



MARKET STREET
SAN FRANCISCO



Land Use & Transportation Committee
April 27, 2026



ONE WAY

MONTGOMERY
POST

SAN FRANCISCO

36
GARY
VAN HOUTEN

BARRY HAYES

6675

7257

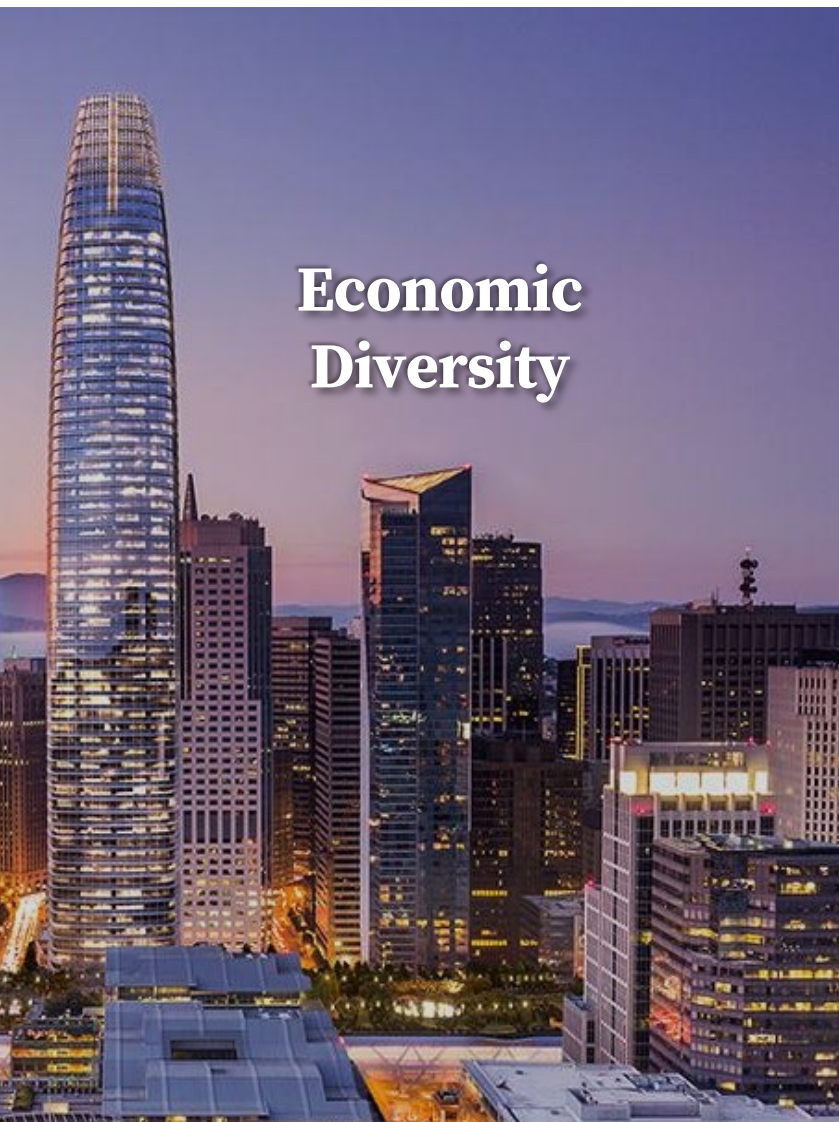
SECOND

Source: Sergio Ruiz

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Planning Department Focus Areas



**Economic
Diversity**



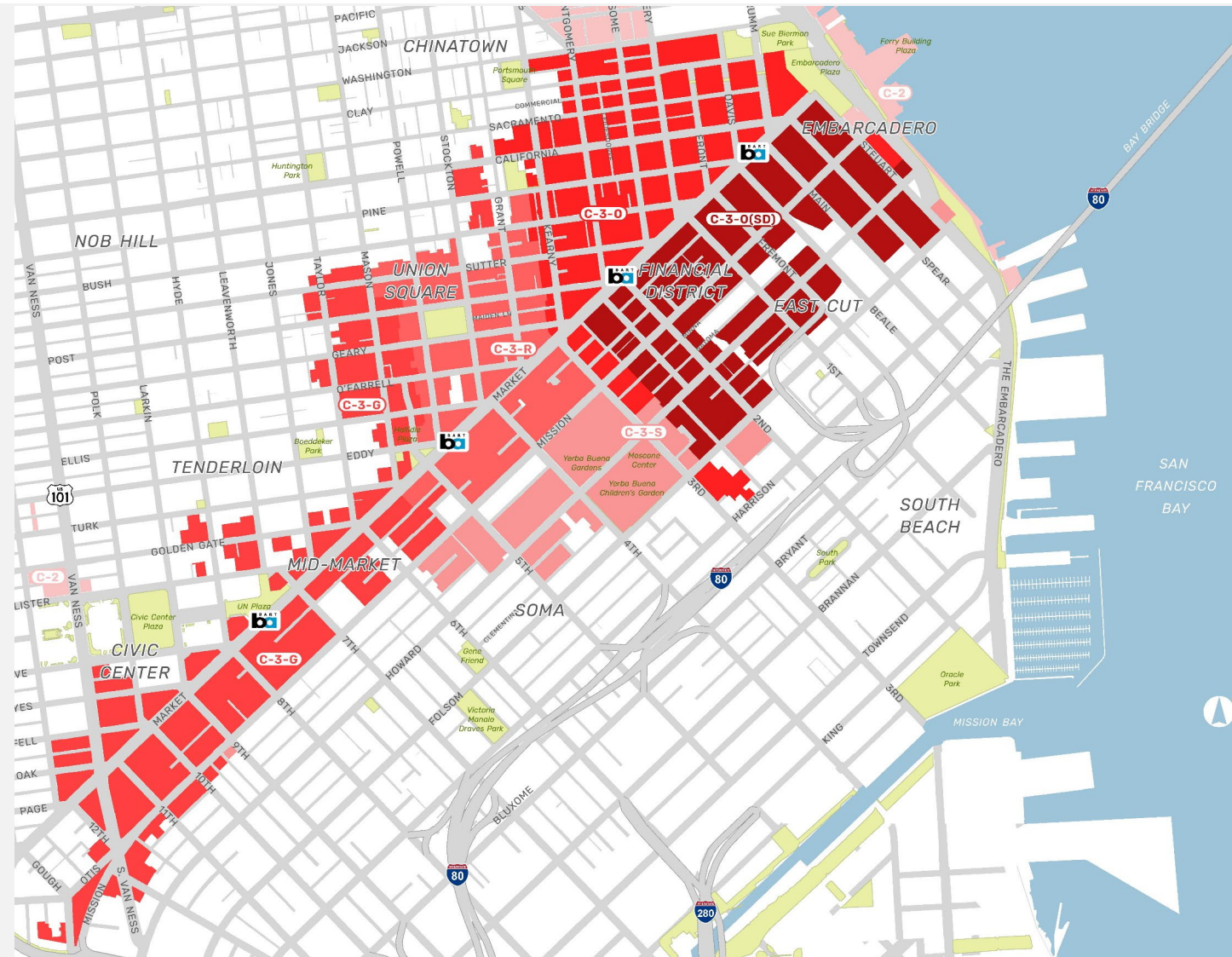
**Expanding
Housing**



**Activating and
Improving
Public Space**

Flexible Zoning and Streamlined Approvals

- Zoning along Market Street allows for housing and a range of commercial uses, including office, retail, institutions, light industrial, laboratories, arts & entertainment.
- There are no limitations on retail use size, and formula retail is permitted.
- Most projects can be approved administratively and do not require a public hearing.



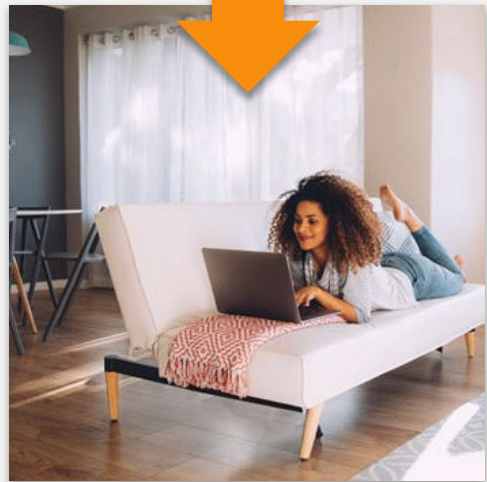
Expanding Housing



ADAPTIVE REUSE PROGRAM



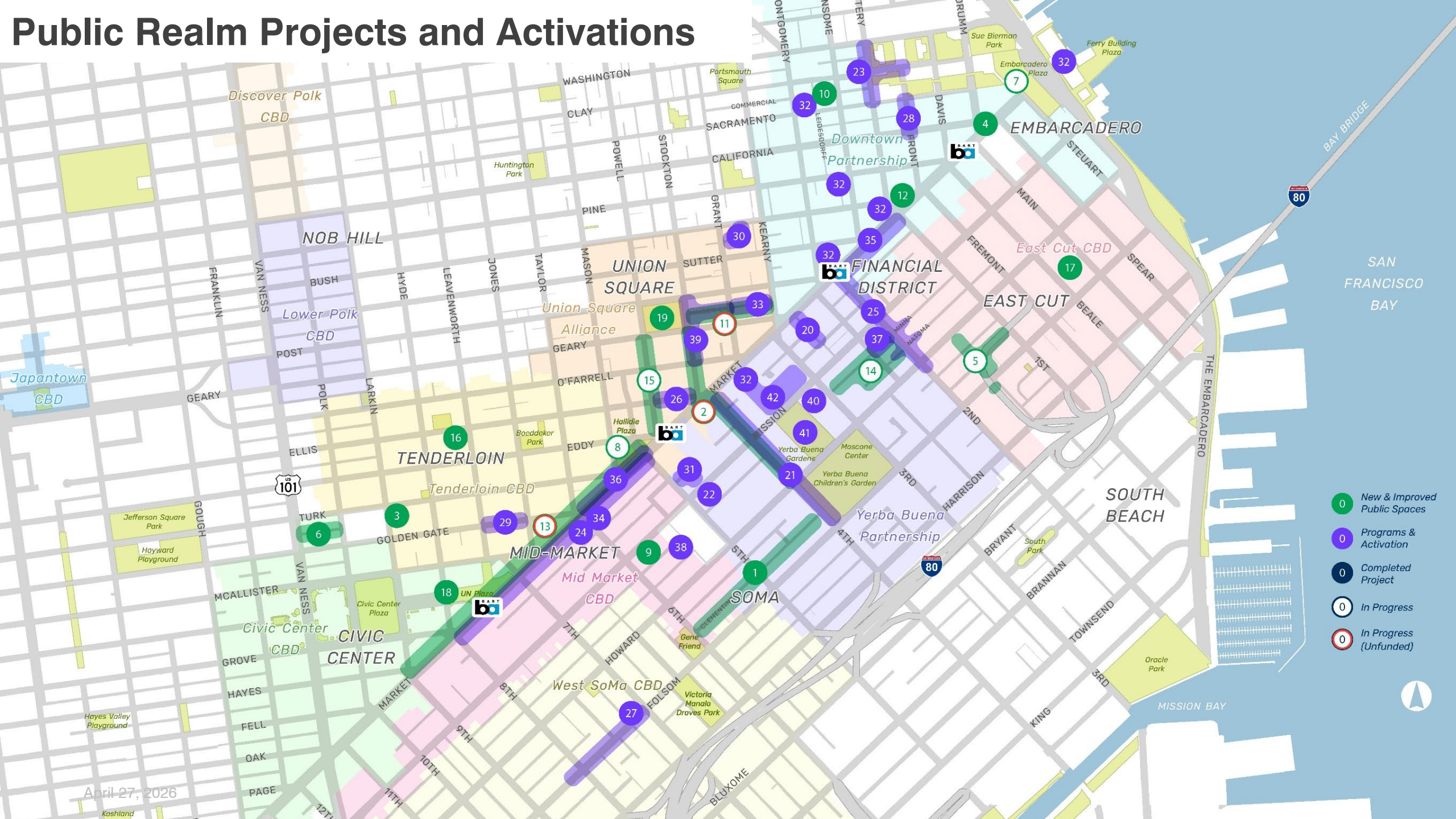
Planning Code waivers and modifications allowed if changing from a non-residential use (other than hotel use) to a residential use.



REDUCING FINANCIAL BARRIERS

- **Tax Waiver** waives the real estate transfer tax on up to 5 million square feet of conversion projects citywide (passed by voter March 2024)
- **Inclusionary Housing Requirements and Impact Fees Waivers.** Waives the inclusionary housing requirement and impact fees on up to 7 million square feet of eligible adaptive reuse projects located in the area covered by the Commercial to Residential Adaptive Reuse Program (March 2025, Board File 24-0927)
- **San Francisco Downtown Revitalization and Economic Recovery Financing District** provides annual incentive payments to eligible commercial-to-residential conversion projects in downtown San Francisco using tax increment financing (effective February 12, 2026)

Public Realm Projects and Activations



- 0 New & Improved Public Spaces
- 0 Programs & Activation
- 0 Completed Project
- 0 In Progress
- 0 In Progress (Unfunded)



Streamline Entitlements: PermitSF



As part of PermitSF the City passed legislation that:

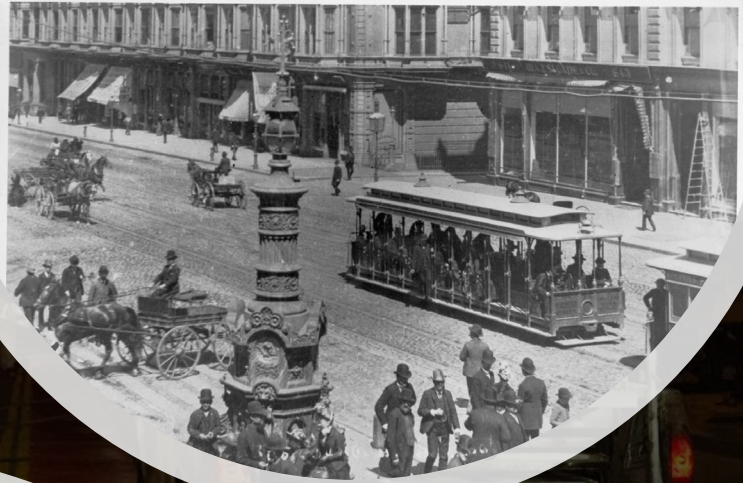
- Allows **office use** on the ground floor downtown.
- Allows **sidewalk tables and chairs** without fee or permit approval
- Allows **routine tenant improvements** extending into sidewalk without fee or permit approval
- Consolidates **priority permit processing** programs for commercial permits.
- Simplifies **business sign requirements** by removing permit and fees for most common signs.
- Reduces **storefront transparency** requirements for certain critical uses.
- Simplifies and extend **temporary use permits.**
- Reduces permit processing timelines for **nightlife and entertainment use.**
- **Standardizes and streamlines permits** for street closures & events



San Francisco moves on Market Street

- City's busiest transit thoroughfare
- City's busiest bicycle thoroughfare
- City's busiest pedestrian street





SFMTA and Public Works have iterated for decades to prioritize sustainable modes on Market Street





7282

5th FULTON RAPID
Ocean Beach

33-3333
YELLOW

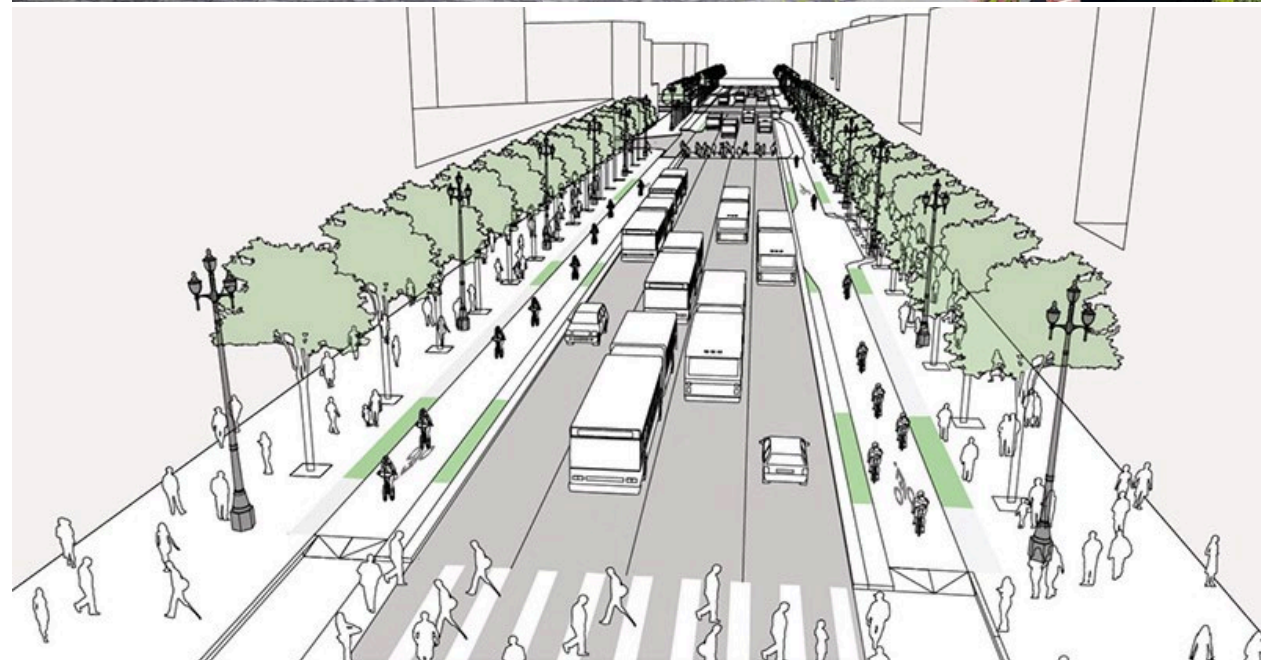
6630 CA49819

San Francisco Health Plan
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Call the toll-free number
#mygreatcover

Everybody's Favorite City

Better Market Street

- **Comprehensive plan for capital investment**
 - Public realm improvements
 - Sidewalk and transit accessibility
 - Transit state-of-good repair
 - Bicycle and pedestrian safety improvements
- **Environmentally cleared and approved by SFMTA Board of Directors October 2019**
- **Continues to guide and prioritize capital investment on Market Street**



Better Market Street **Vehicle Restrictions**



Better Market Street Mid-Market Street and Sidewalk Improvements



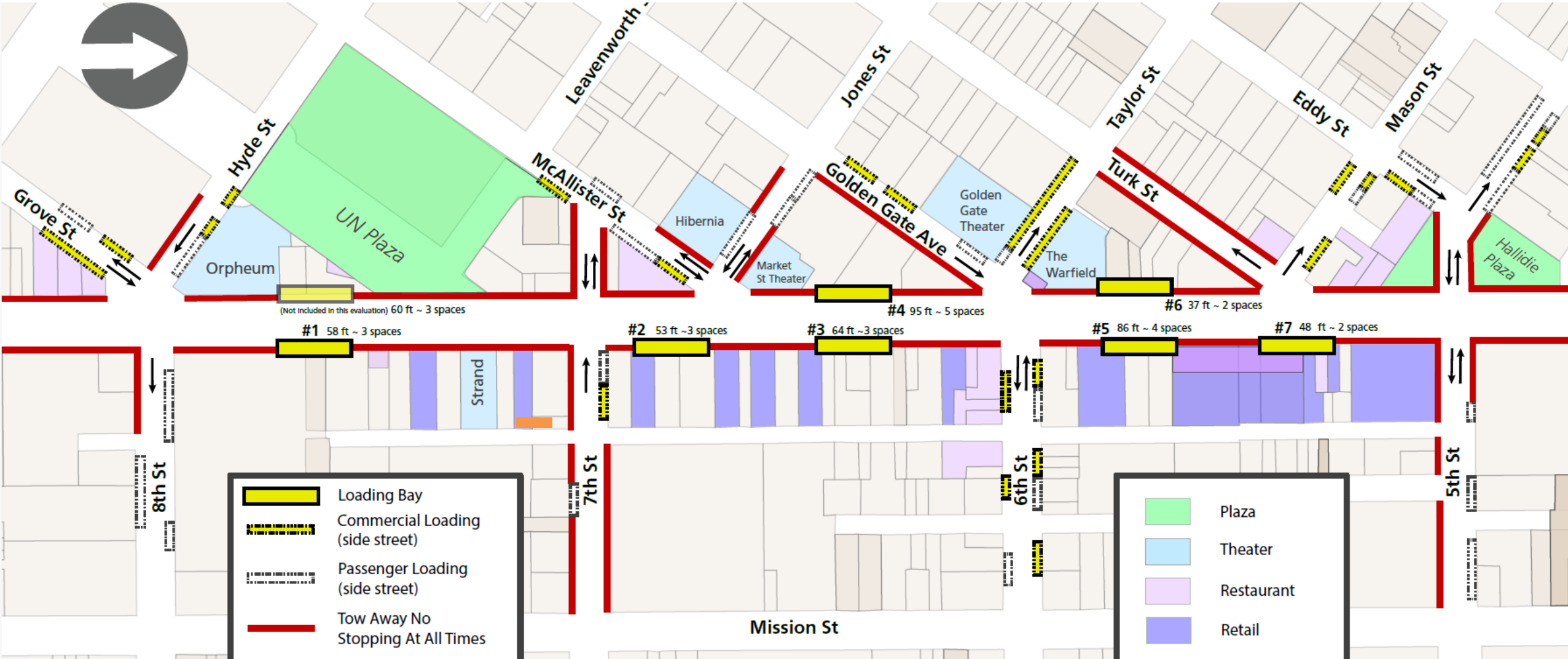
- Five traffic signal upgrades
- Repaved curb lane and full intersections, including crosswalks
- Four sidewalk extensions at 6th, Hyde, and Mason/Turk
- Replaced sidewalks with ADA-compliant curb ramps
- Streetscape: including decorative pavers, new trees, & bike racks



Market Street Loading Evaluation Background



In 2025, Waymo, and a limited number of commercial plated vehicles that operate on the Uber and Lyft platforms, were invited to provide limited commercial passenger service on Market Street and using seven loading bays in Mid-Market area.



Market Street Loading Evaluation



Muni Travel Time:

- Do transit travel times on Market Street increase by more than 5%?
- Does travel time variability on Market Street increase by more than 10%?

Transportation Safety and Mobility

- Are vehicles stopping improperly in travel lanes?

Metrics:

- Individual route travel times
- Transit headways
- Transit service disruptions
- Trips by transit, bikes, scooters, paratransit, taxis
- Injury collisions and incidents reported to 311
- Citations
- Observations of loading bay and travel lane activities
- Incidents where autonomous vehicle operators needed to resolve a call from the City
- Public, transit operator, and business owner feedback

Evaluation Timeline



Phase 1: Data
Collection and
Kick-Off
Summer 2025



Phase 2: Early
Monitoring
August 26, 2025



Phase 3: Full
Evaluation
December 15,
2025



Evaluation Results
and
Recommendations
Fall 2026



Office of Economic and Workforce Development (OEWD)



Mission

Advance equitable and shared prosperity for San Franciscans. We support businesses of all sizes, create great places to live and work, and help everyone achieve economic self-sufficiency

Divisions

- Business Development
- Office of Small Business
- Community Economic Development
- Joint Development
- Workforce Development



Business Development



Business Engagement

- Entertainment Zone:
Market Street b/w 5th & 6th Streets
- SF Live
- Sector-based attraction & retention

New Market Tax Credits

- 988 Market Street



Office of Small Business



- Commercial leasing assistance
- Pitching area to businesses
- Seeing movement from both businesses and landlords as area is being marketed as a value opportunity
- Property owners in area are open to negotiation
- Multiple assets exceed 95% occupancy, indicating strong demand
- Retail asking rates: \$35-\$45 sf/year
- Office asking rates: approx., \$66 - \$71 sf/year; Class A up to \$74 sf/year
- Permit Center





Community Economic Development

Coordinate & Work Across a Variety of Areas

- Marketing
- Business Attraction and Sustaining
- Public Safety
- Events & Activations (discussed on next slide)

Grants

- Vandalism relief
- SF Thrives
- SF Shines (Interior, Façade, and Equipment)
- Storefront Opportunity

Partner Organizations

- Mid Market Business Foundation
- Mid Market Community Benefit District
- Civic Center Community Benefit District



Community Economic Development



Mid-Market Activations

Marketing

- Destination Marketing
- Shifting the Narrative

Business Attraction & Support

- Technical Assistance
- Ground floor activation
- Mid-Market Business Working Group

Public Realm Improvements

- Murals





THANK YOU



 SAN FRANCISCO
OFFICE OF ECONOMIC &
WORKFORCE DEVELOPMENT



SAN FRANCISCO
PUBLIC
WORKS

San Francisco
Planning