near freeways/airports; STC-45 exteriors if 65db Leq at any time; STC-40 interior walls/floor-ceilings between tenants). New residential projects' interior noise due to exterior sources shall not exceed 45dB.				•	•	•	•	n/r	n/r	•	•	•	
	AIR FILTRATION (CONSTRUCTION)	CALGreen 4.504.1-3 & 5.504.1-3	Seal permanent HVAC ducts/equipment stored onsite before installation.				•	•	•	•	•	•	•	•	•	
	AIR FILTRATION (OPERATIONS)	CALGreen 5.504.5.3, SF Health Code art.38	Non-residential projects must provide MERV-8 filters on HVAC for regularly occupied, actively ventilated spaces. Residential new construction and major alteration & addition projects in Air Pollutant Exposure Zones per SF Health Code art.38 must provide MERV-13 filters on HVAC.				if applicable	if applicable	•	•	if applicable	n/r	•	•	•	
	CONSTRUCTION IAQ MANAGEMENT PLAN	SFGBC 5.103.1.8	During construction, meet SMACNA IAQ guidelines; provide MERV-8 filters on all HVAC.				n/r	n/r	LEED EQc3	n/r	n/r	n/r	n/r	n/r	n/r	
RESIDENTIAL	GRADING & PAVING	CALGreen 4.106.3	Show how surface drainage (grading, swales, drains, retention areas) will keep surface water from entering the building.				•	•	n/r	n/r	if applicable	if applicable	n/r	n/r	n/r	
	RODENT PROOFING	CALGreen 4.406.1	Seal around pipe, cable, conduit, and other openings in exterior walls with cement mortar or DBI-approved similar method.				•	•	n/r	n/r	•	•	n/r	n/r	n/r	
	FIREPLACES & WOODSTOVES	CALGreen 4.503.1	Install only direct-vent or sealed-combustion, EPA Phase II-compliant appliances.				•	•	n/r	n/r	•	•	n/r	n/r	n/r	
	CAPILLARY BREAK, SLAB ON GRADE	CALGreen 4.505.2	Slab on grade foundation requiring vapor retarder also requires a capillary break such as: 4 inches of base 1/2-inch aggregate under retarder; slab design specified by licensed professional.				•	•	n/r	n/r	•	•	n/r	n/r	n/r	
	MOISTURE CONTENT	CALGreen 4.505.3	Wall and floor wood framing must have <19% moisture content before enclosure.				•	•	n/r	n/r	•	•	n/r	n/r	n/r	
	BATHROOM EXHAUST	CALGreen 4.506.1	Must be ENERGY STAR compliant, ducted to building exterior, and its humidistat shall be capable of adjusting between <50% to >80% (humidistat may be separate component).				•	•	n/r	n/r	•	•	n/r	n/r	n/r	



PROJECT
575 Vermont St.

ADDRESS
575 Vermont St.
San Francisco, CA 94107

OWNER
Joel Micucci

CURRENT RELEASE DATE
October 20, 2020

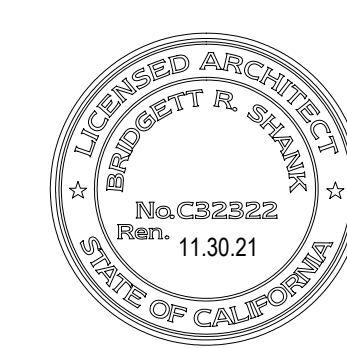
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PREVIOUS RELEASE
Title Date
Pre-Application Meeting Set 9.12.2019
Site Permit Set 12.20.2019

SHEET TITLE
GS1: GREEN BUILDING SITE PERMIT SUBMITTAL

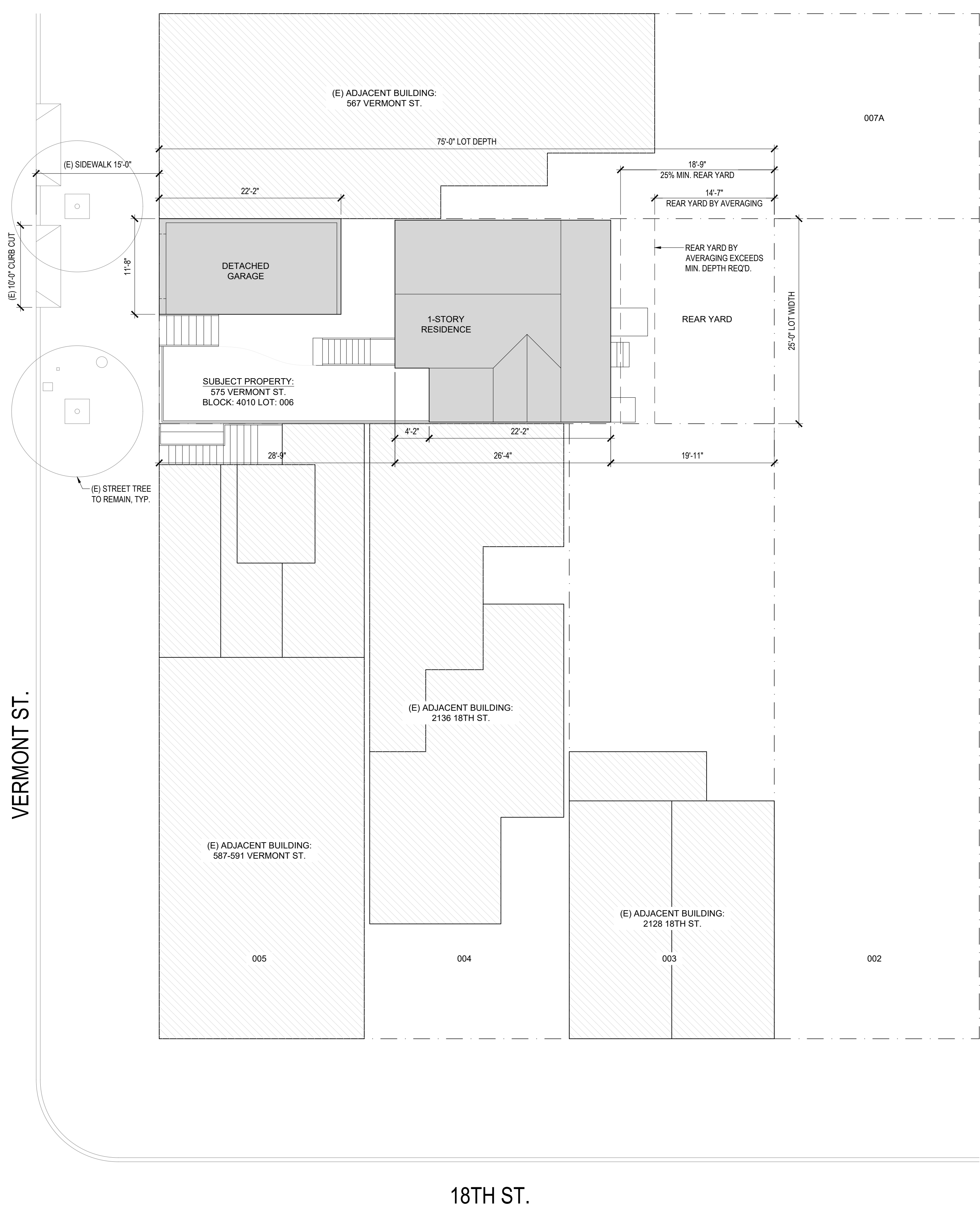
SCALE NTS
JOB NUMBER 19-04
DRAWN BY BS

G0.2

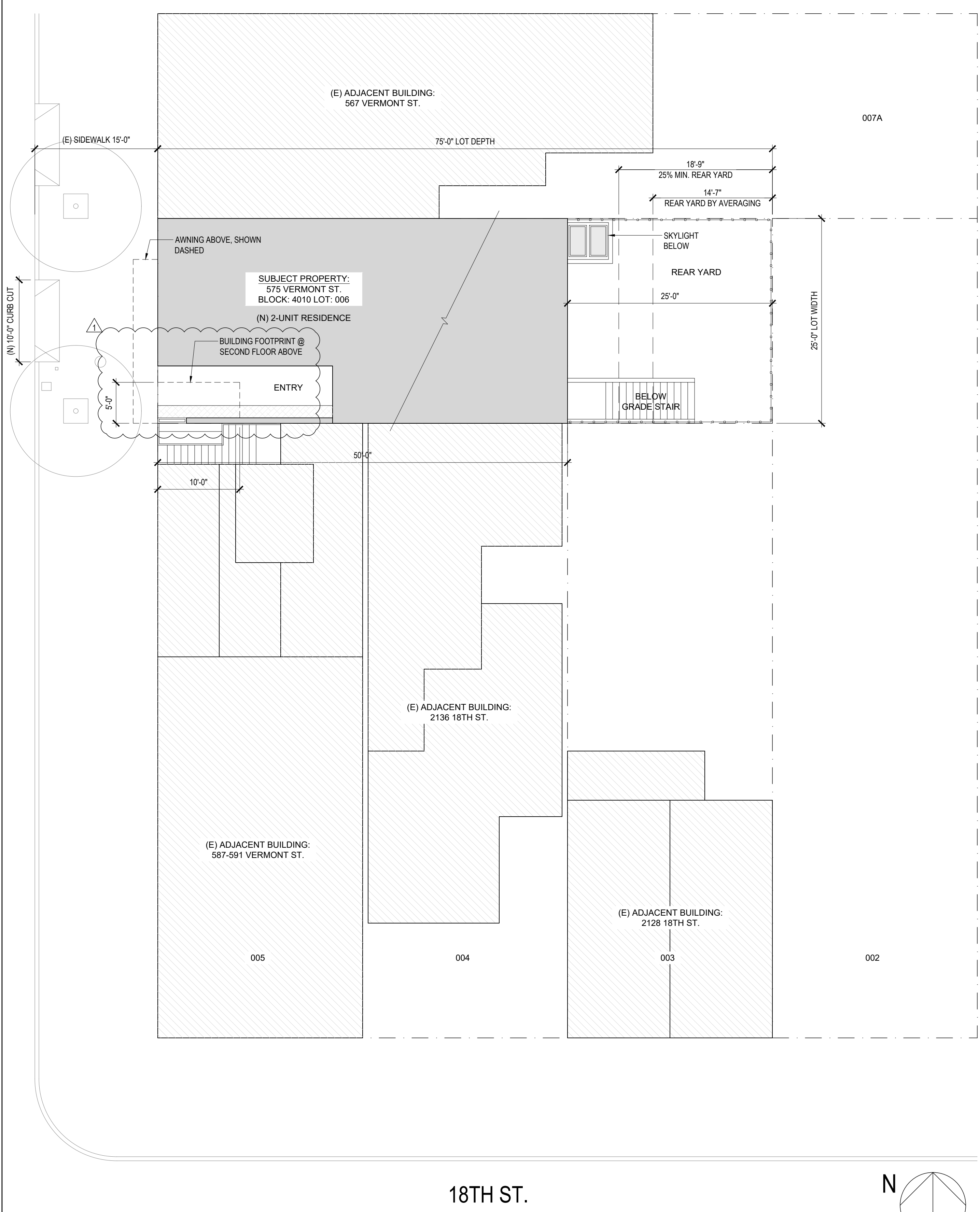


SYMBOL LEGEND

- PROPERTY LINE
- SETBACK
- FENCE



1 EXISTING / DEMO SITE PLAN



2 PROPOSED SITE PLAN

PROJECT
575 Vermont St.

ADDRESS
575 Vermont St.
San Francisco, CA 94107

OWNER
Joel Micucci

CURRENT RELEASE DATE
October 20, 2020

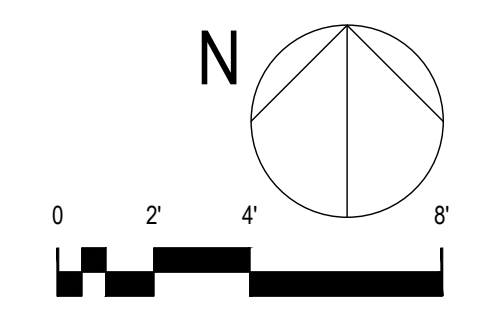
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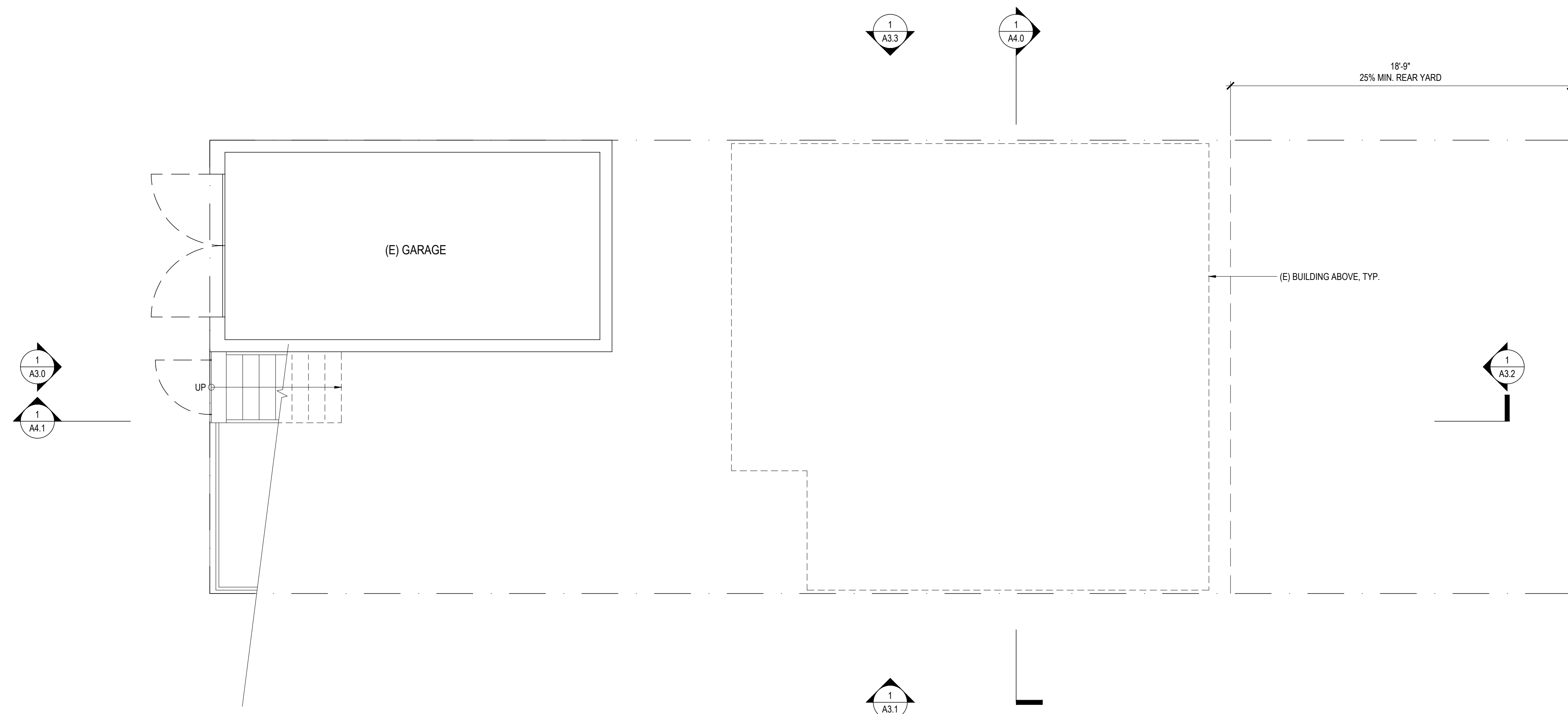
Title	Date
Pre-Application Meeting Set	9.12.2019
Site Permit Set	12.20.2019

SHEET TITLE
SITE PLANS

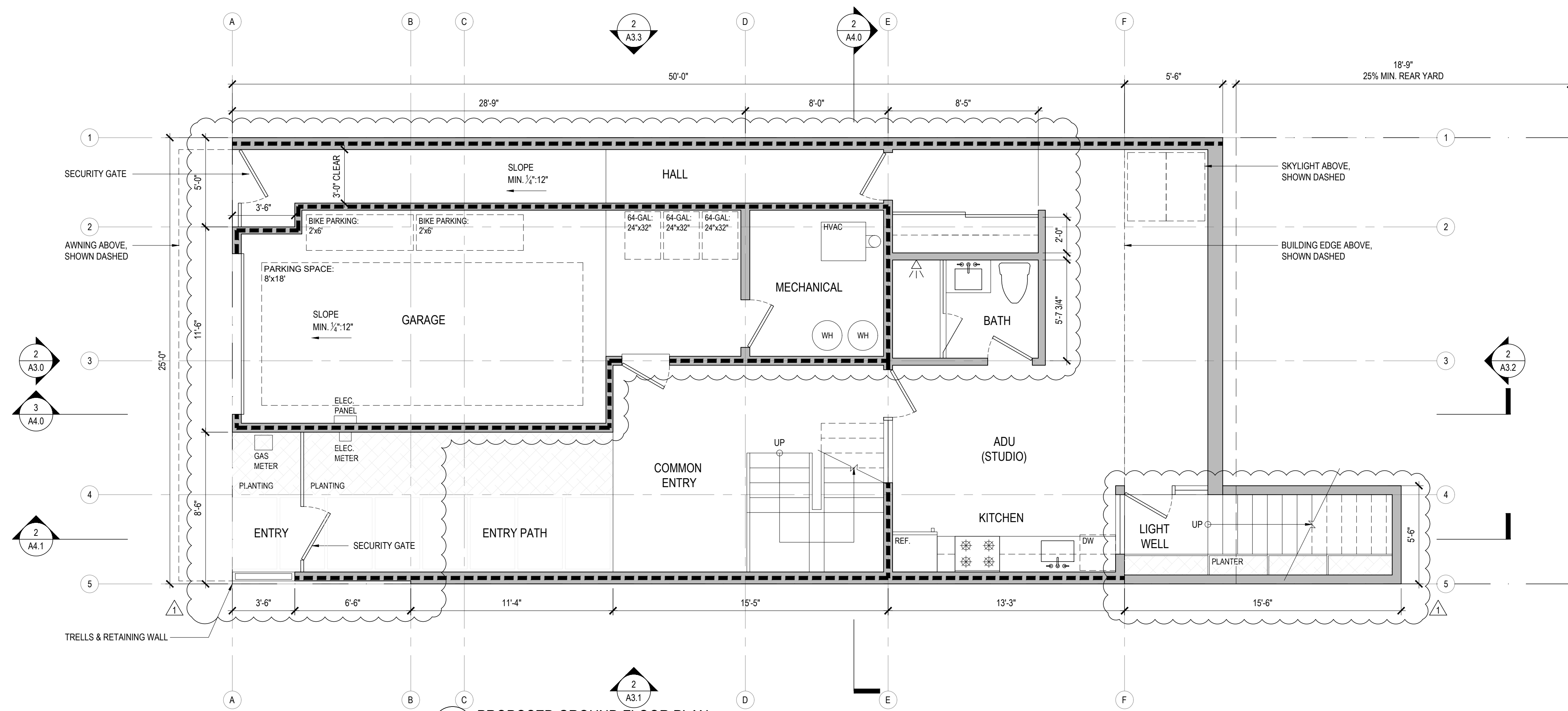
SCALE 1/8"=1'-0"
JOB NUMBER 19-04
DRAWN BY BS



A1.0



1 EXISTING / DEMO GROUND FLOOR PLAN



2 PROPOSED GROUND FLOOR PLAN

LEGEND

- AREA OF ADDITION, SHOWN HATCHED
- (E) WALL TO REMAIN
- (E) WALL TO BE DEMOLISHED
- (N) WALL TO MATCH EXISTING
- 1-HR FIRE-RESISTANCE RATED ASSEMBLY



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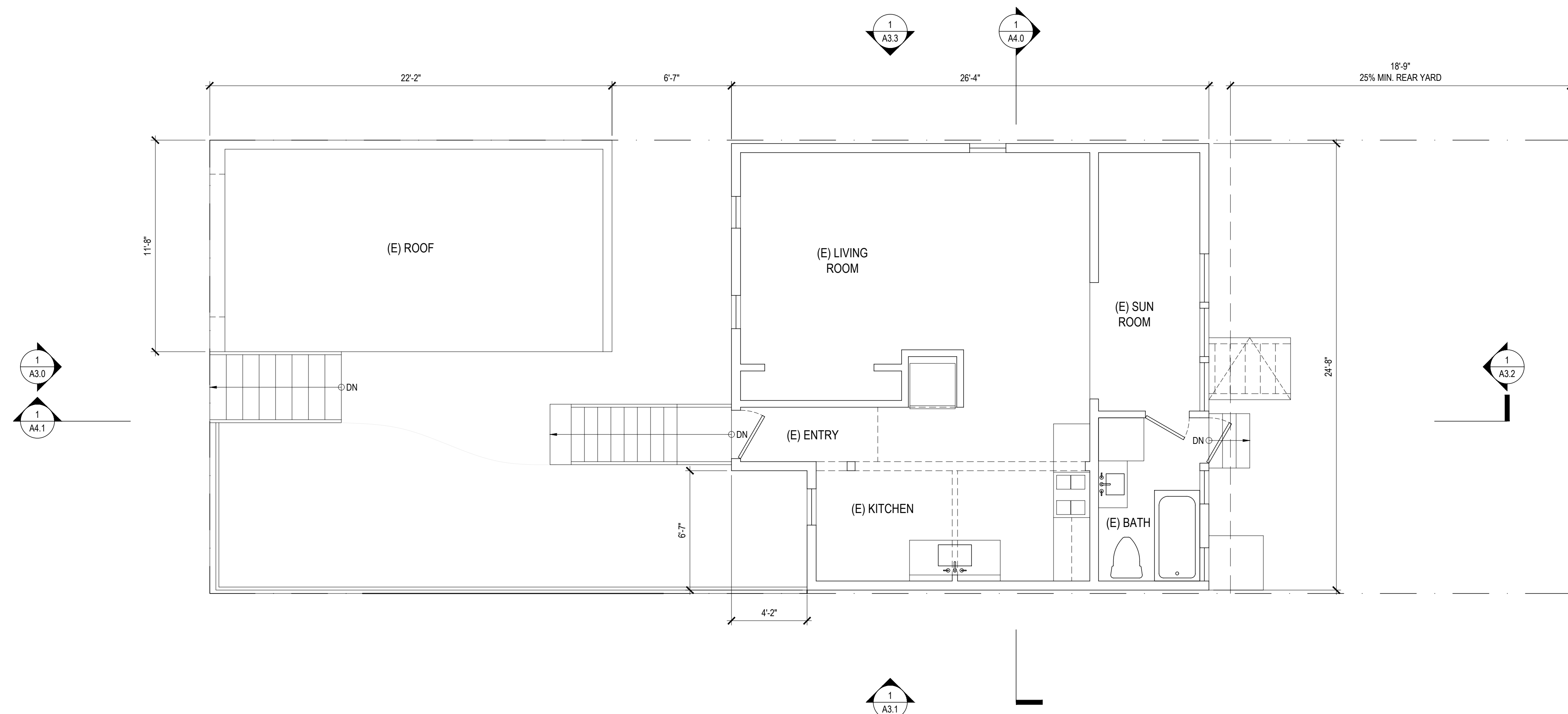
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CHECK RESPONSE #1

PREVIOUS RELEASE
Title Date
Pre-Application Meeting Set 9.12.2019
Site Permit Set 12.20.2019

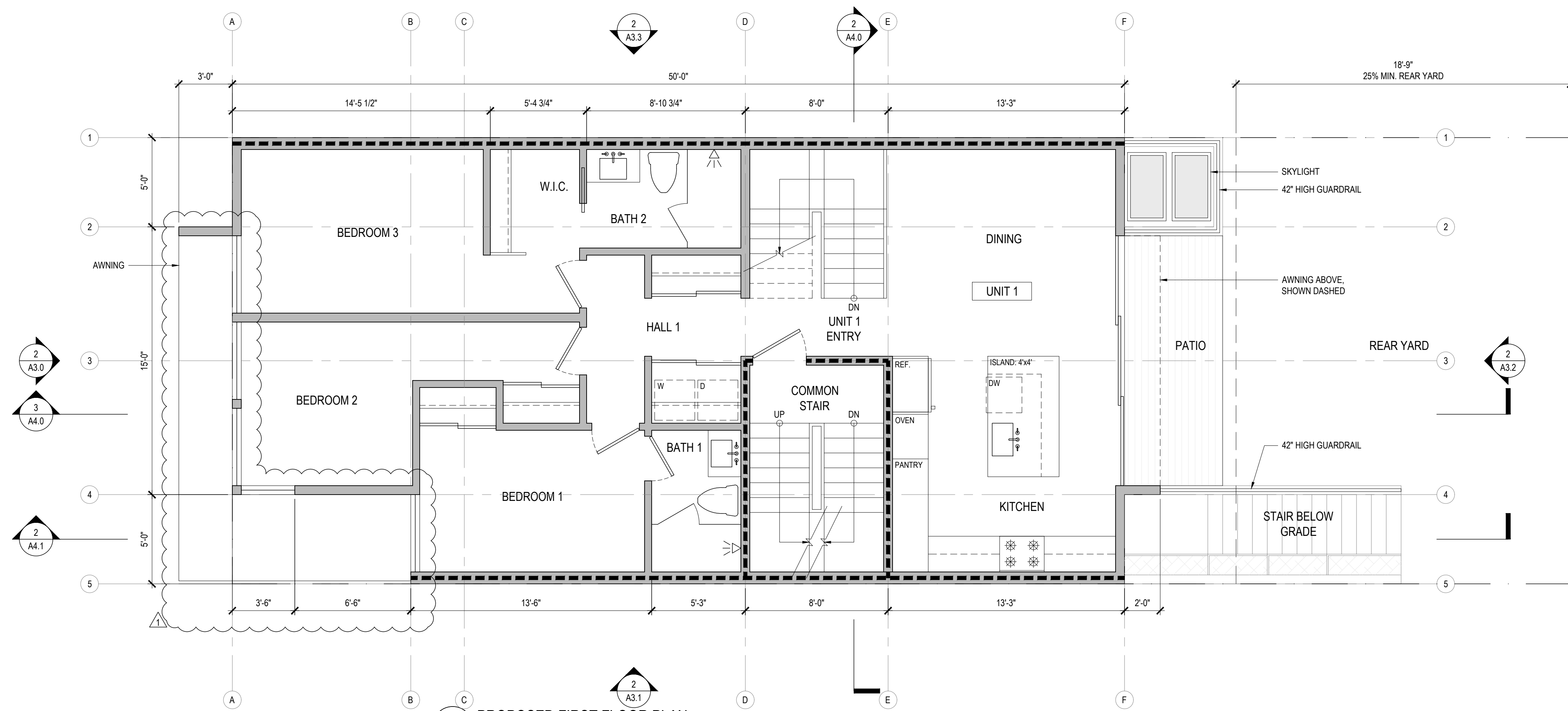
SHEET TITLE
FLOOR PLANS

SCALE 1/4"=1'-0"
JOB NUMBER 19-04
DRAWN BY BS

A2.0



1 EXISTING / DEMO FIRST FLOOR PLAN



2 PROPOSED FIRST FLOOR PLAN

- LEGEND**
- AREA OF ADDITION, SHOWN HATCHED
 - (E) WALL TO REMAIN
 - (E) WALL TO BE DEMOLISHED
 - (N) WALL TO MATCH EXISTING
 - 1-HR FIRE-RESISTANCE RATED ASSEMBLY

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 info@finmorearch.com
 P 415.208.1106



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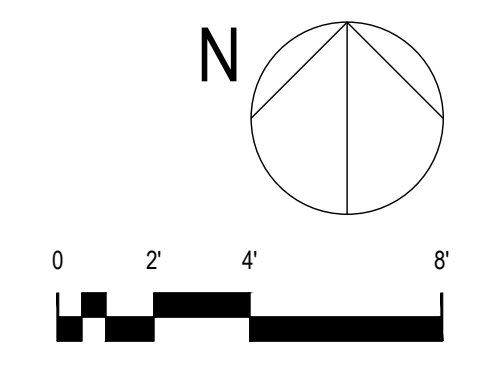
CURRENT RELEASE DATE
 October 20, 2020

CURRENT RELEASE SET
PLANNING PLAN
CHECK RESPONSE #1

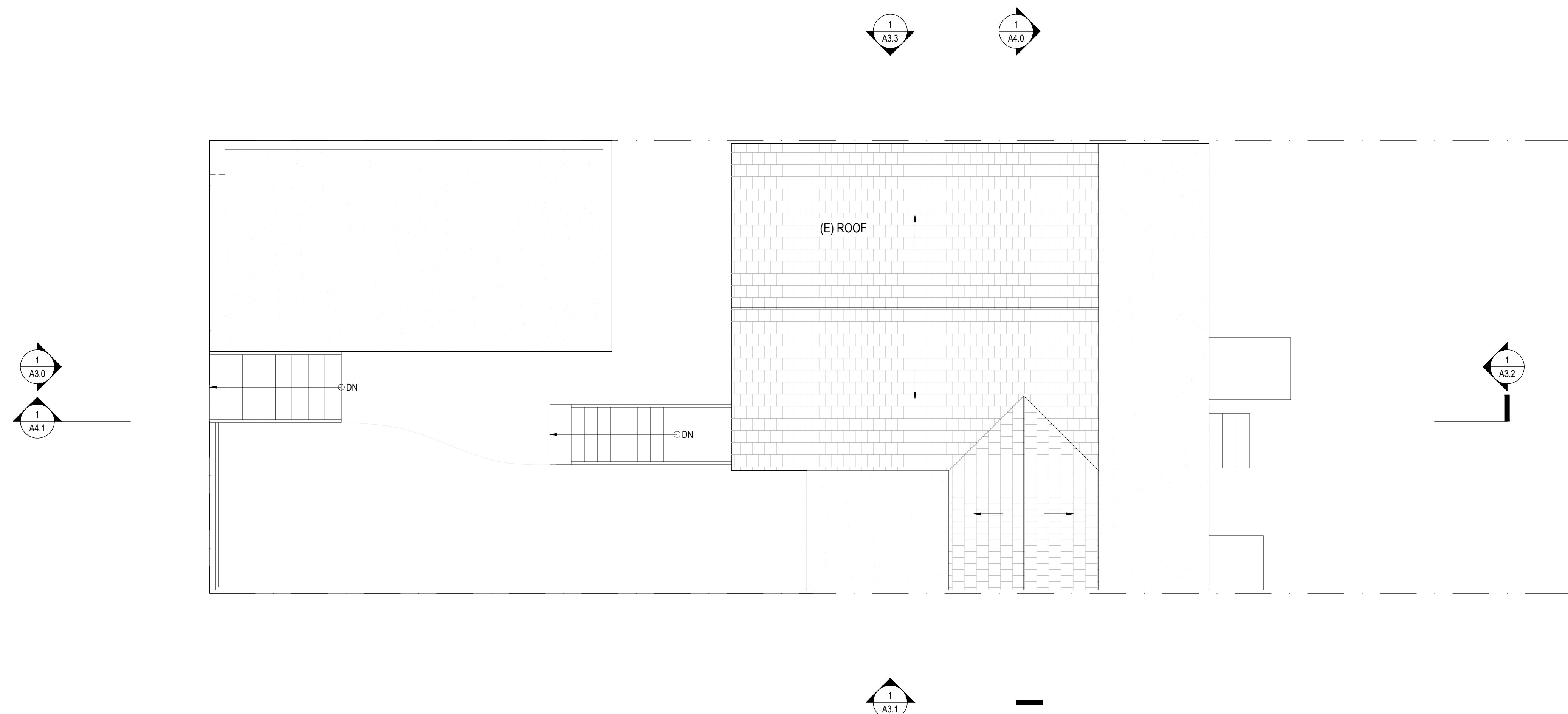
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 Title: Pre-Application Meeting Set Date: 9.12.2019
 Site Permit Set Date: 12.20.2019

SHEET TITLE
FLOOR PLANS

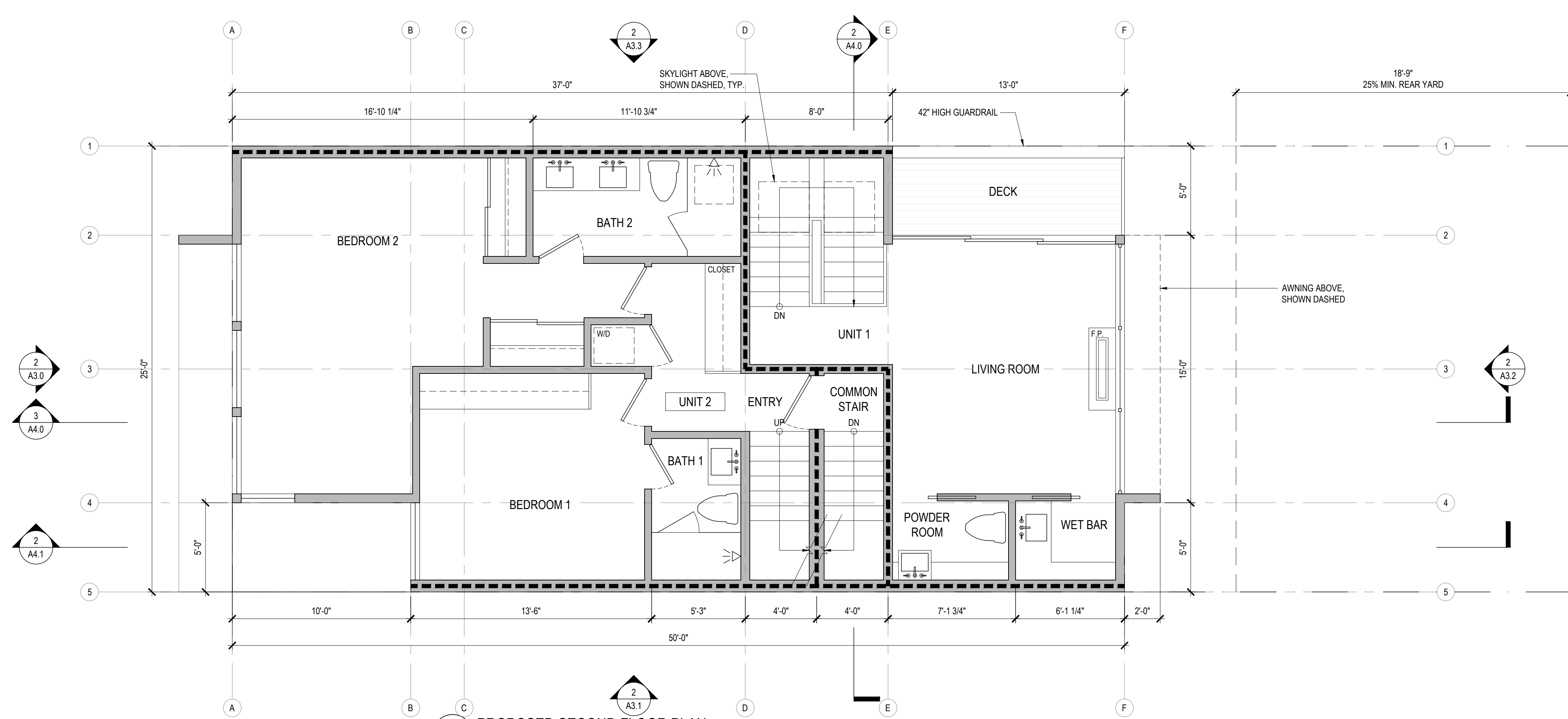
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 DRAWN BY: BS



A2.1



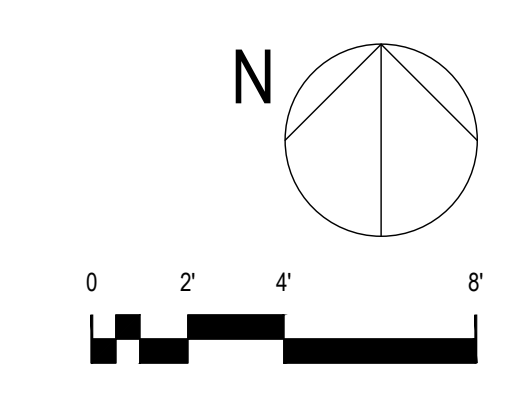
1 EXISTING / DEMO ROOF PLAN



2 PROPOSED SECOND FLOOR PLAN

LEGEND

- AREA OF ADDITION, SHOWN HATCHED
- (E) WALL TO REMAIN
- (E) WALL TO BE DEMOLISHED
- (N) WALL TO MATCH EXISTING
- 1-HR FIRE-RESISTANCE RATED ASSEMBLY



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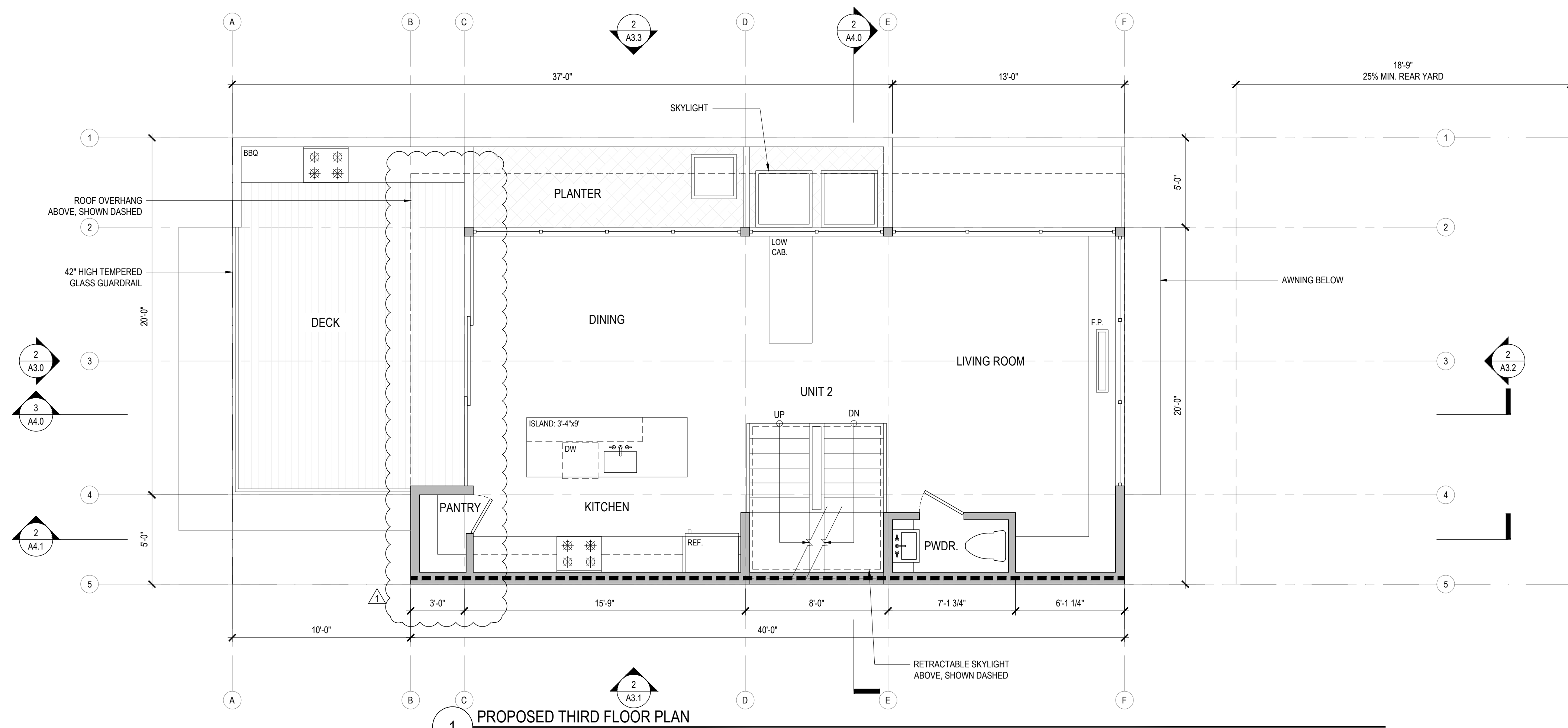
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CHECK RESPONSE #1

PREVIOUS RELEASE
 Title Date
 Pre-Application Meeting Set 9.12.2019
 Site Permit Set 12.20.2019

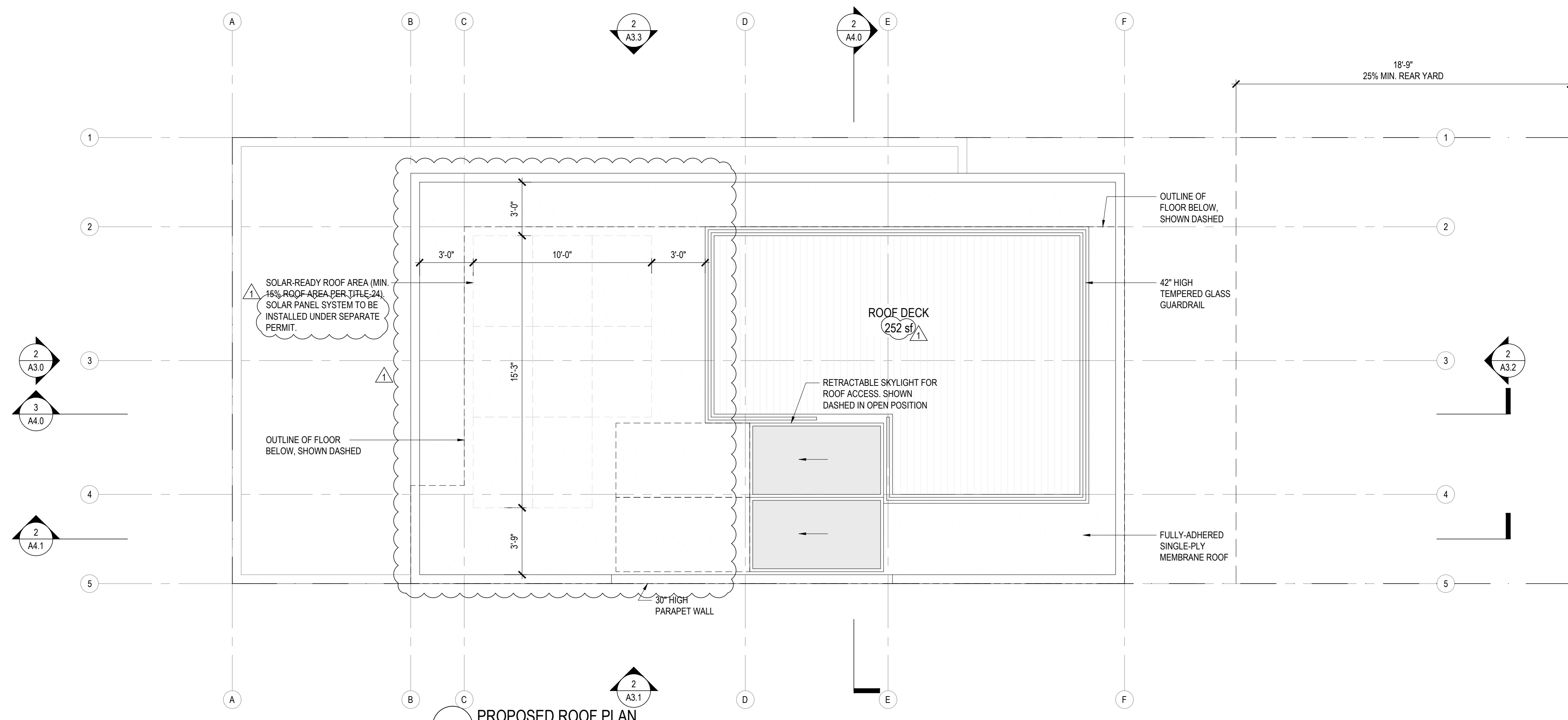
SHEET TITLE
FLOOR / ROOF PLANS

SCALE 1/4"=1'-0"
 JOB NUMBER 19-04
 DRAWN BY BS

A2.2



1 PROPOSED THIRD FLOOR PLAN



2 PROPOSED ROOF PLAN

LEGEND

- AREA OF ADDITION, SHOWN HATCHED
- (E) WALL TO REMAIN
- (E) WALL TO BE DEMOLISHED
- (N) WALL TO MATCH EXISTING
- 1-HR FIRE-RESISTANCE RATED ASSEMBLY



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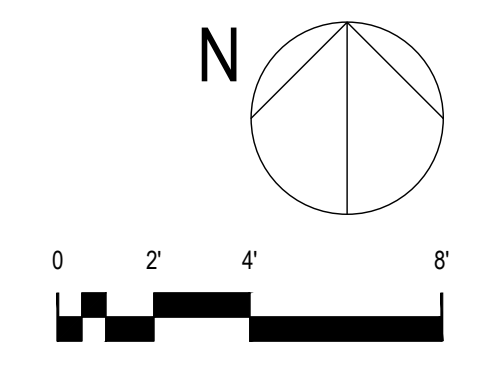
CURRENT RELEASE DATE
October 20, 2020

CURRENT RELEASE SET
PLANNING PLAN 1
CHECK RESPONSE #1

PREVIOUS RELEASE
Title Date
Pre-Application Meeting Set 9.12.2019
Site Permit Set 12.20.2019

SHEET TITLE
FLOOR / ROOF PLANS

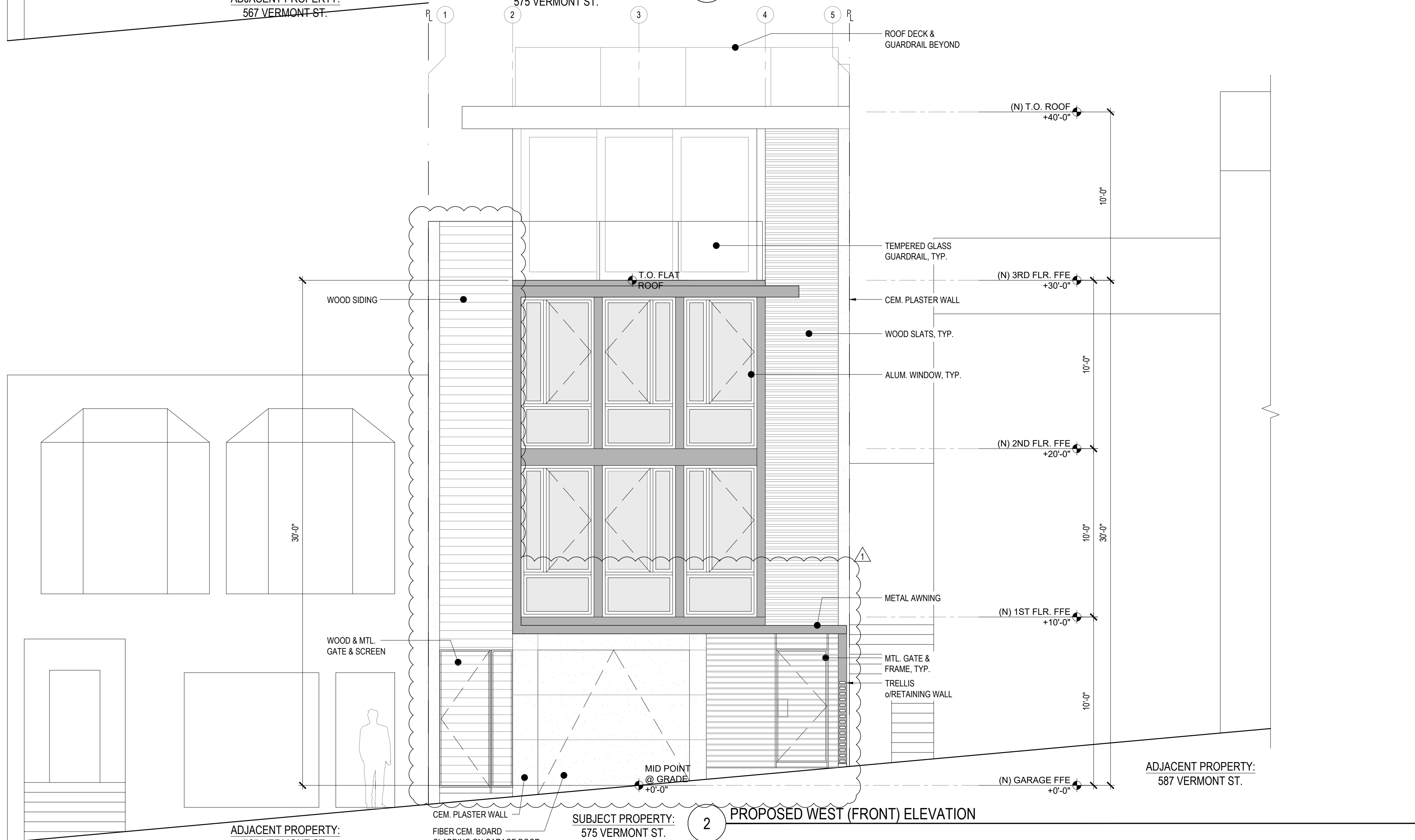
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JOB NUMBER 19-04
DRAWN BY BS



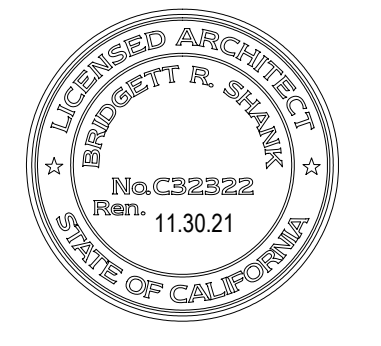
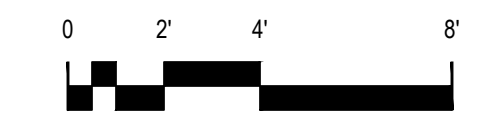
A2.3



1 EXISTING WEST (FRONT) ELEVATION



2 PROPOSED WEST (FRONT) ELEVATION



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CURRENT RELEASE SET
PLANNING PLAN
CHECK RESPONSE #1

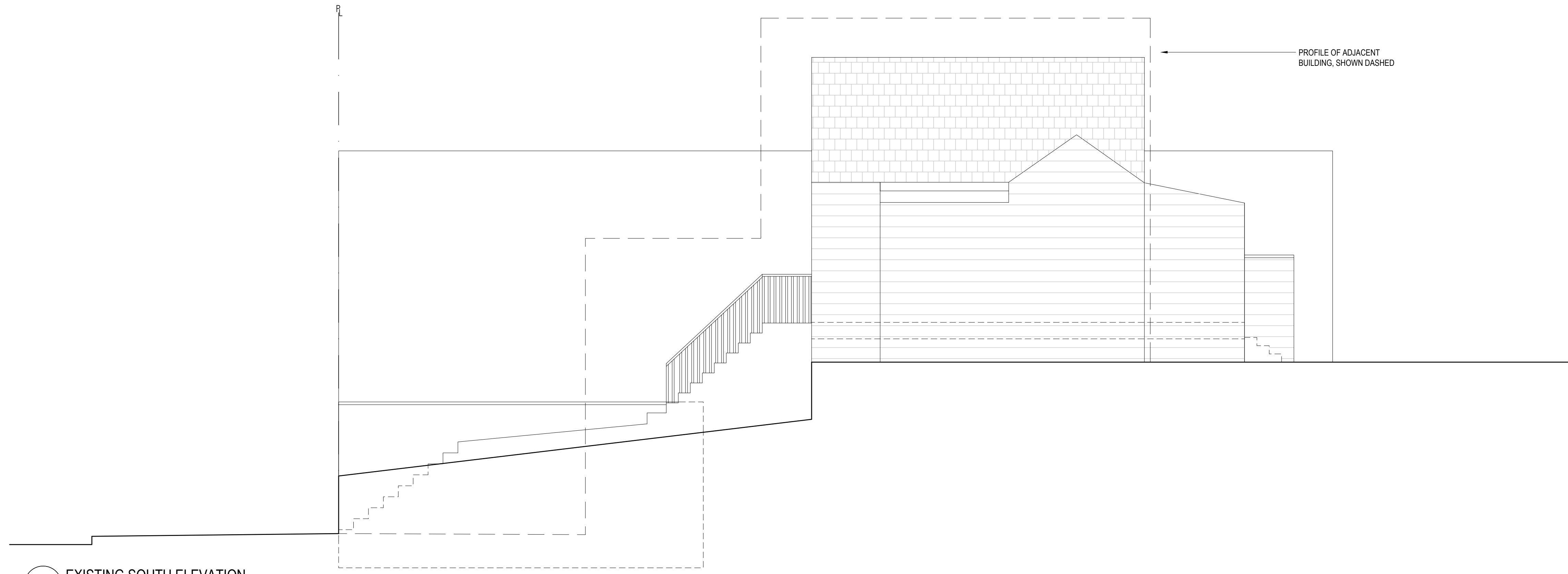
PREVIOUS RELEASE

Title	Date
Pre-Application Meeting Set	9.12.2019
Site Permit Set	12.20.2019

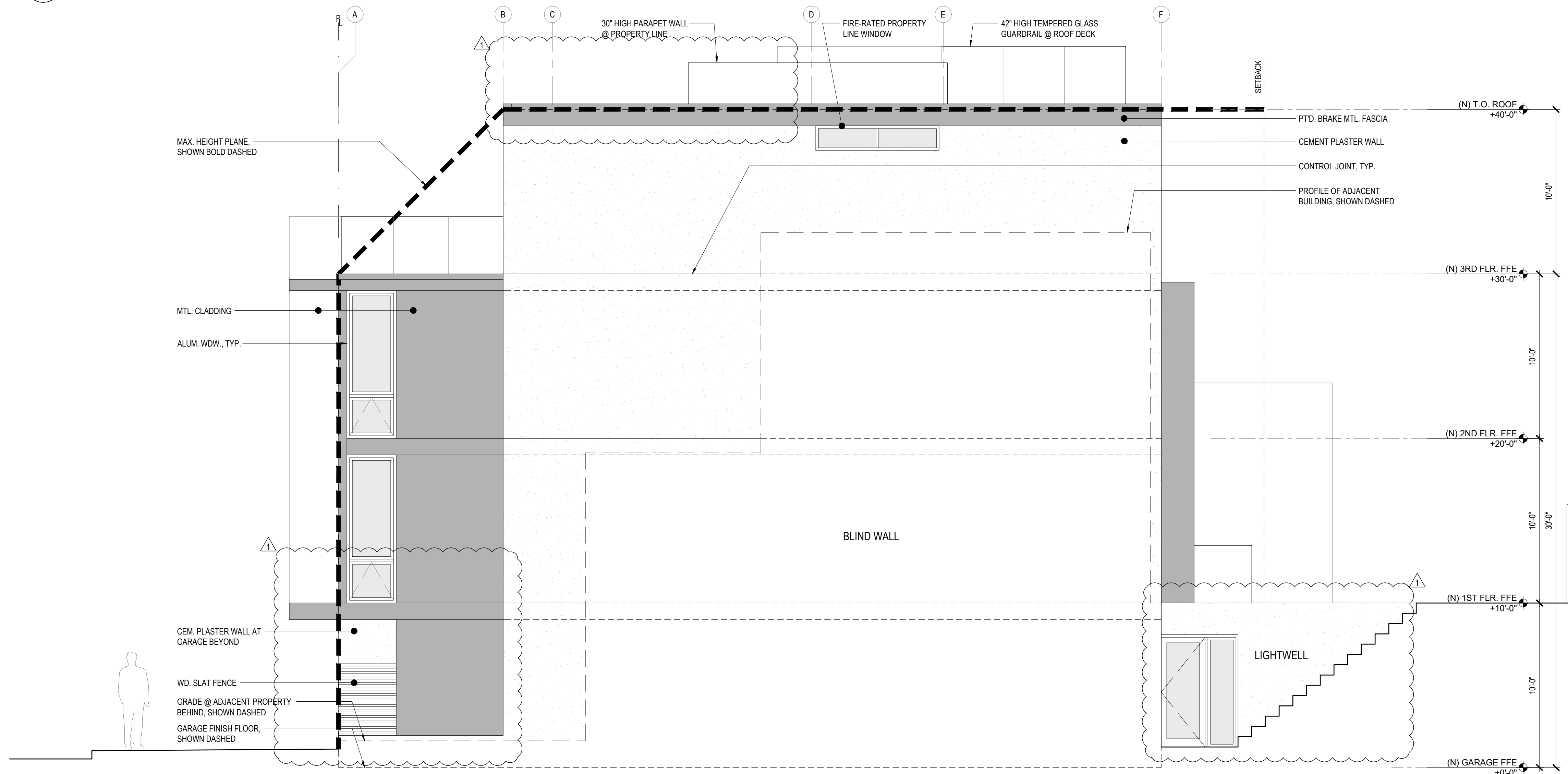
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EXTERIOR ELEVATIONS

SCALE 1/4"=1'-0"
JOB NUMBER 19-04
DRAWN BY BS

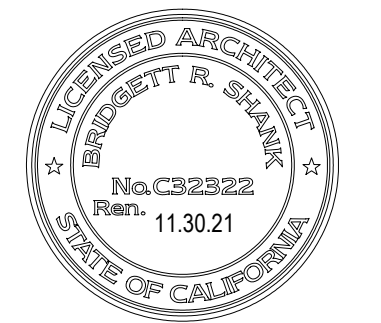
A3.0



1 EXISTING SOUTH ELEVATION



2 PROPOSED SOUTH ELEVATION



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CURRENT RELEASE SET
PLANNING PLAN 
CHECK RESPONSE #1

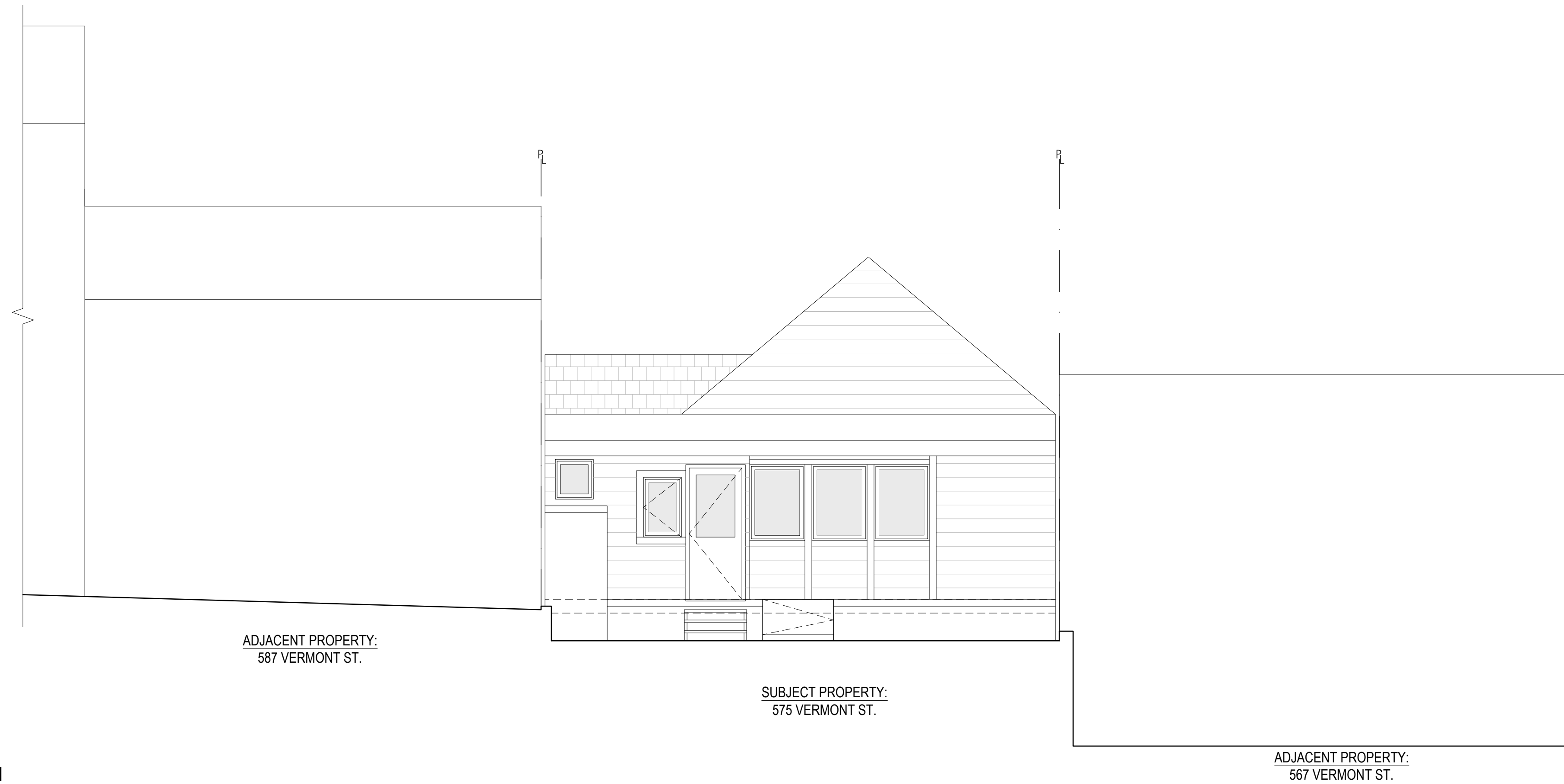
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Title	Date
Pre-Application Meeting Set	9.12.2019
Site Permit Set	12.20.2019

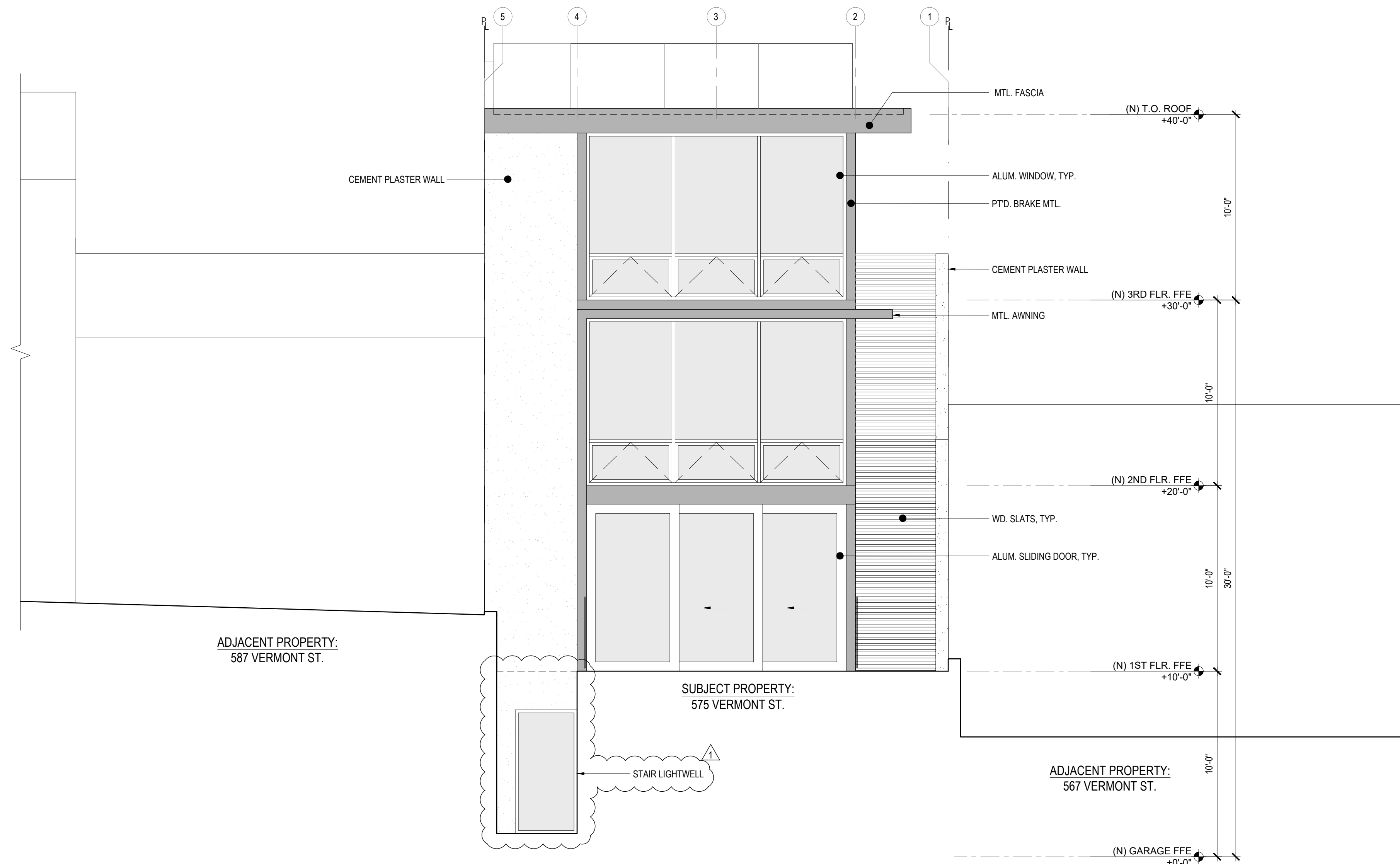
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EXTERIOR ELEVATIONS

SCALE 1/4"=1'-0"
JOB NUMBER 19-04
DRAWN BY BS

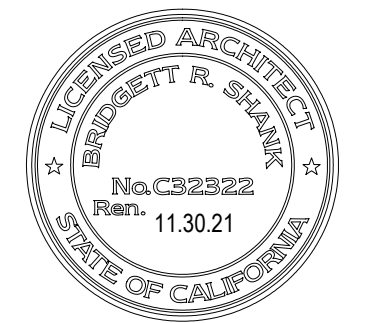
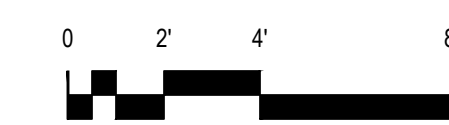
A3.1



1 EXISTING EAST (REAR) ELEVATION



2 PROPOSED EAST (REAR) ELEVATION



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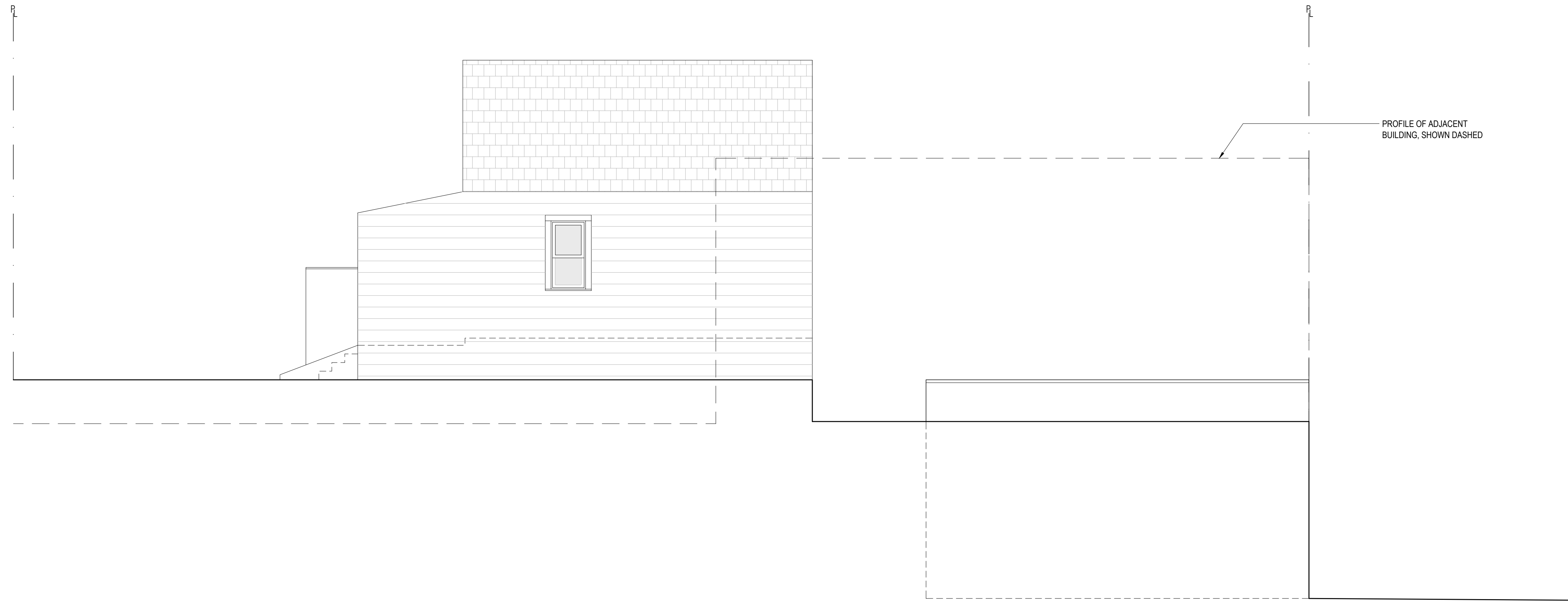
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PLANNING PLAN
CHECK RESPONSE #1

PREVIOUS RELEASE
Title
Pre-Application Meeting Set 9.12.2019
Site Permit Set 12.20.2019

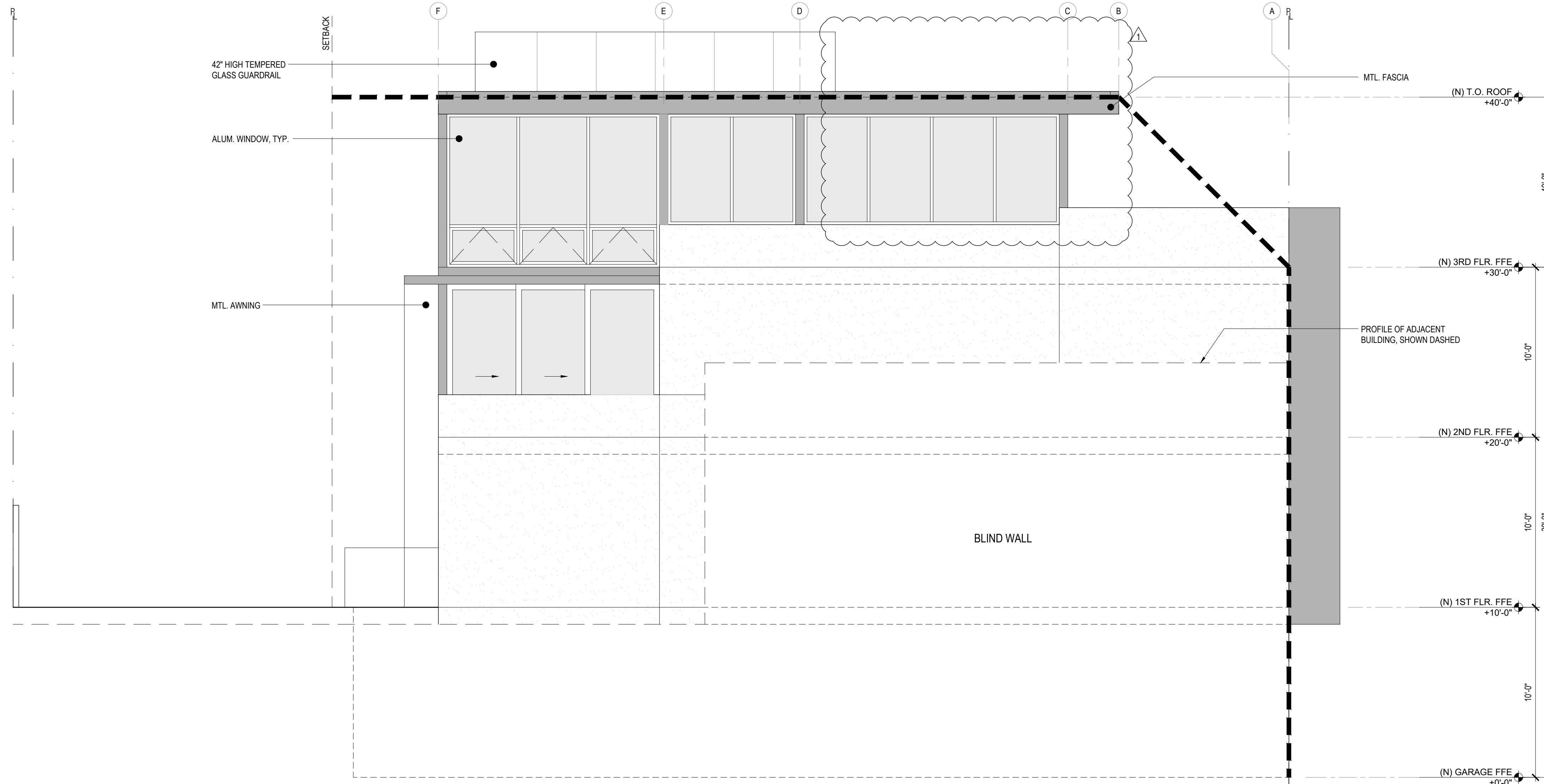
SHEET TITLE
**EXTERIOR
ELEVATIONS**

SCALE 1/4"=1'-0"
JOB NUMBER 19-04
DRAWN BY BS

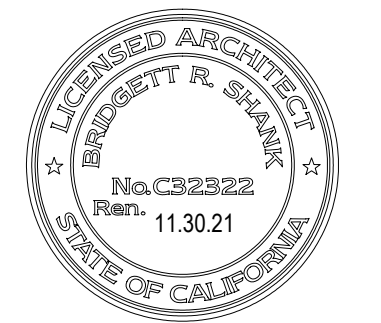
A3.2



1 EXISTING NORTH ELEVATION



2 PROPOSED NORTH ELEVATION



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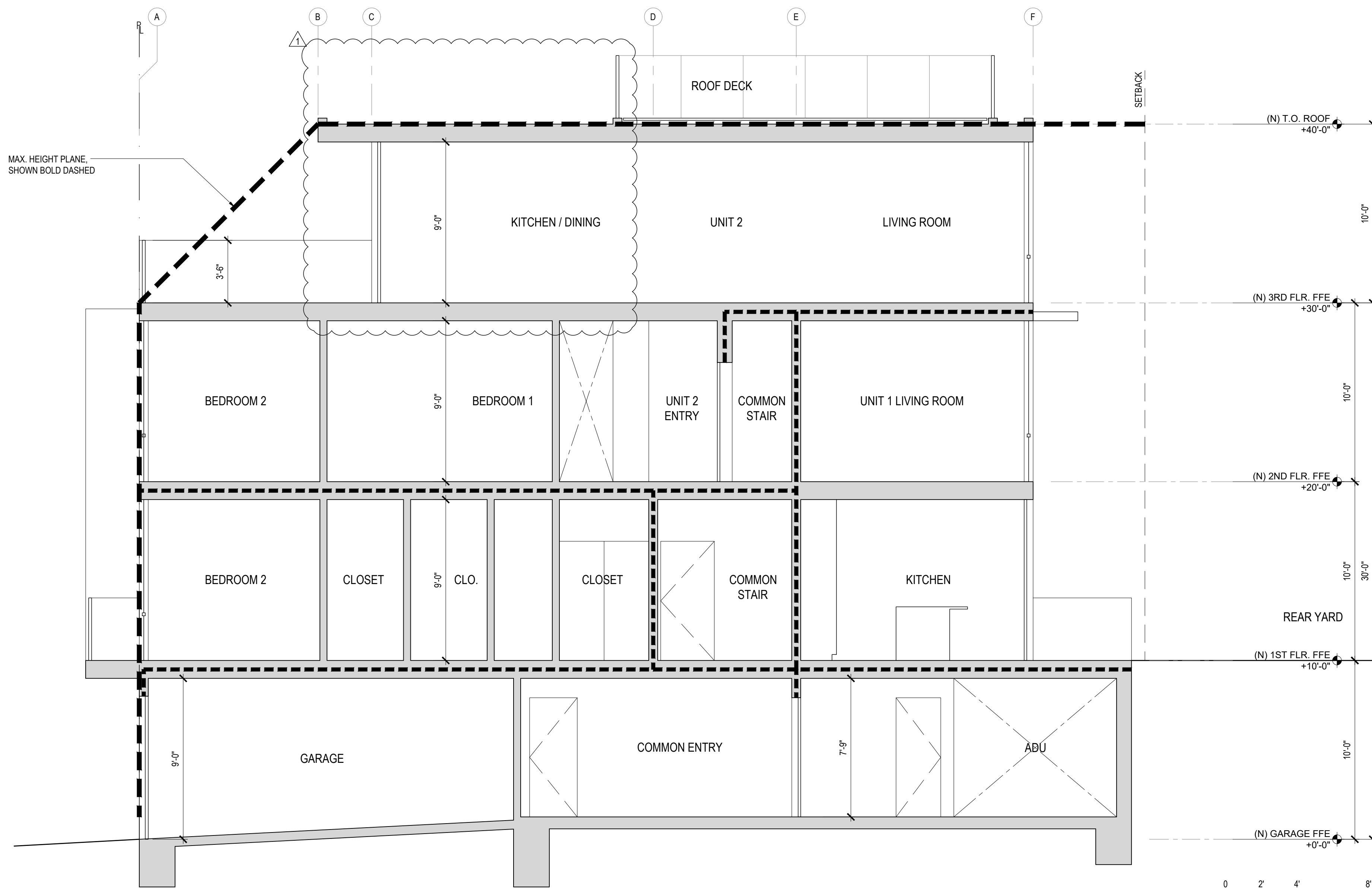
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PLANNING PLAN
CHECK RESPONSE #1

PREVIOUS RELEASE
Title Date
Pre-Application Meeting Set 9.12.2019
Site Permit Set 12.20.2019

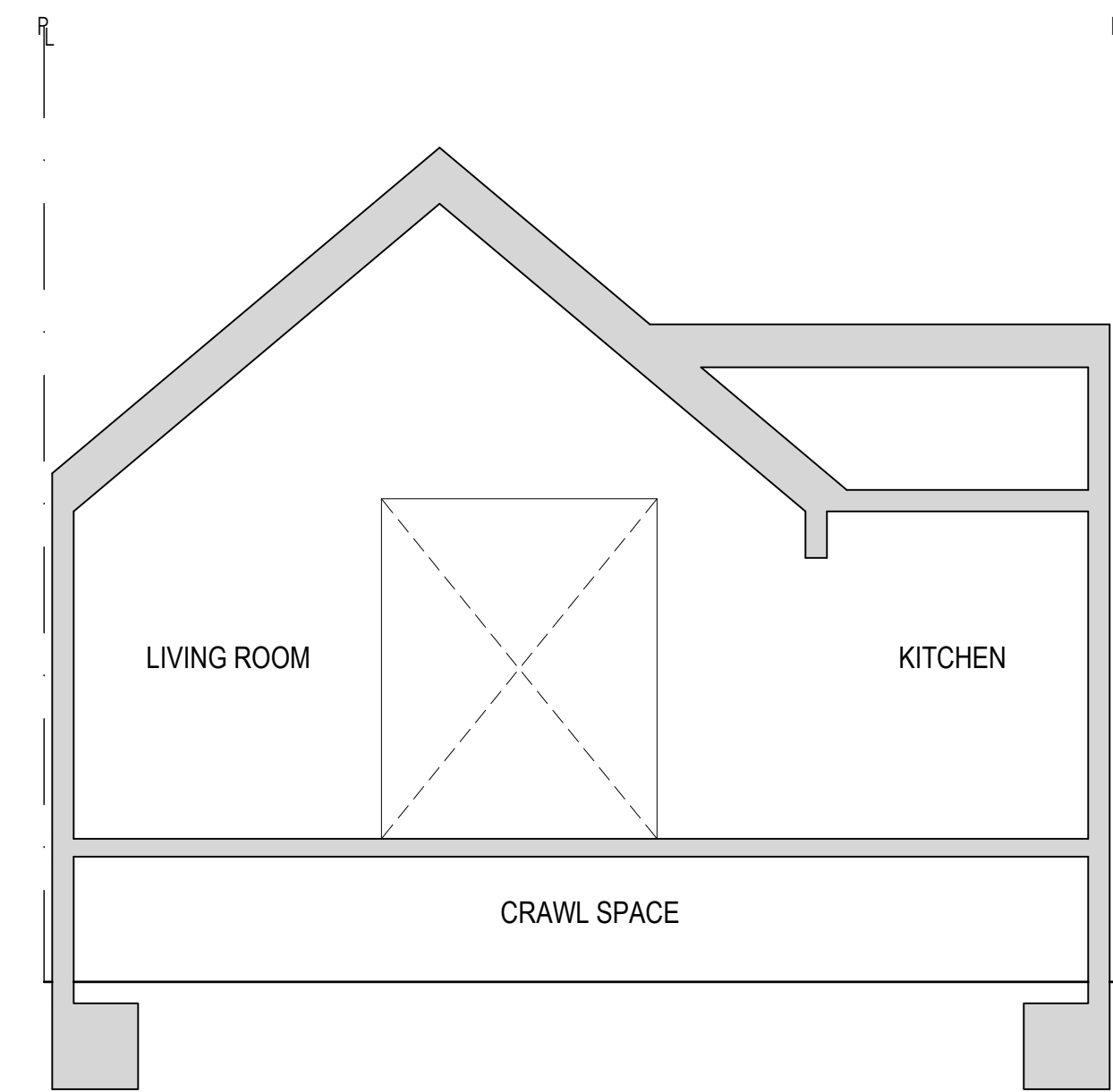
SHEET TITLE
**EXTERIOR
ELEVATIONS**

SCALE 1/4"=1'-0"
JOB NUMBER 19-04
DRAWN BY BS

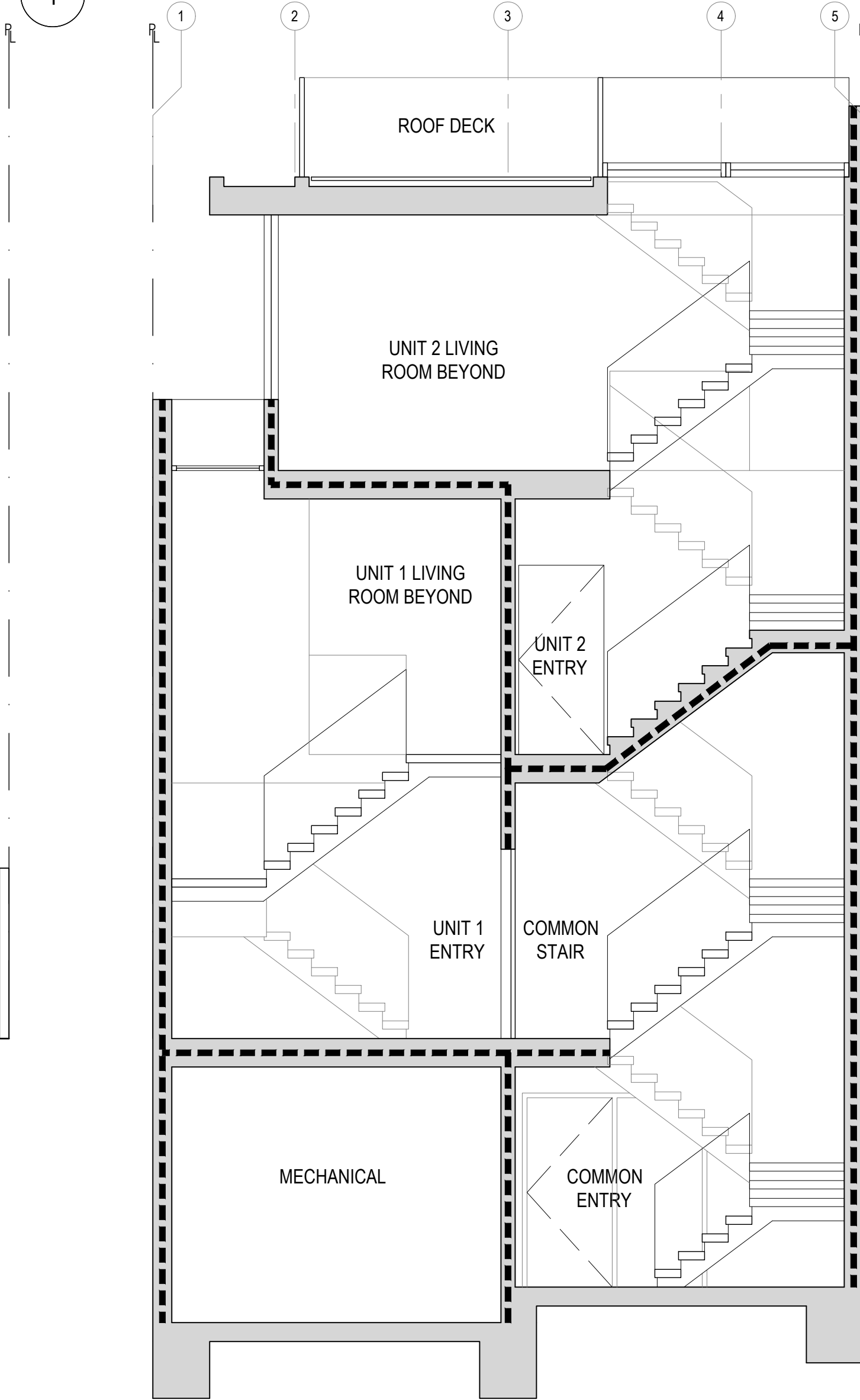
A3.3



3 PROPOSED BUILDING LONGITUDINAL SECTION



2 PROPOSED BUILDING CROSS SECTION



1 PROPOSED BUILDING CROSS SECTION

LEGEND
 - - - - - 1-HR FIRE-RESISTANCE RATED ASSEMBLY

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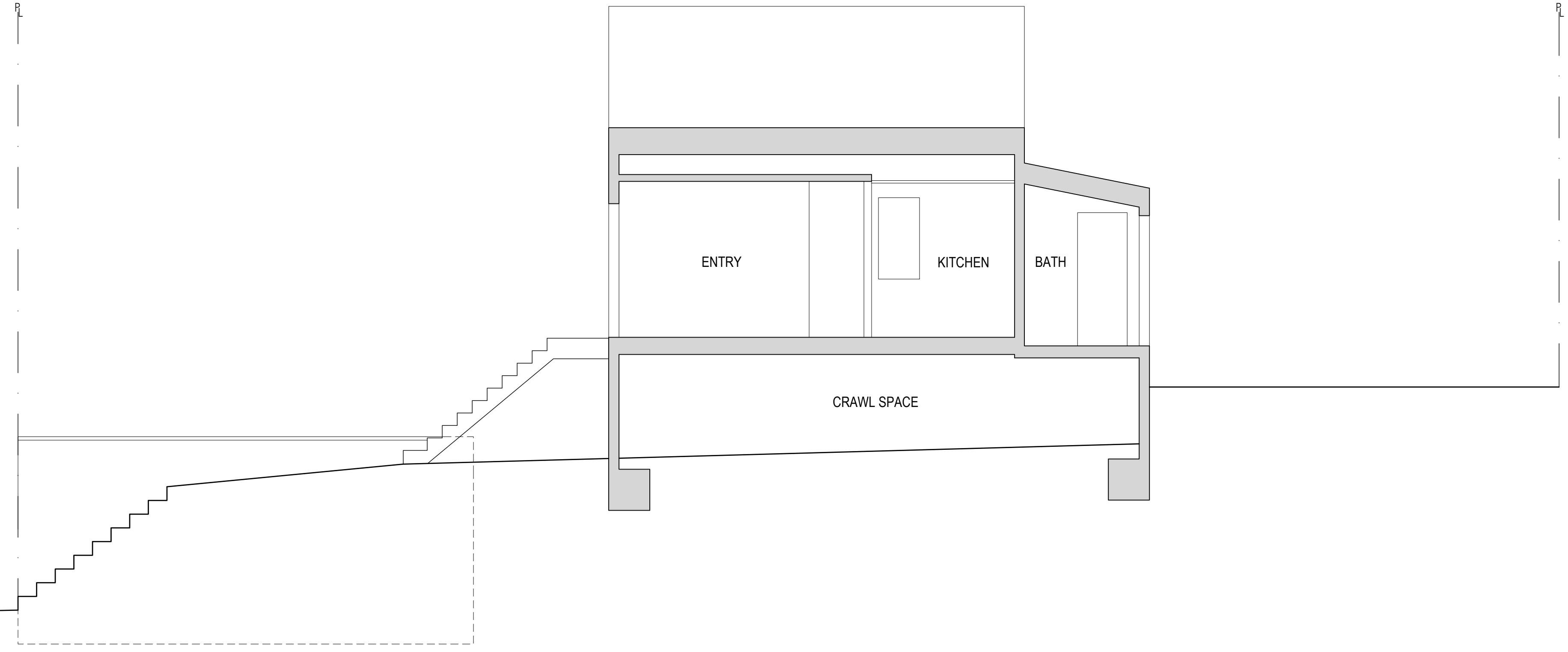
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PLANNING PLAN
CHECK RESPONSE #1

PREVIOUS RELEASE
 Title Date
 Pre-Application Meeting Set 9.12.2019
 Site Permit Set 12.20.2019

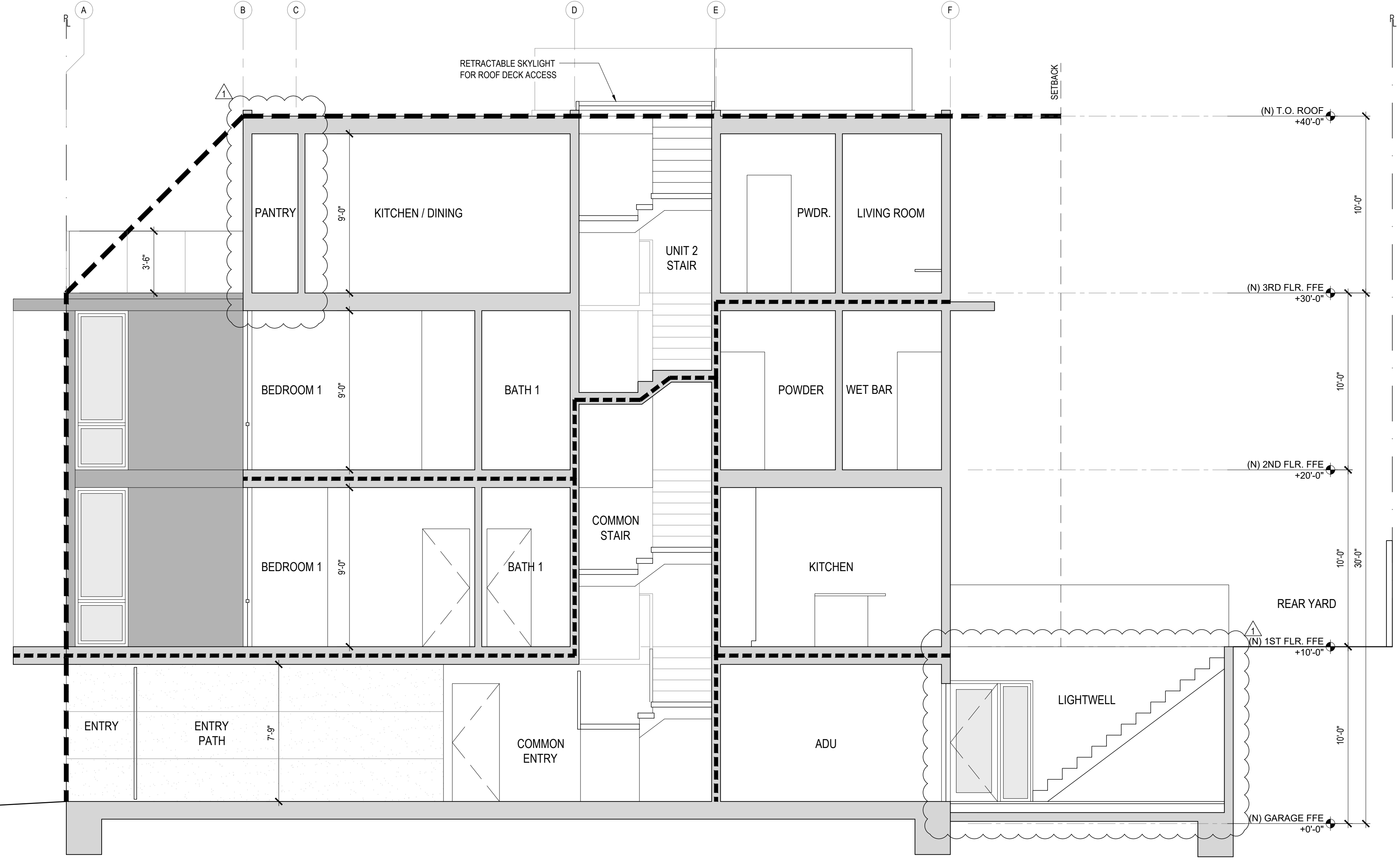
SHEET TITLE
BUILDING SECTIONS

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 JOB NUMBER 19-04
 DRAWN BY BS

A4.0



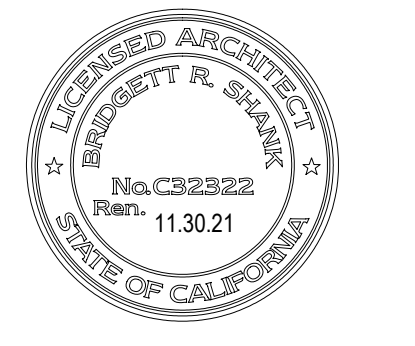
1 EXISTING BUILDING SECTION



2 PROPOSED BUILDING SECTION

LEGEND
 - - - - - 1-HR FIRE-RESISTANCE RATED ASSEMBLY

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PLANNING PLAN
CHECK RESPONSE #1

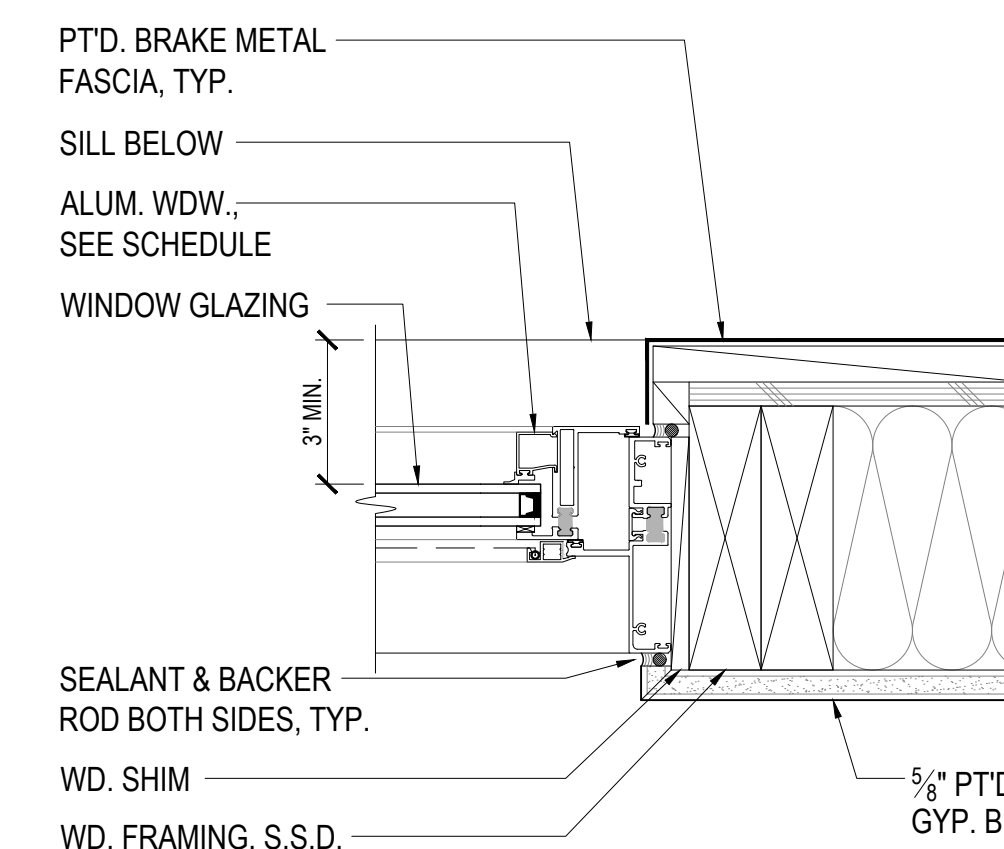
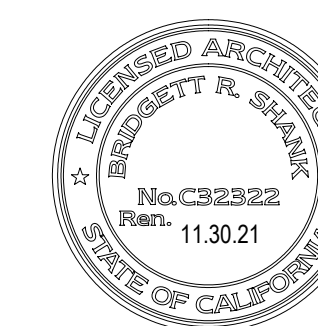
PREVIOUS RELEASE
 Title Date
 Pre-Application Meeting Set 9.12.2019
 Site Permit Set 12.20.2019

SHEET TITLE
BUILDING SECTIONS

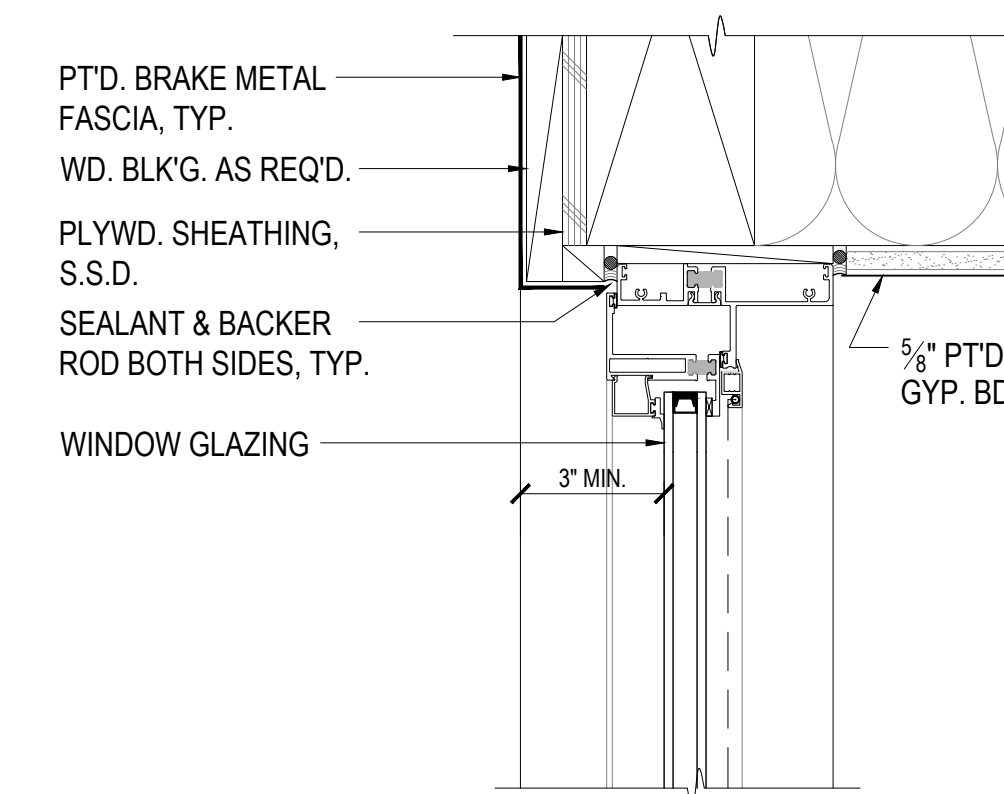
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 DRAWN BY BS



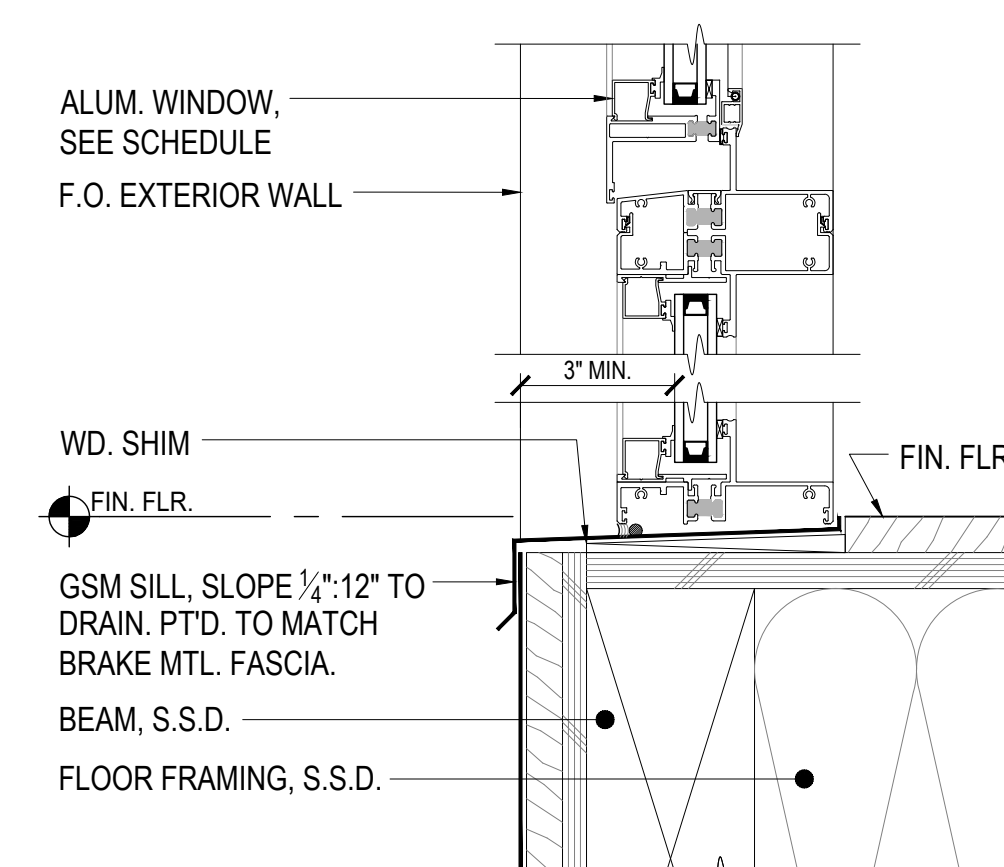
A4.1



3 TYP. WINDOW JAMB DETAIL
3" = 1'-0"



2 TYP. WINDOW HEAD & SILL DETAIL
3" = 1'-0"



1 TYP. WINDOW HEAD & SILL DETAIL
3" = 1'-0"

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CHECK RESPONSE #1**

PREVIOUS RELEASE

Title	Date
Pre-Application Meeting Set	9.12.2019
Site Permit Set	12.20.2019

SHEET TITLE
EXTERIOR DETAILS

SCALE VARIES
JOB NUMBER 19-04
DRAWN BY BS

A8.0

J. SCOTT CARR
MARION E. PARR

12026

11-4288/1210 4166

June 10, 2021

DATE

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ORDER OF

SF Planning

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Six hundred sixty five dollars and xx/100 DOLLARS

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Manai S Pav

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