

PLANNING APPROVAL LETTER

Date: June 11, 2025 Planning Record No. 2025-004242PRJ Project Address: 1035 VAN NESS AVE

RC-4 (RESIDENTIAL- COMMERCIAL, HIGH DENSITY) Zoning District Zoning:

> Van Ness Special Use District 130-V Height and Bulk District

Block/Lot: 0714 / 028 Project Sponsor: Mimi Sullivan

> 77 Van Ness Avenue, Suite 202 San Francisco, CA 94102 mimi@saidasullivan.com

(4157770991

Staff Contact: Carly Grob

Carly.grob@sfgov.org

Project Description

This project would convert an existing residential care facility (institutional use) into 100% affordable permanent supportive housing rental units. The project will result in 124 dwelling units from the conversion of 106 existing care facility rooms, recreation of 16 care facility rooms that were removed without a permit, and the creation of two (2) new rooms which were previously support spaces. All 124 units will include a bathroom, and will be furnished with refrigerators, stove tops, and sinks. The project will also make minor alterations to the existing amenity spaces on the fifth floor for use as resident services and property management offices, as well as alterations at the ground floor to construct a compliant mail room and to restore the demising wall between building storage and the retail spaces.

Project Approval

This project is approved pursuant to Government Code section 65650, commonly known as AB 2162. AB 2162 requires the ministerial approval of eligible supportive housing projects. For additional details on AB 2162, please see Government Code section 65650 et. seq., or Director's Bulletin 5.

The Department has determined that the project is eligible for AB 2162 and has concluded its design review of the project, including that it complies with the objective standards of the Planning Code. The Department therefore approves the project in accordance with the provisions of Government Code section 65650 et. seg.

中文詢問請電

¹ Pursuant to an interpretation of Planning Code Section 102, published 3/21, "Permanently Supportive Housing," may be determined to be Dwelling Units even when providing only limited cooking facilities due to the unique nature of such housing.

(AB 2162), as recorded in Planning Record No. 2025-004242PRJ. The project shall comply with the standard conditions of approval for an AB 2162 project, attached. The property owner shall record Notice of Special Restrictions prior to the issuance of a site or building permit for the project. The plans for the approved project are attached to this approval.

The Project Sponsor will record the Notice of Special Restrictions before issuance of the building permit.

Project Timeline

Action	Date
Applicant submitted a Development Application	May 14, 2025
Department staff issued Incomplete Application Notice (IAN)	May 16, 2025
Applicant responded to Incomplete Application Notice (IAN)	May 21, 2025
Department staff deemed Application Complete (CAN)	May 22, 2025
Department staff determined that the proposed project was eligible for AB 2162	May 22, 2025

Compliance with the State Density Bonus Law

The Project Sponsor seeks to proceed pursuant to Planning Code Section 206.6, Individually Requested State Density Bonus Law, Government Code Section 65915 et seq (the "State Law"). Under subsection 65915(b)(1)(G) of the State Law, a housing development that provides 100% of the total units for lower income households, except that up to 20% of the total units in the development may be for moderate-income households and exclusive of a manager's unit(s), is entitled to five concessions and incentives that result in identifiable and actual cost reductions to provide for affordable housing costs. Such project, when located within one-half mile of a major transit stop, shall be relieved of maximum density controls and shall also receive a height increase of up to three additional stories, or 33 feet, and unlimited waivers from development standards that might otherwise preclude the construction of the project are permitted under this subsection of the State Law.

The Project Sponsor is providing 124 units of housing affordable to low- and very low-income households, and the project is located within one-half mile of a major transit stop; therefore, the project is not subject to any maximum control on density, and is entitled to receive up to five concessions/incentives and an additional three stories, or 33 feet of height and unlimited waivers. The project sponsor is requesting a concession/incentive from the development standards for active uses at the street frontage (Planning Code Section 145.1(c)(3), bicycle parking (Planning Code Section 155.1-2), and car share (Planning Code Section 166). The project has requested waivers from the development standards for rear yard (Planning Code Section 134), usable open space (Planning Code Section 135), and dwelling unit exposure (Planning Code Section 140).



Planning Code Findings

Planning Code Section 206.6

The Department finds that the project is consistent with the findings set forth in 206.6 as further described below.

Before approving an application for a Density Bonus, Incentive, Concession, or waiver, for any Individually Requested Density Bonus Project, the Planning Commission or Director shall make the following findings as applicable.

- A. The Housing Project is eligible for the Individually Requested Density Bonus Program.
 - The Project qualifies for the State Density Bonus Program by providing 100% of the units, excluding manager's units, as affordable to lower-income households.
- B. The Housing Project has demonstrated that any Concessions or Incentives reduce actual housing costs, as defined in Section 50052.5 of the California Health and Safety Code, or for rents for the targeted units, based upon the financial analysis and documentation provided.

The project has requested concessions/incentives from the development standards for active uses at the street frontage (Planning Code Section 145.1(c)(3), bicycle parking (Planning Code Section 155.1-2,) and car share (Planning Code Section 166).

Ground Floor Active Uses. Planning Code Section 145.1(c)(3) requires active uses for the first 25 feet of building depth on the ground floor. There are two vacant retail spaces at the ground floor of the existing building. The project would restore a demising wall between the retail space and residential building storage. The retail would be less than 25 feet in building depth along the Van Ness frontage, and the residential storage facing Myrtle would not be considered an active use. The requested incentive from the Planning Code requirement to provide active uses at the street frontage would result in actual and identifiable cost reductions. Without the requested incentive, the Project would be required to lease space currently slated for residential use for another non-residential, active use. The loss of units or other residential spaces would impact Project's funding availability and overall operating costs.

Bicycle Parking. Planning Code Section 155.2 requires one Class 1 bicycle parking space for every dwelling unit, and for buildings with more than 100 units, one Class 1 space for every four dwelling units over 100. The Planning Code also requires One Class 2 space for every 20 units. The project would require 106 Class 1 spaces and 6 Class 2 spaces. The requested incentive from Class 1 and Class 2 bicycle parking requirements would result in cost reductions to construct bicycle parking, as well as the indirect costs incurred from the loss of other residential or supportive service uses in the building.

Car Share. Planning Code Section 166 requires car-share spaces be provided in any building being converted to residential uses with existing off-street parking. Providing a public car share space in the



secure garage would be a major security risk that could negatively impact the operations of the proposed permanent supportive housing. Providing a higher level of security would be prohibitively expensive, especially for a housing type with strict maintenance and operational demands. The requested incentive from car share allows the Project to avoid the initial expense and maintenance of increased security.

C. If a waiver or modification is requested, a finding that the Development Standards for which the waiver is requested would have the effect of physically precluding the construction of the Housing Project with the Density Bonus or Concessions and Incentives permitted.

The project has requested waivers from the development standards for rear yard (Planning Code Section 134), usable open space (Planning Code Section 135), and dwelling unit exposure (Planning Code Section 140).

Rear Yard. The requested waiver from the rear yard requirements of Planning Code Section 134 result in increased residential density. In the RC-4 Zoning District, a 25% rear yard is required at the first floor containing a dwelling unit, and at each subsequent story. Per an interpretation of Planning Code Section 188(a), converting a noncomplying rear yard building to residential use would add a new discrepancy, and would not comply with Section 134. Establishing new residential uses in a building which does not Providing a code-compliant rear yard would substantially decrease the residential density of the project, resulting in the loss of approximately 46 of the 124 proposed units.

Usable Open Space. Planning Code Section 135 requires that 48 square feet of common usable open space be provided for each dwelling unit within the RC-4 Zoning District, and that common usable open be 15' in every horizontal dimension with a minimum area of 300 square feet. The project requires 5,952 square feet of common usable open space. While the project provides approximately 1,679 square feet of existing open space within the rear yard, in the light well, and on a deck facing Van Ness, none of these spaces meet the 15'x15' minimum dimension. Furthermore, the rooftop is currently unavailable to be converted into usable open space due to cost and operational constraints. The requested waiver from the rear yard requirements of Planning Code Section 135 result in the residential density permitted under the State Density Bonus Law.

Dwelling Unit Exposure. In the RC-4, dwelling units may meet exposure by facing onto code-compliant a rear yard, a 25'x 25' open area, or a public street or alley that is at least 25 feet wide. Providing a code-compliant rear yard would substantially decrease the residential density of the project, resulting in the loss of approximately 51 of the 124 proposed units face onto a rear yard that is not code-compliant or onto a lightwell along the north property line. The requested waiver from the exposure requirements of Planning Code Section 140 result in increased residential density.

D. If the Density Bonus is based all or in part on donation of land, a finding that all the requirements included in Government Code Section 65915(g) have been met.

The requested Density Bonus is not based on donation of land.



E. If the Density Bonus, Concession or Incentive is based all or in part on the inclusion of a Child Care Facility, a finding that all the requirements included in Government Code Section 65915(h) have been met.

The requested Density Bonus and concessions/incentives are not based on inclusion of a Child Care facility.

F. If the Concession or Incentive includes mixed-use development, a finding that all the requirements included in Government Code Section 65915(k)(2) have been met.

The requested concessions/incentives are for residential use only.

General Plan Compliance

As described below, the Project is consistent with the Eight Priority Policies of Planning Code Section 101.1 and is, on balance, in conformity with the Objectives and Policies of the General Plan.

Note: General Plan Objectives are shown in **BOLD UPPER CASE** font; Policies are in **Bold** font; staff comments are in *italic* font.

HOUSING ELEMENT

Policy 8

Expand permanently supportive housing and services for individuals and families experiencing homelessness as a primary part of a comprehensive strategy to eliminate homelessness.

Policy 15

Expand permanently affordable housing investments in priority equity geographies to better serve american indian, black, and other people of color within income ranges underserved, including extremely-, very low-, and moderate-income households.

OBJECTIVE 4.A

SUBSTANTIALLY EXPAND THE AMOUNT OF PERMANENTLY AFFORDABLE HOUSING FOR EXTREMELY LOW-TO MODERATE-INCOME HOUSEHOLDS.

Policy 26

Streamline and simplify permit processes to provide more equitable access to the application process, improve certainty of outcomes, and ensure meeting state- and local-required timelines, especially for 100% affordable housing and shelter projects.

Policy 32

Promote and facilitate aging in place for seniors and multi-generational living that supports extended families and communal households.

OBJECTIVE 4.C



DIVERSIFY HOUSING TYPES FOR ALL CULTURES, FAMILY STRUCTURES, AND ABILITIES.

The project will provide 124 permanent supportive housing (PSH) rental units within an existing building, which expands the City's supply of housing and supportive services for formerly homeless veterans. The units will remain affordable for the life of the project. The subject property is just outside of the Priority Equity Geography SUD across Van Ness Avenue, and will provide access housing and supportive services for formerly homeless veterans from various backgrounds. AB 2162 and the State Density Bonus Law have provided a simplified, streamlined approval path for the project. The project is consistent with the General Plan.

Planning Code Section 101.1(b) establishes eight priority-planning policies and requires review of permits for consistency with said policies. On balance, the project complies with said policies in that:

- 1. That existing neighborhood-serving retail uses be preserved and enhanced and future opportunities for resident employment in and ownership of such businesses be enhanced.
 - The project site does not possess any neighborhood-serving retail uses. The Project provides 124 new supportive housing units, which will enhance the nearby retail uses by providing new residents, who may patron these businesses.
- 2. That existing housing and neighborhood character be conserved and protected in order to preserve the cultural and economic diversity of our neighborhoods.
 - The project would not impact the neighborhood character, and would enhance the economic diversity of our neighborhoods. The project would convert an residential care facility, an institutional use, with 124 permanent supportive housing units, thus resulting in an overall increase in the affordable housing stock. The units will be affordable for the life of the project, which ensures that formerly homeless individuals will have access to housing opportunities within the neighborhood in perpetuity. The project scope not include any exterior alterations. For these reasons, the Project would protect and preserve economic diversity of the neighborhood.
- 3. That the City's supply of affordable housing be preserved and enhanced,
 - The Project crates 124 permanent supportive housing units within an existing building, thereby increasing the stock of affordable housing units in the City.
- 4. That commuter traffic not impede MUNI transit service or overburden our streets or neighborhood parking.

The Project Site is served by nearby public transportation options. The Project is located along Van Ness Avenue, which is a bus rapid transit corridor (BRT) and is the north/south route for the MUNI 49 busline and on the same block as the east/west line for the MUNI 38 and 38 rapid bus lines along Geary Avenue. The project is also within ¼ mile of MUNI lines 2, 19 and 31. Future residents would be afforded proximity to a bus line.



- 5. That a diverse economic base be maintained by protecting our industrial and service sectors from displacement due to commercial office development, and that future opportunities for resident employment and ownership in these sectors be enhanced.
 - The Project does not include commercial office development and will not displace any industrial uses. The project will replace a residential care facility that is mostly vacant with permanent supportive housing, which is a priority for the City.
- 6. That the City achieve the greatest possible preparedness to protect against injury and loss of life in an earthquake.
 - The Project does not propose any exterior alterations. The proprosed interior alterations will be designed and constructed to conform to the structural and seismic safety requirements of the Building Code. As such, this Project will not impact the property's ability to withstand an earthquake.
- 7. That landmarks and historic buildings be preserved.
 - Currently, the Project Site does not contain any City Landmarks or historic buildings.
- 8. That our parks and open space and their access to sunlight and vistas be protected from development.
 - The Project does not propose any exterior alterations, and would therefore not have any impact to access to sunlight or vistas.

Attachments:

Conditions of Approval for 100% Affordable AB 2162 Projects Approved Plans



CONDITIONS OF APPROVAL FOR A 100% AFFORDABLE AB 2162 PROJECTS

Authorization

This authorization to allow the conversion of an existing residential care facility into 124 permanent supportive housing units and supportive services, located at 1035 Van Ness Avenue, 0714/028 within the RC-4 (Residential-Commercial, High Density) Zoning District, a 130-V Height and Bulk District, and the Van Ness Special Use District; in general conformance with plans, dated May 12, 2025, included in the case file for Planning Record No. 2025-004242PRJ. This authorization and the conditions contained herein run with the property and not with a particular Project Sponsor, business, or operator.

Recordation of Conditions of Approval

Prior to the issuance of the building permit or commencement of use for the Project the Zoning Administrator shall approve and order the recordation of a Notice in the Official Records of the Recorder of the City and County of San Francisco for the subject property. This Notice shall state that the project is subject to the conditions of approval contained herein and reviewed and approved by the Planning Department on June 11, 2025 under Planning Record No. 2025-004242PRJ

Severability

The Project shall comply with all applicable City codes and requirements. If any clause, sentence, section or any part of these conditions of approval is for any reason held to be invalid, such invalidity shall not affect or impair other remaining clauses, sentences, or sections of these conditions. This decision conveys no right to construct, or to receive a building permit. "Project Sponsor" shall include any subsequent responsible party.

Changes and Modifications

Changes to the approved plans may be approved administratively by Planning Staff if the modifications to the Project are compliant with the objective provisions of the Planning Code in effect at the time of the original Planning approval.

State Law Provisions

- 1. **Expiration.** The authorization and right vested by virtue of this action does not expire.
- 2. **Affordable Housing.** 100% of the units, excluding managers' units, within the development are restricted to lower income households, as defined in CA Health and Safety Code Section 50079.5, and are or will be receiving public funding to ensure affordability of the housing to lower income Californians. The rents in the development shall be set at an amount consistent with the rent limits



- stipulated by the public program providing financing for the development. All units within the development are subject to a recorded affordability restriction for 55 years.
- 3. **Regulatory Agreement.** The Project was approved ministerially in accordance with the provisions of California Government Code Section 65650, since 100% of the units, excluding managers' units, within the project are restricted to lower income households for a period of at least fifty-five years, are or will be receiving public funding to ensure affordability of the housing to lower income Californians, and provides a minimum number of Supportive Housing units. In addition, the Project was approved in accordance with the provisions of California Government Code Section 65915 ("State Density Bonus Law"). The Project is eligible for decontrolled density, three stories above the zoned height limit, up to four incentives and concessions, and unlimited waivers from development standards. The Department has granted incentives/concessions from the development standards for active uses at the street frontage (Planning Code Section 145.1(c)(3) and car share (Planning Code Section 166, and waivers for rear yard (Planning Code Section 134), usable open space (Planning Code Section 135), dwelling unit exposure (Planning Code Section 140), and bicycle parking (Planning Code Section 155). Prior to the issuance of the first construction document for the Project, the property owner must enter into a regulatory agreement with the City pursuant to the provisions of Planning Code Section 206.6(f).

State Law Design Requirements

- 4. **Amenities**. Pursuant to California Government Code Section 65651(a)(7), units within the development, excluding managers' units, shall include at least at least one bathroom and a kitchen or other cooking facilities, including, at minimum, a stovetop, a sink, and a refrigerator.
- 5. **Supportive Services.** Pursuant to California Government Code Section 65651(a)(5), at least 3% of the total nonresidential floor area shall be provided for on-site supportive services as defined in California Government Code Section 65582, that are limited to tenant use, including, but not limited to, community rooms, case management offices, computer rooms, and community kitchens.

State Law Operational Requirements

6. **Supportive Housing.** Pursuant to California Government Code Section 65651(a)(3), at least 25% of the units in the development or 12 units, whichever is greater, are restricted to residents in supportive housing who meet criteria of the target population. If the development consists of fewer than 12 units, then 100% of the units, excluding managers' units, in the development shall be restricted to residents in supportive housing.

Pursuant to California Government Code Section 65651(c), the local government shall, at the request of the project owner, may reduce the number of residents required to live in supportive housing if the project-based rental assistance or operating subsidy for a supportive housing project is terminated through no fault of the project owner, but only if all of the following conditions have been met:



- (1) The owner demonstrates that it has made good faith efforts to find other sources of financial support.
- (2) Any change in the number of supportive housing units is restricted to the minimum necessary to maintain the project's financial feasibility.
- (3) Any change to the occupancy of the supportive housing units is made in a manner that minimizes tenant disruption and only upon the vacancy of any supportive housing units.

City Provisions

7. **Inclusionary Affordable Housing Program.** As currently proposed in the Project Sponsor's application and affidavit, the Project is intended to be a 100% affordable housing project with rents that will be regulated by a government unit, agency, or authority, except those unsubsidized or unassisted units insured by the US Department of Housing and Urban Development pursuant to Section 415.3(f)(4). As of the date of this approval, the Project does not satisfy the requirements under Section 415.3(f)(4) and is not exempt from the Inclusionary Affordable Housing Program. To comply with Section 415.3(f)(4), the Project Sponsor shall (i) execute an affordable housing regulatory agreement with the City or other government agency in form and substance acceptable to the Planning Department, MOHCD, and the City Attorney's Office, and (ii) record such regulatory agreement on title to the real property of the Project in the official records of the City and County of San Francisco. Project Sponsor shall deliver a copy of such recorded regulatory agreement to the Planning Department prior to issuance of the Site Permit or Building Permit for the Project.

If the Project Sponsor no longer intends to develop a 100% affordable housing project, or does not execute and record an affordable housing regulatory agreement as described above, the Project Sponsor shall comply with the applicable inclusionary housing requirements set forth in Planning Code Section 415 *et seq*, or any successor provision, and the requirements of the then-applicable Inclusionary Affordable Housing Program Monitoring and Procedures Manual, as amended from time to time, published by MOHCD. To comply with Planning Code Section 415 *et seq*, the Project Sponsor shall: (i) obtain from the Planning Department a supplemental letter setting forth the applicable inclusionary housing requirements for the Project, and (ii) execute and record a new notice of special restrictions or any amendment to this NSR, as well as any related regulatory agreement, in form and substance approved in writing by the Planning Department and MOHCD prior to issuance of the Site Permit or Building Permit for the Project.

If, at any point during the life of the Project, the Project no longer qualifies as a 100% affordable housing project under Section 415.3(f)(4), the Project Sponsor shall comply with the applicable inclusionary housing requirements set forth in Planning Code Section 415 *et seq*, or any successor provision, and the requirements of the then-applicable Inclusionary Affordable Housing Program Monitoring and Procedures Manual, as amended from time to time, published by MOHCD. To comply with Planning Code Section 415 *et seq*, the Project Sponsor shall execute and record a new notice of special restrictions or any amendment to this NSR, as well as any related regulatory agreement, in form and substance approved in writing by the Planning Department and MOHCD.



- 8. **Anti-Discriminatory Housing.** The Project shall adhere to the requirements of the Anti-Discriminatory Housing policy, pursuant to Administrative Code Section 1.61.
- 9. **First Source Hiring.** The Project shall adhere to the requirements of the First Source Hiring Construction and End-Use Employment Program approved by the First Source Hiring Administrator, pursuant to Section 83.4(m) of the Administrative Code. The Project Sponsor shall comply with the requirements of this Program regarding construction work and on-going employment required for the Project.

For information about compliance, contact the First Source Hiring Manager at 415.581.2335, www.onestopSF.org.



1035 VAN NESS HOUSING SF PLANNING APPLICATION 05.12.2025

Applicate Accessibility Coles - two complaint existing condines:
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2010 Aum Searchards or Accessable Design 35.1.3 (c))
Newly constructed or altered facilities or elements covered by §§ 35.15 (a) or (b) that were constructed or altered facilities or elements covered by §§ 35.15 (a) or (b) that were constructed or altered before March 15, 2012 and that do not comply with the 1991 Standards or with UFAS shall, on or after March 15, 2012, be made accessible in accordance with the 2010 Standards.

2010 ADA Standards for Accessible Design 35.151(c)

PROJECT LOCATION

BLOCK / LOT: 0714 / 028 1035 VAN NESS AVE SAN FRANCISCO, CA 94109

PROJECT DESCRIPTION



T: 415.777.0991 F: 415.777.0992



HOUSING Ğ, NESS, ISCO, (VAN NESS 1035 VAN R SAN FRANCIS ٦

NOT FOR _ CONSTRUCTION

- 8

- MAYOR ED 13-01 PRIORITY PERMIT - ISSUE INFORMATION

AB 2162 APPLICATION 05.12.2025

PLOT DATE: PROJECT NO:

PHASE: SCALE:

PROJECT INFORMATION

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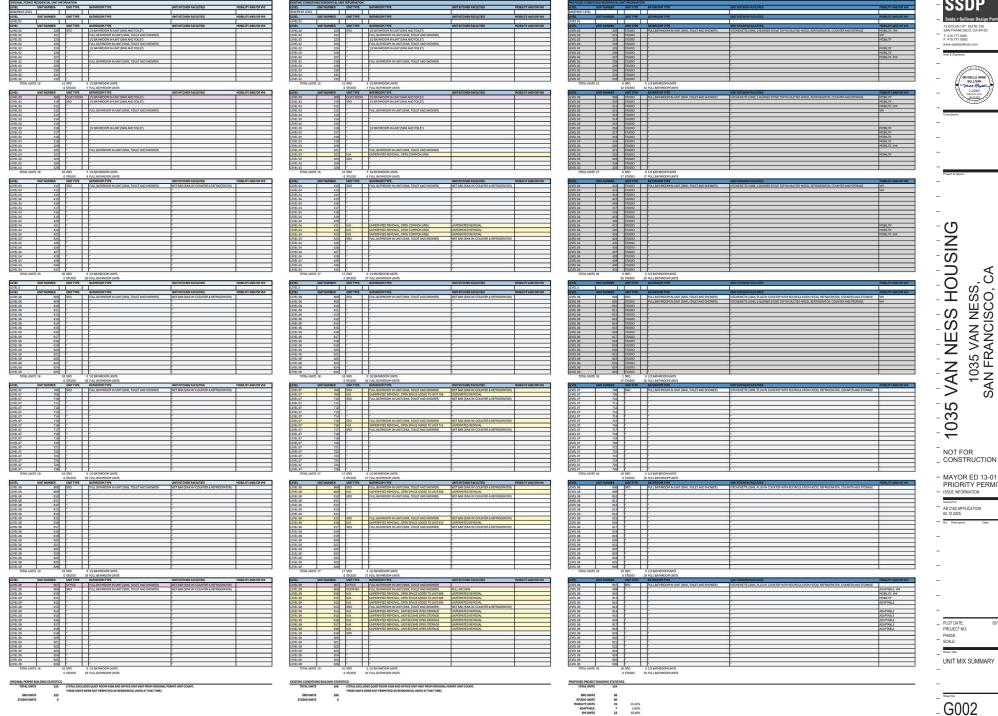
THE USE Visited in the implicate the proposed convention of an existing residential building to 100% Affordable Permittent Supports in the proposed convention of the existing visited size of the time of the existing visited size of the existing visited size visited visited size visited visited size visited size visited vi 1035 VAN NESS HOUSING GENERAL
G001 PROJECT INFORMATION
G012 UNIT MIX SLIMMARY 1035 Van Ness Ave, San Francisco, 94133 0714 / 028 G03 SYMBOLS & ABBREVIATIONS A100A SITE PLAN - EXISTING A100B SITE PLAN - PROPOSED A110A BASEMENT FLOOR PLAN - EXISTING
A110B BASEMENT FLOOR PLAN - PROPOSED
A111A LEVEL 01 FLOOR PLAN - EXISTING A111B LEVEL 01 FLOOR PLAN - PROPOSED 130-V Van Ness, Van Ness Automotive, Within 1/4 Mile of the Fringe Financial Services RUD, Within 1/4 Mile of an Existing Fringe A112A LEVEL 02 FLOOR PLAN - EXISTING Financial Service Category C - No Historic Resource Present Not Applicable SFPD Historic Resource A1138 LEVEL 03 FLOOR PLAN - PROPOSED Better Roofs Ordinance: Not Applicable, the building is not new construction A114A LEVEL 03 FLOOR PLAN - PROPOSED
A114B LEVEL 04 FLOOR PLAN - EXISTING
A114B LEVEL 04 FLOOR PLAN - PROPOSED
A115A LEVEL 05 FLOOR PLAN - EXISTING Air Pollutant Exposure J Year Built: Construction Type: Number Of Stories: Elevator: Covered Units: 9 Stories over 1 basement level A115B LEVEL 05 FLOOR PLAN - PROPOSED Yes, 2 existing to remain elevators A116A LEVEL OF FLOOR PLAN - EXISTING A1168 LEVEL 06 FLOOR PLAN - PROPOSED A117A LEVEL 07 FLOOR PLAN - EXISTING None 12,353.5 SF Parcel Area: Setbacks: Induced or delight glassions not being proposed, current code requirements and eviding massing setbados noted below Front and 564 frait Setbado. Current Code Requirement is Not required Front and 556 and Earl East glassicals, 1077. Existing from setback fall building Rear Year Current Requirement. Required at that residential law less fast doze. 25% of the lot depth, but in no case less than 15° Rear Year Current Requirement. Required at that residential law less fast doze. 25% of the lot depth, but in no case less than 15° Rear Year Carrent Requirement. Required at the residential law less than 15°. A117B LEVEL 07 FLOOR PLAN - PROPOSED A118A LEVEL 08 FLOOR PLAN - EXISTING A1188 LEVEL 08 FLOOR PLAN - PROPOSED A119A LEVEL 09 FLOOR PLAN - EXISTING A119B LEVEL 09 FLOOR PLAN - PROPOSED Existing Building Use: R2.1, Retail A120A ROOF PLAN - EXISTING Occupancy.
Basement:
Level 01:
Levels 02-04: A1208 ROOF PLAN - PROPOSED
A200 BUILDING ELEVATIONS & SECTIONS S2 (Storage) B (Offices), M (Mercantile/Retail), R2 (Incidental and Accessory) R2 (SROs) B (Offices), A (Assembly), R2 (Incidental and Accessory) Level 05: Levels 06-09: PROJECT TEAM 85'-4" - SF Planning Definition for Building Height (no change from existing building height is proposed as part of this project) Building Height: Blue Parking Spaces: 0 Vehide Parking Spaces: 34 (1 Accessible Van Space, All Existing, None Required) Car Share Spaces: 0 (None Required) Usable Open Space: 1,671SF OWNER
Swords and Plowshares
401 Van Ness Ave, Suite 313
San Francisco, CA 94102
Attr: Steve Culbertson
Tet (415)252-4788
Email: sleven culbertson@stp-ARCHITECT
Saids + Sullivan Design Partners
12 Gough Street, Suite 100
San Francisco, CA 94103
Attr. Mimi Sullivan
Tel: (415) 777-4991
Email: mimi@saidasullivan.com Proposed Building Use: R2, Retail Occupancy.
Basement:
Level 01:
Levels 02-04: SZ (Storage) R (Offices): M (Mercantile/Retail): R2 (Incidental and Accesson) B (Offices), A (Assembly), R2 (Incidental and Accessory) 85'-4" - SF Planning Definition for Building Height (no change from existing building height is proposed as part of this project) Building Height: **CODE & ACCESSIBILITY INFORMATION** Bike Parking Spaces: 0
Vehicle Parking Spaces: 34 (1 Accessible Van Space, All Existing, None Required)
Car Share Spaces: 0 (None Required) APPLICABLE CODES Usable Open Space: 1.671SF CBC CEBC CEC CMC CPC CGBC CENC Amended Amended GSF SUMMARY BY GENERAL LAND USE 2022 California Evisting Building Code 2022 California Historical Building Code 2022 California Historical Code 2022 California Biechrical Code 2022 California Plumbing Code 2022 California Plumbing Code 2022 California Green Building Code PARKING (S.F.) RESIDENTIAL (S.F.) RETAIL (S.F.) FLOOR TOTAL 10,488 7,771 1,398 5,489 1,548 8,762 10,410 9,522 9,522 9,522 DEVOTED SERVICE SPACE AREA SUMMARY MCD will review the projects for compliance to San Francisco Building Code Chapters 11A and 11B, UFAS 1998 Fair Housing Act and 2010 ADAS. The nobility, visual and hearing featured units will need to comply with the 2010 ADA Standards blended with UFAS and Chapter 11B. The remaining units will o comply with Chapter 11A to the extent feasible. Where conflicts occur between UFAS and 2010 ADAS, refer to MOD's meno dated August 20, 2014 for PROVIDED SERVICE SPACE: 8.786 S.F. > 2.343 S.F. 3% OF TOTAL GSF Applicable Accessibility Codes - reer construction or electrisons.

2010 AAS Address for Accessible Segregation Includes Title 128 CFR part 35 151 and 2004 ADAHG 35 CFR part 1191, Appendices B and D published by DOJ.

Fair Mossing Accessibility Guidelines 1991 published by HLD

COX Title 25 2019 CSD. Coapters 11 as or 11 to AB2162 APPLICATION - ESTIMATED WAIVERS Applicable Accessibility Codes - eniating conditions:
1991 AGA Standards for Accessible logical policities elevistic exemptions. Section 4.1.8(5) and Section 4.1.8(1)(ii) published by DOJ
Entrabulory Accessibility Conditiens 1999 Adultated by HUD
Uniform Federal Accessibility Standards (IFAS) 1988 Edition
COST Title 2.11981 CECT Colleges 11 and 110. AND/OR INCENTIVES Bike Parking - Class I Bike Parking Spaces: None Existing and None Provided, Class II Bike Parking Spaces: None Existing and None Provided Open Space - 1,8505F Provided Desired Unit Exposer - Units 430, 431, 624, 625

DRAWING INDEX



SSDP

12 GOUGH ST. SUITE 100 SAN FRANCISCO, CA 94103 T: 415.777.0991 F: 415.777.0992



1035 VAN NESS, SAN FRANCISCO, CA

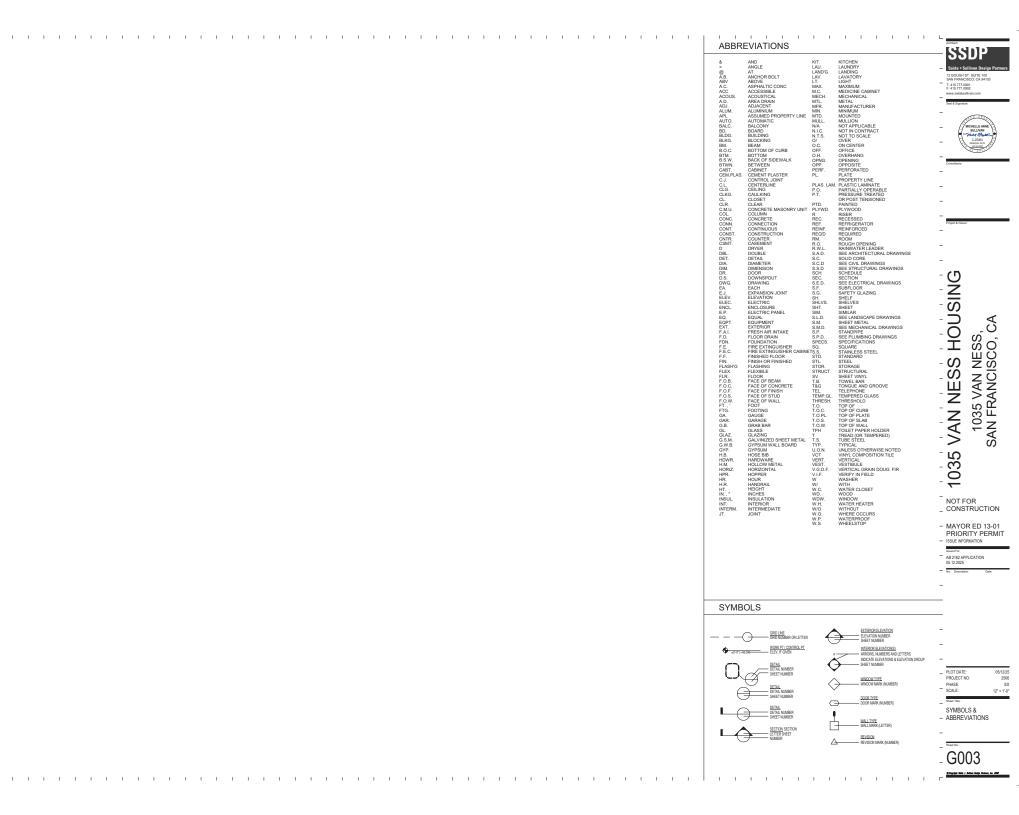
- MAYOR ED 13-01 PRIORITY PERMIT

AB 2162 APPLICATION 05.12.2025

05/12/25 2506 SD

UNIT MIX SUMMARY

G002



GEARY BOULEVARD SIDEWALK 0714/018 PENTHOUSE ROOF OPEN SPACE @ 3RD FLR 181 S.F. VAN NESS AVENUE OPEN SPACE @ 2ND FLR 718 S.F. SIDEWALK OPEN SPACE -@ 5TH FLR 780 S.F. -(3) 1 A200 PENTHOUSE ROOF UNOCCUPIED ROOF 0714/020, 027 SIDEWALK (E) DRIVEWAY (E) DRIVEWAY G 10-SB H PLE 2 A200 PLW 25BB (B) F 0 (E) MYRTLE STREET



1035 VAN NESS HOUSING 1035 VAN NESS, SAN FRANCISCO, CA

NOT FOR CONSTRUCTION

MAYOR ED 13-01
 PRIORITY PERMIT
 ISSUE INFORMATION

- AB 2162 APPLICATION 05.12.2025

PLOT DATE: PROJECT NO: PHASE: SCALE:

SITE PLAN - EXISTING

- A100A

GEARY BOULEVARD SIDEWALK 0714/018 PENTHOUSE ROOF OPEN SPACE @ 3RD FLR 718 S.F. VAN NESS AVENUE OPEN SPACE @ 2ND FLR 718 S.F. SIDEWALK OPEN SPACE -@ 5TH FLR 780 S.F. PENTHOUSE ROOF UNOCCUPIED ROOF 0714/020, 027 SIDEWALK (E) DRIVEWAY (E) DRIVEWAY G 10-SB A200 MYRTLE STREET

NOTE: NO MODIFICATION IS PROPOSED ON EXTERIOR OF BUILDING



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- AB 2162 APPLICATION 05.12.2025

PLOT DATE: PROJECT NO:

PHASE: SCALE:

SITE PLAN - PROPOSED

- A100B

SSDP



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 ISSUE INFORMATION

AB 2162 APPLICATION 05.12.2025

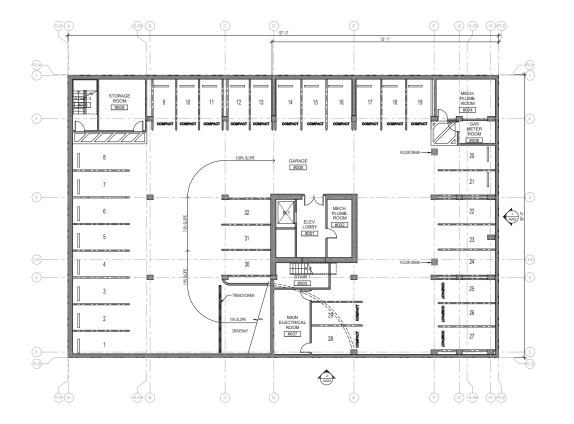
PLOT DATE: PROJECT NO: - PHASE: SCALE:

BASEMENT FLOOR

- PLAN - EXISTING

- A110A





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AB 2162 APPLICATION 05.12.2025

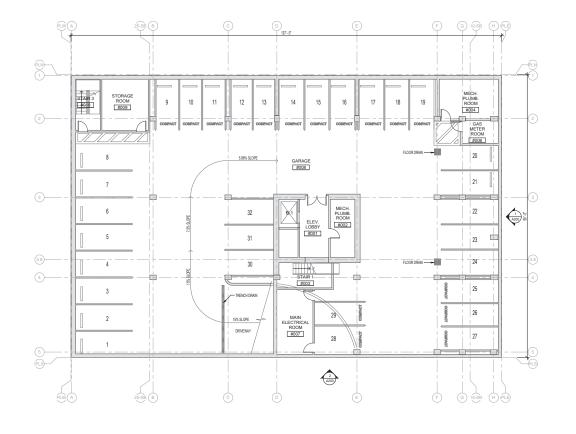
PLOT DATE: PROJECT NO:

BASEMENT FLOOR
- PLAN - PROPOSED

- PHASE: SCALE:

- A110B





1035 VAN NESS HOUSING 1035 VAN NESS, SAN FRANCISCO, CA

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MAYOR ED 13-01
 PRIORITY PERMIT
 ISSUE INFORMATION

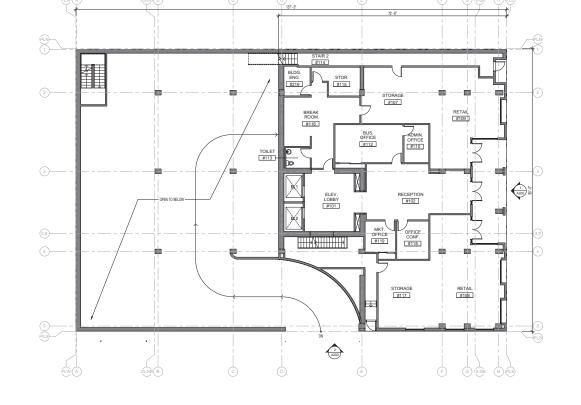
AB 2162 APPLICATION 05.12.2025

PLOT DATE: PROJECT NO: 05/12/25 2506 SD As indicated PHASE: SCALE:

LEVEL 01 FLOOR PLAN

- - EXISTING

- A111A



(E) PARTITION OR OTHER ELEMENT TO BE REMOVED

(E) PARTITION TO REMAIN



SSDP





1035 VAN NESS HOUSING 1035 VAN NESS, SAN FRANCISCO, CA

NOT FOR CONSTRUCTION

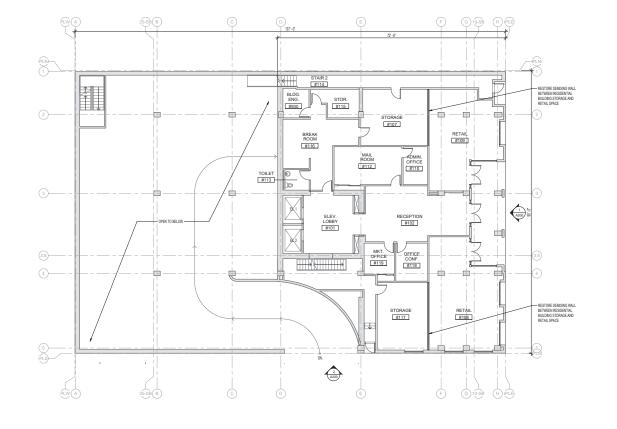
- MAYOR ED 13-01 PRIORITY PERMIT - ISSUE INFORMATION

AB 2162 APPLICATION 05.12.2025

PLOT DATE: PROJECT NO: 05/12/25 2506 SD As indicated PHASE: SCALE:

LEVEL 01 FLOOR PLAN - - PROPOSED

- A111B



SSDP



1035 VAN NESS HOUSING 1035 VAN NESS, SAN FRANCISCO, CA

NOT FOR _ CONSTRUCTION

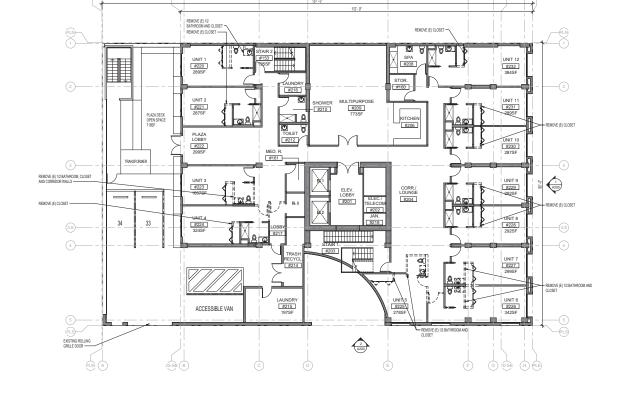
- MAYOR ED 13-01 PRIORITY PERMIT - ISSUE INFORMATION

- AB 2162 APPLICATION 05.12.2025

PLOT DATE: PROJECT NO: PHASE: SCALE:

LEVEL 02 FLOOR PLAN - - EXISTING

- A112A



SSDP





1035 VAN NESS HOUSING 1035 VAN NESS, SAN FRANCISCO, CA

NOT FOR _ CONSTRUCTION

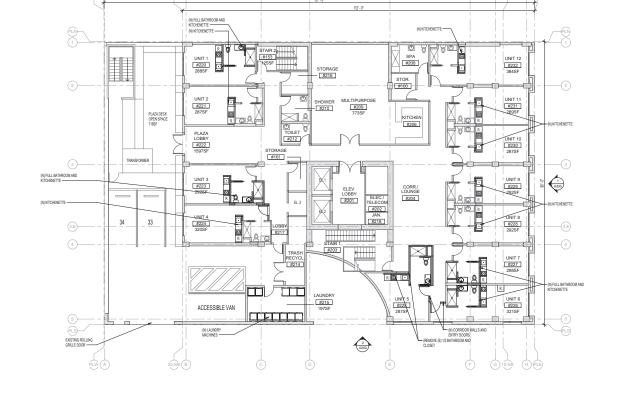
- MAYOR ED 13-01 PRIORITY PERMIT - ISSUE INFORMATION

- AB 2162 APPLICATION 05.12.2025

PLOT DATE: PROJECT NO: PHASE: SCALE:

LEVEL 02 FLOOR PLAN - - PROPOSED

- A112B



(E) PARTITION OR OTHER ELEMENT TO BE REMOVED



(E) PARTITION TO REMAIN





SSDP

1035 VAN NESS HOUSING 1035 VAN NESS, SAN FRANCISCO, CA

NOT FOR CONSTRUCTION

- MAYOR ED 13-01 PRIORITY PERMIT - ISSUE INFORMATION

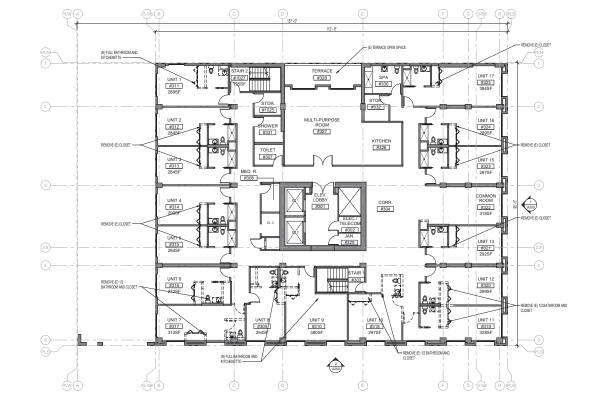
- AB 2162 APPLICATION 05.12.2025

PLOT DATE: PROJECT NO: PHASE: SCALE:

LEVEL 03 FLOOR PLAN

- - EXISTING

- A113A









SSDP



1035 VAN NESS HOUSING 1035 VAN NESS, SAN FRANCISCO, CA

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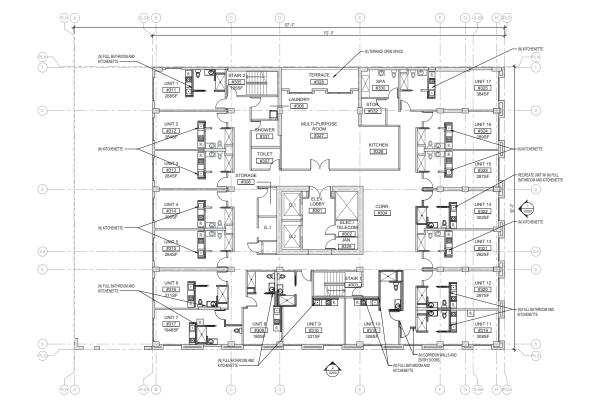
- AB 2162 APPLICATION 05.12.2025

PLOT DATE: PROJECT NO: PHASE: SCALE:

LEVEL 03 FLOOR PLAN

- - PROPOSED

- A113B



SSDP





1035 VAN NESS HOUSING 1035 VAN NESS, SAN FRANCISCO, CA

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- MAYOR ED 13-01 PRIORITY PERMIT - ISSUE INFORMATION

- AB 2162 APPLICATION 05.12.2025

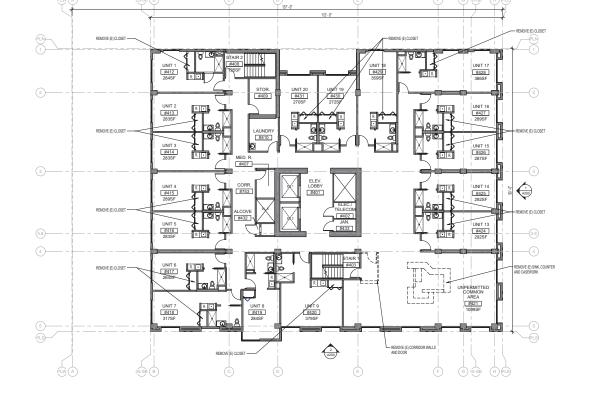
PLOT DATE: PROJECT NO: PHASE: SCALE:

LEVEL 04 FLOOR PLAN

- - EXISTING

- A114A







SSDP





1035 VAN NESS HOUSING 1035 VAN NESS, SAN FRANCISCO, CA

NOT FOR CONSTRUCTION

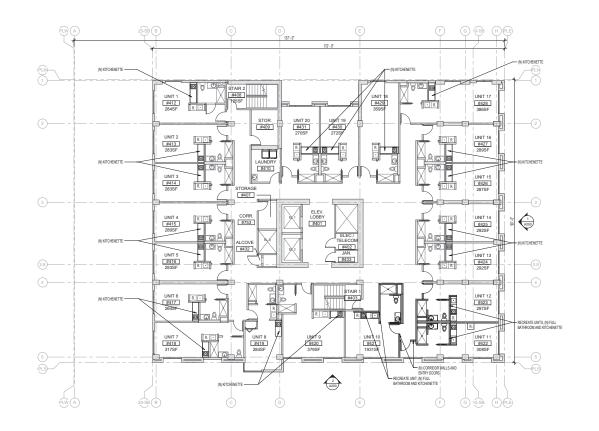
- MAYOR ED 13-01 PRIORITY PERMIT - ISSUE INFORMATION

- AB 2162 APPLICATION 05.12.2025

PLOT DATE: PROJECT NO: PHASE: SCALE:

LEVEL 04 FLOOR PLAN - - PROPOSED

- A114B









1035 VAN NESS HOUSING

1035 VAN NESS, SAN FRANCISCO, CA

NOT FOR CONSTRUCTION

- MAYOR ED 13-01 PRIORITY PERMIT - ISSUE INFORMATION

AB 2162 APPLICATION 05.12.2025

PLOT DATE: PROJECT NO:

PHASE: SCALE: LEVEL 05 FLOOR PLAN

- - EXISTING

- A115A









SSDP

SHEET NOTE ENTIRE 5TH FLOOR IS DEVOTED TO SUPPORTIVE SERVICES

1035 VAN NESS HOUSING 1035 VAN NESS, SAN FRANCISCO, CA

NOT FOR _ CONSTRUCTION

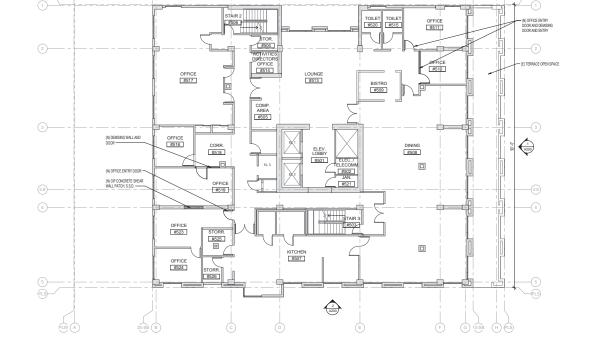
- MAYOR ED 13-01 PRIORITY PERMIT - ISSUE INFORMATION

AB 2162 APPLICATION 05.12.2025

PLOT DATE: PROJECT NO: PHASE: SCALE:

LEVEL 05 FLOOR PLAN - - PROPOSED

- A115B



SSDP



1035 VAN NESS HOUSING 1035 VAN NESS, SAN FRANCISCO, CA

NOT FOR CONSTRUCTION

- MAYOR ED 13-01 PRIORITY PERMIT - ISSUE INFORMATION

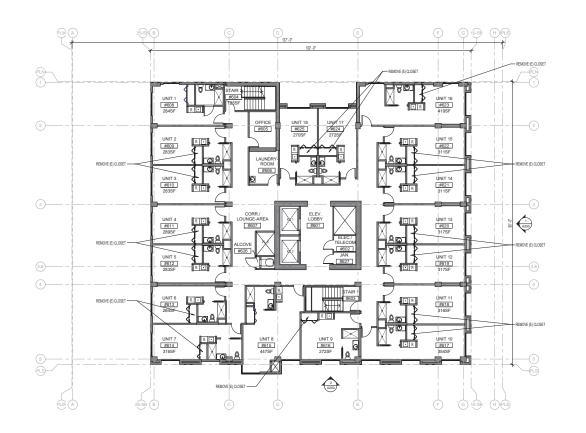
- AB 2162 APPLICATION 05.12.2025

PLOT DATE: PROJECT NO: PHASE: SCALE:

LEVEL 06 FLOOR PLAN - - EXISTING

- A116A





(E) PARTITION OR OTHER ELEMENT TO BE REMOVED



(E) PARTITION TO REMAIN





SSDP

1035 VAN NESS HOUSING 1035 VAN NESS, SAN FRANCISCO, CA

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- MAYOR ED 13-01 PRIORITY PERMIT - ISSUE INFORMATION

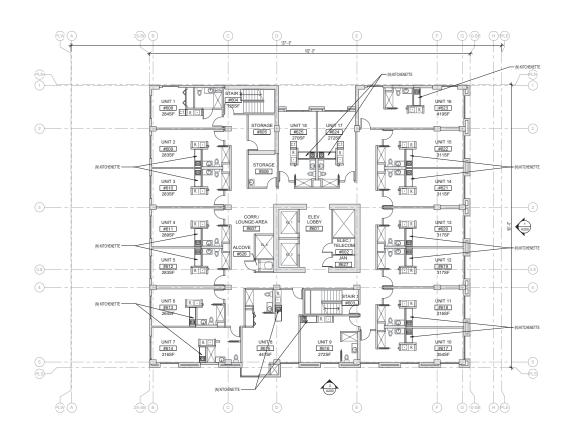
- AB 2162 APPLICATION 05.12.2025

PLOT DATE: PROJECT NO:

PHASE: SCALE:

LEVEL 06 FLOOR PLAN - - PROPOSED

- A116B



SSDP



1035 VAN NESS HOUSING 1035 VAN NESS, SAN FRANCISCO, CA

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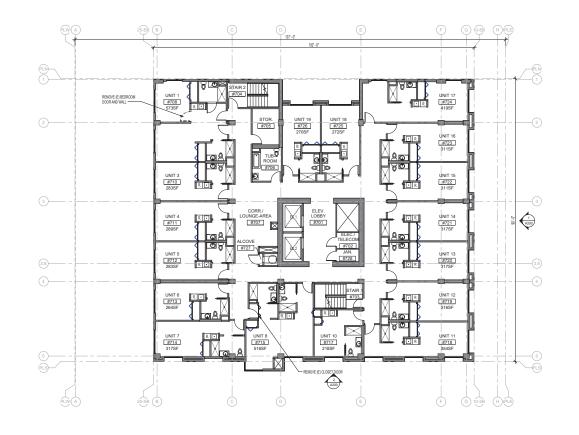
- AB 2162 APPLICATION 05.12.2025

PLOT DATE: PROJECT NO: PHASE: SCALE:

LEVEL 07 FLOOR PLAN

- - EXISTING

- A117A



(E) PARTITION OR OTHER ELEMENT TO BE REMOVED



(E) PARTITION TO REMAIN







SSDP

1035 VAN NESS HOUSING 1035 VAN NESS, SAN FRANCISCO, CA

NOT FOR CONSTRUCTION

- MAYOR ED 13-01 PRIORITY PERMIT - ISSUE INFORMATION

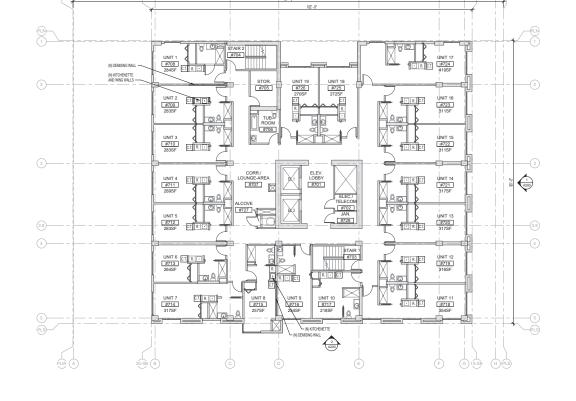
- AB 2162 APPLICATION 05.12.2025

PLOT DATE: PROJECT NO:

PHASE: SCALE:

LEVEL 07 FLOOR PLAN - - PROPOSED

- A117B





1035 VAN NESS HOUSING 1035 VAN NESS, SAN FRANCISCO, CA

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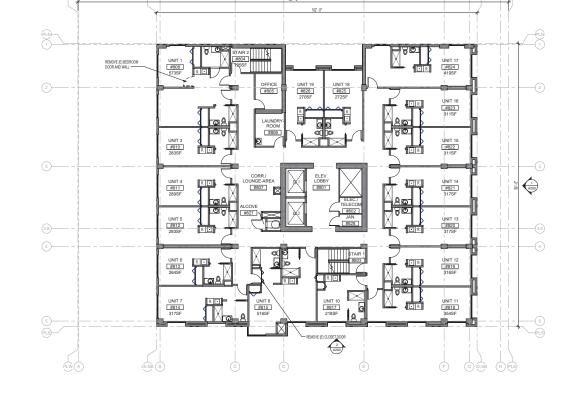
- AB 2162 APPLICATION 05.12.2025

PLOT DATE: PROJECT NO: PHASE: SCALE:

LEVEL 08 FLOOR PLAN

- - EXISTING

- A118A



G 10-SB H (PLE)

(E) PARTITION OR OTHER ELEMENT TO BE REMOVED



(E) PARTITION TO REMAIN







SSDP

1035 VAN NESS HOUSING 1035 VAN NESS, SAN FRANCISCO, CA

NOT FOR CONSTRUCTION

- MAYOR ED 13-01 PRIORITY PERMIT

- ISSUE INFORMATION - AB 2162 APPLICATION 05.12.2025

PLOT DATE: PROJECT NO:

PHASE: SCALE: LEVEL 08 FLOOR PLAN

- - PROPOSED

- A118B





UNIT 2 #809 283SF

#810 283SF

UNIT 4 #811 289SF

#812 283SF

UNIT 7 #814 317SF

5 — PLS—

UNIT 6 #813 264SF

#805

LAUNDRY-ROOM

CORR/ LOUNGE-AREA #807

UNIT 8 #815 257SF

UNIT 19 #826 270SF

ELEV. LOBBY #801

UNIT 10 #817 218SF

(N) KITCHENETTE N) DEMISING WALL 2 A200

UNIT 9 #816 254SF

UNIT 18 #825 272SF

G 10-SB H PLE

1 A200

UNIT 17 R C.T #824 419SF

UNIT 16 #823 311SF

UNIT 15 #822 311SF

UNIT 14 #821 317SF

UNIT 13 #820 317SF

#819 316SF

#818 354SF

G 10-SB H PLE

SSDP



1035 VAN NESS HOUSING 1035 VAN NESS, SAN FRANCISCO, CA

NOT FOR CONSTRUCTION

- MAYOR ED 13-01 PRIORITY PERMIT - ISSUE INFORMATION

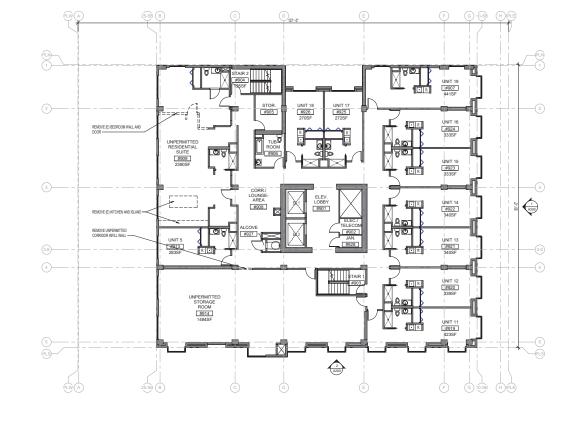
- AB 2162 APPLICATION 05.12.2025

PLOT DATE: PROJECT NO: PHASE: SCALE:

LEVEL 09 FLOOR PLAN

- - EXISTING

- A119A



C.T.

SSDP



1035 VAN NESS HOUSING 1035 VAN NESS, SAN FRANCISCO, CA

NOT FOR _ CONSTRUCTION

- MAYOR ED 13-01 PRIORITY PERMIT - ISSUE INFORMATION

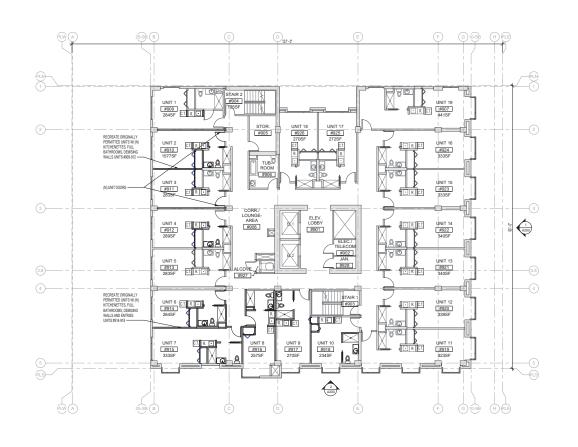
- AB 2162 APPLICATION 05.12.2025

PLOT DATE: PROJECT NO: PHASE: SCALE:

LEVEL 09 FLOOR PLAN - - PROPOSED

- A119B





1035 VAN NESS HOUSING 1035 VAN NESS, SAN FRANCISCO, CA

NOT FOR CONSTRUCTION

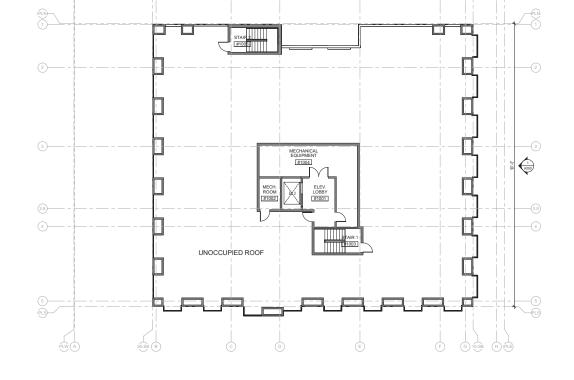
MAYOR ED 13-01
 PRIORITY PERMIT
 ISSUE INFORMATION

AB 2162 APPLICATION 05.12.2025

PLOT DATE: PROJECT NO: PHASE: SCALE:

ROOF PLAN - EXISTING

- A120A



G 10-SB H PLE

(E) PARTITION OR OTHER ELEMENT TO BE REMOVED



(E) PARTITION TO REMAIN

SSDP



1035 VAN NESS HOUSING

1035 VAN NESS, SAN FRANCISCO, CA

NOT FOR CONSTRUCTION

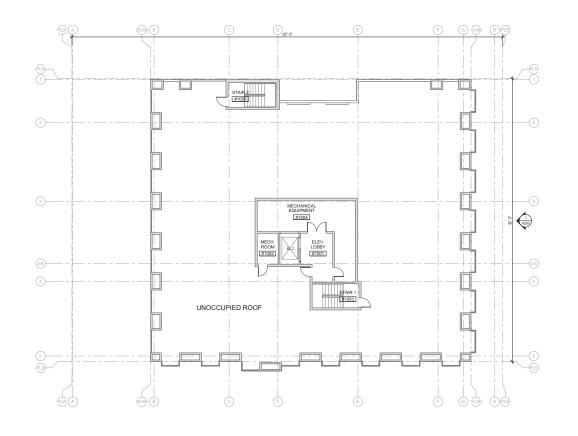
MAYOR ED 13-01
 PRIORITY PERMIT
 ISSUE INFORMATION

AB 2162 APPLICATION 05.12.2025

PLOT DATE: PROJECT NO: - PHASE: SCALE:

ROOF PLAN -- PROPOSED

_A120B



PENTHOUSE ROOF 9TH FLOOR 8TH FLOOR 7TH FLOOR 6TH FLOOR 5TH FLOOR 4TH FLOOR 3RD FLOOR 2ND FLOOR

NOTE: NO MODIFICATION IS PROPOSED ON EXTERIOR OF BUILDING



NO MODIFICATION IS PROPOSED ON EXTERIOR OF BUILDING

2 MYRTLE ST. ELEVATION (SOUTH) - EXISTING AND PROPOSED SCALE: 1/8" = 1'-0'







035 VAN NESS HOUSING 1035 VAN NESS, SAN FRANCISCO, CA

 $\overline{}$ NOT FOR _ CONSTRUCTION

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AB 2162 APPLICATION 05.12.2025

PLOT DATE: PROJECT NO: PHASE:

BUILDING ELEVATIONS & SECTIONS

A200