



PLANNING COMMISSION MOTION NO. 21278

HEARING DATE: MARCH 16, 2023

Record No.: 2022-011241CUA
Project Address: 301 Toland Street
Zoning: PDR-2 (Production, Distribution and Repair) Zoning District
80-E Height and Bulk District
Cultural District: African American Arts & Cultural District
Block/Lot: 5264 / 049
Project Sponsor: John Kevlin
One Bush Street, Suite 600
San Francisco, CA 94104
Property Owner: Elevate Pro LLC
1800 Sutter Street, Suite 400
San Francisco, CA 94117
Staff Contact: Laura Ajello- 628-652-7353
Laura.Ajello@sfgov.org

Project Description

The Project would convert a portion, approximately 21,200 square feet, of the existing 108,000 square-foot building from wholesale sales/storage use to Private Parking Garage use. The garage would provide 44 parking spaces to be used as employee parking for Waymo's existing automotive maintenance site at 201 Toland Street. The proposal includes interior modifications to create an employee break room, security office, meeting room, and restrooms. Exterior alterations are limited to the replacement of one roll-up door with a larger roll-up door that extends to grade.

Required Commission Action

In order for the Project to proceed, the Commission must grant a Conditional Use Authorization, pursuant to Planning Code Sections 210.3 and 303 to allow the change of use and minor exterior alterations to an industrial building with the in the PDR-2 Zoning District and 80-E Height and Bulk District.

Environmental Review

The Project is exempt from the California Environmental Quality Act ("CEQA") as a Common Sense Exemption.

Decision

Based upon information set forth in application materials submitted by the project sponsor and available in the case file (which is incorporated herein by reference as though fully set forth) and based upon the findings below, the Commission hereby **APPROVES Conditional Use Authorization (CUA) No. 2022-011241CUA** subject to conditions contained in the attached “EXHIBIT A” and in general conformance with plans on file, dated February 28, 2023, and stamped “EXHIBIT B.”

Additional Information	
Notification Period	02/24/23 – 03/15/23 (20 days mailing, newspaper, online, and posted).
Number and Nature of Public Comments Received	Department staff have not received any public comment regarding the Project since the Application’s initial filing. The project was reviewed by the Bayview Hunters Point Citizen’s Advisory Committee (CAC) on February 1, 2023 meeting, and the CAC voted and gave a positive recommendation for the project upon the condition that the applicant return to the CAC with periodic updates
Any Additional Planning Code Findings §303(t)(1) findings for Conditional Uses	<p>Planning Code Section 303(t)(1) establishes criteria, considerations and procedures for non-accessory parking facilities. On balance, the Project does comply with said criteria applicable to all districts in that:</p> <p>A. Demonstration that trips to the use or uses to be served, and the apparent demand for additional parking, cannot be satisfied by the amount of parking classified by this Code as accessory, by transit service which exists or is likely to be provided in the foreseeable future, by carpool arrangements, by more efficient use of existing on-street and off-street parking available in the area, and by other means;</p> <p><i>The project is a partial conversion of an existing industrial building to provide employee parking for the Waymo’s fleet maintenance facility, located directly across the street, at 201 Toland Street. The fleet maintenance facility at 201 Toland Street is in operation 24 hours a day and has approximately 300 employees across three overlapping shifts. The 29 parking spaces provided on-site does not provide enough accessory parking to accommodate employees, especially for night shifts. Currently, employees use the limited on-street parking which is heavily used by employees or surrounding businesses. There are no public parking lots within walking distance of the site, with the closest being approximately 0.5 miles. Although the Project Sponsor does provide transit reimbursement to employees, the neighborhood is not well served by transit and is not available during early morning hours. .</i></p> <p>B. Demonstration that the apparent demand for additional parking cannot be satisfied by the provision by the applicant of one or more car-share parking spaces in addition to those that may already be required by Section 166 of this Code;</p> <p><i>Employees need to drive to the site and leave their car at the site throughout their shift. Car share spaces (although not present) would not accommodate this need.</i></p> <p>C. The absence of potential detrimental effects of the proposed parking upon the surrounding area, especially through unnecessary demolition of sound structures, contribution to traffic congestion, or disruption of or conflict with transit services, walking, and cycling;</p>

	<p><i>The Project does not propose the demolition of the industrial building, allowing that it can be repurposed in the future should the parking garage cease operation, The Project does not propose to alter curb cuts or change access patterns from the existing configuration. All employee parking will be located within an existing building, and therefore no visual impacts will occur. The area does not have high traffic, and has very limited transit services.</i></p> <p>D. In the case of uses other than housing, limitation of the proposed parking to short-term occupancy by visitors rather than long-term occupancy by employees; and <i>The Project involves the change in use to provide employee parking.</i></p> <p>E. Availability of the proposed parking to the general public at times when such parking is not needed to serve the use or uses for which it is primarily intended. <i>As the Waymo fleet maintenance facility is in operation 24 hours a day the parking would not be open to the public and the associated use does not attract significant visitor traffic in need of parking.</i></p>
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Generalized Basis for Approval

The Commission finds that this Project is necessary, desirable for, and compatible with the surrounding neighborhood as follows, and as set forth in Sections 210.3 and 303, and findings submitted as part of the application. The proposed use and character are compatible with the surrounding area and is on balance with the General Plan and Use District. Conditional Use approval to convert a portion of the existing building from wholesale sales/storage use to Private Parking Garage use would occupy a vacant warehouse space, free up on-street parking and support an existing Light Manufacturing use. Department staff believes the Project would be desirable for and compatible with the surrounding neighborhood and recommends Approval with Conditions.

I hereby certify that the Planning Commission ADOPTED the foregoing Motion on March 16, 2023.

AYES: Braun, Diamond, Fung, Koppel, Moore, Tanner
 NAYS: None
 ABSENT: Ruiz
 ADOPTED: March 16, 2023



Jonas P. Iohin
Commission Secretary

APPEAL AND EFFECTIVE DATE OF MOTION: Any aggrieved person may appeal this Conditional Use Authorization to the Board of Supervisors within thirty (30) days after the date of this Motion. The effective date of this Motion shall be the date of this Motion if not appealed (after the 30-day period has expired) OR the date of the decision of the Board of Supervisors if appealed to the Board of Supervisors.

PROTEST OF FEE OR EXACTION: You may protest any fee or exaction subject to Government Code Section 66000 that is imposed as a condition of approval by following the procedures set forth in Government Code Section 66020. The protest must satisfy the requirements of Government Code Section 66020(a) and must be filed within 90 days of the date of the first approval or conditional approval of the development referencing the challenged fee or exaction. For purposes of Government Code Section 66020, the date of imposition of the fee shall be the date of the earliest discretionary approval by the City of the subject development. If the City has not previously given Notice of an earlier discretionary approval of the project, the Planning Commission’s adoption of this Motion, Resolution, Discretionary Review Action or the Zoning Administrator’s Variance Decision Letter constitutes the approval or conditional approval of the development and the City hereby gives NOTICE that the 90-day protest period under Government Code Section 66020 has begun. If the City has already given Notice that the 90-day approval period has begun for the subject development, then this document does not re-commence the 90-day approval period.

EXHIBIT A

Authorization

This authorization is for a conditional use to allow the change of use from wholesale sales/storage use to Private Parking Garage use located at 301 Toland St, Block 5264 Lot 049 pursuant to Planning Code Sections 210.3 and 303 within the PDR-2 Zoning District and a 80-E Height and Bulk District; in general conformance with plans, dated February 28, 2023, and stamped “EXHIBIT B” included in the docket for Record No. 2022-011241CUA and subject to conditions of approval reviewed and approved by the Commission on March 16, 2023 under Motion No. **21278**. This authorization and the conditions contained herein run with the property and not with a particular Project Sponsor, business, or operator.

Recordation of Conditions of Approval

Prior to the issuance of the building permit or commencement of use for the Project the Zoning Administrator shall approve and order the recordation of a Notice in the Official Records of the Recorder of the City and County of San Francisco for the subject property. This Notice shall state that the project is subject to the conditions of approval contained herein and reviewed and approved by the Planning Commission on March 16, 2023, under Motion No. **21278**.

Printing of Conditions of Approval on Plans

The conditions of approval under the 'Exhibit A' of this Planning Commission Motion No. **21278** shall be reproduced on the Index Sheet of construction plans submitted with the site or building permit application for the Project. The Index Sheet of the construction plans shall reference to the Conditional Use authorization and any subsequent amendments or modifications.

Severability

The Project shall comply with all applicable City codes and requirements. If any clause, sentence, section or any part of these conditions of approval is for any reason held to be invalid, such invalidity shall not affect or impair other remaining clauses, sentences, or sections of these conditions. This decision conveys no right to construct, or to receive a building permit. “Project Sponsor” shall include any subsequent responsible party.

Changes and Modifications

Changes to the approved plans may be approved administratively by the Zoning Administrator. Significant changes and modifications of conditions shall require Planning Commission approval of a new Conditional Use authorization.

CONDITIONS OF APPROVAL, COMPLIANCE, MONITORING, AND REPORTING

Performance

- 1. Validity.** The authorization and right vested by virtue of this action is valid for three (3) years from the effective date of the Motion. The Department of Building Inspection shall have issued a Building Permit or Site Permit to construct the project and/or commence the approved use within this three-year period.

For information about compliance, contact Code Enforcement, Planning Department at 628.652.7463, www.sfplanning.org

- 2. Expiration and Renewal.** Should a Building or Site Permit be sought after the three (3) year period has lapsed, the project sponsor must seek a renewal of this Authorization by filing an application for an amendment to the original Authorization or a new application for Authorization. Should the project sponsor decline to so file, and decline to withdraw the permit application, the Commission shall conduct a public hearing in order to consider the revocation of the Authorization. Should the Commission not revoke the Authorization following the closure of the public hearing, the Commission shall determine the extension of time for the continued validity of the Authorization.

For information about compliance, contact Code Enforcement, Planning Department at 628.652.7463, www.sfplanning.org

- 3. Diligent Pursuit.** Once a site or Building Permit has been issued, construction must commence within the timeframe required by the Department of Building Inspection and be continued diligently to completion. Failure to do so shall be grounds for the Commission to consider revoking the approval if more than three (3) years have passed since this Authorization was approved.

For information about compliance, contact Code Enforcement, Planning Department at 628.652.7463, www.sfplanning.org

- 4. Extension.** All time limits in the preceding three paragraphs may be extended at the discretion of the Zoning Administrator where implementation of the project is delayed by a public agency, an appeal or a legal challenge and only by the length of time for which such public agency, appeal or challenge has caused delay.

For information about compliance, contact Code Enforcement, Planning Department at 628.652.7463, www.sfplanning.org

- 5. Conformity with Current Law.** No application for Building Permit, Site Permit, or other entitlement shall be approved unless it complies with all applicable provisions of City Codes in effect at the time of such approval.

For information about compliance, contact Code Enforcement, Planning Department at 628.652.7463, www.sfplanning.org

Design – Compliance at Plan Stage

- 6. Final Materials.** The Project Sponsor shall continue to work with Planning Department on the building design. Final materials, glazing, color, texture, landscaping, and detailing shall be subject to Department staff review and approval. The architectural addenda shall be reviewed and approved by the Planning Department prior to issuance.

For information about compliance, contact the Case Planner, Planning Department at 628.652.7331, www.sfplanning.org

Monitoring - After Entitlement

- 7. Community Outreach.** Project Sponsor shall return to the Bayview Hunters Point Citizen’s Advisory Committee (CAC) within six (6) months to make a presentation on operations at the site, impacts and mitigations for the neighborhood, and reduction of negative externalities. The Project Sponsor shall return to the CAC to make a report on an annual basis thereafter.

For information about compliance, contact Code Enforcement, Planning Department at 628.652.7463, www.sfplanning.org

- 8. Enforcement.** Violation of any of the Planning Department conditions of approval contained in this Motion or of any other provisions of Planning Code applicable to this Project shall be subject to the enforcement procedures and administrative penalties set forth under Planning Code Section 176 or Section 176.1. The Planning Department may also refer the violation complaints to other city departments and agencies for appropriate enforcement action under their jurisdiction.

For information about compliance, contact Code Enforcement, Planning Department at 628.652.7463, www.sfplanning.org

- 9. Revocation due to Violation of Conditions.** Should implementation of this Project result in complaints from interested property owners, residents, or commercial lessees which are not resolved by the Project Sponsor and found to be in violation of the Planning Code and/or the specific conditions of approval for the Project as set forth in Exhibit A of this Motion, the Zoning Administrator shall refer such complaints to the Commission, after which it may hold a public hearing on the matter to consider revocation of this authorization.

For information about compliance, contact Code Enforcement, Planning Department at 628.652.7463, www.sfplanning.org

Operation

- 10. Sidewalk Maintenance.** The Project Sponsor shall maintain the main entrance to the building and all sidewalks abutting the subject property in a clean and sanitary condition in compliance with the Department of Public Works Streets and Sidewalk Maintenance Standards.

For information about compliance, contact Bureau of Street Use and Mapping, Department of Public Works at 628.271.2000, www.sfpublicworks.org.

11. Community Liaison. Prior to issuance of a building permit to construct the project and implement the approved use, the Project Sponsor shall appoint a community liaison officer to deal with the issues of concern to owners and occupants of nearby properties. The Project Sponsor shall provide the Zoning Administrator and all registered neighborhood groups for the area with written notice of the name, business address, and telephone number of the community liaison. Should the contact information change, the Zoning Administrator and registered neighborhood groups shall be made aware of such change. The community liaison shall report to the Zoning Administrator what issues, if any, are of concern to the community and what issues have not been resolved by the Project Sponsor.

For information about compliance, contact Code Enforcement, Planning Department at 628.652.7463, www.sfplanning.org

PROJECT DIRECTORY

WAYMO

301 TOLAND STREET
 SAN FRANCISCO, CALIFORNIA 94124
 (For Planning Department Review Only)

ARCHITECT
WARE MALCOMB
 360 PINE STREET
 2ND FLOOR
 SAN FRANCISCO CA 94104
 PRIMARY CONTACT : LACI DERKS
 PH: 415.432.6020
 EMAIL: ilderks@waremalcomb.com

BUILDING OWNER
WAYMO
 100 MAYFIELD AVE,
 Mountain View, CA 94043
 PRIMARY CONTACT: Sam Vasili-Hadjitoffi
 EMAIL: svasili@waymo.com

CONSULTANTS

STRUCTURAL ENGINEER
 ZFA Structural Engineers
 601 Montgomery St.
 Suite 1450
 PRIMARY CONTACT: Joey Williams
 EMAIL: joeyw@zfa.com

STRUCTURAL ENGINEER
 DESIGN
 Heating & Air Conditioning
 1430 Tully RD. #415
 PRIMARY CONTACT: Ryan Pun
 EMAIL: XXX@XXX.XXX

ELECTRICAL
 CBF ELECREIC @ DATA
 675 Davis St,
 San Francisco, CA 94111
 PRIMARY CONTACT: Stephen Sevilla
 EMAIL: stephen.sevilla@cbfelectric.com

PLUMBING
 DLI Mechanical Piping Contractor
 898 Pennsylvania Ave.
 SAN FRANCISCO, CA 94107
 PRIMARY CONTACT: JOE PAGE
 EMAIL: 650.551.1200

BUILDING OWNER

TENANT
 WAYMO
 201 TOLAND ST
 SAN FRANCISCO CA 94124
 PRIMARY CONTACT: Sam Vasili-Hadjitoffi
 EMAIL: svasili@waymo.com

TENANT (CONSTRUCTION MANAGER)
 CBRE
 415 MISSION STREET
 SUITE 4600,
 PRIMARY CONTACT: +1 541 760 7355
 EMAIL: brandon.murphy@cbre.com

PROJECT DESCRIPTION & SCOPE

PROJECT DESCRIPTION:
 SCOPE OF WORK IS A SECOND GENERATION TENANT IMPROVEMENT VEHICLE PARKING GARAGE INCLUDING NEW VEHICLE RAMP, NEW EMPLOYEE BREAK ROOM, RESTROOMS AND SECURITY OFFICE. WORK TO INCLUDE NEW WALLS, MILLWORK, CEILINGS, FINISHES, PLUMBING, ELECTRICAL, AND HVAC.

[DEMOLITION INCLUDES: OPENING TO EXISTING EXTERIOR WALL FOR NEW GARAGE EGRESS RAMP ACCESS, ETC.
 [STRUCTURAL SCOPE INCLUDES: SUPORT AS REQUIRED FOR NEW HVAC EQUIPMENT, EXTERIOR AND CONCRETE SUPPORT AT OPENING FOR NEW RAMP AT BUILDING EXTERIOR, & BRACING REVIEW FOR NEW INTERIOR WALL GREATER THAN 30 FEET IN LENGTH.

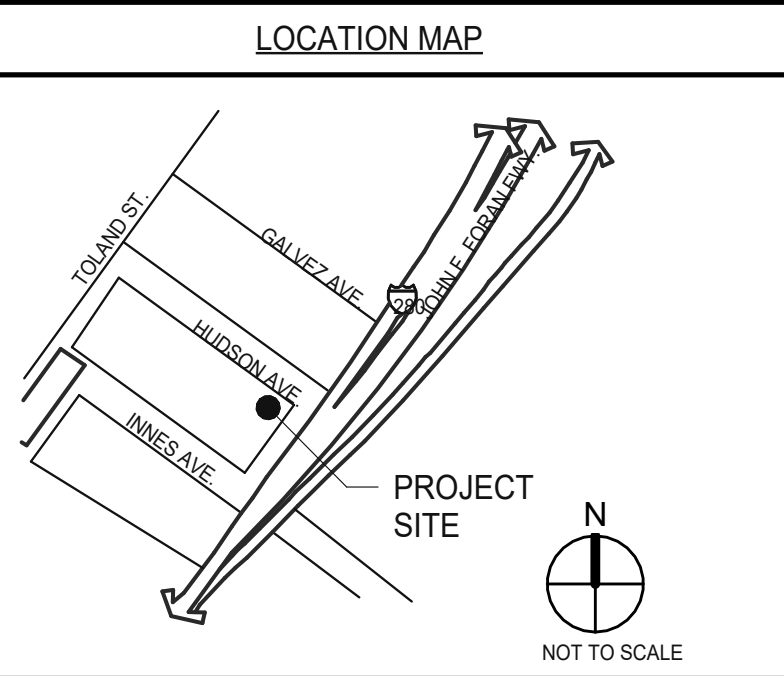
PARKING TO INCLUDE 42 PARKING STALLS AND 5 BACK RACKS.

OCC. CLASSIFICATION: B - BUSINESS. S-2/
 STORAGE. A-3/ASSEMBLY

SCOPE AREA(S):
 EXISTING: S-2 21,198 S.F.
 PROPOSED: BUSINESS (B) 1,402 S.F.
 ASSEMBLY (A-3) 3,148 S.F.
 WAREHOUSE (S-2) 16,648 S.F.
 TOTAL 21,198 S.F.

CHANGE IN USE: YES NO

		ISSUANCE		
		01/25/2023	02/03/2023	02/28/2023
SHEET ISSUED ON DATE INDICATED, WITH MODIFICATIONS		<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
SHEET ISSUED ON DATE INDICATED, NO MODIFICATIONS		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
ARCHITECTURAL				
I0.1	TITLE SHEET	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
I0.2	SITE PLAN	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
I1.0	EXISTING FLOOR PLAN	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
I1.1	DEMOLITION FLOOR PLAN	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
I1.2	DEMOLITION CEILING PLAN	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
I2.1	FLOOR PLAN	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
I4.1	REFLECTED CEILING PLAN	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
I6.3	EXTERIOR ELEVATIONS	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
I6.4	EXTERIOR ELEVATIONS	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
I6.5	EXTERIOR ELEVATIONS	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
ARCHITECTURAL SHEET COUNT: 10				
STRUCTURAL				
S0.1	GENERAL NOTES AND SPECIFICATIONS	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
S1.1	TYPICAL DETAILS	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
S2.1	PARTIAL FOUNDATION PLAN	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
S2.2	ROOFR PARTIAL FRAMING PLAN	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
S3.1	ELEVATION AND ENLARGED PLANS	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
S4.1	RAMP PARTIAL PLAN & SECTIONS	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
S4.2	DETAILS	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
ELECTRICAL SHEET COUNT: 7				
CIVIL				
C1.0	SITE PLAN - TOPOGRAPHICAL SURVEY	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
CIVIL SHEET COUNT: 1				



GENERAL CONTRACTOR
 DCi D'ville Construction Inc.
 360 Dardanelli Ln, Ste. 2B
 Los Gatos, CA 95032
 PRIMARY CONTACT: Nathan Drainville
 EMAIL: nathan.d@dvilleci.com

BUILDING CODE & INFORMATION

BUILDING DEPARTMENT:	CITY OF SAN FRANCISCO, CALIFORNIA	SEPARATIONS:	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	CBC TABLE 508.4
APPLICABLE BUILDING CODES:	2019 CALIFORNIA BUILDING CODE 2019 CALIFORNIA MECHANICAL CODE 2019 CALIFORNIA ELECTRICAL CODE 2019 CALIFORNIA PLUMBING CODE 2019 CALIFORNIA FIRE CODE (WITH LOCAL AMENDMENTS) 2019 STATE OF CALIFORNIA ENERGY CODE 2019 STATE OF CALIFORNIA GREEN BUILDING CODE 2019 STATE OF CALIFORNIA TITLE 24 ACCESSIBILITY STANDARDS	FIRE SPRINKLERS:	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO	
		FIRE ALARM:	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	
BUILDING TYPE:	V-B	ACCESSOR'S PARCEL #:	5264/049	
NUMBER OF STORIES:	1	BLOCK/LOT:	010	CBC 602
YEAR BUILT:	1942			
OCCUPANCY CLASS:	B (ACCESSORY TO S-2) , A-3, S-2			CBC CHAPTER 3

architecture
 planning
 interiors
 graphics
 civil engineering

WARE MALCOMB
 Leading Design for Commercial Real Estate

360 Pine Street, 2nd Floor
 San Francisco, CA 94104
 P 415.432.6020

PROJECT:
 WAYMO

JOB NUMBER:
 SFO22-6008-00

DATE:
 02/28/2023

SCALE:
 6" = 1'-0"

SHEET
 10.1

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HUDSON AVE

PROPERTY LINE

702

301 TOLAND

703

701

TOLAND ST

INNES AVE

SITE PLAN

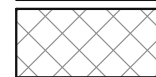
SCALE: 1" = 40'-0"

1

KEYNOTES:

- 701 EXISTING ACCESSIBLE RAMP AND ENTRY, SEE CIVIL FOR SLOPES, GRADE CHANGES.
- 702 EXISTING SIDEWALK.
- 703 EXISTING HIGHWAY COLUMNS.

LEGEND



INDICATES AREA NOT IN CONTRACT (N.I.C.)

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PROJECT:

WAYMO

JOB NUMBER:

SFO22-6008-00

DATE:

02/28/23

SCALE:

As indicated

SHEET

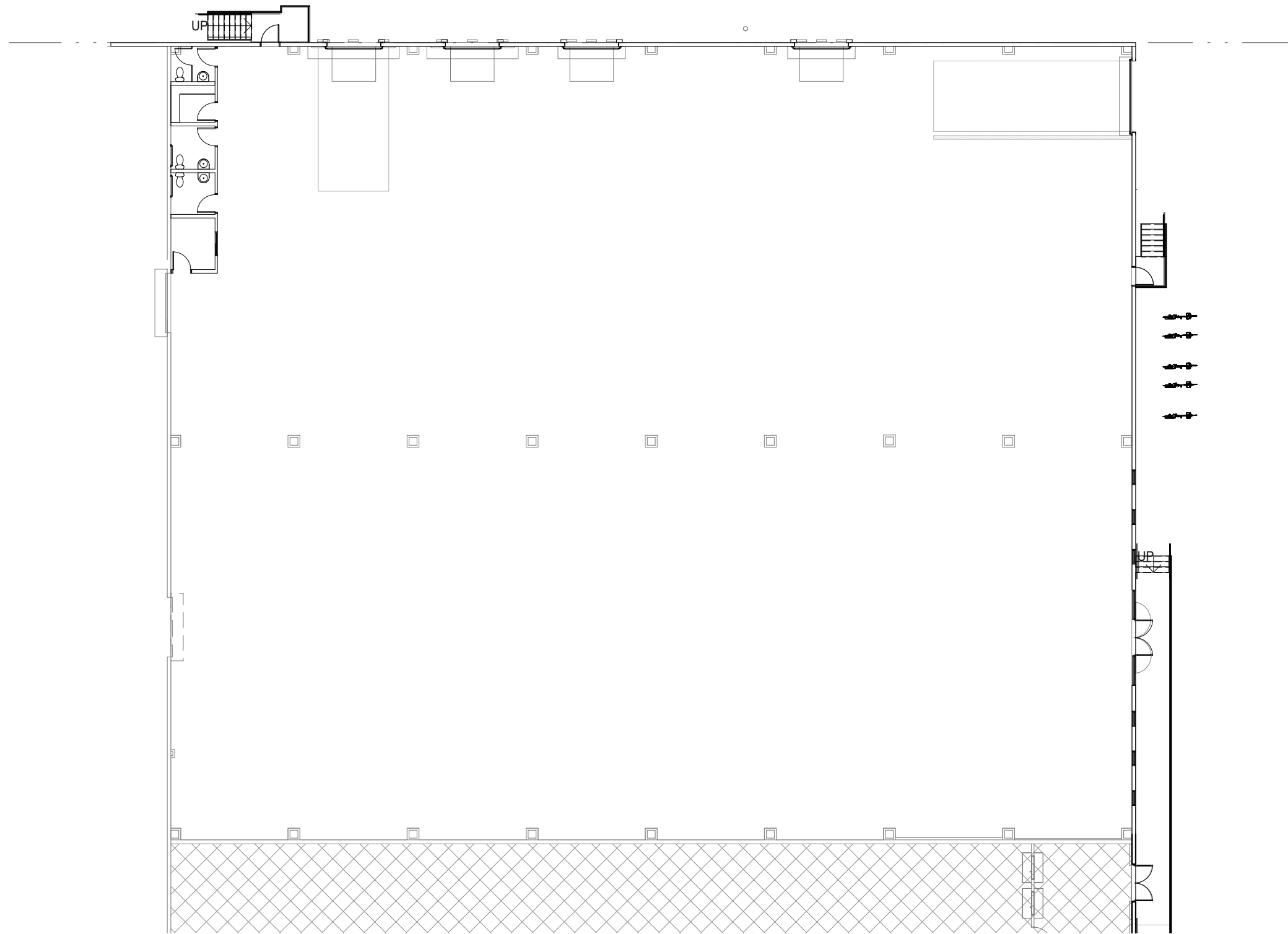
10.2

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GENERAL NOTES

SEE SHEETS 10.1 FOR GENERAL NOTES

- THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS AND NOTIFY THE ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES OR CONFLICTS THAT MIGHT ARISE.



EXISTING OVERALL FLOOR PLAN

SCALE: 1" = 20'-0"

1

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San Francisco, CA 94104
P 415.432.6020

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PROJECT:

WAYMO

JOB NUMBER:

SFO22-6008-00

DATE:

02/28/2023

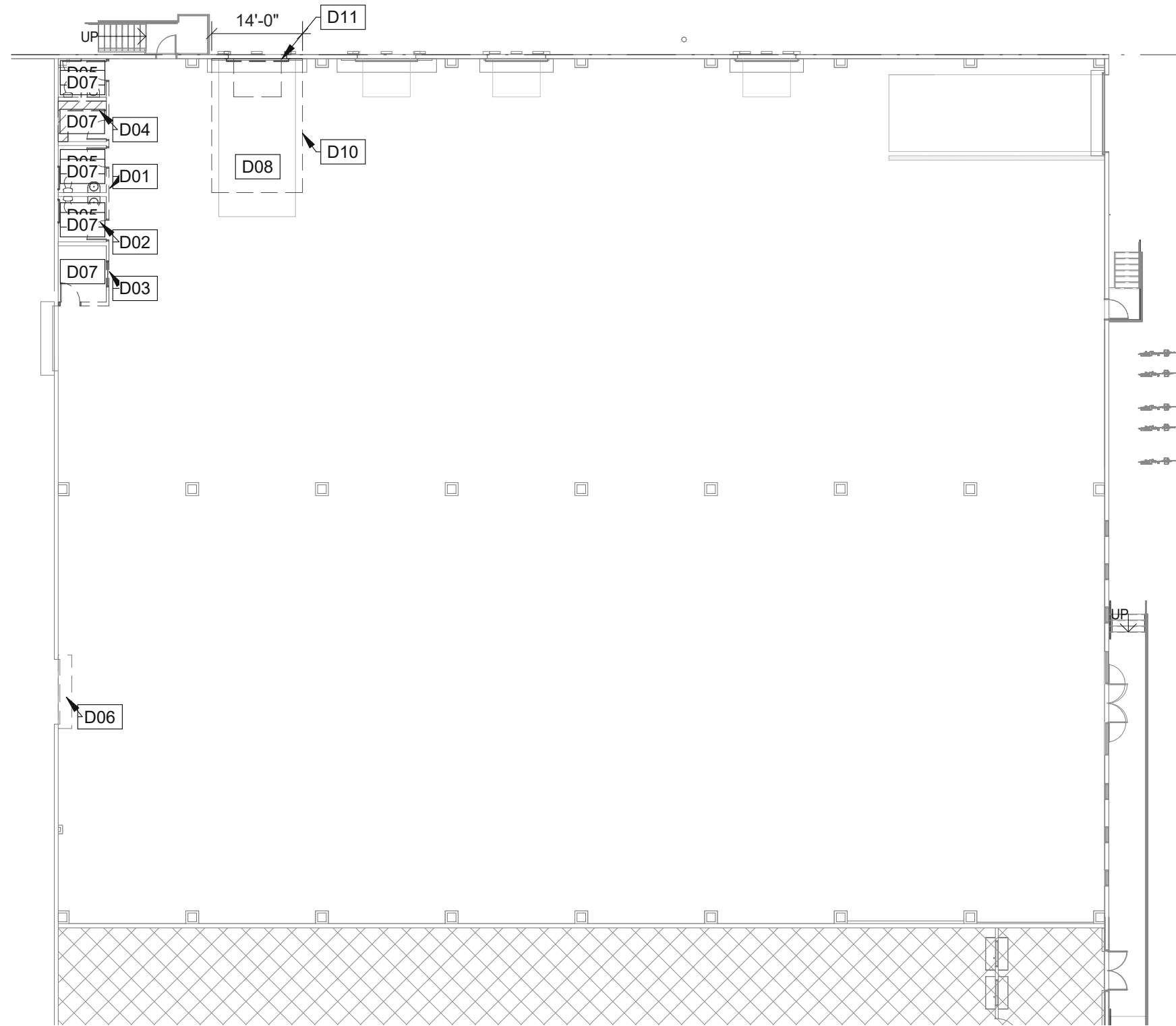
SCALE:

1" = 20'-0"

SHEET

11.0

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DEMOLITION FLOOR PLAN

SCALE: 1" = 20'-0"

1

GENERAL NOTES

SEE SHEETS 10.1 FOR GENERAL NOTES

- THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS AND NOTIFY THE ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES OR CONFLICTS THAT MIGHT ARISE.

DEMOLITION FLOOR PLAN NOTES

- D01 REMOVE PARTITIONS AND RELATED ELECTRICAL OUTLETS AS INDICATED. TERMINATE ELECTRICAL LINES BACK TO POINT OF ORIGIN.
- D02 REMOVE DOOR ASSEMBLY.
- D03 REMOVE INTERIOR WINDOW ASSEMBLY.
- D04 REMOVE EXISTING MILLWORK.
- D05 REMOVE PLUMBING FIXTURES, RESTROOM PARTITIONS AND ACCESSORIES. CAP PLUMBING AS REQUIRED.
- D06 REMOVE EXISTING ROLL-UP DOOR. INFILL TO MATCH ADJACENT CONSTRUCTION.
- D07 REMOVE ALL FLOOR FINISHES THROUGHOUT. PREP FOR NEW FLOOR FINISHES. LEVEL TO MATCH OPEN SPACE FLOOR LEVEL.
- D08 DEMOLISH EXISTING CONCRETE SLAB AS REQUIRED FOR NEW AUTO RAMP AT THIS LOCATION. SLOPE INTENDED TO BE 15% MAXIMUM. GC TO COORDINATE WITH STRUCTURAL ENGINEER FOR EXTENT OF DEMOLITION AS REQUIRED FOR NEW STRUCTURAL WORK AT THIS LOCATION.
- D10 EXISTING LIGHTING FIXTURE TO BE REMOVED.
- D11 REMOVE EXISTING ROLL-UP DOOR.

LEGENDS

WALLS

- EXISTING WALL TO REMAIN
- EXISTING CONSTRUCTION TO BE DEMOLISHED

DOORS

- OR EXISTING DOOR, FRAME AND HARDWARE TO REMAIN, U.O.N.
- EXISTING DOUBLE DOOR, FRAME AND HARDWARE TO REMAIN, U.O.N.

DEMOLITION CEILING PLAN NOTES

SEE SHEETS **10.1** FOR GENERAL NOTES

- THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS AND NOTIFY THE ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES OR CONFLICTS THAT MIGHT ARISE.

KEYNOTES:

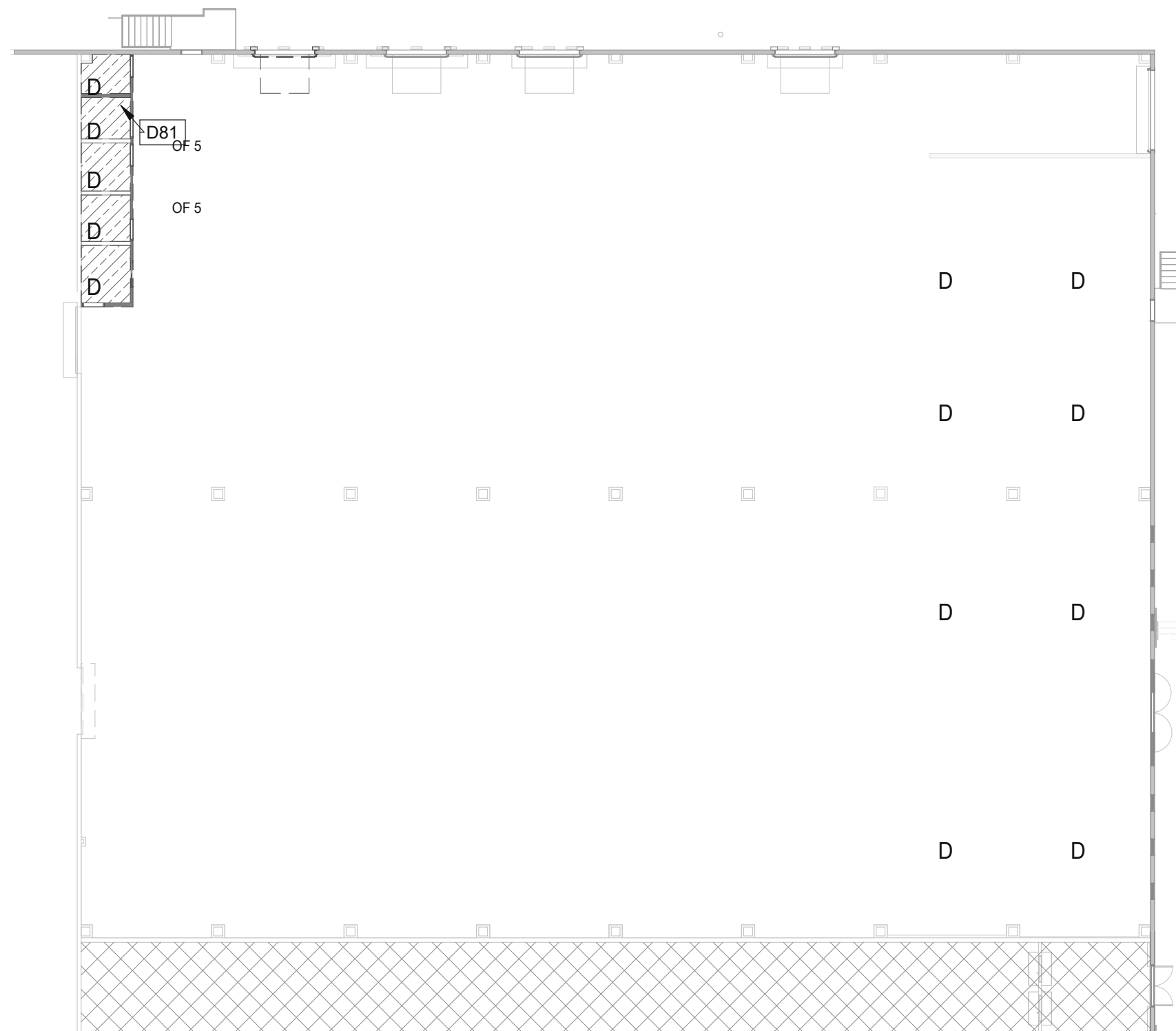


D81 REMOVE EXISTING GYPSUM BOARD CEILING IN THIS ROOM/AREA.

LEGENDS

DEMOLITION CEILING PLAN

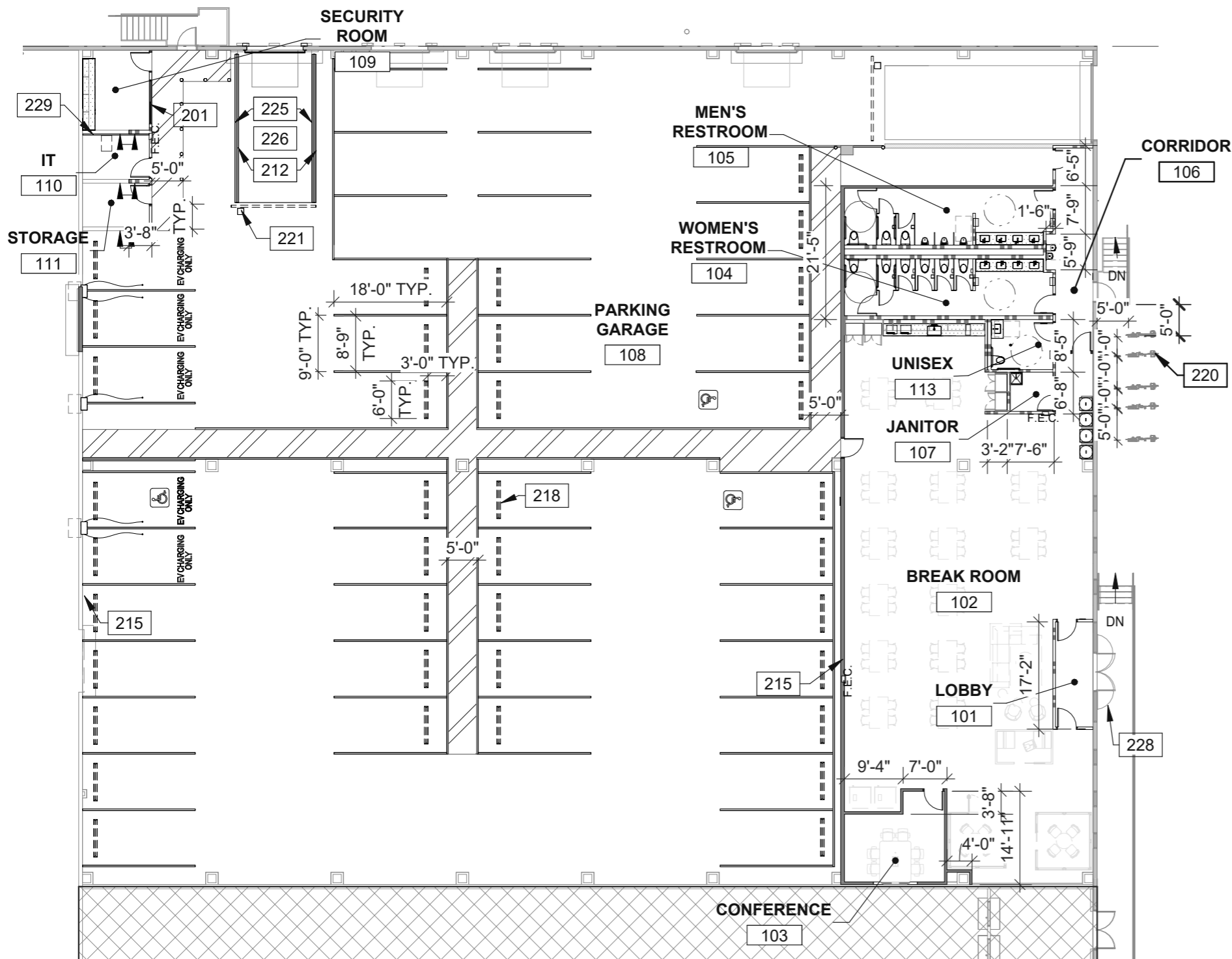
- EXISTING 1'x4' SURFACE-MOUNTED LIGHT FIXTURE TO BE REMOVED.
- EXISTING 1'x2' SUSPENDED LIGHT FIXTURE TO BE REMOVED.
- EXISTING 1'x2' SUSPENDED LIGHT FIXTURE LENS TO REMAIN.



DEMOLITION CEILING PLAN

SCALE: 1" = 20'-0"

1



PARTIAL FLOOR PLAN

SCALE: 1" = 20'-0"

1

FLOOR PLAN NOTES

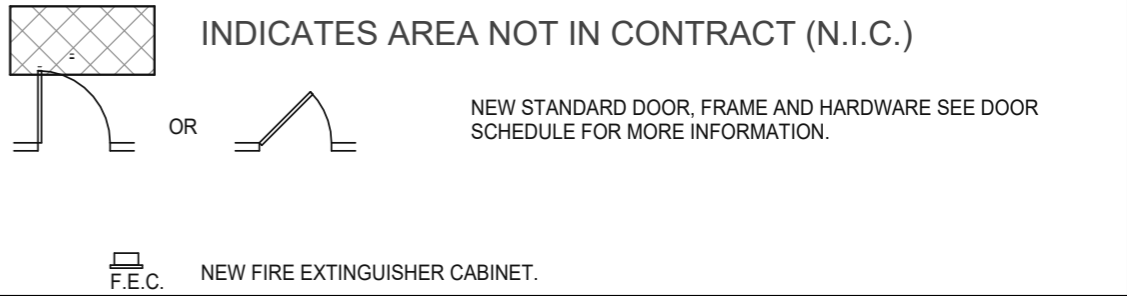
SEE SHEETS 10.1 FOR GENERAL NOTES

1. THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS AND NOTIFY THE ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES OR CONFLICTS THAT MIGHT ARISE.
2. CONTRACTOR SHALL NOTIFY ARCHITECT TO PERFORM AN ON-SITE REVIEW ONCE ALL PARTITIONS HAVE BEEN LAID OUT, PRIOR TO ERECTING THE PARTITIONS, AND ADDRESS ANY DISCREPANCIES WITH DIMENSIONS SHOWN ON THE CONTRACT DOCUMENTS.
3. ALL METAL WALL STUDS TO BE 3-5/8" DEPTH - GAUGE AND SPACING PER L/240 SPAN TABLE, ON THE FRAMING DETAILS SHEET, U.O.N.
4. ALL RESTROOM WALL STUDS AT SINGLE-STUD RESTROOM WET-WALLS TO BE MINIMUM 6" DEEP, AND FULLY INSULATED WITH R-13 UNFACED FIBERGLASS INSULATION (OR EQUIVALENT), U.O.N.
5. ALL NEW INTERIOR PARTITIONS TO BE FULLY INSULATED WITH A MINIMUM OF R-11 UNFACED FIBERGLASS INSULATION (OR EQUIVALENT), U.O.N.
6. DRYWALL GYPSUM BOARD SHALL BE FINISHED AS FOLLOWS, U.O.N. REFER TO GYPSUM ASSOCIATION PUBLICATION, GA-214 (<https://www.certainteed.com/drywall/what-are-recommended-levels-finish/>):
 - a. FOR PLENUM AND NON-VISIBLE AREAS - LEVEL-1. AREAS WITH OPEN-CEILINGS OR CLOUDS TO BE FINISHED AS FOR VISIBLE PARTITIONS.
 - b. BEHIND WALL TILE - LEVEL-2
 - c. ALL VISIBLE PARTITION SURFACES - LEVEL 4, UNLESS NOTED AS LEVEL-5 BY OTHER NOTES OR KEYED NOTE.
7. PROVIDE DRYWALL EXPANSION & CONTROL JOINTS PER "WALL AND CEILING BUREAU" (WCB) STANDARDS. PROVIDE SHOP DRAWINGS FOR REVIEW PRIOR TO INSTALLATION.
8. ALL DRYWALL CORNERS AND COLUMN EDGES TO BE FINISHED WITH CORNER "L" BEAD.
9. DIMENSIONS OF COLUMN FURRING IN A COMMON AREA ARE TO BE EQUAL & CONSISTENT.
10. PATCH AND REPAIR ANY DAMAGE TO EXISTING WINDOW SILLS CAUSED BY DEMOLITION: MATCH EXISTING SILL CONDITION. FINISH TO MATCH EXISTING WINDOW FRAMES.
11. ACCESS PANELS IN WALLS/CEILINGS FOR PLUMBING, MECHANICAL, AND ELECTRICAL ACCESS SHALL BE FLUSH FRAMELESS GYPSUM BOARD PANELS.
12. EXTEND EXISTING GYPSUM BOARD PARTITIONS/FURRING TO UNDERSIDE OF STRUCTURE IN AREAS OF OPEN CEILINGS.
13. ALL BLOCKING IN WALL TO BE FIRE RETARDANT TREATED SOLID WOOD BLOCKING, OR CONTINUOUS METAL STRAPPING. COORDINATE EXACT LOCATIONS AND EXTENT IN FIELD. GC TO PROVIDE BLOCKING FOR ALL OWNER SUPPLIED MILLWORK, IN ADDITION TO MILLWORK SUPPLIED BY THE GC, AND WALL HUNG EQUIPMENT.
14. FOR WALL MOUNTED TELEVISIONS, PROVIDE BLOCKING IN WALLS AS APPROPRIATE FOR MOUNTING TYPE. COORDINATE WITH A/V SPECIFICATIONS & REQUIREMENTS.

KEYNOTES:

- 201 NEW INTEGRATED TEMPERED WINDOW CONSISTING OF (2) PANELS IN ALUMINUM CHANNEL.
- 212 NEW GUARDRAIL AT EDGE OF NEW EXIT RAMP. SEE CIVIL ENGINEER'S DRAWINGS FOR ADDITIONAL INFORMATION.
- 215 GC TO PROVIDE K-RAIL AT PARKING SPACES ALONG THIS WALL.
- 218 GC TO PROVIDE CONCRETE WHEEL STOPS AT ALL PARKING STALLS.
- 220 GC TO INSTALL TENANT PROVIDED BIKE RACKS. RACKS ARE TO BE COVERED, LOCKABLE ENCLOSURES WITH PERMANENTLY ANCHORED RACKS FOR BICYCLES, AS STATED IN SECITON 5.106.4.1.2, 5.106.4.1.3 AND 5.106.4.1.4 AND SHALL BE CONVENIENT FROM THE STREET.
- 221 ELECTRONIC SECURITY ARMS (LIFTMASTER MODEL#: MAT-DC-BB3) PROVIDED BY TENANT AT THIS LOCATION.(GC TO COORDINATE BRINGING POWER TO SECURITY ARM. SAW-CUT AS REQUIRED TO HIDE ALL CONDUIT).
- 225 G.C. TO PROVIDE 4" CURB , TO BE PAINTED SAFTY YELLOW.
- 226 PROVIDE NEW GUARD RAIL.
- 228 EXISTING DOOR TO BE CONVERTED TO HAVE NEW PANIC HARDWARE.IF EXISTING DOORS CAN'T RECEIVE PANIC HARDWARE, THEN PROVIDE NEW DOORS TO MATCH EXISTING WITH NEW PANIC HARDWARE.
- 229 FULL LENGTH x 8'-0" FIRE RATED PLYWOOD PHONEBOARD.PLYWOOD 18" A.F.F.PHONE BOARD TO BE PAINTED TO MATCH WALL. LEAVE FIRE-RATED LABEL EXPOSED

LEGEND



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PROJECT: WAYMO	DATE: 02/28/2023
JOB NUMBER: SFO22-6008-00	SCALE: As indicated

SHEET
12.1

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CEILING PLAN NOTES

SEE SHEETS 10.1 FOR GENERAL NOTES

1. THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS AND NOTIFY THE ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES OR CONFLICTS THAT MIGHT ARISE.
2. NOTIFY ARCHITECT OF ANY DISCREPANCIES BETWEEN ARCHITECTURAL, ELECTRICAL, AND MECHANICAL DRAWINGS BEFORE PROCEEDING WITH INSTALLING THE WORK.
3. SEE FIXTURE SCHEDULE FOR FIXTURE TYPE DESIGNATIONS, AND TYPICAL MOUNTING HEIGHTS (U.O.N). COORDINATE MOUNTING OPTIONS WITH OWNER'S REPRESENTATIVE & ARCHITECT. NOTIFY OWNER/ARCHITECT OF ANY CONFLICTS WITH OTHER ELEMENTS PRIOR TO INSTALLATION.
4. ALL MATERIALS USED WITHIN CEILING PLENUM SHALL BE NON-COMBUSTIBLE.
5. IN GYPSUM BOARD CEILINGS THE LIGHTS, HVAC ELEMENTS, FIRE DEVICES, ETC. ARE TO ALIGN IN A NEAT AND REGULAR PATTERN. REVIEW LAYOUT WITH ARCHITECT PRIOR TO ROUGH-IN.
6. DEVICES IN ACOUSTICAL CEILING TILES TO BE CENTERED IN A 2'X2' TILE, OR 2'X2' PORTION OF A 2'X4' TILE, U.O.N.
7. GENERAL CONTRACTOR TO IDENTIFY QUANTITY AND LOCATIONS OF ALL ACCESS PANELS TO CEILING PLENUM SPACES IN GYPSUM BOARD CEILINGS: ACCESS PANELS TO BE AVOIDED WHERE POSSIBLE. IF AN ACCESS PANEL IS REQUIRED, COORDINATE LOCATION WITH ARCHITECT. CEILING ACCESS PANELS TO BE FLUSH FRAMELESS GYPSUM-BOARD INFILL PANELS.
8. SEE KEYNOTE INFORMATION FOR ANY REQUIRED CEILING INSULATION.
9. ALL ACOUSTICAL CEILING GRIDS & TILE TO BE CENTERED WITHIN A ROOM, U.O.N.
10. WHERE LIGHTING IS WITHIN MILLWORK OR WALL ELEMENTS SUCH AS MIRRORS, GC IS RESPONSIBLE TO COORDINATE WITH ALL ELECTRICAL TRADES.








KEYNOTES:

- 402 NEW CEILING WITH 5/8" GYPSUM BOARD.
- 406 EXISTING LIGHTING TO REMAIN IN THIS AREA.
- 408 TYPICAL INSTALLATION OF LIGHT SWITCHES AND T-STATS THROUGHOUT, U.O.N.
- 409 START NEW CEILING GRID WITH A WHOLE NEW TILE AT THIS LOCATION.
- 411 CEILING GRID AND TILE TO BE CONTINUOUS IN THIS AREA.
- 413 LIGHT FIXTURE TO BE CENTERED IN THIS ROOM.
- 414 CALLA HIGH CAC ACOUSTIC CEILING TILES IN WHITE TO BE PROVIDED IN THIS AREA.

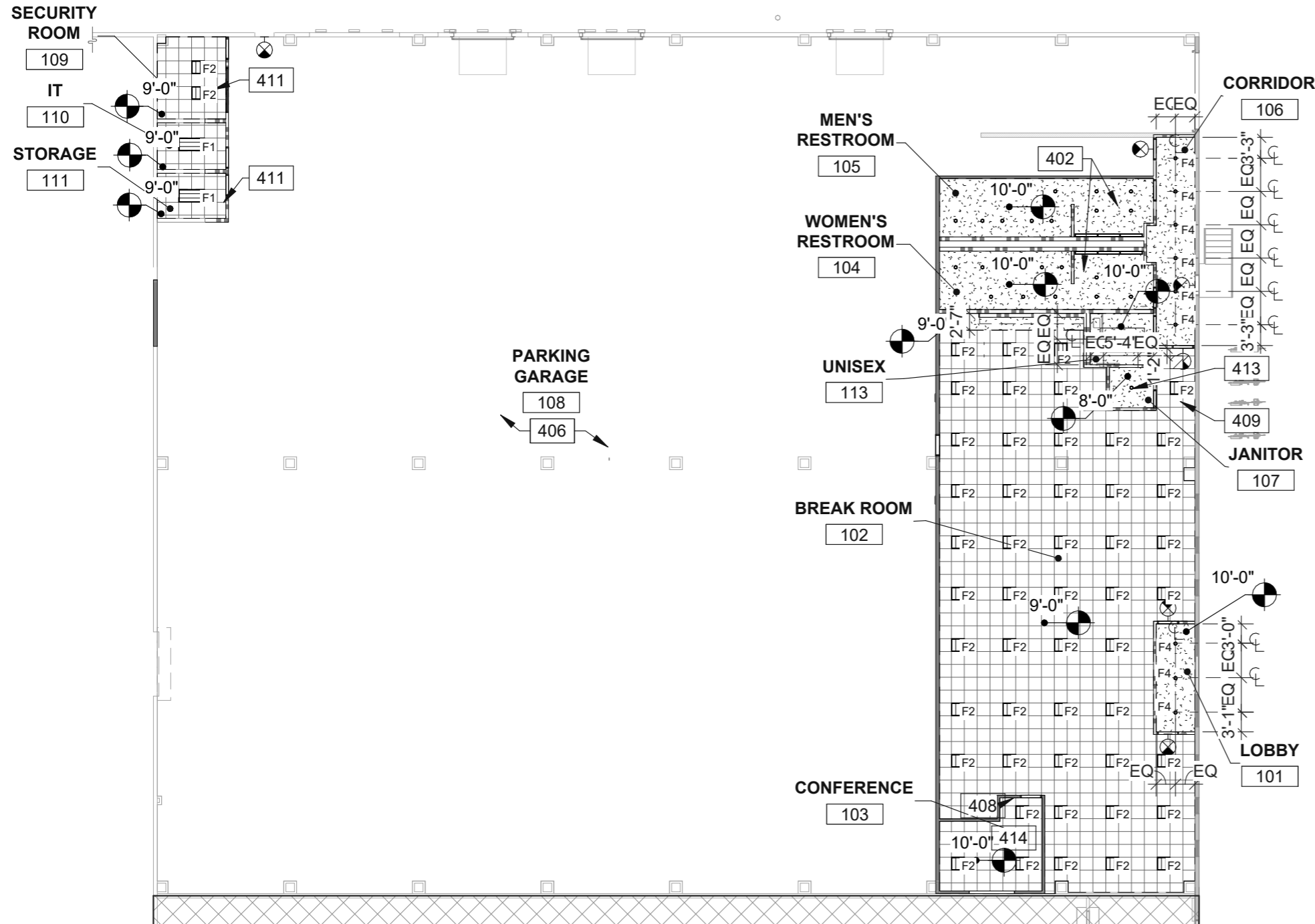
LEGENDS

 INDICATES AREA NOT IN CONTRACT (N.I.C.)

REFLECTED CEILING PLAN

-  SUSPENDED CEILING SYSTEM THROUGHOUT TO BE ARMSTRONG/USG 2'x2'
-  5/8" GYPSUM BOARD CEILING OR SOFFIT - USE RATED MATERIAL & CONSTRUCTION WHERE REQUIRED.
-  SURFACE MOUNTED FIXTURE
F1
-  SURFACE MOUNTED FIXTURE
F2
-  EXISTING 1'X2' LIGHTING FIXTURE TO REMAIN.
-  F4 RECESSED 6" LED DOWNLIGHT.
-  WALL-MOUNTED EXIT SIGN WITH BATTERY BACKUP, SHADED QUADRANT INDICATES FACE OF LETTERING, SIGN TO INCLUDE DIRECTIONAL ARROW AS INDICATED.

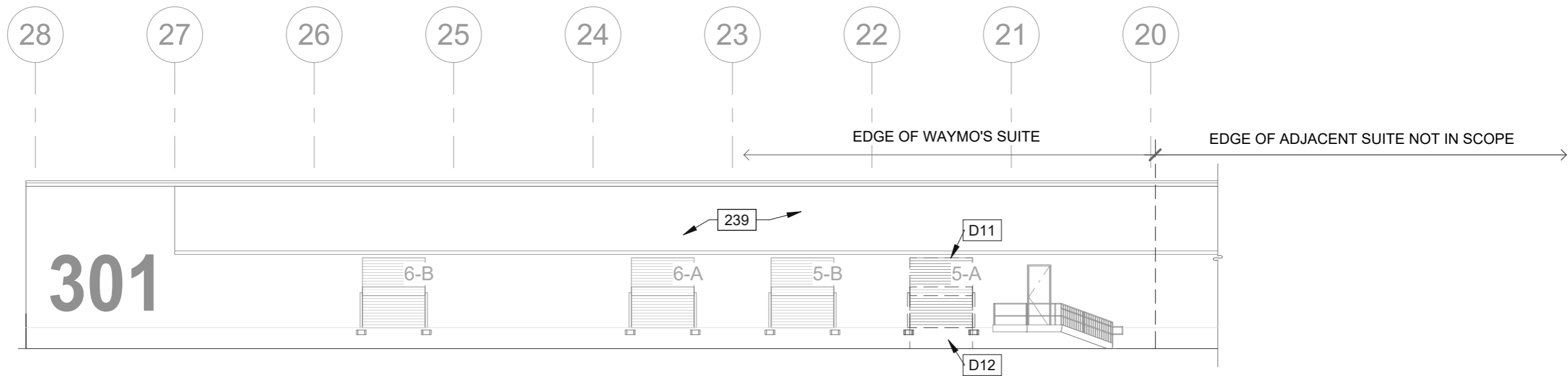
NOTE: ADDITIONAL DIRECTIONAL EXIT SIGNS MAY BE REQUIRED PRIOR TO FINAL INSPECTION AND SUBJECT TO BUILDING INSPECTOR.



REFLECTED CEILING PLAN

SCALE: 1" = 20'-0"

1



NORTH EAST DEMOLITION ELEVATION

SCALE: 1/16" = 1'-0"

1

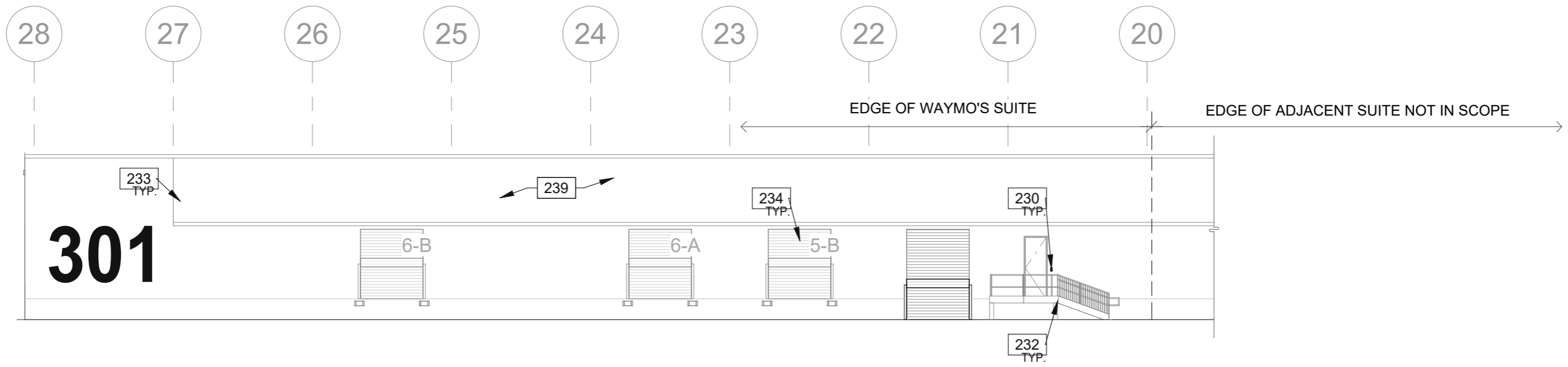
KEYNOTES:

SEE SHEETS 10.1 FOR GENERAL NOTES

- 239 EXISTING FACADE TO REMAIN AS IS. NO CHANGES PROPOSED.
- D11 REMOVE EXISTING ROLL-UP DOOR.
- D12 DEMOLISH PORTION OF EXISTING WALL.

NOTE:
SCOPE AT EXTERIOR TO INCLUDE. REPLACE EXISTING LOADING DOCK ROLL-UP DOOR WITH NEW FULL HEIGHT ROLL-UP DOOR FOR EXIT ACCESS AND NEW CARD READER AT EXISTING DOOR TO REMAIN. REMAINDER OF EXTERIOR TO REMAIN.

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NORTH EAST ELEVATION

SCALE: 1/16" = 1'-0"

1

KEYNOTES:

SEE SHEETS 10.1 FOR GENERAL NOTES

- 230 PROVIDE CARD READER ACCESS.
- 232 EXISTING STEEL STAIR TO REMAIN.
- 233 EXISTING CANOPY TO REMAIN.
- 234 EXISTING ROLL UP DOOR TO REMAIN.
- 239 EXISTING FACADE TO REMAIN AS IS. NO CHANGES PROPOSED.

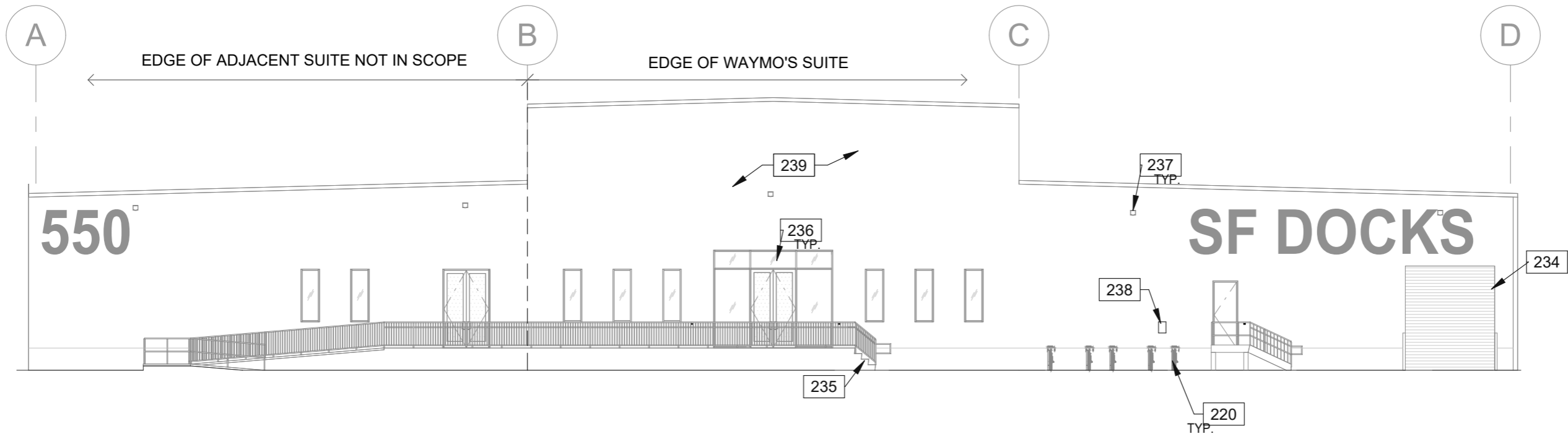
NOTE:
SCOPE AT EXTERIOR TO INCLUDE. REPLACE EXISTING LOADING DOCK ROLL-UP DOOR WITH NEW FULL HEIGHT ROLL-UP DOOR FOR EXIT ACCESS AND NEW CARD READER AT EXISTING DOOR TO REMAIN. REMAINDER OF EXTERIOR TO REMAIN.

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PROJECT: WAYMO	DATE: 02/28/2023
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SHEET
16.4

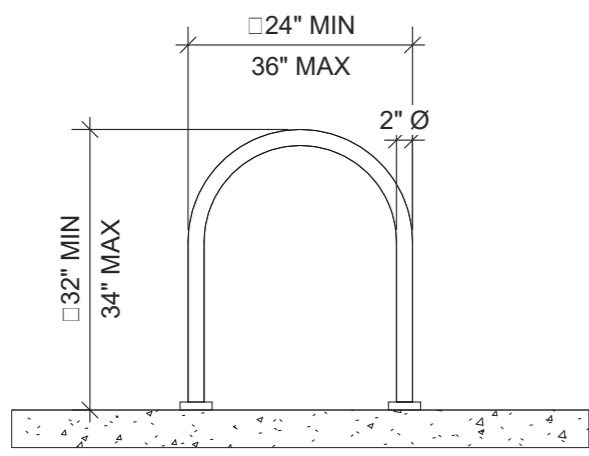
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SOUTH EAST ELEVATION

SCALE: 1/16" = 1'-0"

1



U BIKE RACK

SCALE: 1/2" = 1'-0"

2

KEYNOTES:

SEE SHEETS 10.1 FOR GENERAL NOTES

- 220 GC TO INSTALL TENANT PROVIDED BIKE RACKS. RACKS ARE TO BE COVERED, LOCKABLE ENLOSURES WITH PERMANENTLY ANCHORED RACKS FOR BICYCLES, AS STATED IN SECITON 5.106.4.1.2, 5.106.4.1.3 AND 5.106.4.1.4 AND SHALL BE CONVENIENT FROM THE STREET.
- 234 EXISTING ROLL UP DOOR TO REMAIN.
- 235 EXISTING CONCRETE STAIRS AND RAMP TO REMAIN.
- 236 EXISTING STOREFRONT TO REMAIN.
- 237 EXISTING LIGHTING TO REMAIN.
- 238 BICYCLCLE PARKING SIGNAGE PER SF PLANNING CODE SECTION 155.1.
- 239 EXISTING FACADE TO REMAIN AS IS. NO CHANGES PROPOSED.

NOTE:
SCOPE AT EXTERIOR TO INCLUDE. REPLACE EXISTING LOADING DOCK ROLL-UP DOOR WITH NEW FULL HEIGHT ROLL-UP DOOR FOR EXIT ACCESS AND NEW CARD READER AT EXISTING DOOR TO REMAIN. REMAINDER OF EXTERIOR TO REMAIN.

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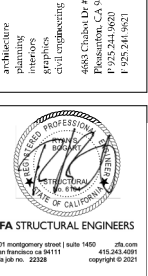
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PROJECT: WAYMO	DATE: 02/28/2023
JOB NUMBER: SFO22-6008-00	SCALE: As indicated

SHEET
16.5

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ZFA STRUCTURAL ENGINEER

WAYMO TI
301 TOLAND STREET
SAN FRANCISCO, CA 94124

GENERAL NOTES AND SPECIFICATIONS

Table with 2 columns: Role, Name. Includes PM (JLW), ENGINEER (NRM), JOB NO. (SF022-8008-00).

SHEET
S0.1

A DESIGN CRITERIA

DESIGN CRITERIA: 2019 CALIFORNIA CODE OF REGULATIONS, TITLE 24, PART 2 (CBC) 40 PSF AT GARAGE, 100 PSF AT BREAK ROOM... RISK CATEGORY: ULTIMATE WIND SPEED (3 SEC GUST) IN MPH: 92... SEISMIC IMPORTANCE FACTOR, I: 1.0

B GENERAL NOTES

- 1. REFER TO SHEET S0.1 FOR STANDARD DETAILS OF CONSTRUCTION... 2. BUILDING DIMENSIONS SHOWN ARE FOR GENERAL REFERENCE ONLY... 3. STRUCTURAL DRAWINGS SHALL NOT BE SCALED... 4. DETAILS NOT FULLY OR SPECIFICALLY SHOWN SHALL BE OF SAME NATURE AS OTHER SIMILAR CONDITIONS...

C FOUNDATION NOTES

- 1. ZFA RECOMMENDS GEOTECHNICAL REPORTS FOR ALL CONSTRUCTION PROJECTS... 2. ALL SOILS WORK SHALL BE DONE IN ACCORDANCE WITH THE SPECIFICATIONS AND THE REQUIREMENTS OF CHAPTER 18 OF THE CBC... 3. USE 1/2" DIAMETER x 12" (12" AT CURBS) ANCHOR BOLTS (AB) AT 48" ON CENTER... 4. TYPICAL SLAB: 6" CONCRETE REINFORCED WITH #4 @ 12" ON EACH WAY AT MID-DEPTH OVER VAPOR RETARDER...

SHEET INDEX table with columns: SHEET NO., DESCRIPTION. Lists sheets S0.1 through S4.2.

D SPECIAL INSPECTION BY OWNERS TESTING AGENCY

SPECIAL INSPECTIONS AND TESTING SHALL BE PERFORMED BY AN APPROVED AGENCY IN ACCORDANCE WITH CBC CHAPTER 17 AND THE STATEMENT OF SPECIAL INSPECTIONS AS REQUIRED BY CBC SECTIONS 1704.2.3 AND 1704.3 FOR BUILDING STRUCTURAL ELEMENTS SUMMARIZED AS FOLLOWS...

E WOOD FRAMING NOTES

- 1. ALL BEAMS AND JOISTS (EXCLUDING JOISTS) SHALL BE SEAT CUT FOR FULL UNIFORM BEARINGS AT SUPPORTS... 2. ALL MECHANICAL SUPPLY AND RETURN OPENINGS TO BE BETWEEN FRAMING UNO... 3. THE CONTRACTOR SHALL VERIFY THAT THE MOISTURE CONTENT OF ALL FRAMING LUMBER AND SHEATHING MEET THE REQUIREMENTS OF THE SPECIFICATIONS...

F EXISTING CONSTRUCTION NOTES

- 1. ORIGINAL CONSTRUCTION DRAWINGS WERE NOT AVAILABLE FOR REVIEW AT THE TIME THESE DOCUMENTS WERE PREPARED... 2. ALL WORK NOT INDICATED AS EXISTING (E) SHALL BE ASSUMED TO BE NEW (N)... 3. ANY REMOVAL, CUTTING, DRILLING, ETC OF EXISTING WORK SHALL BE PERFORMED WITH GREAT CARE... 4. DO NOT OVER CUT EXISTING WOOD, CONCRETE, MASONRY OR OTHER WORK TO REMAIN...

G.2 STRUCTURAL SPECIFICATIONS

- 1. STEEL GRADES: C SHAPES, L SHAPES & PLATES: ASTM A36, A572 GRADE 50 OR A588 GRADE 80 UNO... PIPES: ASTM A307 GRADE A... MACHINE BOLTS (MB): ASTM A307 GRADE A... MACHINE BOLT NUTS: ASTM A563 GRADE A... MACHINE BOLT WASHERS: ASTM F844... ANCHOR RODS: ASTM A193 GRADE 36 UNO... ANCHOR ROD NUTS: ASTM A550 GRADE A (GRADE D1H AT GRADE 10S ROD)... ANCHOR ROD WASHERS: ASTM F436 TYPE 1... WELDED HEADED/THREADED STUDS: ASTM A108 F_y=51KSI

- 2. BOLT HOLES SHALL BE 1/16" LARGER IN DIAMETER THAN THE BOLT... 3. WELDING ELECTRODES SHALL MEET AWS REQUIREMENTS AND ELECTRODES SHALL BE E70XX FOR SHIELDED METAL ARC... 4. ALL STRUCTURAL WELDS SHALL BE INSPECTED AND CERTIFIED BY A QUALIFIED TESTING AGENCY... 5. WELDING OF THREADED STUDS, HEADED STUDS, AND DEFORMED BAR ANCHORS SHALL BE FULL-FUSION ARC WELDS CONFORMING TO AWS D1.1.

WOOD STRUCTION (CARPENTRY)

- 1. EACH PIECE OF LUMBER SHALL BEAR THE STAMP OF THE WEST COAST LUMBER INSPECTION BUREAU (WCLBI) OR WESTERN WOOD PRODUCTS ASSOCIATION (WWPA) SHOWING GRADE MARK OR APPROVED LUMBER BEAMS AND POSTS TO BE FREE OF HEART CENTER (FCHC). OTHER MATERIALS SHALL BE AS SHOWN BELOW:

Table with columns: SAWN LUMBER MEMBER, SPECIES AND MINIMUM GRADE, UNO, F_b (PSI), F_v (PSI), E (PSI). Lists members like 2x BEAMS, 4x POSTS & BEAMS, 2x JOISTS, RAFTERS, etc.

- 4. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE THE MAXIMUM MOISTURE CONTENT OF WOOD AT THE TIME OF INSTALLATION SHALL BE NOT MORE THAN 19%... 5. WOOD SCREWS SHALL CONFORM TO ANISAMBE D164.1... 6. BOLTS SHALL BE UNFINISHED MACHINE BOLTS PER ASTM A307... 7. DECKING MATERIAL AND FRAMING EXPOSED TO WEATHER TO BE PTDF AWPA "USE CATEGORY" UC3B OR REDWOOD, S4D.

PARALLEL STRAND LUMBER (PSL)

- 1. PSL SHALL CONFORM TO THE FOLLOWING MINIMUM PROPERTIES: E = 2,210³ PSI, F_y = 2,900 PSI, F_x = 2,900 PSI (PARALLEL), F_v = 290 PSI

ABBREVIATIONS table with columns: ABBREVIATION, DESCRIPTION, ABBREVIATION, DESCRIPTION. Lists abbreviations for materials like steel, wood, concrete, masonry, etc.

G.1 STRUCTURAL SPECIFICATIONS

CONCRETE CONSTRUCTION

- 1. CONCRETE SHALL MEET THE FOLLOWING REQUIREMENTS: MAX WATER TO CEMENT RATIO, MIN SACKS CEMENTITIOUS MATERIALS PER CUBIC YARD... 2. CONCRETE MIX DESIGN AND TESTING SHALL MEET THE REQUIREMENTS OF CBC SECTIONS 1705 AND 1903... 3. CONCRETE MIX DESIGN FOR INTERIOR SLABS ON GROUND TO HAVE 25% TO 35% FLY ASH OR 35% TO 45% SLAG CEMENT... 4. FLY ASH MAY BE SUBSTITUTED UP TO 25% FOR CEMENT AT A POUND-FOR-POUND RATE... 5. UNDER SLAB VAPOR RETARDER TO BE ASTM E1745 CLASS A... 6. REINFORCING STEEL SHALL CONFORM TO ASTM A615 GRADE 60 OR A706 GRADE 60... 7. CONCRETE SHALL BE KEPT CONTINUOUSLY WET FOR 48 HOURS AFTER PLACEMENT... 8. ANCHOR BOLTS - ASTM F1554 GRADE 36 THREADED ROD WITH DOUBLE NUTS OR ASTM A307 HEADED BOLTS... 9. MECHANICAL COUPLERS FOR REINFORCING STEEL TO BE "SERIES BAR LOCK" BY DAYTON SUPERIOR (ESR-2495) OR EQUAL...

DATE	ISSUED FOR PERMIT	REMARKS
09/01/2022		

PM:	JLW
ENGINEER:	NFM
JOB NO.:	SFOZ2-8098-00

MINIMUM BAR LAPS FOR REINFORCING STEEL CONCRETE STRENGTH: 3000 PSI OR GREATER - (STAGGER SPLICES)					
SIZE	LAP LENGTH	SIZE	LAP LENGTH	SIZE	LAP LENGTH
#3	17"	#6	34"	#9	50"
#4	24"	#7	50"	#10	105"
#5	34"*	#8	70"	#11	125"

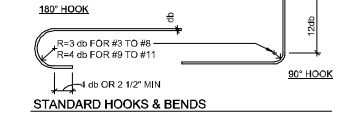
(CLASS B TOP BAR)
BAR SPOCS SHALL NOT BE LESS THAN 4X BAR DIA OR 4".
* WHERE COVER NOT LESS THAN 1 1/2", #5 LAP LENGTH = 28"

CONC COVER FOR REINF STL CLR*

CAST AGAINST EARTH OR GR 3"
EXPOSED TO EARTH (FORMED) OR WEATHER
#5 & SMALLER 1 1/2"
#6 & LARGER 2"

NOT EXPOSED TO EARTH OR WEATHER
#5 & SMALLER 1"
#6 & LARGER, & ALL BM STIRRUPS, COL TIES & SPIRALS 1 1/2"

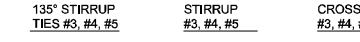
ALL REINF SHALL EXTEND AS FAR AS POSSIBLE, WHERE BAR SPLICES ARE REQUIRED, BARS SHALL BE LAPPED PER SCHEDULE ABOVE UNLESS DETAILED OTHERWISE, WHERE REINF TERMINATES AT END OF MEMBER, REINF SHALL END IN A STD 90° OR 180° HK UNLESS DETAILED OTHERWISE.



STANDARD HOOKS & BENDS



COL BAR & STRUCT OFFSET SPLICE



135° STIRRUP TIES #3, #4, #5 STIRRUP #3, #4, #5 CROSSTIE #3, #4, #5

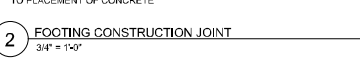
1 TYPICAL REINFORCING DETAIL (f_c = 3000psi MIN)
3/4" = 1'-0"



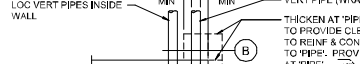
2 FOOTING CONSTRUCTION JOINT
3/4" = 1'-0"



LOC VERT PIPES INSIDE WALL



'PIPE' THRU FTG IN 'PIPE' SLEEVE



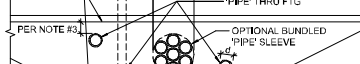
DEEPEN FTG AS REQD FOR PIPE COVER & CLEARANCES TO REINF STL PER NOTE #3



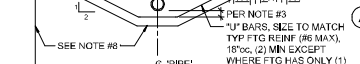
PLAN VIEW



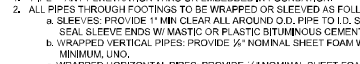
TYP REINF



PER NOTE #3



SEE NOTE #8

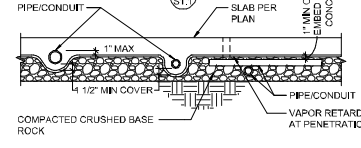


NOTES:

- 'PIPE' = ANY PENETRATION THRU OR EMBEDDED IN FOUNDATION.
- ALL PIPES THROUGH FOOTINGS TO BE WRAPPED OR SLEEVED AS FOLLOWS:
 - SLEEVES: PROVIDE 1" MIN CLEAR ALL AROUND O.D. PIPE TO ID, SLEEVE, UNO, SEAL. SLEEVE ENDS W/ MASTIC OR PLASTIC BITUMINOUS CEMENT.
 - WRAPPED VERTICAL PIPES: PROVIDE 1/2" NOMINAL SHEET FOAM W/ (3) WRAPS MINIMUM UNO.
 - WRAPPED HORIZONTAL PIPES: PROVIDE 1/2" NOMINAL SHEET FOAM W/ (3) WRAPS MINIMUM UNO.
 - UNDERGROUND FIRE LINES 4" AND LARGER:
 - SLEEVES: PROVIDE 2" MIN CLEAR ALL AROUND O.D. PIPE TO ID, SLEEVE, SEAL ENDS PER ABOVE.
 - WRAPPED: PROVIDE 1/2" NOMINAL SHEET FOAM W/ (6) WRAPS MINIMUM.
- WRAPPED AND SLEEVED PIPES SHALL HAVE 1 1/2" MIN CLEAR TO REINF STEEL.
- MINIMUM CONCRETE COVER AT PIPES TO BE 3", 18"OC, (2) MIN EXCEPT WHERE FTG HAS ONLY (1) BAR TAB
- GROUPS OF PIPES MAY BE BUNDLED AS SHOWN, EXCEPT IN PAD FOOTINGS.
- NO 'PIPE' TO RUN PARALLEL IN FOOTINGS, STEM OR CURB.
- PVC CONDUIT ('PIPE') EMBEDDED IN CURBS/STEM MAY BE WIRE TIED TO HORIZONTAL REINF.
- NO HORIZONTAL PIPES ALLOWED THROUGH FOOTING WITHIN 2'-0" EACH SIDE OF HD-DOWN OR STEEL COLUMNS. NO VERTICAL PIPES ALLOWED IN FOOTINGS OR BRACED FRAMES.
- PROVIDE 18" MIN OF COMPACTED FILL ABOVE PIPES UP TO 12" Ø. FOR LARGER PIPES INCREASE COMPACTED FILL DEPTH 1'-0" FOR EACH 9" INCREASE IN PIPE DIAMETER. OTHERWISE DEEPEN FOOTING AS SHOWN.

3 PIPES THRU FOOTING
3/4" = 1'-0"

NOTES:
1. LOCATION OF PIPE/CONDUIT BY OTHERS.
2. PROVIDE SLEEVE AT PIPE PER 3 SIM.

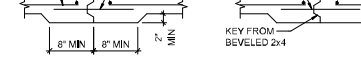


PIPE/CONDUIT REQUIRING EMBEDMENT IN CONC PIPE/CONDUIT IN COMPACTED ROCK

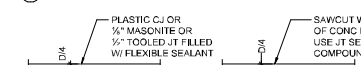
4 CONDUIT & PIPE AT SLAB ON GRADE
3/4" = 1'-0"



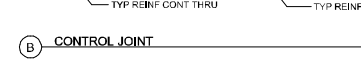
A CONSTRUCTION/DOWEL JOINT



B CONTROL JOINT



5 SLAB ON GRADE JOINTS
3/4" = 1'-0"



A NEW SLAB TO EXISTING FOOTING

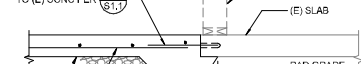


B NEW SLAB TO EXISTING SLAB
3/4" = 1'-0"



ADHESIVE ANCHOR IN 2500 PSI MIN CONCRETE

ADHESIVE TYPE	ANCHOR THRD ROD	REBAR	PILOT HOLE	MIN EMBED UNO	MIN EDGE DISTANCE	MIN SPOCC	MIN CONC DEPTH
SMIPSON SET-UP (ICC-ESR 2568)	3/8"	#3	3/8"	3"	1 1/2"	3"	H _u + 2 1/2"
	3/8"	#4	3/8"	4"	1 1/2"	3"	H _u + 3 1/2"
	3/8"	#5	3/8"	5"	1 1/2"	3"	H _u + 3 3/4"
	3/8"	#6	3/8"	6"	1 1/2"	3"	H _u + 4 3/4"
	3/8"	#7	3/8"	7"	1 1/2"	3"	H _u + 4"
	1/2"	#8	1/2"	8"	1 1/2"	3"	H _u + 5 1/2"
	1 1/2"	#10	1 1/2"	10"	2 1/2"	6"	H _u + 6 1/2"
	3/8"	N/A	3/8"	3"	1 1/2"	1 1/2"	H _u + 1 1/4"
	3/8"	#3	3/8"	3"	1 1/2"	1 1/2"	H _u + 1 1/4"
	3/8"	N/A	3/8"	4"	1 1/2"	2 1/2"	H _u + 1 1/4"
HLTI HIT-HY 200R (ICC-ESR 3187)	3/8"	#3	3/8"	3"	1 1/2"	3 1/2"	H _u + 1 1/2"
	3/8"	#4	3/8"	4"	1 1/2"	3 1/2"	H _u + 1 1/2"
	3/8"	#5	3/8"	5"	1 1/2"	3 1/2"	H _u + 1 1/2"
	3/8"	#6	3/8"	6"	1 1/2"	3 1/2"	H _u + 1 1/2"
	3/8"	#7	3/8"	7"	1 1/2"	4 1/2"	H _u + 2"
	1/2"	#8	1/2"	8"	1 1/2"	5"	H _u + 2 1/2"
	1/2"	#9	1/2"	9"	1 1/2"	5 1/2"	H _u + 2 3/4"
	1 1/2"	N/A	1 1/2"	10"	1 1/2"	6 1/2"	H _u + 2 3/4"
	1 1/2"	N/A	1 1/2"	10"	1 1/2"	6 1/2"	H _u + 3"



ANCHOR PER PLAN & DETAILS



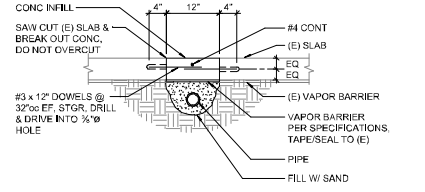
TOP OF CONC

EDGE OF CONC AS OCCURS

NOTES:

- INSTALL ADHESIVE ANCHORS PER MANUFACTURER'S INFORMATION AND ICC REPORT.
- CONTRACTOR TO VERIFY MINIMUM EDGE DISTANCES, SPACING, AND THICKNESS ARE IN ACCORDANCE W/ SCHEDULE PRIOR TO INSTALLING ANCHOR.
- HOLES TO BE DRILLED W/ ROTARY DRILL ONLY. WHEN DRILLING HOLES IN EXISTING CONCRETE, USE CARE AND CAUTION TO AVOID CUTTING OR DAMAGING THE EXISTING REINFORCING BARS. MAINTAIN A REASONABLE CLEARANCE BETWEEN REINFORCEMENT AND THE DRILLED-IN ANCHOR. FILL ABANDONED HOLES W/ HIGH STRENGTH GROUT.
- SPECIAL INSPECTION IS REQUIRED PER SECTION 1705 AND THE REQUIREMENTS OF THE ICC REPORTS. THE SPECIAL INSPECTOR SHALL PERFORM PERIODIC/CONTINUOUS INSPECTION IN ACCORDANCE WITH TABLE 1705.3. THE SPECIAL INSPECTOR SHALL INSPECT ANCHOR TYPE, ANCHOR DIMENSIONS, HOLE CLEANLINESS, EMBEDMENT DEPTH, CONCRETE TYPE, CONCRETE COMPRESSIVE STRENGTH, DRILL BIT DIAMETER, HOLE DEPTH, EDGE DISTANCES, ANCHOR SPACING(S), CONCRETE THICKNESS, AND ADHESIVE INJECTION.

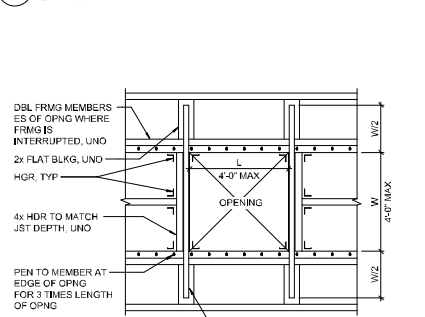
7 ADHESIVE ANCHOR IN CONCRETE
3/4" = 1'-0"



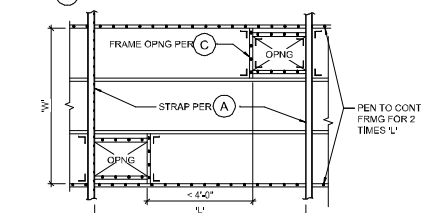
8 NEW PIPE AT EXISTING SLAB
3/4" = 1'-0"

- RIM JOIST/BLK TO TOP R. TOE NAIL 10d @ 16"oc
TRUSSES, JOISTS OR RAFTERS AT ALL BEARING POINTS (2) 10d
TOE NAILS EACH SIDE (2) 10d
TRUSSES, JOISTS OR RAFTERS TO SIDE OF STUDS (1) 15d
EIGHT (8) INCH JOISTS OR LESS (3) 15d
FOR EACH ADDITIONAL 4 INCHES OF DEPTH OF JOIST (1) 15d
BLOCKING BETWEEN JOISTS OR RAFTERS (2) 10d
TO JOIST OR RAFTER BEARINGS - TOE NAILS EA SIDE, EA END (2) 10d
BLOCKING BETWEEN STUDS, EACH END TOE NAILS (2) 10d OR (2) 15d
BRIDGING TO JOIST, TOE NAIL EACH END (2) 8d
2" SUBFLOOR TO JOIST OR GIRDER, BLIND & FACE NAIL (2) 15d
SOLE PLATE TO JOIST OR BLOCKING, FACE NAIL 16d @ 16"oc
SOLE PLATE TO JOIST OR BLOCKING AT (3) 16d @ 16"oc
BRACED WALL PANELS (3) 16d @ 16"oc
TOP PLATE TO STUD, END NAIL (2) 15d
STUD TO SOLE PLATE, TOE NAIL (4) 8d
DOUBLE STUDS AT EXTERIOR WALLS, FACE NAIL 16d @ 12"oc
DOUBLE STUDS, FACE NAIL 16d @ 24"oc
DOUBLE TOP PLATE, FACE NAIL 16d @ 12"oc
TOP PLATES, LAPS & INTERSECTIONS, FACE NAIL (3) 15d
CONTINUOUS HEADER, TWO PIECES 16d @ 15"oc ALONG EACH EDGE
DOUBLE TOP PLATE LAP AT CORNER (3) 15d
CONTINUOUS HEADER TO STUD, TOE NAIL (4) 8d
CEILING JOISTS TO OVER PARTITIONS, FACE NAIL (3) 15d
CEILING JOISTS TO PARALLEL RAFTERS, FACE NAIL (3) 15d
BUILT-UP CORNER STUDS 16d @ 12"oc
POST TO SILL/SOLETOP PLATE, EACH SIDE TOE NAIL (4) 10d

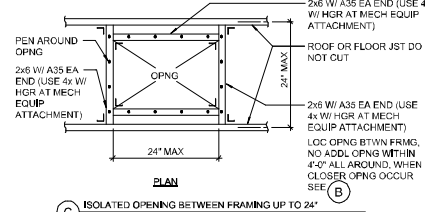
9 NAILING SCHEDULE
3/4" = 1'-0"



A OPENING TO 4'-0" SQ



B CLOSELY SPACED OPENINGS BETWEEN FRAMING



C ISOLATED OPENING BETWEEN FRAMING UP TO 24"

11 OPENING IN DIAPHRAGM
3/4" = 1'-0"



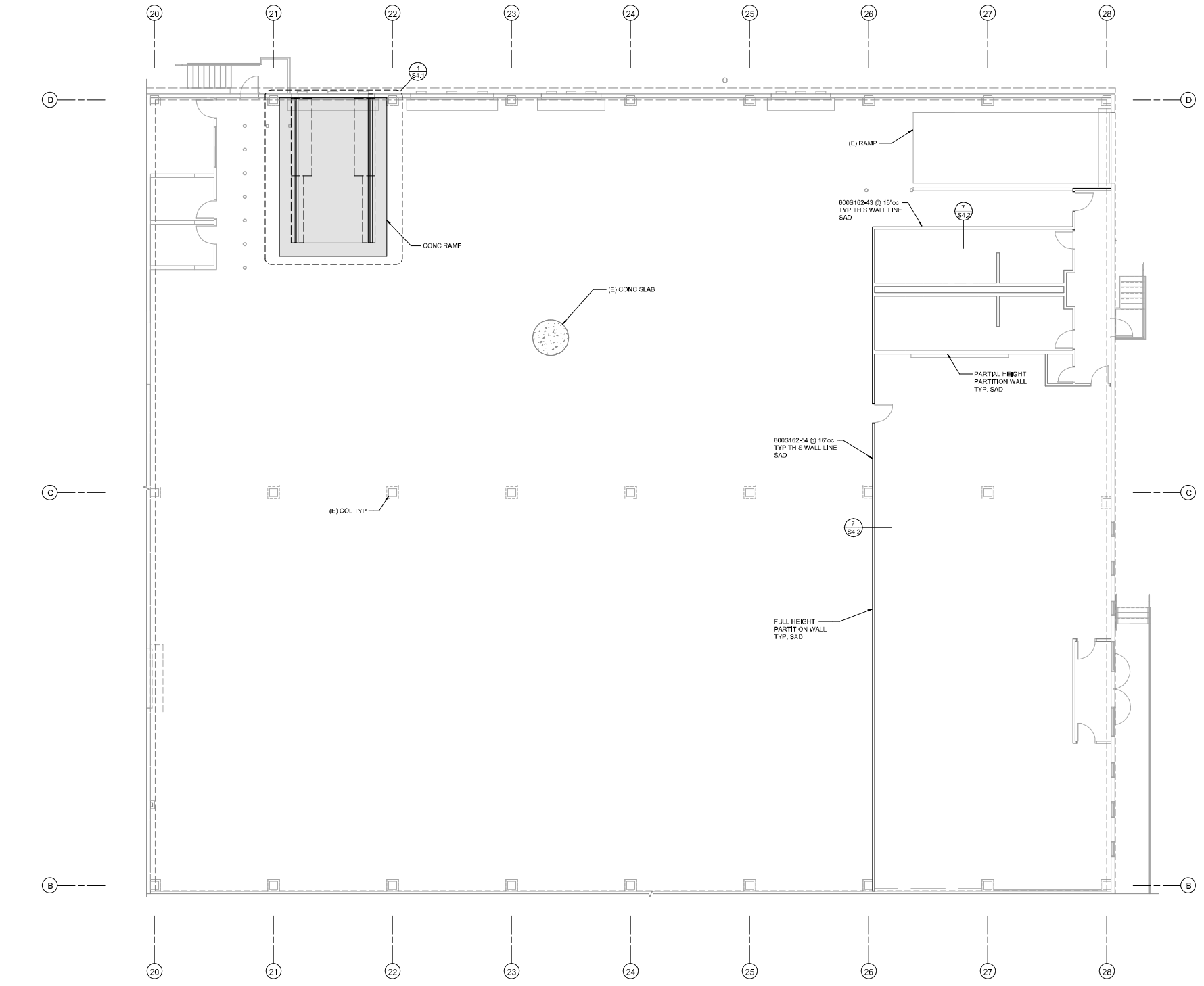
ADHESIVE ANCHOR IN 2500 PSI MIN CONCRETE

ADHESIVE ANCHOR IN 2500 PSI MIN CONCRETE

ADHESIVE ANCHOR IN 2500 PSI MIN CONCRETE

- FOUNDATION PLAN NOTES:**
- REFER TO SHEETS S0.1 AND S1.1 FOR GENERAL NOTES AND TYPICAL DETAILS. THE FOLLOWING DETAIL REFERENCES ARE PROVIDED FOR THE CONTRACTOR'S CONVENIENCE ONLY. ALL GENERAL NOTES AND TYPICAL DETAIL SHEETS NOTED ABOVE ARE APPLICABLE AND SHALL BE FOLLOWED.
 - DIMENSIONS ARE TO FACE OF STUD UNLESS NOTED OTHERWISE. COORDINATE ALL DIMENSIONS WITH ARCHITECTURAL DRAWINGS PRIOR TO CONSTRUCTION. NOTIFY ARCHITECT/ENGINEER OF ANY DISCREPANCIES.
 - PLUMBING AND ELECTRICAL CONDUIT AND GROUND STRAP SHALL NOT BE LAID WITHIN FOUNDATIONS. NO UTILITY PIPES OR CONDUITS SHALL BE LOCATED THROUGH COLUMN FOOTINGS OR FRAME FOOTINGS. NO PIPES OR CONDUITS THROUGH SLAB PLATES SHALL BE WITHIN 12" OF HOLDDOWN BOLTS. NO MECHANICAL, ELECTRICAL OR PLUMBING OPENINGS SHALL BE LOCATED IN SHEAR WALLS UNLESS SHOWN AND DETAILED ON THE STRUCTURAL DRAWINGS. NO VERTICAL OR HORIZONTAL PIPES OR CONDUITS SHALL BE LOCATED THROUGH STEEL FRAMES, STEEL COLUMNS, OR STEEL BASE PLATES. PROVIDE FURRING AND/OR THICKENED CONCRETE WHERE REQUIRED TO CLEAR UTILITY SYSTEMS. NOTIFY STRUCTURAL ENGINEER/ARCHITECT PRIOR TO ANY INSTALLATION NOT CONFORMING TO THESE DETAILS.
PIPES THROUGH FOOTINGS SHALL BE PER S1.1.
PIPES AT SLAB ON GRADE SHALL BE PER S1.1.
 - ELEVATION OF THE TOP OF FINISHED SLAB = 0'-0", UNLESS NOTED OTHERWISE.

PLAN LEGEND		
SYMBOL	REFERENCE DETAIL	DESCRIPTION
		INDICATES NON-STRUCTURAL WALL.
		INDICATES FOUNDATION.
		INDICATES STEP IN ELEVATION. SEE ARCHITECTURAL DRAWINGS.
		INDICATES GRIDLINE AT CENTERLINE OF COLUMN.
		INDICATES EXISTING FOUNDATION.
		INDICATES EXISTING FRAMING.



PARTIAL FOUNDATION PLAN
1/8" = 1'-0"

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PARTIAL FOUNDATION PLAN	
DATE	REMARKS
09/07/2022	ISSUED FOR PERMIT

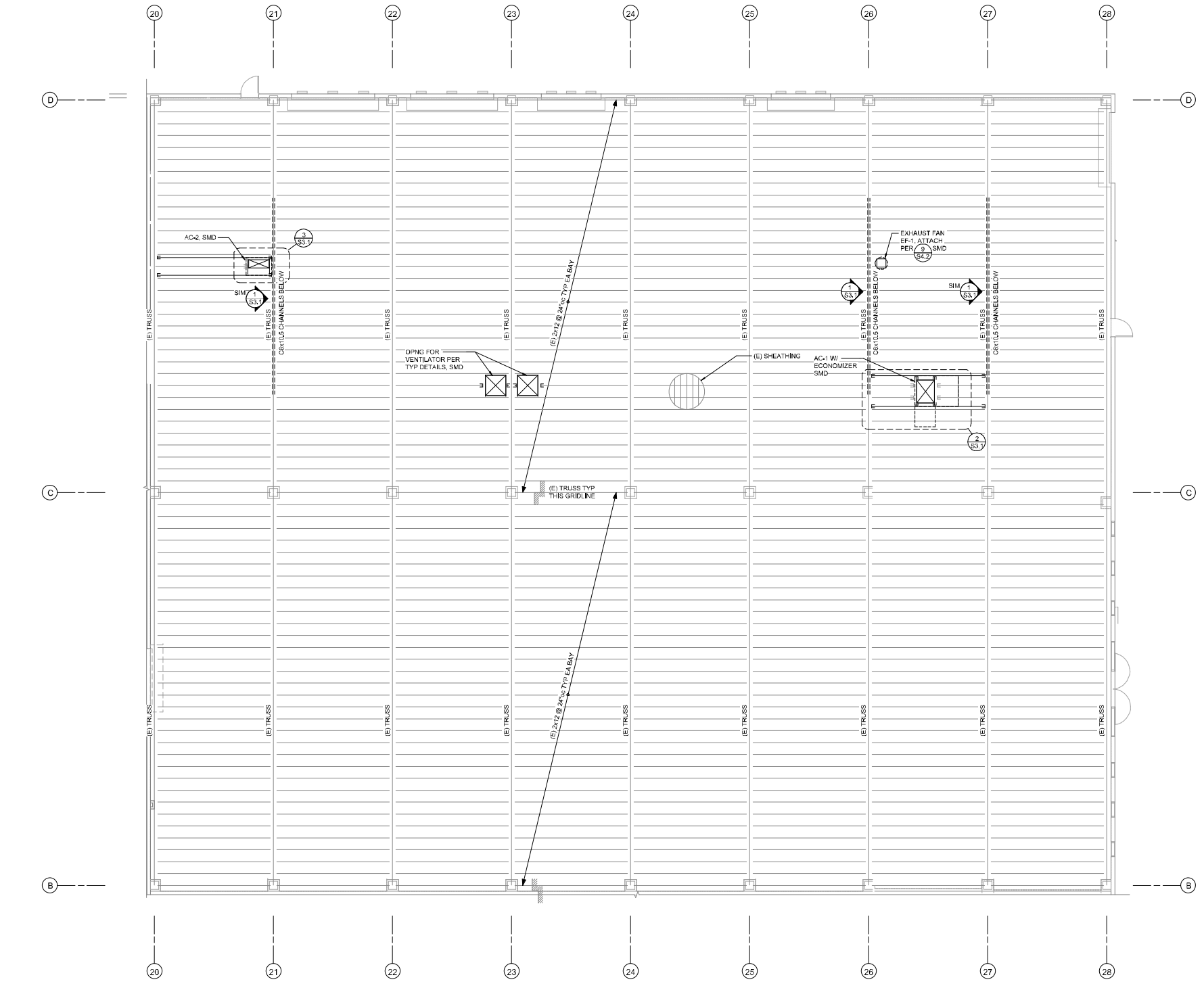
PM: JLW
ENGINEER: NRM
JOB NO.: SFO22-8098-00

SHEET
S2.1

FRAMING PLAN NOTES:

- REFER TO SHEETS S0.1 AND S1.1 FOR GENERAL NOTES AND TYPICAL DETAILS. THE FOLLOWING DETAIL REFERENCES ARE PROVIDED FOR THE CONTRACTOR'S CONVENIENCE ONLY. ALL GENERAL NOTES AND TYPICAL DETAIL SHEETS NOTED ABOVE ARE APPLICABLE AND SHALL BE FOLLOWED.
- DIMENSIONS ARE TO FACE OF STUD UNLESS NOTED OTHERWISE. COORDINATE ALL DIMENSIONS WITH ARCHITECTURAL DRAWINGS PRIOR TO CONSTRUCTION. NOTIFY ARCHITECT/ENGINEER OF ANY DISCREPANCIES.
- MECHANICAL, ELECTRICAL AND PLUMBING PENETRATIONS THROUGH WALLS, ROOFS OR FLOORS SHALL BE PER REFERENCES BELOW UNLESS SHOWN AND DETAILED OTHERWISE ON THE STRUCTURAL PLANS. NOTIFY ARCHITECT/ENGINEER PRIOR TO ANY INSTALLATION NOT CONFORMING TO THESE DETAILS.
PENETRATIONS THROUGH ROOFS SHALL BE PER 11S1.1.
- ELEVATIONS ON PLANS AND DETAILS ARE TO HEIGHTS ABOVE FINISHED GROUND FLOOR ELEVATION UNLESS NOTED OTHERWISE. COORDINATE TOP OF FRAMING AND LEDGER HEIGHTS AS REQUIRED TO PROVIDE ROOF SLOPES AS SHOWN ON ARCHITECTURAL AND STRUCTURAL DRAWINGS PRIOR TO CONSTRUCTION. NOTIFY ARCHITECT/ENGINEER OF ANY DISCREPANCIES.

PLAN LEGEND		
SYMBOL	REFERENCE DETAIL	DESCRIPTION
	E/S1.1	INDICATES HANGER.
	88	INDICATES GRIDLINE AT CENTERLINE OF COLUMN.
	1/85.7	INDICATES ELEVATION.
	MU 1/1000#	INDICATES APPROXIMATE LOCATION, SIZE AND MAXIMUM WEIGHT OF MECHANICAL UNIT. SEE MECHANICAL DRAWINGS FOR ANCHORAGE AND ADDITIONAL INFORMATION.
		INDICATES EXISTING STEP IN ELEVATION.
		INDICATES EXISTING FRAMING.



PARTIAL ROOF FRAMING PLAN
1/8" = 1'-0"

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ROOF PARTIAL FRAMING PLAN	
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ENGINEER:	NRM
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SHEET
S2.2

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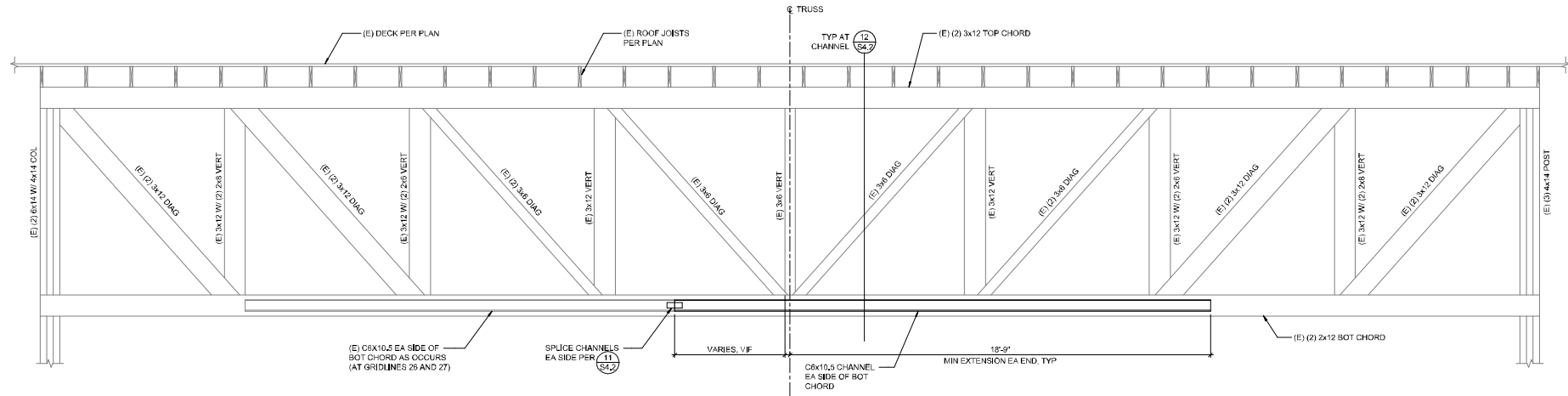
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SAN FRANCISCO, CA 94124

ELEVATION AND ENLARGED PLANS

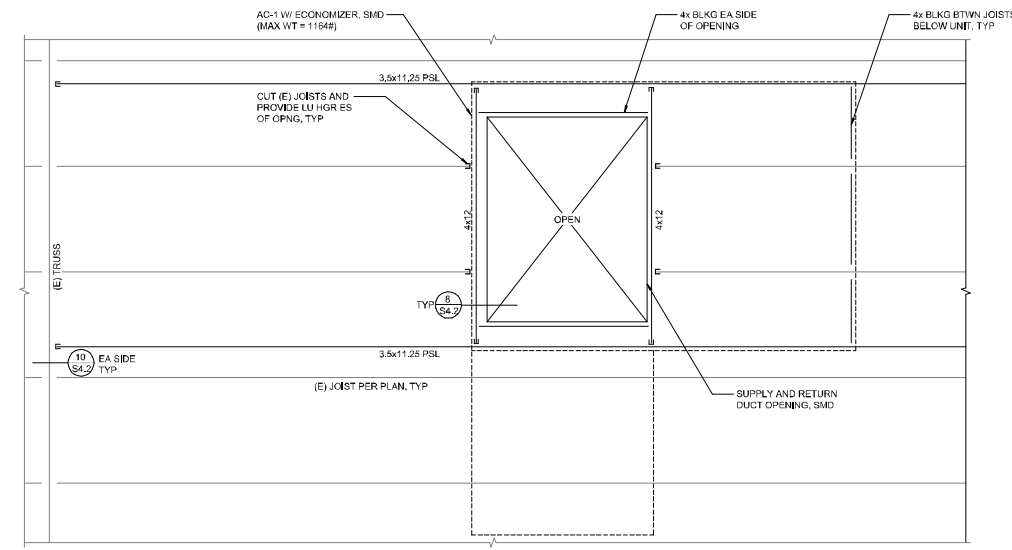
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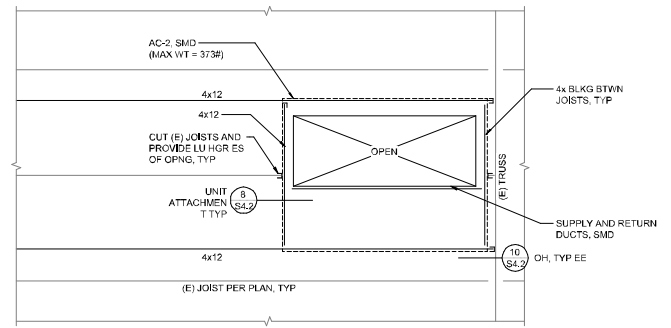
SHEET
S3.1



1 (E) TRUSS ELEVATION
3/8" = 1'-0"



2 ENLARGED PLAN AT AC-1
3/4" = 1'-0"



3 ENLARGED PLAN AT AC-2
3/4" = 1'-0"

CAUTION: IF THIS SHEET IS NOT 30"x42" IT IS A REDUCED PRINT

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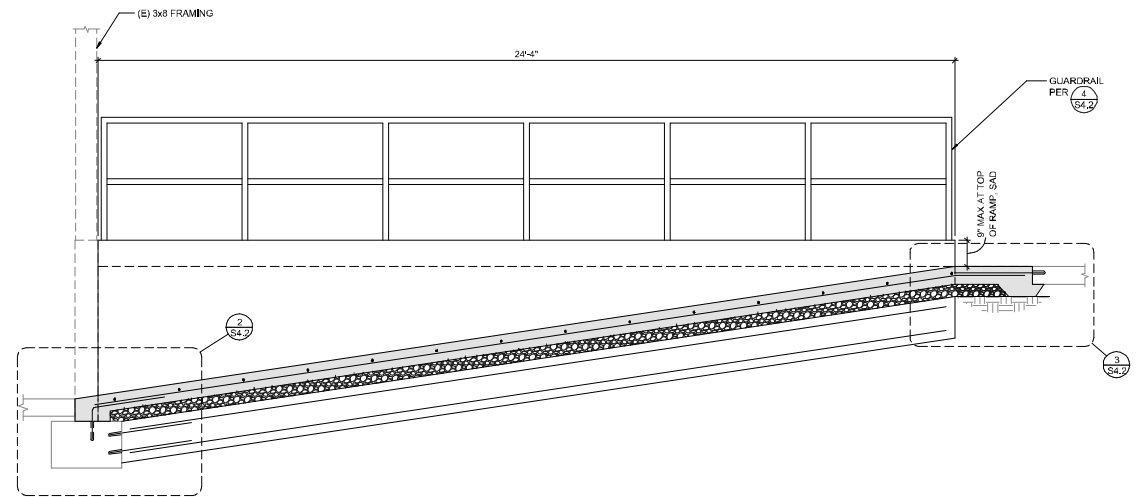
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RAMP PARTIAL PLAN & SECTIONS

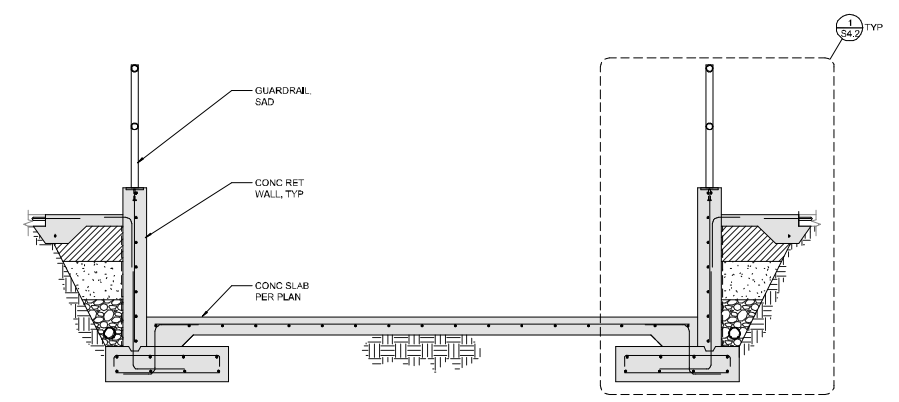
DATE	ISSUED FOR PERMIT	REMARKS
08/07/2022		

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ENGINEER:	NRM
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SHEET
S4.1
 8/1/2022 7:34:42 PM



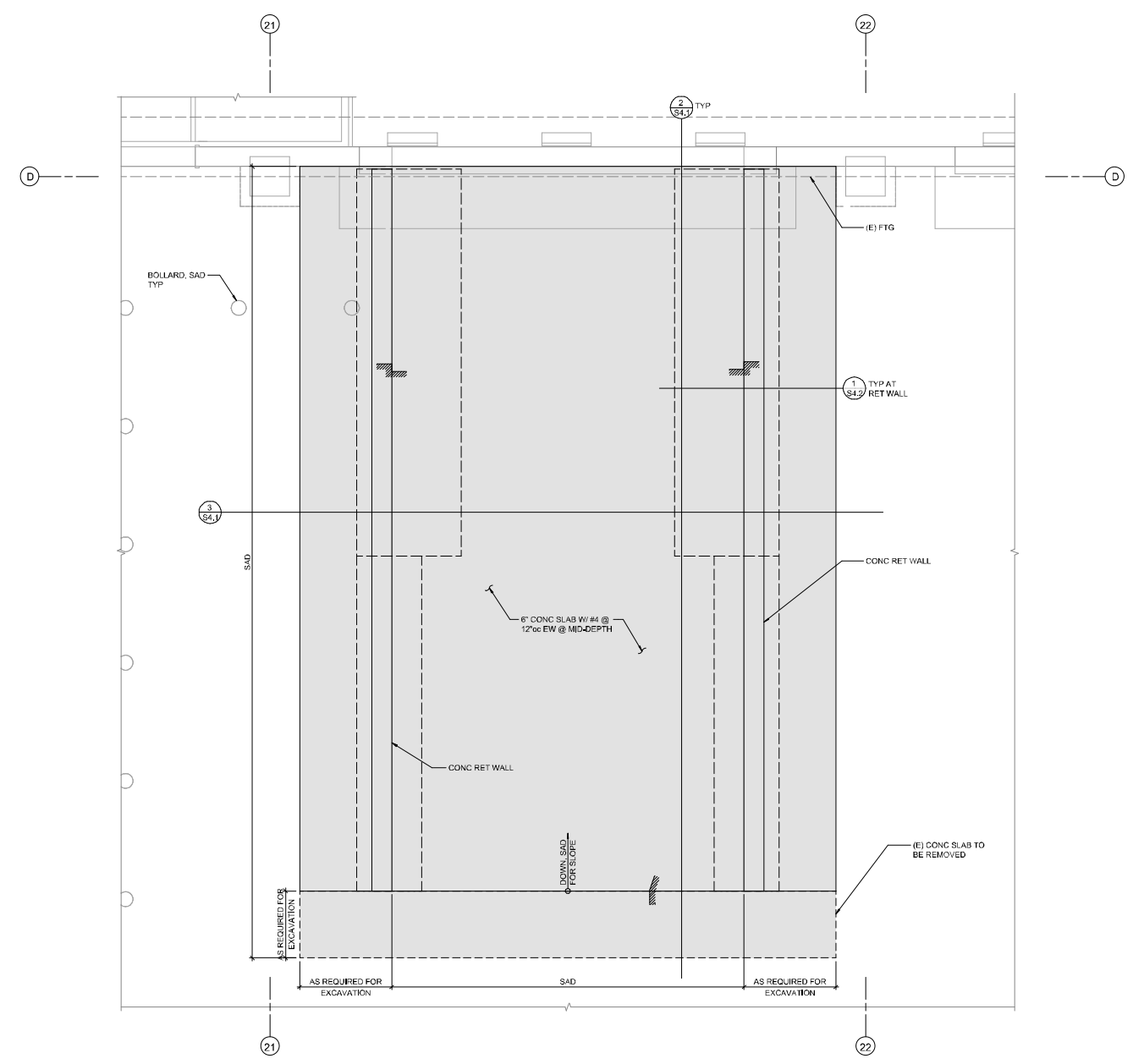
2 N-S SECTION
 1/2" = 1'-0"



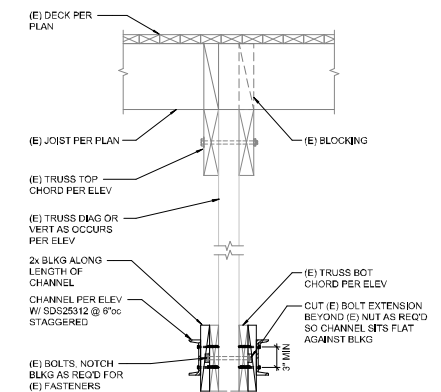
3 E-W SECTION
 1/2" = 1'-0"



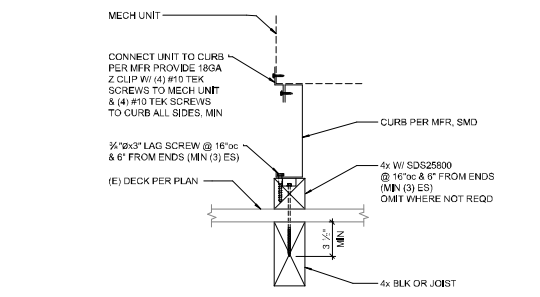
CONCRETE RAMP PARTIAL PLAN
 1/2" = 1'-0"



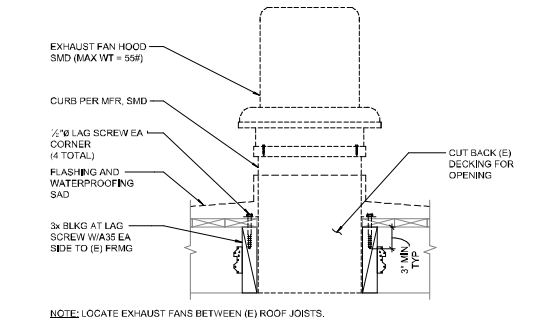
C:\ware\malcomb\ware\110228\Waymo_Ti_S4.1.dwg



12 SECTION AT TRUSS RETROFIT
1" = 1'-0"

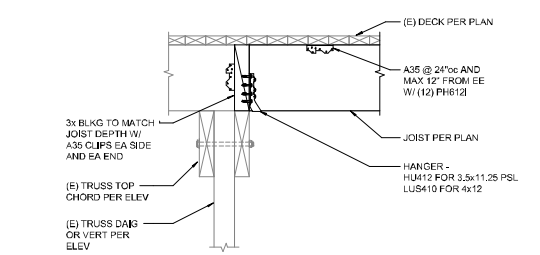


8 AC UNIT ATTACHMENT
1 1/2" = 1'-0"

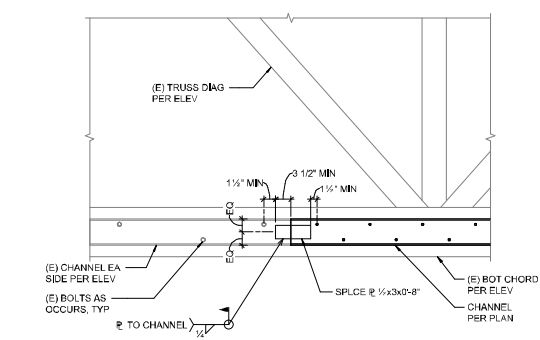


9 EXHAUST FAN SUPPORT
1" = 1'-0"

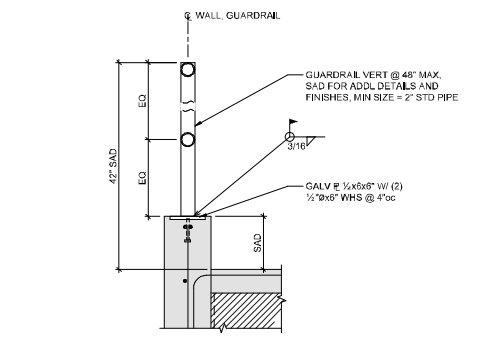
NOTE: LOCATE EXHAUST FANS BETWEEN (E) ROOF JOISTS.



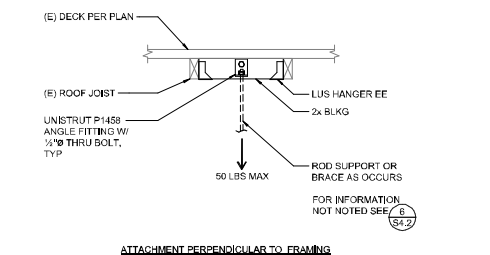
10 NEW JOIST CONNECTION
1" = 1'-0"



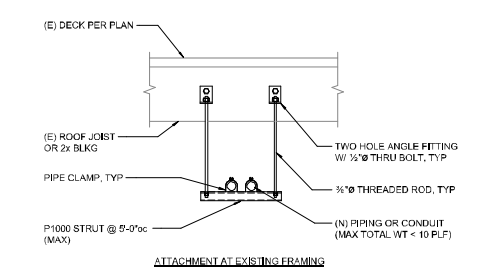
11 (E) TRUSS ELEVATION
3/4" = 1'-0"



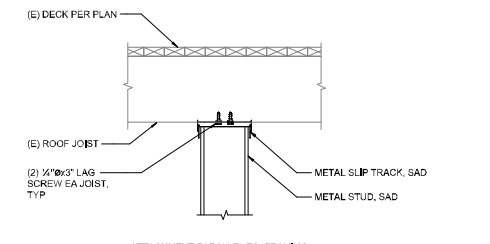
4 GUARDRAIL ANCHORAGE
1" = 1'-0"



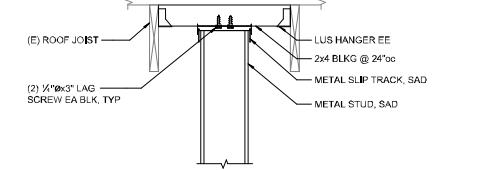
5 SUSPENDED PIPING OR CONDUIT SUPPORT - BETWEEN (E) FRAMING
1" = 1'-0"



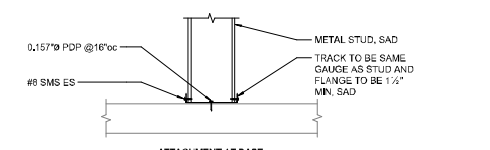
6 SUSPENDED PIPING OR CONDUIT SUPPORT - AT (E) FRAMING
1" = 1'-0"



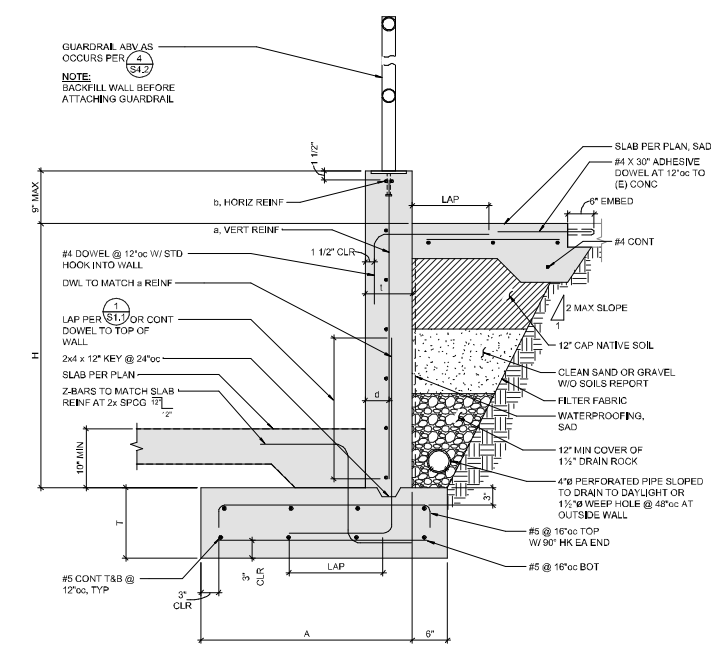
ATTACHMENT PARALLEL TO FRAMING



ATTACHMENT PERPENDICULAR TO FRAMING

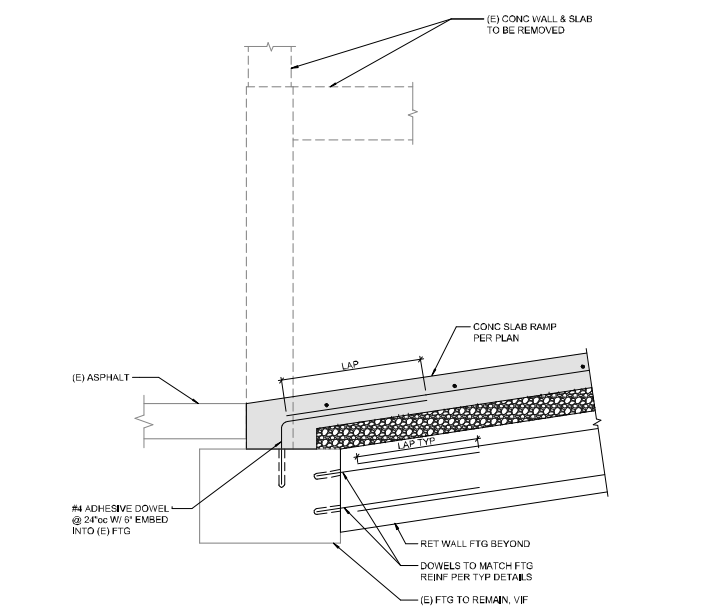


7 FULL HEIGHT PARTITION WALL CONNECTION
1" = 1'-0"

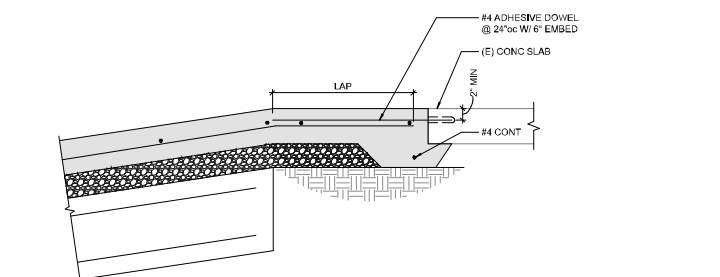


H	A	T	I	d	a	b
2'-6"	1'-6"	14"	8"	4"	#5 @ 16"oc	#5 @ 16"oc
4'-7"	3'-0"	14"	8"	4"	#5 @ 16"oc	#5 @ 16"oc

1 RAMP RETAINING WALL
1" = 1'-0"



2 SECTION AT BOTTOM OF RAMP
1" = 1'-0"

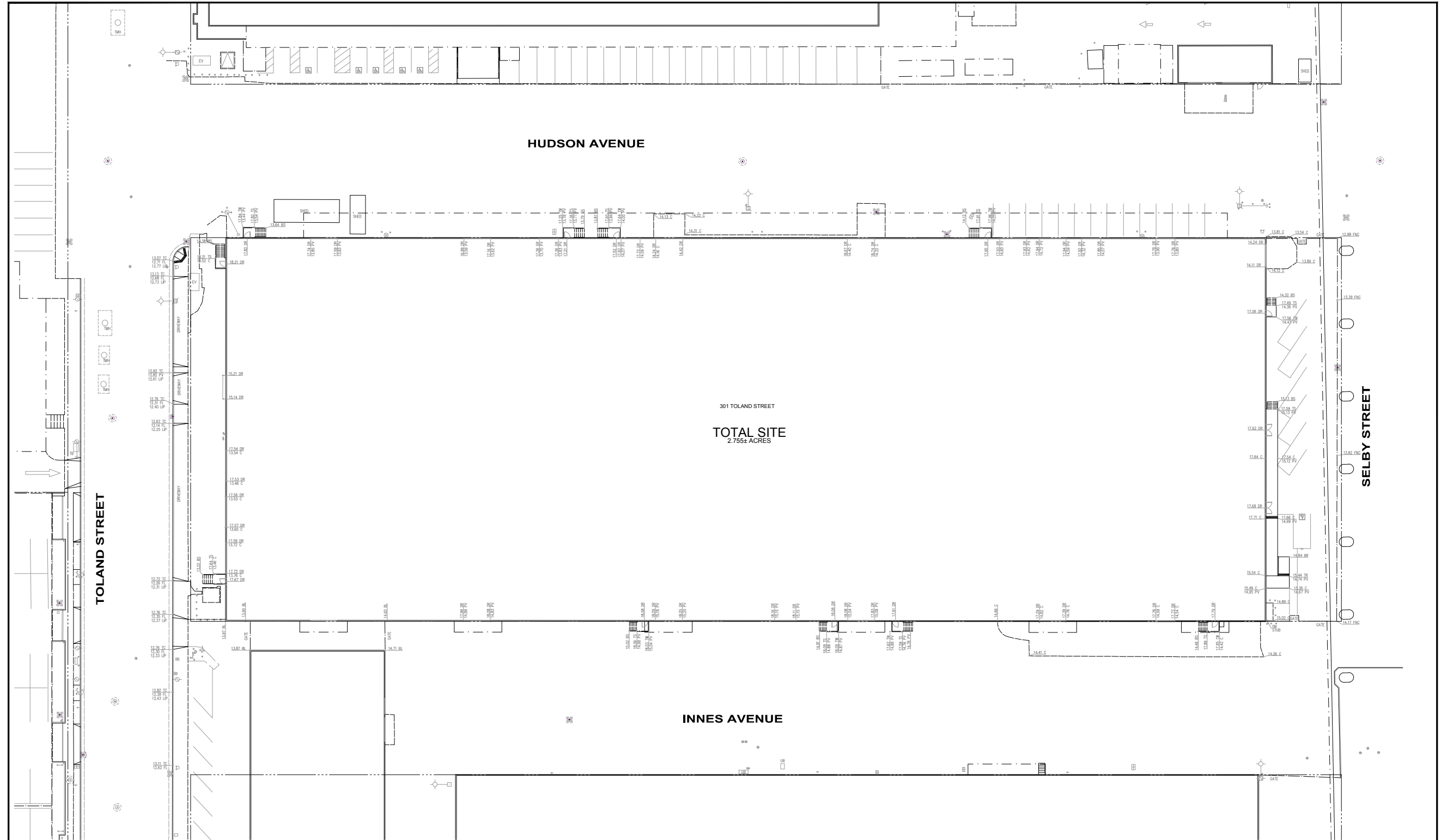


3 SECTION AT TOP OF RAMP
1" = 1'-0"

DETAILS

DATE	ISSUED FOR PERMIT	REMARKS
09/07/2022		

PM:	JLW
ENGINEER:	NFM
JOB NO.:	SFO22-6098-09



301 TOLAND STREET
TOTAL SITE
2.755± ACRES

NOTES

- All distances shown hereon are in U.S. Survey feet and decimals thereof.
- This boundary and easements shown on this survey was based solely on the following recorded documents:
Record of Survey Map recorded April 25, 1961 in Book T of Maps at Pages 6 and 7, City and County of San Francisco.
No liability is assumed for matters of record not shown on said document that may affect the boundary lines, exceptions, or easements affecting the property.
- The types, locations, sizes and/or depths of existing underground utilities as shown on this topographic survey were obtained from sources of varying reliability. The contractor is cautioned that only actual excavation will reveal the types, extent, sizes, locations and depths of such underground utilities. (A reasonable effort has been made to locate and delineate all unknown underground utilities.) However, the surveyor can assume no responsibility for the completeness or accuracy of its delineation of such underground utilities which may be encountered, but which are not shown on these drawings.
- A.P.N.: Lot 049, Block 5264
- Basis of Bearings:
The bearing of North 35°31'39" East taken on the centerline of Toland Street as shown on that certain Record of Survey Map recorded April 25, 1961 in Book T of Maps at Pages 6 and 7, City and County of San Francisco was taken as the Basis of all Bearings shown hereon.
- Benchmark:
City of San Francisco Benchmark "BM 10543":
Found Nail and Washer" stamped "CCSF 10543" in southeasterly curb return at the intersection of Toland Street and Evans Avenue.
Elevation: 11.831 feet
- Flood Zone Note:
The subject property is shown on the Federal Emergency Management Agency Flood Insurance Rate Map, Community Panel Number 060298 0118 A, dated March 23, 2021, as being located in Flood Zone "X";
Areas of determined to be outside the 0.2% annual chance flood.
Information was obtained from the FEMA website (www.fema.gov) on May 31, 2022.

LEGEND

PROPERTY LINE	---	BACK FLOW PREVENTER	⊥
ADJACENT PROPERTY LINE	- - - - -	POST INDICATOR VALVE	⊥
CENTERLINE	—+—+—+—	UTILITY BOX (SIZE VARIES)	□
BUILDING LINE W/ DOOR	—+—+—+—	SIGN	⊥
BUILDING OVERHANG	—+—+—+—	RECORD INFORMATION W/ REFERENCE	(100.00)⊕
FOUND MONUMENT AS NOTED	■	SPOT ELEVATION	⊕
LIGHT	⊕	CONTOUR	~
STREET LIGHT	⊕	INDEX CONTOUR	15
TRAFFIC SIGNAL POLE	⊕	CURB	—+—+—+—
TRANSFORMER	⊕	CURB & GUTTER	—+—+—+—
FIRE HYDRANT	⊕	CONCRETE	—+—+—+—
STORM DRAIN MANHOLE	⊕	FENCE	—+—+—+—
SANITARY SEWER MANHOLE	⊕	RETAINING WALL	—+—+—+—
CLEAN OUT	⊕	EDGE OF PAVEMENT	—+—+—+—
GAS METER	⊕	SANITARY SEWER	SS
UTILITY POLE W/ GUY WIRE	⊕	STORM DRAIN	SD
VALVE	⊕	WATER	W
CATCH BASIN / DROP INLET	⊕	OVERHEAD	OH
WATER METER	⊕		
FIRE DEPARTMENT CONNECTION	⊕		

ABBREVIATIONS

BL	BUILDING
BR	BOTTOM OF RAMP
BS	BOTTOM OF STEP
CB	CATCH BASIN
DI	DROP INLET
DR	DOOR
EV	ELECTRIC VAULT
FL	FLOW LINE
FNC	FENCE
GM	GAS METER
IE	INVERT ELEVATION
LIP	LIP OF GUTTER
PV	PAVEMENT
RE	RIM ELEVATION
SDCO	STORM DRAIN CLEAN OUT
SSMH	SANITARY SEWER MANHOLE
TB	TELEPHONE BOX
TC	TOP OF CURB
TMH	TELEPHONE MANHOLE
TS	TOP OF STEP
UB	UTILITY BOX



NOT TO SCALE



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