

File No.120726

Committee Item No. _____
Board Item No. 49

COMMITTEE/BOARD OF SUPERVISORS
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Committee _____

Date _____

Board of Supervisors Meeting

Date 7/31/12

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- Legislative Digest
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- Legislative Analyst Report
- Introduction Form (for hearings)
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- Grant Information Form
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- Subcontract Budget
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- Application
- Public Correspondence

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Completed by: Nicole Lyshorn

Date: 7/26/12

An asterisked item represents the cover sheet to a document that exceeds 20 pages. The complete document is in the file.

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**SAN FRANCISCO
PLANNING DEPARTMENT** RECEIVED
BOARD OF SUPERVISORS
SAN FRANCISCO

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Certificate of Appropriateness Appeal
55 Laguna Street

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DATE: July 23, 2012
TO: Angela Calvillo, Clerk of the Board of Supervisors
FROM: Tim Frye, Preservation Coordinator - Planning Department (415) 575-6822
Shelley Caltagirone, Case Planner - Planning Department (415) 558-6625
RE: File No. 120726, Planning Case No. 2012.0033A - Appeal of the approval of
Certificate of Appropriateness for Nos. 257, 258, & 259: Richardson Hall,
Woods Hall, & Woods Hall Annex at 55 Laguna Street.
HEARING DATE: July 31, 2012
ATTACHMENTS:

- A. Historic Preservation Commission Packet
- B. Certificate of Appropriateness Final Motion
- C. Appeal Letter (June 15, 2012)

APPLICANT: Elisa Skaggs, Page & Turnbull, Inc. 724 Pine Street, San Francisco, CA 94108
APPELLANT: Cynthia Servetnick, Director of Save the Laguna Street Campus, 845 Sutter
Street, No. 512, San Francisco, CA 94109

INTRODUCTION

This memorandum and the attached documents respond to an appeal of the Historic Preservation Commission's ("Commission") approval of a Certificate of Appropriateness under Planning Code Section 1006.1 (Applications for Certificate of Appropriateness) for proposed work to San Francisco Landmark Nos. 257 (Richardson Hall), 258 (Woods Hall), and 259 (Woods Hall Annex) at 55 Laguna Street, the former University of California Berkeley Extension Campus and historically significant as the San Francisco Normal School/San Francisco State Teacher's College. Specifically, the Commission approved interior and exterior rehabilitation of the three buildings, as described in more detail below.

This response addresses the appeal ("Appeal Letter") filed on June 15, 2012 by Cynthia Servetnick, Director of Save the Laguna Street Campus. The Appeal Letter referenced the proposed project in Case No. 2012.0033A.

The decision before the Board is whether to uphold, uphold and modify, or overturn the Historic Preservation Commission's approval of a Certificate of Appropriateness to allow the proposed work to the three landmarked buildings located at 55 Laguna Street.

SITE DESCRIPTION & PRESENT USE

55 LAGUNA STREET, San Francisco Normal School/San Francisco State Teacher's College, is located on two blocks bounded by Laguna, Haight, Buchanan, and Hermann Streets. Assessor's

Block 0857, Lots 001 and 001a and Assessor's Block 0870, Lots 001, 002, and 003. The property consists of five buildings, three of which are San Francisco Landmarks designated under Article 10 of the Planning Code. On September 11, 2007, this Board passed Ordinance 216-07 approving the landmark designation of three *individual* buildings-- Burke-Richardson Hall (a.k.a. Richardson Hall 1930) (Landmark No. 257); Anderson-Woods Hall (a.k.a. Woods Hall 1926) (Landmark No. 258); and Anderson-Woods Hall Annex (a.k.a. Woods Hall Annex 1935) (Landmark No. 259). The two other buildings on the site-- Middle Hall (1924) and the Dental Building (1970)—are not designated as San Francisco Landmarks and thus are not subject to the Certificate of Appropriateness requirements.

The campus was originally designed in the Spanish Revival style for the California State Normal School by the Office of the State Architect. The Master Plan for the campus was developed by George B. McDougall and construction spanned 1924-1935. The campus was listed as a Historic District on the National Register of Historic Places on January 7, 2008; however, the campus as a whole is not designated as a City Landmark District under Article 10 of the Planning Code. The National Register district comprises the two city blocks bounded by Haight Street to the north, Laguna Street to the east, Hermann Street to the south, and Buchanan Street to the west. The district includes Richardson Hall, Richardson Hall Annex, Middle Hall, Woods Hall, and Woods Hall Annex as well as Waller Street, which was merged into the campus in 1922. The UCSF Dental Clinic is not part of the historic campus.

PROJECT DESCRIPTION

The approval of the Certificate of Appropriateness is part of a larger project—the 55 Laguna Mixed Use Project—which was approved in 2008-09.¹

The Certificate of Appropriateness is to rehabilitate Richardson Hall for use as senior services, senior housing, and retail and/or office space; to rehabilitate Woods Hall for use as housing; and, to rehabilitate Woods Hall Annex for use as a community center. The scope of work for all three buildings includes creating several new wall openings, selective window replacement and/or modification, seismic upgrades, maintenance and repair work, and in-kind roof repair and/or replacement. At the interior, the work at all three buildings includes changes in door locations and alteration of non-designated spaces.

Specifically, the scopes of work reviewed the Historic Preservation Commission under the Certificate of Appropriateness include:

¹ The project requires modification of the Conditional Use Authorization by the Planning Commission, scheduled to be heard on August 16, 2012, and Board of Supervisors action for the creation of Waller Park, not yet scheduled for hearing. The new building component of the 55 Laguna Mixed Use project also required design review and comment by the Historic Preservation Commission prior to the future Conditional Use Authorization hearing and was heard on July 18, 2012.

At **Richardson Hall**, the new use will retain the entry portal and sculpture on Hermann Street, the massing of the auditorium and stacks, the faux bell tower, and courtyard entry. The new partition plan will incorporate the existing circulation pattern of the building and the units will be located along the existing double-loaded corridor. The interior work will include protection and preservation of the Bebe Daum "Angel" mural. The proposed work includes maintenance, a seismic upgrade, and new roof membrane and repairs to the existing clay tile roof. At the basement level, part of the retaining wall along Hermann and Laguna Streets will be removed to install new window and door openings. Two variants for the configuration of the openings are proposed: Variant A reflects the combination of retail and office space and Variant B reflects the combination of retail and residential space and eliminates need for large openings along the street wall and decreases excavation. The final use has not been determined for these spaces. The new openings will be located between the quoins on the retaining wall. At the first floor, an addition at the northwest corner of the building will be removed. The raised floor, fixed seating, and projection room of the existing auditorium will also be removed.

At **Woods Hall**, the new use will retain the interior entry hall with its original exposed rafters and the building's internal circulation patterns. Deferred maintenance issues will be addressed, including repairs to the clay tile roof. At the corner of Buchanan and Haight Streets, the central portion of the existing stucco wall will be demolished.

At **Woods Hall Annex**, the new use will retain the existing circulation pattern. The interior work will include protection and preservation of the Reuben Kadish's mural "A Dissertation on Alchemy". A second stair and exit door will be added on the west side of the building to meet egress requirements. Deferred maintenance issues will be addressed including repairs to the clay tile roof. Existing noncontributing doors will be replaced. The concrete steps at the Haight Street entry will be removed to accommodate a new accessible, level entry. The central portion of the street wall that extends east beyond the building will also be removed.

BACKGROUND

The 55 Laguna Mixed Use Project was previously reviewed under Case No. 2004.0773E!CMTR and received its entitlements in 2008-09.

The Board of Supervisors approved Ordinance 216-07 on September 11, 2007, approving the landmark designation of three *individual buildings* located within the campus - Richardson Hall, Woods Hall, and Woods Hall Annex.

On March 27, 2012, Elisa Skaggs, Page & Turnbull, Inc., (Project Sponsor) filed an application with the Department for a Certificate of Appropriateness to rehabilitate Richardson Hall for use as senior services, senior housing, and retail and/or office space; to rehabilitate Woods Hall for use as housing; and, to rehabilitate Woods Hall Annex for use as a community center.

The project received approval of the Certificate of Appropriateness request on May 16, 2012. The infill buildings were reviewed by the Architectural Review Committee on June 20, 2012 and by the Historic Preservation Commission on July 18, 2012 in accordance with the Final

Environmental Impact Report (FEIR) mitigation measures and the existing Conditional Use Authorization.

CERTIFICATE OF APPROPRIATENESS REQUIREMENTS

A Certificate of Appropriateness is required for any construction, alteration, removal, or demolition of a designated Landmark for which a City permit is required. Therefore, a Certificate of Appropriateness was required for the proposed work at Richardson Hall, Woods Hall, and Woods Hall Annex. In appraising a proposal for a Certificate of Appropriateness, the Historic Preservation Commission considers the factors of architectural style, design, arrangement, texture, materials, color, and other pertinent factors. Section 1006.7 of the Planning Code provides in relevant part as follows:

- a. The proposed work shall be appropriate for and consistent with the effectuation of the purposes of Article 10.
- b. The proposed work shall be compatible with the historic structure in terms of design, materials, form, scale, and location. The proposed project will not detract from the site's architectural character as described in the designating ordinance. For all of the exterior and interior work proposed, reasonable efforts have been made to preserve, enhance or restore, and not to damage or destroy, the exterior architectural features of the subject property which contribute to its significance.

ENVIRONMENTAL REVIEW

The 55 Laguna Mixed Use Project Final Environment Impact Report (FEIR), Case No. 2004.0773E, was certified by the Planning Commission on January 17, 2008. In approving the project in 2008, the Planning Commission adopted findings under the California Environmental Quality Act, Public Resources Code §§21000 *et seq.* (CEQA), the CEQA Guidelines, 14 Cal. Code. Regs. §§15000 *et seq.*, and Chapter 31 of the San Francisco Administrative Code, including a statement of overriding considerations; and adopted a Mitigation Monitoring and Reporting Program (MMRP). On April 15, 2008, the Board of Supervisors approved the project, and in so doing adopted the Planning Commission's CEQA approval findings as its own, adopted the MMRP, and adopted additional findings under CEQA, which can be found on file with the Clerk of the Board of Supervisors in Files Nos. 071001, 071002, and 080319.

On May 8, 2012, the Planning Department published an addendum to the FEIR incorporating the minor changes described in the current project. As the project impacts to historic resources had not changed, the mitigation measures identified in the FEIR and listed below remain in place:

- 1) HR-1 (HABS Level Recordation),
- 2) HR-2 (Interpretative Display),
- 3) HR-3 (Preservation Architect),
- 4) HR-4 (Mural Identification, Testing, and Restoration Procedures), and
- 5) HR-5 (Arborist)

Since the EIR was published, HR-3 (Preservation Architect) has been partially completed. As prescribed by the mitigation measure, a window and door survey was completed in November 2008, a mural investigation was completed in October 2008, and design guidelines were completed in December 2008. As per the mitigation, a preservation architect will continue to work with the project team to assist in ensuring compatibility of the new structures with the historic district individual historic resources, to manage treatment of the retained historic resource buildings, and to act with overall responsibility to implement historic resource mitigations, monitor work performed, and to report to the City through the end of construction.

APPELLANT ISSUES AND PLANNING DEPARTMENT RESPONSES

The concerns raised in the Appeal Letter are cited in a summary below and are followed by the Department's response:

Issue 1: The Appellant contends that the Certificate of Appropriateness was issued prematurely because the Commission did not take the 55 Laguna Mixed Use Project as a whole, or its adverse effects on the San Francisco State Teacher's College National Register Historic District into account.

Response 1: In approving the Certificate of Appropriateness, the Historic Preservation Commission's—and this Board's—jurisdiction is limited to the work proposed to the three landmarked buildings. Under the Article 10 of the Planning Code, a Certificate of Appropriateness is required *only* for properties that have been designated as landmarks by the Board of Supervisors. Thus, the scope of the Certificate of Appropriateness was limited to considering the proposed interior and exterior work to Richardson Hall, Woods Hall, and Woods Hall Annex. Because the campus as a whole is not landmarked under Article 10 of the Planning Code, the Historic Preservation Commission could not review and approve work on the project site that is not part of the work to the three landmarked buildings.

Nevertheless, and as required by CEQA, in approving the Certificate of Appropriateness for these three landmarked buildings, the Historic Preservation Commission did review the 55 Laguna Mixed Use Project FEIR and the addendum to the FEIR incorporating the current project, which was published on May 8, 2012. These two documents combined describe the 55 Laguna Mixed Use Project in its entirety and provided adequate context for the Historic Preservation Commission to review the work included in the Certificate of Appropriateness Application. Additionally, in reviewing the Application, the Historic Preservation Commission had available for its review and consideration case reports, plans, and other materials pertaining to the Project contained in the Department's case files, including the FEIR and Addendum, and had reviewed and heard testimony and received materials from interested parties during the public hearing on the Project.

Finally, in approving the Certificate of Appropriateness, the Commission incorporated and adopted the CEQA approval findings made by both the Planning Commission, Motion No. 17533, and the Board of Supervisors, which can be found on file with the Clerk of the Board of

Supervisors in Files Nos. 071001, 071002, and 080319. The Commission also found that there have been no substantial changes to the project or the circumstances surrounding the project as described in the FEIR that would lead to the involvement of new significant impacts or a substantial increase in the severity of previously identified significant impacts. Additionally, no new information of substantial importance has come to light showing that the project would result in any new significant effects or a substantial increase in any previously identified significant effects or that any mitigation measures or alternatives previously found not to be feasible would in fact be feasible.

Issue 2: The Appellant contends that the Certificate of Appropriateness was issued prematurely because the Commission did not incorporate the forthcoming findings and mitigation measures from the concurrent [National Environmental Policy Act] NEPA/Section 106 process.

Response 2: The Commission was not required under NEPA to incorporate federal findings and mitigation measures in the Certification of Appropriateness approval because approval of the Certificate of Appropriateness is not part of a "federal undertaking" and, thus, is not subject to NEPA or Section 106 of the National Historic Preservation Act (NHPA).

As background, a portion of the proposed project may receive federal funding to provide affordable senior housing. Such federal funding is considered a "federal undertaking" subject to NEPA and Section 106 of the NHPA. This funding is administered by the Mayor's Office of Housing (MOH). As a responsible entity for the U.S. Department of Housing and Urban Development (HUD), Community Development Block Grants (CDBG), and other programs, MOH's actions are governed by 24 Code of Federal Regulations (CFR) Part 58. Part 58 Section 22 sets forth the limitations on activities pending completion of *federal* environmental review under NEPA. Under these requirements, the City is prohibited from committing federal funds until HUD has approved a Request for Release of Funds, which certifies that the appropriate level of *federal* environmental review has been completed for the *federal* undertaking.

Part 58 places no prohibition on approval processes, planning activities or identification of mitigation measures which become part of the project description. Neither NEPA nor the NHPA prohibits agency officials from conducting or authorizing nondestructive project planning activities before completing compliance with Section 106, provided that such actions do not restrict the subsequent consideration of alternatives to avoid, minimize or mitigate the undertaking's adverse effects on historic properties.

A Certificate of Appropriateness is not a federal undertaking significantly affecting the human environment. It is an entitlement issued by the Historic Preservation Commission that would allow a property owner to obtain a permit from the San Francisco Department of Building Inspection for approved improvements to the owner's property. Because of the Certificate of Appropriateness is not part of the federal undertaking (i.e. the federal funding of affordable senior housing), it is not subject to NEPA and Section 106 of the NHPA.

CONCLUSION

For the reasons stated above, the Planning Department recommends that the Board uphold the Historic Preservation Commission's decision in approving the Certificate of Appropriateness for the alteration of the three 55 Laguna Street landmark buildings.

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Attachment A



SAN FRANCISCO PLANNING DEPARTMENT

Certificate of Appropriateness Case Report

HEARING DATE: MAY 16, 2012

1650 Mission St.
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San Francisco,
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Filing Date: March 27, 2012
Case No.: **2012.0033A**
Project Address: **55 Laguna Street**
Historic Landmarks: Nos. 257, 258, & 259: Richardson Hall, Woods Hall, & Woods Hall Annex
Zoning: RM-3 (Residential, Mixed, Medium Density) Zoning District/
40-X Height and Bulk District;
NC-3 (Moderate-Scale Neighborhood Commercial) Zoning District/
85-X Height and Bulk District
Block/Lot: 0857/ 001 & 001a
0870/ 001, 002, & 003
Applicant: Elisa Skaggs, Page & Turnbull, Inc.
724 Pine Street
San Francisco, CA 94108
Staff Contact Shelley Caltagirone - (415) 558-6625
shelley.caltagirone@sfgov.org
Reviewed By Tim Frye - (415) 558-6325
tim.frye@sfgov.org

PROPERTY DESCRIPTION

55 LAGUNA STREET, San Francisco Normal School/San Francisco State Teacher's College, is located on two blocks bound by Laguna, Haight, Buchanan, and Hermann Streets. Assessor's Block 0857, Lots 001 and 001a and Assessor's Block 0870, Lots 001, 002, and 003. The property contains San Francisco Landmark Nos. 257, 258, and 259 - Burke-Richardson Hall (a.k.a. Richardson Hall), Anderson-Woods Hall (a.k.a. Woods Hall), and Anderson-Woods Hall Annex (a.k.a. Woods Hall Annex). The buildings contribute to the National Register-listed San Francisco Normal School/State Teacher's College campus. The site consists of five buildings on two city blocks bounded by Buchanan, Hermann, Haight, and Laguna Streets: Middle Hall (1924), Woods Hall (1926), Woods Hall Annex (1935), Richardson Hall (1930, with the Administration Wing constructed in 1924), and the Dental Building (1970). The campus was originally designed in the Spanish Revival style for the California State Normal School by the Office of the State Architect. The Master Plan for the campus was developed by George B. McDougall and construction spanned 1924-1935. The site is zoned RM-3 (Residential, Mixed, Medium Density District)/ 40-X Height and Bulk District; and NC-3 (Moderate-Scale Neighborhood Commercial District)/ 85-X Height and Bulk District.

BACKGROUND

The 55 Laguna Mixed Use Project was previously reviewed under Case No. 2004.0773E!CMTR and received its entitlements in 2008-09. The property was then sold to the new owners in 2010 and the project sponsor submitted a revised project to the Planning Department for review in 2011.

The project site was first determined to be a historic resource as a National Register eligible historic district in the Historic Resource Evaluation Response dated June 15, 2006. The Department found that the "campus as a whole, and Richardson Hall, Woods Hall, and Woods Hall Annex individually, are significant under Criterion 1 (Events) and Criterion 3 (Architecture) and that the project did not meet the Secretary of the Interior Standards for Rehabilitation, which led to the production of the Environmental Impact Report (EIR). On February 21, 2007, the LPAB held a review and comment concerning the Draft EIR and initiated landmark designation of the 55 Laguna site. The LPAB voted 5-1 (with two members absent) on April 18, 2007 in favor of recommending landmark designation of the campus *as a site with four contributing buildings*. The Planning Commission voted not to recommend the landmark designation of the campus *as a site* on June 7, 2007. In response to the Commission's decision, the LPAB voted unanimously (with two members absent) on June 20, 2007 to appeal the Commission's original recommendation to the Board of Supervisors. Upon appeal of the Commission's decision, Ordinance 216-07 was passed on September 11, 2007 approving the landmark designation of three *individual buildings* located within the campus - Richardson Hall, Woods Hall, and Woods Hall Annex. On October 3, 2007, the LPAB held a Review and Comment concerning the proposed nomination of the site to the National Register of Historic Places and the site was ultimately listed on the National Register on January 7, 2008.

On December 18, 2008, the LPAB held a hearing to review the design compatibility analysis and guidelines prepared as Mitigation Measure HR-3 of the EIR and a request for a Certificate of Appropriateness (CofA). At that hearing the LPAB took two votes on the design guidelines item: the first vote was to approve the historic building guidelines, and the second vote was to say that they were "not in agreement" with the new building guidelines. Therefore, the LPAB "agreed by consensus" on the design guidelines as required by the Mitigation schedule prior to approval of CofA. Although the LPAB voted to approve the CofA at the hearing, the Certificate was motion was not signed into affect by the Planning Director before the dissolution of the LPAB on December 31, 2008 and the action become void. Therefore, the project is before the Historic Preservation Commission to again seek approval of Certificate of Appropriateness for the project involving the three landmark buildings.

PROJECT DESCRIPTION

The proposal is to rehabilitate Richardson Hall for use as senior services, senior housing (40 dwelling units), and retail and/or office space in new excavated space created behind the Hermann/Laguna Street retaining wall; to rehabilitate Woods Hall for use as housing (21 dwelling units); and, to rehabilitate Woods Hall Annex for use as a community center. At the exterior, the work at all three buildings will generally include creating several new wall openings, selective window replacement and/or modification, seismic upgrades, maintenance and repair work, and in-kind roof repair and/or replacement. At the interior, the work at all three buildings will generally include changes in door locations and alteration of non-designated spaces. Please see details described below and shown in the attached drawings.

1. At **Richardson Hall**, the building will be rehabilitated for use as retail, offices, senior services, and housing. The new use will retain the entry portal and sculpture on Hermann Street, the massing of the auditorium and stacks, the faux bell tower, and courtyard entry. The new partition plan will incorporate the existing circulation pattern of the building and the units will be located along the existing double-loaded corridor. The interior work will include protection

and preservation of the Bebe Daum "Angel" mural. Deferred maintenance issues will be addressed, including a seismic upgrade, new roof membrane and repairs to the existing clay tile roof. At the basement level, part of the retaining wall along Hermann and Laguna Streets will be removed to install new window and door openings. Two variants for the configuration of the openings are proposed: Variant A reflects the combination of retail and office space and Variant B reflects the combination of retail and residential space and eliminates need for large openings along the street wall and decreases excavation. The final use has not been determined for these spaces. The new openings will be located between the quoins on the retaining wall. At the first floor, an addition at the northwest corner of the building will be removed. The raised floor, fixed seating, and projection room of the existing auditorium will also be removed.

2. At **Woods Hall**, the building will be rehabilitated for use as housing. The new use will retain the interior entry hall with its original exposed rafters and the building's internal circulation patterns. As part of the project planning, Page & Turnbull performed an investigation of potential murals near the northwest entrance and found that they appear to have been previously removed or destroyed (report attached). Deferred maintenance issues will be addressed, including repairs to the clay tile roof. At the corner of Buchanan and Haight Streets, the central portion of the existing stucco wall will be demolished.
3. At **Woods Hall Annex**, the building will be rehabilitated for use as a community center. The new use will retain the existing circulation pattern. The interior work will include protection and preservation of the Reuben Kadish's mural "A Dissertation on Alchemy". A second stair and exit door will be added on the west side of the building to meet egress requirements. Deferred maintenance issues will be addressed including repairs to the clay tile roof. Existing non-contributing doors will be replaced. The concrete steps at the Haight Street entry will be removed to accommodate a new accessible, level entry. The central portion of the street wall that extends east beyond the building will also be removed.

OTHER ACTIONS REQUIRED

The project requires Conditional Use Authorization by the Planning Commission and Board of Supervisors action for the creation of Waller Park. The new building component of the 55 Laguna Mixed Use project also requires design review and comment by the Historic Preservation Commission prior to the future Conditional Use Authorization hearing, which has not yet been scheduled.

COMPLIANCE WITH THE PLANNING CODE

The proposed project is in compliance with all other provisions of the Planning Code.

APPLICABLE PRESERVATION STANDARDS

ARTICLE 10

A Certificate of Appropriateness is required for any construction, alteration, removal, or demolition of a designated Landmark for which a City permit is required. In appraising a proposal for a Certificate of Appropriateness, the Historic Preservation Commission should consider the factors of architectural style, design, arrangement, texture, materials, color, and other pertinent factors. Section 1006.7 of the Planning Code provides in relevant part as follows:

- a. The proposed work shall be appropriate for and consistent with the effectuation of the purposes of Article 10.
- b. The proposed work shall be compatible with the historic structure in terms of design, materials, form, scale, and location. The proposed project will not detract from the site's architectural character as described in the designating ordinance. For all of the exterior and interior work proposed, reasonable efforts have been made to preserve, enhance or restore, and not to damage or destroy, the exterior architectural features of the subject property which contribute to its significance.

THE SECRETARY OF THE INTERIOR'S STANDARDS

Rehabilitation is the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features that convey its historical, cultural, or architectural values. The Rehabilitation Standards provide, in relevant part(s):

Standard 1: A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships.

The proposed new housing, retail, office, assembly, and public service uses for the buildings may be achieved without causing significant changes to their distinctive materials, features, spaces, and spatial relationships

Standard 2: The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.

The proposed work will not cause the removal, alteration, or obstruction of any character-defining features of the site. The portions of wall proposed to be removed for the enlargement of existing window openings or at the low wall located at the Buchanan/Haight Street entry will not remove any distinctive materials or significantly alter the historic character of the landmark buildings. Exterior features of Richardson Hall to be preserved are the massing of the auditorium and stacks, the entry portal at the Hermann Street, the bell tower and entry portal at the interior courtyard, the metal railing at Hermann Street, the historic metal windows, and the clay tile roof. The figural sculpture at the Hermann Street entry and the owl perched along the exterior of the auditorium will also be preserved. Interior features to be preserved include the first floor corridors with the barrel and groin-vaulted ceilings and decorative plaster wall treatments and the Jack Moxom mural depicting an angel. Significant architectural features of Woods Hall Annex such as the entry archway on Haight Street, the WPA plaque, the courtyard entry and oriel window above, the Kadish mural, and the monumental stair on the east side of the building will be retained.

Standard 3: Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.

The proposed exterior changes will be carefully differentiated from the existing historic features and will be recognized as contemporary alterations.

Standard 5: Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.

The findings of the mosaic investigative report prepared by Page & Turnbull in accordance with the EIR Mitigation Measures has ensured that the historic feature was been previously removed and, therefore, will not be affected by the proposed project.

Standard 6: Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.

The proposal calls for retaining sound historic stucco and roofing tiles and replacing in-kind or with salvaged materials when necessary.

Standard 7: Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.

Although no chemical or physical treatments are anticipated, if deemed necessary by the consulting preservation architect and the Planning Department, such treatments will be undertaken using the gentlest means possible and under the supervision of a historic architect or conservator.

Standard 9: New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

The proposed exterior changes will be carefully differentiated from the existing historic features and will be compatible with the character of the property, including the proposed railings, windows and doors, and storefronts at Hermann and Laguna Streets.

Standard 10: New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

The installation of the proposed new elements, such as the proposed railings, windows and doors, and storefronts, will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

PUBLIC/NEIGHBORHOOD INPUT

The Department has received comments on the project by Cynthia Servetnick on behalf of Save the Laguna Street Campus regarding the associated CEQA and NEPA reviews. Correspondence can be provided upon request.

ISSUES & OTHER CONSIDERATIONS

None.

STAFF ANALYSIS

Based on the requirements of Article 10, the designating ordinances, and the Secretary of Interior's Standards, staff has determined that the proposed work will have no adverse impact to the landmark buildings. Regarding the specific elements of the proposal, staff finds:

- That the proposed new housing, retail, assembly, and public service uses for the buildings may be achieved without causing significant changes to their distinctive materials, features, spaces, and spatial relationships;
- That the proposed work will not cause the removal, alteration, or obstruction of any character-defining features of the site. The portions of wall proposed to be removed for the creation of window openings or at the low wall located at the Buchanan/Haight Street entry will not remove any distinctive materials or significantly alter the historic character of the landmark buildings. Also, all structural, mechanical, electrical, plumbing installations will be designed to occur in areas that are not visible from the street or are on secondary facades so that they do not affect any character-defining features of the buildings;
- That the window survey indicates that the majority of historic windows at the three buildings will be retained (97% at Richardson Hall, 93% at Woods Hall, and 100% at Woods Hall Annex); that no window openings will be altered; and that 28 or 29 window openings to be created at Richardson Hall will maintain the historic rhythm of fenestration;
- That the proposed exterior changes will be carefully differentiated from the existing historic features and will be compatible with the character of the property, including the proposed railings, windows and doors, and storefronts at Hermann and Laguna Streets. The new features will have contemporary designs but will refer to the historic buildings through their materials, finishes, and scale;
- That the proposal calls for retaining sound historic stucco and roofing tiles and replacing in-kind or with salvaged materials when necessary;
- That the findings of the mosaic investigative report prepared by Page & Turnbull in accordance with the EIR Mitigation Measures has ensured that the historic feature was been previously removed and, therefore, will not be affected by the proposed project;
- That, if deemed necessary by the preservation architect and Planning Department staff, chemical or physical treatments will be undertaken using the gentlest means possible and under the supervision of a historic architect or conservator;
- That Mitigation Measure HR-3 of the *Mitigation Monitoring and Reporting Program* for the *55 Laguna Mixed Use Project Environmental Impact Report* pertaining to mural preservation will ensure the protection of these significant features; and,

- That the installation of the proposed new elements, such as the proposed railings, windows and doors, and storefronts, will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

ENVIRONMENTAL REVIEW STATUS

The 55 Laguna Mixed Use Project Environment Impact Report was certified by the Planning Commission on January 17, 2008. An addendum to the EIR incorporating the current project was published on May 8, 2012. As the project impacts to historic resources have not changed, the mitigation measures (Mitigation Monitoring and Reporting Program attached) identified in the EIR and listed below remain in place:

- 1) HR-1 (HABS Level Recordation),
- 2) HR-2 (Interpretative Display),
- 3) HR-3 (Preservation Architect),
- 4) HR-4 (Mural Identification, Testing, and Restoration Procedures), and
- 5) HR-5 (Arborist)

Since the EIR was published, HR-3 (Preservation Architect) has been partially completed. As prescribed by the mitigation measure, a window and door survey was completed in November 2008, a mural investigation was completed in October 2008, and design guidelines were completed in December 2008. As per the mitigation, a preservation architect will continue to work with the project team to assist in ensuring compatibility of the new structures with the historic district individual historic resources, to manage treatment of the retained historic resource buildings, and to act with overall responsibility to implement historic resource mitigations, monitor work performed, and to report to the City through the end of construction.

PLANNING DEPARTMENT RECOMMENDATION

Planning Department staff recommends APPROVAL WITH CONDITIONS of the proposed project as it appears to meet the Secretary of the Interior Standards for Rehabilitation.

Conditions:

- That the design guidelines for historic buildings prepared by Page & Turnbull in accordance with Mitigation Measure HR-3 of the *Mitigation Monitoring and Reporting Program* for the 55 Laguna Mixed Use Project Environmental Impact Report will be complied with in all aspects of design refinement for the three landmark buildings.
- That the configuration, materials, and details of all new windows and doors will be finalized and approved by Department staff to ensure their compatibility with the historic character of the landmark buildings prior to the approval of the Architectural Addendum of the building permit;
- That the sign program will be finalized and approved by Department staff to ensure their compatibility with the historic character of the landmark buildings prior to the approval of the Architectural Addendum of the building permit;
- That all condition assessments regarding the murals, stucco cladding, and clay tile roofs will be submitted to the Department prior to the approval of the Architectural Addendum of the

building permit and that all treatment and protection plans will be incorporated into the permit plans for approval by the Planning Department;

- That the existing and proposed location of the Sacred Palm associated with Woods Hall will be shown on the site plan and that a relocation and protection plan prepared by an arborist will be incorporated into the site permit for approval by the Planning Department; and,
- That all Structural and Mechanical/Electrical/Plumbing Addendum to the building permit will be reviewed by Planning Department staff to ensure that seismic and mechanical interventions do not detract from any character-defining features of the buildings or result in significant removal of historic fabric.

ATTACHMENTS

Draft Motion
Parcel Map
Sanborn Map
Aerial Photograph
Zoning Map
Window Survey
Investigation Report - Historic Murals at Woods Hall Entrance
Page & Turnbull Secretary of the Interior Standards Analysis
Mitigation Monitoring and Reporting Program
Plans and Site Photographs

SC: G:\DOCUMENTS\Cases\Multiple\55 Laguna Street\2012.0033\CofA\Laguna_55_Case Report_5.16.12.doc



SAN FRANCISCO PLANNING DEPARTMENT

Historic Preservation Commission Draft Motion

HEARING DATE: MAY 16, 2012

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Filing Date: March 27, 2012
Case No.: 2012.0033A
Project Address: 55 Laguna Street
Historic Landmark: Nos. 257, 258, & 259: Richardson Hall, Woods Hall, & Woods Hall Annex
Zoning: RM-3 (Residential, Mixed, Medium Density) Zoning District/
 40-X Height and Bulk District;
 NC-3 (Moderate-Scale Neighborhood Commercial) Zoning District/
 85-X Height and Bulk District
Block/Lot: 0857/ 001 & 001a
 0870/ 001, 002, & 003
Applicant: Elisa Skaggs, Page & Turnbull, Inc.
 724 Pine Street
 San Francisco, CA 94108
Staff Contact: Shelley Caltagirone - (415) 558-6625
 shelley.caltagirone@sfgov.org
Reviewed By: Tim Frye - (415) 558-6325
 tim.frye@sfgov.org

ADOPTING FINDINGS FOR A CERTIFICATE OF APPROPRIATENESS FOR PROPOSED WORK DETERMINED TO BE APPROPRIATE FOR AND CONSISTENT WITH THE PURPOSES OF ARTICLE 10, TO MEET THE STANDARDS OF ARTICLE 10 AND TO MEET THE SECRETARY OF INTERIOR'S STANDARDS FOR REHABILITATION, FOR THE PROPERTY LOCATED ON LOTS 001 AND 001A IN ASSESSOR'S BLOCK 0857 AND LOTS 001-003 IN ASSESSOR'S BLOCK 0870, WITHIN RM-3 (RESIDENTIAL, MIXED, MEDIUM DENSITY) AND NC-3 (MODERATE-SCALE NEIGHBORHOOD COMMERCIAL) ZONING DISTRICTS AND A 40-X AND 85-X HEIGHT AND BULK DISTRICTS.

PREAMBLE

WHEREAS, on March 27, 2012, Elisa Skaggs, Page & Turnbull, Inc., (Project Sponsor) filed an application with the San Francisco Planning Department (hereinafter "Department") for a Certificate of Appropriateness to rehabilitate Richardson Hall for use as senior services, senior housing, and retail and/or office space; to rehabilitate Woods Hall for use as housing; and, to rehabilitate Woods Hall Annex for use as a community center.

WHEREAS, the 55 Laguna Mixed Use Project Environment Impact Report was certified by the Planning Commission on January 17, 2008 and an addendum to the EIR incorporating the current project was published on May 8, 2012.

WHEREAS, on May 16, 2012, the Commission conducted a duly noticed public hearing on the current project, Case No. 2012.0033A ("Project") for its appropriateness.

WHEREAS, in reviewing the Application, the Commission has had available for its review and consideration case reports, plans, and other materials pertaining to the Project contained in the Department's case files, has reviewed and heard testimony and received materials from interested parties during the public hearing on the Project.

MOVED, that the Commission hereby grants the Certificate of Appropriateness, in conformance with the architectural plans labeled Exhibit A on file in the docket for Case No. 2012.0033A and the listed conditions based on the following findings:

CONDITIONS

- That the design guidelines for historic buildings prepared by Page & Turnbull in accordance with Mitigation Measure HR-3 of the *Mitigation Monitoring and Reporting Program* for the *55 Laguna Mixed Use Project Environmental Impact Report* will be complied with in all aspects of design refinement for the three landmark buildings.
- That the configuration, materials, and details of all new windows and doors will be finalized and approved by Department staff to ensure their compatibility with the historic character of the landmark buildings prior to the approval of the Architectural Addendum of the building permit;
- That the sign program will be finalized and approved by Department staff to ensure their compatibility with the historic character of the landmark buildings prior to the approval of the Architectural Addendum of the building permit;
- That all condition assessments regarding the murals, stucco cladding, and clay tile roofs will be submitted to the Department prior to the approval of the Architectural Addendum of the building permit and that all treatment and protection plans will be incorporated into the permit plans for approval by the Planning Department;
- That the existing and proposed location of the Sacred Palm associated with Woods Hall will be shown on the site plan and that a relocation and protection plan prepared by an arborist will be incorporated into the site permit for approval by the Planning Department; and,
- That all Structural and Mechanical/Electrical/Plumbing Addendum to the building permit will be reviewed by Planning Department staff to ensure that seismic and mechanical interventions do not detract from any character-defining features of the buildings or result in significant removal of historic fabric.

FINDINGS

Having reviewed all the materials identified in the recitals above and having heard oral testimony and arguments, this Commission finds, concludes, and determines as follows:

1. The above recitals are accurate and also constitute findings of the Commission.
2. Findings pursuant to Article 10:

The Historical Preservation Commission has determined that the proposed work is compatible with the character of the landmark district as described in the designation report for the following reasons:

- That the proposed new housing, retail, assembly, and public service uses for the buildings may be achieved without causing significant changes to their distinctive materials, features, spaces, and spatial relationships;
- That the proposed work will not cause the removal, alteration, or obstruction of any character-defining features of the site. The portions of wall proposed to be removed for the creation of window openings or at the low wall located at the Buchanan/Haight Street entry will not remove any distinctive materials or significantly alter the historic character of the landmark buildings. Also, all structural, mechanical, electrical, plumbing installations will be designed in a manner which does not affect any character-defining features of the buildings and will occur in areas that are not visible from the street or are on secondary facades;
- That the window survey indicates that the majority of historic windows at the three buildings will be retained (97% at Richardson Hall, 92% at Woods Hall, and 100% at Woods Hall Annex); that no window openings will be altered; and that 28 or 29 window openings to be created at Richardson Hall will maintain the historic rhythm of fenestration;
- That the proposed exterior changes will be carefully differentiated from the existing historic features and will be compatible with the character of the property, including the proposed railings, windows and doors, and storefronts at Hermann and Laguna Streets;
- That the proposal calls for retaining sound historic stucco and roofing tiles and replacing in-kind or with salvaged materials when necessary;
- That the findings of the mosaic investigative report prepared by Page & Turnbull in accordance with the EIR Mitigation Measures has ensured that the historic feature was been previously removed and, therefore, will not be affected by the proposed project;
- That any chemical or physical treatments will be undertaken using the gentlest means possible and under the supervision of a historic architect or conservator;
- That Mitigation Measure HR-3 of the *Mitigation Monitoring and Reporting Program* for the 55 Laguna Mixed Use Project *Environmental Impact Report* pertaining to mural preservation will ensure the protection of these significant features; and,
- That the installation of the proposed new elements, such as the proposed railings, windows and doors, and storefronts, will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.
- The proposed project meets the requirements of Article 10 and the designating ordinances.

- The proposed project meets the following *Secretary of the Interior's Standards for Rehabilitation*:

Standard 1.

A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.

Standard 2.

The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.

Standard 3.

Each property will be recognized as a physical record of its time, place and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.

Standard 4.

Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.

Standard 5.

Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a property shall be preserved.

Standard 6.

Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.

Standard 7.

Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.

Standard 8.

Significant archeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.

Standard 9.

New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

Standard 10.

New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

3. **General Plan Compliance.** The proposed Certificate of Appropriateness is, on balance, consistent with the following Objectives and Policies of the General Plan:

I. URBAN DESIGN ELEMENT

THE URBAN DESIGN ELEMENT CONCERNS THE PHYSICAL CHARACTER AND ORDER OF THE CITY, AND THE RELATIONSHIP BETWEEN PEOPLE AND THEIR ENVIRONMENT.

GOALS

The Urban Design Element is concerned both with development and with preservation. It is a concerted effort to recognize the positive attributes of the city, to enhance and conserve those attributes, and to improve the living environment where it is less than satisfactory. The Plan is a definition of quality, a definition based upon human needs.

OBJECTIVE 1

EMPHASIS OF THE CHARACTERISTIC PATTERN WHICH GIVES TO THE CITY AND ITS NEIGHBORHOODS AN IMAGE, A SENSE OF PURPOSE, AND A MEANS OF ORIENTATION.

POLICY 1.3

Recognize that buildings, when seen together, produce a total effect that characterizes the city and its districts.

OBJECTIVE 2

CONSERVATION OF RESOURCES WHICH PROVIDE A SENSE OF NATURE, CONTINUITY WITH THE PAST, AND FREEDOM FROM OVERCROWDING.

POLICY 2.4

Preserve notable landmarks and areas of historic, architectural or aesthetic value, and promote the preservation of other buildings and features that provide continuity with past development.

POLICY 2.5

Use care in remodeling of older buildings, in order to enhance rather than weaken the original character of such buildings.

POLICY 2.7

Recognize and protect outstanding and unique areas that contribute in an extraordinary degree to San Francisco's visual form and character.

The goal of a Certificate of Appropriateness is to provide additional oversight for buildings and districts that are architecturally or culturally significant to the City in order to protect the qualities that are associated with that significance.

The proposed project qualifies for a Certificate of Appropriateness and therefore furthers these policies and objectives by maintaining and preserving the character-defining features of the landmark for the future enjoyment and education of San Francisco residents and visitors.

4. The proposed project is generally consistent with the eight General Plan priority policies set forth in Section 101.1 in that:

- A) The existing neighborhood-serving retail uses will be preserved and enhanced and future opportunities for resident employment in and ownership of such businesses will be enhanced:

The proposed project will not have any impact on neighborhood serving retail uses.

- B) The existing housing and neighborhood character will be conserved and protected in order to preserve the cultural and economic diversity of our neighborhoods:

The proposed project will strengthen neighborhood character by respecting the character-defining features of the building in conformance with the Secretary of the Interior's Standards.

- C) The City's supply of affordable housing will be preserved and enhanced:

The project will increase the affordable housing supply with the addition of affordable units at Richardson Hall.

- D) The commuter traffic will not impede MUNI transit service or overburden our streets or neighborhood parking:

The proposed project will not result in commuter traffic impeding MUNI transit service or overburdening the streets or neighborhood parking.

- E) A diverse economic base will be maintained by protecting our industrial and service sectors from displacement due to commercial office development. And future opportunities for resident employment and ownership in these sectors will be enhanced:

The proposed will not have any impact on industrial and service sector jobs.

- F) The City will achieve the greatest possible preparedness to protect against injury and loss of life in an earthquake.

Preparedness against injury and loss of life in an earthquake is improved by the proposed work. The work will be executed in compliance with all applicable construction and safety measures.

G) That landmark and historic buildings will be preserved:

The proposed project is in conformance with Article 10 of the Planning Code and the Secretary of the Interior's Standards.

H) Parks and open space and their access to sunlight and vistas will be protected from development:

The proposed project will not impact the access to sunlight or vistas for the parks and open space.

5. For these reasons, the proposal overall, is appropriate for and consistent with the purposes of Article 10, meets the standards of Article 10, and the Secretary of Interior's Standards for Rehabilitation, General Plan and Prop M findings of the Planning Code.

DECISION

That based upon the Record, the submissions by the Applicant, the staff of the Department and other interested parties, the oral testimony presented to this Commission at the public hearings, and all other written materials submitted by all parties, the Commission hereby **GRANTS a Certificate of Appropriateness** for the property located at Assessor's Block 0857, Lots 001 and 001a and Assessor's Block 0870, Lots 001, 002, and 003 for proposed work in conformance with the renderings and architectural plans labeled Exhibit A on file in the docket for Case No. 2012.0033A.

APPEAL AND EFFECTIVE DATE OF MOTION: The Commission's decision on a Certificate of Appropriateness shall be final unless appealed within thirty (30) days. Any appeal shall be made to the Board of Appeals, unless the proposed project requires Board of Supervisors approval or is appealed to the Board of Supervisors as a conditional use, in which case any appeal shall be made to the Board of Supervisors (see Charter Section 4.135).

Duration of this Certificate of Appropriateness: This Certificate of Appropriateness is issued pursuant to Article 10 of the Planning Code and is valid for a period of three (3) years from the effective date of approval by the Historic Preservation Commission. The authorization and right vested by virtue of this action shall be deemed void and canceled if, within 3 years of the date of this Motion, a site permit or building permit for the Project has not been secured by Project Sponsor.

THIS IS NOT A PERMIT TO COMMENCE ANY WORK OR CHANGE OF OCCUPANCY UNLESS NO BUILDING PERMIT IS REQUIRED. PERMITS FROM THE DEPARTMENT OF BUILDING INSPECTION (and any other appropriate agencies) MUST BE SECURED BEFORE WORK IS STARTED OR OCCUPANCY IS CHANGED.

I hereby certify that the Historical Preservation Commission ADOPTED the foregoing Motion on May 16, 2012.

Linda D. Avery
Commission Secretary

AYES:

NAYS:

ABSENT:

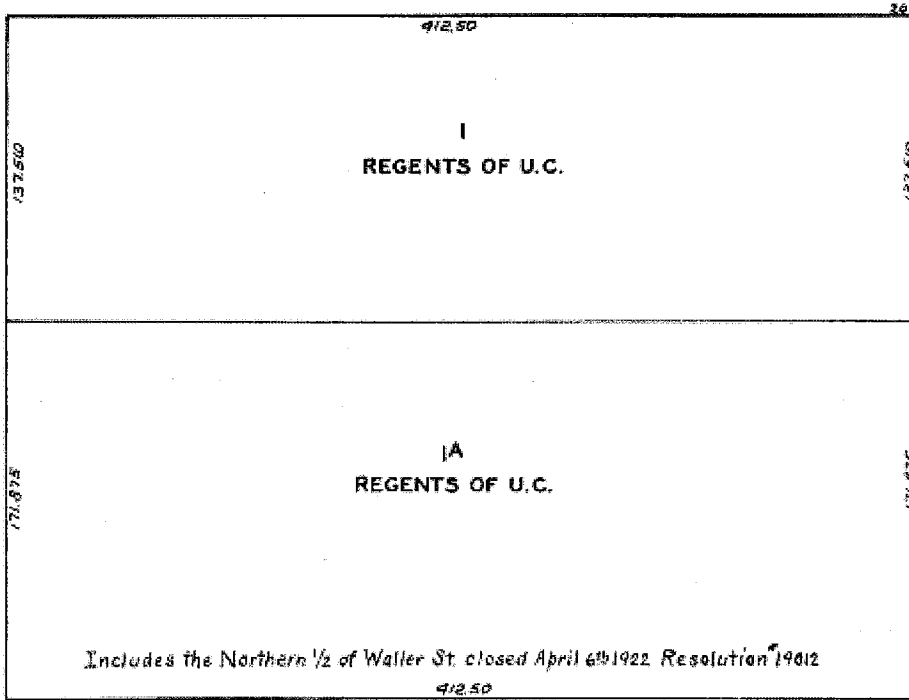
ADOPTED:

Parcel Map

HAIGHT



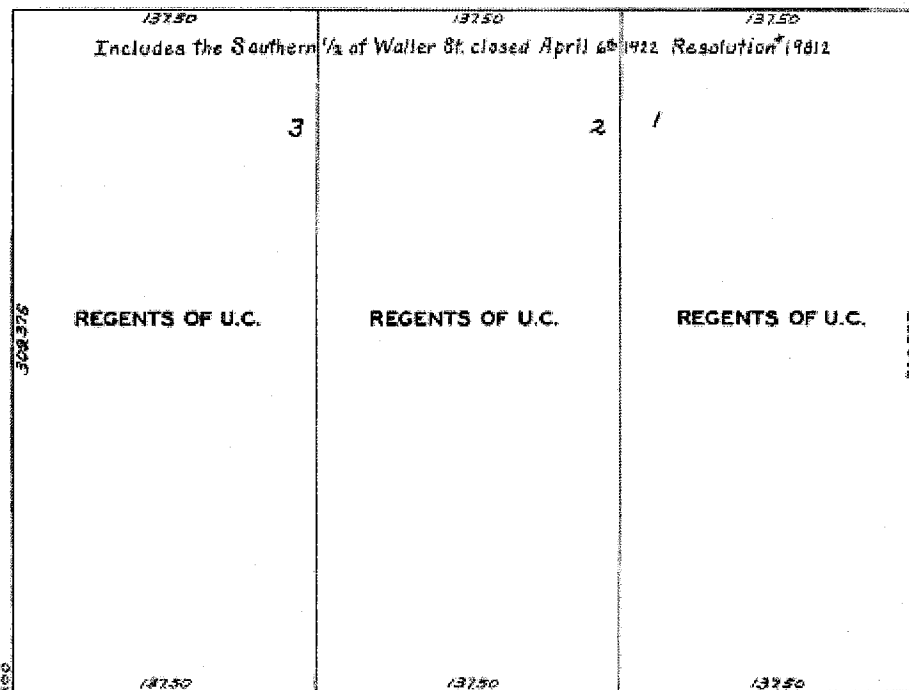
BUCHANAN



LAGUNA

WALLER

BUCHANAN



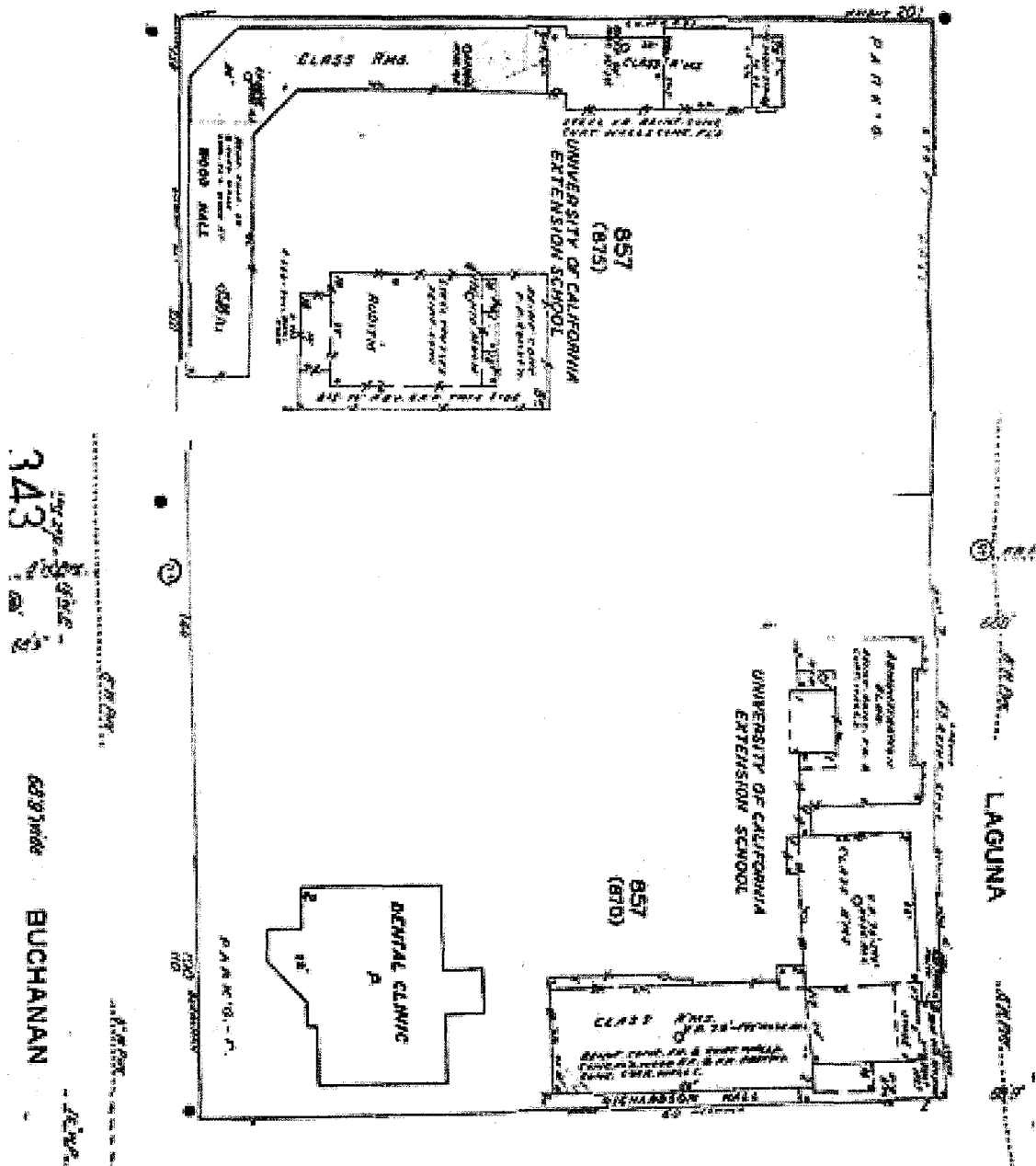
LAGUNA

HERMANN



Certificate of Appropriateness Hearing
Case Number 2012.0033A
55 Laguna Street

Sanborn Map*



*The Sanborn Maps in San Francisco have not been updated since 1998, and this map may not accurately reflect existing conditions.



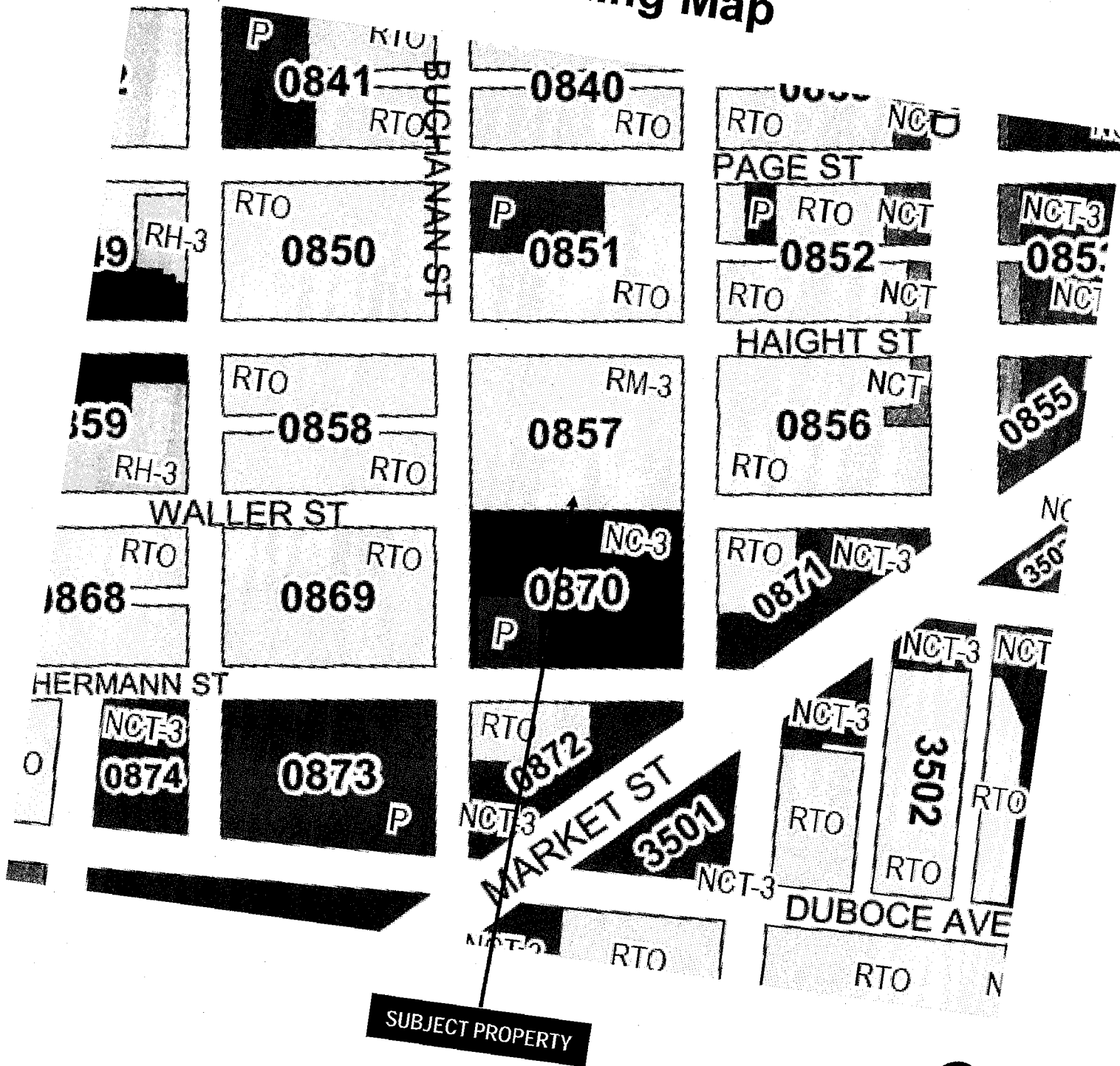
Certificate of Appropriateness Hearing
 Case Number 2012.0033A
 55 Laguna Street

Aerial Photo



Certificate of Appropriateness Hearing
Case Number 2012.0033A
55 Laguna Street

Zoning Map



SURVEY OF EXISTING WINDOWS

Richardson Hall - Variant A								
	Historic Windows	Historic Windows to be Retained	Historic Windows to be Removed and Replaced with New Door/Window	Historic Windows to be Altered to Accommodate New Door	Historic Windows to be Infilled	Non-Historic Windows	Non-Historic Windows to be Removed	Openings to be Cut for New Window or Door
South Elevation (Herman Street)	18	17	1	0	0	7	0	7
East Elevation (Laguna Street)	9	8	1	0	0	9	0	17
North Elevation (Parking Lot)	24	24	0	0	0	2	0	1
West Elevation	14	14	0	0	0	4	0	4
Total	65	63	2	0	0	22	0	29
Richardson Hall - Variant B								
	Historic Windows	Historic Windows to be Retained	Historic Windows to be Removed and Replaced with New Door/Window	Historic Windows to be Altered to Accommodate New Door	Historic Windows to be Infilled	Non-Historic Windows	Non-Historic Windows to be Removed	Openings to be Cut for New Window or Door
South Elevation (Herman Street)	18	17	1	0	0	7	0	7
East Elevation (Laguna Street)	9	8	1	0	0	14	0	19
North Elevation (Parking Lot)	24	24	0	0	0	1	0	0
West Elevation	14	14	0	0	0	2	0	2
Total	65	63	2	0	0	24	0	28
Woods Hall								
	Historic Windows	Historic Windows to be Retained	Historic Windows to be Removed and Replaced with New Door/Window	Historic Windows to be Altered to Accommodate New Door	Historic Windows to be Infilled	Non-Historic Windows	Non-Historic Windows to be Repaced	Openings to be Cut for New Windows
Main Entry (corner of Haight & Buchanan streets)	3	3	0	0	0	0	0	0
Courtyard Entry	7	7	0	0	0	0	0	0
North Elevation (North Wing/Haight Street)	13	13	0	0	0	0	0	0
South Elevation (North Wing/Courtyard)	2	2	0	0	0	38	38	0
East Elevation (South Wing/Courtyard)	37	31	6	0	0	0	0	0
West Elevation (South Wing/Buchanan Street)	12	12	0	0	0	0	0	0
South Elevation (South Wing)	6	6	0	0	0	0	0	0
Total	80	74	6	0	0	38	38	0
Woods Hall Annex								
	Historic Windows	Historic Windows to be Retained	Historic Windows to be Removed and Replaced with New Door/Window	Historic Windows to be Altered to Accommodate New Door	Historic Windows to be Infilled	Non-Historic Windows	Non-Historic Windows to be Removed	Openings to be Cut for New Windows
North Elevation (Haight Street)	8	8	0	0	0	0	0	0
South Elevation (Courtyard)	7	7	0	0	0	26	0	0
East Elevation	0	0	0	0	0	0	0	0
Total	15	15	0	0	0	26	0	0



Investigation Report

55 Laguna Woods Hall
San Francisco, California

November 2010

Prepared for
A.F. Evans Development, Inc
Oakland, California

Prepared by
PAGE & TURNBULL, INC.
724 Pine Street, San Francisco, California 94108
415.362.5154 / www.page-turnbull.com

Introduction

Page & Turnbull was retained by AF Evans Development to provide building investigation services to determine the existence of a WPA-era mosaic known as the “Mosaic of California.” Designed by Maxine Albro and Jack Moxom in the 1930s, it was located over the entrance of Woods Hall on the former campus of the San Francisco State Teachers College at Haight and Buchanan Streets. This report summarizes the findings of the investigation, including background research and analysis of the existing conditions of the mosaic location.

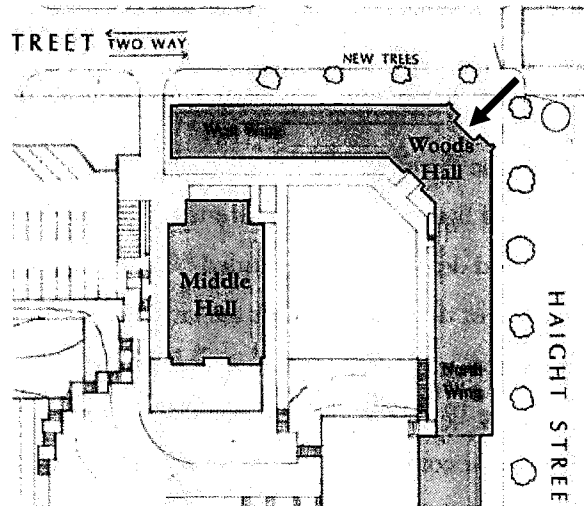


Figure 1 Former location of the “Mosaic of California” at the San Francisco State Teachers College, Woods Hall (red arrow).

Description

Building Description

Woods hall is a Mission Revival-style concrete structure clad in stucco. The L-shaped building is roofed in Spanish terracotta tiles, and the east and west wings of the structure meet at a large entrance pavilion with a central covered archway. The mosaic was formerly located on the upper façade of the entrance pavilion in the lunette area (figure 4).



Figure 2 Woods Hall, circa 1950, showing mosaic in-situ over entrance pavilion

Mosaic Description

The Mosaic of California was designed by Maxine Albro and a staff of assistants for the Works Progress Administration's Federal Artists Project (WPA/FAP). The Federal Artist's project was intended to provide artists employment during the Great Depression. It was executed and installed under the direction of Architect Jack Moxom. The design, on a background of white marble, included figures reading under a tree sprouting vines, which was flanked by animals such as mountain lions and deer. An article entitled "California Mosaics" by Jean Goodwin, discussed the mosaic in the context of others created for the city: "Many Beautiful marble mosaics have been executed in San Francisco, under the supervision of William Gaskin. From a vast store of mosaic marble left over from the 1915 Fair, and with the help of an expert marble mosaicist and of artist designers some significant contributions have been made. Notable among these is the façade of the San Francisco Teachers' College, designed by Maxine Albro. It is a rich pattern interpretive of California life. The design, on a background of creamy white, is reminiscent of the patterned marble pavements of Syria, but is purely western in spirit."¹

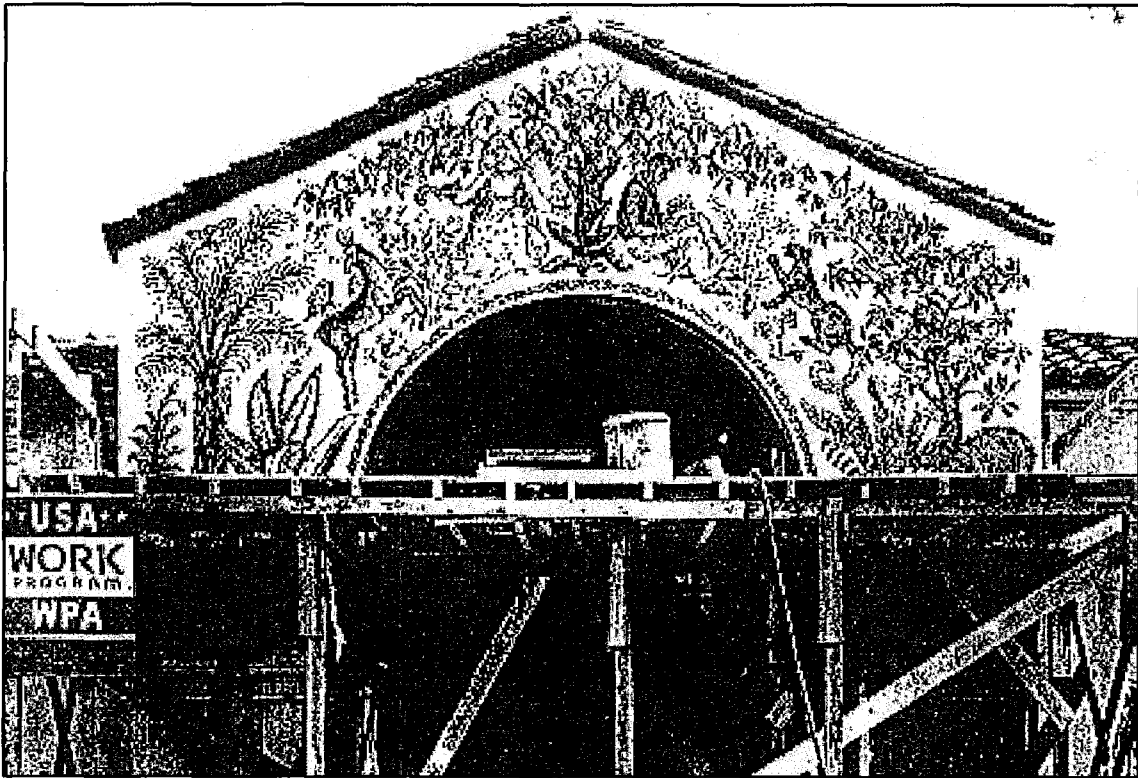


Figure 3 Woods Hall entrance pavilion, Ca. 1935, during installation of the mosaic

¹ National Register of Historic Places. NPS Form 10-900-b, August 2002. San Francisco State Teacher's College Historic District, 55 Laguna Street Campus, Section 8, Statement of Significance, Page 25

Methodology

The mosaic location is currently covered in cement stucco and pink elastomeric paint. The goal of the investigation was to remove these layers to understand if portions of the mosaic exist beneath the modern layers. The area was investigated by cutting six new test pits, and expanding two existing test pits. At each test location, the top layer of stucco was cut away to reveal layers beneath. Any subsequent layers found were cut away to reveal the structure's poured concrete substrate.

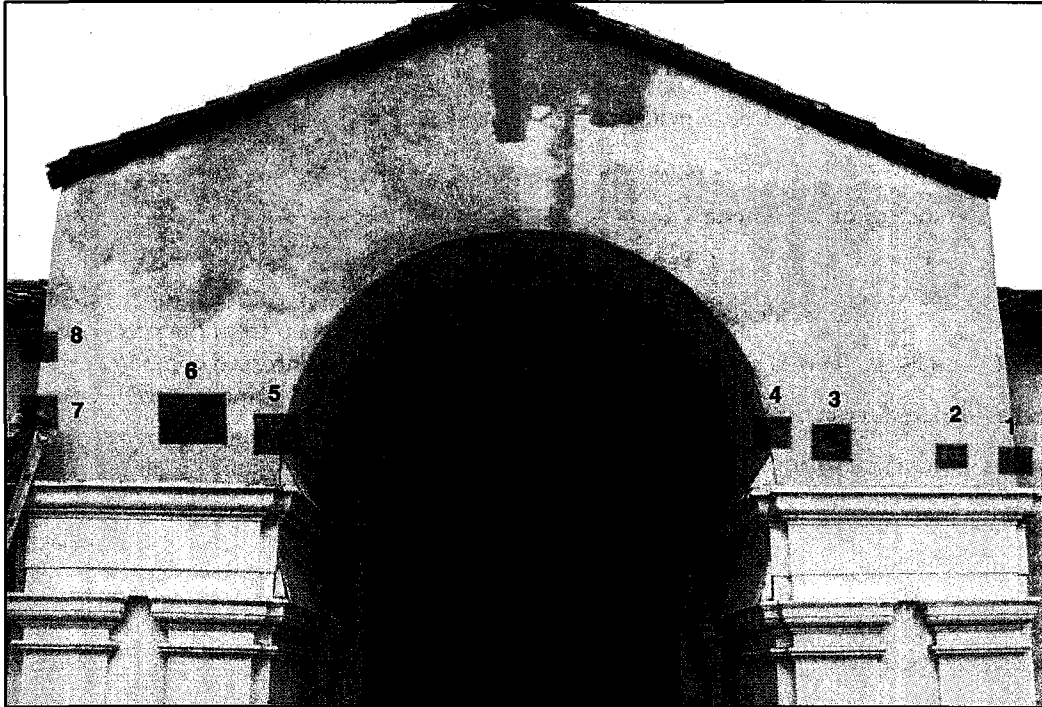


Figure 4 Woods Hall entrance pavilion showing sample locations

Observations

- No evidence or remains of marble mosaic was found at any test location.
- Test areas revealed multiple layers of stucco and preparatory mortar. These include:
 1. The reinforced concrete structure of the building (substrate)
 2. A $\frac{3}{4}$ " cementitious base layer
 3. A $\frac{1}{4}$ " lime-based setting mortar
 4. A $\frac{3}{4}$ " Portland cement-based top coat
 5. Two paint layers, a light pink color and a dark cementitious paint.
- The top layer of cement is very hard and separation cracks between it and the layer beneath indicate a later date of application of this layer
- Layer 3 is soft and thin, and is found only on the front façade of the lunette

Discussion

The investigation did not find evidence of remaining mosaic tesserae. The lime-based layer of mortar, layer 3, may have served as a bedding layer. This layer was found in all eight tests, and only seen on the front of the lunette. This suggests that layer 3 was likely the bedding mortar for the marble tesserae. If the mosaic were still extant, it would likely be found between layer 3 and the cement stucco top coat. This evidence suggests that the mosaic was indeed removed, or faced from the surface of the lunette.

In addition to the physical evidence suggesting the removal of the mosaic, there is supporting historical evidence. An oral history interview with WPA artists Maxine Albro and Parker Hall was conducted by Mary McChesney for the Archives of American Art Project in 1964. The interview mentions the possible removal of the mosaic when San Francisco State moved to its Lake Merced Campus in 1952-53. Albro speaks of her work including the design and construction of the San Francisco State Teachers College Mosaic. The following is an excerpt relating to the removal of the mosaic:

MM: Where is this mosaic (mosaic of California) now?

MA: We don't exactly know where this mosaic is now. We'd like to know.... we heard that the mosaic was going to be taken to the other college, the new one, up town a little ways, out of San Francisco. I think it is called the San Francisco Center.

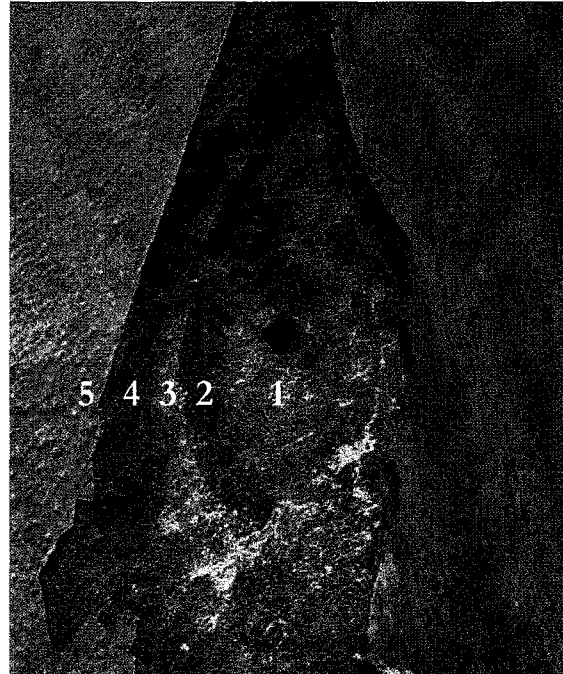


Figure 5 Test Area 5 from the corner of the arch. layers include: 1-reinforced concrete; 2-base coat; 3-lime setting bed; 4-cement stucco; 5-paint

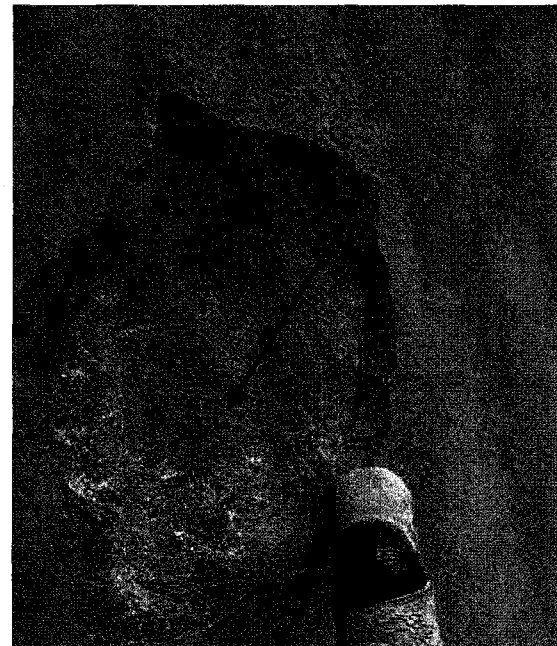


Figure 6 Test area 3, center of right side. Top layer of cement is visible, arrow indicates cut into concrete substrate

MM: This was then at the old San Francisco State College which was on Market and --

MA: It was Haight and Buchanan. The address of the one now, I'm not quite sure, but it is quite a little ways out from the heart of the city. It is a very nice place. The buildings are lovely. Well, we went out there to try to find it but we couldn't and we talked with some supervisor of buildings and he said he didn't know where it was. That it might be packed away somewhere but that he hadn't heard where it was and that he would try to find out if that was so. However, we never heard from him. So, the chances are that perhaps in getting it off, they may have destroyed it. We don't know. That would probably be it. It would be difficult to get off in the first place unless they were exceedingly careful or an expert would try to do it. We had the regular concrete backing and we had our sections of mosaics and there is one picture there showing how we put the mosaic on the different parts.²

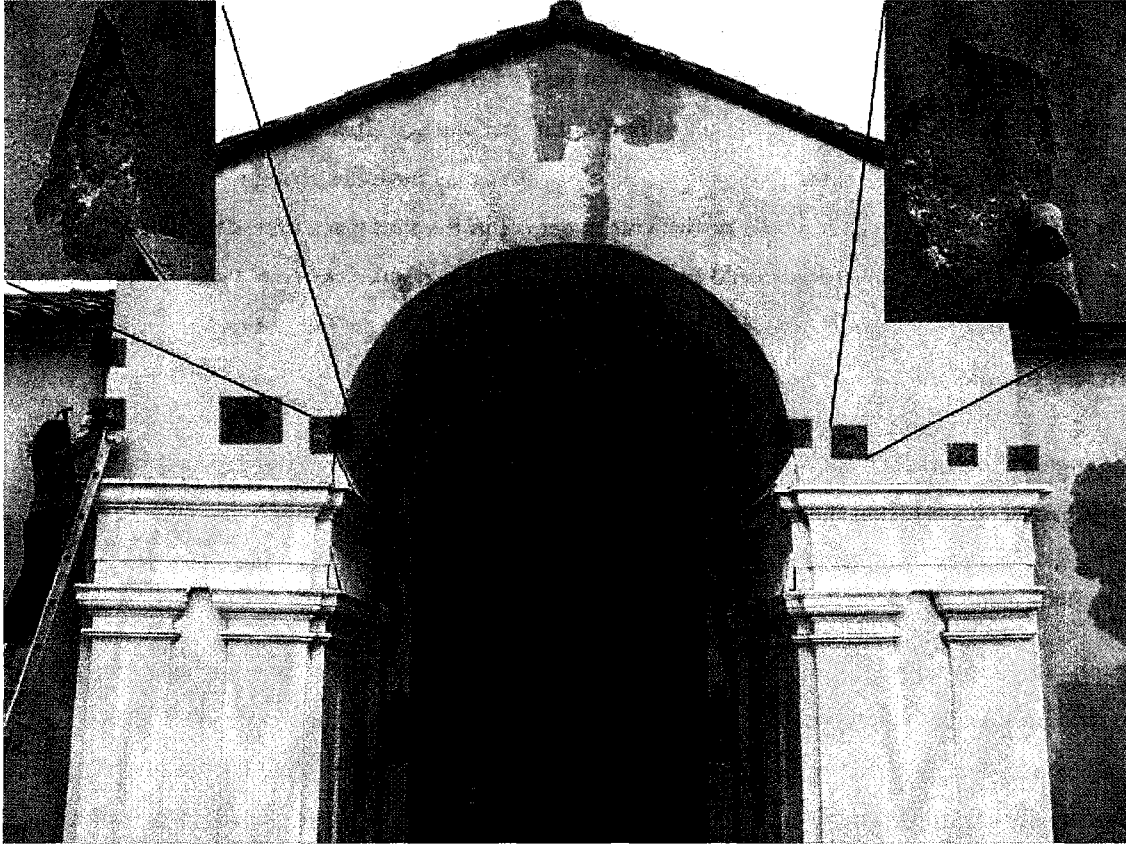
Although the accuracy of the oral history statements cannot be confirmed, Page & Turnbull's investigation suggests that the mosaic was in fact moved or destroyed.

Conclusion

Despite the findings of this investigation suggesting that the mosaic was removed, the entrance pavilion area of the building should be regarded cautiously during potential renovations. As a significant and character defining feature, the entrance pavilion to Woods Hall should not be substantially altered. In addition to retaining the historically significant space, cautious treatment will also ensure that any remnants of the mosaic not found in this investigation will be protected for the future.

² Oral history interview with Maxine Albro and Parker Hall, 1964 July 27, Archives of American Art, Smithsonian Institution. From <http://www.aaa.si.edu/collections/oralhistories/transcripts/albro64.htm>
Retrieved September 17th, 2008

ADDITIONAL IMAGES



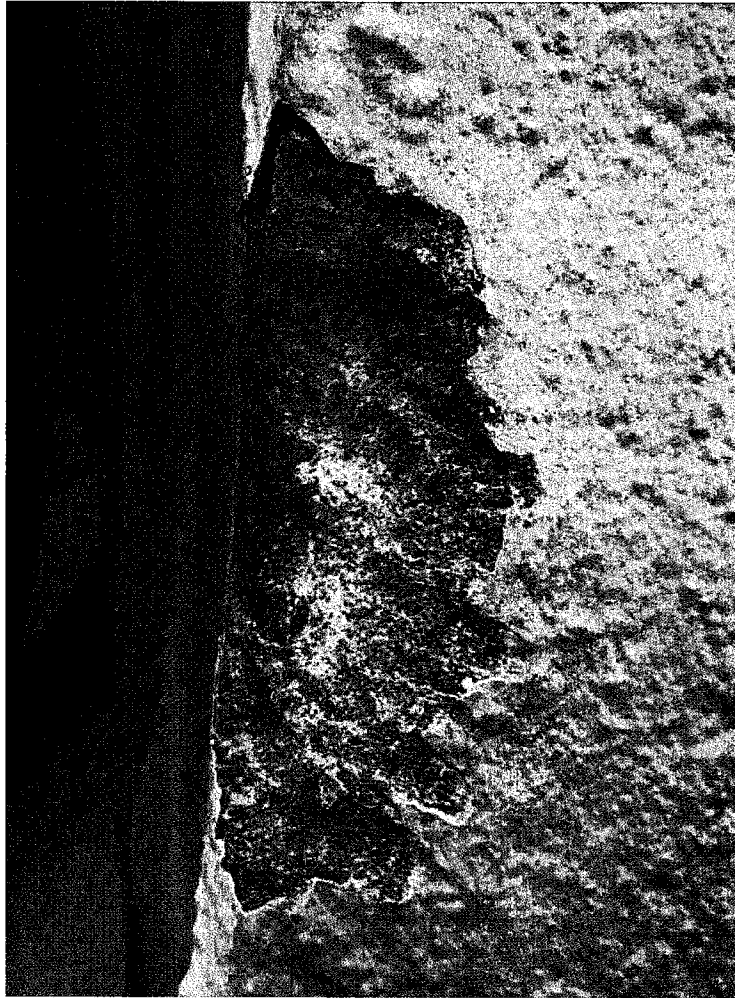
Key to photos shown in report



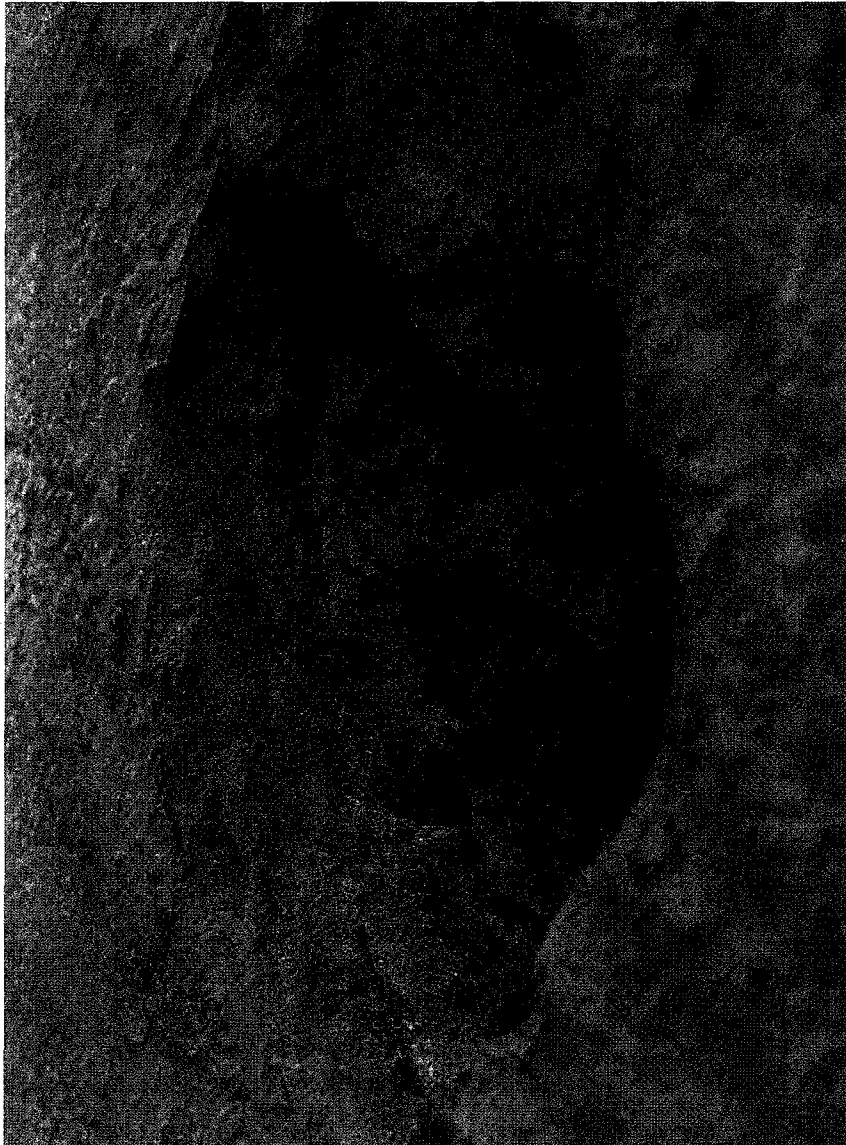
Sample 3: Cutting into concrete substrate



Sample 3 detail: separation of old bedding mortar and added cement stucco



Sample 4: Cement stucco cut away to reveal white bedding mortar



Sample 6: Core - drilled sample area showing stucco layers and concrete substrate. Dark spots are concrete aggregate



Sample 7: Concrete below layer of bedding mortar and cement stucco

Certificate of Appropriateness for Richardson Hall
Analysis of the Secretary of the Interior's Standards for Rehabilitation

1. The property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships:

Richardson Hall will be rehabilitated for use as senior housing, retail, and services (Variant A) or housing and services (Variant B). The adaptive use of Richardson Hall is one that is compatible with the building's historic use as a classroom space and one that requires minimal change to the exterior and interior as well as the building's character-defining features. The interior spatial relationships will be generally maintained as the residential units will be organized along the existing double-loaded classroom corridors. The auditorium space, not noted as a significant space in the Landmark Ordinance, will be altered. The two-story space will be closed-in and used for residential units at both the first floor and second floor. Distinctive features such as the stacks, the entries on the street and courtyard, the mural, and the terra cotta tile roof will be preserved. Variant A includes retail and service at the ground level and will require full-height openings at the wall along Laguna Street and Hermann Street. The proposed openings will balance the need for transparency required to create marketable retail and service spaces while retaining as much of the wall as possible. Variant B includes fewer full height openings than Variant A since it does not offer space for retail and will only require full height openings at service areas. Additional openings within the street wall will be created for residences at the ground level and will be smaller in scale. New openings will be differentiated from the historic openings through simpler articulation; however, they will be compatible in scale, material, and color.

The new use for Richardson Hall is one that requires minimal change; therefore, the alterations are in compliance with Standard 1.

2. The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize the property will be avoided:

The aim of the project is to adapt the building for a new use while preserving the historic character of the building. The proposed alterations to Richardson Hall will not affect the historic character of the east wing, the massing of the auditorium, and the south wing. Alterations to these areas are limited to the reconfiguration of interior spaces and the insertion of a small number of new windows within the existing architectural vocabulary of the building. These are located on the south and east side of the auditorium, the west façade of the south wing, and the north façade of the east wing. The project at large will result, however, in the demolition of the Administration Wing, which was not designated in the Landmark Ordinance. Other changes necessary for the adaptive reuse of Richardson Hall for housing and retail will be executed so that the historic character of the property is retained. The character of Richardson Hall as a

Spanish Colonial Revival style building will be retained. Alterations to Richardson Hall are generally in compliance with Standard 2.

- 3. Each property will be recognized as a physical record of its time, place and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken:**

Richardson Hall will be recognized as a physical record of its time, place, and use. There are no proposed changes that will create a false sense of historical development. New additions, such as new windows in new openings will be added so that they are compatible in scale, proportion and material but distinguished from historic features so as not to create a false sense of history. Alterations to Richardson Hall will be in compliance with Standard 3.

- 4. Changes to a property that have acquired historic significance in their own right will be retained and preserved:**

Although the interior of Richardson Hall has had several alterations, the exterior has remained intact with no major alterations. There are no known changes to the property that have achieved significance in their own right. The interior plan layout has remained intact; however, finishes and materials have been changed considerably. These interior changes to the finishes are not historically significant because most have occurred outside of the period of significance. Richardson Hall does not have changes that have acquired historical significance in their own right; therefore, the project will be in compliance with Standard 4.

- 5. Distinctive materials, features, finishes, and construction techniques or examples of fine craftsmanship that characterize a property will be preserved:**

The Administration Wing of Richardson Hall will be removed; however, this wing was not included in the Landmark Ordinance as an element that should be preserved. Distinctive materials, features, finishes, and construction techniques will be retained and preserved as part of the proposed project. Changes to the building are limited to new openings which will be installed in non-ornamental areas. All work will be conducted under the supervision of a materials or historic preservation specialist to ensure that the character defining features of the building are not disturbed or damaged during rehabilitation. Specific elements, such as the sculpture above the Hermann street entry, the metal railing on the south side of the west wing, the mural by Jack Moxom, and the barrel and groin-vaulted ceilings and decorative plaster will be preserved and highlighted as part of the rehabilitation plan. The proposed project will comply with Standard 4.

- 6. Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence:**

Except for the roof, the building appears to be in fair to good condition. Where it is determined that repairs are required, Standard 6 will be followed. If the feature in question has severe deterioration, it will be replaced and the new feature will match the old in design, color, texture and materials, where possible, so the project will be in compliance with Standard 6. As part of the roof repair, existing terra cotta roof tiles will be removed, salvaged and reinstalled. Terra cotta roof tiles from demolished Administration Wing will be salvaged for reuse in the repair of the Richardson Hall roof. New roof tiles will be blended in with existing to create seamless installation. The project will meet Standard 6.

- 7. Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used:**

If chemical or physical treatments are necessary, the project team will use the gentlest treatment available. Treatments that cause damage to historic materials will not be used. The building's historic materials will be preserved and reused where possible. Where the proposed project requires the disturbance of the building's historic exterior stucco, work will be conducted in consultation with a historic architect or conservator to ensure proper treatment techniques. The project will comply with Standard 7.

- 8. Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken:**

There are no known archeological resources associated with Richardson Hall. The proposed project does require some site re-grading, however. Archeological testing, monitoring and recovery of any archeological resources will be undertaken so that the project will comply with Standard 8.

- 9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment:**

Exterior alterations to Richardson Hall include the demolition of the Administration Wing, a feature not designated in the Landmark Ordinance. Alterations to the rest of the building are limited to several new windows and new storefronts along Hermann and Laguna Street. The new windows and storefronts will be located so that they do not destroy features that are ornamental or exemplify fine craftsmanship. All new windows will be compatible in scale and materials, but detailed so as to be differentiated from the historic fabric of the building in order to comply with Standard 9.

10. New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would not be impaired:

The proposed project does not include an addition. Alterations are limited to the addition of new windows and storefronts which will be located in non-ornamental areas. The proposed openings are reversible and if they were to be removed in the future, the essential form and integrity of the building would not be impaired. The project is in compliance with Standard 10.

Certificate of Appropriateness for Woods Hall
Analysis of the Secretary of the Interior's Standards for Rehabilitation

1. The property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships:

The proposed project will convert Woods Hall from an educational facility to residential apartment units, including four studios and 17 one-bedroom units. Proposed exterior alterations include a new opening at the low concrete wall at the corner of Buchanan and Haight Streets and the alteration of some windows on the courtyard facades. The new opening at the low wall will retain the two terra cotta urns at either end and enough of the wall at either end to maintain a solid character. The existing courtyard facades include windows with high sills. The windows with high sills will be replaced with new windows that match the existing in material and style and the height of other existing windows with lower sills. The altered windows will be located within the width of the original window openings so as to maintain the historic fenestration pattern along the courtyard facades.

The reuse of the building will require reconfiguration of the partition walls separating the existing interior classroom spaces; however, the building's interior circulation pattern will be retained. The new apartment units will be organized along the existing single-loaded corridor, as the existing classrooms are. The main entry at the corner of Haight and Buchanan Street and the main entry hall will be retained and preserved.

The appearance of the exterior facades, interior circulation pattern, corner entry, terra cotta tile roof materials and structure will be retained. Changes will be limited to reconfiguration of elements within the existing footprint. New openings will not be added to the exterior walls of the building. The change in use of Woods Hall will retain the distinctive materials, features, spaces and spatial relationships of the building by accommodating the new building program within the existing footprint. The new use for Woods Hall is one that requires minimal change; therefore, the alterations are in compliance with Standard 1.

2. The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize the property will be avoided:

The proposed alterations to Woods Hall will not alter the historic character of the property. The project aims to preserve the historic character of the building by limiting alterations to the exterior and retaining the interior architectural organization of the building. Alterations to the exterior facades are limited to the replacement of several historic windows on the courtyard facades with new windows that have lower sills; however the width, style and configuration of the new windows will match original windows that have low sills. A new opening will be cut in the center of the existing low wall at the corner of Buchanan and Haight Streets to accommodate direct entry from this corner. All alterations will be carried out so as to require minimal removal of distinctive materials and alteration of features, spaces, and spatial relationships that characterize the property. Features such as the interior entry hall and single-loaded corridor will be retained and highlighted in the new design to showcase the historic landmark building. The Sacred Palm noted in the landmark ordinance and located on the southeastern side of Woods Hall will be relocated and retained on

site. The character of Woods Hall as a Spanish Colonial Revival style building will be retained. Alterations to Woods Hall are in compliance with Standard 2.

- 3. Each property will be recognized as a physical record of its time, place and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken:**

Woods Hall will be recognized as a physical record of its time, place, and use. There are no proposed changes that will create a false sense of historical development. The project is proposing the replacement of non-historic windows on the courtyard side of the wing facing Haight Street. These windows will be replaced with new aluminum windows that are similar to the original configuration and style of the original windows, thus increasing the compatibility of these windows. Six windows along the courtyard side of the wing along Buchanan Street will be altered to lower the six. The replacement windows will match the original windows in material, configuration and operation. No new window openings are proposed and the existing fenestration pattern will be retained. Alterations to Woods Hall will be in compliance with Standard 3.

- 4. Changes to a property that have acquired historic significance in their own right will be retained and preserved:**

Although the interior of Woods Hall has had several alterations, the exterior has remained intact with no major alterations. There are no known changes to the property that have achieved significance in their own right. The interior plan layout has remained intact; however, finishes and materials have been changed considerably. These interior changes to the finishes are not historically significant because most have occurred outside of the period of significance (1921 – 1957). Woods Hall does not have changes that have acquired historical significance in their own right; therefore, the project will be in compliance with Standard 4.

- 5. Distinctive materials, features, finishes, and construction techniques or examples of fine craftsmanship that characterize a property will be preserved:**

The proposed project will not result in the removal of large portions of distinctive materials, features, finishes, construction techniques, or examples of fine craftsmanship. Changes to the exterior of the building are limited to the replacement of six original windows in order to lower the sill height and the replacement of non-historic windows with new windows that are more compatible with the original. All work will be conducted under the supervision of a materials or historic preservation specialist, which will ensure that the character-defining features of the building are not disturbed or damaged during rehabilitation. The low wall at the corner of Haight and Buchanan streets will be altered through the addition of an opening to all direct access to the building entrance. Enough mass at either side of the wall will be retained to retain the solid character of the wall and the urns at either side will also be retained. Significant interior elements, such as the original exposed rafters in the interior entry hall, will be preserved and highlighted as part of the rehabilitation plan. The project will meet Standard 5.

- 6. Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence:**

Woods Hall is in good-to-fair condition, and where repairs are needed, Rehabilitation Standard 6 will be followed. Anticipated repairs include the terra cotta roof and the windows. The exterior stucco has graffiti that will be removed. In some cases, it may be necessary to replace original exterior materials and features rather than repair them. Roof repair will include the removal and reinstallation of the existing terra cotta tiles and salvage and reuse of terra cotta tiles from demolished buildings. When necessary, new terra cotta roof tiles will be blended in with the existing to create a seamless installation. The design of new features will be compatible with historic features where possible. The project will meet Standard 6.

- 7. Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used:**

If chemical or physical treatments are necessary, the project sponsor will use the gentlest treatment available. Treatments that cause damage to historic materials will not be used. The building's historic materials will be preserved and reused where possible. Where the proposed project requires the disturbance of the building's historic exterior stucco, work will be conducted in consultation with a historic architect or conservator to ensure proper treatment techniques. The project will comply with Standard 7.

- 8. Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken:**

There are no known archeological resources associated with Woods Hall. The proposed project does require some site re-grading, however. Archeological testing, monitoring and recovery of any archeological resources will be undertaken so that the project will comply with Standard 8.

- 9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment:**

The proposed project does not include any new additions. Exterior alterations are limited to the replacement of existing windows along the courtyard facades (as noted above) to accommodate lower sills and to replace existing non-compatible windows with more compatible new windows. The proposed project also includes a new opening at the low wall at the corner of Haight and Buchanan Streets. A portion of the existing low wall and the existing urns will be retained on either side of the opening so that the wall will continue to convey its solid character. Additionally, the landmark designation noted the Sacred Palm as a significant landscape feature of the site. The palm will be relocated and retained on site. The project is in substantial compliance with Standard 9.

10. New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would not be impaired:

The proposed project does not include new additions. The new opening proposed for the low wall at the corner of Haight and Buchanan is one that is could be built back since the portion of the wall proposed to be removed does not represent a distinctive construction technique or example of fine craftsmanship. The project is in compliance with Standard 10.

Certificate of Appropriateness for Woods Hall Annex
Analysis of the Secretary of the Interior's Standards for Rehabilitation

- 1. The property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships:**

The proposed project will convert Woods Hall Annex from an educational facility to a community center. The community center will include a multi-purpose space, a lounge/kitchen, a computer room, and a game room. Proposed exterior alterations include a new level landing at the Haight Street entry.

The reuse of the building will require reconfiguration of the partition walls separating the existing interior classroom spaces; however, the building's interior circulation pattern will be largely retained. The new community center amenities will be organized along the existing single-loaded corridor, as the existing classrooms are.

The appearance of the exterior facades will be retained, including the terra cotta tile at the roof, the fenestration pattern, and the oriel window. Changes will be limited to reconfiguration of elements within the existing footprint. New openings will not be added to the exterior walls of the building. The change in use of Woods Hall Annex will retain the distinctive materials, features, spaces and spatial relationships of the building by accommodating the new building program within the existing footprint. The new use for Woods Hall Annex is one that requires minimal change; therefore, the alterations are in compliance with Standard 1.

- 2. The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize the property will be avoided:**

The proposed alterations to Woods Hall Annex will not alter the historic character of the property. The project aims to preserve the historic character of the building by limiting alterations to the exterior and retaining the interior architectural organization of the building. Alterations to the exterior facades are limited to the addition of a new level landing at the Haight Street entry in order to provide an accessible entrance. ~~The addition of the new landing will not involve the removal of historic fabric.~~ Features such as the Kadish mural, the oriel window, the decorative entrance at Haight Street will be retained. The character of Woods Hall Annex as a Spanish Colonial Revival style building will be retained. Alterations to Woods Hall Annex are in compliance with Standard 2.

- 3. Each property will be recognized as a physical record of its time, place and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken:**

Woods Hall Annex will be recognized as a physical record of its time, place, and use. There are no proposed changes that will create a false sense of historical development. Exterior alterations are limited to the addition of a new level entry at the Haight Street entrance and the repair of the exterior envelope of the

building, including the stucco and the terra cotta tile roof. No new window openings are proposed and the existing fenestration pattern will be retained. Alterations to Woods Hall Annex will be in compliance with Standard 3.

4. Changes to a property that have acquired historic significance in their own right will be retained and preserved:

Although the interior of Woods Hall Annex has had several alterations, the exterior has remained largely intact with no major alterations. There are no known changes to the property that have achieved significance in their own right. The interior plan layout has also remained intact; however, finishes and materials have been changed considerably. These interior changes to the finishes are not historically significant because most have occurred outside of the period of significance (1921 – 1957). Woods Hall Annex does not have changes that have acquired historical significance in their own right; therefore, the project will be in compliance with Standard 4.

5. Distinctive materials, features, finishes, and construction techniques or examples of fine craftsmanship that characterize a property will be preserved:

The proposed project will preserve the building's distinctive features and examples of fine craftsmanship, including the oriel window, ornamentation at the Haight Street entry, and the grand stair. One of the building's most distinctive features includes the Kadish mural which will be restored. All work will be conducted under the supervision of a materials or historic preservation specialist, which will ensure that the character-defining features of the building are not disturbed or damaged during rehabilitation. The project will meet Standard 5.

6. Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence:

Woods Hall Annex is in good-to-fair condition, and where repairs are needed, Rehabilitation Standard 6 will be followed. Anticipated repairs include the terra cotta roof, the windows, and the Kadish mural. The exterior stucco has graffiti that will be removed. In some cases, it may be necessary to replace original exterior materials and features rather than repair them. Roof repair will include the removal and reinstallation of the existing terra cotta tiles and salvage and reuse of terra cotta tiles from demolished buildings. When necessary, new terra cotta roof tiles will be blended in with the existing to create a seamless installation. The design of new features will be compatible with historic features where possible. The project will meet Standard 6.

7. Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used:

If chemical or physical treatments are necessary, the project sponsor will use the gentlest treatment available. Treatments that cause damage to historic materials will not be used. The building's historic materials will be preserved and reused where possible. Where the proposed project requires the disturbance of the building's historic exterior stucco, work will be conducted in consultation with a historic architect or conservator to ensure proper treatment techniques. The project will comply with Standard 7.

8. Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken:

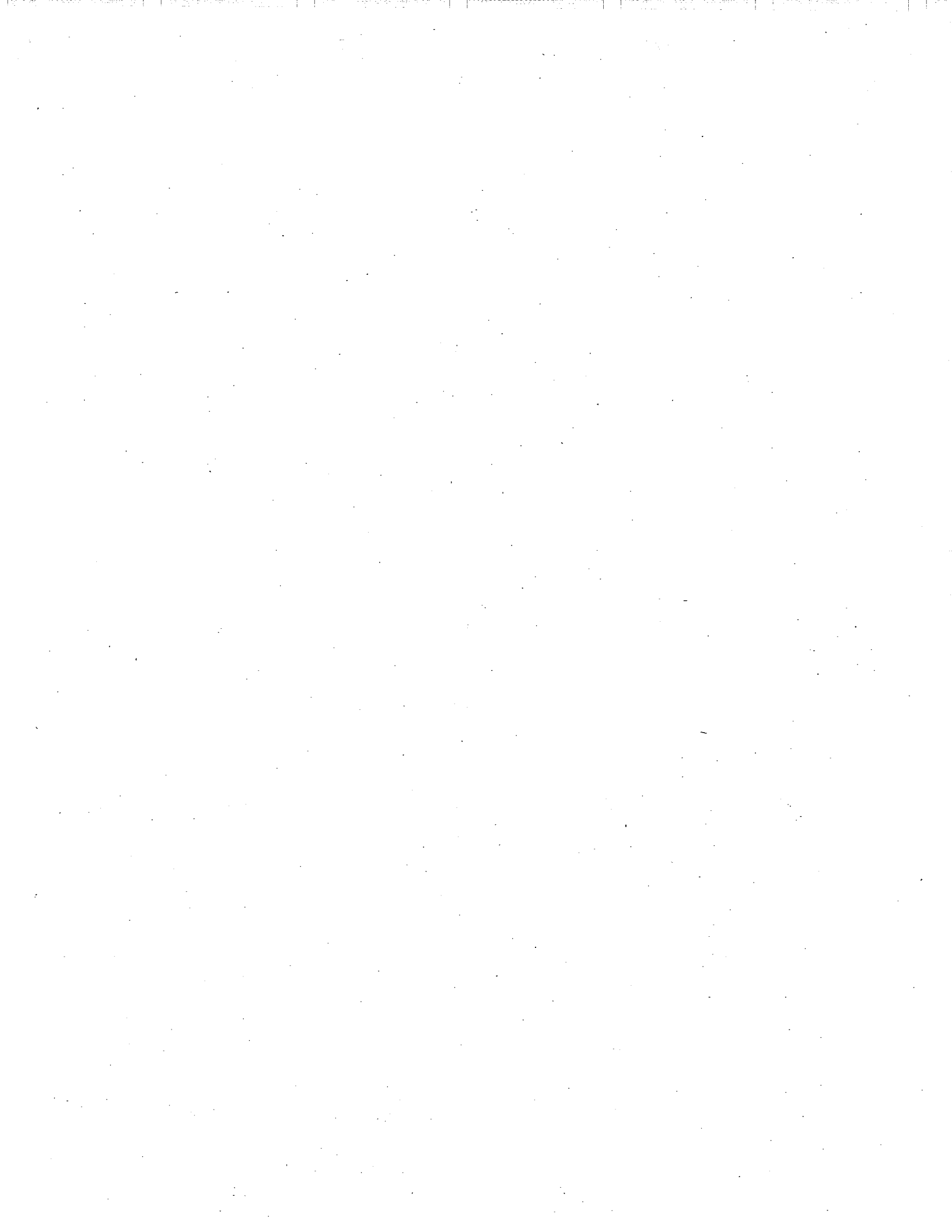
There are no known archeological resources associated with Woods Hall Annex. The proposed project does require some site re-grading, however. Archeological testing, monitoring and recovery of any archeological resources will be undertaken so that the project will comply with Standard 8.

9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment:

The proposed project does not include any new additions. Exterior alterations are limited to the addition of an accessible entrance at the Haight Street entrance. The proposed project will not destroy the building's historic materials, features and spatial relationships that characterize the building. The project is in substantial compliance with Standard 9.

10. New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would not be impaired:

The proposed project does not include new additions. The addition of the new level landing at the Haight Street entrance will be undertaken so that if removed in the future the essential form and integrity of the historic property will not be impaired. The project is in compliance with Standard 10.



MONITORING AND REPORTING PROGRAM

Adopted Mitigation Measures	Responsibility for Implementation	Mitigation Schedule	Mitigation Action	Monitoring/Reporting Responsibility	Monitoring Schedule
HISTORIC RESOURCES (continued)					
Mitigation Measure HR-1 HABS Level Recordation (cont.)					
<p>and the site of San Francisco State University. Much of the historical and descriptive data used in preparation of the Page & Turnbull report can be reused for this task. WPA-era associations including information about the WPA-era murals can be collected at this juncture.</p>	Project Sponsor		<p>The qualified historic preservation consultant shall distribute the photographs and documentation for archival records and reference</p>		<p>Considered complete upon agency receipt and distribution</p>
<p>Documentation of the former UC Extension site shall be submitted to the following repositories:</p> <ul style="list-style-type: none"> • Documentation report and one set of photographs and negatives shall be submitted to the History Room of the San Francisco Public Library. • Documentation report should be submitted to the Northwest Information Center of the California Historical Resources Information Resources System. • Documentation report, one set of photographs, original drawings, and rehabilitation drawings should be sent to the Environmental Design Archives in the College of Environmental Design, University of California, Berkeley. • Documentation report and xerographic copies of the photographs should be submitted to the San Francisco Planning Department for review prior to issuance of any permit that may be required by the City and County of San Francisco for demolition of Middle Hall or the Administration Wing of Richardson Hall. • Documentation report and xerographic copies of the photographs should be submitted to the San Francisco Landmarks Preservation Advisory Board. • If requested by the NPS, the documentation report and photographs shall be submitted to the Library of Congress. 					
Mitigation Measure HR-2 Interpretive Display (FEIR p. IV-2)					
<p>An additional form of mitigation shall include the installation of permanent interpretative display at the former UC Laguna Extension campus to describe to the general public the long and significant history of the site as an early California normal school and as the original site of San Francisco State University, as well as its WPA-era associations including information about the existing WPA-era mural(s) in Woods Hall Annex. As part of the interpretation program, the murals should remain in publicly accessible areas, or made publicly available by arrangement for curated tours where the murals would be located in private common areas. The sponsor shall retain the historic names of site buildings, and should consider naming new private streets for aspects of the</p>	Project Sponsor	Prior to project completion	<p>The project sponsor's historic preservation consultant shall prepare a scope of work for an interpretive display's content and design</p>	<p>Planning Department's Preservation Technical Specialist, at minimum, shall review scope of work, and reply with any comment or guidance.</p>	<p>Project sponsor's preservation architect to report on progress bi-monthly to the City</p>

MONITORING AND REPORTING PROGRAM

Adopted Mitigation Measures	Responsibility for Implementation	Mitigation Schedule	Mitigation Action	Monitoring/Reporting Responsibility	Monitoring Schedule
HISTORIC RESOURCES (continued)					
Mitigation Measure HR-2 Interpretive Display (cont.)					
<p>site's evolution, including its historic geography, or cultural landscape. Components of this mitigation program could include a permanent kiosk within or near the proposed Waller Park that would contain historic photographs and plans, and descriptive text. Historic photos, plans, and text developed from the HABS-level recordation could be used for this interpretive display.</p>			<p>Per guidance, final display content and design is developed</p> <p>Any revisions are completed, and final interpretive display is developed</p> <p>Interpretive display is installed</p>	<p>ERO, Planning Department's Preservation Technical Specialist, and LPAB for review and comment on the consultant's proposed interpretive display design</p>	<p>Installation plans are reviewed and approved by Department of Building Inspection</p> <p>Considered complete upon installation at the project site</p>
Mitigation Measure HR-3 Preservation Architect (FEIR p. IV-3)					
<p>As part of project design development, the sponsor shall retain a qualified preservation architect to 1) assist with ensuring the compatibility of the new structures with the NR historic district and the retained individual historic resource buildings in terms of their location, scale, massing, fenestration pattern, details, and materials, so as not to detract from the character of the NR historic district or the setting of the retained individual historic resource buildings, 2) conduct historic window and door survey of the site prior to approval of construction drawings, 3) manage treatment of the retained historic resource buildings, including accessibility and structural upgrade design, 4) plan and oversee mural preservation, and 5) act with overall responsibility to implement historic resource mitigations, monitor work performed, and to report bi-monthly to the City, as Lead Agency, and State Office of Historic Preservation and National Park Service (NPS), as requested, and pursuant to Section 106, as necessary, during the period from project approval to end of construction.</p>	Project sponsor	<p>Prior to proceeding with Certificate of Appropriateness; Prior to Approval on any Demolition Permits; Prior to design development for new construction</p>	<p>Retain a preservation architect meeting NPS professional qualifications standards</p>	<p>Coordinate project design team response to LPAB memo dated 12/10/07 concerning the appropriateness of the proposed site infill, reports to Planning Department's Preservation Technical Specialist</p>	<p>Project sponsor's preservation architect to report on implementation bi-monthly to the City, and State Office of Historic Preservation and NPS as requested, during the period from project approval to end of construction</p>
	Preservation architect	<p>Prior to development of design guidelines</p>	<p>Design guidelines to be scoped with Planning Department's Preservation Coordinator and Technical Specialist</p>	Sponsor	

MONITORING AND REPORTING PROGRAM

Adopted Mitigation Measures	Responsibility for Implementation	Mitigation Schedule	Mitigation Action	Monitoring/Reporting Responsibility	Monitoring Schedule
	Sponsor and design team	Prior to design development for new construction and/or pursuit of Certificate of Appropriateness	Develop design guidelines for infill appropriate to the site, per scope approved by City	Preservation architect	Prior to proceeding with Certificate of Appropriateness
	Preservation architect		Project sponsor's preservation architect to assist design team with infill design strategies per Sec. Interior's Stds, to ensure design compatibility with historic resources, responding to scope developed with City	Preservation Technical Specialist and LPAB to review and comment on draft guidelines	Design Guidelines completed Prior to consideration of Certificate of Appropriateness
	Preservation architect	During design development	Historic window and door survey of the site	Preservation Technical Specialist and LPAB to review and comment on survey results, evaluate architects' design, concur with appropriateness of new construction	City evaluates reuse and rehabilitation of historic doors and windows as part of review of project design
		Prior to approval of construction drawings; Prior to Approval of any Demolition permits	Project design review		Complete w/ Preservation concurrence on new design
					Reporting throughout construction

MONITORING AND REPORTING PROGRAM

Adopted Mitigation Measures	Responsibility for Implementation	Mitigation Schedule	Mitigation Action	Monitoring/Reporting Responsibility	Monitoring Schedule
HISTORIC RESOURCES (continued)					
Mitigation Measure HR-4. Mural Identification, Testing, and Preservation Procedures (FEIR p. IV-3)					
<p>Prior to any renovation efforts, the project sponsor, through their Preservation Architect shall design a plan to address protection of significant interior finishes, including murals, during construction. A conditions assessment and protection plan shall be prepared by a qualified architectural finishes conservator and submitted with the project proposal to ensure the safety of the contributing elements of the historic resource during the construction phase. Prior to any renovation efforts, the Preservation Architect shall prepare a plan to identify, retain, and preserve all WPA-era murals and/or mosaics at the project site, including Reuben Kadish's mural "A Dissertation on Alchemy" located in Woods Hall Annex, the "Angel" mural in Richardson Hall (by artist Bebe Daum), and others which may potentially exist beneath paint and/or plaster, such as a possible interior mural by John Emmett Gerrity or an exterior mosaic by Maxine Albro (both near the northwest entrance to Woods Hall.) Prior to any renovation efforts, the architectural finishes conservator retained for the project shall, as part of the plan, test and remove wall coatings to investigate the location and condition of any covered WPA-era murals and/or mosaics. If any such resources are located, including contributing decorative and sculptural elements, they shall also remain in place and be restored, through the auspices of sponsor partnership with the University of California, private and public art endowments, as the San Francisco Environmental Review Officer determines reasonably equitable and feasible.</p>	Project sponsor	Prior to Approval on any Demolition Permits	Project sponsor's preservation architect to prepare a mural/mosaic identification, testing, and preservation plan	Planning Department's Preservation Technical Specialist and LPAB to review and comment on the mural/mosaic plan	Plan submittal prior to final entitlements Project sponsor's preservation architect to report on restoration progress bi-monthly to the City
		Prior to any renovation efforts in Woods Hall, Woods Hall Annex, or Richardson Hall	Any revisions are completed, and final plan is begun in phases as required.	Protection of murals and contributing interior features during construction	Considered complete when all extant WPA-era murals and/or mosaics have been identified and restored.
Mitigation Measure HR-5. Arborist (FEIR p. IV-5)					
<p>The project sponsor shall retain a qualified arborist to ensure the successful relocation of a Canary Palm called the "Sacred Palm." Prior to approval of construction documents, a horticultural report shall be prepared with information to guide the retention and design requirements for the continuing health of the Canary Palm, including its successful storage, replanting, and spatial requirements for growth and feeding.</p>	Project sponsor	Prior to approval of construction documents	Project sponsor's arborist to prepare a horticultural report to guide successful relocation and health of the "Sacred Palm"	Arborist to provide Environmental Review Officer (ERO) with report for review and comment	Project sponsor's preservation architect to report on progress bi-monthly to the City
			Any revisions are completed		City evaluates tree accommodation in sponsor's design submittals

MONITORING AND REPORTING PROGRAM

Adopted Mitigation Measures	Responsibility for Implementation	Mitigation Schedule	Mitigation Action	Monitoring/Reporting Responsibility	Monitoring Schedule
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HISTORIC RESOURCES (continued)

Mitigation Measure HR-5. Arborist (cont.)

Considered complete when "Sacred Palm" has been successfully relocated and determined to be healthy by arborist

MITIGATION MEASURES FROM INITIAL STUDY

Mitigation Measure 1-Construction Air Quality (FEIR p. IV-3a)

To reduce particulate emissions, the project sponsor shall require the contractor(s) to spray the project site with water during demolition, excavation and construction activities; sprinkle unpaved exterior construction areas with water or apply non-toxic soil binders at least twice per day, or as necessary; cover stockpiles of soil, sand, and other material; hydroseed or apply non-toxic soil stabilizers to inactive construction areas (previously graded areas inactive for ten days or more); cover trucks hauling debris, soil, sand or other such material; install sandbags or other erosion control measures to prevent silt runoff to public roadways; replant vegetation in disturbed areas as quickly as possible; and sweep surrounding streets during demolition excavation and construction at least once per day. Ordinance 175-91, passed by the Board of Supervisors on May 6, 1991, requires that non-potable water be used for dust control activities. Therefore, the project sponsor would require that the contractor(s) obtain reclaimed water from the Clean Water Program for this purpose. All paved access roads, parking area, and any paved areas used for staging shall be swept daily.

The project sponsor shall require the project contractor(s) to maintain and operate construction equipment so as to minimize exhaust emissions of particulates and other pollutants, by such means as prohibiting idling motors when equipment is not in use or when trucks are waiting in queues, and implementing specific maintenance programs to reduce emissions for equipment that would be in frequent use for much of the construction period.

Project sponsor's construction contractor

During demolition and construction

Require that contractor control dust at the project site

Contractor to provide Environmental Review Officer (ERO) with monitoring report following soil-disturbing construction period and final monitoring report at conclusion of project construction

Considered complete upon receipt of final monitoring report at completion of construction

MONITORING AND REPORTING PROGRAM

Adopted Mitigation Measures	Responsibility for Implementation	Mitigation Schedule	Mitigation Action	Monitoring/Reporting Responsibility	Monitoring Schedule
MITIGATION MEASURES FROM INITIAL STUDY (continued)					
<i>Mitigation Measure 2-Avian Surveys (FEIR p. IV-3a)</i>					
<p>The project sponsor shall complete all demolition activities, including ground clearing, grading, and removal of trees or shrubs, during the non-breeding season (August 1 through January 31). If this is determined to be infeasible, a qualified wildlife biologist shall conduct preconstruction/demolition surveys of all potential special-status bird nesting habitat in the vicinity of the buildings to be demolished no more than two weeks in advance of any demolition activities that would commence during the breeding season (February 1 through July 31). Depending on the survey findings, the following actions shall be taken to avoid potential adverse effects on nesting raptors and other nesting birds:</p>	Project sponsor	August 1 through January 31	If demolition occurs outside of this period, require that sponsor hire a qualified wildlife biologist to complete avian surveys	Sponsor to provide Environmental Review Officer (ERO) with avian survey prior to demolition	Considered complete upon receipt of avian survey report
<ol style="list-style-type: none"> 1. If active nests of special-status birds are found during the surveys, a no-disturbance buffer zone shall be created around active nests until a qualified biologist determines that all young have fledged. The size of the buffer zones and types of construction activities restricted within them shall be determined through coordination with the California Department of Fish and Game (CDFG), taking into account factors such as the following: <ol style="list-style-type: none"> a. Noise and human disturbance levels at the project site and the nesting site at the time of the survey and the noise and disturbance expected during the construction activity; b. Distance and the amount of vegetation or other screening between the project site and the nest; c. Sensitivity of individual nesting species and behaviors of the nesting birds. 2. If preconstruction/demolition surveys indicate that no nests of special-status birds are present or that nests are inactive or potential habitat is unoccupied, no further mitigation is required. 3. Preconstruction/demolition surveys are not required during the non-breeding season (August 1 through January 31) for demolition activities including ground clearing, grading, and removal of trees or shrubs. 4. Furthermore, demolition and/or construction activities commencing during the non-breeding season and continuing into the breeding season do not require surveys (as it is assumed that any breeding birds taking up nests would be acclimated to project-related activities already under way). However, if trees and shrubs are to be removed during the breeding season, the trees and shrubs shall be surveyed for nests prior to their removal, according to the survey and protective action guidelines 1a through 1c, above. 					

MONITORING AND REPORTING PROGRAM

Adopted Mitigation Measures	Responsibility for Implementation	Mitigation Schedule	Mitigation Action	Monitoring/Reporting Responsibility	Monitoring Schedule
MITIGATION MEASURES FROM INITIAL STUDY (continued)					
Mitigation Measure 2-Avian Surveys (cont.)					
5. Nests initiated during demolition or construction activities are presumed to be unaffected by the activity, and a buffer is not necessary. 6. Destruction of active nests of special-status birds and overt interference with nesting activities of special-status birds shall be prohibited. 7. Trees and shrubs that have been determined to be unoccupied by nesting special-status birds may be removed as long as they are located outside of any buffer zones established for active areas.					
Mitigation Measure 3 – Hazards (FEIR p. IV-4)					
The project sponsor shall prepare and implement a Soil Management Plan (SMP) and a Health and Safety Plan (HSP), both of which are described below.	Project sponsor	Prior to issuance of grading or demolition permit and prior to soil-disturbing activity.	Project sponsor to retain a qualified and registered environmental assessor to conduct a SMP and HSP, and submit the report(s) to Department of Public Health (DPH), with copy to Department of Building Inspection (DBI) and Planning Department’s ERO.	DPH to review SMP and HSP and advise DBI and ERO if additional testing is required.	Considered complete when all hazardous materials have been removed from existing buildings, and soil handling activities have been completed, and upon receipt by the San Francisco Planning Department and DPH of a report stating that the mitigation measures described in the reports have been implemented.
1. Potential hazards to construction workers and the general public during demolition and construction shall be mitigated by the preparation and implementation of a site-specific soil management plan. Specific information to be provided in the plan would include soil-handling procedures that segregate Class I from Class II or III fill material and isolate fill material from the underlying native soil. The plan would also include procedures for on-site observation and stockpiling of excavated soils during construction, soil sampling for focused waste classification purposes, and legal disposal at an appropriate disposal facility. In the event that the soil were characterized as a hazardous waste according to State or Federal criteria, the soil shall be disposed of at a Class I disposal facility. Soil classified as a non-hazardous waste could be disposed of at a Class II or III disposal facility in accordance with applicable waste disposal regulations.					
2. Potential hazards to construction workers and the general public during demolition and construction shall be mitigated by the preparation and implementation of a site-specific health and safety plan. The health and safety plan shall meet the requirements of federal, state and local environmental and worker safety laws. Specific information to be provided in the plan includes identification of contaminants, potential hazards, material handling procedures, dust suppression methods, personal protection clothing and devices, controlled access to the site, health and safety training requirements, monitoring equipment to be used during construction to verify health and safety of the workers and the public, measures to protect public health and safety, and emergency response procedures.					

MONITORING AND REPORTING PROGRAM

Adopted Mitigation Measures	Responsibility for Implementation	Mitigation Schedule	Mitigation Action	Monitoring/Reporting Responsibility	Monitoring Schedule
MITIGATION MEASURES FROM INITIAL STUDY (continued)					
Mitigation Measure 4 – Archaeology (FEIR p. IV-5)					
<p>Based on a reasonable presumption that archeological resources may be present within the project site, the following measures shall be undertaken to avoid any potentially significant adverse effect from the proposed project on buried or submerged historical resources. The project sponsor shall retain the services of a qualified archeological consultant having expertise in California prehistoric and urban historical archeology. The archeological consultant shall undertake an archeological testing program as specified herein. In addition, the consultant shall be available to conduct an archeological monitoring and/or data recovery program if required pursuant to this measure. The archeological consultant's work shall be conducted in accordance with, a) the project archaeological research design and treatment plan (Archeo-Tec, Final Archaeological Research Design and Treatment Plan for the Laguna Hill Project, San Francisco, California, July 2005 at the direction of the Environmental Review Officer (ERO), and b) in instances of any inconsistency between the requirements of the project archaeological research design and treatment plan and of this archaeological mitigation measure, the requirement of the latter shall prevail. All plans and reports prepared by the consultant as specified herein shall be submitted first and directly to the ERO for review and comment, and shall be considered draft reports subject to revision until final approval by the ERO. Archeological monitoring and/or data recovery programs required by this measure could suspend construction of the project for up to a maximum of four weeks. At the direction of the ERO, the suspension of construction can be extended beyond four weeks only if such a suspension is the only feasible means to reduce to a less than significant level potential effects on a significant archeological resource as defined in CEQA Guidelines Sections 15064.5 (a) and (c).</p>	<p>Project Sponsor/Archeological consultant, at the direction of the ERO</p>	<p>Prior to any soil-disturbing activities.</p>	<p>See individual components below.</p>	<p>See individual components below.</p>	<p>See individual components below.</p>
Archeological Testing Program	<p>Project sponsor and archeological consultant.</p>	<p>Prior to any soil-disturbing activities.</p>	<p>Archaeologist to conduct testing program and submit report to ERO.</p>	<p>ERO to review report and determine presence or absence of significant archaeological resource(s).</p>	<p>Prior to any soil-disturbing activities. Considered complete upon ERO determination</p>

MONITORING AND REPORTING PROGRAM

Adopted Mitigation Measures	Responsibility for Implementation	Mitigation Schedule	Mitigation Action	Monitoring/Reporting Responsibility	Monitoring Schedule
MITIGATION MEASURES FROM INITIAL STUDY (continued)					
Mitigation Measure 4 – Archaeology(cont.)					
whether any archeological resource encountered on the site constitutes an historical resource under CEQA.					whether project must be re-designed so as to avoid adverse effect or whether a data recovery program shall be initiated.
At the completion of the archeological testing program, the archeological consultant shall submit a written report of the findings to the ERO. If based on the archeological testing program the archeological consultant finds that significant archeological resources may be present, the ERO in consultation with the archeological consultant shall determine if additional measures are warranted. Additional measures that may be undertaken include additional archeological testing, archeological monitoring, and/or an archeological data recovery program. If the ERO determines that a significant archeological resource is present and that the resource could be adversely affected by the proposed project, at the discretion of the project sponsor either:					
<ul style="list-style-type: none"> a. The proposed project shall be re-designed so as to avoid any adverse effect on the significant archeological resource; or b. A data recovery program shall be implemented, unless the ERO determines that the archaeological resources is of greater interpretive than research significance and that interpretive use of the resource is feasible. 					
Archeological Monitoring Program					
If the ERO in consultation with the archeological consultant determines that an archeological monitoring program shall be implemented the archeological monitoring program shall minimally include the following provisions:	ERO and archeological consultant.	Prior to any soil-disturbing activities.	Determination as to whether archaeological monitoring program is required.	ERO, project sponsor, and archaeological consultant	Prior to any soil-disturbing activities. Considered complete upon determination of scope of monitoring program.
<ul style="list-style-type: none"> • The archeological consultant, project sponsor, and ERO shall meet and consult on the scope of the AMP reasonably prior to any project-related soils disturbing activities commencing. The ERO in consultation with the archeological consultant shall determine what project activities shall be archeologically monitored. In most cases, any soils- disturbing activities, 					

MONITORING AND REPORTING PROGRAM

Adopted Mitigation Measures	Responsibility for Implementation	Mitigation Schedule	Mitigation Action	Monitoring/Reporting Responsibility	Monitoring Schedule
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MITIGATION MEASURES FROM INITIAL STUDY (continued)

Mitigation Measure 4 – Archaeology (cont.)

such as demolition, foundation removal, excavation, grading, utilities installation, foundation work, driving of piles (foundation, shoring, etc.), site remediation, etc., shall require archeological monitoring because of the risk these activities pose to potential archaeological resources and to their depositional context;

- The archeological consultant shall advise all project contractors to be on the alert for evidence of the presence of the expected resource(s), of how to identify the evidence of the expected resource(s), and of the appropriate protocol in the event of apparent discovery of an archeological resource;
- The archeological monitor(s) shall be present on the project site according to a schedule agreed upon by the archeological consultant and the ERO until the ERO has, in consultation with project archeological consultant, determined that project construction activities could have no effects on significant archeological deposits;
- The archeological monitor shall record and be authorized to collect soil samples and artifactual/ecofactual material as warranted for analysis;
- If an intact archeological deposit is encountered, all soils-disturbing activities in the vicinity of the deposit shall cease. The archeological monitor shall be empowered to temporarily redirect demolition/excavation/pile driving/construction activities and equipment until the deposit is evaluated. If in the case of pile driving activity (foundation, shoring, etc.), the archeological monitor has cause to believe that the pile driving activity may affect an archeological resource, the pile driving activity shall be terminated until an appropriate evaluation of the resource has been made in consultation with the ERO. The archeological consultant shall immediately notify the ERO of the encountered archeological deposit. The archeological consultant shall make a reasonable effort to assess the identity, integrity, and significance of the encountered archeological deposit, and present the findings of this assessment to the ERO.

Whether or not significant archeological resources are encountered, the archeological consultant shall submit a written report of the findings of the monitoring program to the ERO.

MONITORING AND REPORTING PROGRAM

Adopted Mitigation Measures	Responsibility for Implementation	Mitigation Schedule	Mitigation Action	Monitoring/Reporting Responsibility	Monitoring Schedule
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MITIGATION MEASURES FROM INITIAL STUDY (continued)

Mitigation Measure 4 – Archaeology (cont.)

Archeological Data Recovery Program

The archeological data recovery program shall be conducted in accord with an archeological data recovery plan (ADRP). The archeological consultant, project sponsor, and ERO shall meet and consult on the scope of the ADRP prior to preparation of a draft ADRP. The archeological consultant shall submit a draft ADRP to the ERO.

Project sponsor and archeological consultant, in consultation with ERO.

Upon discovery of significant archaeological resources.

Appropriate treatment of significant archaeological resources discovered, consistent with Archaeological Data Recovery Plan for Westbrook Plaza Project.

Data recovery program to be described in Final Archaeological Resources Report (see below).

Considered complete upon ERO approval of Draft FARR (see below).

The scope of the ADRP shall include the following elements:

- The ADRP shall identify how the proposed data recovery program will preserve the significant information the archeological resource is expected to contain. That is, the ADRP will identify what scientific/historical research questions are applicable to the expected resource, what data classes the resource is expected to possess, and how the expected data classes would address the applicable research questions. Data recovery, in general, should be limited to the portions of the historical property that could be adversely affected by the proposed project. Destructive data recovery methods shall not be applied to portions of the archeological resources if nondestructive methods are practical.

The scope of the ADRP shall include the following elements:

- *Field Methods and Procedures.* Descriptions of proposed field strategies, procedures, and operations.
- *Cataloguing and Laboratory Analysis.* Description of selected cataloguing system and artifact analysis procedures.
- *Discard and Deaccession Policy.* Description of and rationale for field and post-field discard and deaccession policies.
- *Interpretive Program.* Consideration of an on-site/off-site public interpretive program during the course of the archeological data recovery program.
- *Security Measures.* Recommended security measures to protect the archeological resource from vandalism, looting, and non-intentionally damaging activities.
- *Final Report.* Description of proposed report format and distribution of results.

MONITORING AND REPORTING PROGRAM

Adopted Mitigation Measures	Responsibility for Implementation	Mitigation Schedule	Mitigation Action	Monitoring/Reporting Responsibility	Monitoring Schedule
MITIGATION MEASURES FROM INITIAL STUDY (continued)					
Mitigation Measure 4 – Archaeology (cont.)					
<ul style="list-style-type: none"> <i>Curation.</i> Description of the procedures and recommendations for the curation of any recovered data having potential research value, identification of appropriate curation facilities, and a summary of the accession policies of the curation facilities. 					
Human Remains and Associated or Unassociated Funerary Objects					
<p>The treatment of human remains and of associated or unassociated funerary objects discovered during any soils disturbing activity shall comply with applicable State and Federal laws. This shall include immediate notification of the Coroner of the City and County of San Francisco and in the event of the Coroner's determination that the human remains are Native American remains, notification of the California State Native American Heritage Commission (NAHC) who shall appoint a Most Likely Descendant (MLD) (Pub. Res. Code Sec. 5097.98). The archeological consultant, project sponsor, and MLD shall make all reasonable efforts to develop an agreement for the treatment of, with appropriate dignity, human remains and associated or unassociated funerary objects (CEQA Guidelines. Sec. 15064.5(d)). The agreement should take into consideration the appropriate excavation, removal, recordation, analysis, custodianship, curation, and final disposition of the human remains and associated or unassociated funerary objects.</p>	Project sponsor and archaeological consultant.	During archaeological field program.	Appropriate treatment of human remains.	Archaeological monitor to notify coroner and, if appropriate, NAHC, and shall provide written report of such notification to ERO.	Considered complete upon receipt by ERO of any notification, if applicable.
Final Archeological Resources Report					
<p>The archeological consultant shall submit a Draft Final Archeological Resources Report (FARR) to the ERO that evaluates the historical significance of any discovered archeological resource and describes the archeological and historical research methods employed in the archeological testing/monitoring/data recovery program(s) undertaken. Information that may put at risk any archeological resource shall be provided in a separate removable insert within the final report.</p>	Project sponsor and archaeological consultant.	Following completion of any archaeological field program.	Submittal of Draft FARR.	ERO to review Draft FARR.	Considered complete upon ERO approval of Draft FARR.
<p>Once approved by the ERO, copies of the FARR shall be distributed as follows: California Archaeological Site Survey Northwest Information Center (NWIC) shall receive one (1) copy and the ERO shall receive a copy of the transmittal of the FARR to the NWIC. The Major Environmental Analysis division of the Planning Department shall receive three copies of the FARR along with copies of any formal site recordation forms (CA DPR 523 series) and/or documentation for nomination to the National Register of Historic Places/California Register of Historical Resources. In instances of high public interest in or the high interpretive value of the resource, the ERO may require a different final report content, format, and distribution than that presented above.</p>	Project sponsor	Upon ERO approval of Draft FARR.	Distribution of FARR	Project sponsor to provide ERO with copies of transmittals of FARR distribution.	Considered complete upon receipt by ERO of evidence of distribution.

Attachment B



SAN FRANCISCO PLANNING DEPARTMENT

Historic Preservation Commission

Motion No. 0157

HEARING DATE: MAY 16, 2012

1650 Mission St.
Suite 400
San Francisco,
CA 94103-2479

Reception:
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415.558.6409

Planning
Information:
415.558.6377

Filing Date: March 27, 2012
Case No.: 2012.0033A
Project Address: 55 Laguna Street
Historic Landmark: Nos. 257, 258, & 259: Richardson Hall, Woods Hall, & Woods Hall Annex
Zoning: RM-3 (Residential, Mixed, Medium Density) Zoning District/
 40-X Height and Bulk District;
 NC-3 (Moderate-Scale Neighborhood Commercial) Zoning District/
 85-X Height and Bulk District
Block/Lot: 0857/ 001 & 001a
 0870/ 001, 002, & 003
Applicant: Elisa Skaggs, Page & Turnbull, Inc.
 724 Pine Street
 San Francisco, CA 94108
Staff Contact Shelley Caltagirone - (415) 558-6625
 shelly.caltagirone@sfgov.org
Reviewed By Tim Frye - (415) 558-6325
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ADOPTING FINDINGS, INCLUDING FINDINGS UNDER THE CALIFORNIA ENVIRONMENTAL QUALITY ACT, FOR A CERTIFICATE OF APPROPRIATENESS FOR PROPOSED WORK DETERMINED TO BE APPROPRIATE FOR AND CONSISTENT WITH THE PURPOSES OF ARTICLE 10, TO MEET THE STANDARDS OF ARTICLE 10 AND TO MEET THE SECRETARY OF INTERIOR'S STANDARDS FOR REHABILITATION, FOR THE PROPERTY LOCATED ON LOTS 001 AND 001A IN ASSESSOR'S BLOCK 0857 AND LOTS 001-003 IN ASSESSOR'S BLOCK 0870, WITHIN RM-3 (RESIDENTIAL, MIXED, MEDIUM DENSITY) AND NC-3 (MODERATE-SCALE NEIGHBORHOOD COMMERCIAL) ZONING DISTRICTS AND A 40-X AND 85-X HEIGHT AND BULK DISTRICTS.

PREAMBLE

WHEREAS, on March 27, 2012, Elisa Skaggs, Page & Turnbull, Inc., (Project Sponsor) filed an application with the San Francisco Planning Department (hereinafter "Department") for a Certificate of Appropriateness to rehabilitate Richardson Hall for use as senior services, senior housing, and retail and/or office space; to rehabilitate Woods Hall for use as housing; and, to rehabilitate Woods Hall Annex for use as a community center.

WHEREAS, the 55 Laguna Mixed Use Project Final Environment Impact Report (FEIR), Case No. 2004.0773E, was certified by the Planning Commission on January 17, 2008 and an addendum to the EIR incorporating the current project was published on May 8, 2012.

WHEREAS, on January 17, 2008, the Commission: adopted findings under the California Environmental Quality Act, Public Resources Code §§21000 *et seq.* (CEQA), the CEQA Guidelines, 14 Cal. Code. Regs. §§15000 *et seq.*, and Chapter 31 of the San Francisco Administrative Code, including a statement of overriding considerations; adopted a Mitigation Monitoring and Reporting Program (MMRP) for the proposed project, by Motion No. 17533; recommended approval of a General Plan amendment and Planning Code and Zoning Map amendments to the Board of Supervisors. The Planning Commission also approved a Conditional Use Authorization for the proposed project.

WHEREAS, on April 15, 2008, the Board of Supervisors took action to approve the project, and in so doing adopted the Planning Commission's CEQA approval findings as its own, adopted the MMRP, and adopted additional findings under the California Environmental Quality Act, which can be found on file with the Clerk of the Board of Supervisors in Files Nos. 071001, 071002, and 080319.

WHEREAS, on May 16, 2012, the Commission conducted a duly noticed public hearing on the current project, Case No. 2012.0033A ("Project") for its appropriateness.

WHEREAS, in reviewing the Application, the Commission has had available for its review and consideration case reports, plans, and other materials pertaining to the Project contained in the Department's case files, including the FEIR and Addendum, has reviewed and heard testimony and received materials from interested parties during the public hearing on the Project.

MOVED, that the Commission hereby grants the Certificate of Appropriateness, in conformance with the architectural plans labeled Exhibit A on file in the docket for Case No. 2012.0033A and the listed conditions based on the following findings, and adopts the MMRP:

CONDITIONS

- That the design guidelines for historic buildings prepared by Page & Turnbull in accordance with Mitigation Measure HR-3 of the *Mitigation Monitoring and Reporting Program* for the 55 Laguna Mixed Use Project Environmental Impact Report will be complied with in all aspects of design refinement for the three landmark buildings.
- That the configuration, materials, and details of all new windows and doors will be finalized and approved by Department staff to ensure their compatibility with the historic character of the landmark buildings prior to the approval of the Architectural Addendum of the building permit;
- That the sign program will be finalized and approved by Department staff to ensure their compatibility with the historic character of the landmark buildings prior to the approval of the Architectural Addendum of the building permit;
- That all condition assessments regarding the murals, stucco cladding, and clay tile roofs will be submitted to the Department prior to the approval of the Architectural Addendum of the

building permit and that all treatment and protection plans will be incorporated into the permit plans for approval by the Planning Department;

- That the existing and proposed location of the Sacred Palm associated with Woods Hall will be shown on the site plan and that a relocation and protection plan prepared by an arborist will be incorporated into the site permit for approval by the Planning Department; and,
- That all Structural and Mechanical/Electrical/Plumbing Addendum to the building permit will be reviewed by Planning Department staff to ensure that seismic and mechanical interventions do not detract from any character-defining features of the buildings or result in significant removal of historic fabric.
- That all openings in the retaining wall below Richardson Hall should be the same size to maintain a consistent look as in Variant A.
- That the awnings at the retaining wall below Richardson Hall should not have cable supports.
- That the three (3) proposed window openings at the southeast corner of the auditorium should be eliminated, two (2) on the Hermann Street façade and one (1) on the Laguna Street façade.
- That two (2) additional window openings may be created between the buttresses of the auditorium on the Laguna Street façade for a total of six (6) window openings in this location.
- That four (4) new window openings at the Haight Street façade and three (3) new window openings on the Buchanan Street facade of Woods Hall may be created in the locations indicated in the Alternate Design drawing dated May 16, 2012 of either the proposed size or within 1 foot increased width and height.

FINDINGS

Having reviewed all the materials identified in the recitals above and having heard oral testimony and arguments, this Commission finds, concludes, and determines as follows:

1. The above recitals are accurate and also constitute findings of the Commission.
2. Findings pursuant to Article 10:

The Historical Preservation Commission has determined that the proposed work is compatible with the character of the landmark district as described in the designation report for the following reasons:

- That the proposed new housing, retail, assembly, and public service uses for the buildings may be achieved without causing significant changes to their distinctive materials, features, spaces, and spatial relationships;
- That the proposed work will not cause the removal, alteration, or obstruction of any character-defining features of the site. The portions of wall proposed to be removed for the creation of window openings or at the low wall located at the Buchanan/Haight Street entry

- will not remove any distinctive materials or significantly alter the historic character of the landmark buildings. Also, all structural, mechanical, electrical, plumbing installations will be designed in a manner which does not affect any character-defining features of the buildings and will occur in areas that are not visible from the street or are on secondary facades;
- That the window survey indicates that the majority of historic windows at the three buildings will be retained (97% at Richardson Hall, 92% at Woods Hall, and 100% at Woods Hall Annex); that no window openings will be altered; and that 28 or 29 window openings to be created at Richardson Hall will maintain the historic rhythm of fenestration;
 - That the proposed exterior changes will be carefully differentiated from the existing historic features and will be compatible with the character of the property, including the proposed railings, windows and doors, and storefronts at Hermann and Laguna Streets;
 - That the proposal calls for retaining sound historic stucco and roofing tiles and replacing in-kind or with salvaged materials when necessary;
 - That the findings of the mosaic investigative report prepared by Page & Turnbull in accordance with the EIR Mitigation Measures has ensured that the historic feature was been previously removed and, therefore, will not be affected by the proposed project;
 - That any chemical or physical treatments will be undertaken using the gentlest means possible and under the supervision of a historic architect or conservator;
 - That Mitigation Measure HR-3 of the *Mitigation Monitoring and Reporting Program* for the *55 Laguna Mixed Use Project Environmental Impact Report* pertaining to mural preservation will ensure the protection of these significant features; and,
 - That the installation of the proposed new elements, such as the proposed railings, windows and doors, and storefronts, will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.
 - The proposed project meets the requirements of Article 10 and the designating ordinances.
 - The proposed project meets the following *Secretary of the Interior's Standards for Rehabilitation*:

Standard 1.

A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.

Standard 2.

The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.

Standard 3.

Each property will be recognized as a physical record of its time, place and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.

Standard 4.

Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.

Standard 5.

Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a property shall be preserved.

Standard 6.

Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.

Standard 7.

Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.

Standard 8.

Significant archeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.

Standard 9.

New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

Standard 10.

New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

3. **General Plan Compliance.** The proposed Certificate of Appropriateness is, on balance, consistent with the following Objectives and Policies of the General Plan:

I. URBAN DESIGN ELEMENT

THE URBAN DESIGN ELEMENT CONCERNS THE PHYSICAL CHARACTER AND ORDER OF THE CITY, AND THE RELATIONSHIP BETWEEN PEOPLE AND THEIR ENVIRONMENT.

GOALS

The Urban Design Element is concerned both with development and with preservation. It is a concerted effort to recognize the positive attributes of the city, to enhance and conserve those attributes, and to

improve the living environment where it is less than satisfactory. The Plan is a definition of quality, a definition based upon human needs.

OBJECTIVE 1

EMPHASIS OF THE CHARACTERISTIC PATTERN WHICH GIVES TO THE CITY AND ITS NEIGHBORHOODS AN IMAGE, A SENSE OF PURPOSE, AND A MEANS OF ORIENTATION.

POLICY 1.3

Recognize that buildings, when seen together, produce a total effect that characterizes the city and its districts.

OBJECTIVE 2

CONSERVATION OF RESOURCES WHICH PROVIDE A SENSE OF NATURE, CONTINUITY WITH THE PAST, AND FREEDOM FROM OVERCROWDING.

POLICY 2.4

Preserve notable landmarks and areas of historic, architectural or aesthetic value, and promote the preservation of other buildings and features that provide continuity with past development.

POLICY 2.5

Use care in remodeling of older buildings, in order to enhance rather than weaken the original character of such buildings.

POLICY 2.7

Recognize and protect outstanding and unique areas that contribute in an extraordinary degree to San Francisco's visual form and character.

The goal of a Certificate of Appropriateness is to provide additional oversight for buildings and districts that are architecturally or culturally significant to the City in order to protect the qualities that are associated with that significance.

The proposed project qualifies for a Certificate of Appropriateness and therefore furthers these policies and objectives by maintaining and preserving the character-defining features of the landmark for the future enjoyment and education of San Francisco residents and visitors.

4. The proposed project is generally consistent with the eight General Plan priority policies set forth in Section 101.1 in that:
 - A) The existing neighborhood-serving retail uses will be preserved and enhanced and future opportunities for resident employment in and ownership of such businesses will be enhanced:

The proposed project will not have any impact on neighborhood serving retail uses.

- B) The existing housing and neighborhood character will be conserved and protected in order to preserve the cultural and economic diversity of our neighborhoods:

The proposed project will strengthen neighborhood character by respecting the character-defining features of the building in conformance with the Secretary of the Interior's Standards.

- C) The City's supply of affordable housing will be preserved and enhanced:

The project will increase the affordable housing supply with the addition of affordable units at Richardson Hall.

- D) The commuter traffic will not impede MUNI transit service or overburden our streets or neighborhood parking:

The proposed project will not result in commuter traffic impeding MUNI transit service or overburdening the streets or neighborhood parking.

- E) A diverse economic base will be maintained by protecting our industrial and service sectors from displacement due to commercial office development. And future opportunities for resident employment and ownership in these sectors will be enhanced:

The proposed will not have any impact on industrial and service sector jobs.

- F) The City will achieve the greatest possible preparedness to protect against injury and loss of life in an earthquake.

Preparedness against injury and loss of life in an earthquake is improved by the proposed work. The work will be executed in compliance with all applicable construction and safety measures.

- G) That landmark and historic buildings will be preserved:

The proposed project is in conformance with Article 10 of the Planning Code and the Secretary of the Interior's Standards.

- H) Parks and open space and their access to sunlight and vistas will be protected from development:

The proposed project will not impact the access to sunlight or vistas for the parks and open space.

5. For these reasons, the proposal overall, is appropriate for and consistent with the purposes of Article 10, meets the standards of Article 10, and the Secretary of Interior's Standards for Rehabilitation, General Plan and Prop M findings of the Planning Code.
6. California Environmental Quality Act Findings. This Commission hereby incorporates by reference as though fully set forth and adopts the CEQA approval findings made by both the

Planning Commission, Motion No. 17533, and the Board of Supervisors, which can be found on file with the Clerk of the Board of Supervisors in Files Nos. 071001, 071002, and 080319. The FEIR and the Addendum for this project has been made available to this Commission and the public for review at the Planning Department, 1650 Mission Street. This Commission has considered the record before it, including the Addendum, and finds based on substantial evidence found in the record that none of the conditions described in Sections 15162 or 15163 of the CEQA Guidelines calling for preparation of a subsequent or supplemental EIR have occurred. Specifically, the Commission finds that there have been no substantial changes to the project or the circumstances surrounding the project as described in the FEIR that would lead to the involvement of new significant impacts or a substantial increase in the severity of previously identified significant impacts. Additionally, no new information of substantial importance has come to light showing that the project would result in any new significant effects or a substantial increase in any previously identified significant effects or that any mitigation measures or alternatives previously found not to be feasible would in fact be feasible.

DECISION

That based upon the Record, the submissions by the Applicant, the staff of the Department and other interested parties, the oral testimony presented to this Commission at the public hearings, and all other written materials submitted by all parties, the Commission hereby **ADOPTS the MMRP and GRANTS a Certificate of Appropriateness** for the property located at Assessor's Block 0857, Lots 001 and 001a and Assessor's Block 0870, Lots 001, 002, and 003 for proposed work in conformance with the renderings and architectural plans labeled Exhibit A on file in the docket for Case No. 2012.0033A.

APPEAL AND EFFECTIVE DATE OF MOTION: The Commission's decision on a Certificate of Appropriateness shall be final unless appealed within thirty (30) days. Any appeal shall be made to the Board of Appeals, unless the proposed project requires Board of Supervisors approval or is appealed to the Board of Supervisors as a conditional use, in which case any appeal shall be made to the Board of Supervisors (see Charter Section 4.135).

Duration of this Certificate of Appropriateness: This Certificate of Appropriateness is issued pursuant to Article 10 of the Planning Code and is valid for a period of three (3) years from the effective date of approval by the Historic Preservation Commission. The authorization and right vested by virtue of this action shall be deemed void and canceled if, within 3 years of the date of this Motion, a site permit or building permit for the Project has not been secured by Project Sponsor.

THIS IS NOT A PERMIT TO COMMENCE ANY WORK OR CHANGE OF OCCUPANCY UNLESS NO BUILDING PERMIT IS REQUIRED. PERMITS FROM THE DEPARTMENT OF BUILDING INSPECTION (and any other appropriate agencies) MUST BE SECURED BEFORE WORK IS STARTED OR OCCUPANCY IS CHANGED.

I hereby certify that the Historical Preservation Commission ADOPTED the foregoing Motion on May 16, 2012.

Linda D. Avery
Commission Secretary

Motion No. 0157
Hearing Date: May 16, 2012

CASE NO 2012.0033A
55 Laguna Street

AYES: Chase, Damkroger, Hasz, Johns, Martinez, and Matsuda

NAYS: None

ABSENT: Wolfram

ADOPTED: May 16, 2012

Attachment C

Attachment C

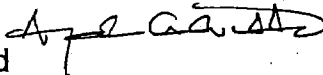
BOARD of SUPERVISORS



City Hall
1 Dr. Carlton B. Goodlett Place, Room 244
San Francisco 94102-4689
Tel. No. 554-5184
Fax No. 554-5163
TDD/TTY No. 544-5227

June 18, 2012

To: Cheryl Adams
Deputy City Attorney

From: Angela Calvillo 
Clerk of the Board

Re: Historic Preservation Commission's Approval of the Certificate of
Appropriateness relating to Richardson Hall

The above referenced appeal was filed with the Office of the Clerk of the Board on June 15, 2012, by Cynthia Servetnick on behalf of Save the Laguna Street Campus.

I am forwarding this appeal, with the attached documents, to the City Attorney's Office to determine if the appeal is appealable to the Board of Supervisors. The City Attorney's determination should be made within 3 working days of receipt of this request.

If you have any questions, please feel free to contact Legislative Deputy Director, Rick Caldeira at (415) 554-7711.

c: Kate Stacy, Deputy City Attorney
Marlena Byrne, Deputy City Attorney
Elaine Warren, Deputy City Attorney
Scott Sanchez, Zoning Administrator, Planning Department
Bill Wycko, Environmental Review Officer, Planning Department
AnMarie Rodgers, Planning Department
Shelley Caltagirone, Planning Department
Time Frye, Planning Department
Linda Avery, Planning Commission Secretary



SAN FRANCISCO PLANNING DEPARTMENT

Historic Preservation Commission Motion No. 0157 HEARING DATE: MAY 16, 2012

1650 Mission St.
Suite 400
San Francisco,
CA 94103-2479

Reception:
415.558.6378

Fax:
415.558.6409

Planning
Information:
415.558.6377

Filing Date: March 27, 2012
Case No.: 2012.0033A
Project Address: 55 Laguna Street
Historic Landmark: Nos. 257, 258, & 259: Richardson Hall, Woods Hall, & Woods Hall Annex
Zoning: RM-3 (Residential, Mixed, Medium Density) Zoning District/
40-X Height and Bulk District;
NC-3 (Moderate-Scale Neighborhood Commercial) Zoning District/
85-X Height and Bulk District
Block/Lot: 0857/ 001 & 001a
0870/ 001, 002, & 003
Applicant: Elisa Skaggs, Page & Turnbull, Inc.
724 Pine Street
San Francisco, CA 94108
Staff Contact Shelley Caltagirone - (415) 558-6625
shelley.caltagirone@sfgov.org
Reviewed By Tim Frye - (415) 558-6325
tim.frye@sfgov.org

ADOPTING FINDINGS, INCLUDING FINDINGS UNDER THE CALIFORNIA ENVIRONMENTAL QUALITY ACT, FOR A CERTIFICATE OF APPROPRIATENESS FOR PROPOSED WORK DETERMINED TO BE APPROPRIATE FOR AND CONSISTENT WITH THE PURPOSES OF ARTICLE 10, TO MEET THE STANDARDS OF ARTICLE 10 AND TO MEET THE SECRETARY OF INTERIOR'S STANDARDS FOR REHABILITATION, FOR THE PROPERTY LOCATED ON LOTS 001 AND 001A IN ASSESSOR'S BLOCK 0857 AND LOTS 001-003 IN ASSESSOR'S BLOCK 0870, WITHIN RM-3 (RESIDENTIAL, MIXED, MEDIUM DENSITY) AND NC-3 (MODERATE-SCALE NEIGHBORHOOD COMMERCIAL) ZONING DISTRICTS AND A 40-X AND 85-X HEIGHT AND BULK DISTRICTS.

PREAMBLE

WHEREAS, on March 27, 2012, Elisa Skaggs, Page & Turnbull, Inc., (Project Sponsor) filed an application with the San Francisco Planning Department (hereinafter "Department") for a Certificate of Appropriateness to rehabilitate Richardson Hall for use as senior services, senior housing, and retail and/or office space; to rehabilitate Woods Hall for use as housing; and, to rehabilitate Woods Hall Annex for use as a community center.

building permit and that all treatment and protection plans will be incorporated into the permit plans for approval by the Planning Department;

- That the existing and proposed location of the Sacred Palm associated with Woods Hall will be shown on the site plan and that a relocation and protection plan prepared by an arborist will be incorporated into the site permit for approval by the Planning Department; and,
- That all Structural and Mechanical/Electrical/Plumbing Addendum to the building permit will be reviewed by Planning Department staff to ensure that seismic and mechanical interventions do not detract from any character-defining features of the buildings or result in significant removal of historic fabric.
- That all openings in the retaining wall below Richardson Hall should be the same size to maintain a consistent look as in Variant A.
- That the awnings at the retaining wall below Richardson Hall should not have cable supports.
- That the three (3) proposed window openings at the southeast corner of the auditorium should be eliminated, two (2) on the Hermann Street façade and one (1) on the Laguna Street façade.
- That two (2) additional window openings may be created between the buttresses of the auditorium on the Laguna Street façade for a total of six (6) window openings in this location.
- That four (4) new window openings at the Haight Street façade and three (3) new window openings on the Buchanan Street facade of Woods Hall may be created in the locations indicated in the Alternate Design drawing dated May 16, 2012 of either the proposed size or within 1 foot increased width and height.

FINDINGS

Having reviewed all the materials identified in the recitals above and having heard oral testimony and arguments, this Commission finds, concludes, and determines as follows:

1. The above recitals are accurate and also constitute findings of the Commission.
2. Findings pursuant to Article 10:

The Historical Preservation Commission has determined that the proposed work is compatible with the character of the landmark district as described in the designation report for the following reasons:

- That the proposed new housing, retail, assembly, and public service uses for the buildings may be achieved without causing significant changes to their distinctive materials, features, spaces, and spatial relationships;
- That the proposed work will not cause the removal, alteration, or obstruction of any character-defining features of the site. The portions of wall proposed to be removed for the creation of window openings or at the low wall located at the Buchanan/Haight Street entry

Standard 4.

Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.

Standard 5.

Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a property shall be preserved.

Standard 6.

Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.

Standard 7.

Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.

Standard 8.

Significant archeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.

Standard 9.

New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

Standard 10.

New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

3. **General Plan Compliance.** The proposed Certificate of Appropriateness is, on balance, consistent with the following Objectives and Policies of the General Plan:

I. URBAN DESIGN ELEMENT

THE URBAN DESIGN ELEMENT CONCERNS THE PHYSICAL CHARACTER AND ORDER OF THE CITY, AND THE RELATIONSHIP BETWEEN PEOPLE AND THEIR ENVIRONMENT.

GOALS

The Urban Design Element is concerned both with development and with preservation. It is a concerted effort to recognize the positive attributes of the city, to enhance and conserve those attributes, and to

- B) The existing housing and neighborhood character will be conserved and protected in order to preserve the cultural and economic diversity of our neighborhoods:

The proposed project will strengthen neighborhood character by respecting the character-defining features of the building in conformance with the Secretary of the Interior's Standards.

- C) The City's supply of affordable housing will be preserved and enhanced:

The project will increase the affordable housing supply with the addition of affordable units at Richardson Hall.

- D) The commuter traffic will not impede MUNI transit service or overburden our streets or neighborhood parking:

The proposed project will not result in commuter traffic impeding MUNI transit service or overburdening the streets or neighborhood parking.

- E) A diverse economic base will be maintained by protecting our industrial and service sectors from displacement due to commercial office development. And future opportunities for resident employment and ownership in these sectors will be enhanced:

The proposed will not have any impact on industrial and service sector jobs.

- F) The City will achieve the greatest possible preparedness to protect against injury and loss of life in an earthquake.

Preparedness against injury and loss of life in an earthquake is improved by the proposed work. The work will be executed in compliance with all applicable construction and safety measures.

- G) That landmark and historic buildings will be preserved:

The proposed project is in conformance with Article 10 of the Planning Code and the Secretary of the Interior's Standards.

- H) Parks and open space and their access to sunlight and vistas will be protected from development:

The proposed project will not impact the access to sunlight or vistas for the parks and open space.

5. For these reasons, the proposal overall, is appropriate for and consistent with the purposes of Article 10, meets the standards of Article 10, and the Secretary of Interior's Standards for Rehabilitation, General Plan and Prop M findings of the Planning Code.

6. California Environmental Quality Act Findings. This Commission hereby incorporates by reference as though fully set forth and adopts the CEQA approval findings made by both the

Motion No. 0157
Hearing Date: May 16, 2012

CASE NO 2012.0033A
55 Laguna Street

AYES: Chase, Damkroger, Hasz, Johns, Martinez, and Matsuda

NAYS: None

ABSENT: Wolfram

ADOPTED: May 16, 2012



Fw: Rescheduling Appeal of the Historic Preservation Commission's Decision on a Certificate of Appropriateness for City Landmarks Nos. 257 (Richardson Hall), 258 (Woods Hall), and 259 (Woods Hall Annex) Located at 55 Laguna Street

Rick Caldeira to: BOS Legislation

07/05/2012 11:29 AM

For file

— Forwarded by Rick Caldeira/BOS/SFGOV on 07/05/2012 11:33 AM —

From: AnMarie Rodgers/CTYPLN/SFGOV
 To: Rick Caldeira/BOS/SFGOV@SFGOV,
 Cc: Angela Calvillo/BOS/SFGOV@SFGOV, Chelsea Fordham/CTYPLN/SFGOV@SFGOV, Cheryl Adams/CTYATT@CTYATT, "Cynthia Servetnick" <cynthia.servetnick@gmail.com>, Eugene Flannery/OCDHH/MAYOR/SFGOV@SFGOV, Joy Lamug/BOS/SFGOV@SFGOV, Judson True/BOS/SFGOV@SFGOV, Kate Stacy/CTYATT@CTYATT, Linda Avery/CTYPLN/SFGOV@SFGOV, Marlena Byrne/CTYATT@CTYATT, Sara Vellve/CTYPLN/SFGOV@SFGOV, Scott Sanchez/CTYPLN/SFGOV@SFGOV, Shelley P Caltagirone/CTYPLN/SFGOV@SFGOV, "skaggs@page-turnbull.com" <skaggs@page-turnbull.com>, Tim Frye/CTYPLN/SFGOV@SFGOV, Tina Tam/CTYPLN/SFGOV@SFGOV, Victor Young/BOS/SFGOV@SFGOV
 Date: 06/29/2012 03:37 PM
 Subject: Re: Rescheduling Appeal of the Historic Preservation Commission's Decision on a Certificate of Appropriateness for City Landmarks Nos. 257 (Richardson Hall), 258 (Woods Hall), and 259 (Woods Hall Annex) Located at 55 Laguna Street

Dear Mr. Caldeira,

I regret to inform you that due to the short notice for this hearing date, the Planning Department will not be able to make the deadline for submitting materials for the July 10th hearing. If the 10th hearing is continued to 7/31, we could have materials prepared in time for the Clerk to distribute for the 7/31 hearing. Further, we understand that if we don't submit materials in time for the Clerk to distribute, our Department is responsible for distributing materials to all parties of the appeal, the Clerk, the Board of Supervisors and the City Attorney.

AnMarie Rodgers
 Manager of Legislative Affairs

SF Planning Department
 1650 Mission Street, #400
 San Francisco CA, 94103
 anmarie@sfgov.org
 415.558.6395

Have a question about a proposed development? See our new SF Property Info Map!
<http://propertymap.sfplanning.org>
 Rick Caldeira/BOS/SFGOV

Rick Caldeira/BOS/SFGOV

06/29/2012 11:54 AM



To Judson True/BOS/SFGOV@SFGOV, "Cynthia Servetnick" <cynthia.servetnick@gmail.com>
 cc Angela Calvillo/BOS/SFGOV@SFGOV, AnMarie Rodgers/CTYPLN/SFGOV@SFGOV, Chelsea Fordham/CTYPLN/SFGOV@SFGOV, Cheryl Adams/CTYATT@CTYATT, Eugene Flannery/OCDHH/MAYOR/SFGOV@SFGOV, Joy



Lamug/BOS/SFGOV@SFGOV, Kate
 Stacy/CTYATT@CTYATT, Linda
 Avery/CTYPLN/SFGOV@SFGOV, Marlana
 Byrne/CTYATT@CTYATT, Sara
 Vellve/CTYPLN/SFGOV@SFGOV, Scott
 Sanchez/CTYPLN/SFGOV@SFGOV, Shelley P
 Caltagirone/CTYPLN/SFGOV@SFGOV,
 "skaggs@page-turnbull.com" <skaggs@page-turnbull.com>,
 Tim Frye/CTYPLN/SFGOV@SFGOV, Tina
 Tam/CTYPLN/SFGOV@SFGOV, Victor
 Young/BOS/SFGOV@SFGOV

Subject Re: Rescheduling Appeal of the Historic Preservation
 Commission's Decision on a Certificate of Appropriateness
 for City Landmarks Nos. 257 (Richardson Hall), 258 (Woods
 Hall), and 259 (Woods Hall Annex) Located at 55 Laguna
 Street

Just to clarify, in accordance with Planning Code Section 1006.7(c), this hearing is set for July 10, 2012, which is no more than 30 days from the filing. Therefore, this appeal will be scheduled for July 10, 2012, at 4:00 p.m. pending Board action to continue. We do not anticipate Board action and I would encourage all parties to provide information to be included as part of the official file in accordance with the below referenced e-mail relating to materials as provided by Legislation Clerk, Joy Lamug.

Regards,

Rick Caldeira, MMC
Legislative Deputy Director
 Board of Supervisors
 1 Dr. Carlton B. Goodlett Place, City Hall, Room 244
 San Francisco, CA 94102
 Phone: (415) 554-7711 | Fax: (415) 554-5163
 rick.caldeira@sfgov.org | www.sfbos.org

Complete a Board of Supervisors Customer Satisfaction form by clicking the link below.

<http://www.sfbos.org/index.aspx?page=104>

--- Forwarded by Rick Caldeira/BOS/SFGOV on 06/29/2012 11:43 AM ---

From: Joy Lamug/BOS/SFGOV
 To: CServetnick@sfgov.org, Cheryl Adams/CTYATT@CTYATT, Kate Stacy/CTYATT@CTYATT, Marlana Byrne/CTYATT@CTYATT, Scott Sanchez/CTYPLN/SFGOV@SFGOV, AnMarie Rodgers/CTYPLN/SFGOV@SFGOV, Tina Tam/CTYPLN/SFGOV@SFGOV, Shelley P Caltagirone/CTYPLN/SFGOV@SFGOV, Chelsea Fordham/CTYPLN/SFGOV@SFGOV, Sara Vellve/CTYPLN/SFGOV@SFGOV, Linda Avery/CTYPLN/SFGOV@SFGOV, Tim Frye/CTYPLN/SFGOV@SFGOV, BOS-Supervisors@sfgov.org, bos-legislative.aides@sfgov.org <bos-legislative.aides@sfgov.org>, skaggs@page-turnbull.com,
 Cc: Angela Calvillo/BOS/SFGOV@SFGOV, Rick Caldeira/BOS/SFGOV@SFGOV, Victor Young/BOS/SFGOV@SFGOV
 Date: 06/28/2012 04:40 PM
 Subject: Appeal of the Historic Preservation Commission's Decision on a Certificate of Appropriateness for City Landmarks Nos. 257 (Richardson Hall), 258 (Woods Hall), and 259 (Woods Hall Annex) Located at 55 Laguna Street

Dear Ms. Servetnick:

The Office of the Clerk of the Board is in receipt of a memorandum dated June 27,

2012, (copy attached), from the City Attorney's office regarding the timely filing of an appeal of the Historic Preservation Commission's decision on a Certificate of Appropriateness for City Landmarks Nos. 257 (Richardson Hall), 258 (Woods Hall), and 259 (Woods Hall Annex) located at 55 Laguna Street.

The City Attorney has determined that the appeal was filed in a timely manner.

A hearing date has been scheduled on **Tuesday, July 10, 2012, at 4:00 p.m.**, at the Board of Supervisors meeting to be held in City Hall, Legislative Chamber, Room 250, 1 Dr. Carlton B. Goodlett Place, San Francisco, CA 94102.

Provide to the Clerk's Office **by:**

8 days prior to the hearing: any documentation which you may want available to the Board members prior to the hearing;

11 days prior to the hearing: names of interested parties to be notified of the hearing.

Please provide 18 copies of the documentation for distribution, and, if possible, names of interested parties to be notified in label format.

If you have any questions, please feel free to contact Rick Caldeira at (415) 554-7711 or Joy Lamug at (415) 554-7712.



55 laguna Street Timely Filed.pdf

Joy Lamug
Board of Supervisors
Legislative Division
City Hall, Room 244
1 Dr. Carlton B. Goodlett Place
San Francisco, CA 94102
Tel: 415.554.7712
Fax: 415.554.7714
Email: joy.lamug@sfgov.org

MONDAY DEADLINE: Departments must submit electronic version of legislation by 9:00 am with original and 4 copies to be submitted by 12:00 noon.

Complete a Board of Supervisors Customer Satisfaction form by clicking the link below.
http://www.sfgov.org/site/bdsupvrs_form.asp?id=18548

Judson True

Hello Cynthia and all. July 31 works best. Let's...

06/29/2012 11:31:07 AM

From: Judson True/BOS/SFGOV
To: "Cynthia Servetnick" <cynthia.servetnick@gmail.com>,
Cc: Board of Supervisors/BOS/SFGOV, "arthur.kho@sfgov.org" <arthur.kho@sfgov.org>, Rick Caldeira/BOS/SFGOV, Cheryl Adams/CTYATT, Kate Stacy/CTYATT, Marlina Byrne/CTYATT, Scott Sanchez/CTYPLN/SFGOV, AnMarie Rodgers/CTYPLN/SFGOV, Tina Tam/CTYPLN/SFGOV, Shelley P Caltagirone/CTYPLN/SFGOV, Chelsea Fordham/CTYPLN/SFGOV, Sara Vellve/CTYPLN/SFGOV, Linda Avery/CTYPLN/SFGOV, Tim Frye/CTYPLN/SFGOV, "BOS-Supervisors@sfgov.org" <BOS-Supervisors@sfgov.org>, "bos-legislative.aides@sfgov.org" <bos-legislative.aides@sfgov.org>, "skaggs@page-turnbull.com" <skaggs@page-turnbull.com>, Angela Calvillo/BOS/SFGOV, Victor Young/BOS/SFGOV, Eugene Flannery/OCDHH/MAYOR/SFGOV, Joy Lamug/BOS/SFGOV
Date: 06/29/2012 11:31 AM
Subject: Re: Rescheduling Appeal of the Historic Preservation Commission's Decision on a Certificate of Appropriateness for City Landmarks Nos. 257 (Richardson Hall), 258 (Woods Hall), and 259 (Woods Hall Annex) Located at 55 Laguna Street

Hello Cynthia and all.

July 31 works best. Let's confirm that date and the Clerk's office can adjust the materials deadlines accordingly.

Thank you.

Judson

On Jun 29, 2012, at 11:27 AM, "Cynthia Servetnick" <cynthia.servetnick@gmail.com> wrote:

> Arthur:
>
> Per our phone conversation this morning, I will be in New Hampshire
> through July 5th and cannot provide additional documentation in
> support of our appeal until July 9th. You indicated the Board will
> accept said documentation up to the date of the hearing. Further, you
> indicated the hearing will likely be rescheduled to a later date per
> Judson True's request. I would appreciate knowing the date it will be
> rescheduled to as soon as possible. As it will be difficult for me to
> attend the hearing on the 10th, I would prefer not to attend if
> rescheduling is certain. Please advise.
>
> For your reference, I have copied Judson True and Joy Lamug's emails
> below and attached the relevant documents. Thank you in advance for
> your assistance.
>
> Sincerely,
>
> Cynthia Servetnick, Director
> Save the Laguna Street Campus
> (415) 794-0566
> cynthia.servetnick@gmail.com
>
> ----- Forwarded message -----
> From: <Judson.True@sfgov.org>
> Date: Thu, Jun 28, 2012 at 3:20 PM
> Subject: Historic Preservation Appeal timing
> To: Cynthia Servetnick <cynthia.servetnick@gmail.com>
>
> Hello Cynthia -
>

> I hope this email finds you well.
>
> I'm writing about the appeal of the 55 Laguna CofA that you filed on
> July 15 on behalf of Save the Laguna Street Campus.
>
> As you should know by now, the Clerk of the Board has scheduled the
> appeal for Tuesday, June 10. Unfortunately, yours is the 4th appeal to
> be scheduled (per the legal requirement) for that day, but I would
> like to discuss with you the possibility of continuing the appeal to
> July 24 or July 31 instead.
>
> I did try to reach you at 563.7336 but I was unable to leave a message.
>
> Can you please call me at the number below or email me back as soon as
> possible? I appreciate your consideration.
>
> Best,
>
> Judson
>
> _____
> Judson True
> Office of Supervisor David Chiu
> City Hall, Room 264
> San Francisco, CA 94102
> 415.554.7451 desk
> 415.554.7454 fax
>
> ----- Forwarded message -----
> From: Cynthia Servetnick <cynthia.servetnick@gmail.com>
> Date: Thu, Jun 28, 2012 at 5:20 PM
> Subject: Re: Appeal of the Historic Preservation Commission's Decision
> on a Certificate of Appropriateness for City Landmarks Nos. 257
> (Richardson Hall), 258 (Woods Hall), and 259 (Woods Hall Annex)
> Located at 55 Laguna Street
> To: Joy.Lamug@sfgov.org
> Cc: Cheryl.Adams@sfgov.org, Kate.Stacy@sfgov.org,
> Marlena.Byrne@sfgov.org, Scott.Sanchez@sfgov.org,
> AnMarie.Rodgers@sfgov.org, Tina.Tam@sfgov.org,
> Shelley.Caltagirone@sfgov.org, Chelsea.Fordham@sfgov.org,
> Sara.Vellve@sfgov.org, Linda.Avery@sfgov.org, Tim.Frye@sfgov.org,
> BOS-Supervisors@sfgov.sfgov.org, bos-legislative.aides@sfgov.org,
> skaggs@page-turnbull.com, Angela.Calvillo@sfgov.org,
> Rick.Caldeira@sfgov.org, Victor.Young@sfgov.org,
> Eugene.Flannery@sfgov.org, judson.true@sfgov.org
>
>
> Ms. Lamug:
>
> Thank you for this information. I just spoke with Judson True who
> said the Board would like to reschedule the appeal from Tuesday, July
> 10 to July 24 or July 31 which is fine. I will follow up with
> additional information and our fee waiver request. Kindly reply to my
> personal email as necessary. Thank you.
>
> Sincerely,
>

> Cynthia Servetnick, Director
> Save the Laguna Street Campus
> Cynthia.Servetnick@gmail.com
> (415) 794-0566
>
> ----- Forwarded message -----
> From: "Servetnick, Cynthia" <CServetnick@sflower.org>
> Date: Thu, 28 Jun 2012 16:48:44 -0700
> Subject: FW: Appeal of the Historic Preservation Commission's Decision
> on a Certificate of Appropriateness for City Landmarks Nos. 257
> (Richardson Hall), 258 (Woods Hall), and 259 (Woods Hall Annex)
> Located at 55 Laguna Street
> To: cynthia.servetnick@gmail.com
>
> -----Original Message-----
> From: Joy Lamug [mailto:Joy.Lamug@sfgov.org]
> Sent: Thursday, June 28, 2012 4:40 PM
> To: Servetnick, Cynthia; Adams, Cheryl; Stacy, Kate; Byrne, Marlana;
> Sanchez, Scott; Rodgers, AnMarie; Tam, Tina; Caltagirone, Shelley P;
> Fordham, Chelsea Edel; Vellve, Sara; Avery, Linda; Frye, Tim;
> BOS-Supervisors@SFGOV.sfgov.org; bos-legislative.aides@sfgov.org;
> skaggs@page-turnbull.com
> Cc: Calvillo, Angela; Caldeira, Rick; Young, Victor
> Subject: Appeal of the Historic Preservation Commission's Decision on
> a Certificate of Appropriateness for City Landmarks Nos. 257
> (Richardson Hall), 258 (Woods Hall), and 259 (Woods Hall Annex)
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> Commission's decision on a Certificate of Appropriateness for City
> Landmarks Nos. 257 (Richardson Hall), 258 (Woods Hall), and 259 (Woods
> Hall Annex) located at 55 Laguna Street.
>
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>
> A hearing date has been scheduled on Tuesday, July 10, 2012, at 4:00
> p.m., at the Board of Supervisors meeting to be held in City Hall,
> Legislative Chamber, Room 250, 1 Dr. Carlton B. Goodlett Place, San
> Francisco, CA 94102.
>
> Provide to the Clerk's Office by:
>
> 8 days prior to the hearing: any documentation which
> you may want available to the Board members prior to the hearing;
> 11 days prior to the hearing: names of interested parties to be
> notified of the hearing.
>
> Please provide 18 copies of the documentation for distribution, and,
> if possible, names of interested parties to be notified in label
> format.
>
>
>

> If you have any questions, please feel free to contact Rick Caldeira
> at (415) 554-7711 or Joy Lamug at (415) 554-7712.

>

>

>

>

>

> Joy Lamug
> Board of Supervisors
> Legislative Division
> City Hall, Room 244
> 1 Dr. Carlton B. Goodlett Place
> San Francisco, CA 94102
> Tel: 415.554.7712
> Fax: 415.554.7714
> Email: joy.lamug@sfgov.org

>

>

> MONDAY DEADLINE: Departments must submit electronic version of
> legislation by 9:00 am with original and 4 copies to be submitted by
> 12:00 noon.

>

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> http://www.sfgov.org/site/bdsupvrs_form.asp?id=18548

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> - 55 laguna Street Timely Filed.pdf - StLSC Appeal of CofA 06-15-12.pdf - 55 Laguna Hearing Notice
6-28-12.pdf

> <55 laguna Street Timely Filed.pdf>

> <StLSC Appeal of CofA 06-15-12.pdf>

> <55.Laguna Hearing Notice 6-28-12.pdf>



Rescheduling Appeal of the Historic Preservation Commission's Decision on a Certificate of Appropriateness for City Landmarks Nos. 257 (Richardson Hall), 258 (Woods Hall), and 259 (Woods Hall Annex) Located at 55 Laguna Street
 Board of Supervisors to: Joy Lamug 07/02/2012 12:00 PM

From: Judson True/BOS/SFGOV
 To: "Cynthia Servetnick" <cynthia.servetnick@gmail.com>,
 Cc: Board of Supervisors/BOS/SFGOV, "arthur.kho@sfgov.org" <arthur.kho@sfgov.org>, Rick Caldeira/BOS/SFGOV, Cheryl Adams/CTYATT, Kate Stacy/CTYATT, Marlena Byrne/CTYATT, Scott Sanchez/CTYPLN/SFGOV, AnMarie Rodgers/CTYPLN/SFGOV, Tina Tam/CTYPLN/SFGOV, Shelley P Caltagirone/CTYPLN/SFGOV, Chelsea Fordham/CTYPLN/SFGOV, Sara Vellve/CTYPLN/SFGOV, Linda Avery/CTYPLN/SFGOV, Tim Frye/CTYPLN/SFGOV, "BOS-Supervisors@sfgov.org" <BOS-Supervisors@sfgov.org>, "bos-legislative.aides@sfgov.org" <bos-legislative.aides@sfgov.org>, "skaggs@page-turnbull.com" <skaggs@page-turnbull.com>, Angela Calvillo/BOS/SFGOV, Victor Young/BOS/SFGOV, Eugene Flannery/OCDHH/MAYOR/SFGOV, Joy Lamug/BOS/SFGOV
 Date: 06/29/2012 11:31 AM
 Subject: Re: Rescheduling Appeal of the Historic Preservation Commission's Decision on a Certificate of Appropriateness for City Landmarks Nos. 257 (Richardson Hall), 258 (Woods Hall), and 259 (Woods Hall Annex) Located at 55 Laguna Street

Hello Cynthia and all.

July 31 works best. Let's confirm that date and the Clerk's office can adjust the materials deadlines accordingly.

Thank you.

Judson

On Jun 29, 2012, at 11:27 AM, "Cynthia Servetnick" <cynthia.servetnick@gmail.com> wrote:

- > Arthur:
- >
- > Per our phone conversation this morning, I will be in New Hampshire
- > through July 5th and cannot provide additional documentation in
- > support of our appeal until July 9th. You indicated the Board will
- > accept said documentation up to the date of the hearing. Further, you
- > indicated the hearing will likely be rescheduled to a later date per
- > Judson True's request. I would appreciate knowing the date it will be
- > rescheduled to as soon as possible. As it will be difficult for me to
- > attend the hearing on the 10th, I would prefer not to attend if
- > rescheduling is certain. Please advise.
- >
- > For your reference, I have copied Judson True and Joy Lamug's emails
- > below and attached the relevant documents. Thank you in advance for
- > your assistance.
- >
- > Sincerely,
- >
- > Cynthia Servetnick, Director
- > Save the Laguna Street Campus
- > (415) 794-0566
- > cynthia.servetnick@gmail.com
- >
- > ----- Forwarded message -----

> From: <Judson.True@sfgov.org>
> Date: Thu, Jun 28, 2012 at 3:20 PM
> Subject: Historic Preservation Appeal timing
> To: Cynthia Servetnick <cynthia.servetnick@gmail.com>
>
> Hello Cynthia -
>
> I hope this email finds you well.
>
> I'm writing about the appeal of the 55 Laguna CofA that you filed on
> July 15 on behalf of Save the Laguna Street Campus.
>
> As you should know by now, the Clerk of the Board has scheduled the
> appeal for Tuesday, June 10. Unfortunately, yours is the 4th appeal to
> be scheduled (per the legal requirement) for that day, but I would
> like to discuss with you the possibility of continuing the appeal to
> July 24 or July 31 instead.
>
> I did try to reach you at 563.7336 but I was unable to leave a message.
>
> Can you please call me at the number below or email me back as soon as
> possible? I appreciate your consideration.
>
> Best,
>
> Judson
>
> _____
> Judson True
> Office of Supervisor David Chiu
> City Hall, Room 264
> San Francisco, CA 94102
> 415.554.7451 desk
> 415.554.7454 fax
>
> ----- Forwarded message -----
> From: Cynthia Servetnick <cynthia.servetnick@gmail.com>
> Date: Thu, Jun 28, 2012 at 5:20 PM
> Subject: Re: Appeal of the Historic Preservation Commission's Decision
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> Cynthia.Servetnick@gmail.com
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> From: Joy Lamug [mailto:Joy.Lamug@sfgov.org]
> Sent: Thursday, June 28, 2012 4:40 PM
> To: Servetnick, Cynthia; Adams, Cheryl; Stacy, Kate; Byrne, Marlina;
> Sanchez, Scott; Rodgers, AnMarie; Tam, Tina; Caltagirone, Shelley P;
> Fordham, Chelsea Edel; Vellve, Sara; Avery, Linda; Frye, Tim;
> BOS-Supervisors@SFGOV.sfgov.org; bos-legislative.aides@sfgov.org;
> skaggs@page-turnbull.com
> Cc: Calvillo, Angela; Caldeira, Rick; Young, Victor
> Subject: Appeal of the Historic Preservation Commission's Decision on
> a Certificate of Appropriateness for City Landmarks Nos. 257
> (Richardson Hall), 258 (Woods Hall), and 259 (Woods Hall Annex)
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> If you have any questions, please feel free to contact Rick Caldeira
> at (415) 554-7711 or Joy Lamug at (415) 554-7712.

>

>

>

>

>

> Joy Lamug

> Board of Supervisors

> Legislative Division

> City Hall, Room 244

> 1 Dr. Carlton B. Goodlett Place

> San Francisco, CA 94102

> Tel: 415.554.7712

> Fax: 415.554.7714

> Email: joy.lamug@sfgov.org

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Fw: Rescheduling Appeal of the Historic Preservation Commission's Decision on a Certificate of Appropriateness for City Landmarks Nos. 257 (Richardson Hall), 258 (Woods Hall), and 259 (Woods Hall Annex) Located at 55 Laguna Street

Board of Supervisors to: Joy Lamug

07/02/2012 11:23 AM

Board of Supervisors
1 Dr. Carlton B. Goodlett Place, Room 244
San Francisco, CA 94102
(415) 554-5184
(415) 554-5163 fax
Board.of.Supervisors@sfgov.org

Complete a Board of Supervisors Customer Service Satisfaction form by clicking
<http://www.sfbos.org/index.aspx?page=104>

---- Forwarded by Board of Supervisors/BOS/SFGOV on 07/02/2012 11:23 AM ----

From: Cynthia Servetnick <cynthia.servetnick@gmail.com>
To: Board.of.Supervisors@sfgov.org, arthur.kho@sfgov.org,
Cc: Rick.Caldeira@sfgov.org, Cheryl.Adams@sfgov.org, Kate.Stacy@sfgov.org,
Marlena.Byrne@sfgov.org, Scott.Sanchez@sfgov.org, AnMarie.Rodgers@sfgov.org,
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Angela.Calvillo@sfgov.org, Victor.Young@sfgov.org, Eugene.Flannery@sfgov.org,
judson.true@sfgov.org, Joy.Lamug@sfgov.org
Date: 06/29/2012 11:27 AM
Subject: Rescheduling Appeal of the Historic Preservation Commission's Decision on a Certificate of Appropriateness for City Landmarks Nos. 257 (Richardson Hall), 258 (Woods Hall), and 259 (Woods Hall Annex) Located at 55 Laguna Street

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Sincerely,

Cynthia Servetnick, Director
Save the Laguna Street Campus
(415) 794-0566

cynthia.servetnick@gmail.com

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From: <Judson.True@sfgov.org>
Date: Thu, Jun 28, 2012 at 3:20 PM
Subject: Historic Preservation Appeal timing
To: Cynthia Servetnick <cynthia.servetnick@gmail.com>

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Best,

Judson

Judson True
Office of Supervisor David Chiu
City Hall, Room 264
San Francisco, CA 94102
415.554.7451 desk
415.554.7454 fax

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Subject: FW: Appeal of the Historic Preservation Commission's Decision on a Certificate of Appropriateness for City Landmarks Nos. 257 (Richardson Hall), 258 (Woods Hall), and 259 (Woods Hall Annex) Located at 55 Laguna Street
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-----Original Message-----
From: Joy Lamug [mailto:Joy.Lamug@sfgov.org]
Sent: Thursday, June 28, 2012 4:40 PM
To: Servetnick, Cynthia; Adams, Cheryl; Stacy, Kate; Byrne, Marlena; Sanchez, Scott; Rodgers, AnMarie; Tam, Tina; Caltagirone, Shelley P; Fordham, Chelsea Edel; Vellve, Sara; Avery, Linda; Frye, Tim; BOS-Supervisors@SFGOV.sfgov.org; bos-legislative.aides@sfgov.org; skaggs@page-turnbull.com
Cc: Calvillo, Angela; Caldeira, Rick; Young, Victor
Subject: Appeal of the Historic Preservation Commission's Decision on a Certificate of Appropriateness for City Landmarks Nos. 257 (Richardson Hall), 258 (Woods Hall), and 259 (Woods Hall Annex) Located at 55 Laguna Street

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8 days prior to the hearing: any documentation which you may want available to the Board members prior to the hearing;
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If you have any questions, please feel free to contact Rick Caldeira at (415) 554-7711 or Joy Lamug at (415) 554-7712.

Joy Lamug
Board of Supervisors
Legislative Division
City Hall, Room 244
1 Dr. Carlton B. Goodlett Place
San Francisco, CA 94102
Tel: 415.554.7712
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55 laguna Street Timely Filed.pdf StLSC Appeal of CofA 06-15-12.pdf 55 Laguna Hearing Notice 6-28-12.pdf

Re: Rescheduling Appeal of the Historic Preservation Commission's Decision on a Certificate of Appropriateness for City Landmarks Nos. 257 (Richardson Hall), 258 (Woods Hall), and 259 (Woods Hall Annex) Located at 55 Laguna Street

AnMarie Rodgers to: Rick Caldeira

06/29/2012 03:37 PM

Angela Calvillo, Chelsea Fordham, Cheryl Adams, "Cynthia Servetnick", Eugene Flannery, Joy Lamug, Judson True, Kate Stacy, Linda Avery, Marlana Byrne, Sara Vellve, Scott Sanchez, Shelley P Caltagirone, "skaggs@page-turnbull.com",

History: This message has been forwarded.

Dear Mr. Caldeira,

I regret to inform you that due to the short notice for this hearing date, the Planning Department will not be able to make the deadline for submitting materials for the July 10th hearing. If the 10th hearing is continued to 7/31, we could have materials prepared in time for the Clerk to distribute for the 7/31 hearing. Further, we understand that if we don't submit materials in time for the Clerk to distribute, our Department is responsible for distributing materials to all parties of the appeal, the Clerk, the Board of Supervisors and the City Attorney.

AnMarie Rodgers
Manager of Legislative Affairs

SF Planning Department
1650 Mission Street, #400
San Francisco CA, 94103
anmarie@sfgov.org
415.558.6395

Have a question about a proposed development? See our new SF Property Info Map!
<http://propertymap.sfplanning.org>
Rick Caldeira/BOS/SFGOV



Rick Caldeira/BOS/SFGOV
06/29/2012 11:54 AM

To Judson True/BOS/SFGOV@SFGOV, "Cynthia Servetnick" <cynthia.servetnick@gmail.com>
cc Angela Calvillo/BOS/SFGOV@SFGOV, AnMarie Rodgers/CTYPLN/SFGOV@SFGOV, Chelsea Fordham/CTYPLN/SFGOV@SFGOV, Cheryl Adams/CTYATT@CTYATT, Eugene Flannery/OCDHH/MAYOR/SFGOV@SFGOV, Joy Lamug/BOS/SFGOV@SFGOV, Kate Stacy/CTYATT@CTYATT, Linda Avery/CTYPLN/SFGOV@SFGOV, Marlana Byrne/CTYATT@CTYATT, Sara Vellve/CTYPLN/SFGOV@SFGOV, Scott Sanchez/CTYPLN/SFGOV@SFGOV, Shelley P Caltagirone/CTYPLN/SFGOV@SFGOV, "skaggs@page-turnbull.com" <skaggs@page-turnbull.com>, Tim Frye/CTYPLN/SFGOV@SFGOV, Tina Tam/CTYPLN/SFGOV@SFGOV, Victor Young/BOS/SFGOV@SFGOV

Subject Re: Rescheduling Appeal of the Historic Preservation Commission's Decision on a Certificate of Appropriateness for City Landmarks Nos. 257 (Richardson Hall), 258 (Woods Hall), and 259 (Woods Hall Annex) Located at 55 Laguna Street

Just to clarify, in accordance with Planning Code Section 1006.7(c), this hearing is set for July 10, 2012, which is no more than 30 days from the filing. Therefore, this appeal will be scheduled for July 10, 2012, at 4:00 p.m. pending Board action to continue. We do not anticipate Board action and I would encourage all parties to provide information to be included as part of the official file in accordance with the below referenced e-mail relating to materials as provided by Legislation Clerk, Joy Lamug.

Regards,

Rick Caldeira, MMC
Legislative Deputy Director
Board of Supervisors
1 Dr. Carlton B. Goodlett Place, City Hall, Room 244
San Francisco, CA 94102
Phone: (415) 554-7711 | Fax: (415) 554-5163
rick.caldeira@sfgov.org | www.sfbos.org

Complete a Board of Supervisors Customer Satisfaction form by clicking the link below.

<http://www.sfbos.org/index.aspx?page=104>

— Forwarded by Rick Caldeira/BOS/SFGOV on 06/29/2012 11:43 AM —

From: Joy Lamug/BOS/SFGOV
To: CServetnick@sfgov.org, Cheryl Adams/CTYATT@CTYATT, Kate Stacy/CTYATT@CTYATT, Marlina Byrne/CTYATT@CTYATT, Scott Sanchez/CTYPLN/SFGOV@SFGOV, AnMarie Rodgers/CTYPLN/SFGOV@SFGOV, Tina Tam/CTYPLN/SFGOV@SFGOV, Shelley P Caltagirone/CTYPLN/SFGOV@SFGOV, Chelsea Fordham/CTYPLN/SFGOV@SFGOV, Sara Vellve/CTYPLN/SFGOV@SFGOV, Linda Avery/CTYPLN/SFGOV@SFGOV, Tim Frye/CTYPLN/SFGOV@SFGOV, BOS-Supervisors@SFGOV.sfgov.org, bos-legislative.aides@sfgov.org <bos-legislative.aides@sfgov.org>, skaggs@page-turnbull.com,
Cc: Angela Calvillo/BOS/SFGOV@SFGOV, Rick Caldeira/BOS/SFGOV@SFGOV, Victor Young/BOS/SFGOV@SFGOV
Date: 06/28/2012 04:40 PM
Subject: Appeal of the Historic Preservation Commission's Decision on a Certificate of Appropriateness for City Landmarks Nos. 257 (Richardson Hall), 258 (Woods Hall), and 259 (Woods Hall Annex) Located at 55 Laguna Street

Dear Ms. Servetnick:

The Office of the Clerk of the Board is in receipt of a memorandum dated June 27, 2012, (copy attached), from the City Attorney's office regarding the timely filing of an appeal of the Historic Preservation Commission's decision on a Certificate of Appropriateness for City Landmarks Nos. 257 (Richardson Hall), 258 (Woods Hall), and 259 (Woods Hall Annex) located at 55 Laguna Street.

The City Attorney has determined that the appeal was filed in a timely manner.

A hearing date has been scheduled on **Tuesday, July 10, 2012, at 4:00 p.m.**, at the Board of Supervisors meeting to be held in City Hall, Legislative Chamber, Room 250, 1 Dr. Carlton B. Goodlett Place, San Francisco, CA 94102.

Provide to the Clerk's Office **by**:

8 days prior to the hearing: any documentation which you may want available to the Board members prior to the hearing;

11 days prior to the hearing: names of interested parties to be notified of the hearing.

Please provide 18 copies of the documentation for distribution, and, if possible, names of interested parties to be notified in label format.

If you have any questions, please feel free to contact Rick Caldeira at (415) 554-7711 or Joy Lamug at (415) 554-7712.



55 laguna Street Timely Filed.pdf

Joy Lamug
Board of Supervisors
Legislative Division
City Hall, Room 244
1 Dr. Carlton B. Goodlett Place
San Francisco, CA 94102
Tel: 415.554.7712
Fax: 415.554.7714
Email: joy.lamug@sfgov.org

MONDAY DEADLINE: Departments must submit electronic version of legislation by 9:00 am with original and 4 copies to be submitted by 12:00 noon.

Complete a Board of Supervisors Customer Satisfaction form by clicking the link below.
http://www.sfgov.org/site/bdsupvrs_form.asp?id=18548

Judson True	Hello Cynthia and all. July 31 works best. Let's...	06/29/2012 11:31:07 AM
-------------	---	------------------------

From: Judson True/BOS/SFGOV
To: "Cynthia Servetnick" <cynthia.servetnick@gmail.com>
Cc: Board of Supervisors/BOS/SFGOV, "arthur.kho@sfgov.org" <arthur.kho@sfgov.org>, Rick Caldeira/BOS/SFGOV, Cheryl Adams/CTYATT, Kate Stacy/CTYATT, Marlina Byrne/CTYATT, Scott Sanchez/CTYPLN/SFGOV, AnMarie Rodgers/CTYPLN/SFGOV, Tina Tam/CTYPLN/SFGOV, Shelley P Caltagirone/CTYPLN/SFGOV, Chelsea Fordham/CTYPLN/SFGOV, Sara Vellve/CTYPLN/SFGOV, Linda Avery/CTYPLN/SFGOV, Tim Frye/CTYPLN/SFGOV, "BOS-Supervisors@sfgov.org" <BOS-Supervisors@sfgov.org>, "bos-legislative.aides@sfgov.org" <bos-legislative.aides@sfgov.org>, "skaggs@page-turnbull.com" <skaggs@page-turnbull.com>, Angela Calvillo/BOS/SFGOV, Victor Young/BOS/SFGOV, Eugene Flannery/OCDHH/MAYOR/SFGOV, Joy Lamug/BOS/SFGOV
Date: 06/29/2012 11:31 AM
Subject: Re: Rescheduling Appeal of the Historic Preservation Commission's Decision on a Certificate of Appropriateness for City Landmarks Nos. 257 (Richardson Hall), 258 (Woods Hall), and 259 (Woods Hall Annex) Located at 55 Laguna Street

Hello Cynthia and all.

July 31 works best. Let's confirm that date and the Clerk's office can adjust the materials deadlines accordingly.

Thank you.

Judson

On Jun 29, 2012, at 11:27 AM, "Cynthia Servetnick" <cynthia.servetnick@gmail.com> wrote:

> Arthur:

>

> Per our phone conversation this morning, I will be in New Hampshire
> through July 5th and cannot provide additional documentation in
> support of our appeal until July 9th. You indicated the Board will
> accept said documentation up to the date of the hearing. Further, you
> indicated the hearing will likely be rescheduled to a later date per
> Judson True's request. I would appreciate knowing the date it will be
> rescheduled to as soon as possible. As it will be difficult for me to
> attend the hearing on the 10th, I would prefer not to attend if
> rescheduling is certain. Please advise.

>

> For your reference, I have copied Judson True and Joy Lamug's emails
> below and attached the relevant documents. Thank you in advance for
> your assistance.

>

> Sincerely,

>

> Cynthia Servetnick, Director
> Save the Laguna Street Campus
> (415) 794-0566
> cynthia.servetnick@gmail.com

>

> ----- Forwarded message -----

> From: <Judson.True@sfgov.org>
> Date: Thu, Jun 28, 2012 at 3:20 PM
> Subject: Historic Preservation Appeal timing
> To: Cynthia Servetnick <cynthia.servetnick@gmail.com>

>

> Hello Cynthia -

>

> I hope this email finds you well.

>

> I'm writing about the appeal of the 55 Laguna CofA that you filed on
> July 15 on behalf of Save the Laguna Street Campus.

>

> As you should know by now, the Clerk of the Board has scheduled the
> appeal for Tuesday, June 10. Unfortunately, yours is the 4th appeal to
> be scheduled (per the legal requirement) for that day, but I would
> like to discuss with you the possibility of continuing the appeal to
> July 24 or July 31 instead.

>

> I did try to reach you at 563.7336 but I was unable to leave a message.

>

> Can you please call me at the number below or email me back as soon as
> possible? I appreciate your consideration.

>
> Best,
>
> Judson
>
> _____
> Judson True
> Office of Supervisor David Chiu
> City Hall, Room 264
> San Francisco, CA 94102
> 415.554.7451 desk
> 415.554.7454 fax
>
> ----- Forwarded message -----
> From: Cynthia Servetnick <cynthia.servetnick@gmail.com>
> Date: Thu, Jun 28, 2012 at 5:20 PM
> Subject: Re: Appeal of the Historic Preservation Commission's Decision
> on a Certificate of Appropriateness for City Landmarks Nos. 257
> (Richardson Hall), 258 (Woods Hall), and 259 (Woods Hall Annex)
> Located at 55 Laguna Street
> To: Joy.Lamug@sfgov.org
> Cc: Cheryl.Adams@sfgov.org, Kate.Stacy@sfgov.org,
> Marlena.Byrne@sfgov.org, Scott.Sanchez@sfgov.org,
> AnMarie.Rodgers@sfgov.org, Tina.Tam@sfgov.org,
> Shelley.Caltagirone@sfgov.org, Chelsea.Fordham@sfgov.org,
> Sara.Vellve@sfgov.org, Linda.Avery@sfgov.org, Tim.Frye@sfgov.org,
> BOS-Supervisors@sfgov.sfgov.org, bos-legislative.aides@sfgov.org,
> skaggs@page-turnbull.com, Angela.Calvillo@sfgov.org,
> Rick.Caldeira@sfgov.org, Victor.Young@sfgov.org,
> Eugene.Flannery@sfgov.org, judson.true@sfgov.org
>
>
> Ms. Lamug:
>
> Thank you for this information. I just spoke with Judson True who
> said the Board would like to reschedule the appeal from Tuesday, July
> 10 to July 24 or July 31 which is fine. I will follow up with
> additional information and our fee waiver request. Kindly reply to my
> personal email as necessary. Thank you.
>
> Sincerely,
>
> Cynthia Servetnick, Director
> Save the Laguna Street Campus
> Cynthia.Servetnick@gmail.com
> (415) 794-0566
>
> ----- Forwarded message -----
> From: "Servetnick, Cynthia" <CServetnick@sfgwater.org>
> Date: Thu, 28 Jun 2012 16:48:44 -0700
> Subject: FW: Appeal of the Historic Preservation Commission's Decision
> on a Certificate of Appropriateness for City Landmarks Nos. 257
> (Richardson Hall), 258 (Woods Hall), and 259 (Woods Hall Annex)
> Located at 55 Laguna Street
> To: cynthia.servetnick@gmail.com
>
> -----Original Message-----

> From: Joy Lamug [mailto:Joy.Lamug@sfgov.org]
> Sent: Thursday, June 28, 2012 4:40 PM
> To: Servetnick, Cynthia; Adams, Cheryl; Stacy, Kate; Byrne, Marlana;
> Sanchez, Scott; Rodgers, AnMarie; Tam, Tina; Caltagirone, Shelley P;
> Fordham, Chelsea Edel; Vellve, Sara; Avery, Linda; Frye, Tim;
> BOS-Supervisors@SFGOV.sfgov.org; bos-legislative.aides@sfgov.org;
> skaggs@page-turnbull.com
> Cc: Calvillo, Angela; Caldeira, Rick; Young, Victor
> Subject: Appeal of the Historic Preservation Commission's Decision on
> a Certificate of Appropriateness for City Landmarks Nos. 257
> (Richardson Hall), 258 (Woods Hall), and 259 (Woods Hall Annex)
> Located at 55 Laguna Street
>
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> Commission's decision on a Certificate of Appropriateness for City
> Landmarks Nos. 257 (Richardson Hall), 258 (Woods Hall), and 259 (Woods
> Hall Annex) located at 55 Laguna Street.
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> The City Attorney has determined that the appeal was filed in a timely manner.
>
> A hearing date has been scheduled on Tuesday, July 10, 2012, at 4:00
> p.m., at the Board of Supervisors meeting to be held in City Hall,
> Legislative Chamber, Room 250, 1 Dr. Carlton B. Goodlett Place, San
> Francisco, CA 94102.
>
> Provide to the Clerk's Office by:
>
> 8 days prior to the hearing: any documentation which
> you may want available to the Board members prior to the hearing;
> 11 days prior to the hearing: names of interested parties to be
> notified of the hearing.
>
> Please provide 18 copies of the documentation for distribution, and,
> if possible, names of interested parties to be notified in label
> format.
>
>
> If you have any questions, please feel free to contact Rick Caldeira
> at (415) 554-7711 or Joy Lamug at (415) 554-7712.
>
>
>
>
>
> Joy Lamug
> Board of Supervisors
> Legislative Division
> City Hall, Room 244
> 1 Dr. Carlton B. Goodlett Place
> San Francisco, CA 94102
> Tel: 415.554.7712
> Fax: 415.554.7714

- > Email: joy.lamug@sfgov.org
- >
- >
- > MONDAY DEADLINE: Departments must submit electronic version of
- > legislation by 9:00 am with original and 4 copies to be submitted by
- > 12:00 noon.
- >
- > Complete a Board of Supervisors Customer Satisfaction form by clicking
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- > <http://www.sfgov.org/site/bdsupvrs_form.asp?id=18548>
- > - 55 laguna Street Timely Filed.pdf - StLSC Appeal of CofA 06-15-12.pdf - 55 Laguna Hearing Notice
- > 6-28-12.pdf
- > <55 laguna Street Timely Filed.pdf>
- > <StLSC Appeal of CofA 06-15-12.pdf>
- > <55 Laguna Hearing Notice 6-28-12.pdf>

RECEIVED
BOARD OF SUPERVISORS
SAN FRANCISCO

2012 JUN 15 AM 11:39

Save the Laguna Street Campus

Board of Directors

Warren Dewar
Attorney (Retired)

Vincent Marsh
Architectural Historian

Cynthia Servetnick, Director
Urban Planner

Lavon Taback
Writer, Community Organizer

Horus Tolson
Musician, Educator

Helene Whitson
*Archivist Emeritus
San Francisco State University*

Angela Calvillo, Clerk of the Board
1 Dr. Carlton B. Goodlett Place
City Hall, Room 244
San Francisco, Ca. 94102-4689

June 15, 2012

Subject: Appeal of the Historic Preservation Commission's May 16, 2012 Approval, and delegation to the Planning Department, of the Certificate of Appropriateness to rehabilitate Richardson Hall for use as senior services, senior housing, and retail and/or office space; to rehabilitate Woods Hall for use as housing; and, to rehabilitate Woods Hall Annex for use as a community center. San Francisco Landmark Nos. 257, 258, and 259 - Burke-Richardson Hall (a.k.a. Richardson Hall), Anderson-Woods Hall (a.k.a. Woods Hall), and Anderson-Woods Hall Annex (a.k.a. Woods Hall Annex) and San Francisco State Teacher's College National Register Historic District. Planning Department Case No. 2012.0033A

Save the Laguna Street Campus is dedicated to preserving the public use and historical resources of the San Francisco State Teacher's College National Register Historic District.

Dear Ms. Calvillo:

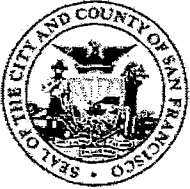
Save the Laguna Street Campus hereby appeals the above referenced Certificate of Appropriateness (CofA) as further described in the attached Historic Preservation Commission (HPC) Motion No. 0157 dated May 16, 2012 on the basis that the CofA was issued prematurely because: 1) the HPC did not take the 55 Laguna Mixed Use Project as a whole, or its adverse effects on the San Francisco State Teacher's College National Register Historic District, into account; and 2) did not incorporate the forthcoming findings and mitigation measures from the concurrent NEPA/Section 106 process. We will provide additional information prior to the appeal hearing and have enclosed the required \$510 fee.

Sincerely,



Cynthia Servetnick, Director
Save the Laguna Street Campus

www.savelaguna.org



SAN FRANCISCO PLANNING DEPARTMENT

Historic Preservation Commission Motion No. 0157 HEARING DATE: MAY 16, 2012

1650 Mission St.
Suite 400
San Francisco,
CA 94103-2479

Reception:
415.558.6378

Fax:
415.558.6409

Planning
Information:
415.558.6377

Filing Date: March 27, 2012
Case No.: 2012.0033A
Project Address: 55 Laguna Street
Historic Landmark: Nos. 257, 258, & 259: Richardson Hall, Woods Hall, & Woods Hall Annex
Zoning: RM-3 (Residential, Mixed, Medium Density) Zoning District/
 40-X Height and Bulk District;
 NC-3 (Moderate-Scale Neighborhood Commercial) Zoning District/
 85-X Height and Bulk District
Block/Lot: 0857/ 001 & 001a
 0870/ 001, 002, & 003
Applicant: Elisa Skaggs, Page & Turnbull, Inc.
 724 Pine Street
 San Francisco, CA 94108
Staff Contact: Shelley Caltagirone - (415) 558-6625
 shelly.caltagirone@sfgov.org
Reviewed By: Tim Frye - (415) 558-6325
 tim.frye@sfgov.org

ADOPTING FINDINGS, INCLUDING FINDINGS UNDER THE CALIFORNIA ENVIRONMENTAL QUALITY ACT, FOR A CERTIFICATE OF APPROPRIATENESS FOR PROPOSED WORK DETERMINED TO BE APPROPRIATE FOR AND CONSISTENT WITH THE PURPOSES OF ARTICLE 10, TO MEET THE STANDARDS OF ARTICLE 10 AND TO MEET THE SECRETARY OF INTERIOR'S STANDARDS FOR REHABILITATION, FOR THE PROPERTY LOCATED ON LOTS 001 AND 001A IN ASSESSOR'S BLOCK 0857 AND LOTS 001-003 IN ASSESSOR'S BLOCK 0870, WITHIN RM-3 (RESIDENTIAL, MIXED, MEDIUM DENSITY) AND NC-3 (MODERATE-SCALE NEIGHBORHOOD COMMERCIAL) ZONING DISTRICTS AND A 40-X AND 85-X HEIGHT AND BULK DISTRICTS.

PREAMBLE

WHEREAS, on March 27, 2012, Elisa Skaggs, Page & Turnbull, Inc., (Project Sponsor) filed an application with the San Francisco Planning Department (hereinafter "Department") for a Certificate of Appropriateness to rehabilitate Richardson Hall for use as senior services, senior housing, and retail and/or office space; to rehabilitate Woods Hall for use as housing; and, to rehabilitate Woods Hall Annex for use as a community center.

WHEREAS, the 55 Laguna Mixed Use Project Final Environment Impact Report (FEIR), Case No. 2004.0773E, was certified by the Planning Commission on January 17, 2008 and an addendum to the EIR incorporating the current project was published on May 8, 2012.

WHEREAS, on January 17, 2008, the Commission: adopted findings under the California Environmental Quality Act, Public Resources Code §§21000 *et seq.* (CEQA), the CEQA Guidelines, 14 Cal. Code. Regs. §§15000 *et seq.*, and Chapter 31 of the San Francisco Administrative Code, including a statement of overriding considerations; adopted a Mitigation Monitoring and Reporting Program (MMRP) for the proposed project by Motion No. 17533; recommended approval of a General Plan amendment and Planning Code and Zoning Map amendments to the Board of Supervisors. The Planning Commission also approved a Conditional Use Authorization for the proposed project.

WHEREAS, on April 15, 2008, the Board of Supervisors took action to approve the project, and in so doing adopted the Planning Commission's CEQA approval findings as its own, adopted the MMRP, and adopted additional findings under the California Environmental Quality Act, which can be found on file with the Clerk of the Board of Supervisors in Files Nos. 071001, 071002, and 080319.

WHEREAS, on May 16, 2012, the Commission conducted a duly noticed public hearing on the current project, Case No. 2012.0033A ("Project") for its appropriateness.

WHEREAS, in reviewing the Application, the Commission has had available for its review and consideration case reports, plans, and other materials pertaining to the Project contained in the Department's case files, including the FEIR and Addendum, has reviewed and heard testimony and received materials from interested parties during the public hearing on the Project.

MOVED, that the Commission hereby grants the Certificate of Appropriateness, in conformance with the architectural plans labeled Exhibit A on file in the docket for Case No. 2012.0033A and the listed conditions based on the following findings, and adopts the MMRP:

CONDITIONS

- That the design guidelines for historic buildings prepared by Page & Turnbull in accordance with Mitigation Measure HR-3 of the *Mitigation Monitoring and Reporting Program* for the 55 Laguna Mixed Use Project Environmental Impact Report will be complied with in all aspects of design refinement for the three landmark buildings.
- That the configuration, materials, and details of all new windows and doors will be finalized and approved by Department staff to ensure their compatibility with the historic character of the landmark buildings prior to the approval of the Architectural Addendum of the building permit;
- That the sign program will be finalized and approved by Department staff to ensure their compatibility with the historic character of the landmark buildings prior to the approval of the Architectural Addendum of the building permit;
- That all condition assessments regarding the murals, stucco cladding, and clay tile roofs will be submitted to the Department prior to the approval of the Architectural Addendum of the

building permit and that all treatment and protection plans will be incorporated into the permit plans for approval by the Planning Department;

- That the existing and proposed location of the Sacred Palm associated with Woods Hall will be shown on the site plan and that a relocation and protection plan prepared by an arborist will be incorporated into the site permit for approval by the Planning Department; and,
- That all Structural and Mechanical/Electrical/Plumbing Addendum to the building permit will be reviewed by Planning Department staff to ensure that seismic and mechanical interventions do not detract from any character-defining features of the buildings or result in significant removal of historic fabric.
- That all openings in the retaining wall below Richardson Hall should be the same size to maintain a consistent look as in Variant A.
- That the awnings at the retaining wall below Richardson Hall should not have cable supports.
- That the three (3) proposed window openings at the southeast corner of the auditorium should be eliminated, two (2) on the Hermann Street façade and one (1) on the Laguna Street façade.
- That two (2) additional window openings may be created between the buttresses of the auditorium on the Laguna Street façade for a total of six (6) window openings in this location.
- That four (4) new window openings at the Haight Street façade and three (3) new window openings on the Buchanan Street facade of Woods Hall may be created in the locations indicated in the Alternate Design drawing dated May 16, 2012 of either the proposed size or within 1 foot increased width and height.

FINDINGS

Having reviewed all the materials identified in the recitals above and having heard oral testimony and arguments, this Commission finds, concludes, and determines as follows:

1. The above recitals are accurate and also constitute findings of the Commission.
2. Findings pursuant to Article 10:

The Historical Preservation Commission has determined that the proposed work is compatible with the character of the landmark district as described in the designation report for the following reasons:

- That the proposed new housing, retail, assembly, and public service uses for the buildings may be achieved without causing significant changes to their distinctive materials, features, spaces, and spatial relationships;
- That the proposed work will not cause the removal, alteration, or obstruction of any character-defining features of the site. The portions of wall proposed to be removed for the creation of window openings or at the low wall located at the Buchanan/Haight Street entry

will not remove any distinctive materials or significantly alter the historic character of the landmark buildings. Also, all structural, mechanical, electrical, plumbing installations will be designed in a manner which does not affect any character-defining features of the buildings and will occur in areas that are not visible from the street or are on secondary facades;

- That the window survey indicates that the majority of historic windows at the three buildings will be retained (97% at Richardson Hall, 92% at Woods Hall, and 100% at Woods Hall Annex); that no window openings will be altered; and that 28 or 29 window openings to be created at Richardson Hall will maintain the historic rhythm of fenestration;
- That the proposed exterior changes will be carefully differentiated from the existing historic features and will be compatible with the character of the property, including the proposed railings, windows and doors, and storefronts at Hermann and Laguna Streets;
- That the proposal calls for retaining sound historic stucco and roofing tiles and replacing in-kind or with salvaged materials when necessary;
- That the findings of the mosaic investigative report prepared by Page & Turnbull in accordance with the EIR Mitigation Measures has ensured that the historic feature was previously removed and, therefore, will not be affected by the proposed project;
- That any chemical or physical treatments will be undertaken using the gentlest means possible and under the supervision of a historic architect or conservator;
- That Mitigation Measure HR-3 of the *Mitigation Monitoring and Reporting Program* for the *55 Laguna Mixed Use Project Environmental Impact Report* pertaining to mural preservation will ensure the protection of these significant features; and,
- That the installation of the proposed new elements, such as the proposed railings, windows and doors, and storefronts, will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.
- The proposed project meets the requirements of Article 10 and the designating ordinances.
- The proposed project meets the following *Secretary of the Interior's Standards for Rehabilitation*:

Standard 1.

A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.

Standard 2.

The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.

Standard 3.

Each property will be recognized as a physical record of its time, place and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.

Standard 4.

Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.

Standard 5.

Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a property shall be preserved.

Standard 6.

Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature; the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.

Standard 7.

Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.

Standard 8.

Significant archeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.

Standard 9.

New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

Standard 10.

New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

3. **General Plan Compliance.** The proposed Certificate of Appropriateness is, on balance, consistent with the following Objectives and Policies of the General Plan:

I. URBAN DESIGN ELEMENT

THE URBAN DESIGN ELEMENT CONCERNS THE PHYSICAL CHARACTER AND ORDER OF THE CITY, AND THE RELATIONSHIP BETWEEN PEOPLE AND THEIR ENVIRONMENT.

GOALS

The Urban Design Element is concerned both with development and with preservation. It is a concerted effort to recognize the positive attributes of the city, to enhance and conserve those attributes, and to

improve the living environment where it is less than satisfactory. The Plan is a definition of quality, a definition based upon human needs.

OBJECTIVE 1

EMPHASIS OF THE CHARACTERISTIC PATTERN WHICH GIVES TO THE CITY AND ITS NEIGHBORHOODS AN IMAGE, A SENSE OF PURPOSE, AND A MEANS OF ORIENTATION.

POLICY 1.3

Recognize that buildings, when seen together, produce a total effect that characterizes the city and its districts.

OBJECTIVE 2

CONSERVATION OF RESOURCES WHICH PROVIDE A SENSE OF NATURE, CONTINUITY WITH THE PAST, AND FREEDOM FROM OVERCROWDING.

POLICY 2.4

Preserve notable landmarks and areas of historic, architectural or aesthetic value, and promote the preservation of other buildings and features that provide continuity with past development.

POLICY 2.5

Use care in remodeling of older buildings, in order to enhance rather than weaken the original character of such buildings.

POLICY 2.7

Recognize and protect outstanding and unique areas that contribute in an extraordinary degree to San Francisco's visual form and character.

The goal of a Certificate of Appropriateness is to provide additional oversight for buildings and districts that are architecturally or culturally significant to the City in order to protect the qualities that are associated with that significance.

The proposed project qualifies for a Certificate of Appropriateness and therefore furthers these policies and objectives by maintaining and preserving the character-defining features of the landmark for the future enjoyment and education of San Francisco residents and visitors.

4. The proposed project is generally consistent with the eight General Plan priority policies set forth in Section 101.1 in that:
 - A) The existing neighborhood-serving retail uses will be preserved and enhanced and future opportunities for resident employment in and ownership of such businesses will be enhanced:

The proposed project will not have any impact on neighborhood serving retail uses.

- B) The existing housing and neighborhood character will be conserved and protected in order to preserve the cultural and economic diversity of our neighborhoods:

The proposed project will strengthen neighborhood character by respecting the character-defining features of the building in conformance with the Secretary of the Interior's Standards.

- C) The City's supply of affordable housing will be preserved and enhanced:

The project will increase the affordable housing supply with the addition of affordable units at Richardson Hall.

- D) The commuter traffic will not impede MUNI transit service or overburden our streets or neighborhood parking:

The proposed project will not result in commuter traffic impeding MUNI transit service or overburdening the streets or neighborhood parking.

- E) A diverse economic base will be maintained by protecting our industrial and service sectors from displacement due to commercial office development. And future opportunities for resident employment and ownership in these sectors will be enhanced:

The proposed will not have any impact on industrial and service sector jobs.

- F) The City will achieve the greatest possible preparedness to protect against injury and loss of life in an earthquake.

Preparedness against injury and loss of life in an earthquake is improved by the proposed work. The work will be executed in compliance with all applicable construction and safety measures.

- G) That landmark and historic buildings will be preserved:

The proposed project is in conformance with Article 10 of the Planning Code and the Secretary of the Interior's Standards.

- H) Parks and open space and their access to sunlight and vistas will be protected from development:

The proposed project will not impact the access to sunlight or vistas for the parks and open space.

5. For these reasons, the proposal overall, is appropriate for and consistent with the purposes of Article 10, meets the standards of Article 10, and the Secretary of Interior's Standards for Rehabilitation, General Plan and Prop M findings of the Planning Code.

6. California Environmental Quality Act Findings. This Commission hereby incorporates by reference as though fully set forth and adopts the CEQA approval findings made by both the

Planning Commission, Motion No. 17533, and the Board of Supervisors, which can be found on file with the Clerk of the Board of Supervisors in Files Nos. 071001, 071002, and 080319. The FEIR and the Addendum for this project has been made available to this Commission and the public for review at the Planning Department, 1650 Mission Street. This Commission has considered the record before it, including the Addendum, and finds based on substantial evidence found in the record that none of the conditions described in Sections 15162 or 15163 of the CEQA Guidelines calling for preparation of a subsequent or supplemental EIR have occurred. Specifically, the Commission finds that there have been no substantial changes to the project or the circumstances surrounding the project as described in the FEIR that would lead to the involvement of new significant impacts or a substantial increase in the severity of previously identified significant impacts. Additionally, no new information of substantial importance has come to light showing that the project would result in any new significant effects or a substantial increase in any previously identified significant effects or that any mitigation measures or alternatives previously found not to be feasible would in fact be feasible.

DECISION

That based upon the Record, the submissions by the Applicant, the staff of the Department and other interested parties, the oral testimony presented to this Commission at the public hearings, and all other written materials submitted by all parties, the Commission hereby **ADOPTS the MMRP and GRANTS a Certificate of Appropriateness** for the property located at Assessor's Block 0857, Lots 001 and 001a and Assessor's Block 0870, Lots 001, 002, and 003 for proposed work in conformance with the renderings and architectural plans labeled Exhibit A on file in the docket for Case No. 2012.0033A.

APPEAL AND EFFECTIVE DATE OF MOTION: The Commission's decision on a Certificate of Appropriateness shall be final unless appealed within thirty (30) days. Any appeal shall be made to the Board of Appeals, unless the proposed project requires Board of Supervisors approval or is appealed to the Board of Supervisors as a conditional use, in which case any appeal shall be made to the Board of Supervisors (see Charter Section 4.135).

Duration of this Certificate of Appropriateness: This Certificate of Appropriateness is issued pursuant to Article 10 of the Planning Code and is valid for a period of three (3) years from the effective date of approval by the Historic Preservation Commission. The authorization and right vested by virtue of this action shall be deemed void and canceled if, within 3 years of the date of this Motion, a site permit or building permit for the Project has not been secured by Project Sponsor.

THIS IS NOT A PERMIT TO COMMENCE ANY WORK OR CHANGE OF OCCUPANCY UNLESS NO BUILDING PERMIT IS REQUIRED. PERMITS FROM THE DEPARTMENT OF BUILDING INSPECTION (and any other appropriate agencies) MUST BE SECURED BEFORE WORK IS STARTED OR OCCUPANCY IS CHANGED.

I hereby certify that the Historical Preservation Commission ADOPTED the foregoing Motion on May 16, 2012.

Linda D. Avery
Commission Secretary

Motion No. 0157
Hearing Date: May 16, 2012

CASE NO 2012.0033A
55 Laguna Street

AYES: Chase, Damkroger, Hasz, Johns, Martinez, and Matsuda

NAYS: None

ABSENT: Wolfram

ADOPTED: May 16, 2012

BOARD of SUPERVISORS



City Hall
1 Dr. Carlton B. Goodlett Place, Room 244
San Francisco 94102-4689
Tel. No. 554-5184
Fax No. 554-5163
TDD/TTY No. 544-5227

June 28, 2012

Cynthia Servetnick, Director
Save the Laguna Street Campus
845 Sutter Street, No. 512
San Francisco, CA 94109

Subject: Appeal of the Historic Preservation Commission's Decision on a Certificate of Appropriateness for City Landmarks Nos. 257 (Richardson Hall), 258 (Woods Hall), and 259 (Woods Hall Annex) Located at 55 Laguna Street

Dear Ms. Servetnick:

The Office of the Clerk of the Board is in receipt of a memorandum dated June 27, 2012, (copy attached), from the City Attorney's office regarding the timely filing of an appeal of the Historic Preservation Commission's decision on a Certificate of Appropriateness for City Landmarks Nos. 257 (Richardson Hall), 258 (Woods Hall), and 259 (Woods Hall Annex) located at 55 Laguna Street.

The City Attorney has determined that the appeal was filed in a timely manner.

A hearing date has been scheduled on **Tuesday, July 10, 2012, at 4:00 p.m.**, at the Board of Supervisors meeting to be held in City Hall, Legislative Chamber, Room 250, 1 Dr. Carlton B. Goodlett Place, San Francisco, CA 94102.

Provide to the Clerk's Office by:

8 days prior to the hearing: any documentation which you may want available to the Board members prior to the hearing;

11 days prior to the hearing: names of interested parties to be notified of the hearing.

Please provide 18 copies of the documentation for distribution, and, if possible, names of interested parties to be notified in label format.



DENNIS J. HERRERA
City Attorney

CHERYL ADAMS
Deputy City Attorney

Direct Dial: (415) 554-4707
Email: cheryl.adams@sfgov.org

MEMORANDUM

TO: Angela Calvillo
Clerk of the Board of Supervisors

FROM: Cheryl Adams *CM*
Deputy City Attorney

DATE: June 27, 2012

RE: Appeal of the Historic Preservation Commission's Decision on a Certificate of Appropriateness for City Landmarks Nos. 257 (Richardson Hall), 258 (Woods Hall), and 259 (Woods Hall Annex) located at 55 Laguna Street

You have asked for our advice regarding whether the decision of the Historic Preservation Commission (HPC) to approve a Certificate of Appropriateness for Landmarks Nos. 257 (Richardson Hall), 258 (Woods Hall), and 259 (Woods Hall Annex) located at 55 Laguna Street is appealable to the Board of Supervisors. You have forwarded for our review a letter from Cynthia Servetnick, on behalf of Save the Laguna Street Campus, received by the Clerk's Office on June 15, 2012. The Appellant provided a copy of HPC Motion No. 0157, approving the Certificate of Appropriateness for the work to the above-listed Landmarks at its regularly scheduled hearing on May 16, 2012.

The work proposed under the Certificate of Appropriateness is part of a larger project at the 55 Laguna Street location, which includes both the rehabilitation of the above-listed City landmarks as well as construction of several new buildings and a new overall site plan (the Project). The Project has received conditional use authorization from the Planning Commission as well as various other City approval actions. We are informed that the project sponsor has applied to the City for changes to the Project, which would require an amendment to the existing conditional use authorization, and that the Project requires an approval by the Board of Supervisors of conveyance of certain City-owned property to the University of California, the Property's owner.

Under the Planning Code, the HPC's decision on a Certificate of Appropriateness may be appealed to the Board of Appeals, "provided however, that if the project requires Board of Supervisors approval or is appealed to the Board of Supervisors as a conditional use authorization, the decision shall not be appealed to the Board of Appeals but rather to the Board of Supervisors." Planning Code Section 1006.7(a). Because the Project would require at least one further approval from the Board of Supervisors (namely, the property conveyance), it is appealable to the Board of Supervisors.

Additionally, under the Planning Code, an appeal of a Certificate of Appropriateness must be filed within 30 days after the date of action by the HPC. Planning Code Section 1006.7(b). Accordingly, the appeal of this Certificate of Appropriateness is both properly made to the Board of Supervisors and timely, and you should so inform the appellant.

Please let us know if we may be of further assistance.

MEMORANDUM

TO: Angela Calvillo
Clerk of the Board of Supervisors

DATE: June 27, 2012

PAGE: 2

RE: Appeal of the Historic Preservation Commission's Decision on a Certificate of Appropriateness for City Landmarks Nos. 257 (Richardson Hall), 258 (Woods Hall), and 259 (Woods Hall Annex) located at 55 Laguna Street

cc: Rick Caldeira, Deputy Director, Board of Supervisors
Joy Lamug, Board of Supervisors
Kate Stacy, Deputy City Attorney
Andrea Ruiz-Esquide, Deputy City Attorney
Scott Sanchez, Zoning Administrator, Planning Department
AnMarie Rodgers, Planning Department
Tim Frye, Planning Department
Tina Tam, Planning Department
Linda Avery, Planning Department
Shelley Caltagirone, Planning Department
Sarah Vellve, Planning Department

BOARD of SUPERVISORS



City Hall
1 Dr. Carlton B. Goodlett Place, Room 244
San Francisco 94102-4689
Tel. No. 554-5184
Fax No. 554-5163
TDD/TTY No. 544-5227

June 18, 2012

To: Cheryl Adams
Deputy City Attorney

From: Angela Calvillo 
Clerk of the Board

Re: Historic Preservation Commission's Approval of the Certificate of
Appropriateness relating to Richardson Hall

The above referenced appeal was filed with the Office of the Clerk of the Board on June 15, 2012, by Cynthia Servetnick on behalf of Save the Laguna Street Campus.

I am forwarding this appeal, with the attached documents, to the City Attorney's Office to determine if the appeal is appealable to the Board of Supervisors. The City Attorney's determination should be made within 3 working days of receipt of this request.

If you have any questions, please feel free to contact Legislative Deputy Director, Rick Caldeira at (415) 554-7711.

c: Kate Stacy, Deputy City Attorney
Marlena Byrne, Deputy City Attorney
Elaine Warren, Deputy City Attorney
Scott Sanchez, Zoning Administrator, Planning Department
Bill Wycko, Environmental Review Officer, Planning Department
AnMarie Rodgers, Planning Department
Shelley Caltagirone, Planning Department
Time Frye, Planning Department
Linda Avery, Planning Commission Secretary

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NOTICE OF PUBLIC HEARING

BOARD OF SUPERVISORS OF THE CITY AND COUNTY OF SAN FRANCISCO

NOTICE IS HEREBY GIVEN THAT the Board of Supervisors of the City and County of San Francisco will hold a public hearing to consider the following proposal and said public hearing will be held as follows, at which time all interested parties may attend and be heard:

- Date:** Tuesday, July 10, 2012
- Time:** 4:00 p.m.
- Location:** Legislative Chamber, Room 250 located at City Hall, 1 Dr. Carlton B. Goodlett Place, San Francisco, CA 94102
- Subject:** File No. 120726. Hearing of persons interested in or objecting to the Historic Preservation Commission's decision, dated May 16, 2012, approving the Certificate of Appropriateness identified as Planning Case No. 2012.0033A, by its Motion No. 0157 to rehabilitate Richardson Hall (Landmark No. 257) for use as senior services, senior housing, and retail and/or office space; to rehabilitate Woods Hall (Landmark No. 258) for use as housing; and to rehabilitate Woods Hall Annex (Landmark No. 259) for use as a community center located at 55 Laguna Street. (District 8) (Appellant: Cynthia Servetnick on behalf of Save the Laguna Street Campus) (Filed June 15, 2012)

Pursuant to Government Code Section 65009, notice is hereby given, if you challenge, in court, the matter described above, you may be limited to raising only those issues you or someone else raised at the public hearing described in this notice, or in written correspondence delivered to the Board of Supervisors at, or prior to, the public hearing.

In accordance with Section 67.7-1 of the San Francisco Administrative Code, persons who are unable to attend the hearing on these matters may submit written comments to the City prior to the time the hearing begins. These comments will be made part of the official record in these matters, and shall be brought to the attention of the Board of Supervisors. Written comments should be addressed to

Angela Calvillo, Clerk of the Board, Room 244, City Hall, 1 Dr. Carlton B. Goodlett Place, San Francisco, CA 94102. Information relating to this matter is available in the Office of the Clerk of the Board and agenda information will be available for public review on Thursday, July 5, 2012.




Angela Calvillo
Clerk of the Board

DATED: June 28, 2012
MAILED/POSTED: June 29, 2012

Appeal of CojA for
SS Laguna Mixed Use
Project to BOS (v. BOA)

because 1) Project has a
CU which will
be amended.

2.) Statewide
(and National)
Significance
+
we are a
preservation
org. v.
neighborhood
org.

Re: Appeal of Certificate of Appropriateness - 55 Laguna Street 
Tim Frye to: Joy Lamug

06/28/2012 12:45 PM

Hi Joy. Please see below.

Elisa Hernández Skaggs
Associate

PAGE & TURNBULL

x imagining change in historic environments through design, research and technology
1000 Sansome Street, Suite 200, San Francisco, California 94111
415.593.3224 (direct) | 415.362.5154 (main) | 415.362.5560 (fax)
skaggs@page-turnbull.com | www.page-turnbull.com

Timothy Frye
Preservation Coordinator
San Francisco Planning Department
1650 Mission Street, Suite 400
San Francisco, CA 94103
tim.frye@sfgov.org
v: 415.575.6822

Joy Lamug/BOS/SFGOV



Joy Lamug/BOS/SFGOV
06/28/2012 11:34 AM

To Tim Frye/CTYPLN/SFGOV@SFGOV
cc
Subject Appeal of Certificate of Appropriateness - 55 Laguna Street

Hi Tim,

Please kindly provide Elisa Skaggs of Page & Turnbull, Inc., (the applicant for the above referenced) email address and phone number.

Thank you in advance.
Joy

Joy Lamug
Board of Supervisors
Legislative Division

City Hall, Room 244
1 Dr. Carlton B. Goodlett Place
San Francisco, CA 94102
Tel: 415.554.7712
Fax: 415.554.7714
Email: joy.lamug@sfgov.org

BOARD of SUPERVISORS



City Hall
Dr. Carlton B. Goodlett Place, Room 244
San Francisco 94102-4689
Tel. No. 554-5184
Fax No. 554-5163
TDD/TTY No. 544-5227

June 29, 2012

Received from the Clerk's Office, Board of Supervisors, the amount of Five Hundred Dollars (\$510.00), representing filing fee for 55 Laguna appeal, paid by Save the Laguna Street Campus.

Planning Department

By:

Susan Wang
Print Name

[Signature] 6-29-12
Signature/Date

File No. 120726

Board Item No.

COMMITTEE/BOARD OF SUPERVISORS

AGENDA PACKET CONTENTS LIST

Board of Supervisors Meeting

Date: July 10, 2012

Cmte	Board	
<input type="checkbox"/>	<input type="checkbox"/>	Motion
<input type="checkbox"/>	<input type="checkbox"/>	Resolution
<input type="checkbox"/>	<input type="checkbox"/>	Ordinance
<input type="checkbox"/>	<input type="checkbox"/>	Legislative Digest
<input type="checkbox"/>	<input type="checkbox"/>	Budget Analyst Report
<input type="checkbox"/>	<input type="checkbox"/>	Legislative Analyst Report
<input type="checkbox"/>	<input type="checkbox"/>	Youth Commission Report
<input type="checkbox"/>	<input type="checkbox"/>	Introduction Form
<input type="checkbox"/>	<input type="checkbox"/>	Department/Agency Cover Letter and/or Report
<input type="checkbox"/>	<input type="checkbox"/>	MOU
<input type="checkbox"/>	<input type="checkbox"/>	Grant Information Form
<input type="checkbox"/>	<input type="checkbox"/>	Grant Budget
<input type="checkbox"/>	<input type="checkbox"/>	Subcontract Budget
<input type="checkbox"/>	<input type="checkbox"/>	Contract/Agreement
<input type="checkbox"/>	<input type="checkbox"/>	Award Letter
<input type="checkbox"/>	<input type="checkbox"/>	Application
<input type="checkbox"/>	<input type="checkbox"/>	Public Correspondence

OTHER:

<input type="checkbox"/>	<input checked="" type="checkbox"/>	E-mail chain ending on 07/02/12 re: Rescheduling Appeal.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	E-mail chain ending on 06/29/12 re: Rescheduling Appeal.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Appeal Letter dated 06/15/12.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Notice of Public Hearing dated 06/28/12.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Letter to Cheryl Adams dated 06/18/12.

Completed by: Dena Braley

Date: July 3, 2012

1933



TABLE OF CONTENTS

HISTORIC IMAGES

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- Vicinity
- Woods Hall
- Woods Hall Annex
- Richardson Hall

EXISTING AND PROPOSED DRAWINGS

- Site
 - Proposed Site Plan
 - Proposed Landscape Plan at Richardson
- Woods Hall
 - Plans
 - Elevations
 - Sections
- Woods Hall Annex
 - Plans
 - Elevations
 - Sections
- Richardson Hall
 - Plans
 - Elevations
 - Rendering

HISTORIC IMAGES

EXISTING CONDITIONS
IMAGES

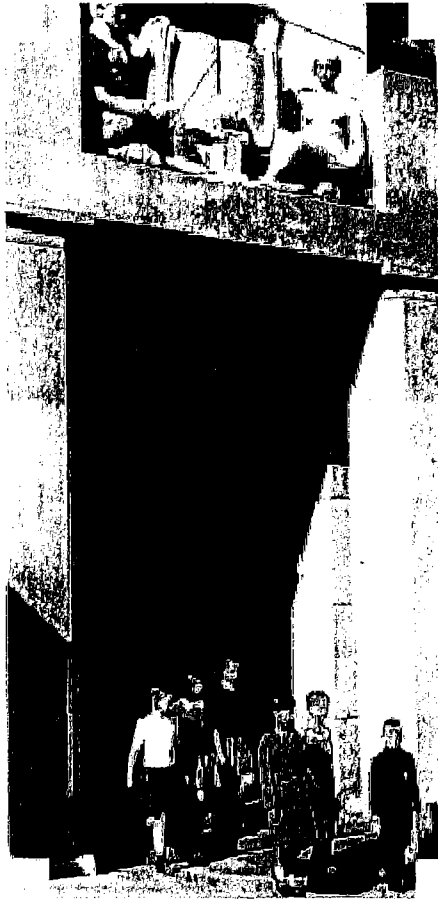
EXISTING AND
PROPOSED DRAWINGS
SITE

EXISTING AND
PROPOSED DRAWINGS
WOODS HALL

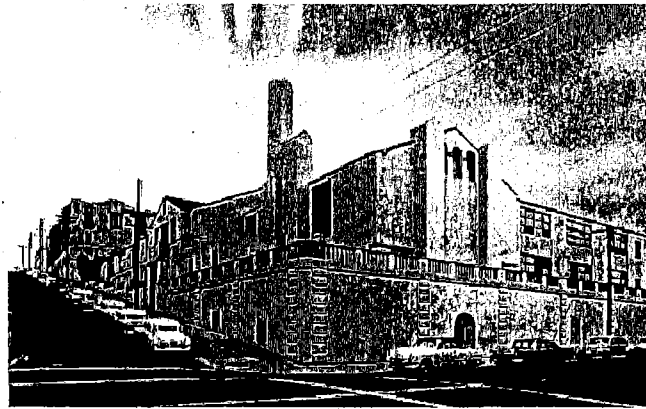
EXISTING AND
PROPOSED DRAWINGS
WOODS HALL ANNEX

EXISTING AND
PROPOSED DRAWINGS
RICHARDSON HALL

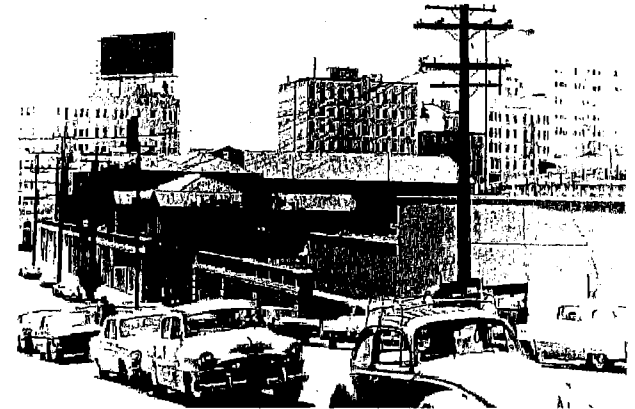
1934



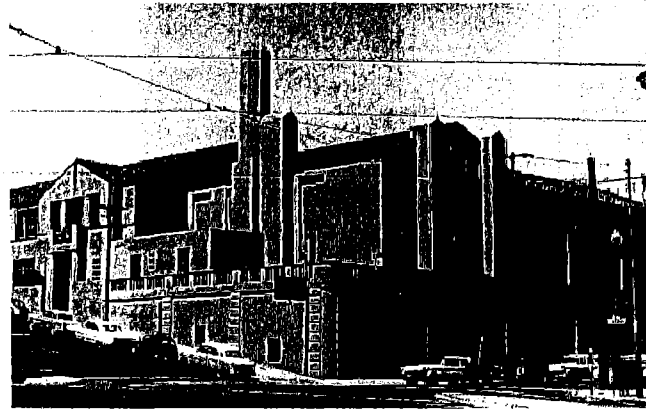
Hermann Street entry, 1941 (SFPL)



Corner view at Hermann and Laguna streets, 1957 (SFPL)



View along Laguna Street, 1964 (SFPL)



Corner view at Hermann and Laguna streets, 1964 (SFPL)



3 View toward Waller and Laguna streets, looking northeast



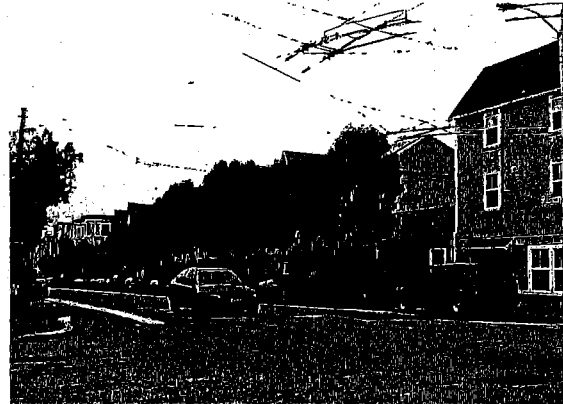
4 View from Laguna and Hermann streets, looking northeast.



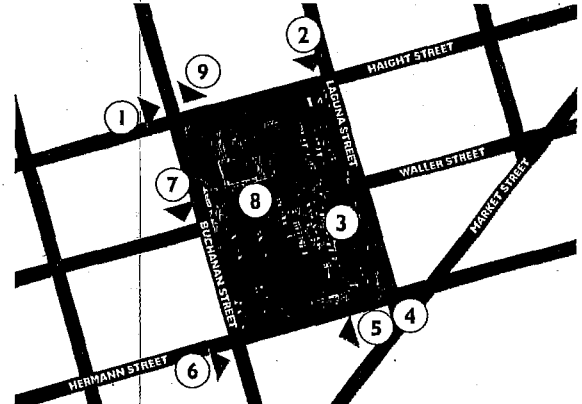
5 View from Laguna and Hermann streets, looking southwest



8 View along Buchanan Street, looking west



9 View from Buchanan and Haight streets, looking southwest.



Key Map

EXISTING CONDITIONS
IMAGES

1935.

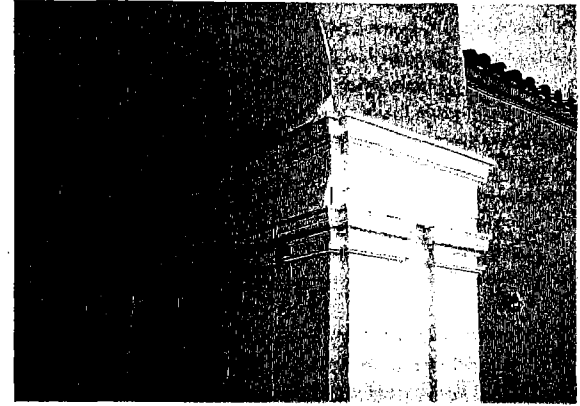
1936



Decorative iron gate at Buchanan and Haight Street entrance



Buchanan and Haight Street entrance



Pilasters and light fixture at Buchanan and Haight Street entrance



Entry Hall



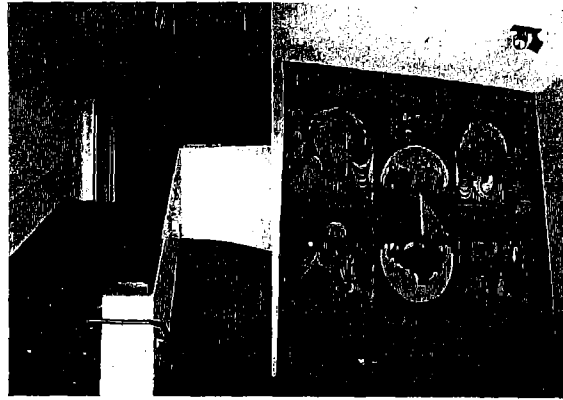
Ionic columns and arch above courtyard entry

EXISTING CONDITIONS
IMAGES

1937



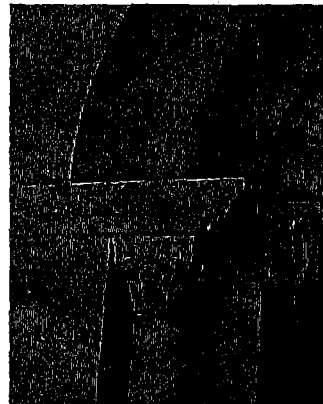
Landing at grand stair with oriel window



Grand stair and mural at stair



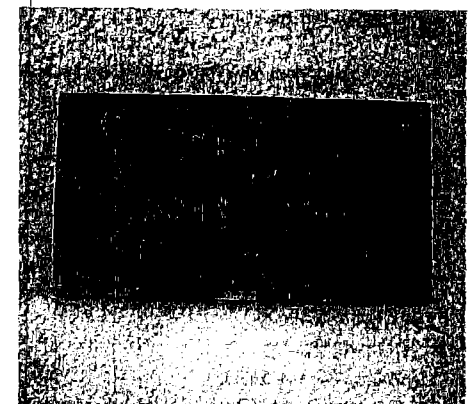
Facade along Buchanan Street



Column detail at Buchanan Street entry



Courtyard entry

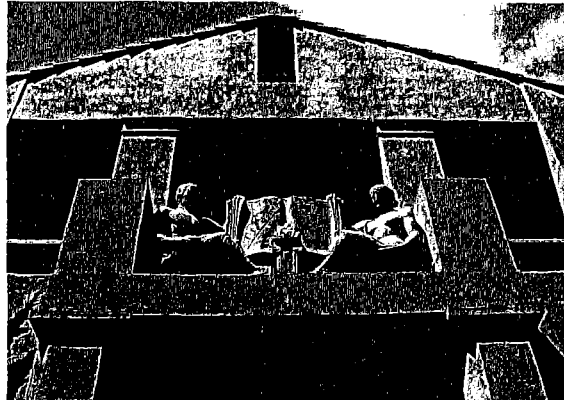


WPA Plaque

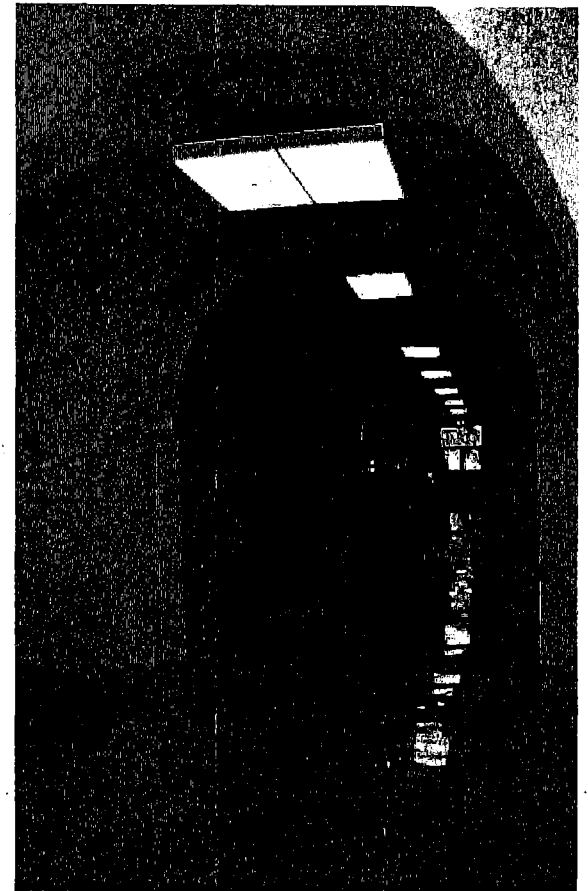
EXISTING CONDITIONS
IMAGES



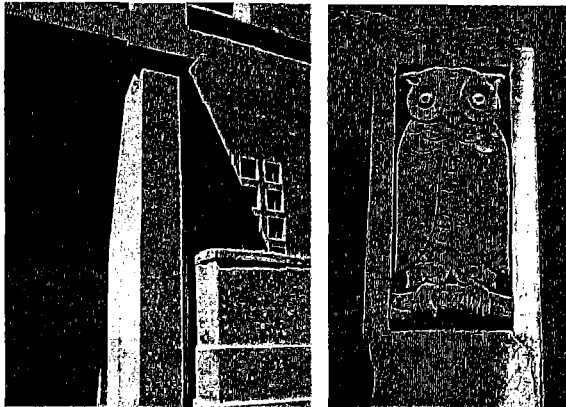
Typical windows



Sculpture above Hermann Street entry



Groin and barrel vault, double-loaded corridor beyond



Detail of main entry at Hermann Street (left); owl sculpture (right)

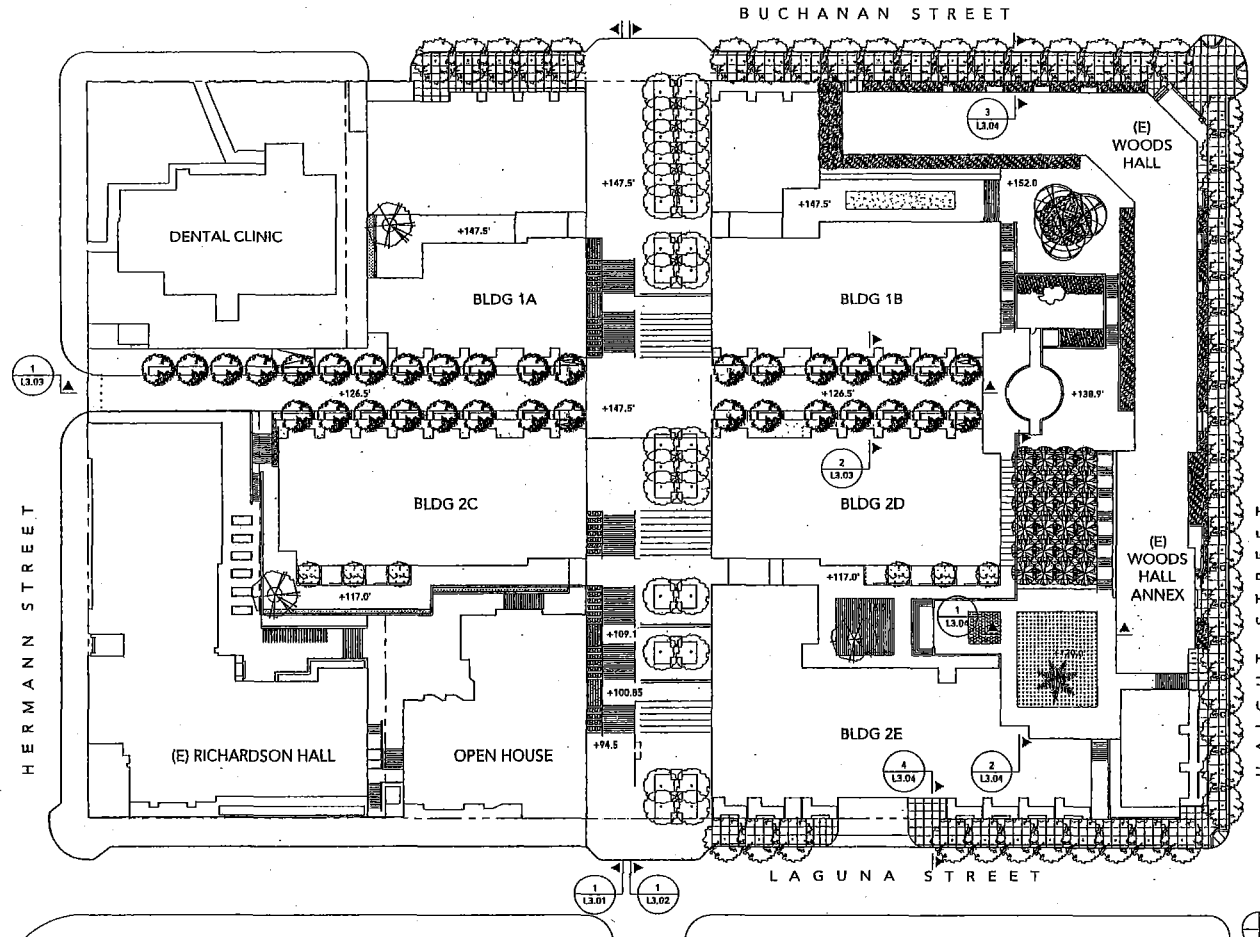


Decorative gate along Hermann Street

1938

EXISTING CONDITIONS
IMAGES

PROPOSED SITE PLAN

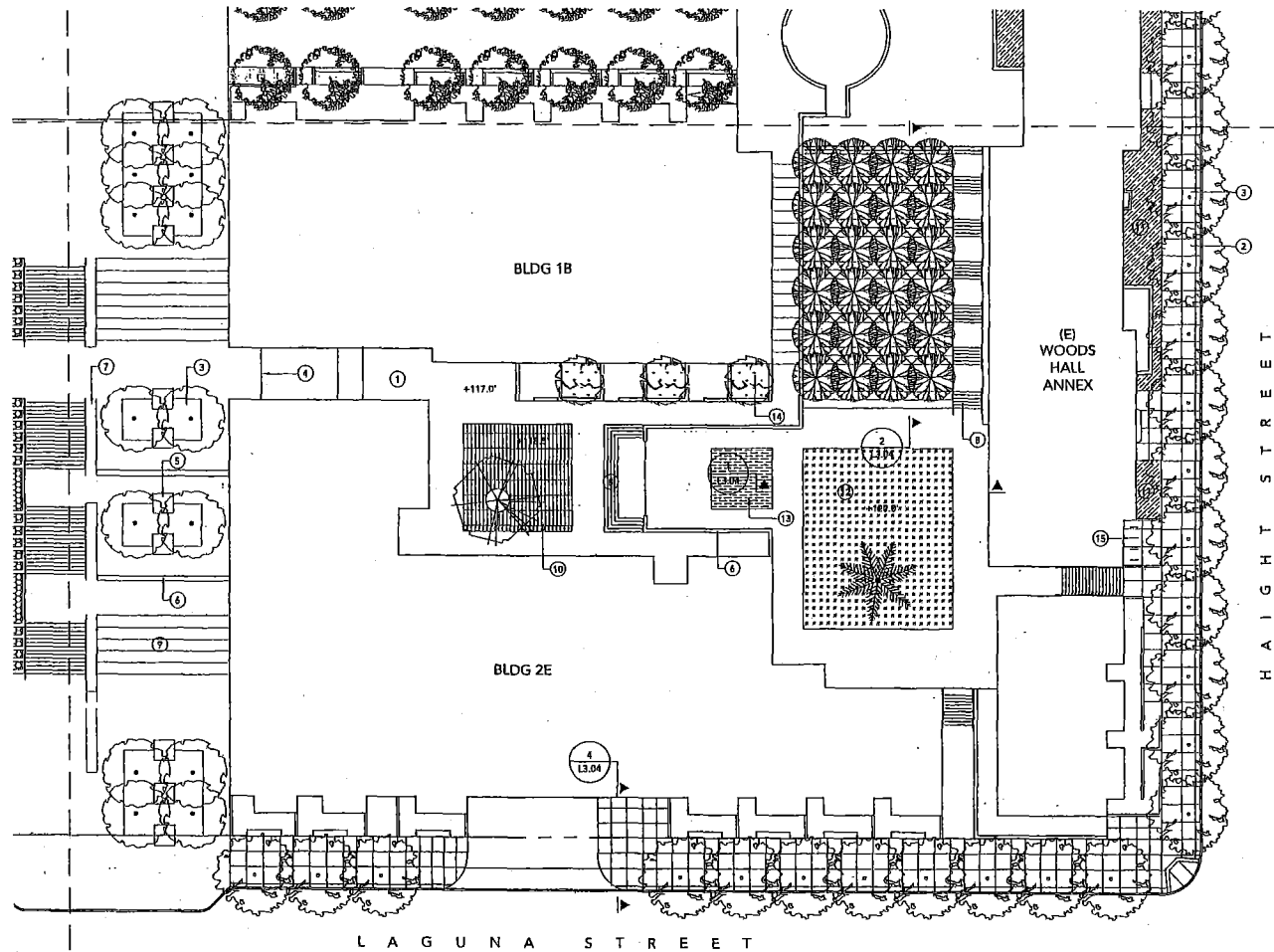


LEGEND	
	CONCRETE PAVING, INTEGRAL COLOR - INTEGRAL COLOR W/ SANDBLAST FINISH AND SAWCUT JOINTS
	UNIT PAVERS TYPE 1
	UNIT PAVERS TYPE 2
	UNIT PAVERS TYPE 3
	CRUSHED GRANITE
	OYSTER SHELL BOCCIE COURT
	SECURITY FENCE/GATE
	CONCRETE SEAT WALL - INTEGRAL COLOR WITH SANDBLAST FINISH
	CONCRETE PLANTER WALL - INTEGRAL COLOR WITH SANDBLAST FINISH
	FEATURE WALL - STONE CLAD OR CAST IN PLACE CONCRETE W/ INTEGRAL COLOR AND SANDBLAST FINISH
	CONCRETE STAIRS - INTEGRAL COLOR WITH SANDBLAST FINISH
	CONCRETE STADIUM SEATS - INTEGRAL COLOR WITH SANDBLAST FINISH
	WOOD SEATING PLATFORM
	GROUNDCOVER PLANTING AREA
	TURF
	HEDGE PLANTING AREA
	GARDEN PLOTS
	PATIO GARDEN
	BIOSWALE PLANTING
	SUNKEN GARDEN
	TREE PLANTING
	TREE GRATE
	BIKE RACK
	REMOVABLE BOLLARDS

EXISTING AND PROPOSED PLANTINGS

1939

PROPOSED LANDSCAPE PLAN AT WOODS HALL ANNEX



LEGEND

- ① UNIT PAVERS TYPE 1
- ② UNIT PAVERS TYPE 3
- ③ CRUSHED GRANITE
- ④ SECURITY FENCE/GATE
- ⑤ CONCRETE SEAT WALL
- INTEGRAL COLOR WITH SANDBLAST FINISH
- ⑥ CONCRETE RETAINING WALL
- INTEGRAL COLOR WITH SANDBLAST FINISH
- ⑦ FEATURE WALL
- STONE CLAD OR CAST IN PLACE CONCRETE
W/ INTEGRAL COLOR AND SANDBLAST FINISH
- ⑧ CONCRETE STAIRS
- INTEGRAL COLOR WITH SANDBLAST FINISH
- ⑨ CONCRETE STADIUM SEATS
- INTEGRAL COLOR WITH SANDBLAST FINISH
- ⑩ WOOD SEATING PLATFORM
- ⑪ GROUNDCOVER PLANTING AREA
- ⑫ TURF
- ⑬ GARDEN PLOTS
- ⑭ PATIO GARDEN
- TREE PLANTING
- ⑮ BIKE RACK

The inset site map shows a grid of streets with a shaded area indicating the project location. The grid includes streets labeled L1, L2, L3, L4, L5, L6, L7, L8, L9, L10, L11, L12, L13, L14, L15, L16, L17, L18, L19, L20, L21, L22, L23, L24, L25, L26, L27, L28, L29, L30, L31, L32, L33, L34, L35, L36, L37, L38, L39, L40, L41, L42, L43, L44, L45, L46, L47, L48, L49, L50, L51, L52, L53, L54, L55, L56, L57, L58, L59, L60, L61, L62, L63, L64, L65, L66, L67, L68, L69, L70, L71, L72, L73, L74, L75, L76, L77, L78, L79, L80, L81, L82, L83, L84, L85, L86, L87, L88, L89, L90, L91, L92, L93, L94, L95, L96, L97, L98, L99, L100.

EXISTING AND
PROPOSED DRAWINGS
SITE

1940

EXISTING AND PROPOSED DRAWINGS

WOODS HALL



1941

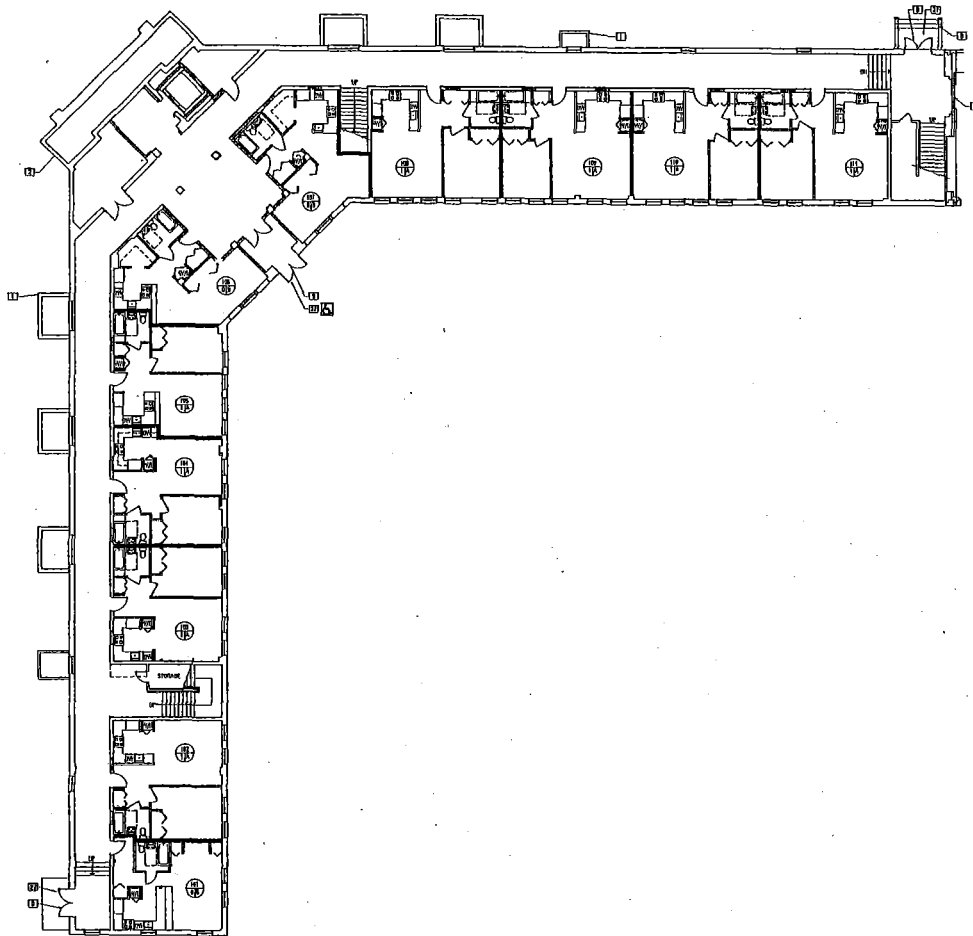
PROPOSED SCOPE OF WORK

Woods Hall will be rehabilitated and used for housing. The proposed design includes four studios and 17 one-bedroom units. The new use will retain the significant interior entry pavilion, the building's primary interior architectural feature, including its original exposed rafters. The proposed design will continue to use the existing internal circulation pattern consisting of a single-loaded corridor. The proposed units will be located where the existing classrooms were located, thus minimizing change to the plan of Woods Hall. Entry to the units will be through the existing single-loaded corridor. Existing, non-historic doors will be replaced with new doors. Vertical circulation will include the existing stairs and a new elevator that will be added to address accessibility issues. The courtyard facades include several windows with a high sill, these windows will be replaced with new windows to match original window types that have a lower sill. The courtyard façade facing south currently has non-original aluminum windows. These windows will be replaced with new energy-efficient metal windows that match the original in operation and lite configuration. Deferred maintenance issues will be addressed, including repairs to the existing terra cotta tile roof and existing windows to remain. The building will receive a seismic upgrade. The facades facing Haight and Buchanan Streets will be retained intact, including the wood windows, stucco, decorative iron entry gate, and light wells. The concrete low wall at the corner of Haight and Buchanan Streets will be altered with a new opening to increase the visibility of the entry as well as address security concerns in that area. The existing urns on the low wall will be retained. As part of the project, the Sacred Palm noted in the landmark ordinance will be relocated and retained on site.

EXISTING AND
PROPOSED DRAWINGS:
WOODS HALL

WOODS HALL

PROPOSED FIRST LEVEL PLAN



FLOOR PLAN GENERAL NOTES

- A. NOTES INDICATE (N) WORK UNLESS OTHERWISE NOTED.
- B. INSTALL BATT INSULATION FOR SOUND ATTENUATION AT ALL (N) PARTITIONS AND AT ALL (E) PARTITIONS (AND PARTITIONS THERE ON) THAT ARE OPENED DURING CONSTRUCTION. SEE SPECIFICATION SECTION 11.
- C. ALL DOORS ARE (D) UNLESS OTHERWISE NOTED.

LEGEND

- (E) WALL
- (N) UNIT RELIEFING WALL
- (D) WALL
- (C) COLUMN
- (N) UNIT / UNIT TYPES - 1 REINFORC. & STUCCO / OF REINFORC.
- (E) ACCESSIBLE ENTRY

SHEET NOTES

- 1 (E) LIGHT WELL
- 2 (E) FOUNDATION
- 3 (N) SEPARATION WALL BETWEEN ANNEX AND WOODS HALL
- 4 (N) PRIVATE PATIO, SEE LANDSCAPE DRAWINGS
- 5 NOT USED
- 6 (N) STEPS @ CORNER ENTRY, SEE LANDSCAPE & CIVIL DWGS
- 7 (E) WALL & HISTORIC URNS
- 8 (N) HANDRAIL
- 9 (E) ENTRY
- 10 (N) BALCONY W/ METAL RAIL
- 11 (E) CRAWLSPACE
- 12 (E) EXHAUST CHIMNEYS & RETAINING WALL
- 13 (N) RAMP, SEE LANDSCAPE & CIVIL DRAWINGS
- 14 (E) RAMP
- 15 (E) FOUNTAIN
- 16 (N) HOLD-OPEN DOORS
- 17 (N) METAL RAIL
- 18 (E) WINDOW
- 19 (N) ELEVATOR
- 20 (N) EXIT
- 21 (E) HISTORIC LORRY TO BE RETAINED, INCLUDING PLANK CONFIGURATION, AND EXPOSED RAFTERS AND FURLINS
- 22 REFURNISH (E) HISTORIC GRILL
- 23 REFURNISH (E) HISTORIC LIGHT FIXTURES
- 24 (E) HISTORIC STAIR
- 25 (E) HISTORIC MURAL BY REUBEN KADISH
- 26 (E) HISTORIC BAY WINDOW
- 27 LEVEL LANDING @ ENTRY

1942

MAY 2012

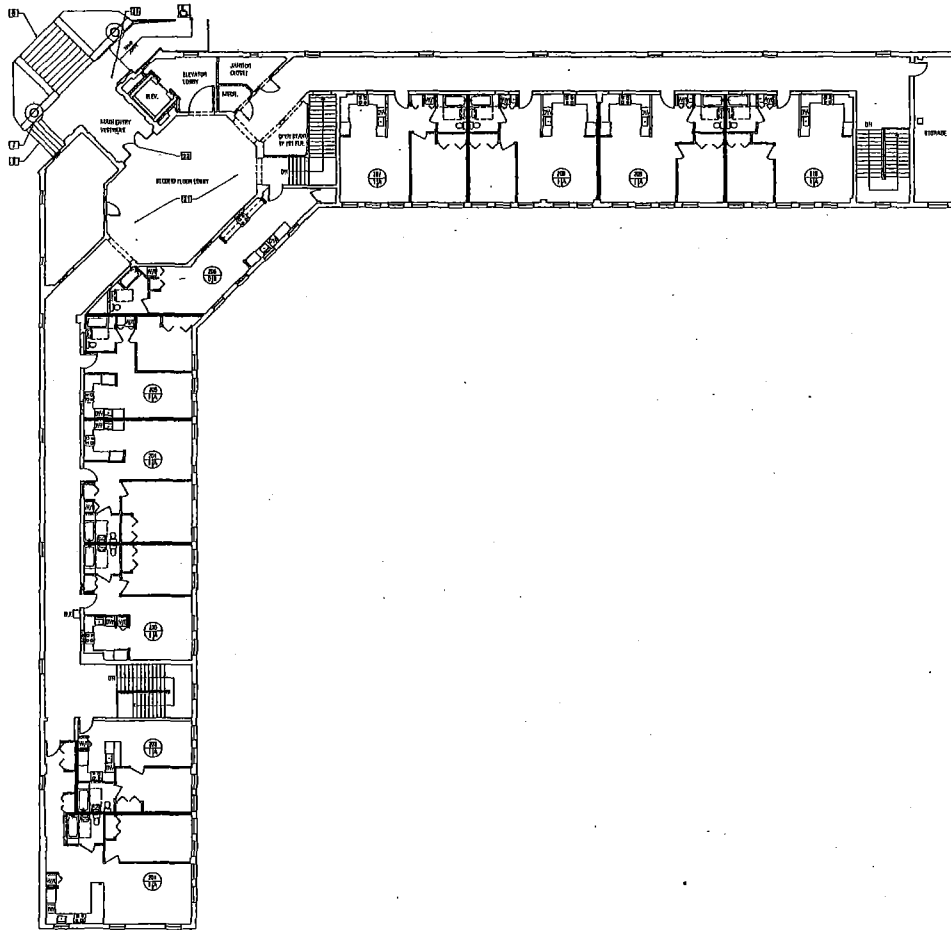
BAR

WOOD PAGE & TURNBULL

EXISTING AND
PROPOSED DRAWINGS:
WOODS HALL

WOODS HALL

PROPOSED SECOND LEVEL PLAN



FLOOR PLAN GENERAL NOTES

- A. NOTES INDICATE (N) WORK UNLESS OTHERWISE NOTED.
- B. INSTALL BATT INSULATION FOR SOUND ATTENUATION AT ALL (N) PARTITIONS AND AT ALL (E) PARTITIONS (AND PORTIONS THERE OF) THAT ARE OPENED DURING CONSTRUCTION. SEE SPECIFICATION SECTION #.
- C. ALL DOORS ARE (N) UNLESS OTHERWISE NOTED.

LEGEND

- (E) WALL
- (N) UNIT BARRIERS WALL
- (N) WALL
- (E) COLUMN
- (E) UNIT / UNIT FIVE (A-1) ROOMS, B-1 ROOMS / OF RECEPTIONS
- (E) ACCESSIBLE ENTRY

SHEET NOTES

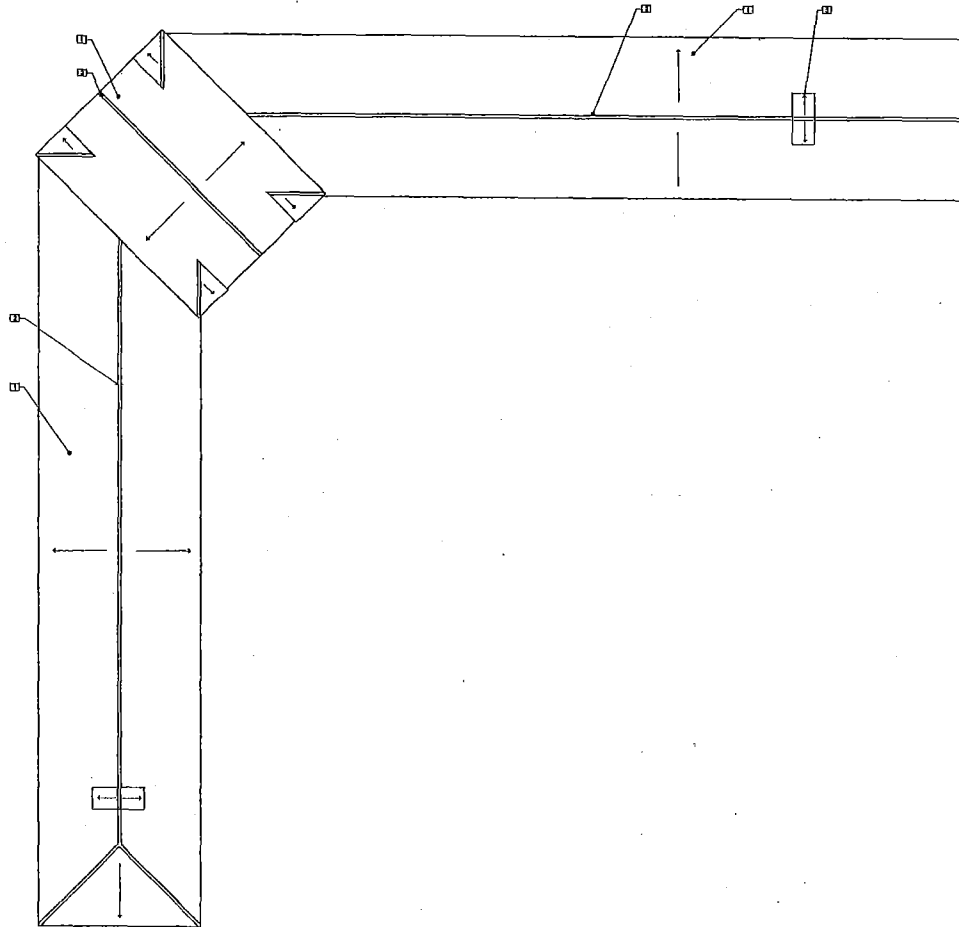
- 1 (E) LIGHT WELL
- 2 (E) FOUNDATION
- 3 (N) SEPARATION WALL BETWEEN ANNEX AND WOODS HALL
- 4 (N) PRIVATE PATIO, SEE LANDSCAPE DRAWINGS
- 5 NOT USED
- 6 (N) STEPS @ CORNER ENTRY. SEE LANDSCAPE & CIVIL DWGS
- 7 (E) WALL & HISTORIC URNS
- 8 (N) HANDRAIL
- 9 (E) ENTRY
- 10 (N) BALCONY W/ METAL RAIL
- 11 (E) CRAWLSPACE
- 12 (E) EXHAUST CHIMNEYS & RETAINING WALL
- 13 (N) RAMP. SEE LANDSCAPE & CIVIL DRAWINGS
- 14 (E) RAMP
- 15 (E) FOUNTAIN
- 16 (N) HOLD-OPEN DOORS
- 17 (N) METAL RAIL
- 18 (E) WINDOW
- 19 (E) ELEVATOR
- 20 (N) EXIT
- 21 (E) HISTORIC LOBBY TO BE RETAINED, INCLUDING FLOOR CONFIGURATION, AND EXPOSED RAFTERS AND PURLING
- 22 REFURBISH (E) HISTORIC GRILL
- 23 REFURBISH (E) HISTORIC LIGHT FIXTURES
- 24 (E) HISTORIC STAIR
- 25 (E) HISTORIC MURAL BY REUBEN KADISH
- 26 (E) HISTORIC BAY WINDOW
- 27 LEVEL LANDING @ ENTRY

1943

EXISTING AND PROPOSED CHANGES, WOODS HALL

WOODS HALL

EXISTING AND PROPOSED ROOF PLAN



ROOF PLAN GENERAL NOTES

- A INSPECT (E) FLASHING AT BASE OF ALL ROOFTOP PROTRUSION. REPAIR AS REQUIRED.
- B REMOVE (E) CLAY TILE & SALVAGE FOR REUSE. INSPECT (E) PLYWOOD SUBSTRATE FOR CODE COMPLIANCE. INSTALL (N) MEMBRANE. REINSTALL (E) CLAY TILE AS PER SPEC. IF REPLACE BROKEN TILE WITH (N) TO MATCH (E).

SHEET NOTES

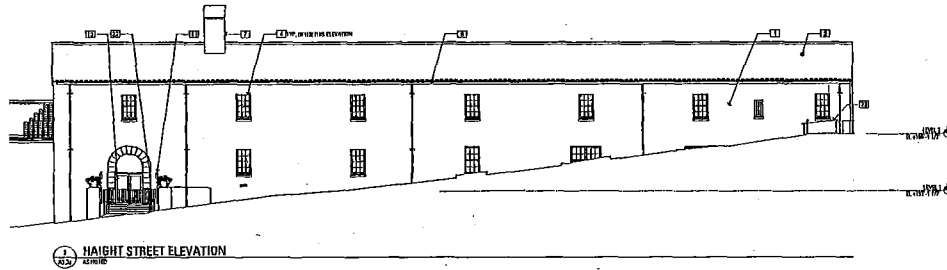
- 1 (E) CLAY TILE ROOF
- 2 (E) ROOF RIDGE
- 3 (E) CHIMNEY EXHAUST
- 4 WINDOW BELOW
- 5 (E) MECHANICAL EXHAUST & RETAINING WALL BELOW

1944

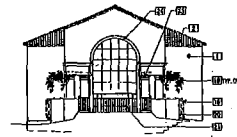
EXISTING AND
PROPOSED DRAWINGS:
WOODS HALL

WOODS HALL

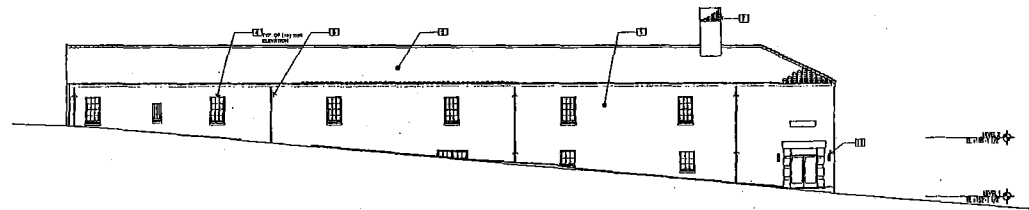
PROPOSED HAIGHT STREET AND BUCHANAN STREET ELEVATIONS



1 Haight Street Elevation
 1/25' AS SHOWN



2 Corner Elevation
 1/25' AS SHOWN



3 Buchanan Street Elevation
 1/25' AS SHOWN

EXTERIOR ELEVATIONS
 GENERAL NOTES

- A (R) FINISHES TO REMAIN UNLESS OTHERWISE NOTED.
- B REPAIR (R) CEMENT PLASTER CRACKS, SPALLS, HOLES FROM REMOVED MECHANICAL & ELECTRICAL DEVICES, AND ALL OTHER CEMENT PLASTER REQUIRING PATCHING. SEE SPEC. SECTION #4.
- C REPAIR (R) WINDOWS AS INDICATED BY WINDOW SCHEDULE AND WINDOW REPAIR SPECIFICATION.
- D REFURBISH EXISTING OUTTERS AS INDICATED IN SPECIFICATION #4.
- E SEE CIVIL AND LANDSCAPE DRAWINGS FOR SITE GRADING.

SHEET NOTES

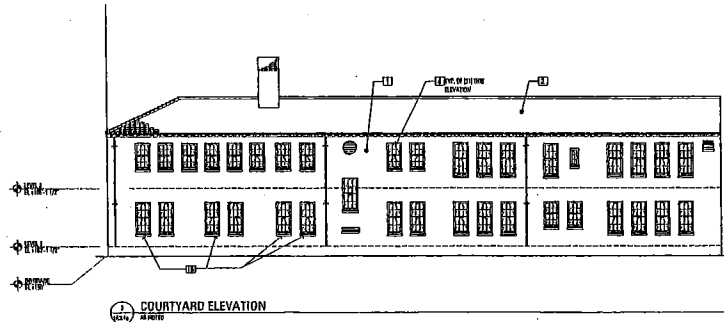
- 1 (R) CEMENT PLASTER
- 2 (R) CLAY TILE ROOF. SEE 11A.2.3
- 3 (R) NON-HISTORIC ALUM. WINDOW.
- 4 (R) HISTORIC WOOD WINDOW.
- 5 (R) ALUM. WINDOW.
- 6 (R) OUTTERS & DOWNSPOUT
- 7 (R) CHIMNEY EXHAUST
- 8 (R) MECHANICAL EXHAUST & RETAINING WALL
- 9 (R) DAMP. SEE LANDSCAPE & CIVIL DIVDS.
- 10 (R) DECORATIVE TRAIL
- 11 (R) EXTERIOR WALL MTD. LIGHT
- 12 (R) DECORATIVE METAL GATE. SEE LANDSCAPE DRAWINGS
- 13 (R) ENTRY TO REMAIN
- 14 (R) ENCLOSED PATIO W/ METAL GATE
- 15 (R) WOOD WINDOW WITH LOWERED SILL, SIMILAR TO ADJACENT, ORIGINAL WINDOWS
- 16 (R) LOUVER. SEE WINDOW SCHEDULE
- 17 (R) DOOR
- 18 (R) GRILL
- 19 (R) HISTORIC URM. PROTECT DURING DEMOLITION & CONSTRUCTION
- 20 (R) LOW WALL W/ NEW OPENING
- 21 REFURBISH (R) DECORATIVE METAL GRILL
- 22 (R) HANDRAIL
- 23 (R) HISTORIC PLASTERS
- 24 (R) HISTORIC ARCHWAY
- 25 (R) HISTORIC LIGHT TO BE RETAINED, INCLUDING PLAN CONFIGURATION, AND EXPOSED BRACKETS AND PURLINS
- 26 REFURBISH (R) HISTORIC LIGHT FIXTURES
- 27 (R) HISTORIC ARCHED NICHE & IONIC COLUMNS
- 28 (R) HISTORIC BAY WINDOW TO REMAIN
- 29 (R) WPA PLAQUE
- 30 (R) ARCHED ENTRY W/ COLUMNS & CAPITALS TO REMAIN
- 31 (R) BAY WINDOW TO REMAIN
- 32 (R) ALUMINUM WINDOWS (R) (R) OPENINGS, WITH SIMILAR OPERATION AS CURRENT WINDOWS.

EXISTING AND PROPOSED FINISHES: WOODS HALL

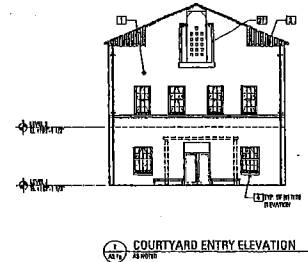
1945

WOODS HALL

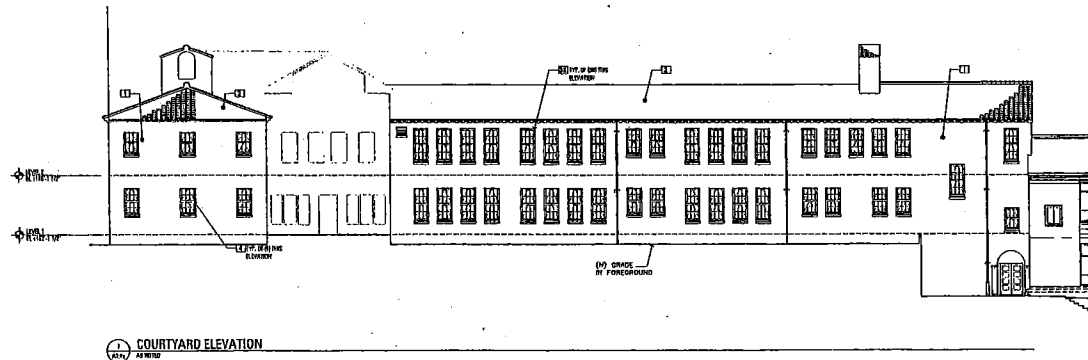
PROPOSED COURTYARD ELEVATIONS



2
20x COURTYARD ELEVATION
AS NOTED



21x
20x COURTYARD ENTRY ELEVATION
AS NOTED



1
20x COURTYARD ELEVATION
AS NOTED

EXTERIOR ELEVATIONS
GENERAL NOTES

- A (E) FINISHES TO REMAIN UNLESS OTHERWISE NOTED.
- B REPAIR (E) CELEST PLASTER CRACKS, STALLS, HOLES FROM REMOVED MECHANICAL & ELECTRICAL DEVICES, AND ALL OTHER CEMENT PLASTER REQUIRING PATCHING, SEE SPEC. SECTION #7.
- C REPAIR (E) WINDOWS AS INDICATED IN WINDOW SCHEDULE AND WINDOW REPAIR SPECIFICATION.
- D REFURBISH EXISTING GUTTERS AS INDICATED IN SPECIFICATION #7.
- E SEE CIVIL AND LANDSCAPE DRAWINGS FOR SITE GRADING.

SHEET NOTES

- 1 (E) CEMENT PLASTER
- 2 (E) CLAY TILE ROOF. SEE 11A.2.3
- 3 (E) NON-HISTORIC ALUM. WINDOW.
- 4 (E) HISTORIC WOOD WINDOW.
- 5 (E) ALUM. WINDOW.
- 6 (E) GUTTERS & DOWNSPOUT
- 7 (E) CHIMNEY EXHAUST
- 8 (E) MECHANICAL EXHAUST & RETAINING WALL
- 9 (E) DRAP. SEE LANDSCAPE & CIVIL DWGS.
- 10 (E) DECORATIVE RAIL
- 11 (E) EXTERIOR WALL MTD. LIGHT
- 12 (E) DECORATIVE METAL BATE. SEE LANDSCAPE DRAWINGS
- 13 (E) ENTRY TO REMAIN.
- 14 (E) ENCLOSED PATIO W/ METAL BATE
- 15 (E) WOOD WINDOW WITH LOWERED SILL, SIMILAR TO ADJACENT, ORIGINAL WINDOWS
- 16 (E) LOUVER. SEE WINDOW SCHEDULE
- 17 (E) DOOR
- 18 (E) ORILL
- 19 (E) HISTORIC UPH. PROTECT DURING DEMOLITION & CONSTRUCTION
- 20 (E) LOW WALL W/ NEW OPENING
- 21 REFURBISH (E) DECORATIVE METAL ORILL
- 22 (E) HANDBAR
- 23 (E) HISTORIC PLASTERS
- 24 (E) HISTORIC ARCHWAY
- 25 (E) HISTORIC LOBBY TO BE RETAINED, INCLUDING PLAN CONTRIBUTION, AND EXPOSED RAFTERS AND PURLINS
- 26 REFURBISH (E) HISTORIC LIGHT FIXTURES
- 27 (E) HISTORIC ARCHED NICHE & IRON COLUMNS
- 28 (E) HISTORIC BAY WINDOW TO REMAIN
- 29 (E) WPA PLAQUE
- 30 (E) ARCHED ENTRY W/ COLUMNS & CAPITALS TO REMAIN
- 31 (E) BAY WINDOW TO REMAIN
- 32 (E) ALUMINUM WINDOWS IN (E) OPENINGS, WITH SIMILAR OPERATION AS EXISTING WINDOWS.

1946

EXISTING AND
PROPOSED DRAWINGS
WOODS HALL

WOODS HALL ANNEX

1947



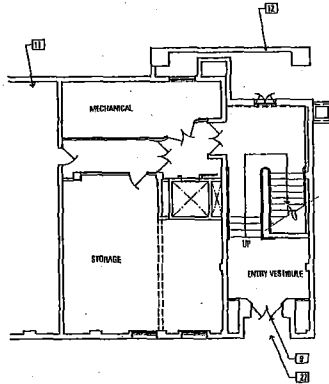
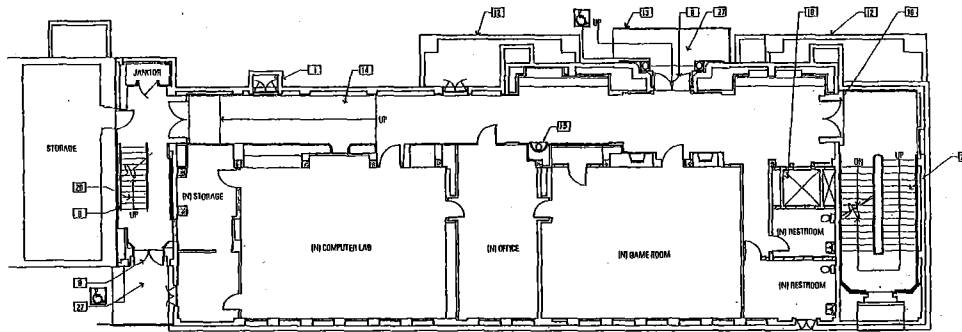
PROPOSED SCOPE OF WORK

Woods Hall Annex will be rehabilitated and used for a community center. The proposed design includes a multi-purpose space, a lounge/kitchen, game room and a computer room. The new use will retain the building's significant features including the existing circulation pattern, the grand stair on the east side of the building, the Kadish mural at the grand stair, and the oriel window on the south side of the building. The public community amenities will be located where the existing classrooms are located, thus minimizing change to the plan of Woods Hall Annex. Entry to the community center spaces will be through the existing single-loaded corridor. Existing, non-historic doors will be replaced with new doors. Vertical circulation will include the existing stairs, a new stair on the west side of the building, and a new elevator that will be added to address accessibility issues. Changes proposed to the exterior of the building include a new landing at the Haight Street entry to provide an accessible entry to the building. A minor change is also proposed along the south elevation where new proposed community garden grades will expose a portion of the building currently below existing grade. An underpinning structural system will allow the new wall to be planar with existing wall above. No new openings are proposed where the grade change occurs. Deferred maintenance issues will be addressed, including repairs to the existing terra cotta tile roof and existing windows to remain. The building will receive a seismic upgrade.

EXISTING AND
PROPOSED DRAWINGS
WOODS HALL ANNEX

WOODS HALL ANNEX

PROPOSED FIRST AND BASEMENT LEVEL PLANS



FLOOR PLAN GENERAL NOTES

- A. NOTES INDICATE (IN) WORK UNLESS OTHERWISE NOTED.
- B. INSTALL BATT INSULATION FOR SOUND ATTENUATION AT ALL (IN) PARTITIONS AND AT ALL (E) PARTITIONS (AND PORTIONS THERE OF) THAT ARE OPENED DURING CONSTRUCTION. SEE SPECIFICATION SECTION #.
- C. ALL DOORS ARE (IN) UNLESS OTHERWISE NOTED.

SHEET NOTES

- 1. (E) LIGHT WELL
- 2. (E) FOUNDATION
- 3. (IN) SEPARATION WALL BETWEEN ANNEX AND WOODS HALL
- 4. (IN) PRIVATE PATIO. SEE LANDSCAPE DRAWINGS
- 5. NOT USED
- 6. (IN) STEPS @ CORNER ENTRY. SEE LANDSCAPE & CIVIL DWGS
- 7. (E) WALL & HISTORIC URNS
- 8. (IN) HANDRAIL
- 9. (E) ENTRY
- 10. (IN) BALCONY W/ METAL RAIL
- 11. (E) CRAWLSPACE
- 12. (E) EXHAUST CHIMNEYS & RETAINING WALL
- 13. (IN) RAMP. SEE LANDSCAPE & CIVIL DRAWINGS
- 14. (E) RAMP
- 15. (E) FOUNTAIN
- 16. (IN) HOLD-OPEN DOORS
- 17. (IN) METAL RAIL
- 18. (E) WINDOW
- 19. (IN) ELEVATOR
- 20. (IN) EXIT
- 21. (E) HISTORIC LOBBY TO BE RETAINED, INCLUDING PLAN CONFIGURATION, AND EXPOSED RAFTERS AND PURLINS
- 22. REFURBISH (E) HISTORIC GRILL
- 23. REFURBISH (E) HISTORIC LIGHT FIXTURES
- 24. (E) HISTORIC STAIR
- 25. (E) HISTORIC MURAL BY REUBEN KADISH
- 26. (E) HISTORIC BAY WINDOW
- 27. LEVEL LANDING @ ENTRY

LEGEND

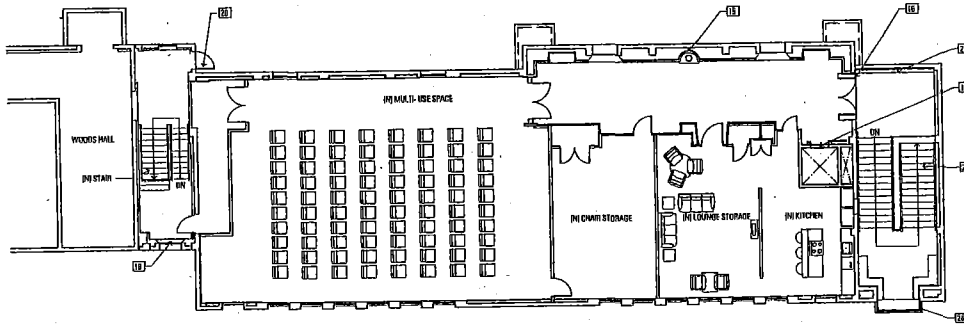
- (---) (E) WALL
- (---) (IN) LIGHT BEARING WALL
- (---) (IN) WALL
- (---) (E) CELEBRAY
- (---) UNIT #
- (---) UNIT TYPE (A-1 THROUGH, B-THROUGH)
- (---) # OF BEDROOMS
- (E) ACCESSIBLE ENTRY

1948

EXISTING AND
PROPOSED DRAWINGS
WOODS HALL ANNEX

WOODS HALL ANNEX

PROPOSED SECOND LEVEL PLAN



FLOOR PLAN GENERAL NOTES

- A. NOTES INDICATE (N) WORK UNLESS OTHERWISE NOTED.
- B. INSTALL BATT INSULATION FOR SOUND ATTENUATION AT ALL (M) PARTITIONS AND AT ALL (E) PARTITIONS (AND PORTIONS THERE OF) THAT ARE OPENED DURING CONSTRUCTION. SEE SPECIFICATION SECTION #1.
- C. ALL DOORS ARE (N) UNLESS OTHERWISE NOTED.

LEGEND

- (S) WALL
- (M) EXIST DECKING WALL
- (N) WALL
- (E) COLUMN
- (M) RAMP
- (M) TYPE (M-1) ROOM, B, ETC.
- (M) OF ROOMS
- (E) ACCESSIBLE ENTRY

SHEET NOTES

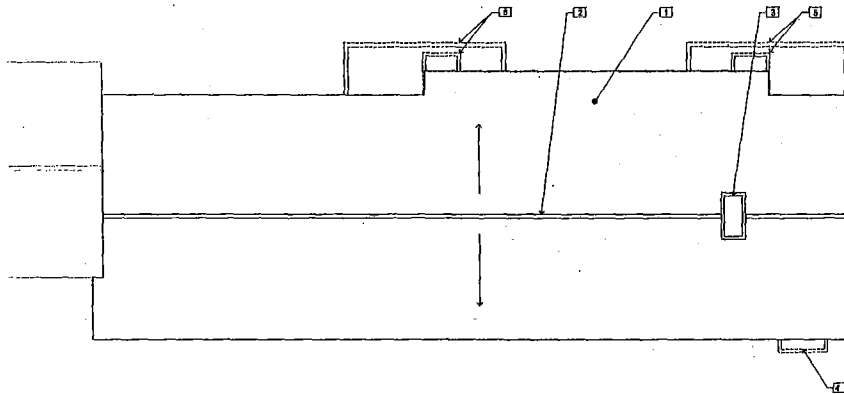
- 1 (E) LIGHT WELL
- 2 (E) FOUNDATION
- 3 (M) SEPARATION WALL BETWEEN ANNEX AND WOODS HALL
- 4 (M) PRIVATE PATIO, SEE LANDSCAPE DRAWINGS
- 5 NOT USED
- 6 (M) STEPS @ CORNER ENTRY, SEE LANDSCAPE & CIVIL DWGS
- 7 (E) WALL & HISTORIC URNS
- 8 (M) HANDRAIL
- 9 (E) ENTRY
- 10 (M) BALCONY W/ METAL RAIL
- 11 (E) CRAWLSPACE
- 12 (E) EXHAUST CHIMNEYS & RETAINING WALL
- 13 (M) RAMP, SEE LANDSCAPE & CIVIL DRAWINGS
- 14 (E) RAMP
- 15 (E) FOUNTAIN
- 16 (M) HOLD-OPEN DOORS
- 17 (M) METAL RAIL
- 18 (E) WINDOW
- 19 (M) ELEVATOR
- 20 (M) EXIT
- 21 (E) HISTORIC LOBBY TO BE RETAINED, INCLUDING PLAN CONFIGURATION, AND EXPOSED RAFTERS AND FURLINGS
- 22 REFURBISH (E) HISTORIC CEILING
- 23 REFURBISH (E) HISTORIC LIGHT FIXTURES
- 24 (E) HISTORIC STAIR
- 25 (E) HISTORIC MURAL BY MELIBEN KADISH
- 26 (E) HISTORIC BAY WINDOW
- 27 LEVEL LANDING @ ENTRY

EXISTING AND PROPOSED DRAWINGS NOT TO SCALE

1949

WOODS HALL ANNEX

EXISTING AND PROPOSED ROOF PLAN



ROOF PLAN GENERAL NOTES

- A INSPECT (3) FLASHING AT BASE OF ALL ROOFTOP PROTRUSION. REPAIR AS REQUIRED.
- B REMOVE (5) CLAY TILE & SALVAGE FOR REUSE. INSPECT (4) PLYWOOD SUBSTRATE FOR CODE COMPLIANCE. INSTALL (4) MEMBRANE. REINSTALL (3) CLAY TILE AS PER SPEC #4. REPLACE BROKEN TILE WITH (4) TO MATCH (4).

SHEET NOTES

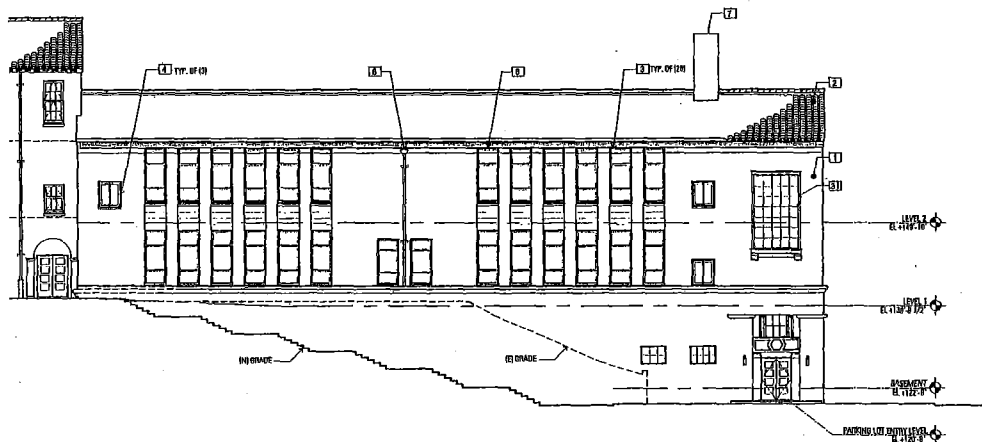
- 1 (3) CLAY TILE ROOF
- 2 (3) ROOF RIDGE
- 3 (3) CHIMNEY EXHAUST
- 4 WINDOW BELOW
- 5 (3) MECHANICAL EXHAUST & RETAINING WALL BELOW

1950

EXISTING AND
PROPOSED DRAWINGS
WOODS HALL ANNEX

WOODS HALL ANNEX

PROPOSED COURTYARD ELEVATION



EXTERIOR ELEVATIONS
 GENERAL NOTES

- A (E) FINISHES TO REMAIN UNLESS OTHERWISE NOTED.
- B REPAIR (E) CEMENT PLASTER CRACKS, SPALLS, HOLES FROM REMOVED MECHANICAL & ELECTRICAL DEVICES, AND ALL OTHER EXISTING PLASTER REQUIRING PATCHING. SEE SPEC. SECTION #.
- C REPAIR (E) WINDOWS AS INDICATED IN WINDOW SCHEDULE AND WINDOW REPAIR SPECIFICATION.
- D REFURBISH EXISTING GUTTERS AS INDICATED IN SPECIFICATION #.
- E SEE CIVIL AND LANDSCAPE DRAWINGS FOR SITE GRADING.

SHEET NOTES

- 1 (E) CEMENT PLASTER
- 2 (E) CLAY TILE ROOF. SEE 11A.2.3
- 3 (E) NON-HISTORIC ALUM. WINDOW.
- 4 (E) HISTORIC WOOD WINDOW.
- 5 (N) ALUM. WINDOW.
- 6 (E) GUTTERS & DOWNSPOUT
- 7 (E) CHIMNEY EXHAUST
- 8 (E) MECHANICAL EXHAUST & RETAINING WALL
- 9 (N) RAMP. SEE LANDSCAPE & CIVIL DWGS.
- 10 (N) DECORATIVE RAIL
- 11 (N) EXTERIOR WALL MTD. LIGHT
- 12 (N) DECORATIVE METAL GATE. SEE LANDSCAPE DRAWINGS
- 13 (E) ENTRY TO REMAIN.
- 14 (N) ENCLOSED PATIO W/ METAL GATE
- 15 (N) WOOD WINDOW WITH LOWERED SILL, SIMILAR TO ADJACENT, ORIGINAL WINDOWS
- 16 (E) LOUVER. SEE WINDOW SCHEDULE
- 17 (N) DOOR
- 18 (E) GRILL
- 19 (E) HISTORIC SIGN, PROTECT DURING DEMOLITION & CONSTRUCTION

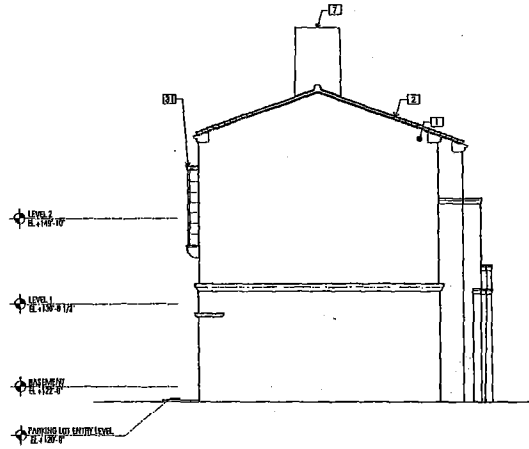
- 20 (E) LOW WALL W/ NEW OPENING
- 21 REFURBISH (E) DECORATIVE METAL GRILL
- 22 (N) HANDRAIL
- 23 (E) HISTORIC PLASTERS
- 24 (E) HISTORIC ARCHWAY
- 25 (E) HISTORIC LOBBY TO BE RETAINED, INCLUDING PLAN CONFIGURATION, AND EXPOSED RAFTERS AND PURLINS
- 26 REFURBISH (E) HISTORIC LIGHT FIXTURES
- 27 (E) HISTORIC ARCHED NICHE & IONIC COLUMNS
- 28 (E) HISTORIC BAY WINDOW TO REMAIN
- 29 (E) WPA PLAQUE
- 30 (E) ARCHED ENTRY W/ COLUMNS & CAPITALS TO REMAIN
- 31 (E) BAY WINDOW TO REMAIN
- 32 (N) ALUMINUM WINDOWS IN (E) OPENINGS, WITH SIMILAR OPERATION AS EXISTING WINDOWS.

EXISTING AND PROPOSED REPAIRS TO WOODS HALL ANNEX

1951

WOODS HALL ANNEX

PROPOSED EAST ELEVATION



1952

EXTERIOR ELEVATIONS
GENERAL NOTES

- A (E) FINISHES TO REMAIN UNLESS OTHERWISE NOTED.
- B REPAIR (E) CEMENT PLASTER CRACKS, SPALLS, HOLES FROM REMOVED MECHANICAL & ELECTRICAL DEVICES, AND ALL OTHER CEMENT PLASTER REQUIRING PATCHING. SEE SPEC. SECTION #.
- C REPAIR (E) WINDOWS AS INDICATED IN WINDOW SCHEDULE AND WINDOW REPAIR SPECIFICATION.
- D REFURBISH EXISTING GUTTERS AS INDICATED IN SPECIFICATION #.
- E SEE CIVIL AND LANDSCAPE DRAWINGS FOR SITE GRADING.

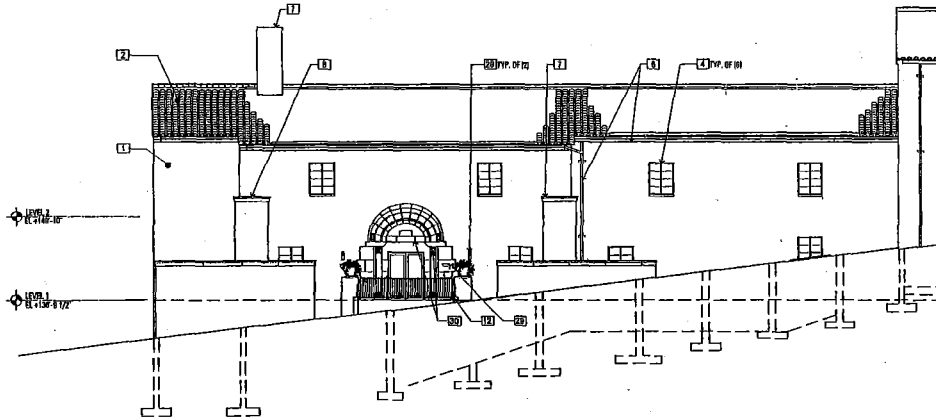
SHEET NOTES

- 1 (E) CEMENT PLASTER
- 2 (E) CLAY TILE ROOF. SEE 11A.2.3
- 3 (E) NON-HISTORIC ALUM. WINDOW.
- 4 (E) HISTORIC WOOD WINDOW.
- 5 (N) ALUM. WINDOW.
- 6 (E) GUTTERS & DOWNSPOUT
- 7 (E) CHIMNEY EXHAUST
- 8 (E) MECHANICAL EXHAUST & RETAINING WALL
- 9 (N) RAMP. SEE LANDSCAPE & CIVIL DWGS.
- 10 (N) DECORATIVE BAR.
- 11 (N) EXTERIOR WALL MTD. LIGHT
- 12 (N) DECORATIVE METAL GATE, SEE LANDSCAPE DRAWINGS
- 13 (E) ENTRY TO REMAIN.
- 14 (N) ENCLOSED PATIO W/ METAL GATE
- 15 (N) WOOD WINDOW WITH LOWERED SILL, SIMILAR TO ADJACENT, ORIGINAL WINDOWS
- 16 (E) LOUVER, SEE WINDOW SCHEDULE
- 17 (N) DOOR
- 18 (E) GRILL
- 19 (E) HISTORIC URN, PROTECT DURING DEMOLITION & CONSTRUCTION
- 20 (E) LOW WALL W/ NEW OPENING
- 21 REFURBISH (E) DECORATIVE METAL GRILL
- 22 (N) HANDRAIL
- 23 (E) HISTORIC PLASTERS
- 24 (E) HISTORIC ARCHWAY
- 25 (E) HISTORIC LOBBY TO BE RETAINED, INCLUDING FLOOR CONFIGURATION, AND EXPOSED RAFTERS AND FUELS
- 26 REFURBISH (E) HISTORIC LIGHT FIXTURES
- 27 (E) HISTORIC ANCHORED NICHE & IONIC COLUMNS
- 28 (E) HISTORIC BAY WINDOW TO REMAIN
- 29 (E) WPA PLAQUE
- 30 (E) ARCHED ENTRY W/ COLUMNS & CAPITALS TO REMAIN
- 31 (E) BAY WINDOW TO REMAIN
- 32 (E) ALUMINUM WINDOWS IN (E) OPENINGS, WITH SIMILAR OPERATION AS CURRENT WINDOWS.

EXISTING AND PROPOSED DRAWINGS
WOODS HALL ANNEX

WOODS HALL ANNEX

PROPOSED HAIGHT STREET ELEVATION



EXTERIOR ELEVATIONS

GENERAL NOTES

- A (E) FINISHES TO REMAIN UNLESS OTHERWISE NOTED.
- B REPAIR (E) CEMENT PLASTER CRACKS, SPALLS, HOLES FROM REPAIRS, MECHANICAL OR ELECTRICAL DEVICES, AND ALL OTHER CEMENT PLASTER REQUIRING PATCHING. SEE SPEC. SECTION #.
- C REPAIR (E) WINDOWS AS INDICATED BY WINDOW SCHEDULE AND WINDOW REPAIR SPECIFICATION.
- D REFURBISH EXISTING GUTTERS AS INDICATED IN SPECIFICATION #.
- E SEE CIVIL AND LANDSCAPE DRAWINGS FOR SITE GRADING.

SHEET NOTES

- 1 (E) CEMENT PLASTER
- 2 (E) CLAY TILE ROOF. SEE 11A.2.3
- 3 (E) NON-HISTORIC ALUM. WINDOW.
- 4 (E) HISTORIC WOOD WINDOW.
- 5 (E) ALUM. WINDOW.
- 6 (E) GUTTERS & DOWNSPOUT
- 7 (E) CHIMNEY EXHAUST
- 8 (E) MECHANICAL EXHAUST & RETAINING WALL
- 9 (E) RAMP. SEE LANDSCAPE & CIVIL DWGS.
- 10 (E) DECORATIVE RAIL
- 11 (E) EXTERIOR WALL MTD. LIGHT
- 12 (E) DECORATIVE METAL GATE. SEE LANDSCAPE DRAWINGS
- 13 (E) ENTRY TO REMAIN.
- 14 (E) ENCLOSED PATIO W/ METAL GATE
- 15 (E) WOOD WINDOW WITH LOWERED SILL, SIMILAR TO ADJACENT, ORIGINAL WINDOWS
- 16 (E) LOUVER. SEE WINDOW SCHEDULE
- 17 (E) DOOR
- 18 (E) GRILL

- 19 (E) HISTORIC LIN. PROTECT DURING DEMOLITION & CONSTRUCTION
- 20 (E) LOW WALL W/ NEW OPENING
- 21 REFURBISH (E) DECORATIVE METAL GRILL
- 22 (E) HANDRAIL
- 23 (E) HISTORIC PLASTER
- 24 (E) HISTORIC ARCHWAY
- 25 (E) HISTORIC LOBBY TO BE RETAINED, INCLUDING PLAN CONFIGURATION, AND EXPOSED BASTERS AND PURLINS
- 26 REFURBISH (E) HISTORIC LIGHT FIXTURES
- 27 (E) HISTORIC ARCHED NICHE & IONIC COLUMNS
- 28 (E) HISTORIC BAY WINDOW TO REMAIN
- 29 (E) WPA PLAQUE
- 30 (E) ARCHED ENTRY W/ COLUMNS & CAPITALS TO REMAIN
- 31 (E) BAY WINDOW TO REMAIN
- 32 (E) ALUMINUM WINDOWS IN (E) OPENINGS, WITH SIMILAR OPERATION AS CURRENT WINDOWS.

1953

EXISTING AND PROPOSED DRAWINGS WOODS HALL ANNEX

1954



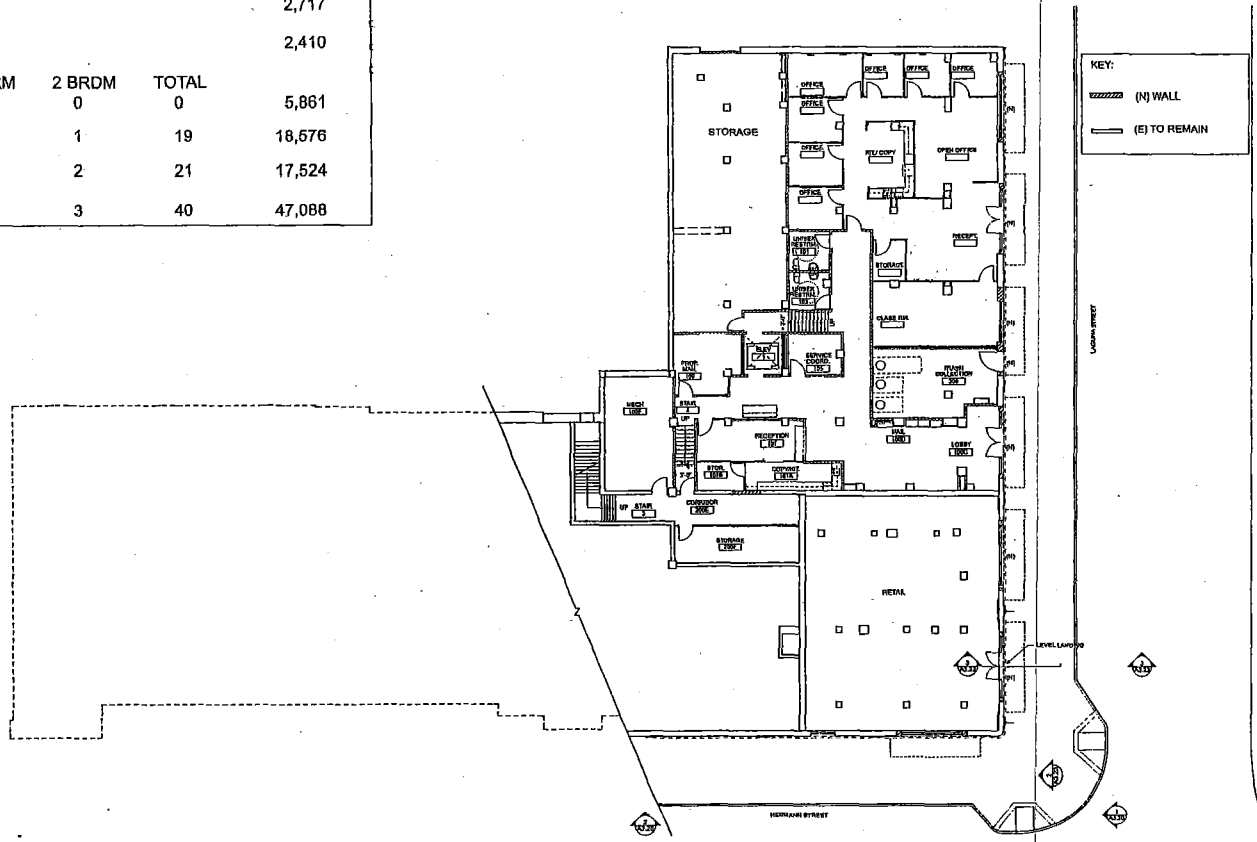
PROPOSED SCOPE OF WORK

Richardson Hall will be rehabilitated to be used for senior services and senior housing, including studios and one and two bedroom units. The project includes two variants. Variant A includes 2,410 sf of retail, Variant B does not include retail. The new use will be designed so as to retain significant architectural features such as the entry portal and sculpture on Hermann Street, the massing of the auditorium and stacks, the faux bell tower, courtyard entry, and angel mural in the interior of the building. The new partition plan will incorporate the existing circulation pattern of the building; the units will be located along the existing double-loaded corridor. Both Variants A and B include openings in the wall along Hermann and Laguna streets for services and residential units. Variant A also includes new openings for retail. All new openings will be located between the false quoins on the walls and balance the need for transparency required to create marketable retail and service spaces while retaining as much of the wall as possible. Deferred maintenance issues will be addressed, including a seismic upgrade, new roof membrane and repairs to the existing terra cotta tile roof. As part of the larger development plan at 55 Laguna, the Administration Wing will be demolish

RICHARDSON HALL: VARIANT A

PROPOSED BASEMENT PLAN

STATISTICS					GROSS AREA
OPEN HOUSE OFFICES					2,717
RETAIL					2,410
	STUDIOS	1 BDRM	2 BRDM	TOTAL	
1ST FLOOR:	0	0	0	0	5,861
2ND FLOOR:	4	14	1	19	18,676
3RD FLOOR:	6	13	2	21	17,524
TOTAL:	10	27	3	40	47,088

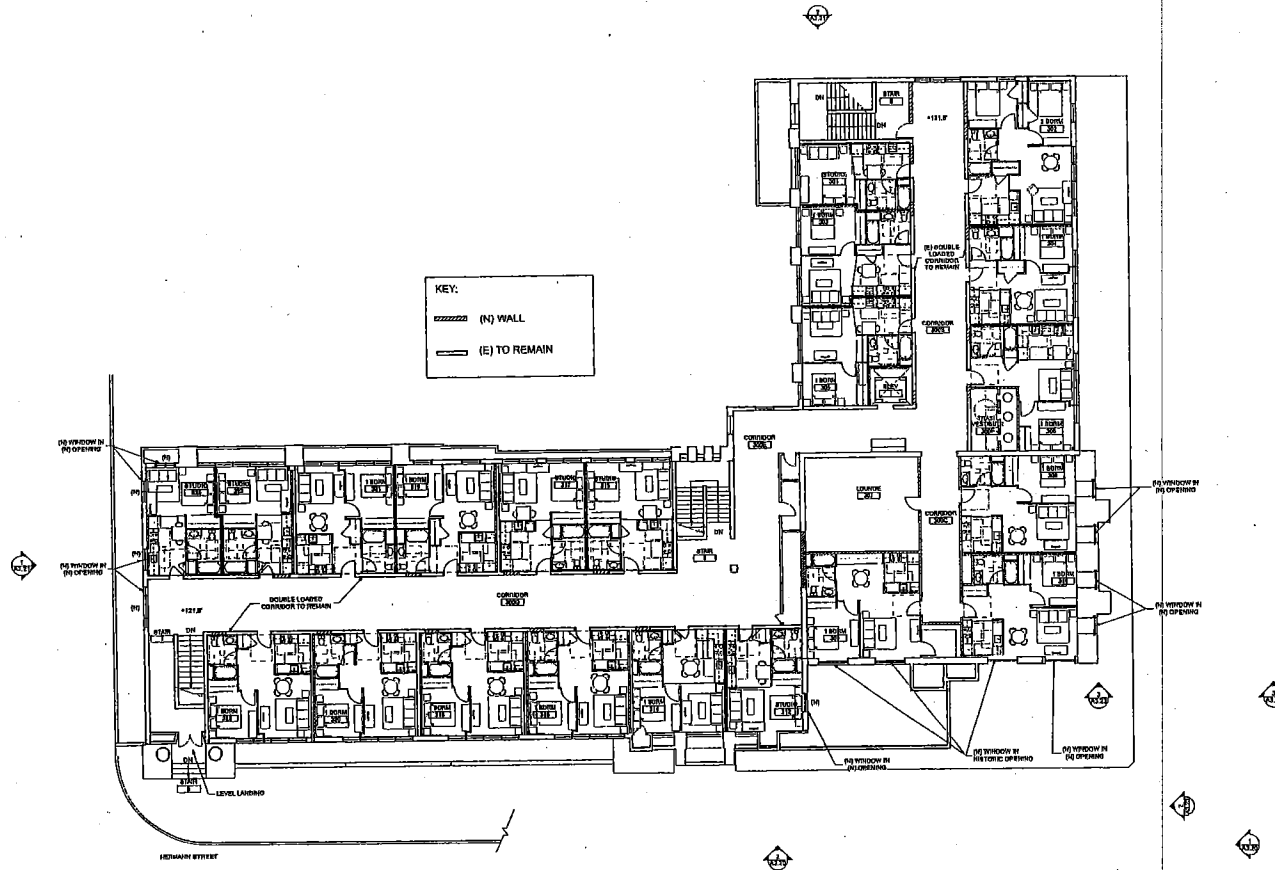


1955

RICHARDSON HALL: VARIANT A

PROPOSED THIRD LEVEL PLAN

1957

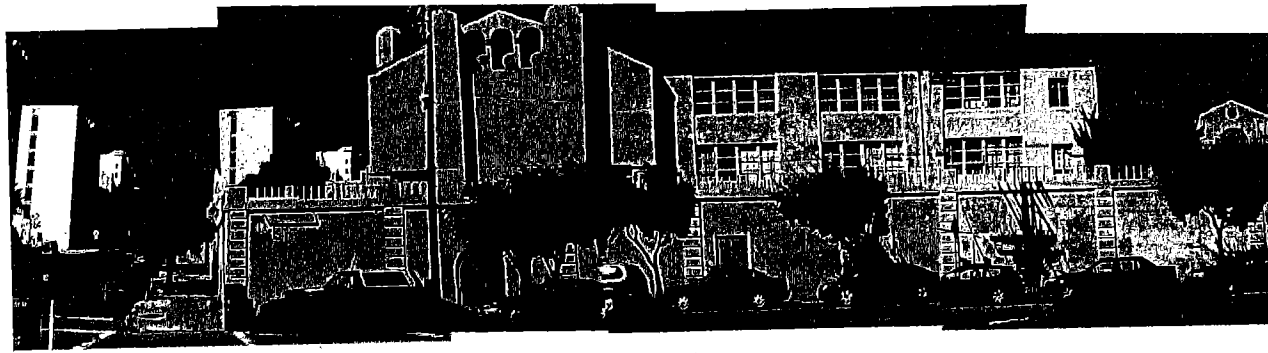


MAY 2012

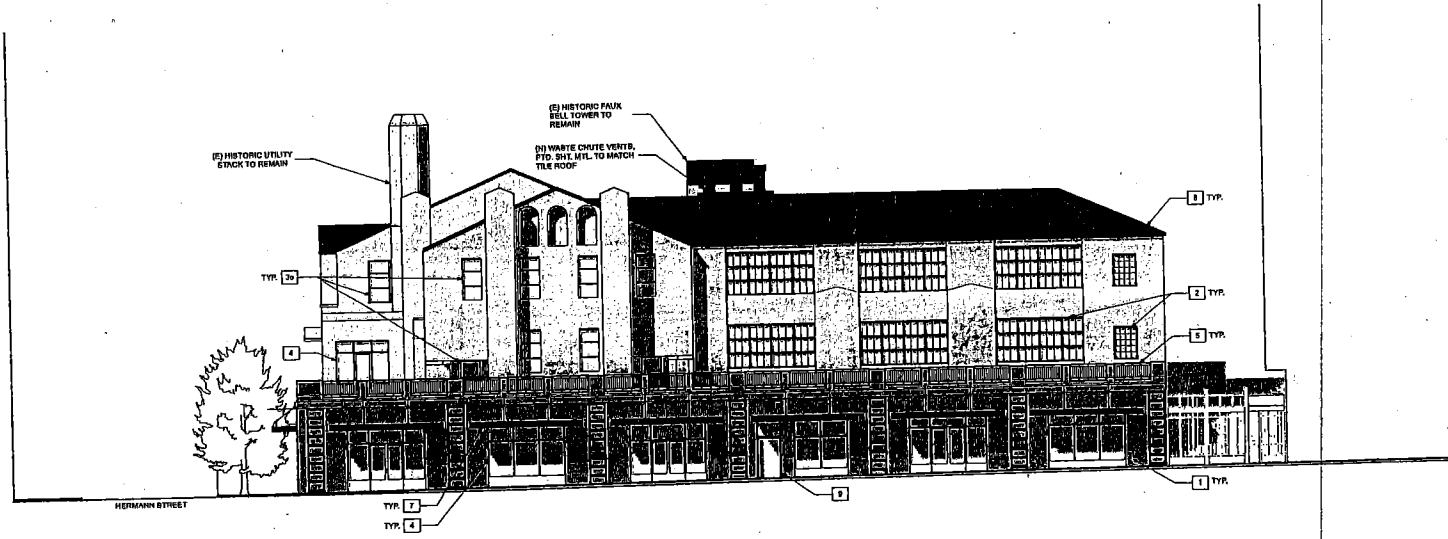
EXISTING AND
PROPOSED DRAWINGS:
RICHARDSON HALL

RICHARDSON HALL: VARIANT A

PROPOSED LAGUNA STREET ELEVATION



1959



MATERIAL LIST

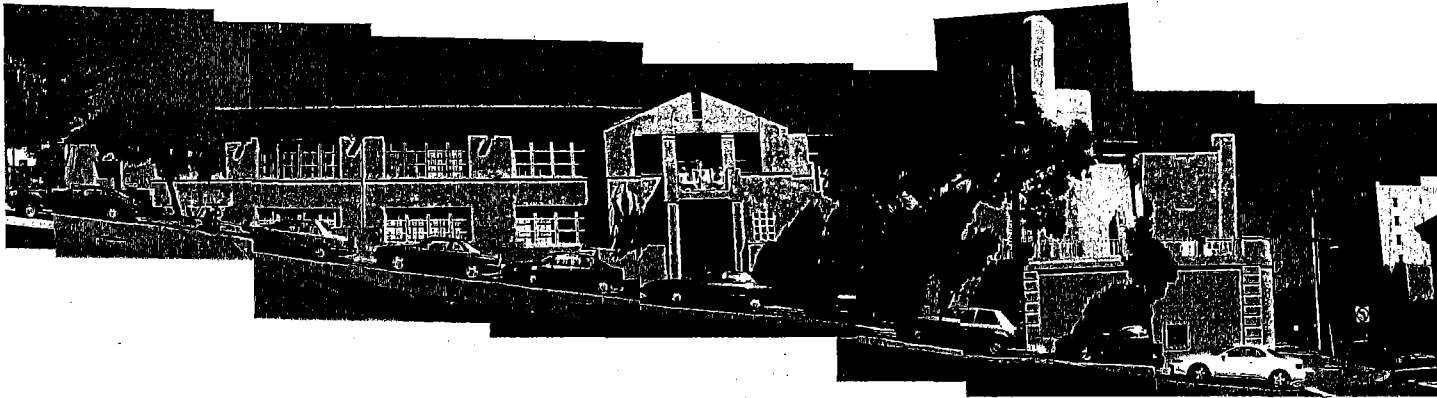
- 1 (E) CEMENT PLASTER
- 2 (E) HISTORIC METAL WINDOWS TO REMAIN
- 3a (N) ALUMINUM WINDOW IN HISTORIC OPENING
- 3b (N) ALUMINUM WINDOW IN (E) OPENING
- 3c (N) ALUMINUM WINDOW IN (N) OPENING
- 4 (N) ALUMINUM STOREFRONT SYSTEM
- 5 (E) HISTORIC METAL GUARDRAIL TO REMAIN
- 6 (N) METAL GUARDRAIL
- 7 (N) METAL CANOPY
- 8 (E) MISSION TILE ROOF
- 9 (N) EXTERIOR DOOR
- 10 (N) WALL TO MATCH (E)
- 11 (N) BRANDREL PANEL
- 12 (E) METAL CAP
- 13 (E) LOUVERED VENT

EXISTING AND
 PROPOSED DRAWINGS:
 RICHARDSON HALL

MAY 2012

RICHARDSON HALL: VARIANT A

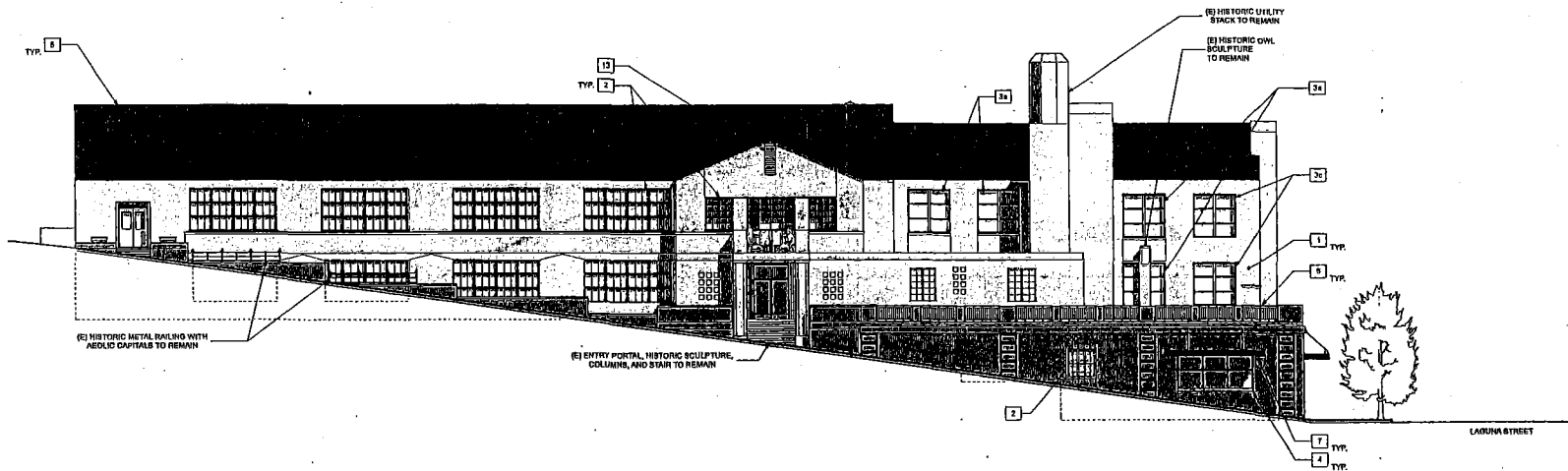
PROPOSED HERMANN STREET ELEVATION



MATERIAL LIST

- 1 (E) CEMENT PLASTER
- 2 (E) HISTORIC METAL WINDOWS TO REMAIN
- 3a (N) ALUMINUM WINDOW IN HISTORIC OPENING
- 3b (N) ALUMINUM WINDOW IN (E) OPENING
- 3c (N) ALUMINUM WINDOW IN (N) OPENING
- 4 (N) ALUMINUM STOREFRONT SYSTEM
- 5 (E) HISTORIC METAL GUARDRAIL TO REMAIN
- 6 (N) METAL GUARDRAIL
- 7 (N) METAL CANOPY
- 8 (E) MISSION TILE ROOF
- 9 (N) EXTERIOR DOOR
- 10 (N) WALL TO MATCH (E)
- 11 (N) SPANDREL PANEL
- 12 (E) METAL CAP
- 13 (E) LOUVERED VENT

1960



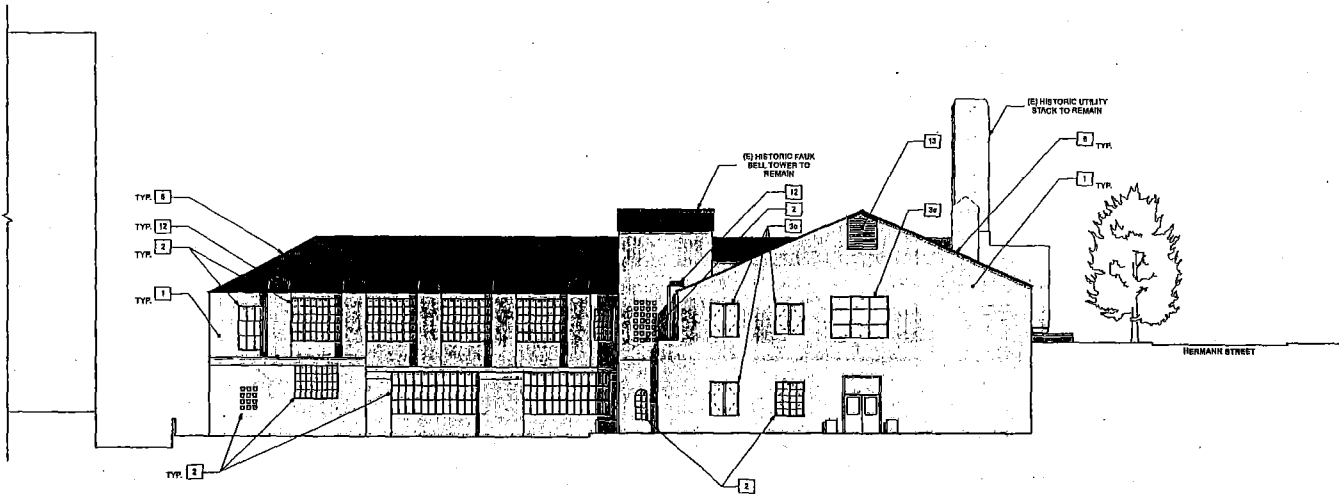
EXISTING AND
PROPOSED DRAWINGS:
RICHARDSON HALL

RICHARDSON HALL: VARIANT A

PROPOSED WEST ELEVATION



1961



MATERIAL LIST

- 1 (E) CEMENT PLASTER
- 2 (E) HISTORIC METAL WINDOWS TO REMAIN
- 3a (N) ALUMINUM WINDOW IN HISTORIC OPENING
- 3b (N) ALUMINUM WINDOW IN (E) OPENING
- 3c (N) ALUMINUM WINDOW IN (N) OPENING
- 4 (N) ALUMINUM STOREFRONT SYSTEM
- 5 (E) HISTORIC METAL GUARDRAIL TO REMAIN
- 6 (N) METAL GUARDRAIL
- 7 (N) METAL CANOPY
- 8 (E) MISSION TILE ROOF
- 9 (N) EXTERIOR DOOR
- 10 (N) WALL TO MATCH (E)
- 11 (N) SPANDREL PANEL
- 12 (E) METAL CAP
- 13 (E) LOUVERED VENT

MAY 2012

- 57 -

YAN METER
 WILLIAMS
 POLLACK

WOOD

openhousE

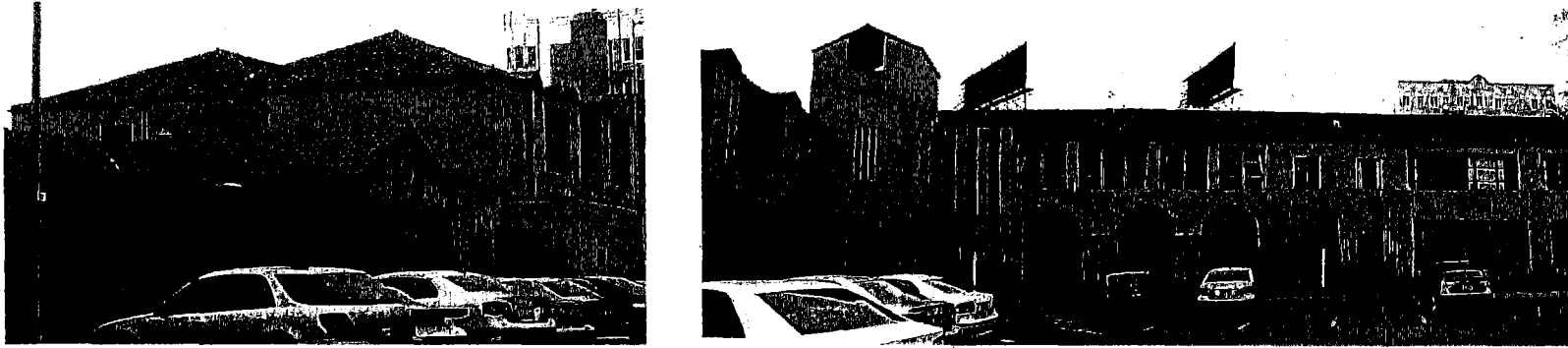
mercyHOUSING

PAGE & TURNBULL

EXISTING AND
 PROPOSED DRAWINGS:
 RICHARDSON HALL

RICHARDSON HALL: VARIANT A

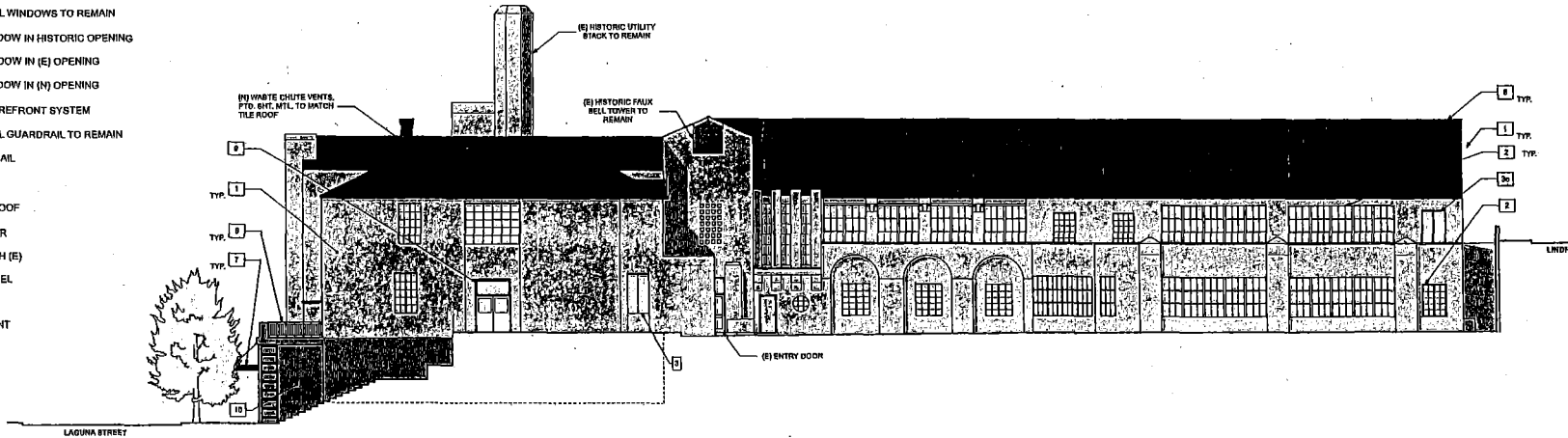
PROPOSED NORTH ELEVATION



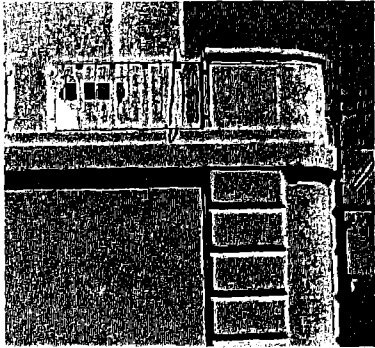
MATERIAL LIST

- 1 (E) CEMENT PLASTER
- 2 (E) HISTORIC METAL WINDOWS TO REMAIN
- 3a (N) ALUMINUM WINDOW IN HISTORIC OPENING
- 3b (N) ALUMINUM WINDOW IN (E) OPENING
- 3c (N) ALUMINUM WINDOW IN (N) OPENING
- 4 (N) ALUMINUM STOREFRONT SYSTEM
- 5 (E) HISTORIC METAL GUARDRAIL TO REMAIN
- 6 (N) METAL GUARDRAIL
- 7 (N) METAL CANOPY
- 8 (E) MISSION TILE ROOF
- 9 (N) EXTERIOR DOOR
- 10 (N) WALL TO MATCH (E)
- 11 (N) SPANDREL PANEL
- 12 (E) METAL CAP
- 13 (E) LOUVERED VENT

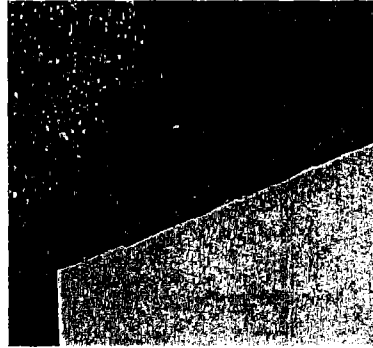
1962



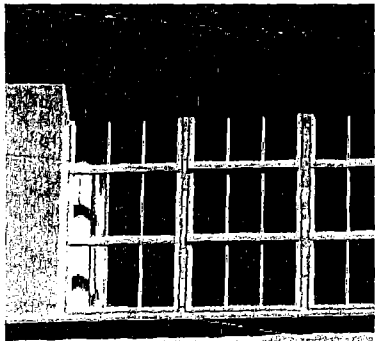
EXISTING AND
PROPOSED DRAWINGS:
RICHARDSON HALL



(E) Cement Plaster Example



(E) Tile Roof Example



(E) Metal Window Example



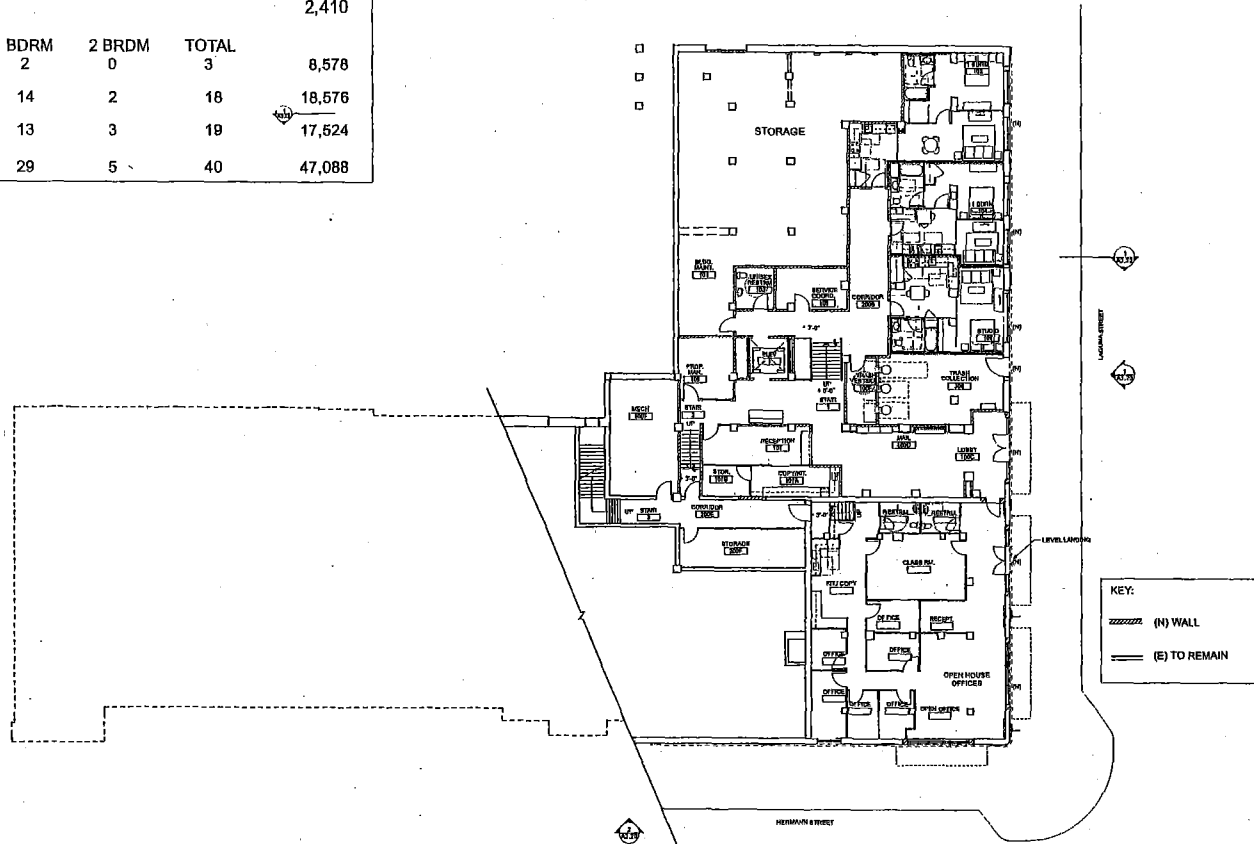
(N) Storefront Example
PTD, color to match windows

1963

RICHARDSON HALL: VARIANT B

PROPOSED BASEMENT PLAN

STATISTICS					GROSS AREA 2,410
OPEN HOUSE OFFICE					
	STUDIOS	1 BDRM	2 BRDM	TOTAL	
1ST FLOOR:	1	2	0	3	8,578
2ND FLOOR:	2	14	2	18	18,576
3RD FLOOR:	3	13	3	19	17,524
TOTAL:	6	29	5	40	47,088

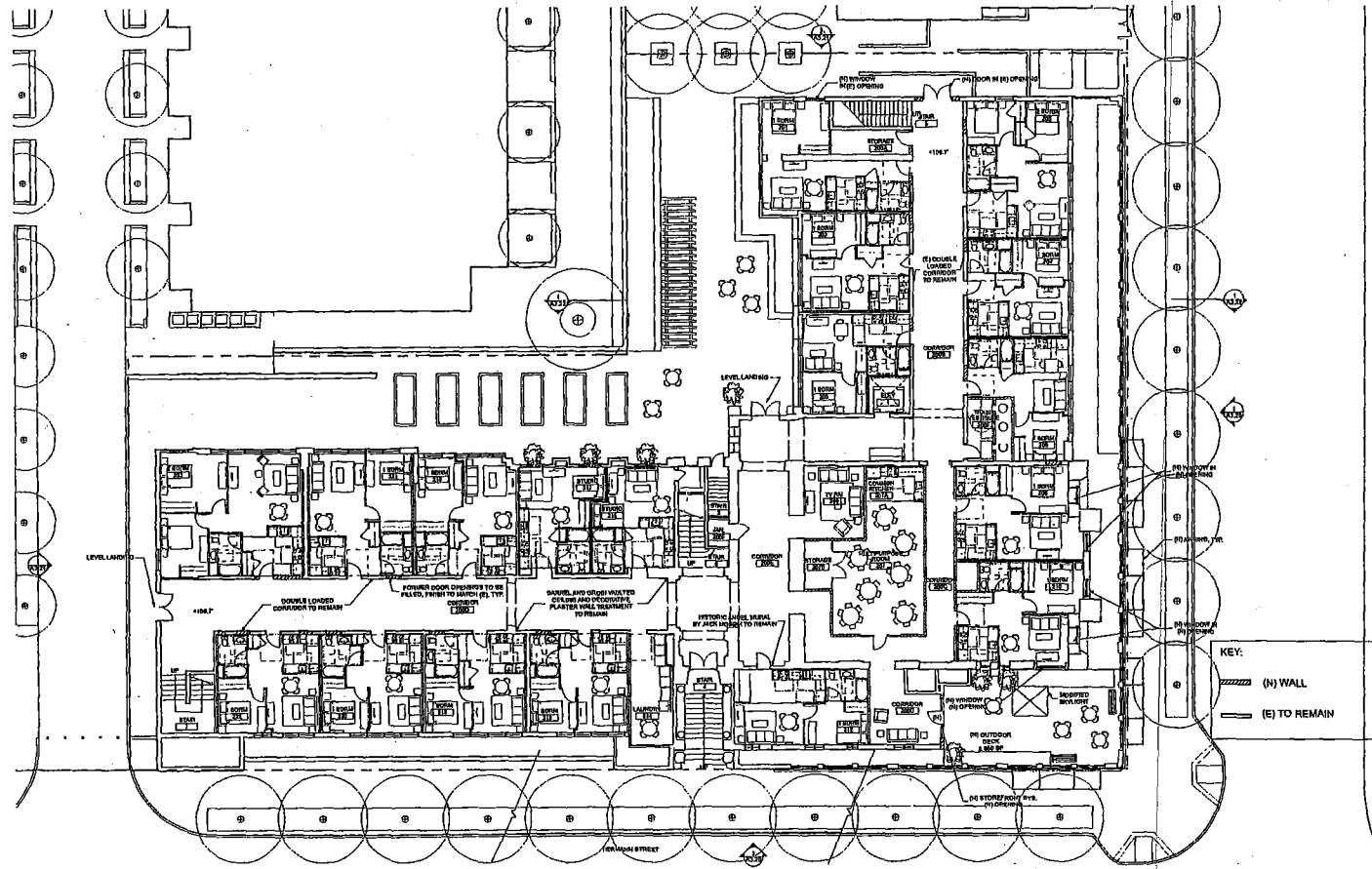


1964

EXISTING AND
PROPOSED DRAWINGS:
RICHARDSON HALL

RICHARDSON HALL: VARIANT B

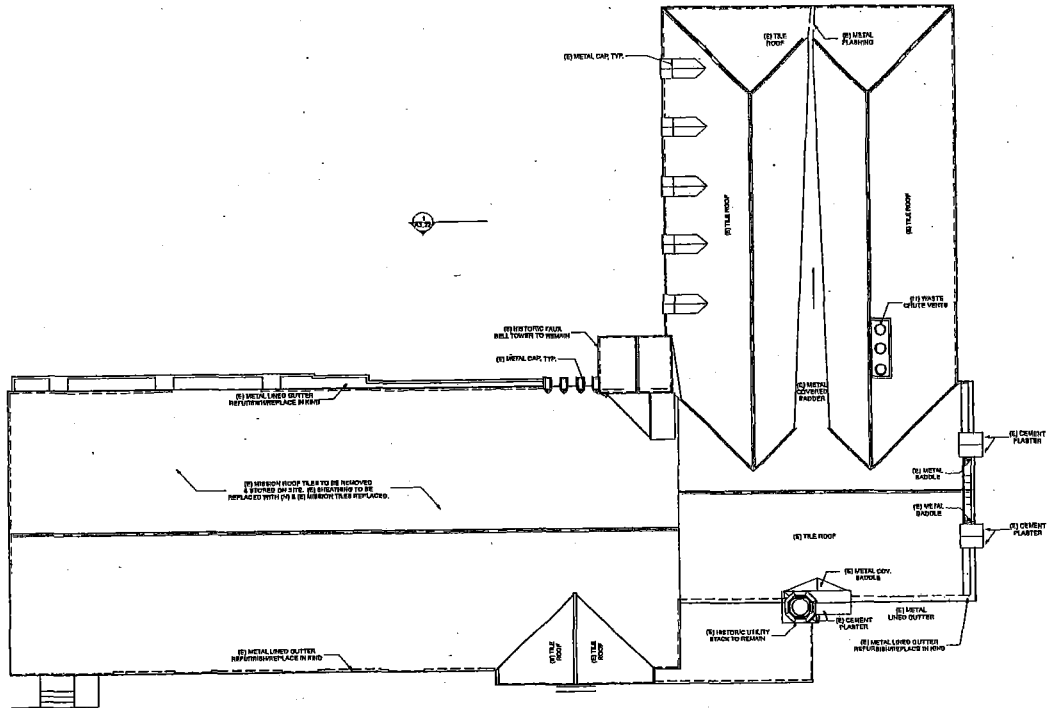
PROPOSED SECOND LEVEL PLAN



1965

RICHARDSON HALL: VARIANT B

EXISTING AND PROPOSED ROOF PLAN



1967

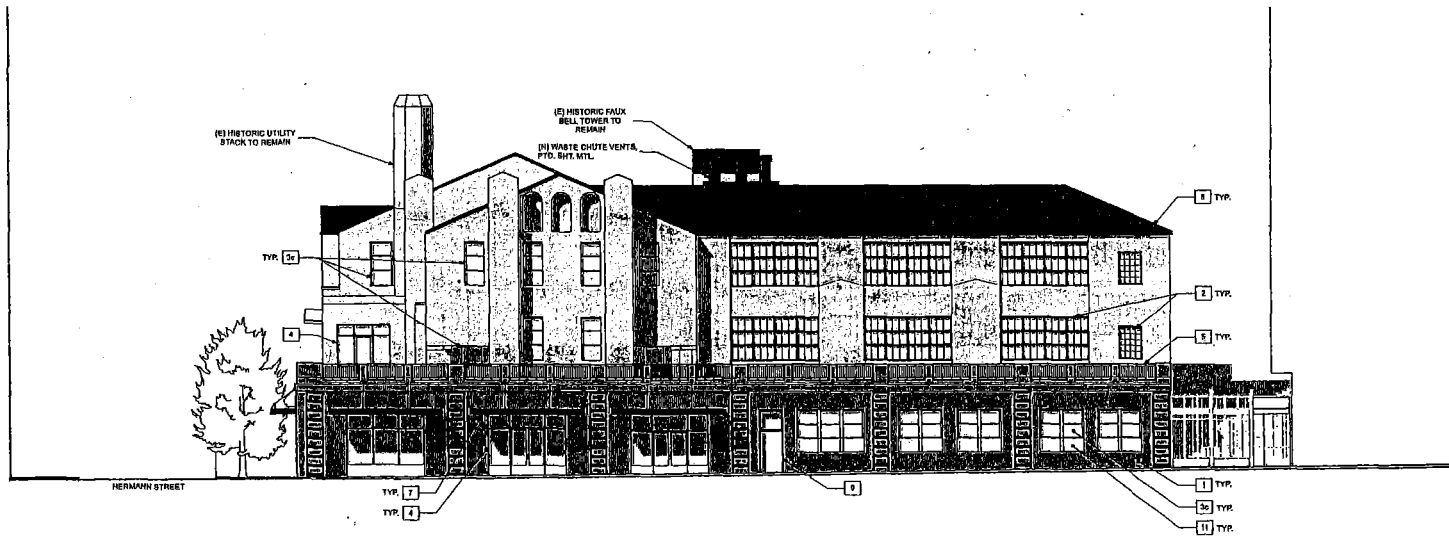
EXISTING AND
PROPOSED DRAWINGS:
RICHARDSON HALL

RICHARDSON HALL: VARIANT B

PROPOSED LAGUNA STREET ELEVATION



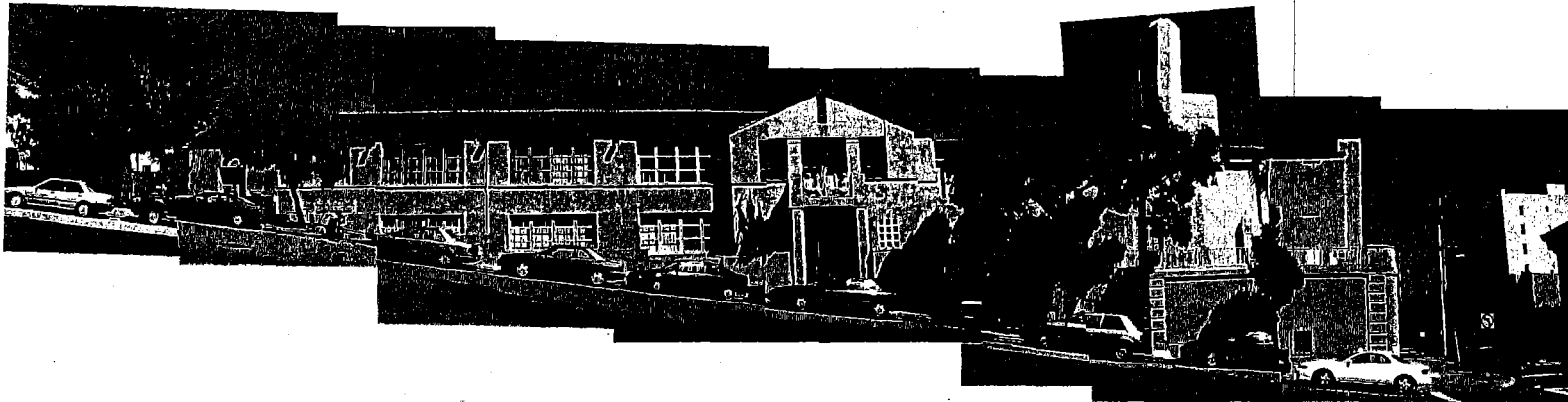
1968



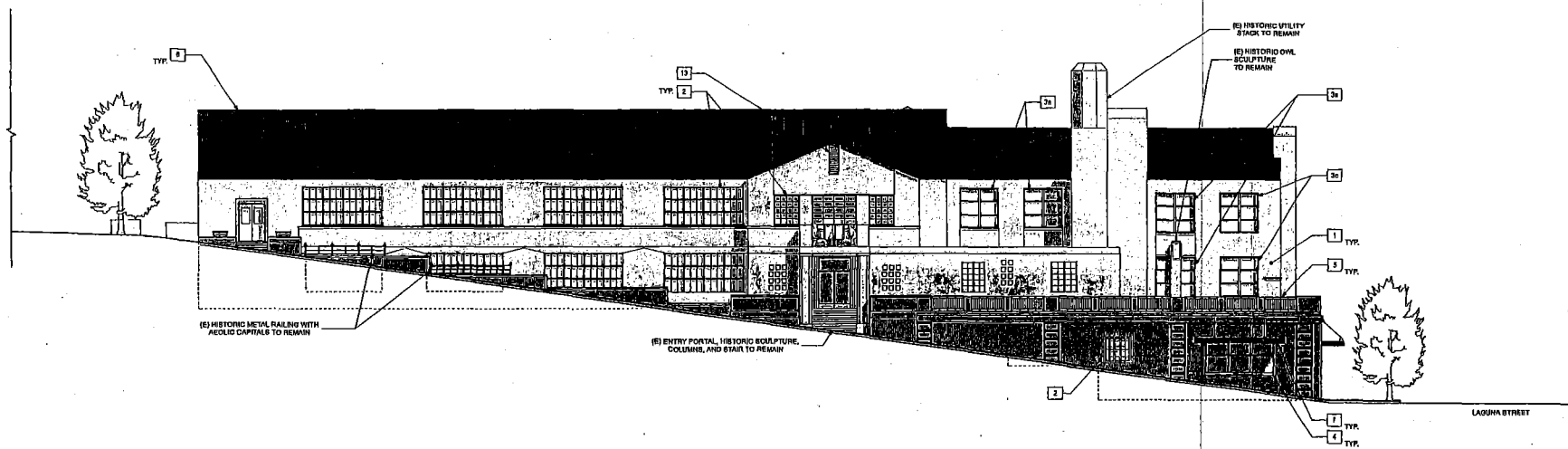
EXISTING AND
PROPOSED DRAWINGS:
RICHARDSON HALL

RICHARDSON HALL: VARIANT B

PROPOSED HERMANN STREET ELEVATION



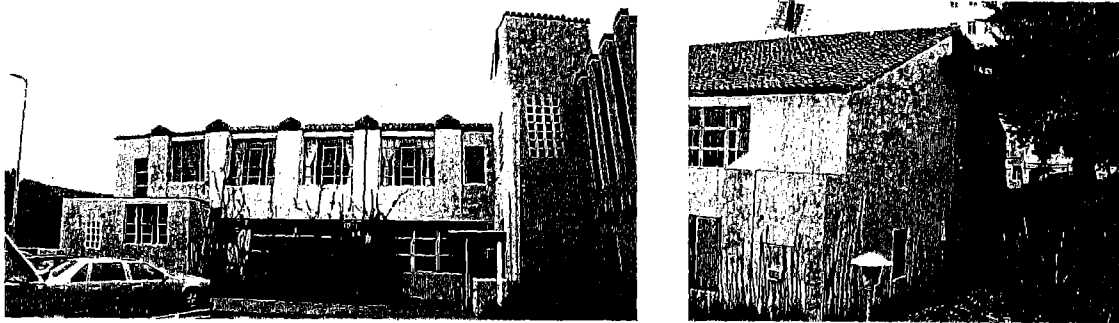
1969



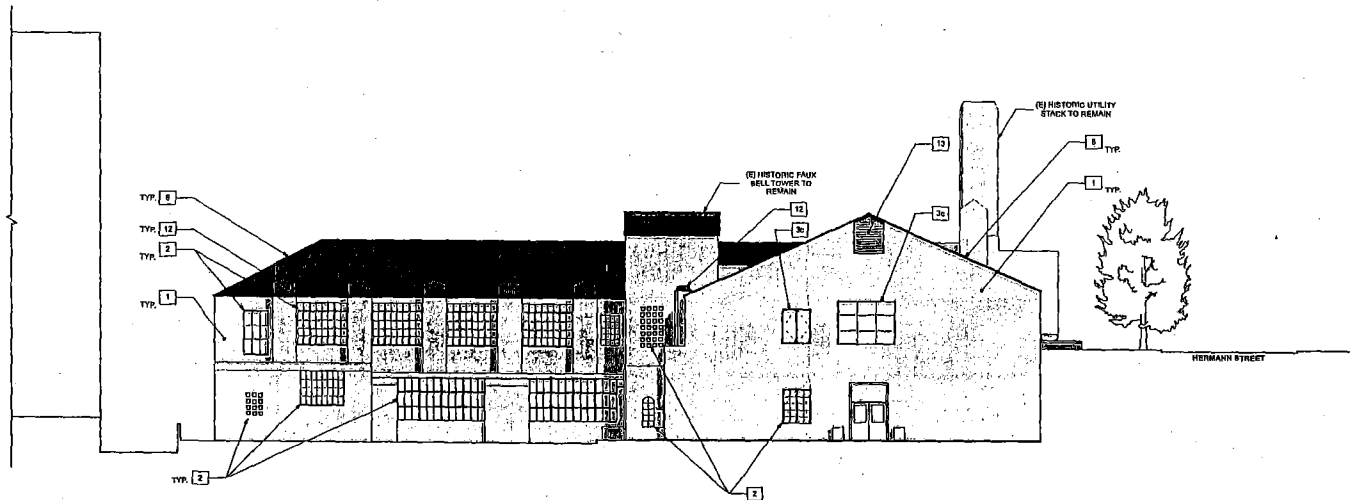
EXISTING AND
PROPOSED DRAWINGS:
RICHARDSON HALL

RICHARDSON HALL: VARIANT B

PROPOSED WEST ELEVATION



1970



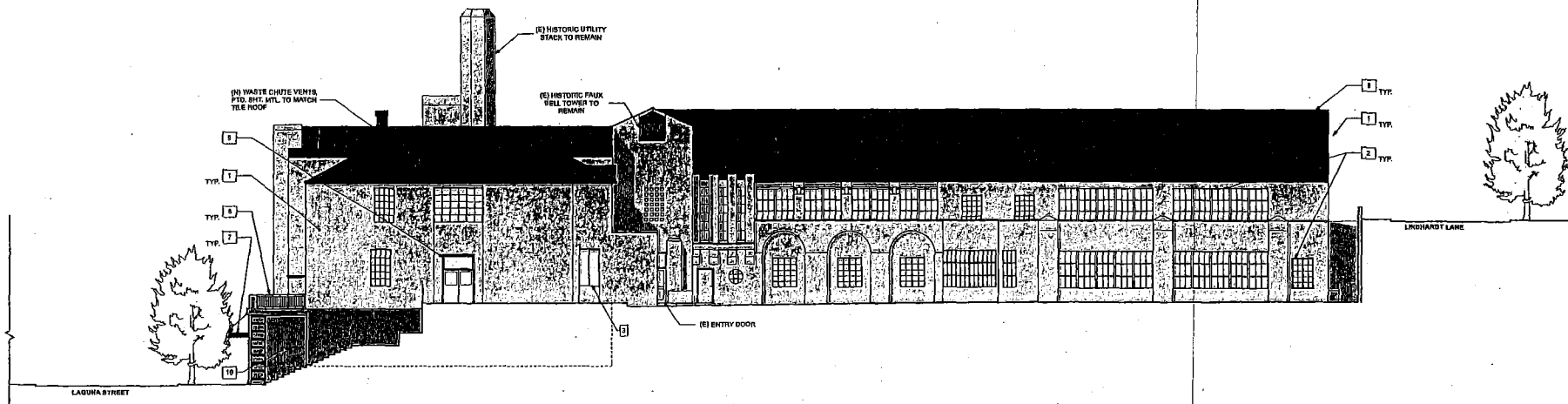
EXISTING AND
PROPOSED DRAWINGS:
RICHARDSON HALL

RICHARDSON HALL: VARIANT B

PROPOSED NORTH ELEVATION



1971



EXISTING AND
PROPOSED CHANGES
RICHARDSON HALL

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YAN METER
WILLIAMS
POLLACK'S

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