



PLANNING COMMISSION MOTION NO. 21246

HEARING DATE: FEBRUARY 2, 2023

Record No.: 2022-001838CUA
Project Address: 800 TARAVAL STREET
Zoning: Inner Taraval St NCD (Neighborhood Commercial) Zoning District
40-X Height and Bulk District
Block/Lot: 2347/009A
Project Sponsor: Angel Davis, SF Equity Applicant
313 Ivy Street
San Francisco, CA 94102
Property Owner: Giuseppe & Giuseppa Di Grande Fml Trust
521 Vicente St
San Francisco, CA 94116
Staff Contact: Christy Alexander – (628) 652-7334
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ADOPTING FINDINGS RELATING TO A CONDITIONAL USE AUTHORIZATION PURSUANT TO PLANNING CODE SECTIONS 202.2, 303, AND 745, TO ALLOW THE ESTABLISHMENT OF A CANNABIS RETAIL USE (D.B.A. GREEN MIRROR) MEASURING APPROXIMATELY 977 SQUARE FEET WITHIN AN EXISTING VACANT, MEZZANINE COMMERCIAL TENANT SPACE WHICH WILL BE CONVERTED TO A NEW FULLY ENCLOSED SECOND FLOOR WITHIN A TWO-STORY COMMERCIAL BUILDING AT 800 TARAVAL STREET, BLOCK 2347 LOT 009A WITHIN THE INNER TARAVAL STREET NEIGHBORHOOD COMMERCIAL ZONING DISTRICT AND A 40-X HEIGHT AND BULK DISTRICT, AND ADOPTING FINDINGS UNDER THE CALIFORNIA ENVIRONMENTAL QUALITY ACT.

PREAMBLE

On February 25, 2022, Phillip Lesser of Native 415, LLC, acting on behalf of Angel Davis (hereinafter "Project Sponsor") filed the following application (hereinafter "Application") with the Planning Department (hereinafter "Department") for a Conditional Use Authorization, related to the proposed project (hereinafter "Project") to establish a Cannabis Retail use within an existing vacant, mezzanine commercial tenant space which will be converted to a new fully enclosed second floor within a two-story commercial building located at 800 Taraval Street, Lot 009A of Assessor's Block 2347 (hereinafter "Project Site").

The Project is exempt from the California Environmental Quality Act ("CEQA") as a Class 1 categorical exemption.

On February 2, 2023, the San Francisco Planning Commission (hereinafter "Commission") conducted a duly noticed public hearing at a regularly scheduled meeting on Conditional Use Authorization Application No. 2022-001838CUA.

The Planning Department Commission Secretary is the Custodian of Records; the File for Record No. 2022-001838CUA is located at 49 South Van Ness Avenue, Suite 1400, San Francisco, California.

The Commission has heard and considered the testimony presented to it at the public hearing and has further considered written materials and oral testimony presented on behalf of the applicant, Department staff, and other interested parties.

MOVED, that the Commission hereby authorizes the Conditional Use Authorization as requested in Application No. 2022-001838CUA, subject to the conditions contained in “EXHIBIT A” of this motion, based on the following findings:

FINDINGS

Having reviewed the materials identified in the preamble above, and having heard all testimony and arguments, this Commission finds, concludes, and determines as follows:

- 1. The above recitals are accurate and constitute findings of this Commission.**
- 2. Project Description.** The Project would establish a Cannabis Retail Use (d.b.a. “Green Mirror”) measuring approximately 977 square feet within an existing vacant, mezzanine commercial tenant space which will be converted to a new fully enclosed second floor within a two-story commercial building located at the subject property. The Project does not include a request for authorization of on-site smoking or vaporizing of cannabis products. The Project proposes minor interior tenant improvements such as installing sales counters, display cases, toilets, and some interior partition walls. Aside from the installation of new accessible building entrance upgrades, new entry doors specifically for the Cannabis Retail Use, a new planter outside the existing trash enclosure door located at the northeast corner, and removal of the existing awning above that location, no other changes to the building exterior or envelope are proposed. New business signage will be applied for under a separate permit.
- 3. Site Description and Present Use.** The Site is located on Lot 009A of Assessor’s Block 2347 (District 7), on a corner lot with frontage along Taraval Street to the south and 18th Avenue to the east. The Site is situated on a lateral and upsloping lot measuring 2,696 square feet in size. The Site is developed as a two-story, commercial building containing a restaurant use on the ground floor and mezzanine level. The mezzanine, which previously served as private party space for the restaurant, has been vacant for almost three years and the existing restaurant owner does not see any viability in the space serving the restaurant as is in the foreseeable future.
- 4. Surrounding Properties and Neighborhood.** The Project Site is located within the Inner Taraval Street Neighborhood Commercial District and a 40-X Height and Bulk District. The neighborhood is primarily comprised of residential uses, with limited, ground-floor commercial uses located within buildings located on corner lots (fronting the intersection of Taraval Street and 18th Avenue). The immediate context includes two-to-four story residential buildings and commercial buildings with a large grocery store across the street. Other zoning districts in the vicinity of the Site include RH-1 (Residential, House: One-Family); RH-1 (D) (Residential, House: One-Family-Detached); and RH-2 (Residential, House: Two-Family).

5. Public Outreach and Comments. The Sponsor conducted outreach under the Office of Cannabis Good Neighbor Policy, which includes providing a mailed notice of the Project to all property owners and occupants within 300-feet of the site and conducting an outreach meeting on October 18, 2022 and December 7, 2022. Additionally, the Project Sponsor conducted a pre-application meeting on February 22, 2022. To date, the Department has received 18 letters in support and 8 letters in opposition to the Project. The Project Sponsor independently secured 136 signatures on eight pages of a petition in support of the Project. Additionally, Department Staff was made aware of a petition that had garnered 1,247 handwritten and electronic signatures in opposition to the Project. The opposition to the Project is centered on concerns over crime, parking, safety of children, and perceived incompatibility of the proposed land use (Cannabis Retail) within the neighborhood.

6. Planning Code Compliance. The Commission finds that the Project is consistent with the relevant provisions of the Planning Code in the following manner:

A. Use. Planning Code Section 745 lists the use controls for both residential and non-residential uses with the Inner Taraval Street Neighborhood Commercial District. The establishment of a Cannabis Retail use in the Inner Taraval Street NCD Zoning District requires a Conditional Use Authorization pursuant to Planning Code Section 745.

The Project Sponsor is requesting a Conditional Use Authorization to establish a Cannabis Retail use within the Inner Taraval Street Neighborhood Commercial District.

B. Use Size. Planning Code Section 202.2(a)(5)(B) states that within the Inner Taraval Street NCD Zoning District, the Planning Code principally permits Retail Sales and Service Uses (including Cannabis Retail) at up to 3,999 sq ft per lot.

The Project would provide an approximately 977 sq ft Cannabis Retail use which is compliant with this requirement.

C. 600-Foot Buffer Rule. Planning Code Section 202.2(a)(5)(B) states that the parcel containing the Cannabis Retail Use shall not be located within a 600-foot radius of a parcel containing an existing public or private School or within a 600-foot radius of a parcel for which a valid permit from the City's Office of Cannabis for a Cannabis Retailer or a Medicinal Cannabis Retailer has been issued. There shall be no minimum radius from a Cannabis Retail Use to an existing day care center or youth center unless a State licensing authority specifies a minimum radius.

The subject parcel is not located within a 600-foot radius of a parcel containing an existing private or public school or within a 600-foot radius of a parcel for which a valid permit from the City's Office of Cannabis for a Cannabis Retailer or a Medicinal Cannabis Retailer has been issued.

D. Hours of Operation. Planning Code Section 710.27 states that a Conditional Use Authorization is required for maintaining hours of operation from 2 am to 6 am, as defined by Planning Code Section 102.

The Project Sponsor would maintain hours of operation for the proposed Cannabis Retail Use from 9:00 a.m. until 10:00 p.m. daily, with the principally permitted hours of operation within the Inner Taraval

Street Neighborhood Commercial District. Therefore, the Project conforms with Section 745 and State law.

- E. **Street Frontage in Neighborhood Commercial Districts.** Section 145.1 of the Planning Code requires that within NC Districts space for active uses shall be provided within the first 25 feet of building depth on the ground floor and 15 feet on floors above from any facade facing a street at least 30 feet in width. In addition, the floors of street-fronting interior spaces housing non-residential active uses and lobbies shall be as close as possible to the level of the adjacent sidewalk at the principal entrance to these spaces. Frontages with active uses that must be fenestrated with transparent windows and doorways for no less than 60 percent of the street frontage at the ground level and allow visibility to the inside of the building. The use of dark or mirrored glass shall not count towards the required transparent area. Any decorative railings or grillwork, other than wire mesh, which is placed in front of or behind ground floor windows, shall be at least 75 percent open to perpendicular view. Rolling or sliding security gates shall consist of open grillwork rather than solid material, so as to provide visual interest to pedestrians when the gates are closed, and to permit light to pass through mostly unobstructed. Gates, when both open and folded or rolled as well as the gate mechanism, shall be recessed within, or laid flush with, the building facade.

The subject tenant space has approximately 30 feet of frontage along 18th Avenue, without an existing, storefront. The Project proposes establishing an active use (Cannabis Retail Use, a Retail Sales, and Service Use) within minor interior and exterior tenant improvements to the subject tenant space on the second floor. There are minor changes proposed to the commercial frontage such as provided a new accessible door and a planter but no windows.

7. **Conditional Use Findings.** Planning Code Section 303 establishes criteria for the Planning Commission to consider when reviewing applications for Conditional Use authorization. On balance, the project complies with said criteria in that:

- A. The proposed new uses and building, at the size and intensity contemplated and at the proposed location, will provide a development that is necessary or desirable, and compatible with, the neighborhood or the community.

The Project provides a use that is necessary and desirable, and compatible with the surrounding neighborhood and community, in that it activates an existing retail space at the same size of the existing vacant space, bringing additional goods and services to the local area. By activating a currently vacant commercial space, the Project will provide jobs and street level activation to the neighborhood. The proposed business places ID check and waiting areas at the front of the businesses, limiting the visibility of cannabis products and sales from the street while maintaining street level activation. In doing so, it is contextually appropriate and compatible with the surrounding neighborhood and community.

- B. The proposed project will not be detrimental to the health, safety, convenience or general welfare of persons residing or working in the vicinity. There are no features of the project that could be detrimental to the health, safety or convenience of those residing or working the area, in that:

- (1) Nature of proposed site, including its size and shape, and the proposed size, shape and arrangement of structures;

The height and bulk of the existing building will remain the same and will not alter the existing appearance or character of the project vicinity. The proposed work will not affect the building envelope.

- (2) The accessibility and traffic patterns for persons and vehicles, the type and volume of such traffic, and the adequacy of proposed off-street parking and loading;

The Planning Code does not require parking or loading for the proposed use, and the Site is well served by nearby public transportation options. Further, on-street parking spaces are available in the vicinity of the Site.

- (3) The safeguards afforded to prevent noxious or offensive emissions such as noise, glare, dust and odor;

The Project proposes a Cannabis Retail use which does not include a space reserved for on-site smoking or vaporizing, and this approval is conditioned to prohibit smoking or vaporizing of cannabis products. As such, there are safeguards to prevent noxious or offensive emission from the Site. As part of the licensing process with the City's Office of Cannabis, an Odor Mitigation Plan will be reviewed and recommendations incorporated into the Project design.

- (4) Treatment given, as appropriate, to such aspects as landscaping, screening, open spaces, parking and loading areas, service areas, lighting and signs;

All Project signage, lighting, and projections will be consistent with the controls of the Planning Code.

- C. That the use as proposed will comply with the applicable provisions of the Planning Code and will not adversely affect the General Plan.

On balance, the Project conforms to multiple equity policy goals and objectives of the General Plan, as described in further detail in Section 10.

The Project complies with all relevant requirements and standards of the Planning Code and is consistent with objectives and policies of the General Plan as detailed below.

- D. That use or feature as proposed will provide development that is in conformity with the stated purpose of the applicable Use District.

The Inner Taraval Street Neighborhood Commercial District controls are designed to promote a small, neighborhood serving mixed-use commercial street that preserves the surrounding neighborhood residential character. These controls are intended to preserve livability in a largely low-rise development residential neighborhood, enhance solar access on a narrow street right-of-way, and protect residential rear yard patterns at the ground floor. Retail uses are generally limited to the ground floor, with residential uses located above the ground floor. By providing a new neighborhood serving retail activity within an existing, underutilized commercial tenant space, the Project furthers the stated purpose of the Zoning District. The Project conforms to all relevant goals

and policies of the General Plan as described in further detail in Section 10.

- 8. Additional Conditional Use Findings for Cannabis Retail.** Planning Code Section 303(w) outlines additional findings for the Commission when reviewing proposals for new Cannabis Retail establishments. The Commission shall consider “the geographic distribution of Cannabis Retail Uses throughout the City, the concentration of Cannabis Retail and Medical Cannabis Dispensary Uses within the general proximity of the proposed Cannabis Retail Use, the balance of other goods and services available within the general proximity of the proposed Cannabis Retail Use, any increase in youth access and exposure to cannabis at nearby facilities that primarily serve youth, and any proposed measures to counterbalance any such increase.”

In the December 2019 report titled “[Cannabis in San Francisco: A Review Following Adult Use Legalization](#),” the City Controller’s Office identified the Mission and South of Market Neighborhoods as more concentrated with Cannabis Retail uses in comparison to the balance of San Francisco. The report recommended no numeric or geographic limits to existing or in-process cannabis business permits and recommended that potential future legislation to address the imbalance be applied to new applicants rather than the existing applicant pipeline.

Within a one-half mile radius of the Site, there are no open or approved cannabis retail location.: The vast majority of Cannabis Retail locations in San Francisco are located in the City’s eastern neighborhoods, including the Mission District, South of Market District, and Downtown District. As such, the Project provides a necessary and desirable retail service that is not currently available within the broader neighborhood context. The proposed Project would add a new Cannabis Retailer to the City’s western neighborhoods and would therefore contribute to the geographic balance of Cannabis Retail uses in the City.

In the general vicinity, the following locations were also identified as potentially sensitive sites that do not disqualify the location from being used as a Cannabis Retailer: “Happy Days Pre-School,” located at 809 Taraval Street (approximately 121-feet from the Site); “Alena’s Magical (Pre-) School,” located at 2267 16th Avenue (approximately 1,584-feet from the Site); “Stratford (Pre-) School,” located at 2425 19th Avenue (approximately 1,056-feet from the Site); “St. Cecilia School,” located at 660 Vicente Street (approximately 1,584-feet from the Site); “Busy Bees School,” located at 1420 Taraval Street (approximately 2,112-feet from the Site); “Dianne Feinstein Elementary School,” located at 2550 25th Avenue (approximately 3,168-feet from the Site); and “Herbert Hoover Middle School,” located at 2290 14th Avenue (approximately 2,112-feet from the Site).

Broadly, the neighborhood is primarily comprised of residential uses, with limited, ground-floor commercial uses located within buildings located on corner lots (fronting the intersection of Taraval St, 18th Avenue, and 19th Avenue). Cannabis Retail is one of the few businesses that is continuing to expand during the pandemic induced economic crisis (though many existing sites, particularly existing Medical Cannabis Dispensaries, are closing permanently). By creating a new retail use, the Project can serve to support the development of other retail and service uses in the general vicinity.

Key facilities in the surrounding neighborhood that serve youth are the St. Cecilia School, Herbert Hoover Middle School, Busy Bees Montessori School, and Dianne Feinstein Elementary School, which are at least 1,500 feet away from the site. Other potentially sensitive locations in the vicinity are Happy Days Preschool,

Five Animals Kung Fu Academy, One Martial Arts, Stratford School, a pediatric dentistry office, an orthodontics office, and Alena's Magical School which do not disqualify the Project Site from being used as a Cannabis Retailer. Cannabis facilities are highly regulated, and it is more likely that youth would gain easy access to cannabis products through the unregulated market, which remains a large and dominant force in the market of San Francisco (partially due to the ease of cultivating cannabis products within a home and partially due to the slow rate of permitting of licensed locations in the City). While this area is traversed by a diverse population with many different age groups, any potential exposure to cannabis to youth that pass by will be mitigated by the presence of a neighborhood ambassador at the storefront, no visible product from the windows and a staff that is not only monitoring the storefront but also 50 feet in either direction of the store. No one under the age of 21 is allowed in the store, with the exception of persons aged 18 and above possessing a valid doctor's recommendation. The store will only cater to adults who intend to consume cannabis responsibly either medically or recreationally. By providing a regulated, legal market within the neighborhood, the proposed business would further discourage unregulated sales, making youth access to cannabis products more restricted. The proposed Cannabis Retail business is also located on an upper floor, with very limited visual presence on the street, reducing the opportunity for youth exposure to cannabis sales.

9. **General Plan Compliance.** The Project is, on balance, consistent with the following Objectives and Policies of the General Plan:

COMMERCE AND INDUSTRY ELEMENT

Objectives and Policies

OBJECTIVE 2

MAINTAIN AND ENHANCE A SOUND AND DIVERSE ECONOMIC BASE AND FISCAL STRUCTURE FOR THE CITY.

Policy 2.1

Seek to retain existing commercial and industrial activity and to attract new such activity to the city.

OBJECTIVE 3

PROVIDE EXPANDED EMPLOYMENT OPPORTUNITIES FOR CITY RESIDENTS, PARTICULARLY THE UNEMPLOYED AND ECONOMICALLY DISADVANTAGED

Policy 3.1

Promote the attraction, retention and expansion of commercial and industrial firms which provide employment improvement opportunities for unskilled and semi-skilled workers.

Policy 3.2

Promote measures designed to increase the number of San Francisco jobs held by San Francisco residents.

OBJECTIVE 4

IMPROVE THE VIABILITY OF EXISTING INDUSTRY IN THE CITY AND THE ATTRACTIVENESS OF THE CITY AS A LOCATION FOR NEW INDUSTRY.

Policy 4.8

Provide for the adequate security of employees and property.

OBJECTIVE 6

MAINTAIN AND STRENGTHEN VIABLE NEIGHBORHOOD COMMERCIAL AREAS EASILY ACCESSIBLE TO CITY RESIDENTS.

Policy 6.2

Promote economically vital neighborhood commercial districts which foster small business enterprises and entrepreneurship, and which are responsive to economic and technological innovation in the marketplace and society.

The Cannabis industry provides great potential for the City in that it is a rapidly expanding industry, with very highly developed equity ownership, hiring, and procurement requirements, that employs blue-collar workers with wages and benefits typically far higher than other types of retail services. The City Controller's Office December 2019 report titled, "Cannabis in San Francisco: A Review Following Adult Use Legalization," found that crime rates, particularly property crimes, generally decreased in the areas immediately surrounding Cannabis storefronts and dispensaries, compared to an overall increase Citywide. The uses are extremely regulated both at the State and local level, and following any Planning Department approval of a site, additional outreach still occurs to develop a Good Neighbor Policy, Security Plans (with review by SFPD), and Odor Mitigation Plans. By activating existing retail spaces in the City (which suffer from high vacancy rates), employing many blue-collar workers, furthering the City's equity goals, and providing alternative medicines that are recognized as helping many residents suffering through pain, Cannabis Retail projects further many of the goals of the City's General Plan and area plans.

10. Planning Code Section 101.1(b) establishes eight priority-planning policies and requires review of permits for consistency with said policies. On balance, the project complies with said policies in that:

- A. That existing neighborhood-serving retail uses be preserved and enhanced and future opportunities for resident employment in and ownership of such businesses be enhanced.

The Project is not anticipated to significantly affect the existing mix of neighborhood-serving retail uses. The existent mezzanine commercial tenant space was previously occupied by the existing ground floor restaurant use (Gold Mirror) and is currently vacant. The Project will provide a new retail tenant (and new use) for the neighborhood, creating new and future employment opportunities for neighborhood residents. The addition of the new retail use will enhance foot traffic to the benefit of neighboring businesses. Cannabis is one of the fastest growing job categories in the country and one of the few retail uses that is burgeoning even in the face of e-commerce.

- B. That existing housing and neighborhood character be conserved and protected in order to preserve the cultural and economic diversity of our neighborhoods.

The Project is not anticipated to adversely affect the character or diversity of the neighborhood. The Project will occupy a vacant commercial space and will not alter the exterior of the existing building aside from new business signage and installation of new accessible building entrance upgrades,

new entry doors specifically for the Cannabis Retail use, a new planter outside the existing trash enclosure door located at the northeast corner, and removal of the existing awning above that location. The Project does not possess any existing housing and the Project does not include or propose new housing and thus has no impact on this policy.

- C. That the City's supply of affordable housing be preserved and enhanced,

The Project does not possess any existing housing and the Project does not include or propose new housing and thus has no impact on this policy.

- D. That commuter traffic not impede MUNI transit service or overburden our streets or neighborhood parking.

The Project is served by nearby public transportation options. The Site is located along two MUNI bus lines (28 and 48) and is within walking distance of others bus lines. On-street parking is available within the vicinity of the Site. Further, the Project involves the establishment of a small business that will not add a significant number of employees commuting to the Site, thus overburdening streets or neighborhood parking.

- E. That a diverse economic base be maintained by protecting our industrial and service sectors from displacement due to commercial office development, and that future opportunities for resident employment and ownership in these sectors be enhanced.

There is no commercial office development associated with the Project and there would be no displacement of any existing industrial or service businesses in the area. The subject commercial tenant space has been vacant for almost three years.

- F. That the City achieve the greatest possible preparedness to protect against injury and loss of life in an earthquake.

The Project involves interior and limited exterior tenant improvements to the subject commercial tenant space located on the second floor of an existing structure and all proposed improvements shall conform to the structural and seismic safety requirements of the Building Code.

- G. That landmarks and historic buildings be preserved.

Currently, the Project Site does not contain any City Landmarks or historic buildings.

- H. That our parks and open space and their access to sunlight and vistas be protected from development.

The Project involves interior and limited exterior tenant improvements to the subject commercial tenant space located on the second floor of an existing structure and would not impede access to sunlight and vistas.

- 11.** The Project is consistent with and would promote the general and specific purposes of the Code provided

under Section 101.1(b) in that, as designed, the Project would contribute to the character and stability of the neighborhood and would constitute a beneficial development.

- 12.** The Commission hereby finds that approval of the Conditional Use Authorization would promote the health, safety and welfare of the City.

DECISION

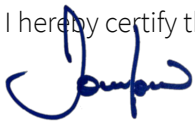
That based upon the Record, the submissions by the Applicant, the staff of the Department and other interested parties, the oral testimony presented to this Commission at the public hearings, and all other written materials submitted by all parties, the Commission hereby **APPROVES Conditional Use Authorization Application No. 2022-001838CUA** subject to the following conditions attached hereto as “EXHIBIT A” in general conformance with plans on file, dated December 15, 2021, and stamped “EXHIBIT B”, which is incorporated herein by reference as though fully set forth.

APPEAL AND EFFECTIVE DATE OF MOTION: Any aggrieved person may appeal this Conditional Use Authorization to the Board of Supervisors within thirty (30) days after the date of this Motion. The effective date of this Motion shall be the date of this Motion if not appealed (after the 30-day period has expired) OR the date of the decision of the Board of Supervisors if appealed to the Board of Supervisors. For further information, please contact the Board of Supervisors at (415) 554-5184, City Hall, Room 244, 1 Dr. Carlton B. Goodlett Place, San Francisco, CA 94102.

Protest of Fee or Exaction: You may protest any fee or exaction subject to Government Code Section 66000 that is imposed as a condition of approval by following the procedures set forth in Government Code Section 66020. The protest must satisfy the requirements of Government Code Section 66020(a) and must be filed within 90 days of the date of the first approval or conditional approval of the development referencing the challenged fee or exaction. For purposes of Government Code Section 66020, the date of imposition of the fee shall be the date of the earliest discretionary approval by the City of the subject development.

If the City has not previously given Notice of an earlier discretionary approval of the project, the Planning Commission’s adoption of this Motion, Resolution, Discretionary Review Action or the Zoning Administrator’s Variance Decision Letter constitutes the approval or conditional approval of the development and the City hereby gives **NOTICE** that the 90-day protest period under Government Code Section 66020 has begun. If the City has already given Notice that the 90-day approval period has begun for the subject development, then this document does not re-commence the 90-day approval period.

I hereby certify that the Planning Commission ADOPTED the foregoing Motion on February 2, 2023.



Jonas P. Ionin
Commission Secretary

AYES: Braun, Ruiz, Diamond, Imperial, Koppel, Moore, Tanner

NAYS: None

ABSENT: None

ADOPTED: February 2, 2023

EXHIBIT A

Authorization

This authorization is for a **Conditional Use** to allow a Cannabis Retail use (d.b.a. “Green Mirror”) located at 800 Taraval Street, Block 2347, and Lot 009A pursuant to Planning Code Sections 202.2, 745, and 303 within the Inner Taraval Street Neighborhood Commercial District and a 40-X Height and Bulk District; in general conformance with plans, dated **December 15, 2021**, and stamped “EXHIBIT B” included in the docket for Record No. **2022-001838CUA** and subject to conditions of approval reviewed and approved by the Commission on **February 2, 2023** under Motion No. **21246**. This authorization and the conditions contained herein run with the property and not with a particular Project Sponsor, business, or operator.

Recordation of Conditions Of Approval

Prior to the issuance of the building permit or commencement of use for the Project the Zoning Administrator shall approve and order the recordation of a Notice in the Official Records of the Recorder of the City and County of San Francisco for the subject property. This Notice shall state that the project is subject to the conditions of approval contained herein and reviewed and approved by the Planning Commission on **February 2, 2023** under Motion No. **21246**.

Printing of Conditions of Approval on Plans

The conditions of approval under the 'Exhibit A' of this Planning Commission Motion No. **21246** shall be reproduced on the Index Sheet of construction plans submitted with the site or building permit application for the Project. The Index Sheet of the construction plans shall reference to the Conditional Use authorization and any subsequent amendments or modifications.

Severability

The Project shall comply with all applicable City codes and requirements. If any clause, sentence, section or any part of these conditions of approval is for any reason held to be invalid, such invalidity shall not affect or impair other remaining clauses, sentences, or sections of these conditions. This decision conveys no right to construct, or to receive a building permit. “Project Sponsor” shall include any subsequent responsible party.

Changes and Modifications

Changes to the approved plans may be approved administratively by the Zoning Administrator. Significant changes and modifications of conditions shall require Planning Commission approval of a new Conditional Use authorization.

CONDITIONS OF APPROVAL, COMPLIANCE, MONITORING, AND REPORTING

Performance

- 1. Validity.** The authorization and right vested by virtue of this action is valid for three (3) years from the effective date of the Motion. The Department of Building Inspection shall have issued a Building Permit or Site Permit to construct the project and/or commence the approved use within this three-year period.

For information about compliance, contact Code Enforcement, Planning Department at 628.652.7463, www.sfplanning.org

- 2. Expiration and Renewal.** Should a Building or Site Permit be sought after the three (3) year period has lapsed, the project sponsor must seek a renewal of this Authorization by filing an application for an amendment to the original Authorization or a new application for Authorization. Should the project sponsor decline to so file, and decline to withdraw the permit application, the Commission shall conduct a public hearing in order to consider the revocation of the Authorization. Should the Commission not revoke the Authorization following the closure of the public hearing, the Commission shall determine the extension of time for the continued validity of the Authorization.

For information about compliance, contact Code Enforcement, Planning Department at 628.652.7463, www.sfplanning.org

- 3. Diligent Pursuit.** Once a site or Building Permit has been issued, construction must commence within the timeframe required by the Department of Building Inspection and be continued diligently to completion. Failure to do so shall be grounds for the Commission to consider revoking the approval if more than three (3) years have passed since this Authorization was approved.

For information about compliance, contact Code Enforcement, Planning Department at 628.652.7463, www.sfplanning.org

- 4. Extension.** All time limits in the preceding three paragraphs may be extended at the discretion of the Zoning Administrator where implementation of the project is delayed by a public agency, an appeal or a legal challenge and only by the length of time for which such public agency, appeal or challenge has caused delay.

For information about compliance, contact Code Enforcement, Planning Department at 628.652.7463, www.sfplanning.org

- 5. Conformity with Current Law.** No application for Building Permit, Site Permit, or other entitlement shall be approved unless it complies with all applicable provisions of City Codes in effect at the time of such approval.

For information about compliance, contact Code Enforcement, Planning Department at 628.652.7463, www.sfplanning.org

Design – Compliance at Plan Stage

6. **Final Materials.** The Project Sponsor shall continue to work with Planning Department on the building design. Final materials, glazing, color, texture, landscaping, and detailing shall be subject to Department staff review and approval. The architectural addenda shall be reviewed and approved by the Planning Department prior to issuance.

For information about compliance, contact the Case Planner, Planning Department at 628.652.7334, www.sfplanning.org

7. **Garbage, Composting and Recycling Storage.** Space for the collection and storage of garbage, composting, and recycling shall be provided within enclosed areas on the property and clearly labeled and illustrated on the building permit plans. Space for the collection and storage of recyclable and compostable materials that meets the size, location, accessibility and other standards specified by the San Francisco Recycling Program shall be provided at the ground level of the buildings.

For information about compliance, contact the Case Planner, Planning Department at 628.652.7334, www.sfplanning.org

Monitoring - After Entitlement

8. **Enforcement.** Violation of any of the Planning Department conditions of approval contained in this Motion or of any other provisions of Planning Code applicable to this Project shall be subject to the enforcement procedures and administrative penalties set forth under Planning Code Section 176 or Section 176.1. The Planning Department may also refer the violation complaints to other city departments and agencies for appropriate enforcement action under their jurisdiction.

For information about compliance, contact Code Enforcement, Planning Department at 628.652.7463, www.sfplanning.org

9. **Revocation due to Violation of Conditions.** Should implementation of this Project result in complaints from interested property owners, residents, or commercial lessees which are not resolved by the Project Sponsor and found to be in violation of the Planning Code and/or the specific conditions of approval for the Project as set forth in Exhibit A of this Motion, the Zoning Administrator shall refer such complaints to the Commission, after which it may hold a public hearing on the matter to consider revocation of this authorization.

For information about compliance, contact Code Enforcement, Planning Department at 628.652.7463, www.sfplanning.org

Operation

10. **Sidewalk Maintenance.** The Project Sponsor shall maintain the main entrance to the building and all sidewalks abutting the subject property in a clean and sanitary condition in compliance with the Department of Public Works Streets and Sidewalk Maintenance Standards.

For information about compliance, contact Bureau of Street Use and Mapping, Department of Public Works, 628.271.2000, www.sfpublishworks.org

- 11. Community Liaison.** Prior to issuance of a building permit to construct the project and implement the approved use, the Project Sponsor shall appoint a community liaison officer to deal with the issues of concern to owners and occupants of nearby properties. The Project Sponsor shall provide the Zoning Administrator and all registered neighborhood groups for the area with written notice of the name, business address, and telephone number of the community liaison. Should the contact information change, the Zoning Administrator and registered neighborhood groups shall be made aware of such change. The community liaison shall report to the Zoning Administrator what issues, if any, are of concern to the community and what issues have not been resolved by the Project Sponsor.

For information about compliance, contact Code Enforcement, Planning Department at 628.652.7463, www.sfplanning.org

- 12. Hours of Operation.** The subject establishment is limited to the following hours of operation: Daily 9 am to 10 pm.

For information about compliance, contact Code Enforcement, Planning Department at 628.652.7463, www.sfplanning.org

Cannabis Retail Operations

- 13. On-Site Consumption.** On-site consumption of packaged or prepared cannabis products is permitted as an accessory use to this Cannabis Retail use. On-site smoking or vaporizing of cannabis products is not permitted.

For information about compliance, contact Code Enforcement, Planning Department at 628.652.7463, www.sfplanning.org

- 14. Off-Site Consumption.** At the point of transaction or pickup of any purchase of cannabis products, sales staff or security personnel of the operator shall verbally inform customers and post visible signage stating that the smoking or vaporizing of cannabis products in public spaces, including sidewalks, is not a legal activity. The staff will request that the customer refrain from smoking or vaporizing cannabis products until they are within an allowable location for the activity to occur, such as a private residence.

For information about compliance, contact Code Enforcement, Planning Department at 628.652.7463, www.sfplanning.org

- 15. On-Site Security.** The checking of identification cards to verify that patrons of the Cannabis Retail establishment meet minimum age requirements shall occur within the licensed premises if possible.

For information about compliance, contact Code Enforcement, Planning Department at 628.652.7463, www.sfplanning.org

- 16. Additional Project Authorization.** The Project Sponsor shall obtain operating licenses from the City's Office of Cannabis and the State of California prior to commencing any cannabis sales or other cannabis related activities per Planning Code Section 202.2(a)(5).

For information about compliance, contact Code Enforcement, Planning Department at 628.652.7463, www.sfplanning.org

GENERAL NOTES

- CONTRACTOR SHALL ADHERE TO ALL CODES, RULES, AND REGULATIONS GOVERNING CONSTRUCTION, BUILDING ACCESS AND THE USE OF FACILITIES AS SET BY LOCAL BUILDING DEPARTMENT AGENCY AND THE BUILDING OWNERS. TITLE 24 C.A.C ESPECIALLY THOSE ABSTRACTS DEALING WITH ENERGY AND HANDICAPPED ACCESS REQUIREMENTS. ANYTHING SHOWN ON THESE DRAWINGS, NOT IN ACCORDANCE WITH THESE RULES AND REGULATIONS, SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGNER BEFORE PROCEEDING WITH ANY WORK.
- DRAWINGS SHALL NOT BE SCALED FOR DIMENSIONAL INFORMATION.
- THE CONTRACTOR AND SUBCONTRACTORS SHALL VERIFY ALL CONDITIONS AND DIMENSIONS IN THE FIELD. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE DESIGNER OF ANY CONFLICTS HEREIN, EITHER APPARENT OR OBVIOUS PRIOR TO START OF WORK ON THAT ITEM OR BEAR THE RESPONSIBILITY OF CORRECTING SUCH WORK AS DIRECTED BY THE ARCHITECT.
- ALL WORK SHALL BE DONE IN A FIRST CLASS WORKMANLIKE MANNER BY MECHANICS SKILLED IN THEIR RESPECTIVE TRADES.
- THE CONTRACTOR SHALL REVIEW PLANS AND THE AREA OF CONSTRUCTION CAREFULLY TO INSURE FULL UNDERSTANDING OF EXACT SCOPE OF WORK. THE ARCHITECT WILL BE AVAILABLE TO REVIEW ALL WORK ON SITE AND RESOLVE ANY UNCLEAR ITEMS
- THE CONTRACTOR SHALL CONTACT THE BUILDING MANAGEMENT TO BE ADVISED OF THE RULES OF THE BUILDING WITH RESPECT TO CONSTRUCTION, WHEN AND HOW DELIVERIES AND/OR REMOVALS CAN BE DONE ON REGULAR OR OVERTIME AND IN GENERAL, ANY BUILDING REQUIREMENTS WHICH WILL AFFECT THEIR WORK.
- THE CONTRACTOR SHALL SUBMIT TO THE ARCHITECT ALL FABRICATION SHOP DWGS. AND FIXTURE CUTS FOR APPROVAL AFTER HAVING CHECKED AND APPROVED THEM FIRST, WHERE APPLICABLE
- THE CONTRACTOR SHALL FURNISH A SYSTEM OF TEMPORARY LIGHTS AND WATER THROUGHOUT THE SPACE UNDER CONSTRUCTION, IF REQUIRED.
- THE CONTRACTOR SHALL REMOVE FROM THE BUILDING ALL RUBBISH AND WASTE MATERIALS, FOR HIS OWN SUBCONTRACTING. IF REQUIRED.
- NO WORK DEPENDING ON PARTITION LOCATIONS SHALL BE DONE UNTIL THE CONTRACTOR HAS MARKED PARTITION LOCATIONS ON THE FLOOR SLAB IN THE FIELD AND THE ARCHITECT HAS APPROVED THEM.
- THE CONTRACTOR SHALL LEAVE THE PREMISES IN A CLEAN AND ORDERLY MANNER.
- THE CONTRACTOR'S PRICE IS TO BE COMPLETE IN ALL WAYS INCLUDING TAXES, OVER-TIME, SHIPPING, ETC.
- ALL MATERIALS AND INSTALLATIONS SHALL BE IN ACCORDANCE WITH MANUFACTURER'S LATEST PRINTED SPECIFICATIONS AND WITH CODE REQUIREMENTS.
- THE WORK INCLUDED UNDER THIS CONTRACT SHALL BE DONE IN ACCORDANCE WITH AIA GENERAL CONDITIONS DOCUMENT A-201, 1991 EDITION.
- CONTRACTORS, SUBCONTRACTORS AND SUPPLIERS SHALL GUARANTEE THAT THE WORK IS FREE FROM ANY DEFECTS IN WORKMANSHIP AND MATERIALS FOR A PERIOD OF ONE YEAR FROM DATE OF COMPLETION AND BE RESPONSIBLE FOR REPAIR OR REPLACEMENT AT NO ADDITIONAL CHARGE.
- CONTRACTORS TO CARRY EMPLOYER'S LIABILITY INSURANCE OF NOT LESS THAN \$1,000,000 PER OCCURRENCE, AND COMPREHENSIVE GENERAL LIABILITY OF AT LEAST \$2,000,000 COMBINED SINGLE LIMIT FOR BODILY INJURY, DEATH, OR PROPERTY DAMAGE THE POLICIES TO ALSO COVER LANDLORD AND TENANT AS ADDITIONAL INSURED.

CODE CYCLE

- 2019 CBC, CEC, CMC, CPC, GBC, CFC, CAL. ENERGY CODE

SYMBOLS

	SECTION DRAWING SHEET NUMBER		EQUIPMENT SYMBOL EQUIPMENT TYPE EQUIPMENT GROUP
	ELEVATION DRAWING SHEET NUMBER		REVISION
	DETAIL DRAWING SHEET NUMBER		WALL TYPE
	INTERIOR ELEVATION DRAWING NUMBER		FINISH SYMBOL
	ROOM IDENTIFICATION ROOM NAME ROOM NUMBER		MATCH LINE SHADED PORTION IS SIDE CONSIDERED
	DOOR NUMBER		DATUM POINT
	WINDOW NUMBER		COLUMN GRID
			TOP OF WALL

DRAWING INDEX

A0.0	COVER SHEET
A0.01	GENERAL REQUIREMENTS
A0.02	HEALTH DEPARTMENT & SANITATION NOTES
A0.1	ACCESSIBILITY REQUIREMENTS
A0.2	ACCESSIBILITY REQUIREMENTS
A0.3	ADA GUIDELINE
A1.0	EXISTING/PROPOSED SITE PLANS
A1.1	EXISTING PLANS
A1.2	EXISTING ELEVATIONS
A2.0	PROPOSED PLANS
A2.1	PROPOSED ELEVATIONS & SECTION
A3.1	LIFT SPECS.

SCOPE OF WORK

CONVERSION OF EXISTING RESTAURANT MEZZANINE TO A PROPOSED SELF-CONTAINED SECOND FLOOR RETAIL CANNABIS WITH SEPARATE ACCESSIBLE ENTRY.

BUILDING INFORMATION

BUILDING DESCRIPTION: EXISTING: 2 STORIES TYPE V - B
PROPOSED: 2 STORIES - NO CHANGE

(E) OCCUPANCY CLASS.: A-3
PROPOSED OCCUP. CLASS.: A-3, M

(E) # OF DWELLING UNITS: 0

PLANNING INFORMATION

ZONING: NCD (INNER TARAVAL STREET NCD)

HEIGHT LIMIT: 40-X

EXISTING NUMBER OF UNITS: 0

PROPOSED NUMBER OF UNITS: 0

GENERAL NOTES

- ALL EXISTING EQUIPMENT AND N.I.C (NOT IN CONTRACT) ITEMS, SHALL BE VERIFIED BY THE GENERAL, ELECTRICAL, AND PLUMBING CONTRACTORS FOR MECHANICAL REQUIREMENT.
 - ALL DIMENSIONS SHOWN ARE FROM FINISH FACE OF WALLS, FLOORS, CEILINGS, OR CENTER LINE OF COLUMNS, UNLESS OTHERWISE NOTED.
 - ALL FINISHED BUILDING DIMENSIONS SHALL BE VERIFIED BEFORE FABRICATION AND/OR INSTALLATION OF EQUIPMENT AND FIXTURES.
 - ALL PLUMBING, ELECTRICAL AND REFRIGERATION ROUGH-IN WORK: FINAL CONNECTIONS TO ALL FOOD SERVICE EQUIPMENT AND FIXTURES INCLUDING FAUCETS, VALVES, TRAPS, MISC, FITTINGS, SWITCHES, WIRING, CONDUIT, OR FLEX, AND MAGNETIC STARTERS, DISCONNECTS, ELECTRICAL PANELS, THERMAL OVERLOAD PROTECTION, CORD AND PLUGS, ETC., SHALL BE PROVIDED BY OTHERS, UNLESS OTHERWISE SPECIFIED.
 - MECHANICAL ROUGH-IN AND FINAL HOOK-UP BY THE PLUMBING AND ELECTRICAL SUB-CONTRACTORS SHALL CONFIRM TO LOCAL CODES.
 - ALL MECHANICAL ROUGH-INS SHOWN ON THIS PLAN PERTAIN ONLY TO THE EQUIPMENT CONTRACTOR (FSEC). ANY ADDITIONAL REQUIREMENTS SHALL BE SPECIFIED BY THE ARCHITECT AND/OR GENERAL CONTRACTOR.
 - ALL ROUGH-INS ARE SUBJECT TO CHANGE PENDING THE FINAL SELECTION OF EQUIPMENT AND LOCATION OF SAME.
 - MECHANICAL SYMBOLS SHOWN PLUS 12" (UP 12") OR +16" (UP 16") ETC., DENOTE HEIGHTS FROM FINISHED FLOOR (A.F.F.) TO CENTER LINE OF OUTLET, PIPE, ETC. IN WALL. SYMBOLS SHOWN "STUB" DENOTES TO TERMINATE ROUGH-INS APPROX. 6" ABOVE FINISHED FLOOR.
- LAST DATE REVISION VOIDS ALL PREVIOUS DRAWINGS.

DISCLAIMER:

A SPACE IN TIME AND ITS ASSOCIATES DO NOT REPRESENT THEMSELVES AS ARCHITECTS, CONTRACTORS OR ENGINEERS. THESE DRAWINGS ARE PROVIDED FOR THE CONVENIENCE OF THE ARCHITECT, ENGINEER, CONTRACTOR, AND/OR SUBCONTRACTORS TO SHOW THE GENERAL PLACEMENT OF EQUIPMENT, FIXTURES, FURNISHINGS AND/OR MATERIALS AND WERE MADE FROM AVAILABLE INFORMATION AT THE TIME THEY WERE DRAWN.

D.A. CHECKLIST

- THE ADDRESS OF THE PROJECT IS **800 TARAVAL ST**
- FOR ALL TENANT IMPROVEMENT PROJECTS IN COMMERCIAL USE SPACES, THIS CHECKLIST IS REQUIRED TO BE REPRODUCED ON THE PLAN SET AND SIGNED
- THE PROPOSED USE OF THE PROJECT **RETAIL CANNABIS** (E.G. RETAIL, OFFICE, RESTAURANT, ETC.)
 - DESCRIBE THE AREA OF THE REMODEL, INCLUDING WHICH FLOOR **2ND LEVEL**
 - THE CONSTRUCTION COST OF THE PROJECT EXCLUDING DISABLED ACCESS UPGRADES IS TO THE PATH OF TRAVEL IS **\$125,000**, WHICH IS (CHECK ONE) MORE THAN / LESS THAN THE ACCESSIBILITY THRESHOLD AMOUNT OF **\$172,418.00** BASED ON THE "2013 ENR CONSTRUCTION COST INDEX" (THE COST INDEX & THRESHOLD ARE UPDATED ANNUALLY).
 - IS THIS A CITY PROJECT AND/OR DOES IT RECEIVE ANY FORM OF PUBLIC FUNDING? CHECK ONE: YES / NO
NOTE: IF YES, THEN SEE STEP 3 ON THE INSTRUCTIONS PAGE FOR ADDITIONAL FORMS REQUIRED
- CONDITIONS BELOW MUST BE FULLY DOCUMENTED BY ACCOMPANYING DRAWINGS
- READ "A" THROUGH "D" BELLOW CAREFULLY AND CHECK THE MOST APPLICABLE BOX (ONE BOX ONLY)

- A: ALL EXISTING CONDITIONS SERVING THE AREA OF REMODEL FULLY COMPLY WITH ACCESS REQUIREMENTS. NO FURTHER UPGRADES ARE REQUIRED.
FILL OUT PAGE 2 OF D.A. CHECKLIST
- B: PROJECTS ADJUSTED COST OF CONSTRUCTION IS GREATER THAN THE CURRENT VALUATION THRESHOLD:
FILL OUT AND ATTACH PAGE 2 OF D.A. CHECKLIST AND ANY OTHER REQUIRED FORMS TO PLANS.
- C: PROJECT ADJUSTED COST OF CONSTRUCTION IS LESS THAN OR EQUAL TO THE CURRENT VALUATION THRESHOLD: LIST ITEMS THAT WILL BE UPGRADED ON FORM C. ALL OTHER ITEMS SHALL BE CHECKED ON PAGE 2 OF THE D.A. CHECKLIST IN THE "NOT REQUIRED BY CODE" COLUMN.
- D: PROPOSED PROJECT CONSISTS ENTIRELY OF BARRIER REMOVAL:
FILL OUT AND ATTACH BARRIER REMOVAL FORM TO PLANS
- E: PROPOSED PROJECT IS MINOR REVISION TO PREVIOUSLY APPROVED DRAWINGS ONLY.
(NOTE: THIS SHALL NOT BE USED FOR NEW OR ADDITIONAL WORK) PROVIDE PREVIOUSLY APPROVED PERMIT APPLICATION HERE: _____

CHECK ALL APPLICABLE BOXES AND SPECIFY WHERE ON THE DRAWINGS THE DETAILS ARE SHOWN:

NOTE: UPGRADES BELOW ARE LISTED IN PRIORITY BASED ON CBC-11B-202.4 Ex 8	EXISTING FULLY COMPLYING	WILL BE UPGRADE TO FULL COMPLIANCE	EQUIVALENT FACILITATION WILL PROVIDE FULL ACCESS	COMPLIANCE IS TECHNICALLY INFEASIBLE	APPROVED IN COMPLIANCE WITH IMMEDIATELY PRECEDING CODE	NOT REQUIRE BY CODE AND/OR NONE EXISTING	NON-COMPLIANT REQUEST UHR MUST BE RATIFIED BY AAC	LOCATION OF DETAIL(S)-INCLUDE DETAIL NO.& DRAWING SHEET (DO NOT LEAVE THIS PART BLANK). ALSO CLARIFICATION COMMENTS CAN BE WRITTEN HERE
A. ONE ACCESSIBLE ENTRANCE INCLUDING: APPROACH WALK, VERTICAL ACCESS, PLATFORM (LANDING), DOOR/GATE AND HARDWARE FOR DOOR/GATE	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	A0.1 & A0.2
B. AN ACCESSIBLE ROUTE TO THE AREA OF REMODEL INCLUDING PARKING/ACCESS AISLES AND CURB RAMPS CURB RAMPS AND WALKS CORRIDORS, HALLWAYS, FLOORS RAMPS ELEVATORS, LIFTS	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
C. AT LEAST ONE ACCESSIBLE RESTROOM FOR EACH SEX OR A SINGLE UNISEX RESTROOM SERVING THE AREA OF REMODEL	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
D. ACCESSIBLE PUBLIC PAY PHONE	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
E. ACCESSIBLE DRINKING FOUNTAINS(HI-LOW).	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
F. SIGNAGE.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
G. VISUAL ALARM, STORAGE, STORAGE AND ADDITIONAL PARKING	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
SEE THE REQUIREMENTS FOR ADDITIONAL FORMS LISTED BELOW	1.	2.	3.	4.	5.	6.	7.	

- NO ADDITIONAL FORMS REQUIRED.
- NO ADDITIONAL FORMS REQUIRED.
- FILL OUT REQUEST FOR APPROVAL OF EQUIVALENT FACILITATION FORM FOR EACH ITEM CHECKED AND ATTACH TO PLAN.
- FILL OUT REQUEST FOR APPROVAL OF TECHNICAL INFEASIBILITY FORM FOR EACH ITEM CHECKED AND ATTACH TO PLAN.
- PROVIDE DETAILS FROM A SET OF CITY APPROVED REFERENCE DRAWINGS, PROVIDE ITS PERMIT APPLICATION NUMBER HERE: _____ AND LIST REFERENCE DRAWING NUMBER ON PLANS
- NO ADDITIONAL FORMS REQUIRED
- FILL OUT REQUEST FOR AN UNREASONABLE HARDSHIP FORM FOR EACH ITEM CHECKED AND ATTACH TO PLAN. ALL UHR MUST BE RATIFIED BY THE ACCESS APPEALS COMMISSION (SEE UHR FORM FOR DETAILS)

Form C: DISABLED ACCESS 20% RULE

THIS FORM IS ONLY REQUIRED WHEN BOX "C" IS CHECKED OFF ON THE D.A. CHECKLIST AND IS FOR PROVIDING AN ITEMIZED LIST OF THE ESTIMATED COSTS FOR THE EXPENDITURES USED FOR DISABLED ACCESS UPGRADES FOR THIS PROJECT. REPRODUCE THIS FORM ALONG WITH THE D.A. CHECKLIST AND THE UNREASONABLE HARDSHIP REQUEST FORM(S) ON THE PLANS. BASED ON CBC 1134B.2.1, EXCEPTION 1, ONLY PROJECTS WITH A CONSTRUCTION COST LESS THAN THE VALUATION THRESHOLD (CURRENT ENR CONSTRUCTION COST INDEX AMOUNT) ARE ELIGIBLE FOR THE 20% RULE, WHERE THE PROJECT MUST PROVIDE DISABLED ACCESS UPGRADES UP TO 20% OF THE COST OF CONSTRUCTION IN THE REQUIRED PRIORITY AS LISTED ON P. 2 OF THE D.A. CHECKLIST. IN GENERAL, PROJECTS VALUED OVER THE THRESHOLD ARE NOT ELIGIBLE FOR THE 20% RULE (SEE CBC 1134.2.1 EXCEPTION 2 FOR A POSSIBLE EXCEPTION).

CBC 1134B.2.1 EXCEPTION 2 (ABBREVIATED): IN ALTERATION PROJECTS INVOLVING BUILDINGS & FACILITIES PREVIOUSLY APPROVED & BUILT WITHOUT ELEVATORS, AREAS ABOVE & BELOW THE GROUND FLOOR ARE SUBJECT TO THE 20% DISPROPORTIONALITY PROVISIONS DESCRIBED IN EXCEPTION 1, EVEN IF THE VALUE OF THE PROJECT EXCEEDS THE VALUATION THRESHOLD IN EXCEPTION 1. REFER TO THE CODE FOR THE TYPES OF BUILDINGS & FACILITIES THAT QUALIFIES FOR THIS 20% DISPROPORTIONALITY PROVISIONS WHEN PROJECT VALUATION IS OVER THE THRESHOLD.

A) COST OF CONSTRUCTION: (EXCLUDING ACCESSIBILITY UPGRADE)	A	\$125,000	_____
B) 20% OF A) :	B	\$ 25,000	_____
LIST THE UPGRADE EXPENDITURES AND THEIR RESPECTIVE CONSTRUCTION COST BELOW:			
1. ACCESSIBLE LIFT		\$ 25,000	_____
2. ACCESSIBLE TOILET		\$ 15,000	_____
3. ACCESSIBLE COUNTER		\$ 10,000	_____
4. ACCESSIBLE SIGNAGE		\$ 2,000	_____
5.			_____
6.			_____
7.			_____
TOTAL UPGRADE EXPENDITURES MUST APPROXIMATELY EQUAL TO LINE B			

SHATARA ARCHITECTURE INC.

890 7TH ST.
SAN FRANCISCO
CA 94107

TEL (415) 512-7566
suhel@shataraarch.com

DRAWINGS AND SPECIFICATIONS, AS INSTRUMENTS OF PROFESSIONAL SERVICE, ARE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT. THESE DOCUMENTS ARE NOT TO BE USED, IN WHOLE OR IN PART, FOR ANY PROJECTS OR PURPOSES WHATSOEVER, WITHOUT THE PRIOR SPECIFIC WRITTEN AUTHORIZATION OF SHATARA ARCHITECTURE INC.

TENANT IMPROVEMENT

ADDRESS
**800 TARAVAL ST
SAN FRANCISCO, CA**

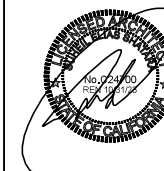
**BLock: 2347
LOT: 009A**

PROJECT DIRECTORY

ARCHITECT
SHATARA ARCHITECTURE INC.
890 7TH STREET
SAN FRANCISCO, CA 94107
TEL: 415-512-7566
CONTACT: SUHEL SHATARA

BUILDING 08.03.2021

BUILDING 12-15-2021



SHEET DESCRIPTION
COVER SHEET

A0.0

FLOORS
EXCEPT IN SALES AND DINING AREAS, FLOORS IN AREAS WHERE FOOD IS PREPARED, PACKAGED, OR STORED, WHERE UTENSILS ARE WASHED, WHERE REFUSE OR GARBAGE IS STORED, AT JANITORIAL AREAS, IN TOILET AND HAND WASH AREAS AND IN EMPLOYEES CHANGE AND STORAGE AREAS SHALL BE SMOOTH, DURABLE, NONABSORBENT AND EASILY CLEANABLE. THESE FLOORS SHALL BE COVED AT THE JUNCTURE OF THE FLOOR AND WALL OR TOE-KICK WITH A 3/8 INCH MINIMUM RADIUS INTEGRAL COVING AND THE FLOOR SURFACE SHALL EXTEND UP THE WALL OR TOE-KICK AT LEAST 4 INCHES EXCEPT WHERE FOOD IS STORED ONLY IN UNOPENED ORIGINAL SHIPPING CONTAINERS. APPROVED ANTI-SLIP FLOOR FINISHES ARE ALLOWED WHERE NECESSARY FOR SAFETY. FLOOR DRAINS SHALL BE INSTALLED AS FOLLOWS: (1) IN FLOORS THAT ARE WATER-FLUSHED FOR CLEANING. (2) IN AREAS WHERE PRESSURE SPRAY METHODS FOR CLEANING EQUIPMENT ARE USED. FLOOR SURFACES IN AREAS WITH REQUIRED FLOOR DRAINS SHALL BE SLOPED 1:50 TO THE FLOOR DRAINS.

WALLS & CEILINGS
WALLS AND CEILINGS OF ALL ROOMS SHALL BE DURABLE, SMOOTH (NOT TEXTURED OR ROUGH), NONABSORBENT, WASHABLE AND LIGHT COLORED. THE ABOVE WALL AND CLG. FINISH REQUIREMENTS DO NOT APPLY TO THE FOLLOWING AREAS: (1) BAR AREAS IN WHICH ALCOHOLIC BEVERAGES ARE SOLD OR SERVED DIRECTLY TO PATRONS, EXCEPT WALL AREAS ADJACENT TO BAR SINKS AND AREAS WHERE FOOD IS PREPARED. (2) AREAS WHERE FOOD IS STORED ONLINE IN UNOPENED ORIGINAL SHIPPING CONTAINERS. (3) DINING AND SALES AREA. (4) OFFICES. (5) RESTROOMS USED EXCLUSIVELY BY PATRONS; PROVIDED THAT THE WALLS AND CEILINGS SHALL BE NONABSORBENT AND WASHABLE. WALLS BEHIND SINKS AND DISH TABLES SHOULD HAVE DURABLE WATERPROOF MATERIAL, EXTENDING FROM THE TOP OF THE COVED BASE TO AT LEAST 12 INCHES ABOVE THE BACKSPASH. PROVIDE APPROVED NON CORRODIBLE AND NONFLAMMABLE WALL SURFACES AT COOK LINES. CONDUITS OF ALL TYPES SHALL BE INSTALLED WITHIN WALLS AS PRACTICABLE; WHEN OTHERWISE INSTALLED, THEY SHALL BE MOUNTED OR ENCLOSED TO FACILITATE CLEANING AT LEAST 1/4 INCH FROM WALLS AND AT LEAST 6 INCHES ABOVE FLOORS. MULTIPLE RUNS OR CLUSTERS OR CONDUITS OR PIPES SHALL BE INSTALLED WITHIN WALLS OR ENCASED. HOLES AND GAPS MUST BE SEALED, WHERE REQUIRED.

REFUSE DISPOSAL FACILITIES
GARBAGE AND WASTE GREASE SHALL BE DISPOSED INTO LEAK-PROOF, RODENT-PROOF CONTAINERS WITH CLOSE-FITTING LIDS AND THERE SHALL BE AN APPROVED AREA FOR THERE STORAGE.

REFUSE CONTAINER WASHING FACILITIES
REFUSE CONTAINER WASHING FACILITIES MAY BE REQUIRED AT SOME ESTABLISHMENTS, WHERE REQUIRED WASHING FACILITIES MUST INCLUDE HOT AND COLD WATER FROM A MIXING VALVE PROTECTED WITH AN APPROVED BACKFLOW PROTECTION DEVICE AND AN APPROVED FLOOR SURFACE SLOPED TO A DRAIN CONNECTED TO THE SANITARY SEWER.

VERMIN CONTROL
EXTERIOR DOORS AND WINDOWS SHALL BE TIGHT-FITTING. ALL OPEN ABLE WINDOWS SHALL HAVE AT LEAST #16 MESH SCREENS. EXTERIOR DOORS SHALL BE SELF-CLOSING WHERE REQUIRED. LARGE CARGO TYPE DOORS SHALL NOT OPEN INTO A FOOD PREPARATION AREA. WHERE USED, PASS-THROUGH WINDOWS TO THE OUTDOORS (18 INCHES MINIMUM BETWEEN WINDOWS) SHOULD NOT EXCEED 432 SQ. INCHES, SHOULD HAVE A SELF-CLOSING SCREEN OR WINDOW OR AUTOMATICALLY ACTIVATED AIR CURTAIN THAT PRODUCES AN AIR FLOW 8" THICK AT THE DISCHARGE OPENING AND AN AIR VELOCITY OF AT LEAST 600 FEET PER MINUTE ACROSS THE ENTIRE OPENING AT A PINT 3 FT. BELOW THE AIR CURTAIN.

LIGHTING
TWENTY (20) FOOT-CANDLES OF LIGHT (30 INCHES ABOVE FLOOR) IS REQUIRED WHERE FOOD IS PREPARED, MANUFACTURED, PROCESSED OR PACKAGED, AND WHERE UTENSILS ARE CLEANED, FOOD AND UTENSIL STORAGE ROOMS, REFRIGERATION STORAGE, AND TOILET AND DRESSING ROOMS SHALL HAVE AT LEAST 10 FOOT-CANDLES OF LIGHT. TWENTY (20) FOOT-CANDLES (30) INCHES ABOVE FLOOR) IS REQUIRED DURING GENERAL CLEANING. LIGHT FIXTURES IN AREAS WHERE FOOD IS PREPARED OR OPENED FOOD IS STORED OR WHERE UTENSILS ARE CLEANED SHALL BE OF SHATTERPROOF CONSTRUCTION OR HAVE SHATTERPROOF SHIELDS AND SHALL BE READILY CLEANABLE.

VENTILATION
ALL AREAS SHALL HAVE SUFFICIENT VENTILATION FOR REASONABLE WORKER COMFORT AND TO FACILITATE PROPER FOOD STORAGE. TOILET ROOMS SHALL BE VENTED TO OUTSIDE AIR BY AN OPEN ABLE SCREENED WINDOW, AIR SHAFT, OR A LIGHT-SWITCH-ACTIVATED EXHAUST FAN, CONSISTENT WITH REQUIREMENTS OF LOCAL BUILDING CODES. A MECHANICAL EXHAUST VENTILATION SYSTEM IS NEEDED AT OR ABOVE COOKING EQUIPMENT AND SOME DISH WASHING MACHINES, AS REQUIRED.

TOILET FACILITIES
IN EACH FOOD ESTABLISHMENT THERE SHALL BE TOILET FACILITIES FOR EMPLOYEES. THE NUMBER OF TOILET FACILITIES SHALL BE AS PER LOCAL BUILDING AND PLUMBING ORDINANCES. TOILET FACILITIES PROVIDED FOR PATRONS SHALL BE SO SITUATED THAT PATRONS DO NOT PASS THROUGH FOOD PREPARATION, FOOD STORAGE OR UTENSIL WASHING AREAS. TOILET ROOMS SHALL BE SEPARATED BY SELF-CLOSING DOORS. AMUSEMENT PARKS, STADIUMS, ARENAS, RETAIL SHOPPING CENTERS AND SIMILAR PREMISES WHICH INCLUDE FOOD AND TOILET FACILITIES IN THERE BOUNDARIES ARE NOT REQUIRED TO PROVIDE TOILET FACILITIES FOR EMPLOYEES IN EACH FOOD ESTABLISHMENT IF APPROVED TOILER FACILITIES ARE WITHIN 300 FT. OF EACH FOOD ESTABLISHMENT AND ARE READILY AVAILABLE TO EMPLOYEES.

HAND WASH FACILITIES
HAND WASHING SINKS SHALL BE IN OR ADJACENT TO TOILET ROOMS, HAVE HOT AND COLD WATER FROM A COMBINATION OR PREMIXING FAUCET AND PERMANENT SOAP AND TOWEL (OR HOT-AIR BLOWERS) DISPENSERS. SINKS EXCLUSIVELY FOR HAND WASHING ARE REQUIRED IN EACH FOOD PREPARATION AREA; THE SINKS MUST BE SUFFICIENT IN NUMBER, CONVENIENTLY LOCATED AND LOCATED SO AS NOT TO CONTAMINATE FOOD, UTENSILS OR EQUIPMENT.

DRESSING ROOMS OR AREAS
A ROOM, ENCLOSURE, OR DESIGNED AREA, SEPARATED FROM TOILETS, FOOD STORAGE, FOOD PREPARATION AREA, AND UTENSIL WASHING AREAS, SHALL BE PROVIDED WHERE EMPLOYEES MAY CHANGE AND STORE CLOTHES.

WATER
AN ADEQUATE APPROVED SUPPLY OF HOT (120 DEGREES F. MINIMUM) AND COLD WATER SHALL BE PROVIDED, HOT AND COLD WATER SHALL BE PROVIDED THROUGH A MIXING VALVE TO EACH SINK COMPARTMENT.

DRAINAGE
EQUIPMENT (SUCH AS UTENSIL SINKS, ICE MACHINES AND BINS, STEAM TABLES, DISPLAY CASES, DIPPER WELLS, REFRIGERATOR AND OTHER SIMILAR EQUIPMENT) THAT DISCHARGE LIQUID WASTE SHALL BE INDIRECTLY CONNECTED THROUGH A 1 INCH MIN. AIR GAP TO AN APPROVED SEWAGE SYSTEM. REFRIGERATOR CONDENSATE MAY BE DRAINED TO AN EVAPORATOR. FLOOR SINKS OR OTHER INDIRECT WASTE RECEPTORS SHALL BE READILY ACCESSIBLE FOR CLEANING, OVERFLOW FROM INDIRECT WASTE RECEPTORS SHALL BE PREVENTED FROM FLOWING INTO INACCESSIBLE AREA. DISHWASHING MACHINES MAY BE CONNECTED DIRECTLY TO THE SEWER IMMEDIATELY DOWNSTREAM FORM A FLOOR DRAIN OR FLOOR SINK OR THEY MAY BE DRAINED THROUGH AN APPROVED INDIRECT CONNECTION, SUCH AS TO A MINIMUM 12 INCH BY 12 INCH FLOOR SINK.

EQUIPMENT
FOOD RELATED AND UTENSIL RELATED EQUIPMENT AND FOOD PREPARATION SURFACES SHALL MEET OR BE EQUIVALENT TO APPROVED APPLICABLE SANITATION STANDARDS. EQUIPMENT OR UTENSILS USED IN THE PREPARATION, SALE, SERVICE, AND DISPLAY OF FOOD SHALL BE MADE OF NONTOXIC, NON-CORROSIVE MATERIALS AND SHALL BE CONSTRUCTED AND INSTALLED TO BE EASILY CLEANED. DO NOT USE RESIDENTIAL TYPE EQUIPMENT. EQUIPMENT SHALL BE INSTALLED TO FACILITATE CLEANING UNDER AND AROUND EQUIPMENT, AND OF ALL ADJACENT SURFACES. EQUIPMENT SHOULD BE SEALED TO ADJACENT WALLS AND EQUIPMENT OR SHOULD BE SPACED AWAY FROM ADJACENT WALLS AND EQUIPMENT AT LEAST 6" FOR EVERY 4 LINEAR FEET OF EQUIPMENT. FLOOR MOUNTED EQUIPMENT SHALL BE ON 6" MINIMUM APPROVED LEGS OR BE SEALED IN POSITION ONTO AT LEAST A 4" HIGH COVED BASE OR COVED CONCRETE CURB, OR BE ON APPROVED CASTERS (SOME COOKING EQUIPMENT MAY BE PROHIBITED FROM HAVING CASTERS BY THE LOCAL FIRE DEPARTMENT OR FIRE DISTRICT.) COUNTERS AND CABINETS MUST HAVE AN APPROVED EASILY CLEANABLE FINISH ON TOPS AND OTHER EXTERIOR SURFACES, INTERIOR SURFACES AND SHELVES (E.G. STAINLESS STEEL, PLASTIC LAMINATE, ETC.)

MOP BASIN OR SINK AND CLEANING EQUIPMENT
ONE OF THE FOLLOWING, TO BE USED EXCLUSIVELY FOR GEN. CLEANING AND THE DISPOSAL OF MOP BUCKET WASTE AND OTHER LIQUID WASTES, REQ'D: (1) A NONPOROUS JANITOR SINK. (2) A SLAB, BASIN, OR FLOOR OF CONCRETE OR EQUIVALENT MATERIAL, CURBED AND SLOPED TO A DRAIN. SUCH FACILITIES SHALL BE CONNECTED TO APPROVED SEWERAGE AND SHALL HAVE HOT AND COLD WATER FROM A MIXING VALVE PROTECTED WITH AN APPROVED BACKFLOW PROTECTION DEVICE. THE BASIN OR SINK SHALL BE LOCATED SO AS NOT TO CONTAMINATE FOOD, UTENSILS OR EQUIPMENT. IT MUST BE AN APPROVED JANITOR BASIN OR SINK, NOT AN UNAPPROVED UTILITY SINK. A ROOM, AREA OR CABINET SEPARATE FROM ANY FOOD PREPARATION STORAGE AREA, OR UTENSIL WASHING OR STORAGE AREA SHALL BE PROVIDED FOR STORAGE OF CLEANING EQUIPMENT SUPPLIES AND POISONOUS SUBSTANCES.

STORAGE
ADEQUATE AND SUITABLE SPACE SHALL BE PROVIDED FOR FOOD, BEVERAGE AND UTENSIL STORAGE, FOR SMALL FOOD SERVICE ESTABLISHMENTS, 144 SQ. FT. OF APPROVED DRY FOOD STORAGE SHELVING MAY BE ADEQUATE (MORE SHELVING MAY BE REQUIRED FOR LARGER ESTABLISHMENTS) SHELVES IN REFRIGERATORS OR FREEZERS MUST BE APPROVED NON-CORRODIBLE TYPE (WOOD IS NOT ACCEPTABLE), EXCEPT FOR LARGE OR BULKY FOOD CONTAINERS, ALL FOOD SHALL BE STORED AT LEAST 6" OFF THE FLOOR OR UNDER OTHER CONDITIONS WHICH ARE APPROVED. CONTAINERS MAY BE STORED ON DOLLIES, RACKS OR PALLETS NOT MEETING THIS HEIGHT REQUIREMENT, IF THESE ITEMS ARE EASILY MOVABLE. ADEQUATE AND SUITABLE SPACE SHALL BE PROVIDED FOR THE SEPARATE STORAGE OF CLEAN AND SOILED LINENS, WHERE REQUIRED.

FOOD PROTECTION
FOOD SHALL BE PREPARED, STORED, DISPLAYED, DISPENSED, PLACED, TRANSPORTED, SOLD, AND SERVED AS TO BE PROTECTED FROM DIRT, VERMIN, UNNECESSARY HANDLING, DROPLET CONTAMINATION, OVERHEAD LEAKAGE, AND OTHER CONTAMINATION. ALL MATERIALS USED IN THE PACKAGING OF FOOD SHALL BE PROTECTED FROM CONTAMINATION.

UTENSIL WASHING SINKS
ESTABLISHMENTS IN WHICH FOOD IS PREPARED OR IN WHICH MULTI-SERVICE KITCHEN UTENSILS ARE USED SHALL HAVE AT LEAST A 3 COMPARTMENT STAINLESS STEEL SINK WITH 2 INTEGRAL STAINLESS STEEL DRAIN-BOARDS. ADDITIONAL DRAINAGE SPACE MAY BE PROVIDED WHICH IS NOT NECESSARILY ATTACHED TO THE SINK. A 3 COMPARTMENT UTENSIL SINK MAY BE REQUIRED IN EACH SEPARATE SECTION OF A LARGE ESTABLISHMENT. SINK COMPARTMENTS AND DRAINAGE FACILITIES SHALL BE LARGE ENOUGH TO ACCOMMODATE THE LARGEST ITEM CLEANED THEREIN.

UTENSIL WASHING MACHINES
UTENSIL WASHING MACHINES ARE RECOMMENDED WHERE A LARGE VOLUME OF MULTI-SERVICE CONSUMER UTENSILS ARE USED. MACHINES DESIGNED FOR HOT WATER SANITIZING SHALL BE PROVIDED WITH A BOOSTER HEATER OR OTHER ACCEPTABLE SOURCE OF 180 DEGREE F. MIN. FINAL RINSE WATER. MACHINES THAT UTILIZE THE WATER SUPPLY LINE PRESSURE FOR THE FINAL RINSE SHALL BE SUPPLIED BY A WATER LINE WITH ADEQUATE FLOW PRESSURE (USUALLY 15 TO 25 PSI) WITH A PERMANENT PRESSURE GAUGE INSTALLED IMMEDIATELY ADJACENT TO THE SUPPLY SIDE OF FINAL RINSE SOLENOID VALVE (LOCATE LINE STRAINER AHEAD OF THE SOLENOID VALVE AND THE PRESSURE GAUGE); IN MOST CASES A PRESSURE REGULATOR WILL BE NEEDED. ALL MACHINES SHALL HAVE PROPERLY SIZED WATER SUPPLY AND WASTE LINES. UTENSIL WASHING MACHINES (EXCEPT UNDER-COUNTER MODELS) SHALL BE PROVIDED WITH 2 ADEQUATE INTEGRAL METAL DRAIN-BOARDS. WHERE AN ENDER-COUNTER MACHINE IS USED, THERE SHALL BE 2 METAL DRAIN-BOARDS. SLOPPED TO AN APPROVED WASTE RECEPTOR, NEXT TO THE MACHINE (THIS REQUIREMENT MAY BE SATISFIED BY USING THE DRAIN-BOARDS OF A UTENSIL SINK IF SUCH SINK IS NEXT TO THE MACHINE).

FOOD PREPARATION SINK
ESTABLISHMENTS WHERE A SINK IS USED FOR FOOD PREPARATION (SUCH AS, BUT NOT LIMITED TO FOOD THAWING, WASHING OR SOAKING) SHALL HAVE A SEPARATE APPROVED STAINLESS STEEL FOOD PREPARATION SINK THAT DRAINS INDIRECTLY TO THE SEWER (SUCH AS TO A MIN. 12" BY 12 INCH FLOOR SINK).

FOOD PREPARATION SINKS MUST BE COMPLETELY SEPARATE FROM UTENSIL SINKS.
STAINLESS STEEL SINK 1 COMPARTMENT SINKS WITH 1 INTEGRAL STAINLESS STEEL DRAIN-BOARD OR WORK TABLE WASH-SINKS (STAINLESS STEEL TABLE WITH AN INTEGRAL STAINLESS STEEL SINK) OF ADEQUATE SIZE THAT MEET SANITATION STANDARDS ARE ACCEPTABLE FOR USE AS FOOD PREPARATION SINKS. ESTABLISHMENTS THAT ENGAGE IN FOOD PREPARATION THAT DO NOT HAVE OR PROPOSE A SEPARATE APPROVED FOOD PREPARATION SINK AND WILL NOT ENGAGE IN ANY OPERATION THAT REQUIRES THAT A SEPARATE FOOD PREPARATION SINK BE PROVIDED (FOR EXAMPLE, IF THE ONLY FOOD USED THAT MAY REQUIRE THAT A FOOD PREPARATION SINK BE USED IS VEGETABLES, AND IF ALL VEGETABLES WILL BE DELIVERED TO THE ESTABLISHMENT IN A PRE-WASHED, PRE-PACKED, PRE-PROCESSED AND READY TO EAT CONDITION) WILL HAVE TO SUBMIT WRITTEN STATEMENT TO THIS EFFECT, SIGNED AND DATED BY THE OWNER (OR OWNER'S AUTHORIZED REPRESENTATIVE) OF THE BUSINESS.

SANITATION NOTES

1. ALL FOOD SERVICE AND RELATED EQUIPMENT SHALL BE NATIONAL SANITATION FOUNDATION (NSF) APPROVED AND IN CONFORMITY WITH LOCAL HEALTH REGULATIONS. INSTALLATION OF EQUIPMENT SHALL MEET SAME REQUIREMENTS.
2. ALL ADJOINING EQUIPMENT AND COUNTER SHALL BE SEALED TOGETHER TO PREVENT THE ENTRANCE OF MOISTURE, SPLASH, GREASE, INSECTS, ETC. ALL EQUIPMENT, INCLUDING SHELVING, SHALL BE SMOOTHLY SEALED TO THE WALL TO PREVENT THE ENTRANCE OF SPLASH AND DEBRIS. ALL PORTABLE OR FREE STANDING UNITS SHALL BE MOVABLE AND EASILY ACCESSIBLE FOR CLEANING.
3. ALL WORKING SURFACES SHALL BE SMOOTH, IMPERVIOUS AND EASILY CLEANABLE.
4. ALL REFRIGERATION EQUIPMENT AND EQUIPMENT FOR HOT STORAGE SHALL HAVE THERMOMETERS WHICH ARE EASILY READABLE IN PROPER WORKING CONDITION.
5. STORAGE SHELVING MUST BE SPECIFIED AS HAVING A SMOOTH, NON-ABSORBENT FINISH. THE LOWEST SHELF SHOULD BE 6 INCHES ABOVE THE FLOOR.
6. ATLEAST ONE SEPARATE, SINGLE COMPARTMENT SINK SHALL BE AVAILABLE FOR FOOD PREPARATION. FOOD PREPARATION SINKS SHALL HAVE AN INDIRECT SEWER CONNECTION, I.E., FIXED IN-LINE AIR CAP DRAIN OR TO A FLOOR SINK THROUGH AN APPROVED AIR GAP.
7. A SEPARATE WALL-MOUNTED HANDWASH SINK IS REQUIRED WITHIN OR ADJACENT TO THE FOOD PREPARATION AND PACKAGING AREA. PROVIDE PERMANENTLY MOUNTED SINGLE-SERVICE SOAP AND PAPER TOWEL DISPENSERS.
8. ALL SINKS TO BE PROVIDED WITH ADEQUATE HOT AND COLD WATER FROM MIXING FAUCETS.
9. ALL CONDUIT, PLUMBING, ETC. TO BE RUN THROUGH WALLS; ANY EXPOSED CONDUIT, PLUMBING, ETC. MUST BE INSTALLED AT LEAST 6 INCHES ABOVE THE FLOOR AND 1/2 INCH AWAY FROM WALLS . ALL EXPOSED FLEX CONDUIT IS TO BE SEALTIGHT OR EQUIVALENT.
10. THE JUNCTURE AT THE FLOOR AND WALL, IN FOOD PREPARATION, COOKING AND SERVICE AREAS, MUST HAVE A COVED BASE WITH AT LEAST A 3/8" RADIUS AND EXTENDING AT LEAST 6 INCHES UP THE WALL. IF TOP SET COVING IS USED, IT MUST BE ADEQUATELY SEALED AT THE FLOOR WITH SILICONE SEALANT OR EQUIVALENT TO FORM A WATERPROOF SEAL.
11. TWENTY FOOT CANDLES OF LIGHT SHALL BE PROVIDED FOR ALL FOOD PREPARATION AREAS. MINIMUM OF FIVE FOOT CANDLES OF LIGHT IN STORAGE AREAS. ADEQUATE LIGHTING SHALL BE USED OVER BAR SINKS AND AVAILABLE FOR CLEANUP OF GENERAL PREMISES.
12. LIGHT FIXTURES IN AREAS WHERE FOOD IS PREPARED OR WHERE OPEN FOOD IS STORED OR WHERE UTENSILS ARE CLEANED MUST HAVE SHATTERPROOF SHIELDS AND SHALL BE READILY CLEANABLE.
13. PROVIDE AUTOMATIC DOOR CLOSURES ON ALL ENTRY AND DELIVERY ROOM DOORS.
14. BUILDINGS SHALL BE INSECT AND RODENT PROOF, INCLUDING EXTERIOR DOOR WHICH MUST COME WITHIN 1/4 INCH OF FLOOR. ALL VENTS AND OTHER OPENINGS TO OUTSIDE NEED TO BE SEALED OR SCREENED.
15. REFUSE CONTAINERS SHALL BE MOISTURE AND VERMIN PROOF WITH TIGHT FITTING LIDS.
16. ANY TRASH AND GARBAGE STORAGE AREA RECEIVING FOOD WASTE OR FOOD CONTAINERS, WILL HAVE A WATER BIB TO FACILITATE CLEANING. FLOOR, WALL AND CEILING WILL BE SMOOTH AND CLEANABLE, RECOMMEND HOT AND COLD WATER BIBS BE AVAILABLE FOR CLEANING. WASTE WATER FROM SUCH CLEANING OPERATIONS MUST BE DISPOSED OF AS SEWAGE THROUGH A FLOOR DRAIN IN THE TRASH ENCLOSURE OR THE EQUIVALENT. SEE ADDITIONAL NOTES PER PLANS

SHATARA ARCHITECTURE INC.

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PROJECT TENANT IMPROVEMENT

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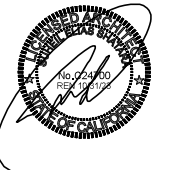
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LOT: 009A**

PROJECT DIRECTORY

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CONTACT: SUHEL SHATARA

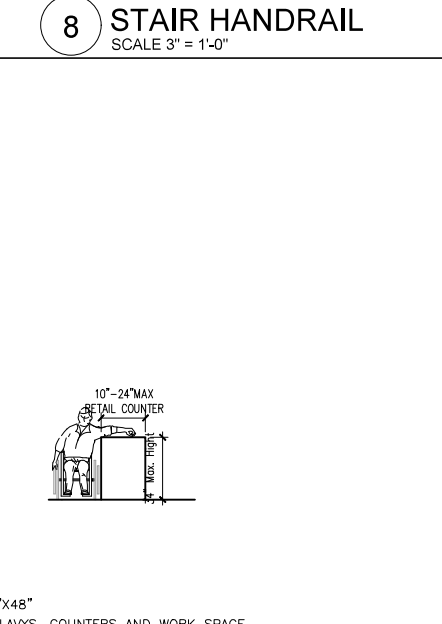
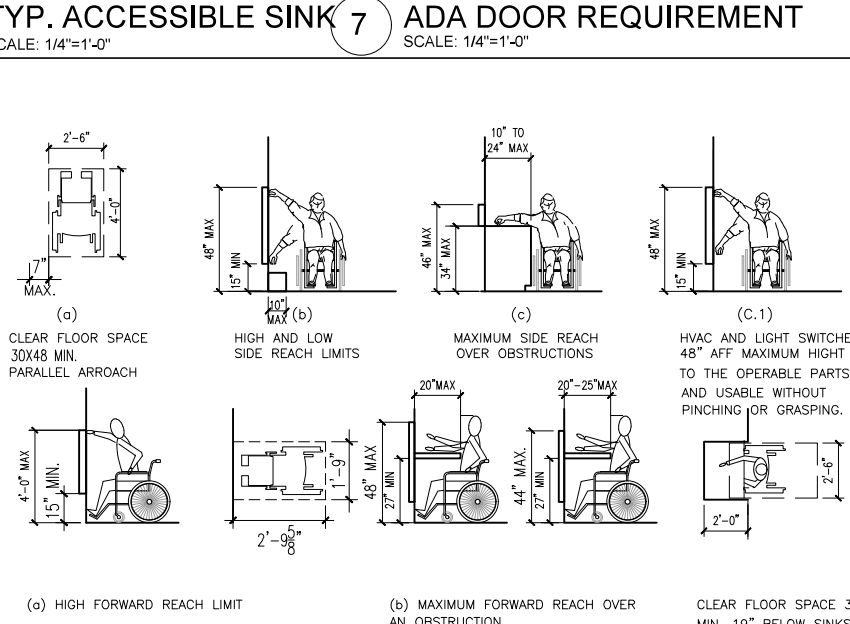
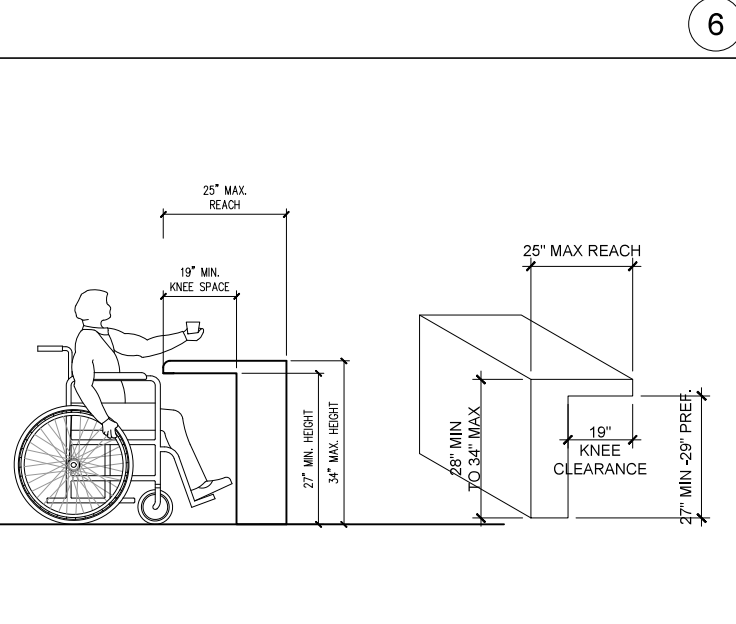
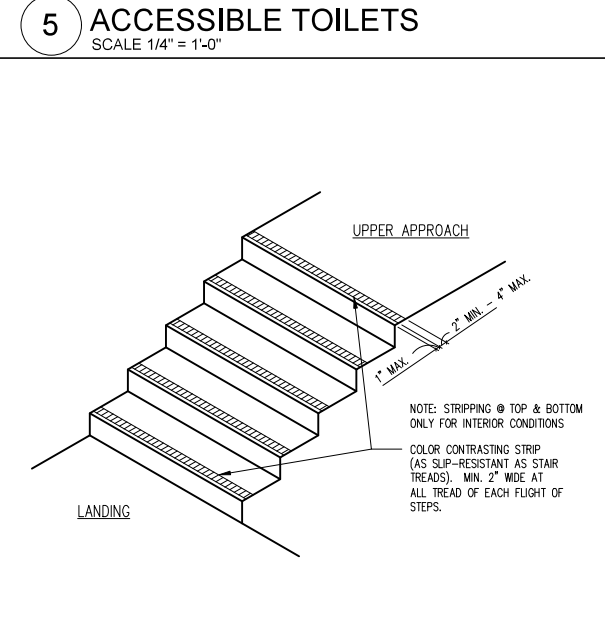
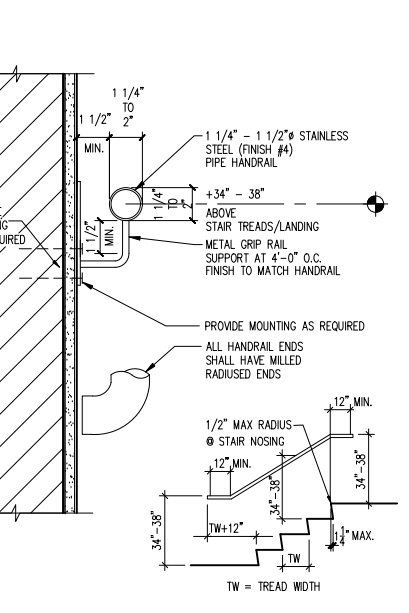
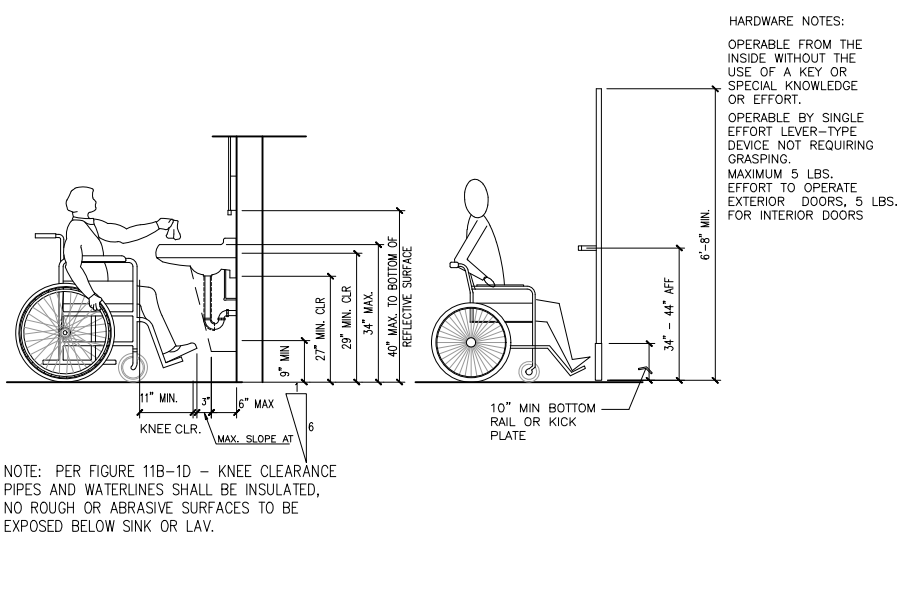
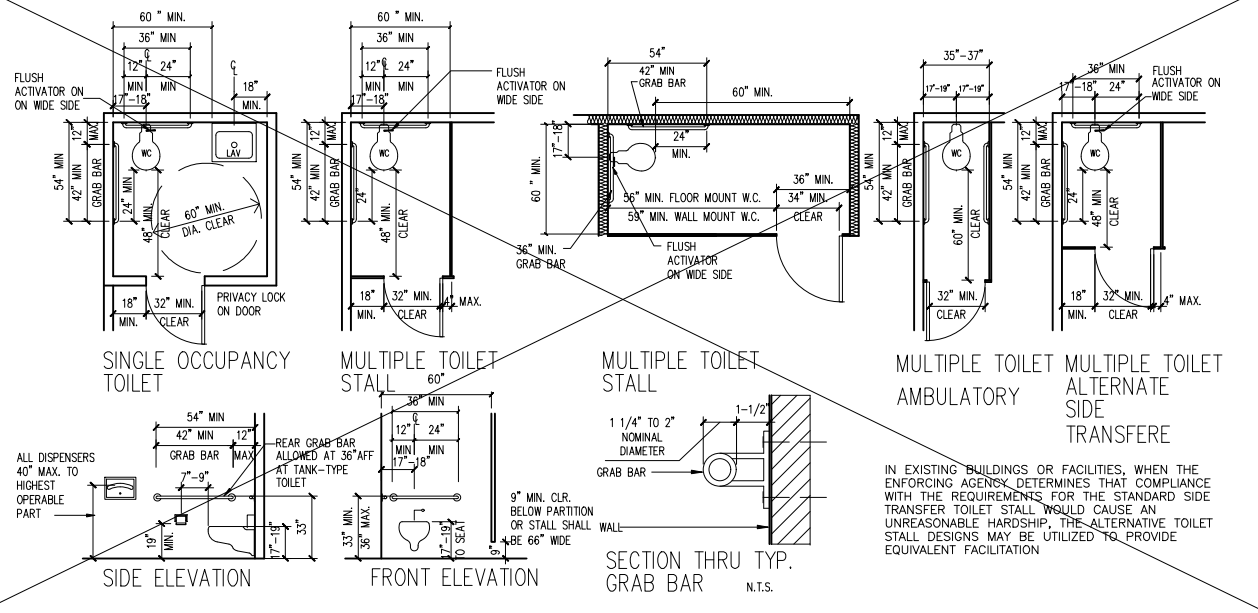
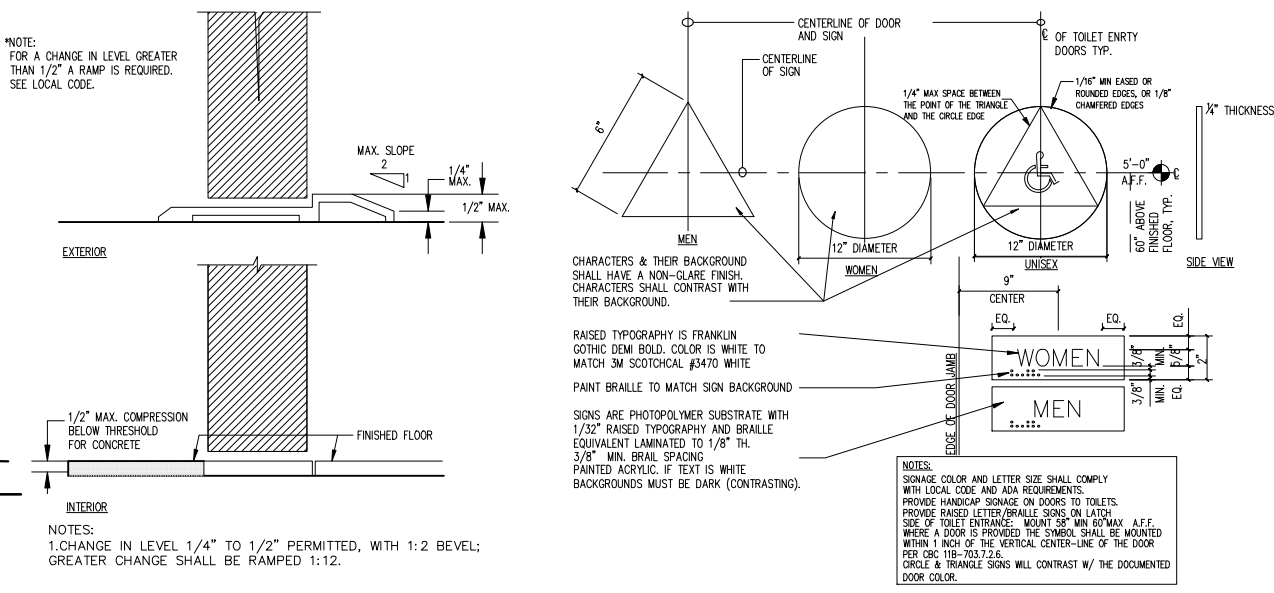
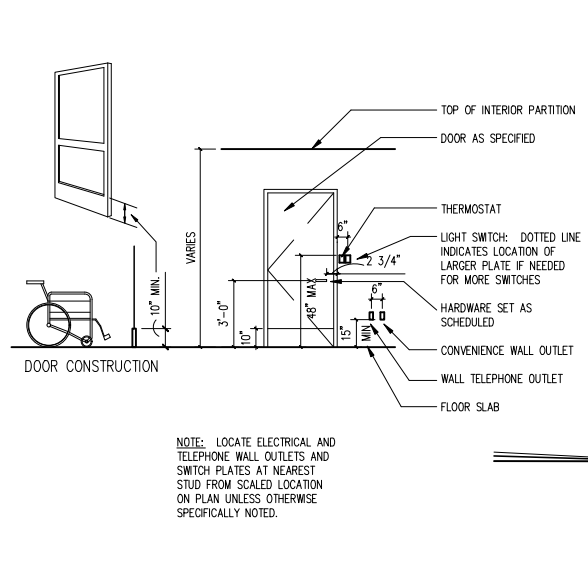
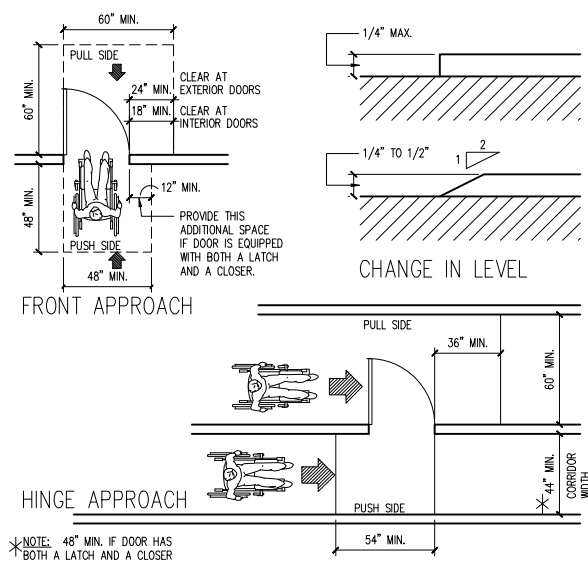
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SHEET DESCRIPTION
HEALTH DEPARTMENT & SANITATION NOTES

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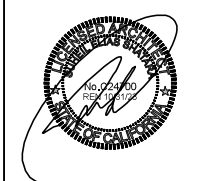
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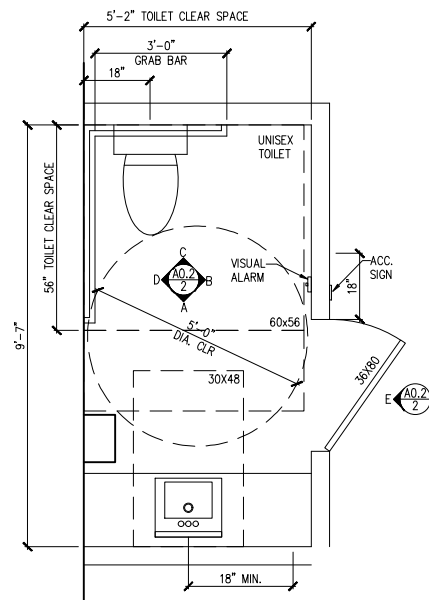
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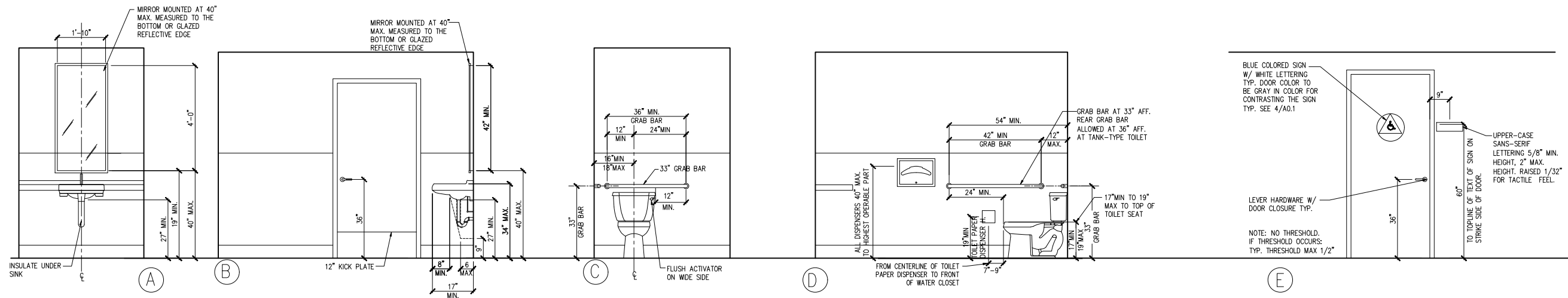


SHEET DESCRIPTION
ACCESSIBILITY GUIDELINES

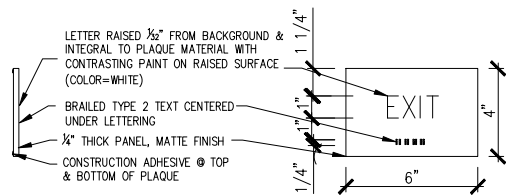
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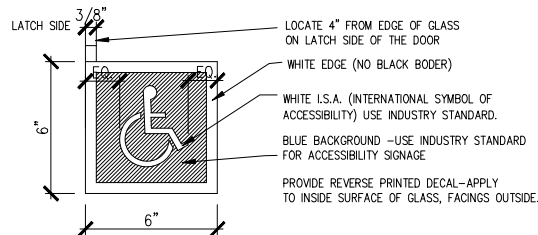
1 ENLARGED ACCESSIBLE TOILET PLAN
SCALE: 1/2"=1'-0"



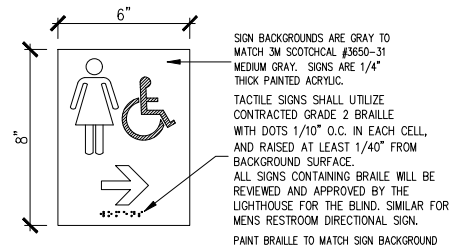
2 TOILET ELEVATIONS
SCALE: 1/2"=1'-0"



3 "EXIT" SIGN
SCALE: 3"=1'-0"



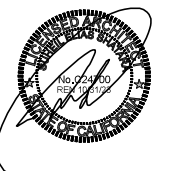
5 ISA DECAL (TACTILITY NOT REQUIRED)
SCALE: 3"=1'-0"



4 DIRECTIONAL SIGNAGE
SCALE: 3"=1'-0"

TYPICAL SIGNAGE NOTES

1. ALL SIGN COMPONENTS SHALL BE INSTALLED WITH PERMANENT ADHESIVE TO PROVIDE DURABLE SIGNAGE WITH NO DELAMINATION.
2. WALL MOUNTED SIGNS SHALL BE INSTALLED WITH THE CENTERLINE OF SIGN AT 60 A.F.F. U.O.N.
3. ROOM IDENTIFICATION SIGNS SHALL BE MOUNTED ON THE LATCH SIDE OF THE DOOR, UNLESS IF THERE IS INSUFFICIENT SPACE, IN WHICH CASE SIGN MAY BE MOUNTED ON THE HINGE SIDE.
4. TACTILE SIGNS SHALL COMPLY WITH A.D.A. RECOMMENDATIONS. TEXT SHALL BE SANS-SERIF UPPERCASE CHARACTERS AT LEAST 5/8" HIGH AND RAISED 1/32" FROM BACKGROUND SURFACE.
5. TACTILE SIGNS SHALL UTILIZE CONTRACTED GRADE 2 BRAILLE WITH DOTS 1/10" O.C. IN EACH CELL, AND RAISED AT LEAST 1/40" FROM BACKGROUND SURFACE.
6. PICTOGRAM'S BORDER DIMENSION SHALL BE AT LEAST 6" HIGH AND EACH DIRECTLY SHALL BE ACCOMPANIED BY THE EQUIVALENT VERBAL DESCRIPTION PLACED DIRECTLY BELOW THE PICTOGRAM.
7. FONT FOR ALL TEXT SHALL BE UNIVERSE 57 CONDENSED AS SHOWN IN DETAILS.
8. ARCHITECT TO PROVIDE DIGITAL FILES AS REQUIRED BY SIGNAGE FABRICATOR
9. SAMPLES AND VERIFICATION OF SIGNAGE SHALL BE REQUIRED TO ENSURE COMPLIANCE
10. ALL SIGNS CONTAINING BRAILLE WILL BE REVIEWED AND APPROVED BY THE LIGHTHOUSE FOR THE BLIND.
11. ALL SIGNS TO BE CLEAR NON-GLARE AND CONTRASTING ON COLOR.



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CONTACT: SUHEL SHATARA

BUILDING 08.03.2021

BUILDING 12-15-2021

SELECT DESIRED MODEL:

- CM-7538
- CM-7509

SELECT DESIRED GRAPHIC OPTION:

- CM-XX1
- CM-XX2
- CM-XX3
- CM-XX4

SELECT DESIRED FINISH:

- CLEAR ALUMINUM
- DARK BRONZE
- ANODIZED BLUE

SPECIFICATIONS

CONSTRUCTION: HEAVY DUTY EXTRUDED ALUMINUM

OPERATING VOLTAGE: 12 OR 24V AC/DC

CONTACT TYPE

CM-7538: (2) SPDT MOMENTARY, FORM 'C'

CM-7509: (1) SPDT MOMENTARY, FORM 'C'

CONTACT RATING: 15 AMPS @ 30V

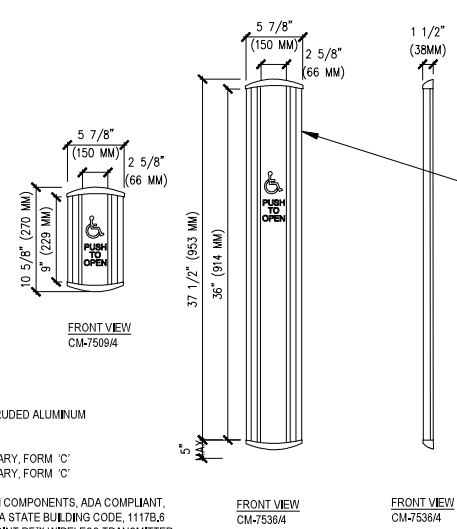
COMPLIANCE: UL LISTED SWITCH COMPONENTS, ADA COMPLIANT, MEETS CALIFORNIA STATE BUILDING CODE, 11178.6

OPTIONAL WIRELESS: "SNAP-IN" LAZERPOINT RF™ WIRELESS TRANSMITTER (SEE SEPARATE SPEC SHEET FOR DETAILS)

DIMENSIONS

CM-7538: 37 1/2" H X 5 7/8" W X 1 1/2" OVERALL (953 MM X 150 MM X 38 MM)

CM-7509: 10 5/8" H X 5 7/8" W X 1 1/2" OVERALL (270 MM X 150 MM X 38 MM)

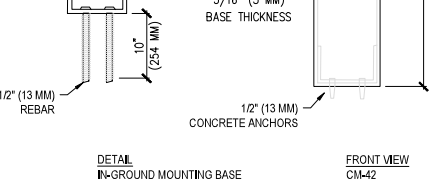


SELECT DESIRED MODEL:

- CM-42
- CM-48

NOTE: MOUNTING BALLARD FOR FULL HT. PUSH RAIL

IN-GROUND BASE DETAIL



FEATURES

- CHOICE OF ALUMINUM OR STAINLESS STEEL CONSTRUCTION
- MODELS FOR 38" OR 42" SWITCH HEIGHT
- CLEAR ALUMINUM AND DARK BRONZE ANODIZED, OR MILL FINISH (SUITABLE FOR PAINTING)
- AVAILABLE WITH OR WITHOUT SINGLE GANG SWITCH CUT-OUT
- CAP DESIGN FEATURES PEAKED 'ROOF' TO SHED WATER AND EASY REMOVAL WITH ALLEN KEY WRENCH
- EASY INSTALLATION AND SERVICE OF LAZERPOINT™ RF WIRELESS SWITCH TRANSMITTER AND BATTERIES

SELECT DESIRED MODEL:

- CM-45 (SHOWN)
- CM-46 (SHOWN)
- CM-46CB

SELECT DESIRED GRAPHIC OPTION:

- CM-XX1
- CM-XX2
- CM-XX2AL*
- CM-XX2AR*
- CM-XX3**
- CM-XX3F**
- CM-XX4*
- CM-XX4AL*
- CM-XX4AR*
- CM-XX4F*
- CM-XX8**
- CM-XX8D**
- CM-XX8F**

SPECIFICATIONS

VOLTAGE: 12/24V AC/DC

SWITCH TYPE: MOMENTARY

CONTACT TYPE: SPOT FORM 'C'

CURRENT RATING: 15A @ 30VDC

MOUNTING: SINGLE OR DOUBLE GANG

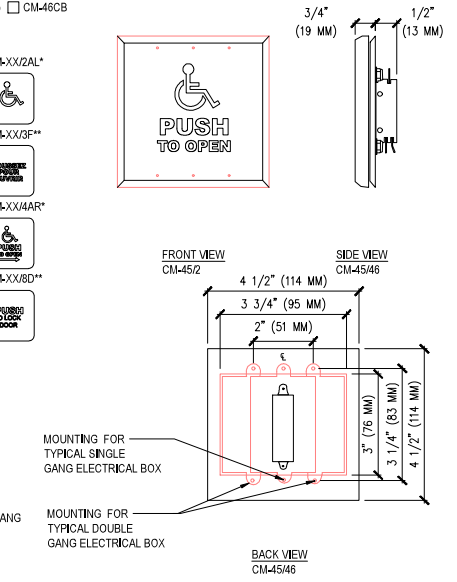
STD. FINISH

CM-45/46: US32 / 630

CM-46CB: BLUE PAINT

DIMENSIONS

CM-45/46: 4 1/2" X 4 1/2" X 1 1/4" (114 MM X 114 MM X 32 MM)



SELECT DESIRED MODEL:

- CM-40
- CM-41

SELECT DESIRED GRAPHIC OPTION:

- CM-XX1
- CM-XX2*
- CM-XX2AL*
- CM-XX2AR*
- CM-XX3**
- CM-XX3F**
- CM-XX4*
- CM-XX4AL*
- CM-XX4AR*
- CM-XX4F*
- CM-XX8**
- CM-XX8D**
- CM-XX8F**

SPECIFICATIONS

VOLTAGE: 12/24V AC/DC

CONTACT TYPE: SPOT FORM 'C'

SWITCH TYPE: MOMENTARY

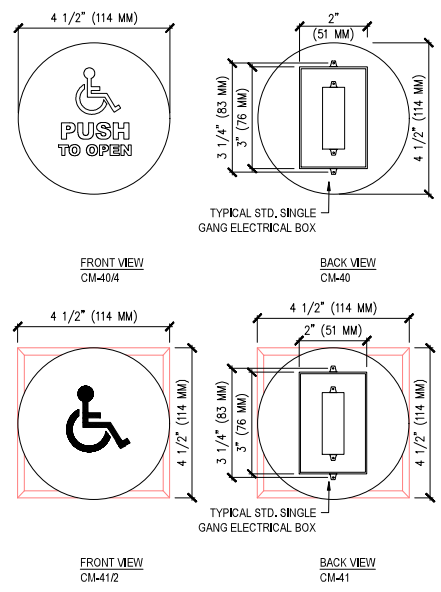
CONTACT RATING: 15A @ 30VDC

STD. FINISH: US32/C32D

DIMENSIONS

CM-40: 4 1/2" DIA, X 1 3/4" D (114 MM X 44 MM)

CM-41: 4 1/2" H X 4 1/2" W X 1 3/4" D (114 MM X 114 MM X 44 MM)





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TENANT IMPROVEMENT

ADDRESS
**800 TARAVAL ST
SAN FRANCISCO, CA**

BLOCK: 2347
LOT: 009A

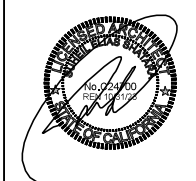
PROJECT DIRECTORY

ARCHITECT
SHATARA ARCHITECTURE INC.
890 7TH STREET
SAN FRANCISCO, CA 94107
TEL: 415-512-7566
CONTACT: SUHEIL SHATARA

BUILDING 08.03.2021

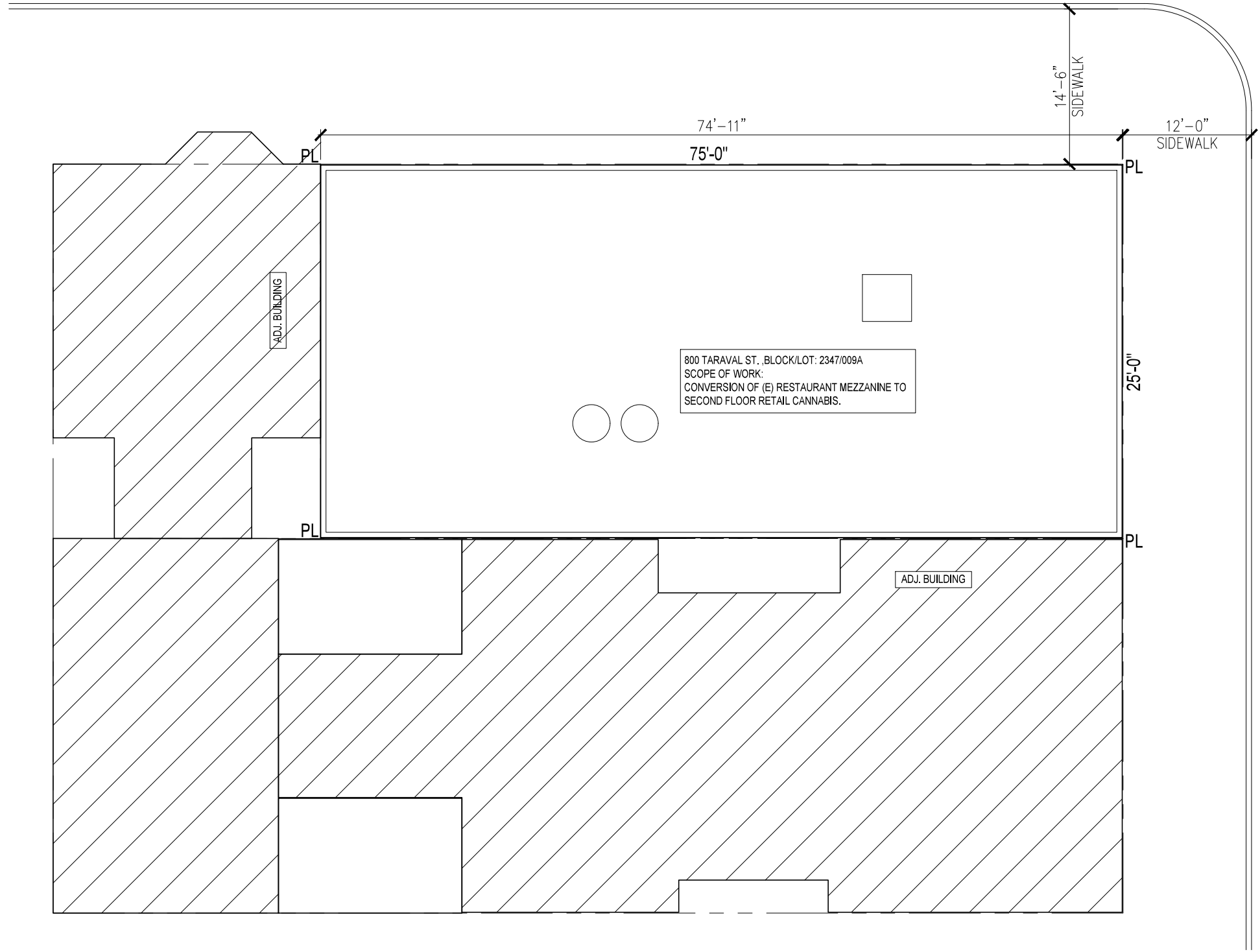
BUILDING 12-15-2021

SHEET DESCRIPTION
**EXISTING /
PROPOSED SITE
PLANS**



A1.0

18TH AVE.



TARAVAL ST.

1 EXISTING SITE PLAN - NO CHANGE
SCALE: 3/16"=1'-0"

DETAILS SHEET NOTES

- ① WALL TYPES DWGS DO NOT CONVEY STRUCTURAL (SHEAR) REQUIREMENTS. SEE STRUCT. DWGS.
- ② FLOOR CEILING ASSEMBLIES DO NOT CONVEY STRUCTURAL REQUIREMENTS. SEE STRUCT. DWGS.

SHEET NOTES

- 1. ALL PLAN DIMENSIONS TO FACE OF ROUGH FRAMING, FACE OF CONCRETE, OR CENTER LINE OF STEEL, U.O.N.
- 2. ALL SECTION AND ELEVATION DIMENSIONS TO FINISH FLOOR.
- 3. ALL WOOD FRAMED EXTERIOR WALLS TO BE FRAMED WITH 2X6 U.O.N. INTERIOR WALLS TO BE FRAMED WITH 2X4 U.O.N. REFER TO WALL TYPES TAGS FOR EXCEPTIONS.

LEGEND

9	WALL TYPE	1 3.3	SECTION
999	DOOR NUMBER	1 3.3	ELEVATION
94	WINDOW NUMBER	4	FLOOR/CEILING ASSEMB. TYPE
---	(E) WALL TO BE DEMOLISHED	=====	1 HR FIRE RATED WALL
---	(E) WALL TO REMAIN	=====	2 HR FIRE RATED WALL
---	(N) WALL	---	PROPERTY LINE



**SHATARA
ARCHITECTURE
INC.**

890 7TH ST.
SAN FRANCISCO
CA 94107

TEL (415) 512-7566
suhel@shataraarch.com

DRAWINGS AND SPECIFICATIONS, AS INSTRUMENTS OF PROFESSIONAL SERVICE, ARE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT.
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**PROJECT
TENANT IMPROVEMENT**

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SAN FRANCISCO, CA**

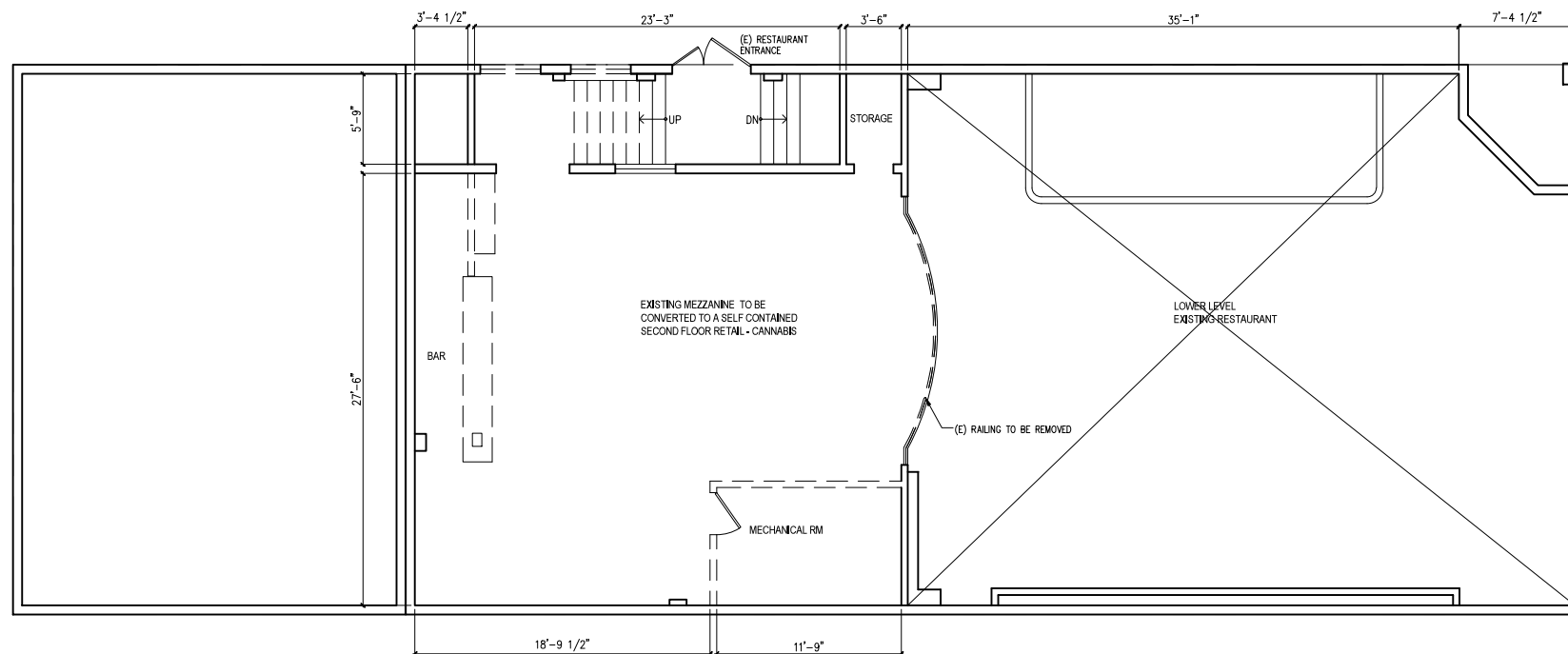
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LOT: 009A**

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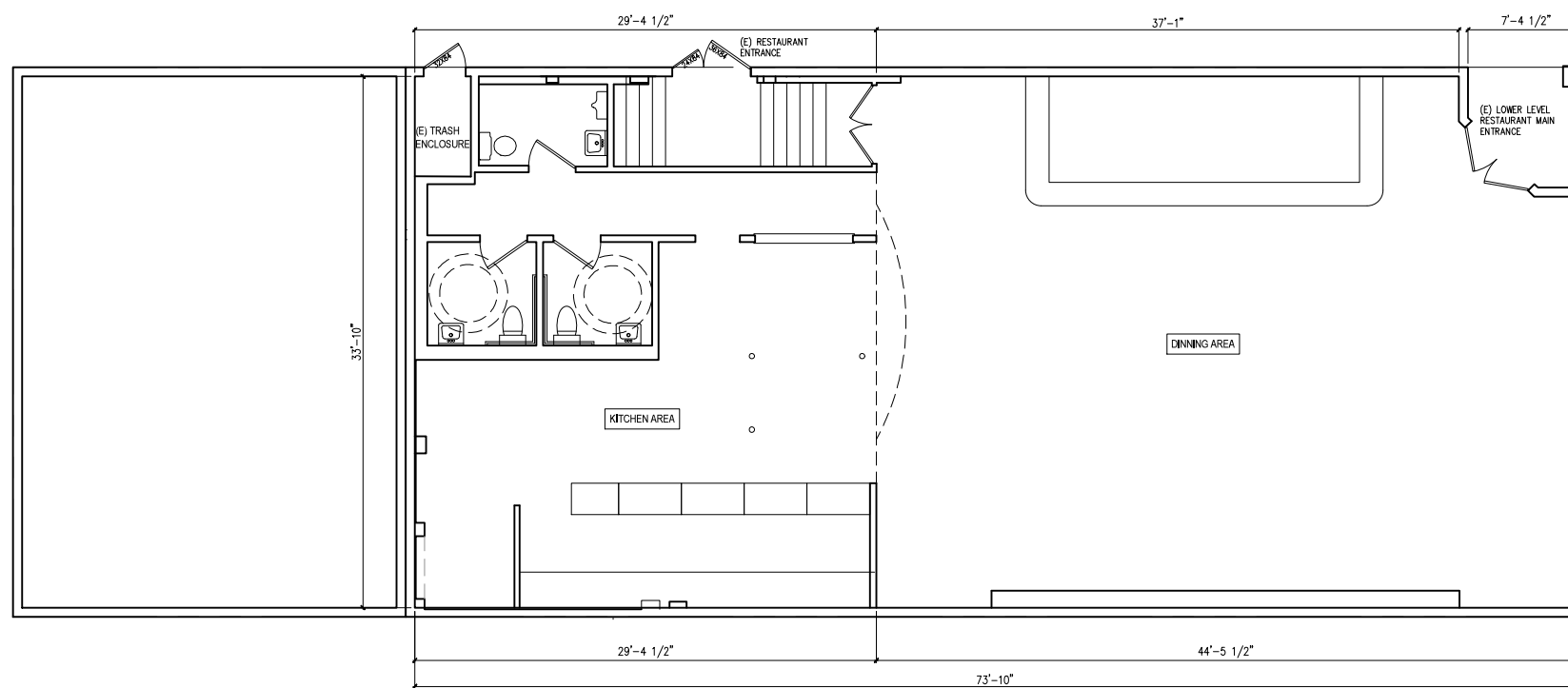
BUILDING 08.03.2021

BUILDING 12-15-2021



2 EXISTING SECOND FLOOR PLAN
SCALE: 3/16"=1'-0"

18TH AVE.



1 EXISTING FIRST FLOOR PLAN - NO CHANGE
SCALE: 3/16"=1'-0"

TARAVAL ST.

DETAILS SHEET NOTES

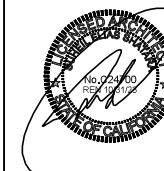
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LEGEND

	WALL TYPE		SECTION
	DOOR NUMBER		ELEVATION
	WINDOW NUMBER		FLOOR/CEILING ASSEMB. TYPE
	(E) WALL TO BE DEMOLISHED		1 HR FIRE RATED WALL
	(E) WALL TO REMAIN		2 HR FIRE RATED WALL
	(N) WALL		
			PROPERTY LINE



EXISTING PLANS

A1.1

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PROJECT
TENANT IMPROVEMENT

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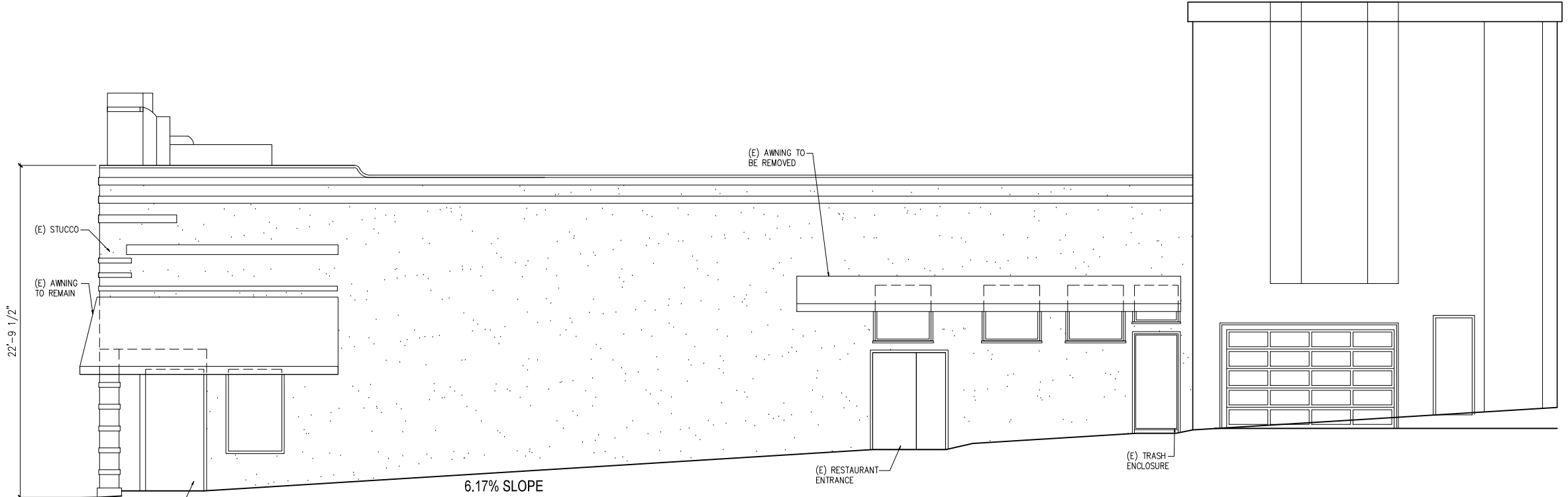
BUILDING 08.03.2021

BUILDING 12-15-2021

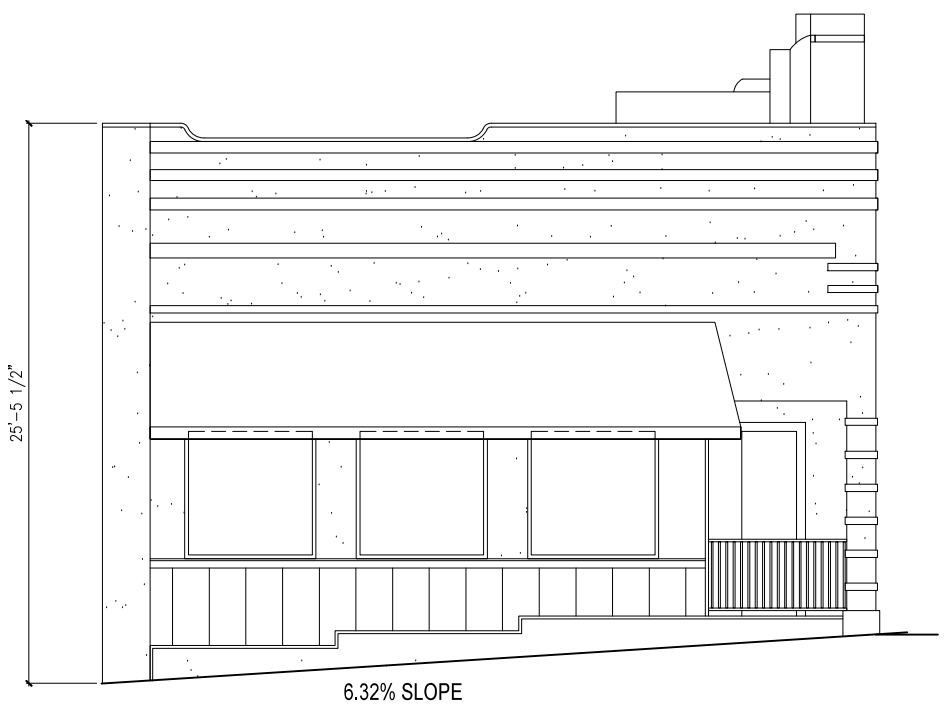


SHEET DESCRIPTION
**EXISTING
PLANS AND
SECTIONS**

A1.2



2 EXISTING EAST ELEVATION
SCALE: 3/16"=1'-0"



1 EXISTING SOUTH ELEVATION
SCALE: 3/16"=1'-0"

DETAILS SHEET NOTES

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LEGEND

9	WALL TYPE	1 A3.3	SECTION
999	DOOR NUMBER	1 A3.3	ELEVATION
9A	WINDOW NUMBER	6	FLOOR/CEILING ASSEMBLY TYPE
---	(E) WALL TO BE DEMOLISHED	=====	1 HR FIRE RATED WALL
---	(E) WALL TO REMAIN	=====	2 HR FIRE RATED WALL
---	(N) WALL	---	PROPERTY LINE



SHATARA
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suheil@shataraarch.com

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PROJECT
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**BLOCK: 2347
LOT: 009A**

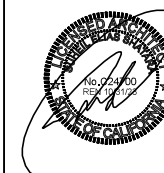
PROJECT DIRECTORY

ARCHITECT
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SAN FRANCISCO, CA 94107
TEL: 415-512-7566
CONTACT: SUHEIL SHATARA

BUILDING 08.03.2021

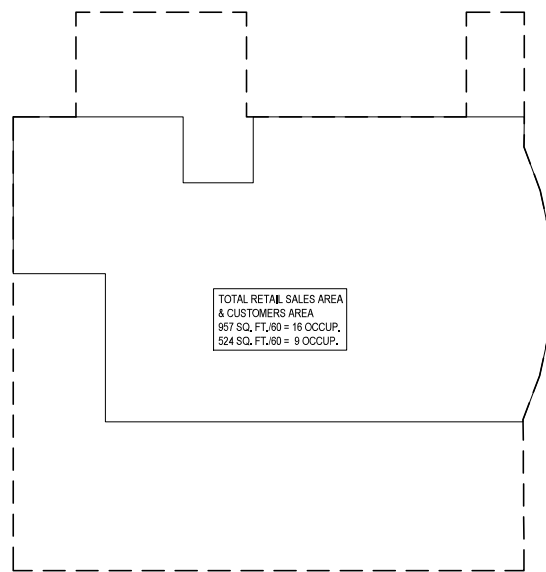
BUILDING 12-15-2021



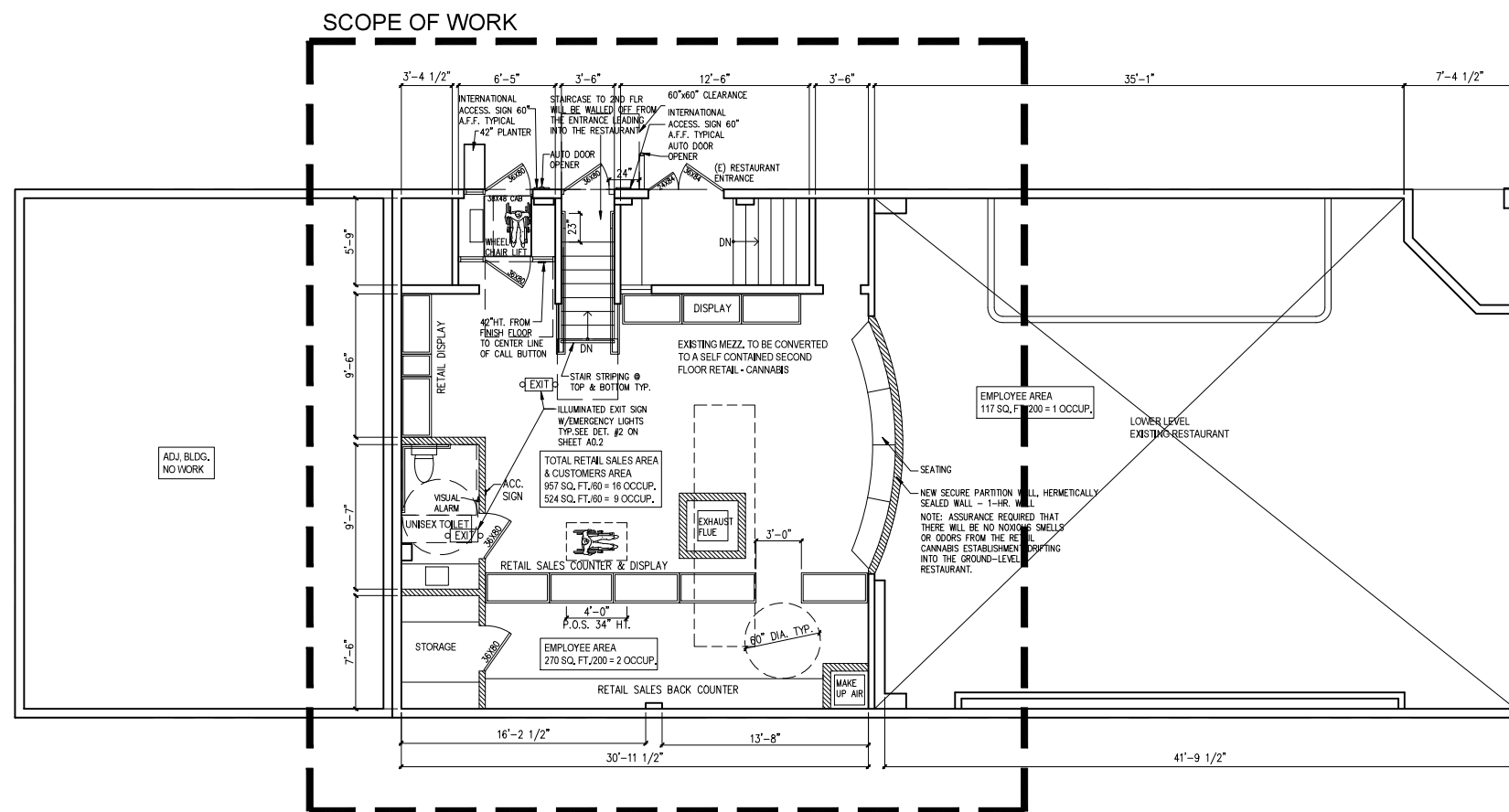
SHEET DESCRIPTION

**PROPOSED
PLANS**

A2.0



2 AREA CALCULATIONS
SCALE: 3/16"=1'-0"



1 PROPOSED SECOND FLOOR
SCALE: 3/16"=1'-0"

CONVRSION OF (F) RSTAUANT MF77ANINF TO

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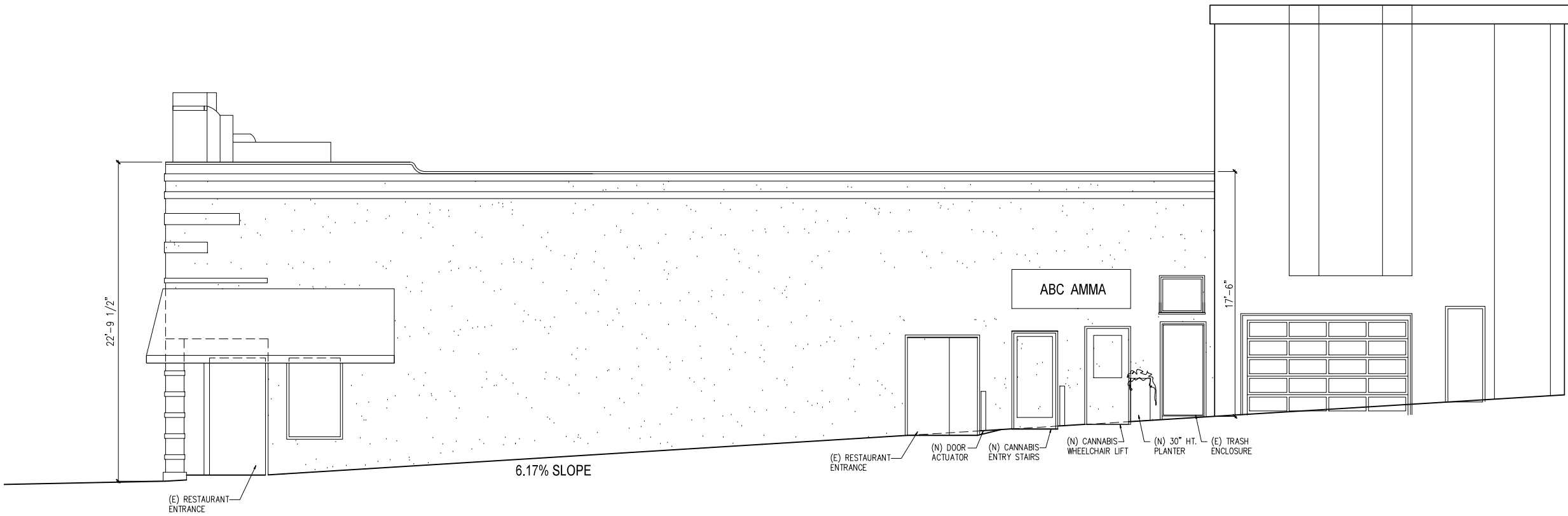
**BLOCK: 2347
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PROJECT DIRECTORY

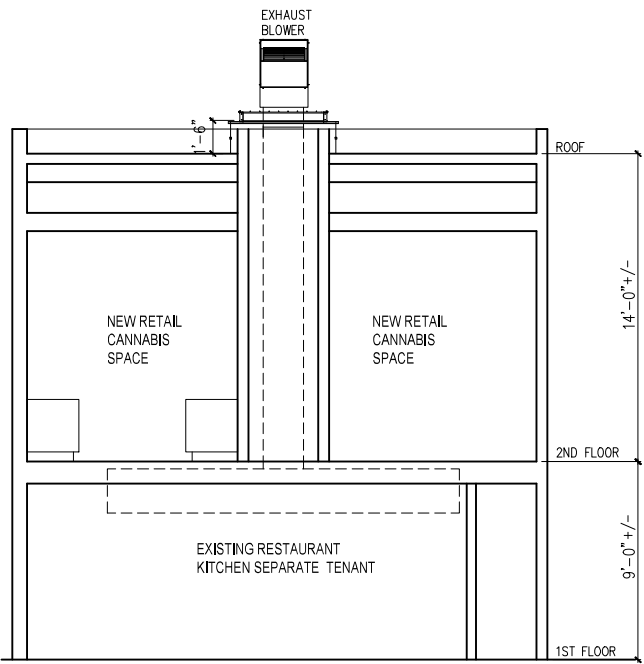
ARCHITECT
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SAN FRANCISCO, CA 94107
TEL: 415-512-7566
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BUILDING 08.03.2021

BUILDING 12-15-2021



1 PROPOSED EAST ELEVATION
SCALE: 1/4"=1'-0"



2 SECTION
SCALE: 1/4"=1'-0"

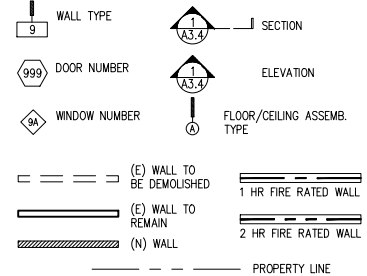
DETAILS SHEET NOTES

- 1 WALL TYPES DWGS DO NOT CONVEY STRUCTURAL (SHEAR) REQUIREMENTS. SEE STRUCT. DWGS.
- 2 FLOOR CEILING ASSEMBLIES DO NOT CONVEY STRUCTURAL REQUIREMENTS. SEE STRUCT. DWGS.

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LEGEND



SHEET DESCRIPTION
PROPOSED ELEVATIONS & SECTION

A2.1

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PROJECT
TENANT IMPROVEMENT

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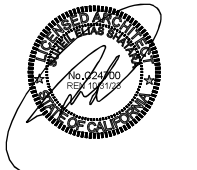
BLOCK: 2347
LOT: 009A

PROJECT DIRECTORY

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SAN FRANCISCO, CA 94107
TEL: 415-512-7566
CONTACT: SUHEIL SHATARA

BUILDING 08.03.2021
BUILDING 12-15-2021



SHEET DESCRIPTION
LIFT SPECS.

A3.1

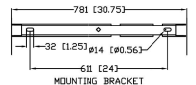
SPECIFICATIONS

GENERAL
CLASSIFICATION: Enclosed Vertical Wheelchair Platform Lift
APPLIED CODE: ASME A181-2008 Section 2 Pub
SPECIAL NOTE: V-1504 Enclosure
MODEL: V-1504 Enclosure
CAPACITY: 750 lbs (341 kg)
SPEED: 20 fpm (0.102 m/s)
TRAVEL: 144" (3658 mm)
PIT DEPTH: 3" (76 mm)
PLATFORM SIZE: 36" X 48" (914 mm X 1219 mm)
POWER SUPPLY: 120V, 20A, 60Hz, SINGLE PHASE
BATTERY BACK UP: down direction only

POWER UNIT
MOTOR: 3.0 HP, 120 VAC
FLOW: 115 Gal/min (4.35L/min)

HYDRAULIC DATA
OIL TYPE: UNIVIS 32 INDOOR
DEXRON ATF OUTDOOR
1.5 Gal (5.68 L)
GALLONS REQ'D: 2000 psi (13.7 MPa)
MAXIMUM WORKING PRESSURE: 2000 psi (13.7 MPa)
RELIEF PRESSURE: 2000 psi (13.7 MPa)
MAXIMUM RELIEF PRESSURE: 2000 psi (13.7 MPa)
HYDRAULIC HOSE: 1/4" (6.4 mm) ID
BURST: 2000 psi (13.7 MPa)
FITTINGS: 1/4" (6.4 mm) NPT MALE

SUSPENSION CHAIN
2X #50 ROLLER CHAIN
BREAKING STRENGTH: 7171 lbs (319 kN) each
SAFETY BRAKE: TYPE 'A'



CONTROLLER
MODEL: V-1504
TYPE: CPS
ETL #: 94307
CONTROL VOLTS: 24VDC
CONTROL AMPS: 1 A
HP: 1.5 / 1.0 / 3.0
AMPS: 19 / 15
MFR: SAVARIA

DOORS / GATES / CALL STATIONS

	LANDING 1	LANDING 2	LANDING 3	LANDING 4
DOOR TYPE	Enclosure 80" door	Enclosure 80" door		
DOOR SWING	a	c		
DOOR INSERT	rh	lh		
LOCK TYPE	Clear Plexiglass	Clear Plexiglass		
AUTO DOOR OPENER	None	None		
CUSTOM DOOR WIDTH	no	yes		
CUSTOM DOOR HEIGHT	no	yes		
IN FRAME CALL STN.	no	yes		
CALL STN. TYPE	Call/Send Buttons	Call/Send Buttons		
CALL STN. KEYED	Not Required	Not Required		
CALL STN. STOP BUTTON	yes	yes		
CALL STN. MOUNTING	Surface Mounted Remote	Flush Mounted In Frame		
ISOLATED PRODDOR KIT	No	No		

OPTIONS PROVIDED

EMERGENCY PENDENT PLUG IN MANUAL LOWERING BOX
WINGS: no RAMP: No Ramp Required
TOUCH UP PAINT: 1 can(s) EXTRA KEYS: 0
BUILDING: Public Building WALL FASTENERS: none
LIGHT CURTAIN: no UNDERPAN SENSOR: no
PHONE OR PHONE PLUG: No Phone, Plug Incl COLOUR: Standard Color - Almond Beige

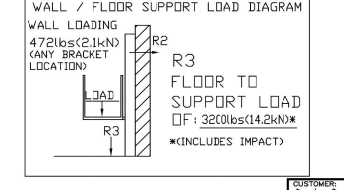
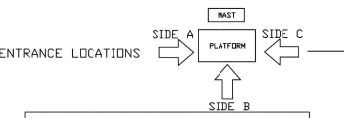
LOCATION: IN DOOR

OFFICE USE ONLY:
CONFIRMATION VERSION: 0.0
DATE: 06/16/15
MODEL VERSION: H-140

PROVISIONS BY OTHERS

GENERAL
HOISTWAY - THE HOISTWAY MUST BE DESIGNED AND BUILT IN ACCORDANCE WITH "SAFETY STANDARD FOR PLATFORM LIFTS AND STAIRWAY CHAIRLIFTS" OR "SAFETY CODE FOR ELEVATORS AND ESCALATORS" AND ALL STATE AND LOCAL CODES.
ELUMB RUNWAY - DUE TO CLOSE RUNNING CLEARANCES OWNER/AGENT MUST ENSURE THAT HOISTWAY AND PIT (WHERE PROVIDED) ARE LEVEL, PLUMB (+/- 1/8" (3 mm)) AND SQUARE AND ARE IN ACCORDANCE WITH THE DIMENSIONS ON THESE DRAWINGS.
MINIMUM OVERHEAD CLEARANCE - OWNER/AGENT MUST ENSURE MINIMUM OVERHEAD CLEARANCE IS IN COMPLIANCE WITH CODES.
CONSTRUCTION SITE - OWNER/AGENT TO PROVIDE ALL MASONRY, CARPENTRY AND DRYWALL WORK AS REQUIRED AND SHALL PATCH AND MAKE GOOD (INCLUDING FINISH PAINTING) ALL AREAS WHERE WALLS/FLOORS MAY REQUIRE TO BE CUT, DRILLED OR ALTERED IN ANY WAY TO PERMIT THE PROPER INSTALLATION OF THE LIFT.
DIMENSIONS - CONTRACTOR/CUSTOMER TO VERIFY ALL DIMENSIONS AND REPORT ANY DISCREPANCIES TO OUR OFFICE IMMEDIATELY.
STRUCTURAL
FLOOR/SUPPORT WALL LOADS - CONTRACTOR TO ASSURE THAT BUILDING AND SHAFT WILL SAFELY SUPPORT ALL LOADS IMPOSED BY THE LIFT EQUIPMENT. REFER TO THE (LDA) DIAGRAM IN THIS DRAWING.
MAST TO BE SECURELY FASTENED - WHERE REQUIRED THE MAST MUST BE SECURELY FASTENED TO THE STRUCTURAL SUPPORT WALL AND FLOOR SUPPORT LOAD DIAGRAM AND WALL LAG DIMENSIONS IN THIS DRAWING.
WHERE DOORS ARE REQUIRED - SUITABLE LINTELS MUST BE PROVIDED BY OWNER/AGENT. DOOR FRAMES ARE NOT DESIGNED TO SUPPORT OVERHEAD WALL LOADS.

ELECTRICAL
GENERAL - ELECTRICAL EQUIPMENT AND WIRING TO COMPLY WITH SECTION 38 OF CSA C22.1 (CANADA) OR SECTION 620 OF NEC ANSI/NFPA 70 (USA).
POWER SUPPLY - 120VAC, 20A, 60HZ, 1PH CIRCUIT THROUGH A FUSE DISCONNECT WITH AUXILIARY CONTACT ON MAIN POWER SUPPLY. PROVIDE TWO 18 AWG CONDUCTORS BETWEEN CONTACT AND CONTROLLER.
LIGHTING - LIGHTING OF 100 LX MIN. AT PLATFORM AND LANDINGS. LIGHTING WITH SWITCH AND ELECTRICAL GFCI OUTLET IN HOISTWAY PIT.
ENTRANCES
UPPER LANDING GATES - WHERE REQUIRED, SMOOTH SOLID BARRIERS ARE TO BE SUPPLIED AND INSTALLED ON BOTH SIDES OF ENTRANCE AT UPPER LEVEL AND MUST BE A MINIMUM OF 42" (1067 mm) HIGH. ENTRANCE ASSEMBLY MUST BE IN PLACE PRIOR TO THIS PROVISION.
FASCIA PANEL BELOW UPPER LEVEL ENTRANCE - WHERE REQUIRED, FASCIA PANEL MUST BE FASTENED TO A SOLID WALL AND BE PERPENDICULAR TO THE FLOOR AND WALLS. HOISTWAY FASCIA IS NOT SELF-SUPPORTING FOR LONG, CONTINUOUS RUNS WITH UP ENTRANCES. ADEQUATE SUPPORT FOR THE FASCIA MUST BE PROVIDED.
ENTRANCE ASSEMBLIES - ENTRANCE ASSEMBLIES MUST BE ADJUSTED TO ALIGN WITH PLATFORM AND OPENING. OTHERS TO ALLOW AN ADEQUATE ROUGH OPENING.
RETURN WALLS - RETURN WALLS AT ENTRANCES MUST BE BUILT-IN BY OTHERS AFTER ENTRANCE ASSEMBLIES ARE IN PLACE. ENTRANCE ASSEMBLY MUST BE SECURELY FASTENED TO WALLS.

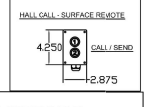
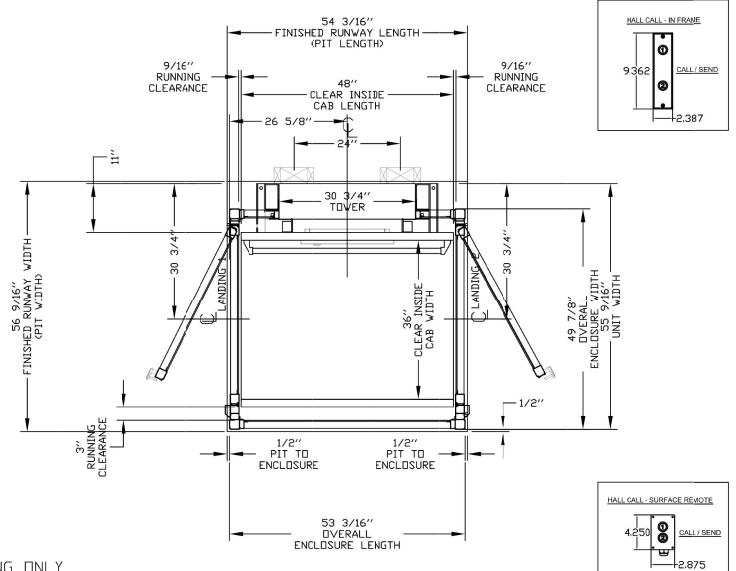


DATA SHEET

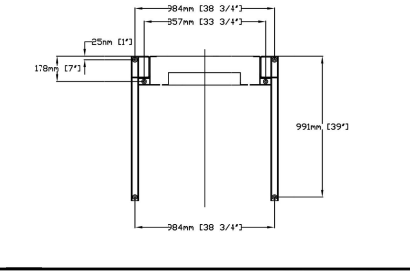
ENCLOSED VERTICAL WHEELCHAIR PLATFORM LIFT

OFFICE USE ONLY:
CONFIRMATION VERSION: 0.0
DATE: 06/16/15
MODEL VERSION: H-140

TYPICAL PLAN



GENERAL
HOISTWAY - THE HOISTWAY MUST BE DESIGNED AND BUILT IN ACCORDANCE WITH "SAFETY STANDARD FOR PLATFORM LIFTS AND STAIRWAY CHAIRLIFTS" OR "SAFETY CODE FOR ELEVATORS AND ESCALATORS" AND ALL STATE AND LOCAL CODES.
ELUMB RUNWAY - DUE TO CLOSE RUNNING CLEARANCES OWNER/AGENT MUST ENSURE THAT HOISTWAY AND PIT (WHERE PROVIDED) ARE LEVEL, PLUMB (+/- 1/8" (3 mm)) AND SQUARE AND ARE IN ACCORDANCE WITH THE DIMENSIONS ON THESE DRAWINGS.
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DIMENSIONS - CONTRACTOR/CUSTOMER TO VERIFY ALL DIMENSIONS AND REPORT ANY DISCREPANCIES TO OUR OFFICE IMMEDIATELY.
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WHERE DOORS ARE REQUIRED - SUITABLE LINTELS MUST BE PROVIDED BY OWNER/AGENT. DOOR FRAMES ARE NOT DESIGNED TO SUPPORT OVERHEAD WALL LOADS.



PRELIMINARY DRAWING ONLY
DRAWING APPROVAL

THIS DRAWING REFLECTS OUR INTERPRETATION OF THE INFORMATION PROVIDED BY THE SEALER ON THE DOOR FROM THIS INFORMATION IS THE SEALER'S RESPONSIBILITY, AND IS THE BASIS FROM WHICH THIS LIFT IS DESIGNED AND MANUFACTURED. PLEASE INDICATE THE REQUESTED ACTION BY CHECKING ONE OF THE FOLLOWING BOXES AND SIGNING BELOW TO AUTHORIZE COMPLETION OF THIS ORDER.

APPROVED WITH NO EXCEPTIONS
MANUFACTURE PRODUCT AS PER DRAWING

APPROVED WITH EXCEPTIONS, NO REAPPROVAL REQUIRED
MAKE CHANGES AS NOTED, NO REAPPROVAL DRAWING REQUIRED

CHANGE AS NOTED, REAPPROVAL REQUIRED
MAKE CHANGES AS NOTED, SEND CORRECTED DRAWING FOR REAPPROVAL BEFORE MANUFACTURE

CHANGES REQUEST:
1.
2.
3.
4.

SIGNATURE: _____ DATE: _____
CAUTION: ONCE THE DRAWING IS APPROVED, JOB CANCELLATION FEES WILL APPLY.

OFFICE USE ONLY:
CONFIRMATION VERSION: 0.0
DATE: 06/16/15
MODEL VERSION: H-140

Part No. 48571
www.nationwidelifts.com

Customer: **NATIONWIDE LIFTS**
PROJECT: APEX COMPLETE - 36 WIDE X 48 DEEP
ADDRESS: DOORS OPPOSITE SIDES, RAILS ON LEFT
888-323-8755 INFO@ELEVATORS.COM

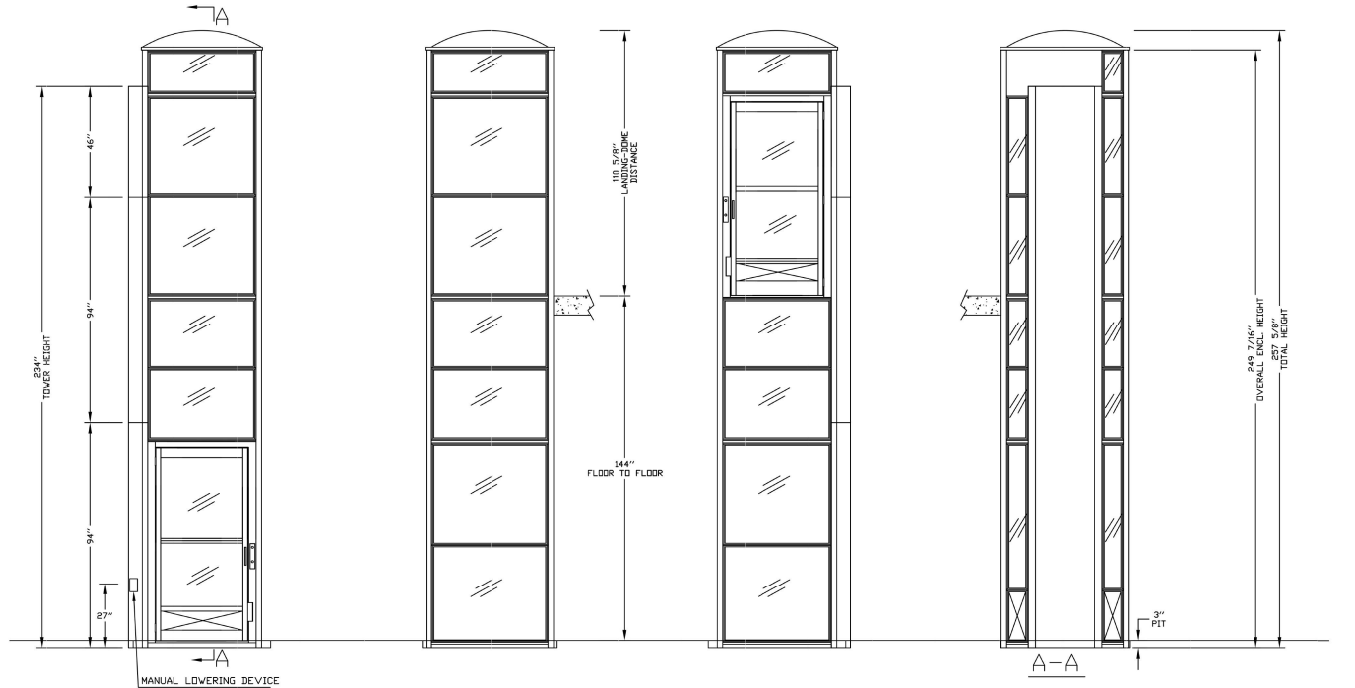
DATE: 06/16/15
DRAWN BY: [Signature]
CHECKED BY: [Signature]
DATE: 06/16/15
JOB No. P00000

Part No. 48571
www.nationwidelifts.com

Customer: **savaria.**
PROJECT: APEX COMPLETE - 36 WIDE X 48 DEEP
ADDRESS: DOORS OPPOSITE SIDES, RAILS ON LEFT
888-323-8755 INFO@ELEVATORS.COM

DATE: 06/16/15
DRAWN BY: [Signature]
CHECKED BY: [Signature]
DATE: 06/16/15
JOB No. P00000

PANEL DRAWING



INSERT STYLE: Door and Gate
 SHEET METAL
 Clear Plexiglass

INSERT STYLE: Enclosure
 SHEET METAL
 Clear Plexiglass

OFFICE USE ONLY:
CONFIRMATION VERSION: 0.0
DATE: 06/16/15
MODEL VERSION: H-140

Part No. 48571
www.nationwidelifts.com

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ADDRESS: DOORS OPPOSITE SIDES, RAILS ON LEFT
888-323-8755 INFO@ELEVATORS.COM

DATE: 06/16/15
DRAWN BY: [Signature]
CHECKED BY: [Signature]
DATE: 06/16/15
JOB No. P00000

Part No. 48571
www.nationwidelifts.com

Customer: **savaria.**
PROJECT: APEX COMPLETE - 36 WIDE X 48 DEEP
ADDRESS: DOORS OPPOSITE SIDES, RAILS ON LEFT
888-323-8755 INFO@ELEVATORS.COM

DATE: 06/16/15
DRAWN BY: [Signature]
CHECKED BY: [Signature]
DATE: 06/16/15
JOB No. P00000

ELEVATION VIEWS

ENCLOSED VERTICAL WHEELCHAIR PLATFORM LIFT

OFFICE USE ONLY:
CONFIRMATION VERSION: 0.0
DATE: 06/16/15
MODEL VERSION: H-140

ELEVATION VIEWS

ENCLOSED VERTICAL WHEELCHAIR PLATFORM LIFT

OFFICE USE ONLY:
CONFIRMATION VERSION: 0.0
DATE: 06/16/15
MODEL VERSION: H-140

EL: MOUNTING BRACKET POSITION

SP: SERVICE PANEL

