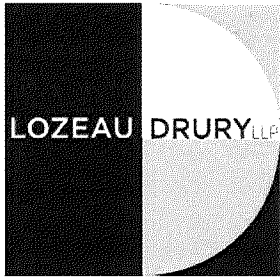


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November 22, 2017

Angela Cavillo  
Clerk of the Board  
San Francisco Board of Supervisors  
City Hall, Room 244  
1 Dr. Carlton B. Goodlett Place  
San Francisco, CA 94102

**RE: Notice of Appeal and Appeal of San Francisco Planning Department CEQA  
Exemption for 2417 Green Street, Case No. 2017-002545ENV**

Dear Ms. Calvillo:

PLEASE TAKE NOTICE THAT, pursuant to San Francisco Administrative Code Section 31.16, and on behalf of Philip Kaufman (“Appellant”), this letter appeals the San Francisco Planning Department’s issuance of a categorical exemption from the California Environmental Quality Act (“CEQA”) for the above referenced matter. Specifically, this appeal arises from the Department of Building Inspection’s (“DBI”) issuance on November 3, 2017 of Permit BPA 201710020114, allowing certain construction to commence prior to the Planning Department’s consideration of the Project under Planning Code Section 311 which would allow affected neighbors to provide evidence of Project impacts.<sup>1</sup> The City approved illegal construction activities and a CEQA exemption for a project with indisputable environmental impacts.

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<sup>1</sup> The City provided notice under Planning Code Section 311 on October 23, 2017. However, the Project sponsor has permits to commence foundation demolition and other work prior to the Section 311 hearing before the Planning Commission. This sequence of events presents real concerns that Project impacts will occur before the public has a chance to present its concerns about such impacts.

## **I. Introduction**

A private for-profit developer (“Developer”) has proposed to largely destroy the existing home at 2417 Green Street, and construct a much larger home on the site that will adversely affect the neighborhood, including the historic home located at 2421 Green Street built in 1893 by noted architect Ernest Coxhead as his personal residence. (Exhibit A). The application initially described the Project as “the remodel, alterations and horizontal addition to an existing 4-story over basement single-family residence and includes:

1. Expansion of garage in basement level,
2. 1<sup>st</sup>, 2<sup>nd</sup>, and 3<sup>rd</sup> story horizontal rear yard addition,
3. Alterations to front façade,
4. Excavation and full foundation replacement,
5. Lowering building,
6. Interior remodel throughout.”<sup>2</sup>

Code Section 31.16 requires appellants to submit a letter of appeal to the Clerk of the Board within 30 calendar days of the approval action describing the grounds for appeal. Here, the approval action is DBI’s permit of November 3, 2017. Mr. Kaufman’s grounds for appeal include violations of the California Environmental Quality Act (“CEQA”), California Civil Code § 832, San Francisco Building Code § 3307, San Francisco’s Maher Ordinance and San Francisco’s Historic Resource Preservation Ordinance and the Cow Hollow Neighborhood Design Guidelines. Specifically, and fully discussed below, prior to Project construction, CEQA requires the City to:

1. Investigate potential impacts on the significant historical resource at 2421 Green Street, immediately uphill from the Project;
2. Investigate risk of foundation damage to 2421 Green Street, an historical resource located immediately uphill, under California Building Code 3307 and Civil Code §832;
3. Investigate potential soil impacts given the site is identified on the City’s Maher Map of sites with “known or suspected soil or groundwater contamination;” and,
4. Not engage in unlawful CEQA “piecemealing.”

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<sup>2</sup> See Environmental Evaluation Set, at p. 1 (February 10, 2017).

The home at 2421 Green Street, immediately adjacent and uphill from the proposed project, was constructed in 1893 by noted architect Ernest Coxhead as his personal residence. It has been extensively studied in books and treatises about historically significant homes and architecture. The California Office of Historic Preservation has determined that the house at 2421 Green Street is "clearly eligible" for listing on the National Register of Historic Places. (Attached, Exhibit B). As such, the house is a historic property under CEQA and San Francisco's CEQA Guidelines. Under CEQA sections 21084(e), and 21084.1, and CEQA guidelines sections 15064.5, and 15300.2, a categorical exemption from CEQA may not be issued for any project that may cause a substantial adverse change in the significance of an historical resource. This includes changes to the "immediate surroundings such that the significance of an historic resource would be materially impaired." CEQA Guidelines section 15064.5(b)(1).

The proposed project would block views from numerous windows, blocking light and air to the historic home at 2421 Green Street, which would impair the historic integrity of the home. The proposed foundation work threatens to undermine the integrity of the historic home, which sits on its original tall brick foundation, which may be undermined by the proposed project. Also, the slope of the property vastly exceeds 20% and the excavation will require much more than 50 cubic yards of soil removal – over 400 cubic yards. Therefore the CEQA exemption is improper.

The project drawings and the Developer's own description make clear that the foundation is an integral part of the project, which involves a rear yard expansion of approximately 20 feet. The current garage is a small garage of 337 square feet. The proposed garage would be almost 1,000 square feet (995 SF), and would accommodate 3-4 cars. This is clearly not a repair and replacement of an existing garage, but rather a major expansion. According to the environmental evaluation, the foundation work would require 408 cubic yards of soil removal and would involve excavation 13 feet below grade. This is particularly concerning since the site is listed on the City's Maher Map of potentially contaminated sites, so soil disturbance could expose residents to hazardous materials. (Maher Map attached as Exhibit C).

Under CEQA, the City may not "piecemeal" the Project. CEQA requires analysis of the "whole of the action." In this case, the Section 311 notice for the Project was issued on October

23, 2017, commencing the 30-day period to request discretionary review by the Planning Commission. Nevertheless, the City issued the instant permit on November 3, 2017, allowing the Developer to construction the foundation for the very same Project, even before the time to request discretionary review has passed. The City may not allow the foundation work to proceed while the remainder of the project has not completed discretionary review by the Planning Commission, CEQA review and appeals.

The project drawings make clear that the proposed foundation is an integral part of the project. The developer's own environmental evaluation describes the foundation work as part of the overall project. The city's categorical exemption describes the foundation work as part of the overall project (attached as Exhibit E). The project drawings clearly show the foundation as being part of the project. (See Exhibit 1, p. 37 [A3.1]). The Board of Supervisors should at the very least put a hold on the foundation work until discretionary review by the Planning Commission is completed for the entire project.

We urge the Board of Supervisors to stop this unlawful “piecemealing” of the foundation from the remainder of the project, which is a clear violation of CEQA. Work on the foundation of the project should not be allowed to proceed unless and until discretionary review is completed for the entire project.

## **II. Factual Background**

On February 14, 2017, the City received an “application for environmental evaluation” for construction at 2417 Green Street. (Exhibit D). The application described the Project as “the remodel, alterations and horizontal addition to an existing 4-story over basement single-family residence and includes:

1. Expansion of garage in basement level,
2. 1<sup>st</sup>, 2<sup>nd</sup>, and 3<sup>rd</sup> story horizontal rear yard addition,
3. Alterations to front façade,
4. Excavation and full foundation replacement,
5. Lowering building,
6. Interior remodel throughout.”<sup>3</sup>

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<sup>3</sup> See Categorical Exemption Determination, at p. 1 (February 10, 2017) (Exhibit E).



On May 16, 2017, the City issued a categorical exemption to CEQA. The CEQA exemption described the Project as “Alterations to an existing four-story-over-basement single-family residence with one vehicle parking space. Excavate to add two vehicle parking spaces. Three-story rear addition. Facade alterations and foundation replacement. Lower existing building.”<sup>4</sup> The categorical exemption acknowledged the Project could present potentially significant impacts concerning hazardous materials, archeological resources, steep slope and historical resources.<sup>5</sup> Despite clear evidence of environmental impacts in need of investigation and proposed mitigation and project alternatives, the City declared “no further environmental review is required.”<sup>6</sup>

On May 18, 2017, the Department of Building Inspection (“DBI”) issued permit BPA 2017-05116316 for “garage expansion partial deteriorated basement wall and foundation replacement with new landscaping site wall at back yard.” (Exhibit F). This work constitutes the foundation for the proposed Project.

On September 28, 2017, DBI issued a stop work order on grounds that the DBI’s permit was finalized “without review by the Department of City Planning.” (Exhibit G).

In an email to a Green Street resident on October 3, 2017, the Planning Department made clear the Project would not go forward until the Planning Department reviewed the foundation permit for code-compliance. (Email from Christopher May to Susan Byrd). (Exhibit H).

Then on October 12, 2017, the Planning Department reversed course and approved the foundation work, but in order to do so it asked the applicant to remove a component from suspended permit, BPA 2017.05.11.6316. At DBI’s request, the applicant removed from the application a proposed rear wall. Apparently, the only way DBI could issue a permit for the work was for the applicant to omit the “new landscaping site wall at back yard.” The proposed rear wall will be added back into the application later for Planning Department review.

On October 23, 2017, the Planning Department sent the subject Notice of Building Permit Application (Section 311), with a new project description: “The proposal is to lower all

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<sup>4</sup> Cat Ex, at p.1. (Exhibit E)

<sup>5</sup> Id., at p. 2.

<sup>6</sup> Id., at p.4.

floor plates by approximately 2 feet, construct 1- and 3- story horizontal rear additions, as well as 3<sup>rd</sup> and 4<sup>th</sup> floor additions above the existing single-family dwelling. The floor area would increase from approximately 4,118 square feet to approximately 5,115 square feet. The project also proposes facade alterations, interior modifications including the expansion of the existing basement level garage to accommodate another vehicle and the partial excavation of the rear yard.”<sup>7</sup> (Exhibit I).

On November 3, 2017, DBI issued BPA 201710020114 allowing the foundation work to proceed absent the landscaping wall in the back yard. (Exhibit J).

As the foregoing makes clear, the foundation expansion is an integral part of the whole project. The proposed Project is expansive regardless of DBI’s and the Project sponsor’s attempts to chop it up into pieces. The whole Project should have gone through all legally-required approvals at all applicable City agencies before any construction work was approved. As it stands, it is difficult for public to get a full picture of the Project and the scope of the City’s approval process even though DBI has already approved construction work.

### **III. The Project is not Exempt from CEQA**

Despite the City’s attempt to fragment this single construction project into smaller pieces, all of the available evidence shows that the Project is not eligible for a categorical exemption under CEQA. Most obviously, the CEQA statute provides that if a project **may** cause a substantial adverse change in the significance of a historical resource, that project **shall not be exempted** from CEQA review.<sup>8</sup> Categorical exemptions are allowed for certain classes of activities that can be shown not to have significant effects on the environment.<sup>9</sup> Public agencies utilizing CEQA exemptions must support their determination that a particular project is exempt with substantial evidence that support each element of the exemption.<sup>10</sup> A court will reverse an

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<sup>7</sup> Notice of Building Permit Application (October 23, 2017).

<sup>8</sup> CEQA § 21084.1, CEQA Guidelines 15300.2(f).

<sup>9</sup> CEQA § 21084(a).

<sup>10</sup> CEQA § 21168.5.

agency's use of an exemption if the court finds evidence a project may have an adverse impact on the environment.<sup>11</sup>

As noted above, the City's CEQA exemption admitted the Project could present potentially significant impacts concerning hazardous materials, archeological resources, steep slope and historical resources. Importantly, **the City evaluated the wrong historical resource**, focusing on the subject property rather than a recognized significant historical landmark immediately adjacent and uphill from the Project at 2421 Green Street. The facts below show the City may not rely on the categorical exemption for this Project.

### 1. **The Project May Cause Significant Impacts on a Historical Resource**

To date, City agencies, both DBI and the Planning Department, have ignored the potentially significant impacts the Project would have on an historical resource, because the agencies have overlooked Mr. Kaufman's residence at 2421 Green Street, known as the Coxhead House. Specifically, the CEQA exemption for the proposed Project contained a supplemental historic resource determination only for the subject property, and did not investigate whether the Project itself may pose negative effects on Mr. Kaufman's property.<sup>12</sup>

Mr. Kaufman's property is an historic resource. The California Office of Historic Preservation deemed the Coxhead House "clearly eligible" for the National Park Service's Register of Historic Places.<sup>13</sup> Properties deemed eligible for listing on the national historic registry of historic places, like the Coxhead House, are protected under CEQA. An historical resource is a resource listed in, **or determined to be eligible for listing** in, the California Register of Historical Resources.<sup>14</sup> If a project **may** cause a substantial adverse change in the significance of a historical resource, that project **shall not be exempted** from the statute.<sup>15</sup>

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<sup>11</sup> *Dunn Edwards Corp. v. Bay Area Air Quality Management Dist.* (1992) 9 Cal.App.4th 644, 656.

<sup>12</sup> See Supplemental Information for Historic Resource Determination, prepared by Tim Kelly Consulting (January 2017).

<sup>13</sup> Letter from Office of Historic Preservation, at p. 1 (September 13, 2017). (Exhibit B).

<sup>14</sup> See San Francisco Preservation Bulletin No. 16 (2004); CEQA §21084(e); CEQA Guidelines §15300.2(f).

<sup>15</sup> CEQA § 21084.1; CEQA Guidelines §15300.2(f); San Francisco Administrative Code §31.08(e)(3).

Mr. Kaufman's house was designed by renowned California architect Ernest Albert Coxhead in 1893.<sup>16</sup> Mr. Coxhead lived in the residence with his family while he practiced architecture in San Francisco. The house is considered one of the finest remaining examples of Late Victorian Shingle Style, and architecture of the First Bay Area Tradition. The Coxhead House is architecturally unchanged since the original construction date save for a few necessary modernizations. The site and setting of the house was elaborately described in a 1986 book, On The Edge Of The World, by Richard Longworth, as an important example of architectural adaptation for building on a difficult site. The property has been written about in many other notable books and scholarly works for decades.

The house is one of the few Coxhead nineteenth century buildings to survive the devastating 1906 earthquake and fires. The house's shingled architectural details greatly influenced the work of later renowned Bay Area architects including Julia Morgan and Bernard Maybeck.<sup>17</sup> The house is a San Francisco treasure.

The Coxhead House is location on steep, narrow Green Street between Cow Hollow and Pacific Heights. It is a three-story, wood-framed building clad in red cedar shingles, trimmed with painted redwood Arts & Crafts fenestration and trim. It has steeply pitched roofs and articulated dormers and ribbons of windows facing San Francisco Bay. The rear garden is contiguous with another Historic Landmark (No. 51), the Casebolt House. The state of California has found the Coxhead Residence "clearly eligible for the National Register of Historic Places," because "the Earnest Coxhead house is in outstanding and original condition, and retains an unusually high degree of historic integrity."<sup>18</sup>

To assist with CEQA compliance for the protection of historic resources, San Francisco adopted Preservation Bulletin No. 16 (the "Bulletin"). That Bulletin sets out a two-step process for evaluating the potential for proposed projects to impact historical resources. First, a Preservation Planner determines whether the property is an historical resource as defined by CEQA Guidelines Section 15064.5(a)(3); and, second, if the property is an historical resource, it

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<sup>16</sup> Nomination for Listing National Register of Historic Places, August 28, 2017 (Exhibit K) : "A Pair of Coxheads," Maley, Bridget (Exhibit L).

<sup>17</sup> See Nomination for Listing National Register of Historic Places, August 28, 2017 (Exhibit K).

<sup>18</sup> Letter from Office of Historic Preservation, at p.1 (September 13, 2017). (Exhibit B).

then evaluates whether the proposed action or project would cause a “substantial adverse change” to the historical resource.<sup>19</sup>

CEQA defines a “substantial adverse change” as the physical demolition, destruction, relocation or alteration of the historical resource **or its immediate surroundings** such that the significance of the historical resource would be materially impaired. CEQA goes on to define “materially impaired” as work that materially alters, in an adverse manner, those physical characteristics that convey the resource’s historical significance and justify its inclusion in the California Register of Historic Places, a local register of historical resources, or an historical resource survey.<sup>20</sup> Here it is necessary for the City to consider not only the project site, but also the “immediate surroundings.” For example, in one case, a new fence was prohibited near a historic granite wall in Los Angeles because the fence would detract from the historic significance of the wall.<sup>21</sup> Similarly, the proposed Project at 2417 Green Street will have significant adverse effects on the historic qualities of the immediately adjacent, contiguous, Coxhead House at 2421 Green Street.

Here, the record shows the Coxhead House is a Category A.1 Historical Resource under the Bulletin 16 analysis because it has been formally determined to be eligible for the California Register.<sup>22</sup> Therefore, the City is required to move to step 2 to conduct a fact-based analysis to determine which type of environmental document is required.<sup>23</sup> Although the City has so far abdicated its responsibility to protect the Coxhead House, the record nevertheless shows the proposed Project could adversely and materially alter the Coxhead House in several ways.

First, the Coxhead House sits on its original, tall, unreinforced brick foundation. This unique foundation is a component of the original character of the house. Any work to the foundation at the contiguous downslope residence at 2417 could harm the Coxhead House’ brick foundation, which in turn, could require shoring, removing or replacing the Coxhead House’s existing, historic brick foundation. Such replacement work would destroy the historic, original

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<sup>19</sup> San Francisco Preservation Bulletin No. 16, at p. 2.

<sup>20</sup> CEQA Guidelines 15064.5(b), Bulletin 16, p. 9.

<sup>21</sup> *Committee to Save the Hollywoodland Specific Plan v. City of Los Angeles* (2008) 161 Cal. App. 4th 1168.

<sup>22</sup> Bulletin 16, at pp. 2-3.

<sup>23</sup> *Id.*, at p. 9.

foundation which survived the 1906 earthquake. According to the Project plans, the Project proponent intends excavation approximately 14 to 16 feet deep in order to construct a new foundation to support a much larger garage. This is particularly significant given the extreme slope steepness of approximately 35% for both properties as measured at the street.

In addition, the proposed Project intends to build a 4-story addition extending approximately 20 feet into the rear yard. This expansion will completely block numerous windows in the Coxhead House. Blocking those windows would eliminate light and air, and the viewshed from that side of the residence. Specifically, views of and from the Coxhead House would be obstructed. Under CEQA, these impacts would materially impair the historic significance of the property.

The historic significance of the Coxhead House is not in dispute. In a major book on American architecture, only two homes of architects are covered, Frank Lloyd Wright's personal residence in Oak Park, Illinois, and Ernest Coxhead's home at 2421 Green Street in San Francisco. It is eligible for official listing in the National Park Service's Register of Historic Places, which protects it under CEQA. Given there is substantial evidence showing the proposed Project could materially impair the house, the City may not exempt the Project from CEQA review and must order a San Francisco Preservation Planner to comply with CEQA by conducting a full historical review analysis on any Project work that could negatively impact the Coxhead House.

## **2. The Project Site is on the Maher List Mandated Investigation of Soil Contamination**

The Project appears on San Francisco's Maher map, which identifies properties with potential hazardous soil and/or groundwater contamination, including sites within 100 feet of current or historical underground storage tanks. (Exhibit C). Projects on properties with potential subsurface chemical contamination that require grading of 50 cubic yards of material are regulated under the San Francisco Maher Ordinance.<sup>24</sup> The Developer admits that the Project will involve removal and disposal of over 400 cubic yards of soil.

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<sup>24</sup> Article 22A of the San Francisco Health Code and Article 106A.3.4.2 of the San Francisco Building Code.

The City waived the Project from compliance with the Maher Ordinance simply because the property has been zoned residential for many years. But a particular zoning designation has no bearing on whether soil excavation could disturb long-standing contamination leaking from known underground storage tanks. The public has a right to know whether mitigation is necessary to protect nearby residents and workers during Project demolition and construction.<sup>25</sup>

Because the project site is located on the Maher map, the Project sponsor is required to:

- Prepare a Maher Ordinance application;
- Submit a Subsurface Investigation Work Plan prepared by an environmental consultant;
- Secure Work Plan approval, and performance of the work described in the Work Plan;
- Submit to proper agencies a Subsurface Investigation Report prepared by a qualified Environmental Consultant; and
- Submit a Site Mitigation Plan which includes a description and design for any required mitigating measures (approval is required before earthwork).

The City may not exempt a Project from CEQA review that is proposed to be constructed on a potentially contaminated site, where the Project will involve disturbance of the contaminated soil. CEQA § 21084(d); CEQA Guidelines 15300.2(e). CEQA review is required to determine ways to reduce or eliminate risks associated with soil contamination, and to protect the environment, workers and nearby residents. *Parker Shattuck Neighbors v. Berkeley* (2013) 222 Cal.App.4th 768, 781 (contaminated site on Cortese list may not be exempted from CEQA review); *McQueen v. Board of Directors* (1988) 202 Cal.App.3d 1136 (contaminated site not on Cortese list may not be exempted from CEQA review).

### **3. The Project Poses a Structural Risk to the Older Uphill Coxhead House**

The Project would result in the excavation of more than 50 cubic yards of soil on a block with a slope of greater than 20%.<sup>26</sup> Under the City's own CEQA exemption procedures, a project may not be exempted from CEQA if it is built on a property with greater than 20% slope and involves more than 50 cubic yards of soil removal.<sup>27</sup>

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<sup>25</sup> See Health Code Article 22A; Building Code Article 106A.3.4.2; CEQA §21084(d); CEQA Guidelines §15300.2(3).

<sup>26</sup> Categorical Exemption, p. 2. (Exhibit M).

<sup>27</sup> Id.

According to Project information, construction will involve excavation of approximately 408 cubic yards of soil, well over the 50 cubic yard threshold, and the applicant intends to excavate 13 feet below grade,<sup>28</sup> involving 800 square-feet on a street slope of 33-35%. Under San Francisco Building Code § 3307 and California Civil Code § 832, the applicant is required to take action to protect the adjoining property from any damage associated with the excavation. As detailed above, the historically significant Coxhead House is built upon a tall, unreinforced brick foundation that is a component of the historic nature of the residence. Project excavation could result in shoring, removing or replacing the existing, historic brick foundation. Because this type of replacement work could destroy the historic, original foundation, a full CEQA investigation with proposed mitigation and project alternatives is required.

**4. The Project is Inconsistent with the Cow Hollow Neighborhood Design Guidelines**

The Cow Hollow Neighborhood Design Guidelines (“CHNDG” or “Guidelines”) were approved by the Planning Commission in April 2001. With that approval, the guidelines must be implemented as part of the City’s building permit review process.<sup>29</sup> The Planning Commission utilizes the Guidelines to ensure the renovation or expansion of an existing building, or the construction of a new building, is visually and physically compatible with the neighborhood character of Cow Hollow.”<sup>30</sup> Importantly, the City has an obligation to verify that new projects are consistent with the Guidelines when there is evidence of incompatibility.<sup>31</sup> The proposed Project is incompatible with numerous Cow Hollow Guidelines, for example:

First, the Cow Hollow Guidelines require new construction to relate to adjacent buildings, so that in the case of an enlargement, the form of the enlarged building should not

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<sup>28</sup> Application for Environmental Evaluation, p. 7 (Feb. 14, 2017). (Exhibit D).

<sup>29</sup> CHNDG, at p. 1.

<sup>30</sup> Id. “The character of San Francisco is defined by the visual quality of its neighborhoods. A single building out of context with its surroundings can have a remarkably disruptive effect on the visual character of a place. It affects nearby buildings, the streetscape and if repeated often enough, the image of the city as a whole.”

<sup>31</sup> *Kutzke v. City of San Diego* (2017) 11 Cal.5<sup>th</sup> 1034 (City determined a proposed project was incompatible with conserving the character of the existing neighborhood and therefore inconsistent with local community plan in violation of CEQA).



impact adjacent buildings.<sup>32</sup> According to the permit application and other documents, the proposal here is to demolish the façade of the existing shingled-style home built in 1906 and modernize it in some manner. The current façade is compatible with the neighborhood character and the adjacent historic homes. The City must require the developer to submit a detailed depiction of the proposed new façade for a compatibility determination.

Second, the Project would not maintain a building envelope consistent with neighboring buildings,<sup>33</sup> nor would it maintain compatible volume and mass as compared to other nearby houses on the same side of Green Street.<sup>34</sup> The Project would result in a 6,114 square-foot house on a 2,500-square-foot lot. This would result in an oversized McMansion on a particularly small lot in Cow Hollow. Such building intensity is inconsistent with the character of the neighborhood and is a departure from existing long-held, relatively less dense construction in Cow Hollow.

Third, Cow Hollow's steep slopes present a very real development issue.<sup>35</sup> Under the Guidelines, terracing is key to allowing each successive residence to keep light, air, private and shared open space, and, in many cases, full or partial views. Such terracing is important to adjacent neighbors in block faces with significant slope parallel to the street.<sup>36</sup> Terracing in this arrangement preserves lateral access to light and view. Terracing is equally important to up- and down-slope neighbors located on block faces with slopes perpendicular to the street frontage. Terracing in this arrangement preserves light and views from the front and rear of hillside homes.<sup>37</sup> Here the evidence shows that the proposed Project is inconsistent with the terracing guidelines. The proposed plans indicate the Project would result in a "step-up" and completely block numerous windows in the Coxhead House, eliminating existing views, and light and air. Prior to any approval, Planning Staff must "evaluate the effects of vertical additions on views,"<sup>38</sup> under the Guidelines and CEQA.

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<sup>32</sup> CHNDG., at p. 11.

<sup>33</sup> CHDG, at p.32.

<sup>34</sup> Id., at p.34.

<sup>35</sup> CHNDG, at pp. 21 -24.

<sup>36</sup> Id., at p. 22.

<sup>37</sup> Id.

<sup>38</sup> Id., at p. 23.

Fourth, special consideration applies to historically or architecturally significant buildings.<sup>39</sup> As shown above, the Coxhead House is a significant historical resource that must be protected under CEQA and several City ordinances as well as the Cow Hollow Guidelines.

Fifth, the Project must adhere to the existing pattern of rear yard set-backs of adjacent buildings, so that the Project will not interfere with access to light and air.<sup>40</sup> The Project would expand the footprint of the house 17 feet back into the rear yard, substantially reducing the rear yard requirement and eliminating existing midblock open space. This would block light and air from numerous windows on the adjacent Coxhead House. Finally, given the size of the proposed Project, it would violate “good neighbor” design elements to preserve access to light and air.<sup>41</sup>

As shown above, the Project would block numerous windows in the Coxhead House, restricting views, light and air and undermining its historic characteristics, in violation of the Cow Hollow Guidelines. The Planning Commission must reject the proposed Project due to these and other inconsistencies with the Cow Hollow Design Guidelines alone.<sup>42</sup>

Furthermore, any inconsistencies between a proposed Project and plans of general applicability, such as the Cow Hollow Guidelines, are significant impacts under CEQA.<sup>43</sup> Where a local or regional policy of general applicability, such as a design guideline, is adopted in order to avoid or mitigate environmental effects, a conflict with that policy in itself indicates a potentially significant impact on the environment,<sup>44</sup> and must be discussed in an EIR.<sup>45</sup>

The proposed project has numerous inconsistencies with the Cow Hollow Design Guidelines, which is a plan of general applicability. The Project’s inconsistencies with the Guidelines are by definition significant impacts under CEQA and must be disclosed and mitigated prior to any Project approval.

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<sup>39</sup> Id., at p 28.

<sup>40</sup> Id., at p. 29, 38.

<sup>41</sup> Id., at p. 31.

<sup>42</sup> *Kutzke v. City of San Diego*, 11 Cal. App. 5th 1034, 1041 (2017).

<sup>43</sup> CEQA Guidelines § 15125(d).

<sup>44</sup> *Pocket Protectors v. Sacramento* (2005) 124 Cal.App.4th 903.

<sup>45</sup> CEQA Guidelines § 15125(d); *City of Long Beach v. Los Angeles Unif. School Dist.* (2009) 176 Cal. App. 4th 889, 918; *Friends of the Eel River v. Sonoma County Water Agency* (2003) 108 Cal. App. 4th 859, 874 (EIR inadequate when lead agency failed to identify relationship of project to relevant local plans).

## **5. The City may not Engage in Unlawful Project Piecemealing**

As the chronology in Section I above makes clear, the City has several times changed the Project's description to unlawfully allow construction activities to go forward absent the City's full and final determination on the overall Project. Agencies may not divide projects up into smaller pieces and approve those pieces separately. Rather, agencies must complete a full compliance review, including CEQA, before issuing any permits.<sup>46</sup> Here, the City issued a permit to allow construction of the Project's foundation to proceed even while the remainder of the Project is being reviewed by the public and the Planning Commission.

Unlawful "piecemealing" could not be clearer or more deliberate in this case. The original application describes a large and involved project with major construction and numerous changes to the existing property. As the Project moved through DBI's permit process, it was segmented. First DBI's permit process isolated just the foundation, garage expansion work and the rear wall construction. Then Project work was suspended based on the piecemealing problem and lack of Planning Department review under Section 311. But the City persevered. In order to lift the suspension on the permit, the Planning Department specifically requested that the Project sponsor remove the proposed rear wall from the application, which had been a major component of the original DBI permit. Apparently, the only way DBI could issue a permit for the work was for the applicant to omit the "new landscaping site wall at back yard." The proposed rear wall will be added back into the application later for Planning Department review.

Courts have long ruled that this type of piecemealing is unlawful. For example, in 1986, a court invalidated a city's CEQA document prepared for a proposed mixed-use development in Orinda, California.<sup>47</sup> The project had numerous components, one of which was the demolition of an historic theatre and bank building to make way for new development. The City unlawfully segmented the project by issuing a permit to demolish the historic buildings days before Orinda's Board of Supervisors met to approve the entire project and certify the CEQA document. According to the court, "no agency may approve a project subject to CEQA until the entire CEQA process is completed and the overall project is approved."<sup>48</sup> This is because "it is

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<sup>46</sup> CEQA Guidelines § 15378(a).

<sup>47</sup> *Orinda Assoc. v. Contra Costa County* (1986) 182 Cal.App.3d 1145.

<sup>48</sup> *Id.*, at p. 1171.

unlawful for an agency to subdivide a single project into smaller individual subprojects in order to avoid the responsibility of considering the environmental impact of the project as a whole.”<sup>49</sup> In other words, when a project requires multiple agency approvals, as is the case here, all such approvals must be considered as one project and within a single environmental document before any aspect of the project may go forward.<sup>50</sup>

CEQA requires analysis of “the project as a whole,”<sup>51</sup> so that “environmental considerations do not become submerged by chopping a large project into many little ones – each with a minimum potential impact on the environment – which cumulatively may have disastrous consequences.”<sup>52</sup> “The CEQA process is intended to be a careful examination, fully open to the public, of the environmental consequences of a given project, *covering the entire project, from start to finish*. . . the purpose of CEQA is not to generate paper, but to compel government at all levels to make decisions with environmental consequences in mind.”<sup>53</sup>

The record is clear the foundation work is just one small component of a much larger residential expansion. The Project sponsor’s own description of the Project makes clear it has numerous components requiring approval by a number of City departments. Nevertheless, the City has taken it upon itself to alter the overall Project description in order to segment approvals so that critical demolition and construction may commence. The City engaged in unlawful segmentation or “piecemealing” when DBI issued a permit for the garage expansion and foundation work before all of the City’s approving agencies and the public had a chance to weigh in on the proposed Project. Therefore, the City must rescind DBI’s permits and stop all construction work at the Project site pending full City consideration of the “whole of the project.”

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<sup>49</sup> Id.

<sup>50</sup> *City of Antioch v. City Council of the City of Pittsburg* (1986) 187 Cal.App.3d 1325, 1337-38 (when construction of a project cannot not easily be undone, and when the project would almost certainly have significant environmental impacts, construction should not be permitted to commence until such impacts are evaluated in the manner prescribed by CEQA).

<sup>51</sup> *Arviv Ent., Inc. v. South Valley Area Planning Com.* (2002) 101 Cal.App.4th 1333, 1341, 1346.

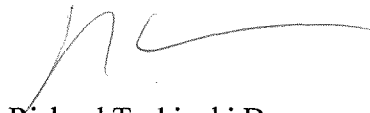
<sup>52</sup> *Bozung v. LAFCO*, 13 Cal.3d 263, 283-84 (1975);

<sup>53</sup> *Natural Resources Defense Council v. City of Los Angeles*, 103 Cal.App.4th 268 (2002) (emphasis added); *Laurel Heights Impr. Assn. v. Regents of Univ. of Calif.* (1988) 47 Cal.3d 376 (project description failed to include second phase of project).

**IV. Conclusion**

There is no question the proposed Project violates CEQA, the Maher Ordinance, San Francisco's Historic Resource Preservation Ordinance, California Civil Code § 832, San Francisco Building Code § 3307 and the Cow Hollow Neighborhood Design Guidelines. Accordingly, for all of the factual and legal reasons described above, the San Francisco Board of Supervisors must grant Mr. Kaufman's CEQA appeal and send the Project back to the various approving agencies for full review under CEQA and all other applicable laws and ordinances.

Sincerely,



Richard Toshiyuki Drury  
Rebecca Leah Davis  
LOZEAU DRURY LLP

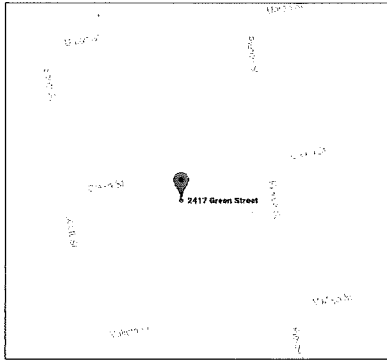
cc: San Francisco Environmental Review Officer

# EXHIBIT A

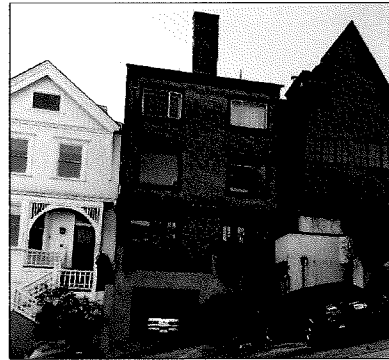
# SITE PERMIT/311 NOTIFICATION SET

28 APRIL 2017

**2417 GREEN STREET**  
SAN FRANCISCO, CA 94123



1 LOCATION MAP



2 EXISTING FRONT FACADE

### APPLICABLE CODES:

- \*2016 CALIFORNIA BUILDING CODE (BASED ON THE 2016 INTERNATIONAL BUILDING CODE)
- \*2016 CALIFORNIA MECHANICAL CODE (BASED ON THE 2015 UNIFORM MECHANICAL CODE)
- \*2016 CALIFORNIA PLUMBING CODE (BASED ON THE 2015 UNIFORM PLUMBING CODE)
- \*2016 CALIFORNIA ELECTRICAL CODE (BASED ON THE 2014 NATIONAL ELECTRIC CODE)
- \*2016 CALIFORNIA RESIDENTIAL CODE (BASED ON THE 2015 INTERNATIONAL RESIDENTIAL CODE)
- \*2016 CALIFORNIA FIRE CODE (BASED ON THE 2015 INTERNATIONAL FIRE CODE)
- \*2016 CALIFORNIA ENERGY CODE
- \*2016 CALIFORNIA GREEN BUILDING STANDARDS CODE - (CALGREEN)

\*NOT AS AMENDED BY THE CITY AND COUNTY OF SAN FRANCISCO

### PLANNING CODE SECTION 317 DEMOLITION CALCULATIONS:

DEMOLITION CALCULATIONS - PLANNING CODE SEC. 317.b.2.B	DEMOLITION CALCULATIONS - PLANNING CODE SEC. 317.b.2.C
<ul style="list-style-type: none"> <li>- FRONT FACADE - EXISTING TO REMAIN: (+) 22.8 LVL. FT. (87.5%)</li> <li>- FRONT FACADE - EXISTING TO BE REMOVED: (+) 04.6 LVL. FT. (2.5%)</li> <li>- REAR FACADE - EXISTING TO REMAIN: (+) 03.0 LVL. FT. (0%)</li> <li>- REAR FACADE - EXISTING TO BE REMOVED: (+) 24.4 LVL. FT. (100%)</li> </ul>	<ul style="list-style-type: none"> <li>- HORIZONTAL ELEMENTS - EXISTING TO REMAIN FLOOR 1: (+) 00.0 SQ. FT. (0%)</li> <li>- HORIZONTAL ELEMENTS - EXISTING TO BE REMOVED (FLOOR 1): (+) 22.0 SQ. FT. (100%)</li> <li>- HORIZONTAL ELEMENTS - EXISTING TO REMAIN FLOOR 2: (+) 00.0 SQ. FT. (0%)</li> <li>- HORIZONTAL ELEMENTS - EXISTING TO BE REMOVED (FLOOR 2): (+) 104.1 SQ. FT. (100%)</li> <li>- HORIZONTAL ELEMENTS - EXISTING TO REMAIN FLOOR 3: (+) 00.0 SQ. FT. (0%)</li> <li>- HORIZONTAL ELEMENTS - EXISTING TO BE REMOVED (FLOOR 3): (+) 104.1 SQ. FT. (100%)</li> <li>- HORIZONTAL ELEMENTS - EXISTING TO REMAIN FLOOR 4: (+) 00.0 SQ. FT. (0%)</li> <li>- HORIZONTAL ELEMENTS - EXISTING TO BE REMOVED (FLOOR 4): (+) 104.1 SQ. FT. (100%)</li> <li>- HORIZONTAL ELEMENTS - EXISTING TO REMAIN (ROOF): (+) 00.0 SQ. FT. (0%)</li> <li>- HORIZONTAL ELEMENTS - EXISTING TO BE REMOVED (ROOF): (+) 255.5 SQ. FT. (66.4%)</li> </ul>
<ul style="list-style-type: none"> <li>- SUM OF REAR &amp; FRONT FACADE - EXISTING TO BE REMOVED: (+) 25.0 LVL. FT. (&gt; 50% MAX.)</li> </ul>	<ul style="list-style-type: none"> <li>- SUM OF HORIZONTAL ELEMENTS - EXISTING TO BE REMOVED: (+) 372.1 SQ. FT. (90%) - 50% MAX.</li> </ul>
<ul style="list-style-type: none"> <li>- FOUNDATION LEVEL FLOOR 1 - EXISTING WALL TO REMAIN: (+) 125 LVL. FT. (7%)</li> <li>- FOUNDATION LEVEL FLOOR 1 - EXISTING WALL TO BE REMOVED: (+) 33.3 LVL. FT. (21%)</li> </ul>	<ul style="list-style-type: none"> <li>- VERTICAL ENVELOPE ELEMENTS - EXISTING TO REMAIN (NORTH ELEVATION): (+) 160.5 SQ. FT. (67.5%)</li> <li>- VERTICAL ENVELOPE ELEMENTS - EXISTING TO BE REMOVED (NORTH ELEVATION): (+) 307.8 SQ. FT. (12.1%)</li> <li>- VERTICAL ENVELOPE ELEMENTS - EXISTING TO REMAIN (WEST ELEVATION): (+) 153.0 SQ. FT. (61.7%)</li> <li>- VERTICAL ENVELOPE ELEMENTS - EXISTING TO BE REMOVED (WEST ELEVATION): (+) 280.1 SQ. FT. (31.3%)</li> <li>- VERTICAL ENVELOPE ELEMENTS - EXISTING TO REMAIN (SOUTH ELEVATION): (+) 33.8 SQ. FT. (0%)</li> <li>- VERTICAL ENVELOPE ELEMENTS - EXISTING TO BE REMOVED (SOUTH ELEVATION): (+) 178.1 SQ. FT. (65.4%)</li> <li>- VERTICAL ENVELOPE ELEMENTS - EXISTING TO REMAIN (EAST ELEVATION): (+) 174.1 SQ. FT. (69.1%)</li> <li>- VERTICAL ENVELOPE ELEMENTS - EXISTING TO BE REMOVED (EAST ELEVATION): (+) 187.0 SQ. FT. (61.4%)</li> </ul>
<ul style="list-style-type: none"> <li>- FOUNDATION LEVEL FLOOR 1 - EXISTING WALL TO BE REMOVED: (+) 33.3 LVL. FT. (21%) - 65% MAX.</li> </ul>	<ul style="list-style-type: none"> <li>- SUM OF VERTICAL ENVELOPE ELEMENTS - EXISTING TO BE REMOVED: (+) 474.8 SQ. FT. (31.7%) - 50% MAX.</li> </ul>

### PROJECT DATA:

PROJECT ADDRESS	2417 GREEN STREET, SAN FRANCISCO, CA 94123
YEAR BUILT	1913
BOOK	0560
LOG	028
ZONING	R4 (RESIDENTIAL HOUSE, ONE-FAMILY)
HEIGHT LIMIT	45X

EXISTING CONSTRUCTION TYPE	TYPE "V"6"	PROPOSED CONSTRUCTION TYPE	TYPE "V"6"	(NO CHANGE)
OCCUPANCY	R3U	R3U	1	(NO CHANGE)
NUMBER OF DWELLING UNITS	1	1	1	(NO CHANGE)
NUMBER OF FLOORS SPRINKLED	4 OVER BASEMENT	4 OVER BASEMENT	4 OVER BASEMENT	(NO CHANGE)
NUMBER OF FLOORS SPRINKLED	NO	YES (APFA 1)	YES (APFA 1)	(NO CHANGE)

### AREA CALCULATIONS:

EXISTING	PROPOSED
<ul style="list-style-type: none"> <li>BASEMENT - GARAGE: (+) 337 SQ. FT.</li> </ul>	<ul style="list-style-type: none"> <li>BASEMENT - GARAGE: (+) 999 SQ. FT.</li> <li>- HABITABLE AREA: (+) 118 SQ. FT.</li> </ul>
<ul style="list-style-type: none"> <li>FLOOR 1 - HABITABLE AREA: (+) 1,887 SQ. FT.</li> </ul>	<ul style="list-style-type: none"> <li>FLOOR 1 - HABITABLE AREA: (+) 1,338 SQ. FT.</li> <li>- FRONT PORCH/PROF/DECK AREA: (+) 144 SQ. FT.</li> </ul>
<ul style="list-style-type: none"> <li>FLOOR 2 - HABITABLE AREA: (+) 1,222 SQ. FT.</li> </ul>	<ul style="list-style-type: none"> <li>FLOOR 2 - HABITABLE AREA: (+) 1,322 SQ. FT.</li> <li>- ROOF DECK AREA: (+) 174 SQ. FT.</li> </ul>
<ul style="list-style-type: none"> <li>FLOOR 3 - HABITABLE AREA: (+) 1,615 SQ. FT.</li> </ul>	<ul style="list-style-type: none"> <li>FLOOR 3 - HABITABLE AREA: (+) 1,413 SQ. FT.</li> </ul>
<ul style="list-style-type: none"> <li>FLOOR 4 - HABITABLE AREA: (+) 174 SQ. FT.</li> </ul>	<ul style="list-style-type: none"> <li>FLOOR 4 - HABITABLE AREA: (+) 862 SQ. FT.</li> <li>- ROOF DECK AREA: (+) 135 SQ. FT.</li> </ul>
<ul style="list-style-type: none"> <li>TOTALS</li> <li>- HABITABLE AREA: (+) 1,118 SQ. FT.</li> <li>- GARAGE: (+) 337 SQ. FT.</li> </ul>	<ul style="list-style-type: none"> <li>TOTALS</li> <li>- HABITABLE AREA: (+) 1,118 SQ. FT.</li> <li>- GARAGE: (+) 895 SQ. FT.</li> <li>- ROOF DECK AREA: (+) 458 SQ. FT.</li> </ul>

### PROJECT DESCRIPTION:

THE PROPOSED PROJECT GENERALLY CONSISTS OF THE REMODEL, ALTERATIONS AND HORIZONTAL ADDITION TO AN EXISTING 4 STORY OVER BASEMENT SINGLE-FAMILY RESIDENCE AND INCLUDES THE FOLLOWING: 1) EXPANSION OF EXISTING GARAGE IN BASEMENT LEVEL, 2) 1ST, 2ND, 3RD, AND 4TH STORY HORIZONTAL REAR YARD ADDITION, 3) ALTERATIONS TO EXISTING FRONT FACADE, 4) EXCAVATION AND FULL FOUNDATION REPLACEMENT, 5) LOWERING EXISTING BUILDING APPROXIMATELY, 6) INTERIOR REMODEL THROUGHOUT.

### DRAWING LIST:

NO.	COVER SHEET	NO.	PROPOSED
A0	COVER SHEET	A1.5	PROPOSED BASEMENT PLAN
GS1	GREEN BUILDING SITE PERMIT SUBMITTAL	A1.1	PROPOSED FIRST FLOOR PLAN
		A1.2	PROPOSED SECOND FLOOR PLAN
A1	LEGENDS, ABBREVIATIONS AND GENERAL NOTES	A1.3	PROPOSED THIRD FLOOR PLAN
A2	SITE AERIAL VIEW CONTEXT ANALYSIS	A1.4	PROPOSED FOURTH FLOOR PLAN
A2.1	EXISTING CONTEXT PHOTOGRAPHS	A1.5	PROPOSED ROOF PLAN
A2.2	EXISTING STREETSCAPES	D2.1	EXISTING DEMOLITION ELEVATION
A2.3	PROPOSED STREETSCAPES	D2.2	EXISTING DEMOLITION ELEVATION
A2.4	EXISTING PROPOSED MASSING STUDIES - ENLARGED	D2.3	EXISTING DEMOLITION ELEVATION
A2.5	EXISTING PROPOSED MASSING STUDIES	D2.4	EXISTING DEMOLITION ELEVATION
A3	(NOT USED)		
A4	WATER FLOW INFORMATION & PRE-APPLICATION PROJECT REVIEW CONCLUSIONS	A2.1	PROPOSED ELEVATION
A5	WATER FLOW INFORMATION & PRE-APPLICATION PROJECT REVIEW CONCLUSIONS	A2.2	PROPOSED ELEVATION
A6	WATER FLOW INFORMATION & PRE-APPLICATION PROJECT REVIEW CONCLUSIONS	A2.3	PROPOSED ELEVATION
A7	WATER FLOW INFORMATION & PRE-APPLICATION PROJECT REVIEW CONCLUSIONS	A2.4	PROPOSED ELEVATION
A8	EXISTING AND PROPOSED SITE PLAN	A2.5	PROPOSED ELEVATION
A9	EXISTING DIAGRAM CALCULATIONS	D2.1	EXISTING SECTION
D10	EXISTING DEMOLITION BASEMENT PLAN	D2.2	EXISTING SECTION
D11	EXISTING DEMOLITION FIRST FLOOR PLAN	A3.1	PROPOSED SECTION
D12	EXISTING DEMOLITION SECOND FLOOR PLAN	A3.2	PROPOSED SECTION
D13	EXISTING DEMOLITION THIRD FLOOR PLAN	A3.3	PROPOSED SECTION
D14	EXISTING DEMOLITION FOURTH FLOOR PLAN	A3.4	PROPOSED SECTION
D15	EXISTING DEMOLITION ROOF PLAN	A3.5	PROPOSED SECTION

### PROJECT TEAM:

OWNER	ARCHITECT	STRUCTURAL ENGINEER
<ul style="list-style-type: none"> <li>2417 GREEN STREET, LLC</li> <li>474 KALD AVENUE</li> <li>SAN FRANCISCO, CA 94118</li> <li>T: 415.407.0418</li> <li>E: info@2417green.com</li> <li>C: DUMICAN MOSEY</li> </ul>	<ul style="list-style-type: none"> <li>DUMICAN MOSEY ARCHITECTS</li> <li>116 10A STREET, 3RD FLOOR</li> <li>SAN FRANCISCO, CA 94107</li> <li>T: 415.401.8232</li> <li>E: dmo@dmucanmosey.com</li> <li>C: ERIC DUMICAN</li> </ul>	<ul style="list-style-type: none"> <li>HOLMES STRUCTURES</li> <li>226 HORTONSBERRY STREET, SUITE 1250</li> <li>SAN FRANCISCO, CA 94104</li> <li>T: 415.811.8181</li> <li>E: edum@holmesstruct.com</li> <li>C: ERIC DUMICAN</li> </ul>
<ul style="list-style-type: none"> <li>GEOTECHNICAL CONSULTANT:</li> <li>DWIS CONSULTING, INC.</li> <li>378 PARK STREET</li> <li>SAN FRANCISCO, CA 94103</li> <li>T: 415.436.3416</li> <li>C: CHRISTIAN DWIS</li> </ul>	<ul style="list-style-type: none"> <li>HISTORIC PRESERVATION CONSULTANT:</li> <li>TURBULENCE CONSULTANTS</li> <li>2912 DAMARCO STREET, #202</li> <li>SAN FRANCISCO, CA 94114</li> <li>T: 415.332.2416</li> <li>E: tur@turbulence.com</li> <li>C: TIBB HULLY</li> </ul>	<ul style="list-style-type: none"> <li>EXISTING CONDITIONS DRAWER:</li> <li>ENGINEERING CONSULTING GROUP, LLC</li> <li>610 2ND ST #302</li> <li>SAN FRANCISCO, CA 94107</li> <li>T: 415.681.1104</li> <li>E: dmc@ecggroup.com</li> <li>C: DAVID STEELE</li> </ul>

**DUMICAN MOSEY**  
ARCHITECTS

# Green Building: Site Permit Submittal

## BASIC INFORMATION:

These facts, plus the primary occupancy, determine which requirements apply. For details, see AB 093 Attachment A Table 1.

Project Name 2417 GREEN STREET	Block/Lot 0560/028	Address 2417 GREEN STREET
Gross Project Area 6022 SQ. FT.	Primary Occupancy SINGLE FAMILY RESIDENCE	Number of occupied floors 4
Design Professional/Applicant: Sign & Date		

## Instructions:

As part of application for site permit, this form acknowledges the specific green building requirements that apply to a project under San Francisco Green Building Code, California Title 24 Part 11, and related codes. Attachment GS2, GS3, GS4, or GS5 will be due with the applicable addendum. To use the form:

(a) Provide basic information about the project in the box at left. This info determines which green building requirements apply.

## AND

(b) Indicate in one of the columns below which type of project is proposed. If applicable, fill in the blank lines below to identify the number of points the project must meet or exceed. A LEED or GreenPoint checklist is not required to be submitted with the site permit application, but using such tools as early as possible is strongly recommended.

Solid circles or code references indicate measures required by state and local codes. For projects applying LEED or GreenPoint Rated, prerequisites of those systems are mandatory. See relevant codes for details.

## ALL PROJECTS, AS APPLICABLE

Construction activity stormwater pollution prevention and site runoff controls: Provide a construction site Stormwater Pollution Prevention Plan and implement SFPUC Best Management Practices.	
Stormwater Control Plan: Projects disturbing ≥5,000 sq ft in combined or separate sewer areas, or replacing ≥2,500 impervious sq ft in separate sewer area, must implement a Stormwater Control Plan meeting SFPUC Stormwater Management Requirements.	
NonPotable Water: New buildings ≥40,000 square feet must calculate a water budget. New buildings ≥250,000 sq ft must use available alternate water sources for toilet and urinal flushing and irrigation (SF Health Code 12C).	
Water Efficient Irrigation: Projects with ≥1,000 square feet of new or modified landscape must comply with the SFPUC Water Efficient Irrigation Ordinance.	
Construction Waste Management - Comply with the San Francisco Construction & Demolition Debris Ordinance.	
Recycling by Occupants: Provide adequate space and equal access for storage, collection and handling of compostable, recyclable and landfill materials. See Administrative Bulletin 088 for details.	

## GREENPOINT RATED PROJECTS

Proposing a GreenPoint Rated Project (Indicate at right by checking the box.)	
Base number of required Greenpoints:	75
Adjustment for retention / demolition of historic features / building:	
Final number of required points (base number +/- adjustment)	
GreenPoint Rated (i.e. meets all prerequisites)	
Better Roofs: Buildings of 10 occupied floors or less must install photovoltaics or solar hot water systems in the 15% of roof area designated as Solar Ready per Title 24 Part 6 (2016). With Planning Department Approval, projects subject to SFPUC Stormwater Requirements may substitute living roof for all or a portion of solar energy systems. (See Planning Code Sec 149)	
Energy Efficiency: Meet one GreenPoint Rated V7 energy compliance path. In homes with electric-only heating and water heating, installation of photovoltaics in compliance with San Francisco Better Roofs (above) may meet the All Electric path.	
Meet all California Green Building Standards Code requirements CalGreen measures for residential projects have been integrated into the GreenPoint Rated system.	

## LEED PROJECTS

Type of Project Proposed (Indicate at right)	New Large Commercial	New Low Rise Residential	New High Rise Residential	Large First Time Commercial Interior	Commercial Major Alteration	Residential Major Alteration
<b>Overall Requirements:</b>						
LEED certification level (includes prerequisites):	GOLD	SILVER	SILVER	GOLD	GOLD	GOLD
Base number of required points:	60	50	50	60	60	60
Adjustment for retention / demolition of historic features / building:				n/a		
Final number of required points (base number +/- adjustment)				60		
<b>Specific Requirements:</b> (nr indicates a measure is not required)						
Construction Waste Management - 75% Diversion AND comply with San Francisco Construction & Demolition Debris Ordinance - LEEDv4 MRc1, 2 points					Meet C&D ordinance	
Energy Design Comply with California Title 24 Part 6 (2016) and meet LEED minimum energy performance (LEEDv4 EA p2)		LEED prerequisite				LEED prerequisite only
Better Roofs: Buildings of 10 occupied floors or less must: Install photovoltaics or solar hot water systems in the 15% of roof area designated as Solar Ready Area per Title 24 Part 6 (2016). With Planning Department approval, projects subject to SFPUC Stormwater Requirements may substitute living roof for all or a portion of solar energy systems. (See Planning Code Sec 149)				nr	nr	nr
Renewable Energy or Enhanced Energy Efficiency Buildings of 11 or more occupied floors must: Generate renewable energy on-site ≥1% of total annual energy cost (LEEDv4 EA c5, 5 points), OR Demonstrate at least 10% energy use reduction compared to Title 24 Part 6 (2016), OR Purchase Green-E certified renewable energy credits for 35% of total electricity use (LEEDv4 EA c7)		nr	nr	nr	nr	nr
Enhanced Commissioning LEEDv4 EA c1						Meet LEED prerequisite
Water Use - 30% Reduction LEEDv4 WE c2, 2 points						Meet LEED prerequisite
Enhanced Refrigerant Management CalGreen 5.508-1.2, may contribute to LEEDv4 EA c6	CalGreen 5.508-1.2	nr	nr	CalGreen 5.504-3	CalGreen 5.504-3	CalGreen 4.504-1
Indoor Air Quality Management Plan LEEDv4 IEQ c3	CalGreen 4.504-1	CalGreen 4.504-1	CalGreen 4.504-1	CalGreen 5.504-3	CalGreen 5.504-3	CalGreen 4.504-1
Low-Emitting Materials LEEDv4 IEQ c2, 3 points						
Bicycle parking: Provide short-term and long-term bicycle parking for 5% of total motorized parking capacity each, or meet San Francisco Planning Code Sec 155, whichever is greater, or meet LEEDv4 L1c5.				See San Francisco Planning Code Section 155	See San Francisco Planning Code Section 155	
Designated parking: Mark 8% of total parking stalls for low-emitting, fuel efficient, and carpool/van pool vehicles.					nr	nr
Wiring for Electric Vehicle Charging: Install electrical systems to provide power to EV chargers at number of spaces indicated. Installation of chargers is not required.	6% of spaces CalGreen 5.106.5.3	3% of spaces CalGreen 4.106.4	3% of spaces CalGreen 4.106.4	6% of spaces CalGreen 5.106.5.3	nr	nr
Water Meters: Provide submeters for spaces projected to consume more than 1,000 gal/day, or more than 100 gal/day if in building over 50,000 sq. ft.		nr	nr		Addition only	nr
Air Filtration: Provide at least MERV-8 filters in occupied spaces of mechanically ventilated buildings. LEEDv4 IEQ c3.5		nr	nr			nr
Air Filtration: Provide MERV-13 filters in residential buildings in air quality hotspots. SF Health Code Article 38 and SF Building Code 1203.6	nr			nr		
Acoustical Control: wall and roof-ceilings STC 50, exterior windows STC 30, party walls and floor-ceilings STC 40.			See CBC 1207		Envelope alteration & addition only	nr

## OTHER APPLICABLE NON-RESIDENTIAL PROJECTS

Type of Project Proposed (Check box if applicable)	Other New Non-Residential	Addition ≥1,000 sq ft OR Alteration ≥\$200,000
Energy: Comply with California Energy Code (Title 24 Part 6 2016)		
Better Roofs: Buildings of 10 occupied floors or less must: Install photovoltaics or solar hot water systems in the 15% of roof area designated as Solar Ready Area per Title 24 Part 6 (2016). With Planning Department approval, projects subject to SFPUC Stormwater Requirements may substitute living roof for all or a portion of solar energy systems. (See Planning Code Sec 149)		
Bicycle parking: Provide short- and long-term bicycle parking for 5% of motorized parking capacity, or San Francisco Planning Code Sec 155, whichever is greater.		
Wiring for Electric Vehicle Charging: Prepare electrical systems for future installation of EV chargers at 6% of parking spaces. See CalGreen 5.106.5.3		
Fuel efficient vehicle and carpool parking: Designate and mark 6% of parking stalls for low-emitting, fuel efficient, and carpool/van pool vehicles.		
Water Meters: Provide submeters for spaces projected to consume >1,000 gal/day, or >100 gal/day if in buildings over 50,000 sq. ft.		Addition only
Indoor Water Conservation: All water leaks must be repaired, and all plumbing fixtures not compliant with SFBC 13A must meet current California Plumbing Code.		
Commissioning: For new buildings greater than 10,000 square feet, commissioning shall be included in the design and construction of the project to verify that the building systems and components meet the owner's project requirements. OR for buildings less than 10,000 square feet, testing and adjusting of systems is required.		(Testing & Balancing)
Protect duct openings and mechanical equipment during construction		
Adhesives, sealants, and caulks: Comply with VOC limits in SCAQMD Rule 1168 VOC limits and California Code of Regulations Title 17 for aerosol adhesives.		
Paints and coatings: Comply with VOC limits in the Air Resources Board Architectural Coatings Suggested Control Measure and California Code of Regulations Title 17 for aerosol paints.		
Carpet: All carpet must meet one of the following: 1. Carpet and Rug Institute Green Label Plus Program, 2. California Department of Public Health Standard Practice for the testing of VOCs (Specification 0133), 3. NSF/ANSI 140 at the Gold level, 4. Specific Certification Systems GreenLabel Choice, OR 5. California Collaborative for High Performance Schools EQ 2.2 and listed in the CHPS High Performance Product Database AND carpet cushion must meet Carpet and Rug Institute Green Label, AND indoor carpet adhesive & carpet pad adhesive must not exceed 50 g/L VOC content.		
Composite wood: Meet CARB Air Toxics Control Measure for Composite Wood		
Resilient flooring systems: For 80% of floor area receiving resilient flooring, install resilient flooring complying with the VOC-emission limits defined in the 2009 Collaborative for High Performance Schools (CHPS) criteria or certified under the Resilient Floor Covering Institute (RFCI) FloorScore program.		
Environmental Tobacco Smoke: Prohibit smoking within 25 feet of building entries, outdoor air intakes, and operable windows.		
Air Filtration: Provide at least MERV-8 filters in regularly occupied spaces of mechanically ventilated buildings.		
Acoustical Control: Wall and roof-ceilings STC 50, exterior windows STC 30, party walls and floor-ceilings STC 40.		(Envelope alteration & addition only)
CFCs and Halons: Do not install equipment that contains CFCs or Halons.		

## Notes

- 1) New residential projects of 4 or more occupied floors must use the "New Residential High-Rise" column. New residential with 3 or fewer occupied floors must use the "New Residential Low Rise" column.
- 2) LEED for Homes Mid-Rise projects must meet the "Silver" standard, including all prerequisites. The number of points required to achieve Silver depends on unit size. See LEED for Homes Mid-Rise Rating System to confirm the base number of points required.

2417 GREEN STREET

SAN FRANCISCO, CA 94123  
BLOCK 0560 LOT 028

**DUMICAN MOSEY**  
ARCHITECTS

128 10th Street, 3rd floor  
San Francisco, California 94103  
t: 415-495-9322 f: 415-651-9290

Job No.	16112
Issue	Date
ENVIRONMENTAL EVALUATION SET	02.10.17
PRE-APPLICATION PLAN REVIEW	02.24.17
PROJECT REVIEW MEETINGS SET	03.14.17
SITE PERMIT/STI NOTIFICATION SET	04.29.17

Drawing Title

GREEN BUILDING  
SITE PERMIT SUBMITTAL

Sheet Number

GS-1





# 2417 GREEN STREET

SAN FRANCISCO, CA 94123  
 BLOCK 0560 LOT 028

**DUMICAN MOSEY**  
 Architects

128 10th Street, 3rd floor  
 San Francisco, California 94103  
 T 415.653.8242 F 415.651.1629

JOB No.	18112
DATE	04/11/12
ENVIRONMENTAL	02/10/12
PRELIMINARY PLAN	02/24/12
REVIEW FOR CITY	03/14/12
MEETING SET	03/14/12
NOTIFICATION SET	03/28/12

Company: DM  
**SITE AERIAL VIEW/  
 CONTEXT ANALYSIS**

Sheet Number

## A0.2



**1** EXISTING CONTEXT PLAN

GENERAL NOTES

1. THIS PLAN COMPOSES PART OF THE SUBMITTAL PACKAGE.

○ SHEET NOTES



**2** NORTH VIEW REAR YARDS

LEGEND



100'-0"

# 2417 GREEN STREET

SAN FRANCISCO, CA 94123  
BLOCK 0560 LOT 028

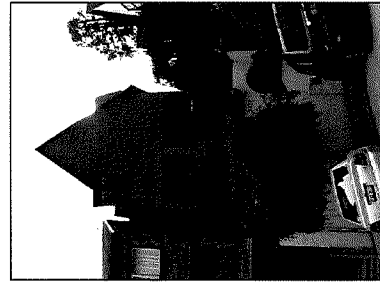
**DOMINIC MOSEY**  
ARCHITECTS

128 10th Ave., 3rd floor  
San Francisco, California 94103  
t: 415.495.9322 f: 415.601.3290

Task No.	0512
Phase	ENVIRONMENTAL
ENVIRONMENTAL SET	02.10.17
ENVIRONMENTAL POINT	02.24.17
PROJECT REVIEW	03.14.17
SITE PREPARATION	04.26.17
NOTIFICATION SET	04.26.17

Existing Title  
**EXISTING CONTEXT**  
SITE PHOTOGRAPHS

Sheet Number  
**A0.31**



1



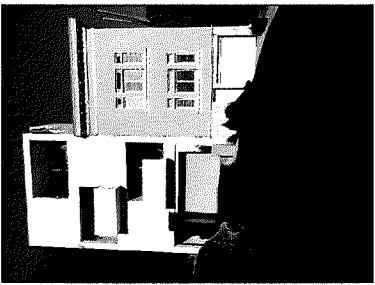
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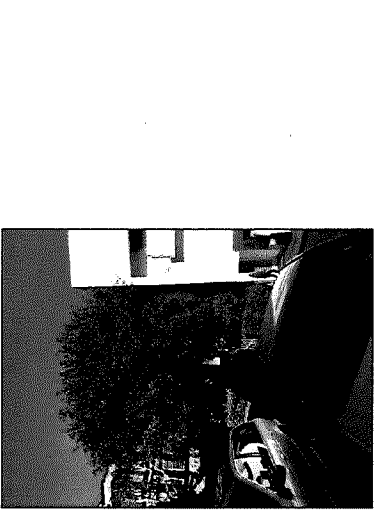
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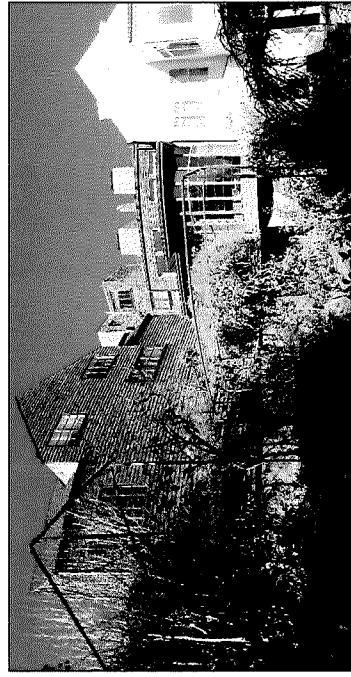
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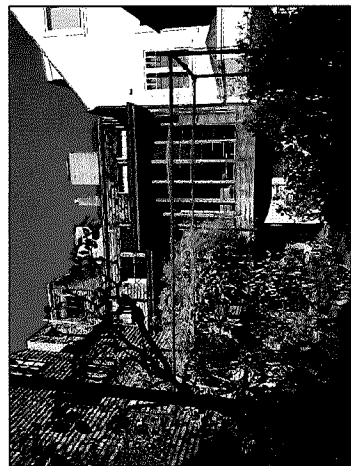
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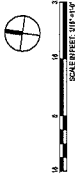
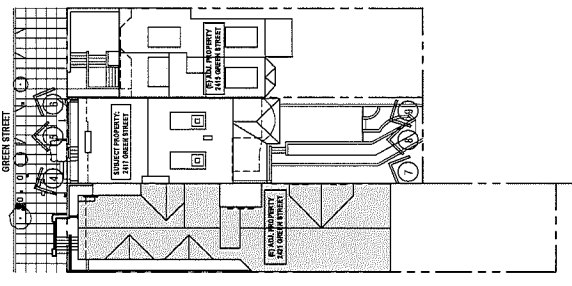
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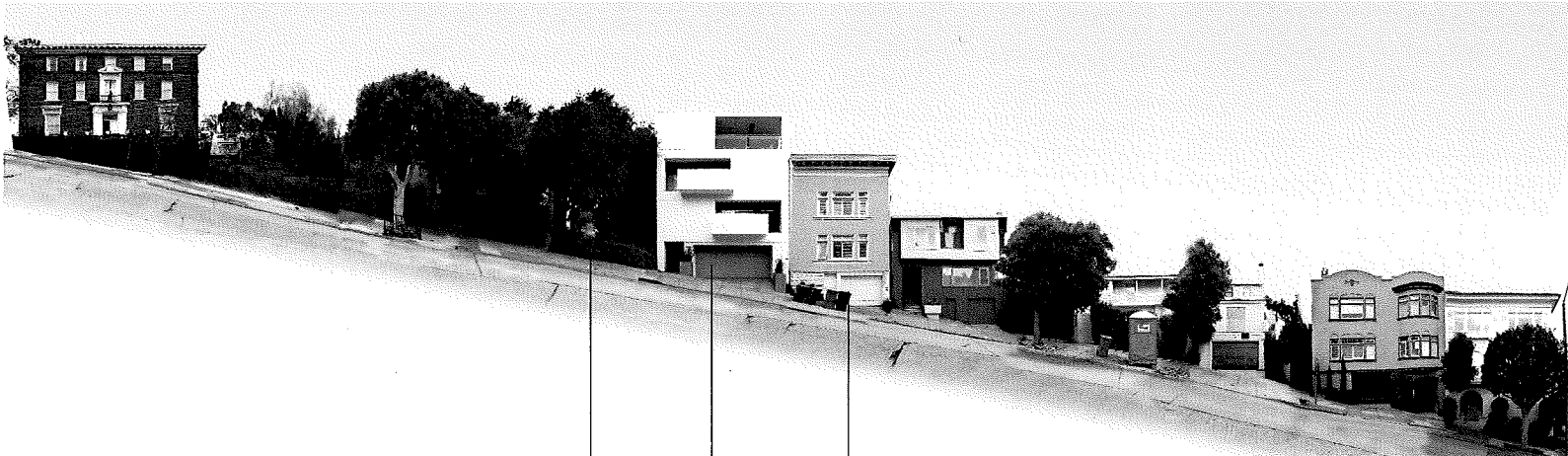
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2435 GREEN STREET | 2467 GREEN STREET | 2481 GREEN STREET

GREEN STREET - SOUTH SIDE



2446-2458 GREEN STREET | 2462-2474 GREEN STREET | 2488 GREEN STREET

GREEN STREET - NORTH SIDE

# 2417 GREEN STREET

SAN FRANCISCO, CA 94123  
BLOCK 0560 LOT 028

**DUMICAN MOSEY**  
ARCHITECTS

128 10th street, 3rd floor  
san francisco, california 94103  
t 415.495.9322 f 415.651.9290

Job No.	16112
Issue	Date
ENVIRONMENTAL EVALUATION SET	02.10.17
PRE-APPLICATION PLAN REVIEW	02.24.17
PROJECT REVIEW MEETING SET	03.14.17
SITE PERMIT/TITL NOTIFICATION SET	04.28.17

Drawing Title  
**EXISTING STREETSCAPES**

Sheet Number  
**A0.32**

# 2417 GREEN STREET

SAN FRANCISCO, CA 94123  
 BLOCK 0560 LOT 028

**DOMICAN MADSEY**  
 ARCHITECTS

128 01th Street, 3rd floor  
 San Francisco, California 94103  
 T: 415-465-5522 F: 415-465-7890

Job No.	Date
ENVIRONMENTAL RECONSTRUCTION PLAN	02.00.17
REVIEW DESIGN	02.24.17
MEETINGS/REVISE	03.14.17
SITE PERMITS/ST NOTIFICATION/SET	06.28.17

Drawn by TM

PROPOSED  
 STREETSCAPES

Sheet Number

**A0.33**



GREEN STREET - SOUTH SIDE

2417 GREEN STREET 2417 GREEN STREET 2417 GREEN STREET



GREEN STREET - NORTH SIDE

2417 GREEN STREET 2417 GREEN STREET 2417 GREEN STREET





EXISTING STREET SCAPE



PROPOSED STREET SCAPE

# 2417 GREEN STREET

SAN FRANCISCO, CA 94123  
BLOCK 0560 LOT 028

**DUMICAN MOSEY**  
ARCHITECTS

128 10th street, 3rd floor  
san francisco, california 94103  
t: 415.495.9322 f: 415.651.9290

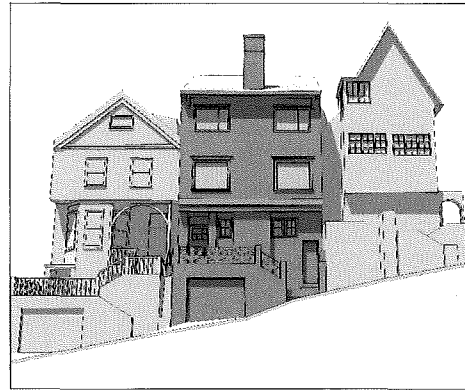
Job No.	Date
16112	
ENVIRONMENTAL EVALUATION SET	02.10.17
PRE-APPLICATION PLAN REVIEW	02.24.17
PROJECT REVIEW MEETINGS SET	03.14.17
SITE PERMIT/OTT NOTIFICATION SET	04.28.17

City/Town  
**EXISTING/PROPOSED  
STREETSCAPES  
ENLARGED**

Sheet Number  
**A0.34**



1 PROPOSED MASSING STUDY



2 EXISTING MASSING STUDY

# 2417 GREEN STREET

SAN FRANCISCO, CA 94123  
BLOCK 0560 LOT 028

**DUMICAN MOSEY**  
ARCHITECTS

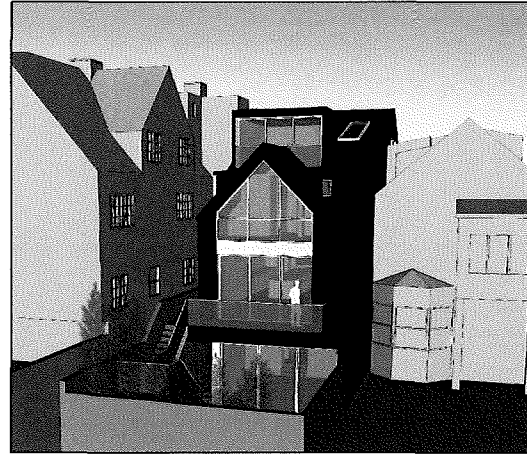
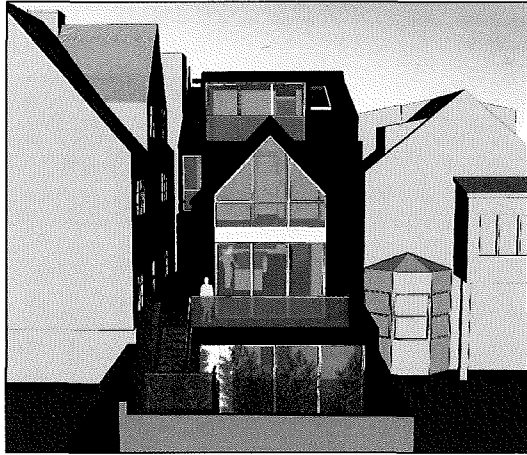
129 10th Street, 3rd floor  
San Francisco, California 94103  
t 415.495.9322 f 415.651.9290

Job No.	16112
Task	Date
ENVIRONMENTAL EVALUATION SET	02.10.17
PRE-APPLICATION PLAN	02.24.17
REVIEW	02.24.17
PROJECT REVIEW MEETING SET	03.14.17
SITE PERMITTING NOTIFICATION SET	04.28.17

Drawing Title  
**EXISTING/PROPOSED MASSING STUDIES**

Sheet Number

**A0.41**



1 PROPOSED MASSING STUDY



2 EXISTING MASSING STUDY

**2417 GREEN STREET**  
 SAN FRANCISCO, CA 94123  
 BLOCK 0560 LOT 028

**DUMICAN MOSEY**  
 ARCHITECTS

128 10th street, 3rd floor  
 San Francisco, California 94103  
 t 415.495.9222 f 415.661.9290

Job No	18112
Issue	Date
ENVIRONMENTAL EVALUATION SET	02.10.17
PRE-APPLICATION PLAN REVIEW	02.24.17
PROJECT REVIEW MEETING SET	03.14.17
SITE PERMIT/IT NOTIFICATION SET	04.28.17

Drawing Title  
**EXISTING/PROPOSED MASSING STUDIES**

Sheet Number  
**A0.42**



# 2417 GREEN STREET

SAN FRANCISCO, CA 94123  
BLOCK 0560 LOT 028

## DUMICAN MOSEY ARCHITECTS

128 10th Street, 3rd floor  
San Francisco, California 94103  
E: 415.495.9322 F: 415.651.0290



### REQUEST FOR WATER FLOW INFORMATION

DATE: 02 / 28 / 17 REQUEST IN FOR:  FIRE FLOW  FURNACE DESIGN  
 CONTACT PERSON: Anastasia Buzduganu ADDRESS: 128 10th Street, Floor 3, San Francisco  
 PHONE NO. (415) 495-9322 FAX NO. ( ) ( ) ( )  
 EMAIL: [anastasiabuzduganu@comcast.net](mailto:anastasiabuzduganu@comcast.net)  
 OWNER'S NAME: Chris DeJeri PHONE # (415) 492-1485  
 ADDRESS FOR WATER FLOW INFORMATION: PROVIDE SKETCH HERE:

2417 Green Street  
 CROSS STREETS ( BOTH ARE REQUIRED ):  
 From: / / To: / /  
 SPECIFY STREET FOR POINT OF CONNECTION: Green Street  
 OCCUPANCY (CIRCLE ONE):  RESIDENTIAL  COMMERCIAL  OTHER  
 HAZARD CLASSIFICATION: LIGHT COM1 COM2 EXT1 EXT2 OTHER  
 CANNISTACKER: YES NO  
 NUMBER OF STORIES: 4 Basement HEIGHT OF BUILDING: 48 FT. FT.  
 SUBJECT HEREWITH IS A FIRE FLOW CALCULATION PERFORMED BY: [Signature] FIRE ENGINEER, AND AN  
 ADDITIONAL SET OF DRAWINGS IS NECESSARY.  
 \* NO OTHER CHANGES TO THE DRAWINGS OR CALCULATIONS WILL BE PERMITTED.  
 \* PLEASE ALLOW 14 BUSINESS DAYS FOR PROCESSING.  
 Flow data provided by: [Signature] Date provided: 2/21/17  
 FIELD FLOW TEST: MAIAC 80 PSI  
 RECORDS ANALYSIS: RESIDENTIAL 65 PSI  
 FLOW: 900 GPM  
 LOC: MAIN m GREEN ST

City Page: 18  
 IF YOU HAVE ANY QUESTIONS PLEASE CONTACT INSPECTOR DELEN (415) 864541



### REQUEST FOR WATER FLOW INFORMATION

DATE: 02 / 28 / 17 REQUEST IN FOR:  FIRE FLOW  FURNACE DESIGN  
 CONTACT PERSON: Anastasia Buzduganu ADDRESS: 128 10th Street, Floor 3, San Francisco  
 PHONE NO. (415) 495-9322 FAX NO. ( ) ( ) ( )  
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## DUMICAN MOSEY ARCHITECTS

128 10th Street, 3rd floor  
San Francisco, California 94103  
E: 415.495.9322 F: 415.651.0290

Task	18112
ENVIRONMENTAL	02.10.17
EVALUATION/PERMITS	02.10.17
DESIGN	02.23.17
PROJECT REVIEW	03.13.17
PERMITS	03.13.17
CONSTRUCTION SET	04.28.17

Water Flow  
**WATER FLOW INFO  
 & PRE-APP PROJECT  
 REVIEW CONCLUSIONS**

A0.6

## DUMICAN MOSEY ARCHITECTS

128 10th Street, 3rd floor  
San Francisco, California 94103  
E: 415.495.9322 F: 415.651.0290

Task	18112
ENVIRONMENTAL	02.10.17
EVALUATION/PERMITS	02.10.17
DESIGN	02.23.17
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PERMITS	03.13.17
CONSTRUCTION SET	04.28.17

Water Flow  
**WATER FLOW INFO  
 & PRE-APP PROJECT  
 REVIEW CONCLUSIONS**

A0.6

## DUMICAN MOSEY ARCHITECTS

128 10th Street, 3rd floor  
San Francisco, California 94103  
E: 415.495.9322 F: 415.651.0290

Task	18112
ENVIRONMENTAL	02.10.17
EVALUATION/PERMITS	02.10.17
DESIGN	02.23.17
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PERMITS	03.13.17
CONSTRUCTION SET	04.28.17

Water Flow  
**WATER FLOW INFO  
 & PRE-APP PROJECT  
 REVIEW CONCLUSIONS**

A0.6

## DUMICAN MOSEY ARCHITECTS

128 10th Street, 3rd floor  
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Task	18112
ENVIRONMENTAL	02.10.17
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Water Flow  
**WATER FLOW INFO  
 & PRE-APP PROJECT  
 REVIEW CONCLUSIONS**

A0.6



City and County of San Francisco  
DEPARTMENT OF PUBLIC HEALTH  
ENVIRONMENTAL HEALTH

Edwin M. Lee, Mayor  
Barbara A. Gonsky, MPA, Director of Health  
Stephanie K. J. Coughlin, MPH, CHES, RHC  
Environmental Health Director

**WAIVER FROM SAN FRANCISCO HEALTH CODE ARTICLE 22A  
(MAHER ORDINANCE)**

Compliance with Article 22A of the San Francisco Health Code is required for all sites that require a permit from the Department of Building Inspection, will move or excavate at least 50 cubic yards (38.23 m<sup>3</sup>) of soil and/or that have the potential to contain hazardous materials in soil and/or groundwater or use within the mapped Article 22A (Maher) area. Sites subject to Article 22A may be granted a waiver by the San Francisco Department of Public Health per Section A.4. of Article 22A which states, "The Director may waive the requirements imposed by this Article if the applicant demonstrates that the property has been continuously zoned as residential under the City Planning Code since 1921, has been in residential use since that time, and no evidence has been presented to create a reasonable belief that the soil and/or groundwater may contain hazardous substances. In those circumstances, the Director shall provide the applicant and the Director of Building Inspection with written notification that the requirements of this Article have been waived."

The following information and documents were submitted in support of the Waiver:

- Site history information and/or environmental/geotechnical documents
- Project plans and elevation Drawings AND excavation, trenching grading plans
- Current or former underground storage tank operation and removal documents, as applicable

**PROPERTY/PROJECT INFORMATION**

Address: 2417 Green Street, Block/Lot: 0560 / 028, SMED No.: 1534  
Owner/Proprietor name: Chris Durkin (Chris@durkinincorporated.com) Contact Name/phone: Eric Dumack  
(415) 495-9322 (edumack@durkinincorporated.com)  
Proposed Address: 424 ELLIOT AVENUE, SAN FRANCISCO, CA 94118  
Current Site Use: Single Family Residence Proposed Site Use: Single Family Residence  
If residential use only, approximate year residential only use began: 1927

**COMMENTS:**

The San Francisco Department of Public Health has determined that:  
 The project Property has been continuously zoned as residential since at least 1921 AND the available information does not indicate potential or known the soil and/or groundwater contamination by certain hazardous substances or materials. AND The site use will remain as residential or a less sensitive land use.

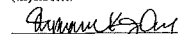
1370 Market Street, Suite 710, San Francisco, CA 94102  
Phone: 415-252-3000 | Fax: 415-252-3075

- Less than 50 Cubic Yards of soil will be disturbed by the proposed project AND the available information does not indicate potential or known the soil and/or groundwater contamination by certain hazardous substances or materials.
- A former underground storage tank removed from the residential site or nearby residential site, does not present a significant health or environmental risk to the project property based on the information available from publicly available state databases and SF DPH files.

**SFDPH Recommendations:**

- Site Soils are known to, or may, contain fill material. Fill material associated with the 1906 Earthquake and Fire or other fill materials in San Francisco may contain elevated lead concentrations among other potential contaminants. SF DPH recommends that excavated fill soils be segregated, stored on plastic sheeting and chemically analyzed for contaminants prior to soil reuse or as required by the disposal facility prior to disposal. The analyses considered may include the analytes listed in the Maher Ordinance, which include: Metals, volatile and semi-volatile organic compounds, cyanide and petroleum hydrocarbons. Any remaining soils with elevated contaminants should be capped by the building, landscape or at least one foot of clean soil over a visual physical barrier such as expanded plastic geogrid, or similar material.
- Construction activities should follow a work health and safety plan and dust control measures.

San Francisco Department of Public Health GRANTS A WAIVER FROM THE REQUIREMENTS OF THE SF HEALTH CODE ARTICLE 22A FOR THE SPECIFIED PROJECT ONLY BASED ON THE SITE CRITERIA AND CHARACTERISTICS LISTED ABOVE. Should you have any questions please contact the San Francisco Department of Public Health, Site Assessment and Mitigation Program (DPH SAM) at (415) 252-3906.

  
Stephanie K. J. Coughlin, MSPH, CHMM, RHC  
Director of Environmental Health  
San Francisco Department of Public Health

Date: 28 March 2017

cc: Jackie Poling, Environmental Planner  
San Francisco Planning Department  
1653 Mission Street, Suite 400  
San Francisco, CA 94103-2479  
jackie.poling@sfgov.org

Ed Sweeney, Deputy Director of Inspection Services  
San Francisco Department of Building Inspection  
1650 Mission Street  
San Francisco, CA 94103  
edward.sweeney@sfgov.org

**2417 GREEN STREET**

SAN FRANCISCO, CA 94123  
BLOCK 0560 LOT 028

**DUMICKAN MOSEY ARCHITECTS**

128 10th Street, 3rd floor  
San Francisco, California 94103  
t: 415-495-9322 f: 415-651-9290

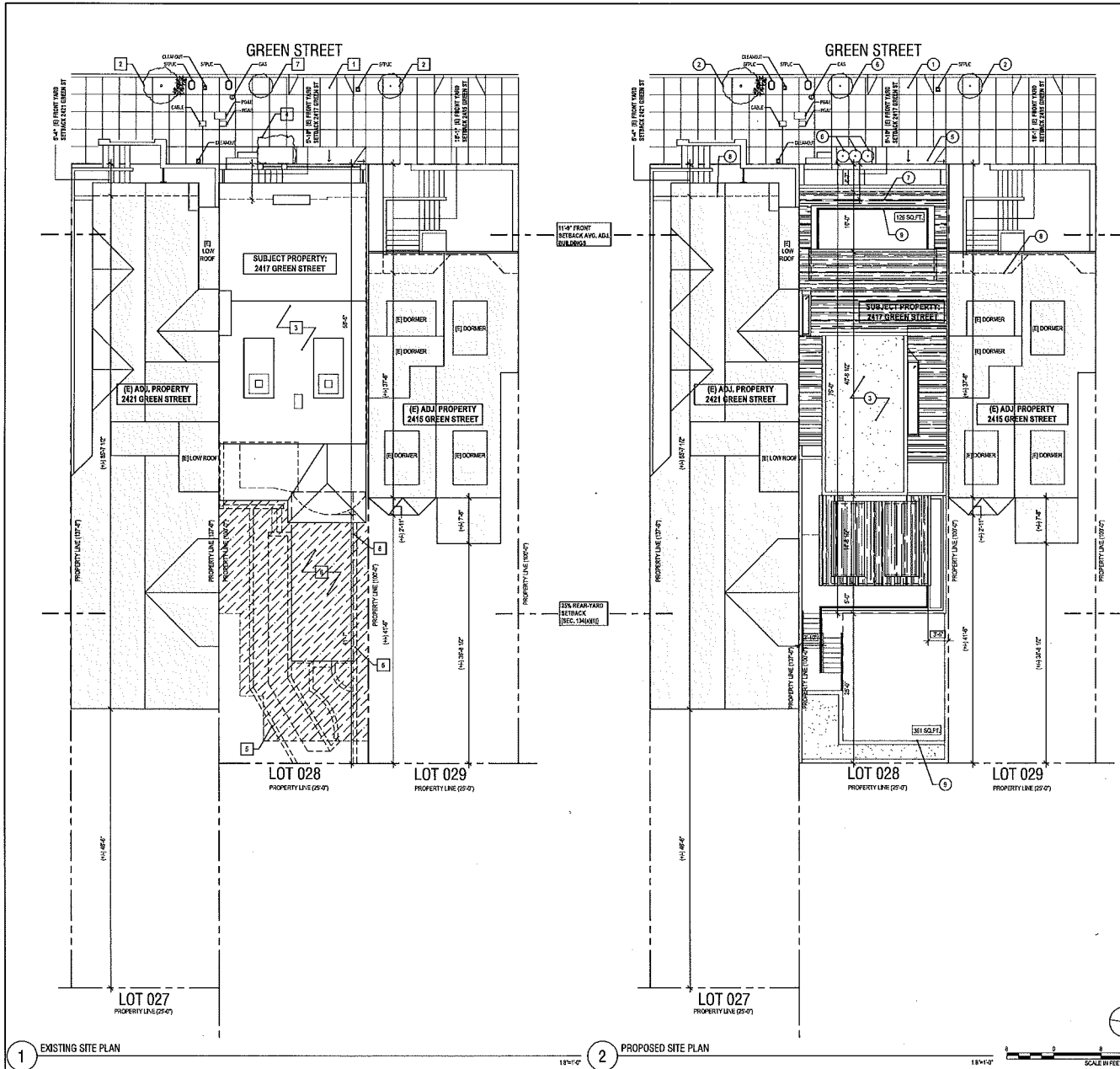
Job No.	16112
Issue	Date
ENVIRONMENTAL EVALUATION SET	02/10/17
PRE-APPLICATION PLAN REVIEW	02/24/17
PROJECT REVIEW MEETINGS SET	03/14/17
SITE PERMIT/311 NOTIFICATION SET	04/28/17

Drawn Title

**MAHER ORDINANCE WAIVER**

Sheet Number

**A0.7**



**GENERAL SITE PLAN NOTES**

1. THIS SITE PLAN IS GRAPHIC IN NATURE AND DOES NOT CONSTITUTE A SURVEY
2. REFER TO SHEETS D1.0-D1.5 AND A1.0-A1.5 FOR ADDITIONAL FLOOR PLANS AND INFORMATION

- DEMOLITION SITE PLAN KEY NOTES**
- 1 (E) CURB CUT TO REMAIN
  - 2 (E) STREET TREE TO REMAIN
  - 3 OUTLINE OF (E) BUILDING AT 2417 GREEN STREET
  - 4 (E) SIDEWALK LANDSCAPING TO REMAIN
  - 5 REMOVE (E) WALLS & LANDSCAPING TEMPORARILY BRACE SOIL TO PREVENT EROSION AND DISCHARGE OF SEDIMENT AND OTHER POLLUTANTS PER SWAP
  - 6 EXCAVATE AS REQUIRED FOR (E) CONSTRUCTION
  - 7 REMOVE (E) SIDEWALK LANDSCAPING
  - 8 OUTLINE OF (E) USABLE OPEN SPACE (+/-) 356 SQ. FT.

- PROPOSED SITE PLAN KEY NOTES**
- 1 (E) CURB CUT TO REMAIN
  - 2 (E) STREET TREE TO REMAIN
  - 3 OUTLINE OF PROPOSED BUILDING AT 2417 GREEN STREET
  - 4 (E) SIDEWALK LANDSCAPING TO REMAIN
  - 5 (E) TRAMP AT DAMAGE TO REMAIN
  - 6 (E) STREET TREE
  - 7 (E) FRONT WALL TO REMAIN AT SUBJECT PROPERTY
  - 8 (E) FRONT WALL TO REMAIN AT ADJACENT PROPERTY
  - 9 OUTLINE OF (E) USABLE OPEN SPACE (+/-) 487 SQ. FT.

**SUMMARY OF PLANNING CODE STANDARDS & ENVIRONMENTAL REQS.**

- ZONING DISTRICT:** RH-2 (RESIDENTIAL - HOUSE, ONE FAMILY)
- MIN. LOT AREA:** 2500 SQ. FT.
- MIN. LOT WIDTH:** 20'-0"
- REAR YARD SETBACK:** NONE REQUIRED
- FRONT YARD SETBACK:** BASED ON AVERAGE OF ADJACENT PROPERTIES, IN NO CASE SHALL THE REQUIRED SETBACK BE GREATER THAN 10' OR 1/4 OF LOT DEPTH.
- REAR YARD SETBACK:** - 25% OF THE TOTAL LOT DEPTH, BUT IN NO CASE LESS THAN 10'. (DEF. SEC. 134(a)(1)(B))
- PERMITTED OBSTRUCTIONS:** PERMITTED OBSTRUCTIONS BEYOND SETBACKS: MAX. 7'-0" HEADROOM FOR OVERHEAD UTILITIES; MAX. 9'-0" HEIGHT FOR PROJECTIONS INTO REQUIRED OPEN AREA. THE COMBINED LENGTH OF ALL BAY WINDOWS AND BALCONIES PROJECTING INTO THE REQUIRED OPEN AREA IS LIMITED TO 20% OF THE MINIMUM WIDTH OF THE LOT ALONG A REAR BUILDING WALL. (DEF. SEC. 134 (1)(D))
- OPEN SPACE:** - 400 SQ. FT. MIN. AREA; 8'-0" MIN. DIMENSION & 30 SQ. FT. MIN. AREA ON SIDE OR REAR; 10'-0" MIN. DIMENSION & 100 SQ. FT. MIN. AREA ON CORNER. (DEF. SEC. 135 & TABLE 135A)
- MAX. HEIGHT LIMIT:** - 30' (DEF. SEC. 141(b)(1))  
 - 30' AT FRONT SETBACKS, THEN INCREASE AT AN ANGLE OF 45 DEGREES TOWARD THE REAR OF LOT UNTIL THE HEIGHT LIMIT IS 30' (DEF. SEC. 141(b)(1))  
 - HEIGHT LIMIT AT THE FRONT PORTION OF THE BUILDING CAN BE INCREASED TO THE HEIGHTS OF THE ROOFS OF THE TWO ADJACENT BUILDINGS (DEF. SEC. 141(b)(2))  
 - ROOFS AT ROOF CAN BE EXEMPT FROM HEIGHT LIMIT UP TO 10' ABOVE HEIGHT LIMIT, SHALL NOT EXCEED 20% OF THE HORIZONTAL AREA OF THE ROOF ABOVE WHICH THEY ARE SITUATED (DEF. SEC. 141(b)(3))
- NUMBER OF PARKING SPACES:** ONE SPACE PER DWELLING UNIT (DEF. TABLE 133); THREE SPACES MAX. MINIMAL OPEN SPACE IS REQUIRED (DEF. SEC. 141(d)).
- RECYCLE PARKING:** ONE CLASS 1 SPACE PER DWELLING UNIT IS REQUIRED (DEF. TABLE 155.2.10 & ZONING ADMINISTRATION BULLETIN NO. 8)

**2417 GREEN STREET**  
 SAN FRANCISCO, CA 94123  
 BLOCK 0560 LOT 028

**DUMICAN MOSEY**  
 ARCHITECTS

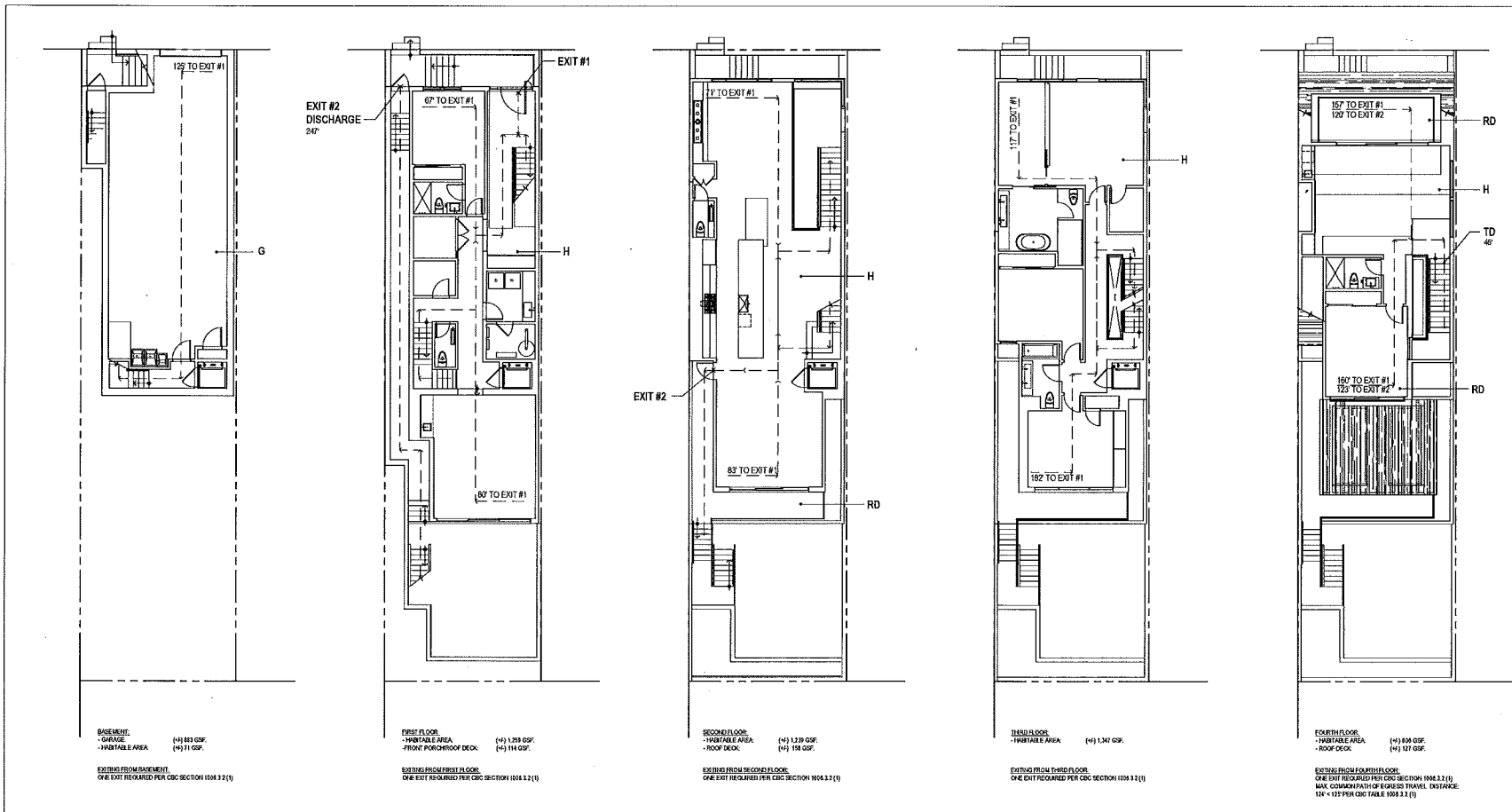
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Job No.	Date
ENVIRONMENTAL EVALUATION SET	02.10.17
PRE-APPLICATION PLAN REVIEW	02.24.17
PROJECT REVIEW MEETING SET	03.14.17
SITE PERMIT/TITLE NOTIFICATION SET	04.28.17

**EXISTING AND PROPOSED SITE PLAN**

Sheet Number

**A0.8**



LEGEND		OCCUPANCY LOAD CALCULATIONS		SUMMARY OF PRIMARY BUILDING CODE REQUIREMENTS	
<p>--- PATH OF EXIT ACCESS TRAVEL</p> <p>--- MAXIMUM TOTAL TRAVEL DISTANCE TO EXIT DISCHARGE FROM FLOOR</p> <p>--- MAX TRAVEL DISTANCE ON FLOOR TO STAIRWAY</p> <p>TD HABILITABLE AREA</p> <p>G GARAGE / MECHANICAL</p> <p>RD ROOF DECK</p> <p>EXIT EXTERIOR EXIT DOOR</p>		<p>TOTAL HABILITABLE AREA: (+) 4,122 GSF</p> <p>GAUGE: (+) 83 GSF</p> <p>TOTAL ROOF DECK: (+) 83 GSF</p> <p>OCCUPANCY LOAD (R-3) - HABILITABLE - ROOF DECK AREA: (+) 132 GSF / 250 = 27</p> <p>OCCUPANCY LOAD (R-3) - GARAGE: (+) 80 GSF / 100 = 1</p> <p><b>NOTE:</b> FOR THE PURPOSE OF OCCUPANCY LOAD CALCULATIONS GROSS FLOOR AREA IS MEASURED AS AREA WITHIN THE INSIDE PERIMETER OF THE EXTERIOR WALLS OF THE BUILDING PER CBC SECTION 1002.</p>		<p><b>CHAPTER 6. ORIGINAL BUILDING HEIGHTS AND AREAS:</b></p> <p>TABLE S-9.1, S-9.2, S-9.3 &amp; S-9.4: ALLOWABLE BUILDING HEIGHTS AND AREA CONSTRUCTION TYPE V-A, EQUIPPED WITH AN AUTOMATIC SMOKELESS SYSTEM \$100, 60'-4 STORES ABOVE GRADE PLANE, AREA UNLIMITED</p> <p><b>CHAPTER 8. TYPES OF CONSTRUCTION:</b></p> <p>TABLE 8.01: FIRE RESISTANCE RATING REQUIREMENTS FOR BUILDINGS IN VARIETY PRIMARY STRUCTURAL FRAME: NO FIRE RESISTANCE IN THE EXTERIOR BEARING WALLS. NO FIRE RESISTANCE IN THE INTERIOR BEARING WALLS. NO FIRE RESISTANCE IN THE ROOF BEARING WALLS OR EXTERIOR, NO RATING</p> <p>TABLE 8.02: FIRE RESISTANCE RATING REQUIREMENTS FOR EXTERIOR WALLS BASED ON FIRE SEPARATION DISTANCE, OCCUPANCY TYPE, AND AUTOMATIC SMOKELESS SYSTEM</p> <p><b>CHAPTER 7. FIRE AND SMOKE PROTECTION FEATURES:</b></p> <p>TABLE 7.03: MAXIMUM AREA OF EXTERIOR WALL OPENINGS BASED ON FIRE SEPARATION DISTANCE AND HEIGHT OF OPENING</p> <p>SECTION 7.04: MEANS OF EGRESS:</p> <p>SECTION 7.05: MEANS OF EGRESS:</p> <p>TABLE 7.05: MEANS OF EGRESS:</p> <p>SECTION 7.06: MEANS OF EGRESS:</p> <p>SECTION 7.07: MEANS OF EGRESS:</p> <p>SECTION 7.08: MEANS OF EGRESS:</p> <p>SECTION 7.09: MEANS OF EGRESS:</p> <p>SECTION 7.10: MEANS OF EGRESS:</p> <p>SECTION 7.11: MEANS OF EGRESS:</p> <p>SECTION 7.12: MEANS OF EGRESS:</p> <p>SECTION 7.13: MEANS OF EGRESS:</p> <p>SECTION 7.14: MEANS OF EGRESS:</p> <p>SECTION 7.15: MEANS OF EGRESS:</p> <p>SECTION 7.16: MEANS OF EGRESS:</p> <p>SECTION 7.17: MEANS OF EGRESS:</p> <p>SECTION 7.18: MEANS OF EGRESS:</p> <p>SECTION 7.19: MEANS OF EGRESS:</p> <p>SECTION 7.20: MEANS OF EGRESS:</p> <p>SECTION 7.21: MEANS OF EGRESS:</p> <p>SECTION 7.22: MEANS OF EGRESS:</p> <p>SECTION 7.23: MEANS OF EGRESS:</p> <p>SECTION 7.24: MEANS OF EGRESS:</p> <p>SECTION 7.25: MEANS OF EGRESS:</p> <p>SECTION 7.26: MEANS OF EGRESS:</p> <p>SECTION 7.27: MEANS OF EGRESS:</p> <p>SECTION 7.28: MEANS OF EGRESS:</p> <p>SECTION 7.29: MEANS OF EGRESS:</p> <p>SECTION 7.30: MEANS OF EGRESS:</p> <p>SECTION 7.31: MEANS OF EGRESS:</p> <p>SECTION 7.32: MEANS OF EGRESS:</p> <p>SECTION 7.33: MEANS OF EGRESS:</p> <p>SECTION 7.34: MEANS OF EGRESS:</p> <p>SECTION 7.35: MEANS OF EGRESS:</p> <p>SECTION 7.36: MEANS OF EGRESS:</p> <p>SECTION 7.37: MEANS OF EGRESS:</p> <p>SECTION 7.38: MEANS OF EGRESS:</p> <p>SECTION 7.39: MEANS OF EGRESS:</p> <p>SECTION 7.40: MEANS OF EGRESS:</p> <p>SECTION 7.41: MEANS OF EGRESS:</p> <p>SECTION 7.42: MEANS OF EGRESS:</p> <p>SECTION 7.43: MEANS OF EGRESS:</p> <p>SECTION 7.44: MEANS OF EGRESS:</p> <p>SECTION 7.45: MEANS OF EGRESS:</p> <p>SECTION 7.46: MEANS OF EGRESS:</p> <p>SECTION 7.47: MEANS OF EGRESS:</p> <p>SECTION 7.48: MEANS OF EGRESS:</p> <p>SECTION 7.49: MEANS OF EGRESS:</p> <p>SECTION 7.50: MEANS OF EGRESS:</p> <p>SECTION 7.51: MEANS OF EGRESS:</p> <p>SECTION 7.52: MEANS OF EGRESS:</p> <p>SECTION 7.53: MEANS OF EGRESS:</p> <p>SECTION 7.54: MEANS OF EGRESS:</p> <p>SECTION 7.55: MEANS OF EGRESS:</p> <p>SECTION 7.56: MEANS OF EGRESS:</p> <p>SECTION 7.57: MEANS OF EGRESS:</p> <p>SECTION 7.58: MEANS OF EGRESS:</p> <p>SECTION 7.59: MEANS OF EGRESS:</p> <p>SECTION 7.60: MEANS OF EGRESS:</p> <p>SECTION 7.61: MEANS OF EGRESS:</p> <p>SECTION 7.62: MEANS OF EGRESS:</p> <p>SECTION 7.63: MEANS OF EGRESS:</p> <p>SECTION 7.64: MEANS OF EGRESS:</p> <p>SECTION 7.65: MEANS OF EGRESS:</p> <p>SECTION 7.66: MEANS OF EGRESS:</p> <p>SECTION 7.67: MEANS OF EGRESS:</p> <p>SECTION 7.68: MEANS OF EGRESS:</p> <p>SECTION 7.69: MEANS OF EGRESS:</p> <p>SECTION 7.70: MEANS OF EGRESS:</p> <p>SECTION 7.71: MEANS OF EGRESS:</p> <p>SECTION 7.72: MEANS OF EGRESS:</p> <p>SECTION 7.73: MEANS OF EGRESS:</p> <p>SECTION 7.74: MEANS OF EGRESS:</p> <p>SECTION 7.75: MEANS OF EGRESS:</p> <p>SECTION 7.76: MEANS OF EGRESS:</p> <p>SECTION 7.77: MEANS OF EGRESS:</p> <p>SECTION 7.78: MEANS OF EGRESS:</p> <p>SECTION 7.79: MEANS OF EGRESS:</p> <p>SECTION 7.80: MEANS OF EGRESS:</p> <p>SECTION 7.81: MEANS OF EGRESS:</p> <p>SECTION 7.82: MEANS OF EGRESS:</p> <p>SECTION 7.83: MEANS OF EGRESS:</p> <p>SECTION 7.84: MEANS OF EGRESS:</p> <p>SECTION 7.85: MEANS OF EGRESS:</p> <p>SECTION 7.86: MEANS OF EGRESS:</p> <p>SECTION 7.87: MEANS OF EGRESS:</p> <p>SECTION 7.88: MEANS OF EGRESS:</p> <p>SECTION 7.89: MEANS OF EGRESS:</p> <p>SECTION 7.90: MEANS OF EGRESS:</p> <p>SECTION 7.91: MEANS OF EGRESS:</p> <p>SECTION 7.92: MEANS OF EGRESS:</p> <p>SECTION 7.93: MEANS OF EGRESS:</p> <p>SECTION 7.94: MEANS OF EGRESS:</p> <p>SECTION 7.95: MEANS OF EGRESS:</p> <p>SECTION 7.96: MEANS OF EGRESS:</p> <p>SECTION 7.97: MEANS OF EGRESS:</p> <p>SECTION 7.98: MEANS OF EGRESS:</p> <p>SECTION 7.99: MEANS OF EGRESS:</p> <p>SECTION 8.00: MEANS OF EGRESS:</p>	
<p><b>EGRESS EXITING CALCULATIONS</b></p> <p>TWO EXITS FROM THE BUILDING ARE PROVIDED</p> <p>MAX. COMMON PATH OF EGRESS TRAVEL DISTANCE: 10' + 132' PER CBC TABLE 1004.2.2(1) FROM FLOOR 4 TO EXIT #1, LOCATED ON FLOOR 4</p> <p>TRAVEL DISTANCE FROM THE MOST REMOTE OCCUPIED POINT TO A STAIRWAY ON FLOOR 4 IS 41' - 49" (1011.2, 875BC 2011)</p> <p>EXIT ACCESS TRAVEL DISTANCE FROM THE MOST REMOTE OCCUPIED POINT ON FLOOR 4 TO EXIT #2 DISCHARGE TO PUBLIC WAY IS 4' - 31" (1017.2, 875BC 2011)</p>		<p><b>SECTION 1004.2.2(1) - EXITS:</b> ONE EXIT REQUIRED PER CBC SECTION 1004.2.2(1)</p> <p><b>SECTION 1008.3.1(1) - EXITS:</b> ONE EXIT REQUIRED PER CBC SECTION 1008.3.1(1)</p>		<p><b>SECTION 1005.1.1 - WINDOW OPENINGS:</b> WINDOW OPENINGS CONTROL DEVICE IF THE TOP OF THE SILL OF AN OPERABLE WINDOW OPENING IS LOCATED LESS THAN 30" A.F.F., THE WINDOW SHALL BE PROVIDED WITH WINDOW OPERATING CONTROL DEVICES THAT COMPLY WITH ASHRAE 90.2</p> <p><b>SECTION 1005.1.2 - WINDOW OPENINGS:</b> WINDOW OPENINGS CONTROL DEVICE IF THE TOP OF THE SILL OF AN OPERABLE WINDOW OPENING IS LOCATED LESS THAN 30" A.F.F., THE WINDOW SHALL BE PROVIDED WITH WINDOW OPERATING CONTROL DEVICES THAT COMPLY WITH ASHRAE 90.2</p> <p><b>SECTION 1005.1.3 - WINDOW OPENINGS:</b> WINDOW OPENINGS CONTROL DEVICE IF THE TOP OF THE SILL OF AN OPERABLE WINDOW OPENING IS LOCATED LESS THAN 30" A.F.F., THE WINDOW SHALL BE PROVIDED WITH WINDOW OPERATING CONTROL DEVICES THAT COMPLY WITH ASHRAE 90.2</p> <p><b>SECTION 1005.1.4 - WINDOW OPENINGS:</b> WINDOW OPENINGS CONTROL DEVICE IF THE TOP OF THE SILL OF AN OPERABLE WINDOW OPENING IS LOCATED LESS THAN 30" A.F.F., THE WINDOW SHALL BE PROVIDED WITH WINDOW OPERATING CONTROL DEVICES THAT COMPLY WITH ASHRAE 90.2</p> <p><b>SECTION 1005.1.5 - WINDOW OPENINGS:</b> WINDOW OPENINGS CONTROL DEVICE IF THE TOP OF THE SILL OF AN OPERABLE WINDOW OPENING IS LOCATED LESS THAN 30" A.F.F., THE WINDOW SHALL BE PROVIDED WITH WINDOW OPERATING CONTROL DEVICES THAT COMPLY WITH ASHRAE 90.2</p> <p><b>SECTION 1005.1.6 - WINDOW OPENINGS:</b> WINDOW OPENINGS CONTROL DEVICE IF THE TOP OF THE SILL OF AN OPERABLE WINDOW OPENING IS LOCATED LESS THAN 30" A.F.F., THE WINDOW SHALL BE PROVIDED WITH WINDOW OPERATING CONTROL DEVICES THAT COMPLY WITH ASHRAE 90.2</p> <p><b>SECTION 1005.1.7 - WINDOW OPENINGS:</b> WINDOW OPENINGS CONTROL DEVICE IF THE TOP OF THE SILL OF AN OPERABLE WINDOW OPENING IS LOCATED LESS THAN 30" A.F.F., THE WINDOW SHALL BE PROVIDED WITH WINDOW OPERATING CONTROL DEVICES THAT COMPLY WITH ASHRAE 90.2</p> <p><b>SECTION 1005.1.8 - WINDOW OPENINGS:</b> WINDOW OPENINGS CONTROL DEVICE IF THE TOP OF THE SILL OF AN OPERABLE WINDOW OPENING IS LOCATED LESS THAN 30" A.F.F., THE WINDOW SHALL BE PROVIDED WITH WINDOW OPERATING CONTROL DEVICES THAT COMPLY WITH ASHRAE 90.2</p> <p><b>SECTION 1005.1.9 - WINDOW OPENINGS:</b> WINDOW OPENINGS CONTROL DEVICE IF THE TOP OF THE SILL OF AN OPERABLE WINDOW OPENING IS LOCATED LESS THAN 30" A.F.F., THE WINDOW SHALL BE PROVIDED WITH WINDOW OPERATING CONTROL DEVICES THAT COMPLY WITH ASHRAE 90.2</p> <p><b>SECTION 1005.1.10 - WINDOW OPENINGS:</b> WINDOW OPENINGS CONTROL DEVICE IF THE TOP OF THE SILL OF AN OPERABLE WINDOW OPENING IS LOCATED LESS THAN 30" A.F.F., THE WINDOW SHALL BE PROVIDED WITH WINDOW OPERATING CONTROL DEVICES THAT COMPLY WITH ASHRAE 90.2</p> <p><b>SECTION 1005.1.11 - WINDOW OPENINGS:</b> WINDOW OPENINGS CONTROL DEVICE IF THE TOP OF THE SILL OF AN OPERABLE WINDOW OPENING IS LOCATED LESS THAN 30" A.F.F., THE WINDOW SHALL BE PROVIDED WITH WINDOW OPERATING CONTROL DEVICES THAT COMPLY WITH ASHRAE 90.2</p> <p><b>SECTION 1005.1.12 - WINDOW OPENINGS:</b> WINDOW OPENINGS CONTROL DEVICE IF THE TOP OF THE SILL OF AN OPERABLE WINDOW OPENING IS LOCATED LESS THAN 30" A.F.F., THE WINDOW SHALL BE PROVIDED WITH WINDOW OPERATING CONTROL DEVICES THAT COMPLY WITH ASHRAE 90.2</p> <p><b>SECTION 1005.1.13 - WINDOW OPENINGS:</b> WINDOW OPENINGS CONTROL DEVICE IF THE TOP OF THE SILL OF AN OPERABLE WINDOW OPENING IS LOCATED LESS THAN 30" A.F.F., THE WINDOW SHALL BE PROVIDED WITH WINDOW OPERATING CONTROL DEVICES THAT COMPLY WITH ASHRAE 90.2</p> <p><b>SECTION 1005.1.14 - WINDOW OPENINGS:</b> WINDOW OPENINGS CONTROL DEVICE IF THE TOP OF THE SILL OF AN OPERABLE WINDOW OPENING IS LOCATED LESS THAN 30" A.F.F., THE WINDOW SHALL BE PROVIDED WITH WINDOW OPERATING CONTROL DEVICES THAT COMPLY WITH ASHRAE 90.2</p> <p><b>SECTION 1005.1.15 - WINDOW OPENINGS:</b> WINDOW OPENINGS CONTROL DEVICE IF THE TOP OF THE SILL OF AN OPERABLE WINDOW OPENING IS LOCATED LESS THAN 30" A.F.F., THE WINDOW SHALL BE PROVIDED WITH WINDOW OPERATING CONTROL DEVICES THAT COMPLY WITH ASHRAE 90.2</p> <p><b>SECTION 1005.1.16 - WINDOW OPENINGS:</b> WINDOW OPENINGS CONTROL DEVICE IF THE TOP OF THE SILL OF AN OPERABLE WINDOW OPENING IS LOCATED LESS THAN 30" A.F.F., THE WINDOW SHALL BE PROVIDED WITH WINDOW OPERATING CONTROL DEVICES THAT COMPLY WITH ASHRAE 90.2</p> <p><b>SECTION 1005.1.17 - WINDOW OPENINGS:</b> WINDOW OPENINGS CONTROL DEVICE IF THE TOP OF THE SILL OF AN OPERABLE WINDOW OPENING IS LOCATED LESS THAN 30" A.F.F., THE WINDOW SHALL BE PROVIDED WITH WINDOW OPERATING CONTROL DEVICES THAT COMPLY WITH ASHRAE 90.2</p> <p><b>SECTION 1005.1.18 - WINDOW OPENINGS:</b> WINDOW OPENINGS CONTROL DEVICE IF THE TOP OF THE SILL OF AN OPERABLE WINDOW OPENING IS LOCATED LESS THAN 30" A.F.F., THE WINDOW SHALL BE PROVIDED WITH WINDOW OPERATING CONTROL DEVICES THAT COMPLY WITH ASHRAE 90.2</p> <p><b>SECTION 1005.1.19 - WINDOW OPENINGS:</b> WINDOW OPENINGS CONTROL DEVICE IF THE TOP OF THE SILL OF AN OPERABLE WINDOW OPENING IS LOCATED LESS THAN 30" A.F.F., THE WINDOW SHALL BE PROVIDED WITH WINDOW OPERATING CONTROL DEVICES THAT COMPLY WITH ASHRAE 90.2</p> <p><b>SECTION 1005.1.20 - WINDOW OPENINGS:</b> WINDOW OPENINGS CONTROL DEVICE IF THE TOP OF THE SILL OF AN OPERABLE WINDOW OPENING IS LOCATED LESS THAN 30" A.F.F., THE WINDOW SHALL BE PROVIDED WITH WINDOW OPERATING CONTROL DEVICES THAT COMPLY WITH ASHRAE 90.2</p> <p><b>SECTION 1005.1.21 - WINDOW OPENINGS:</b> WINDOW OPENINGS CONTROL DEVICE IF THE TOP OF THE SILL OF AN OPERABLE WINDOW OPENING IS LOCATED LESS THAN 30" A.F.F., THE WINDOW SHALL BE PROVIDED WITH WINDOW OPERATING CONTROL DEVICES THAT COMPLY WITH ASHRAE 90.2</p> <p><b>SECTION 1005.1.22 - WINDOW OPENINGS:</b> WINDOW OPENINGS CONTROL DEVICE IF THE TOP OF THE SILL OF AN OPERABLE WINDOW OPENING IS LOCATED LESS THAN 30" A.F.F., THE WINDOW SHALL BE PROVIDED WITH WINDOW OPERATING CONTROL DEVICES THAT COMPLY WITH ASHRAE 90.2</p> <p><b>SECTION 1005.1.23 - WINDOW OPENINGS:</b> WINDOW OPENINGS CONTROL DEVICE IF THE TOP OF THE SILL OF AN OPERABLE WINDOW OPENING IS LOCATED LESS THAN 30" A.F.F., THE WINDOW SHALL BE PROVIDED WITH WINDOW OPERATING CONTROL DEVICES THAT COMPLY WITH ASHRAE 90.2</p> <p><b>SECTION 1005.1.24 - WINDOW OPENINGS:</b> WINDOW OPENINGS CONTROL DEVICE IF THE TOP OF THE SILL OF AN OPERABLE WINDOW OPENING IS LOCATED LESS THAN 30" A.F.F., THE WINDOW SHALL BE PROVIDED WITH WINDOW OPERATING CONTROL DEVICES THAT COMPLY WITH ASHRAE 90.2</p> <p><b>SECTION 1005.1.25 - WINDOW OPENINGS:</b> WINDOW OPENINGS CONTROL DEVICE IF THE TOP OF THE SILL OF AN OPERABLE WINDOW OPENING IS LOCATED LESS THAN 30" A.F.F., THE WINDOW SHALL BE PROVIDED WITH WINDOW OPERATING CONTROL DEVICES THAT COMPLY WITH ASHRAE 90.2</p> <p><b>SECTION 1005.1.26 - WINDOW OPENINGS:</b> WINDOW OPENINGS CONTROL DEVICE IF THE TOP OF THE SILL OF AN OPERABLE WINDOW OPENING IS LOCATED LESS THAN 30" A.F.F., THE WINDOW SHALL BE PROVIDED WITH WINDOW OPERATING CONTROL DEVICES THAT COMPLY WITH ASHRAE 90.2</p> <p><b>SECTION 1005.1.27 - WINDOW OPENINGS:</b> WINDOW OPENINGS CONTROL DEVICE IF THE TOP OF THE SILL OF AN OPERABLE WINDOW OPENING IS LOCATED LESS THAN 30" A.F.F., THE WINDOW SHALL BE PROVIDED WITH WINDOW OPERATING CONTROL DEVICES THAT COMPLY WITH ASHRAE 90.2</p> <p><b>SECTION 1005.1.28 - WINDOW OPENINGS:</b> WINDOW OPENINGS CONTROL DEVICE IF THE TOP OF THE SILL OF AN OPERABLE WINDOW OPENING IS LOCATED LESS THAN 30" A.F.F., THE WINDOW SHALL BE PROVIDED WITH WINDOW OPERATING CONTROL DEVICES THAT COMPLY WITH ASHRAE 90.2</p> <p><b>SECTION 1005.1.29 - WINDOW OPENINGS:</b> WINDOW OPENINGS CONTROL DEVICE IF THE TOP OF THE SILL OF AN OPERABLE WINDOW OPENING IS LOCATED LESS THAN 30" A.F.F., THE WINDOW SHALL BE PROVIDED WITH WINDOW OPERATING CONTROL DEVICES THAT COMPLY WITH ASHRAE 90.2</p> <p><b>SECTION 1005.1.30 - WINDOW OPENINGS:</b> WINDOW OPENINGS CONTROL DEVICE IF THE TOP OF THE SILL OF AN OPERABLE WINDOW OPENING IS LOCATED LESS THAN 30" A.F.F., THE WINDOW SHALL BE PROVIDED WITH WINDOW OPERATING CONTROL DEVICES THAT COMPLY WITH ASHRAE 90.2</p>	

# 2417 GREEN STREET

SAN FRANCISCO, CA 94123  
BLOCK 0560 LOT 028

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**DUMICAN MOSEY**  
ARCHITECTS

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San Francisco, California 94103  
t: 415.495.9392 f: 415.651.9290

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Job No.	Date
IS/NOTIFICATION SET	02.10.17
PRE-APPLICATION PLAN	02.14.17
REVIEW MEETING SET	03.14.17
SITE PERMIT NOTIFICATION SET	04.28.17

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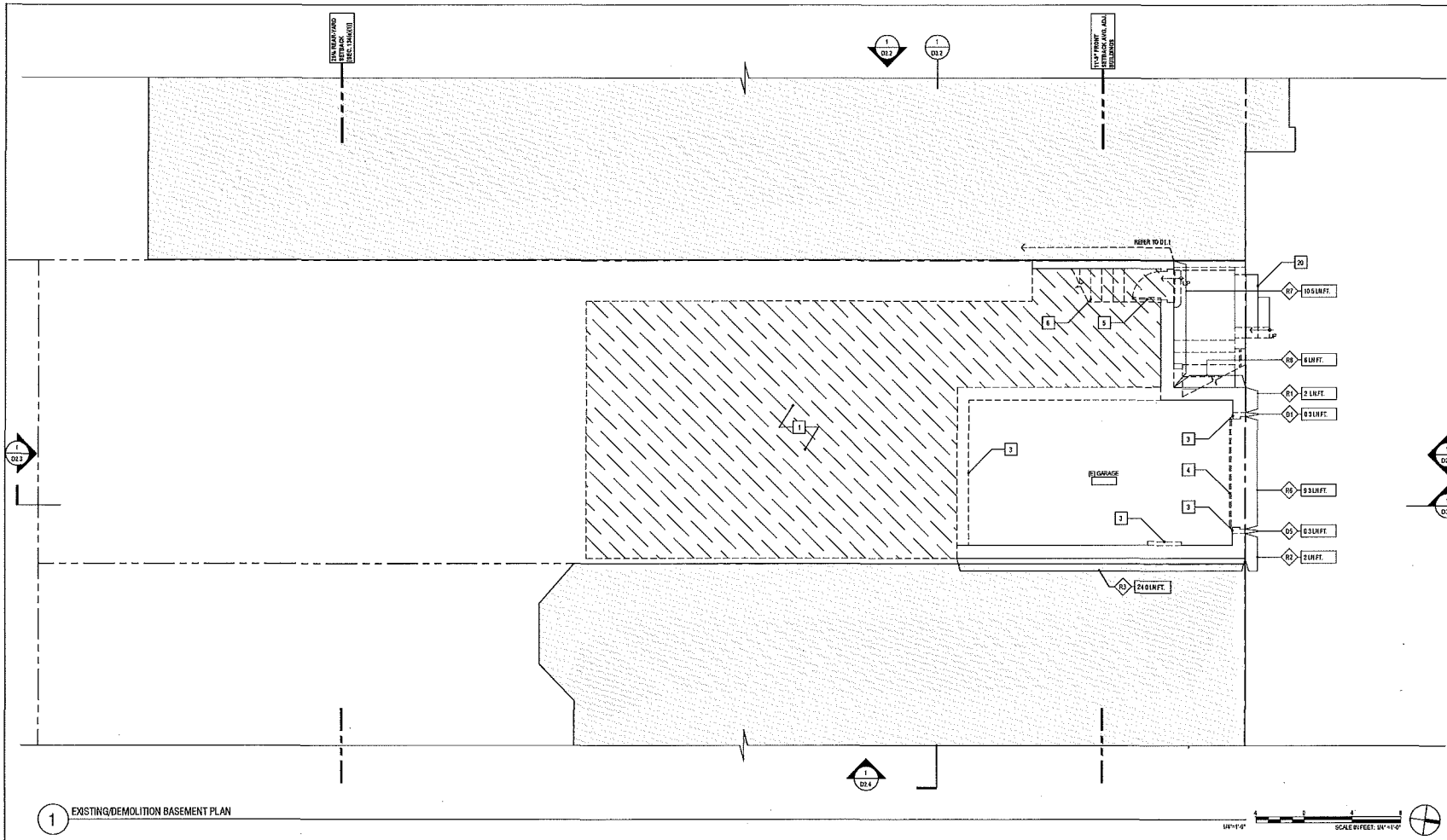
Drawing Title

## EXITING DIAGRAM/ CALCULATIONS

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Sheet Number

# A0.9



**GENERAL PLAN NOTES**

1. NOT ALL KEY NOTES ARE USED ON EVERY SHEET
2. REFER TO A-D COVER SHEET FOR DEMOLITION CALCULATIONS

**EXISTING/DEMOLITION PLAN SHEET NOTES**

- 1 EXCAVATE AS REQUIRED TO PERFORM (H) WORK
- 2 REMOVE (F) FLOOR ROOF ASSEMBLY TO PERFORM (H) WORK
- 3 REMOVE (E) WALL ASSEMBLY AS REQUIRED TO PERFORM (H) WORK
- 4 REMOVE (E) GARAGE DOOR
- 5 REMOVE (E) DOOR
- 6 REMOVE (E) STAIR
- 7 REMOVE (E) MECHANICAL EQUIPMENT
- 8 REMOVE (E) PIPE/PLATE
- 9 REMOVE (E) WINDOW ASSEMBLY
- 10 REMOVE (E) QUADRANT
- 11 REMOVE INTERIOR WALL FINISH
- 12 REMOVE (E) PLUMBING FEATURE
- 13 REMOVE (E) CASEWORK

- 14 REMOVE (E) DOWNRUB
- 15 REMOVE (E) CHIMNEY
- 16 (E) ROOF TO BE REMOVED BELOW
- 17 (E) ROOF ABOVE
- 18 (E) ROOF TO REMAIN
- 19 (E) FLOOR ASSEMBLY INCLUDED IN THE SPEC SECTION 317.5.2 DEMOLITION CALCULATIONS ON SHEET A-D-D BASED ON ITS "RELOCATION" IN ASSOCIATION WITH THE LOWERING OF THE BUILDING
- 20 (E) STEPS TO REMAIN

**DEMOLITION CALCULATIONS - PLANNING CODE SEC. 317.5.2.B**

	LINEAR FEET OF WALL: (R) = REMAIN, (D) = DEMOLISHED							TOTAL W	D1	D2	D3	D4	D5	TOTAL D
	R1	R2	R3	R4	R5	R6	R7							
FRONT FACADE - EXISTING TO REMAIN	7	2	--	--	--	9.3	10.5	--	29.8 (97.5%)					
FRONT FACADE - EXISTING TO BE REMOVED									0.3	--		0.3		0.6 (2.5%)
FRONT FACADE - EXISTING TO REMAIN									0 (0%)					
REAR FACADE - EXISTING TO REMAIN									11.2	--	13.2			24.4 (90%)
% OF REAR & FRONT FACADE									20.8 (69%)					25 (51%)
FOUNDATION LEVEL / FLOOR 1 EXISTING TO REMAIN	7	2	24	307	405	9.3	10.5	6	125 (97%)					
FOUNDATION LEVEL / FLOOR 1 EXISTING TO BE REMOVED									0.3	11.2	0.3	13.2	0.3	33.2 (21%)
% FOUNDATION LEVEL / FLOOR 1 EXISTING TO BE REMOVED									125 (97%)					33.2 (21%)

# 2417 GREEN STREET

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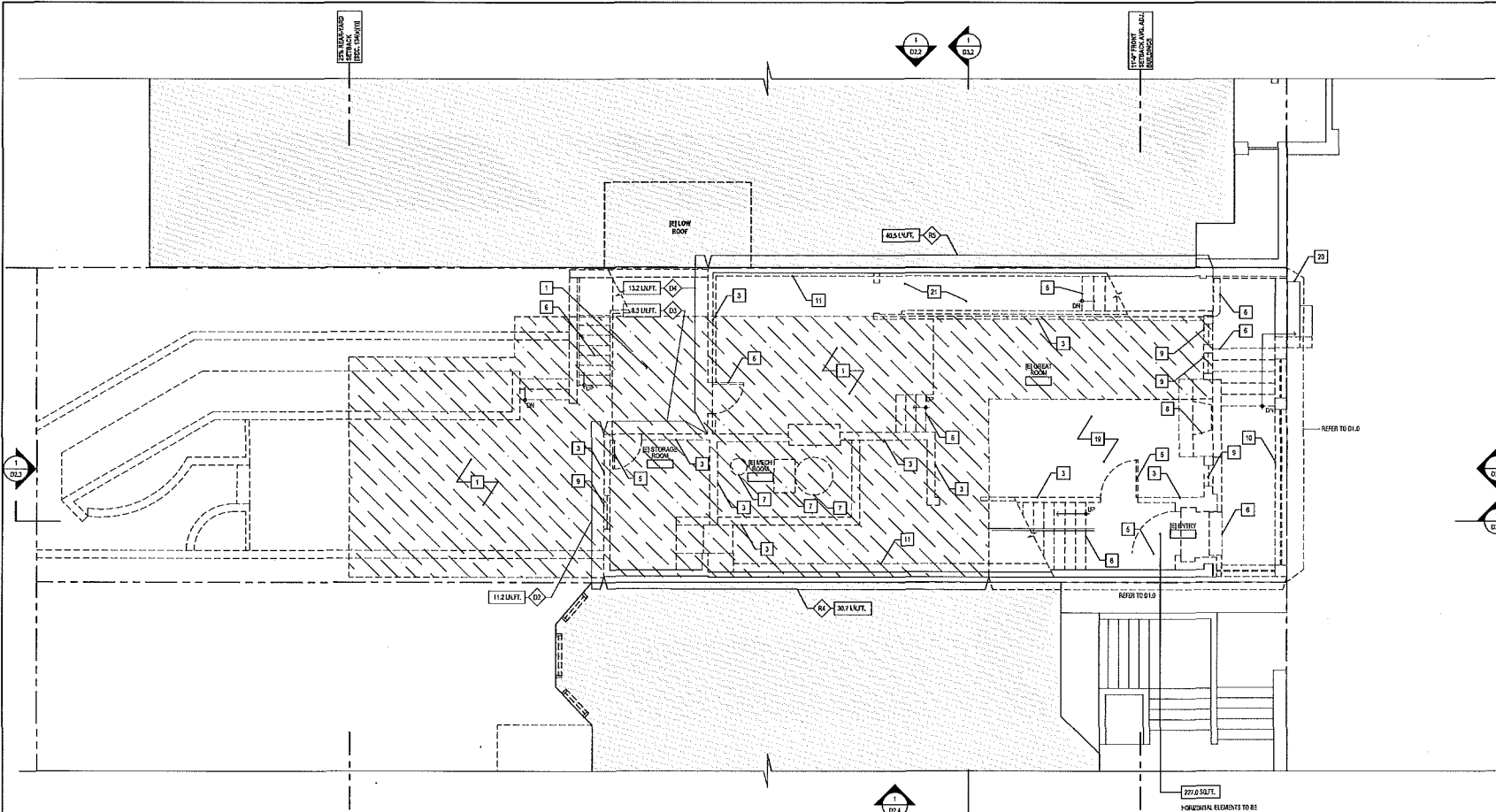
**DUMICAN MOSEY ARCHITECTS**

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Job No.	16112
Issue	
ENVIRONMENTAL EVALUATION SET	02/10/17
PRE-APPLICATION PLAN REVIEW	02/24/17
PROJECT REVIEW	03/14/17
ISSUING SET	03/14/17
SITE PERMIT/ATI NOTIFICATION SET	04/28/17

Drawing Title  
**EXISTING/DEMOLITION BASEMENT PLAN**

Sheet Number  
**D1.0**



1 EXISTING/DEMOLITION FIRST FLOOR PLAN

# 2417 GREEN STREET

SAN FRANCISCO, CA 94123  
BLOCK 0560 LOT 028

**DUMICAN MOSEY**  
ARCHITECTS

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Job No.	16112
Date	
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DESIGN PROJECT REVIEW	02.24.17
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NOTIFICATION SET	04.28.17

Sheet Title  
**EXISTING/DEMOLITION FIRST FLOOR PLAN**

Sheet Number

**D1.1**

**GENERAL PLAN NOTES**

1. NOT ALL KEY NOTES ARE USED ON EVERY SHEET
2. REFER TO A&E COVER SHEET FOR DEMOLITION CALCULATIONS

EXISTING/DEMOLITION PLAN SHEET NOTES

- 1 EXCAVATE AS REQUIRED TO PERFORM (H) WORK
- 2 REMOVE (F) FLOOR/ROOF ASSEMBLY TO PERFORM (H) WORK
- 3 REMOVE (F) WALL ASSEMBLY AS REQUIRED TO PERFORM (H) WORK
- 4 REMOVE (F) GARAGE DOOR
- 5 REMOVE (F) DOOR
- 6 REMOVE (F) STAIR
- 7 REMOVE (F) MECHANICAL EQUIPMENT
- 8 REMOVE (F) REFRIGERATE
- 9 REMOVE (F) WINDOW ASSEMBLY
- 10 REMOVE (F) CHIMNEYP
- 11 REMOVE INTERIOR WALL FINISH
- 12 REMOVE (F) PULLBAY/FUTURE
- 13 REMOVE (F) CASEWORK

- 14 REMOVE (F) DOWNER
- 15 REMOVE (F) CHIMNEY
- 16 (F) ROOF TO BE REMOVED BELOW
- 17 (F) ROOF ASHTRAY
- 18 (F) ROOF TO REMAIN
- 19 (F) FLOOR ASSEMBLY INCLUDED IN THE SPS SECTION 317.3.2.2 DEMOLITION CALCULATIONS OR SHOWN AS BEING ON THE RELOCATION IN ASSOCIATION WITH THE LOCATION OF THE BUILDING.
- 20 (F) STEPS TO REMAIN
- 21 EXCAVATE AS REQUIRED TO PERFORM (H) WORK AT SITE PROPERTY LINE

**DEMOLITION CALCULATIONS - PLANNING CODE SEC. 317.B.2.B**

	LINEAR FEET OF WALL (R=REMAIN, D=DEMOLISHED)										TOTAL SF	
	D1	D2	D3	D4	D5	D6	D7	D8	D9	D10		
FRONT FACADE - EXISTING TO REMAIN	2	2	-	-	0.3	10.5	-	-	-	-	23.8 (97.5%)	
FRONT FACADE - EXISTING TO BE REMOVED											0.3	0.6 (2.5%)
REAR FACADE - EXISTING TO REMAIN											0 (0%)	
REAR FACADE - EXISTING TO BE REMOVED											11.3	21.4 (100%)
% OF REAR FACADE											23.8 (97%)	25 (94%)
FOUNDATION LEVEL, FLOOR 1 EXISTING TO REMAIN	2	2	24	30.7	40.5	19.3	10.5	6			125 (97%)	
FOUNDATION LEVEL, FLOOR 1 EXISTING TO BE REMOVED											0.3	0.3 (2%)
% FOUNDATION LEVEL, FLOOR 1 EXISTING TO BE REMOVED											125 (97%)	0.3 (2%)

# 2417 GREEN STREET

SAN FRANCISCO, CA 94123  
BLOCK 0560 LOT 028

**DUMICAN MOSEY**  
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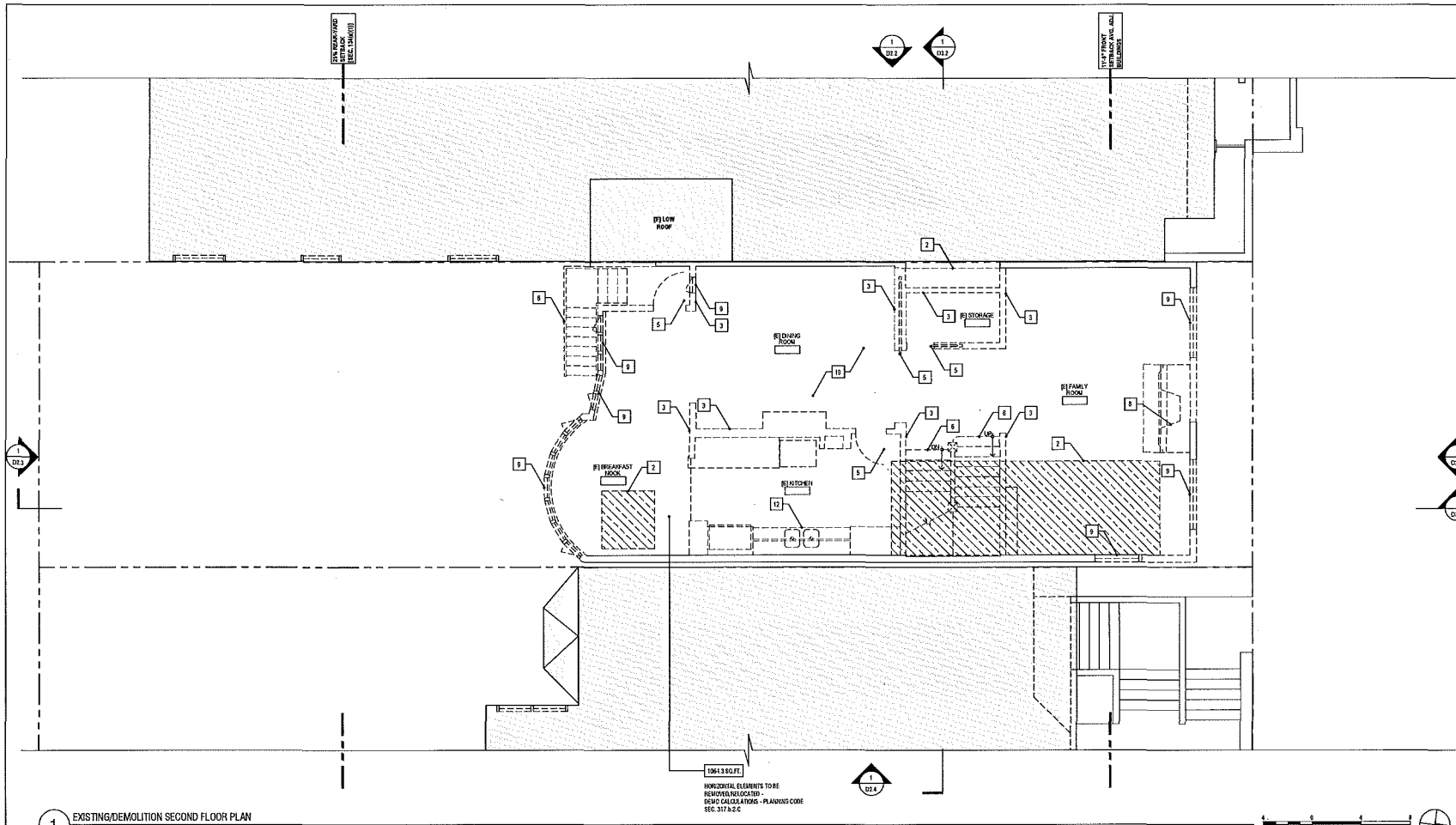
Job No.	Date
16112	111
ENVIRONMENTAL EVALUATION SET	02.10.17
PRE-APPLICATION PLAN REVIEW	02.24.17
PROJECT REVIEW MEETING SET	03.14.17
SITE PERMITS/STI NOTIFICATION SET	04.28.17

Drawing Title

EXISTING/DEMOLITION SECOND FLOOR PLAN

Sheet Number

D1.2



1 EXISTING/DEMOLITION SECOND FLOOR PLAN

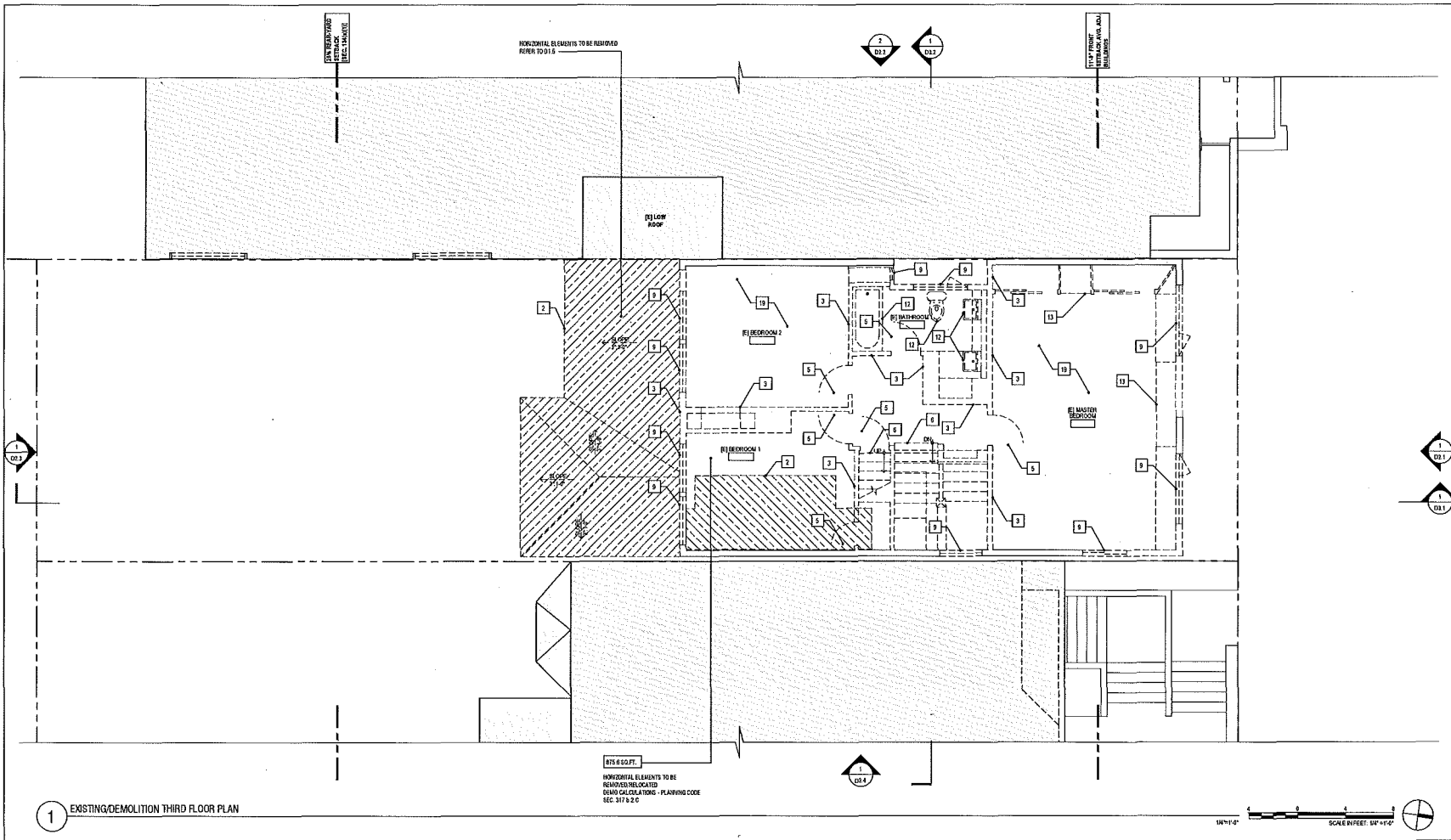
10613.02.17  
HORIZONTAL ELEMENTS TO BE REMOVED/RELOCATED DEMO CALCULATIONS - PLANNING CODE SEC. 317.8.2.C

**GENERAL PLAN NOTES**

1. NOT ALL KEY NOTES ARE USED ON EVERY SHEET
2. REFER TO A0 & COVER SHEET FOR DEMOLITION CALCULATIONS

EXISTING/DEMOLITION PLAN SHEET NOTES

- |   |  |
|---|--|
| <ul style="list-style-type: none"> <li>1 EXCAVATE AS REQUIRED TO PERFORM (N) WORK</li> <li>2 REMOVE (R) FLOOR/ROOF ASSEMBLY TO PERFORM (N) WORK</li> <li>3 REMOVE (R) WALL ASSEMBLY AS REQUIRED TO PERFORM (N) WORK</li> <li>4 REMOVE (R) GARAGE DOOR</li> <li>5 REMOVE (R) DOOR</li> <li>6 REMOVE (R) STAIR</li> <li>7 REMOVE (R) MECHANICAL EQUIPMENT</li> <li>8 REMOVE (R) PREFACE</li> <li>9 REMOVE (R) WINDOW ASSEMBLY</li> <li>10 REMOVE (R) GUARDRAIL</li> <li>11 REMOVE INTERIOR WALL FINISH</li> <li>12 REMOVE (R) PLUMBING FIXTURE</li> <li>13 REMOVE (R) CASEWORK</li> </ul> | <ul style="list-style-type: none"> <li>14 REMOVE (R) DOWNER</li> <li>15 REMOVE (R) CHASSIS</li> <li>16 (R) ROOF TO BE REMOVED BELOW</li> <li>17 (R) ROOF ABOVE</li> <li>18 (R) ROOF TO REMAIN</li> <li>19 (R) FLOOR ASSEMBLY INCLUDED IN THE SFPO SECTION 317.8.2.C DEMOLITION CALCULATIONS ON SHEET A.0 &amp; BASED ON ITS "RELOCATION" IN ASSOCIATION WITH THE COVERING OF THE BUILDING</li> <li>20 (R) STEPS TO REMAIN</li> </ul> |
|---|--|



**1** EXISTING/DEMOLITION THIRD FLOOR PLAN

**GENERAL PLAN NOTES**

- 1. NOT ALL KEY NOTES ARE USED ON EVERY SHEET
- 2. REFER TO ADD COVER SHEET FOR DEMOLITION CALCULATIONS

EXISTING/DEMOLITION PLAN SHEET NOTES

- |   |   |
|---|---|
| <ul style="list-style-type: none"> <li><b>1</b> EXCAVATE AS REQUIRED TO PERFORM (R) WORK</li> <li><b>2</b> REMOVE (R) FLOOR ROOF ASSEMBLY TO PERFORM (R) WORK</li> <li><b>3</b> REMOVE (R) WALL ASSEMBLY AS REQUIRED TO PERFORM (R) WORK</li> <li><b>4</b> REMOVE (R) GARAGE DOOR</li> <li><b>5</b> REMOVE (R) DOOR</li> <li><b>6</b> REMOVE (R) SHAR</li> <li><b>7</b> REMOVE (R) MECHANICAL EQUIPMENT</li> <li><b>8</b> REMOVE (R) FLOOR PLATE</li> <li><b>9</b> REMOVE (R) WINDOW ASSEMBLY</li> <li><b>10</b> REMOVE (R) GUARDRAIL</li> <li><b>11</b> REMOVE INTERIOR WALL FINISH</li> <li><b>12</b> REMOVE (R) PLUMBING FIXTURE</li> <li><b>13</b> REMOVE (R) CASEWORK</li> </ul> | <ul style="list-style-type: none"> <li><b>14</b> REMOVE (R) DOWNER</li> <li><b>15</b> REMOVE (R) CHIMNEY</li> <li><b>16</b> (R) ROOF TO BE REMOVED BELOW</li> <li><b>17</b> (R) ROOF ABOVE</li> <li><b>18</b> (R) ROOF TO REMAIN</li> <li><b>19</b> (R) IN DOOR ASSEMBLY INCLUDED IN THE APC SECTION 317 &amp; 2 C DEMOLITION CALCULATIONS ON SHEET 1.6. ALSO BASED ON IT'S "RELOCATION" IN ASSOCIATION WITH THE LAYOUTS OF THE BUILDING.</li> <li><b>20</b> (R) STEPS TO REMAIN</li> </ul> |
|---|---|

# 2417 GREEN STREET

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Job No.	18112
Issue	Date
ENVIRONMENTAL EVALUATION SET	02.10.17
PRE-APPLICATION PLAN REVIEW	02.24.17
PROJECT REVIEW MEETING SET	03.14.17
SITE PERMITTING NOTIFICATION SET	04.28.17

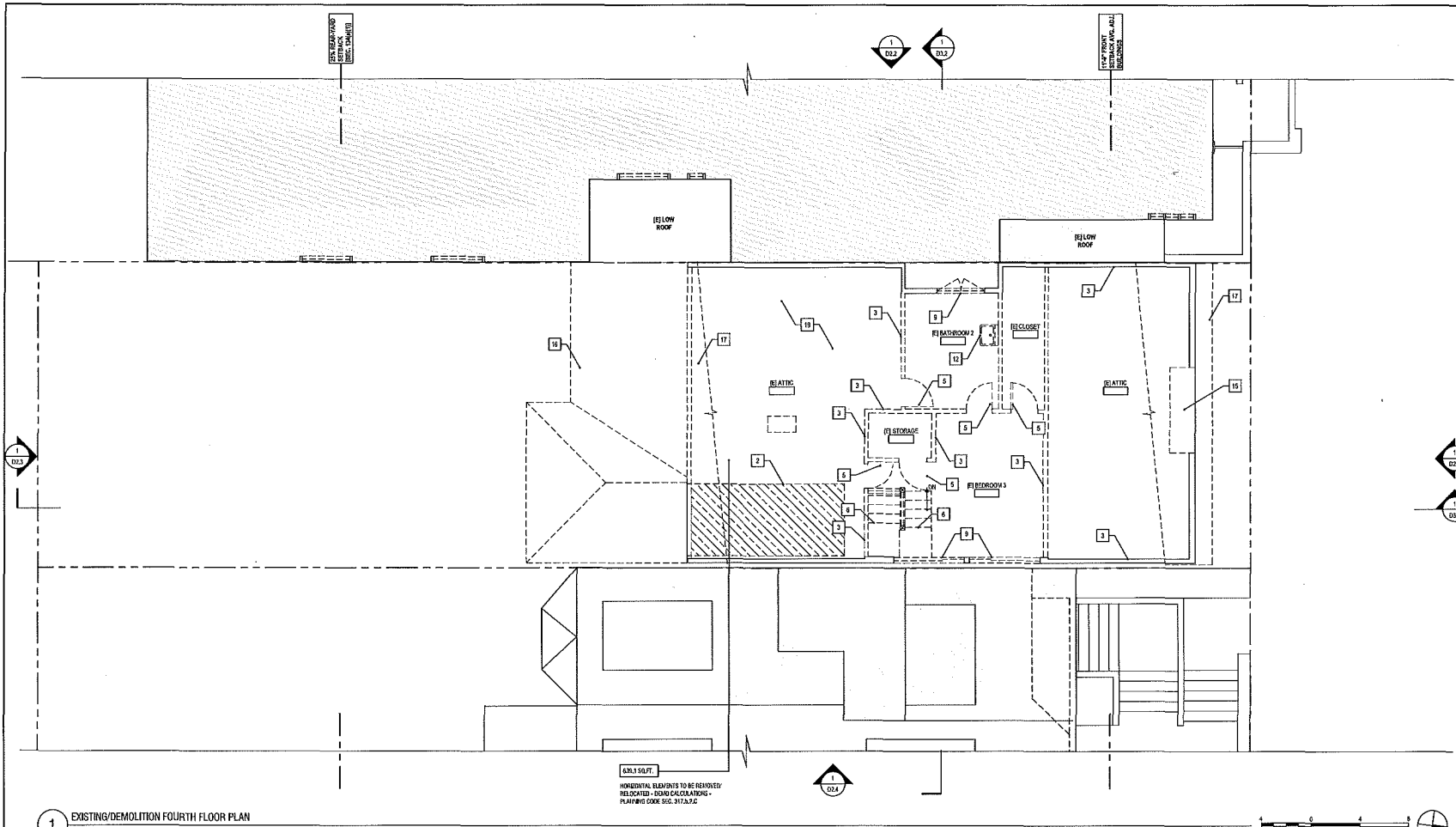
Drawing Title

## EXISTING/ DEMOLITION THIRD FLOOR PLAN

Sheet Number

# D1.3





1 EXISTING/DEMOLITION FOURTH FLOOR PLAN

HORIZONTAL ELEMENTS TO BE REMOVED/RELOCATED - TO BE CALCULATED PER PLANNING CODE SEC. 317A.2.C

GENERAL PLAN NOTES

- 1. NOT ALL KEY NOTES ARE USED ON EVERY SHEET
- 2. REFER TO ADD COVER-SHEET FOR DEMOLITION CALCULATIONS

EXISTING/DEMOLITION PLAN SHEET NOTES

- 1 EXCAVATE AS REQUIRED TO PERFORM [N] WORK
- 2 REMOVE [E] FLOOR ROOF ASSEMBLY TO PERFORM [N] WORK
- 3 REMOVE [E] WALL ASSEMBLY AS REQUIRED TO PERFORM [N] WORK
- 4 REMOVE [E] GARAGE DOOR
- 5 REMOVE [E] DOOR
- 6 REMOVE [E] STAIR
- 7 REMOVE [E] MECHANICAL EQUIPMENT
- 8 REMOVE [E] FINISH
- 9 REMOVE [E] WINDOW ASSEMBLY
- 10 REMOVE [E] CHAIRRAIL
- 11 REMOVE INTERIOR WALL FINISH
- 12 REMOVE [E] PLUMBING FIXTURE
- 13 REMOVE [E] CASEWORK
- 14 REMOVE [E] DOORCASE
- 15 REMOVE [E] CHIMNEY
- 16 [E] ROOF TO BE REMOVED BELOW
- 17 [E] ROOF-ASONE
- 18 [E] ROOF-TO REMAIN
- 19 [E] FLOOR ASSEMBLY INCLUDED BY THE SPOC SECTION 317.2.C DEMOLITION CALCULATIONS ON SHEET A.8.8 BASED ON ITS RELOCATION IN ASSOCIATION WITH THE LOWERING OF THE BUILDING.
- 20 [E] STEPS TO REMAIN

# 2417 GREEN STREET

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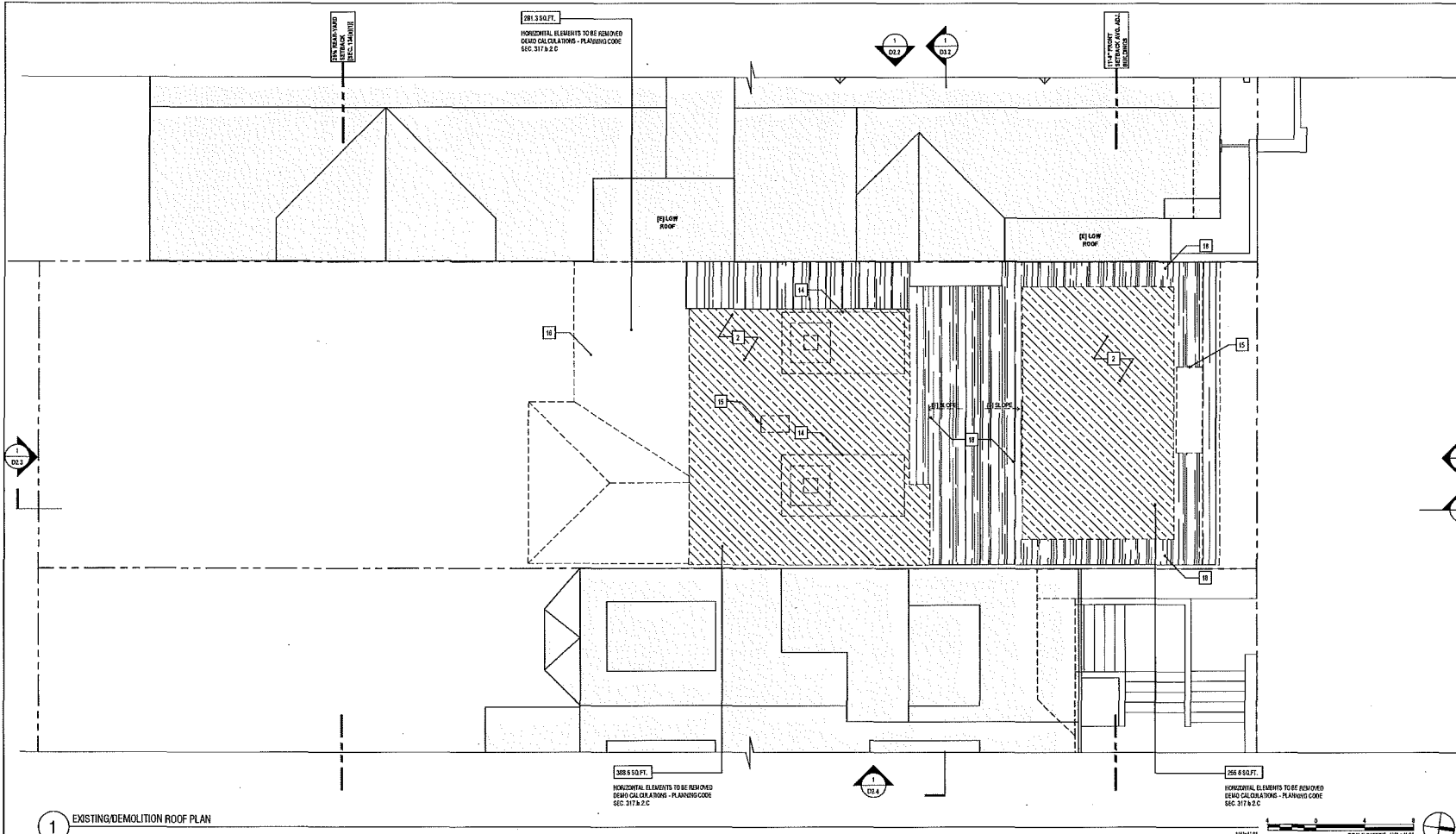
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Job No.	16112
Issue	024
ENVIRONMENTAL EVALUATION SET	02.19.17
PRE-APPLICATION PLAN	02.24.17
REVIEW	02.24.17
PROJECT REVIEW	03.14.17
MEETING SET	03.14.17
SITE PERMIT/ST11	04.28.17
NOTIFICATION SET	

Drawing Title:  
**EXISTING/ DEMOLITION FOURTH FLOOR PLAN**

Sheet Number

**D1.4**



1 EXISTING/DEMOLITION ROOF PLAN

288 6 SQ.FT.  
HORIZONTAL ELEMENTS TO BE REMOVED  
DEAD CALCULATIONS - PLANNING CODE  
SEC. 317A.2.C

256 6 SQ.FT.  
HORIZONTAL ELEMENTS TO BE REMOVED  
DEAD CALCULATIONS - PLANNING CODE  
SEC. 317A.2.C

GENERAL PLAN NOTES

1. NOT ALL KEY NOTES ARE USED ON EVERY SHEET
2. REFER TO ADD COVER SHEET FOR DEMOLITION CALCULATIONS

EXISTING/DEMOLITION PLAN SHEET NOTES

- |  |   |
|--|---|
| <ol style="list-style-type: none"> <li>1 EXCAVATE AS REQUIRED TO PERFORM (N) WORK</li> <li>2 REMOVE (E) FLOOR/ROOF ASSEMBLY TO PERFORM (N) WORK</li> <li>3 REMOVE (E) WALL ASSEMBLY AS REQUIRED TO PERFORM (N) WORK</li> <li>4 REMOVE (E) GARAGE DOOR</li> <li>5 REMOVE (E) DOOR</li> <li>6 REMOVE (E) STAIR</li> <li>7 REMOVE (E) MECHANICAL EQUIPMENT</li> <li>8 REMOVE (E) PREPLACEMENT</li> <li>9 REMOVE (E) WINDOW ASSEMBLY</li> <li>10 REMOVE (E) GUARDRAIL</li> <li>11 REMOVE INTERIOR WALL FINISH</li> <li>12 REMOVE (E) PLUMBING FIXTURE</li> <li>13 REMOVE (E) CASEWORK</li> </ol> | <ol style="list-style-type: none"> <li>14 REMOVE (E) DOORSHIM</li> <li>15 REMOVE (E) CHIMNEY</li> <li>16 (E) ROOF TO BE REMOVED BELOW</li> <li>17 (E) ROOF ABOVE</li> <li>18 (E) ROOF TO REMAIN</li> <li>19 (E) ROOF ASSEMBLY INCLUDED IN THE UFGS SECTION 317A.2.C DEMOLITION CALCULATIONS ON SHEET A.02 BASED ON ITS LOCATION IN ASSOCIATION WITH THE CONSTRUCTION OF THE BUILDING.</li> <li>20 (E) STAIRS TO REMAIN</li> </ol> |
|--|---|

# 2417 GREEN STREET

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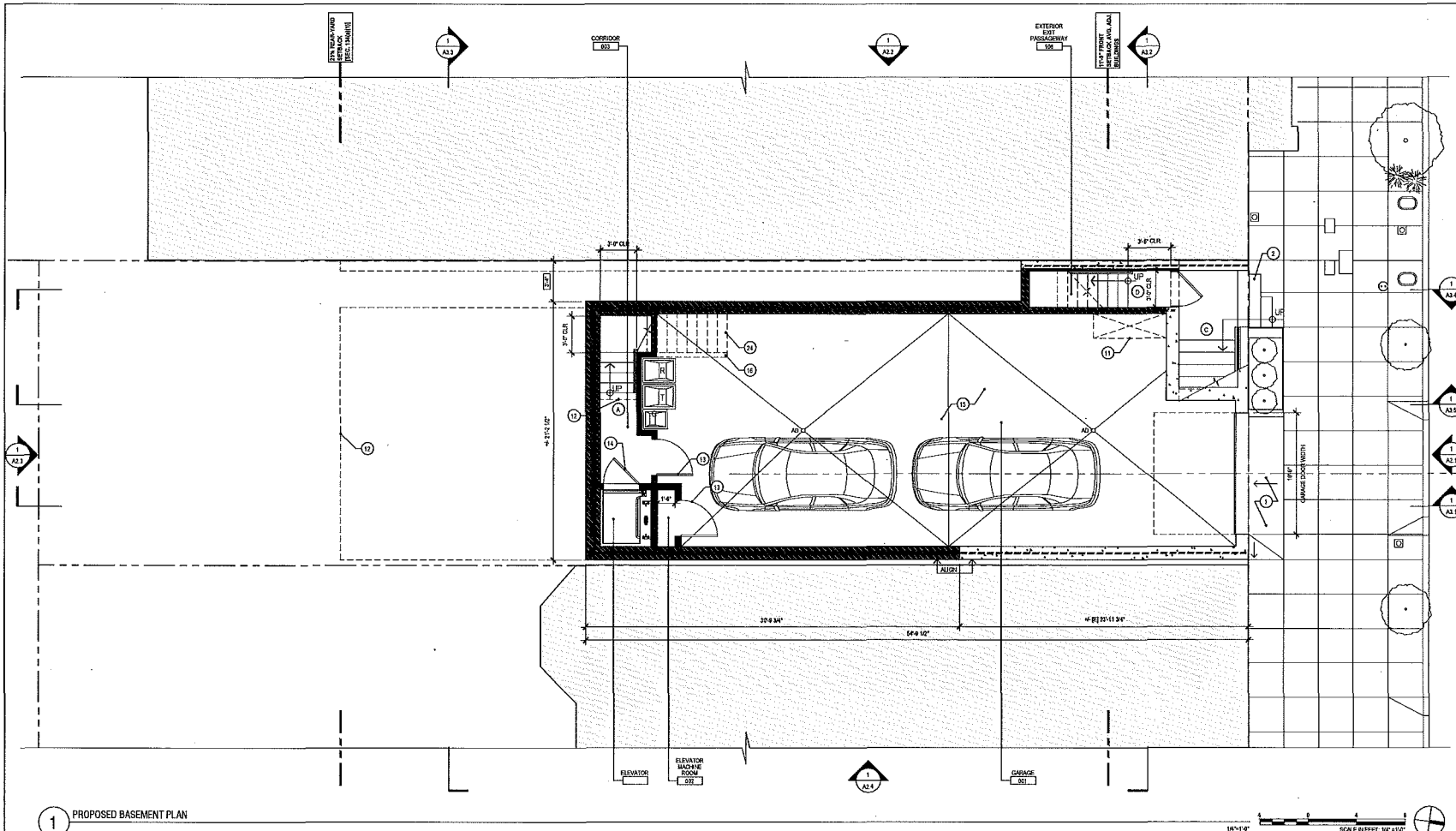
Job No.	16112
Date	10/10/17
ENVIRONMENTAL EVALUATION SET	02/10/17
PRE-APPLICATION PLAN REVIEW	02/21/17
PROJECT REVIEW MEETING SET	03/14/17
SITE PERMIT/TITL NOTIFICATION SET	04/28/17

Drawing Title

## EXISTING/ DEMOLITION ROOF PLAN

Sheet Number

# D1.5



1 PROPOSED BASEMENT PLAN



GENERAL PLAN NOTES

1. NOT ALL KEY NOTES ARE USED ON EVERY SHEET

PROPOSED PLAN SHEET NOTES

- (1) R1 DRIVEWAY SLOPE TO REMAIN/PROTECT
- (2) R2 STEPS TO REMAIN
- (3) R3 TEMPERED GLASS GUARD RAIL @ 42" A.F.F. REF ELEVATION SHEETS (22 SEARS) NOTE 6 FOR ADDITIONAL INFORMATION.
- (4) R4 1 1/2" DIA HANDRAIL, HEIGHT @ 2'-10" A.F.F., PROVIDE 1 1/2" CLEAR HAND/GRIP AIRSPACE BETWEEN HANDRAIL AND WALL OR GUARD RAIL, TYP.
- (5) NEIGHBORING BUILDING WINDOWS FOR REFERENCE
- (6) R5 FLOOR SKYLIGHT
- (7) R6 ROOF DECK BELLEV
- (8) R7 ROOF BELLEV
- (9) R8 PLANTING
- (10) R9 EXISTING DOOR IN FULL HEIGHT CLEAN TEMPERED GLAZING
- (11) R10 CLASS 1 BICYCLE PARKING PER SPOC SECTION 155.2
- (12) OUTLINE OF FLOOR ABOVE
- (13) 45 MIN FIRE RESISTANCE RATED DOOR ASSEMBLY WITH DOOR CLOSER

- (14) 90 MIN FIRE RESISTANCE RATED DOOR ASSEMBLY WITH DOOR CLOSER
- (15) R15 CONCRETE FLOOR AT GARAGE, SLOPE TOWARD AREA DRAINS 1/8" MIN, TYP.
- (16) R16 STAIR ABOVE
- (17) R17 GATE TO BE OPERABLE FROM EXPRESS SIDE WITHOUT USE OF A KEY
- (18) DOWN/NOOP ABOVE
- (19) R19 GAS-FIRED WALLFACE
- (20) R20 TRENCH DRAIN, TYP.
- (21) R21 1 HOUR FIRE RESISTANCE RATED PARTIAL HEIGHT WALL/GUARDRAIL ASSEMBLY, 3'-0" A.F.F.
- (22) R22 SKYLIGHT ABOVE
- (23) 1 HOUR FIRE RESISTANCE RATED PARAPET WALL ASSEMBLY 2" ABOVE TOP OF ROOF MEMBRANE
- (24) UNDERSIDE OF STAIR TO BE 1 HOUR FIRE RESISTANCE RATED
- (25) R25 EMERGENCY ESCAPE AND RESCUE WINDOW, IN ACCORDANCE WITH CBS SECTION 103.0
- (26) R26 WINDOW IN R25 OPENING
- (27) R27 PROPERTY LINE WINDOW, REFER TO KEY NOTE 24, A2.2 SERIES FOR ADDITIONAL INFO.

STAIR NOTES

- (A) BASEMENT F.F. TO 1ST FLOOR: 15 RISERS @ +/- 6 15/16" EA = 9'-0"; 13 TREADS @ 10" EA, 1 LAND @ 3'-10" = 14'-0"; 3'-0" CLR WIDTH
  - (B) 1ST FLOOR F.F. TO ENTRANCE ROOM F.F.: 2 RISERS @ +/- 9" EA = 1'-0"; 1 TREAD @ 12" EA = 1'-0"; 4'-0" CLR WIDTH
  - (C) PORCH STAIR, 8 RISERS @ +/- 6 5/8" EA = 5-5 1/8"; 5 TREADS @ 11" EA = 4'-7 1/4"; 4'-11 3/4" CLR WIDTH
  - (D) EAST PASSAGEWAY STAIR 1: 7 RISERS @ +/- 7 1/16" EA = 4-11 3/8"; 6 TREADS @ 10" EA = 4'-11"; 3'-0" CLR WIDTH
  - (E) EAST PASSAGEWAY STAIR 2: 4 RISERS @ +/- 6 5/8" EA = 2-2 1/2"; 3 TREADS @ 10" EA = 2'-9"; 3'-0" CLR WIDTH
  - (F) REAR YARD STAIR 1: 9 RISERS @ +/- 7 1/16" EA = 6-8 3/8"; 8 TREADS @ 10" EA = 8'-7"; 3'-0" CLR WIDTH
  - (G) REAR YARD STAIR 2: 8 RISERS @ +/- 7 1/16" EA = 5-11 1/16"; 7 TREADS @ 10" EA = 5'-9"; 3'-0" CLR WIDTH
  - (H) 1ST FLOOR F.F. TO 2ND FLOOR F.F.: 16 RISERS @ +/- 7" EA = 11'-0"; 15 TREADS @ 10" EA = 12'-0"; 3'-0" CLR WIDTH
  - (I) UNUSUED
  - (J) 2ND FLOOR F.F. TO 3RD FLOOR F.F.: 17 RISERS @ +/- 10 7/8" EA = 10-7 3/8"; 15 TREADS @ 10" EA, 1 LAND @ 4'-4" = 10-10"; 3'-0" CLR WIDTH
  - (K) 3RD FLOOR F.F. TO 4TH FLOOR F.F.: 15 RISERS @ +/- 7 1/16" EA = 8-7 5/8"; 14 TREADS @ 10" EA = 11'-0"; 3'-0" CLR WIDTH
- NOTE: ALL RISERS TO BE 7 3/4" MAX, TYP.

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 SAN FRANCISCO, CA 94123  
 BLOCK 0560 LOT 028

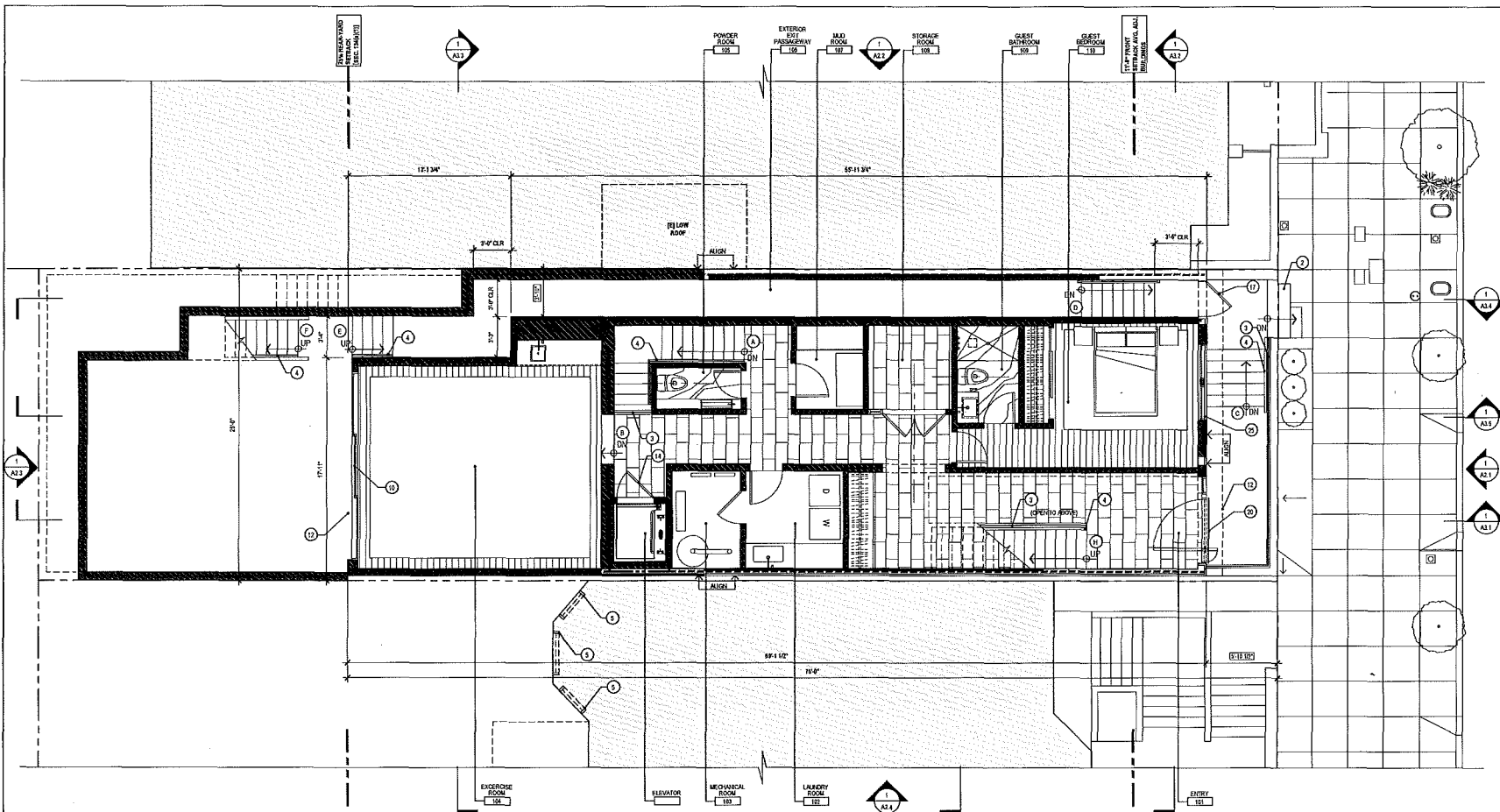
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Job No.	16112
Date	
ENVIRONMENTAL EVALUATION SET	02.10.17
PRE-APPLICATION PLAN REVIEW	02.24.17
PROJECT REVIEW MEETING SET	03.14.17
SITE PERMIT/011 NOTIFICATION SET	04.28.17

Proposed  
**BASEMENT PLAN**  
**[GARAGE]**

Sheet Number  
**A1.0**



1 PROPOSED FIRST FLOOR PLAN

**GENERAL PLAN NOTES**

1. NOT ALL KEY NOTES ARE USED ON EVERY SHEET

- PROPOSED PLAN SHEET NOTES**
- 1) SEE DRIVEWAY SLOPE TO REMAIN/PROTECT
  - 2) SEE SHEETS TO REMAIN
  - 3) SEE TEMPERED GLASS GROUND RAIL @ 42" A.F.F. (SEE ELEVATION SHEETS [A2 SERIES] NOTE 5 FOR ADDITIONAL BACKGROUND)
  - 4) SEE 1 1/2" DIA. HORIZONTAL MOUNT @ 2'-10" A.F.F., PROVIDE 1 1/2" CLEAR W/DOOR AND SPACE BETWEEN HORIZONTAL AND WALL OR GROUND RAIL, TYP.
  - 5) REWORKING BUILDING WINDOWS FOR INTERFERENCE
  - 6) SEE FIXED SKYLIGHT
  - 7) ROOF SLOPE BELOW
  - 8) ROOF BELLY
  - 9) SEE PLANTER
  - 10) SEE SLIDING DOOR W/ FULL HEIGHT CLEAR TEMPERED GLAZING
  - 11) SEE CLASS 1 RECYCLE PARKING PER UPC SECTION 155.2
  - 12) OUTLINE OF FLOOR ABOVE
  - 13) 45 MIN FIRE RESISTANCE RATED DOOR ASSEMBLY WITH DOOR CLOSER
  - 14) 90 MIN FIRE RESISTANCE RATED DOOR ASSEMBLY WITH DOOR CLOSER
  - 15) SEE CONCRETE FLOOR AT GARAGE, SLOPE TOWARD AREA DRAINS 1/8" - 1" W/ MIN. TYP.
  - 16) SEE STAIRS ABOVE
  - 17) SEE GATE TO BE OPERABLE FROM EXCESS SIDE WITHOUT USE OF A KEY
  - 18) DOWN/ROOF ABOVE
  - 19) SEE GAS-FIRED FIREPLACE
  - 20) SEE TRENCH CHANNEL, TYP.
  - 21) 1 HOUR FIRE RESISTANCE RATED PARTIAL HEIGHT WALL/GROUND ASSEMBLY 3'-0" A.F.F.
  - 22) SEE SKYLIGHT ABOVE
  - 23) 1 HOUR FIRE RESISTANCE RATED PARALLEL WALL ASSEMBLY 30" ABOVE TOP OF ROOF MEMBRANE
  - 24) UNDERSIDE OF STAIR TO BE 1 HOUR FIRE RESISTANCE RATED
  - 25) SEE EMERGENCY ESCAPE AND RESCUE WINDOW, IN ACCORDANCE WITH CBC SECTION 1008
  - 26) SEE WINDOW IN RE OPENING
  - 27) SEE PROPERTY LINE WINDOW, REFER TO KEY NOTE 04, A2 SERIES FOR ADDITIONAL INFO.

- STAIR NOTES**
- A) BASEMENT F.F. TO 1ST FLOOR F.F.: 15 RISERS @ +/- 6 15/16" EA = 0'-8"; 13 TREADS @ 10" EA, 1 LAND @ 2'-10" = 14'-8"; 3'-0" CLR WIDTH
  - B) 1ST FLOOR F.F. TO EXERCISE ROOM F.F.: 7 RISERS @ +/- 6" EA = 1'-0"; 1 TREAD @ 12" EA = 1'-0"; 4'-0" CLR WIDTH
  - C) PORCH STAIR: 6 RISERS @ +/- 8 3/8" EA = 3-5 1/4"; 5 TREADS @ 11" EA = 4'-7"; 4'-11 3/4" CLR WIDTH
  - D) EXIST PASSAGEWAY STAIR 1: 7 RISERS @ +/- 7 1/16" EA = 4'-1 3/8"; 6 TREADS @ 10" EA = 4'-11"; 3'-0" CLR WIDTH
  - E) EXIST PASSAGEWAY STAIR 2: 4 RISERS @ +/- 6 5/8" EA = 2'-4 1/2"; 3 TREADS @ 10" EA = 2'-9"; 3'-0" CLR WIDTH
  - F) REAR YARD STAIR 1: 9 RISERS @ +/- 7 1/16" EA = 5-9 3/8"; 8 TREADS @ 10" EA = 4'-7"; 3'-0" CLR WIDTH
  - G) REAR YARD STAIR 2: 8 RISERS @ +/- 7 1/16" EA = 5-1 1/2"; 7 TREADS @ 12" EA = 8'-0"; 3'-0" CLR WIDTH
  - H) 1ST FLOOR F.F. TO 2ND FLOOR F.F.: 16 RISERS @ +/- 7 1/4" EA = 9'-8"; 15 TREADS @ 10" EA = 12'-0"; 3'-0" CLR WIDTH
  - I) NOT USED
  - J) 2ND FLOOR F.F. TO 3RD FLOOR F.F.: 11 RISERS @ +/- 7 1/2" EA = 10'-7 3/8"; 15 TREADS @ 12" EA, 1 LAND @ 4'-4" = 16'-10"; 3'-0" CLR WIDTH
  - K) 3RD FLOOR F.F. TO 4TH FLOOR F.F.: 15 RISERS @ +/- 7 1/16" EA = 9'-7 5/8"; 14 TREADS @ 10" EA = 11'-8"; 3'-0" CLR WIDTH
- NOTE: ALL RISERS TO BE 3" MAX. TYP.

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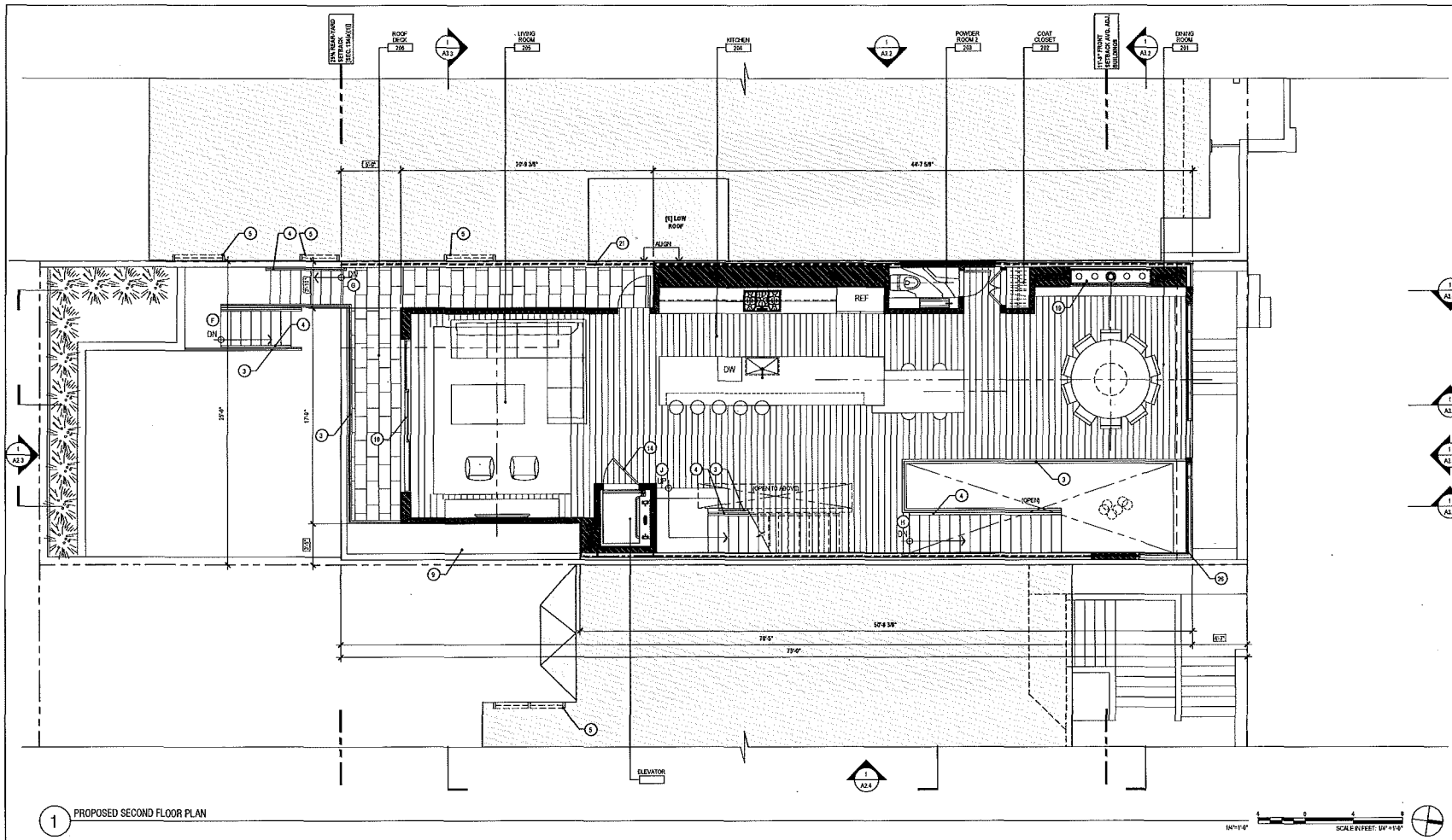
Job No.	16112
Issue	Date
ENVIRONMENTAL EVALUATION SET	02.10.17
PRE-APPLICATION PLAN REVIEW	02.24.17
PROJECT REVIEW	03.14.17
MEETING SET	03.14.17
SITE PERMITTING	04.28.17
NOTIFICATION SET	04.28.17

Drawn By: \_\_\_\_\_

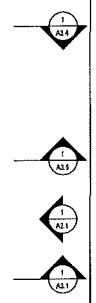
**PROPOSED FIRST FLOOR PLAN**

Sheet Number: \_\_\_\_\_

**A1.1**



1 PROPOSED SECOND FLOOR PLAN



# 2417 GREEN STREET

SAN FRANCISCO, CA 94123  
BLOCK 0560 LOT 028

**DUMICAN MOSEY**  
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Job No.	18112
Type	Date
ENVIRONMENTAL EVALUATION SET	02.10.17
PRE-APPLICATION PLAN	
REVIEW	02.24.17
PROJECT REVIEW	03.14.17
MEETING SET	
SITE PERMIT SET	
NOTIFICATION SET	04.28.17

Drawing Title

## PROPOSED SECOND FLOOR PLAN

Sheet Number

# A1.2

**GENERAL PLAN NOTES**

1. NOT ALL KEY NOTES ARE USED ON EVERY SHEET

**PROPOSED PLAN SHEET NOTES**

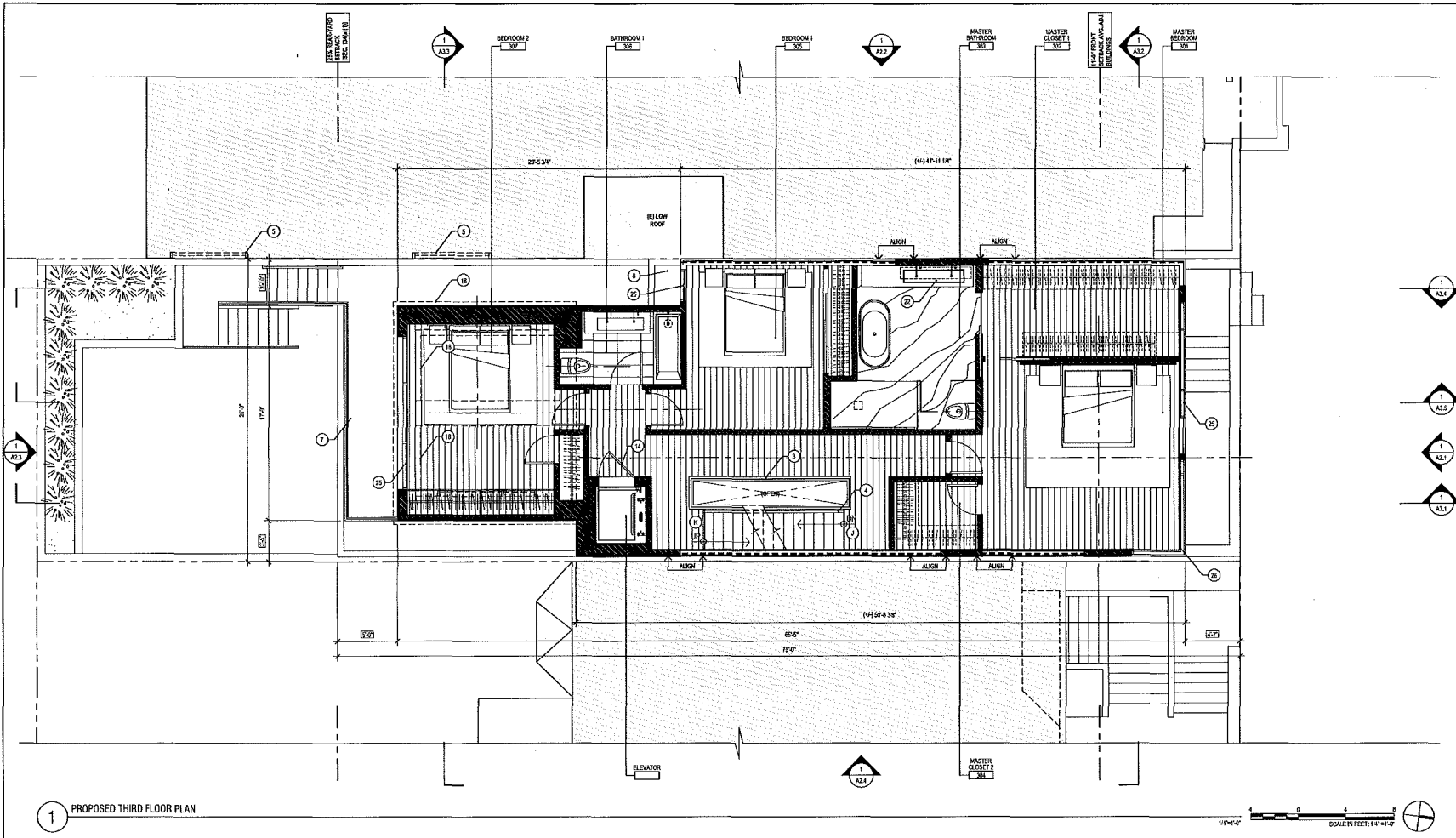
- (1) RE OVERWAY SLOPE TO REMAIN PROTECT
- (2) RE STEPS TO REMAIN
- (3) RE TEMPERED GLASS GUARD RAIL @ 42" A.F.F. REF ELEVATION SHEETS (A2 SERIES) NOTE 5 FOR ADDITIONAL INFORMATION.
- (4) RE 1 1/2" DIA. HANDRAIL MOUNT @ 2'-10" A.F.F. PROVIDE 1 1/2" CLEAR HANDGRIP SURFACE BETWEEN HANDRAIL AND WALL OR GUARD RAIL, TYP.
- (5) RE IMPROVING BUILDING WINDOWS FOR REFERENCE
- (6) RE FROD DAYLIGHT
- (7) ROOF DECK BELOW
- (8) ROOF LEVEL
- (9) RE PLAYERS
- (10) RE SLIDING DOOR/WALL HEIGHT CLEAR TEMPERED GLAZING
- (11) RE CLASS 1 BICYCLE PARKING PER SFGC SECTION 155.2
- (12) OUTLINE OF FLOOR ABOVE
- (13) 45 MIN FIRE RESISTANCE RATED DOOR ASSEMBLY WITH DOOR CLOSER

**STAIR NOTES**

- (14) 90 MIN FIRE RESISTANCE RATED DOOR ASSEMBLY WITH DOOR CLOSER
- (15) RE CONCRETE FLOOR AT GARAGE, SLOPE TOWARD AREA DRAINIS 1/8" @ 10' MIN. TYP.
- (16) RE STAIR ABOVE
- (17) RE GATE TO BE OPERABLE FROM EGRESS SIDE WITHOUT USE OF A KEY
- (18) DOWNER, ROOF ABOVE
- (19) RE GAS-FIRED FIREPLACE
- (20) RE TRUNCHED CHAIR, TYP.
- (21) RE 1 HOUR FIRE RESISTANCE RATED PARTIAL HEIGHT WALL/GUARDRAIL ASSEMBLY, 3'-0" A.F.F.
- (22) RE DAYLIGHT ABOVE
- (23) 1 HOUR FIRE RESISTANCE RATED PARAPET WALL ASSEMBLY 30" ABOVE TOP OF ROOF MEMBRANE
- (24) UNDERSIDE OF STAIR TO BE 1 HOUR FIRE RESISTANCE RATED
- (25) RE EMERGENCY ESCAPE AND RESCUE WINDOW, IN ACCORDANCE WITH IRC SECTION 1003
- (26) RE WINDOW IN RE OPENING
- (27) RE PROPERTY LINE WINDOW, REFER TO KEY NOTE 24. A2.02 SERIES FOR ADDITIONAL INFO.

**STAIR NOTES**

- (A) BASEMENT FF. TO 1ST FLR F.F.: 15 RISERS @ +/- 5 15/16" EA = 0'-0"; 13 TREADS @ 10" EA, 1 LAND. @ 3'-10" = 14'-0"; 3'-0" CLR WIDTH
  - (B) 1ST FLR F.F. TO EXPOSED ROOF FF.: 2 RISERS @ +/- 0' EA = 1'-0"; 1 TREAD @ 12" EA = 1'-0"; 4'-0" CLR WIDTH
  - (C) POND STAIR, 6 RISERS @ +/- 6 7/8" EA = 3'-5 1/4"; 5 TREADS @ 11" EA = 4'-7"; 6'-11 3/4" CLR WIDTH
  - (D) EXIT PASSAGEWAY STAIR 1: 7 RISERS @ +/- 7 1/8" EA = 4'-1 3/8"; 5 TREADS @ 10" EA = 4'-11"; 3'-0" CLR WIDTH
  - (E) EXIT PASSAGEWAY STAIR 2: 4 RISERS @ +/- 6 5/8" EA = 2'-2 1/2"; 3 TREADS @ 10" EA = 2'-0"; 3'-0" CLR WIDTH
  - (F) REAR YARD STAIR 1: 8 RISERS @ +/- 7 1/8" EA = 0'-9 3/8"; 8 TREADS @ 10" EA = 0'-7"; 3'-0" CLR WIDTH
  - (G) REAR YARD STAIR 2: 8 RISERS @ +/- 7 1/8" EA = 0'-11 1/8"; 7 TREADS @ 10" EA = 0'-9"; 3'-0" CLR WIDTH
  - (H) 1ST FLR F.F. TO 2ND FLR F.F.: 16 RISERS @ +/- 7" EA = 0'-0"; 15 TREADS @ 10" EA = 12'-0"; 3'-0" CLR WIDTH
  - (I) HOT TUB
  - (J) 2ND FLR F.F. TO 3RD FLR F.F.: 17 RISERS @ +/- 7 1/2" EA = 10'-3 3/8"; 15 TREADS @ 10" EA, 1 LAND. @ 4'-0" = 10'-0"; 3'-0" CLR WIDTH
  - (K) 3RD FLR F.F. TO 4TH FLR F.F.: 15 RISERS @ +/- 7 1/8" EA = 9'-7 5/8"; 14 TREADS @ 10" EA = 11'-0"; 3'-0" CLR WIDTH
- NOTE: ALL RISERS TO BE 7 3/4" MAX. TYP.



1 PROPOSED THIRD FLOOR PLAN

GENERAL PLAN NOTES

1. NOT ALL KEY NOTES ARE USED ON EVERY SHEET

PROPOSED PLAN SHEET NOTES

- (1) (2) DOWNGRADE SLOPE TO REMAIN PROTECT
- (3) (4) STAIRS TO REMAIN
- (5) (6) TYPED GLASS GUARD RAIL @ 42" A.F.F. (SEE ELEVATION SHEETS (A2) SERIES) (NOTE 5 FOR ADDITIONAL INFORMATION)
- (7) (8) 1/2" X 1/2" X 1/2" HANDBRAIL, MOUNT @ 2'-10" A.F.F., PROVIDE 1/2" CLEAR HANDGRIP AIRSPACE BETWEEN HANDBRAIL AND WALL OR GUARDRAIL TOP.
- (9) HATCHING BUILDING WINDOWS FOR REFERENCE
- (10) (11) HATCHING SKYLIGHT
- (12) (13) ROOF DECK BELOW
- (14) (15) ROOF BELOW
- (16) (17) PLASTER
- (18) (19) SLIDING DOOR WITH FULL HEIGHT CLEAR TEMPERED GLAZING
- (20) (21) CLASS 1 BICYCLE PARKING PER SFGPC SECTION 155.2
- (22) (23) OUTLINE OF FLOOR ABOVE
- (24) (25) 45 MIN FIRE RESISTANCE RATED DOOR ASSEMBLY WITH DOOR CLOSER

- (26) 90 MIN FIRE RESISTANCE RATED DOOR ASSEMBLY WITH DOOR CLOSER
- (27) (28) CONCRETE FLOOR AT GARAGE, SLOPE TO DRAIN AT GRADE 1/8" X 1/4" MIN. TYP.
- (29) (30) STAIR ABOVE
- (31) (32) GATE TO BE OPERABLE FROM EGRESS SIDE WITHOUT USE OF A KEY
- (33) (34) DOWNWARD SLOPE ABOVE
- (35) (36) GAS-FIRED FIREPLACE
- (37) (38) TRUCK CHAIN, TYP.
- (39) (40) 1 HOUR FIRE RESISTANCE RATED PARTIAL HEIGHT WALL/GUARDRAIL ASSEMBLY, 3'-0" A.F.F.
- (41) (42) SKYLIGHT ABOVE
- (43) 1 HOUR FIRE RESISTANCE RATED FIBERGLASS WALL ASSEMBLY 2" ABOVE TOP OF ROOF HANDBRAIL
- (44) (45) LOCATION OF STAIR TO BE 1-HOUR FIRE-RESISTANCE RATED
- (46) (47) EMERGENCY ESCAPE AND RESCUE WINDOW, IN ACCORDANCE WITH CBC SECTION 1003
- (48) (49) WINDOW IN (E) OPENING
- (50) (51) PROPERTY LINE WINDOW, REFER TO KEY NOTE 24, A2 SERIES FOR ADDITIONAL INFO.

STAIR NOTES

- (A) BASEMENT F.F. TO 1ST FLOOR F.F.: 15 RISERS @ 4'-6 1/2" EA = 8'-9"; 13 TREADS @ 10" EA, 1 LAND, @ 2'-10" = 14'-0"; 2'-0" CLR WIDTH
- (B) 1ST FLOOR F.F. TO EXERCISE ROOM F.F.: 2 RISERS @ 4'-0" EA = 7'-0"; 1 TREAD @ 12" EA = 1'-0"; 2'-4" CLR WIDTH
- (C) PORCH STAIR: 6 RISERS @ 4'-6" EA = 2'-5 1/2"; 5 TREADS @ 11" EA = 4'-7"; 4'-11 3/4" CLR WIDTH
- (D) EXIT PASSAGEWAY STAIR: 7 RISERS @ 4'-7 1/2" EA = 4'-11 3/4"; 6 TREADS @ 10" EA = 4'-11 3/4" CLR WIDTH
- (E) EXIT PASSAGEWAY STAIR: 2 RISERS @ 4'-6 1/2" EA = 2'-0"; 3 TREADS @ 10" EA = 2'-0"; 2'-0" CLR WIDTH
- (F) NEAR YARD STAIR: 1-5 RISERS @ 4'-7 1/2" EA = 5'-0"; 4 TREADS @ 10" EA = 4'-0"; 2'-0" CLR WIDTH
- (G) NEAR YARD STAIR: 2-8 RISERS @ 4'-7 1/2" EA = 8'-11 1/2"; 7 TREADS @ 10" EA = 8'-0"; 2'-0" CLR WIDTH
- (H) 1ST FLOOR F.F. TO 2ND FLOOR F.F.: 15 RISERS @ 4'-7" EA = 9'-4"; 13 TREADS @ 10" EA = 12'-0"; 3'-4" CLR WIDTH
- (I) NOT USED
- (J) NOT USED
- (K) 2ND FLOOR F.F. TO 3RD FLOOR F.F.: 17 RISERS @ 4'-7 1/2" EA = 10'-7 3/4"; 15 TREADS @ 10" EA, 1 LAND, @ 4'-11" = 10'-10"; 3'-0" CLR WIDTH
- (L) 3RD FLOOR F.F. TO 4TH FLOOR F.F.: 15 RISERS @ 4'-7 1/2" EA = 9'-7 3/4"; 14 TREADS @ 10" EA = 11'-0"; 3'-4" CLR WIDTH

NOTE: ALL RISERS TO BE 2 1/4" MAX. TYP.

# 2417 GREEN STREET

SAN FRANCISCO, CA 94123  
BLOCK 0560 LOT 028

DUMICAN MOSEY ARCHITECTS

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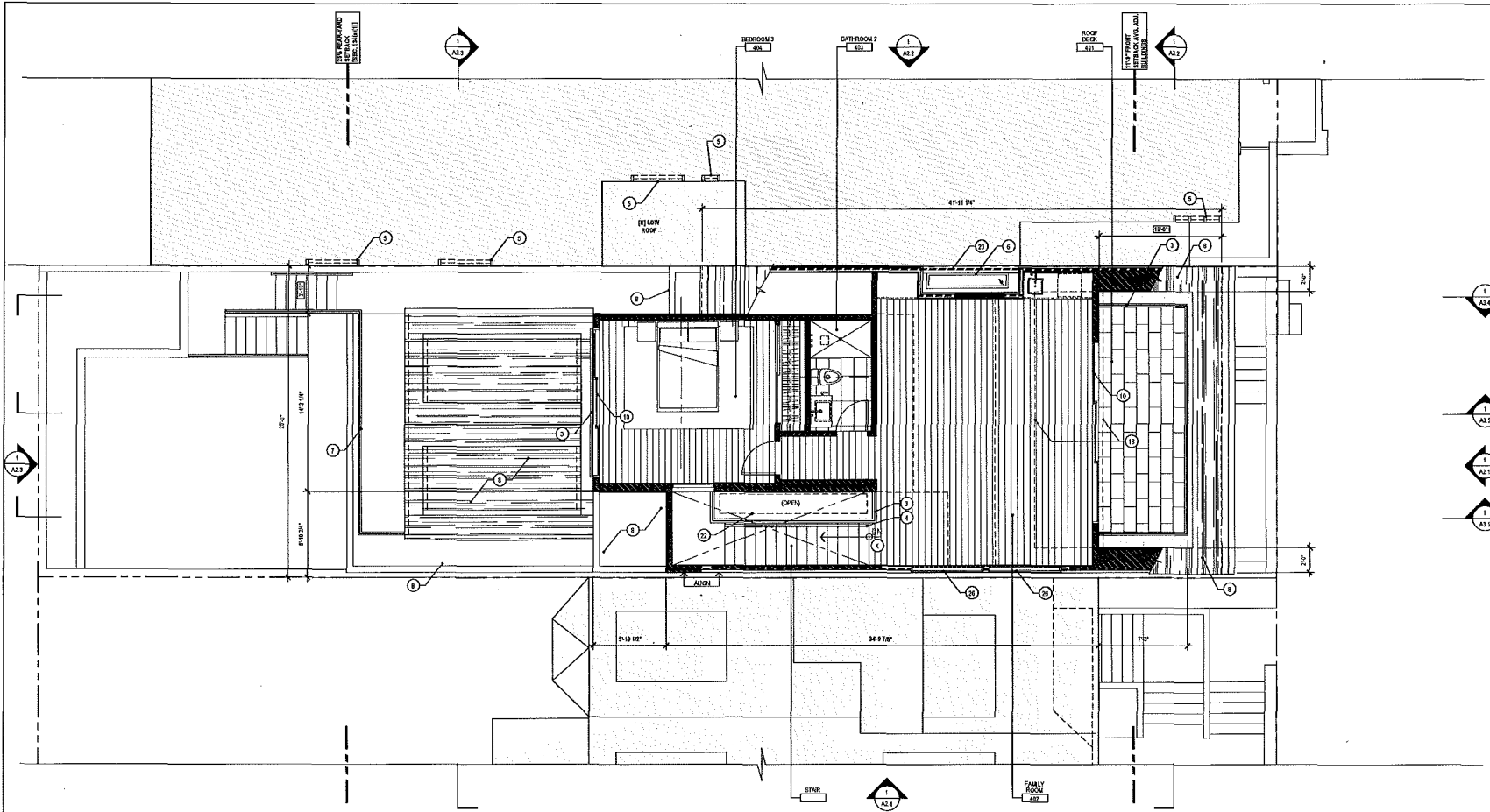
Job No.	Issue	Box
16112	ENVIRONMENTAL EVALUATION SET	02 10 17
	PRE-APPLICATION PLAN REVIEW	02 24 17
	PROJECT REVIEW MEETING SET	03 14 17
	SITE PERMIT/TITLE NOTIFICATION SET	04 28 17

Drawing Title

## PROPOSED THIRD FLOOR PLAN

Sheet Number

# A1.3



1 PROPOSED FOURTH FLOOR PLAN



GENERAL PLAN NOTES

1. NOT ALL KEY HORES ARE USED ON EVERY SHEET

PROPOSED PLAN SHEET NOTES

- 1) (R) DRYWALL TO REMAIN/PROTECT
- 2) (R) STEPS TO REMAIN
- 3) (R) TEMPERED GLASS GUARD RAIL @ 42" A.F.F. REF ELEVATION SHEETS (NOT SERIES) NOTE 6 FOR ADDITIONAL INFORMATION
- 4) (R) 1 1/2" DIA HANDRAIL, HEIGHT @ 2'-10" A.F.F., PROVIDE 1 1/2" CLEAR HANDGRIP AIRSPACE BETWEEN HANDRAIL AND WALL OR GUARDRAIL TOP
- 5) (R) SLOPING BUILDING WINDOWS FOR REFERENCE
- 6) (R) REED SKYLIGHT
- 7) ROOF DECK BELOW
- 8) ROOF BELOW
- 9) (R) PLASTER
- 10) (R) SLIDING DOOR/WALL HEIGHT CLEAR TEMPERED GLAZING
- 11) (R) CLASS 1 BI-CYCLE PARKING PER SPC SECTION 155.2
- 12) (R) OUTLINE OF FLOOR ABOVE
- 13) (R) 30 MIN FIRE RESISTANCE RATED DOOR ASSEMBLY WITH DOOR CLOSER

- 14) 90 MIN FIRE RESISTANCE PARTED DOOR ASSEMBLY WITH DOOR CLOSER
- 15) (R) CONCRETE FLOOR IN GARAGE, SLOPE TOWARD AREA DRAINS 1/8"-1" MAX. TYP.
- 16) (R) STAIR ABOVE
- 17) (R) GATE TO BE OPERABLE FROM EGRESS SIDE WITHOUT USE OF A KEY
- 18) (R) DOWNROOF ABOVE
- 19) (R) GAS-FIRED FIREPLACE
- 20) (R) TRENCH DRAIN, TYP.
- 21) (R) 1-HOUR FIRE RESISTANCE RATED PARTIAL HEIGHT WALL/PARTIAL ASSEMBLY, 3'-0" A.F.F.
- 22) (R) DRYLIGHT ABOVE
- 23) 1-HOUR FIRE RESISTANCE RATED PARAPET WALL ASSEMBLY 3'-0" ABOVE TOP OF ROOF MEMBRANE
- 24) UNDERSIDE OF STAIR TO BE 1-HOUR FIRE RESISTANCE RATED
- 25) (R) EMERGENCY ESCAPE AND RESCUE WINDOW, IN ACCORDANCE WITH CBC SECTION 1003
- 26) (R) WINDOW IN (R) OPENING
- 27) (R) PROPERTY LINE WINDOW, REFER TO KEY NOTE 24, A2 SERIES FOR ADDITIONAL INFO.

STAIR NOTES

- A) BASEMENT F.F. TO 1ST FLOOR: 18 RISERS @ +/- 8 1/8" EA = 8'-0"; 13 TREADS @ 10" EA, 1 LAND @ 3'-10" = 14'-0"; 3'-0" CLR WIDTH
  - B) 1ST FLOOR F.F. TO EXERCISE ROOM F.F.: 2 RISERS @ +/- 8" EA = 1'-0"; 1 TREAD @ 12" EA = 1'-0"; 4'-0" CLR WIDTH
  - C) FONDLY STAIR: 6 RISERS @ +/- 6 7/8" EA = 3'-5 1/8"; 5 TREADS @ 11" EA = 4'-7"; 4'-11 3/4" CLR WIDTH
  - D) EAST PASSAGEWAY STAIR: 7 RISERS @ +/- 7 1/8" EA = 4'-1 3/8"; 6 TREADS @ 10" EA = 4'-11"; 3'-0" CLR WIDTH
  - E) WEST PASSAGEWAY STAIR: 2 RISERS @ +/- 6 5/8" EA = 2'-2 1/2"; 3 TREADS @ 10" EA = 2'-0"; 3'-0" CLR WIDTH
  - F) REAR YARD STAIR 1: 9 RISERS @ +/- 7 1/8" EA = 3'-9 3/8"; 8 TREADS @ 10" EA = 6'-7"; 3'-0" CLR WIDTH
  - G) REAR YARD STAIR 2: 8 RISERS @ +/- 7 1/8" EA = 3'-1 1/8"; 7 TREADS @ 10" EA = 6'-0"; 3'-0" CLR WIDTH
  - H) 1ST FLOOR F.F. TO 2ND FLOOR: 16 RISERS @ +/- 7" EA = 9'-4"; 15 TREADS @ 10" EA = 12'-0"; 3'-0" CLR WIDTH
  - I) NOT USED
  - J) 2ND FLOOR F.F. TO 3RD FLOOR: 17 RISERS @ +/- 7 1/2" EA = 10'-7 1/2"; 15 TREADS @ 10" EA, 1 LAND @ 4'-4" = 16'-10"; 3'-0" CLR WIDTH
  - K) 3RD FLOOR F.F. TO 4TH FLOOR: 15 RISERS @ +/- 7 1/8" EA = 9'-7 5/8"; 14 TREADS @ 10" EA = 11'-8"; 3'-0" CLR WIDTH
- NOTE: ALL RISERS TO BE 3" MAX. TYP.

**2417 GREEN STREET**  
 SAN FRANCISCO, CA 94123  
 BLOCK 0560 LOT 028

**DUMICAN MOSEY**  
 ARCHITECTS

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Job No.	16112
Issue	Date
ENVIRONMENTAL EVALUATION SET	02.10.17
PRE-APPLICATION PLAN REVIEW	02.24.17
PROJECT REVIEW	03.14.17
MEETING SET	
SITE PERMITS/11 NOTIFICATION SET	04.28.17

DRAWING TITLE  
**PROPOSED FOURTH FLOOR PLAN**

DRAWING NUMBER  
**A1.4**

# 2417 GREEN STREET

SAN FRANCISCO, CA 94123  
 BLOCK 0560 LOT 028

**DUMICAN MOSEY**  
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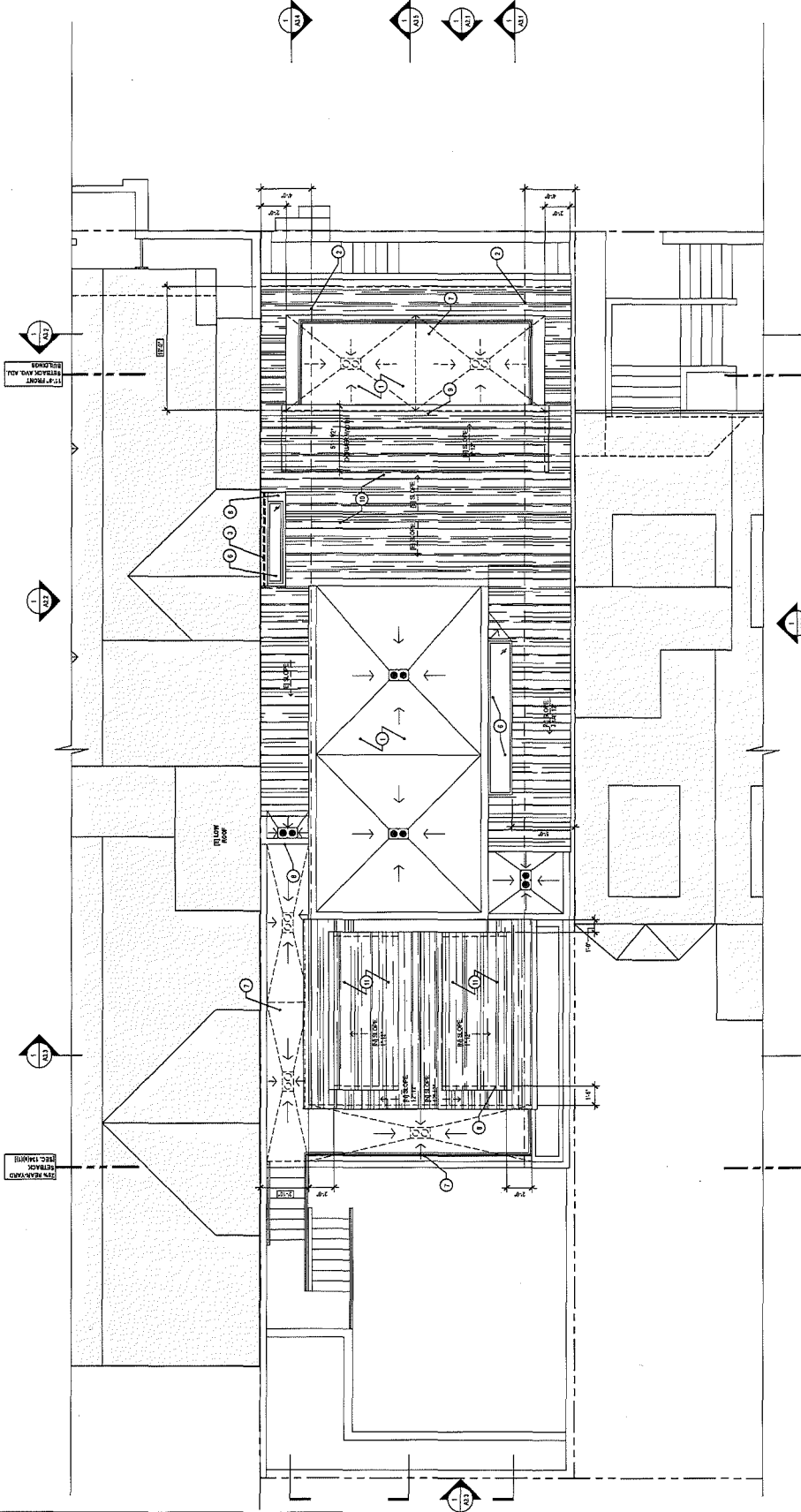
128 Fifth Street, 3rd floor  
 San Francisco, CA 94103  
 T 415.465.6222 F 415.61.3628

Job No.	16112
Date	02.10.17
Project	ENVIRONMENTAL PRE-APPLICATION PLAN
Client	2417 GREEN STREET
Site	2417 GREEN STREET
Sheet	PROPOSED ROOF PLAN
Scale	AS SHOWN

## PROPOSED ROOF PLAN

A1.5

Sheet No.



1 PROPOSED ROOF PLAN

### PROPOSED ROOF AREA CALCULATIONS

TOTAL PROPOSED ROOF AREA ABOVE FIN FLOOR: 6630.0 FT<sup>2</sup> (100%)  
 MAXIMUM AREA PER PARAGRAPH 20 (b)(1) = TOTAL AREA ABOVE FIN FLOOR: 6630.0 FT<sup>2</sup> (100%)  
 PER PARAGRAPH 20 (b)(1) = 100.00 FT<sup>2</sup> = 9.14

### PROPOSED ROOF PLAN SHEET NOTES

1. REMAINING ROOF ASSEMBLY: 1" POLYURETHANE INSULATION OVER 1" POLYURETHANE INSULATION
2. 1" POLYURETHANE INSULATION OVER 1" POLYURETHANE INSULATION
3. 1" POLYURETHANE INSULATION OVER 1" POLYURETHANE INSULATION
4. ROOF FINISH: TYP.
5. CONCRETE ROOF SLAB AND OTHER ROOF FINISHES: AS NOTED (OR CALL)
6. ROOF FINISH: TYP.
7. ROOF FINISH: TYP.
8. ROOF FINISH: TYP.
9. ROOF FINISH: TYP.
10. ROOF FINISH: TYP.
11. ROOF FINISH: TYP.

### GENERAL PLAN NOTES

1. NOT ALL DETAILS ARE SHOWN ON THIS SHEET



# 2417 GREEN STREET

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**DUMICAN MOSEY**  
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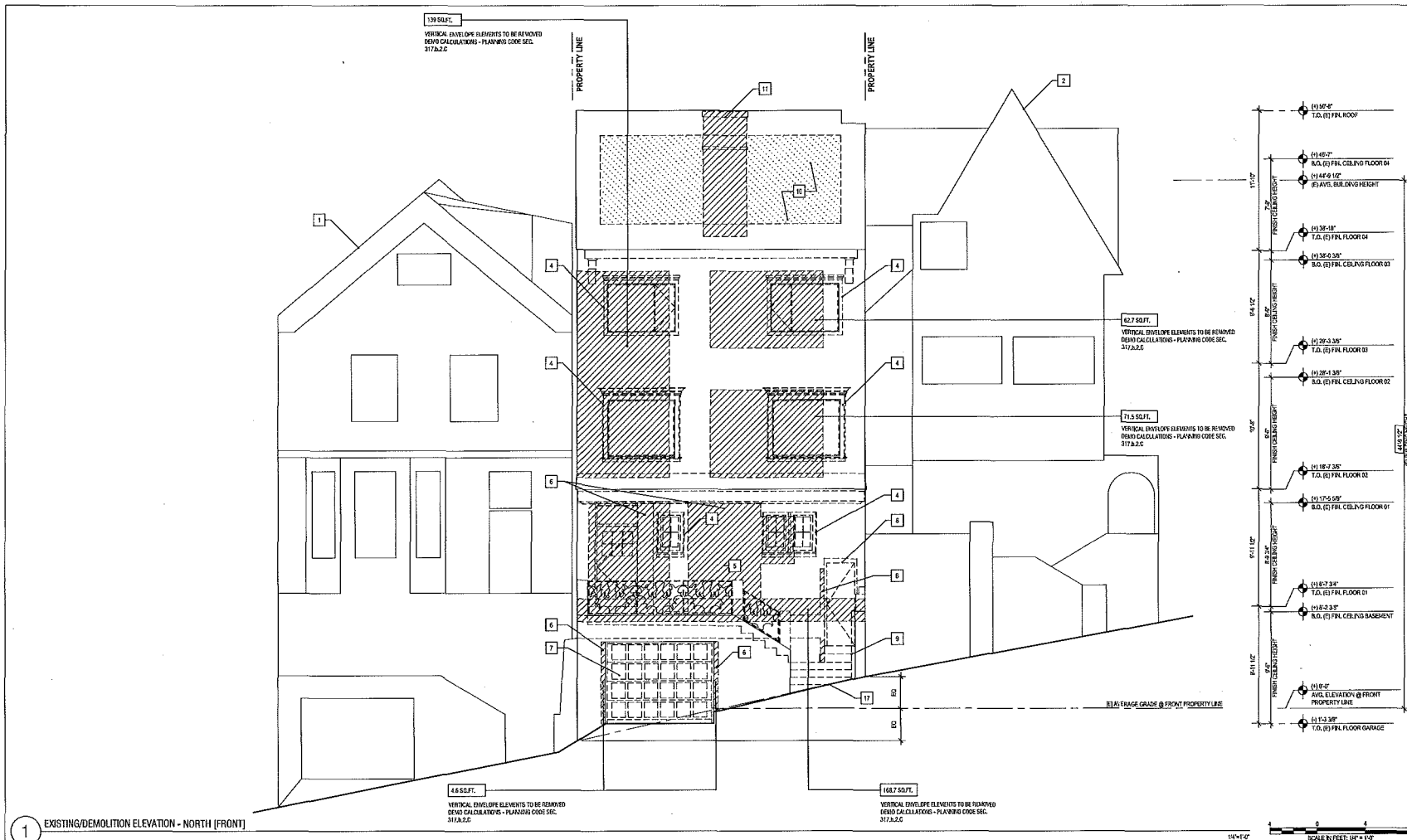
128 10th Street, 3rd floor  
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Job No.	10112
Date	
ENVIRONMENTAL EVALUATION SET	02.10.17
PRE-APPLICATION PLAN REVIEW	02.24.17
PROJECT REVIEW	03.14.17
MEETING SET	03.14.17
SITE PERMITS/STI	
NOTIFICATION SET	04.28.17

Drawing Title:  
**EXISTING/DEMO EXTERIOR ELEVATION**

Sheet Number:

**D2.1**



**1** EXISTING/DEMOLITION ELEVATION - NORTH (FRONT)

**GENERAL EXTERIOR ELEVATION NOTES**

1. NOT ALL KEY NOTES ARE SHOWN ON EVERY SHEET
2. REFER TO COVER SHEET FOR DEMOLITION CALCULATIONS

**ELEVATION SHEET NOTES**

- 1 ADJACENT BUILDING: 2415 GREEN STREET
- 2 ADJACENT BUILDING: 2411 GREEN STREET
- 3 DAMAGED LING PARAPETS MAXIMUM ALLOWABLE HEIGHT OF BUILDING ENVELOPE FOR RH-1 IN ACCORDANCE WITH SFGPC SECTION 261.04(f)
- 4 REMOVE (R) WINDOW ASSEMBLY
- 5 REMOVE (R) QUARNON
- 6 REMOVE (R) WALL ASSEMBLY AS REQUIRED TO ACHIEVE (R) WORK
- 7 REMOVE (R) GARAGE DOOR
- 8 REMOVE (R) EXTERIOR DOOR
- 9 REMOVE (R) EXTERIOR STAIR
- 10 REMOVE (R) ROOF ASSEMBLY AS REQUIRED TO ACHIEVE (R) WORK

- 11 REMOVE (R) CHIMNEY
- 12 REMOVE (R) DOORWAY
- 13 (R) PROPERTY LINE WINDOWS TO BE REPLACED BY NEW
- 14 APPROXIMATE OUTLINE OF GRADE @ 2415 GREEN STREET SHOWN FOR REFERENCE ONLY
- 15 APPROXIMATE OUTLINE OF GRADE @ 2417 GREEN STREET SHOWN FOR REFERENCE ONLY
- 16 OUTLINE OF GRADE AT (R) NEAR YARD, SHOWN FOR REFERENCE ONLY
- 17 OUTLINE OF (R) GRADE AT FRONT PROPERTY LINE, SHOWN FOR REFERENCE ONLY

**LINE LEGEND**

- ADJACENT BUILDING: BOYD'S BLDG.
- ADJACENT BUILDING: SYDNEY BLDG.
- ADJACENT BUILDING: BY FOREGROUND, BLDG.
- HEIGHT LIMIT RH-1 SFGPC SECTION 261.04(f), BLDG.

# 2417 GREEN STREET

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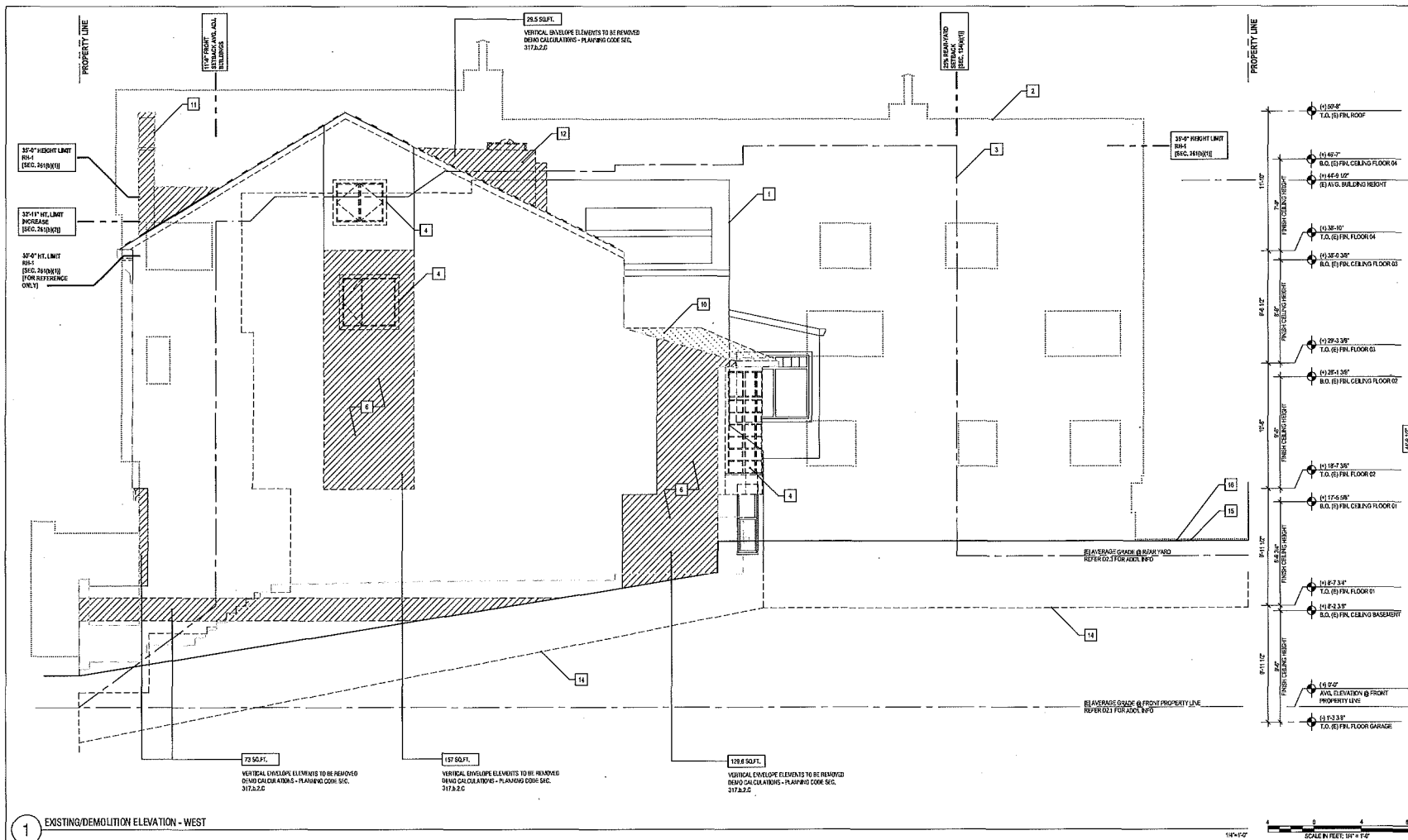
Job No.	16112
Date	
ENVIRONMENTAL EVALUATION SET	02.10.17
PRE-APPLICATION PLAN REVIEW	02.24.17
PROJECT REVIEW MEETING SET	03.14.17
SITE PERMITTING NOTIFICATION SET	04.28.17

Drawing Title:

EXISTING/DEMO EXTERIOR ELEVATION

Sheet Number:

D2.2



1 EXISTING/DEMOLITION ELEVATION - WEST

GENERAL EXTERIOR ELEVATION NOTES

- NOT ALL KEY NOTES ARE SHOWN ON EVERY SHEET
- REFER TO COVER SHEET FOR DEMOLITION CALCULATIONS

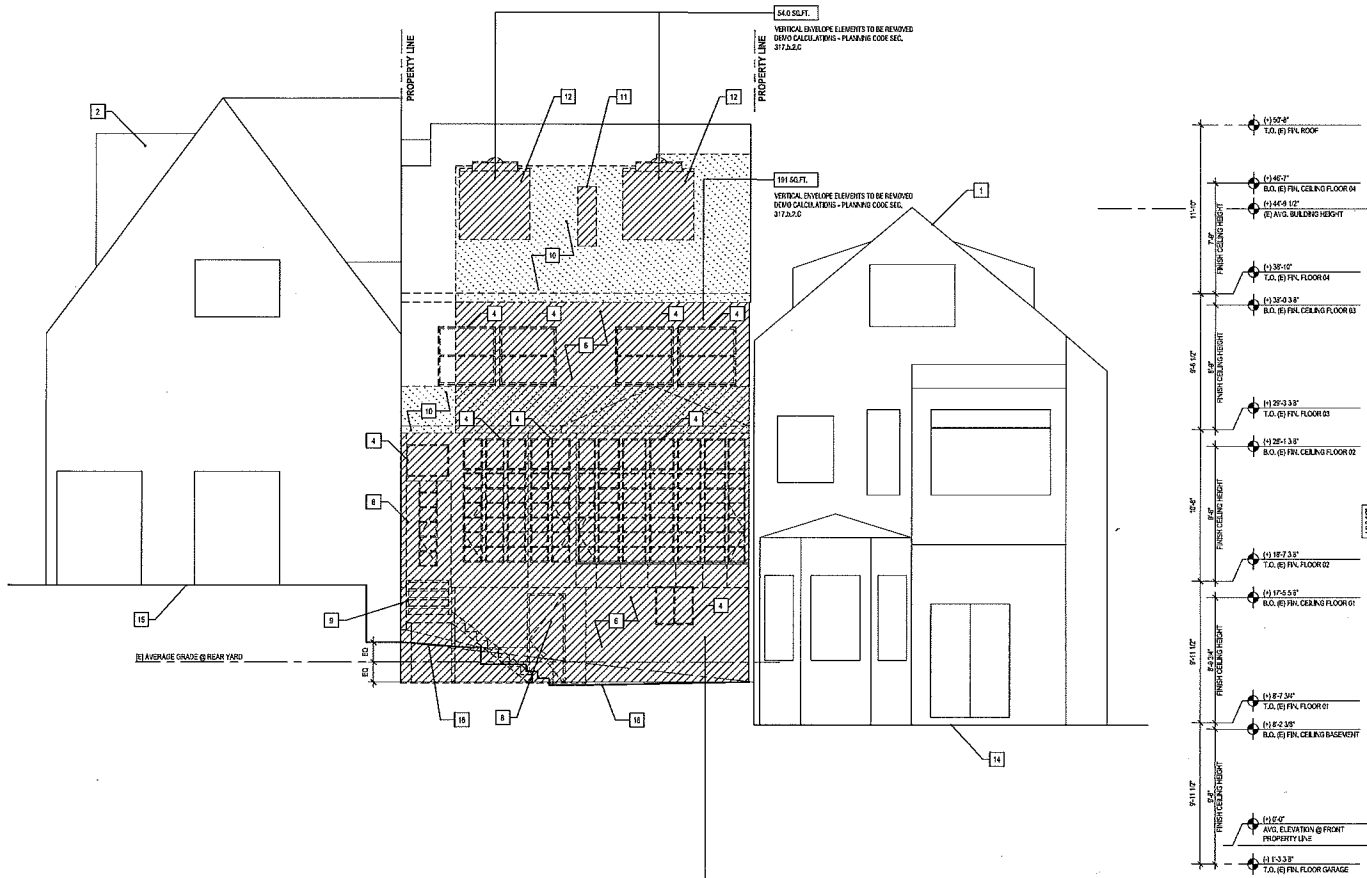
ELEVATION SHEET NOTES

- ADJACENT BUILDING: 2415 GREEN STREET
- ADJACENT BUILDING: 2421 GREEN STREET
- DASHED LINE INDICATES MAXIMUM ALLOWABLE HEIGHT OF BUILDING ENVELOPE FOR RH-1 IN ACCORDANCE WITH EIRC SECTION 2416(b)(1)
- REMOVE (E) WINDOW ASSEMBLY
- REMOVE (E) GUARDRAIL
- REMOVE (E) WALL ASSEMBLY AS REQUIRED TO ACHIEVE (E) WORK
- REMOVE (E) GARAGE DOOR
- REMOVE (E) EXTERIOR DOOR
- REMOVE (E) EXTERIOR STAIR
- REMOVE (E) ROOF ASSEMBLY AS REQUIRED TO ACHIEVE (E) WORK

- REMOVE (E) CORNER
- REMOVE (E) DORMER
- (E) PROPERTY LINE WINDOWS TO BE REPLACED BY RW-1
- APPROXIMATE OUTLINE OF GRADE @ 2415 GREEN STREET SHOWN FOR REFERENCE ONLY
- APPROXIMATE OUTLINE OF GRADE @ 2421 GREEN STREET SHOWN FOR REFERENCE ONLY
- OUTLINE OF GRADE AT (E) REAR YARD, SHOWN FOR REFERENCE ONLY
- OUTLINE OF (E) GRADE AT FRONT PROPERTY LINE, SHOWN FOR REFERENCE ONLY

LINE LEGEND

- ADJACENT BUILDING BEYOND U.S.L.
- ADJACENT BUILDING BEYOND U.S.L.
- ADJACENT BUILDING IN REAR YARD, U.S.L.
- HEIGHT LIMIT RH-1 SFPD SEC. 161(b)(1) U.S.L.



# 2417 GREEN STREET

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Job No.	16112
Issue	Date
ENVIRONMENTAL EVALUATION SET	02.10.17
PRE-APPLICATION PLAN	02.24.17
REVIEW	03.14.17
PROJECT REVIEW	03.14.17
MEETING SET	04.28.17
SITE PERMITS/IT	
INVESTIGATION SET	

1 EXISTING/DEMOLITION ELEVATION - SOUTH

**GENERAL EXTERIOR ELEVATION NOTES**

- 1. MIT ALL KEY NOTES ARE USED ON EVERY SHEET
- 2. REFER TO COVER SHEET FOR DEMOLITION CALCULATIONS

**ELEVATION SHEET NOTES**

- 1 ADJACENT BUILDING: 2415 GREEN STREET
- 2 ADJACENT BUILDING: 2421 GREEN STREET
- 3 DASHED LINE INDICATES MAXIMUM ALLOWABLE HEIGHT OF BUILDING ENVELOPE FOR RH-1 IN ACCORDANCE WITH SFGC SECTION 241.04(1)
- 4 REMOVE (R) WINDOW ASSEMBLY
- 5 REMOVE (R) GUICHORAL
- 6 REMOVE (R) WALL ASSEMBLY AS REQUIRED TO ACHIEVE (R) WORK
- 7 REMOVE (R) GARAGE DOOR
- 8 REMOVE (R) EXTERIOR DOOR
- 9 REMOVE (R) EXTERIOR STAIR
- 10 REMOVE (R) ROOF ASSEMBLY AS REQUIRED TO ACHIEVE (R) WORK

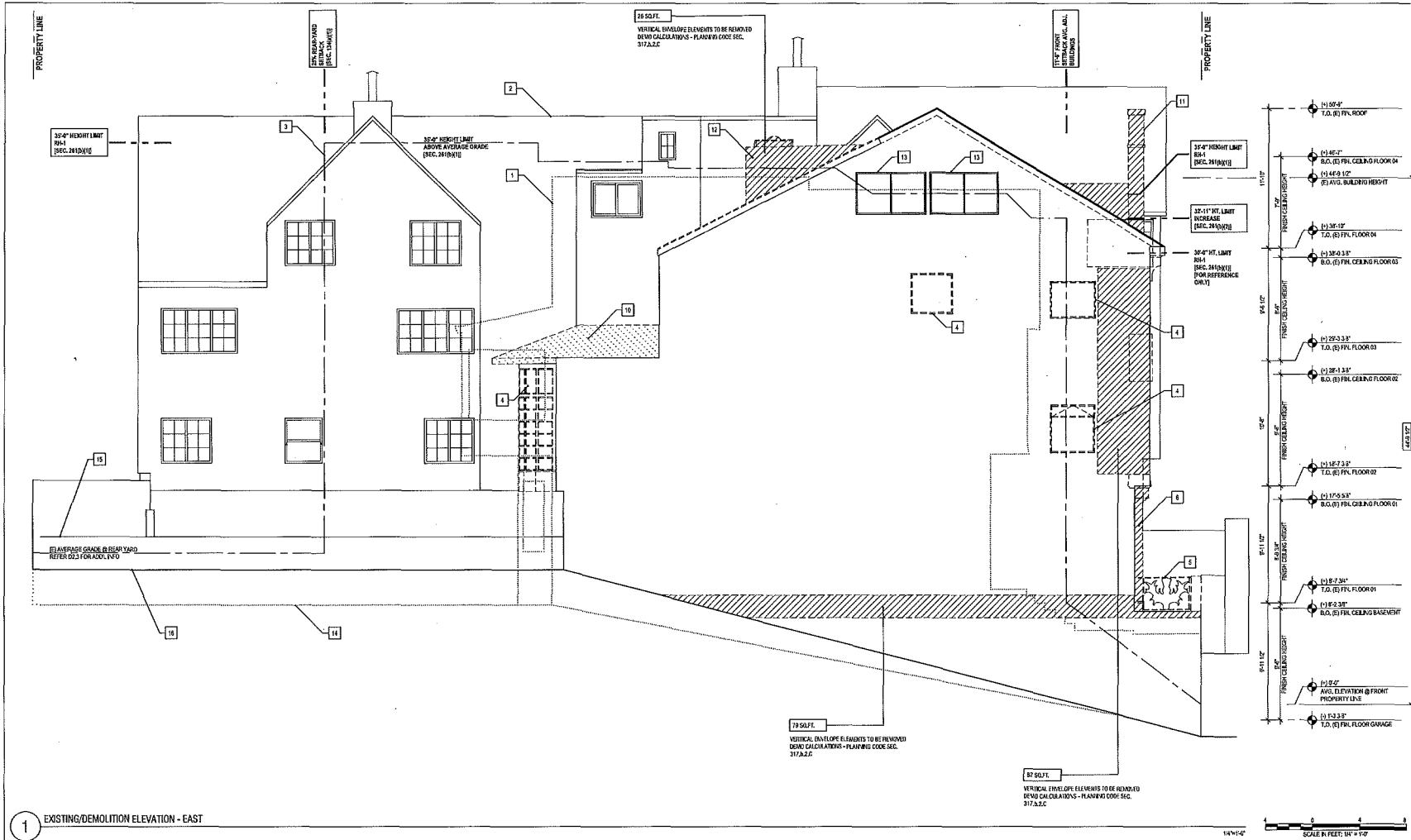
- 11 REMOVE (R) CHIMNEY
- 12 REMOVE (R) DORMER
- 13 PROPERTY LINE WINDOWS TO BE REPLACED BY WFD
- 14 APPROXIMATE OUTLINE OF GRADE @ 2415 GREEN STREET SHOWN FOR REFERENCE ONLY
- 15 APPROXIMATE OUTLINE OF GRADE @ 2421 GREEN STREET SHOWN FOR REFERENCE ONLY
- 16 OUTLINE OF GRADE AT (R) REAR YARD, SHOWN FOR REFERENCE ONLY
- 17 OUTLINE OF (R) GRADE AT FRONT PROPERTY LINE, SHOWN FOR REFERENCE ONLY

**LINE LEGEND**

- ADJACENT BUILDING BEYOND, I.L.O.A.
- ADJACENT BUILDING BEYOND, I.L.O.A.
- ADJACENT BUILDING IN FOREGROUND, I.L.O.A.
- HEIGHT LIMIT RH-1 SFGC SECTION 241.04(1), I.L.O.A.

Drawing Title:  
**EXISTING/DEMO EXTERIOR ELEVATION**

Sheet Number:  
**D2.3**



1 EXISTING/DEMOLITION ELEVATION - EAST

GENERAL EXTERIOR ELEVATION NOTES

1. NOT ALL KEY NOTES ARE USED ON EVERY SHEET
2. REFER TO COVER SHEET FOR DEMOLITION CALCULATIONS

ELEVATION SHEET NOTES

- 1 ADJACENT BUILDING: 2415 GREEN STREET
- 2 ADJACENT BUILDING: 2417 GREEN STREET
- 3 DASHED LINE INDICATES MAXIMUM ALLOWABLE HEIGHT OF BUILDING ENVELOPE FOR RH-11 ACCORDING TO THE SPEC. SECTION 317.5.2.C
- 4 REMOVE (E) WOODY ASSEMBLY
- 5 REMOVE (E) GARAGE WALL
- 6 REMOVE (E) WALL ASSEMBLY AS REQUIRED TO ACHIEVE (E) WORK
- 7 REMOVE (E) GARAGE DOOR
- 8 REMOVE (E) EXTERIOR DOOR
- 9 REMOVE (E) EXTERIOR STAIR
- 10 REMOVE (E) ROOF ASSEMBLY AS REQUIRED TO ACHIEVE (E) WORK

- 11 REMOVE (E) CHIMNEY
- 12 REMOVE (E) DORMER
- 13 (E) PROPERTY LINE WINDOWS TO BE REPLACED IN NEW
- 14 APPROXIMATE OUTLINE OF GRADE @ 2415 GREEN STREET SHOWN FOR REFERENCE ONLY
- 15 APPROXIMATE OUTLINE OF GRADE @ 2417 GREEN STREET SHOWN FOR REFERENCE ONLY
- 16 OUTLINE OF GRADE AT (E) NEAR YARD, SHOWN FOR REFERENCE ONLY
- 17 OUTLINE OF (E) GRADE AT FRONT PROPERTY LINE, SHOWN FOR REFERENCE ONLY

LINE LEGEND

- ADJACENT BUILDING BEYOND U.O.A.
- - - ADJACENT BUILDING BEYOND U.O.A.
- ..... ADJACENT BUILDING IN FOREGROUND, U.O.A.
- HEIGHT LIMIT RH-11 SPEC. SECTION 317.5.2.C, U.O.A.

# 2417 GREEN STREET

SAN FRANCISCO, CA 94123  
BLOCK 0560 LOT 028

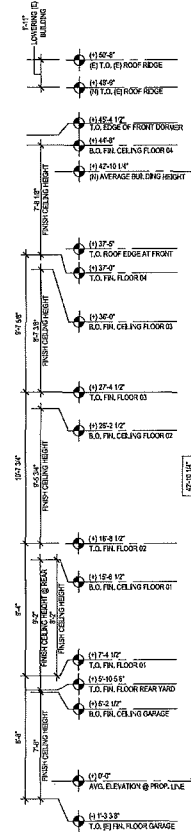
**DUMICAN MOSEY**  
ARCHITECTS

128 10th Street, 3rd floor  
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P: 415.495.9322 F: 415.651.9290

Job No.	16112
Issue	Date
ENVIRONMENTAL EVALUATION SET	02.10.17
PRE-APPLICATION PLAN	
REVIEW	02.24.17
PROJECT REVIEW	03.14.17
MEETING SET	
SITE PERMIT/IT NOTIFICATION SET	04.28.17

Existing: EXISTING/DEMO EXTERIOR ELEVATION

Sheet No: D2.4



1 PROPOSED ELEVATION - NORTH (FRONT)

SCALE IN FEET: 1/4" = 1'-0"

**GENERAL EXTERIOR ELEVATION NOTES**

- NOT ALL KEY NOTES ARE USED ON EVERY SHEET.
- ALL WORK IS NEW UNLESS OTHERWISE NOTED.
- ALL DIMENSIONS ARE TO FACE OF FINISH, UNLESS OTHERWISE NOTED.

**LINE LEGEND**

- (B) BUILDING U.O.N.
- ADJACENT BUILDING BEYOND U.O.N.
- ADJACENT BUILDING BEYOND U.O.N.
- ADJACENT BUILDING IN FOREGROUND, U.O.N.
- HIGHLINE FINISH 100' (100') U.O.N.

**ELEVATION SHEET NOTES**

- ADJACENT BUILDING 2115 GREEN STREET
- ADJACENT BUILDING 2421 GREEN STREET
- GARAGE DOOR, PROX. 200 SQ. FT. HDL. FIBERGLASS INSUL. VENTILATION PANELS ALONG BOTTOM OF DOOR
- SEMI-CIRCULAR TABLE IN (1) PLANTER
- 1/2" THICKEN TAMPONED GLASS GUARD RAIL, 4" A.L.S., PANEL SIZE 24 SQ. FT. MAX W/ 1/2" GAP BETWEEN ADJ. PANELS & CONTIGUOUS U-SHAPED CHANNEL CAP
- BANISTERRY ESCAPE AND RESCUE CASSEMENT WINDOW IN ACCORDANCE WITH CBC SECTION 1009.4.3 SOFT, CLEAR, 30" SILL HEIGHT, 20" (H) x 44" (V)
- BANISTERRY ESCAPE AND RESCUE CASSEMENT WINDOW IN ACCORDANCE WITH CBC SECTION 1009.4.5 SOFT, CLEAR, 30" SILL HEIGHT, 20" (H) x 50" (V)
- BANISTERRY ESCAPE AND RESCUE CASSEMENT WINDOW IN ACCORDANCE WITH CBC SECTION 1009.4.6.2 SOFT, CLEAR, 30" SILL HEIGHT, 27" (H) x 57" (V)
- EMERGENCY ESCAPE AND RESCUE CASSEMENT WINDOW IN ACCORDANCE WITH CBC SECTION 1009.11 SOFT, CLEAR, 30" SILL HEIGHT, 48" (H) x 30" (V)

- 1 HOUR FIRE RATED PARAPET WALL, 30" ABOVE T.O. ROOF MEMBRANE IN ACCORDANCE WITH CBC TROLLS
- 1 HOUR FIRE RATED PARTIAL HEIGHT GUARD RAIL/WALL, 42" A.S.
- FIXED S/LIGHT
- PLANTER
- FINISH 7/8" MAX. ABOVE GRADE OF ADJACENT PROPERTY
- FIBERGLASS CLASS W SINGLE ROOFING ASSEMBLY @ (E) ROOF STRUCTURE
- DOWNER, REFER TO ROOF PLAN, A.S. FOR ROOF SLOPE, TYP.
- FIBERGLASS CLASS X SINGLE ROOFING ASSEMBLY @ (N) ROOF STRUCTURE, REFER TO ROOF PLAN A.S. FOR ROOF SLOPE, TYP.
- APPROXIMATE OUTLINE OF GRADE @ 2415 GREEN STREET SHOWN FOR REFERENCE ONLY
- APPROXIMATE OUTLINE OF GRADE @ 2421 GREEN STREET SHOWN FOR REFERENCE ONLY
- OUTLINE OF REAR YARD, SHOWN FOR REFERENCE ONLY.

- ALUMINUM CASSEMENT WINDOW SYSTEM TO BE EQUIPPED W/ WINDOW OPERING CONTROL DEVICES THAT LIMIT THE OPERABILITY OF THE WINDOW TO A MAXIMUM OF 2 3/4" OPENING.
- BLIND WALL ASSEMBLY
- WINDOW IN (E) OPENING
- PROPERTY LINE WINDOW W/ WS SPRINKLER HEADS INSTALLED ON INTERIOR SIDE OF WINDOW @ CEILING OF EACH STORY, REFER TO APPLICATION PLAN PERISH MEETING, ITEM 2, DISCUSSING W/ A.S.
- OUTLINE OF GRADE AT (E) NEAR YARD, SHOWN FOR REFERENCE ONLY, REFER TO 02 FOR ADD. INFO

**FINISH LEGEND**

- (VSD-0) EXTERIOR WOOD SHINGLE, STAIN GRADE
- (STC-0) EXTERIOR STUCCO (PORTLAND CEMENT PLASTER) COLOR TBO
- (VSD-0) EXTERIOR WOOD PANEL, STAIN GRADE
- (STC-0) HORIZONTAL TEXTURED STUCCO
- (VSD-0) EXTERIOR ALUMINUM PANEL, COLOR TBO
- (GL-0) CLEAR TINTED GLASS, 1/2" TBC
- (NSH-0) FRENCH GLASS BASED SHINGLE ROOFING, COLOR TBO

# 2417 GREEN STREET

SAN FRANCISCO, CA 94123  
BLOCK 0560 LOT 028

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Job No.	16112
ENVIRONMENTAL EVALUATION SET	02.19.17
PRE-APPLICATION PLAN REVIEW	02.24.17
PROJECT REVIEW	03.14.17
MEETING SET	03.14.17
SITE PERMIT/ATTN	04.28.17
NOTIFICATION SET	04.28.17

Drawing Title: **PROPOSED EXTERIOR ELEVATION**

Sheet Number: **A2.1**

# 2417 GREEN STREET

SAN FRANCISCO, CA 94123  
BLOCK 0560 LOT 028

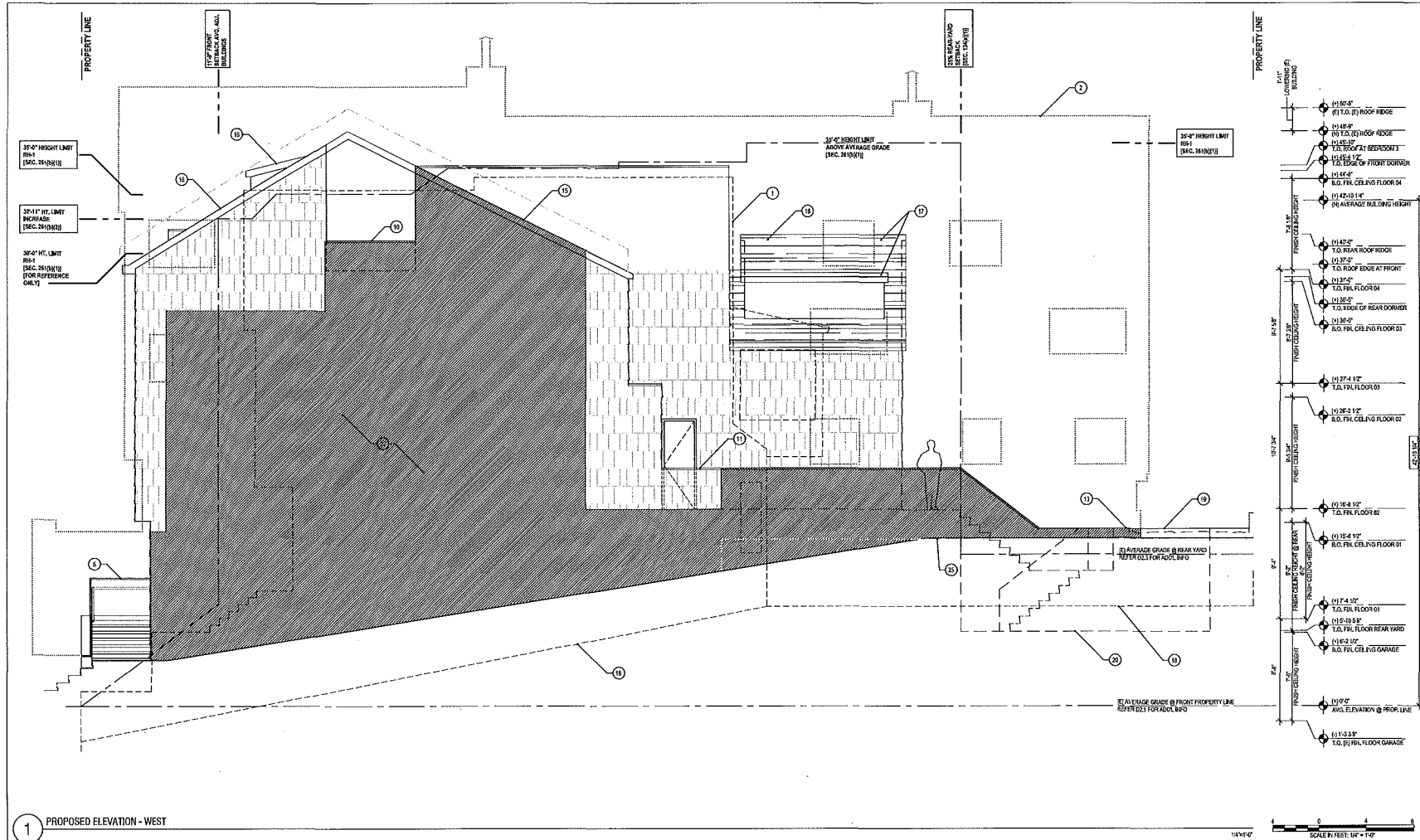
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Job No.	16112
Issue	Date
ENVIRONMENTAL EVALUATION SET	02.10.17
PRE-APPLICATION PLAN REVIEW	02.24.17
PROJECT REVIEW MEETING SET	03.14.17
SITE PERMITS/11 NOTIFICATION SET	04.28.17

Working Title:  
**PROPOSED EXTERIOR ELEVATION**

Sheet Number:  
**A2.2**



1 PROPOSED ELEVATION - WEST

**GENERAL EXTERIOR ELEVATION NOTES**

1. MIT ALL KEY NOTES ARE USED ON EVERY SHEET.  
2. ALL WORK IS NEW UNLESS OTHERWISE NOTED.  
3. ALL DIMENSIONS ARE TO FACE OF FINISH, UNLESS OTHERWISE NOTED.

**LINE LEGEND**

--- (1) BUILDING, U.O.A.  
--- ADJACENT BUILDING BEYOND U.O.A.  
--- ADJACENT BUILDING IN FOREGROUND, U.O.A.  
--- HEIGHT LIMIT (S-F) SEC. 25.01(1) U.O.A.

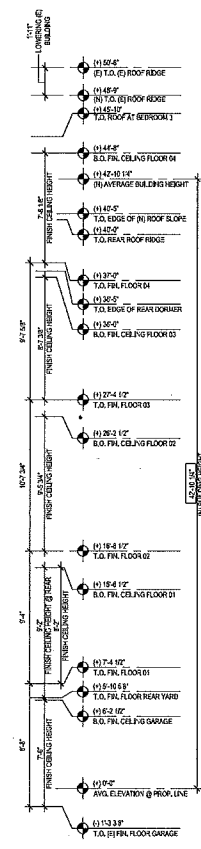
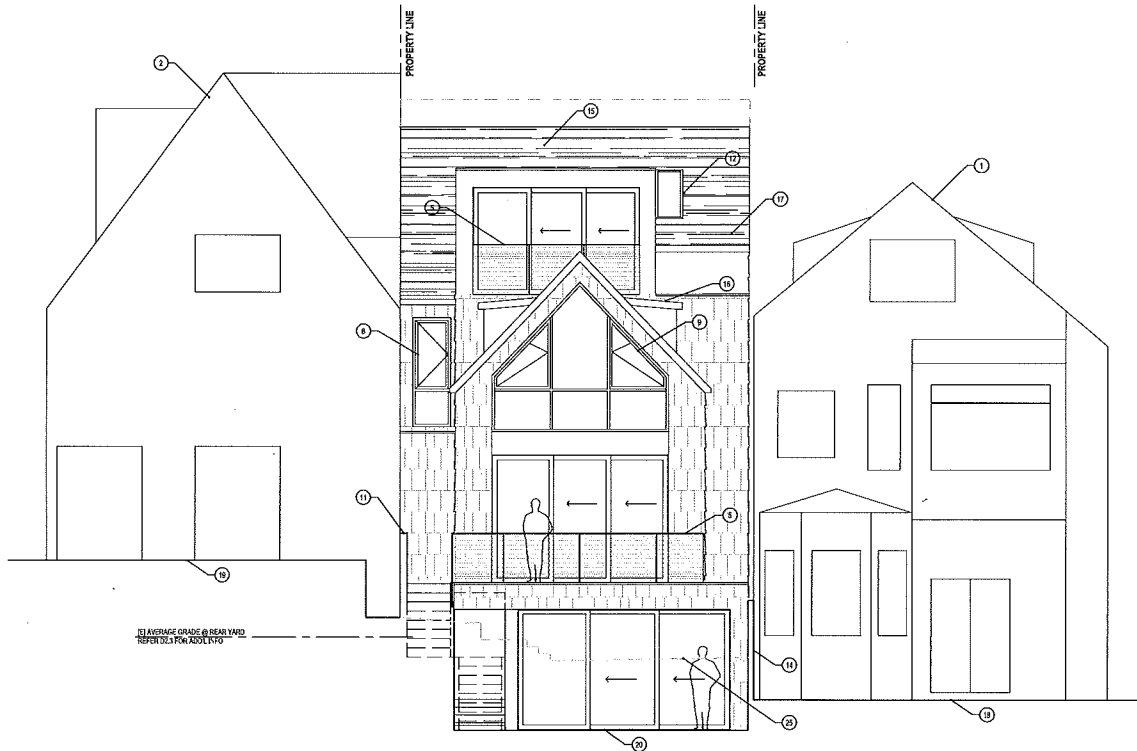
**ELEVATION SHEET NOTES**

1 ALUMINUM CLADDING: 2115 GREEN STREET  
2 ALUMINUM CLADDING: 2417 GREEN STREET  
3 GARAGE DOOR, PROVIDE 200 SQ. FT. MAX. PERFORATED METAL VENTILATION PANELS ALONG BOTTOM OF DOOR  
4 SIDEWALK THREE (3) PLASTER  
5 EXTERIOR TYPED GLASS GLAZED PANEL, 47" A.F.F., PANEL SIZE 24 5/8" FT. MAX. W/ 1/2" GAP BETWEEN ALUMINUMS & CONTIGUOUS GLAZED GARAGE CAP  
6 EMERGENCY ESCAPE AND RESCUE CASEMENT WINDOW IN ACCORDANCE WITH CBC SECTION 1309: 6.5 SUFF. CLEAR, 30" SILL HEIGHT, 27" (H) x 57" (V)  
7 EMERGENCY ESCAPE AND RESCUE CASEMENT WINDOW IN ACCORDANCE WITH CBC SECTION 1309: 6.5 SUFF. CLEAR, 30" SILL HEIGHT, 27" (H) x 57" (V)  
8 EMERGENCY ESCAPE AND RESCUE CASEMENT WINDOW IN ACCORDANCE WITH CBC SECTION 1309: 6.5 SUFF. CLEAR, 30" SILL HEIGHT, 27" (H) x 57" (V)  
9 EMERGENCY ESCAPE AND RESCUE CASEMENT WINDOW IN ACCORDANCE WITH CBC SECTION 1309: 6.5 SUFF. CLEAR, 30" SILL HEIGHT, 27" (H) x 57" (V)

10 1 HOUR FIRE RATED PARAPET WALL, 30" ABOVE T.O. ROOF MEMBRANE IN ACCORDANCE WITH CBC 705.4.1  
11 1 HOUR FIRE RATED PARTIAL HEIGHT GARDEN WALL, 42" A.F.F.  
12 (N) FIXED SKYLIGHT  
13 (N) PLASTER  
14 (N) FENCE 7'-0" MAX ABOVE GRADE OF ADJACENT PROPERTY  
15 (N) FIRE-RESISTANT CLASS IV SINGLE ROOFING ASSEMBLY OF (E) ROOF STRUCTURE.  
16 (N) DORMER, REFER TO ROOF PLAN, A.I.S. FOR ROOF SLOPES, TYP.  
17 (N) FIRE-RESISTANT CLASS IV SINGLE ROOFING ASSEMBLY OF (N) ROOF STRUCTURE, REFER TO ROOF PLAN A.I.S. FOR ROOF SLOPES, TYP.  
18 APPROXIMATE OUTLINE OF GRADE @ 2415 GREEN STREET SHOWN FOR REFERENCE ONLY  
19 APPROXIMATE OUTLINE OF GRADE @ 2413 GREEN STREET SHOWN FOR REFERENCE ONLY  
20 OUTLINE OF REAR YARD, SHOWN FOR REFERENCE ONLY.

21 ALUMINUM CASEMENT WINDOW SYSTEM TO BE EQUIPPED WITH WINDOW OPENING CONTROL DEVICES THAT LIMIT THE OPERATION OF THE WINDOW TO A MAXIMUM OF 3 3/4" OPENING.  
22 (N)(E) BLIND WALL ASSEMBLY  
23 (N) WINDOW IN (E) OPENING  
24 (N) PROPERTY LINE WINDOW W/ WS SPRINKLER HEADS INSTALLED ON EXTERIOR SIDE OF WINDOW OR CEILING OF EACH STORY, PER PRE-APPLICATION PLAN REVIEW MEETING, ITEM 2, CONCLUSION, REF. A.I.S.  
25 OUTLINE OF GRADE AT (E) REAR YARD, SHOWN FOR REFERENCE ONLY, REFER TO A.I.S. FOR ADD. INFO.

SCALE IN FEET: 1/4" = 1'-0"



1 PROPOSED ELEVATION - SOUTH

GENERAL EXTERIOR ELEVATION NOTES	ELEVATION SHEET NOTES		
<p>1. NOT ALL KEY NOTES ARE USED ON EVERY SHEET.</p> <p>2. ALL WORK IS NEW UNLESS OTHERWISE NOTED.</p> <p>3. ALL DIMENSIONS ARE TO FACE OF FINISH, TYP. UNLESS OTHERWISE NOTED.</p>	<p>1 ADJACENT BUILDING 2115 GREEN STREET</p> <p>2 ADJACENT BUILDING 2121 GREEN STREET</p> <p>3 GARAGE DOOR, PROVIDE 700 SQ. FT. MAX PER SQUARE MET. VENTILATION PANELS ALONG BOTTOM OF DOOR</p> <p>4 (N) SERVICE TREE IN (E) PLANTER</p> <p>5 (N) EXTERIOR THERMO GLASS GUARD RAIL, 47" A.F.F., PANEL SIZE 24 SQ. FT. MAX. W/ 1/2" GAP BETWEEN AND PANELS &amp; CONTINUOUS 1/2" SHIMMED CHANNEL CAP</p> <p>6 EMERGENCY ESCAPE AND RESCUE CASEMENT WINDOW IN ACCORDANCE WITH CBC SECTION 1009: 6.5 SQ.FT. CLEAR, 36" SILL HEIGHT, 23" (N) x 44" (E)</p> <p>7 EMERGENCY ESCAPE AND RESCUE CASEMENT WINDOW IN ACCORDANCE WITH CBC SECTION 1009: 6.5 SQ.FT. CLEAR, 36" SILL HEIGHT, 23" (N) x 50" (E)</p> <p>8 EMERGENCY ESCAPE AND RESCUE CASEMENT WINDOW IN ACCORDANCE WITH CBC SECTION 1009: 16.2 SQ.FT. CLEAR, 36" SILL HEIGHT, 23" (N) x 57" (E)</p> <p>9 EMERGENCY ESCAPE AND RESCUE CASEMENT WINDOW IN ACCORDANCE WITH CBC SECTION 1009: 11 SQ.FT. CLEAR, 36" SILL HEIGHT, 48" (N) x 30" (E)</p>	<p>10 1 HOUR FIRE RATED PARTIAL WALL, 3/4" ASBESTOS ROOF UNDERLAY IN ACCORDANCE WITH CBC 705.11.1</p> <p>11 1 HOUR FIRE RATED PARTIAL HEIGHT GUARD RAIL/RAIL, 42" A.F.F.</p> <p>12 (N) REAR S-V-LIGHT</p> <p>13 (N) PLANTER</p> <p>14 (N) FINISH 7'-0" MAX ABOVE GRADE OF ADJACENT PROPERTY</p> <p>15 (N) FIRE-RESISTANT CLASS 'X' SHINGLE ROOFING ASSEMBLY OF (R) ROOF STRUCTURE.</p> <p>16 (N) DOWNER, REFER TO ROOF PLAN, A.I.S., FOR ROOF SLOPES, TYP.</p> <p>17 (N) FIRE-RESISTANT CLASS 'X' SHINGLE ROOFING ASSEMBLY OF (R) ROOF STRUCTURE. REFER TO ROOF PLAN A.I.S. FOR ROOF SLOPES, TYP.</p> <p>18 APPROXIMATE OUTLINE OF GRADE @ 2115 GREEN STREET SHOWN FOR REFERENCE ONLY</p> <p>19 APPROXIMATE OUTLINE OF GRADE @ 2121 GREEN STREET SHOWN FOR REFERENCE ONLY</p> <p>20 OUTLINE OF REAR YARD, SHOWN FOR REFERENCE ONLY.</p>	<p>11 ALUMINUM CASSEMENT WINDOW SYSTEM TO BE EQUIPPED W/ WINDOW OPERATING CONTROL DEVICES THAT LIMIT THE OPERATION OF THE WINDOW TO A MAXIMUM OF 3 3/4" OPENING</p> <p>22 (N) ERMU WALL ASSEMBLY</p> <p>23 (N) WINDOW IN (E) OPENING</p> <p>24 (N) PROPERTY LINE WINDOW W/ WS SPRINKLER HEADS INSTALLED ON EVERY SIDE OF WINDOW @ CORNER OF EACH STORY, PER PRE-APPLICATION PLAN REVIEW MEETING, ITEM 2, CONCLUSION, REF. A.6.8</p> <p>25 OUTLINE OF GRADE AT (E) REAR YARD, SHOWN FOR REFERENCE ONLY, REFER TO 02.3 FOR ADD. INFO</p>

LINE LEGEND

---	(R) BUILDING, U.O.A.
---	ADJACENT BUILDING BEYOND, U.O.A.
---	ADJACENT BUILDING IN FOREGROUND, U.O.A.
---	ADJACENT BUILDING IN FOREGROUND, U.O.A.
---	HEIGHT LIMIT PER 15% SLOPE (SIC. 21) (SIC. 1)

# 2417 GREEN STREET

SAN FRANCISCO, CA 94123  
BLOCK 0560 LOT 028

**DUMICAN MOSEY**  
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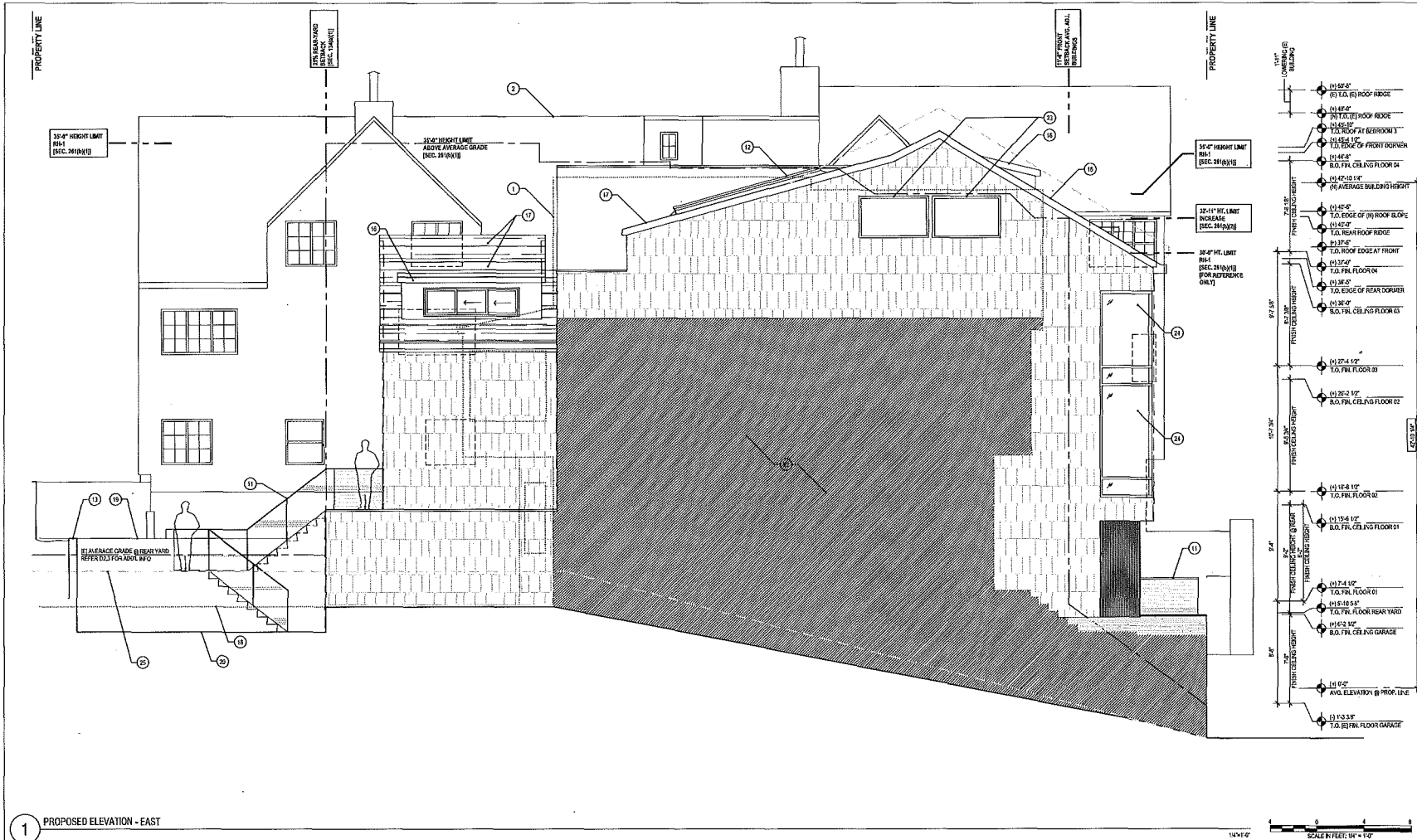
Job No.	16112
ENVIRONMENTAL EVALUATION SET	02.10.17
PRE-APPLICATION PLAN REVIEW	02.24.17
PROJECT REVIEW	03.14.17
MEETING SET	03.14.17
SITE PERMITS/11	04.28.17
NOTIFICATION SET	04.28.17

Creating Title

## PROPOSED EXTERIOR ELEVATION

Sheet Number

# A2.3



1 PROPOSED ELEVATION - EAST



GENERAL EXTERIOR ELEVATION NOTES

1. NOT ALL KEY NOTES ARE USED ON EVERY SHEET.
2. ALL WORK IS NEW UNLESS OTHERWISE NOTED.
3. ALL DIMENSIONS ARE TO FACE OF FINISH TYP. UNLESS OTHERWISE NOTED.

LINE LEGEND

- (1) BUILDING U.O.A.
- (2) ADJACENT BUILDING BEYOND U.O.A.
- (3) ADJACENT BUILDING BEYOND U.O.A.
- (4) ADJACENT BUILDING IN HOVE/GROUND U.O.A.
- (5) HEIGHT LIMIT BY SFGP SEC. 21A(1)(B)(1) U.O.A.

ELEVATION SHEET NOTES

- (1) ADJACENT BUILDING: 2415 GREEN STREET
- (2) ADJACENT BUILDING: 2417 GREEN STREET
- (3) GARAGE DOOR, PROVIDE 200 SQ. FT. MAX. PERFORATED MET. VENTILATION PANELS ALONG BOTTOM OF DOOR
- (4) SHAWANNA TREE BY (3) PLANTER
- (5) EXTENSION TEMPERED GLASS GUARD RAIL, 42" A.F.F., PANEL SIZE: 24 SQ. FT., MAX. W/ 1/2" GAP BETWEEN ADJ. PANELS & CONTINUOUS U-SHAPED CHANNEL CAP
- (6) EMERGENCY ESCAPE AND RESCUE CASHEMENT WINDOW IN ACCORDANCE WITH CBC SECTION 1032: 8.3 SQ. FT. CLEAR, 36" SILL HEIGHT, 27" (0) x 44" (0)
- (7) EMERGENCY ESCAPE AND RESCUE CASHEMENT WINDOW IN ACCORDANCE WITH CBC SECTION 1032: 6.5 SQ. FT. CLEAR, 30" SILL HEIGHT, 27" (0) x 44" (0)
- (8) EMERGENCY ESCAPE AND RESCUE CASHEMENT WINDOW IN ACCORDANCE WITH CBC SECTION 1032: 16.2 SQ. FT. CLEAR, 36" SILL HEIGHT, 27" (0) x 57" (0)
- (9) EMERGENCY ESCAPE AND RESCUE CASHEMENT WINDOW IN ACCORDANCE WITH CBC SECTION 1032: 11 SQ. FT. CLEAR, 36" SILL HEIGHT, 49" (0) x 50" (0)

- (10) 1 HOUR FIRE RATED PARAPET WALL, 20" ABOVE T.O. ROOF MEMBRANE IN ACCORDANCE WITH CBC 705.11.1
- (11) 1 HOUR FIRE RATED PARTIAL HEIGHT GUARD RAIL/WALL, 42" A.F.F.
- (12) (0) EXTER SYSTEM
- (13) (0) PLANTER
- (14) (0) FINISH 7'-0" MAX ABOVE GRADE OF ADJACENT PROPERTY
- (15) (0) MINERAL GLASS CLASS 'X' SHINGLE ROOFING ASSEMBLY BY (0) ROOF STRUCTURE.
- (16) (0) DOWNER, REFER TO ROOF PLAN, A.I.S., FOR ROOF SLOPE, TYP.
- (17) (0) MINERAL GLASS CLASS 'W' SHINGLE ROOFING ASSEMBLY BY (0) ROOF STRUCTURE, REFER TO ROOF PLAN A.I.S., FOR ROOF SLOPE, TYP.
- (18) APPROXIMATE OUTLINE OF GRADE @ 2415 GREEN STREET SHOWN FOR REFERENCE ONLY
- (19) APPROXIMATE OUTLINE OF GRADE @ 2421 GREEN STREET SHOWN FOR REFERENCE ONLY
- (20) OUTLINE OF REAR YARD, SHOWN FOR REFERENCE ONLY.

- (21) ALUMINUM CASHEMENT WINDOW SYSTEM TO BE EQUIPPED W/ WINDOW OPERATING CONTROL DEVICES THAT LIMIT THE OPERATION OF THE WINDOW TO A MAXIMUM OF 3 3/4" OPENING.
- (22) (0) (0) BRID WALL ASSEMBLY
- (23) (0) WINDOW BY (0) OPENING
- (24) (0) PROPERTY LINE WINDOW W/ VIS SPRINKLER HEADS INSTALLED ON INTERIOR SIDE OF WINDOW @ CENTER OF EACH STORY, PER FIRE-APPLICATION PLAN REVIEW MEETING, ITEM 2. COORDINATION REF. A-8
- (25) OUTLINE OF GRADE AT (0) REAR YARD, SHOWN FOR REFERENCE ONLY, REFER TO S.F. FOR ADJ. INFO

**2417 GREEN STREET**  
 SAN FRANCISCO, CA 94123  
 BLOCK 0560 LOT 028

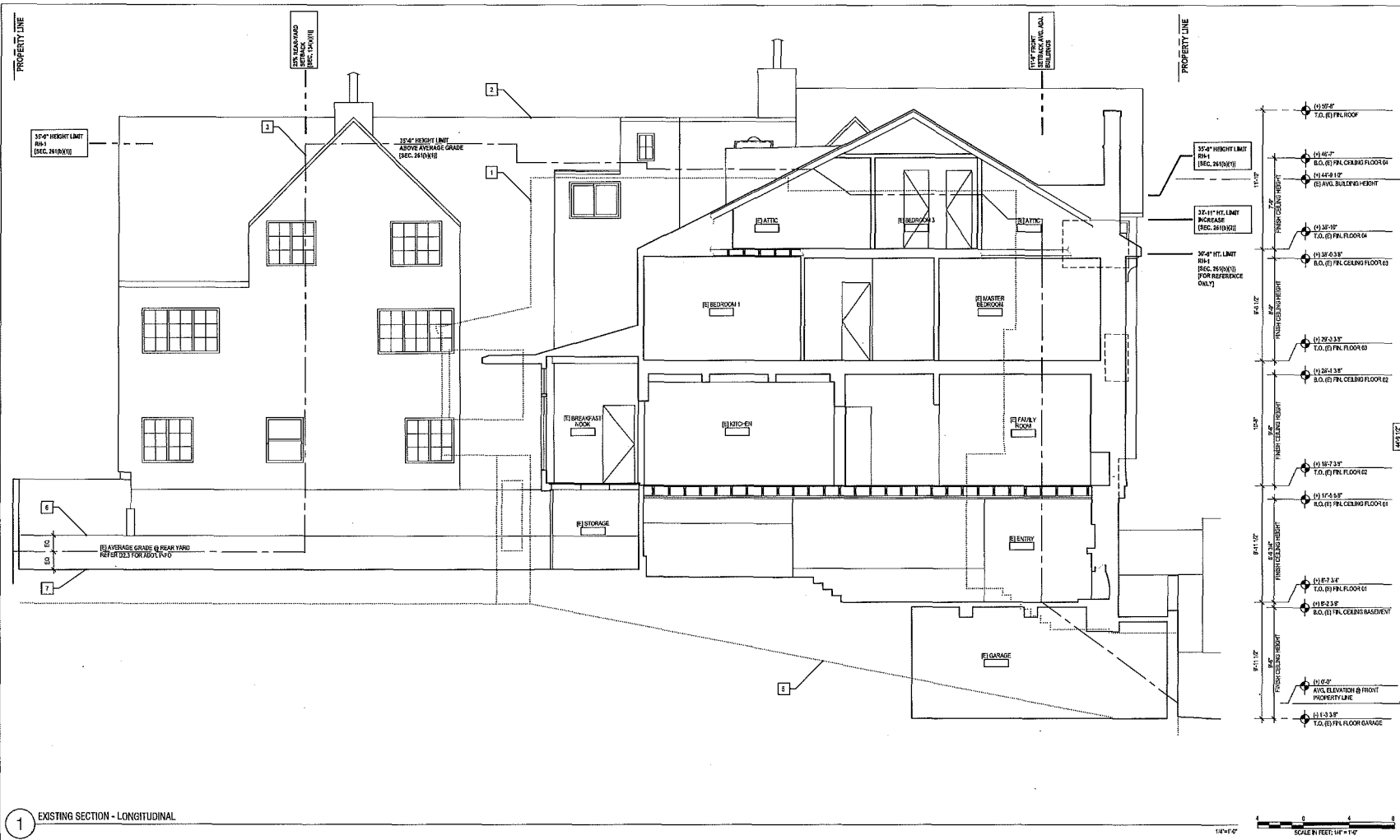
**DUMICAN MOSEY ARCHITECTS**  
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Sub-Item	Date
Issue	16112
ENVIRONMENTAL EVALUATION SET	
PRE-APPLICATION PLAN	02.10.17
REVIEW	02.24.17
PROJECT REVIEW	03.14.17
MEETING SET	03.14.17
SITE PERMIT/TITLE NOTIFICATION SET	04.28.17

Drawing Title  
**PROPOSED EXTERIOR ELEVATION**

Drawing Number  
**A2.4**





1 EXISTING SECTION - LONGITUDINAL

**GENERAL SECTION NOTES**

1. NOT ALL KEY NOTES ARE USED ON EVERY SHEET

**SECTION SHEET NOTES**

1 ADJACENT BUILDING: 2415 GREEN STREET  
 2 ADJACENT BUILDING: 2411 GREEN STREET  
 3 HATCHED LINE INDICATES MAXIMUM ALLOWABLE HEIGHT OF BUILDING ENVELOPE FOR RA-1 IN ACCORDANCE WITH SFPUC SECTION 241.60(1)  
 4 OUTLINE OF (E) QUOTE AT FRONT PROPERTY LINE, SHOWN FOR REFERENCE ONLY, REFER TO 1 FOR ADJL EPO  
 5 APPROXIMATE OUTLINE OF GRADE AT 2415 GREEN STREET, SHOWN FOR REFERENCE ONLY  
 6 APPROXIMATE ELEVATION OF GRADE AT 2411 GREEN STREET AT PROPERTY LINE  
 7 OUTLINE OF GRADE AT (E) REAR YARD, SHOWN FOR REFERENCE ONLY, REFER TO 2 FOR ADJL EPO

**LINE LEGEND**

--- (E) BUILDING U/LIN  
 - - - - ADJACENT BUILDING BEYOND U/LIN  
 - - - - ADJACENT BUILDING BEYOND U/LIN  
 - - - - ADJACENT BUILDING IN FOREGROUND, U/LIN  
 - - - - HEIGHT LIMIT RA-1 SFPUC SEC. 241.60(1), U/LIN

# 2417 GREEN STREET

SAN FRANCISCO, CA 94123  
 BLOCK 0560 LOT 028

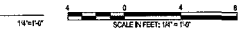
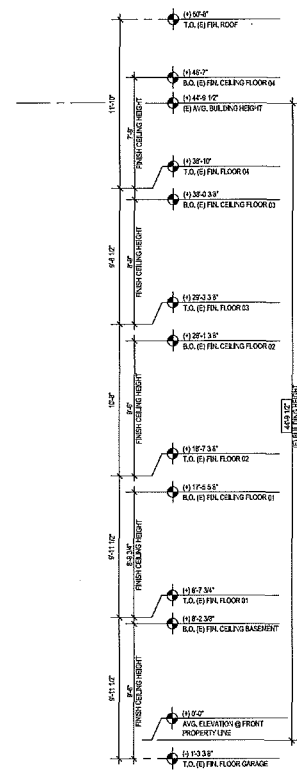
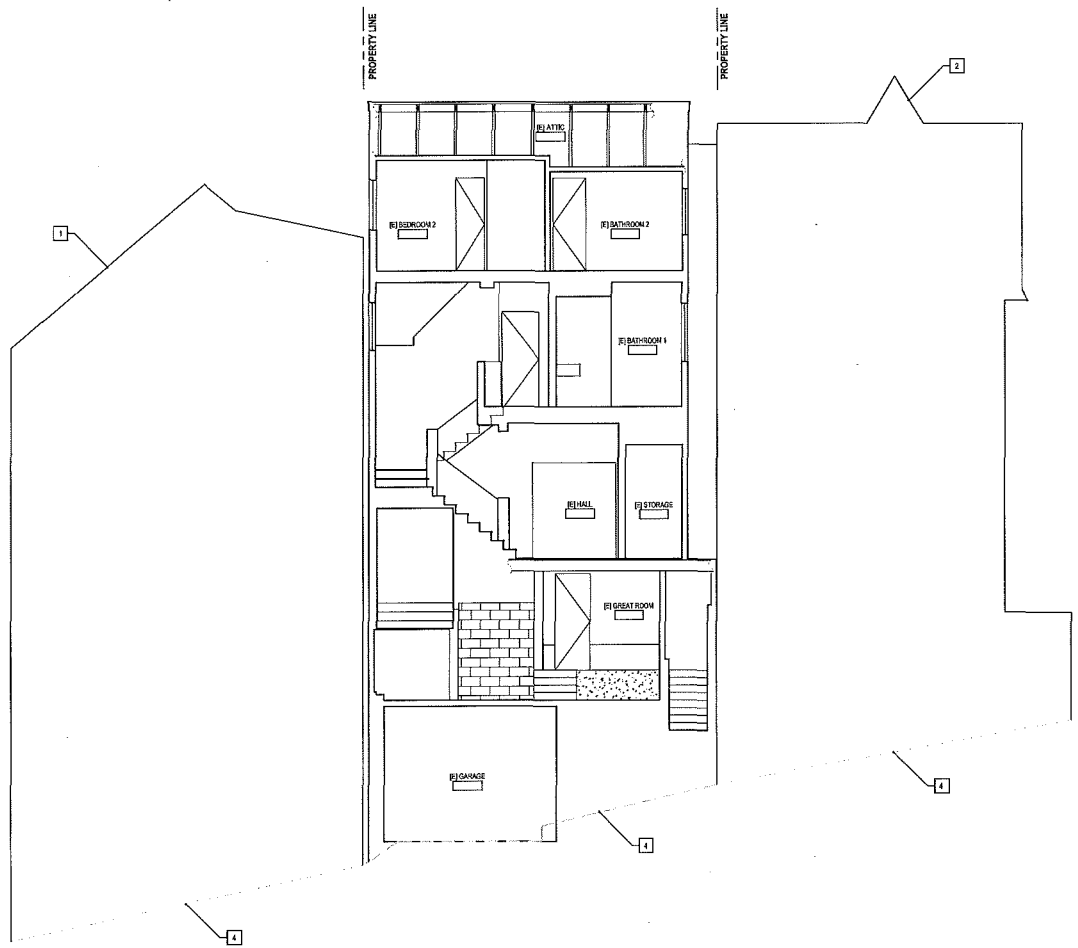
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Job No.	16112
Issue	
ENVIRONMENTAL EVALUATION SET	02.10.17
PRE-APPLICATION/PLAN REVIEW	02.24.17
PROJECT REVIEW MEETING SET	03.14.17
SITE PERMIT/TTI NOTIFICATION SET	04.28.17

Drawing Title: **EXISTING SECTION**

Sheet Number: **D3.1**



1 EXISTING CROSS SECTION

**GENERAL SECTION NOTES**

1. NOT ALL KEY NOTES ARE USED ON EVERY SHEET

**SECTION SHEET NOTES**

1 ADJACENT BUILDING: 2415 GREEN STREET  
 2 ADJACENT BUILDING: 2421 GREEN STREET  
 3 DASHED LINE INDICATES MAXIMUM ALLOWABLE HEIGHT OF BUILDING ENVELOPE FOR RH-1 IN ACCORDANCE WITH SFGPC SECTION 231.01 (U)  
 4 OUTLINE OF (E) GRABER AT FRONT PROPERTY LINE, SHOWN FOR REFERENCE ONLY, REFER TO 2 FOR ADJ. L.P.D.  
 5 APPROXIMATE OUTLINE OF GRADE AT 2415 GREEN STREET, SHOWN FOR REFERENCE ONLY  
 6 APPROXIMATE ELEVATION OF GRADE AT 2421 GREEN STREET AT PROPERTY LINE  
 7 OUTLINE OF GRADE AT (E) REAR YARD, SHOWN FOR REFERENCE ONLY, REFER TO 2 FOR ADJ. L.P.D.

**LINE LEGEND**

--- (E) BUILDING U.O.L.  
 - - - - - ADJACENT BUILDING BEYOND U.O.L.  
 - - - - - ADJACENT BUILDING BEYOND U.O.L.  
 - - - - - ADJACENT BUILDING IN FOREGROUND, U.O.L.  
 - - - - - HEIGHT LIMIT RH-1 SFGPC SECTION 231.01 (U), U.O.L.

# 2417 GREEN STREET

SAN FRANCISCO, CA 94123  
 BLOCK 0560 LOT 028

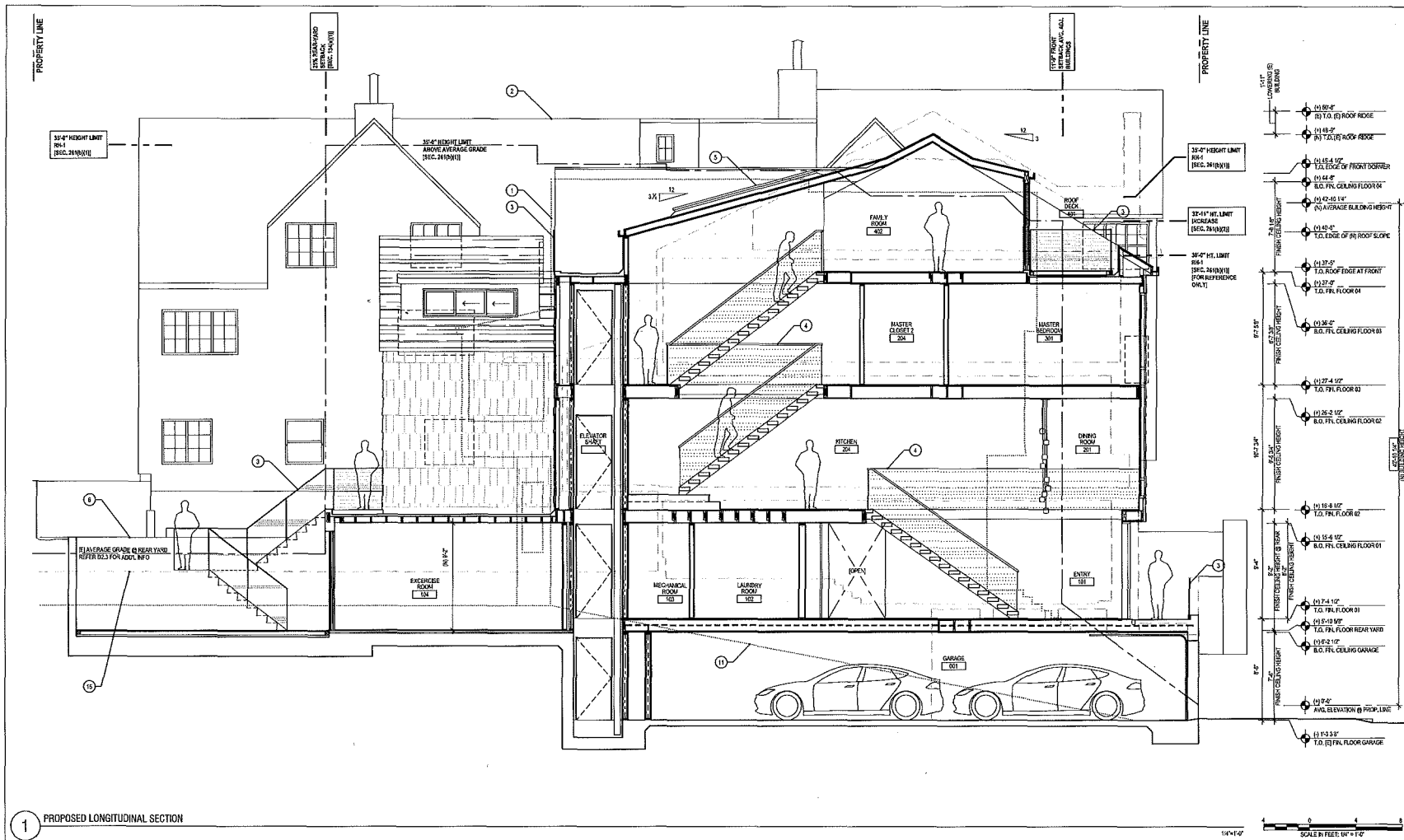
**DUMICAN MOSEY**  
 ARCHITECTS

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Job No.	18112
Issue	Date
ENVIRONMENTAL EVALUATION SET	02.10.17
PRE-APPLICATION PLAN REVIEW	02.24.17
PROJECT REVIEW	03.14.17
STATE PERMIT/ATT	04.28.17
NOTIFICATION SET	

Existing Title  
**EXISTING SECTION**

Sheet Number  
**D3.2**



1 PROPOSED LONGITUDINAL SECTION

GENERAL SECTIONS NOTES

1. NOT ALL KEY NOTES ARE USED ON EVERY SHEET.
2. ALL WORK IS NEW UNLESS OTHERWISE NOTED.
3. ALL DIMENSIONS ARE TO FACE OF FINISH, TYP. UNLESS OTHERWISE NOTED.

SECTION SHEET NOTES

- 1 ADJACENT BUILDING 2415 GREEN STREET
- 2 ADJACENT BUILDING 2421 GREEN STREET
- 3 EXTERIOR GLAZED BAL. 4" A.F.F., SEE NOTES 5, A2 SERIES
- 4 EXTERIOR GLAZED BAL. 4" A.F.F.
- 5 SECURITY
- 6 PLANTER
- 7 DASHED LINE INDICATES (1) S.G. ROOF RIDGE
- 8 1-HOUR PARTIAL HEIGHT WALL/GUARDRAIL ASSEMBLY 4" A.F.F.
- 9 APPROXIMATE AVERAGE SLOPE OF ADJACENT GRADE @ FRONT PROPERTY LINE, FOR REFERENCE ONLY
- 10 APPROXIMATE ELEVATION OF ADJACENT GRADE @ REAR YARD, FOR REFERENCE ONLY
- 11 APPROXIMATE OUTLINE OF ADJACENT GRADE @ 2415 GREEN STREET, FOR REFERENCE ONLY

- 12 APPROXIMATE OUTLINE OF GRADE @ 2421 GREEN STREET, FOR REFERENCE ONLY
- 13 DASHED LINE INDICATES GARAGE INTERIOR FINISHED FLOOR AND WALLS BEYOND
- 14 SLOPED CEILING UNDER STAIR, 1-4H1 FIRE-RESISTANCE RATED
- 15 OUTLINE OF GRADE AT REAR YARD, SHOWN FOR REFERENCE ONLY. REFER 02.1 FOR ADD. INFO
- 16 OUTLINE OF GRADE AT FRONT PROPERTY LINE, SHOWN FOR REFERENCE ONLY. REFER 02.1 FOR ADD. INFO

LINE LEGEND

- (1) BUILDING U.O.L.
- ADJACENT BUILDING BEYOND U.O.L.
- ADJACENT BUILDING BEYOND U.O.L.
- ADJACENT BUILDING IN FOREGROUND U.O.L.
- HORIZONTAL LIMIT FIN-1 5/16" SEC. 2415(N)(1) U.O.L.

**2417 GREEN STREET**  
 SAN FRANCISCO, CA 94123  
 BLOCK 0560 LOT 028

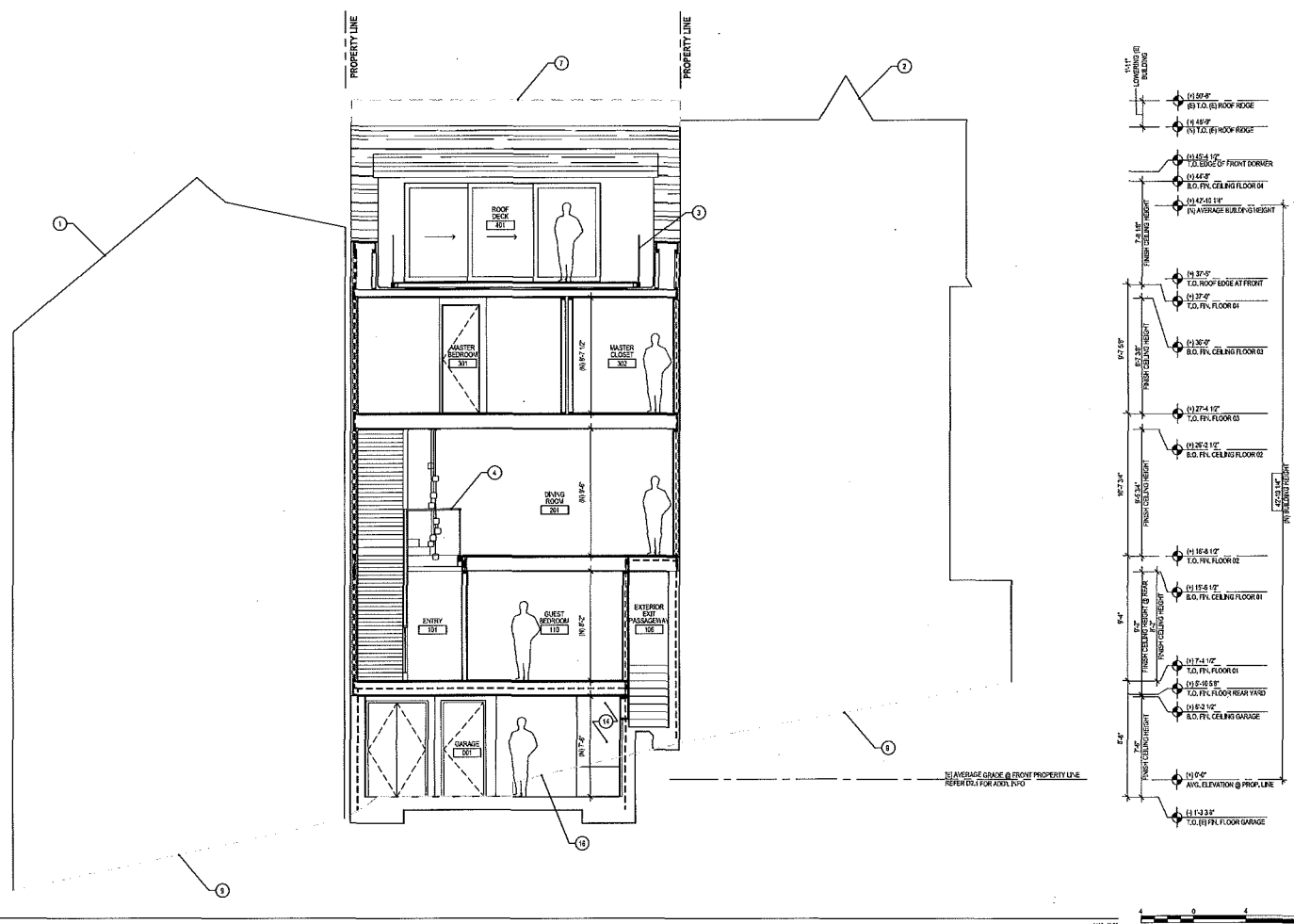
**DUMICAN MOSEY**  
 ARCHITECTS

1228 10th Street, 3rd Floor  
 San Francisco, California 94103  
 T: 415.495.9322 F: 415.651.9290

Job No.	18112
Issue	Date
ENVIRONMENTAL EVALUATION SET	02.10.17
PRE-APPLICATION PLAN	02.24.17
REVIEW PROJECT REVIEW	03.14.17
MEETING SET	04.28.17
STAFF PERMIT SET	
NOTIFICATION SET	

Drawing Title: **PROPOSED SECTION**

Sheet Number: **A3.1**



1 PROPOSED CROSS SECTION

**GENERAL SECTIONS NOTES**

- NOT ALL (C) NOTES ARE USED ON EVERY SHEET.
- ALL WORK IS IN UNLESS OTHERWISE NOTED.
- ALL DIMENSIONS ARE TO FACE OF FINISH, UNLESS OTHERWISE NOTED.

**SECTION SHEET NOTES**

- ADJACENT BUILDING: 2415 GREEN STREET
- ADJACENT BUILDING: 2421 GREEN STREET
- (D) EXTERIOR GUARD RAIL, 42" A.F.F., SEE NOTE 3, A2 SERIES
- (N) INTERIOR GUARD RAIL, 42" A.F.F.
- (S) SKYLIGHT
- (P) PLANTER
- DASHED LINE INDICATES (R) T.O. ROOF RIDGE
- (R) 1-400Ri PARKING HEIGHT WALL/GUARDRAIL ASSEMBLY 4" A.F.F.
- APPROXIMATE AVERAGE SLOPE OF ADJACENT GRADE @ FRONT PROPERTY LINE, FOR REFERENCE ONLY
- APPROXIMATE ELEVATION OF ADJACENT GRADE @ REAR YARD, FOR REFERENCE ONLY
- APPROXIMATE OUTLINE OF ADJACENT GRADE @ 2415 GREEN STREET, FOR REFERENCE ONLY

**LINE LEGEND**

- (E) BUILDING, U.O.A.
- ADJACENT BUILDING BEYOND, U.O.A.
- ADJACENT BUILDING BEYOND, U.O.A.
- ADJACENT BUILDING IN FOREGROUND, U.O.A.
- HEIGHT LIMIT (R)-1 (SPC 262.02(1)), U.O.A.

# 2417 GREEN STREET

SAN FRANCISCO, CA 94123  
BLOCK 0560 LOT 028

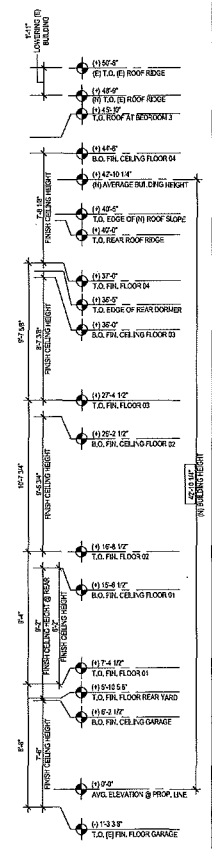
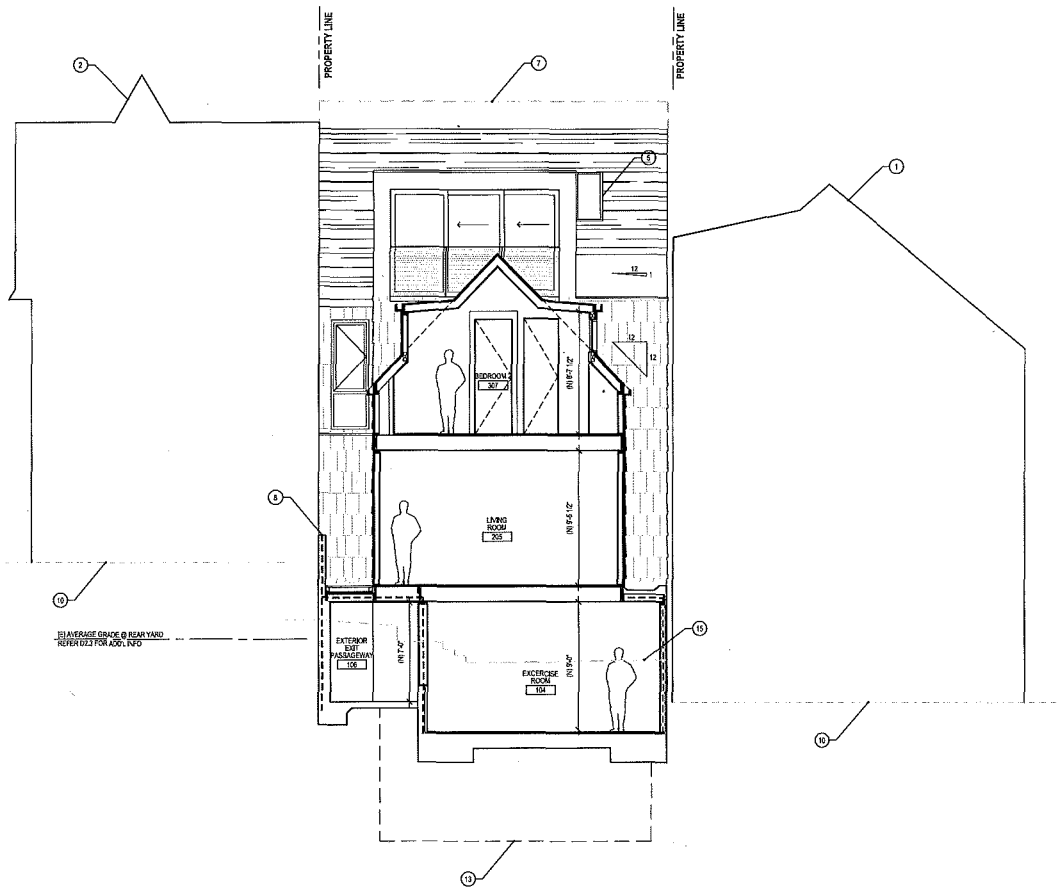
**DUMICAN MOSEY ARCHITECTS**

128 10th Street, 3rd floor  
San Francisco, California 94103  
T: 415.495.9322 F: 415.651.9290

Job No.	16112
Issue	Date
ENVIRONMENTAL EVALUATION SET	02.10.17
PRE-APPLICATION PLAN REVIEW	02.24.17
PROJECT REVIEW	03.14.17
ISSUING SET	03.14.17
SITE PERMITS	04.28.17
NOTIFICATION SET	04.28.17

Drawing Title: **PROPOSED SECTION**

Sheet Number: **A3.2**



**2417 GREEN STREET**  
 SAN FRANCISCO, CA 94123  
 BLOCK 0560 LOT 028

**DUMICAN MOSEY ARCHITECTS**  
 128 10th Street, 3rd floor  
 San Francisco, California 94103  
 T: 415.495.9322 F: 415.651.9290

Job No.	Date	Revision
16112		
ENVIRONMENTAL EVALUATION SET	02 10 17	
PRE-APPLICATION PLAN REVIEW	02 24 17	
PROJECT REVIEW MEETING SET	03 14 17	
SITE PERMIT/TITLE NOTIFICATION SET	04 28 17	

**1** PROPOSED SECTION - TRANSVERSE

**GENERAL SECTIONS NOTES**

1. NOT ALL KEY NOTES ARE USED ON EVERY SHEET.
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3. ALL DIMENSIONS ARE TO FACE OF FINISH, TYP., UNLESS OTHERWISE NOTED.

**SECTION SHEET NOTES**

- 1 ADJACENT BUILDING: 2415 GREEN STREET
- 2 ADJACENT BUILDING: 2411 GREEN STREET
- 3 (N) EXTERIOR GUARD RAIL, 42" A.F.F., SEE NOTES, A2 SERIES
- 4 (N) EXTERIOR GUARD RAIL, 42" A.F.F.
- 5 (N) SKYLIGHT
- 6 (N) PLASTER
- 7 DASHED LINE INDICATES (N) T.O. ROOF RIDGE
- 8 (N) 1-HOUR PARTIAL HEIGHT WALL/GUARDRAIL ASSEMBLY 42" A.F.F.
- 9 APPROPRIATE AVERAGE SLOPE OF ADJACENT GRADE @ FRONT PROPERTY LINE, FOR REFERENCE ONLY
- 10 APPROPRIATE ELEVATION OF ADJACENT GRADE @ REAR YARD, FOR REFERENCE ONLY
- 11 APPROPRIATE BULKLINE OF ADJACENT GRADE @ 2415 GREEN STREET, FOR REFERENCE ONLY

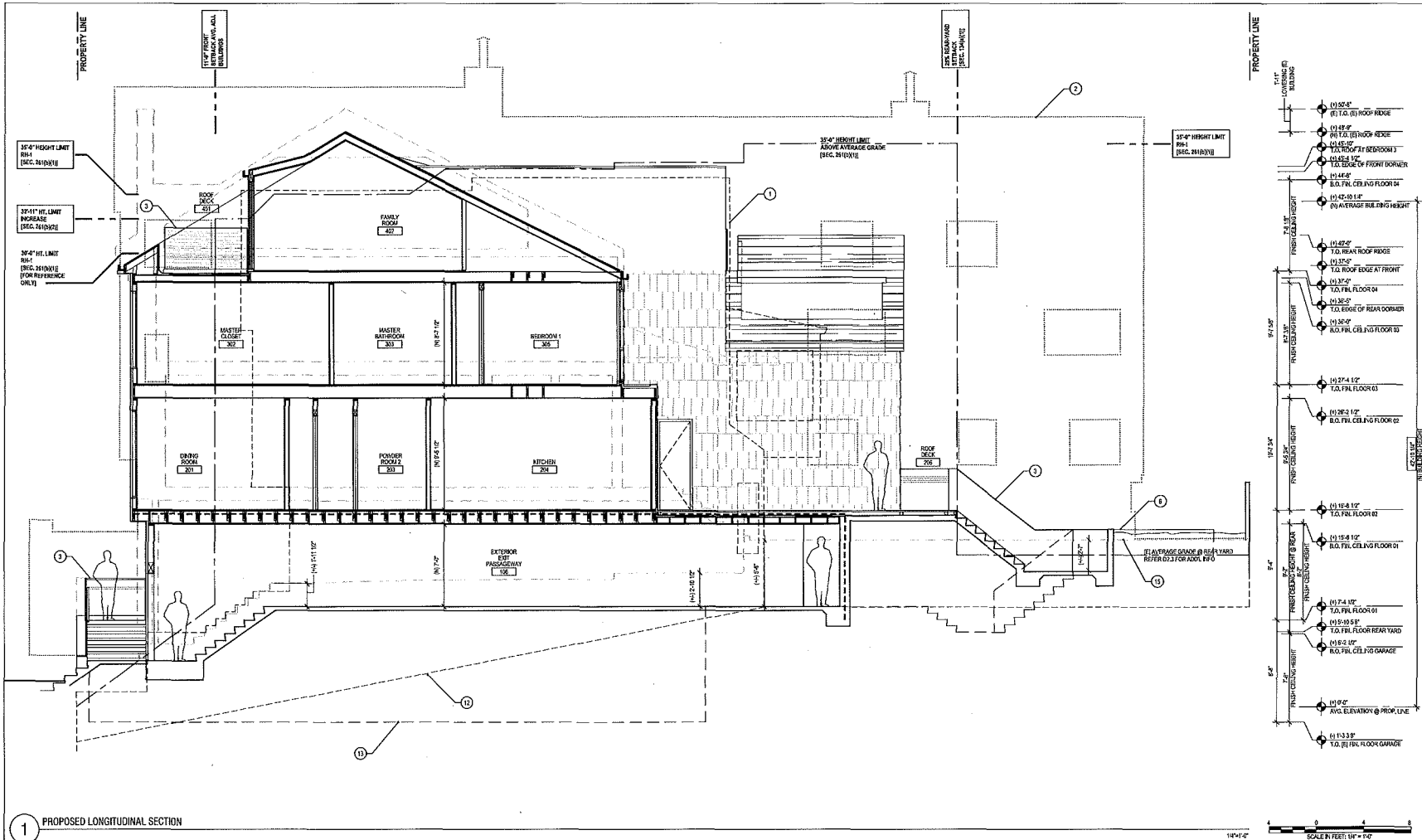
- 12 APPROPRIATE OUTLINE OF GRADE @ 2421 GREEN STREET, FOR REFERENCE ONLY
- 13 DASHED LINE INDICATES GARAGE PIT/FLOOR FINISHED FLOOR AND WALLS BEYOND
- 14 SLOPED CEILING UNDER STAIR, 1-HR FIRE-RESISTANT RATED
- 15 OUTLINE OF GRADE AT (E) REAR YARD, SHOWN FOR REFERENCE ONLY, REFER TO 12 FOR ADDL INFO
- 16 OUTLINE OF (E) GRADE AT FRONT PROPERTY LINE, SHOWN FOR REFERENCE ONLY, REFER TO 11 FOR ADDL INFO

**LINE LEGEND**

- (E) BUILDING, U.O.A.
- ADJACENT BUILDING BEYOND, U.O.A.
- ADJACENT BUILDING BEYOND, U.O.A.
- ADJACENT BUILDING IN FOREGROUND, U.O.A.
- HEIGHT LIMIT PER 15 SFGC SEC. 201.001(1), U.O.A.

Drawing Title:  
**PROPOSED SECTION**

Sheet Number:  
**A3.3**



1 PROPOSED LONGITUDINAL SECTION



GENERAL SECTIONS NOTES

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SECTION SHEET NOTES

- 1 ADJACENT BUILDING: 2415 GREEN STREET
- 2 ADJACENT BUILDING: 2421 GREEN STREET
- 3 EXTERIOR GUARD RAIL, 42" A.F.S., SEE NOTES, A2 SERIES
- 4 INTERIOR GUARD RAIL, 42" A.F.S.
- 5 SKYLIGHT
- 6 PLANTER
- 7 DASHED LINE INDICATES (E) T.O. ROOF RIDGE
- 8 1-1/4" HIGH PARTIAL HEIGHT WALL/GUARDRAIL, ASSEMBLY 42" A.F.S.
- 9 APPROXIMATE AVERAGE SLOPE OF ADJACENT GRADE @ FRONT PROPERTY LINE, FOR REFERENCE ONLY
- 10 APPROXIMATE ELEVATION OF ADJACENT GRADE @ REAR YARD, FOR REFERENCE ONLY
- 11 APPROXIMATE OUTLINE OF ADJACENT GRADE @ 2415 GREEN STREET, FOR REFERENCE ONLY

SECTION SHEET NOTES

- 12 APPROXIMATE OUTLINE OF GRADE @ 2421 GREEN STREET, FOR REFERENCE ONLY
- 13 DASHED LINE INDICATES GARAGE INTERIOR FINISHED FLOOR AND WALLS BEYOND
- 14 SLOPED CEILING UNDER STAIR, 1-1/4" FINISH ASSISTANCE RATED
- 15 OUTLINE OF GRADE AT (E) REAR YARD, SHOWN FOR REFERENCE ONLY, REFER TO 0.3 FOR ADJ. PFD
- 16 OUTLINE OF GRADE AT FRONT PROPERTY LINE, SHOWN FOR REFERENCE ONLY, REFER TO 1.1 FOR ADJ. PFD

LINE LEGEND

- (E) BUILDING U.O.M.
- ADJACENT BUILDING BOYDING U.O.M.
- ADJACENT BUILDING BOYDING U.O.M.
- ADJACENT BUILDING BOYDING U.O.M.
- HEIGHT LIMIT RM-1 SPPC SEC 2510(1), U.O.M.

**2417 GREEN STREET**  
 SAN FRANCISCO, CA 94123  
 BLOCK 0560 LOT 028

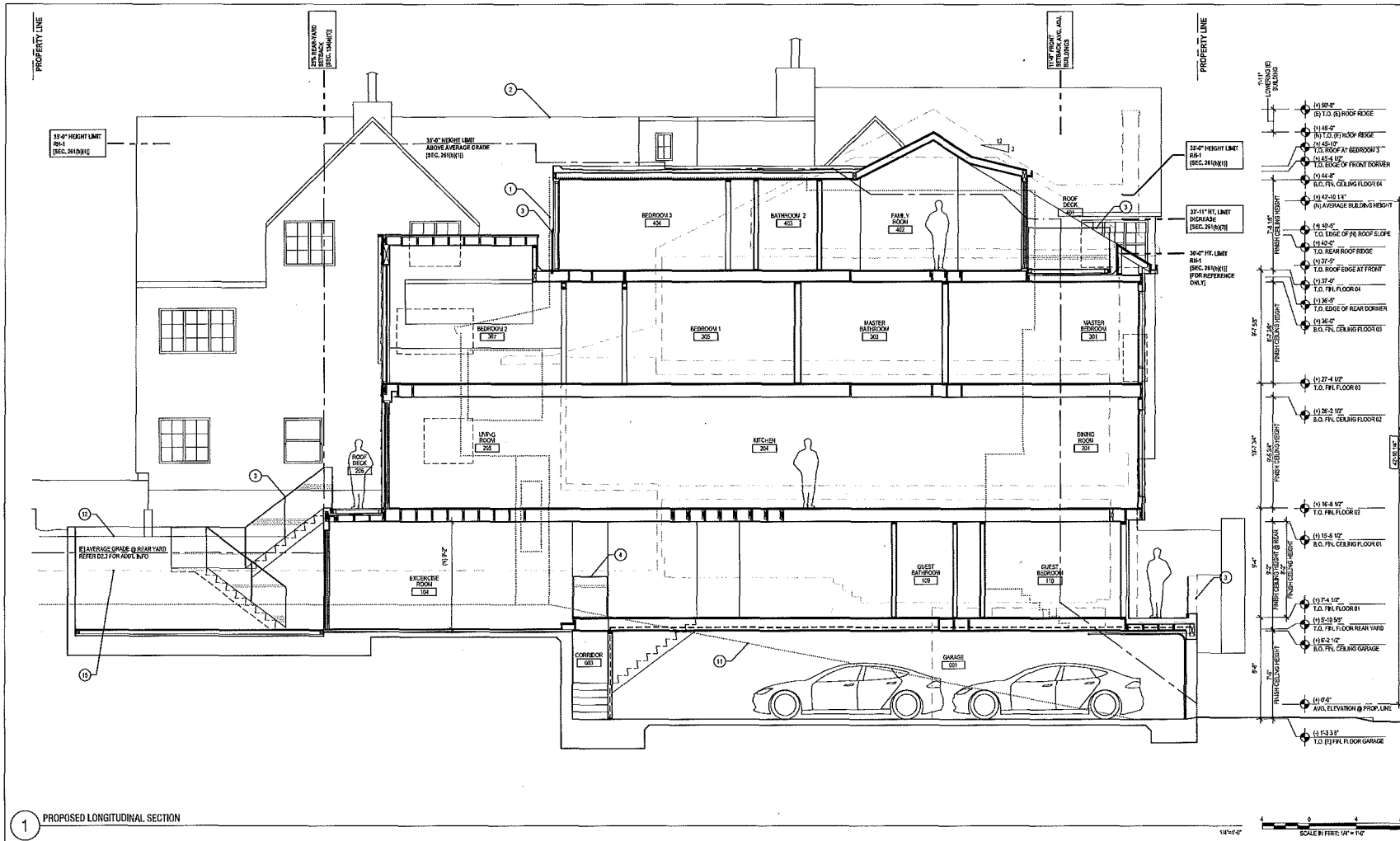
**DUMICAN MOSEY**  
 ARCHITECTS

128 10th Street, 3rd floor  
 San Francisco, California 94103  
 T: 415.455.9322 F: 415.651.0290

Job No.	16112
Issue	Date
ENVIRONMENTAL EVALUATION SET	02.12.17
PRE-APPLICATION PLAN REVIEW	02.24.17
PROJECT REVIEW MEETING SET	03.14.17
SITE PERMITTING NOTIFICATION SET	04.28.17

Proposed By: **PROPOSED SECTION**

Sheet Number: **A3.4**



# 2417 GREEN STREET

SAN FRANCISCO, CA 94123  
BLOCK 0580 LOT 028

**DUMICAN MOSEY**  
ARCHITECTS

128 10th Street, 3rd floor  
San Francisco, California 94103  
t: 415.495.9322 f: 415.651.9290

Job No.	18112
Issue	Date
ENVIRONMENTAL EVALUATION SET	02.10.17
PRELIMINARY FLOOR PLAN	02.24.17
REVIEW	02.24.17
PROJECT REVIEW	03.14.17
MEETING SET	03.14.17
SITE PERMIT/IT11	04.28.17
NOTIFICATION SET	04.28.17

1 PROPOSED LONGITUDINAL SECTION

**GENERAL SECTIONS NOTES**

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3. ALL DIMENSIONS ARE TO FACE OF FINISH, UNLESS OTHERWISE NOTED.

**SECTION SHEET NOTES**

- 1 ADJACENT BUILDING 2415 GREEN STREET
- 2 ADJACENT BUILDING 2417 GREEN STREET
- 3 IN EXTERIOR GARAGE RAIL, 4" A.F.F., SEE NOTE 5. AS SHOWN
- 4 IN EXTERIOR GARAGE RAIL, 4" A.F.F.
- 5 IN SLOUGHT
- 6 IN PLASTER
- 7 DASHED LINE INDICATES T.O. ROOF RIDGE
- 8 IN 1-HOUR PARTIAL HEIGHT WALL ASSEMBLY 4" A.F.F.
- 9 APPROXIMATE AVERTICAL SLOPE OF ADJACENT GRADE @ FRONT PROPERTY LINE, FOR REFERENCE ONLY
- 10 APPROXIMATE ELEVATION OF ADJACENT GRADE @ REAR YARD, FOR REFERENCE ONLY
- 11 APPROXIMATE OUTLINE OF ADJACENT GRADE @ 2415 GREEN STREET, FOR REFERENCE ONLY

- 12 APPROXIMATE OUTLINE OF GRADE @ 2417 GREEN STREET, FOR REFERENCE ONLY
- 13 DASHED LINE INDICATES GARAGE INTERIOR FLOOR SLAB AND WALLS BEYOND
- 14 SLOPED CEILING UNDER STAIR, 1-1/4" FINISH-RESISTANCE RATED
- 15 OUTLINE OF GRADE AT REAR YARD, SHOWN FOR REFERENCE ONLY, REFER DLS FOR ADJ. INFO
- 16 OUTLINE OF GRADE AT FRONT PROPERTY LINE, SHOWN FOR REFERENCE ONLY, REFER DLS FOR ADJ. INFO

**LINE LEGEND**

- (E) BUILDING, I.L.O.
- ADJACENT BUILDING BEYOND, I.L.O.
- ADJACENT BUILDING BEYOND, I.L.O.
- ADJACENT BUILDING IN FOREGROUND, I.L.O.
- HEIGHT LIMIT RH-1 SPEC. SEC. 24.10(b)(1), I.L.O.

Drawn by: **PROPOSED SECTION**

Drawn by: **A3.5**

# EXHIBIT B



**OFFICE OF HISTORIC PRESERVATION  
DEPARTMENT OF PARKS AND RECREATION**

1725 23<sup>rd</sup> Street, Suite 100  
SACRAMENTO, CA 95816-7100  
(916) 445-7000 Fax: (916) 445-7053  
calshpo@parks.ca.gov  
www.ohp.parks.ca.gov



September 13, 2017

VIA EMAIL

Lawrence B. Karp, Architect Carol L. Karp, Architect AIA Karp Architects 100 Tres Mesas Orinda, CA 94563	Philip Kaufman 2421 Green Street San Francisco, CA 94123
--	--

**Subject: Coxhead, Ernest, House  
Nomination to the National Register of Historic Places  
Second Request for Information (RFI\_2)**

Dear Mr. and Mrs. Karp:

Thank you for your revision of the **Ernest Coxhead House** nomination to the National Register of Historic Places. The property is clearly eligible for the National Register. Additional work is needed on the nomination to comply with the requirements of the National Park Service (NPS) in accordance with the instructions in *National Register Bulletin 15, How to Apply the National Register Criteria for Evaluation* (Bulletin 15) and *National Register Bulletin 16A, How to Complete the National Register Form* (Bulletin 16A), available online at <http://www.nps.gov/nr/publications/index.htm>.

The revision does not address many of the requests and suggestions made in the first Request for Information letter of April 26, 2017, sent to Kathryn Shaffer, original preparer of the nomination. Some of the issues discussed in subsequent emails with Ms. Shaffer were also not sufficiently addressed in the revision.

Formatting issues in the nomination have been corrected. An annotated copy of the nomination accompanies this letter. As further revisions are made, return the nomination electronically as a Word document. No further hard copies are needed. Please leave the yellow highlighting in place and disregard any awkward page breaks. We will resolve those during the next review.

Be sure to preserve all section breaks, as this safeguards proper formatting, and correct section and page identification in the footer. If the nomination including images is too large for your email, you may send it surface mail on a disk or jump drive, or via a file sharing system provided no password or registration is required.

Ernest Coxhead House  
RFI\_2 September 13, 2017  
Page 2 of 5

As indicated in Bulletin 16A,

Certain conventions and terms are used for documenting National Register properties. Although there may be other ways to classify resources, describe functions or architectural influences, or state the significance of properties, the standardized terminology and approaches adopted by the National Register program ensure nationwide consistency of National Register records. They also make the data in the National Register Information System (NRIS) more useful.

### **1. Name of Property**

#### *Historic name*

As previously advised, NPS does not use the term Residence. In the absence of documentation that definitively states Coxhead used the uppermost front room as a studio, it is appropriate to surmise or presume in the narrative as you have done. That presumption is not sufficient to include Studio in the property name. The historic name has been updated in Section 1 and the header to Coxhead, Ernest, House.

### **7. Description**

#### *Architectural Classification*

Category and subcategory have been updated using National Register terminology and formatting. Shingle Style is a subcategory of Late Victorian.

#### *Summary Paragraph*

The information has been restated as a single paragraph focused on a summary of the physical description. Physical details have been moved to the subsequent narrative. Matters of history or significance have been moved to the Statement of Significance. Identify the Cotswold features.

#### *Narrative Description*

Portions of the narrative were relocated. Section 7 is the narrative description, focused on the physical aspects of the building, including its appearance and condition at the time of nomination. This narrative needs to be written by the nomination preparer, specifically for this section. For a property nominated in the area of Architecture, extensive citations from scholarly publications, particularly from several years ago, are more pertinent to the Section 8 Statement of Significance.

Review Bulletin 16A, particularly "Writing an Architectural Description" and "Guidelines for Describing Properties." Per Bulletin 16A, "Organize the information in a logical manner, for example, by describing a building from the foundation up and from the exterior to the interior." Additional information is needed for both the exterior and the interior.

Provide additional details regarding alterations, including dates. Expand on the integrity subsection to address all seven aspects.

See additional notes in the body of the nomination.

#### **8. Statement of Significance**

##### *Period of Significance; Significant Dates*

From Bulletin 16A,

**Criterion C:** For architecturally significant properties, the period of significance is the date of construction and/or the dates of any significant alterations and additions.

The period of significance has been updated to 1893. Significant dates must be within the period of significance, so the significant date has also been updated to 1893.

##### *Statement of Significance Summary Paragraph*

As with the Section 7 Summary Paragraph, content has been restated as a single paragraph to summarize the property's significance, with details relocated to the subsequent narrative.

##### *Narrative Statement of Significance*

Citations from Section 7 were relocated as appropriate. Abbreviated notes were expanded into footnotes per *The Chicago Manual of Style*.

See additional notes in the body of the nomination.

#### **9. Major Bibliographical References**

##### *Bibliography*

Provide missing access dates for electronic sources as indicated.

#### **Additional Documentation**

##### *Photo Log*

As requested in the instructions, indicate direction of camera where highlighted.

##### *Photos; Figures*

The number of photographs and figures is inordinately high for a single house. Many of the images are similar, and some of the color figures reproduced from other sources are repetitive of the photographs. Photographs are required; figures are optional. As noted in the NPS Photo Policy Fact Sheet,

The necessary number of photographic views depends on the size and complexity of the property. **Submit as many photographs as needed to depict**

**the current condition and significant features of the property.** A few photographs may be sufficient to document a single building or object. Larger, more complex properties and historic districts will require a number of photos. Prints of historic photographs may supplement documentation and be particularly useful in illustrating changes that have occurred over time.

Based on the minimal alterations and retention of integrity as presented in Section 7, there is limited change to be illustrated.

Consider which photos and figures are most pertinent to the nomination. You are strongly encouraged to remove some of the others. Renumber photos and figures as necessary, updating narrative references and the Photo Key accordingly.

As indicated on the National Register Checklist for Submission <http://ohp.parks.ca.gov/pages/1056/files/NRHP%20Checklist%20for%20Submission%202017.pdf>, provide a single set of color prints, and the digital photo files in TIFF format.

The copyright statement has been removed. The document associated with the copyright was based in large part on research and documentation previously submitted by another author, and has been further edited by California State Office of Historic Preservation staff. Copyright statements are not part of the nomination form, and nominations are not normally copyrighted when submitted. Information about the National Register of Historic Places Program: Content and Copyright is available at [https://www.nps.gov/nr/content\\_copyright.htm](https://www.nps.gov/nr/content_copyright.htm).

#### *Sketch Map/Photo Key*

Increase the font size for legibility. Only the number is necessary. For additional clarity, and to allow for a larger font size, the word "photo" and the "#" could be removed.

See additional notes in the body of the nomination.

#### **Sample Nominations for Guidance**

As previously recommended, past nominations presented to the State Historical Resources Commission are available for review as guides, on the Commission webpages at Actions (Taken) [www.ohp.parks.ca.gov/actionstaken](http://www.ohp.parks.ca.gov/actionstaken), and within 60 days of a meeting at Pending Nominations [www.ohp.parks.ca.gov/pending](http://www.ohp.parks.ca.gov/pending).

The following five nominations were recommended as strong examples. In all cases, they are the result of several rounds of review and revision.

Ernest Coxhead House  
RFI\_2 September 13, 2017  
Page 5 of 5

Actions Taken May 2017

Robert J. Dunn House

[http://ohp.parks.ca.gov/pages/1067/files/CA\\_San%20Bernardino%20County\\_Robert%20OJ.%20Dunn%20House\\_Nom.pdf](http://ohp.parks.ca.gov/pages/1067/files/CA_San%20Bernardino%20County_Robert%20OJ.%20Dunn%20House_Nom.pdf)

Actions Taken July 2016

Hamrick House

[http://ohp.parks.ca.gov/pages/1067/files/ca\\_riverside%20county\\_hamrick%20house.pdf](http://ohp.parks.ca.gov/pages/1067/files/ca_riverside%20county_hamrick%20house.pdf)

Walker House

[http://ohp.parks.ca.gov/pages/1067/files/ca\\_monterey%20county\\_mrs.%20clinton%20walker%20house.pdf](http://ohp.parks.ca.gov/pages/1067/files/ca_monterey%20county_mrs.%20clinton%20walker%20house.pdf)

Actions Taken January 2016

Dr. Franz Alexander Residence (listed as Dr. Franz Alexander House)

[http://ohp.parks.ca.gov/pages/1067/files/ca\\_riverside%20county\\_franz%20alexander%20residence.pdf](http://ohp.parks.ca.gov/pages/1067/files/ca_riverside%20county_franz%20alexander%20residence.pdf)

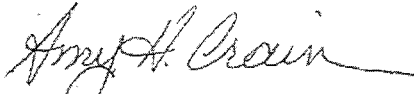
Whifler House

[http://ohp.parks.ca.gov/pages/1067/files/ca\\_san%20mateo%20county\\_william%20a%20whifler%20house.pdf](http://ohp.parks.ca.gov/pages/1067/files/ca_san%20mateo%20county_william%20a%20whifler%20house.pdf)

#### Next Steps

Take the time you need to answer these questions and revise the nomination accordingly. There are no deadlines. The review process will continue until we determine the nomination is ready for consideration by the State Historical Resources Commission. Thank you for your attention to these many details. If you have questions, contact me at [amy.crain@parks.ca.gov](mailto:amy.crain@parks.ca.gov).

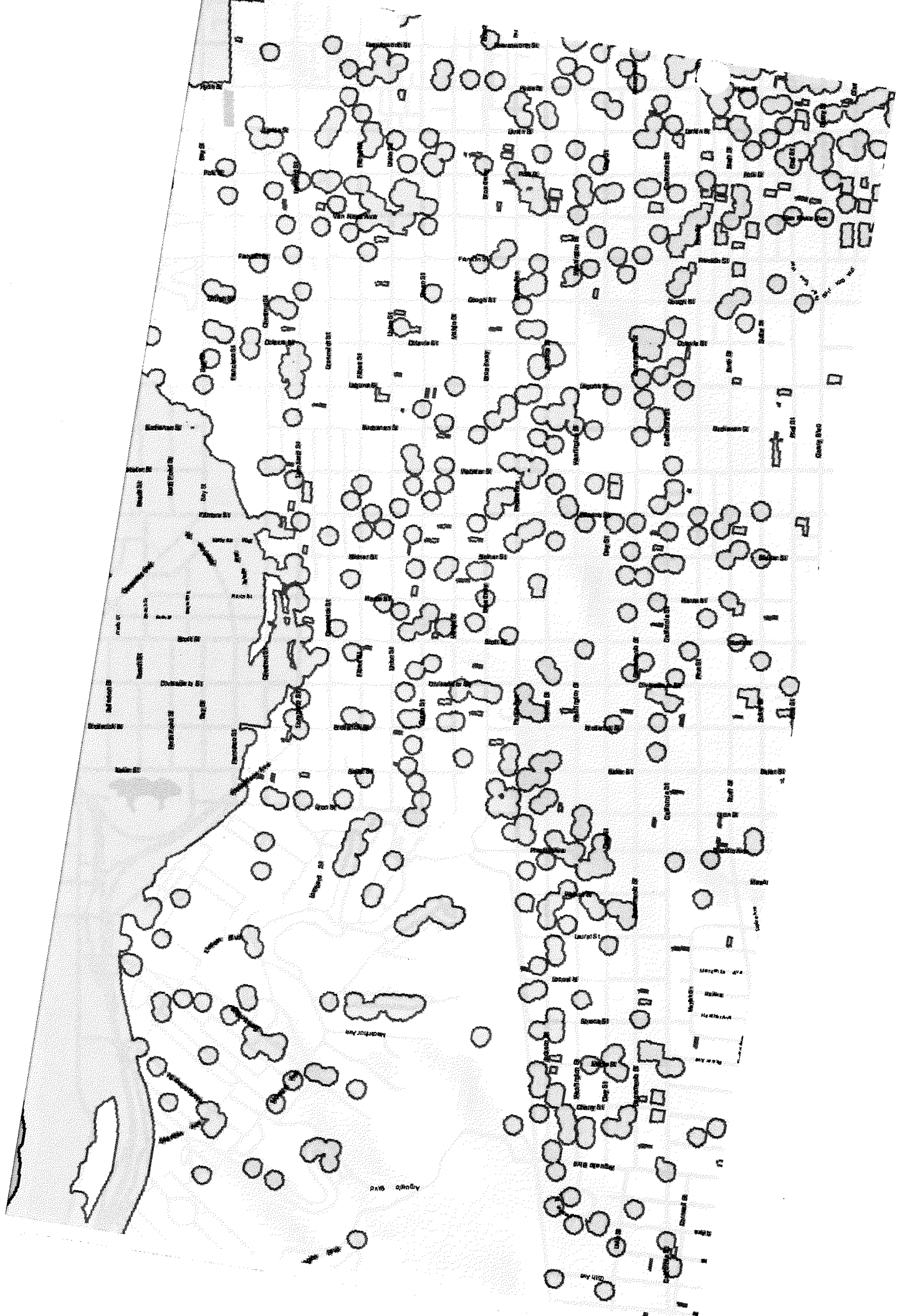
Sincerely,



Amy H. Crain  
State Historian II

Enclosure

# EXHIBIT C



# EXHIBIT D



# APPLICATION FOR Environmental Evaluation

## 1. Owner/Applicant Information

PROPERTY OWNER'S NAME: 2417 Green Street, LLC	
PROPERTY OWNER'S ADDRESS: 474 Euclid Ave, San Francisco, CA 94118	TELEPHONE: (415 ) 407-0486
	EMAIL: chris@durkinincorporated.com

APPLICANT'S NAME, COMPANY/ORGANIZATION (IF APPLICABLE): Dumican Mosey Architects <span style="float: right;">Same as Above <input type="checkbox"/></span>	
APPLICANT'S ADDRESS: 128 10th Street, 3rd Floor, San Francisco, CA 94103	TELEPHONE: (415 ) 495-9322
	EMAIL: Edumican@dumicanmosey.com

CONTACT FOR PROJECT INFORMATION: Eric Dumican <span style="float: right;">Same as Above <input type="checkbox"/></span>	
ADDRESS: 128 10th Street, 3rd Floor, San Francisco, CA 94103	TELEPHONE: (415 ) 495-9322
	EMAIL: edumican@dumicanmosey.com

## 2. Location and Classification

STREET ADDRESS OF PROJECT: 2417 Green Street	ZIP CODE: 94107
CROSS STREETS: Pierce & Scott St	

ASSESSORS BLOCK/LOT: 0560 / 028	LOT DIMENSIONS: 25'x100'	LOT AREA (SQ FT): 2500 sq.ft.	ZONING DISTRICT: RH-1	HEIGHT/BULK DISTRICT: 40-X
COMMUNITY PLAN AREA (IF ANY): n/a				

## 3. Project Description

( Please check all that apply ) <input type="checkbox"/> Change of Use <input type="checkbox"/> Change of Hours <input type="checkbox"/> New Construction <input checked="" type="checkbox"/> Alterations <input type="checkbox"/> Demolition <input type="checkbox"/> Other Please clarify: _____	<b>ADDITIONS TO BUILDING:</b> <input checked="" type="checkbox"/> Rear <input type="checkbox"/> Front <input type="checkbox"/> Height <input type="checkbox"/> Side Yard	<b>PRESENT OR PREVIOUS USE:</b> Single Family Residence
		<b>PROPOSED USE:</b> Single Family Residence
		BUILDING APPLICATION PERMIT NO.: _____ DATE FILED: _____

#### 4. Project Summary Table

If you are not sure of the eventual size of the project, provide the maximum estimates.

	EXISTING USES:	EXISTING USES TO BE RETAINED:	NET NEW CONSTRUCTION AND/OR ADDITION:	PROJECT TOTALS:
<b>PROJECT FEATURES</b>				
Dwelling Units	1	1	0	1
Hotel Rooms	0	0	0	0
Parking Spaces	1	1	2	3
Loading Spaces	0	0	0	0
Number of Buildings	1	1	1	1
Height of Building(s)	+/- 50'-8"	+/- 48'-9"	- 1'-11"	+/- 48'-9"
Number of Stories	4	4	0	4
Bicycle Spaces	0	0	1	1
<b>GROSS SQUARE FOOTAGE (GSF)</b>				
Residential	+/- 4,165	+/- 4,165	+/- 943	+/- 5,108
Retail	0	0	0	0
Office	0	0	0	0
Industrial	0	0	0	0
PDR Production, Distribution, & Repair	0	0	0	0
Parking	+/- 337	+/- 337	+/- 658	+/- 995
Other ( )				
Other ( )				
Other ( )				
<b>TOTAL GSF</b>	<b>+/- 4,502</b>	<b>+/- 4,502</b>	<b>+/- 1,481</b>	<b>+/- 6,103</b>

Please provide a narrative project description that summarizes the project and its purpose or describe any additional features that are not included in this table. Please list any special authorizations or changes to the Planning Code or Zoning Maps if applicable. **THIS SECTION MUST BE COMPLETED.**

5. Environmental Evaluation Project Information

1. **Would the project involve a major alteration of a structure constructed 45 or more years ago or a structure in a historic district?**  YES  NO

If yes, submit the *Supplemental Information for Historic Resource Evaluation* application.

2. **Would the project involve demolition of a structure constructed 45 or more years ago or a structure located in a historic district?**  YES  NO

If yes, a historic resource evaluation (HRE) report will be required. The scope of the HRE will be determined in consultation with Preservation Planning staff.

3. **Would the project result in excavation or soil disturbance/modification?**  YES  NO

If yes, please provide the following:

Depth of excavation/disturbance below grade (in feet): 13' (H.P.)

Area of excavation/disturbance (in square feet): 800 sq.ft.

Amount of excavation (in cubic yards): 408 cu.yd.

Type of foundation to be used (if known) and/or other information regarding excavation or soil disturbance modification:

Type of foundation to be determined. Most likely to be spread footing or mat slab foundation

*Note: A geotechnical report prepared by a qualified professional must be submitted if one of the following thresholds apply to the project:*

- *The project involves a lot split located on a slope equal to or greater than 20 percent.*
- *The project is located in a seismic hazard landslide zone or on a lot with a slope average equal to or greater than 20 percent and involves either*
  - *excavation of 50 or more cubic yards of soil, or*
  - *building expansion greater than 1,000 square feet outside of the existing building footprint.*

*A geotechnical report may also be required for other circumstances as determined by Environmental Planning staff.*

- 4a. **Would the project involve any of the following: (1) the construction of a new building; (2) the addition of a dwelling unit; (3) the addition of a new curb-cut; (4) the addition of a garage; and/or (5) a net addition to an existing building of 500 gross square feet or more?**  YES  NO

*If yes, you will need to comply with the tree planting regulations of Public Works Code Section 806 prior to receiving a building permit.*

- 4b. Does the project include the removal or addition of trees on, over, or adjacent to the project site?**  YES  NO

If yes, please answer the following questions:

Number of trees on, over, or adjacent to the project site: \_\_\_\_\_

Number of trees on, over, or adjacent to the project site that would be removed by the project (see Public Works Code Article 16 for definitions of removal, significant, landmark, and street trees):

Significant trees: \_\_\_\_\_

Landmark trees: \_\_\_\_\_

Street trees: \_\_\_\_\_

Number of trees on, over, or adjacent to the project site that would be added by the project: \_\_\_\_\_

- 5. Would the project result in any construction over 40 feet in height?**  YES  NO

If yes, please submit a *Shadow Analysis Application*. This application should be filed at the PIC and should not be included with the Environmental Evaluation Application. (If the project already underwent Preliminary Project Assessment, this application may not be needed. Please refer to the shadow discussion in the PPA letter.)

- 6. Would the project result in a construction of a structure 80 feet or higher?**  YES  NO

If yes, an initial review by a wind expert, including a recommendation as to whether a wind analysis is needed, may be required, as determined by Planning staff. (If the project already underwent Preliminary Project Assessment, please refer to the wind discussion in the PPA letter.)

- 7. Would the project involve work on a site with an existing or former gas station, auto repair, dry cleaners, or heavy manufacturing use, or a site with underground storage tanks?**  YES  NO

If yes, please submit a Phase I Environmental Site Assessment (ESA) prepared by a qualified consultant. If the project is subject to Health Code Article 22A, Planning staff will refer the project sponsor to the Department of Public Health for enrollment in DPH's Maher program.

- 8. Would the project require any variances, special authorizations, or changes to the Planning Code or Zoning Maps?**  YES  NO

If yes, please describe.

- 9. Is the project related to a larger project, series of projects, or program?**  YES  NO

If yes, please describe.

# Estimated Construction Costs

TYPE OF APPLICATION:

Site Permit

OCCUPANCY CLASSIFICATION:

R-3 / U

BUILDING TYPE:

V-B

TOTAL GROSS SQUARE FEET OF CONSTRUCTION:

(+/-) 6,103 GSF

BY PROPOSED USES:

Habitable: (+/-) 5,108 GSF

Garage: (+/-) 995 GSF

ESTIMATED CONSTRUCTION COST:

\$100,000.00

ESTIMATE PREPARED BY:

2417 Green Street, LLC

FEE ESTABLISHED:

## Applicant's Affidavit

Under penalty of perjury the following declarations are made:

- a: The undersigned is the owner or authorized agent of the owner of this property.
- b: The information presented is true and correct to the best of my knowledge.
- c: Other information or applications may be required.

Signature:



Date: 02/14/17

Print name, and indicate whether owner, or authorized agent:

Eric Dumican

Owner  Authorized Agent  (circle one)

# Environmental Evaluation Application Submittal Checklist

APPLICATION MATERIALS	PROVIDED	NOT APPLICABLE
Two (2) originals of this application signed by owner or agent, with all blanks filled in.	<input checked="" type="checkbox"/>	
Two (2) hard copy sets of project drawings in 11" x 17" format showing existing and proposed site plans with structures on the subject property and on immediately adjoining properties, and existing and proposed floor plans, elevations, and sections of the proposed project.	<input checked="" type="checkbox"/>	
One (1) CD containing the application and project drawings and any other submittal materials that are available electronically. (e.g., geotechnical report)	<input checked="" type="checkbox"/>	
Photos of the project site and its immediate vicinity, with viewpoints labeled.	<input checked="" type="checkbox"/>	
Check payable to San Francisco Planning Department.	<input checked="" type="checkbox"/>	
Letter of authorization for agent.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
<i>Supplemental Information for Historic Resource Evaluation</i> , as indicated in Part 5 Question 1.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Two (2) hard copies of the <i>Historic Resource Evaluation</i> , as indicated in Part 5 Question 2.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Geotechnical report, as indicated in Part 5 Question 3.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Phase I Environmental Site Assessment, as indicated in Part 5 Question 7.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Additional studies (list).	<input type="checkbox"/>	<input checked="" type="checkbox"/>

For Department Use Only

Application received by Planning Department:

By: \_\_\_\_\_

Date: \_\_\_\_\_

FOR MORE INFORMATION:  
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No appointment is necessary.*

# EXHIBIT D

# APPLICATION FOR Environmental Evaluation

## 1. Owner/Applicant Information

PROPERTY OWNER'S NAME: <b>2417 Green Street, LLC</b>	
PROPERTY OWNER'S ADDRESS: <b>474 Euclid Ave, San Francisco, CA 94118</b>	TELEPHONE: <b>(415 ) 407-0486</b>
	EMAIL: <b>chris@durkinincorporated.com</b>

APPLICANT'S NAME, COMPANY/ORGANIZATION (IF APPLICABLE): <b>Dumican Mosey Architects</b> <span style="float: right;">Same as Above <input type="checkbox"/></span>	
APPLICANT'S ADDRESS: <b>128 10th Street, 3rd Floor, San Francisco, CA 94103</b>	TELEPHONE: <b>(415 ) 495-9322</b>
	EMAIL: <b>Edumican@dumicanmosey.com</b>

CONTACT FOR PROJECT INFORMATION: <b>Eric Dumican</b> <span style="float: right;">Same as Above <input type="checkbox"/></span>	
ADDRESS: <b>128 10th Street, 3rd Floor, San Francisco, CA 94103</b>	TELEPHONE: <b>(415 ) 495-9322</b>
	EMAIL: <b>edumican@dumicanmosey.com</b>

## 2. Location and Classification

STREET ADDRESS OF PROJECT: <b>2417 Green Street</b>	ZIP CODE: <b>94107</b>
CROSS STREETS: <b>Pierce &amp; Scott St</b>	

ASSESSORS BLOCK/LOT: <b>0560 / 028</b>	LOT DIMENSIONS: <b>25'x100'</b>	LOT AREA (SQ FT): <b>2500 sq.ft.</b>	ZONING DISTRICT: <b>RH-1</b>	HEIGHT/BULK DISTRICT: <b>40-X</b>
COMMUNITY PLAN AREA (IF ANY): <b>n/a</b>				

## 3. Project Description

( Please check all that apply ) <input type="checkbox"/> Change of Use <input type="checkbox"/> Change of Hours <input type="checkbox"/> New Construction <input checked="" type="checkbox"/> Alterations <input type="checkbox"/> Demolition <input type="checkbox"/> Other Please clarify: _____	<b>ADDITIONS TO BUILDING:</b> <input checked="" type="checkbox"/> Rear <input type="checkbox"/> Front <input type="checkbox"/> Height <input type="checkbox"/> Side Yard	PRESENT OR PREVIOUS USE: <b>Single Family Residence</b>
		PROPOSED USE: <b>Single Family Residence</b>
		BUILDING APPLICATION PERMIT NO.:



4. Project Summary Table

If you are not sure of the eventual size of the project, provide the maximum estimates.

	EXISTING USES:	EXISTING USES TO BE RETAINED:	NET NEW CONSTRUCTION AND/OR ADDITION:	PROJECT TOTALS:
<b>PROJECT FEATURES</b>				
Dwelling Units	1	1	0	1
Hotel Rooms	0	0	0	0
Parking Spaces	1	1	2	3
Loading Spaces	0	0	0	0
Number of Buildings	1	1	1	1
Height of Building(s)	+/- 50'-8"	+/- 48'-9"	- 1'-11"	+/- 48'-9"
Number of Stories	4	4	0	4
Bicycle Spaces	0	0	1	1
<b>GROSS SQUARE FOOTAGE (GSF)</b>				
Residential	+/- 4,165	+/- 4,165	+/- 943	+/- 5,108
Retail	0	0	0	0
Office	0	0	0	0
Industrial	0	0	0	0
PDR Production, Distribution, & Repair	0	0	0	0
Parking	+/- 337	+/- 337	+/- 658	+/- 995
Other ( )				
Other ( )				
Other ( )				
<b>TOTAL GSF</b>	<b>+/- 4,502</b>	<b>+/- 4,502</b>	<b>+/- 1,481</b>	<b>+/- 6,103</b>

Please provide a narrative project description that summarizes the project and its purpose or describe any additional features that are not included in this table. Please list any special authorizations or changes to the Planning Code or Zoning Maps if applicable. **THIS SECTION MUST BE COMPLETED.**

5. Environmental Evaluation Project Information

1. **Would the project involve a major alteration of a structure constructed 45 or more years ago or a structure in a historic district?**  YES  NO

If yes, submit the *Supplemental Information for Historic Resource Evaluation* application.

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Amount of excavation (in cubic yards): 408 cu.yd.

Type of foundation to be used (if known) and/or other information regarding excavation or soil disturbance modification:

Type of foundation to be determined. Most likely to be spread footing or mat slab foundation

*Note: A geotechnical report prepared by a qualified professional must be submitted if one of the following thresholds apply to the project:*

- *The project involves a lot split located on a slope equal to or greater than 20 percent.*
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  - *excavation of 50 or more cubic yards of soil, or*
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*If yes, you will need to comply with the tree planting regulations of Public Works Code Section 806 prior to receiving a building permit.*

**4b. Does the project include the removal or addition of trees on, over, or adjacent to the project site?**  YES  NO

If yes, please answer the following questions:

Number of trees on, over, or adjacent to the project site: \_\_\_\_\_

Number of trees on, over, or adjacent to the project site that would be removed by the project (see Public Works Code Article 16 for definitions of removal, significant, landmark, and street trees):

Significant trees: \_\_\_\_\_

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Street trees: \_\_\_\_\_

Number of trees on, over, or adjacent to the project site that would be added by the project: \_\_\_\_\_

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If yes, please submit a *Shadow Analysis Application*. This application should be filed at the PIC and should not be included with the Environmental Evaluation Application. (If the project already underwent Preliminary Project Assessment, this application may not be needed. Please refer to the shadow discussion in the PPA letter.)

**6. Would the project result in a construction of a structure 80 feet or higher?**  YES  NO

If yes, an initial review by a wind expert, including a recommendation as to whether a wind analysis is needed, may be required, as determined by Planning staff. (If the project already underwent Preliminary Project Assessment, please refer to the wind discussion in the PPA letter.)

**7. Would the project involve work on a site with an existing or former gas station, auto repair, dry cleaners, or heavy manufacturing use, or a site with underground storage tanks?**  YES  NO

If yes, please submit a Phase I Environmental Site Assessment (ESA) prepared by a qualified consultant. If the project is subject to Health Code Article 22A, Planning staff will refer the project sponsor to the Department of Public Health for enrollment in DPH's Maher program.

**8. Would the project require any variances, special authorizations, or changes to the Planning Code or Zoning Maps?**  YES  NO

If yes, please describe.

**9. Is the project related to a larger project, series of projects, or program?**  YES  NO

If yes, please describe.

# Estimated Construction Costs

TYPE OF APPLICATION:

Site Permit

OCCUPANCY CLASSIFICATION:

R-3 / U

BUILDING TYPE:

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TOTAL GROSS SQUARE FEET OF CONSTRUCTION:

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BY PROPOSED USES:

Habitable: (+/-) 5,108 GSF

Garage: (+/-) 995 GSF

ESTIMATED CONSTRUCTION COST:

\$100,000.00

ESTIMATE PREPARED BY:

2417 Green Street, LLC

FEE ESTABLISHED:

## Applicant's Affidavit

Under penalty of perjury the following declarations are made:

- a: The undersigned is the owner or authorized agent of the owner of this property.
- b: The information presented is true and correct to the best of my knowledge.
- c: Other information or applications may be required.

Signature:



Date:

02/14/17

Print name, and indicate whether owner, or authorized agent:

Eric Dumican

Owner  Authorized Agent  (circle one)

# Environmental Evaluation Application Submittal Checklist

APPLICATION MATERIALS	PROVIDED	NOT APPLICABLE
Two (2) originals of this application signed by owner or agent, with all blanks filled in.	<input checked="" type="checkbox"/>	
Two (2) hard copy sets of project drawings in 11" x 17" format showing existing and proposed site plans with structures on the subject property and on immediately adjoining properties, and existing and proposed floor plans, elevations, and sections of the proposed project.	<input checked="" type="checkbox"/>	
One (1) CD containing the application and project drawings and any other submittal materials that are available electronically. (e.g., geotechnical report)	<input checked="" type="checkbox"/>	
Photos of the project site and its immediate vicinity, with viewpoints labeled.	<input checked="" type="checkbox"/>	
Check payable to San Francisco Planning Department.	<input checked="" type="checkbox"/>	
Letter of authorization for agent.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
<i>Supplemental Information for Historic Resource Evaluation</i> , as indicated in Part 5 Question 1.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Two (2) hard copies of the <i>Historic Resource Evaluation</i> , as indicated in Part 5 Question 2.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Geotechnical report, as indicated in Part 5 Question 3.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Phase I Environmental Site Assessment, as indicated in Part 5 Question 7.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Additional studies (list).	<input type="checkbox"/>	<input checked="" type="checkbox"/>

For Department Use Only

Application received by Planning Department:

By: \_\_\_\_\_

Date: \_\_\_\_\_

FOR MORE INFORMATION:  
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# EXHIBIT E



# SAN FRANCISCO PLANNING DEPARTMENT

## CEQA Categorical Exemption Determination

### PROPERTY INFORMATION/PROJECT DESCRIPTION

Project Address		Block/Lot(s)	
2417 Green Street		0560/028	
Case No.	Permit No.	Plans Dated	
2017-002545ENV		2/10/2017	
<input checked="" type="checkbox"/> Addition/ Alteration	<input type="checkbox"/> Demolition (requires HRER if over 45 years old)	<input type="checkbox"/> New Construction	<input type="checkbox"/> Project Modification (GO TO STEP 7)
Project description for Planning Department approval.			
Alterations to an existing four-story-over-basement single-family residence with one vehicle parking space. Excavate to add two vehicle parking spaces. Three-story rear addition. Facade alterations and foundation replacement. Lower existing building.			

### STEP 1: EXEMPTION CLASS

#### TO BE COMPLETED BY PROJECT PLANNER

<b>*Note: If neither class applies, an <i>Environmental Evaluation Application</i> is required.*</b>	
<input checked="" type="checkbox"/>	<b>Class 1 – Existing Facilities.</b> Interior and exterior alterations; additions under 10,000 sq. ft.
<input type="checkbox"/>	<b>Class 3 – New Construction/ Conversion of Small Structures.</b> Up to three (3) new single-family residences or six (6) dwelling units in one building; commercial/office structures; utility extensions; .; change of use under 10,000 sq. ft. if principally permitted or with a CU. Change of use under 10,000 sq. ft. if principally permitted or with a CU.
<input type="checkbox"/>	<b>Class</b> _____

### STEP 2: CEQA IMPACTS

#### TO BE COMPLETED BY PROJECT PLANNER

<b>If any box is checked below, an <i>Environmental Evaluation Application</i> is required.</b>	
<input type="checkbox"/>	<b>Air Quality:</b> Would the project add new sensitive receptors (specifically, schools, day care facilities, hospitals, residential dwellings, and senior-care facilities) within an Air Pollution Exposure Zone? Does the project have the potential to emit substantial pollutant concentrations (e.g., backup diesel generators, heavy industry, diesel trucks)? <i>Exceptions: do not check box if the applicant presents documentation of enrollment in the San Francisco Department of Public Health (DPH) Article 38 program and the project would not have the potential to emit substantial pollutant concentrations. (refer to EP_ArcMap &gt; CEQA Catex Determination Layers &gt; Air Pollutant Exposure Zone)</i>
<input checked="" type="checkbox"/>	<b>Hazardous Materials:</b> If the project site is located on the Maher map or is suspected of containing hazardous materials (based on a previous use such as gas station, auto repair, dry cleaners, or heavy manufacturing, or a site with underground storage tanks): Would the project involve 50 cubic yards or more of soil disturbance - or a change of use from industrial to residential? If yes, this box must be checked and the project applicant must submit an Environmental Application with a Phase I Environmental Site Assessment. <i>Exceptions: do not check box if the applicant presents documentation of enrollment in the San Francisco Department of Public Health (DPH) Maher program, a DPH waiver from the</i>

	<i>Maher program, or other documentation from Environmental Planning staff that hazardous material effects would be less than significant (refer to EP_ArcMap &gt; Maher layer).</i>
<input type="checkbox"/>	<b>Transportation:</b> Does the project create six (6) or more net new parking spaces or residential units? Does the project have the potential to adversely affect transit, pedestrian and/or bicycle safety (hazards) or the adequacy of nearby transit, pedestrian and/or bicycle facilities?
<input checked="" type="checkbox"/>	<b>Archeological Resources:</b> Would the project result in soil disturbance/modification greater than two (2) feet below grade in an archeological sensitive area or eight (8) feet in a non-archeological sensitive area? (refer to EP_ArcMap > CEQA Catex Determination Layers > Archeological Sensitive Area)
<input type="checkbox"/>	<b>Subdivision/Lot Line Adjustment:</b> Does the project site involve a subdivision or lot line adjustment on a lot with a slope average of 20% or more? (refer to EP_ArcMap > CEQA Catex Determination Layers > Topography)
<input checked="" type="checkbox"/>	<b>Slope = or &gt; 20%:</b> Does the project involve any of the following: (1) square footage expansion greater than 1,000 sq. ft. outside of the existing building footprint, (2) excavation of 50 cubic yards or more of soil, (3) new construction? (refer to EP_ArcMap > CEQA Catex Determination Layers > Topography) <b>If box is checked, a geotechnical report is required.</b>
<input type="checkbox"/>	<b>Seismic: Landslide Zone:</b> Does the project involve any of the following: (1) square footage expansion greater than 1,000 sq. ft. outside of the existing building footprint, (2) excavation of 50 cubic yards or more of soil, (3) new construction? (refer to EP_ArcMap > CEQA Catex Determination Layers > Seismic Hazard Zones) <b>If box is checked, a geotechnical report is required.</b>
<input type="checkbox"/>	<b>Seismic: Liquefaction Zone:</b> Does the project involve any of the following: (1) square footage expansion greater than 1,000 sq. ft. outside of the existing building footprint, (2) excavation of 50 cubic yards or more of soil, (3) new construction? (refer to EP_ArcMap > CEQA Catex Determination Layers > Seismic Hazard Zones) <b>If box is checked, a geotechnical report will likely be required.</b>
<b>If no boxes are checked above, GO TO STEP 3. If one or more boxes are checked above, an <u>Environmental Evaluation Application</u> is required, unless reviewed by an <u>Environmental Planner</u>.</b>	
<input type="checkbox"/>	<b>Project can proceed with categorical exemption review. The project does not trigger any of the CEQA impacts listed above.</b>
<b>Comments and Planner Signature (optional):</b> Jean Poling <small>Digitally signed by Jean Poling Date: 2017.03.20 16:45:48 -07'00'</small>  No archeological effects. Sponsor enrolled in DPH Maher program. Project will follow recommendations of 1/12/17 Divis Consulting preliminary geotechnical report.	

**STEP 3: PROPERTY STATUS – HISTORIC RESOURCE  
TO BE COMPLETED BY PROJECT PLANNER**

<b>PROPERTY IS ONE OF THE FOLLOWING:</b> (refer to Parcel Information Map)	
<input type="checkbox"/>	<b>Category A:</b> Known Historical Resource. <b>GO TO STEP 5.</b>
<input checked="" type="checkbox"/>	<b>Category B:</b> Potential Historical Resource (over 45 years of age). <b>GO TO STEP 4.</b>
<input type="checkbox"/>	<b>Category C:</b> Not a Historical Resource or Not Age Eligible (under 45 years of age). <b>GO TO STEP 6.</b>



**STEP 4: PROPOSED WORK CHECKLIST**  
**TO BE COMPLETED BY PROJECT PLANNER**

<b>Check all that apply to the project.</b>	
<input type="checkbox"/>	1. <b>Change of use and new construction.</b> Tenant improvements not included.
<input type="checkbox"/>	2. <b>Regular maintenance or repair</b> to correct or repair deterioration, decay, or damage to building.
<input type="checkbox"/>	3. <b>Window replacement</b> that meets the Department's <i>Window Replacement Standards</i> . Does not include storefront window alterations.
<input type="checkbox"/>	4. <b>Garage work.</b> A new opening that meets the <i>Guidelines for Adding Garages and Curb Cuts</i> , and/or replacement of a garage door in an existing opening that meets the Residential Design Guidelines.
<input type="checkbox"/>	5. <b>Deck, terrace construction, or fences</b> not visible from any immediately adjacent public right-of-way.
<input type="checkbox"/>	6. <b>Mechanical equipment installation</b> that is not visible from any immediately adjacent public right-of-way.
<input type="checkbox"/>	7. <b>Dormer installation</b> that meets the requirements for exemption from public notification under <i>Zoning Administrator Bulletin No. 3: Dormer Windows</i> .
<input type="checkbox"/>	8. <b>Addition(s)</b> that are not visible from any immediately adjacent public right-of-way for 150 feet in each direction; does not extend vertically beyond the floor level of the top story of the structure or is only a single story in height; does not have a footprint that is more than 50% larger than that of the original building; and does not cause the removal of architectural significant roofing features.
<b>Note: Project Planner must check box below before proceeding.</b>	
<input type="checkbox"/>	Project is not listed. <b>GO TO STEP 5.</b>
<input type="checkbox"/>	Project <b>does not conform</b> to the scopes of work. <b>GO TO STEP 5.</b>
<input type="checkbox"/>	Project involves <b>four or more</b> work descriptions. <b>GO TO STEP 5.</b>
<input type="checkbox"/>	Project involves <b>less than four</b> work descriptions. <b>GO TO STEP 6.</b>

**STEP 5: CEQA IMPACTS – ADVANCED HISTORICAL REVIEW**  
**TO BE COMPLETED BY PRESERVATION PLANNER**

<b>Check all that apply to the project.</b>	
<input type="checkbox"/>	1. Project involves a <b>known historical resource (CEQA Category A)</b> as determined by Step 3 and conforms entirely to proposed work checklist in Step 4.
<input type="checkbox"/>	2. <b>Interior alterations to publicly accessible spaces.</b>
<input type="checkbox"/>	3. <b>Window replacement</b> of original/historic windows that are not "in-kind" but are consistent with existing historic character.
<input type="checkbox"/>	4. <b>Façade/storefront alterations</b> that do not remove, alter, or obscure character-defining features.
<input type="checkbox"/>	5. <b>Raising the building</b> in a manner that does not remove, alter, or obscure character-defining features.
<input type="checkbox"/>	6. <b>Restoration</b> based upon documented evidence of a building's historic condition, such as historic photographs, plans, physical evidence, or similar buildings.
<input type="checkbox"/>	7. <b>Addition(s)</b> , including mechanical equipment that are minimally visible from a public right-of-way and meet the <i>Secretary of the Interior's Standards for Rehabilitation</i> .
<input type="checkbox"/>	8. <b>Other work consistent with the Secretary of the Interior Standards for the Treatment of Historic Properties</b> (specify or add comments):

<input type="checkbox"/>	9. Other work that would not materially impair a historic district (specify or add comments):  <i>(Requires approval by Senior Preservation Planner/Preservation Coordinator)</i> _____
<input checked="" type="checkbox"/>	10. <b>Reclassification of property status.</b> <i>(Requires approval by Senior Preservation Planner/Preservation Coordinator)</i> <input type="checkbox"/> Reclassify to Category A <input checked="" type="checkbox"/> Reclassify to Category C a. Per HRER dated: <u>5/10/17</u> (attach HRER) b. Other (specify):
<b>Note: If ANY box in STEP 5 above is checked, a Preservation Planner MUST check one box below.</b>	
<input type="checkbox"/>	<b>Further environmental review required.</b> Based on the information provided, the project requires an <i>Environmental Evaluation Application</i> to be submitted. <b>GO TO STEP 6.</b>
<input checked="" type="checkbox"/>	<b>Project can proceed with categorical exemption review.</b> The project has been reviewed by the Preservation Planner and can proceed with categorical exemption review. <b>GO TO STEP 6.</b>
Comments (optional):	
Preservation Planner Signature: Shelley Caltagirone <span style="float: right; font-size: small;">Digitally signed by Shelley Caltagirone Date: 2017.05.16 13:43:40 -07'00'</span>	

**STEP 6: CATEGORICAL EXEMPTION DETERMINATION  
TO BE COMPLETED BY PROJECT PLANNER**

<input type="checkbox"/>	<b>Further environmental review required.</b> Proposed project does not meet scopes of work in either ( <i>check all that apply</i> ): <input type="checkbox"/> Step 2 – CEQA Impacts <input type="checkbox"/> Step 5 – Advanced Historical Review <b>STOP! Must file an <i>Environmental Evaluation Application</i>.</b>	
<input checked="" type="checkbox"/>	<b>No further environmental review is required. The project is categorically exempt under CEQA.</b>	
	Planner Name: Shelley Caltagirone	Signature:
	Project Approval Action:  Building Permit	<b>Shelley Caltagirone</b> Digitally signed by Shelley Caltagirone Date: 2017.05.16 13:44:01 -07'00'
	If Discretionary Review before the Planning Commission is requested, the Discretionary Review hearing is the Approval Action for the project.	
	Once signed or stamped and dated, this document constitutes a categorical exemption pursuant to CEQA Guidelines and Chapter 31 of the Administrative Code. In accordance with Chapter 31 of the San Francisco Administrative Code, an appeal of an exemption determination can only be filed within 30 days of the project receiving the first approval action.	



# SAN FRANCISCO PLANNING DEPARTMENT

## PRESERVATION TEAM REVIEW FORM

1650 Mission St.  
Suite 400  
San Francisco,  
CA 94103-2479

Reception:  
**415.558.6378**

Fax:  
**415.558.6409**

Planning  
Information:  
**415.558.6377**

<b>Preservation Team Meeting Date:</b>		<b>Date of Form Completion</b>	5/4/2017
--	--	--------------------------------	----------

<b>PROJECT INFORMATION:</b>		
<b>Planner:</b>	<b>Address:</b>	
Shelley Caltagirone	2417 Green Street	
<b>Block/Lot:</b>	<b>Cross Streets:</b>	
0560/028	Pierce and Scott Streets	
<b>CEQA Category:</b>	<b>Art. 10/11:</b>	<b>BPA/Case No.:</b>
B		2017.002545ENV

<b>PURPOSE OF REVIEW:</b>			<b>PROJECT DESCRIPTION:</b>	
<input checked="" type="radio"/> CEQA	<input type="radio"/> Article 10/11	<input type="radio"/> Preliminary/PIC	<input checked="" type="radio"/> Alteration	<input type="radio"/> Demo/New Construction

<b>DATE OF PLANS UNDER REVIEW:</b>	2/10/17
------------------------------------	---------

<b>PROJECT ISSUES:</b>	
<input checked="" type="checkbox"/>	Is the subject Property an eligible historic resource?
<input type="checkbox"/>	If so, are the proposed changes a significant impact?
Additional Notes:	
Submitted: Historic Resource Evaluation report prepared by Tim Kelley Consulting, April 2017	
Proposed Project: Expansion of garage; 3 story horizontal rear addition; alterations to front facade and roof; excavation and foundation replacement; lowering building; and interior remodel. The project appears to be a de facto demolition per PC Section 1005(f).	


<b>PRESERVATION TEAM REVIEW:</b>			
<b>Category:</b>	<input type="radio"/> A	<input type="radio"/> B	<input checked="" type="radio"/> C
<b>Individual</b>		<b>Historic District/Context</b>	
Property is individually eligible for inclusion in a California Register under one or more of the following Criteria:		Property is in an eligible California Register Historic District/Context under one or more of the following Criteria:	
Criterion 1 - Event:	<input type="radio"/> Yes <input checked="" type="radio"/> No	Criterion 1 - Event:	<input type="radio"/> Yes <input checked="" type="radio"/> No
Criterion 2 - Persons:	<input type="radio"/> Yes <input checked="" type="radio"/> No	Criterion 2 - Persons:	<input type="radio"/> Yes <input checked="" type="radio"/> No
Criterion 3 - Architecture:	<input type="radio"/> Yes <input checked="" type="radio"/> No	Criterion 3 - Architecture:	<input type="radio"/> Yes <input checked="" type="radio"/> No
Criterion 4 - Info. Potential:	<input type="radio"/> Yes <input checked="" type="radio"/> No	Criterion 4 - Info. Potential:	<input type="radio"/> Yes <input checked="" type="radio"/> No
Period of Significance:	<input type="text"/>	Period of Significance:	<input type="text"/>
		<input type="radio"/> Contributor <input type="radio"/> Non-Contributor	

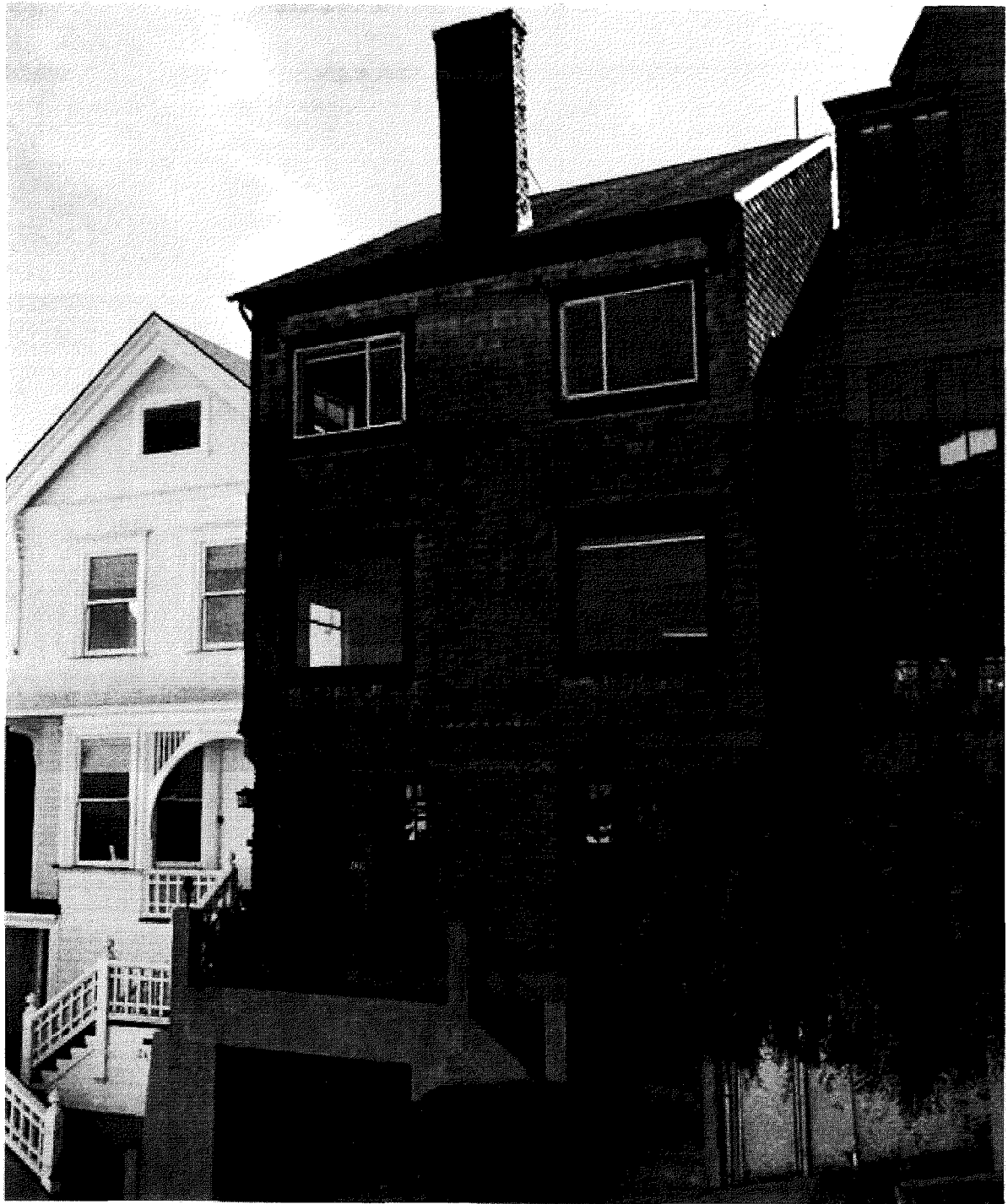
Complies with the Secretary's Standards/Art 10/Art 11:	<input type="radio"/> Yes	<input type="radio"/> No	<input checked="" type="radio"/> N/A
CEQA Material Impairment to the individual historic resource:	<input type="radio"/> Yes	<input checked="" type="radio"/> No	
CEQA Material Impairment to the historic district:	<input type="radio"/> Yes	<input checked="" type="radio"/> No	
Requires Design Revisions:	<input type="radio"/> Yes	<input checked="" type="radio"/> No	
Defer to Residential Design Team:	<input type="radio"/> Yes	<input checked="" type="radio"/> No	

**PRESERVATION TEAM COMMENTS:**

The building at 2417 Green Street was built circa 1905 and was first owned by Lonella H. Smith. Louis B. Floan was to contractor for the building, but no architect was identified. The property is located on the south side of the street between Pierce and Scott Street in the Pacific Heights neighborhood. It is a rectangular plan, three-story-over-basement, wood-frame, single-family residence with a side-facing gable roof and shingle and brick cladding. The building has been altered, including the insertion of a garage with concrete cladding, replacement of the front entry porch, and replacement of the upper floor windows. The building retains some characteristics of the First Bay Tradition style, including the simple wall surface, wood singles, and small scale ornamentation.

Based on the information provided in the Historic Resource Evaluation report prepared by Tim Kelley Consulting (December 2016), the Department finds that the subject property does not appear to be eligible for inclusion on the California Register either as an individual historic resource or as a contributor to a historic district. There is no information provided by the Project Sponsor's reports or located in the San Francisco Planning Department's background files to indicate that the property was associated with events that have made a significant contribution to the broad patterns of local or regional history or the cultural heritage of California or the United States. No significant historical figures are associated with the property. Lastly, the property does not significantly embody the distinctive characteristics of the First Bay Tradition style; it is not the work of a master architect; and, it does not possess high artistic values. Furthermore, the property is not located within a California Register-eligible historic district. The consultant found no cohesive collection of buildings in the immediate area that would indicate a possible district. The nearest historic district is the Pacific Heights Historic District, which captures buildings to the south and west of the subject building. 2417 Green Street would not contribute to this district since the subject building and its immediate neighbors to the east are not associated with the architectural significance of the district. The district is characterized by large, formal, detached dwellings, typically designed by master architects and displaying a high level of architectural detailing and materials. The subject building is builder-designed and displays a relatively vernacular style. While the properties to the west of 2417 Green Street may be eligible for inclusion in the district, the subject building does not contribute to the Pacific Heights Historic District. The proposed project would have no adverse impact to historic resources as the subject building is not a historic resource and is not located within a historic district.

Signature of a Senior Preservation Planner / Preservation Coordinator:	Date:
	5/10/2017



# EXHIBIT F

OFFICIAL COPY

SAN FRANCISCO DEPARTMENT OF BUILDING INSPECTION

APPROVED Dept of Building Insp.

MAY 18 2017

Tom C. He... DIRECTOR

State Industrial Safety Permit The attached application falls under the Labor Code Sec. 6500 in that it involves the type of construction work checked below:

- Construction of trenches or excavations which are 5 feet or deeper and into which a person is required to descend.
The construction of any building, structure, framework or scaffolding more than 3 stories high or the equivalent height (36 ft.)
The demolition of any building, structure, framework or scaffold, more than 3 stories high or the equivalent height (36 ft.)

BLDG. FORM 318

2017-051-6316 APPLICATION NUMBER

711280 APPROVAL NUMBER

APPLICATION FOR BUILDING PERMIT ADDITIONS, ALTERATIONS OR REPAIRS

FORM 3 OTHER AGENCIES REVIEW REQUIRED
FORM 8 OVER-THE-COUNTER ISSUANCE
2 NUMBER OF PLAN SETS

CITY AND COUNTY OF SAN FRANCISCO DEPARTMENT OF BUILDING INSPECTION

APPLICATION IS HEREBY MADE TO THE DEPARTMENT OF BUILDING INSPECTION OF SAN FRANCISCO FOR PERMISSION TO BUILD IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS SUBMITTED HERewith AND ACCORDING TO THE DESCRIPTION AND FOR THE PURPOSE HEREINAFTER SET FORTH.

DO NOT WRITE ABOVE THIS LINE

Table with columns: DATE FILED (MAY 18 2017), FILING FEE RECEIPT NO., (1) STREET ADDRESS OF JOB (2417 GREEN STREET), BLOCK & LOT (0560/028), PERMIT NO. (1425887), ISSUED (5-18-17), (2A) ESTIMATED COST OF JOB (\$50,000), (2B) REVISED COST (\$100K), DATE (5/11/17)

INFORMATION TO BE FURNISHED BY ALL APPLICANTS

LEGAL DESCRIPTION OF EXISTING BUILDING, LEGAL DESCRIPTION OF BUILDING AFTER PROPOSED ALTERATION, ADDITIONAL INFORMATION, IMPORTANT NOTICES, NOTICE TO APPLICANT, APPLICANT'S CERTIFICATION

IMPORTANT NOTICES: No change shall be made in the character of the occupancy or use without first obtaining a Building Permit authorizing such change. No portion of building or structure or scaffolding used during construction is to be closer than 6'0" to any wire containing more than 700 volts.

NOTICE TO APPLICANT: HOLD HARMLESS CLAUSE. The permittee(s) by acceptance of the permit, agree(s) to indemnify and hold harmless the City and County of San Francisco from and against any and all claims, demands and actions for damages resulting from operations under this permit.

REV 05/10

OFFICE COPY

Signature of Applicant or Agent, DATE 5/18/17

OFFICIAL COPY

SAN FRANCISCO  
DEPARTMENT OF  
BUILDING INSPECTION

CONDITIONS AND STIPULATIONS

REFER TO:	APPROVED:	DATE: _____ REASON: _____
	<u>Cyril Yu, DBI</u> MAY 11 2017	
	BUILDING INSPECTOR, DEPT. OF BLDG. INSP.	NOTIFIED MR. _____ DATE: _____ REASON: _____
<input type="checkbox"/>	APPROVED: <u>AA</u>	NOTIFIED MR. _____ DATE: _____ REASON: _____
	DEPARTMENT OF CITY PLANNING	
<input type="checkbox"/>	APPROVED:	DATE: _____ REASON: _____
	BUREAU OF FIRE PREVENTION & PUBLIC SAFETY	NOTIFIED MR. _____ DATE: _____ REASON: _____
<input type="checkbox"/>	APPROVED:	DATE: _____ REASON: _____
	MECHANICAL ENGINEER, DEPT. OF BLDG. INSPECTION	NOTIFIED MR. _____ DATE: _____ REASON: _____
<input type="checkbox"/>	APPROVED: <u>Cyril Yu, DBI</u> MAY 11 2017	
	CIVIL ENGINEER, DEPT. OF BLDG. INSPECTION	NOTIFIED MR. _____ DATE: _____ REASON: _____
<input type="checkbox"/>	APPROVED: <u>AA</u>	DATE: _____ REASON: _____
	BUREAU OF ENGINEERING	NOTIFIED MR. _____ DATE: _____ REASON: _____
<input type="checkbox"/>	APPROVED:	DATE: _____ REASON: _____
	DEPARTMENT OF PUBLIC HEALTH	NOTIFIED MR. _____ DATE: _____ REASON: _____
<input type="checkbox"/>	APPROVED:	DATE: _____ REASON: _____
	REDEVELOPMENT AGENCY	NOTIFIED MR. _____ DATE: _____ REASON: _____
<input type="checkbox"/>	APPROVED:	DATE: _____ REASON: _____
	HOUSING INSPECTION DIVISION	NOTIFIED MR. _____ DATE: _____ REASON: _____

HOLD SECTION - NOTE DATES AND NAMES OF ALL PERSONS NOTIFIED DURING PROCESSING

I agree to comply with all conditions or stipulations of the various bureaus or departments noted on this application, and attached statements of conditions or stipulations, which are hereby made a part of this application.

Number of attachments

OWNER'S AUTHORIZED AGENT



OFFICIAL COPY

SAN FRANCISCO

STATE OF CALIFORNIA  
DEPARTMENT OF INDUSTRIAL RELATIONS  
DIVISION OF OCCUPATIONAL SAFETY AND HEALTH

b: 711280

### PROJECT PERMIT

**Permit issued To**

(Insert Employer's Name, Address and Telephone No.)

Durkin, Inc.  
474 EUCLID AVENUE  
SAN FRANCISCO CA 94118

(415)407-0486

No. \_\_\_\_\_  
Date 5/12/17  
Region 1  
District 1  
Tel. (415)557-0100

**SINGLE PROJECT**

**Type of Permit** T1-TRENCH/EXCAVATION

Pursuant to Labor Code Sections 6500 and 6502, this Permit is issued to the above-named employer for the projects described below.

State Contractor's License Number		1012620		Permit Valid through		5/1/18	
Description of Project	Location Address	City	San Francisco	Anticipated Dates		Starting	Completion
				5/16/17	5/1/18		
Garage expansion and foundation replacement. Excavation 8' deep and 20' in width	2417 Green Street	County	San Francisco				

**This Permit is issued upon the following conditions:**

1. That the work is performed by the same employer. If this is an annual permit the appropriate District Office shall be notified, in writing, of dates and location of job site prior to commencement.
2. The employer will comply with all occupational safety and health standards or orders applicable to the above projects, and any other lawful orders of the Division.
3. That if any unforeseen condition causes deviation from the plans or statements contained in the Permit Application Form the employer will notify the Division immediately.
4. Any variation from the specification and assertions of the Permit Application Form or violation of safety orders may be cause to revoke the permit.
5. This permit shall be posted at or near each place of employment as provided in 8 CCR 341.4

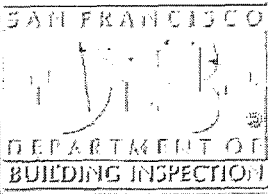
Received From	RECEIVED BY	
Christopher Durkin	Dalia Rassler	
<input type="checkbox"/> Cash	Amount	Date
<input checked="" type="checkbox"/> Check 1031	\$50.00	5/12/17

Investigated by

*[Signature]* 5/12/17  
Safety Engineer Date

Approved by

*[Signature]* 5/15/17  
District Manager Date



City and County of San Francisco  
Department of Building Inspection



Edwin M. Lee, Mayor  
Tom C. Hui, S.E., C.B.O., Director

**LICENSED CONTRACTOR'S STATEMENT**

Permit Application No. 2017-0511-0316

Job Address: 2417 Green

**Licensed Contractor's Declaration**

Pursuant to the Business and Professions Code Sec. 7031.5, I hereby affirm under penalty of perjury that I am licensed under the provisions of Chapter 9 (commencing with Sec. 7000) of Division 3 of the Business and Professions Code, and that my license is in full force and effect.

License Number 1012620

License Class B

Expiration Date 5/18/17

Contractor

Chris Chris  
PRINT

[Signature]  
SIGNATURE

NOTE: "Any violation of the Bus. & Prof. Code Sec 7031.5 by any permit applicant shall be subject to a civil penalty of not more than five hundred dollars (\$500)" Bus. & Prof. Code Sec. 7031.5. Revised 10/1/2013.

# EXHIBIT G

**COMPLAINT DATA SHEET**

**Complaint Number:** 201708032

**Owner/Agent:** OWNER DATA  
SUPPRESSED

**Owner's Phone:** --

**Contact Name:** --

**Contact Phone:** --

**Complainant:** COMPLAINANT DATA  
SUPPRESSED

**Date Filed:**

**Location:** 2417 GREEN ST

**Block:** 0560

**Lot:** 028

**Site:**

**Rating:**

**Occupancy Code:**

**Received By:** Czarina Blackshear

**Division:** BID

**Complainant's**

**Phone:**

**Complaint Source:** TELEPHONE

**Assigned to Division:** BID

**Description:** Working beyond scope of PA #201705116316. Doing horizontal addition.

**Instructions:**

**INSPECTOR INFORMATION**

DIVISION	INSPECTOR	ID	DISTRICT	PRIORITY
BID	POWER	6270		

**REFERRAL INFORMATION**

**COMPLAINT STATUS AND COMMENTS**

DATE	TYPE	DIV	INSPECTOR	STATUS	COMMENT
09/27/17	CASE OPENED	BID	Power	CASE RECEIVED	
09/28/17	OTHER BLDG/HOUSING VIOLATION	INS	Power	CASE UPDATE	1st NOV mailed & cc'd to DCP -jtran
09/28/17	OTHER BLDG/HOUSING VIOLATION	BID	Power	FIRST NOV SENT	nov issued kmh

**COMPLAINT ACTION BY DIVISION**

**NOV (HIS):**

**NOV (BID):**

09/28/17

Inspector Contact Information |

[Online Permit and Complaint Tracking home page.](#)

**Technical Support for Online Services**

If you need help or have a question about this service, please visit our [FAQ area](#)

**Permit Details Report**

**Report Date:** 9/28/2017 12:08:25 PM

Application Number: 201705116316  
 Form Number: 8  
 Address(es): 0560 / 028 / 0 2417 GREEN SI  
 Description: PARTIAL DETERIOATED BASEMENT WALL AND FOUNDATION REPLACEMENT WITH NEW LANDSCAPING SITE WALL AT BACKYARD  
 Cost: \$100,000.00  
 Occupancy Code: R-3  
 Building Use: 27 - 1 FAMILY DWELLING

**Disposition / Stage:**

Action Date	Stage	Comments
5/11/2017	TRIAGE	
5/11/2017	FILING	
5/11/2017	FILED	
5/18/2017	APPROVED	
5/18/2017	ISSUED	
9/28/2017	SUSPEND	department of city planning review required

**Contact Details:**

**Contractor Details:**

License Number: 1012620  
 Name: PATRICK DURKIN  
 Company Name: DURKIN INC.  
 Address: 474 EUCLID AV \* SAN FRANCISCO CA 94118-0000  
 Phone:

**Addenda Details:**

Step	Station	Arrive	Start	In Hold	Out Hold	Finish	Checked By	Hold Description
1	INTAKE	5/11/17	5/11/17			5/11/17	PANGELINAN MARIANNE	
2	BLDG	5/11/17	5/11/17			5/11/17	YU CYRIL	
3	CPB	5/18/17	5/18/17			5/18/17	CHEUNG WAI PONG	5/18/17: SAFETY PERMIT RECEIVED. WF

This permit has been issued. For information pertaining to this permit, please call 415-558-6096.

**Appointments:**

Appointment Date	Appointment AM/PM	Appointment Code	Appointment Type	Description	Tim Slot
7/13/2017	PM	WS	Web Scheduled	START WORK	1

**Inspections:**

Activity Date	Inspector	Inspection Description	Inspection Status
7/13/2017	Robert Power	START WORK	SITE VERIFICATION

**Special Inspections:**

Addenda No.	Completed Date	Inspected By	Inspection Code	Description	Remarks
0			7	CONCRETE (PLACEMENT & SAMPLING)	placement
0			4	REINFORCING STEEL AND PRESTRESSING TENDONS	reinforcing steel
0			13	SPECIAL GRADING, EXCAVATION AND FILLING (GEO. ENGINEERED)	
0			24C	CONCRETE CONSTRUCTION	
0			25	OTHERS AS RECOMMENDED BY PROFESSIONAL OF RECORD	geotech of record to observe excavation @ start of FA cut
0			24A	FOUNDATIONS	
0			18A	BOLTS INSTALLED IN EXISTING CONCRETE	

# EXHIBIT H

Just saw your email Scott - thanks for update.

Begin forwarded message:

**From:** "May, Christopher (CPC)" <christopher.may@sfgov.org>  
**Date:** October 3, 2017 at 9:26:10 AM PDT  
**To:** susan byrd <sbyrdsf@yahoo.com>, "Lindsay, David (CPC)" <david.lindsay@sfgov.org>  
**Cc:** "Ggwood2@gmail.com" <Ggwood2@gmail.com>, "chaboard@cowhollowassociation.org" <chaboard@cowhollowassociation.org>  
**Subject:** RE: 2417 Green Street, Christopher Durkin Project

Hi Susan,

Thank you for your comments in opposition to the proposed project at 2417 Green St. Please be advised that the Department of Building Inspections suspended the project sponsor's foundation permit, which was not originally routed to the Planning Department for review, and has asked Planning to review those plans to determine compliance with the Planning Code. The S.311 neighborhood notification will not be sent out until the foundation permit plans have been reviewed and determined to be Code-complying.

Regards,

Christopher May, Planner

1650 Mission Street, Suite 400  
San Francisco, CA 94103

Phone: (415) 575-9087  
Fax: (415) 558-6409

christopher.may@sfgov.org  
www.sfplanning.org

-----Original Message-----

From: susan byrd [mailto:sbyrdsf@yahoo.com]  
Sent: Friday, September 29, 2017 2:57 PM  
To: May, Christopher (CPC); Lindsay, David (CPC)  
Cc: Ggwood2@gmail.com; chaboard@cowhollowassociation.org  
Subject: 2417 Green Street, Christopher Durkin Project

Dear Mr. May and Mr. Lindsay:

As adjacent neighbors, we write to you with continued concerns about the developer Christopher Durkin and his proposed project at 2417 Green Street.

As Mr. Lindsay will recall, on March 30th, Mr. Durkin held a pre-application meeting which was attended by a large number of the local neighbors (Mr. Lindsay was helpful in getting this meeting scheduled with the developer and architect on a date when neighbors could actually attend). At that meeting we learned that the proposed project for the 1907 home at 2417 Green Street was massively out of scale with the neighborhood homes (particularly filling up all of our "shared" beautiful green open space and gardens to the rear). The project is not only physically inappropriate for SF Residential Guidelines, amazingly thoughtless regarding air/light/green space and neighbor's homes, it is also glaringly inconsistent with the Cow Hollow Association Guidelines. The project has three immediate adjacent neighbors and one on each side "one removed": Each of these five homes is historic in nature: a Victorian, two Ernest Coxhead homes, the registered historic Casebolt Mansion, and an Edwardian English Cottage with gardens. Somehow this is not being taken into consideration by the developer and the city planning department to date.

At the Pre-App meeting (also attended by a CHA representative) we as neighbors voiced our concerns and requested that Chris Durkin consider a second plan which would stay within the footprint of the current home and take CHA guidelines into consideration. He suggested that was not going to happen, the meeting ended on a sour note, we never heard more. We also never heard more from the CHA representative there taking notes. As adjacent neighbors we decided we would need to hire an attorney and a planning consultant to actually and truly represent neighborhood interests.

We recently asked Chris Durkin to provide plans that we and our attorney could review. We were told we would need to go to Durkin's attorney's office (Zacks) to view the plans. What was made available were not the actual/stamped plans, it was a waste of time and a joke. Then, we learned last week that Mr. May and others at the RDAT meeting recently held a "15 minute review" of the developer's plans and have deemed them to be "consistent with the RDG's." It was suggested by Mr. May that it would be now up to us as neighbors to file for a DR.

We were shocked to learn that this inappropriate residential development plan (with documented neighborhood concerns) was "moved" so quickly through this RDAT process. We ask you, Mr. May, would your family consider a "15 minute review" sufficient if this building were proposed next to your home? We also ask, where is the advocacy of the CHA, where is the collaboration between neighbors and city planning we are supposedly all working toward, where is the support from planning for such cooperation so that neighbors aren't forced to hire attorneys and file DR and other legal action?

Please make note:

Without apparently proper permit process, 1. Chris Durkin has built a work shed the length of the building at 2417 Green Street, which (a) is obstructing the side walk and (b) would indicate work on an excavation project much larger than was being described in the plans for the current one car garage. Inappropriate excavation will have dire consequence on the upside neighbor's home.

2. There has been a tree removal at the front of the property, on the sidewalk. We are under the impression we as a city are busy planting trees, not ripping them out, and we would like to know which permit/office was consulted for the tree removal 3. There was a work permit issued and posted at 2417 Green on the work "shed" for (a) 9/6/17-12/06/17, permit m831527; (b) Notice of Violation/Stop all work, signed by senior Planning Inspector yesterday on 9/28, due to complaint #201708032; (c) newer 10/2/17- 04/02/18 notices, same work permit #, placed last night by Durkin, after the NOV notice was posted.

We would like to ask Planning Department Officials sooner rather than later to flag this case! We are concerned about the nature and the pace of this case and are wondering how it is possible that it is being moved along so quickly without adequate review and apparently conflicting facts.

We are also copying here Geoff Wood and the Board President of the Cow Hollow Association, Lori Brooke.

Mr. Wood, as the CHA zoning representative, was unable to attend the March 30 Pre-App meeting but sent instead Nancy Levens; in his email of 3/29 : " I am unable to attend the meeting tomorrow at 2417 Green but did attend the first meeting held on the 16th so am familiar with the project. Nancy Levens will attend for the CHA and will be forwarding on to me any concerns you and other neighbors have with the proposed project to date, and also any measures that the architect and owners offer to mitigate those issues." We are concerned there has been no follow-up and ask that the CHA become advocates alongside us and all neighbors for the CHA guidelines, which we as a neighborhood refer to in all our communication, but the developer Chris Durkin appears to have no knowledge of as he rolls out the plans for adding a massive home to the neighborhood. How can we all do this better?

We are hoping as long time residents of a beloved and historic San Francisco neighborhood we can all work towards environmentally appropriate building and "greening rather than demeaning" ALL of our city neighborhoods. San Francisco is special for a reason--because we all love it and wish to protect its beauty and character.

Thank you,  
Susan Byrd  
Mark Lampert  
2415 Green Street



10/3/2017

Lozau Drury, LLP Mail - FW: 2417 Green Street, Christopher Durkin Project

Sent from my iPad

# EXHIBIT I



# SAN FRANCISCO PLANNING DEPARTMENT

1650 Mission Street Suite 400 San Francisco, CA 94103

## NOTICE OF BUILDING PERMIT APPLICATION (SECTION 311/312)

On **April 28, 2017**, the Applicant named below filed Building Permit Application No. **2017.04.28.5244** with the City and County of San Francisco.

PROJECT INFORMATION		APPLICANT INFORMATION	
Project Address:	<b>2417 Green Street</b>	Applicant:	<b>Chris Durkin</b>
Cross Street(s):	<b>Pierce and Scott Streets</b>	Address:	<b>474 Euclid Ave</b>
Block/Lot No.:	<b>0560/028</b>	City, State:	<b>San Francisco, CA 94118</b>
Zoning District(s):	<b>RH-1 / 40-X</b>	Telephone:	<b>(415) 407-0486</b>
Record No.:	<b>2017-002545PRJ</b>	Email:	<b>chris@durkinincorporated.com</b>

You are receiving this notice as a property owner or resident within 150 feet of the proposed project. You are not required to take any action. For more information about the proposed project, or to express concerns about the project, please contact the Applicant listed above or the Planner named below as soon as possible. If you believe that there are exceptional or extraordinary circumstances associated with the project, you may request the Planning Commission to use its discretionary powers to review this application at a public hearing. Applications requesting a Discretionary Review hearing must be filed during the 30-day review period, prior to the close of business on the Expiration Date shown below, or the next business day if that date is on a week-end or a legal holiday. If no Requests for Discretionary Review are filed, this project will be approved by the Planning Department after the Expiration Date.

Members of the public are not required to provide personal identifying information when they communicate with the Commission or the Department. All written or oral communications, including submitted personal contact information, may be made available to the public for inspection and copying upon request and may appear on the Department's website or in other public documents.

PROJECT SCOPE		
<input type="checkbox"/> Demolition	<input type="checkbox"/> New Construction	<input type="checkbox"/> Alteration
<input type="checkbox"/> Change of Use	<input checked="" type="checkbox"/> Façade Alteration(s)	<input type="checkbox"/> Front Addition
<input checked="" type="checkbox"/> Rear Addition	<input type="checkbox"/> Side Addition	<input checked="" type="checkbox"/> Vertical Addition
PROJECT FEATURES	EXISTING	PROPOSED
Building Use	Residential	No Change
Front Setback	0 feet	No Change
Side Setbacks	None	West side: 0-3 feet (1 <sup>st</sup> floor), 4 feet (2 <sup>nd</sup> -4 <sup>th</sup> floors) East side: 0 feet (1 <sup>st</sup> floor), 4 feet (2 <sup>nd</sup> & 3 <sup>rd</sup> floors), 7 feet (4 <sup>th</sup> floor)
Building Depth	58 feet	75 feet
Rear Yard	40 feet (1 <sup>st</sup> floor), 42 feet (2 <sup>nd</sup> floor), 54 feet (3 <sup>rd</sup> & 4 <sup>th</sup> floors)	25 feet (1 <sup>st</sup> floor), 30 feet (2 <sup>nd</sup> & 3 <sup>rd</sup> floors), 45 feet (4 <sup>th</sup> floor)
Building Height	45 feet	43 feet
Number of Stories	4	No Change
Number of Dwelling Units	1	No Change
Number of Parking Spaces	1	2

**PROJECT DESCRIPTION**

The proposal is to lower all floor plates by approximately 2 feet, construct 1- and 3-story horizontal rear additions, as well as 3<sup>rd</sup> and 4<sup>th</sup> floor additions above the existing single-family dwelling. The floor area would increase from approximately 4,118 square feet to approximately 5,115 square feet. The project also proposes façade alterations, interior modifications including the expansion of the existing basement level garage to accommodate another vehicle and the partial excavation of the rear yard. See attached plans.

The issuance of the building permit by the Department of Building Inspection or the Planning Commission project approval at a discretionary review hearing would constitute as the Approval Action for the project for the purposes of CEQA, pursuant to Section 31.04(h) of the San Francisco Administrative Code.

**For more information, please contact Planning Department staff:**

Planner: Christopher May  
 Telephone: (415) 575-9087  
 E-mail: christopher.may@sfgov.org

**Notice Date: 10/23/2017**  
**Expiration Date: 11/22/2017**

# GENERAL INFORMATION ABOUT PROCEDURES

Reduced copies of the proposed project plans have been included in this mailing for your information. If you have questions about the plans, please contact the project Applicant listed on the front of this notice. You may wish to discuss the plans with your neighbors or neighborhood association, as they may already be aware of the project. If you have general questions about the Planning Department's review process, please contact the Planning Information Center at 1660 Mission Street, 1st Floor (415/ 558-6377) between 8:00am - 5:00pm Monday-Friday. If you have specific questions about the proposed project, you should contact the planner listed on the front of this notice.

If you believe that the impact on you from the proposed project is significant and you wish to seek to change the project, there are several procedures you may use. **We strongly urge that steps 1 and 2 be taken.**

1. Request a meeting with the project Applicant to get more information and to explain the project's impact on you.
2. Contact the nonprofit organization Community Boards at (415) 920-3820, or online at [www.communityboards.org](http://www.communityboards.org) for a facilitated discussion in a safe and collaborative environment. Community Boards acts as a neutral third party and has, on many occasions, helped reach mutually agreeable solutions.
3. Where you have attempted, through the use of the above steps or other means, to address potential problems without success, please contact the planner listed on the front of this notice to discuss your concerns.

If, after exhausting the procedures outlined above, you still believe that exceptional and extraordinary circumstances exist, you have the option to request that the Planning Commission exercise its discretionary powers to review the project. These powers are reserved for use in exceptional and extraordinary circumstances for projects which generally conflict with the City's General Plan and the Priority Policies of the Planning Code; therefore the Commission exercises its discretion with utmost restraint. This procedure is called Discretionary Review. If you believe the project warrants Discretionary Review by the Planning Commission, **you must file a Discretionary Review application prior to the Expiration Date shown on the front of this notice.** Discretionary Review applications are available at the Planning Information Center (PIC), 1660 Mission Street, 1st Floor, or online at [www.sfplanning.org](http://www.sfplanning.org). You must submit the application in person at the Planning Information Center (PIC) between 8:00am - 5:00pm Monday-Friday, with all required materials and a check payable to the Planning Department. To determine the fee for a Discretionary Review, please refer to the Planning Department Fee Schedule available at [www.sfplanning.org](http://www.sfplanning.org). If the project includes multiple building permits, i.e. demolition and new construction, a **separate request for Discretionary Review must be submitted, with all required materials and fee, for each permit that you feel will have an impact on you.**

**Incomplete applications will not be accepted.**

If no Discretionary Review Applications have been filed within the Notification Period, the Planning Department will approve the application and forward it to the Department of Building Inspection for its review.

## BOARD OF APPEALS

An appeal of the Planning Commission's decision on a Discretionary Review case may be made to the **Board of Appeals within 15 calendar days after the building permit is issued** (or denied) by the Department of Building Inspection. Appeals must be submitted in person at the Board's office at 1650 Mission Street, 3rd Floor, Room 304. For further information about appeals to the Board of Appeals, including current fees, contact the Board of Appeals at (415) 575-6880.

## ENVIRONMENTAL REVIEW

This project has undergone preliminary review pursuant to California Environmental Quality Act (CEQA). If, as part of this process, the Department's Environmental Review Officer has deemed this project to be exempt from further environmental review, an exemption determination has been prepared and can be obtained through the Exemption Map, on-line, at [www.sfplanning.org](http://www.sfplanning.org). An appeal of the decision **to exempt the proposed project from CEQA may be made to the Board of Supervisors within 30 calendar days** after the project approval action identified on the determination. The procedures for filing an appeal of an exemption determination are available from the Clerk of the Board at City Hall, Room 244, or by calling (415) 554-5184.

Under CEQA, in a later court challenge, a litigant may be limited to raising only those issues previously raised at a hearing on the project or in written correspondence delivered to the Board of Supervisors, Planning Commission, Planning Department or other City board, commission or department at, or prior to, such hearing, or as part of the appeal hearing process on the CEQA decision.

# EXHIBIT J

RR20171117153

RECORD REQUEST RECEIPT

**Property Information**

Address: 2417 GREEN ST

Block/Lot: 0560/028

Building Occupancy: D

New Construction Date: 1908

Other possible addresses for this location:

**Applicant Information**

First Name: RICHARD

Address: 410 12TH STREET, SUITE 250

Last Name: DRURY

Address2:

Company: LOZEAU DRURY LLP

City: OAKLAND

Phone: 5108364200 Ext:

State: CA

Alt Phone: Ext:

Zip Code: 94607

E-mail: RICHARD@LOZEAUDRURY.COM

Origin:

**Request Information**

Processed By: DFARRELL

Date Received: 11/17/2017

Ready Date: 12/15/2017

Until Date: 12/29/2017

Completed date: 11/17/2017

Final Date:

Voided Date:

Turnaround Time: 0

**Duplication for Plans**Duplication:  Yes or  No

Mailed date:

Owner:

35MM: \$0.00

Pvision Plans: \$0.00

Design Prof:

**View Only**

Aperture Cards: 0

Diaz Cards: 0

Rolls: 0

DivApps: 0

Pvision Permits: 0

Pvision Plans: 0

**Printed Copies**

Aperture Cards: \$0.00

Pvision Permits: \$0.00

16MM: \$0.00

Certification: \$0.00

**Additional Comments****Payment Amount**

Customer Completed Date: 11/17/2017

Total: 0.00

Deposit or adjustment: 0.00

Balance due: 0.00

**Total Printed Copy Paid Units**

Aperture Cards

Pvision Permits

16MM

Certified

35MM

Pvision Plans

0

3

0

0

0

0

**Payments Applied**

Receipt	Payment date	Payor	Address	Issued By	Amount
RR031534	11/17/2017	RICHARD DRURY LOZEAU DRURY LLP	410 12TH STREET, SUITE 250 OAKLAND CA 94607	DFARRELL	\$0.30

APPROVED  
Dept. of Building Inspection  
APPROVED  
Dept. of Building Inspection

NOV 2 2017

NOV 03 2017

BLDG  
FORM 3/8

APPROVED FOR ISSUANCE  
NOV 8 - 2017

APPLICATION NUMBER  
201708032-1311

ISSUED APPROVED (B.I.D.)  
APPROVAL NUMBER

201708032-1311

DCP  
FEE

APPLICATION FOR BUILDING PERMIT  
ADDITIONS, ALTERATIONS OR REPAIRS

FORM 3  OTHER AGENCIES REVIEW REQUIRED

FORM 8  OVER-THE-COUNTER ISSUANCE

NUMBER OF PLAN SETS

CITY AND COUNTY OF SAN FRANCISCO  
DEPARTMENT OF BUILDING INSPECTION

APPLICATION IS HEREBY MADE TO THE DEPARTMENT OF  
BUILDING INSPECTION OF SAN FRANCISCO FOR  
PERMISSION TO BUILD IN ACCORDANCE WITH THE PLANS  
AND SPECIFICATIONS SUBMITTED HERewith AND  
ACCORDING TO THE DESCRIPTION AND FOR THE PURPOSE  
HEREINAFTER SET FORTH.

DATE FILED 10/2/17	FILED FOR RECEIPT NO.	FILED ADDRESS OF JOB 2417 GREEN ST	BUILDING NO. OSR/008
PERMIT NO. 1443345	ISSUE DATE 10-2-17	FILED ADDRESS OF JOB ST	FILED ADDRESS OF JOB ST

INFORMATION TO BE FURNISHED BY ALL APPLICANTS

LEGAL DESCRIPTION OF EXISTING BUILDING

USE TYPE OF CONCRETE VB	FILE NO. OF RECORD OF ENCUMBRANCE #	NO. OF FLOOR LEVELS AND CELLARS 1	NO. PRESENT FLOORS 3 FD	NO. GROUP CLASS R3	NO. OF UNITS 1
----------------------------	--	--------------------------------------	----------------------------	-----------------------	-------------------

DESCRIPTION OF BUILDING AFTER PROPOSED ALTERATION

USE TYPE OF CONCRETE VB	FILE NO. OF RECORD OF ENCUMBRANCE #	NO. OF FLOOR LEVELS AND CELLARS 1	NO. PROPOSED OR LEGAL FLOORS 3 FD	NO. GROUP CLASS R3	NO. OF UNITS 1
----------------------------	--	--------------------------------------	--------------------------------------	-----------------------	-------------------

USE OF EXISTING FOUNDATION TO BE CONSERVED OR ALTERED?	YES <input type="checkbox"/>	NO <input checked="" type="checkbox"/>	USE OF EXISTING FOUNDATION TO BE CONSERVED OR ALTERED?	YES <input type="checkbox"/>	NO <input checked="" type="checkbox"/>	USE OF EXISTING FOUNDATION TO BE CONSERVED OR ALTERED?	YES <input type="checkbox"/>	NO <input checked="" type="checkbox"/>
--	------------------------------	--	--	------------------------------	--	--	------------------------------	--

GENERAL CONTRACTOR DUPRE INC 615 BAY ST ADDRESS 2417 GREEN ST LLC	PHONE 415 682-4649	EXPIRATION DATE 10/26/20
--	-----------------------	-----------------------------

OWNER - LEGAL OWNER (NOT OWNER) ADDRESS 2417 GREEN ST LLC	PHONE FOR CONTACT (BY PERM)
---	-----------------------------

THE ABOVE IS DESCRIPTION OF ALL WORK TO BE PERFORMED UNDER THIS APPLICATION (REFER TO PLANS IF NOT SUFFICIENT)

COMPT of NOV 201708032 ADMINISTRATIVE PERMIT  
TO SHOWCASE DCP REVIEW TO REVISION TO RPAE  
201703116316 NO WORK UNDER THIS PERMIT UNDER REVISION  
PERMIT WORK AT THIS TIME

ADDITIONAL INFORMATION


IS THERE ANY OTHER WORK BEING PERFORMED AT THIS LOCATION? YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	IS THERE ANY OTHER WORK BEING PERFORMED AT THIS LOCATION? YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	IS THERE ANY OTHER WORK BEING PERFORMED AT THIS LOCATION? YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	IS THERE ANY OTHER WORK BEING PERFORMED AT THIS LOCATION? YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>
--	--	--	--

OWNER: CHRISTOPHER F DUPRE  
ADDRESS: 2417 GREEN ST  
PHONE: 415 682-4649

IMPORTANT NOTICES

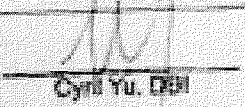

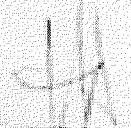

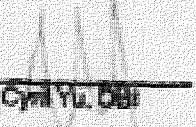
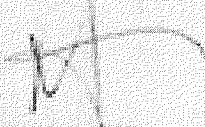



- No change shall be made in the character of the structures or use without first obtaining a Building Permit authorizing such change. See San Francisco Building Code and San Francisco Planning Code.
- No portion of building or structure or scaffolding shall extend over the street or sidewalk in any way unless authorized under these rules. See San Francisco Planning Code.
- Permittee is San Francisco Building Code, the building permit shall be posted on the job. The owner is responsible for obtaining plans and application being used at building site.
- Grades shall be shown on drawings accompanying this application, any proposed to be changed. If actual grade and any proposed to be changed, vertical dimensions showing correct grade, foot, inch and mill, and horizontal areas of retaining walls and soil bearing must be submitted to the Department for approval.
- IF A COMPLETION SCHEDULED UNDER AN EXISTING PERMIT IS APPLICABLE.
- PERMITS MAY BE SUSPENDED UNTIL CERTIFICATE OF FINAL COMPLETION IS POSTED ON THE ORIGINAL OR PERMIT OF ENCUMBRANCE IS REVOKED. WORK REQUIRED.
- APPROVAL OF THIS APPLICATION DOES NOT CONSTITUTE AN APPROVAL FOR THE ELECTRICAL, MECHANICAL OR PLUMBING INSTALLATIONS. A SEPARATE PERMIT FOR THE WORK AND PLUMBING MUST BE OBTAINED. TEMPORARY PERMITS ARE REQUIRED IF ISSUED AS PER THE ABOVE CONDITIONS (PER 19A.02-2.0 (C) AND 20A).
- THIS IS NOT A BUILDING PERMIT. NO WORK SHALL BE STARTED UNTIL A BUILDING PERMIT IS ISSUED.
- In drawings, all building materials shall have a dimension of one foot that the section from all elevations unless so designated.

NOTICE TO APPLICANT

- THIS PERMIT IS ISSUED FOR THE PROVISIONS OF THE PERMIT, BY ACCEPTANCE OF THE PERMIT, APPLICANT ACCEPTS AND AGREES TO THE CITY AND COUNTY OF SAN FRANCISCO'S POLICIES, REGULATIONS, ORDINANCES, AND RULES AND TO THE CITY AND COUNTY OF SAN FRANCISCO'S POLICIES, REGULATIONS, ORDINANCES, AND RULES AND TO THE CITY AND COUNTY OF SAN FRANCISCO'S POLICIES, REGULATIONS, ORDINANCES, AND RULES.
  - IN ACCORDANCE WITH THE PROVISIONS OF SECTION 18920 OF THE LABOR CODE OF THE STATE OF CALIFORNIA, THE APPLICANT SHALL MAINTAIN A WORKERS' COMPENSATION COVERAGE UNDER AN ANNUAL DESIGNATED POLICY OR SHALL MAINTAIN UNDER SECTION 18920 OF THE LABOR CODE OF THE STATE OF CALIFORNIA, IF NECESSARY THAT THE WORKERS' COMPENSATION COVERAGE IS MAINTAINED ON THE JOB. THE APPLICANT SHALL MAINTAIN A WORKERS' COMPENSATION COVERAGE UNDER AN ANNUAL DESIGNATED POLICY OR SHALL MAINTAIN UNDER SECTION 18920 OF THE LABOR CODE OF THE STATE OF CALIFORNIA, IF NECESSARY THAT THE WORKERS' COMPENSATION COVERAGE IS MAINTAINED ON THE JOB.
  - APPLICANT SHALL MAINTAIN A WORKERS' COMPENSATION COVERAGE UNDER AN ANNUAL DESIGNATED POLICY OR SHALL MAINTAIN UNDER SECTION 18920 OF THE LABOR CODE OF THE STATE OF CALIFORNIA, IF NECESSARY THAT THE WORKERS' COMPENSATION COVERAGE IS MAINTAINED ON THE JOB.
  - APPLICANT SHALL MAINTAIN A WORKERS' COMPENSATION COVERAGE UNDER AN ANNUAL DESIGNATED POLICY OR SHALL MAINTAIN UNDER SECTION 18920 OF THE LABOR CODE OF THE STATE OF CALIFORNIA, IF NECESSARY THAT THE WORKERS' COMPENSATION COVERAGE IS MAINTAINED ON THE JOB.
  - APPLICANT SHALL MAINTAIN A WORKERS' COMPENSATION COVERAGE UNDER AN ANNUAL DESIGNATED POLICY OR SHALL MAINTAIN UNDER SECTION 18920 OF THE LABOR CODE OF THE STATE OF CALIFORNIA, IF NECESSARY THAT THE WORKERS' COMPENSATION COVERAGE IS MAINTAINED ON THE JOB.
  - APPLICANT SHALL MAINTAIN A WORKERS' COMPENSATION COVERAGE UNDER AN ANNUAL DESIGNATED POLICY OR SHALL MAINTAIN UNDER SECTION 18920 OF THE LABOR CODE OF THE STATE OF CALIFORNIA, IF NECESSARY THAT THE WORKERS' COMPENSATION COVERAGE IS MAINTAINED ON THE JOB.
- NAME: CHRISTOPHER F DUPRE  
PHONE NUMBER: 415 682-4649
- Signature of Applicant or Agent: 



CONDITIONS AND STIPULATIONS

REFER TO:	APPROVED:  Cyril Yu, DBI OCT 13 2017 BUILDING INSPECTOR, DEPT. OF BLDG. INSP.	DATE: 10/26/17 REASON: E-10 - 1/1 OK TO PROCEED
<input type="checkbox"/>	APPROVED: <u>REVISION TO CPA # 2017-07-11-0314 TO REMOVE FOOTING CONCRET RETAIN WALL IN REAR YARD. EXCAVATION OF GARAGE IN GARMENT WASH AND PAVED PLANTING BED IN REAR YARD</u>  DEPARTMENT OF CITY PLANNING	NOTIFIED MR. _____ DATE: _____ REASON: _____ NOTIFIED MR. _____
<input type="checkbox"/>	APPROVED:  BUREAU OF FIRE PREVENTION & PUBLIC SAFETY	DATE: _____ REASON: _____ NOTIFIED MR. _____
<input type="checkbox"/>	APPROVED:  MECHANICAL ENGINEER, DEPT. OF BLDG. INSPECTION	DATE: _____ REASON: _____ NOTIFIED MR. _____
<input type="checkbox"/>	APPROVED:  Cyril Yu, DBI CIVIL ENGINEER, DEPT. OF BLDG. INSPECTION	DATE: _____ REASON: _____ NOTIFIED MR. _____
<input type="checkbox"/>	APPROVED:  BUREAU OF ENGINEERING	DATE: _____ REASON: _____ NOTIFIED MR. _____
<input checked="" type="checkbox"/>	APPROVED: Accepted by the San Francisco Department of Public Health Water Program with the following conditions: Obtain copies and follow the requirements of the Site Mitigation Plan, Environmental Health and Safety Plan, Dust Control Plan and other documents and requirements to ensure compliance with the S.F. Water Ordinance.  DEPARTMENT OF PUBLIC HEALTH	DATE: _____ REASON: _____ NOTIFIED MR. _____
<input type="checkbox"/>	APPROVED:  REDEVELOPMENT AGENCY	DATE: _____ REASON: _____ NOTIFIED MR. _____
<input type="checkbox"/>	APPROVED:  HOUSING INSPECTION DIVISION	DATE: _____ REASON: _____ NOTIFIED MR. _____

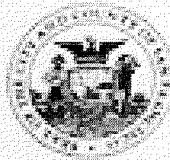
I agree to comply with all conditions or stipulations of the various bureaus or departments noted on this application, and attached statements of conditions or stipulations, which are hereby made a part of this application.

Number of attachments

OWNER'S AUTHORIZED AGENT

THE OFFICIALS OF THE DEPARTMENT OF PUBLIC HEALTH AND THE DEPARTMENT OF BLDG. INSPECTION ARE NOT RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED BY THE APPLICANT.





**LICENSED CONTRACTOR'S STATEMENT**

Permit Application No. 2017 0102 0114

Job Address: 2417 GREEN ST

**Licensed Contractor's Declaration**

Pursuant to the Business and Professions Code Sec. 7031.5, I hereby affirm under penalty of perjury that I am licensed under the provisions of Chapter 9 (commencing with Sec. 7000) of Division 3 of the Business and Professions Code, and that my license is in full force and effect.

License Number 1012620

License Class B

Expiration Date 04/30/18

Contractor

DURKIN INC.  
PRINT

[Signature]  
SIGNATURE

NOTE: "Any violation of the Bus. & Prof. Code Sec 7031.5 by any permit applicant shall be subject to a civil penalty of not more than five hundred dollars (\$500)" Bus. & Prof. Code Sec. 7031.5. Revised 10/1/2013.



**APPLICATION FOR REPORT OF RESIDENTIAL BUILDING RECORD**  
HOUSING CODE, SECTION 351(a)

IT SHALL BE UNLAWFUL FOR THE OWNER OF SUCH RESIDENTIAL BUILDING TO SELL OR EXCHANGE SAME WITHOUT FIRST HAVING OBTAINED AND DELIVERED TO THE BUYER THE REPORT OF RESIDENTIAL BUILDING RECORD HEREIN PROVIDED FOR. A RESIDENTIAL BUILDING IS DEFINED AS A BUILDING OR PORTION THEREOF CONTAINING ONE OR MORE DWELLING UNITS BUT NOT INCLUDING HOTELS CONTAINING 30 OR MORE GUEST ROOMS, OR MOTELS.

- A. The fee is **\$145.00** for each report requested. We accept cash, Visa & Master Card (must be paid in person), check and/or money order (made payable to Department of Building Inspection). Payer's name must be printed on the check. Write the requested address on the check. There will be NO REFUND or CANCELLATION once request and payment have been received.
- B. EACH residential building on a given LOT requires a separate application and payment.

PLEASE PRINT OR TYPE ALL INFORMATION BELOW.  
INCORRECT OR MISSING INFORMATION WILL DELAY PROCESS.

DATE: \_\_\_\_\_ CUSTOMER HOURS: 8 AM - 4 PM (MONDAY - FRIDAY)

1. BLOCK # \_\_\_\_\_ LOT # \_\_\_\_\_

2. ADDRESS(ES) OF BUILDING \_\_\_\_\_

3. IS THIS A CORNER BUILDING?  YES  NO

4. OTHER ADDRESSES (if any) \_\_\_\_\_

5. IS THIS A CONDOMINIUM?  YES, UNIT # \_\_\_\_\_  NO

IS THIS A CO-OP?  YES, UNIT # \_\_\_\_\_  NO

NOTE: Each Residential Condo OR Co-op unit requires a separate request/payment/report. In some instances additional information such as a recorded parcel map may be necessary prior to issuing a 3R Report. If this information is not provided within 10 business days of request by 3R staff, no report will be issued.

6. NUMBER OF RESIDENTIAL BUILDINGS (NOT UNITS) ON THE LOT: \_\_\_\_\_

7. LEGAL OWNER'S NAME: \_\_\_\_\_

LEGAL OWNER'S ADDRESS: \_\_\_\_\_

8. APPLICANT'S NAME: \_\_\_\_\_

APPLICANT'S ADDRESS: \_\_\_\_\_

APPLICANT'S TELEPHONE: \_\_\_\_\_

- 9.  I AM THE LEGAL OWNER OR
- I AM THE AUTHORIZED AGENT OF THE LEGAL OWNER OF THE PROPERTY LISTED ABOVE

10. PLEASE CHECK ONE OPTION FOR DELIVERY:

MAIL REPORT TO NAME \_\_\_\_\_  
ADDRESS \_\_\_\_\_

EMAIL TO \_\_\_\_\_ This will be your original 3R Report.

I WILL PICK UP THE REPORT, PLEASE CALL ME AT (\_\_\_\_\_) \_\_\_\_\_ ext. \_\_\_\_\_

FAX REPORT TO (\_\_\_\_\_) \_\_\_\_\_ This will be your original 3R Report.

For Office Use Only:

Zone \_\_\_\_\_ Use Type \_\_\_\_\_ # of Units \_\_\_\_\_ Built \_\_\_\_\_ Energy \_\_\_\_\_

**Records Management Division**  
1660 Mission Street, 4<sup>th</sup> Floor - San Francisco CA 94103  
Office (415) 558-6080 - FAX (415) 558-6402 - [www.sfdbi.org](http://www.sfdbi.org)

RECORD REQUEST RECEIPT

RR20171117193

**Property Information**

Address: 2417 GREEN ST  
 Building Occupancy: D  
 Other possible addresses for this location

Block/Lot: 0560/028  
 New Construction Date: 1908

**Applicant Information**

First Name	RICHARD	Address	410 12TH STREET, SUITE 250
Last Name	DRURY	Address2	
Company	LOZEAU DRURY LLP	City	OAKLAND
Phone	5108364200 Ext	State	CA
Alt. Phone	Ext	Zip Code	94607
E-mail	RICHARD@LOZEAUDRURY.COM	Origin	

**Request Information**

Processed By: DFARRELL Date Received: 11/17/2017 Ready Date: 12/15/2017 Until Date: 12/29/2017  
 Completed date: 11/17/2017 Final Date: Voided Date: Turnaround Time: 0

**Duplication for Plans**

Duplication: <input type="radio"/> Yes or <input type="radio"/> No	Mailed date	Owner
35MM \$0.00	Pvision Plans \$0.00	Design Prof.

**View Only**

Aperture Cards: 0	Diazo Cards: 0	Rolls: 0	DivApps: 0	Pvision Permits: 0	Pvision Plans: 0
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**Printed Copies**

Aperture Cards: \$0.00	Pvision Permits: \$0.00	16MM: \$0.00	Certification: \$0.00
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**Additional Comments**

**Payment Amount**

Customer Completed Date: 11/17/2017  
 Total: 0.00 Deposit or adjustment: 0.00 Balance due: 0.00

**Total Printed Copy Paid Units**

Aperture Cards	Pvision Permits	16MM	Certified	35MM	Pvision Plans
0	3	0	0	0	0

**Payments Applied**

Receipt	Payment date	Payor	Address	Issued By	Amount
RR031534	11/17/2017	RICHARD DRURY LOZEAU DRURY LLP	410 12TH STREET, SUITE 250 OAKLAND CA 94607	DFARRELL	\$0.30

# EXHIBIT K

**Carol L. Karp**  
Architect A.I.A.

August 28, 2017

State of California  
Office of Historic Preservation  
Department of Parks and Recreation  
P. O. Box 942896  
Sacramento, CA 94296-0001

CERTIFIED MAIL - RETURN RECEIPT REQUESTED

Attention: Julianne Polanco  
State Historic Preservation Officer

Subject: Nomination for Listing  
National Register of Historic Places

RE: Architect Ernest Coxhead's Residence & Studio, 1893  
2421 Green Street, San Francisco, California

Dear Ms. Polanco:

Pursuant to your 4/3/17 letter to Philip Kaufman and subsequent reviews and correspondence with Amy Crain of your office, which have been extensive, enclosed is an original of the nomination document as printed on 8/9/17 and, as instructed by Amy Crain, a USB Flash Drive that contains a complete digital version of the nomination document.

Included enclosures, but separate from the nomination document, are the 8/9/17 letter of approval by the owner, Philip Kaufman and an 8/7/17 letter of support from Nancy Pelosi, House Minority Leader, who also represents the 12<sup>th</sup> Congressional District in San Francisco where the nominated property is located. Also included is the 4/11/17 image use authorization letter from Prof. Richard Longstreth.

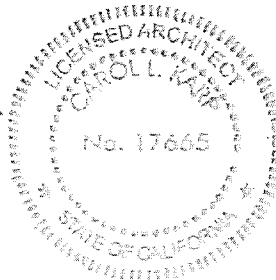
The undersigned are both San Francisco natives who also graduated from UC Berkeley, are both California licensed architects of long standing, and have practiced architecture in Northern California more than 50 years. We live and practice architecture in our house which we designed and built in the rustic contemporary Bay (Area) Tradition we write about in the nomination.

Thank you for your assistance in registering the master architect Ernest Coxhead's own residence and studio, which is a very important original structure, in the National Register of Historic Places.

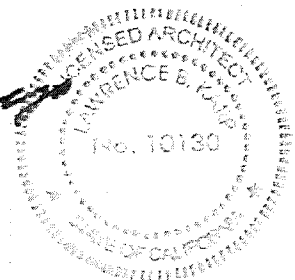
Yours truly,



Carol L. Karp AIA



Lawrence B. Karp NCARB



cc w/enclosures:

Amy H. Crain  
State Historian II, Registration Unit

August 9, 2017

State of California  
Office of Historic Preservation  
Department of Parks and Recreation  
1723 23rd Street, Suite 100  
Sacramento, CA 95816-7100

Attention: Amy Crain  
State Historic Preservation Officer

Subject: Coxhead's Residence & Studio  
2421 Green Street, San Francisco  
National Register of Historic Places  
Nomination for Listing

Dear Ms. Crain:

I am the current owner of the subject property and have been for 28 years.

I support the nomination for listing with the National Register of Historic Places as submitted today by Karp Architects.

Thank you for your assistance.

Sincerely,

A handwritten signature in cursive script that reads "Philip Kaufman".

Philip Kaufman  
2421 Green Street  
San Francisco, CA 94123



Nancy Pelosi  
Democratic Leader  
August 7, 2017

State of California  
Office of Historic Preservation  
Department of Parks and Recreation  
P.O. Box 942896  
Sacramento, CA 94296-0001

Attention: Julianne Polanco  
State Historic Preservation Officer

Subject: Nomination for Listing  
National Register of Historic Places

RE: Architect Ernest Coxhead's Residence & Studio, 1893  
2421 Green Street, San Francisco, California

Dear Ms. Polanco:

It is with great enthusiasm that I write in support of the nomination of Ernest Coxhead's own house for listing in the National Register of Historic Places. I have had the pleasure of visiting Architect Coxhead's residence and studio located at the juncture of Cow Hollow and Pacific Heights. This area in California's 12<sup>th</sup> Congressional District which I represent in Congress. I take special pride in San Francisco's architectural treasures and recognize the Coxhead house as a first of an architectural tradition in the Bay Area. It happens to be in excellent original condition, including brickwork, having survived amazingly intact, the 1906 San Francisco earthquake and fire.

Designed and built before automobiles and never retrofitted with a garage, both the house entry and garden are quietly accessed from the street via a twisting stairway to the west side. The classical entry conceals an ingenious interior with a long glazed entrance gallery running from a high-ceilinged living room at the north to a dining area on the southern rear garden that shares an eastern property line with the garden of the 1867 Casebolt House, San Francisco Landmark No. 51.

The house is shingle style integrated with subtle Cotswold features that Coxhead brought to Northern California. The beautiful non-symmetrical exterior design that is fitted to the land and view was the beginning of what became the First Bay Area Tradition that evolved into Second and Third Bay Area Traditions taught at the University of California, Berkeley, and practiced by the most heralded Bay Area architects. The importance of the house to the evolution of local architecture cannot be overemphasized.

I believe the nomination papers are well done and the Ernest Coxhead's Residence & Studio should be included in the National register of Historic Places.

Thank you for your attention to the remarkable and still beautifully functioning personal home of Ernest Coxhead.

best regards,



Nancy Pelosi

April 11, 2017

State Historic Preservation Officer Julianne Polanco  
California State Office of Historic Preservation  
1725 23<sup>rd</sup> Street Suite 100  
Sacramento, CA 95816-7100

Attn: Registration Unit

Dear Ms. Polanco:

It is my understanding that State Historian II, Amy Crain, who is reviewing the nomination package for the Ernest Coxhead House to National Register of Historic Places, is requesting proof of copyright permissions to use photographs from my archives and my published work.

Please accept this letter as that proof and proof that I support the use of images from my archives and images of full page images from my published work to support the Ernest Coxhead House nomination package.

Sincerely yours,



Richard Longstreth, Ph.D.

Cc: Amy Crain via email

Richard Longstreth  
Professor of American Civilization ■ George Washington University  
2108 G Street, Room 202  
[rwl@gwu.edu](mailto:rwl@gwu.edu) ■ 202-994-6098



United States Department of the Interior  
National Park Service

# National Register of Historic Places Registration Form

This form is for use in nominating or requesting determinations for individual properties and districts. See instructions in National Register Bulletin, *How to Complete the National Register of Historic Places Registration Form*. If any item does not apply to the property being documented, enter "N/A" for "not applicable." For functions, architectural classification, materials, and areas of significance, enter only categories and subcategories from the instructions.

### 1. Name of Property

Historic name: Coxhead, Ernest Residence and Studio

Other names/site number: None

Name of related multiple property listing: N/A

(Enter "N/A" if property is not part of a multiple property listing)

### 2. Location

Street & number: 2421 Green Street

City or town: San Francisco State: California County: San Francisco

Not For Publication:  Vicinity:

### 3. State/Federal Agency Certification

As the designated authority under the National Historic Preservation Act, as amended, I hereby certify that this \_\_\_ nomination \_\_\_ request for determination of eligibility meets the documentation standards for registering properties in the National Register of Historic Places and meets the procedural and professional requirements set forth in 36 CFR Part 60.

In my opinion, the property \_\_\_ meets \_\_\_ does not meet the National Register Criteria. I recommend that this property be considered significant at the following level(s) of significance:

\_\_\_ national \_\_\_ statewide \_\_\_ local

Applicable National Register Criteria:

\_\_\_A \_\_\_B \_\_\_C \_\_\_D

<hr style="border: 0; border-top: 1px solid black; margin-bottom: 5px;"/> <b>Signature of certifying official/Title:</b>	<hr style="border: 0; border-top: 1px solid black; margin-bottom: 5px;"/> <b>Date</b>
<hr style="border: 0; border-top: 1px solid black; margin-bottom: 5px;"/> <b>State or Federal agency/bureau or Tribal Government</b>	

<p>In my opinion, the property ___ meets ___ does not meet the National Register criteria.</p>	
<hr style="border: 0; border-top: 1px solid black; margin-bottom: 5px;"/> <b>Signature of commenting official:</b>	<hr style="border: 0; border-top: 1px solid black; margin-bottom: 5px;"/> <b>Date</b>
<hr style="border: 0; border-top: 1px solid black; margin-bottom: 5px;"/> <b>Title :</b>	
<b>State or Federal agency/bureau or Tribal Government</b>	

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**4. National Park Service Certification**

I hereby certify that this property is:

- entered in the National Register
- determined eligible for the National Register
- determined not eligible for the National Register
- removed from the National Register
- other (explain:) \_\_\_\_\_

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Signature of the Keeper

Date of Action

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**5. Classification**

**Ownership of Property**

(Check as many boxes as apply.)

- Private:
- Public – Local
- Public – State
- Public – Federal

**Category of Property**

(Check only **one** box.)

- Building(s)
- District
- Site
- Structure
- Object

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**Number of Resources within Property**

(Do not include previously listed resources in the count)

Contributing	Noncontributing	
<u>1</u>	<u>          </u>	buildings
<u>          </u>	<u>          </u>	sites
<u>          </u>	<u>          </u>	structures
<u>          </u>	<u>          </u>	objects
<u>1</u>	<u>0</u>	Total

Number of contributing resources previously listed in the National Register 0

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**6. Function or Use**

**Historic Functions**

(Enter categories from instructions.)

DOMESTIC/single family dwelling

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

**Current Functions**

(Enter categories from instructions.)

DOMESTIC/single family dwelling

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

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**7. Description**

**Architectural Classification**

(Enter categories from instructions)

Shingle Style - Late Victorian Period

Arts & Crafts - First Bay Tradition

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**Materials:**

(Enter categories from instructions)

Foundation: Exposed common brick, running bond

Walls: Wood framed, cedar shingles, redwood trim

Entry Portico: Cement plaster over brick

Roofing: Western Red Cedar Shingles

**Narrative Description**

(Describe the historic and current physical appearance and condition of the property. Describe contributing and noncontributing resources if applicable. Begin with a **summary paragraph** that briefly describes the general characteristics of the property, such as its location, type, style, method of construction, setting, size, and significant features. Indicate whether the property has historic integrity.)

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**Summary Paragraphs**

The Coxhead Residence and Studio was designed by California architect Ernest Albert Coxhead and built in 1893 as his personal residence and studio in which he lived with his family while he practiced architecture in San Francisco. Coxhead's own residence is the quintessential example of his genius. Acknowledged as forefather of the regional design mode "First Bay Area Tradition", he was a master in manipulating architectural elements and also fusing Arts & Crafts with native materials. His work, his own home as a striking exemplar, evolved into residential architectural design practiced by important architects in Northern California ever since the 1890s.

The house is located on a steep narrow mid-block 25 by 137 foot lot at 2421 Green Street at the juncture of the Pacific Heights and Cow Hollow Districts in San Francisco. It is a three-story, wood-framed building clad in red cedar shingles trimmed with painted redwood Arts & Crafts fenestration and trim. It has a rectangular plan with steeply pitched roofs and articulated dormers and ribbons of windows facing San Francisco Bay and neighboring gardens. The staircase from the street is integrated into the articulated cement plastered brick foundation that connects the western side of the house to the steep urban site while hiding the classical entry from street view.

The rear garden is contiguous with the garden of the Casebolt House, San Francisco Landmark 51. The beautifully landscaped garden is neatly hardscaped with original brick. The garden and space between it and the house faces south with unobstructed light or fog reflected sunlight from South, East, and West. The building is a short walk to the Presidio of San Francisco, a National Historic Landmark District. The Ernest Coxhead House is in outstanding original condition, including its strategically placed Cotswold features. It survived the 1906 earthquake and fire intact and retains an unusually high degree of historic integrity.

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## Narrative Description

Ernest Coxhead's Residence and Studio is one of the first and finest examples of Late Victorian Shingle Style, also known as the Bay Area Shingle Style (see Coxhead's Julian Waybur House, NRHP 11000143) and architecture of the First Bay (Area) Tradition. This property has been written about in notable books including the scholarly work of Richard Longstreth (architectural historian and professor at George Washington University where he directs the historic preservation program). His book, On the Edge of the World, covers four architects at the turn of the 20th century (Ernest Coxhead, Willis Polk, A.C. Schweinfurth, and Bernard Maybeck). The house is also featured in the important book Shingle Styles by Leland M. Roth (doctorate Art History, Yale Univ.; Marion Dean Ross Professor of Architectural History at the University of Oregon) with extensive photographs by Bret Morgan, the consummate American architectural photographer. Shingle Styles "...celebrates one of America's most original and beautiful idioms--the Shingle Style." It features 30 of "...the nation's finest examples of Shingle architecture." Of the 30 buildings chosen by Roth/Morgan from the entire United States, significantly only two of those buildings featured architects' own homes: Frank Lloyd Wright's home in Illinois and Ernest Coxhead's residence in California. In those 30 of "the nation's finest examples" (including Theodore Roosevelt's Sagamore Hill and Greene and Greene's iconic Gamble House in Pasadena), 12 are by California architects and of those only Coxhead and Maybeck have two buildings featured. Maybeck, who briefly worked for Coxhead and was directly influenced by him, in turn influenced Julia Morgan and later Joseph Esherick (of the Third Bay Tradition). Conclusive evidence of Coxhead's contemporary rustic wooden houses influencing Maybeck is reflected in Maybeck's first independent commission in 1895 for Berkeley's Charles Keeler, author of "The Simple Home", 1904 (Limerick in Winter, pgs. 52-53). In Shingle Styles, Prof. Roth wrote: "...in the intertwined careers and work of Polk, Coxhead, Maybeck, Schweinfurth, Morgan and others the use of shingles as an expression of bohemian creativity and artistic freedom would be introduced to San Francisco and around the Bay Area, establishing a regional tradition that would flourish for several generations." (Roth, p. 34). This can last be seen in the most recently built of the 30 American buildings featured by Roth/Morgan that was designed by Esherick ("Fourest" 1957) as well as the other houses of the Third Bay Tradition exemplified by many residences at Sea Ranch by William Turnbull and Esherick, notably including Esherick's own brick and shingle house at 75 Black Point Reach.

This new regional design at that time was considered an answer to Coxhead's close friend architect Willis Polk's call for an intelligent expression for a house of moderate cost. Coxhead answered the call and showcased his ideas in his own residence on a narrow, deep lot at 2421 Green Street. The street frontage faces north with natural San Francisco Bay breezes cooling the house with carefully positioned windows and steeply pitched dormers grounded on brick foundation walls integrating the house to the site as an exemplary piece of Coxhead's residential architecture where "...his rustic aerie survives...an enchanted little world of domestic delight." (Roth, p.128). Largely because of this important residence, Prof. Roth calls Coxhead "...one of the most enigmatic, but masterful architects the new idiom." (Roth, p.31)

This house is one of Coxhead's nineteenth century San Francisco buildings that survived the devastating 1906 San Francisco earthquake and fire and it features many of the wistful English architectural details that were featured in Coxhead's Church of St. John the Evangelist at 15<sup>th</sup> and Julian Streets (**Figure 3**) that was destroyed by dynamiting to block the fire caused by ruptured gas lines in the 1906 tragedy. In addition to the respected and influential books by Roth/Morgan and Longstreth, the house at 2421 Green is listed in the Junior League of San Francisco's "Here Today" files and is referenced in the associated book as a significant contributor to the character of San Francisco (Olmsted, p. 329).

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The shingled architectural details of the Arts and Crafts vernacular that Coxhead features in this property profoundly influenced designs by Bay Area architects including Bernard Maybeck, Julia Morgan, Willis Polk and other practitioners of an architectural style that became known as Bay Area Shingle Style or the “Bay Tradition School of Regional Modern design” as described by architectural historian and preservation planner Mary Brown (see bibliography). Her work for the California Office of Historic Preservation starting with the First Bay Tradition followed by the Second and Third Bay Traditions as described below:

*First Bay Tradition (late 1880s to early 1920s):*

First Bay Tradition buildings are characterized by:

- Sensitivity to their surroundings and the unique requirements of the site and client.
- Natural materials, particularly redwood and red cedar shingles
- Modern building methods and materials blended with witty historic details
- Emphasis on craftsmanship, volume, form, and asymmetry.

Followed by influenced architects Henry Hill, William Wurster, William Merchant, and Gardner Dailey in the *Second Bay Tradition*:

*Second Bay Tradition (1928-1942):*

Second Bay Tradition was basically a rustic but contemporary style using redwood post and beam construction.

Followed by more recently influenced architects Charles Moore, Joseph Esherick and William Turnbull in the *Third Bay Tradition*

*Third Bay Tradition (1945-1980):*

Third Bay Tradition is a hybrid architecture of modern and vernacular styles that had its roots in the greater San Francisco Bay Area, best known group of more recent examples are at Sea Ranch on the Mendonoma Coast in Sonoma County.

**Site and Setting**

The site is a compact sloping urban lot (**Figure 2, Figure 13**) on the steep slope of Green Street between Scott and Pierce Streets at the juncture of districts known as “Pacific Heights” and “Cow Hollow” in San Francisco with Eastern and Western exposures on the side yards and a Northern exposure at the street frontage with views of San Francisco Bay and its islands. The block was subdivided after Casebolt’s Cow Hollow house (Landmark 51) at 2727 Pierce was built in 1867. Coxhead carefully positioned windows in his house to capture views of the descending slope. The site has a Southern rear yard that captures direct sunlight nurturing a garden that backs onto neighboring gardens creating a park like setting at the back of the house. One of the neighboring gardens is for the Casebolt House.

The site with its narrow street frontage allowed Coxhead to showcase one of his design trademarks: A tower façade. This design maximizes the views of the San Francisco Bay from within the house. This design feature is part of his ecclesiastical designs as utilized in his Church of the Angels in Los Angeles and All Saints Church in Pasadena. Another notable architect of the times, Willis Polk, continued to use this design feature.

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The elevations of the house emphasize the setting and the way the building transitions from public street to private space with simple window articulation and a clustering of classical style elements around the entrance. Coxhead used a similar design feature, although at the street, in the Charles Murdock House at 2710 Scott Street, another notable house and garden design by Coxhead for close friend Charles Murdock who was a printer for the works of his friends Bret Harte, Robert Louis Stevenson, John Muir and William Keith. This leads to the speculation that Coxhead traveled in their circle (Longstreth, p. 132). The Murdock House can be seen from the garden behind Coxhead's own house. These writers and their friends were of immense historical importance in the history of San Francisco.

Architecturally unchanged since the original construction date with only a few necessary modernizations, the site and setting of this house is elaborately described in Longstreth's book On The Edge of the World as being representative of Coxhead's lead in the shift of architectural design to achieve a dramatic effect by adapting a cottage to a difficult site as follows:

"By 1893 an important shift occurred in Coxhead's approach, evident in the adjacent residence built for himself and his brother Almeric [2421 Green] (**Figures 1 and 4**). Like the Williams-Polk house, it exploits a difficult site to achieve a dramatic effect. The design is also a more sophisticated interpretation of English precedents than was McGauley's [2423 Green]. The narrow street frontage is accentuated by a towerlike façade that has a taut, abstract quality. The bands of little windows set flush against the surface were probably inspired by recent London work of [Richard Norman] Shaw and others. However, the composition is more simplified and softened than English models, in keeping with the building's size and materials. The west elevation, facing McGauley's yard, with its dominant horizontality and rural character, contrasts with the [street] façade and underscores the transition from public to private space. Expanses of shingled wall and roof surfaces, interrupted only by the simplest window articulation, extend from a pivotal clustering of elements grouped around the front door. The composition may well have been inspired by (Charles) Voysey's early projects, but Coxhead's version is more compact and mannered at its focal point and less regimented elsewhere. Toward the rear, the house looks somewhat like a Surrey barn that has been remodeled in a straightforward way, lacking the studied poise of the street façade (**Figure 5, Photo 11**). Front and rear are set in opposition, while the overriding simplicity of detail lends cohesiveness to the whole. Both the imagery and the studied casualness present in this design owe a major debt to English arts-and-crafts work, which became a guidepost for Coxhead's work during the next several years. But neither Coxhead nor Polk considered the Arts and Crafts Movement to be a discrete entity; instead they appear to have viewed it as a potent source for expression in rustic design – an updated equivalent of the Shingle Style – that was appropriate to the design of modest houses." (Longstreth, p. 128-129)

Representation of the building and its integration with site has been described by other historians as an interpretation of English architecture into a California style known to influence friends and colleagues Maybeck, Polk, and Morgan (Weintraub). Historian Coombs' describes Coxhead's work this way:

"His concept of spacial organization was repeated in and embellished on his San Francisco house, which is a suave integration of the shingle style with British domestic planning. On a long narrow site overlooking the bay, he created an attenuated shingle clad house, which is both dramatically vertical and well-integrated into the earth. The short end of the house is turned towards the street and here again, Coxhead used glazed areas as generators of articulation. He plays with differences in window size to increase the apparent size of the house." (Coombs)

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### Exterior House Details

The building is a unique solution for a house on this type of lot in San Francisco. It is urban in character in the front and quite relaxed like a freestanding house in the country at the rear. The entry portico and staircase that join the building with the street (**Figure 9**) leads one to a classical style front door that provides an articulated entry into the residence (**Photo 15**). Architectural historians have written about this specific design feature and how it brought European design to the San Francisco Bay area: "There is an ever-changing path up to and through the premises with the entrance reached by a series of winding steps and landings that become progressively constricted...as if it were an alley in an Italian hill town" (Longstreth, p. 129) (**Figure 8**).

The Shingle Style exterior of the house is an exemplary expression of the adaption of Coxhead's classical training with local features and materials into a new California architectural style. It is possible that Coxhead, as architect for the neighboring house to the West that he designed for friend James McGauley in 1891-1892, discovered the lot for this house (**Figure 2**) through that commission (Longstreth). Coxhead could have recognized there would be enough open space on the east and west elevations to glaze much of these elevations. He then carefully positioned bands of windows to capture San Francisco Bay views and sunlight from the East and West (probably inspired by recent London work of Richard Norman Shaw, bringing more English architecture influence to San Francisco). Coxhead also positioned rooftop dormers on the narrow building to capture the maximum amount of natural light into the interior of the residence in an urban setting (**Photo 12**).

These unique (at that time) exterior details have been written about extensively in architectural historian Leland Roth's work and depicted as a notable example of this style in his book on Shingle Style Architecture with photographer Bret Morgan (**Figure 7**).

### Interior House Details

The (in 1893, novel) interior has been studied, described and photographed in numerous historians' works, two being architectural historian Weintraub's work with photographer Weingarten, *Bay Area Style: Houses of the San Francisco Bay Region* (**Figures 10, 11, 12**) and also by architectural historian Leland Roth with photographer Bret Morgan in their book curating Shingle Style Architecture: *Shingle Styles: Innovation and Tradition in American Architecture 1874-1982* (**Figures 14, 15, 16, 17, 18**).

The horizontal plan with a long gallery (an English design detail) emphasizes one of the natural features of the site: its narrowness and depth (**Figure 1**). Coxhead's design solution gets the maximum space and visual interest for the size of the lot. Inside the house, with carefully positioned openings, arched doorways, and varying ceiling heights emphasizing condensed spaces (**Photos 16, 17, 18, 19, 21, 22, 23**) and carefully positioned exterior windows to capture unique views exclusive to the San Francisco Bay region (**Photos 20 & 22**) an interior experience is created that in 1893 defined a new San Francisco Bay architecture style.

Architectural historian Dr. Richard Longstreth wrote about it extensively in 1983. Longstreth, who considers this house a very significant house in the architectural history of San Francisco eloquently describes the interior in his book, *On the Edge of the World*, and why he considers this house a very significant house in the history of San Francisco architectural development:



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“A transition occurs at the front door, spatially echoing the change in character between the front and rear portions of the house. Inside, the emphasis is wholly horizontal. The long gallery, the plan’s one English component, is unlike its prototypes in that it generates a sense of continuity while dramatizing the site’s narrow form through variations in space and light (**Figure 20**). From the dark vestibule the corridor gradually becomes brighter, expanding into a glazed bay that serves as a secondary sitting area, with borrowed vista of McGauley’s yard. The gallery brightens further at the end, where windows on two sides open into a secluded garden. In the other direction the space unfolds more rapidly, lapping down a broad turn of steps in a circuitous path to the living room. Although the stair is directly opposite the entrance, it is encased so as not to interrupt the horizontal emphasis. The living room is unusually large for a house of this size and is made even more expansive by grandly scaled redwood paneling and beams (**Figure 21**). The living room windows are placed only at the corners, and each one is at a different height. Like a periscope, the highest window bank catches a segment of the McGauley house. At the far corner, the platform and attendant bench offer an observation deck from which to view houses across the street and catch glimpses of the Bay beyond. Paralleling the Williams-Polk house interiors, the sequence and manipulation of each zone imply an extension of space, mitigating the property’s narrow confines.” (Longstreth, p. 130-131)

What is surmised to be the studio room (**Photos 31 & 32**) for Coxhead’s drafting studio is on the top floor at the front of the house facing the street. It is naturally lit with North and East facing windows overlooking the street with views of the San Francisco Bay in the distance. It has wooden floors, typical for an architect’s studio, and has a small footprint. Its size is amplified with a vaulted ceiling with exposed trusses. A hearth at the South entrance to the room with an adjacent warming bench is located by a British style ship’s door that can be closed for privacy.

Considering the number of historians who have written about this work in books and papers and have had their work published locally, nationally, and internationally, this property accomplishes everything Coxhead was trying to achieve in his new style of residential architecture in 1893. As one of first examples of the First Bay Tradition (Brown) and the Bay Area Shingle Style the details built here are designed and built in Coxhead’s other notable works including the Julian Waybur House, the Murdock House, and the John Kilgarif House among others.

### **Alterations**

Few alterations have been made since the house was originally constructed. A North living room window was added, presumably by Coxhead to emphasize the view of San Francisco Bay because only early photos immediately following construction do not show this window, (Longstreth, p. 128).

Maintenance and minor modernization that do not alter the house’s physical appearance or plan have been done to keep the house in compliance with code and to preserve its functionality as a notable house in one of the first neighborhoods in San Francisco to be functional with indoor plumbing, gas, and electricity.

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### Integrity

The Ernest Coxhead Residence and Studio and its integration into the unique site and setting captures the essence of what Coxhead designed as one of the first Bay Area Shingle Style (see Julian Waybur House) houses, also known as the First Bay Tradition (Brown) and it retains excellent historic integrity to convey the property's significance.

The house remains in its original location and the original Coxhead design is fully intact and retains its physical materials and aspects of construction from the period of significance. High quality workmanship is evident in the interior details of the fireplaces, millwork, art glass, windows, and doors. Carefully positioned windows that can be opened capture views of neighboring San Francisco City Landmark Casebolt House at 2727 Pierce, views of San Francisco Bay, and the sounds of the fog horns from the Golden Gate to give one a complete sense of the uniqueness of the place. These features and the design features of the house and its urban garden convey Coxhead's unique architectural design theories in 1893 that evolved into what is known today as Bay Area Shingle Style.

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## 8. Statement of Significance

### Applicable National Register Criteria

(Mark "x" in one or more boxes for the criteria qualifying the property for National Register listing.)

- A. Property is associated with events that have made a significant contribution to the broad patterns of our history.
- B. Property is associated with the lives of persons significant in our past.
- C. Property embodies the distinctive characteristics of a type, period, or method of construction or represents the work of a master, or possesses high artistic values, or represents a significant and distinguishable entity whose components lack individual distinction.
- D. Property has yielded, or is likely to yield, information important in prehistory or history.

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**Criteria Considerations**

(Mark "x" in all the boxes that apply.)

- A. Owned by a religious institution or used for religious purposes
- B. Removed from its original location
- C. A birthplace or grave
- D. A cemetery
- E. A reconstructed building, object, or structure
- F. A commemorative property
- G. Less than 50 years old or achieving significance within the past 50 years

**Areas of Significance**

(Enter categories from instructions.)

ARCHITECTURE  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

**Period of Significance**

1890-1924  
\_\_\_\_\_  
\_\_\_\_\_

**Significant Dates**

1892-1893  
\_\_\_\_\_  
\_\_\_\_\_

**Significant Person**

(Complete only if Criterion B is marked above.)

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

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**Cultural Affiliation**

N/A

**Architect/Builder**

Coxhead, Ernest Albert

**Statement of Significance Summary Paragraph** (Provide a summary paragraph that includes level of significance, applicable criteria, justification for the period of significance, and any applicable criteria considerations.)

The Ernest Coxhead Residence and Studio is eligible for the National Register at the local level of significance under Criterion C in the area of Architecture as the exemplary work of European trained master architect Ernest Albert Coxhead who contributed to a unique American style of Architecture. A mentor for many California architects, Ernest Coxhead built the house as his private family residence in San Francisco with the assistance of his brother Almeric Coxhead who managed his business (Longstreth, p. 128).

The house is an outstanding example of the way Coxhead merged Victorian and Arts & Crafts architectural styles, popular at that time, with English and European Revival Styles to create a new form of contemporary American architecture, the Bay Area Shingle Style. Coxhead drew heavily from historic English precedent and he also looked to work of his English contemporaries but in this house, his own home, he showcased his ideas for creating exceptional design on what most considered a difficult site to build and an excuse for moderate architecture: a narrow city lot.

Coxhead was responsive to the site, a type of site that was characteristic of the San Francisco Bay Area at that time. Along with Willis Polk, Coxhead created entertaining responses to the pronounced irregularities of the Bay Area's terrain, maximizing views of the natural features of the San Francisco Bay Area from the property, a design technique then beginning to be embraced in the Bay Area in 1893. This design is the embodiment of natural simplicity adapted to a complex site. The period of significance is 1893, the year of construction (Longstreth).

**Narrative Statement of Significance** (Provide at least **one** paragraph for each area of significance.)

This unique property was one of the first examples of Bay Area Shingle Style Architecture, or First Bay Tradition (Brown), and was the personal residence and showcase for these ideas for English Architect, Ernest Albert Coxhead.

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### **Ernest Coxhead, biography, related to this property**

This house was owned by Ernest Coxhead (1863-1933) (**Figures 6 [at the house] and Figure 23**) was a English, European trained architect who arrived in California just before the turn of the twentieth century. Ernest, the fourth of six children, was born in the Sussex coastal town of Eastbourne and raised in a family of moderate means. His father was a schoolmaster in Hampstead, and later a lodging-house keeper in Sussex coastal towns. At fifteen Coxhead began working for a local civil engineer, George Wallis, doing public works projects in Eastbourne.

In 1883 Coxhead attended the Royal Academy of Fine Arts in London and in November 1886 he was elected an associate of the Royal Institute of British Architects (RIBA) where he won the Silver Medal for drawing. The time Coxhead spent at the Academy gave him the most thorough preparation in architecture then available in England. Richard Phene Spiers, master at the Academy and classically trained at the Ecole des Beaux Arts in France, led Coxhead's training in the theory that buildings should rationally express their function and materials, a key theory used in the design of this property.

Upon conclusion of his studies at the Academy, Coxhead left England for the United States. He opened an office in Los Angeles assisted by his older brother in 1887. Almeric took charge of the firm's business affairs with his promise of work from the Episcopal diocese designing their churches and the promise of work in California as the new Eden. (Longstreth, p. 51).

In 1889, by then a well-established designer of churches in southern California, Coxhead moved to San Francisco with his brother Almeric with commissions to design more churches, and the promise of commissions in public and residential architecture for wealthy emerging civic leaders and philanthropists: an opportunity to create a new style of architecture. In 1893 he designed and built this house with a studio for himself and his family at 2421 Green Street in San Francisco. As his personal residence, he presumably used it to express his ideas and training in architectural design and to showcase his new design theories and ideas using local materials for friends, colleagues, and clients to see and is an excellent example of the start of the Bay Area Shingle Style. This property provides a lead in directing Bay Area culture away from the Victorian Era into the Modern. At that time in this property Coxhead with his European training had a fresh environment to explore a new style of architectural design with colleagues and young architects including Bernard Maybeck, Willis Polk, and A.C. Schweinfurth among others.

One of his first commissions in San Francisco was the California adaptation of classical design in a church, St. John the Evangelist, 1890-91, (**Figure 3**). This building was unfortunately lost in the fire following the 1906 earthquake but some of the features of this church were used in this property (the interpretation of classical design, the tower-like façade and maximizing views of the San Francisco Bay, for example).

During Coxhead's time living at this property he was inspired to organize and direct the A.E.F. School of Architecture for members of the United States armed forces stationed in France from 1918 to 1919 (UC Berkeley Environmental Design Archives), presumably teaching design research studied while living at this house.

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### **Coxhead & Coxhead, the firm**

As most architect's own homes are, it was used as an example of Coxhead & Coxhead's work, and presumably a studio where Coxhead & Coxhead designs were developed.

Ernest Coxhead started working with his older brother Almeric in January 1887 in Los Angeles, California. Almeric ran the business affairs leaving Ernest to focus on architecture and design. Coxhead's commissions included churches, residences, public buildings and schools with one of his primary sponsors being the Reverend of the Swendenborgian Church Joseph Worcester for whom he built churches and residences, all expressing the unique characteristics of the natural materials available in the San Francisco Bay area and simplicity of design. The Coxhead office moved to the Hearst Building in San Francisco in the early 1890s and transitioned from ecclesiastical architecture to residential architecture at that time. A partial list of some of the more notable commissions are listed below. This list has been compiled from a number of sources, primarily through the research work of Longstreth and Weinstein as noted in the bibliography. With few office records remaining—Coxhead's downtown San Francisco office was destroyed in the 1906 earthquake and fire—a complete list of Coxhead's work may never be compiled.

#### **Churches**

- Church of St. Augustine-by-the-Sea, 12274th St., Santa Monica, 1887 (d)
- Church of the Ascension, St. Louis Street, Los Angeles, 1887
- All Saints Episcopal Church, Euclid Ave., Pasadena, 1888
- Church of the Epiphany, Altura St., Los Angeles, 1888
- Church of the Messiah, Bush St., Santa Ana, 1888
- First Presbyterian Church, 3rd and Arizona St., Santa Monica, 1888
- First English Lutheran Church, 8th and Flower St., Los Angeles 1888 (d)
- Christ Episcopal Church, Santa Clara and Grand, Alameda, 1889
- First Congregational Church, 6<sup>th</sup> and Hill, Los Angeles, 1889
- Memorial Church of the Angels, Avenue 64, Los Angeles, 1889
- St. John's Episcopal Church, El Dorado and Miner, Stockton, 1889
- St. John's Episcopal Church, Guild Hall, El Dorado and Miner, Stockton, 1889(a)
- Chapel of St. John the Evangelist Episcopal Church, 1860 S. Chelton Rd., Monterey, 1890 (**Figure 24**)
- Chapel of St. Mary the Virgin, Filbert, between Filmore and Steiner, San Francisco, 1890
- Chapel of the Holy Innocents, 455 Fair Oaks, San Francisco, 1890
- Church of St. John the Evangelist, 15<sup>th</sup> and Julian Streets, San Francisco, 1890 (d) (**Figure 3**)
- St. John's Episcopal Church, 5th and C Streets, Petaluma, 1890
- Church of the Advent, 11<sup>th</sup> Street, San Francisco, 1891, (**Figure 25**) (d)
- First English Lutheran Church, 16th and J, Sacramento, 1891(d)
- St. James Episcopal Church, Paso Robles, 1891
- St. Peter's Episcopal Church, Jefferson and Elm, Red Bluff, 1891
- Trinity Church, 1668 Bush St., San Francisco, 1891
- St. Luke's Church, Van Ness and Clay, San Francisco, 1896
- Chapel, Church Divinity School of the Pacific, San Mateo, 1901 (d)

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### Public and Civic Buildings

Luning Building, Market, Drumm, and California Streets, San Francisco, 1892 (d)  
Oakland Gas Heat and Lighting Company Building, 13th and Clay, Oakland, 1892 (d)  
Beta Theta Pi fraternity house, 2607 Hearst Ave., Berkeley, 1893  
Commercial building for Luning Estate, Turk and Larkin, San Francisco, 1893 (d)  
Pacific Telephone (originally The Home Telephone Company) headquarters, 333 Grant, San Francisco, 1908

Described as “remarkably modern” and “quirky” Ernest Coxhead’s notable home designs including 2421 Green are elaborately described by David Weinstein in his book with photographer Linda Svendsen published by Gibbs and Smith, *Signature Architects of the San Francisco Bay Area* (**Figures 26, 27, 28, 29, 30**):

### Residences

Alpheus Sturge House, Thomas Street, Los Angeles, 1888  
James McKinley House, West Adams Ave., Los Angeles, 1889 (d)  
James Davis House, San Mateo, 1890 (d)  
David Greenleaf House, Santa Clara Ave., Alameda, 1891  
James McGauley House, 2423 Green, San Francisco, 1891  
Andrew Carrigan House, Park Drive, San Anselmo, 1892  
E. Wiler Churchill House, Combs Drive, Napa, 1892 (**detail, Figure 28**)  
David Loring House, Channing Way, Berkeley, 1892(d)  
Coxhead Family “Country” Residence, NRHP #00000322, 37 East Inez Ave., San Mateo, 1893. (Typical at that time families had a country residence for the weekends and summer months and city residence to use during the work week).  
William Loy House, Ellsworth Street, Berkeley, 1893 (d)  
Charles Murdock House, 2710 Scott Street, San Francisco, 1893 (**Figure 32**)  
George Whittell House, 1271 Caroline Street, Alameda, 1893  
Edwin Tobias Earl House, Wilshire Blvd., Los Angeles, 1894  
Gillespie House, 2940 Jackson Street, San Francisco, 1894  
Andrew Carrigan House, 96 Park Drive, San Anselmo, 1895  
James Brown-Reginald Knight Smith House, 2600 Jackson St., San Francisco, 1895 (**Figure 31**)  
Earl House, Wilshire Blvd., Los Angeles, 1895  
McFarland House, 400 Clayton Street, San Francisco, 1895  
Russell Osborn House, 3362 Clay Street, San Francisco, 1896  
C.L. Perkins House, 157 Elm, San Mateo, 1896 (d)  
John Simpson House, 2520 Vallejo, San Francisco, 1896 (d)  
James Ferguson House, 2511 Baker Street, north of Vallejo, San Francisco, 1897  
Robert Foute House, 1915 Gough Street, San Francisco, 1897 (d)  
Margaret Jones House, 1820 Washington Street, San Francisco, 1897 (d)  
Lilienthal Houses, California and Gough, San Francisco, 1897  
Alonzo McFarland Apartment House, O’Farrell Street, San Francisco, 1897  
Julian Sontag House, 2700 Scott, San Francisco, 1897, extant  
Irving Scott House, Pacific Avenue, west of Divisadero, San Francisco, 1899  
Sarah Spooner House, San Francisco, 1899-1900

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Charles Dougherty House, Foothill Road, Pleasanton, 1900  
Julian Waybur House, 3232 Pacific Ave., San Francisco, 1900, NRHP #11000143.  
George Bixby House, Long Beach, 1901  
George Stratton House, Hillside Avenue, Berkeley, 1901 (d)

(d) lost, demolished

### **Ownership of Property**

The house was designed and occupied as the architect's personal residence and presumably also used as a studio in 1892, and built in 1893. While the house was under construction, Coxhead lived at 2419 (a.k.a. 2417) Green (Longstreth). From 1893-1922 the residence was owned by the Coxhead brothers. Ernest lived in the home with his wife and three children until 1903. The house was considered a family residence with various members of the Coxhead family meeting and living there during appropriate weather until 1922. In 1922 his brother Almeric sold the house to the E.H. Bosquis (a.k.a. Edward Bosqui) family, a San Francisco painter who sold the house to Reed Hunt a number of years later.

1953 Reed Hunt sold the house to Mr. and Mrs. Francis Carroll.

1968 The James Walker family.

1971 Don and Dian Staley.

1981 Mike and Judy O'Shea. Mike O'Shea was a book artist, painter, and photographer. Judy O'Shea was a corporate CEO, writer, and artist.

1989 Philip and Rose Kaufman. Rose, who passed away in 2009, was a writer and a member of the Motion Picture Academy. Philip Kaufman is a writer, director, and film producer whose films have received 25 Academy Award nominations and 15 Emmy Award nominations. Three films on which he is credited have been inducted into the National Film Registry: *The Right Stuff*, *Raiders of the Lost Ark*, and *The Outlaw Josey Wales*.



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### Archival Material

Philip Kaufman Archives.

Richard Longstreth Collection.

Bancroft Collection. University of California at Berkeley. Ernest Coxhead Architectural Drawings.



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**Boundary Justification** (Explain why the boundaries were selected.)

The building sits on one parcel. The boundary includes the building and the landscapes historically associated with the building.

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**11. Form Prepared By**

Names/Titles: Lawrence B. Karp, Architect & Carol L. Karp, Architect AIA  
Organization: Karp Architects  
Street & Number: 100 Tres Mesas  
City or Town: Orinda State: CA Zip Code: 94563  
e-Mail: lbk@karp.ca & carol@karp.ca  
Telephone: (415) 860-0791  
Date: August 9, 2017

**Additional Documentation**

Submit the following items with the completed form:

- **Maps:** A **USGS map** or equivalent (7.5 or 15 minute series) indicating the property's location.
- **Sketch map** for historic districts and properties having large acreage or numerous resources. Key all photographs to this map.
- **Additional items:** (Check with the SHPO, TPO, or FPO for any additional items.)

**Photographs**

Submit clear and descriptive photographs. The size of each image must be 1600x1200 pixels (minimum), 3000x2000 preferred, at 300 ppi (pixels per inch) or larger. Key all photographs to the sketch map. Each photograph must be numbered and that number must correspond to the photograph number on the photo log. For simplicity, the name of the photographer, photo date, etc. may be listed once on the photograph log and doesn't need to be labeled on every photograph.

**Photo Log**

Name of Property: Coxhead, Ernest, Residence and Studio  
City or Vicinity: San Francisco  
County: San Francisco  
State: California  
Photographer: Kathryn M. Shaffer AIA unless noted otherwise  
Date Photographed: March 23, 2017 unless noted otherwise

Description of Photograph(s) and number, include description of view indicating direction of camera:

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- 1 of 32 Ernest Coxhead house, view from the Northwest (front), camera facing southeast, March 29, 2017.
- 2 of 32 North (front) elevation, camera facing south, March 29, 2017.
- 3 of 32 Northwest (front elevation), camera facing southeast with neighborhood views, Lawrence B. Karp photographer, March 16, 2017.
- 4 of 32 Aerial, North (front elevation) and roof view, aerial camera facing southeast.
- 5 of 32 Aerial, South and East (rear and side elevations), aerial camera facing northwest.
- 6 of 32 Aerial, South and East (rear and side elevation), aerial camera facing northwest.
- 7 of 32 South (rear elevation) with views of San Francisco Bay, camera facing northeast.
- 8 of 32 Aerial photo of entire lot with neighbors and street.
- 9 of 32 North and West views, street elevation, Philip Kaufman photographer, May 23, 2017.
- 10 of 32 Green Street elevation, North (front) elevation, Philip Kaufman photographer, May 23, 2017.
- 11 of 32 South Elevation, Philip Kaufman photographer, May 23, 2017.
- 12 of 32 Dormer detail, Philip Kaufman photographer, May 23, 2017.
- 13 of 32 Entry portico, stair, and steep roof details capturing natural light. Philip Kaufman photographer, May 23, 2017.
- 14 of 32 North elevation, studio window on Northeast corner. Philip Kaufman photographer, May 23, 2017.
- 15 of 32 English entrance blended with Shingle Style. Philip Kaufman photographer, May 23, 2017.
- 16 of 32 Dining room. Philip Kaufman photographer, May 23, 2017.

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- 17 of 32 Dining room with ship's pass through and corner fireplace. Philip Kaufman photographer, May 23, 2017.
- 18 of 32 Ship's stair. Philip Kaufman photographer, May 23, 2017.
- 19 of 32 Gallery ceiling with natural light. Philip Kaufman photographer, May 23, 2017.
- 20 of 32 Attendant bench at window. Philip Kaufman photographer, May 23, 2017.
- 21 of 32 Fireplace detail. Philip Kaufman photographer, May 23, 2017.
- 22 of 32 View of Casebolt house and San Francisco skyline from upstairs window. Philip Kaufman photographer, May 23, 2017.
- 23 of 32 Top floor fireplace and ceiling detail. Philip Kaufman photographer, May 23, 2017.
- 24 of 32 Windows and doors to urban garden. Philip Kaufman photographer, May 23, 2017.
- 25 of 32 Dormers naturally light and ventilate upstairs office. Philip Kaufman photographer, May 23, 2017.
- 26 of 32 Interior gallery and fireplace. Philip Kaufman photographer, May 23, 2017.
- 27 of 32 Interior gallery and ships stair. Philip Kaufman photographer, May 23, 2017.
- 28 of 32 A dramatic English style comforting hearth. Philip Kaufman photographer, May 23, 2017.

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- 29 of 32 Modulated ceiling configurations to achieve a dramatic effect around a cozy hearth. Philip Kaufman photographer, May 23, 2017.
- 30 of 32 View of the Casebolt House from the Coxhead house garden . Philip Kaufman photographer, May 23, 2017.
- 31 of 32 Interior view of the presumed studio of the house and Northeast corner window where Coxhead presumably had his drafting table naturally lit with North light and views of the street and the San Francisco Bay beyond.
- 32 of 32 Exterior view with the corner Cotswold style window presumably for Ernest Coxhead's drafting table on the third floor. The photo shows how the building design maximizes the street frontage and highlights the narrowness of the lot.

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### Location Map

Latitude: 37.795479

Longitude: -122.439416

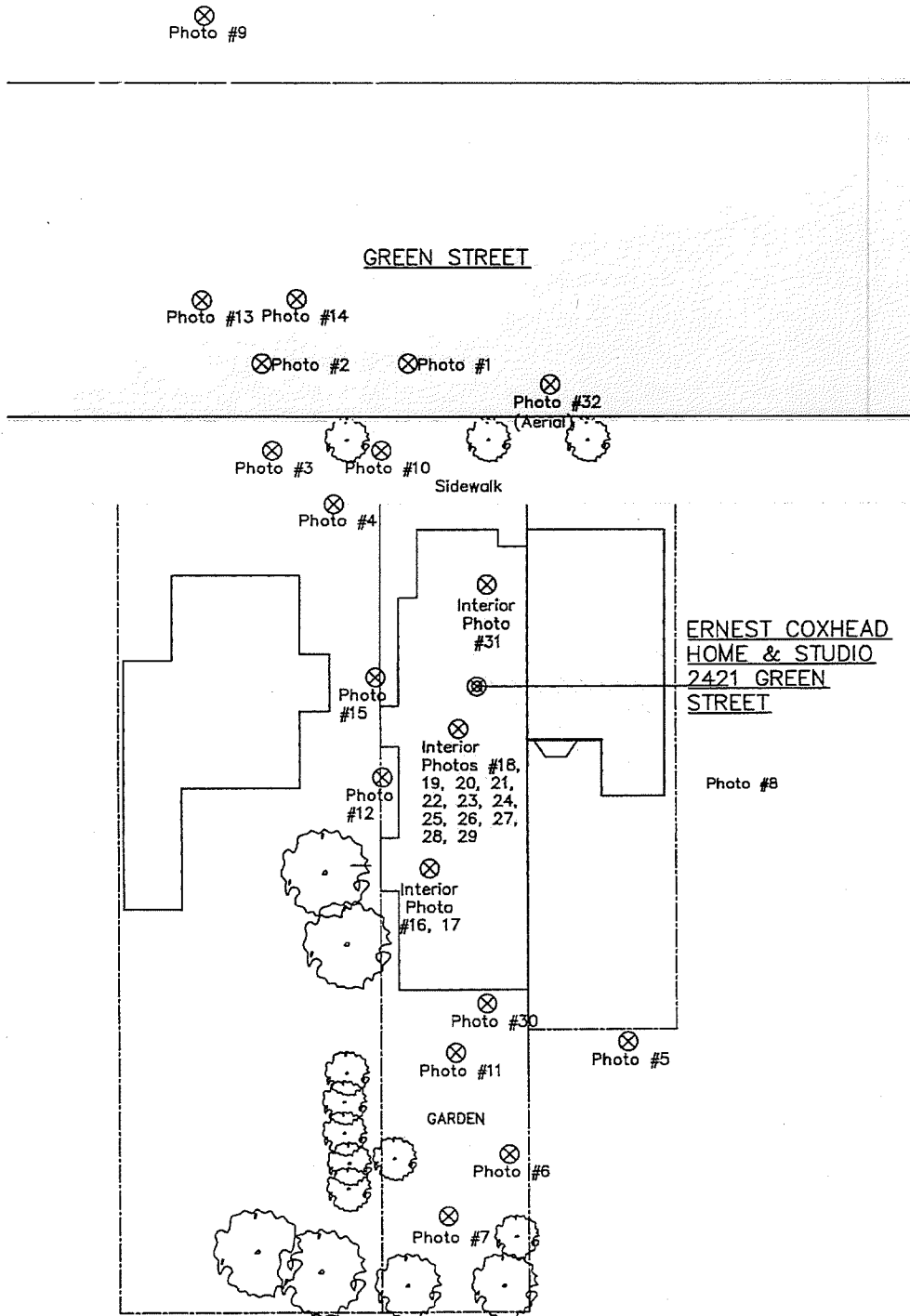




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Sketch Map/Photo Key

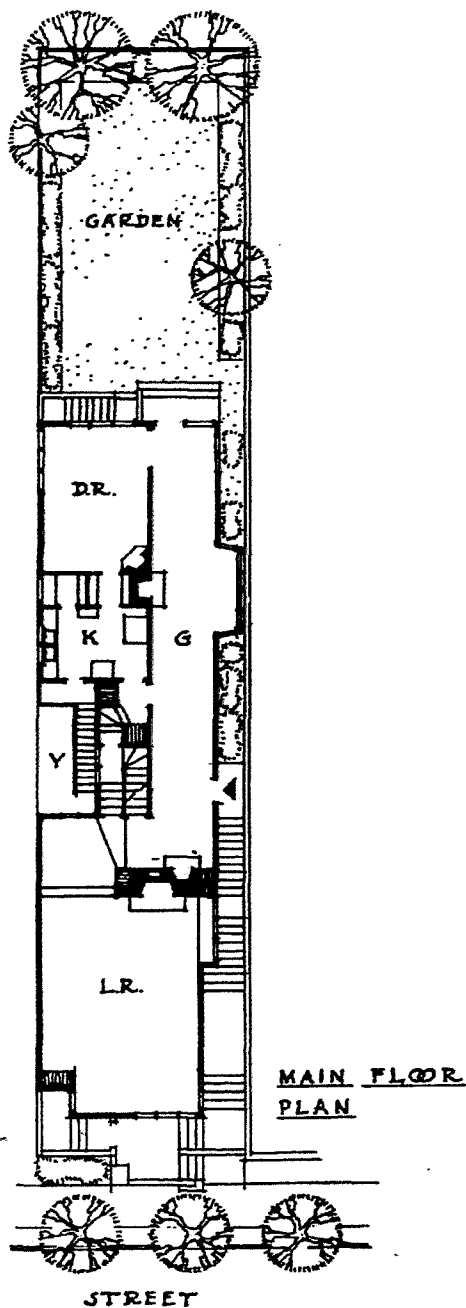


MAP SOURCES: 1914 SANBORN MAP, GOOGLE EARTH, MARCH 21, 2017 (DRAWN BY SHAFFER).

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Figure 1. Floor Plan, drawn by Howard Moise (Longstreth)



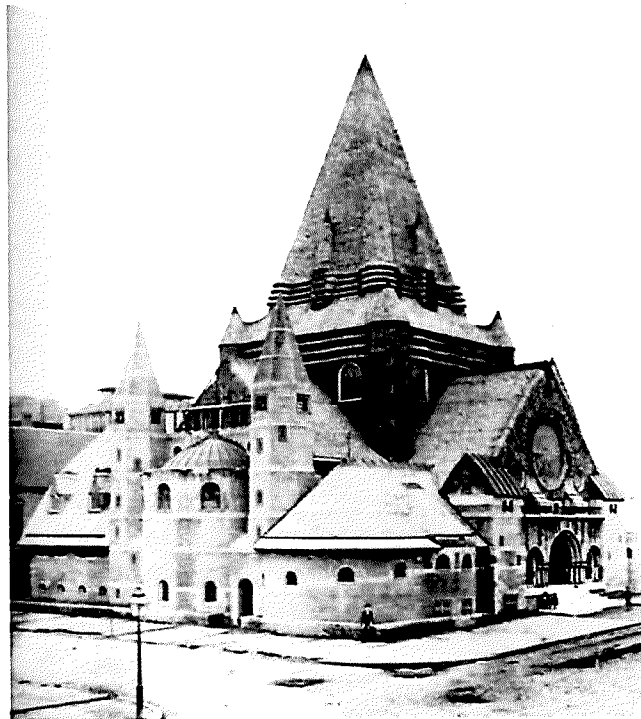
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**Figure 2.** Pre-construction, looking north, 1892; Coxhead lot center, McGauley House left. San Francisco Bay in the distance (Kaufman Archives, photographer unknown)



**Figure 3.** Church of St. John the Evangelist, San Francisco, 1890-91, featuring tower facades and steeply pitched roofs also featured in The Ernest Coxhead Residence and Studio, destroyed 1906 (Longstreth, p. 97, photographer unknown) .



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**Figure 4.** Ernest Coxhead house, 1893 (*during construction, left*) James McGauley house, 1892 (*right*) (Longstreth, p. 128, photographer unknown)



**Figure 5.** Coxhead house, uphill, rear view, of the West and South elevations, 1893, during construction (Longstreth, p. 128, courtesy John Beach, photographer unknown)



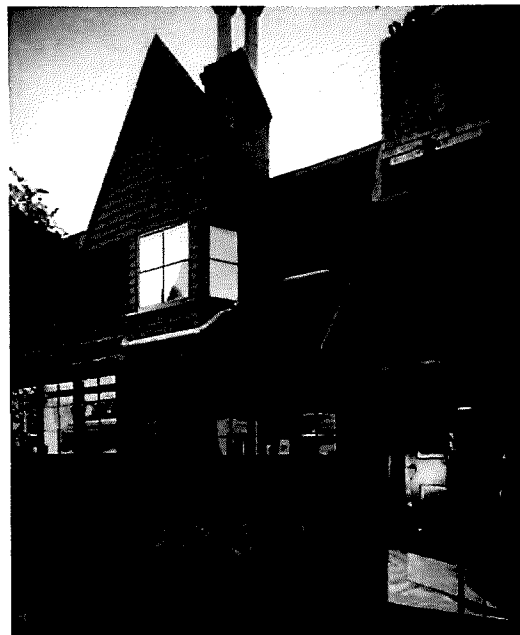
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**Figure 6.** “Coxhead with his daughter in the garden of their San Francisco house. ca. 1900 (courtesy John Beach).”(Longstreth, p. 4).



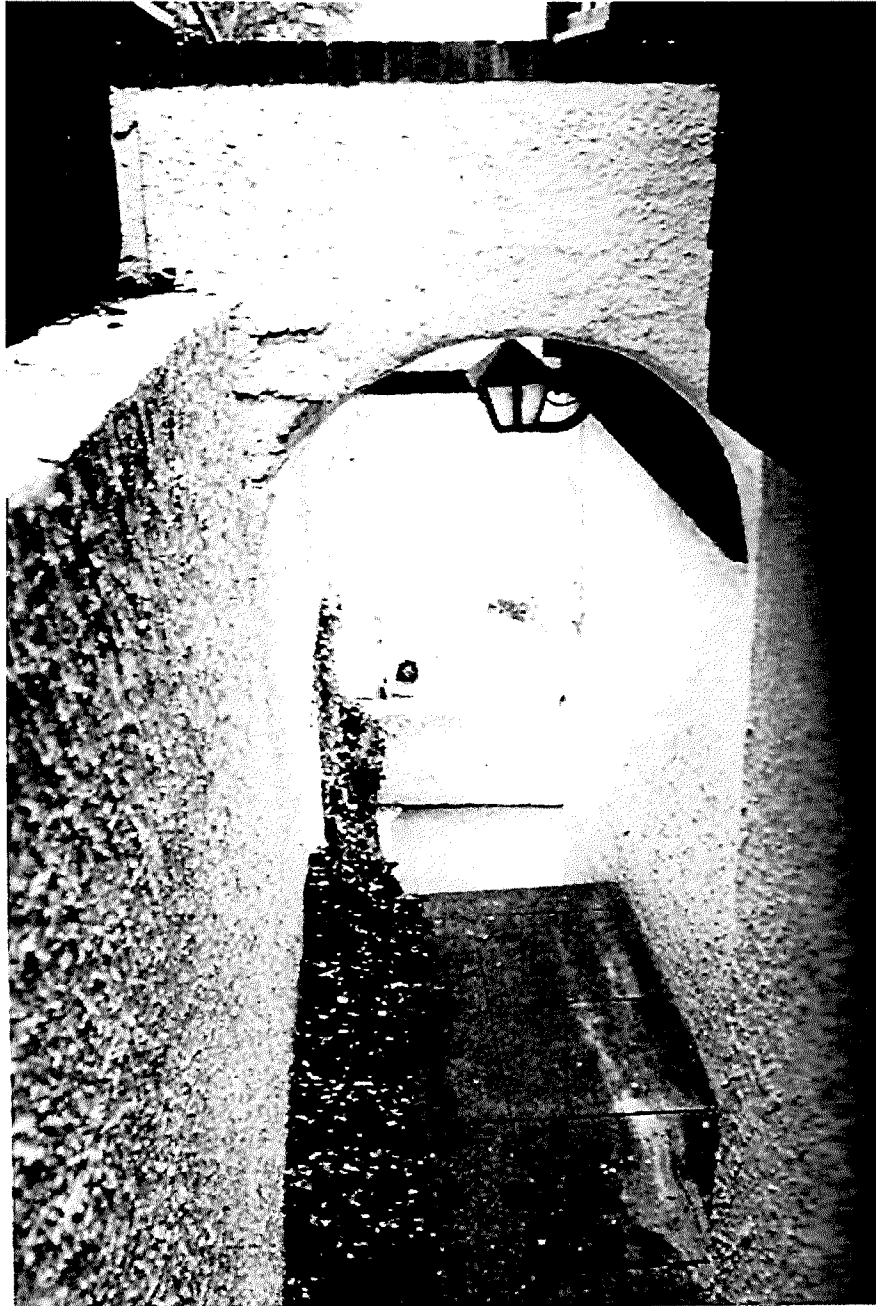
**Figure 7.** “Ernest Coxhead’s House, San Francisco, California, 1893...thanks to his work and education Coxhead possessed a solid grounding in classical design, with its emphasis on a clear expression of the building program and its emphasis on proportions.” Excerpt from *Shingle Styles: Innovation and Tradition in American Architecture 1874 to 1982* (Roth/Morgan © 1999, pages 124-129)



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**Figure 8.** “In his own residence there is an ever-changing path up to and through the premises.”  
(1977, Longstreth, photographer, p. 130)



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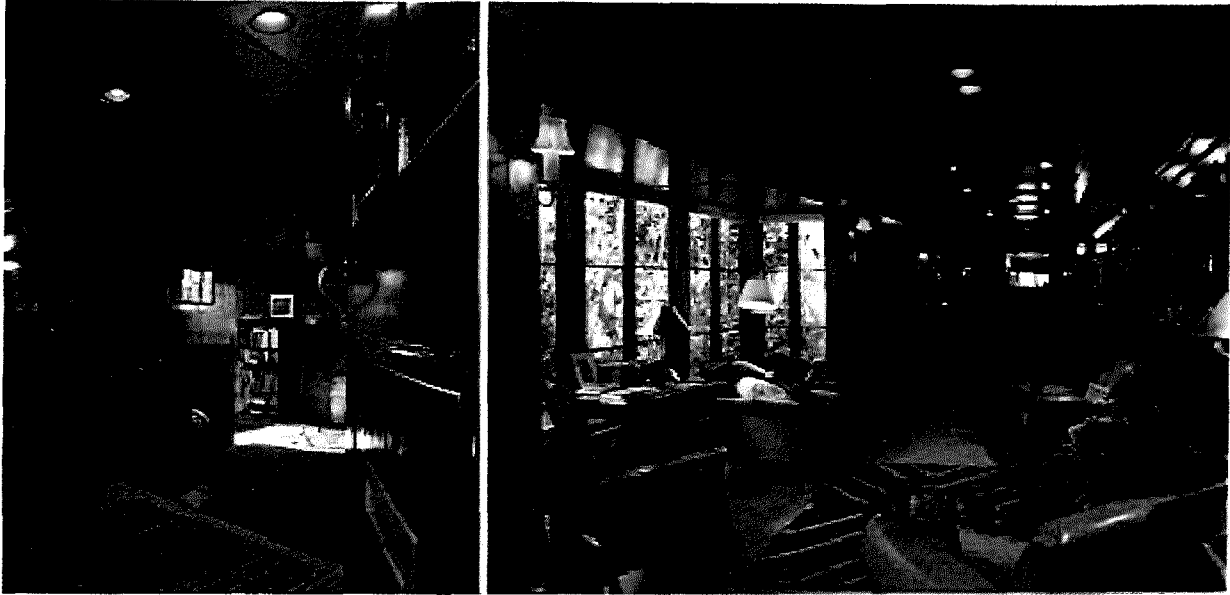
Figure 9. Front Elevation, drawn by Howard Moise (Longstreth)



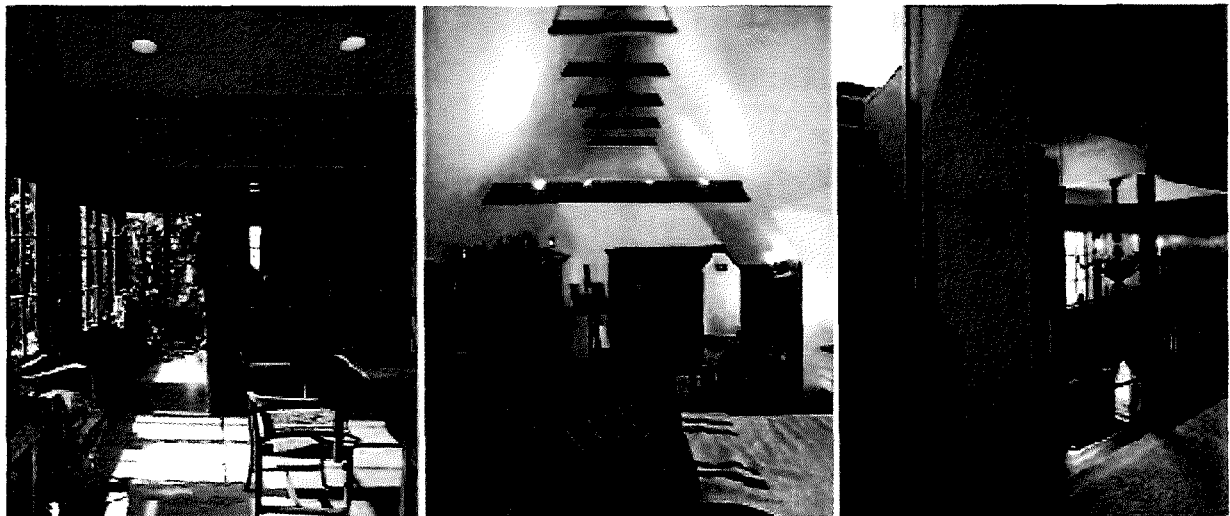
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**Figure 10.** Architectural historians have highlighted features of this house in their work. Fireplace by front door opens to wide hall (left); redwood gallery from foyer to rear garden (right). From *Bay Area Style: Houses of the San Francisco Bay Region* (Weingarten/Weintraub © 2004)



**Figure 11.** Dining room (left); Bedroom (center); Stairwell (right), from *Bay Area Style: Houses of the San Francisco Bay Region* (Weingarten/Weintraub © 2004)





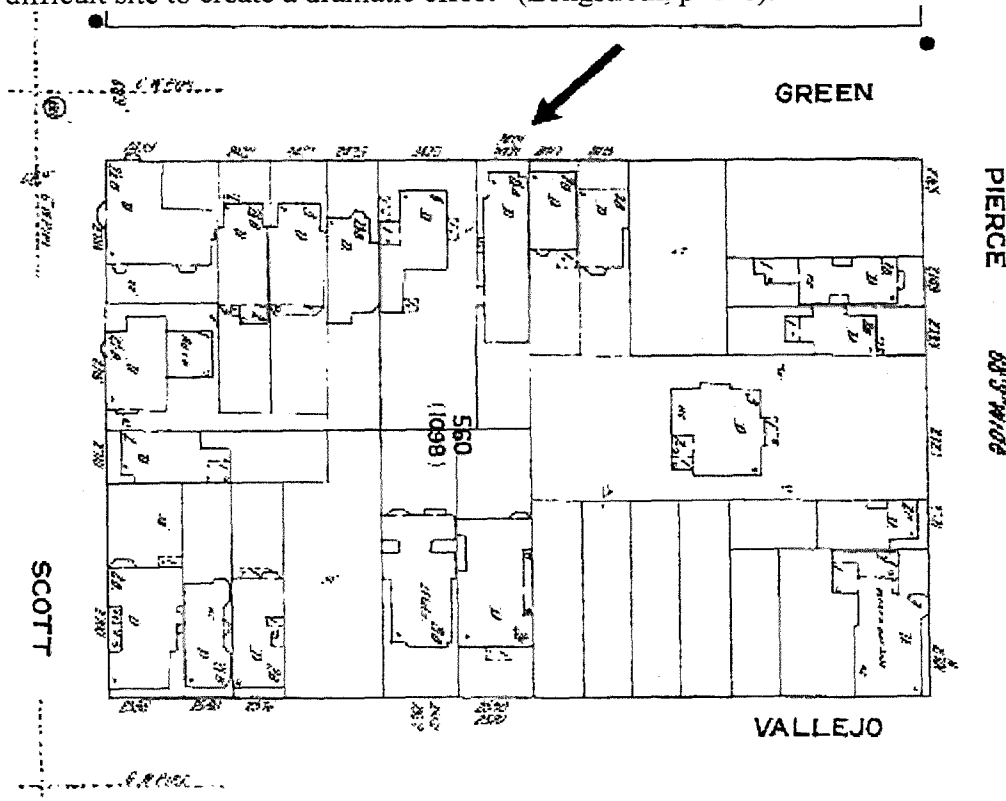
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Figure 12. Dining room with garden views, from *Bay Area Style: Houses of the San Francisco Bay Region* (Weingarten/Weintraub © 2004)



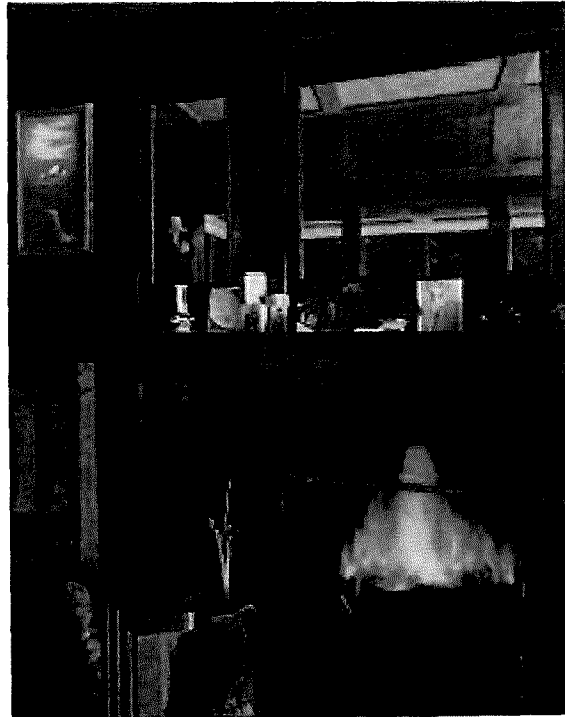
Figure 13. One of the narrowest lots in San Francisco, California: Sanborn Map Company, Volume. 3, 1913, Sheet 273. 2421 Green noted with arrow. Coxhead's design "exploits a difficult site to create a dramatic effect" (Longstreth, p. 128).



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**Figure 14.** A functional fireplace at rear of long gallery for light and heat, from *Shingle Styles: Innovation and Tradition in American Architecture 1874 to 1982* (Roth/Morgan © 1999)



**Figure 15.** Living room, from *Shingle Styles: Innovation and Tradition in American Architecture 1874 to 1982* (Roth/Morgan © 1999)



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**Figure 16.** At the rear of the long gallery, from *Shingle Styles: Innovation and Tradition in American Architecture 1874 to 1982* (Roth/Morgan © 1999)



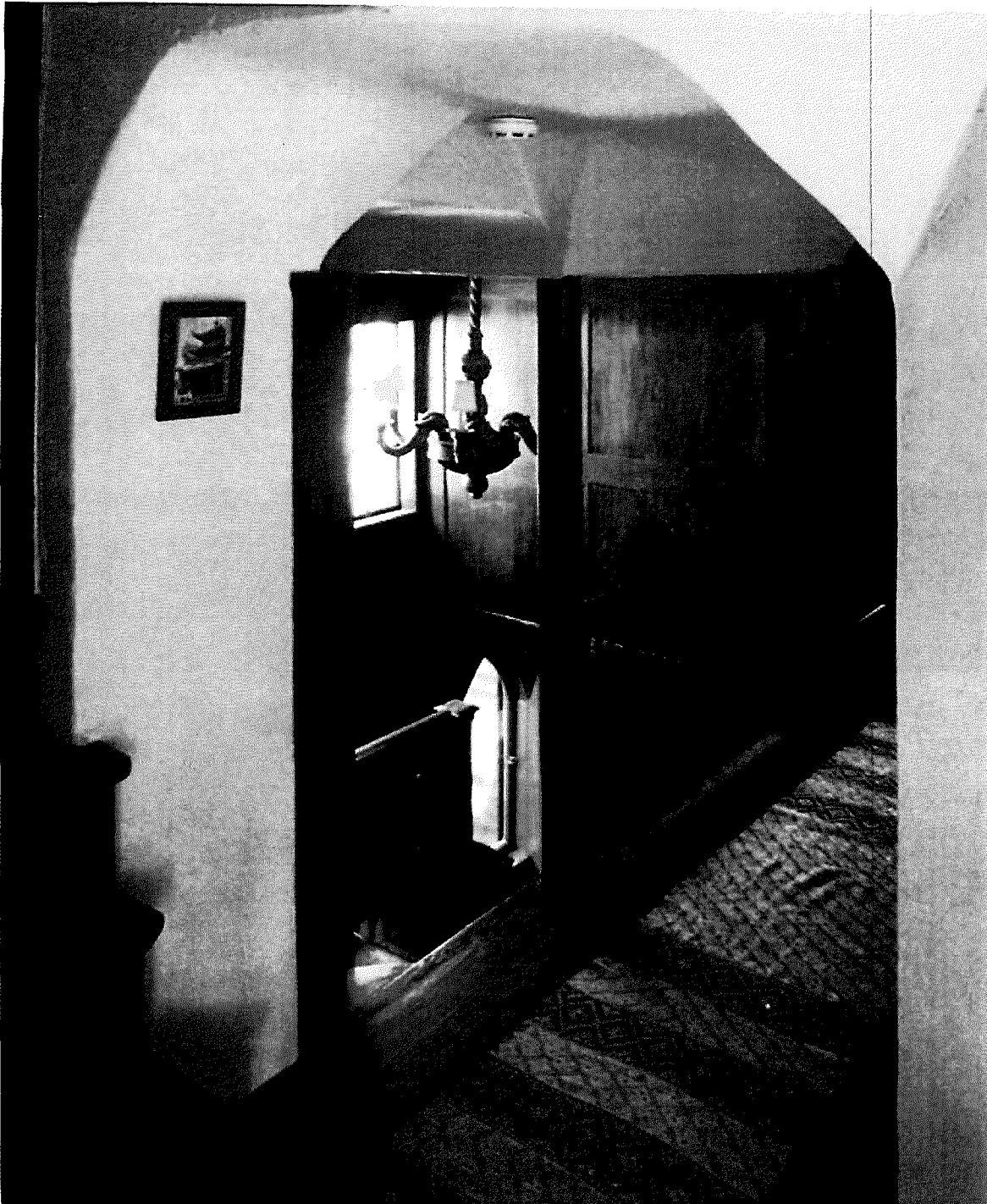
**Figure 17.** “The narrow site gave rise to some unusual innovations...with two hearths introduced, this gallery divides itself into separate sitting areas” (Roth/Morgan, p. 128), *Shingle Styles: Innovation and Tradition in American Architecture 1874 to 1982* (Roth/Morgan).



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**Figure 18.** “The tiny staircase demonstrates Coxhead’s skill in turning the exigencies of a narrow lot to a picturesque advantage.” (Roth/Morgan, p. 128)



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**Figure 19.** Unique exposed truss details, first experimented with in the studio of the Ernest Coxhead Residence and Studio (**Photo 29**) becomes a featured detail in a project for Frank Washington built at few years later in Mill Valley, California (Longstreth, p. 171).



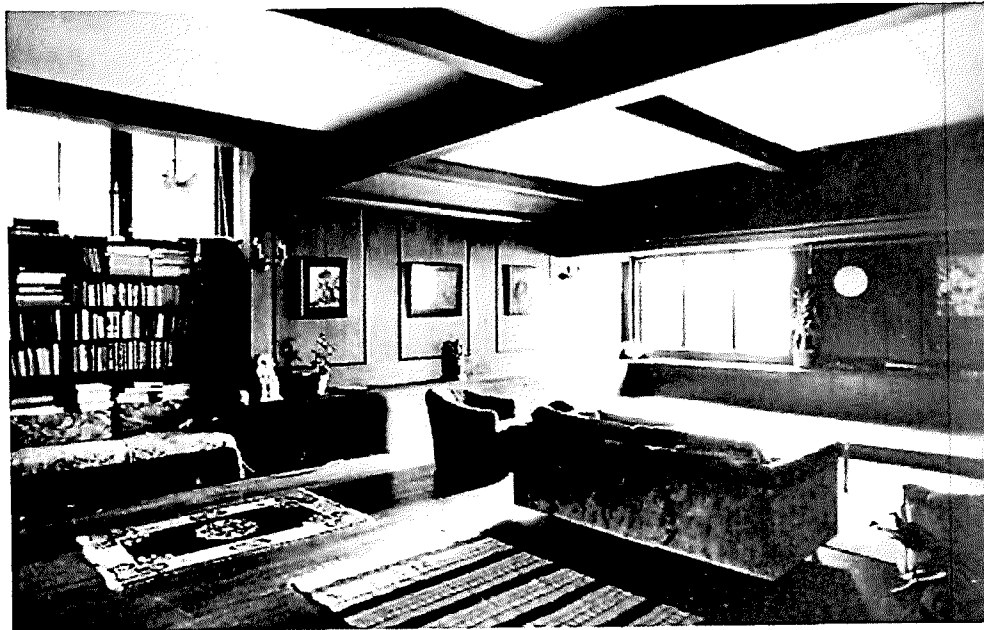
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**Figure 20.** Gallery, from *On the Edge of the World: Four Architects in San Francisco at the Turn of the Century* (Longstreth © 1989)



**Figure 21.** Living room, from *On the Edge of the World: Four Architects in San Francisco at the Turn of the Century* (Longstreth © 1989)



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**Figure 22.** Street façade, featured in the book *Bay Area Style: Houses of the San Francisco Bay Region* (Weingarten/Weintraub © 2004)



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**Figure 23.** Ernest Coxhead (1863-1933), from *Signature Architects of the San Francisco Bay Area* (Weinstein/Svendsen © 2006)

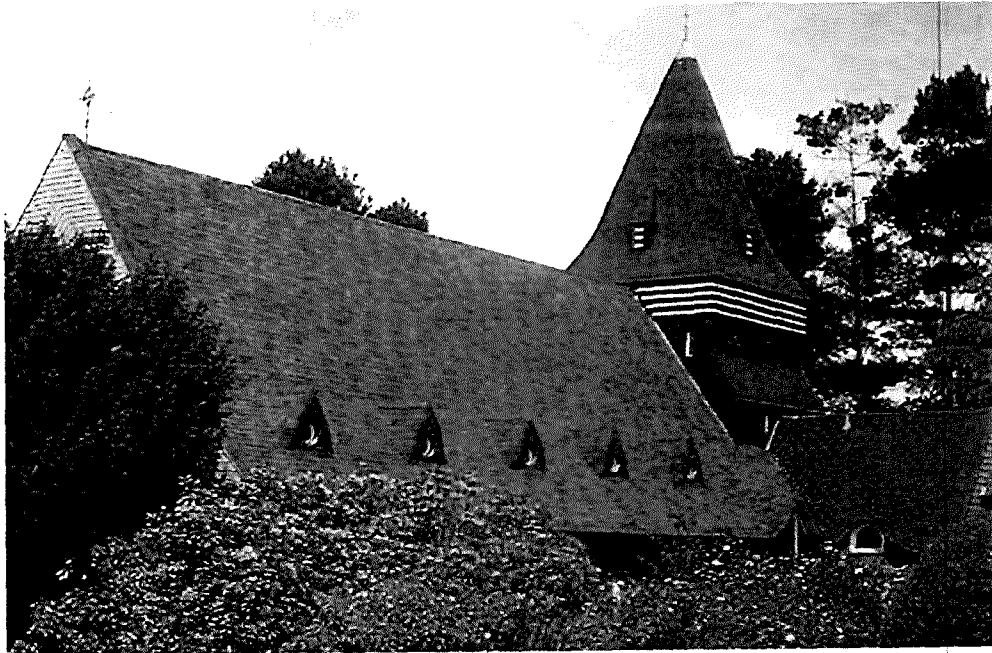




Coxhead, Ernest, Residence and Studio  
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**Figure 24.** St. John's Episcopal Church, Monterey (1891), from *Signature Architects of the San Francisco Bay Area* (Weinstein/Svendsen © 2006)



**Figure 25.** Church of the Advent, San Francisco (1891-92), from *On the Edge of the World: Four Architects in San Francisco at the Turn of the Century* (Longstreth © 1989)



Coxhead, Ernest, Residence and Studio  
Name of Property

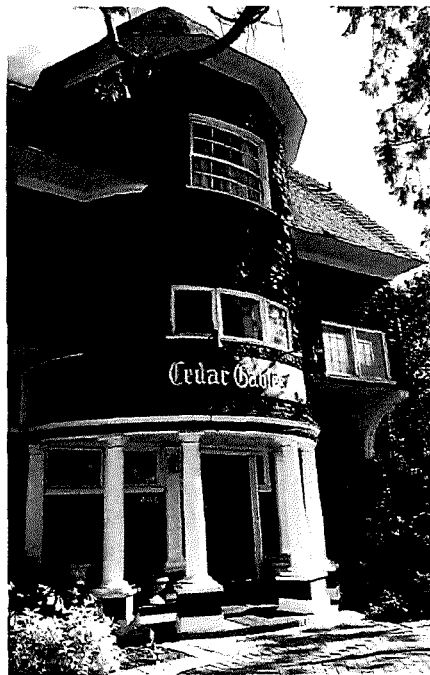
San Francisco, CA  
County and State

**Figure 26.** Julian Waybur House, San Francisco (2006), from *Signature Architects of the San Francisco Bay Area* (Weinstein/Svendsen © 2006). A classical entrance with similar characteristics to Coxhead's own personal residence at 2421 Green.



A balcony takes the shape of the staircase within the San Francisco house

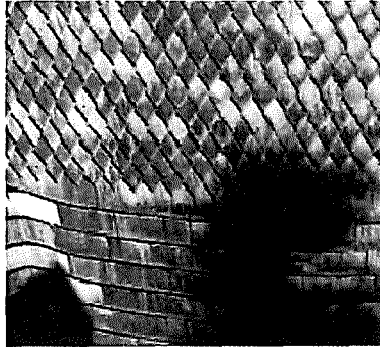
**Figure 27.** Churchill House, Coombs Drive, Napa, California, (2006), from *Signature Architects of the San Francisco Bay Area* (Weinstein/Svendsen © 2006). Another classical entrance experimenting with shingles and classical columns, details first featured in Coxhead's own residence at 2421 Green in San Francisco.



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**Figure 28.** Innovative diamond shingle pattern discussed in *Signature Architects of the San Francisco Bay Area* (Weinstein/Svendsen © 2006), a detail Coxhead developed in his own house first.



**Figure 29.** An example of Coxhead's "remarkably modern" and "quirky" interpretation of English Architecture to a California site, from *Signature Architects of the San Francisco Bay Area* (Weinstein/Svendsen © 2006)



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**Figure 30.** Stunning features of the Bay Area Shingle Style that started in Ernest Coxhead's own house are repeated in the country Churchill House constructed at the same time in Napa, California and is written about extensively in the book *Signature Architects of the San Francisco Bay Area* (Weinstein/Svendsen © 2006)



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**Figure 31.** James Brown-Reginald Knight Smith house, 1895 (2017, photographer, Shaffer). A Coxhead house in San Francisco. This figure serves as a comparative analysis of Coxhead's training as an English architect and his ability to interpret it into a new California style of architecture making Coxhead one of the most influential architects in a developing geographic area at the turn of the twentieth century.



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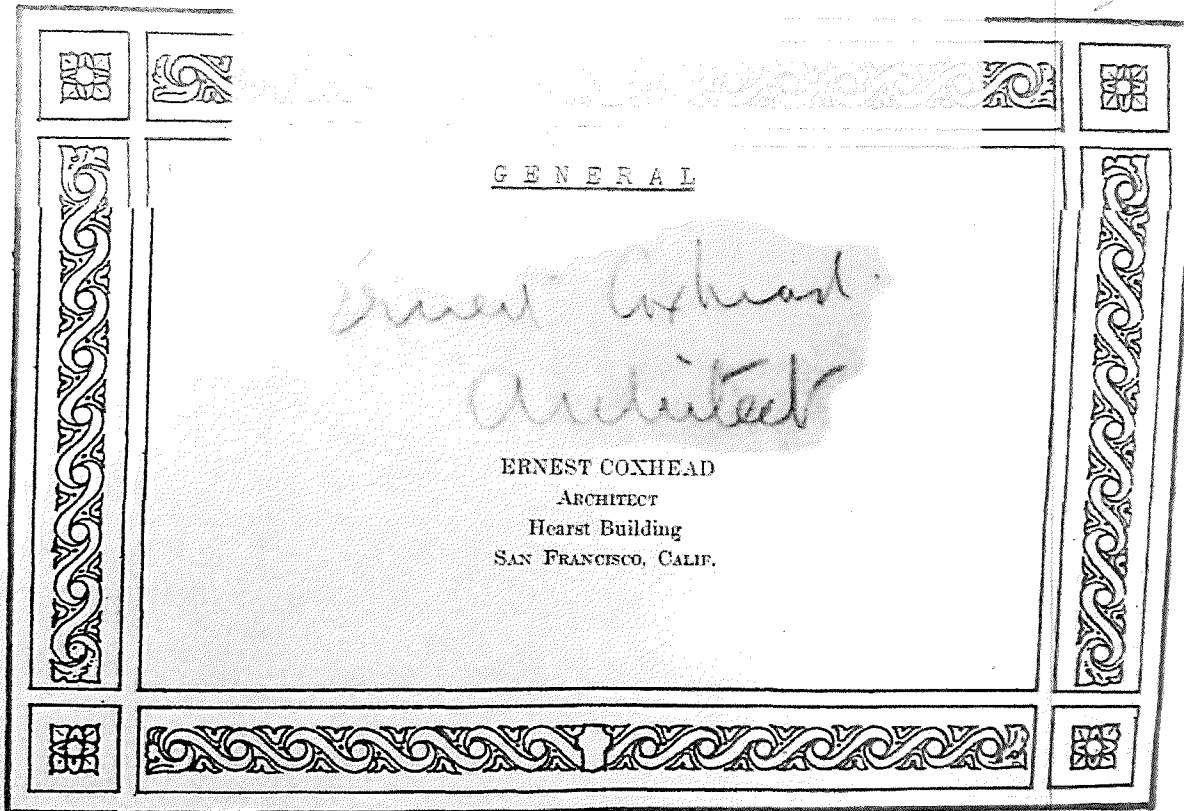
**Figure 32.** Charles Murdock House, San Francisco, 1893, an example of how Coxhead used his house to show examples of his design ideas that clients continued to use and replicate. Like the Ernest Coxhead Residence and Studio, the shingle style Murdock House also features an English entrance, steeply pitched roofs and a corner bay window to capture the San Francisco Bay view from the inside of the house (Longstreth, p. 132-33).



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Figure 33. Ernest Coxhead, signature and business titleblock from the specifications for "Residence at Woodside, Calif" in the early 1900s (Source: The Bancroft Library, University of California, Berkeley).



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**Photos 2017**

**Photo 1 of 32.** Ernest Coxhead house. view from the Northwest, capturing West sunlight.



**Photo 2 of 32.** Ernest Coxhead's own house (left) with Coxhead's James McGauley house (1891) represented an "important shift in Coxhead's approach" (Longstreth)).

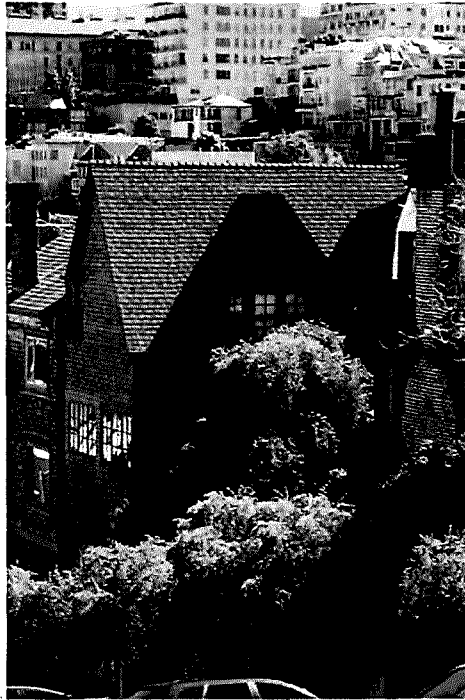




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**Photo 3 of 32.** Bands of windows capturing views and light in an urban setting.



**Photo 4 of 32.** Winding staircase of varying widths connects the building with the street.



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**Photo 5 of 32.** Dormers capture views and light.



**Photo 6 of 32.** Reminiscent of a Surrey barn.



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**Photo 7 of 32.** Capturing expansive views of the natural features of the San Francisco Bay area.



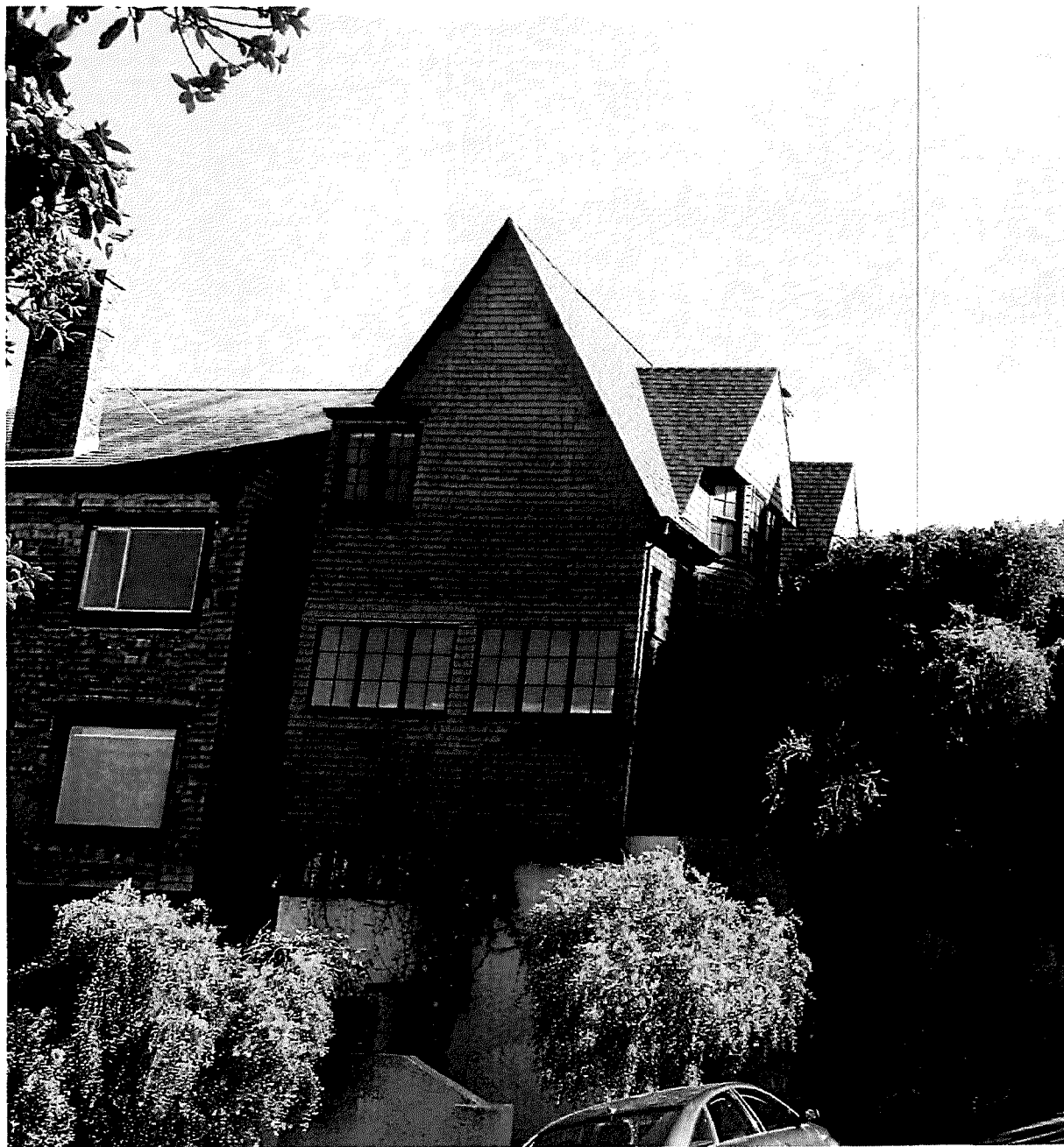
**Photo 8 of 32.** Nestled on a compact site.



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Photo 9 of 32. Ernest Coxhead house, exploiting the use of dormers to achieve a dramatic effect and increase light and air into the interior (2017, Philip Kaufman, photographer)



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Photo 10 of 32. (May 2017, Philip Kaufman, photographer)



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**Photo 11 of 32.** Ernest Coxhead Residence and Studio, rear (South) view, May 2017 (Philip Kaufman, photographer)



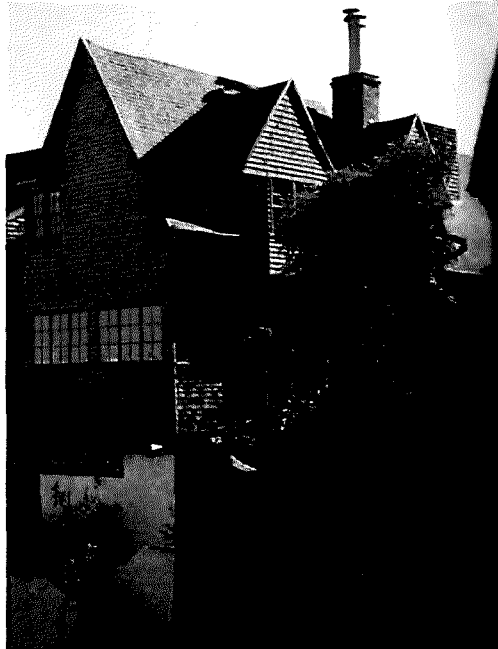
**Photo 12 of 32.** (May 2017, Philip Kaufman, photographer)



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**Photo 13 of 32.** Exterior. "an ever-changing path up to and through the premises...as if it were an alley in an Italian hill town"(Longstreth, p.129), May 2017 (Philip Kaufman, photographer)



**Photo 14 of 32.** Front, North façade faces the street and provides natural light for the Living Room and upstairs studio, May 2017 (Philip Kaufman, photographer)





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**Photo 15 of 32.** English Classical style front entrance, May 2017(Philip Kaufman, photographer). A typical Coxhead detail, interpreting classical details into a new Bay Area Style Architecture in 1893.





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**Photo 16 of 32.** Dining room with garden view and views of the neighboring Casebolt House and McGauley House gardens, May 2017 (Philip Kaufman, photographer).



**Photo 17 of 32.** Dining room with corner fireplace and ship pass through window to interior gallery, May 2017 (Philip Kaufman, photographer).



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**Photo 18 of 32.** With narrow nautical, ship-like quality: a ships stair to third floor, May 2017(Philip Kaufman, photographer).



**Photo 19 of 32.** Ceiling, stair and interior details, an ever changing path with nautical ship like qualities, May 2017 (Philip Kaufman, photographer).



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**Photo 20 of 32.** "Attendant bench offer an observation deck from which to view houses across the street and catch glimpses of the San Francisco Bay beyond..."(Longstreth). May 2017 (Philip Kaufman, photographer).



**Photo 21 of 32.** A well designed gallery, the plan's one English component, with a fireplace at the end. The length of the gallery emphasized in the mirror reflection. May 2017 (Philip Kaufman, photographer).



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**Photo 22 of 32.** View of the neighboring Casebolt House (San Francisco City Landmark) and garden and the hills of San Francisco beyond. May 2017 (Philip Kaufman, photographer).



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**Photo 23 of 32.** Varying ceiling heights, floor transitions, and a comforting hearth, May 2017  
(Philip Kaufman, photographer).



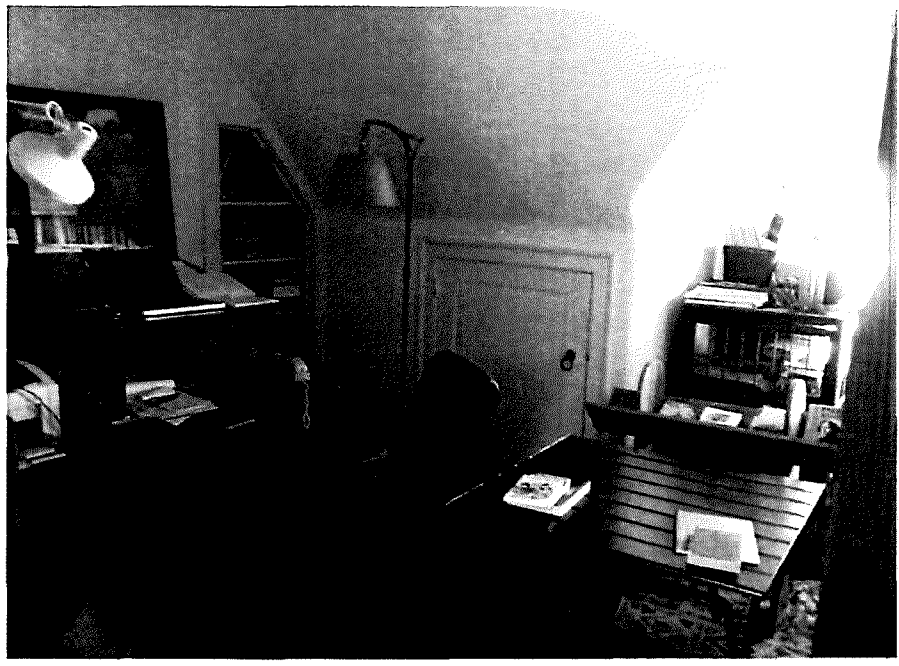
**Photo 24 of 32.** Southwest doors provide a naturally lit view to the garden and neighboring gardens beyond, May 2017(Philip Kaufman, photographer).



Coxhead, Ernest, Residence and Studio  
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**Photo 25 of 32.** A well lit dormer provides natural light into an office, May 2017(Philip Kaufman, photographer).



**Photo 26 of 32.** Windows naturally light the galley with a glimpse of one of the fireplaces, May 2017 (Philip Kaufman, photographer).



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**Photo 27 of 32.** Interior gallery, ships stairs, varying ceiling heights create the best design for the narrow urban lot, directing the eye toward views beyond (May 2017, Philip Kaufman, photographer)



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**Photo 28 of 32.** A dramatic hearth well designed in English proportions and illuminated with natural light.



**Photo 29 of 32.** Modulated ceiling configurations to achieve a dramatic effect around a cozy hearth.





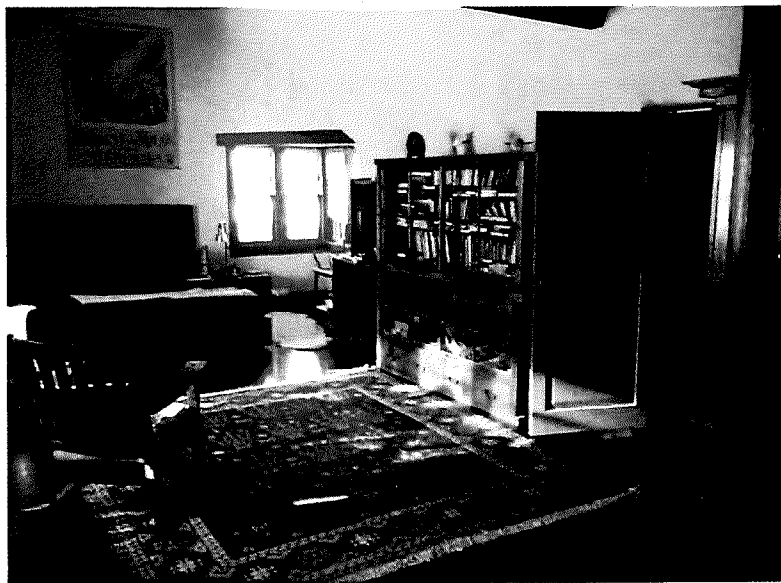
Coxhead, Ernest, Residence and Studio  
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**Photo 30 of 32.** One of Coxhead's classic design features in this project maximizes the creation of an urban garden and capturing the views of neighboring gardens, views of San Francisco beyond and natural light, rain and air to nurture the garden.



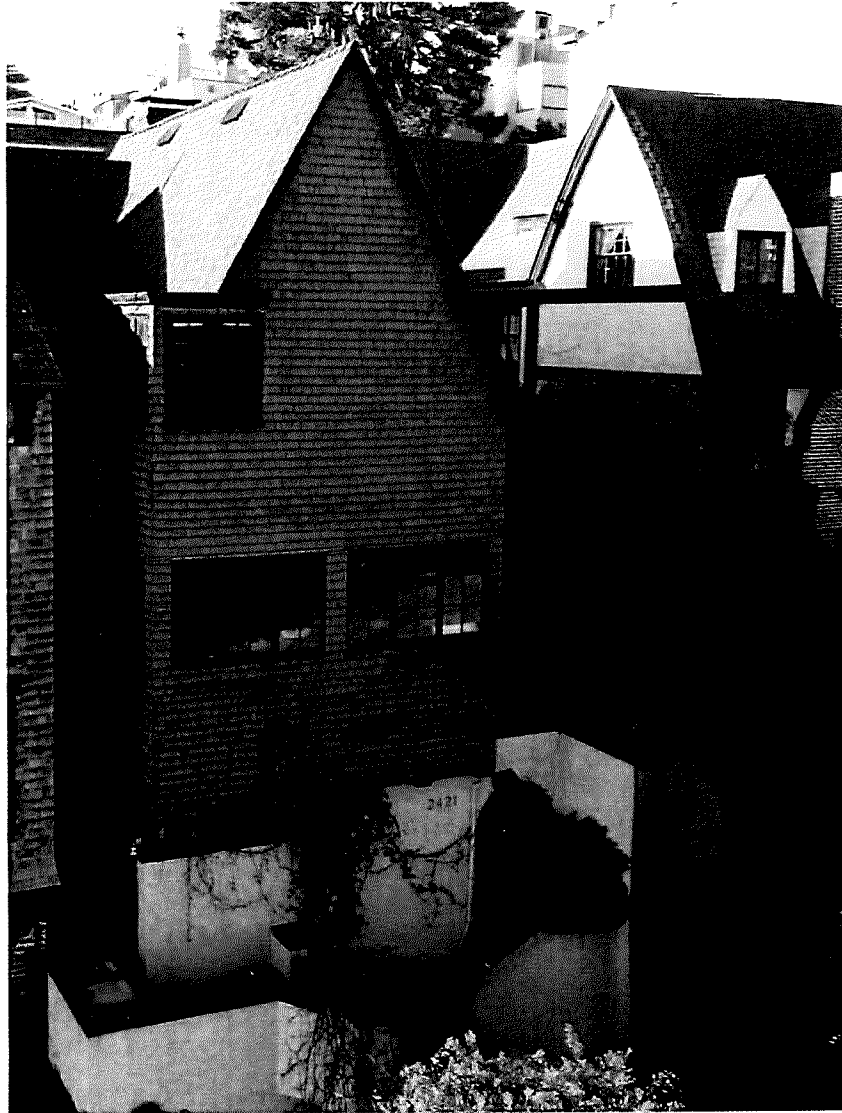
**Photo 31 of 32.** Northeast window presumably from where Coxhead had his studio and drafting table with views of San Francisco and Northern light.



Coxhead, Ernest, Residence and Studio  
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**Photo 32 of 32.** Northeast façade with 3<sup>rd</sup> floor Cotswold style window presumably from where Coxhead had his studio and drafting table with views of San Francisco and Northern light.



# EXHIBIT L

# A PAIR of COXHEADS

His own home and the one next door show his English influences

By BRIDGET MALEY

**T**WO NOTEWORTHY HOUSES along the south side of Green Street, where it slopes steeply toward the crest at Scott, emulate the craftsmanship of the English townhouses and rural cottages that influenced their design.

The James McGauley House, located at 2423 Green Street, was built in 1891, two years before its neighbor at 2421 Green Street. Both were designed by architect Ernest Coxhead, a British transplant. The house at 2421 Green was Coxhead's own, which he shared with his brother, Almeric. Around the corner at 2710 Scott Street, the Charles Murdock house, also built in 1893, rounds out the grouping. This set of residences reflects Coxhead's transition from his earlier ecclesiastical work to the residential projects that shaped the second phase of his California career.

Leaving England together, Ernest and Almeric Coxhead opened an architectural office in Los Angeles in early 1887. Almeric



Coxhead's own home at 2421 Green (left) and his design next door at 2423 Green would have been new and somewhat daring within the Victorian landscape of the time.

PHOTOGRAPHS BY SHARLE WATSON

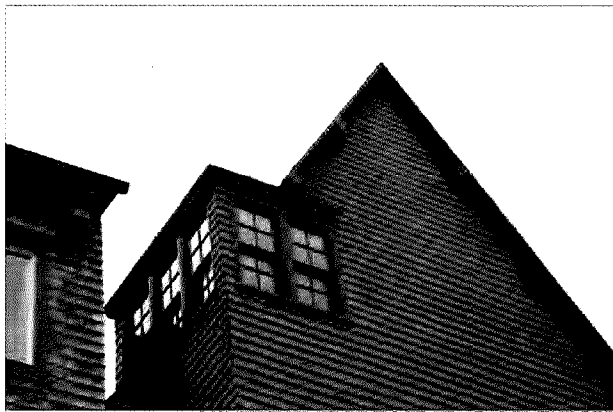
was the business manager, while Ernest was the primary designer. For the next several years, a series of commissions for the Episcopal Church, which was expanding throughout California, occupied their partnership. Before immigrating, Ernest had apprenticed with a London architect known for extensive work with church restoration. The London ecclesiastical projects clearly influenced his subsequent California designs.

By 1890, the brothers had relocated to San Francisco. Remarkably, in that year Ernest designed three San Francisco Epis-

copal churches: the Church of St. John the Evangelist, perhaps the grandest of his California church projects, which sat at the corner of 15th and Julian Streets in the Mission, and was destroyed by the 1906 fire; the Church of St. Mary the Virgin, at Union and Steiner Streets, just a few blocks from his early residences; and the Chapel of the Holy Innocents on Fair Oaks Street in the Mission.

The following year, amid continued ecclesiastical work, Ernest secured the McGauley commission. His 1891 house for his friend James McGauley, a banker, relied

heavily on the rural English cottage and its more urban counterpart, the townhouse, as executed by British architect Richard Norman Shaw. In its roof form, small dormers, heavy masonry chimney, large multi-paned windows, half-timbering and overall rustic character, the McGauley house mingles everyday elements and materials with exceptional craftsmanship to create what would have been a new, somewhat daring facade within the Victorian landscape of San Francisco. While employing British vernacular architectural language and embracing what was developing on the



The homes mingle everyday elements and materials with exceptional craftsmanship.



East Coast as the Shingle Style, Ernest Coxhead's early San Francisco houses helped establish a local, architectural language that would eventually be known as the First Bay Tradition.

Two years later, in conjunction with his brother, Coxhead designed a house for their own use on the lot immediately to the east of the McGauley residence. The Coxhead brothers took advantage of the narrow lot, creating an almost tower-like, slender facade rising to a steeply pitched roof. The roof of the McGauley house runs parallel to the street; the Coxhead house roof is perpendicular. This was an ingenious approach to creating a sense of separation between the two houses, which are actually in close proximity. It also allowed for a sequence of stairs and walkways accessing each residence. Both houses are set on significant masonry retaining walls, elevating them above the

pedestrian level of the steeply pitched street.

The understated exterior of the Coxhead cottage masks a phenomenal interior that commences from a long, glazed entrance gallery running the length of the west elevation. The entry begins with a set of stairs and landings and turns through an archway, up another set of stairs to a long gallery that defines both the interior and exterior space. At the outside, it forms a pathway along the rear garden of the McGauley house, while at the interior it serves an entry hall accessing the front living room at the north end of the house or a sitting area and dining room adjacent to the south facing garden. This unique configuration offers both intimacy and spectacle, as surely the western-facing windows of the gallery would have looked directly into the neighboring McGauley rear garden. The experience of this interior space has an almost religious feeling, yet the separation

of the space and the sequence of movement through it is clearly residential.

Both houses feature expertly placed windows of varying sizes and shapes that generally employ small panes covering a fairly large expanse. The fenestration breaks up the exterior slung walls creating cut-out elements in the wall surface. In the Coxhead house, the front windows terminate at end walls, furthering the punched opening effect. Each house has cleverly placed dormers to interrupt the large expanse of roof surface.

It is unclear how Coxhead and McGauley met, but McGauley does not appear to have lived in the house for very long. He married Minna Hoppe in San Mateo in 1898. Five years later, a *Chronicle* article detailed the couple's rather shocking divorce, with Mrs. McGauley claiming much anguish over her husband's "aboriginal manner of dressing while at home" and

complaining that he is "either mentally unbalanced or that he is a crank and possessed of a monomania upon the subjects of food, hygiene and religion."

Ernest Coxhead also married in 1898. His bride, Helen Brown Hawes, was the daughter of an Episcopalian minister. According to the *Chronicle* on June 19, 1898, their San Francisco wedding was a most pleasant affair. Esteemed architect Willis Polk was Coxhead's best man at the ceremony at St. Luke's Church. Helen died in 1909 at their home in San Mateo. Coxhead's biographers have speculated he never recovered from her loss.

In 1893, the same year he designed his own house, Coxhead executed a residence for Charles Murdock, an eastern transplant, California intellectual and printer, who collaborated with and published the works of many of the state's best writers, including Robert Louis Stevenson and Bret Harte. Located on Scott Street, just uphill from the other two houses, the Murdock commission used many of the same elements as the two Green Street houses: a shingled exterior, a steeply pitched roof, quirky dormers, a deeply recessed front entry and an understated ribbon of windows at the front elevation.

The three houses at Green and Scott are Coxhead's earliest extant San Francisco residential experiments, a far cry from the Victorian houses that preceded them. They compete in significance with other First Bay Tradition residential assemblies, including the houses marching up the 3200 block of Pacific Avenue and the grouping at the apex of the Vallejo Street steps on Russian Hill.

# EXHIBIT M



# SAN FRANCISCO PLANNING DEPARTMENT

## CEQA Categorical Exemption Determination

### PROPERTY INFORMATION/PROJECT DESCRIPTION

Project Address		Block/Lot(s)	
2417 Green Street		0560/028	
Case No.	Permit No.	Plans Dated	
2017-002545ENV		2/10/2017	
<input checked="" type="checkbox"/> Addition/ Alteration	<input type="checkbox"/> Demolition (requires HRER if over 45 years old)	<input type="checkbox"/> New Construction	<input type="checkbox"/> Project Modification (GO TO STEP 7)
Project description for Planning Department approval.			
Alterations to an existing four-story-over-basement single-family residence with one vehicle parking space. Excavate to add two vehicle parking spaces. Three-story rear addition. Facade alterations and foundation replacement. Lower existing building.			

### STEP 1: EXEMPTION CLASS TO BE COMPLETED BY PROJECT PLANNER

<b>*Note: If neither class applies, an <i>Environmental Evaluation Application</i> is required.*</b>	
<input checked="" type="checkbox"/>	Class 1 – Existing Facilities. Interior and exterior alterations; additions under 10,000 sq. ft.
<input type="checkbox"/>	Class 3 – New Construction/ Conversion of Small Structures. Up to three (3) new single-family residences or six (6) dwelling units in one building; commercial/office structures; utility extensions.; ; change of use under 10,000 sq. ft. if principally permitted or with a CU. Change of use under 10,000 sq. ft. if principally permitted or with a CU.
<input type="checkbox"/>	Class ___

### STEP 2: CEQA IMPACTS TO BE COMPLETED BY PROJECT PLANNER

<b>If any box is checked below, an <i>Environmental Evaluation Application</i> is required.</b>	
<input type="checkbox"/>	<b>Air Quality:</b> Would the project add new sensitive receptors (specifically, schools, day care facilities, hospitals, residential dwellings, and senior-care facilities) within an Air Pollution Exposure Zone? Does the project have the potential to emit substantial pollutant concentrations (e.g., backup diesel generators, heavy industry, diesel trucks)? <i>Exceptions: do not check box if the applicant presents documentation of enrollment in the San Francisco Department of Public Health (DPH) Article 38 program and the project would not have the potential to emit substantial pollutant concentrations. (refer to EP_ArcMap &gt; CEQA Catex Determination Layers &gt; Air Pollutant Exposure Zone)</i>
<input checked="" type="checkbox"/>	<b>Hazardous Materials:</b> If the project site is located on the Maher map or is suspected of containing hazardous materials (based on a previous use such as gas station, auto repair, dry cleaners, or heavy manufacturing, or a site with underground storage tanks): Would the project involve 50 cubic yards or more of soil disturbance - or a change of use from industrial to residential? If yes, this box must be checked and the project applicant must submit an Environmental Application with a Phase I Environmental Site Assessment. <i>Exceptions: do not check box if the applicant presents documentation of enrollment in the San Francisco Department of Public Health (DPH) Maher program, a DPH waiver from the</i>

	<i>MaHer program, or other documentation from Environmental Planning staff that hazardous material effects would be less than significant (refer to EP_ArcMap &gt; MaHer layer).</i>
<input type="checkbox"/>	<b>Transportation:</b> Does the project create six (6) or more net new parking spaces or residential units? Does the project have the potential to adversely affect transit, pedestrian and/or bicycle safety (hazards) or the adequacy of nearby transit, pedestrian and/or bicycle facilities?
<input checked="" type="checkbox"/>	<b>Archeological Resources:</b> Would the project result in soil disturbance/modification greater than two (2) feet below grade in an archeological sensitive area or eight (8) feet in a non-archeological sensitive area? (refer to EP_ArcMap > CEQA Catex Determination Layers > Archeological Sensitive Area)
<input type="checkbox"/>	<b>Subdivision/Lot Line Adjustment:</b> Does the project site involve a subdivision or lot line adjustment on a lot with a slope average of 20% or more? (refer to EP_ArcMap > CEQA Catex Determination Layers > Topography)
<input checked="" type="checkbox"/>	<b>Slope = or &gt; 20%:</b> Does the project involve any of the following: (1) square footage expansion greater than 1,000 sq. ft. outside of the existing building footprint, (2) excavation of 50 cubic yards or more of soil, (3) new construction? (refer to EP_ArcMap > CEQA Catex Determination Layers > Topography) <b>If box is checked, a geotechnical report is required.</b>
<input type="checkbox"/>	<b>Seismic: Landslide Zone:</b> Does the project involve any of the following: (1) square footage expansion greater than 1,000 sq. ft. outside of the existing building footprint, (2) excavation of 50 cubic yards or more of soil, (3) new construction? (refer to EP_ArcMap > CEQA Catex Determination Layers > Seismic Hazard Zones) <b>If box is checked, a geotechnical report is required.</b>
<input type="checkbox"/>	<b>Seismic: Liquefaction Zone:</b> Does the project involve any of the following: (1) square footage expansion greater than 1,000 sq. ft. outside of the existing building footprint, (2) excavation of 50 cubic yards or more of soil, (3) new construction? (refer to EP_ArcMap > CEQA Catex Determination Layers > Seismic Hazard Zones) <b>If box is checked, a geotechnical report will likely be required.</b>
<b>If no boxes are checked above, GO TO STEP 3. If one or more boxes are checked above, an <u>Environmental Evaluation Application</u> is required, unless reviewed by an Environmental Planner.</b>	
<input type="checkbox"/>	<b>Project can proceed with categorical exemption review. The project does not trigger any of the CEQA impacts listed above.</b>
<b>Comments and Planner Signature (optional):</b> Jean Poling <small>Digitally signed by Jean Poling Date: 2017.03.20 16:45:46 -0700</small>	
No archeological effects. Sponsor enrolled in DPH MaHer program. Project will follow recommendations of 1/12/17 Divis. Consulting preliminary geotechnical report.	

**STEP 3: PROPERTY STATUS – HISTORIC RESOURCE  
TO BE COMPLETED BY PROJECT PLANNER.**

<b>PROPERTY IS ONE OF THE FOLLOWING: (refer to Parcel Information Map)</b>	
<input type="checkbox"/>	<b>Category A: Known Historical Resource. GO TO STEP 5.</b>
<input checked="" type="checkbox"/>	<b>Category B: Potential Historical Resource (over 45 years of age). GO TO STEP 4.</b>
<input type="checkbox"/>	<b>Category C: Not a Historical Resource or Not Age Eligible (under 45 years of age). GO TO STEP 6.</b>

**STEP 4: PROPOSED WORK CHECKLIST**  
**TO BE COMPLETED BY PROJECT PLANNER**

<b>Check all that apply to the project.</b>	
<input type="checkbox"/>	1. Change of use and new construction. Tenant improvements not included.
<input type="checkbox"/>	2. Regular maintenance or repair to correct or repair deterioration, decay, or damage to building.
<input type="checkbox"/>	3. Window replacement that meets the Department's <i>Window Replacement Standards</i> . Does not include storefront window alterations.
<input type="checkbox"/>	4. Garage work. A new opening that meets the <i>Guidelines for Adding Garages and Curb Cuts</i> , and/or replacement of a garage door in an existing opening that meets the <i>Residential Design Guidelines</i> .
<input type="checkbox"/>	5. Deck, terrace construction, or fences not visible from any immediately adjacent public right-of-way.
<input type="checkbox"/>	6. Mechanical equipment installation that is not visible from any immediately adjacent public right-of-way.
<input type="checkbox"/>	7. Dormer installation that meets the requirements for exemption from public notification under <i>Zoning Administrator Bulletin No. 3: Dormer Windows</i> .
<input type="checkbox"/>	8. Addition(s) that are not visible from any immediately adjacent public right-of-way for 150 feet in each direction; does not extend vertically beyond the floor level of the top story of the structure or is only a single story in height; does not have a footprint that is more than 50% larger than that of the original building; and does not cause the removal of architectural significant roofing features.
<b>Note: Project Planner must check box below before proceeding.</b>	
<input type="checkbox"/>	Project is not listed. <b>GO TO STEP 5.</b>
<input type="checkbox"/>	Project does not conform to the scopes of work. <b>GO TO STEP 5.</b>
<input type="checkbox"/>	Project involves four or more work descriptions. <b>GO TO STEP 5.</b>
<input type="checkbox"/>	Project involves less than four work descriptions. <b>GO TO STEP 6.</b>

**STEP 5: CEQA IMPACTS – ADVANCED HISTORICAL REVIEW**  
**TO BE COMPLETED BY PRESERVATION PLANNER**

<b>Check all that apply to the project.</b>	
<input type="checkbox"/>	1. Project involves a known historical resource (CEQA Category A) as determined by Step 3 and conforms entirely to proposed work checklist in Step 4.
<input type="checkbox"/>	2. Interior alterations to publicly accessible spaces.
<input type="checkbox"/>	3. Window replacement of original/historic windows that are not "in-kind" but are consistent with existing historic character.
<input type="checkbox"/>	4. Façade/storefront alterations that do not remove, alter, or obscure character-defining features.
<input type="checkbox"/>	5. Raising the building in a manner that does not remove, alter, or obscure character-defining features.
<input type="checkbox"/>	6. Restoration based upon documented evidence of a building's historic condition, such as historic photographs, plans, physical evidence, or similar buildings.
<input type="checkbox"/>	7. Addition(s), including mechanical equipment that are minimally visible from a public right-of-way and meet the <i>Secretary of the Interior's Standards for Rehabilitation</i> .
<input type="checkbox"/>	8. Other work consistent with the <i>Secretary of the Interior Standards for the Treatment of Historic Properties</i> (specify or add comments):



<input type="checkbox"/>	<p>9. Other work that would not materially impair a historic district (specify or add comments):</p> <p>(Requires approval by Senior Preservation Planner/Preservation Coordinator)</p>
<input checked="" type="checkbox"/>	<p>10. Reclassification of property status. (Requires approval by Senior Preservation Planner/Preservation Coordinator)</p> <p><input type="checkbox"/> Reclassify to Category A    <input checked="" type="checkbox"/> Reclassify to Category C</p> <p>a. Per HRER dated: <u>5/10/17</u> (attach HRER)</p> <p>b. Other (specify):</p>
<p><b>Note: If ANY box in STEP 5 above is checked, a Preservation Planner MUST check one box below.</b></p>	
<input type="checkbox"/>	<p>Further environmental review required. Based on the information provided, the project requires an <i>Environmental Evaluation Application</i> to be submitted. GO TO STEP 6.</p>
<input checked="" type="checkbox"/>	<p>Project can proceed with categorical exemption review. The project has been reviewed by the Preservation Planner and can proceed with categorical exemption review. GO TO STEP 6.</p>
<p>Comments (optional):</p>	
<p>Preservation Planner Signature: Shelley Caltagirone <small>Digitally signed by Shelley Caltagirone Date: 2017.05.16 13:43:40 -07'00'</small></p>	

**STEP 6: CATEGORICAL EXEMPTION DETERMINATION  
TO BE COMPLETED BY PROJECT PLANNER**

<input type="checkbox"/>	<p>Further environmental review required. Proposed project does not meet scopes of work in either (check all that apply):</p> <p><input type="checkbox"/> Step 2 – CEQA Impacts</p> <p><input type="checkbox"/> Step 5 – Advanced Historical Review</p> <p><b>STOP! Must file an <i>Environmental Evaluation Application</i>.</b></p>	
<input checked="" type="checkbox"/>	<p>No further environmental review is required. The project is categorically exempt under CEQA.</p>	
	<p>Planner Name: Shelley Caltagirone</p> <hr/> <p>Project Approval Action:</p> <p>Building Permit</p> <p>If Discretionary Review before the Planning Commission is requested, the Discretionary Review hearing is the Approval Action for the project.</p>	<p>Signature:</p> <p><b>Shelley Caltagirone</b></p> <p><small>Digitally signed by Shelley Caltagirone Date: 2017.05.16 13:44:01 -07'00'</small></p>
<p>Once signed or stamped and dated, this document constitutes a categorical exemption pursuant to CEQA Guidelines and Chapter 31 of the Administrative Code.</p> <p>In accordance with Chapter 31 of the San Francisco Administrative Code, an appeal of an exemption determination can only be filed within 30 days of the project receiving the first approval action.</p>		



# SAN FRANCISCO PLANNING DEPARTMENT

## PRESERVATION TEAM REVIEW FORM

1650 Mission St.  
Suite 400  
San Francisco,  
CA 94103-2479

Reception:  
415.558.6378

Fax:  
415.558.6409

Planning  
Information:  
415.558.6377

Preservation Team Meeting Date:	Date of Form Completion	5/4/2017
---------------------------------	-------------------------	----------

<b>PROJECT INFORMATION:</b>		
Planner:	Address:	
Shelley Caltagirone	2417 Green Street	
Block/Lot:	Cross Streets:	
0560/028	Pierce and Scott Streets	
CEQA Category:	Art. 10/11:	BPA/Case No.:
B		2017.002545ENV.

<b>PURPOSE OF REVIEW:</b>			<b>PROJECT DESCRIPTION:</b>	
<input checked="" type="radio"/> CEQA	<input type="radio"/> Article 10/11	<input type="radio"/> Preliminary/PIC	<input checked="" type="radio"/> Alteration	<input type="radio"/> Demo/New Construction

DATE OF PLANS UNDER REVIEW:	2/10/17
-----------------------------	---------

<b>PROJECT ISSUES:</b>	
<input checked="" type="checkbox"/>	Is the subject Property an eligible historic resource?
<input type="checkbox"/>	If so, are the proposed changes a significant impact?
Additional Notes:	
Submitted: Historic Resource Evaluation report prepared by Tim Kelley Consulting, April 2017	
Proposed Project: Expansion of garage; 3 story horizontal rear addition; alterations to front facade and roof; excavation and foundation replacement; lowering building; and interior remodel. The project appears to be a de-facto demolition per PC Section 1005(f).	

<b>PRESERVATION TEAM REVIEW:</b>			
Category:	<input type="radio"/> A	<input type="radio"/> B	<input checked="" type="radio"/> C
Individual		Historic District/Context	
Property is individually eligible for inclusion in a California Register under one or more of the following Criteria:		Property is in an eligible California Register Historic District/Context under one or more of the following Criteria:	
Criterion 1 - Event:	<input type="radio"/> Yes <input checked="" type="radio"/> No	Criterion 1 - Event:	<input type="radio"/> Yes <input checked="" type="radio"/> No
Criterion 2 - Persons:	<input type="radio"/> Yes <input checked="" type="radio"/> No	Criterion 2 - Persons:	<input type="radio"/> Yes <input checked="" type="radio"/> No
Criterion 3 - Architecture:	<input type="radio"/> Yes <input checked="" type="radio"/> No	Criterion 3 - Architecture:	<input type="radio"/> Yes <input checked="" type="radio"/> No
Criterion 4 - Info. Potential:	<input type="radio"/> Yes <input checked="" type="radio"/> No	Criterion 4 - Info. Potential:	<input type="radio"/> Yes <input checked="" type="radio"/> No
Period of Significance:	<input type="text"/>	Period of Significance:	<input type="text"/>
		<input type="radio"/> Contributor <input checked="" type="radio"/> Non-Contributor	

Complies with the Secretary's Standards/Art 10/Art 11	<input type="radio"/> Yes	<input type="radio"/> No	<input checked="" type="radio"/> N/A
CEQA Material Impairment to the individual historic resource:	<input type="radio"/> Yes	<input checked="" type="radio"/> No	
CEQA Material Impairment to the historic district:	<input type="radio"/> Yes	<input checked="" type="radio"/> No	
Requires Design Revisions:	<input type="radio"/> Yes	<input checked="" type="radio"/> No	
Defer to Residential Design Team:	<input type="radio"/> Yes	<input checked="" type="radio"/> No	

**PRESERVATION TEAM COMMENTS:**

The building at 2417 Green Street was built circa 1905 and was first owned by Lonella H. Smith. Louis B. Floan was the contractor for the building, but no architect was identified. The property is located on the south side of the street between Pierce and Scott Street in the Pacific Heights neighborhood. It is a rectangular plan, three-story-over-basement, wood-frame, single-family residence with a side-facing gable roof and shingle and brick cladding. The building has been altered, including the insertion of a garage with concrete cladding, replacement of the front entry porch, and replacement of the upper-floor windows. The building retains some characteristics of the First Bay Tradition style, including the simple wall surface, wood shingles, and small scale ornamentation.

Based on the information provided in the Historic Resource Evaluation report prepared by Tim Kelley Consulting (December 2016), the Department finds that the subject property does not appear to be eligible for inclusion on the California Register either as an individual historic resource or as a contributor to a historic district. There is no information provided by the Project Sponsor's reports or located in the San Francisco Planning Department's background files to indicate that the property was associated with events that have made a significant contribution to the broad patterns of local or regional history or the cultural heritage of California or the United States. No significant historical figures are associated with the property. Lastly, the property does not significantly embody the distinctive characteristics of the First Bay Tradition style; it is not the work of a master architect; and, it does not possess high artistic values. Furthermore, the property is not located within a California Register-eligible historic district. The consultant found no cohesive collection of buildings in the immediate area that would indicate a possible district. The nearest historic district is the Pacific Heights Historic District, which captures buildings to the south and west of the subject building. 2417 Green Street would not contribute to this district since the subject building and its immediate neighbors to the east are not associated with the architectural significance of the district. The district is characterized by large, formal, detached dwellings, typically designed by master architects and displaying a high level of architectural detailing and materials. The subject building is builder-designed and displays a relatively vernacular style. While the properties to the west of 2417 Green Street may be eligible for inclusion in the district, the subject building does not contribute to the Pacific Heights Historic District. The proposed project would have no adverse impact to historic resources as the subject building is not a historic resource and is not located within a historic district.

Signature of a Senior Preservation Planner / Preservation Coordinator:	Date:
	5/10/2017





**SAN FRANCISCO  
PLANNING DEPARTMENT**

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SAN FRANCISCO

2017 NOV 22 PM 1:50

**CEQA Categorical Exemption Determination** *BG*

**PROPERTY INFORMATION/PROJECT DESCRIPTION**

Project Address		Block/Lot(s)	
2417 Green Street		0560/028	
Case No.	Permit No.	Plans Dated	
2017-002545ENV		2/10/2017	
<input checked="" type="checkbox"/> Addition/ Alteration	<input type="checkbox"/> Demolition (requires HRER if over 45 years old)	<input type="checkbox"/> New Construction	<input type="checkbox"/> Project Modification (GO TO STEP 7)
Project description for Planning Department approval.			
Alterations to an existing four-story-over-basement single-family residence with one vehicle parking space. Excavate to add two vehicle parking spaces. Three-story rear addition. Facade alterations and foundation replacement. Lower existing building.			

**STEP 1: EXEMPTION CLASS**

**TO BE COMPLETED BY PROJECT PLANNER**

**\*Note: If neither class applies, an *Environmental Evaluation Application* is required.\***

<input checked="" type="checkbox"/>	Class 1 – Existing Facilities. Interior and exterior alterations; additions under 10,000 sq. ft.
<input type="checkbox"/>	Class 3 – New Construction/ Conversion of Small Structures. Up to three (3) new single-family residences or six (6) dwelling units in one building; commercial/office structures; utility extensions.; ; change of use under 10,000 sq. ft. if principally permitted or with a CU. Change of use under 10,000 sq. ft. if principally permitted or with a CU.
<input type="checkbox"/>	Class _____

**STEP 2: CEQA IMPACTS**

**TO BE COMPLETED BY PROJECT PLANNER**

**If any box is checked below, an *Environmental Evaluation Application* is required.**

<input type="checkbox"/>	<b>Air Quality:</b> Would the project add new sensitive receptors (specifically, schools, day care facilities, hospitals, residential dwellings, and senior-care facilities) within an Air Pollution Exposure Zone? Does the project have the potential to emit substantial pollutant concentrations (e.g., backup diesel generators, heavy industry, diesel trucks)? <i>Exceptions: do not check box if the applicant presents documentation of enrollment in the San Francisco Department of Public Health (DPH) Article 38 program and the project would not have the potential to emit substantial pollutant concentrations. (refer to EP ArcMap &gt; CEQA Catex Determination Layers &gt; Air Pollutant Exposure Zone)</i>
<input checked="" type="checkbox"/>	<b>Hazardous Materials:</b> If the project site is located on the Maher map or is suspected of containing hazardous materials (based on a previous use such as gas station, auto repair, dry cleaners, or heavy manufacturing, or a site with underground storage tanks): Would the project involve 50 cubic yards or more of soil disturbance - or a change of use from industrial to residential? If yes, this box must be checked and the project applicant must submit an Environmental Application with a Phase I Environmental Site Assessment. <i>Exceptions: do not check box if the applicant presents documentation of enrollment in the San Francisco Department of Public Health (DPH) Maher program, a DPH waiver from the</i>

	<i>Maher program, or other documentation from Environmental Planning staff that hazardous material effects would be less than significant (refer to EP_ArcMap &gt; Maher layer).</i>
<input type="checkbox"/>	<b>Transportation:</b> Does the project create six (6) or more net new parking spaces or residential units? Does the project have the potential to adversely affect transit, pedestrian and/or bicycle safety (hazards) or the adequacy of nearby transit, pedestrian and/or bicycle facilities?
<input checked="" type="checkbox"/>	<b>Archeological Resources:</b> Would the project result in soil disturbance/modification greater than two (2) feet below grade in an archeological sensitive area or eight (8) feet in a non-archeological sensitive area? (refer to EP_ArcMap > CEQA Catex Determination Layers > Archeological Sensitive Area)
<input type="checkbox"/>	<b>Subdivision/Lot Line Adjustment:</b> Does the project site involve a subdivision or lot line adjustment on a lot with a slope average of 20% or more? (refer to EP_ArcMap > CEQA Catex Determination Layers > Topography)
<input checked="" type="checkbox"/>	<b>Slope = or &gt; 20%:</b> Does the project involve any of the following: (1) square footage expansion greater than 1,000 sq. ft. outside of the existing building footprint, (2) excavation of 50 cubic yards or more of soil, (3) new construction? (refer to EP_ArcMap > CEQA Catex Determination Layers > Topography) If box is checked, a geotechnical report is required.
<input type="checkbox"/>	<b>Seismic: Landslide Zone:</b> Does the project involve any of the following: (1) square footage expansion greater than 1,000 sq. ft. outside of the existing building footprint, (2) excavation of 50 cubic yards or more of soil, (3) new construction? (refer to EP_ArcMap > CEQA Catex Determination Layers > Seismic Hazard Zones) If box is checked, a geotechnical report is required.
<input type="checkbox"/>	<b>Seismic: Liquefaction Zone:</b> Does the project involve any of the following: (1) square footage expansion greater than 1,000 sq. ft. outside of the existing building footprint, (2) excavation of 50 cubic yards or more of soil, (3) new construction? (refer to EP_ArcMap > CEQA Catex Determination Layers > Seismic Hazard Zones) If box is checked, a geotechnical report will likely be required.
<b>If no boxes are checked above, GO TO STEP 3. If one or more boxes are checked above, an <u>Environmental Evaluation Application</u> is required, unless reviewed by an <u>Environmental Planner</u>.</b>	
<input type="checkbox"/>	Project can proceed with categorical exemption review. The project does not trigger any of the CEQA impacts listed above.
<b>Comments and Planner Signature (optional):</b> Jean Poling <small>Digitally signed by Jean Poling Date: 2017.03.20 16:45:48 -0700</small>	
No archeological effects. Sponsor enrolled in DPH Maher program. Project will follow recommendations of 1/12/17 Divis Consulting preliminary geotechnical report.	

**STEP 3: PROPERTY STATUS – HISTORIC RESOURCE  
TO BE COMPLETED BY PROJECT PLANNER.**

<b>PROPERTY IS ONE OF THE FOLLOWING:</b> (refer to Parcel Information Map)	
<input type="checkbox"/>	<b>Category A: Known Historical Resource. GO TO STEP 5.</b>
<input checked="" type="checkbox"/>	<b>Category B: Potential Historical Resource (over 45 years of age). GO TO STEP 4.</b>
<input type="checkbox"/>	<b>Category C: Not a Historical Resource or Not Age Eligible (under 45 years of age). GO TO STEP 6.</b>

**STEP 4: PROPOSED WORK CHECKLIST**  
**TO BE COMPLETED BY PROJECT PLANNER**

<b>Check all that apply to the project.</b>	
<input type="checkbox"/>	1. Change of use and new construction. Tenant improvements not included.
<input type="checkbox"/>	2. Regular maintenance or repair to correct or repair deterioration, decay, or damage to building.
<input type="checkbox"/>	3. Window replacement that meets the Department's <i>Window Replacement Standards</i> . Does not include storefront window alterations.
<input type="checkbox"/>	4. Garage work. A new opening that meets the <i>Guidelines for Adding Garages and Curb Cuts</i> , and/or replacement of a garage door in an existing opening that meets the <i>Residential Design Guidelines</i> .
<input type="checkbox"/>	5. Deck, terrace construction, or fences not visible from any immediately adjacent public right-of-way.
<input type="checkbox"/>	6. Mechanical equipment installation that is not visible from any immediately adjacent public right-of-way.
<input type="checkbox"/>	7. Dormer installation that meets the requirements for exemption from public notification under <i>Zoning Administrator Bulletin No. 3: Dormer Windows</i> .
<input type="checkbox"/>	8. Addition(s) that are not visible from any immediately adjacent public right-of-way for 150 feet in each direction; does not extend vertically beyond the floor level of the top story of the structure or is only a single story in height; does not have a footprint that is more than 50% larger than that of the original building; and does not cause the removal of architectural significant roofing features.
<b>Note: Project Planner must check box below before proceeding.</b>	
<input type="checkbox"/>	Project is not listed. <b>GO TO STEP 5.</b>
<input type="checkbox"/>	Project does not conform to the scopes of work. <b>GO TO STEP 5.</b>
<input type="checkbox"/>	Project involves four or more work descriptions. <b>GO TO STEP 5.</b>
<input type="checkbox"/>	Project involves less than four work descriptions. <b>GO TO STEP 6.</b>

**STEP 5: CEQA IMPACTS – ADVANCED HISTORICAL REVIEW**  
**TO BE COMPLETED BY PRESERVATION PLANNER**

<b>Check all that apply to the project.</b>	
<input type="checkbox"/>	1. Project involves a known historical resource (CEQA Category A) as determined by Step 3 and conforms entirely to proposed work checklist in Step 4.
<input type="checkbox"/>	2. Interior alterations to publicly accessible spaces.
<input type="checkbox"/>	3. Window replacement of original/historic windows that are not "in-kind" but are consistent with existing historic character.
<input type="checkbox"/>	4. Façade/storefront alterations that do not remove, alter, or obscure character-defining features.
<input type="checkbox"/>	5. Raising the building in a manner that does not remove, alter, or obscure character-defining features.
<input type="checkbox"/>	6. Restoration based upon documented evidence of a building's historic condition, such as historic photographs, plans, physical evidence, or similar buildings.
<input type="checkbox"/>	7. Addition(s), including mechanical equipment that are minimally visible from a public right-of-way and meet the <i>Secretary of the Interior's Standards for Rehabilitation</i> .
<input type="checkbox"/>	8. Other work consistent with the <i>Secretary of the Interior Standards for the Treatment of Historic Properties</i> (specify or add comments):

<input type="checkbox"/>	<p>9. Other work that would not materially impair a historic district (specify or add comments):</p> <p><i>(Requires approval by Senior Preservation Planner/Preservation Coordinator)</i></p>
<input checked="" type="checkbox"/>	<p>10. Reclassification of property status. <i>(Requires approval by Senior Preservation Planner/Preservation Coordinator)</i></p> <p><input type="checkbox"/> Reclassify to Category A    <input checked="" type="checkbox"/> Reclassify to Category C</p> <p>a. Per HRER dated: 5/10/17 (attach HRER)</p> <p>b. Other (specify):</p>
<p><b>Note: If ANY box in STEP 5 above is checked, a Preservation Planner MUST check one box below.</b></p>	
<input type="checkbox"/>	<p>Further environmental review required. Based on the information provided, the project requires an <i>Environmental Evaluation Application</i> to be submitted. <b>GO TO STEP 6.</b></p>
<input checked="" type="checkbox"/>	<p>Project can proceed with categorical exemption review. The project has been reviewed by the Preservation Planner and can proceed with categorical exemption review. <b>GO TO STEP 6.</b></p>
<p>Comments (optional):</p>	
<p>Preservation Planner Signature: Shelley Caltagirone <small>Digitally signed by Shelley Caltagirone Date: 2017.05.16 13:43:40 -07'00'</small></p>	

**STEP 6: CATEGORICAL EXEMPTION DETERMINATION  
TO BE COMPLETED BY PROJECT PLANNER**

<input type="checkbox"/>	<p>Further environmental review required. Proposed project does not meet scopes of work in either (check all that apply):</p> <p><input type="checkbox"/> Step 2 – CEQA Impacts</p> <p><input type="checkbox"/> Step 5 – Advanced Historical Review</p> <p><b>STOP! Must file an <i>Environmental Evaluation Application</i>.</b></p>			
<input checked="" type="checkbox"/>	<p>No further environmental review is required. The project is categorically exempt under CEQA.</p> <table border="1" style="width: 100%;"> <tr> <td style="width: 50%;"> <p>Planner Name: Shelley Caltagirone</p> <p>Project Approval Action:</p> <p>Building Permit</p> <p><small>If Discretionary Review before the Planning Commission is requested, the Discretionary Review hearing is the Approval Action for the project.</small></p> </td> <td style="width: 50%;"> <p>Signature:</p> <p><b>Shelley Caltagirone</b></p> <p><small>Digitally signed by Shelley Caltagirone Date: 2017.05.16 13:44:01 -07'00'</small></p> </td> </tr> </table> <p><small>Once signed or stamped and dated, this document constitutes a categorical exemption pursuant to CEQA Guidelines and Chapter 31 of the Administrative Code. In accordance with Chapter 31 of the San Francisco Administrative Code, an appeal of an exemption determination can only be filed within 30 days of the project receiving the first approval action.</small></p>		<p>Planner Name: Shelley Caltagirone</p> <p>Project Approval Action:</p> <p>Building Permit</p> <p><small>If Discretionary Review before the Planning Commission is requested, the Discretionary Review hearing is the Approval Action for the project.</small></p>	<p>Signature:</p> <p><b>Shelley Caltagirone</b></p> <p><small>Digitally signed by Shelley Caltagirone Date: 2017.05.16 13:44:01 -07'00'</small></p>
<p>Planner Name: Shelley Caltagirone</p> <p>Project Approval Action:</p> <p>Building Permit</p> <p><small>If Discretionary Review before the Planning Commission is requested, the Discretionary Review hearing is the Approval Action for the project.</small></p>	<p>Signature:</p> <p><b>Shelley Caltagirone</b></p> <p><small>Digitally signed by Shelley Caltagirone Date: 2017.05.16 13:44:01 -07'00'</small></p>			





# SAN FRANCISCO PLANNING DEPARTMENT

## PRESERVATION TEAM REVIEW FORM

1650 Mission St.  
Suite 400  
San Francisco,  
CA 94103-2479

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Fax:  
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Planning  
Information:  
415.558.6377

Preservation Team Meeting Date:	Date of Form Completion	5/4/2017
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PROJECT INFORMATION:		
Planner:	Address:	
Shelley Caltagirone	2417 Green Street	
Block/Lot:	Cross Streets:	
0560/028	Pierce and Scott Streets	
CEQA Category:	Art: 10/11	BPA/Case No.:
B		2017-002545ENV.

PURPOSE OF REVIEW:		PROJECT DESCRIPTION:	
<input checked="" type="radio"/> CEQA	<input type="radio"/> Article 10/11	<input type="radio"/> Preliminary/PIC	<input checked="" type="radio"/> Alteration
			<input type="radio"/> Demo/New Construction

DATE OF PLANS UNDER REVIEW:	2/10/17
-----------------------------	---------

PROJECT ISSUES:
<input checked="" type="checkbox"/> Is the subject Property an eligible historic resource?
<input type="checkbox"/> If so, are the proposed changes a significant impact?
Additional Notes:
Submitted: Historic Resource Evaluation report prepared by Tim Kelley Consulting, April 2017
Proposed Project: Expansion of garage; 3-story horizontal rear addition; alterations to front facade and roof; excavation and foundation replacement; lowering building; and interior remodel. The project appears to be a de facto demolition per PC Section 1005(f).

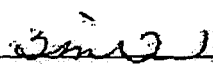
PRESERVATION TEAM REVIEW:			
Category:	<input type="radio"/> A	<input type="radio"/> B	<input checked="" type="radio"/> C
Individual		Historic District/Context	
Property is individually eligible for inclusion in a California Register under one or more of the following Criteria:		Property is in an eligible California Register Historic District/Context under one or more of the following Criteria:	
Criterion 1 - Event:	<input type="radio"/> Yes <input checked="" type="radio"/> No	Criterion 1 - Event:	<input type="radio"/> Yes <input checked="" type="radio"/> No
Criterion 2 - Persons:	<input type="radio"/> Yes <input checked="" type="radio"/> No	Criterion 2 - Persons:	<input type="radio"/> Yes <input checked="" type="radio"/> No
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Criterion 4 - Info. Potential:	<input type="radio"/> Yes <input checked="" type="radio"/> No	Criterion 4 - Info. Potential:	<input type="radio"/> Yes <input checked="" type="radio"/> No
Period of Significance:	<input type="text"/>	Period of Significance:	<input type="text"/>
		<input type="radio"/> Contributor <input checked="" type="radio"/> Non-Contributor	

Complies with the Secretary's Standards/Art 10/Art 11	<input type="radio"/> Yes	<input type="radio"/> No	<input checked="" type="radio"/> N/A
CEQA Material Impairment to the individual historic resource.	<input type="radio"/> Yes	<input checked="" type="radio"/> No	
CEQA Material Impairment to the historic district.	<input type="radio"/> Yes	<input checked="" type="radio"/> No	
Requires Design Revisions	<input type="radio"/> Yes	<input checked="" type="radio"/> No	
Defer to Residential Design Team	<input type="radio"/> Yes	<input checked="" type="radio"/> No	

**PRESERVATION TEAM COMMENTS**

The building at 2417 Green Street was built circa 1905 and was first owned by Lonella H. Smith. Louis B. Floan was the contractor for the building, but no architect was identified. The property is located on the south side of the street between Pierce and Scott Street in the Pacific Heights neighborhood. It is a rectangular plan, three-story-over-basement, wood-frame, single-family residence with a side-facing gable roof and shingle and brick cladding. The building has been altered, including the insertion of a garage with concrete cladding, replacement of the front entry porch, and replacement of the upper-floor windows. The building retains some characteristics of the First Bay Tradition style, including the simple wall surface, wood shingles, and small scale ornamentation.

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Signature of a Senior Preservation Planner / Preservation Coordinator	Date
	5/10/2017



**LOZEAU DRURY LLP**

410 12TH ST STE 250  
OAKLAND, CA 94607-4486  
510-836-4200

11592

11-4288/1210 4082

DATE Oct 13, 2017

PAY  
TO THE  
ORDER OF

SAN FRANCISCO PLANNING DEPT

\$ 597.<sup>00</sup>

Five hundred and ninety seven <sup>00</sup>/<sub>100</sub> DOLLARS

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FOR

2417 Green Street # 797

*[Handwritten signature]*

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2017 NOV 22 PM 1:49

BY *[Signature]*