

NOTICE OF SPECIAL RESTRICTIONS UNDER THE PLANNING CODE

RECORDING REQUESTED BY



Doc # 2021055117

And When Recorded Mail To:

City and County of San Francisco  
Joaquín Torres, Assessor – Recorder

Name: JOSH CORZINE

3/30/2021	10:29:44 AM	Fees	\$35.00
Pages	8	Title 394 VT	Taxes \$0.00
Customer	001	Other	\$0.00
		SB2 Fees	\$75.00
		Total	\$110.00

Address: THE PRESIDIO  
572 RUGER ST, SUITE A

City: SAN FRANCISCO

State: CA ZIP: 94129

(Space Above This Line For Recorder's Use)

I (We) 1776 GREEN STREET LLC, the owner(s) of that certain real property situated in the City and County of San Francisco, State of California more particularly described as follows: (or see attached sheet marked "Exhibit A" on which property is more fully described):

**BEING ASSESSOR'S BLOCK: 0544; LOT: 006;**

**COMMONLY KNOWN AS: 1776 GREEN STREET;**

hereby give notice that there are special restrictions on the use of said property under the Planning Code.

Said Restrictions consist of conditions attached to **Conditional Use Authorization No. 2018-011430CUA** authorized by the Planning Commission of the City and County of San Francisco on February 18, 2021, as set forth on Planning Commission Motion No. 20856, to allow the construction of a two-story vertical addition, a change of use from an automobile repair garage to a residential building, and alterations to the front façade located at 1776 Green Street, Block 0544, and Lot 006, pursuant to Planning Code Sections 209.1 and 303 within the RH-2 Zoning District and a 40-X Height and Bulk District.

The restrictions and conditions of which notice is hereby given are

# NOTICE OF SPECIAL RESTRICTIONS UNDER THE PLANNING CODE

## AUTHORIZATION

This authorization is for a conditional use to allow the construction of a two-story vertical addition, a change of use from an automobile repair garage to a residential building, and alterations to the front façade located at 1776 Green Street, Block 0544, and Lot 006, pursuant to Planning Code Sections 209.1 and 303 within the RH-2 Zoning District and a 40-X Height and Bulk District; in general conformance with plans, dated January 20, 2021, and stamped "EXHIBIT B" included in the docket for Record No. 2018-011430CUA and subject to conditions of approval reviewed and approved by the Commission on February 18, 2021 under **Motion No. 20856**. This authorization and the conditions contained herein run with the property and not with a particular Project Sponsor, business, or operator.

## RECORDATION OF CONDITIONS OF APPROVAL

Prior to the issuance of the building permit or commencement of use for the Project the Zoning Administrator shall approve and order the recordation of a Notice in the Official Records of the Recorder of the City and County of San Francisco for the subject property. This Notice shall state that the project is subject to the conditions of approval contained herein and reviewed and approved by the Planning Commission on February 18, 2021 under **Motion No. 20856**.

## PRINTING OF CONDITIONS OF APPROVAL ON PLANS

The conditions of approval under the 'Exhibit A' of this Planning Commission **Motion No. 20856** shall be reproduced on the Index Sheet of construction plans submitted with the site or building permit application for the Project. The Index Sheet of the construction plans shall reference to the Conditional Use authorization and any subsequent amendments or modifications.

## SEVERABILITY

The Project shall comply with all applicable City codes and requirements. If any clause, sentence, section or any part of these conditions of approval is for any reason held to be invalid, such invalidity shall not affect or impair other remaining clauses, sentences, or sections of these conditions. This decision conveys no right to construct, or to receive a building permit. "Project Sponsor" shall include any subsequent responsible party.

## CHANGES AND MODIFICATIONS

Changes to the approved plans may be approved administratively by the Zoning Administrator. Significant changes and modifications of conditions shall require Planning Commission approval of a new Conditional Use authorization.

# NOTICE OF SPECIAL RESTRICTIONS UNDER THE PLANNING CODE

## Conditions of Approval, Compliance, Monitoring, and Reporting

### PERFORMANCE

1. **Validity.** The authorization and right vested by virtue of this action is valid for three (3) years from the effective date of the Motion. The Department of Building Inspection shall have issued a Building Permit or Site Permit to construct the project and/or commence the approved use within this three-year period.  
For information about compliance, contact Code Enforcement, Planning Department at 628.652.7463, [www.sfplanning.org](http://www.sfplanning.org)
2. **Expiration and Renewal.** Should a Building or Site Permit be sought after the three (3) year period has lapsed, the project sponsor must seek a renewal of this Authorization by filing an application for an amendment to the original Authorization or a new application for Authorization. Should the project sponsor decline to so file, and decline to withdraw the permit application, the Commission shall conduct a public hearing in order to consider the revocation of the Authorization. Should the Commission not revoke the Authorization following the closure of the public hearing, the Commission shall determine the extension of time for the continued validity of the Authorization. For information about compliance, contact Code Enforcement, Planning Department at 628.652.7463, [www.sfplanning.org](http://www.sfplanning.org)
3. **Diligent Pursuit.** Once a site or Building Permit has been issued, construction must commence within the timeframe required by the Department of Building Inspection and be continued diligently to completion. Failure to do so shall be grounds for the Commission to consider revoking the approval if more than three (3) years have passed since this Authorization was approved.  
For information about compliance, contact Code Enforcement, Planning Department at 628.652.7463, [www.sfplanning.org](http://www.sfplanning.org)
4. **Extension.** All time limits in the preceding three paragraphs may be extended at the discretion of the Zoning Administrator where implementation of the project is delayed by a public agency, an appeal or a legal challenge and only by the length of time for which such public agency, appeal or challenge has caused delay.  
For information about compliance, contact Code Enforcement, Planning Department at 628.652.7463, [www.sfplanning.org](http://www.sfplanning.org)
5. **Conformity with Current Law.** No application for Building Permit, Site Permit, or other entitlement shall be approved unless it complies with all applicable provisions of City Codes in effect at the time of such approval.  
For information about compliance, contact Code Enforcement, Planning Department at 628.652.7463, [www.sfplanning.org](http://www.sfplanning.org)

### DESIGN – COMPLIANCE AT PLAN STAGE

6. **Final Materials.** The Project Sponsor shall continue to work with Planning Department on the building design. Final materials, glazing, color, texture, landscaping, and detailing shall be subject to Department staff review and approval. The architectural addenda shall be reviewed and approved by the Planning Department prior to issuance.  
For information about compliance, contact the Case Planner, Planning Department at 628.652.7359, [www.sfplanning.org](http://www.sfplanning.org)

## NOTICE OF SPECIAL RESTRICTIONS UNDER THE PLANNING CODE

- 7. Garbage, Composting and Recycling Storage.** Space for the collection and storage of garbage, composting, and recycling shall be provided within enclosed areas on the property and clearly labeled and illustrated on the building permit plans. Space for the collection and storage of recyclable and compostable materials that meets the size, location, accessibility and other standards specified by the San Francisco Recycling Program shall be provided at the ground level of the buildings.

For information about compliance, contact the Case Planner, Planning Department at 628.652.7359, [www.sfplanning.org](http://www.sfplanning.org)

- 8. Rooftop Mechanical Equipment.** Pursuant to Planning Code 141, the Project Sponsor shall submit a roof plan to the Planning Department prior to Planning approval of the building permit application. Rooftop mechanical equipment, if any is proposed as part of the Project, is required to be screened so as not to be visible from any point at or below the roof level of the subject building. For information about compliance, contact the Case Planner, Planning Department at 628.652.7359, [www.sfplanning.org](http://www.sfplanning.org)

## PARKING AND TRAFFIC

- 9. Bicycle Parking.** The Project shall provide no fewer than **fifteen (15)** Class 1 bicycle parking spaces as required by Planning Code Sections 155.1 and 155.2. Ten (10) of these spaces may be oriented vertically.

For information about compliance, contact Code Enforcement, Planning Department at 628.652.7463, [www.sfplanning.org](http://www.sfplanning.org)

- 10. Parking Maximum.** Pursuant to Planning Code Section 151 or 151.1, the Project shall provide no more than **ten (10)** off-street parking spaces.

For information about compliance, contact Code Enforcement, Planning Department at 628.652.7463, [www.sfplanning.org](http://www.sfplanning.org)

- 11. Managing Traffic During Construction.** The Project Sponsor and construction contractor(s) shall coordinate with the Traffic Engineering and Transit Divisions of the San Francisco Municipal Transportation Agency (SFMTA), the Police Department, the Fire Department, the Planning Department, and other construction contractor(s) for any concurrent nearby Projects to manage traffic congestion and pedestrian circulation effects during construction of the Project.

For information about compliance, contact Code Enforcement, Planning Department at 628.652.7463, [www.sfplanning.org](http://www.sfplanning.org)

## PROVISIONS

- 12. Residential Child Care Impact Fee.** The Project is subject to the Residential Child Care Fee, as applicable, pursuant to Planning Code Section 414A.

For information about compliance, contact the Case Planner, Planning Department at 628.652.7359, [www.sfplanning.org](http://www.sfplanning.org)

## MONITORING - AFTER ENTITLEMENT

- 13. Enforcement.** Violation of any of the Planning Department conditions of approval contained in this Motion or of any other provisions of Planning Code applicable to this Project shall be subject to the enforcement procedures and administrative penalties set forth under Planning Code Section 176 or

## NOTICE OF SPECIAL RESTRICTIONS UNDER THE PLANNING CODE

Section 176.1. The Planning Department may also refer the violation complaints to other city departments and agencies for appropriate enforcement action under their jurisdiction.

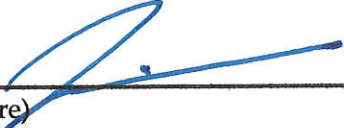
For information about compliance, contact Code Enforcement, Planning Department at 628.652.7463, [www.sfplanning.org](http://www.sfplanning.org)

- 14. Revocation due to Violation of Conditions.** Should implementation of this Project result in complaints from interested property owners, residents, or commercial lessees which are not resolved by the Project Sponsor and found to be in violation of the Planning Code and/or the specific conditions of approval for the Project as set forth in Exhibit A of this Motion, the Zoning Administrator shall refer such complaints to the Commission, after which it may hold a public hearing on the matter to consider revocation of this authorization.

For information about compliance, contact Code Enforcement, Planning Department at 628.652.7463, [www.sfplanning.org](http://www.sfplanning.org)

# NOTICE OF SPECIAL RESTRICTIONS UNDER THE PLANNING CODE

The use of said property contrary to these special restrictions shall constitute a violation of the Planning Code, and no release, modification or elimination of these restrictions shall be valid unless notice thereof is recorded on the Land Records by the Zoning Administrator of the City and County of San Francisco.

 \_\_\_\_\_  
(Signature) (Printed Name) Josh Corzine  
Dated: 3/22, 2021 at MILL VALLEY, California.  
(Month, Day) (City)

Josh Corzine  
MANAGER LOCAL CAPITAL GROUP LLC,  
MANAGER LOCAL PARTNERS II LLC,  
MANAGER OF 1776 GREEN STREET LLC

\_\_\_\_\_  
(Signature) (Printed Name)  
Dated: \_\_\_\_\_, 20\_\_\_\_ at \_\_\_\_\_, California.  
(Month, Day) (City)

\_\_\_\_\_  
(Signature) (Printed Name)  
Dated: \_\_\_\_\_, 20\_\_\_\_ at \_\_\_\_\_, California.  
(Month, Day) (City)

Each signature must be acknowledged by a notary public before recordation; add Notary Public Certification(s) and Official Notarial Seal(s).

CALIFORNIA ALL-PURPOSE ACKNOWLEDGEMENT

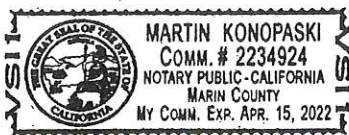
A Notary Public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California }  
County of MARIN }

On 3.22.21, before me, Martin Konopaski, Notary Public,  
personally appeared Joshua S. Corzine

who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of State of California that the foregoing paragraph is true and correct.



WITNESS my hand and official seal.

SIGNATURE [Signature]

PLACE NOTARY SEAL ABOVE

Though the information below is not required by law, it may prove valuable to persons relying on the document and could prevent fraudulent removal and reattachment of this form to another document.

**Description of attached document**

Title or type of document: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Document Date: \_\_\_\_\_ Number of Pages: \_\_\_\_\_

Signer(s) Other than Named Above: \_\_\_\_\_

**EXHIBIT A**

The land referred to is situated in the County of San Francisco, City of San Francisco, State of California, and is described as follows:

Beginning at a point on the Northerly line of Green Street, distant thereon 81 feet Easterly from the Northeasterly corner of Green and Octavia Streets; running thence Easterly and along said line of Green Street 54 feet; thence at a right angle Northerly 137 feet and 6 inches; thence at a right angle Westerly 54 feet; thence at a right angle Southerly 137 feet and 6 inches to the point of beginning.

Being part of Western Addition Block No. 167.

Assessor's Lot 006; Block 0544





## NOTICE OF SPECIAL RESTRICTIONS (NSR): RECORDATION INSTRUCTIONS

### GENERAL PLANNING INFORMATION

Procedures to follow after an approval has been made for projects that require conditions of approval to be recorded on a property.

**Español:** Si desea ayuda sobre cómo llenar esta solicitud en español, por favor llame al 628.652.7550. Tenga en cuenta que el Departamento de Planificación requerirá al menos un día hábil para responder.

中文：如果您希望獲得使用中文填寫這份申請表的幫助，請致電628.652.7550。請注意，規劃部門需要至少一個工作日來回應。

**Filipino:** Kung gusto mo ng tulong sa pagkumpleto ng application na ito sa Filipino, paki tawagan ang 628.652.7550. Paki tandaan na mangangailangan ang Planning Department ng hindi kukulangin sa isang araw na pantrabaho para makasagot.

### NOTICE OF SPECIAL RESTRICTIONS (NSR)

This NSR must be signed by the Property Owner(s), notarized, and recorded at the Recorder's Office at City Hall. Specific step-by-step instructions are listed below.

#### PRIOR TO RECORDATION:

1. Complete the header portion of the NSR with the mailing address where the original recorded NSR should be returned.
2. Enter the legal property description, normally found on the deed of the property. Attach a copy of the legal description to the NSR and title it as "Exhibit A" to the NSR.
3. All property owners must sign the NSR. Each signature must be notarized by a notary public. The Notary Acknowledgement form must be attached to the NSR.
4. Make one copy of the entire original NSR packet, including Exhibit A and the Notary Acknowledgement form with Official Notarial Seal(s). Take the original and copy to the Office of the Assessor-Recorder.

#### AT THE RECORDER/ ACCESSOR'S OFFICE:

5. The Office of the Assessor-Recorder will temporarily retain the original copy, returning that copy to the address provided on the NSR header within two weeks' time. The copy will be stamped and conformed and returned for your immediate use.
6. Please email a scanned .pdf copy of the stamped and conformed NSR to your Project Planner, promptly after recordation.
7. The stamped and conformed NSR must also be incorporated into the Building Permit Plan Set. If the Building Permit has already been submitted, please scan the documents onto a page of the plan set, and submit two copies of that page (24 in. x 36 in.) as a revision to the Building Permit Application to DBI (Department of Building Inspection). The revised sheets will be routed to your planner.

*Note: Six pages of an NSR can typically fit on a 24 in. x 36 in. plan sheet immediately after the Cover Sheet.*

## AFTER DELIVERY TO PLANNING DEPARTMENT:

8. Once your planner receives the stamped and conformed NSR outlined in steps 6 and 7 above, your Building Permit may be approved and routed back to DBI for their review and issuance, assuming there are no other outstanding Planning issues to be resolved.

Note: To check the status of a Building Permit Application, you may go online to the DBI permit tracking webpage at: <https://sfdbi.org/dbi-permit-tracking-system> OR call 628.652.3200.

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## USEFUL CONTACT INFORMATION

### Office of the Assessor-Recorder

1 Dr. Carlton B. Goodlett Place, City Hall, Room 190  
San Francisco, CA 94102  
Phone: 415.554.5596  
Email: [assessor@sfgov.org](mailto:assessor@sfgov.org)  
Web: <https://www.sfassessor.org/>

### Department of Building Inspection

49 South Van Ness Avenue  
San Francisco, CA 94103  
Phone: 628.652.3200  
Email: [dbicustomerservice@sfgov.org](mailto:dbicustomerservice@sfgov.org)  
Web: <https://sfdbi.org/>

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### FOR MORE INFORMATION: Contact the San Francisco Planning Department

**Central Reception**  
49 South Van Ness Avenue, Suite 1400  
San Francisco, CA 94103

TEL: 628.652.7600  
WEB: [www.sfplanning.org](http://www.sfplanning.org)

**Planning counter at the Permit Center**  
49 South Van Ness Avenue, 2nd Floor  
San Francisco, CA 94103

EMAIL: [pic@sfgov.org](mailto:pic@sfgov.org)  
TEL: 628.652.7300



## PLANNING COMMISSION MOTION NO. 20856

**HEARING DATE: FEBRUARY 18, 2021**

**Record No.:** 2018-011430CUA  
**Project Address:** 1776 GREEN STREET  
**Zoning:** RH-2 (Residential-House, Two-Family) Zoning District  
40-X Height and Bulk District  
**Block/Lot:** 0544/006  
**Project Sponsor:** Georgianna Kleman  
Sutro Architects  
1055 Post Street  
San Francisco, CA 94109  
**Property Owner:** Local Capital Group  
572 Ruger St, Suite A  
San Francisco, CA 94129  
**Staff Contact:** Christopher May – (415) 575-9087  
[christopher.may@sfgov.org](mailto:christopher.may@sfgov.org)

ADOPTING FINDINGS RELATING TO A CONDITIONAL USE AUTHORIZATION PURSUANT TO PLANNING CODE SECTIONS 209.1 AND 303 TO PERMIT A TWO-STORY VERTICAL ADDITION AND A CHANGE OF USE FROM AN AUTOMOBILE REPAIR GARAGE TO A RESIDENTIAL BUILDING CONTAINING FIVE NEW RESIDENTIAL UNITS WITHIN THE RH-2 (RESIDENTIAL-HOUSE, TWO-FAMILY) ZONING DISTRICT AND 40-X HEIGHT AND BULK DISTRICT, AND ADOPTING FINDINGS UNDER THE CALIFORNIA ENVIRONMENTAL QUALITY ACT.

### PREAMBLE

On September 6, 2018, Georgianna Kleman of Sutro Architects (hereinafter "Project Sponsor") filed Application No. 2018-011430CUA (hereinafter "Application") with the Planning Department (hereinafter "Department") for a Conditional Use Authorization to construct a two-story vertical addition and a change of use from an automobile repair garage to a residential building containing five new residential dwelling units (hereinafter "Project") at 1776 Green Street, Block 0544 Lot 006 (hereinafter "Project Site").

On November 7, 2019, the Commission conducted a duly noticed public hearing at a regularly scheduled meeting on Conditional Use Authorization Application No. 2018-011430CUA. After hearing and closing public comment, the Commission continued the item to December 5, 2019, and again to February 27, 2020, and again indefinitely, to allow Planning staff an opportunity to conduct additional environmental review to address neighbors' concerns

regarding the subject property being listed on the California Environmental Protection Agency's list of sites with potentially contaminated soils, also known as the "Cortese List".

During California Environmental Quality Act (CEQA) review, it was determined that it can be seen with certainty that there is no possibility of a significant effect on the environment. The proposed project is therefore exempt from CEQA under the common sense exemption (CEQA Guidelines 15061(b)(3)).

The Planning Department Commission Secretary is the Custodian of Records; the File for Record No. 2018-011430CUA is located at 49 South Van Ness Avenue, Suite 1400, San Francisco, California.

The Commission has heard and considered the testimony presented to it at the public hearing and has further considered written materials and oral testimony presented on behalf of the applicant, Department staff, and other interested parties.

**MOVED**, that the Commission hereby authorizes the Conditional Use Authorization as requested in Application No. 2018-011430CUA, subject to the conditions contained in "EXHIBIT A" of this motion, based on the following findings:

## FINDINGS

Having reviewed the materials identified in the preamble above, and having heard all testimony and arguments, this Commission finds, concludes, and determines as follows:

- 1. The above recitals are accurate and constitute findings of this Commission.**
- 2. Project Description.** The Project includes the construction of a two-story vertical addition measuring approximately 13,408 square feet and a change of use from an automobile repair garage to a residential building (approximately 13,710 gross square feet) with five 3-bedroom units, 10 below-grade off-street parking spaces, and fifteen Class 1 bicycle parking spaces. The Project includes 2,265 square feet of private open space via balconies and terraces. The Project also includes alterations to the front façade including the restoration of two pilasters that were removed from the central arch to allow a wider garage opening during a 1933 alteration.
- 3. Site Description and Present Use.** The Project site is located on the north side of Green Street, between Octavia and Gough Streets within the Marina neighborhood and bordering the Pacific Heights neighborhood. The subject property is approximately 7,425 square feet in size with 54 feet of frontage on Green Street. The Project site slopes downward from the front to the rear and is occupied by a one-story-plus-mezzanine industrial building covering the entire lot. The existing automobile repair garage building (formerly d.b.a. Green Street Auto Body) was constructed circa 1914 in the Classical Revival style and is currently vacant.

4. **Surrounding Properties and Neighborhood.** The surrounding neighborhood is primarily within the RH-2 Zoning District. The neighborhood context is primarily residential in character with a mix of two-to-three-story multi-unit buildings. Immediately adjacent to the subject property, and to the west, is a two-story, two-unit residential building. Immediately adjacent to the subject property, and to the east, is a seven-story apartment building containing 26 units. Immediately to the rear and to the north of the subject property is the Union Street Neighborhood Commercial District, which is characterized primarily by two-to-three-story buildings with residential uses located above ground floor commercial uses.
5. **Public Outreach and Comments.** The Department received two letters in opposition to and two letters in support of the project in advance of the February 18, 2021 hearing. The opposition relates primarily to the requested front setback and rear yard variances, as well as the perceived affordability of the proposed dwelling units.
6. **Planning Code Compliance.** The Commission finds that the Project is consistent with the relevant provisions of the Planning Code in the following manner:
  - A. **Use.** Planning Code Section 209.1 permits residential uses at a maximum density of one dwelling unit per 1,500 square feet of lot area in the RH-2 Zoning District, as a Conditional Use.

*The subject property is approximately 7,425 square feet, which would allow for a total of five dwelling units through Conditional Use Authorization. The project proposes a total of five dwelling units. The additional required findings are listed below under Subsection 7.*

- B. **Front Setback.** Planning Code Section 132 states that the minimum front setback depth shall be based on the average of adjacent properties or a Legislated Setback.

*Only one adjacent property, located at 1778-1780 Green Street, has a front setback, of approximately 22 feet. As such, the required front setback for the subject property is approximately 11 feet. The proposed two-story vertical addition is set back 20 feet from the front lot line, which complies with the front setback requirements of the Planning Code. The existing two-story building, however, has no front setback, and is therefore a noncomplying structure. Because the Project proposes the intensification of a noncomplying structure, a variance is required. After hearing and closing public comment, the Zoning Administrator indicated his intent to approve a request for a variance from the front setback requirements of Planning Code Section 132.*

- C. **Rear Yard.** Planning Code Section 134 requires a rear yard equal to 45 percent of the total lot depth, at grade and above, for properties within the RH-2 Zoning District. Planning Code Section 134(c)(1) allows for the reduction in the rear yard requirement to the average between the depths of the rear building walls of the two adjacent buildings, to a maximum of 25% of the lot depth or to 15 feet, whichever is greater. When a rear yard requirement is reduced by averaging the two adjacent buildings, the last 10 feet of building depth shall be limited to a height of 30 feet.

*The subject property has a lot depth of approximately 137.5 feet; therefore, the 45 percent requirement is approximately 62 feet. However, given that the adjacent apartment building at 1770 Green Street has no rear yard, the required rear yard for the Project may be reduced to of 25 percent of the total depth of the lot, which in this case is approximately 34 feet. The proposed third-floor vertical addition is set back*

34 feet from the rear lot line, and the fourth-floor vertical addition is set back an additional 10 feet, both of which comply with the rear yard requirements of the Planning Code. The existing one-story-plus-mezzanine building has no rear yard and is therefore a noncomplying structure. Because the Project proposes the intensification of a noncomplying structure, a variance is required. After hearing and closing public comment, the Zoning Administrator indicated his intent to approve a request for a variance from the rear yard requirements of Planning Code Section 134.

- D. Useable Open Space.** Planning Code Section 135 requires 125 square feet of useable open space for each dwelling unit if all private, or 166 square feet of common usable open space per unit.

*The Project proposes five dwelling units. Each unit would have its own private usable open space via terraces and decks, ranging in size from 219 square feet to 512 square feet, accessed directly from each unit. As such, the Project exceeds the minimum amount of usable open space required by the Planning Code.*

- E. Dwelling Unit Exposure.** Planning Code Section 140 requires that at least one room of all dwelling units face onto a public street or public alley at least 30 feet in width, a side yard at least 25 feet in width, a rear yard meeting the requirements of the Code or other open area that meets minimum requirements for area and horizontal dimensions.

*All of the proposed dwelling units will have exposure onto either Green Street, onto the interior courtyard at the rear of the lot, or onto a Code-complying rear yard.*

- F. Street Frontages.** Section 144 of the Planning Code requires that no more than one-third of the width of the ground story of a dwelling along the front lot line, or along a street side lot line, or along a building wall that is setback from any such lot line, shall be devoted to entrances to off-street parking, except that in no event shall a lot be limited by this requirement to a single such entrance of less than ten feet in width.

*The project proposes to replace the existing 29-foot wide central garage door on the ground floor of the building with windows into a common space for the residential units.*

- G. Off-Street Parking.** Planning Code Section 151 does not require any off-street parking spaces and permits a maximum of 1.5 off-street parking spaces for each dwelling unit.

*The Project proposes 10 off-street parking spaces in the below-grade basement level. While this would exceed the maximum permitted by two spaces, Planning Code Section 150(e) states that any off-street parking spaces which existed lawfully at the effective date of that section and which exceed the maximum permitted under Section 151.1 shall be considered noncomplying features and shall be regulated as set forth in Planning Code Section 188. Planning Code Section 188 states that a noncomplying structure may be enlarged, altered, or relocated, or undergo a change or intensification of use provided that there is no increase in any discrepancy, or any new discrepancy, at any level of the structure, between existing conditions on the lot and the required standards for new construction. The existing building contains ten off-street parking spaces in the below-grade basement level and two off-street parking spaces on the ground floor, all of which are considered noncomplying features. As such, the Project, which proposes to retain 10 of the 12 existing noncomplying off-street parking spaces,*

*complies with the requirements of the Planning Code.*

- H. **Bicycle Parking.** Planning Code Section 155.2 requires at least one Class 1 bicycle parking space for each dwelling unit.

*The Project proposes five Class 1 bicycle parking spaces; one for each unit. Given the large size of the dwelling units, as well as the total number of bedrooms, the Commission determined that an additional ten (10) Class 1 bicycle parking spaces, all of which may be oriented vertically, would be appropriate. As such, the total number of Class 1 bicycle parking spaces is fifteen (15).*

- I. **Height.** Planning Code Section 260 requires that all structures be no taller than the height prescribed in the subject height and bulk district. Section 260(a)(1)(B) states that where a lot is level with or slopes downward from a street at the centerline of the building or building step, such point shall be taken at curb level on such a street for the first 100 feet of lot depth. The remainder of the building shall be measured from grade at the rear lot line.

*The subject property is located within a 40-foot height district. The existing building is approximately 22 feet in height. The proposed two-story vertical addition will result in a building height of approximately 40 feet.*

- J. **Child Care Requirements for Residential Projects.** Planning Code Section 414A requires that any residential development project that results in at least one net new residential unit shall comply with the imposition of the Residential Child Care Impact Fee requirement.

*The Project proposes new construction of five new residential units. As such, the Project is subject to the Residential Child Care Impact Fee, which will be collected prior to the issuance of the first construction document.*

7. **Conditional Use Findings.** Planning Code Section 303 establishes criteria for the Planning Commission to consider when reviewing applications for Conditional Use authorization. On balance, the project complies with said criteria in that:

- A. The proposed new uses and building, at the size and intensity contemplated and at the proposed location, will provide a development that is necessary or desirable, and compatible with, the neighborhood or the community.

*The size of the enlarged building is compatible with the surrounding neighborhood and its proposed conversion to residential uses is desirable as the existing neighborhood consists of residential uses at various scales, from single-family dwellings to multi-unit apartment buildings.*

- B. The proposed project will not be detrimental to the health, safety, convenience or general welfare of persons residing or working in the vicinity. There are no features of the project that could be detrimental to the health, safety or convenience of those residing or working the area, in that:

- (1) Nature of proposed site, including its size and shape, and the proposed size, shape and arrangement of structures;

*The height and bulk of the building will remain the same at the block face and does not increase in massing until 20 feet back from the front facade. The Project will restore elements of the façade that had been altered in a previous renovation, which will be more in keeping with its original architectural style.*

- (2) The accessibility and traffic patterns for persons and vehicles, the type and volume of such traffic, and the adequacy of proposed off-street parking and loading;

*The Project will reduce vehicular traffic compared to the site's previous use as an automobile repair garage. The existing off-street parking spaces will be available for building residents and should not generate significant amounts of vehicular trips from the immediate neighborhood or citywide.*

- (3) The safeguards afforded to prevent noxious or offensive emissions such as noise, glare, dust and odor;

*The proposed change of use from an automobile repair garage to residential uses will eliminate the potential for noxious or offensive emissions.*

- (4) Treatment given, as appropriate, to such aspects as landscaping, screening, open spaces, parking and loading areas, service areas, lighting and signs;

*Usable open space, in the form of terraces and roof decks will be provided and appropriately landscaped for the use of the building's future residents. The Project includes the partial removal of the existing building's roof at the rear to create an internal courtyard for residents of the buildings' lower floors. New street trees will be planted on the Green Street sidewalk and off-street parking for residential use will be located within the existing below-grade garage.*

- C. That the use as proposed will comply with the applicable provisions of the Planning Code and will not adversely affect the General Plan.

*The Project complies with all relevant requirements and standards of the Planning Code and is consistent with objectives and policies of the General Plan as detailed in Subsection 8 below.*

- D. That the use as proposed would provide development that is in conformity with the purpose of the applicable Neighborhood Commercial District.

*The Project is consistent with the stated purposed of RH-2 Zoning District in that it proposes the conversion of the existing automobile repair garage to a residential use, which is a more compatible use given its location in a predominantly residential neighborhood*

- 8. General Plan Compliance.** The Project is, on balance, consistent with the following Objectives and Policies of the General Plan:

**HOUSING ELEMENT**

**Objectives and Policies**



**OBJECTIVE 1**

IDENTIFY AND MAKE AVAILABLE FOR DEVELOPMENT ADEQUATE SITES TO MEET THE CITY'S HOUSING NEEDS, ESPECIALLY PERMANENTLY AFFORDABLE HOUSING.

Policy 1.1

Plan for the full range of housing needs in the City and County of San Francisco, especially affordable housing.

Policy 1.10

Support new housing projects, especially affordable housing, where households can easily rely on public transportation, walking and bicycling for the majority of daily trips.

**OBJECTIVE 4**

FOSTER A HOUSING STOCK THAT MEETS THE NEEDS OF ALL RESIDENTS ACROSS LIFECYCLES.

Policy 4.1

Develop new housing, and encourage the remodeling of existing housing, for families with children.

**OBJECTIVE 11**

SUPPORT AND RESPECT THE DIVERSE AND DISTINCT CHARACTER OF SAN FRANCISCO'S NEIGHBORHOODS.

Policy 11.1

Promote the construction and rehabilitation of well-designed housing that emphasizes beauty, flexibility, and innovative design, and respects existing neighborhood character.

Policy 11.2

Ensure implementation of accepted design standards in project approvals.

Policy 11.3

Ensure growth is accommodated without substantially and adversely impacting existing residential neighborhood character.

Policy 11.4

Continue to utilize zoning districts which conform to a generalized residential land use and density plan and the General Plan.

Policy 11.6

Foster a sense of community through architectural design, using features that promote community interaction.

**OBJECTIVE 12**

BALANCE HOUSING GROWTH WITH ADEQUATE INFRASTRUCTURE THAT SERVES THE CITY'S GROWING POPULATION.

Policy 12.2

Consider the proximity of quality of life elements such as open space, child care, and neighborhood services, when developing new housing units.

**URBAN DESIGN ELEMENT**

**Objectives and Policies**

**OBJECTIVE 1**

EMPHASIS OF THE CHARACTERISTIC PATTERN WHICH GIVES TO THE CITY AND ITS NEIGHBORHOODS AN IMAGE, A SENSE OF PURPOSE, AND A MEANS OF ORIENTATION.

Policy 1.3

Recognize that buildings, when seen together, produce a total effect that characterizes the city and its districts.

Policy 1.7

Recognize the natural boundaries of districts, and promote connections between districts.

**TRANSPORTATION ELEMENT**

**Objectives and Policies**

**OBJECTIVE 2:**

USE THE TRANSPORTATION SYSTEM AS A MEANS FOR GUIDING DEVELOPMENT AND IMPROVING THE ENVIRONMENT.

Policy 2.1:

Use rapid transit and other transportation improvements in the city and region as the catalyst for desirable development and coordinate new facilities with public and private development.

**OBJECTIVE 11:**

ESTABLISH PUBLIC TRANSIT AS THE PRIMARY MODE OF TRANSPORTATION IN SAN FRANCISCO AND AS A MEANS THROUGH WHICH TO GUIDE FUTURE DEVELOPMENT AND IMPROVE REGIONAL MOBILITY AND AIR QUALITY.

Policy 11.3:

Encourage development that efficiently coordinates land use with transit service, requiring that developers address transit concerns as well as mitigate traffic problems.

**OBJECTIVE 28:**

PROVIDE SECURE AND CONVENIENT PARKING FACILITIES FOR BICYCLES.

Policy 28.1:

Provide secure bicycle parking in new governmental, commercial, and residential developments.

Policy 28.3:

Provide parking facilities which are safe, secure, and convenient.

**OBJECTIVE 34:**

**RELATE THE AMOUNT OF PARKING IN RESIDENTIAL AREAS AND NEIGHBORHOOD COMMERCIAL DISTRICTS TO THE CAPACITY OF THE CITY'S STREET SYSTEM AND LAND USE PATTERNS.**

Policy 34.1:

Regulate off-street parking in new housing so as to guarantee needed spaces without requiring excesses and to encourage low auto ownership in neighborhoods that are well served by transit and are convenient to neighborhood shopping.

Policy 34.3:

Permit minimal or reduced off-street parking supply for new buildings in residential and commercial areas adjacent to transit centers and along transit preferential streets.

Policy 34.5:

Minimize the construction of new curb cuts in areas where on-street parking is in short supply and locate them in a manner such that they retain or minimally diminish the number of existing on-street parking spaces.

*The Project will revitalize a vacant building, previously occupied by a nonconforming automobile repair garage use, by converting it to a multi-unit residential building. The Project will provide five three-bedroom units which would be suitable for families with children, each with its own private usable open space. The vertical addition to the building is designed to be sensitive and subordinate to the historic building below, will be architecturally cohesive with the surrounding neighborhood and will be of a height and density appropriate to the scale of the nearby properties on Green Street. The proposed residential building would provide five weather-protected bicycle parking spaces for its residents to encourage bicycling, and is located within walking distance to several public transit lines, including the 28 – 19<sup>th</sup> Ave, 30-X – Marina Express, 41 – Union, 45 – Union/Stockton, 47 – Van Ness, 49 – Van Ness/Mission and 76-X – Marin Headlands Express MUNI bus routes. On balance, the Project is consistent with the Objectives and Policies of the General Plan.*

9. **Planning Code Section 101.1(b)** establishes eight priority-planning policies and requires review of permits for consistency with said policies. On balance, the project complies with said policies in that:
- A. That existing neighborhood-serving retail uses be preserved and enhanced and future opportunities for resident employment in and ownership of such businesses be enhanced.

*While the subject property has previously been used as a neighborhood-serving automobile repair garage, it was a nonconforming use that is no longer in operation. The Project does not propose any neighborhood-serving retail uses.*

- B. That existing housing and neighborhood character be conserved and protected in order to preserve the cultural and economic diversity of our neighborhoods.

*The Project will provide five new dwelling units, thus resulting in an overall increase in the neighborhood housing stock. The existing historic building will be retained, and its façade restored, thereby preserving neighborhood character and cultural and economic diversity.*

- C. That the City's supply of affordable housing be preserved and enhanced,

*The Project does not propose affordable housing.*

- D. That commuter traffic not impede MUNI transit service or overburden our streets or neighborhood parking.

*The Project site is well served by nearby public transportation options. The Project is within walking distance of the 28 – 19<sup>th</sup> Ave, 30-X – Marina Express, 41 – Union, 45 – Union/Stockton, 47 – Van Ness, 49 – Van Ness/Mission and 76-X – Marin Headlands Express MUNI bus routes. The Project also provides off-street parking and sufficient bicycle parking for residents and their guests.*

- E. That a diverse economic base be maintained by protecting our industrial and service sectors from displacement due to commercial office development, and that future opportunities for resident employment and ownership in these sectors be enhanced.

*The Project does not include commercial office development. Although the Project proposes the conversion of an industrial use to residential uses, the Project will bring the property into conformity with the uses permitted by the Planning Code.*

- F. That the City achieve the greatest possible preparedness to protect against injury and loss of life in an earthquake.

*The Project will be designed and will be constructed to conform to the structural and seismic safety requirements of the Building Code. This proposal will not impact the property's ability to withstand an earthquake.*

- G. That landmarks and historic buildings be preserved.

*The Project will retain and restore the existing historic building occupying the site, and the vertical addition will be consistent with the Secretary of the Interior's Standards for the Treatment of Historic Properties.*

- H. That our parks and open space and their access to sunlight and vistas be protected from development.

*The Project does not cast shadow onto any parks or open space*

10. The Project is consistent with and would promote the general and specific purposes of the Code provided under Section 101.1(b) in that, as designed, the Project would contribute to the character and stability of the neighborhood and would constitute a beneficial development.
11. The Commission hereby finds that approval of the Conditional Use Authorization would promote the health, safety and welfare of the City.

## DECISION

That based upon the Record, the submissions by the Applicant, the staff of the Department and other interested parties, the oral testimony presented to this Commission at the public hearings, and all other written materials submitted by all parties, the Commission hereby **APPROVES Conditional Use Authorization Application No. 2018-011430CUA** subject to the following conditions attached hereto as "EXHIBIT A" in general conformance with plans on file, dated January 20, 2021, and stamped "EXHIBIT B", which is incorporated herein by reference as though fully set forth.

**APPEAL AND EFFECTIVE DATE OF MOTION:** Any aggrieved person may appeal this Conditional Use Authorization to the Board of Supervisors within thirty (30) days after the date of this Motion. The effective date of this Motion shall be the date of this Motion if not appealed (after the 30-day period has expired) OR the date of the decision of the Board of Supervisors if appealed to the Board of Supervisors. For further information, please contact the Board of Supervisors at (415) 554-5184, City Hall, Room 244, 1 Dr. Carlton B. Goodlett Place, San Francisco, CA 94102.

**Protest of Fee or Exaction:** You may protest any fee or exaction subject to Government Code Section 66000 that is imposed as a condition of approval by following the procedures set forth in Government Code Section 66020. The protest must satisfy the requirements of Government Code Section 66020(a) and must be filed within 90 days of the date of the first approval or conditional approval of the development referencing the challenged fee or exaction. For purposes of Government Code Section 66020, the date of imposition of the fee shall be the date of the earliest discretionary approval by the City of the subject development.

If the City has not previously given Notice of an earlier discretionary approval of the project, the Planning Commission's adoption of this Motion, Resolution, Discretionary Review Action or the Zoning Administrator's Variance Decision Letter constitutes the approval or conditional approval of the development and the City hereby gives **NOTICE** that the 90-day protest period under Government Code Section 66020 has begun. If the City has already given Notice that the 90-day approval period has begun for the subject development, then this document does not re-commence the 90-day approval period.



Jonas P. Tonin  
Commission Secretary

that the Planning Commission ADOPTED the foregoing Motion on February 18, 2021.

AYES: Tanner, Chan, Diamond, Fung, Imperial, Moore, Koppel  
NAYS: None  
ABSENT: None  
ADOPTED: February 18, 2021

## EXHIBIT A

### Authorization

This authorization is for a conditional use to allow the construction of a two-story vertical addition, a change of use from an automobile repair garage to a residential building, and alterations to the front façade located at 1776 Green Street, Block 0544, and Lot 006, pursuant to Planning Code Sections 209.1 and 303 within the RH-2 Zoning District and a 40-X Height and Bulk District; in general conformance with plans, dated January 20, 2021, and stamped "EXHIBIT B" included in the docket for Record No. 2018-011430CUA and subject to conditions of approval reviewed and approved by the Commission on February 18, 2021 under Motion No. **20856**. This authorization and the conditions contained herein run with the property and not with a particular Project Sponsor, business, or operator.

### Recordation of Conditions of Approval

Prior to the issuance of the building permit or commencement of use for the Project the Zoning Administrator shall approve and order the recordation of a Notice in the Official Records of the Recorder of the City and County of San Francisco for the subject property. This Notice shall state that the project is subject to the conditions of approval contained herein and reviewed and approved by the Planning Commission on February 18, 2021 under Motion No. **20856**.

### Printing of Conditions of Approval on Plans

The conditions of approval under the 'Exhibit A' of this Planning Commission Motion No. **20856** shall be reproduced on the Index Sheet of construction plans submitted with the site or building permit application for the Project. The Index Sheet of the construction plans shall reference to the Conditional Use authorization and any subsequent amendments or modifications.

### Severability

The Project shall comply with all applicable City codes and requirements. If any clause, sentence, section or any part of these conditions of approval is for any reason held to be invalid, such invalidity shall not affect or impair other remaining clauses, sentences, or sections of these conditions. This decision conveys no right to construct, or to receive a building permit. "Project Sponsor" shall include any subsequent responsible party.

### Changes and Modifications

Changes to the approved plans may be approved administratively by the Zoning Administrator. Significant changes and modifications of conditions shall require Planning Commission approval of a new Conditional Use authorization.

## CONDITIONS OF APPROVAL, COMPLIANCE, MONITORING, AND REPORTING

### Performance

1. **Validity.** The authorization and right vested by virtue of this action is valid for three (3) years from the effective date of the Motion. The Department of Building Inspection shall have issued a Building Permit or Site Permit to construct the project and/or commence the approved use within this three-year period.

*For information about compliance, contact Code Enforcement, Planning Department at 628.652.7463, [www.sfplanning.org](http://www.sfplanning.org)*

2. **Expiration and Renewal.** Should a Building or Site Permit be sought after the three (3) year period has lapsed, the project sponsor must seek a renewal of this Authorization by filing an application for an amendment to the original Authorization or a new application for Authorization. Should the project sponsor decline to so file, and decline to withdraw the permit application, the Commission shall conduct a public hearing in order to consider the revocation of the Authorization. Should the Commission not revoke the Authorization following the closure of the public hearing, the Commission shall determine the extension of time for the continued validity of the Authorization.

*For information about compliance, contact Code Enforcement, Planning Department at 628.652.7463, [www.sfplanning.org](http://www.sfplanning.org)*

3. **Diligent Pursuit.** Once a site or Building Permit has been issued, construction must commence within the timeframe required by the Department of Building Inspection and be continued diligently to completion. Failure to do so shall be grounds for the Commission to consider revoking the approval if more than three (3) years have passed since this Authorization was approved.

*For information about compliance, contact Code Enforcement, Planning Department at 628.652.7463, [www.sfplanning.org](http://www.sfplanning.org)*

4. **Extension.** All time limits in the preceding three paragraphs may be extended at the discretion of the Zoning Administrator where implementation of the project is delayed by a public agency, an appeal or a legal challenge and only by the length of time for which such public agency, appeal or challenge has caused delay.

*For information about compliance, contact Code Enforcement, Planning Department at 628.652.7463, [www.sfplanning.org](http://www.sfplanning.org)*

5. **Conformity with Current Law.** No application for Building Permit, Site Permit, or other entitlement shall be approved unless it complies with all applicable provisions of City Codes in effect at the time of such approval.



For information about compliance, contact Code Enforcement, Planning Department at 628.652.7463, [www.sfplanning.org](http://www.sfplanning.org)

## Design – Compliance at Plan Stage

- 6. Final Materials.** The Project Sponsor shall continue to work with Planning Department on the building design. Final materials, glazing, color, texture, landscaping, and detailing shall be subject to Department staff review and approval. The architectural addenda shall be reviewed and approved by the Planning Department prior to issuance.

For information about compliance, contact the Case Planner, Planning Department at 628.652.7359, [www.sfplanning.org](http://www.sfplanning.org)

- 7. Garbage, Composting and Recycling Storage.** Space for the collection and storage of garbage, composting, and recycling shall be provided within enclosed areas on the property and clearly labeled and illustrated on the building permit plans. Space for the collection and storage of recyclable and compostable materials that meets the size, location, accessibility and other standards specified by the San Francisco Recycling Program shall be provided at the ground level of the buildings.

For information about compliance, contact the Case Planner, Planning Department at 628.652.7359, [www.sfplanning.org](http://www.sfplanning.org)

- 8. Rooftop Mechanical Equipment.** Pursuant to Planning Code 141, the Project Sponsor shall submit a roof plan to the Planning Department prior to Planning approval of the building permit application. Rooftop mechanical equipment, if any is proposed as part of the Project, is required to be screened so as not to be visible from any point at or below the roof level of the subject building.

For information about compliance, contact the Case Planner, Planning Department at 628.652.7359, [www.sfplanning.org](http://www.sfplanning.org)

## Parking and Traffic

- 9. Bicycle Parking.** The Project shall provide no fewer than **fifteen (15)** Class 1 bicycle parking spaces as required by Planning Code Sections 155.1 and 155.2. Ten (10) of these spaces may be oriented vertically.

For information about compliance, contact Code Enforcement, Planning Department at 628.652.7463, [www.sfplanning.org](http://www.sfplanning.org)

- 10. Parking Maximum.** Pursuant to Planning Code Section 151 or 151.1, the Project shall provide no more than **ten (10)** off-street parking spaces.

For information about compliance, contact Code Enforcement, Planning Department at 628.652.7463, [www.sfplanning.org](http://www.sfplanning.org)

- 11. Managing Traffic During Construction.** The Project Sponsor and construction contractor(s) shall coordinate with the Traffic Engineering and Transit Divisions of the San Francisco Municipal Transportation Agency (SFMTA), the Police Department, the Fire Department, the Planning Department, and other construction

contractor(s) for any concurrent nearby Projects to manage traffic congestion and pedestrian circulation effects during construction of the Project.

*For information about compliance, contact Code Enforcement, Planning Department at 628.652.7463, [www.sfplanning.org](http://www.sfplanning.org)*

## Provisions

**12. Residential Child Care Impact Fee.** The Project is subject to the Residential Child Care Fee, as applicable, pursuant to Planning Code Section 414A.

*For information about compliance, contact the Case Planner, Planning Department at 628.652.7359, [www.sfplanning.org](http://www.sfplanning.org)*

## Monitoring - After Entitlement

**13. Enforcement.** Violation of any of the Planning Department conditions of approval contained in this Motion or of any other provisions of Planning Code applicable to this Project shall be subject to the enforcement procedures and administrative penalties set forth under Planning Code Section 176 or Section 176.1. The Planning Department may also refer the violation complaints to other city departments and agencies for appropriate enforcement action under their jurisdiction.

*For information about compliance, contact Code Enforcement, Planning Department at 628.652.7463, [www.sfplanning.org](http://www.sfplanning.org)*

**14. Revocation due to Violation of Conditions.** Should implementation of this Project result in complaints from interested property owners, residents, or commercial lessees which are not resolved by the Project Sponsor and found to be in violation of the Planning Code and/or the specific conditions of approval for the Project as set forth in Exhibit A of this Motion, the Zoning Administrator shall refer such complaints to the Commission, after which it may hold a public hearing on the matter to consider revocation of this authorization.

*For information about compliance, contact Code Enforcement, Planning Department at 628.652.7463, [www.sfplanning.org](http://www.sfplanning.org)*

**GREEN STREET RESIDENCES**  
1776 GREEN STREET, SAN FRANCISCO, CA 94123

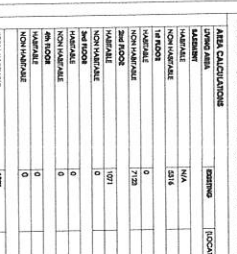
**ABBREVIATIONS**

1	AD	ADULT DAYCARE	15	AMB	AMBULATORY SURGERY
2	AG	AGRICULTURE	16	ANC	ANATOMICAL CORPSE
3	AL	ALCOHOL DRINKING	17	ANR	ANIMAL NURSING
4	ALC	ALCOHOL CONSUMPTION	18	ANT	ANTHROPOLOGY
5	ALD	ALCOHOL DRINKING	19	AP	ART PRACTICE
6	ALM	ALCOHOL DRINKING	20	APL	ART PRACTICE
7	AM	ART MUSEUM	21	AR	ARTIST
8	AMU	ART MUSEUM	22	AS	ARTIST
9	AMV	ART MUSEUM	23	ASB	ARTIST
10	AN	ART MUSEUM	24	ASD	ARTIST
11	ANR	ART MUSEUM	25	ASE	ARTIST
12	AO	ART MUSEUM	26	ASL	ARTIST
13	AOB	ART MUSEUM	27	ASM	ARTIST
14	AOL	ART MUSEUM	28	ASO	ARTIST
15	AOV	ART MUSEUM	29	ASR	ARTIST
16	AOW	ART MUSEUM	30	AST	ARTIST
17	AOX	ART MUSEUM	31	ASU	ARTIST
18	AOY	ART MUSEUM	32	ASV	ARTIST
19	AOZ	ART MUSEUM	33	ASW	ARTIST
20	AOA	ART MUSEUM	34	ASX	ARTIST
21	AOB	ART MUSEUM	35	ASY	ARTIST
22	AOV	ART MUSEUM	36	ASZ	ARTIST
23	AOX	ART MUSEUM	37	ATA	ARTIST
24	AOY	ART MUSEUM	38	ATB	ARTIST
25	AOZ	ART MUSEUM	39	ATC	ARTIST
26	AOA	ART MUSEUM	40	ATD	ARTIST
27	AOB	ART MUSEUM	41	ATE	ARTIST
28	AOV	ART MUSEUM	42	ATF	ARTIST
29	AOX	ART MUSEUM	43	ATG	ARTIST
30	AOY	ART MUSEUM	44	ATH	ARTIST
31	AOZ	ART MUSEUM	45	ATI	ARTIST
32	AOA	ART MUSEUM	46	ATJ	ARTIST
33	AOB	ART MUSEUM	47	ATK	ARTIST
34	AOV	ART MUSEUM	48	ATL	ARTIST
35	AOX	ART MUSEUM	49	ATM	ARTIST
36	AOY	ART MUSEUM	50	ATN	ARTIST
37	AOZ	ART MUSEUM	51	ATO	ARTIST
38	AOA	ART MUSEUM	52	ATP	ARTIST
39	AOB	ART MUSEUM	53	ATQ	ARTIST
40	AOV	ART MUSEUM	54	ATR	ARTIST
41	AOX	ART MUSEUM	55	ATS	ARTIST
42	AOY	ART MUSEUM	56	ATT	ARTIST
43	AOZ	ART MUSEUM	57	ATU	ARTIST
44	AOA	ART MUSEUM	58	ATV	ARTIST
45	AOB	ART MUSEUM	59	ATW	ARTIST
46	AOV	ART MUSEUM	60	ATX	ARTIST
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51	AOB	ART MUSEUM	65	ATC	ARTIST
52	AOV	ART MUSEUM	66	ATD	ARTIST
53	AOX	ART MUSEUM	67	ATE	ARTIST
54	AOY	ART MUSEUM	68	ATF	ARTIST
55	AOZ	ART MUSEUM	69	ATG	ARTIST
56	AOA	ART MUSEUM	70	ATH	ARTIST
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58	AOV	ART MUSEUM	72	ATJ	ARTIST
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66	AOY	ART MUSEUM	80	ATR	ARTIST
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84	AOY	ART MUSEUM	98	ATJ	ARTIST
85	AOZ	ART MUSEUM	99	ATK	ARTIST
86	AOA	ART MUSEUM	100	ATL	ARTIST

**PROJECT DIRECTORY**

OWNER	1776 GREEN STREET	CONTRACT NUMBER	1776	CONTACT	CONTRACT
ARCHITECT	1776 GREEN STREET	CONTRACT NUMBER	1776	CONTACT	CONTRACT
CONTRACTOR	1776 GREEN STREET	CONTRACT NUMBER	1776	CONTACT	CONTRACT
ENGINEER	1776 GREEN STREET	CONTRACT NUMBER	1776	CONTACT	CONTRACT
PLUMBER	1776 GREEN STREET	CONTRACT NUMBER	1776	CONTACT	CONTRACT
ELECTRICIAN	1776 GREEN STREET	CONTRACT NUMBER	1776	CONTACT	CONTRACT
MECHANICAL	1776 GREEN STREET	CONTRACT NUMBER	1776	CONTACT	CONTRACT
PAINTER	1776 GREEN STREET	CONTRACT NUMBER	1776	CONTACT	CONTRACT
GLAZIER	1776 GREEN STREET	CONTRACT NUMBER	1776	CONTACT	CONTRACT
ROOFER	1776 GREEN STREET	CONTRACT NUMBER	1776	CONTACT	CONTRACT
CONCRETE	1776 GREEN STREET	CONTRACT NUMBER	1776	CONTACT	CONTRACT
MASONRY	1776 GREEN STREET	CONTRACT NUMBER	1776	CONTACT	CONTRACT
WELDER	1776 GREEN STREET	CONTRACT NUMBER	1776	CONTACT	CONTRACT
CARPENTER	1776 GREEN STREET	CONTRACT NUMBER	1776	CONTACT	CONTRACT
IRONWORKER	1776 GREEN STREET	CONTRACT NUMBER	1776	CONTACT	CONTRACT
STEELER	1776 GREEN STREET	CONTRACT NUMBER	1776	CONTACT	CONTRACT
CLIMATE CONTROL	1776 GREEN STREET	CONTRACT NUMBER	1776	CONTACT	CONTRACT

**SYMBOL LEGEND**



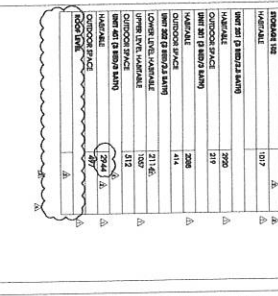
**PROJECT DATA**

PROJECT NAME: GREEN ST. RESIDENCES  
 PROJECT ADDRESS: 1776 GREEN STREET, SAN FRANCISCO, CA 94123  
 PROJECT TYPE: RESIDENTIAL  
 PROJECT START DATE: 1/15/15  
 PROJECT END DATE: 1/15/16  
 PROJECT STATUS: IN PROGRESS  
 ARCHITECT: SUTRO ARCHITECTS  
 ENGINEER: SUTRO ARCHITECTS  
 CONTRACTOR: SUTRO ARCHITECTS  
 PLUMBER: SUTRO ARCHITECTS  
 ELECTRICIAN: SUTRO ARCHITECTS  
 MECHANICAL: SUTRO ARCHITECTS  
 PAINTER: SUTRO ARCHITECTS  
 GLAZIER: SUTRO ARCHITECTS  
 ROOFER: SUTRO ARCHITECTS  
 CONCRETE: SUTRO ARCHITECTS  
 MASONRY: SUTRO ARCHITECTS  
 WELDER: SUTRO ARCHITECTS  
 CARPENTER: SUTRO ARCHITECTS  
 IRONWORKER: SUTRO ARCHITECTS  
 STEELER: SUTRO ARCHITECTS  
 CLIMATE CONTROL: SUTRO ARCHITECTS

**EXISTING AND PROPOSED AREA CALCULATIONS**

AREA CALCULATION	EXISTING	PROPOSED	NET CHANGE
TOTAL FLOOR AREA	1375	1375	0
TOTAL PLUMBING	1375	1375	0
TOTAL MECHANICAL	1375	1375	0
TOTAL ELECTRICAL	1375	1375	0
TOTAL PAINTING	1375	1375	0
TOTAL GLAZING	1375	1375	0
TOTAL ROOFING	1375	1375	0
TOTAL CONCRETE	1375	1375	0
TOTAL MASONRY	1375	1375	0
TOTAL WELDING	1375	1375	0
TOTAL CARPENTRY	1375	1375	0
TOTAL IRONWORK	1375	1375	0
TOTAL STEELWORK	1375	1375	0
TOTAL CLIMATE CONTROL	1375	1375	0

**UNIT AREA CALCULATIONS**

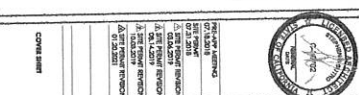


**PROJECT OCCUPANCY USE TABLE**

PROJECT USE TABLE	EXISTING	PROPOSED
RESIDENTIAL	1375	1375
COMMERCIAL	0	0
INDUSTRIAL	0	0
RETAIL	0	0
OFFICE	0	0
RESTAURANT	0	0
BAR	0	0
CLUB	0	0
GYM	0	0
THEATER	0	0
CONCOURSE	0	0
STATION	0	0
STADIUM	0	0
AMPHITHEATER	0	0
ARENA	0	0
CONVENTION CENTER	0	0
CONFERENCE CENTER	0	0
COURT	0	0
FIELD	0	0
ICE SKATING RINK	0	0
POOL	0	0
STADIUM	0	0
THEATER	0	0
CONCOURSE	0	0
STATION	0	0
STADIUM	0	0
AMPHITHEATER	0	0
ARENA	0	0
CONVENTION CENTER	0	0
CONFERENCE CENTER	0	0
COURT	0	0
FIELD	0	0
ICE SKATING RINK	0	0
POOL	0	0

**SHEET INDEX**

SHEET	DESCRIPTION
1	GENERAL NOTES
2	FOUNDATION
3	FRAMEWORK
4	EXTERIOR WALLS
5	EXTERIOR ROOFING
6	INTERIOR WALLS
7	INTERIOR ROOFING
8	FLOORING
9	CEILING
10	MECHANICAL
11	ELECTRICAL
12	PLUMBING
13	PAINTING
14	GLAZING
15	ROOFING
16	CONCRETE
17	MASONRY
18	WELDING
19	CARPENTRY
20	IRONWORK
21	STEELWORK
22	CLIMATE CONTROL
23	MECHANICAL
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25	PLUMBING
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28	ROOFING
29	CONCRETE
30	MASONRY
31	WELDING
32	CARPENTRY
33	IRONWORK
34	STEELWORK
35	CLIMATE CONTROL
36	MECHANICAL
37	ELECTRICAL
38	PLUMBING
39	PAINTING
40	GLAZING
41	ROOFING
42	CONCRETE
43	MASONRY
44	WELDING
45	CARPENTRY
46	IRONWORK
47	STEELWORK
48	CLIMATE CONTROL
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50	ELECTRICAL
51	PLUMBING
52	PAINTING
53	GLAZING
54	ROOFING
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56	MASONRY
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61	CLIMATE CONTROL
62	MECHANICAL
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94	CONCRETE
95	MASONRY
96	WELDING
97	CARPENTRY
98	IRONWORK
99	STEELWORK
100	CLIMATE CONTROL



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# GREEN STREET RESIDENCES

1776 GREEN STREET, SAN FRANCISCO, CA 94123

## GENERAL NOTES - CONSTRUCTION

1. VERIFY ALL EXISTING DIMENSIONS & CONDITIONS AT THE 5' HIGHER ASPECT OF ANY VARIATION OF FOUNDING SCALE SHALL BE MAINTAINED FOR ALL CONSTRUCTION WORK. USE METRIC DIMENSIONS UNLESS OTHERWISE NOTED.
2. CONDITIONS NOT SPECIFICALLY STATED SHALL BE CONSTRUCTION IN ACCORDANCE WITH THE BEST COMMON PRACTICE AND/OR MANUFACTURER'S SPECIFICATIONS FOR THE MATERIALS TO BE USED.
3. ALL UTILITIES, INTERFERING STRUCTURES SHALL BE PROTECTED AND/OR REMOVED IN ACCORDANCE WITH THE CITY OF SAN FRANCISCO'S 23A CALIFORNIA ELECTRICAL CODE CHAPTER 23A AND 23B. ALL UTILITIES SHALL BE PROTECTED AND/OR REMOVED IN ACCORDANCE WITH THE CITY OF SAN FRANCISCO'S 23A CALIFORNIA ELECTRICAL CODE CHAPTER 23A AND 23B.
4. VERIFY THE CONSTRUCTION SHALL BE REMOVED FOR ALL UTILITIES AND SHOWN AS REMOVED ON THE CONSTRUCTION SHEET. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF SAN FRANCISCO'S 23A CALIFORNIA ELECTRICAL CODE CHAPTER 23A AND 23B.
5. CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF SAN FRANCISCO'S 23A CALIFORNIA ELECTRICAL CODE CHAPTER 23A AND 23B.
6. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF SAN FRANCISCO'S 23A CALIFORNIA ELECTRICAL CODE CHAPTER 23A AND 23B.
7. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF SAN FRANCISCO'S 23A CALIFORNIA ELECTRICAL CODE CHAPTER 23A AND 23B.
8. ALL UTILITIES SHALL BE PROTECTED AND/OR REMOVED IN ACCORDANCE WITH THE CITY OF SAN FRANCISCO'S 23A CALIFORNIA ELECTRICAL CODE CHAPTER 23A AND 23B.
9. ALL UTILITIES SHALL BE PROTECTED AND/OR REMOVED IN ACCORDANCE WITH THE CITY OF SAN FRANCISCO'S 23A CALIFORNIA ELECTRICAL CODE CHAPTER 23A AND 23B.
10. ALL UTILITIES SHALL BE PROTECTED AND/OR REMOVED IN ACCORDANCE WITH THE CITY OF SAN FRANCISCO'S 23A CALIFORNIA ELECTRICAL CODE CHAPTER 23A AND 23B.
11. SHOWN SHALL BE REMOVED WITH A NON-ADJACENT SERVICE TO A SERVICE OF 3" OR GREATER ABOVE GRADE SHALL BE REMOVED IN ACCORDANCE WITH THE CITY OF SAN FRANCISCO'S 23A CALIFORNIA ELECTRICAL CODE CHAPTER 23A AND 23B.

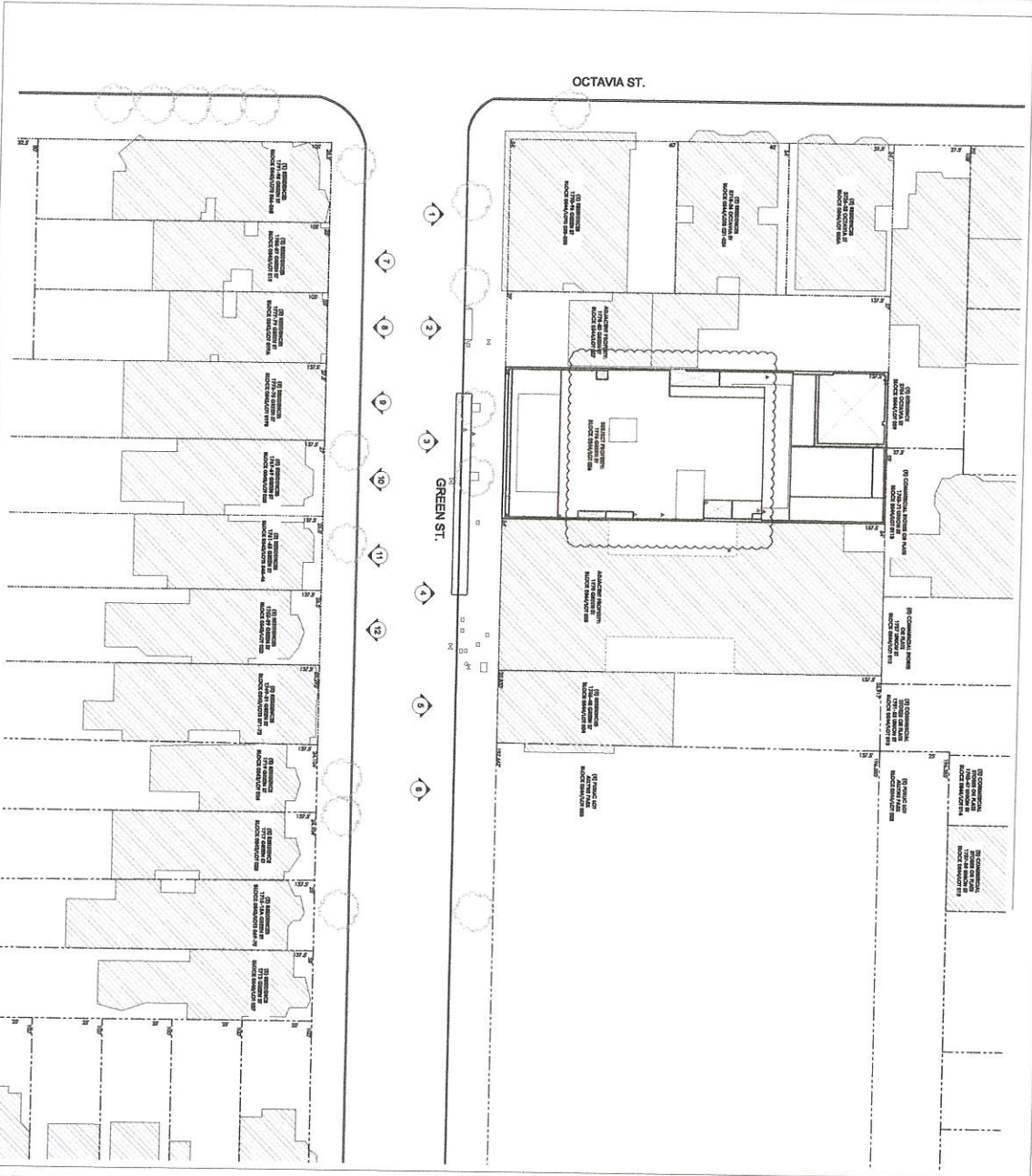
## PLOT PLAN LEGEND

- PLOT PLAN LEGEND:**
- PROJECT LINE
  - ADJACENT RESIDENCE BUILDING
  - PROPOSED BUILDING OF SUBJECT PROPERTY
  - RE FACTORY TO BE REMOVED

## VICINITY MAP / SITE PLAN



## PLOT PLAN



**SCALE: 1/8" = 1'-0"**

**A0.1**

**DATE: 01/15/2024**

**PROJECT: GREEN STREET RESIDENCES**

**CLIENT: SUTRO ARCHITECTS**

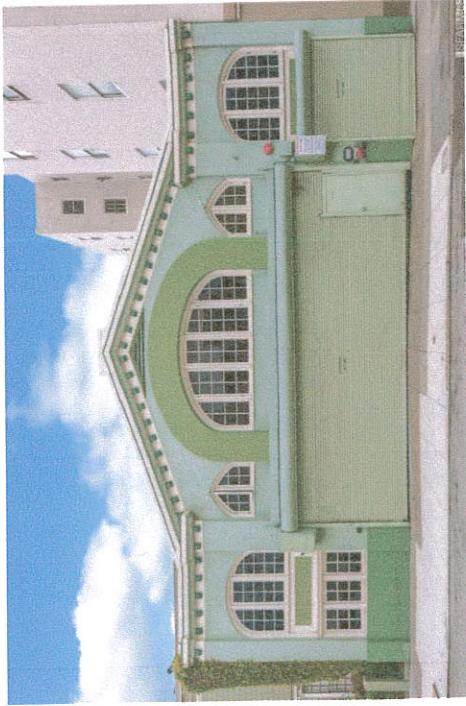
**DESIGNER: SUTRO ARCHITECTS**

**DATE: 01/15/2024**

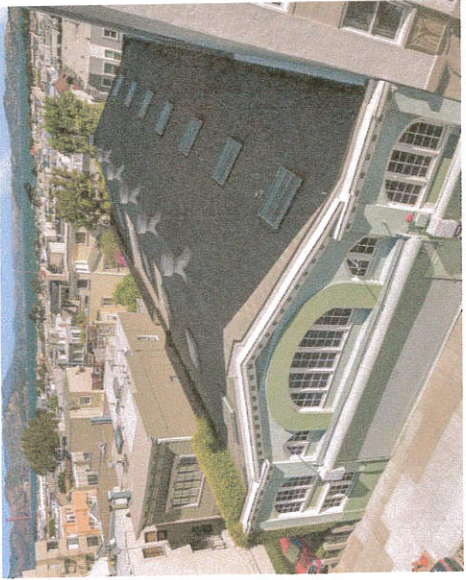
**SCALE: 1/8" = 1'-0"**



FRONT OF SUBJECT PROPERTY



1 FRONT BUILDING FACADE



2 FRONT BUILDING FACADE & ROOF



3 PARKING ENTRANCE AT FRONT FACADE

REAR OF SUBJECT PROPERTY



4 REAR BUILDING FACADE



5 REAR FACADE BLOCKED BY ADJ. BLDG.



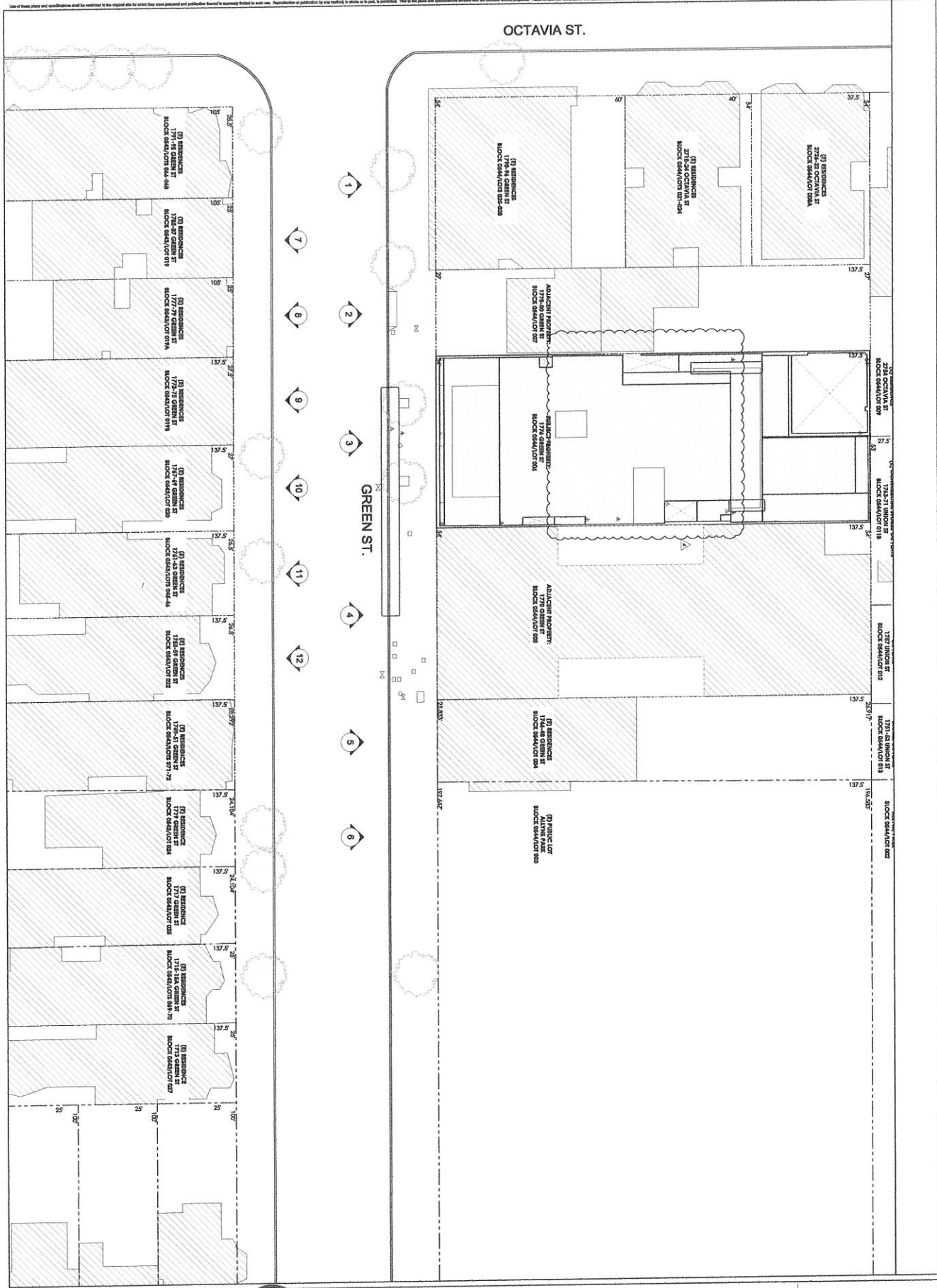
6 INTERIOR OF BUILDING AT FIRST FLOOR



6 INTERIOR OF BUILDING AT BASEMENT



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A03

PREPARED BY: SUTRO ARCHITECTS  
 DATE: 01/15/2018  
 PROJECT NO.: 2018.014  
 SHEET NO.: A03  
 SCALE: AS SHOWN  
 DRAWN BY: [Name]  
 CHECKED BY: [Name]  
 APPROVED BY: [Name]



**GREEN STREET RESIDENCES** SUTRO ARCHITECTS  
 1776 GREEN STREET, SAN FRANCISCO, CA 94123  
 BLOCK 0544 LOT 006 | PROJECT NO. 2018.014  
 415.933.2442  
 1700 Post Street, San Francisco, CA 94109

**BUILDINGS ON THE SAME SIDE OF THE STREET AS SUBJECT BUILDING**



① 1790-1796 GREEN ST.



② 1778-1780 GREEN ST.



③ 1776 GREEN ST.  
SUBJECT PROPERTY



④ 1770 GREEN ST.



⑤ 1746-1748 GREEN ST.



⑥ ALLYNE PARK

**BUILDINGS ON THE FACING SIDE OF THE STREET**



⑦ 1785-1787 GREEN ST.



⑧ 1777-1779 GREEN ST.



⑨ 1773-1775 GREEN ST.



⑩ 1767-1769 GREEN ST.

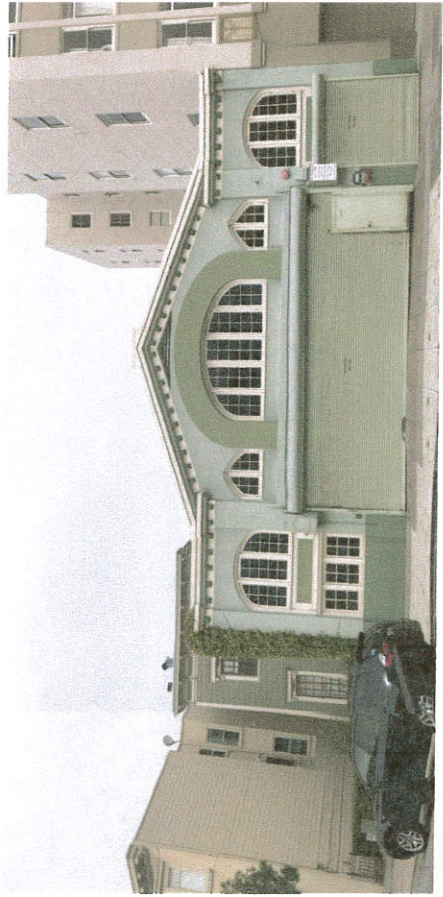


⑪ 1761-1763 GREEN ST.



⑫ 1755-1759 GREEN ST.





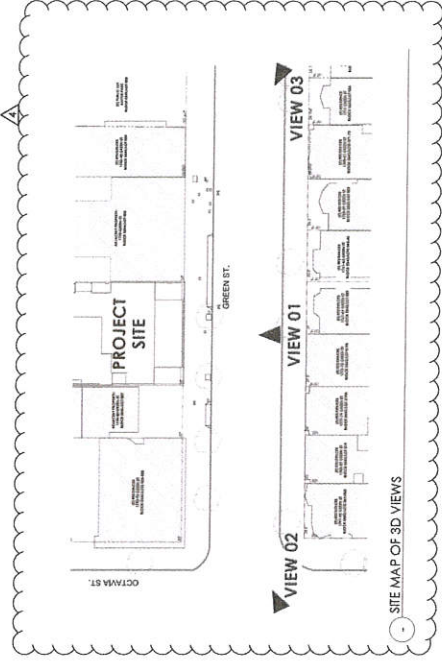
1 EXISTING VIEW 01 - DIRECTLY ACROSS THE STREET FROM SUBJECT PROPERTY



2 EXISTING VIEW 02 - VIEW FROM +/- 150 FEET SOUTHWEST OF SUBJECT PROPERTY



3 EXISTING VIEW 03 - VIEW FROM +/- 150 FEET SOUTHEAST OF SUBJECT PROPERTY



STATE ARCHITECT  
 STATE OF CALIFORNIA  
 LICENSE NO. 12345  
 EXPIRES 12/31/2024

ISSUED BY  
 PHOTO COURTESY





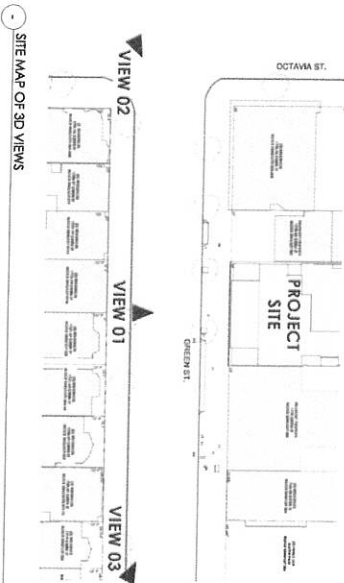
1 VIEW 01 - DIRECTLY ACROSS THE STREET FROM SUBJECT PROPERTY



2 VIEW 02 - VIEW FROM +/- 150 FEET SOUTHWEST OF SUBJECT PROPERTY



3 VIEW 03 - VIEW FROM +/- 150 FEET SOUTHEAST OF SUBJECT PROPERTY



4 SITE MAP OF 3D VIEWS

**A0.6**

PROPOSED 3D PHOTO COMPOSITES

DATE: 08/11/2015

PROJECT: GREEN STREET RESIDENCES

CLIENT: SUTRO ARCHITECTS

SCALE: AS SHOWN

STATUS: PRELIMINARY

NOT TO BE USED FOR CONSTRUCTION

NO WARRANTY

ALL RIGHTS RESERVED



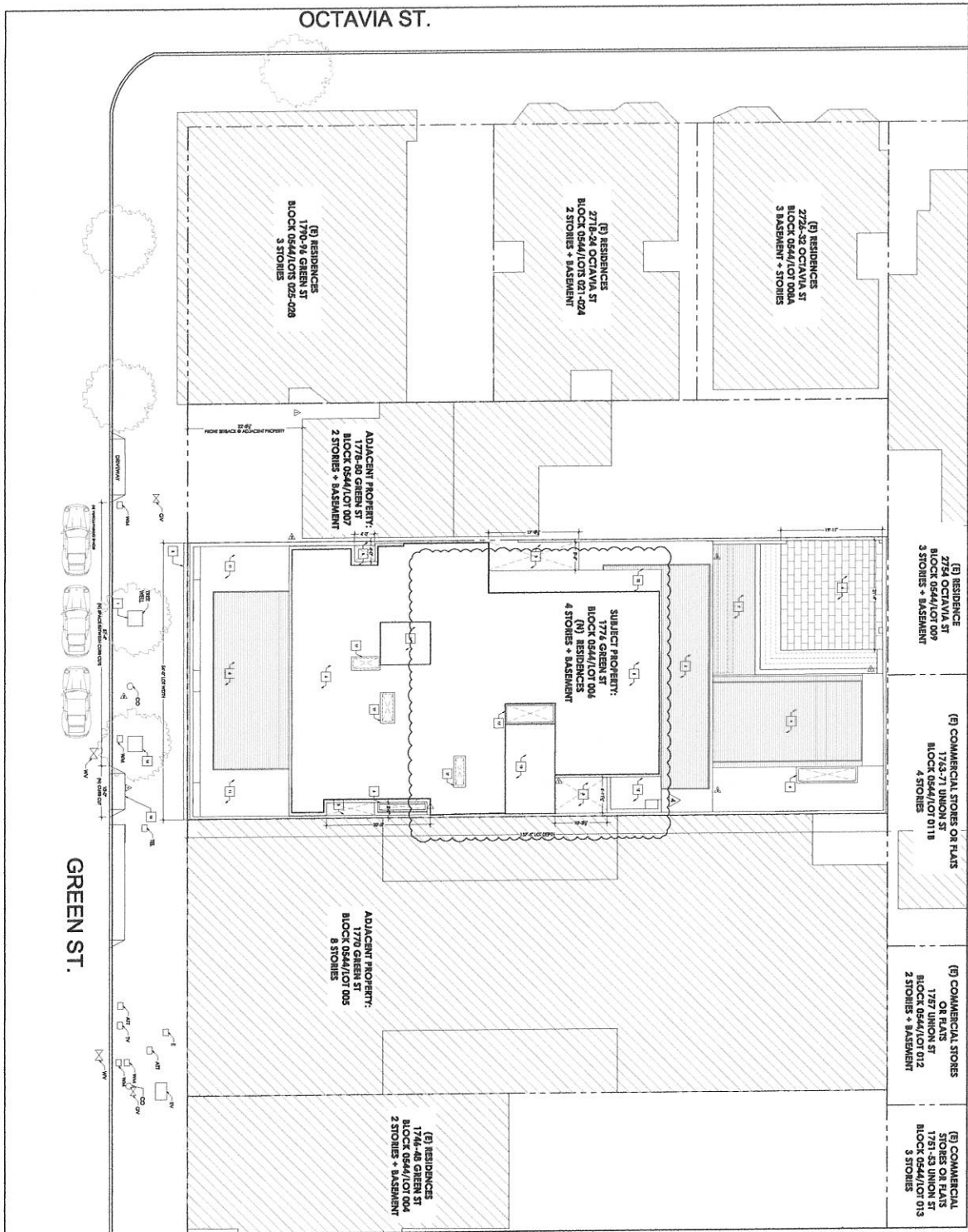
**GREEN STREET RESIDENCES**

1776 GREEN STREET, SAN FRANCISCO, CA 94123  
BLOCK 0544 LOT 006 I PROJECT NO. 2018014

**SUTRO ARCHITECTS**

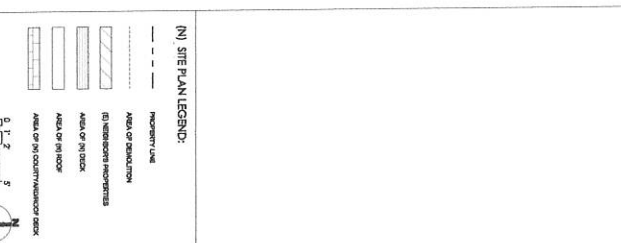
415 BUSH STREET  
SAN FRANCISCO, CA 94108  
415 BUSH STREET, SUITE 700, SAN FRANCISCO, CA 94108





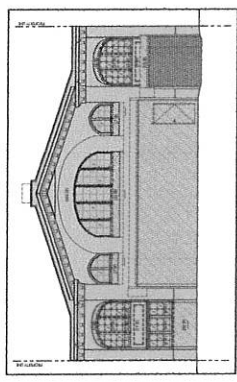
- GENERAL SITE PLAN NOTES:**
1. SHOWN ARE THE PROPOSED CONSTRUCTION LIMITS TO BE REMOVED. NOTE THAT GREEN LINES SHOW AS EXISTING AND ADJACENT PROPERTY LINES SHOULD BE TO BE MAINTAINED. VERIFY WITH ADJACENT PROPERTY OWNERS.
  2. ALL (E) DIMENSIONS TO BE VERIFIED IN FIELD. TYP.
  3. (E) SETBACK TO BE MAINTAINED.
  4. LOCATED SPACING, FIELD CADA AND ELECTRIC LOCATIONS ARE FIELD VERIFICATION.

- CONSTRUCTION SITE PLAN KEY NOTES:**
- 1 (E) TREE WELLS TO REMAIN.
  - 2 (E) CONDUIT TO REMAIN.
  - 3 (E) LIGHTWELL.
  - 4 (E) COURT/YARD.
  - 5 (E) RAIL FLOOR WITH 12" HIGH PARALLEL TYP.
  - 6 (E) DETAIL WITH 30" PARALLEL WALL.
  - 7 (E) SETBACK OVER 1 STORY.
  - 8 (E) SETBACK OVER 2 STORIES.
  - 9 (E) SETBACK OVER 3 STORIES.
  - 10 (E) SETBACK OVER 4 STORIES.
  - 11 (E) DETAIL OVER 2 STORIES.
  - 12 (E) DETAIL OVER 3 STORIES.
  - 13 (E) DETAIL OVER 4 STORIES.
  - 14 (E) DETAIL OVER 5 STORIES.
  - 15 (E) DETAIL OVER 6 STORIES.
  - 16 (E) DETAIL OVER 7 STORIES.
  - 17 (E) DETAIL OVER 8 STORIES.

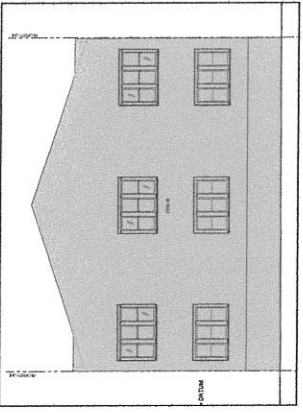




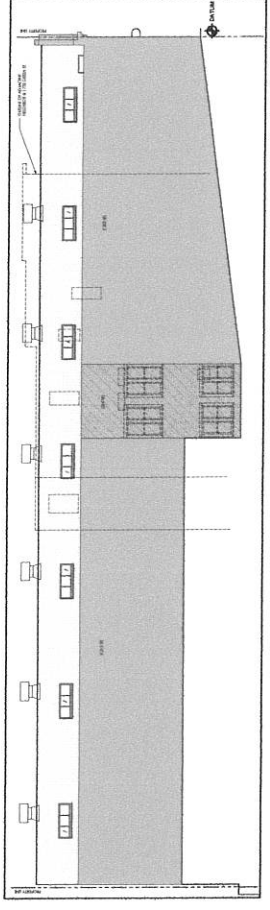




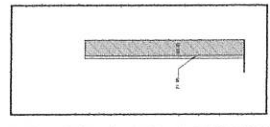
1 SOUTH ELEVATION  
1/8" = 1'-0"



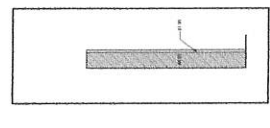
2 NORTH ELEVATION  
1/8" = 1'-0"



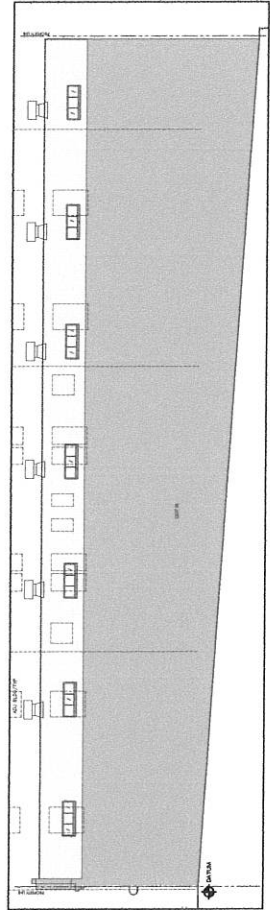
3 WEST ELEVATION  
1/8" = 1'-0"



4 LIGHTWELL SOUTH ELEV.  
1/8" = 1'-0"



5 LIGHTWELL NORTH ELEV.  
1/8" = 1'-0"



6 EAST ELEVATION  
1/8" = 1'-0"

**DEMOLITION AREA - GENERAL NOTES**

PERF FINISHING CODE SECTION 11. THE WORKS BELOW PROPOSED SCHEMES HAVE NOT EXCEEDED THE HEIGHTS IN ANY CASES FOR PERMITS. DEMOLITION HEIGHTS ARE CALCULATED AS FOLLOWS:

1. PROPOSED SCHEMES PROPOSED REMOVAL OF LESS THAN ONE (1) STORY OF EXISTING BUILDINGS (SEE 101)
2. PROPOSED SCHEMES PROPOSED REMOVAL OF LESS THAN ONE (1) STORY OF EXISTING BUILDINGS (SEE 101)
3. PROPOSED SCHEMES PROPOSED REMOVAL OF ALL EXISTING BUILDINGS (SEE 101)
4. PROPOSED SCHEMES PROPOSED REMOVAL OF ALL EXISTING BUILDINGS (SEE 101)

\*\*\* "RESIDENT DEMOLITION SHALL MEAN ANY OF THE FOLLOWING:

- (A) THE REMOVAL OF AN EXISTING BUILDING OR PORTION OF A BUILDING IN ACCORDANCE WITH THE APPLICABLE LOCAL ORDINANCES.
- (B) A MAJOR ALTERATION OF A RESIDENTIAL BUILDING THAT PROPOSES THE REMOVAL OF MORE THAN ONE (1) STORY OF EXISTING BUILDINGS.
- (C) A MAJOR ALTERATION OF A RESIDENTIAL BUILDING THAT PROPOSES THE REMOVAL OF ALL EXISTING WALLS MEASURED IN PLACE (SEE 101).
- (D) THE REMOVAL OF THE EXISTING FOUNDATION OF A BUILDING THAT PROPOSES THE REMOVAL OF MORE THAN ONE (1) STORY OF EXISTING BUILDINGS.
- (E) THE REMOVAL OF THE EXISTING FOUNDATION OF A BUILDING THAT PROPOSES THE REMOVAL OF MORE THAN ONE (1) STORY OF EXISTING BUILDINGS.
- (F) THE REMOVAL OF THE EXISTING FOUNDATION OF A BUILDING THAT PROPOSES THE REMOVAL OF MORE THAN ONE (1) STORY OF EXISTING BUILDINGS.
- (G) THE REMOVAL OF THE EXISTING FOUNDATION OF A BUILDING THAT PROPOSES THE REMOVAL OF MORE THAN ONE (1) STORY OF EXISTING BUILDINGS.
- (H) THE REMOVAL OF THE EXISTING FOUNDATION OF A BUILDING THAT PROPOSES THE REMOVAL OF MORE THAN ONE (1) STORY OF EXISTING BUILDINGS.
- (I) THE REMOVAL OF THE EXISTING FOUNDATION OF A BUILDING THAT PROPOSES THE REMOVAL OF MORE THAN ONE (1) STORY OF EXISTING BUILDINGS.
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- (Q) THE REMOVAL OF THE EXISTING FOUNDATION OF A BUILDING THAT PROPOSES THE REMOVAL OF MORE THAN ONE (1) STORY OF EXISTING BUILDINGS.
- (R) THE REMOVAL OF THE EXISTING FOUNDATION OF A BUILDING THAT PROPOSES THE REMOVAL OF MORE THAN ONE (1) STORY OF EXISTING BUILDINGS.
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- (U) THE REMOVAL OF THE EXISTING FOUNDATION OF A BUILDING THAT PROPOSES THE REMOVAL OF MORE THAN ONE (1) STORY OF EXISTING BUILDINGS.
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- (X) THE REMOVAL OF THE EXISTING FOUNDATION OF A BUILDING THAT PROPOSES THE REMOVAL OF MORE THAN ONE (1) STORY OF EXISTING BUILDINGS.
- (Y) THE REMOVAL OF THE EXISTING FOUNDATION OF A BUILDING THAT PROPOSES THE REMOVAL OF MORE THAN ONE (1) STORY OF EXISTING BUILDINGS.
- (Z) THE REMOVAL OF THE EXISTING FOUNDATION OF A BUILDING THAT PROPOSES THE REMOVAL OF MORE THAN ONE (1) STORY OF EXISTING BUILDINGS.

**DEMOLITION AREA - KEY**

EXISTING VERTICAL AREA TO REMAIN

EXISTING VERTICAL AREA TO BE REMOVED

(1) TOTAL DIMENSION OF FRONT AND REAR FACADES

VERTICAL ELEMENT	(A) AREA	REMOVED	% REMOVED
1. SOUTH FACADE (FOOT)	860	84	10.0%
2. NORTH FACADE (FOOT)	1054	0	0%
3. WEST FACADE (FOOT)	274	330	24.1%
4. LIGHTWELL SOUTH (FOOT)	76	65	11.0%
5. LIGHTWELL NORTH (FOOT)	76	11	14.5%
6. EAST FACADE (FOOT)	3227	0	0%
<b>AREA TOTAL</b>	<b>6777</b>	<b>614</b>	<b>9.0%</b>

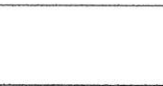
(2) TOTAL DIMENSION OF SUM OF EXTERIOR WALLS

VERTICAL ELEMENT	(A) AREA	REMOVED	% REMOVED
1. SOUTH FACADE (FOOT)	860	84	10.0%
2. NORTH FACADE (FOOT)	1054	0	0%
3. WEST FACADE (FOOT)	274	330	24.1%
4. LIGHTWELL SOUTH (FOOT)	76	65	11.0%
5. LIGHTWELL NORTH (FOOT)	76	11	14.5%
6. EAST FACADE (FOOT)	3227	0	0%
<b>AREA TOTAL</b>	<b>6777</b>	<b>614</b>	<b>9.0%</b>



DATE: 07/13/2018  
 TIME: 10:00 AM  
 PROJECT: GREEN STREET RESIDENCES  
 SHEET: 101.01  
 DRAWN BY: SUTRO ARCHITECTS  
 CHECKED BY: SUTRO ARCHITECTS  
 APPROVED BY: SUTRO ARCHITECTS





DATE PREPARED	03/23/2008
DATE REVISION	03/23/2008
DATE APPROVAL	03/23/2008
DATE PRINTED	03/23/2008
DATE PLOTTED	03/23/2008
DATE FILED	03/23/2008

1776 GREEN STREET  
 GREEN STREET RESIDENCES  
 ROCK 0544101006 | PROJECT NO. 2018014

EXISTING/DEMO  
 MAINTAINING FLOOR PLAN  
 1/4" = 1'-0"

A2.0

**GENERAL DEMO NOTES:**

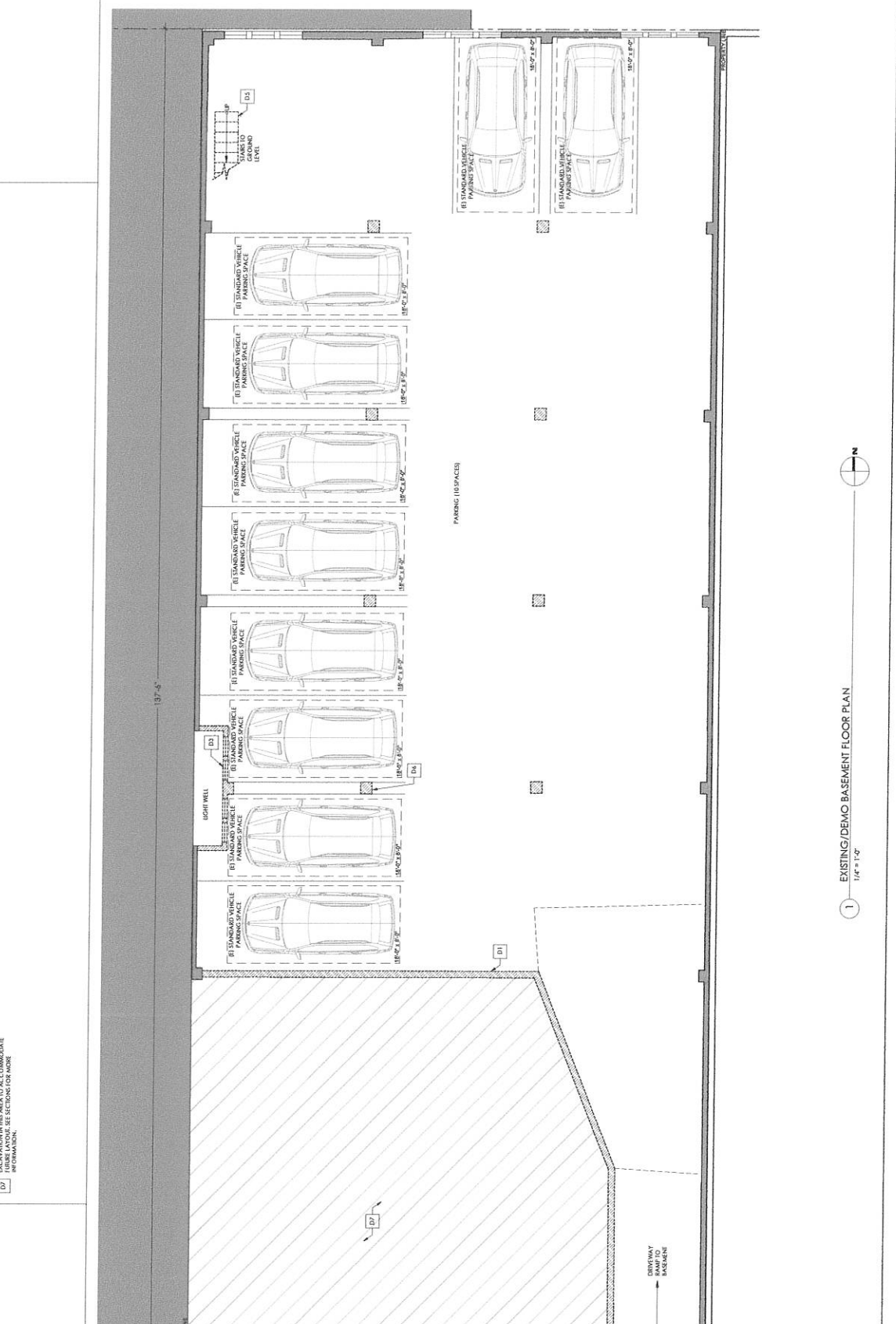
- CONTRACTOR IS ENCOURAGED TO PROMOTE RECYCLATION AND SALVAGE AS MUCH AS POSSIBLE.
- REMOVED MATERIALS SUCH AS FIBERS, APPLIANCES, AND OTHERS SHOULD BE PROPERLY DISPOSED OR RECYCLED TO BE SOLD OR DONATED FOR REUSE.
- DASHED DIMS ARE USED TO DEMONSTRATE BEAMS TO BE REMOVED. NOTE THAT OTHER DIMS SUCH AS TOPS ARE REPRESENTED BY DASHED LINE. IF ANY INCONSISTENCY OCCURS BETWEEN DIMS, THE DIMS SHOULD BE KEPT WITH ARCHITECT ABOVE DIMENSIONS.

**DEMO PLAN KEY NOTES:**

- D1 IS WALLS TO BE REMOVED WHERE INDICATED AS DASHED LINES, TYP.
- D2 IS DOORS TO BE REMOVED WHERE INDICATED AS DASHED LINES, TYP.
- D3 IS WINDOWS TO BE REMOVED WHERE INDICATED AS DASHED LINES, TYP.
- D4 IS FINISHES TO BE REMOVED WHERE INDICATED AS DASHED LINES, TYP.
- D5 IS CEILING AND PARTS TO BE REMOVED WHERE INDICATED AS DASHED LINES, TYP.
- D6 IS CEILING TO BE REMOVED WHERE INDICATED AS DASHED LINES, TYP.
- D7 IS CEILING TO BE REMOVED WHERE INDICATED AS DASHED LINES, TYP.

**DEMO / EXISTING PLAN LEGEND:**

- PROPERTY LINE
- IS WALLS TO REMAIN
- IS WALLS TO BE REMOVED
- IS WALLS TO BE REMOVED AND REPLACED
- IS WALLS TO BE REMOVED
- IS ELEMENTS TO BE REMOVED



1 EXISTING/DEMO BASEMENT FLOOR PLAN  
 1/4" = 1'-0"



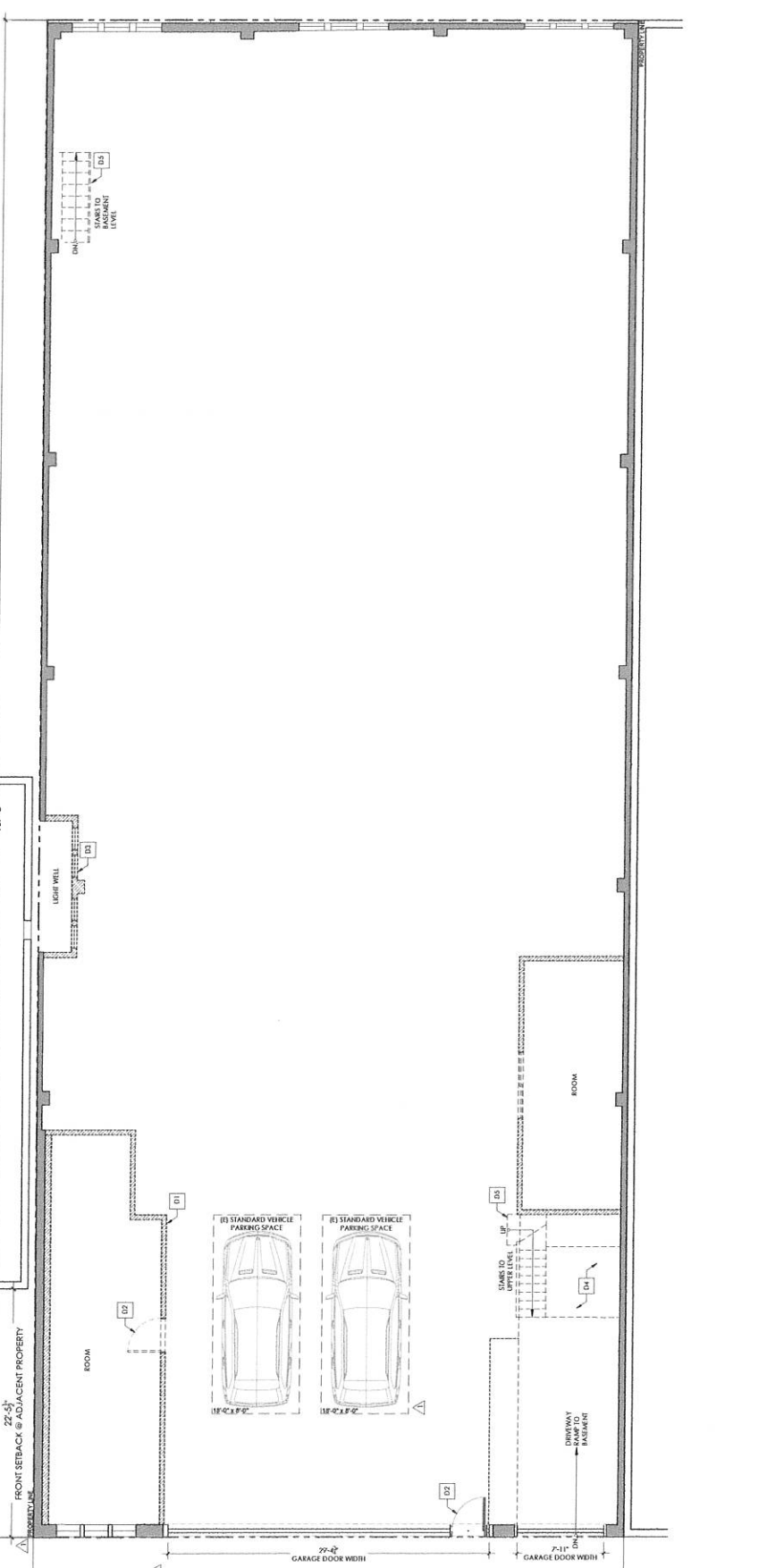


**GENERAL DEMO NOTES:**

1. CONTRACTOR TO OBTAIN PERMITS TO DEMOLISH AND RECYCLE AS MUCH AS POSSIBLE.
2. REMOVED MATERIALS SUCH AS ROOFS, APPLIANCES, AND OTHER ELEMENTS SHOULD BE RECYCLED TO BE REUSED.
3. DASHED LINES INDICATE DEMO AREAS TO BE REMOVED. NOTE THAT OTHER LINES SUCH AS LOT'S BOUNDARIES, EASEMENTS, AND ETC. ARE NOT TO BE REMOVED. VERIFY WITH ARCHITECT BEFORE PROCEEDING.

**DEMO PLAN KEY NOTES:**

- D1: WALLS TO BE REMOVED WHERE INDICATED AS DASHED LINES, TYP.
- D2: ROOFING TO BE REMOVED WHERE INDICATED AS DASHED LINES, TYP.
- D3: WINDOWS TO BE REMOVED WHERE INDICATED AS DASHED LINES, TYP.
- D4: DOORS, CABINETS, AND FIXTURES TO BE REMOVED, TYP.
- D5: STAIRS AND RAILS TO BE REMOVED WHERE INDICATED AS DASHED LINES, TYP.
- D6: EXCAVATION IN THIS AREA TO ACCOMMODATE ELEVATION CHANGES. SEE SECTION FOR MORE INFORMATION.
- D7: EXCAVATION IN THIS AREA TO ACCOMMODATE ELEVATION CHANGES. SEE SECTION FOR MORE INFORMATION.





**GENERAL DEMO NOTES:**

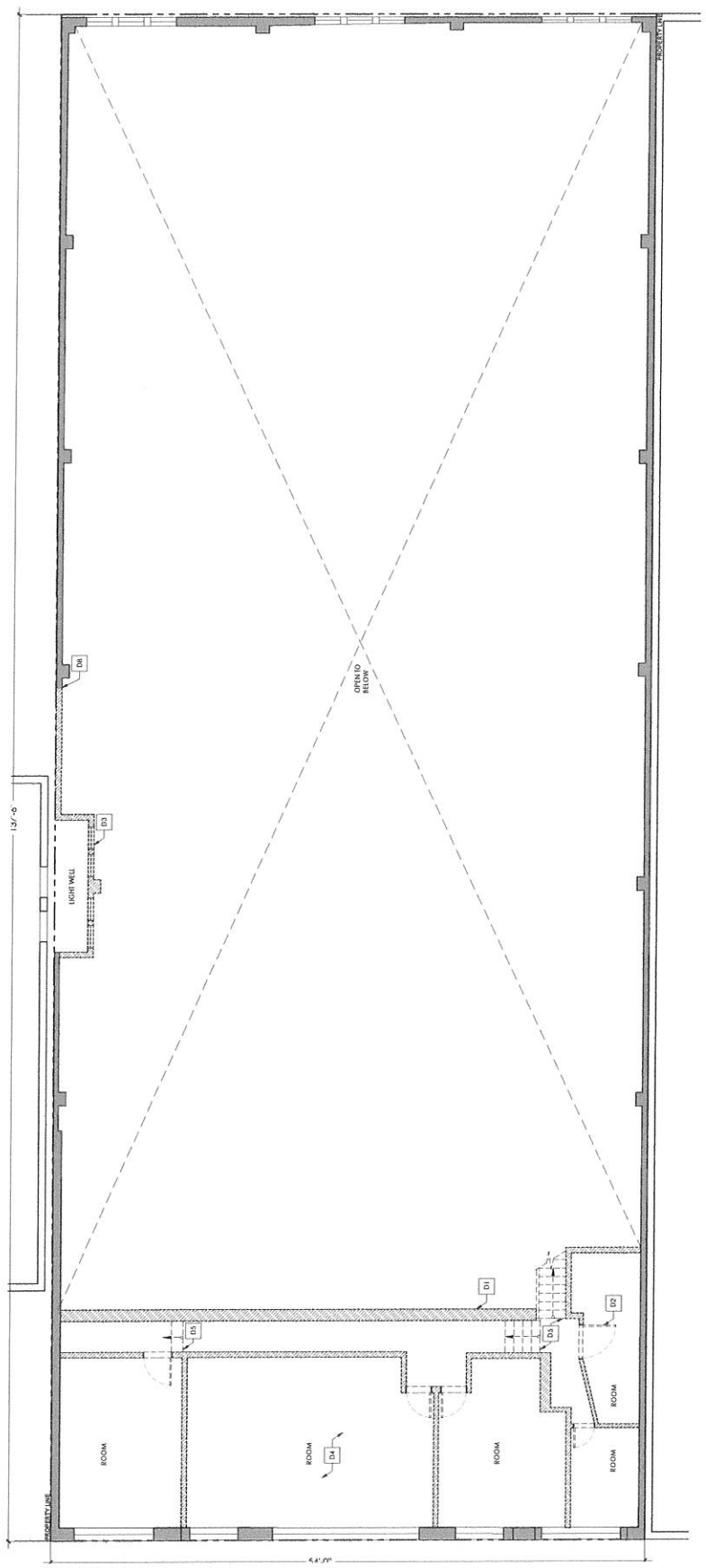
1. REMOVE ALL DEMO MATERIALS AND DEBRIS TO THE STREET OR TO AN OFF-SITE DISPOSAL FACILITY AS SOON AS POSSIBLE.
2. REMOVED MATERIALS SUCH AS DOORS, SINKS, APPLIANCES, AND OTHER ITEMS SHALL BE RECYCLED TO BE SOLD OR DONATED FOR SUCH PURPOSE.
3. REMOVE ALL DEMO MATERIALS TO THE STREET OR TO AN OFF-SITE DISPOSAL FACILITY AS SOON AS POSSIBLE. ABOVE FLOORS AND INTERIORS ARE ALSO TO BE DEMOLISHED. DEMOLITION SHALL BE COMPLETED BY THE ARCHITECT BEFORE PROCEEDING.

**DEMO PLAN KEY NOTES:**

- D1 (B) WALLS TO BE REMOVED WHERE INDICATED AS DASHED LINE, TYP.
- D2 (B) WALLS TO BE REMOVED WHERE INDICATED AS DOTTED LINE, TYP.
- D3 (B) WINDOWS TO BE REMOVED WHERE INDICATED AS DASHED LINE, TYP.
- D4 (B) PARTITIONS, CABINETS, AND FINISHES TO BE REMOVED WHERE INDICATED AS DOTTED LINE, TYP.
- D5 (B) STAIRS AND RAILS TO BE REMOVED WHERE INDICATED AS DASHED LINE, TYP.
- D6 (B) STAIRS AND RAILS TO BE REMOVED WHERE INDICATED AS DOTTED LINE, TYP.
- D7 (B) DEMOLISH THE AREA TO ACCOMMODATE INFORMATION, SEE SECTIONS FOR MORE INFORMATION.
- D8 (B) DEMOLISH (B) EXTERIOR WALL TO THE POINT, IF POSSIBLE.

**DEMO / EXISTING PLAN LEGEND:**

- PROPERTY LINE
- (B) WALLS TO REMAIN
- (B) WALLS TO BE REMOVED AND REPLACED WITH THE SAME CODE TYPE & FINISH
- (B) WALLS TO BE REMOVED
- (B) ELEMENTS TO BE REMOVED



1 EXISTING/DEMO MEZZANINE FLOOR PLAN  
1/8" = 1'-0"

**GENERAL FLOOR PLAN NOTES:**

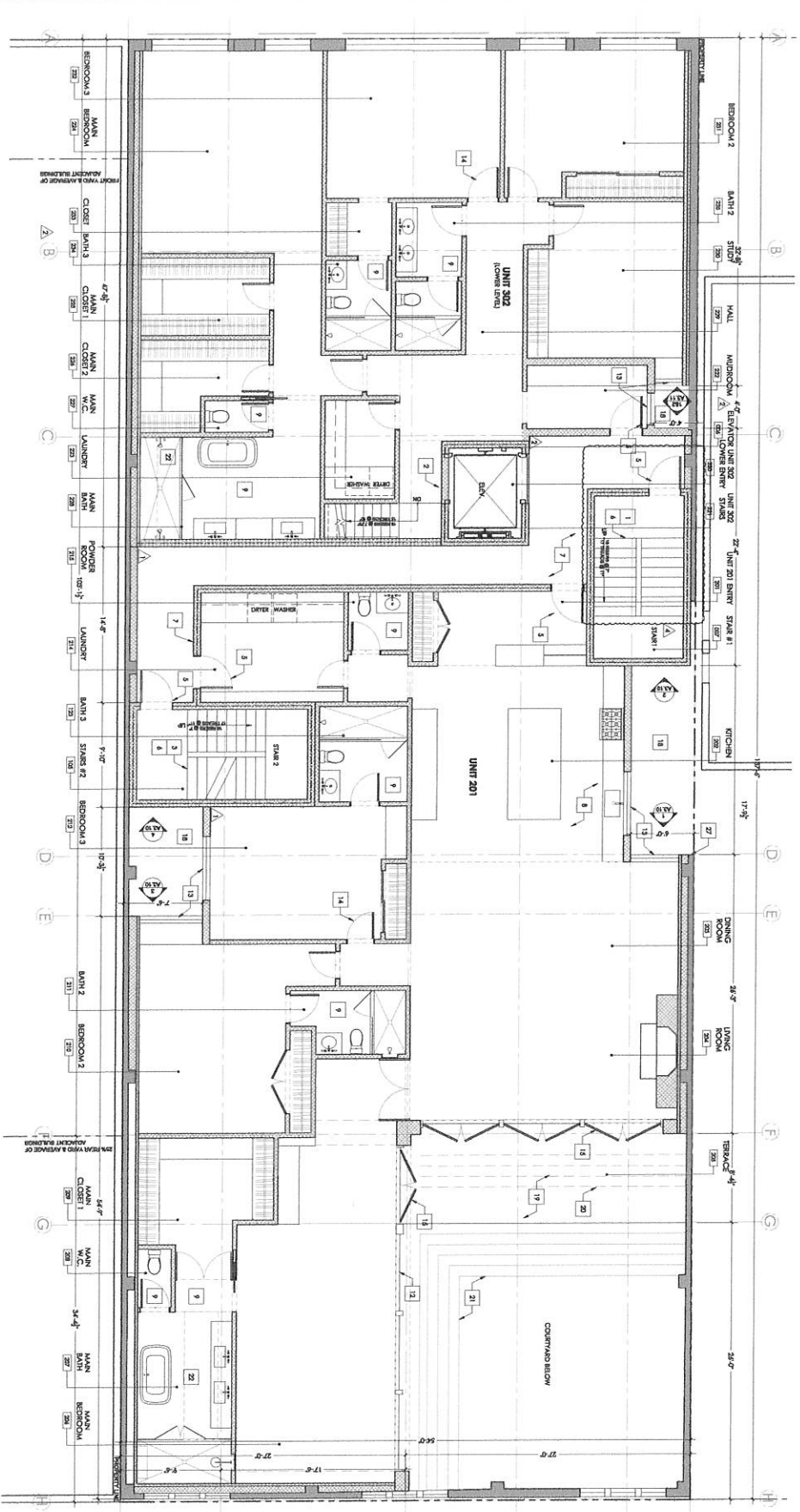
1. INTERIOR FINISHES TO ALL COMMON AREAS SHALL BE AS FOLLOWS:
2. INTERIOR FINISHES TO ALL INTERIOR WALLS SHALL BE AS FOLLOWS:
3. INTERIOR FINISHES TO ALL INTERIOR FLOORS SHALL BE AS FOLLOWS:

**KEY NOTES:**

1. INTERIOR FINISHES TO ALL INTERIOR WALLS SHALL BE AS FOLLOWS:
2. INTERIOR FINISHES TO ALL INTERIOR FLOORS SHALL BE AS FOLLOWS:
3. INTERIOR FINISHES TO ALL INTERIOR CEILING SHALL BE AS FOLLOWS:
4. INTERIOR FINISHES TO ALL INTERIOR DOORS SHALL BE AS FOLLOWS:
5. INTERIOR FINISHES TO ALL INTERIOR WINDOWS SHALL BE AS FOLLOWS:
6. INTERIOR FINISHES TO ALL INTERIOR STAIRS SHALL BE AS FOLLOWS:
7. INTERIOR FINISHES TO ALL INTERIOR ELEVATORS SHALL BE AS FOLLOWS:
8. INTERIOR FINISHES TO ALL INTERIOR BATHS SHALL BE AS FOLLOWS:
9. INTERIOR FINISHES TO ALL INTERIOR KITCHENS SHALL BE AS FOLLOWS:
10. INTERIOR FINISHES TO ALL INTERIOR LAUNDRIES SHALL BE AS FOLLOWS:
11. INTERIOR FINISHES TO ALL INTERIOR POWDER ROOMS SHALL BE AS FOLLOWS:
12. INTERIOR FINISHES TO ALL INTERIOR HALLS SHALL BE AS FOLLOWS:
13. INTERIOR FINISHES TO ALL INTERIOR CLINETTS SHALL BE AS FOLLOWS:
14. INTERIOR FINISHES TO ALL INTERIOR LOCKERS SHALL BE AS FOLLOWS:
15. INTERIOR FINISHES TO ALL INTERIOR PANTRY SHALL BE AS FOLLOWS:
16. INTERIOR FINISHES TO ALL INTERIOR BREAK ROOMS SHALL BE AS FOLLOWS:
17. INTERIOR FINISHES TO ALL INTERIOR OFFICES SHALL BE AS FOLLOWS:
18. INTERIOR FINISHES TO ALL INTERIOR STORAGE SHALL BE AS FOLLOWS:
19. INTERIOR FINISHES TO ALL INTERIOR STORAGE SHALL BE AS FOLLOWS:
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38. INTERIOR FINISHES TO ALL INTERIOR STORAGE SHALL BE AS FOLLOWS:
39. INTERIOR FINISHES TO ALL INTERIOR STORAGE SHALL BE AS FOLLOWS:
40. INTERIOR FINISHES TO ALL INTERIOR STORAGE SHALL BE AS FOLLOWS:

**PROPOSED FLOOR PLAN LEGEND:**

---	PROPOSED LINE
- - - -	PROPOSED SERVICE
	(B) WALLS TO BE REFINISHED
	(C) WALLS TO BE REMOVED AND REPLACED
	(N) WALLS
	(N) 1 HOLES BAYED WALL: TYPE 1
	(N) 2 HOLES BAYED WALL: TYPE 2
	(N) 3 HOLES BAYED WALL: TYPE 3
	(N) SOLID 4'-11" GUARDRAIL
	(N) 30" PARALLEL WALL AT PROJEKT LINE 1'-9" OF



1 PROPOSED SECOND LEVEL FLOOR PLAN  
1/4" = 1' 0"



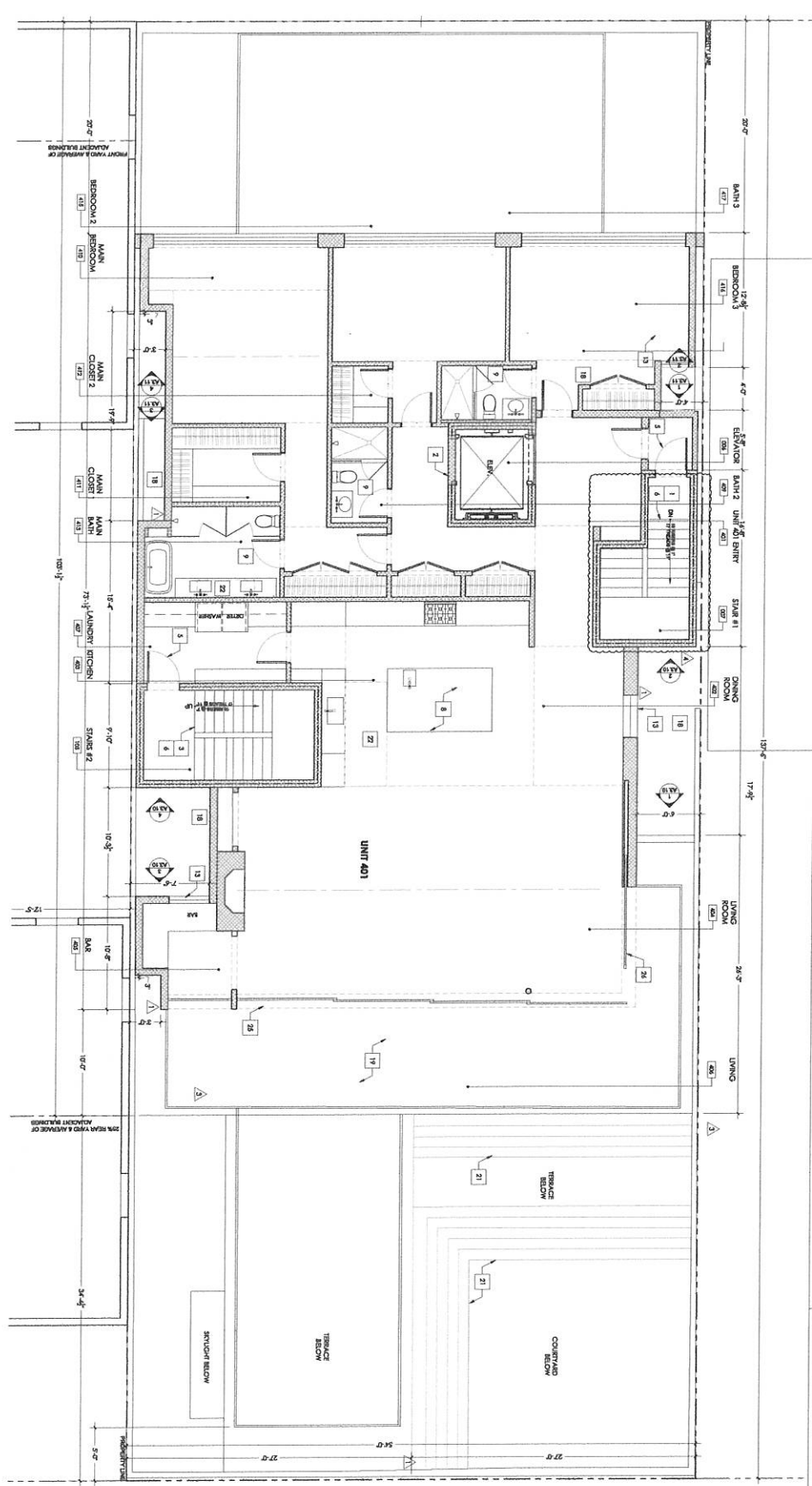
**PROJECT INFORMATION:**  
 PROJECT NAME: GREEN STREET RESIDENCES  
 PROJECT NUMBER: 2018-014  
 CLIENT: GUTRO ARCHITECTS  
 ARCHITECT: GUTRO ARCHITECTS  
 DATE: 02/15/2018  
 SCALE: 1/4" = 1'-0"  
 SHEET: A2.5  
 TOTAL SHEETS: 10

**GREEN STREET RESIDENCES**  
 1776 GREEN STREET, SAN FRANCISCO, CA 94123  
 BLOCK 0544 LOT 006 | PROJECT NO. 2018-014

**GUTRO ARCHITECTS**  
 115 RUSSELL STREET, SUITE 200  
 SAN FRANCISCO, CA 94102



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1 PROPOSED FOURTH LEVEL FLOOR PLAN  
1/4" = 1'-0"

- GENERAL FLOOR PLAN NOTES:**
1. ALL FINISHES TO BE AS SHOWN ON ALL OTHER FLOOR PLANS.
  2. ALL FINISHES TO BE AS SHOWN ON ALL OTHER FLOOR PLANS.
  3. ALL FINISHES TO BE AS SHOWN ON ALL OTHER FLOOR PLANS.
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  8. ALL FINISHES TO BE AS SHOWN ON ALL OTHER FLOOR PLANS.
  9. ALL FINISHES TO BE AS SHOWN ON ALL OTHER FLOOR PLANS.

- KEY NOTES:**
1. IN CONCRETE FINISH WALL.
  2. IN CONCRETE FINISH WALL.
  3. IN CONCRETE FINISH WALL.
  4. IN CONCRETE FINISH WALL.
  5. IN CONCRETE FINISH WALL.
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  23. IN CONCRETE FINISH WALL.
  24. IN CONCRETE FINISH WALL.

- PROPOSED FLOOR PLAN LEGEND:**
- PRIORITY LINE
  - REPAIR
  - (B) WALLS TO REMAIN
  - (R) WALLS TO BE REMOVED AND REPLACED
  - (N) WALLS
  - (N) 1 HOUR RATED WALL TYPE B
  - (N) 2 HOUR RATED WALL TYPE B
  - (N) 3 HOUR RATED WALL TYPE B
  - (N) 4 HOUR RATED WALL TYPE B
  - (N) 5 HOUR RATED WALL TYPE B
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  - (N) 20 HOUR RATED WALL TYPE B
  - (N) 21 HOUR RATED WALL TYPE B
  - (N) 22 HOUR RATED WALL TYPE B
  - (N) 23 HOUR RATED WALL TYPE B
  - (N) 24 HOUR RATED WALL TYPE B

- PROPOSED FLOOR PLAN LEGEND (continued):**
- (N) 1 HOUR RATED WALL TYPE B
  - (N) 2 HOUR RATED WALL TYPE B
  - (N) 3 HOUR RATED WALL TYPE B
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  - (N) 5 HOUR RATED WALL TYPE B
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  - (N) 23 HOUR RATED WALL TYPE B
  - (N) 24 HOUR RATED WALL TYPE B

- PROPOSED FLOOR PLAN LEGEND (continued):**
- (N) 1 HOUR RATED WALL TYPE B
  - (N) 2 HOUR RATED WALL TYPE B
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- PROPOSED FLOOR PLAN LEGEND (continued):**
- (N) 1 HOUR RATED WALL TYPE B
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- PROPOSED FLOOR PLAN LEGEND (continued):**
- (N) 1 HOUR RATED WALL TYPE B
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  - (N) 23 HOUR RATED WALL TYPE B
  - (N) 24 HOUR RATED WALL TYPE B

PROPOSED FLOOR PLAN LEGEND (continued):





PREPARED BY: SUTRO ARCHITECTS  
 DATE: 07/22/2016  
 PROJECT: GREEN STREET RESIDENCES  
 SHEET: EXISTING/DEMO ROOF PLAN  
 SCALE: 1/4" = 1'-0"

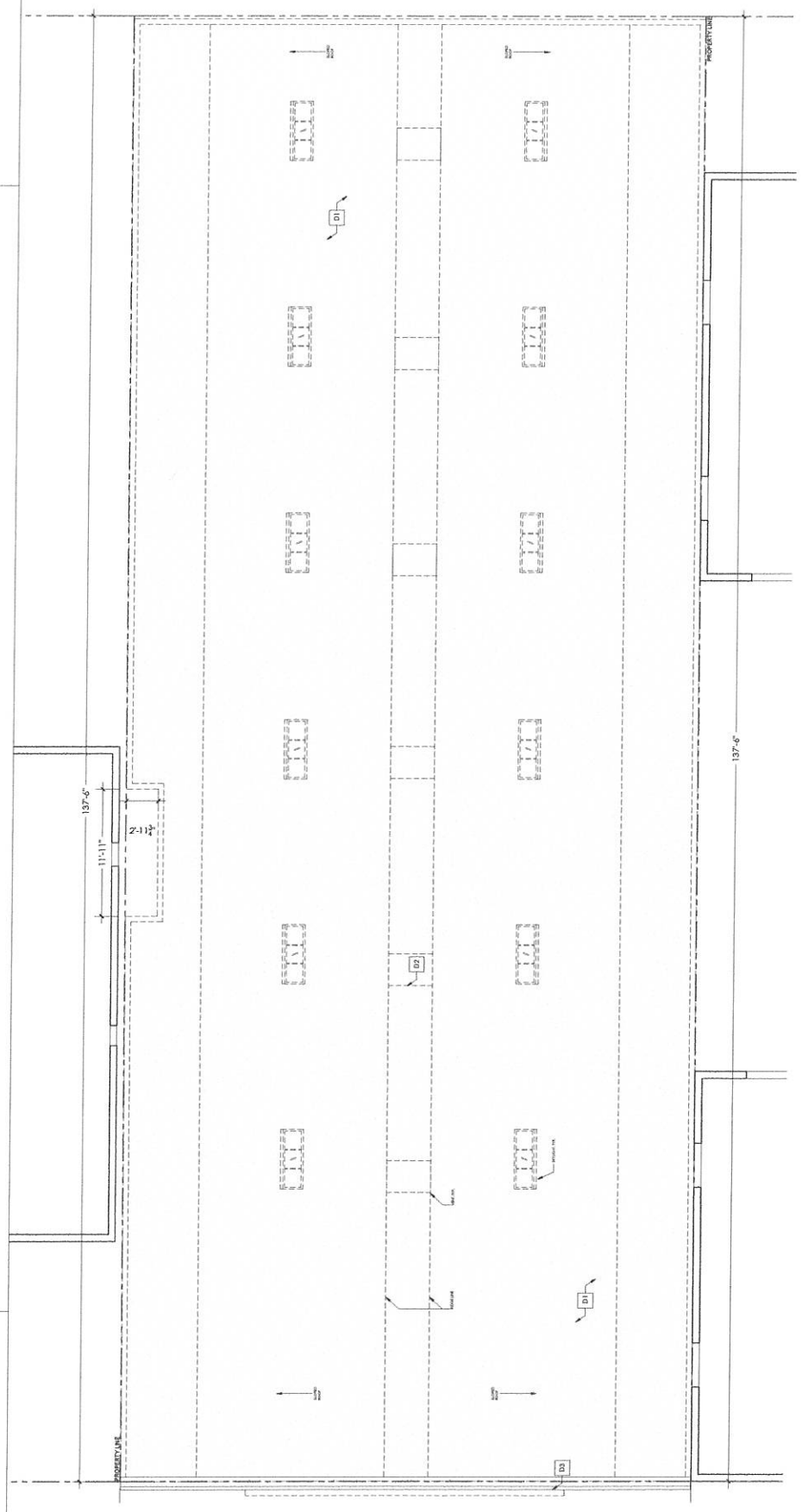
- PROPOSED FLOOR PLAN LEGEND:**
- PROPERTY LINE
  - RECO SETBACK
  - (B) WALLS TO REMAIN
  - (R) WALLS TO BE REMOVED AND REWAVED
  - (RW) WALLS
  - (R1) 1 HOUR RATED WALL TYPE 1 X CWB BOTH SIDES
  - (R2) 2 HOUR RATED WALL TYPE 2 X CWB BOTH SIDES
  - (R3) 3 HOUR RATED WALL TYPE 3 X CWB BOTH SIDES
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  - (R98) 98 HOUR RATED WALL TYPE 98 X CWB BOTH SIDES
  - (R99) 99 HOUR RATED WALL TYPE 99 X CWB BOTH SIDES
  - (R100) 100 HOUR RATED WALL TYPE 100 X CWB BOTH SIDES

**GENERAL DEMO NOTES:**

- CONTRACTOR IS ENCOURAGED TO FERRISS, REDEMITION AND SALVAGE AS MUCH AS POSSIBLE.
- REMOVED MATERIALS SUCH AS FIBERGLASS, ASPHALT, SOLID OR DOWNDRAFT OR SUCH PARTICLES.
- DASHED BEAMS ARE USED TO DENOTE BEAMS TO BE REMOVED. NOTE THAT OTHER BEAMS SUCH AS OTHERS REPRESENTED BY DASHED LINE, IF ANY INADEQUACY, ARCHITECT TO BE PROCEEDING.
- EXISTING VHS SPACE AND ALL TURNING SPACE TO BE #R-ROUTED, TYP.

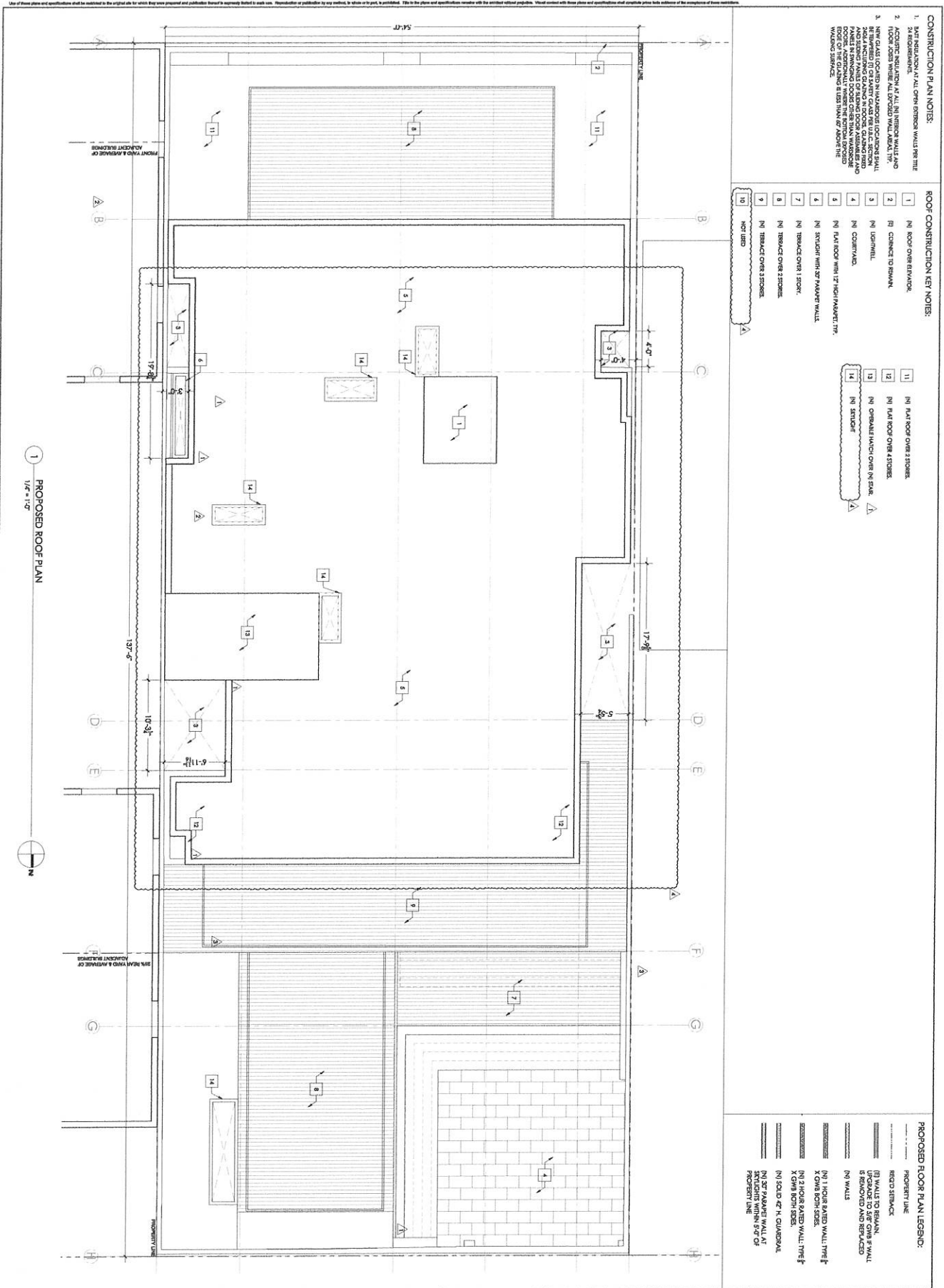
**DEMO ROOF PLAN KEY NOTES:**

- D1 (B) ROOF AND STRUCTURE TO BE REMOVED, TYP.
- D2 (B) VHS AND ROOF ELEMENTS TO BE REMOVED, TYP.
- D3 (B) CORNER TO REMAIN.



1 EXISTING/DEMO ROOF PLAN  
 1/4" = 1'-0"





**1** PROPOSED ROOF PLAN  
1/4" = 1'-0"

**CONSTRUCTION PLAN NOTES:**

1. FINISH AND GRADE ALL EXISTING WALLS PER THE 2018 INTERNATIONAL RESIDENTIAL CODE.
2. ACoustic insulation in ALL IN-TERRAZZO WALLS AND FLOOR JOISTS WHERE ALL EXISTING WALL, FLOOR, TR.
3. NEW GLASS LOCATED IN MAINTENANCE LOCATIONS SHALL BE 1/2" THICK GLASS WITH AN ALUMINUM WALL MOUNTING SYSTEM INCLUDING GLASSING IN FLOOR GLAZING PER 2018 INTERNATIONAL RESIDENTIAL CODE. APPROXIMATELY 1/2" FROM THE FLOOR AND 1/2" FROM THE WALLS.

**ROOF CONSTRUCTION KEY NOTES:**

1	IN ROOF OVER EXISTING	11	IN FLOOR OVER 2 STORES
2	FIN CONCRETE TO REMAIN	12	IN FLOOR OVER 4 STORES
3	IN USH/MULL	13	IN CORRELATE MATCH OVER IN SOAR
4	IN CORNICE	14	IN STRUCTURE
5	IN FLOOR OVER WITH 1/2" THICK PARALLEL TR.		
6	IN STRUCTURE WITH 2" PARALLEL WALL		
7	IN TERRAZZO OVER 1 STORE		
8	IN TERRAZZO OVER 2 STORES		
9	IN TERRAZZO OVER 3 STORES		
10	NOT USED		

**PROPOSED FLOOR PLAN LEGEND:**

- PROPERTY LINE
- EXISTING SERVICE
- FIN WALLS TO REMAIN
- UPGRADE TO 3/4" OVER 8" WALL
- 5" PROFILES AND INT GLASS
- IN WALLS
- IN 1/2" GLASS AND 1/2" WALL TYPE 1
- EXISTING
- IN 2" THICK RATED WALL TYPE 1
- EXISTING
- IN 3" PARALLEL WALL AT PROPERTY LINE

**PROPOSED FLOOR PLAN LEGEND:**

- PROPERTY LINE
- EXISTING SERVICE
- FIN WALLS TO REMAIN
- UPGRADE TO 3/4" OVER 8" WALL
- 5" PROFILES AND INT GLASS
- IN WALLS
- IN 1/2" GLASS AND 1/2" WALL TYPE 1
- EXISTING
- IN 2" THICK RATED WALL TYPE 1
- EXISTING
- IN 3" PARALLEL WALL AT PROPERTY LINE





DATE: 07.12.2018  
 PROJECT NO.: 2018.014  
 SHEET NO.: 10000  
 SCALE: 1/8" = 1'-0"

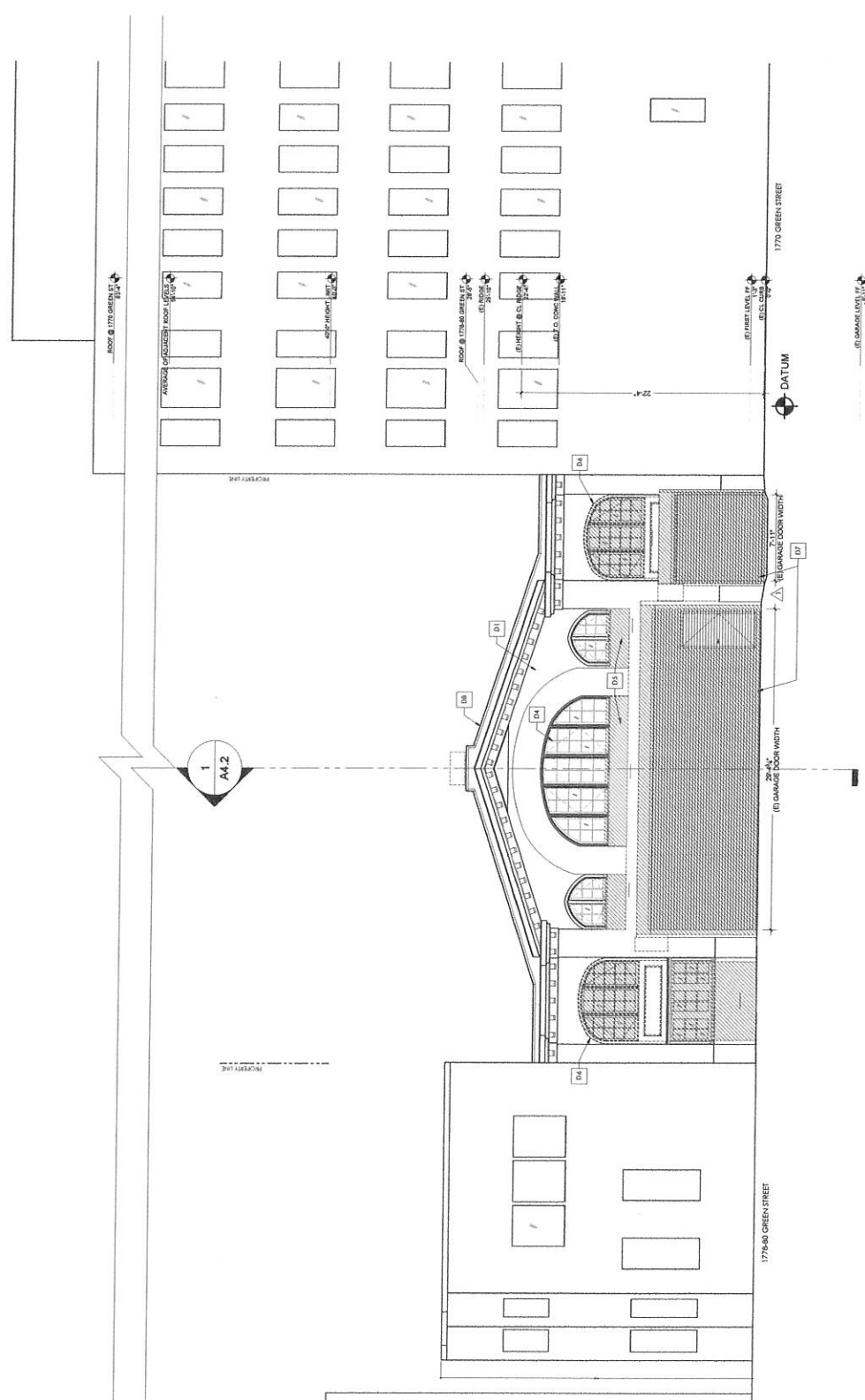
1776 GREEN STREET  
 GREEN STREET RESIDENCES

- DEMOLITION ELEVATION KEY NOTES:**
- ALL EXISTING SINKING, FACED, LAVIS, AND TRIM TO BE DEMOLISHED AND REWORKED TO FINISH.
  - CONCRETE TO REMAIN.
  - AND OTHER ELEMENTS SUITABLE FOR RECYCLING TO BE RECYCLED.
  - PAVED DRIVEWAY AREAS TO BE DEMOLISHED AND REWORKED TO FINISH.
  - AND OTHER ITEMS, SUCH AS SOTTIS, TO BE DEMOLISHED AND REWORKED TO FINISH.
  - REPRESENTED BY SHADING. IF ANY UNCERTAINTY, VERIFY WITH ARCHITECT BEFORE PROCEEDING.

- DEMOLITION ELEVATION KEY NOTES:**
- FID, STUCCO
  - CONCRETE TO REMAIN
  - NO WINDOWS TO BE REMOVED
  - NO WINDOWS TO REMAIN, TYP.
  - FID, WOOD PANEL TO BE REMOVED
  - WINDOW TO BE REMOVED & REPLACED TO MATCH WITH ADJACENT WINDOW. WINDOW TO BE REPLACED TO MATCH IS.
  - GARAGE DOOR TO BE REMOVED

- DEMOLITION ELEVATION KEY NOTES:**
- FID, WID, CONCRETE TO REMAIN
  - CONCRETE SINGLE ROOF TO BE REMOVED
  - NO WINDOWS TO BE REPLACED IN SAND, TYP.
  - NO WINDOWS TO BE REPLACED IN SAND, TYP.
  - NO WINDOWS TO BE REMOVED, TYP.

- DEMOLITION ELEVATION LEGEND:**
- PROPERTY LINE
  - BUILDING ENVELOPE
  - SEBACUS
  - OUTLINE OF ADJACENT BUILDING
  - (R) WALLS TO BE REMOVED
  - (B) ELEMENTS TO BE REMOVED



1776-80 GREEN STREET  
 1770 GREEN STREET  
 DATUM  
 (R) GARAGE DOOR WIDTH  
 (R) GARAGE DOOR WIDTH

GENERAL ELEVATION NOTES:

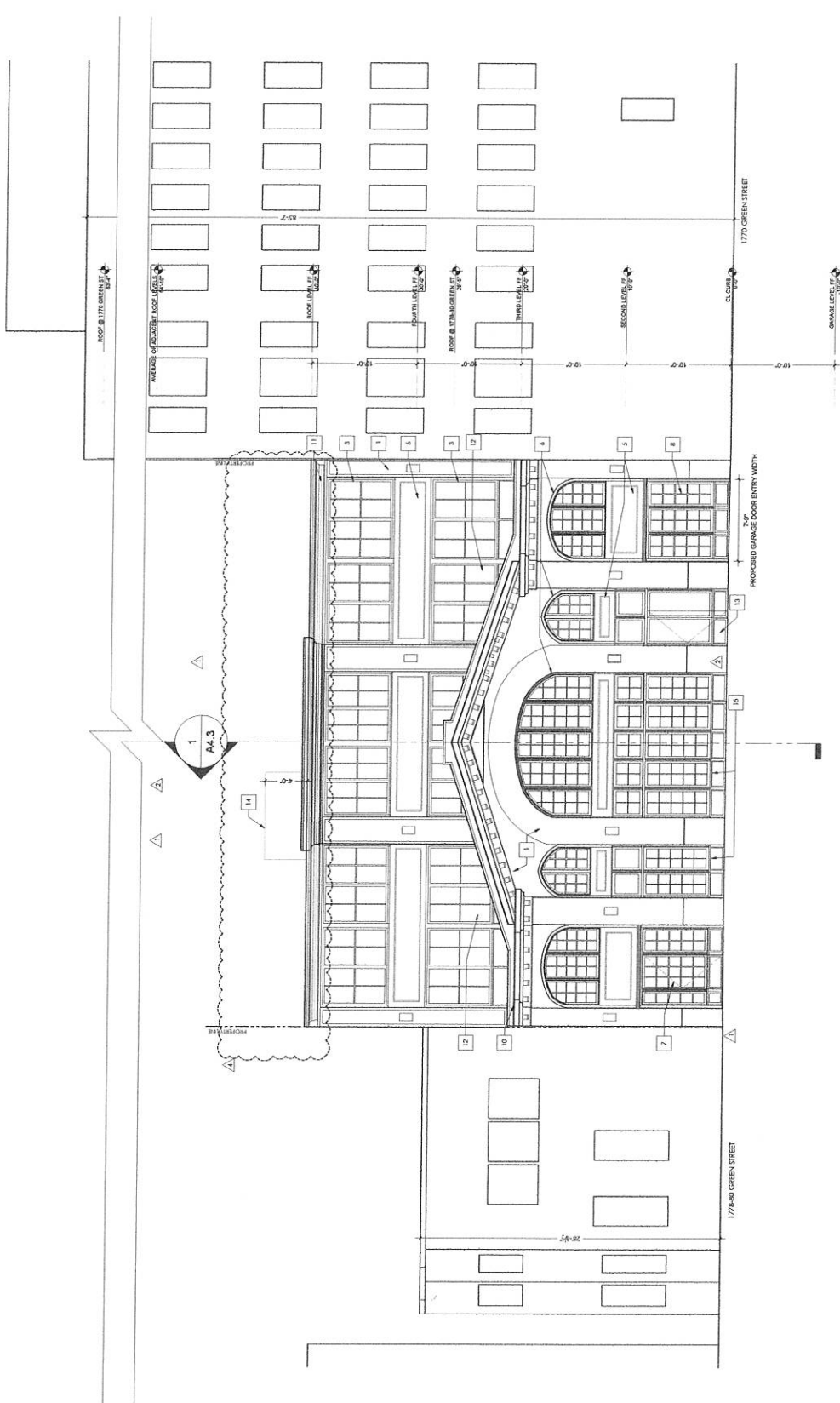
- 1 (N) INTEGRAL COLOR CEMENT PLASTER, TYP.
- 2 (F) CONCRETE TO REMAIN
- 3 (N) METAL WINDOWS, TYP.
- 4 (F) METAL WINDOWS TO BE REFLECTED IN KIND, TYP.
- 5 (N) FPD, WOOD PANEL, TYP.
- 6 (N) BRASS & MATCH WINDOWS IN KIND, DIMENSIONS, PROPORTIONS & MATERIALS TO MATCH (S). ADD ONE SET BELOW EXISTING WINDOW
- 7 (N) FPD, METAL & GLASS DOOR WITH SILLUETS

CONSTRUCTION ELEVATION KEY NOTES:

- 8 (N) FPD, METAL & GLASS GARAGE DOOR.
- 9 (N) FPD, WID. TRIM, TYP.
- 10 (F) FPD, WID. CORNICE, TYP.
- 11 (N) FPD, WID. CORNICE, TYP.
- 12 (N) GLASS RAIN AT RECESSED HANDRAIL TO MEET 2014 ADA COMPLIANCE. SEE 2014 ADA COMPLIANCE DETAIL TO MATCH ADJACENT WINDOW #
- 13 (N) FPD, METAL & GLASS DOOR WITH SILLUETS
- 14 (N) FPD, METAL & GLASS DOOR WITH SILLUETS

PROPOSED ELEVATION LEGEND:

- PROPERTY LINE
- BUILDING ENVELOPE
- SETBACKS
- OUTLINE OF ADJACENT BUILDING



GENERAL ELEVATION DEMO NOTES:

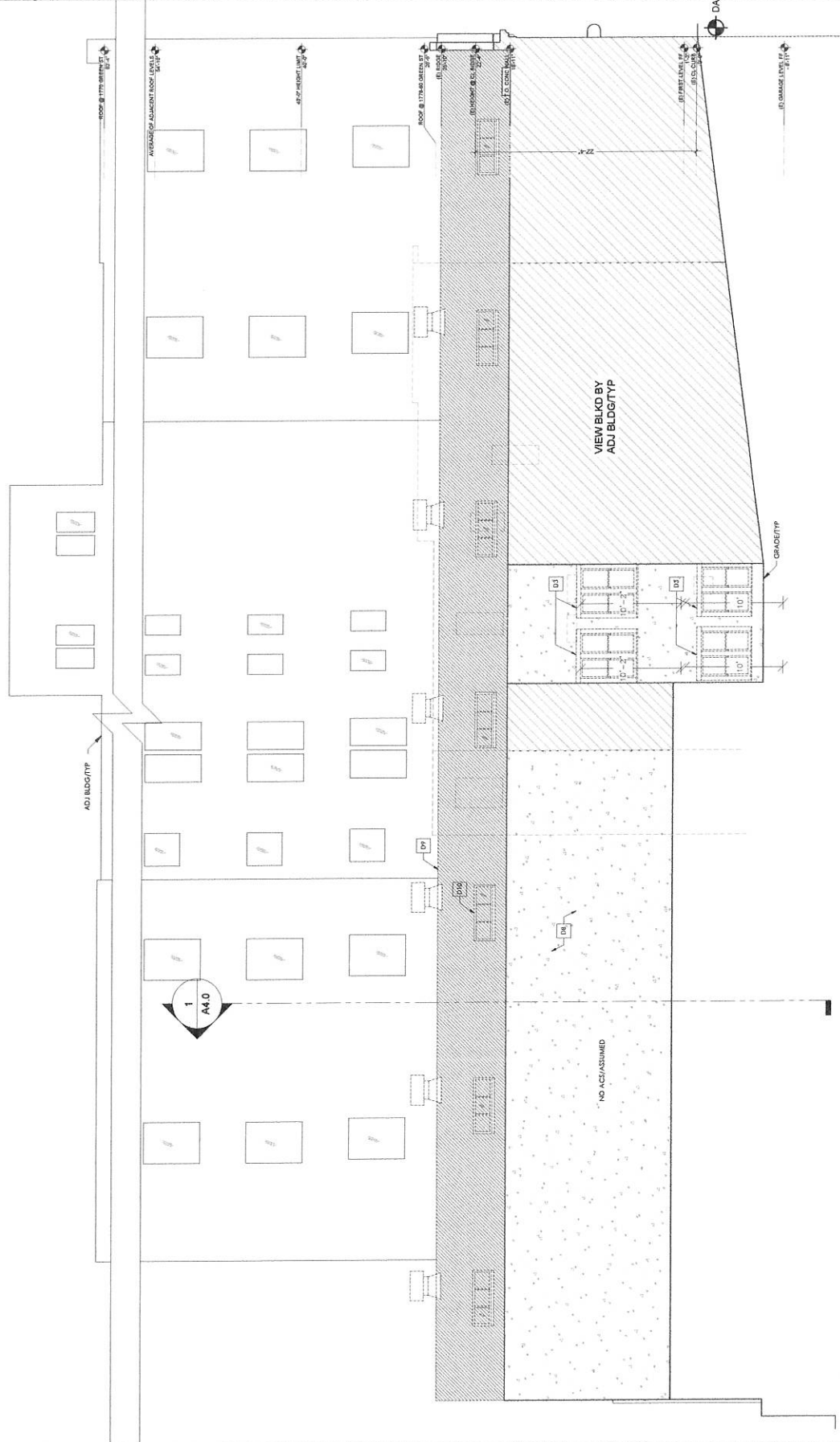
1. ALL EXISTING, FINISH, LAYS, AND TRIM TO REMAIN UNLESS OTHERWISE NOTED.
2. CONTRACTOR IS ENCOURAGED TO PERFORM AS MUCH DEMOLITION AS POSSIBLE.
3. REMOVED MATERIALS SUCH AS BRICKS, APPLIANCES, CEMENT, ETC. SHOULD BE SEPARATED BY TYPE AND STORED ON-SITE FOR REUSE OR RECYCLING TO BE DETERMINED BY THE ARCHITECT.
4. DEMO ITEMS ARE TO BE REMOVED TO THE EXISTING FINISH LAYERS AND INTERIORS ARE ALSO TO BE DEMOLISHED. CONTRACTOR TO VERIFY ALL DEMO ITEMS REGARDING TRIM TO BE REMOVED. VERIFY WITH ARCHITECT BEFORE PROCEEDING.

DEMOLITION ELEVATION KEY NOTES:

- D1 (R) FPD. BRICK
- D2 (R) CONCRETE TO REMAIN
- D3 (R) W/O WINDOWS TO BE REMOVED
- D4 (R) W/O WINDOWS TO REMAIN
- D5 (R) FPD. WOOD PANEL TO BE REMOVED
- D6 (R) WINDOW TO BE REMOVED & REPLACED TO ASHTRAY IN KIND BY DIMENSIONS, PROPORTIONS & MATERIALS TO MATCH (R).
- D7 (R) GARAGE DOOR TO BE REMOVED
- D8 (R) FPD. W/O CORNICE TO REMAIN
- D9 (R) CORR. BRICKS TO BE REMOVED
- D10 (R) BRICKS TO BE REMOVED, TYP.
- D11 (R) W/O WINDOWS TO BE REPLACED IN KIND, TYP.
- D12 (R) W/O WINDOWS TO BE REMOVED, TYP.

DEMO / EXISTING ELEVATION LEGEND:

- PROPERTY LINE
- BUILDABLE ENVELOPE
- SETBACK
- OUTLINE OF ADJACENT BUILDING
- (R) WALLS TO BE REMOVED
- (R) ELEMENTS TO BE REMOVED



GENERAL ELEVATION NOTES:

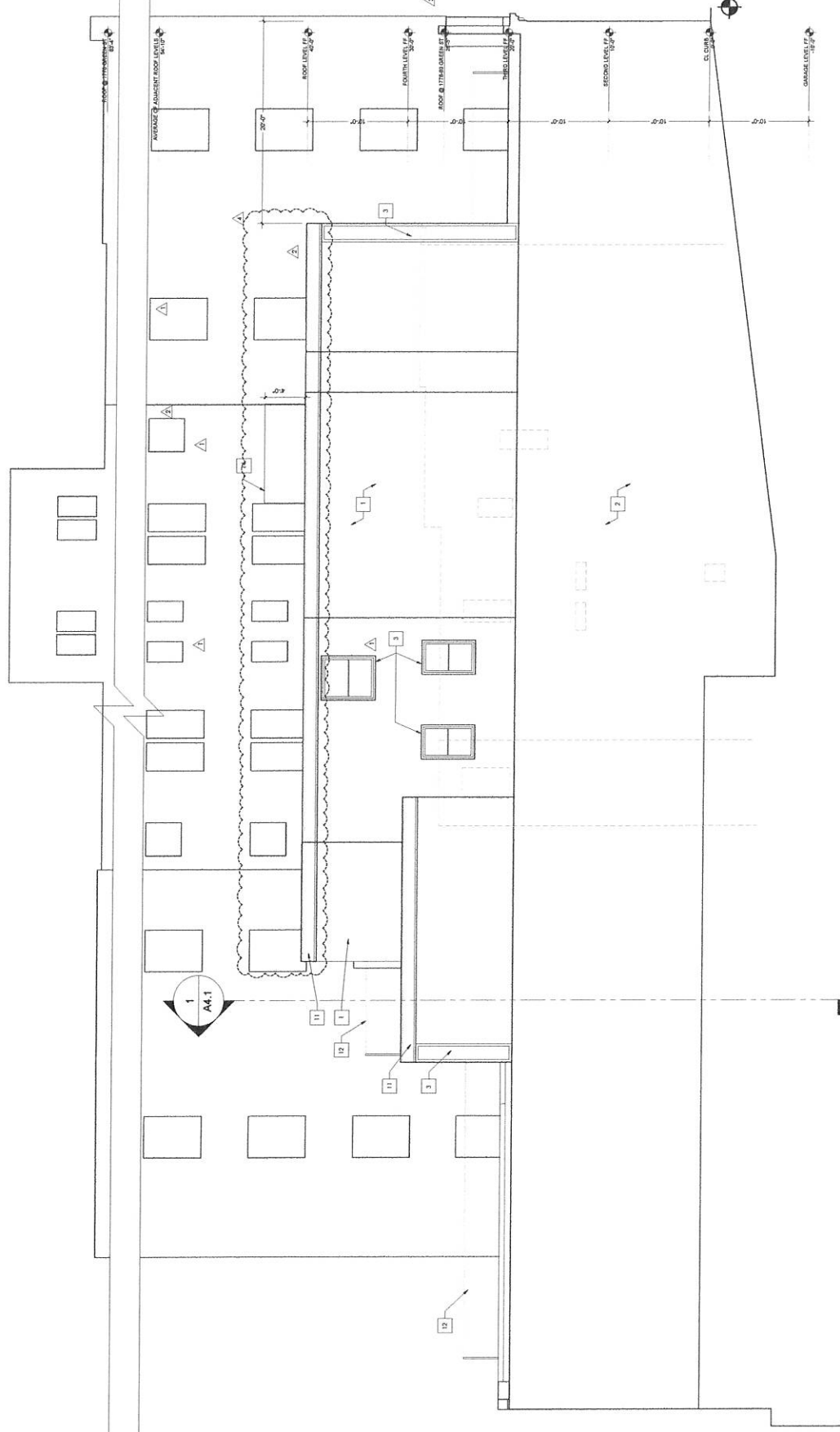
- 1 IN MEGAL COLOR CEMENT FLASER.
- 2 IB CONCRETE TO REMAIN.
- 3 IN METAL WINDOW TK.
- 4 IB WBL WINDOWS TO BE REFRACED IN HAND TK.
- 5 IN FID. WOOD PANEL TK.
- 6 IB WBL WINDOWS TO BE REFRACED IN HAND TK. PROVISIONS & MATERIALS TO MATCH EX. ADD ONE IRE BELOW EXISTING WINDOW.
- 7 IN FID. METAL & GLASS DOOR WITH SERIES. /
- 8 IN FID. METAL & GLASS CHANGE DOOR.
- 9 IN FID. WBL TRNK TK.
- 10 IB FID. WBL CORNICE TK.
- 11 IN FID. WBL CORNICE TK.
- 12 IN GLASS MIRROR AT DECK HANDRAIL TO MEET 2014 CBC 2015 CHANGES TO BE 47 A.J.J.
- 13 IN FID. METAL DOOR /
- 14 IN FT. SUBCO ULTAVASE ENCLOSURE.

CONSTRUCTION ELEVATION KEY NOTES:

- 1 IN FID. METAL & GLASS CHANGE DOOR.
- 2 IN FID. WBL TRNK TK.
- 3 IN FID. WBL CORNICE TK.
- 4 IN FID. WBL CORNICE TK.
- 5 IN GLASS MIRROR AT DECK HANDRAIL TO MEET 2014 CBC 2015 CHANGES TO BE 47 A.J.J.
- 6 IN FID. METAL DOOR /
- 7 IN FT. SUBCO ULTAVASE ENCLOSURE.

PROPOSED ELEVATION LEGEND:

- PROPERTY LINE
- BUILDABLE ENVELOPE
- SEBACKS
- OUTLINE OF ADJACENT BUILDING





DATE: 03/22/2018	BY: SUTRO ARCHITECTS
DATE: 03/22/2018	BY: SUTRO ARCHITECTS
DATE: 03/22/2018	BY: SUTRO ARCHITECTS
DATE: 03/22/2018	BY: SUTRO ARCHITECTS
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DATE: 03/22/2018	BY: SUTRO ARCHITECTS
DATE: 03/22/2018	BY: SUTRO ARCHITECTS
DATE: 03/22/2018	BY: SUTRO ARCHITECTS

A3.5  
 1/8" = 1'-0"

**DEMO / EXISTING ELEVATION LEGEND:**

- PROPERTY LINE
- BUILDING ENVELOPE
- SEBELCAS
- OUTLINE OF ADJACENT BUILDING
- (R) WALLS TO BE REMOVED
- (B) ELEMENTS TO BE REMOVED

**DEMOLITION ELEVATION KEY NOTES:**

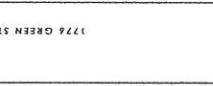
- D1 (R) FLD. SUCCO
- D2 (R) CONCRETE TO REMAIN
- D3 (R) W/O WINDOWS TO BE REMOVED
- D4 (R) W/O WINDOWS TO REMAIN
- D5 (R) FLD. WOOD PANEL TO BE REMOVED
- D6 (R) WINDOW TO BE REMOVED & REPLACED IN KIND, TYP.
- D7 (R) W/O ADJACENT WINDOW TO BE REPLACED TO MATCH (R)
- D8 (R) GARAGE DOOR TO BE REMOVED
- D9 (R) FLD. W/O CONCRETE TO REMAIN
- D10 (R) CONCRETE SINGLE ROOF TO BE REMOVED
- D11 (R) STRUCTURE TO BE REMOVED, TYP.
- D12 (R) W/O WINDOWS TO BE REPLACED IN KIND, TYP.
- D13 (R) BASIS ON WINDOWS TO BE REMOVED, TYP.

**GENERAL ELEVATION DEMO NOTES:**

- ALL EXISTING CONC. FACIAL CMVS. AND TRIM TO BE DEMOLISHED & REIMAGED TO FORM.
- CONCRETE TO REMAIN AS MUCH AS POSSIBLE.
- ALL OTHER ELEMENTS DEEMED UNREPAIRABLE TO BE DEMOLISHED.
- DAKED BRICK AT LUGS TO BE DEMOLISHED TO BE REIMAGED.
- NOTE: OTHER ITEMS SUCH AS SORTERS REPRESENTED BY DASHED LINE. IF ANY DISCREPANCY ARCHITECT BEFORE PROCEEDING.



1776 GREEN STREET  
 1778-80 GREEN STREET  
 VIEW BLK'D BY ADJ. BLDGS./TYP.  
 DATUM  
 1776 GREEN STREET



DATE: 01/15/2018	PROJECT: GREEN STREET RESIDENCES
DATE: 01/15/2018	PROJECT: GREEN STREET RESIDENCES
DATE: 01/15/2018	PROJECT: GREEN STREET RESIDENCES
DATE: 01/15/2018	PROJECT: GREEN STREET RESIDENCES
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DATE: 01/15/2018	PROJECT: GREEN STREET RESIDENCES

1776 GREEN STREET

1776 GREEN STREET

1776 GREEN STREET

1776 GREEN STREET

1776 GREEN STREET

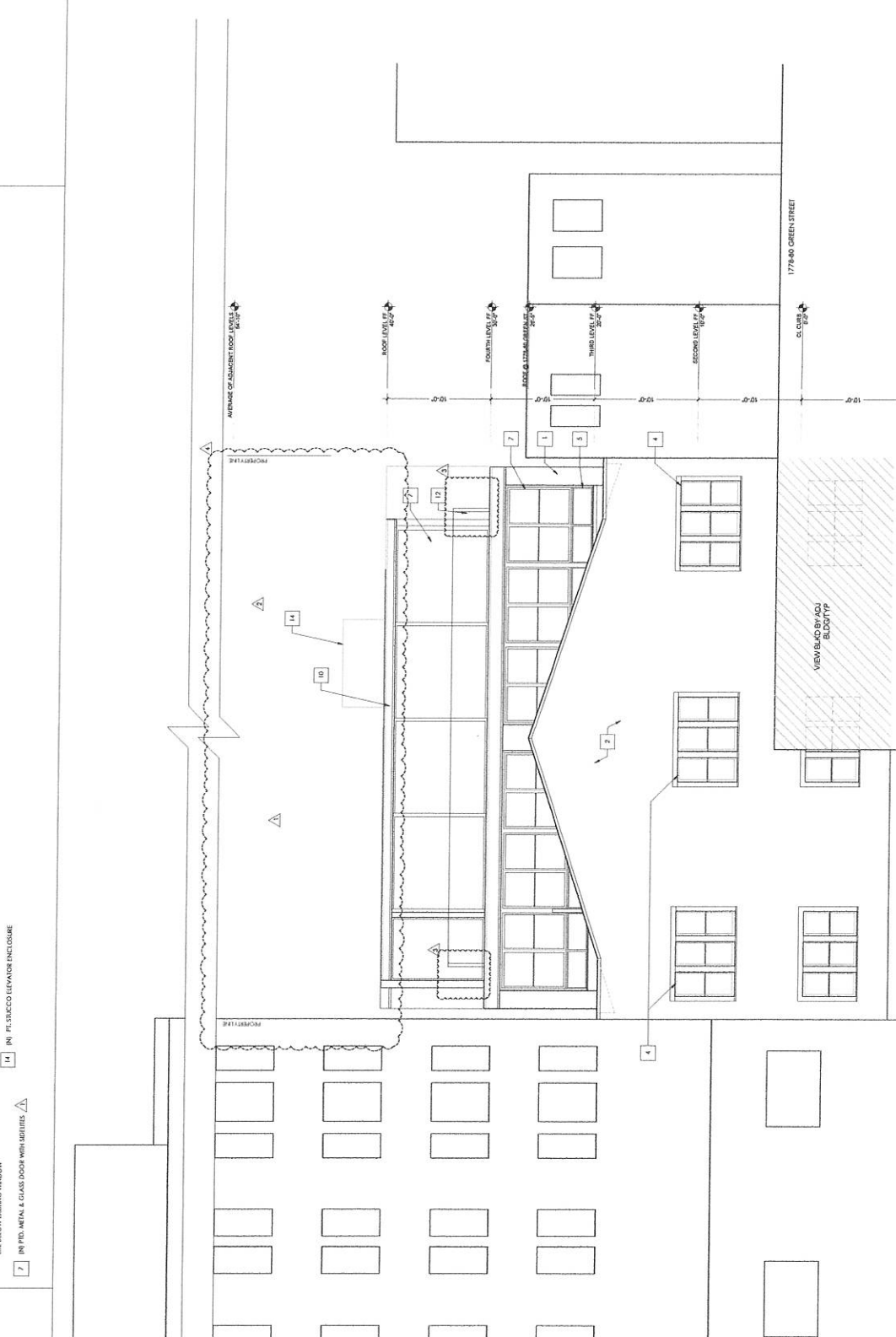
1776 GREEN STREET

1776 GREEN STREET

1776 GREEN STREET

1776 GREEN STREET

PROPOSED ELEVATION LEGEND:  
 PROPERTY LINE  
 BUILDABLE ENVELOPE  
 SETBACKS  
 OUTLINE OF ADJACENT BUILDING



1776 GREEN STREET

1776 GREEN STREET

1776 GREEN STREET

1776 GREEN STREET

1776 GREEN STREET

1776 GREEN STREET

1776 GREEN STREET

1776 GREEN STREET

1776 GREEN STREET

GENERAL ELEVATION NOTES:

- 1 IN BRICK/CLAY TILE
- 2 CONCRETE TO REMAIN
- 3 METAL WINDOWS, TYP.
- 4 W/ WOOD CORNICE, TYP.
- 5 W/ WOOD PANEL, TYP.
- 6 REMOVE GLASS WINDOWS, TYP. REINSTALL, PROPORTIONS & MATERIALS TO MATCH EX. ADD ONE (1) BELOW EXISTING WINDOW
- 7 IN FIBERGLASS GLASS DOOR WITH GLASS

- 8 IN FIBERGLASS GLASS GARAGE DOOR
- 9 IN FIBERGLASS TYP.
- 10 IN FIBERGLASS TYP.
- 11 IN FIBERGLASS TYP.
- 12 IN GLASS RAIN AT DECK, HORIZONTAL TO MEET 2014 CBC 2012 GUARDRAILS TO BE 47" H.
- 13 IN FIBERGLASS TYP.
- 14 IN FIBERGLASS TYP.

- 15 IN FIBERGLASS TYP.
- 16 IN FIBERGLASS TYP.
- 17 IN FIBERGLASS TYP.
- 18 IN FIBERGLASS TYP.
- 19 IN FIBERGLASS TYP.
- 20 IN FIBERGLASS TYP.
- 21 IN FIBERGLASS TYP.
- 22 IN FIBERGLASS TYP.
- 23 IN FIBERGLASS TYP.
- 24 IN FIBERGLASS TYP.

- 25 IN FIBERGLASS TYP.
- 26 IN FIBERGLASS TYP.
- 27 IN FIBERGLASS TYP.
- 28 IN FIBERGLASS TYP.
- 29 IN FIBERGLASS TYP.
- 30 IN FIBERGLASS TYP.
- 31 IN FIBERGLASS TYP.
- 32 IN FIBERGLASS TYP.
- 33 IN FIBERGLASS TYP.
- 34 IN FIBERGLASS TYP.

- 35 IN FIBERGLASS TYP.
- 36 IN FIBERGLASS TYP.
- 37 IN FIBERGLASS TYP.
- 38 IN FIBERGLASS TYP.
- 39 IN FIBERGLASS TYP.
- 40 IN FIBERGLASS TYP.
- 41 IN FIBERGLASS TYP.
- 42 IN FIBERGLASS TYP.
- 43 IN FIBERGLASS TYP.
- 44 IN FIBERGLASS TYP.

- 45 IN FIBERGLASS TYP.
- 46 IN FIBERGLASS TYP.
- 47 IN FIBERGLASS TYP.
- 48 IN FIBERGLASS TYP.
- 49 IN FIBERGLASS TYP.
- 50 IN FIBERGLASS TYP.
- 51 IN FIBERGLASS TYP.
- 52 IN FIBERGLASS TYP.
- 53 IN FIBERGLASS TYP.
- 54 IN FIBERGLASS TYP.

1776 GREEN STREET

1776 GREEN STREET

1776 GREEN STREET



**DEMO / EXISTING ELEVATION LEGEND:**

PROPERTY LINE  
 BUILDABLE ENVELOPE  
 SETBACKS  
 OUTLINE OF ADJACENT BUILDING  
 (B) WALLS TO BE REMOVED  
 (B) ELEMENTS TO BE REMOVED

**DEMOLITION ELEVATION KEY NOTES:**

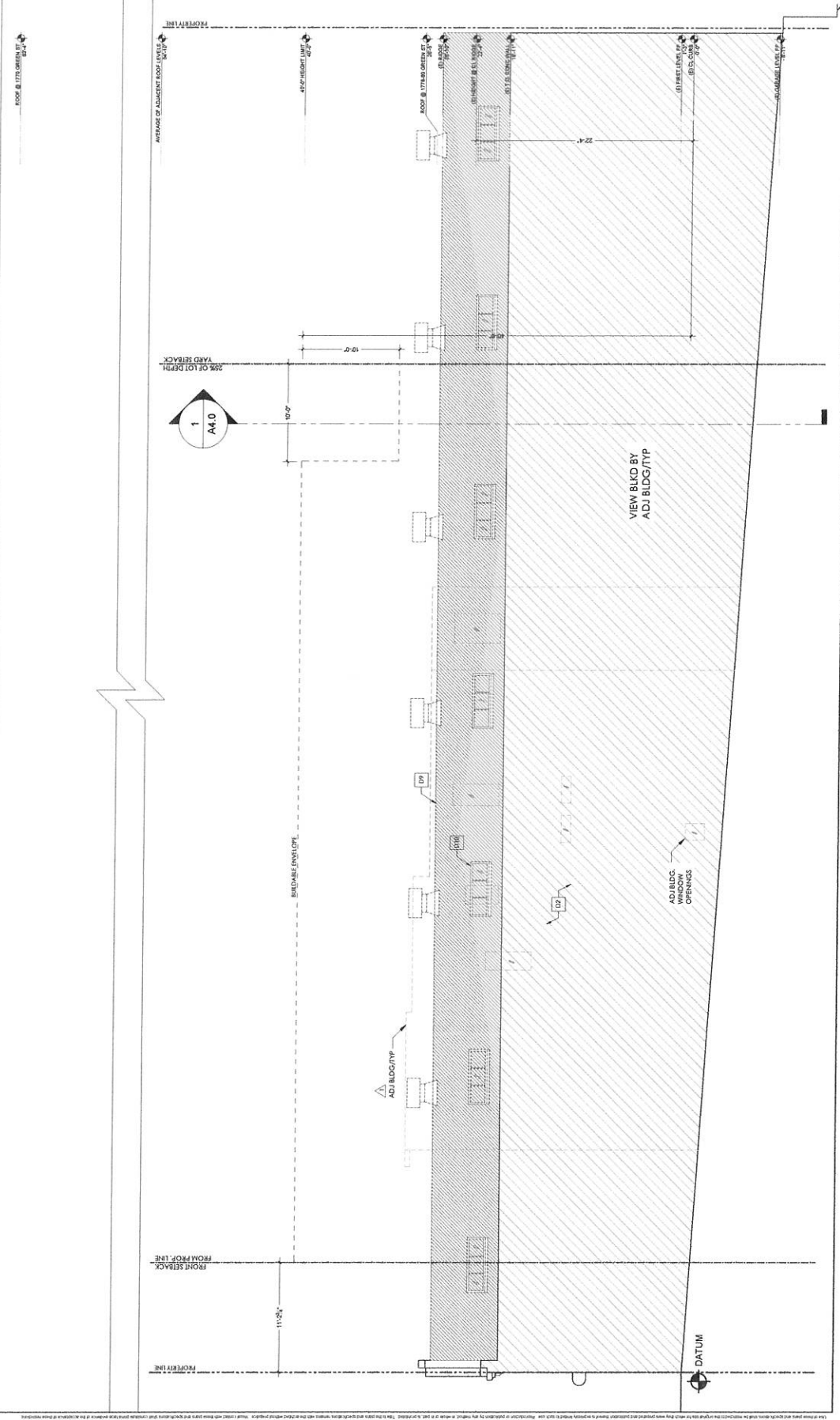
(D1) (F) FTD, SUCCO  
 (D2) (F) CONCRETE TO REMAIN  
 (D3) (F) W/ WINDOWS TO BE REMOVED  
 (D4) (F) W/ WINDOWS TO REMAIN  
 (D5) (F) FTD, WOOD PANEL TO BE REMOVED  
 (D6) (F) WINDOWS TO BE REMOVED, WITH ADJACENT WINDOW, WINDOW TO BE RE-SET TO MATCH DIMENSIONS, PROPORTIONS & MATERIALS  
 (D7) (F) GARAGE DOOR TO BE REMOVED

**DEMOLITION ELEVATION KEY NOTES:**

(D8) (F) FTD, W/ CORNER TO REMAIN  
 (D9) (F) COMP. BRICK ROOF TO BE REMOVED  
 (D10) (F) SKETCHES TO BE REMOVED, TYP.  
 (D11) (F) W/ WINDOWS TO BE REFLECTED IN RND, TYP.  
 (D12) (F) BASE ON WINDOWS TO BE REMOVED, TYP.

**GENERAL ELEVATION DEMO NOTES:**

1. ALL BEING DEMO, FACED LAYS, AND FINISH TO REMAIN IN PLACE.  
 2. ECO-HARBOR AND WAYS AS MUCH AS POSSIBLE.  
 3. ALL OTHER ELEMENTS SHOWN FOR REFERENCE TO BE DEMO.  
 4. DEMO OF BEING FOR SUCH PURPOSE.  
 5. DEMO OF BEING FOR SUCH PURPOSE.  
 6. DEMO OF BEING FOR SUCH PURPOSE.  
 7. DEMO OF BEING FOR SUCH PURPOSE.  
 8. DEMO OF BEING FOR SUCH PURPOSE.  
 9. DEMO OF BEING FOR SUCH PURPOSE.  
 10. DEMO OF BEING FOR SUCH PURPOSE.





GENERAL ELEVATION NOTES:

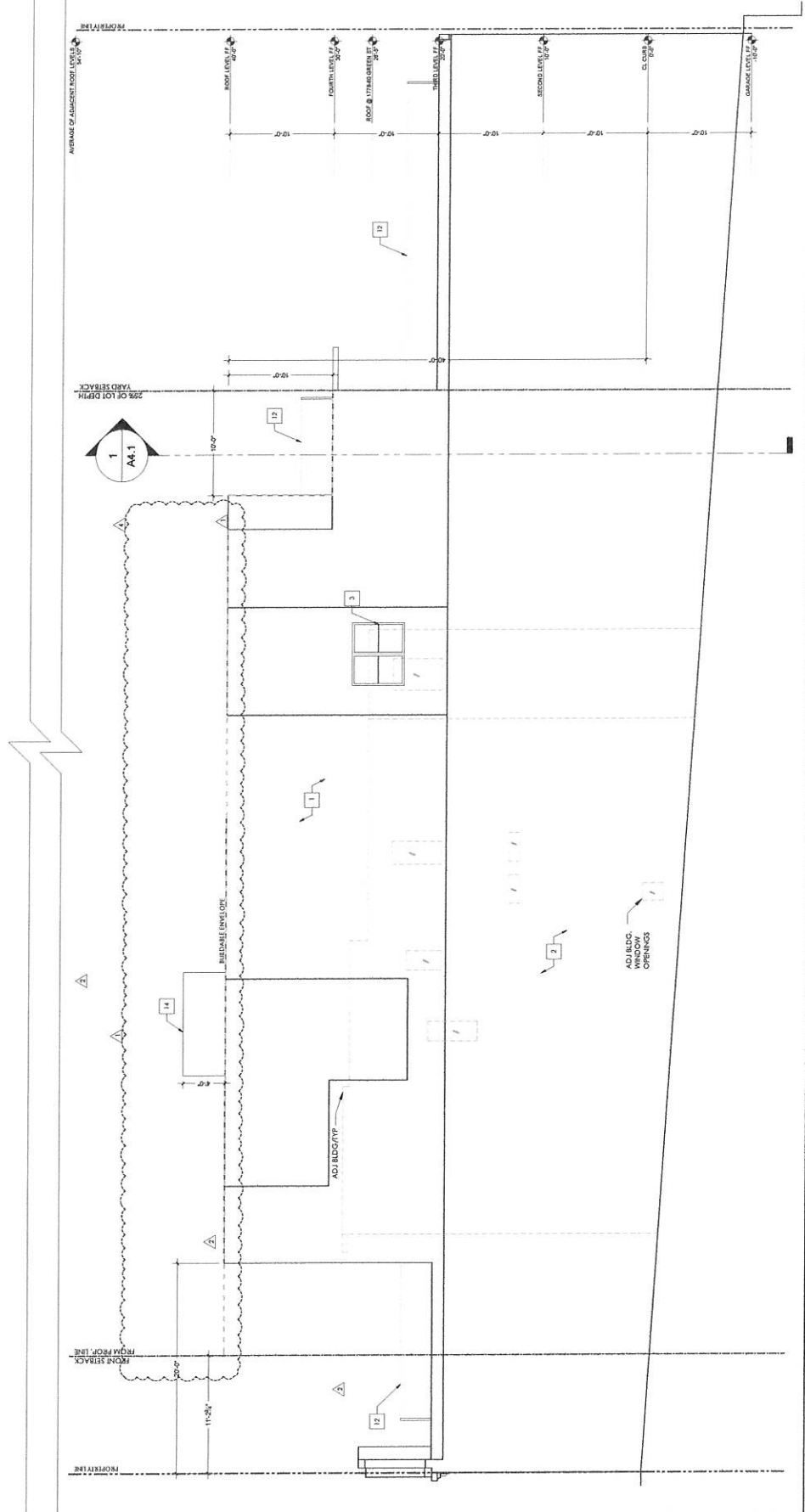
- 1 (N) MIEGAL COLOR CEMENT PLASTER.  
 2 (N) CONCRETE TO REMAIN.  
 3 (N) METAL WINDOWS, TYP.  
 4 (N) WID. WINDOWS TO BE REPLACED IN KIND, TYP.  
 5 (N) FID. WOOD PANEL, TYP.  
 6 REMOVE & MATCH WINDOW IN KIND, DIMENSIONS & FINISH TO EXISTING WINDOW. MATCH TO THE BELOW EXISTING WINDOW.  
 7 (N) FID. METAL & GLASS DOOR WITH SECURE, Δ

- 8 (N) FID. METAL & GLASS GARAGE DOOR.  
 9 (N) FID. WID. TRIM, TYP.  
 10 (N) FID. WID. CORNICE, TYP.  
 11 (N) FID. WID. CORNICE, TYP.  
 12 (N) GLASS RAILING AT DECK HANDRAIL TO MEET 2014 CBC-2012 CHAIRRAILS TO BE "AJJ".  
 13 (N) FID. METAL DOOR Δ  
 14 (N) F. STUCCO EXTERIOR ENCLOSURE

PROPOSED ELEVATION LEGEND:

- PROPERTY LINE  
 BUILDABLE ENVELOPE  
 SETBACKS  
 OUTLINE OF ADJACENT BUILDING

ROOF @ 2775 SEVERELY SLOPED

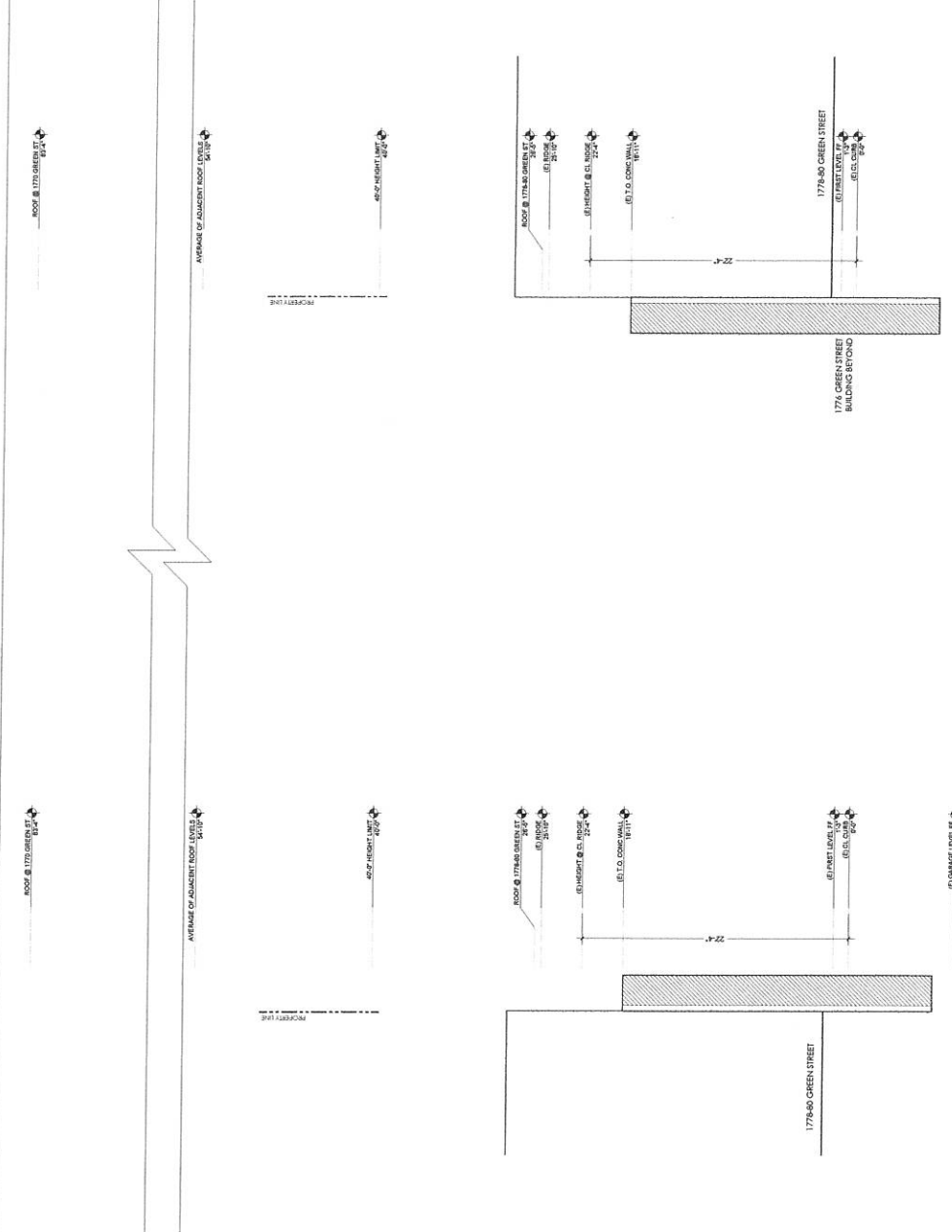


- GENERAL ELEVATION DEMO NOTES:**
- ALL EXISTING BRICK FACIAL LINES AND TRIM TO REMAIN UNLESS INDICATED OTHERWISE.
  - ECO-REMOVAL AND AS MUCH AS POSSIBLE, TO BE DEMOLISHED AND RECYCLED.
  - ALL EXISTING MATERIALS TO BE DEMOLISHED AND RECYCLED UNLESS OTHERWISE INDICATED.
  - ALL EXISTING MATERIALS TO BE DEMOLISHED AND RECYCLED UNLESS OTHERWISE INDICATED.

- DEMOLITION ELEVATION KEY NOTES:**
- D1 (B) FTD. BRICK
  - D2 (B) CONCRETE TO REMAIN
  - D3 (B) NO WINDOWS TO BE REMOVED
  - D4 (B) NO WINDOWS TO REMAIN
  - D5 (B) FTD. WOOD PANEL TO BE REMOVED
  - D6 (B) UNDESIRABLE BRICKS TO BE REMOVED WITH ADJACENT WINDOW. WINDOW TO BE REPAIRED TO MATCH (B) DIMENSIONS, PROPORTIONS & MATERIALS
  - D7 (B) GARAGE DOOR TO BE REMOVED

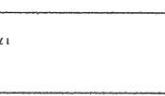
- (B) FTD. NO. CONCRETE TO REMAIN
- (D) COMP. BRICK ROOF TO BE REMOVED
- (D10) (B) SKETCHES TO BE REMOVED. TYP.

- DEMO / EXISTING ELEVATION LEGEND:**
- PROPERTY LINE
  - BUILDABLE ENVELOPE
  - SETBACKS
  - OUTLINE OF ADJACENT BUILDING
  - (B) WALLS TO BE REMOVED
  - (B) ELEMENTS TO BE REMOVED



1 EXISTING/DEMO LIGHTWELL ELEVATION - SOUTH  
1/4" = 1'-0"

2 EXISTING/DEMO LIGHTWELL ELEVATION - NORTH  
1/4" = 1'-0"



DATE: 01/11/2018  
DRAWN BY: J. SUTRO  
CHECKED BY: J. SUTRO  
SCALE: 1/4" = 1'-0"

DATE: 01/11/2018  
DRAWN BY: J. SUTRO  
CHECKED BY: J. SUTRO  
SCALE: 1/4" = 1'-0"

DATE: 01/11/2018  
DRAWN BY: J. SUTRO  
CHECKED BY: J. SUTRO  
SCALE: 1/4" = 1'-0"

DATE: 01/11/2018  
DRAWN BY: J. SUTRO  
CHECKED BY: J. SUTRO  
SCALE: 1/4" = 1'-0"

DATE: 01/11/2018  
DRAWN BY: J. SUTRO  
CHECKED BY: J. SUTRO  
SCALE: 1/4" = 1'-0"

DATE: 01/11/2018  
DRAWN BY: J. SUTRO  
CHECKED BY: J. SUTRO  
SCALE: 1/4" = 1'-0"

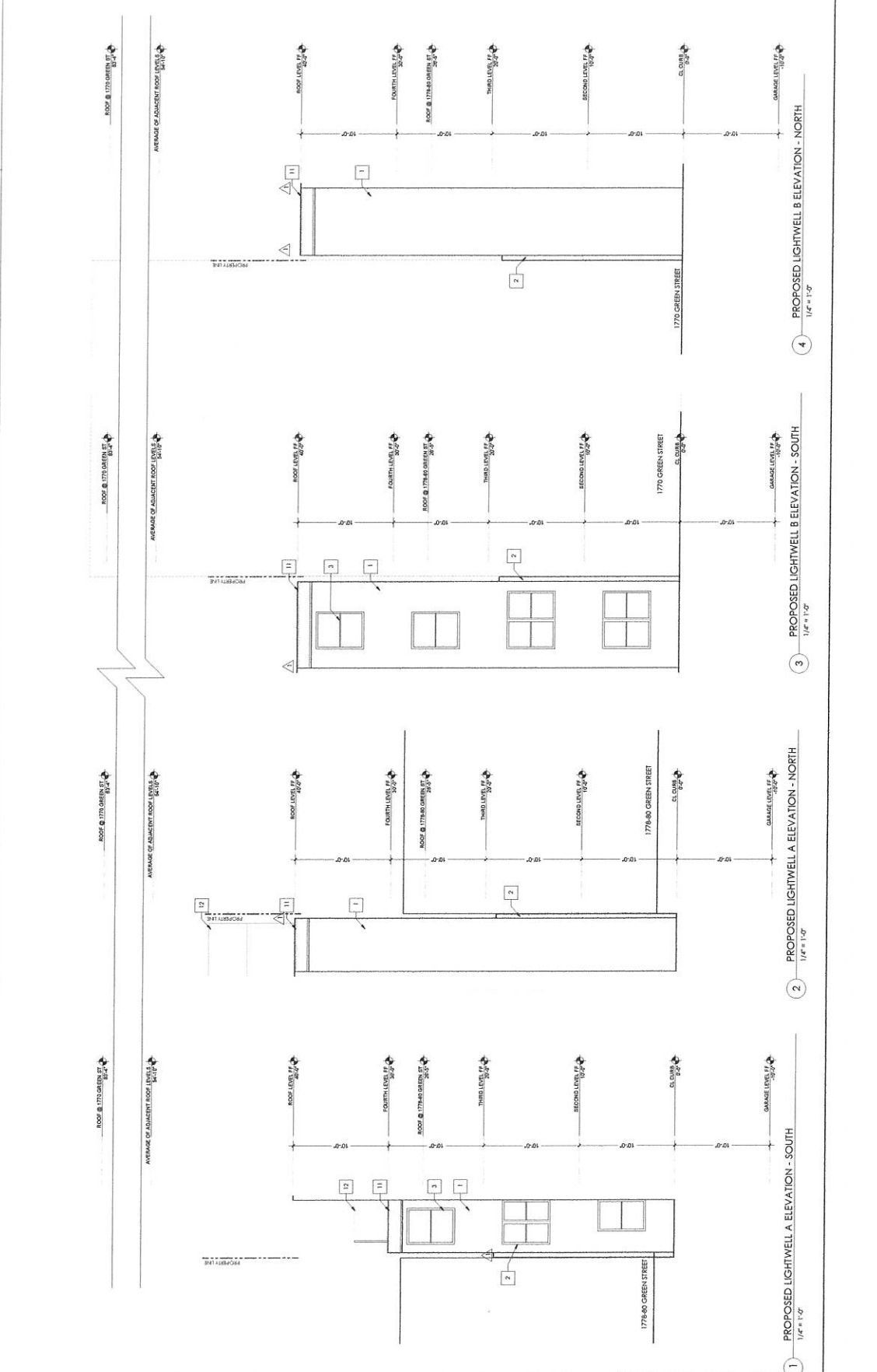


DATE: 07/23/18  
 DRAWN BY: [Name]  
 CHECKED BY: [Name]  
 PROJECT NO.: 2018014  
 SHEET NO.: 103A.001  
 SCALE: 1/4" = 1'-0"

- PROPOSED ELEVATION LEGEND:**
- PROPERTY LINE
  - BUILDING ENVELOPE
  - SETBACKS
  - OUTLINE OF ADJACENT BUILDING

- CONSTRUCTION ELEVATION KEY NOTES:**
- 1 FIN BRICK/CLAY TILE
  - 2 FIN CONCRETE TO BE PAINTED
  - 3 FIN METAL WINDOW TYP.
  - 4 FIN WOOD WINDOW TYP.
  - 5 FIN WOOD PANEL TYP.
  - 6 FIN METAL WINDOW TYP.
  - 7 FIN METAL & GLASS DOOR WITH GLASS

- GENERAL ELEVATION NOTES:**
- 8 FIN METAL & GLASS GARAGE DOOR.
  - 9 FIN FIN. WOOD TYP.
  - 10 FIN FIN. WOOD TYP.
  - 11 FIN FIN. WOOD CORNER TYP.
  - 12 FIN FIN. WOOD CORNER TYP.
  - 13 FIN FIN. WOOD CORNER TYP.
  - 14 FIN FIN. WOOD CORNER TYP.
  - 15 FIN FIN. WOOD CORNER TYP.
  - 16 FIN FIN. WOOD CORNER TYP.
  - 17 FIN FIN. WOOD CORNER TYP.
  - 18 FIN FIN. WOOD CORNER TYP.
  - 19 FIN FIN. WOOD CORNER TYP.
  - 20 FIN FIN. WOOD CORNER TYP.
  - 21 FIN FIN. WOOD CORNER TYP.
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  - 99 FIN FIN. WOOD CORNER TYP.
  - 100 FIN FIN. WOOD CORNER TYP.



1 PROPOSED LIGHTWELL A ELEVATION - SOUTH 1/4" = 1'-0"

2 PROPOSED LIGHTWELL A ELEVATION - NORTH 1/4" = 1'-0"

3 PROPOSED LIGHTWELL B ELEVATION - SOUTH 1/4" = 1'-0"

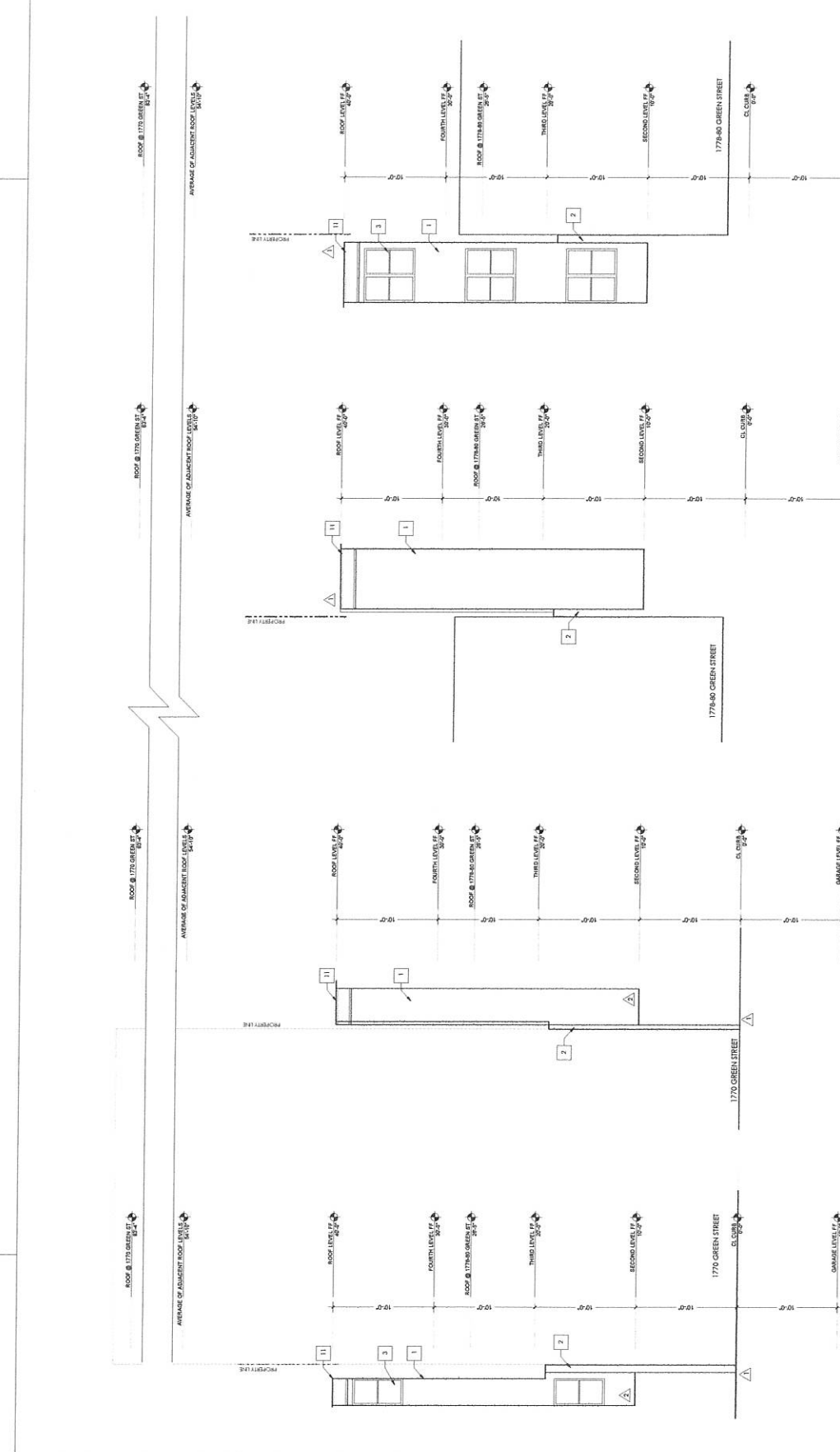
4 PROPOSED LIGHTWELL B ELEVATION - NORTH 1/4" = 1'-0"

**GENERAL ELEVATION NOTES:**

- 1 FIN INTEGRAL COLOR CEMENT FINISH.
- 2 FIN CONCRETE TO REMAIN
- 3 FIN METAL WINDOWS, TYP.
- 4 FIN WOOD PANEL TYP.
- 5 FIN WOOD WINDOW FRAME, FINISHWORK, PROPORTIONS & MATERIALS TO MATCH (E). ADD ONE (1) BELOW TISSING WINDOW
- 6 FIN METAL & GLASS DOOR WITH SILLIES.  $\triangle$
- 7 FIN METAL & GLASS DOOR WITH SILLIES.  $\triangle$
- 8 FIN FIN. METAL & GLASS GARAGE DOOR.
- 9 FIN FIN. WOOD TRIM, TYP.
- 10 FIN FIN. WOOD CORNICE, TYP.
- 11 FIN FIN. WOOD CORNICE, TYP.
- 12 FIN GLASS BARS AT DECK HANDRAILS TO MEET 2018 CBC 2012. GUARDRAILS TO BE 42" A.J.J.
- 13 FIN FIN. METAL DOOR  $\triangle$
- 14 FIN FIN. SUCCO LEAKAWAY ENCLOSURE

**PROPOSED ELEVATION LEGEND:**

- PROPERTY LINE
- BUILDABLE ENVELOPE
- SETBACKS
- OUTLINE OF ADJACENT BUILDING



1 PROPOSED LIGHTWELL C ELEVATION - SOUTH 1/4" = 1'-0"

2 PROPOSED LIGHTWELL C ELEVATION - NORTH 1/4" = 1'-0"

3 PROPOSED LIGHTWELL D ELEVATION - SOUTH 1/4" = 1'-0"

4 PROPOSED LIGHTWELL B ELEVATION - NORTH 1/4" = 1'-0"



**DEMOLITION SECTION GENERAL NOTES:**

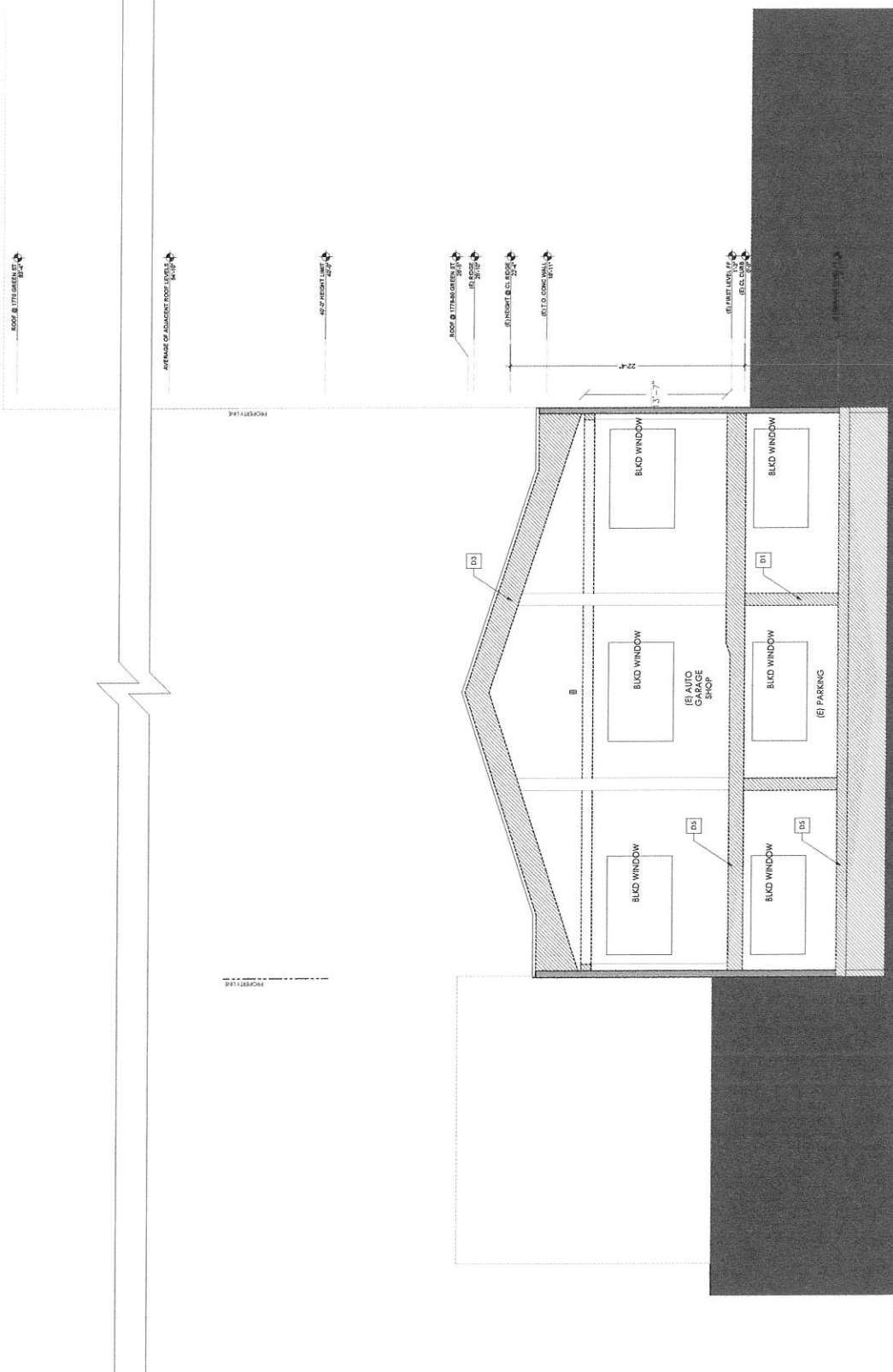
1. CONSULT WITH THE ARCHITECT FOR THE REMOVAL OF THE FOLLOWING ITEMS AND/OR ELEMENTS AS MUCH AS POSSIBLE, AND OTHER ELEMENTS SUITABLE FOR RE-CYCLING TO BE REUSED OR RECYCLED FOR REUSE.
2. REMOVED MATERIALS SUCH AS FIBERGLASS APPLIANCES, ROOFING, INSULATION, AND OTHER ITEMS SHOULD BE REMOVED AND REUSED OR RECYCLED FOR REUSE.
3. REMOVED MATERIALS SUCH AS FIBERGLASS APPLIANCES, ROOFING, INSULATION, AND OTHER ITEMS SHOULD BE REMOVED AND REUSED OR RECYCLED FOR REUSE.

**DEMOLITION SECTION KEY NOTES:**

- (D1) (I) WALLS AND COLUMNS TO BE REMOVED WHERE INDICATED AS DASHED LINES, TYP.
- (D2) (I) ROOF TO BE REMOVED WHERE INDICATED AS DASHED LINES, TYP.
- (D3) (I) CONCRETE FLOOR, CEILING, AND ROOF TO BE REMOVED WHERE INDICATED AS DASHED LINES, TYP.
- (D4) (I) DOORS TO BE REMOVED WHERE INDICATED AS DASHED LINES, TYP.
- (D5) (I) COLUMNS AND WALLS TO BE REMOVED TO ACCOMMODATE THE CANTONMENT AND WALKWAY.

**DEMO/EXISTING SECTION LEGEND:**

- PROPERTY LINE
- BUILDABLE ENVELOPE
- SEWER
- OUTLINE OF ADJACENT BUILDING
- (I) WALLS TO BE REMOVED
- (E) ELEMENT TO BE REMOVED



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DATE: 01/27/2018  
 02/15/2018  
 03/15/2018  
 04/15/2018  
 05/15/2018  
 06/15/2018  
 07/15/2018  
 08/15/2018  
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 12/15/2018

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 1/27/2018

**CONSTRUCTION SECTION GENERAL NOTES:**

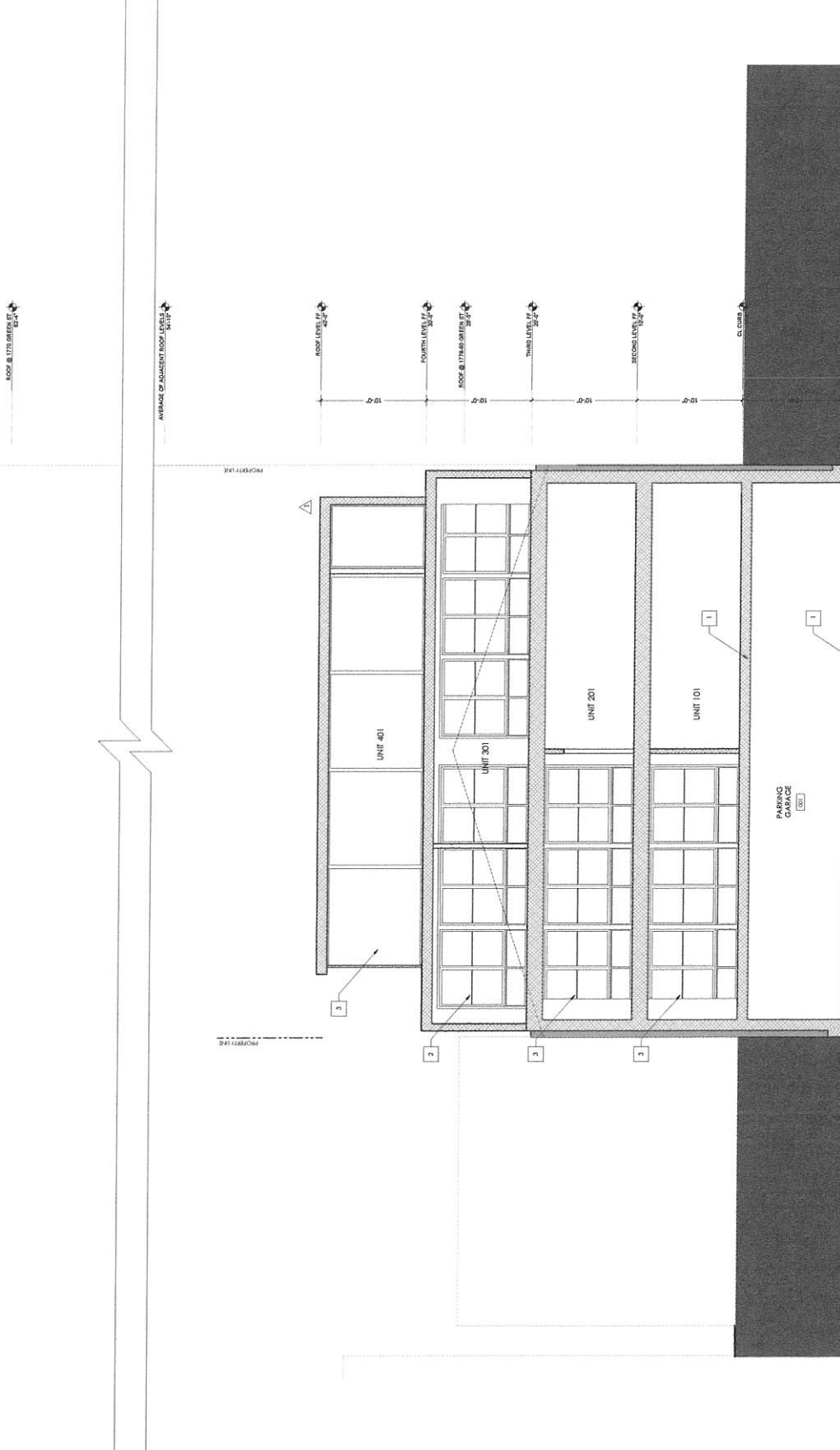
1. NEW GLASS SHALL MEET ALL OTHER EXTERIOR WALLS PER TITLE 24 REQUIREMENTS.
2. ACOUSTIC INSULATION AT ALL INTERIOR WALLS AND FLOOR JOISTS WHERE AN EXPOSED WALL AREA, TYP.
3. NEW GLASS LOCATED IN HARMFUL LOCATIONS SHALL BE PROTECTED BY A MINIMUM 1/2" THICK POLYURETHANE GLASS FIBER INSULATION BOARD (GFI) BOARD INCLUDING GLAZING AT DOORS, GATEWAY DOORS, AND WINDOWS. GFI SHALL BE INSTALLED OVER THE GLASS AND SHALL BE FASTENED TO THE SUBSTRATE WITH AN ANCHORING SYSTEM. GFI SHALL BE INSTALLED TO MEET TITLE 24 REQUIREMENTS.
4. DOORS AND WINDOWS SHALL BE INSTALLED TO MEET TITLE 24 REQUIREMENTS.
5. NEW GLASS SHALL BE INSTALLED TO MEET TITLE 24 REQUIREMENTS.
6. NEW GLASS SHALL BE INSTALLED TO MEET TITLE 24 REQUIREMENTS.

**CONSTRUCTION SECTION KEY NOTES:**

1. 1" IN FOUNDATION/CONCRETE SLAB AT FIRST FLOOR AND BASEMENT, STD.
2. 1" IN METAL WINDOWS, TYP.
3. 1" IN METAL DOORS, TYP.
4. 1" IN CONCRETE WALLS AND PARTITION WALLS TO MEET TITLE 24 REQUIREMENTS.
5. 1" IN STAIR ENCLOSURE
6. 1" IN ELEVATION ENCLOSURE

**CONSTRUCTION SECTION LEGEND:**

- PROPERTY LINE
- BUILDING ENVELOPE
- SEIBACKS
- OUTLINE OF ADJACENT BUILDING



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DATE: 01/2018  
 PROJECT NO.: 2018.014  
 SHEET NO.: 001 OF 001

SCALE: 1/8" = 1'-0"

A4.2

DEMOLITION SECTION LEGEND:

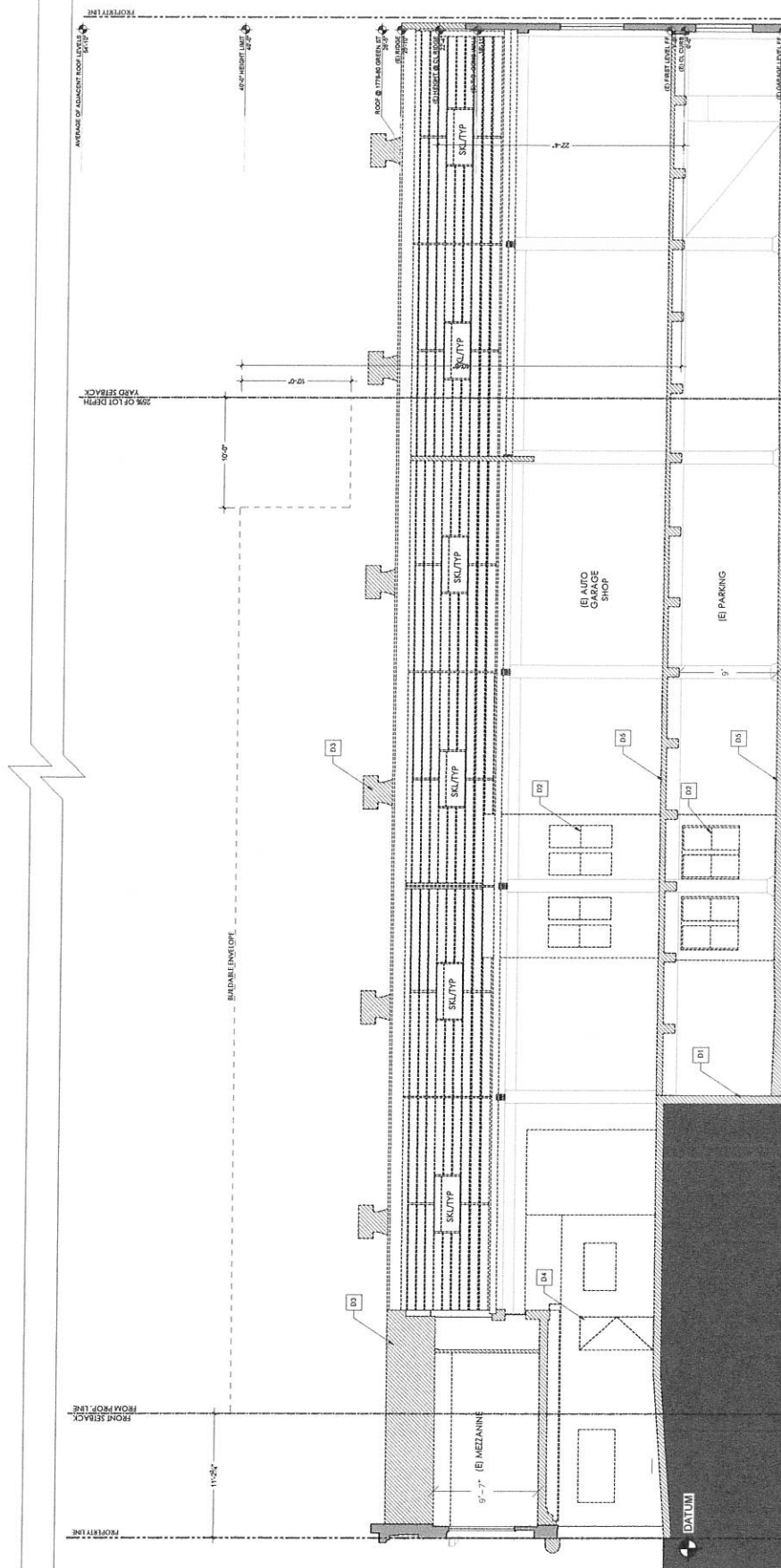
- PROPERTY LINE
- BUILDABLE ENVELOPE
- SEBACKS
- OUTLINE OF ADJACENT BUILDING
- (I) WALLS TO BE REMOVED
- (II) ELEMENTS TO BE REMOVED

DEMOLITION SECTION KEY NOTES:

- D1 (I) WALLS AND COLUMNS TO BE REMOVED WHERE INDICATED BY DASHED LINE, TP.
- D2 (II) WINDOWS TO BE REMOVED WHERE INDICATED AS DASHED LINE, TP.
- D3 (I) COMP SINGLE ROOF, CEILING, AND ROOF TO BE REMOVED WHERE INDICATED AS DASHED LINE, TP.
- D4 (I) DOORS TO BE REMOVED WHERE INDICATED AS DASHED LINE, TP.
- D5 (I) EXCAVATION AND NEW LAIDL.

DEMOLITION SECTION GENERAL NOTES:

1. CONTRACTOR IS ENCOURAGED TO PERFORM DEMOLITION AND SALVAGE AS MUCH AS POSSIBLE.
2. REMOVED MATERIALS SUCH AS FIBERGLASS, APPLIANCES, AND OTHERS SHALL BE RECYCLED OR REUSED TO THE MAXIMUM EXTENT POSSIBLE.
3. DASHED BRACK ARE USED TO INDICATE BRACK TO BE REMOVED. NOTE THAT OTHERS SUCH AS SLOTHS ARE REPRESENTED BY DASHED LINE. IF ANY UNCERTAINTY EXISTS, THE CONTRACTOR SHALL VERIFY WITH ARCHITECT BEFORE PROCEEDING.





**CONSTRUCTION SECTION GENERAL NOTES:**

1. BATH INSULATION AT ALL OPEN EXTERIOR WALLS PER TITLE.
2. ALL EXTERIOR WALLS SHALL BE FINISHED WITH 1/2" TYPE X GYPSUM BOARD OVER 1/2" POLYSTYRENE INSULATION. ALL EXTERIOR WALLS SHALL BE FINISHED WITH 1/2" TYPE X GYPSUM BOARD OVER 1/2" POLYSTYRENE INSULATION. ALL EXTERIOR WALLS SHALL BE FINISHED WITH 1/2" TYPE X GYPSUM BOARD OVER 1/2" POLYSTYRENE INSULATION.
3. NEW GLASS LOCATED IN HAZARDOUS LOCATIONS SHALL BE FINISHED WITH 1/2" TYPE X GYPSUM BOARD OVER 1/2" POLYSTYRENE INSULATION AND 1/2" TYPE X GYPSUM BOARD OVER 1/2" POLYSTYRENE INSULATION. ALL EXTERIOR WALLS SHALL BE FINISHED WITH 1/2" TYPE X GYPSUM BOARD OVER 1/2" POLYSTYRENE INSULATION.
4. ALL GLASS SHALL BE FINISHED WITH 1/2" TYPE X GYPSUM BOARD OVER 1/2" POLYSTYRENE INSULATION AND 1/2" TYPE X GYPSUM BOARD OVER 1/2" POLYSTYRENE INSULATION. ALL EXTERIOR WALLS SHALL BE FINISHED WITH 1/2" TYPE X GYPSUM BOARD OVER 1/2" POLYSTYRENE INSULATION.
5. ALL GLASS SHALL BE FINISHED WITH 1/2" TYPE X GYPSUM BOARD OVER 1/2" POLYSTYRENE INSULATION AND 1/2" TYPE X GYPSUM BOARD OVER 1/2" POLYSTYRENE INSULATION. ALL EXTERIOR WALLS SHALL BE FINISHED WITH 1/2" TYPE X GYPSUM BOARD OVER 1/2" POLYSTYRENE INSULATION.
6. ALL GLASS SHALL BE FINISHED WITH 1/2" TYPE X GYPSUM BOARD OVER 1/2" POLYSTYRENE INSULATION AND 1/2" TYPE X GYPSUM BOARD OVER 1/2" POLYSTYRENE INSULATION. ALL EXTERIOR WALLS SHALL BE FINISHED WITH 1/2" TYPE X GYPSUM BOARD OVER 1/2" POLYSTYRENE INSULATION.

**CONSTRUCTION SECTION KEY NOTES:**

- 1 (R) FORMWORK/CONCRETE SLAB AT FIRST FLOOR AND BASEMENT SLAB.
- 2 (R) METAL WINDOWS, TYP.
- 3 (R) METAL DOORS, TYP.
- 4 (R) GLASS RAINING ALUMINUM HANDRAIL TO MEET 2016 IBC 2012, GUARDRAIL TO BE 42" H.T.
- 5 (R) STAIR ENCLOSURE
- 6 (R) ELEVATOR ENCLOSURE

**CONSTRUCTION SECTION LEGEND:**

- PROPERTY LINE
- BUILDING ENVELOPE
- SEBACIS
- OUTLINE OF ADJACENT BUILDING

