

File No. 141034

Committee Item No. 3

Board Item No. _____

COMMITTEE/BOARD OF SUPERVISORS

AGENDA PACKET CONTENTS LIST

Committee: Land Use & Development

Date Nov. 3, 2014

Board of Supervisors Meeting

Date _____

Cmte Board

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| <input type="checkbox"/> | <input type="checkbox"/> | Legislative Digest |
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Completed by: AA Date 10.30.14
 Completed by: _____ Date _____

1 [Street Encroachment - Avalon Bay Communities - Hickory Street Frontage of 307-323-325
2 Octavia Street]

3 **Resolution granting revocable permission to Avalon Bay Communities to occupy a**
4 **portion of the public right-of-way to construct and maintain improvements within**
5 **Hickory Street between Octavia and Laguna Streets fronting 307-323-325 Hickory Street**
6 **(Assessor's Block No. 0831, Lot No. 023) and making environmental findings, and**
7 **findings of consistency with the General Plan, and the eight priority policies of**
8 **Planning Code, Section 101.1.**

9
10 WHEREAS, Pursuant to Public Works Code, Section 786, permission was requested
11 by AGS, Inc., on behalf of Avalon Bay Communities, to occupy a portion of the public right-of-
12 way to construct and maintain improvements within Hickory Street between Octavia and
13 Laguna Streets; the improvements include connecting Hickory Street between Octavia and
14 Laguna Streets, consistent with the Better Streets Plan, the construction of a shared street,
15 landscaping and landscaped swales with a bio-retention facility in conformance with the San
16 Francisco Stormwater Design Guidelines, and driveways to provide vehicular access to the
17 new dwelling units at the subject property, as shown on the plans, a copy of which is on file in
18 the office of the Clerk of the Board of Supervisors in File No. 141034; and

19 WHEREAS, The Transportation Advisory Staff Committee, at its meeting of August 28,
20 2014, recommended approval of the proposed encroachments; and

21 WHEREAS, The Planning Department, by letter dated May 9, 2013, declared that the
22 proposed encroachments are in conformity with Market Octavia Area Plan of the General Plan
23 Objectives and consistent with the eight priority policies of Planning Code, Section 101.1; a
24 copy of said letter is on file with the Clerk of the Board of Supervisors in File No. 141034, and
25 is incorporated herein by reference; and

1 WHEREAS, The permit and associated encroachment agreement, which are
2 incorporated herein by reference and attached hereto as Exhibit A, shall not become effective
3 until:

4 (a) The Permittee executes and acknowledges the permit and delivers said permit to
5 the City's Controller, and

6 (b) Permittee delivers to the City Controller a policy of insurance provided for in said
7 agreement and the Controller shall have had approved the same as complying with the
8 requirement of said agreement. The Controller may, in his discretion, accept, in lieu of said
9 insurance policy, the certificate of an insurance company certifying to the existence of such a
10 policy; and

11 (c) The City Controller records the permit and associated agreement in the office of the
12 County Recorder; and

13 WHEREAS, The Permittee, at the Permittee's sole expense and as is necessary as a
14 result of this permit, shall make the following arrangements:

15 (a) To provide for the support and protection of facilities belonging to the Department of
16 Public Works, San Francisco Water Department, the San Francisco Fire Department and
17 other City Departments, and public utility companies; and

18 (b) To remove or relocate such facilities and provide access to such facilities for the
19 purpose of constructing, reconstructing, maintaining, operating, or repairing such facilities;
20 and

21 WHEREAS, The Permittee shall procure the necessary permits from the Central Permit
22 Bureau, Department of Building Inspection and/or Bureau of Street-Use and Mapping,
23 Department of Public Works, and pay the necessary permit fees and inspection fees before
24 starting work; and
25

1 WHEREAS, The public right-of-way occupancy assessment fee shall be waived based
2 on the subject improvements being a requirement under Planning Code Section 138.1, that
3 the subject improvements satisfy and are in compliance with the Better Streets Plan and per
4 Section 786.7(f) subsection (b), of the Public Works Code,

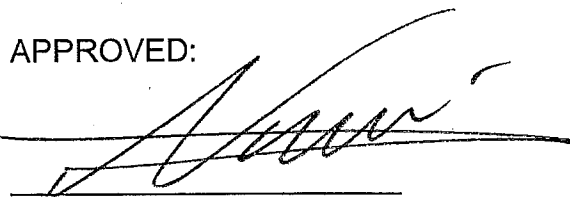
5 WHEREAS, No structure shall be erected or constructed within said street right-of-way
6 except as specifically permitted herein; and,

7 WHEREAS, The Permittee shall assume all costs for the maintenance and repair of the
8 encroachments and no cost or obligation of any kind shall accrue to the City and County of
9 San Francisco by reason of this permission granted; now, therefore be it

10 RESOLVED, That pursuant to Public Works Code Section 786, the Board of
11 Supervisors hereby grants permission, revocable at the will of the Director of the Department
12 of Public Works, to Avalon Bay Communities to construct and maintain improvements within
13 Hickory Street between Octavia Street and Laguna Streets fronting 307-323-325 Hickory
14 Street. (Assessor's Block No. 0831, Lot No. 023); and, be it

15 FURTHER RESOLVED, That this Board adopts the findings of the Planning
16 Department which determined that said permit is consistent with the eight priority policies of
17 Planning Code Section 101.1.

18
19
20
21 APPROVED:

22 
23 _____

24 Mohammed Nuru
25 Director of Public Works



Edwin M. Lee, Mayor
Mohammed Nuru, Director

RECEIVED
BOARD OF SUPERVISORS
SAN FRANCISCO

2014 OCT -3 PM 3:54

Jo

Office of the Director
1 Dr. Carlton B. Goodlett Place, City Hall, Room 348
San Francisco, CA 94102
(415) 554-6920 ■ www.sfdpw.org



September 30, 2014

Angela Calvillo, Clerk of the Board
Board of Supervisors
1 Dr. Carlton B. Goodlett Place, Room 244
San Francisco, CA 94102-4689

Dear Ms. Calvillo:

Attached please find an original, three copies and supporting documents of a proposed resolution for Board of Supervisors consideration. Electronic copies of the proposed resolution and accompanying documents will be sent to you separately. This resolution would grant revocable permission to Avalon Bay Communities to occupy a portion of the public right-of-way to construct and maintain improvements within Hickory Street between Octavia and Laguna Streets. The improvements include connecting Hickory Street between Octavia and Laguna Streets, consistent with the Better Streets Plan, the construction of a shared street, landscaping and landscaped swales with a bio-retention facility in conformance with the San Francisco Stormwater Design Guidelines, and driveways to provide vehicular access to the new dwelling units. The resolution would also make findings of consistency with the eight priority policies of Planning Code Section 101.1.

Pursuant to Section 786 of the Public Works Code, AGS, Inc., on behalf of the property owner, Avalon Bay Communities, requested a Major Encroachment Permit in a letter dated February 14, 2013. The Transportation Advisory Staff Committee (TASC), at its meeting of August 28, 2014, recommended the proposed encroachments for approval. The Planning Department, by letter dated May 9, 2013, declared that the proposed encroachments are in conformity with the General Plan and with the eight priority policies of Planning Code Section 101.1.

The following is a list of accompanying documents (three sets):

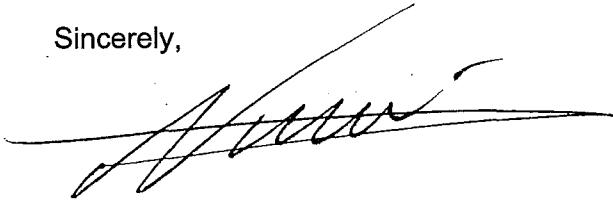
- Letter from AGS, Inc., dated February 14, 2013.
- Planning Department General Plan Referral, dated May 9, 2013.
- DPW Order No. 182928 approved September 15, 2014, recommending approval of the proposed Major Encroachment.



- Signed and Notarized Street Encroachment Agreement.
- Proposed civil and architectural plans for the Major Encroachment Permit.

The following person may be contacted regarding this matter: Mr. Berhane Gaime of BSM at (415) 554-4185.

Sincerely,



Mohammed Nuru
Director of Public Works

Attachments: As Noted





5 Freelon Street
San Francisco, CA 94107
(415) 777-2166
www.agsinc.com

February 14, 2013

Nick Elsner / Stacey Lee
City and County of San Francisco
Department of Public Works
Bureau of Street Use & Mapping
875 Stevenson St #460
San Francisco, CA. 94103

**Subject: Parcel P - Avalon Hayes Valley
Sidewalks Improvements (Laguna, Oak and Octavia Streets)**

Dear Mr. Elsner:

The Avalon Hayes Valley sidewalk improvements include the reconstruction of the sidewalks surrounding the project site along Laguna Street, Oak Street, Octavia and the reconstruction and extension of the roadway and sidewalks on Hickory Street within in the City's public right of way. New curb ramps shall be installed at all curb returns and on the north side of Hickory Street. In addition to the sidewalk improvements, the existing 6-foot wide concrete parking strip along Oak Street shall be reconstructed.

The width of the sidewalk on Laguna Street (15'), Oak (10') and Octavia (12') shall remain the same except at the curb return bulb outs to be installed at the northwest corner of Laguna and Oak Streets and the northeast corner of Laguna and Octavia Streets. The sidewalk width at the bulb outs shall be 18-feet and include new sidewalk, curb ramps and landscape improvements. The bulb out at the north east corner of Laguna and Oak Street shall extend approximately 48-feet east of the property line and the bulb out at the south west corner of Laguna and Octavia Street shall extend approximately 43-feet to the west on Oak and 49-feet to the north on Octavia Street. The bulb out areas will include new sidewalk, curb ramps and landscape improvements.

The sidewalks will be warped at the building entrances along Laguna and Oak Streets due to the existing roadway grades. Landscape planters shall extend beyond property line along project frontages. The landscape planters shall not extend more than 1-1/2 feet into the sidewalk areas. New utility services for the project shall be installed along Oak and Octavia. No new utility services are proposed to be installed on Laguna Street. No new street lights or traffic signals are proposed along the project frontages. The 4-foot wide furniture zones along Laguna, Oak and Octavia Streets shall include tree wells and pavers to treat stormwater runoff from the public right of way in conformance with the San Francisco Stormwater Design Guidelines. The existing traffic signals and street light conduits in the furniture zone shall be relocated out of the permeable paver section. The existing utility vaults will be reset to grade and relocated to accommodate new curb ramps, permeable paves and landscaping.

Sincerely,
AGS, Inc.

A handwritten signature in black ink, appearing to read "Erik Alderson".

Erik Alderson, P.E.
Project Manager

cc(Via email): Bryan Moore, Senior Project Manager- AvalonBay Communities Inc.
Bruce Baumann, Bruce Baumann & Associates
Ken Little, Kenneth J. Little, PE, PLS, LEED AP, Principal Civil Engineer - AGS, Inc.



SAN FRANCISCO PLANNING DEPARTMENT

General Plan Referral

Date: May 9, 2013

Case No. Case No. 2013.0305R
307 Octavia Boulevard – Major Encroachment Permit

Block/Lot No.: 0831/023

Project Sponsor: Bruce Baumann
(415) 551-7884
Bruce Baumann and Associates
1221 Harrison Street, Suite 22
San Francisco, CA 94103

Applicant: Javier Rivera
(415) 554 5810
San Francisco Department of Public Works
1155 Market Street, 3rd Floor
San Francisco, CA 94103

Staff Contact: Mat Snyder – (415) 575-6891
mathew.snyder@sfgov.org

Recommendation: Finding the project, on balance, in conformity with the General Plan, as described further in this Case Report.

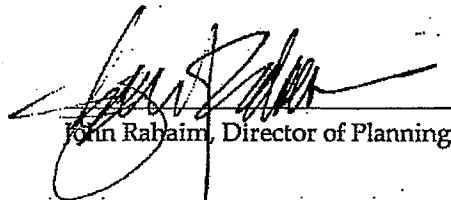
1650 Mission St.
Suite 400
San Francisco,
CA 94103-2479

Reception:
415.558.6378

Fax:
415.558.6409

Planning
Information:
415.558.6377

Recommended
By:



John Rahaim, Director of Planning

PROJECT DESCRIPTION

The project has two components: The first component is to construct bulb-outs at the southwest corner of Oak Street and Laguna Street and at the southeast corner of Oak Street and Octavia Street. The Oak / Laguna bulb-out would extend into Oak Street for a depth of approximately eight feet for a length of approximately 47 feet; the Oak/Octavia bulb-out would extend both into Oak Street and Octavia Street for a depth of eight feet for a length of approximately 42 feet and 48 feet respectively. The bulb-outs would feature pedestrian access ramps and ground landscaping.

The second component is to construct improvements along Hickory Street, a narrow 35 foot right-of-way that runs parallel to Oak Street between Laguna and Octavia; Hickory Street along this segment is

generally unimproved except for a depth of approximately 90 feet off of Octavia Street. The project would include improving the right-of-way for its full 35-foot width and along the full length between Laguna and Octavia. At the intersections, the improvements would include installing new curb lines and typical intersection ADA access ramps. Further into the interior of the block, the improvements would include a flush shared street design between the walkway and roadway. The improvements would include a variety of surface treatments including integrated color concrete, concrete unit pavers, landscaped swales, and would feature pedestrian lighting and other related improvements.

SITE DESCRIPTION AND PRESENT USE

The site at 307 Octavia Boulevard was the previous site of the Central Freeway on-ramp. It is currently vacant with various portions featuring asphalt paving. The site has most recently been used as an informal urban farm. A mixed-use development was recently approved for the site, which is associated with this General Plan Referral application.

ENVIRONMENTAL REVIEW

On 4/19/2013, the Environmental Planning section of the San Francisco Planning Department determined that the Project (sidewalk corner extension) was cleared under case no. 2007.1238E; Mitigated Negative Declaration for the Better Streets Plan Project, dated September 15, 2010.

GENERAL PLAN COMPLIANCE AND BASIS FOR RECOMMENDATION

The Project is consistent with the Eight Priority Policies of Planning Code Section 101.1 as described in the body of this letter and is, on balance, **in-conformity** with the following Objectives and Policies of the General Plan:

Note: General Plan Objectives and Policies are in **BOLD** Font; General Plan text is in regular font; Staff comments are in *italic* font.

MARKET OCTAVIA AREA PLAN

OBJECTIVE 4.1

PROVIDE SAFE AND COMFORTABLE PUBLIC RIGHTS-OF-WAY FOR PEDESTRIAN USE AND IMPROVE THE PUBLIC LIFE OF THE NEIGHBORHOOD.

POLICY 4.1.1

Widen sidewalks and shorten pedestrian crossings with corner plazas and boldly marked crosswalks here possible without affecting traffic lanes. Where such improvements may reduce lanes, the improvements should first be studied.

The sidewalk bulb-outs on Oak Street will improve the pedestrian environment by providing greater width at the corners, shortening crossing distances and making the sidewalks more comfortable for those on foot.

POLICY 4.1.5

Prohibit the vacation of public rights-of-way, especially alleys; where new development creates the opportunity, extend the area's alley network.

POLICY 4.1.6

Pursue the extension of alleys where it would enhance the existing network.

POLICY 4.1.7

Introduce traffic-calming measures on residential alleys and consider making improvements to alleys with a residential character to create shared, multipurpose public space for the use of residents.

The Hickory improvements will create a new pedestrian-focused right-of-way where one does not exist: it will provide a new shorter means to cross between Laguna and Octavia Streets, and will be designed to calm traffic and make those on foot feel comfortable and protected.

TRANSPORTATION ELEMENT

OBJECTIVE 1

MEET THE NEEDS OF ALL RESIDENTS AND VISITORS FOR SAFE, CONVENIENT AND INEXPENSIVE TRAVEL WITHIN SAN FRANCISCO AND BETWEEN THE CITY AND OTHER PARTS OF THE REGION WHILE MAINTAINING THE HIGH QUALITY LIVING ENVIRONMENT OF THE BAY AREA.

POLICY 1.2

Ensure the safety and comfort of pedestrians throughout the city.

The bulb-outs will reduce pedestrian crossing distances, increase pedestrian visibility to motorists, and provide a more comfortable walking experience along Oak Street.

OBJECTIVE 2

USE THE TRANSPORTATION SYSTEM AS A MEANS FOR GUIDING DEVELOPMENT AND IMPROVING THE ENVIRONMENT.

POLICY 2.4

Organize the transportation system to reinforce community identity, improve linkages among interrelated activities and provide focus for community activities.

The project will help to enhance the respective streets' roles as a key pedestrian link by providing a greatly improved crossing on Oak Street.

POLICY 18.4

Discourage high-speed through traffic on local streets in residential areas through traffic "calming" measures that are designed not to disrupt transit service or bicycle movement, including:

By extending the sidewalk, this project will discourage high-speed traffic by visually tightening the vehicular entrance to the residential neighborhood along Octavia, Laguna and Oak.

OBJECTIVE 23

IMPROVE THE CITY'S PEDESTRIAN CIRCULATION SYSTEM TO PROVIDE FOR EFFICIENT, PLEASANT, AND SAFE MOVEMENT.

POLICY 23.6

Ensure convenient and safe pedestrian crossings by minimizing the distance pedestrians must walk to cross a street.

POLICY 23.9

Implement the provisions of the Americans with Disabilities Act and the city's curb ramp program to improve pedestrian access for all people.

The subject improvements would include new curb ramps consistent with ADA standards at the Octavia /Hickory intersection where there currently are none. The bulb-outs would improve the overall pedestrian environment by making the sidewalks at their locations wider and more comfortable and welcoming for those using the public right-of-way. The improvements on Hickory would create a new pedestrian cross through between Octavia and Laguna making pedestrian travel distances generally shorter. Moreover, the Hickory improvements would create a safe and comfortable pedestrian realm and would feature high quality finishing materials and elements.

OBJECTIVE 24

IMPROVE THE AMBIENCE OF THE PEDESTRIAN ENVIRONMENT.

POLICY 24.2

Maintain and expand the planting of street trees and the infrastructure to support them.

POLICY 24.3

Install pedestrian-serving street furniture where appropriate.

As noted above, the bulb-out and Hickory improvements will create a high quality pedestrian environment, enabling a choice for pedestrians crossing between Octavia and Laguna on the subject block.

OBJECTIVE 26

CONSIDER THE SIDEWALK AREA AS AN IMPORTANT ELEMENT IN THE CITYWIDE OPEN SPACE SYSTEM.

POLICY 26.3

Encourage pedestrian serving uses on the sidewalk.

The Project will bring additional pedestrian space and amenities to Oak, Laguna, Octavia, and Hickory Streets and will include planters with seating, and additional street trees.

URBAN DESIGN ELEMENT

POLICY 1.5

Emphasize the special nature of each district through distinctive landscaping and other features.

The proposed sidewalk extension will include landscaping and special paving in the furnishing zone. The Hickory improvements will feature a wide variety of surface treatments including a vegetated swale planting, integrated color concrete paving, seat walls, and pedestrian-scale lighting. The inner portion of the Hickory will feature a shared flush condition between the pedestrian throughway and the vehicular roadway.

POLICY 4.11

Make use of street space and other unused public areas for recreation, particularly in dense neighborhoods, such as those close to downtown, where land for traditional open spaces is more difficult to assemble.

The pedestrian improvements, especially on Hickory Street will enable the public right-of-way to be used as public open space.

RECREATION & OPEN SPACE ELEMENT

POLICY 2.9

Maintain and expand the urban forest.

The proposed project includes numerous additional street trees.

PROPOSITION M FINDINGS – PLANNING CODE SECTION 101.1

Planning Code Section 101.1 establishes Eight Priority Policies and requires review of discretionary approvals and permits for consistency with said policies. The Project is found to be consistent with the Eight Priority Policies as set forth in Planning Code Section 101.1 for the following reasons:

Eight Priority Policies Findings

The subject project is found to be consistent with the Eight Priority Policies of Planning Code Section 101.1 in that:

1. That existing neighborhood-serving retail uses be preserved and enhanced and future opportunities for resident employment in and ownership of such businesses enhanced.

The Project would have no adverse effect on neighborhood serving retail uses or opportunities for employment in or ownership of such businesses.

2. That existing housing and neighborhood character be conserved and protected in order to preserve the cultural and economic diversity of our neighborhood.

The Project would have no adverse effect on the City's housing stock or on neighborhood character. The existing housing and neighborhood character will be conserved.

3. That the City's supply of affordable housing be preserved and enhanced.

The Project would have no adverse effect on the City's supply of affordable housing.

4. That commuter traffic not impede MUNI transit service or overburden our streets or neighborhood parking.

The Project would not result in commuter traffic impeding MUNI's transit service, overburdening the streets or altering current neighborhood parking.

5. That a diverse economic base be maintained by protecting our industrial and service sectors from displacement due to commercial office development, and that future opportunities for residential employment and ownership in these sectors be enhanced.

The Project would not affect the existing economic base in this area.

6. That the City achieve the greatest possible preparedness to protect against injury and loss of life in an earthquake.

The Project would not adversely affect achieving the greatest possible preparedness against injury and loss of life in an earthquake.

7. That landmarks and historic buildings be preserved.

The project does not involve any historic buildings.

8. That our parks and open space and their access to sunlight and vistas be protected from development.

The Project would have no adverse effect on parks and open space or their access to sunlight and vistas.

RECOMMENDATION:

Finding the Project, on balance, in-conformity with the General Plan.

City and County of San Francisco



Edwin M. Lee, Mayor
Mohammed Nuru, Director

San Francisco Department of Public Works
Office of the Deputy Director & City Engineer, Fuad Sweiss
Bureau of Street-Use & Mapping
1155 Market Street, 3rd Floor
San Francisco Ca 94103
(415) 554-5810 www.sfdpw.org



Jerry Sanguinetti, Bureau Manager

DPW Order No: 182928

APPROVAL OF MAJOR (STREET) ENCROACHMENT PERMIT TO CONSTRUCT IMPROVEMENTS WITHIN HICKORY STREET BETWEEN OCTAVIA AND LAGUNA STREET FRONTING 307-323-325 OCTAVIA STREET (BLOCK 0831, LOT 023).

APPLICANT: Bruce D. Baumann & Associates
for Avalon Bay Communities
1221 Harrison Street, Suite 22
San Francisco, CA 94103

PROPERTY IDENTIFICATION: Lot 023 in Assessor's Block 0831
(307-323-325 Octavia Street)
San Francisco, CA 94102

DESCRIPTION OF REQUEST: Major (Street) Encroachment Permit

BACKGROUND:

1. On January 25, 2013, the applicants filed a request with the Department of Public Works (DPW) to consider approval of a Major (Street) Encroachment Permit to construct improvements and extend Hickory Street for its entire length and width between Octavia Street and Laguna Streets. The improvements include connecting Hickory Street between Octavia and Laguna Streets, consistent with the Better Streets Plan, the construction of a shared street, landscaping and landscaped swales with a bio-retention facility in conformance with the San Francisco Stormwater Design Guidelines, and driveways to provide vehicular access to the new dwelling units at the subject property.
2. The Transportation Advisory Staff Committee (TASC), at its meeting of August 28, 2014, recommended the proposed encroachment for approval.
3. The Planning Department, in response to a referral dated March 12, 2013, by letter dated May 9, 2013, found the project, on balance, in conformity with the General Plan.
4. DPW scheduled a public hearing for September 10, 2014 to consider the proposed encroachment. On August 28, 2014, DPW mailed notices for the hearing to property owners within a 300-foot radius of the subject location.
5. Hearing Officer Aileen Gonzales conducted a hearing on the merits of the Major (Street) Encroachment Permit on September 10, 2014.



San Francisco Department of Public Works
Making San Francisco a beautiful, livable, vibrant, and sustainable city.

6. Joe Kirchofer, representing Avalon Bay Communities, the developer/owner of the subject property and Adrienne Steichen of Pyatok Architects attended the public hearing. Mr. Kirchofer testified stating that they are eager to get the permit and to construct the public space.
7. No other testimony was presented at the public hearing in favor or in opposition to the encroachment.
8. The Hearing Officer considered and reviewed all of DPW's files on this encroachment. Based on this information the Hearing Officer made her decision on September 11, 2014 to recommend the proposed Major (Street) Encroachment to the Board of Supervisors for approval.

HEARING OFFICER RECOMMENDATION: APPROVAL of the request for a Major (Street) Encroachment Permit based on the following findings:

FINDING 1. Recommendation for approval by TASC and Planning Department's determination that the subject encroachment is in conformity with the General Plan.

FINDING 2. Said encroachment complies with the City's Better Streets Plan.

FINDING 3. Said encroachment provides a safe and comfortable public right-of-way for shared use and improves the quality of life in the neighborhood.

FINDING 4. The subject encroachment is desirable and convenient to the Avalon Bay Communities' Hayes Valley development.

FINDING 5. Said encroachment shall be subject to an annual assessment fee.

9/15/2014

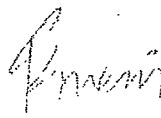
X



Sanguinetti, Jerry
Bureau Manager

9/15/2014

X



Sweiss, Fuad
Deputy Director and City Engineer

9/15/2014

X

Mohammed Nuru

Nuru, Mohammed
Director, DPW





**CITY AND COUNTY OF SAN FRANCISCO
DEPARTMENT OF PUBLIC WORKS
STREET ENCROACHMENT AGREEMENT**

WITNESSETH

In consideration of the adoption by the Board of Supervisors of the City and County of San Francisco of Resolution No. _____ at its meeting of _____, a true copy of which is attached hereto marked Exhibit A, and by this reference incorporated herein, and subject to all the terms, conditions and restrictions of this Agreement, also by reference incorporated herein, Permittee agrees that in accordance with this agreement and Exhibit A:

1. The permitted encroachment shall constitute a revocable license, shall be personal to Permittee and shall not be assignable or transferable by Permittee, whether separate from or together with any interest of Permittee.

Upon revocation the undersigned permittee, subsequent owners, or their heirs and assignees will within 30 days remove or cause to be removed the encroachment and all materials used in connections with its construction, without expense to the City and County of San Francisco, and shall restore the area to a condition satisfactory to the Department of Public Works.

2. The occupancy, construction and maintenance of the encroachment shall be in the location and as specified by the plans submitted, revised, approved and filed in the Department of Public Works. The permittee, by acceptance of this permit, acknowledges its responsibility to comply with all requirements of the occupancy, construction and maintenance of the encroachment as specified in Public Works Code Section 786 and with the sidewalk maintenance requirements specified in Public Works Code Section 706.
3. The permittee shall verify the locations of City and public service utility company facilities that may be affected by the work authorized by this permit and shall assume all responsibility for any damage to such facilities due to the work. The permittee shall make satisfactory arrangements and payments for any necessary temporary relocation of City and public utility company facilities.
4. In consideration of this Permit being issued for the work described in the application, Permittee on its behalf and that of any successor or assign, and on behalf of any lessee, promises and agrees to perform all the terms of this Permit and to comply with all applicable laws, ordinances and regulations.

Permittee agrees on its behalf and that of any successor or assign to hold harmless, defend, and indemnify the City and County of San Francisco, including, without limitation, each of its commissions, departments, officers, agents and employees (hereinafter collectively referred to as the "City") from and against any and all losses, liabilities, expenses, claims, demands, injuries, damages, fines, penalties, costs or judgments including, without limitation, attorneys' fees and costs (collectively, "claims") of any kind allegedly arising directly or indirectly from (i) any act by, omission by, or negligence of, Permittee or its subcontractors, or the offices, agents or employees of either, while engaged in the performance of the work authorized by this Permit, or while in or about the property subject to this Permit for any reason connected in any way whatsoever with the performance of the work authorized by this Permit, or allegedly resulting directly or indirectly from the maintenance or installation of any equipment, facilities or structures authorized under this Permit, (ii) any accident or injury to any contractor or subcontractor, or any officer, agent, or employee of either of them, while engaged in the performance of the work authorized by this Permit, or while in or about the property, for any reason connected with the performance of the work authorized by this Permit, or arising from liens or claims for services rendered or labor or materials furnished in or for the performance of the work authorized by this Permit, (iii) injuries or damages to real or personal property, good will, and persons in, upon or in any way allegedly connected with the work authorized by this Permit from any cause or claims arising at any time, and potentially falls within this indemnity provision, even if the allegations are or may be groundless, false or fraudulent, which obligations arises at the time such claim is tendered to Permittee by the City and continues at all times thereafter. Permittee agrees that the indemnification obligations assumed under this Permit shall survive expiration of the Permit or completion of work.

Permittee shall obtain and maintain through the terms of this Permit insurance as the City deems necessary to protect the City against claims for damages for personal injury, accidental death and property damage allegedly arising from any work done under this Permit. Such insurance shall in no way limit Permittee's indemnity hereunder. Certificates of insurance, in form and with insurers satisfactory to the City, evidencing all coverages above shall be furnished to the City before commencing any operations under this Permit, with complete copies of policies furnished promptly upon City request.

5. Permittee will, at its own expense, maintain in full force and effect an insurance policy or policies issued by insurers with ratings comparable to A-VIII, or higher that are authorized to do business in the State of California, and that are satisfactory to the City. Approval of the insurance by City shall not relieve or decrease Permittee's liability hereunder.

Permittee must maintain in force, during the full term of the Agreement, insurance in the following amounts and coverages. Workers' Compensation, in statutory amounts, with Employer's Liability limits not less than \$1,000,000 each accident, injury, or illness; and Commercial General Liability Insurance with Limits not less than \$1,000,000 each occurrence and \$2,000,00 in the aggregate for bodily injury and property damage, including contractual liability, personal injury, products and completed operations; and Commercial Automobile Liability insurance with limits not less than \$1,000,000 each occurrence combined single limit or bodily injury and

property damage, including owned, non-owned and hired auto coverage as applicable. Said policies shall include the City and County of San Francisco and its officers and employees jointly and severally as additional insured and shall apply as primary insurance and shall stipulate that no other insurance affected by the City and County of San Francisco will be called on to contribute to a loss covered hereunder.

All policies shall be endorsed to provide thirty (30) days advance written notice to the City of reduction, nonrenewal or material changes in coverages or cancellation of coverages for any reason. Notices shall be sent to the Department of Public Works, Bureau of Street Use and Mapping, 1155 Market Street, 3rd Floor, San Francisco, CA, 94103. The permission granted by said resolution shall automatically terminate upon the termination of such insurance. Upon such termination, Permittee shall restore the right-of-way, without expense to the "Personal Injuries", as used herein, shall include wrongful death.

6. The permittee shall obtain a building permit as the Central Permit Bureau, 1660 Mission Street for the construction or alteration of any building.
 7. The permittee shall contact the DPW Street Inspection Section (415) 554-7149, at least 72 hours prior to starting work to arrange an inspection schedule.
 8. The permittee acknowledge its responsibility to notify any successor owners of the existence of the encroachment and the successor owner's obligation to obtain a permit from the Department of Public Works 60 days in advance of any pending sale of the permittee's adjacent property. The permittee's obligation to remove the encroachment and restore the right-of-way to a condition satisfactory to the Department of Public Works shall survive the revocation, expiration or termination of this permit or sale of permittee's adjacent property.
 9. The permittee's right to use City property, as set forth in this permit is appurtenant to the property described as: Hickory Street, between Laguna Street and Octavia Street, adjacent to the parcel at 325 Octavia, Block 0831, Lot 023.
_____ The provisions of the permit shall bind all subsequent purchases and owners of the described property.
- Subsequent purchasers and owners shall be subject to the revocation and termination provisions set forth in this permit.
10. The permittee or subsequent owners recognize and understand that this permit may create a possessory interest subject to property taxation and that the permittee or subsequent owner or owners may be subject to the payment of such taxes.
 11. The permittee or subsequent owner or owners recognize the recordation of this permit.

All of the provisions of this agreement shall be deemed provisions of said resolution. All of the provisions of said resolution shall be deemed provisions of this agreement.

In witness whereof the undersigned Permittee(s) have executed this agreement this 24 day of September, 2014.

Hayes Valley, L.P., a Delaware limited partnership

BY: Avalon Hayes Valley Manager, Inc., a Maryland corporation, its General Partner

BY: *Nathan Hong*
Nathan Hong, Senior Vice President

STATE OF CALIFORNIA)
) SS
COUNTY OF _____)

On _____ before me, _____ Notary Public in and for said County and State, personally appeared _____ personally known to me (or proven to me on the name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by this by his/her/their signature(s) on the instrument the person(s), or entity upon behalf of which the person(s) acted, executed the instrument.

WITNESS my hand and official seal

(NOTARY STAMP OR SEAL)

Notary Public in and for said
County and State

CALIFORNIA ALL-PURPOSE CERTIFICATE OF ACKNOWLEDGMENT

State of California

County of San Francisco

On 09/24/2014 before me, S. SAPPRASERT NOTARY PUBLIC
(Here insert name and title of the officer)

personally appeared Nathan Hong

who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.

[Signature]
 Signature of Notary Public

(Notary Seal)



ADDITIONAL OPTIONAL INFORMATION

INSTRUCTIONS FOR COMPLETING THIS FORM

Any acknowledgment completed in California must contain verbiage exactly as appears above in the notary section or a separate acknowledgment form must be properly completed and attached to that document. The only exception is if a document is to be recorded outside of California. In such instances, any alternative acknowledgment verbiage as may be printed on such a document so long as the verbiage does not require the notary to do something that is illegal for a notary in California (i.e. certifying the authorized capacity of the signer). Please check the document carefully for proper notarial wording and attach this form if required.

- State and County information must be the State and County where the document signer(s) personally appeared before the notary public for acknowledgment.
- Date of notarization must be the date that the signer(s) personally appeared which must also be the same date the acknowledgment is completed.
- The notary public must print his or her name as it appears within his or her commission followed by a comma and then your title (notary public).
- Print the name(s) of document signer(s) who personally appear at the time of notarization.
- Indicate the correct singular or plural forms by crossing off incorrect forms (i.e. he/she/they, is /are) or circling the correct forms. Failure to correctly indicate this information may lead to rejection of document recording.
- The notary seal impression must be clear and photographically reproducible. Impression must not cover text or lines. If seal impression smudges, re-seal if a sufficient area permits, otherwise complete a different acknowledgment form.
- Signature of the notary public must match the signature on file with the office of the county clerk.
 - ❖ Additional information is not required but could help to ensure this acknowledgment is not misused or attached to a different document.
 - ❖ Indicate title or type of attached document, number of pages and date.
 - ❖ Indicate the capacity claimed by the signer. If the claimed capacity is a corporate officer, indicate the title (i.e. CEO, CFO, Secretary).
- Securely attach this document to the signed document

DESCRIPTION OF THE ATTACHED DOCUMENT

(Title or description of attached document)

(Title or description of attached document continued)

Number of Pages _____ Document Date _____

(Additional information)

CAPACITY CLAIMED BY THE SIGNER

Individual (s)

Corporate Officer

(Title)

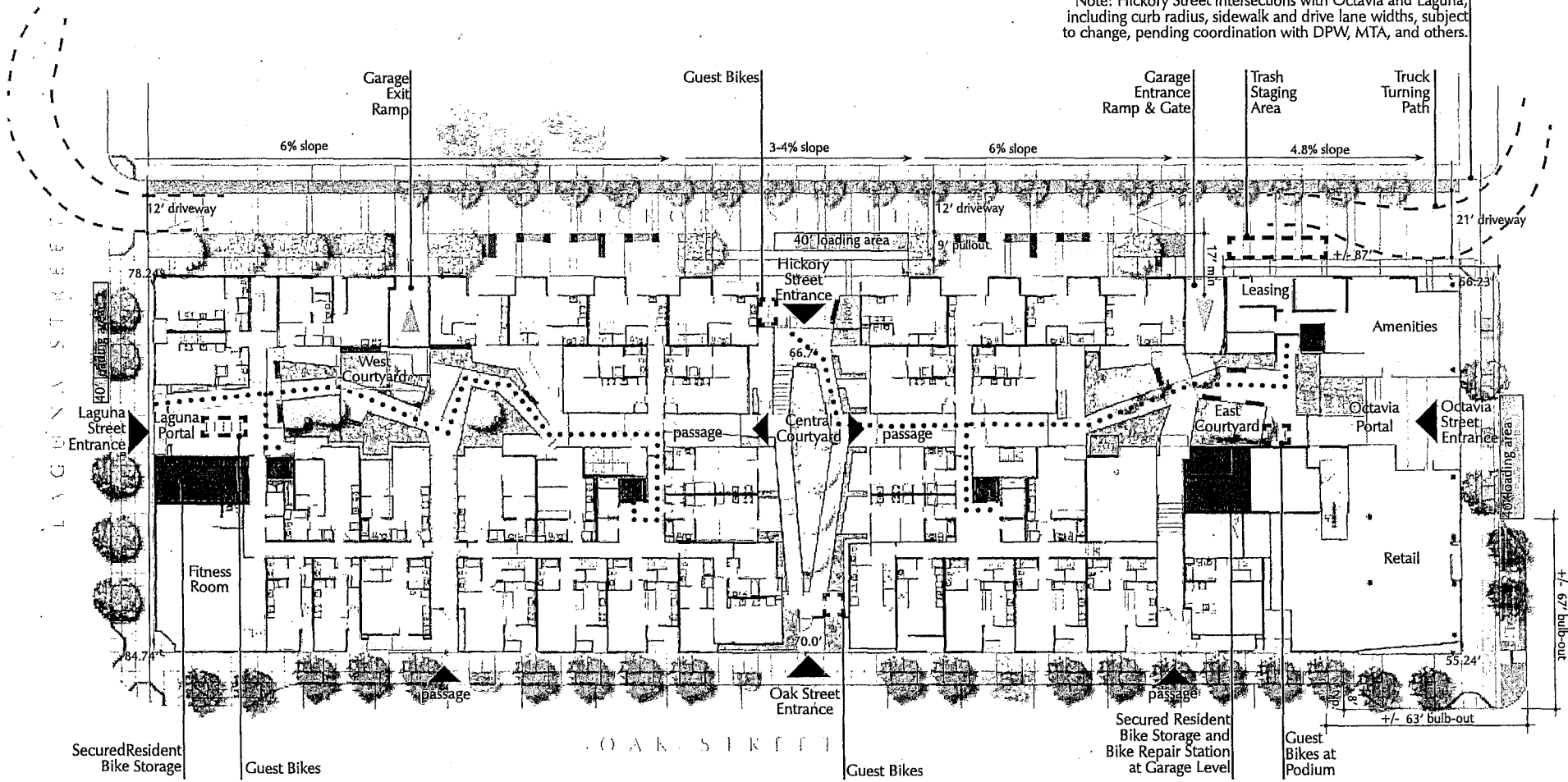
Partner(s)

Attorney-in-Fact

Trustee(s)

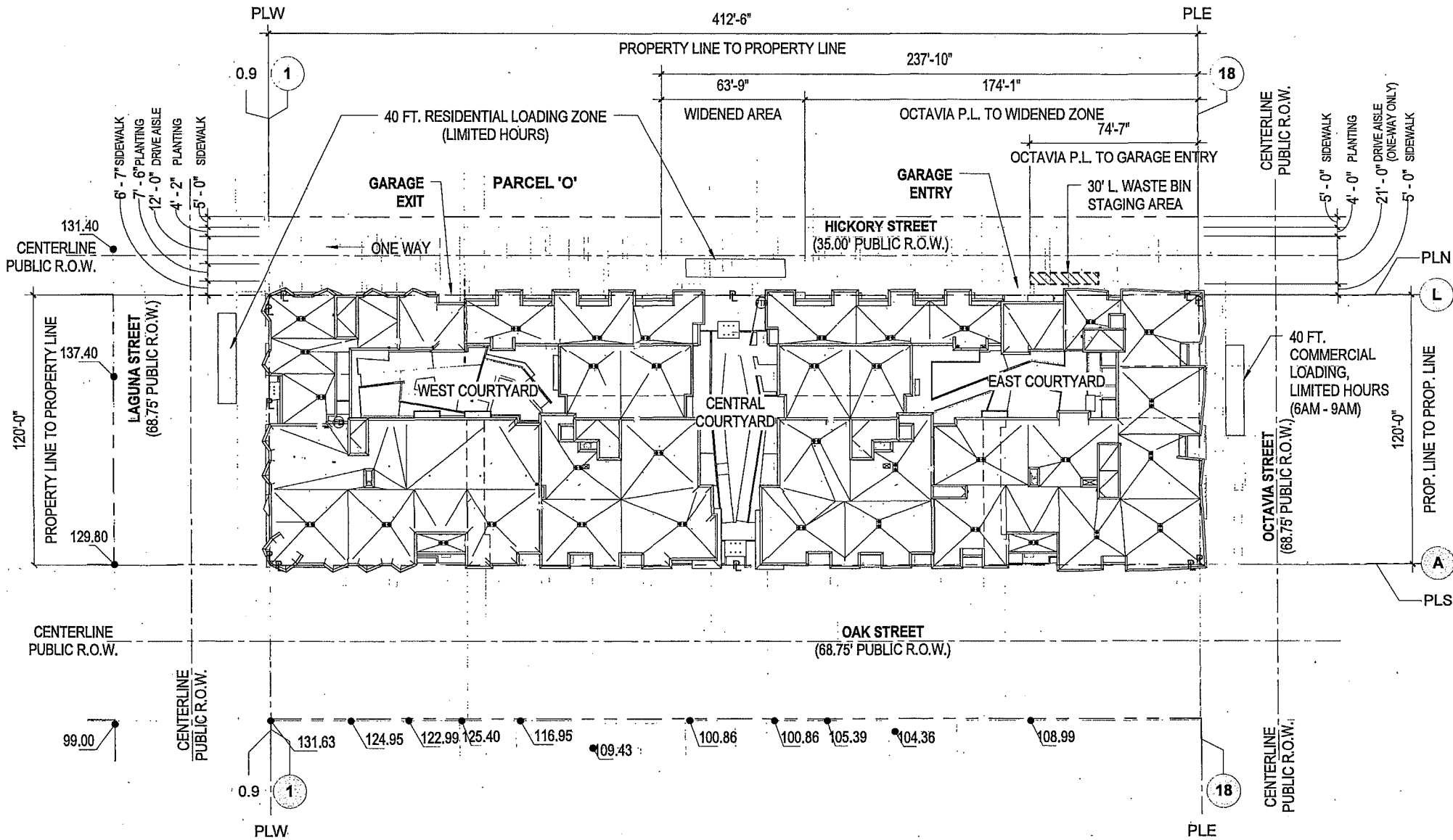
Other _____

Note: Hickory Street intersections with Octavia and Laguna, including curb radius, sidewalk and drive lane widths, subject to change, pending coordination with DPW, MTA, and others.



- LEGEND
- ▲ pedestrian & bicyclist access points
 - elevators
 - resident loading path

PARCEL P - SITE PLAN



Pyatok Architects, Inc.
 architecture planning research
 1611 Telegraph Avenue, Suite 200
 Oakland, California 94612
 510.465.7010 p | 510.465.8575 f

TITLE:
 ARCHITECTURAL SITE PLAN - SFTMA MEMO RESPONSE

AVALON HAYES VALLEY PARCEL P

DATE: 08/13/14

SCALE: 1" = 40'-0"

ATTACHED TO:

REF. DWG:

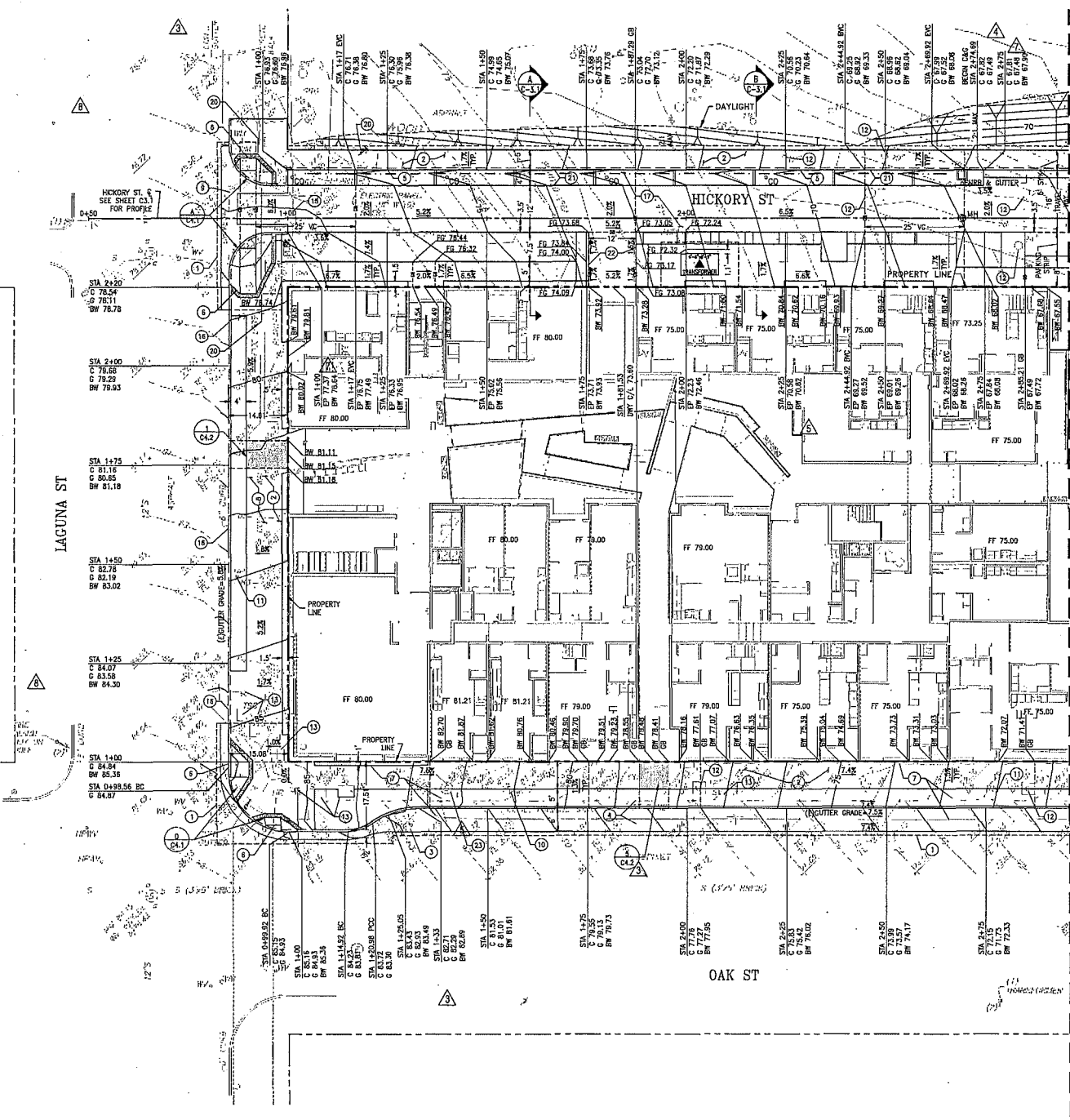
DWG. NO:

A1-SFMTA



5 Fresno Street
San Francisco, California 94107
415.777.2168 p | 415.777.2167 f
www.agsinc.com

243-32 OCTAVIA STREET & 400 LAGUNA STREET
SAN FRANCISCO, CA 94102
(BLOC 0031/LOT 023)
AVALON HAYES VALLEY PARCEL P



- GRADING CONSTRUCTION NOTES:**
- 1 SAWCUT EXISTING PAVEMENT & CONFORM TO EXISTING GRADES.
 - 2 NEW CONCRETE SIDEWALK PER PROJECT LANDSCAPE PLAN & CITY STANDARD PLAN, FILE NUMBER 87,173.
 - 3 NEW "COMBINED 6-INCH CONCRETE CURB AND GUTTER" PER CITY STANDARD PLAN, FILE NUMBERS 87,170 & 87,173.
 - 4 NEW "COMBINED 6-INCH CONCRETE CURB AND PARKING STRIP" PER CITY STANDARD PLAN, FILE NO. 87,170.
 - 5 NEW CONCRETE CURB, HEIGHT VARIES, PER CITY STANDARD PLAN, FILE NUMBERS 87,169 & 87,173.
 - 6 NEW CONCRETE CURB RAMP WITH DETECTABLE SURFACE. SEE RAMP DETAILS, SHEET C4.1, AND CITY STANDARD PLANS CR-1 & CR-2.
 - 7 REMOVE EXISTING SIDEWALK, CURB AND GUTTER/PARKING STRIP.
 - 8 REMOVE EXISTING SIDEWALK ONLY, EXISTING CURB TO REMAIN.
 - 9 REMOVE EXISTING DRIVEWAY AND GUTTER/PARKING STRIP.
 - 10 REMOVE EXISTING STREET SIGNS.
 - 11 REMOVE STREET SIGNS AND BOLLARDS WHILE CONSTRUCTING SIDEWALK AND RETURN TO ORIGINAL LOCATION AFTER CONSTRUCTION.
 - 12 REMOVE EXISTING TREE, SEE LANDSCAPE PLAN.
 - 13 PROTECT STREET LIGHTS, TRAFFIC SIGNAL BOXES/POLES, FIRE HYDRANTS, CLEVERUS WATER VALVES, SEWER VENTS AND MANHOLE COVERS IN PLACE. RIMS AND COVERS OF EXISTING UTILITIES STRUCTURES TO BE ADJUSTED TO NEW GRADE. SEE UTILITY PLAN.
 - 14 RELOCATE EXISTING UTILITY STRUCTURE, SEE UTILITY PLAN.
 - 15 REMOVE EXISTING FENCE.
 - 16 EXISTING CONCRETE CURB TO REMAIN, PROTECT IN PLACE.
 - 17 REMOVE EXISTING PAVEMENT & BASE AND CONSTRUCT NEW CONCRETE ROADWAY. SEE LANDSCAPE PLANS FOR CONSTRUCTION OF HICKORY STREET PAVEMENT.
 - 18 EXISTING TREE TO REMAIN, PROTECT IN PLACE.
 - 19 CONCRETE BENCHES TO BE RELOCATED BY LOT 24 OWNER (CITY).
 - 20 REMOVE EXISTING WOOD STRUCTURE.
 - 21 NEW LANDSCAPE BIORETENTION FACILITY, PER PROJECT LANDSCAPE PLANS & DETAILS. SEE SHEET C3.2 FOR BIORETENTION FACILITY PROFILE.
 - 22 CENTER DRIVEWAY ON CENTER OF GARAGE OPENINGS. SEE ARCHITECTURAL PLANS FOR BUILDING ENTRANCE AND DRIVEWAY LOCATIONS.
 - 23 REMOVE ABANDONED MH. SEE UTILITY PLANS.

- GENERAL GRADING NOTES:**
1. STATIONINGS SHOWN IS CALCULATED ALONG THE PROPERTY LINE AND STARTS AT 1+00 ON THE PROPERTY CORNERS.
 2. IT IS THE CONTRACTOR'S RESPONSIBILITY TO REROUTE PEDESTRIAN AND VEHICULAR TRAFFIC AROUND THE CONSTRUCTION AREA.
 3. SEE LANDSCAPE DRAWINGS FOR FINISHED SURFACE DETAILS AND SPECIFICATIONS FOR SIDEWALK AND PAVING IN HICKORY STREET.

- LEGEND:**
- ACCESSIBLE ENTRANCE AREA, SEE SHEET C4.2 FOR DETAILS
 - DETAIL NUMBER
 - SHEET NUMBER
- PERMIT SET**
- 10052012 STREET IMPROVEMENT SUBMITTAL
 - 10992012 DESIGN DEVELOPMENT PRICING SET
 - 01052013 REGIONAL DEVELOPMENT FINAL SET
 - 02052013 SITE PERMIT RESUBMITTAL
 - 01052013 SWS CD SET
 - 01052013 SWS CD SET
 - 02052013 MAJOR EMPLOYMENT PERMIT
 - 01052013 SITE PERMIT ADDENDUM #1
 - 02052013 SITE PERMIT ADDENDUM #2
 - 04052013 SITE PERMIT ADDENDUM #3
 - 04052013 SWS CD SET
 - 04052013 BID ADDENDUM #1
 - 04052013 BID ADDENDUM #2
 - 01052013 SF WATER PERMIT
 - 01052013 SEWER WATER #1 REV.
 - 02052013 OAK STREET REDVISIONS
 - 04052014 GRADING CORRECTIONS
 - 01052014 SPRING COMMENTS REV.
 - 04052014 LAGUNA ST. REDVISIONS
 - 04052014 SPECIFIC COMMENTS REV.

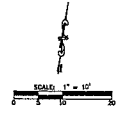
MATCHLINE SEE SHEET C1.2

Client:
AVALON BAY COMMUNITIES
455 MARKET STREET, SUITE 1650
SAN FRANCISCO, CA 94105

Job Number: 1018
Drawn by: EA
Checked by: KL
Date: SEPT. 18, 2014
Scale: AS SHOWN

Title:
GRADING PLAN WEST

Sheet:
C1.1





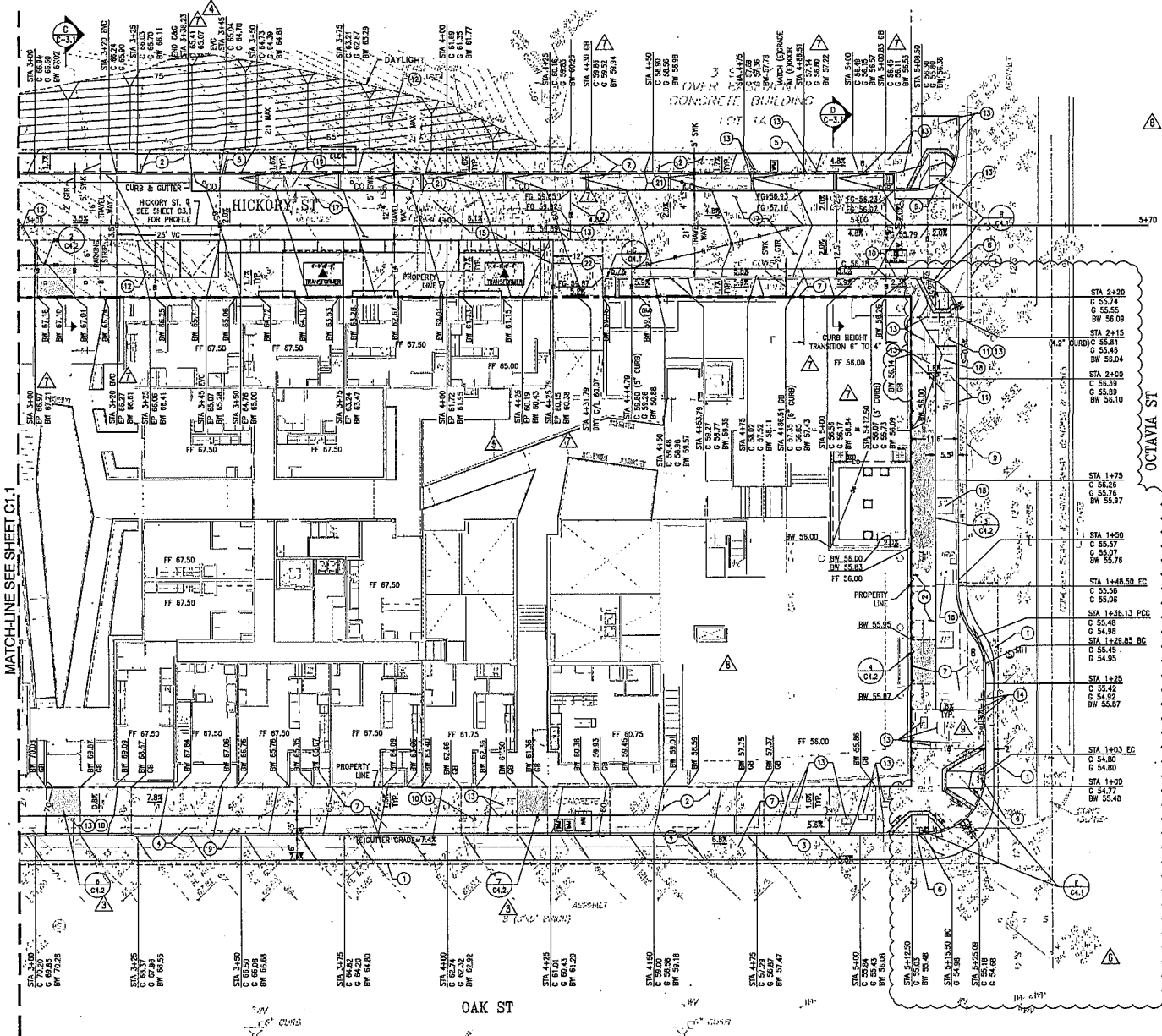
5 Frelson Street
San Francisco, California 94107
415.777.2100 p | 415.777.2107 f
www.ags.com

AVALON HAYES VALLEY PARCEL P

273-325 OGTAVIA STREET & 400 LACUNA STREET
SAN FRANCISCO, CA 94102
(BLOCK 0837/LOT 025)

- GRADING CONSTRUCTION NOTES:**
1. SAWCUT EXISTING PAVEMENT & CONFORM TO EXISTING GRADES.
 2. NEW CONCRETE SIDEWALK PER PROJECT LANDSCAPE PLAN & CITY STANDARD PLAN, FILE NUMBER 87,173.
 3. NEW "COMBINED 6-INCH CONCRETE CURB AND PARKING STRIP" PER CITY STANDARD PLAN, FILE NO. 87,170.
 4. NEW "COMBINED 6-INCH CONCRETE CURB AND GUTTER STRIP" PER CITY STANDARD PLAN, FILE NO. 87,170.
 5. NEW CONCRETE CURB, HEIGHT VARIES, PER CITY STANDARD PLAN, FILE NUMBERS 87,169 & 87,173.
 6. NEW CONCRETE CURB RAMP WITH DETECTABLE SURFACE. SEE RAMP DETAILS, SHEET C4.1, AND CITY STANDARD PLANS CR-1 & CR-2.
 7. REMOVE EXISTING SIDEWALK, CURB AND GUTTER/PARKING STRIP.
 8. REMOVE EXISTING SIDEWALK ONLY, EXISTING CURB TO REMAIN.
 9. REMOVE EXISTING DRIVEWAY AND GUTTER/PARKING STRIP.
 10. REMOVE EXISTING STREET SIGNS.
 11. REMOVE STREET SIGNS AND BOLLARDS WHILE CONSTRUCTING SIDEWALK AND RETURN TO ORIGINAL LOCATION AFTER CONSTRUCTION.
 12. REMOVE EXISTING TREE, SEE LANDSCAPE PLAN.
 13. PROTECT STREET LIGHTS, TRAFFIC SIGNAL BOXES/POLES, FIRE HYDRANTS, CLEANSOUTS, WATER VALVES, SEWER VENTS, AND MANHOLE COVERS IN PLACE. RISE AND COVERS OF EXISTING UTILITIES STRUCTURES TO BE ADJUSTED TO NEW GRADE. SEE UTILITY PLAN.
 14. RELOCATE EXISTING UTILITY STRUCTURE, SEE UTILITY PLAN.
 15. REMOVE EXISTING FENCE.
 16. EXISTING CONCRETE CURB TO REMAIN, PROTECT IN PLACE.
 17. REMOVE EXISTING PAVEMENT & BASE AND CONSTRUCT NEW CONCRETE ROADWAY. SEE LANDSCAPE PLANS FOR CONSTRUCTION OF HICKORY STREET PARCEL.
 18. EXISTING TREE TO REMAIN, PROTECT IN PLACE.
 19. CONCRETE BENCHES TO BE RELOCATED BY LOT 24 OWNER (CITY).
 20. REMOVE EXISTING WOOD STRUCTURE.
 21. NEW LANDSCAPE BIORETENTION FACILITY, PER PROJECT LANDSCAPE PLANS & DETAILS. SEE SHEET C3.2 FOR BIORETENTION FACILITY PROFILE.
 22. CENTER DRIVEWAY ON CENTER OF GARAGE OPENINGS. SEE ARCHITECTURAL PLANS FOR BUILDING ENTRANCE AND DRIVEWAY LOCATIONS.
 23. REMOVE ABANDONED MH. SEE UTILITY PLAN.
- GENERAL GRADING NOTES:**
1. STATIONING SHOWN IS CALCULATED ALONG THE PROPERTY LINE AND STARTS AT 1+00 AT THE PROPERTY CORNERS.
 2. IT IS THE CONTRACTOR'S RESPONSIBILITY TO REDUCE PEDESTRIAN AND VEHICULAR TRAFFIC AROUND THE CONSTRUCTION AREA.
 3. SEE LANDSCAPE DRAWINGS FOR FINISHED SURFACE DETAILS AND SPECIFICATIONS FOR SIDEWALK AND PAVING IN HICKORY STREET.

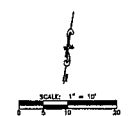
- LEGEND:**
- ACCESSIBLE ENTRANCE AREA, SEE SHEET C4.2 FOR DETAILS
 - DETAIL NUMBER
 - SHEET NUMBER



MATCH-LINE SEE SHEET C1.1

OAK ST

OCTAVIA ST

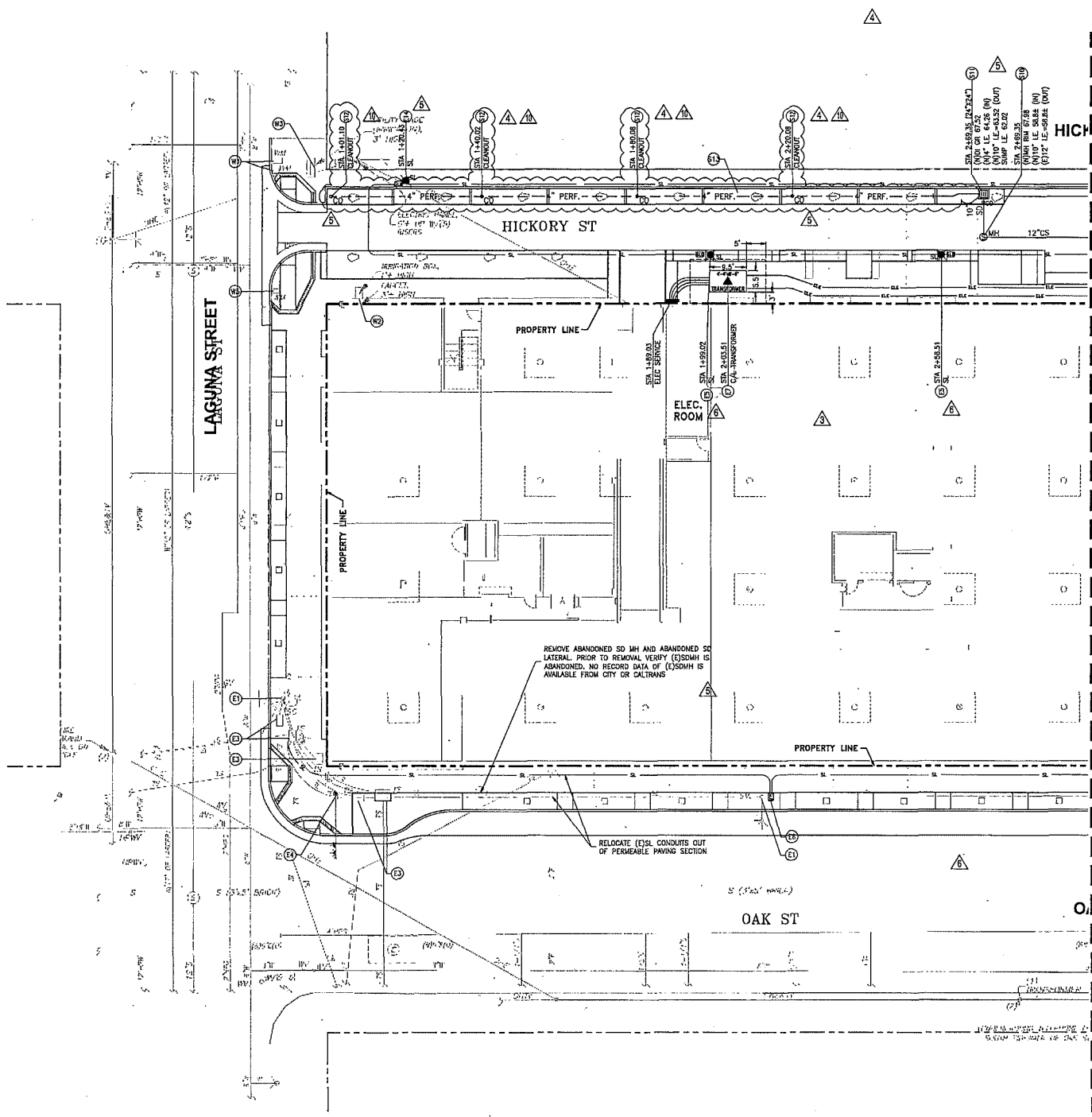


Client:
AVALON BAY COMMUNITIES
455 MARKET STREET, SUITE 1650
SAN FRANCISCO, CA 94105

Job Number: 1018
Drawn by: EA
Checked by: KL
Date: SEPT. 8, 2014
Scale: AS SHOWN

Title:
GRADING PLAN EAST

Sheet:
C1.2



UTILITY CONSTRUCTION NOTES:

- STORM, SANITARY, AND COMBINED SEWER**
- (51) EXISTING SEWER MANHOLE, ADJUST RIM TO NEW GRADE.
 - (52) NEW CITY OF SF STD (FILE NO. 87,168) STORM DRAIN CATCH BASIN. INSTALL ON (E)10" VOP SD LINE.
 - (53) NEW FRESH AIR VENT.
 - (54) NEW STORM DRAIN, SANITARY SEWER, OR COMBINED SEWER LATERAL AT MINIMUM 2% SLOPE. USE EXTRA STRENGTH VOP.
 - (55) CONNECT NEW STORM, SANITARY, OR COMBINED SEWER LINE/MANHOLE TO NEW SEWER LINE/MANHOLE.
 - (56) CONNECT NEW STORM, SANITARY, OR COMBINED SEWER LINE/MANHOLE TO EXISTING SEWER LINE/MANHOLE.
 - (57) EXISTING SEWER MANHOLE, ADJUST RIM TO NEW GRADE.
 - (58) RELOCATE EXISTING SEWER CLEANOUT INTO NEW SIDEWALK AND ADJUST TO NEW GRADE.
 - (59) EXISTING 10" VOP SEWER, PLUG & FILL TO ABANDON PER CITY STANDARD SPECIFICATIONS PART 3, SECTION 302.
 - (60) NEW CITY OF SF STD (FILE NO. 87,181) PRECAST CONCRETE MANHOLE.
 - (61) NEW CITY OF SF STD (FILE NO. LA-214) 2X2 CONCRETE CATCH BASIN/SAND TRAP W/CLEAN OUT, SEE DETAIL 1 ON SHEET C2.2.
 - (62) NEW CLEANOUT, SEE DETAIL 3 ON SHEET C2.2.
 - (63) NEW 4" SDR 40 PVC DOWNWARD FACING PERFORATED PIPE. PERFORATION SIZE AND SPACING PER AASHTO M278.
 - (64) NEW DRY WELL SYSTEM. SEE DETAILS ON SHEET C2.3.
- DOMESTIC FIRE AND IRRIGATION WATER**
- (W) EXISTING WATER VALVE OR METER, ADJUST COVER TO NEW GRADE.
 - (W2) EXISTING IRRIGATION BOX, TO BE REMOVED.
 - (W3) EXISTING IRRIGATION STRUCTURE, TO BE REMOVED/RELOCATED BY LOT 24 OWNER (CITY).
 - (W4) EXISTING WATER METER, TO BE RELOCATED BY SFWD. LINE FROM METER TO BUILDING TO BE CONNECTED BY CONTRACTOR.
 - (W5) EXISTING WATER METER, TO BE REMOVED BY SFWD.
 - (W6) CONNECT NEW WATER SERVICE LATERAL TO EXISTING 8" WATER LINE. WATER METER AND LINE FROM MAIN TO METER TO BE INSTALLED BY SFWD. LINE FROM METER TO BUILDING TO BE INSTALLED BY CONTRACTOR. SIZE AND CONFIGURATION OF WATER METERS TO BE SFWD.
 - (W7) EXISTING WATER VALVE & TWO 2" AIR RELEASE VALVES. COORDINATE RELOCATION WORK, SCOPE, AND FEES WITH SFWD. POSSIBILITY OF RELOCATION OF THESE FACILITIES TO BE DETERMINED BY SFWD.
 - (W8) NEW WATER SERVICE LINE. SEE PLUMBING PLANS.
 - (W9) NEW FIRE SERVICE LINE. SEE FIRE PROTECTION PLANS.
- ELECTRICAL**
- (E1) EXISTING STREET LIGHT TO REMAIN, PROTECT IN PLACE.
 - (E2) EXISTING TRAFFIC SIGNAL CAMERA RELOCATE AS NECESSARY. SEE STREET LIGHT WIRING PLANS SHEET T-1.
 - (E3) EXISTING UTILITY BOX, ADJUST COVER TO NEW GRADE.
 - (E4) EXISTING TRAFFIC SIGNAL POLE, TO REMAIN, PROTECT IN PLACE.
 - (E5) NEW STREET LIGHT AND PULLBOX. SEE STREET LIGHT WIRING PLANS SHEET T-1.
 - (E6) TIE-IN NEW STREET LIGHT CONDUITS TO EXISTING STREET LIGHT SYSTEM. SEE STREET LIGHT WIRING PLANS SHEET T-1.
 - (E7) NEW ELECTRICAL TRANSFORMER, 4"-6" X 8"-6".
 - (E8) NEW JOINT TRENCH. SEE JOINT TRENCH PLANS PLANS FOR DETAILS.
 - (E9) TELEPHONE SERVICE. SEE JOINT TRENCH PLANS FOR DETAILS. COORDINATE LOCATIONS OF BOXES, CONDUITS AND POC IN THE FIELD WITH UTILITY SERVICE PROVIDERS.
 - (E10) CAVY SERVICE. SEE JOINT TRENCH PLANS FOR DETAILS.
 - (E11) EXISTING TRAFFIC SIGNAL BOX, RELOCATE AS SHOWN. SEE STREET LIGHT WIRING PLANS SHEET T-1.
 - (E12) EXISTING UNKNOWN CABINET AND BOLLARDS TO REMAIN, PROTECT IN PLACE.
 - (E13) NEW STREET LIGHT AND PULLBOX. SEE STREET LIGHT WIRING PLANS SHEET T-1, AND DETAIL 1 ON L4.05.
- GAS**
- (G1) CONNECT NEW GAS SERVICE TO EXISTING 6" HIGH PRESSURE GAS LINE. SEE JOINT TRENCH PLANS.
 - (G2) EXISTING GAS VALVE, ADJUST COVER TO NEW GRADE.

MATCH-LINE SEE SHEET C2.2

AVALON HAYES VALLEY PARCEL P

923-375 OCTAVIA STREET & 400 LAGUNA STREET
 SAN FRANCISCO, CA 94102
 (BLOCK 0851/LOT 023)

SITE PERMIT SET	1002202
STREET IMPROVEMENT SUBMITTAL	11002202
REGIONAL DEVELOPMENT PERMITS SET	11002202
REGIONAL DEVELOPMENT FINAL SET	01002203
SITE PERMIT RESUBMITTAL	01002203
NOV CO SET	01002203
3/4" MAX SAND/GRANULE PERMIT	01002203
SITE PERMIT ADDENDUM #1	01002203
SITE PERMIT ADDENDUM #2	01002203
SITE PERMIT ADDENDUM #3	01002203
COPY BOOK SET	01002203
SD ADDENDUM #1	02022015
CIVIL ADDRESS	02022015
SEWER PERMIT	03022015
SEWER, WATER, & JT REV.	03022015
QAV STREET REDSIGNS	03042014
GRADING CORRECTIONS	04022014
SEWER COORDINATE FILE	07022014
LAGUNA ST. REVSIGNS	09022014
3D/2D COMMENTS REV.	09022014

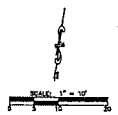
Client:
AVALON BAY COMMUNITIES
 455 MARKET STREET, SUITE 1600
 SAN FRANCISCO, CA 94105

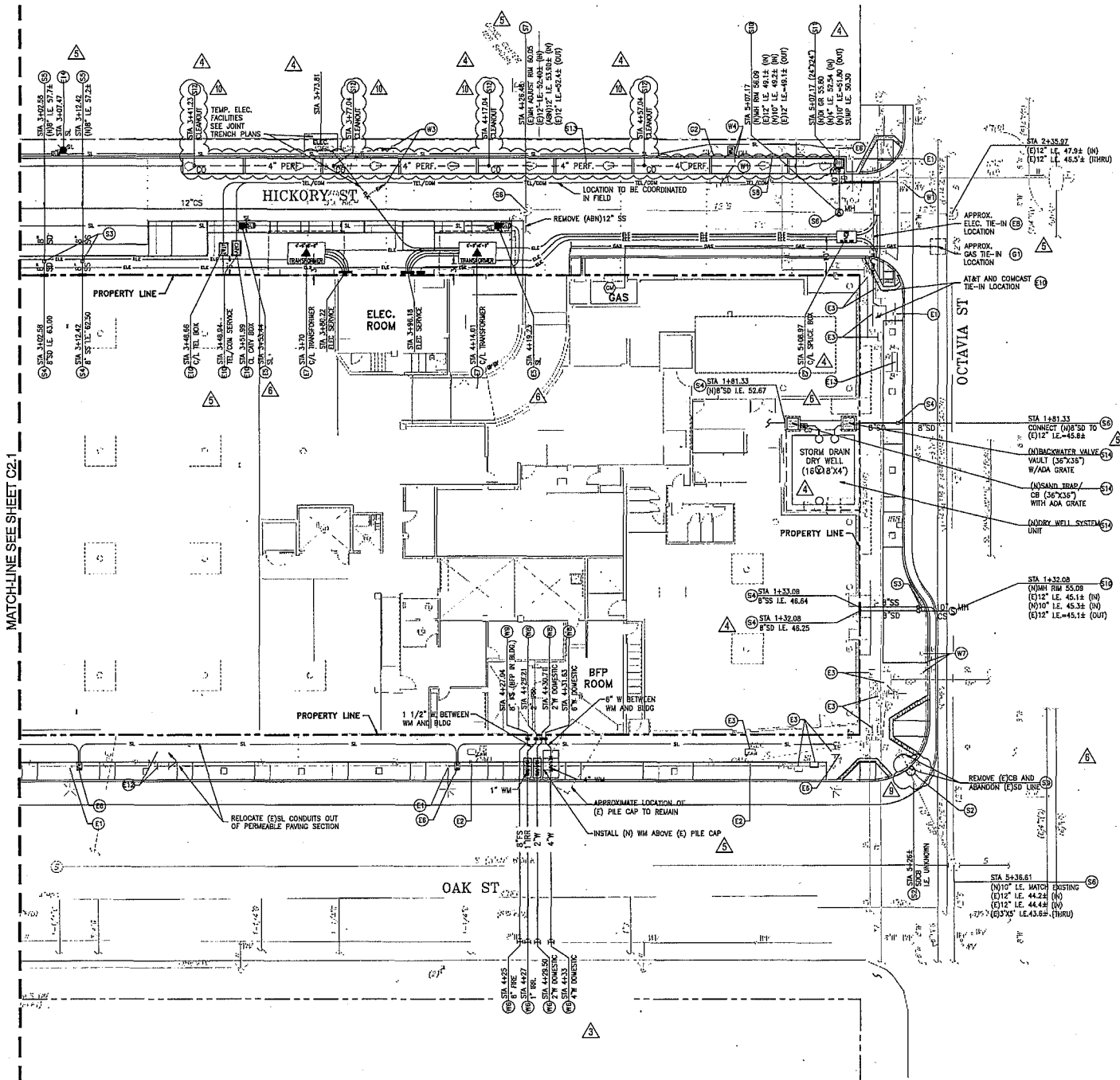
Job Number: 1018
 Drawn by: EA
 Checked by: KL
 Title: SEPT. 8, 2014
 Scale: AS SHOWN

Title:
UTILITY PLAN WEST

Sheet

C2.1





MATCH LINE SEE SHEET C2.1

UTILITY CONSTRUCTION NOTES:

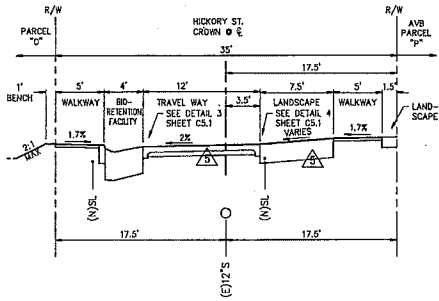
- STORM, SANITARY, AND COMBINED SEWER**
- (1) EXISTING SEWER MANHOLE, ADJUST RIM TO NEW GRADE.
 - (2) NEW CITY OF SF STD (FILE NO. 87,188) STORM DRAIN CATCH BASIN, INSTALL ON (E)10" VCP SD LINE.
 - (3) NEW FRESH AIR VENT.
 - (4) NEW STORM DRAIN, SANITARY SEWER, OR COMBINED SEWER LATERAL AT MINIMUM 2% SLOPE. USE EXTRA STRENGTH VCP.
 - (5) CONNECT NEW STORM, SANITARY, OR COMBINED SEWER LINE/MAHONE TO NEW SEWER LINE/MAHNE/LOC.
 - (6) CONNECT NEW STORM, SANITARY, OR COMBINED SEWER LINE/MAHONE TO EXISTING SEWER LINE/MAHNE/LOC.
 - (7) EXISTING SEWER MANHOLE, ADJUST RIM TO NEW GRADE.
 - (8) RELOCATE EXISTING SEWER CLEANOUT INTO NEW SIDEWALK AND ADJUST TO NEW GRADE.
 - (9) EXISTING 10" VCP SEWER, PLUG & FILL TO ABANDON PER CITY STANDARD SPECIFICATIONS PART 3, SECTION 302.
 - (10) NEW CITY OF SF STD (FILE NO. 87,181) PRECAST CONCRETE MANHOLE.
 - (11) NEW CITY OF SF STD (FILE NO. LA-214) 2X2 CONCRETE CATCH BASIN/SAND TRAP W/CLEAN OUT. SEE DETAIL 1 ON SHEET C5.2.
 - (12) NEW CLEANOUT, SEE DETAIL 3 ON SHEET C5.2.
 - (13) NEW 4" SCH. 40 PVC DOWNWARD FACING PERFORATED PIPE PERFORATION SIZE AND SPACING PER MASHOT M27B.
 - (14) NEW DRY WELL SYSTEM, SEE DETAILS ON SHEET C5.3.
 - (15) DOMESTIC FIRE AND IRRIGATION WATER.
 - (16) EXISTING WATER VALVE OR METER, ADJUST COVER TO NEW GRADE.
 - (17) EXISTING IRRIGATION BOX, TO BE REMOVED.
 - (18) EXISTING IRRIGATION STRUCTURE, TO BE REMOVED/RELOCATED BY LOT 24 OWNER (CITY).
 - (19) EXISTING WATER METER, TO BE RELOCATED BY SFWD. LINE FROM METER TO BUILDING TO BE CONNECTED BY CONTRACTOR.
 - (20) EXISTING WATER METER, TO BE REMOVED BY SFWD.
 - (21) CONNECT NEW WATER SERVICE LATERAL TO EXISTING 8" WATER LINE, WATER METER AND LINE FROM MAIN TO METER TO BE INSTALLED BY CONTRACTOR. SIZE AND CONFIGURATION OF WATER METERS TO BE SFWD.
 - (22) EXISTING WATER VALVE & TWO 2" AIR RELEASE VALVES. COORDINATE RELOCATION WORK, SCOPE, AND FEES WITH SFWD. POSSIBILITY OF RELOCATION OF THESE FACILITIES TO BE DETERMINED BY SFWD.
 - (23) NEW WATER SERVICE LINE. SEE PLUMBING PLANS.
 - (24) NEW FIRE SERVICE LINE. SEE FIRE PROTECTION PLANS.
- ELECTRICAL**
- (25) EXISTING STREET LIGHT TO REMAIN, PROTECT IN PLACE.
 - (26) EXISTING TRAFFIC SIGNAL CAMERA RELOCATE AS NECESSARY, SEE STREET LIGHT WIRING PLANS SHEET T-1.
 - (27) EXISTING UTILITY BOX, ADJUST COVER TO NEW GRADE.
 - (28) EXISTING TRAFFIC SIGNAL POLE, TO REMAIN, PROTECT IN PLACE.
 - (29) NEW STREET LIGHT AND PULLBOX, SEE STREET LIGHT WIRING PLANS SHEET T-1.
 - (30) TIE-IN NEW STREET LIGHT CONDUITS TO EXISTING STREET LIGHT SYSTEM. SEE STREET LIGHT WIRING PLANS SHEET T-1.
 - (31) NEW ELECTRICAL TRANSFORMER, 4"-6" X 8"-6".
 - (32) NEW JOINT TRENCH, SEE JOINT TRENCH PLANS FOR DETAILS.
 - (33) TELEPHONE SERVICE. SEE JOINT TRENCH PLANS FOR DETAILS. COORDINATE LOCATIONS OF BOXES, CONDUITS AND POC IN THE FIELD WITH UTILITY SERVICE PROVIDERS.
 - (34) CITY SERVICE. SEE JOINT TRENCH PLANS FOR DETAILS.
 - (35) EXISTING TRAFFIC SIGNAL BOX, RELOCATE AS SHOWN, SEE STREET LIGHT WIRING PLANS SHEET T-1.
 - (36) EXISTING UNKNOWN CABINET AND BOLLARDS TO REMAIN, PROTECT IN PLACE.
 - (37) NEW STREET LIGHT AND PULLBOX, SEE STREET LIGHT WIRING PLANS SHEET T-1, AND DETAIL 1 ON L4.05.
- GAS**
- (38) CONNECT NEW GAS SERVICE TO EXISTING 6" HIGH PRESSURE GAS LINE. SEE JOINT TRENCH PLANS.
 - (39) EXISTING GAS VALVE, ADJUST COVER TO NEW GRADE.

AVALON HAYES VALLEY PARCEL P
 323-325 OCTAVIA STREET & 400 LAGUNA STREET
 SAN FRANCISCO, CA 94107
 (BLOCK 083 / LOT 023)

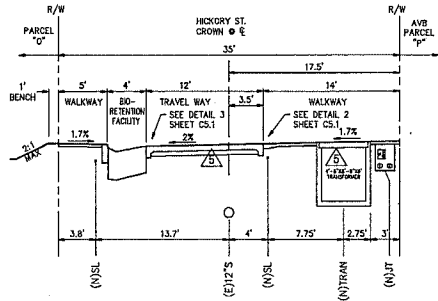
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11/02/12	STREET IMPROVEMENT SUBMITTAL	11/02/12	▲
01/15/13	DESIGN DEVELOPMENT FINAL SET	01/15/13	▲
03/20/13	SITE PERMIT RESUBMITTAL	03/20/13	▲
03/20/13	8X8 CO SET	03/20/13	▲
03/20/13	MAJOR ENCROACHMENT PERMIT	03/20/13	▲
03/20/13	SITE PERMIT ADDENDUM #1	03/20/13	▲
03/20/13	SITE PERMIT ADDENDUM #2	03/20/13	▲
04/01/13	SITE PERMIT ADDENDUM #3	04/01/13	▲
04/01/13	CHP/8X8 CO SET	04/01/13	▲
04/29/13	28" ADDENDUM #1	04/29/13	▲
06/20/13	CIVIL ADDENDUM #4	06/20/13	▲
07/02/13	SF WATER PERMIT	07/02/13	▲
08/06/13	SEWER WATER JT FREL	08/06/13	▲
08/19/13	OAK STREET REVISIONS	08/19/13	▲
08/26/13	GRADING CORRECTIONS	08/26/13	▲
08/26/13	8" PPOV COMMENTS REV.	08/26/13	▲
09/02/13	LADUNA ST. REVISIONS	09/02/13	▲
09/02/13	STREET COMMENTS REV.	09/02/13	▲

Client: **AVALON BAY COMMUNITIES**
 455 MARKET STREET, SUITE 1900
 SAN FRANCISCO, CA 94105

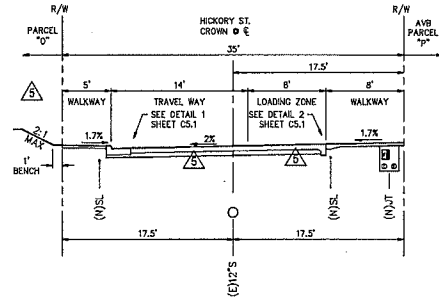
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 Owner: SB
 Checked by: KE
 Date: SEPT. 8, 2014
 Scale: AS SHOWN



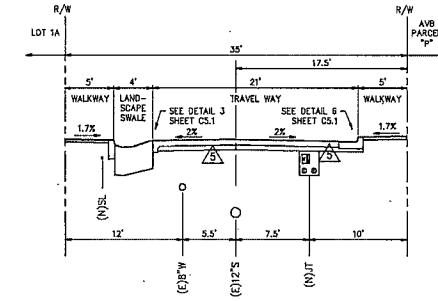
SECTION A-A
 NTS



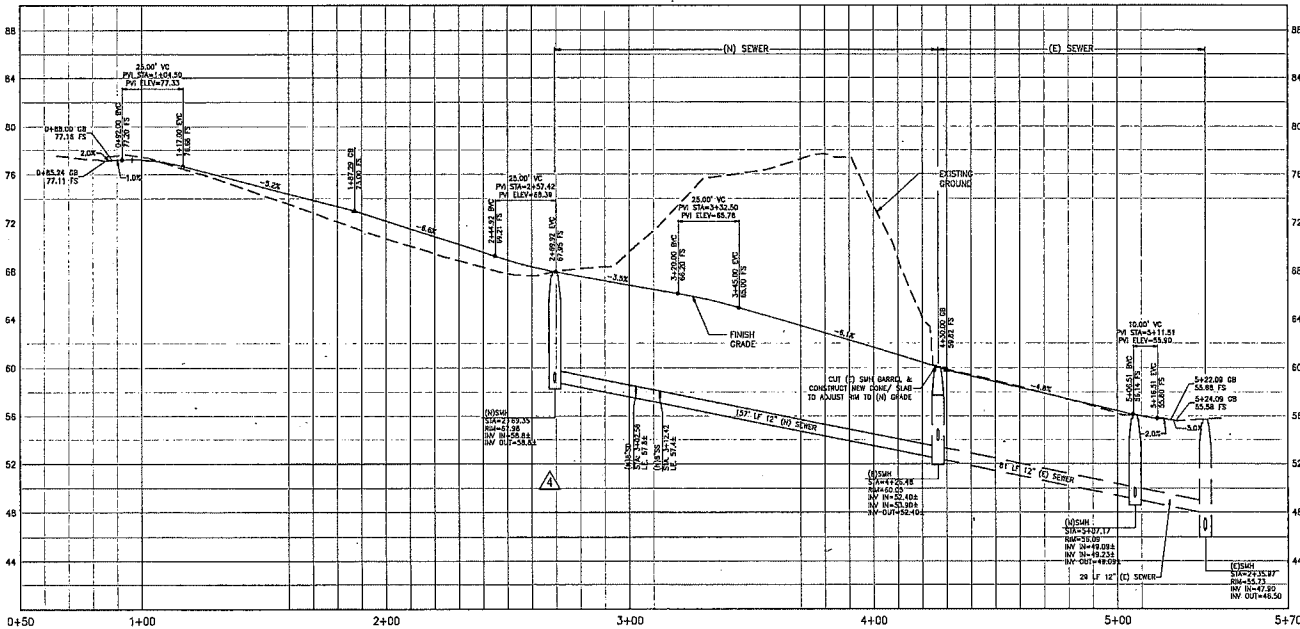
SECTION B-B
 NTS



SECTION C-C
 NTS



SECTION D-D
 NTS



PROFILE
 SCALE: 1"=20' H; 1"=4' V

UTILITY CONSTRUCTION NOTES:

STORM, SANITARY, AND COMBINED SEWER

- (S1) INVERTS AND RIMS OF EXISTING MANHOLES AND 12" ISP NOT FOUND IN FIELD BASED ON RECORDS DATA. CONTRACTOR TO VERIFY INVERTS AND PIPE AND MANHOLE CONDITIONS PRIOR TO CONSTRUCTION.
- (S2) UNPLUG ABANDONED 12" ISP AND REPLACE AS NEEDED.

AVALON HAYES VALLEY PARCEL P
 223-125 OCTAVIA STREET & 400 LAGUNA STREET
 SAN FRANCISCO, CA 94107
 (BLOCK 0853/LOT 023)

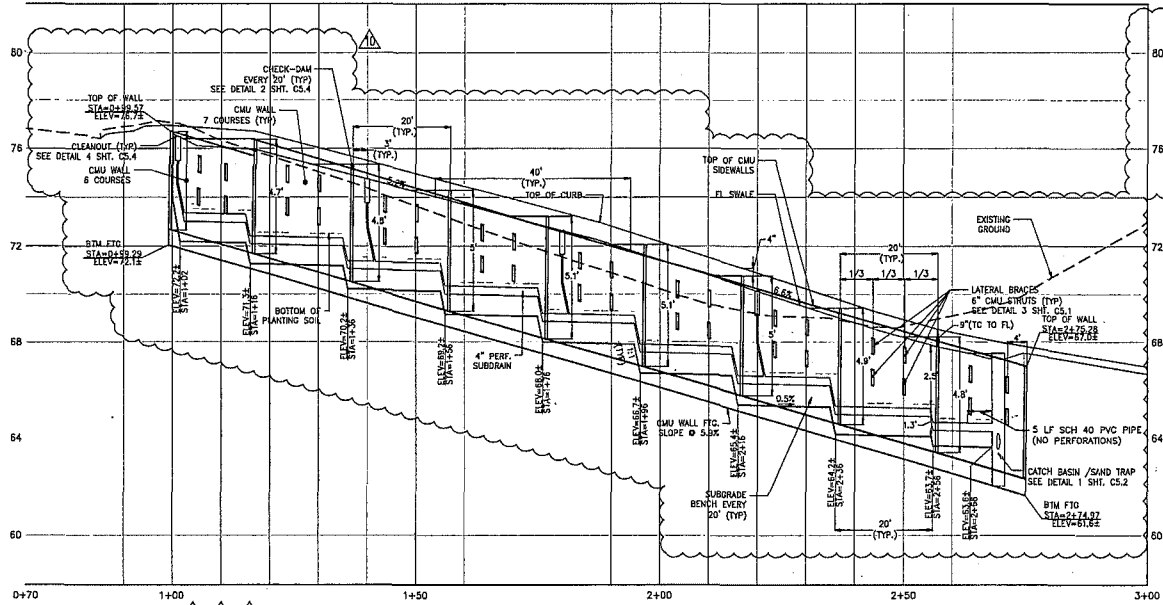
SITE PERMIT SET	1/03/2012
STREET IMPROVEMENT SUBMITTAL	1/10/2012
DESIGN DEVELOPMENT PRELIM SET	1/10/2012
DESIGN DEVELOPMENT FINAL SET	01/29/2013
SITE PERMIT SUBMITTAL	01/29/2013
10% CD SET	01/29/2013
MAJOR ENFORCEMENT PERMIT	01/29/2013
SITE PERMIT ADDENDUM #1	03/05/2013
SITE PERMIT ADDENDUM #2	02/25/2013
SITE PERMIT ADDENDUM #3	04/01/2013
CDP / 10% CD SET	04/18/2013
NO ADDENDUM #1	04/29/2013
CDP ADDENDUM	04/29/2013
CDP ADDENDUM #1	01/15/2013
SEWER, WATER, & IT REV.	09/26/2013
OAK STREET REVISIONS	04/24/2014
GRADING CORRECTIONS	04/08/2014
SEWER CHANGES REV.	01/07/2014
LAGUNA ST. REVISIONS	09/27/2014
SPURC COMMENTS REV.	09/26/2014

Client:
AVALON BAY COMMUNITIES
 455 MARKET STREET, SUITE 1650
 SAN FRANCISCO, CA 94105

Job Number: 1018
 Drawn by: EA
 Checked by: KL
 Date: SEPT. 8, 2014
 Scale: AS SHOWN

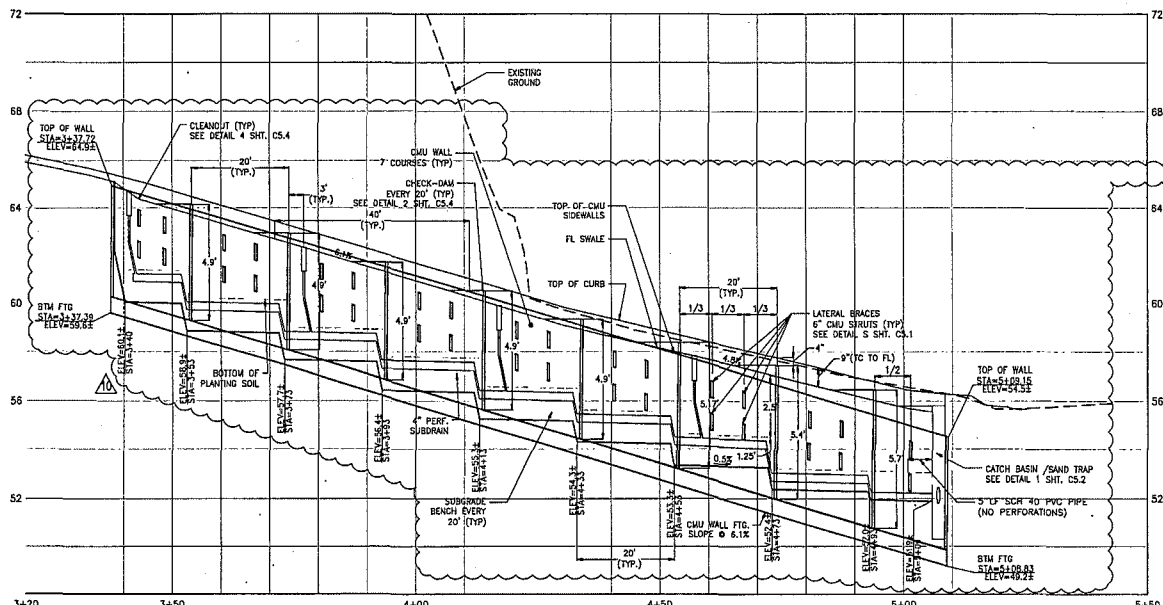
Title:
HICKORY STREET PROFILE

Sheet



CHECK DAM WALL HEIGHT (CMU + CURB WALL)				
STA @ CL WALL	TC @ WALL	TOP OF WALL	BTM OF WALL	WALL HEIGHT
1+17	76.71	76.38	71.69	4.69
1+37	75.67	75.34	70.50	4.84
1+57	74.62	74.29	69.32	4.97
1+77	73.58	73.25	68.13	5.12
1+97	72.40	72.07	66.95	5.12
2+17	71.38	70.75	65.76	4.99
2+37	69.77	69.44	64.57	4.87
2+57	68.55	68.22	63.39	4.83

BIO-RETENTION FACILITY SUBGRADE PROFILE - WEST (1)
SCALE: SCALE: 1"=10' H: 1"=2' V



CHECK DAM WALL HEIGHT (CMU + CURB WALL)				
STA @ CL WALL	TC @ WALL	TOP OF WALL	BTM OF WALL	WALL HEIGHT
3+54	64.49	64.16	59.28	4.88
3+74	63.27	62.94	58.07	4.87
3+94	62.05	61.72	56.85	4.87
4+14	60.83	60.50	55.63	4.87
4+34	59.66	59.33	54.42	4.91
4+54	58.70	58.37	53.20	5.17
4+74	57.74	57.41	51.99	5.42
4+94	56.78	56.45	50.77	5.68

BIO-RETENTION FACILITY SUBGRADE PROFILE - EAST (2)
SCALE: SCALE: 1"=10' H: 1"=2' V

AVALON HAYES VALLEY PARCEL P
 323-325 OCTAVIA STREET & 400 LAGUNA STREET
 SAN FRANCISCO, CA 94110
 (BLOCK 0837/LOT 023)

- 11/23/2012 SITE PRINT SET
- 11/29/2012 STREET IMPROVEMENT SUBMITTAL
- 11/29/2012 DESIGN DEVELOPMENT PRICING SET
- 01/12/2013 DESIGN DEVELOPMENT FINAL SET
- 01/29/2013 SITE PERMIT FOR PERMITS/UTILITY
- 03/19/2013 8% CD SET
- 03/19/2013 MAJOR ENCROACHMENT PERMIT
- 03/19/2013 SITE PERMIT ADDENDUM #1
- 04/09/2013 SITE PERMIT ADDENDUM #2
- 06/10/2013 GMP 10% CD SET
- 06/10/2013 BID ADDENDUM #1
- 06/20/2013 CIVIL ADDENDUM #1
- 06/20/2013 SF WATER PERMIT
- 07/18/2013 SEWER, WATER & JT REVISIONS
- 07/18/2013 GROUND CONNECTIONS
- 07/18/2013 SFDP COMMENTS REV.
- 08/01/2013 LAGUNA ST. REVISIONS
- 08/01/2013 SFDP COMMENTS REV.



Client:
AVALON BAY COMMUNITIES
455 MARKET STREET, SUITE 1650
SAN FRANCISCO, CA 94105

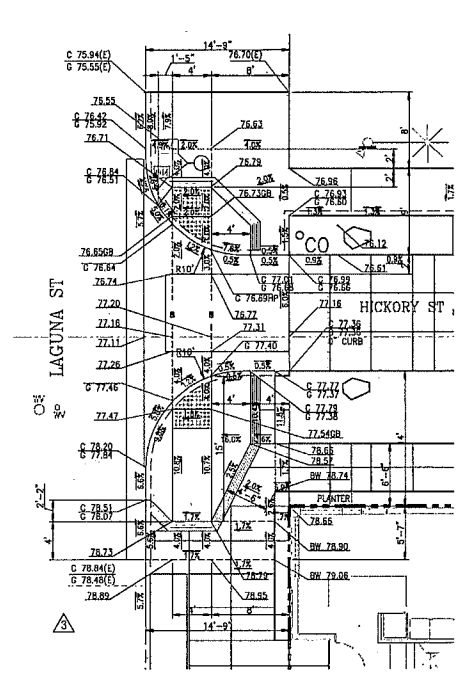
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Drawn by: BA
Checked by: KL
Date: SEPT. 8, 2014
Scale: AS SHOWN

Title:
BIO-RETENTION FACILITY PROFILES

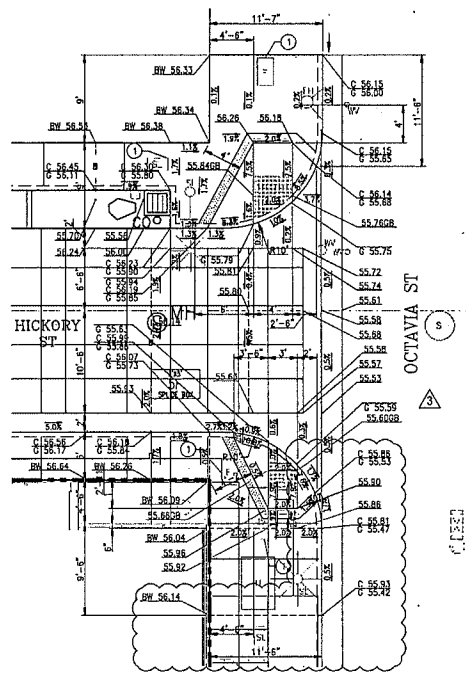
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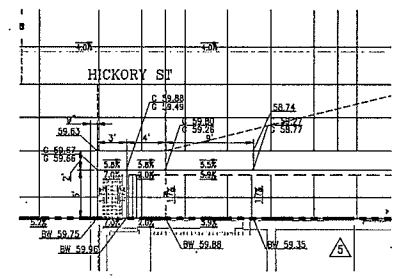
NOTE:
 ① RESET UTILITY BOXES TO NEW GRADE



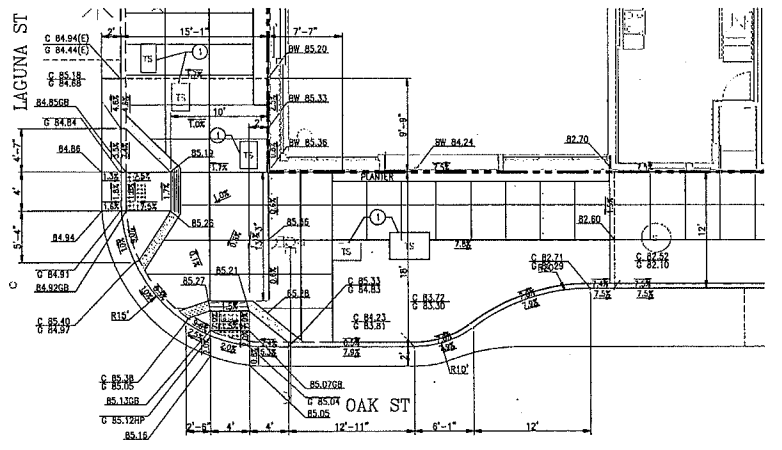
CURB RAMP DETAIL
 HICKORY ST & LAGUNA ST
 SCALE: 1"=5'



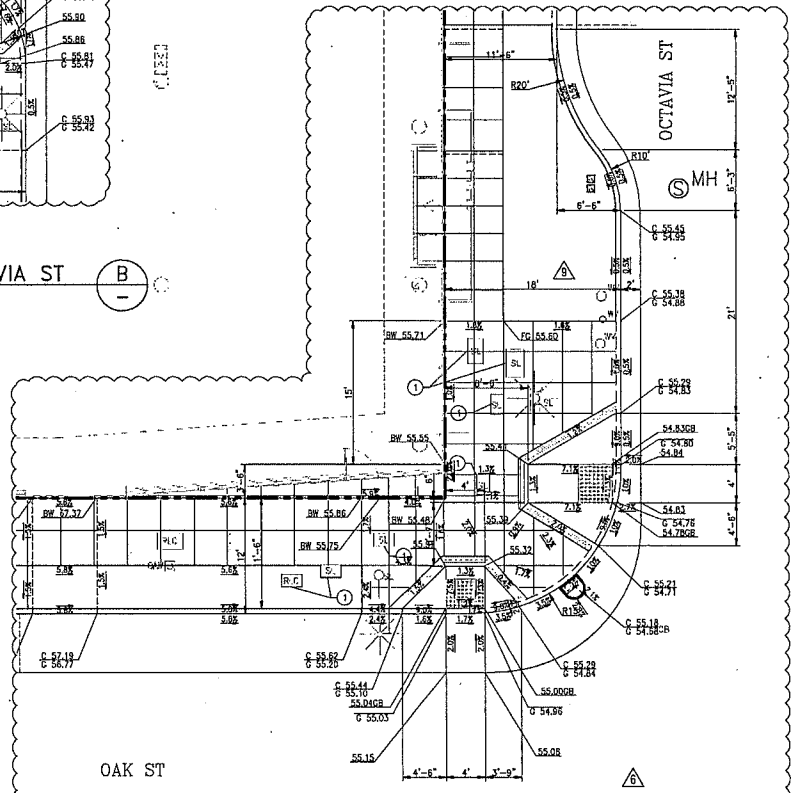
CURB RAMP DETAIL
 HICKORY ST & OCTAVIA ST
 SCALE: 1"=5'



CURB RAMP DETAIL
 HICKORY ST
 SCALE: 1"=5'



CURB RAMP DETAIL
 OAK ST & LAGUNA ST
 SCALE: 1"=5'



CURB RAMP DETAIL
 OAK ST & OCTAVIA ST
 SCALE: 1"=5'

222-22 OCTAVIA STREET & 400 LAGUNA STREET
 SAN FRANCISCO, CA 94107
 (BLOOMINGDALE/LOT #123)
AVALON HAYES VALLEY PARCEL P

- SITE PERMIT SET 10/30/2012
 STREET IMPROVEMENT SUBMITTAL 1/10/2012
 DESIGN DEVELOPMENT PRELIM SET 1/10/2012
 DESIGN DEVELOPMENT FINAL SET 8/10/2013
 SITE PERMIT REDESIGN/UTL 8/10/2013
 50% CD SET 8/10/2013
 75% ENCROACHMENT PERMIT 8/10/2013
 SITE PERMIT ADDENDUM #1 8/10/2013
 SITE PERMIT ADDENDUM #2 8/10/2013
 SITE PERMIT ADDENDUM #3 8/10/2013
 OIP 10% CD SET 8/10/2013
 BID ADDENDUM #1 8/10/2013
 CIVIL ADDENDUM 8/10/2013
 SF WATER PERMIT 8/10/2013
 GENERAL WATER & JT REV. 8/10/2013
 OAK STREET REVISIONS 8/10/2014
 SHADING CORRECTIONS 8/10/2014
 SET/OP COMMENTS REV. 8/10/2014
 LAGUNA ST. REVISIONS 8/10/2014
 SPP/C COMMENTS REV. 8/10/2014



Client:
 AVALON BAY COMMUNITIES
 455 MARKET STREET, SUITE 1550
 SAN FRANCISCO, CA 94105

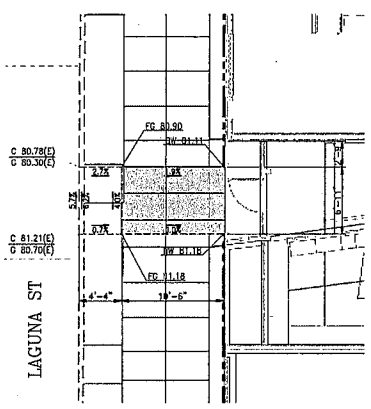
Job Number: 1018
 Drawn by: EA
 Checked by: RL
 Date: SEPT. 8, 2014
 Scale: AS SHOWN

Title:
 CURB RAMP DETAILS

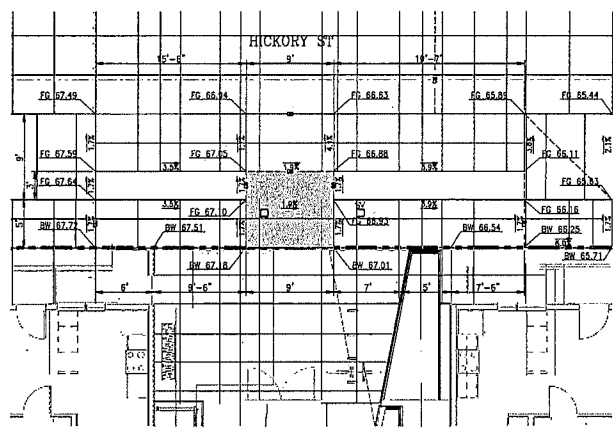
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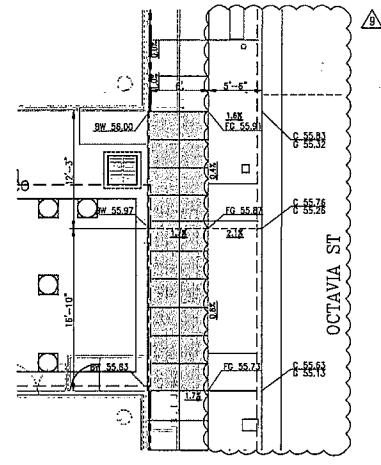
AVALON HAYES VALLEY PARCEL P
 223-225 OCTAVIA STREET & 400 JAGUNASTREEI
 SAN FRANCISCO, CA 94107
 (BLOCK 0033/LOT 023)



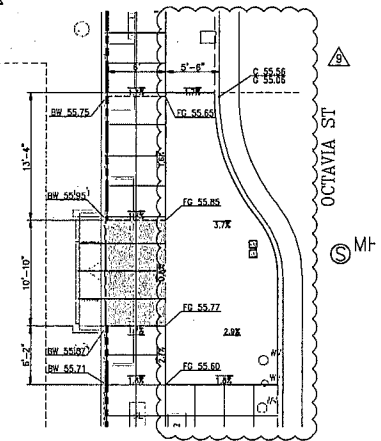
ACCESSIBLE ENTRANCE DETAIL ①
 SCALE: 1"=5'



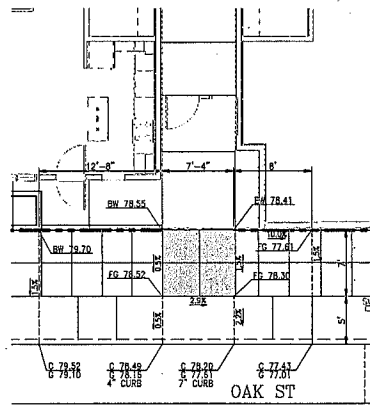
ACCESSIBLE ENTRANCE DETAIL ②
 SCALE: 1"=5'



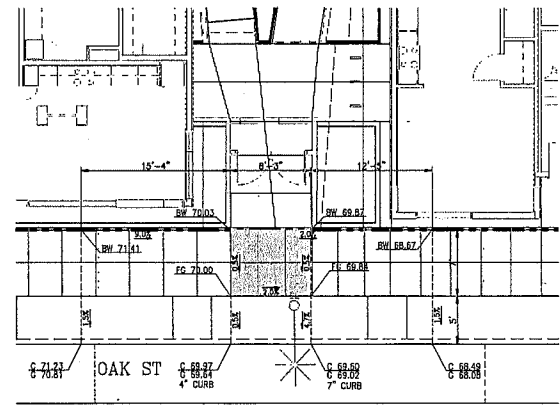
ACCESSIBLE ENTRANCE DETAIL ③
 SCALE: 1"=5'



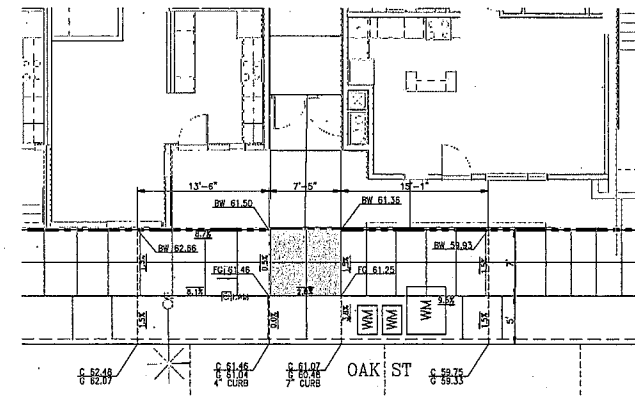
ACCESSIBLE ENTRANCE DETAIL ④
 SCALE: 1"=5'



ACCESSIBLE ENTRANCE DETAIL ⑤
 SCALE: 1"=5'



ACCESSIBLE ENTRANCE DETAIL ⑥
 SCALE: 1"=5'



ACCESSIBLE ENTRANCE DETAIL ⑦
 SCALE: 1"=5'

LEGEND:
 ACCESSIBLE ENTRANCE AREA

- △ SITE PERMIT SET 10/20/14
- △ STREET IMPROVEMENT SUBMITTAL 11/10/12
- △ DESIGN DEVELOPMENT PERMITS SET 01/10/13
- △ SITE PERMIT RESUBMITTAL 01/20/13
- △ 50% CD SET 02/15/13
- △ MAJOR ENCROACHMENT PERMIT 03/15/13
- △ SITE PERMIT ADDENDUM #1 03/15/13
- △ SITE PERMIT ADDENDUM #2 02/20/13
- △ SITE PERMIT ADDENDUM #3 04/10/13
- △ GMP PWA CD SET 04/18/13
- △ BE ADDENDUM #1 04/22/13
- △ CMA ADDENDUM 05/20/13
- △ SF WATER PERMIT 07/18/13
- △ SEWER, WATER, & JT TRK. 06/20/13
- △ CMA STREET REDUCING 02/20/14
- △ GRADING CORRECTIONS 04/06/14
- △ SFOW COMMENTS REV. 07/18/14
- △ LAGUNA ST. REVIEWS 06/02/14
- △ SFOW COMMENTS REV. 10/20/14

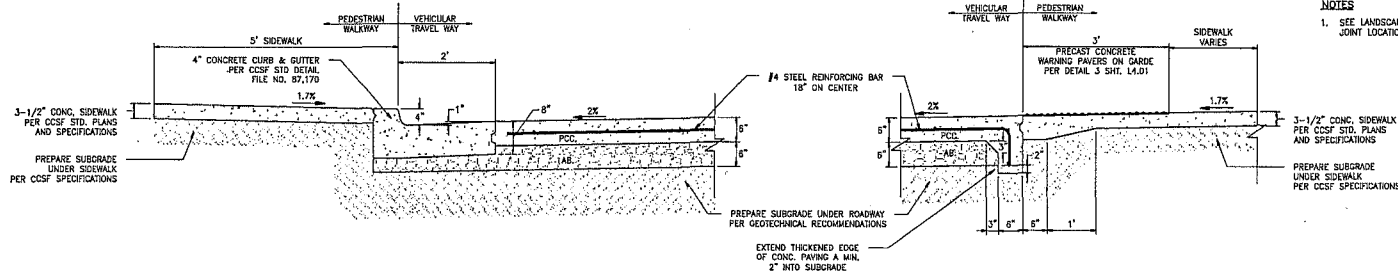
Client:
AVALON BAY COMMUNITIES
 455 MARKET STREET, SUITE 1550
 SAN FRANCISCO, CA 94102

Job Number: 1018
 Drawn by: EA
 Checked by: XL
 Date: SEPT. 8, 2014
 Scale: AS SHOWN

Title:
 ACCESSIBLE ENTRANCE DETAILS

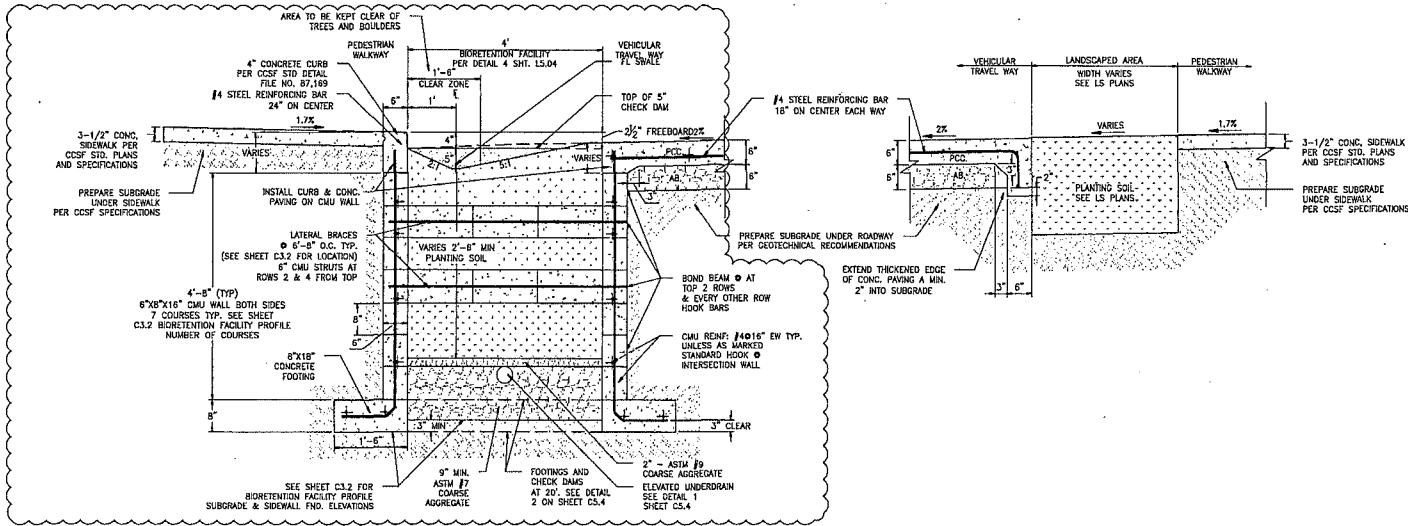
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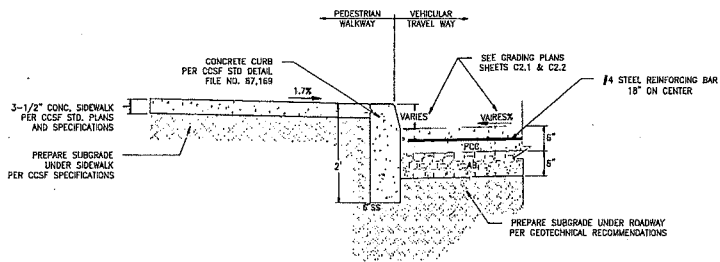
AT WARNING BAND - NORTH SIDE
 SCALE: NOT TO SCALE

AT WARNING BAND - SOUTH SIDE
 SCALE: NOT TO SCALE

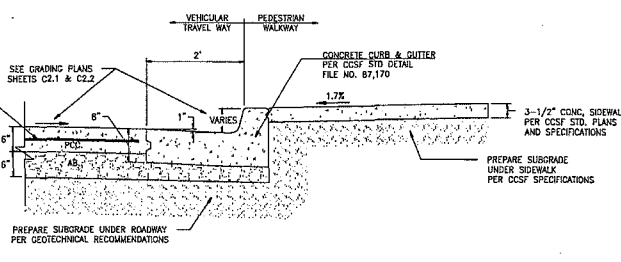


AT BIORETENTION FACILITY
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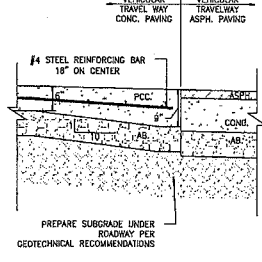
AT LANDSCAPED AREAS
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AT VERTICAL CURB
 SCALE: NOT TO SCALE



AT CURB & GUTTER
 SCALE: NOT TO SCALE



AT EDGE CONDITION
 SCALE: NOT TO SCALE

NOTES
 1. SEE LANDSCAPE DRAWINGS FOR PAVEMENT FINISH AND CONTRACTION JOINT LOCATIONS.

AVALON HAYES VALLEY PARCEL P
 323-325 OCTAVIA STREET & 400 LAGUNA STREET
 SAN FRANCISCO, CA 94102
 (BLOCK 083 | LOT 073)

SITE PERMIT SET	10/30/10
STREET IMPROVEMENT SUBMITTAL	11/07/10
DESIGN DEVELOPMENT PRICING SET	10/29/10
DESIGN DEVELOPMENT FINAL SET	01/05/11
SITE PERMIT RESUBMITTAL	01/28/11
80% CD SET	03/16/11
HALF BENCHMARK PERMIT	03/16/11
SITE PERMIT ADDENDUM #1	03/16/11
SITE PERMIT ADDENDUM #2	03/22/11
SITE PERMIT ADDENDUM #3	04/06/11
CDU 10% CD SET	04/06/11
80% ADDENDUM #1	04/06/11
CIVIL ADDENDUM	06/28/11
SP WATER PERMIT	07/19/11
SEWER WATER & ST REV.	08/02/11
GM STREET REVISIONS	07/24/11
GRADING CORRECTIONS	04/06/11
SPW COMMENTS REV.	07/06/11
LAGUNA ST. REVISIONS	08/09/11
SPW COMMENTS REV.	08/24/11



Client:
AVALON BAY COMMUNITIES
 455 MARKET STREET, SUITE 1650
 SAN FRANCISCO, CA 94105

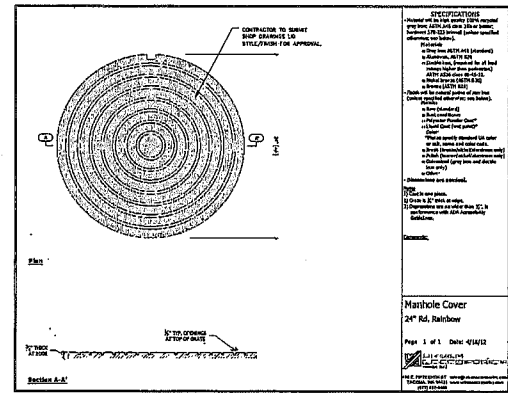
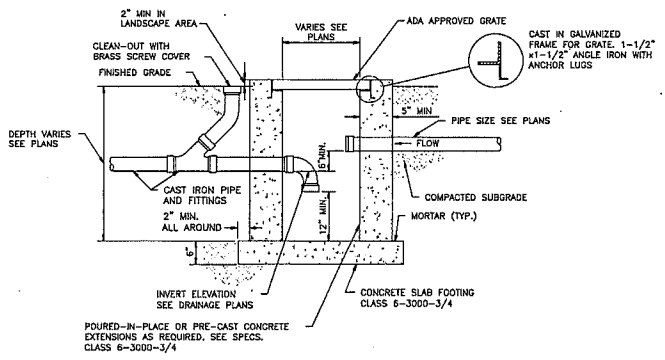
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 Date: SEPT. 9, 2014
 Scale: AS SHOWN

Title:
CONSTRUCTION DETAILS
 HICKORY STREET SECTIONS

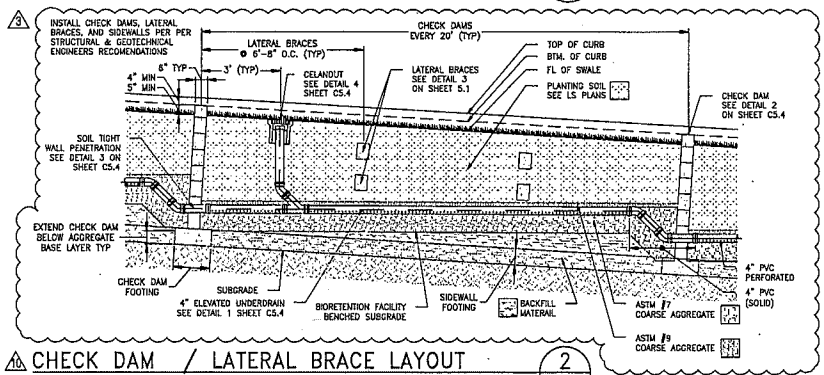
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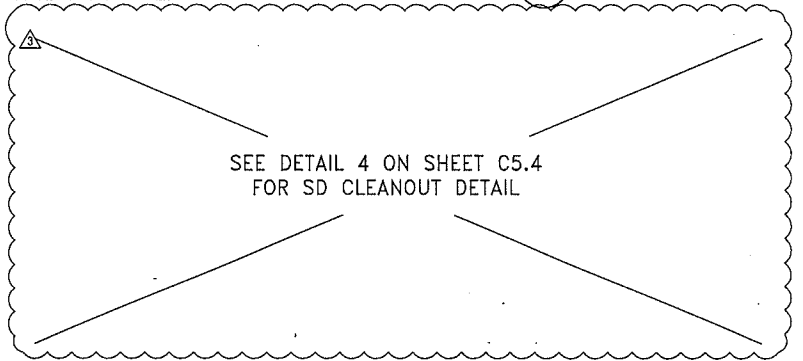




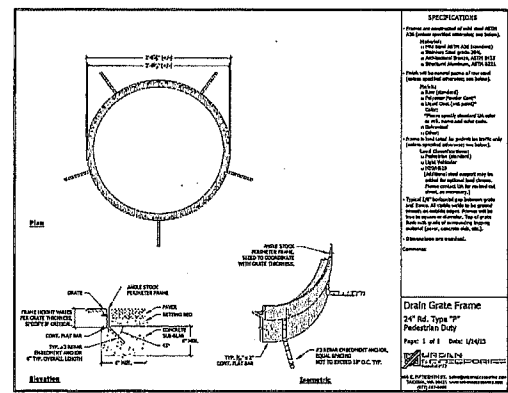
CATCH BASIN / SAND TRAP WITH CLEANOUT
SCALE: NOT TO SCALE



CHECK DAM / LATERAL BRACE LAYOUT
SCALE: NOT TO SCALE



STORM DRAIN CLEANOUT
SCALE: NOT TO SCALE



DRYWELL ACCESS COVER DETAIL
SCALE: NOT TO SCALE



AGS
5 Fresno Street
San Francisco, California 94107
415.777.2168 p | 415.777.2167 f
www.agsinc.com

AVALON HAYES VALLEY PARCEL P

525-525 OCTAVIA STREET & 400 LAGUNA STREET
SAN FRANCISCO, CA 941102
(BLOCK 0837/LOT 023)

SITE PERMIT SET	05/20/12
STREET IMPROVEMENT SUBMITTAL	10/10/12
DESIGN DEVELOPMENT PERM SET	12/20/12
DESIGN DEVELOPMENT PERM SET	01/10/13
SITE PERMIT REBUBBLED	05/09/13
SEC CD SET	03/19/13
MAJOR ENCROACHMENT PERMIT	03/19/13
SITE PERMIT ADDENDUM #1	03/19/13
SITE PERMIT ADDENDUM #2	03/19/13
SITE PERMIT ADDENDUM #3	04/02/13
CDP1 30% CD SET	04/02/13
BO ADDENDUM #1	04/02/13
CDP1 ADDENDUM	04/02/13
SF WATER PERMIT	03/18/13
SEWER, WATER, & JT FEED	03/05/13
CAL STREET REVISIONS	03/24/14
CDM&G CORRECTIONS	04/08/14
SFPD COMMENTS REV.	03/18/14
LAGUNA ST. REVISIONS	06/09/14
SFPD COMMENTS REV.	08/07/14

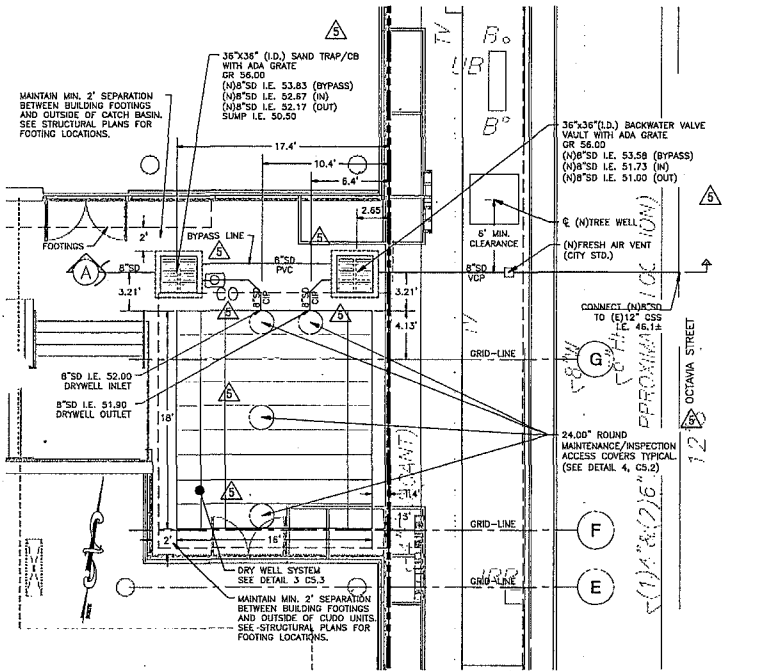
Stamp:

Client: **AVALON BAY COMMUNITIES**
455 MARKET STREET, SUITE 1650
SAN FRANCISCO, CA 94105

Job Number: 1018
Drawn by: SA
Checked by: DL
Date: SEPT. 9, 2014
Scale: AS SHOWN

Title: **CONSTRUCTION DETAILS**

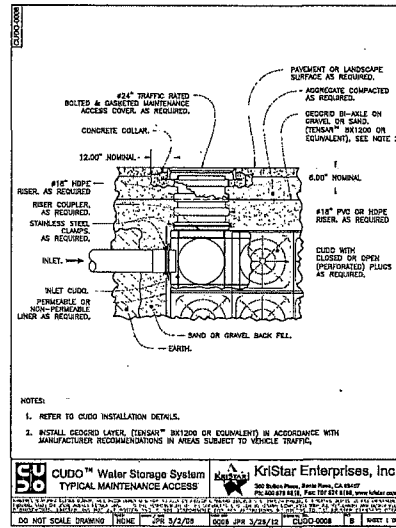
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DRY WELL SYSTEM - LAYOUT

SCALE: 1"=4'

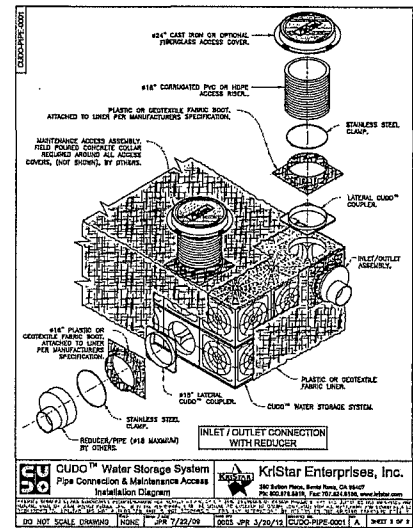
1



CUDO™ Water Storage System
TYPICAL MAINTENANCE ACCESS

KriStar Enterprises, Inc.
380 Golden Gate, Santa Rosa, CA 95407
Ph: 800.578.8116, Fax: 707.524.8168, www.kristar.com

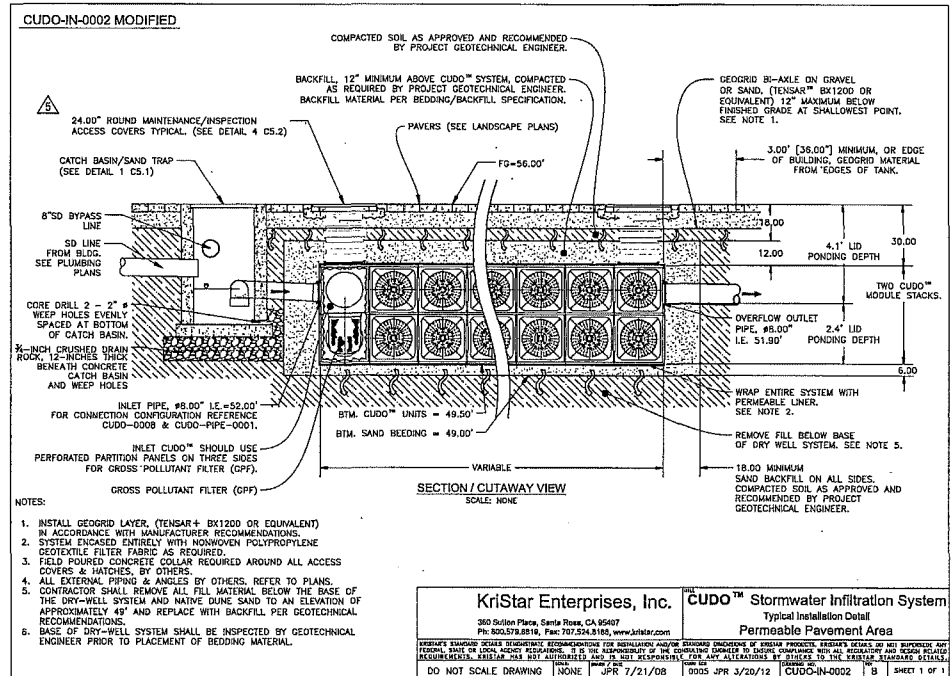
DO NOT SCALE DRAWING NONE JPR 3/23/08 0935 JPR 3/28/12 CUGD-0008 B SHEET 1 OF 1



CUDO™ Water Storage System
Pipe Connection & Maintenance Access

KriStar Enterprises, Inc.
380 Golden Gate, Santa Rosa, CA 95407
Ph: 800.578.8116, Fax: 707.524.8168, www.kristar.com

DO NOT SCALE DRAWING NONE JPR 7/22/09 0935 JPR 3/28/12 CUGD-PIPE-0001 A SHEET 1 OF 1



KriStar Enterprises, Inc.
380 Golden Gate, Santa Rosa, CA 95407
Ph: 800.578.8116, Fax: 707.524.8168, www.kristar.com

CUDO™ Stormwater Infiltration System
Typical Installation Detail
Permeable Pavement Area

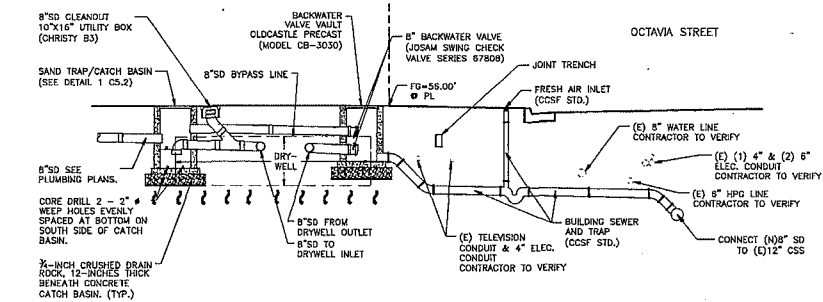
REPAIRS TO SAND TRAP/CAUGHT BASIN SHALL BE DONE IN ACCORDANCE WITH THE PERMEABLE PAVEMENT DETAIL REQUIREMENTS. REPAIRS TO SAND TRAP/CAUGHT BASIN SHALL BE DONE IN ACCORDANCE WITH THE PERMEABLE PAVEMENT DETAIL REQUIREMENTS. REPAIRS TO SAND TRAP/CAUGHT BASIN SHALL BE DONE IN ACCORDANCE WITH THE PERMEABLE PAVEMENT DETAIL REQUIREMENTS.

DO NOT SCALE DRAWING NONE JPR 7/22/09 0935 JPR 3/28/12 CUGD-IN-0002 B SHEET 1 OF 1

DRY WELL SYSTEM DETAIL

SCALE: NOT TO SCALE

3



DRY WELL SYSTEM - SECTION A-A

SCALE: 1"=4'

2

323-325 OCTAVIA STREET & 100 LAGUNA STREET
SAN FRANCISCO, CA 94102
(BLOCK 0351/LOT 023)
AVALON HAYES VALLEY PARCEL P

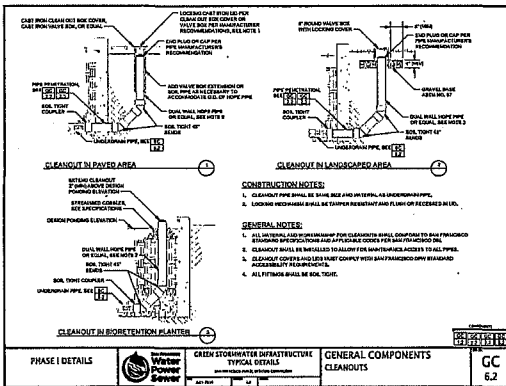
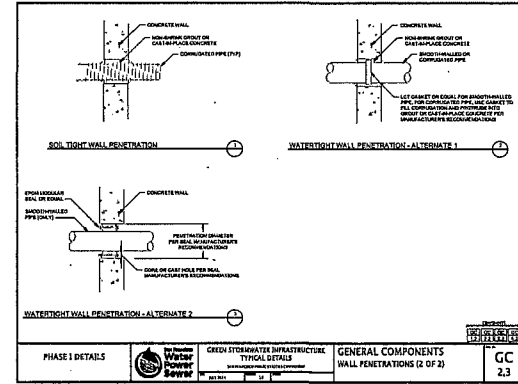
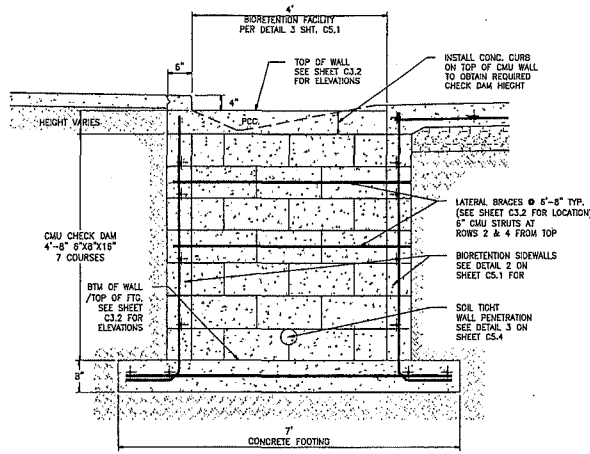
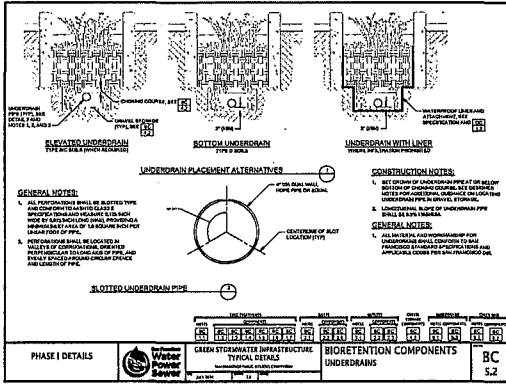
SITE PERMIT SET	10/9/02
STREET IMPROVEMENT SUBMITTAL	11/10/02
DESIGN DEVELOPMENT PERMIT SET	11/20/02
DESIGN DEVELOPMENT FINAL SET	01/22/03
SITE PERMIT RESUBMITTAL	01/29/03
5% CD SET	03/20/03
MAJOR ENGINEERING PERMIT	03/20/03
SITE PERMIT ADDENDUM #1	03/26/03
SITE PERMIT ADDENDUM #2	03/26/03
SITE PERMIT ADDENDUM #3	04/02/03
CD# 195 CD SET	04/02/03
80 ADDENDUM #1	04/02/03
CNA ACCORDION	05/29/03
SF WATER PERMIT	07/02/03
SEWER POWER & REV	08/02/03
DM STREET REVISIONS	03/24/04
DRAINING CORRECTIONS	04/02/04
SFPWD COMMENTS REV.	07/02/04
LAGUNA ST. REVISIONS	08/02/04
SFPWD COMMENTS REV.	08/02/04

Client:
AVALON BAY COMMUNITIES
450 MARKET STREET, SUITE 1500
SAN FRANCISCO, CA 94105

Job Number: 1018
Drawn by: SA
Checked by: KL
Date: SEPT. 6, 2014
Scale: AS SHOWN

Title:
CONSTRUCTION DETAILS

Sheet:
C5.3



AVALON HAYES VALLEY PARCEL P
 323-325 OCTAVIA STREET & 400 LAGUNA STREET
 SAN FRANCISCO, CA 94110
 (BLOCK 0837 LOT 023)

SITE PERMIT SET	10/2012
STREET IMPROVEMENT CONTRACT	11/2012
DESIGN DEVELOPMENT PERMITS SET	01/2013
SITE PERMIT RESUBMITTAL	02/2013
SOIL CD SET	03/2013
MAJOR ENCROACHMENT PERMIT	03/2013
SITE PERMIT ADDENDUM #1	03/2013
SITE PERMIT ADDENDUM #2	03/2013
CDP1 RISK CD SET	04/2013
1"60" ADDENDUM #1	04/2013
CIVIL ADDENDUM	06/2013
SE WATER PERMIT	07/2013
SEWER, WATER & JT REV.	06/2013
CDM STREET RESUBMIT	07/2014
GRADING CORRECTIONS	08/2014
SFFWC COMMENTS REV.	01/2014
LAGUNA ST. REVISIONS	05/2014
SFFWC COMMENTS REV.	05/2014

Client:
AVALON BAY COMMUNITIES
455 MARKET STREET, SUITE 1650
SAN FRANCISCO, CA 94102

Job Number: 1016
Drawn by: SA
Checked by: XL
Date: SEPT. 9, 2014
Scale: AS SHOWN

Title:
SFFWC GREEN STORMWATER
INFRASTRUCTURE TYPICAL
DETAILS

Sheet:
C5.4

EROSION CONTROL GENERAL NOTES

- 1. ALL GRADING WORK SHALL BE WINTERIZED PRIOR TO OCTOBER 15, BY PLACING APPROPRIATE SILT FENCING, SILT FENCE/STRAW BALE BARRIERS AND STRAW BALES IN A MANNER TO MINIMIZE EROSION AND COLLECT SEDIMENT AND ALSO BY HYDROSEEDING AREAS DISTURBED.
2. THIS PLAN IS INTENDED FOR EROSION CONTROL ONLY. OTHER INFORMATION SHOWN HEREIN MAY NOT BE THE MOST CURRENT. SEE GRADING PLAN FOR SLOPE INFORMATION.
3. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS AND FILING ALL PLANS WITH THE RELATED AGENCIES ASSOCIATED WITH THEIR WORK. THIS SHALL INCLUDE, BUT NOT BE LIMITED TO, PERMITS FOR STORAGE OF HAZARDOUS MATERIALS, BUSINESS PLANS, PERMITS FOR STORAGE OF FLAMMABLE LIQUIDS, GRADING PERMITS, OR OTHER PLANS OR PERMITS REQUIRED BY CCSF. ALL PROPERTY OWNERS, CONTRACTORS, OR SUBCONTRACTORS WORKING ON-SITE ARE INDIVIDUALLY RESPONSIBLE FOR OBTAINING AND SUBMITTING ANY BUSINESS PLANS OR PERMITS REQUIRED BY CITY, STATE OR LOCAL AGENCIES.
4. ALL EROSION CONTROL MEASURES SHALL BE MAINTAINED, DURING THE RAINY SEASON (OCT. 1 TO MAY 31), UNTIL DISTURBED AREAS ARE STABILIZED. CHANGES TO THIS PLAN TO MEET FIELD CONDITIONS WILL BE MADE ONLY WITH THE APPROVAL OF, OR AT THE DIRECTION OF THE OWNER. CHANGES MADE TO SUIT FIELD CONDITIONS SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF CCSF FOR COMMENT AND APPROVAL.
5. ALL EROSION CONTROL FACILITIES MUST BE INSPECTED AND REPAIRED AT THE END OF EACH WORKING DAY OR DAILY DURING THE RAINY SEASON.
6. IF SIGNIFICANT SEDIMENT OR OTHER VISUAL SYMPTOMS OF IMPURITIES ARE NOTICED IN THE STORM WATER, CONTACT CCSF IMMEDIATELY.
7. CONTRACTOR IS RESPONSIBLE FOR INSPECTION AND RESTORATION OF ALL ASPECTS OF THE EROSION CONTROL PLAN. SEDIMENT ON THE SIDEWALKS AND CURBS SHALL BE REMOVED BY SHOVEL OR BROOM AND DISPOSED APPROPRIATELY.
8. ALL EMPLOYEES, CONTRACTORS, AND SUBCONTRACTORS ARE RESPONSIBLE FOR CONFORMING TO THE ELEMENTS SHOWN ON THIS PLAN OR RELATED DOCUMENTS.
CONTRACTOR TO EMPLOY BEST MANAGEMENT PRACTICES (BMP'S) IN ACCORDANCE WITH CALIFORNIA STORMWATER QUALITY ASSOCIATION (CSQA), THE STORMWATER BEST MANAGEMENT PRACTICE CONSTRUCTION HANDBOOK (ATEST RECOMMENDATIONS).
10. ALL DUMPSTERS OR OTHER TRASH STORAGE ENCLOSURES SHALL BE UTILIZED SOLELY FOR NON-HAZARDOUS MATERIALS.
11. DURING THE RAINY SEASON, ALL PAVED AREAS WILL BE KEPT CLEAR OF EARTH MATERIAL AND DEBRIS. THIS SITE SHALL BE MAINTAINED SO THAT A MINIMUM OF SEDIMENT-LADEN RUNOFF ENTERS THE STORM DRAIN SYSTEM. THESE PLANS SHALL REMAIN IN EFFECT UNTIL THE IMPROVEMENTS ARE ACCEPTED BY CCSF AND ALL SLOPES ARE STABILIZED.
12. BORROW AREAS AND TEMPORARY STOCKPILES SHALL BE PROTECTED WITH APPROPRIATE EROSION CONTROL MEASURES TO THE SATISFACTION OF CCSF.
13. REMOVE SPILLS PROMPTLY AND AVOID STOCKPILING OF FILL MATERIAL WHEN RAIN IS FORECAST. IF RAIN IS FORECAST OR APARENT, STOCKPILED SOILS AND OTHER MATERIALS SHALL BE COVERED WITH PLASTIC OR A TARP, AT THE REQUEST OF CCSF.
14. STORE, HANDLE AND DISPOSE OF CONSTRUCTION MATERIALS AND WASTES SO AS TO PREVENT THEIR ENTRY INTO THE STORM DRAIN SYSTEM. CONTRACTOR MUST NOT ALLOW CONCRETE, WASHWATERS, SLURRIES, PAINT OR OTHER MATERIALS TO ENTER THE CATCH BASIN, STORM DRAINAGE, OR ENTER SITE RUNOFF.
15. USE FILTRATION OR OTHER APPROVED MEASURES TO REMOVE SEDIMENT FROM DETERIORATING EFFLUENT.
16. NO CLEANING, FUELING OR MAINTAINING VEHICLES ON SITE SHALL BE PERMITTED TO ALLOW DELETERIOUS MATERIALS FROM ENTERING THE CATCH BASIN, STORM DRAINAGE, OR ENTER SITE RUNOFF.
17. EROSION CONTROL MEASURES TO BE EMPLOYED PER THE LATEST EDITION OF THE CALIFORNIA STORMWATER QUALITY ASSOCIATION (CSQA) STORMWATER BEST MANAGEMENT PRACTICE CONSTRUCTION HANDBOOK, WHERE APPLICABLE.
18. THE CONTRACTOR SHALL SCHEDULE MAJOR GRADING OPERATIONS DURING DRY MONTHS WHEN PRACTICAL. ALLOW ENOUGH TIME BEFORE RAINFALL BEGINS TO STABILIZE THE SOIL WITH VEGETATION OR PHYSICAL MEANS OR TO INSTALL SEDIMENT TRAPPING DEVICES.
19. NON-ACTIVE AREAS SHOULD BE STABILIZED AS SOON AS PRACTICAL AFTER THE CESSATION OF SOIL DISTURBING ACTIVITIES OR ONE DAY PRIOR TO THE ONSET OF PRECIPITATION. APPLY PERMANENT EROSION CONTROL TO AREAS DEEMED SUBSTANTIALLY COMPLETE DURING THE PROJECT'S DEFINED SEEDING WINDOW.
20. THE CONTRACTOR SHALL MONITOR THE WEATHER FORECAST FOR RAINFALL. WHEN RAINFALL IS PREDICTED, THE CONSTRUCTION SCHEDULE TO ALLOW THE IMPLEMENTATION OF SOIL STABILIZATION AND SEDIMENT TREATMENT CONTROLS ON ALL DISTURBED AREAS PRIOR TO THE ONSET OF RAIN.
... THE CONTRACTOR SHALL BE PREPARED YEAR ROUND TO DEPLOY EROSION CONTROL AND SEDIMENT CONTROL BMPs. KEEP THE SITE STABILIZED YEAR ROUND, AND REPAIR AND MAINTAIN RAINY SEASON SEDIMENT TRAPPING DEVICES IN OPERATIONAL CONDITION.

SILT FENCE MATERIALS

- 1. FILTER FABRIC SHALL BE A PEROUS SHEET OF SYNTHETIC POLYMER COMPOSED OF AT LEAST 85% BY WEIGHT ETHYLENE, PROPYLENE, AMIDE, ESTER OF VINYLACRYLATE, OR POLYURETHANE. IT SHALL CONTAIN STABILIZERS AND/OR INHIBITORS TO RESIST DEGRADATION BY HEAT, WATER AND ULTRAVIOLET LIGHT. THE FABRIC SHALL CONFORM TO THE FOLLOWING CRITERIA:
A. THE EQUIVALENT OPENING SIZE (U.S. STANDARD SIEVE) SHALL BE WITHIN THE RANGE .75-10.
B. THE TENSILE STRENGTH (ASTM D16820) SHALL BE AT LEAST 120 POUNDS. THE STRENGTH OF FABRIC REQUIRED DEPENDS ON THE WIRE SUPPORT FENCE. IF EXTRA-STRENGTH FABRIC IS USED WITHOUT A SUPPORT FENCE, THE STRENGTH REQUIRED SHALL BE 200 POUNDS MINIMUM WITH POSTS SPACED ON 6 FOOT CENTERS.
2. POSTS FOR SILT FENCES SHALL BE EITHER 4-INCH-DIAMETER WOOD OR 1.33-POUNDS-PER LINEAR FOOT WITH A MINIMUM LENGTH OF 3 FEET. STEEL POSTS SHALL HAVE PROJECTIONS FOR FASTENING WIRE TO THEM.
3. WIRE FENCE REINFORCEMENT FOR SILT FENCES SHALL BE A MINIMUM OF 42 INCHES IN HEIGHT, SHALL BE A MINIMUM OF 14-GAUGE, AND SHALL HAVE A MAXIMUM MESH SPACING OF 6 FEET.
2. THE HEIGHT OF A SILT FENCE SHALL NOT EXCEED 36 INCHES, ON SLOPES, THE FENCE LINE SHALL FOLLOW THE CONTOUR AS CLOSELY AS POSSIBLE. IN SMALL SLOPES, THE FENCE SHALL BE STRAIGHT ACROSS AT THE SIDES TO DIRECT THE FLOW TOWARD THE MIDDLE OF THE FENCE.
2. IF POSSIBLE, THE FILTER FABRIC SHALL BE CUT FROM A CONTINUOUS ROLL TO AVOID THE USE JOINTS. WHEN JOINTS ARE NECESSARY, FILTER CLOTH SHALL BE SPICED USING A SUPPORT POST, WITH A MINIMUM 6-INCH OVERLAP AND BOTH ENDS SECURELY FASTENED TO THE POST.
3. STEEL POSTS SHALL BE SPACED A MAXIMUM OF 10 FEET APART AND DRIVEN SECURELY INTO THE GROUND (MINIMUM OF 12 INCHES). WHEN EXTRA-STRENGTH FABRIC IS USED WITHOUT THE WIRE SUPPORT FENCE, OR WOOD POST ARE UTILIZED, POST SPACING SHALL NOT EXCEED 6 FEET.
4. A TRENCH SHALL BE EXCAVATED APPROXIMATELY 4 INCHES WIDE AND 4 INCHES DEEP ALONG THE LINE OF POST AND UPSLOPE FROM THE BARRIER.
5. WHEN STANDARD-STRENGTH FILTER FABRIC IS USED, A WIRE MESH SUPPORT FENCE SHALL BE FABRICED SECURELY TO THE UPSLOPE SIDE OF THE POSTS USING HEAVY-DUTY WIRE STAPLES AT LEAST 1 INCH LONG, THE WIRES OR HCG RINGS. THE WIRE SHALL EXTEND INTO THE TRENCH A MINIMUM OF 2 INCHES AND SHALL BE FASTENED MORE THAN 36 INCHES ABOVE THE ORIGINAL GROUND SURFACE.
6. THE STANDARD-STRENGTH FILTER FABRIC SHALL BE STAPLED OR WIRED TO THE FENCE, AND 8 INCHES OF THE FABRIC SHALL EXTEND INTO THE TRENCH. THE FABRIC SHALL NOT EXTEND MORE THAN 36 INCHES ABOVE THE ORIGINAL GROUND SURFACE. FILTER FABRIC SHALL NOT BE STAPLED TO EXISTING TREES.
7. WHEN EXTRA-STRENGTH FILTER FABRIC AND CLOSER POST SPACING ARE USED, THE WIRE MESH SUPPORT FENCE SHALL BE ELIMINATED. IN SUCH A CASE, THE FILTER FABRIC IS STAPLED OR WIRE DIRECTLY TO THE POSTS WITH ALL OTHER PROVISIONS OF NO. 6 ABOVE APPLYING.
8. THE TRENCH SHALL BE BACK FILLED AND THE SOIL COMPACTED OVER THE TOP OF THE FILTER FABRIC.
9. SILT FENCES SHALL BE REMOVED WHEN THEY HAVE SERVED THEIR USEFUL PURPOSE, NOT BEFORE THE UPSLOPE AREA HAS BEEN PERMANENTLY STABILIZED.

SILT FENCE MAINTENANCE

- 1. SILT FENCES AND FILTER BARRIERS SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL AND REQUIRED REPAIRS SHALL BE MADE IMMEDIATELY.
2. SHOULD THE FABRIC ON A SILT FENCE OR FILTER BARRIER DECOMPOSE OR BECOME INEFFECTIVE PRIOR TO THE END OF THE BARRIER'S EXPECTED USABLE LIFE AND THE BARRIER SPLIT BE NECESSARY, THE FABRIC SHALL BE REPLACED PROMPTLY.
3. SEDIMENT DEPOSITS SHOULD BE REMOVED WHEN DEPOSITS REACH APPROXIMATELY ONE HALF THE HEIGHT OF THE BARRIER.
4. ANY SEDIMENT DEPOSITS REMAINING IN PLACE AFTER THE SILT FENCE OR FILTER BARRIER IS NO LONGER REQUIRED SHALL BE DRESSED TO CONFORM WITH THE EXISTING GRADE, PREPARED AND SEEDED.

CONSTRUCTION ENTRANCE DESIGN & CONSTRUCTION SPECIFICATIONS

- 1. THE MATERIAL FOR CONSTRUCTION OF THE PAD ENTRANCE SHALL BE BETWEEN 2 TO 3 INCH ROCK/STONE.
2. THE THICKNESS OF THE PAD ENTRANCE SHALL NOT BE LESS THAN 8 INCHES.
3. THE WIDTH OF THE PAD ENTRANCE SHALL NOT BE LESS THAN THE FULL WIDTH OF ALL POINTS ON INGRESS OR EGRESS.
4. THE LENGTH OF THE PAD ENTRANCE SHALL BE AS REQUIRED, BUT NOT LESS THAN 50 FEET.
5. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND, AND REPAIR AND/OR LEAN OUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY SHALL BE REMOVED IMMEDIATELY.
6. WHEN NECESSARY, WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHTS-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED WASH TRAP OR SEDIMENT BASIN. ALL SEDIMENT SHALL BE PREVENTED FROM ENTERING ANY STORM DRAIN, DITCH OR WATERCOURSE THROUGH USE OF SAND BAGS, GRAVEL, BOARDS OR OTHER APPROVED METHODS.
7. CONSTRUCTION ENTRANCE SHALL BE COORDINATED IN THE FIELD WITH CITY INSPECTORS APPROVAL.

DUST CONTROL

- ON AN AS-NEEDED BASIS OR AS DIRECTED BY THE CITY OR OWNER, THE CONTRACTOR SHALL UTILIZE ONE OF THE FOLLOWING METHODS TO CONTROL DUST:
1. WATER - THE EXPOSED SOIL SURFACE SHOULD BE MOISTENED PERIODICALLY WITH ADEQUATE WATER TO CONTROL DUST.
2. CALCIUM CHLORIDE - SHOULD BE EITHER LOOSE DRY GRANULES OR FLAKE'S FINE ENOUGH TO FEED THROUGH A SPREADER AT A RATE THAT WILL KEEP SURFACE MOIST BUT NOT CAUSE POLLUTION OR PLANT DAMAGE.

POLLUTION PREVENTION - IT'S PART OF THE PLAN

MAKE SURE YOUR CREWS AND SUBS DO THE JOB RIGHT! RUNOFF FROM STREET AND OTHER PAVED AREAS IS A MAJOR SOURCE OF POLLUTION AND DAMAGE TO CREEKS AND THE SAN FRANCISCO BAY. CONSTRUCTION ACTIVITIES CAN DIRECTLY AFFECT THE HEALTH OF CREEK AND THE BAY UNLESS CONTRACTORS AND CREWS PLAN AHEAD TO KEEP DIRT, DEBRIS, AND OTHER CONSTRUCTION WASTE AWAY FROM STORM DRAINS AND LOCAL CREEKS. FOLLOWING THESE GUIDELINES AND THE PROJECT SPECIFICATIONS WILL ENSURE YOUR COMPLIANCE WITH CITY OF OAKLAND REQUIREMENTS.

MATERIALS STORAGE & SPILL CLEANUP NON-HAZARDOUS MATERIALS MANAGEMENT

- 1. SAND, DIRT, AND SIMILAR MATERIALS MUST BE STORED AT LEAST 10 FEET (3 METERS) FROM CATCH BASINS. ALL CONSTRUCTION MATERIALS MUST BE STORED WITH A TARP OR OTHER COVER TO PREVENT POLLUTION DURING WET WEATHER OR WHEN RAIN IS FORECASTED OR WHEN NOT ACTIVELY BEING USED WITHIN 14 DAYS.
2. USE (BUT DON'T OVERUSE) RECLAIMED WATER FOR DUST CONTROL AS NEEDED.
3. SWEEP OR VACUUM STREETS AND OTHER PAVED AREAS DAILY. DO NOT WASH DOWN STREETS OR WORK AREAS WITH WATER!
4. RECYCLE ALL ASPHALT, CONCRETE, AND AGGREGATE BASE MATERIAL FROM DEMOLITION ACTIVITIES.
5. CHECK DUMPSTERS REGULARLY FOR LEAKS AND TO MAKE SURE THEY ARE NOT OVERFILLED. REPAIR OR REPLACE LEAKING DUMPSTERS PROMPTLY.
6. COVER ALL DUMPSTERS WITH A TARP AT THE END OF EVERY WORK DAY OR DURING WET WEATHER.

HAZARDOUS MATERIALS MANAGEMENT

- 1. LABEL ALL HAZARDOUS MATERIALS AND HAZARDOUS WASTES (SUCH AS PESTICIDES, PAINTS, THINNERS, SOLVENTS, FUEL, OIL, AND ANTIFREEZE) IN ACCORDANCE WITH CITY, STATE, AND FEDERAL REGULATIONS.
2. STORE HAZARDOUS MATERIALS AND WASTES IN WATER TIGHT CONTAINERS, STORE IN APPROPRIATE SECONDARY CONTAINMENT AND COVER THEM AT THE END OF EVERY WORK DAY OR DURING WET WEATHER OR WHEN RAIN IS FORECASTED.
3. FOLLOW MANUFACTURER'S APPLICATION INSTRUCTIONS FOR HAZARDOUS MATERIALS AND BE CAREFUL NOT TO USE MORE THAN NECESSARY. DO NOT APPLY CHEMICALS OUTDOORS WHEN RAIN IS FORECAST WITHIN 24 HOURS.
4. BE SURE TO ARRANGE FOR APPROPRIATE DISPOSAL OF ALL HAZARDOUS WASTES.

SPILL PREVENTION AND CONTROL

- 1. KEEP A STOCKPILE OF SPILL CLEANUP MATERIALS (BAGS, ABSORBENTS, ETC.) AVAILABLE AT THE CONSTRUCTION SITE AT ALL TIMES.
2. WHEN SPILLS OR LEAKS OCCUR, CONTAIN THEM IMMEDIATELY AND BE PARTICULARLY CAREFUL TO PREVENT LEAKS AND SPILLS FROM REACHING THE GUTTER, STREET, OR STORM DRAIN. NEVER WASH SPILLED MATERIAL INTO A GUTTER, STREET, STORM DRAIN, OR CREEK!
3. DISPOSE OF ALL CONTAMINATION AND CLEANUP MATERIALS PROPERLY.
4. REPORT ANY HAZARDOUS MATERIALS SPILLS IMMEDIATELY DIAL 911 OR CITY OF SAN FRANCISCO PUBLIC WORKS AT (415) 554-8920.

CONSTRUCTION ENTRANCES AND PERIMETER

- 1. ESTABLISH AND MAINTAIN EFFECTIVE PERIMETER CONTROLS AND STABILIZE ALL CONSTRUCTION ENTRANCES AND EXITS TO SUFFICIENTLY CONTROL EROSION AND SEDIMENT DISCHARGES FROM SITE AND TRACKING OFF SITE.
2. SWEEP OR VACUUM ANY STREET TRACKING IMMEDIATELY AND SECURE SEDIMENT SOUVE TO PREVENT FURTHER TRACKING.

VEHICLE AND EQUIPMENT MAINTENANCE & CLEANING

- 1. INSPECT VEHICLES AND EQUIPMENT FOR LEAKS FREQUENTLY. USE DRIP PANNERS TO CATCH LEAKS UNTIL REPAIRS ARE MADE; REPAIR LEAKS PROMPTLY.
2. FUEL AND MAINTAIN VEHICLES ON SITE ONLY IN A BERMED AREA OR OVER A DRAIN PAN THAT IS BIG ENOUGH TO PREVENT RUNOFF.
3. IF YOU MUST CLEAN VEHICLES OR EQUIPMENT ON SITE, CLEAN WITH WATER ONLY IN A BERMED AREA THAT WILL NOT ALLOW RINSE WATER TO RUN INTO GUTTERS, STREETS, STORM DRAINS, OR CREEKS.
4. DO NOT CLEAN VEHICLES OR EQUIPMENT ON-SITE USING SOAPS, SOLVENTS, DEGREASERS, STEAM CLEANING EQUIPMENT, ETC.

EARTHWORK & CONTAMINATED SOILS

- 1. KEEP EXCAVATED SOIL ON THE SITE WHERE IT IS LEAST LIKELY TO COLLECT IN THE STREET.
2. TRANSPORTER TO DUMP TRUCKS SHOULD TAKE PLACE ON THE SITE, NOT IN THE STREET.
3. USE FIBER ROLLS, SILT FENCES, OR OTHER CONTROL MEASURES TO MINIMIZE THE FLOW OF SILT OFF THE SITE.
4. EARTH MOVING ACTIVITIES ARE ONLY ALLOWED DURING DRY WEATHER BY PERMIT AND AS APPROVED BY THE CITY OF OAKLAND IN THE FIELD.
5. MAINTAIN VEGETATION IS THE BEST FORM OF EROSION CONTROL. MINIMIZE DISTURBANCE TO EXISTING VEGETATION WHENEVER POSSIBLE.
6. IF YOU DISTURB A SLOPE DURING CONSTRUCTION, PREVENT EROSION BY SECURING THE SOIL WITH EROSION CONTROL FABRIC, OR SEED WITH FAST GROWING GRASSES AS SOON AS POSSIBLE. PLACE FIBER ROLLS DOWN-SLOPE UNTIL SOIL IS SECURE.
7. IF YOU SUSPECT CONTAMINATION (FROM SITE HISTORY, DISCOLORATION, ODOR, TEXTURE, ABANDONED UNDERGROUND TANKS OR PIPES, OR BURIED DEBRIS), CALL THE ENGINEER FOR HELP IN DETERMINING WHAT TESTING SHOULD BE DONE AND MANAGE DISPOSAL OF CONTAMINATED SOIL ACCORDING TO THEIR INSTRUCTIONS.

SAW CUTTING

- 1. ALWAYS COMPLETELY COVER OR BARRICADE STORM DRAIN INLETS WHEN SAW CUTTING. USE FILTER FABRIC, CATCH BASIN INLET FILTERS, OR SAND/GRAVEL BAGS TO KEEP SLURRY OUT OF THE STORM DRAIN SYSTEM.
2. SHOVEL ABSORB, OR VACUUM SAW-CUT SLURRY AND PICK UP ALL WASTE AS SOON AS YOU ARE FINISHED IN ONE LOCATION OR AT THE END OF EACH WORK DAY (WHICHEVER IS SOONER).
3. IF SAW CUT SLURRY ENTERS A CATCH BASIN, CLEAN IT UP IMMEDIATELY.

PAVING/ASPALT WORK

- 1. ALWAYS COVER STORM DRAIN INLETS AND MANHOLES WHEN PAVING OR APPLYING SEAL COAT, TACK COAT, SLURRY SEAL, OR FOG SEAL.
2. PROTECT GUTTERS, DITCHES, AND DRAINAGE COURSES WITH SAND/GRAVEL BAGS, OR EARTHEN BERMES.
3. DO NOT SWEEP OR WASH DOWN EXCESS SAND FROM SAND SEALING INTO GUTTERS, STORM DRAINS, OR CREEKS. COLLECT SAND AND RETURN IT TO THE STOCKPILE, OR DISPOSE OF IT AS TRASH.
4. DO NOT USE WATER TO WASH DOWN FRESH ASPHALT CONCRETE PAVEMENT.

CONCRETE, GROUT, AND MORTAR STORAGE & WASTE DISPOSAL

- 1. STORE CONCRETE, GROUT, AND MORTAR UNDER COVER, ON PALLETS, AND AWAY FROM DRAINAGE AREAS. THESE MATERIALS MUST NEVER REACH A STORM DRAIN.
2. WASH OUT CONCRETE EQUIPMENT/TRUCKS OFF-SITE OR INTO CONTAINED WASHOUT AREAS THAT WILL NOT ALLOW DISCHARGE OF WASH WATER INTO THE UNDERLYING SOIL OR ONTO THE SURROUNDING AREAS.
3. COLLECT THE WASH WATER FROM WASHING EXPOSED AGGREGATE CONCRETE AND REMOVE IT FOR APPROPRIATE DISPOSAL OFF SITE.

PAINING

- 1. NEVER RINSE PAINT BRUSHES OR MATERIALS IN A GUTTER OR STREET!
2. PAINT OUT EXCESS WATER-BASED PAINT BEFORE RINSING BRUSHES, ROLLERS, OR CONTAINERS IN A SINK.
3. PAINT OUT EXCESS OIL-BASED PAINT BEFORE CLEANING BRUSHES IN THINNER.
4. FILTER PAINT THINNERS AND SOLVENTS FOR REUSE WHENEVER POSSIBLE. DISPOSE OF OIL-BASED PAINT SLUDGE AND UNUSABLE THINNER AS HAZARDOUS WASTE.

LANDSCAPE MATERIALS

- 1. CONTAIN, COVER, AND STORE ON PALLETS ALL STOCKPILED LANDSCAPE MATERIALS (MULCH, COMPOST, FERTILIZERS, ETC.) DURING WET WEATHER OR WHEN RAIN IS FORECASTED OR WHEN NOT ACTIVELY BEING USED WITHIN 14 DAYS.
2. DISCONTINUE THE APPLICATION OF ANY ERODIBLE LANDSCAPE MATERIAL WITHIN 2 DAYS OF FORECASTED RAIN AND DURING WET WEATHER.
STORM DRAIN POLLUTERS MAY BE LIABLE FOR FINES OF \$10,000 OR MORE PER DAY!



Table with 2 columns: Item Name and Date. Includes items like SITE PERMIT SUBMITAL, STREET IMPROVEMENT SUBMITAL, DESIGN DEVELOPMENT PHASE SET, etc.



Client: AVALON BAY COMMUNITIES
455 MARKET STREET, SUITE 1650
SAN FRANCISCO, CA 94105
Job Number: 1018
Drawn by: EA
Checked by: RL
Date: SEPT. 8, 2014
Scale: AS SHOWN

EROSION CONTROL GENERAL NOTES:

Sheet

C6.1

223-325 OCTAVIA STREET & 400 LAGUNA STREET
 SAN FRANCISCO, CA 94107
 (BLOCK 0833 / LOT 023)
AVALON HAYES VALLEY PARCEL P

PERMIT SET	03/20/14
STREET IMPROVEMENT SUBMITTAL	11/02/12
DESIGN DEVELOPMENT PERMIT SET	11/29/12
DESIGN DEVELOPMENT FINAL SET	01/19/13
SITE PERMIT RESUBMITTAL	03/20/13
80% CD SET	03/19/13
MAJOR ENCROACHMENT PERMIT	01/19/13
SITE PERMIT ADDENDUM #1	03/20/13
SITE PERMIT ADDENDUM #2	03/20/13
SITE PERMIT ADDENDUM #3	04/02/13
CD#1 80% CD SET	04/02/13
80% ENCROACHMENT	04/02/13
CIVIL ENCROACHMENT	06/20/13
SF WATER PERMIT	03/19/13
SEWER, WATER, & UTILITY	06/04/13
DATE STREET ENCROACHMENT	03/20/14
GRADING CORRECTIONS	04/08/14
SPROW COMMENTS REV.	03/18/14
LAGUNA CD REVISIONS	09/22/14
SPROW COMMENTS REV.	09/24/14

Stamp:

Client:
AVALON BAY COMMUNITIES
 435 MARKET STREET, SUITE 1650
 SAN FRANCISCO, CA 94103

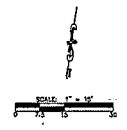
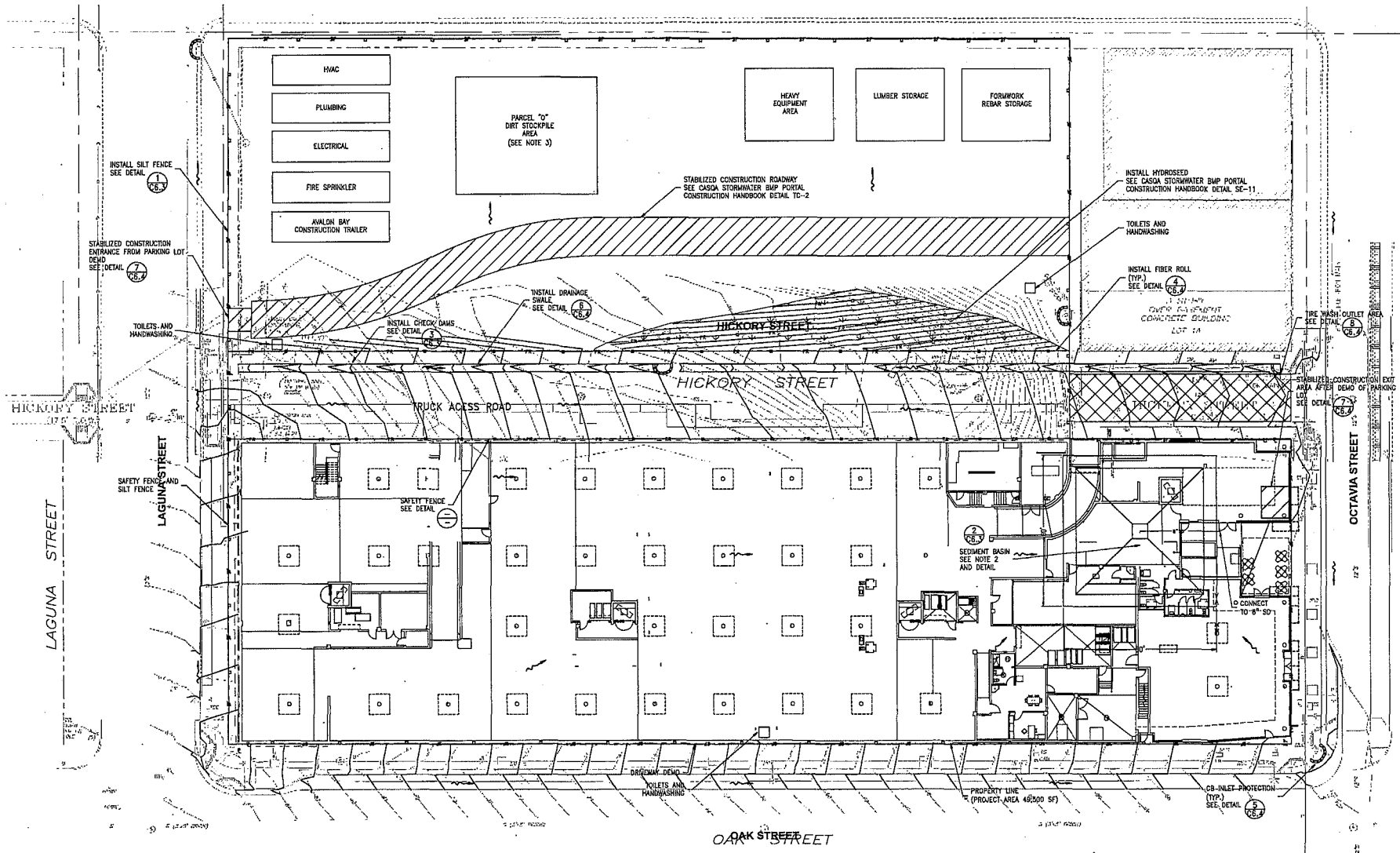
Job Number: 1018
 Drawn by: EA
 Checked by: XL
 Date: SEPT. 9, 2014
 Scale: AS SHOWN

Title:
EROSION CONTROL PLAN

Sheet:
C6.2

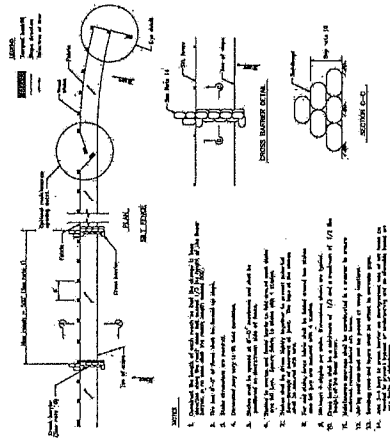
- LEGEND:**
- INLET PROTECTION (TYP) PER CASQA DETAIL SE-10, TYPE 3 SEE DETAIL (C6.1)
 - SILT FENCE PER PER CASQA DETAIL SE-1, SEE DETAIL (C6.2)
 - SAFETY FENCE PER DETAIL ON SHEET
 - FIBER ROLL PER CASQA DETAIL SE-5, SEE DETAIL (C6.3)
 - INSTALL HYDROSEED ON AREA NEEDED TO GRADE/CUT BACK FOR HICKORY ST PER CASQA DETAIL SE-11
 - ROCK AREA
 - ENTRANCE/OUTLET TIRE WASH AREA PER CASQA DETAIL SE-8, SEE DETAIL (C6.4)
 - FLOW ARROW

- NOTES:**
1. SOILS ON SITE ARE TO BE COVERED PRIOR TO RAIN.
 2. CURRENT SEDIMENT BASIN SIZE IS CALCULATED BASED ON AREA OF HALF THE SITE UNCOVERED. CALCULATION IS BASED ON CASQA STORMWATER BMP PORTAL CONSTRUCTION HANDBOOK DETAIL SE-2.
 3. COVER AND BERM STOCKPILE MATERIALS NOT IN ACTIVE USE.
 4. FUELING AREA TO BE LOCATED OFF-SITE



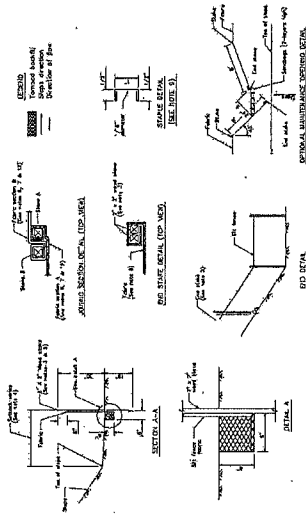
Silt Fence

SE-1



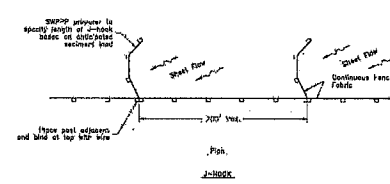
Silt Fence

SE-1



Silt Fence

SE-1



SILT FENCE
SCALE: NOT TO SCALE

1

Sediment Basin

SE-2

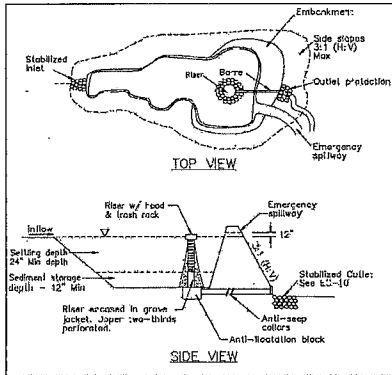


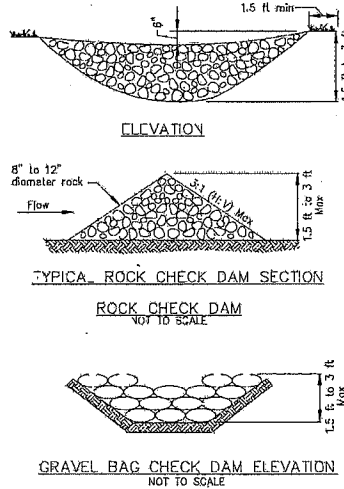
FIGURE 4. TYPICAL TEMPORARY SEDIMENT BASIN MULTIPLE OBJECTS DESIGN NOT TO SCALE

SEDIMENT BASIN
SCALE: NOT TO SCALE

2

Check Dams

SE-4

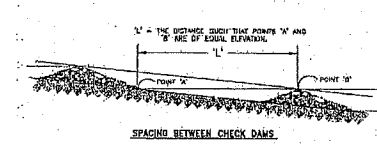


GRAVEL BAG CHECK DAM ELEVATION NOT TO SCALE

CHECK DAMS
SCALE: NOT TO SCALE

Check Dams

SE-4



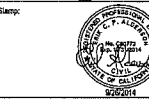
SPACING BETWEEN CHECK DAMS

3



323-325 OCTAVIA STREET & 400 LAGUNA STREET
 SAN FRANCISCO, CA 94107
 (BLOCK 031/LOT 023)
AVALON HAYES VALLEY PARCEL P

SITE PERMIT SET	10/20/12
STREET IMPROVEMENT SUBMITTAL	11/10/12
DESIGN DEVELOPMENT PERMIT SET	11/20/12
DESIGN DEVELOPMENT FINAL SET	01/20/13
SITE PERMIT FULCRUM/ALTA	01/20/13
SOX CD SET	02/15/13
MAJOR ENCROACHMENT PERMIT	02/15/13
SITE PERMIT ADDENDUM #1	02/15/13
SITE PERMIT ADDENDUM #2	02/15/13
SITE PERMIT ADDENDUM #3	04/01/13
SOX PERM CD SET	04/01/13
BB ADDENDUM #1	04/05/13
CIVIL ADDENDUM	05/20/13
SP WATER PERMIT	07/10/13
SEWER, WATER & UT REVISION	08/20/13
OAK STREET REVISIONS	02/20/14
GRADING CORRECTIONS	04/02/14
SP/OW COMMENTS REV.	03/10/14
LAGUNA ST. REVISIONS	05/09/14
87PUC COMMENTS REV.	06/20/14



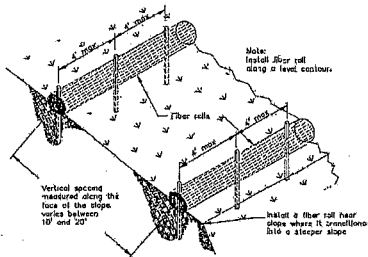
Client:
AVALON BAY COMMUNITIES
 455 MARKET STREET, SUITE 1650
 SAN FRANCISCO, CA 94105

Job Number: 1019
 Drawn by: EA
 Checked by: XL
 Date: SEPT. 8, 2014
 Scale: AS SHOWN

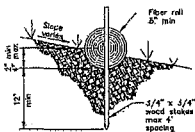
Title:
 EROSION CONTROL
 DETAILS - SHEET 1

Sheet:
C6.3

Fiber Rolls SE-5



TYPICAL FIBER ROLL INSTALLATION
N.T.S.

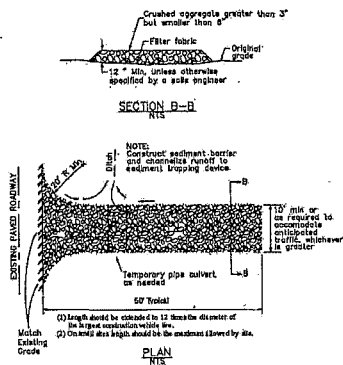


ENTRENCHMENT DETAIL
N.T.S.

July 2012 California Stormwater BMP Handbook Part 1 Construction www.casq.org 5 of 8

FIBER ROLLS (4)
SCALE: NOT TO SCALE

Stabilized Construction Entrance/Exit TC-1

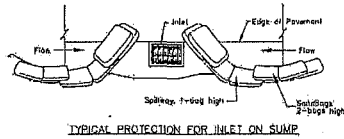


PLAN
N.T.S.

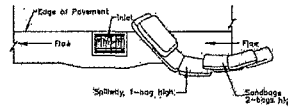
July 2012 California Stormwater BMP Handbook Construction www.casq.org 5 of 8

STABILIZED CONSTRUCTION ENTRANCE/EXIT (7)
SCALE: NOT TO SCALE

SE-10 Storm Drain Inlet Protection



TYPICAL PROTECTION FOR INLET ON SUMP



TYPICAL PROTECTION FOR INLET ON GRADE

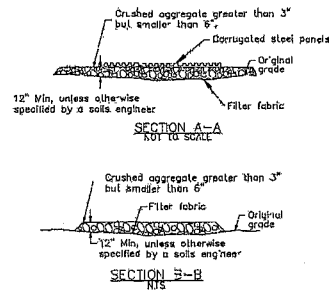
- NOTES:
1. Blended for short-term use.
 2. Use to inhibit non-storm water flow.
 3. Allow for proper maintenance and cleanup.
 4. Sills must be removed after adjacent operation is completed.
 5. Not applicable to areas with high winds and deep without flow barrier.

DI PROTECTION TYPE 3
NOT TO SCALE

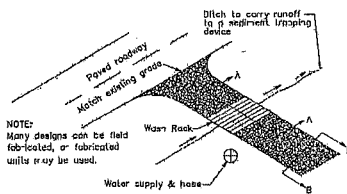
8 of 9 California Stormwater BMP Handbook Construction www.casq.org January 2003

STORM DRAIN INLET PROTECTION (5)
SCALE: NOT TO SCALE

Entrance/Outlet Tire Wash TC-3



SECTION B-B
N.T.S.

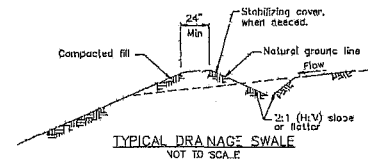


TYPICAL TIRE WASH
NOT TO SCALE

January 2003 California Stormwater BMP Handbook Construction www.casq.org 3 of 3

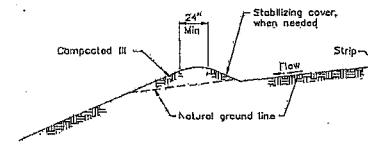
ENTRANCE/OUTLET TIRE WASH (8)
SCALE: NOT TO SCALE

Earth Dikes and Drainage Swales EC-9



TYPICAL DRAINAGE SWALE
NOT TO SCALE

- NOTES:
1. Stabilize inlet, outlets and slopes.
 2. Properly compact the subgrade.



TYPICAL EARTH DIKE
NOT TO SCALE

November 2009 California Stormwater BMP Handbook Construction www.casq.org 7 of 7

EARTH DIKES AND DRAINAGE SWALES (6)
SCALE: NOT TO SCALE



5 Franklin Street
San Francisco, California 94107
415.777.2186 p | 415.777.2187 f
www.agsinc.com

223-125 OCTAVIA STREET & 400 LAGUNA STREET
SAN FRANCISCO, CA 94102
(BLOCK 0833/LOT 023)

AVALON HAYES VALLEY PARCEL P

SITE PERMIT SET	11/20/12
STREET IMPROVEMENT SUBMITTAL	11/20/12
DESIGN DEVELOPMENT FILING SET	11/20/12
DESIGN DEVELOPMENT FINAL SET	01/10/13
SITE PERMIT RESUBMITTAL	01/10/13
30% CD SET	01/10/13
MAJOR ENCROACHMENT PERMIT	01/10/13
SITE PERMIT ADDENDUM #1	01/10/13
SITE PERMIT ADDENDUM #2	02/25/13
CDP 10% CD SET	04/10/13
CD ADDENDUM #1	04/23/13
CD ADDENDUM #2	06/28/13
SF WATER PERMIT	07/10/13
SEWER HAZEL & IT PERM	08/20/13
CD STREET REVISIONS	02/04/14
GRADING CORRECTIONS	04/02/14
SFPW COMMENTS REV.	03/18/14
LAGUNA ST. REVISIONS	10/29/14
SFPW COMMENTS REV.	06/10/14

Client:
AVALON BAY COMMUNITIES
455 MARKET STREET, SUITE 1450
SAN FRANCISCO, CA 94105

Job Number: 1018
Drawn by: EA
Checked by: XL
Date: SEPT. 8, 2014
Scale: AS SHOWN

Title:
EROSION CONTROL
DETAILS - SHEET 2

Sheet:

C6.4

BOARD of SUPERVISORS



City Hall
Dr. Carlton B. Goodlett Place, Room 244
San Francisco 94102-4689
Tel. No. 554-5184
Fax No. 554-5163
TDD/TTY No. 554-5227

MEMORANDUM

TO: John Rahaim, Director, Planning Department
Joanne Hayes-White, Chief, Fire Department
Harlan Kelly Jr., General Manager, Public Utilities Commission
Tom Hui, Director, Department of Building Inspection
Ben Rosenfield, City Controller

FROM: Andrea Ausberry, Assistant Clerk, Land Use and Economic Development
Committee, Board of Supervisors

DATE: October 30, 2014

SUBJECT: LEGISLATION INTRODUCED

The Board of Supervisors' Land Use and Economic Development Committee has received the following proposed legislation, introduced by Supervisor Breed on October 21, 2014:

File No. 141034

Resolution granting revocable permission to Avalon Bay Communities to occupy a portion of the public right-of-way to construct and maintain improvements within Hickory Street between Octavia and Laguna Streets fronting 307-323-325 Hickory Street (Assessor's Block No. 0831; Lot No. 023), and making environmental findings, and findings of consistency with the General Plan, and the eight priority policies of Planning Code, Section 101.1.

If you have any additional comments or reports to be included with the file, please forward them to me at the Board of Supervisors, City Hall, Room 244, 1 Dr. Carlton B. Goodlett Place, San Francisco, CA 94102.

c: AnMarie Rodgers, Planning Department
Aaron Starr, Planning Department
Kelly Alves, Secretary, Fire Department
Juliet Ellis, Public Utilities Commission
Donna Hood, Public Utilities Commission
Carolyn Jayin, Building Inspection
Monique Zmuda, Deputy City Controller

Introduction Form

By a Member of the Board of Supervisors or the Mayor

RECEIVED
BOARD OF SUPERVISORS
SAN FRANCISCO
2014 OCT 14 AM 4:04
Time stamp
or meeting date

I hereby submit the following item for introduction (select only one):

- 1. For reference to Committee. (An Ordinance, Resolution, Motion, or Charter Amendment)
- 2. Request for next printed agenda Without Reference to Committee.
- 3. Request for hearing on a subject matter at Committee.
- 4. Request for letter beginning "Supervisor [redacted] inquires"
- 5. City Attorney request.
- 6. Call File No. [redacted] from Committee.
- 7. Budget Analyst request (attach written motion).
- 8. Substitute Legislation File No. [redacted]
- 9. Reactivate File No. [redacted]
- 10. Question(s) submitted for Mayoral Appearance before the BOS on [redacted]

Please check the appropriate boxes. The proposed legislation should be forwarded to the following:

- Small Business Commission
- Youth Commission
- Ethics Commission
- Planning Commission
- Building Inspection Commission

Note: For the Imperative Agenda (a resolution not on the printed agenda), use a Imperative Form.

Sponsor(s):

Breed

Subject:

Street Encroachment at Hickory Street frontage of 307-323-325 Octavia Street.]

The text is listed below or attached:

Resolution granting revocable permission to Avalon Bay Communities to occupy a portion of the public right-of-way to construct and maintain improvements within Hickory Street between Octavia Street and Laguna Streets fronting 307-323-325 Hickory Street (Assessor's Block No. 0831, Lot No. 023) and making findings of consistency with the priority policies of Planning Code Section 101.1.

Signature of Sponsoring Supervisor: London Breed

For Clerk's Use Only: