



for these classes are inapplicable when the cumulative impact of successive projects of the same type in the same place, over time is significant.” Cal. Code Regs. tit. 14, § 15300.2(b). Lastly, “[a] categorical exemption shall not be used for an activity where there is a reasonable possibility that the activity will have a significant effect on the environment due to unusual circumstances.” Cal. Code Regs. tit. 14, § 15300.2(c).

This Project is not merely the construction of two single-family homes. The Project Site is unusual and highly sensitive to environmental impacts—located over one of San Francisco’s three primary natural gas transmission lines, inaccessible to emergency response vehicles, adjacent to the Bernal Heights Community Garden, including a proposal for the steepest street with driveways in the City, and with utilities to be installed for *six* houses.

The Project implicates a number of adverse environmental impacts beyond what would usually be expected from the construction of two single-family homes, including but not limited to:

- The Project ultimately consists of six new single-family residences. It includes two proposed houses with a new street adjoining four additional undeveloped lots. Property owners of the other undeveloped lots have publicly stated their intent to build houses on these properties once the Project is approved, and the Project proposes to install utilities to the six vacant lots for that purpose.
- The proposed Project is in a hazardous area, including one of the City’s three primary gas transmission lines. This rare locale is unlike other sites where the City’s gas transmission pipelines run. In 1989, the Department of Public Works replied to an inquiry by stating, “It was too dangerous to ever develop.” It is the only High-Consequence Risk Area in San Francisco where a vintage, 26-inch PG&E gas transmission pipeline is unprotected by asphalt—shallowly buried under soil at an undetermined depth—for 125 feet as it runs up a steeply pitched hillside before it reenters the protection of an asphalt street-cover on Bernal Heights Boulevard. The cumulative effects of six new houses, a new non-conforming street, and repeated earth moving equipment next to, over, and near the aging pipeline on a radically steep slope pose a significant threat to public safety.
- According to UC Berkeley pipeline safety expert Professor Robert Bea, the list of concerns regarding this particular section of PG&E Gas Transmission Pipeline 109 is “identical” to the causes leading to the San Bruno explosion.
- PG&E’s troubling pattern of lost records, credibility, and misinformation poses a significant concern given the unique location of this section of PG&E Gas Transmission Pipeline 109. PG&E has failed to produce records of original welds and past maintenance—all precipitating reasons behind the catastrophic San Bruno blast. Although PG&E maintains there has been regular surveillance of this undeveloped area

for hazardous encroachments, a large pine tree grows directly over the pipeline—violating PG&E’s own pipeline-safety guidelines.

- PG&E’s maintenance efforts do not ensure against accidental rupture due to earth movement during construction, a common cause of pipeline explosions. The transmission pipeline has a reduced pressure load due to concerns about its age and integrity. PG&E has failed to produce records of original welds and past maintenance, which would determine if the pipeline could better withstand earth-movement construction activity and heavy-duty equipment in close proximity and moving directly over it.
- The Project’s sidewalk and landscape plans violate PG&E’s Safety Guidelines by proposing to plant trees directly over the pipeline. According to a study commissioned by PG&E, 90 percent of all trees growing within five feet of pipelines cause damage to a pipeline’s protective covering, underscoring the Planning Department’s disregard for the Project’s safety impacts.
- The Project’s proposed steep street poses a significant public safety threat because it cannot be graded down to allow for emergency vehicle access, due to the pipeline’s location. The pitch of the street will likely be greater than 37 percent due to clearance requirements between transmission pipelines and utilities, making it among the steepest urban streets in the world. It is substandard in width, yet it includes no turnaround.
- The Project Site’s proposed steep street presents a significant threat to drivers and residents. It is too pitched and too narrow for cars to turn around. Vehicles will have to back down into a blind residential intersection. It is located on a major cross-City thoroughfare, Folsom Street. Drivers often drive up this part of Folsom Street in the mistaken belief it will take them directly downtown.
- The two existing homes’ driveways and parking (located below the Project Site) will be functionally eliminated, as the new street extension will cut through them at an incompatible slope and elevation. Likewise, the proposed new houses lack functional parking due to the proposed street’s nonconformities. The Project’s steep street plans contain dangerous break-over angles and nonfunctional access to the existing and proposed garages. The result will be a substantial impact on community parking and traffic. Additionally, senior residents who rely on their homes’ existing off-street parking will lose their mobility.
- The proposed street will not be an “accepted” street by the City but rather will require maintenance by the existing fronting homeowners—who do not want the street or the related liability. Liability issues and future responsibility for maintenance are unclear in cases of accidents caused by the steepness of the street and sidewalk.

Hon. London Breed

June 3, 2016

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- The Projects have no on-street parking; the cumulative effects of eight houses in a row with no on-street parking and no functional off-street parking will be seriously detrimental to the traffic and parking in this area of congested narrow streets. Delivery trucks, construction vehicles, and visitors will be forced to park at the base of the street—blocking both the intersection of Chapman and Folsom Streets and access to Upper Banks, Nevada, Prentiss, and Chapman Streets. This is the only viable vehicular entry to the houses in this area. The other, via Prentiss Street, is so steep that fire trucks, construction vehicles, and delivery trucks often get stuck using it.
- Bernal Heights Park’s limited public parking—and the Community Garden’s parking, adjacent to the Project along Bernal Heights Boulevard—will be significantly impacted by construction and delivery parking, as well as residents’ and visitors’ parking.
- The Project will cast significant shadow on the Bernal Heights Community Garden and will block light to adjacent properties.
- The Project’s lack of on-street parking will significantly impact the “wheel-chair friendly” status of Bernal Heights Park. This particular area on Bernal Heights Boulevard will become permanent parking for the Project’s residents, visitors, delivery trucks, and additional cars. There is already limited available flat parking space for the wheel-chair-enabled to park.
- The Project’s lack of planning for garbage, recycling, and compost pickup will create a significant public health impact. Although not provided for in the Project, pickup will likely be located far below on the sidewalk at the bottom of the proposed new street—in front of current residents’ homes on Folsom and Chapman.
- Drainage, including run-off from the Community Garden at the top of the Project area, will be significantly impacted by the introduction of the proposed street.
- The Project would create a wall blocking significant public vistas from Bernal Heights Boulevard.
- The Project does not comply with existing law or design guidelines, including but not limited to the East Slope Design Guidelines governing articulation, massing, privacy, and setbacks. For this reason, the East Slope Design Review Board filed a request for Discretionary Review of the Project with the Planning Commission. In total, the Project was subject to 19 requests for Discretionary Review.
- If allowed to proceed without the legally required environmental review, the Project will forever alter the unique, rural and special character of this particular piece of

Hon. London Breed  
June 3, 2016  
Page 5

undeveloped land. The effect will be to ruin, negate and destroy the neighborhood's distinctive natural beauty, in violation of applicable law.

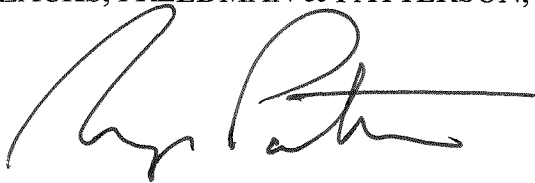
The Project is not rightly subject to a CatEx under Guidelines Section 15303(a) because the Project will likely have significant unmitigated environmental impacts that have not been analyzed by the City. While the CatEx states that "there are no unusual circumstances surrounding the current proposal that would suggest a reasonable possibility of a significant effect," the CatEx solely evaluated geotechnical impacts. It contained no review whatsoever of the other significant adverse impacts and is therefore fatally defective.

Appellants reserve the right to submit additional written and oral comments, bases, and evidence in support of this appeal to the City up to and including the final hearing on this appeal and any and all subsequent permitting proceedings or approvals for the Project. Appellants request that this letter and exhibits be placed in and incorporated into the administrative record for Case No. 2013.1383E.

Appellants respectfully request that the Board of Supervisors revoke the CatEx determination and require further environmental review pursuant to CEQA. If the CatEx determination is upheld, Appellants are prepared to file suit to enforce their and the public's rights.

Very truly yours,

ZACKS, FREEDMAN & PATTERSON, PC

A handwritten signature in black ink, appearing to read "Ryan Patterson", written over a horizontal line.

Ryan J. Patterson  
Attorneys for Marcus Ryu

cc: Environmental Review Officer  
San Francisco Planning Department  
1650 Mission Street, Suite 400  
San Francisco, CA 94103  
Sarah.B.Jones@sfgov.org

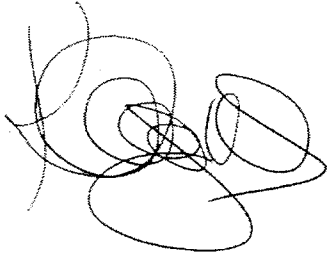
Encl.

June 3, 2016

To Whom It May Concern:

We hereby authorize Zacks, Freedman & Patterson, PC to file an appeal on our behalf of the CEQA Categorical Exemption Determination for Building Permit Application Nos. 2013.12.16.4318 & 2013.12.16.4322 (3516-3526 Folsom Street, San Francisco; Case No. 2013.1383E).

Signed,

A handwritten signature in black ink, appearing to be 'Kathy Angus', written in a cursive style.

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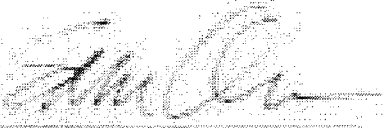
Bernal Heights South Slope Organization  
By: Kathy Angus

June 1, 2016

To Whom It May Concern:

We hereby authorize Zacka, Friedman & Patterson, PC to file an appeal on our behalf of the CEQA Categorical Exemption Determination for Building Permit Application Nos. 2013.12.16.4108 & 2013.12.16.4322 (2516-3526 Folsom Street, San Francisco, Case No. 2013.1383E).

Signed:



[NAME]

SAM ORR

for

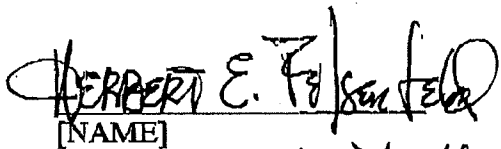
Bernal Safe + Livable

June 1, 2016

To Whom It May Concern:

We hereby authorize Zacks, Freedman & Patterson, PC to file an appeal on our behalf of the CEQA Categorical Exemption Determination for Building Permit Application Nos. 2013.12.16.4318 & 2013.12.16.4322 (3516-3526 Folsom Street, San Francisco; Case No. 2013.1383E).

Signed,

HERBERT E. Folsomfeld

[NAME]

Neighbors Against The Upper Folsom Street Extension

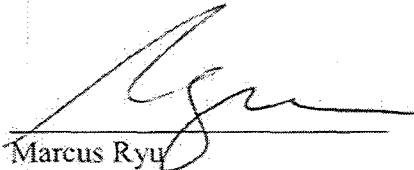


May 31, 2016

To Whom It May Concern:

I hereby authorize Zacks, Freedman & Patterson, PC to file an appeal on my behalf of the CEQA Categorical Exemption Determination for Building Permit Application Nos. 2013.12.16.4318 & 2013.12.16.4322 (3516-3526 Folsom Street, San Francisco; Case No. 2013.1383E).

Signed,

A handwritten signature in black ink, appearing to read 'Ryu', is written over a horizontal line.

Marcus Ryu  
55 Gates Street  
San Francisco, CA

June 1, 2016

To Whom It May Concern:

We hereby authorize Zacks, Freedman & Patterson, PC to file an appeal on our behalf of the CEQA Categorical Exemption Determination for Building Permit Application Nos. 2013.12.16.4318 & 2013.12.16.4522 (3516-7526 Bolson Street, San Francisco; Case No. 2013.13831).

Signed:



[NAME]

ANN LOGRATT

# **Exhibit A**



# SAN FRANCISCO PLANNING DEPARTMENT

## Certificate of Determination Exemption from Environmental Review

Case No.: 2013.1383E  
Project Title: 3516 and 3526 Folsom Street  
Zoning: RH-1 (Residential – House, One Family) Use District  
40-X Height and Bulk District  
Block/Lot: 5626/013 and 5626/014  
Lot Size: 1,750 square feet (each lot)  
Project Sponsor: Fabian Lannoye, Bluorange Designs, (415)533-0415  
Staff Contact: Heidi Kline – (415) 575-9043, Heidi.Kline@sfgov.org

1650 Mission St.  
Suite 400  
San Francisco,  
CA 94103-2479

Reception:  
415.558.6378

Fax:  
415.558.6409

Planning  
Information:  
415.558.6377

### PROJECT DESCRIPTION:

The proposed project would allow the construction of two 3,000-square-foot single-family residences on two vacant lots. Each residence would be two stories over a basement and measure 27 feet in height from the lowest to highest portion of the structure. The project is located within the Bernal Heights neighborhood, on the west side of Folsom Street at its terminus west of Chapman Street.

### EXEMPT STATUS:

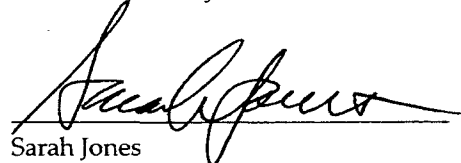
Categorical Exemption, Class 3 (California Environmental Quality Act (CEQA) Guidelines Section 15303(a))

### REMARKS:

See next page.

### DETERMINATION:

I do hereby certify that the above determination has been made pursuant to State and local requirements.



Sarah Jones  
Environmental Review Officer

March 26, 2014  
Date

cc: Fabian Lannoye, Project Sponsor  
Ben Fu, Current Planning

Supervisor David Campos, District 9

**Project Approvals**

- Zoning Administrator approval of a variance from tandem parking requirements in the Bernal SUD district in Section 242 of the San Francisco Planning Code.
- Building Permit from the San Francisco Department of Building Inspection.

**Approval Action:** The proposed project is subject to notification under Section 311 of the Planning Code. If discretionary review before the Planning Commission is requested, the discretionary review hearing is the Approval Action for the project. If no discretionary review is requested, the issuance of a building permit by DBI is the Approval Action. The Approval Action date establishes the start of the 30-day appeal period for this CEQA exemption determination pursuant to Section 31.04(h) of the San Francisco Administrative Code.

**REMARKS:**

**Geotechnical.** The dimensions of each lot are 25 feet wide by 70 feet deep. Both lots have an approximately 32 percent slope from the north to south side of the lot. Each residence would be constructed on a flat building pad with concrete retaining walls used in the front and rear yard areas to provide access to the garage and create usable outdoor living areas. The buildings would be constructed using a spread footing and/or mat foundation, requiring excavation several feet in depth.

A geotechnical report was prepared for each of the two proposed residences (3516 and 3526 Folsom Street) and includes information gathered from a site reconnaissance by the geotechnical engineer and two soil borings, one on each lot.<sup>1</sup> Both borings encountered 3 to 4 feet of stiff clay and sandy soil over chert bedrock. No groundwater was encountered, though based on the hillside location and soil and bedrock morphology it is possible that groundwater seepage from offsite irrigation could be encountered during excavation on the project site.

The geotechnical reports include the same evaluation and recommendations given the adjacency of the two lots and similar geotechnical/geological site conditions. The project site was evaluated for potential liquefaction, landslides, surface rupture, lateral spreading, and densification and was found to have a low risk. The geotechnical reports indicate the project site is not within an identified landslide or liquefaction zone as mapped by the California Divisions of Mines and Geology.<sup>2</sup> The project site is in an area that would be exposed to strong earthquake shaking. However, the 2013 San Francisco Building Code (Building Code) requires the Site Classification and Values of Site Coefficients be used in the design of

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<sup>1</sup> H. Allen Gruen, *Report Geotechnical Investigation Planned Residence at 3516 Folsom Street*, and *Report Geotechnical Investigation Planned Residence at 3526 Folsom Street*, August 3, 2013. Copies of these documents are available for public review at the San Francisco Planning Department, 1650 Mission Street, Suite 400, as part of Case File No. 2013.1383E.

<sup>2</sup> California Department of Conservation, *Seismic Hazard Zones, City and County of San Francisco*, November 17, 2000. Available online at [http://gmw.consrv.ca.gov/shmp/download/quad/SAN\\_FRANCISCO\\_NORTH/maps/ozn\\_sf.pdf](http://gmw.consrv.ca.gov/shmp/download/quad/SAN_FRANCISCO_NORTH/maps/ozn_sf.pdf). Accessed December 18, 2013.

new structures to minimize earthquake damage. The geotechnical reports include seismic design parameters for use in the project design by the structural engineer, in compliance with the Building Code, during the Department of Building Inspection (DBI) building permit plancheck process.

Both geotechnical reports conclude that the proposed improvements could be safely supported using a spread footing and/or mat building foundation, provided adherence to the site preparation and foundation design recommendations included in the reports. The project sponsor has agreed to adhere to the recommendations and incorporate the foundation design parameters into the plans submitted for the building permit plancheck process, subject to final review by DBI. Thus, the proposed project would have no significant geotechnical impacts.

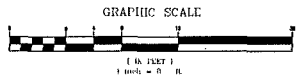
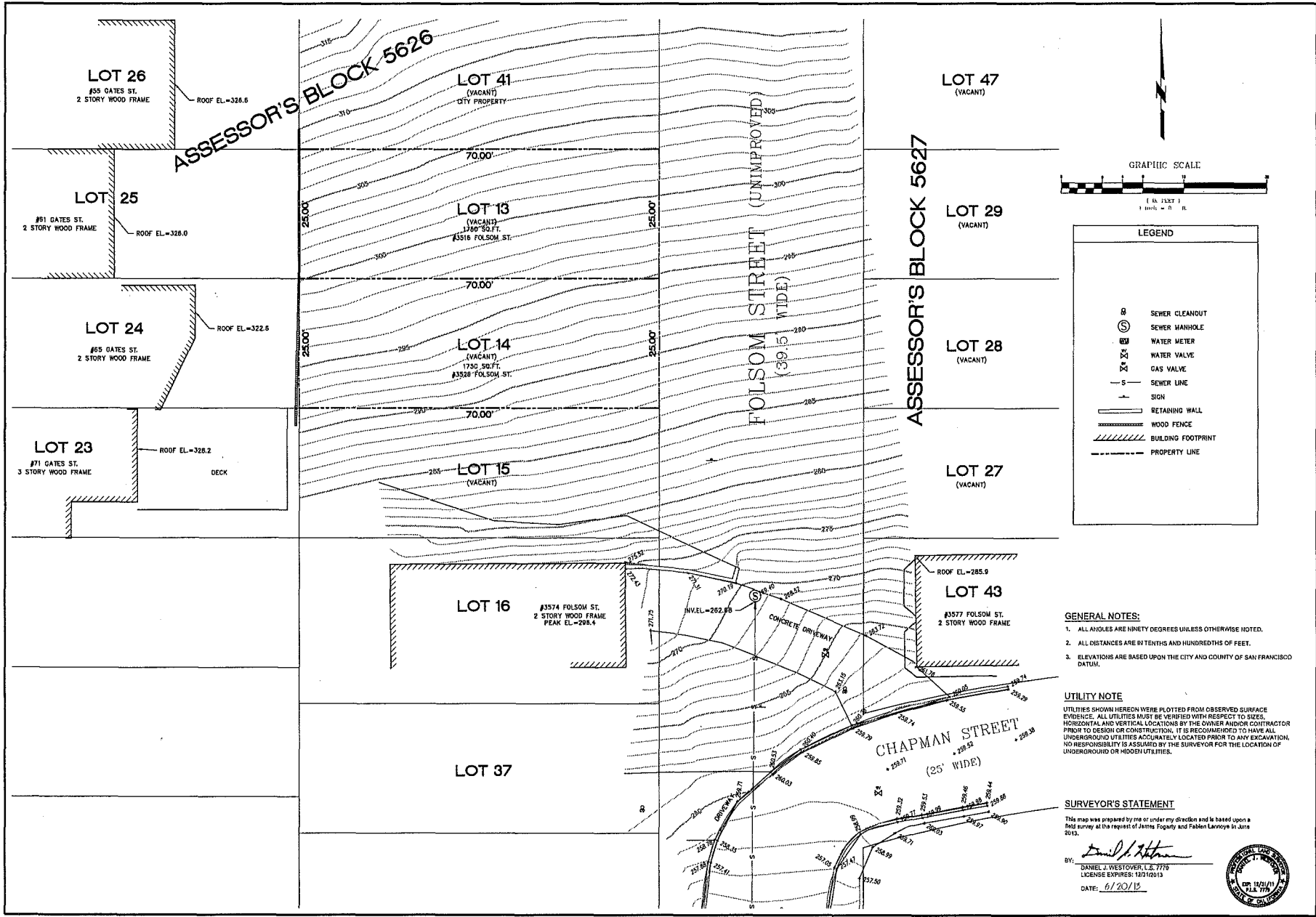
**Exemption Class.** Under CEQA State Guidelines Section 15303(a), or Class 3(a), construction of up to three single-family residences is exempt from environmental review. The proposed project includes the proposed construction of two 3,000-square-foot single-family residences. In addition, the project site is not located in a particularly sensitive or hazardous area. Therefore, the proposed project would be exempt from environmental review under Class 3(a).

**Summary.** CEQA State Guidelines Section 15300.2 states that a categorical exemption shall not be used for an activity where there is a reasonable possibility that the activity will have a significant effect on the environment due to unusual circumstances. There are no unusual circumstances surrounding the current proposal that would suggest a reasonable possibility of a significant effect. The proposed project would not have significant geotechnical or other environmental effects. The project would be exempt under the above-cited classification. For the above reasons, the proposed project is appropriately exempt from environmental review.

## **Exhibit B**

SHEET INDEX:	RESIDENTIAL REMODEL:	OCCUPANCY LOADS:	VICINITY MAP:																																																																	
<p><b>NO. CONTENTS</b></p> <p>A-0 Title Sheet, Plot Plan            T-1 Topographic Survey            A-1 Proposed Basement + 1st Floor Plans            A-2 Proposed 2nd Floor and Roof Plans            A-3 Street (East) and Rear (West) Elevations            A-4 Proposed North and South Elevations            A-5 Proposed Sections            A-6 Mass Reduction + Gross Area            C-4 Greenpoints</p>	<p><b>Basement:</b> 3 Car Garage Rec Room</p> <p><b>First Floor:</b> Entry Living Room Dining Room Kitchen Powder Room</p> <p><b>Second Floor:</b> Master Suite 2 Bedrooms 1 shared bathroom Laundry</p> <p><b>Roof:</b> Stairs to roof deck Roof Deck</p>	<table border="1"> <thead> <tr> <th>FLOOR</th> <th>OCCUP.</th> <th>AREA.</th> <th>OCCUP LOAD FACTOR</th> <th>OCCUP. LOAD</th> <th>REQUIRED MEANS OF EGRESS</th> </tr> </thead> <tbody> <tr> <td>Garage/ Basement</td> <td>U-1 GARAGE R-3</td> <td>787 S.F. 229 S.F.</td> <td>200 200</td> <td>4 2</td> <td>1</td> </tr> <tr> <td>1st Floor</td> <td>R-3</td> <td>892 S.F.</td> <td>200</td> <td>5</td> <td>1</td> </tr> <tr> <td>2nd Floor</td> <td>R-3</td> <td>870 S.F.</td> <td>200</td> <td>5</td> <td>1</td> </tr> <tr> <td>Roof Deck</td> <td>R-3</td> <td>235 S.F.</td> <td>200</td> <td>2</td> <td>1</td> </tr> <tr> <td>Total Liv. Space</td> <td></td> <td>1,991 S.F.</td> <td></td> <td>14</td> <td></td> </tr> </tbody> </table> <p><b>PROJECT INFORMATION</b></p> <p>PROJECT ADDRESS: 3516 FOLSOM STREET San Francisco, CA 94110</p> <p>BLOCK / LOT: 5626 / 013</p> <p>ZONING DISTRICT: RH-1</p> <p>HEIGHT/BULK LIMITS: 30'-X</p> <p>OCCUPANCY: R-3 Single Residential Unit U-1 GARAGE TYPE V-B</p> <p>CONSTRUCTION:</p> <p>APPLICABLE CODES: 2013 California Building, Mechanical, Electrical and Fire Code w/ San Francisco Amendments 2013 California Electrical Code 2010 California Energy Code + All other state and local ordinances and regulations</p> <p>PROJECT DESCRIPTION: NEW SINGLE FAMILY RESIDENCE, 2 STORY OVER BASEMENT</p> <p>SEPARATE PERMIT REQUIRED: SPRINKLER ALL FLOORS WITH NFPA 13D SPRINKLER</p>	FLOOR	OCCUP.	AREA.	OCCUP LOAD FACTOR	OCCUP. LOAD	REQUIRED MEANS OF EGRESS	Garage/ Basement	U-1 GARAGE R-3	787 S.F. 229 S.F.	200 200	4 2	1	1st Floor	R-3	892 S.F.	200	5	1	2nd Floor	R-3	870 S.F.	200	5	1	Roof Deck	R-3	235 S.F.	200	2	1	Total Liv. Space		1,991 S.F.		14			<p><b>BLUORANGE designs</b></p> <p>241 Amber Drive SAN FRANCISCO CA, 94131 TEL: 415-533-0415 fablen@bluorange.com</p> <p>ISSUES AND REVISIONS</p> <table border="1"> <thead> <tr> <th>NO.</th> <th>DATE</th> <th>ISSUE</th> <th>BY</th> </tr> </thead> <tbody> <tr> <td>1</td> <td>08/20/13</td> <td>Project Review</td> <td>FJL</td> </tr> <tr> <td>2</td> <td>10/11/13</td> <td>Plan Application</td> <td>FJL</td> </tr> <tr> <td>3</td> <td>04/20/14</td> <td>Site Permit Revision</td> <td>FJL</td> </tr> <tr> <td>4</td> <td>04/20/14</td> <td>Site Permit Revision</td> <td>FJL</td> </tr> <tr> <td>5</td> <td>11/14/14</td> <td>Site Permit Revision</td> <td>FJL</td> </tr> <tr> <td>6</td> <td>04/22/15</td> <td>Site Permit Revision</td> <td>FJL</td> </tr> </tbody> </table>	NO.	DATE	ISSUE	BY	1	08/20/13	Project Review	FJL	2	10/11/13	Plan Application	FJL	3	04/20/14	Site Permit Revision	FJL	4	04/20/14	Site Permit Revision	FJL	5	11/14/14	Site Permit Revision	FJL	6	04/22/15	Site Permit Revision	FJL
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6	04/22/15	Site Permit Revision	FJL																																																																	
<p><b>SITE PLAN</b> 1/8"=1'-0" <b>LOT 26</b></p> <p><b>LOT 25</b> #61 GATES ST. 2 STORY WOOD FRAME</p> <p><b>LOT 24</b> #65 GATES ST. 2 STORY WOOD FRAME</p> <p><b>LOT 23</b> S ST. 0 FRAME</p> <p><b>LOT 16</b> #3574 FOLSOM ST.</p>	<p><b>LOT 41</b> (VACANT) CITY PROPERTY</p> <p><b>LOT 47</b> (VACANT)</p> <p><b>LOT 29</b> (VACANT)</p> <p><b>LOT 28</b> (VACANT)</p> <p><b>LOT 27</b> (VACANT)</p> <p><b>LOT 15</b> (VACANT)</p> <p><b>LOT 14</b> (VACANT) 1750 SQ.FT. #1528 FOLSOM ST.</p> <p><b>LOT 43</b></p>	<p><b>DATA:</b> Zoning: RH-1 CU Section 242 Bernal Heights 30'-0" Maximum Height 24'-6" Minimum Rear Yard Type V-B Construction R-3 Occupancy Single Family Residence 2 Story over Basement House</p> <p>Gross Area: Basement: 285.7 S.F. 1st Floor: 892.0 S.F. 2nd Floor: 950.0 S.F. Total: 2,227.7 S.F.</p> <p>2 car garage required</p> <p>Mass Reduction per Sect 242(e)(3): 650 S.F. REQUIRED Basement: 50.0 S.F. 1st Floor: 140.0 S.F. 2nd Floor: 179.9 S.F. 3rd Floor: 486.7 S.F. Total: 856.6 S.F. Mass Reduction Proposed</p>	<p>PROJECT: NEW SINGLE FAMILY RESIDENCE 3516 FOLSOM STREET SAN FRANCISCO, CA 94110 BLOCK # 5626 / LOT # 013</p> <p>JOB#: 1301 DATE: 12/05/13 DWN: FJL SCALE: AS NOTED SHEET TITLE: COVER SHEET</p> <p><b>A-0</b></p>																																																																	





LEGEND	
⊗	SEWER CLEANOUT
⊙	SEWER MANHOLE
⊕	WATER METER
⊕	WATER VALVE
⊕	GAS VALVE
—S—	SEWER LINE
—T—	SIGN
—	RETAINING WALL
—	WOOD FENCE
—	BUILDING FOOTPRINT
---	PROPERTY LINE

**GENERAL NOTES:**

1. ALL ANGLES ARE NINETY DEGREES UNLESS OTHERWISE NOTED.
2. ALL DISTANCES ARE IN TENTHS AND HUNDREDTHS OF FEET.
3. ELEVATIONS ARE BASED UPON THE CITY AND COUNTY OF SAN FRANCISCO DATUM.

**UTILITY NOTE**

UTILITIES SHOWN HEREON WERE PLOTTED FROM OBSERVED SURFACE EVIDENCE. ALL UTILITIES MUST BE VERIFIED WITH RESPECT TO SIZES, HORIZONTAL AND VERTICAL LOCATIONS BY THE OWNER AND/OR CONTRACTOR PRIOR TO DESIGN OR CONSTRUCTION. IT IS RECOMMENDED TO HAVE ALL UNDERGROUND UTILITIES ACCURATELY LOCATED PRIOR TO ANY EXCAVATION. NO RESPONSIBILITY IS ASSUMED BY THE SURVEYOR FOR THE LOCATION OF UNDERGROUND OR HIDDEN UTILITIES.

**SURVEYOR'S STATEMENT**

This map was prepared by me or under my direction and is based upon a field survey at the request of James Fogarty and Fabien Lavooye in June 2013.

BY: *Daniel J. Westover*

DANIEL J. WESTOVER, L.S. 775  
 LICENSE EXPIRES: 12/31/2013  
 DATE: 6/20/13



316 CARMICHAEL BLVD., STE 2  
 SAN FRANCISCO, CA 94102  
 (415) 242-5000  
 www.westoversurveying.com

**W/S**  
 WESTOVER  
 SURVEYING

NO.	DATE	COMMENTS	JOB NO.
1	6/20/13		13029

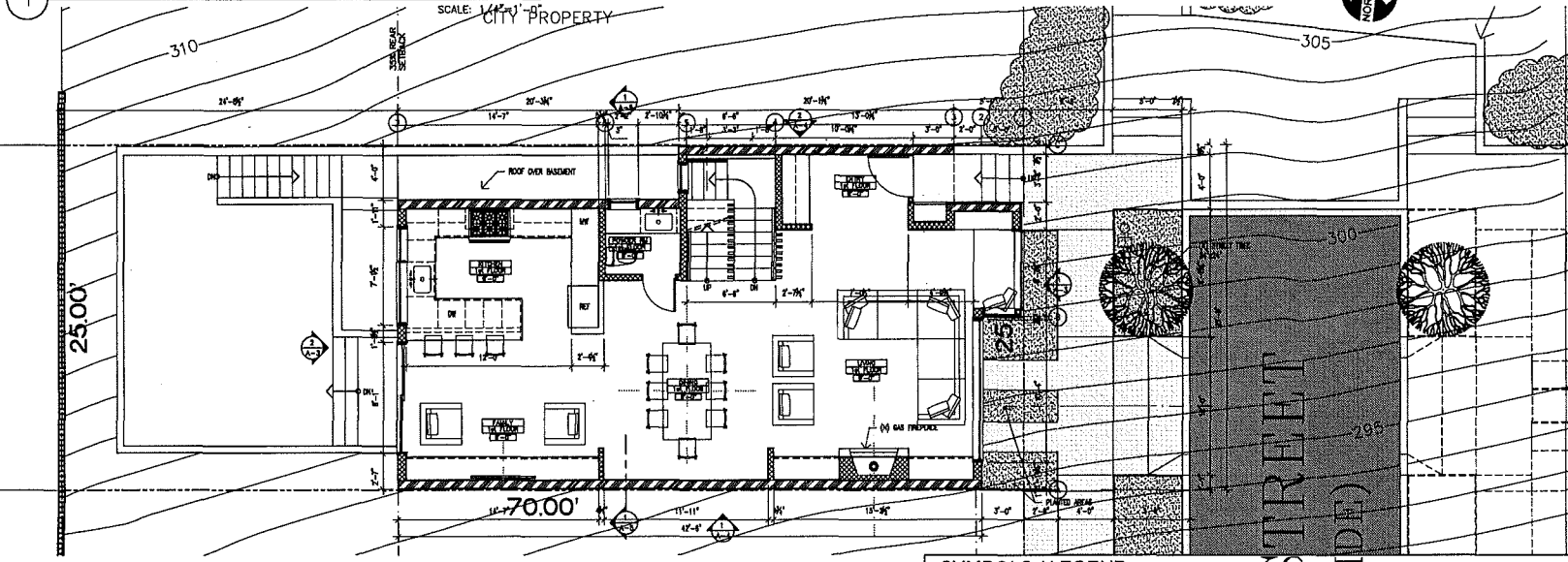
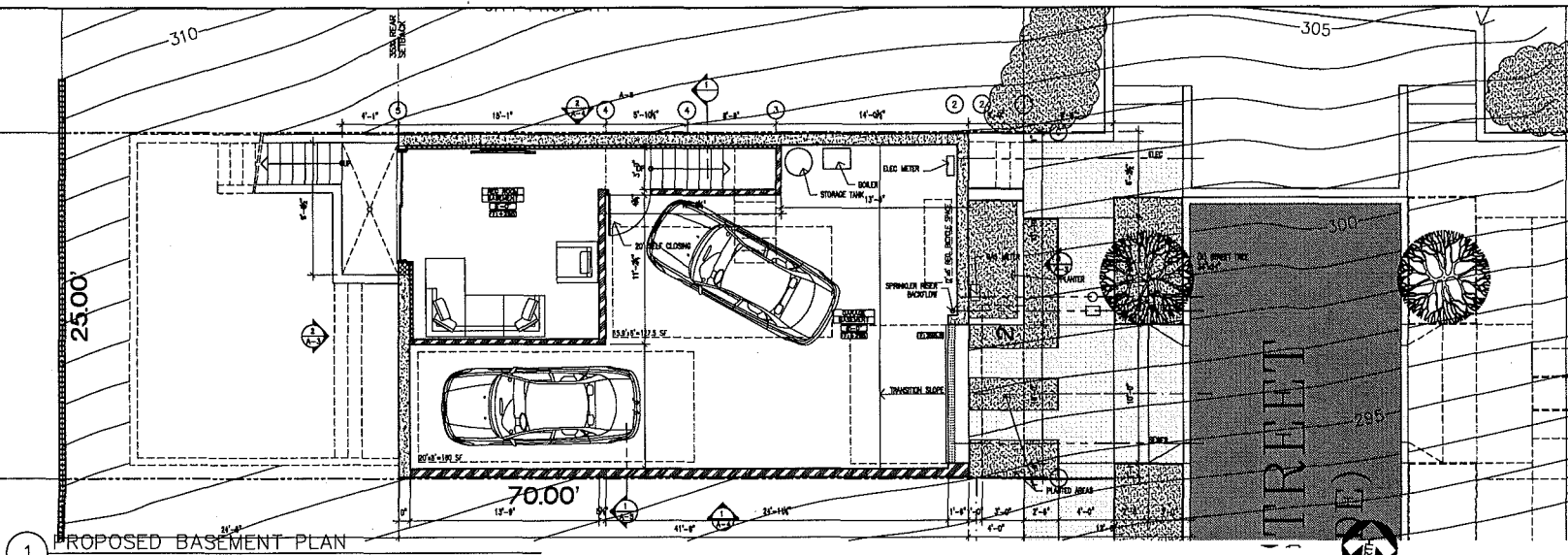
SURVEY DATE: 6/20/2013  
 DRAWN BY: D.J.W.  
 CHECKED BY: D.J.W.  
 SCALE: 1"=25'

**SITE SURVEY**

3516 and 3528 FOLSOM STREET  
 LOTS 13 AND 14 OF ASSESSOR'S BLOCK 5628  
 SAN FRANCISCO, CALIFORNIA

**SHEET**

1  
 OF  
 1



**SYMBOLS / LEGEND**

	NEW CONCRETE		ROOM NAME		DOOR TAG
	EXISTING CONSTRUCTION TO BE REMOVED		FLOOR FINISH		WINDOW TAG
	EXISTING WALL TO REMAIN		CEILING HEIGHT		
	NEW WALL		ELEVATION MARK		
	1 HR FIRE RATED WALL (TYP. @ P.L.)		SECTION MARK		
	SOFFIT				
	ELEVATION CALL OUT				

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designs

241 Amber Drive  
SAN FRANCISCO  
CA, 94131  
TEL: 415-633-0415  
fablen@bluorange.com

**ISSUES AND REVISIONS**

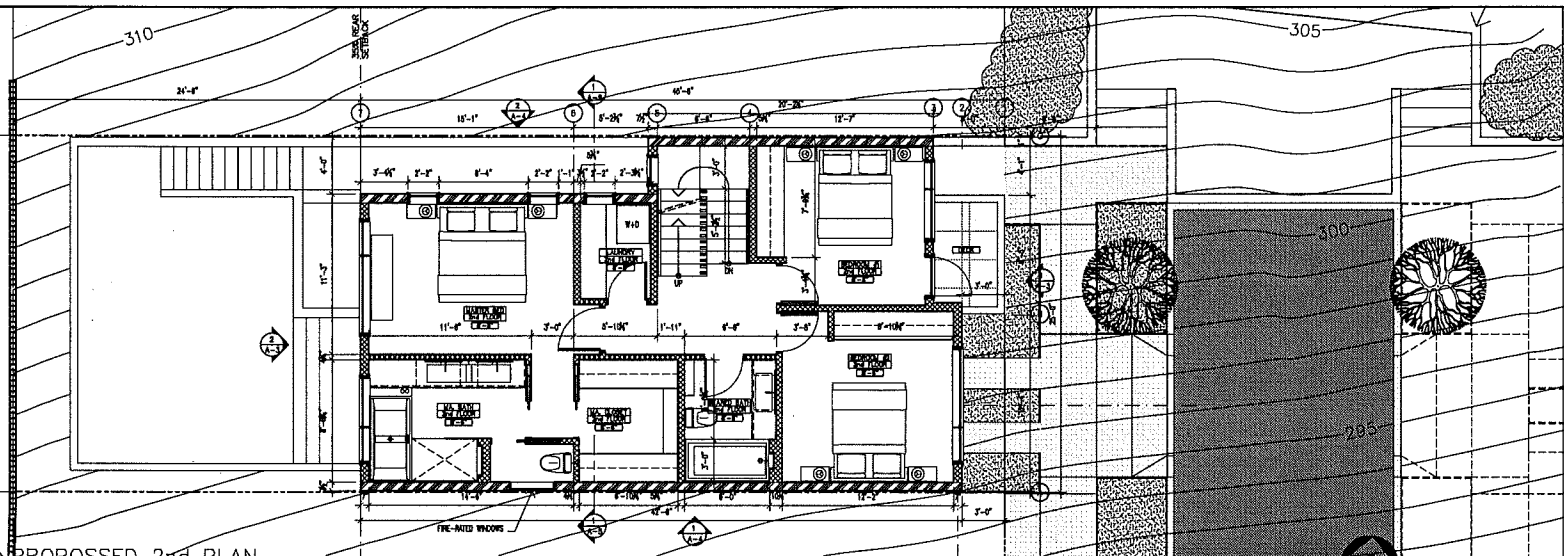
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08/29/13		Project Review	FJL
12/11/13		Pre-Application	FJL
04/22/14		Site Permit Revision	FJL
05/27/14		Site Permit Revision	FJL
11/14/14		Site Permit Revision	FJL
04/22/15		Site Permit Revision	FJL

PROJECT  
NEW SINGLE FAMILY RESIDENCE  
3516 FOLSOM STREET  
SAN FRANCISCO, CA 94110  
BLOCK # 5626 / LOT # 013

JOB#: 1301  
DATE: 12/05/13  
DWN: FJL  
SCALE: 1/4" = 1'-0"

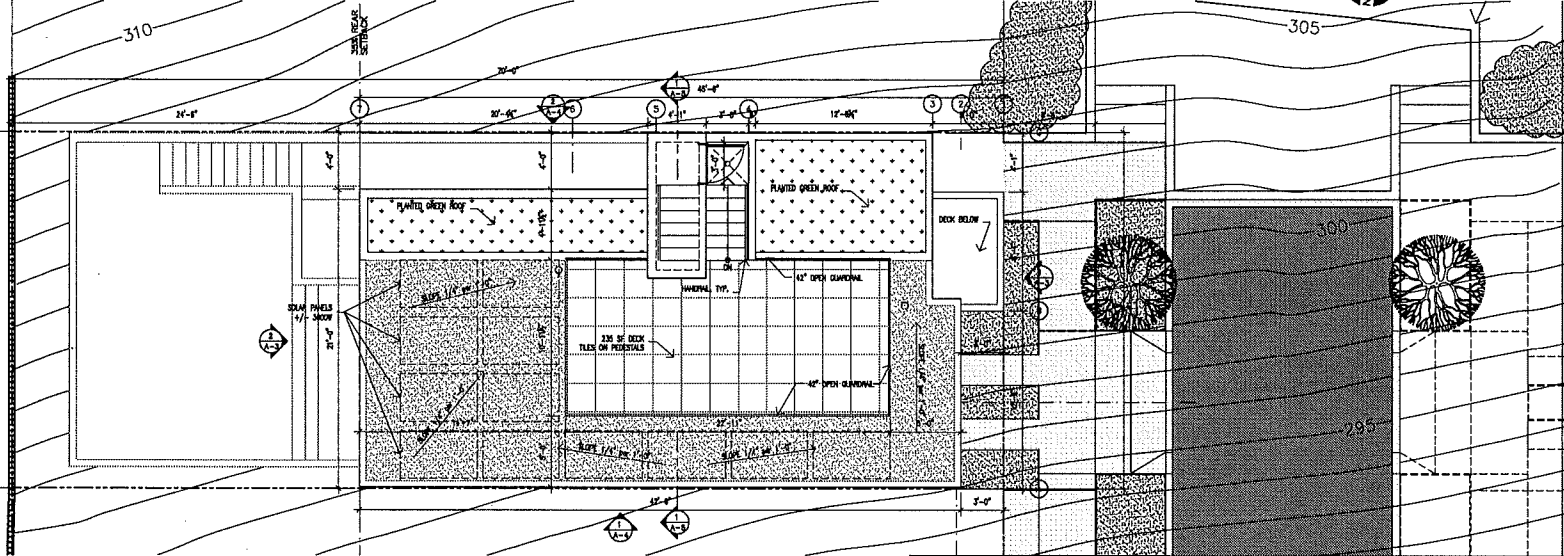
SHEET TITLE:  
BASEMENT &  
1st FLOOR PLAN

A-1



1 PROPOSED 2nd PLAN

SCALE: 1/4" = 1'-0"



2 PROPOSED ROOF PLAN

SCALE: 1/4" = 1'-0"

**SYMBOLS / LEGEND**

- |  |                                     |  |   |
|--|-------------------------------------|--|---|
|  | NEW CONCRETE                        |  | ROOM NAME<br>FLOOR FINISH<br>CEILING HEIGHT |
|  | EXISTING CONSTRUCTION TO BE REMOVED |  | DOOR TAG                                    |
|  | EXISTING WALL TO REMAIN             |  | WINDOW TAG                                  |
|  | NEW WALL                            |  | ELEVATION MARK                              |
|  | 1 HR FIRE RATED WALL (TYP. @ P.L.)  |  | SECTION MARK                                |
|  | SOFFIT                              |  |   |
|  | ELEVATION CALL OUT                  |  |   |

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ISSUES AND REVISIONS

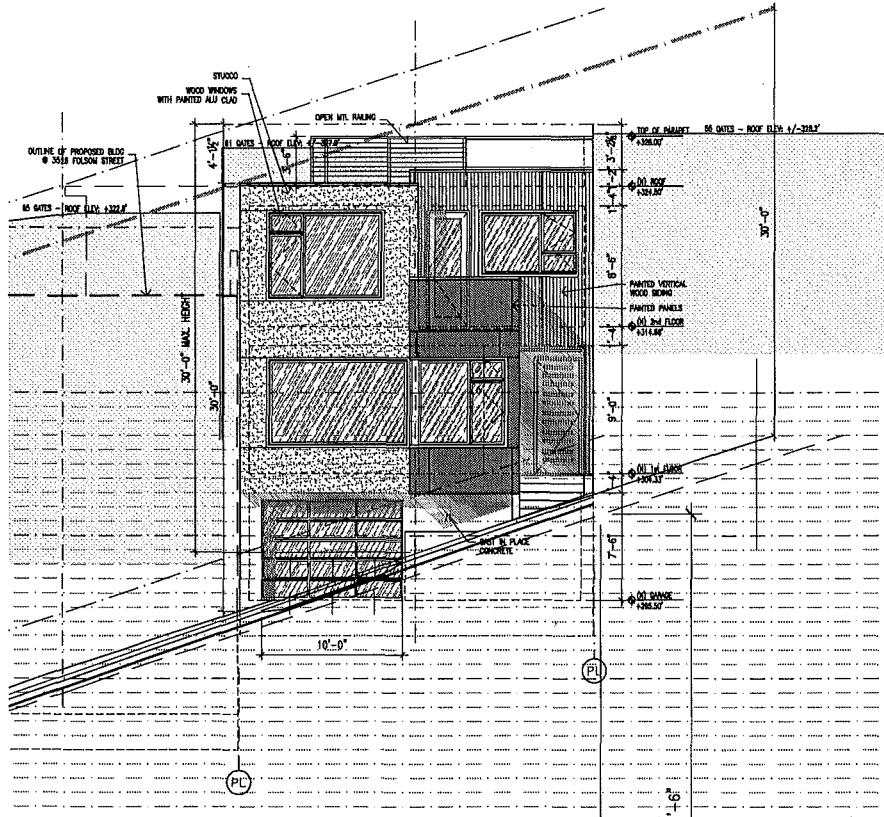
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2	10/17/13	Pre-Application	F.S.
3	01/20/14	Site Permit Plan/Notes	F.S.
4	03/26/14	Site Permit Plan/Notes	F.S.
5	11/14/14	Site Permit Plan/Notes	F.S.
6	04/22/15	Site Permit Plan/Notes	F.S.

PROJECT:  
NEW SINGLE FAMILY RESIDENCE  
3516 FOLSOM STREET  
SAN FRANCISCO, CA 94110  
BLOCK # 5626 / LOT # 013

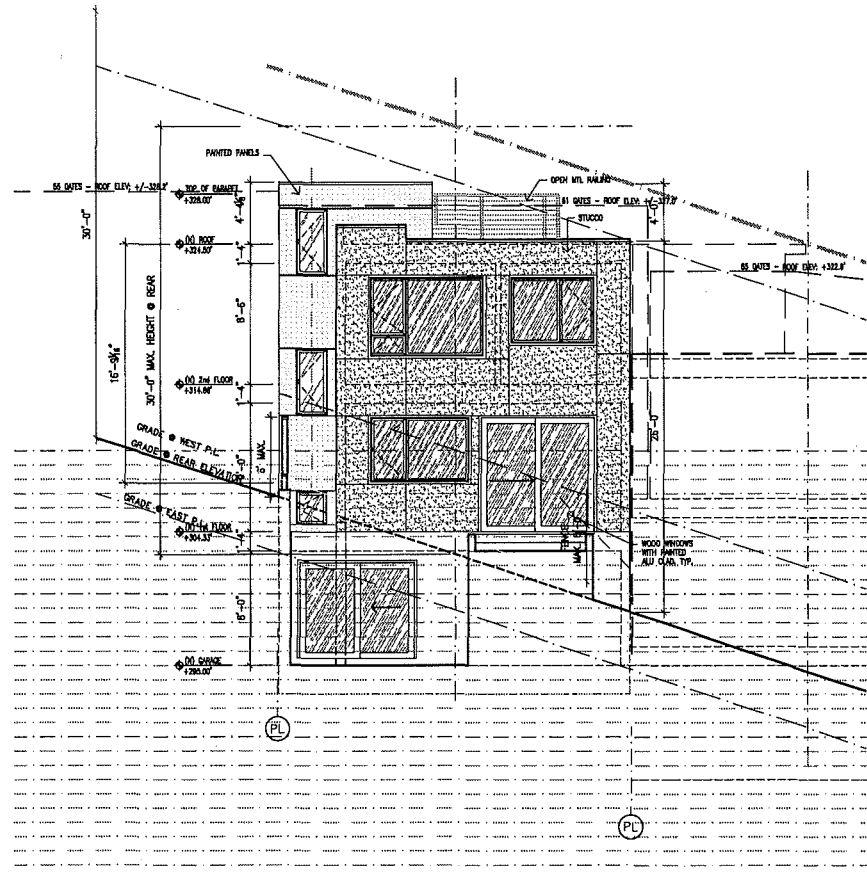
JOB#: 1301  
DATE: 12/05/13  
DWN: F.J.L.  
SCALE: 1/4" = 1'-0"

SHEET TITLE:  
2nd FLOOR PLAN  
ROOF PLAN

**A-2**



1 PROPOSED STREET (EAST) ELEVATION  
SCALE: 1/4"=1'-0"



2 PROPOSED REAR (WEST) ELEVATION  
SCALE: 1/4"=1'-0"

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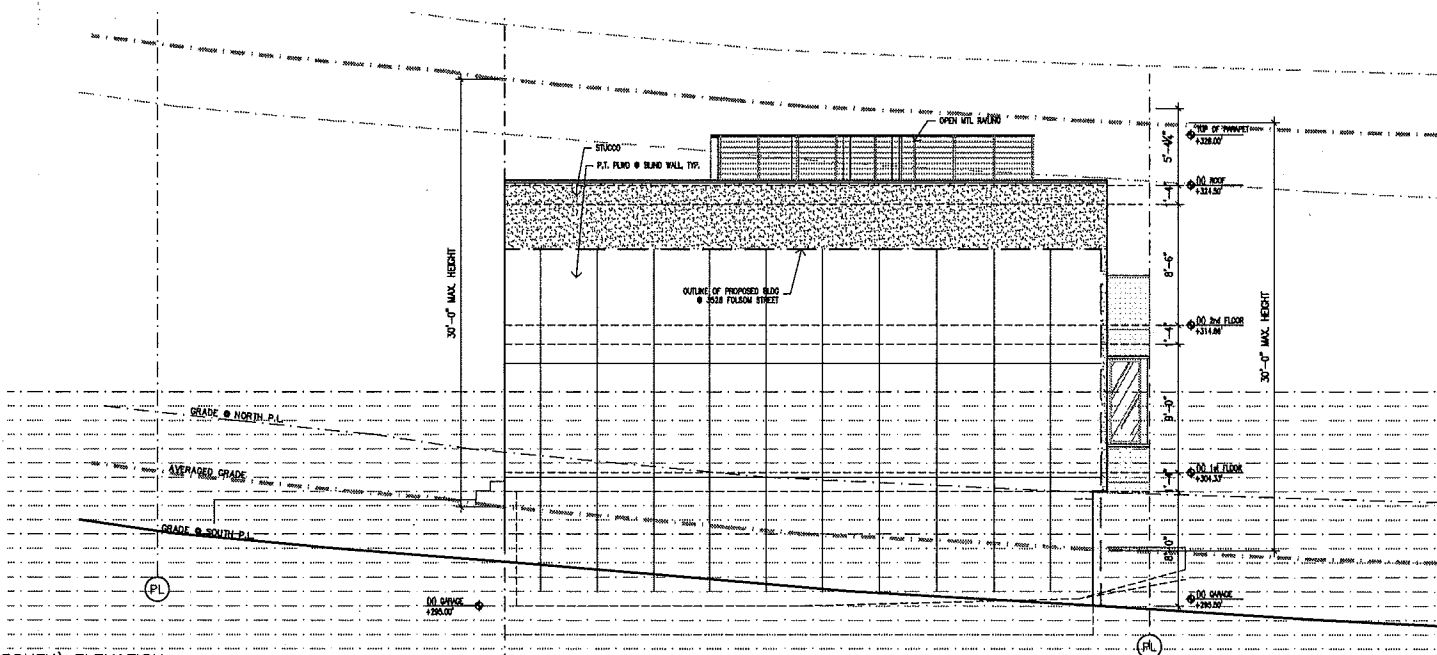
ISSUES AND REVISIONS

NO.	DATE	DESCRIPTION	BY
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2	12/11/13	Site Application	F.J.L.
3	01/03/14	Site Permit Application	F.J.L.
4	02/07/14	Site Permit Revision	F.J.L.
5	11/14/14	Site Permit Revision	F.J.L.
6	04/22/15	Site Permit Revision	F.J.L.

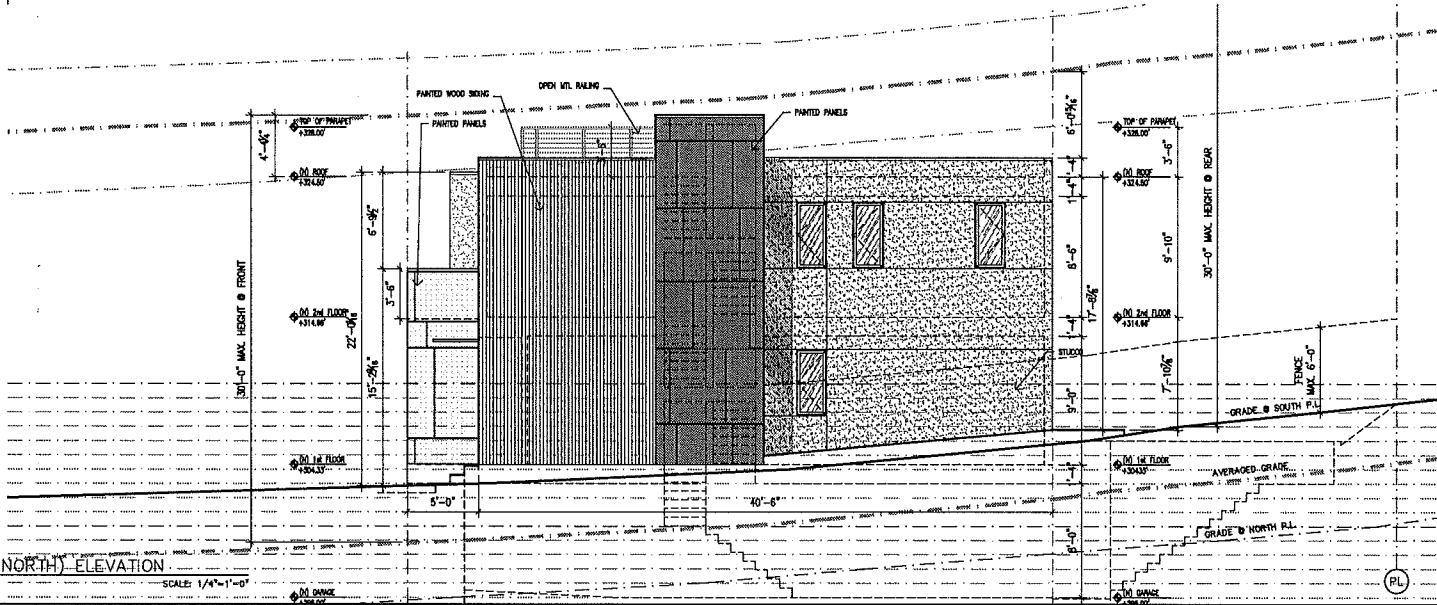
PROJECT:  
NEW SINGLE FAMILY RESIDENCE  
3516 FOLSOM STREET  
SAN FRANCISCO, CA 94110  
BLOCK # 5626 / LOT # 013

JOB#: 1301  
DATE: 12/05/13  
DWN: F.J.L.  
SCALE: 1/4" = 1'-0"  
SHEET TITLE:  
EAST & WEST  
ELEVATIONS

A-3



1 PROPOSED SIDE (SOUTH) ELEVATION  
SCALE: 1/4" = 1'-0"



2 PROPOSED SIDE (NORTH) ELEVATION  
SCALE: 1/4" = 1'-0"

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ISSUES AND REVISIONS

NO.	DATE	BY	REVISION
1	08/29/13	FJL	Project Review
2	12/11/13	FJL	Permit Application
3	01/02/14	FJL	Site Permit Revisions
4	02/27/14	FJL	Site Permit Revisions
5	11/14/14	FJL	Site Permit Revisions
6	04/22/15	FJL	Site Permit Revisions

PROJECT:  
NEW SINGLE FAMILY RESIDENCE  
3516 FOLSOM STREET  
SAN FRANCISCO, CA 94110  
BLOCK # 5626 / LOT # 013

JOB#: 1301  
DATE: 12/05/13  
DWG: FJL  
SCALE: 1/4" = 1'-0"  
SHEET TITLE:  
PROPOSED NORTH  
+ SOUTH ELEVATION

A-4

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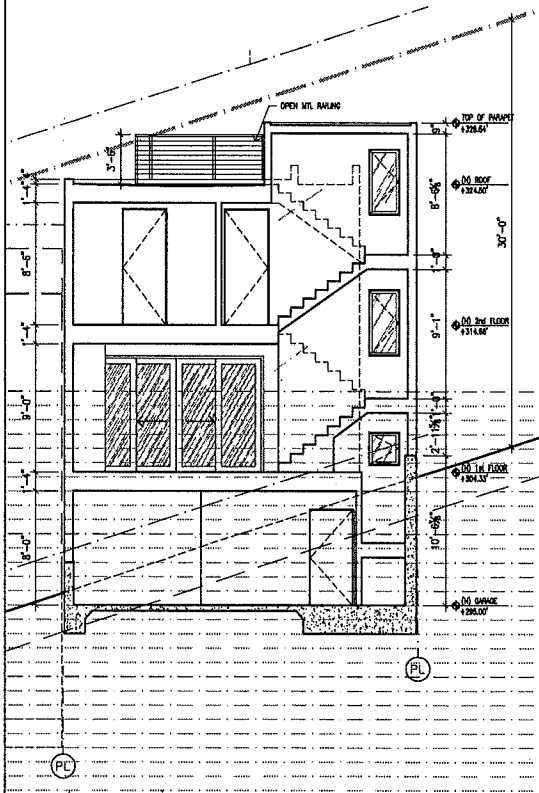
ISSUES AND REVISIONS

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2	12/11/13	FJL	Pre-Application
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4	03/27/14	FJL	Site Permit Revisions
5	1/17/14	FJL	Site Permit Revisions
6	04/22/13	FJL	Site Permit Revisions

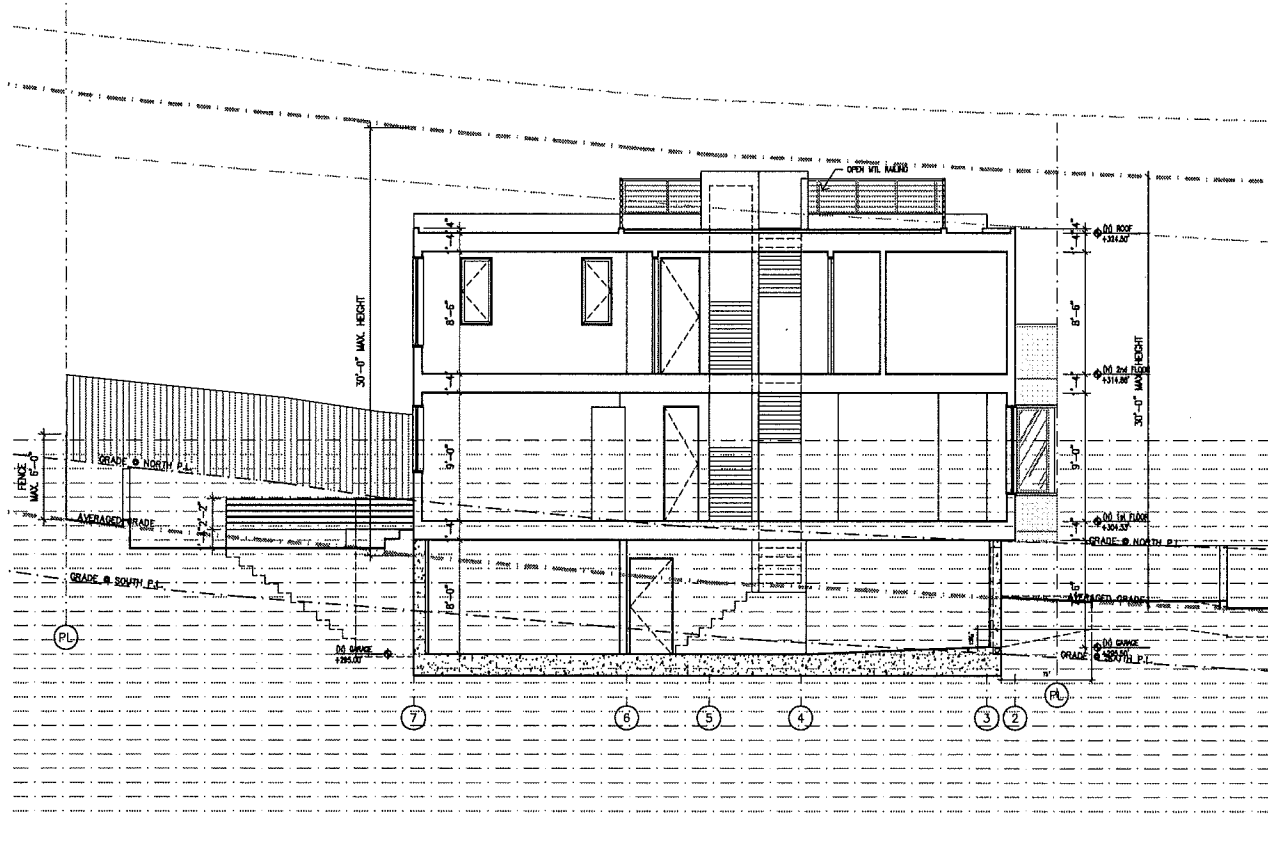
PROJECT:  
NEW SINGLE FAMILY RESIDENCE  
3516 FOLSOM STREET  
SAN FRANCISCO, CA 94110  
BLOCK # 5626 / LOT # 013

JOB#: 1303  
DATE: 12/05/13  
DWN: FJL  
SCALE: 1/4" = 1'-0"  
SHEET TITLE:  
SECTIONS

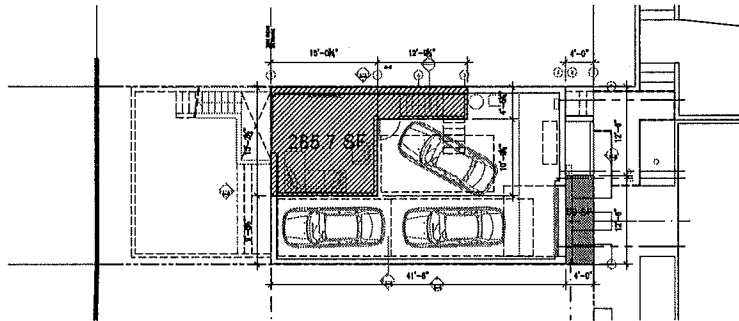
A-5



1 PROPOSED SECTION AA' SCALE: 1/4"=1'-0"

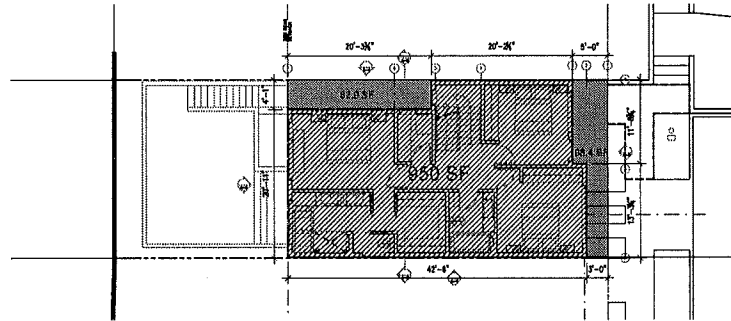


2 PROPOSED SECTION BB' SCALE: 1/4"=1'-0"



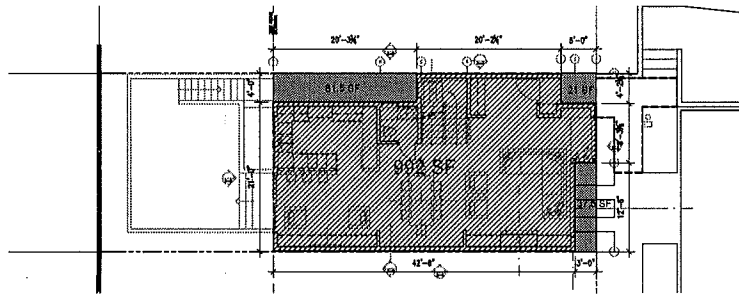
1 PROPOSED BASEMENT PLAN

SCALE: 1/8"=1'-0"



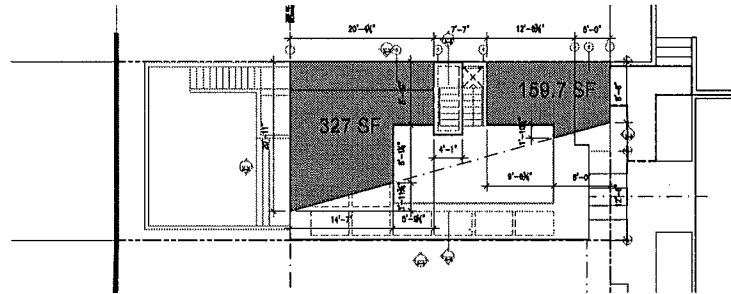
3 PROPOSED 2nd FLOOR PLAN

SCALE: 1/8"=1'-0"



2 PROPOSED 1st FLOOR PLAN

SCALE: 1/8"=1'-0"



4 PROPOSED ROOF PLAN

SCALE: 1/8"=1'-0"



**GROSS AREA:**

Basement: 285.7 S.F.  
 1st Floor: 992 S.F.  
 2nd Floor: 950 S.F.  
 Total: 2,227.7 S.F.

2 car garage required



**MASS REDUCTION:**

Mass Reduction per Sect 242(e)(3): 650 S.F. REQUIRED

Basement: 50.0 S.F.  
 1st Floor: 140.0 S.F. (81.5 + 37.5 + 21)  
 2nd Floor: 179.9 S.F. (98.4 + 81.5)  
 3rd Floor: 486.7 S.F. (327 + 159.7)  
 Total: 856.6 S.F. Mass Reduction Proposed

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ISSUES AND REVISIONS

Rev	Date	Issue	By
1	08/28/13	Project Review	FJL
2	12/11/13	Pre-Application	FJL
3	04/20/14	Site Permit Revision	FJL
4	08/29/14	Site Permit Revision	FJL
5	11/12/14	Site Permit Revision	FJL
6	04/17/15	Site Permit Revision	FJL

PROJECT:  
 NEW SINGLE FAMILY RESIDENCE  
 3516 FOLSOM STREET  
 SAN FRANCISCO, CA 94110  
 BLOCK # 5626 / LOT # 013

JOB#: 1301  
 DATE: 04/17/15  
 DWN: FJL  
 SCALE: 1/8" = 1'-0"

SHEET TITLE:  
 BASEMENT SF  
 MASS REDUCTION

**A-6**

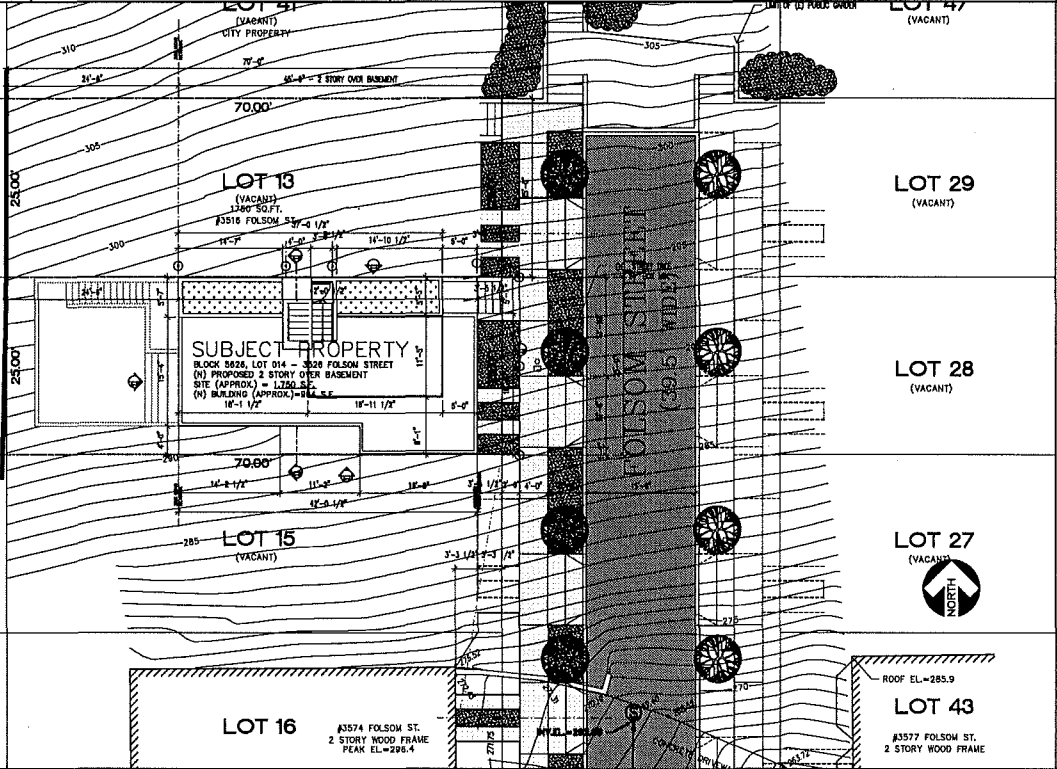
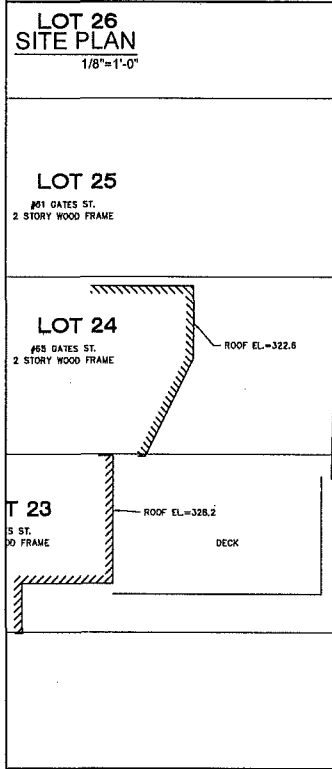
SHEET INDEX:	RESIDENTIAL REMODEL:	OCCUPANCY LOADS:	VICINITY MAP:																																							
<b>NO. CONTENTS</b> A-0 Title Sheet, Plot Plan T-1 Topographic Survey A-1 Proposed Basement + 1st Floor Plans A-2 Proposed 2nd Floor and Roof Plans A-3 Street (East) and Rear (West) Elevations A-4 Proposed North and South Elevations A-5 Proposed Sections A-6 Mass Reduction + Gross Area C-4 Greenpoints	<b>Basement:</b> 2 Car Garage Guest Room Bathroom <b>First Floor:</b> Entry Living Room Dining Room Kitchen Powder Room <b>Second Floor:</b> Master Suite 2 Bedrooms 1 shared bathroom Laundry Stairs to roof deck <b>Roof:</b> Roof Deck	<table border="1"> <thead> <tr> <th>FLOOR</th> <th>OCCUP.</th> <th>AREA.</th> <th>OCCUP LOAD FACTOR</th> <th>OCCUP. LOAD</th> <th>REQUIRED MEANS OF EGRESS</th> </tr> </thead> <tbody> <tr> <td>Garage/ Basement</td> <td>U-1 GARAGE R-3</td> <td>641 S.F. 288 S.F.</td> <td>200 200</td> <td>4 2</td> <td>1</td> </tr> <tr> <td>1st Floor</td> <td>R-3</td> <td>842 S.F.</td> <td>200</td> <td>5</td> <td>1</td> </tr> <tr> <td>2nd Floor</td> <td>R-3</td> <td>842 S.F.</td> <td>200</td> <td>5</td> <td>1</td> </tr> <tr> <td>Roof Deck</td> <td>R-3</td> <td>190 S.F.</td> <td>200</td> <td>1</td> <td>1</td> </tr> <tr> <td>Total Liv. Space</td> <td></td> <td>1,972 S.F.</td> <td></td> <td></td> <td></td> </tr> </tbody> </table>	FLOOR	OCCUP.	AREA.	OCCUP LOAD FACTOR	OCCUP. LOAD	REQUIRED MEANS OF EGRESS	Garage/ Basement	U-1 GARAGE R-3	641 S.F. 288 S.F.	200 200	4 2	1	1st Floor	R-3	842 S.F.	200	5	1	2nd Floor	R-3	842 S.F.	200	5	1	Roof Deck	R-3	190 S.F.	200	1	1	Total Liv. Space		1,972 S.F.							
FLOOR	OCCUP.	AREA.	OCCUP LOAD FACTOR	OCCUP. LOAD	REQUIRED MEANS OF EGRESS																																					
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Roof Deck	R-3	190 S.F.	200	1	1																																					
Total Liv. Space		1,972 S.F.																																								
<b>PROJECT INFORMATION</b> PROJECT ADDRESS: 3526 FOLSOM Street, San Francisco, CA 94110 BLOCK / LOT: 5626 / 014 ZONING DISTRICT: RH-1 HEIGHT/BULK LIMITS: 30'-X OCCUPANCY: R-3 Single Residential Unit, U-1 GARAGE APPLICABLE CODES: 2010 California Building, Mechanical, Electrical and Fire Code w/ San Francisco Amendments, 2010 California Electrical Code, 2010 California Energy Code + All other state and local ordinances and regulations PROJECT DESCRIPTION: NEW SINGLE FAMILY RESIDENCE, 2 STORY OVER BASEMENT SEPARATE PERMIT REQUIRED: SPRINKLER ALL FLOORS WITH NFPA 130 SPRINKLER																																										

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ISSUES AND REVISIONS

NO.	DATE	DESCRIPTION	BY
1	08/21/13	Project Review	FA
2	12/21/13	Per Application	FA
3	04/28/14	Site Permit Revisions	FA
4	09/22/14	Site Permit Revisions	FA
5	12/22/14	Site Permit Revisions	FA
6	04/22/15	Site Permit Revisions	FA



**DATA:**  
 Zoning: RH-1  
 CU Section 242 Bernal Heights  
 30'-0" Maximum Height  
 24'-6" Minimum Rear Yard  
 Type V-B Construction  
 R-3 Occupancy  
 Single Family Residence  
 2 Story over Basement House

**Gross Area:**  
 Basement: 360 S.F.  
 1st Floor: 922.4 S.F.  
 2nd Floor: 922.4 S.F.  
 Total: 2,204.8 S.F.

2 car garage required

**Mass Reduction per Sect 242(e)(3):**  
 Basement: 67.9 S.F. (11 + 56.9)  
 1st Floor: 124.65 S.F. (98.75 + 25.8)  
 2nd Floor: 124.65 S.F. (98.75 + 25.8)  
 3rd Floor: 430.6 S.F. (298 + 132.5)  
 Total: 736.5 S.F. Mass Reduction Proposed

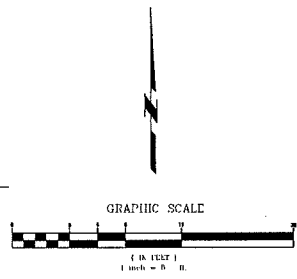
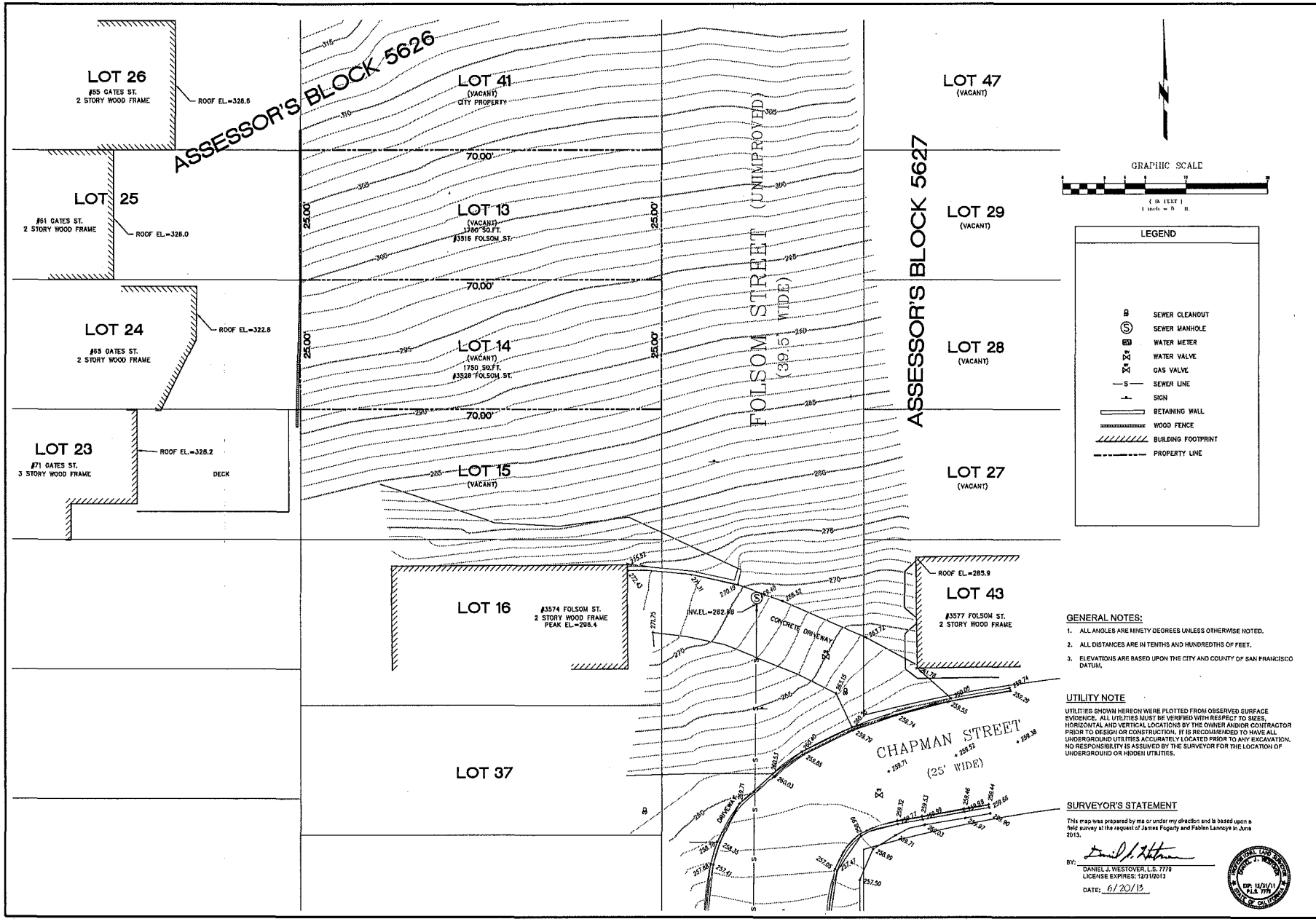
1 Street Tree Proposed

PROJECT:  
 NEW SINGLE FAMILY RESIDENCE  
 3526 FOLSOM STREET  
 SAN FRANCISCO, CA 94110  
 BLOCK # 5626 / LOT # 014

JOB#: 1303  
 DATE: 12/05/13  
 DWN: FJL  
 SCALE: AS NOTED  
 SHEET TITLE:  
 COVER SHEET

A-0





**LEGEND**

	SEWER CLEANOUT
	SEWER MANHOLE
	WATER METER
	WATER VALVE
	GAS VALVE
	SEWER LINE
	SIGN
	RETAINING WALL
	WOOD FENCE
	BUILDING FOOTPRINT
	PROPERTY LINE

- GENERAL NOTES:**
1. ALL ANGLES ARE NINETY DEGREES UNLESS OTHERWISE NOTED.
  2. ALL DISTANCES ARE IN TENTHS AND HUNDRETHS OF FEET.
  3. ELEVATIONS ARE BASED UPON THE CITY AND COUNTY OF SAN FRANCISCO DATUM.

**UTILITY NOTE**  
 UTILITIES SHOWN HEREON WERE PLOTTED FROM OBSERVED SURFACE EVIDENCE. ALL UTILITIES MUST BE VERIFIED WITH RESPECT TO SIZES, HORIZONTAL AND VERTICAL LOCATIONS BY THE OWNER AND/OR CONTRACTOR PRIOR TO DESIGN OR CONSTRUCTION. IT IS RECOMMENDED TO HAVE ALL UNDERGROUND UTILITIES ACCURATELY LOCATED PRIOR TO ANY EXCAVATION. NO RESPONSIBILITY IS ASSUMED BY THE SURVEYOR FOR THE LOCATION OF UNDERGROUND OR HIDDEN UTILITIES.

**SURVEYOR'S STATEMENT**  
 This map was prepared by me or under my direction and is based upon a field survey at the request of James Fogarty and Fabian Llanocay Jr, June 2013.  
 BY: *Daniel J. Westover*  
 DANIEL J. WESTOVER, L.S. 7779  
 LICENSE EXPIRES: 12/1/2013  
 DATE: 6/20/13



334 CLAREMONT BLVD. STE 2  
 SAN FRANCISCO, CA 94127  
 www.westoverurveying.com

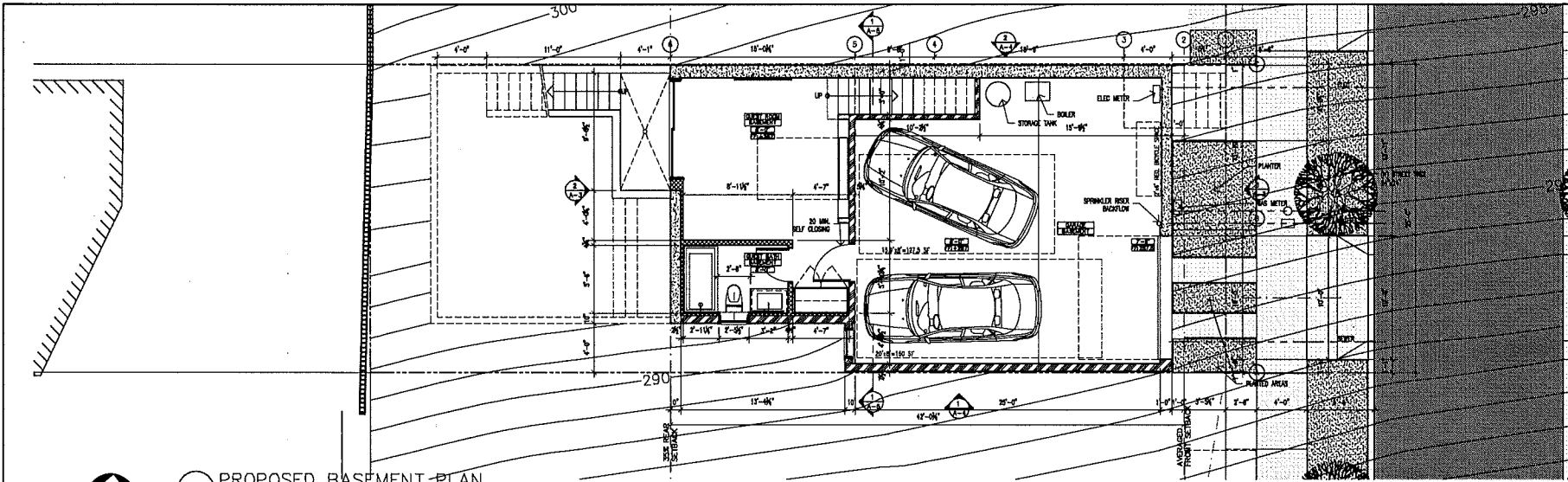
**W/S**  
 WESTOVER  
 SURVEYING

NO.	DATE	COMMENTS	JOB NO.
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SURVEY DATE: 6/20/2013  
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 CHECKED BY: D.J.W.  
 SCALE: 1"=5'

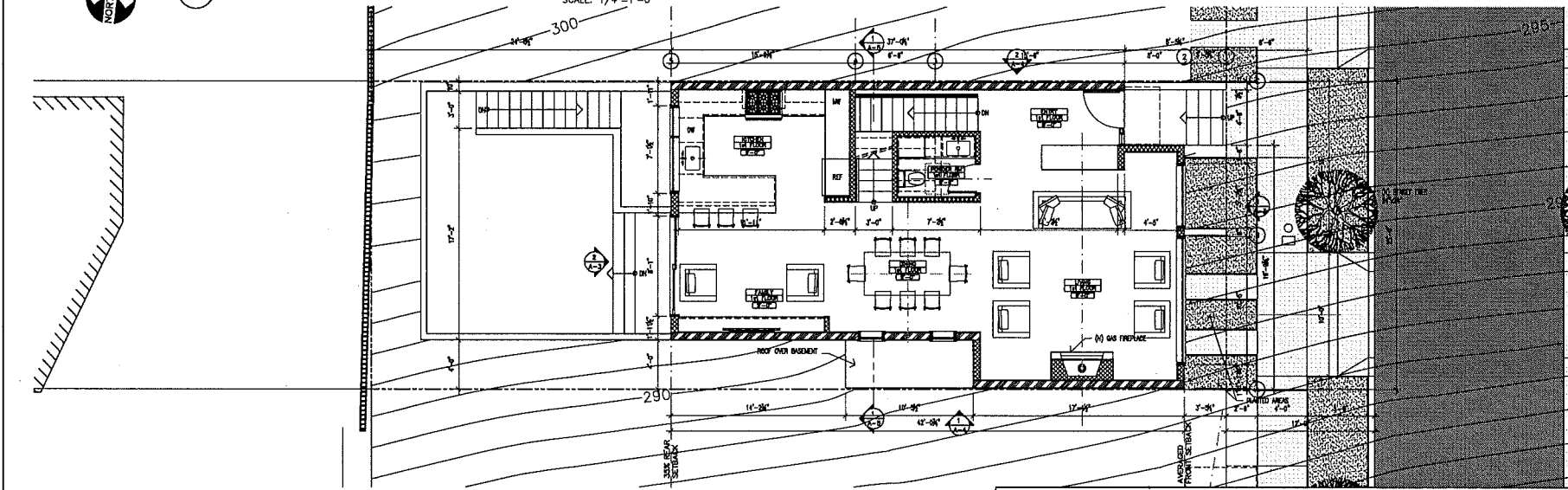
**SITE SURVEY**  
 6515 AND 6567 FOLSOM STREET  
 LOTS 13 AND 14 OF ASSESSOR'S BLOCK 5626  
 SAN FRANCISCO, CALIFORNIA

SHEET  
 1 OF 1



1 PROPOSED BASEMENT PLAN

SCALE: 1/4" = 1'-0"



2 PROPOSED 1st FLOOR PLAN

SCALE: 1/4" = 1'-0"

**SYMBOLS / LEGEND**

	NEW CONCRETE		ROOM NAME		DOOR TAG
	EXISTING CONSTRUCTION TO BE REMOVED		FLOOR FINISH		WINDOW TAG
	EXISTING WALL TO REMAIN		CEILING HEIGHT		
	NEW WALL		ELEVATION MARK		
	1 HR FIRE RATED WALL (TYP. @ P.L.)		SECTION MARK		
	SOFT				
	LOCATION ELEVATION CALL OUT				

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ISSUES AND REVISIONS

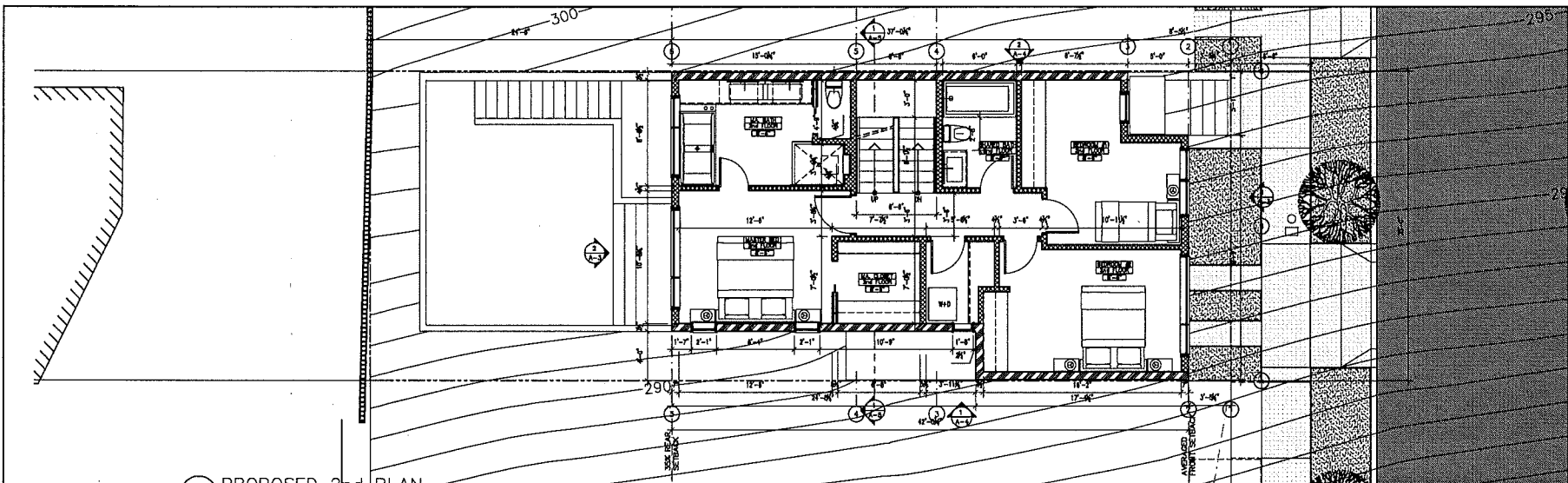
NO.	DATE	DESCRIPTION	BY
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2	12/11/13	Per Application	FJA
3	04/28/14	Site Permit Revisions	FJA
4	08/22/14	Site Permit Revisions	FJA
5	10/27/14	Site Permit Revisions	FJA
6	04/22/15	Site Permit Revisions	FJA

PROJECT:  
NEW SINGLE FAMILY RESIDENCE  
3526 FOLSOM STREET  
SAN FRANCISCO, CA 94110  
BLOCK # 5626 / LOT # 014

JOB#: 1303  
DATE: 12/05/13  
DWG: FJL  
SCALE: 1/4" = 1'-0"

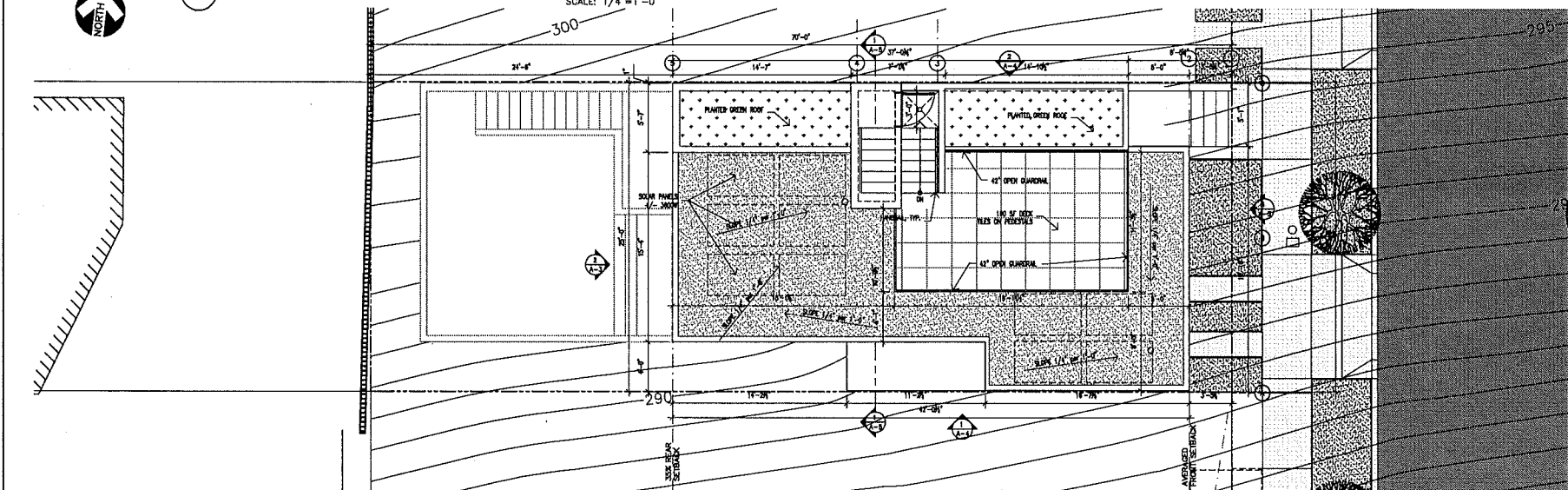
SHEET TITLE:  
BASEMENT &  
1st FLOOR PLAN

A-1



1 PROPOSED 2nd PLAN

SCALE: 1/4" = 1'-0"



2 PROPOSED ROOF PLAN

SCALE: 1/4" = 1'-0"

**SYMBOLS / LEGEND**

- |  |                                     |  |   |  |            |
|--|-------------------------------------|--|---|--|------------|
|  | NEW CONCRETE                        |  | ROOM NAME<br>FLOOR FINISH<br>CEILING HEIGHT |  | DOOR TAG   |
|  | EXISTING CONSTRUCTION TO BE REMOVED |  | ELEVATION MARK                              |  | WINDOW TAG |
|  | EXISTING WALL TO REMAIN             |  | SECTION MARK                                |  |            |
|  | NEW WALL                            |  |   |  |            |
|  | 1 HR FIRE RATED WALL (TYP. @ P.L.)  |  |   |  |            |
|  | SOFFIT                              |  |   |  |            |
|  | LOCATION ELEVATION CALL OUT         |  |   |  |            |

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ISSUES AND REVISIONS

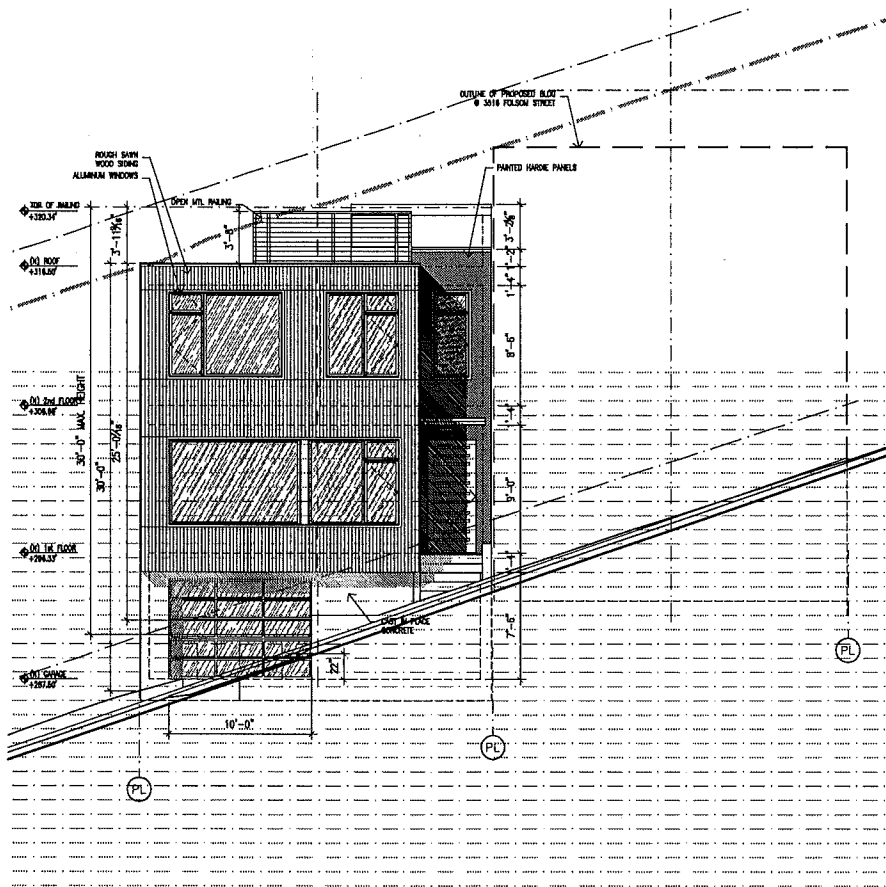
NO.	DATE	DESCRIPTION	BY
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2	12/12/13	Final Application	F.A.
3	01/28/14	Site Permit Revision	F.A.
4	03/07/14	Site Permit Revision	F.A.
5	12/22/14	Site Permit Revision	F.A.
6	04/22/15	Site Permit Revision	F.A.

PROJECT:  
NEW SINGLE FAMILY RESIDENCE  
3526 FOLSOM STREET  
SAN FRANCISCO, CA 94110  
BLOCK # 5626 / LOT # 014

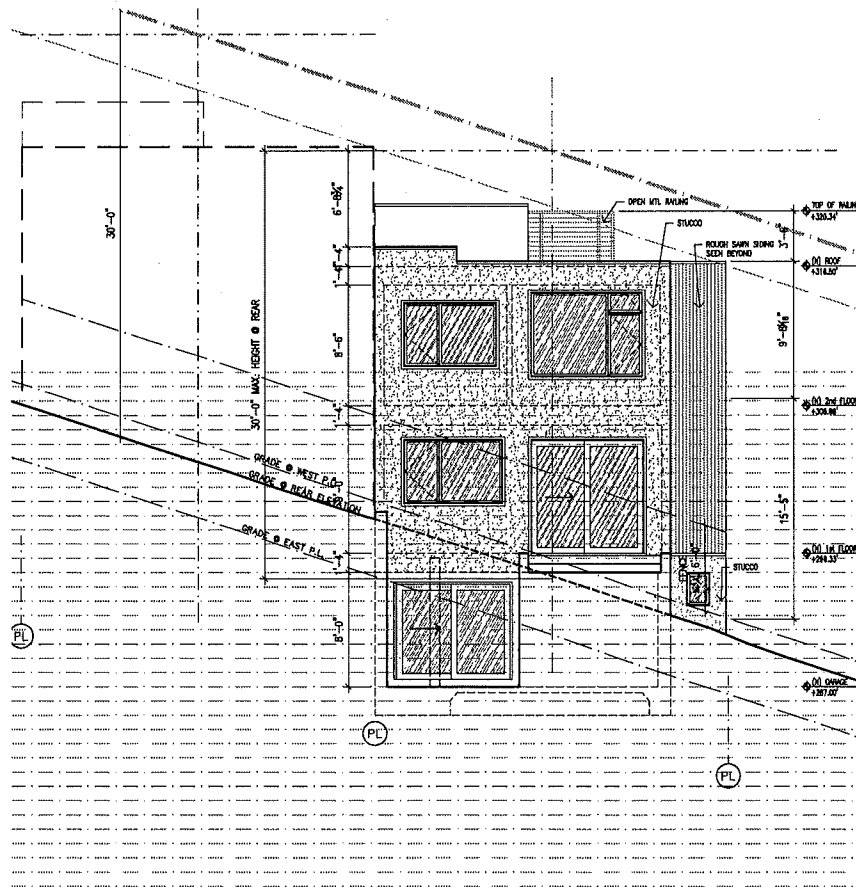
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DATE: 12/05/13  
DWM: F.J.L.  
SCALE: 1/4" = 1'-0"

SHEET TITLE:  
2nd FLOOR PLAN  
ROOF PLAN

A-2



1 PROPOSED STREET (EAST) ELEVATION  
SCALE: 1/4"=1'-0"



2 PROPOSED REAR (WEST) ELEVATION  
SCALE: 1/4"=1'-0"

**BLUORANGE**  
*designs*

241 AMBER Drive  
SAN FRANCISCO  
CA, 94131  
TEL: 415-633-0415  
fablen@bluorange.com

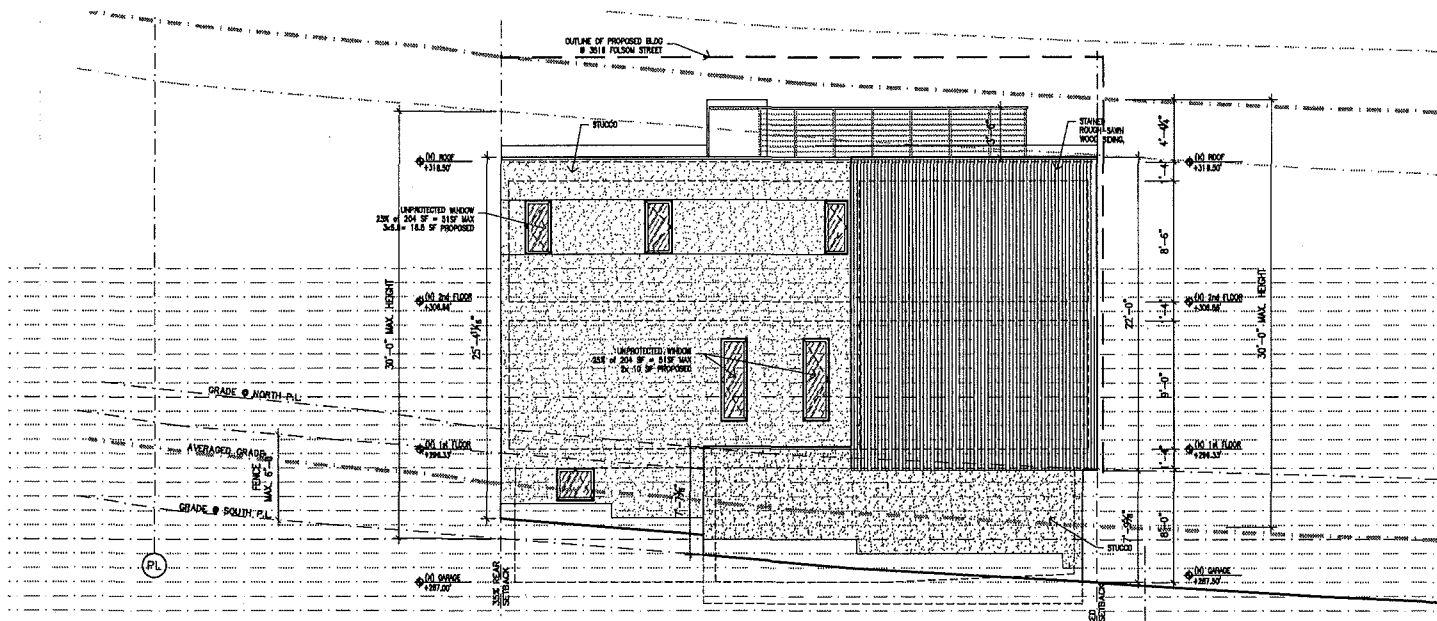
ISSUES AND REVISIONS

REV	DATE	ISSUE	BY
A	08/28/12	Project Revisions	FJA
B	12/11/13	Per Application	FJA
C	04/28/14	Site Permit Revisions	FJA
D	04/29/14	Site Permit Revisions	FJA
E	12/22/14	Site Permit Revisions	FJA
F	04/22/15	Site Permit Revisions	FJA

PROJECT:  
NEW SINGLE FAMILY RESIDENCE  
3526 FOLSOM STREET  
SAN FRANCISCO, CA 94110  
BLOCK # 5626 / LOT # 014

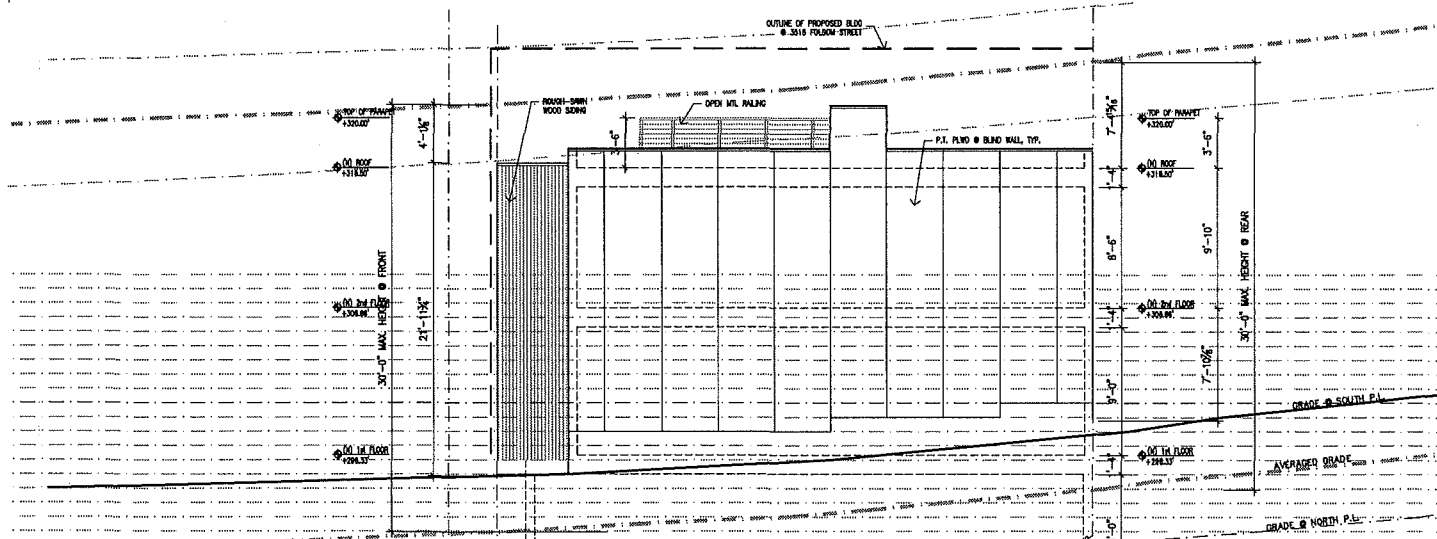
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DATE: 12/05/13  
DWN: FJL  
SCALE: 1/4" = 1'-0"  
SHEET TITLE:  
EAST & WEST  
ELEVATIONS

A-3



1 PROPOSED SIDE (SOUTH) ELEVATION

SCALE: 1/4"=1'-0"



2 PROPOSED SIDE (NORTH) ELEVATION

SCALE: 1/4"=1'-0"

**BLUORANGE**  
designs

241 AMBER Drive  
SAN FRANCISCO  
CA, 94131  
TEL: 415-533-0415  
fablen@bluorange.com

ISSUES AND REVISIONS

Rev	Date	By	Description
1	08/28/13	JFL	Project Review
2	12/11/13	JFL	Permit Application
3	08/06/14	JFL	Site Permit Revision
4	03/20/14	JFL	Site Permit Revision
5	12/27/14	JFL	Site Permit Revision
6	06/02/15	JFL	Site Permit Revision

PROJECT:  
NEW SINGLE FAMILY RESIDENCE  
3526 FOLSOM STREET  
SAN FRANCISCO, CA 94110  
BLOCK # 5626 / LOT # 014

JOB#: 1303  
DATE: 12/05/13  
DWN: FJL  
SCALE: 1/4" = 1'-0"  
SHEET TITLE:  
PROPOSED NORTH  
+ SOUTH ELEVATION

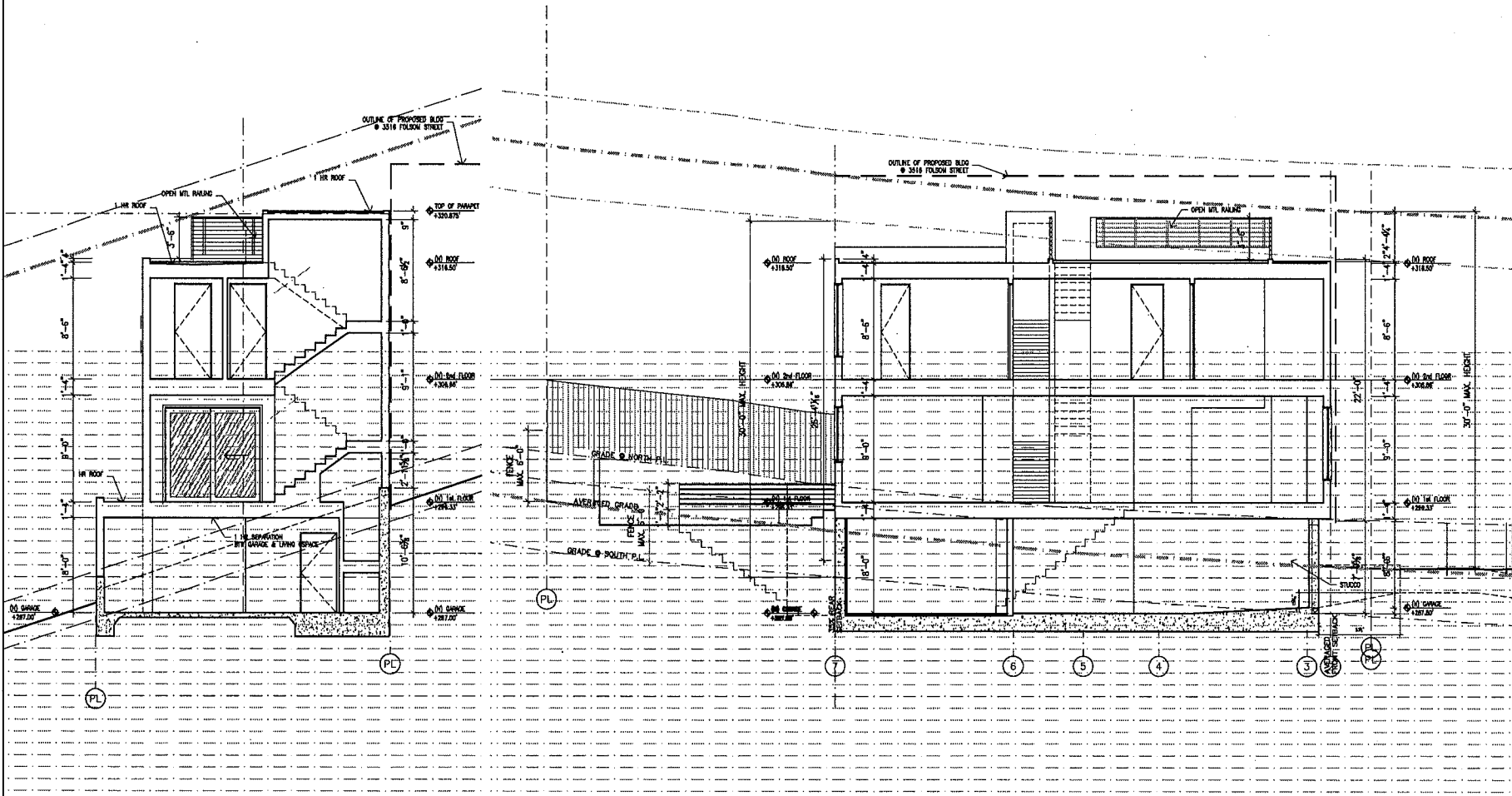
A-4

ISSUES AND REVISIONS

NO.	DATE	ISSUE	BY
1	08/26/13	Project Review	F.JL
2	12/11/13	Pre Application	F.JL
3	04/08/14	Site Permit Revisions	F.JL
4	04/02/14	Site Permit Revisions	F.JL
5	12/22/14	Site Permit Revisions	F.JL
6	04/22/15	Site Permit Revisions	F.JL

PROJECT:  
NEW SINGLE FAMILY RESIDENCE  
3526 FOLSOM STREET  
SAN FRANCISCO, CA 94110  
BLOCK # 5626 / LOT # 014

JOB#: 1303  
DATE: 12/21/11  
DWG: FJL  
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SHEET TITLE:  
SECTIONS



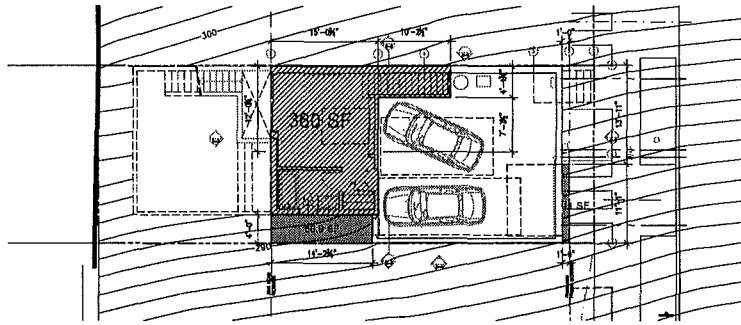
1 PROPOSED SECTION

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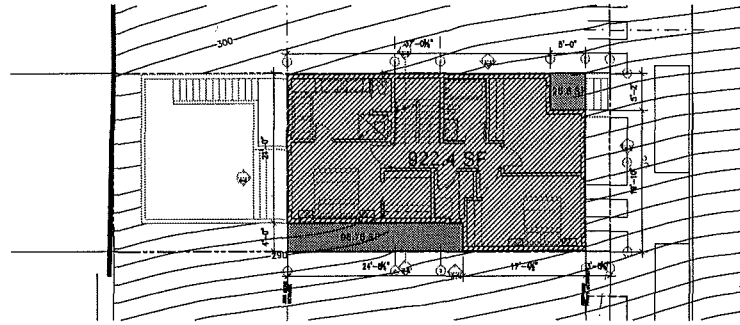
NO.	DATE	ISSUE	BY
08/28/13		Project Review	F.A.
12/11/13		Per Application	F.A.
01/09/14		Site Permit Revisions	F.A.
04/02/14		Site Permit Revisions	F.A.
12/22/14		Site Permit Revisions	F.A.
04/22/15		Site Permit Revisions	F.A.

PROJECT:  
NEW SINGLE FAMILY RESIDENCE  
3526 FOLSOM STREET  
SAN FRANCISCO, CA 94110  
BLOCK # 5626 / LOT # 014

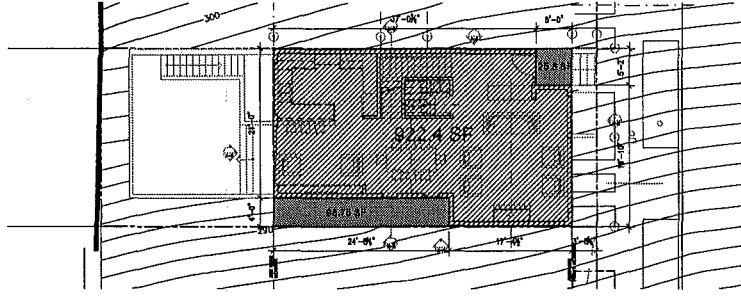
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DATE: 04/17/15  
DWN: F.J.L  
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SHEET TITLE:  
BASEMENT SF  
MASS REDUCTION



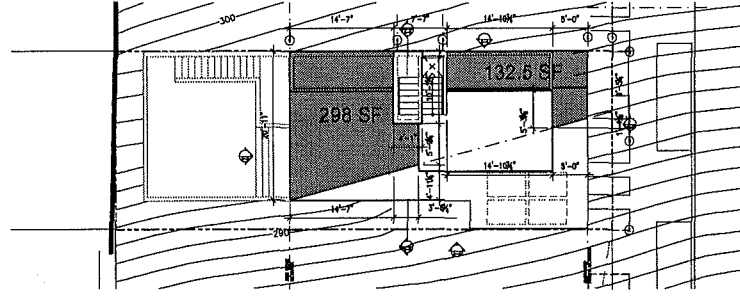
1 PROPOSED BASEMENT PLAN  
SCALE: 1/8"=1'-0"



3 PROPOSED 2nd FLOOR PLAN  
SCALE: 1/8"=1'-0"



2 PROPOSED 1st FLOOR PLAN  
SCALE: 1/8"=1'-0"



4 PROPOSED ROOF PLAN  
SCALE: 1/8"=1'-0"



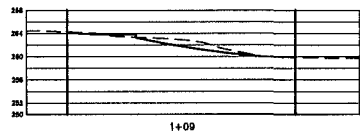
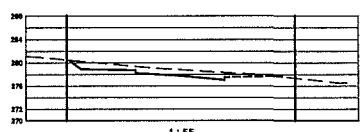
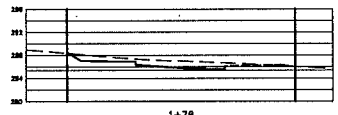
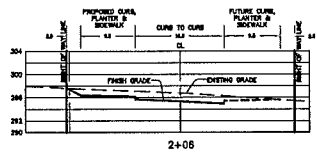
**GROSS AREA:**  
Basement: 360.0 S.F.  
1st Floor: 922.4 S.F.  
2nd Floor: 922.4 S.F.  
Total: 2,204.8 S.F.

2 car garage required

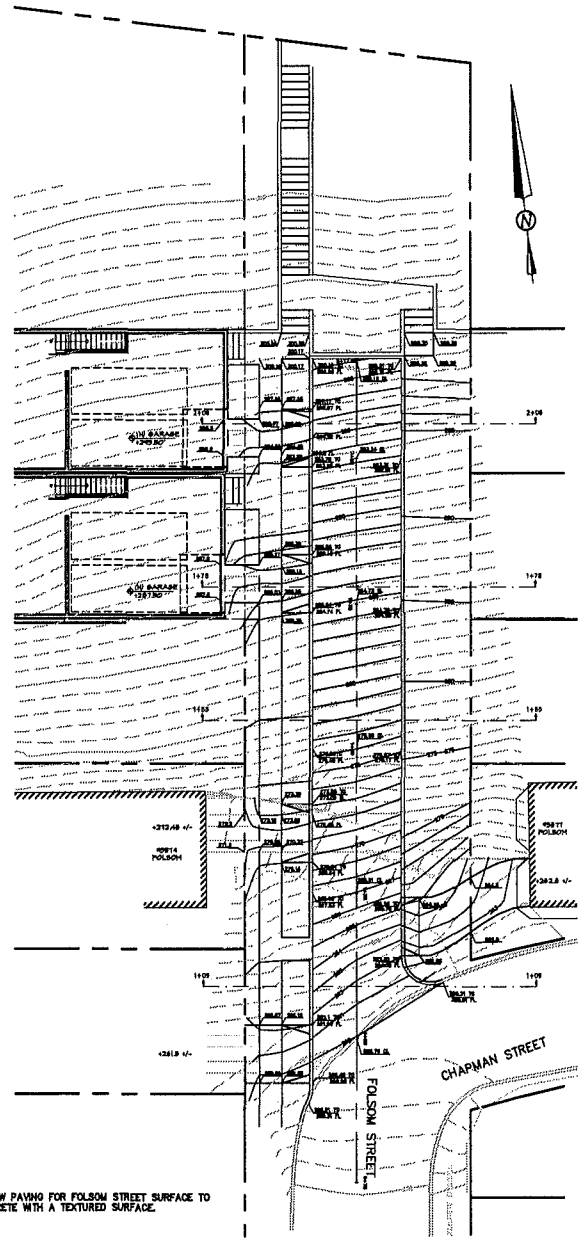
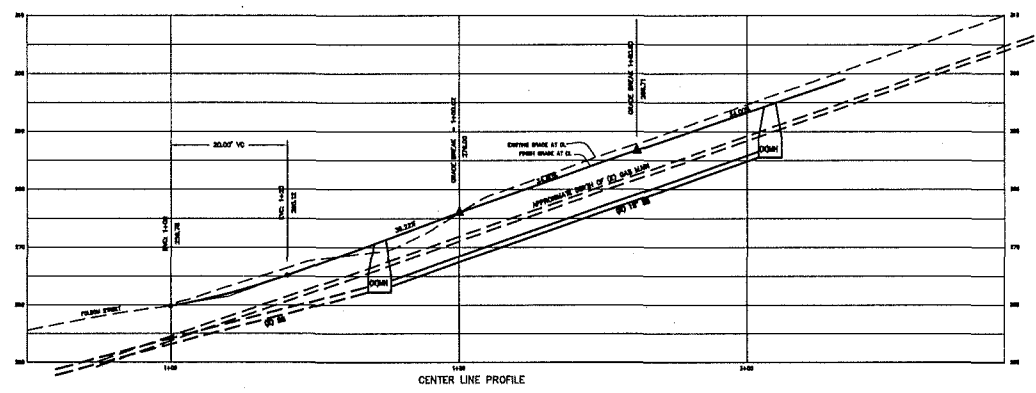
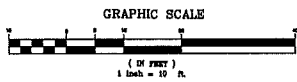


**MASS REDUCTION:**  
Mass Reduction per Sect 242(e)(3): 650 S.F. REQUIRED  
Basement 67.9 S.F. (11 + 56.9)  
1st Floor: 124.55 S.F. (98.75 + 25.8)  
2nd Floor: 124.55 S.F. (98.75 + 25.8)  
3rd Floor: 430.5 S.F. (298 + 132.5)  
Total: 747.5 S.F. Mass Reduction Proposed





- LEGEND**
- BO BLOW OFF
  - BVC BEGIN VERTICAL CURVE
  - CL CENTER LINE
  - CO CLEAN OUT
  - ELEV ELEVATION
  - EVC END VERTICAL CURVE
  - FL FLOW LINE
  - G GAS
  - OV GAS VALVE
  - INV INVERT
  - JT JOINT SERVICE TRENCH
  - MH MAN HOLE
  - STA STATION
  - SS SEWER SANITARY & STORM
  - TC TOP OF CURB
  - VC VERTICAL CURVE
  - W WATER
  - WM WATER METER
  - WV WATER VALVE



NOTE: NEW PAVING FOR FOLSOM STREET SURFACE TO BE CONCRETE WITH A TEXTURED SURFACE.

DAVID J. FRANCO  
 CIVIL ENGINEER  
 1830 SHATTUCK AVENUE  
 BERKELEY, CALIFORNIA 94704  
 TEL (510) 848-1930 FAX (510) 848-9725

3516 & 3526 FOLSOM STREET  
 STREET AND UTILITY IMPROVEMENT PLAN  
 SAN FRANCISCO, CALIFORNIA

GRADING PLAN

DRAWING FOLSOM/CIVIL

F.B. NO. NA

SCALE 1" = 10'

DATE DECEMBER 09, 2015

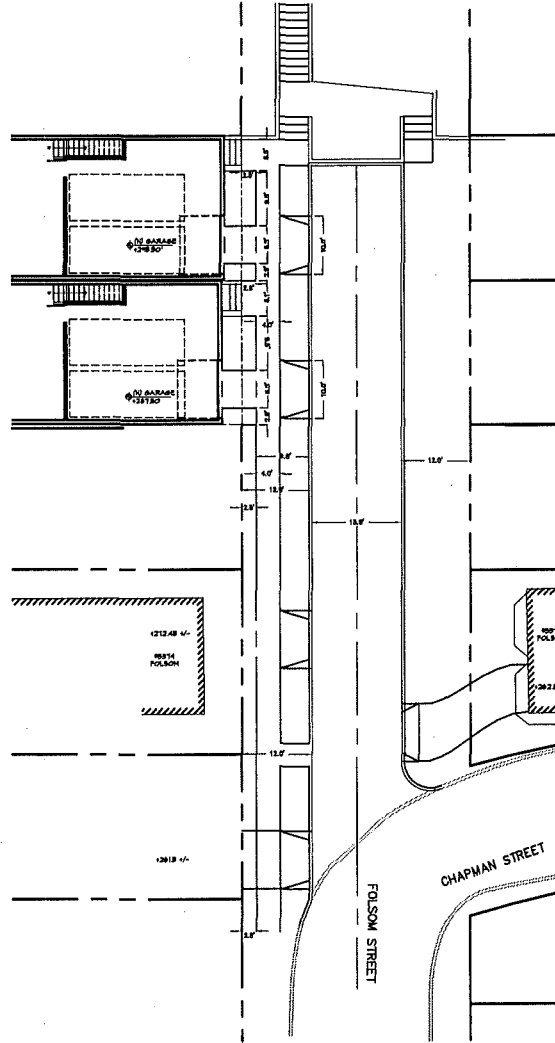
REVISIONS

SHEET NO. 1 OF 2

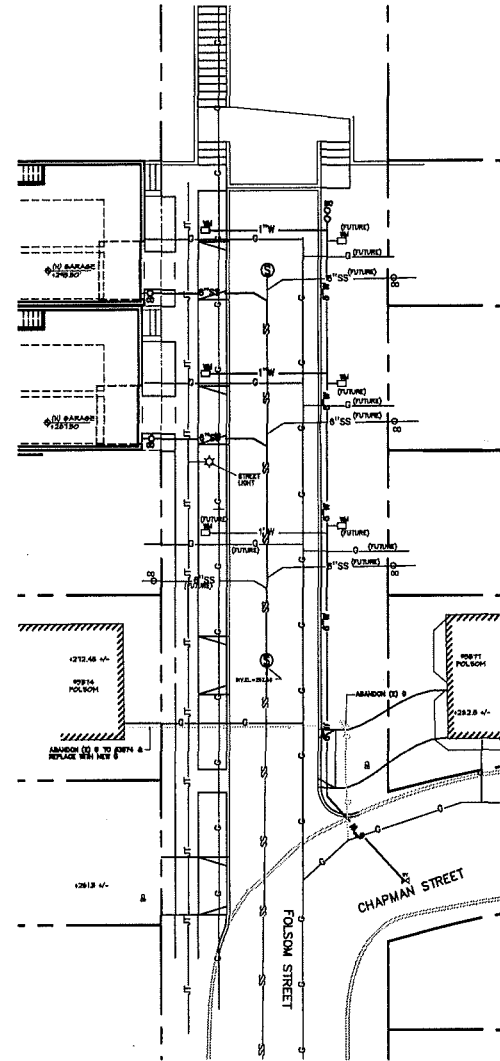
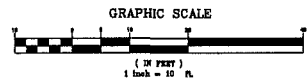
JOB NO. F14-373

C1.0

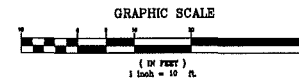




DIMENSION PLAN



UTILITY PLAN



DAVID J. FRANCO  
 CIVIL ENGINEER  
 1830 SHATTUCK AVENUE  
 BERKELEY, CALIFORNIA 94704  
 TEL (510) 848-1930 FAX (510) 848-9725

3516 & 3526 FOLSOM STREET  
 STREET AND UTILITY IMPROVEMENT PLAN  
 SAN FRANCISCO, CALIFORNIA

UTILITY  
 &  
 DIMENSION  
 PLAN

DRAWN FOLSOM/CIVIL

F.B. NO. NA

SCALE 1" = 10'

DATE DECEMBER 09, 2015

REVISIONS

SHEET NO. 2 OF 2

JOB NO. F14-373

C2.0

# **Exhibit C**



**SIERRA  
CLUB**  
FOUNDED 1892

San Francisco Bay Chapter

Serving Alameda, Contra Costa, Marin and San Francisco counties

**SAN FRANCISCO GROUP –**

**Please reply to 1474 Sacramento St., #305 San Francisco, CA 94109-4002**

March 31, 2016

To Whom it May Concern:

**SUPPORTING UPPER FOLSOM STREET CEQA APPEAL**

The Sierra Club San Francisco Group supports the withdrawal or appeal of the categorical exemption for the Bernal Heights Upper Folsom Street Right-of-Way Housing Development (Planning Dept. Case No. 2013.1383E, hereinafter the “Project”) and supports the preparation of an Environmental Impact Report for the Project.

The San Francisco Group speaks for the Sierra Club on city issues, on behalf of its 6,000 members and are one of the four chapters in the 4-county Bay Chapter’s 30,000 members including Marin, Alameda, Contra Costa and San Francisco Counties. Our members, as well as the general public, will be directly affected by the Project’s adverse environmental impacts on parkland, open space, and the Bernal Heights neighborhood.

The Upper Folsom Street Project received a Class 3 categorical exemption under CEQA Guidelines Section 15303(a). Pursuant to CEQA Guidelines Section 15300.2(c), however, a “categorical exemption shall not be used for an activity where there is a reasonable possibility that the activity will have a significant effect on the environment due to unusual circumstances.” This proposed Project involves a number of unusual circumstances that will result in significant adverse environmental impacts.

\*The exemption was granted to this proposed Project based on the fact that “the project site is not located in a particularly sensitive or hazardous area.” Yet the proposed access to the Project will be built over a 26-inch 30-year-old gas transmission pipeline on a City right-of-way with an approximately 35 percent grade slope – including significant excavation. The Project site is adjacent to Bernal Heights Park and Bernal Heights Community Garden, in a densely populated area. City departments have stated they do not take responsibility for the safety of the pipeline, which is one of only three major gas lines in San Francisco. Despite federal recommendations, no informed assessment has taken place to assure local residents of the safety of this Project. This circumstance poses a risk of catastrophic environmental impacts, yet no environmental review has been completed.

# BERNAL HEIGHTS DEMOCRATIC CLUB

*Chartered since 1988 to give the residents of Bernal Heights an effective voice in government*

---

April 20, 2016

To: **SF PLANNING COMMISSION**

RODNEY FONG, COMMISSION PRESIDENT  
planning@rodneymfong.com

DENNIS RICHARDS, COMMISSION VICE-PRESIDENT  
dennis.richards@sfgov.org

MICHAEL ANTONINI, COMMISSIONER  
wordweaver21@aol.com

RICH HILLIS, COMMISSIONER  
richhillissf@yahoo.com

JOHN RAHAIM, DIRECTOR OF PLANNING  
John.Rahaim@sfgov.org

JONAS P. IONIN, COMMISSION SECRETARY  
Commissions.Secretary@sfgov.org

DAVID CAMPOS, DISTRICT 9 SUPERVISOR  
David.Campos@sfgov.org

CHRISTINE D. JOHNSON, COMMISSIONER  
christine.d.johnson@sfgov.org

KATHRIN MOORE  
mooreurban@aol.com

CINDY WU, COMMISSIONER  
cwu.planning@gmail.com

FROM: Bernal Heights Democratic Club  
bernalheightsdemclub@gmail.com

The Bernal Heights Democratic Club supports the opposition to the Upper Folsom Street Development in Bernal Heights, based on significant public safety concerns. There is clear danger from the major aging PG&E gas transmission pipeline; extreme steepness and narrow width of the proposed street; and unresolvable limited access to emergency vehicles.

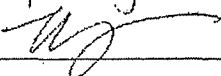
It is our understanding that the two proposed lots now seeking permits will be followed by four more immediately adjacent. These types of construction will do nothing to address San Francisco's housing crisis, and are unsafe and inappropriate developments on these lots.

We appreciate your consideration of our input in this matter.

*BernalHeightsDC@aol.com*  
*follow or message BHDC on Facebook:*  
*<https://www.facebook.com/bernalheightsdemocraticclub>*  
*FPPC #923351*

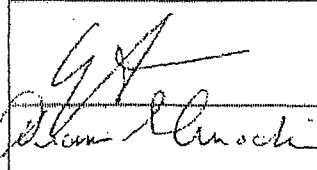
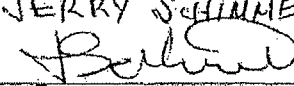
## Neighbors Against The Upper Folsom Street Extension

We the undersigned Bernal Heights neighbors are opposed to the building of two (2) houses at 3526 and 3516 Folsom Street. We support the request for Discretionary Review by Neighbors Against The Upper Folsom Street Extension.

Name	Address
Hope Meng 	74 Banks Street San Francisco, CA 94110
Jeremy Herrmann	74 Banks Street San Francisco, CA 94110
Thomas Kim	3558 Folsom St San Francisco, CA 94110
Vicki Ng	3545 Folsom St San Francisco, CA 94110
Courtney Hoeberl	3590 Folsom St San Francisco, CA 94110
Deborah Garson	117 Banks St, SF 94110
Ian Williams	131 Mullen
Leslie Simon	117 Brewster
Donald Schaan	117 Brewster
Caya Schaan	642 Peralta Ave #1, SF 94110
Natan Rodriguez	642 Peralta Ave #1, SF 94110

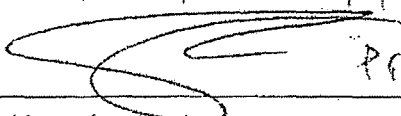
## Neighbors Against The Upper Folsom Street Extension

We the undersigned Bernal Heights neighbors are opposed to the building of two (2) houses at 3526 and 3516 Folsom Street. We support the request for Discretionary Review by Neighbors Against The Upper Folsom Street Extension.

Name	Address
Laurent SANCHEZ	3619 FOLSOM ST SAN FRANCISCO
JULIE Glantz	3625 FOLSOM ST SF CA 94110
Aram Ayrapetian	515 Powhattan Ave.
Nancy Zecher	405 Chapman St, SF CA <sup>94110</sup>
 DIANA S. AMODIA	405 Chapman St, SF CA <sup>94110</sup> 390 CHAPMAN ST SAN FRANCISCO, CA 94110
JERRY SCHUMMEL 	40 PRENTISS ST. SAN FRAN. 94110
TOYA MYER Jay My	77 NEVADA ST SF, CA 94110
Rebecca Tolman	42 Nevada St SF, CA 94110
Mike Boss	42 Nevada St. SF CA 94110
Jesse Boss	42 Nevada St. SF CA 94110

## Neighbors Against The Upper Folsom Street Extension

We the undersigned Bernal Heights neighbors are opposed to the building of two (2) houses at 3526 and 3516 Folsom Street. We support the request for Discretionary Review by Neighbors Against The Upper Folsom Street Extension.

Name	Address
Ray A. Castro RAY A. CASTRO	67 Prentiss St. SAN FRANCISCO 94110
TAKE BOWERS	51 PRENTISS ST. <span style="float: right;">SAME</span>
FRUTELL KELSON	SAN FRANCISCO CA 94110 <span style="float: right;">ADDRESS</span>
MICHAELINE BANTING	64 Prentiss Street
Joy Greer	SAN FRANCISCO 94110
ARTURO SCHWARTZBERG	77 NEVADA ST SF 94110
Harwan SEDAR	74 Nevada Street SF 94110
May Consky	80 ROSENKRAN SF 94110
Paul R. Mollo	73 Nevada St 94110
Kelly Carlone	98 Nevada SF, CA 94110
Sandra P... op	 <span style="float: right;">121 Prentiss</span>
Christin Chi	96 Prentiss St. SF CA 94110
* CHARLOTTE WILLIAMS	390 CHAPMAN ST 94110

## Neighbors Against The Upper Folsom Street Extension

We the undersigned Bernal Heights neighbors are opposed to the building of two (2) houses at 3526 and 3516 Folsom Street. We support the request for Discretionary Review by Neighbors Against The Upper Folsom Street Extension.

Name	Address
Dennis Hayes - Bernal Heights Community Garden Coordinator	41 Stoneman St, SF 94110
Nicola Griffin	101 Prentiss St 94110
Theresa Markic	56 Nebraska St, SF 94110
Ken Garrett	56 Nebraska St, SF 94110
Nancy Slepicka	608 Peralta Ave, SF 94110
Arash Babaki	73 Carver St. San Francisco 94110
Llew Reller	90 Galer St. - SF 94110
Kim Kacerc	3601 Folsom St SF 94110
Barbara Underberg	76 Rosstranz SF 94110



## Neighbors Against The Upper Folsom Street Extension

We the undersigned Bernal Heights neighbors are opposed to the building of two (2) houses at 3526 and 3516 Folsom Street. We support the request for Discretionary Review by Neighbors Against The Upper Folsom Street Extension.

Name	Address
Gail Newman	3574 Folsom St S.F. 94110
Patricia Hughes	3577 Folsom St. SF 94110
Steven Piccus	3580 FOLSOM ST. 94110
MINDREITATRO	3580 FOLSOM ST 94110
Cristina Madero	3607 Folsom St. 94110
Jan Hollicoy	3653 FOLSOM ST 94110
MILEY HOLMAN	3615 FOLSOM ST 94110
Sheila Herman	" " "
il Bullig	3615 Folsom
PAT MURPHY	70 BANKS
ANDY BRADEN	70 BANKS



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The U.S. Department of Transportation's Office of Pipeline Safety states that most gas transmission pipeline accidents occur on rights-of-way by private contractors – exactly the situation being proposed. A new, privately built access road over a major transmission pipeline – with the potential for multiple future adjacent private excavations on a steep slope – is unusual in San Francisco, if not unique. The proposed Project exposes a dense urban population to an unacceptable risk of environmental catastrophe, with no environmental review.

\*San Francisco highly promotes its “transit first” philosophy in order to reduce the number of cars in the city. Yet this Project includes a variance for multi-car garages and sets a precedent for large-scale houses in a neighborhood with traditionally smaller-scale housing and single car garages. Traffic impacts are likely.

\*CEQA Guidelines Section 15303 (2) can exempt construction of up to three single-family residences. Guidelines Section 15300.2(b), however, prohibits the use of a categorical exemption where “the cumulative impact of successive projects of the same type in the same place, over time is significant.” In this case, there are six undeveloped lots in the proposed Project area; the current Project includes two 2,500 – 3,000 square foot homes. If this Project is approved, it will set a precedent for the other four lots for further development in the near future.

\*The proposed Project will have a number of additional impacts, including massing, loss of sunlight, and destruction of open space. The Project site is a potential historic resource, located within 300 feet of a possible urban bird refuge, within a steep slope district, and requires unusually extensive excavation. Moreover, as the categorical exemption determination notes, the Project site “is in an area that would be exposed to strong earthquake shaking.” It notes that the Project's geotechnical reports recommend “seismic design parameters” to be used “during the Department of Building Inspection (DBI) building permit plancheck process.” It is inappropriate to suggest the use of mitigation measures in a categorical exemption, especially where those mitigation measures constitute undefined subsequent changes to the Project – precluding an “accurate, stable and finite project description.” *County of Inyo v. City of Los Angeles* (1977) 71 Cal.App.3d 185, 193.

For these reasons, we request that the City withdraw the categorical exemption for Case No. 2013.1383E and complete an EIR for the proposed Project. Should the City fail to complete an EIR, the Sierra Club San Francisco Bay Chapter supports the appeal of the Project's flawed environmental determinations and opposes the issuance of Project permits, including BPA Nos. 201312164322 and 201312164318.

Sincerely,





SIERRA  
CLUB

FOUNDED 1892

San Francisco Bay Chapter

Serving Alameda, Contra Costa, Marin and San Francisco counties

*Becky Evans*

Becky Evans

Vice-Chair, San Francisco Group

**Additional Supporters of the Bernal Safe and Livable  
Discretionary Review Application**  
(authorizing emails attached)

Paul Hessinger  
212 Gates Street

Elaine Elinson  
100 Winfield Street

Nancy Slepicka  
608 Peralta Aveevue

Giuliana Milanese  
137 Anderson Street

Connie Ewald  
76 Gates St.

Peter Ewald  
76 Gates St.

Rosanne Liggett  
125 Gates Street

Malcolm Gaines  
85 Gates St

September 2015

We the undersigned Bernal Heights neighbors support the Application for Discretionary Review by **Bernal Safe and Livable**, an organization concerned about proposed development of a street and houses on steep open space over a major gas transmission pipeline in our residential area.

The proposed project addresses are 3516 & 3526 Folsom Street.







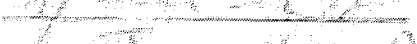

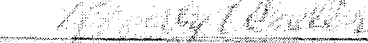
<u>NAME</u>	<u>ADDRESS</u>	<u>SIGNATURE</u>
Karen Miller	147 Nevada St.	Karen Miller
<del>Paul Lopez</del>	<del>75 Gates St.</del>	<del>[Signature]</del>
<del>Paul Raulo</del>	<del>75 Gates St.</del>	<del>[Signature]</del>
Jane Penick	81 GATES ST.	[Signature]
TOM SCHULZ	65 GATES ST.	TOM SCHULZ



September 2015

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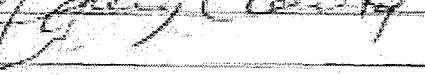

The proposed project addresses are 3516 & 3526 Folsom Street.

<u>NAME</u>	<u>ADDRESS</u>	<u>SIGNATURE</u>
MARK HESHER	60 GATES ST	
James Pendle	81 GATE ST.	
Barbara Tell	563 Peninsula Ave	
Julie Kendall	39 110th St	
Michael Kendall	39 110th St	
Michelle Taylor	103 Mendocino St	
Joy Eppel	185 Anderson St	
BEVERLY ANDERSON	168 MCULTRE	
HELEN NORDS	43 ELLSWORTH	

September 2015

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The proposed project addresses are 3516 & 3526 Folsom Street.











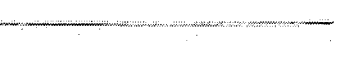
<u>NAME</u>	<u>ADDRESS</u>	<u>SIGNATURE</u>
SAM ORR	61 Gates St.	
WIN LOCKETT	61 Gates St	
Ofelia Lopez	3101 21st St SF	
Tanya Courtney	135 Park St	
Lisa Bishop	135 Park St., SF	
GERRY COURTNEY	135 TANE ST SF	
John Hedges	139 Park St SF	



September 2015

We the undersigned Bernal Heights neighbors support the Application for Discretionary Review by **Bernal Safe and Livable**, an organization concerned about proposed development of a street and houses on steep open space over a major gas transmission pipeline in our residential area.

The proposed project addresses are 3516 & 3526 Folsom Street.

<u>NAME</u>	<u>ADDRESS</u>	<u>SIGNATURE</u>
Giuliana Milanese	137 Anderson St 94110	
ROBERT WEISBERG	140 MULLEN AVE 94110	
Laurel Muir	302 Winfield St. 94110	
TOM O'NEILL	239 MULLEN AVE 94110	
JOSE L. MUIR	302 WINFIELD ST 94110	
HANNA WEINER	72 Cayuga St. 94110	
Judith Kartz	192 Bocara St 94110	
Michael Messer	246 Ripley 94110	
Diane Ross	246 Ripley 94110	
CYRSTIA TERRETT SIMONS	50 GATES ST 94110	
MARCUS SANGHVI	50 GATES ST 94110	

We the undersigned Bernal Heights neighbors support the Application for Discretionary Review by BERNAL SAFE AND LIVABLE, an organization concerned about proposed development of a road and houses on steep open space over a major gas transmission pipeline in our residential area.

NAME

ADDRESS

SIGNATURE

LINDA RAMEY	65 GATE ST. 94110	L. Ramey
RAFI BASHLIAN	60 GATES ST. 94110	R. Bashlian
PAMELA LOPINTO	75 GATES ST 94110	Pamela Lopez
Kelly Pardon	260 GATES ST 94110	Kelly Pardon
Carol Cornwell	208 Gates St 94110	Carol Cornwell
STEVE PICCUS	3580 FOLSOM ST 94110	Steve Piccus
MIDARI DEUBA	3580 Folsom St 94110	Midari Deuba
Juanita Sanchez	151 2nd Street 94110	Juanita Sanchez
Margaret Kviete	199 Hawthorne	Margaret Kviete
Josephine Garcia	1627 Park St 94110	Josephine Garcia
Kellis Kneenwald	377 Franklin St 94110	Kellis Kneenwald
Scott Cunningham	212 Elsie St 94110	Scott Cunningham
Darryl Forman	148 Wood St 94110	Darryl Forman
TOMY CHRISANTHIS	375 CRESCENT AVE	Tomy Chrisanthis
Nick Bault	75 Gates St 94110	Nick Bault
John D Webster	112 Gates St 94110	John D Webster
Beth Zimmerman	118 Gates St 94110	Beth Zimmerman
Kathryn Bender	90 Gates St 94110	Kathryn Bender
ALICIA CHAZEN	68 Gates St 94110	Alicia Chazen
<del>MADE HOSNER</del>	<del>60 GATES ST 94110</del>	<del>MADE HOSNER</del>



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**From:** Samir Halteh <shalteh@gmail.com>  
**Sent:** Tuesday, March 29, 2016 7:05 PM  
**To:** Ryan Patterson  
**Cc:** Lupe Hernandez  
**Subject:** Folsom Street Extension

Flag for follow up  
Completed

Hi Ryan - please find my statement below. Hope this helps! -S

To Whom It May Concern:

My name is Samir Halteh and I have been a resident of the 300 block of Bradford Street, currently the steepest street in San Francisco) since September 2011.

In my relatively short period of time living on the block I've been witness to two separate car accidents as a result of the steep grade of the street. That does not even include others that other residents of the street have witnessed (including a few over-turned vehicles).

The first accident happened when a gentleman employed to repair a garage door on the block got stuck on the steeper portion of the street. He was unable to turn around because the street was too narrow and because of the high center of gravity of his vehicle. When he tried to get down in reverse, he ended up losing control of the vehicle and it crashed into two separate parked cars which then ricocheted it into two separate homes.

The second accident occurred when a taxi mistakenly navigated up the street. While attempting a three-point-turn, he drove up a curb which caused the vehicle to be lifted off the ground, suspended between the steepest part of the street with the part above it. He was unable to move since the car appeared to be in a position where it would flip over. We ended up having to call SFPD which later brought in SFFD as well as a tow truck to help get the car to safety.

On top of these incidents, there are countless people who navigate up the street looking for parking and end up getting stuck. I have watched countless times as they destroy our landscaping and privacy walls trying to get down.

Every call to a repairman or a delivery comes with a sense of dread (and good amount of forewarning) due to the grade of the street.

Replicating a street that is too narrow, steep, and without access from both sides is irresponsible, in my opinion. It strikes me as remarkably shortsighted to build homes with garage parking and street access in a location that so obviously cannot facilitate it safely. If the homes are to be built, I believe that the only solution is to give them access via staircase like those on Joy street.

Best,  
Samir Halteh

354 Bradford Street  
San Francisco, CA 94110

---

**From:** Aaron W. <adwplanner@gmail.com>  
**Sent:** Monday, April 25, 2016 5:49 PM  
**To:** Ryan Patterson  
**Subject:** Fwd: Upper Folsom Street Proposal - Folsom at Powhattan street

Here you go Ryan.

Sent from my portable telephone

Begin forwarded message:

**From:** "A-RON D.W." <adwplanner@gmail.com>  
**Date:** March 30, 2016 at 4:48:36 PM PDT  
**To:** [richard.sucre@sfgov.org](mailto:richard.sucre@sfgov.org)  
**Subject:** Upper Folsom Street Proposal - Folsom at Powhattan street

Dear Mr. Sucre:

I am writing to express my concerns as a Bernal resident over the proposed street addition at upper Folsom street near Powhattan.

I reside on Bradford Street, the steepest hill in San Francisco. I believe the Folsom street addition will be of a similar slope. We have had issues with emergency vehicles not being able to navigate the hill. We have had cars where the emergency brake has snapped resulting in damage. We regularly have vehicles blocking passage in one direction or another. My father recently lost control of his balance and fell, breaking his leg. We have had people with belongings in shopping carts that have lost control of the carts, causing damage to vehicles.

I urge your committee to consider the potential hazards of inserting such a narrow and steep hill into the existing fabric of this location of Bernal.

Thank you.



RECEIVED

BOARD OF SUPERVISORS

SAN FRANCISCO

JUN -3 PM 11:30

## APPLICATION PACKET FOR

# Board of Supervisors Appeal Fee Waiver

Planning Department  
1650 Mission Street  
Suite 400  
San Francisco, CA  
94103-9425

T: 415.558.6378  
F: 415.558.6409

Pursuant to Planning Code Section 350 and 352(n), the Planning Director shall consider and make determinations regarding applications for the authorization of a Board of Supervisors Appeal Fee Waiver. The first pages consist of instructions which should be read carefully before the application form is completed.

Planning Department staff are available to advise you in the preparation of this application. Call (415) 558-6377 for further information.

## WHAT IS AN APPLICATION FOR A BOARD OF SUPERVISORS APPEAL FEE WAIVER?

Section 350 of the San Francisco Planning Code establishes an exemption from paying the full fees when the Requestor's income is not enough to pay for the fee without affecting their abilities to pay for the necessities of life, provided that the person seeking the exemption demonstrates to the Planning Director or his/her designee that they are substantially affected by the proposed project.

Section 352(n) of the San Francisco Planning Code establishes a waiver from the Board of Supervisor Appeal fees if the appeal is filed by a neighborhood organization that has been in existence for 24 months prior to the filing date of the request, is on the Planning Department's neighborhood organization notification list and can demonstrate to the Planning Director or his/her designee that the organization is substantially affected by the proposed project.

## WHEN IS AN APPLICATION FOR A BOARD OF SUPERVISORS APPEAL FEE WAIVER APPROPRIATE?

An Application to Request a Board of Supervisors Appeal Fee Waiver is appropriate when the Board of Supervisors appeal fee affects the requestor's ability to pay for the necessities of life, in the case of an individual, or when a neighborhood organization in existence 24 months prior to the filing date of the request and on the Planning Department's notification list can demonstrate that the organization is substantially affected by the proposed project.

## HOW DOES THE PROCESS WORK?

An individual seeking an exemption should not file this application, but must contact Ms. Yvonne Ko at the San Francisco Planning Department at (415) 558-6386.

A neighborhood organization seeking a Board of Supervisors Appeal Fee Waiver must complete the attached application, along with necessary supporting materials, and submit it to the Planning Information Center (PIC) at 1660 Mission Street.

## WHO MAY APPLY FOR A BOARD OF SUPERVISORS APPEAL FEE WAIVER?

Any individual or neighborhood group who will file for a Board of Supervisors Appeal and who believes that they qualify for a waiver of the fee may file this application. An individual seeking an exemption should not file this application, but must contact Ms. Yvonne Ko at the San Francisco Planning Department at (415) 558-6386.



# APPLICATION FOR Board of Supervisors Appeal Fee Waiver

## 1. Applicant and Project Information

APPLICANT NAME: c/o Kathy Angus		
APPLICANT ADDRESS: 99 Banks Street San Francisco, CA 94110	TELEPHONE: (415 ) 640-4568	EMAIL: kathyangus@gmail.com
NEIGHBORHOOD ORGANIZATION NAME: Bernal Heights South Slope Organization		
NEIGHBORHOOD ORGANIZATION ADDRESS: c/o Kathy Angus 99 Banks Street San Francisco, CA 94110	TELEPHONE: (415 ) 640-4568	EMAIL: kathyangus@gmail.com
PROJECT ADDRESS: 3516-3526 Folsom Street		
PLANNING CASE NO.: 2013.1383E	BUILDING PERMIT APPLICATION NO.: 2013.12.16.4318 & 2013.12.16.4322	DATE OF DECISION (IF ANY): 3/26/14, 5/5/16

## 2. Required Criteria for Granting Waiver

(All must be satisfied; please attach supporting materials)

- The appellant is a member of the stated neighborhood organization and is authorized to file the appeal on behalf of the organization. Authorization may take the form of a letter signed by the President or other officer of the organization.
  
- The appellant is appealing on behalf of an organization that is registered with the Planning Department and that appears on the Department's current list of neighborhood organizations.
  
- The appellant is appealing on behalf of an organization that has been in existence at least 24 months prior to the submittal of the fee waiver request. Existence may be established by evidence including that relating to the organization's activities at that time such as meeting minutes, resolutions, publications and rosters.
  
- The appellant is appealing on behalf of a neighborhood organization that is affected by the project and that is the subject of the appeal.

For Department Use Only

Application received by Planning Department:

By: \_\_\_\_\_

Date: \_\_\_\_\_

Submission Checklist:

- APPELLANT AUTHORIZATION
- CURRENT ORGANIZATION REGISTRATION
- MINIMUM ORGANIZATION AGE
- PROJECT IMPACT ON ORGANIZATION
  
- WAIVER APPROVED                       WAIVER DENIED



**SAN FRANCISCO  
PLANNING  
DEPARTMENT**

**FOR MORE INFORMATION:**  
Call or visit the San Francisco Planning Department


**Central Reception**  
1650 Mission Street, Suite 400  
San Francisco CA 94103-2479

TEL: **415.558.6378**  
FAX: **415.558.6409**  
WEB: <http://www.sfplanning.org>

**Planning Information Center (PIC)**  
1660 Mission Street, First Floor  
San Francisco CA 94103-2479

TEL: **415.558.6377**  
*Planning staff are available by phone and at the PIC counter.  
No appointment is necessary.*

**ZACKS & FREEDMAN**  
**A PROFESSIONAL CORPORATION**  
OPERATING ACCOUNT  
235 MONTGOMERY STREET, 4TH FLOOR  
SAN FRANCISCO, CA 94104

 **FIRST REPUBLIC BANK**  
PRIVATE BANKING-SAN FRANCISCO  
SAN FRANCISCO, CA 94111  
11-8166/3210

2691

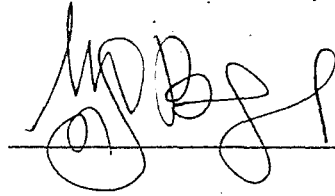
6/3/2016

PAY TO THE ORDER OF San Francisco Planning Department

\$ \*\*562.00

Five Hundred Sixty-Two and 00/100\*\*\*\*\* DOLLARS

San Francisco Planning Department  
1650 Mission Street  
Suite 400  
San Francisco, CA 94103



SECUR  
S  
SECUR  
S  
MP

MEMO  
CEQA Appeal Fee re: 3516-3526 Folsom St.

THIS DOCUMENT CONTAINS HEAT SENSITIVE INK. TOUCH OR PRESS HERE - RED IMAGE DISAPPEARS WITH HEAT.

RECEIVED  
BOARD OF SUPERVISORS  
SAN FRANCISCO  
2016 JUN -3 PM 3:53  
BY 