



SAN FRANCISCO PLANNING DEPARTMENT

MEMO

PROJECT UPDATE MEMO (NOT FOR HEARING)

1650 Mission St.
Suite 400
San Francisco,
CA 94103-2479

Reception:
415.558.6378

Fax:
415.558.6409

Planning
Information:
415.558.6377

DATE: December 15, 2016
TO: Planning Commissioners
FROM: Nicholas Foster
Staff Planner – 575-9167 or nicholas.foster@sfgov.org
RE: 168-186 Eddy Street
Planning Commission Motion No. 19345 for
Conditional Use Authorization under Case No. 2015-001077CUA

BACKGROUND

On March 26, 2015, the Planning Commission (“Commission”), through Motion No. 19345, approved a Conditional Use Authorization for a 100% affordable residential development project exceeding 50 feet in height within an RC-4 Zoning District (Planning Code Section 253), and to allow a Planned Unit Development (Planning Code Section 304) with approximately 103 affordable dwelling units, 5,500 square feet of ground-floor commercial uses, and no off-street parking, on an existing surface parking lot located at 168-186 Eddy Street.

CURRENT PROPOSAL

Since the March 26, 2015 Planning Commission Hearing, at the request of the San Francisco Mayor’s Office of Housing and Community Development (MOHDC), the Project Sponsor proposed adding ten (10) additional affordable dwelling units, for a total of 113 dwelling units. In order to accommodate the additional dwelling units, the Project Sponsor has modified the previously-approved project.

The net changes to the previously-approved project are as follows:

- The overall height of the building has increased by approximately 1’-10”, from 88’-0” to 89’-10”, to accommodate approximately 3” of additional floor-to-ceiling clearance on each of the residential floors (mezzanine floor through floor 8);
- The building expanded 24’ (horizontally) into the inner courtyard, along the eastern edge of the property line (abutting the blind wall of the building located at 156-166 Eddy Street);
- The total square footage of the project has increased by 4,157 square feet, from 111,910 square feet to 116,067 square feet (approximately 4% larger);
- The total square footage of the project’s ground-floor commercial space has decreased by 418 square feet, from 5,453 square feet to 5,035 square feet (approximately 8% smaller); and
- Ten additional affordable units have been added to the project (1 studio unit; 4 one-bedroom units; 4 two-bedroom units; and 1 three-bedroom unit). The unit mix is, proportionally, similar to the March 2015 project. (See Table 1 for unit break down.).

Table 1: Comparison of Dwelling Unit Type and Distribution

Unit Type	Project (as Approved)	Modified Project	Net Increase
Studio Units	15	16	+1
1-Bedroom Units	10	14	+4
2-Bedroom Units	64	68	+4
3-Bedroom Units	14	15	+1
Total	103	113	+10

- Department staff has reviewed the proposed revisions and found them to be in conformance with the original approval.
- The modified project's design was reviewed by the Planning Department and was found to be compatible with the overall design of the previous project (as approved by the Commission).
- A CEQA Note to File was prepared, documenting that no further environmental review is required for the Modified Project.
- The modified project provides ten additional affordable housing units for a total of 113 affordable dwelling units.

Attachments:

CEQA Note to File, dated July 22, 2016

Updated Plans

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SAN FRANCISCO PLANNING DEPARTMENT

MEMO

DATE: July 22, 2016
TO: File
FROM: Michael Jacinto, Environmental Planning
CC: Sarah Jones, Environmental Review Officer
RE: Case No. 2015-001077CUA, Eddy/Taylor Family Housing

1650 Mission St.
Suite 400
San Francisco,
CA 94103-2479

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415.558.6409

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Information:
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On March 26, 2009 the San Francisco Planning Commission approved a residential mixed-use project, hereafter the “Eddy & Taylor Street Family Housing Project” (Case No. 2007.1342E) at 168-186 Eddy Street that entailed demolition of an existing 22,334 square-foot commercial parking lot and construction a 178,869-gross square foot, 130-foot-tall residential building with up to 178 affordable rental family units, ground-floor retail space and off-street loading. The Planning Department published a Mitigated Negative Declaration in accordance with Chapter 31 of the Administrative Code and the state CEQA Guidelines, which found that the project could not have a significant effect on the environment. Mitigation measures were included in the MND to avoid potentially significant environmental effects. The Commission granted Conditional Use authorization and a Planned Unit Development (PUD) that approved the project with exceptions for design, parking and height measurement point.

The Planning Commission’s motion established a 36-month timeframe to implement the project. In 2012 the Planning Commission adopted Motion No. 18665 to extend the 2009 approval an additional 36 months. The current case, No. 2015-001077 differs from the case authorized by extension in 2012. The California Environmental Quality Act (CEQA) requires state and local agencies, such as the San Francisco Planning Department to identify the significant environmental impacts of their actions and to avoid or mitigate those impacts, if feasible.

This documentation appends a memorandum originally published on March 19, 2015 that described changes to the project 2009 project and set forth the reasons why no subsequent review is necessary. This memorandum has been updated to address the latest revisions that have been incorporated into the proposal (hereafter “modified project”) and, similar to the memo issued in March 2015, contains the reasons why no further environmental review is required.

Current (Modified) Project

The project is located at the southwest corner of Eddy and Taylor Streets in the Tenderloin. Similar to the previously approved project, the current project would be a mixed-use project with commercial retail uses on its ground floor and accommodate residential uses within the seven stories above. The height of the proposed building would be roughly 83 feet 10 inches above street grade. The project would provide 113 dwelling units, comprised of 16 studios, 14 one bedrooms, 68 two bedrooms, and 15 three bedroom affordable apartments for single residents and families. Onsite open space would be provided for building residents within a 7,113-square-foot at-grade interior courtyard. The building would contain approximately 5,035-square-feet of ground floor commercial space intended to accommodate a grocery use.

Change From Previously Approved Project

The changes currently under review are described relative to the March 2015 project. The modified project would be developed at the same location and on the same lots as the previously approved project. Similar to the approved project, the modified project would also include 8 stories. The height of the modified building would be 1'-10" taller than the approved project, which would increase its height from 82'-0" as approved to 83'-10" as currently modified in order to accommodate the ten additional dwellings and create more habitable spaces for building residents.

In terms of area, the current 116,067-square foot modified project would be about 4% larger than the previously approved 111,910-square-foot project. The modified project's 5,035-square-foot ground-floor commercial space would be slightly smaller than the 5,453-square-foot commercial space approved as part of the March 2015 project.

The project would accommodate 10 additional dwelling units than approved in the March 2015 project. **Table 1** illustrates the differences in the breakdown and distribution of dwelling unit types of the modified project compared to the approved project. The values shown in parenthesis represent that particular dwelling unit as a proportion of total dwellings. In some cases, due to rounding, project totals may not equal 100 percent. As shown in the table, the modified project would have one additional studio unit, a proportionately greater number of one bedrooms, proportionally fewer two bedroom

units and an additional three-bedroom unit, which would be proportionally similar in three bedrooms to the previously approved March 2015 project.

Table 1: Comparison of Dwelling Unit Type and Distribution

Dwelling Unit Type	Approved Project March 2015	Modified Project July 2016
Studios	15 (15%)	16 (14%)
1 Bedroom	10 (10%)	14 (12%)
2 Bedroom	64 (62%)	68 (60%)
3 Bedroom	14 (13%)	15 (13%)
TOTAL	103 units	113 units

Environmental Impacts

The MND for the previously approved project found less-than-significant (or no) impacts in the following environmental topic areas: land use and land use planning; aesthetics; population and housing; transportation and circulation; air quality; wind and shadow; utilities and service systems; public services; biological resources; geology and soils; hydrology and water quality; hazards and hazardous materials; mineral and energy resources; and agricultural resources.

The MND for the previously approved project found less-than-significant effects with mitigation identified within the environmental document and adopted as a condition of project approval: cultural resources; noise; and mandatory findings of significance.

Shadow

With respect to shadow, the MND for the previously approved project required that the Planning and Recreation and Parks Commissions make a finding under Planning Code Section 295 of No Significant New Shadow on Boeddeker Park. On December 4, 2008 the two commissions made such a finding in a joint hearing and each approved a resolution of intent to increase the absolute cumulative shadow for Boeddeker Park by 0.24 percent, in order to accommodate the new shadow cast by the proposed project. The finding was based on the project shading a portion of Boeddeker Park from mid-January to late November in the first 30 to 75 minutes after sunrise plus one hour cutoff specified by

Section 295 of the Planning Code. Shadow impacts would be restricted to the northern leg of the park, generally south of the Ellis Street entrance to the park.

The MND for the previously approved project noted that maximum shadowing would occur in March and September, when the proposed project would shade a portion of the northern part of Boeddeker Park from 8:00 to 9:15 a.m. and would add about 369,410 net new annual square foot-hours of shadow to the theoretical potential of approximately 94,156,390 square foot-hours of sun, increasing shade gsf-hours by 0.39 percent. The Recreation and Park Department has set a tolerance level of zero percent for additional cumulative shadow impacts on Boeddeker Park.

The Planning Department's Current Planning division directed the project sponsor to calculate the change in shadow square-foot hours from the approved to the modified project, as illustrated below:¹

- the approved project would result in 66,405 square-foot hours of shadow relative to 157,345,443 hours of Theoretical Annual Available Sunlight (TAAS), or what would amount to 0.04220% of the TAAS for Boeddeker Park in proportional terms.
- by comparison, the modified project would result in 68,068 square-foot hours of shadow square foot hours, an increase of 1,633 square foot hours of shadow, which would represent a slight to ~0.04300% of the TAAS.
- the majority (83 %) of the project's shadow effect on Boeddeker Park would occur before the park opens at 9:00 a.m. The maximum project shadow on the park would cover 1,633 square feet or approximately 3.9 percent of the total park area at about 8:30 a.m. on October 18 and February 22. No new shadow would occur on any day after 9:30 a.m.

No mitigation or other modification would be required.

¹ Summary of Eddy/Taylor Shadow Effects of Modified Project, transmitted by Nicholas Foster, Current Planning to Michael Jacinto, Environmental Planning on July 6, 2016. This documentation is available for review as part of Case No. [2015-001077CUA](#), available by request at the Planning Department, 1650 Mission Street, Suite 400, San Francisco.

Cultural Resources

The proposed project is located at the northeast corner of Eddy and Taylor streets, within the National Register-listed Uptown Tenderloin Historic District. The original project was reviewed for compatibility with the Historic District in a Historic Resource Evaluation Response memorandum dated January 20, 2009.

The modified design would be of similar height and would have street frontages of over 100 feet in length similar to the approved project. The modified project's massing is generally consistent with the larger corner buildings found within the District. On Taylor Street, the façade of the building will be broken up into three masses by use of different façade treatments and change in building plane. The proportions of the street-facing façades, while contemporary in form, would have a two-part composition with a base and shaft through use of modulation and change in materials. Fenestration will be arranged in a regular asymmetrical rhythm with projecting angled sunscreens in a manner that appropriately responds to the typical punched window openings and projecting bays on adjacent buildings. New construction would be clad with brick tile in variegated tones of red and brown, fiber-cement rainscreen, and glass, which are consistent with the light-colored masonry materials found within the District.

Overall, the revised design for the project appears to be consistent with the previous evaluation and the modified project would not have an adverse effect on the Uptown Tenderloin Historic District. The modified project appears to be compatible with the features, scale, proportion, massing, and materials found in the District.²

Mitigation Measures

Archeological Resources

The MND for the previously approved project includes a mitigation measure for archeological resources that required that project to develop an archeological testing program to determine whether archeological resources may be present at the site and a monitoring program to ensure that soils disturbing activities would not materially

² Preservation Review of Design for 168-186 Eddy Street, Memorandum from Pilar LaValley, Preservation Planner to Michael Jacinto, Environmental Planning, March 18, 2015. This memorandum is available for review as part of Case No. CUA 2015-00107, available by request at the Planning Department, 1650 Mission Street, Suite 400, San Francisco.

damage potentially significant cultural artifacts. The same measure would apply to the modified project.

Construction Noise

The MND for the previously approved project includes a mitigation measure for construction noise and vibration to address pile driving, if such construction techniques are used. In that case the project sponsor would be required to use pre-drilled piles to reduce ground-borne vibration and the project contractor would also be required to use best available technologies to ensure that noise is minimized to the greatest extent feasible. Finally at least 48 hours prior to pile-driving activities, should they occur, the project sponsor shall notify building owners and occupants within 500 feet of the project site of the dates, hours, and expected duration of such activities. This same measure would apply to the modified project as a condition of approval.

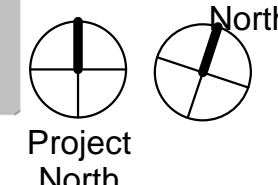
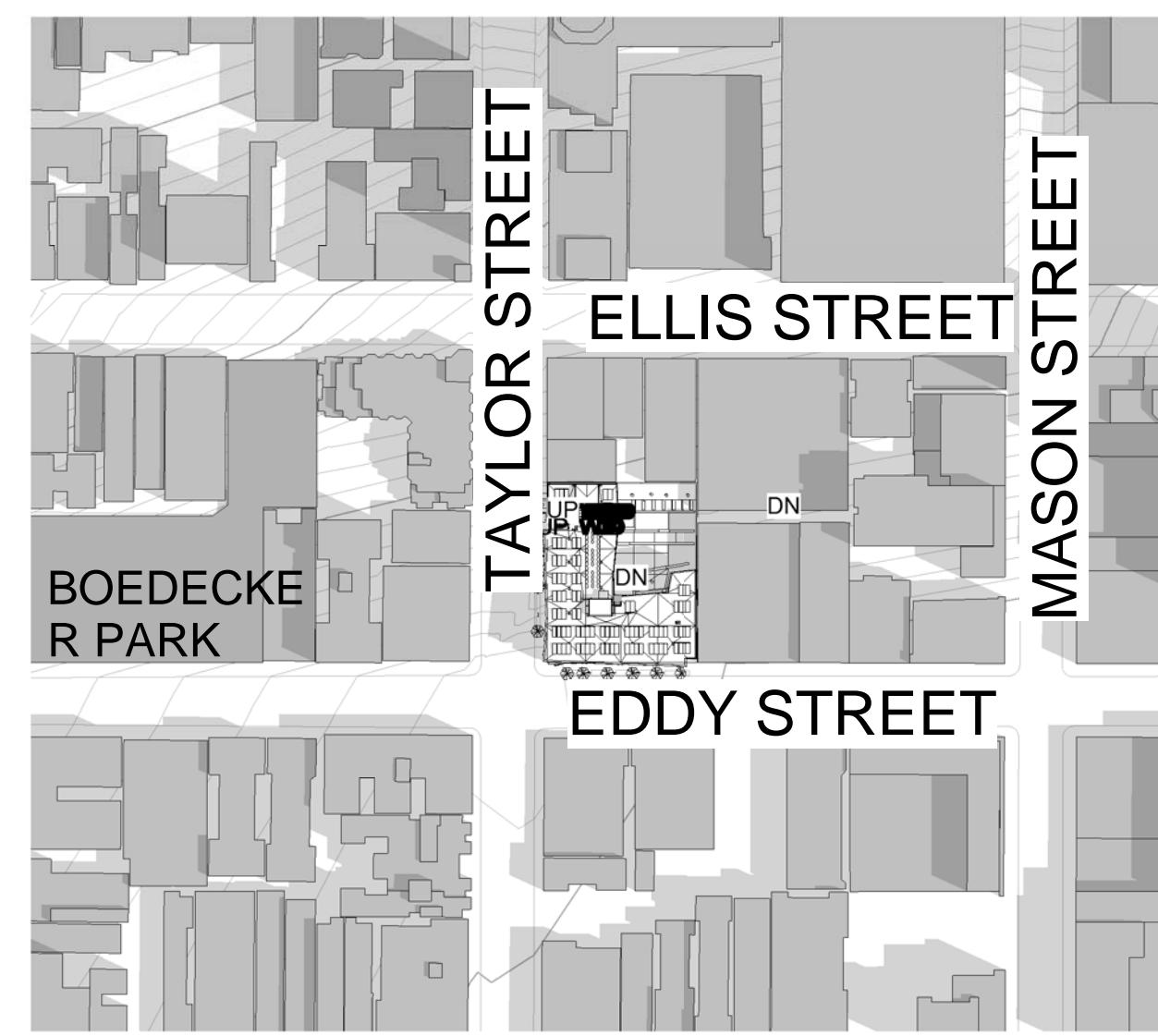
CONCLUSION

San Francisco Administrative Code Section 31.19(c)(1) states that a modified project must be reevaluated and that "If, on the basis of such reevaluation, the Environmental Review Officer determines, based on the requirements of CEQA, that no additional environmental review is necessary, this determination and the reasons therefore shall be noted in writing in the case record, and no further evaluation shall be required by this Chapter." For the reasons articulated above, this memorandum provides sufficient documentation that no further environmental review is required for the modified residential mixed-use project at 168-186 Eddy Street.

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VICINITY MAP



APPLICABLE CODES

All construction and installation shall conform to the following codes:

- 2013 California Building Code (CBC) & San Francisco amendments
- 2013 California Mechanical Code (CMC) & San Francisco amendments
- 2013 California Plumbing Code (CPC) & San Francisco amendments
- 2013 California Electrical Code & San Francisco amendments
- 2013 California Energy Code
- 2013 California Housing Code
- Accessibility Code - 2013 California Building Code: Chapters 10, 11A, 11B
- 2013 NFPA 72 (National Fire Alarm Code)
- 2013 NFPA 13 (Installation of Fire Sprinkler Systems)
- 2010 San Francisco Fire Code

- 1998 Fair Housing Act Design Manual will be used to comply with Federal Fair Housing Act, Part VI - Accessibility Guidelines
- TITLE 19 California Administration Code
- 2013 TITLE 24 California Administrative Code
- 2010 Americans with Disabilities Act Standards for Accessible Design

The functionality standards set forth in Title 7 of the California Civil Code (the "Right to Repair Act"). The manufacturer's requirements or recommendations for any incorporated products. And any other governing codes and ordinances. In the event of conflict, the most stringent requirements shall apply.

DESIGN-BUILD SECTIONS OF THE WORK

- Fire Sprinklers and life safety
- Photovoltaic roof-top solar panels and hot water/thermal panels
- Reclaimed water landscape irrigation system
- Foundations and Ground Improvement
- Building Envelope maintenance system
- Building Security systems

DEFERRED SUBMITTALS

DEFERRED SUBMITTAL ITEMS	SUBMITTAL DATE FOR ENGINEER / ARCHITECT OF RECORD TO REVIEW AND APPROVE	SUBMITTAL DATE FOR BUILDING DIVISION TO REVIEW & APPROVE	DATE FOR FABRICATION	DATE FOR INSTALLATION AT THE JOB SITE
FIRE SPRINKLER SYSTEM				
FIRE ALARM SYSTEM				
STANDPIPES				
EMERGENCY RADIO COVERAGE				
TWO-WAY COMMUNICATION SYSTEM				
TWO-WAY COMMUNICATION SIGNAGE				
PRE-MANUFACTURED STAIRS				
ELEVATORS				
EXIT SIGNAGE				
BUILDING DIRECTORIES				
BUILDING ADDRESSES				
OTHER BUILDING SIGNAGE				
SOLAR DOMESTIC HOT WATER				
SOLAR PHOTOVOLTAIC				
OPERATING PERMIT - MULTI-STORY BUILDING				

UNIT DISPERSAL MATRIX					
	Unit Size	# of Units	# of Units w/ Mobility features (11B)	# of Adaptable Units (11A)	# of Units w/ Mobility and Communication features
SINGLE-STORY UNITS (FLATS)					
Flats on Ground Floor of Building with no elevator or throughout a Building with elevator					
	Studio	16	3	13	1
	1 BR	14	2	12	1
	2 BR	68	3	65	2
	3 BR	15	4	11	1
SUB-TOTAL - Single Story Units (F)		113	12	101	5
TOTAL - units on site		113	12	101	5
Required % of units			10%		4%
Required # of units			11		5

11B units:

11A units:

Communication units:

PROJECT TEAM

ARCHITECT
David Baker FAIA + Partners
461 Second Street, Suite C127
San Francisco, CA 94107
415-896-6700 TEL
Attn: Daniel Simons/John Onken

CIVIL ENGINEER
Carlie Macy
15 3rd Street
Santa Rosa, CA 95401
707-542-6451
Attn: Jim Fain

LANDSCAPE ARCHITECTS
G.L.S. Landscape/Architecture
2677 Mission Street, No 200
San Francisco, CA 94110
415-285-3614
Attn: Dean Williams

DEVELOPER
Tenderloin Neighborhood Development Corp.
201 Eddy Street
San Francisco, CA 94102
(415) 358-9344 TEL
Attn: Aditya Potluri/Claire Evans

STRUCTURAL ENGINEER
OLMM Consulting Engineers
701 Sutter Street, 4th Floor
San Francisco, CA 94109
415-882-9449
Attn: Matthew Stevens

LEED/ENERGY COMPLIANCE
Beyond Efficiency
1502 Walnut Street, Suite C
Berkeley, CA 94709
415-236-1333
Attn: Katy Holtbacher

PROJECT LOCATION

210-238 Taylor Street, San Francisco, CA 94102

The site is located at the northeast corner of Eddy and Taylor Streets in San Francisco, California.

Proposed use is for an 8 story mixed-use residential with retail development. The project will provide 113 units, comprised of studios, one, two, and three bedroom units with one large on-grade courtyard. Additionally, the development will contain ground floor commercial space, which could accommodate a small private grocery (approximately 6,000 SF).

The project is a revision of a proposal put before the Planning Commission in 2009.

PROJECT BLOCK & LOT

Name	Area	Acreage
BLOCK 0331/LOTS 10 & 11	22344 SF	0.51

BUILDING HEIGHT

PLANNING CODE BUILDING HEIGHT

Height/Bulk District = **80-T-130-T**
Developer chooses to measure height based on the Taylor Street frontage. Choice is allowed per 102.12(d). Midpoint of the property line along Taylor at +40.00 based on existing survey. Roof deck at +123.83 elevation. Planning Code Building Height = 123.83 - 40.00 = 83.83 FT.

BUILDING CODE BUILDING HEIGHT

Per CBC Section 502: Building height is the vertical distance from the grade plane to the average height of the highest roof surface.

SE low point = 32.95 | SW corner: 35.05
NE corner: 40.40 | NW high point = 44.27

Grade plane = **38.16 (38'-2")**
Max. allowable building height above grade plane = **UL** (CBC TABLE 503)

BUILDING AREA

Circ.Mech/Unoccupied	6,752 SF
Office/Common Use	3,261 SF
Residential	107,554 SF
Retail	5,705 SF
Total Building Area:	123,273 SF
Courtyard:	7,131 SF

UNIT TABULATION

STUDIO	16
1 BR	14
2 BR	68
3 BR	15
TOTAL	113

OPEN SPACE CALCULATION

District	Square feet of private usable open space per unit	Ratio of common usable open space that may be substituted for private
RC-4	36	1.33

For 103 units: 3708 SF x 1.33 = 4944 SF total required

Provided: 7,082 SF on-grade courtyard

DRAWING LIST

GENERAL	A351 Interior Elevations - Common Area	S113 Level 3 Plan	PLUMBING
G000 Title Sheet	A352 Interior Elevations - Common Area	S113-R Level 3 - Level 5 Reinforcing Plan	P000 Legend, General Notes & Drawing Index
G001 Project Information	A353 Enlarged Plans and Interior Elevations - Common Area	S116 Level 6 Plan	P001 Schedules & Calculations
G002 Attachment C-2 Green Building Site Permit Submittal	A401 Wall Sections	S116-R Level 6 Reinforcing Plan	P002 Schedules & Calculations
G003 LEED Checklist	A402 Wall Sections	S117 Level 7 Plan	P100 Site Plan
G004 Keynote Legend	A403 Wall Sections	S117-R Level 7 - Level 8 Reinforcing Plan	P200 Floor Plan - Ground Floor
G100 Survey	A410 Enlarged Plans & Elevs - Residential Corridors	S119 Roof Plan	P200U Floor Plan - Underslab
G600 Code Analysis	A420 Enlarged Plans & Elevs - Elevator	S119-R Roof Reinforcing Plan	P201 Floor Plan - Level 1.5
G601 Code Analysis	A421 Enlarged Plans & Elevs - Stair 1	S200 Column Schedule	P202 Floor Plan - Level 2
G602 Code Analysis	A422 Enlarged Plans & Elevs - Stair 2	S201 Column Schedule	P203 Floor Plan - Level 3
G603 Code Analysis	A423 Enlarged Sections - Stair 2	S300 Concrete Shear Wall Elevations	P204 Floor Plan - Level 4
G604 Accessibility Diagrams	A424 Enlarged Sections - Stair 2	S301 Concrete Shear Wall Elevations	P205 Floor Plan - Level 5
G605 Accessibility Diagrams	A425 Enlarged Plans and Elevations - Utility		P206 Floor Plan - Level 6
G606 Accessibility Plans	A500 Details - Wall Assemblies		P207 Floor Plan - Level 7
G610 Noise Report	A505 Details - Horizontal Assemblies	MECHANICAL	P208 Floor Plan - Level 8
	A506 Details - Horizontal Assemblies	M000 Legend, General Notes & Drawing Index	P209 Floor Plan - Roof
	A510 Details - Site & Foundation	M001 Schedules & Calculations	P300 Enlarged Plans
CIVIL	A530 External Walls - Brick Veneer	M200 Floor Plan - Ground Floor	P301 Enlarged Plans
CD.1 General Notes, Legend & Abbreviations	A531 External Walls - Cement Plaster Details	M200P Floor Plan - Ground Floor Water Supply	P302 Enlarged Plans
C.1.1 Layout & Boundary Plan	A532 External Walls - Fiber Cement Board Cladding Details	M201 Floor Plan - Level 1.5	P303 Enlarged Plans
C.2.1 Rough Grading Plan	A540 Details - Exterior Specialties	M201P Floor Plan - Level 1.5 Water Supply	P304 Enlarged Plans
C.3.1 Utility Plan	A550 Details - Roof & Roof Accessories	M202 Floor Plan - Level 2	P305 Enlarged Plans
C.4.1 Details	A560 Details - Windows	M203 Floor Plan - Level 3	P306 Enlarged Plans
	A561 Details - Windows	M204 Floor Plan - Level 4	P307 Enlarged Plans
	A562 Details - Doors	M205 Floor Plan - Level 5	P400 Waste & Vent Riser Diagrams
ARCHITECTURE	A563 Details - Doors	M206 Floor Plan - Level 6	P401 Water Supply Riser Diagrams
A001 Site Plan	A564 Details - Doors	M207 Floor Plan - Level 7	P402 Details & Diagrams
A100 Level 1 Slab Plan Only	A565 Details - Storefronts	M208 Floor Plan - Level 8	P403 Details & Diagrams
A110 Floor Plan - Ground Floor	A570 Details - Elevator	M208P Floor Plan - Level 8 Water Supply	P404 Details & Diagrams
A111 Floor Plan - Level 1.5	A575 Details - Stairs	M209 Floor Plan - Roof	P405 Details & Diagrams
A112 Floor Plan - Level 2	A580 Details - Interior Walls Framing	M209P Floor Plan - Roof Water Supply	
A113 Floor Plan - Level 3	A581 Details - Interior Walls Framing	M300 Enlarged Plans	
A114 Floor Plan - Level 4	A582 Details - Interior	M301 Enlarged Plans	
A115 Floor Plan - Level 5	A590 Details - Casework	M302 Enlarged Plans	
A116 Floor Plan - Level 6	A595 Details - Signage	M303 Enlarged Plans	
A117 Floor Plan - Level 7	A596 Details - Signage	M304 Enlarged Plans	
A118 Floor Plan - Level 8	A597 Signage Plans	M400 Hydronic Loop Riser	
A119 Roof Plan	A600 Door Schedule & Legend	M401 Hydronic Loop Risers	
A119a Design-Build Solar Hot Water & Photovoltaic Plan	A610 Door Schedule & Legend	M402 Details & Diagrams	
A120 RCP - Ground Floor	A615 Storefront Schedule & Legend	M403 Details & Diagrams	
A121 RCP - Level 1.5	A616 Storefront Schedule & Legend	M404 Details & Diagrams	
A122 RCP - Level 2 - Typical Levels 4, 6	A620 Finish Schedule	M405 Details & Diagrams	
A123 RCP - Level 3 - Typical levels 5, 7			
A124 RCP - Level 8			
A125 Typical Unit Fire Sprinkler Plan			
A130 Finish Plan - Level 1			
A140 Slab Plan - Levels 2-8 Typical			
A201 Elevation - South (Eddy)	LANDSCAPE		
A202 Elevation - West (Taylor)	L1.1 Landscape Layout Plan		
A203 Elevation - North	L2.1 Grading Plans		
A204 Elevation - East	L4.1 Landscape Details		
A205 Elevations - Misc. (Roof)	L4.2 Landscape Details		
A207 Building Section Through Retail	L4.3 Landscape Details		
A250 Building Section at Courtyard	L4.4 Landscape Details		
A251 Building Section at Stairs	L4.6 Landscape Details		
A252 Building Sections	L4.7 Landscape Details		
A253 Building Section Across Courtyard	L5.1 Planting Plan		
A301 Unit Plans - Studio (0A, 0A AIL)	L5.2 Soil Preparation Plan		
A302 Unit Plans - Studio (0B) - Mobility			
A303 Unit Plans - 1 Bed (1A)			
A304 Unit Plans - 1 Bed (1A Mobility)			
A305 Unit Plans - 2 Bed (2A, 2A AIL)			
A306 Unit Plans - 2 Bed (2A Variations)			
A307 Unit Plans - 2 Bed (2B)			
A308 Unit Plan - 2 Bed (2C)			
A309 Unit Plans - 2 Bed (2D)			
A310 Unit Plans - 3 Bed (3A)			
A311 Unit Plans - 3 Bed (3B)			
A320 Unit Bathrooms Enlarged Plans and Elevations			
A321 Unit Bathrooms Enlarged Plans and Elevations			
A322 Unit & Common Bathrooms Enlarged Plans and Elevations			
A340 Transformer Vault Details			
A350 Enlarged Plans - Common Area			



david baker architects
dbarchitect.com
461 second street loft 127
san francisco california 94107
415 896 6700 fax 415 896 6103

LICENSE STAMP

Eddy + Taylor
Construction Documents
210-238 Taylor Street, SF CA. 94102
TENDERLOIN NEIGHBORHOOD
DEVELOPMENT CORPORATION

DRAWING RELEASE STATUS DATE

Pre-application questions	12/8/15
100% SD Set	1/15/16
100% DD Set	5/12/16

ADDENDA

No.	Description	Date

SHEET TITLE

Title Sheet

SCALE

As indicated @ 24 x 36

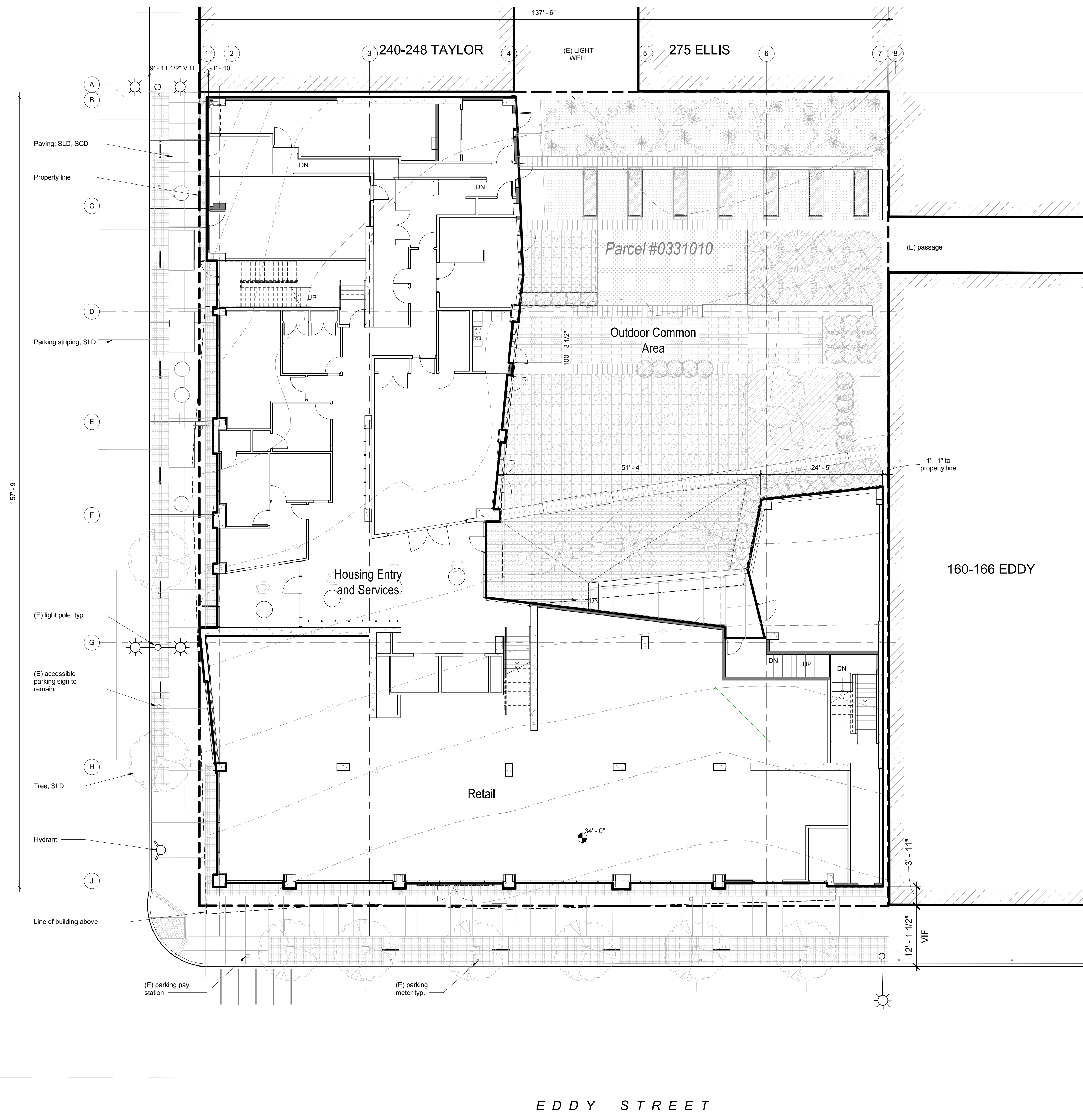
JOB NUMBER	RELEASE DATE
20618	9-7-2016

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Author	Checker

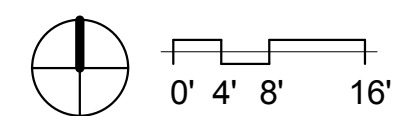
G000

OF SHEETS

TAYLOR STREET



EDDY STREET



david baker architects
 dbarchitect.com
 461 second street loft 127
 san francisco california 94107
 415 896 6700 fax 415 896 6103

LICENSE STAMP

Eddy + Taylor
Construction Documents
 210-238 Taylor Street, SF CA. 94102
TENDERLOIN NEIGHBORHOOD
DEVELOPMENT CORPORATION

DRAWING RELEASE STATUS	DATE
Pre-application questions	12/8/15
100% SD Set	1/15/16
100% DD Set	5/12/16

ADDENDA		
No.	Description	Date

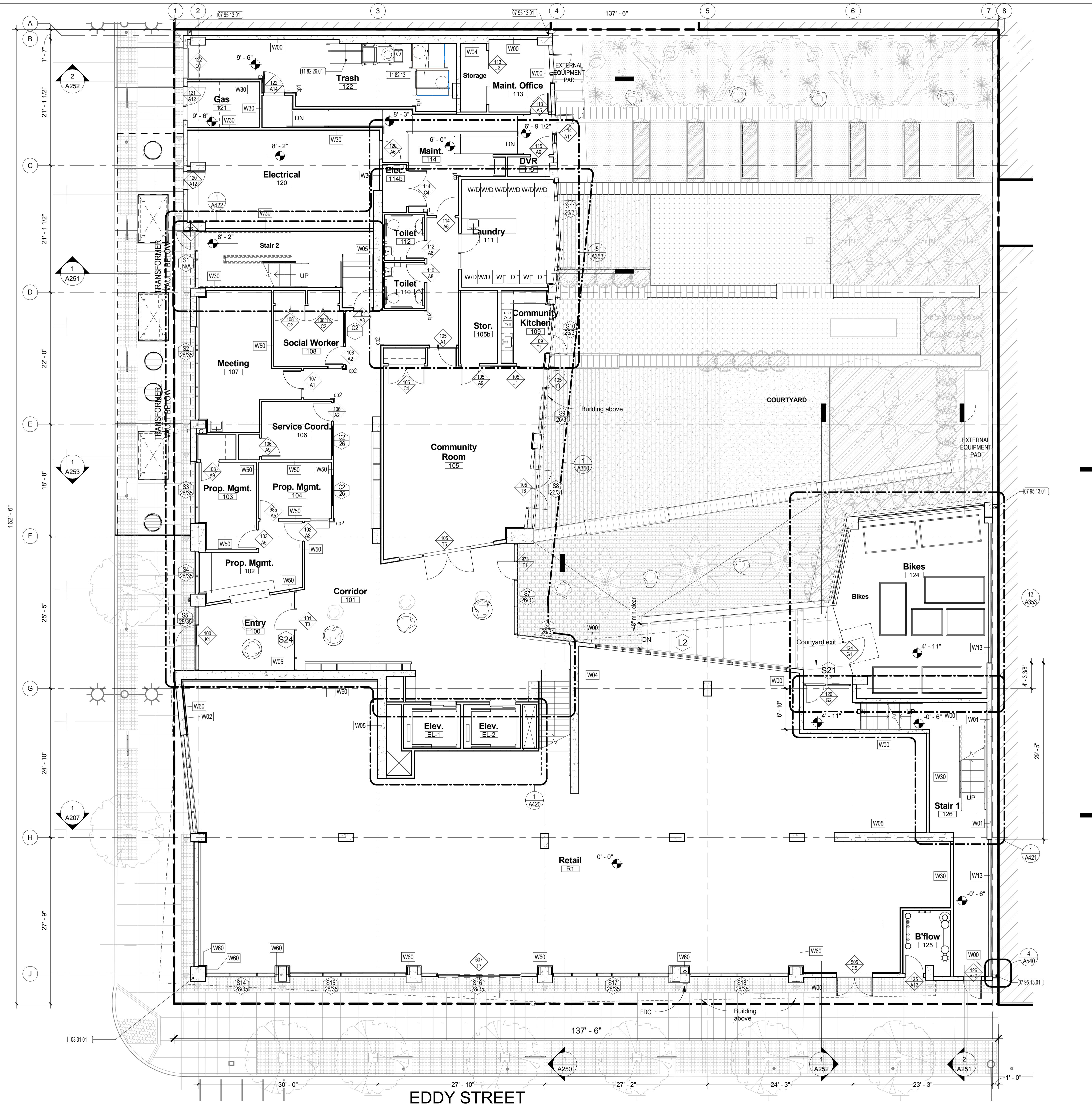
SHEET TITLE
Site Plan

SCALE 1" = 10'-0" @ 24 x 36	
JOB NUMBER 20618	RELEASE DATE 9-7-2016
DRAWN BY Author	CHECKED BY Checker

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 OF SHEETS

9/9/2016 4:35:33 PM

TAYLOR STREET



KEYNOTE LEGEND

03 31 01	Concrete Column, TYP., S.S.D.
07 95 13 01	Exterior Wall Expansion Joint Cover
11 82 13	Trash Container
11 82 26 01	Trash Compactor



david baker architects
 dbarchitect.com
 461 second street loft 127
 san francisco california 94107
 415 896 6700 fax 415 896 6103

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Construction Documents
 210-238 Taylor Street, SF CA. 94102
 TENDERLOIN NEIGHBORHOOD
 DEVELOPMENT CORPORATION

DRAWING RELEASE STATUS	DATE
Pre-application questions	12/8/15
100% SD Set	1/15/16
100% DD Set	5/12/16

ADDENDA		
No	Description	Date
1	DD Addenda for pricing	6/15/16

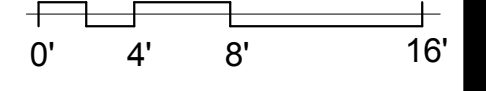
SHEET TITLE
Floor Plan - Ground Floor

SCALE
 1/8" = 1'-0" @ 24 x 36

JOB NUMBER 20618	RELEASE DATE 9-7-2016
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OF SHEETS



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DRAWING RELEASE STATUS	DATE
Pre-application questions	12/8/15
100% SD Set	1/15/16
100% DD Set	5/12/16

ADDENDA		
No.	Description	Date

SHEET TITLE
Floor Plan - Level 1.5

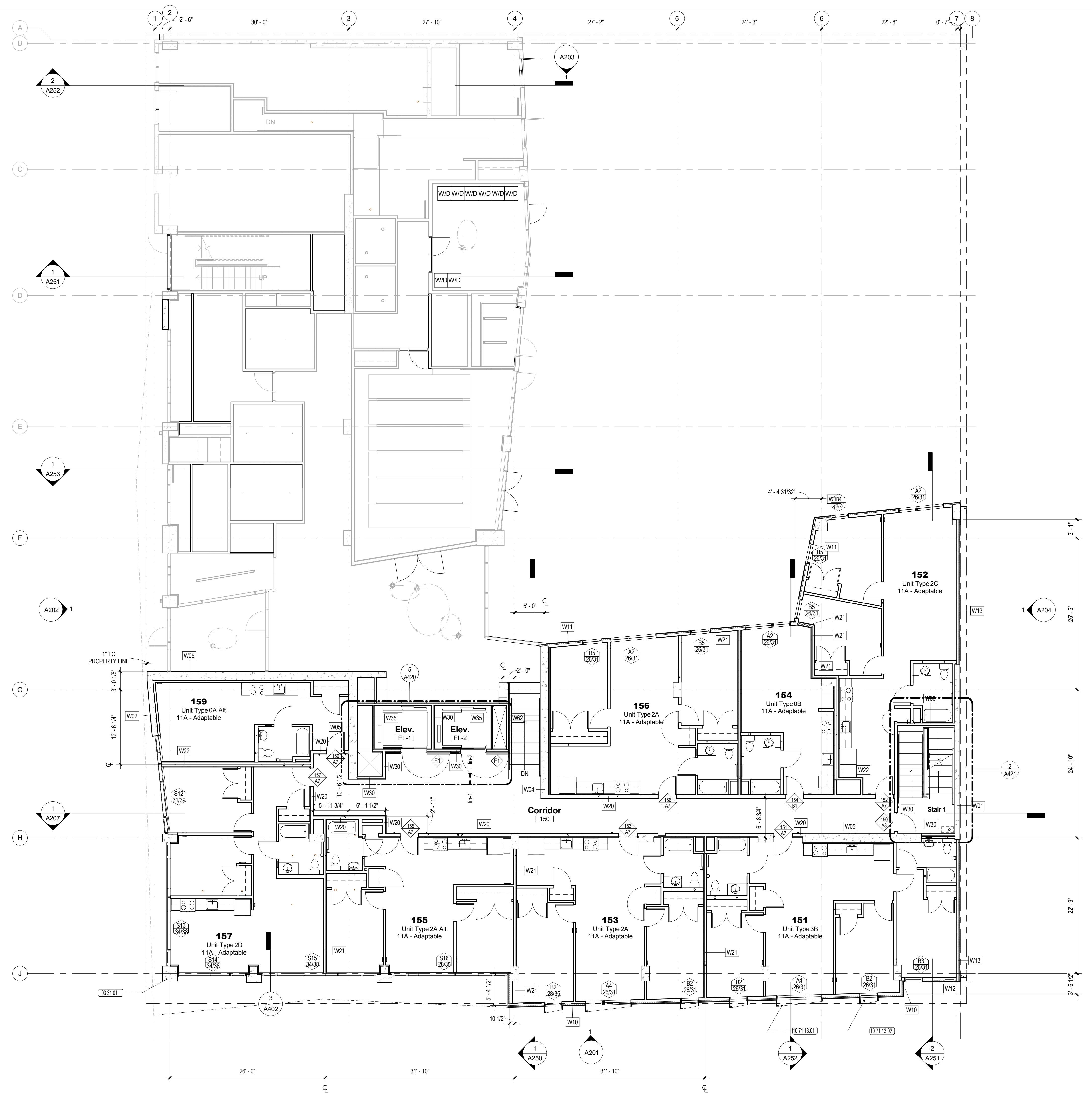
SCALE
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JOB NUMBER 20618	RELEASE DATE 9-7-2016
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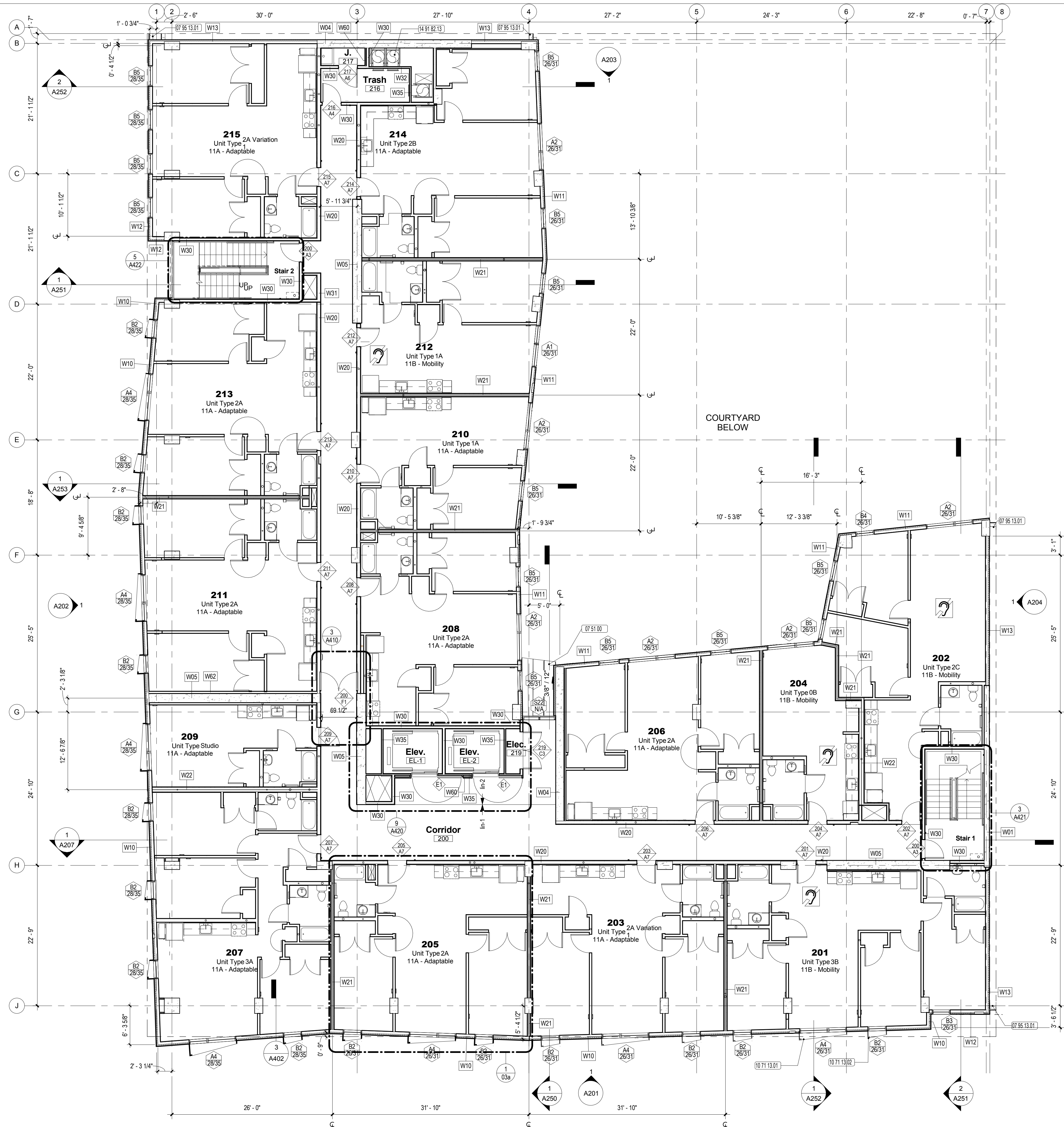
A111
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KEYNOTE LEGEND

03 31 01	Concrete Column, TYP. S.S.D.
10 71 13 01	Exterior Steel Sunshade Type A
10 71 13 02	Exterior Steel Sunshade Type B



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KEYNOTE LEGEND

07 51 00	Modified Bitumen Roofing, TYP. U.O.N.
07 95 13 01	Exterior Wall Expansion Joint Cover
10 71 13 01	Exterior Steel Sunshade Type A
10 71 13 02	Exterior Steel Sunshade Type B
14 91 82 13	Trash Chute



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100% SD Set	1/15/16
100% DD Set	5/12/16

ADDENDA

No.	Description	Date

SHEET TITLE

Floor Plan - Level 2

SCALE

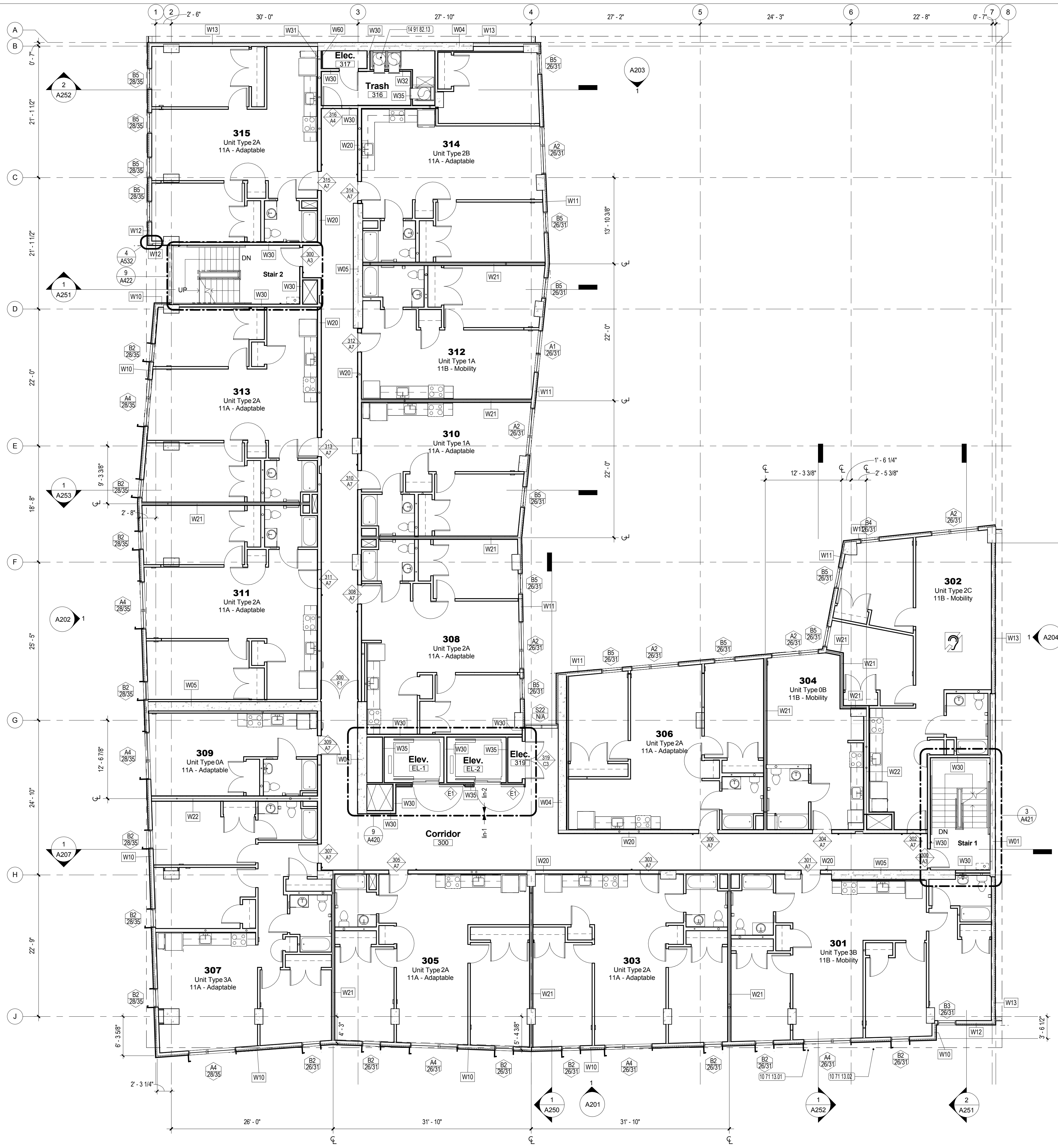
1/8" = 1'-0" @ 24 x 36

JOB NUMBER 20618	RELEASE DATE 9-7-2016
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KEYNOTE LEGEND

10 71 13 01	Exterior Steel Sunshade Type A
10 71 13 02	Exterior Steel Sunshade Type B
14 91 82 13	Trash Chute



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Pre-application questions	12/8/15
100% SD Set	1/15/16
100% DD Set	5/12/16

ADDENDA

No.	Description	Date

SHEET TITLE

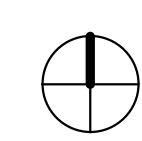
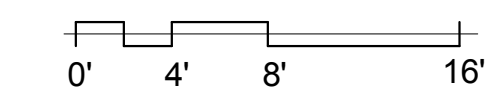
Floor Plan - Level 3

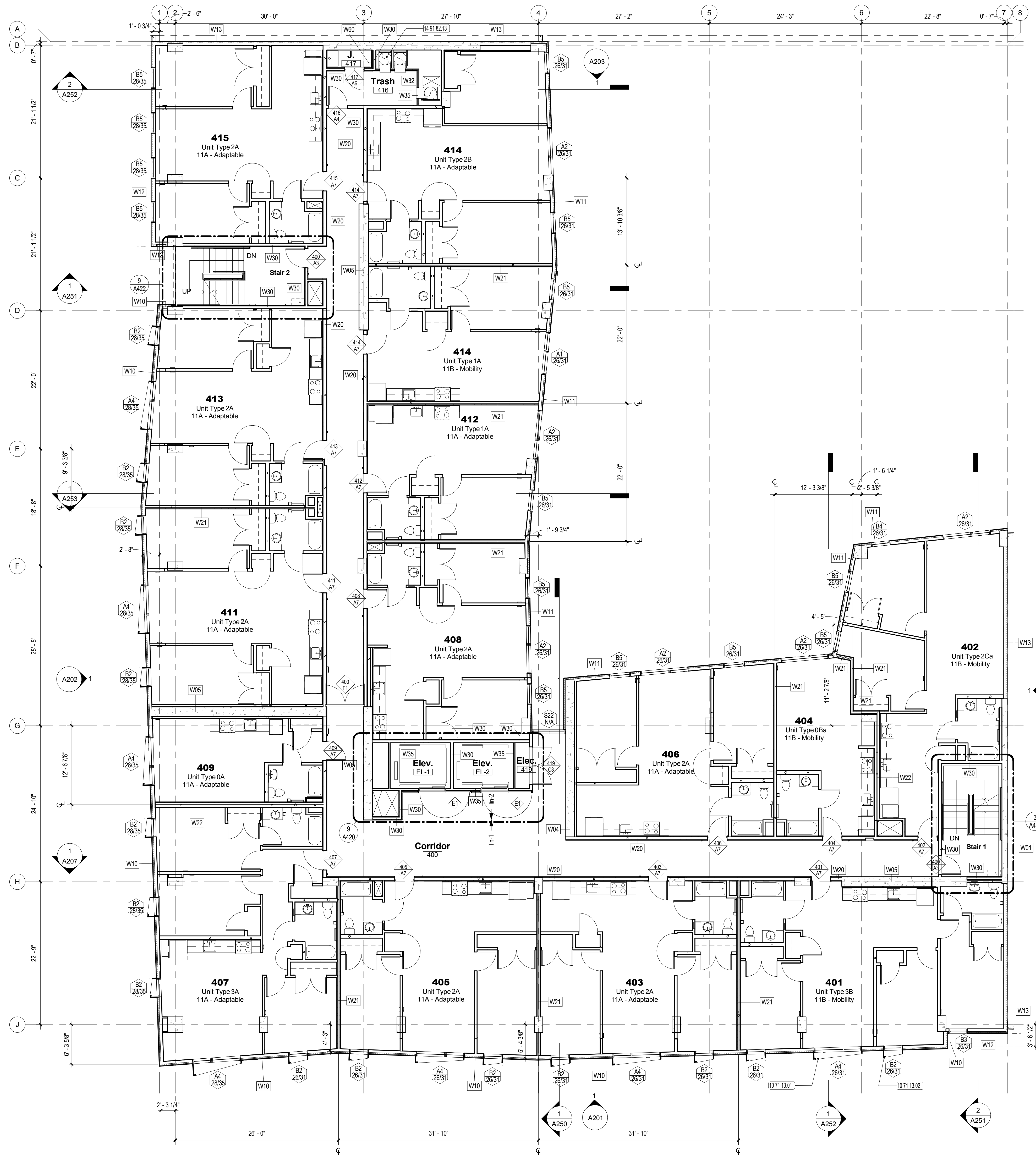
SCALE 1/8" = 1'-0" @ 24 x 36

JOB NUMBER 20618	RELEASE DATE 9-7-2016
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 OF SHEETS

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KEYNOTE LEGEND

10 71 13 01	Exterior Steel Sunshade Type A
10 71 13 02	Exterior Steel Sunshade Type B
14 91 82 13	Trash Chute



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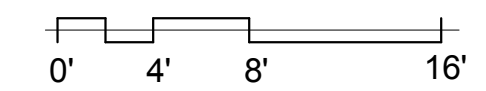
DRAWING RELEASE STATUS	DATE
Pre-application questions	12/8/15
100% SD Set	1/15/16
100% DD Set	5/12/16

ADDENDA		
No.	Description	Date

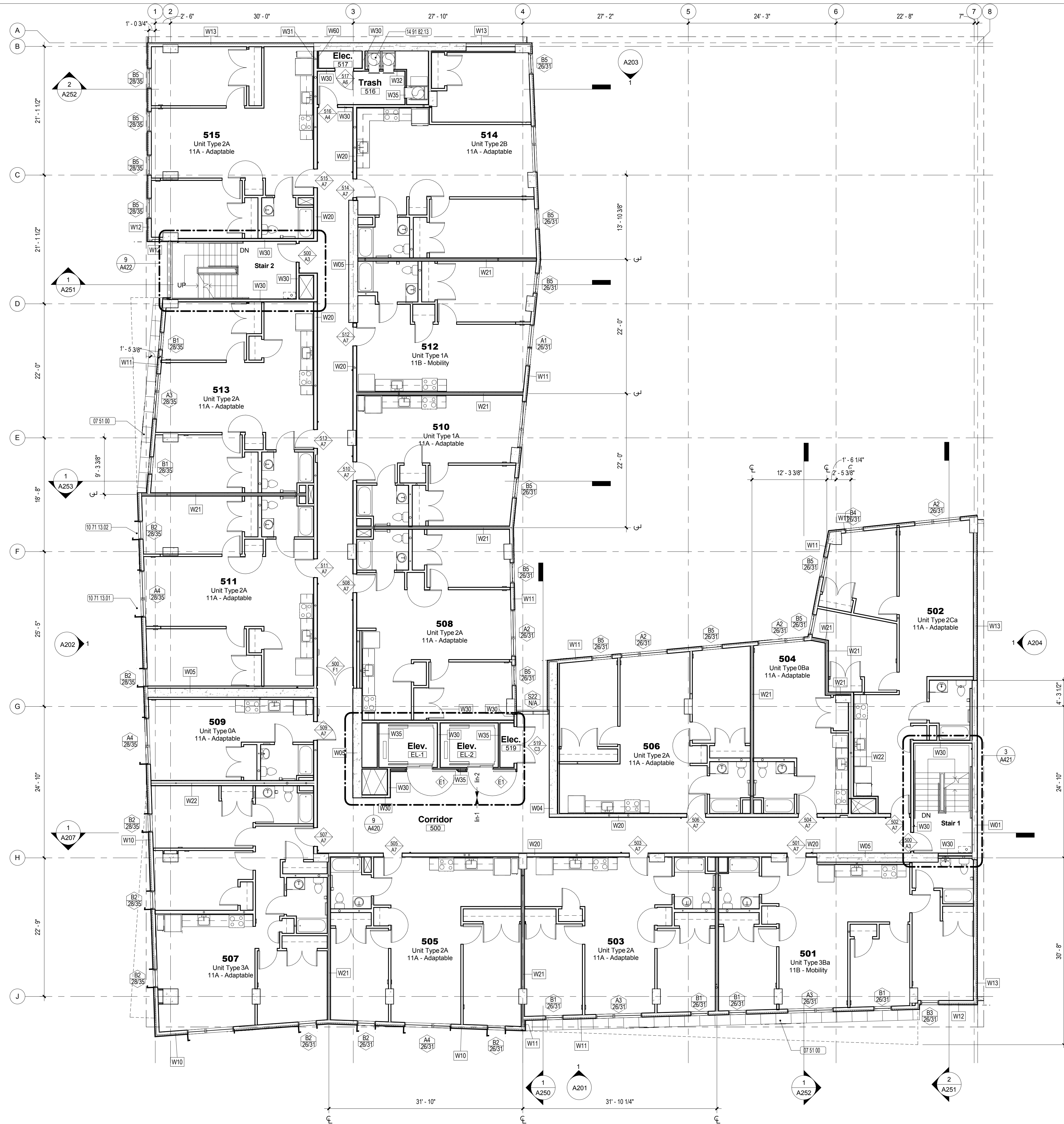
SHEET TITLE
Floor Plan - Level 4

SCALE 1/8" = 1'-0" @ 24 x 36	
JOB NUMBER 20618	RELEASE DATE 9-7-2016
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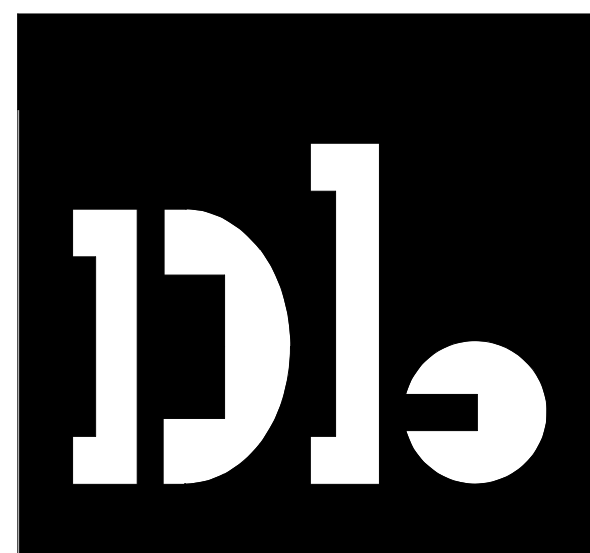


9/9/2016 4:36:24 PM



KEYNOTE LEGEND

07 51 00	Modified Bitumen Roofing, TYP. U.O.N.
10 71 13.01	Exterior Steel Sunshade Type A
10 71 13.02	Exterior Steel Sunshade Type B
14 91 62.13	Trash Chute



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 san francisco california 94107
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Pre-application questions	12/8/15
100% SD Set	1/15/16
100% DD Set	5/12/16

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No.	Description	Date

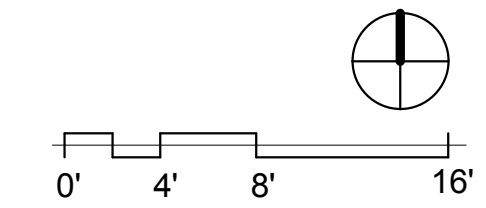
SHEET TITLE
Floor Plan - Level 5

SCALE 1/8" = 1'-0" @ 24 x 36

JOB NUMBER 20618	RELEASE DATE 9-7-2016
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DRAWING RELEASE STATUS	DATE
Pre-application questions	12/8/15
100% SD Set	1/15/16
100% DD Set	5/12/16

ADDENDA		
No.	Description	Date

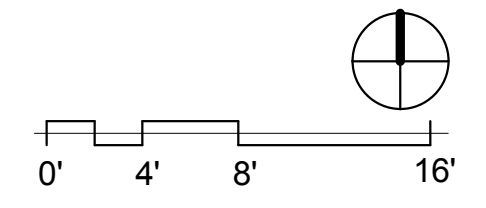
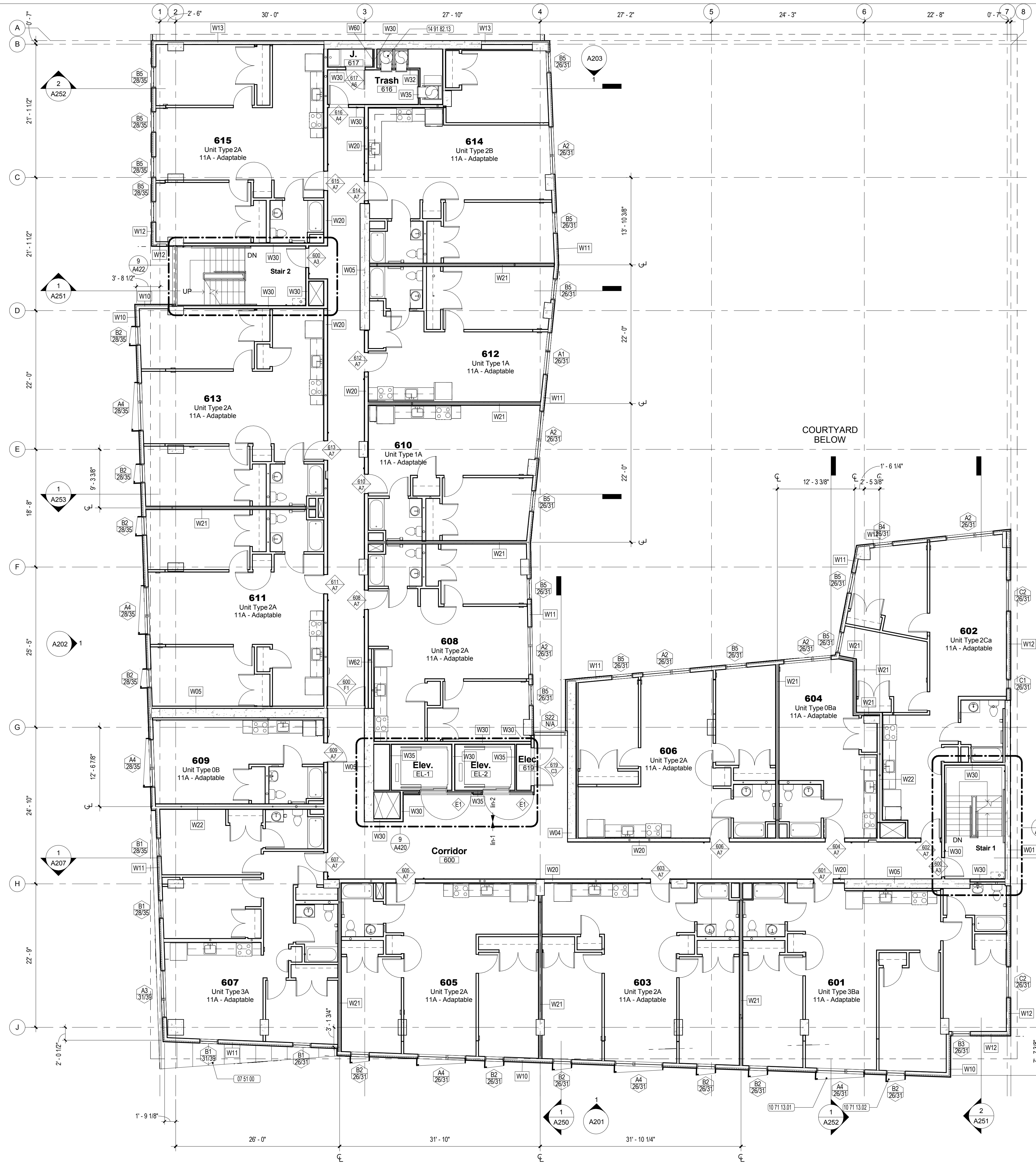
SHEET TITLE
Floor Plan - Level 6

SCALE 1/8" = 1'-0" @ 24 x 36	
JOB NUMBER 20618	RELEASE DATE 9-7-2016
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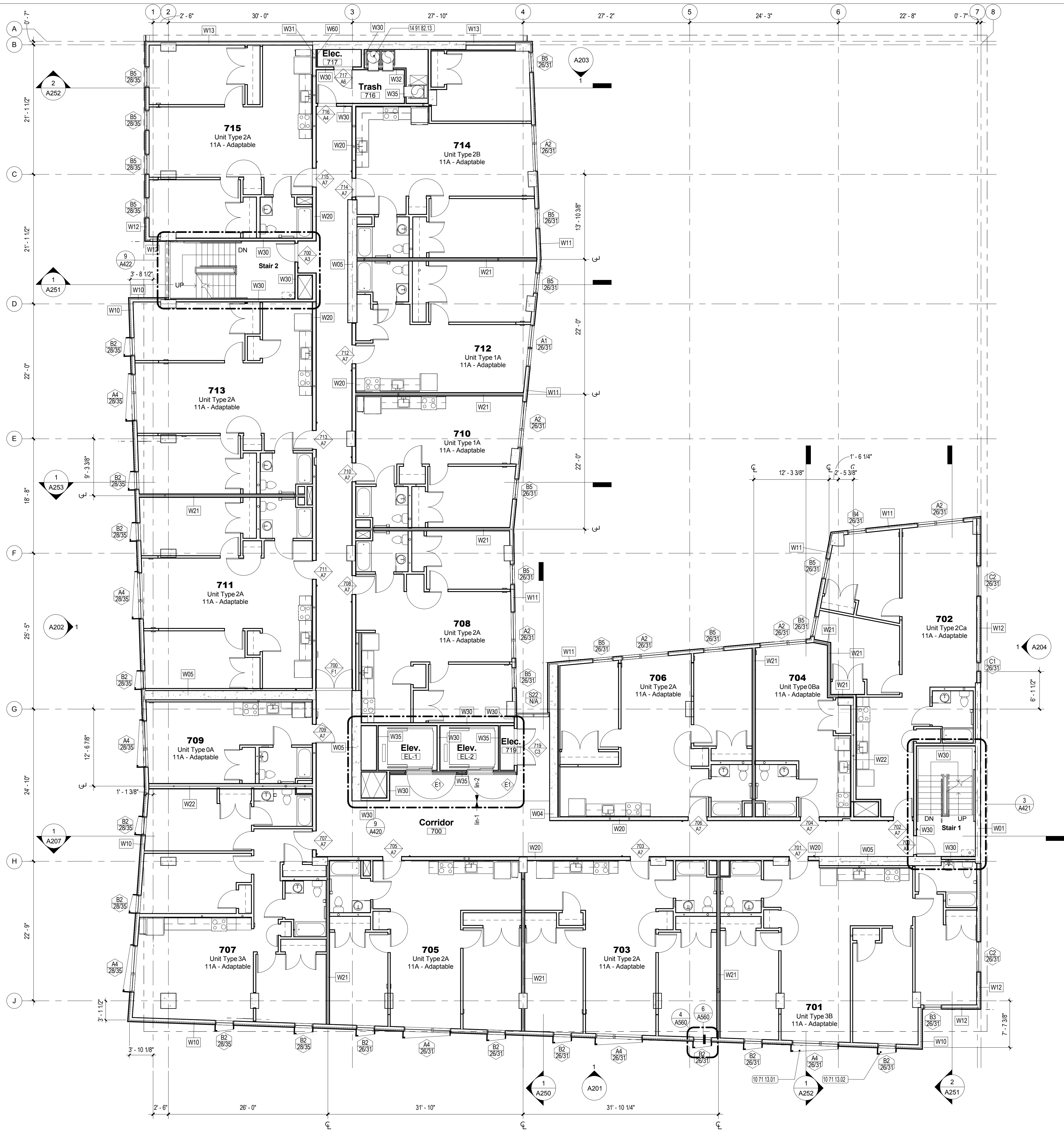
A116
 OF SHEETS

KEYNOTE LEGEND

07 51 00	Modified Bitumen Roofing, TYP. U.O.N.
10 71 13 01	Exterior Steel Sunshade Type A
10 71 13 02	Exterior Steel Sunshade Type B
14 91 82 13	Trash Chute



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KEYNOTE LEGEND

- 10 71 13.01 Exterior Steel Sunshade Type A
- 10 71 13.02 Exterior Steel Sunshade Type B
- 14 91 82.13 Trash Chute



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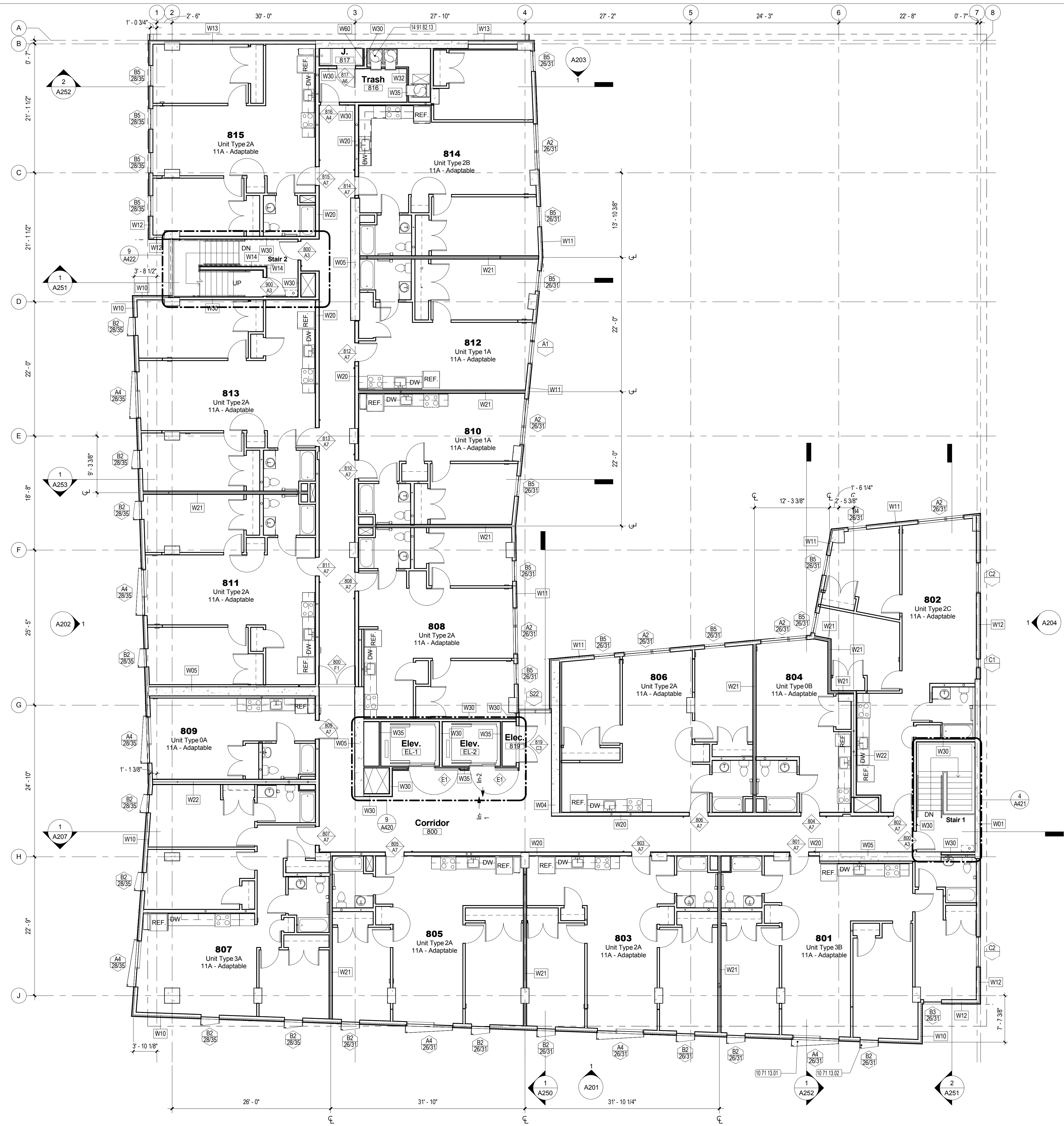
DRAWING RELEASE STATUS	DATE
Pre-application questions	12/8/15
100% SD Set	1/15/16
100% DD Set	5/12/16

ADDENDA		
No.	Description	Date

SHEET TITLE
Floor Plan - Level 7

SCALE	1/8" = 1'-0" @ 24 x 36
JOB NUMBER	20618
RELEASE DATE	9-7-2016
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KEYNOTE LEGEND

10 71 13.01	Exterior Steel Sunshade Type A
10 71 13.02	Exterior Steel Sunshade Type B
14 91 82.13	Trash Chute



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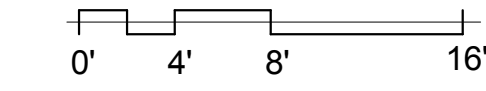
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Pre-application questions	12/8/15
100% SD Set	1/15/16
100% DD Set	5/12/16

ADDENDA		
No.	Description	Date

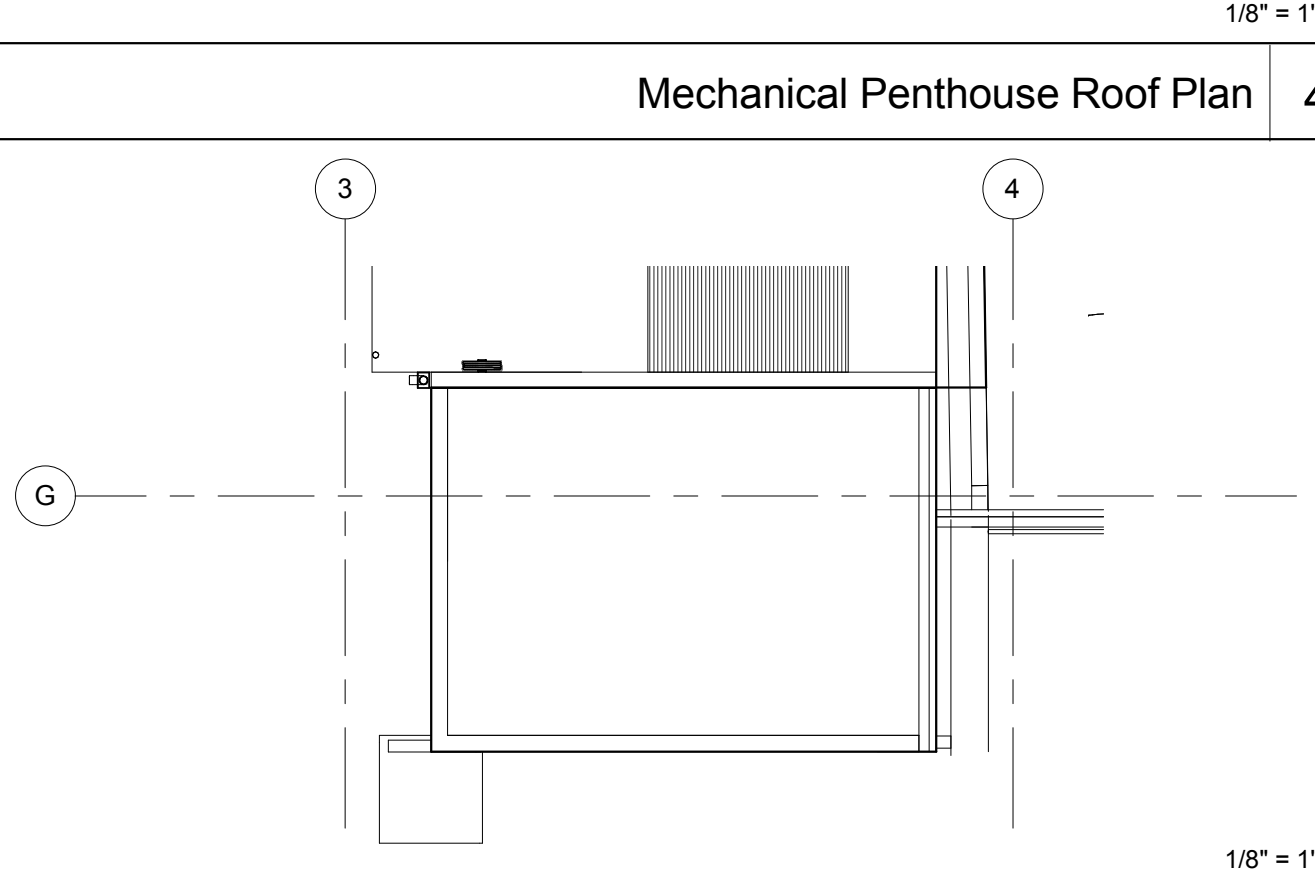
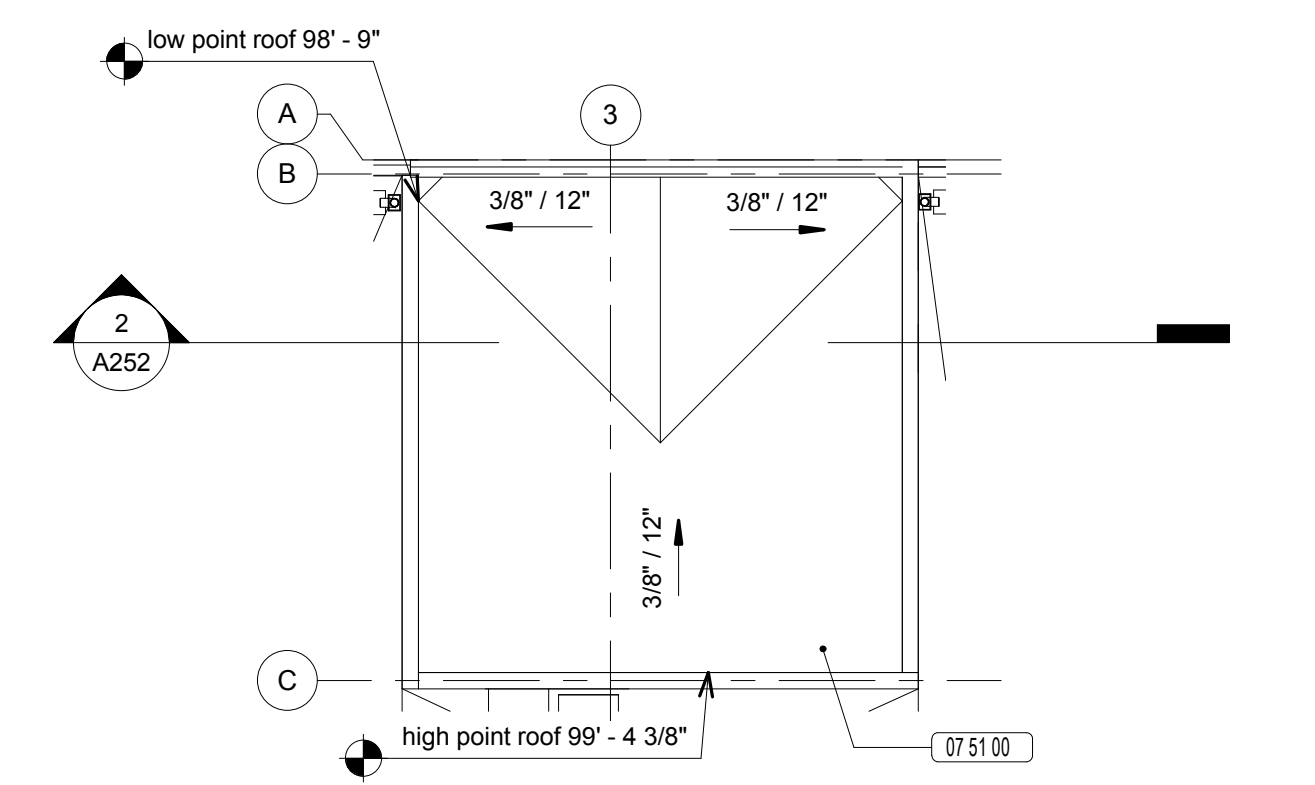
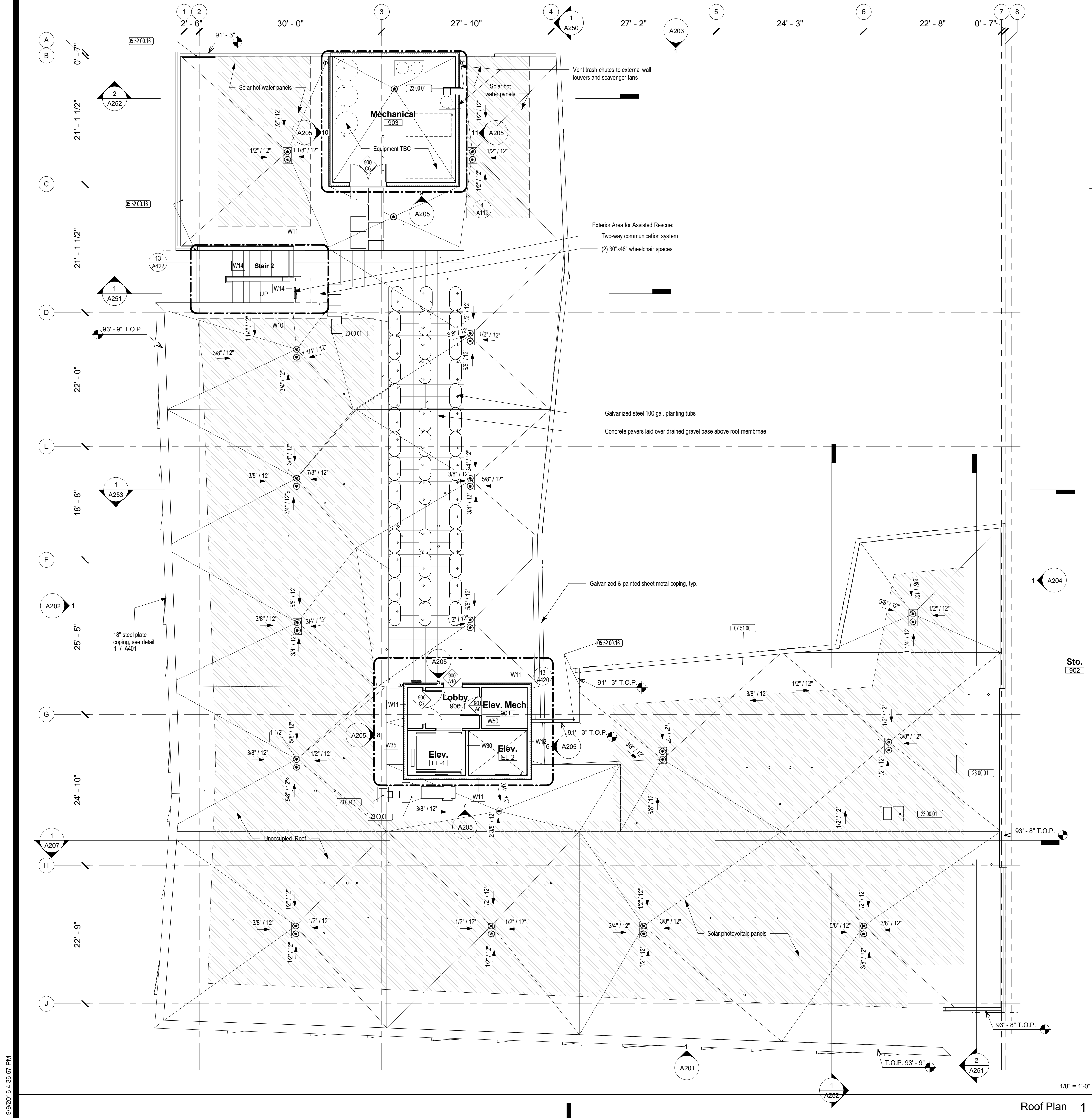
SHEET TITLE
Floor Plan - Level 8

SCALE	1/8" = 1'-0" @ 24 x 36
JOB NUMBER	20618
RELEASE DATE	9-7-2016
DRAWN BY	Author
CHECKED BY	Checker

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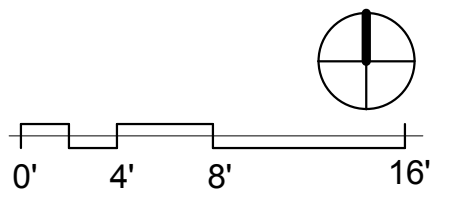


9/9/2016 4:36:45 PM



KEYNOTE LEGEND

05 52 00.16	Metal Guardrail
07 51 00	Modified Bitumen Roofing, TYP. U.O.N.
23 00 01	Mechanical Equipment, S.M.D.



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Pre-application questions	12/8/15
100% SD Set	1/15/16
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ADDENDA

No.	Description	Date

SHEET TITLE
Roof Plan

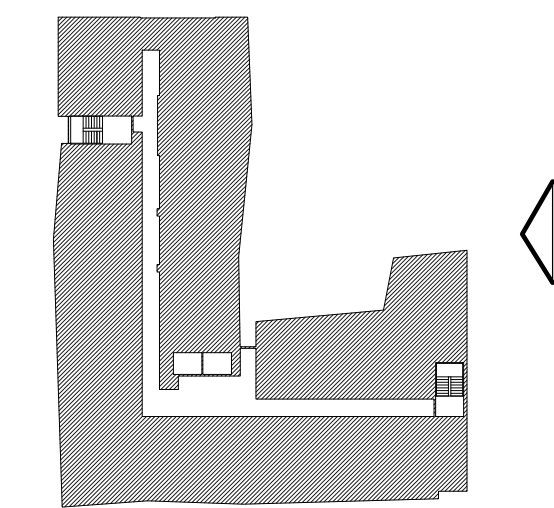
SCALE 1/8" = 1'-0" @ 24 x 36

JOB NUMBER 20618	RELEASE DATE 9-7-2016
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KEYNOTE LEGEND	
08 43 00	Aluminum Framed Storefront with Clear Double Glazing, Typ.
08 91 00.A2	



0' 2' 4' 8'



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 dbarchitect.com
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Pre-application questions	12/8/15
100% SD Set	1/15/16
100% DD Set	5/12/16

ADDENDA		
No.	Description	Date

SHEET TITLE
 Elevation - East

SCALE	
As indicated @ 24 x 36	
JOB NUMBER 20618	RELEASE DATE 9-7-2016
DRAWN BY Author	CHECKED BY Checker

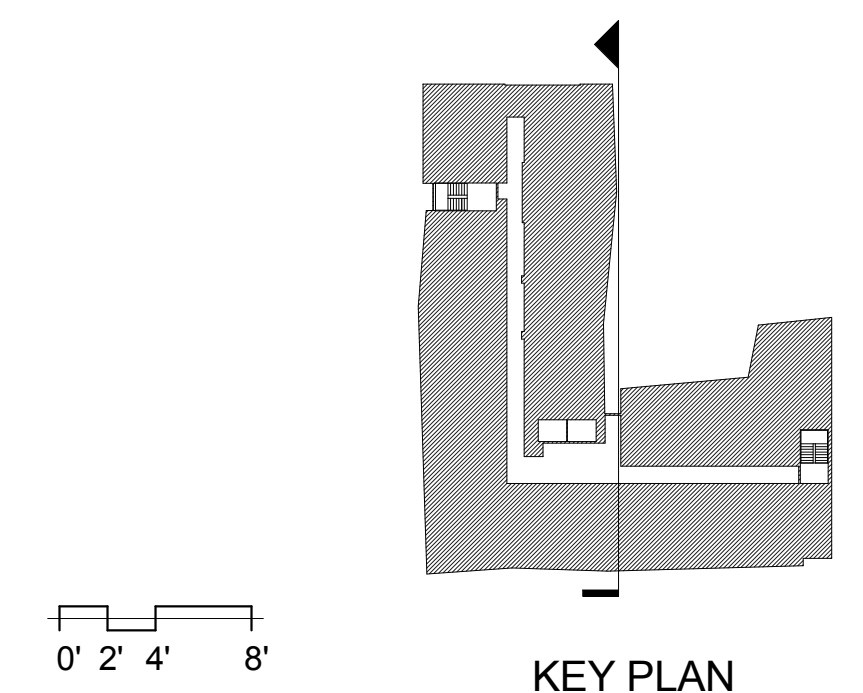
A204

OF SHEETS



KEYNOTE LEGEND

05 52 00.13	Metal Handrail, 1-1/2" diameter
08 91 00.A2	
10 14 00.01	Signage typ., see Signage Plan
23 56 13	



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 dbarchitect.com
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	DATE
Pre-application questions	12/8/15
100% SD Set	1/15/16
100% DD Set	5/12/16

ADDENDA

No.	Description	Date

SHEET TITLE
Building Section at Courtyard

SCALE
 As indicated @ 24 x 36

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Pre-application questions	12/8/15
100% SD Set	1/15/16
100% DD Set	5/12/16

ADDENDA

No.	Description	Date

SHEET TITLE

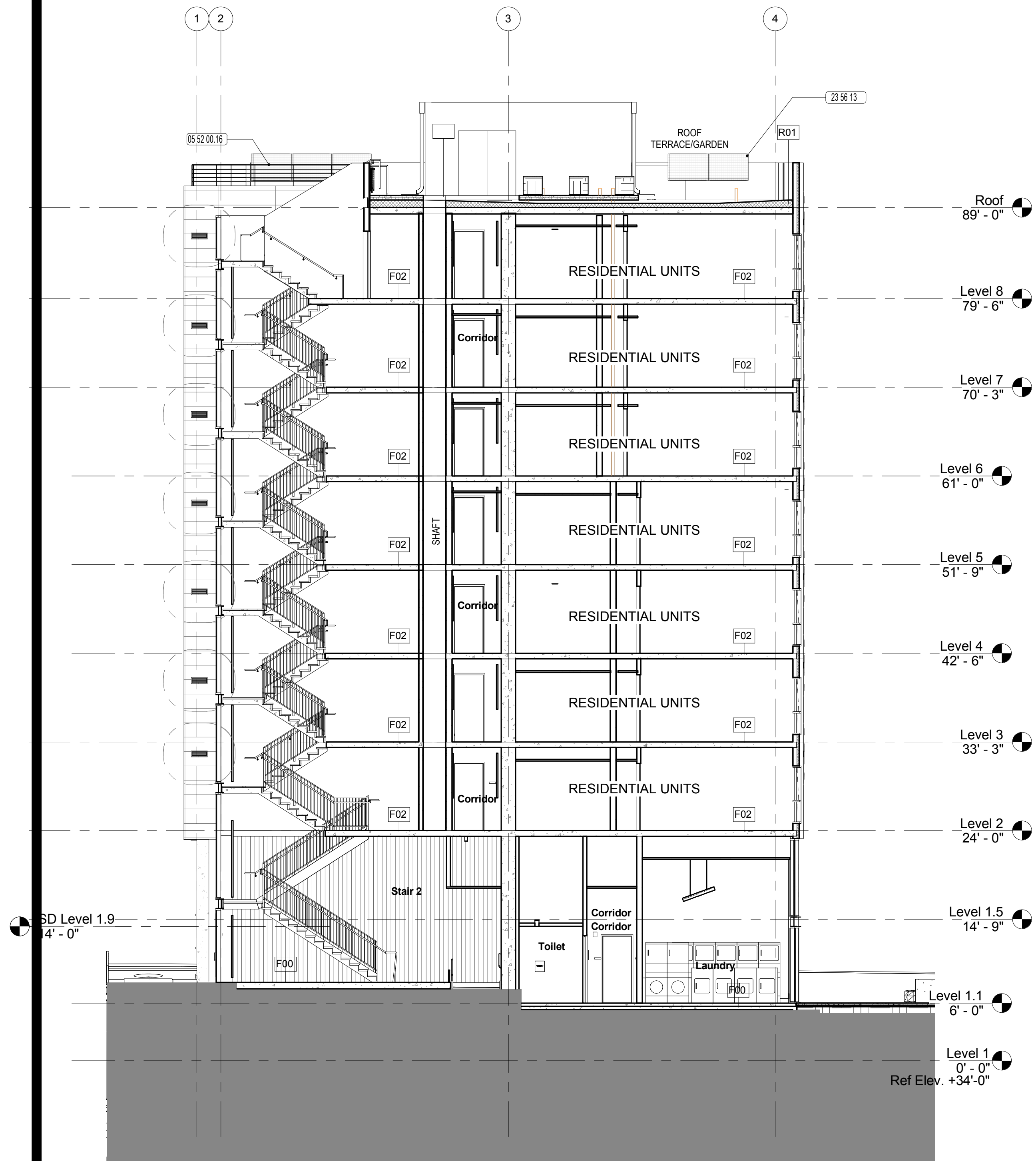
Building Section at Stairs

SCALE
 As indicated @ 24 x 36

JOB NUMBER 20618	RELEASE DATE 9-7-2016
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A251

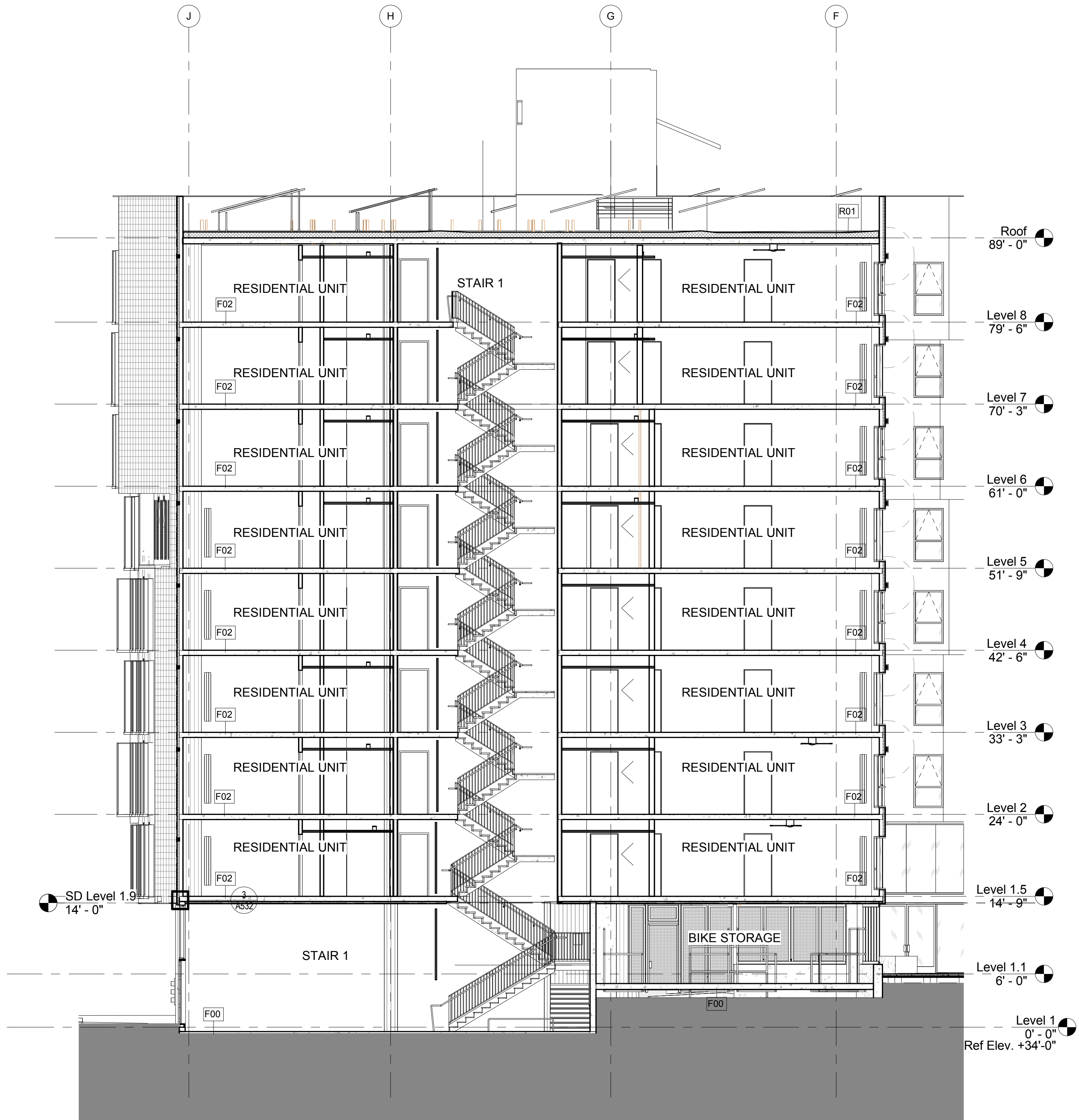
OF SHEETS



1/8" = 1'-0"

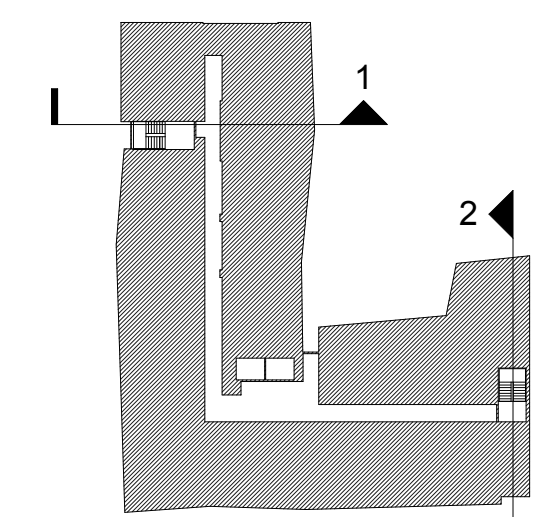
Section at North Stair | 1

KEYNOTE LEGEND	
05 52 00.16	Metal Guardrail
23 56 13	



1/8" = 1'-0"

Section at South Stair | 2



KEY PLAN



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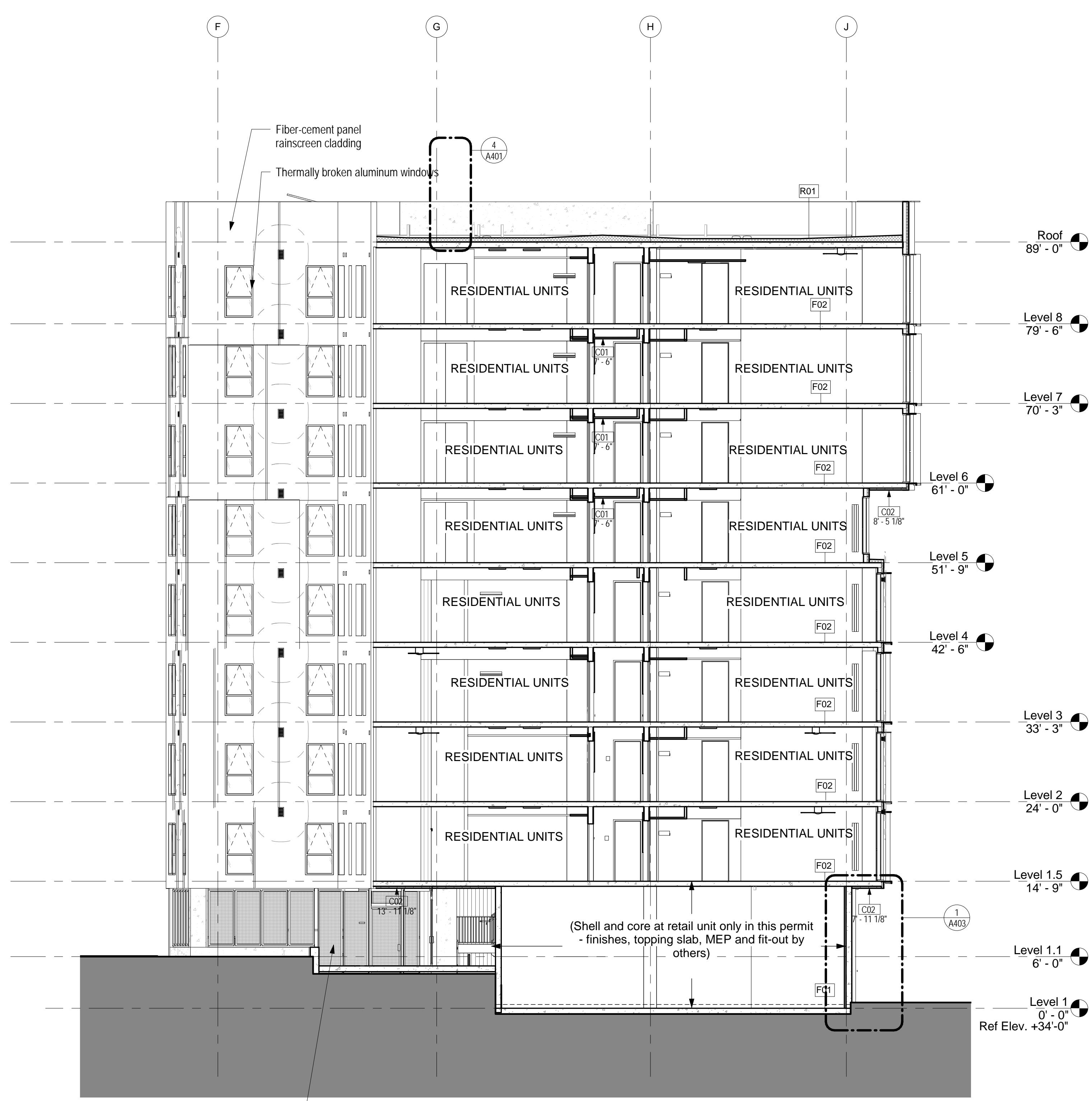
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Pre-application questions	12/8/15
100% SD Set	1/15/16
100% DD Set	5/12/16

ADDENDA		
No.	Description	Date

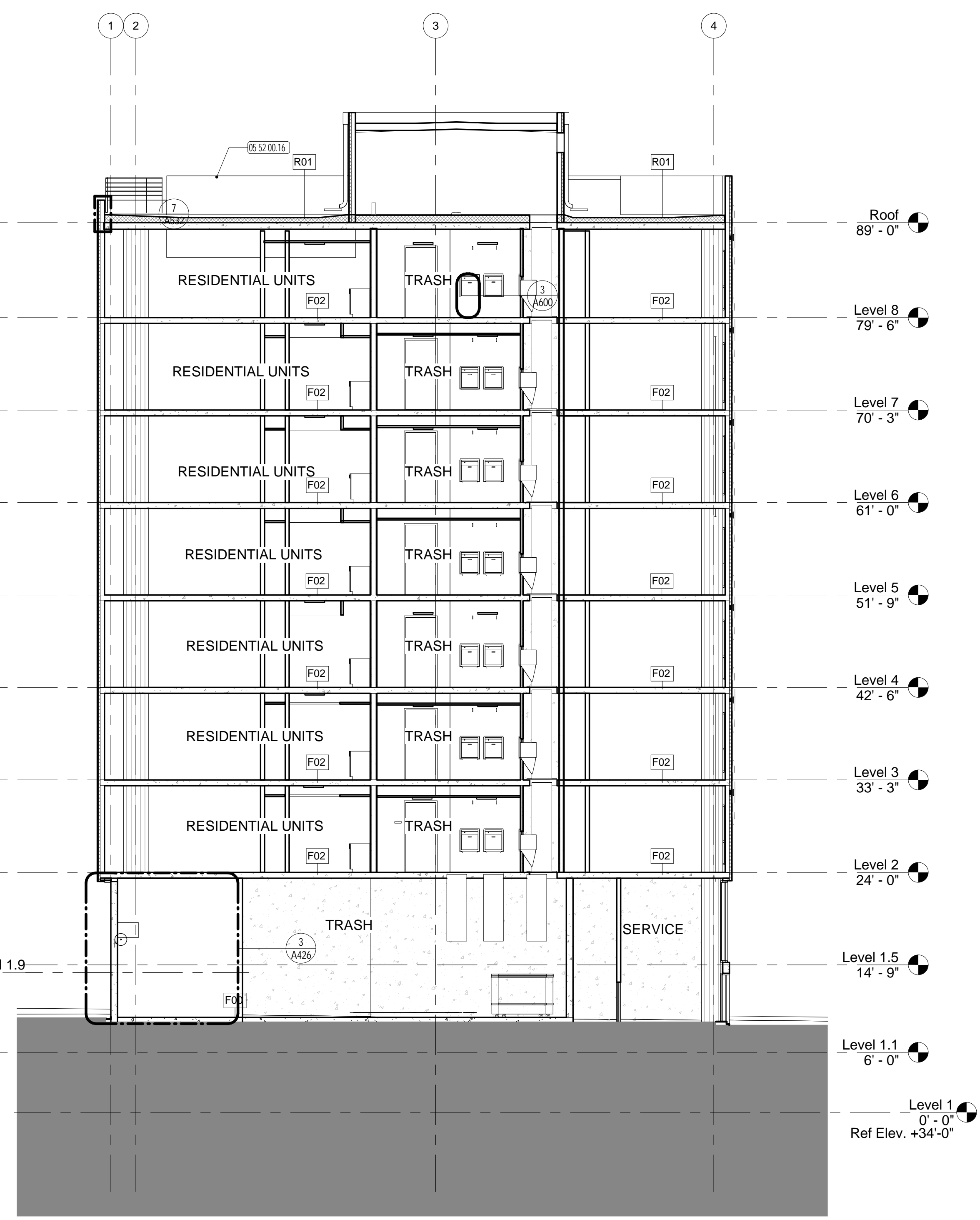
SHEET TITLE
Building Sections

SCALE	
As indicated @ 24 x 36	
JOB NUMBER 20618	RELEASE DATE 9-7-2016
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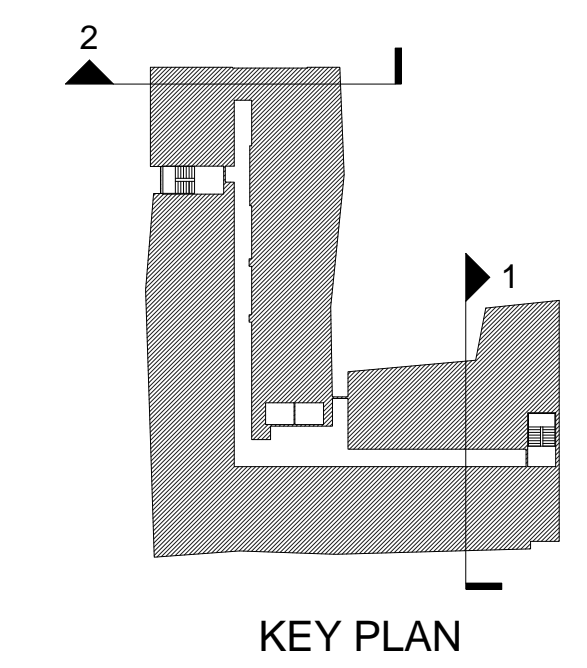
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Section Looking East 1
 1/8" = 1'-0"



Section at Services 2
 1/8" = 1'-0"



KEYNOTE LEGEND	
05 52 00.16	Metal Guardrail

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100% SD Set	1/15/16
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ADDENDA

No.	Description	Date

SHEET TITLE

**Building Section
 Across Courtyard**

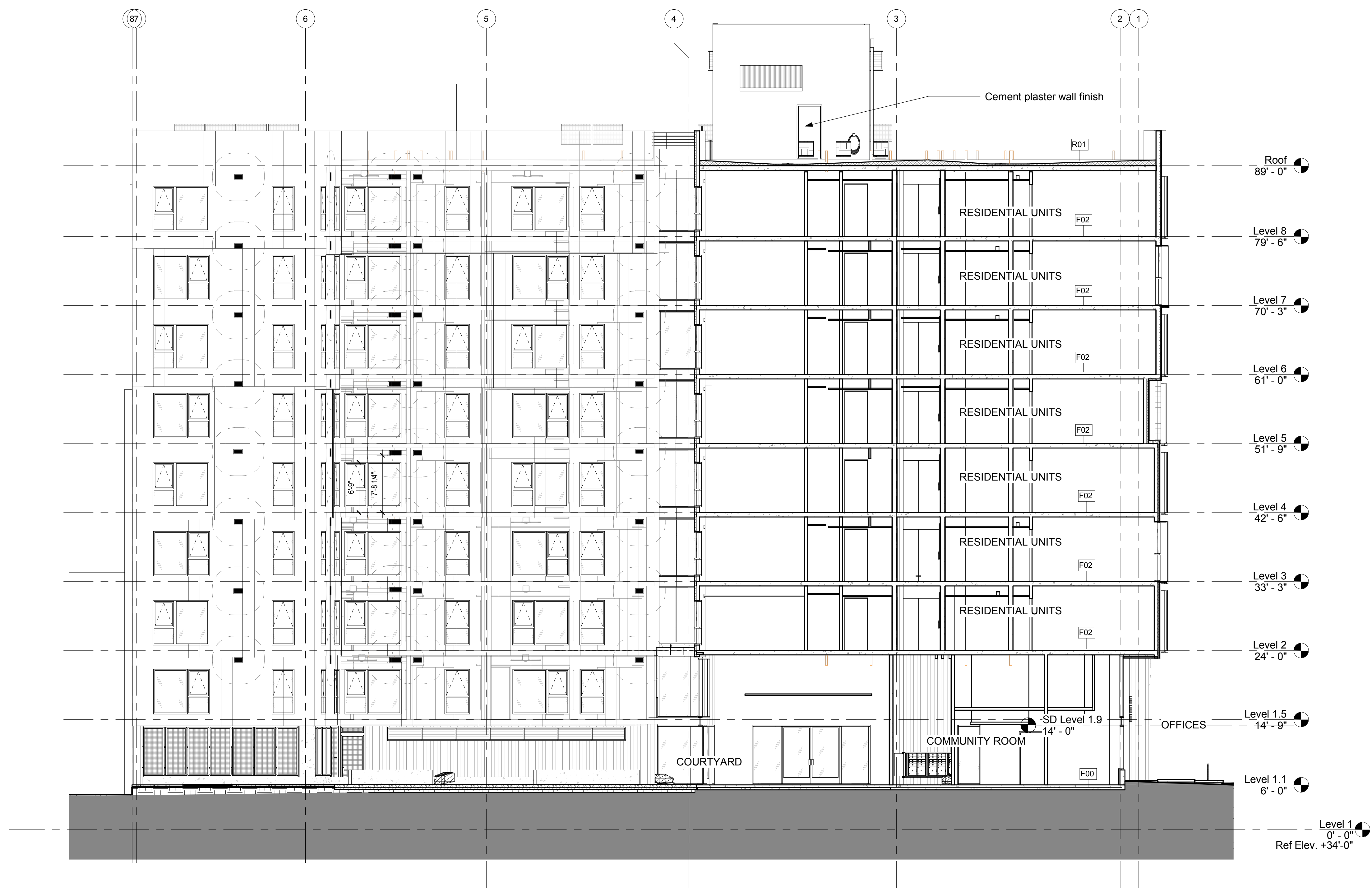
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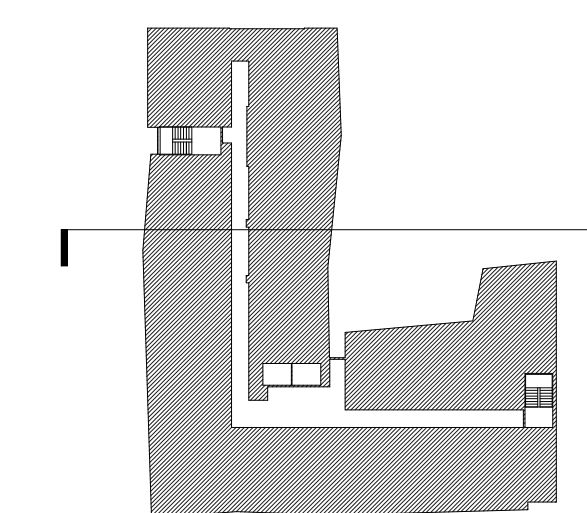
JOB NUMBER	RELEASE DATE
20618	9-7-2016
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Section Through Community Room | 1



KEY PLAN