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November 7, 2014

Board President David Chiu
and Members of the Board of Supervisors
1 Dr. Carlton B. Goodlett Place
San Francisco, CA 94102-4689

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BOARD OF SUPERVISORS
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2014 NOV -7 PM 4:52

Subject: Appeal of Exemption from Environmental Review
115 Telegraph Hill Boulevard
Planning Department Case No. 3013.1375CE

Dear President Chiu and Supervisors,

This letter and exhibits supplement the Telegraph Hill Dwellers' appeal of the categorical exemption for the project at 115 Telegraph Hill Boulevard.

Because there is qualified expert and lay testimony supporting a reasonable possibility of significant environmental impacts due to unusual circumstances, and because mitigation is required, no CEQA exemption is allowed for this project. (Guideline § 15300.2, subd.(c).) Environmental review will provide the City with opportunity to consider a viable alternative that significantly lessens impacts at this constrained site adjacent to Pioneer Park and Coit Tower. Telegraph Hill Dwellers have provided just such a suggested project alternative. (Exhibit 6; ehdd Plan.)

As documented in the Table of Exhibits, significant project impacts relate to:

1. Excavation: The professional opinion of eminent consulting geotechnical engineer Lawrence Karp speaks for itself as to significant geotechnical impacts of great concern to area residents. (Exhibit 1; Karp Report.) Among Dr. Karp's conclusions is that the project requires an unusual dewatered excavation of at least 32 feet "into ground that supports Telegraph Hill Boulevard and Pioneer Park." That excavation "will significantly affect neighboring properties and leave a latent condition that irreparably relieves lateral and subjacent support along the southern" flank of Pioneer Park ..." with resultant "serious hazards" ... (Ex.1, p. 2; Ex. 2, Project Plans; depth of excavation.)

Further, “the probability of altered conditions off-site, and environmental impacts off-site, due to vibrations during breaking and removing blocks of greywacke sandstone, loss of lateral support during construction and later, and drawing down the groundwater table is significant.” (*Ibid.*)

The CEQA Appendix G checklist provides in section VI that a project’s potentially significant impacts to geology and soils, including potential creation of instability that could result in “on- or off-site landslide, lateral spreading, subsidence, liquefaction or collapse” are relevant considerations triggering an EIR.

2. Pedestrian Safety: As asserted in the appeal, the project driveway converges at the top of the Filbert Steps on a blind curve of Telegraph Hill Boulevard near a bus stop at a mid-block pedestrian crosswalk leading to Pioneer Park. This is a confluence of unusual circumstances.

The project proponents initially proposed to create a safe pedestrian landing before the project driveway by reconfiguring the Filbert Steps. Upon learning that such a proposal would require a major encroachment permit, a general plan referral, and additional historic resource evaluation, that proposal was withdrawn. (Exhibit 4; Drawings and emails.) Project sponsor attorney Daniel Frattin noted that it seemed “a public benefit to replace” the steps but it created “far too many impediments” relating to the City’s processing requirements. (*Ibid.*)

Filmmaker July Irving and architectural historian Katherine Petrin attest to the currently-dangerous conditions for pedestrians walking up the Filbert Steps and crossing the street to approach Coit Tower – at the precise location where the project driveway is proposed. “It is abundantly clear that placing a driveway at the top of these stairs will exacerbate the already-unsafe conditions for pedestrians at this location. The proposed relocation of the bus stop several feet to the west will worsen this dangerous situation.” (Ex. 3, Letters from Judy Irvin and Katherine Petrin.)

Traffic impacts may also result from more than 10,000 truck trips required for the excavation and construction, that can only access the site via Telegraph Hill Boulevard. (Ex. 14, letter from Granite Excavation.)

The CEQA Appendix G checklist provides in section XVI recognizes that traffic impacts may be significant due to a substantial increase or due to an unusual design feature. Here, in addition to the 10,000 truck trips during construction, the baseline

roadway and sidewalk/steps conditions create an unusual situation where the proposed project driveway may significantly exacerbate pedestrian safety impacts post-construction.

3. Aesthetics/Cultural Resources: Visitors to and from Coit Tower often access Pioneer Park to and from the Filbert Steps, and traverse the steps on the south side of Pioneer Park. Going both up and down those steps, and pausing at the landing that is proposed as the project driveway, visitors enjoy a spectacular view of downtown San Francisco.

The project would significantly change that. Baseline views (including historic views pre-1995) compared with the project-related changed public views to and from Coit Tower and Pioneer Park are depicted in Exhibits 9, 10, 11, 12, 13, and 15.

As confirmed by architectural historian and Telegraph Hill resident Katherine Petrin, the height and mass of the proposed project would “eliminate a singular, sweeping view (bay to Financial District to Nob and Russian Hills, looking from the north) in a city distinguished internationally by the quality of its views.” (Ex. 3, letter from Petrin.) Ms. Petrin notes that project will diminish views in a manner that negatively impacts the historic context of Coit Tower and Pioneer Park, and will keep the Filbert Steps in shade and create a canyon effect due to a nearly solid wall plane. (*Ibid.*)

The Urban Design Element of the General Plan recognizes Telegraph Hill as an “Outstanding and Unique Area” that contributes in an extraordinary degree to San Francisco's visual form and character. (Policy 2.7, Urban Design Element of the San Francisco General Plan.) The public's extraordinary views from the Filbert Steps and Pioneer Park are protected by the Priority Planning Policies of the General Plan that provide: “*That our parks and open space and their access to sunlight and vistas be protected from development.*” (Planning Code Sec. 101.1(8))

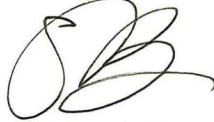
The project's potentially significant aesthetic and cultural resource impacts related to significant public views to and from Coit Tower and Pioneer Park are addressed in CEQA Guidelines Appendix G sections I and V. Potential related conflicts with adopted City plans are covered in section IX.

As already raised in the appeal, the project requires mitigation, currently noted on the project plans as general notes. These mitigations address access of construction equipment, removal of excavated rocks and soil, and a pedestrian tunnel to be erected over the Filbert Steps. These conditions are not enforceable and violate CEQA on that point alone. In addition, the imposition of mitigation precludes categorical exemption, because if a mitigation measure fails a significant environmental impact may result.

Please grant this appeal, and require environmental review for this project following submission of a revised project application.

Thank you for your consideration.

Sincerely yours,

A handwritten signature in black ink, appearing to be 'SB' with a flourish.

Susan Brandt-Hawley

TABLE OF EXHIBITS

115 Telegraph Hill Boulevard – Planning Department Case No. 2013.1375CE
Appeal of Exemption from Environmental Review
and
Conditional Use Authorization

- Exhibit 1 Geotechnical Letter dated November 6, 2014 from Lawrence Karp to Board of Supervisors.
- Exhibit 2 Sheet A3.5 of Project Plans dated 5/19/14, section of proposed building showing the depth of excavation for car lift shaft.
- Exhibit 3 Letters from Judy Irving and Katherine Petrin to Board of Supervisors re: Pedestrian safety and public enjoyment of view corridor.
- Exhibit 4
- E-mail and attachments from David Swetz (Project architect) to Gretchen Hilyard (planner for project) dated April 7, 2014 re: proposed scope of work for Filbert Steps.
 - E-mail from Nick Eisner of DPW to Gretchen Hilyard dated April 28, 2014 re: proposed scope of work for Filbert Steps would require a major encroachment permit.
 - E-mail from Gretchen to Daniel Frattin (Project attorney) and Frattin's response dated April 29 and April 30, 2014 re: General Plan Referral and environmental review requirements.
- Exhibit 5 Letter dated 8/4/1993 from Recreation and Park Department raising issues related to a previous proposed project.
- Exhibit 6 Appellant's alternative prepared by EHDD.
- Exhibit 7 Unit Sizes and Average Unit size within 300 Radius of Project Site.
- Exhibit 8
- Pages 1 and 2 of Planning Commission Motion No. 13782 describing the cottage in 1993 as a two unit building.
 - Permit history of rear cottage showing cancellation of permits to merge two units into one and to expand the footprint of the rear cottage as a single family home.
- Exhibit 9 Section showing public views from Coit Tower and Pioneer Park over proposed project from Sheet A3.12 prepared by Project Architect from Plans dated 9/16/14 before this Board.

- Exhibit 10 Vantage Point based photograph showing current view from Pioneer Park towards the Filbert Steps prepared by Project Architect.
- Exhibit 11 Ghosted Image of approximate height and mass of proposed Project viewed from Pioneer Park towards Filbert Steps prepared by Project Architect.
- Exhibit 12 Ghosted Image of Appellant's Alternative prepared by EHDD overlaid over Exhibit 12.
- Exhibit 13 Photograph showing pre-1995 view over the Bill Bailey Cottage prior to demolition by the current property owner.
- Exhibit 14 Load Count letter dated October 10, 2014 from Granite to Telegraph Hill Dwellers.
- Exhibit 15 Comparison of current view and view with Project from Financial District, Nob Hill, Chinatown, and Russian Hill
- Exhibit 16 Proposed additional conditions of approval based on Notes No. 23 to 33 on Sheet A0.0 of the Plans dated 9/16/14 before this Board.

LAWRENCE B. KARP
CONSULTING GEOTECHNICAL ENGINEER

FOUNDATIONS, WALLS, PILES
UNDERPINNING, TIEBACKS
DEEP RETAINED EXCAVATIONS
SHORING & BULKHEADS
EARTHWORK & SLOPES
CAISSONS, COFFERDAMS
COASTAL & MARINE STRUCTURES

SOIL MECHANICS, GEOLOGY
GROUNDWATER HYDROLOGY
CONCRETE TECHNOLOGY

November 6, 2014

Board of Supervisors
City & County of San Francisco
1 Dr. Carlton B. Goodlett Place
City Hall, Room 244
San Francisco, CA 94102

Subject: 115 Telegraph Hill Boulevard, San Francisco
Planning Case No. 2013.1375CE [Block 0105 - Lot 065]
Appeal of [Project] Exemption from Environmental Review

Dear President Chiu and Members of the Board:

This letter-report supplements my correspondence of 7/16/14 to City Planning (copy attached) concerning the inadequacy of the geotechnical report for the proposed project at 115 Telegraph Hill Blvd. (the "Project") and elaborates on the fact-based evaluation of the potential environmental impact of the subject Project based on the principal engineering and construction aspects of the Project considered under the California Environmental Quality Act (CEQA) regulations. The City Planning Department determined the Project was categorically exempt from environmental review on 6/10/14 (revised 9/3/14).

In my professional opinion, the Project presents unusual circumstances as there has never before been a vertical excavation more than 10 feet deep in the proximity of the south side of Pioneer Park and Coit Tower. Although the risk of a deep open (not a shaft) excavation should be obvious (as was noted on 7/16/14, the excavation required for the Project is 33 feet deep [per Drawing A3.4 issued 5/19/14; Surface El. +252, bottom foundation scaled El. +219]), the City failed to require the submittal of engineering information related to the stability of the surrounding hillside. Instead, the Planning Department issued a new or revised categorical exemption determination on 9/3/14 and a novel approach was taken by "omitting and voiding from submission" all the architectural drawings showing sections through the building (as shown on Drawing A0.0, Revision 5, 9/16/14) following the Planning Commission hearing on 9/11/14. The Project's design is even more incomplete than before.

However, even though the current section drawings have been omitted by the Planning Department from the submission using words like "pad" in the exemption determination, the excavation still has to be at least 32 feet deep because the rear elevation (Drawing A3.2, Revision 5, 9/16/14) shows the foundation extending to at least El. +220 (scaled) which means excavating to at least 32 feet below the ground surface. Because the submittal was altered, no adequate or useful geotechnic data for the Project was provided to the public or decision makers, violating the standard-of-care for a proper environmental investigation which must include environmental risks.

No information has been submitted to the Planning Department concerning even a projected ways-and-means effort for continuously restraining a 32 or 33 foot deep vertical excavation within an unstable series of the Franciscan formation. Only selected architectural drawings have been submitted, no geotechnic data necessary for a theory of a support system or mitigation of vibrations and the effects of dewatering have been provided, and when questioned about the missing engineering the Project sponsor does nothing more than invite Appellants to assemble and produce for them the necessary data.

In my professional opinion, it is more than a reasonable possibility that a 32 or 33 foot deep dewatered excavation into ground that supports Telegraph Hill Boulevard and Pioneer Park would not only impair lateral and subjacent support along the only access roadway to Coit Tower, but the drawdown due to dewatering alone will significantly affect neighboring properties and leave a latent condition that irreparably relieves lateral and subjacent support along the southern flank of Pioneer Park south of Coit Tower. An open excavation 32 or 33 feet deep along the only road to Coit Tower presents serious hazards to those working on-site as well as those above the building site. Except for Telegraph Hill Boulevard which dead-ends at Coit Tower, the project site is landlocked so because there is no other vehicular access to the site the excavated materials can only be trucked away by multiple trucks that have no choice but to turn around at Coit Tower. The Project site is mapped as being between earthquake induced landslide hazard areas (C&CSF 2000) as shown on the attached map (landslide areas in light blue). The effects of dewatering on adjacent properties, the loss of lateral and subjacent support to the roadway and hillside, the vibrations during breaking and excavating the greywacke, the hazards of working in and under a 32 or 33 foot deep excavation, trucking, and excavating in a landslide hazard zone are all critical environmental concerns.

The adverse environmental impacts from the Project will be significant and no solution is practicable from following codes or regulations (off-site compliance with 2013 SFBC §3307 is not feasible). Once the groundwater table is drawn down, subsequent recharging of the sandstone and joints by rainfall (if that would occur with subterranean drainage behind the garage installed 32 or 33 feet below the existing ground surface) would likely produce weakened ground support conditions surrounding the Project (most of the buildings are more than 100 years old). The probability of altered conditions off-site, and environmental impacts off-site, due to vibrations during breaking and removing blocks of greywacke sandstone, loss of lateral and subjacent support both during construction and later, and drawing down the groundwater table is significant.

The history of Telegraph Hill includes numerous rock falls on its east, north, and south faces even after quarrying by the Gray Bros. terminated approximately 100 years ago. Observations of the predominate sandstone (greywacke) exposed in the rock faces find pervasive fractures with both subhorizontal and subvertical intersecting joint sets with varying spacing of discontinuities in the formation [*KJss*] (Schlocker 1974); minor fine sandstone shale [*ssh*] horizons interbedded with thick to massive sandstone [*ss*] units. The most recent major rockfall occurred northeast of Coit Tower in January 2012. There the latent effects of vibrations from blasting and excavating into the hillside resulted in progressive falls of greywacke sandstone blocks that were separated by interbeds of shale and fine sandstone which erodes with stormwater, letting the blocks loose.

Specifically, on the south facing hillside of Telegraph Hill below the Project site, the hillside that supports Coit Tower and Pioneer Park, there were the major rockfalls in October 1962 and February 2007 and intermittent rockfalls between 1984 and 1998 that were attributed to new construction (Geolith 1998) which included rock sporadically falling from below the condominiums on Vallejo Street. The rockfalls in 2007 resulted in the City declaring the buildings in the area were uninhabitable (SFGate 2007). The Project site is in the same geologic formation [*KJss*] as is the toe of the greywacke and shale rockfall locations between 1962 and 2007 (below Vallejo between Montgomery and Kearny), as shown in light blue on the attached map (Schlocker 1974). Also indicative of the nexus between site conditions is that the available joint set data of the greywacke at the Project site, and at the 1962-2007 rockfall site, are almost the same (40° or 45° dips to the southwest from similar strikes).

The Planning Department's exemption from environmental review dated 9/3/14 was based on 14 CCR §15301(d) [Class 1, restoration] and §15303(b) [Class 3, six or less dwelling units] but Class 3 exemptions are qualified by location where, if a project may have a significant impact on the environment, an exemption will be disallowed. Categorical exemptions are rebuttable. 14 CCR §15300.2(c) specifically does not apply to projects where there may be a "Significant Effect", i.e. "A categorical exemption shall not be used for an activity where there is a reasonable possibility that the activity will have a significant effect on the environment due to unusual circumstances."

The Project, due to the unusual circumstances of a wide 32 or 33 foot deep open vertical excavation, which radically differs from the general circumstances of projects covered by the granted exemption, 14 CRC §15303(b), and all that is related to the excavation as summarized herein, requires environmental review under CEQA. The stability of the Franciscan formation (greywacke sandstone interbedded with fine sandstone and shale), is affected by water, so the project's dewatering, recharging, subsurface drainage and cyclic recharging by rainfall will surely impact not only the Project's ground environment but buildings in the area, and all of those impacts will be significant. Vibrations and loss of lateral support during construction and after will also significantly impact the Project's environment. Significant effects will arise from the unusual circumstances. The rockfall events discussed herein demonstrating the instability of excavations into Telegraph Hill and the certainty of encountering the same geotechnic conditions during excavating 32 or 33 feet for construction of the planned Project as exists where rock failures and damages have occurred over many years in the toe of the geologic formation, even without dewatering, lead to the inevitable conclusion that the Project is not categorically exempt from environmental review.

In my professional opinion, the Project as proposed is likely to result in significant potential environmental impacts not only during construction but even after construction, as they will be cumulative in service due to impairment of lateral and subjacent support and alterations in the groundwater regime.

Yours truly,

Lawrence B. Karp



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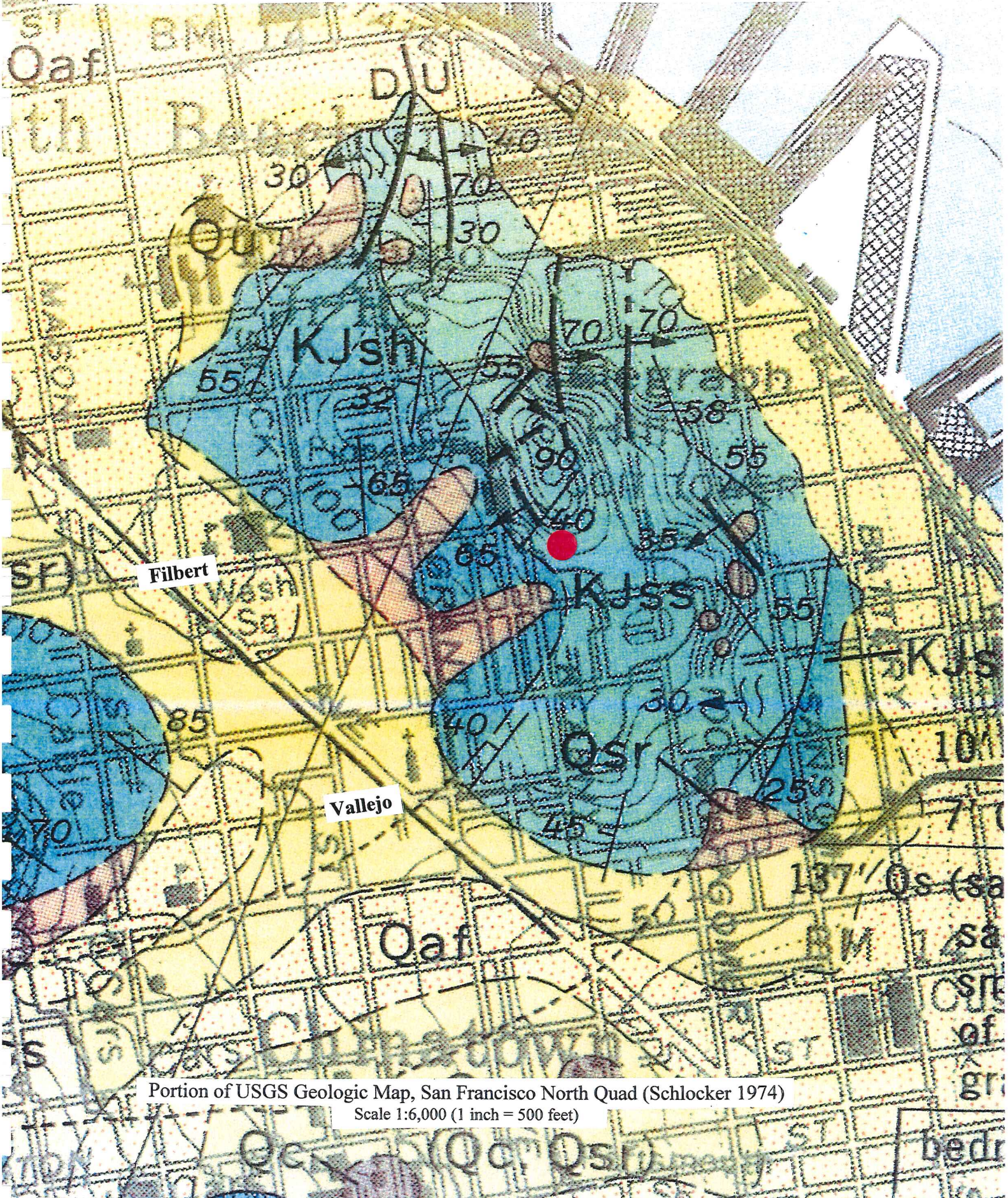
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Treadwell & Rollo, Inc./Olivia Chen Consultants, Inc., December 29, 1999; "Preliminary Geotechnical, Geological and Structural Investigation, Calhoun Terrace, San Francisco, California", report prepared James Chia, Division of Public Works, City and County of San Francisco, 17 pages, 8 figures, & 3 appendices (Appendix A with Log of 1 Boring with rock chart and field notes, Appendix B with photographs, and Appendix C with report by GFDS Engineers, July 28, 1999).

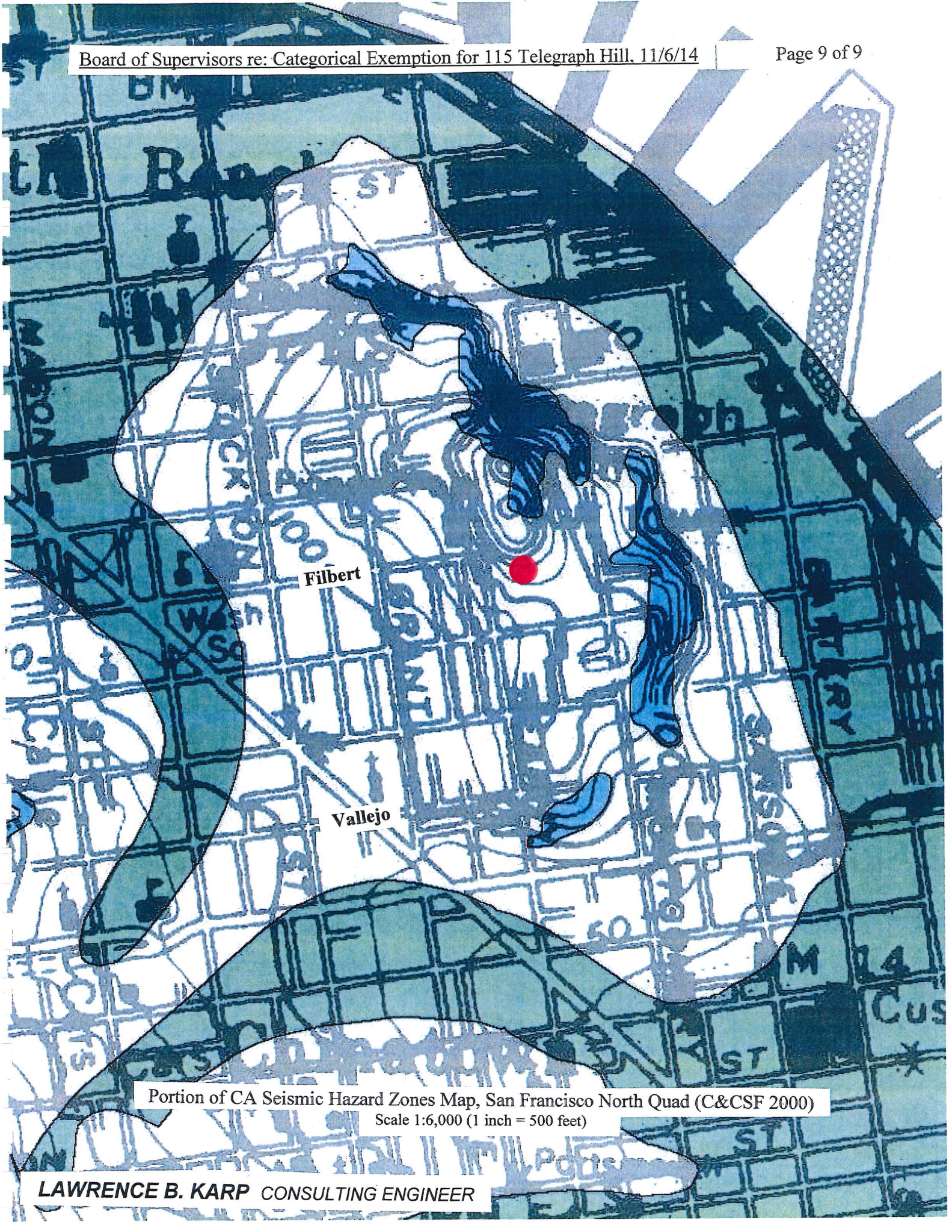
Treadwell & Rollo, Inc., Environmental and Geotechnical Consultants, October 2, 2000; "Geologic and Geotechnical Investigation, Broadway Rockslide, Telegraph Hill, San Francisco, California", report prepared for Joseph Gogna, Brandy Ho, and 455 Vallejo Street Condominium Homeowners Association c/o Valinoti & Dito; 18 pages, 14 figures & 3 appendices (Appendix A with Geolith 1998 report, Appendix B with site plan showing area removal of rock debris, and Appendix C with rockfall mitigation plans 2000).

U. S. Geological Survey, 1956 (Photorevised 1968 & 1973); "San Francisco North, Calif.", 7½ Minute Quadrangle, map, Scale 1:24,000 (1"=2,000'), 1 sheet.



Portion of USGS Geologic Map, San Francisco North Quad (Schlocker 1974)

Scale 1:6,000 (1 inch = 500 feet)



Portion of CA Seismic Hazard Zones Map, San Francisco North Quad (C&CSF 2000)
Scale 1:6,000 (1 inch = 500 feet)

LAWRENCE B. KARP CONSULTING ENGINEER

LAWRENCE B. KARP
CONSULTING GEOTECHNICAL ENGINEER

FOUNDATIONS, WALLS, PILES
UNDERPINNING, TIEBACKS
DEEP RETAINED EXCAVATIONS
SHORING & BULKHEADS
EARTHWORK & SLOPES
CAISSONS, COFFERDAMS
COASTAL & MARINE STRUCTURES

SOIL MECHANICS, GEOLOGY
GROUNDWATER HYDROLOGY
CONCRETE TECHNOLOGY

July 16, 2014

Planning Commission
City and County of San Francisco
1650 Mission Street, Suite 400
San Francisco, CA 94103

Subject: 115 Telegraph Hill Boulevard, San Francisco
Case No. 2013.1375CE [Block 0105 - Lot 065]
Geotechnical Engineering for Proposed Project

Dear President Wu and Commissioners,

This correspondence is a critique of the totally inadequate "Geotechnical Investigation" report prepared by Earth Mechanics Consulting Engineers, 6/22/13, used by the Planning Department to evaluate the project for CEQA Categorical Exemption. SFPD's "Certificate of Determination - Exemption from Environmental Review", not written by a civil/geotechnical engineer or architect of other licensed professional, summarizes the report's sufficiency by stating "*The project sponsor has agreed to adhere to the recommendations of the geotechnical report and include the design recommendations into the plans submitted for the building permit plancheck process subject to final review by DBI. Thus, the proposed project would have no significant geotechnical impacts.*" This nonsensical convoluted summary is just as useless as the report in providing any critical information as to defining the characteristics of the ground that, according to Sheet A3.4 will be excavated, vertically, 33 feet deep at the edge of Telegraph Hill Blvd. For a site plan ("Map") a box is shown with nothing (no dimensions, no topography, no intended structure, no geology) except targets for "Borings" (B-1, closest to the excavation, was 1 foot deep with a note "*No Free Water Encountered*"). The remainder of the report are wordprocessing boilerplates useless for this project. To wit, nowhere in the report is there any mention of the 33 foot deep excavation for the car lift shaft at the edge of the Telegraph Hill Blvd. below Coit Tower.

The report contains no substance as to the critical aspect, lateral and subjacent support for the deep excavation at the street, shown on the architectural plans prepared after the report, consequently there is no shoring design and no structural plans exist for the project. Not only is there absolutely no physical investigation of the bedrock (bedding, dip, strike, stratification, fractures, etc) that supports the roadway immediately south of Coit Tower, but there is not even an evaluation of the severely weathered bedrock (sandstone with interbedded shale) exposed directly across the street from the proposed project at El. +253 and there is no evaluation of the construction and service effects on the adjacent apartment building at 109-111 Telegraph Hill due to the necessary excavation dewatering to work in the dry.

What seems to have been lost on the reporting engineer as well as SFPD is that stability is a three dimensional problem. The hillside is comprised of clastic sedimentary rocks; blocks of graywacke sandstone (*KJss*) and phyllitic shale separated by reverse faults, and/or is comprised of shale with thin zones of sheared shale (*Kjsh*) interbedded with siltstone. This "Geotechnical Investigation" report comes nowhere near compliance with the standard-of-care for a proper report of geotechnical investigation for the intended project.

Basically, the relatively weak eroding interbedded shales are supporting the sandstone blocks. It is a fundamental civil engineering concept that cutting into a hillside anywhere along the lower reaches of a slope will remove existing lateral and subjacent support to the hillside. In this case, any loss of support will cause yielding of the weaker rocks which will decrease density of those materials. The process is progressive as additional water will infiltrate the raveling thin-bedded shale beds, which dip downslope. The infiltration, yielding, and raveling will lead to increased loss of support for the massive fractured sandstone blocks.

Under CEQA, the project requires environmental review. 14 CCR §15300.2[c] provides “a categorical exemption shall not be used for an activity where there is a reasonable possibility that the activity will have a significant effect on the environment due to unusual circumstances.” In my professional opinion, the project as proposed is likely to result in significant environmental effects not only during construction, but the impacts will be cumulative in service due to impairment of lateral and subjacent support, alterations in groundwater hydrology, and erosion of the shale interbedding.

Yours truly,

Lawrence B. Karp



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DeLisle, M. D., 1993b; “Map Showing Areas of Exposed Bedrock and Contours on Bedrock Surface on a Portion of the San Francisco North 7.5' Quadrangle”, map prepared for California Div. of Mines and Geology [unpublished], Scale 1:24,000 (1" = 2,000'), 1 sheet.

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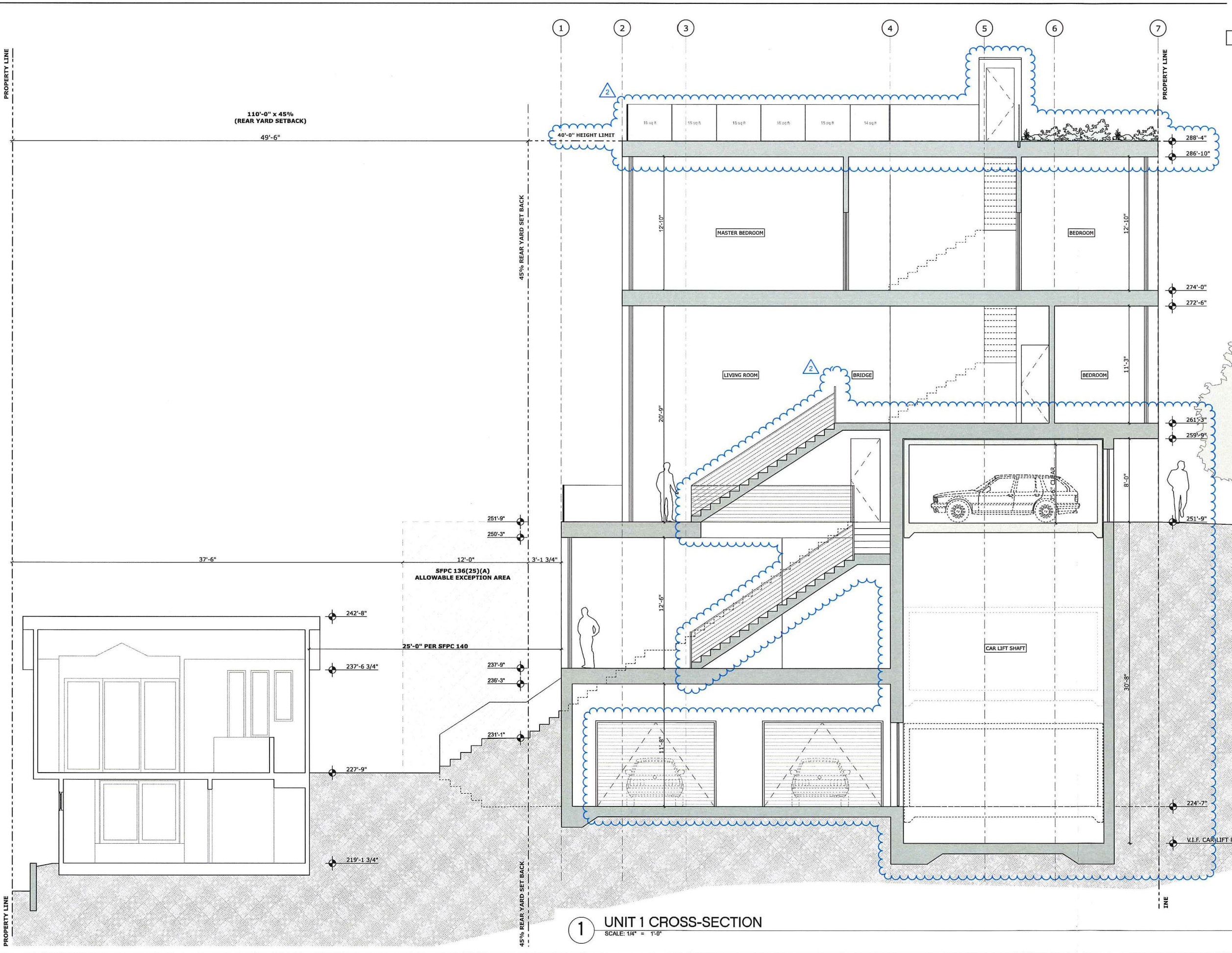
Karp, Lawrence B.- Consulting Geotechnical Engineer, December 22, 1989b; “Plan Review [Permit Application 8903395], 16-18 Napier Lane, San Francisco CA” letter-report prepared for the City and County of San Francisco, Job 89150, 1 page.

Karp, Lawrence B.- Consulting Geotechnical Engineer, April 28, 1990a; “Foundation Construction, 16-18 Napier Lane, San Francisco CA” letter-report prepared for Wayne Kasom, Job 90030, 2 pages.

- Karp, Lawrence B.- Consulting Geotechnical Engineer, May 24, 1990b; "Foundation Construction Specifications, 16-18 Napier Lane, San Francisco CA", specifications prepared for Paragon Construction, Job 90030, 4 pages.
- Karp, Lawrence B.- Consulting Geotechnical Engineer, September 27, 1994; "Alta Street Failure, San Francisco CA", letter-report prepared for Coblenz, Cahen, McCabe & Breyer, Job 94133, 3 pages.
- Karp, Lawrence B.- Consulting Geotechnical Engineer, July 3, 1997a; "Rock/Earth Slides, 1355 Sansome Street, San Francisco CA", letter-report prepared for the Department of Building Inspection, City and County of San Francisco, Job 97041, 6 pages.
- Karp, Lawrence B.- Consulting Geotechnical Engineer, October 15, 1997b; "Rock/Earth Slides, 1355 Sansome Street, San Francisco CA", letter-report prepared for the Department of Building Inspection, City and County of San Francisco, Job 97041, 2 pages.
- Karp, Lawrence B.- Consulting Geotechnical Engineer, November 21, 1997c; "Rock/Earth Slides-Final Report, 1355 Sansome Street, San Francisco CA", letter-report prepared for the City and County of San Francisco-Department of Building Inspection, Job 97041, 1 pg.
- Karp, Lawrence B.- Consulting Geotechnical Engineer, June 22, 1998a; "Proposed Tieback Retaining Wall - Site Conditions & Recommendations, 1191V Sansome Street at 66-70 Calhoun Terrace, San Francisco CA [Block 113 - Lot 41 (Sansome) at Lot 34 (Calhoun)]", letter-report prepared for the David L. Davies Trust, Job 98058, 11 pages.
- Karp, Lawrence B.- Consulting Geotechnical Engineer, July 5, 1998b; "Replacement Retaining Wall - 1191 Sansome Street, San Francisco CA", letter-report prepared for the City & County of San Francisco Planning Department, Job 98058, 1 page.
- Karp, Lawrence B.- Consulting Geotechnical Engineer, November 27, 1998c; "New Tieback Retaining Wall - 1191 Sansome Street, San Francisco CA [Special Inspection of Concrete; Permit Application 9811897/Permit 856905]", letter-report prepared for the City & County of San Francisco Department of Building Inspection, Job 98058, 1 page.
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- Myrick, David F., 1972; "San Francisco's Telegraph Hill", Howell-North Books, Berkeley, 220 pages.
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- Schlocker, Julius, 1974; "Geology of the San Francisco North Quadrangle, California", Professional Paper 782, includes Plates [1] "Geologic Map...", [2] "Composition and Grain Size of Surficial Deposits...", and [3] "Map Showing Areas of Exposed Bedrock, Contours on Bedrock Surface, and Landslides...", map Scale 1:24,000 (1" = 2,000'), U. S. Geological Survey, 109 pages & 3 plates.
- U. S. Geological Survey, 1956 (Photorevised 1968 & 1973); "San Francisco North, Calif.", 7½ Minute Quadrangle, map, Scale 1:24,000 (1" = 2,000'), 1 sheet.

Exhibit 2

Sheet A3.5 of Project Plans dated
5/19/14, Section of Proposed Building
Showing the Depth of Excavation for
Car Lift Shaft.



PLANNING PERMIT

REVISIONS:	BY:
1 NOPDR #1 - 02/13/2014	DS / SR
2 NOPDR #2 - 05/19/2014	DS / SR

JOB#:	1205
DATE:	AUG. 12, 2013
DRAWN:	SR/DS
CHECKED:	LB
SCALE:	AS NOTED

1 UNIT 1 CROSS-SECTION
SCALE: 1/4" = 1'-0"

UNIT 1 SECTION

November 5, 2014

Dear President Chiu and Board of Supervisors,

I am blessed to have lived in a historic, affordable cottage on Telegraph Hill on the Greenwich Street steps for 13 years. I work as an independent filmmaker at a small office in North Beach near the intersection of Stockton and Filbert Streets where I produced a documentary film about the Wild Parrots of Telegraph of Hill. I commute by foot to work every day via the Filbert Steps and spent over two years in this area recording film footage for the Telegraph Hill documentary.

Every time I pass the 115 Telegraph Hill Boulevard project site I witness large numbers of pedestrians taking pictures or looking at the view. The vast majority of the pedestrian flow comes up the Filbert Steps from the west. As early as 8:00 am in the morning there are clusters of visitors who appear at the project site and take photos.

The mid-block pedestrian crosswalk across from the 115 Telegraph Hill Boulevard site is already dangerous for pedestrians. I have seen numerous cars fail to stop at this intersection and have witnessed pedestrian/vehicular conflicts on many occasions. As a regular user of the Filbert Steps for many years, it is my opinion that having a driveway at the very top of the stairs will create a dangerous situation for pedestrians there, especially those unfamiliar with the location, even if the garage door is "recessed" from the face of the front façade.

Please do not approve this project as proposed.

A handwritten signature in black ink that reads "Judy Irving". The signature is written in a cursive, flowing style.

Best regards,
Judy Irving
Producer/Director
films@pelicatnmedia.org

7 November 2014

Board President David Chiu
and Members of the Board of Supervisors
1 Carlton B. Goodlett Place
City Hall
San Francisco, CA 94102

Re: Appeal, 115 Telegraph Hill Boulevard

To Whom it May Concern:

My name is Katherine Petrin. I am an architectural historian and Telegraph Hill resident. I reside at 333 Greenwich Street on the first flight of the Greenwich Steps on the east side of Telegraph Hill directly below Pioneer Park and just over 300 feet from the site of the proposed development at 115 Telegraph Hill Blvd. I have lived at this location for over seven years and have resided in the North Beach/Telegraph Hill neighborhood for 15 years. My office is located on Stockton Street in North Beach. On most days, my "walking commute" to work in North Beach is via the Filbert Street Steps along the northern edge of the project site. Often times I walk these steps, going back and forth to North Beach, 4-6 times a day.

I am extremely familiar with the project site and pedestrian, vehicular and bus movement on Telegraph Hill Boulevard, which I almost observe daily.

My observations are as follows: the western Filbert Steps between Kearny Street and Telegraph Hill Boulevard are extremely well used by neighbors and visitors alike. When I walk by this location, there are often concentrations of visitors en route to Pioneer Park and Coit Tower from the west side via the Filbert Steps. In the span of a few minutes I can often see as many as a dozen visitors walking up these stairs from North Beach. Based on my years of observation this is the most heavily used pedestrian corridor for access to Pioneer Park and Coit Tower.

At the top landing of the western Filbert Steps from Telegraph Hill Boulevard, I appreciate hearing, and sometimes engaging with and answering questions from, the visitors who stop to comment on the breathtaking view of downtown to the southwest. Even through the chain-link fence, they stop and gaze at the spectacular view of downtown, North Beach, Chinatown, and Russian and Nob Hills.

I have never heard one complaint from any visitor about the 115 Telegraph Hill Boulevard site being unsightly. Instead I hear "oohs and aaahs" and joy and expressions of the magic of San Francisco.

Katherine T. Petrin | Architectural Historian & Preservation Planner
1736 Stockton Street, Suite 2A, San Francisco, California 94133

I also witness the circulation of the #39 Coit Tower bus. At certain times, on weekends and during the "tourist season" (which is virtually year-round), I witness the bus stopped in congested traffic en route to the dead-end Coit Tower parking lot at the top of Telegraph Hill Boulevard.

I also witness dangerous close calls involving vehicle/pedestrian conflicts where hundreds of pedestrians use the mid-block crosswalk toward Coit Tower at the top of the Filbert Steps. It is abundantly clear that placing a driveway at the top of these stairs will exacerbate the already-unsafe conditions for pedestrians at this location. The proposed relocation of the bus-stop several feet to the west will serve to worsen this dangerous situation.

Speaking as an architecture professional and historian, I believe that the proposed project will impact the overall context of Coit Tower and Pioneer Park. In my opinion, the project will diminish the quality of the visitor experience in various ways, keeping the Filbert Steps in shade and creating a canyon effect due to a nearly solid wall plane.

Most importantly, the project will eliminate a singular, sweeping view (bay to Financial District to Nob and Russian Hills, looking from the north) in a city distinguished internationally by the quality of its views. It will diminish a high-quality walking experience. In addition, the surroundings of Pioneer Park and Coit Tower, a National Register designated site, contribute to the overall integrity of these valued public places. I believe the scale of the proposed project will negatively impact these public places.

Sincerely,

A handwritten signature in black ink, appearing to read "Katherine T. Petrin". The signature is fluid and cursive, with a large initial "K" and a distinct "P".

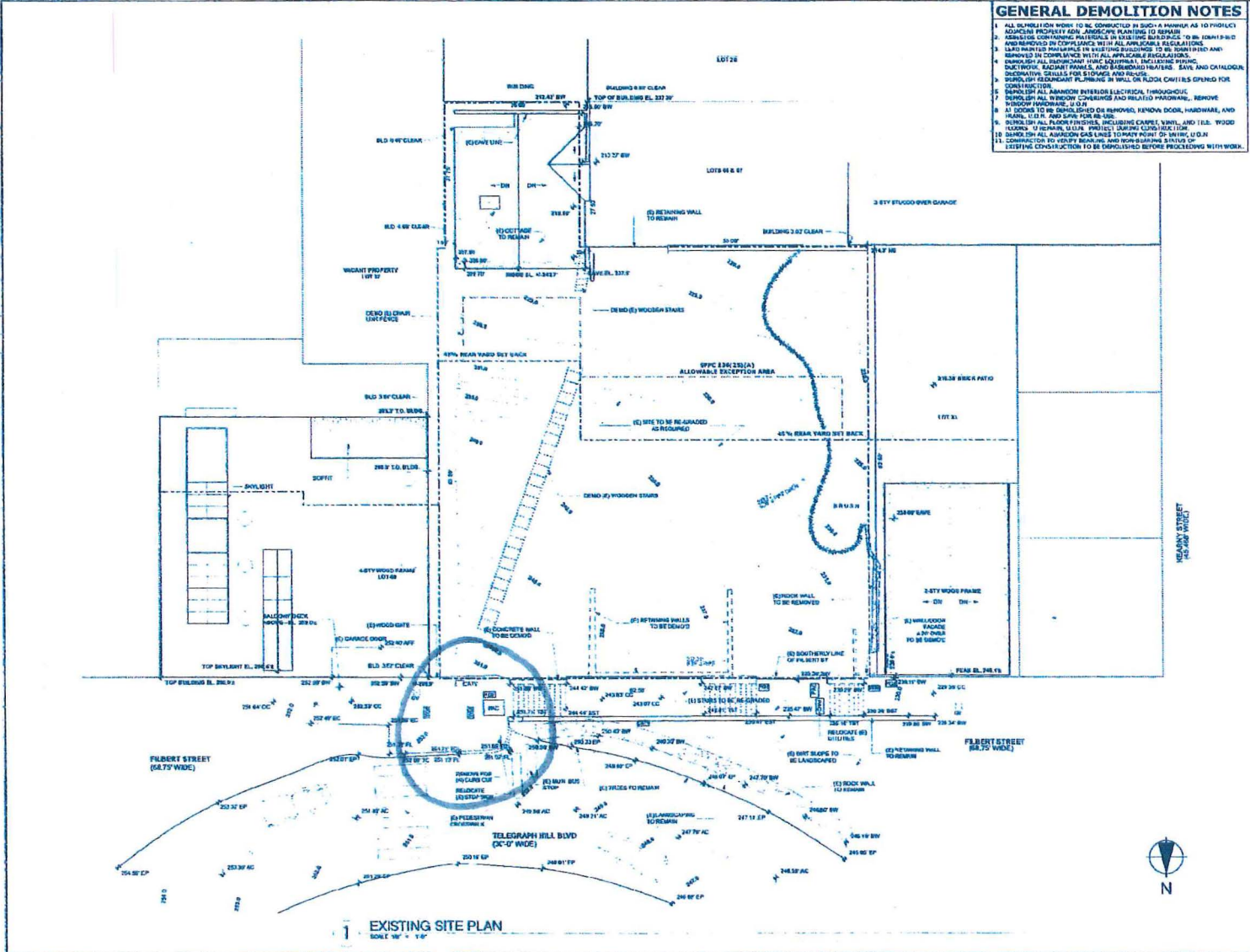
Katherine Petrin

From: [David Swetz](#)
To: [Hilyard, Gretchen \(CPC\)](#)
Cc: [Watty, Elizabeth \(CPC\)](#); [Kline, Heidi \(CPC\)](#)
Subject: Re: 115 Telegraph Hill
Date: Monday, April 07, 2014 2:03:22 PM
Attachments: [140213_1205_PLANNINGPERMIT_REVISION1 \(dragged\).pdf](#)
[ATT00001.htm](#)

Hi Gretchen,

Beyond what is filed, we do not currently have further drawings for the stairs. The existing stairs are shown on A0.5 and the proposed on A0.6, with a proposed section on A3.1. I have separately attached those for convenience here.

My understanding is that this scope of work would be a separate DPW Street Improvement Permit. Please clarify whether we should submit further drawings, and if this can be submitted informally to you, or if we should file formally to DPW under a Street Improvement Permit application.



- GENERAL DEMOLITION NOTES**
1. ALL DEMOLITION WORK TO BE CONDUCTED IN SUCH A MANNER AS TO PROTECT ADJACENT PROPERTY FROM AIRBORNE PARTICLES TO BE EMITTED AND AVOID NEIGHBORHOOD COMPLAINTS.
 2. ALL DEMOLITION WORK SHALL BE IN ACCORDANCE WITH THE CALIFORNIA DEMOLITION ACT AND ALL APPLICABLE REGULATIONS.
 3. ALL MATERIALS TO BE REMOVED SHALL BE PROPERLY SEPARATED AND REMOVED IN ACCORDANCE WITH ALL APPLICABLE REGULATIONS.
 4. DEMOLITION SHALL BE CONDUCTED IN SUCH A MANNER AS TO AVOID DAMAGE TO ADJACENT PROPERTY AND UTILITIES.
 5. DEMOLITION SHALL BE CONDUCTED IN SUCH A MANNER AS TO AVOID DAMAGE TO ADJACENT PROPERTY AND UTILITIES.
 6. DEMOLITION SHALL BE CONDUCTED IN SUCH A MANNER AS TO AVOID DAMAGE TO ADJACENT PROPERTY AND UTILITIES.
 7. DEMOLITION SHALL BE CONDUCTED IN SUCH A MANNER AS TO AVOID DAMAGE TO ADJACENT PROPERTY AND UTILITIES.
 8. ALL WORK TO BE DEMOLISHED OR REMOVED, REMOVE DOORS, HARDWARE, AND TRIMS, ETC., AND SAVE FOR REUSE.
 9. REMOVE ALL FLOOR FINISHES, INCLUDING CARPET, VINYL, AND TILE. WOOD FLOORING TO BE REMOVED AND REUSED OR RECYCLED.
 10. REMOVE ALL ROOFING AND CEILING FINISHES AND REUSE OR RECYCLE.
 11. CONTRACTOR TO VERIFY BEARING AND NON-BEARING STATUS OF EXISTING CONSTRUCTION TO BE DEMOLISHED BEFORE PROCEEDING WITH WORK.

**BUTLER ARMSDEN
ARCHITECTS**

444 CALIFORNIA STREET
SAN FRANCISCO, CA 94108
415.774.2700
F 415.774.2700

115 TELEGRAPH HILL
115 TELEGRAPH HILL BLVD., SAN FRANCISCO, CA 94133.

PLANNING PERMIT

REVISIONS: BY: DATE: 11/12/2013

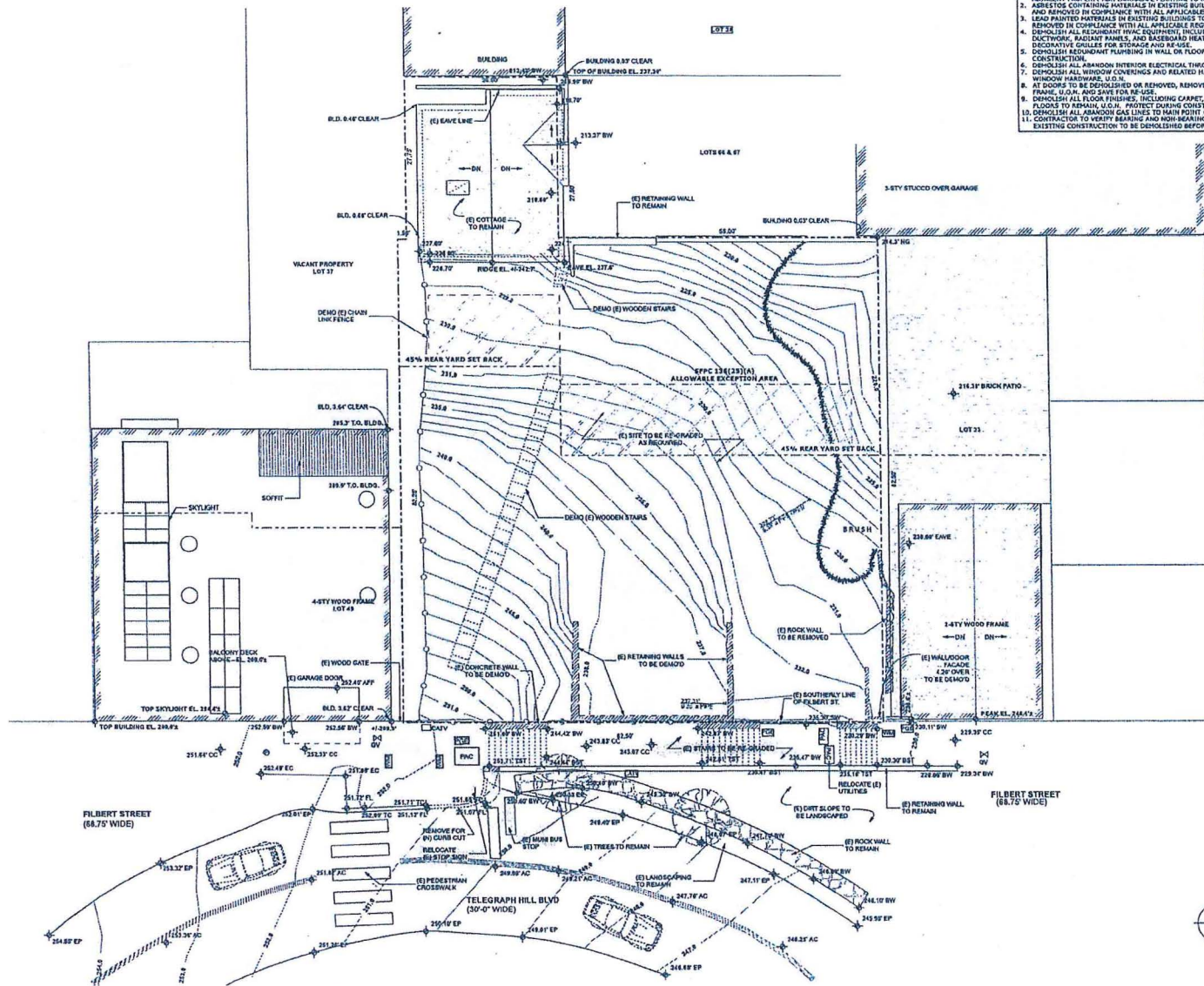
JOB#: 1205
DATE: AUG. 12, 2013
DRAWN: SADS
CHECKED: L.B.
SCALE: AS NOTED

EXISTING SITE PLAN

A0.5

GENERAL DEMOLITION NOTES

1. ALL DEMOLITION WORK TO BE CONDUCTED IN SUCH A MANNER AS TO PROTECT ADJACENT PROPERTIES AND LANDSCAPE PLANTING TO REMAIN.
2. ADHESIVES CONTAINING MATERIALS IN EXISTING BUILDINGS TO BE IDENTIFIED AND REMOVED IN COMPLIANCE WITH ALL APPLICABLE REGULATIONS.
3. LEAD PAINTED MATERIALS IN EXISTING BUILDINGS TO BE IDENTIFIED AND REMOVED IN COMPLIANCE WITH ALL APPLICABLE REGULATIONS.
4. DEMOLISH ALL REFRIGERANT HVAC EQUIPMENT INCLUDING PIPING, ELECTRONIC REFRIGERANT FRAMES, AND BASEBOARDS HEATERS. SAVE AND CATALOGUE DECORATIVE GRILLES FOR STORAGE AND RE-USE.
5. DEMOLISH REFRIGERANT PIPING IN WALL OR FLOOR CAVITIES OPENED FOR CONSTRUCTION.
6. DEMOLISH ALL ABANDON INTERIOR ELECTRICAL THROUGHOUT.
7. DEMOLISH ALL WINDOW COVERINGS AND RELATED HARDWARE, REMOVE WINDOW HARDWARE, U.O.S.
8. AT DOORS TO BE DEMOLISHED OR REMOVED, REMOVE DOOR, HARDWARE, AND FRINGE, U.O.S., AND SAVE FOR RE-USE.
9. DEMOLISH ALL FLOOR FINISHES, INCLUDING CARPET, VINYL, AND TILE. WOOD FLOORS TO REMAIN, U.O.S., PROTECT DURING CONSTRUCTION.
10. DEMOLISH ALL ABANDON GAS LINES TO MAIN POINT OF ENTRY, U.O.S.
11. CONTRACTOR TO VERIFY BEARING AND NON-BEARING STATUS OF EXISTING CONSTRUCTION TO BE DEMOLISHED BEFORE PROCEEDING WITH WORK.



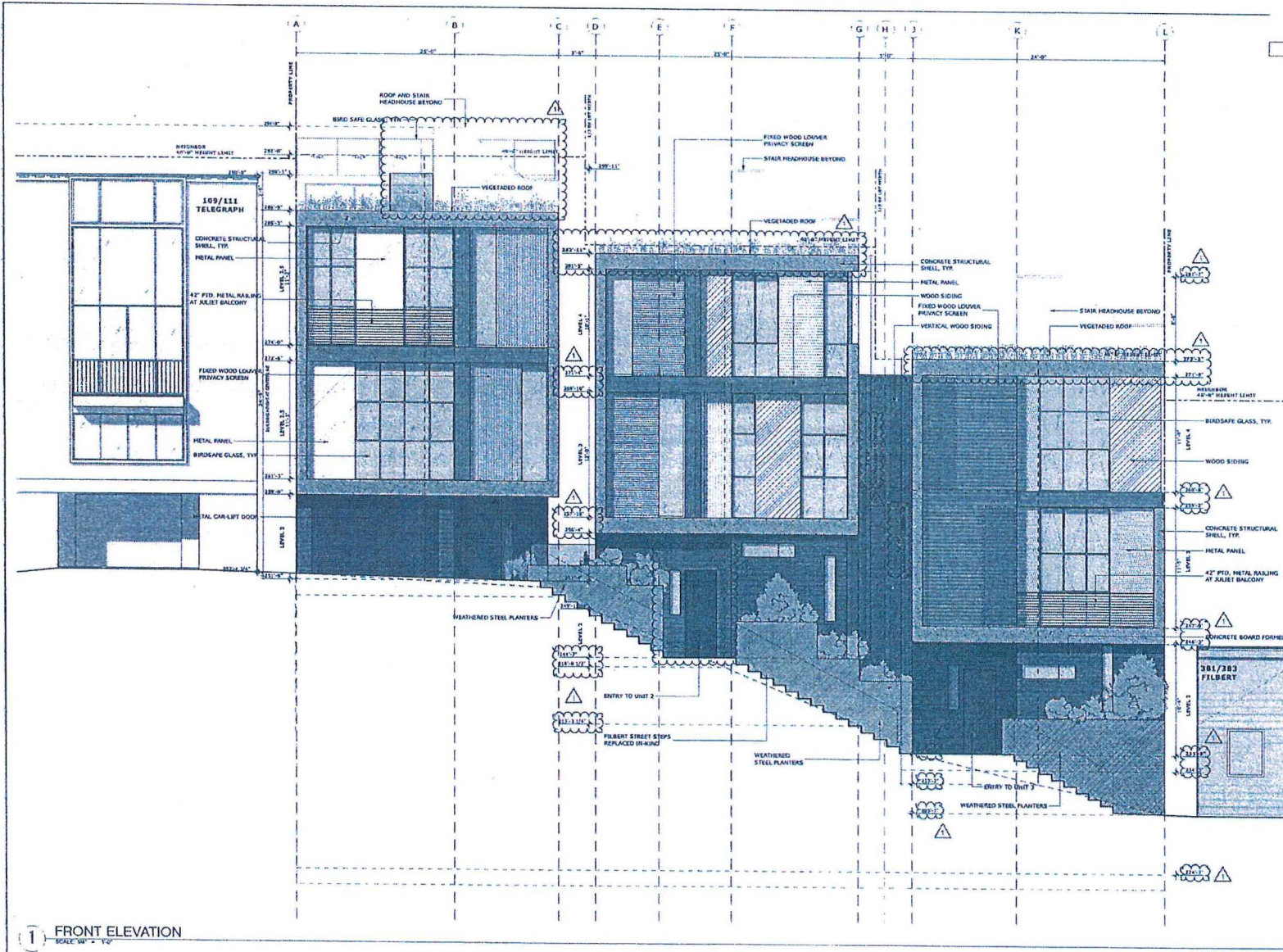
1 EXISTING SITE PLAN
SCALE: 1/8" = 1'-0"

PLANNING PERMIT

REVISIONS:	BY:
▲ NOPR #31 - 02/13/2014	DS / SR

JOB#:	1205
DATE:	AUG. 12, 2013
DRAWN:	SR/DS
CHECKED:	LB
SCALE:	AS NOTED

EXISTING SITE PLAN



400 CALIFORNIA STREET
 SAN FRANCISCO, CA 94104
 BUTLERARMSDEN.COM
 E: INFO@BUTLERARMSDEN.COM
 T: 415 414 3334
 F: 415 414 3027

115 TELEGRAPH HILL
 115 TELEGRAPH HILL BLVD., SAN FRANCISCO, CA, 94133.

PLANNING PERMIT

REVISIONS:	BY:
1. AOPOR #1 - 02/13/2014	DS / SR

JOB#:	1205
DATE:	AUG. 12, 2013
DRAWN:	SR/DS
CHECKED:	LB
SCALE:	AS NOTED

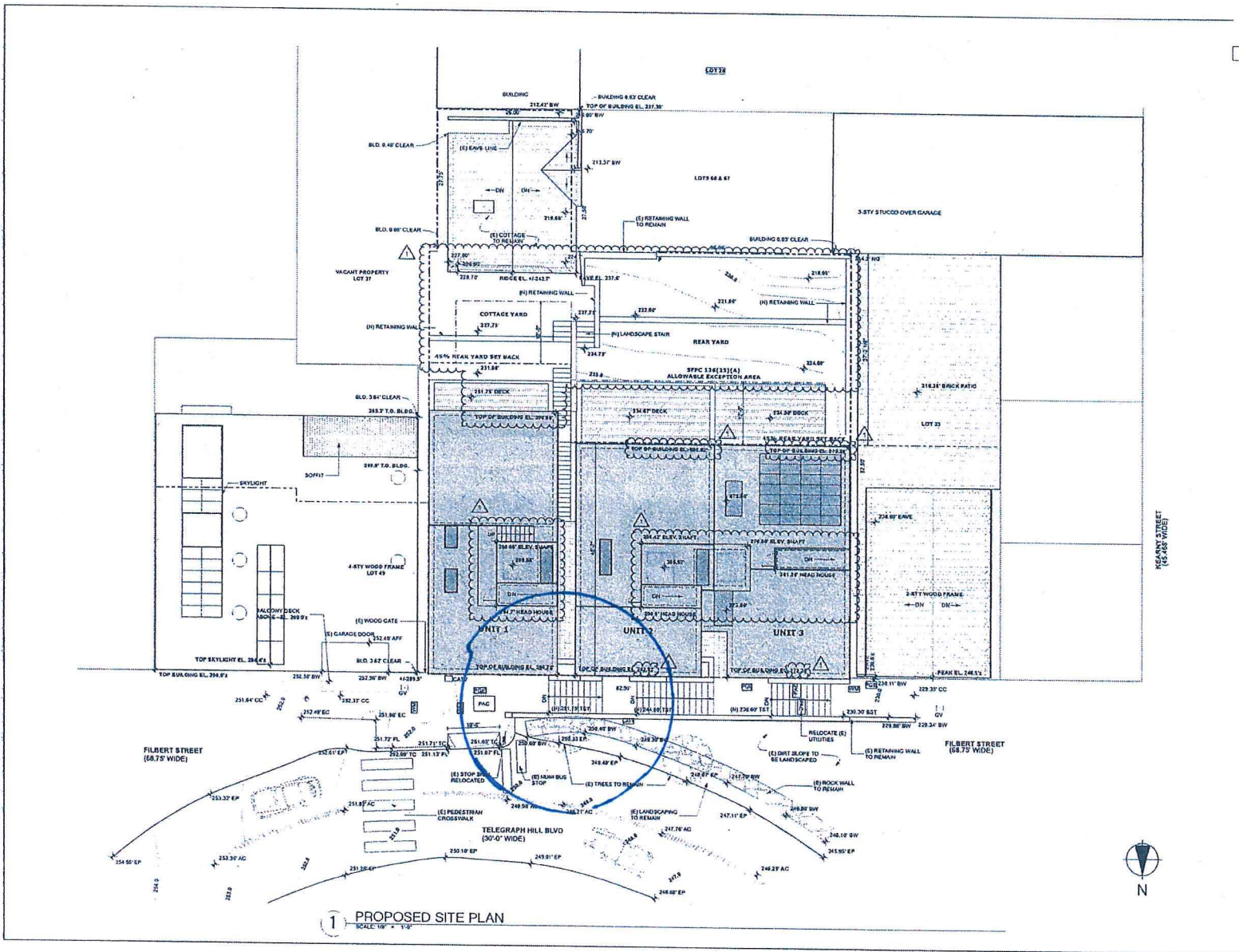
FRONT ELEVATION

1 FRONT ELEVATION
 SCALE: 1/8" = 1'-0"

A3.1

400 CALIFORNIA STREET
SAN FRANCISCO, CA 94115
807.644.5200
1. 415.775.1100
F. 415.775.1100
F. 415.775.1100

115 TELEGRAPH HILL
115 TELEGRAPH HILL BLVD., SAN FRANCISCO, CA, 94133.



1 PROPOSED SITE PLAN
SCALE: 1/8" = 1'-0"

PLANNING PERMIT

REVISIONS:	BY:
▲ HOPDR #1 - 02/13/2014	DS / SK

JOB#:	1205
DATE:	AUG. 12, 2013
DRAWN:	SR/OS
CHECKED:	LB
SCALE:	AS NOTED

PROPOSED SITE PLAN

A0.6

From: [Elsner, Nick](mailto:Elsner_Nick)
To: [Hilyard, Gretchen \(CPC\)](mailto:Hilyard_Gretchen); [Leung, Stephan \(DPW\)](mailto:Leung_Stephan)
Cc: [Kwong, John \(DPW\)](mailto:Kwong_John); [Fong, Lynn \(DPW\)](mailto:Fong_Lynn); [Lui, Raymond \(DPW\)](mailto:Lui_Raymond); [Kline, Heidi \(CPC\)](mailto:Kline_Heidi); [Watty, Elizabeth \(CPC\)](mailto:Watty_Elizabeth)
Subject: RE: 115 Telegraph Hill
Date: Monday, April 28, 2014 8:41:21 AM
Attachments: [image001.png](#)
[image002.png](#)
[image003.png](#)
[image004.png](#)
[image005.png](#)

Thanks Gretchen; I spoke to Dan Fratten last week and informed him that as the design sits currently, it would need to be processed as a Major Encroachment; however, if the current alignment of the stairs remains as is, with just a slight modification to accommodate the entries, we may be able to process this as a Street Improvement/Minor Encroachment Permit.

Nick

Nick Elsner
Senior Plan Checker
DPW Street-Use & Mapping
1155 Market Street, 3rd Floor
SF CA 94103
phone (415) 554-5810
fax (415) 554-6161
Nick.Elsner@sfdpw.org

From: [Hilyard, Gretchen \(CPC\)](mailto:Hilyard_Gretchen) [<mailto:gretchen.hilyard@sfgov.org>]
Sent: Monday, April 28, 2014 8:34 AM
To: [Elsner, Nick](mailto:Elsner_Nick); [Leung, Stephan](mailto:Leung_Stephan)
Cc: [Kwong, John](mailto:Kwong_John); [Fong, Lynn](mailto:Fong_Lynn); [Lui, Raymond](mailto:Lui_Raymond); [Kline, Heidi](mailto:Kline_Heidi); [Watty, Elizabeth](mailto:Watty_Elizabeth)
Subject: RE: 115 Telegraph Hill

Very helpful. Thank you for following up on this Nick!

Gretchen Hilyard
Preservation Planner

Planning Department, City and County of San Francisco
1650 Mission Street, Suite 400, San Francisco, CA 94103
Direct: 415-575-9109 **Fax:** 415-558-6409
Email: gretchen.hilyard@sfgov.org
Web: www.sfpplanning.org



Planning Information Center (PIC): 415-558-6377 or pic@sfgov.org
Property Information Map (PIM): <http://propertymap.sfpplanning.org>

From: [Elsner, Nick](mailto:Elsner_Nick) [<mailto:Nick.Elsner@sfdpw.org>]
Sent: Wednesday, April 23, 2014 1:45 PM
To: [Leung, Stephan \(DPW\)](mailto:Leung_Stephan); [Hilyard, Gretchen \(CPC\)](mailto:Hilyard_Gretchen)
Cc: [Kwong, John \(DPW\)](mailto:Kwong_John); [Fong, Lynn \(DPW\)](mailto:Fong_Lynn); [Lui, Raymond \(DPW\)](mailto:Lui_Raymond); [Kline, Heidi \(CPC\)](mailto:Kline_Heidi)
Subject: RE: 115 Telegraph Hill

Thanks so much Stephan.

Gretchen:

Hope this is what you were looking for.

From: Daniel Frattin
To: Hilyard, Gretchen (CPC); Christina Dikas
Cc: Kline, Heidi (CPC); Watty, Elizabeth (CPC)
Subject: RE: 115 Telegraph Hill
Date: Tuesday, April 29, 2014 3:30:47 PM
Attachments: [image001.png](#)
[image002.png](#)
[image003.png](#)
[image004.png](#)
[image005.png](#)

Thanks Gretchen. We are going to revise the scope of work as relates to the stairs to "repair in kind." There are far too many impediments to a wholesale replacement (encroachment permit from the BOS, general plan referral, etc.). It is unfortunate, because it seems like a public benefit to replace them. (Not a criticism, just an observation.) Anyhow, we will be submitting formal revisions with the new scope in the next couple of days. There will be some related, minor changes to the building and garage as a consequence, but we'll explain them once they are final.

I don't know if these changes will make a difference to the scope of, or need for, further analysis of the steps, Gretchen. If you know you'll need it anyway, please let us know and Christina will follow up.

REUBEN, JUNIUS & ROSE LLP

Daniel Frattin, Attorney
Reuben, Junius & Rose, LLP
One Bush Street, Suite 600
San Francisco, CA 94104
(Tel:) 415-567-9000 (Fax:) 415-399-9480
(Cell) 415-517-9395
dfrattin@reubenlaw.com

From: Hilyard, Gretchen (CPC) [<mailto:gretchen.hilyard@sfgov.org>]
Sent: Tuesday, April 29, 2014 10:37 AM
To: Daniel Frattin
Cc: Kline, Heidi (CPC); Watty, Elizabeth (CPC)
Subject: FW: 115 Telegraph Hill

Dan,

I was able to track down more information about the concrete stairs at 115 Telegraph Hill Blvd from DPW. I just received this information yesterday.

In light of this information regarding the age of the stairs (1941), we would like Page & Turnbull to do one additional research/evaluation task to investigate potential significance of the concrete steps in front of the subject property. Specifically, we would like them to outline the history of the steps and any potential connection to Coit Tower and the Filbert Street Steps that are included in the Telegraph Hill Landmark District. Please have them contact me directly to scope this additional research. We believe this is an important final step to ensure that we have looked at all potential and existing historic resources in the area for CEQA due diligence.

I already have a full draft of the HRER completed, so I should just be able to add this additional information to the final report.

Best,
Gretchen

Gretchen Hilyard Preservation Planner

Planning Department, City and County of San Francisco
1650 Mission Street, Suite 400, San Francisco, CA 94103
Direct: 415-575-9109 **Fax:** 415-558-6409
Email: gretchen.hilyard@sfgov.org
Web: www.sfolanning.org





RECEIVED

AUG 04 1993

CITY & COUNTY OF S.F.
DEPT. OF CITY PLANNING

July 29, 1993

Mr. Jim Nixon
Department of City Planning
450 McAllister Street
San Francisco, CA 94102

Dear Mr. Nixon:

This is in regard to the project that we recently discussed on the Filbert Street Steps adjacent to Telegraph Hill Blvd. and Pioneer Park. The Recreation and Park Department has several concerns about the possible impact of this project on the park.

The first concern is impact on view. This project would effectively block the sight line from the viewing area at the rear of Coit Tower, down into North Beach and across to Nob Hill. Even though current landscaping in this area substantially limits the view, planting schemes often change over the years and the proposed construction would preclude any future use of this view corridor.

The second concern regards the increase the project may cause in the use of Telegraph Hill Blvd. Over the years, some of the residents along the Boulevard have complained about the traffic generated by Coit Tower, and possible impact on emergency vehicle access, etc. The problem is caused by tourists and residents competing for the limited spaces in the Coit Tower parking lot which often results in a line of cars waiting to park. I am concerned that the project may increase the use of the Boulevard and parking lot, adding to the number and volume of complaints.

Thank you for this opportunity for input. If you have any questions please do not hesitate to contact me at 666-7080.

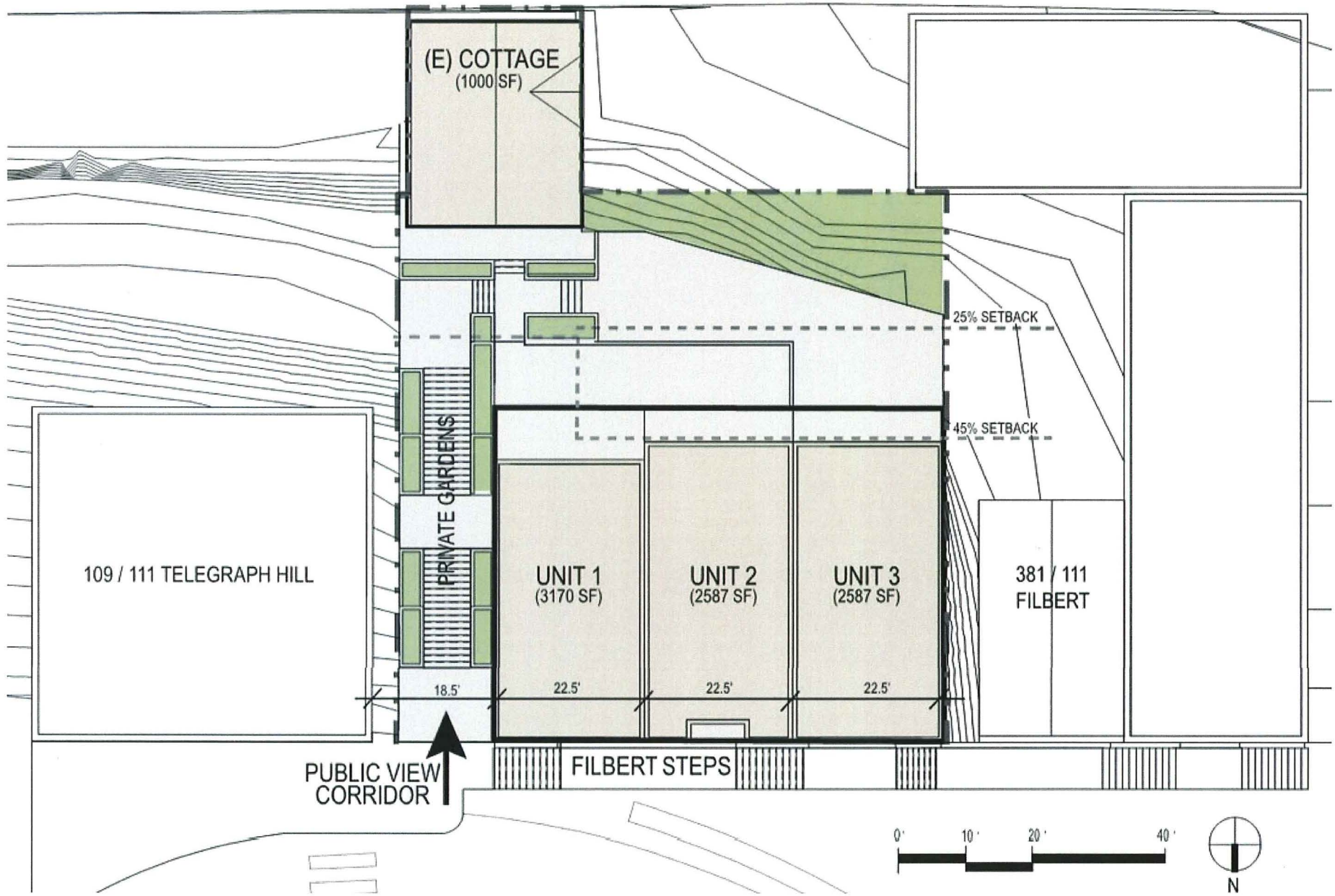
Very truly yours,

Tim Lillyquist
Assistant to the General Manager

4220t

- 
- **Urban Design Elements in a San Francisco Hill Town:**
 - Preserve Public View Corridors**
(Urban Design Element, S.F. General Plan, Policy 1.1, 1.8, 2.7, 4.13)
 - Preserve Unique Character of Telegraph Hill:**
 - Stepped development of the Hillside**
 - Pedestrian Scale of Streets and Housing**
 - Dramatic views**
(Urban Design Element, S.F. General Plan, Policy 2.7)
 - **Reduce excavation & construction impacts**
 - **Alternative Densities**
 - **Parking Alternatives at The Filbert Steps**
(Urban Design Element, S.F. General Plan, Policy 2.6, 2.7)

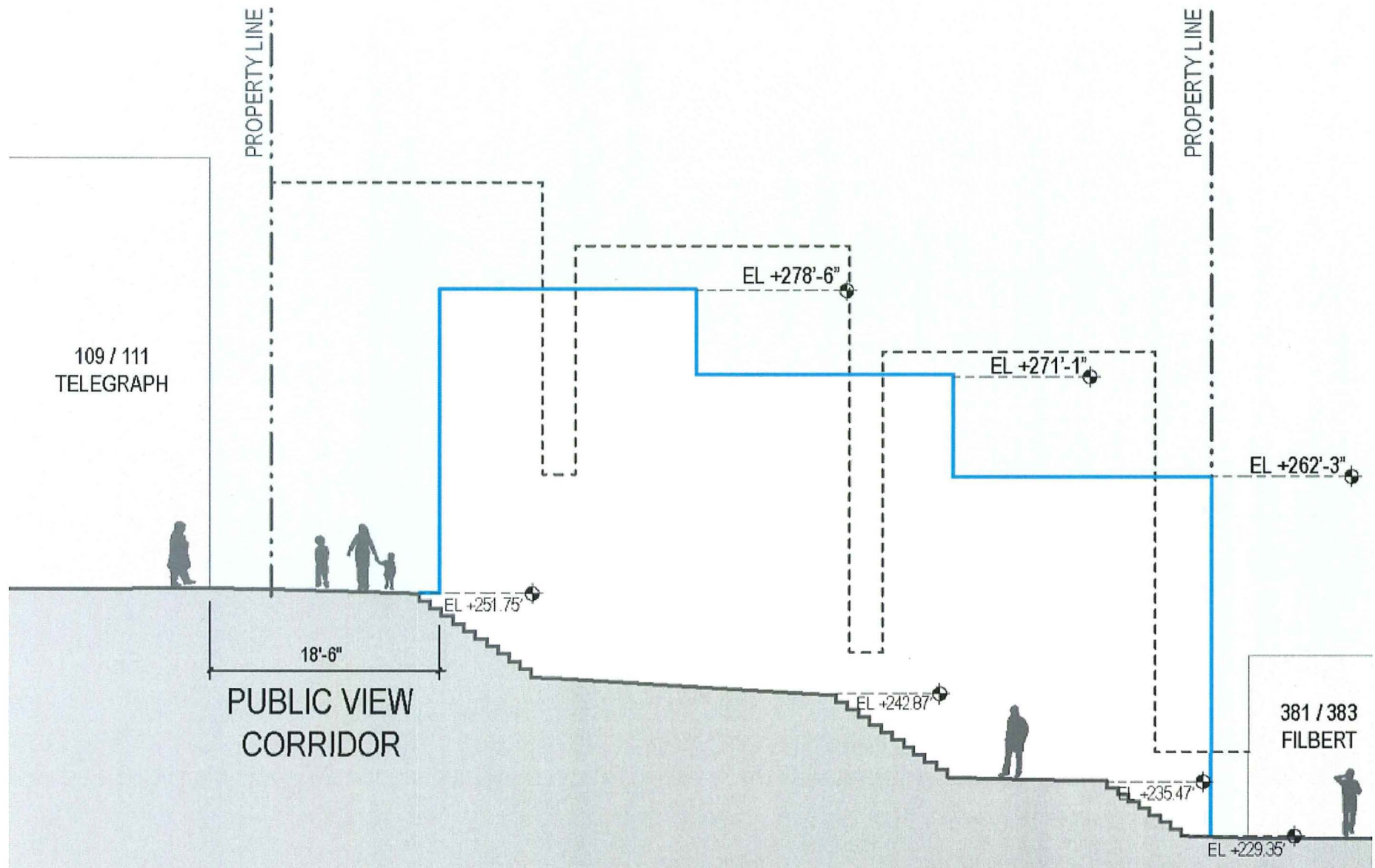
115 Telegraph Hill Boulevard:
DESIGN PRINCIPLES



115 Telegraph Hill Boulevard:

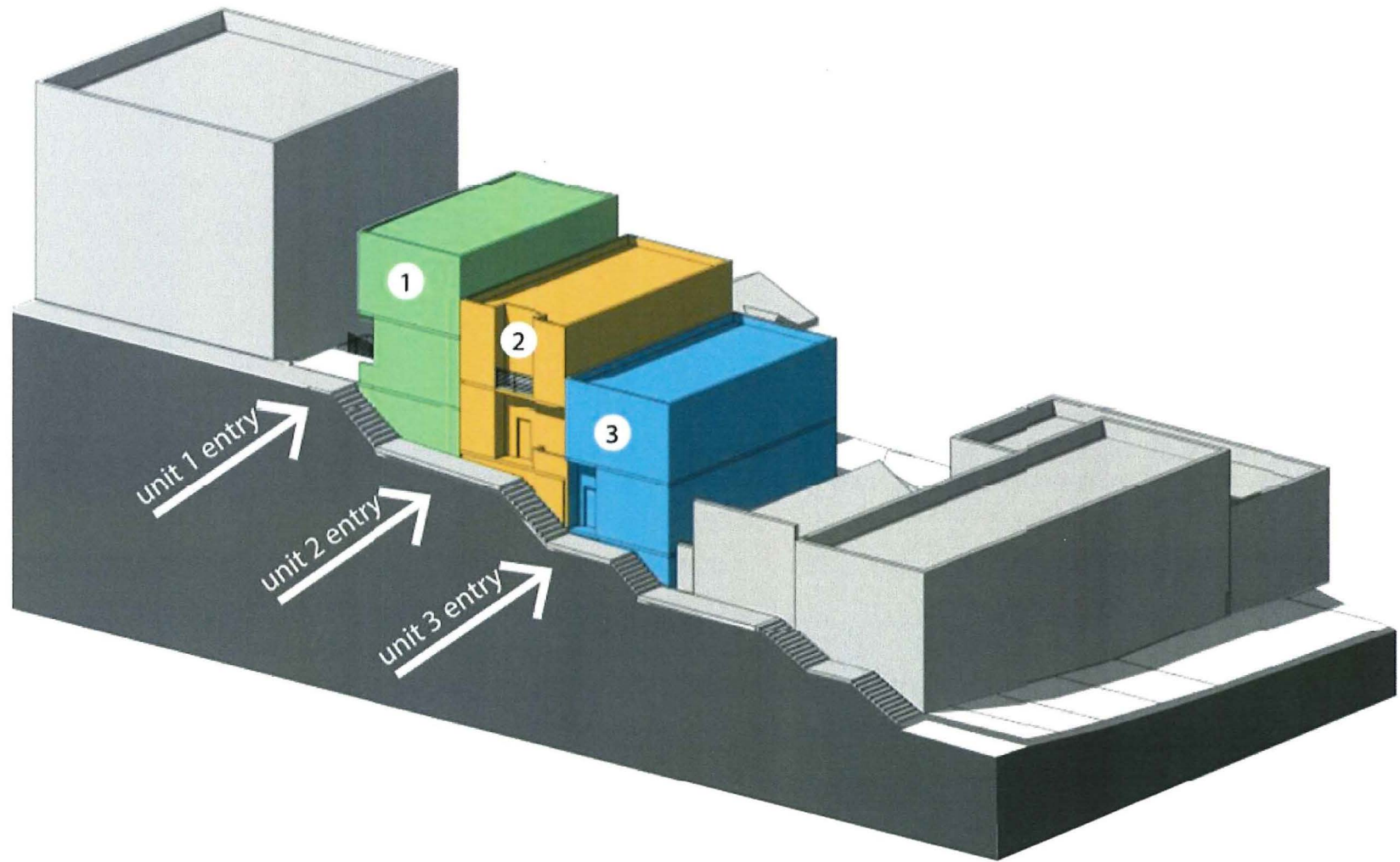
(3) UNITS + EXISTING COTTAGE (NO PARKING) PREFERRED





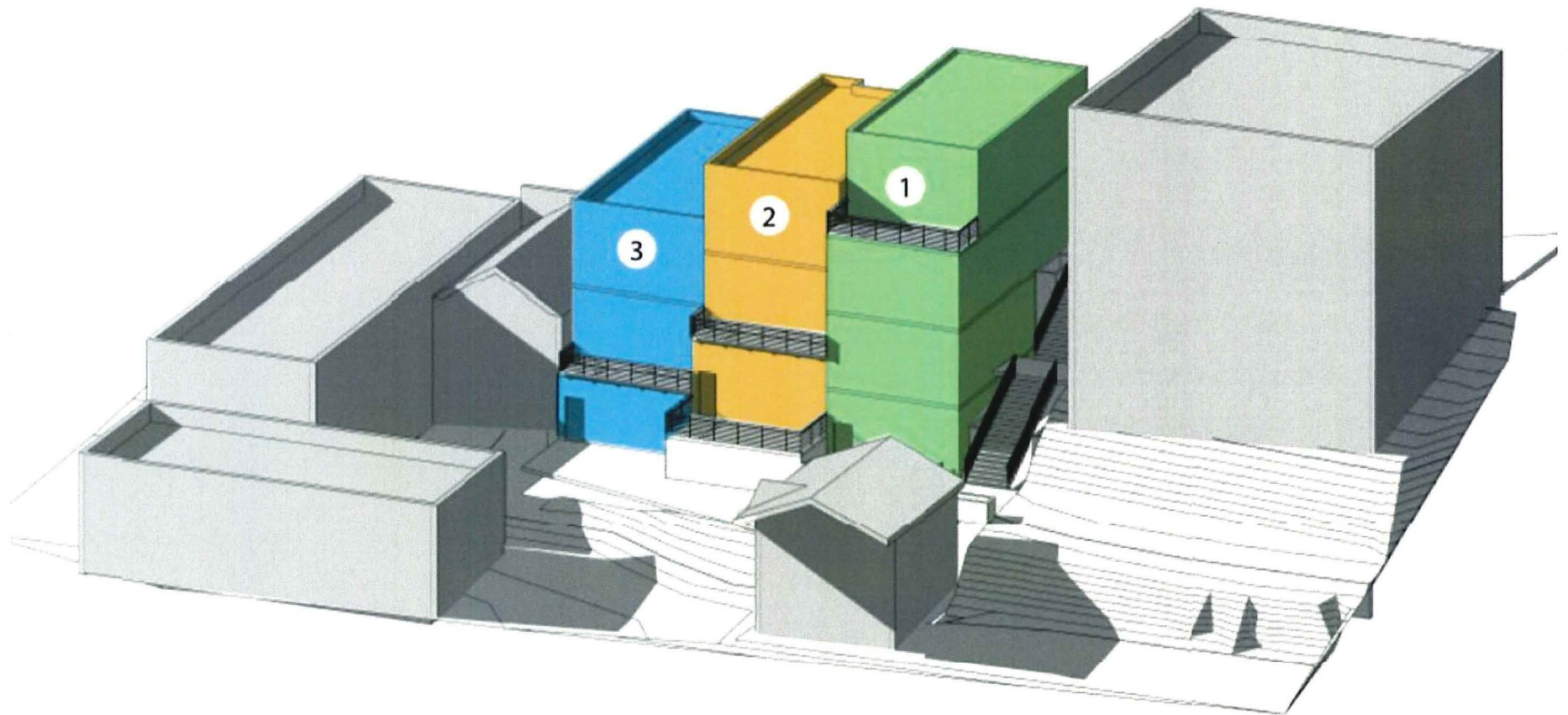
115 Telegraph Hill Boulevard: Filbert Steps Profile (2-Storey)
(3) UNITS + EXISTING COTTAGE (NO PARKING) PREFERRED





115 Telegraph Hill Boulevard: Filbert Steps Profile (2-Storey)
(3) UNITS + EXISTING COTTAGE (NO PARKING) PREFERRED





115 Telegraph Hill Boulevard: Stepped Massing at Rear Yard
(3) UNITS + EXISTING COTTAGE (NO PARKING) PREFERRED



UNIT SIZES FOR PARCELS WITHIN 300 FEET OF 115 TELEGRAPH HILL BOULEVARD

(Average Unit Size = 833 sq ft)

Source: <http://propertymap.sfplanning.org/>

Number	Street	Units	Bldg Area	
			Sq Ft	Ave Unit Sq Ft
100	Alta St	7	9,095	1,299
102	Alta St	3	3,688	1,229
103 - 105	Alta St	2	1,908	954
107	Alta St	1	1,547	1,547
110	Alta St	3	2,016	672
112	Alta St	1	1,539	1,539
116	Alta St	1	2,200	2,200
118	Alta St	1	1,617	1,617
122	Alta St	1	2,225	2,225
71	Castle St	1	1,213	1,213
73	Castle St	1	837	837
75	Castle St	1	798	798
77	Castle St	1	737	737
300	Filbert St	1	2,063	2,063
305	Filbert St	1	1,968	1,968
307	Filbert St	3	2,135	712
308	Filbert St	3	2,512	837
310	Filbert St	2	2,166	1,083
327	Filbert St	2	1,304	652
331	Filbert St	3	2,130	710
339	Filbert St	1	110	110
341	Filbert St	1	2,890	2,890
345 #1	Filbert St	1	2,796	2,796
345 #2	Filbert St	1	1,449	1,449
345 #3	Filbert St	1	1,449	1,449
357	Filbert St	1	1,971	1,971
391	Filbert St	1	1,492	1,492
381 - 383	Filbert St	2	1,010	505
401-05/1459-69	Filbert St/Kearny	9	6,840	760
417 - 425/56	Filbert St/Genoa Pl	6	4,510	752
427 - 429	Filbert St	2	2,890	1,445
433 - 435	Filbert St	2	2,024	1,012
439 - 441	Filbert St	2	1,924	962
443 - 435	Filbert St	2	1,720	860
2	Genoa Pl	6	2,985	498
5	Genoa Pl	1	650	650
27 - 33	Genoa Pl	3	2,400	800
39 - 43	Genoa Pl	3	2,300	767
55	Genoa Pl	6	3,963	661
56 - 58	Genoa Pl	2	900	450
335	Greenwich	1	2,016	2,016
337	Greenwich	1	1,461	1,461
409 - 411	Greenwich	5	3,798	760
425	Greenwich	7	4,768	681

UNIT SIZES FOR PARCELS WITHIN 300 FEET OF 115 TELEGRAPH HILL BOULEVARD

(Average Unit Size = 833 sq ft)

Source: <http://propertymap.sfplanning.org/>

Number	Street	Units	Bldg Area	
			Sq Ft	Ave Unit Sq Ft
1354	Kearny St	3	2,088	696
1360 - 1364	Kearny St	6	3,900	650
1401-1405/400-408	Kearny St/Union St	11	7,396	672
1402	Kearny St	7	5,118	731
1406 - 1408	Kearny St	2	2,100	1,050
1413 - 1423	Kearny St	6	4,710	785
1422 - 1424	Kearny St	4	2,214	554
1425 - 1429	Kearny St	12	7,438	620
1435 - 1437	Kearny St	5	2,390	478
1436	Kearny St	1	1,484	1,484
1439 - 1441	Kearny St	2	2,130	1,065
1440	Kearny St	1	2,246	2,246
1442	Kearny St	1	2,247	2,247
1443 - 1445	Kearny St	2	1,038	519
1447	Kearny St	1	2,396	2,396
1448	Kearny St	1	330	330
1455	Kearny St	1	1,350	1,350
1454 - 1456	Kearny St	2	2,275	1,138
1301 - 1303	Montgomery St	4	4,480	1,120
1305 - 1307	Montgomery St	4	3,256	814
1309 - 1311	Montgomery St	3	1,820	607
1315	Montgomery St	6	3,900	650
1321	Montgomery St	2	2,156	1,078
1345	Montgomery St	1	3,614	3,614
1403	Montgomery St	5	2,445	489
1405	Montgomery St	1	3,180	3,180
1407 #1	Montgomery St	1	840	840
1407 #2	Montgomery St	1	1,028	1,028
1407 #3	Montgomery St	1	1,600	1,600
1407 #4	Montgomery St	1	812	812
1409	Montgomery St	3	5,215	1,738
1441 - 1443	Montgomery St	8	7,800	975
1445	Montgomery St	2	1,402	701
95	Telegraph Hill Blvd	1	1,846	1,846
97	Telegraph Hill Blvd	1	1,437	1,437
99	Telegraph Hill Blvd	1	3,512	3,512
101 #A	Telegraph Hill Blvd	1	1,538	1,538
101 #B	Telegraph Hill Blvd	1	2,096	2,096
109 - 111	Telegraph Hill Blvd	3	6,127	2,042
310	Union St	2	2,110	1,055
311	Union St	6	4,809	802
312 - 316	Union St	3	2,745	915
319 - 323	Union St	3	3,093	1,031
325 - 327	Union St	3	2,062	687
328	Union St	3	2,100	700
330	Union St	3	4,035	1,345
337	Union St	1	1,750	1,750

UNIT SIZES FOR PARCELS WITHIN 300 FEET OF 115 TELEGRAPH HILL BOULEVARD

(Average Unit Size = 833 sq ft)

Source: <http://propertymap.sfplanning.org/>

Number	Street	Units	Bldg Area	Ave Unit
			Sq Ft	Sq Ft
341 - 347	Union St	5	4,499	900
350	Union St	90	47,650	529
351 - 353	Union St	2	2,356	1,178
357	Union St	1	1,300	1,300
364	Union St	3	2,320	773
367 - 373	Union St	4	3,822	956
370 - 372	Union St	2	2,032	1,016
375 - 379	Union St	5	3,692	738
376 - 380	Union St	5	4,221	844
381 - 385	Union St	5	3,244	649
382 - 386	Union St	3	3,375	1,125
387 - 397	Union St	6	4,218	703
388 - 392	Union St	3	2,979	993
401 #101	Union St	1	751	751
401 #102	Union St	1	631	631
401 #103	Union St	1	669	669
401 #201	Union St	1	751	751
401 #202	Union St	1	631	631
401 #203	Union St	1	669	669
401 #301	Union St	1	1,178	1,178
401 #302	Union St	1	880	880
405	Union St	4	2,250	563
418 - 420	Union St	4	3,559	890
424 - 428	Union St	6	4,560	760
434 - 436	Union St	3	2,700	900
438 - 440	Union St	3	2,532	844
114 - 118	Varenes	3	2,325	775
120 - 124	Varenes	2	2,128	1,064
126 - 128	Varenes	2	1,770	885
130 - 132	Varenes	3	1,252	417
140 - 148	Varenes	5	3,084	617
152 - 158	Varenes	4	2,460	615

TOTAL 430 358,160

Average unit **833 sq ft**

Exhibit 8

- Pages 1 and 2 of Planning Commission Motion No. 13782 describing the cottage in 1993 as a two unit building.
- Permit history of rear cottage showing cancellation of permits to merge two units into one and to expand the footprint of the rear cottage as a single family home.

File No. 93.180C
115 Telegraph Hill Boulevard and
361-377 Filbert Street
Lots 34, 35 and 36 in Assessor's Block 105

SAN FRANCISCO
CITY PLANNING COMMISSION
MOTION NO. 13782

ADOPTING FINDINGS RELATED TO THE AUTHORIZATION OF A CONDITIONAL USE PURSUANT TO APPLICATION NO. 93.180C BY THE CITY PLANNING COMMISSION TO PERMIT UP TO SEVEN DWELLING UNITS ON A LOT WITH APPROXIMATELY 7,563 SQUARE FEET WHEN THE CITY PLANNING CODE ALLOWS UP TO ONE DWELLING UNIT FOR EACH 1,000 SQUARE FEET OF LOT AREA, IN AN RH-3 (HOUSE, THREE-FAMILY) DISTRICT AND A 40-X HEIGHT AND BULK DISTRICT.

Preamble

On October 28, 1993, August 11, 1994, November 3, and November 17, 1994, the City Planning Commission (hereinafter "Commission") conducted duly noticed public hearings on Conditional Use Application No. 93.180C at which time the Commission reviewed and discussed the findings prepared for its review by the staff of the Department of City Planning (hereinafter "Department").

This Commission has reviewed and considered reports, studies, plans and other documents pertaining to this proposed project.

This Commission has heard and considered the testimony presented to it at the public hearing and has further considered the written materials and oral testimony presented on behalf of the applicant, the Department staff and other interested parties.

MOVED, That the Commission hereby authorizes the Conditional Use requested in Application No. 93.180C based on the following findings:

Findings

Having reviewed all the materials identified in the recitals above, and having heard oral testimony and arguments, this Commission finds, concludes and determines as follows:

1. On March 24, 1993, Theodore W. Brown of Theodore Brown and Partners, Inc., authorized agent of Josef D. Cooper, owner (hereinafter "Applicant"), made application to the Department for Conditional Use authorization to permit up to seven dwelling units on a lot with approximately 7,563 square feet when the City Planning Code (hereinafter "Code") allows up to one dwelling unit for each 1,000 square feet of lot area, in an RH-3 (House, Three-Family) District and a 40-X Height and Bulk District (hereinafter "Project"), on the property known as 115

Telegraph Hill Boulevard and 361-377 Filbert Street Steps, south side between Montgomery and Kearny Streets, Lots 34, 35 and 36 in Assessor's Block 105 (hereinafter "Subject Property").

2. The Subject Property contains three lots and is a steeply downsloping parcel (the elevation change from the front property line to the rear property is approximately 30 feet), with a depth of 82.5 feet for the westerly two lots (each 27.5 feet wide) and 110 feet in depth for the most easterly of the lots also at 27.5 feet in width. The property slopes laterally from the high point on the east to the west with an approximate 20 foot difference in elevation. The property is developed with five residential buildings. The two westerly lots contain one structure each, while the remaining easterly lot contains three separate structures (two are non-complying, as they are in the required rear yard). The parcel has historically contained up to 11 dwelling units. The buildings have been vacant for several years. Currently a caretaker lives in one unit. In addition, the three buildings on Lot 36, containing five dwelling units are legal non conforming uses.

All of the buildings are in run down condition and have been found by the Department of Public Works, to be unsound structures, as defined in Code Section 503(h) (interim control) based upon the fact that the cost to repair the buildings versus the cost to rebuild exceeds fifty percent. There is no off street parking on the site. Approximately 10 feet of the 82.5 feet wide site is accessible to vehicles at the top of the Filbert Street Steps. One of the buildings, known both as 115 Telegraph Hill Boulevard and 361 Filbert Street, was at one time considered for landmark status but the owner withdrew the application. The building was erroneously thought to have been a Earthquake Refugee Shack. Investigation has determined that it was originally constructed as an automobile garage.

3. The Project would involve demolition of four of the five buildings and the restoration and expansion of a noncomplying building within the required rear yard. It would also involve merging of the three lots into one lot and the construction of a new dwelling containing five floors of occupancy with up to six units and one parking level for up to seven vehicles. The new building's exterior would be painted stucco, glass block and stainless steel. The parking entrance at the easterly end of the site would be on the third level. Restoration of the two-story, noncomplying building at the rear of Lot 36 would convert it from two studio units to a single one bedroom unit. As submitted by the applicant, this plan requires a variance from rear yard requirements to expand the structure by approximately 130 square feet in order to accommodate an internal staircase.

The gross square footage of the five existing buildings is approximately 5,500 square feet. The Project would contain approximately 12,200 gross square feet of residential use, approximately 2,600 square feet of parking and approximately



**SAN FRANCISCO
PLANNING DEPARTMENT**

Report for: 115 TELEGRAPH HILL BOULEVARD

Planning Applications Report: 115 TELEGRAPH HILL BOULEVARD

Permits are required in San Francisco to operate a businesses or to perform construction activity. The Planning Department reviews most applications for these permits in order to ensure that the projects comply with the [Planning Code](#).

PLANNING APPLICATIONS:

Planning App. No.:	2014-000345APL				
Planner:	Jessica Range Tel: 415-575-9018				
Record Type:	Appeals (APL)				
Opened:	10/22/2014				
Name:	115 Telegraph Hill Blv				
Description:	Renovate an existing cottage & construct 3 new dwelling units over a shared three-car garage.				
Address:	115 - 377 Telegraph Hill BLVD, SAN FRANCISCO, CA 94133				
Status:	Appealed				
Closed:					
Further Information:	View				
Related Records:					
	2014-000912APL	Appeals (APL)	11/03/2014	Appealed	Elizabeth Watty View
<hr/>					
Planning App. No.:	2013.1375E				
Planner:	Jessica Range Tel: 415-575-9018				
Record Type:	Environmental (ENV)				
Opened:	8/7/2013				
Name:	115 Telegraph Hill Blv				
Description:	Renovate an existing cottage & construct 3 new dwelling units over a shared three-car garage.				
Address:	363 - 377 FILBERT ST, SAN FRANCISCO, CA 94133				
Status:	Under Review				
Closed:					
Further Information:	View				
Related Records:					
<hr/>					
Planning App. No.:	2013.1375				
Planner:	Planning Information Center Tel: 415-558-6377				
Record Type:	Project Profile (PRJ)				
Opened:	8/7/2013				
Name:	115 Telegraph Hill Blv				
Description:	Renovate an existing cottage & construct 3 new dwelling units over a shared three-car garage.				
Address:	363 - 377 FILBERT ST, SAN FRANCISCO, CA 94133				
Status:	Under Review				
Closed:					
Further Information:	View				
Related Records:					

2013.1375C	Conditional Use Authorization (CUA)	08/20/2013	Closed	Elizabeth Watty	View
Planning App. No.:	10859PRV				
Planner:	Planning Information Center Tel: 415-558-6377				
Record Type:	Project Review Meetings (PRV)				
Opened:	12/17/2012				
Name:	115 Telegraph Hill (aka 363-377 Filbert) 0105/065; Project Review Meeting to follow up prior PRM on 12/6/2011 re construction of 3				
Description:	115 Telegraph Hill (aka 363-377 Filbert) 0105/065; Project Review Meeting to follow up prior PRM on 12/6/2011 re construction of 3 additional town homes with 9 parking spaces.				
Address:	363 - 377 FILBERT ST, SAN FRANCISCO, CA 94133				
Status:	Closed				
Closed:	12/17/2012				
Further Information:	View				
Related Records:					
Planning App. No.:	10044PRV				
Planner:	Planning Information Center Tel: 415-558-6377				
Record Type:	Project Review Meetings (PRV)				
Opened:	11/29/2011				
Name:	115 Telegraph Hill Blvd (aka 363-377 Filbert) 0105/065; Project Review Meeting to construct 3 addl town homes. The existing cottag				
Description:	115 Telegraph Hill Blvd (aka 363-377 Filbert) 0105/065; Project Review Meeting to construct 3 addl town homes. The existing cottage will remain. 9 parking spaces are proposed.				
Address:	363 - 377 FILBERT ST, SAN FRANCISCO, CA 94133				
Status:	Closed				
Closed:	11/29/2011				
Further Information:	View				
Related Records:					
Planning App. No.:	6027PRV				
Planner:	Planning Information Center Tel: 415-558-6377				
Record Type:	Project Review Meetings (PRV)				
Opened:	12/5/2006				
Name:	363 - 377 Filbert St. - New construction of a three-unit building on the front portion of the lot in front of the existing rear co				
Description:	363 - 377 Filbert St. - New construction of a three-unit building on the front portion of the lot in front of the existing rear cottage.				
Address:	363 - 377 FILBERT ST, SAN FRANCISCO, CA 94133				
Status:	Closed				
Closed:	12/5/2006				
Further Information:	View				
Related Records:					
Planning App. No.:	2002.0434				
Planner:	Planning Information Center Tel: 415-558-6377				
Record Type:	Project Profile (PRJ)				
Opened:	4/23/2002				
Name:	363 FILBERT ST				
Description:	Conditional Use application requests modification of conditions imposed in Motion 13782, specifically with regards to time limitations (Exhibit A, Condition 2.) approved by the City Planning Commission on November 17 1994. This modification will allow completion of the approved project including the construction of a new residential building envelop.				
Address:	363 - 377 FILBERT ST, SAN FRANCISCO, CA 94133				
Status:	Closed				
Closed:					
Further Information:	View				
Related Records:					
2002.0434C	Conditional Use Authorization (CUA)	04/23/2002	Closed	Planning Info Center	View

Planning App. No.: 1993.180E
Planner: [Planning Information Center](#) Tel: 415-558-6377
Record Type: Environmental (ENV)
Opened: 3/23/1993
Name: 377 FILBERT ST
Description: , and Rear yd.variance for both bldgs. Rehabilitate one 2-story cottage and build 6-unit, 17,860 s.f. residential building with 9 parking stalls after demolition of 4 vacant residential buildings with 7 units.
Address: 363 - 377 FILBERT ST, SAN FRANCISCO, CA 94133
Status: Closed
Closed: 12/9/1993
Further Information: [View](#)
Related Records:

Planning App. No.: 1993.180
Planner: [Planning Information Center](#) Tel: 415-558-6377
Record Type: Project Profile (PRJ)
Opened: 3/23/1993
Name: 377 FILBERT ST
Description: , and Rear yd.variance for both bldgs. Rehabilitate one 2-story cottage and build 6-unit, 17,860 s.f. residential building with 9 parking stalls after demolition of 4 vacant residential buildings with 7 units.
Address: 363 - 377 FILBERT ST, SAN FRANCISCO, CA 94133
Status: Closed
Closed:
Further Information: [View](#)
Related Records:

1993.180C	Conditional Use Authorization (CUA)	03/23/1993	Closed	Planning Info Center	View
1993.180S	Subdivision-REF (SUB)	03/10/1997	Closed	Planning Info Center	View
1993.180V	Variance (VAR)	10/13/1994	Closed	Planning Info Center	View

Building Permits Report: 115 TELEGRAPH HILL BOULEVARD

Applications for Building Permits submitted to the Department of Building Inspection.

BUILDING PERMITS:

Permit: [200203111015](#)
Form: 1 - New Construction
Filed: 3/11/2002 9:12:07 AM
Address: 115 TELEGRAPH HILL BL
Parcel: 0105/065
Existing:
Proposed: APARTMENTS
Existing Units: 0
Proposed Units: 3
Status: CANCELLED
Status Date: 6/29/2005 8:52:31 AM
Description: TO ERECT 3 DWELLING
Cost: \$1,750,000.00

Permit: [200106040683](#)
Form: 8 - Alterations Without Plans
Filed: 6/4/2001 4:14:11 PM
Address: 115 TELEGRAPH HILL BL
Parcel: 0105/065

Existing: 1 FAMILY DWELLING
 Proposed: 1 FAMILY DWELLING
 Existing Units: 0
 Proposed Units: 1
 Status: EXPIRED
 Status Date: 6/4/2002 4:18:03 PM
 Description: RENEW PERMIT APPLICAITON-9925477-CONTINUE & CONDUCT APPRVD SCOPE OF WORK-68,000
 Cost: \$68,000.00

Permit: [200012137860](#)
 Form: 8 - Alterations Without Plans
 Filed: 12/13/2000 2:38:07 PM
 Address: 371 FILBERT ST
 Parcel: 0105/035
 Existing: 1 FAMILY DWELLING
 Proposed: 1 FAMILY DWELLING
 Existing Units: 0
 Proposed Units: 1
 Status: COMPLETE
 Status Date: 1/2/2001
 Description: FINAL INSPECTION ON 9825834
 Cost: \$1.00

Permit: [200012137856](#)
 Form: 8 - Alterations Without Plans
 Filed: 12/13/2000 2:27:38 PM
 Address: 377 FILBERT ST
 Parcel: 0105/034
 Existing: 1 FAMILY DWELLING
 Proposed: 1 FAMILY DWELLING
 Existing Units: 0
 Proposed Units: 1
 Status: COMPLETE
 Status Date: 1/2/2001
 Description: RENEW FOR FINAL INSPECTION ON 9825835
 Cost: \$1.00

Permit: [9925477](#)
 Form: 8 - Alterations Without Plans
 Filed: 12/2/1999
 Address: 115 TELEGRAPH HILL BL
 Existing: 1 FAMILY DWELLING
 Proposed: 1 FAMILY DWELLING
 Existing Units: 0
 Proposed Units: 1
 Status: EXPIRED
 Status Date: 4/11/2001
 Description: REPAIR/REPLACE DRY ROT
 Cost: \$20,000.00

Permit: [9825835](#)
 Form: 8 - Alterations Without Plans
 Filed: 12/18/1998
 Address: 377 FILBERT ST
 Existing: 1 FAMILY DWELLING
 Proposed: 1 FAMILY DWELLING

Existing Units:	0
Proposed Units:	1
Status:	EXPIRED
Status Date:	4/18/1999
Description:	RENEW PA#9505988 FOR FINAL INSPECTION
Cost:	\$1.00
<hr/>	
Permit:	9825834
Form:	8 - Alterations Without Plans
Filed:	12/18/1998
Address:	371 FILBERT ST
Existing:	1 FAMILY DWELLING
Proposed:	1 FAMILY DWELLING
Existing Units:	0
Proposed Units:	1
Status:	EXPIRED
Status Date:	4/18/1999
Description:	RENEW PA#9505987 FOR FINAL INSPECTION
Cost:	\$1.00
<hr/>	
Permit:	9804148
Form:	8 - Alterations Without Plans
Filed:	3/11/1998
Address:	371 FILBERT ST
Existing:	1 FAMILY DWELLING
Proposed:	1 FAMILY DWELLING
Existing Units:	0
Proposed Units:	1
Status:	EXPIRED
Status Date:	12/2/1998
Description:	RENEW FOR PERMIT APP #9505987
Cost:	\$1.00
<hr/>	
Permit:	9804147
Form:	8 - Alterations Without Plans
Filed:	3/11/1998
Address:	377 FILBERT ST
Existing:	1 FAMILY DWELLING
Proposed:	1 FAMILY DWELLING
Existing Units:	0
Proposed Units:	1
Status:	EXPIRED
Status Date:	12/2/1998
Description:	RENEW FOR PERMIT APP #9505988
Cost:	\$1.00
<hr/>	
Permit:	9722736
Form:	8 - Alterations Without Plans
Filed:	11/10/1997
Address:	377 FILBERT ST
Existing:	1 FAMILY DWELLING
Proposed:	1 FAMILY DWELLING
Existing Units:	0
Proposed Units:	1
Status:	EXPIRED
Status Date:	12/2/1998
Description:	RENEW EXPIRED APPL #9505988

Cost:	\$1.00
Permit:	9722735
Form:	8 - Alterations Without Plans
Filed:	11/10/1997
Address:	371 FILBERT ST
Existing:	1 FAMILY DWELLING
Proposed:	1 FAMILY DWELLING
Existing Units:	0
Proposed Units:	1
Status:	EXPIRED
Status Date:	12/2/1998
Description:	RENEW EXPIRED APPL #9505987
Cost:	\$1.00
Permit:	9716089S
Form:	3 - Alterations With Plans
Filed:	8/21/1997
Address:	115 TELEGRAPH HILL BL
Existing:	1 FAMILY DWELLING
Proposed:	1 FAMILY DWELLING
Existing Units:	0
Proposed Units:	1
Status:	EXPIRED
Status Date:	1/26/1999
Description:	HORIZONTAL ADDITION
Cost:	\$150,000.00
Permit:	9715848S
Form:	1 - New Construction
Filed:	8/18/1997
Address:	115 TELEGRAPH HILL BL
Existing:	
Proposed:	APARTMENTS
Existing Units:	0
Proposed Units:	3
Status:	EXPIRED
Status Date:	7/27/2001
Description:	ERECT A 6-UNIT BUILDING
Cost:	\$1,250,000.00
Permit:	9715847
Form:	6 - Demolition
Filed:	8/18/1997
Address:	377 FILBERT ST
Existing:	1 FAMILY DWELLING
Proposed:	
Existing Units:	0
Proposed Units:	0
Status:	EXPIRED
Status Date:	8/2/2007
Description:	DEMOLISH A 1-STORY SFD
Cost:	-
Permit:	9715846
Form:	6 - Demolition
Filed:	8/18/1997
Address:	369 FILBERT ST

Existing:	1 FAMILY DWELLING
Proposed:	
Existing Units:	0
Proposed Units:	0
Status:	EXPIRED
Status Date:	8/3/2007
Description:	DEMOLISH A 1-STORY SFD
Cost:	-
<hr/>	
Permit:	9715845
Form:	6 - Demolition
Filed:	8/18/1997
Address:	363 FILBERT ST
Existing:	1 FAMILY DWELLING
Proposed:	
Existing Units:	0
Proposed Units:	0
Status:	EXPIRED
Status Date:	8/3/2007
Description:	DEMOLISH A 1-STORY SFD
Cost:	-
<hr/>	
Permit:	9715844
Form:	6 - Demolition
Filed:	8/18/1997
Address:	371 FILBERT ST
Existing:	1 FAMILY DWELLING
Proposed:	
Existing Units:	0
Proposed Units:	0
Status:	EXPIRED
Status Date:	8/2/2007
Description:	DEMOLISH A 3-STORY SINGLE FAMILY DWELLING
Cost:	-
<hr/>	
Permit:	9505988
Form:	3 - Alterations With Plans
Filed:	4/25/1995
Address:	377 FILBERT ST
Existing:	FENCE/RETAINING WALL
Proposed:	FENCE/RETAINING WALL
Existing Units:	0
Proposed Units:	0
Status:	EXPIRED
Status Date:	2/4/1998
Description:	REF PA #9301680S1. DEMO (E) RETAINING WALL & CONSTRUCT NEW.
Cost:	\$20,000.00
<hr/>	
Permit:	9505987
Form:	3 - Alterations With Plans
Filed:	4/25/1995
Address:	371 FILBERT ST
Existing:	FENCE/RETAINING WALL
Proposed:	FENCE/RETAINING WALL
Existing Units:	0
Proposed Units:	0
Status:	EXPIRED

Status Date:	2/4/1998
Description:	REF PA #9301680S1. DEMO (E) RETAINING WALL & CONSTRUCT NEW.
Cost:	\$10,000.00
Permit:	9024519
Form:	3 - Alterations With Plans
Filed:	12/3/1990
Address:	361 FILBERT ST
Existing:	2 FAMILY DWELLING
Proposed:	2 FAMILY DWELLING
Existing Units:	0
Proposed Units:	2
Status:	EXPIRED
Status Date:	7/30/1991
Description:	DRY ROT REPAIR, FOUNDATION REPAIR TO (E) STRUCTURE
Cost:	\$20,000.00
Permit:	8411653
Form:	3 - Alterations With Plans
Filed:	10/30/1984
Address:	371 FILBERT ST
Existing:	APARTMENTS
Proposed:	APARTMENTS
Existing Units:	0
Proposed Units:	4
Status:	EXPIRED
Status Date:	5/6/1985
Description:	REPAIR FIRE DAMAGE TO BUILDING.
Cost:	\$22,000.00
Permit:	8411652
Form:	8 - Alterations Without Plans
Filed:	10/30/1984
Address:	377 FILBERT ST
Existing:	1 FAMILY DWELLING
Proposed:	1 FAMILY DWELLING
Existing Units:	0
Proposed Units:	1
Status:	COMPLETE
Status Date:	2/27/1985
Description:	REPAIR FIRE DAMAGE TO ROOF
Cost:	\$4,000.00
Permit:	8408071
Form:	3 - Alterations With Plans
Filed:	7/26/1984
Address:	371 FILBERT ST
Existing:	TOURIST HOTEL/MOTEL
Proposed:	TOURIST HOTEL/MOTEL
Existing Units:	0
Proposed Units:	4
Status:	EXPIRED
Status Date:	3/4/1986
Description:	TO COMPLY WITH DEPT. OF APART HOTEL INSPECTION 2/16/82
Cost:	\$350.00
Permit:	8207221
Form:	3 - Alterations With Plans

Permits, Complaints and Boiler PTO Inquiry

Permit Details Report

Report Date: 11/7/2014 11:33:08 AM

Application Number: 9716089S
 Form Number: 3
 Address(es): 0105/065/0 115 TELEGRAPH HILL BL
 Description: HORIZONTAL ADDITION
 Cost: \$150,000.00
 Occupancy Code: R-3
 Building Use: 27 - 1 FAMILY DWELLING

Disposition / Stage:

Action Date	Stage	Comments
8/21/1997	FILED	
11/17/1997	APPROVED	
11/17/1997	ISSUED	
12/4/1997	SUSPEND	
1/26/1998	REINSTATED	
1/26/1999	EXPIRED	

Contact Details:

E.O.S.F -

Contractor Details:

Addenda Details:

Description:

FINAL

Step	Station	Arrive	Start	In Hold	Out Hold	Finish	Checked By	Hold Description
1	CP-ZOC	8/22/97	8/27/97	8/27/97		10/9/97	JRN	ROUTE TO CNT-PC 1ST, THEN BACK TO CP-ZOC
2	CNT-PC	10/15/97	10/21/97			10/21/97	TQL	LOG OUT/NO WORK DONE;BACK TO CP-ZOC
3	CP-ZOC	10/21/97	10/22/97			10/22/97	DRL	APPROVED
4	CNT-PC	10/23/97	10/29/97	10/29/97		11/12/97	TQL	
6	CPB	11/17/97	11/17/97					NOTE:NEW COMPLETION DATE 1/2/2000

This permit has been issued. For information pertaining to this permit, please call 415-558-6096.

Appointments:

Appointment Date	Appointment AM/PM	Appointment Code	Appointment Type	Description	Time Slots

Inspections:

Activity Date	Inspector	Inspection Description	Inspection Status
11/17/1999	Dermott Sullivan	START WORK	START WORK
4/28/1999	Dermott Sullivan	START WORK	START WORK

Special Inspections:

Addenda No.	Completed Date	Inspected By	Inspection Code	Description	Remarks
1			20	SPECIAL CASES	X
0		15	20	SPECIAL CASES	X

For information, or to schedule an inspection, call 558-6570 between 8:30 am and 3:00 pm.

Station Code Descriptions and Phone Numbers

Online Permit and Complaint Tracking home page.

Technical Support for Online Services

If you need help or have a question about this service, please visit our FAQ area.

Permits, Complaints and Boiler PTO Inquiry

Permit Details Report

Report Date: 11/7/2014 11:27:01 AM

Application Number: 9925477
 Form Number: 8
 Address(es): 0105/065/0 115 TELEGRAPH HILL BL
 Description: REPAIR/REPLACE DRY ROT
 Cost: \$20,000.00
 Occupancy Code: R-3
 Building Use: 27 - 1 FAMILY DWELLING

Disposition / Stage:

Action Date	Stage	Comments
12/2/1999	FILED	
12/2/1999	APPROVED	
12/2/1999	ISSUED	
4/11/2001	EXPIRED	

Contact Details:

JOSEF COOPER -

Contractor Details:

Addenda Details:

Description:

Step	Station	Arrive	Start	In Hold	Out Hold	Finish	Checked By	Hold Description
1	CPB	12/2/99	12/2/99					

This permit has been issued. For information pertaining to this permit, please call 415-558-6096.

Appointments:

Appointment Date	Appointment AM/PM	Appointment Code	Appointment Type	Description	Time Slots
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Inspections:

Activity Date	Inspector	Inspection Description	Inspection Status
4/11/2001	Dermott Sullivan	EXPIRE	EXPIRE
12/20/1999	Dermott Sullivan	FORMS	OK TO POUR

Special Inspections:

Addenda No.	Completed Date	Inspected By	Inspection Code	Description	Remarks
-------------	----------------	--------------	-----------------	-------------	---------

For information, or to schedule an inspection, call 558-6570 between 8:30 am and 3:00 pm.

[Station Code Descriptions and Phone Numbers](#)

[Online Permit and Complaint Tracking home page.](#)

Technical Support for Online Services

If you need help or have a question about this service, please visit our FAQ area.



BUTLER ARMSDEN
ARCHITECTS

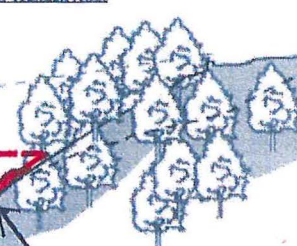
2549 CALIFORNIA STREET
SAN FRANCISCO, CA 94116
BUTLERARMSDEN.COM

R. DSC@BUTLERARMSDEN.COM
T. 415-774-0054
F. 415-774-0058

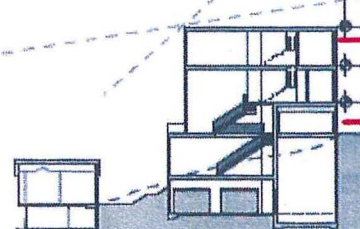
COIT TOWER



PIONEER PARK



SUBJECT PROPERTY
UNIT 1 AND COTTAGE



544'-0" TOP OF COIT TOWER

708'-5"

334'-6" VIEW TERRACE OF PIONEER PARK

46'-2"

287'-9"

274'-9"

262'-3"

PUBLIC VIEWS BLOCKED FROM
SOUTHERN STAIRWAYS & LANDINGS
IN PIONEER PARK

1

VIEW FROM COIT TOWER TO SUBJECT PROPERTY

NOT TO SCALE

115 TELEGRAPH HILL
115 TELEGRAPH HILL BLVD., SAN FRANCISCO, CA, 94133

Exhibit 10

Vantage Point based photograph
showing current view of the Project Site
from Pioneer Park toward the Filbert
Steps prepared by Project Architect.



VANTAGE POINT

115 TELEGRAPH HILL
SAN FRANCISCO, CA

Exhibit 11

Ghosted Image of Approximate Height and Mass of Proposed Project Viewed from Pioneer Park towards Filbert Steps (prepared by Project Architect).



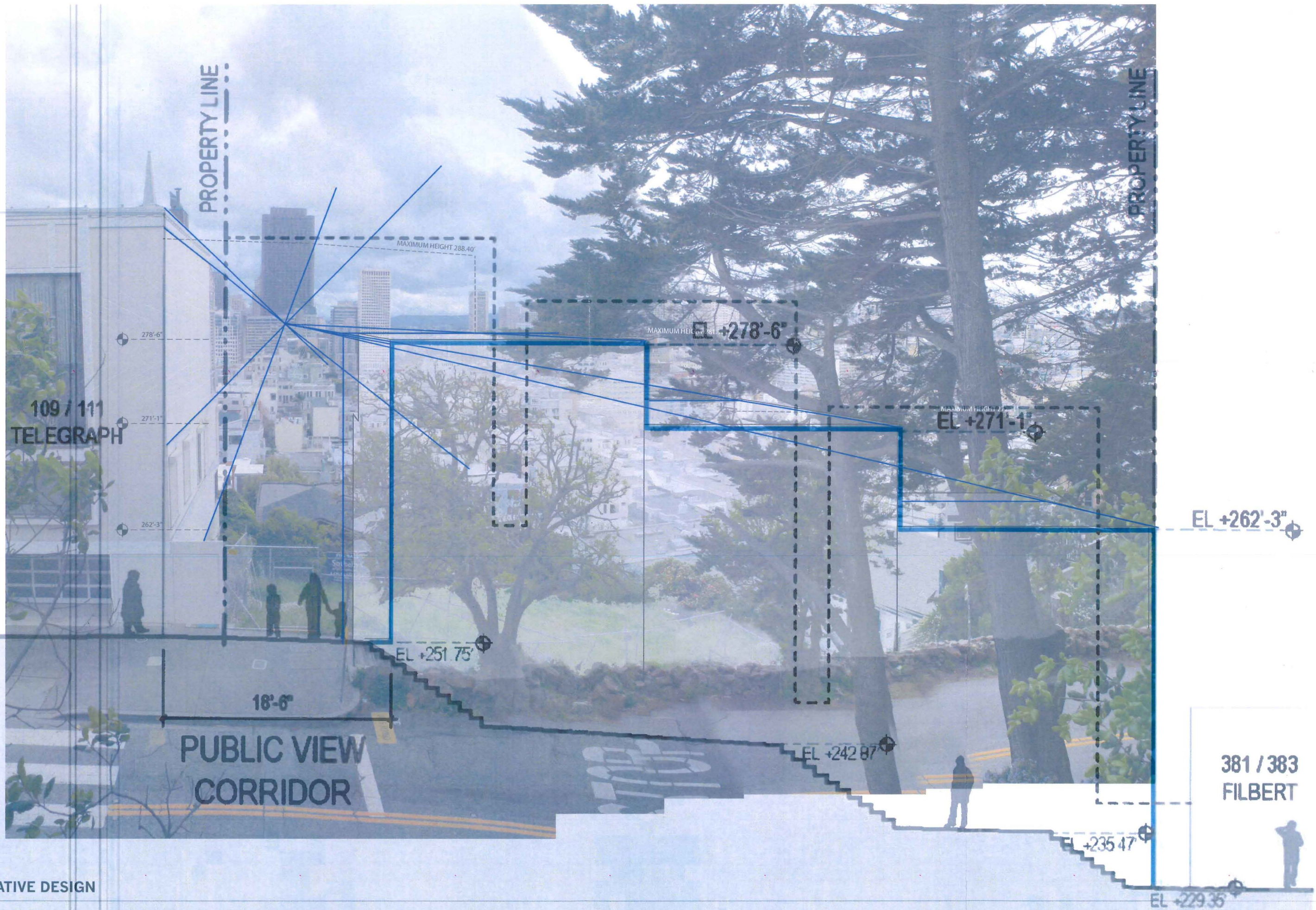
GHOSTED MASSING - OPTION 1

115 TELEGRAPH HILL
SAN FRANCISCO, CA



PREFERRED ALTERNATIVE DESIGN

5 TELEGRAPH HILL
SAN FRANCISCO, CA



PROPERTY LINE

PROPERTY LINE

109 / 111
TELEGRAPH

381 / 383
FILBERT

PUBLIC VIEW
CORRIDOR

18'-6"

EL +251.75'

EL +242.87'

EL +235.47'

EL +229.35'

EL +262'-3"

EL +271'-1"

EL +278'-6"

MAXIMUM HEIGHT 288.40'

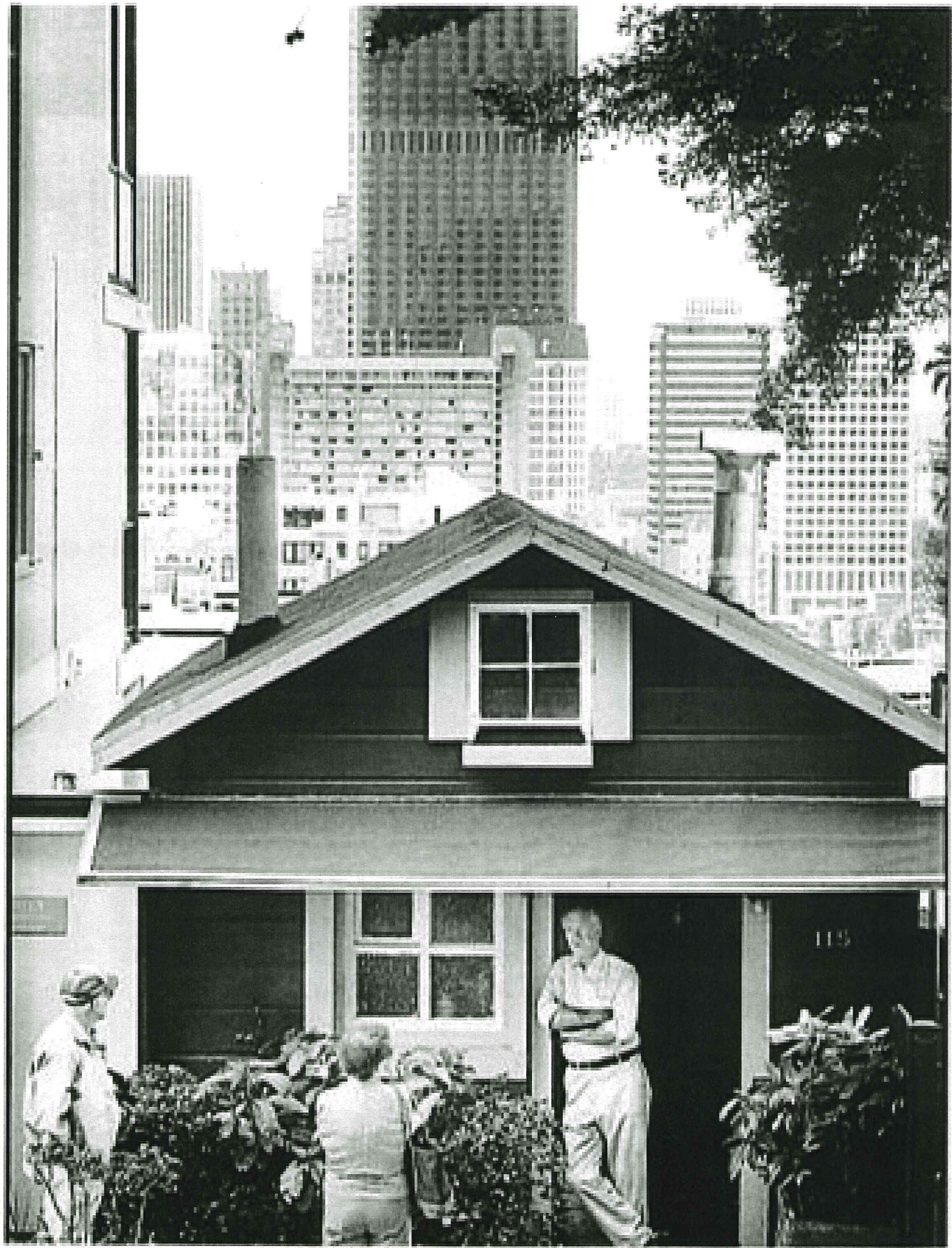
278'-6"

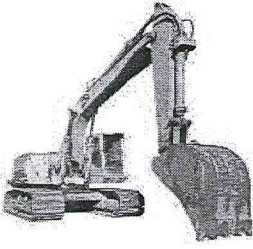
271'-1"

262'-3"

PREFERRED ALTERNATIVE DESIGN

15 TELEGRAPH HILL
SAN FRANCISCO, CA





GRANITE

Excavation & Demolition, Inc.

LIC. # 609169 A C21 HAZ ASB DOSH

10th October 2014

Vedica Puri, President
Telegraph Hill Dwellers
600 Montgomery St., 31st Floor
San Francisco, CA 94111

Re: 115 Telegraph Hill Blvd load counts

Dear Ms. Puri,

I am pleased to present my analysis of truck trips for 115 Telegraph Hill Blvd. I based my analysis on the improvements sought in the planning permit as outlined in the architectural sheets A0.0 to A3.10 dated August 12th 2013.

Methodology

The number of trips required for the removal of the dirt spoils was calculated as follows. The existing contours of the site from the site survey were traced and built into a 3D BIM model. The proposed contours of the site were modeled and the resulting volume calculated. The volume was then converted to weight by a factor of 1.7 tons of soil per cubic yard.

The estimated volume of concrete that will be used on the project was established from the plans and is shown in the calculations of plate 2.

Results

Given the weight restriction on Telegraph Hill Blvd of 6,000 lbs gross vehicle weight the estimated number of trips for the excavation of the dirt and the installation of concrete are given below:

Excavation removal	7400	trips
Concrete import	2656	trips
Total	10,056	trips

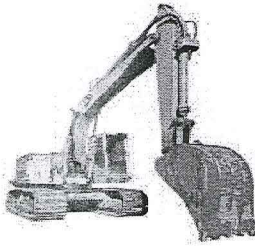
Please do not hesitate to contact me with questions

Sincerely,

Erwin O Toole PE



Encls: Plate 1 Existing and proposed topographical model
Plate 2 Tabulated calculations
Plate 3 6,000 lb GVW vehicle

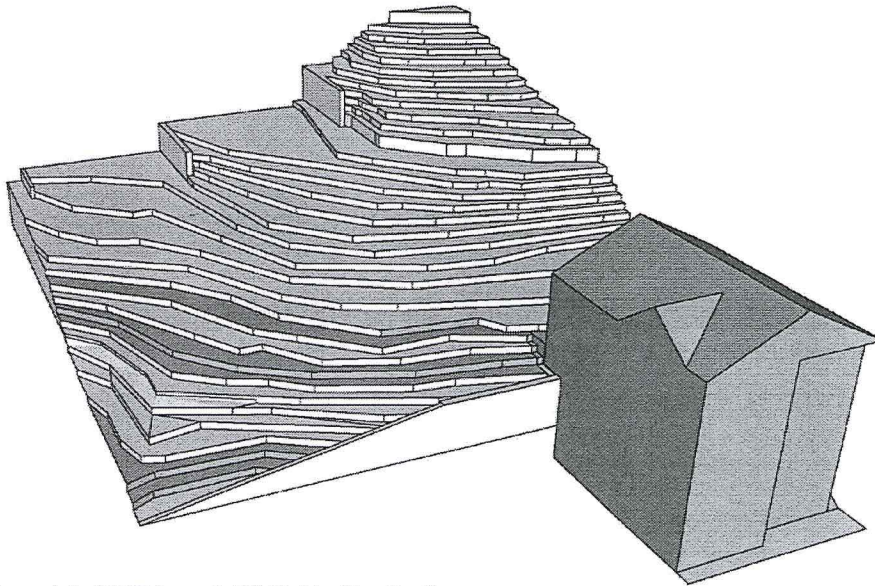


GRANITE

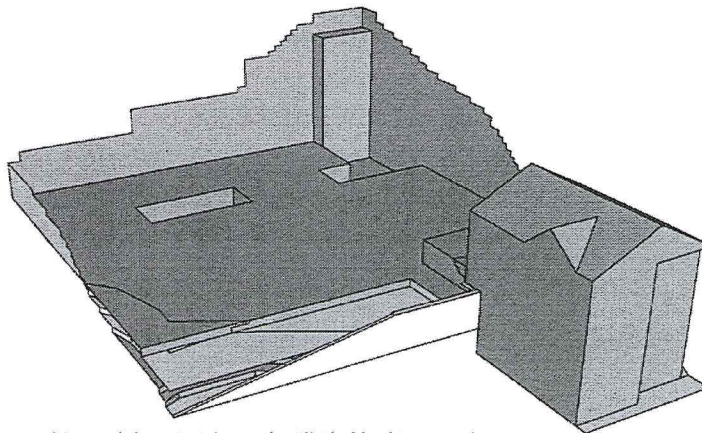
Excavation & Demolition, Inc.

LIC. # 609169 A C21 HAZ ASB DOSH

PLATE 1 Existing and proposed topographical model

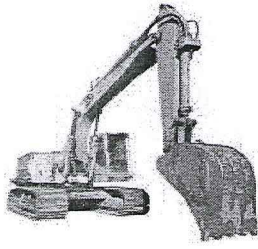


Existing topographic model - 115 Telegraph Hill Blvd looking North



Proposed topographic model - 115 Telegraph Hill Blvd looking North

Bottom of elevation is 222.5'. Deeper at pits.
Volume of Soil generated (banked yards) = 2,546 CY x 1.7 tons/ CY (rock) = 4,328 tons



GRANITE

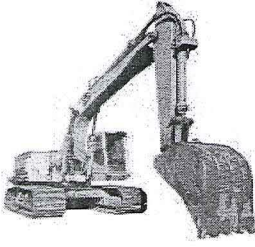
Excavation & Demolition, Inc.

LIC. # 609169 A C21 HAZ ASB DOSH

PLATE 2 Tabulated calculations

115 Telegraph Hill Blvd		
Concrete Calculation		
Floor Plate	4646.0	SF
Perimeter	278.0	LF
Matt slab @2'	344.1	CY
1st floor @8"	129.1	CY
2nd floor @8"	129.1	CY
Walls Say average 15' high - remainder wood	154.4	CY
Approx Total	757.0	CY
0.57 CY per load because of weight restrictions	1328.0	loads
Trip each way	2656.0	trips
No weight restriction on road (9CY per ld)	84.0	loads
	168.0	trips
Dirt Calculation		
Dirt calculated from 3D Model	2546.0	CY
	4328.2	ton
1.17 ton per load because of weight restrictions	3700.0	loads
Trip each way	7400.0	trips
No weight restriction on road (20 ton per ld)	216.0	loads
Trip each way	432.0	trips

Other trips include lumber, rock, debris not accounted for



GRANITE

Excavation & Demolition, Inc.

LIC. # 609169 A C21 HAZ ASB DOSH

Plate 3 6,000 lb GVW vehicle

TYPE OF TRUCK TO USE IF REDUCED TO 6,000 lb GVW



Toyota Dyna 100 – limited availability in US Market

Gross Vehicle Weight (GVW) = 3,000 kg = 6,615 lb

Curb weight = 1,660 kg = 3,660 lb

Payload = 1,340 kg = 2,955 lb

IF limited to 6,000 lb GVW that means payload is reduced to 2,340 lb

VIEW OF PROJECT OF TELEGRAPH HILL AS SEEN FROM THE FINANCIAL DISTRICT, CHINATOWN, RUSSIAN HILL AND NOB HILL.



ADDITIONAL CONDITIONS OF APPROVAL

On Title Sheet A0.0 of the plans approved by the Planning Commission, General Notes 23 through 33, inclusive, address construction staging and management of the project to address the significant impacts of project construction. Appellant requests that these “notes” with clarification be included as specific conditions of project approval to ensure that safe pedestrian access on the Filbert Street steps be maintained, that pedestrian and vehicular conflicts with construction trucks and equipment be avoided, and that Muni and vehicular access to Coit Tower be maintained for the duration of the construction period.

Therefore, the following should be included as conditions of approval:

1. (Note 23) Along the Filbert Street stair frontage of the property, a well-lit and naturally ventilated pedestrian tunnel shall be erected for the duration of the construction period to ensure the safety of person using the Filbert Steps stairs.
2. (Note 24) A flag-person will be stationed at the top of the Filbert stairs at the entry point to the site at all times during the construction period. Additional flag-persons shall be stationed during the excavation and concrete pour phases to ensure the safety of vehicles approaching the blind curve of Telegraph Hill Boulevard in both directions. These persons shall be responsible for monitoring and directing construction trucks and equipment as well as pedestrian and vehicular traffic to minimize potential conflicts.
3. (Note 25) All trucks waiting to unload material shall be staged at a location offsite to avoid queuing of construction trucks on Telegraph Hill Boulevard. The off-site truck queuing locations shall be determined in consultation with the neighbors. Deliveries shall be made between the hours of 9:00 am and 4:00 pm on weekdays to avoid the AM and PM peak traffic periods on Columbus Ave.
4. (Note 26) Construction vehicles and equipment shall use the staging area provided on site and shall be prohibited from using the Coit Tower parking lot for construction staging or queuing of construction vehicles.
5. (Note 27) All applicable weight limits on access roads to and from the site shall be observed and adhered to.
6. (Note 28) No construction activity shall be permitted between 5:00 pm and 7:00 am during weekdays and no construction shall be permitted on Saturdays, Sundays and legal holidays. All construction activities shall comply with the San Francisco Noise Ordinance (Police Code Article 29, and in particular Section 2907).
7. (Note 29) No construction workers, delivery trucks, tradespersons, project design professionals, vendors or any other persons involved in any manner with the construction activities, including but not limited to architects and special inspectors, shall utilize the Coit Tower parking lot, but shall instead park at designated parking garages and be shuttled to and from the job site.

8. (Note 30) Prior to commencing construction, the general contractor, the excavation, shoring and foundation subcontractor(s) and the project sponsor shall provide detailed construction plans including, but not limited to, the truck routes, the off-site location for truck queuing, phasing of construction and each duration, and the estimated number of truck trip for each phase of the construction, to the Transportation Advisory Staff Committee (TASC), which includes the San Francisco Municipal Transit Authority (SFMTA), Police Department (SFPD), Fire Department (SFFD), Department of Public Works (DPW) and Planning Department, prior to a public meeting on the proposed construction plans. In addition to TASC, the project applicant shall also submit such plans to and inform the Recreation and Parks Department, the Department of Building Inspection (DBI) and the construction contractors of any concurrent nearby projects in order to manage traffic congestion and pedestrian circulation effects and safety during construction of the project. TASC shall advise the neighbors of the place and time of the meeting to review and discuss the construction plans.

9. (Note 31) Prior to commencing construction, the project sponsor shall consult with the residents on assessors' blocks 86, 105 and 104 within 300 feet of the project site before finalizing the construction staging, traffic and truck route plans, including (a) a schedule of delivery times and dates during which construction materials are expected to arrive; and (b) methods to be used to monitor truck movement onto and out of the building site so as to minimize traffic and pedestrian conflicts on Telegraph Hill Boulevard, Filbert Street and Kearny Street.

10. (Note 32) Muni access to Coit Tower shall be maintained at all times throughout Construction.

11. (Note 33) Stewardship of landscape areas in the public domain and the Filbert Street stairs along the property frontage shall be maintained by the owners of the subject property, subject to the approval and appropriate agreements with the San Francisco Recreation and Park Department, DPW and DBI in consultation with the Telegraph Hill Dwellers neighborhood association and nearby neighbors.