

# REUBEN, JUNIUS & ROSE, LLP

October 31, 2014

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## Sent Via Messenger

President David Chiu  
San Francisco Board of Supervisors  
1 Dr. Carlton B. Goodlett Place  
San Francisco, CA 94102

File 141064 + 141059  
direct to BOS-11, COB  
orig: Leg Clerk

**Re: 115 Telegraph Hill Boulevard; Project Sponsor's Response to Appeal of  
Categorical Exemption and Conditional Use Authorization  
Planning Department Case No. 2013.1375CE  
Our File No.: 7058.01**

Dear President Chiu and Supervisors:

We represent the sponsor, Jeremy Ricks, of the proposed residential building (the "Project") at 115 Telegraph Hill Boulevard. This letter is submitted in opposition to appeals of the Project's Categorical Exemption ("CatEx") and Conditional Use Authorization by the Telegraph Hill Dwellers ("Appellants"). These appeals are based on numerous factual inaccuracies and specious allegations; they are insufficient to overturn the sound decisions of the Planning Commission and Environmental Review Officer.

We ask that you allow the appeals to be heard jointly, in order to expediently resolve the matter and serve the public convenience. In addition, while we look forward to responding in detail to Appellants' claims prior to the hearing, we also provide a preliminary response herein.

### **A. Request for Joint Hearing**

Appellants request that the CatEx appeal be heard *before and separate* from the Conditional Use appeal. Appellants provide no justification for this request, and it should be denied for following reasons:

- Common and Interrelated Issues. The appeals concern a common project and contain interrelated claims regarding project location, site conditions, public views, pedestrian safety, etc., that lend themselves to efficient resolution on a single date.
- Public Interest in Expedient Resolution. The Project has received 43 letters of support from neighbors and community stakeholders, including the North Beach Neighbors, BCDC Commissioner Anne Halsted, John Stewart of the John Stewart Company, and numerous other residents of the immediate area. Copies of Project support letters are

James A. Reuben | Andrew J. Junius | Kevin H. Rose | Daniel A. Frattin  
Sheryl Reuben<sup>1</sup> | David Silverman | Thomas Tunny | Jay F. Drake | John Kevlin  
Lindsay M. Petrone | Melinda A. Sarjapur | Mark H. Loper | Jody Knight | Jared Eigerman<sup>2,3</sup> | John McInerney III<sup>2</sup>

1. Also admitted in New York 2. Of Counsel 3. Also admitted in Massachusetts

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attached as Exhibit A. It is likely that many members of the public will wish to attend the appeals and address the Board. As these hearings can be lengthy and occur during the work week, it would be more convenient to the public to provide an opportunity for comment at a joint hearing.

- Efficient Use of the Board Resources. Resolving the appeals at a joint hearing would allow the Board to consolidate its review time and costs.
- Avoiding Unnecessary Delay. San Francisco Administrative Code Section 31.16 requires that the Board hear Appellants' CatEx appeal *no less than 21 and no more than 45 days after the 30-day appeal period*, which ended on October 13<sup>th</sup>. As a result, the earliest date on which the CatEx appeal could be heard is November 4<sup>th</sup>, and the latest date December 2<sup>nd</sup> – already creating significant delay. It would be unreasonable to further delay the interrelated Conditional Use appeal by requiring it to be heard after the CatEx appeal.

For these reasons, we ask that the Board hear these appeals jointly at the earliest possible date allowed under the Municipal Code.

## **B. Preliminary Response to Appeal Statements**

Appellants' appeal statements contain numerous inaccurate and misleading statements. While we look forward to addressing Appellants' claims in detail prior to the hearing, we have provided a preliminary response below.

### **1. Conditional Use Appeal**

The Project's design has received thorough review by the Planning Department, Residential Design Team, Zoning Administrator, and Planning Commission, and has been repeatedly found consistent with the City's residential and urban design guidelines.

In the face of direct evidence to the contrary, Appellants doggedly insist that the Project's size, setting (and economic status of future residents) are somehow incompatible with City policies and the Planning Code. For good measure, they also include a smattering of wholly unsupported and inaccurate allegations of potential Project impacts to pedestrian safety, traffic, public transit, and views, alluding to near catastrophic effects on City tourism. Given the doomsday conditions advanced by Appellants, one wonders what form of development they *would* find appropriate for the site.

Appellants' characterization of the Project and setting are absurd. In reality, the Project proposes a moderate scale of development that will greatly improve conditions at the long-vacant, blighted lot by constructing an attractive and thoughtfully designed residential building. Renderings of the Project showing its moderate scale and compatibility with adjacent properties is attached as Exhibit B.

The Project will construct a four-unit building with three off-street parking spaces on a lot that currently contains a vacant (and condemned) cottage. The Project will renovate and

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restore the existing cottage. The new building will appear as three single-family dwellings, each approximately 40 feet tall, that are designed to step down the hill in response to the naturally sloping topography. Each unit will feature a green roof deck with sustainable native plants. The Project will also incorporate significant landscaping to match the surrounding area.

In contrast to the scenario painted by Appellants, the Project will be entirely compatible with the City's General Plan, and exceeds the requirements for Conditional Use authorization. It will be safely constructed on the basis of sound engineering practices and will comply with all requirements of the Building Code.

In fact, the Project will directly benefit the community by:

- Constructing market rate condominiums that John Stewart of the John Stewart Company estimates in his support letter (attached as Exhibit A) will generate more than \$200,000 a year in revenue to the City in tax increment, in addition to intermittent transfer tax fees, which will go into the City's General Fund and serve a myriad of different budget items including, but not limited to, infrastructure upgrades; the City's Health Department; the Recreation and Parks Department, Homeless Shelter maintenance, and more.
- Converting a blighted and chain-link bordered lot that has been vacant for over 10 years and is currently utilized for numerous illegal activities and poses safety liabilities;
- Contributing three new family-sized units to the City's housing goals, which is currently in short supply;
- Renovating and restoring a currently vacant and condemned cottage, maintaining an otherwise discarded element of Telegraph Hill and preserving its history;
- Repairing the Filbert Street Steps and improving the pedestrian experience with adjacent plantings and additional safety elements such as handrails and attractive lighting;
- Incorporating significant setbacks to provide a view corridor between the buildings to allow views to downtown, all while providing informal gathering area at the top of the steps for pedestrians;
- Contributing architecturally significant development that is well-designed and contextually sensitive to the larger neighborhood;
- Adding sustainable elements such as solar panels, vegetated roofs, and low-water demand plumbing fixtures;
- Voluntarily adopting a range of construction "best practices" above and beyond requirements established in the Planning and Building Codes, in order to ensure minimal disruption to the neighborhood, despite the fact that the Project is exempt

under the California Environmental Quality Act (CEQA) and requires no construction mitigation.

Appellants' attack of the Conditional Use authorization is unwarranted.

## 2. *Categorical Exemption Appeal*

Appellants CatEx appeal mischaracterizes the project, contains wholly speculative claims of environmental impacts unsupported by fact, and neglects to mention the appropriate standard of review for a challenges to a categorically exempt project applying the "unusual circumstances" exception.

### a. Legal Standard for Appeal

Certain categories of projects are exempt from environmental review under CEQA because they have been found not to have significant effects to the environment. If a project is subject to a categorical exemption, no formal environmental evaluation is required.

On September 3, 2014, the San Francisco Planning Department determined the Project categorically exempt under Class 1 (exterior renovations to an existing single-family residence that is not an historic resource) and Class 3 (construction of a multi-family residential structure with up to four dwelling units in a residential zone). A copy of the Project's CatEx is attached as Exhibit C.

Appellants appear to advance an "unusual circumstances" exception as grounds for the appeal. Once a project is categorically exempt, the exception places the burden on appellants to show that there is a reasonable possibility of significant effect on the environment due to unusual circumstances (CEQA Guidelines §15300.2.) Accordingly, Appellants must establish both: (a) that there are "unusual circumstances"; and (b) that the record shows "reasonable possibility" that significant effects will arise from the unusual circumstances (*Voices for Rural Living v. El. Dorado Irrig. Dist* (2012) 209 CA4th 1096, 1108.) Appellants satisfy neither requirement.

"Unusual circumstances" are those that "differ from the general circumstances of the projects covered by a particular categorical exemption" and "create an environmental risk that does not exist for the general class of exempt projects." (*Banker's Hill v. City of San Diego* (2006) 139 Cal.App.4<sup>th</sup> 249, 278.) There are no unusual circumstances at the Project.

- Many residential infill projects in San Francisco are constructed on sloping lots or in areas located in close proximity to local tourist attractions. Slopes are a reality of local construction, and do not constitute an "unusual circumstances";
- Geotechnical features of an infill project such as soil quality and water runoff conditions are common issues of proper construction technique that are "satisfactorily addressed by standard building code requirements," and are therefore not unusual circumstances (*Association for Protection of Env't'l Values v. City of Ukiah* (1991) 2 CA4th 720, 735);

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- In dense urban environments, construction staging activities commonly occur adjacent to and within the public right of way with permission of all required City agencies. Construction staging activities are regulated by Code and do not constitute an unusual circumstances particular to the Project; and
- Aesthetic considerations are not unusual for residential projects in our scenic City. However, no other property along the Filbert Steps is required to provide a public view corridor. Views from sidewalks are not protected under CEQA; nonetheless, the Project has incorporated substantial setbacks and design modifications in order to provide a public view corridor.

Likewise, Appellants fail to establish a “reasonable possibility” that the Project will result in significant environmental effects due to the unusual circumstances. A split of authority exists among California Courts of Appeal regarding the legal standard applied to determine how a “reasonable possibility” is established. However, Appellants claims would fail under either standard, due to the absence of any substantial evidence to support of their claims.<sup>1</sup>

Substantial evidence is “facts, reasonable assumptions predicated on facts, and expert opinion supported by facts.” (CEQA Guidelines § 15384). This standard is not satisfied by argument, speculation, unsubstantiated opinion or narrative, or evidence that is clearly inaccurate or otherwise not credible. (CEQA Guidelines § 15064(f)(5).)

Appellants’ meritless complaints and bald statements of opinion do not rise to this standard. For example:

- Geotechnical. The letter provided by Appellants’ geotechnical engineer, Lawrence Karp, amounts to a baseless attack on the Project’s geotechnical report. It contains no facts or specific project data, nor any indication that Mr. Karp has conducted a competing analysis or detailed physical investigation of existing conditions. Nowhere in the letter does Mr. Karp claim to have evaluated detailed project designs, civil engineering reports or shoring plans supporting his specious assertions. Many other residential projects have been built on the same hillside without resulting in a catastrophic ground failure due to existing conditions. Mr. Karp’s letter provides no indication why this Project should differ from those that have come before it. Instead, Mr. Karp appears to assert his own professional qualifications as the only evidence

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<sup>1</sup> There is a split of authority among California Courts of Appeal regarding the standard to be applied to the “reasonable possibility” prong of this analysis. “Some courts have relied on cases involving review of a negative declaration, holding that a finding of categorical exemption cannot be sustained if there is a “fair argument” based on substantial evidence that the project will have significant environmental impacts, even where the agency is presented with substantial evidence to the contrary. Other courts apply an ordinary substantial evidence test to questions of fact relating to the significant effect exception, deferring to the express or implied findings of the local agency that has found a categorical exemption applicable. (*Fairbank v. City of Mill Valley* (1999), 75 Cal.App.4<sup>th</sup> 1243, 1259 (citations omitted).) We believe that the substantial evidence test is the proper standard, consistent with the California Court of Appeal, First District in *Association for Protection etc. Values v. City of Ukiah* (1991) 2 Cal.App.4<sup>th</sup> 720. However, Appellants allegations would fail to raise a “reasonable possibility” of potential impacts under either standard, as the specious allegations and unsubstantiated opinions contained in their letter do are not based upon substantial evidence.

needed to substantiate his general opinion. Of course, this simply does not constitute the substantial evidence needed to support a “reasonable possibility” of potential environmental impacts.

- Public Views. Appellants’ personal opinions that the project will impact public views are not only unsupported by any documentation but also directly contradicted by the record. The Project will have no impact on established vistas from Telegraph Hill’s historic Coit Tower or Pioneer Park. A View Study showing images from both locations, attached as Exhibit D, shows that the Project will block no significant view and will remain largely invisible from either location.
- Pedestrian Safety. Appellants speculate that the Project will create dangerous conditions for pedestrians coming up the Filbert Steps. This is simply inaccurate. This location is currently safeguarded by stop signs for a pedestrian crosswalk, forcing vehicular traffic to come to a complete stop and making this area of Telegraph Hill Boulevard arguably the safest area of the street. The Project’s garage door will incorporate safety features such as a flashing beacon to alert operation, which neighboring garages do not contain. All vehicles will exit the garage facing forward. This, along with the garage’s setback from the property line, will allow drivers and pedestrians to avoid conflicts.
- Public Transit. Appellants falsely claim that the Project will unreasonably interfere with MUNI service. The Project will not require relocation of the 39 Coit Tower MUNI bus stop.
- Filbert Steps. There is no evidence that the Project will disrupt pedestrian access to or remove any portion the Filbert Steps. In fact, there is no modification proposed to the stairs. The only improvements proposed involve adjacent plantings and handrails that will result in a more pleasant and safe experience for tourists.
- Telegraph Hill Wall. Appellants claim the Project will require removal of the historic stone wall separating Telegraph Hill Boulevard and the Filbert Steps. This is simply untrue. The wall will not be removed or altered in any way by the Project.

b. Previous Environmental Review at Property

The Project is the second proposal reviewed by the Planning Department under CEQA for this location in the past 20 years. In 1993, the Department issued a Negative Declaration for a significantly larger project on the same site (proposing to construct a 14,900 gsf residential building containing 7 dwelling units and up to 7 off-street parking spaces). Following a thorough review of the previous proposal’s potential for traffic, parking, noise, geological, shadow, aesthetics, construction activities and other potential environmental impacts, the Department found that the only potential impact requiring mitigation was construction air quality. This factor no longer requires CEQA mitigation for current projects because it is now regulated by ordinance. (*San Francisco City Health Code*, Article 22B).

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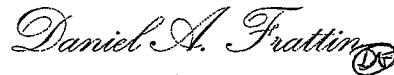
The current Project is substantially smaller than the previous proposal (providing significant setbacks, containing three fewer units and parking spaces). Weight should be given to the Department's previous determination regarding the lack of potential impacts for the substantially larger project at this site when analyzing the current exemption determination.

### **3. Conclusion**

These appeals are meritless and should be denied. We ask that this Board allow the appeals be heard jointly, in order to prevent further unnecessary Project delays, waste of City resources and inconvenience to the public.

Respectfully,

**REUBEN, JUNIUS & ROSE, LLP**



Daniel A. Frattin

#### Enclosures

cc: ALL Supervisors  
Rick Caldeira, Board of Supervisors Clerk's Office  
John Rahaim, Planning Director  
Sarah Jones, Environmental Review Officer  
Liz Watty, Planning Department  
Jessica Range, Planning Department  
Jeremy Ricks, Telegraph Hill Housing LLC  
Lewis Butler, Butler Armsden Architects  
James A. Reuben, Reuben, Junius & Rose, LLP

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**Exhibit List**

- A - Project Support Letters**
- B - Project Renderings**
- C - Categorical Exemption Determination**
- D - View Study**

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John K. Stewart  
285 Telegraph Hill Blvd.  
San Francisco, CA 94133  
[jstewart@jsco.net](mailto:jstewart@jsco.net)

July 8, 2014

Ms. Elizabeth Watty  
San Francisco Planning Department  
1650 Mission St., 4<sup>th</sup> Floor  
San Francisco, CA 94103

Subject: 115 Telegraph Hill Blvd.

Dear Ms. Watty,

My wife and I live about 200 yards north of the subject site on the same street. We are in receipt of a Telegraph Hill Development Alert which warns of a "massive, luxury condominium project." The bulletin states that "this is not about a particular neighbor's self-interest or views - this is about *public interest*." Fair enough. In that regard, from a public policy and planning perspective, what is the best use for this site? Let's briefly run through some options:

- Commercial – Inconsistent with zoning
- A Park – The site is uniquely unsuited for this use because of its 2:1 slope, customary high winds, and budget constraints at the Open Space Committee. Additionally, there's already a park above it.
- An affordable HUD-subsidized rental project- This site would support maybe 10-12 small units that would only have a remote chance of being financeable if a project-based Section 8 contract were available from HUD, which it isn't. Even then, it would not underwrite well because of the land basis and the fact that there's no economy of scale operationally.
- A Low Income Housing Tax Credit development - A small project on this site would not pass muster with the Low Income Housing Tax Credit Committee, and even if it did, an off-the-charts subsidy from the Mayor's Office of Housing would be required, which is an equally unlikely prospect.
- HUD Section 811 –Developmentally Disabled – This non-profit, only HUD-insured and subsidized program is tailored to small unit size (10-20); however, it would not meet reasonable HUD criteria for accessible social services, let alone neighborhood objection to high frequency visitation traffic.
- A market rate rental– Because of the high land costs and the fact that the project would have tenant incomes too high to qualify for Low Income Housing Tax Credits, or the City's Housing Trust Fund (Prop C) and because there's no economy of scale, this option is fiscally infeasible.

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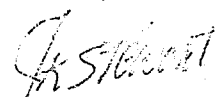
- Market Rate Condominiums – This development category is financeable and will generate over \$200,000 a year in revenue to the City in tax increment, plus intermittent transfer tax fees. These additional tax increment revenues will go into the General Fund for myriad different budget items including, but not limited to, infrastructure upgrades; the City's Health Department; Rec & Parks; Homeless Shelter maintenance, on and on. This has the substance and feel of public interest. Not parenthetically, the City has an operational deficit of \$134M per year which could use some help.

There are some sites that cry out for mixed income; some for affordable and/or market rate rentals. All would have far better economy of scale than this tiny parcel. In this case, the City should capitalize on the highest and best use which the current proposal offers. At 3 units, it's hardly "massive". It is indeed, "luxury" but then its values comport with the surrounding homes ringing Coit Tower. Architecturally, there are elements which thoughtfully mirror the Gardner Dailey design directly next door to the east. It's doubtful that the curb cuts constitute an unsolvable safety problem. It blocks no views. Lastly, lest we forget, it is code compliant and needs no variance.

I concur with the recommendation from some of my fellow Hill dwellers that the developer upgrade and beautify the Filbert steps leading to the site.

It is not in the public's best interest to let this lazy asset remain fallow, as it has for years. Besides, it's a refuse-collecting eyesore.

Sincerely,



John K. Stewart

CC: David Chiu, President of the Board Supervisor, City of S.F.  
John Rahaim, Planning Director, City of S.F.  
Olson Lee, Director, Mayor's Office of Housing  
Anne Halsted  
Robert Mittelstadt  
Rod Freebairn-Smith  
Judy O'Shea  
Irene Tibbits  
Gussie Stewart  
Wells Whitney  
Lynda Spence  
Janet Crane  
Michael O'Shea  
Julie Christensen

July 7, 2014

Ms. Elizabeth Watty  
San Francisco Planning Department  
1650 Mission Street, 4<sup>th</sup> Floor  
San Francisco, CA 94103

Subject: 115 Telegraph Hill Boulevard.

Dear Ms. Watty:

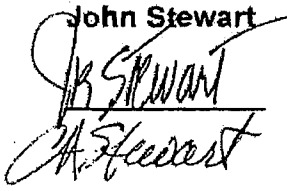
The purpose of this letter is to convey a message of strong support for the proposed new development at 115 Telegraph Hill Boulevard from the undersigned individuals, all of whom are, or have been, residents of Telegraph Hill; they are also intimately familiar with the site, its history, and immediate environs.

We support the proposed development at 115 Telegraph Hill Boulevard because....

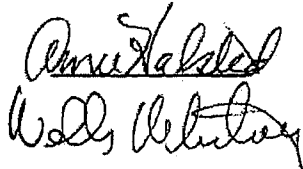
- It will extinguish what has been, for years, an empty and unattractive lot which has served increasingly as a refuse collection point and occasional unauthorized occupancy. It is also a fire-hazard. Many passersby, especially foreign tourists, discard burning cigarettes as they walk by without putting them out.
- The proposal complies with existing planning and zoning regulations and requires no variances.
- The clean modern design and rich surface materials are consistent with the adjacent Gardner Dailey structure to the immediate east and with the eclectic architecture found on many blocks of Telegraph Hill.
- When built out, no neighbor's south-facing cityscape views will be affected. The new buildings will not obstruct views from Pioneer Park or Coit Tower. Furthermore, the applicant and his architect have thoughtfully provided a generous view corridor to the city skyline, from the front to the rear of the property, which never existed when the pre-existing buildings were there.
- There will be little or no shadow effect on neighboring properties.
- Our City desperately needs housing of all types as evidenced by the Mayor's goal of 30,000 new units.
- This site-when improved-will generate tax increment to the City in excess of \$200,000 per year thus helping significantly to mitigate the City's \$134M annual operating deficit.

Converting this site from an empty, bleak lot to a place with elegantly designed homes generating much needed revenue for the City seems like an obvious choice. After literally decades of stasis, it's time to get on with it.

Gussie Stewart  
John Stewart



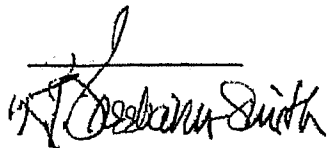
Anne Halstead  
Wells Whitney



Lynda Spence  
Bob Mittelstadt

DocuSigned by:  
Lynda Spence  
CF9CZ291E4B4480

Janet Crane  
Rod Freebairn-Smith



*Judy M. O'Shea*  
Judy M. O'SHEA  
*MJ O'Shea*  
MICHAEL J. O'SHEA  
IRENE LINDBERK

TIBBETS  
*JY Tibbets*

DocuSigned by:  
*Robert Mittelstadt*  
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DocuSigned by:  
*Gail Switzer*  
Gail Switzer



*Judy M. O'Shea*

Judy M. O'SHEA

*M J O'Shea*

MICHAEL J. O'SHEA

IRENE LINDBERK

<sup>TIGGITS</sup>  
*Irene Lindberk*

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Robert Mittelstadt

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Paul Switzer

PAUL SWITZER

July 8, 2014

Ms. Elizabeth Watty  
San Francisco Planning Department  
1650 Mission Street, 4<sup>th</sup> Floor  
San Francisco, CA 94103

**Subject: 115 Telegraph Hill Blvd.**

Dear Ms. Watty:

I am writing to respond to the "Telegraph Hill Development Alert" from Telegraph Hill Dwellers' Planning & Zoning Committee that was emailed to me yesterday and which urged that their members contact you to complain about the 115 Telegraph Hill Boulevard residential development project. I received this email because I am a member of Telegraph Hill Dwellers ("THD") for about the past twenty years, I am a former Board member of THD for six years, and I have lived two doors from the proposed development for the past twenty years. My family and I completely support the 115 Telegraph Hill Blvd. project, as do many of our immediate neighbors, and I categorically reject the demonizing and erroneous statements in the email sent by THD.

The THD email declares the project will:

- 1) *"Block the sweeping views of San Francisco enjoyed by Pioneer Park users."* I have seen the views for 20 years, and the proposed project does not block historic views from Coit Tower or the base of the tower.
- 2) *"Create permanent dangerous conditions for pedestrians coming up the Filbert Steps and Telegraph Hill Blvd. (by creating a new curb cut on the curviest section of Telegraph Hill Blvd. at the very top of the Filbert Steps coming up from Kearny Street)".* This location has two stop signs on either side (what better way to exit a driveway?)

There are curb cuts throughout Telegraph Hill Boulevard, and the specific site historically had a curb cut, and furthermore it is not the curviest point of the Boulevard. It's ironic that THD successfully advocated installing a crosswalk and staircase up to Coit Tower at exactly that same spot on the Boulevard in 1997 (including the installations of the two stop signs) but now for some reason considers it a dangerous spot for any traffic.

- 3) *"Exacerbate traffic congestion for visitors and residents to Coit Tower on Telegraph Hill Blvd. both during and after construction."* This is a four unit project which will not add measurably to traffic congestion on the Hill, and the units will have garages.
- 4) *"Adversely impact users of the 39 Coit Tower MUNI bus both during and after construction (particularly because the current stop will have to be moved but will still be next to their new driveway)."* I understand that the bus stop will continue as always, and it is an unsubstantiated claim by THD.

- 5) *"Eliminate access from the Filbert Steps to Coit Tower for up to two years while the project sponsor digs 30 feet for a new parking garage on this highly constrained site".* I am sure there will be some short-term interruptions, but that is true for all construction projects (as my neighbors who have their homes painted or sidewalks repaved) and disturbances can and should be addressed as part of the proposal.
  
- 6) *"Reward the current owners for demolishing 11 units of affordable rent-controlled housing and replacing them with three luxury, 4,000 to 5,000 square foot, condos."* This seems a sly comment, as the residences there in 1994-1997ish were un-inhabited and largely uninhabitable. (The larger houses were occasional flop houses.) Also, prospective developer, Jeremy Ricks, did not remove the former houses, although this comment makes it sound as if he did. The current owners, the Coopers, bought and emptied the parcel years ago, and they were blocked from further developments.
  
- 7) *"Reward the current owners for their de-facto demolition of the historic cottage on the southern edge of the property."* This is a sly and curious comment. There was a beautiful, historic cottage on the original parcel ("Bill Bailey's cottage") that was moved to another location (the Mission?) by the Coopers by popular request. The existing cottage on the property is uninhabitable, not historic, and an eyesore. I believe it was largely propped up by the Coopers to establish that they were continuing to develop the property, but that was years ago and it remains an eyesore of no significance.

THD is capable of meticulous research, but sly and erroneous claims like the above two claims make me question their motives as well as their means.

I previously wrote your offices on June 2<sup>nd</sup> (see my letter below) with my support of the 115 Telegraph Hill Boulevard residential project. I reiterate my support.

Thank you,

Greg Chiampou  
345 Filbert Street  
San Francisco, CA 94133  
Tel. 415.845.4479

April 1, 2014

San Francisco Planning Commission  
City and County of San Francisco  
1650 Mission Street  
San Francisco, CA 94103

**RE: Support for Conditional Use Application  
115 Telegraph Hill Boulevard/363 Filbert Street  
Case No.: 2013.1375C**

Dear Commissioners,

I have lived at 381 Filbert Street since 1997. My home is immediately next door to the proposed new building at 115 Telegraph Hill Boulevard. I believe the project deserves your support. The property has been largely vacant for nearly twenty years, wrapped with a chain-link and with only the shell of a cottage remaining. The owner has been receptive to my suggestions about the design, which will be both attractive and at an appropriate scale for this location. I look forward to the property being cleaned up and improved.

Thank you.

Sincerely,

Mary Kay Kew 1 April 2014  
Mary Kay Kew  
381-383 Filbert Street

July 7, 2014

Ms. Elizabeth Watty  
San Francisco Planning Department  
1650 Mission Street, 4<sup>th</sup> Floor  
San Francisco, CA 94103

Subject: 115 Telegraph Hill Boulevard.

Dear Ms. Watty:

The purpose of this letter is to counteract some comments made by representatives of the Telegraph Hill Dwellers organization regarding this project. Here are their points, with my counter arguments:

- The project would block sweeping views of San Francisco enjoyed by Pioneer Park visitors – *In fact, by my own observation (I have pictures) the trees and vegetation on the top and sides of the hill already block all views on that side of Pioneer Park and this project in no way makes that worse.*
- The project would adversely impact users of the 39 Coit Tower MUNI bus both during and after construction. – *I have been told that there will be absolutely no effect on the bus stop during or after construction, nor to the Filbert steps either below or above the project site.*
- The project would eliminate access from the Filbert steps for up to 2 years and create dangerous conditions nearby. – *I have been told that there will not be limitations on the access of the Filbert steps at any time.*
- The project would “reward” the current owners for demolishing affordable housing and an historical cottage – *The demolition of housing on the property occurred many years ago and is not relevant to this project. The cottage which remains is in fact unlivable at present but is not now planned to be demolished during this project.*

Thank you for consideration of these points and corrections to misstatements made by neighborhood opponents to the project. Converting this site from an empty, bleak lot to a place with elegantly designed homes generating much needed revenue for the city still seems like an obvious choice.

Sincerely yours – Wells Whitney

Wells Whitney

1308 Montgomery St.

San Francisco, CA 94133

**From:** MARINA GALLI  
**To:** Watty, Elizabeth (CPC)  
**Subject:** Support of 115 Telegraph Boulevard  
**Date:** Sunday, July 06, 2014 5:51:16 PM

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July, 6th 2014

Ms. Elizabeth Watty  
San Francisco Planning Department  
1650 Mission Street - 4th Floor  
San Francisco, CA 94103

Subject: Support of proposed development of 115 Telegraph Hill Boulevard

Dear Ms. Watty,

Monty Reedy and I are writing to you to support the proposed development of 115 Telegraph Boulevard. We believe it is high time that this vacant and desolate lot be turned into a home that contributes to the Telegraph Hill community and also beautifies the approach to Coit Tower. As neighbors, we frequently walk up Telegraph Hill Boulevard and past the 115 Telegraph Hill Boulevard lot. We often wish there was a lovely home that was thoughtfully built, instead of a blighted empty lot. It is our understanding that the owners are proposing a well thought out architectural plan that complies with city ordinances. We should work with them to create something in keeping with the neighborhood.

Wouldn't it be better to have a family or couple living in a newly built, well manicured home, where currently there is nothing but dirt and an unsightly chain link fence? The lot is filled with litter because of the wind tunnel effect, caused by no building on the lot.

Think of the jobs the construction and ongoing maintenance will create, the increased tax base, the additional stimulus to the community. The city needs to embrace and welcome residents who want to set up roots here and improve the city.

Further, it would be nice to have the driveway that once existed reinstated. In an emergency, there is no place to turn around until you get all the way to the top of the hill.

We are neighbors, we are taxpayers and we are supporters of the development of this unused parcel, 115 Telegraph Hill Blvd.

Thank you for your consideration.

Kind regards,

Marina Galli, CFA  
& Monty Reedy

**From:** [Friea Berg](#)  
**To:** [Watty, Elizabeth \(CPC\)](#)  
**Subject:** I support "luxury condos on Telegraph Hill"  
**Date:** Thursday, July 10, 2014 9:10:39 AM

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Hi,

I live in the North Beach/Telegraph Hill neighborhood – don't see why TDH is so upset about the condo development project. Personally I suspect TDH would fight any new project, and leaving that lot vacant and surrounded by a chain link fence is ridiculous.

So ... wanted to voice my support for the project. Looks reasonable enough.

I have no stake in this, don't know any of the involved folks.

-Friea

**Friea Berg | Strategic Alliances | [friea@splunk.com](mailto:friea@splunk.com) | Direct 415.852.5820 | Mobile: 415.254.1544 | [twitter.com/friea](https://twitter.com/friea)  
San Francisco | Cupertino | London | Hong Kong | Washington D.C. | Seattle | Plano | Singapore | Munich | Tokyo**

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**From:** Lauren Haugh  
**To:** Watty, Elizabeth (CPC)  
**Subject:** Supporting the project on 115 Telegraph Hill  
**Date:** Wednesday, July 09, 2014 11:46:15 AM

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Dear Ms. Watty,

I would like to express my strong support for the proposed project at 115 Telegraph Hill. The Filbert steps are one of my favorite places to run. I have lived in the city for over 7 years and I don't think I have seen a bigger eye sore than this vacant lot. I have always wondered why it has remained vacant for so long. Last week I met Jeremy Ricks and his architects who were visiting the spot and looking at plans. I approached them and asked if they were developing the project etc... They showed me the plans and I absolutely love what they are proposing. I think that it will be a great addition to the neighborhood. I asked them if there was anything that I could do to help and they suggested that I write a letter of support, hence this email. I understand that there are no variances to this project and it falls under the height limit.

I would like to show my strong support for this project.

Sincerely,  
Lauren Haugh  
650-996-1090  
S.F Resident

June 8, 2014

Ms. Elizabeth Watty  
San Francisco Planning Department  
1650 Mission Street, 4<sup>th</sup> Floor  
San Francisco, CA 94103

Subject: 115 Telegraph Hill Blvd.

Dear Ms. Watty:

As immediate neighbors to the proposed project, we would like to express our support for the new development by Jeremy Ricks' group at 115 Telegraph Hill Blvd. We have lived three homes away from the site for the past fifteen years, we have reviewed Mr. Rick's proposed plans as of May 2014, and we have long appreciated the site, its history, and the immediate environs.

We support the proposed development at 115 Telegraph Hill Blvd. for several reasons:

- The proposed building plan:
  - Has clean lines, open courtyards, and modern elements that contribute to the neighborhood's architecture.
  - Does not block views from Pioneer Park's rear lawn area or Coit Tower.
  - Does not block any neighbors' south facing views, and has little or no shadow impact on neighboring residences.
- Now an empty lot, the proposed building site offers an opportunity to:
  - Add residential units and tax-payers to both the neighborhood and the city.
  - See new residents be motivated to maintain the heavily tourist-trafficked Filbert stairs area in front, including keeping the area clean, graffiti-free, and planted.

We remember the former buildings on this site. After a long period of abandonment, we are glad to see this proposed plan for 115 Telegraph Hill Blvd.

Sincerely,



Greg Chiampou  
345 Filbert Street  
San Francisco, CA 94133

**From:** [Regan Anderlini](#)  
**To:** [Watty, Elizabeth \(CPC\)](#)  
**Subject:** 115 Telegraph Hill Boulevard Townhouses  
**Date:** Tuesday, July 08, 2014 9:20:39 PM

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Ms. Watty,

I am a resident of the Telegraph Hill neighborhood in San Francisco and I am writing in support of the proposed development at 115 Telegraph Hill Blvd. Recently there has been some heated discourse on our neighborhood email list, and I felt it is important that I let you know that my husband and I both support the idea of replacing the unsightly vacant lot that now exists with a tastefully conceived development. I have read the document sent to the list by Jeremy Ricks of Telegraph Hill Housing, LLC and support the ideas presented in his communication.

Thank you for your consideration,

Regan Anderlini  
300 Filbert St

**From:** Vincent scholl  
**To:** Wattv, Elizabeth (CPC)  
**Subject:** 115 Telegraph Hill Support  
**Date:** Wednesday, July 09, 2014 11:11:01 AM

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Ms. Watty

I am writing to support the proposed project of 115 Telegraph Hill. I often run the Filbert steps with my girlfriend (Lauren Haugh, who I think is also writing a letter of support). We met with the project sponsor and his team of architects at the site and reviewed their plans. I feel that what they are proposing is both reasonable and quite spectacular and would be a VERY welcomed addition to the neighborhood. I strongly support the project.

Best

Vince Scholl

**From:** Lois Chess  
**To:** Watty, Elizabeth (CPC)  
**Subject:** SUPPORT for 115 Telegraph Hill Development  
**Date:** Tuesday, July 08, 2014 4:15:10 PM

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Just so you know, not everyone is against developing this site. It has been empty way too long. Good luck. I hope it passes.

Lois Chess  
415-385-7505

**From:** Marcy Albert  
**To:** Watty, Elizabeth (CPC)  
**Subject:** SUPPORT FOR 115 Telegraph Hill Boulevard (Case No. 2013.1375CE)  
**Date:** Wednesday, July 09, 2014 12:01:42 PM

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I have read both the supporting and opposing sides of this development and it looks to me to be a perfectly delightful development. I encourage you to support it.

Marcy Albert  
101 Lombard St #904W  
San Francisco, CA 94111  
415-627-6900

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**From:** [david.taylor10@comcast.net](mailto:david.taylor10@comcast.net)  
**To:** [Watty, Elizabeth \(CPC\)](#)  
**Subject:** 115 Telegraph Hill  
**Date:** Wednesday, July 09, 2014 11:14:15 AM

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Hi Elizabeth,

I support the project at 115 Telegraph Hill as shown and am looking forward to getting rid of that eyesore lot.

Thank you,

David Taylor  
1460 Montgomery Street  
650 339 1476

**From:** [Dana Rivera](#)  
**To:** [Wattv, Elizabeth \(CPC\)](#)  
**Subject:** Supporting project at 115 Telegraph Hill  
**Date:** Wednesday, July 09, 2014 12:37:55 PM

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Hi Elizabeth,

I am writing in support of the proposed project at 115 Telegraph Hill. As a neighbor at 279 Filbert Street, I believe the project will fit into the character of the neighborhood and will fill a current void.

I have reviewed the details of Jeremy's proposal with him and because the project is below the zoned height limit and requires no variances, I urge the Planning Commission to support this project.

Thank you for your consideration.

Best,  
Dana Rivera



**From:** Cal J.  
**To:** Watty, Elizabeth (CPC)  
**Subject:** Support for proposal of 115 Telegraph Hill  
**Date:** Wednesday, July 09, 2014 10:55:02 AM

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Ms. Watty,

I own a TIC close to Telegraph Hill and often visit the Coit Tower area. Just last month I took some relatives that were visiting from out of town. We walked up the Filbert St stairs and one of them commented how ugly the vacant lot that sits on 115 Telegraph Hill was. When I spoke to Jeremy Ricks about his project I discovered that this lot has been vacant for over 15 years. I don't understand why/how one of the most beautiful and important streets in all of SF could have such a thing. I have reviewed the plans that Jeremy and his architects have proposed and I think that they would be an absolutely wonderful addition to the neighborhood. The proposed homes have a nice modern feel but also keep with the consistency of the neighborhood.

This letter is in STRONG support of the proposed 115 Telegraph Hill project. I urge the planning commission to pass the project as is.

Thank you,  
Calvin Chan

June 10, 2014

Ms. Elizabeth Watty  
San Francisco Planning Department  
1650 Mission Street, 4<sup>th</sup> Floor  
San Francisco, CA 94103

Subject: 115 Telegraph Hill Blvd.

Dear Ms. Watty:

As immediate neighbors to the proposed project, I would like to express support for the new development by Jeremy Ricks' group at 115 Telegraph Hill Blvd. I have lived three homes away from the site for the past fifteen years, and have reviewed Mr. Rick's proposed plans as of May 2014.

I support the proposed development at 115 Telegraph Hill Blvd. for several reasons, but the main reason is that the current empty lot is a MAJOR EYESORE that has essentially become a big garbage dump. It is sad to see such a beautiful location littered with trash and graffiti.

The proposed building plan is thoughtful, and I appreciate the clean lines and modern elements that would complement the neighborhood's architecture. From my review of the plan, I do not see any impact on views from Pioneer Park's rear lawn area or Coit Tower, block any neighbors' south facing views, and has little or no shadow impact on neighboring residences.

The project would also bring tax dollars and jobs to our city/neighborhood.

I welcome the proposed project and appreciate that Mr Ricks has worked with the neighbors to create residences that would be an asset to Telegraph Hill.

Sincerely,

Jennifer Mattson Chiampou  
345 Filbert Street  
San Francisco, CA 94133

✓

**From:** Janet Crane  
**To:** Watty, Elizabeth (CPC)  
**Cc:** Silcox, Louis; Rod Freebairn-Smith  
**Subject:** 115 Telegraph Hill Boulevard  
**Date:** Tuesday, July 08, 2014 5:01:09 PM

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Dear Ms. Watty:

I am a 40 year resident of Telegraph Hill and wish to support the right of the property owner to build homes on this lot.

I understand that the project does not require any variances and has received design approval from the Planning Department. This is a logical site for luxury homes.

It is reasonable to discuss with the property owner how the most difficult impacts of construction will be mitigated for the neighbors and that the Filbert Steps should be brought into good condition at that property line. Those discussions should occur with any significant construction site in a congested area. However, the project should not be attacked because it is not a park.

I am adding my name to the other letters of support that have been sent by our neighbors.

Best regards,  
Janet

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Janet Crane  
Freebairn-Smith & Crane  
Planning, Urban Design, Architecture  
442 Post Street  
San Francisco CA 94102  
415 398 4094  
[jcrane@f-sc.com](mailto:jcrane@f-sc.com)

**From:** Alexis Donoghoe  
**To:** Watty, Elizabeth (CPC)  
**Subject:** 115 Telegraph Hill - Vote of Approval  
**Date:** Wednesday, July 09, 2014 2:16:36 PM

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To whom it may concern:

I live in North Beach (529 Filbert St.) right near 115 Telegraph Hill. I walk to work up and over Telegraph Hill and pass by this empty lot everyday, so I am familiar with this proposal. I have reviewed the details of Jeremy's proposal with him and I think the project will be a welcomed addition to the neighborhood. I strongly support the project and urge the planning commission too as well, especially as it is below the height limit and requires no variances.

Fellow Neighbor,

Alexis Donoghoe

✓

John Fitzgerald  
381 Filbert Street  
San Francisco, CA 94133  
(415) 397-6630 / [groundfitz@yahoo.com](mailto:groundfitz@yahoo.com)

**Attention: City of San Francisco Planning  
Department**

I am John Fitzgerald. I reside at 381 Filbert, the garden apartment below 383 Filbert. I have lived here for seventeen years.

Telegraph Hill is a wonderful place to live! The views are fantastic and I especially appreciate that every day of the year people from all over the world are climbing the Filbert steps on their way up to, and down from, Coit Tower.

I have met with Jeremy Ricks and seen his plans for developing the properties next door. I look forward to having neighbors, instead of the empty, often trashed and blighted lots that have been next door for many years. Indeed, I think Mr. Ricks' residences will be a welcome addition to the neighborhood.

I trust that you will give his proposal a fair hearing.

Sincerely,

John J. Fitzgerald

**From:** Dustin Haytema  
**To:** Watty, Elizabeth (CPC)  
**Subject:** Support for proposed Telegraph Hill Property  
**Date:** Wednesday, July 09, 2014 11:10:31 AM

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Dear Ms. Watty,

I have been renting an apartment near North Beach for over two years and walk near Coit Tower everyday on my way to work. Before even speaking to Mr. Ricks about the proposed project, I have commented on the vacant lot with many neighbors and tourists over the past year. It has been a huge eye sore for all local residents and tourists alike and sometimes even frequents vagrants at night.

I recently sat down with Mr. Ricks to discuss the building project and the proposed plans for 115 Telegraph Hill and am strongly in support of its development. Based on my experience, the project clearly falls under the height limit and there are clearly no proposed variances, thus making this project a perfect fit for that lot. This beautifully designed building will only add to the neighborhood as a whole.

I look forward to supporting this project through to completion.

Please contact me with any questions.

Best,  
Dustin Haytema

v

**From:** [brad hedrick](#)  
**To:** [Watty, Elizabeth \(CPC\)](#)  
**Subject:** Fwd: support for 115 Telegraph Hill  
**Date:** Wednesday, July 09, 2014 12:38:01 PM  
**Attachments:** [Plans Final reduced.pdf](#)

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Elizabeth,

I hope this note finds you well. I have lived in North Beach for many years now and know Jeremy Ricks from HS. Jeremy has brought me up to speed on the details of his proposal of the 115 Telegraph Hill Project, which seems like a great idea considering the lot he is pursuing has been vacant for so long. I foresee the project being a welcomed addition to the neighborhood. Per the plans, it looks the structure is below the height limit, and would not requires any major variances if any. Just thought i would shoot over a note to mention my firm support of the project and urge the planning commission too as well.

Always happy to chat.

brad hedrick  
4154979844  
520 chestnut St no 104  
SF CA.

**From:** [peter Iskandar](#)  
**To:** [Watty, Elizabeth \(CPC\)](#)  
**Cc:** [pi Iskandar@yahoo.com](mailto:pi Iskandar@yahoo.com)  
**Subject:** 115 Telegraph Hill Project Support  
**Date:** Wednesday, July 09, 2014 4:54:46 PM

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Hi Elizabeth,

I live nearby and am a property owner at 1835 Grant Ave. I recently reviewed the plans for Jeremy's project at 115 Telegraph Hill and I think this project will be a nice addition to the neighborhood. As far as I can tell the project will add desired property value to the surrounding area, will clean up an underused vacant lot, and does not exceed any size limits or require any variances.

I support the project and urge the planning commission to do so as well.

Sincerely,

Peter Iskandar  
1835 Grant Ave.



**From:** shane  
**To:** Watty, Elizabeth (CPC)  
**Subject:** Support for 115 Telegraph Hill  
**Date:** Wednesday, July 09, 2014 11:19:12 AM

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Dear Ms. Watty,

My wife and I have lived in North Beach for over 3 years. We often visit Coit Tower, especially when we have out of town visitors.

For some time I have thought that this unpleasant vacant plot of land should be developed as it would add MUCH beauty to the area.

I have met with Jeremy Ricks and reviewed his plans and think that what he is proposing, in its CURRENT state, would be an absolutely fantastic addition to the neighborhood. I strongly believe that this project should be approved and ask the commission to vote yes on this project.

Thanks,  
Shane Kennedy

**From:** Dana Kueffner  
**To:** Watty, Elizabeth (CPC)  
**Cc:** PMHeinemann@aol.com  
**Subject:** Re: 115 Telegraph Hill Boulevard - Planning Case No. 2013.1375C  
**Date:** Tuesday, July 08, 2014 8:51:50 PM

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Dear Ms. Watty, President Wu and Commissioners:

Let me apologize in advance for the informal nature of this correspondence.

My husband, Peter Heinemann, and I are wanting to go on record as strong supporters of the above referenced project. Peter and I have lived on Telegraph Hill for the past 30 years. Our home is located at 335 Greenwich Street, approximately 6 parcels north/east of 115 Telegraph Hill Blvd.

We believe that the project has been very thoughtfully designed. The owner and their architects have listened to and addressed a wide variety of community concerns and issues. They should be commended for all their efforts.

Please add our names to the list of supporters of this plan. Thank you for your kind attention.

Sincerely,

Dana L. Kueffner and Peter M. Heinemann  
335 Greenwich Street  
San Francisco, CA. 94133

**From:** [dennis leary](#)  
**To:** [Watty, Elizabeth \(CPC\)](#)  
**Date:** Wednesday, July 09, 2014 5:36:56 PM

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Hey Elizabeth, my name is Dennis Leary; I live at 80 Alta St on Telegraph Hill. I am writing to express my support for the proposed development at 115 Telegraph Hill Blvd. I think the project would be an improvement over the vacant lot that now exists; I also do not think the proposed construction would disrupt the neighborhood in any manner. I have lived on the Hill for 9 years, and am well familiar with the politics up here. I hope the fear-mongers do not sabotage yet another attempt to better the neighborhood. If you need to talk to me further about this matter, please do not hesitate to contact me. Thanks very much.

**From:** Jady Manibusan  
**To:** Watty, Elizabeth (CPC)  
**Subject:** 115 Telegraph Hill  
**Date:** Wednesday, July 09, 2014 10:58:23 AM

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Dear Ms. Watty,

I live at 34 Jasper Place and am writing this email in strong support of the proposed project on 115 Telegraph Hill. The land has been an eye sore to the neighborhood and the city as a whole as hundreds of tourists view this vacant lot every everyday as they drive up to Coit Tower. I have met with Jeremy Ricks and reviewed his plans for the new structure and believe that it will be a welcomed addition to the neighborhood and I think that planning should strongly support the project in its current form. I am aware that the project is below the height limit and does not require any variances so I see no reason why the commission should not support it.

Many Thanks  
Jady Manibusan

**From:** McCandless, Michael  
**To:** Watty, Elizabeth (CPC)  
**Subject:** Support for 115 Telegraph Hill  
**Date:** Wednesday, July 09, 2014 1:07:21 PM

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Hi Sally,

I have reviewed the details of Jeremy's proposal for 115 Telegraph Hill and I think the project will be a welcomed addition to our neighborhood. Given that it's well below the height limit and requires no variances I strongly support the project and urge the planning commission too as well.

All the best,

Michael

**Michael McCandless**  
289 Chestnut Street  
San Francisco, CA 94133  
415-699-8324

**From:** Bill Ricks  
**To:** Watty, Elizabeth (CPC)  
**Subject:** Support for development of 115 Telegraph Hill Blvd  
**Date:** Tuesday, July 08, 2014 4:17:20 PM

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> Dear Liz,

>

> I am writing you to display my strong support for the proposed development at 115 Telegraph Hill Blvd. I am a long-time resident of the Bay Area, and long-time admirer of Coit Tower and Telegraph Hill. I am an owner of 339 and 341 Filbert Street.

>

> I have met several times with the owner and the architect of the proposed development of this property. I feel that their proposal for 3 homes on this property is very appropriate for this location. I have long marveled that an unsightly property surrounded by a chain-link fence was allowed to exist in this iconic location. The proposed 3 stylish homes on this site would add a great deal of value and beauty to the neighborhood.

>

> Please feel free to contact me if you have any questions or comments.

>

> Regards,

>

> Bill Ricks

> 925-890-3933

**From:** Silcox, Louis  
**To:** Watty, Elizabeth (CPC)  
**Subject:** 115 Telegraph Hill Boulevard, aka 363 Filbert Street  
**Date:** Tuesday, July 08, 2014 1:32:14 PM  
**Importance:** High

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**Dear Ms. Watty,**

I am the real estate agent who is involved in the sale of this property. I am also a long-time resident and property owner on Telegraph Hill, having lived here since the 1980's. My home is just six doors away from the parcel that has long been vacant, an eye-sore, a place for homeless to camp and a fire-hazard also, in my opinion. I will be writing a formal letter to you later today and emailing it to you. I just sent you an email from several other neighbors who currently live nearby, with the exception on one couple, who have now moved to another part of the city. Among those who signed that letter are a number of civic and charitable organization leaders, two architects and a couple who live in a Gardner Dailey designed residence a few doors away on Telegraph Hill Boulevard. There are also two architects who have signed. Having studied architecture at U.C. Berkeley myself, I have a tremendous appreciation for good architectural design.

While I may be involved in marketing and selling the finished product, my main interest in seeing this property developed is as a neighbor.

Sincerely and with kind regards,

Louis

Louis J. Silcox, Jr.  
Senior Marketing Consultant  
Sotheby's International Realty  
117 Greenwich Street  
San Francisco, CA 94111  
415 296-2229 Direct  
415 297-2277 Cellular  
415 901-1701 Facsimile  
[www.SFEstates.com](http://www.SFEstates.com)  
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July 8, 2014

Ms. Elizabeth Watty  
San Francisco Planning Department  
1650 Mission Street, 4<sup>th</sup> Floor  
San Francisco, CA 94103

Re: 115 Telegraph Hill Boulevard (3 *Proposed Townhouses + remodel of an existing Cottage*)  
Planning Case No. 2013.1375C  
Hearing Date: July 17, 2014

Dear Ms. Watty, President Wu and Commissioners:

I have been a resident on Telegraph Hill since 1976 and love it dearly. In my early years there I was a renter while I studied architecture at U.C. Berkeley and have always considered myself fortunate indeed to call "The Hill" my home. Since then I was able to purchase my own home on the hill and I treasure it dearly. There is nowhere else in San Francisco that I would prefer to live.

I have also been a successful real estate agent in San Francisco since 1987 and I specialize in Telegraph Hill properties. Over the years I have learned that there are few homes in our neighborhood that are larger than two bedrooms, while there is a significant demand for such homes.

I support this project of 3-4 bedroom homes plus the remodeling of the existing cottage because good housing is needed everywhere in our city and family sized homes are very much needed on Telegraph Hill. I believe that a neighborhood that is rich in its eclecticism must by definition include family homes and homes that can also serve handicapped or very elderly persons as well as able bodied ones who can walk quickly up a hill with two full bags of groceries and their brimming briefcases. I can still remember being able to do that myself. The three townhouses that are proposed can serve any of these individuals as a proper and wonderful place to call home.

The project has already passed design review and does not seek any variances. Contrary to what some claim, it does not impact the public views from either Pioneer Park or Coit Tower. I live next to Coit Tower and walk this area regularly, so I can attest to that fact. Additionally, there was a driveway and curb cut previously, as evidenced by photographs that have already been provided to you. The sidewalk and curb were expanded out several years ago by the city when an additional stairway to Coit Tower on the South slope was created. A few people claim that this driveway cut never existed, which is a false statement. I do believe that there are a few individuals who oppose this project that do, in fact, have a personal vendetta against the sellers/current owners of this property and would rather it remain abandoned than have them benefit ever, in any way, from the sale of the property. Unfortunately, these few people have the ears of many uninformed residents on the hill and I imagine that their specious claims have generated dozens or even more letters to you in opposition of this handsome project.

Mr. Ricks and his architect, Lewis Butler have made several concessions and accommodations to the neighbors requests and demands, some very costly, including dramatically reducing the overall mass of the structure, particularly at the rear, a very costly reconfiguration of the garage structure, reducing the height of a major portion of the structure, volunteering to create a view corridor for pedestrians, that



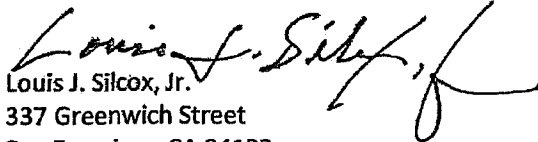
was never there when the previous structures were there. I remember those derelict structures well. They were actually deemed unsound by the city before a permit was issued by the city to demolish them.

I have over the course of the past several years witnessed break-ins onto the property and into the cottage, people dumping garbage there, people constantly loitering there smoking marijuana and drinking alcohol at all hours and lots of graffiti as well. Even though the owners cut back the weeds, it remains a severe fire-danger in my opinion. I often see passersby, some of them tourists, who may not know any better, flick lit cigarettes aside with them sometimes landing in the weeds. A severe fire-hazard, if there ever was one!

This project will provide a great deal of revenue for our city, new homes for four families, possibly even multi-generational families, many construction jobs, many service jobs such as landscapers & gardeners, decorators, house-cleaners, window washers and other maintenance personnel. Beyond that, it will extinguish a fire-hazard and what has long been an attractive nuisance and will most certainly improve overall safety and quality of life for its immediate and nearby neighbors. The neighbor, who in my view has the most potential to be impacted by this construction, Mary Kay Kew, wholeheartedly supports this project.

In closing, I and many of my well informed neighbors support this project and look forward to the day when there are beautiful homes ready to welcome all sorts of new neighbors and friends.

Sincerely and with kind regards,

  
Louis J. Silcox, Jr.  
337 Greenwich Street  
San Francisco, CA 94133  
415 788-2008

**From:** Chris Stockton  
**To:** Watty, Elizabeth (CPC)  
**Subject:** Condominium Project at 115 Telegraph Hill Boulevard  
**Date:** Sunday, July 06, 2014 9:13:38 AM

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Case 3013.1375

As a long standing member of Telegraph Hill Dwellers and as a resident of Telegraph Hill, on Chestnut Street, please be advised that I do not oppose the development of the property at 115 Telegraph Hill Boulevard for condominiums as long as the building does not exceed the usual 40' height limit and provides for the usual rear yard open space.

Chris Stockton,  
Architect, retired

May 5, 2014

SF Planning Commission  
1660 Mission Street, First Floor  
San Francisco, CA 94103-2479

Re: Proposed Project @115 Telegraph Hill

Dear Planning Commission Members:

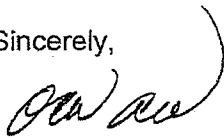
I have been a homeowner in San Francisco for more than a decade. Last year, I purchased a home in the Telegraph Hill neighborhood.

Recently, I had the opportunity to review the preliminary plans for a proposed project at 115 Telegraph Hill. I believe this proposal would be a welcome addition to our neighborhood providing an attractive multi-family structure on what is now a poorly maintained, vacant lot.

While I understand that you must take into consideration a variety of issues in your decision-making process, this appears to be a well-thought out proposal from a reputable, local firm. Most importantly, the overall plan would fit nicely into our existing neighborhood.

As a homeowner who lives close by and has an interest in the future of our neighborhood and San Francisco as a whole, I enthusiastically support the proposed plans. Thank you for your consideration.

Sincerely,



Olivia Ware  
112 Alta Street  
San Francisco, CA 94133  
(650) 868-7955  
ocware@gmail.com

**From:** Andrea Winograd  
**To:** Watty, Elizabeth (CPC)  
**Subject:** 115 Telegraph Hill  
**Date:** Wednesday, July 09, 2014 4:07:56 PM

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Ms. Watty

My name is Andrea Winograd and I live at 1437 Hyde Street, and I have reviewed the details of Jeremy's proposal on 115 Telegraph Hill with him and I think the project will be a welcomed addition to the neighborhood. The project is below the height limit and requires no variances so I strongly support the project and urge the planning commission too as well. The vacant lot has been there for way too long and this is the perfect project for the property.

Please share my email of support with the planning commission and respective supervisors.

Thank you!

Andrea Winograd

**From:** Justin Yonker  
**To:** Watty, Elizabeth (CPC)  
**Subject:** Fwd: Support for Proposed Project at 115 Telegraph Hill  
**Date:** Wednesday, July 09, 2014 4:39:24 PM

---

SF Planning Dept.

To Whom It May Concern,

I am a nearby neighbor and owner of my residence at 527 Union Street. I have reviewed the plans for Jeremy's project at 115 Telegraph Hill and I think the project will be a welcomed addition to our neighborhood. The project appears to be below the height limit, does not appear to require any variances, does not appear to have any negative effect on the neighborhood, and adds value to all nearby properties. Therefore I support the project and urge the planning commission to do so as well.

Sincerely,

**Justin Yonker**

Master Builders  
C: 415-806-4676  
O: 415-567-8886

[justin@masterbuilderssf.com](mailto:justin@masterbuilderssf.com)  
[www.masterbuilderssf.com](http://www.masterbuilderssf.com)

*Please consider the environment before printing this e-mail*

✓



**ABBREVIATIONS**

&	AND	F.D.	FLOOR DRAIN	P.G.	PAINT GRADE
@	ANGLE	FF. & E.	FURNITURE, FIXTURES & EQUIP.	PL.	PLATE
#	CENTERLINE	FF.	FINISH FLOOR	PLAM.	PLASTIC LAMINATE
Ø	DIAMETER	FIN.	FINISH FLOOR	PLYWD.	PLYWOOD
Ø	DIAMETER	FLR.	FLOOR	PR.	PAIR
(N)	DEMOLISH EXISTING	FLUOR.	FLUORESCENT	PROP.LN.	PROPERTY LINE
(R)	REMOVE	FT.	FACE OF	P.T.	PRESSURE TREATED
A.B.	ANCHOR BOLT	F.O.C.	FACE OF CONCRETE	R.	RISER
ABV.	ABOVE	F.O.F.	FACE OF FINISH	RAD.	RADIUS
ADJ.	ADJACENT	F.O.S.	FACE OF STUD	R.D.	ROOF DRAIN
A.F.F.	ABOVE FINISHED FLOOR	FNDN.	FOUNDATION	R.D.WD.	REDWOOD
AGGR.	AGGREGATE	FT.	FOOT OR FEET	REF.	REFERENCE
ALN.	ALIGN	FTG.	FOOTING	REFR.	REFRIGERATOR
ALUM.	ALUMINUM	FURR.	FURRING	REINF.	REINFORCED
APPROX.	APPROXIMATE	GALV.	GALVANIZED	REQD.	REQUIRED
ARCH.	ARCHITECTURAL	G.F.I.C.	GROUND FAULT INTERCEPTOR CIRCUIT	RESIL.	RESILIENT
AV.	AUDIO VISUAL	GL.	GLASS	R.L.	RAIN LEADER
BD.	BOARD	GR.	GRADE	RM.	ROOM
BLDG.	BUILDING	GRND.	GROUND	R.O.	ROUGH OPENING
BLK.	BLOCK	GSM.	GALVANIZED SHEET METAL	S.	SOUTH
BLKG.	BLOCKING	GYP.	GYPSONUM	S.C.	SOLID CORE
BH.	BEAM	H.B.	HOSE BIB	SCHED.	SCHEDULE
B.O.	BOTTOM OF	H.C.	HOLLOW CORE	SD	SMOKE DETECTOR
B.U.R.	BUILT UP ROOFING	HDWR.	HARDWARE	SECT.	SECTION
B/W	BETWEEN	HTL.	HORIZONTAL	SHT.	SHOWER
CAB.	CABINET	HR.	HOUR	SIM.	SIMILAR
CEM.	CEMENT	INSUL.	INSULATION	SL.	SLOPE
CER.	CERAMIC	INT.	INTERIOR	S.L.D.	SEE LANDSCAPE DRAWINGS
CLG.	CEILING	LAM.	LAMINATE	SPEC.	SPECIFICATION
CLG.	CEILING	LAV.	LAVATORY	SQ.	SQUARE
CLR.	CLEAR	LT.	LIGHT	S.S.D.	SEE STRUCTURAL DRAWINGS
C.M.U.	CONC. MASONRY UNIT	MAX.	MAXIMUM	S.S.	STANDARD STEEL
COL.	COLUMN	MED. CAB.	MEDICINE CABINET	STD.	STEEL
CONC.	CONCRETE	MECH.	MECHANICAL	STOR.	STORAGE
CONT.	CONTINUOUS	MEMB.	MEMBRANE	STRUC.	STRUCTURAL
DBL.	DOUBLE	MISC.	MISCELLANEOUS	SYM.	SYMMETRICAL
DTL.	DETAIL	N.	NORTH	T.	TREAD
DIA.	DIAMETER	N.I.C.	NOT IN CONTRACT	T.B.	TOWEL BAR
DIM.	DIMENSION	NO.	NUMBER	T.G.	TELEPHONE
DN.	DOWN	NOM.	NOMINAL	T&G.	TONGUE AND GROVE
DR.	DOOR	N.T.S.	NOT TO SCALE	TK.	THICK
DS.	DOWNSPOUT	O.	OVER	TMPR.	TEMPERED
DWG.	DRAWING	O.A.	OVERALL	T.O.P.	TOP OF
DWR.	DRAWER	OBS.	OBSOLETE	T.O.P.W.	TOP OF PAVEMENT
E.	EAST	O.C.	ON CENTER	T.S.	TUBULAR STEEL
E.A.	ELECTRICAL	OPNG.	OPENING	T.V.	TELEVISION
ELEV.	ELEVATION	OPP.	OPPOSITE	TYP.	TYPICAL
ENCL.	ENCLOSURE			U.O.N.	UNLESS OTHERWISE NOTED
EQ.	EQUAL			V.C.T.	VINYL COMPOSITION TILE
EQUIP.	EQUIPMENT			VERT.	VERTICAL
EXT.	EXTERIOR			V.I.F.	VERIFY IN FIELD
				W.	WEST
				W/	WITH
				W/O	WITHOUT
				W/P	WATERPROOFING
				WT.	WEIGHT

**SYMBOLS**

	DRAWING/DETAIL REFERENCE TAG
	DRAWING OR DETAIL
	SHEET WHERE DRAWING/DETAIL OCCURS
	SECTION REFERENCE TAG
	BUILDING SECTION
	SHEET WHERE SECTION OCCURS
	INTERIOR ELEVATION REFERENCE TAG
	INTERIOR ELEVATION
	SHEET WHERE INTERIOR ELEVATION OCCURS
	ALIGN
	HIDDEN LINE
	STUD WALL (UNLESS NOTED OTHERWISE)
	CONCRETE STRUCTURE, S.S.D.
	INSULATION IN SECTION (BATT)
	INSULATION IN SECTION (RIGID)
	LATH AND PLASTER IN SECTION
	GYPSONUM BOARD IN SECTION
	PLYWOOD IN SECTION
	FINISH WOOD IN SECTION
	GLASS IN SECTION
	DOOR TAG
	WINDOW TAG
	PLUMBING FIXTURE TAG
	PLUMBING FITTING TAG
	APPLIANCE TAG
	EQUIPMENT TAG
	REVISION TAG
	MATCHLINE
	WORKPOINT OR DATUM
	WALL TYPE TAG
	THRESHOLD

**GENERAL NOTES**

- ALL WORK SHALL BE IN COMPLIANCE WITH ALL APPLICABLE LOCAL BUILDING CODES AND REGULATIONS. CONTRACTOR SHALL BE RESPONSIBLE FOR PERMITS APPLICABLE TO SPECIFIC TRADES OR SUBCONTRACTORS.
- CONTRACTOR WILL HAVE EXAMINED THE PREMISES AND SITE SO AS TO COMPARE THEM WITH THE DRAWINGS AND WILL BE SATISFIED HIMSELF AS TO THE CONDITION OF EXISTING WORK AND ADJACENT PROPERTY PRIOR TO SUBMISSION OF BID. NO ALLOWANCES WILL SUBSEQUENTLY BE MADE ON BEHALF OF THE CONTRACTOR BY REASON OF ANY OMISSION ON HIS PART TO INCLUDE THE COSTS OF ALL ITEMS OF WORK, EITHER LABOR OR MATERIALS, WHETHER THEY ARE OR ARE NOT ESPECIALLY OR PARTICULARLY SHOWN OR NOTED BUT WHICH ARE IMPLIED OR REQUIRED TO ATTAIN THE COMPLETED CONDITIONS PROPOSED IN THE DRAWINGS.
- ALL SUBCONTRACTORS TO THE GENERAL CONTRACTOR SHALL INSPECT THE SITE AND SHALL CONVEY ANY QUESTIONS REGARDING DESIGN INTENT AND SCOPE OF WORK TO THE ARCHITECT PRIOR TO SUBMITTING BID AND PRIOR TO COMMENCING WORK.
- CONTRACTOR SHALL COORDINATE THE WORK OF THE VARIOUS TRADES AND SUBCONTRACTORS AND SHALL BE RESPONSIBLE FOR ANY ACTS, OMISSIONS, OR ERRORS OF THE SUBCONTRACTORS AND OF PERSONS DIRECTLY OR INDIRECTLY EMPLOYED BY THEM.
- CONTRACTOR TO ASSUME SOLE RESPONSIBILITY FOR JOB SITE CONDITIONS INCLUDING SAFETY OF PERSONS AND PROPERTY FOR THE DURATION OF THE PROJECT.
- CONTRACTOR TO CONFORM TO HOMEOWNERS ASSOCIATION RULES AND GUIDELINES.
- CONTRACTOR TO NOTIFY ARCHITECT IMMEDIATELY AND PRIOR TO ORDERING OF ALL LONG LEAD ITEMS AND OF APPROXIMATE DELIVERY DATES.
- ALL CONSTRUCTION MATERIALS AND SUPPLIES TO BE STORED, HANDLED, AND INSTALLED ACCORDING TO MANUFACTURER'S RECOMMENDATIONS.
- IF ERRORS OR OMISSIONS ARE FOUND IN THE DRAWINGS THEY SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.
- DRAWINGS SCHEMATICALLY INDICATE NEW CONSTRUCTION. THE CONTRACTOR SHOULD ANTICIPATE, BASED ON EXPERIENCE, A REASONABLE NUMBER OF ADJUSTMENTS TO BE NECESSARY TO MEET THE DESIGN OBJECTIVES AND SHOULD CONSIDER SUCH ADJUSTMENTS AS INCLUDED IN THE SCOPE OF WORK.
- WHEN SPECIFIC FEATURES OF CONSTRUCTION ARE NOT FULLY SHOWN ON THE DRAWINGS OR CALLED FOR IN THE GENERAL NOTES, THEIR CONSTRUCTION SHALL BE OF THE SAME CHARACTER AS SIMILAR CONDITIONS.
- ALL DIMENSIONS TO BE TAKEN FROM NUMERIC DESIGNATIONS ONLY; DIMENSIONS ARE NOT TO BE SCALED OFF DRAWINGS.
- THESE NOTES TO APPLY TO ALL DRAWINGS AND GOVERN UNLESS MORE SPECIFIC REQUIREMENTS ARE INDICATED APPLICABLE TO PARTICULAR DIVISIONS OF THE WORK. SEE SPECIFICATIONS AND GENERAL NOTES IN THE SUBSECTIONS OF THESE DRAWINGS.
- ALL DIMENSIONS ARE TO FACE OF FINISH, U.O.N.
- WEATHER STRIP ALL DOORS LEADING FROM HEATED TO UNHEATED AREAS. PROVIDE VINYL BEAD TYPE WEATHER STRIP AT THESE DOORS AND WINDOWS. ALL SIDES OF THE DOOR MUST BE WEATHERSTRIPPED, INCLUDING THE THRESHOLD.
- CAULK AND SEAL OPENINGS IN BUILDING EXTERIOR 1/8" OR GREATER TO PREVENT AIR INFILTRATION.
- WINDOWS TO BE OPERABLE AND CLEANED, U.O.N.
- ALL WALL FRAMING SHALL BE 2x4 @ 16" O.C. MINIMUM, U.O.N.
- ALL GYPSUM BOARD SHALL BE 5/8" THICK, TYPE "X", U.O.N.
- ALL GYPSUM AND/OR PLASTER SURFACES SHALL BE SMOOTH, CONTINUOUS, FREE OF IMPERFECTIONS, AND WITH NO VISIBLE JOINTS, U.O.N.
- STUCCO OVER WOOD SHEATHING SHALL INCLUDE TWO LAYERS OF GRADE 'D' BUILDING PAPER.
- STRUCTURAL WOOD MEMBERS ADJACENT TO CONCRETE ARE TO BE PRESSURE TREATED DOUGLAS FIR.
- ALONG THE FILBERT STREET STAIR FRONTAGE OF THE PROPERTY, A WELL-LIT AND NATURALLY VENTILATED PEDESTRIAN TUNNEL PROVIDING SAFETY TO PERSONS USING THE STAIRS SHALL BE ERRECTED FOR THE DURATION OF THE CONSTRUCTION PERIOD.
- A FLAG-PERSON WILL BE PERMANENTLY STATIONED AT THE TOP OF THE FILBERT STAIRS AT THE ENTRY POINT TO THE SITE. THIS PERSON IS RESPONSIBLE FOR MONITORING AND USHERING CONSTRUCTION EQUIPMENT AS WELL AS PEDESTRIAN AND VEHICULAR TRAFFIC TO MINIMIZE POTENTIAL CONFLICTS.
- ALL TRUCKS WAITING TO UNLOAD MATERIAL SHALL BE STAGED AT A LOCATION OFFSITE TO AVOID QUEUING OF CONSTRUCTION TRUCKS ON TELEGRAPH HILL BOULEVARD. DELIVERIES SHALL BE MADE BETWEEN THE HOURS OF 7:30 AM AND 5:30 PM ON WEEKDAYS, EXCLUSIVE OF LEGAL HOLIDAYS.
- CONSTRUCTION VEHICLES SHALL USE THE STAGING AREA PROVIDED ON SITE AS A MEANS TO TURN AROUND, AVOIDING USE OF THE COIT TOWER PARKING LOT BY CONSTRUCTION EQUIPMENT AND TRUCKS.
- ALL APPLICABLE WEIGHT LIMITS ON ACCESS ROADS TO AND FROM THE SITE SHALL BE OBSERVED AND ADHERED TO.
- NO CONSTRUCTION ACTIVITY OVER 5 DBA SHALL BE PERMITTED BETWEEN 8:00 PM AND 7:00 AM THE FOLLOWING DAY PER SAN FRANCISCO NOISE CONTROL ORDINANCE.
- NO TRADESPERSON SHALL UTILIZE THE COIT TOWER PARKING LOT FOR PERSONAL USE, AND WILL INSTEAD PARK AT DESIGNATED PARKING GARAGES AND BE SHUTTLED TO AND FROM THE JOB SITE.
- PRIOR TO COMMENCING CONSTRUCTION THE CONTRACTOR & SPONSOR SHALL COORDINATE WITH TRAFFIC ENGINEERING AND TRANSIT DIVISION OF SFMTA, POLICE DEPARTMENT, FIRE DEPARTMENT, PLANNING DEPARTMENT, AND OTHER CONSTRUCTION CONTRACTORS FOR ANY CONCURRENT NEARBY PROJECTS TO MANAGE TRAFFIC CONGESTION AND PEDESTRIAN CIRCULATION EFFECTS DURING CONSTRUCTION OF THE PROJECT.
- PRIOR TO COMMENCING CONSTRUCTION, THE PROJECT SPONSOR SHALL CONSULT WITH AFFECTED NEIGHBORS ON ASSESSORS' BLOCK 105 BEFORE FINALIZING THE CONSTRUCTION STAGING AND TRAFFIC PLAN, INCLUDING (A) A SCHEDULE OF DELIVERY TIMES AND DATES DURING WHICH CONSTRUCTION MATERIALS ARE EXPECTED TO ARRIVE; AND (B) METHODS TO BE USED TO MONITOR TRUCK MOVEMENT INTO AND OUT OF THE BUILDING SITE SO AS TO MINIMIZE TRAFFIC CONFLICTS ON TELEGRAPH HILL BOULEVARD.
- MUNI ACCESS TO COIT TOWER SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION.
- STEWARDSHIP OF LANDSCAPE AREAS IN THE PUBLIC DOMAIN AND THE FILBERT STREET STAIRS ALONG THE PROPERTY FRONTAGE SHALL BE MAINTAINED BY THE SUBJECT PROPERTY, WITH THE PERMISSION OF SF PARKS & RECREATION, DPW, AND DBI.

**PROJE TEAM**

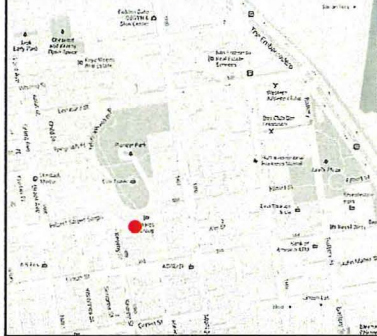
**ARCHITECT:**  
 BUTLER ARMSDEN ARCHITECTS  
 2849 CALIFORNIA STREET  
 SAN FRANCISCO, CA 94115  
 T. 415.674.5554  
 F. 415.674.5558

**PROPERTY ATTORNEY:**  
 REUBEN & JUNIUS, LLP  
 1 BUSH STREET, SUITE 600  
 SAN FRANCISCO, CA 94104  
 T. 415.567.9000  
 F. 415.399.9480

**SURVEYOR:**  
 FORESIGHT LAND SURVEYING  
 2410 CALIFORNIA STREET, #2  
 SAN FRANCISCO, CA 94115  
 T. 415.735.6180

**GEOTECHNICAL ENGINEER:**  
 EARTH MECHANICS  
 360 GRAND AVENUE, SUITE 262  
 OAKLAND, CA 94610  
 T. 510.839.0765  
 F. 510.839.0716

**VICINITY MAP**



**BUTLER ARMSDEN ARCHITECTS**

2849 CALIFORNIA STREET  
 SAN FRANCISCO, CA 94115  
 BUTLERARMSDEN.COM

E INFO@BUTLERARMSDEN.COM  
 T 415-674-5554  
 F 415-674-5558

**PROJECT DATA**

BLOCK:	0105	ZONED:	RH-3
LOT:	065	HEIGHT LIMIT:	40'-0"
LOT SIZE:	7,521 sq.ft.	OCCUPANCY:	R3

	PARKING LEVEL	BASEMENT LEVEL	GROUND LEVEL	SECOND LEVEL	THIRD LEVEL	UNIT TOTAL
UNIT 1	0	1,180	675	735	1,227	3,812
UNIT 2	0	1,115	625	1,081	1,081	4,223
UNIT 3	487	1,036	1,081	1,081	0	3,685
COTTAGE	406	438	0	0	0	844
PARKING	3,137	330	300	0	0	3,767
<b>TOTAL BY LEVEL</b>	<b>4,030</b>	<b>4,135</b>	<b>3,018</b>	<b>2,897</b>	<b>2,308</b>	<b>16,388</b>

**TOTAL PROJECT SQ. FT.**

CONSTRUCTION CLASSIFICATION:  
 Type V-B

**CODES**

- 2010 CA BLDG. CODE
- 2010 S.F. BLDG. CODE & AMENDMENTS
- 2010 CA ENERGY CODE
- 2010 S.F. ELECTRICAL CODE
- 2010 S.F. MECHANICAL CODE
- 2010 S.F. PLUMBING CODE
- 2010 S.F. FIRE CODE

**SCOPE OF WORK**

NEW 3-UNIT RESIDENTIAL DEVELOPMENT, PRIVATE RESIDENTIAL GARAGE, MAINTAIN EXISTING 1-UNIT COTTAGE, SITE GRADING AND DRAINAGE AS REQUIRED

**SHEET INDEX**

ARCHITECTURAL	08/12/2013	02/12/2014	05/19/2014	07/17/2014	09/02/2014	09/16/2014
A0.0 TITLE SHEET	■	■	■	■	■	■
A0.1 SITE SURVEY	■	■	■	■	■	■
A0.2 SITE PHOTOS	■	■	■	■	■	■
A0.3 SITE PHOTOS	■	■	■	■	■	■
A0.4 SITE PHOTOS	■	■	■	■	■	■
A0.5 EXISTING SITE PLAN	■	■	■	■	■	■
A0.6 PROPOSED SITE PLAN	■	■	■	■	■	■
A2.1 BASEMENT LEVEL	■	■	■	■	■	■
A2.2 PARKING LEVEL	■	■	■	■	■	■
A2.3 MAIN LEVEL	■	■	■	■	■	■
A2.4 SECOND LEVEL	■	■	■	■	■	■
A2.5 THIRD LEVEL	■	■	■	■	■	■
A2.6 ROOF LEVEL	■	■	■	■	■	■
A2.7 COTTAGE: PLANS	■	■	■	■	■	■
A2.8 COTTAGE: ELEVATIONS	■	■	■	■	■	■
A2.9 COTTAGE: EXISTING PHOTOS	■	■	■	■	■	■
A3.1 FRONT ELEVATION	■	■	■	■	■	■
A3.2 REAR ELEVATION	■	■	■	■	■	■
A3.3 WEST ELEVATION: UNIT 3	■	■	■	■	■	■
A3.4 LONGITUDINAL SECTION	■	■	■	■	■	■
A3.5 UNIT 1 LATERAL SECTION	■	■	■	■	■	■
A3.6 UNIT 2 LATERAL SECTION	■	■	■	■	■	■
A3.7 UNIT 3 LATERAL SECTION	■	■	■	■	■	■
A3.8 CONCEPTUAL RENDERINGS	■	■	■	■	■	■
A3.9 CONCEPTUAL RENDERINGS	■	■	■	■	■	■
A3.10 CONCEPTUAL RENDERINGS	■	■	■	■	■	■
A3.11 CONCEPTUAL RENDERINGS	■	■	■	■	■	■
A3.12 CONTEXT VIEWS	■	■	■	■	■	■

**PLANNING PERMIT**

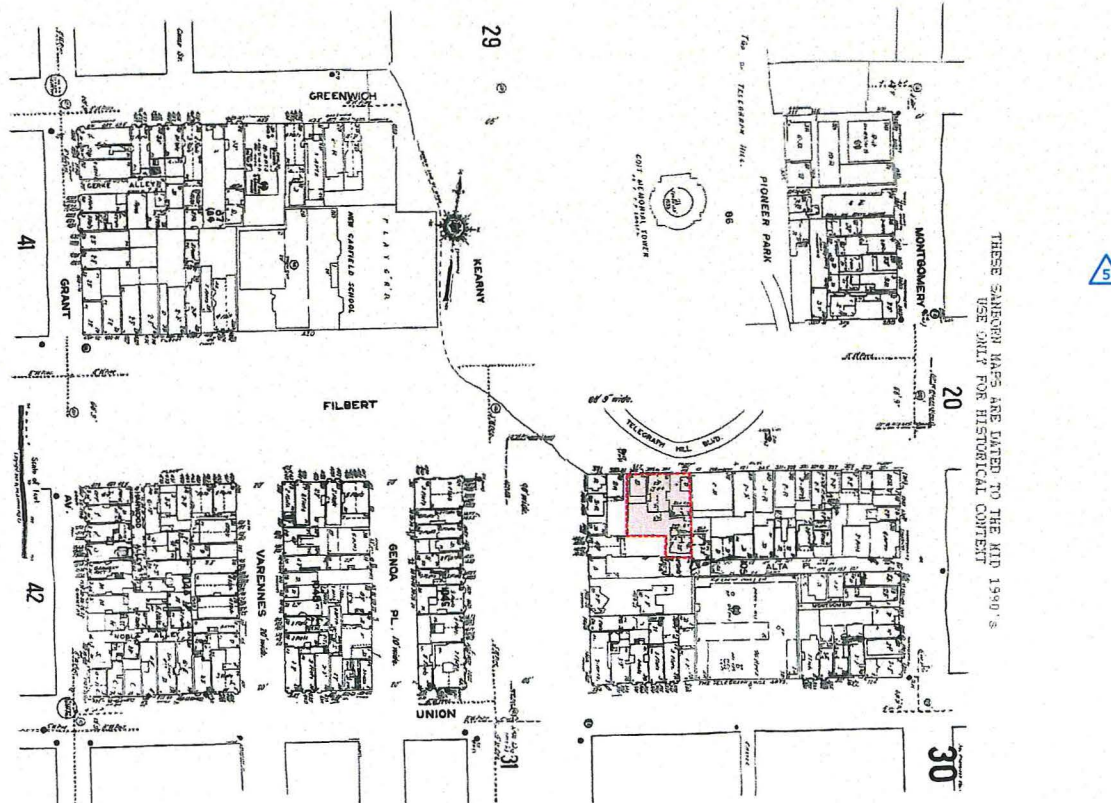
REVISIONS:	BY:
1 NOPDR #1 - 02/13/2014	DS / SR
2 NOPDR #2 - 05/19/2014	DS / SR
3 REVISION - 07/17/2014	DS / SR
4 REVISION - 09/02/2014	DS / SR
5 REVISION - 09/16/2014	DS / SR

JOB#:	1205
DATE:	AUG. 12, 2013
DRAWN:	SR/DS
CHECKED:	LB
SCALE:	AS NOTED

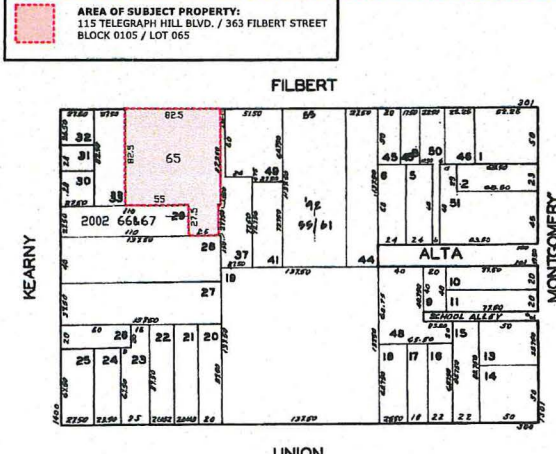
**TITLE SHEET**

**A0.0**

**115 TELEGRAPH HILL**  
 115 TELEGRAPH HILL BLVD., SAN FRANCISCO, CA, 94133.



**1 SANBORN MAP**  
 SCALE: 1:0.78



**2 ASSESSOR BLOCK 0105**  
 NOT TO SCALE



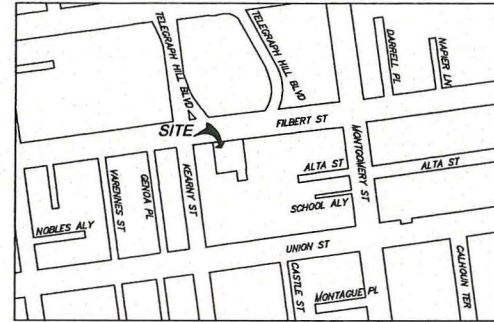
2849 CALIFORNIA STREET  
SAN FRANCISCO, CA 94115  
BUTLERARMSDEN.COM  
E INFO@BUTLERARMSDEN.COM  
T 415-674-5554  
F 415-674-5558

**115 TELEGRAPH HILL**  
115 TELEGRAPH HILL BLVD., SAN FRANCISCO, CA, 94133

**GENERAL NOTES**

- (1) ALL DISTANCES (RECORD) = MEASURED, UNLESS OTHERWISE NOTED. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO HAVE ALL THE UTILITIES MARKED BY THE RESPECTIVE UTILITY COMPANY PRIOR TO CONSTRUCTION.
- (2) PRIOR TO ANY DIGGING, CALL U.S.A. (1-800-642-2444) AT LEAST 48 HOURS IN ADVANCE TO HAVE EXISTING UNDERGROUND UTILITIES MARKED.
- (3) GROUND CONDITIONS SHOWN HEREON REFLECT CONDITIONS ON THE DATE OF THE SURVEY.
- (4) ENCROACHMENT UPON AND BY THE ADJOINING PRIVATE PROPERTY(IES) ARE HEREBY NOTED AND IT SHALL BE THE RESPONSIBILITY SOLELY OF THE PROPERTY OWNERS INVOLVED TO RESOLVE ANY ISSUE WHICH MAY ARISE THEREFROM.
- (5) SINCE A CURRENT POLICY OF TITLE INSURANCE WAS NOT AVAILABLE AT THE TIME OF THIS SURVEY, THE CONSULTANT IS NOT RESPONSIBLE FOR THE OMISSION HEREON OF ANY FACTS WHICH WOULD NORMALLY BE DISCLOSED BY SUCH A POLICY.
- (6) ROOF EAVE ELEVATIONS WERE TAKEN AT HIGHEST RELEVANT POINT(S) VISIBLE FROM THE GROUND.
- (7) THIS IS A BOUNDARY SURVEY.
- (8) TREES WERE LOCATED BY ESTIMATING THE CENTER OF THE TREE WHERE IT ENTERS THE GROUND & IDENTIFYING THE DIAMETER AT BREAST HEIGHT. TREE TYPES MAY BE VERIFIED BY A CERTIFIED ARBORIST, IF NECESSARY.
- (9) ONLY ACCESSIBLE SURFACE UTILITIES VISIBLE ON THE DATE OF THIS SURVEY ARE SHOWN. THIS SURVEY DOES NOT SHOW THE LOCATION OF OR ENCROACHMENTS BY SUBSURFACE UTILITIES, FOOTING, FOUNDATIONS AND/OR BASEMENTS OF BUILDINGS. ALL USERS ARE ADVISED TO CONTRACT SEPARATELY WITH AN UNDERGROUND UTILITY LOCATION COMPANY AND TO REVIEW PUBLIC, QUAS-PUBLIC AND GIS UTILITY DATA SOURCES IF THEY WANT MORE INFORMATION.
- (10) THE BUILDING FOOTPRINT SHOWN IS AT GROUND LEVEL UNLESS OTHERWISE NOTED.

**VICINITY MAP**



**BASIS OF SURVEY**

CHICAGO TITLE COMPANY PRELIMINARY REPORT ORDER TITLE NO: 09-35507990-J-RM, DATED 10-06-2009

**BASIS OF ELEVATION**

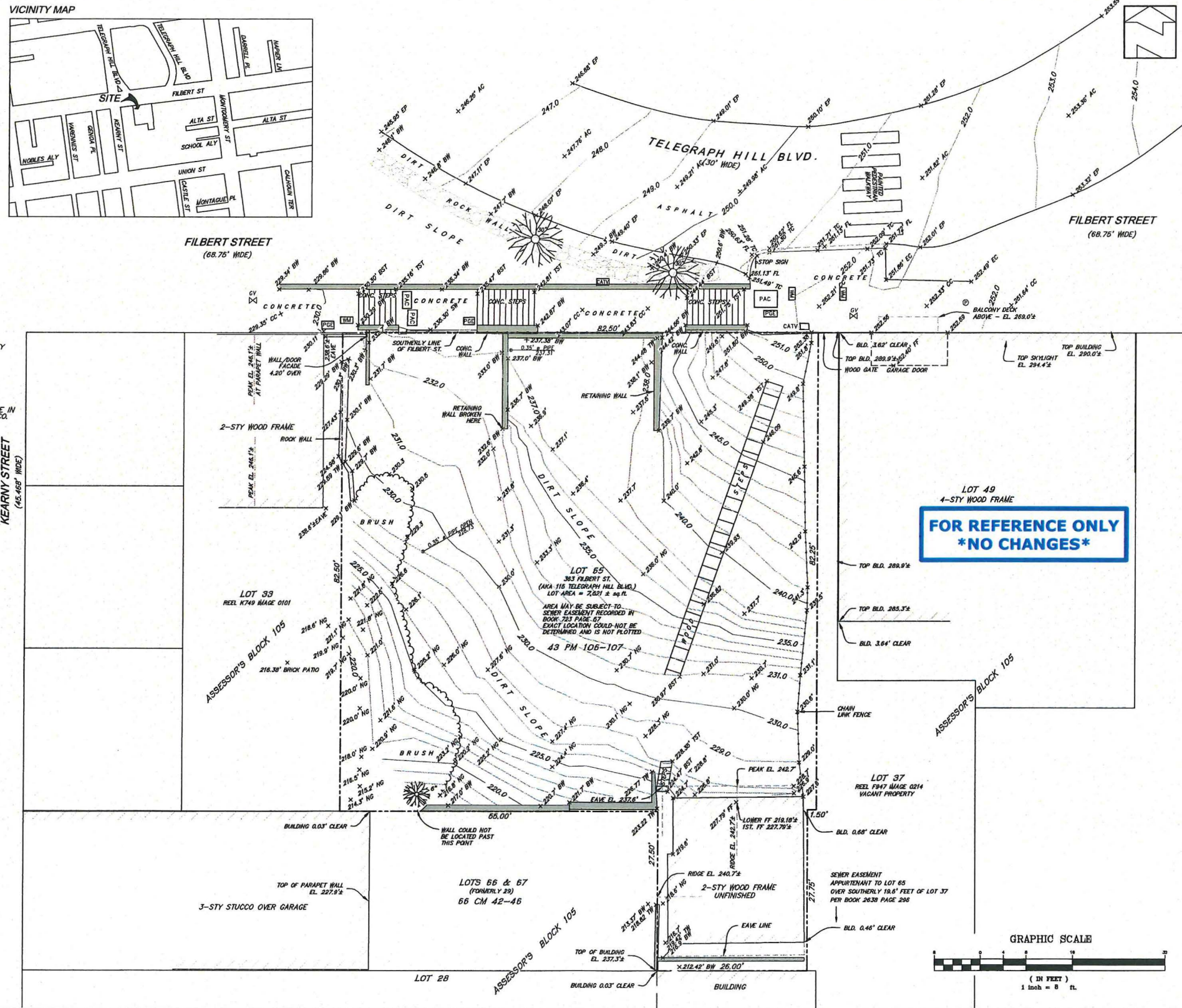
FOUND + CUT WEST RM HPFS 1/4" WEST AND 4' NORTH OF THE SOUTH WEST CORNER OF KEARNEY AND FILBERT STREETS. ELEVATION = 208.628' CITY AND COUNTY OF SAN FRANCISCO VERTICAL DATUM.

**MAP REFERENCES**

- [A] PARCEL MAP RECORDED IN BOOK 43 OF PARCEL MAPS PAGES 106-107, FRANCISCO.
- [B] CITY AND COUNTY OF SAN FRANCISCO MONUMENT MAP NO. 4 12 ON FILE IN THE OFFICE OF THE COUNTY SURVEYOR, CITY AND COUNTY OF SAN FRANCISCO.

**LEGEND**

- AC ASPHALT CONCRETE
- BLD BUILDING
- BST BOTTOM OF STEP
- BW BOTTOM OF WALL
- CATV CABLE TV
- CC CONCRETE
- CONC CONCRETE
- CP CONTROL POINT
- EC EDGE OF CONCRETE
- EL ELEVATION
- EP EDGE OF PAVEMENT
- FF FINISHED FLOOR
- FL FLOWLINE
- GV GAS VALVE
- NG NATURAL GROUND
- P PAC BELL MANHOLE
- PAC PAC BELL BOX
- PGE PGE BOX
- SW SIDEWALK
- TC TOP OF CURB
- TST TOP OF STEP
- TM TOP OF WALL
- WM WATER METER
- PROPERTY LINE
- OVERHANG
- FLOWLINE
- FENCE
- WM WATER METER
- GV GAS VALVE
- PAC PAC BELL BOX
- PGE PGE BOX
- PAC PAC BELL MANHOLE
- STOP SIGN
- SPOT ELEVATION
- TREE (WITH TRUNK DIAMETER)



DATE: APRIL 12, 2013  
SCALE: 1"=6'  
DRAWN: P.H.-D.  
CHECKED: G.T.  
DATE: \_\_\_\_\_ REVISION: \_\_\_\_\_  
DATE: \_\_\_\_\_ REVISION: \_\_\_\_\_

**FORESIGHT**  
LAND SURVEYING  
2410 CALIFORNIA STREET, SUITE #2  
SAN FRANCISCO, CA 94115  
415-735-6180

**SITE SURVEY**  
363 FILBERT STREET  
SAN FRANCISCO, CA  
BLOCK 105 LOT 65

SHEET 1  
OF  
1 SHEETS  
JOB No. #13024

**PLANNING PERMIT**

REVISIONS:	BY:
1 NOPDR #1 - 02/13/2014	DS / SR

JOB#:	1205
DATE:	AUG. 12, 2013
DRAWN:	SR/DS
CHECKED:	LB
SCALE:	AS NOTED

**SITE SURVEY**





**4** AERIAL VIEW LOOKING NORTH  
SCALE: 1:1.17



**2** AERIAL VIEW LOOKING EAST  
SCALE: 1:1.17



**3** AERIAL VIEW LOOKING SOUTH  
SCALE: 1:1.17



**1** AERIAL VIEW LOOKING WEST  
SCALE: 1:1.17



**AREA OF SUBJECT PROPERTY:**  
115 TELEGRAPH HILL BLVD. / 363 FILBERT STREET  
LOT AREA = 7,521

**PLANNING PERMIT**

REVISIONS:	BY:
1 NOPDR #1 - 02/13/2014	DS / SR

JOB#:	1205
DATE:	AUG. 12, 2013
DRAWN:	SR/DS
CHECKED:	LB
SCALE:	AS NOTED

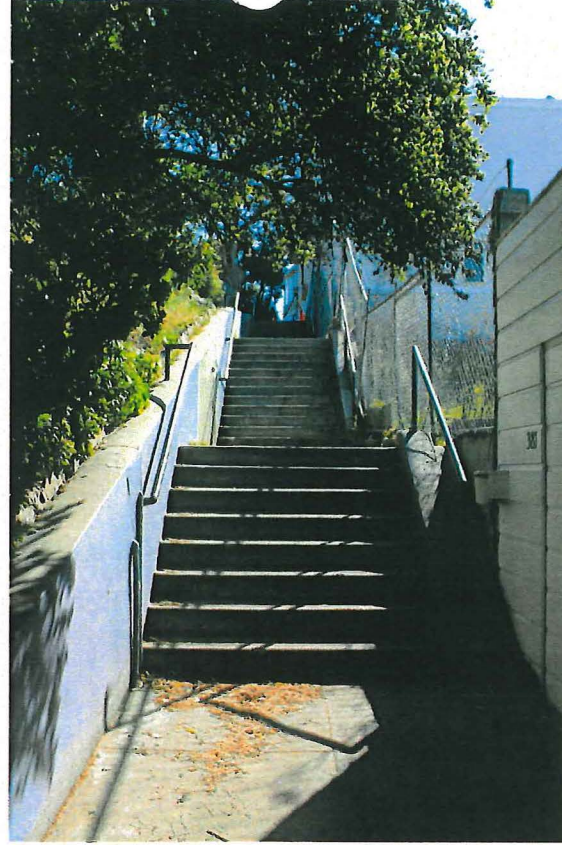


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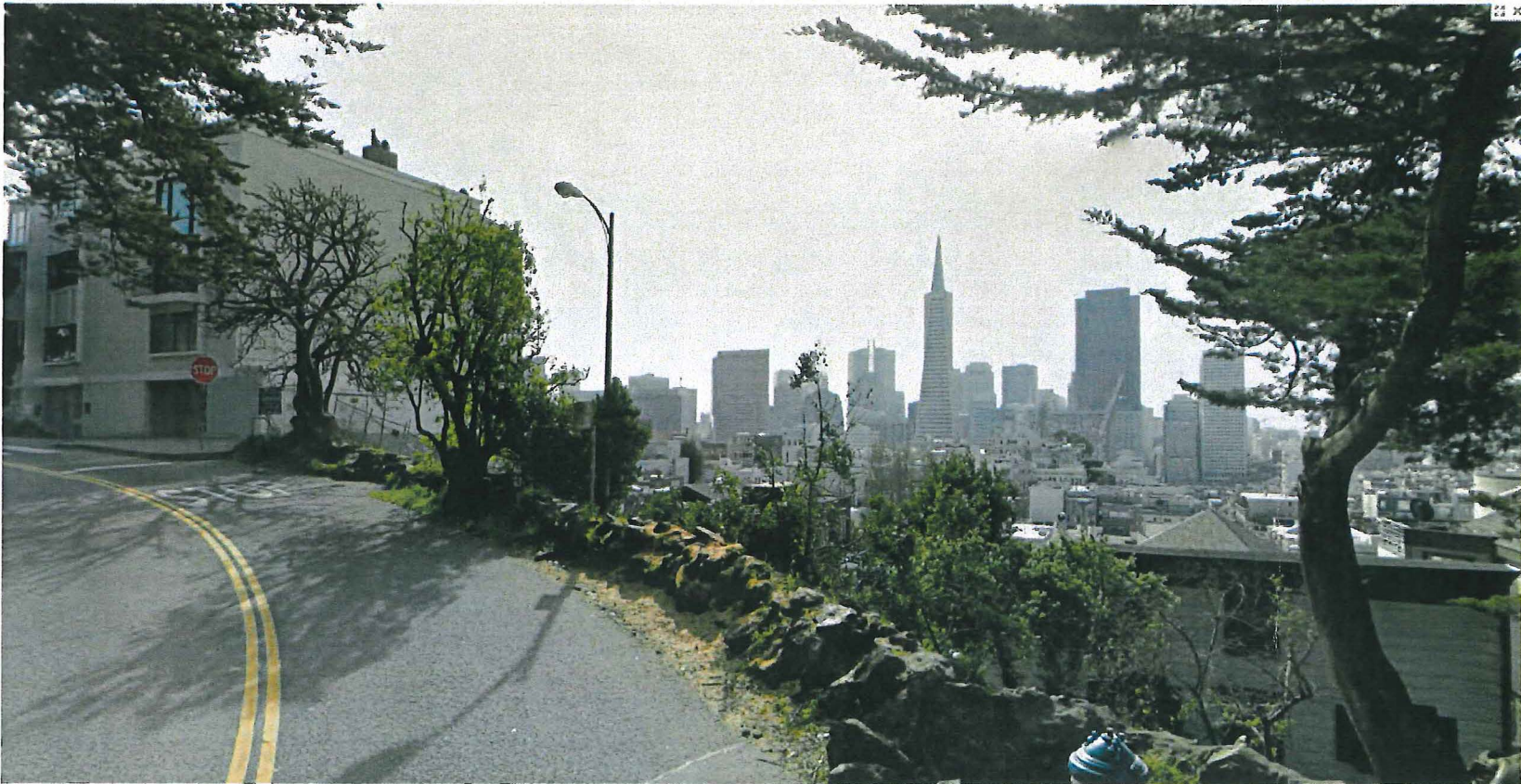
**115 TELEGRAPH HILL**  
115 TELEGRAPH HILL BLVD., SAN FRANCISCO, CA, 94133



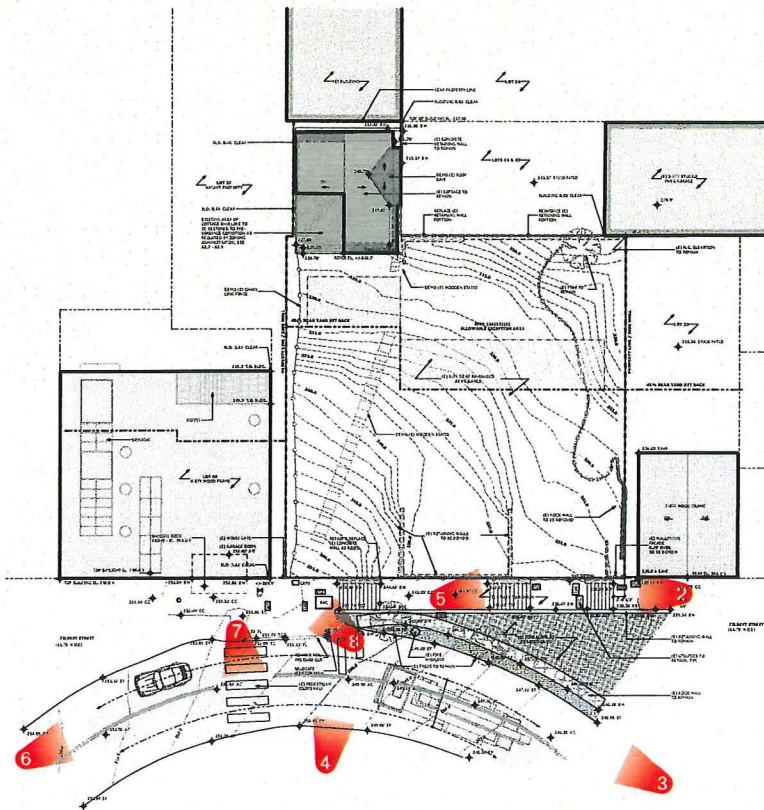
**4** VIEW SOUTH FROM ACCROSS TELEGRAPH HILL BLVD.



**2** VIEW UP FILBERT STREET STEPS  
SCALE: 1:3.16



**3** VIEW UP TELEGRAPH HILL BLVD. TO SITE  
SCALE: 1:1.09



**1** PHOTO KEY PLAN  
SCALE: 1:246.43

**PLANNING PERMIT**

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**SITE PHOTOS**



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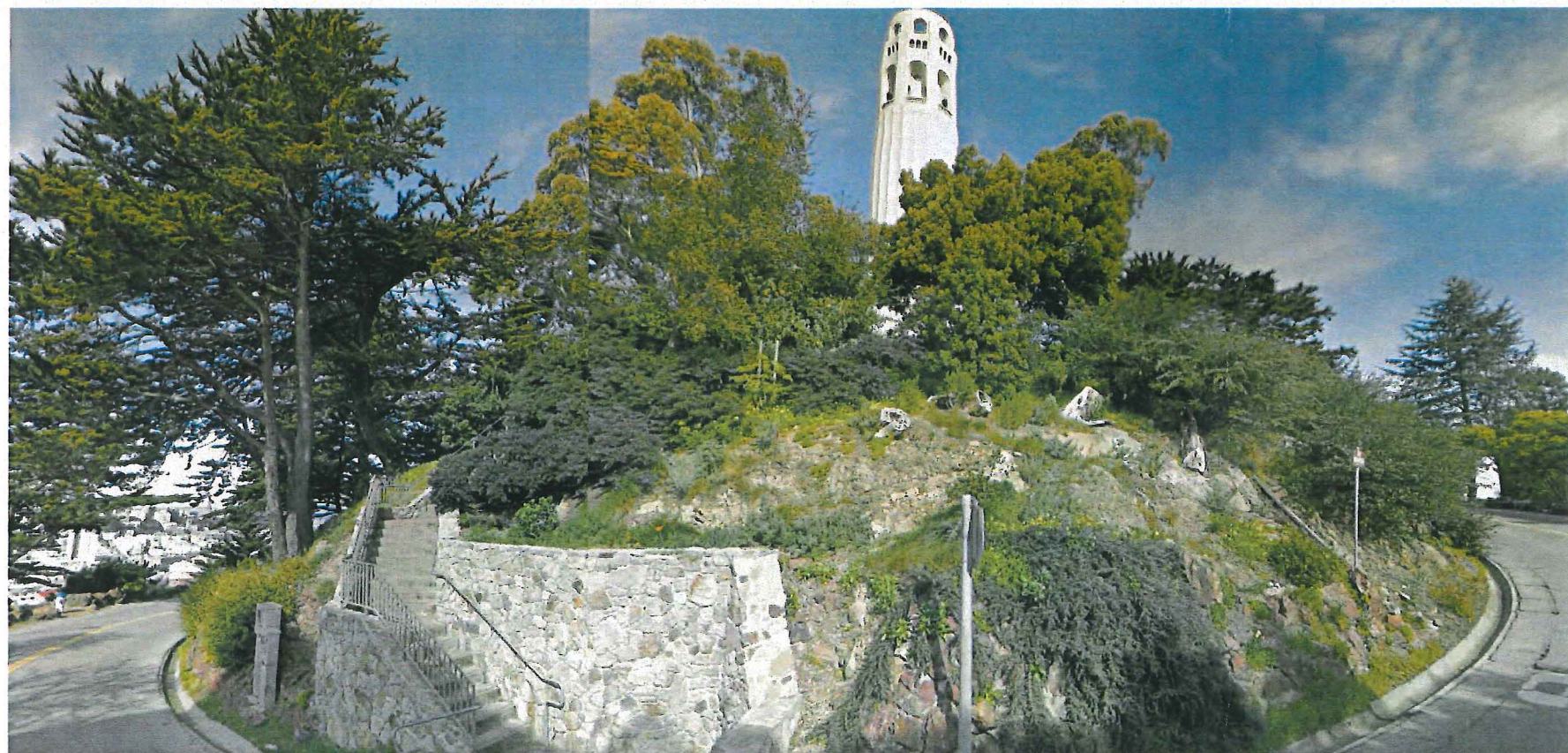
**115 TELEGRAPH HILL**  
115 TELEGRAPH HILL BLVD., SAN FRANCISCO, CA, 94133



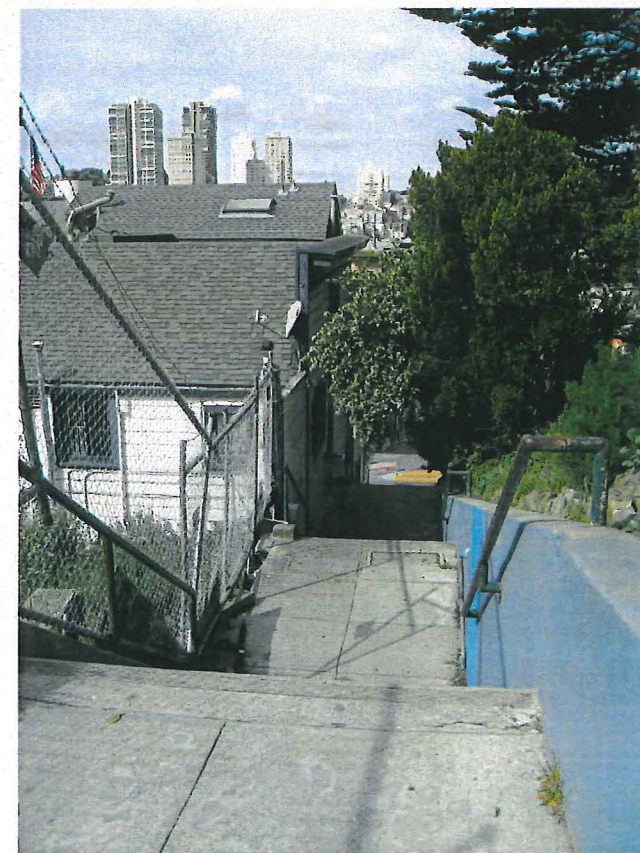
**8** 109/111 TELEGRAPH HILL BLVD.  
SCALE: 1" = 1'-0"



**6** ADJACENT CONTEXT TO EAST OF SUBJECT PROPERTY  
SCALE: 1:0.96



**7** STREETSCAPE OPPOSITE OF SUBJECT PROPERTY  
SCALE: 1" = 1'-0"



**5** VIEW DOWN FILBERT STREET STEPS  
SCALE: 1:1.83

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SCALE:	AS NOTED

**SITE PHOTOS**

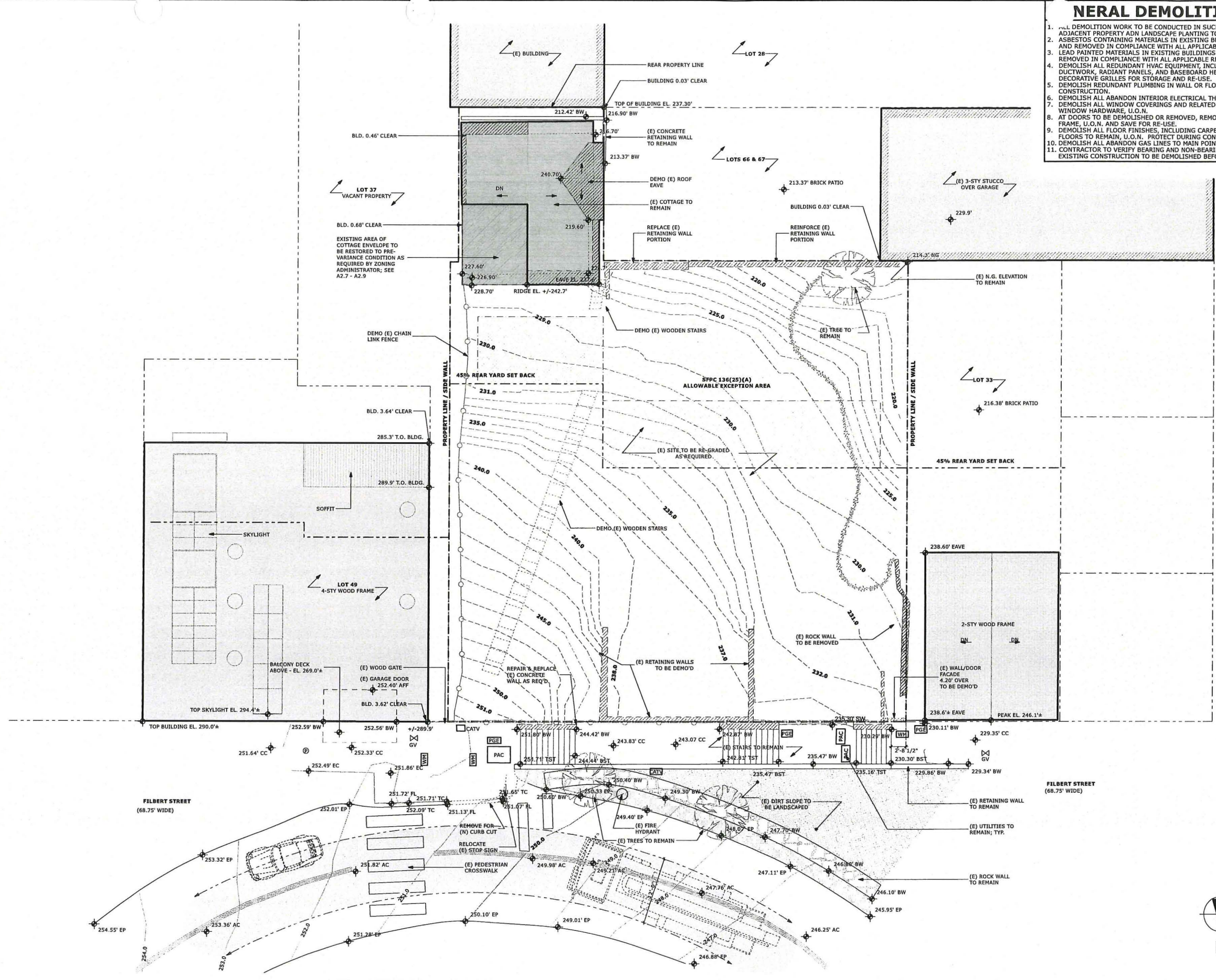


**NERAL DEMOLITION NOTES**

1. ALL DEMOLITION WORK TO BE CONDUCTED IN SUCH A MANNER AS TO PROTECT ADJACENT PROPERTY AND LANDSCAPE PLANTING TO REMAIN.
2. ASBESTOS CONTAINING MATERIALS IN EXISTING BUILDINGS TO BE IDENTIFIED AND REMOVED IN COMPLIANCE WITH ALL APPLICABLE REGULATIONS.
3. LEAD PAINTED MATERIALS IN EXISTING BUILDINGS TO BE IDENTIFIED AND REMOVED IN COMPLIANCE WITH ALL APPLICABLE REGULATIONS.
4. DEMOLISH ALL REDUNDANT HVAC EQUIPMENT, INCLUDING PIPING, DUCTWORK, RADIANT PANELS, AND BASEBOARD HEATERS. SAVE AND CATALOGUE DECORATIVE GRILLES FOR STORAGE AND RE-USE.
5. DEMOLISH REDUNDANT PLUMBING IN WALL OR FLOOR CAVITIES OPENED FOR CONSTRUCTION.
6. DEMOLISH ALL ABANDON INTERIOR ELECTRICAL THROUGHOUT.
7. DEMOLISH ALL WINDOW COVERINGS AND RELATED HARDWARE, REMOVE WINDOW HARDWARE, U.O.N.
8. AT DOORS TO BE DEMOLISHED OR REMOVED, REMOVE DOOR, HARDWARE, AND FRAME, U.O.N. AND SAVE FOR RE-USE.
9. DEMOLISH ALL FLOOR FINISHES, INCLUDING CARPET, VINYL, AND TILE. WOOD FLOORS TO REMAIN, U.O.N. PROTECT DURING CONSTRUCTION.
10. DEMOLISH ALL ABANDON GAS LINES TO MAIN POINT OF ENTRY, U.O.N.
11. CONTRACTOR TO VERIFY BEARING AND NON-BEARING STATUS OF EXISTING CONSTRUCTION TO BE DEMOLISHED BEFORE PROCEEDING WITH WORK.

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CHECKED:	LB
SCALE:	AS NOTED

**1 EXISTING SITE PLAN**  
 SCALE: 1/8" = 1'-0"

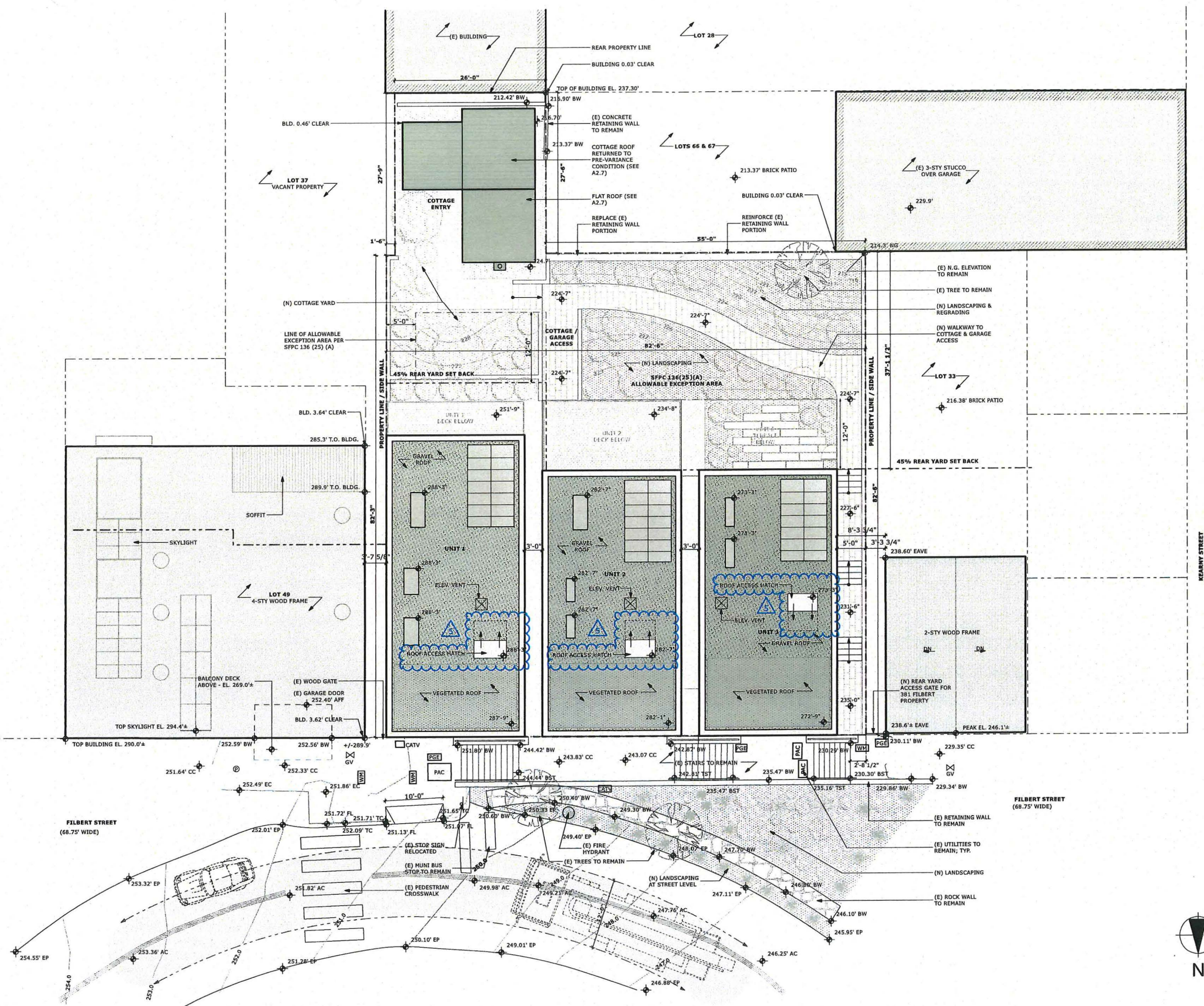


**EXISTING SITE PLAN**



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3 REVISION - 07/17/2014	DS / SR
4 REVISION - 09/02/2014	DS / SR
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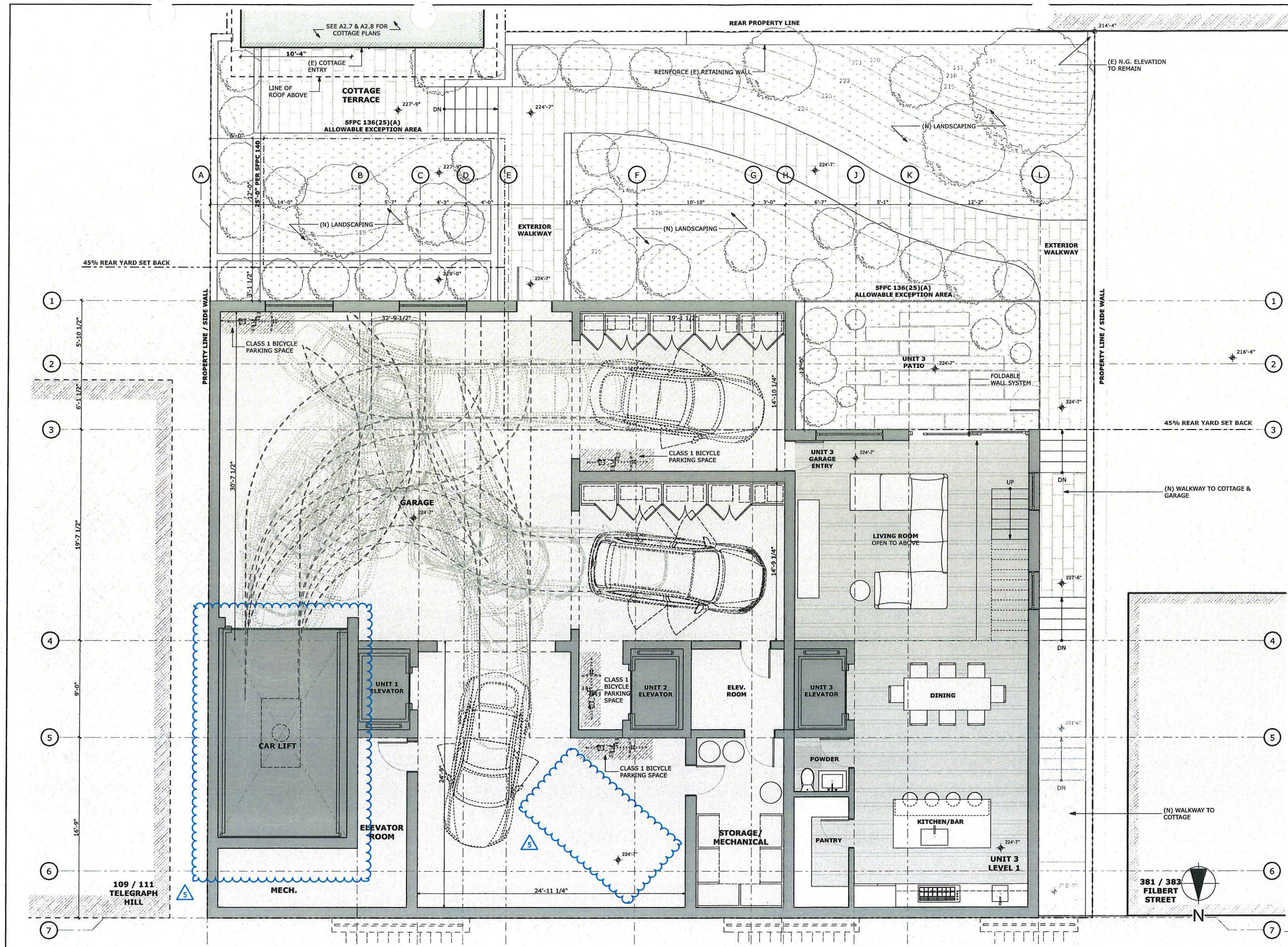
JOB#:	1205
DATE:	AUG. 12, 2013
DRAWN:	SR/DS
CHECKED:	LB
SCALE:	AS NOTED

**1 PROPOSED SITE PLAN**  
SCALE: 1/8" = 1'-0"

**PROPOSED SITE PLAN**



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DRAWN:	SR/DS
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SCALE:	AS NOTED

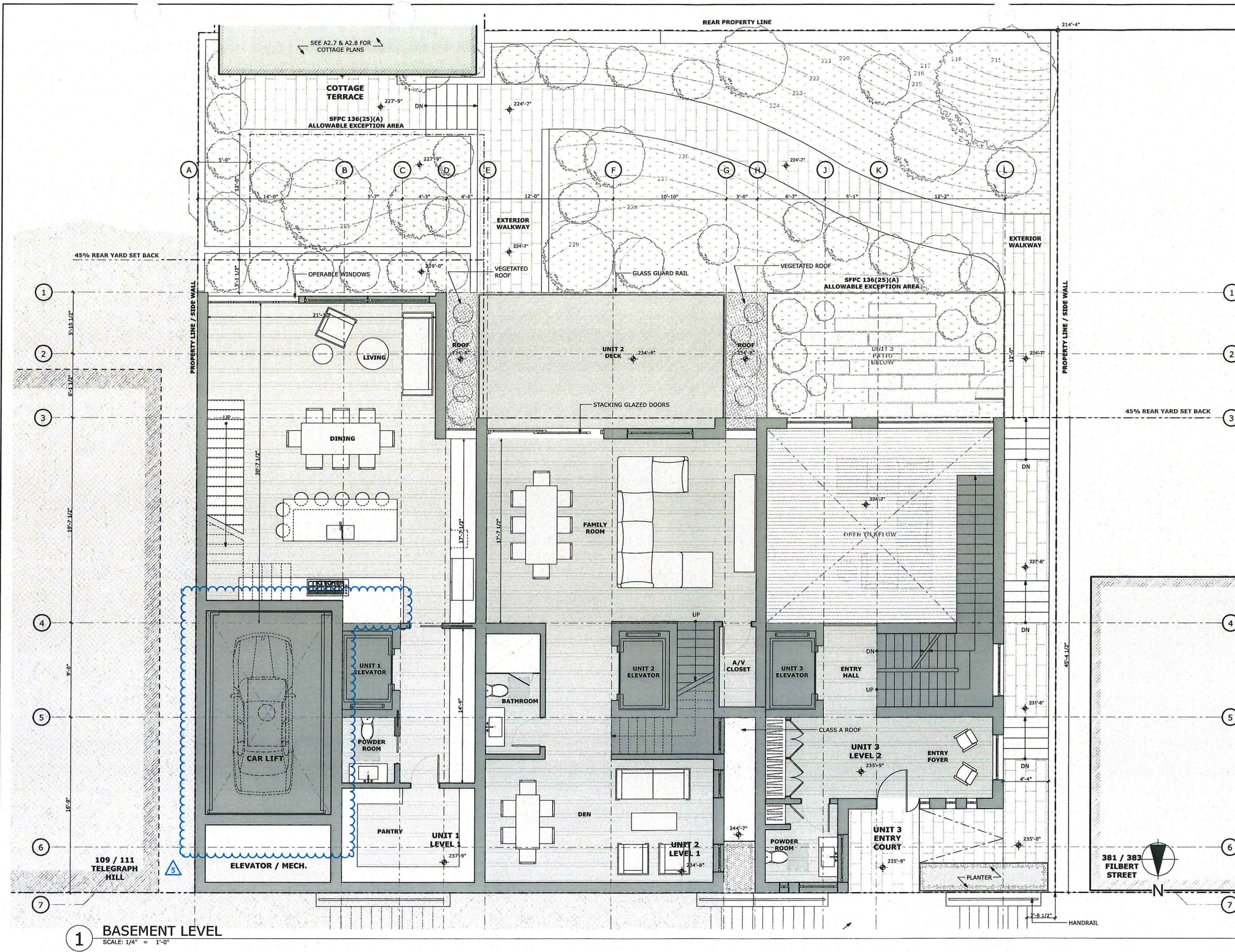
**PARKING LEVEL  
PROPOSED PLAN**

**1** PARKING LEVEL  
SCALE: 1/4" = 1'-0"



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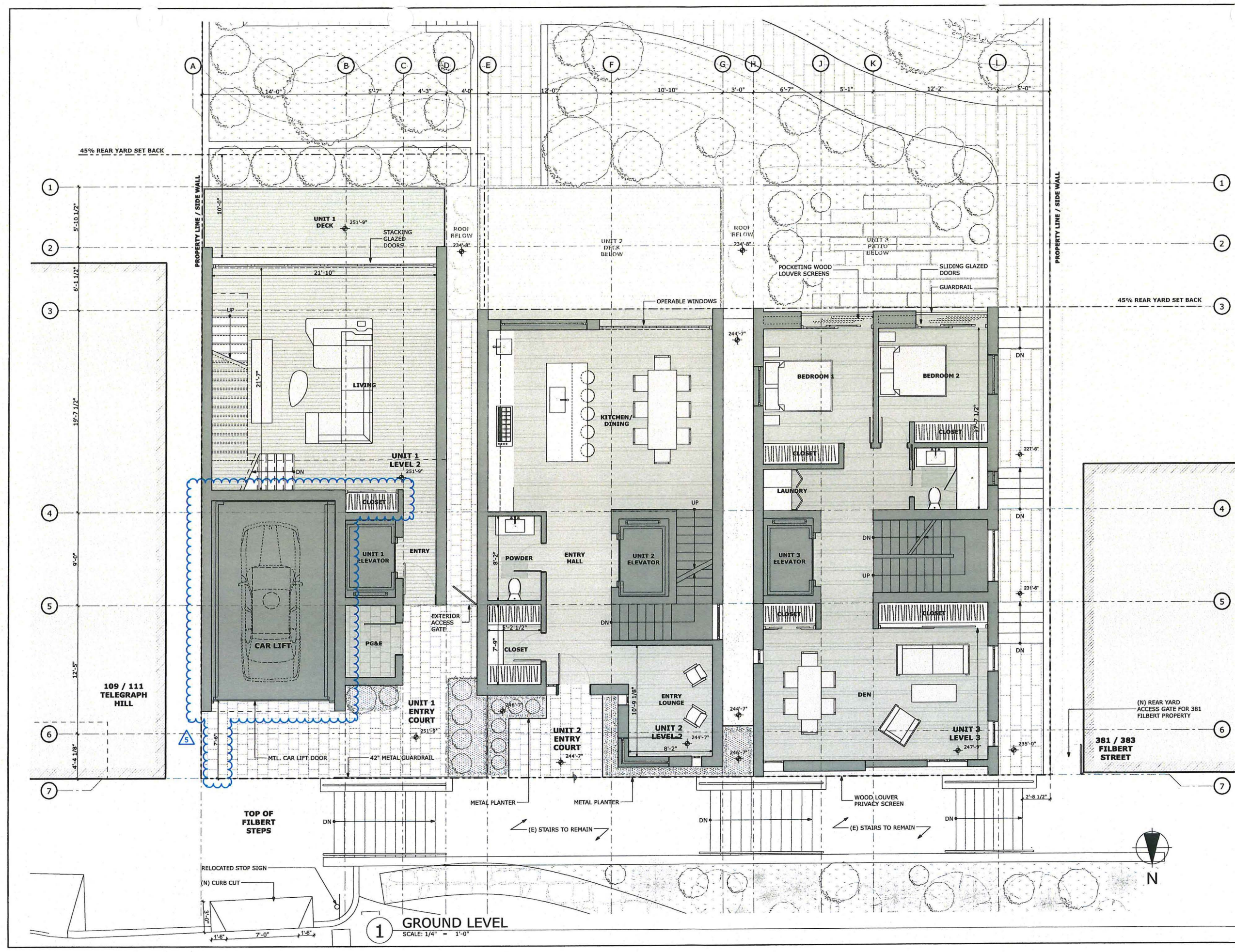
JOB#:	1205
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SCALE:	AS NOTED

**BASEMENT  
LEVEL  
PROPOSED PLAN**

**1 BASEMENT LEVEL**  
SCALE: 1/4" = 1'-0"



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**PLANNING PERMIT**

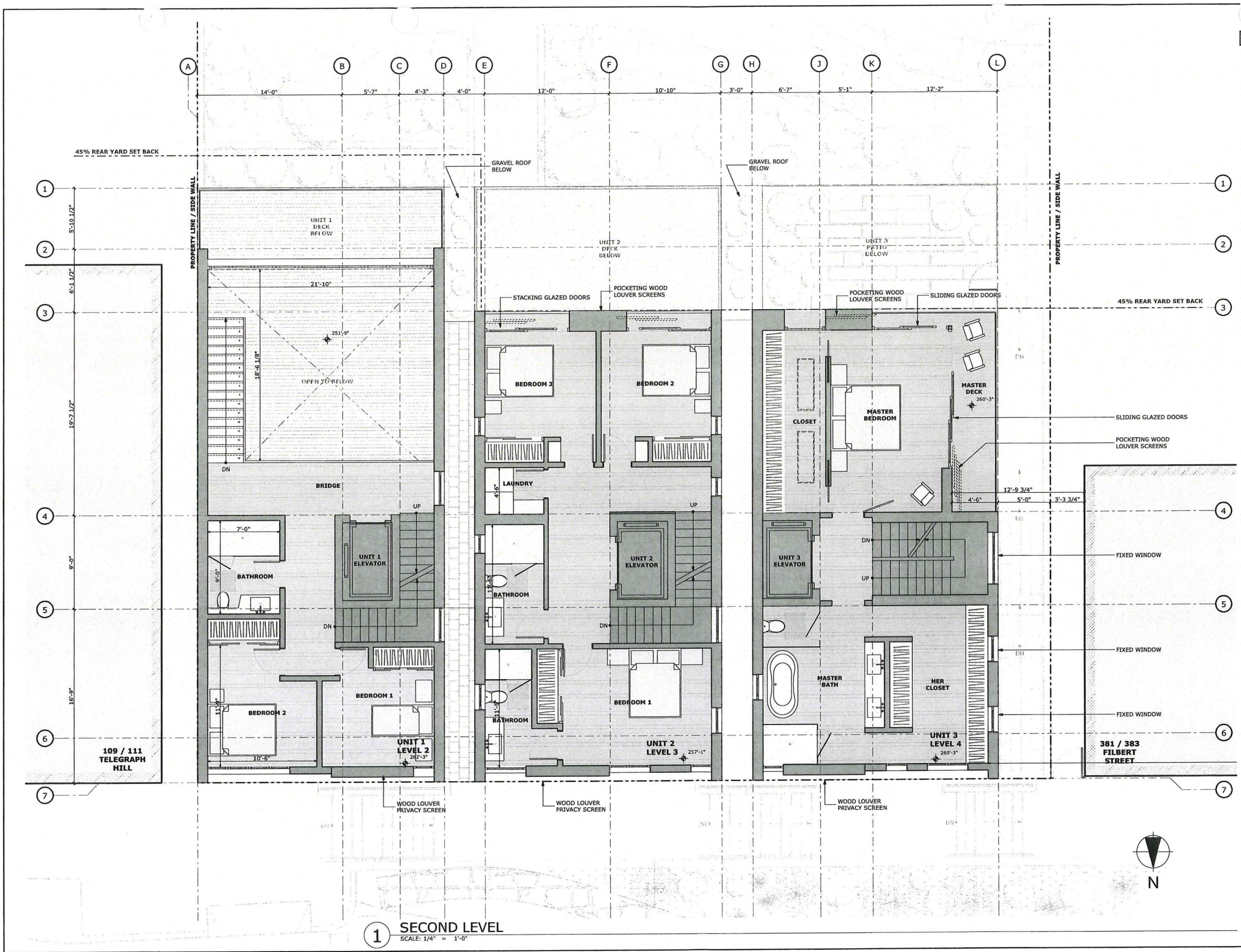
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**GROUND LEVEL  
PROPOSED PLAN**



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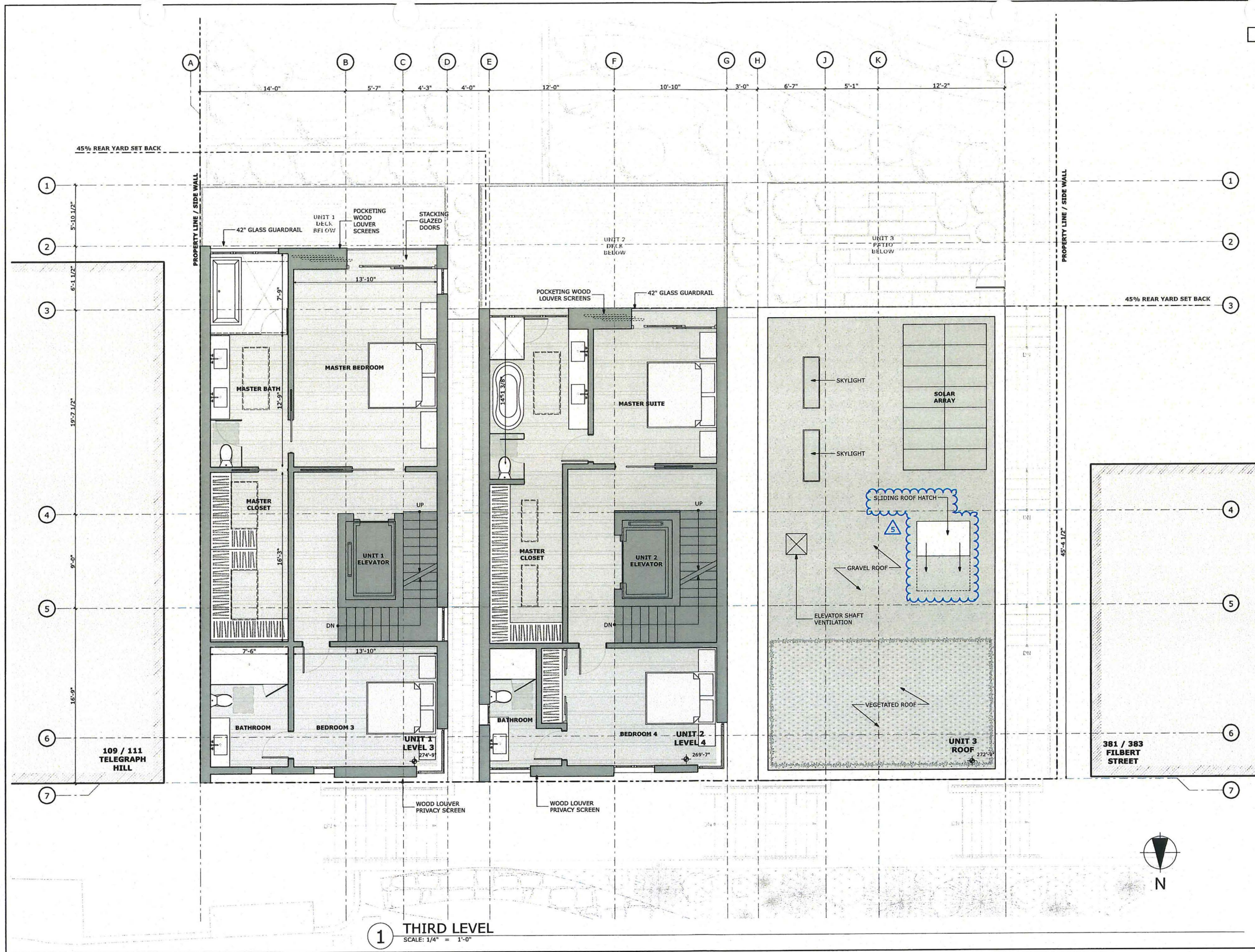
  

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SCALE:	AS NOTED

**1 SECOND LEVEL**  
SCALE: 1/4" = 1'-0"

**SECOND LEVEL  
PROPOSED PLAN**





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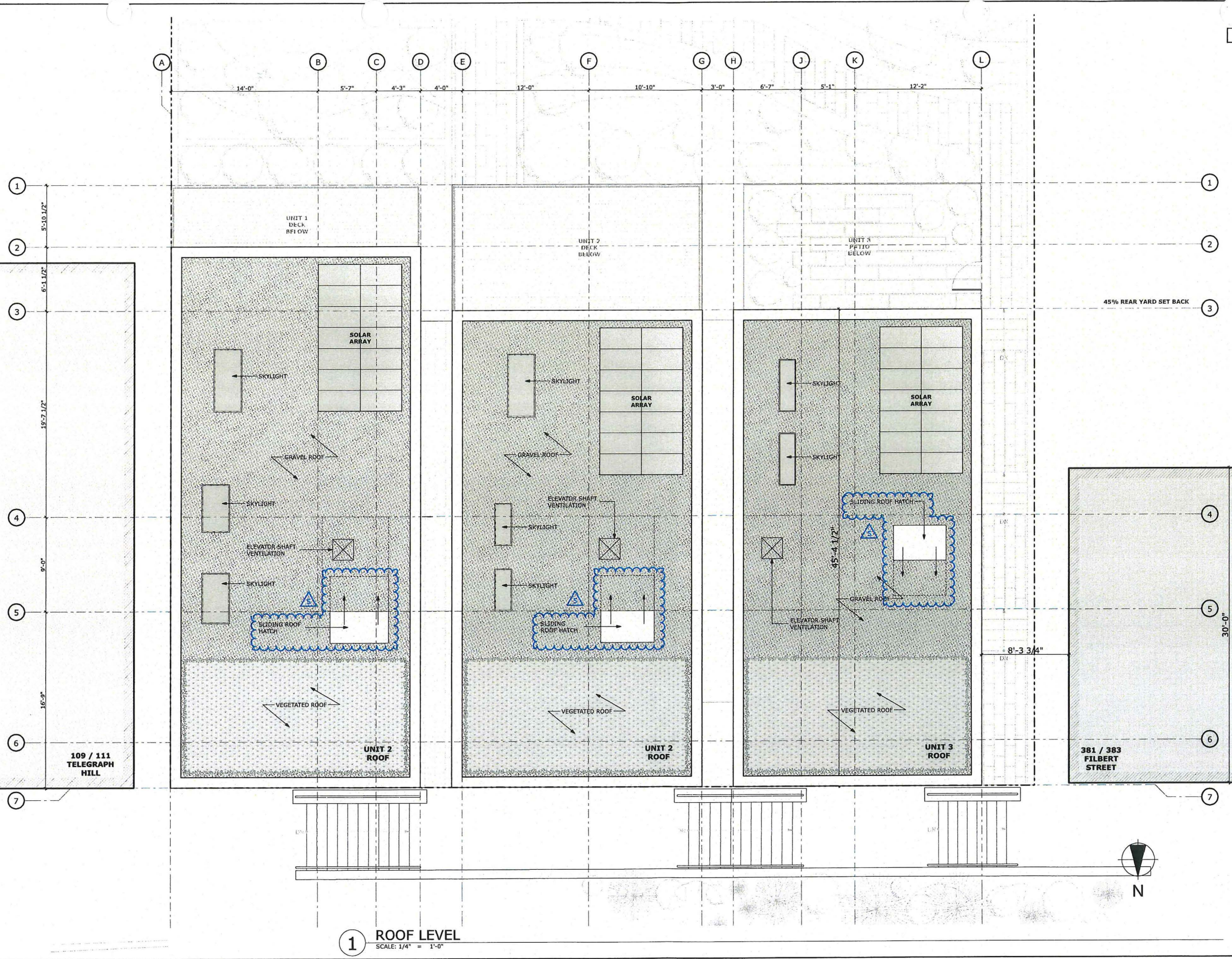
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SCALE:	AS NOTED

**THIRD LEVEL  
PROPOSED PLAN**

**1 THIRD LEVEL**  
SCALE: 1/4" = 1'-0"





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SCALE:	AS NOTED

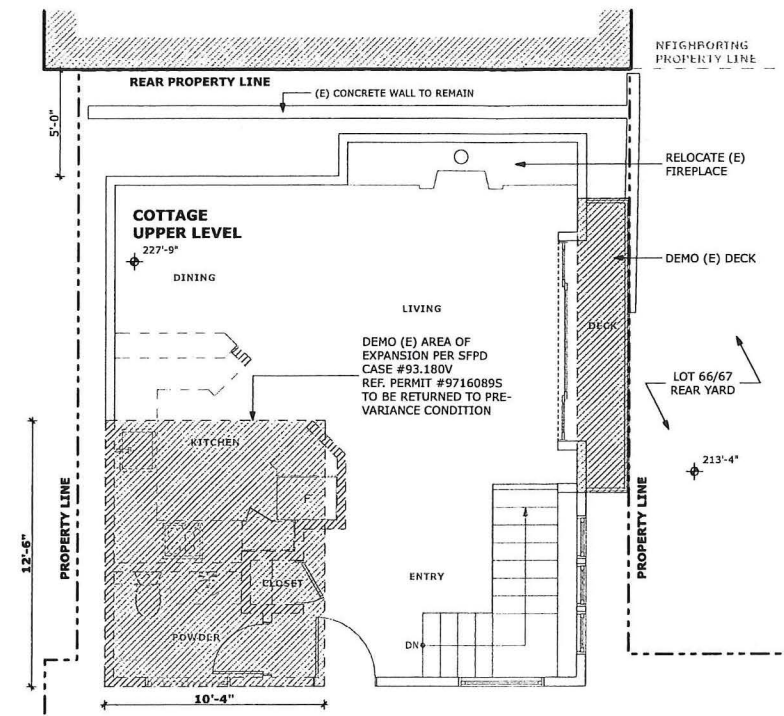
**1 ROOF LEVEL**  
SCALE: 1/4" = 1'-0"

**ROOF LEVEL PROPOSED PLAN**

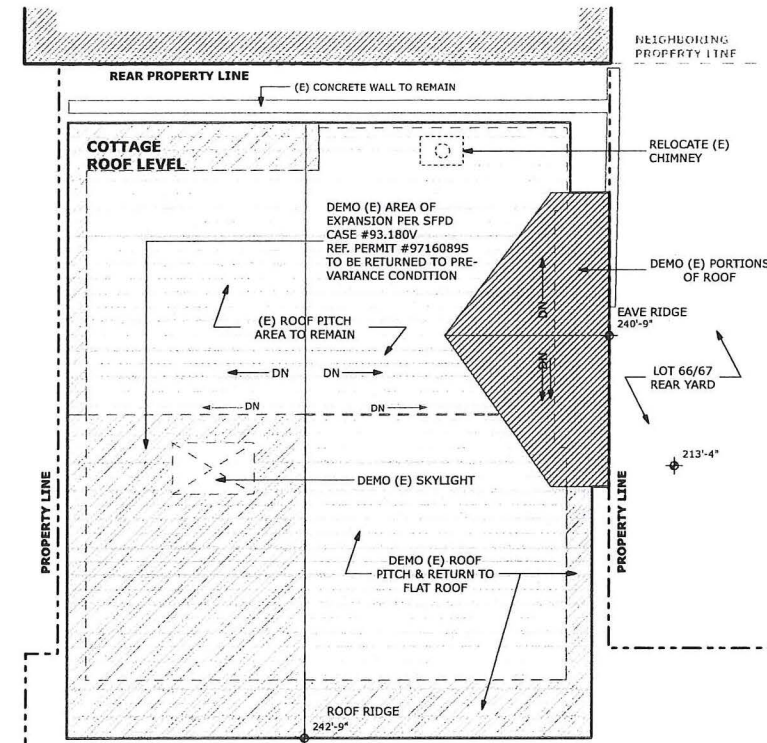


**GENERAL NOTES**

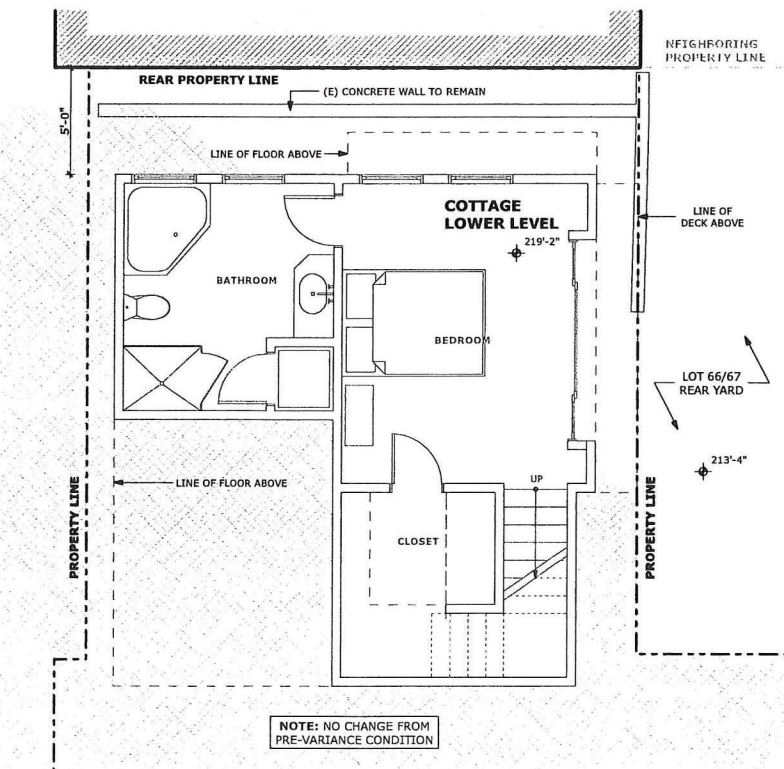
1. REF. PERMIT #9716089S: ORIGINAL REMODELING DESIGN BY THEODORE BROWN & PARTNERS. MODIFICATIONS BY WINKS & ASSOCIATES IN GENERAL CONFORMITY WITH EXHIBIT B TO PLANNING COMMISSION MOTION #1372 (11/12/1997)
2. REF. PERMIT #9925477 FOR UPDATED COTTAGE RENOVATION PLANS & SCOPE OF WORK FROM #9716089S (11/30/1999)
3. REF. SFPC VARIANCE CASE #93.180V



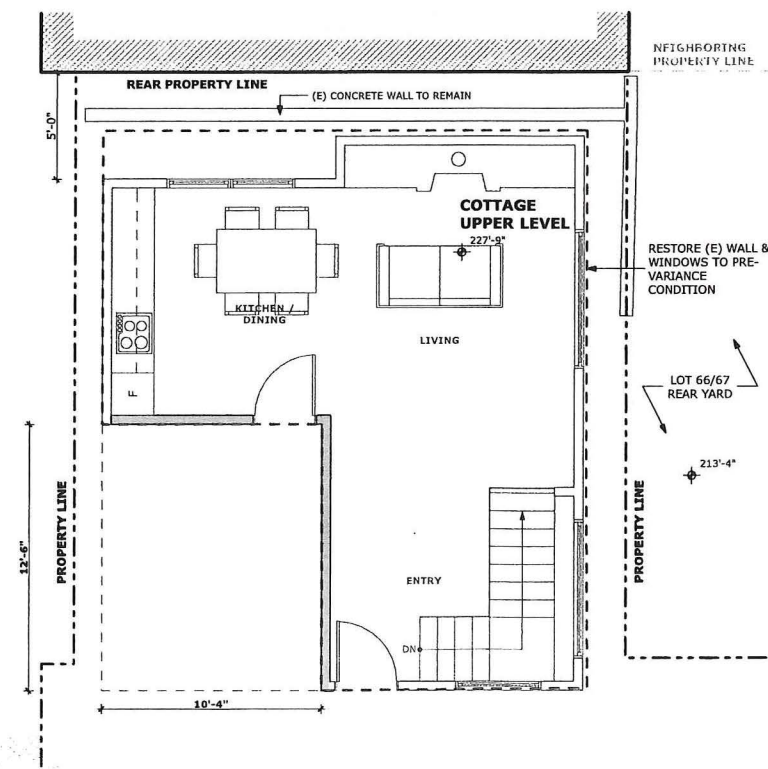
**4 DEMO (EXISTING) UPPER LEVEL PLAN**  
SCALE: 1/4" = 1'-0"



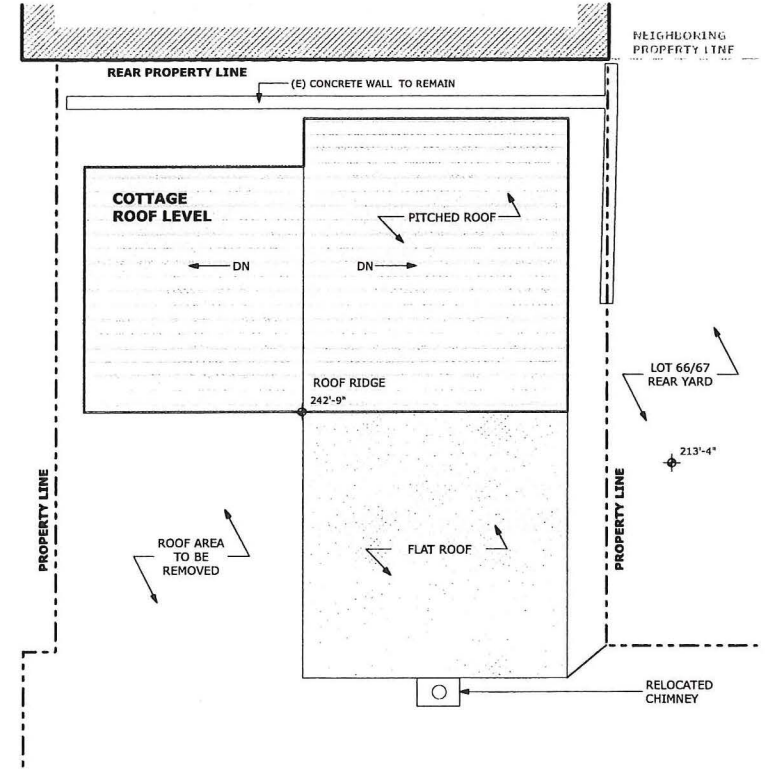
**2 DEMO (EXISTING) ROOF PLAN**  
SCALE: 1/4" = 1'-0"



**5 PROPOSED (PRE-VARIANCE) LOWER LEVEL PLAN**  
SCALE: 1/4" = 1'-0"



**3 PROPOSED (PRE-VARIANCE) UPPER LEVEL PLAN**  
SCALE: 1/4" = 1'-0"



**1 PROPOSED (PRE-VARIANCE) ROOF PLAN**  
SCALE: 1/4" = 1'-0"

**PLANNING PERMIT**

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SCALE:	AS NOTED

**COTTAGE PLANS**





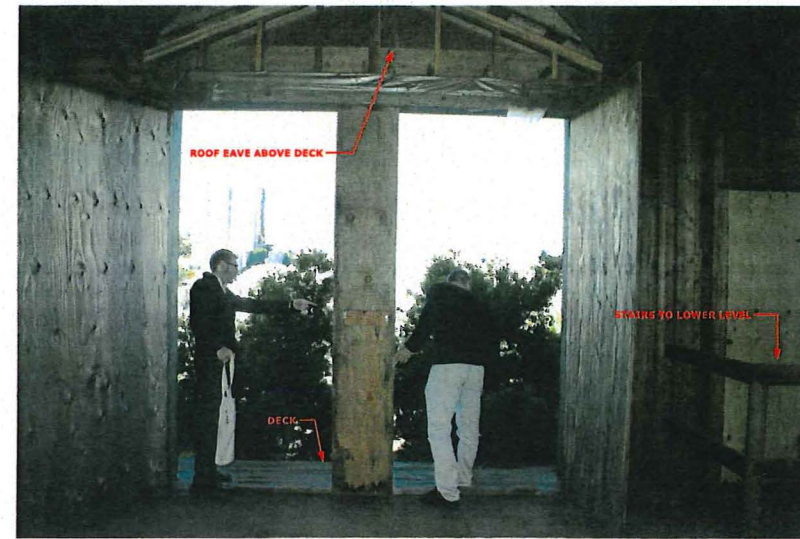




**8** COTTAGE: EXISTING UPPER LEVEL LOOKING SOUTH  
NOT TO SCALE



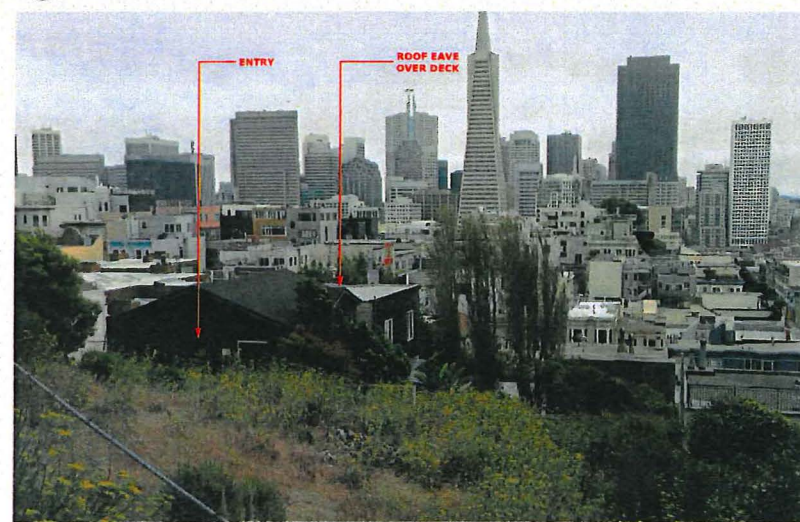
**6** COTTAGE: EXISTING UPPER LEVEL LOOKING NORTH  
NOT TO SCALE



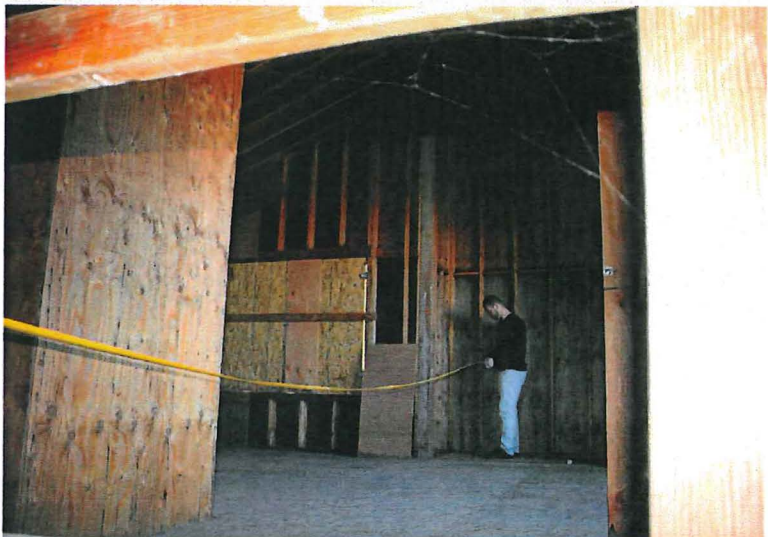
**3** COTTAGE: EXISTING CONDITION  
NOT TO SCALE



**4** COTTAGE: EXISTING NORTH FACADE  
NOT TO SCALE



**2** COTTAGE: EXTERIOR VIEW FROM STREET  
NOT TO SCALE



**7** COTTAGE: EXISTING UPPER LEVEL LOOKING SOUTH  
NOT TO SCALE



**1** COTTAGE: EXISTING NORTH FACADE  
NOT TO SCALE

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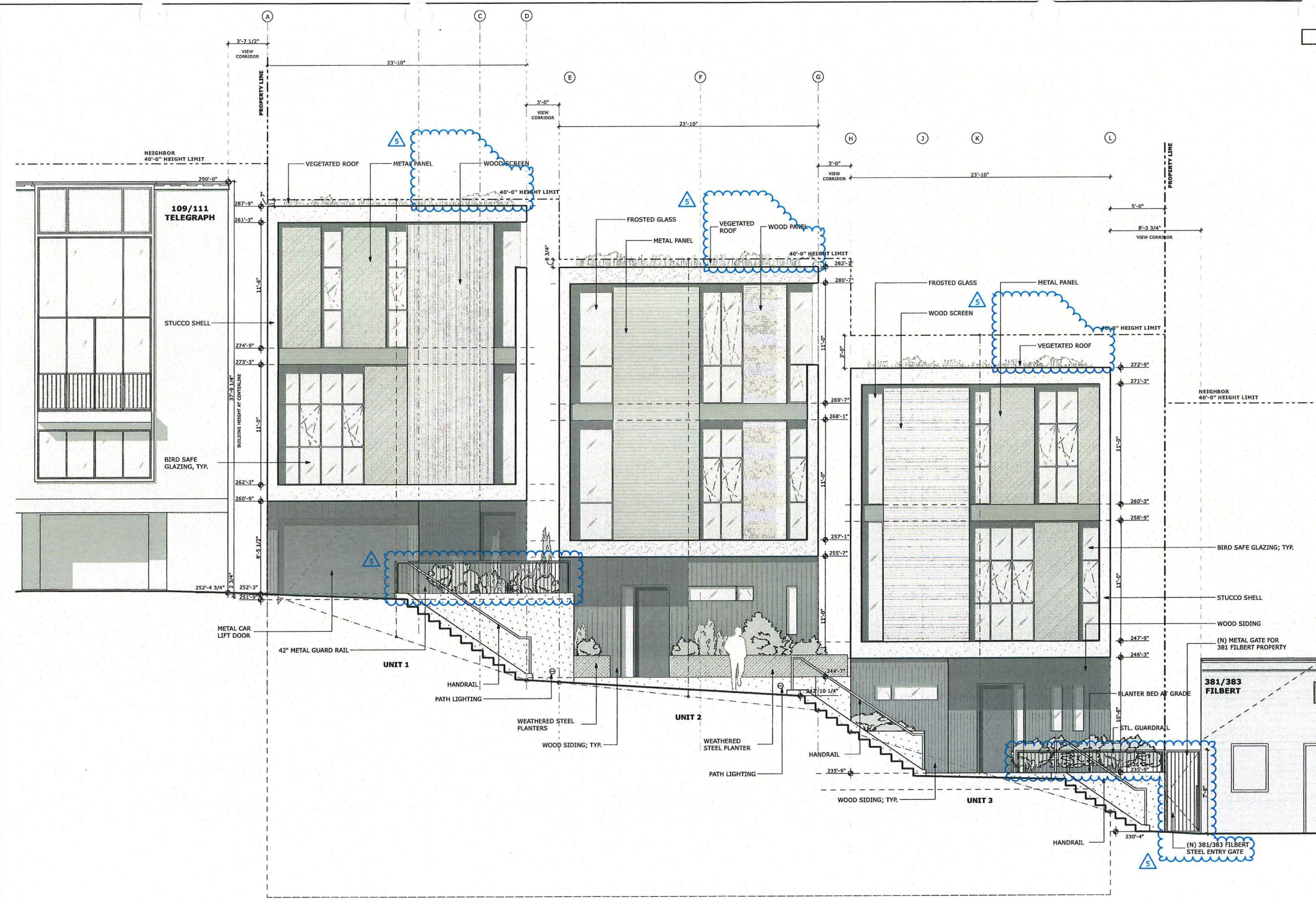
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**COTTAGE:  
EXISTING  
CONDITION  
PHOTOS**



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**1 FRONT ELEVATION**  
SCALE: 1/4" = 1'-0"

**FRONT ELEVATION**









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**1 WEST ELEVATION: UNIT 3**  
SCALE: 1/4" = 1'-0"

**WEST  
ELEVATION**



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1 FRONT FACADE LOOKING SOUTHEAST

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SCALE:	AS NOTED

8

CONCEPTUAL  
RENDERINGS



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1 FRONT FACADE LOOKING SOUTHWEST

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6

**CONCEPTUAL  
RENDERINGS**



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1 REAR FACADE LOOKING NORTH

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**CONCEPTUAL  
RENDERINGS**



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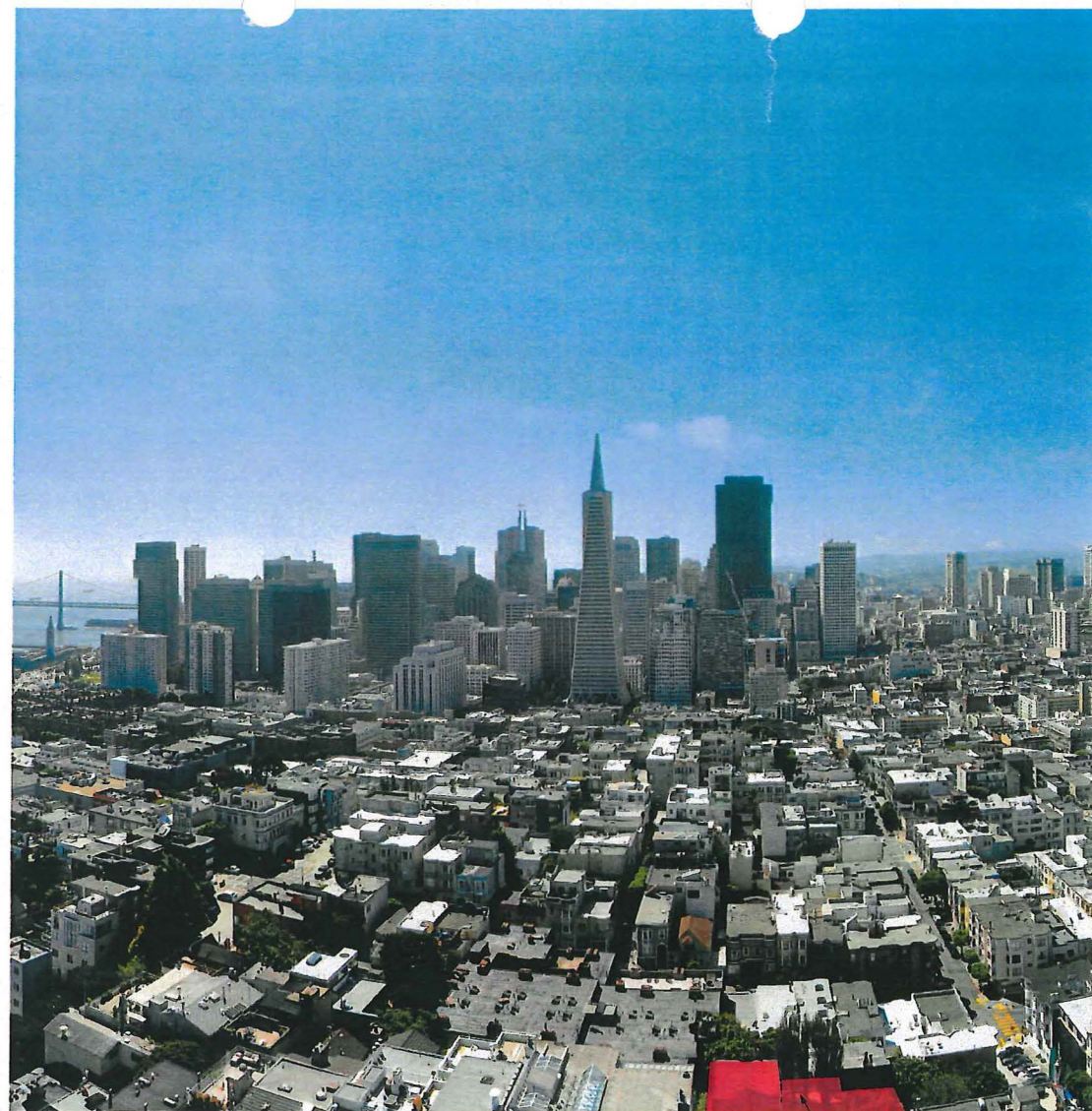
1 VIEW UP FILBERT STREET STAIRS

CONCEPTUAL  
RENDERINGS

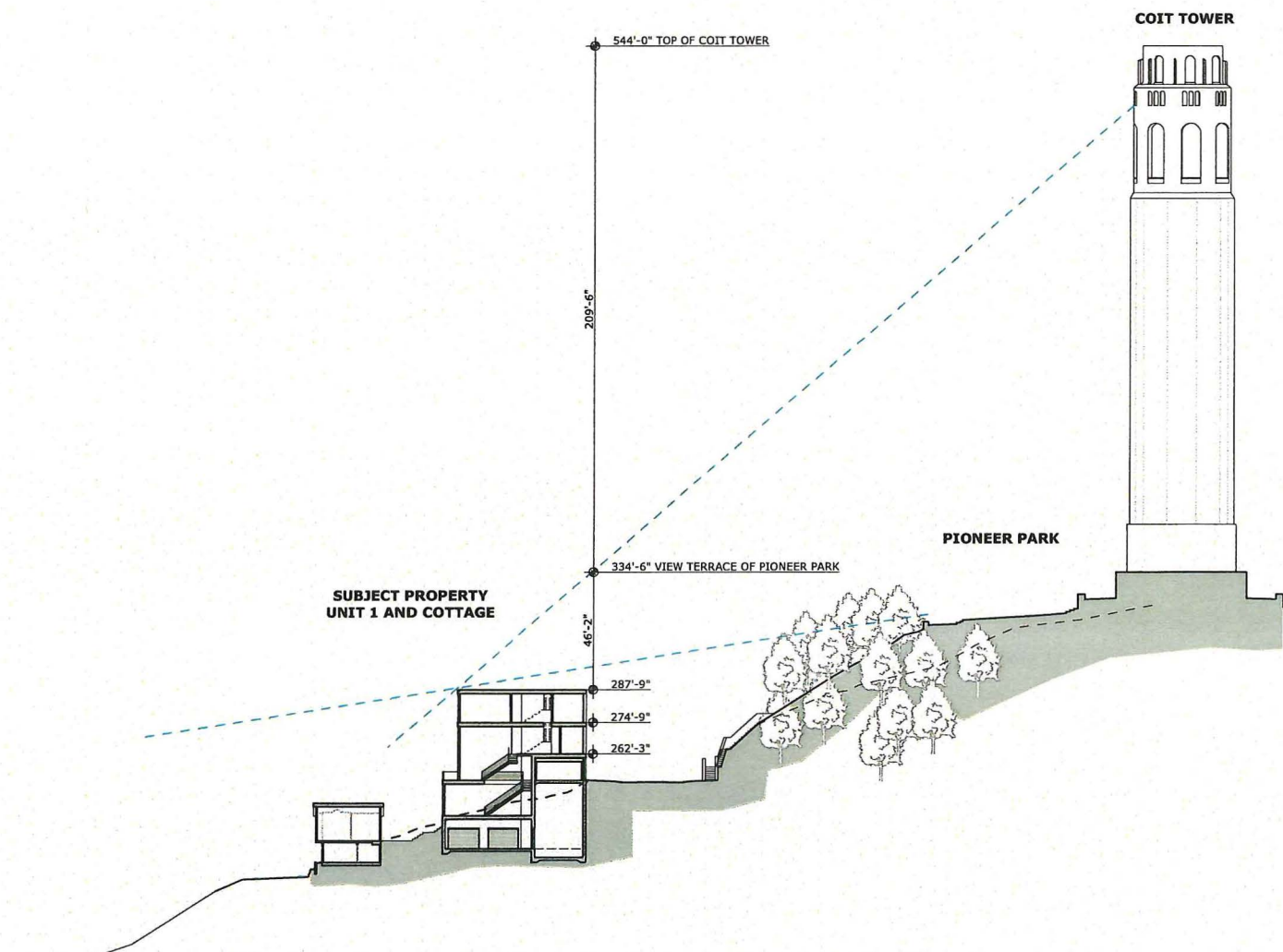


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**115 TELEGRAPH HILL**  
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**2** VIEW FROM COIT TOWER TO SUBJECT PROPERTY  
NOT TO SCALE



**1** VIEW FROM COIT TOWER TO SUBJECT PROPERTY  
NOT TO SCALE

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**CONTEXT VIEWS**