



CONDITIONAL USE AUTHORIZATION APPEAL

2001 37TH AVENUE

DATE: September 15, 2020
TO: Angela Calvillo, Clerk of the Board of Supervisors
FROM: Rich Hillis, Planning Director – Planning Department (628) 652-7411
Jeff Horn, Case Planner – Planning Department (628) 652-7633
RE: Board File No. 200996, Planning Case No. 2018-012648CUA
Appeal of Conditional Use Authorization for 2001 37th Avenue
HEARING DATE: September 22, 2020
PROJECT SPONSOR: Ken Stupi, VP of Finance & Administration, St. Ignatius College Preparatory,
2001 37th Avenue, San Francisco, CA 94116
APPELLANTS: Deborah Brown, for Saint Ignatius Neighborhood Association (SINA), 2151 39th Avenue,
San Francisco, CA 94116

INTRODUCTION

This memorandum and the attached documents are a response to the letters of appeal to the Board of Supervisors (“Board”) regarding the Planning Commission’s (“Commission”) approval of the application for Conditional Use Authorization under Planning Department Case Number 2018-012648CUA pursuant to Planning Code Sections 209.1, 303 (Conditional Use Authorization) and 304 (Planned Unit Developments), to amend an existing Planned Unit Development for an existing secondary school (St. Ignatius College Preparatory) to allow the addition of four 90-foot tall outdoor light standards to the J.B. Murphy Field Stadium and for a Wireless Telecommunication Services Facility to be attached to the northwest light standard.

This memorandum addresses the appeal to the Board, filed on August 21, 2020 by Deborah Brown, representing the Saint Ignatius Neighborhood Association (SINA).

The decision before the Board is whether to uphold, overturn, or amend the Planning Commission’s approval of an application for Conditional Use Authorization to allow the establishment of an MCD at the subject property.

SITE DESCRIPTION & PRESENT USE

Saint Ignatius College Preparatory (SI) has been operated by the Society of Jesus and been in San Francisco since 1855 and has been located at 2001 37th Avenue in the Sunset District of San Francisco since 1969 (CU66.005). Originally an all-boys schools, SI became co-ed in 1989 and made improvements that were undertaken as part of the Planned Unit Development, the project included the gymnasium and pool, a student center and a parking structure. (Motion No. 12024). Further amendments to the Project’s Planned Unit Development were made in 2004 to add

lights to the upper sports field (Motion No. 16770) and to expand the student center (Motion No. 17115). In 2018 a new 100-student, 6th through 8th grade middle school, the Fr. Sauer Academy, was established (Motion No. 20204).

The SI campus occupies a 495,470 square foot parcel and is developed with approximately 290,595 square feet of secondary school facilities. J.B. Murphy Field athletic stadium is located at the southwest corner of the campus, with frontage on 37th Avenue and Rivera Street. The stadium consists of a football field with artificial turf and a six-lane synthetic track that surrounds the football field perimeter. There is a seating capacity of 2008 – a 1,234 seat home bleacher section which includes a 20 person press box and a 774 seat visitors' section. There are two storage buildings located at the northwest corner of the project site, a classroom building and weight room adjacent to the northeast corner of the site. The project site also includes a free-standing scoreboard located in the south end of the football field and various other track facilities located near the north football field end zone. The project site is surrounded by a steel fence with four locked access gates located on-site: three locked gates on 39th avenue and one locked gate on Rivera Street.

Field usage has expanded over the years with the addition of coed sports. The field is currently used Monday through Sunday on an annual basis for approximately 100 games/meets (including pre-season), up to 20 playoff games, 750 practices and 50 events for outside not-for-profit groups.

SURROUNDING PROPERTIES AND NEIGHBORHOOD

The subject property is in the Outer Sunset neighborhood. The AP Gianni Middle School, Ortega Branch Library, West Sunset Playground and Fields, and the Sunset Elementary School are located to the north, and the San Francisco Park and Recreation Sports fields to the east. The Sunset Parkway, consisting of 36th Avenue, Sunset Boulevard, 37th Avenue and landscaped medians are located to the east of the project. The predominant uses in the immediate area are two-story, low density, mostly single-family residential homes, including directly west of the sports field across 39th Avenue and to the south across Rivera Street. The subject property is also within .25-miles of stops for the 29 MUNI transit line.

PROJECT DESCRIPTION

The Project proposes the expansion of an existing private secondary school, St. Ignatius College Preparatory, by adding four (4) 90-foot tall light standards to the J.B. Murphy Field Stadium. The four standards will be situated symmetrically in a rectangular formation surrounding the football field (at approximately the 10-yard line). Additional safety lighting will be added for the bleachers and sidewalk surrounding the field.

The addition of the lights will allow for weekday and weekend evening use of the field for practice, games and events. As approved, on Monday through Thursday nights the lights shall be dimmed no later than 8:30 pm and turned off no later than 9:00 pm and on up to 20 evenings per year, the lights may remain on until 10:00 pm. The lights may be used for no more than 150 nights per year.

On the proposed northwest standard, Verizon Wireless is seeking to install and operate an unmanned macro wireless communications facility. The physical components of the projects consist of nine (9) Antennas, six (6) Remote Radio Units located on the light standard, two (2) Surge Suppressors and ancillary equipment located within a 12-foot by 28-foot, 336 square foot, fenced compound on the ground adjacent to the north of the light standard.

BACKGROUND

On February 8, 2018, Ken Stupi, VP of Finance & Administration at St. Ignatius College Preparatory filed an application with the Planning Department for Conditional Use Authorization to amend an existing Planned Unit Development for an existing secondary school (St. Ignatius College Preparatory) to allow the addition of four 90-foot tall outdoor light standards to the J.B. Murphy Field Stadium and On March 31, 2020, Chad Christie of Ridge Communications, representing Verizon Wireless, filed a supplemental Conditional Use Authoritarian application for a Wireless Telecommunication Services Facility to be attached to the northwest light standard.

On July 30, 2020, the Planning Commission heard the proposed Conditional Use application for 2001 37th Avenue. The Commission discussed and modified Condition of Approval #11 to limit the total usage of the lighted field to no more than 150 nights per year, to require the lights to be dimmed no later than 8:30 PM and turned off no later than 9:00 PM during Monday through Thursday use, and to limit usage of the lights by affiliates of the school for no more than 20 of the 150 nights. The lights may be used until 10:00 PM for 20 of the 150 nights. The Planning Commission approved the project with conditions as modified, with a vote of six to one.

CONDITIONAL USE AUTHORIZATION REQUIREMENTS

Planning Code Section 303 establishes criteria for the Commission to consider when reviewing all applications for Conditional Use approval. To approve the project, the Commission must find that these criteria have been met:

1. That the proposed use or feature, at the size and intensity contemplated and at the proposed location, will provide a development that is necessary or desirable for, and compatible with, the neighborhood or the community; and
2. That such use or feature as proposed will not be detrimental to the health, safety, convenience or general welfare of persons residing or working in the vicinity, or injurious to property, improvements or potential development in the vicinity, with respect to aspects including but not limited to the following:
 - a. The nature of the proposed site, including its size and shape, and the proposed size, shape and arrangement of structures;
 - b. The accessibility and traffic patterns for persons and vehicles, the type and volume of such traffic, and the adequacy of proposed off-street parking and loading;
 - c. The safeguards afforded to prevent noxious or offensive emissions such as noise, glare, dust and odor;
 - d. Treatment given, as appropriate, to such aspects as landscaping, screening, open spaces, parking and loading areas, service areas, lighting and signs; and
3. That such use or feature as proposed will comply with the applicable provisions of this Code and will not adversely affect the General Plan.
4. That such use or feature as proposed will provide development that is in conformity with the stated purpose of the applicable Use District.

In addition, Planning Code Section 304 sets forth the following the following additional criteria that the Planning Commission shall consider in the review of applications for Planned Unit Development:

1. Affirmatively promote applicable objectives and policies of the General Plan;
2. Provide off-street parking appropriate to the occupancy proposed and not exceeding principally-permitted maximum amounts;

3. Provide open space usable by the occupants and, where appropriate, by the general public, at least equal to the open spaces required by this Code;
4. Be limited in dwelling unit density to less than the density that would be allowed by Article 2 of this Code for a district permitting a greater density, so that the Planned Unit Development will not be substantially equivalent to a reclassification of property;
5. In R Districts, include Commercial Uses only to the extent that such uses are necessary to serve residents of the immediate vicinity, subject to the limitations for NC-1 Districts under this Code, and in RTO Districts include Commercial Uses only according to the provisions of Section 231 of this Code;
6. Under no circumstances be excepted from any height limit established by Article 2.5 of this Code, unless such exception is explicitly authorized by the terms of this Code. In the absence of such an explicit authorization, exceptions from the provisions of this Code with respect to height shall be confined to minor deviations from the provisions for measurement of height in Sections 260 and 261 of this Code, and no such deviation shall depart from the purposes or intent of those sections;
7. In NC Districts, be limited in gross floor area to that allowed under the floor area ratio limit permitted for the district in Section 124 and Article 7 of this Code;
8. In NC Districts, not violate the use limitations by story set forth in Article 7 of this Code; and
9. In RTO and NCT Districts, include the extension of adjacent alleys or streets onto or through the site, and/or the creation of new publicly-accessible streets or alleys through the site as appropriate, in order to break down the scale of the site, continue the surrounding existing pattern of block size, streets and alleys, and foster beneficial pedestrian and vehicular circulation.
10. Provide street trees as per the requirements of Section 138.1 of the Code.
11. Provide landscaping and permeable surfaces in any required setbacks in accordance with Section 132 (g) and (h).

APPELLANT ISSUES AND PLANNING DEPARTMENT RESPONSES

ISSUE 1: The stadium lighting project does not meet the requirements of the Planning Code including at a minimum: Sections 101(b), 134, 138.1(c)(2), 209.1, 253(b)(1), and 303(c), and may not meet the requirements of Police Code Articles 15 and 29. Further, the school has repeatedly violated Code Section 205.4(b).

RESPONSE 1: On balance, the Planning Commission found that the proposed project was consistent with the Planning Code.

When making General Plan Consistency, per Planning Code Sections 101(b), 209.1, 303(c) and 304(d), the Planning Commission must often balance competing policies and come to a decision as to whether or not the proposed project is, on balance, consistent with the General Plan. In this case, the Commission found that, on balance, the proposed project was consistent with the General Plan. In addition to finding consistency with other policies in the general plan, the Commission also found that the resulting project would maintain and expand educational and recreational uses, which are uses in support of families and children in San Francisco, that the light system would have a nominal impact of light and glare to the surrounding residential areas, that nighttime use of the field is not expected to adversely impact traffic and parking in the neighborhood, and that the resulting project is desirable because it promotes the operation of a neighborhood-serving school.

The project is required to maintain a rear yard of 25%, opposite from the 37th Avenue frontage, per Planning Code Section 134. The Project seeks to encroach into the rear yard by constructing two 90-foot tall light standards and the macro WTS facility with ancillary equipment located within a 12-foot by 28-foot, 336 square foot, fenced compound

on the ground adjacent to the northwest light standard. The Planning Commission approved a rear yard modification per the criteria and limitations provided in Planning Code Section 304.

Police Code Articles 15 and 29 and intermittent uses pursuant to Planning Code Section 205.4(b) are not subject to Findings for Conditional Use Authorization by the Planning Commission and were not considered within Resolution 20796.

ISSUE 2: The Verizon Wireless project does not meet the requirements of the Wireless Telecommunications Services Facilities Siting Guidelines, specifically Sections 5, 6, 7, and 8 including Section 8.1 Location Preferences.

RESPONSE 2: The Planning Commission found that proposed project complies with the requirements of the Wireless Telecommunications Services Facilities Siting Guidelines and the General Plan.

The Planning Commission found that, on balance, the proposed project is consistent with the Wireless Telecommunications Services Facilities Siting Guidelines, and the Objectives and Policies of the General Plan. The proposed WTS facility would be screened from view by virtue of proposed enclosures, and their placement on light standard. The proposal would not significantly detract from views of the Subject property or from views of other surrounding buildings, nor would it detract from adjacent streetscapes, and vistas.

The proposed WTS meets the requirements of the *Wireless Telecommunication Services Facility Siting Guidelines*. The guidelines classify a proposed WTS facility as a Preference 2 co-location, if the Project Site features an existing “Macro” WTS facility that was approved pursuant to the WTS Facility Siting Guidelines.

ISSUE 3: The height of the lighting/wireless poles should not be exempted under Code Section 260(b)(2)(I) and (260(b)(2)(J) since they otherwise violate Section 253(b)(1) 40-X height district, and would be located in a "protected residential area" as defined in the General Plan Urban Design Element.

RESPONSE 3: Planning Code Section 260(b)(2) provides features that are exempt from the height limits established by the Planning Code.

Planning Code Section 260(b)(2) provides features that are exempt from the height limits established by the Planning Code. The project proposes features that exempt from height limits per Planning Code Section 260(b)(2)(J), “Warning and navigation signals and beacons, light standards and similar devices...” and (I) “Wireless Telecommunications Services Facilities and other antennas...”

SUMMARY RESPONSE

The appellant brings up several issues in their application that are either not germane to the CU appeal, including the Police Code, intermittent uses as provided in Planning Code 205.4(b). The remaining issues have to deal with the proposed project’s compliance with the City’s General Plan and Planning Code. On these issues, the Planning Commission the Project is, on balance, consistent with the Objectives and Policies of the General Plan and the Wireless Telecommunications Services Facilities Siting Guidelines. The Commission found that the maintains and expands educational and recreational uses, which are uses in support of families and children in San Francisco. The light system would have a nominal impact of light and glare to the surrounding residential areas and nighttime use of the field is not expected to adversely impact traffic and parking in the neighborhood, therefore the Project is desirable because it promotes the operation of a neighborhood-serving school.

The Commission found the proposed WTS facility would be screened from view by virtue of proposed enclosures, and their placement on light standard. The proposal would not significantly detract from views of the subject property or from views of other surrounding buildings, nor would it detract from adjacent streetscapes, and vistas.

CONCLUSION

For the reasons stated in this document, in the attached Resolution, and in the Planning Department case file, the Planning Department recommends that the Board uphold the Planning Commission's decision in approving the Conditional Use authorization to amend an existing Planned Unit Development to allow the expansion of an existing private secondary school by adding four (4) 90-foot tall light standards and a macro wireless communications facility to the J.B. Murphy Field Stadium and nighttime use of the field for up to 150 nights per year, and deny the requests from Appellants to overturn or modify the Commission's decision.



SAN FRANCISCO PLANNING DEPARTMENT

Executive Summary Conditional Use Authorization

HEARING DATE: JULY 23, 2020

Case No.: 2018-012648CUA
Project Address: 2001 37th Avenue
Zoning: Residential-House, One Family (RH-1)
40-X Height and Bulk District
Block/Lot: 2094/006
Applicant: St. Ignatius College Preparatory
Ken Stupi
2001 37th Avenue
San Francisco, CA, 94116
Property Owner: St. Ignatius College Preparatory
2001 37th Avenue
San Francisco, CA, 94116
Staff Contact: Jeff Horn – (415) 575-6925
jeffrey.horn@sfgov.org
Recommendation: **Approval with Conditions**

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PROJECT DESCRIPTION

The project proposes the expansion of an existing private secondary school, St. Ignatius College Preparatory (SI), by adding four (4) 90-foot tall light standards to the J.B. Murphy Field Stadium. The standards will be situated symmetrically in a rectangular formation surrounding the existing football field (at approximately the 10-yard line). The lighting standards would allow for nighttime use of the field for practice and games by St. Ignatius' athletic teams. The addition of the lights will allow for weekday and weekend evening use of the field for practice, games and events. The proposed usage of the lights is that on Monday through Thursday nights the lights shall be turned off no later than 9:00 PM and on up to 20 evenings per year the lights may remain on until 10:00 PM.

On the proposed northwest standard, Verizon Wireless is seeking to install and operate an unmanned macro wireless telecommunication service (WTS) facility. The physical components of the WTS consists of nine (9) Antennas, six (6) Remote Radio Units located on the light standard, two (2) Surge Suppressors and ancillary equipment within a 12-foot by 28-foot, 336 square foot, fenced compound located on the ground adjacent to the north side of the light standard.

REQUIRED COMMISSION ACTION

In order for the Project to proceed, the Commission must grant a Conditional Use Authorization, pursuant to Planning Code Sections 209.1, 303, and 304 to amend an existing Planned Unit Development to allow the expansion of a private secondary school by constructing four light standards and a macro WTS facility with a rear yard modification within an RH-1 Zoning District.

ISSUES AND OTHER CONSIDERATIONS

- **Public Comment & Outreach:**

- **Community Outreach:** The Sponsor maintains neighborhood outreach mailing and email lists to provide school and project related updates to the community and have a “Good Neighbor” program with a corresponding website. The Project Sponsor has held four (4) community meetings specific to the Stadium Lights projects, as well as other outreach and communication efforts.

Per Planning Commission policy (Resolution No. 16539), Verizon held a virtual public outreach meeting on Wednesday, April 29, 2020, from 6:00PM – 7:00PM on the proposed WTS facility. The Department received 4 correspondences from the public regarding the proposed project and the facilitation of this meeting. Verizon had noticed an in-person meeting for March 18, 2020, which had to be cancelled due to the City’s March 16th, 2020, *Shelter in Place* Health Order.

The project was continued without being heard from the June 11, 2020 Planning Commission hearing to allow the Sponsor to further meet with the neighbors and to present an additional Condition of Approval (#11 of the attached Draft Motion) for the project, which includes an reduction in the hours of the usage of the field for practice on weeknights, communication and reporting commitments, and a large events management plan.

- **Public Comment:** The Department has received approximately 105 letters of support of the lights and nighttime use of the sports field, most letters received were from residents of the Sunset neighborhood and approximately 32 letters in opposition to the project with concerns of impacts from lights and increased traffic and parking, most of which are from residents of the surrounding streets, including a letter with supplemental materials submitted by the Saint Ignatius Neighborhood Association and a online petition with 150 signatures.
- **Institutional Master Plan:** On June 18, 2018, the Project Sponsor made an informational presentation to the Planning Commission of an Institutional Master Plan, detailing future projects and growth for the SI campus. The sports field lights project was included in the document and presentation.
- **Planned Unit Development Modifications:** Since the project site is larger than a half-acre, the project may seek approval as a Planned Unit Development (PUD) per Planning Code Section 304. Under the PUD, the Commission may grant modifications from certain Planning Code requirements for projects that produce an environment of stable and desirable character which will benefit the occupants, the neighborhood and the City as a whole. The project requests modifications from the Planning Code requirements for rear yard (Planning Code Section 134). The two western light standards and Verizon’s ancillary equipment are located within the sites’ required 25% rear yard (137 feet, 6 inches).
- **Environmental Review:**
 - **Transportation.** The department’s transportation staff reviewed the proposed project and determined that additional transportation review is not required. The proposed addition of lights at the existing facility would not expand the use of such facility. Instead, the proposed lights would shift the existing use to later times in the day and/or days of the week.

- **Lighting.** The proposed lighting design uses the Light Structure System equipped with total light control for LED fixtures. The total light control for the LED fixtures are designed to concentrate the light on the field area with minimal light emitted outside the targeted areas. The lighting system is designed with a feature allowing the lights to be switched to a “dimmed” setting. This feature would allow the lights to be turned down during events not requiring full lighting. The proposed field lighting system would be equipped with spill and glare shielding.

A lighting study prepared for the proposed project by Musco Lighting illustrates that light measurements at the nearest residences (approximately 100 feet), would drop to less than 1 footcandle due to the shielding and focusing of the lights. The light spillover would not be expected to substantially affect the closest residences. In addition, Verde Design provided analysis of the light impact to neighboring areas. The results also indicate that the light and glare from the proposed lighting system would be nominal on surrounding residential areas.

ENVIRONMENTAL REVIEW

The Project is exempt from the California Environmental Quality Act (“CEQA”) as a Class 1 and Class 3 categorical exemption.

BASIS FOR RECOMMENDATION

The Department finds that the Project is, on balance, consistent with the Objectives and Policies of the General Plan. The Project maintains and expands educational and recreational uses, which are uses in support of families and children in San Francisco. The light system would have a nominal impact of light and glare to the surrounding residential areas. Nighttime use of the field is not expected to adversely impact traffic and parking in the neighborhood. The Project is desirable because it promotes the operation of a neighborhood-serving school.

The Department finds that the Project is, on balance, consistent with the Wireless Telecommunications Services Facilities Siting Guidelines, and the Objectives and Policies of the General Plan. The proposed WTS facility would be screened from view by virtue of proposed enclosures, and their placement on light standard. The proposal would not significantly detract from views of the Subject property or from views of other surrounding buildings, nor would it detract from adjacent streetscapes, and vistas.

Overall, the Department also finds the project to be necessary, desirable, and compatible with the surrounding neighborhood, and not to be detrimental to persons or adjacent properties in the vicinity. The Project complies with all relevant requirements and standards of the Planning Code and is consistent with objectives and policies of the General Plan as detailed below.

ATTACHMENTS:

- Draft Motion – Conditional Use Authorization
- Exhibit A – Conditions of Approval
- Exhibit B – Plans, Renderings and Light Study
- Exhibit C – Environmental Determination
- Exhibit D – Maps and Context Photos

Exhibit E – Radio Frequency Report

Exhibit F – Department of Public Health Approval Exhibit

Exhibit G – Coverage Maps Exhibit

Exhibit H – Independent Evaluation Exhibit

Exhibit I – Sponsor Brief, Outreach Summary, and Night Game or Event Management Plan

Exhibit J – Saint Ignatius Neighborhood Association Advance Submissions



SAN FRANCISCO PLANNING DEPARTMENT

Planning Commission Motion No. 20769

HEARING DATE: JULY 23, 2020

Case No.: 2018-012648CUA
Project Address: 2001 37th Avenue
Zoning: Residential-House, One Family (RH-1)
40-X Height and Bulk District
Block/Lot: 2094/006
Applicant: St. Ignatius College Preparatory
Ken Stupi
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ADOPTING FINDINGS RELATING TO THE APPROVAL OF A CONDITIONAL USE AUTHORIZATION & PLANNED UNIT DEVELOPMENT PURSUANT TO PLANNING CODE SECTIONS 209.1, 303 AND 304, TO AMEND AN EXISTING PLANNED UNIT DEVELOPMENT AND ALLOW A MODIFICATION TO THE REQUIREMENTS FOR REAR YARD (PLANNING CODE SECTION 134) FOR THE EXPANSION OF A PRIVATE SECONDARY SCHOOL (ST. IGNATIUS COLLEGE PREPARATORY) THROUGH THE ADDITION OF FOUR 90-FOOT TALL LIGHT STANDARDS TO THE J.B. MURPHY FIELD ATHLETIC STADIUM AND TO INSTALL A NEW VERIZON MACRO WIRELESS TELECOMMUNICATIONS SERVICE FACILITY ATTACHED TO THE NORTHWEST LIGHT STANDARD LOCATED AT 2001 37TH AVENUE, LOT 006 IN ASSESSOR'S BLOCK 2094, WITHIN THE RH-1 (RESIDENTIAL-HOUSE, ONE FAMILY) ZONING DISTRICT AND A 40-X HEIGHT AND BULK DISTRICT, AND TO ADOPT FINDINGS UNDER THE CALIFORNIA ENVIRONMENTAL QUALITY ACT.

PREAMBLE

On February 8, 2018, Ken Stupi, VP of Finance & Administration at St. Ignatius College Preparatory (hereinafter "Project Sponsor") filed an application with the Planning Department (hereinafter "Department") for Conditional Use Authorization to amend an existing Planned Unit Development for an existing secondary school (St. Ignatius College Preparatory) to allow the addition of four 90-foot tall outdoor light standards to the J.B. Murphy Field Stadium and On March 31, 2020, Chad Christie of Ridge Communications, representing Verizon Wireless, filed a supplemental Conditional Use Authoritarian application for a Wireless Telecommunication Services Facility to be attached to the northwest light standard (hereinafter "Project") at 2001 37th Avenue, Block 2094 Lot 006(hereinafter "Project Site").

On June 3, 2020 the project was determined to be exempt from the California Environmental Quality Act ("CEQA") as a Class 1 and Class 3, Existing Facilities and New Construction, under CEQA as described in the determination contained in the Planning Department files for this Project.

On July 23, 2020, the San Francisco Planning Commission (hereinafter "Commission") conducted a duly noticed public hearing at a regularly scheduled meeting on Conditional Use Application No. 2018-012648CUA.

The Planning Department Commission Secretary is the Custodian of Records; the File for Record No. 2018-12648CUA is located at 1650 Mission Street, Suite 400, San Francisco, California.

The Commission has heard and considered the testimony presented to it at the public hearing and has further considered written materials and oral testimony presented on behalf of the applicant, Department staff, and other interested parties. The Commission discussed and modified Condition of Approval #11 to limit the total usage of the lighted field to no more than 150 nights per year, to require the lights to be dimmed no later than 8:30 PM and turned off no later than 9:00 PM during Monday through Thursday use, and to limit usage of the lights by affiliates of the school for no more than 20 of the 150 nights.

MOVED, that the Commission hereby authorizes the Conditional Use Authorization as requested in Application No. 2018-12648CUA, subject to the conditions contained in "EXHIBIT A" of this motion, based on the following findings:

FINDINGS

Having reviewed the materials identified in the preamble above, and having heard all testimony and arguments, this Commission finds, concludes, and determines as follows:

1. The above recitals are accurate and constitute findings of this Commission.
2. **Project Description.** The Project proposes the expansion of an existing private secondary school (St. Ignatius College Preparatory [SI]) to by adding four (4) 90-foot tall light standards differing fixture arrays to the J.B. Murphy Field Stadium. The two poles on the west side of the field (closest to 39th avenue) will have 12 fixtures (9 at the top of the pole, 1 bleacher/emergency egress fixture at 65' and 2 BallTracker fixtures at approximately 15 feet). The two poles on the east side of the field (in front of the home bleachers) will mirror the west side poles in terms of number of fixtures and fixture locations. The four poles will be situated symmetrically in a rectangular formation surrounding the football field (at approximately the 10-yard line). Additional safety lighting will be added for the bleachers and sidewalk surrounding the field.

The addition of the lights will allow for weekday and weekend evening use of the field for practice, games and events. As approved, on Monday through Thursday nights the lights shall be dimmed no later than 8:30 pm and turned off no later than 9:00 pm and on up 20 evenings per year, the lights may remain on until 10:00 pm. The lights may be used for no more than 150 nights per year.

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3. **Site Description and Present Use.** SI has been operated by the Society of Jesus and been in San Francisco since 1855 and has been located at 2001 37th Avenue in the Sunset District of San Francisco since 1969 (CU66.005). Originally an all-boys schools, SI became co-ed in 1989 and made improvements that were undertaken as part of the Planned Unit Development, the project included the gymnasium and pool, a student center and a parking structure. (Motion No. 12024). Further amendments to the Project's Planned Unit Development were made in 2004 to add lights to the upper sports field (Motion No. 16770) and to expand the student center (Motion No. 17115). In 2018 a new 100-student, 6th through 8th grade middle school, the Fr. Sauer Academy, was established (Motion No. 20204).

The SI campus occupies a 495,470 square foot parcel and is developed with approximately 290,595 square feet of secondary school facilities. J.B. Murphy Field athletic stadium is located at the southwest corner of the campus, with frontage on 37th Avenue and Rivera Street. The stadium consists of a football field with artificial turf and a six-lane synthetic track that surrounds the football field perimeter. There is a seating capacity of 2008 – a 1,234 seat home bleacher section which includes a 20 person press box and a 774 seat visitors' section. There are two storage buildings located at the northwest corner of the project site, a classroom building and weight room adjacent to the northeast corner of the site. The project site also includes a free-standing scoreboard located in the south end of the football field and various other track facilities located near the north football field end zone. The project site is surrounded by a steel fence with four locked access gates located on-site: three locked gates on 39th avenue and one locked gate on Rivera Street.

Field usage has expanded over the years with the addition of coed sports. The field is currently used Monday through Sunday on an annual basis for approximately 100 games/meets (including pre-season), up to 20 playoff games, 750 practices and 50 events for outside not-for-profit groups.

4. **Surrounding Properties and Neighborhood.** The AP Gianni Middle School, Ortega Branch Library, West Sunset Playground and Fields, and the Sunset Elementary School are located to the north, and the San Francisco Park and Recreation Sports fields to the east. The Sunset Parkway, consisting of 36th Avenue, Sunset Boulevard, 37th Avenue and landscaped medians are located to the east of the project. The predominant uses in the immediate area are two-story, low density, mostly single-family residential homes, including directly west of the sports field across 39th Avenue and to the south across Rivera Street.
5. **Public Outreach and Comments.** The Project Sponsor maintains neighborhood outreach mailing and email lists to provide school and project related updates to the community and have a "Good

Neighbor” program with a corresponding website. The Project Sponsor has held four (4) community meetings specific to the Stadium Lights projects, as well as other outreach and communication efforts.

Per Planning Commission policy (Resolution No. 16539), Verizon held a virtual public outreach meeting on Wednesday, April 29, 2020, from 6:00PM – 7:00PM on the proposed WTS facility. The Department received 4 correspondences from the public regarding the proposed project and the facilitation of this meeting. Verizon had noticed an in-person meeting for March 18, 2020, which had to be cancelled due to the City’s March 16th, 2020, *Shelter in Place* Health Order.

The Department has received approximately 105 letters of support of the lights and nighttime use of the sports field, most letters received were from residents of the Sunset neighborhood and approximately 32 letters in opposition to the project with concerns of impacts from lights and increased traffic and parking, most of which are from adjacent residents of the surrounding streets, including a letter with supplemental materials submitted by the Saint Ignatius Neighborhood Association and a online petition with 150 signatures.

6. **Past History and Actions.** The Planning Commission adopted the *Wireless Telecommunications Services (WTS) Facilities Siting Guidelines* (“Guidelines”) for the installation of wireless telecommunications facilities in 1996. These Guidelines set forth the land use policies and practices that guide the installation and approval of wireless facilities throughout San Francisco. A large portion of the Guidelines was dedicated to establishing location preferences for these installations. The Board of Supervisors, in Resolution No. 635-96, provided input as to where wireless facilities should be located within San Francisco. The Guidelines were updated by the Commission in 2003 and again in 2012, requiring community outreach, notification, and detailed information about the facilities to be installed.

Section 8.1 of the Guidelines outlines Location Preferences for wireless facilities. There are five primary areas where the installation of wireless facilities should be located:

1. Publicly-used Structures: such facilities as fire stations, utility structures, community facilities, and other public structures;
2. Co-Location Site: encourages installation of facilities on buildings that already have wireless installations;
3. Industrial or Commercial Structures: buildings such as warehouses, factories, garages, service stations;
4. Industrial or Commercial Structures: buildings such as supermarkets, retail stores, banks; and
5. Mixed-Use Buildings in High Density Districts: buildings such as housing above commercial or other non-residential space.

Section 8.1 of the WTS Siting Guidelines further stipulates that the Planning Commission will not approve WTS applications for Preference 5 or below Location Sites unless the application describes (a) what publicly-used building, co-location site or other Preferred Location Sites are located within the geographic service area; (b) what good faith efforts and measures were taken to secure these more Preferred Locations, (c) explains why such efforts were unsuccessful; and (d) demonstrates that the location for the site is essential to meet demands in the geographic service area and the Applicant's citywide networks.

Before the Planning Commission can review an application to install a wireless facility, the Project Sponsor must submit a five-year facilities plan, which must be updated biannually, an emissions report and approval by the Department of Public Health, Section 106 Declaration of Intent, an independent evaluation verifying coverage and capacity, a submittal checklist and details about the facilities to be installed.

Under Section 704(B)(iv) of the 1996 Federal Telecommunications Act, local jurisdictions cannot deny wireless facilities based on Radio Frequency (RF) radiation emissions so long as such facilities comply with the FCC's regulations concerning such emissions.

7. **Location Preference.** The WTS *Guidelines* identify different types of zoning districts and building uses for the siting of wireless telecommunications facilities. Based on the zoning and land use, the proposed WTS facility is at a Location Preference 2 Site (Co-Location Site) according to the WTS *Guidelines*, making it a desired location.
8. **Radio Waves Range.** The Project Sponsor has stated that the proposed wireless network is designed to address coverage and capacity needs in the area. The network will operate at 193 watts for 28 GHz, 172 watts for CBRS, 5,250 watts for AWS, 5,130 watts for PCS, 4,170 watts for cellular, and 3,630 watts for 700 MHz, which are regulated by the Federal Communications Commission (FCC) and must comply with the FCC-adopted health and safety standards for electromagnetic radiation and radio frequency radiation.
9. **Radiofrequency (RF) Emissions:** The Project Sponsor retained Hammett and Edison, Inc, a radio engineering consulting firm, to prepare a report describing the expected RF emissions from the proposed facility. Pursuant to the Guidelines, the Department of Public Health reviewed the report and determined that the proposed facility complies with the standards set forth in the Guidelines.
10. **Department of Public Health Review and Approval.** The Project was referred to the Department of Public Health (DPH) for emissions exposure analysis. Radio-Frequency (RF) levels from the proposed Verizon Wireless transmitters at any nearby publicly accessible building or area would 11% of the FCC public exposure limit.

There are no antennas existing operated by Verizon installed on the roof top of the building at 2001 37th Avenue. Existing RF levels at ground level were around 1% of the FCC public exposure limit.

No other antennas were observed within 100 feet of this site. Verizon proposes to install 12 new antennas. The antennas are mounted at a height of 45- 63 feet above the ground. The estimated ambient RF field from the proposed Verizon transmitters at ground level is calculated to be 0.032 mW/sq cm., which is 5.2 % of the FCC public exposure limit. The three dimensional perimeter of RF levels equal to the public exposure limit extends 94 feet and does not reach any publicly accessible areas. Warning signs must be posted at the antennas and roof access points in English, Spanish and Chinese. Workers should not have access to within 36 feet of the front of the antennas while they are in operation.

11. **Coverage and Capacity Verification.** The maps, data, and conclusion provided by Verizon Wireless to demonstrate the need for outdoor and indoor coverage and capacity have been determined by Hammett and Edison, Inc, an engineering consultant and independent third party, to accurately represent the carrier's present and post-installation conclusions.
12. **Maintenance Schedule.** The facility would operate without on-site staff but with a maintenance crew visiting the property to service and monitor the facility.
13. **Planning Code Compliance.** The Commission finds that the Project is consistent with the relevant provisions of the Planning Code in the following manner:
 - A. **Use.** Planning Code Section 209.1 requires Conditional Use Authorization for a school use and for a macro WTS facility within the RH-1 (Residential House, One-Family) Zoning District. Conditional Use Authorization is also required for a Planned Unit Development pursuant to Planning Code Section 304.

The Project is requesting Conditional Use Authorization from the Planning Commission amend the existing PUD and to allow for the construction of four light standards and to allow a macro WTS facility.

- B. **Rear Yard.** Planning Code Section 134 requires a minimum rear yard equal to 25 percent of the total lot depth of the lot to be provided opposite the Ocean Avenue frontage.

The Project seeks to encroach into the rear yard by constructing two 90-foot tall light standards and a macro WTS facility with ancillary equipment located within a 12-foot by 28-foot, 336 square foot, fenced compound on the ground adjacent to the northwest light standard. As a result, the Project Sponsor is requesting a rear yard modification per the criteria and limitations provided in Planning Code Section 304, described below.

- C. **Review of proposed buildings and structures exceeding a height of 40 feet in RH districts, or more than 50 feet in RM and RC Districts.** Planning Code Section 253 requires that any building or structure exceeding 40 feet in height in a RH District, shall be permitted only upon approval by the Planning Commission according to the procedures for conditional use approval.

Per Planning Code Sections 260(b)(2)(J), "Warning and navigation signals and beacons, light standards and similar devices..." and 260(b)(2)(I) "Wireless Telecommunications Services Facilities and other antennas..." are exempt from height limits established by the Planning Code. The project is seeking approval from the Planning Commission due to the Conditional Use requirements of the expansion of the school and existing PUD and a new WTS facility with a RH-1 District.

- D. **Height.** Planning Code Section 260 requires that all structures be no taller than the height prescribed in the subject height and bulk district. The proposed project is located in a 40-X Height and Bulk District, with a 40-foot height limit.

Per Planning Code Section 260(b)(2)(J), "Warning and navigation signals and beacons, light standards and similar devices..." and (I) "Wireless Telecommunications Services Facilities and other antennas..." are exempt from height limits established by the Planning Code.

14. **Conditional Use Findings.** Planning Code Section 303 establishes criteria for the Planning Commission to consider when reviewing applications for Conditional Use authorization. On balance, the project complies with said criteria in that:

- A. The proposed new uses and building, at the size and intensity contemplated and at the proposed location, will provide a development that is necessary or desirable, and compatible with, the neighborhood or the community.

The Project is, on balance, consistent with the Objectives and Policies of the General Plan. An addition of light standards and evening use of the sports field is not expected to adversely increase or impact traffic and parking in the neighborhood. The Project maintains and expands an educational and recreational use, which are uses that support of families and children in San Francisco. The WTS facility is generally desirable and compatible with the surrounding neighborhood because the Project will not conflict with the existing uses of the property and will be designed to be compatible with the surrounding neighborhood. The overall location, setback from public streets, height and design of the proposed facility, including visible screening elements is situated to avoid intrusion into public vistas, and to ensure harmony with the existing neighborhood character and promote public safety. Recent drive tests in the subject area conducted by the Verizon Wireless Radio Frequency Engineering Team provide that the Project Site is a preferable location, based on factors including quality of coverage and aesthetics.

The Project is desirable because it promotes the operation of a neighborhood-serving school. The Project would be consistent with the mixed character of the immediate neighborhood and would assist in maintaining the area's diverse economic base. The Department also finds the project to be necessary, desirable, and compatible with the surrounding neighborhood, and not to be detrimental to persons or adjacent properties in the vicinity.

- B. The proposed project will not be detrimental to the health, safety, convenience or general welfare of persons residing or working in the vicinity. There are no features of the project that

could be detrimental to the health, safety or convenience of those residing or working the area, in that:

- i. Nature of proposed site, including its size and shape, and the proposed size, shape and arrangement of structures;

The height and bulk of the existing buildings will remain the same and the Project will not alter the existing appearance or character of the project's vicinity. The proposed work will not affect the any existing building envelope.

- ii. The accessibility and traffic patterns for persons and vehicles, the type and volume of such traffic, and the adequacy of proposed off-street parking and loading;

The proposed addition of field lights at the existing facility would not expand the use of such facility. Instead, the proposed lights would shift the existing use to later times in the day and/or days of the week. Additionally, the Planning Code does not require parking or loading for a WTS facility. The proposed use is designed to meet the needs of the immediate neighborhood and should not generate significant amounts of vehicular trips from the immediate neighborhood or citywide.

- iii. The safeguards afforded to prevent noxious or offensive emissions such as noise, glare, dust and odor;

The proposed lighting design uses the Light Structure System equipped with total light control for LED fixtures. The total light control for LED fixtures are designed to concentrate the light on the field area with minimal light emitted outside the targeted areas. The lighting system is designed with a feature allowing the lights to be switched to a "dimmed" setting. This feature would allow the lights to be turned down during events not requiring full lighting. The proposed field lighting system would be equipped with spill and glare shielding. Light and glare from the proposed lighting system would be nominal on surrounding residential areas.

While some noise and dust may result from the installation of the standards and the WTS antennas and transceiver equipment, noise or noxious emissions from continued use are not likely to be significantly greater than ambient conditions due to the operation of the lights and wireless communication network.

A community liaison will also be appointed by the project sponsor to address any related concerns if construction occurs.

- iv. Treatment given, as appropriate, to such aspects as landscaping, screening, open spaces, parking and loading areas, service areas, lighting and signs;

The project requires no additional street treatment. Landscape screening exists between the project's western property line and the proposed leasing area for the WTS facilities accessory equipment. The

proposed field lighting system would be equipped with spill and glare shielding. Light and glare from the proposed lighting system would be nominal on surrounding residential areas.

- C. That the use as proposed will comply with the applicable provisions of the Planning Code and will not adversely affect the General Plan.

The Project is, on balance, consistent with the Objectives and Policies of the General Plan. The Project maintains and expands educational and recreational uses, which are uses in support of families and children in San Francisco. The light system would have a nominal impact of light and glare to the surrounding residential areas. Nighttime use of the field is not expected to adversely impact traffic and parking in the neighborhood. The Project is desirable because it promotes the operation of a neighborhood-serving school.

The Department finds that the Project is, on balance, consistent with the Wireless Telecommunications Services Facilities Siting Guidelines, and the Objectives and Policies of the General Plan. The proposed WTS facility would be screened from view by virtue of proposed enclosures, and their placement on light standard. The proposal would not significantly detract from views of the Subject property or from views of other surrounding buildings, nor would it detract from adjacent streetscapes, and vistas.

Overall, the Department also finds the project to be necessary, desirable, and compatible with the surrounding neighborhood, and not to be detrimental to persons or adjacent properties in the vicinity. The Project complies with all relevant requirements and standards of the Planning Code and is consistent with objectives and policies of the General Plan as detailed below.

- D. That the use as proposed would provide development that is in conformity with the purpose of the applicable Use District.

The Project complies with all relevant requirements and standards of the Planning Code and is consistent with objectives and policies of the General Plan as detailed below. The Project is conditionally permitted within the RH-1 Zoning District and complies with and promotes many of the Objectives and Policies of the General Plan, as detailed below.

15. **Planning Code Section 304** establishes procedures for Planned Unit Developments, which are intended for projects on sites of considerable size, including an area of not less than half-acre, developed as integrated units and designed to produce an environment of stable and desirable character, which will benefit the occupants, the neighborhood and the City as a whole. In the cases of outstanding overall design, complementary to the design and values of the surrounding area, such a project may merit a well-reasoned modification of certain provisions contained elsewhere in the Planning Code.

- A. **Modifications.** The Project Sponsor requests the following modification from the requirements of the Planning Code. These modifications are listed below, along with reference to the relevant discussion for each modification.

Rear Yard: Since the Project Site is larger than a half-acre, the Project may seek approval as a Planned Unit Development (PUD) per Planning Code Section 304. Under a PUD, the Commission may grant modifications from certain Planning Code requirements for projects that produce an environment of stable and desirable character which will benefit the occupants, the neighborhood and the City as a whole. The Project requests modifications from the Planning Code requirements for rear yard (Planning Code Section 134). The two western light standards and Verizon's ancillary equipment are located within the sites' required 25% rear yard (137 feet, 6 inches).

- B. **Criteria and Limitations** Section 304(d) establishes criteria and limitations for the authorization of PUDs over and above those applicable to Conditional Uses in general and contained in Section 303 and elsewhere in the Code. On balance, the Project complies with said criteria in that it:

- 1) Affirmatively promotes applicable objectives and policies of the General Plan;

The Project complies with the objectives and policies of the General Plan, as detailed below.

- 2) Provides off-street parking adequate for the occupancy proposes.

The Project is not required to provide off-street parking.

- 3) Provide open space usable by the occupants and, where appropriate, by the general public, at least equal to the open spaces required by this Code;

The Project far exceeds the required amount of open space for the school through outdoor courtyards and fields.

- 4) Be limited in dwelling unit density to less than the density that would be allowed by Article 2 of this Code for a district permitting a greater density, so that the Planned Unit Development will not be substantially equivalent to a reclassification of property;

No dwelling units are proposed.

- 5) In R Districts, include commercial uses only to the extent that such uses are necessary to serve residents of the immediate vicinity, subject to the limitations for NC-1 Districts under this Code, and in RTO Districts include commercial uses only according to the provisions of Section 230 of this Code;

The Project does not contain or propose commercial uses.

- 6) Under no circumstances be excepted from any height limit established by Article 2.5 of this Code, unless such exception is explicitly authorized by the terms of this Code. In the absence of such an explicit authorization, exceptions from the provisions of this Code with respect to height shall be confined to minor deviations from the provisions for measurement of height in Sections 260 and 261 of this Code, and no such deviation shall depart from the purposes or intent of those sections.

The Project is not requesting any exceptions to the height limits. Per Planning Code Section 260(b)(2)(J), "Warning and navigation signals and beacons, light standards and similar devices..." and (I) "Wireless Telecommunications Services Facilities and other antennas..." are exempt from height limits established by Article 2.5 of the Planning Code.

- 7) In NC Districts, be limited in gross floor area to that allowed under the floor area ratio limit permitted for the district in Section 124 and Article 7 of this Code;

The Project is not located within a NC District.

- 8) In NC Districts, not violate the use limitations by story set forth in Article 7 of this Code; and

The Project is not located within a NC District.

- 9) In RTO and NCT Districts, include the extension of adjacent alleys or streets onto or through the site, and/or the creation of new publicly-accessible streets or alleys through the site as appropriate, in order to break down the scale of the site, continue the surrounding existing pattern of block size, streets and alleys, and foster beneficial pedestrian and vehicular circulation.

The Project is not located in an RTO or NCT District.

- 10) Provide Street trees as per the requirements of Section 138.1 of the Code.

Per Planning Code Section 138.1(c)(1), the Department of Public Works is responsible for reviewing and guiding any new street trees present on the project site.

- 11) Provide landscaping and permeable surfaces in any required setbacks in accordance with Section 132 (g) and (h).

Project is not subject to the requirements of Planning Code Section 132(g) and (h).

16. **General Plan Compliance.** The Project is, on balance, consistent with the following Objectives and Policies of the General Plan:

COMMERCE & INDUSTRY ELEMENT

OBJECTIVE 7:

ENHANCE SAN FRANCISCO'S POSITION AS A NATIONAL AND REGIONAL CENTER FOR GOVERNMENTAL, HEALTH, AND EDUCATIONAL SERVICES.

Policy 7.2

Encourage the extension of needed health and educational services, but manage expansion to avoid or minimize disruption of adjacent residential areas.

The Project maintains and expands an educational use, which is a use in support of families and children in San Francisco. The Project is desirable because it promotes the operation of a neighborhood-serving school. More flexible use of the athletics facilities will also provide greater recreational opportunities to a diverse body of students drawn from the community, thereby improving the educational services provided to the City as a whole.

Policy 7.3

Promote the provision of adequate health and educational services to all geographical districts and cultural groups in the city.

The Project will enhance the educational services available to residents of the local area neighborhoods as well as the City at large. St. Ignatius College Preparatory will continue to provide tuition assistance and outreach to a socially and economically diverse community.

HOUSING ELEMENT

OBJECTIVE 11:

SUPPORT AND RESPECT THE DIVERSE AND DISTINCT CHARACTER OF SAN FRANCISCO'S NEIGHBORHOODS.

Policy 11.8:

Consider a neighborhood's character when integrating new uses, and minimize disruption caused by expansion of institutions into residential areas.

The Project will minimize disruption by expanding the school vertically on the existing Campus, which has been a part of the neighborhood since 1969.

COMMERCE AND INDUSTRY ELEMENT

Objectives and Policies

OBJECTIVE 1:

MANAGE ECONOMIC GROWTH AND CHANGE TO ENSURE ENHANCEMENT OF THE TOTAL CITY LIVING AND WORKING ENVIRONMENT.

Policy 1.1:

Encourage development, which provides substantial net benefits and minimizes undesirable consequences. Discourage development, which has substantial undesirable consequences that cannot be mitigated.

Policy 1.2:

Assure that all commercial and industrial uses meet minimum, reasonable performance standards.

The Project will enhance the total city living and working environment by providing recreational and communication services for residents and workers within the City. Additionally, the Project would comply with Federal, State and Local performance standards.

OBJECTIVE 2:

MAINTAIN AND ENHANCE A SOUND AND DIVERSE ECONOMIC BASE AND FISCAL STRUCTURE FOR THE CITY.

Policy 2.1:

Seek to retain existing commercial and industrial activity and to attract new such activity to the city.

Policy 2.3:

Maintain a favorable social and cultural climate in the city in order to enhance its attractiveness as a firm location.

The Site will be an integral part of a new wireless telecommunications network that will enhance the City's diverse economic base.

OBJECTIVE 4:

IMPROVE THE VIABILITY OF EXISTING INDUSTRY IN THE CITY AND THE ATTRACTIVENESS OF THE CITY AS A LOCATION FOR NEW INDUSTRY.

Policy 4.1:

Maintain and enhance a favorable business climate in the City.

Policy 4.2:

Promote and attract those economic activities with potential benefit to the City.

The Project will benefit the City by enhancing the business climate through improved communication services for residents and workers and hosting sporting events

VISITOR TRADE

OBJECTIVE 8:

ENHANCE SAN FRANCISCO'S POSITION AS A NATIONAL CENTER FOR CONVENTIONS AND VISITOR TRADE.

Policy 8.3:

Assure that areas of particular visitor attraction are provided with adequate public services for both residents and visitors.

The Project will ensure that residents and visitors have adequate public service in the form of Verizon Wireless telecommunications.

COMMUNITY SAFETY ELEMENT

Objectives and Policies

OBJECTIVE 3:

ESTABLISH STRATEGIES TO ADDRESS THE IMMEDIATE EFFECTS OF A DISASTER.

Policy 1.20

Increase communication capabilities in preparation for all phases of a disaster and ensure communication abilities extend to hard-to-reach areas and special populations.

Policy 2.4

Bolster the Department of Emergency Management's role as the City's provider of emergency planning and communication, and prioritize its actions to meet the needs of San Francisco.

Policy 2.15

Utilize advancing technology to enhance communication capabilities in preparation for all phases of a disaster, particularly in the high-contact period immediately following a disaster.

Policy 3.7:

Develop a system to convey personalized information during and immediately after a disaster.

The Project will enhance the ability of the City to protect both life and property from the effects of a fire or natural disaster by providing communication services.

17. **Planning Code Section 101.1(b)** establishes eight priority-planning policies and requires review of permits for consistency with said policies. On balance, the project complies with said policies in that:

- A. That existing neighborhood-serving retail uses be preserved and enhanced and future opportunities for resident employment in and ownership of such businesses be enhanced.

The project site does not possess any neighborhood-serving retail uses. The wireless communications network will enhance personal communication services for businesses and customers in the surrounding area.

- B. That existing housing and neighborhood character be conserved and protected in order to preserve the cultural and economic diversity of our neighborhoods.

The expansion to an existing school has been designed to be sensitive to the surrounding neighborhood character. Overall, the school use is beneficial and supports children and families in the City.

- C. That the City's supply of affordable housing be preserved and enhanced,

The Project does not currently possess any existing affordable housing.

- D. That commuter traffic does not impede MUNI transit service or overburden our streets or neighborhood parking.

The school will manage and supervise traffic and parking adjacent to the school during events, in order to discourage double parking and promote an orderly flow of traffic. The project would change the times that event attendees visit the site, this would not result in increased MUNI ridership, the Project is not expected to materially impair or affect MUNI service or traffic in the neighborhood.

- E. That a diverse economic base be maintained by protecting our industrial and service sectors from displacement due to commercial office development, and that future opportunities for resident employment and ownership in these sectors be enhanced.

The Project does not include commercial office development.

- F. That the City achieve the greatest possible preparedness to protect against injury and loss of life in an earthquake.

The Project will be designed and will be constructed to conform to the structural and seismic safety requirements of the Building Code. This proposal will not impact the property's ability to withstand an earthquake.

- G. That landmarks and historic buildings be preserved.

Currently, the Project Site does not contain any City Landmarks or historic buildings.

- H. That our parks and open space and their access to sunlight and vistas be protected from development.

The proposed light standards would be greater than 40 feet tall but would not be of sufficient bulk to cast substantial shadow. Although the Project may cast shadow on the adjacent public park, the adjacent public park (West Sunset Fields) is still afforded access to sunlight, which should not dramatically affect the use and enjoyment of this park. Therefore, no shadow effects would ensue as a result of the proposed project.

18. The Project is consistent with and would promote the general and specific purposes of the Code provided under Section 101.1(b) in that, as designed, the Project would contribute to the character and stability of the neighborhood and would constitute a beneficial development.
19. The Commission hereby finds that approval of the Conditional Use Authorization would promote the health, safety and welfare of the City.

DECISION

That based upon the Record, the submissions by the Applicant, the staff of the Department and other interested parties, the oral testimony presented to this Commission at the public hearings, and all other written materials submitted by all parties, the Commission hereby **APPROVES Conditional Use Authorization Application No. 2018-012648CUA** subject to the following conditions attached hereto as "EXHIBIT A" in general conformance with plans on file, dated September 18, 2018 for the light standards and April 16, 2019 for the WTS, and stamped "EXHIBIT B", which is incorporated herein by reference as though fully set forth.

APPEAL AND EFFECTIVE DATE OF MOTION: Any aggrieved person may appeal this Conditional Use Authorization to the Board of Supervisors within thirty (30) days after the date of this Motion. The effective date of this Motion shall be the date of this Motion if not appealed (after the 30-day period has expired) OR the date of the decision of the Board of Supervisors if appealed to the Board of Supervisors. For further information, please contact the Board of Supervisors at (415) 554-5184, City Hall, Room 244, 1 Dr. Carlton B. Goodlett Place, San Francisco, CA 94102.

Protest of Fee or Exaction: You may protest any fee or exaction subject to Government Code Section 66000 that is imposed as a condition of approval by following the procedures set forth in Government Code Section 66020. The protest must satisfy the requirements of Government Code Section 66020(a) and must be filed within 90 days of the date of the first approval or conditional approval of the development referencing the challenged fee or exaction. For purposes of Government Code Section 66020, the date of imposition of the fee shall be the date of the earliest discretionary approval by the City of the subject development.

If the City has not previously given Notice of an earlier discretionary approval of the project, the Planning Commission's adoption of this Motion, Resolution, Discretionary Review Action or the Zoning Administrator's Variance Decision Letter constitutes the approval or conditional approval of the development and the City hereby gives **NOTICE** that the 90-day protest period under Government Code Section 66020 has begun. If the City has already given Notice that the 90-day approval period has begun for the subject development, then this document does not re-commence the 90-day approval period.

I hereby certify that the Planning Commission ADOPTED the foregoing Motion on July 23, 2020.



Jonas P. Ionin
Commission Secretary

AYES: Chan, Diamond, Imperial, Johnson, Koppel, Moore

NAYS: Fung

ABSENT: None

ADOPTED: July 23, 2020

EXHIBIT A

AUTHORIZATION

This authorization is for a conditional use to amend an existing Planned Unit Development with a rear yard modification to allow the expansion of a private secondary school (St. Ignatius College Preparatory) by constructing four light standards and a new macro wireless telecommunications facility, located at 2001 37th Avenue, Lot 006 in Assessor's Block 2094, pursuant to Planning Code Section(s) 209.1, 303 and 304 within the Residential-House One Family (RH-1) Zoning District and a 40-X Height and Bulk District; in general conformance with plans, dated September 18, 2018 for the light standards and April 16, 2019 for the WTS, and stamped "EXHIBIT B" included in the docket for Record No. **2018-012648CUA** and subject to conditions of approval reviewed and approved by the Commission on **July 23, 2020** under Motion No. **20769**. This authorization and the conditions contained herein run with the property and not with a particular Project Sponsor, business, or operator.

RECORDATION OF CONDITIONS OF APPROVAL

Prior to the issuance of the building permit or commencement of use for the Project the Zoning Administrator shall approve and order the recordation of a Notice in the Official Records of the Recorder of the City and County of San Francisco for the subject property. This Notice shall state that the project is subject to the conditions of approval contained herein and reviewed and approved by the Planning Commission on **July 23, 2020** under Motion No. **20769**.

PRINTING OF CONDITIONS OF APPROVAL ON PLANS

The conditions of approval under the 'Exhibit A' of this Planning Commission Motion No. **20769** shall be reproduced on the Index Sheet of construction plans submitted with the site or building permit application for the Project. The Index Sheet of the construction plans shall reference to the Conditional Use authorization and any subsequent amendments or modifications.

SEVERABILITY

The Project shall comply with all applicable City codes and requirements. If any clause, sentence, section or any part of these conditions of approval is for any reason held to be invalid, such invalidity shall not affect or impair other remaining clauses, sentences, or sections of these conditions. This decision conveys no right to construct, or to receive a building permit. "Project Sponsor" shall include any subsequent responsible party.

CHANGES AND MODIFICATIONS

Changes to the approved plans may be approved administratively by the Zoning Administrator. Significant changes and modifications of conditions shall require Planning Commission approval of a new Conditional Use authorization.

Conditions of Approval, Compliance, Monitoring, and Reporting PERFORMANCE

1. **Validity.** The authorization and right vested by virtue of this action is valid for three (3) years from the effective date of the Motion. The Department of Building Inspection shall have issued a Building Permit or Site Permit to construct the project and/or commence the approved use within this three-year period.
For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org
2. **Expiration and Renewal.** Should a Building or Site Permit be sought after the three (3) year period has lapsed, the project sponsor must seek a renewal of this Authorization by filing an application for an amendment to the original Authorization or a new application for Authorization. Should the project sponsor decline to so file, and decline to withdraw the permit application, the Commission shall conduct a public hearing in order to consider the revocation of the Authorization. Should the Commission not revoke the Authorization following the closure of the public hearing, the Commission shall determine the extension of time for the continued validity of the Authorization.
For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org
3. **Diligent Pursuit.** Once a site or Building Permit has been issued, construction must commence within the timeframe required by the Department of Building Inspection and be continued diligently to completion. Failure to do so shall be grounds for the Commission to consider revoking the approval if more than three (3) years have passed since this Authorization was approved.
For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org
4. **Extension.** All time limits in the preceding three paragraphs may be extended at the discretion of the Zoning Administrator where implementation of the project is delayed by a public agency, an appeal or a legal challenge and only by the length of time for which such public agency, appeal or challenge has caused delay.
For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org
5. **Conformity with Current Law.** No application for Building Permit, Site Permit, or other entitlement shall be approved unless it complies with all applicable provisions of City Codes in effect at the time of such approval.
For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

DESIGN – COMPLIANCE AT PLAN STAGE

6. **Final Materials.** The Project Sponsor shall continue to work with Planning Department on the building design. Final materials, glazing, color, texture, landscaping, and detailing shall be subject to Department staff review and approval. The architectural addenda shall be reviewed and approved by the Planning Department prior to issuance.

For information about compliance, contact the Case Planner, Planning Department at 415-558-6378, www.sf-planning.org

7. **Lighting Plan.** The Project Sponsor shall submit an exterior lighting plan to the Planning Department prior to Planning Department approval of the building / site permit application.

For information about compliance, contact the Case Planner, Planning Department at 415-558-6378, www.sf-planning.org

8. **Plan Drawings - WTS.** Prior to the issuance of any building or electrical permits for the installation of the facilities, the Project Sponsor shall submit final scaled drawings for review and approval by the Planning Department ("Plan Drawings"). The Plan Drawings shall describe:

- A. **Structure and Siting.** Identify all facility related support and protection measures to be installed. This includes, but is not limited to, the location(s) and method(s) of placement, support, protection, screening, paint and/or other treatments of the antennas and other appurtenances to ensure public safety, insure compatibility with urban design, architectural and historic preservation principles, and harmony with neighborhood character.
- B. **For the Project Site, regardless of the ownership of the existing facilities.** Identify the location of all existing antennas and facilities; and identify the location of all approved (but not installed) antennas and facilities.
- C. **Emissions.** Provide a report, subject to approval of the Zoning Administrator, that operation of the facilities in addition to ambient RF emission levels will not exceed adopted FCC standards with regard to human exposure in uncontrolled areas.

For information about compliance, contact the Case Planner, Planning Department at 415-558-6378, www.sf-planning.org

9. **Screening - WTS.** To the extent necessary to ensure compliance with adopted FCC regulations regarding human exposure to RF emissions, and upon the recommendation of the Zoning Administrator, the Project Sponsor shall:

- A. Modify the placement of the facilities;
- B. Install fencing, barriers or other appropriate structures or devices to restrict access to the facilities;
- C. Install multi-lingual signage, including the RF radiation hazard warning symbol identified in ANSI C95.2 1982, to notify persons that the facility could cause exposure to RF emissions;
- D. Implement any other practice reasonably necessary to ensure that the facility is operated in compliance with adopted FCC RF emission standards.

- E. To the extent necessary to minimize visual obtrusion and clutter, installations shall conform to the following standards:
- F. Antennas and back up equipment shall be painted, fenced, landscaped or otherwise treated architecturally so as to minimize visual effects;
- G. Rooftop installations shall be setback such that back up facilities are not viewed from the street;
- H. Antennae attached to building facades shall be so placed, screened or otherwise treated to minimize any negative visual impact; and
- I. Although co location of various companies' facilities may be desirable, a maximum number of antennas and back up facilities on the Project Site shall be established, on a case by case basis, such that "antennae farms" or similar visual intrusions for the site and area is not created.

For information about compliance, contact the Case Planner, Planning Department at 415-558-6378, www.sf-planning.org

PARKING AND TRAFFIC

10. **Managing Traffic During Construction.** The Project Sponsor and construction contractor(s) shall coordinate with the Traffic Engineering and Transit Divisions of the San Francisco Municipal Transportation Agency (SFMTA), the Police Department, the Fire Department, the Planning Department, and other construction contractor(s) for any concurrent nearby Projects to manage traffic congestion and pedestrian circulation effects during construction of the Project.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

MONITORING - AFTER ENTITLEMENT

11. **Operation of Lighted Field.** The operation of the lighted field shall meet the following Conditions:

- A. The following time limitations shall apply to the use of lights on the field:
 - i. The lights shall be used no more than 150 nights per year.
 - ii. Except as noted in (iii)(b) below, on Monday-Thursday the lights shall be dimmed no later than 8:30 PM and turned off no later than 9:00 PM.
 - a. The Project Sponsor anticipates the use of the lighted field on these nights shall primarily be for practice and low attendance games (i.e., games where the anticipated attendance is below 1,000).
 - iii. For no more than 20 evenings per year, the lights may remain on until 10:00 PM.
 - a. The Project Sponsor anticipates that approximately 10 of these events might be high attendance games (i.e., games where the anticipated attendance is above 1,000 to a maximum of 2,800) are Friday or Saturday evenings with visiting teams;

- b. The Project Sponsor anticipates that approximately 10 other weeknight events might be necessary due to circumstances that prevent a Friday or Saturday night event; and
 - c. The Project Sponsor does not anticipate lights being used on Sundays.
 - iv. Affiliates of the school may use the lights for no more than 20 of the 150 evenings.
 - v. The Project Sponsor shall use the lights only during the main school year (i.e., roughly between Aug. 15 and May 31 in the current schedule).
 - B. The Project Sponsor shall not light the field for use by groups unaffiliated with the Project Sponsor.
 - C. Communication with neighbors.
 - i. For updates and general information, the Project Sponsor shall continue to maintain a Good Neighbor Program webpage where it posts schedules and provides contact information to call or email the school.
 - ii. The Project Sponsor shall post on the webpage the schedule of nighttime events on the field at least a month in advance. In addition, the Project Sponsor shall post the schedule for each season by:
 - a. August 1st for Fall sports;
 - b. October 1st for Winter sports; and
 - c. February 1st for Spring sports.
 - iii. The Project Sponsor shall send neighbors an annual communication reminder of how to contact the Project Sponsor about noise, parking or other concerns.
 - D. The Project Sponsor will distribute its J.B. MURPHY FIELD NIGHT GAME OR LARGE EVENT MANAGEMENT PLAN to home and visiting communities prior to games. This plan shall continue to include a CODE OF CONDUCT for student and spectator behavior.
 - E. At the end of each academic year, the Project Sponsor shall provide to the Zoning Administrator and shall post on the Good Neighbor Program webpage a summary of that year's usage of the field for practice, low attendance games, high attendance games, and any other events.
12. **Enforcement.** Violation of any of the Planning Department conditions of approval contained in this Motion or of any other provisions of Planning Code applicable to this Project shall be subject to the enforcement procedures and administrative penalties set forth under Planning Code Section 176 or Section 176.1. The Planning Department may also refer the violation complaints to other city departments and agencies for appropriate enforcement action under their jurisdiction.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

13. **Revocation due to Violation of Conditions.** Should implementation of this Project result in complaints from interested property owners, residents, or commercial lessees which are not resolved by the Project Sponsor and found to be in violation of the Planning Code and/or the specific conditions of approval for the Project as set forth in Exhibit A of this Motion, the Zoning Administrator shall refer such complaints to the Commission, after which it may hold a public hearing on the matter to consider revocation of this authorization.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

14. **Implementation Costs - WTS.** The Project Sponsor, on an equitable basis with other WTS providers, shall pay the cost of preparing and adopting appropriate General Plan policies related to the placement of WTS facilities. Should future legislation be enacted to provide for cost recovery for planning, the Project Sponsor shall be bound by such legislation.

The Project Sponsor or its successors shall be responsible for the payment of all reasonable costs associated with implementation of the conditions of approval contained in this authorization, including costs incurred by this Department, the Department of Public Health, the Department of Technology, Office of the City Attorney, or any other appropriate City Department or agency. The Planning Department shall collect such costs on behalf of the City.

The Project Sponsor shall be responsible for the payment of all fees associated with the installation of the subject facility, which are assessed by the City pursuant to all applicable law.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

15. **Implementation and Monitoring - WTS.** In the event that the Project implementation report includes a finding that RF emissions for the site exceed FCC Standards in any uncontrolled location, the Zoning Administrator may require the Applicant to immediately cease and desist operation of the facility until such time that the violation is corrected to the satisfaction of the Zoning Administrator.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

16. **Project Implementation Report - WTS.** The Project Sponsor shall prepare and submit to the Zoning Administrator a Project Implementation Report. The Project Implementation Report shall:
- A. Identify the three dimensional perimeter closest to the facility at which adopted FCC standards for human exposure to RF emissions in uncontrolled areas are satisfied;
 - B. Document testing that demonstrates that the facility will not cause any potential exposure to RF emissions that exceed adopted FCC emission standards for human exposure in uncontrolled areas.

- C. The Project Implementation Report shall compare test results for each test point with applicable FCC standards. Testing shall be conducted in compliance with FCC regulations governing the measurement of RF emissions and shall be conducted during normal business hours on a non-holiday weekday with the subject equipment measured while operating at maximum power.
- D. Testing, Monitoring, and Preparation. The Project Implementation Report shall be prepared by a certified professional engineer or other technical expert approved by the Department. At the sole option of the Department, the Department (or its agents) may monitor the performance of testing required for preparation of the Project Implementation Report. The cost of such monitoring shall be borne by the Project Sponsor pursuant to the condition related to the payment of the City's reasonable costs.
- E. Notification and Testing. The Project Implementation Report shall set forth the testing and measurements undertaken pursuant to Conditions 2 and 4.
- F. Approval. The Zoning Administrator shall request that the Certification of Final Completion for operation of the facility not be issued by the Department of Building Inspection until such time that the Project Implementation Report is approved by the Department for compliance with these conditions.

For information about compliance, contact the Environmental Health Section, Department of Public Health at (415) 252-3800, www.sfdph.org

17. **Coverage and Capacity Verification.** Use is authorized as long as an independent evaluator, selected by the Planning Department, determines that the information and conclusions submitted by the wireless service provider in support of its request for conditional use are accurate. The wireless service provider shall fully cooperate with the evaluator and shall provide any and all data requested by the evaluator to allow the evaluator to verify that the maps, data, and conclusions about service coverage and capacity submitted are accurate. The wireless service provider shall bear all costs of said evaluation. The independent evaluator, upon request by the wireless service provider shall keep the submitted data confidential and shall sign a confidentiality agreement acceptable to the wireless service provider. The independent evaluator shall be a professional engineer licensed by the State of California.

For information about compliance, contact the Case Planner, Planning Department at 415-575-9079, www.sf-planning.org.

18. **Notification prior to Project Implementation Report - WTS.** The Project Sponsor shall undertake to inform and perform appropriate tests for residents of any dwelling units located within 25 feet of the transmitting antenna at the time of testing for the Project Implementation Report.
- A. At least twenty calendar days prior to conducting the testing required for preparation of the Project Implementation Report, the Project Sponsor shall mail notice to the Department, as well as to the resident of any legal dwelling unit within 25 feet of a transmitting antenna of the date on which testing will be conducted. The Applicant will submit a written affidavit attesting to this mail notice along with the mailing list.

- B. When requested in advance by a resident notified of testing pursuant to subsection (a), the Project Sponsor shall conduct testing of total power density of RF emissions within the residence of that resident on the date on which the testing is conducted for the Project Implementation Report.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

19. **Installation - WTS.** Within 10 days of the installation and operation of the facilities, the Project Sponsor shall confirm in writing to the Zoning Administrator that the facilities are being maintained and operated in compliance with applicable Building, Electrical and other Code requirements, as well as applicable FCC emissions standards.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

20. **Periodic Safety Monitoring - WTS.** The Project Sponsor shall submit to the Zoning Administrator 10 days after installation of the facilities, and every two years thereafter, a certification attested to by a licensed engineer expert in the field of EMR/RF emissions, that the facilities are and have been operated within the then current applicable FCC standards for RF/EMF emissions.

For information about compliance, contact the Environmental Health Section, Department of Public Health at (415) 252-3800, www.sfdph.org

OPERATION

21. **Sidewalk Maintenance.** The Project Sponsor shall maintain the main entrance to the building and all sidewalks abutting the subject property in a clean and sanitary condition in compliance with the Department of Public Works Streets and Sidewalk Maintenance Standards.

For information about compliance, contact Bureau of Street Use and Mapping, Department of Public Works, 415-695-2017, <http://sfdpw.org>

22. **Community Liaison.** Prior to issuance of a building permit to construct the project and implement the approved use, the Project Sponsor shall appoint a community liaison officer to deal with the issues of concern to owners and occupants of nearby properties. The Project Sponsor shall provide the Zoning Administrator and all registered neighborhood groups for the area with written notice of the name, business address, and telephone number of the community liaison. Should the contact information change, the Zoning Administrator and registered neighborhood groups shall be made aware of such change. The community liaison shall report to the Zoning Administrator what issues, if any, are of concern to the community and what issues have not been resolved by the Project Sponsor.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

23. **Lighting.** All Project lighting shall be directed onto the Project site and immediately surrounding sidewalk area only, and designed and managed so as not to be a nuisance to adjacent residents.

Nighttime lighting shall be the minimum necessary to ensure safety, but shall in no case be directed so as to constitute a nuisance to any surrounding property.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

24. **Out of Service – WTS.** The Project Sponsor or Property Owner shall remove antennae and equipment that has been out of service or otherwise abandoned for a continuous period of six months.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

25. **Emissions Conditions – WTS.** It is a continuing condition of this authorization that the facilities be operated in such a manner so as not to contribute to ambient RF/EMF emissions in excess of then current FCC adopted RF/EMF emission standards; violation of this condition shall be grounds for revocation.

For information about compliance, contact the Environmental Health Section, Department of Public Health at (415) 252-3800, www.sfdph.org

26. **Noise and Heat – WTS.** The WTS facility, including power source and cooling facility, shall be operated at all times within the limits of the San Francisco Noise Control Ordinance. The WTS facility, including power source and any heating/cooling facility, shall not be operated so as to cause the generation of heat that adversely affects a building occupant.

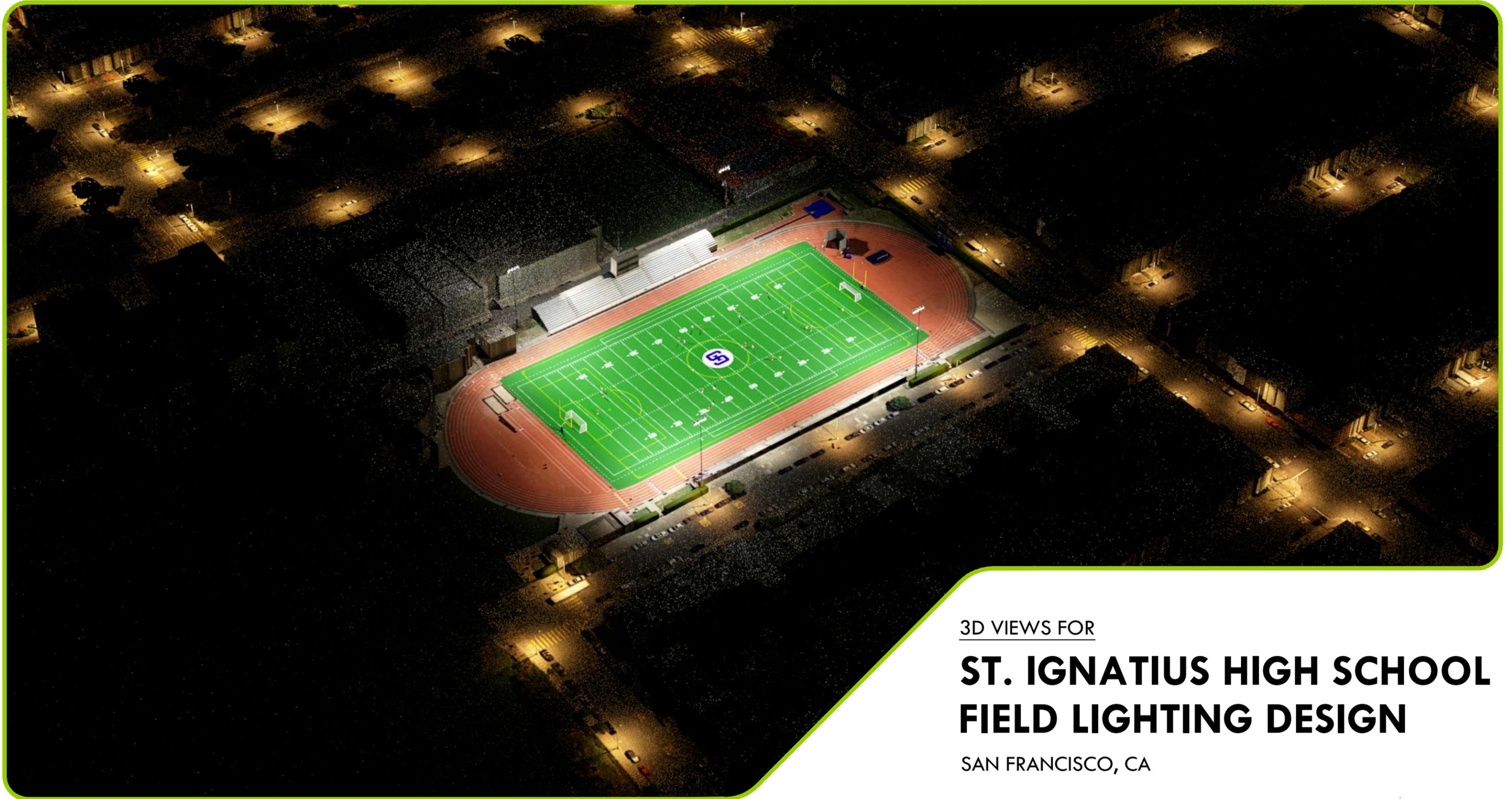
For information about compliance, contact the Environmental Health Section, Department of Public Health at (415) 252-3800, www.sfdph.org

27. **Transfer of Operation – WTS.** Any carrier/provider authorized by the Zoning Administrator or by the Planning Commission to operate a specific WTS installation may assign the operation of the facility to another carrier licensed by the FCC for that radio frequency provided that such transfer is made known to the Zoning Administrator in advance of such operation, and all conditions of approval for the subject installation are carried out by the new carrier/provider.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

28. **Compatibility with City Emergency Services – WTS.** The facility shall not be operated or caused to transmit on or adjacent to any radio frequencies licensed to the City for emergency telecommunication services such that the City's emergency telecommunications system experiences interference, unless prior approval for such has been granted in writing by the City.

For information about compliance, contact the Department of Technology, 415-581-4000, <http://sfgov3.org/index.aspx?page=1421>



3D VIEWS FOR

ST. IGNATIUS HIGH SCHOOL FIELD LIGHTING DESIGN

SAN FRANCISCO, CA

PREPARED BY
VERDE DESIGN
JANUARY 7, 2020

FOR THE
SAINT IGNATIUS
HIGH SCHOOL



LANDSCAPE ARCHITECTURE
CIVIL ENGINEERING
SPORT PLANNING & DESIGN
2455 The Alameda, Ste. 200
Santa Clara, CA 95050
tel: 408.985.7200
fax: 408.985.7260
www.verdedesigninc.com



PLAN VIEW



CORNER OF 41ST AND RIVERA - VIEW WITHOUT FIELD LIGHTING



CORNER OF 41ST AND RIVERA - VIEW WITH FIELD LIGHTING



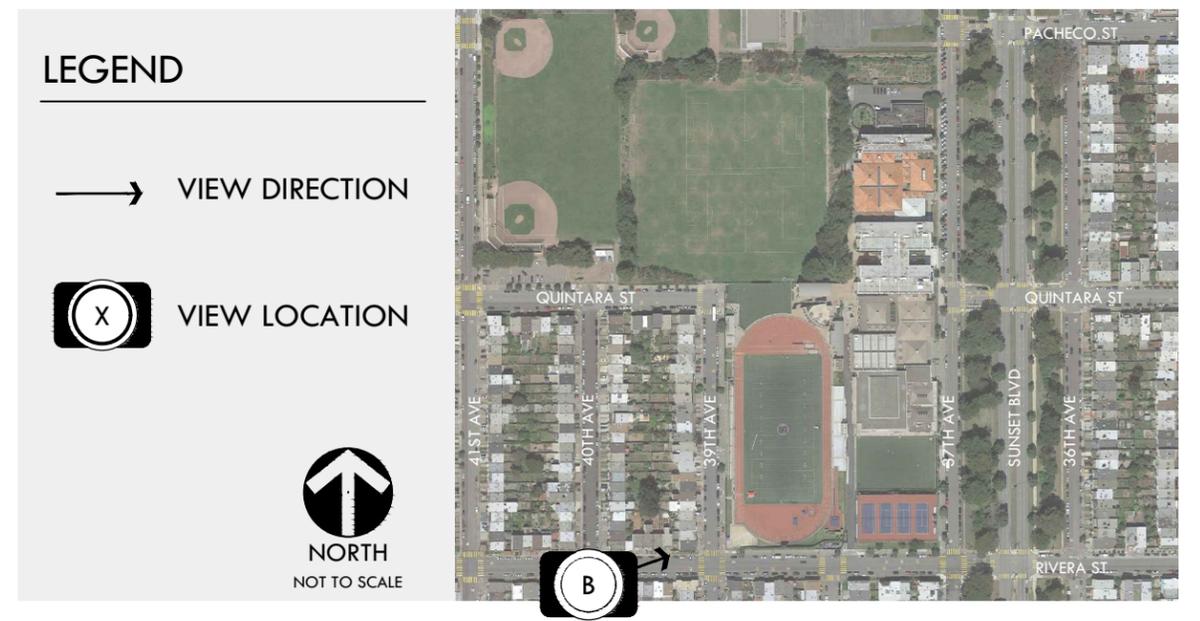
VIEW A



CORNER OF 40TH AND RIVERA - VIEW WITHOUT FIELD LIGHTING



CORNER OF 40TH AND RIVERA - VIEW WITH FIELD LIGHTING



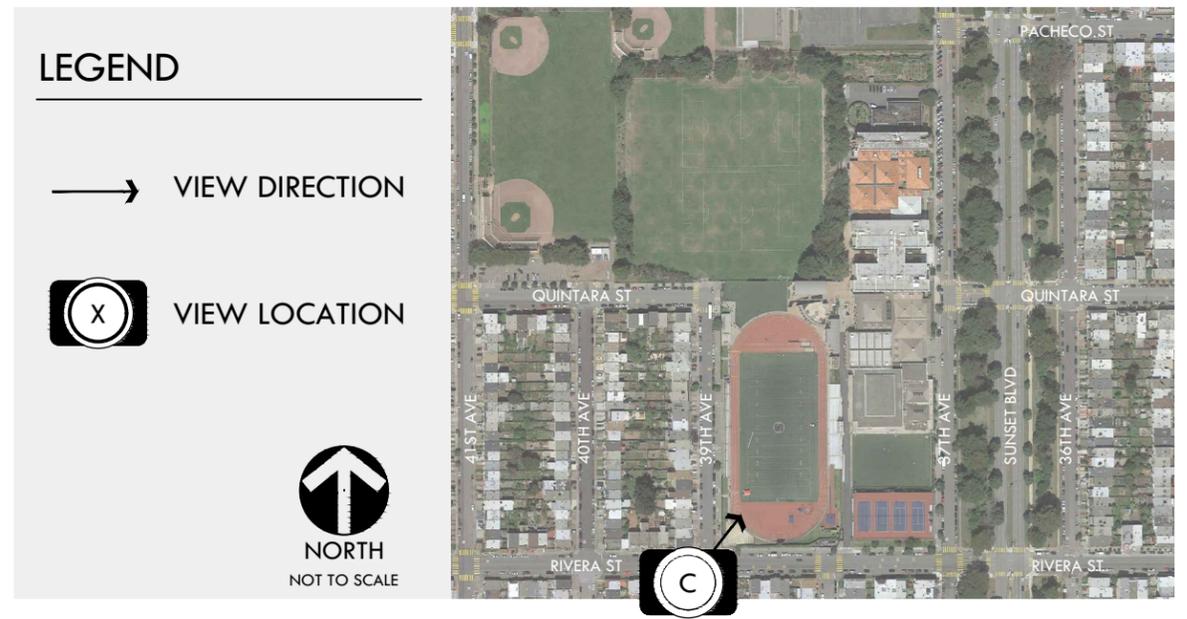
VIEW B



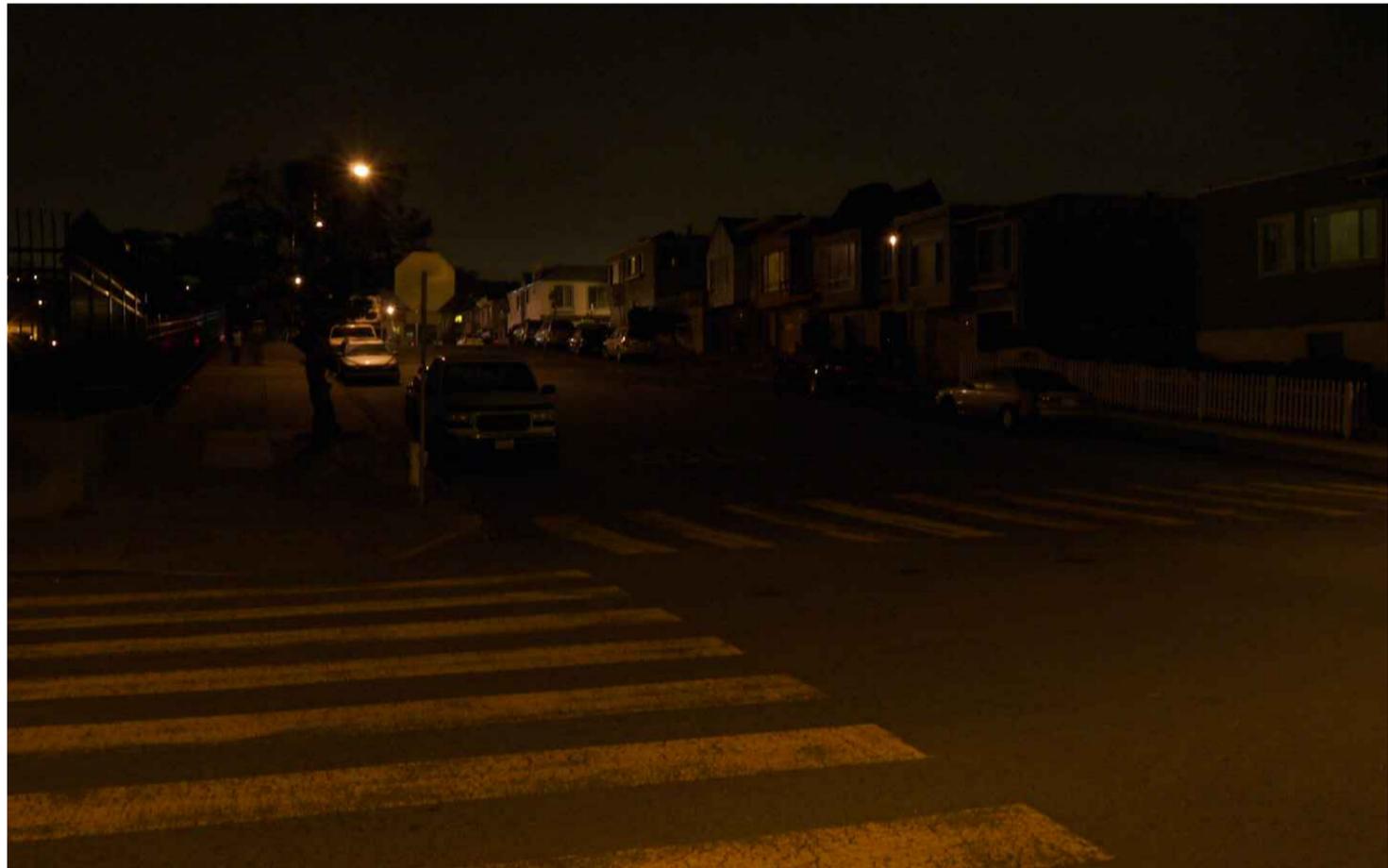
CORNER OF 39TH AND RIVERA - VIEW WITHOUT FIELD LIGHTING



CORNER OF 39TH AND RIVERA - VIEW WITH FIELD LIGHTING



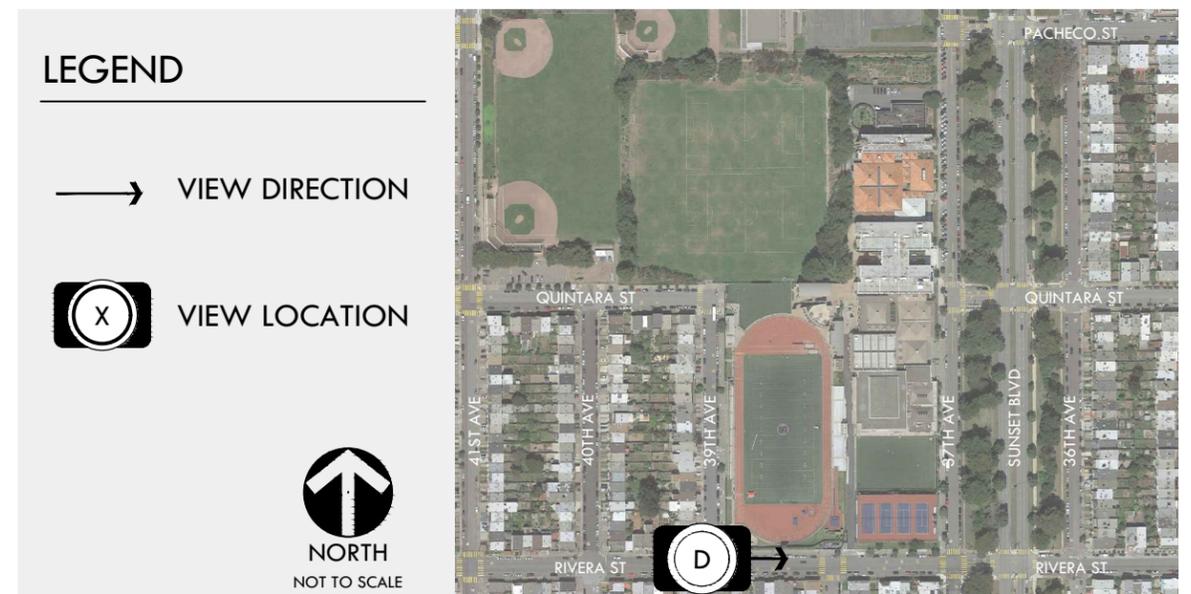
VIEW C



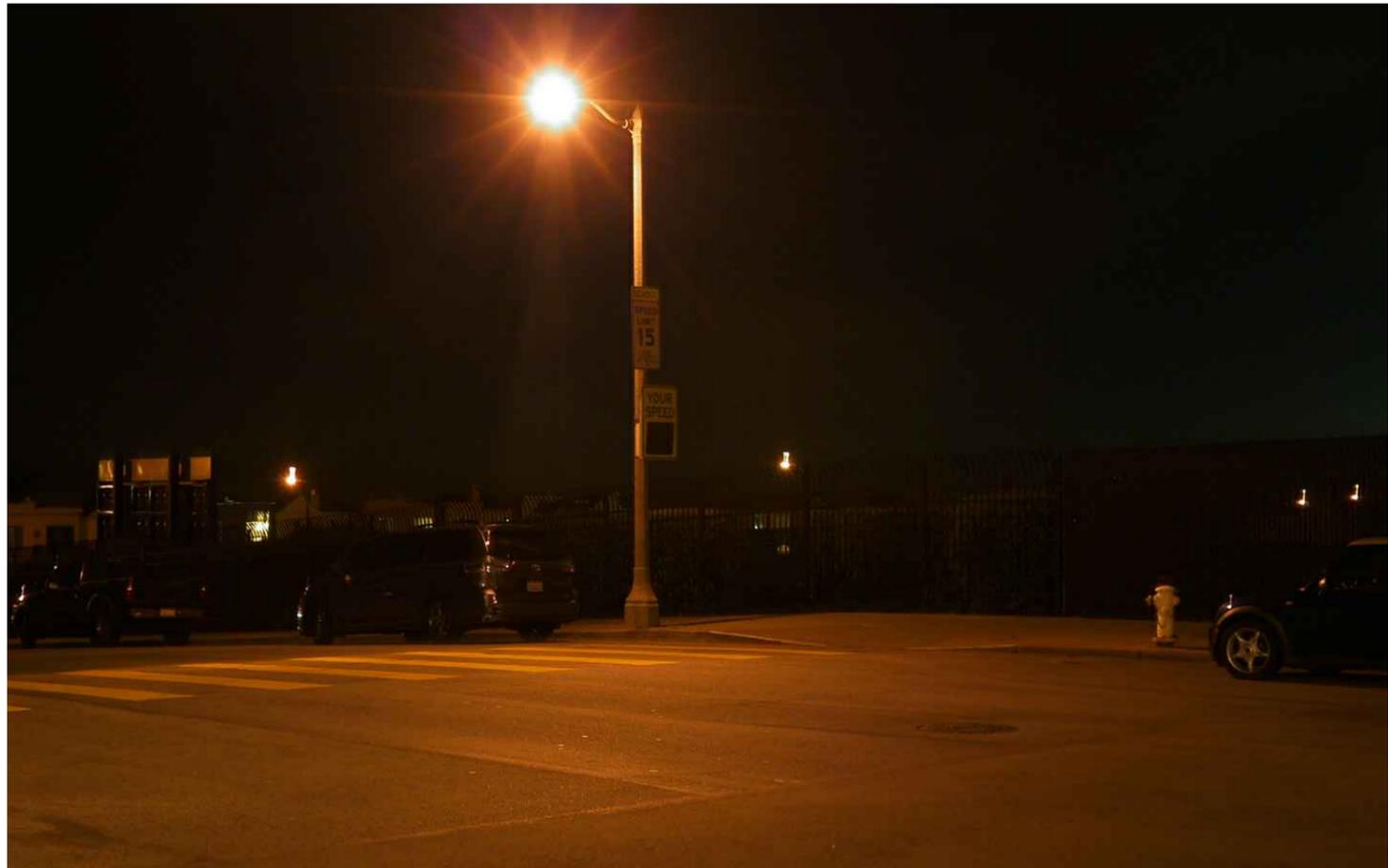
CORNER OF 39TH AND RIVERA - VIEW WITHOUT FIELD LIGHTING



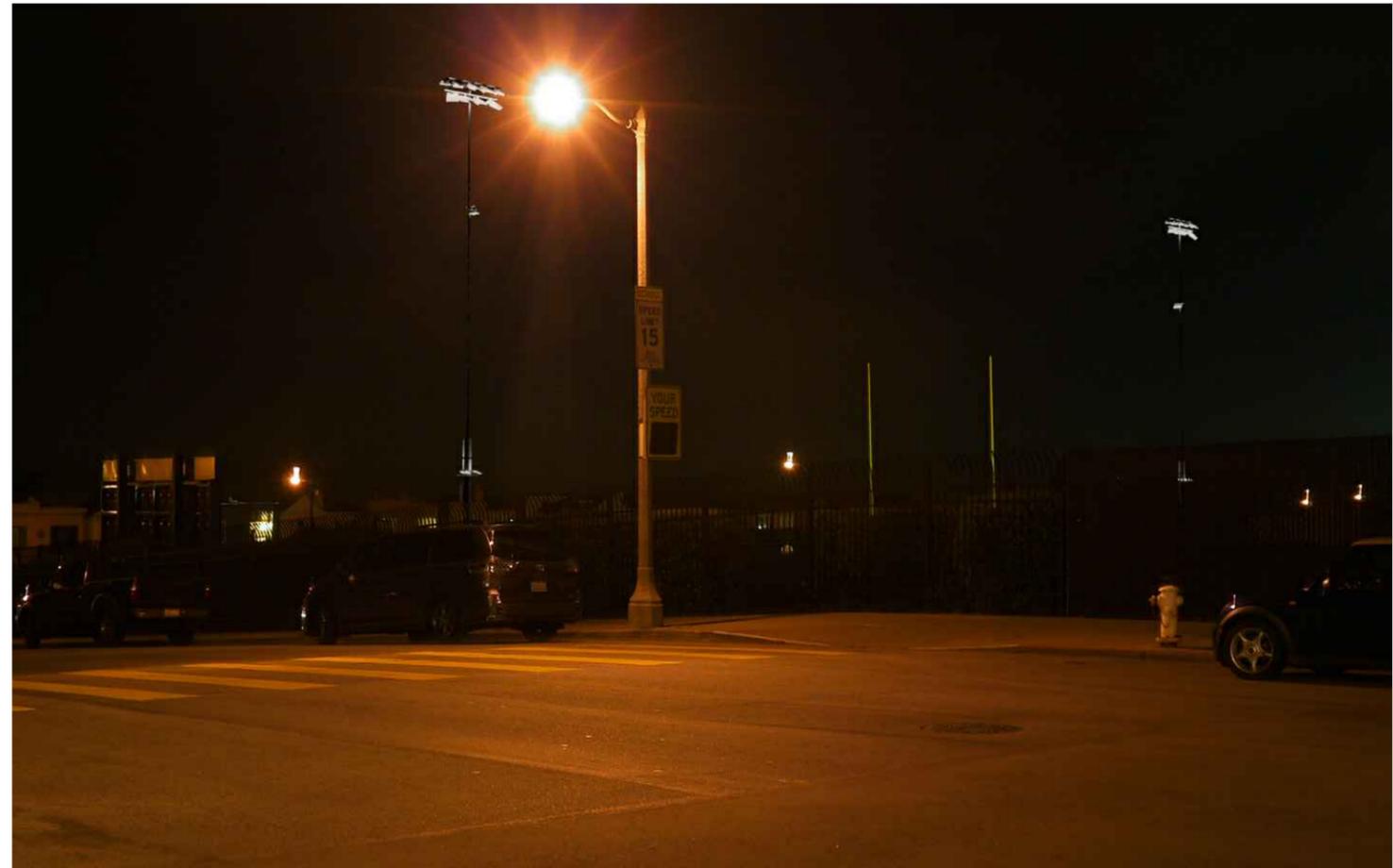
CORNER OF 39TH AND RIVERA - VIEW WITH FIELD LIGHTING



VIEW D



CORNER OF 38TH AND RIVERA - VIEW WITHOUT FIELD LIGHTING



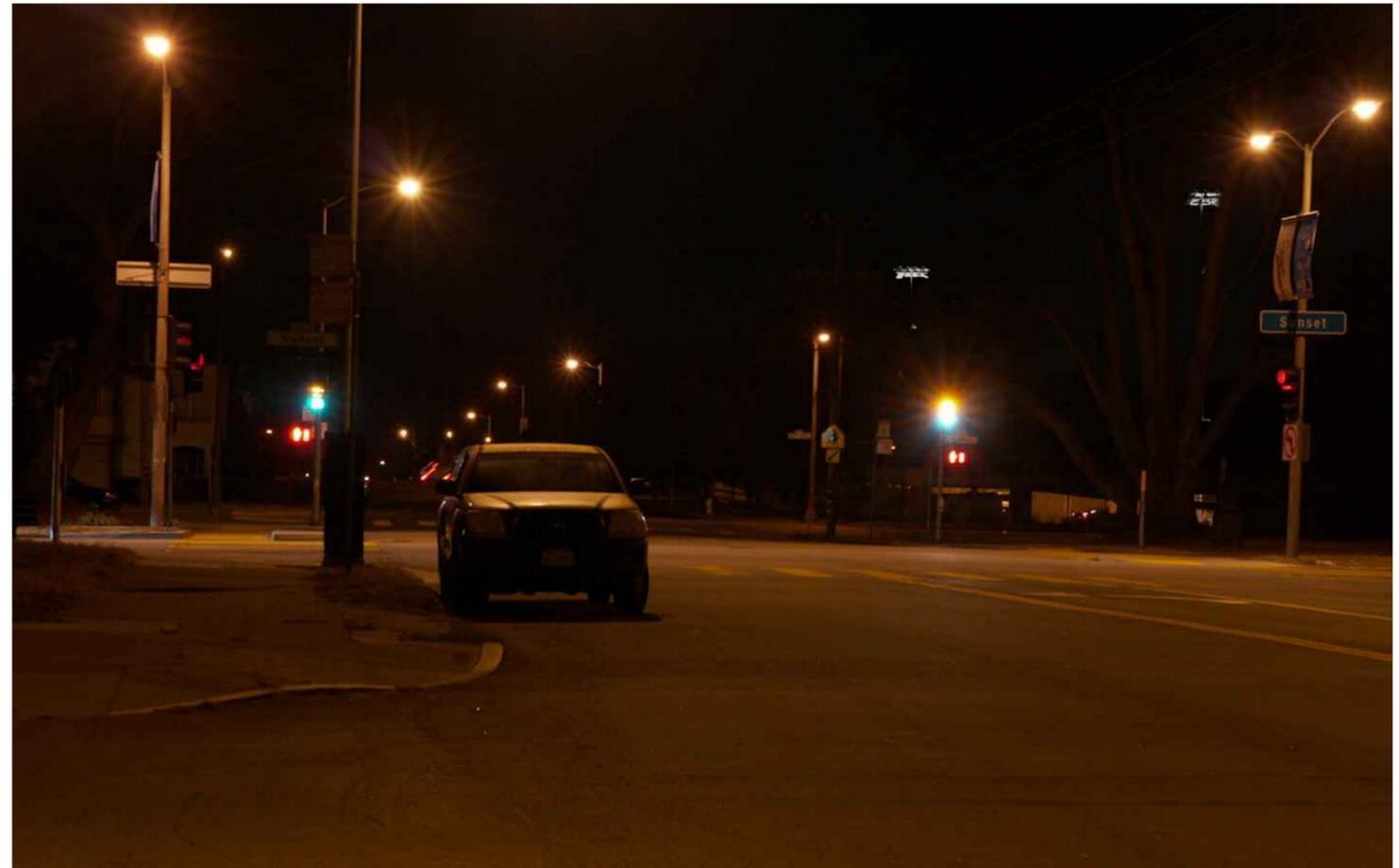
CORNER OF 38TH AND RIVERA - VIEW WITH FIELD LIGHTING



VIEW E



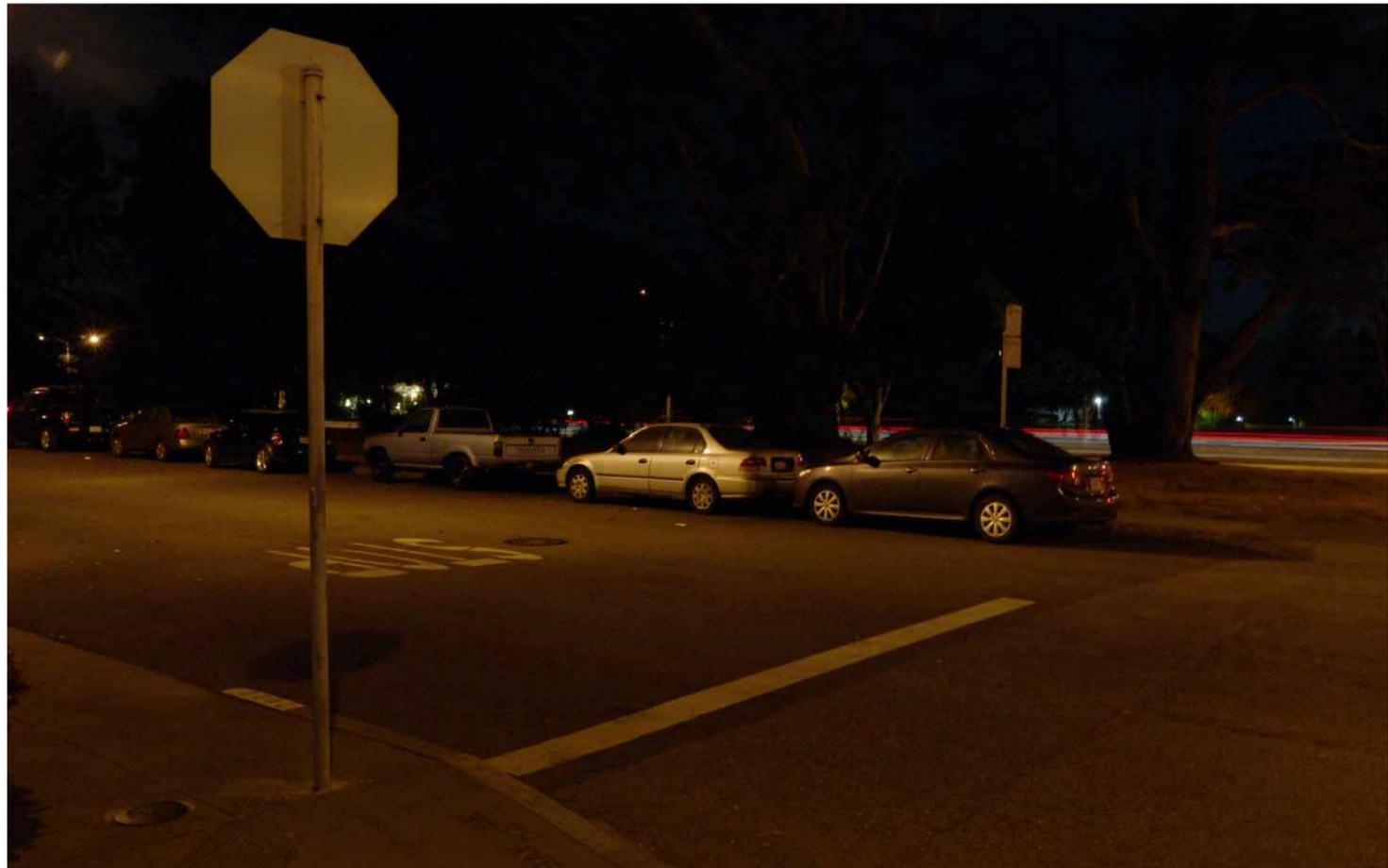
CORNER OF 36TH AND RIVERA - VIEW WITHOUT FIELD LIGHTING



CORNER OF 36TH AND RIVERA - VIEW WITH FIELD LIGHTING



VIEW F



CORNER OF 36TH AND QUINTARA - VIEW WITHOUT FIELD LIGHTING



CORNER OF 36TH AND QUINTARA - VIEW WITH FIELD LIGHTING



VIEW G



CORNER OF 37TH AND QUINTARA - VIEW WITHOUT FIELD LIGHTING



CORNER OF 37TH AND QUINTARA - VIEW WITH FIELD LIGHTING



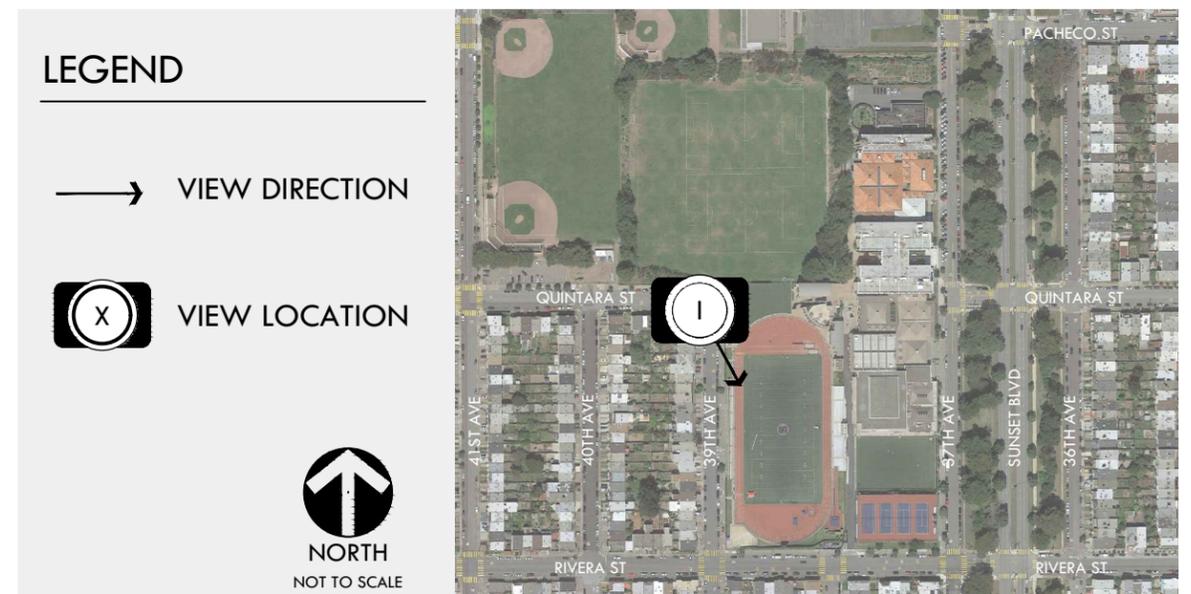
VIEW H



CORNER OF 39TH AND QUINTARA - VIEW WITHOUT FIELD LIGHTING



CORNER OF 39TH AND QUINTARA - VIEW WITH FIELD LIGHTING



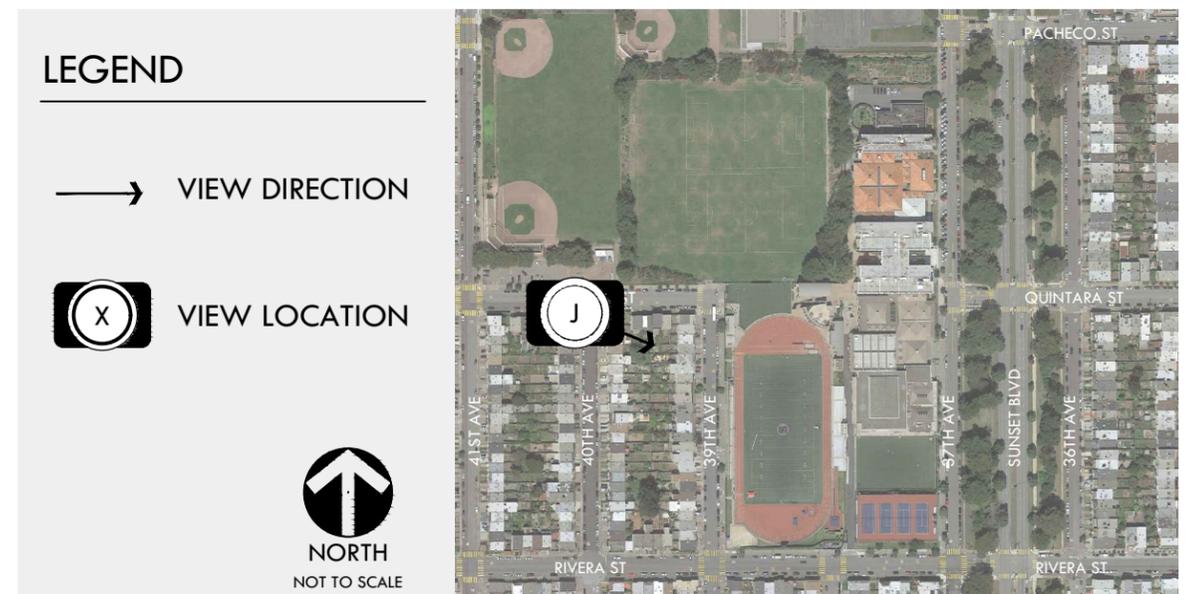
VIEW I



CORNER OF 40TH AND QUINTARA - VIEW WITHOUT FIELD LIGHTING



CORNER OF 40TH AND QUINTARA - VIEW WITH FIELD LIGHTING



VIEW J



CORNER OF 37TH AND PACHECO - VIEW WITHOUT FIELD LIGHTING



CORNER OF 37TH AND PACHECO - VIEW WITH FIELD LIGHTING



VIEW K



SUNSET & NORIEGA
 2001 37TH AVE, SAN FRANCISCO, CA 94116
 LOCATION NUMBER: 255926

SUNSET & NORIEGA

255926
 2001 37TH AVE
 SAN FRANCISCO, CA 94116



2785 MITCHELL DRIVE, BLDG 9
 WALNUT CREEK, CA 94598

VERIZON WIRELESS EQUIPMENT ENGINEER: SIGNATURE _____ DATE _____	VERIZON WIRELESS REAL ESTATE: SIGNATURE _____ DATE _____
VERIZON WIRELESS CONSTRUCTION: SIGNATURE _____ DATE _____	VERIZON WIRELESS RF ENGINEER: SIGNATURE _____ DATE _____
PROPERTY OWNER: SIGNATURE _____ DATE _____	RIDGE COMMUNICATIONS – LEASING SIGNATURE _____ DATE _____
RIDGE COMMUNICATIONS – CONSTRUCTION SIGNATURE _____ DATE _____	RIDGE COMMUNICATIONS – ZONING SIGNATURE _____ DATE _____

PROJECT DESCRIPTION

A (P) VERIZON WIRELESS UNMANNED TELECOMMUNICATION FACILITY CONSISTING OF INSTALLING:

- (3) (P) ANTENNAS
- (9) (P) RADIO/ANTENNA UNITS
- (6) (P) RADIO UNITS @ ANTENNAS
- (4) (P) SURGE SUPPRESSORS, (2) @ EQUIPMENT & (2) @ ANTENNAS
- (P) VERIZON WIRELESS 12'-0"X28'-0" (336 SQ FT) LEASE AREA
- (1) (P) GPS ANTENNA
- (3) (P) HYBRID TRUNK CABLES

PROJECT INFORMATION

SITE NAME:	SUNSET & NORIEGA	SITE #:	255926
COUNTY:	SAN FRANCISCO	JURISDICTION:	CITY & COUNTY OF SAN FRANCISCO
BLOCK/LOT:	2094-006	POWER:	PG&E
SITE ADDRESS:	2001 37TH AVE SAN FRANCISCO, CA 94116	FIBER:	T.B.D.
CURRENT ZONING:	RH-1 – RESIDENTIAL – HOUSE, ONE FAMILY		
CONSTRUCTION TYPE:	V-B		
OCCUPANCY TYPE:	U, (UNMANNED COMMUNICATIONS FACILITY)		
HEIGHT/BULK:	40-X		
PROPERTY OWNER:	ST IGNATIUS COLLEGE PREPARATORY 2001 37TH AVE SAN FRANCISCO, CA 94116 ATTN: KEN STUPI (415) 731-7500		
APPLICANT:	VERIZON WIRELESS 2785 MITCHELL DRIVE, BLDG 9 WALNUT CREEK, CA 94598		
SITE ACQUISITION COMPANY:	RIDGE COMMUNICATIONS, INC. 12919 ALCOSTA BLVD, SUITE 1 SAN RAMON, CA 94583		
LEASING CONTACT:	ATTN: HAYDEN PIPER (925) 864-6448 HAYDEN.PIPER@RIDGECOMMUNICATE.COM		
ZONING CONTACT:	ATTN: HAYDEN PIPER (925) 864-6448 HAYDEN.PIPER@RIDGECOMMUNICATE.COM		
CONSTRUCTION CONTACT:	ATTN: CHRIS MORRISSEY (925) 451-3986 CMORRISSEY@RCICOMM.COM		

VICINITY MAP



DRIVING DIRECTIONS

FROM: 2785 MITCHELL DRIVE, BLDG 9, WALNUT CREEK, CA 94598
 TO: 2001 37TH AVE, SAN FRANCISCO, CA 94116

1. START OUT GOING SOUTHWEST ON MITCHELL DR TOWARD N WIGET LN. 0.2 MI
2. TURN LEFT ONTO N WIGET LN. 0.3 MI
3. TAKE THE 2ND RIGHT ONTO YGNACIO VALLEY RD. 3.0 MI
4. YGNACIO VALLEY RD BECOMES HILLSIDE AVE. 0.07 MI
5. MERGE ONTO CA-24 W TOWARD OAKLAND. 13.5 MI
6. TAKE EXIT 2B TOWARD I-580 / SAN FRANCISCO / HAYWARD. 0.3 MI
7. MERGE ONTO I-580 W. 1.2 MI
8. MERGE ONTO I-80 W VIA EXIT 19A ON THE LEFT (PORTIONS TOLL). 8.3 MI
9. MERGE ONTO US-101 S / JAMES LUCK FWY S VIA EXIT 1A ON THE LEFT TOWARD SAN JOSE. 2.3 MI
10. MERGE ONTO I-280 S / JOHN F FORAN FWY S VIA EXIT 431 TOWARD DALY CITY. 2.5 MI
11. TAKE THE OCEAN AVE / GENEVA AVE EXIT, EXIT 51. 0.2 MI
12. MERGE ONTO OCEAN AVE. 1.6 MI
13. TURN RIGHT ONTO JUNIPERO SERRA BLVD. 0.3 MI
14. TAKE THE 1ST LEFT ONTO SLOAT BLVD. 1.3 MI
15. TURN RIGHT ONTO 39TH AVE. 0.8 MI
16. TURN LEFT ONTO RIVERA ST. 0.1 MI
17. TAKE THE 1ST RIGHT ONTO 39TH AVE. 0.10 MI
18. ACCESS TO SITE IS FROM 39TH AVE.

END AT: 2001 37TH AVE, SAN FRANCISCO, CA 94116
 ESTIMATED TIME: 51 MINUTES ESTIMATED DISTANCE: 36.01 MILES

CODE COMPLIANCE

ALL WORK & MATERIALS SHALL BE PERFORMED & INSTALLED IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE FOLLOWING CODES AS ADOPTED BY THE LOCAL GOVERNING AUTHORITIES. NOTHING IN THESE PLANS IS TO BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THESE CODES:

- 2016 CALIFORNIA ADMINISTRATIVE CODE, PART 1, TITLE 24 C.C.R.
- 2016 CALIFORNIA BUILDING CODE (CBC), PART 2, VOLUMES 1&2, TITLE 24 C.C.R. (2015 INTERNATIONAL BUILDING CODE AND 2016 CALIFORNIA AMENDMENTS)
- 2016 CALIFORNIA ELECTRICAL CODE (CEC), PART 3, TITLE 24 C.C.R. (2014 NATIONAL ELECTRICAL CODE AND 2016 CALIFORNIA AMENDMENTS)
- 2016 CALIFORNIA MECHANICAL CODE (CMC) PART 4, TITLE 24 C.C.R. (2015 UNIFORM MECHANICAL CODE AND 2016 CALIFORNIA AMENDMENTS)
- 2016 CALIFORNIA PLUMBING CODE (CPC), PART 5, TITLE 24 C.C.R. (2015 UNIFORM PLUMBING CODE AND 2016 CALIFORNIA AMENDMENTS)
- 2016 CALIFORNIA ENERGY CODE (CEC), PART 6, TITLE 24 C.C.R.
- 2016 CITY OF SAN FRANCISCO FIRE CODE (2015 INTERNATIONAL FIRE CODE AND 2016 CALIFORNIA AMENDMENTS)
- 2016 CALIFORNIA GREEN BUILDING STANDARDS CODE, PART 11, TITLE 24 C.C.R.
- 2016 CALIFORNIA REFERENCED STANDARDS, PART 12, TITLE 24 C.C.R.
- ANSI/EIA-TIA-222-G

ALONG WITH ANY OTHER APPLICABLE LOCAL & STATE LAWS AND REGULATIONS

DISABLED ACCESS REQUIREMENTS

THIS FACILITY IS UNMANNED & NOT FOR HUMAN HABITATION. DISABLED ACCESS & REQUIREMENTS ARE NOT REQUIRED IN ACCORDANCE WITH CALIFORNIA STATE BUILDING CODE, TITLE 24 PART 2, SECTION 11B-203.5

SHEET INDEX

SHEET	DESCRIPTION	REV
T-1	TITLE SHEET	-
C-1	TOPOGRAPHIC SURVEY	-
A-1	OVERALL SITE PLAN	-
A-2	SITE PLAN	-
A-3	EQUIPMENT PLAN & DETAILS	-
A-4	ANTENNA PLANS & RRU PLANS	-
A-5	ELEVATIONS	-
A-6	ELEVATIONS	-
A-7	DETAILS	-

Streamline Engineering and Design, Inc.
 8445 Sierra College Blvd, Suite E Granite Bay, CA 95661
 Contact: Larry Houghton Phone: 916-275-4180
 E-Mail: larry@streamlineeng.com Fax: 916-660-1941

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**PRELIMINARY:
 NOT FOR
 CONSTRUCTION**

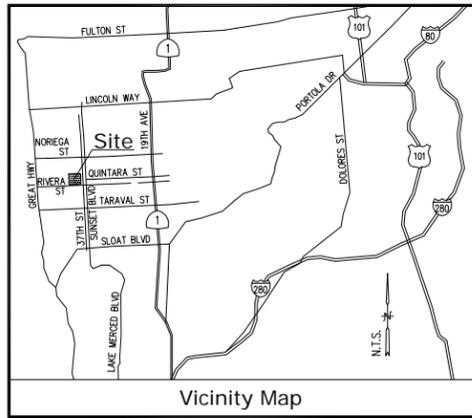
KEVIN R. SORENSEN
 S4469

ISSUE STATUS

Δ	DATE	DESCRIPTION	REV.
	04/16/19	ZD 90%	C.C.
-	-	-	-
-	-	-	-
-	-	-	-
-	-	-	-
-	-	-	-

DRAWN BY: C. CODY
 CHECKED BY: J. GRAY
 APPROVED BY: -
 DATE: 04/16/19

SHEET TITLE:
 TITLE
SHEET NUMBER:
 T-1



Vicinity Map

Access/Utility Routes & Lease Area
AS SHOWN

Geographic Coordinates at Proposed Light Pole

1983 DATUM: LATITUDE 37° 44' 49.80" N LONGITUDE 122° 29' 50.33" W
ELEVATION = 136.0 FEET ABOVE MEAN SEA LEVEL.
CERTIFICATION: THE LATITUDE AND LONGITUDE SHOWN ABOVE ARE ACCURATE TO WITHIN +/- 15 FEET HORIZONTALLY AND THAT THE ELEVATIONS SHOWN ABOVE ARE ACCURATE TO WITHIN +/- 3 FEET VERTICALLY. THE HORIZONTAL DATUM (GEOGRAPHIC COORDINATES) IS IN TERMS OF THE NORTH AMERICAN DATUM OF 1983 (NAD 83) AND IS EXPRESSED IN DEGREES (°), MINUTES (') AND SECONDS ("). TO THE NEAREST HUNDREDTH OF A SECOND. THE VERTICAL DATUM (ELEVATIONS) IS IN TERMS OF THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88) AND IS DETERMINED TO THE NEAREST TENTH OF A FOOT.

Assessor's Parcel No.
LOT 006; BLOCK 2094

Basis of Bearings

THE BASIS OF BEARINGS FOR THIS SURVEY IS THE CALIFORNIA COORDINATES SYSTEM (CCS 83), ZONE 3, 1983 DATUM, DEFINED BY SECTIONS 8801 TO 8819 OF THE CALIFORNIA PUBLIC RESOURCES CODE.

Bench Mark

THE CALIFORNIA SPATIAL REFERENCE CENTER C.O.R.S "118B", ELEVATION = 38.73 FEET (NAVD 88).

Dates of Survey
DECEMBER 12, 2013 & JANUARY 13, 2015

Title Report

PREPARED BY: NORTH AMERICAN TITLE COMPANY
ORDER NO.: 1260304
DATED: SEPTEMBER 18, 2013

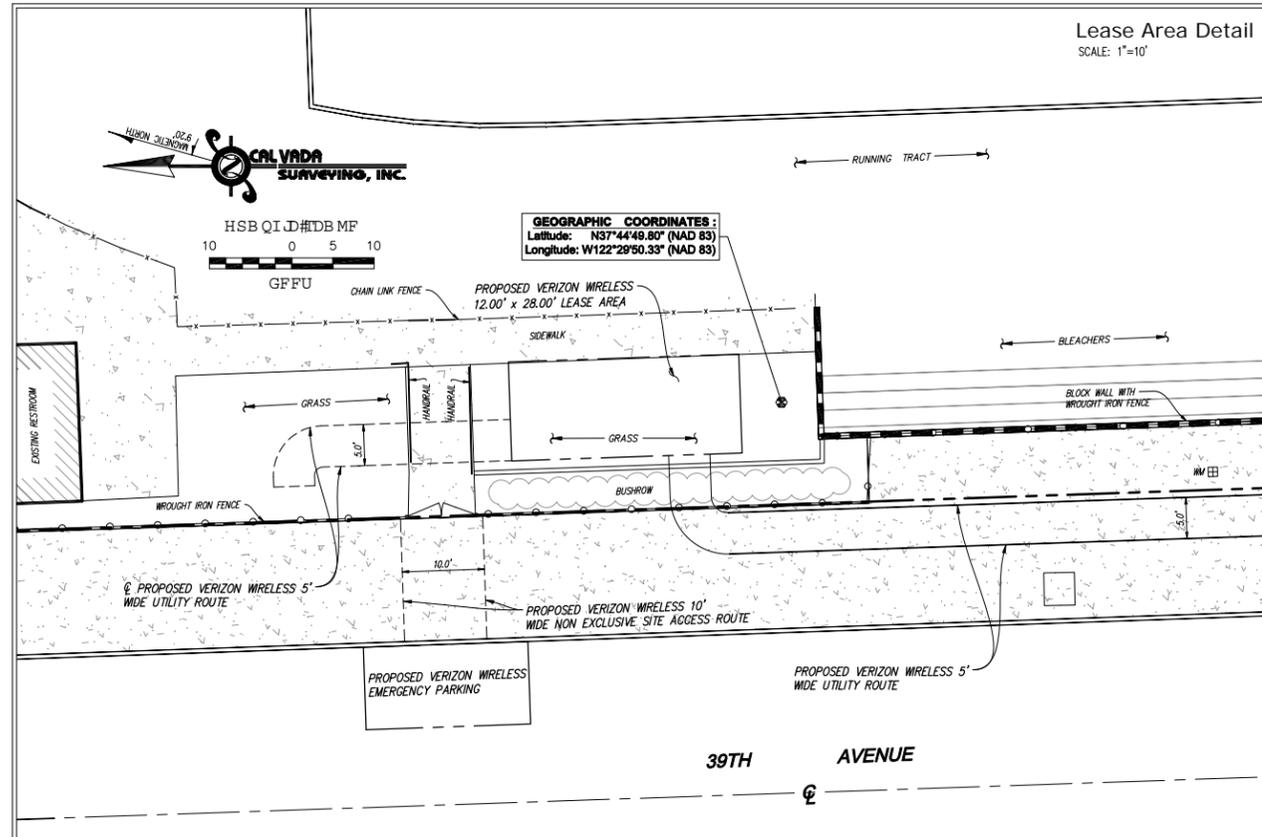
Legal Description

REAL PROPERTY IN THE CITY OF SAN FRANCISCO, COUNTY OF SAN FRANCISCO, STATE OF CALIFORNIA, DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT ON THE WESTERLY LINE OF THIRTY-SEVENTH AVENUE DISTANT 776 FEET SOUTHERLY FROM THE SOUTHERLY LINE OF URTEGA STREET AND THENCE RUNNING SOUTHERLY ALONG SAID LINE OF THIRTY-SEVENTH AVENUE 1184.075 FEET TO THE NORTHERLY LINE OF RIVERA STREET; THENCE AT A RIGHT ANGLE WESTERLY ALONG SAID NORTHERLY LINE OF RIVERA STREET 550.52 FEET TO THE EASTERLY LINE OF THIRTY-NINTH AVENUE; THENCE AT A RIGHT ANGLE NORTHERLY ALONG SAID EASTERLY LINE OF THIRTY-NINTH AVENUE 680.025 FEET TO THE NORTHERLY LINE OF QUINTARA STREET; THENCE AT A RIGHT ANGLE EASTERLY AND ALONG THE FORMER NORTHERLY LINE OF QUINTARA STREET, AS SAID STREET EXISTED PRIOR TO THE VACATION THEREOF BY RESOLUTION 12848 ADOPTED DECEMBER 8, 1952, BY THE BOARD OF SUPERVISORS OF THE CITY AND COUNTY OF SAN FRANCISCO, 310.26 FEET TO THE FORMER EASTERLY LINE OF THIRTY-EIGHT AVENUE ALSO VACATED BY ABOVE-MENTIONED RESOLUTION; THENCE AT A RIGHT ANGLE NORTHERLY ALONG SAID FORMER EASTERLY LINE OF THIRTY-EIGHT AVENUE 540.050 FEET; THENCE AT A RIGHT ANGLE EASTERLY 240.26 FEET TO THE POINT OF BEGINNING.

Easements

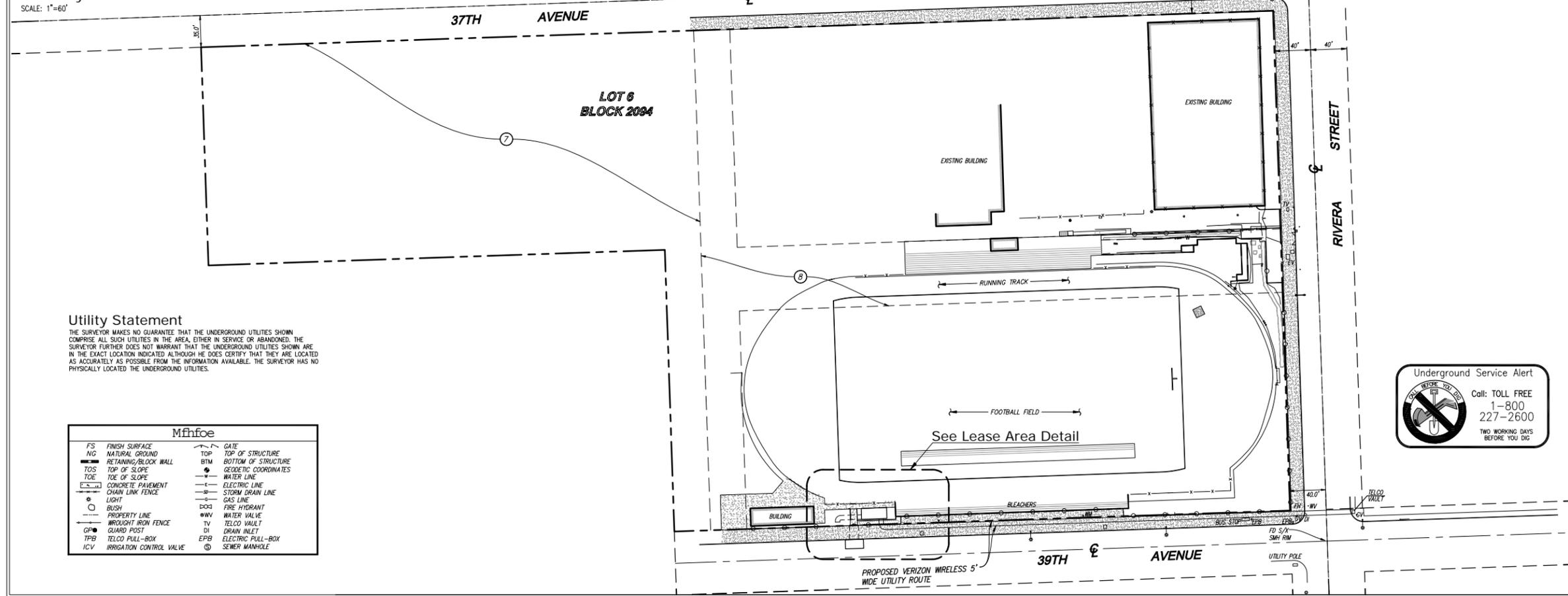
- ① AN EASEMENT FOR SEWER AND INCIDENTAL PURPOSES, RECORDED APRIL 29, 1965 AS BOOK A912, PAGE 148 OF OFFICIAL RECORDS. (PLOTTED HEREON)
- ② AN EASEMENT FOR SEWER AND INCIDENTAL PURPOSES, RECORDED JULY 27, 1965 AS BOOK A947, PAGE 176 OF OFFICIAL RECORDS. (PLOTTED HEREON)



Lease Area Detail
SCALE: 1"=10'

Boundary & Overall Site Detail

SCALE: 1"=60'



Utility Statement

THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE INFORMATION AVAILABLE. THE SURVEYOR HAS NO PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.

Mfhfoe			
FS	FINISH SURFACE	TOP	TOP OF STRUCTURE
NG	NATURAL GROUND	BTM	BOTTOM OF STRUCTURE
—	RETAINING/BLOCK WALL	—	WATER LINE
TOS	TOP OF SLOPE	—	ELECTRIC LINE
TOE	TOE OF SLOPE	—	STORM DRAIN LINE
—	CONCRETE PAVEMENT	—	GAS LINE
—	CHAIN LINK FENCE	—	FIRE HYDRANT
—	LIGHT	—	WATER VALVE
—	BUSH	—	TELCO VAULT
—	PROPERTY LINE	—	DI
—	WROUGHT IRON FENCE	—	EPB
—	GUARD POST	—	ICV
—	TPB	—	
—	TELCO PULL-BOX	—	
—	ICV	—	
—	IRRIGATION CONTROL VALVE	—	



REV:	DATE/RY:	REVISION DESCRIPTION:
1	1/15/14 RAS	FINAL
2	2/20/14 RG	CLIENT COMMENTS
3	1/19/15 MN	ADDITIONAL TOPO
4	5/05/15 HP	FINAL
5	10/21/15 JS	CLIENT COMMENTS/ UPDATED DESIGN
6	12/14/15 GBM	CLIENT COMMENTS/ UPDATED DESIGN

A&E DEVELOPMENT

SITE BUILDER:



2785 MITCHELL DRIVE, BUILDING 9
WALNUT CREEK, CA 94598

ENGINEER/CONSULTANT:

CAL VADA
SURVEYING, INC.
411 Jenks Cir., Suite 205, Corona, CA 92880
Phone: 951-280-9990 Fax: 951-280-9746
Toll Free: 800-CALVADA www.calvada.com

JOB NO. 13785

APPROVALS:

APPROVED BY:	INITIALS:	DATE:
LANDLORD:		
LEASING:		
ZONING:		
R.F.:		
E/P:		
C.P.M.:		

SITE INFO:

SITE NAME:
Sunset & Noriega

SITE ADDRESS:
2001 37TH AVENUE
SAN FRANCISCO, CA 94116
SAN FRANCISCO COUNTY

SHEET TITLE:

WR SR JUDSKIF
VXUYH\

DRAWING INFO:

DWG. NAME:	DRAWN BY:	DATE:
	MN	12/17/2013

SHEET NUMBER:

C-1

SHEET 1 OF 1

SUNSET & NORIEGA

255926
2001 37TH AVE
SAN FRANCISCO, CA 94116



2785 MITCHELL DRIVE, BLDG 9
WALNUT CREEK, CA 94598

**Streamline Engineering
and Design, Inc.**

8445 Sierra College Blvd, Suite E Granite Bay, CA 95661
Contact: Larry Houghton Phone: 916-275-4180
E-Mail: larry@streamlineeng.com Fax: 916-660-1941

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PRELIMINARY:
NOT FOR
CONSTRUCTION

KEVIN R. SORENSEN
S4469

ISSUE STATUS

Δ	DATE	DESCRIPTION	REV.
	04/16/19	ZD 90%	C.C.
	-	-	-
	-	-	-
	-	-	-
	-	-	-

DRAWN BY: C. CODY

CHECKED BY: J. GRAY

APPROVED BY: -

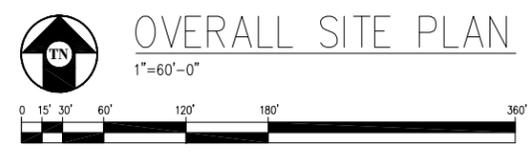
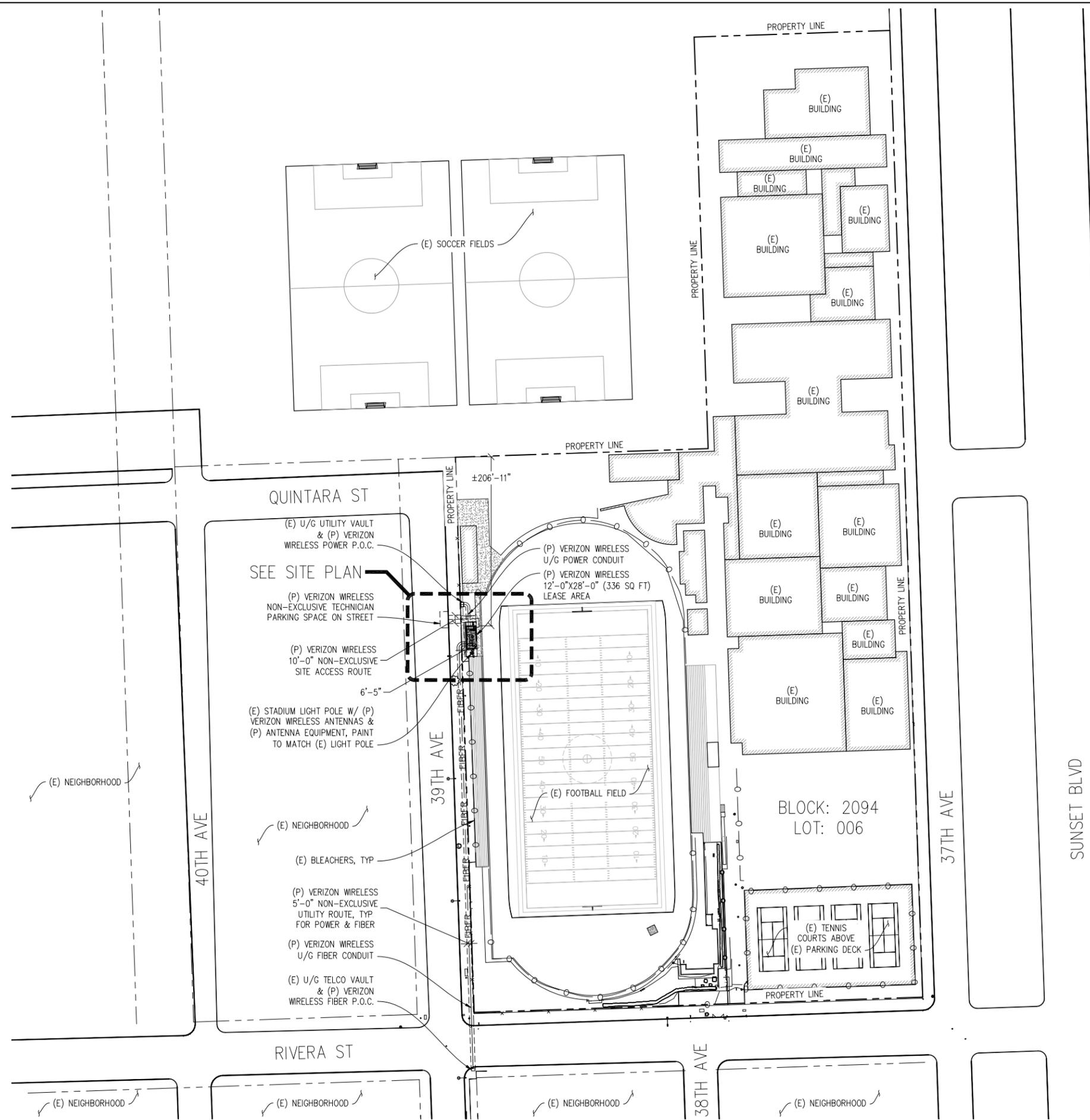
DATE: 04/16/19

SHEET TITLE:

OVERALL
SITE PLAN

SHEET NUMBER:

A-1



OVERALL SITE PLAN

1"=60'-0"

**SUNSET
&
NORIEGA**

255926
2001 37TH AVE
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verizon

2785 MITCHELL DRIVE, BLDG 9
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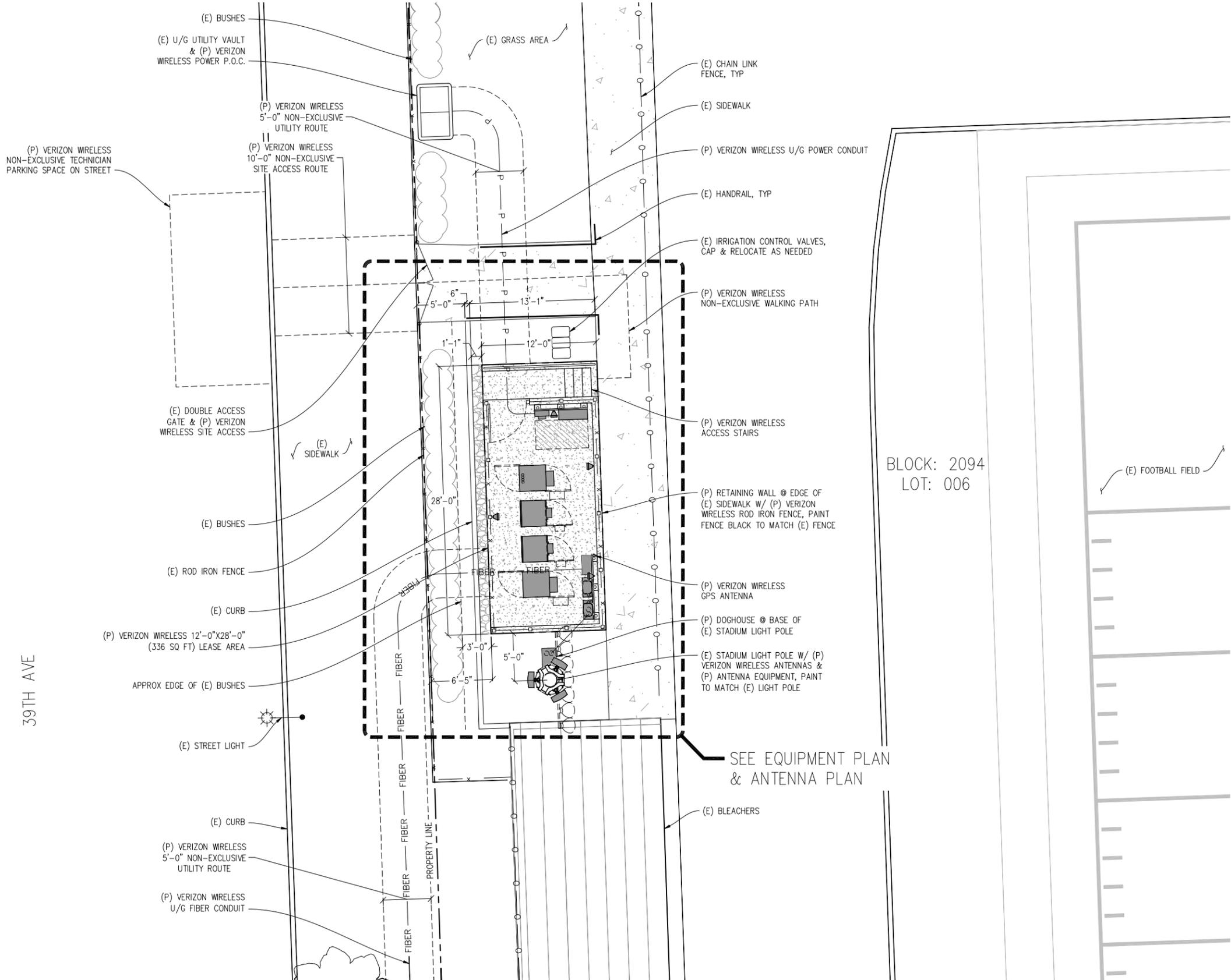
DRAWN BY: C. CODY
CHECKED BY: J. GRAY
APPROVED BY: -
DATE: 04/16/19

SHEET TITLE:

SITE PLAN

SHEET NUMBER:

A-2



BLOCK: 2094
LOT: 006

SEE EQUIPMENT PLAN
& ANTENNA PLAN



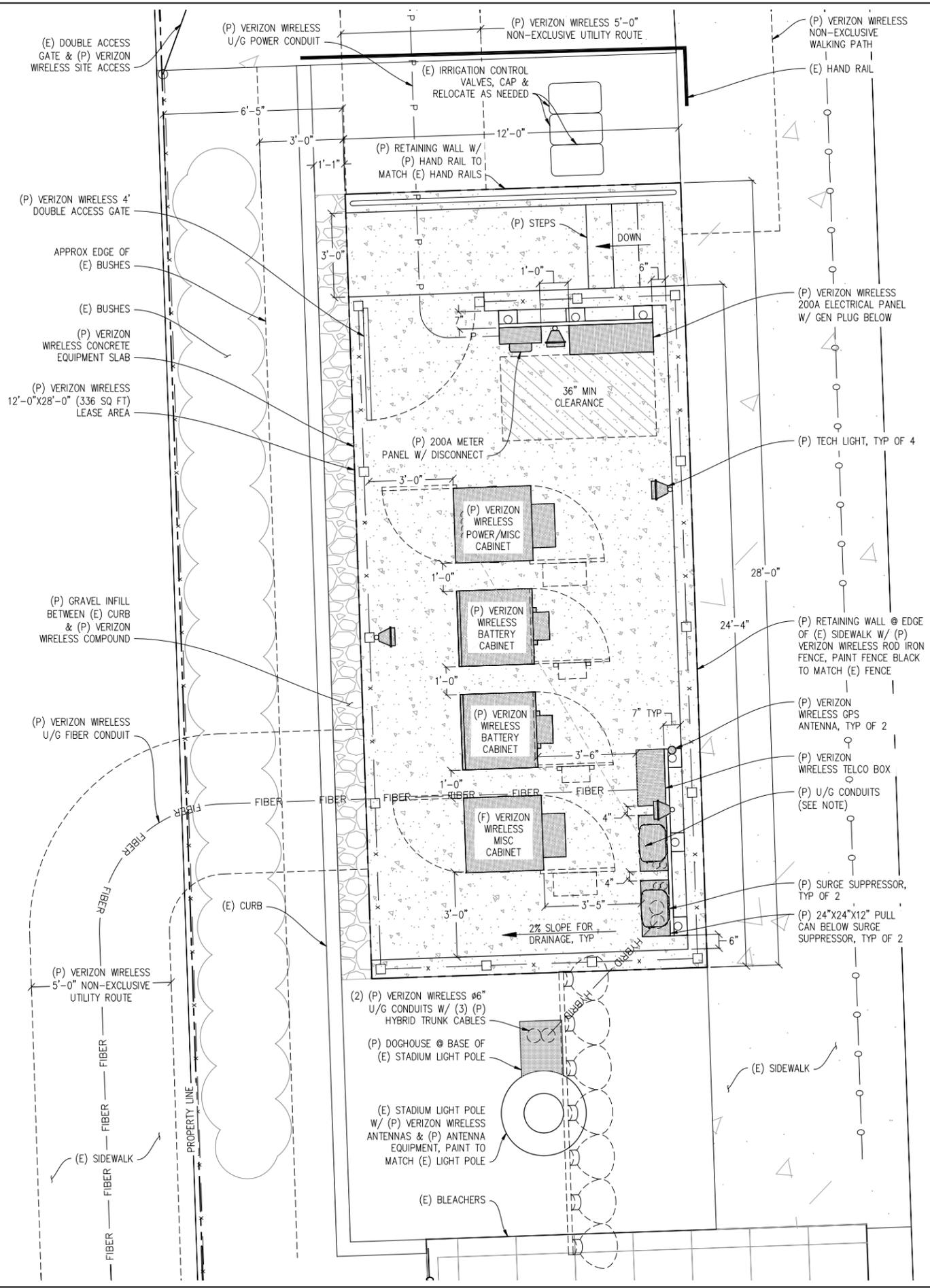
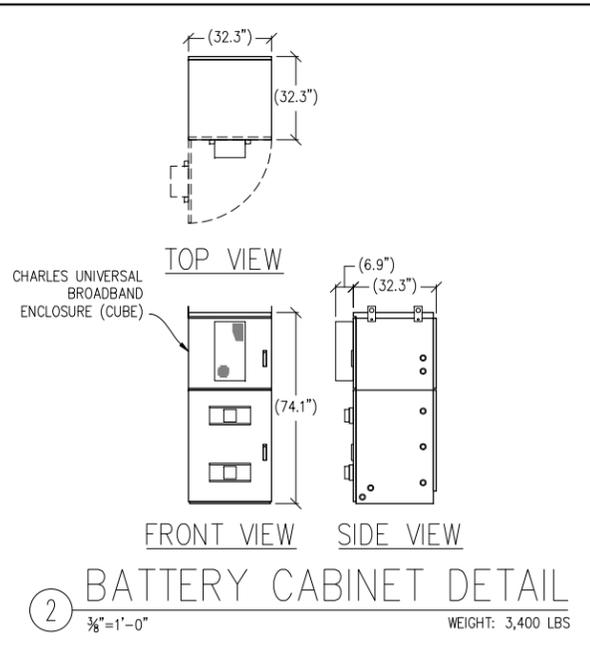
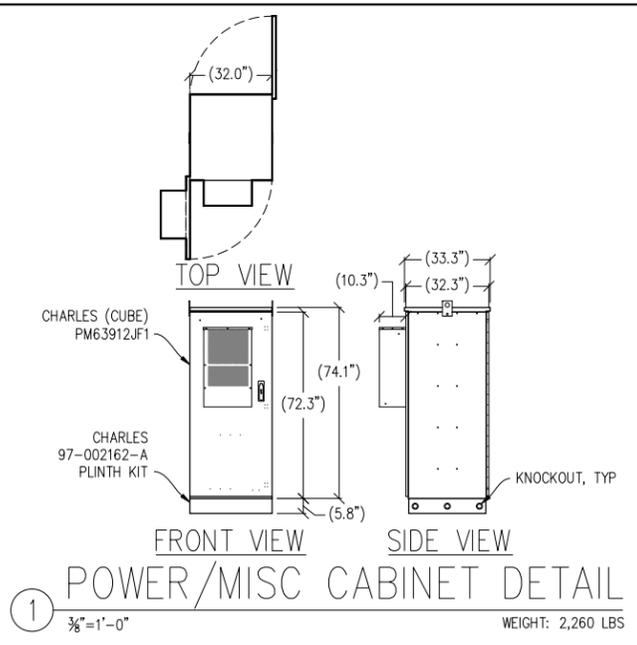
SITE PLAN

1"=5'-0"

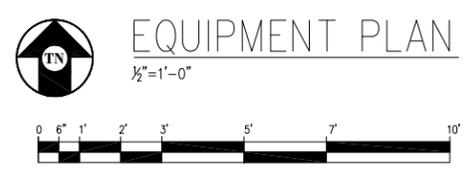


GC TO CAP &
RELOCATE IRRIGATION
LINES, VALVES, &
BOXES AS NEEDED

39TH AVE



NOTE:
 1. (P) VERIZON WIRELESS ANTENNAS HAVE BEEN OMITTED FOR CLARITY.
 2. GC TO CAP & RELOCATE IRRIGATION LINES, VALVES, & BOXES AS NEEDED.
 3. VERIZON WIRELESS WILL INSTALL (4) (P) ϕ 3\"/>



SUNSET & NORIEGA
 255926
 2001 37TH AVE
 SAN FRANCISCO, CA 94116

verizon
 2785 MITCHELL DRIVE, BLDG 9
 WALNUT CREEK, CA 94598

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	04/16/19	ZD 90%	C.C.
-	-	-	-
-	-	-	-
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-	-	-	-

DRAWN BY: C. CODY
 CHECKED BY: J. GRAY
 APPROVED BY: -
 DATE: 04/16/19

SHEET TITLE:
 EQUIPMENT PLAN & DETAILS
 SHEET NUMBER:
A-3

SUNSET & NORIEGA

255926
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SAN FRANCISCO, CA 94116



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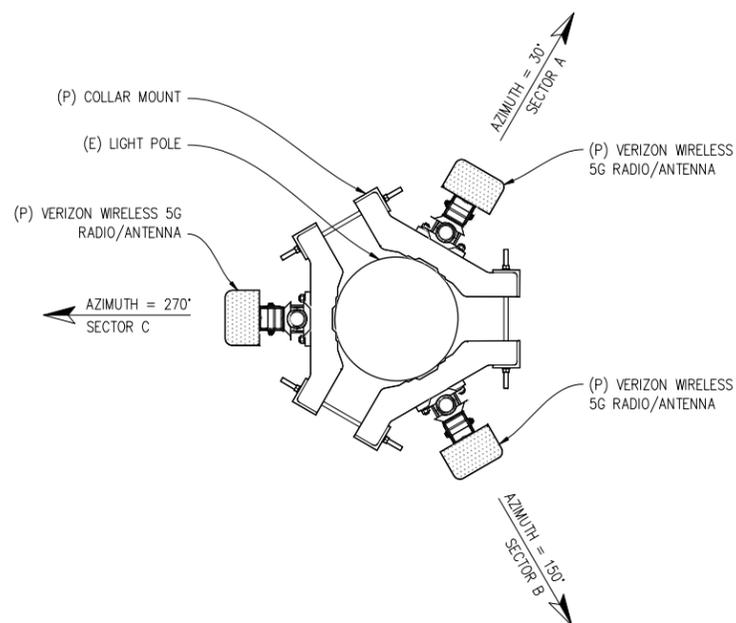
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CHECKED BY: J. GRAY
APPROVED BY: -
DATE: 04/16/19

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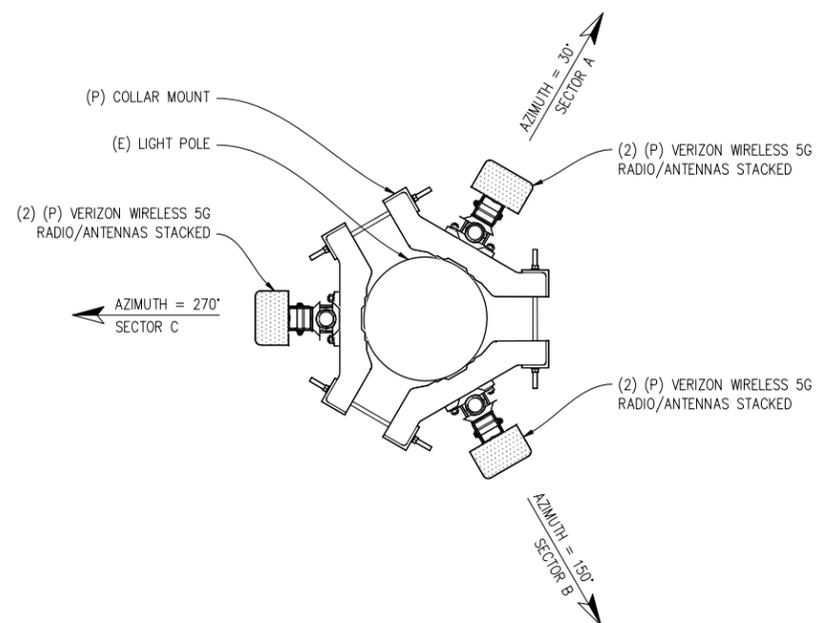
ANTENNA PLANS
& RRU PLANS

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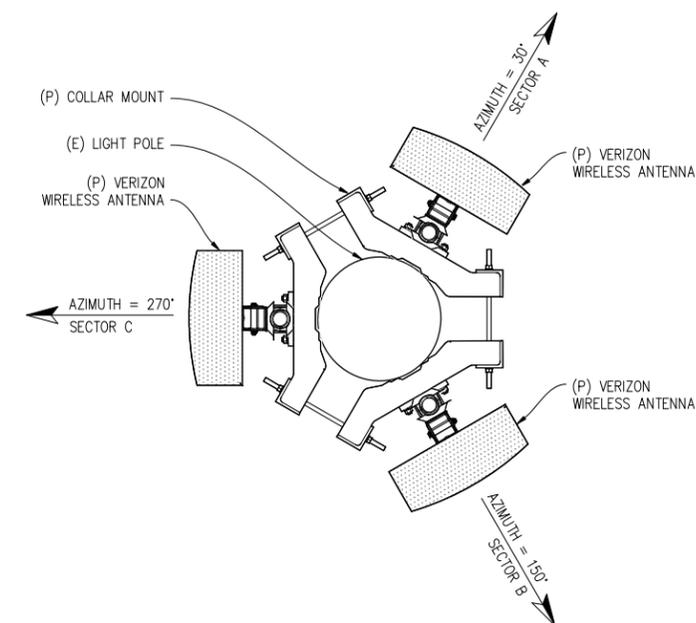
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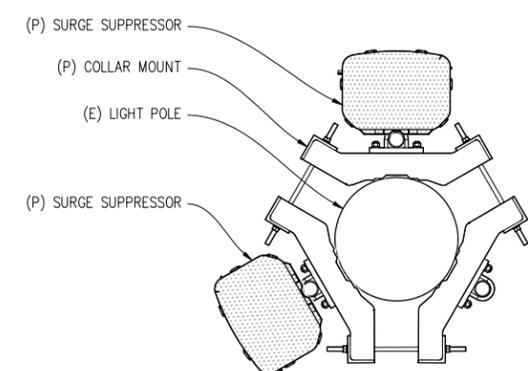
LOWER ANTENNA PLAN
1"=1'-0" CENTERLINE = 45'-0" A.G.L.



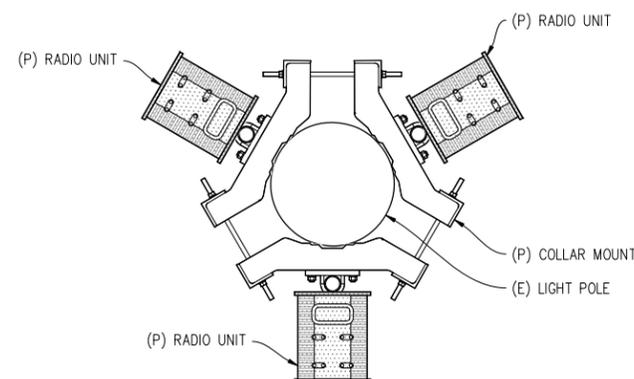
MIDDLE ANTENNA PLAN
1"=1'-0" CENTERLINE = 50'-0" A.G.L.



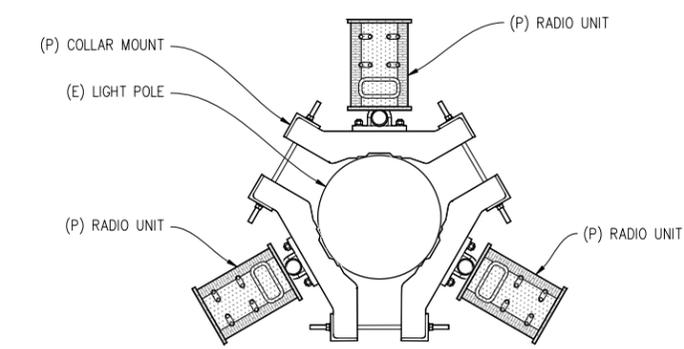
UPPER ANTENNA PLAN
1"=1'-0" CENTERLINE = 63'-0" A.G.L.



SURGE SUPPRESSOR PLAN
1"=1'-0" CENTERLINE = 34'-9" A.G.L.



LOWER RADIO LEVEL PLAN
1"=1'-0" CENTERLINE = 38'-3" A.G.L.



UPPER RADIO LEVEL PLAN
1"=1'-0" CENTERLINE = 41'-6" A.G.L.



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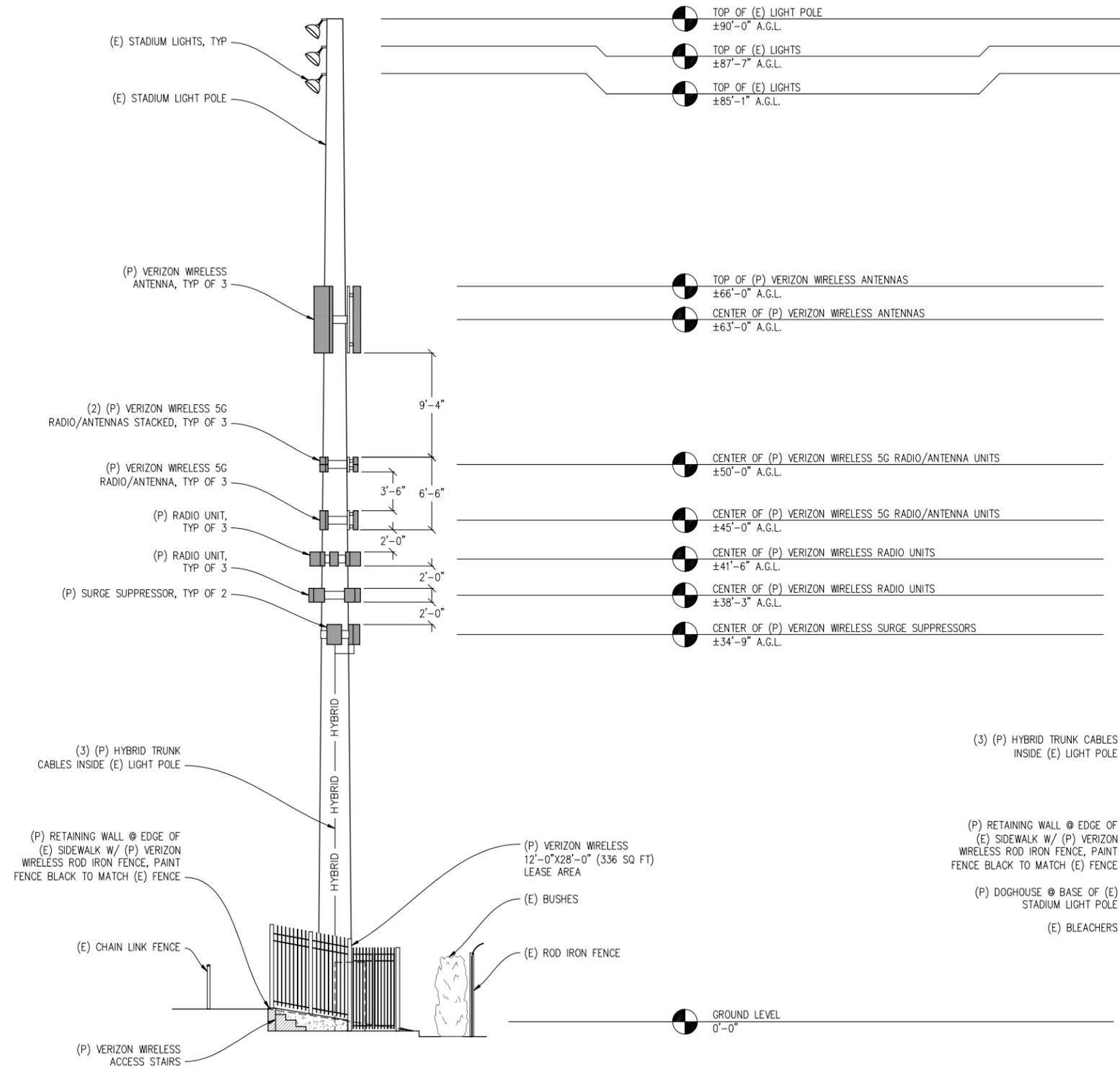
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CHECKED BY: J. GRAY
APPROVED BY: -
DATE: 04/16/19

SHEET TITLE:

ELEVATIONS

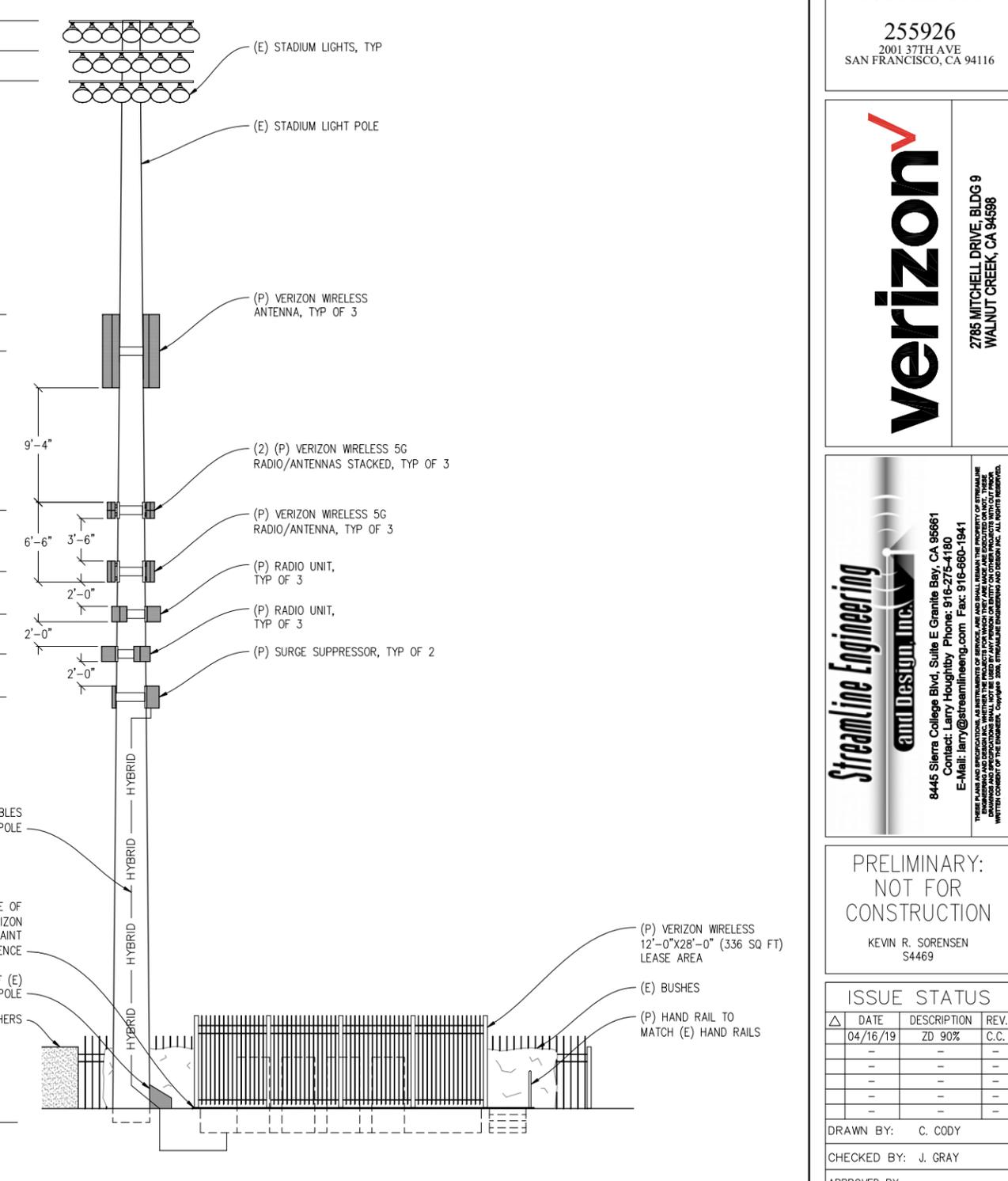
SHEET NUMBER:

A-5



NORTH ELEVATION
3/16"=1'-0"

NOTE: ALL (P) VERIZON WIRELESS ANTENNAS, (P) RADIO UNITS, & SURGE SUPPRESSORS TO BE PAINTED TO MATCH (E) LIGHT POLE



EAST ELEVATION
3/16"=1'-0"

NOTE: ALL (P) VERIZON WIRELESS ANTENNAS, (P) RADIO UNITS, & SURGE SUPPRESSORS TO BE PAINTED TO MATCH (E) LIGHT POLE



2785 MITCHELL DRIVE, BLDG 9
WALNUT CREEK, CA 94598



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KEVIN R. SORENSEN
54469

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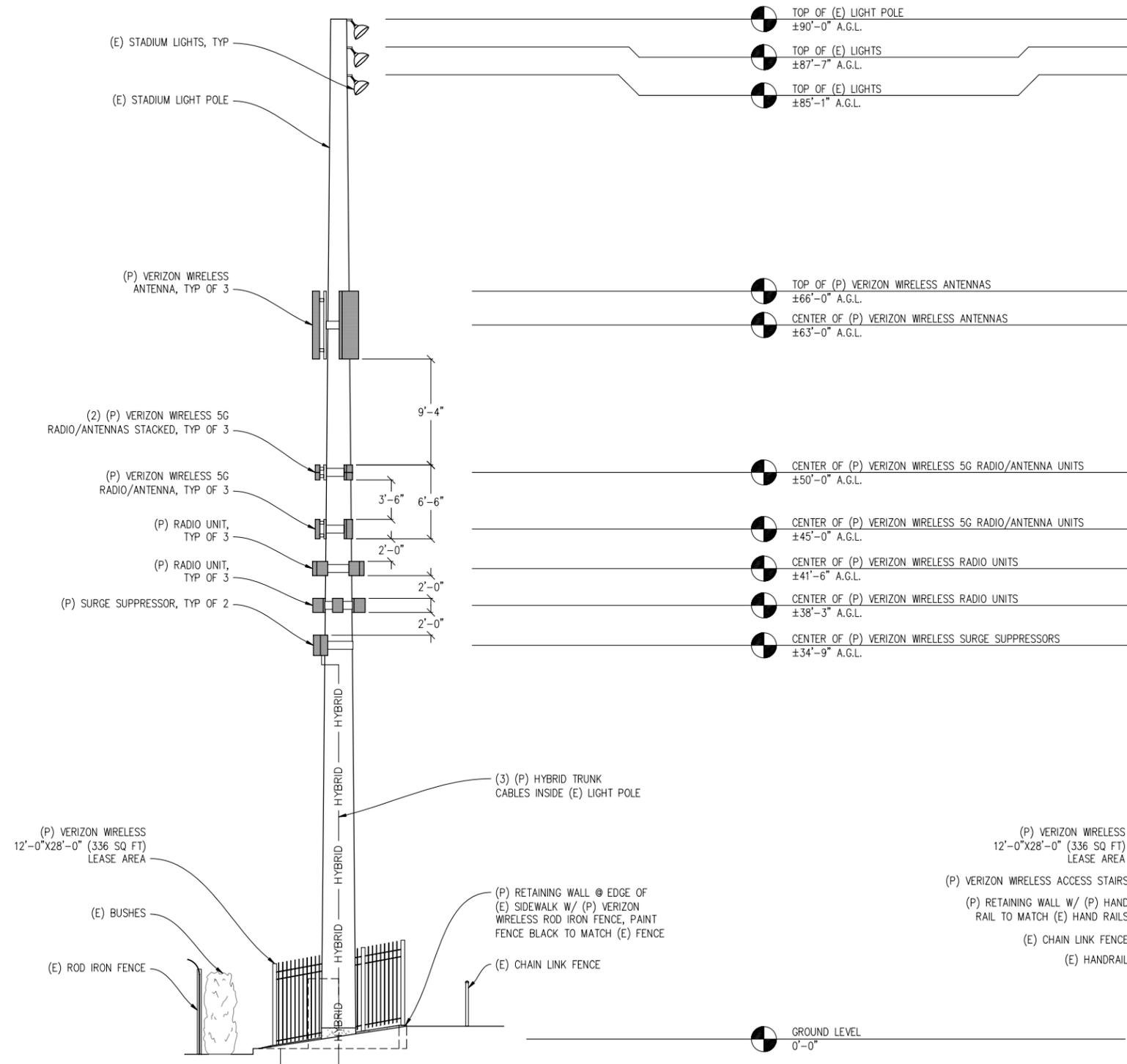
DRAWN BY: C. CODY
CHECKED BY: J. GRAY
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ELEVATIONS

SHEET NUMBER:

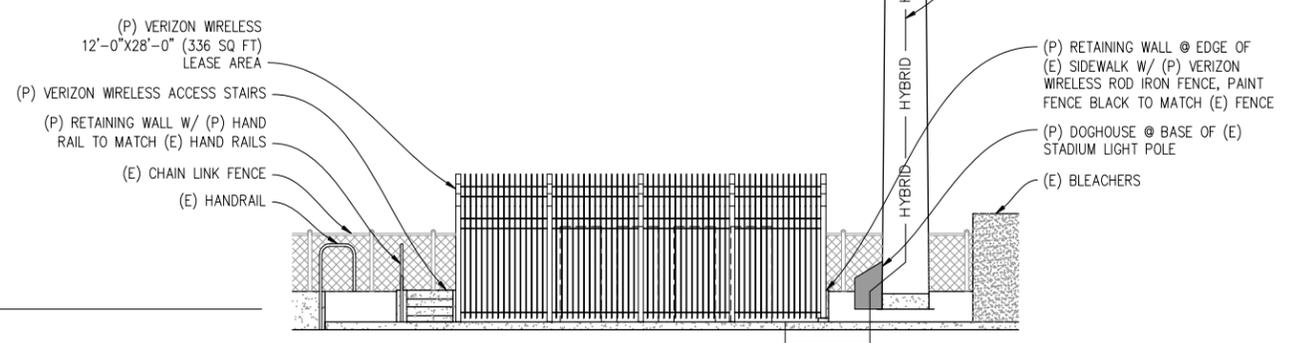
A-6



SOUTH ELEVATION

3/16" = 1'-0"

NOTE: ALL (P) VERIZON WIRELESS ANTENNAS, (P) RADIO UNITS, & SURGE SUPPRESSORS TO BE PAINTED TO MATCH (E) LIGHT POLE



WEST ELEVATION

3/16" = 1'-0"

NOTE: ALL (P) VERIZON WIRELESS ANTENNAS, (P) RADIO UNITS, & SURGE SUPPRESSORS TO BE PAINTED TO MATCH (E) LIGHT POLE

SUNSET & NORIEGA

255926
2001 37TH AVE
SAN FRANCISCO, CA 94116



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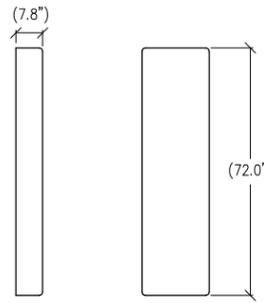
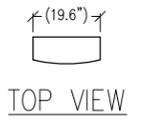
KEVIN R. SORENSEN
S4469

ISSUE STATUS

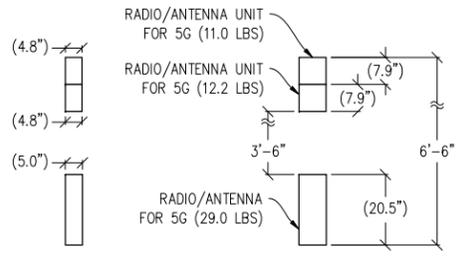
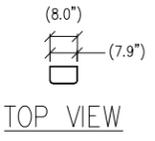
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DATE: 04/16/19

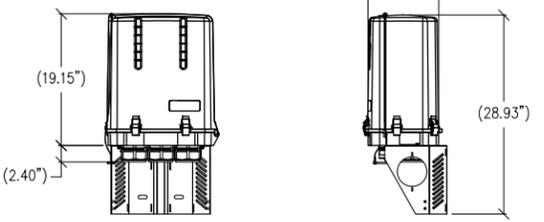
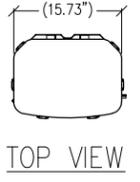
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DETAILS
SHEET NUMBER:
A-7



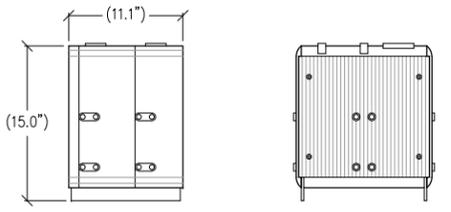
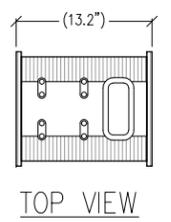
1 ANTENNA DETAIL
1/2"=1' MAX WEIGHT: 82 LBS



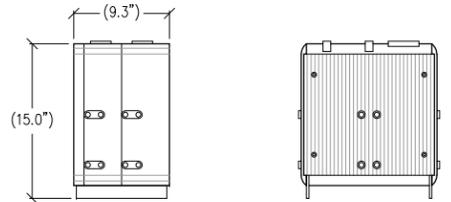
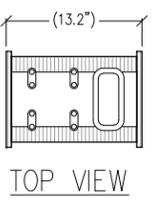
2 5G ANTENNA SETUP
1/2"=1'-0"



3 SURGE PROTECTION BOX
1"=1'-0" MAX WEIGHT: 32.0 LBS



4 RADIO DETAIL
1 1/2"=1'-0" MAX WEIGHT: 75 LBS



5 RADIO DETAIL
1 1/2"=1'-0" MAX WEIGHT: 70 LBS



Existing



proposed antennas

Proposed



PRELIMINARY DRAWINGS FOR SAINT IGNATIUS COLLEGE PREPARATORY SPORTS FIELD LIGHTING

2001 37TH AVENUE
SAN FRANCISCO, CA 94116
VERDE DESIGN, INC. PROJECT NO. 1601100

PREPARED BY



2455 The Alameda
South San Francisco, CA 94065
tel: 408.985.7200
fax: 408.985.7260



1024 Iron Point Rd.
Suite 100 #1241
Folsom, CA 95630
tel: 916.415.6567
fax: 408.985.7260

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SCOPE OF WORK

INSTALLATION OF SPORT FIELD LIGHTING AT THE EXISTING FOOTBALL FIELD AND ANY ELECTRICAL WORK ASSOCIATED WITH THE LIGHTING SCOPE OF WORK.

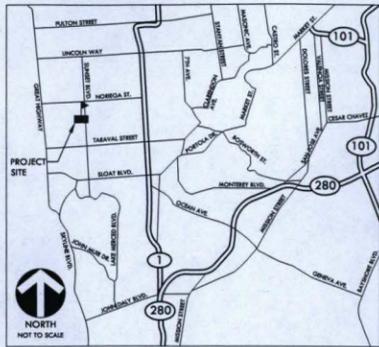
CONTACT INFORMATION

ORGANIZATION	NAME	PHONE
OWNER SAINT IGNATIUS COLLEGE PREPARATORY	KEN STUPI	(415) 682-5070
CIVIL ENGINEER / LANDSCAPE ARCHITECT VERDE DESIGN INC.	MARK BAGINSKI	(408) 850-3406
ELECTRICAL ENGINEER ACEE	SAMMY FERNANDEZ	(408) 236-2312
SPORT FIELD LIGHTING MUSCO	BOB CROOKHAM	(530) 672-9500

SHEET INDEX

SHEET NO.	SHEET DESCRIPTION
-	COVER SHEET
L1.0	LOCATION MAP
L2.0	SITE PLAN
L3.1	MUSCO LIGHTING DESIGN
L3.2	MUSCO LIGHTING DESIGN
L3.3	MUSCO LIGHTING DESIGN
L3.4	MUSCO LIGHTING DESIGN
L3.5	MUSCO LIGHTING DESIGN
E0.1	GENERAL NOTES, SYMBOL LIST, ABBREVIATIONS AND FIXTURE SCHEDULE
E1.1	ELECTRICAL SITE PLAN
E2.1	ELECTRICAL SINGLE LINE DIAGRAM
E3.1	ELECTRICAL DETAILS
E3.2	ELECTRICAL DETAILS

PROJECT MAP



VICINITY MAP



SITE MAP

APPLICABLE CODES

1. 2016 CBC CHAPTER 35, PROVIDE ALL THE APPLICABLE/ADOPTED STANDARDS, WHERE A PARTICULAR STANDARD IS REFERENCED IN THE CODE BUT DOES NOT APPEAR AS AN ADOPTED STANDARD IT MAY STILL BE USED, APPLY ONLY THE PORTION OF THE STANDARD THAT IS APPLICABLE TO THE CODE SECTION WHERE THE STANDARD IS REFERENCED, NOT THE ENTIRE STANDARD.

- 2016 BUILDING STANDARDS ADMINISTRATIVE CODE, PART 1, TITLE 24 C.C.R.
- 2016 CALIFORNIA BUILDING CODE (CBC), PART 2, TITLE 24 C.C.R.
- (2015 INTERNATIONAL BUILDING CODE VOLUMES 1, 2 AND 2016 CALIFORNIA AMENDMENTS)
- 2016 CALIFORNIA ELECTRICAL CODE (CEC), PART 3, TITLE 24 C.C.R.
- (2014 NATIONAL ELECTRICAL CODE AND 2016 CALIFORNIA AMENDMENTS)
- 2016 CALIFORNIA MECHANICAL CODE (CMC), PART 4, TITLE 24 C.C.R.
- (2015 UNIFORM MECHANICAL CODE AND 2016 CALIFORNIA AMENDMENTS)
- 2016 CALIFORNIA PLUMBING CODE (CPC), PART 5, TITLE 24 C.C.R.
- (2015 UNIFORM PLUMBING CODE AND 2016 CALIFORNIA AMENDMENTS)
- 2016 CALIFORNIA ENERGY CODE, PART 6, TITLE 24 C.C.R.
- 2016 CALIFORNIA FIRE CODE, PART 9, TITLE 24 C.C.R.
- (2012 INTERNATIONAL FIRE CODE AND 2016 CALIFORNIA AMENDMENTS)
- 2016 CALIFORNIA EXISTING BUILDING CODE, PART 10, TITLE 24 C.C.R.
- (2015 INTERNATIONAL EXISTING BUILDING CODE AND 2016 CALIFORNIA AMENDMENTS)
- 2016 CALIFORNIA "GREEN" BUILDING REQUIREMENTS OR CAL GREEN, PART 11, TITLE 24 C.C.R.
- 2016 CALIFORNIA REFERENCED STANDARDS, PART 12, TITLE 24 C.C.R.
- 2016 TITLE 19 C.C.R., PUBLIC SAFETY, STATE FIRE MARSHAL REGULATIONS.
- 2013 ASME A17.1/CSA 44-13 SAFETY CODE FOR ELEVATORS AND ESCALATORS

- LIST OF FEDERAL CODES AND STANDARDS (IF APPLICABLE)
- AMERICANS WITH DISABILITIES ACT (ADA), TITLE II OR TITLE III
- FOR TITLE II, UNIFORM FEDERAL ACCESSIBILITY STANDARDS (UFAS) 28 CFR 35.151(d)
- OR ADA STANDARDS FOR ACCESSIBLE DESIGN (APPENDIX A OF 28 CFR PART 36)
- FOR TITLE III, ADA STANDARDS FOR ACCESSIBLE DESIGN (APPENDIX A OF 28 CFR PART 36)
- 28 CFR 36.406
- 2010 AMERICANS WITH DISABILITIES ACT (ADA) STANDARDS FOR ACCESSIBLE DESIGN

NOTE: TITLE II APPLIES TO PROJECTS FUNDED AND/OR USED BY STATE AND LOCAL GOVERNMENT SERVICES. TITLE III COVERS PUBLIC ACCOMMODATIONS AND COMMERCIAL FACILITIES. DEPENDING ON THE USE AND FUNDING, BOTH TITLE II MAY APPLY TO THE PROJECT.

- NFPA 13 AUTOMATIC SPRINKLER SYSTEMS (CALIFORNIA AMENDED) 2016 EDITION
- NFPA 14 STANDPIPE SYSTEMS 2016 EDITION
- NFPA 17 DRY CHEMICAL EXTINGUISHING SYSTEMS 2017 EDITION
- NFPA 17A WET CHEMICAL EXTINGUISHING SYSTEMS 2017 EDITION
- NFPA 20 STATIONARY FIRE PUMPS 2016 EDITION
- NFPA 22 WATER TANKS FOR PRIVATE FIRE PROTECTION 2013 EDITION
- NFPA 24 PRIVATE FIRE SERVICE MAINS 2016 EDITION
- NFPA 72 NATIONAL FIRE ALARM AND SIGNALING CODE (CALIFORNIA AMENDED) 2016 EDITION
- (NOTE: SEE US STANDARD 1971 FOR "VISUAL DEVICES")
- NFPA 80 FIRE DOORS AND OTHER OPENING PROTECTIVES 2016 EDITION
- NFPA 253 CRITICAL RADIANT FLUX OF FLOOR COVERING SYSTEMS 2016 EDITION
- NFPA 2001 CLEAN AGENT FIRE EXTINGUISHING SYSTEMS 2003 (R2010)
- UL 300 FIRE TESTING OF FIRE EXTINGUISHING SYSTEMS FOR PROTECTION OF COMMERCIAL COOKING EQUIPMENT 2005 EDITION
- UL 464 AUDIBLE SIGNALING DEVICES FOR FIRE ALARM AND SIGNALING SYSTEMS, INCLUDING ACCESSORIES 2003 EDITION
- UL 521 HEAT DETECTORS FOR FIRE PROTECTIVE SIGNALING SYSTEMS 1999 EDITION
- UL 1971 SIGNALING DEVICES FOR THE HEARING IMPAIRED 2003 EDITION
- ICC 300 BLEACHERS, FOLDING AND TELESCOPING SEATING, AND GRANDSTANDS 2012 EDITION
- ASME 17.1 ELEVATOR STANDARD 2016 EDITION

REFERENCE CODE SECTIONS FOR APPLICABLE STANDARDS - 2016 CALIFORNIA BUILDING CODE (FOR SFM) REFERENCED STANDARDS CHAPTER 35

ADA STANDARD FOR ACCESSIBLE DESIGN (APPENDIX A OF 28 CFR PART 36)

- THE INTENT OF THESE DRAWINGS AND SPECIFICATIONS IS THAT WORK OF THE ALTERATION, REHABILITATION OR RECONSTRUCTION IS TO BE IN ACCORDANCE WITH TITLE 24, CALIFORNIA CODE OF REGULATIONS, SHOULD ANY EXISTING CONDITIONS SUCH AS DETERIORATION OR NON-COMPLYING CONSTRUCTION BE DISCOVERED WHICH IS NOT COVERED BY THE CONTRACT DOCUMENTS WHEREIN THE FINISHED WORK WILL NOT COMPLY WITH TITLE 24, CALIFORNIA CODE OF REGULATIONS, A CHANGE ORDER, OR A SEPARATE SET OF PLANS AND SPECIFICATIONS, DETAILING AND SPECIFYING THE REQUIRED WORK SHALL BE SUBMITTED TO AND APPROVED BY THE OWNER REPRESENTATIVE BEFORE PROCEEDING WITH THE WORK.
- ALL EXISTING FIRE EXTINGUISHING SYSTEMS ARE IN COMPLIANCE WITH UL 300, CFC 904.11, CFC 904.11.

GENERAL NOTES

- PRIOR TO BIDDING, THE GENERAL CONTRACTOR SHALL VISIT & INSPECT THE SITE & FAMILIARIZE THEMSELVES WITH EXISTING CONDITIONS AFFECTING THE NEW WORK. THE GENERAL CONTRACTOR SHALL NOT DISPUTE, COMPLAIN OR ASSERT THAT THERE IS ANY MISUNDERSTANDING IN REGARDS TO LOCATION, EXTENT, NATURE OR AMOUNT OF WORK TO BE PERFORMED UNDER THIS CONTRACT DUE TO THE CONTRACTOR'S FAILURE TO INSPECT THE SITE. CONTRACTOR SHALL NOTIFY THE OWNER OF ANY CONDITIONS, REQUIRING WORK, WHICH ARE NOT COVERED IN THE CONTRACT DOCUMENTS.
- NO CONSTRUCTION SHALL COMMENCE WITHOUT THE OFFICIAL NOTICE TO PROCEED FROM THE OWNER.
- THE GENERAL CONTRACTOR & SUBCONTRACTORS ARE RESPONSIBLE FOR LOCATING & VERIFYING ALL EXISTING UNDERGROUND UTILITIES IN ALL AREAS OF NEW WORK PRIOR TO COMMENCEMENT OF EXCAVATION. EXISTING UTILITIES SHOWN ON THE DRAWINGS ARE APPROXIMATE ROUTING LOCATIONS AS BEST DETERMINED FROM EXISTING DRAWINGS AND THE OWNER, BUT SHOULD NOT BE CONSTRUED TO REPRESENT ALL OF THE EXISTING UNDERGROUND UTILITIES. THE CONTRACTOR SHALL FORTHOE ALL EXISTING UTILITIES THAT MAY BE AFFECTED BY NEW FACILITIES IN THIS CONTRACT. VERIFY ACTUAL LOCATION AND DEPTH OF UTILITIES, AND REPORT POTENTIAL CONFLICTS TO THE OWNER PRIOR TO EXCAVATING FOR NEW FACILITIES.
- CONTRACTOR SHALL TAKE ALL NECESSARY STEPS TO PROTECT ALL EXISTING UTILITIES, WHETHER SHOWN OR NOT, IN THE CONTRACT DOCUMENTS. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DAMAGES TO EXISTING UTILITIES CAUSED BY ITS OPERATIONS.
- THE CONTRACTOR SHALL PROTECT ALL EXISTING ITEMS WITHIN SITE IMPROVEMENTS. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REPAIR ALL DAMAGED AREAS TO THEIR ORIGINAL CONDITION OR BETTER AT CONTRACTOR'S EXPENSE TO THE SATISFACTION OF THE OWNER.
- DIMENSIONS AND LOCATIONS OF EXISTING FACILITIES ARE APPROXIMATE AND SHALL BE FIELD VERIFIED BY CONTRACTOR. ANY DISCREPANCIES SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER.
- ALL WORK SHALL CONFORM TO THE LATEST EDITION OF THE CALIFORNIA BUILDING CODE, CALIFORNIA PLUMBING CODE, CALIFORNIA FIRE CODE AND ALL APPLICABLE STATE AND LOCAL CODES AND ORDINANCES, AS WELL AS ADAPTED STANDARDS.
- ALL NOTES ARE FOR GENERAL REFERENCE IN CONJUNCTION WITH, AND AS A SUPPLEMENT TO, THE WRITTEN SPECIFICATIONS AND DETAILS ASSOCIATED WITH THE CONTRACT DOCUMENTS.
- THIS DRAWING SET SHALL BE USED IN CONJUNCTION WITH THE CSI FORMAT SPECIFICATIONS PUBLISHED IN BOOK FORM. COMBINED, THEY ARE REFERRED TO AS THE "CONTRACT DOCUMENTS".
- DIMENSIONS ON WORKING DRAWINGS TAKE PRECEDENCE OVER MEASURED ELEMENTS. CONTRACTOR SHALL NOT SCALE DRAWINGS.
- ALL TYPICAL DETAILS SHALL APPLY UNLESS NOTED OTHERWISE.
- CONTRACTOR SHALL PROVIDE ADEQUATE DUST CONTROL AND KEEP MUD AND DEBRIS OFF THE PUBLIC RIGHT-OF-WAY AT ALL TIMES.
- ALL TRENCHES AND EXCAVATIONS SHALL BE CONSTRUCTED IN STRICT COMPLIANCE WITH THE APPLICABLE SECTIONS OF CALIFORNIA AND FEDERAL O.S.H.A. REQUIREMENTS AND OTHER APPLICABLE SAFETY ORDINANCES. CONTRACTOR SHALL BEAR FULL RESPONSIBILITY FOR TRENCH SHIELDING DESIGN AND INSTALLATION.
- ANY ALTERATIONS OF EXISTING FACILITIES TO ACCOMMODATE THE INSTALLATION OF NEW WORK SHALL BE REVIEWED BY THE OWNER PRIOR TO COMMENCING WORK.
- CONTRACTOR SHALL COORDINATE ALL WORK TO AVOID DISTURBING STUDENTS OR TEACHERS DURING SCHOOL HOURS. ANY DISRUPTION OF THE UTILITIES MUST BE COORDINATED AND APPROVED BY THE OWNER AND INSPECTOR OF RECORD PRIOR TO COMMENCING WORK.
- ALL TEMPORARY WORK SHALL BE CONSIDERED A PART OF THIS CONTRACT AND NO EXTRA CHARGES WILL BE ALLOWED. THIS SHALL INCLUDE MINOR ITEMS OF MATERIAL OR EQUIPMENT NECESSARY TO MEET THE REQUIREMENTS AND INTENT OF THE PROJECT.
- THE PLANS AND SPECIFICATIONS DO NOT UNDERTAKE TO SHOW OR LIST EVERY ITEM TO BE PROVIDED, BUT RATHER TO DEFINE THE REQUIREMENTS FOR A FULL AND WORKING SYSTEM FROM THE STANDPOINT OF THE END USER. FOR THIS REASON, WHEN AN ITEM NOT SHOWN OR LISTED IS CLEARLY NECESSARY FOR PROPER CONTROL/OPERATION OF EQUIPMENT WHICH IS SHOWN OR LISTED, THE CONTRACTOR SHALL PROVIDE AN ITEM WHICH WILL ALLOW THE SYSTEM TO FUNCTION PROPERLY AT NO INCREASE IN PRICE.
- ALL CONTRACTORS SHALL REMOVE TRASH AND DEBRIS STEMMING FROM THEIR WORK ON A DAILY BASIS. PROJECT SITE SHALL BE MAINTAINED IN A CLEAN AND ORDERLY CONDITION.
- THE DETAILS REFLECT THE DESIGN INTENT FOR TYPICAL CONDITIONS. THE CONTRACTOR SHALL VERIFY ALL FIELD CONDITIONS AND SHALL INCLUDE, IN HIS SCOPE, THE COST FOR COMPLETE FINISHED INSTALLATIONS, INCLUDING ANOMALIES, OF ALL TRADES.
- NO WORK SHALL COMMENCE WITH UNAPPROVED MATERIALS. ANY WORK DONE WITH UNAPPROVED MATERIALS AND EQUIPMENT IS AT THE CONTRACTOR'S RISK AND IS SUBJECT TO REJECTION AND REPLACEMENT. SEE SPECIFICATIONS FOR SUBMITTAL AND SUBSTITUTION REQUIREMENTS.
- CONSTRUCTION MATERIALS STORED ON THE SITE SHALL BE PROPERLY STACKED AND PROTECTED SO AS TO PREVENT DAMAGE OR DETERIORATION UNLESS USED. FAILURE IN THIS REGARD MAY BE CAUSE FOR REJECTION OF MATERIAL AND/OR WORK.
- ALL EQUIPMENT SHALL BE FABRICATED FROM FIELD VERIFIED DIMENSIONS AND APPROVED SHOP DRAWINGS. COORDINATE MECHANICAL, PLUMBING AND ELECTRICAL EQUIPMENT.
- CONTRACTOR SHALL PERFORM THEIR CONSTRUCTION AND OPERATIONS IN A MANNER WHICH WILL NOT ALLOW HARMFUL POLLUTANTS TO ENTER THE STORM DRAIN SYSTEM. TO ENSURE COMPLIANCE, THE CONTRACTOR SHALL IMPLEMENT THE APPROPRIATE BEST MANAGEMENT PRACTICE (BMP) AS OUTLINED IN THE BROCHURES ENTITLED "BEST MANAGEMENT PRACTICE FOR THE CONSTRUCTION INDUSTRY" ISSUED BY THE CALIFORNIA STORM WATER QUALITY ASSOCIATION, NONPOINT SOURCE POLLUTION CONTROL PROGRAM, TO SUIT THE CONSTRUCTION SITE AND JOB CONDITION. THE CONTRACTOR SHALL PRESENT HIS PROPOSED BMP AT THE PRECONSTRUCTION MEETING FOR DISCUSSION AND APPROVAL.
- CONTRACTOR SHALL PROVIDE TEMPORARY CONSTRUCTION FENCING PER CONTRACT DOCUMENTS TO SERVE LUIT OF WORK AREAS. FENCING MAY BE ADJUSTED DURING CONSTRUCTION BASED ON CONSTRUCTION SEQUENCE OR THE OWNER'S DIRECTION.
- OVERNIGHT PARKING OF CONSTRUCTION EQUIPMENT IN THE STREET RIGHT-OF-WAY SHALL NOT BE PERMITTED.

APPLICATION PLANS
SUBMITTED ON: *9/10/18*
2018-0126480A
APPLICATION NO.:

SAINT IGNATIUS COLLEGE PREPARATORY SPORTS FIELD LIGHTING
PRELIMINARY PLANS - 09/04/18



VERDE DESIGN
 LANDSCAPE ARCHITECTURE
 CIVIL ENGINEERING
 SPORT PLANNING & DESIGN
 2455 The Alameda
 San Francisco, CA 94106
 tel: 408.985.7200
 fax: 408.985.7260
 www.VerdeDesign.com

STAMP



CONSULTANT

SHEET TITLE

LOCATION MAP

PROJECT NAME

**SAINT IGNATIUS
 COLLEGE PREPARATORY
 SPORTS FIELD LIGHTING
 PROJECT**

PROJECT ADDRESS

**2001 37TH AVENUE
 SAN FRANCISCO, CA 94116**

SUBMITTAL

DATE

PRELIMINARY PLANS 09/04/18

NO. REVISIONS

DATE

NO. REVISIONS	DATE

DRAWN BY

QH

CHECKED BY

MB

DATE ISSUED

09/04/18

SCALE

1" = 60'-0"

PROJ. NO.

1601100

SHEET NO.

L1.0

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VERDE DESIGN

LANDSCAPE ARCHITECTURE
CIVIL ENGINEERING
SPORT PLANNING & DESIGN

2455 The Alameda
San Francisco, CA 94105
Tel: 408.985.7200
Fax: 408.985.7260
www.VerdeDesign.com

STAMP



CONSULTANT

SHEET TITLE

SITE PLAN

PROJECT NAME

SAINT IGNATIUS
COLLEGE PREPARATORY
SPORTS FIELD LIGHTING
PROJECT

PROJECT ADDRESS

2001 37TH AVENUE
SAN FRANCISCO, CA 94116

SUBMITTAL

DATE

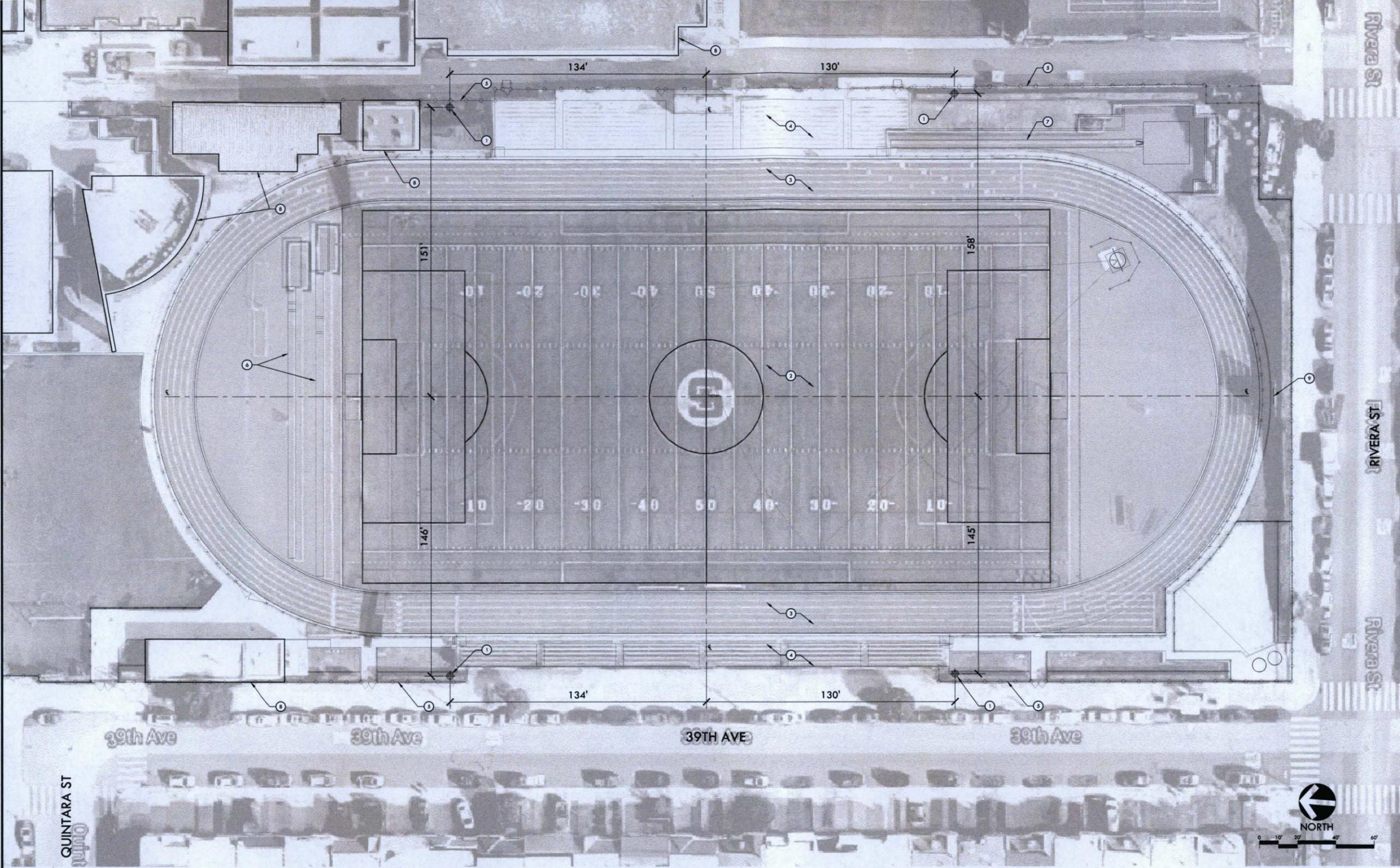
PRELIMINARY PLANS 09/04/18

SITE PLAN LEGEND

SYM	DESCRIPTION	NO.	REVISIONS	DATE
①	PROPOSED LIGHT POLES	△		
②	EXISTING FIELD	△		
③	EXISTING TRACK	△		
④	EXISTING BLEACHERS	△		
⑤	EXISTING FENCE	△		
⑥	EXISTING LONG/ TRIPLE JUMP	△		
⑦	EXISTING POLE VAULT	△		
⑧	EXISTING BUILDINGS	△		
⑨	EXISTING SCOREBOARD	△		

DRAWN BY	CHECKED BY
QH	MB
DATE ISSUED	SCALE
09/04/18	1" = 20'-0"
PROJ. NO.	
1601100	
SHEET NO.	
L2.0	

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STAMP

CONSULTANT

SHEET TITLE

MUSCO LIGHTING DESIGN

PROJECT NAME
SAINT IGNATIUS COLLEGE PREPARATORY SPORTS FIELD LIGHTING PROJECT

PROJECT ADDRESS
**2001 37TH AVENUE
 SAN FRANCISCO, CA 94116**

SUBMITTAL	DATE
PRELIMINARY PLANS	09/04/18

NO.	REVISIONS	DATE

DRAWN BY
MUSCO

CHECKED BY
MB

DATE ISSUED
09/04/18

SCALE
AS SHOWN

PROJ. NO.
1601100

SHEET NO.
L3.1

St Ignatius Prep School FB/SO
 San Francisco, CA

Lighting System

Area / Fixture Summary	Area	Height	Fixture Qty	Luminaire Type	Lead	Control
P1	90'	10'	2	TLC-87-075	1.19 kW	A
P2	90'	10'	2	TLC-87-075	1.19 kW	A
P3-P4	90'	10'	2	TLC-87-075	1.19 kW	A
#	90'	10'	2	TLC-87-075	1.19 kW	A

Contour Summary

Contour	Description	Lead	Fixture Qty
A	Field Lights	58.2 kW	52
B	Structures	1.9 kW	4

Fixture Type Summary

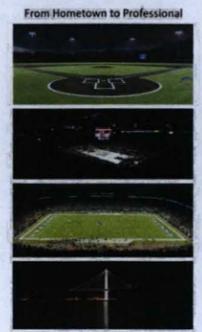
Type	Brand	Model	Lumens	100'	150'	200'	250'
TLC-87-075	LED 5700K - 75 CRI	400W	38,400	41,000	+72,000	+72,000	4
TLC-87-075	LED 5700K - 75 CRI	570W	52,000	+41,000	+41,000	+41,000	4
TLC-LED-1150	LED 5700K - 75 CRI	1100W	121,000	+41,000	+41,000	+41,000	44

Light Level Summary

Calculation Method	Area	Min	Max	Min/Max	Control	Fixture Qty	
Blanket Spd - 0.50m - Horizontal	Horizontal Illuminance	19.7	0	0.13	0.00	A	52
Blanket Spd - 0.50m - Vertical	Max Vert Illuminance (by Light Beam)	19.8	0	0.17	0.00	A	52
Field	Horizontal Illuminance	58	68.2	0.18	1.36	A	52
Home Structures	Horizontal Illuminance	5.41	1.92	0.48	4.98	B	4
Property Line - Club - Split/Clm	Horizontal Illuminance	1.12	0	0.38	0.00	A,B	56
Property Line - Club - Split/Clm	Max Candela Metric	749.2	0	429.3	0.00	A,B	56
Property Line - Club - Split/Clm	Max Vertical Illuminance Metric	1.38	0	0.71	0.00	A,B	56
Property Line - Home - Split/Clm	Horizontal Illuminance	0	0	0.02	0.00	A,B	56
Property Line - Home - Split/Clm	Max Candela Metric	04.8	0	408	0.00	A,B	56
Property Line - Home - Split/Clm	Max Vertical Illuminance Metric	0	0	0.02	0.00	A,B	56
Stair	Horizontal Illuminance	80.3	44.8	0.12	1.17	A	52
Track	Horizontal Illuminance	29.8	5.53	0.18	187.23	A	52
Visitor Structures	Horizontal Illuminance	5.54	1.98	0.44	5.97	B	4

PROJECT SUMMARY

ENGINEERED DESIGN By: K. Reynolds • File #66263C • 05-Apr-18



St Ignatius Prep School FB/SO
 San Francisco, CA

ILLUMINATION SUMMARY

Area	Height	Fixture Qty	Luminaire Type	Lead	Control
P1	10'	2	TLC-87-075	1.19 kW	A
P2	10'	2	TLC-87-075	1.19 kW	A
P3-P4	10'	2	TLC-87-075	1.19 kW	A
#	10'	2	TLC-87-075	1.19 kW	A

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 San Francisco, CA

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St Ignatius Prep School FB/SO
 San Francisco, CA

ILLUMINATION SUMMARY

Area	Height	Fixture Qty	Luminaire Type	Lead	Control
P1	10'	2	TLC-87-075	1.19 kW	A
P2	10'	2	TLC-87-075	1.19 kW	A
P3-P4	10'	2	TLC-87-075	1.19 kW	A
#	10'	2	TLC-87-075	1.19 kW	A

Contour Summary

Contour	Description	Lead	Fixture Qty
A	Field Lights	58.2 kW	52
B	Structures	1.9 kW	4

Fixture Type Summary

Type	Brand	Model	Lumens	100'	150'	200'	250'
TLC-87-075	LED 5700K - 75 CRI	400W	38,400	41,000	+72,000	+72,000	4
TLC-87-075	LED 5700K - 75 CRI	570W	52,000	+41,000	+41,000	+41,000	4
TLC-LED-1150	LED 5700K - 75 CRI	1100W	121,000	+41,000	+41,000	+41,000	44

Light Level Summary

Calculation Method	Area	Min	Max	Min/Max	Control	Fixture Qty	
Blanket Spd - 0.50m - Horizontal	Horizontal Illuminance	19.7	0	0.13	0.00	A	52
Blanket Spd - 0.50m - Vertical	Max Vert Illuminance (by Light Beam)	19.8	0	0.17	0.00	A	52
Field	Horizontal Illuminance	58	68.2	0.18	1.36	A	52
Home Structures	Horizontal Illuminance	5.41	1.92	0.48	4.98	B	4
Property Line - Club - Split/Clm	Horizontal Illuminance	1.12	0	0.38	0.00	A,B	56
Property Line - Club - Split/Clm	Max Candela Metric	749.2	0	429.3	0.00	A,B	56
Property Line - Club - Split/Clm	Max Vertical Illuminance Metric	1.38	0	0.71	0.00	A,B	56
Property Line - Home - Split/Clm	Horizontal Illuminance	0	0	0.02	0.00	A,B	56
Property Line - Home - Split/Clm	Max Candela Metric	04.8	0	408	0.00	A,B	56
Property Line - Home - Split/Clm	Max Vertical Illuminance Metric	0	0	0.02	0.00	A,B	56
Stair	Horizontal Illuminance	80.3	44.8	0.12	1.17	A	52
Track	Horizontal Illuminance	29.8	5.53	0.18	187.23	A	52
Visitor Structures	Horizontal Illuminance	5.54	1.98	0.44	5.97	B	4

ILLUMINATION SUMMARY

ENGINEERED DESIGN By: K. Reynolds • File #66263C • 05-Apr-18

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CONSULTANT

SHEET TITLE

MUSCO LIGHTING DESIGN

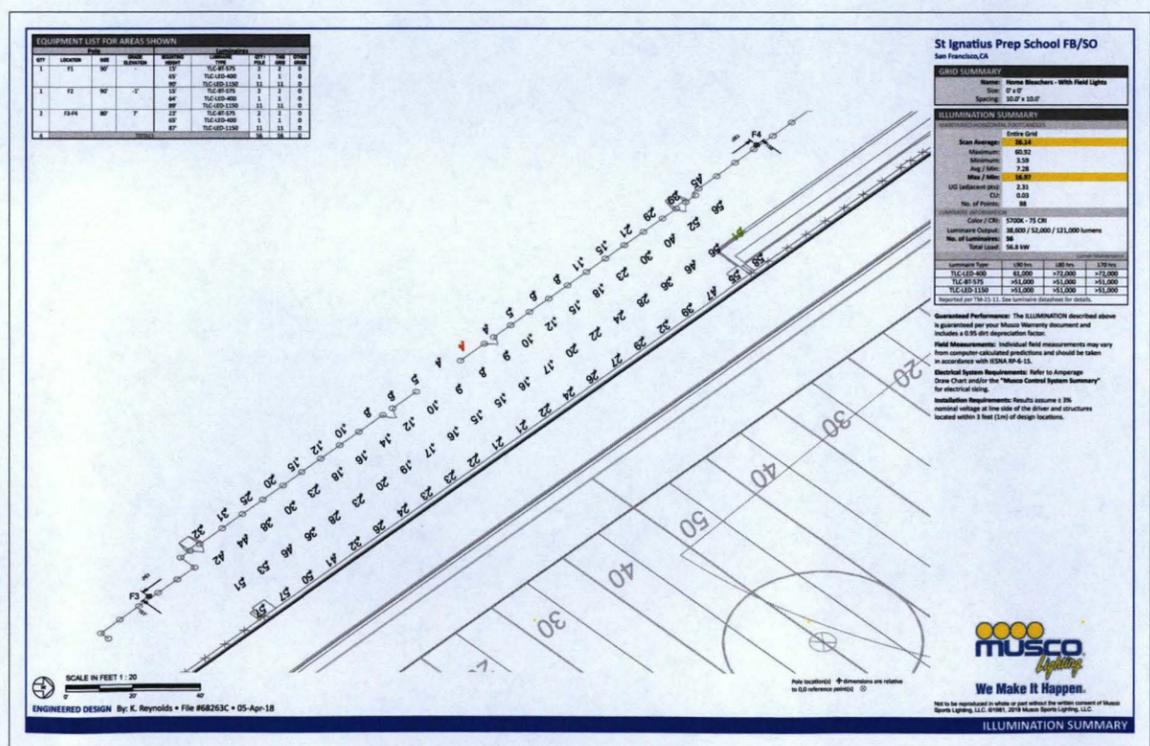
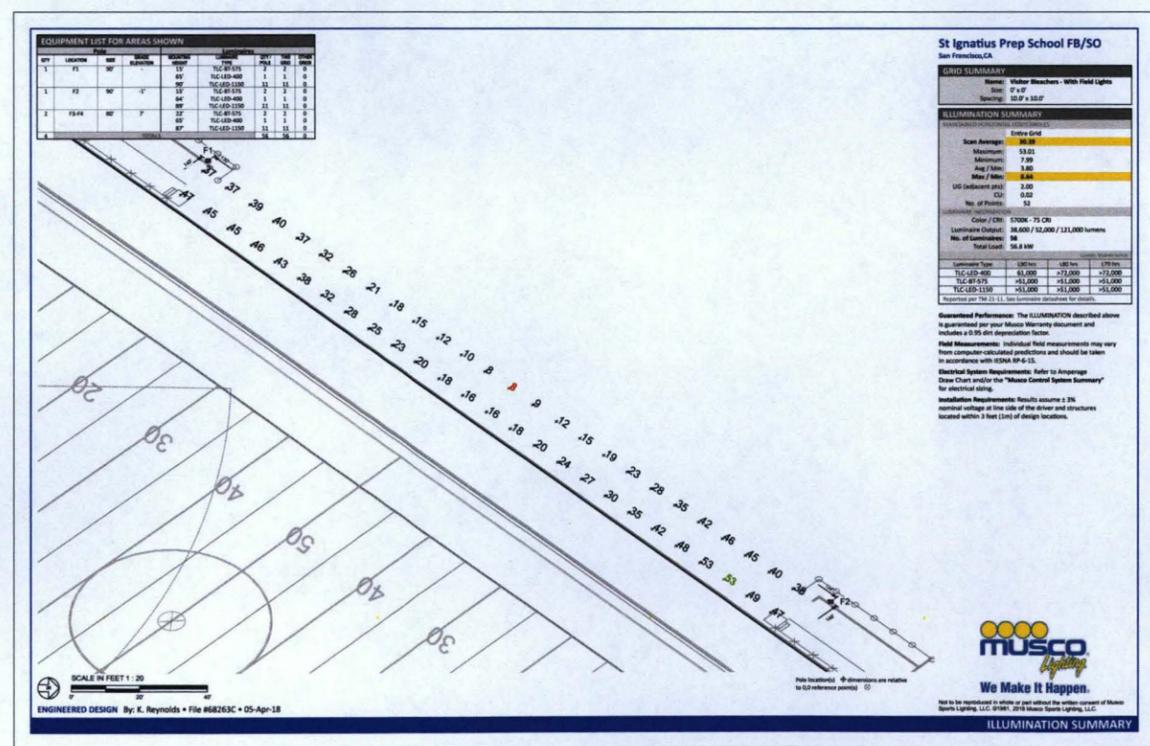
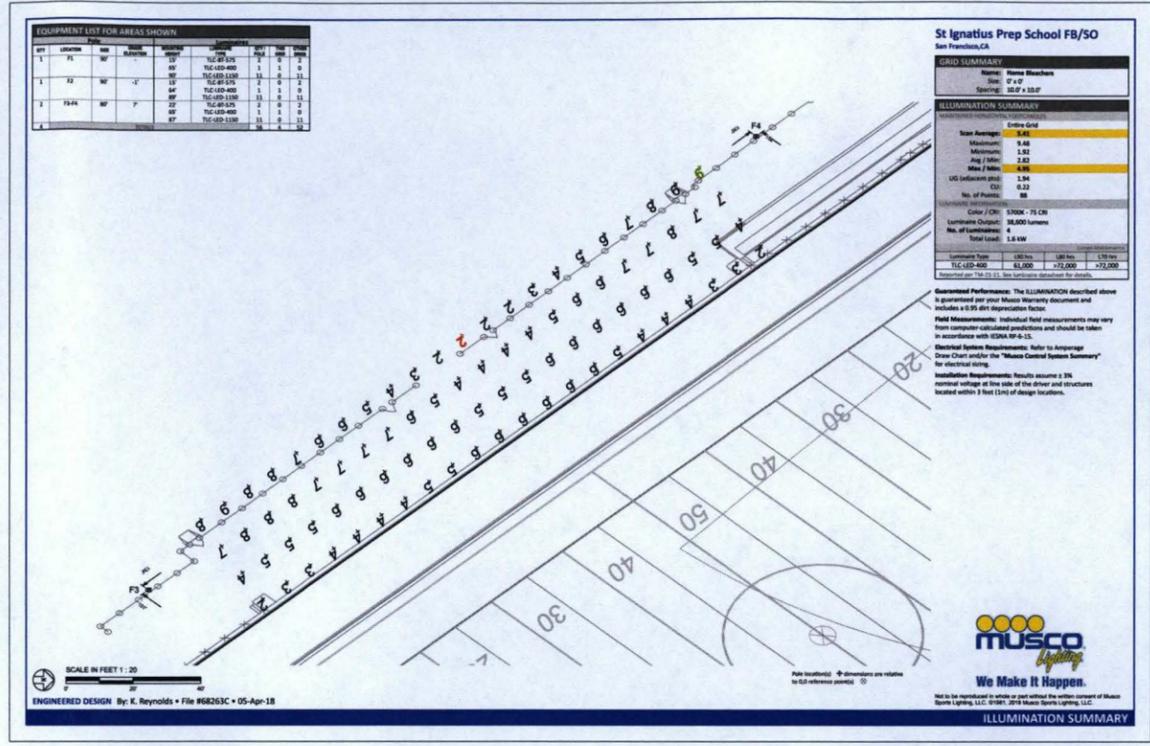
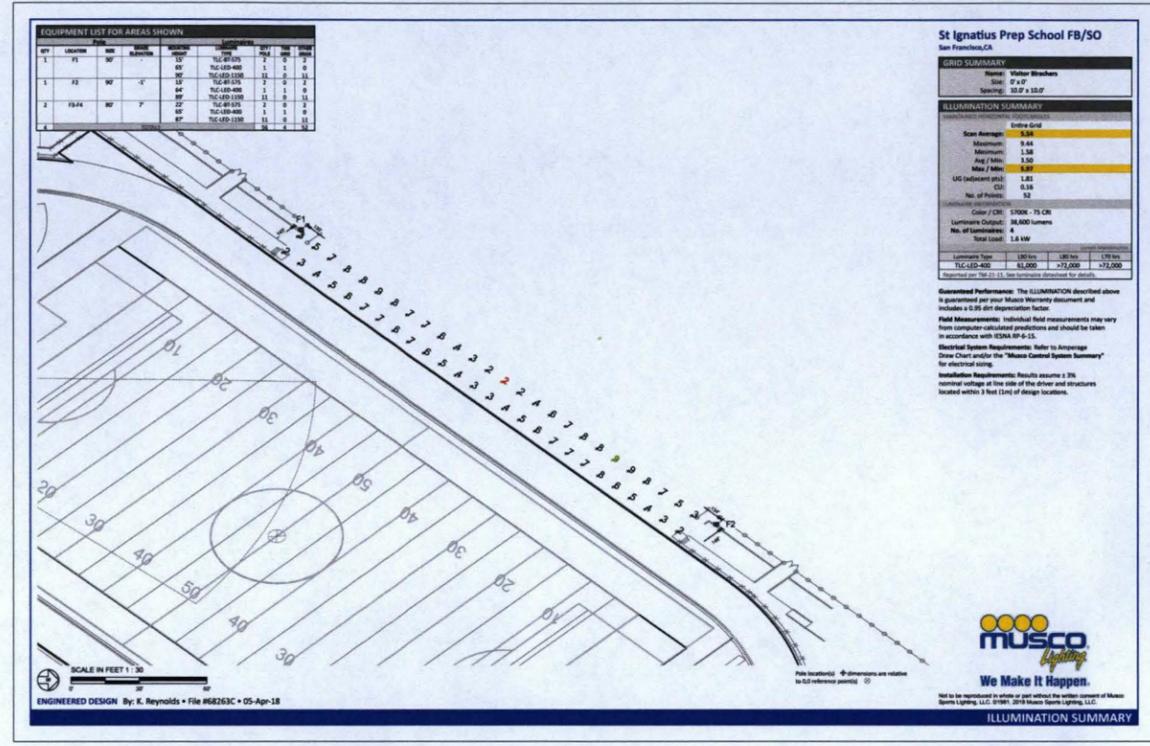
PROJECT NAME
SAINT IGNATIUS COLLEGE PREPARATORY SPORTS FIELD LIGHTING PROJECT

PROJECT ADDRESS
**2001 37TH AVENUE
 SAN FRANCISCO, CA 94116**

SUBMITTAL DATE
 PRELIMINARY PLANS 09/04/18

NO. REVISIONS DATE

DRAWN BY: MUSCO
 CHECKED BY: MB
 DATE ISSUED: 09/04/18
 SCALE: AS SHOWN
 PROJ. NO.: 1601100
 SHEET NO.: L3.2



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SHEET TITLE

MUSCO LIGHTING DESIGN

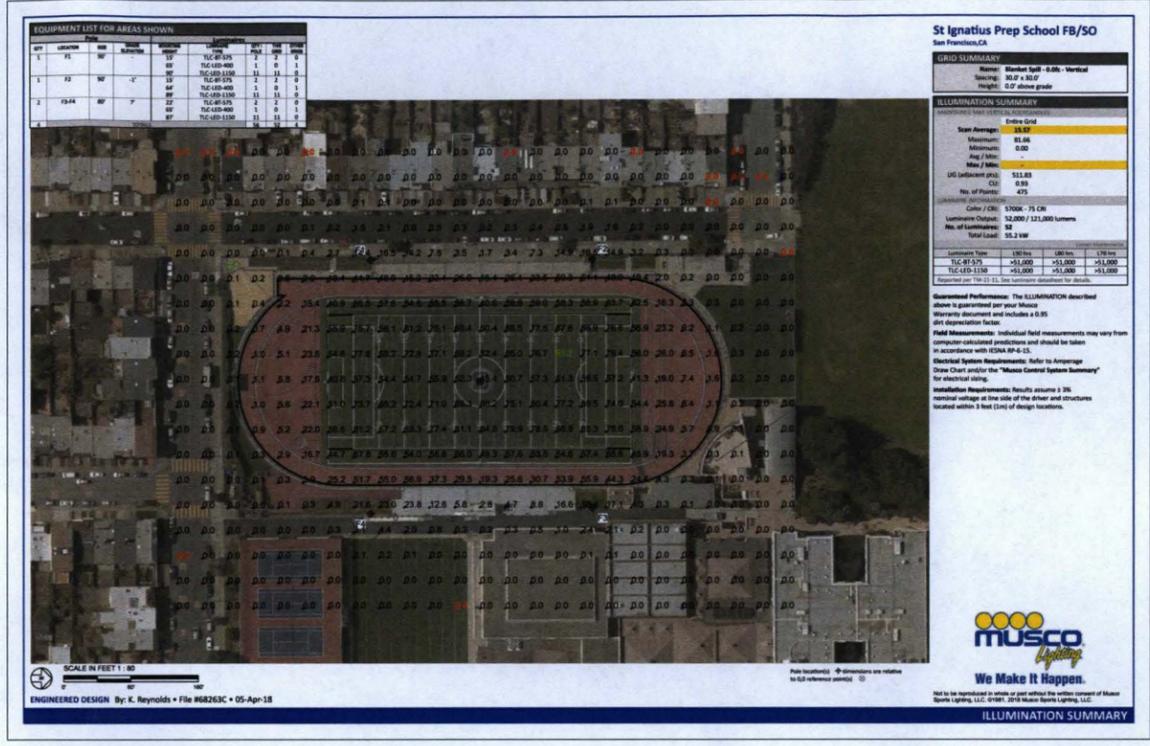
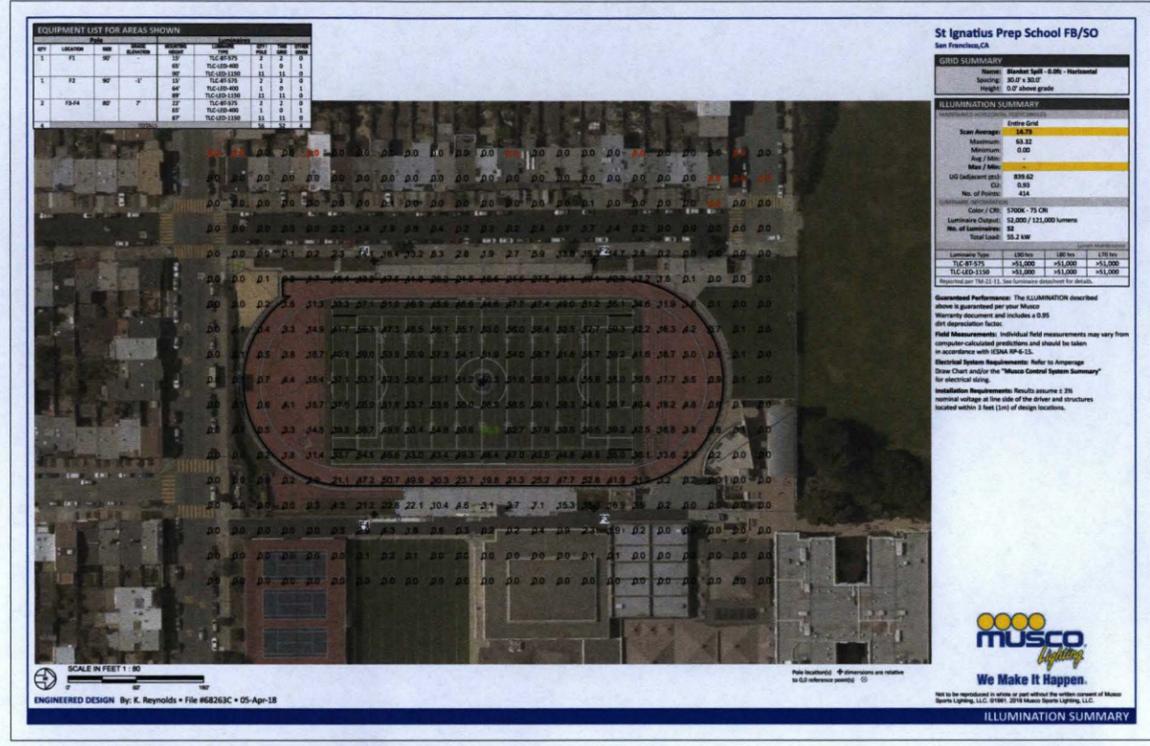
PROJECT NAME
SAINT IGNATIUS COLLEGE PREPARATORY SPORTS FIELD LIGHTING PROJECT

PROJECT ADDRESS
**2001 37TH AVENUE
 SAN FRANCISCO, CA 94116**

SUBMITTAL DATE
 PRELIMINARY PLANS 09/04/18

NO.	REVISIONS	DATE

DRAWN BY: **MUSCO** CHECKED BY: **MB**
 DATE ISSUED: **09/04/18** SCALE: **AS SHOWN**
 PROJ. NO. **1601100**
 SHEET NO. **L3.3**



DRAWING NAME: L:\2018\1601100 - St Ignatius Sports Field Lighting\CAD\MUSCO.dwg

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CONSULTANT

SHEET TITLE

**MUSCO
 LIGHTING
 DESIGN**

PROJECT NAME

**SAINT IGNATIUS
 COLLEGE PREPARATORY
 SPORTS FIELD LIGHTING
 PROJECT**

PROJECT ADDRESS

**2001 37TH AVENUE
 SAN FRANCISCO, CA 94116**

SUBMITTAL

PRELIMINARY PLANS 09/04/18

NO. REVISIONS

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MUSCO

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MB

DATE ISSUED

09/04/18

SCALE

AS SHOWN

PROJ. NO.

1601100

SHEET NO.

L3.4

SP#	Location	Size	Mount	Height	Beam	Quantity	Notes
1	F1	10' x 10'	SP	30'	TLC-40-400	1	
2	F2	10' x 10'	SP	30'	TLC-40-400	1	
3	F3	10' x 10'	SP	30'	TLC-40-400	1	
4	F4	10' x 10'	SP	30'	TLC-40-400	1	
5	F5	10' x 10'	SP	30'	TLC-40-400	1	
6	F6	10' x 10'	SP	30'	TLC-40-400	1	
7	F7	10' x 10'	SP	30'	TLC-40-400	1	
8	F8	10' x 10'	SP	30'	TLC-40-400	1	
9	F9	10' x 10'	SP	30'	TLC-40-400	1	
10	F10	10' x 10'	SP	30'	TLC-40-400	1	

St Ignatius Prep School FB/SO
 San Francisco, CA

GRID SUMMARY
 Name: Property Line - Curb - Split/Drive
 Spacing: 30' x 30'
 Height: 3.0' above grade

ILLUMINATION SUMMARY

Entire Grid		
Beam Average	3.0000	
Minimum	0.0000	
Maximum	0.0000	
No. of Fixtures	42	

Color / CRI: 3700K - 75 CRI
 Luminaire Output: 36,000 / 12,000 / 121,000 lumens
 No. of Luminaires: 42
 Total Load: 36.8 kW

Luminaire Type: LED Type: LED Type: LED Type
 TLC-40-400: 41,000 +11,000 +11,000 +11,000
 TLC-40-575: +11,000 +11,000 +11,000 +11,000
 TLC-40-1150: +11,000 +11,000 +11,000 +11,000
 Reference per 78-11.1. See luminaire data sheet for details.

Guaranteed Performance: The ILLUMINATION described above is guaranteed per your Musco Warranty document and includes a 0.95 deprecation factor.
Field Measurements: Individual field measurements may vary from computer-calculated predictions and should be taken in accordance with IESNA RP-6-15.
Electrical System Requirements: Refer to Ampage Draw Chart and/or the "Mass Control System Summary" for electrical sizing.
Installation Requirements: Results assume a 3% nominal voltage at line side of the driver and structures located within 3 feet (3m) of design locations.

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SP#	Location	Size	Mount	Height	Beam	Quantity	Notes
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4	F4	10' x 10'	SP	30'	TLC-40-400	1	
5	F5	10' x 10'	SP	30'	TLC-40-400	1	
6	F6	10' x 10'	SP	30'	TLC-40-400	1	
7	F7	10' x 10'	SP	30'	TLC-40-400	1	
8	F8	10' x 10'	SP	30'	TLC-40-400	1	
9	F9	10' x 10'	SP	30'	TLC-40-400	1	
10	F10	10' x 10'	SP	30'	TLC-40-400	1	

St Ignatius Prep School FB/SO
 San Francisco, CA

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ILLUMINATION SUMMARY

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St Ignatius Prep School FB/SO
 San Francisco, CA

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St Ignatius Prep School FB/SO
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VERDE DESIGN

LANDSCAPE ARCHITECTURE
CIVIL ENGINEERING
SPORT PLANNING & DESIGN

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www.VerdeDesign.com

STAMP

CONSULTANT

SHEET TITLE

MUSCO
LIGHTING
DESIGN

PROJECT NAME

SAINT IGNATIUS
COLLEGE PREPARATORY
SPORTS FIELD LIGHTING
PROJECT

PROJECT ADDRESS

2001 37TH AVENUE
SAN FRANCISCO, CA 94116

SUBMITTAL

PRELIMINARY PLANS 09/04/18

NO. REVISIONS

NO.	REVISIONS	DATE
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DRAWN BY

MUSCO

CHECKED BY

MB

DATE ISSUED

09/04/18

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PROJ. NO.

1601100

SHEET NO.

L3.5



St Ignatius Prep School FB/SO San Francisco, CA

EQUIPMENT LAYOUT

REVISIONS:
 Revised
 Revised
 Revised

Electrical System Requirements: Refer to Ampage Draw Chart and/or the "Mass Control System Summary" for electrical rating.

Installation Requirements: Results assume a 3% nominal voltage at the site of the driver and structures located within 3 feet (1m) of design locations.

REF.	DESCRIPTION	QTY	WATTAGE	AMPERAGE	FEET	WATTAGE	AMPERAGE
1	F1	1	1000W	4.5	100	1000W	4.5
2	F2	1	1000W	4.5	100	1000W	4.5
3	F3	1	1000W	4.5	100	1000W	4.5
4	F4	1	1000W	4.5	100	1000W	4.5

REF.	DESCRIPTION	QTY	WATTAGE	AMPERAGE	FEET	WATTAGE	AMPERAGE
1	F1	1	1000W	4.5	100	1000W	4.5
2	F2	1	1000W	4.5	100	1000W	4.5
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REF.	DESCRIPTION	QTY	WATTAGE	AMPERAGE	FEET	WATTAGE	AMPERAGE
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3	F3	1	1000W	4.5	100	1000W	4.5
4	F4	1	1000W	4.5	100	1000W	4.5

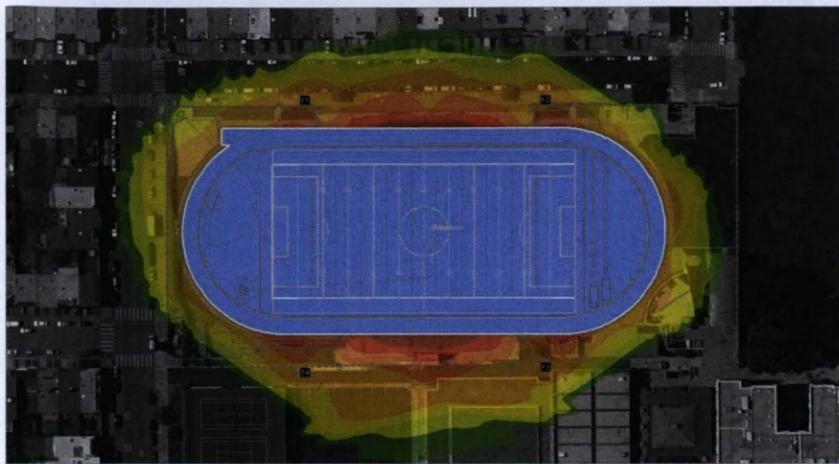
REF.	DESCRIPTION	QTY	WATTAGE	AMPERAGE	FEET	WATTAGE	AMPERAGE
1	F1	1	1000W	4.5	100	1000W	4.5
2	F2	1	1000W	4.5	100	1000W	4.5
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4	F4	1	1000W	4.5	100	1000W	4.5

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1	F1	1	1000W	4.5	100	1000W	4.5
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3	F3	1	1000W	4.5	100	1000W	4.5
4	F4	1	1000W	4.5	100	1000W	4.5

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SCALE IN FEET 1" = 80'
 ENGINEERED DESIGN By: K. Reynolds • File #68263C • 05-Apr-18



St Ignatius Prep School FB/SO San Francisco, CA

ENVIRONMENTAL GLARE IMPACT

GLARE IMPACT
 Map indicates the maximum candela an observer would see when facing the brightest light source from any direction.

A well-designed lighting system controls light to provide maximum useful on-field illumination with minimal disturbance off-the-field.

GLARE
 High Glare: 150,000 or more candelas
 Should only occur on or very near the field where the light source is in direct view. Care must be taken to minimize high glare areas.

Significant Glare: 75,000 to 150,000 candelas
 Equivalent to high beam headlights of a car.

Minimal to No Glare: 300 or less candelas
 Equivalent to 100W incandescent light bulb.



ENGINEERED DESIGN By: K. Reynolds • File #68263C • 05-Apr-18

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ENVIRONMENTAL GLARE IMPACT

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GENERAL NOTES:

1. READ THE COMPLETE SPECIFICATIONS, CONTRACT DOCUMENTS AND COMPLY WITH EACH REQUIREMENT.
2. THE COMPLETE ELECTRICAL INSTALLATIONS SHALL BE IN ACCORDANCE WITH THE CURRENT EDITION OF THE N.E.C. AND ALL APPLICABLE STATE AND LOCAL CODES ISSUED BY AUTHORITIES HAVING JURISDICTION.
3. THE CONTRACTOR SHALL BE LICENSED BY THE STATE OF CALIFORNIA C-10 AND SHALL COMPLY WITH ALL APPLICABLE CODES AND REGULATIONS. MATERIALS AND EQUIPMENT SHALL BE U.L. LISTED AND LABELED FOR THE APPLICATION.
4. THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS, LICENSES AND INSPECTION FEES REQUIRED BY THIS CONTRACT WORK.
5. PRIOR TO SUBMITTING A BID THE CONTRACTOR SHALL VISIT THE SITE, REVIEW THE EXISTING CONDITIONS AND ALLOW FOR LABOR, MATERIAL AND COORDINATION THAT IS NECESSARY TO PROVIDE A COMPLETE INSTALLATION OF EACH SYSTEM. THE CONTRACTOR SHALL OBTAIN AND BE FAMILIAR WITH ALL OTHER TRADES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL ELECTRICAL WORK NOTED AND CALLED OUT ON ALL CONTRACT DOCUMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION BETWEEN OTHER TRADES ON PROJECT.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFETY OF PERSONS AND PROPERTY AND SHALL PROVIDE INSURANCE COVERAGE AS NECESSARY FOR LIABILITY, PERSONAL PROPERTY DAMAGE TO FULLY PROTECT THE OWNER, ARCHITECT AND ENGINEER FROM ANY AND ALL CLAIMS RESULTING FROM THIS WORK.
7. THE CONTRACTOR SHALL MAINTAIN RECORD DRAWINGS AT THE PROJECT SITE INDICATING ALL MODIFICATIONS TO ELECTRICAL SYSTEMS. THE CONTRACTOR SHALL AT THE CONCLUSION OF THE PROJECT PROVIDE ACCURATE "AS-BUILT" DRAWINGS. "AS-BUILT" DRAWINGS SHALL SHOW ACTUAL CHANGES TO ORIGINAL DRAWINGS, SHOW LOCATIONS OF PULLBOXES, CONDUIT RUNS AND WIRING CHANGES.
8. ALL MATERIALS PROVIDED TO THE PROJECT SHALL BE UL OR CSA LISTED AND SHALL BE NEW. THE CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE AND INSTALL ALL INCIDENTAL MATERIALS REQUIRED FOR A COMPLETE INSTALLATION.
9. THE CONTRACTOR SHALL PROVIDE ALL REQUIRED CUTTING, PATCHING, EXCAVATION, BACKFILL AND REPAIRS NECESSARY TO RESTORE DAMAGED SURFACES TO EQUAL OR BETTER THAN ORIGINAL CONDITIONS EXISTING AT START OF WORK. THE CONTRACTOR SHALL CONTACT "UNDERGROUND SERVICES ALERT" FOR LOCATION OF EXISTING UTILITIES PRIOR TO COMMENCEMENT OF UNDERGROUND WORK.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PAINTING ALL EXPOSED CONDUITS AND ELECTRICAL EQUIPMENT. REFER TO ARCHITECTS PAINTING SECTION FOR REQUIREMENTS.
11. ALL ELECTRICAL EQUIPMENT INSTALLED OUTDOORS SHALL BE WEATHERPROOF. EXTERIOR CONDUITS RUN INTO BUILDINGS SHALL BE INSTALLED WITH FLASHING, CAULKED AND SEALED. CONDUITS FOR EXTERIOR ELECTRICAL DEVICES SHALL BE RUN INSIDE BUILDING UNLESS OTHERWISE NOTED ON DRAWINGS. ALL EXTERIOR CONDUITS SHALL BE "RIG" UNLESS OTHERWISE NOTED ON DRAWINGS.
12. ALL CONDUITS UNLESS OTHERWISE NOTED ON DRAWINGS SHALL HAVE AS A MINIMUM TWO (2) #12 WITH ONE (1) #2 GROUND. "TICK" MARKS SHOWN ON CIRCUITRY ARE FOR "ROUGH" ESTIMATING ONLY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL WIRE AND PIRE SIZES REQUIRED BY LATEST CODE.
13. COORDINATE ALL CONDUIT RUNS, ELECTRICAL EQUIPMENT AND PANELS WITH ALL OTHER WORK TO AVOID CONFLICTS.
14. ELECTRICAL EQUIPMENT SHOWN ON THIS DRAWING HAS BEEN SELECTED BASED ON DIMENSIONS TO FIT THE SPACE. THE CONTRACTOR SHALL VERIFY ALL EQUIPMENT DIMENSIONS PRIOR TO ORDERING OF THE EQUIPMENT.
15. CONTRACTOR SHALL REVIEW EQUIPMENT REQUIREMENTS OF OTHER TRADES AND PROVIDE POWER CIRCUITS AND CONNECTIONS TO ELECTRICALLY OPERATED EQUIPMENT.
16. CONTRACTOR SHALL DETERMINE EXACT LOCATION OF UNDERGROUND POWER AND TELEPHONE SERVICES FROM SERVING UTILITIES. FIELD ADJUSTMENTS MAY BE REQUIRED IN INDIVIDUAL SERVICE LOCATIONS.
17. THE CONTRACTOR SHALL CONTACT "UNDERGROUND SERVICES ALERT" FOR LOCATION OF EXISTING UTILITIES PRIOR TO COMMENCEMENT OF UNDERGROUND WORK.
18. NEW DUCT ROUTES ARE APPROXIMATE ONLY AND MAY BE ADJUSTED IN THE FIELD TO CLEAR OTHER UNDERGROUND UTILITIES. PROVIDE AS-BUILT DRAWINGS TO INDICATE ACTUAL LOCATION OF CONDUIT ROUTING.
19. EFFECTIVELY BOND ELECTRICAL CABINETS, ENCLOSURES AND CONDUIT RACEWAYS TO CODE APPROVED GROUND AS PART OF THE CONTINUOUS GROUNDING SYSTEM.
20. FROM ALL NEW PANELS THE CONTRACTOR SHALL STUB UP INTO ACCESSIBLE CEILING SPACE A MINIMUM OF FOUR (4) 3/4" CONDUITS FOR FUTURE USE.
21. UTILITY SERVICE WORK SHALL BE IN ACCORDANCE WITH THE SERVING UTILITY COMPANY'S RULES, REGULATIONS AND STANDARDS. AND SHALL BE VERIFIED WITH UTILITY COMPANY'S ENGINEERING DRAWINGS AND FIELD SUPERVISOR. PRIOR TO COMMENCEMENT OF WORK, THE CONTRACTOR SHALL DETERMINE EXACT LOCATION OF UNDERGROUND POWER, CATV AND TELEPHONE SERVICES FROM SERVING UTILITIES. FIELD ADJUSTMENTS MAY BE REQUIRED IN INDIVIDUAL SERVICE LOCATIONS. THE CONTRACTOR SHALL REMAIN IN CONTACT WITH UTILITY COMPANY ENGINEERING DEPARTMENTS THROUGHOUT PROJECT TO INSURE COORDINATION AND SCHEDULING OF WORK.
22. THE CONTRACTOR SHALL PROVIDE IN EVERY CONDUIT A DRAIN STRING FOR USE IN FUTURE CONSTRUCTION. STRINGS SHALL BE NYLON PULLSTRINGS ROPESTRINGS.
23. POWER FEEDERS MAY NOT BE SHOWN ON THE DRAWINGS, REFER TO THE SINGLE LINE DIAGRAM FOR CONDUIT AND FEEDER INFORMATION. ALL DRAWINGS ARE DIAGRAMMATIC INDICATING LOCATION OR POSITION OF EQUIPMENT. FIELD VERIFY CONDITIONS PRIOR TO INSTALLATION OF ANY WORK.
24. MANUFACTURER'S RECOMMENDATIONS FOR CONDUCTOR SIZING, CIRCUIT BREAKER OR FUSE PROTECTION OF ELECTRICALLY OPERATED EQUIPMENT MAY DIFFER FROM THOSE INDICATED ON DRAWINGS. CONTRACTOR SHALL CONFIRM RATINGS PRIOR TO ORDERING EQUIPMENT. PROVIDE ELECTRICAL PROTECTION TO EQUIPMENT IN ACCORDANCE TO MANUFACTURER'S SPECIFICATIONS AND PER NATIONAL ELECTRICAL CODE REQUIREMENTS.
25. PROVIDE SEISMIC BRACING FOR ALL PENDANT LIGHT FIXTURES, PRESTANDING ELECTRICAL DISTRIBUTION EQUIPMENT, MOTOR CONTROL CENTERS ETC. AND CONDUIT RACKS PER SEISMIC CRITERIA 2015 CBC REQUIREMENTS INCLUDING ENGINEERED LOAD CALCULATIONS COMPLETE WITH SWAY BRACING CRITERIA.
26. DO NOT SUBSTITUTE SPECIFIED MATERIAL OR EQUIPMENT WITHOUT FIRST OBTAINING APPROVAL FROM THE OWNER OR HIS REPRESENTATIVE.
27. ALL SPACES ON PANELS OR SWITCHBOARDS SHALL BE COMPLETE WITH HARDWARES AND BUSHING FOR FUTURE BREAKER OR SWITCH.
28. ALL ELECTRICAL WORK SHALL COMPLY WITH THE 2011 NATIONAL ELECTRICAL CODE AS AMENDED BY THE 2015 CALIFORNIA ELECTRICAL CODE.

SYMBOL LIST:

	PLAN, DETAIL OR SECTION DESIGNATION.
	ROOM NUMBER.
	SHEET REFERENCE SYMBOL - SEE ASSOCIATED NOTE ON SAME SHEET.
	FEEDER SCHEDULE SYMBOL.
	MECHANICAL EQUIPMENT TAG.
	INDICATES FIXTURE TYPE

WIRING & CONDUIT RUN SYMBOLS

	CONDUIT - CONCEALED IN WALLS OR CEILING.
	CONDUIT - EXPOSED.
	CONDUIT - IN OR BELOW FLOOR, 3/4" MIN.
	CONDUIT - HOME RUN TO PANEL, TERMINAL CABINET, ETC. RUNS MARKED WITH CROSSHATCHES INDICATE NUMBER OF #12 AWG WIRES. CROSSHATCH WITH SUBSCRIPT '6' INDICATES GREEN GROUND WIRE. SIZE CONDUIT ACCORDING TO SPECIFICATIONS AND APPLICABLE CODE. CROSSHATCHES WITH '160' INDICATES WIRE SIZE OTHER THAN #12'S.
	FLEX CONDUIT WITH CONNECTION.
	CONDUIT - STUB UP.
	CONDUIT - STUB DOWN.
	CAPPED CONDUIT.
	CONDUIT CONTINUATION.

POWER DISTRIBUTION SINGLE LINE SYMBOLS

	CIRCUIT BREAKER.
	"SMED" METER W/ CURRENT TRANSFORMER.
	TRANSFORMER.

LUMINAIRE SYMBOLS

	LUMINAIRE - SEE SCHEDULE.
	LUMINAIRE - SEE SCHEDULE.
	LUMINAIRE - SEE SCHEDULE.
	POLE MOUNTED LUMINAIRE - SEE SCHEDULE.
	POLE MOUNTED LUMINAIRE - SEE SCHEDULE.
	LUMINAIRE - SEE SCHEDULE.
	LUMINAIRE - SEE SCHEDULE.
	LUMINAIRE WALL MOUNTED-SEE SCHEDULE.
	EMERGENCY LUMINAIRE - PROVIDE EMERGENCY BATTERY BALLAST
	EMERGENCY LUMINAIRE - PROVIDE EMERGENCY BATTERY BALLAST
	EMERGENCY LUMINAIRE - PROVIDE EMERGENCY BATTERY BALLAST
	EMERGENCY LUMINAIRE WALL MOUNTED- PROVIDE EM. BATTERY BALLAST
	EXIT LIGHT SINGLE FACE - SEE SCHEDULE.
	EXIT LIGHT SINGLE FACE (WITH ARROW)- SEE SCHEDULE.
	EXIT LIGHT (DOUBLE FACED WITH ARROW)- SEE SCHEDULE.
	EMERGENCY BATTERY PACK EXIT LIGHT INSTALL AS DIRECTED.

TYPICAL LUMINAIRE NOMENCLATURE

	INDICATES SWITCHING DESIGNATION
	INDICATES CIRCUIT NUMBER

SWITCH SYMBOLS

	SINGLE POLE SWITCH + 40" AFF UON.
	SINGLE POLE SWITCH + 40" AFF UON, a + CIRCUIT CONTROLLED.
	THREE WAY SWITCH + 40" AFF UON.
	FOUR WAY SWITCH + 40" AFF UON.
	MOTOR RATED SWITCH
	OCCUPANCY SENSOR

RECEPTACLE SYMBOLS

	CONVENIENCE RECEPTACLE - DUPLEX AT + 18" AFF UON.
	RECEPTACLE DOUBLE DUPLEX AT + 18" AFF UON.
	SINGLE RECEPTACLE - NEMA 5-20R UON, AT + 18" AFF UON.
	SINGLE RECEPTACLE - NEMA L21 - 200 VOLT, THREE PHASE, 5 WIRE, AT + 18" AFF UON.
	FLOOR BOX WITH CONVENIENCE RECEPTACLE, TELEPHONE AND DATA OUTLET.
	FLUSH FLOOR BOX WITH SINGLE CONVENIENCE RECEPTACLE.
	WIRE RACEWAY, INSTALL AT + 36" AFF UON.

POWER DISTRIBUTION SYMBOLS

	PANELBOARD - SURFACE OR FLUSH MOUNTED.
	LIGHTING CONTROL CABINET.
	EMERGENCY POWER INVERTER.
	JUNCTION BOX - CEILING OR WALL MOUNTED, SIZE TO CODE, TAPE AND TAG WIRES. PROVIDE FLEX AND/OR RECEPTACLE AS REQUIRED TO CONNECT EQUIPMENT.
	DISTRIBUTION PANEL.
	MOTOR.
	COMBINATION MAGNETIC STARTER FUSED DISCONNECT SWITCH, RATING AS INDICATED.
	UNFUSED DISCONNECT SWITCH - RATING AS INDICATED.
	FUSED DISCONNECT SWITCH - SIZE FUSES PER MOTOR MANUFACTURER'S RECOMMENDATIONS, RATING AS INDICATED.
	MAGNETIC STARTER - NEMA SIZE INDICATED.
	TRANSFORMER - SEE SINGLE LINE FOR SIZE.
	GROUND ROD.
	IN-GRADE POWER FULL BOX WITH TRAFFIC RATED LID.
	IN-GRADE LIGHTING FULL BOX WITH TRAFFIC RATED LID.
	IN-GRADE SIGNAL FULL BOX WITH TRAFFIC RATED LID.
	IN-GRADE EMERGENCY FULL BOX WITH TRAFFIC RATED LID.

ABBREVIATIONS:

A	AMPERE	KAC	KILOAMPERE INTERRUPTING CAPACITY
ABV	ABOVE	KV	KILOVOLT
AF	AMP FRAME OR AMP FUSE	KVA	KILOVOLT AMPERES
AFB	ABOVE FINISHED FLOOR	KN	KILOWATT
ARCH	ARCHITECTURAL	LTS	LIGHTING
AS	AMP SWITCH	MCH	THOUSAND CIRCULAR MILS
AT	AMP TRIP	MDF	MAIN DISTRIBUTION FRAME
ATS	AUTOMATIC TRANSFER SWITCH	MECH	MECHANICAL
BKR	BREAKER	MANKLE	MANHOLE
BLDG	BUILDING	MTD	MOUNTED
C	CONDUIT	MTS	MOUNTING
CATV	CABLE TELEVISION	NEW	NEW
CB	CIRCUIT BREAKER	NC	NORMALLY CLOSED
CD	CANCELAS	NCI	NOT IN CONTRACT
CKT	CIRCUIT	NEC	NOT IN ELECTRICAL CONTRACT
CL	CENTER LINE	NO	NUMBER / NORMALLY OPEN
CLS	CELLING	NTS	NOT TO SCALE
CO	CONDUIT ONLY	O.C.	ON CENTER
CTR	CENTER	PB	POLE CIRCUIT BREAKER
DEM	DEMOLISH	PA	PUBLIC ADDRESS
DET	DETAIL	PF	PULL BOX
DI	DIMENSION	PH	POWER FACTOR
DISTR	DISTRIBUTION	PHASE	PHASE
DWG	DRAWING	PL	PANEL
EM	EMERGENCY	PL	EXISTING TO BE RELOCATED
EQPT	EQUIPMENT	REQD	REQUIRED
EMR	EMERGENCY	REQD	REQUIRED(S)
FA	FIRE ALARM	RM	ROOM
FACP	FIRE ALARM CONTROL PANEL	RSC	RIGID STEEL CONDUIT
F	FUTURE	SHT	SHEET
FIN	FINISH	SH	SWITCH
FL	FLOOR	SPCD	SWITCHBOARD
GND	GROUND	TEL	TERMINAL CABINET
HST	HEIGHT	TYP	TELEPHONE
HP	HORSEPOWER	UNL	UNLESS OTHERWISE NOTED
INT	INTERMEDIATE	V	VOLT
IP	INTERMEDIATE DISTRIBUTION FRAME	W	WATT
IS	JUNCTION BOX	WTRPROOF	WEATHERPROOF
		XFR	TRANSFORMER



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PROJECT TITLE
**GENERAL NOTES,
 SYMBOL LIST,
 ABBREVIATIONS AND
 FIXTURE SCHEDULE**

PROJECT NAME
**SAINT IGNATIUS
 HIGH SCHOOL
 SPORTS FIELD LIGHTING
 PROJECT**

PROJECT ADDRESS
**2001 37TH AVENUE
 SAN FRANCISCO, CA 94116**

SUBMITTAL	DATE

NO.	REVISIONS	DATE

DRAWN BY	CHECKED BY
DATE ISSUED 07/23/16	SCALE
PROJ. NO. 1601100	
SHEET NO. EO.1	

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 DATE OF ISSUE: 07/23/16
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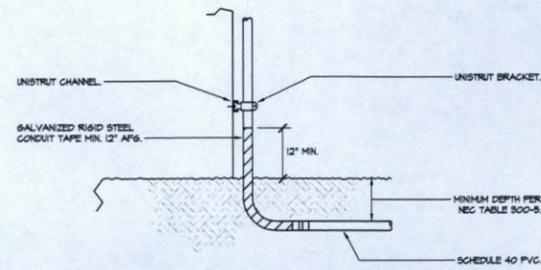
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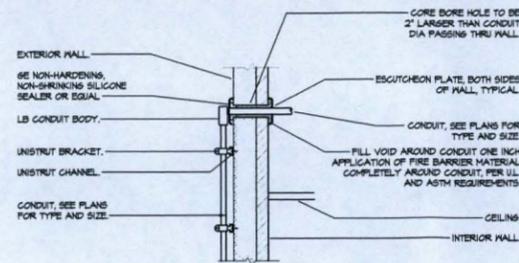


NOTE:

1. FOR WOOD STUD WALL: USE 5/8" LAG BOLT WITH MIN. 5/8" EMBEDMENT INTO STUDS, (ONE AT EACH END OF BRACKET)
2. FOR CONCRETE WALL: USE 5/8" WEDGE ANCHOR WITH MIN. 2 1/2" EMBEDMENT INTO CONCRETE WALL, (ONE AT EACH END OF BRACKET).

1 UNDERGROUND CONDUIT RISER DETAIL

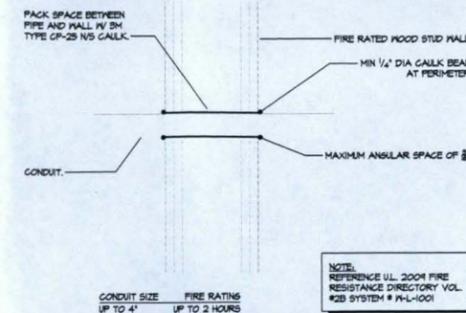
E3.1 NOT TO SCALE



NOTE:
PER U.L. FIRE RESISTANCE DIRECTORY SYSTEM #10002

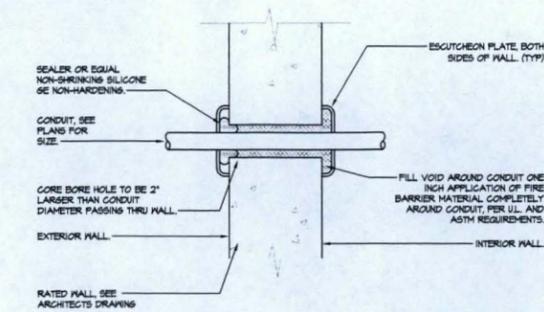
2 CONDUIT WALL PENETRATION DETAIL

E3.1 NOT TO SCALE



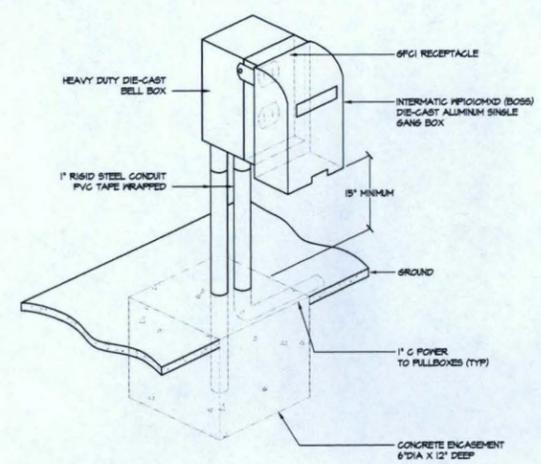
3 CONDUIT THROUGH TWO HOUR RATED FIRE WALL

E3.1 NOT TO SCALE



4 CONDUIT WALL PENETRATION DETAIL

E3.1 NOT TO SCALE



5 OUTDOOR GFCI RECEPTACLE DETAIL

E3.1 NOT TO SCALE

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SHEET TITLE
ELECTRICAL DETAILS

PROJECT NAME
**SAINT IGNATIUS
HIGH SCHOOL
SPORTS FIELD LIGHTING
PROJECT**

PROJECT ADDRESS
**2001 37TH AVENUE
SAN FRANCISCO, CA 94116**

SUBMITTAL	DATE

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DRAWN BY: _____ CHECKED BY: _____
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SHEET NO.: **E3.1**



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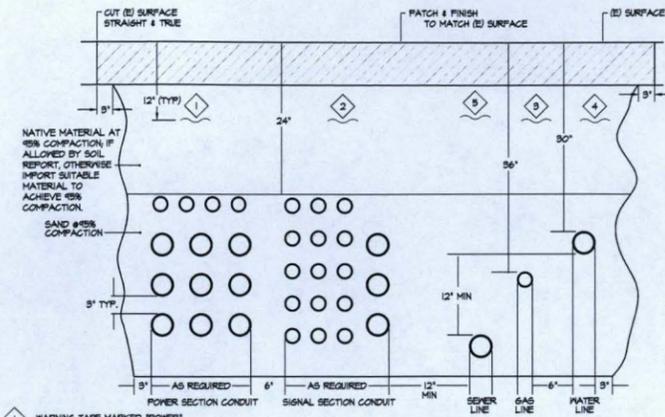
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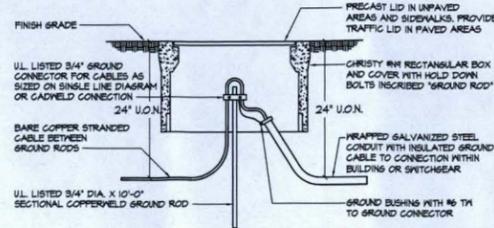


- 1 MARKING TAPE MARKED "POWER"
- 2 MARKING TAPE MARKED "SIGNAL"
- 3 MARKING TAPE MARKED "GAS"
- 4 MARKING TAPE MARKED "WATER"
- 5 MARKING TAPE MARKED "SEWER"

- NOTES:
1. ALL ELECTRICAL TRENCH WORK SHALL BE THE RESPONSIBILITY OF THE ELECTRICAL CONTRACTOR.
 2. MINIMUM SPACING BETWEEN CONDUITS IS 3".
 3. SEE SITE/FLOOR PLANS AND SPECIFICATIONS FOR CONDUIT REQUIREMENTS.

1 TYPICAL JOINT TRENCH & DUCT BANK DETAIL

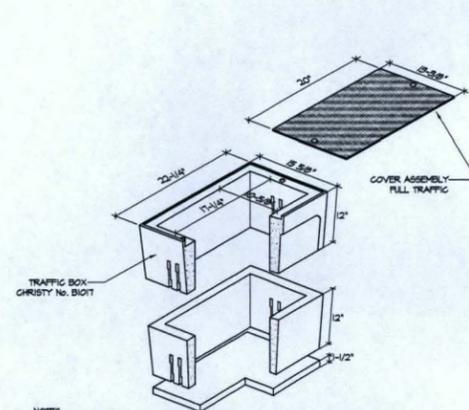
E3.2 NOT TO SCALE



- NOTE:
- SEE SINGLE LINE DIAGRAM AND FLOOR PLANS FOR SIZE OF CONDUCTORS AND ARRANGEMENT OF GROUNDING SYSTEM

2 GROUND ROD INSPECTION WELL

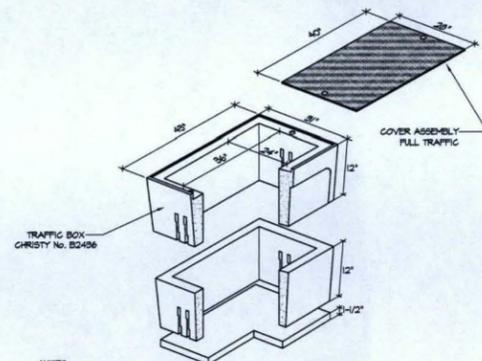
E3.2 NOT TO SCALE



- NOTES:
1. HIGH DENSITY REINFORCED CONCRETE BOX WITH NON-SETTLING SHOULDERS POSITIONED TO MAINTAIN GRADE AND FACILITATE BACK FILLING. APPROXIMATE DIMENSIONS SHOWN.
 2. ALL CONDUITS SHALL ENTER FROM SIDES OF FULL BOX. CONTRACTOR SHALL PROVIDE FULL BOX EXTENSION AS REQUIRED. NO CONDUITS SHALL BE ALLOWED FROM THE BOTTOM OF THE FULL BOX.
 3. CONTRACTOR SHALL STACK CONDUITS AS REQUIRED TO MEET THE NEC CODE REQUIREMENTS.
 4. PROVIDE BELL ENDS ON ALL CONDUIT.

3 B1017 ELECTRICAL VAULT

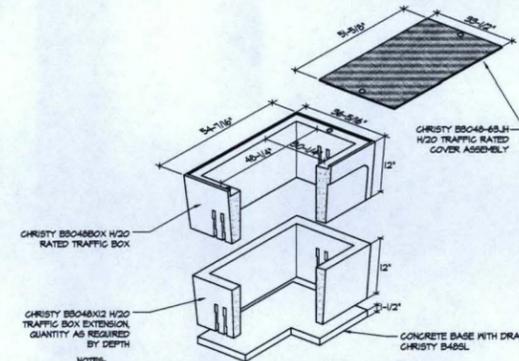
E3.2 NOT TO SCALE (FULL TRAFFIC COVER)



- NOTES:
1. HIGH DENSITY REINFORCED CONCRETE BOX WITH NON-SETTLING SHOULDERS POSITIONED TO MAINTAIN GRADE AND FACILITATE BACK FILLING. APPROXIMATE DIMENSIONS SHOWN.
 2. ALL CONDUITS SHALL ENTER FROM SIDES OF FULL BOX. CONTRACTOR SHALL PROVIDE FULL BOX EXTENSION AS REQUIRED. NO CONDUITS SHALL BE ALLOWED FROM THE BOTTOM OF THE FULL BOX.
 3. CONTRACTOR SHALL STACK CONDUITS AS REQUIRED TO MEET THE NEC CODE REQUIREMENTS.
 4. PROVIDE BELL ENDS ON ALL CONDUIT.
 5. PROVIDE 6" CONCRETE SLURRY AROUND BOX.
 6. ALL PENETRATIONS INTO BOXES SHALL BE SEALED WITH GROUT.

4 B2436 ELECTRICAL VAULT

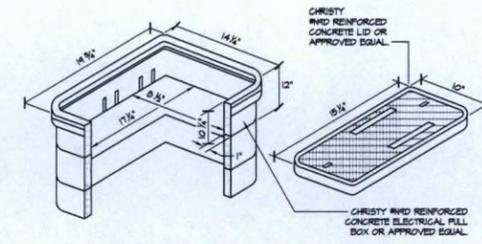
E3.2 NOT TO SCALE (FULL TRAFFIC COVER)



- NOTES:
1. HIGH DENSITY REINFORCED CONCRETE BOX WITH NON-SETTLING SHOULDERS POSITIONED TO MAINTAIN GRADE AND FACILITATE BACK FILLING. APPROXIMATE DIMENSIONS SHOWN.
 2. ALL CONDUITS SHALL ENTER FROM SIDES OF FULL BOX. CONTRACTOR SHALL PROVIDE FULL BOX EXTENSION AS REQUIRED. NO CONDUITS SHALL BE ALLOWED FROM THE BOTTOM OF THE FULL BOX.
 3. CONTRACTOR SHALL STACK CONDUITS AS REQUIRED TO MEET THE NEC CODE REQUIREMENTS.
 4. PROVIDE BELL ENDS ON ALL CONDUIT.

5 B3048 TRAFFIC BOX DETAIL

E3.2 NOT TO SCALE (FULL TRAFFIC COVER)



- NOTE:
- A HIGH DENSITY REINFORCED CONCRETE FULL AND JUNCTION BOX WITH END AND SIDE KNOCKOUTS. NON-SETTLING SHOULDERS MAINTAIN GRADE AND FACILITATE BACK FILLING. APPROXIMATE DIMENSIONS SHOWN.
- PROVIDE MINIMUM OF 6" CRUSHED ROCK AT BOTTOM OF BOX FOR DRAINAGE.
- ALL CONDUITS SHALL ENTER FROM SIDES OF FULL BOX. CONTRACTOR SHALL PROVIDE FULL BOX EXTENSION AS REQUIRED. NO CONDUITS SHALL BE ALLOWED FROM THE BOTTOM OF THE FULL BOX.

6 N9 ELECTRICAL PULLBOX

E3.2 NOT TO SCALE

ELECTRICAL DETAILS

PROJECT NAME

SAINT IGNATIUS
HIGH SCHOOL
SPORTS FIELD LIGHTING
PROJECT

PROJECT ADDRESS

2001 37TH AVENUE
SAN FRANCISCO, CA 94116

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DATE ISSUED 07/23/16 SCALE

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SHEET NO. E3.2

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