

REUBEN, JUNIUS & ROSE, LLP

December 29, 2017

San Francisco Board of Supervisors
One Dr. Carlton B. Goodlett Place, Room 244
San Francisco, CA 94102

**Re: 2417 Green Street
Project Sponsor's Brief in Opposition to Appeal of Categorical Exemption
Hearing Date: January 9, 2018
Our File No.: 7696.05**

Dear Supervisors:

We represent Chris Durkin, project sponsor of the proposed excavation, rear addition, and alterations to the existing single-family residence (the "Project") at 2417 Green Street (the "Property"). On May 16, 2017, the Planning Department approved a Categorical Exemption (the "CatEx") under the California Environmental Quality Act ("CEQA") for the Project. (The CatEx is attached hereto as Exhibit A.) (The Project's Environmental Evaluation Application is attached as Exhibit B.) The owner of the property located adjacent to the Property to the west, 2421 Green Street, has appealed the approval of the CatEx.

As described in greater detail below and in the memoranda submitted by City Staff, the appeal should be denied for the following reasons. The appellant's arguments:

- misunderstand the City's Planning Code Section 311 and permit issuance process (the Project was not "piecemealed");
- quote selectively from the CEQA statute, guidelines, and caselaw to fabricate a historic resource issue that doesn't exist; and
- fail to provide any evidence (beyond speculation and opinion) of any potential environmental impacts.

As such, we respectfully request that the Board deny the appeal.

I. The Project Has Not Been "Piecemealed"

The appellant alleges that the City has engaged in "unlawful project piecemealing." (Appellant's Brief at pp. 15-16.) Under controlling law, a public agency may not divide a single

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project into smaller individual subprojects to avoid responsibility for considering the environmental impact of the project as a whole. (*Orinda Ass'n v. Board of Supervisors* (1986) 182 Cal.App.3d 1145,1171.) The appellant argues that the City's separate issuance of the Project's foundation permit on November 3, 2017 (Permit No. 201710020114) somehow constitutes unlawful piecemealing. This is incorrect.

The Project description in the CatEx is as follows:

Alterations to an existing four-story-over-basement single-family residence with one vehicle parking space. Excavate to add two vehicle parking spaces. Three-story addition. Façade alterations and foundation replacement. Lower existing building. [Emphasis added.]

As clearly shown in the Project description, the approval of the CatEx contemplated excavation work as part of the Project. Hence, the City did not divide the Project into smaller individual projects to avoid considering the environmental impacts of the Project as a whole. The CatEx considered the entirety of the Project.

Moreover, it is common practice for a foundation permit to be issued separately from an alteration (building) permit. In this case, the Property's existing foundation is very old, made of brick, and in need of replacement independent of the other Project components. This is true of many of the foundations in the neighborhood, including the adjacent neighbor to the east, who recently replaced their foundation as well. The Project sponsor sought issuance of the foundation permit earlier in the process in an attempt to complete the work prior to the rainy season.

The appellant also argues that the foundation permit could not be issued because the City had not completed its Planning Code Section 311 process. Appellant misunderstands this process. When the Planning Department releases the Section 311 neighborhood notice concerning a project, it does so only because the City has completed its review of the entirety of the project and determined the project fully complies with all applicable codes and regulations, including its review of the project under CEQA. No further approvals are required to begin construction.

The Section 311 process allows neighbors to express their views on design issues, which can then also be brought to the Planning Commission for review. But the Section 311 process is not part of the City's permit approval process that is required for a project to start construction. The City already has determined that construction may commence. Consequently, a permit like the foundation permit may be issued – because the City has determined that the project is ready for construction.

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For these reasons, the issuance of the foundation permit was sensible, common practice, and lawful. The City did not unlawfully “piecemeal” the Project’s approvals.

II. The Project Will Not Cause a Substantial Adverse Change in the Significance of a Historical Resource

The appellant argues that the approval of the CatEx was improper because the Project “may cause significant impacts on a historic resource” [appellant’s home – the Coxhead House]. (Appellant’s Letter to the Board dated November 22, 2017, at pp. 7-10.) However, the appellant’s argument that the approval of the CatEx violated CEQA ignores the plain language of the CEQA statute and its guidelines.

The City has determined that the project qualifies for one of CEQA’s categorical exemptions, the “existing facilities” exemption for building additions under 10,000 square feet. The appellant does not challenge that initial determination, but argues that the project qualifies for an exception to the existing facilities exemption concerning historical resources. CEQA Guidelines Section 15300.2(f) provides as follows regarding this exception:

Historical Resources. A categorical exemption shall not be used for a project which may cause a substantial adverse change in the significance of a historical resource. [Emphasis added.]

Appellant argues that appellant’s home, the Coxhead House, is a historical resource and that the Project may cause a substantial adverse change in the significance of the resource. (We will assume for the sake of argument in this appeal that the Coxhead House is a historical resource, but reserve our right to challenge this conclusion.)

Appellant’s argument fails, however, because CEQA provides a very specific definition for what constitutes “a substantial adverse change in the significance of a historical resource.” In short, the project must “demolish or materially alter in an adverse manner” the historic characteristics of the historic resource. (CEQA Guidelines Section 15064.5.) Under CEQA, performing construction near a historical resource is not enough to cause a substantial adverse change. The proposed project must demolish or materially alter the historical resource. Here, the Project will not alter the Coxhead House in any manner. The Project simply proposes an excavation and a rear addition adjacent to the Coxhead House.

Appellant argues that the “alteration” of the resource’s “immediate surroundings” alone is enough to cause a substantial adverse change. But this argument conspicuously omits CEQA’s own explanation for what kind of alteration of the immediate surroundings causes a

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substantial adverse change. A substantial adverse change exists only if the project “[d]emolishes or materially alters in an adverse manner those physical characteristics of an historical resource that convey its historical significance.” (CEQA Guidelines Section 15064.5(b).)

The appellant complains that the Project’s foundation work “could harm the Coxhead House’ brick foundation ...” (Appellant’s Brief at p. 9.) This conclusion is nothing more than speculation of a potential impact to the Coxhead House, and certainly not evidence, and not evidence of a substantial adverse change to the Coxhead House. The Project’s foundation work will be performed by engineering experts, and the work, both proposed and performed, has been and will continue to be reviewed by the City’s engineering experts. No evidence exists that the Project’s foundation work will demolish or materially alter those physical characteristics of the Coxhead House that convey its historical significance.

CEQA requires the appellant to produce substantial evidence that the Project has the potential for a substantial adverse environmental impact. (*Apartment Ass’n of Greater Los Angeles v. City of Los Angeles* (2001) 90 Cal.App.4th 1162, 1175.) Substantial evidence is “facts, reasonable assumptions predicated on facts, and expert opinion supported by facts.” (CEQA Guidelines § 15384.) Argument, speculation, unsubstantiated opinion or narrative, or evidence that is clearly inaccurate or erroneous or otherwise not credible is not substantial evidence. (CEQA Guidelines § 15064(f)(5).) Here, the appellant has not produced any substantial evidence of a substantial adverse change to the Coxhead House.

To the contrary, residential expansion projects with foundation improvements located adjacent to historical resources in San Francisco, such as the subject Project, are commonplace, and as a rule do not result significant environmental impacts. A list of at least seven such examples of recent projects is attached as Exhibit C.

Appellant also argues that the Project’s rear addition will impacts views of and from the Coxhead House. But because the additions are in the rear of the Property, no public views of the Coxhead House will be affected. Thus, no evidence exists that the Project’s rear addition will demolish or materially alter those physical characteristics of the Coxhead House that convey its historical significance.

Views from the Coxhead House are not protected under any applicable law. Therefore, by law, and as a matter of common sense, any obstruction of those views cannot be a “substantial adverse change in the significance of” the Coxhead House. As such, no evidence exists that the Project’s rear addition will in any way materially alter those physical characteristics of the Coxhead House that convey its historical significance.

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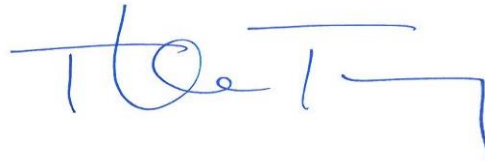
Finally, appellant cites to the decision in *Committee to Save the Hollywoodland Specific Plan v. City of Los Angeles* (2008) 161 Cal.App.4th 1168 in support of its argument regarding the Coxhead House, but that case is inapplicable here. In that case, a proposed fence would have blocked public views of an existing historic wall, and was proposed to be constructed on top of the wall. Our case is different – no public views of the Coxhead House will be affected by the Project, and no physical changes to the Coxhead House are proposed.

III. Conclusion

CEQA provides clear and specific guidance as to what constitutes a potential environmental impact, and when projects do not qualify for categorical exemptions. This guidance is designed to prevent claims based on speculation and narrow personal interests, such as those set forth by appellant in this appeal. As such, we respectfully submit that the appeal should be denied. Thank you for your consideration.

Very truly yours,

REUBEN, JUNIUS & ROSE, LLP



Thomas Tunny

Enclosures

cc: Angela Calvillo, Clerk of the Board of Supervisors
Richard Drury
John Rahaim, Planning Director
Lisa M. Gibson, Environmental Review Officer
Jeanie Poling, Planning Department
Christopher May, Planning Department
Chris Durkin
Eric Dumican

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EXHIBIT A



SAN FRANCISCO PLANNING DEPARTMENT

CEQA Categorical Exemption Determination

PROPERTY INFORMATION/PROJECT DESCRIPTION

Project Address		Block/Lot(s)	
2417 Green Street		0560/028	
Case No.	Permit No.	Plans Dated	
2017-002545ENV		2/10/2017	
<input checked="" type="checkbox"/> Addition/ Alteration	<input type="checkbox"/> Demolition (requires HRER if over 45 years old)	<input type="checkbox"/> New Construction	<input type="checkbox"/> Project Modification (GO TO STEP 7)
Project description for Planning Department approval.			
Alterations to an existing four-story-over-basement single-family residence with one vehicle parking space. Excavate to add two vehicle parking spaces. Three-story rear addition. Facade alterations and foundation replacement. Lower existing building.			

STEP 1: EXEMPTION CLASS

TO BE COMPLETED BY PROJECT PLANNER

Note: If neither class applies, an *Environmental Evaluation Application* is required.

<input checked="" type="checkbox"/>	Class 1 – Existing Facilities. Interior and exterior alterations; additions under 10,000 sq. ft.
<input type="checkbox"/>	Class 3 – New Construction/ Conversion of Small Structures. Up to three (3) new single-family residences or six (6) dwelling units in one building; commercial/office structures; utility extensions.; .; change of use under 10,000 sq. ft. if principally permitted or with a CU. Change of use under 10,000 sq. ft. if principally permitted or with a CU.
<input type="checkbox"/>	Class ____

STEP 2: CEQA IMPACTS

TO BE COMPLETED BY PROJECT PLANNER

If any box is checked below, an *Environmental Evaluation Application* is required.

<input type="checkbox"/>	Air Quality: Would the project add new sensitive receptors (specifically, schools, day care facilities, hospitals, residential dwellings, and senior-care facilities) within an Air Pollution Exposure Zone? Does the project have the potential to emit substantial pollutant concentrations (e.g., backup diesel generators, heavy industry, diesel trucks)? <i>Exceptions: do not check box if the applicant presents documentation of enrollment in the San Francisco Department of Public Health (DPH) Article 38 program and the project would not have the potential to emit substantial pollutant concentrations. (refer to EP_ArcMap > CEQA Catex Determination Layers > Air Pollutant Exposure Zone)</i>
<input checked="" type="checkbox"/>	Hazardous Materials: If the project site is located on the Maher map or is suspected of containing hazardous materials (based on a previous use such as gas station, auto repair, dry cleaners, or heavy manufacturing, or a site with underground storage tanks): Would the project involve 50 cubic yards or more of soil disturbance - or a change of use from industrial to residential? If yes, this box must be checked and the project applicant must submit an Environmental Application with a Phase I Environmental Site Assessment. <i>Exceptions: do not check box if the applicant presents documentation of enrollment in the San Francisco Department of Public Health (DPH) Maher program, a DPH waiver from the</i>

	<i>Maher program, or other documentation from Environmental Planning staff that hazardous material effects would be less than significant (refer to EP_ArcMap > Maher layer).</i>
<input type="checkbox"/>	Transportation: Does the project create six (6) or more net new parking spaces or residential units? Does the project have the potential to adversely affect transit, pedestrian and/or bicycle safety (hazards) or the adequacy of nearby transit, pedestrian and/or bicycle facilities?
<input checked="" type="checkbox"/>	Archeological Resources: Would the project result in soil disturbance/modification greater than two (2) feet below grade in an archeological sensitive area or eight (8) feet in a non-archeological sensitive area? (refer to EP_ArcMap > CEQA Catex Determination Layers > Archeological Sensitive Area)
<input type="checkbox"/>	Subdivision/Lot Line Adjustment: Does the project site involve a subdivision or lot line adjustment on a lot with a slope average of 20% or more? (refer to EP_ArcMap > CEQA Catex Determination Layers > Topography)
<input checked="" type="checkbox"/>	Slope = or > 20%: Does the project involve any of the following: (1) square footage expansion greater than 1,000 sq. ft. outside of the existing building footprint, (2) excavation of 50 cubic yards or more of soil, (3) new construction? (refer to EP_ArcMap > CEQA Catex Determination Layers > Topography) If box is checked, a geotechnical report is required.
<input type="checkbox"/>	Seismic: Landslide Zone: Does the project involve any of the following: (1) square footage expansion greater than 1,000 sq. ft. outside of the existing building footprint, (2) excavation of 50 cubic yards or more of soil, (3) new construction? (refer to EP_ArcMap > CEQA Catex Determination Layers > Seismic Hazard Zones) If box is checked, a geotechnical report is required.
<input type="checkbox"/>	Seismic: Liquefaction Zone: Does the project involve any of the following: (1) square footage expansion greater than 1,000 sq. ft. outside of the existing building footprint, (2) excavation of 50 cubic yards or more of soil, (3) new construction? (refer to EP_ArcMap > CEQA Catex Determination Layers > Seismic Hazard Zones) If box is checked, a geotechnical report will likely be required.
If no boxes are checked above, GO TO STEP 3. If one or more boxes are checked above, an <u>Environmental Evaluation Application</u> is required, unless reviewed by an Environmental Planner.	
<input type="checkbox"/>	Project can proceed with categorical exemption review. The project does not trigger any of the CEQA impacts listed above.
Comments and Planner Signature (optional): Jean Poling <small>Digitally signed by Jean Poling Date: 2017.03.20 16:45:46 -07'00'</small> No archeological effects. Sponsor enrolled in DPH Maher program. Project will follow recommendations of 1/12/17 Divis Consulting preliminary geotechnical report.	

**STEP 3: PROPERTY STATUS – HISTORIC RESOURCE
TO BE COMPLETED BY PROJECT PLANNER**

PROPERTY IS ONE OF THE FOLLOWING: (refer to Parcel Information Map)	
<input type="checkbox"/>	Category A: Known Historical Resource. GO TO STEP 5.
<input checked="" type="checkbox"/>	Category B: Potential Historical Resource (over 45 years of age). GO TO STEP 4.
<input type="checkbox"/>	Category C: Not a Historical Resource or Not Age Eligible (under 45 years of age). GO TO STEP 6.

STEP 4: PROPOSED WORK CHECKLIST
TO BE COMPLETED BY PROJECT PLANNER

Check all that apply to the project.	
<input type="checkbox"/>	1. Change of use and new construction. Tenant improvements not included.
<input type="checkbox"/>	2. Regular maintenance or repair to correct or repair deterioration, decay, or damage to building.
<input type="checkbox"/>	3. Window replacement that meets the Department's <i>Window Replacement Standards</i> . Does not include storefront window alterations.
<input type="checkbox"/>	4. Garage work. A new opening that meets the <i>Guidelines for Adding Garages and Curb Cuts</i> , and/or replacement of a garage door in an existing opening that meets the Residential Design Guidelines.
<input type="checkbox"/>	5. Deck, terrace construction, or fences not visible from any immediately adjacent public right-of-way.
<input type="checkbox"/>	6. Mechanical equipment installation that is not visible from any immediately adjacent public right-of-way.
<input type="checkbox"/>	7. Dormer installation that meets the requirements for exemption from public notification under <i>Zoning Administrator Bulletin No. 3: Dormer Windows</i> .
<input type="checkbox"/>	8. Addition(s) that are not visible from any immediately adjacent public right-of-way for 150 feet in each direction; does not extend vertically beyond the floor level of the top story of the structure or is only a single story in height; does not have a footprint that is more than 50% larger than that of the original building; and does not cause the removal of architectural significant roofing features.
Note: Project Planner must check box below before proceeding.	
<input type="checkbox"/>	Project is not listed. GO TO STEP 5.
<input type="checkbox"/>	Project does not conform to the scopes of work. GO TO STEP 5.
<input type="checkbox"/>	Project involves four or more work descriptions. GO TO STEP 5.
<input type="checkbox"/>	Project involves less than four work descriptions. GO TO STEP 6.

STEP 5: CEQA IMPACTS – ADVANCED HISTORICAL REVIEW
TO BE COMPLETED BY PRESERVATION PLANNER

Check all that apply to the project.	
<input type="checkbox"/>	1. Project involves a known historical resource (CEQA Category A) as determined by Step 3 and conforms entirely to proposed work checklist in Step 4.
<input type="checkbox"/>	2. Interior alterations to publicly accessible spaces.
<input type="checkbox"/>	3. Window replacement of original/historic windows that are not "in-kind" but are consistent with existing historic character.
<input type="checkbox"/>	4. Façade/storefront alterations that do not remove, alter, or obscure character-defining features.
<input type="checkbox"/>	5. Raising the building in a manner that does not remove, alter, or obscure character-defining features.
<input type="checkbox"/>	6. Restoration based upon documented evidence of a building's historic condition, such as historic photographs, plans, physical evidence, or similar buildings.
<input type="checkbox"/>	7. Addition(s) , including mechanical equipment that are minimally visible from a public right-of-way and meet the <i>Secretary of the Interior's Standards for Rehabilitation</i> .
<input type="checkbox"/>	8. Other work consistent with the <i>Secretary of the Interior Standards for the Treatment of Historic Properties</i> (specify or add comments):

<input type="checkbox"/>	<p>9. Other work that would not materially impair a historic district (specify or add comments):</p> <p><i>(Requires approval by Senior Preservation Planner/Preservation Coordinator)</i> _____</p>
<input checked="" type="checkbox"/>	<p>10. Reclassification of property status. <i>(Requires approval by Senior Preservation Planner/Preservation Coordinator)</i></p> <p style="padding-left: 40px;"><input type="checkbox"/> Reclassify to Category A <input checked="" type="checkbox"/> Reclassify to Category C</p> <p>a. Per HRER dated: <u>5/10/17</u> <i>(attach HRER)</i></p> <p>b. Other <i>(specify)</i>:</p>
<p>Note: If ANY box in STEP 5 above is checked, a Preservation Planner MUST check one box below.</p>	
<input type="checkbox"/>	<p>Further environmental review required. Based on the information provided, the project requires an <i>Environmental Evaluation Application</i> to be submitted. GO TO STEP 6.</p>
<input checked="" type="checkbox"/>	<p>Project can proceed with categorical exemption review. The project has been reviewed by the Preservation Planner and can proceed with categorical exemption review. GO TO STEP 6.</p>
<p>Comments <i>(optional)</i>:</p>	
<p>Preservation Planner Signature: Shelley Caltagirone Digitally signed by Shelley Caltagirone Date: 2017.05.16 13:43:40 -07'00'</p>	

**STEP 6: CATEGORICAL EXEMPTION DETERMINATION
TO BE COMPLETED BY PROJECT PLANNER**

<input type="checkbox"/>	<p>Further environmental review required. Proposed project does not meet scopes of work in either <i>(check all that apply)</i>:</p> <p style="padding-left: 40px;"><input type="checkbox"/> Step 2 – CEQA Impacts</p> <p style="padding-left: 40px;"><input type="checkbox"/> Step 5 – Advanced Historical Review</p> <p>STOP! Must file an <i>Environmental Evaluation Application</i>.</p>			
<input checked="" type="checkbox"/>	<p>No further environmental review is required. The project is categorically exempt under CEQA.</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 50%; padding: 5px;"> <p>Planner Name: Shelley Caltagirone</p> <p>Project Approval Action:</p> <p style="padding-left: 20px;">Building Permit</p> <p style="font-size: small;">If Discretionary Review before the Planning Commission is requested, the Discretionary Review hearing is the Approval Action for the project.</p> </td> <td style="width: 50%; padding: 5px;"> <p>Signature:</p> <p style="font-size: 2em; font-family: cursive;">Shelley Caltagirone</p> <p style="font-size: small;">Digitally signed by Shelley Caltagirone Date: 2017.05.16 13:44:01 -07'00'</p> </td> </tr> </table> <p style="font-size: small;">Once signed or stamped and dated, this document constitutes a categorical exemption pursuant to CEQA Guidelines and Chapter 31 of the Administrative Code.</p> <p style="font-size: small;">In accordance with Chapter 31 of the San Francisco Administrative Code, an appeal of an exemption determination can only be filed within 30 days of the project receiving the first approval action.</p>		<p>Planner Name: Shelley Caltagirone</p> <p>Project Approval Action:</p> <p style="padding-left: 20px;">Building Permit</p> <p style="font-size: small;">If Discretionary Review before the Planning Commission is requested, the Discretionary Review hearing is the Approval Action for the project.</p>	<p>Signature:</p> <p style="font-size: 2em; font-family: cursive;">Shelley Caltagirone</p> <p style="font-size: small;">Digitally signed by Shelley Caltagirone Date: 2017.05.16 13:44:01 -07'00'</p>
<p>Planner Name: Shelley Caltagirone</p> <p>Project Approval Action:</p> <p style="padding-left: 20px;">Building Permit</p> <p style="font-size: small;">If Discretionary Review before the Planning Commission is requested, the Discretionary Review hearing is the Approval Action for the project.</p>	<p>Signature:</p> <p style="font-size: 2em; font-family: cursive;">Shelley Caltagirone</p> <p style="font-size: small;">Digitally signed by Shelley Caltagirone Date: 2017.05.16 13:44:01 -07'00'</p>			



SAN FRANCISCO PLANNING DEPARTMENT

PRESERVATION TEAM REVIEW FORM

1650 Mission St.
Suite 400
San Francisco,
CA 94103-2479

Reception:
415.558.6378

Fax:
415.558.6409

Planning
Information:
415.558.6377

Preservation Team Meeting Date:		Date of Form Completion	5/4/2017
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PROJECT INFORMATION:		
Planner:	Address:	
Shelley Caltagirone	2417 Green Street	
Block/Lot:	Cross Streets:	
0560/028	Pierce and Scott Streets	
CEQA Category:	Art. 10/11:	BPA/Case No.:
B		2017.002545ENV

PURPOSE OF REVIEW:			PROJECT DESCRIPTION:	
<input checked="" type="radio"/> CEQA	<input type="radio"/> Article 10/11	<input type="radio"/> Preliminary/PIC	<input checked="" type="radio"/> Alteration	<input type="radio"/> Demo/New Construction

DATE OF PLANS UNDER REVIEW:	2/10/17
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PROJECT ISSUES:	
<input checked="" type="checkbox"/>	Is the subject Property an eligible historic resource?
<input type="checkbox"/>	If so, are the proposed changes a significant impact?
Additional Notes:	
Submitted: Historic Resource Evaluation report prepared by Tim Kelley Consulting, April 2017	
Proposed Project: Expansion of garage; 3 story horizontal rear addition; alterations to front facade and roof; excavation and foundation replacement; lowering building; and interior remodel. The project appears to be a de facto demolition per PC Section 1005(f).	

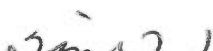
PRESERVATION TEAM REVIEW:				
Category:		<input type="radio"/> A	<input type="radio"/> B	<input checked="" type="radio"/> C
Individual		Historic District/Context		
Property is individually eligible for inclusion in a California Register under one or more of the following Criteria:		Property is in an eligible California Register Historic District/Context under one or more of the following Criteria:		
Criterion 1 - Event:	<input type="radio"/> Yes <input checked="" type="radio"/> No	Criterion 1 - Event:	<input type="radio"/> Yes <input checked="" type="radio"/> No	
Criterion 2 - Persons:	<input type="radio"/> Yes <input checked="" type="radio"/> No	Criterion 2 - Persons:	<input type="radio"/> Yes <input checked="" type="radio"/> No	
Criterion 3 - Architecture:	<input type="radio"/> Yes <input checked="" type="radio"/> No	Criterion 3 - Architecture:	<input type="radio"/> Yes <input checked="" type="radio"/> No	
Criterion 4 - Info. Potential:	<input type="radio"/> Yes <input checked="" type="radio"/> No	Criterion 4 - Info. Potential:	<input type="radio"/> Yes <input checked="" type="radio"/> No	
Period of Significance:	<input type="text"/>	Period of Significance:	<input type="text"/>	
		<input type="radio"/> Contributor <input type="radio"/> Non-Contributor		

Complies with the Secretary's Standards/Art 10/Art 11:	<input type="radio"/> Yes	<input type="radio"/> No	<input checked="" type="radio"/> N/A
CEQA Material Impairment to the individual historic resource:	<input type="radio"/> Yes	<input checked="" type="radio"/> No	
CEQA Material Impairment to the historic district:	<input type="radio"/> Yes	<input checked="" type="radio"/> No	
Requires Design Revisions:	<input type="radio"/> Yes	<input checked="" type="radio"/> No	
Defer to Residential Design Team:	<input type="radio"/> Yes	<input checked="" type="radio"/> No	

PRESERVATION TEAM COMMENTS:

The building at 2417 Green Street was built circa 1905 and was first owned by Lonella H. Smith. Louis B. Floan was to contractor for the building, but no architect was identified. The property is located on the south side of the street between Pierce and Scott Street in the Pacific Heights neighborhood. It is a rectangular plan, three-story-over-basement, wood-frame, single-family residence with a side-facing gable roof and shingle and brick cladding. The building has been altered, including the insertion of a garage with concrete cladding, replacement of the front entry porch, and replacement of the upper floor windows. The building retains some characteristics of the First Bay Tradition style, including the simple wall surface, wood singles, and small scale ornamentation.

Based on the information provided in the Historic Resource Evaluation report prepared by Tim Kelley Consulting (December 2016), the Department finds that the subject property does not appear to be eligible for inclusion on the California Register either as an individual historic resource or as a contributor to a historic district. There is no information provided by the Project Sponsor's reports or located in the San Francisco Planning Department's background files to indicate that the property was associated with events that have made a significant contribution to the broad patterns of local or regional history or the cultural heritage of California or the United States. No significant historical figures are associated with the property. Lastly, the property does not significantly embody the distinctive characteristics of the First Bay Tradition style; it is not the work of a master architect; and, it does not possess high artistic values. Furthermore, the property is not located within a California Register-eligible historic district. The consultant found no cohesive collection of buildings in the immediate area that would indicate a possible district. The nearest historic district is the Pacific Heights Historic District, which captures buildings to the south and west of the subject building. 2417 Green Street would not contribute to this district since the subject building and its immediate neighbors to the east are not associated with the architectural significance of the district. The district is characterized by large, formal, detached dwellings, typically designed by master architects and displaying a high level of architectural detailing and materials. The subject building is builder-designed and displays a relatively vernacular style. While the properties to the west of 2417 Green Street may be eligible for inclusion in the district, the subject building does not contribute to the Pacific Heights Historic District. The proposed project would have no adverse impact to historic resources as the subject building is not a historic resource and is not located within a historic district.

Signature of a Senior Preservation Planner / Preservation Coordinator:	Date:
	5/10/2017

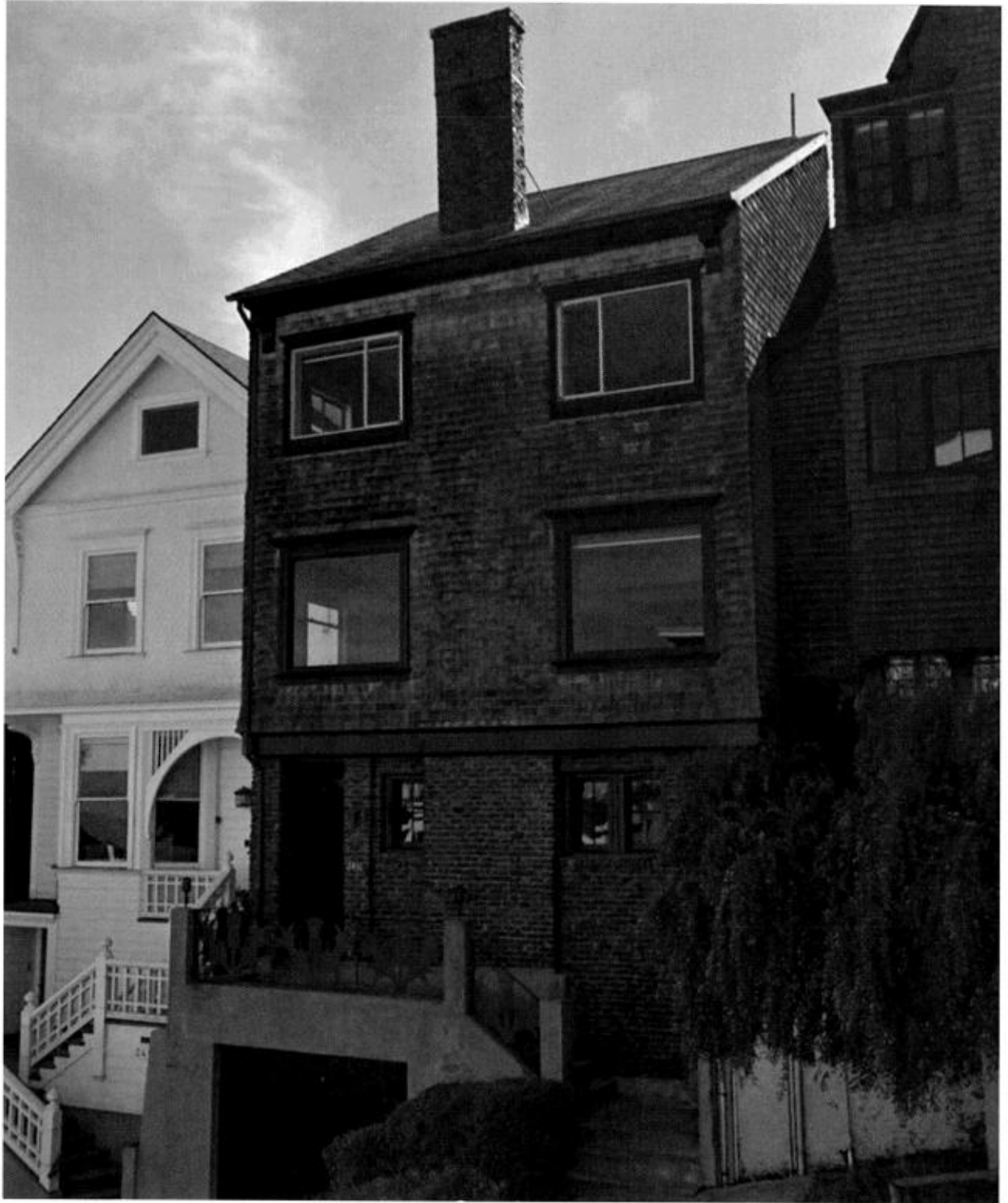


EXHIBIT B

APPLICATION FOR Environmental Evaluation

1. Owner/Applicant Information

PROPERTY OWNER'S NAME: 2417 Green Street, LLC	
PROPERTY OWNER'S ADDRESS: 474 Euclid Ave, San Francisco, CA 94118	TELEPHONE: (415) 407-0486
	EMAIL: chris@durkinincorporated.com

APPLICANT'S NAME, COMPANY/ORGANIZATION (IF APPLICABLE): Dumican Mosey Architects Same as Above <input type="checkbox"/>	
APPLICANT'S ADDRESS: 128 10th Street, 3rd Floor, San Francisco, CA 94103	TELEPHONE: (415) 495-9322
	EMAIL: Edumican@dumicanmosey.com

CONTACT FOR PROJECT INFORMATION: Eric Dumican Same as Above <input type="checkbox"/>	
ADDRESS: 128 10th Street, 3rd Floor, San Francisco, CA 94103	TELEPHONE: (415) 495-9322
	EMAIL: edumican@dumicanmosey.com

2. Location and Classification

STREET ADDRESS OF PROJECT: 2417 Green Street	ZIP CODE: 94107
CROSS STREETS: Pierce & Scott St	

ASSESSORS BLOCK/LOT: 0560 / 028	LOT DIMENSIONS: 25'x100'	LOT AREA (SQ FT): 2500 sq.ft.	ZONING DISTRICT: RH-1	HEIGHT/BULK DISTRICT: 40-X
COMMUNITY PLAN AREA (IF ANY): n/a				

3. Project Description

(Please check all that apply) <input type="checkbox"/> Change of Use <input type="checkbox"/> Change of Hours <input type="checkbox"/> New Construction <input checked="" type="checkbox"/> Alterations <input type="checkbox"/> Demolition <input type="checkbox"/> Other Please clarify: _____	ADDITIONS TO BUILDING: <input checked="" type="checkbox"/> Rear <input type="checkbox"/> Front <input type="checkbox"/> Height <input type="checkbox"/> Side Yard	PRESENT OR PREVIOUS USE: Single Family Residence
		PROPOSED USE: Single Family Residence
	BUILDING APPLICATION PERMIT NO.: 	DATE FILED:

4. Project Summary Table

If you are not sure of the eventual size of the project, provide the maximum estimates.

	EXISTING USES:	EXISTING USES TO BE RETAINED:	NET NEW CONSTRUCTION AND/OR ADDITION:	PROJECT TOTALS:
PROJECT FEATURES				
Dwelling Units	1	1	0	1
Hotel Rooms	0	0	0	0
Parking Spaces	1	1	2	3
Loading Spaces	0	0	0	0
Number of Buildings	1	1	1	1
Height of Building(s)	+/- 50'-8"	+/- 48'-9"	- 1'-11"	+/- 48'-9"
Number of Stories	4	4	0	4
Bicycle Spaces	0	0	1	1
GROSS SQUARE FOOTAGE (GSF)				
Residential	+/- 4,165	+/- 4,165	+/- 943	+/- 5,108
Retail	0	0	0	0
Office	0	0	0	0
Industrial	0	0	0	0
PDR Production, Distribution, & Repair	0	0	0	0
Parking	+/- 337	+/- 337	+/- 658	+/- 995
Other ()				
Other ()				
Other ()				
TOTAL GSF	+/- 4,502	+/- 4,502	+/- 1,481	+/- 6,103
<p>Please provide a narrative project description that summarizes the project and its purpose or describe any additional features that are not included in this table. Please list any special authorizations or changes to the Planning Code or Zoning Maps if applicable. THIS SECTION MUST BE COMPLETED.</p>				

5. Environmental Evaluation Project Information

1. **Would the project involve a major alteration of a structure constructed 45 or more years ago or a structure in a historic district?** YES NO

If yes, submit the *Supplemental Information for Historic Resource Evaluation* application.

2. **Would the project involve demolition of a structure constructed 45 or more years ago or a structure located in a historic district?** YES NO

If yes, a historic resource evaluation (HRE) report will be required. The scope of the HRE will be determined in consultation with Preservation Planning staff.

3. **Would the project result in excavation or soil disturbance/modification?** YES NO

If yes, please provide the following:

Depth of excavation/disturbance below grade (in feet): 13' (H.P.)

Area of excavation/disturbance (in square feet): 800 sq.ft.

Amount of excavation (in cubic yards): 408 cu.yd.

Type of foundation to be used (if known) and/or other information regarding excavation or soil disturbance modification:

Type of foundation to be determined. Most likely to be spread footing or mat slab foundation

Note: A geotechnical report prepared by a qualified professional must be submitted if one of the following thresholds apply to the project:

- *The project involves a lot split located on a slope equal to or greater than 20 percent.*
- *The project is located in a seismic hazard landslide zone or on a lot with a slope average equal to or greater than 20 percent and involves either*
 - *excavation of 50 or more cubic yards of soil, or*
 - *building expansion greater than 1,000 square feet outside of the existing building footprint.*

A geotechnical report may also be required for other circumstances as determined by Environmental Planning staff.

- 4a. **Would the project involve any of the following: (1) the construction of a new building; (2) the addition of a dwelling unit; (3) the addition of a new curb-cut; (4) the addition of a garage; and/or (5) a net addition to an existing building of 500 gross square feet or more?** YES NO

If yes, you will need to comply with the tree planting regulations of [Public Works Code Section 806](#) prior to receiving a building permit.

4b. Does the project include the removal or addition of trees on, over, or adjacent to the project site? YES NO

If yes, please answer the following questions:

Number of trees on, over, or adjacent to the project site: _____

Number of trees on, over, or adjacent to the project site that would be removed by the project (see Public Works Code Article 16 for definitions of removal, significant, landmark, and street trees):

Significant trees: _____

Landmark trees: _____

Street trees: _____

Number of trees on, over, or adjacent to the project site that would be added by the project: _____

5. Would the project result in any construction over 40 feet in height? YES NO

If yes, please submit a *Shadow Analysis Application*. This application should be filed at the PIC and should not be included with the Environmental Evaluation Application. (If the project already underwent Preliminary Project Assessment, this application may not be needed. Please refer to the shadow discussion in the PPA letter.)

6. Would the project result in a construction of a structure 80 feet or higher? YES NO

If yes, an initial review by a wind expert, including a recommendation as to whether a wind analysis is needed, may be required, as determined by Planning staff. (If the project already underwent Preliminary Project Assessment, please refer to the wind discussion in the PPA letter.)

7. Would the project involve work on a site with an existing or former gas station, auto repair, dry cleaners, or heavy manufacturing use, or a site with underground storage tanks? YES NO

If yes, please submit a Phase I Environmental Site Assessment (ESA) prepared by a qualified consultant. If the project is subject to Health Code Article 22A, Planning staff will refer the project sponsor to the Department of Public Health for enrollment in DPH's Maher program.

8. Would the project require any variances, special authorizations, or changes to the Planning Code or Zoning Maps? YES NO

If yes, please describe.

9. Is the project related to a larger project, series of projects, or program? YES NO

If yes, please describe.

Estimated Construction Costs

TYPE OF APPLICATION: Site Permit	
OCCUPANCY CLASSIFICATION: R-3 / U	
BUILDING TYPE: V-B	
TOTAL GROSS SQUARE FEET OF CONSTRUCTION: (+/-) 6,103 GSF	BY PROPOSED USES: Habitable: (+/-) 5,108 GSF Garage: (+/-) 995 GSF
ESTIMATED CONSTRUCTION COST: \$100,000.00	
ESTIMATE PREPARED BY: 2417 Green Street, LLC	
FEE ESTABLISHED:	

Applicant's Affidavit

Under penalty of perjury the following declarations are made:

- a: The undersigned is the owner or authorized agent of the owner of this property.
- b: The information presented is true and correct to the best of my knowledge.
- c: Other information or applications may be required.

Signature: _____



Date: 02/14/17

Print name, and indicate whether owner, or authorized agent:

Eric Dumican

Owner Authorized Agent (circle one)

Environmental Evaluation Application Submittal Checklist

APPLICATION MATERIALS	PROVIDED	NOT APPLICABLE
Two (2) originals of this application signed by owner or agent, with all blanks filled in.	<input checked="" type="checkbox"/>	
Two (2) hard copy sets of project drawings in 11" x 17" format showing existing and proposed site plans with structures on the subject property and on immediately adjoining properties, and existing and proposed floor plans, elevations, and sections of the proposed project.	<input checked="" type="checkbox"/>	
One (1) CD containing the application and project drawings and any other submittal materials that are available electronically. (e.g., geotechnical report)	<input checked="" type="checkbox"/>	
Photos of the project site and its immediate vicinity, with viewpoints labeled.	<input checked="" type="checkbox"/>	
Check payable to San Francisco Planning Department.	<input checked="" type="checkbox"/>	
Letter of authorization for agent.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
<i>Supplemental Information for Historic Resource Evaluation</i> , as indicated in Part 5 Question 1.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Two (2) hard copies of the <i>Historic Resource Evaluation</i> , as indicated in Part 5 Question 2.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Geotechnical report, as indicated in Part 5 Question 3.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Phase I Environmental Site Assessment, as indicated in Part 5 Question 7.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Additional studies (list).	<input type="checkbox"/>	<input checked="" type="checkbox"/>

For Department Use Only

Application received by Planning Department:

By: _____

Date: _____



FOR MORE INFORMATION:
Call or visit the San Francisco Planning Department

Central Reception
1650 Mission Street, Suite 400
San Francisco CA 94103-2479

TEL: **415.558.6378**
FAX: **415 558-6409**
WEB: **<http://www.sfplanning.org>**

Planning Information Center (PIC)
1660 Mission Street, First Floor
San Francisco CA 94103-2479

TEL: **415.558.6377**
*Planning staff are available by phone and at the PIC counter.
No appointment is necessary.*

PRELIMINARY GEOTECHNICAL REPORT
2417 GREEN STREET
SAN FRANCISCO, CALIFORNIA
SAN FRANCISCO ASSESSORS BLOCK 0560 LOT 028

Client:
2417 Green Street, LLC
c/o Chris Durkin
474 Euclid Ave
San Francisco, CA 94118
cfdurkin@gmail.com

12 January 2017
Project: 17-120101-01

Prepared by:



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- APPENDIX A - IMPORTANT INFORMATION REGARDING YOUR GEOTECHNICAL REPORT

INTRODUCTION

This letter report presents our preliminary geotechnical conclusions and recommendations for the subject project. Additional geotechnical studies, including a site specific field investigation, are required prior to final design.

The subject project is located at 2417 Green Street in San Francisco. The site is located on Block 0560 Lot 028 as mapped by the San Francisco Planning Department as shown on the Site Plan, Figure 1.

PROPOSED IMPROVEMENTS

We understand that plans include: remodeling of the existing residence and expanding the existing basement.

DATA REVIEW

To develop a preliminary understanding of the geologic conditions at the site, we reviewed the following documents:

- Blake M.C. et. al. (2000). Geologic Map and Map Database of Parts of Marin, San Francisco, Alameda, Contra Costa and Sonoma Counties, California.
- California Geological Survey (2001). State of California Seismic Hazard Zones, City and County of San Francisco, Official Map.
- John A. Blume & Associates, Engineers, (1974). San Francisco Seismic Safety Investigation, June 1974.

SPECIAL STUDIES ZONES

San Francisco Slope Protection Act

The site is located within an area defined by Section 106A.4.1.4 of the 2013 San Francisco Building code and consequently is located within a special study zone under the Slope Protection Act; Figure 2.

This report provides preliminary conclusions and recommendations regarding geologic hazards at the site. If a geologic hazard report is required by the San Francisco Department of Building Inspection, we can provide one upon your request.

State of California Seismic Hazard Zones

The site is not located within a seismic hazard zone as defined by the State of California; Figure 3.

Alquist Priolo Fault Mapping Act

The site is not within an Earthquake Fault Zone, as defined by the Alquist-Priolo Earthquake Fault Zoning Act and no known active or potentially active faults exist on the site.

GEOLOGIC SETTING

The site lies along a northeast-facing slope along the northern side of Russian Hill within the Pacific Heights District in San Francisco.

The site is located within the Coast Ranges geomorphic province of California that is characterized by rugged northwest-trending mountain chains, valleys and ridges. The predominant geologic structure and these topographic features are controlled by folds and faults that resulted from the collision of the Farallon plate and North American plate and subsequent strike-slip faulting along the San Andreas Fault system. The San Andreas Fault is more than 600 miles long from Point Arena in the north to the Gulf of California in the south. The Coast Ranges province is bounded on the east by the Great Valley and on the west by the Pacific Ocean.

The bedrock in the area is mapped as Jurassic- to late Cretaceous-age [$\sim 200 - 65$ million years ago (Ma)] Franciscan Complex consisting of sandstone, shale, chert, greenstone and serpentinite. Locally, the surficial deposits at the site are mapped as Dune Sand.

A geologic map of the site vicinity is presented as Figure 4.

ANTICIPATED SUBSURFACE CONDITIONS

Based on the documents reviewed, we preliminarily conclude the site is underlain by: Dune Sand, undifferentiated surficial deposits and bedrock.

Undocumented fill may have been placed at the site during prior developments and/or grading activities.

SEISMICITY

The major active faults in the area are the San Andreas, San Gregorio, Hayward, Rodgers Creek and Calaveras Faults as shown on Figure 5. The closest major active fault is the San Andreas, which is approximately 10 kilometers to the west. The most recent major earthquake to affect the Bay Area was the Loma Prieta Earthquake of 17 October 1989, in the Santa Cruz Mountains with a M_w of 6.9, approximately 98 km from the site.

The U.S. Geological Survey's Working Group on California Earthquake Probabilities (2013) has compiled the earthquake fault research for the San Francisco Bay area in order to estimate the probability of fault segment rupture. They have determined that the overall probability of moment magnitude 6.7 or greater earthquake occurring before 2037 is 72 percent.

The seismicity of the site is governed by the activity of the San Andreas Fault, although ground shaking from future earthquakes on other faults would also be felt at the site. The intensity of earthquake ground motion at the site will depend upon the characteristics of the generating fault, distance to the earthquake epicenter, and magnitude and duration of the earthquake. We judge that strong to violent ground shaking could occur at the site during a large earthquake on one of the nearby faults.

GEOLOGIC HAZARDS

The project site is in a seismically active region. A preliminary discussion regarding geologic hazards and their impact on the site follows.

Ground Shaking

The seismicity of the site is governed by the activity of the San Andreas Fault, although ground shaking from future earthquakes on other faults would also be felt at the site. The intensity of earthquake ground motion at the site will depend upon the characteristics of the generating fault, distance to the earthquake epicenter, and magnitude and duration of the earthquake. We judge that strong to violent ground shaking could occur at the site during a large earthquake on one of the nearby faults.

Fault Rupture

No active faults are known to exist within the City and County of San Francisco (Blume, 1974). Historically, ground surface displacements closely follow the trace of geologically young faults.

Slope Stability

No documented landslides were found to be present at the site; (Blume, 1974). Most of the regional slide deposits are mapped in ravines and swales and/or generally occur on steeper bedrock slope gradients.

Liquefaction and Associated Hazards

When a saturated, cohesionless soil liquefies, it experiences a temporary loss of shear strength created by a transient rise in excess pore pressure generated by strong ground motion. Soil susceptible to liquefaction includes loose to medium dense sand and gravel, low-plasticity silt, and some low-plasticity clay deposits. Flow failure, lateral spreading, differential settlement, loss of bearing strength, ground fissures and sand boils are evidence of excess pore pressure generation and liquefaction.

The site is not mapped within a liquefaction seismic hazard zone.

Cyclic Densification

Cyclic densification is the densification of non-saturated sand above the groundwater table due to shaking and can occur during an earthquake, resulting in settlement of the ground surface and overlying improvements.

The near surface soils are mapped as Dune Sand. Consequently, loose clean sand may be present at the site. Cyclic densification may occur at the site where loose clean sands are present and not removed/improved by the proposed construction.

PRELIMINARY CONCLUSIONS AND RECOMMENDATIONS

Our preliminary geotechnical conclusions and recommendations regarding design and construction are presented in the remainder of this letter. The conclusions and recommendations presented herein should be re-evaluated based on either a site-specific field investigation or relevant subsurface information or both. A final geotechnical report should be prepared by us prior to finalizing the design of the proposed improvements.

Undocumented Fill

Undocumented fill may be encountered at the site. Undocumented fill should not be relied upon for foundation support. Where new concrete flatwork or pavements are proposed, any undocumented fill should be reworked.

Groundwater

Groundwater is typically encountered at the interface between geologic contacts, (fill/native, sand/clay and soil/bedrock). Any excavation on a hillside may encounter groundwater and seasonal springs may be present even though no evidence of these springs are encountered during construction. Where groundwater or evidence of groundwater is encountered during construction, we should be notified to evaluate if additional measures are required to control the flow of groundwater at the site.

The final design should include measures to intercept groundwater where it may impact the proposed construction. This may include but is not limited to: drainage behind retaining walls, under-slab-drainage, French drains and area drains to intercept groundwater and surface run-off, and waterproofing. The need for under-slab-drainage should be evaluated based on the waterproofing design. Where collected, groundwater should be discharged to a suitable collection point. In San Francisco, intercepted groundwater is typically re-directed to the combined sewer-storm water system.

Waterproofing is typically installed where the construction of habitable space is below the ground surface and waterproofing for basements is generally required by the building code. While we may provide guidance regarding waterproofing, the design and implementation of any waterproofing system is beyond the scope of our services. The waterproofing system should be designed and inspected by others.

Site Preparation, Grading and Engineered Fill

The contractor should be familiar with the use of standard compaction equipment and moisture conditioning of soil. We can provide additional recommendations regarding the placement of engineered fill and moisture conditioning upon request.

In areas to receive fill or other improvements; flatwork, existing pavements, foundations, abandoned utilities, vegetation, organic topsoil and other deleterious materials should be removed and disposed of prior to any grading activities.

Where new fill is required behind retaining walls, adjacent to foundations and below new improvements, it should be engineered in place.

Engineered fill consists of fill material which has been approved for use by the geotechnical engineer and placed in a manner as recommended by the geotechnical engineer. Engineered fill may consist of either on-site soil, select fill (imported to the site) or in some cases lean concrete. Lean concrete and native (on-site) soils should only be used if specifically approved by the geotechnical engineer.

Engineered fill (soil) should be placed in horizontal layers not exceeding eight inches in loose thickness, moisture-conditioned to above the optimum moisture content, and compacted to at least 90 percent relative compaction. The upper six inches of the soil subgrade for flatwork areas should be compacted to at least 95 percent relative compaction. Fill deeper than five feet should be compacted to at least 95 percent relative compaction.

Select fill should consist of soil that is non-corrosive, free of organic matter, smaller than three inches in greatest dimension, has a liquid limit less than 40 and a plasticity index less than 12. It is the contractor's

responsibility to check that any fill meet the project requirements. Samples may be submitted to the geotechnical engineer for testing at least three business days prior to use at the site.

Excavation

Excavations that will be deeper than five feet and will be entered by workers should be shored or sloped in accordance with the Occupational Safety and Health Administration (OSHA) standards (29 CFR Part 1926). The shoring designer should be responsible for the shoring design. The contractor should be responsible for the construction and safety of temporary slopes and shoring.

Temporary Slopes

Where space permits, temporary excavation slopes should be no steeper than 2:1 (horizontal:vertical) in native soils and no steeper than 3:1 in clean sand and undocumented fill. Vertical cuts of less than five feet may be performed in very stiff to hard native clays and bedrock provided: any adjacent improvement (i.e. adjacent foundations) are a minimum distance away from the toe of the cut equal to the height of the cut and these vertical cuts are approved by us. Vertical cuts should not be performed in the Dune Sand mapped at the site.

Shoring

We anticipate that shoring will be required for the proposed improvements. Shoring will likely consist of soldier pile and lagging cantilever shoring with a maximum retained height of about 10 feet. Permeation grouting may also be required in conjunction with or used in lieu of lagging to mitigate the potential for flowing sands through the lagging boards and facilitate excavation. The actual shoring type should be determined based on future geotechnical studies and the final project plans.

Underpinning

Where adjacent foundations may be impacted by the excavation and the proposed shoring system is not adequate to reduce potential movements, the adjacent foundations should be underpinned. Hand-dug underpinning pits extending approximately three feet below the bottom of the proposed excavation are likely the most economical underpinning for a project of this scope.

Construction Considerations and Monitoring

If the contractor encounters any adjacent foundation not identified on the structural plans, weak soil/rock or flowing sands during excavation, the excavation should be halted immediately and measures should be taken to mitigate any potential movement. We should be contacted immediately to provide additional consultation. We recommend the contractor investigate the location and depth of adjacent foundations prior finalizing excavation plans.

During excavation, the shoring system may deform laterally, which could cause the ground surface adjacent to the shoring walls to settle. The magnitudes of shoring movements and the resulting settlements are difficult to estimate because they depend on many factors, including the method of installation and the contractor's skill in the shoring installation. We believe that the movements of a properly designed and constructed shoring system should be within ordinary accepted limits of less than one inch. A monitoring program should be established to evaluate the effects of the construction on the adjacent buildings and surrounding ground.

The contractor should be responsible for all temporary cuts, slopes and shoring systems used at the site and should have a competent person on-site who is able to evaluate proposed excavations and soil/bedrock conditions.

Permanent Slopes

Where the existing slopes are re-graded for the proposed improvements, permanent slopes in soil should be graded to a maximum inclination of 2:1 (horizontal:vertical). Steeper slopes may be allowed and should be evaluated on a case-by case basis. Erosion may occur on any slope and maintenance will likely be required. A landscaping plan can be used to minimize erosion and minor sloughing on slopes with inclinations of 2:1 or less. To protect against slope erosion, surface runoff should be redirected away from slopes.

Surface Drainage

Positive surface drainage should be provided at the site to direct surface water away from new and existing foundations as well as the top of retaining walls and slopes. To reduce the potential for water ponding adjacent to the improvements, we recommend the ground surface within a horizontal distance of five feet from the improvement slope down and away with a surface gradient of at least two percent in unpaved areas and one percent in paved areas.

Positive surface drainage should also be provided in crawl spaces, if any, beneath the new improvements. The crawl space should be covered with at least two inches of concrete (“ratproofing”) sloped to drain at an inclination of at least one percent to a suitable discharge point. As required, the discharge can be through one-inch-diameter weepholes through retaining walls and redirected to a suitable collection point.

Foundations

Foundations should either bear on similar geologic units or should be designed for differential settlements. We anticipate that foundations will be designed to bear on the Dune Sand (bearing layer) mapped at the site.

We preliminarily recommend that new foundations consist of either continuous shallow foundations of individual spread footings interconnected by stiffened grade beams. Localized areas of soft/medium stiff soil or disturbed bedrock maybe encountered during construction. Weak soil should be over-excavated and replaced with lean concrete. The extent of the over-excavation required should be evaluated in the field by us. We should check the bearing layer once foundation subgrade has been achieved and prior to the placement of re-bar or any other material.

Footings should be a minimum of 18 inches deep or extend at least 12 inches into the bearing layer; whichever is deeper. Footings should be at least 18 inches wide for continuous footings and 24 inches wide for isolated spread footings.

Where proposed foundations are within seven feet of the top of a slope, they should be deepened such that there is a minimum of seven feet between the top of the footing and face of slope. Footings adjacent

to utility trenches (or other footings) should bear below an imaginary 1.5:1 (horizontal:vertical) plane projected upward from the bottom edge of the utility trench (or adjacent footings).

Shallow foundations designed in accordance with the recommendations presented herein should not settle more than 1 inch; differential settlements should not exceed more than ½ inch in 30 feet. Larger, relatively abrupt differential settlements may occur at the transition between different geologic units.

For the recommended minimum embedment, footings constructed on the bearing layer and observed by us may be designed for an allowable bearing pressure of 2,000 pounds per square foot (psf) for dead plus live loads, with a one-third increase for total loads, including wind and/or seismic loads.

Lateral loads on footings can be resisted by a combination of passive resistance acting against the vertical faces of the footings and friction along the bases of the footings. Passive resistance may be calculated using lateral pressures corresponding to an equivalent fluid weight of 250 pounds per cubic foot (pcf); the upper foot should be ignored unless confined by a concrete slab or pavement. Frictional resistance of concrete poured directly on soil should be computed using a base friction coefficient of 0.35; where waterproofing or a vapor barrier is used the coefficient should be reduced to 0.20. The passive resistance and base friction values include a factor of safety of about 1.5 and may be used in combination without reduction.

Uplift loads may be resisted by the weight of the footing and any overlying soil. If footings are inadequate to provide the necessary uplift resistance, drilled piers may be used.

Footing excavations should be free of standing water, debris, and disturbed materials prior to placing concrete.

Permanent Retaining Walls

Retaining walls may be supported by the foundation system described in the previous section.

Retaining walls that are free to rotate at the top may be designed using an active earth pressure. Restrained basement walls (no movement allowed at the top of wall) should be designed for at-rest pressures.

Because the site is in a seismically active area, retaining walls are typically designed to resist pressures associated with earthquake forces. The structural engineer should determine if a seismic increment should be included in the design. If a seismic increment is included in the design, we recommend retaining walls be designed to resist the greater of either the at-rest pressure or active earth pressure plus a seismic increment. At a minimum, any retaining wall should be designed for a Factor of Safety of at least 1.5.

Where new or existing foundations are located behind retaining walls and an imaginary plane taken from the bottom of the footing projected at 1.5:1 (horizontal to vertical) downward intersects the retaining wall, additional surcharge pressures should be included to account for vertical and lateral foundation loading on the retaining wall.

Water can accumulate behind the walls from perched groundwater and other sources, such as rainfall, irrigation, and broken water lines. One acceptable method for back draining the wall is to place a prefabricated drainage panel against the backside of the wall. The drainage panel would typically extend down to either: a prefabricated drainage trench, a perforated PVC collector pipe at the base of the wall or weep holes. Water which drains through the weep holes should not be allowed to pond and should be diverted to a suitable collection system.

Where walls are not back drained, an additional hydrostatic load of 62.4 pcf should be added to the lateral pressures indicated above.

Concrete Slab-on-Grade Floors

Subgrade for concrete slab-on-grade floors should consist of undisturbed native soil and/or bedrock or engineered fill. In general, water vapor transmission through the floor slab should be reduced where there is potential for finished floor coverings to be adversely affected by moisture. This may be achieved using waterproofing, a vapor barrier or both.

If a vapor barrier is installed, it should be underlain by a capillary moisture break. A capillary moisture break consists of at least four inches of clean, free-draining gravel or crushed rock. The vapor barrier should meet the requirements for Class C vapor retarders stated in ASTM E1745-97. The vapor retarder should be placed in accordance with the requirements of ASTM E1643-98. These requirements include overlapping seams by six inches, taping seams, and sealing penetrations in the vapor retarder. The vapor retarder should be covered with two inches of sand to aid in curing the concrete and to protect the vapor retarder during slab construction. The particle size of the gravel/crushed rock and sand should meet the gradation requirements presented in Table 1.

The sand overlying the membrane should be moist, but not saturated, at the time concrete is placed. Excess water trapped in the sand could eventually be transmitted as vapor through the slab. If rain is forecast prior to pouring the slab, the sand should be covered with plastic sheeting to avoid wetting. If the sand becomes wet, concrete should not be placed until the sand has been dried or replaced.

The presence of a capillary break and vapor barrier may not eliminate all moisture transmission through the concrete floor slab. As required and before the final floor covering is placed, the contractor should the moisture emission levels.

TABLE 1
GRADATION REQUIREMENTS FOR CAPILLARY MOISTURE BREAK

Sieve Size	Percentage Passing Sieve
Gravel or Crushed Rock	
1 inch	90 – 100
3/4 inch	30 – 100
1/2 inch	5 – 25
3/8 inch	0 – 6
Sand	
No. 4	100
No. 200	0 – 5

Concrete Flatwork and Pavers

Concrete flatwork may be underlain by Class II aggregate base to reduce the potential for differential settlement; if desirable we recommend a minimum of 4 or 6 inches of Class II aggregate base compacted to 95 percent relative compaction for pedestrian and vehicular traffic, respectively. Area drains may be used to collect surface run-off.

Where concrete flatwork is constructed on a slope, concrete keys may be required to reduce the potential for downhill movement of the constructed flatwork.

The velocity of surface runoff may be reduced using permeable pavers, which allow surface water to infiltrate the pavers; however since the project is located at the top of a slope, we recommend that infiltration into the underlying soil/rock not be allowed and a subdrain system should be installed below the pavers to divert the surface water to a suitable collection system.

We should evaluate the soil subgrade prior to placement of the pavers or flatwork. Where weak fill and/or soil is encountered, it should be replaced with engineered fill. Where wet or dry soil is encountered, it should be ripped a minimum of six inches and moisture conditioned to near optimum moisture content.

The required thicknesses of the permeable aggregate base and subbase courses and geotextile required will depend on the infiltration and water storage design requirements, as well as the pedestrian/traffic loading demand. We can provide additional geotechnical recommendations and/or a review of the final pavement plans upon your request.

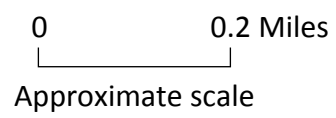
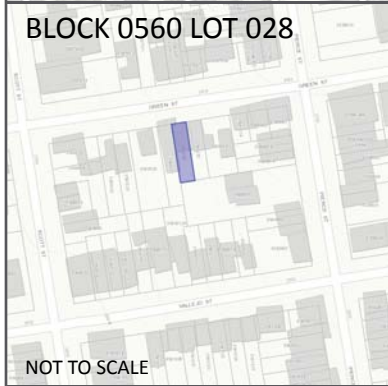
SEISMIC DESIGN

For design in accordance with the 2013 San Francisco Building Code (SFBC), we preliminarily recommend Site Class D (stiff soil) be used. Site seismic design factors are presented on Figure 6. The factors presented should be considered preliminary until checked by your structural engineer.


LIMITATIONS

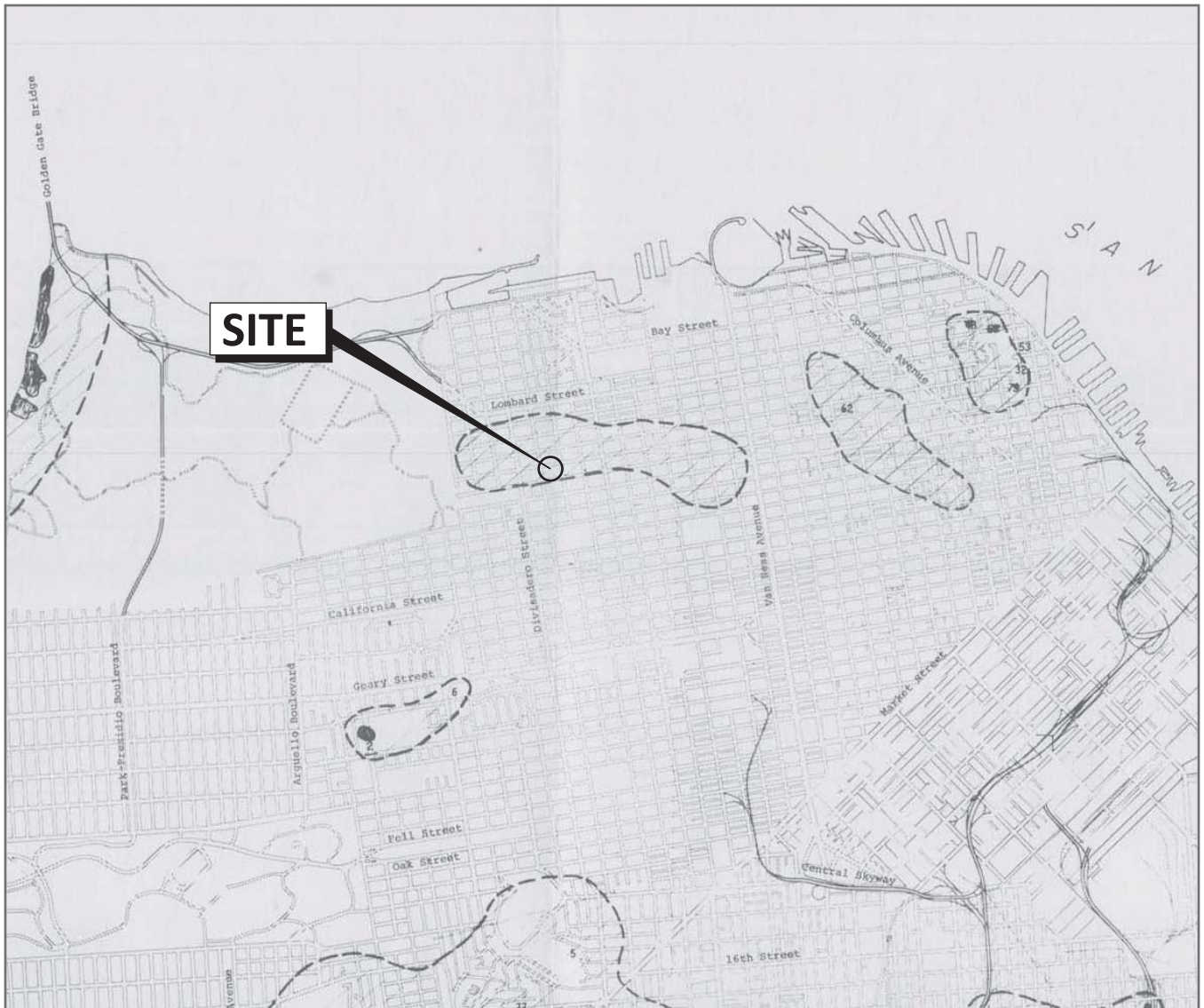
This preliminary geotechnical study has been conducted in accordance with the standard of care commonly used as state-of-practice in the profession. No other warranties are either expressed or implied. A final geotechnical report based on a site specific field study and/or appropriate available on-site subsurface information should be prepared prior to finalizing any design. Corrosivity of the soil and/or bedrock is beyond the scope of this report. The recommendations made in this report are intended to protect the life and safety of occupants within the structure during a major seismic event on a nearby fault; damage to the structure and other improvements may still occur due to seismic forces on the proposed improvements. Our recommendations are only valid where the actual field conditions are observed by us.

FIGURES





Base map: (c) 2017 san francisco planning department

	<p>2417 GREEN STREET San Francisco, California</p>	<p>SITE LOCATION MAP</p>	
		<p>Date 01/12/17</p>	<p>17-120101-01</p>



EXPLANATION

-  outline of slide area
-  areas of potential landslide hazard
- 7 location of slide, SFDBI
those underlined are active slides



0 2000 4000 Feet



Approximate scale

Base map: John A. Blume & Associates, Engineers, (1974). Figure 4, Landslide Locations, San Francisco Seismic Safety Investigation, June 1974.



2417 GREEN STREET
San Francisco, California

**SAN FRANCISCO SLOPE
PROTECTION ACT MAP**

Date 01/12/17 | 17-120101-01 | Figure 2



EXPLANATION



Liquefaction: Areas where historic occurrence of liquefaction, or local topographic, geological, geotechnical, and subsurface water conditions indicate a potential for permanent ground displacements.



Earthquake-Induced Landslides: Areas where previous occurrence of landslide movement, or local topographic, geological, geotechnical, and subsurface water conditions indicate a potential for permanent ground displacements.



0 1000 2000 Feet



Approximate scale

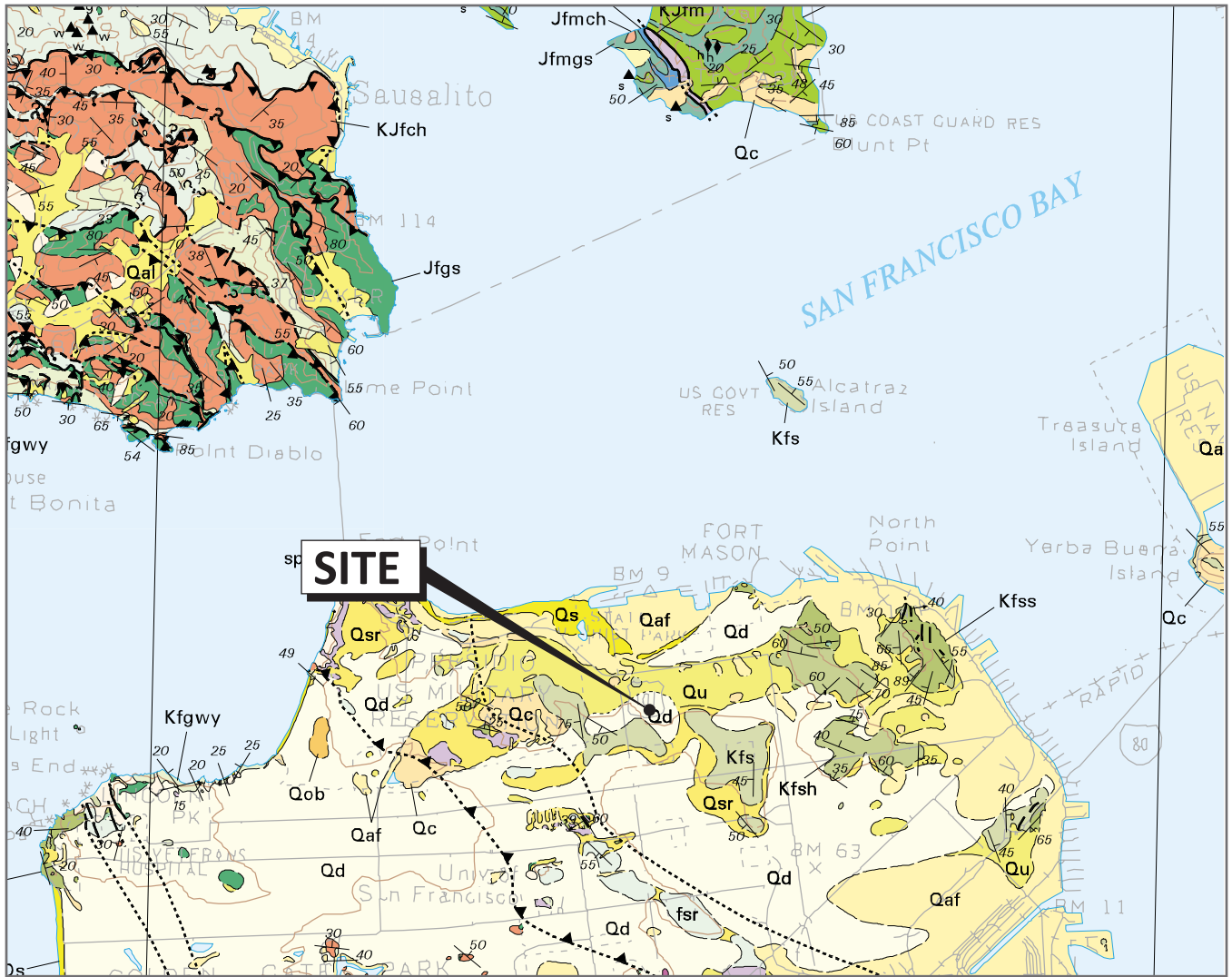
Base map: State of California, Seismic Hazard Zones City and County of San Francisco, Official Map, Released November 17, 2001.



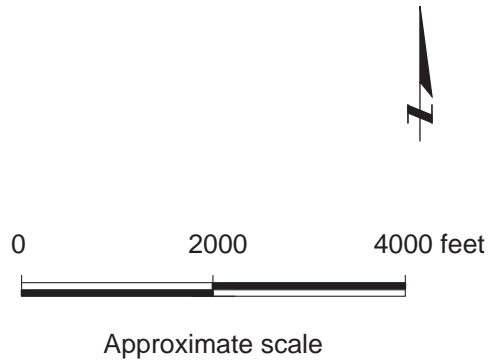
2417 GREEN STREET
San Francisco, California

**SEISMIC HAZARD
ZONE MAP**

Date 01/12/17 | 17-120101-01 | Figure 3



- water
- Qaf Artificial fill
- Qd Dune Sand (Quaternary)
- Qu Undifferentiated surficial deposits (Quaternary)
- fsr Mélange
- Jfgs Greenstone (Jurassic)
- KJfch Chert (Cretaceous and Jurassic)
- sp Serpentine



Reference: Geologic Map and Map Database of Parts of Marin, San Francisco, Alameda, Contra Costa and Sonoma Counties, California, prepared by M.C. Blake Jr., R.W. Graymer, and D.L. Jones, dated 2000






2417 GREEN STREET
San Francisco, California

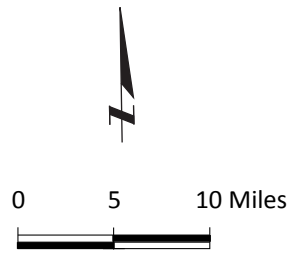
REGIONAL GEOLOGIC MAP

Date 01/12/17 | 17-120101-01 | Figure 4



FAULT TYPE

-  Strike slip
-  Thrust (Reverse)
-  Normal



Base Map: U.S. Geological Survey, National Seismic Hazards Maps - Fault Sources, 2008.

Approximate scale



2417 GREEN STREET
San Francisco, California

REGIONAL FAULT MAP

Date 01/12/17 | 17-120101-01 | Figure 5

USGS Design Maps Summary Report

User-Specified Input

Building Code Reference Document 2012/2015 International Building Code
(which utilizes USGS hazard data available in 2008)

Site Coordinates 37.79547°N, 122.43933°W

Site Soil Classification Site Class D – “Stiff Soil”

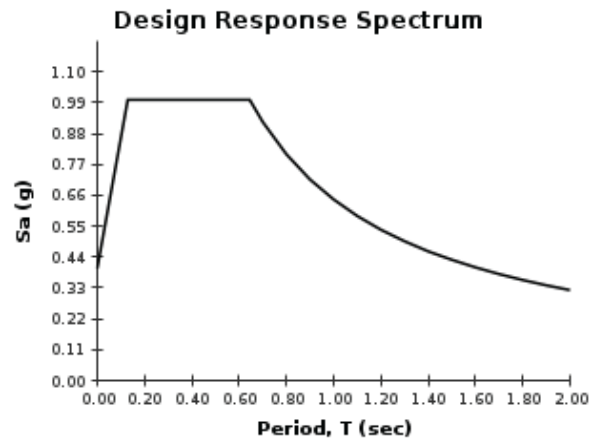
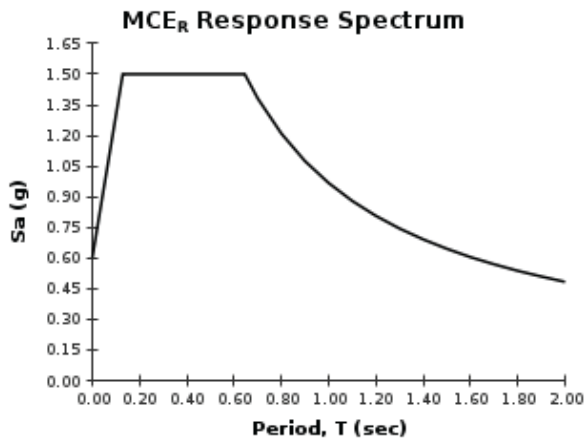
Risk Category I/II/III



USGS-Provided Output

$S_s = 1.500 \text{ g}$	$S_{MS} = 1.500 \text{ g}$	$S_{DS} = 1.000 \text{ g}$
$S_1 = 0.645 \text{ g}$	$S_{M1} = 0.967 \text{ g}$	$S_{D1} = 0.645 \text{ g}$

For information on how the SS and S1 values above have been calculated from probabilistic (risk-targeted) and deterministic ground motions in the direction of maximum horizontal response, please return to the application and select the “2009 NEHRP” building code reference document.



Although this information is a product of the U.S. Geological Survey, we provide no warranty, expressed or implied, as to the accuracy of the data contained therein. This tool is not a substitute for technical subject-matter knowledge.

APPENDIX A

IMPORTANT INFORMATION REGARDING YOUR GEOTECHNICAL REPORT

Important Information about Your Geotechnical Engineering Report

Subsurface problems are a principal cause of construction delays, cost overruns, claims, and disputes.

While you cannot eliminate all such risks, you can manage them. The following information is provided to help.

Geotechnical Services Are Performed for Specific Purposes, Persons, and Projects

Geotechnical engineers structure their services to meet the specific needs of their clients. A geotechnical engineering study conducted for a civil engineer may not fulfill the needs of a construction contractor or even another civil engineer. Because each geotechnical engineering study is unique, each geotechnical engineering report is unique, prepared *solely* for the client. No one except you should rely on your geotechnical engineering report without first conferring with the geotechnical engineer who prepared it. *And no one — not even you — should apply the report for any purpose or project except the one originally contemplated.*

Read the Full Report

Serious problems have occurred because those relying on a geotechnical engineering report did not read it all. Do not rely on an executive summary. Do not read selected elements only.

A Geotechnical Engineering Report Is Based on A Unique Set of Project-Specific Factors

Geotechnical engineers consider a number of unique, project-specific factors when establishing the scope of a study. Typical factors include: the client's goals, objectives, and risk management preferences; the general nature of the structure involved, its size, and configuration; the location of the structure on the site; and other planned or existing site improvements, such as access roads, parking lots, and underground utilities. Unless the geotechnical engineer who conducted the study specifically indicates otherwise, do not rely on a geotechnical engineering report that was:

- not prepared for you,
- not prepared for your project,
- not prepared for the specific site explored, or
- completed before important project changes were made.

Typical changes that can erode the reliability of an existing geotechnical engineering report include those that affect:

- the function of the proposed structure, as when it's changed from a parking garage to an office building, or from a light industrial plant to a refrigerated warehouse,

- elevation, configuration, location, orientation, or weight of the proposed structure,
- composition of the design team, or
- project ownership.

As a general rule, *always* inform your geotechnical engineer of project changes—even minor ones—and request an assessment of their impact. *Geotechnical engineers cannot accept responsibility or liability for problems that occur because their reports do not consider developments of which they were not informed.*

Subsurface Conditions Can Change

A geotechnical engineering report is based on conditions that existed at the time the study was performed. *Do not rely on a geotechnical engineering report* whose adequacy may have been affected by: the passage of time; by man-made events, such as construction on or adjacent to the site; or by natural events, such as floods, earthquakes, or groundwater fluctuations. *Always* contact the geotechnical engineer before applying the report to determine if it is still reliable. A minor amount of additional testing or analysis could prevent major problems.

Most Geotechnical Findings Are Professional Opinions

Site exploration identifies subsurface conditions only at those points where subsurface tests are conducted or samples are taken. Geotechnical engineers review field and laboratory data and then apply their professional judgment to render an opinion about subsurface conditions throughout the site. Actual subsurface conditions may differ—sometimes significantly—from those indicated in your report. Retaining the geotechnical engineer who developed your report to provide construction observation is the most effective method of managing the risks associated with unanticipated conditions.

A Report's Recommendations Are *Not* Final

Do not overrely on the construction recommendations included in your report. *Those recommendations are not final*, because geotechnical engineers develop them principally from judgment and opinion. Geotechnical engineers can finalize their recommendations only by observing actual

subsurface conditions revealed during construction. *The geotechnical engineer who developed your report cannot assume responsibility or liability for the report's recommendations if that engineer does not perform construction observation.*

A Geotechnical Engineering Report Is Subject to Misinterpretation

Other design team members' misinterpretation of geotechnical engineering reports has resulted in costly problems. Lower that risk by having your geotechnical engineer confer with appropriate members of the design team after submitting the report. Also retain your geotechnical engineer to review pertinent elements of the design team's plans and specifications. Contractors can also misinterpret a geotechnical engineering report. Reduce that risk by having your geotechnical engineer participate in prebid and preconstruction conferences, and by providing construction observation.

Do Not Redraw the Engineer's Logs

Geotechnical engineers prepare final boring and testing logs based upon their interpretation of field logs and laboratory data. To prevent errors or omissions, the logs included in a geotechnical engineering report should *never* be redrawn for inclusion in architectural or other design drawings. Only photographic or electronic reproduction is acceptable, *but recognize that separating logs from the report can elevate risk.*

Give Contractors a Complete Report and Guidance

Some owners and design professionals mistakenly believe they can make contractors liable for unanticipated subsurface conditions by limiting what they provide for bid preparation. To help prevent costly problems, give contractors the complete geotechnical engineering report, *but* preface it with a clearly written letter of transmittal. In that letter, advise contractors that the report was not prepared for purposes of bid development and that the report's accuracy is limited; encourage them to confer with the geotechnical engineer who prepared the report (a modest fee may be required) and/or to conduct additional study to obtain the specific types of information they need or prefer. A prebid conference can also be valuable. *Be sure contractors have sufficient time* to perform additional study. Only then might you be in a position to give contractors the best information available to you, while requiring them to at least share some of the financial responsibilities stemming from unanticipated conditions.

Read Responsibility Provisions Closely

Some clients, design professionals, and contractors do not recognize that geotechnical engineering is far less exact than other engineering disciplines. This lack of understanding has created unrealistic expectations that

have led to disappointments, claims, and disputes. To help reduce the risk of such outcomes, geotechnical engineers commonly include a variety of explanatory provisions in their reports. Sometimes labeled "limitations" many of these provisions indicate where geotechnical engineers' responsibilities begin and end, to help others recognize their own responsibilities and risks. *Read these provisions closely.* Ask questions. Your geotechnical engineer should respond fully and frankly.

Geoenvironmental Concerns Are Not Covered

The equipment, techniques, and personnel used to perform a *geoenvironmental* study differ significantly from those used to perform a *geotechnical* study. For that reason, a geotechnical engineering report does not usually relate any geoenvironmental findings, conclusions, or recommendations; e.g., about the likelihood of encountering underground storage tanks or regulated contaminants. *Unanticipated environmental problems have led to numerous project failures.* If you have not yet obtained your own geoenvironmental information, ask your geotechnical consultant for risk management guidance. *Do not rely on an environmental report prepared for someone else.*

Obtain Professional Assistance To Deal with Mold

Diverse strategies can be applied during building design, construction, operation, and maintenance to prevent significant amounts of mold from growing on indoor surfaces. To be effective, all such strategies should be devised for the *express purpose* of mold prevention, integrated into a comprehensive plan, and executed with diligent oversight by a professional mold prevention consultant. Because just a small amount of water or moisture can lead to the development of severe mold infestations, a number of mold prevention strategies focus on keeping building surfaces dry. While groundwater, water infiltration, and similar issues may have been addressed as part of the geotechnical engineering study whose findings are conveyed in this report, the geotechnical engineer in charge of this project is not a mold prevention consultant; ***none of the services performed in connection with the geotechnical engineer's study were designed or conducted for the purpose of mold prevention. Proper implementation of the recommendations conveyed in this report will not of itself be sufficient to prevent mold from growing in or on the structure involved.***

Rely, on Your ASFE-Member Geotechnical Engineer for Additional Assistance

Membership in ASFE/THE BEST PEOPLE ON EARTH exposes geotechnical engineers to a wide array of risk management techniques that can be of genuine benefit for everyone involved with a construction project. Confer with your ASFE-member geotechnical engineer for more information.



8811 Colesville Road/Suite G106, Silver Spring, MD 20910
Telephone: 301/565-2733 Facsimile: 301/589-2017
e-mail: info@asfe.org www.asfe.org

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SUPPLEMENTAL INFORMATION FOR Historic Resource Determination

1. Current Owner / Applicant Information

PROPERTY OWNER'S NAME: 2417 Green Street, LLC - attention Chris Durkin	
PROPERTY OWNER'S ADDRESS: 474 Euclid Ave San Francisco, CA 94118	TELEPHONE: (415) 407-0486
	EMAIL: chris@durkinincorporated.com

APPLICANT'S NAME: DUMICAN MOSEY ARCHITECTS - attention Eric Dumican		Same as Above <input type="checkbox"/>
APPLICANT'S ADDRESS: 128 10th Street, Floor 3 San Francisco, CA 94103	TELEPHONE: (415) 495-9322	
	EMAIL: edumican@dumicanmosey.com	

CONTACT FOR PROJECT INFORMATION: Eric Dumican		Same as Above <input checked="" type="checkbox"/>
ADDRESS:	TELEPHONE: ()	
	EMAIL:	

2. Location and Classification

STREET ADDRESS OF PROJECT: 2417 Green Street	ZIP CODE: 94123
CROSS STREETS: Pierce and Scott	

ASSESSORS BLOCK/LOT:	LOT DIMENSIONS:	LOT AREA (SQ FT):	ZONING DISTRICT:	HEIGHT/BULK DISTRICT:
0560 / 028	25x100	2500	RH-1	40-X

OTHER ADDRESS / HISTORIC ADDRESS: (if applicable)	ZIP CODE:
---	-----------

3. Property Information

DATE OF CONSTRUCTION: 1906 (water tap)	ARCHITECT OR BUILDER: Builder: LB Floan (per SF Call building announcement and water tap)
---	--

IS PROPERTY INCLUDED IN A HISTORIC SURVEY? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	SURVEY NAME:	SURVEY RATING:
---	--------------	----------------

DESIGNATED PROPERTY: Article 10 or Article 11 CA Register National Register

4. Permit History Table

Please list out all building permits issued from the date of construction to present. Attach photocopies of each.

PERMIT:	DATE:	DESCRIPTION OF WORK:
1.		
2.		
3.		
4.		
5.		
6.		
7.		
8.		

Please describe any additional projects or information about a particular project(s) that is not included in this table:

See attached.

(Attach a separate sheet if more space is needed)

5. Ownership History Table

Please list out all owners of the property from the date of construction to present.

OWNER:	DATES (FROM - TO):	NAME(S):	OCCUPATION
1.			
2.			
3.			
4.			
5.			
6.			
7.			
8.			

Please describe any additional owners or information about a particular owner(s) that is not included in this table:

See attached.

(Attach a separate sheet if more space is needed)De

CASE NUMBER:
 For Staff Use only

6. Occupant History Table

Please list out all occupants/tenants of the property from the date of construction to present.

OCCUP:	DATES (FROM - TO):	NAME(S):	OCCUPATION
1.			
2.			
3.			
4.			
5.			
6.			
7.			
8.			

Please describe any additional occupants or information about a particular occupant(s) that is not included in this table:

See attached.

(Attach a separate sheet if more space is needed)

7. Property / Architecture Description

Please provide a detailed narrative describing the existing building and any associated buildings on the property. Be sure to describe the architectural style and include descriptions of the non-visible portions of the building. Attach photographs of the building and property, including the rear facade.

See attached.

(Attach a separate sheet if more space is needed)

8. Adjacent Properties / Neighborhood Description

Please provide a detailed narrative describing the adjacent buildings and the buildings on the subject block and the block directly across the street from the subject property. Be sure to describe the architectural styles. Attach photographs of all properties.

See attached.

Lined area for providing a detailed narrative description of adjacent properties and buildings.

(Attach a separate sheet if more space is needed)

Applicant's Affidavit

Under penalty of perjury the following declarations are made:

- a. The undersigned is the owner or authorized agent of the owner of this property.
b. The information presented is true and correct to the best of my knowledge.
c. I understand that other applications and information may be required.

Handwritten signature of the applicant in blue ink.

Signature of Applicant

02/14/17

Date

Print name, and indicate whether owner, or authorized agent:

Eric Dumican

Owner / Authorized Agent (circle one)

Submittal Checklist

The Supplemental Information for Historic Resource Determination must be complete before the Planning Department will accept it and begin review. Please submit this checklist along with the required materials.

CHECKLIST	REQUIRED MATERIALS	NOTES
<input checked="" type="checkbox"/>	Form, with all blanks completed	
<input checked="" type="checkbox"/>	Photograph(s) of subject property: Front facade	
<input type="checkbox"/>	Photograph(s) of subject property: Rear facade	
<input type="checkbox"/>	Photograph(s) of subject property: Visible side facades	
<input checked="" type="checkbox"/>	Building Permit History (Question 4), with copies of all permits	
<input checked="" type="checkbox"/>	Historic Sanborn Fire Insurance Maps	
<input checked="" type="checkbox"/>	Ownership History (Question 5)	
<input checked="" type="checkbox"/>	Occupant History (Question 6)	
<input checked="" type="checkbox"/>	Descriptive narrative of subject building (Question 7)	
<input checked="" type="checkbox"/>	Photos of adjacent properties and properties across the street along with a descriptive narrative of adjacent properties and the block (Question 8)	
<input type="checkbox"/>	Historic photographs, if applicable	
<input type="checkbox"/>	Original building drawings, if applicable	
<input type="checkbox"/>	Other: Periodical articles related to the property, for example, articles on an owner or occupant of the building or of the architect; historic drawings of the building; miscellaneous material that will assist the Preservation Planner make the historical resource determination under CEQA.	

NOTE: Please note that some applications will require additional materials not listed above. The above checklist does not include material needed for CEQA review of other impacts and is solely limited to historic resource analysis. For further information about what must be submitted for CEQA review, please refer to the *Environmental Evaluation Application*.

For Department Use Only

Application received by Planning Department:

By: _____

Date: _____

1. Current Owner / Applicant Information

See primary form

2. Location and Classification

See primary form

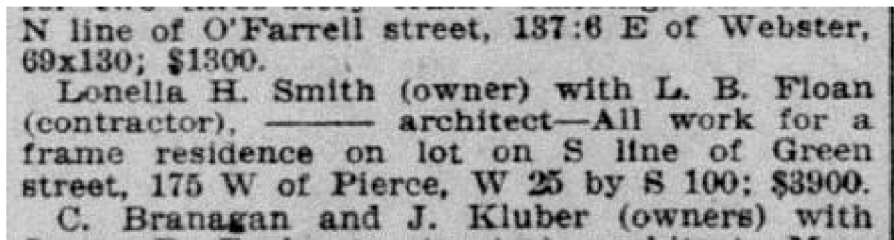
3. Property Information

See primary form

4. Permit History Table

Permit:	Date:	Description of Work:
1	3/13/1911	To reshingle south side of roof of main building. And build 2 dormer windows on same side about 2'x3' each. Each window to be roofed with tin. Also cut doorway from bathroom on attic floor to rough attic.
2	5/3/1954	A reinforced concrete garage will be constructed under house as per plans.
3	8/1/1960	Construct retaining wall in backyard.
4	6/15/1971	To replace shingles on front and sides plus cleaning off old shingle roof and preparing for new slate roof.
5	7/18/1972	Complete porch and replace roof.
6	2/13/1973	Complete work started on 411423. Complete porch and replace roof.
7	8/16/1982	Fungus repair
8	1/13/1986	illegible
9	6/22/2007	Partial underpinning of foundation due to excavation at 2415 Green Street
10	7/6/2007	Partial underpinning of foundation due to excavation at 2415 Green Street (revised plans)
11	2/19/2009	To obtain final inspection for work approved under PA 2007066100. All work completed.

No original building permit was located at DBI; however the following building announcement was located in the San Francisco Call on 12/5/1905:



5. Ownership History Table

Owner	Dates (From - To)	Names	Occupation
1	4/14/1906-10/19/1906	HA & Lovella H. Smith	
2	10/19/1906-?	Georgia H. Sawyer	

3	?-10/19/1918	Frank & Ada Elmendorf	Hats
4	10/19/1918-3/4/1924	Georgia H. Sayers*	
5	3/4/1924-4/26/1943	Eugene & Mary Kilgore	Physician
6	4/26/1943-10/2/1951	Mary Kilgore	
7	10/2/1951-5/23/1952	Eugene S Kilgore Jr, Elinor S. Kilgore & Kathryn Kilgore Winslow	
8	5/23/1952-9/8/1982	Walter & Inez Lloyd	Cabinet maker, teacher
9	9/8/1982-12/14/2016	Edward L. Strobehn & Heather Ross	
10	12/14/2016-present	Christopher Durkin	

* It is unclear if Georgia Sawyer and Georgia Sayers are the same person. Information on Sawyer's ownership was taken from the San Francisco Call, while information on Sayers' ownership was taken from the city sales ledgers.

6. Occupant History Table

Occupant	Dates (From - To)	Names	Occupation
1	1907-1918	Frank M (Ada) Elmendorf	Fannin & Elmendorf Co; president, the Elmendorf Hat Company
2	1907	LM Elmendorf	
3	1917	John B. McCormick	
4	1918	Reynolds (Marjorie) McHenry	draftsman, Leland S Rosener
5	1920-1941	Eugene S (Mary) Kilgore	physician
6	1923-1930	Thomas A Kilgore	printing
7	1943-1949	Elinor Kilgore	nurse
8	1943-1949	Eugene Kilgore Jr	US Army
9	1943-1949	Mrs. Mary Kilgore	
10	1955-1963	Inez Lloyd	teacher
11	1955-1981	Walter S Lloyd	cabinet maker
12	1982	vacant	

7. Property / Architecture Description

2417 Green Street sits on the south side of Green between Scott and Pierce Streets. The street slopes up dramatically to the west. The building sits back slightly from the front lot line and abuts both neighboring buildings. The surrounding buildings have a variety of setbacks.

2417 Green Street is a three story over basement rectangular plan single family residence clad in concrete, brick, and wooden shingles and capped with a side gable roof. The basement level is clad in concrete and features a single roll up garage door at left. To the right of this is a quarter turn concrete stair leading to an entry porch that spans the left side of the first story. There is a flush wood pedestrian door at the mid-point landing on the stairs. The porch and part of the stairs are enclosed by a decorative metal railing with concrete pillars. The first story is clad in brick. The primary entrance is on the left side and sits within a slight recess. It features a paneled and multi-lite door topped with an art glass transom. There is a projecting chimney at the center of the façade. There are three wood sash multi-lite casement windows on this story: two to the right of the chimney and one to the left. The first and second stories are separated by a solid band course. The second and third stories are clad in wooden shingles, and the second story flares out slightly at the base. Both upper stories feature a pair of large matching windows with wooden surrounds and a projecting cornice at top. The second story windows are fixed wood sash windows, while the third story features two part aluminum sash windows with a large fixed lite next to a casement window. The façade terminates with a projecting cornice supported by corner brackets below a projecting eave. A brick chimney rises from the center of the roofline.

8. Adjacent Properties / Neighborhood Description

The subject building is the Pacific Heights neighborhood. The neighboring buildings were constructed between 1900 and 1956. Architectural styles present include Classical Revival, Queen Anne Victorian, Mediterranean Revival, Tudor, Craftsman and Modern. Although all buildings are of a similar large scale, there is little visual unity on the block due to the wide range of styles present.

Photographs of Subject Property



2417 Green Street

Permits

OFFICIAL COPY

SAN FRANCISCO
DEPARTMENT OF
BUILDING INSPECTION

No. 24590

APPLICATION OF
Francis M. E. Lamendy, Owner
To make alterations or repairs at

Location 2417 Green Street
Estimated Cost \$ 126.00

Fee \$

Filed March 13 1911
MAR 13 1911

Referred to Inspector S. D. ...

Approved: [Signature] Chief Building Inspector
March 15-1911

MAR 15 1911

OFFICIAL COPY



Department of Building Inspection
Public Works No. 1.

L. B. & P. S. Co.

WRITE IN INK—FILE 2 COPIES

TO THE HONORABLE

THE BOARD OF PUBLIC WORKS

OF THE CITY AND COUNTY OF SAN FRANCISCO

Gentlemen:

The undersigned respectfully petition your Honorable Board for permission to do the following work at

corner side of 2417 Green street feet of street

WRITE PLAINLY FULL DESCRIPTION OF WORK TO BE DONE

To re-shingle south side of roof of main building. And build 2 dormer windows on same side about 2' x 3' each. Said windows to be roofed with tin. Also cut down way from Bathroom on other floor to rough attic. Not to exceed 40%

Estimated cost of work, \$ 125.00

Building to be used as John Ferguson Residence

In consideration of the granting of the foregoing application, I hereby agree to save the City and County of San Francisco harmless from all costs and damages which may accrue from the use or occupancy of the sidewalk, street or sub-sidewalk space in the said work.

Name of Builder John Ferguson } Frank M. Edmundo Owner
Address 1739 Union St } 2417 Green St Address
Name of Architect } Per John Ferguson
Address }

Report favorably

J.P. [Signature] Inspector
Mar. 14 1911

BLDG. FORM
No. 16875
3

APPLICATION OF
Mr. & Mrs. Walter J. Slagter Owner
FOR PERMIT TO MAKE
ADDITIONS, ALTERATIONS or REPAIRS
TO BUILDING

Location 2417 Green St.

Total Cost \$ 3000.00
Filed April 16 1954

Approved: _____
MAY 3 1954

Superintendent, Bureau of Building Inspection
Permit No. 147745
Issued MAY 3-1954

*Shaping of sidewalk at
REFER TO drawings*
Bureau of Engineering
BBH Struct. Engineer
Boiler Inspector
Art Commission
Dept. of Public Health

Approved APR 16 1954

Building Inspector, Bureau of Building Inspection
I agree to comply with all conditions or stipulations of the various Bureaus or Departments noted herein.
Adam Strvas
Owner's Authorized Agent

Approved: _____
Department of Public Health

Approved: _____
Electrical Inspector

Approved: _____
Art Commission

Approved: _____
Boiler Inspector
ENTRANCE X-WALK NOT TO ENCRDACH ON SIDE WALK AREA. See 4/28/54

HA. F. H. G. WADSWORTH
City Engineer
W. J. ...
CITY ENGINEER
Bureau of Engineering

Approved: _____
Zone _____
CPC Setback None
In case mounted on a wall, individual District only
4/28/54
Department of City Planning

Approved: _____
Department of City Planning

Approved: _____
Bureau of Life Prevention & Public Safety
4-21-54
4/28/54

Approved: _____
Structural Engineer, Bureau Building Inspection

OFFICIAL COPY

SAN FRANCISCO
DEPARTMENT OF PUBLIC WORKS
BUILDING INSPECTION

CENTRAL PERMIT BUREAU FORM 3

Write in Ink—File Two Copies

CITY AND COUNTY OF SAN FRANCISCO DEPT. OF PUBLIC WORKS

DEPARTMENT OF PUBLIC WORKS
BLDG. FORM

RECEIVED
CENTRAL PERMIT BUREAU
1954 APR 19 PM 1:55
BUILDING INSPECTION

APPLICATION FOR BUILDING PERMIT
ADDITIONS, ALTERATIONS OR REPAIRS

3

April 16 1954

Application is hereby made to the Department of Public Works of San Francisco for permission to build in accordance with the plans and specifications submitted herewith and according to the description and for the purpose hereinafter set forth:

- (1) Location 2417 Green St
- (2) Total Cost \$ 3000.00 (3) No. of stories 2 (4) Basement Yes
(Yes or No)
- (5) Present use of building Family Home (6) No. of families 1
- (7) Proposed use of building Garage (8) No. of families 1
- (9) Type of construction Reinforced concrete
1, 2, 3, 4, or 5 Building Code Occupancy Classification
- (10) Any other building on lot No (Must be shown on plot plan if answer is Yes.)
Yes or No
- (11) Does this alteration create an additional floor of occupancy No
Yes or No
- (12) Does this alteration create an additional story to the building No
Yes or No
- (13) Electrical work to be performed Yes Plumbing work to be performed Yes
Yes or No Yes or No
- (14) Ground floor area of building 25 x 50 sq. ft. (15) Height of building 35 ft.
- (16) Detailed description of work to be done a Reinforced concrete garage will be constructed and House as per Plans

(18) No portion of building or structure or scaffolding used during construction, to be closer than 6'0" to any wire containing more than 750 volts. See Sec. 385, California Penal Code.

(19) Supervision of construction by Adam Strass Address 567 Arch St.

(20) General contractor " California License No. 17100
Address 567 Arch St.

(21) Architect _____ California Certificate No. _____
Address _____

(22) Engineer A. V. Saph Jr California Certificate No. _____
Address 693 Mission St.

(23) I hereby certify and agree that if a permit is issued for the construction described in this application, all the provisions of the permit and all laws and ordinances applicable thereto will be complied with. I further agree to save San Francisco and its officials and employees harmless from all costs and damages which may accrue from use or occupancy of the sidewalk, street or subsidewalk space or from anything else in connection with the work included in the permit. The foregoing covenant shall be binding upon the owner of said property, the applicant, their heirs, successors and assignees.

(24) Owner Mr & Mrs Walter S. Lloyd (Phone _____)
Address 2417 Green St. (For Contact by Bureau)

By Adam Strass Address 567 Arch St.
Owner's Authorized Agent to be Owner's Authorized Architect, Engineer or General Contractor.

OFFICIAL COPY



BLDG. FORM

3

No. 88749

APPLICATION OF

Walter Lloyd - Owner

FOR PERMIT TO MAKE ADDITIONS, ALTERATIONS or REPAIRS TO BUILDING

Location 2417 Green St

Total Cost \$ 375.00

Filed JUL 19 1960 7/19/60

APPROVED Dept. Public Works

JUL 26 1960

PHICBY

Superintendent, Bureau of Building Inspection

Permit No. 213512
Issued 8/1/60

REFER TO:

- Bureau of Engineering
- BBI Struct. Engineer
- Boiler Inspector
- Art Commission
- Dept. of Public Health

Approved July 22, 1960

Approved:

Zone Not checked

CFC Backs approved for work

7/25/60 M. Grant

Department of City Planning

Approved:

Department of Public Health

Approved:

Department of Electricity

Approved:

Art Commission

Boiler Inspector

Workman's Compensation, Insurance Policy or Certificate filed with Central Permit Bureau

No Workman's Compensation, Insurance Policy or Certificate on file for reason of exclusion checked:

- (a) No one to be employed
- (b) Casual labor only to be employed
- (c) Services or labor to be performed in return for aid or sustenance only, received from any religious, charitable or relief organization

Approved:

M. E. Bull 7/28/60

Bureau of Fire Prevention & Public Safety

Structural Engineer, Bureau Building Inspection

Approved:

Bureau of Engineering

Signature of Building Inspector

I agree to comply with all conditions or stipulations of the various Bureau or Departments noted hereon.

OWNER or OWNER'S Authorized Agent

OFFICIAL COPY

SAN FRANCISCO
DEPARTMENT OF PUBLIC WORKS
BUILDING INSPECTION

CENTRAL PERMIT BUREAU FORM

Write in Ink—File Two Copies

CITY AND COUNTY OF SAN FRANCISCO

DEPARTMENT OF PUBLIC WORKS
BLDG. FORM

CENTRAL PERMIT BUREAU

3

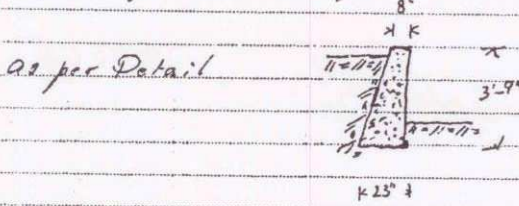
APPLICATION FOR BUILDING PERMIT
ADDITIONS, ALTERATIONS OR REPAIRS

RECEIVED
OFFICE OF PERMITS
JUL 21 1919
BUILDING INSPECTION

Application is hereby made to the Department of Public Works of San Francisco for permission to build in accordance with the plans and specifications submitted herewith and according to the description and for the purpose hereinafter set forth:

- (1) Location 2417 Green St
- (2) Total Cost \$ 375.00 (3) No. of stories 2 (4) Basement Yes
Yes or No
- (5) Present use of building Dwelling (6) No. of families 1
- (7) Proposed use of building Same (8) No. of families 1
- (9) Type of construction 5 (10) Building Code Occupancy Classification 18
1, 2, 3, 4, or 5
- (11) Any other building on lot No (Must be shown on plot plan if answer is Yes.)
Yes or No
- (12) Does this alteration create an additional floor of occupancy No
Yes or No
- (13) Does this alteration create an additional story to the building No
Yes or No
- (14) Electrical work to be performed No Plumbing work to be performed No
Yes or No
- (15) Ground floor area of building 1200 sq. ft. (16) Height of building 30 ft.
- (17) Detailed description of work to be done

Construct Retaining Wall in Backyard
40 ft long and 3'-8" High



as per Detail

(18) No portion of building or structure or scaffolding used during construction, to be closer than 6'0" to any wire containing more than 750 volts. See Sec. 385, California Penal Code.

(19) Supervision of construction by Owner Address _____

(20) General contractor Arvas Bros California License No. 99330
Address 401 Holly Park Circle

(21) Architect _____ California Certificate No. _____
Address _____

(22) Engineer _____ California Certificate No. _____
Address _____

(23) I hereby certify and agree that if a permit is issued for the construction described in this application, all the provisions of the permit and all laws and ordinances applicable thereto will be complied with. I further agree to save San Francisco and its officials and employees harmless from all costs and damages which may accrue from use or occupancy of the sidewalk, street or subsidewalk space or from anything else in connection with the work included in the permit. The foregoing covenant shall be binding upon the owner of said property, the applicant, their heirs, successors and assignees.

(24) Owner Walter Lloyd (Phone _____)
Address 2417 Green St (For Contact by Bureau)

By George Amos Address N. 2-4764

Owner's Authorized Agent to be Owner's Authorized Architect, Engineer or General Contractor.
PERMIT OF OCCUPANCY MUST BE OBTAINED ON COMPLETION OF HOTEL OR APARTMENT HOUSE PURSUANT TO SEC. 808 SAN FRANCISCO BUILDING CODE.

OFFICIAL COPY

SAN FRANCISCO

DEPARTMENT OF BUILDING INSPECTION

BLDG. FORM No. 3 APPLICATION FOR PERMIT TO BUILD

46 *Steele* OFFICE GEOGRAPHY ADDITIONS, ALTERATION or REPAIRS TO BUILDING

Location *2417 Green St*

Total Cost \$ *3,150.00*

Filed *June 11 1971*

APPROVED: JUN 15 1971

APPROVED Dept. Public Works JUN 17 1971

Robert Kelley

Superintendent, Bureau of Building Inspection

Permit No. *256382*

Issued *6/14* 1971

REFER TO:

Bureau of Engineering

BBI Struct. Engineer

Boiler Inspector

Art Commission

Dept. of Public Health

Dept. of Electricity

Redevelopment Agency

Parking Authority

Approved *6/14* 1971

Provided the following conditions are complied with:

Call for electrical inspection with old single conduit

Robert Kelley

Building Inspector, Bureau of Building Inspection

I agree to comply with all conditions or stipulations of the various Bureaus or Departments noted hereon.

Robert Kelley

Owner or Owner's Authorized Agent

Approved:

Department of Public Health

Approved:

Department of Electricity

Approved:

Art Commission

Approved:

Boiler Inspector

Approved:

Redevelopment Agency

Approved:

Parking Authority

No portion of building or structure or scaffolding used during construction to be closer than 6'0" to any wire containing more than 750 volts. See Sec. 385 California Penal Code.

Approved:

Zone *CFC Setbacks*

Department of City Planning

Approved:

Bureau of Fire Prevention & Public Safety

Approved:

Civil Engineer, Bureau of Building Inspection

Approved:

Bureau of Engineering

OFFICIAL COPY



3

CITY AND COUNTY OF SAN FRANCISCO DEPARTMENT OF PUBLIC WORKS

APPLICATION FOR BUILDING PERMIT ADDITIONS, ALTERATIONS OR REPAIRS

June 11, 1971

Application is hereby made to the Department of Public Works of San Francisco for permission to build in accordance with the plans and specifications submitted herewith and according to the description and for the purpose hereinafter set forth:

- (1) Location: 2417 Green St
(2) Total Cost (\$): 3150
(3) No. of Stories: 2
(4) Basement or Cellar: yes
(5) Present Use of building: residence
(6) No. of families: 2
(7) Proposed Use of building: residence
(8) No. of families: one
(9) Type of construction: 5
(10) Proposed Building Code Classification: 2
(11) Any other building on lot: no
(12) Does this alteration create an additional story? no
(13) Does this alteration create a horizontal extension? no
(14) Does this alteration constitute a change of occupancy? no
(15) Electrical work to be performed? no
(16) Plumbing work to be performed? no
(17) Automobile runway to be altered or installed? no
(18) Sidewalk over sub-sidewalk space to be repaired or altered? no
(19) Will street space be used during construction? no
(20) Write in description of all work to be performed under this application: (Reference to plans is not sufficient)

To replace shingles on front and sides plus cleaning off old shingle roof and preparing for new slate roof

- (21) Supervision of construction by: R. Struthers Address: 445 43rd
(22) General Contractor: Samuel G. G. California License No. 176416 Address: 445 43rd Ave
(23) Architect or Engineer (for design): California Certificate No.
(24) Architect or Engineer (for construction): California Certificate No.

(25) I hereby certify and agree that if a permit is issued for the construction described in this application, all the provisions of the permit and all laws and ordinances applicable thereto will be complied with. I further agree to save San Francisco and its officials and employees harmless from all costs and damages which may accrue from use or occupancy of the sidewalk, street or sub-sidewalk space or from anything else in connection with the work included in the permit. The foregoing covenant shall be binding upon the owner of said property, the applicant, their heirs, successors and assigns.

- (26) Owner: Mr. & Mrs. W. Lloyd (Phone WA-1-6567) Address: 2417 Green St S.F.
By: Robert Struthers Address: 445 43rd Ave

Owner's Authorized Agent to be Owner's Authorized Architect, Engineer or General Contractor. CERTIFICATE OF FINAL COMPLETION AND/OR PERMIT OF OCCUPANCY MUST BE OBTAINED ON COMPLETION OF WORK OR ALTERATION INVOLVING AN ENLARGEMENT OF THE BUILDING OR A CHANGE OF OCCUPANCY PURSUANT TO SEC. 808 AND 809, SAN FRANCISCO BUILDING CODE, BEFORE BUILDING IS OCCUPIED.

Pursuant to Sec. 304, San Francisco Building Code, the building permit shall be posted on job. Owner is responsible for approved plans and application being kept at building site.

APPROVAL OF THIS APPLICATION DOES NOT CONSTITUTE AN APPROVAL FOR THE ELECTRICAL WIRING OR PLUMBING INSTALLATIONS. A SEPARATE PERMIT FOR THE WIRING AND PLUMBING MUST BE OBTAINED. THIS IS NOT A BUILDING PERMIT. NO WORK SHALL BE STARTED UNTIL A BUILDING PERMIT IS ISSUED.

CONSTRUCTION LENDER (Enter name and branch designation if any. If there is no known construction lender, enter "unknown") ADDRESS OF CONSTRUCTION LENDER

OFFICIAL COPY

SAN FRANCISCO

FOR DEPARTMENTAL USE ONLY

APPROVED FOR ISSUANCE

JUL 18 1972

DEPARTMENT OF BUILDING INSPECTION

APPROVED

Dept. Public Works

JUL 17 1972

Alfred Goldslag

SUPERINTENDENT

METRO-POLITAN BUILDING INSPECTION

DATE FILED July 12, 1972	FILED FEE RECEIPT NO. 684ad
PERMITTING NO. 368152	ISSUED JUL 18 1972

CITY AND COUNTY OF SAN FRANCISCO
DEPARTMENT OF PUBLIC WORKS

APPLICATION FOR BUILDING PERMIT
ADDITIONS, ALTERATIONS OR REPAIRS

APPLICATION IS HEREBY MADE TO THE DEPARTMENT OF PUBLIC WORKS
OF THE CITY AND COUNTY OF SAN FRANCISCO FOR THE PERMITTING OF THE WORK IN ACCORDANCE WITH
THE PLANS AND SPECIFICATIONS SUBMITTED HERewith AND ACCORDING
TO THE DESCRIPTION AND FOR THE PURPOSE HEREINAFTER SET FORTH:

(1) STREET ADDRESS OF JOB:
2417 Green Street

(3) ESTIMATED COST OF JOB:
\$ 4000.00

BIDG FORM 3
ADDITION OF JAN 1963

same quality as the original.

DESCRIPTION OF EXISTING BUILDING		DESCRIPTION OF BUILDING AFTER PROPOSED ALTERATION	
(4A) TYPE OF CONSTR. 1- <input type="checkbox"/> 2- <input type="checkbox"/> 3- <input type="checkbox"/> 4- <input type="checkbox"/> 5- <input type="checkbox"/>	(5A) NUMBER OF STORIES OF OCCUPANCY: 2	(6A) NUMBER OF BASEMENTS AND CELLARS: 1	(7A) PRESENT USE: residence
(4) TYPE OF CONSTR. 1- <input type="checkbox"/> 2- <input type="checkbox"/> 3- <input type="checkbox"/> 4- <input type="checkbox"/> 5- <input type="checkbox"/>	(5) NUMBER OF STORIES OF OCCUPANCY: 2	(6) NUMBER OF BASEMENTS AND CELLARS: 1	(7) PROPOSED USE: residence
(10A) DOES THIS ALTERATION CREATE ADDITIONAL STORY TO BUILDING? YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	(10) IF YES, STATE NEW HEIGHT AT CENTER LINE OF FRONT: FT.	(11A) DOES THIS ALTERATION CREATE A HORIZONTAL EXTENSION TO BUILDING? YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	(11) IF YES, STATE NEW GROUND FLOOR AREA: SQ. FT.
(14) WILL SIDEWALK OVER SUB-SIDEWALK SPACE BE REPAIRED OR ALTERED? YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	(15) WILL BUILDING EXTEND BEYOND PROPERTY LINE? YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	(16) IS AUTO DRIVEWAY TO BE CONSTRUCTED OR ALTERED? YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	(17) WILL STREET SPACE BE USED DURING CONSTRUCTION? YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>
(19) ANY OTHER EXISTING BLDG. ON LOT (IF YES, SHOW ON PLOT PLAN)? YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	(20) DOES THIS ALTERATION CONSTITUTE A CHANGE OF OCCUPANCY? YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	(21) ELECTRICAL WORK TO BE PERFORMED? YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	(22) PLUMBING WORK TO BE PERFORMED? YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>
(23) GENERAL CONTRACTOR	ADDRESS	CALIF. LICENSE NO.	
(24) ARCHITECT OR ENGINEER (FOR DESIGN)	ADDRESS	CALIF. CERTIFICATE NO.	
(25) ARCHITECT OR ENGINEER (FOR CONSTRUCTION)	ADDRESS	CALIF. CERTIFICATE NO.	
(26) CONSTRUCTION LENDER (ENTER NAME AND BRANCH DESIGNATION IF ANY. IF NONE IS KNOWN-CONSTRUCTION LENDER, ENTER "UNKNOWN")	None	ADDRESS	
(27) OWNER-LESSOR (CROSS OUT ONE)	Walter S. Lloyd	2417 Green St.	Wa 1-65-67

(28) WRITE IN DESCRIPTION OF ALL WORK TO BE PERFORMED UNDER THIS APPLICATION (REFERENCE TO PLANS IS NOT SUFFICIENT):

Complete porch and replace roof

IMPORTANT NOTICES

No change shall be made in the character of the occupancy or use without first obtaining a Building Permit authorizing such change. See Sec. 103, 104.B, 104.B.1, 104.C, 502, 502.1, San Francisco Building Code and Sec. 104, San Francisco Housing Code.

No portion of building or structure or scaffolding used during construction, to be closer than 6'0" to any wire containing more than 750 volts. See Sec. 385, California Penal Code.

Pursuant to Sec. 502.A.8, San Francisco Building Code, the building permit shall be posted on the job. The owner is responsible for approved plans and application being kept at building site.

Grade lines as shown on drawings accompanying this application are assumed to be correct. If actual grade lines are not the same as shown revised drawings showing correct grade lines, cuts and fills together with complete details of retaining walls and wall footings required must be submitted to this bureau for approval.

ANY STIPULATION REQUIRED HEREIN OR BY CODE MAY BE APPEALED. BUILDING NOT TO BE OCCUPIED UNTIL CERTIFICATE OF FINAL COMPLETION IS POSTED ON THE BUILDING OR PERMIT OF OCCUPANCY GRANTED, WHEN REQUIRED. APPROVAL OF THIS APPLICATION DOES NOT CONSTITUTE AN APPROVAL FOR THE ELECTRICAL WIRING OR PLUMBING INSTALLATIONS. A SEPARATE PERMIT FOR THE WIRING AND PLUMBING MUST BE OBTAINED. QUESTIONS (15) (16) (17) (20) (21) or (22).

THIS IS NOT A BUILDING PERMIT. NO WORK SHALL BE STARTED UNTIL A BUILDING PERMIT IS ISSUED.

In dwellings all insulating materials must have a clearance of not less than two inches from all electrical wires or equipment.

APPLICANT'S CERTIFICATION

I HEREBY CERTIFY AND AGREE THAT IF A PERMIT IS ISSUED FOR THE CONSTRUCTION DESCRIBED IN THIS APPLICATION, ALL THE PROVISIONS OF THE PERMIT AND ALL LAWS AND ORDINANCES THERETO WILL BE COMPLIED WITH.

I CERTIFY THAT IN THE PERFORMANCE OF THE ABOVE WORK I SHALL NOT EMPLOY ANY PERSON IN VIOLATION OF THE LABOR CODE OF CALIFORNIA RELATING TO WORKMEN'S COMPENSATION INSURANCE.

I FURTHER AGREE TO SAVE SAN FRANCISCO AND ITS OFFICIALS AND EMPLOYEES HARMLESS FROM ALL COSTS AND DAMAGES WHICH MAY ACCRUE FROM USE OR OCCUPANCY OF THE SIDEWALK, STREET OR SUB-SIDEWALK SPACE OR FROM ANYTHING ELSE IN CONNECTION WITH THE WORK INCLUDED IN THE PERMIT. THE FOREGOING COVENANT SHALL BE BINDING UPON THE OWNER OF SAID PROPERTY, THE APPLICANT, THEIR HEIRS, SUCCESSORS AND ASSIGNEES.

Walter S. Lloyd
Med. Walter S. Lloyd

SIGNATURE OF OWNER OR AUTHORIZED AGENT

CHECK APPROPRIATE BOX:

OWNER ARCHITECT ENGINEER
 LESSEE AGENT WITH POWER OF ATTORNEY
 CONTRACTOR ATTORNEY IN FACT

OFFICIAL COPY

SAN FRANCISCO
DEPARTMENT OF BUILDING INSPECTION

CONDITIONS AND STIPULATIONS

Check to the quality of the original.

APPROVED:	<p><i>[Signature]</i> 7/18/72 BUILDING INSPECTOR, BUR. OF BLDG. INSP.</p>	DATE: _____ REASON: _____ NOTIFIED MR. _____
<input type="checkbox"/> APPROVED:	<p>Not reviewed by the Department of City Planning. Issuance of the requested permit constitutes no assurance that use of this property will conform to the City Planning Code.</p> <p><i>[Signature]</i> DEPARTMENT OF CITY PLANNING</p>	DATE: _____ REASON: _____ NOTIFIED MR. _____
<input type="checkbox"/> APPROVED:	BUREAU OF FIRE PREVENTION & PUBLIC SAFETY	DATE: _____ REASON: _____ NOTIFIED MR. _____
<input type="checkbox"/> APPROVED:	CIVIL ENGINEER, BUR. OF BLDG. INSPECTION	DATE: _____ REASON: _____ NOTIFIED MR. _____
<input type="checkbox"/> APPROVED:	BUREAU OF ENGINEERING	DATE: _____ REASON: _____ NOTIFIED MR. _____
<input type="checkbox"/> APPROVED:	DEPARTMENT OF PUBLIC HEALTH	DATE: _____ REASON: _____ NOTIFIED MR. _____
<input type="checkbox"/> APPROVED:	REDEVELOPMENT AGENCY	DATE: _____ REASON: _____ NOTIFIED MR. _____
<input type="checkbox"/> APPROVED:	_____	DATE: _____ REASON: _____ NOTIFIED MR. _____

HOLD SECTION - NOTE DATES AND NAMES OF ALL PERSONS NOTIFIED DURING PROCESSING

I AGREE TO COMPLY WITH ALL CONDITIONS OR STIPULATIONS OF THE VARIOUS BUREAUS OR DEPARTMENTS NOTED ON THIS APPLICATION, AND ATTACHED STATEMENTS OF CONDITIONS OR STIPULATIONS, WHICH ARE HEREBY MADE A PART OF THIS APPLICATION.

NUMBER OF ATTACHMENTS

[Signature]
SIGNATURE OF OWNER, LESSEE OR AUTHORIZED AGENT FOR OWNER OR LESSEE.

OFFICIAL COPY



FOR DEPARTMENTAL USE ONLY

DATE FOR ISSUANCE FEB 13 1973

APPROVED

Dept. Public Works

FEB 13 1973

Alfred Holaday

SUPERINTENDENT

BUREAU BUILDING INSPECTION

DATE FILED FEB 13 1973 FILING FEE RECEIPT NO. 73582 PERMIT NO. 374095 ISSUED FEB 13 1973

CITY AND COUNTY OF SAN FRANCISCO DEPARTMENT OF PUBLIC WORKS

APPLICATION FOR BUILDING PERMIT ADDITIONS, ALTERATIONS OR REPAIRS

APPLICATION IS HEREBY MADE TO THE DEPARTMENT OF PUBLIC WORKS OF SAN FRANCISCO FOR A PERMIT TO BUILD IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS SUBMITTED HERewith AND ACCORDING TO THE DESCRIPTION AND FOR THE PURPOSE HEREINAFTER SET FORTH:

(1) STREET ADDRESS OF JOB: 2417 Green Street (3) ESTIMATED COST OF JOB: \$1,000.00

BLDG. FORM 3 APPLICATION NO. 18481

DESCRIPTION OF EXISTING BUILDING

Form with fields for (4A) TYPE OF CONSTR., (4B) NUMBER OF STORIES OF OCCUPANCY, (4C) NUMBER OF BASEMENTS AND CELLARS, (4D) PROPOSED USE, (4E) BLDG. CODE OCCUP. CLASS., (4F) NO. OF DWG. UNITS, (12A) DOES THIS ALTERATION CREATE ADDITIONAL STORY TO BUILDING?, (12B) WILL SIDEWALK OVER SUBSIDENWALK SPACE BE REPAIRED OR ALTERED?, (12C) ANY OTHER EXISTING BLDG. ON LOT?, (12D) DOES THIS ALTERATION CONSTITUTE A CHANGE OF OCCUPANCY?, (12E) ELECTRICAL WORK TO BE PERFORMED?, (12F) PLUMBING WORK TO BE PERFORMED?, (23) GENERAL CONTRACTOR, (24) ARCHITECT OR ENGINEER (FOR DESIGN), (25) ARCHITECT OR ENGINEER (FOR CONSTRUCTION), (26) CONSTRUCTION LENDER, (27) OWNER

(28) WRITE IN DESCRIPTION OF ALL WORK TO BE PERFORMED UNDER THIS APPLICATION (REFERENCE TO PLANS IS NOT SUFFICIENT): Complete work started on 4/14/73. Complete pool + replacement. Plan # 4114023

IMPORTANT NOTICES

No change shall be made in the character of the occupancy or use without first obtaining a Building Permit authorizing such change. No portion of building or structure or scaffolding used during construction, to be clear than 60" to any wire containing more than 750 volts. Pursuant to Sec. 302.A.8, San Francisco Building Code, the building permit shall be posted on the job. The owner is responsible for approved plans and application being kept at building site. Grade lines as shown on drawings accompanying this application are assumed to be correct. In actual grade lines are not the same as shown revised drawings showing correct grade lines, cuts and fills, together with complete details of retaining walls and wall footings required must be submitted to this bureau for approval. ANY STIPULATION REQUIRED HEREIN OR BY CODE MAY BE APPEALED. BUILDING NOT TO BE OCCUPIED UNTIL CERTIFICATE OF FINAL COMPLETION IS POSTED ON THE BUILDING OR PERMIT OF OCCUPANCY GRANTED, WHEN REQUIRED. APPROVAL OF THIS APPLICATION DOES NOT CONSTITUTE AN APPROVAL FOR THE ELECTRICAL WIRING OR PLUMBING INSTALLATIONS. A SEPARATE PERMIT FOR THE WIRING AND PLUMBING MUST BE OBTAINED. SEPARATE PERMITS ARE REQUIRED IN ANSWER TO ANY OF ABOVE QUESTIONS (15) (16) (17) (20) (21) or (22). THIS IS NOT A BUILDING PERMIT. NO WORK SHALL BE STARTED UNTIL A BUILDING PERMIT IS ISSUED. In dwellings all insulating materials must have a clearance of not less than two inches from all electrical wires or equipment.

APPLICANT'S CERTIFICATION

I HEREBY CERTIFY AND AGREE THAT IF A PERMIT IS ISSUED FOR THE CONSTRUCTION DESCRIBED IN THIS APPLICATION, ALL THE PROVISIONS OF THE PERMIT AND ALL LAWS AND ORDINANCES THERETO WILL BE COMPLIED WITH. I CERTIFY THAT IN THE PERFORMANCE OF THE ABOVE WORK I SHALL NOT EMPLOY ANY PERSON IN VIOLATION OF THE LABOR CODE OF CALIFORNIA RELATING TO WORKMEN'S COMPENSATION INSURANCE.

I FURTHER AGREE TO SAVE SAN FRANCISCO AND ITS OFFICIALS AND EMPLOYEES HARMLESS FROM ALL COSTS AND DAMAGES WHICH MAY ACCRUE FROM USE OR OCCUPANCY OF THE SIDEWALK, STREET OR SUBSIDEWALK SPACE OR FROM ANYTHING ELSE IN CONNECTION WITH THE WORK INCLUDED IN THE PERMIT. THE FOREGOING COVENANT SHALL BE BINDING UPON THE OWNER OF SAID PROPERTY, THE APPLICANT, THEIR HEIRS, SUCCESSORS AND ASSIGNEES.

Signature of owner or authorized agent: Walter S. Lloyd

CHECK APPROPRIATE BOX: [X] OWNER [] ARCHITECT [] ENGINEER [] LESSEE [] AGENT WITH POWER OF ATTORNEY [] CONTRACTOR [] ATTORNEY IN FACT

OFFICIAL COPY

SAN FRANCISCO
DEPARTMENT OF
BUILDING INSPECTION

CONDITIONS AND STIPULATIONS

REFER TO APPROVED:

M. M. M. 2/13/73
BUILDING INSPECTOR, BUR. OF BLDG. INSP.

APPROVED: Not reviewed by the Department of City Planning. Issuance of a requested permit pursuant to no indication that use of this property does or does not conform to the City Planning Code. *M. M. M.*
DEPARTMENT OF CITY PLANNING

APPROVED:
BUREAU OF FIRE PREVENTION & PUBLIC SAFETY

APPROVED:
CIVIL ENGINEER, BUR. OF BLDG. INSPECTION

APPROVED:
BUREAU OF ENGINEERING

APPROVED:
DEPARTMENT OF PUBLIC HEALTH

APPROVED:
REDEVELOPMENT AGENCY

APPROVED:

DATE: _____
REASON: _____

NOTIFIED MR. _____

DATE: _____
REASON: _____

NOTIFIED MR. _____

DATE: _____
REASON: _____

NOTIFIED MR. _____

DATE: _____
REASON: _____

NOTIFIED MR. _____

DATE: _____
REASON: _____

NOTIFIED MR. _____

DATE: _____
REASON: _____

NOTIFIED MR. _____

DATE: _____
REASON: _____

NOTIFIED MR. _____

DATE: _____
REASON: _____

NOTIFIED MR. _____

DATE: _____
REASON: _____

NOTIFIED MR. _____

HOLD SECTION - NOTE DATES AND NAMES OF ALL PERSONS NOTIFIED DURING PROCESSING

I AGREE TO COMPLY WITH ALL CONDITIONS OR STIPULATIONS OF THE VARIOUS BUREAUS OR DEPARTMENTS NOTED ON THIS APPLICATION, AND ATTACHED STATEMENTS OF CONDITIONS OR STIPULATIONS, WHICH ARE HEREBY MADE A PART OF THIS APPLICATION.
NUMBER OF ATTACHMENTS
[Signature]
SIGNATURE OF OWNER, LESSEE OR AUTHORIZED AGENT FOR OWNER OR LESSEE.

OFFICIAL COPY

DEPARTMENT OF BUILDING INSPECTION

FOR DEPARTMENTAL USE ONLY

APPROVED FOR ISSUANCE AUG 16 1982

FILMED

8-1-83

PERMIT NO. 492660 ISSUED & DATED 8-16-82

CITY AND COUNTY OF SAN FRANCISCO DEPARTMENT OF PUBLIC WORKS

APPLICATION FOR BUILDING PERMIT ADDITIONS, ALTERATIONS OR REPAIRS I OCCUPANCY WITH NO PLANS

APPLICATION IS HEREBY MADE TO THE DEPARTMENT OF PUBLIC WORKS OF SAN FRANCISCO FOR PERMISSION TO BUILD IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS SUBMITTED HERewith AND ACCORDING TO THE DESCRIPTION AND FOR THE PURPOSE HEREINAFTER SET FORTH

1. STATE ADDRESS OF JOB 2417 Green St 3. ESTIMATED COST OF JOB 390.00

BLDG. FORM

8

0820674

Table with columns for existing building and proposed alteration details, including occupancy, square footage, and electrical/plumbing work.

IMPORTANT NOTICES: No change shall be made in the character of the occupancy or use without first obtaining a Building Permit...

APPLICANT'S CERTIFICATION: I HEREBY CERTIFY AND AGREE THAT IF A PERMIT IS ISSUED FOR THE CONSTRUCTION DESCRIBED IN THIS APPLICATION...

APPROVED: CONTACT INSPECTOR POEATIE AT START OF WORK 558-3851. BUILDING INSPECTOR, BUR. OF BLDG. INSP.

APPLICANT'S SIGNATURE: Donald R. Dingus Date: 8/16/82

OFFICIAL COPY

DEPARTMENT OF BUILDING INSPECTION

STANDARD STRUCTURAL PEST CONTROL INSPECTION REPORT (WOOD-DESTROYING PESTS OR ORGANISMS)

This is an inspection report only - not a Notice of Completion.

ADDRESS OF PROPERTY INSPECTED: 2417 Green St., CITY San Francisco, CO CODE 3R/6625, DATE OF INSPECTION 8/9/82

Linguen Associates, 4314 California St., San Francisco, CA 94118 Phone: 221-2331

Affix stamp here on Board copy only

A LICENSED PEST CONTROL OPERATOR IS AN EXPERT IN HIS FIELD. ANY QUESTIONS RELATIVE TO THIS REPORT SHOULD BE REFERRED TO HIM.

FIRM LICENSE NO 3775, CO REPORT NO (if any) 17719, STAMP NO 75572R.J, Inspection Ordered by (Name and Address) Lec Hill & Co. - 2107 Union - SF Marcia Caligari

Report Sent to (Name and Address) same as above, Owner's Name and Address Lec Walter Lloyd - 2417 Green - SF

Table with columns for CODE, SEE DIAGRAM BELOW, YES, LICENSE NO, ORIGINAL REPORT, SUPPLEMENTAL REPORT, NUMBER OF PAGES. Includes rows for Subterranean Termites, Dry-Wood Termites, Fungus or Dry Rot, etc.

- 1. SUBSTRUCTURE AREA (soil conditions, accessibility, etc.) basement - see 1 below
2. Was Sill Shower water tested? no Did floor coverings indicate leaks?
3. FOUNDATIONS (Type, Relation to Grade, etc.) see 1 below
4. PORCHES STEPS PATIOS not inspected
5. VENTILATION (Amount, Relation to Grade, etc.) not inspected
6. ABUTMENTS Stucco walls, columns, arches, etc. not inspected
ATTIC SPACES (accessibility, insulation, etc.) not inspected
GARAGES (Type, accessibility, etc.) not inspected
OTHER none

DIAGRAM AND EXPLANATION OF FINDINGS (This report is limited to structure or structures shown on diagram.)

a) Description Two story single residence. This is a partial inspection report limited to a section of the left wall as requested by the owner and as detailed below. Inspection made by Xtermit and tag is posted in the front basement, 8/2/82. Our inspection tag posted in same location.

1. SUBSTRUCTURE:

Fungus damage exists to the outer edge of the mudsill in the two areas indicated "A", (approximately sixteen lineal feet) and is apparently due to past wood soil contacts of the subarea soil. The soil is no longer in contact with the wood framing. We recommend replacing the damaged wood and chemically treating the area with a residual fungicide type chemical. It is our understanding that this is the same recommendation that was recommended by Xtermit.

We offer to perform the services as detailed above for a consideration of -----\$390.00. The signing and returning of one of the enclosed copies will authorize us to proceed and will constitute an agreement to pay for the work upon issuance of notice of completion.

AUTHORIZATION: Signature _____ Date _____

Signature [Handwritten Signature]

YOU ARE ENTITLED TO OBTAIN COPIES OF ALL REPORTS AND COMPLETION NOTICES ON THIS PROPERTY FILED WITH THE BOARD DURING THE PRECEDING TWO YEARS UPON PAYMENT OF A \$2.00 SEARCH FEE TO STRUCTURAL PEST CONTROL BOARD, 1438 HOWE AVENUE, SACRAMENTO, CA, 95825.

OFFICIAL COPY



CONTACT DISTRICT INSPECTOR... APPLICATION IS APPROVED WITHOUT FIELD INSPECTION... WORK AUTHORIZED MUST BE DONE IN STRICT ACCORDANCE WITH ALL APPLICABLE CODES.

APPROVED
Dept. Public Works
JAN 13 1988
Ferdinand Lew
ACTING SUPERINTENDENT,
BUREAU OF BUILDING INSPECTION

3/8
JAN 13 1988
APPROVED FOR ISSUANCE
08600460
BAMA APPROVAL NO.
APPROVAL NUMBER

APPLICATION FOR BUILDING PERMIT
ADDITIONS, ALTERATIONS OR REPAIRS
FORM 3 PRE-APPROVAL SITE INSPECTION REQUIRED
FORM B OVER-THE-COUNTER ISSUANCE

CITY AND COUNTY OF SAN FRANCISCO
DEPARTMENT OF PUBLIC WORKS
APPLICATION IS HEREBY MADE TO THE DEPARTMENT OF PUBLIC WORKS OF SAN FRANCISCO FOR PERMISSION TO BUILD IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS SUBMITTED HERewith AND ACCORDING TO THE DESCRIPTION AND FOR THE PURPOSE HEREINAFTER SET FORTH.

DATE PERM: 1-13-86
PLUMBING RECEIPT NO.
STREET ADDRESS OF JOB: 2417 G...
ESTIMATED COST OF JOB: 24,400
REMOVED COST:
BY: DATE:

OFFICE COPY

INFORMATION TO BE FURNISHED BY ALL APPLICANTS

DESCRIPTION OF EXISTING BUILDING
DESCRIPTION OF BUILDING AFTER PROPOSED ALTERATION
GENERAL CONTRACTOR: R.D. ...
OWNER: ...

ADDITIONAL INFORMATION - FORM 3 APPLICANTS ONLY

171. DOES THIS ALTERATION... 172. DOES THIS ALTERATION... 173. DOES THIS ALTERATION...
174. ARCHITECT OR ENGINEER DESIGN: CONSTRUCTION

IMPORTANT NOTICES
No change shall be made in the character of the occupancy or use without first obtaining a Building Permit...
Grade lines as shown on drawings accompanying this application are assumed to be correct...

NOTICE TO APPLICANT
HOLD HARMLESS CLAUSE: The Permittee(s) by acceptance of the permit, agree(s) to indemnify and hold harmless the City and County of San Francisco from and against any and all claims, demands and actions for damages resulting from operations under this permit...
I. Certificate of Consent to Self-insure issued by the Director of Industrial Relations.
II. Certificate of Workman's Compensation Insurance issued by an admitted insurer.

CHECK APPROPRIATE BOX
OWNER ARCHITECT ENGINEER
LESSEE AGENT WITH POWER OF ATTORNEY
CONTRACTOR ATTORNEY IN FACT
APPLICANT'S CERTIFICATION
I HEREBY CERTIFY AND AGREE THAT IF A PERMIT IS ISSUED FOR THE CONSTRUCTION DESCRIBED IN THIS APPLICATION, ALL THE PROVISIONS OF THE PERMIT AND ALL LAWS AND ORDINANCES THEREOF WILL BE COMPLIED WITH.

Applicant's Signature
Date

OFFICIAL COPY

SAN FRANCISCO

DEPARTMENT OF
BUILDING INSPECTION

CONDITIONS AND STIPULATIONS

APPROVED:	BUILDING INSPECTOR FOR OFFICE USE	DATE	REASON
<input type="checkbox"/>			
APPROVED:	NOTIFIED MR.	DATE	REASON
<input type="checkbox"/>			
APPROVED:	NOTIFIED MR.	DATE	REASON
<input type="checkbox"/>			
APPROVED:	NOTIFIED MR.	DATE	REASON
<input type="checkbox"/>			
APPROVED:	NOTIFIED MR.	DATE	REASON
<input type="checkbox"/>			
APPROVED:	NOTIFIED MR.	DATE	REASON
<input type="checkbox"/>			
APPROVED:	NOTIFIED MR.	DATE	REASON
<input type="checkbox"/>			
APPROVED:	NOTIFIED MR.	DATE	REASON
<input type="checkbox"/>			
APPROVED:	NOTIFIED MR.	DATE	REASON
<input type="checkbox"/>			

ROOM SECTION - FROM DATE AND NAME OF ALL RECORDS OF BUILDING PERMITS PROJECTS

[Handwritten signature]



APPROVED
Dept. of Building Insp.

JUN 22 2007

ISAM HASENIN, P.E., C.B.O.
DIRECTOR/CHIEF BUILDING OFFICIAL
DEPT. OF BUILDING INSPECTION

BLDG. FORM 308

APPLICATION NUMBER
2071062241

OSHA APPROVAL REQ.
APPROVAL NUMBER:

No Vias - HZ

APPLICATION FOR BUILDING PERMIT
ADDITIONS, ALTERATIONS OR REPAIRS

CITY AND COUNTY OF SAN FRANCISCO
DEPARTMENT OF BUILDING INSPECTION

FORM 3 OTHER AGENCIES REVIEW REQUIRED

APPLICATION IS HEREBY MADE TO THE DEPARTMENT OF BUILDING INSPECTION OF SAN FRANCISCO FOR PERMISSIBLE BUILDING IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS SUBMITTED HERewith AND ACCORDING TO THE DESCRIPTION AND FOR THE PURPOSE HEREINAFTER SET FORTH.

FORM 8 OVER-THE-COUNTER ISSUANCE
NUMBER OF PLAN SETS 2

DATE FILED 6/22/07	FILED FEE RECEIPT NO. 112/4163	(1) STREET ADDRESS OF JOB 2417 GREEN STREET	BLOCK & LOT 0560/028
PERMIT NO. 112/4163	ISSUED 6-22-2007	(2) ESTIMATED COST OF JOB \$15,000	(3) REVISED COST \$10,000
		BY HZ	DATE 6/22/07

INFORMATION TO BE FURNISHED BY ALL APPLICANTS

LEGAL DESCRIPTION OF EXISTING BUILDING

(4A) TYPE OF CONSTR. I NR	(5A) NO. OF STORES OF OCCUPANCY 3	(6A) NO. OF BASEMENTS AND CELLARS 1	(7A) PRESENT USE SINGLE FAMILY DWELLING	(8A) OCCUP. CLASS R3	(9A) NO. OF DWELLING UNITS 1
------------------------------	--------------------------------------	--	--	-------------------------	---------------------------------

DESCRIPTION OF BUILDING AFTER PROPOSED ALTERATION

(4) TYPE OF CONSTR. I NR	(5) NO. OF STORES OF OCCUPANCY 3	(6) NO. OF BASEMENTS AND CELLARS 1	(7) PROPOSED USE (LEGAL USE) SINGLE FAMILY DWELLING	(8) OCCUP. CLASS R3	(9) NO. OF DWELLING UNITS 1
-----------------------------	-------------------------------------	---------------------------------------	--	------------------------	--------------------------------

(10) IS AUTO RUMWAY TO BE CONSTRUCTED OR ALTERED? YES NO

(11) WILL STREET SPACE BE USED DURING CONSTRUCTION? YES NO

(12) ELECTRICAL WORK TO BE PERFORMED? YES NO

(13) PLUMBING WORK TO BE PERFORMED? YES NO

(14) GENERAL CONTRACTOR
ARTISTIC STRUCTURES P.O. Box 663 SONOMA CA 94999-9014 499-68940 10/31/08

(15) OWNER - LESSEE (CROSS OUT ONE)
EDWARD STROHBEHN 2417 GREEN STREET 415-760-9565

(16) WRITE IN DESCRIPTION OF ALL WORK TO BE PERFORMED UNDER THIS APPLICATION (REFERENCE TO PLANS IS NOT SUFFICIENT)
PARTIAL UNDERPINNING OF 2417 GREEN STREET FOUNDATION DUE TO EXCAVATION AT 2415 GREEN STREET (REF # 2007-0119-2006)

ADDITIONAL INFORMATION

(17) DOES THIS ALTERATION CREATE ADDITIONAL HEIGHT OR STORY TO BUILDING? YES NO

(18) IF (17) IS YES, STATE NEW HEIGHT AT CENTER LINE OF FRONT FT. _____

(19) DOES THIS ALTERATION CREATE DECK OR PORCH EXTENSION TO BUILDING? YES NO

(20) IF (19) IS YES, STATE "NEW GROUND" FLOOR AREA SQ. FT. _____

(21) WILL SIDEWALK OVER SUB SIDEWALK SPACE BE REPAIRED OR ALTERED? YES NO

(22) WILL BUILDING EXTEND BEYOND PROPERTY LINE? YES NO

(23) ANY OTHER EXISTING BLDG ON LOT? IF YES, SHOW ON PLST PLAN YES NO

(24) DOES THIS ALTERATION CONSTITUTE A CHANGE OF OCCUPANCY? YES NO

(25) ARCHITECT OR ENGINEER (DESIGN OR CONSTRUCTION) ADDRESS CALIF. LICENSE NO.
SURE ENGINEERS 670 BANCROFT AVE. SAN LEANDRO CA 52900

(26) CONSTRUCTION LEADER (ENTER NAME AND BRANCH DESIGNATION IF ANY, IF THERE IS NO KNOWN CONSTRUCTION LEADER, ENTER UNKNOWN)

IMPORTANT NOTICES

No change shall be made in the character of the occupancy or use without first obtaining a Building Permit authorizing such change. See San Francisco Building Code and San Francisco Housing Code.

No portion of building or structure or scaffolding used during construction, to be closer than 6'0" to any wire containing more than 750 volts. See Sec. 365, California Penal Code.

Pursuant to San Francisco Building Code, the building permit shall be posted on the job. The owner is responsible for approved plans and application being kept at building site.

Grade lines as shown on drawings accompanying this application are assumed to be correct. If actual grade lines are not the same as shown revised drawings showing correct grade lines, cuts and fills together with complete details of retaining walls and wall footings required must be submitted to this department for approval.

ANY STIPULATION REQUIRED HEREIN OR BY CODE MAY BE APPEALED.

BUILDING NOT TO BE OCCUPIED UNTIL CERTIFICATE OF FINAL COMPLETION IS POSTED ON THE BUILDING OR PERMIT OF OCCUPANCY GRANTED, WHEN REQUIRED.

APPROVAL OF THIS APPLICATION DOES NOT CONSTITUTE AN APPROVAL FOR THE ELECTRICAL WIRING OR PLUMBING INSTALLATIONS. A SEPARATE PERMIT FOR THE WIRING AND PLUMBING MUST BE OBTAINED. SEPARATE PERMITS ARE REQUIRED IF ANSWER IS "YES" TO ANY OF ABOVE QUESTIONS (10) (11) (12) (13) (22) OR (24).

THIS IS NOT A BUILDING PERMIT. NO WORK SHALL BE STARTED UNTIL A BUILDING PERMIT IS ISSUED.

In drawings all insulating materials must have a clearance of not less than two inches from all electrical wires or equipment.

CHECK APPROPRIATE BOX
 OWNER ARCHITECT
 LESSEE AGENT
 CONTRACTOR ENGINEER

APPLICANTS CERTIFICATION

I HEREBY CERTIFY AND AGREE THAT IF A PERMIT IS ISSUED FOR THE CONSTRUCTION DESCRIBED IN THIS APPLICATION, ALL THE PROVISIONS OF THE PERMIT AND ALL LAWS AND ORDINANCES THERE TO WILL BE COMPLIED WITH.

9003-03 (REV. 1/02)

NOTICE TO APPLICANT

HOLD HARMLESS CLAUSE. The permittee(s) by acceptance of the permit, agree(s) to indemnify and hold harmless the City and County of San Francisco from and against any and all claim, demands and actions for damages resulting from operations under this permit, regardless of negligence of the City and County of San Francisco, and to assume the defense of the City and County of San Francisco against all such claims, demands or actions.

In conformity with the provisions of Section 3800 of the Labor Code of the State of California, the applicant shall have coverage under (i), or (ii) designated below or shall indicate item (iii), or (iv), or (v), whichever is applicable. If however item (v) is checked item (iv) must be checked as well. Mark the appropriate method of compliance below.

I hereby affirm under penalty of perjury one of the following declarations:

() I. I have and will maintain a certificate of consent to self-insure for worker's compensation, as provided by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued.

II. I have and will maintain worker's compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are
Carrier: State Fund
Policy Number: 12134-2003

() III. The cost of the work to be done is \$100 or less.

() IV. I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California. I further acknowledge that I understand that in the event that I should become subject to the workers' compensation provisions of the Labor Code of California and fail to comply herewith with the provisions of Section 3800 of the Labor Code, that the permit herein applied for shall be deemed revoked.

I certify as the owner (or the agent for the owner) that in the performance of the work for which this permit is issued, I will employ a contractor who complies with the workers' compensation laws of California and who, prior to the commencement of any work, will file a completed copy of this form with the Central Permit Bureau.

Signature of Applicant: [Signature] Date: 6/22/07

ORIGINAL

OFFICIAL COPY

SAN FRANCISCO
DEPARTMENT OF
BUILDING INSPECTION

CONDITIONS AND STIPULATIONS

REFER TO: <u> </u> APPROVED: <u>H Zee</u> <u>HOWARD ZEE, DBI</u> <u>JUN 22 2007</u> BUILDING INSPECTOR, DEPT. OF BLDG. INSP.	DATE: _____ REASON: _____ NOTIFIED MR. _____ DATE: _____ REASON: _____ NOTIFIED MR. _____
<input type="checkbox"/> APPROVED: <u>N/A</u> <u>HOWARD ZEE, DBI</u> <u>JUN 22 2007</u> DEPARTMENT OF CITY PLANNING	DATE: _____ REASON: _____ NOTIFIED MR. _____
<input type="checkbox"/> APPROVED: _____ BUREAU OF FIRE PREVENTION & PUBLIC SAFETY	DATE: _____ REASON: _____ NOTIFIED MR. _____
<input type="checkbox"/> APPROVED: _____ MECHANICAL ENGINEER, DEPT OF BLDG. INSPECTION	DATE: _____ REASON: _____ NOTIFIED MR. _____
<input type="checkbox"/> APPROVED: <u>H Zee</u> <u>HOWARD ZEE, DBI</u> <u>JUN 22 2007</u> CIVIL ENGINEER, DEPT. OF BLDG INSPECTION	DATE: _____ REASON: _____ NOTIFIED MR. _____
<input type="checkbox"/> APPROVED: <u>N/A</u> <u>HOWARD ZEE, DBI</u> <u>JUN 22 2007</u> BUREAU OF ENGINEERING	DATE: _____ REASON: _____ NOTIFIED MR. _____
<input type="checkbox"/> APPROVED: _____ DEPARTMENT OF PUBLIC HEALTH	DATE: _____ REASON: _____ NOTIFIED MR. _____
<input type="checkbox"/> APPROVED: _____ REDEVELOPMENT AGENCY	DATE: _____ REASON: _____ NOTIFIED MR. _____
<input type="checkbox"/> APPROVED: _____ HOUSING INSPECTION DIVISION	DATE: _____ REASON: _____ NOTIFIED MR. _____

HOLD SECTION - NOTE DATES AND NAMES OF ALL PERSONS NOTIFIED DURING PROCESSING

I agree to comply with all conditions or stipulations of the various bureaus or department noted on this application, and attached statements of conditions or stipulations, which are hereby made a part of this application

Number of attachments

OWNER'S AUTHORIZED AGENT _____



APPROVED
Dept. of Building Insp.

JUL 08 2007

APPROVED FOR ISSUANCE
BLDG. FORM 3/8
APPLICATION NUMBER
2007.07.06.6100
OSHA APPROVAL RECORD
APPROVAL NUMBER:

APPLICATION FOR BUILDING PERMIT AND COUNTY OF SAN FRANCISCO
ADDITIONS, ALTERATIONS OR REPAIRS
DEPARTMENT OF BUILDING INSPECTION
FORM 3 OTHER AGENCIES REVIEW REQUIRED
FORM 8 OVER-THE-COUNTER ISSUANCE
2 NUMBER OF PLAN SETS
APPLICATION IS HEREBY MADE TO THE DEPARTMENT OF BUILDING INSPECTION OF SAN FRANCISCO FOR PERMISSION TO BUILD IN ACCORDANCE WITH THE RULES AND SPECIFICATIONS SUBMITTED HEREWITH AND ACCORDING TO THE DESCRIPTION AND FOR THE PURPOSE HEREINAFTER SET FORTH.

DATE FILED: 7/6/07
FLING FEE RECEIPT NO.:
(1) STREET ADDRESS OF JOB: 2417 GREEN ST
BLOCK & LOT: 560/028
PERMIT NO.: 1195404
ISSUED: 7-6-07
(2A) ESTIMATED COST OF JOB: 162000
(2B) REVISED COST: \$100 + 1 HR BACK
BY: [Signature]
DATE: 7/6/07

INFORMATION TO BE FURNISHED BY ALL APPLICANTS
LEGAL DESCRIPTION OF EXISTING BUILDING
(4A) TYPE OF CONSTR.: 1 NR
(5A) NO. OF STORES OF OCCUPANCY: 3
(6A) NO. OF BASEMENTS AND CELLARS: 1
(7A) PRESENT USE: SINGLE FAMILY
(8A) OCCUP. CLASS: R3
(9A) NO. OF DWELLING UNITS: 1
DESCRIPTION OF BUILDING AFTER PROPOSED ALTERATION
(4) TYPE OF CONSTR.: 1 NR
(5) NO. OF STORES OF OCCUPANCY: 3
(6) NO. OF BASEMENTS AND CELLARS: 1
(7) PROPOSED USE (LEGAL USE): SINGLE FAMILY
(8) OCCUP. CLASS: R3
(9) NO. OF DWELLING UNITS: 1

(14) GENERAL CONTRACTOR: BR TIGHE STRUENEGERS
ADDRESS: PO BOX 663 SONOMA CA 94965
PHONE: 707-938-3160
EXPIRATION DATE: 10/21/08
(15) OWNER / LESSEE: ROBERT STRUENEGERS
ADDRESS: 2417 GREEN ST
PHONE FOR CONTRACTOR: 415-3932059
(16) WRITE IN DESCRIPTION OF ALL WORK TO BE PERFORMED UNDER THIS APPLICATION (REFERENCE TO PLANS IS NOT SUFFICIENT)
PARTIAL UNDERPINNING OF 2417 GREEN ST FOUNDATION DUE TO EXCAVATION AT 2415 GREEN ST.
ONLY PLANS DATED 6/8/07.
REVISED PLANS DATED 7/5/07

ADDITIONAL INFORMATION
(17) DOES THIS ALTERATION CREATE ADDITIONAL HEIGHT OR STORY TO BUILDING? YES NO
(18) & (17) IS YES, STATE NEW HEIGHT AT CENTER LINE OF FRONT FT.:
(19) DOES THIS ALTERATION CREATE DECK OR PORCH EXTENSION TO BUILDING? YES NO
(20) IF YES, STATE FLOOR AREA SQ. FT.:
(21) WILL SIDEWALK OVER SUB-SIDEWALK SPACE BE REPAIRED OR ALTERED? YES NO
(22) WILL BUILDING DEPEND BEYOND PROPERTY LINE? YES NO
(23) ANY OTHER EXISTING BLDG. DILAPID? (IF YES, SHOW OR FLOT PLANS) YES NO
(24) DOES THIS ALTERATION CONSTITUTE A CHANGE OF OCCUPANCY? YES NO
(25) ARCHITECT OR ENGINEER (DESIGN OR CONSTRUCTION): SURE ENGINEERS
ADDRESS: 640 BLENCHY AVE SAN LEANDRO CA 94760
CALIF. CERTIFICATE NO.: SE 2900

IMPORTANT NOTICES
No change shall be made in the character of the occupancy or use without first obtaining a Building Permit authorizing such change. See San Francisco Building Code and San Francisco Housing Code.
No portion of building or structure or scaffolding used during construction, to be closer than 6'7" to any wire containing more than 750 volts. See Sec 386, California Penal Code.
Pursuant to San Francisco Building Code, the building permit shall be posted on the job. The owner is responsible for approved plans and application being kept at building site.
Grade lines as shown on drawings accompanying this application are assumed to be correct. If actual grade lines are not the same as shown related drawings showing correct grade lines, cuts and fill together with complete details of retaining walls and well footings required must be submitted to this department for approval.
ANY STIPULATION REQUIRED HEREIN OR BY CODE MAY BE APPEALED.
BUILDING NOT TO BE OCCUPIED UNTIL CERTIFICATE OF FINAL COMPLETION IS POSTED ON THE BUILDING OR PERMIT OF OCCUPANCY GRANTED, WHEN REQUIRED.
APPROVAL OF THIS APPLICATION DOES NOT CONSTITUTE AN APPROVAL FOR THE ELECTRICAL WIRING OR PLUMBING INSTALLATIONS. A SEPARATE PERMIT FOR THE WIRING AND PLUMBING MUST BE OBTAINED. SEPARATE PERMITS ARE REQUIRED IF ANSWER IS 'YES' TO ANY OF ABOVE QUESTIONS (1) (11) (12) (13) (22) OR (24).
THIS IS NOT A BUILDING PERMIT. NO WORK SHALL BE STARTED UNTIL A BUILDING PERMIT IS ISSUED.
In drawings all insulating materials must have a clearance of not less than two inches from all electrical wires or equipment.
CHECK APPROPRIATE BOX
 OWNER ARCHITECT
 LESSEE AGENT
 CONTRACTOR ENGINEER
I HEREBY CERTIFY AND AGREE THAT IF A PERMIT IS ISSUED FOR THE CONSTRUCTION DESCRIBED IN THIS APPLICATION, ALL THE PROVISIONS OF THE PERMIT AND ALL LAWS AND ORDINANCES THERE TO WILL BE COMPLIED WITH.

NOTICE TO APPLICANT
HOLD HARMLESS CLAUSE: The permittee(s) by acceptance of the permit, agree(s) to indemnify and hold harmless the City and County of San Francisco from and against any and all claim, demands and actions for damages resulting from operations under this permit, regardless of negligence of the City and County of San Francisco, and to assume the defense of the City and County of San Francisco against all such claims, demands or actions.
In conformity with the provisions of Section 3800 of the Labor Code of the State of California, the applicant shall have coverage under (I), or (II) designated below or shall indicate item (III), or (IV), or (V), whichever is applicable. If however item (V) is checked item (IV) must be checked as well. Mark the appropriate method of compliance below.
I hereby affirm under penalty of perjury one of the following declarations:
() I. I have and will maintain a certificate of consent to self-insure for worker's compensation, as provided by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued.
(X) II. I have and will maintain worker's compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My worker's compensation insurance carrier and policy number are:
Carrier: STRUENEGERS
Policy Number: 12134
() III. The cost of the work to be done is \$100 or less.
() IV. I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California. I further acknowledge that I understand that in the event that I should become subject to the workers' compensation provisions of the Labor Code of California and fail to comply therewith with the provisions of Section 3800 of the Labor Code, that the permit herein applied for shall be deemed revoked.
(X) V. I certify as the owner (or the agent for the owner) that in the performance of the work for which this permit is issued, I will employ a contractor who complies with the workers' compensation laws of California and who, prior to the commencement of any work, will file a completed copy of this form with the Central-Permit Bureau.
Signature of Applicant or Agent: [Signature]
Date: 7/6/07

OFFICIAL COPY

SAN FRANCISCO
DEPARTMENT OF BUILDING INSPECTION

CONDITIONS AND STIPULATIONS

This permit is issued without full compliance requirements
A for this condition only. Building or use of
structure condition to remain vacant and full
compliance is provided. Subsequent
work or improvement permit showing full
compliance to be filed per AS-017. Failure to
comply will result in issuance of Notice of Violation.

By: JIMMY CHENING, SBI
JUL 06 2007

BUILDING INSPECTOR, DEPT. OF BLDG. INSP.

<input type="checkbox"/>	APPROVED:		DATE: _____ REASON: _____
<input type="checkbox"/>	APPROVED:	DEPARTMENT OF CITY PLANNING	NOTIFIED MR. _____ DATE: _____ REASON: _____
<input type="checkbox"/>	APPROVED:	BUREAU OF FIRE PREVENTION & PUBLIC SAFETY	NOTIFIED MR. _____ DATE: _____ REASON: _____
<input checked="" type="checkbox"/>	APPROVED:	MECHANICAL ENGINEER, DEPT OF BLDG. INSPECTION	NOTIFIED MR. _____ DATE: _____ REASON: _____
<input type="checkbox"/>	APPROVED:	BUREAU OF ENGINEERING	NOTIFIED MR. _____ DATE: _____ REASON: _____
<input type="checkbox"/>	APPROVED:	DEPARTMENT OF PUBLIC HEALTH	NOTIFIED MR. _____ DATE: _____ REASON: _____
<input type="checkbox"/>	APPROVED:	REDEVELOPMENT AGENCY	NOTIFIED MR. _____ DATE: _____ REASON: _____
<input type="checkbox"/>	APPROVED:	HOUSING INSPECTION DIVISION	NOTIFIED MR. _____ DATE: _____ REASON: _____

N/A / MSP
↓

By: JIMMY CHENING, DEI
JUL 06 2007

HOLD SECTION - NOTE DATES AND NAMES OF ALL PERSONS NOTIFIED DURING PROCESSING

I agree to comply with all conditions or stipulations of the various bureaus or department noted on this application, and attached statements of conditions or stipulations, which are hereby made a part of this application.

Number of attachments OWNERS AUTHORIZED AGENT _____

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APPROVED
Dept of Building Insp
FEB 19 2009

BUILDING FORM 318
FEB 19 2009

DIRECTOR
DEPT OF BUILDING INSPECTION

APPLICATION FOR BUILDING PERMIT
ADDITIONS, ALTERATIONS OR REPAIRS

FORM 3 OTHER AGENCIES REVIEW REQUIRED
FORM 8 OVER THE COUNTER ISSUANCE
NUMBER OF PLAN SETS

CITY AND COUNTY OF SAN FRANCISCO
DEPARTMENT OF BUILDING INSPECTION
APPLICATION IS HEREBY MADE TO THE DEPARTMENT OF
BUILDING INSPECTION OF SAN FRANCISCO FOR
PERMISSION TO BUILD IN ACCORDANCE WITH THE PLANS
AND SPECIFICATIONS SUBMITTED HERewith AND
ACCORDING TO THE DESCRIPTION AND FOR THE PURPOSE
HEREINAFTER SET FORTH

APPLICATION NUMBER
2009 02 19 2408

APPROVAL NUMBER

DATE FILED 2-19-09
FILING FEE RECEIPT NO
(1) STREET ADDRESS OF JOB 2415 GREEN ST
BLOCK & LOT 560-28
PERMIT NO 1178590
ISSUED FEB 19 2009
(2A) ESTIMATED COST OF JOB \$100
(2B) REVISED COST BY DATE

INFORMATION TO BE FURNISHED BY ALL APPLICANTS

LEGAL DESCRIPTION OF EXISTING BUILDING
(4A) TYPE OF CONSTR 5-W
(5A) NO OF STORIES OF OCCUPANCY 3
(6A) NO OF BASEMENTS AND CELLARS 1
(7A) PRESENT USE SINGLE FAMILY HOME
(8A) OCCUP CLASS R-3
(9A) NO OF DWELLING UNITS 1

DESCRIPTION OF BUILDING AFTER PROPOSED ALTERATION
(4) TYPE OF CONSTR 5-W
(5) NO OF STORIES OF OCCUPANCY 3
(6) NO OF BASEMENTS AND CELLARS 1
(7) PROPOSED USE (LEGAL USE) SINGLE FAMILY HOME
(8) OCCUP CLASS R-3
(9) NO OF DWELLING UNITS 1

(10) IS AUTO RAMPWAY TO BE CONSTRUCTED OR ALTERED? YES NO
(11) WILL STREET SPACE BE USED DURING CONSTRUCTION? YES NO
(12) ELECTRICAL WORK TO BE PERFORMED? YES NO
(13) PLUMBING WORK TO BE PERFORMED? YES NO

(14) GENERAL CONTRACTOR ARTISTIC STRUCTURES INC PO BOX 663 95476 #618316 4-10-10
(15) OWNER LESSEE (CROSS OUT ONE) MR & MRS MARK LAMPERT

(16) WRITE IN DESCRIPTION OF ALL WORK TO BE PERFORMED UNDER THIS APPLICATION (REFERENCE TO PLANS IS NOT SUFFICIENT)
To obtain final inspection for work approved under PA 2007 07 06 6100 All work has been completed

ADDITIONAL INFORMATION

(17) DOES THIS ALTERATION CREATE ADDITIONAL HEIGHT OR STORY TO BUILDING? YES NO
(18) IF (17) IS YES STATE NEW HEIGHT AT CENTER LINE OF FRONT FT
(19) DOES THIS ALTERATION CREATE DECK OR PORCH EXTENSION TO BUILDING? YES NO
(20) IF (19) IS YES STATE NEW GROUND FLOOR AREA SQ FT
(21) WILL SIDEWALK OVER SUB SIGNAL SPACE BE REPAIRED OR ALTERED? YES NO
(22) WILL BUILDING EXTEND BEYOND PROPERTY LINE? YES NO
(23) ANY OTHER EXISTING BLDGS ON LOT? (IF YES SHOW ON PLAN) YES NO
(24) DOES THIS ALTERATION CONSTITUTE A CHANGE OF OCCUPANCY? YES NO
(25) ARCHITECT OR ENGINEER (DESIGN OR CONSTRUCTION) ARTISTIC STRUCTURES INC PO BOX 663 SOMERVA 95476
(26) CONSTRUCTION LEADER (ENTER NAME AND BRANCH DESIGNATION IF ANY IF THERE IS NO KNOWN CONSTRUCTION LEADER ENTER "UNKNOWN")

IMPORTANT NOTICES

No change shall be made in the character of the occupancy or use without first obtaining a building permit subject to the provisions of the San Francisco Building Code and the San Francisco Planning Code.

No portion of building structure or scaffold used during construction to be done at 60 to 75 miles containing more than 750 volts. See Section 305 California Electrical Code.

Pursuant to San Francisco Building Code, the building permit shall be posted on the job. The owner is responsible for approved plans and application being posted at building site.

Grades if shown on drawings accompanying this application are assumed to be correct. If actual grades are not the same as shown, revised drawings showing correct grades, lines, cuts and fills together with complete details of retaining walls, or wall footings required must be submitted to this department for approval.

ANY STIPULATION REQUIRED HEREIN OR BY CODE MAY BE APPEALED.

BUILDING NOT TO BE OCCUPIED UNTIL CERTIFICATE OF FINAL COMPLETION IS POSTED ON THE BUILDING OR PERMIT OF OCCUPANCY GRANTED WHEN REQUIRED.

APPROVAL OF THIS APPLICATION DOES NOT CONSTITUTE AN APPROVAL FOR THE ELECTRICAL WIRING OR PLUMBING INSTALLATIONS. A SEPARATE PERMIT FOR THE WIRING AND PLUMBING MUST BE OBTAINED. SEPARATE PERMITS ARE REQUIRED IF ANSWER IS "YES" TO ANY OF ABOVE QUESTIONS (10) (11) (12) (13) (22) OR (24).

THIS IS NOT A BUILDING PERMIT. NO WORK SHALL BE STARTED UNTIL A BUILDING PERMIT IS ISSUED.

In dwellings all insulating materials must have a minimum R-value of at least two (2) inches in all electrical wires or equipment.

CHECK APPROPRIATE BOX
OWNER ARCHITECT
LESSEE AGENT
CONTRACTOR ENGINEER

APPLICANT'S CERTIFICATION

I HEREBY CERTIFY AND AGREE THAT IF A PERMIT IS ISSUED FOR THE CONSTRUCTION DESCRIBED IN THIS APPLICATION, ALL THE PROVISIONS OF THE PERMIT AND ALL LAWS AND ORDINANCES THEREIN WILL BE COMPLIED WITH.

8003-03 (REV. 1/02)

NOTICE TO APPLICANT

HOLD HARMLESS CLAUSE: The permittee(s) by acceptance of the permit, agrees to indemnify and hold harmless the City and County of San Francisco from and against any and all claims, demands and actions for damages, results from operation of this permit regardless of negligence of the City and County of San Francisco and to assume the date of the City and County of San Francisco against all such claims, demands or actions.

I comply with the provisions of Section 3800 of the Labor Code. If the State of California at the applicant shall have coverage under (a) or (b) of this article below or shall indicate item (iv) or (v) whichever is applicable. If however, item (iv) is checked item (iv) must be checked as well. Mark the appropriate method of compliance below.

I hereby affirm compliance of penalty one. If the following I declare that:

() I have provided and will maintain workers' compensation insurance as required by Section 3700 of the Labor Code for the performance of the work for which this permit is issued.

(X) I have and will maintain workers' compensation insurance as required by Section 3700 of the Labor Code for the performance of the work for which this permit is issued. My workers' compensation insurance policy number is: STATE FIRE

Center: 713 60 12134

Policy Number: 713 60 12134

() III The cost of the work to be done is \$100 or less.

() IV I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California. I further acknowledge that I understand that in the event that I should become subject to the workers' compensation provisions of the Labor Code of California and fail to comply therewith with the provisions of Section 3800 of the Labor Code, that the permit herein applied for shall be deemed revoked.

() V I certify as the owner (or the agent for the owner) that in the performance of the work for which this permit is issued, I will employ a contractor who complies with the workers' compensation laws of California and who, prior to the commencement of any work, will file a completed copy of this form with the Central Permit Bureau.

Signature: Mark Lampert Date: 2-19-09

OFFICE COPY

OFFICIAL COPY

SAN FRANCISCO

DEPARTMENT OF BUILDING INSPECTION

CONDITIONS AND STIPULATIONS

Contact the district building inspector at the start of work... REFER TO APPROVED... 6654 for electrical plumbing inspection scheduling call 5-8 6030... this application is approved without site inspection detailed plumbing or electrical plan review and does not constitute an approval of the building Work authorized must be done in strict accordance with all applicable codes Any electrical or plumbing work shall require appropriate separate permits

[Signature] 2/19/09
BUILDING INSPECTOR DEPT OF BLDG INSP

DATE 2/19/09
REASON 6654
[Signature]

<input type="checkbox"/>	APPROVED	DEPARTMENT OF CITY PLANNING	NOTIFIED MR	DATE _____ REASON _____
<input type="checkbox"/>	APPROVED	BUREAU OF FIRE PREVENTION & PUBLIC SAFETY	NOTIFIED MR	DATE _____ REASON _____
<input type="checkbox"/>	APPROVED	MECHANICAL ENGINEER DEPT OF BLDG INSPECTION	NOTIFIED MR	DATE _____ REASON _____
<input type="checkbox"/>	APPROVED	CIVIL ENGINEER, DEPT OF BLDG INSPECTION	NOTIFIED MR	DATE _____ REASON _____
<input type="checkbox"/>	APPROVED	BUREAU OF ENGINEERING	NOTIFIED MR	DATE _____ REASON _____
<input type="checkbox"/>	APPROVED	DEPARTMENT OF PUBLIC HEALTH	NOTIFIED MR	DATE _____ REASON _____
<input type="checkbox"/>	APPROVED	REDEVELOPMENT AGENCY	NOTIFIED MR	DATE _____ REASON _____
<input type="checkbox"/>	APPROVED	HOUSING INSPECTION DIVISION	NOTIFIED MR	DATE _____ REASON _____

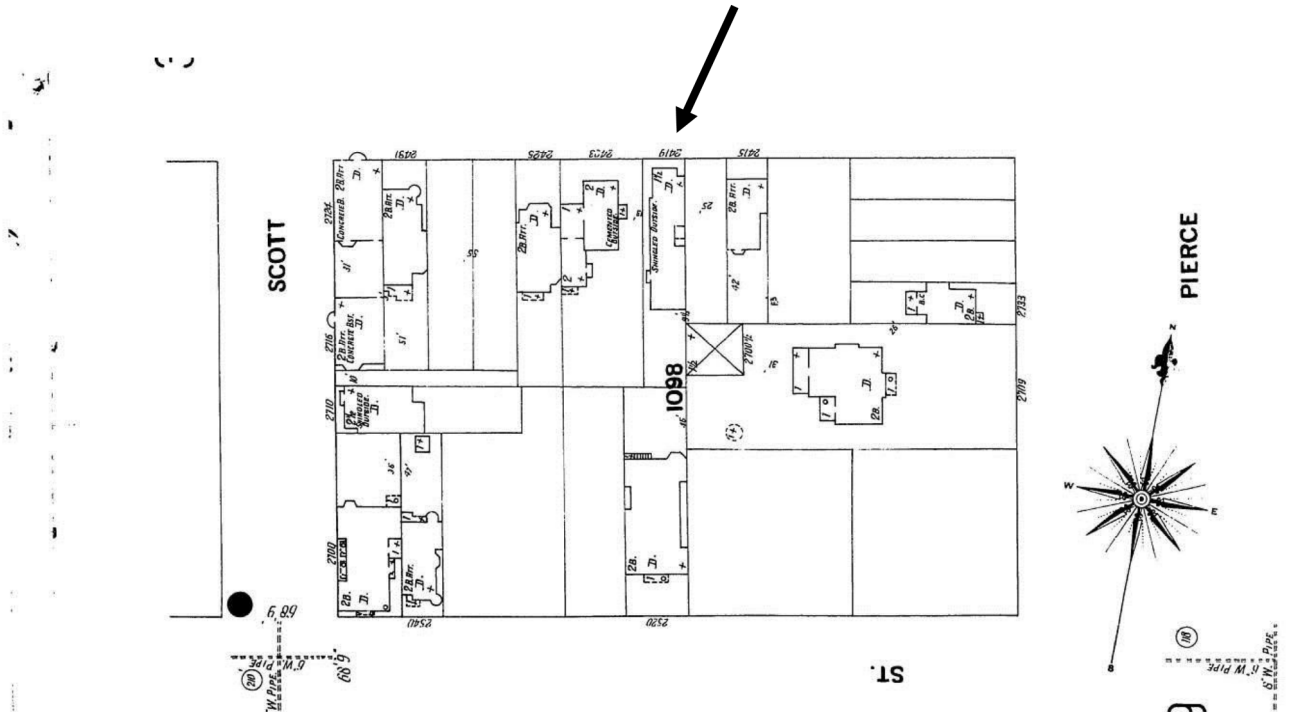
OFFICE COPY

HOLD SECTION - NOTE DATES AND NAMES OF ALL PERSONS NOTIFIED DURING PROCESSING

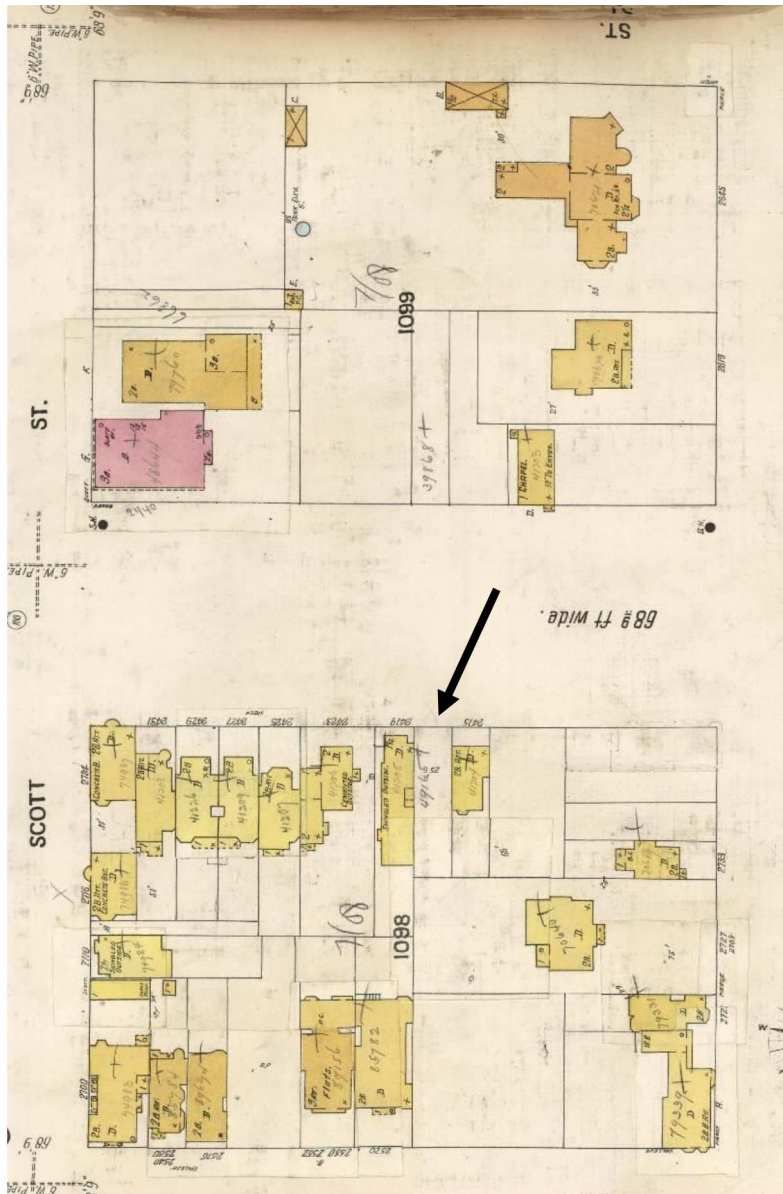
I agree to comply with all conditions or stipulations of the various bureaus or department noted on this application and attached statements of conditions or stipulations, which are hereby made a part of this application.

Number of attachments OWNER'S AUTHORIZED AGENT _____

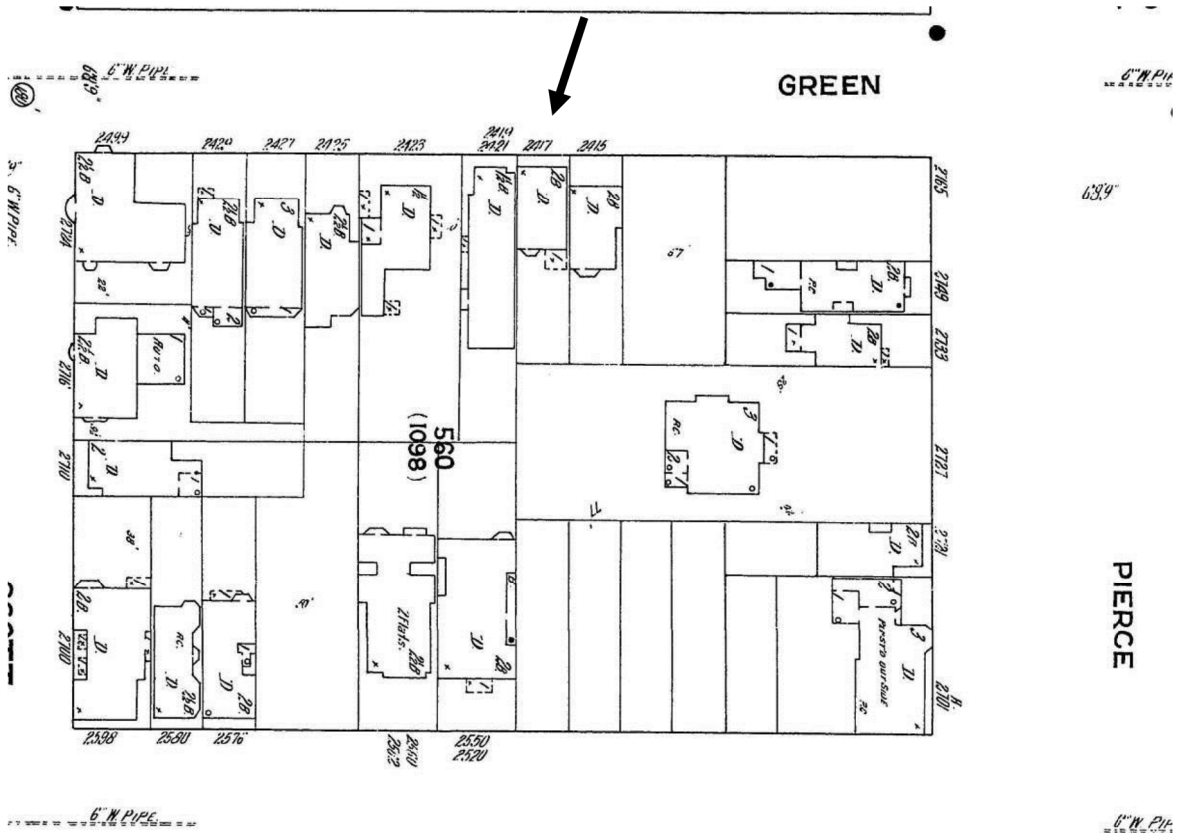
Sanborn Maps



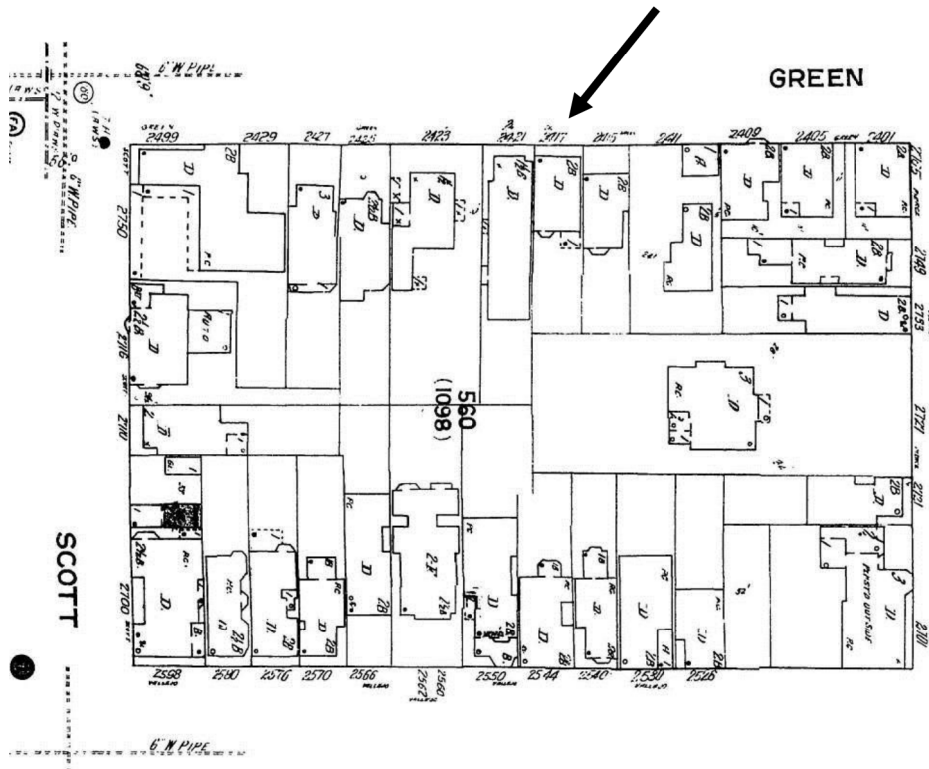
1899 Sanborn Map. Approximate location of subject building noted with arrow.



1899 Sanborn Map. Approximate location of subject building noted with arrow.



1914 Sanborn Map. Subject building noted with arrow.



1950 Sanborn Map. Subject building noted with arrow.

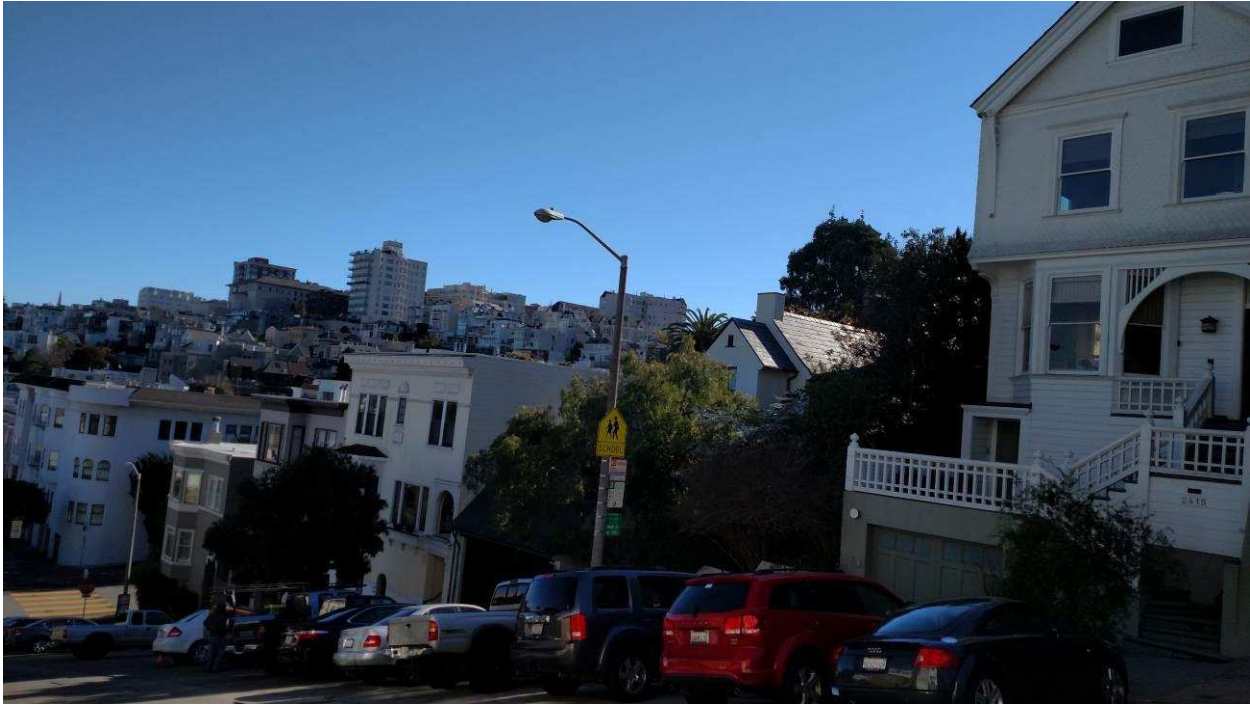


1938 Harrison Ryker aerial photograph. Subject building noted with arrow.

Adjacent and Facing Properties

North Side of Green Street





South Side of Green Street

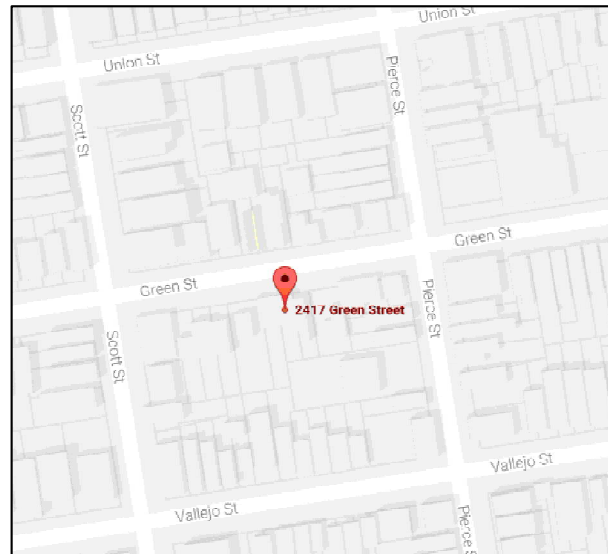




ENVIRONMENTAL EVALUATION SET

10 FEBRUARY 2017

2417 GREEN STREET
SAN FRANCISCO, CA 94123



1 LOCATION MAP



2 EXISTING FRONT FACADE

APPLICABLE CODES:

- *2016 CALIFORNIA BUILDING CODE (BASED ON THE 2015 INTERNATIONAL BUILDING CODE)
- *2016 CALIFORNIA MECHANICAL CODE (BASED ON THE 2015 UNIFORM MECHANICAL CODE)
- *2016 CALIFORNIA PLUMBING CODE (BASED ON THE 2015 UNIFORM PLUMBING CODE)
- *2016 CALIFORNIA ELECTRICAL CODE (BASED ON THE 2014 NATIONAL ELECTRIC CODE)
- *2016 CALIFORNIA RESIDENTIAL CODE (BASED ON THE 2015 INTERNATIONAL RESIDENTIAL CODE)
- *2016 CALIFORNIA FIRE CODE (BASED ON THE 2015 INTERNATIONAL FIRE CODE)
- *2016 CALIFORNIA ENERGY CODE
- *2016 CALIFORNIA GREEN BUILDING STANDARDS CODE - (CALGREEN)

*AND AS AMENDED BY THE CITY AND COUNTY OF SAN FRANCISCO

PROJECT DATA:

PROJECT ADDRESS:	2417 GREEN STREET, SAN FRANCISCO, CA 94123			
YEAR BUILT:	1908			
BLOCK:	0560			
LOT:	028			
ZONING:	RH-1 (RESIDENTIAL-HOUSE, ONE FAMILY)			
HEIGHT LIMIT:	40-X			
EXISTING:		PROPOSED:		
CONSTRUCTION TYPE:	TYPE "V-B"	CONSTRUCTION TYPE:	TYPE "V-B"	(NO CHANGE)
OCCUPANCY:	R-3U	OCCUPANCY:	R-3U	(NO CHANGE)
NUMBER OF DWELLING UNITS:	1	NUMBER OF DWELLING UNITS:	1	(NO CHANGE)
NUMBER OF FLOORS:	4, OVER BASEMENT	NUMBER OF FLOORS:	4, OVER BASEMENT	(NO CHANGE)
SPRINKLERED:	NO	SPRINKLERED:	YES (NFPA 13R)	(NO CHANGE)

AREA CALCULATIONS:

EXISTING		PROPOSED	
BASEMENT:			
- GARAGE:	(+/-) 337 GSF	- GARAGE:	(+/-) 995 GSF.
- HABITABLE AREA:	(+/-) 47 GSF	- HABITABLE AREA:	(+/-) 116 GSF.
FLOOR 1:			
- HABITABLE AREA:	(+/-) 1,097 GSF.	- HABITABLE AREA:	(+/-) 1,364.5 GSF.
FLOOR 2:			
- HABITABLE AREA:	(+/-) 1,232 GSF.	- HABITABLE AREA:	(+/-) 1,342.5 GSF.
- ROOF DECK AREA:		- ROOF DECK AREA:	(+/-) 69 GSF.
FLOOR 3:			
- HABITABLE AREA:	(+/-) 1,015 GSF.	- HABITABLE AREA:	(+/-) 1,428 GSF.
FLOOR 4:			
- HABITABLE AREA:	(+/-) 774 GSF.	- HABITABLE AREA:	(+/-) 879 GSF.
- ROOF DECK AREA:		- ROOF DECK AREA:	(+/-) 199 GSF.
TOTALS:			
- HABITABLE AREA:	(+/-) 4,165 GSF.	- HABITABLE AREA:	(+/-) 5,108 GSF.
- GARAGE:	(+/-) 337 GSF.	- GARAGE:	(+/-) 995 GSF.
		- ROOF DECK AREA:	(+/-) 268 GSF.

PROJECT TEAM:

OWNER:	ARCHITECT:
2417 GREEN STREET, LLC 474 EUCLID AVENUE SAN FRANCISCO, CA 94118 T: 415.407.9495 E: CFDIRKING@GMAIL.COM C: CHRIS DURKIN	DUMICAN MOSEY ARCHITECTS 128 10th STREET, 3RD FLOOR SAN FRANCISCO, CA 94107 T: 415.695.3322 F: 415.651.9290 E: EDUMICAN@DUMICANMOSEY.COM C: ERIC DUMICAN
GEOTECHNICAL CONSULTANT:	HISTORIC PRESERVATION CONSULTANT:
DIVIS CONSULTING, INC 378 PARK STREET SAN FRANCISCO, CA 94110 T: 415.420-3498 C: CHRISTIAN DIVIS	TIM KELLEY CONSULTING 2912 DIAMOND STREET, #330 SAN FRANCISCO, CA 94131 T: 415.337.5824 E: CONTACT@TIMKELLEYCONSULTING.COM C: TIM KELLEY

PROJECT DESCRIPTION:

THE PROPOSED PROJECT GENERALLY CONSISTS OF THE REMODEL, ALTERATIONS AND HORIZONTAL ADDITION TO AN EXISTING 4 STORY OVER BASEMENT SINGLE-FAMILY RESIDENCE AND INCLUDES THE FOLLOWING: 1) EXPANSION OF (E) GARAGE IN BASEMENT LEVEL, 2) 1ST, 2ND AND 3RD STORY HORIZONTAL REAR YARD ADDITION, 3) ALTERATIONS TO (E) FRONT FACADE, 4) EXCAVATION AND FULL FOUNDATION REPLACEMENT, 5) LOWERING (E) BUILDING, 6) INTERIOR REMODEL THROUGHOUT.

DRAWING LIST:

A0.0	COVER SHEET
A0.1	EXISTING CONTEXT PHOTOGRAPHS
A0.2	EXISTING/PROPOSED SITE PLAN
D1.1	EXISTING/DEMOLITION PLANS
D1.2	EXISTING/DEMOLITION PLANS
A1.1	PROPOSED PLANS
A1.2	PROPOSED PLANS
D2.1	EXISTING ELEVATIONS
A2.1	PROPOSED ELEVATIONS
D3.1	EXISTING SECTIONS
A3.1	PROPOSED SECTIONS

DUMICAN MOSEY
ARCHITECTS



1



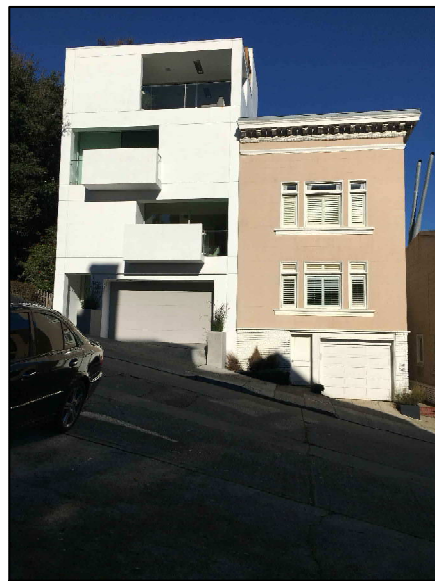
2



3



4



5



6



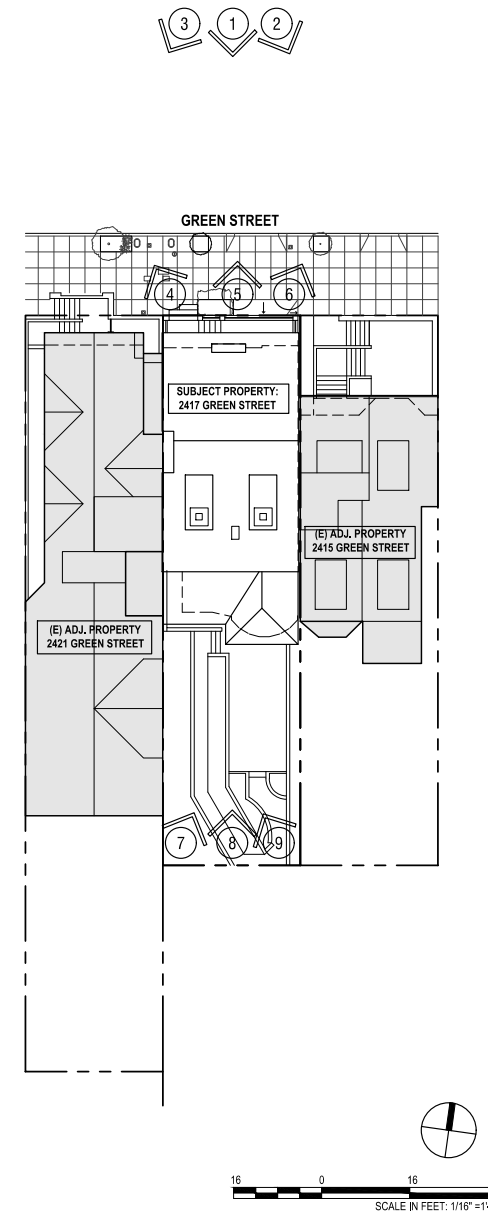
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8



9



2417 GREEN STREET

SAN FRANCISCO, CA 94123
BLOCK 0560 LOT 028

DUMICAN MOSEY
ARCHITECTS

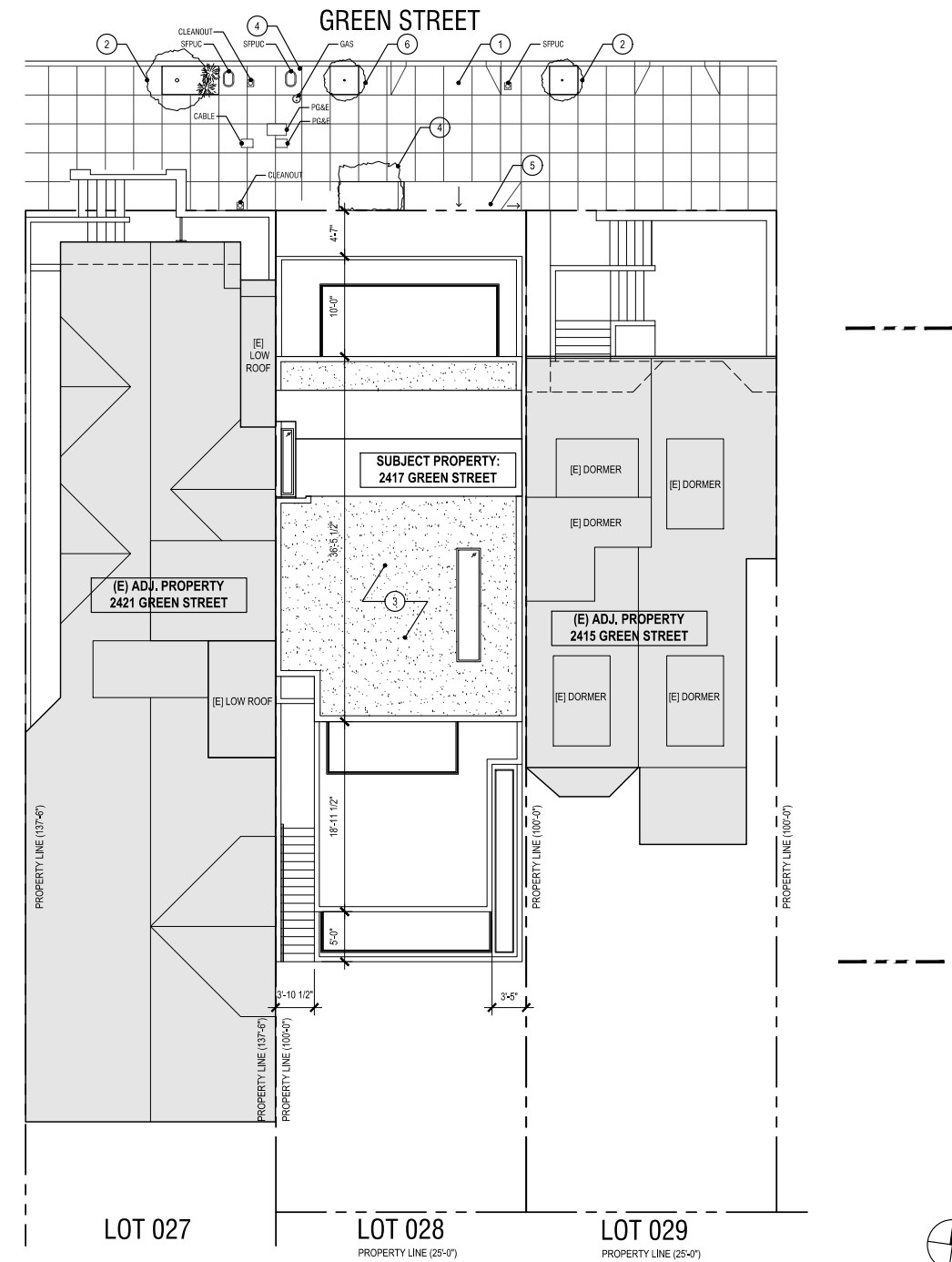
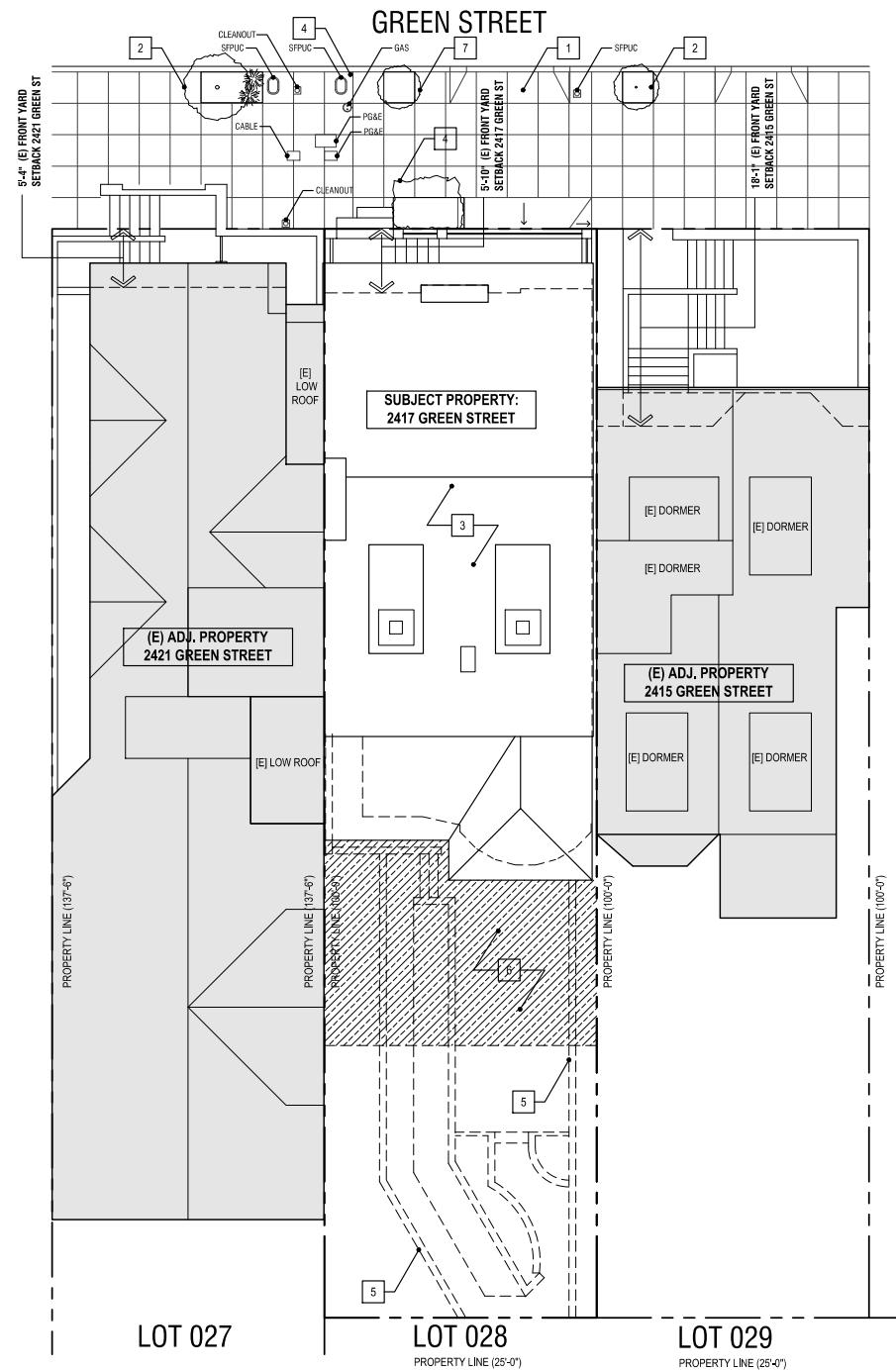
128 10th street, 3rd floor
san francisco, california 94103
t: 415.495.9322 f: 415.651.9290

Job No.	16112
Issue	Date
ENVIRONMENTAL EVALUATION SET	02 10 17

Drawing Title
**EXISTING CONTEXT
SITE PHOTOGRAPHS**

Sheet Number

A0.1



1 EXISTING SITE PLAN
1/8"=1'-0"

2 PROPOSED SITE PLAN
1/8"=1'-0"

GENERAL SITE PLAN NOTES

1. THIS SITE PLAN IS GRAPHIC IN NATURE AND DOES NOT CONSTITUTE A SURVEY

- DEMOLITION SITE PLAN KEY NOTES**
- 1 [E] CURB CUT TO REMAIN
 - 2 [E] STREET TREE TO REMAIN
 - 3 OUTLINE OF [E] BUILDING AT 2417 GREEN STREET
 - 4 [E] SIDEWALK LANDSCAPING TO REMAIN
 - 5 REMOVE [E] WALLS & LANDSCAPING, TEMPORARILY BRACE SOIL TO PREVENT EROSION AND DISCHARGE OF SEDIMENT AND OTHER POLLUTANTS PER SFBMP
 - 6 EXCAVATE AS REQUIRED FOR [N] CONSTRUCTION
 - 7 REMOVE [E] SIDEWALK LANDSCAPING

- PROPOSED SITE PLAN KEY NOTES**
- 1 [E] CURB CUT TO REMAIN
 - 2 [E] STREET TREE TO REMAIN
 - 3 OUTLINE OF PROPOSED BUILDING AT 2417 GREEN STREET
 - 4 [E] SIDEWALK LANDSCAPING TO REMAIN
 - 5 [E] RAMP AT GARAGE TO REMAIN
 - 6 [N] STREET TREE

SUMMARY OF PLANNING CODE STANDARDS & ENVIRONMENTAL REQUIREMENTS

- ZONING DISTRICT: RH-1 (RESIDENTIAL - HOUSE, ONE FAMILY)
- MIN. LOT AREA: 2500 SQ.FT.
- MIN. LOT WIDTH: 25'-0"
- SIDE YARD SETBACK: NONE REQUIRED
- FRONT YARD SETBACK: BASED ON AVERAGE OF ADJACENT PROPERTIES. IN NO CASE SHALL THE REQUIRED SETBACK BE GREATER THAN 15' OR 15% OF LOT DEPTH.
- REAR YARD SETBACK: - 25% OF THE TOTAL LOT DEPTH, BUT IN NO CASE LESS THAN 15'. (REF. SEC. 134(a)(1))
- PERMITTED OBSTRUCTIONS: PERMITTED OBSTRUCTIONS INTO SETBACKS: MIN. 7'-6" HEADROOM FOR OVERHEAD HORIZONTAL PROJECTIONS. MAX. 3'-0" DEPTH FOR PROJECTIONS INTO REQUIRED OPEN AREA. THE COMBINED LENGTH OF ALL BAY WINDOWS AND BALCONIES PROJECTING INTO THE REQUIRED OPEN AREA IS LIMITED TO 2/3 OF THE BUILDABLE WIDTH OF THE LOT ALONG A REAR BUILDING WALL. (REF. SEC. 136 (c)(3))
- OPEN SPACE: - 300 SQ.FT. MIN AREA: 8'-0" MIN DIMENSION & 36 SQ.FT. MIN AREA ON DECK OR BALCONY: 10'-0" MIN DIMENSION & 100 SQ.FT. MIN AREA ON GRADE. (REF. SEC. 135 & TABLE 135A)
- OPEN SPACE MUST FACE A STREET OR REAR-YARD AND BE UNOBSTRUCTED TO THE SKY

MAX. HEIGHT LIMIT:

- 35' (REF. SEC. 261(b)(1))
- 30' AT FRONT SETBACK, THEN INCREASE AT AN ANGLE OF 45 DEGREES TOWARD THE REAR OF LOT UNTIL THE HEIGHT LIMIT IS 35' (REF. SEC. 261(c)(1))
- HEIGHT LIMIT AT THE FRONT PORTION OF THE BUILDING CAN BE INCREASED TO THE AVERAGE OF THE HEIGHTS OF THE TWO ADJACENT BUILDINGS (REF. SEC. 261(b)(2))
- DORMERS AT ROOF CAN BE EXEMPT FROM HEIGHT LIMIT UP TO 10' ABOVE HEIGHT LIMIT, SHALL NOT EXCEED 20% OF THE HORIZONTAL AREA OF THE ROOF ABOVE WHICH THEY ARE SITUATED (REF. SEC. 261(b)(1)(B))

NUMBER OF PARKING SPACES: ONE SPACE MIN PER DWELLING UNIT (REF. TABLE 151); THREE SPACES MAX WHERE ONE SPACE IS REQUIRED (REF. SEC. 151(c)).

BICYCLE PARKING: ONE CLASS 1 SPACE PER DWELLING UNIT IS REQUIRED (REF. TABLE 155.2.10 & ZONING ADMINISTRATOR BULLETIN N0.9)

Job No.	16112
Issue	Date
ENVIRONMENTAL EVALUATION SET	02 10 17

Drawing Title

EXISTING AND PROPOSED SITE PLAN

Sheet Number

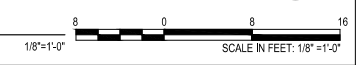
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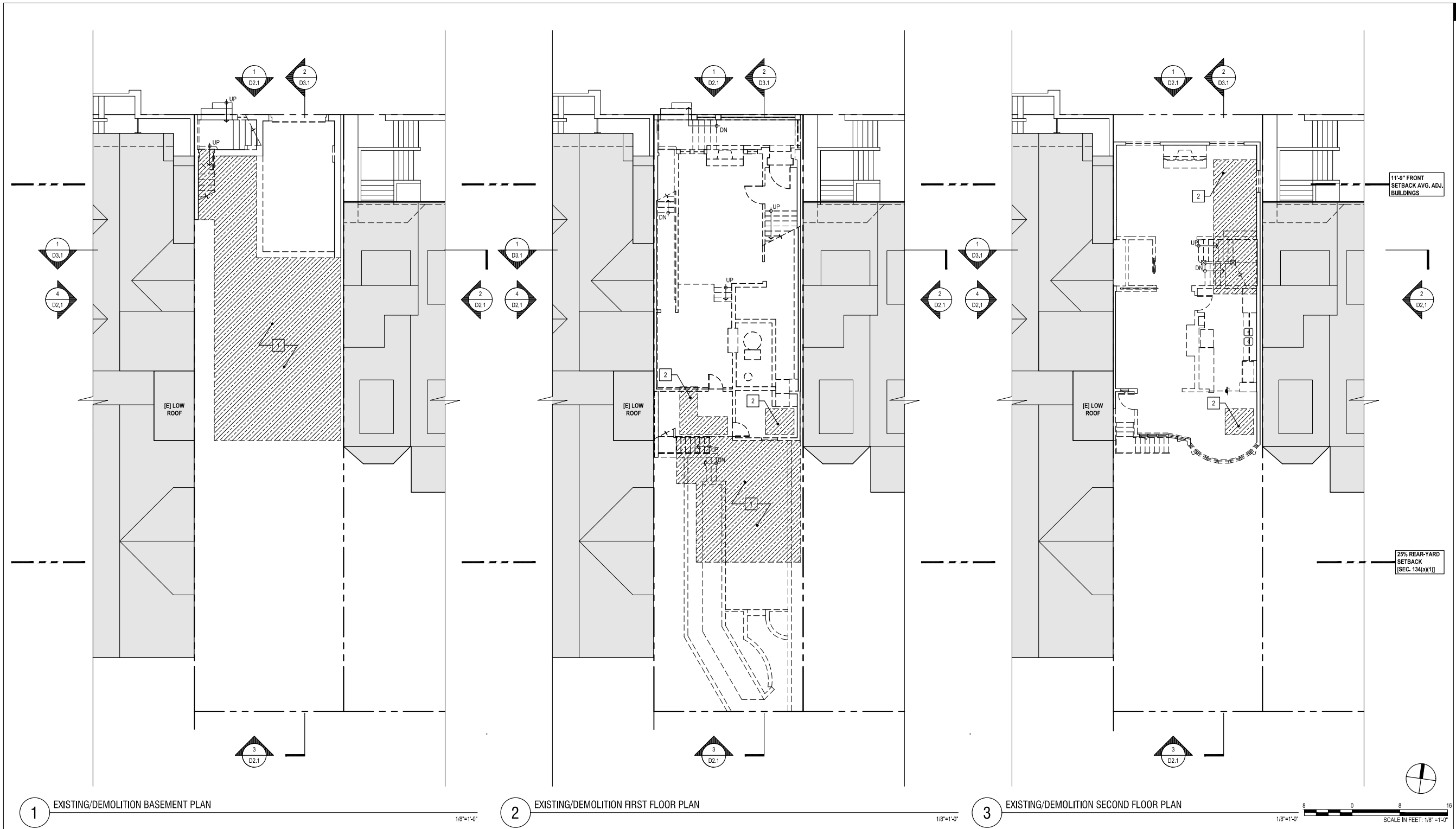
2417 GREEN STREET

SAN FRANCISCO, CA 94123
BLOCK 0560 LOT 028

DUMICAN MOSEY ARCHITECTS

128 10th street, 3rd floor
san francisco, california 94103
t: 415.495.9322 f: 415.651.9290

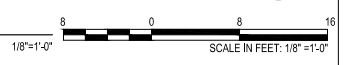




1 EXISTING/DEMOLITION BASEMENT PLAN
1/8"=1'-0"

2 EXISTING/DEMOLITION FIRST FLOOR PLAN
1/8"=1'-0"

3 EXISTING/DEMOLITION SECOND FLOOR PLAN
1/8"=1'-0"



GENERAL PLAN NOTES

1. NOT ALL KEY NOTES ARE USED ON EVERY SHEET

LEGEND

- EXISTING PARTITION TO REMAIN
- CONSTRUCTION TO BE REMOVED
- AREA OF DEMOLITION

EXISTING/DEMOLITION PLAN SHEET NOTES

- 1 EXCAVATE AS REQUIRED TO PERFORM (N) WORK
- 2 REMOVE (E) FLOOR/ROOF ASSEMBLY TO PERFORM (N) WORK

2417 GREEN STREET

SAN FRANCISCO, CA 94123
BLOCK 0560 LOT 028

DUMICAN MOSEY
ARCHITECTS

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Job No.	16112
Issue	Date
ENVIRONMENTAL EVALUATION SET	02 10 17

Drawing Title
EXISTING/ DEMOLITION PLANS

Sheet Number

D1.1

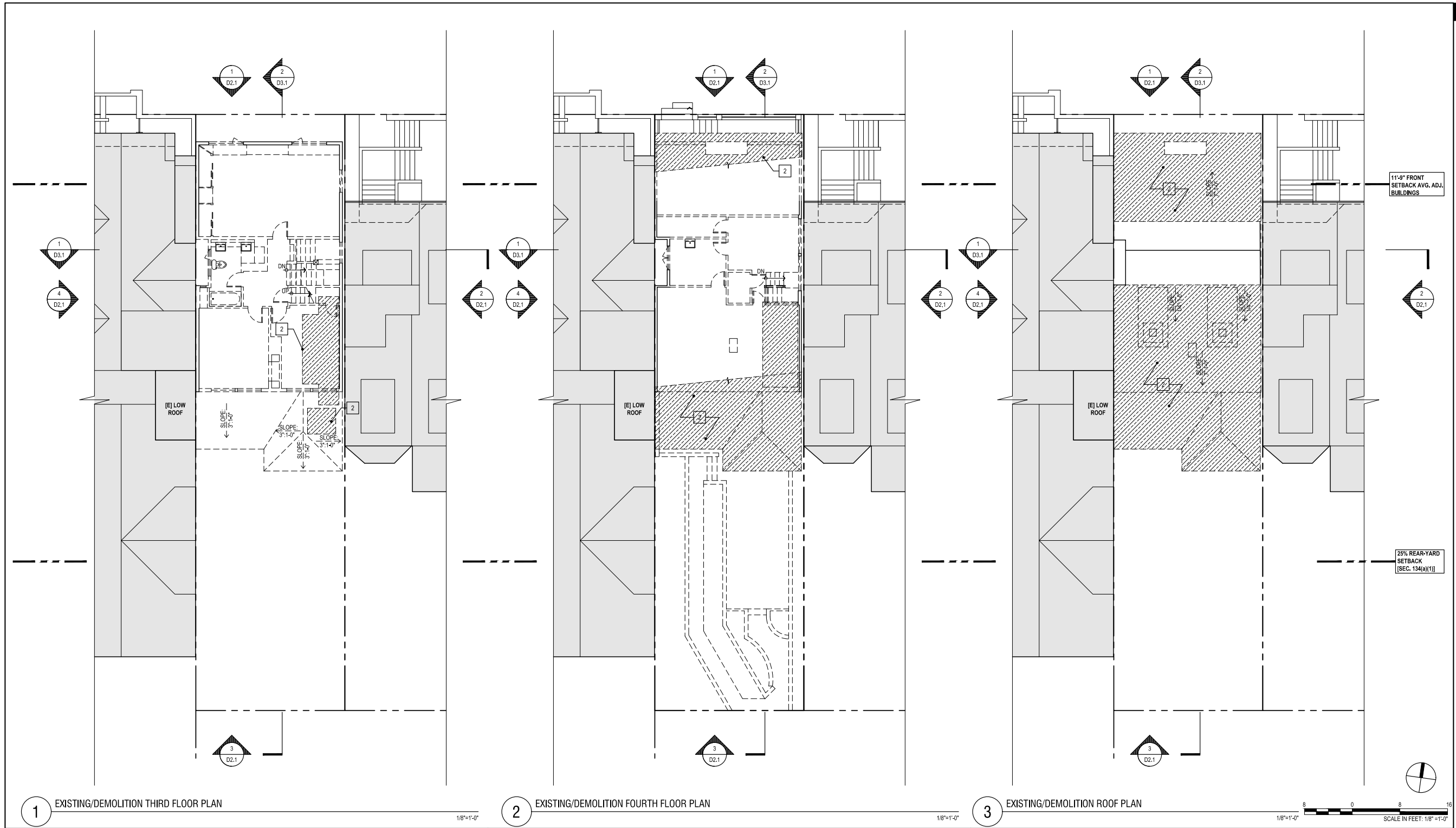
11'-0" FRONT SETBACK AVG. ADJ. BUILDINGS

25% REAR-YARD SETBACK [SEC. 134(a)(1)]

[E] LOW ROOF

[E] LOW ROOF

[E] LOW ROOF



1 EXISTING/DEMOLITION THIRD FLOOR PLAN

2 EXISTING/DEMOLITION FOURTH FLOOR PLAN

3 EXISTING/DEMOLITION ROOF PLAN

GENERAL PLAN NOTES

1. NOT ALL KEY NOTES ARE USED ON EVERY SHEET

LEGEND

- EXISTING PARTITION TO REMAIN
- CONSTRUCTION TO BE REMOVED
- AREA OF DEMOLITION

EXISTING/DEMOLITION PLAN SHEET NOTES

- 1 EXCAVATE AS REQUIRED TO PERFORM (N) WORK
- 2 REMOVE (E) FLOOR/ROOF ASSEMBLY TO PERFORM (N) WORK

11'-0" FRONT
SETBACK AVG. ADJ.
BUILDINGS

25% REAR-YARD
SETBACK
[SEC. 134(a)(1)]

DUMICAN MOSEY
ARCHITECTS

128 10th street, 3rd floor
san francisco, california 94103
t: 415.495.9322 f: 415.651.9290

Job No.	16112
Issue	Date
ENVIRONMENTAL EVALUATION SET	02 10 17

Drawing Title

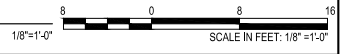
EXISTING/ DEMOLITION
PLANS

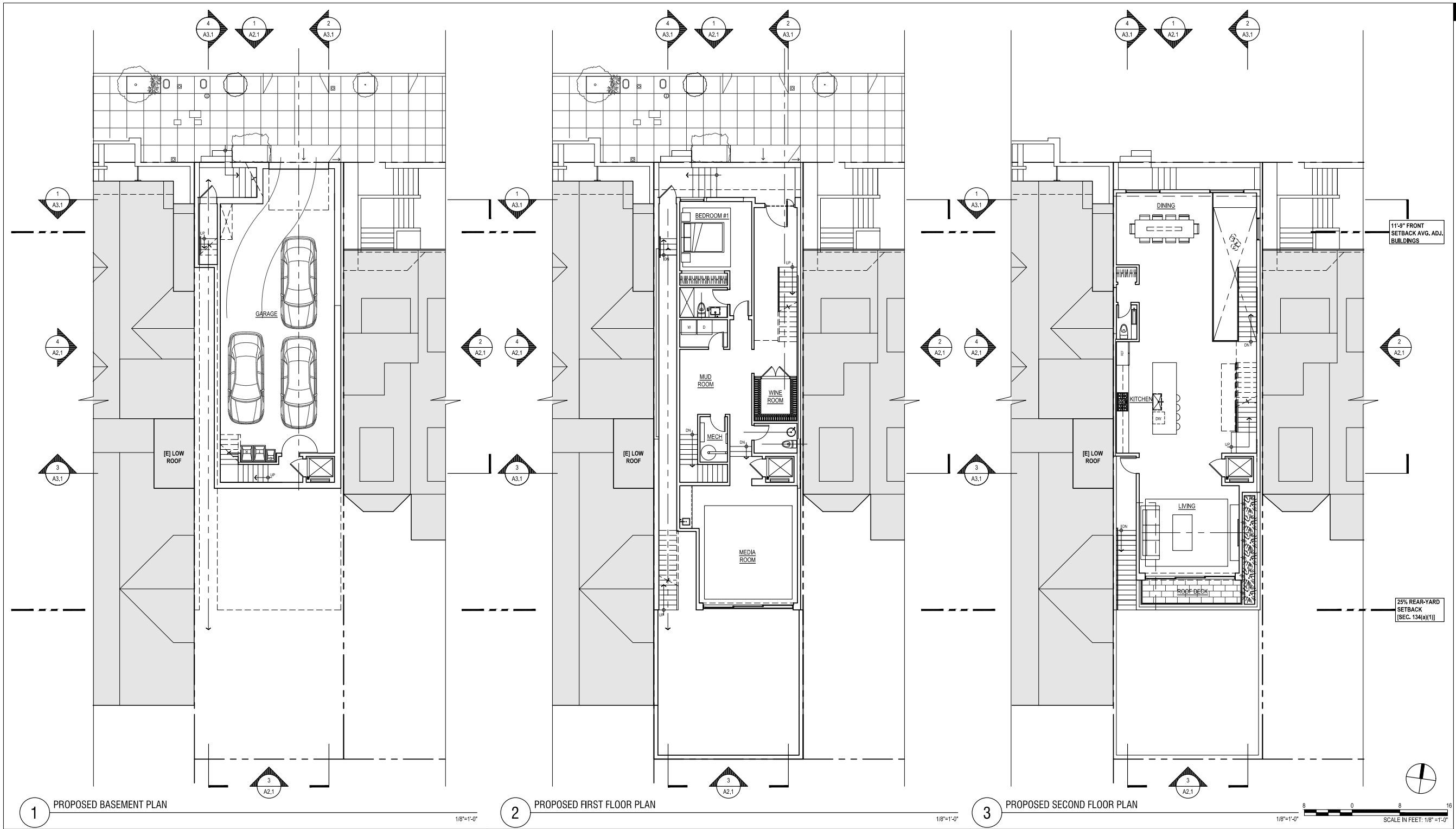
Sheet Number

D1.2

2417 GREEN STREET

SAN FRANCISCO, CA 94123
BLOCK 0560 LOT 028

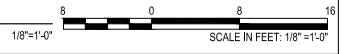




1 PROPOSED BASEMENT PLAN
1/8"=1'-0"

2 PROPOSED FIRST FLOOR PLAN
1/8"=1'-0"

3 PROPOSED SECOND FLOOR PLAN
1/8"=1'-0"



GENERAL PLAN NOTES

1. NOT ALL KEY NOTES ARE USED ON EVERY SHEET

2417 GREEN STREET

SAN FRANCISCO, CA 94123
BLOCK 0560 LOT 028

DUMICAN MOSEY
ARCHITECTS

128 10th street, 3rd floor
san francisco, california 94103
t: 415.495.9322 f: 415.651.9290

11'-0" FRONT
SETBACK AVG. ADJ.
BUILDINGS

25% REAR-YARD
SETBACK
[SEC. 134(a)(1)]

Job No.	16112
Issue	Date
ENVIRONMENTAL EVALUATION SET	02 10 17

Drawing Title

PROPOSED
PLANS

Sheet Number

A1.1

2417 GREEN STREET

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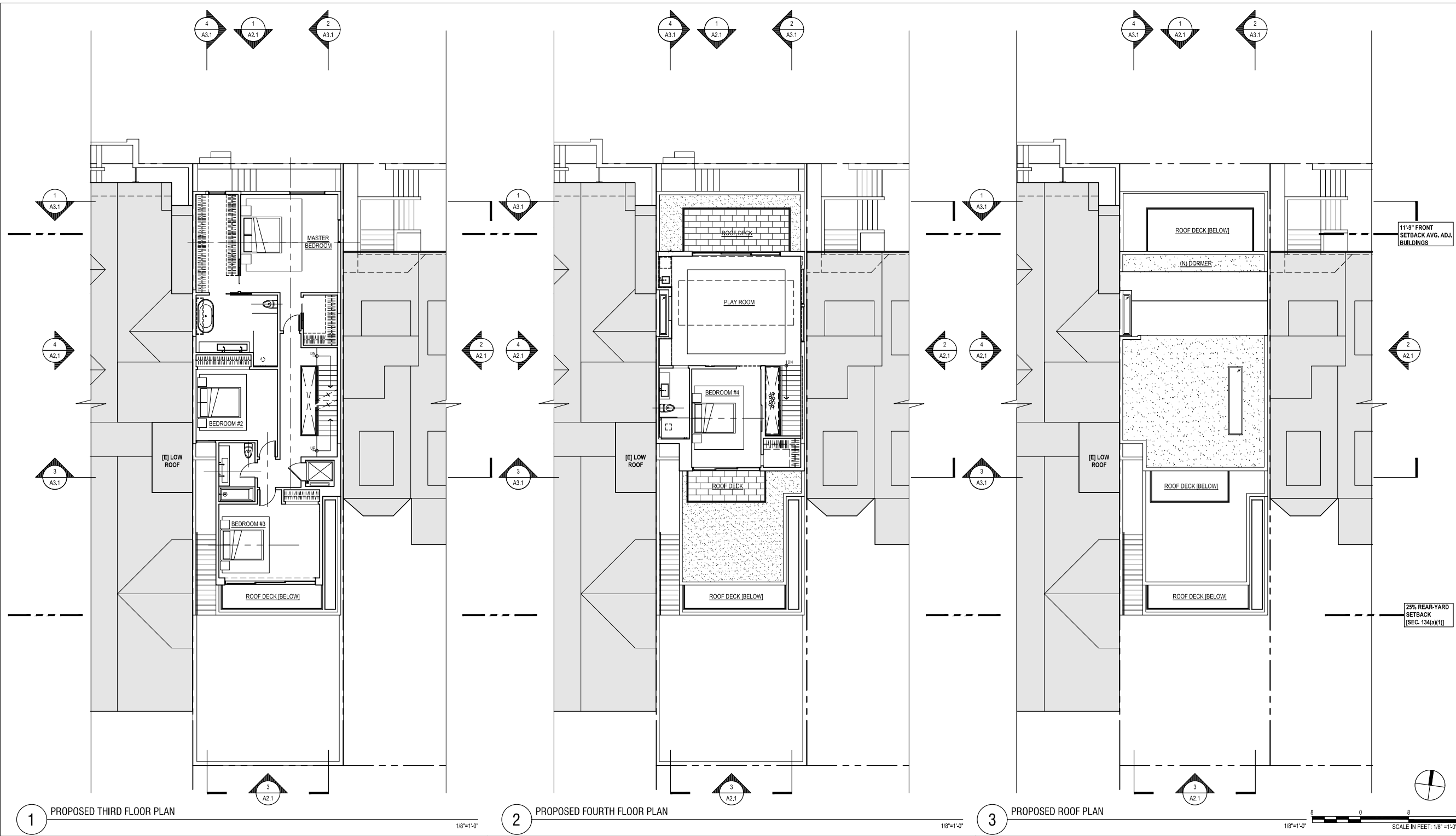
Job No.	16112
Issue	Date
ENVIRONMENTAL EVALUATION SET	02 10 17

Drawing Title

PROPOSED PLANS

Sheet Number

A1.2



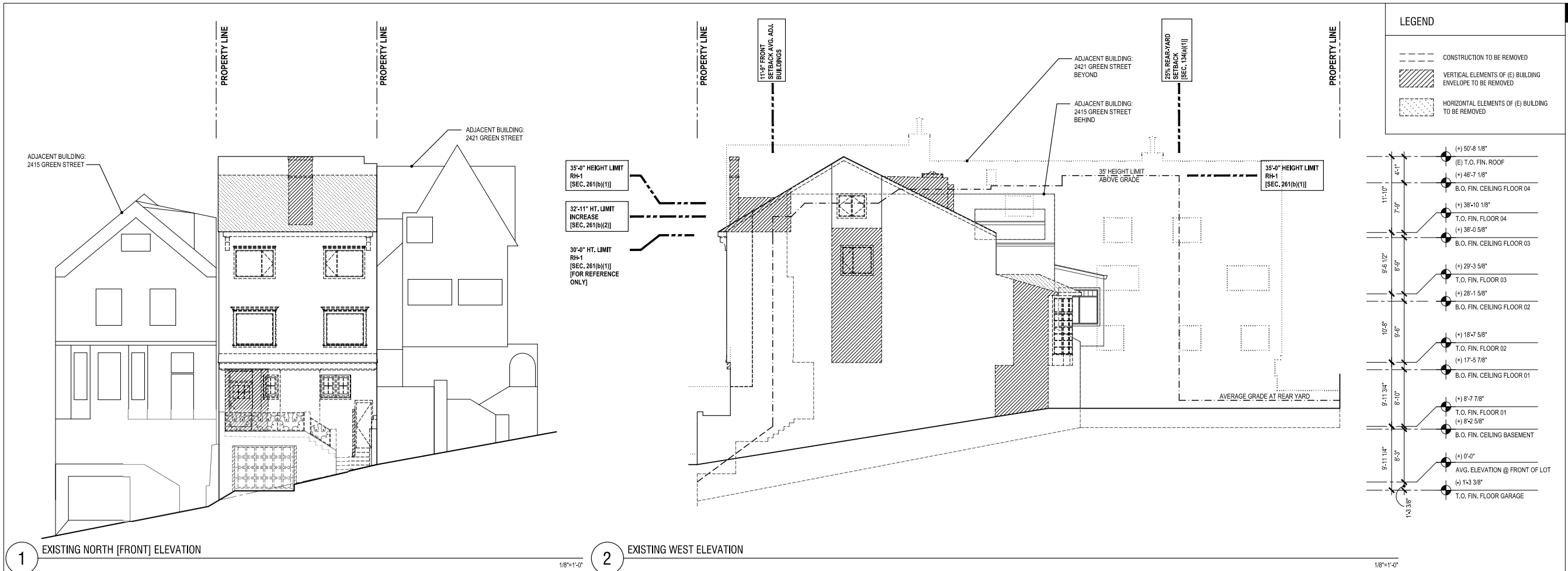
1 PROPOSED THIRD FLOOR PLAN
1/8"=1'-0"

2 PROPOSED FOURTH FLOOR PLAN
1/8"=1'-0"

3 PROPOSED ROOF PLAN
1/8"=1'-0"

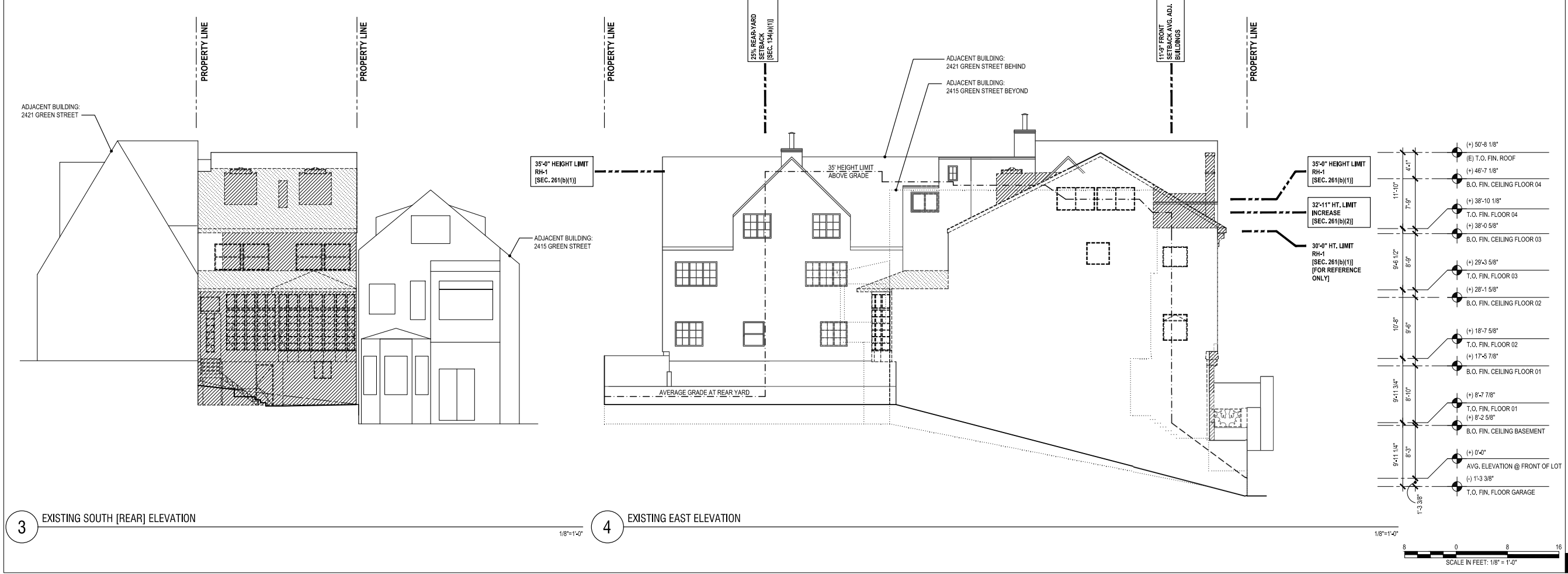
GENERAL PLAN NOTES

1. NOT ALL KEY NOTES ARE USED ON EVERY SHEET



1 EXISTING NORTH [FRONT] ELEVATION
1/8"=1'-0"

2 EXISTING WEST ELEVATION
1/8"=1'-0"



3 EXISTING SOUTH [REAR] ELEVATION
1/8"=1'-0"

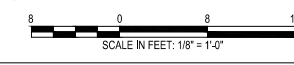
4 EXISTING EAST ELEVATION
1/8"=1'-0"

LEGEND

- CONSTRUCTION TO BE REMOVED
- ▨ VERTICAL ELEMENTS OF (E) BUILDING ENVELOPE TO BE REMOVED
- ▤ HORIZONTAL ELEMENTS OF (E) BUILDING TO BE REMOVED

11'-10"	4'-1"	(+) 50'-8 1/8"	(E) T.O. FIN. ROOF
7'-5"		(+) 46'-7 1/8"	B.O. FIN. CEILING FLOOR 04
7'-5"		(+) 38'-10 1/8"	T.O. FIN. FLOOR 04
7'-5"		(+) 38'-0 5/8"	B.O. FIN. CEILING FLOOR 03
9'-6 1/2"	8'-5"	(+) 29'-3 5/8"	T.O. FIN. FLOOR 03
8'-5"		(+) 28'-1 5/8"	B.O. FIN. CEILING FLOOR 02
10'-8"	9'-6"	(+) 18'-7 5/8"	T.O. FIN. FLOOR 02
10'-8"		(+) 17'-5 7/8"	B.O. FIN. CEILING FLOOR 01
9'-11 3/4"	8'-10"	(+) 8'-7 7/8"	T.O. FIN. FLOOR 01
8'-10"		(+) 8'-2 5/8"	B.O. FIN. CEILING BASEMENT
9'-11 1/4"	8'-3"	(+) 0'-0"	AVG. ELEVATION @ FRONT OF LOT
1'-3 3/8"		(-) 1'-3 3/8"	T.O. FIN. FLOOR GARAGE

11'-10"	4'-1"	(+) 50'-8 1/8"	(E) T.O. FIN. ROOF
7'-5"		(+) 46'-7 1/8"	B.O. FIN. CEILING FLOOR 04
7'-5"		(+) 38'-10 1/8"	T.O. FIN. FLOOR 04
7'-5"		(+) 38'-0 5/8"	B.O. FIN. CEILING FLOOR 03
9'-6 1/2"	8'-5"	(+) 29'-3 5/8"	T.O. FIN. FLOOR 03
8'-5"		(+) 28'-1 5/8"	B.O. FIN. CEILING FLOOR 02
10'-8"	9'-6"	(+) 18'-7 5/8"	T.O. FIN. FLOOR 02
10'-8"		(+) 17'-5 7/8"	B.O. FIN. CEILING FLOOR 01
9'-11 3/4"	8'-10"	(+) 8'-7 7/8"	T.O. FIN. FLOOR 01
8'-10"		(+) 8'-2 5/8"	B.O. FIN. CEILING BASEMENT
9'-11 1/4"	8'-3"	(+) 0'-0"	AVG. ELEVATION @ FRONT OF LOT
1'-3 3/8"		(-) 1'-3 3/8"	T.O. FIN. FLOOR GARAGE



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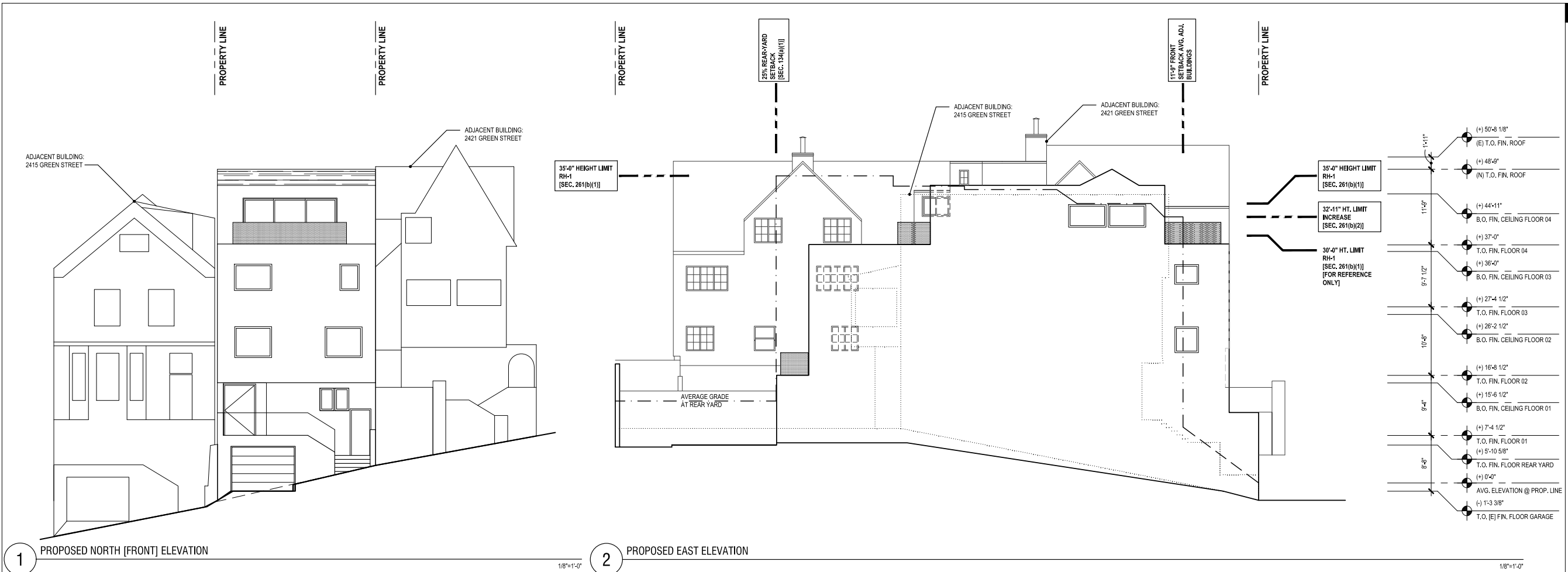
Job No.	16112
Issue	ENVIRONMENTAL EVALUATION SET
Date	02 10 17

Drawing Title

EXISTING ELEVATIONS

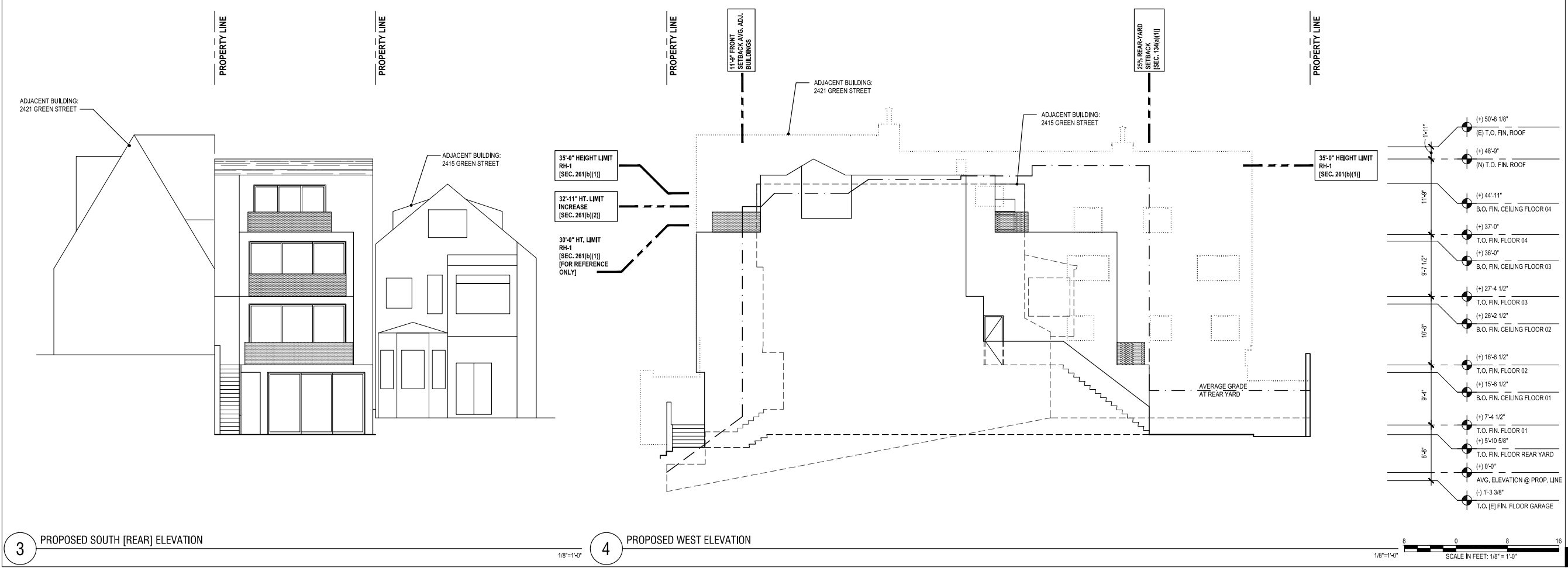
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D2.1



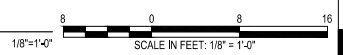
1 PROPOSED NORTH [FRONT] ELEVATION
1/8"=1'-0"

2 PROPOSED EAST ELEVATION
1/8"=1'-0"



3 PROPOSED SOUTH [REAR] ELEVATION
1/8"=1'-0"

4 PROPOSED WEST ELEVATION
1/8"=1'-0"



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Job No.	16112
Issue	Date
ENVIRONMENTAL EVALUATION SET	02 10 17

Drawing Title

PROPOSED ELEVATIONS

Sheet Number

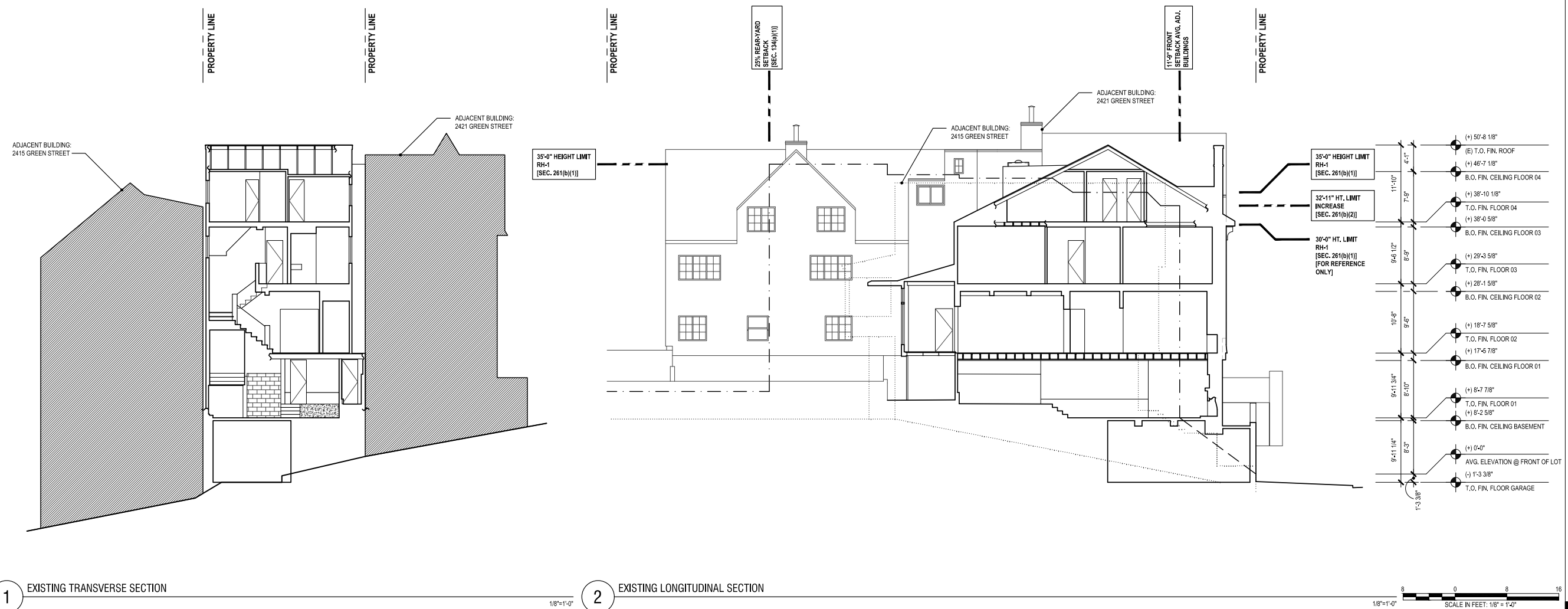
A2.1

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1 EXISTING TRANSVERSE SECTION

2 EXISTING LONGITUDINAL SECTION

1/8"=1'-0"
SCALE IN FEET: 1/8" = 1'-0"

Job No.	16112
Issue	Date
ENVIRONMENTAL EVALUATION SET	02 10 17

Drawing Title
EXISTING SECTIONS

Sheet Number
D3.1

2417 GREEN STREET

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Job No.	16112
Issue	Date
ENVIRONMENTAL EVALUATION SET	02 10 17

Drawing Title

PROPOSED SECTIONS

Sheet Number

A3.1

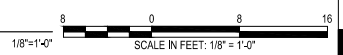
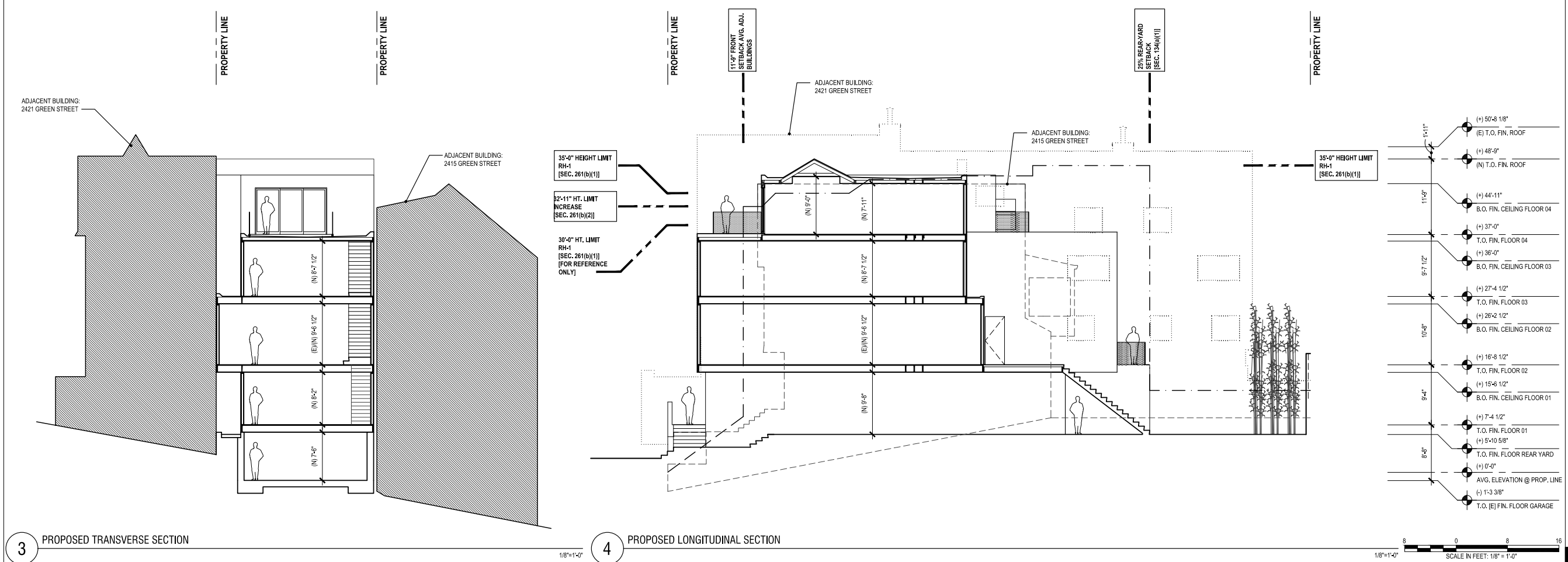
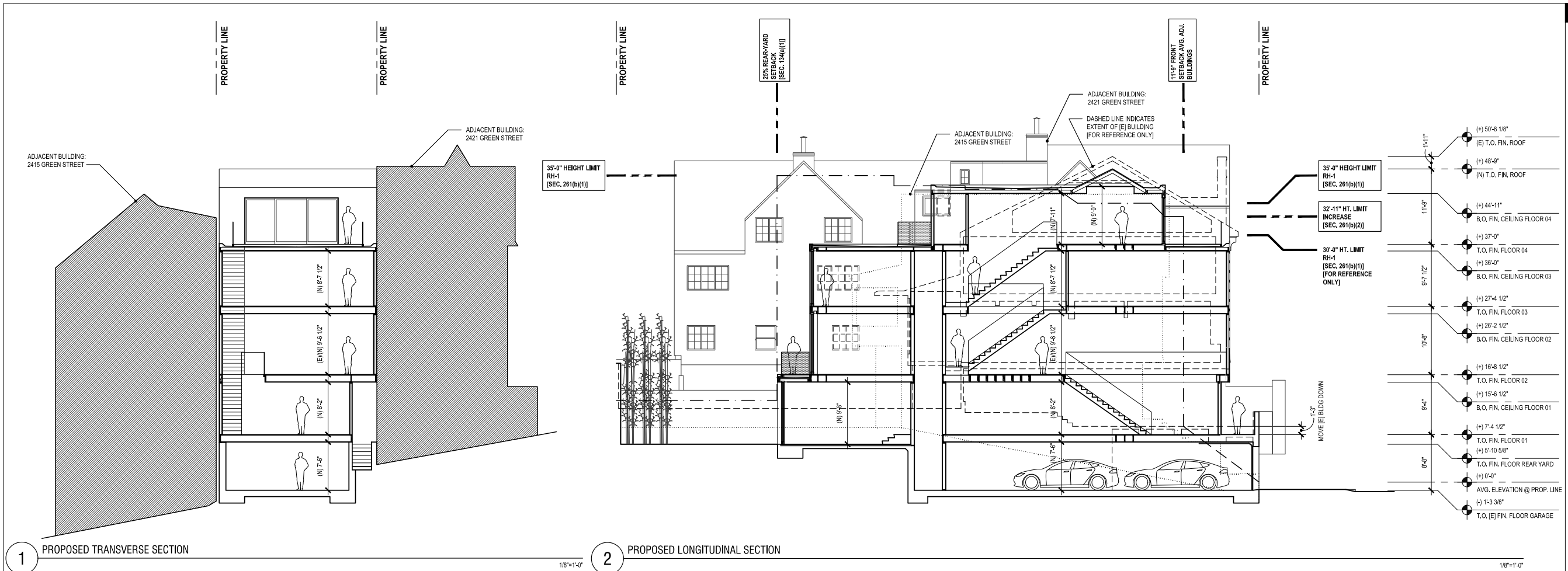


EXHIBIT C

2417 Green Street Environmental Review & CEQA Determination Precedents

Address	Zipcode	Block/Lot	Planning/ Permit #	DR	Maher Zone	Subject Building - Historic Resources	Adjacent Building - Historic Resources	Scope of Work	Environmental Review/ CEQA	Planning Approvals	Architect	Contractor
1 2415 Green St	94123	0560/029	200701192056		Yes	Unknown	Yes; L	REPLACE EXISTING FOUNDATION AND ADD NEW GARAGE/BASEMENT AT FRONT OF HOUSE. REMODEL EXISTING BASEMENT TO BECOME NEW FIRST FLOOR OF FAMILY ROOM, BATHROOM & LAUNDRY ROOM. NEW 2 STORY ADDITION TO REAR OF (E) HOUSE. INTERIOR RENOVATIONS TO (E). NEW REAR DECKS	None required		Hood Thomas Architects	
2 2254 Green St	94123	0539/015	200808270164		Yes	Unknown	No		None required		Killian O'Sullivan	Moroso Construction - Jeff Moroso
3 2500 Broadway	94115	0561/006	201204037447		Yes	Yes	Yes; both	HORIZONTAL ADDITION TO THE BACK SIDE OF THE HOUSE (FACING BACK YARD) @ 1ST LEVEL. ADDITION WILL BE INTO THE (E) DECK BY ENCLOSING SPACE BETWEEN DECKS ON 1ST & 2ND FLOORS. NEW WOOD WINDOWS & DOORS @ THE NEW AREA & EXTENSION OF 1ST FLOOR DECK.	None required		Houman Sharif - Mem Architecture	
4 2434 Broadway	94115	0562/006	201206061976		Yes	Yes	Yes; both	COMPLETE INTERIOR REMODEL INCLUDING HORIZONTAL REAR ADDITION, (N) BASEMENT LEVEL HABITABLE SPACE, REPLACE (E) WINDOWS & DOORS AT FACADE IN-KIND W/ (N) INSULATED UNITS	CEQA - Cat. X		Maniscalco	
5 2440-44 Broadway	94115	0562/007	201510230616		Yes	Yes	Yes; both	INTERIOR RENOVATION & REAR HORIZONTAL ADDITION FOR LARGER LIVING & KITCHEN AREAS. ** MAHER: COMPLIANCE WITH ORDINANCE NO# 155-13 NOT REQUIRED ** ERECT 3 STORIES OF ONE DWELLING UNIT. TYPE 5.	None required		Edmonds & Lee	
6 2712 Broadway	94115	0959/008	201102150303		Yes	Yes	Yes; both		CEQA - Cat. X; 2010.0158E			
7 2555 Divisadero St	94115	0962/002	201009150963		Yes	Yes	Yes; both	VERTICAL ADDITION-ADD 5'11" TO BLDG HEIGHT. INCLUDES NEW ROOM, CLOSET & BATH. 40 SF. HORIZONTAL ADDITION TO CURRENT 3RD FLOOR STAIRWAY. NEW DECK ADDITION @ CURRENT ROOF. STRUCTURAL/SEISMIC WORK AS REQ. NEW FIRE SPRINKLERS AT VERTICAL ADDITION.	CEQA - Cat. X; 2011.1422E			
8 2611 Divisadero St	94123	0959/006	2017-006982VAR		Yes	Yes	Yes; both	EXCAVATION OF (E) PARTIAL CRAWL SPACE @ BASEMENT LEVEL FOR CONSTRUCTION OF NEW FULL BASEMENT LEVEL INCLUDING FULL BATHROOM. REPLACEMENT OF (E) WINDOWS @ FRONT FACADE WITH IN KIND WINDOWS. ** MAHER: EXEMPTED: APPROVAL FROM DPH ATTACHED	CEQA - Cat. X; 2017-006982ENV		Butler Armsden	Glenn Goodman - GGD Inc.
9 2298 Vallejo St	94123	0557/014	2009.0535D		No	No	No	EXTERIOR ALTERATIONS, INCLUDING EXPANSION OF 4TH FLOOR PENTHOUSE, ADDITION OF 2 DORMERS, AND ADDITIONAL EXTERIOR MODIFICATIONS	CEQA - Cat. X; 2009.0535E			
10 2732 Vallejo St	94123	0954/031	201201112092; 201202244828		Yes	Yes	Yes; both	HORIZONTAL ADDITION TO (E) GROUND FLOOR DINING ROOM AND ROOF DECK ABOVE AT FRONT OF HOUSE. REPLACEMENT AND EXTENSION OF EXISTING REAR DECK AT SECOND FLOOR. REMOVAL OF (E) SLOPED ROOF BETWEEN TWO ROOF DORMERS AT REAR AND REPLACEMENT WITH FLAT ROOF. ; INTERIOR REMODEL: BASEMENT LAUNDRY ROOM, BASEMENT BATHROOM AND LOWERING OF BASEMENT SLAB ON GRADE. REMODEL 1ST FL BATH, DEMO STAIR AND AU PAIR ROOM. REMODEL 2ND FLOOR KITCHEN, FAMILY ROOM, ENTRY GALLERY. REMODEL 3RD FL MASTER SUITE BATH. REMODEL 4TH FL BATH. REPLACE WINDOWS/EXT DOORS,REMOVE	CEQA - Cat. X; 2011.1258E		Sarah Thomas, William Duff Architects	Upscale Construction
11 2750 Vallejo St	94123	0954/006	200808149201	2006.0339E_5	No	Yes	Yes; both	HORIZONTAL & VERTICAL ADDITION, RESTORATION, REMODEL AS CONST OF AN ADDITION TO THE 4 STORY SFR, CONSISTENT W/ ENVIRONMENTAL APPLN CASE NO. 20060339E, THIS PA SHALL REPLACE PA #200706143952 & 200706143967, WHICH WILL BE WITHDRAWN UPON APPROVAL OF THIS APPLN.	CEQA - Cat. X; 2006.0339E_5		Baback Doane, Doane & Doane Architects	
12 2881 Vallejo St	94123	0958/015	201006285487		Yes	Unknown	No	REMODEL OF 4 STORIES & BASEMENT INCLUDING NEW INTERIOR STAIR. NEW DORMERS, MINOR ALTERATIONS TO FRONT FACADE, POSSIBLE BELOW-GRADE EXPANSION OF SINGLE CAR GARAGE (TO 2 CAR) & MODIFICATIONS OF STRUCTURAL, MECHANICAL, ELECTRICAL & PLUMBING SYSTEMS.	None required		Dumican Mosey Architects	
13 2865 Vallejo St	94123	0958/017	201610119920	2016-014004DRP	Yes	Unknown	No	VERTICAL & HORIZONTAL ADDITION. RENOVATION OF EXISTING MASTER BATHROOM & CONSTRUCT A NEW PENTHOUSE WITH NEW REAR BALCONY AND NEW FRONT ROOF DECK. AS WELL AS A NEW BATH AT PENTHOUSE LEVEL.	CEQA - Cat. X; 2012.0195E		Butler Armsden	
14 2898 Vallejo St	94123	0955/017	201702239944		Yes	Yes	Yes; both	RENOVATION OF EXISTING SFD, REMODEL OF KITCHEN & BATHROOMS, EXCAVATION OF BASEMENT & 1ST FLOOR TO INCLUDE AN INDOOR POOL & SUB-BASEMENT FOR POOL EQUIP. REPLACE WINDOW SASHES IN KIND. INTERIOR STAIR ROOF ACCESS TO PROPOSED ROOF DECK W/ SLIDING SKYLIGHT, ADDIT'L OF WINDOWS, SPRINKLER UNDER SEP PERMIT	CEQA - Cat. X; ; 2016-001108ENV		Butler Armsden	
15 2880 Vallejo St	94123	0955/016	201707111550		Yes	Yes	Yes; both	HORIZONTAL ADDITION. REAR ADDITION INCLUDING NEW ROOF AT NORTH REAR. INTERIOR REMODEL AT EXISTING FLOORS OF ASSOCIATED STRUCTURAL WORK.	CEQA - Cat. X; 2017-009203ENV		Jensen Architects - Andy Lin & Sutro Architects - Melissa Kim	
16 2430 Vallejo St	94123	0559/038	201304114277		Yes	Unknown	No	HORIZONTAL ADDITION AT REAR NEW TERRACES FILL IN LIGHTWELL AT EAST FACADE REMOVE (E) BALCONY AT FRONT ELEVATION AND REPLACE (E) SHINGLES FOR STUCCO IN ALL FACADES, COMPLETE INTERIOR REMODEL RELOCATING (E) ELEVATOR AND INCORPORATING NEW STAIRS, RAILINGS AND WINDOWS AT WEST, NORTH AND SOUTH ELEVATIONS	CEQA - Cat. X; 2013.1036E		Butler Armsden	
17 2829 Divisadero St	94123	0951/006	201504032814		Yes	Yes	Yes; both	3-STORY REAR ADDITION, WIDENING GARAGE DOOR & DRIVEWAY. INTERIOR REMODEL & ASSOCIATED STRUCTURAL WORK. INTERIOR INCLUDES REMOVAL OF SOME WALLS, REMODEL BATH, BEDROOM, ELEVATOR, KITCHEN & ENLARGE KITCHEN.	None required		Sutro Architects - Steven Sutro	Toboni Group
18 2740 Broderick St	94123	0951/021A	200706083427		Yes	Yes	Yes; both	ROUT TO RAYMOND LUI: FOR SHORING TEMPORARY FO EXCAVATION FOR RESIDENCE NEW WHICH IS UNDER APPROVED BUILDING PERMIT 200603076103 ALSO RELATED TO TWO OTHER PERVIOUSLY APPROVED AND PERMIT FOR SHORING AND UNDERPINNING: 20061107420 AND 200702023284	CEQA - Cat. X; 2005.1195E		Aleck Wilson Architects	
19 2736 Broderick St	94123	0951/021	200611107420		No	Yes	Yes; both	SHORING AND UNDERPINNING (TEMPORARY) ON NORTH SIDE, FOR PROTECTING BUILDING DURING EXCAVATION AT 2740 BRODERICK PROJECT, WHICH IS PERMIT NO#200603076103-SA, RAYMOND LUI IS REVIEWING.	None required			
20 2730 Broderick St	94123	0951/020	200204043156		No	Yes	Yes; both	HORIZONTAL ADDITION	CEQA - Cat. X			
21 2680 Green St	94123	0951/017	201210172211		Yes	Yes	Yes; both	REF 2012-02-14-4178.INFILL AT REAR OF EXIST BLDG ON 1ST,2ND&3RD FLS.TO RESULT IN A CONTINUOUS,ALIGNED REAR WALL. INFILL DOES NOT EXTEND REAR WALL FURTHER INTO REAR YARD.ADD+/- 36 S.F. AT 1/FL, +/- 36 S.F. AT 2/FL& +/- AT 3/FL. TOTAL ADDITION OF 83 S.F. 50 SQ FT SINGLE STORY HORIZONTAL ADDITION IN REAR. NEW DOOR & WINDOW.	CEQA - Cat. X		Ken Linsteadt Architects	
22 2844 Fillmore St	94123	0557/015	201304235248		No	Unknown	No		CEQA - Cat. X; 2011.0469E		Alfonso Fillion	Christoper Hesson - Christopher's Construction
23 2542 Fillmore St	94123		200703095875		No	Unknown	No	INTERIOR AND EXTERIOR RENOVATIONS TO EXIST 2 UNITS, 3 STORY VICTORIAN BUILDING. TO INCLUDE RELOCATION OF 1 UNIT TO LOWER LEVEL, RCONFIG INT PARTITIONS, FINISHES, FIXTURES, EQUIP, EXT IMPROVEMENTS, NEW WINDOWS, DOORS, STUCCO,SIDING,MODIFY DRIVEWAY,STRUC UPGRADES.	None required		Dumican Mosey Architects	Angus Gavin - Gavin Painting & Construction
24 2723 Pacific Ave	94123	0978/013	201506290181		Yes	Yes	Yes; both	EXCAVATE BEHIND (E) GARAGE TO PROVIDE ADDITIONAL 3RD CAR PARKING WITH ELEVATOR CONNECTING THROUGH TO BLDG ABOVE. REMODEL 1 (E) BATHROOMS. NO INCREASE TO BLDG ENVELOPE. NO PORTION VISIBLE TO STREET. NO INCREASE TO HABITABLE CONDITIONED BLDG.	CEQA - Cat. X; 2015-004343ENV			Ashbury Quality Constructing Engineers
25 2721 Pacific Ave	94123	0978/014	201009130694		Yes	Yes	Yes; both	REVISION TO PA# 2009/11/09/0876. REVISION INCLUDES INTERIOR, EXTERIOR MODIFICATIONS (INCLUDING STRUCTURAL, ELECTRICAL, PLUMBING) ASSOCIATED WITH RELOCATING 4TH FLOOR "UNIT B" TO 1ST FLOOR.	CEQA - Cat. X; EE73.146		Dumican Mosey Architects	Ashbury Quality Constructing Engineers