



SAN FRANCISCO PLANNING DEPARTMENT

General Plan Referral

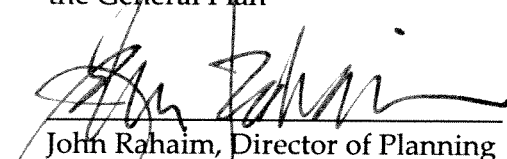
Date: November 6, 2012
Case No. Case No. 2012.1309R
Major Encroachment

Block/Lot No.: 0934/019
Project Sponsor: Simon Chan
Assistant Engineer
San Francisco Department of Public Works
Bureau of Street-Use & Mapping
875 Stevenson Street, Rm. 460
San Francisco, CA 94103

Applicant: Same as Above

Staff Contact: Kate McGee (415) 558-6367
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Recommendation: Finding the project, on balance, is **in conformity** with the General Plan

Recommended By: 
John Rahaim, Director of Planning

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PROJECT DESCRIPTION

The proposal is to mitigate soil contamination from a gas station that was once located at the subject site. The proposed project would install underground soil vapor extraction conduits and two vapor extraction wells under Broderick Street. From 2 Richardson Avenue, the conduits will cross Broderick Street to connect to the vapor extraction wells.

The wells are level PVC piping that is placed underground and connects to existing remediation piping on the site. These then connect to equipment that is on site that extracts ground water and vapors from the soil.

The remediation began two years ago however it was discovered that the soil contamination extended beyond the property line across Broderick Street. This proposal expands the remediation effort which is expected to take approximately 2 years. Construction time is about three weeks to install the wells. After two years the wells will be filled with grout and abandoned in place.

SITE DESCRIPTION AND PRESENT USE

The subject property is located at the corner of Broderick Street and Richardson Avenue. The site is being used for auto repair and is currently undergoing soil remediation from when a gas station occupied the site. Once the soil is remediated it is expected that the use will remain as an auto repair.

ENVIRONMENTAL REVIEW

The Environmental Planning Section of the Planning Department determined on October 18, 2012 that the project is categorically exempt from Environmental Review per CEQA guidelines under Class 30i Minor Cleanup Action – ground water treatment.

GENERAL PLAN COMPLIANCE AND BASIS FOR RECOMMENDATION

ENVIRONMENTAL PROTECTION ELEMENT

OBJECTIVE 1: **ACHIEVE A PROPER BALANCE AMONG THE CONSERVATION, UTILIZATION, AND DEVELOPMENT OF SAN FRANCISCO'S NATURAL RESOURCES.**

Policy 1.1: Conserve and protect the natural resources of San Francisco.

Policy 1.2: Improve the quality of natural resources.

Policy 1.3: Restore and replenish the supply of natural resources.

OBJECTIVE 21: **CONTROL ILLEGAL DISPOSAL AND ELIMINATE LAND DISPOSAL OF UNTREATED WASTE.**

Policy 21.1: Prevent illegal disposal.

URBAN DESIGN ELEMENT

OBJECTIVE 4: **IMPROVEMENT OF THE NEIGHBORHOOD ENVIRONMENT TO INCREASE PERSONAL SAFETY, COMFORT, PRIDE AND OPPORTUNITY.**

Policy 1: Protect residential areas from the noise, pollution and physical danger of excessive traffic.

EIGHT GENERAL PLAN PRIORITY POLICIES FINDINGS

The subject project is found to be consistent with the Eight Priority Policies of Planning Code Section 101.1 in that:

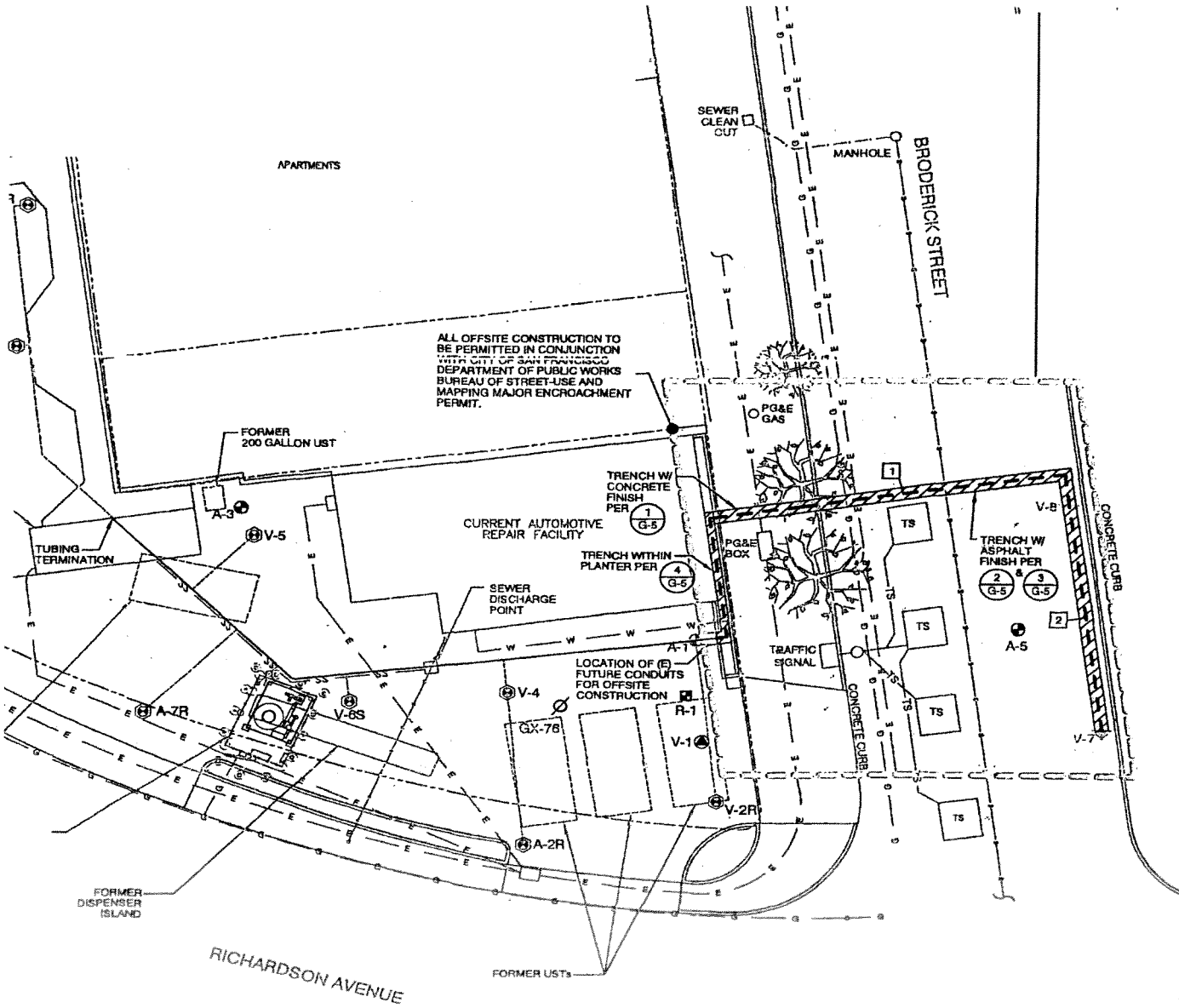
1. That existing neighborhood-serving retail uses be preserved and enhanced and future opportunities for resident employment in and ownership of such businesses enhanced.
The remediation system piping and wells will be installed below grade and will in no way impact adjacent businesses. Installation of the system piping will not affect future employment or ownership opportunities in the area.
2. That existing housing and neighborhood character be conserved and protected in order to preserve the cultural and economic diversity of our neighborhood.
The remediation system piping and wells will be installed below grade and will not affect housing or neighborhood character.
3. That the City's supply of affordable housing be preserved and enhanced.
The project would have no adverse effect on the City's supply of affordable housing.
4. That commuter traffic not impede MUNI transit service or overburden our streets or neighborhood parking.
The project would not result in commuter traffic impeding MUNI's transit service, overburdening the streets or altering current neighborhood parking.
5. That a diverse economic base be maintained by protecting our industrial and service sectors from displacement due to commercial office development, and that future opportunities for residential employment and ownership in these sectors be enhanced.
The project would not affect the existing economic base in this area.
6. That the City achieve the greatest possible preparedness to protect against injury and loss of life in an earthquake.
The remediation system piping and wells will be performed with the Health and Safety of the installation personnel and general public as the highest priority. This will include extensive earthquake preparedness that incorporates the production of an Emergency Response Plan, employing personnel that have wide ranging Health and Safety Training (i.e. HAZWOPER 40-hour, CPR training, etc.), and conducting documented daily Health and Safety Meetings. The remediation system is designed to adhere to all applicable earthquake related codes.
7. That landmarks and historic buildings be preserved.
The project will not affect landmarks or historic buildings.
8. That our parks and open space and their access to sunlight and vistas be protected from development.
The remediation system piping and wells will be installed below grade and will in no way impact park, open space, sunlight, and vista access to the general public.

RECOMMENDATION:	Finding the Project, on balance, in-conformity with the General Plan
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GENERAL PLAN REFERRAL
SF DEPARTMENT OF PUBLIC WORKS (DPW)
MAJOR ENCROACHMENT PERMIT

CASE NO. 2012.1309R

Attachments:
Site Plan with Proposed Remediation System



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NOV 13 2012

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