

File No. 160676

Committee Item No.
Board Item No. 66

COMMITTEE/BOARD OF SUPERVISORS

AGENDA PACKET CONTENTS LIST

Committee: _____
Board of Supervisors Meeting

Date: _____

Cmte Board

- Motion
- Resolution
- Ordinance
- Legislative Digest
- Budget and Legislative Analyst Report
- Youth Commission Report
- Introduction Form
- Department/Agency Cover Letter and/or Report
- MOU
- Grant Information Form
- Grant Budget
- Subcontract Budget
- Contract/Agreement
- Form 126 – Ethics Commission
- Award Letter
- Application
- Public Correspondence

OTHER

(Click the text below for a direct link to the document)

- Appeal Letter - June 4, 2016
- Public Comment Letter - Received July 14, 2016
- Updated Categorical Exemption - Received July 8, 2016
- Appellant support materials - Received July 8, 2016
- Project sponsor letter - Received July 5, 2016
- Clerical documents and hearing notices

Prepared by: John Carroll

Date: July 14, 2016

ZACKS, FREEDMAN & PATTERSON
A PROFESSIONAL CORPORATION

BOARD OF SUPERVISORS
SAN FRANCISCO

2016 JUN -3 PM 3:49

235 Montgomery Street, Suite 400
San Francisco, California 94104
Telephone (415) 956-8100
Facsimile (415) 288-9755
www.zfplaw.com

June 3, 2016

BY 20

VIA HAND DELIVERY

President London Breed
c/o Angela Calvillo, Clerk of the Board
San Francisco Board of Supervisors
1 Dr. Carlton B. Goodlett Place
City Hall, Room 244
San Francisco, CA 94102

Re: Appeal of CEQA Categorical Exemption Determination
Planning Case No. 2013.1383E
Building Permit Application Nos. 2013.12.16.4318 & 2013.12.16.4322
3516-3526 Folsom Street ("Project Site")

Dear President Breed and Honorable Members of the Board of Supervisors:

This office represents neighbors of the proposed project at 3516-3526 Folsom Street (BPA Nos. 2013.12.16.4318 & 2013.12.16.4322, the "Project"). The appellants—Bernal Heights South Slope Organization, Bernal Safe & Livable, Neighbors Against the Upper Folsom Street Extension, Marcus Ryu, and Ann Lockett—oppose the above-captioned Project, *inter alia*, on the grounds that the Project's categorical exemption ("CatEx") determination violates the California Environmental Quality Act ("CEQA").

Pursuant to San Francisco Administrative Code Section 31.16, Appellants hereby appeal the March 26, 2014 CatEx determination. A true and correct copy of the determination is attached hereto as **Exhibit A**. True and correct copies of the proposed Project plans are attached hereto as **Exhibit B**. A copy of this letter of appeal will be concurrently submitted to the Environmental Review Officer.

This appeal is supported by a large number of community organizations and hundreds of neighbors. True and correct copies of letters of support for this appeal, and in opposition to the Project, are attached as **Exhibit C**—including the Sierra Club and the Bernal Heights Democratic Club.

The Project received a CatEx under CEQA Guidelines Section 15303(a), a "Class 3 exemption" for "construction of up to three single-family residences." However, Class 3 exemptions "are qualified by consideration of where the project is to be located—a project that is ordinarily insignificant in its impact on the environment may in a particularly sensitive environment be significant." Cal. Code Regs. tit. 14, § 15300.2(a). Moreover, "[a]ll exemptions

Hon. London Breed
June 3, 2016
Page 2

for these classes are inapplicable when the cumulative impact of successive projects of the same type in the same place, over time is significant." Cal. Code Regs. tit. 14, § 15300.2(b). Lastly, "[a] categorical exemption shall not be used for an activity where there is a reasonable possibility that the activity will have a significant effect on the environment due to unusual circumstances." Cal. Code Regs. tit. 14, § 15300.2(c).

This Project is not merely the construction of two single-family homes. The Project Site is unusual and highly sensitive to environmental impacts—located over one of San Francisco's three primary natural gas transmission lines, inaccessible to emergency response vehicles, adjacent to the Bernal Heights Community Garden, including a proposal for the steepest street with driveways in the City, and with utilities to be installed for *six* houses.

The Project implicates a number of adverse environmental impacts beyond what would usually be expected from the construction of two single-family homes, including but not limited to:

- The Project ultimately consists of six new single-family residences. It includes two proposed houses with a new street adjoining four additional undeveloped lots. Property owners of the other undeveloped lots have publicly stated their intent to build houses on these properties once the Project is approved, and the Project proposes to install utilities to the six vacant lots for that purpose.
- The proposed Project is in a hazardous area, including one of the City's three primary gas transmission lines. This rare locale is unlike other sites where the City's gas transmission pipelines run. In 1989, the Department of Public Works replied to an inquiry by stating, "It was too dangerous to ever develop." It is the only High-Consequence Risk Area in San Francisco where a vintage, 26-inch PG&E gas transmission pipeline is unprotected by asphalt—shallowly buried under soil at an undetermined depth—for 125 feet as it runs up a steeply pitched hillside before it reenters the protection of an asphalt street-cover on Bernal Heights Boulevard. The cumulative effects of six new houses, a new non-conforming street, and repeated earth moving equipment next to, over, and near the aging pipeline on a radically steep slope pose a significant threat to public safety.
- According to UC Berkeley pipeline safety expert Professor Robert Bea, the list of concerns regarding this particular section of PG&E Gas Transmission Pipeline 109 is "identical" to the causes leading to the San Bruno explosion.
- PG&E's troubling pattern of lost records, credibility, and misinformation poses a significant concern given the unique location of this section of PG&E Gas Transmission Pipeline 109. PG&E has failed to produce records of original welds and past maintenance—all precipitating reasons behind the catastrophic San Bruno blast. Although PG&E maintains there has been regular surveillance of this undeveloped area

for hazardous encroachments, a large pine tree grows directly over the pipeline—violating PG&E’s own pipeline-safety guidelines.

- PG&E’s maintenance efforts do not ensure against accidental rupture due to earth movement during construction, a common cause of pipeline explosions. The transmission pipeline has a reduced pressure load due to concerns about its age and integrity. PG&E has failed to produce records of original welds and past maintenance, which would determine if the pipeline could better withstand earth-movement construction activity and heavy-duty equipment in close proximity and moving directly over it.
- The Project’s sidewalk and landscape plans violate PG&E’s Safety Guidelines by proposing to plant trees directly over the pipeline. According to a study commissioned by PG&E, 90 percent of all trees growing within five feet of pipelines cause damage to a pipeline’s protective covering, underscoring the Planning Department’s disregard for the Project’s safety impacts.
- The Project’s proposed steep street poses a significant public safety threat because it cannot be graded down to allow for emergency vehicle access, due to the pipeline’s location. The pitch of the street will likely be greater than 37 percent due to clearance requirements between transmission pipelines and utilities, making it among the steepest urban streets in the world. It is substandard in width, yet it includes no turnaround.
- The Project Site’s proposed steep street presents a significant threat to drivers and residents. It is too pitched and too narrow for cars to turn around. Vehicles will have to back down into a blind residential intersection. It is located on a major cross-City thoroughfare, Folsom Street. Drivers often drive up this part of Folsom Street in the mistaken belief it will take them directly downtown.
- The two existing homes’ driveways and parking (located below the Project Site) will be functionally eliminated, as the new street extension will cut through them at an incompatible slope and elevation. Likewise, the proposed new houses lack functional parking due to the proposed street’s nonconformities. The Project’s steep street plans contain dangerous break-over angles and nonfunctional access to the existing and proposed garages. The result will be a substantial impact on community parking and traffic. Additionally, senior residents who rely on their homes’ existing off-street parking will lose their mobility.
- The proposed street will not be an “accepted” street by the City but rather will require maintenance by the existing fronting homeowners—who do not want the street or the related liability. Liability issues and future responsibility for maintenance are unclear in cases of accidents caused by the steepness of the street and sidewalk.

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- The Projects have no on-street parking; the cumulative effects of eight houses in a row with no on-street parking and no functional off-street parking will be seriously detrimental to the traffic and parking in this area of congested narrow streets. Delivery trucks, construction vehicles, and visitors will be forced to park at the base of the street—blocking both the intersection of Chapman and Folsom Streets and access to Upper Banks, Nevada, Prentiss, and Chapman Streets. This is the only viable vehicular entry to the houses in this area. The other, via Prentiss Street, is so steep that fire trucks, construction vehicles, and delivery trucks often get stuck using it.
- Bernal Heights Park’s limited public parking—and the Community Garden’s parking, adjacent to the Project along Bernal Heights Boulevard—will be significantly impacted by construction and delivery parking, as well as residents’ and visitors’ parking.
- The Project will cast significant shadow on the Bernal Heights Community Garden and will block light to adjacent properties.
- The Project’s lack of on-street parking will significantly impact the “wheel-chair friendly” status of Bernal Heights Park. This particular area on Bernal Heights Boulevard will become permanent parking for the Project’s residents, visitors, delivery trucks, and additional cars. There is already limited available flat parking space for the wheel-chair-enabled to park.
- The Project’s lack of planning for garbage, recycling, and compost pickup will create a significant public health impact. Although not provided for in the Project, pickup will likely be located far below on the sidewalk at the bottom of the proposed new street—in front of current residents’ homes on Folsom and Chapman.
- Drainage, including run-off from the Community Garden at the top of the Project area, will be significantly impacted by the introduction of the proposed street.
- The Project would create a wall blocking significant public vistas from Bernal Heights Boulevard.
- The Project does not comply with existing law or design guidelines, including but not limited to the East Slope Design Guidelines governing articulation, massing, privacy, and setbacks. For this reason, the East Slope Design Review Board filed a request for Discretionary Review of the Project with the Planning Commission. In total, the Project was subject to 19 requests for Discretionary Review.
- If allowed to proceed without the legally required environmental review, the Project will forever alter the unique, rural and special character of this particular piece of

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undeveloped land. The effect will be to ruin, negate and destroy the neighborhood's distinctive natural beauty, in violation of applicable law.

The Project is not rightly subject to a CatEx under Guidelines Section 15303(a) because the Project will likely have significant unmitigated environmental impacts that have not been analyzed by the City. While the CatEx states that "there are no unusual circumstances surrounding the current proposal that would suggest a reasonable possibility of a significant effect," the CatEx solely evaluated geotechnical impacts. It contained no review whatsoever of the other significant adverse impacts and is therefore fatally defective.

Appellants reserve the right to submit additional written and oral comments, bases, and evidence in support of this appeal to the City up to and including the final hearing on this appeal and any and all subsequent permitting proceedings or approvals for the Project. Appellants request that this letter and exhibits be placed in and incorporated into the administrative record for Case No. 2013.1383E.

Appellants respectfully request that the Board of Supervisors revoke the CatEx determination and require further environmental review pursuant to CEQA. If the CatEx determination is upheld, Appellants are prepared to file suit to enforce their and the public's rights.

Very truly yours,

ZACKS, FREEDMAN & PATTERSON, PC



Ryan J. Patterson
Attorneys for Marcus Ryu

cc: Environmental Review Officer
San Francisco Planning Department
1650 Mission Street, Suite 400
San Francisco, CA 94103
Sarah.B.Jones@sfgov.org

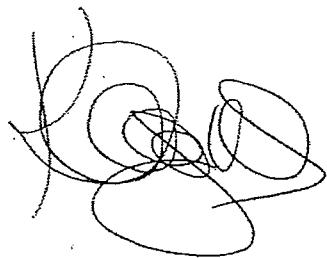
Encl.

June 3, 2016

To Whom It May Concern:

We hereby authorize Zacks, Freedman & Patterson, PC to file an appeal on our behalf of the CEQA Categorical Exemption Determination for Building Permit Application Nos. 2013.12.16.4318 & 2013.12.16.4322 (3516-3526 Folsom Street, San Francisco; Case No. 2013.1383E).

Signed,

A handwritten signature in black ink, appearing to read "Kathy Angus", is written over a large, loose, circular scribble.

Bernal Heights South Slope Organization
By: Kathy Angus

100-20000

100-20000

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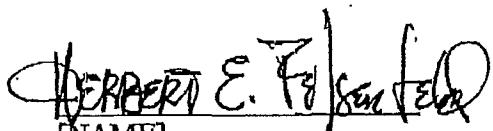
100-20000

June 1, 2016

To Whom It May Concern:

We hereby authorize Zacks, Freedman & Patterson, PC to file an appeal on our behalf of the CEQA Categorical Exemption Determination for Building Permit Application Nos. 2013.12.16.4318 & 2013.12.16.4322 (3516-3526 Folsom Street, San Francisco; Case No. 2013.1383E).

Signed,


[NAME]

Neighbors Against The Upper Folsom Street Extension

May 31, 2016

To Whom It May Concern:

I hereby authorize Zacks, Freedman & Patterson, PC to file an appeal on my behalf of the CEQA Categorical Exemption Determination for Building Permit Application Nos. 2013.12.16.4318 & 2013.12.16.4322 (3516-3526 Folsom Street, San Francisco; Case No. 2013.1383E).

Signed,


Marcus Ryu
55 Gates Street
San Francisco, CA

4423

Exhibit A



SAN FRANCISCO PLANNING DEPARTMENT

Certificate of Determination Exemption from Environmental Review

Case No.: 2013.1383E
Project Title: 3516 and 3526 Folsom Street
Zoning: RH-1 (Residential – House, One Family) Use District
40-X Height and Bulk District
Block/Lot: 5626/013 and 5626/014
Lot Size: 1,750 square feet (each lot)
Project Sponsor: Fabian Lannoye, Bluorange Designs, (415)533-0415
Staff Contact: Heidi Kline – (415) 575-9043, Heidi.Kline@sfgov.org

1650 Mission St
Suite 400
San Francisco,
CA 94103-2479

Reception:
415.558.6378

Fax:
415.558.6409

Planning
Information:
415.558.6377

PROJECT DESCRIPTION:

The proposed project would allow the construction of two 3,000-square-foot single-family residences on two vacant lots. Each residence would be two stories over a basement and measure 27 feet in height from the lowest to highest portion of the structure. The project is located within the Bernal Heights neighborhood, on the west side of Folsom Street at its terminus west of Chapman Street.

EXEMPT STATUS:

Categorical Exemption, Class 3 (California Environmental Quality Act (CEQA) Guidelines Section 15303(a)

REMARKS:

See next page.

DETERMINATION:

I do hereby certify that the above determination has been made pursuant to State and local requirements.

Sarah Jones

Environmental Review Officer

Date

cc: Fabian Lannoye, Project Sponsor
Ben Fu, Current Planning

Supervisor David Campos, District 9

Project Approvals

- Zoning Administrator approval of a variance from tandem parking requirements in the Bernal SUD district in Section 242 of the San Francisco Planning Code.
- Building Permit from the San Francisco Department of Building Inspection.

Approval Action: The proposed project is subject to notification under Section 311 of the Planning Code. If discretionary review before the Planning Commission is requested, the discretionary review hearing is the Approval Action for the project. If no discretionary review is requested, the issuance of a building permit by DBI is the Approval Action. The Approval Action date establishes the start of the 30-day appeal period for this CEQA exemption determination pursuant to Section 31.04(h) of the San Francisco Administrative Code.

REMARKS:

Geotechnical. The dimensions of each lot are 25 feet wide by 70 feet deep. Both lots have an approximately 32 percent slope from the north to south side of the lot. Each residence would be constructed on a flat building pad with concrete retaining walls used in the front and rear yard areas to provide access to the garage and create usable outdoor living areas. The buildings would be constructed using a spread footing and/or mat foundation, requiring excavation several feet in depth.

A geotechnical report was prepared for each of the two proposed residences (3516 and 3526 Folsom Street) and includes information gathered from a site reconnaissance by the geotechnical engineer and two soil borings, one on each lot.¹ Both borings encountered 3 to 4 feet of stiff clay and sandy soil over chert bedrock. No groundwater was encountered, though based on the hillside location and soil and bedrock morphology it is possible that groundwater seepage from offsite irrigation could be encountered during excavation on the project site.

The geotechnical reports include the same evaluation and recommendations given the adjacency of the two lots and similar geotechnical/geological site conditions. The project site was evaluated for potential liquefaction, landslides, surface rupture, lateral spreading, and densification and was found to have a low risk. The geotechnical reports indicate the project site is not within an identified landslide or liquefaction zone as mapped by the California Divisions of Mines and Geology.² The project site is in an area that would be exposed to strong earthquake shaking. However, the 2013 San Francisco Building Code (Building Code) requires the Site Classification and Values of Site Coefficients be used in the design of

¹ H. Allen Gruen, *Report Geotechnical Investigation Planned Residence at 3516 Folsom Street*, and *Report Geotechnical Investigation Planned Residence at 3526 Folsom Street*, August 3, 2013. Copies of these documents are available for public review at the San Francisco Planning Department, 1650 Mission Street, Suite 400, as part of Case File No. 2013.1383E.

² California Department of Conservation, Seismic Hazard Zones, City and County of San Francisco, November 17, 2000. Available online at http://gmw.consrv.ca.gov/shmp/download/quad/SAN_FRANCISCO_NORTH/maps/ozn_sf.pdf. Accessed December 18, 2013.

new structures to minimize earthquake damage. The geotechnical reports include seismic design parameters for use in the project design by the structural engineer, in compliance with the Building Code, during the Department of Building Inspection (DBI) building permit plancheck process.

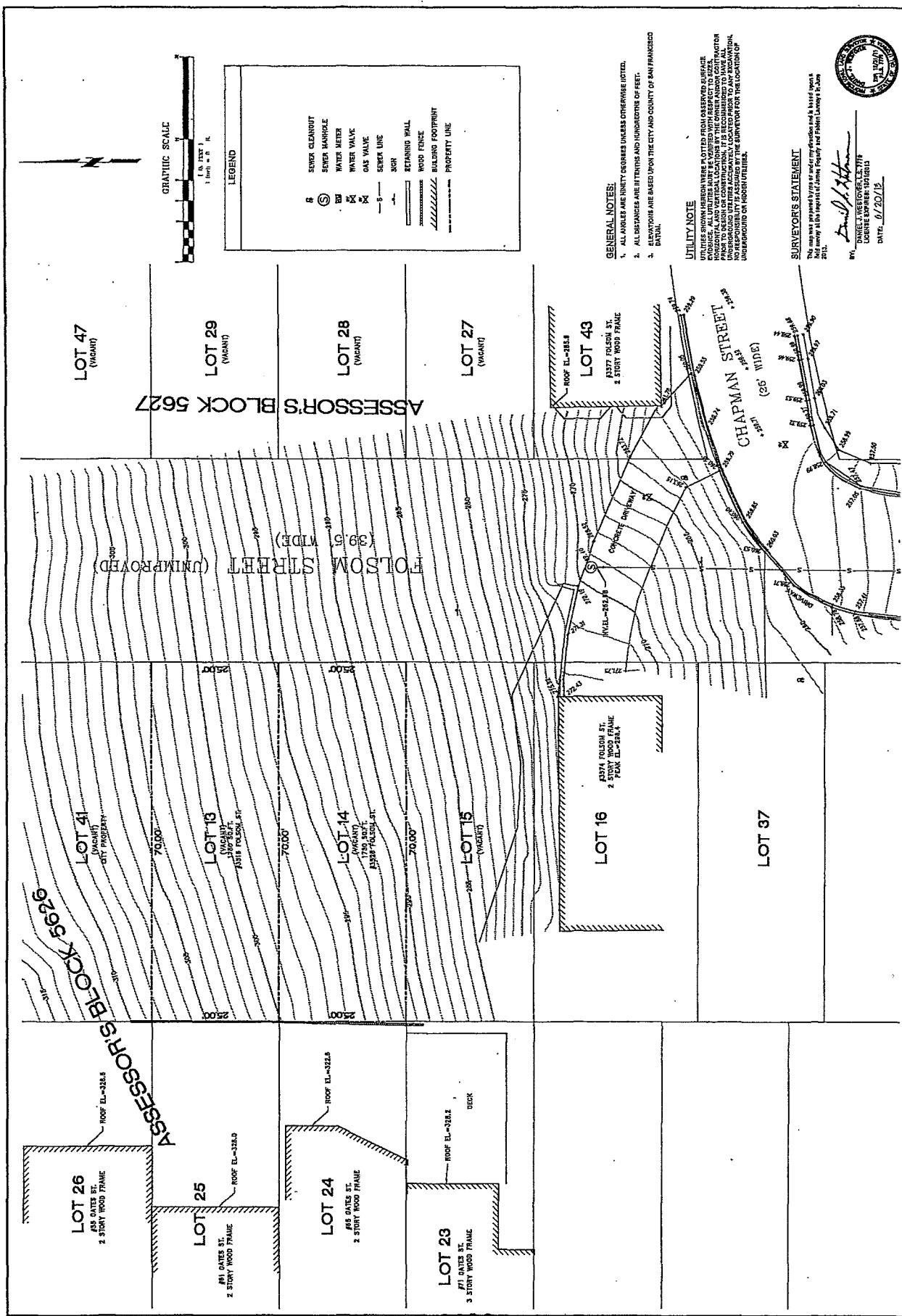
Both geotechnical reports conclude that the proposed improvements could be safely supported using a spread footing and/or mat building foundation, provided adherence to the site preparation and foundation design recommendations included in the reports. The project sponsor has agreed to adhere to the recommendations and incorporate the foundation design parameters into the plans submitted for the building permit plancheck process, subject to final review by DBI. Thus, the proposed project would have no significant geotechnical impacts.

Exemption Class. Under CEQA State Guidelines Section 15303(a), or Class 3(a), construction of up to three single-family residences is exempt from environmental review. The proposed project includes the proposed construction of two 3,000-square-foot single-family residences. In addition, the project site is not located in a particularly sensitive or hazardous area. Therefore, the proposed project would be exempt from environmental review under Class 3(a).

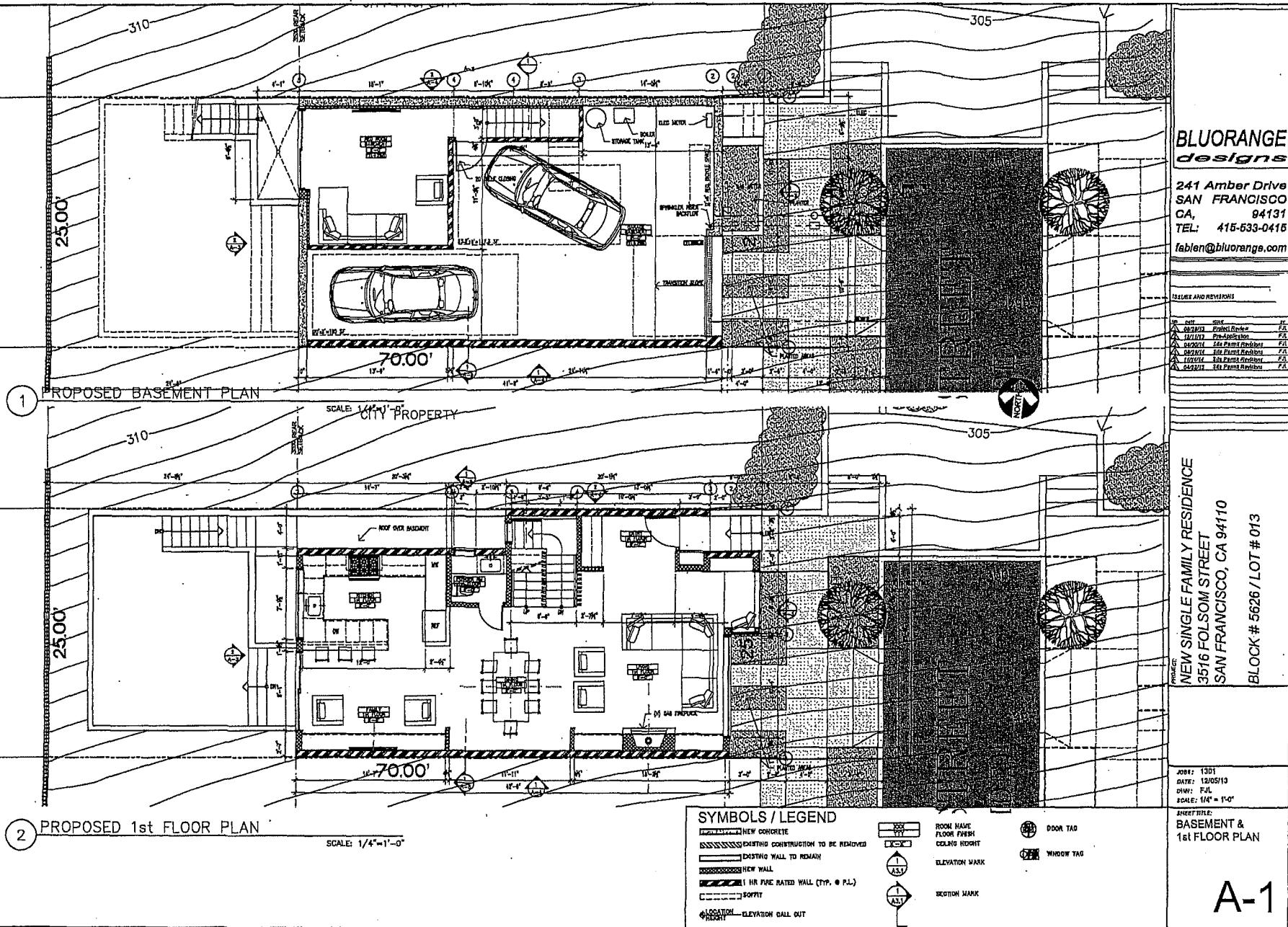
Summary. CEQA State Guidelines Section 15300.2 states that a categorical exemption shall not be used for an activity where there is a reasonable possibility that the activity will have a significant effect on the environment due to unusual circumstances. There are no unusual circumstances surrounding the current proposal that would suggest a reasonable possibility of a significant effect. The proposed project would not have significant geotechnical or other environmental effects. The project would be exempt under the above-cited classification. For the above reasons, the proposed project is appropriately exempt from environmental review.

Exhibit B

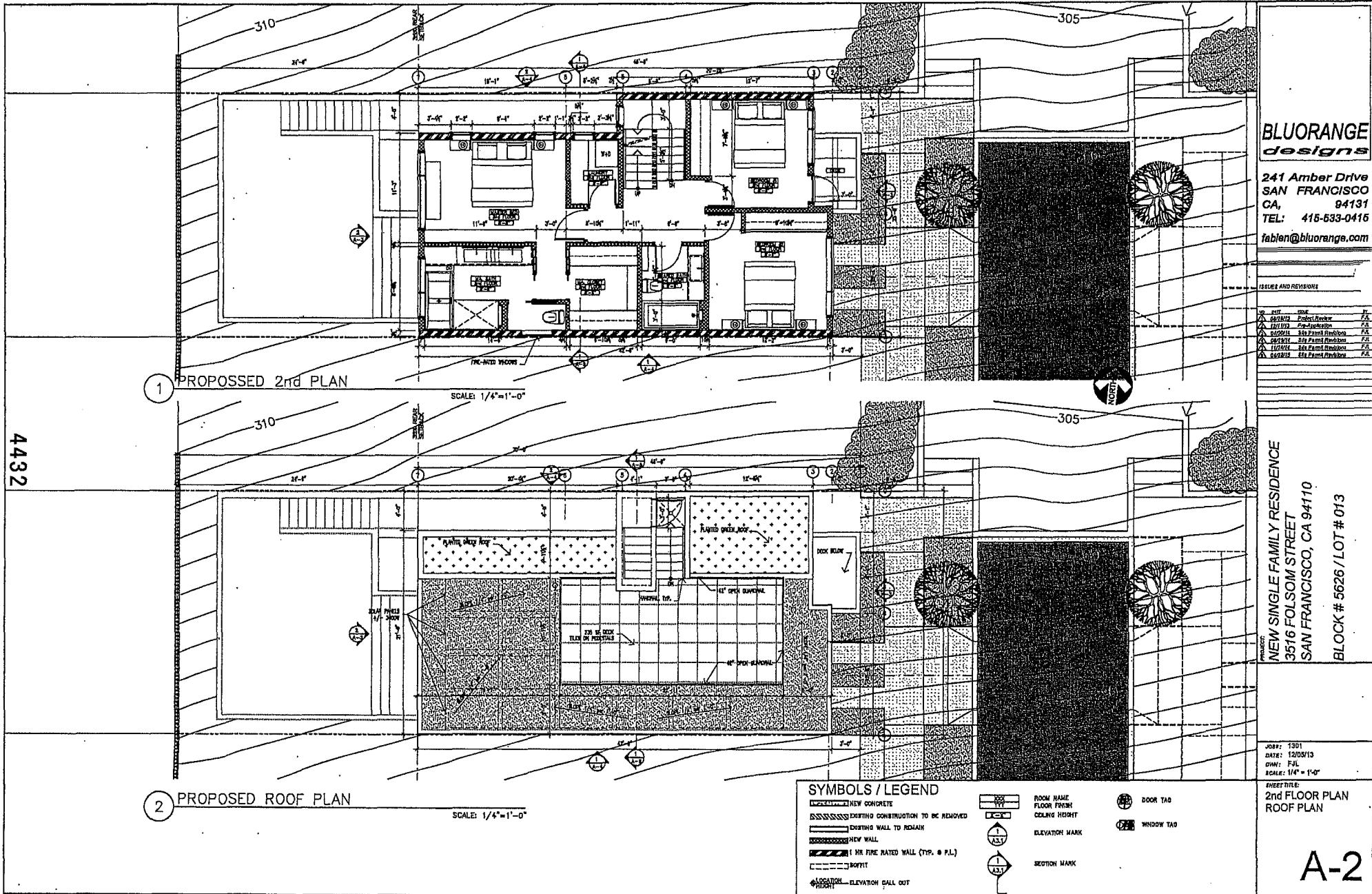
SHEET INDEX:		RESIDENTIAL REMODEL:		OCCUPANCY LOADS:						VICINITY MAP:			
NO. CONTENTS		Basement: 3 Car Garage Rec Room First Floor: Entry Living Room Dining Room Kitchen Powder Room Master Suite 2 Bedrooms 1 shared bathroom Laundry Stairs to roof deck Roof Deck		FLOOR OCCUP. AREA. OCCUP LOAD FACTOR OCCUP. LOAD REQUIRED MEANS OF EGRESS									
A-0 Title Sheet, Plot Plan T-1 Topographic Survey A-1 Proposed Basement + 1st Floor Plans A-2 Proposed 2nd Floor and Roof Plans A-3 Street (East) and Rear (West) Elevations A-4 Proposed North and South Elevations A-5 Proposed Sections A-6 Mass Reduction + Gross Area C-4 Greenpoints		Second Floor: 1st Floor R-3 892 S.F. 200 5 1											
		2nd Floor: R-3 870 S.F. 200 5 1											
		Roof Deck: R-3 235 S.F. 200 2 1											
		Total Liv. Space: 1,991 S.F. 14											
PROJECT INFORMATION													
PROJECT ADDRESS: 3516 Folsom Street, San Francisco, CA 94110 BLOCK / LOT: 5626 / 013 ZONING DISTRICT: RH-1 HEIGHT/BULK UNITS: 30'-X OCCUPANCY: R-3 Single Residential Unit CONSTRUCTION: U-1 Garage TYPE: V-B				APPLICABLE CODES: 2013 California Building, Mechanical, Electrical and Fire Code w/ San Francisco Amendments 2013 California Electrical Code 2010 California Energy Code + All other state and local ordinances and regulations				PROJECT DESCRIPTION: NEW SINGLE FAMILY RESIDENCE, 2 STORY OVER BASEMENT SEPARATE PERMIT REQUIRED: SPRINKLER ALL FLOORS WITH NFPA 130 SPRINKLER					
SITE PLAN 1/8"=1'-0" LOT 26 4 4129 LOT 25 1# GATES ST. 2 STORY WOOD FRAME													
LOT 24 1# GATES ST. 2 STORY WOOD FRAME ROOF EL=322.8		LOT 23 5 ST. D FRAME DECK ROOF EL=328.2											
LOT 16 3516 FOLSOM ST.		LOT 15 (VACANT) 1750 SF. 3532 FOLSOM ST.											
LOT 43		LOT 27 (VACANT) NORTH											
LOT 28 (VACANT)		LOT 29 (VACANT) 2 car garage required											
LOT 47 (VACANT)		LOT 20 DATA: Zoning: RH-1 CU Section 242 Bernal Heights 30'-0" Maximum Height 24'-6" Minimum Rear Yard Type V-B Construction R-3 Occupancy Single Family Residence 2 Story over Basement House Gross Area: Basement: 285.7 S.F. 1st Floor: 892.0 S.F. 2nd Floor: 950.0 S.F. Total: 2,227.7 S.F. Mass Reduction per Sect 242(e)(3): 650 S.F. REQUIRED Basement: 50.0 S.F. 1st Floor: 140.0 S.F. 2nd Floor: 179.9 S.F. 3rd Floor: 486.7 S.F. Total: 656.6 S.F. Mass Reduction Proposed											
LOT 41 (VACANT)		LOT 40 PROJECT: NEW SINGLE FAMILY RESIDENCE 3516 FOLSOM STREET SAN FRANCISCO, CA 94110 BLOCK # 5626 / LOT # 013											
LOT 26		LOT 42 JOB #: 1301 DATE: 12/05/13 DIV#: FJL SCALE: AS NOTED SHEET TITLE: COVER SHEET A-0											



443-



A-1



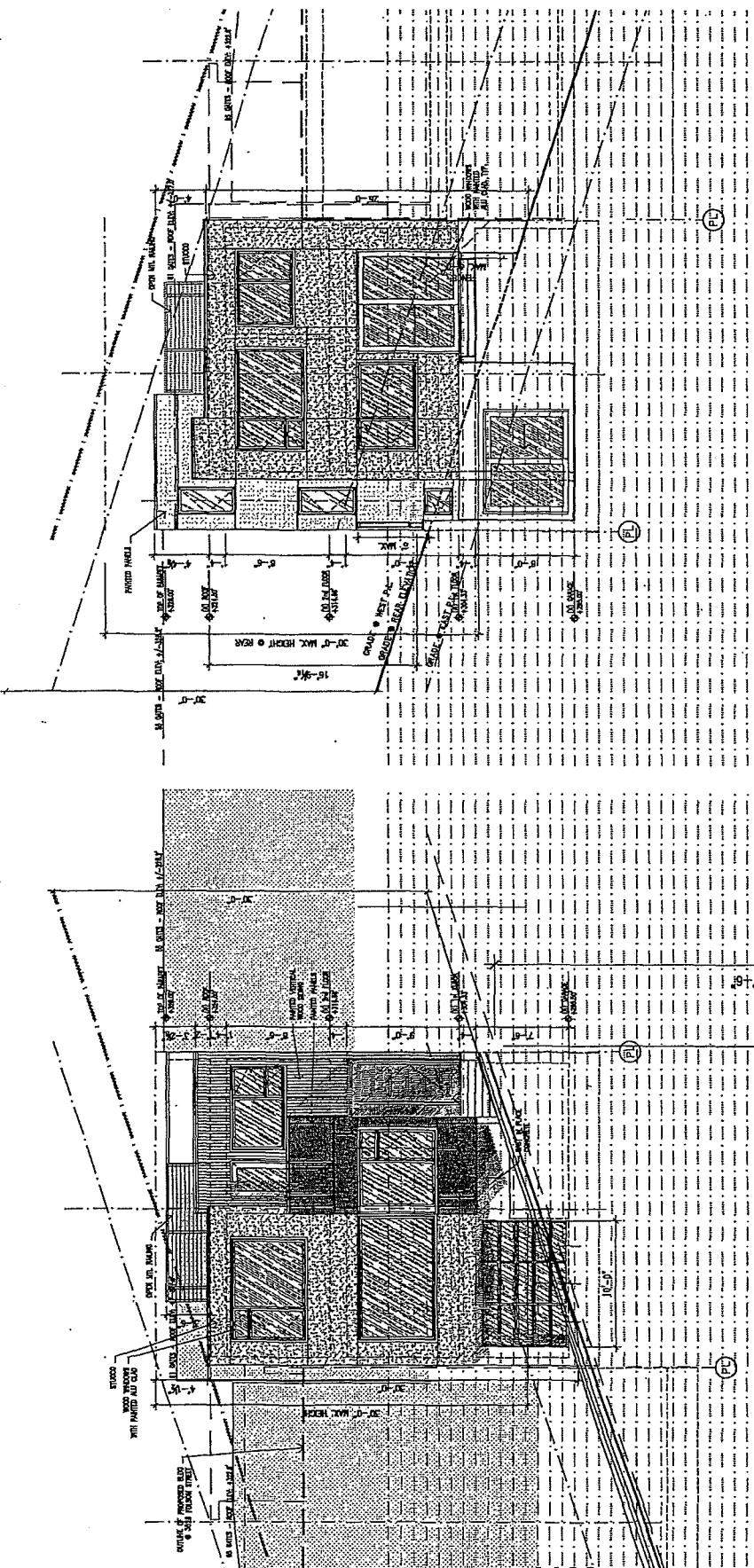
BLUORANGE
designs

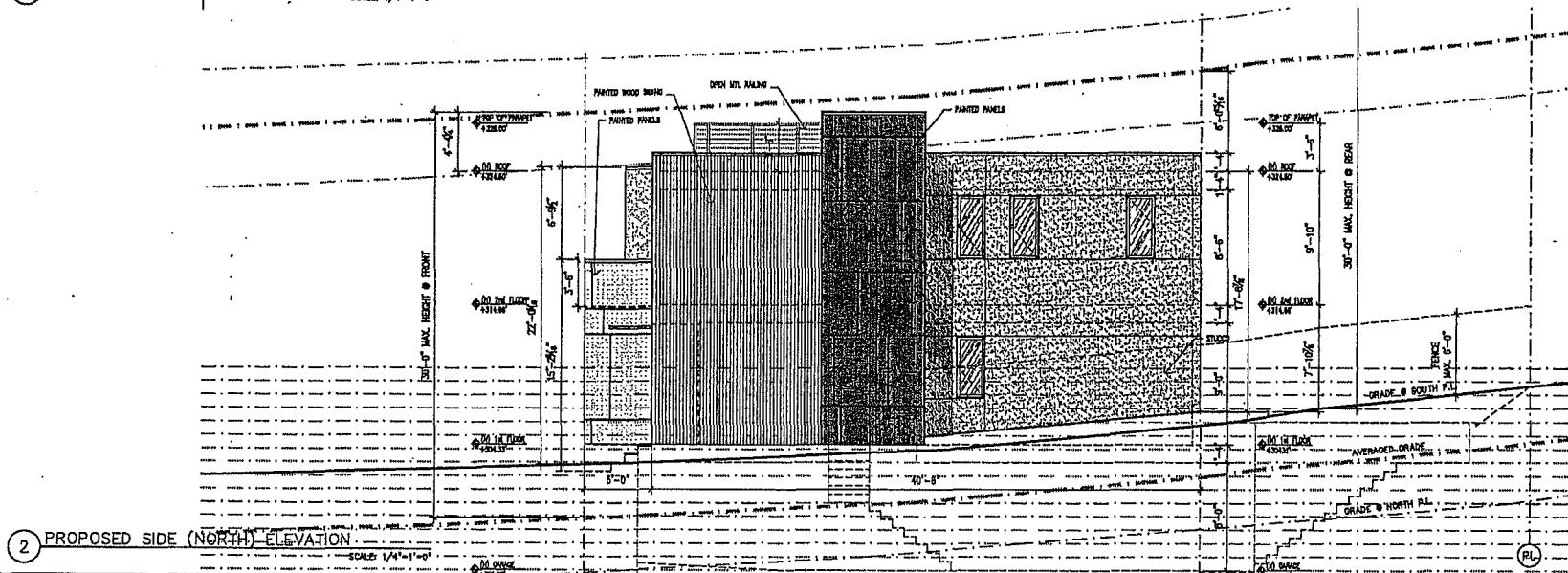
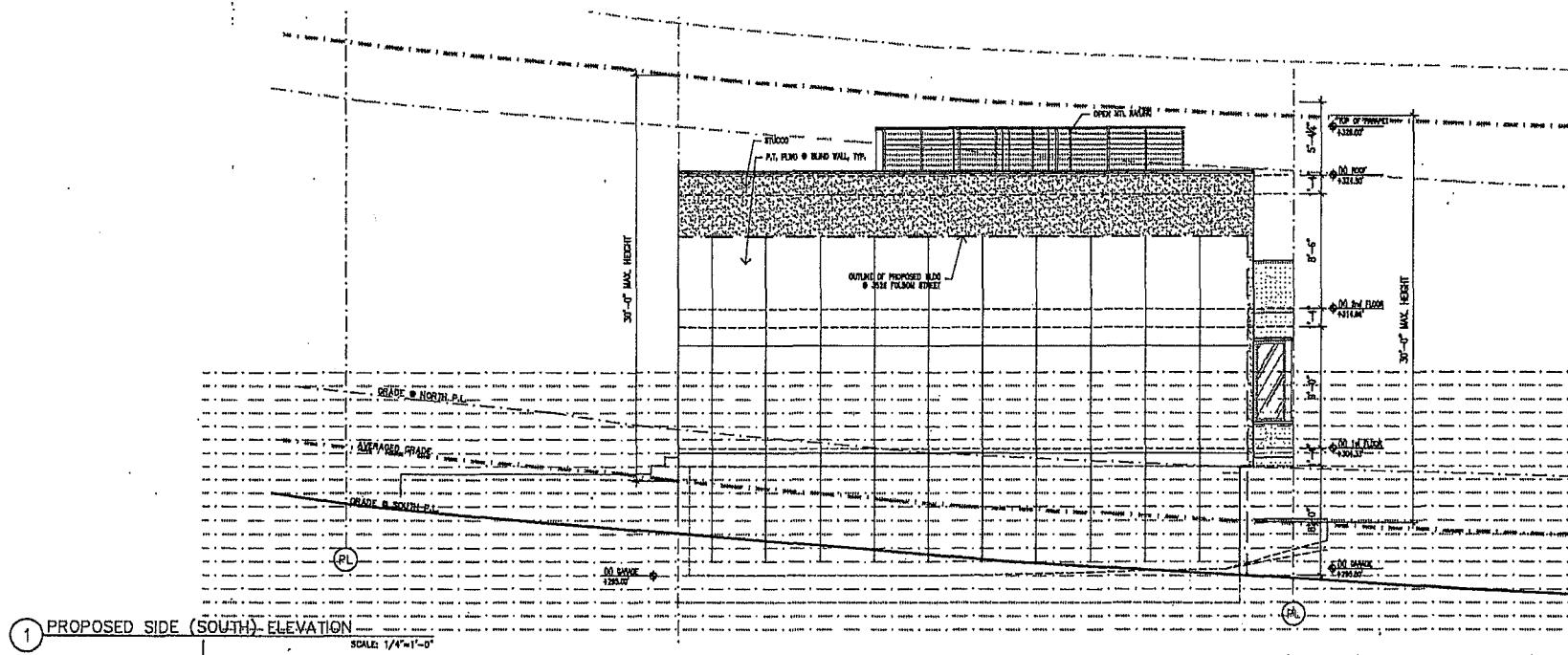
2411 Amber Drive
SAN FRANCISCO
CA, 94131
TEL: 415-633-0416
fabien@bluorange.com

NEW SINGLE FAMILY RESIDENCE
3516 FOLSOM STREET
SAN FRANCISCO, CA 94110
BLOCK # 5626 / LOT # 013

DATE: 12/15/13
DRAW: Ed
SCALE: 1/4"=1'-0"
Elevation
EAST & WEST
ELEVATIONS

A-3





BLUORANGE
designs

241 Amber Drive
SAN FRANCISCO
CA, 94131
TEL: 415-533-0415
fabien@bluorange.com

ISSUES AND REVISIONS

40	DATE	2005	PR
1	04/21/13	Project Review	F.I.
2	12/1/13	Pre-application	F.I.
3	04/09/14	See Permit Requests	F.R.
4	04/27/14	See Permit Requests	F.R.
5	11/1/14	See Permit Requests	F.R.
6	04/22/15	See Permit Requests	F.R.

PROJECT: NEW SINGLE FAMILY RESIDENCE
3516 FOLSOM STREET
SAN FRANCISCO, CA 94110

Job# 1301
DATE 12/05/13
DRAW: FJL
SCALE: 1/4" = 1'-0"

**PROPOSED NORTH
+ SOUTH ELEVATION**

A-4

BLUORANGE
designs

241 Amber Drive
SAN FRANCISCO
CA, 94131
TEL: 415-533-0416
fabien@bluorange.com

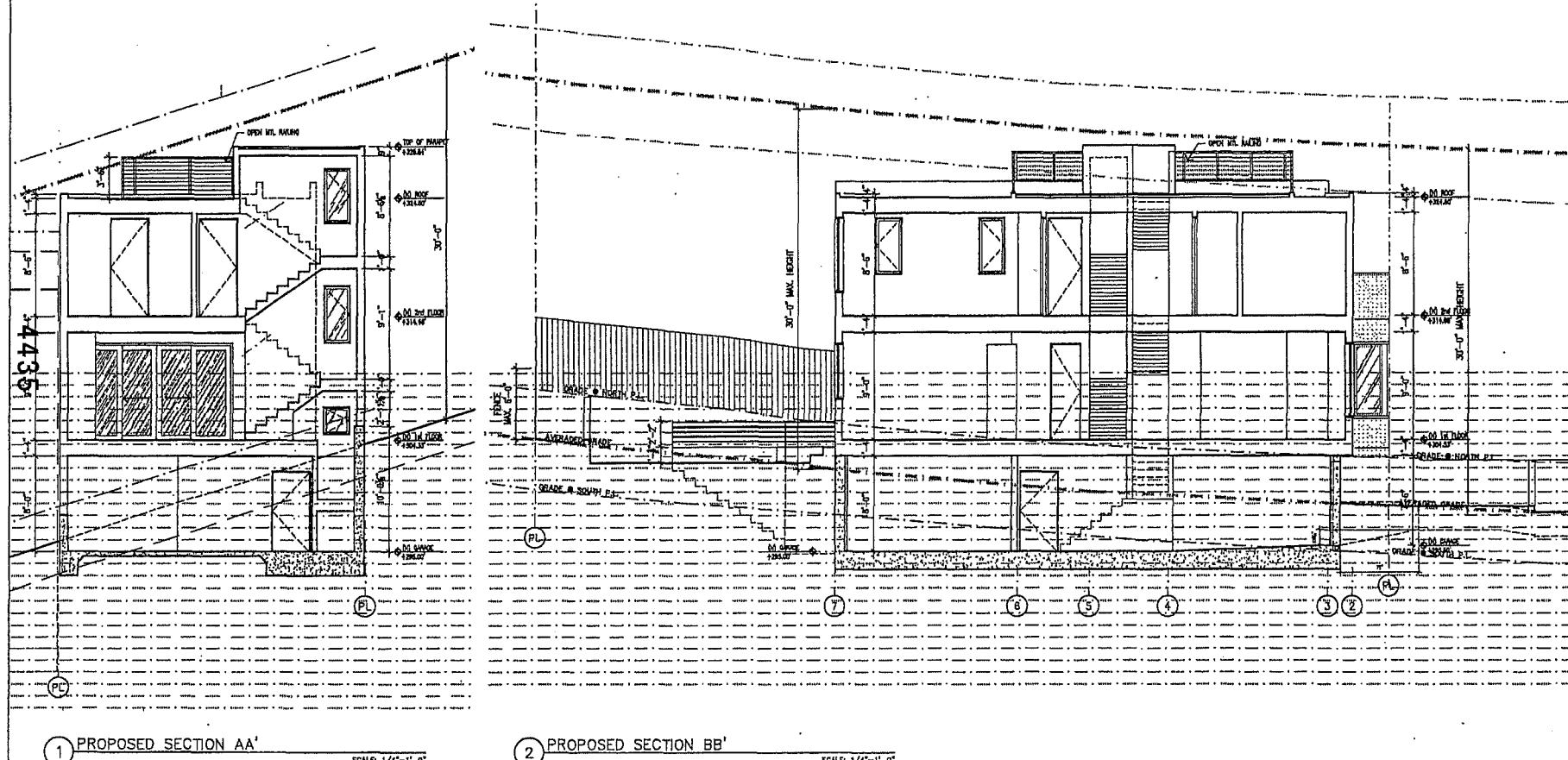
ISSUES AND REVISIONS

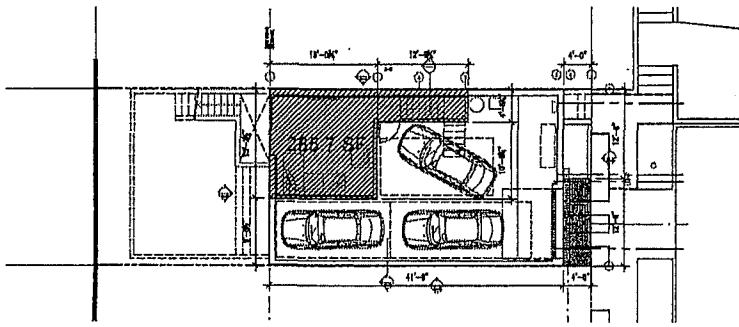
NO	DATE	TYPE	REV
0828/13	Project Review	FA	
0829/13	1st Floor Review	FA	
0829/13	1st Floor Review	FA	
0829/13	2nd Floor Review	FA	
0829/13	2nd Floor Review	FA	
0829/13	2nd Floor Review	FA	
0829/13	2nd Floor Review	FA	

PROJECT
NEW SINGLE FAMILY RESIDENCE
3516 FOLSOM STREET
SAN FRANCISCO, CA 94110
BLOCK # 5626 / LOT # 013

JOB #: 1302
DATE: 12/05/13
DRAW: FJL
SCALE: 1/4" = 1'-0"
ELEVATION: SECTIONS

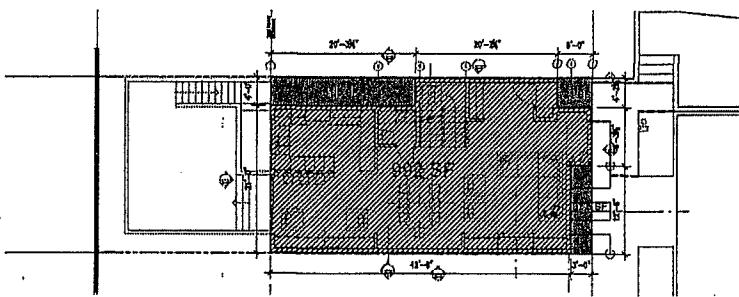
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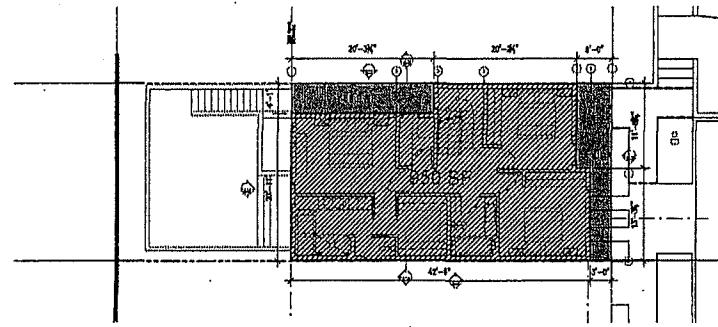
1 PROPOSED BASEMENT PLAN

SCALE: 1/8"=1'-0"



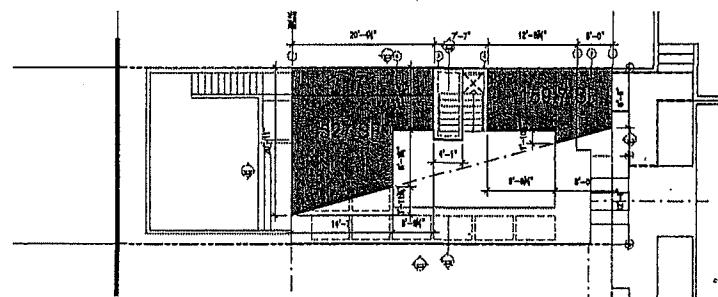
2 PROPOSED 1st FLOOR PLAN

SCALE: 1/8"=1'-0"



3 PROPOSED 2nd FLOOR PLAN

SCALE: 1/8"=1'-0"



4 PROPOSED ROOF PLAN

SCALE: 1/8"=1'-0"

**GROSS AREA:**

Basement: 285.7 S.F.
 1st Floor: 992 S.F.
 2nd Floor: 950 S.F.
 Total: 2,227.7 S.F.

2 car garage required

**MASS REDUCTION:**

Mass Reduction per Sect 242(e)(3): 650 S.F. REQUIRED

Basement: 50.0 S.F.
 1st Floor: 140.0 S.F. (81.5 + 87.5 + 21)
 2nd Floor: 179.0 S.F. (98.4 + 81.6)
 3rd Floor: 406.7 S.F. (327 + 159.7)
 Total: 856.6 S.F. Mass Reduction Proposed

PROJECT:
 NEW SINGLE FAMILY RESIDENCE
 3516 FOLSOM STREET
 SAN FRANCISCO, CA 94110
 BLOCK # 5626 / LOT # 013

JOB #: 1301
 DATE: 04/17/15
 DWL: FUL
 SCALE: 1/8" = 1'-0"

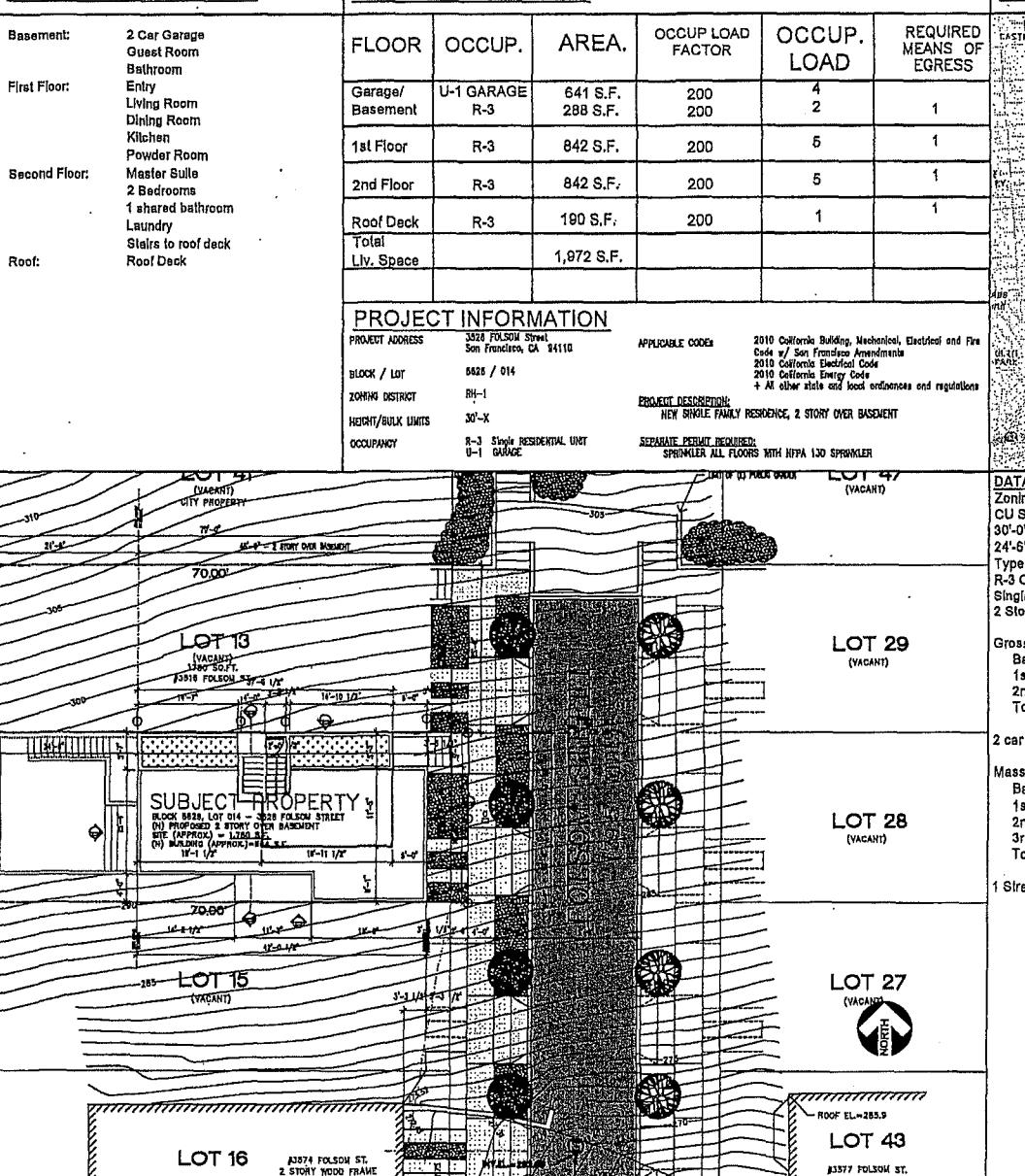
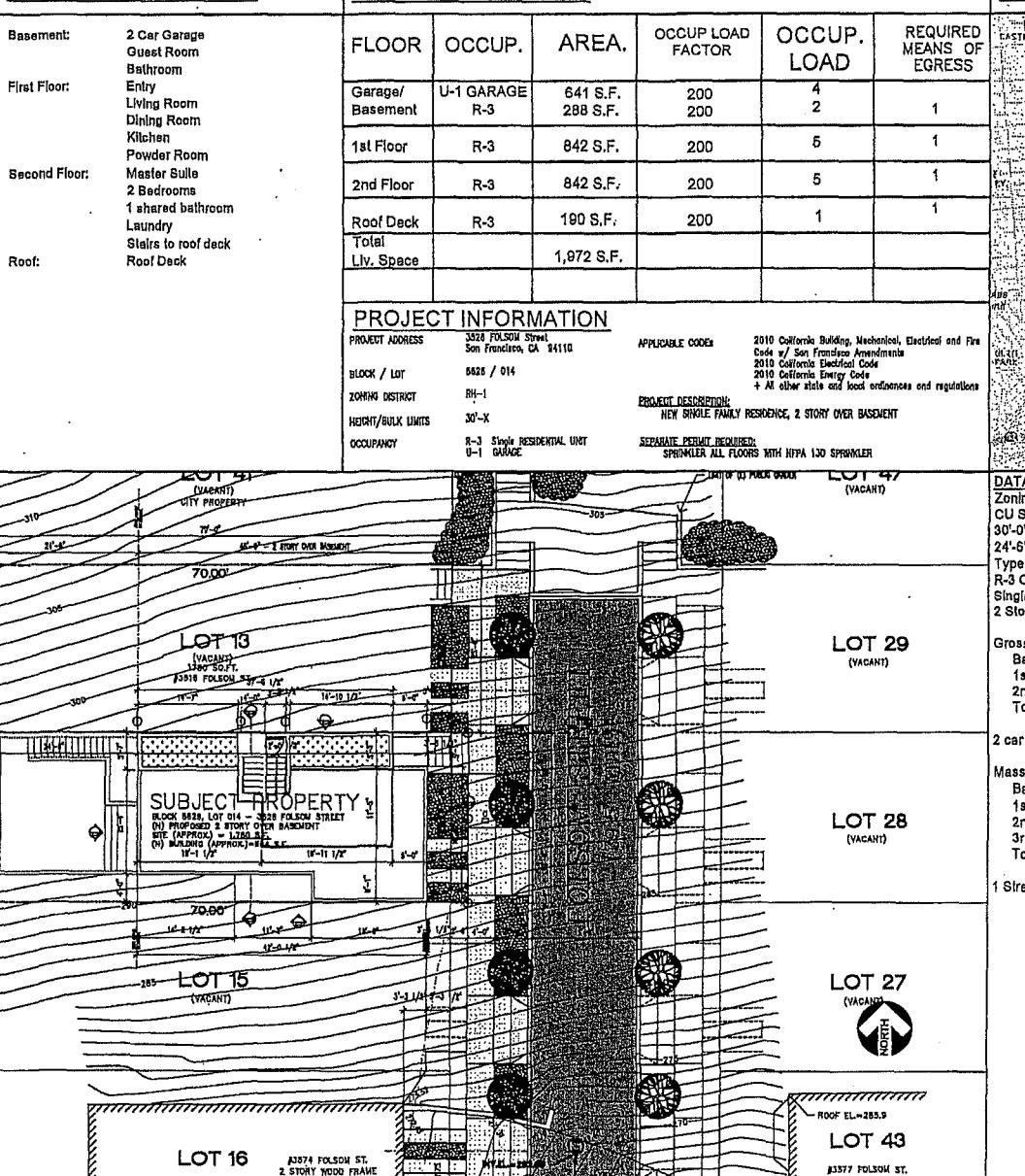
SHEET NAME:
 BASEMENT SF
 MASS REDUCTION

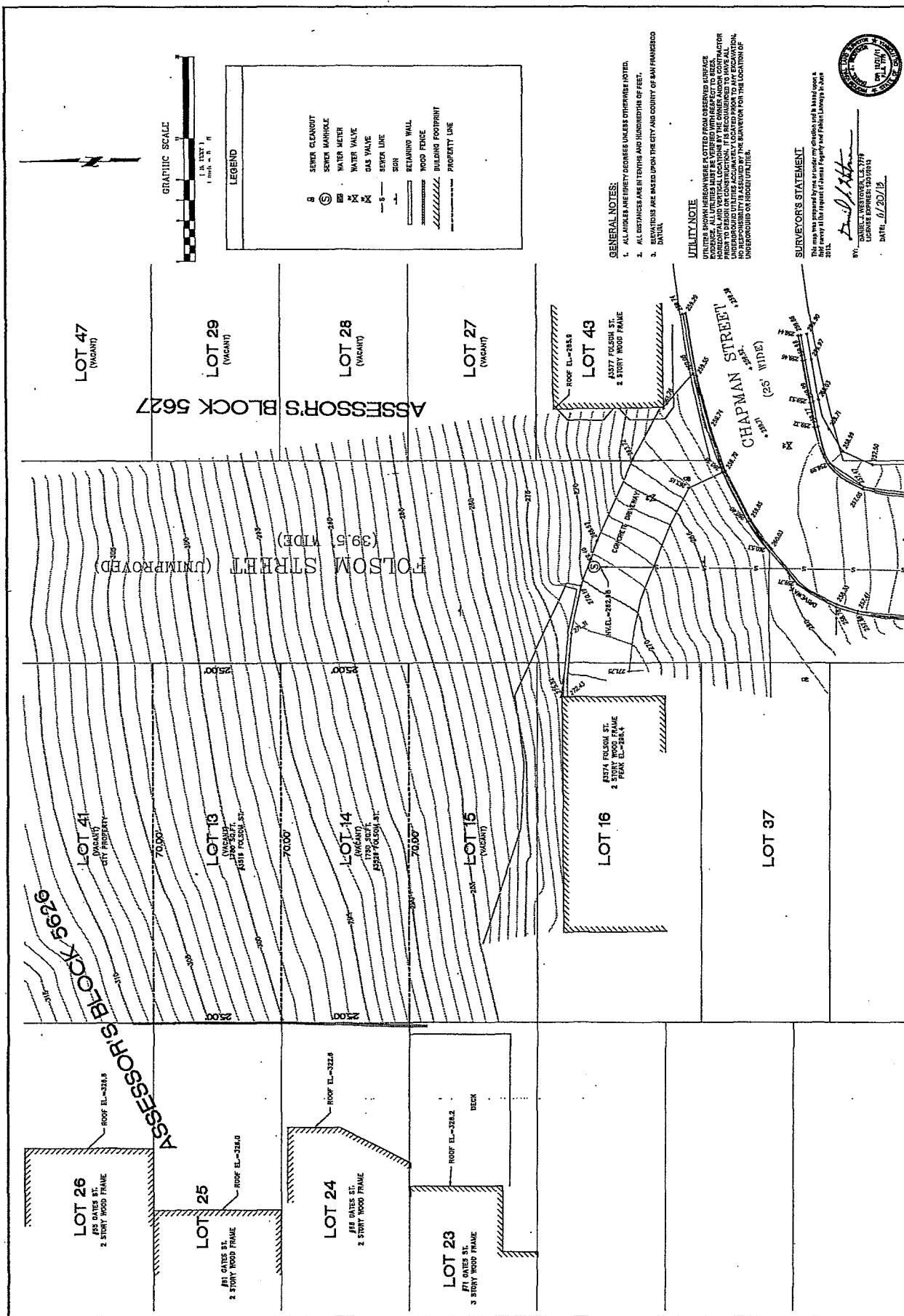
A-6

BLUORANGE
 designs
 241 Amber Drive
 SAN FRANCISCO
 CA, 94131
 TEL: 415-533-0415
 fabien@bluorange.com

ISSUES AND REVISIONS

NO	REV	DATE
1/1/11	P-0	Proj Initiation
1/1/11	P-0	Pre-Application
4/2/11	P-0	Site Permit Received
4/2/11	P-0	Permit Review
4/2/11	P-0	3rd Permit Review
4/2/11	P-0	Permit Review

SHEET INDEX:		RESIDENTIAL REMODEL:		OCCUPANCY LOADS:						VICINITY MAP:	
NO. CONTENTS		Basement: 2 Car Garage Guest Room Bathroom First Floor: Entry Living Room Dining Room Kitchen Powder Room Second Floor: Master Suite 2 Bedrooms 1 shared bathroom Laundry Stairs to roof deck Roof Deck		FLOOR	OCCUP.	AREA.	OCCUP LOAD FACTOR	OCCUP. LOAD	REQUIRED MEANS OF EGRESS		
A-0 Title Sheet, Plot Plan T-1 Topographic Survey A-1 Proposed Basement + 1st Floor Plans A-2 Proposed 2nd Floor and Roof Plans A-3 Street (East) and Rear (West) Elevations A-4 Proposed North and South Elevations A-5 Proposed Sections A-6 Mass Reduction + Gross Area C-4 Greenpoints				Garage/ Basement	U-1 GARAGE R-3	641 S.F. 288 S.F.	200 200	4 2	1		
				1st Floor	R-3	842 S.F.	200	5	1		
				2nd Floor	R-3	842 S.F.	200	5	1		
				Roof Deck	R-3	190 S.F.	200	1	1		
				Total							
				Lv. Space		1,872 S.F.					
PROJECT INFORMATION											
PROJECT ADDRESS: 3526 FOLSOM Street, San Francisco, CA 94110 BLOCK / LOT: 5626 / 014 ZONING DISTRICT: RH-1 HEIGHT/BULK LIMITS: 30'-X OCCUPANCY: R-3 Single Family Residential Unit U-1 Garage					APPLICABLE CODES: 2010 California Building, Mechanical, Electrical and Fire Code w/ San Francisco Amendments 2010 California Electrical Code 2010 California Energy Code + All other state and local ordinances and regulations PROJECT DESCRIPTION: NEW SINGLE FAMILY RESIDENCE, 2 STORY OVER BASEMENT SEPARATE PERMIT REQUIRED: SPRINKLER ALL FLOORS WITH NFPA 130 SPRINKLER						
LOT 26 SITE PLAN 1/8" = 1'-0"											
4437 LOT 25 101 GATES ST. 2 STORY WOOD FRAME											
LOT 24 105 GATES ST. 2 STORY WOOD FRAME											
T 23 3 ST. WOOD FRAME											
BLUORANGE <i>designs</i> 241 AMBER Drive SAN FRANCISCO CA, 94131 TEL: 415-633-0416 fabien@bluorange.com											
ISSUES AND REVISIONS 01/01/13 1st Draft Review P 01/01/13 1st Rev. Review P 01/01/13 1st Permit Review P 01/01/13 2nd Permit Review P 01/01/13 3rd Permit Review P 01/01/13 4th Permit Review P											
DATA: Zoning: RH-1 CU Section 242 Bernal Heights 30'-0" Maximum Height 24'-6" Minimum Rear Yard Type V-B Construction R-3 Occupancy Single Family Residence 2 Story over Basement House Gross Area: Basement: 360 S.F. 1st Floor: 922.4 S.F. 2nd Floor: 922.4 S.F. Total: 2,204.8 S.F. 2 car garage required Mass Reduction per Sec 242(e)(3): Basement: 67.9 S.F. (11 + 56.9) 1st Floor: 124.55 S.F. (98.75 + 25.8) 2nd Floor: 124.55 S.F. (98.75 + 25.8) 3rd Floor: 430.5 S.F. (298 + 132.5) Total: 736.5 S.F. Mass Reduction Proposed 1 Street Tree Proposed											
NEW SINGLE FAMILY RESIDENCE 3526 FOLSOM STREET SAN FRANCISCO, CA 94110 project: BLOCK # 5626 / LOT # 014											
JOB #: 1303 DATE: 12/02/13 DIM: F/L SCALE: AS NOTED sheet title: COVER SHEET											
A-0											



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fabien@bluorange.com

ISSUES AND REVISIONS

08/2012 08/2012
08/2012 08/2012
08/2012 08/2012
08/2012 08/2012
08/2012 08/2012
08/2012 08/2012
08/2012 08/2012

4439
1
1 PROPOSED BASEMENT PLAN
SCALE: 1/4"=1'-0"
2
2 PROPOSED 1st FLOOR PLAN
SCALE: 1/4"=1'-0"

NEW SINGLE FAMILY RESIDENCE
3526 FOLSOM STREET
SAN FRANCISCO, CA 94110
BLOCK # 5626 / LOT # 014

JOHN: 1303
DATE: 12/05/13
DIM: FIL
SCALE: 1/4" = 1'-0"

SYMBOLS / LEGEND
NEW CONCRETE
EXISTING CONSTRUCTION TO BE REMOVED
COSTING WALL TO ROOF
NEW WALL
1 HR FIRE RATED WALL (TYP. @ P.L.)
SOFFIT
LOCATION ELEVATION CALL OUT
REIGHT

ROOM NAME
FLOOR FINISH
CEILING HEIGHT
ELEVATION MARK
SECTION MARK
DOOR TAG
WINDOW TAG

A-1

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ISSUES AND REVIEWS

NO. MTR. #/RE. #/RE.
01/21/12 Project Review P.R.
01/11/12 PPA Application P.R.
01/11/12 Site Plan Review P.R.
01/21/12 Site Permit Review P.R.
01/21/12 Site Permit Review P.R.
01/21/12 Site Permit Review P.R.

PROJECT
NEW SINGLE FAMILY RESIDENCE
3526 FOLSOM STREET
SAN FRANCISCO, CA 94110
BLOCK # 5626 / LOT # 014

JOB# : 1302
DATE: 12/05/13
DIV: FJL
SCALE: 1/4" = 1'-0"

SYMBOLS / LEGEND
NEW CONCRETE
EXISTING CONSTRUCTION TO BE REMOVED
EXISTING WALL TO REMAIN
NEW WALL
1 HR FIRE RATED WALL (TYP. @ P.L.)
BOFFIT
ELEVATION CALL OUT
SECTION MARK

ROOM NAME
FLOOR FINISH
CEILING HEIGHT
DOOR TAG
WINDOW TAG

1 PROPOSED 2nd PLAN

SCALE: 1/4"=1'-0"

2 PROPOSED ROOF PLAN

SCALE: 1/4"=1'-0"

SYMBOLS / LEGEND

- NEW CONCRETE
- EXISTING CONSTRUCTION TO BE REMOVED
- EXISTING WALL TO REMAIN
- NEW WALL
- 1 HR FIRE RATED WALL (TYP. @ P.L.)
- BOFFIT
- ELEVATION CALL OUT
- SECTION MARK

A-2

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SAN FRANCISCO
CA, 94131
TEL: 415-533-0416
Email: tabben@blueorange.com

BLLOC# 5626 / LOT# 014
3526 FOLSOM STREET
SAN FRANCISCO, CA 94110
NEW SINGLE FAMILY RESIDENCE

Job#:
Date:
Dish:
Scale:
Sheet/Title:
EAST & WEST
ELEVATIONS

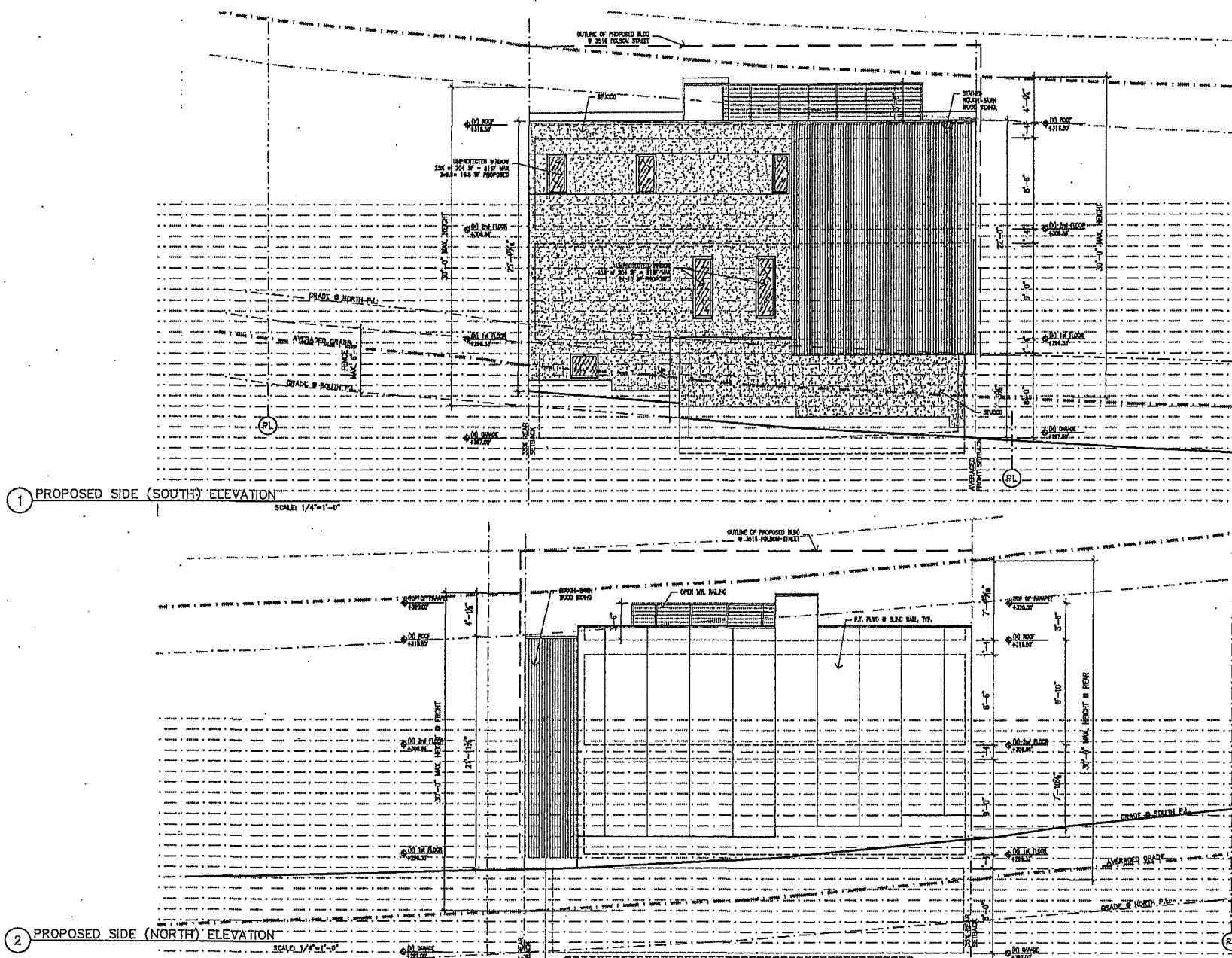
A-3

2) PROPOSED REAR (WEST) ELEVATION

1 PROPOSED STREET (EAST) ELEVATION

4441

4442



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fabiens@bluorange.com

ISSUES AND REVISIO

NO.	DATE	ISSUE	STATUS
1	08/28/13	Project Request	P.R.
2	12/11/13	Per Application	P.R.
3	04/01/14	Site Permit Requests	P.R.
4	05/02/14	Site Permit Requests	P.R.
5	12/02/14	Site Permit Requests	P.R.
6	04/01/15	Site Permit Requests	P.R.

Project: NEW SINGLE FAMILY RESIDENCE
3526 FOLSOM STREET
SAN FRANCISCO, CA 94110

BLOCK # 5626 / LOT # 014

JOBB: 1303
DATE: 12/05/13
DHW: FJL
SCALE: 1/4" = 1'-0"

**PROPOSED NORTH
+ SOUTH ELEVATION**

A-4

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tablein@bluorange.com

TABLES & MORE

NEW SINGLE FAMILY RESIDENCE
3526 FOLSOM STREET
SAN FRANCISCO, CA 94110
BLOCK # 5626 / LOT # 014

DATE: 10/3
DATE: 12/2/11
DRAFT: FUL
SCALE: 1/8" = 1'-0"
NARRATIVE
SECTIONS

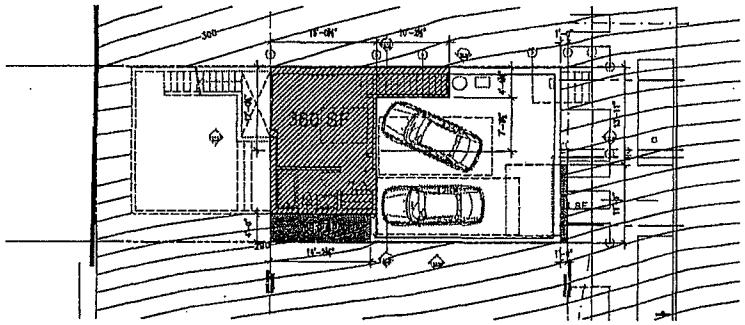
A-5

SCALE: 1/8" = 1'-0"

① PROPOSED SECTION

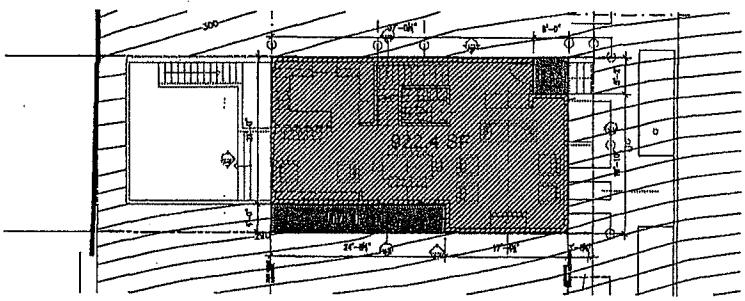
4443

444



1 PROPOSED BASEMENT PLAN

SCALE: 1/8"=1'-0"



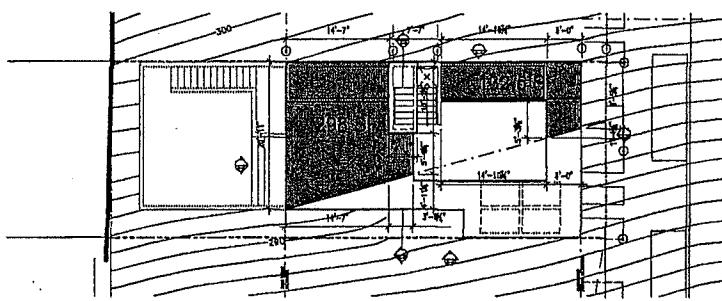
2 PROPOSED 1st FLOOR PLAN

SCALE: 1/8"=1'-0"



3 PROPOSED 2nd FLOOR PLAN

SCALE: 1/8"=1'-0"



4 PROPOSED ROOF PLAN

SCALE: 1/8"=1'-0"

**GROSS AREA:**

Basement: 360.0 S.F.
 1st Floor: 922.4 S.F.
 2nd Floor: 922.4 S.F.
 Total: 2,204.8 S.F.

2 car garage required

**MASS REDUCTION:**

Mass Reduction per Sect 242(e)(3): 650 S.F. REQUIRED

Basement: 67.9 S.F. (11 + 56.9)
 1st Floor: 124.55 S.F. (98.75 + 25.8)
 2nd Floor: 124.55 S.F. (98.75 + 25.8)
 3rd Floor: 430.5 S.F. (298 + 132.5)
 Total: 747.5 S.F. Mass Reduction Proposed

PROJECT:
 NEW SINGLE FAMILY RESIDENCE
 3526 FOLSOM STREET
 SAN FRANCISCO, CA 94110
 BLOCK # 5626 / LOT # 014

JOHN: 1301
 DATE: 04/17/15
 DWG: FJ1
 SCALE: 1/8" = 1'-0"

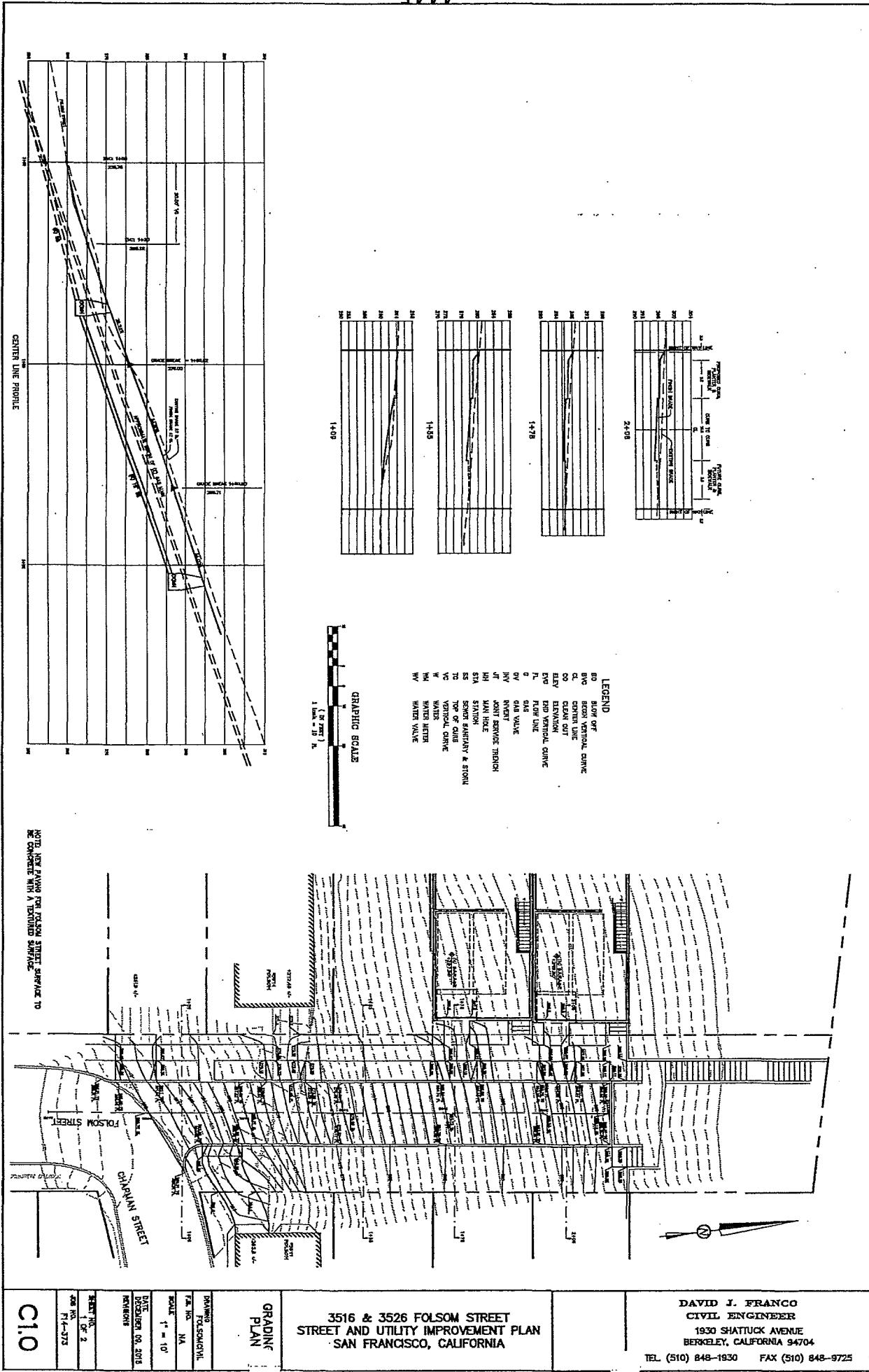
SHRFT/TITLE:
 BASEMENT SF
 MASS REDUCTION

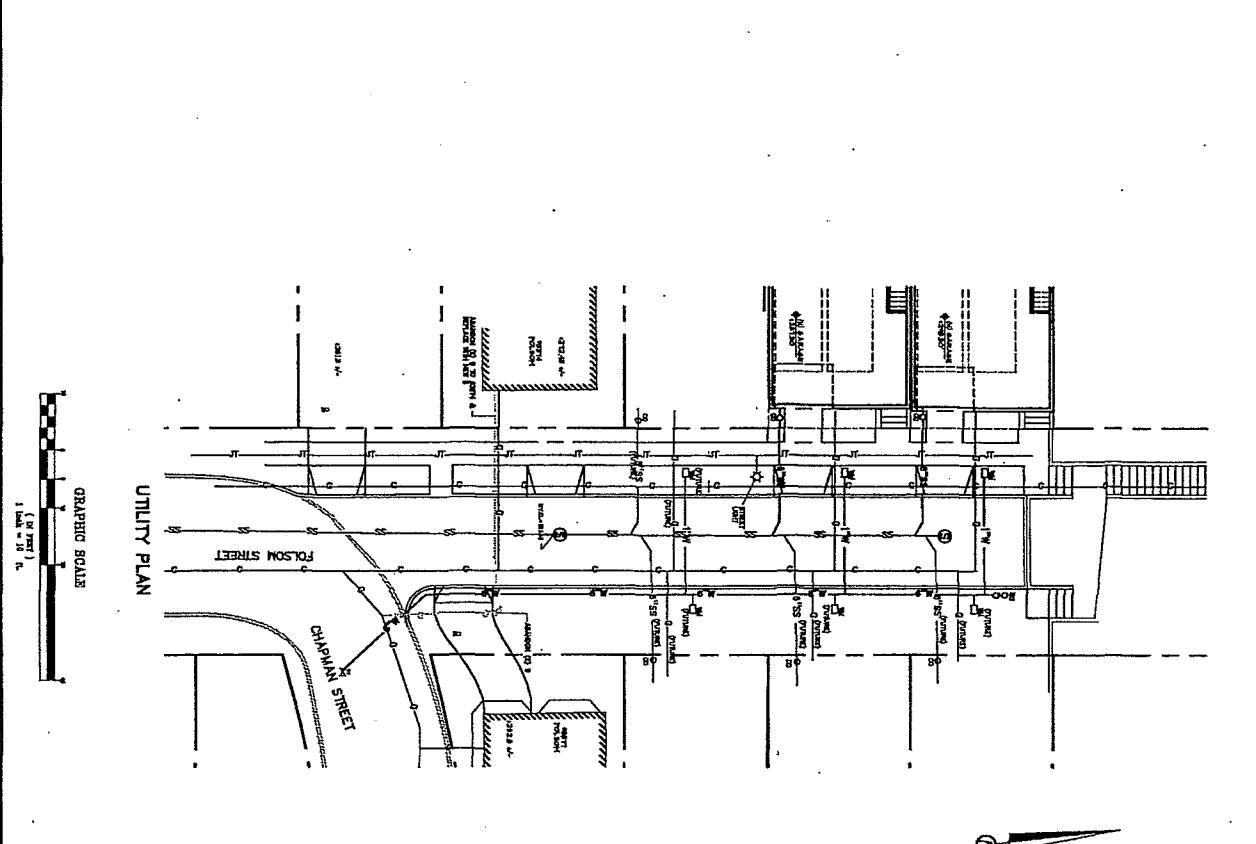
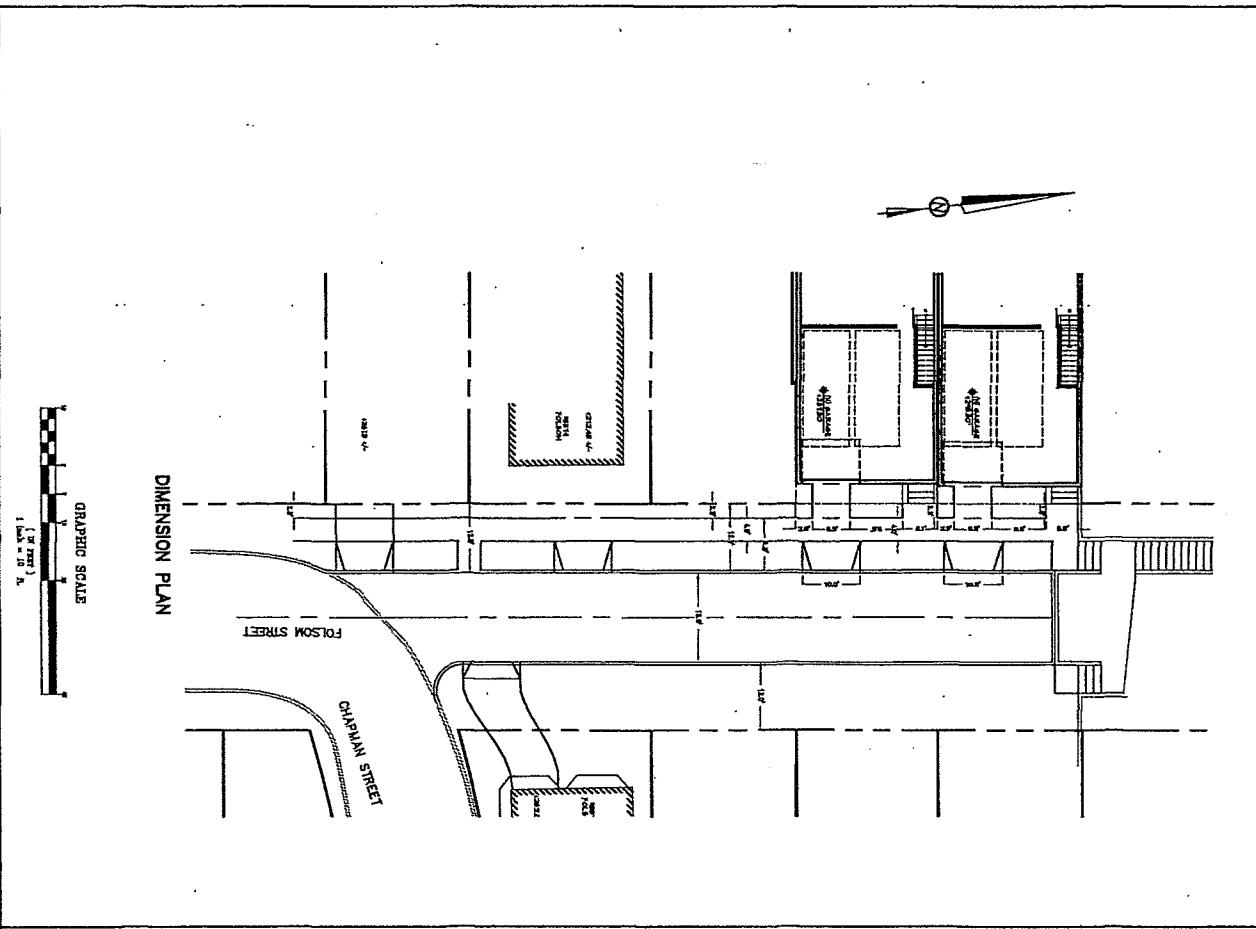
A-6

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 fabien@bluorange.com

ISSUES AND REVISIONS

4/17/15 04/17/15 Project Review FA
 12/1/13 04/17/15 PPA Application FA
 04/2/14 04/17/15 Site Permit Revision FA
 04/2/14 04/17/15 Site Permit Revision FA
 12/2/14 04/17/15 Site Permit Revision FA
 04/2/15 04/17/15 Site Permit Revision FA





REV. 1 • 10'	DAVID J. FRANCO CIVIL ENGINEER 1930 SHATTUCK AVENUE BERKELEY, CALIFORNIA 94704
DATE DECEMBER 06, 2015	TEL. (510) 848-1930 FAX (510) 848-9725
FILE NO. F14-373	
REVISIONS	
C2.0	

3516 & 3526 FOLSOM STREET
STREET AND UTILITY IMPROVEMENT PLAN
SAN FRANCISCO, CALIFORNIA
4440

Exhibit C



San Francisco Bay Chapter
Serving Alameda, Contra Costa, Marin and San Francisco counties

SAN FRANCISCO GROUP –

Please reply to 1474 Sacramento St., #305 San Francisco, CA 94109-4002

March 31, 2016

To Whom it May Concern:

SUPPORTING UPPER FOLSOM STREET CEQA APPEAL

The Sierra Club San Francisco Group supports the withdrawal or appeal of the categorical exemption for the Bernal Heights Upper Folsom Street Right-of-Way Housing Development (Planning Dept. Case No. 2013.1383E, hereinafter the “Project”) and supports the preparation of an Environmental Impact Report for the Project.

The San Francisco Group speaks for the Sierra Club on city issues, on behalf of its 6,000 members and are one of the four chapters in the 4-county Bay Chapter’s 30,000 members including Marin, Alameda, Contra Costa and San Francisco Counties. Our members, as well as the general public, will be directly affected by the Project’s adverse environmental impacts on parkland, open space, and the Bernal Heights neighborhood.

The Upper Folsom Street Project received a Class 3 categorical exemption under CEQA Guidelines Section 15303(a). Pursuant to CEQA Guidelines Section 15300.2(c), however, a “categorical exemption shall not be used for an activity where there is a reasonable possibility that the activity will have a significant effect on the environment due to unusual circumstances.” This proposed Project involves a number of unusual circumstances that will result in significant adverse environmental impacts.

*The exemption was granted to this proposed Project based on the fact that “the project site is not located in a particularly sensitive or hazardous area.” Yet the proposed access to the Project will be built over a 26-inch 30-year-old gas transmission pipeline on a City right-of-way with an approximately 35 percent grade slope – including significant excavation. The Project site is adjacent to Bernal Heights Park and Bernal Heights Community Garden, in a densely populated area. City departments have stated they do not take responsibility for the safety of the pipeline, which is one of only three major gas lines in San Francisco. Despite federal recommendations, no informed assessment has taken place to assure local residents of the safety of this Project. This circumstance poses a risk of catastrophic environmental impacts, yet no environmental review has been completed.

BERNAL HEIGHTS DEMOCRATIC CLUB

Chartered since 1988 to give the residents of Bernal Heights an effective voice in government

April 20, 2016

To: **SF PLANNING COMMISSION**

RODNEY FONG, COMMISSION PRESIDENT
planning@rodneyfong.com

CHRISTINE D. JOHNSON, COMMISSIONER
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John.Rahaim@sfgov.org

JONAS P. IONIN, COMMISSION SECRETARY
Commissions.Secretary@sfgov.org

DAVID CAMPOS, DISTRICT 9 SUPERVISOR
David.Campos@sfgov.org

FROM: Bernal Heights Democratic Club
bernalheightsdemclub@gmail.com

The Bernal Heights Democratic Club supports the opposition to the Upper Folsom Street Development in Bernal Heights, based on significant public safety concerns. There is clear danger from the major aging PG&E gas transmission pipeline; extreme steepness and narrow width of the proposed street; and unresolvable limited access to emergency vehicles.

It is our understanding that the two proposed lots now seeking permits will be followed by four more immediately adjacent. These types of construction will do nothing to address San Francisco's housing crisis, and are unsafe and inappropriate developments on these lots.

We appreciate your consideration of our input in this matter.

*BernalHeightsDC@aol.com
follow or message BHDC on Facebook:
<https://www.facebook.com/bernalheightsdemocraticclub>
FPPC #923351*

Neighbors Against The Upper Folsom Street Extension

We the undersigned Bernal Heights neighbors are opposed to the building of two (2) houses at 3526 and 3516-Folsom Street. We support the request for Discretionary Review by Neighbors Against The Upper Folsom Street Extension.

Name	Address
Hope Meng <i>WJ</i>	74 Banks Street San Francisco, CA 94110
Jeremy Hermann	74 Banks Street San Francisco, CA 94110
Thomas Kim	3598 Folsom St San Francisco, CA 94110
Victi Ng	3595 Folsom St San Francisco, CA 94110
Courtney Hoehert	3590 Folsom St San Francisco, CA 94110
Deborah Garson	117 Banks St, SF 94110
Ian Williams	131 Mullen
Leslie Simon	117 Brewster
Donald Schaan	117 Brewster
Caya Schaan	642 Peralta Ave #1, SF 94110
Natan Rodriguez	642 Peralta Ave #1, SF 94110

Neighbors Against The Upper Folsom Street Extension

We the undersigned Bernal Heights neighbors are opposed to the building of two (2) houses at 3526 and 3516-Folsom Street. We support the request for Discretionary Review by Neighbors Against The Upper Folsom Street Extension.

Name	Address
Laurent SANCHEZ	3619 FOLSOM ST SAN FRANCISCO
JULIE Glantz	3625 FOLSOM ST SF CA 94110
Ham Ayrapetian	515 Powhatan Ave.
Nancy zeeches	405 Chapman St, SF CA 94110
GG	405 Chapman St, SF CA 94110
Elaine Blumrich DIANA S. AMODIA	390 CHAPMAN ST SAN FRANCISCO, CA 94110
JERRY SCHINNEL Berkner	40 PRENTISS ST. San Fran, 94110
TOYA MYER	77 NEVADA ST
Jay My	SF, CA 94110
Rebecca Tolman	42 Nevada St SF, CA 94110
Mike Boss	42 Nevada St. SF CA 94110
Jesse Boss	42 Nevada St. SF CA 94110

Neighbors Against The Upper Folsom Street Extension

We the undersigned Bernal Heights neighbors are opposed to the building of two (2) houses at 3526 and 3516 Folsom Street. We support the request for Discretionary Review by Neighbors Against The Upper Folsom Street Extension.

Name	Address
Ray A. Castro	67 Prentiss ST
RAY A. CASTRO	SAN FRANCISCO 94110
TAKE BOWERS	57 PRENTISS ST.
FRANCIS KELSON	SAN FRANCISCO CA 94110 <small>same address</small>
MICHAELINE BANTING	64 Prentiss Street
JAY GREER	SAN FRANCISCO 94110
ARTURO SCHWARTZ WELL	77 NEVADA ST SF 94110
Harren SEDAR	74 Nevada Street SF 94110
May Cinsel	80 ROSENKRANZ SF 94110
Paul Romello	73 Nevada ST 94110
Kelly Cirlone	95 Nevada SF, CA 94110
Sandra P. Johnson	96 Prentiss ST SF CA 94110
Christin Chi	96 Prentiss ST SF CA 94110
CHARLOTTE WILLIAMS	390 CHAPMAN ST 94110

Neighbors Against The Upper Folsom Street Extension

We the undersigned Bernal Heights neighbors are opposed to the building of two (2) houses at 3526 and 3516 Folsom Street. We support the request for Discretionary Review by Neighbors Against The Upper Folsom Street Extension.

Name	Address
Dennis Hayes - Bernal Heights Community Garden Coordinator	41 Stockman St, SF 94110
Nicola Griffin	101 Prentiss ST 94110
Theresa Markle	56 Nebraska St, SF 94110
Ken Garrett	56 Nebraska St, SF 94110
Nancy Skupicka	608 Peralta Ave, SF 94110
Arash Bafaki	13 Carter St. San Francisco 94110
Lellen Keller	90 Carter St. - SF 94110
Kim Kacere	3601 Folsom St SF 94110
Barbara Underberg	76 Rosenthal SF 94110

Neighbors Against The Upper Folsom Street Extension

We the undersigned Bernal Heights neighbors are opposed to the building of two (2) houses at 3526 and 3516 Folsom Street. We support the request for Discretionary Review by Neighbors Against The Upper Folsom Street Extension.

Name	Address
Gail Newman	3574 Folsom St. S.F. 94110
Patricia Hughes	3577 Folsom St. S.F. 94110
Steven Picus	3580 Folsom St. 94110
MICHAEL ATRO	3580 Folsom St 94110
Cristina Madero	3607 Folsom St. 94110
Jan Holliday	3653 Folsom St 94110
MILEY HOWMAN	3615 Folsom St 94110
Sheri Hoffman	" " "
jeff Belling	3615 Folsom
PAT MURPHY	70 BANKS
ANDY BRADEN	70 BANKS



San Francisco Bay Chapter

Serving Alameda, Contra Costa, Marin and San Francisco counties

The U.S. Department of Transportation's Office of Pipeline Safety states that most gas transmission pipeline accidents occur on rights-of-way by private contractors – exactly the situation being proposed. A new, privately built access road over a major transmission pipeline – with the potential for multiple future adjacent private excavations on a steep slope – is unusual in San Francisco, if not unique. The proposed Project exposes a dense urban population to an unacceptable risk of environmental catastrophe, with no environmental review.

*San Francisco highly promotes its “transit first” philosophy in order to reduce the number of cars in the city. Yet this Project includes a variance for multi-car garages and sets a precedent for large-scale houses in a neighborhood with traditionally smaller-scale housing and single car garages. Traffic impacts are likely.

*CEQA Guidelines Section 15303 (2) can exempt construction of up to three single-family residences. Guidelines Section 15300.2(b), however, prohibits the use of a categorical exemption where “the cumulative impact of successive projects of the same type in the same place, over time is significant.” In this case, there are six undeveloped lots in the proposed Project area; the current Project includes two 2,500 – 3,000 square foot homes. If this Project is approved, it will set a precedent for the other four lots for further development in the near future.

*The proposed Project will have a number of additional impacts, including massing, loss of sunlight, and destruction of open space. The Project site is a potential historic resource, located within 300 feet of a possible urban bird refuge, within a steep slope district, and requires unusually extensive excavation. Moreover, as the categorical exemption determination notes, the Project site “is in an area that would be exposed to strong earthquake shaking.” It notes that the Project’s geotechnical reports recommend “seismic design parameters” to be used “during the Department of Building Inspection (DBI) building permit plancheck process.” It is inappropriate to suggest the use of mitigation measures in a categorical exemption, especially where those mitigation measures constitute undefined subsequent changes to the Project – precluding an “accurate, stable and finite project description.” County of Inyo v. City of Los Angeles (1977) 71 Cal.App.3d 185, 193.

For these reasons, we request that the City withdraw the categorical exemption for Case No. 2013.1383E and complete an EIR for the proposed Project. Should the City fail to complete an EIR, the Sierra Club San Francisco Bay Chapter supports the appeal of the Project’s flawed environmental determinations and opposes the issuance of Project permits, including BPA Nos. 201312164322 and 201312164318.

“Incerely,





San Francisco Bay Chapter
Serving Alameda, Contra Costa, Marin and San Francisco counties

Becky Evans

Becky Evans

Vice-Chair, San Francisco Group

**Additional Supporters of the Bernal Safe and Livable
Discretionary Review Application
(authorizing emails attached)**

**Paul Hessinger
212 Gates Street**

**Elaine Elinson
100 Winfield Street**

**Nancy Slepiccia
608 Peralta Avenue**

**Giuliana Milanese
137 Anderson Street**

**Connie Ewald
76 Gates St.**

**Peter Ewald
76 Gates St.**

**Rosanne Liggett
125 Gates Street**

**Malcolm Gaines
85 Gates St.**

September 2015

We the undersigned Bernal Heights neighbors support the Application for Discretionary Review by Bernal Safe and Livable, an organization concerned about proposed development of a street and houses on steep open space over a major gas transmission pipeline in our residential area.

The proposed project addresses are 3516 & 3526 Folsom Street

NAME	ADDRESS	SIGNATURE
Allen Miller	147 Nevada St	Allen Miller
James Paul	82 GATES ST	
Tom Schulte	65 GATES ST	Tom Schulte

September 15

We, the undersigned Bernal Heights neighbors, support the Application for Discretionary Review by Bernal Safe and Livable—residents concerned about proposed development of a street and houses on a dangerously steep undeveloped hill over a major gas transmission pipeline in our residential area.

The proposed project addresses are 3516 & 3526 Folsom Street.

NAME MATT TUWMAN ADDRESS 677 Macleie St. SIGNATURE
Nude tuwman 677 Macleie St. MATT TUWMAN

September 2015

We the undersigned Bernal Heights neighbors support the Application for Discretionary Review by **Bernal Safe and Livable**, an organization concerned about proposed development of a street and houses on steep open space over a major gas transmission pipeline in our residential area.

The proposed project addresses are 3516 & 3528 Folsom Street.

NAME	ADDRESS	SIGNATURE
MARK HESKET	60 GATES ST	Mark Hesketh
Tom Pendle	81 GATES ST	
Hochman Hall	563 Penitentiary Ave	John Hochman
The Annex	39 University St	John Hochman
	240 University St	John Hochman
Don Soper	180 University St	John Hochman
John Soper	180 University St	John Hochman
John Soper	180 University St	John Hochman

September 2015

We the undersigned Bernal Heights neighbors support the Application for Discretionary Review by **Bernal Safe and Livable**, an organization concerned about proposed development of a street and houses on steep open space over a major gas transmission pipeline in our residential area.

The proposed project addresses are 3516 & 3526 Folsom Street.

NAME	ADDRESS	SIGNATURE
Jim Park New Lookout	6 Gates St. 11 Gates St.	Jim Park
Opaline Lee Lake Country	1161 21st St. SF	Opaline Lee
Lisa Bishop	135 Park St. SF	Lisa Bishop
Georgi Gurney John Hedges	133 Park St. SF	Georgi Gurney John Hedges

September 2015

We the undersigned Bernal Heights neighbors support the Application for Discretionary Review by Bernal Safe and Livable, an organization concerned about proposed development of a street and houses on steep open space over a major gas transmission pipeline in our residential area.

The proposed project addresses are 3516 & 3526 Folsom Street.

<u>NAME</u>	<u>ADDRESS</u>	<u>SIGNATURE</u>
Giuliana Hilano	137 Anderson St 94110	✓
Robert L. Morrison	140 Mullen Ave 94110	✓
Laurel Hu	302 Winfield St 94110	✓
Tom Allender	239 Mission St 94103	✓
Jose L. Munitz	3020 17th St 94107	✓
Janet Heine	72 Octavia St 94111	✓
Judith Karp	172 Octavia St 94111	✓
Michael Lester	246 Ridley St 94110	✓
Diane Los	246 Ridley St 94110	✓
Cheena West-Simons	50 Hayes St 94110	✓
Hector Smith Ciu	35 Hayes St 94110	✓

We the undersigned Bernal Heights neighbors support the Application for Discretionary Review by
BERNAL SAFE AND LIVABLE, an organization concerned about proposed development of a road and
houses on steep open space over a major gas transmission pipeline in our residential area.

NAME

ADDRESS

SIGNATURE

LINDA GAMET

65 GATES ST 94110

Elizabet

LEIFI ASTRILIAN

60 GATES ST 94110

Leifi

PAMELA LOPINTO

75 GATES ST 94110

Pamela

Kelly

75 GATES ST 94110

Kelly

STEVE PIGG

3530 FUSION ST 94110

Steve

ALICE PERIA

3531 FUSION ST 94110

Alice

ELIZABETH

75 GATES ST 94110

Elizabeth

MARK QUIGLEY

199 HILLTOP AVE 94110

Mark

CHRISTIANA

158 W 101 ST 94110

Christiana

September 15

We, the undersigned Bernal Heights neighbors, support the Application for Discretionary Review by Bernal Safe and Livable—residents concerned about proposed development of a street and houses on a dangerously steep undeveloped hill over a major gas transmission pipeline in our residential area.

The proposed project addresses are 3516 & 3526 Folsom Street.

NAME

ADDRESS

SIGNATURE

Rock Nichols

1260 Folsom Street

Rock Nichols

John P. Hart

From: Samir Halteh <shalteh@gmail.com>
Sent: Tuesday, March 29, 2016 7:05 PM
To: Ryan Patterson
Cc: Lupe Hernandez
Subject: Folsom Street Extension

Flag for follow up
Completed

Hi Ryan - please find my statement below. Hope this helps! -S

To Whom It May Concern:

My name is Samir Halteh and I have been a resident of the 300 block of Bradford Street, currently the steepest street in San Francisco) since September 2011.

In my relatively short period of time living on the block I've been witness to two separate car accidents as a result of the steep grade of the street. That does not even include others that other residents of the street have witnessed (including a few over-turned vehicles).

The first accident happened when a gentleman employed to repair a garage door on the block got stuck on the steeper portion of the street. He was unable to turn around because the street was too narrow and because of the high center of gravity of his vehicle. When he tried to get down in reverse, he ended up losing control of the vehicle and it crashed into two separate parked cars which then ricocheted it into two separate homes.

The second accident occurred when a taxi mistakenly navigated up the street. While attempting a three-point-turn, he drove up a curb which caused the vehicle to be lifted off the ground, suspended between the steepest part of the street with the part above it. He was unable to move since the car appeared to be in a position where it would flip over. We ended up having to call SFPD which later brought in SFFD as well as a tow truck to help get the car to safety.

On top of these incidents, there are countless people who navigate up the street looking for parking and end up getting stuck. I have watched countless times as they destroy our landscaping and privacy walls trying to get down.

Every call to a repairman or a delivery comes with a sense of dread (and good amount of forewarning) due to the grade of the street.

Replicating a street that is too narrow, steep, and without access from both sides is irresponsible, in my opinion. It strikes me as remarkably shortsighted to build homes with garage parking and street access in a location that so obviously cannot facilitate it safely. If the homes are to be built, I believe that the only solution is to give them access via staircase like those on Joy street.

Best,
Samir Halteh

354 Bradford Street
San Francisco, CA 94110

From: Aaron W. <adwplanner@gmail.com>
Sent: Monday, April 25, 2016 5:49 PM
To: Ryan Patterson
Subject: Fwd: Upper Folsom Street Proposal - Folsom at Powhattan street

Here you go Ryan.

Sent from my portable telephone

Begin forwarded message:

From: "A-RON D.W." <adwplanner@gmail.com>
Date: March 30, 2016 at 4:48:36 PM PDT
To: richard.sucre@sfgov.org
Subject: Upper Folsom Street Proposal - Folsom at Powhattan street

Dear Mr. Sucre:

I am writing to express my concerns as a Bernal resident over the proposed street addition at upper Folsom street near Powhattan.

I reside on Bradford Street, the steepest hill in San Francisco. I believe the Folsom street addition will be of a similar slope. We have had issues with emergency vehicles not being able to navigate the hill. We have had cars where the emergency brake has snapped resulting in damage. We regularly have vehicles blocking passage in one direction or another. My father recently lost control of his balance and fell, breaking his leg. We have had people with belongings in shopping carts that have lost control of the carts, causing damage to vehicles.

I urge your committee to consider the potential hazards of inserting such a narrow and steep hill into the existing fabric of this location of Bernal.

Thank you.



RECEIVED
3 PM
SAN FRANCISCO
PLANNING
DEPARTMENT

APPLICATION PACKET FOR
Board of Supervisors

Appeal Fee Waiver

Planning Department
1650 Mission Street
Suite 400
San Francisco, CA
94103-9425

T: 415.558.6378
F: 415.558.6409

Pursuant to Planning Code Section 350 and 352(n), the Planning Director shall consider and make determinations regarding applications for the authorization of a Board of Supervisors Appeal Fee Waiver. The first pages consist of instructions which should be read carefully before the application form is completed.

Planning Department staff are available to advise you in the preparation of this application. Call (415) 558-6377 for further information.

WHAT IS AN APPLICATION FOR A BOARD OF SUPERVISORS
APPEAL FEE WAIVER?

Section 350 of the San Francisco Planning Code establishes an exemption from paying the full fees when the Requestor's income is not enough to pay for the fee without affecting their abilities to pay for the necessities of life, provided that the person seeking the exemption demonstrates to the Planning Director or his/her designee that they are substantially affected by the proposed project.

Section 352(n) of the San Francisco Planning Code establishes a waiver from the Board of Supervisor Appeal fees if the appeal is filed by a neighborhood organization that has been in existence for 24 months prior to the filing date of the request, is on the Planning Department's neighborhood organization notification list and can demonstrate to the Planning Director or his/her designee that the organization is substantially affected by the proposed project.

WHEN IS AN APPLICATION FOR A BOARD OF SUPERVISORS
APPEAL FEE WAIVER APPROPRIATE?

An Application to Request a Board of Supervisors Appeal Fee Waiver is appropriate when the Board of Supervisors appeal fee affects the requestor's ability to pay for the necessities of life, in the case of an individual, or when a neighborhood organization in existence 24 months prior to the filing date of the request and on the Planning Department's notification list can demonstrate that the organization is substantially affected by the proposed project.

HOW DOES THE PROCESS WORK?

An individual seeking an exemption should not file this application, but must contact Ms. Yvonne Ko at the San Francisco Planning Department at (415) 558-6386.

A neighborhood organization seeking a Board of Supervisors Appeal Fee Waiver must complete the attached application, along with necessary supporting materials, and submit it to the Planning Information Center (PIC) at 1660 Mission Street.

WHO MAY APPLY FOR A BOARD OF SUPERVISORS APPEAL FEE WAIVER?

Any individual or neighborhood group who will file for a Board of Supervisors Appeal and who believes that they qualify for a waiver of the fee may file this application. An individual seeking an exemption should not file this application, but must contact Ms. Yvonne Ko at the San Francisco Planning Department at (415) 558-6386.

Application to Request a Board of Supervisors Appeal Fee Waiver	
CASE NUMBER: <small>For Internal Use Only</small>	

APPLICATION FOR Board of Supervisors Appeal Fee Waiver

1. Applicant and Project Information

APPLICANT NAME: c/o Kathy Angus	
APPLICANT ADDRESS: 99 Banks Street San Francisco, CA 94110	TELEPHONE: (415) 640-4568
EMAIL: kathyangus@gmail.com	

NEIGHBORHOOD/ORGANIZATION NAME: Bernal Heights South Slope Organization	
NEIGHBORHOOD/ORGANIZATION ADDRESS: c/o Kathy Angus 99 Banks Street San Francisco, CA 94110	TELEPHONE: (415) 640-4568
EMAIL: kathyangus@gmail.com	

PROJECT ADDRESS: 3516-3526 Folsom Street	BUILDING PERMIT APPLICATION NO.: 2013.12.16.4318 & 2013.12.16.4322	DATE OF DECISION (IF ANY): 3/26/14, 5/5/16
PLANNING CASE NO.: 2013.1383E		

2. Required Criteria for Granting Waiver

(All must be satisfied; please attach supporting materials)

- The appellant is a member of the stated neighborhood organization and is authorized to file the appeal on behalf of the organization. Authorization may take the form of a letter signed by the President or other officer of the organization.
- The appellant is appealing on behalf of an organization that is registered with the Planning Department and that appears on the Department's current list of neighborhood organizations.
- The appellant is appealing on behalf of an organization that has been in existence at least 24 months prior to the submittal of the fee waiver request. Existence may be established by evidence including that relating to the organization's activities at that time such as meeting minutes, resolutions, publications and rosters.
- The appellant is appealing on behalf of a neighborhood organization that is affected by the project and that is the subject of the appeal.

For Department Use Only

Application received by Planning Department:

By: _____

Date: _____

Submission Checklist:

- APPELLANT AUTHORIZATION
- CURRENT ORGANIZATION REGISTRATION
- MINIMUM ORGANIZATION AGE
- PROJECT IMPACT ON ORGANIZATION

WAIVER APPROVED WAIVER DENIED



SAN FRANCISCO
PLANNING
DEPARTMENT

FOR MORE INFORMATION
Call or visit the San Francisco Planning Department

Central Reception
1650 Mission Street, Suite 400
San Francisco CA 94103-2479

TEL: 415.558.6376
FAX: 415.558.6409
WEB: <http://www.sfplanning.org>

Planning Information Center (PIC)
1660 Mission Street, First Floor
San Francisco CA 94103-2479

TEL: 415.558.6377
Planning staff are available by phone and at the PIC counter.
No appointment is necessary.

**ZACKS & FREEDMAN
A PROFESSIONAL CORPORATION
OPERATING ACCOUNT
235 MONTGOMERY STREET, 4TH FLOOR
SAN FRANCISCO, CA 94104**

2691

11-8166/3210

6/3/2016

PAY TO THE
ORDER OF San Francisco Planning Department

\$ **562.00

Five Hundred Sixty-Two and 00/100*****
DOLLARS

San Francisco Planning Department
1650 Mission Street
Suite 400
San Francisco, CA 94103

MEMO

CEQA Appeal Fee re: 3516-3526 Folsom St.

THIS DOCUMENT CONTAINS HEAT-SENSITIVE INK. TO TOUCH OR PRESS HERE: RED IMAGE DISAPPEARS WITH HEAT.

DEPARTMENT OF
THE STATE
OF CALIFORNIA
SAN FRANCISCO

2011 JUN 13 PM 3:53

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LETTER TO THE SF BOARD OF SUPERVISORS

Support Bernal Heights CEQA CatEx Appeal on July 19th ***The safety of our community is at stake***

Dear Board Members,

As a San Francisco resident, I urge you to prioritize our public safety over the rush-to-build in San Francisco. I ask that you support an appeal of a CA Environmental Quality Act ("CEQA") Categorical Exemption ("CatEx") involving a new housing development at 3516-3526 Folsom Street in Bernal Heights to be accessed by a proposed steep street - directly over, near, and around the vintage 26" PG&E Gas Transmission Pipeline 109 - the same type that blew up in San Bruno.

Unlike other gas transmission pipelines in SF, no pavement or street cover protects this pipeline - it is only covered by dirt. Excavation activities are the major cause of accidental ruptures on gas transmission pipelines in the United States. Identifying and mitigating public safety street issues before construction begins is plain common sense.

This hilly area of Bernal Heights is known for its twisty and congested narrow streets that create particularly difficult access issues for emergency vehicles, delivery trucks, and construction vehicles. Several fire trucks have gotten stuck in this area. The ultimate future mini-division of six houses will have no on-street parking. The development will be accessed by a proposed street so steep, it will rank among the steepest *in the world* - too steep for emergency vehicle access and many regular vehicles. It is proposed as a dead-end street with no-turn-around at top. Vehicles will have to back down into a blind intersection.

The SF Planning Department approved the construction permits based on design criteria only, saying public safety issues would be addressed by other SF governmental agencies.

Please ensure good governance prevails - that known and potential public safety hazards be addressed through established CEQA protocols before any accidents happen.

I urge you to support the Bernal Heights CEQA Categorical Exemption appeal on July 19th. There are unusual circumstances in this construction project that necessitate environmental review.

Sincerely,

Sam Orr (signed)

61 Gates St., San Francisco, CA 94110

Signature
Sam Orr

Address
sam.orr1@gmail.com

Printed name
July 12, 2016

Email
415-816-5140

Date

Phone number (Optional)

Carroll, John (BOS)

From: Carroll, John (BOS)
Sent: Monday, July 11, 2016 3:15 PM
To: fabien@bluorange.com; ryan@zfplaw.com; Fabien@novadesignsbuilds.com
Cc: Givner, Jon (CAT); Stacy, Kate (CAT); Byrne, Marlena (CAT); Sanchez, Scott (CPC); Jones, Sarah (CPC); Cooper, Rick (CPC); Gibson, Lisa (CPC); Starr, Aaron (CPC); Rodgers, AnMarie (CPC); Kline, Heidi (CPC); Ionin, Jonas (CPC); BOS-Supervisors; BOS-Legislative Aides; Calvillo, Angela (BOS); Somera, Alisa (BOS); BOS Legislation, (BOS); Carroll, John (BOS); Jalipa, Brent (BOS); Lew, Lisa (BOS); Horner, Justin (CPC); Range, Jessica (CPC)
Subject: Appeal File Documents Update - Reissued CEQA Categorical Exemption Determination - Proposed 3516-3526 Folsom Street Project - July 19, 2016

Categories: 160676

Good afternoon,

Please find linked below a number of documents added to the hearing file for the 3516 and 3526 Folsom Street appeal, received by the Office of the Clerk of the Board.

Planning Department - Reissued Exemption Determination for the project - Dated July 8, 2016

Please note, this new Exemption Determination effectively rescinds the March 26, 2014 determination. If you have any questions about the reissued exemption determination from Planning, contact Justin Horner, (415) 575-9023, Justin.Horner@sfgov.org.

Appellant Letter - Received July 8, 2016

Project Sponsor Letter - Received July 5, 2016

The appeal hearing for this matter is scheduled for a 3:00 p.m. special order before the Board on July 19, 2016.

I invite you to review the entire matter on our Legislative Research Center by following the link below:

Board of Supervisors File No. 160676

Thank you,
John Carroll
Legislative Clerk
Board of Supervisors
San Francisco City Hall, Room 244
San Francisco, CA 94102
(415)554-4445 - Direct | (415)554-5163 - Fax
john.carroll@sfgov.org | bos.legislation@sfgov.org

 Click [here](#) to complete a Board of Supervisors Customer Service Satisfaction form.

The Legislative Research Center provides 24-hour access to Board of Supervisors legislation and archived matters since August 1998.

Disclosures: Personal information that is provided in communications to the Board of Supervisors is subject to disclosure under the California Public Records Act and the San Francisco Sunshine Ordinance. Personal information provided will not be redacted. Members of the public are not required to provide personal identifying information when they communicate with the Board of Supervisors and its committees. All written or oral communications that members of the public submit to the Clerk's Office regarding pending legislation or hearings will be made available to all members of the public for inspection and copying. The Clerk's Office does not redact any information from these submissions. This means that personal information—including names, phone numbers, addresses and similar information that a member of the public elects to submit to the Board and its committees—may appear on the Board of Supervisors website or in other public documents that members of the public may inspect or copy.

Carroll, John (BOS)

From: Jones, Sarah (CPC)
Sent: Friday, July 08, 2016 4:03 PM
To: BOS Legislation, (BOS); Rahaim, John (CPC)
Cc: Givner, Jon (CAT); Stacy, Kate (CAT); Byrne, Marlena (CAT); Sanchez, Scott (CPC); Rodgers, AnMarie (CPC); Starr, Aaron (CPC); Kline, Heidi (CPC); Ionin, Jonas (CPC); BOS-Supervisors; BOS-Legislative Aides; Calvillo, Angela (BOS); Somera, Alisa (BOS)
Subject: RE: Appeal of CEQA Categorical Exemption Determination - Proposed 3516-3526 Folsom Street - Timeliness Determination Request
Attachments: 3516-3526FolsomCatEx.pdf
Importance: High
Categories: 160676

To Whom it May Concern:

Upon further review of the categorical exemption in question, I concluded that it did not describe the whole of the project as it was ultimately construed at the time of the Approval Action. A new categorical exemption has been issued and is attached herein. This new exemption effectively rescinds the exemption determination dated March 26, 2014 and voids the project approvals. Please consult with the City Attorney's Office regarding next steps for the hearing scheduled for July 19, 2016.

Thank you.

sarah Bernstein Jones
Environmental Review Officer
Director of Environmental Planning

Planning Department | City and County of San Francisco
1650 Mission Street, Suite 400, San Francisco, CA 94103
Direct: 415-575-9034 | Fax: 415-558-6409
Email: sarah.b.jones@sfgov.org
Web: www.sfplanning.org

From: BOS Legislation, (BOS)
Sent: Tuesday, June 07, 2016 9:39 AM
To: Rahaim, John (CPC)
Cc: Givner, Jon (CAT); Stacy, Kate (CAT); Byrne, Marlena (CAT); Sanchez, Scott (CPC); Jones, Sarah (CPC); Rodgers, AnMarie (CPC); Starr, Aaron (CPC); Kline, Heidi (CPC); Ionin, Jonas (CPC); BOS-Supervisors; BOS-Legislative Aides; Calvillo, Angela (BOS); Somera, Alisa (BOS); BOS Legislation, (BOS)
Subject: Appeal of CEQA Categorical Exemption Determination - Proposed 3516-3526 Folsom Street - Timeliness Determination Request

Good morning Director Rahaim,

The Office of the Clerk of the Board is in receipt of an Appeal of the CEQA Determination of Categorical Exemption from Environmental Review for the proposed 3516-3526 Folsom Street project. The appeal was filed on June 3, 2016,

by Zacks, Freedman, and Patterson, on behalf of Bernal Heights South Slope Organization, Bernal Safe & Livable, Neighbors Against the Upper Folsom Street Extension, Marcus Ryu, and Ann Lockett.

Please review for timely filing determination.

Thank you in advance,

Brent Jalipa

Board of Supervisors - Clerk's Office
1 Dr. Carlton B. Goodlett Place, Room 244
San Francisco, CA 94102
(415) 554-7712 | Fax: (415) 554-5163
brent.jalipa@sfgov.org | www.sfbos.org



Click [here](#) to complete a Board of Supervisors Customer Service Satisfaction form

***Disclosures:** Personal information that is provided in communications to the Board of Supervisors is subject to disclosure under the California Public Records Act and the San Francisco Sunshine Ordinance. Personal information provided will not be redacted. Members of the public are not required to provide personal identifying information when they communicate with the Board of Supervisors and its committees. All written or oral communications that members of the public submit to the Clerk's Office regarding pending legislation or hearings will be made available to all members of the public for inspection and copying. The Clerk's Office does not redact any information from these submissions. This means that personal information—including names, phone numbers, addresses and similar information that a member of the public elects to submit to the Board and its committees—may appear on the Board of Supervisors' website or in other public documents that members of the public may inspect or copy.*



SAN FRANCISCO PLANNING DEPARTMENT

Certificate of Determination Exemption from Environmental Review

Case No.:	2013.1383ENV	1650 Mission St. Suite 400 San Francisco, CA 94103-2479
Project Title:	3516 and 3526 Folsom Street	Reception: 415.558.6378
Zoning:	RH-1 (Residential—House, One Family) Use District 40-X Height and Bulk District	Fax: 415.558.6409
Block/Lot:	5626/013 and 5626/014	Planning Information: 415.558.6377
Lot Size:	1,750 square feet (each lot)	
Project Sponsor:	Fabien Lannoye, Bluorange designs 415-533-0415 Fabien@novadesignsbuilds.com	
Staff Contact:	Justin Horner – (415) 575-9023 Justin.Horner@sfgov.org	

PROJECT DESCRIPTION:

The project site is located on the block bounded by Bernal Heights Boulevard to the north, Gates Street to the west, Powhattan Avenue to the south and Folsom Street to the east. The project site is located along the west side of an approximately 145 foot long unimproved segment of Folsom Street, north of Chapman Street, that ends at the Bernal Heights Community Garden. This unimproved right-of-way is known as a "paper street." Undeveloped land along this unimproved segment of Folsom Street has been subdivided into six lots, three on each side of Folsom Street. PG&E Natural Gas Transmission Pipeline 109 runs along Folsom Street under the project site. The project site is at a slope of 28%.

The proposed project involves the construction of two single-family residences on two of the vacant lots along the west side of the unimproved portion of Folsom Street, and the construction of the connecting segment of Folsom Street to provide vehicle and pedestrian access to the project site. Both single-family homes would be 27 feet tall, two-story-over-basement buildings and would each include two off-street vehicle parking spaces accessed from a twelve-foot-wide garage door.

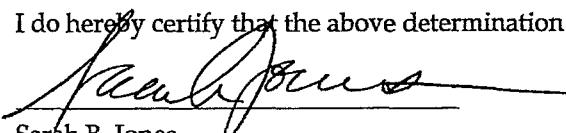
(Continued on next page)

EXEMPT STATUS:

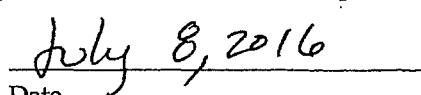
Categorical Exemption, Class 3 (California Environmental Quality Act [CEQA] Guidelines Section 15301).
See page 2.

DETERMINATION:

I do hereby certify that the above determination has been made pursuant to State and local requirements.


Sarah B. Jones

Environmental Review Officer


Date

Virna Byrd, M.D.F.
Supervisor Campos, District 9, (via Clerk of the Board)

cc: Fabien Lannoye, Project Sponsor
Richard Sucre, Current Planner

PROJECT DESCRIPTION (continued):

The 3516 Folsom Street building would be approximately 2,230 square feet in size with a side yard along its north property line. The 3526 Folsom Street building would be approximately 2,210 square feet in size with a side yard along its south property line. The proposed buildings would include roof decks and a full fire protection sprinkler system. The project sponsor proposes to create a mural on the south façade of the 3526 Folsom Street building. The proposed buildings would be supported by a shallow building foundation using a mat slab with spread footings.

The proposed Folsom Street extension improvements would include an approximately 20-foot-wide road with an approximately 10-foot-wide sidewalk on the west side of the street, adjacent to the proposed residences. The proposed sidewalk would be stepped, would incorporate landscaping that would perform storm water retention, and would provide public access to Bernal Heights Boulevard/Bernal Heights Park (along the west side of the Bernal Heights Community Garden). The proposed project would not create direct vehicular access to Bernal Heights Boulevard as the Folsom Street extension would terminate at the Bernal Heights Community Garden. Construction of the street extension would require the removal of the existing landscaped area within the public right-of-way where Folsom Street meets Chapman Street. An existing driveway utilized by both the 3574 Folsom Street and 3577 Folsom Street buildings would also be removed; however, the extension would provide access to the two existing residences.

The proposed project would include the installation of new street trees (subject to approval from PG&E) and street lighting on the west side of the street. No on-street parking would be provided along the Folsom Street extension. In addition to providing utilities for the proposed residences, the project sponsor would install utilities for the four vacant lots located on the "paper street" segment of Folsom Street (one on the west side and three on the east side). No residences are proposed at this time on those lots; the proposed connections would be provided to minimize disruption in the case of future development. Construction would continue for approximately 12 months and would require excavation of up to approximately 10 feet below the existing ground surface.

Project Approvals

Approval Action: If discretionary review before the Planning Commission is requested, the discretionary review hearing is the Approval Action for the project. If no discretionary review is requested, the issuance of a building permit by the Department of Building Inspection (DBI) is the Approval Action. The Approval Action date establishes the start of the 30-day appeal period for this CEQA exemption determination pursuant to Section 31.04(h) of the San Francisco Administrative Code.

EXEMPT STATUS (continued):

CEQA Guidelines Section 15303, or Class 3, provides an exemption from environmental review for construction of new, small facilities or structures. Section 15303(a) specifically exempts up to three single-family homes in urbanized areas, and Section 15303(d) specifically exempts utility extensions and street improvements to service such construction.

The proposed project would construct two single family homes on two lots, with utility extensions and street improvements to service the two structures. Therefore, the proposed project qualifies for an exemption from CEQA under CEQA Guidelines Sections 15303(a) and (d).

DISCUSSION OF ENVIRONMENTAL ISSUES:

CEQA Guidelines Section 15300.2 establishes exceptions to the application of a categorical exemption for a project. As discussed in this certificate of exemption, none of the established exceptions apply to the proposed project.

CEQA Guidelines Section 15300.2, subdivision (a), provides that a Class 3 categorical exemption cannot be used where the project may negatively impact an environmental resource of critical or hazardous concern which is "designated, precisely mapped, and officially adopted pursuant to law by federal, state, or local agencies." For the reasons discussed below under "Resources of Hazardous or Critical Concern," there is no possibility that the proposed project would have a significant effect on the environment related to this circumstance.

CEQA Guidelines Section 15300.2, subdivision (b), provides that a categorical exemption is inapplicable when the cumulative impact of successive projects of the same type in the same place, are significant. For the reasons discussed below under "Cumulative Impacts," there is no possibility that the proposed project would have a significant effect on the environment related to this circumstance.

CEQA Guidelines Section 15300.2, subdivision (c), provides that a categorical exemption shall not be used where there is a reasonable possibility that the activity will have a significant effect on the environment due to unusual circumstances. For the reasons discussed in this certificate of exemption, there is no possibility that the proposed project would have a significant effect on the environment due to unusual circumstances.

CEQA Guidelines Section 15300.2, subdivision (d), provides that a categorical exemption shall not be used for a project that would result in damage to a scenic resource within a highway officially designated as a state scenic highway. Neither Bernal Heights Boulevard nor any other nearby street is a designated state scenic highway. Therefore, there is no possibility that the proposed project would have a significant effect on the environment related to this circumstance.

CEQA Guidelines Section 15300.2, subdivision (f), provides that a categorical exemption shall not be used for a project that may cause a substantial adverse change in the significance of a historical resource. For the reasons discussed below under "Historic Resources," there is no possibility that the proposed project would have a significant effect on a historic resource.

Resources of Hazardous or Critical Concern. According to the CEQA Guidelines, Categorical Exemptions may be used for Class 3-eligible projects except in cases where the project may negatively impact an environmental resource of critical or hazardous concern which is "designated, precisely mapped, and officially adopted pursuant to law by federal, state, or local agencies."

The project site is mapped in an area subject to the Slope Protection Act, adopted by the Board of Supervisors (BOS) in 2008. This ordinance created procedures for additional review of slope stability by

DBI for properties within certain mapped areas and established a Structural Advisory Committee for review of permit applications within this area. The BOS found that the public health, safety, and welfare would be best protected if the Building Official requires permits for new construction in these areas to undergo additional review for structural integrity and potential effects on slope stability, including submission to the Structural Advisory Commission for consideration. If the Structural Advisory Commission finds that a project would result in unsafe conditions that cannot be addressed to the satisfaction of the Committee, the Building Official must deny the permit. Thus, the existing regulatory program and requirements are sufficient to ensure that the proposed project would not result in a significant impact related to slope stability. Adherence to this ordinance has been found to adequately protect the public health, safety, and welfare.

The project site contains no other environmental resource of hazardous or critical concern that has been designated or precisely mapped. Therefore, the proposed project would not have a significant impact on environmental resources of hazardous or critical concern and this exception to the Categorical Exemption does not apply.

Utilities. PG&E Transmission Pipeline 109 runs under Folsom Street from the 280 freeway to Bernal Heights Boulevard, including under the project site, after which it circles Bernal Heights Park's eastern edge before continuing onto Alabama Street, Cesar Chavez Street and neighborhoods along Potrero Hill, Dogpatch and the Central Waterfront. The Pipeline's alignment takes it through a variety of residential neighborhoods in the southeast area of the City, and other similar pipelines run beneath streets in other areas of the city (see Figure 1). The presence of a gas transmission pipeline beneath areas adjacent to residential development is not unusual in San Francisco or throughout the state because residential homes are commonly served by gas lines.

According to PG&E, Pipeline 109 was installed in 1981 and was successfully strength tested at the time of installation. It has a maximum allowable operating pressure of 150 pound per square inch gage which is 19.8% of the pipe's specified minimum yield strength. It is patrolled at least quarterly, and is surveyed for leaks at least annually. The system PG&E uses to combat pipeline erosion is inspected every two months. PG&E also performs External Corrosion Direct Assessments, which involve excavation and physical inspection of the pipeline.

PG&E has stated that the construction of the two homes will present no particular issues with respect to patrolling and maintaining the pipeline, as the proposed home sites are no closer to the pipeline than existing residential properties on Folsom Street and other areas of San Francisco.

Figure 1. Pipeline Transmission Network



PG&E natural gas lines run under a number of small and large streets in San Francisco that have experienced, and will continue to experience, maintenance that includes earth movement, excavation and related work in proximity to a natural gas transmission line.

Section 4216.2(a)(1) of the California Government Code requires that any contractor or resident that excavates on private property must call 811 (Underground Service Alert (USA) North) at least two business days before excavation. USA will inform PG&E of the request to excavate and, in the case of work done in proximity to a pipeline such as that proposed by the Project Sponsor, require that a PG&E standby employee be contacted. PG&E staff must physically observe a safe excavation and must be present for any excavation within ten feet of their transmission lines, and will instruct and guide the excavating party, on-site, to avoid damage to the pipeline. These practices apply in the case of both housing construction and road improvements anywhere in San Francisco adjacent to a gas transmission pipeline. These practices, as required by law, are in place to ensure construction activities do not substantially affect underground services, including natural gas pipelines. Furthermore, PG&E regulations require review of proposed plans for any work within 10 feet of their facilities. Therefore, these regulations would ensure that no significant environmental effect would occur from construction in proximity to PG&E's natural gas pipeline.

In light of the above, there is no possibility that the proposed project would have a significant effect on the environment related to unusual circumstances with regards to the presence of the PG&E natural gas pipeline.

Emergency Access. While the width and grade of the proposed street improvement preclude the San Francisco Fire Department (SFFD) apparatus from traversing the proposed street, the proposed project would be required to conform to Fire Code Section 503.1.1, which mandates all portions of the exterior walls of the first story of any constructed building to be within 150 feet of an approved fire apparatus access road. Both Folsom Street and Bernal Heights Boulevard are accessible to SFFD apparatus and are within 150 feet of all portions of the exterior walls of the first floor of both proposed homes. Furthermore, the proposed homes include automatic sprinkler systems. As the proposed houses are within 150 feet of approved fire access roads and include automatic sprinkler systems, the proposed project conforms with the Fire Code and the project therefore does not present a hazardous condition with respect to public safety related to emergency access.

Aesthetics. The project site is located downhill from Bernal Heights Park and Bernal Heights Boulevard. The Urban Design Element of the General Plan includes three maps relevant to the proposed project: 1) Street Areas Important to Urban Design and Views, 2) Quality of Street Views, and 3) Plan to Strengthen City Pattern through Visually Prominent Landscaping. Neither Bernal Heights Boulevard nor Folsom Street is included on the map "Street Areas Important to Urban Design and Views". Bernal Heights Boulevard, Folsom Street and Chapman Street in the area of the proposed project are designated as having average views on the "Quality of Street Views map". Bernal Hill is identified as an important vista point to be protected on the "Plan to Strengthen City Pattern Through Visually Prominent Landscaping map".

The proposed project (two buildings reaching a height of 30 feet) would not obstruct views from Bernal Heights Park. The Bernal Heights East Slope Design Guidelines include roof treatment guidelines to minimize or avoid obscuring views, and the north elevation of the proposed project would comply with

the Bernal Heights East Slope Design Guidelines. Furthermore, the proposed roofs of the two buildings would sit below the elevation of Bernal Heights Boulevard.

Therefore, the two proposed 30 foot tall buildings would not result in a substantial demonstrable adverse effect to any scenic views or resources.

Historic Resources. The project site is currently vacant, undeveloped land, and does not include any historic resources. Neither the project site nor the immediately surrounding neighborhood is within a historic district designated under federal, state or local regulations.

As the proposed project requires excavation up to a depth of 40 feet, it was subject to a Preliminary Archeological Review (PAR) by a Planning Department Archeologist. The PAR determined that the proposed project would result in no effect on archeological resources.¹

Thus, the proposed project would not result in an adverse impact to a historic resource.

Geotechnical. The dimensions of each lot are 25 feet wide by 70 feet deep. Both lots have an approximately 32 percent slope from the north to south side of the lot. Each residence would be constructed on a flat building pad with concrete retaining walls used in the front and rear yard areas to provide access to the garage and create usable outdoor living areas. The buildings would be constructed using a spread footing and/or mat foundation, requiring excavation several feet in depth.

A geotechnical report was prepared for each of the two proposed residences (3516 and 3526 Folsom Street) and includes information gathered from a site reconnaissance by the geotechnical engineer and two soil borings, one on each lot.² Both borings encountered 3 to 4 feet of stiff clay and sandy soil over chert bedrock. No groundwater was encountered, though based on the hillside location and soil and bedrock morphology it is possible that groundwater seepage from offsite irrigation could be encountered during excavation on the project site.

The geotechnical reports include the same evaluation and recommendations given the adjacency of the two lots and similar geotechnical/geological site conditions. The project site was evaluated for potential liquefaction, landslides, surface rupture, lateral spreading, and densification and was found to have a low risk. The geotechnical reports indicate the project site is not within an identified landslide or liquefaction zone as mapped by the California Divisions of Mines and Geology.³ The project site is in an area that would be exposed to strong earthquake shaking. However, the 2013 San Francisco Building Code (Building Code) requires the Site Classification and Values of Site Coefficients be used in the design of new structures to minimize earthquake damage. The geotechnical reports include seismic design

¹ Preliminary Archeological Review Log, September 26, 2013. A copy of this document, and all documents cited below, are available for public review at the San Francisco Planning Department, 1650 Mission Street, Suite 400, as part of Case file No. 2013.1383E.

² H. Allen Gruen, *Report Geotechnical Investigation Planned Residence at 3516 Folsom Street*, and *Report Geotechnical Investigation Planned Residence at 3526 Folsom Street*, August 3, 2013. Copies of these documents are available for public review at the San Francisco Planning Department, 1650 Mission Street, Suite 400, as part of Case File No. 2013.1383E.

³ California Department of Conservation, Seismic Hazard Zones, City and County of San Francisco, November 17, 2000. Available online at http://gmw.consrv.ca.gov/shmp/download/quad/SAN_FRANCISCO_NORTH/maps/ozn_sf.pdf. Accessed July 8, 2016.

parameters for use in the project design by the structural engineer, in compliance with the Building Code, during the building permit plan check process.

Both geotechnical reports conclude that the proposed improvements could be safely supported using a spread footing and/or mat building foundation, provided adherence to the site preparation and foundation design recommendations included in the reports. The San Francisco Building Code ensures the safety of all new construction in the City. Decisions about appropriate foundation and structural design are considered as part of DBI's permit review process. Prior to issuing a building permit for the proposed project, DBI would review the geotechnical report to ensure that the proposed project complies with building safety and seismic design standards, as well as compliance with the requirements of the Slope Protection Act. Therefore, potential damage to structures from geologic hazards on the project site would be addressed through compliance with the San Francisco Building Code. Thus, the proposed project would have no significant geotechnical impacts.

Shadow. The project site is located to the southwest of the Bernal Heights Community Garden. Therefore, a shadow analysis was prepared by the Project Sponsor/Architect. The shadow analysis provides simulations that show that the proposed project would cast new shadow on the Bernal Heights Community Garden, but that shadow would be limited to only certain periods in the winter and summer and the new shadow would only fall on a portion of the southwestern corner of the community garden mainly in the evening after 5:30 pm. In most cases throughout the year, the shadow cast by the proposed project either does not fall on the community garden or is contained within shadow already cast by existing structures on Gates Street.

While the proposed project would cast new shadow on the community garden, it is not expected to substantially affect the use or enjoyment of the Bernal Heights Community Garden such that a significant environmental effect would occur.

Transportation. Using the Planning Department's 2002 Transportation Impact Analysis Guidelines for Environmental Review (October 2002), the proposed project is estimated to generate approximately nine daily automobile trips. The change in traffic in the project area as a result of the proposed project would be indiscernible to most drivers. The proposed project would add a negligible increment of vehicle traffic to the cumulative long-term traffic increase on the neighborhood's roadway network. Thus, the project would not substantially affect the neighborhood's existing or cumulative traffic conditions.

Planning Code Section 242 requires, generally, two functional off-street parking spaces per residential unit in the Bernal Heights Special Use District. The proposed project includes two parking spaces per residential unit (four, in total). Guests and visitors arriving by car would be able to utilize nearby on-street parking. According to the Department's transportation impact analysis guidelines, the parking demand for the proposed project is three spaces. As the proposed project includes four spaces, there would be no parking shortfall.

San Francisco does not consider parking supply as part of the permanent physical environment and therefore, does not consider changes in parking conditions to be environmental impacts as defined by CEQA. Parking conditions are not static, as parking supply and demand varies from day to day, from day to night, from month to month, etc. Hence, the availability of parking spaces (or lack thereof) is not a permanent physical condition, but changes over time as people change their modes and patterns of

travel. The small number of projected vehicle trips generated by the proposed project, approximately nine per day (which includes vehicle trips by the residents who would utilize the project's off-street parking), would not result in a parking deficit and therefore any secondary impacts from a parking shortfall on the environment would not ensue, including increased traffic congestion, emissions, safety or noise.

In light of the above, the proposed project would not result in any significant transportation impacts.

Biological Resources. Nearby Bernal Hill is a natural area that has been evaluated for the presence of birds and bird habitat. According to San Francisco Recreation and Parks' Significant Natural Resources Areas Management Plan (SNRAMP), two sensitive bird species have been observed at Bernal Hill: Say's phoebe (*Sayornis saya*) and Wilson's warbler (*Wilsonia pusilla*). There is also a single area of important bird habitat, which includes the entire grasslands area of Bernal Hill.

The project site contains trees and vegetation not unlike those found on Bernal Hill. The Project Sponsor would be required to comply with the Federal Migratory Bird Treaty Act (MBTA) as well as California Department of Fish and Game Code 3513 regarding the protection of nesting birds during construction. California Department of Fish and Wildlife (DFW) biologists have broadly defined the nesting season as February 1st through August 15th (although there are more specific dates for certain species of birds). If timing restrictions make it impossible to avoid the nesting season, the construction areas should be surveyed for nesting birds and active nests should be avoided. A biologist should inspect the construction areas for active nests. If adult birds are observed flying to and from a nest, or sitting on a nest, it can be assumed that the nest is active. Construction activity within 300 feet of an active nest should be delayed until the nest is no longer active. The active nest should be watched, and when the chicks have left the nest and activity is no longer observed around the nest, it is safe to continue construction activity in the nest area.

As the proposed project would be required to comply with the MBTA and DFW regulations, and as there is abundant substantially similar, and protected, habitat available nearby on Bernal Hill, project construction would not have a significant effect on any bird species or their habitat and the development of these two lots, adjacent to other similar development, would not result in a significant impact on bird species or habitat.

Water Quality. The proposed project would not generate wastewater or stormwater discharges that have the potential to degrade water quality or contaminate a public water supply. Project-related wastewater and stormwater would flow to the City's combined stormwater/sewer system and would be treated to standards contained in the City's National Pollutant Discharge Elimination System (NPDES) Permit for the Southeast Treatment Plant prior to discharge into San Francisco Bay. Additionally, the proposed project is required to comply with the Stormwater Management Ordinance, which require the project to maintain or reduce the existing volume and rate of stormwater runoff at the site by retaining runoff onsite, promoting stormwater reuse, and limiting site discharges before entering the combined sewer collection system.

The proposed project would also be required to comply with requirements of the Construction Site Runoff Ordinance, which regulates the discharge of sediment or other pollutants from construction sites and prevents erosion and sedimentation due to construction activities. Furthermore, before the street

improvement permit can be finalized, SFPUC must review and approve the proposed plans. Therefore, the proposed project would not have significant environmental impacts related to water quality.

Cumulative Impacts. CEQA Guidelines Section 15300.2, subdivision (b), provides that a categorical exemption is inapplicable when the cumulative impact of successive projects of the same type in the same place, are significant. For the reasons discussed below there is no possibility that the proposed project in combination with reasonably foreseeable cumulative projects would have a significant effect on the environment.

The project as proposed in the Environmental Evaluation application is for the construction of two single-family residences on two vacant lots located on the "paper street" segment of Folsom Street as well as utility extensions and street improvements that would serve the two homes and four undeveloped lots along this segment of Folsom Street. The four adjacent lots are all under different ownership than the project lots and no Environmental Evaluation applications are on file with the Planning Department for development of those lots. Any future development proposals on the adjacent lots would require further environmental review and City approval.

Since the 3516 and 3526 Folsom Street project is the first proposed development on the "paper street" segment of Folsom Street, the project sponsor would be required to construct pedestrian and vehicular access to this segment of Folsom Street. The project sponsor has also agreed to construct utilities to service the remaining four undeveloped lots so as to avoid any need to excavate the improved section of Folsom Street in the event homes are proposed for the four remaining vacant lots in the future. At this time, it is unknown whether utilities would come from Bernal Heights Boulevard to the north or from Chapman Street to the south. This would be determined by PG&E and the SFPUC once the project is entitled. It is anticipated that utility lines would run under the entire length of the street extension, which would reduce or avoid the need for future utility-related construction activities should development occur on the adjacent lots.

Pursuant to CEQA, cumulative impacts refer to two or more individual effects which, when considered together, are considerable or which compound or increase other physical environmental impacts. The proposed project would construct two single-family homes, improve a segment of Folsom Street, and provide utilities for the two proposed homes and four adjacent lots. While there are no Environmental Evaluation applications on file with the Planning Department for the four adjacent lots, the improvements proposed by the project would facilitate future development of those lots. The cumulative effects of the proposed project in addition to development of the four adjacent lots are addressed below.

Shadow. The vacant lots to the east of the project site would have the potential to shade the Bernal Heights Community Garden. If those lots are developed, they would be required to undergo environmental review in accordance with CEQA and would require a shadow analysis. As discussed above, the proposed project would shade a portion of the southwestern corner of the community garden mainly in the evening after 5:30 pm. Therefore, the proposed project would not result in a considerable contribution to any cumulative shadow impact that could result from development of the adjacent lots.

Transportation. The addition of two single-family residences would generate an estimated 9 daily vehicle trips. Should development occur on the four adjacent lots, which are each permitted to construct one

single-family residence, it is estimated that an additional 18 daily vehicle trips would be generated. The addition of 18 daily vehicle trips in combination with the proposed project's 9 daily vehicle trips would be dispersed through-out the day and would not be considered a substantial number of trips that could adversely affect the local transportation system.

In addition, any subsequent development would be required to comply with the same regulations as the proposed project including, but not limited to, compliance with the San Francisco Building and Fire Codes, Slope Protection Act, PG&E regulations for work in proximity to their pipeline, the SFPUC's Stormwater Management Ordinance and Construction Site Runoff Ordinance, the MBTA and DFW regulations protecting nesting birds and the Bernal Heights East Slope Design Guidelines. These regulations would ensure that development of the adjacent lots, would not result in significant effects to geology/soils, emergency access, water quality, utilities, biological resources, and aesthetics.

Thus, the proposed project would not result in a considerable contribution to any cumulative environmental impacts.

Conclusion. The proposed project satisfies the criteria for exemption under the above-cited classification(s). In addition, none of the CEQA Guidelines Section 15300.2 exceptions to the use of a categorical exemption applies to the proposed project. For the above reasons, the proposed project is appropriately exempt from environmental review.

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July 8, 2016

VIA HAND DELIVERY AND EMAIL

Angela Calvillo, Clerk of the Board
San Francisco Board of Supervisors
1 Dr. Carlton B. Goodlett Place
City Hall, Room 244
San Francisco, CA 94102
bos.legislation@sfgov.org

Re: Appeal of CEQA Categorical Exemption Determination
Planning Case No. 2013.1383E
Building Permit Application Nos. 2013.12.16.4318 & 2013.12.16.4322
3516-3526 Folsom Street ("Project Site")

Dear Ms. Calvillo:

Enclosed, please find the following:

1. 236 letters in support of the CEQA appeal;
2. A letter from pipeline expert Professor Robert Bea (UC Berkeley, Emeritus); and
3. A report from structural and civil engineer Patrick Buscovich.

Please kindly include these items with the appeal file. Additional materials will be submitted prior to the appeal hearing.

Thank you.

Very truly yours,

ZACKS, FREEDMAN & PATTERSON, PC

/s/ Ryan J. Patterson

Ryan J. Patterson

Encl.

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CENTER FOR CATASTROPHIC RISK MANAGEMENT
DEPARTMENT OF CIVIL & ENVIRONMENTAL ENGINEERING
BERKELEY, CALIFORNIA 94720-1710

June 29, 2016



**Re: Inquiry about Gas Transmission Pipeline 109 from concerned SF residents
Proposed Project at 3516-3526 Folsom Street, San Francisco, CA**

Dear Neighbors of Gas Transmission Pipeline 109:

Given the background information you have provided, yes, you should be concerned. There are several points in your summary that provide good basis for your concerns:

- 1) Old (1980's) PG&E gas transmission pipeline installed in area with highly variable topography,
- 2) Lack of records on the construction, operation, and maintenance of the pipeline,
- 3) No definitive guidelines to determine if the pipeline is 'safe' and reliable,
- 4) Apparent confusion about responsibilities (government, industrial-commercial) for the pipeline safety, reliability, and integrity.

This list is identical to the list of concerns that summarized causation of the San Bruno Line 132 gas pipeline disaster.

The fundamental 'challenge' associated with communicating your concern is tied to the word 'safe'. Unfortunately, it has been very rare that I have encountered organizations that have a good understanding of what that word means, and less of an understanding of how to demonstrate that a given system is 'safe enough.'

During my investigation of the San Bruno disaster, I did not find a single document (including trial deposition transcripts) that clearly indicated PG&E or the California PUC had a clear understanding of the word 'safe': *"freedom from undue exposure to injury and harm."* Further, it was clear they did not have a clear understanding of the First Minimal Principle of Civil Law: *"It is lawful to impose risks on people if and only if it is reasonable to assume that they have sufficient knowledge to understand the risks and have consented to accept those risks."*

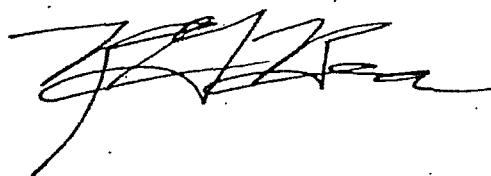
Much of this situation is founded in 'ignorance'. It is very rare for me to work with engineers or managers who have an accurate understanding of what the word 'safe' means - and no clue about how to determine if a system is either safe or unsafe. The vast majority of governmental regulatory agencies are even worse off.

I have attached a graph that helps me explain the important concepts associated with determining if a system is either safe or unsafe. The vertical scale is the annual likelihood of failure. The horizontal scale is the consequences associated with a failure. The diagonal lines separate the graph into two quadrants: Safe and Not Safe. If the potential consequences can be very high, then the probability of failure must be very low. Uncommon common sense.

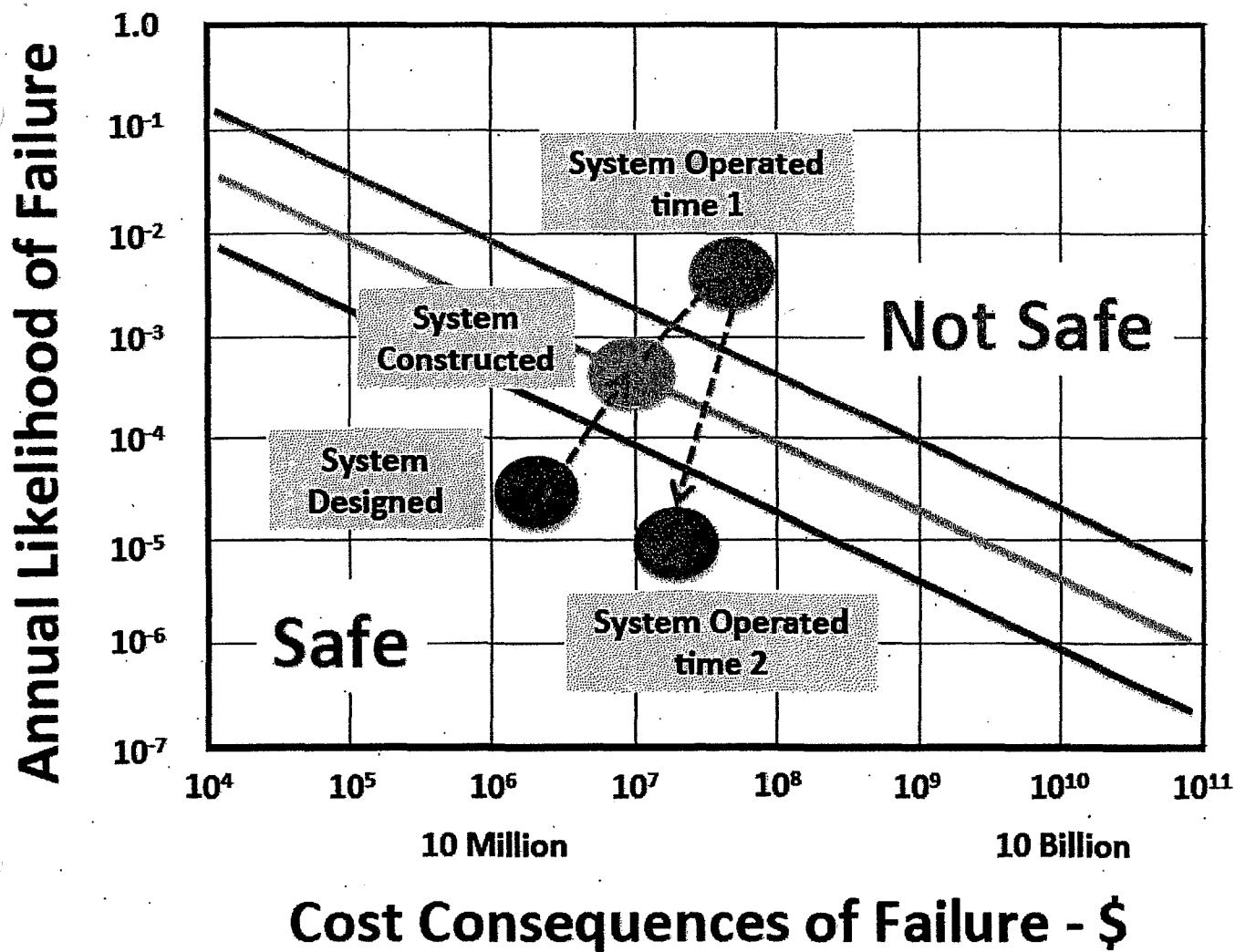
On the graph, I show a system that was designed for a particular 'risk' (combination of likelihood and consequences of failure). When it was constructed, the risk increased due to construction 'malfunctions' - like bad welding. When the system was put into service, the risk increased further - perhaps due to poor corrosion protection and due to the area around the pipeline being populated with homes, businesses, schools and other

things that increase the potential consequences of a major failure. Once it is determined that the system that was originally designed to be safe is no longer safe, then it is necessary to do things that will allow the system to be safely operated—reduce the likelihood of failure (e.g. repair the corrosion) and reduce the consequences of failure (e.g. install pressure control shut off sensors and equipment that can detect a loss of gas and rapidly shut down the system)—or replace the segment of the pipeline that no longer meets safety-reliability requirements.

After I completed my investigation of the San Bruno disaster, I prepared a series of 'graphics' that summarized my findings. A copy of the file is attached. I hope it will help you understand how to better communicate your valid concerns regarding this development.



Robert Bea
Professor Emeritus
Center for Catastrophic Risk Management
University of California at Berkeley
email: bea@ce.berkeley.edu



The PG&E San Bruno Disaster

'Root Causes' Analysis Summary

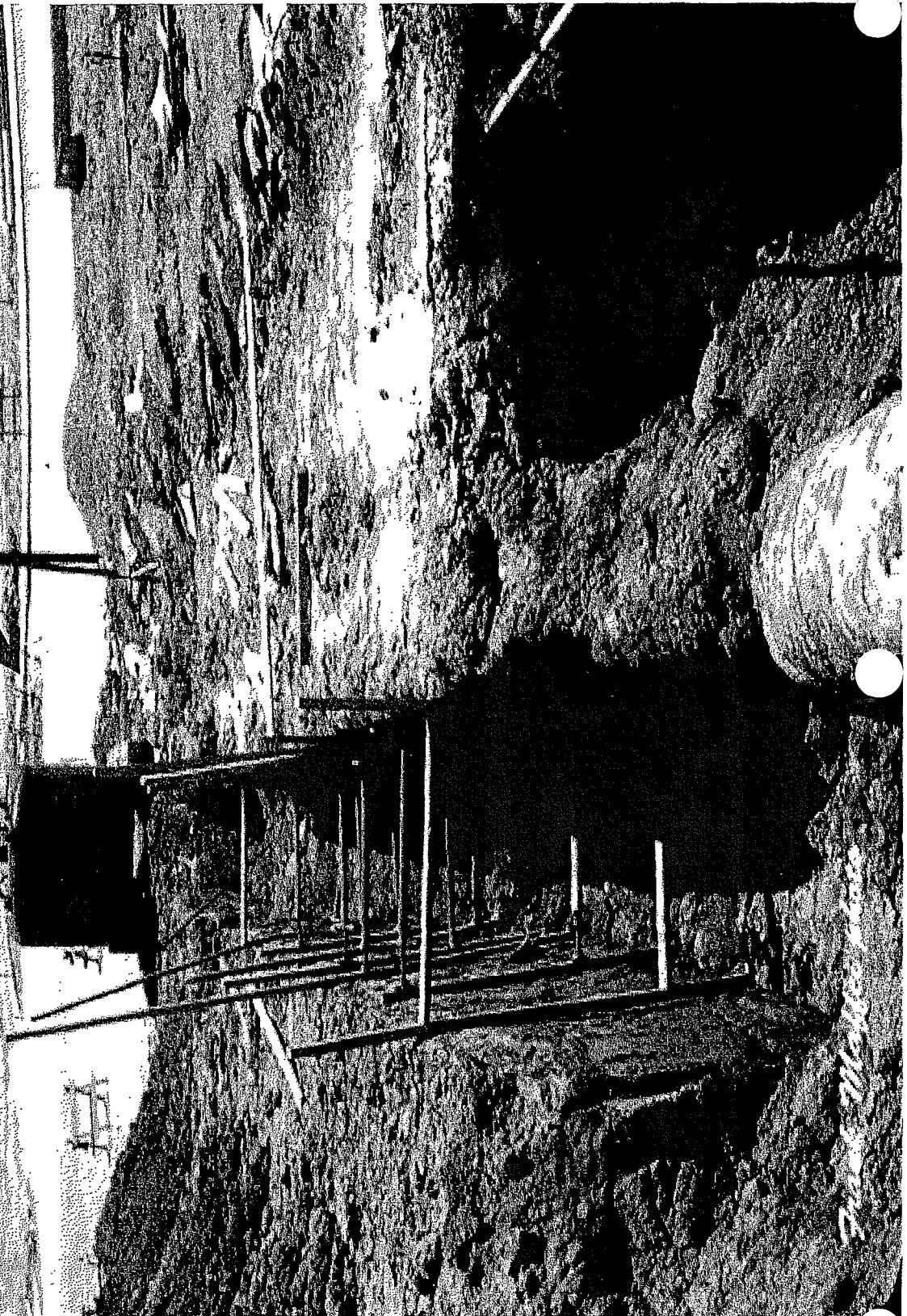


Crestmoor High Consequence Area

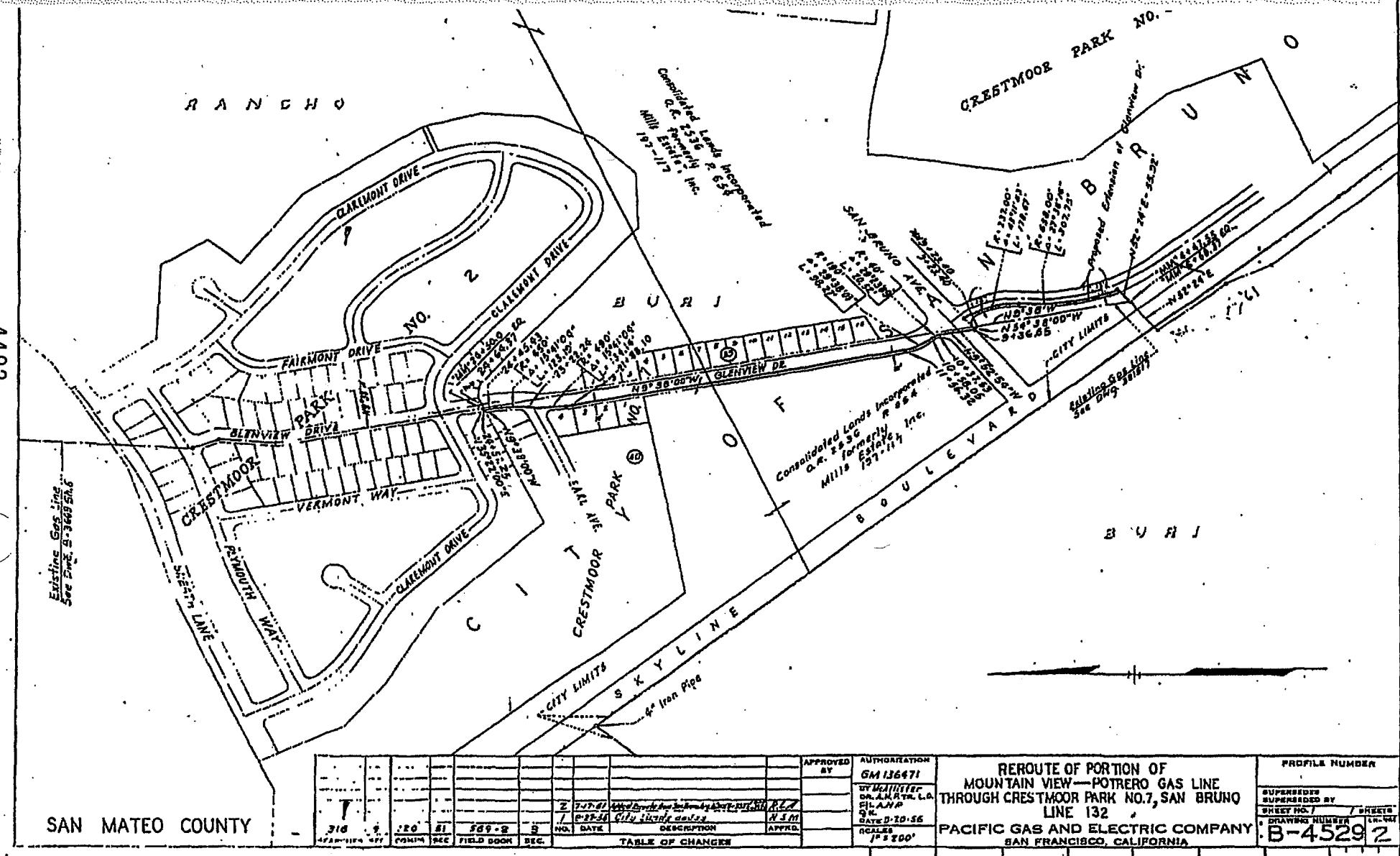


Installing
Segment 180
in 1956

bottom of the ravine
"Crestmoor Canyon"



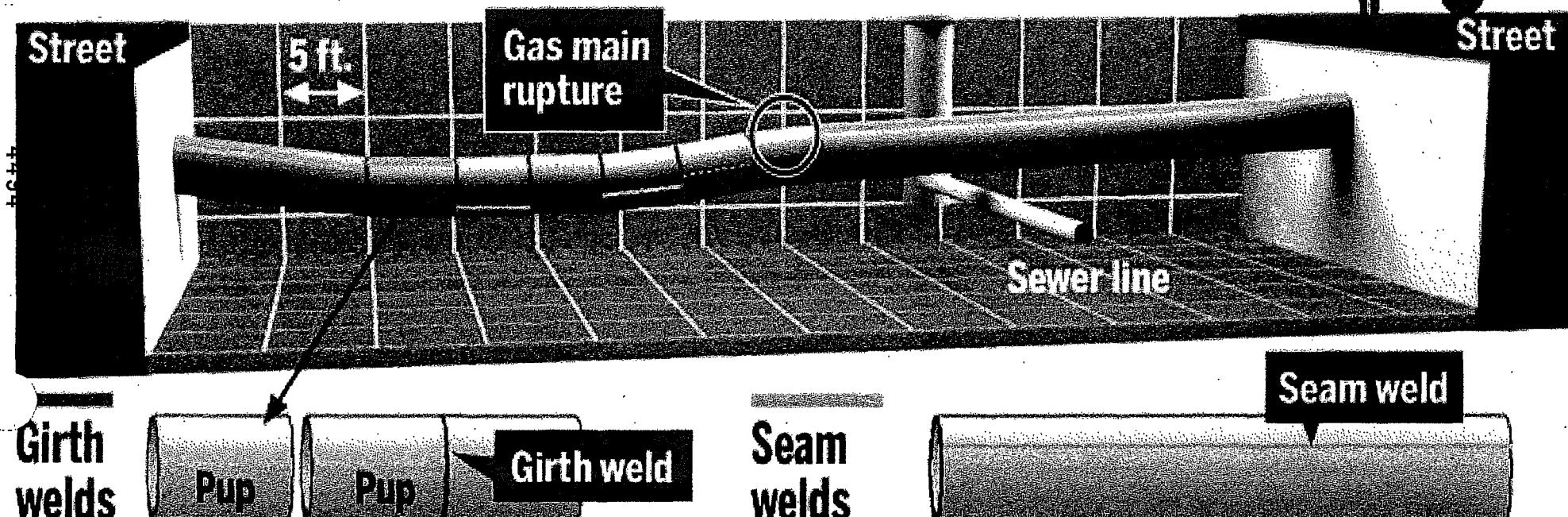
PG&E plans sent to field for 1956 relocation – details not provided for ravine profile



PG&E did not provide the construction 'details' to accommodate the change in vertical direction at the bottom of the 'ravine'

Gas pipeline construction

A report in January from the National Transportation Safety Board said that the natural gas pipeline that exploded in San Bruno in September 2010 had more than 100 spots with inadequate welds. These welds were either girth or seam welds, defined below.

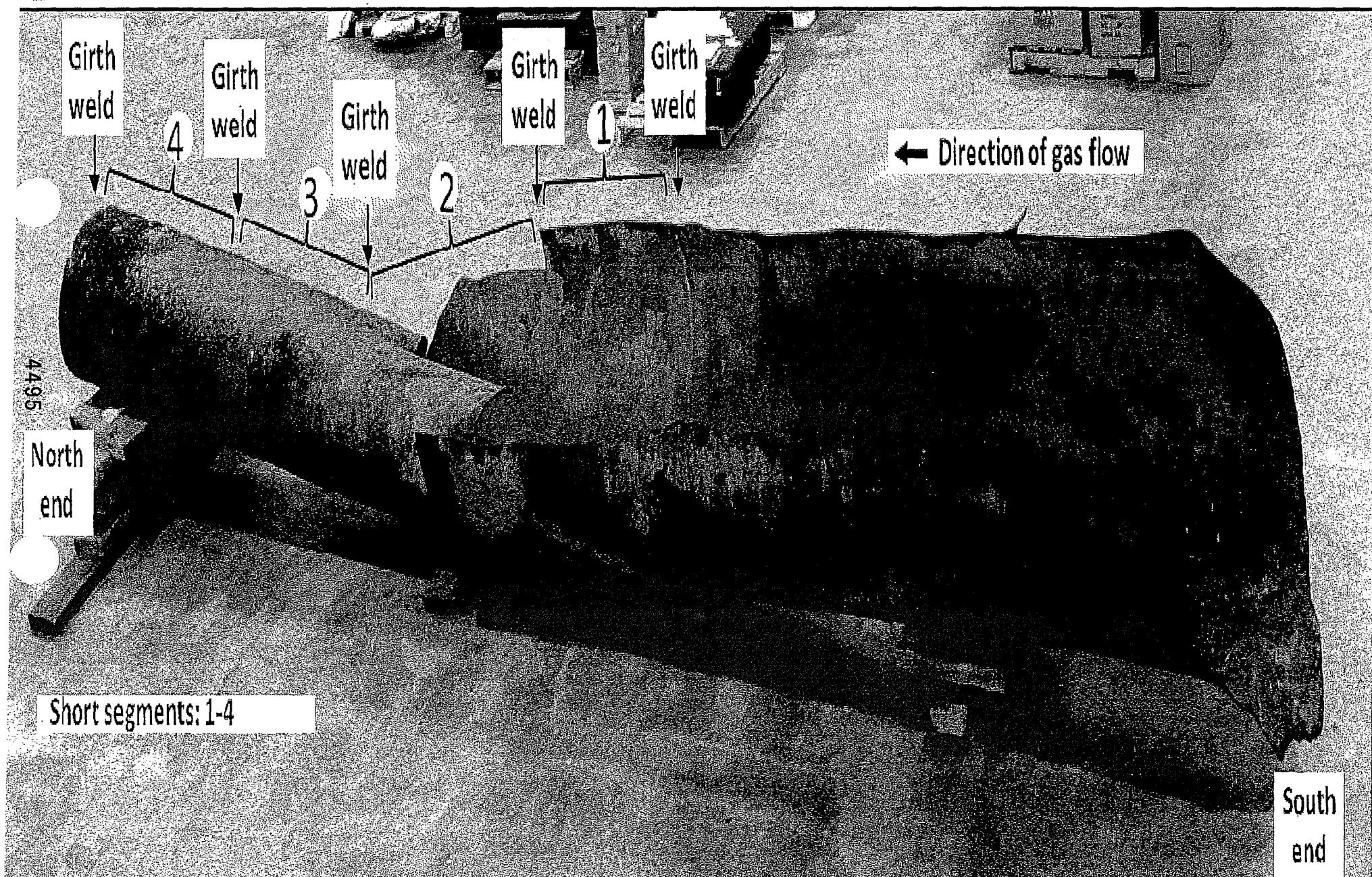


Within the 44-foot section of the damaged pipeline were six smaller pieces, known as "pups," all welded end-to-end at the girth on-site in 1956.

Source: National Transportation Safety Board

Done at a factory, pipes were made by rolling steel sheets and welding them at the seam. Investigators found numerous welds only penetrated halfway through the steel when they should have gone all the way.

PG&E installed a 'litter of pups' to accommodate the change in vertical direction at the bottom of the 'ravine'



Longitudinal wedge inside pipe missing

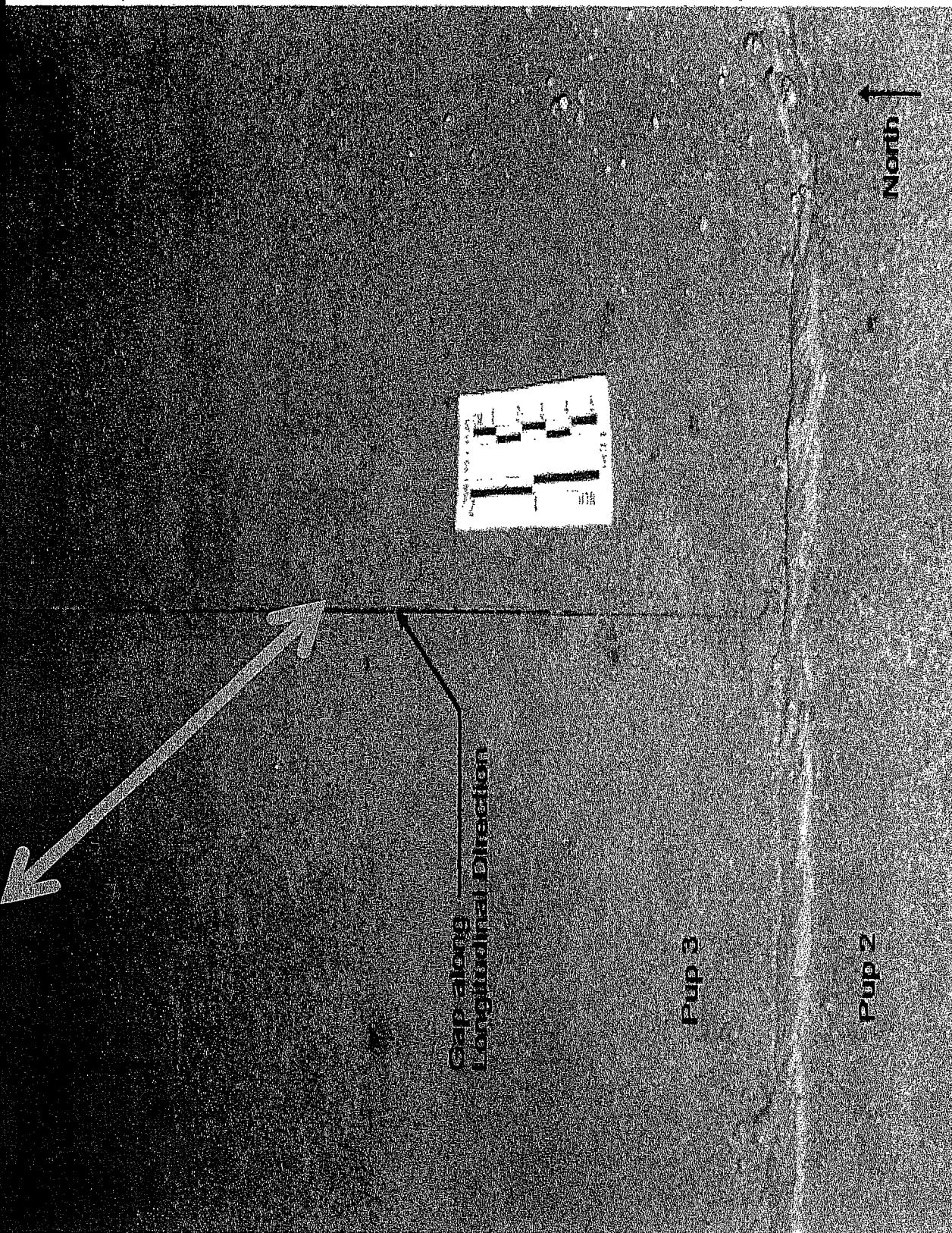


Figure 9: Inside wall of pup 3 showing a longitudinal gap that extended the length of the pup.

Welded from outside and ground flush

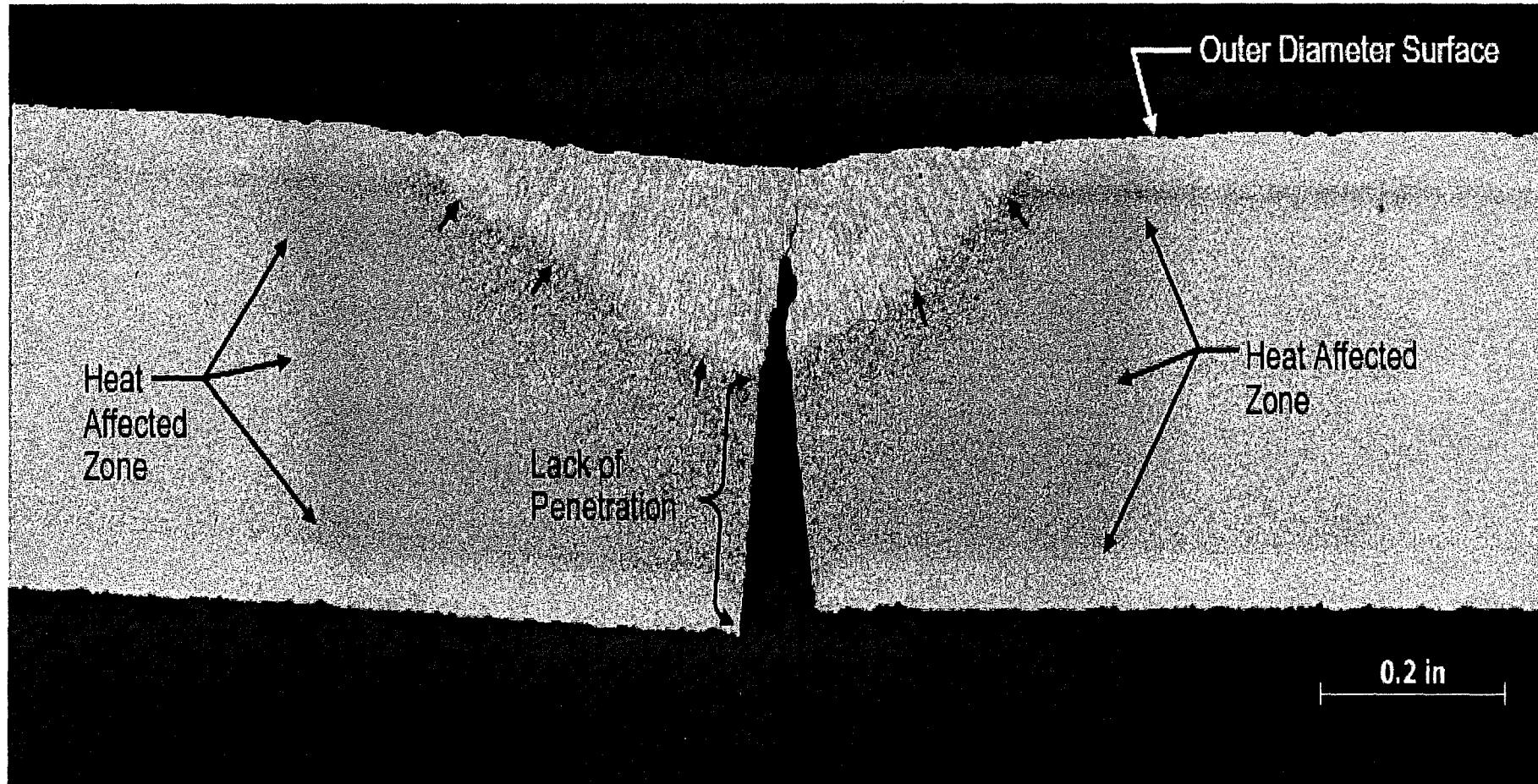


Figure 48: Etched metallographic cross section of the longitudinal seam in pup 3 taken 10 inch north of girth weld C3. The microstructure of the weld was consistent with a fusion welding process along the outer diameter surface of the seam.
Blue arrows – weld pool boundary along outer diameter surface seam.

Weld flaws propagated by pressure fluctuations & 'spiking'

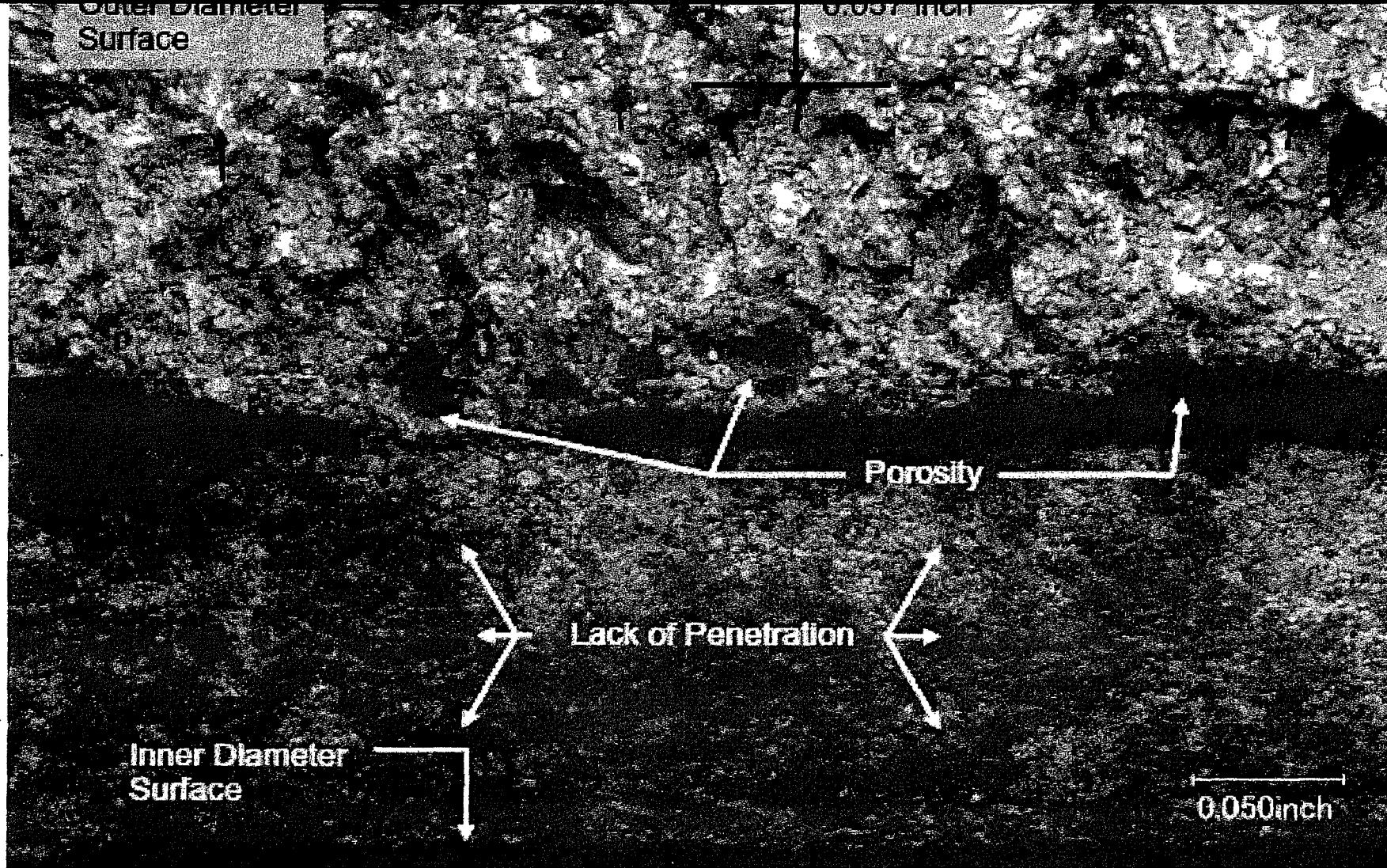


Figure 35: Micrograph of the initiation site in pup 1 at the 21.4 inch mark, the deepest point of the crack arrest mark. The profile of the arrest mark is indicated by the black arrows.

PG&E Milpitas control room

operator:
"We're Screwed!"

The history of Line 132 Segment 180

'A Tyranny of Incremental Disastrous Decisions'

1956 construction 'work arounds' to relocate Line 132 and install Segment 180

1968 start intentional pressure 'Spiking' to maintain MAOP

1978 no action taken to hydrostatically test Line 132

1985 no action taken to replace Line 132 as part of the GPRP

1987 no action taken to uncover pipeline to determine what was 'in the ground'

The history of Line 132 Segment 180

'A Tyranny of Incremental Disastrous Decisions'

1988 no action taken to determine cause of leak in Line 132

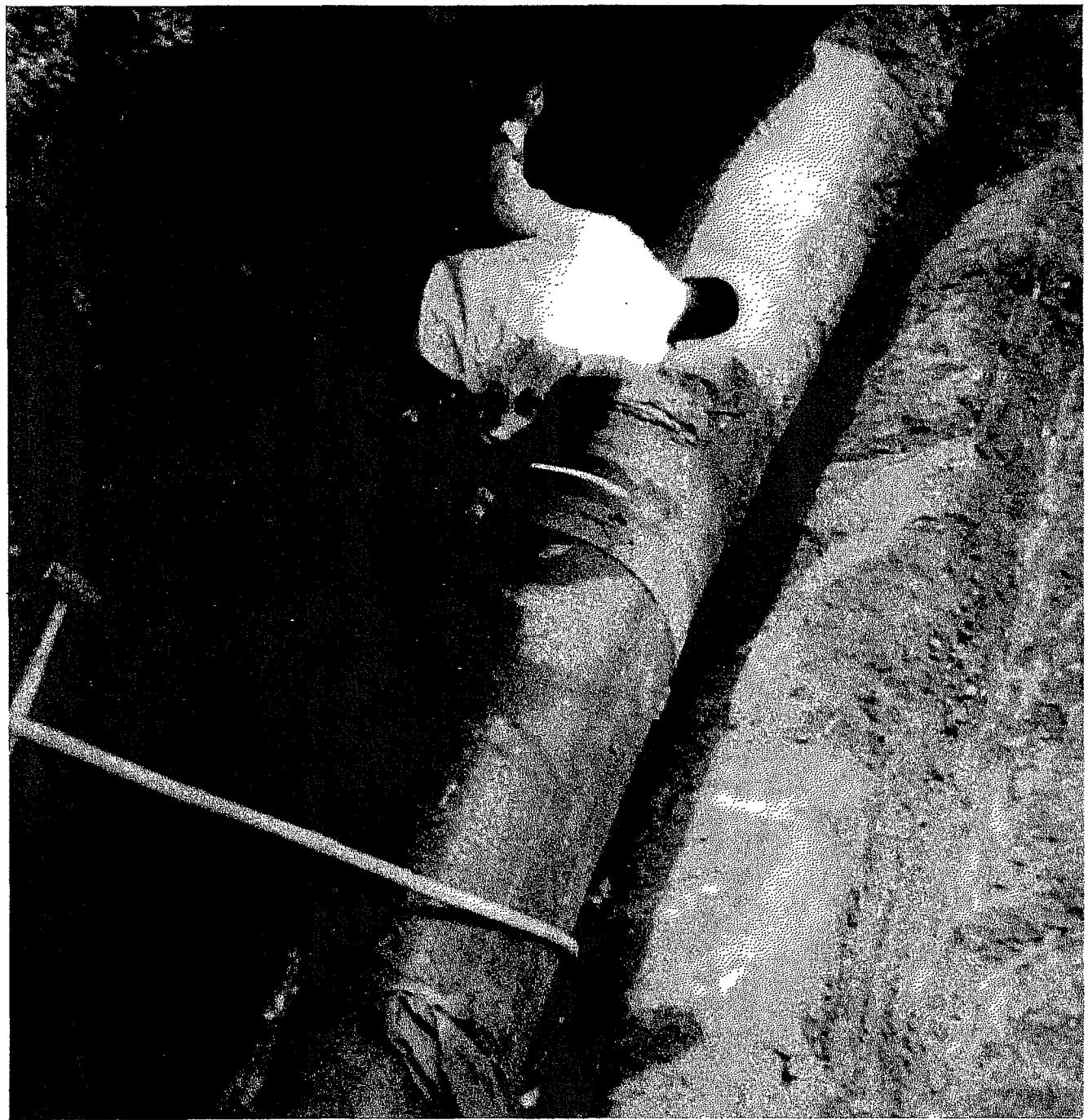
1996 no actions taken to install RCVs or ASVs to reduce effects of rupture

1998 no actions taken to validate information contained in pipeline GIS

2000 replaced GGRP with Risk Management Program to reduce costs

2003 repeat intentional pressure 'Spiking' to maintain MAOP

2004 integrity survey discloses 13 leaks with 'unknown' causes



Line 132 Bunker Hill Longitudinal weld leak

The history of Line 132 Segment 180

'A Tyranny of Incremental Disastrous Decisions'

2008 no actions taken to determine 'unknown' causes of 26 leaks in Line 132

2008 repeat intentional pressure 'Spiking' to maintain MAOP

2008 no inspection of Segment 180 uncovered for sewer replacement

2009 Enterprise Risk Management report recognizes pipeline explosion risks

2010 audit of PG&E's Integrity Management Program discloses dilution through exception process and insufficient allocation of resources

The history of Line 132 Segment 180

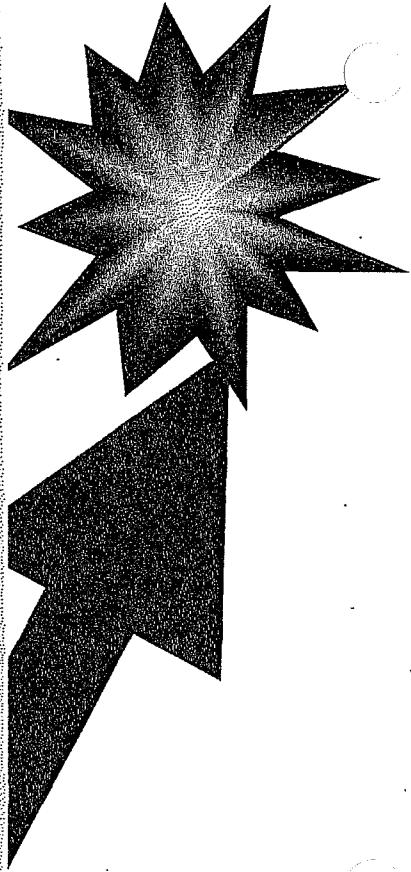
A history of
incremental disastrous decisions

2010 additional manufacturing defect discovered in Line 132 girth weld

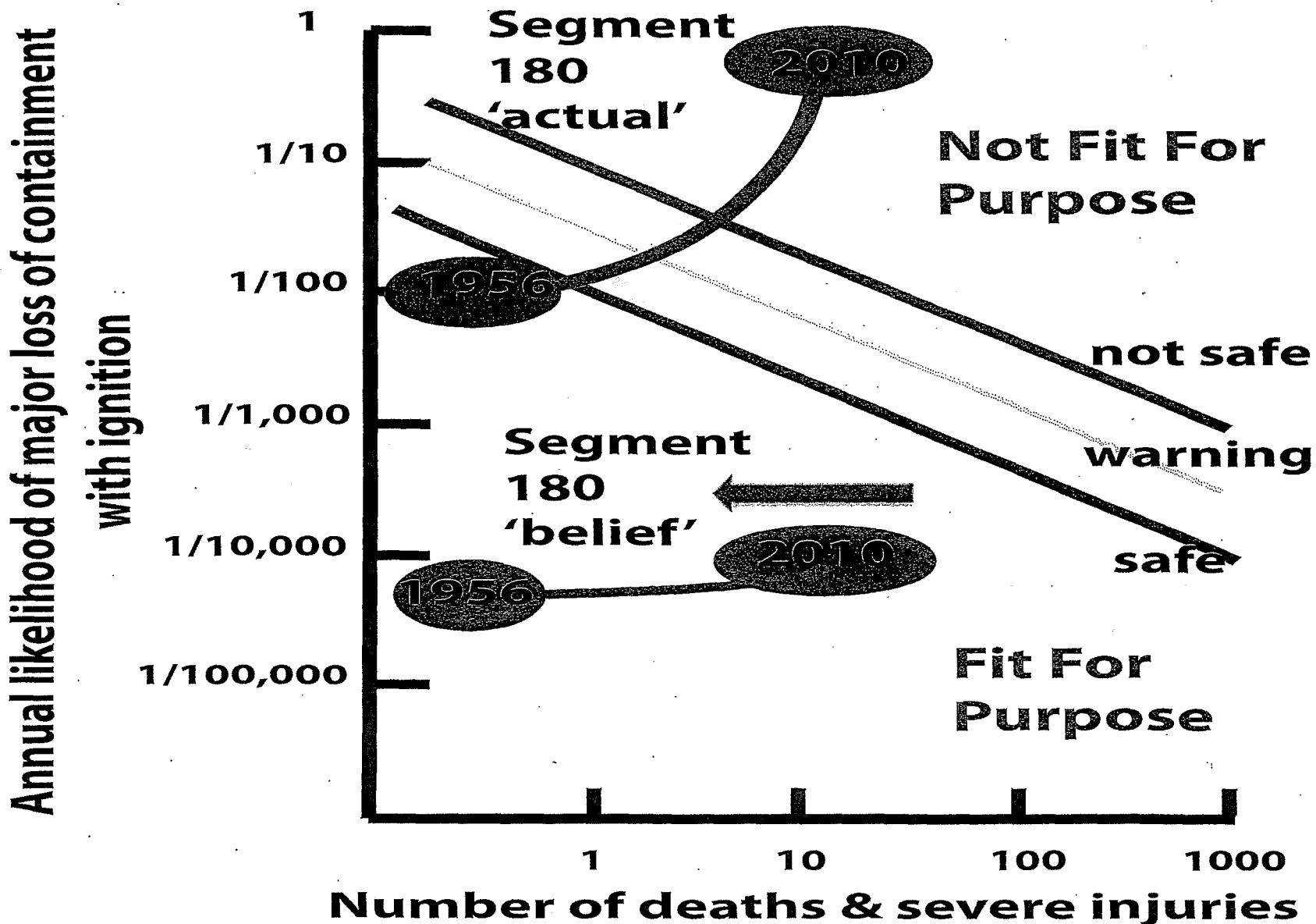
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2010 September 9 at 6:11 PM Line 132 Segment

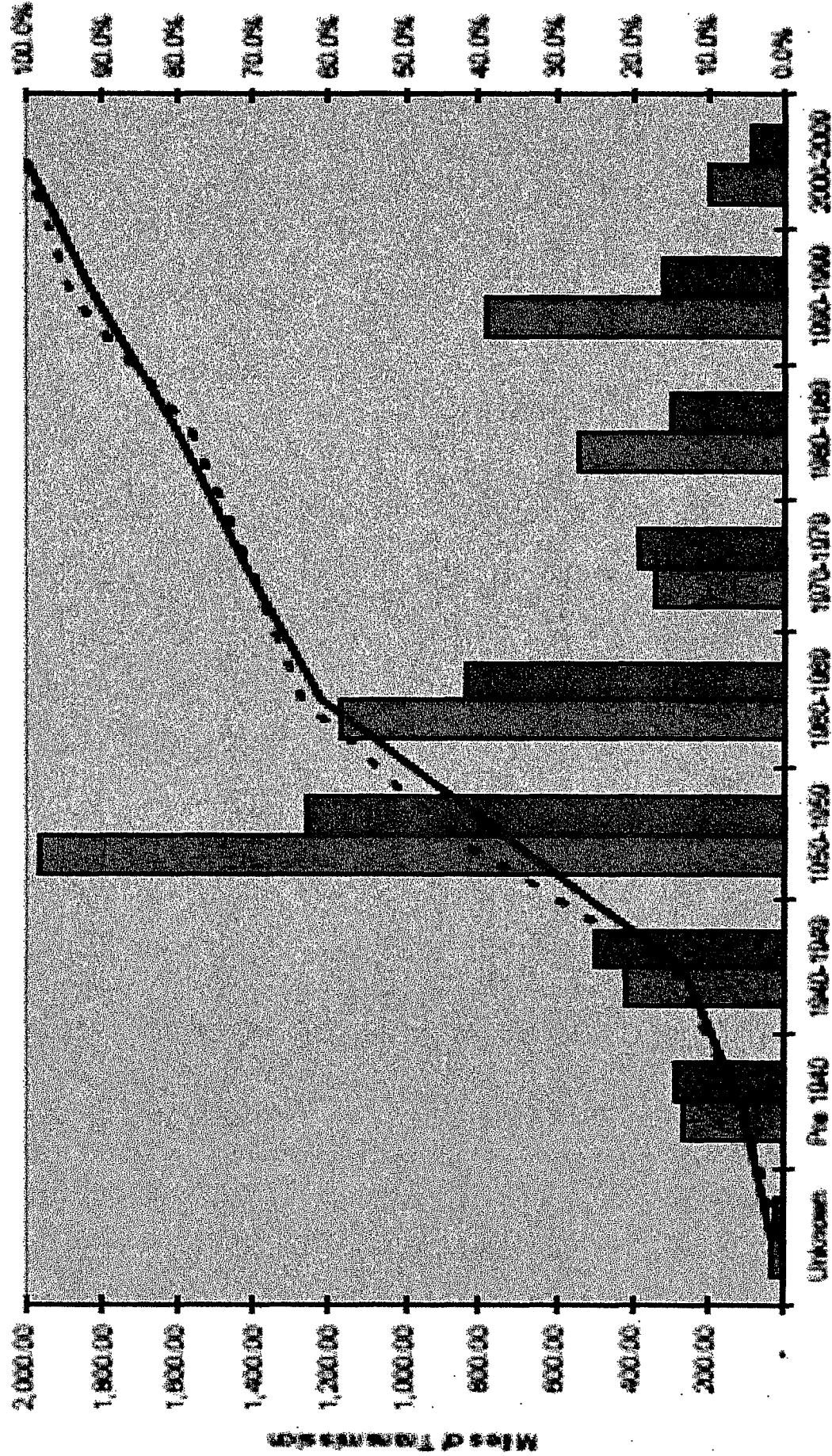
180 ruptures with catastrophic effects



PG&E Segment 180 Integrity Mis-management



Production Increases

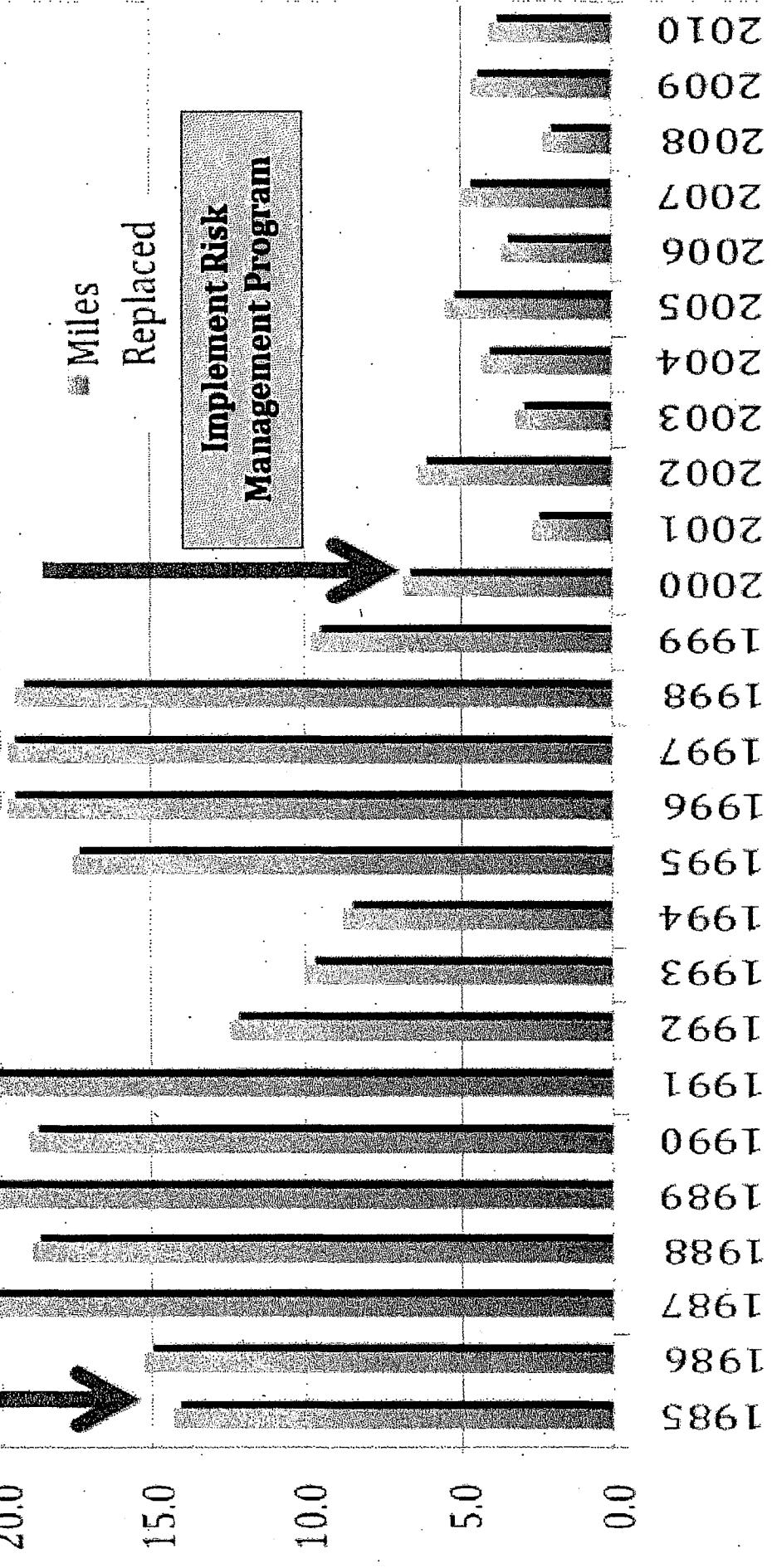


Implement Gas Pipeline
Replacement Program

Protection Decreases

PG&E Transmission Pipe

Annual Replacement Mileage (1985-2010)





**"I saw a company that lost its way,
(New PG&E CEO Tony Earley)**

June 9, 2012



**Line 132 Segment 180
was
MANAGED TO FAILURE
by
PG&E**

Buscovich & Buscovich

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Board of Supervisor
City Hall
San Francisco, CA
Job Number: 14.145

July 8, 2016

Patrick Buscovich Civil Engineer

3516 Folsom
Rahul Shai

The following is a Civil Engineering Study and analysis of the proposed "Street": It is Current and unimproved dirt hill

- The Bureau of Street Use and Mapping (BSUM) have standards for street design and construction for the city to maintain a street after it is built. The current design is so out of conformance with city standards, the city will never accept this street for maintenance. The street has varying slope from the intersection up the hill and the sidewalks are not level with each other. Warping of a street like this is not allowed. The fronting property owner will then have to maintain this street in perpetuity. In Addition, drainage down the street may flood the downhill homes
- This proposed street will be one of the steepest streets in San Francisco at +/- 36% slope. It will be 16 feet wide with no vehicle turn around at the top. It is a dead end street. Streets this steep are almost always thru streets or at a minimum have a turnaround. Without a turn around at the top, cars will back down the street in reverse. California vehicle code (CVC) discourages this maneuver due to loosing control of a vehicle.
- Most vehicles, other than a specialized car, will not be able to drive onto this dead end street and into the houses. Most passenger cars will stop at the corner of Folsom & Chapman and park.
- It will be a challenge to turn around and change direction on this street in a vehicle, based upon the narrow width of 16 feet and extreme slope. Average cars length range from 15 feet to 18 feet long. It will be difficult to have an average car turn from uphill, to 90° to curb, to down hill. At 16 foot wide, an 18 foot car does not fit in the 90° position. Further, at 36° slope, vehicles with a medium to high center of mass will experience "tipping over" when turning around in the 90°

position. Thus any vehicle that are tall (i.e. mail truck, pick up, delivery van, garbage truck, etc) or have a long wheel base (sedan) will not be able to drive onto this dead end street. The only passenger car that could use this dead end street is low height, short wheel base, compact cars. Backing down the hill is not going to be a viable or safe solution. Ironically, the only vehicle that can turn around on this street (i.e. compact car) will not be able to transverse the base of the dead end street. The base is a flat intersection, a transition section and a steep hill (36°). Most cars will bottom out the tail pipe going uphill or the front fender going down. Even with a transition section of the street going from flat 0° , a short transition of 18° and then street 36° is not enough. No extension of car beyond the rear wheel or front wheel will work. To cross the intersection and go up/down this street will require a car with no front or rear end. This vehicle will also need to cross a very steep sidewalk and down a warp driveway; this will require a high undercarriage. A compact car with a high undercarriage and no front or rear end. The only vehicle that meets this description is a off road Jeep. It is short, has a low center of mass, high undercarriage clearance and no front or rear end. It is not a passenger vehicle. It is for off road driving which is what will be required to drive this hill. This vehicle is not meant for speed in excess of 50 MPH.

It is also important to note that garbage truck will not go up this street and Recology will not walk up the street to pick up recycling. Recycling bins will have to be left at the corner of Folsom and Chapman. With two homes now and two proposed with 4 more sites ready, the size of this garbage zone will be large. There is no sidewalk envision at the corner so no garbage zone is available. This is problem that needs to be addressed now in the street design for these homes to be livable.

Additionally, the mail truck will not go up this street. The mailman will have to hike up this street leaving his truck at the corner. This will potentially

create a traffic issue at the intersection of Folsom and Chapman. I also hope that the project sponsor has talked to the US Postal Service to confirm they will hike the street to deliver the mail. Otherwise, a mail boxed will be required by the USPS at the intersection of Chapman and Folsom. There is no location I see that works for a mail box, let alone the recycle garbage bin zone.

The proposed two homes will need off street vehicle parking. Plausibly one vehicle could be a true off road Jeep, which could drive this street. The jeep will also be able to traverse the sidewalk cross slope. Most passenger vehicles can not traverse the extremely warped driveway. Exiting the garage and backing up the driveway will create a blind spot for the driver. At a minimum, a second car will be used at this house. Due to the steepness of Bernal I question the viability of a bike to replace a car but at a minimum, one addition car will be used for a house of this size. This second car is not going to be a jeep but a passenger car. This car will not be able to use the garage parking in the house but will use Street Parking. On this 16 foot section of Folsom St. there is no street parking. For planning purpose, six home time 1 car per home need to be accounted for neighborhood parking. For guest visits, more parking will be require. A simple study shows the need for 10 additional street parking spot in a neighbor with an acute shortage of on street parking. These "10 cars" not go up and down the street or across the sidewalk down the warped driveway. There is no street parking in front of these homes. These 10 cars are going to park in a 200 foot walking radius on the adjoining block of Folsom street, below the intersection or the adjoining block of Chapman. In this walking radius there are roughly 50 to 60 street parking spots that are almost always full. Adding 20% more parking is impossible. The garage in these homes will not work and a 16 foot wide Street with no street parking in front of homes will congest parking in this neighbor and will cause issues with Proposition Statement 2 "neighborhood character is

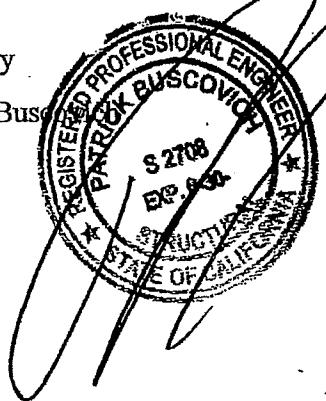
conserved and protected". I am also concerned that this parking congestion issue will impede emergency vehicles (Police, Fire, and EMS).

Summary

In summary, the vehicle issue and parking demand will create a traffic mess for this neighborhood. This problem has simply not even been addressed by the project sponsor. It will be borne by the neighborhood. This problem is exacerbating by the size of the homes and number of bedroom proposed by the project by the project sponsor. This will be the steepest street with driveways in San Francisco, if not the State. In addition, the lack of thru or turn around will, in my professional opinion, create a significant traffic and parking problem.

Sincerely

Patrick Buscovitch



Patrick Buscovich & Associates Structural Engineers, Inc.

235 MONTGOMERY STREET, SUITE 823, SAN FRANCISCO, CALIFORNIA 94104-2105 • TEL: (415) 788-2708 FAX: (415) 788-8653

Patrick Buscovich S.E.

Education: University of California, Berkeley ~ Bachelors of Science, Civil Engineering 1978
~ Masters of Science, Structural Engineering 1979

Organizational: State of California, Building Standards Commission
Commissioner 2000 – 2002
City & County of San Francisco, Department of Building Inspection (DBI)
Commissioner Vice President 1995 – 1996
Chair, SF Housing Code Update 1995
UMB Appeals Board 2005 – 2006
Code Advisory Committee 1990 – 1992
Chair of Section 104 Sub-Committee
Structural Engineers Association of Northern California (SEAONC)
President 1997 – 1998
Vice President 1996 – 1997
Board of Directors 1994 – 1999
College of Fellows Elected 2002
Edwin Zacher Award 1999
Structural Engineers Association of California (SEAOC)
Board of Directors 1996 – 2000
Applied Technology Council (ATC)
President 2007 – 2008
Board of Directors 2000 – 2009

Licenses: California, Civil Engineer C32863, 1981
Structural Engineer S2708, 1985

Experience: *Patrick Buscovich and Associates, Structural Engineer – Senior Principal (1990 to Present)*
Specializing in Existing Buildings, Seismic Strengthening/Structural Rehabilitation, Building Code/Permit Consultation, Peer Review, Expert Witness/Forensic Engineering

- Code Consulting and Peer Review for projects in San Francisco (Planning Department, Fire Preventing, Street Use & Mapping, Building Department, Board of Appeals).
- Permit Consultant in San Francisco (DBI, DCP, SFFD, BSUM & BOA).
- Expert Witness/Forensic Engineering/Collapse & Failure Analysis
- Seismic Retrofit Consultation.
- Member of the following SEAONC/DBI Committees:
 - Committee to revise San Francisco Building Code Section 104F/S304.6.
 - 1988-1990 Committee to draft San Francisco UMB ordinance.
 - 1993 Committee to revise the San Francisco UMB ordinance.
 - SEAONC Blue-Ribbon panel to revise earthquake damage trigger, 1998
 - Secretary, Blue Ribbon Panel on seismic amendments to the 1998 SFBC.
 - Secretary, Blue Ribbon Panel Advising The San Francisco Building Department on CAPSS.
- Co-Authored of the following SF Building Code Sections.
 - EQ damage trigger SFBC 3404.7.2, Repair 3405.1.3, Change of Occupancy 3408.4.1., Lateral Forces Existing Building 1604.11.1
 - Author SFBC Administrative Bulletin: AB102 (Seismic alteration) & AB103 (CFC)
 - Coordinator/Speaker for SEAONC San Francisco UMB Seminars 1992, 1993 & 1994.
 - Speaker at 2009 SEAONC Seminar on San Francisco UMB Code, 1850 to Present.
- Member of 1993 San Francisco UMB Bond Advisory Board.
- Speaker at numerous San Francisco Department of Building Inspection Seminars on UMB.
- Speaker at numerous code workshops for the San Francisco Department Building Inspection.
- Co-Author of 1990 San Francisco UMB Appeals Board Legislation.
- Co-author of San Francisco Building Code Earthquake Damage Trigger for Seismic Upgrade, Committee Rewrite 2008.
- As a San Francisco Building Commissioner:
 - Directed formulation of Building Occupancy Resumption Plan (BORP)
 - Chaired the 1995 update on the San Francisco Housing Code.
 - Directed formulation of UMB tenant protection program
- Consultant to the City of San Francisco for evaluation of buildings damaged in the Loma Prieta Earthquake (October 17, 1989) to assist the Bureau of Building Inspection regarding shoring or demolition of "Red-Tagged" structures (SOHA).
- Consultant to San Francisco Department of Building Inspection on the Edgehill Land Slide 1997.
- Consultant to 100's of private clients for evaluating of damage to their buildings from the October 17, 1989 Loma Prieta Earthquake.
- Project Administrator for multi-team seismic investigation of San Francisco City-owned Buildings per Proposition A, 1989 (\$350 million bond). (SOHA).
- Project Manager for seismic strengthening of the Marin Civic Center (SOHA).
- Structural Engineer for the Orpheum Theater, Curran Theater and Golden Gate Theater.
- Consultant on numerous downtown SF High Rise Buildings.
- Rehabilitation & Seismic Strengthening design for 1000's of commercial and residential buildings in San Francisco.
- Commercial Tenant Improvement
- Structure Rehabilitation of Historic Building.
- Structural consultant for 1000's of single family homes and apartment buildings alteration in San Francisco

Previous Employment

- SOHA 1980-1990, Associate
- PMB 1979-1980, Senior Designer

Public Service: Association of Bay Area Government – Advisory Panels
Holy Family Day Home – Board of Director
Community Action Plan for Seismic Safety (CAPPS), Advisory Panel.

Awards: Congressional Award, 2003.
SFDBI Certificate of Recognition, 1996.

July, 2016
Board of Supervisors
City Hall, San Francisco, CA 94102

Dear Supervisors,

Urgent Request for Environment Review - Our safety and even our lives are at stake.

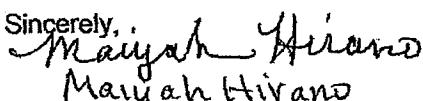
Construction on two lots at 3516 and 3526 Folsom Street have been given categorical exemption from environmental review, however this particular plot of land, encompassing 6 lots and a street right of way, poses significant, potentially life-threatening, safety hazards.

These include:

- Construction by a private developer over a 26" PG&E gas pipeline without industry recommended safety protocol in place, resulting in the potential loss of life and property. All safety guidelines and oversight must be transparent and shared with residents. The San Bruno tragedy is fresh in our minds.
- Hazardous traffic conditions at the corner of Folsom and Chapman Streets. The projects have no on-street parking. Two garages and the driveways currently used will be rendered unusable. Residents will be forced to search parking on a street where space is already severely inadequate. (And, there is the potential for 4 additional new homes.) Delivery trucks, construction vehicles, and visitors will be forced to park at the base of the street, blocking access to many homes.
- The project's lack of planning for garbage, recycling, and compost pickup will impact both public health and safety.
- The project site's proposed steep street presents a significant threat to drivers and residents, and a liability issue for homeowners and the City.
- The structures would create a north-facing solid wall blocking significant public vistas from Bernal Heights Boulevard along the open-space park.

There are specific National Transportation Safety Board and Pipeline Informed Planning Alliance protocols that should be followed for all land use near pipelines, and we expect assurances and evidence from you and the responsible City agencies that these protocols will be thoroughly adhered to.

This is your opportunity to keep your promise to assure that citizens of San Francisco are safe by requiring that a complete environmental review is undertaken and all appropriate safety measures are in place before any construction is approved for this undeveloped and vulnerable hillside. We also request that the safety measures and oversight are transparent to the impacted neighbors and the traffic/parking issues are addressed.

Sincerely,

Mayah Hirano
Name & Signature
hiranamagic@gmail.com
Email

66 Anderson St
Address SF 94110
Date July 07, 2016
Phone (optional)

July 5, 2016
Board of Supervisors
City Hall
San Francisco, CA 94102

Dear Supervisors,

I was thoroughly shocked to hear that the construction projects at 351b + 352b Folsom St. in San Francisco had been given a categorical exemption from environmental review.

How is this possible?! This can't happen in my neighborhood!

There is a 26 inch PG+E gas pipeline in that spot and there are no industry recommended ^{safety} protocols in place!

Does Sen Bruno ring a bell? My aunt lives there so I know personally the catastrophic effects of gas pipelines gone wrong.

Please assure me and my neighbors that protocols are followed and a complete environmental review is undertaken.

Sincerely

Molly Nixon
MOLLY NIXON

56 Roscoe St.
San Francisco, CA
94110

mollycnixon@aol.com

July 5, 2016

Board of Supervisors

City Hall

San Francisco, CA. 94102

Dear Board of Supervisors:

The planned construction on the 3500 block of Folsom Street is of incredible concern for multiple reasons. I am writing with the strong request of an environmental review of the two construction lots at 3516 and 3526 Folsom Street because of critical safety issues for residents of this city. The most glaring safety hazard is that a 26 inch PG&E gas transmission pipeline runs under the surface of an erosion-prone hill of the construction site. Even a minor mishap could cause an explosion similar to the explosion in San Bruno; ~~that~~ it is absolutely appalling that it would be approved without a review. More importantly, construction has been the primary cause of pipeline damage.

Please re-consider this careless construction by reviewing the project before proceeding. Assure me and my fellow San Francisco residents that our safety is of utmost importance.

Sincerely,

L. Asanuma

Leia Asanuma

315 Elsie St.

SF, CA. 94110

leiaasa@gmail.com

A517

July 7, 2016

President London Breed
c/o Angela Calvillo, Clerk of the Board
San Francisco Board of Supervisors
1 Dr. Carlton B. Goodlett Place - City Hall - Room 244
San Francisco, CA 94102

Dear Supervisor Breed and Members of the Board,

I am a 33 year resident of Bernal Heights and live directly down the hill from the "Project site" (3526 and 3516 Folsom Street). In fact I live about 50 feet away from it. For the first time I have lived in this neighborhood I am both scared and very worried.

I am scared because if this Project is approved our neighborhood will be subject to a continual barrage and needless, unsafe intrusion of heavy earth-moving equipment along a 26" major gas transmission line. This PGE major trunk line has not recently been surveyed or fully, completely and thoroughly inspected. Myself, my wife and our neighbors have never been given any assurances of pipeline safety. PGE has shown no records of pipeline inspection; they have shown us no records of how deeply buried this pipeline is; what they do say is "someone will be on-site when the digging starts to make sure there are no accidents. I am sorry that is not good enough!!

Board of Supervisors
Letter - 07/07/201
Case No. 2013-13831
- 2 -

Honorable members of the Board of Supervisors, we neighbors deserve better! We deserve not to be ignored, shamed to the side and treated as if our fears for public safety, our fears for our homes and our fears for our families health and welfare don't matter. They do matter! This is a serious public safety issue. If there is no fully, complete, and thoroughly transparent and open Environmental Impact Review of the "Project Site", our neighborhood is in grave danger. We could all - all of us - elders, adults, and children - be victims of a terrible explosion. Not too long ago a cement truck overturned on a less steep stretch of road just below the "Project Site" while working on a City-Sponsored Infrastructure Project. This is the same type of gas transmission line that blew up in San Bruno a few years ago.

I am very scared this is a 1981 gas pipeline installed on one of the steepest areas of the City. Heavy earth moving equipment could be travelling over it daily! PGE has shown us no records on the construction, operation and maintenance of this major trunk line! PGE has no definite guideline to show us that the pipeline is both safe and reliable! We can't get a straight answer from anyone in the City government or from PGE

Board Letter

07/07/2016

Case No. 2013-1383E

about who is responsible for the safety of this pipeline, who will show ^{us} evidence of its reliability, and who will show us the facts about its integrity (ability to withstand stress and shock). We have been trying to get answers for almost three (3 years). And what do we get? We get "finger pointing", we get "Kicking the can down the road", we get "not our responsibility". Can you understand why I am now so fearful - really fearful - of this "Project Site" going ahead without an Environmental Impact Review?

Another problem with not having an Environmental Impact is the terrible parking impact this Project will have. The current driveway - ours at 3574 Folsom - and Patricia Hughes at 3577 Folsom - will be rendered unusable if the Project is approved. We will not be able to effectively park our cars. We need our cars for work and transportation. If we park our cars on the street - Folsom St. or Chapman St. - we are in competition a heavily impacted area. There is already a struggle for parking because a new home is going up at the corner of Folsom and Chapman. That is one more car looking for parking space, our two cars are ^{now} added in to this struggle for parking, and the negative

Board Letter
07/07/2016

Case No. 2013.1383E

impact increases. Where are these "new" cars going to park? Who do we look to, supervisors, to solve these problems. Traffic density now increases. There is a shortage of parking space to begin with and these new homes - with no provision for on-street parking - only make a bad problem worse!

And consider this: this Project Site opens the way for a new road to be built from Folsom and Chapman St. all the way up to the Community Garden. If that road goes in, the owners of the 4 neighboring lots have indicated they will build homes. We would now have 6 homes not two - with up to 12 cars looking for parking space - not to mention garbage collection and emergency vehicle entrance and turn-around problems.

Honorable members of the Board I hope you will seriously consider granting our Appeal of this Categorical Exemption. I fear for the Public Safety of our neighborhood if the major transmission line is certified "safe and reliable" by some independent panel of experts. There needs to be an independent assessment of the traffic density/impact caused by the Project as well. We want evidence and we want assurance!

LETTER TO THE SF BOARD OF SUPERVISORS

Support Bernal Heights CEQA CatEx Appeal on July 19th ***The safety of our community is at stake***

Dear Board Members,

As a San Francisco resident, I urge you to prioritize our public safety over the rush-to-build in San Francisco. I ask that you support an appeal of a CA Environmental Quality Act ("CEQA") Categorical Exemption ("CatEx") involving a new housing development at 3516-3526 Folsom Street in Bernal Heights to be accessed by a proposed steep street - directly over, near, and around the vintage 26" PG&E Gas Transmission Pipeline 109 - the same type that blew up in San Bruno.

Unlike other gas transmission pipelines in SF, no pavement or street cover protects this pipeline - it is only covered by dirt. Excavation activities are the major cause of accidental ruptures on gas transmission pipelines in the United States. Identifying and mitigating public safety street issues before construction begins is plain common sense.

This hilly area of Bernal Heights is known for its twisty and congested narrow streets that create particularly difficult access issues for emergency vehicles, delivery trucks, and construction vehicles. Several fire trucks have gotten stuck in this area. The ultimate future mini-division of six houses will have no on-street parking. The development will be accessed by a proposed street so steep, it will rank among the steepest in the world - too steep for emergency vehicle access and many regular vehicles. It is proposed as a dead-end street with no-turn-around at top. Vehicles will have to back down into a blind intersection.

The SF Planning Department approved the construction permits based on design criteria only, saying public safety issues would be addressed by other SF governmental agencies.

Please ensure good governance prevails - that known and potential public safety hazards be addressed through established CEQA protocols before any accidents happen.

I urge you to support the Bernal Heights CEQA Categorical Exemption appeal on July 19th. There are unusual circumstances in this construction project that necessitate environmental review.

Sincerely,

Anna Murveit
Signature

1078 B Hampshire St 94110
Address

Anna Murveit

Printed name

Email

7/7/16
Date

Phone number (Optional)

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Sincerely,

Tom Schulz

Signature

105 GATES S.F. 94110

Address

TOM SCHULZ

Printed name

Email

7/7/14

Date

Phone number (Optional)

LETTER TO THE SF BOARD OF SUPERVISORS

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Sincerely,



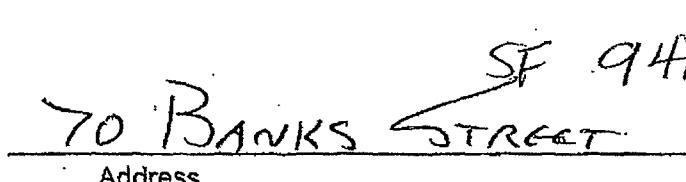
Signature

Andy BRADON

Printed name

7/6/16

Date



70 Banks Street
SF 94110

Address

Email

Phone number (Optional)

LETTER TO THE SF BOARD OF SUPERVISORS

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Sincerely,

Helen Jorgenson
Signature

16 Wtryold ST SF 94110

Address

Helen Jorgenson

Printed name

Email.

7/7/14
Date

Phone number (Optional)

LETTER TO THE SF BOARD OF SUPERVISORS

Support Bernal Heights CEQA CatEx Appeal on July 19th ***The safety of our community is at stake***

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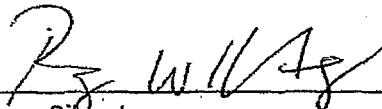
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Sincerely,



Signature

30 STILLINGS AVE SF 94131

Address

ROGER FONG

Printed name

rfe.ridetiger.com

Email

7/5/2016

Date

Phone number (Optional)

LETTER TO THE SF BOARD OF SUPERVISORS

Support Bernal Heights CEQA CatEx Appeal on July 19th The safety of our community is at stake

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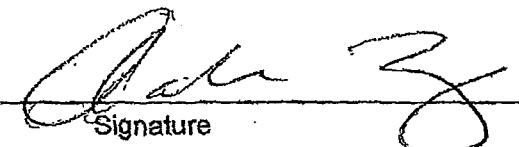
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Sincerely,


Signature

10 Sussex St SF CA 94131
Address

Adrienne Tackas
Printed name

Email

7/6/16
Date

Phone number (Optional)

LETTER TO THE SF BOARD OF SUPERVISORS

Support Bernal Heights CEQA CatEx Appeal on July 19th ***The safety of our community is at stake***

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I urge you to support the Bernal Heights CEQA Categorical Exemption appeal on July 19th. There are unusual circumstances in this construction project that necessitate environmental review.

Sincerely,

Ruth Laskey

Signature

24 A Stillings Ave San Francisco CA 94131

Address

Ruth Laskey

Printed name

rlaskey@yahoo.com

Email

7/5/16

Date

Phone number (Optional)

LETTER TO THE SF BOARD OF SUPERVISORS

Support Bernal Heights CEQA CatEx Appeal on July 19th ***The safety of our community is at stake***

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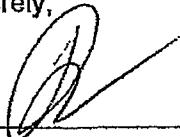
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Sincerely,



Signature

244 STYLINGS AVE SF CA 94131

Address

JONATHAN RUNCIE

Printed name

Email

7/6/16

Date

Phone number (Optional)

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Sincerely,

Erik Kramvik

Signature

30 Stollings Ave. SF 94131

Address

ERIK KRAMVIK

Printed name

erik@erikdesign.com

Email

7/05/2016

Date

Phone number (Optional)

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Sincerely,

Klealy Pineda-Mena
Signature

1515 Trout Ave, SF 94110

Address

Klealy Pineda-Mena
Printed name

Klealy@gmail.com

Date

Phone number (Optional)

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Sincerely,

Barbara Tell

Signature

563 Peralta Ave, SF 94110

Address

Barbara Tell

Printed name

Email

7/6/14

Date

Phone number (Optional)

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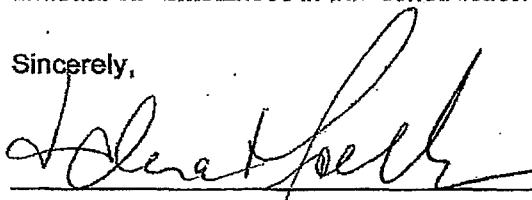
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Sincerely,

 112 Ripley St #2

Signature

Address

Indra Murdoch

Printed name

indra415@outlook.com

Email

Date

7/6/16

Phone number (Optional)

4533

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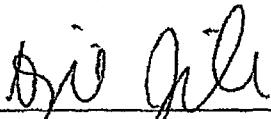
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Signature

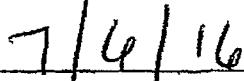
326 Prospect Ave. SF. 94110

Address



Printed name

Email



Date

Phone number (Optional)

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Sincerely,

Max C Rikkeberg
Signature

44 PERALTA SF 94110

Address

Max C Rikkeberg
Printed name

Email

7/6/16
Date

Phone number (Optional)

4535

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Sincerely,

Shirley Yip

Signature

620 PERALTA AVE, SF CA 94110

Address

Printed name

Email

7/10/16

Date

Phone number (Optional)

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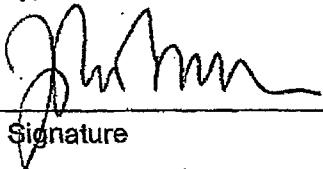
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Sincerely,



Signature

185 Lundy, #4

Address

John Monson

Printed name

Email

7/4/16

Date

Phone number (Optional)

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Sincerely,

Signature

Christina Chavez

Printed name

Date

Address

Email

Phone number (Optional)

S.F.
88 Manchester St. 94110

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Sincerely,

Connie Ewald 76 Gates St. SF 94110
Signature Address

Connie Ewald _____
Printed name Email
7/5/16 _____
Date Phone number (Optional)

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Sincerely,

PJ Ewald

Signature

76 Gates St 94110

Address

P J Ewald

Printed name

Email

7/5/14

Date

Phone number (Optional)

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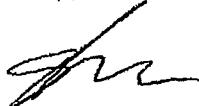
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Sincerely,



Signature

150 Elmer, SF CA 94124

Address

Tom Wheeler

Printed name

Email

7/5/16

Date

Phone number (Optional)

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Sincerely,

Lorraine L. Curtice

Signature CURTICE

111 Monterey, S.F. 94110

Address

LARRY CURTICE

Printed name

Email

7/5/16

Date

Phone number (Optional)

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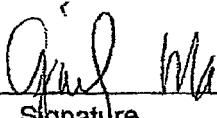
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Sincerely,



Signature

901 CORTLAND : S.F. CA

9410

Address

GAIL MA

Printed name

Email

7/5/16

Date

Phone number (Optional)

LETTER TO THE SF BOARD OF SUPERVISORS

Support Bernal Heights CEQA CatEx Appeal on July 19th The safety of our community is at stake

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Sincerely,

James Marple
Signature

151 ANDERSON SF 94110

Address

James Marple
Printed name

Email

7/5/16
Date

Phone number (Optional)

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Sincerely,

Jay Eppel

Signature

185 Anderson St SF CA

99110

Jay Eppel

Printed name

Email

7/4/16

Date

Phone number (Optional)

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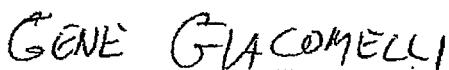
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Signature

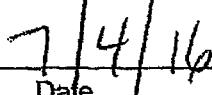
103 Anderson St SF 94110

Address



Printed name

Email



Date

Phone number (Optional)

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Sincerely,

SF 94110

Melinda Kendall

Signature

39 Elsworth St.

Address

Melinda Kendall

Printed name

Email

July 4, 2006

Phone number (Optional)

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Sincerely,


Signature

JOAN SASSO
Printed name

51 Wood St. SF 94110
Address

JSASSO24@SPEGLOBAL.NET
Email

Date

Phone number (Optional)

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Sincerely,

Lothian Fursey

Signature

1013 Clayton St.

Address

Lothian Fursey

Printed name

lothianf@sbcglobal.net

7/4/14

Date

Phone number (Optional)

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Sincerely,

Anne J. Laskey

Signature

24 STILLINGS AVE 94131

Address

ANNE J. LASKEY

Printed name

Email

7/4/16

Date

Phone number (Optional)

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Signature

112 GATES ST. SF. 94110

Address

JOHN. D. WEBSTER

Printed name

Email

7/4/16

Date

Phone number (Optional)

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Sincerely,


Signature 52 Bradford St
Address

JULIAN WYLER
Printed name Email
7/3/14
Date Phone number (Optional)

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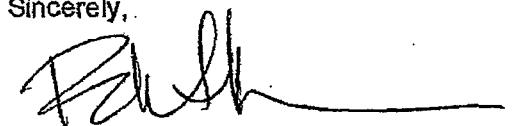
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Sincerely,



Signature

331 RICHLAND, SF 94110

Address



Printed name

Email

7/3/16

Date

Phone number (Optional)

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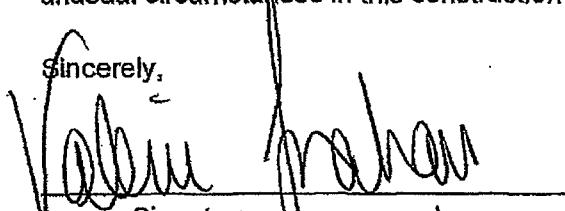
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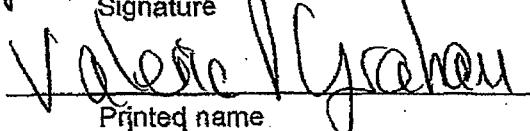
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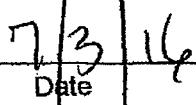
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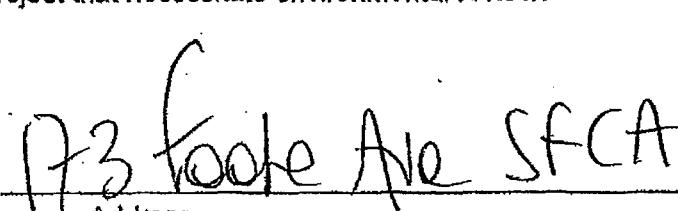
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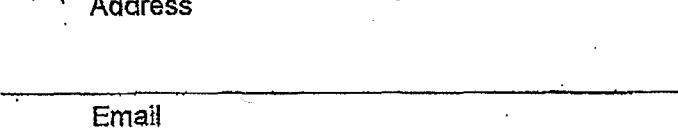
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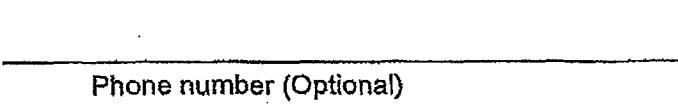

Signature


Printed name


Date


Address


Email


Phone number (Optional)

9/11/2

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Sincerely,

Diane R. Alpert 1295 41st Ave. S.F., CA 94122
Signature Address

Printed name

Email

7/3/16
Date

Phone number (Optional)

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Sincerely,

Carol Tolbert

Signature

15A and Ave 9416

Address

Carol Tolbert

Printed name

Email

7/3/16

Date

415-271-4165

Phone number (Optional)

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Sincerely,



Signature

1001 Parker Cir SF 94110

Address

Niles Forvin

Printed name

NILESFT@GMAIL.COM

Email

7/3/14

Date

Phone number (Optional)

LETTER TO THE SF BOARD OF SUPERVISORS

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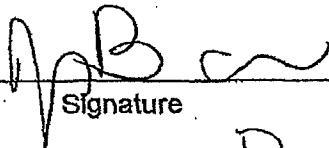
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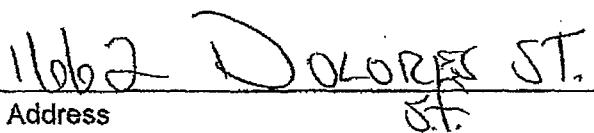


Signature

Printed name

7/3/14

Date


SF 94117

Address

Email

Phone number (Optional)

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Sincerely,


Signature

Pamela D. Lo Pinto 75 Gates St ^{S.F.} 94110
Printed name Address

7/3/14 paulo@att.net
Date Email

415 641 0644
Phone number (Optional)

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Sincerely,

Signature

Laura Bush

Printed name

7/3/14

Date

Holly Park Cr. 94110

Address

Email

Phone number (Optional)

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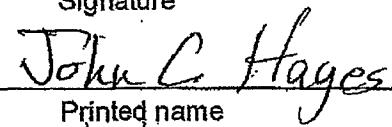
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Sincerely,


Signature


Printed name

7/3/16
Date

362 Mullen Ave
Address


Email

Phone number (Optional)

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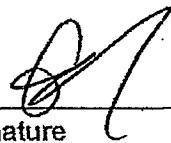
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Sincerely,



Signature

Adriana Garcia

Printed name

7/3/16

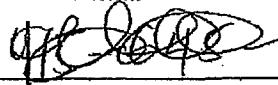
Date

109193 Majestic Ave. 94112

Address

adotgarcia@gmail.com

Email



Phone number (Optional)

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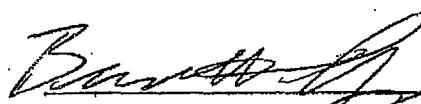
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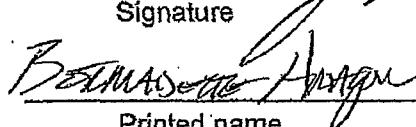
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Sincerely,


Signature

331 RIC HARD 94110
Address


Printed name

Email

7/3/14
Date

Phone number (Optional)

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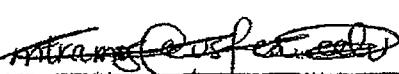


Signature

160 Granada Ave 94112

Address

Maria Ramos



Printed name

Email

7/3/16

Date

Phone number (Optional)

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Sincerely,

Frank Gensberg
Signature

205 Elsie St
Address

Frank Gensberg
Printed name

frank.gensberg@
Email

7/3/16
Date

Phone number (Optional)

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Sincerely,

Linda Raney
Signature

Signature

65
Address

LINDA RAMEY

Printed name

Email

7/3/16

Date

Phone number (Optional)

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Sincerely,

Beverly Anderson 168 Moultrie St

Signature

Address

BEVERLY ANDERSON

Printed name

Email

7-2-16

415 829 7088

Date

Phone number (Optional)

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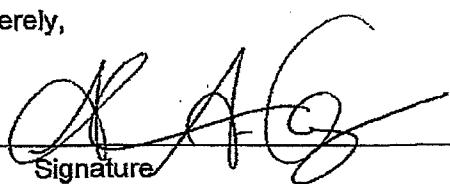
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Signature

68 GATES ST.

Address

ALICIA CHAZEN

Printed name

aachazen@yahoo.com

Email

7-2-10

Date

415-939-4483

Phone number (Optional)

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Sincerely,

Patrick Boyle

Signature

153 Eisworth St

Address

Patrick K Boyle

Printed name

Email

6/21/16

Date

Phone number (Optional)

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Sincerely,

PAT MURPHY

Signature

10 Thanks

Address

PAT MURPHY

PAT MURPHY pat.murphy@outlook.com

Printed name

Email

7/11/16

Date

Phone number (Optional)

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Sincerely,

Helen Norris
Signature

43 Ellsworth St SF 94110
Address

Printed name

Email

7/2/16
Date

Phone number (Optional)

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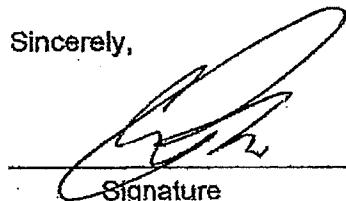
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Sincerely,



Signature

Elias Nash

Printed name

7/3/16

Date

1451 S Van Ness Ave Apt 5 SF, CA 94110

Address

Email

Phone number (Optional)

LETTER TO THE SF BOARD OF SUPERVISORS

Support Bernal Heights CEQA CatEx Appeal on July 19th ***The safety of our community is at stake***

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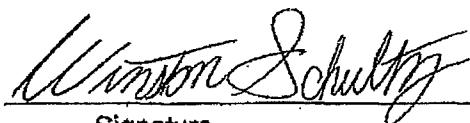
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Sincerely,



Signature

618 Dwight st. 94134

Address

Winston Schultz

Printed name

Email

7/9/16

Date

Phone number (Optional)

LETTER TO THE SF BOARD OF SUPERVISORS

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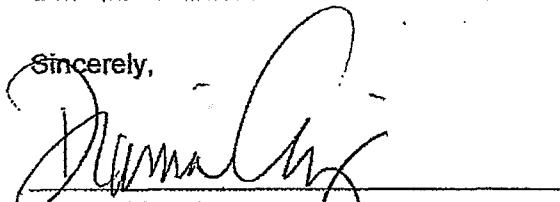
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Sincerely,


Signature

1618 DWIGHT ST. SF 94134
Address

DIANNA SPIEGLER
Printed name

7/3/14
Date

Email

Phone number (Optional)

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Sincerely,

Cavie D'Andrea

Signature

222 Diamond Street, Apt. A

Address

Cavie D'Andrea

Printed name

cavie.dandrea@gmail.com

Email

7/5/2016

Date

Phone number (Optional)

LETTER TO THE SF BOARD OF SUPERVISORS

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Sincerely,

Katrin May

Signature

1548 Noe St. SF CA 94131

Address

Katrin Brundt

Printed name

katrinbrundt@gmail.com

Email

7/5/16

Date

Phone number (Optional)

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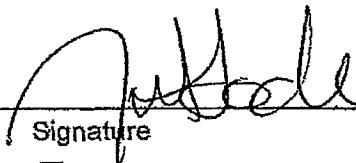
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Sincerely,



Signature

Julie Lockie

Printed name

7/5/16

Date

105 Buena Vista Terrace, San

Address

Francisco, CA

julielockie1@gmail.com

Email

94117

Phone number (Optional)

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Sincerely,

Bruce B. Johnson
Signature

BRUCE B. JOHNSON
Printed name

JULY 4, 2016
Date

311 MOULTRIE STREET
Address

brucejoh@gmail.com
Email

Phone number (Optional)

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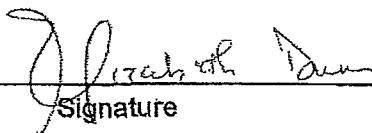
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Sincerely,


Signature

307 Howling St.

Address

Elizabeth Dunn

elizdunn1@comcast.net

Printed name

Email

7/4/16

Date

Phone number (Optional)

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Sincerely,

Kathleen J Phillips
Signature

807 Moultrie St SF CA 94110

Address

Kathleen J Phillips
Printed name

kpsf@comcast.net
Email

7/4/16

Date

Phone number (Optional)

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Sincerely,

Laura Bresler 311 Moultie St. SF 94110

Signature

Address

Laura Bresler

elbresler@gmail.com

Printed name

Email

Date

July 4, 2016

Phone number (Optional)

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Sincerely,



Signature

351 Moultrie Street SF, CA 94110

Address

Rachel Dwyer-Hamolsky

Printed name

rachel.dh448@gmail.com

Email

07/03/2016

Date

(415) 424-0756

Phone number (Optional)

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Sincerely,

Toby S. Dynner
Signature

354 Moultrie St SF 94110

Address

Toby S. Dynner
Printed name

tdynner@gmail.com

Email

Date

July 3, 2016

(415) 218-5015

Phone number (Optional)

July, 2016
Board of Supervisors
City Hall, San Francisco, CA 94102

Dear Supervisors,

Urgent Request for Environment Review - Our safety and even our lives are at stake.

Construction on two lots at 3516 and 3526 Folsom Street have been given categorical exemption from environmental review, however this particular plot of land, encompassing 6 lots and a street right of way, poses significant, potentially life-threatening, safety hazards.

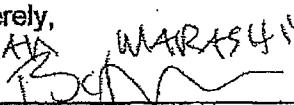
These include:

- Construction by a private developer over a 26" PG&E gas pipeline without industry recommended safety protocol in place, resulting in the potential loss of life and property. All safety guidelines and oversight must be transparent and shared with residents. The San Bruno tragedy is fresh in our minds.
- Hazardous traffic conditions at the corner of Folsom and Chapman Streets. The projects have no on-street parking. Two garages and the driveways currently used will be rendered unusable. Residents will be forced to search parking on a street where space is already severely inadequate. (And, there is the potential for 4 additional new homes.) Delivery trucks, construction vehicles, and visitors will be forced to park at the base of the street, blocking access to many homes.
- The project's lack of planning for garbage, recycling, and compost pickup will impact both public health and safety.
- The project site's proposed steep street presents a significant threat to drivers and residents, and a liability issue for homeowners and the City.
- The structures would create a north-facing solid wall blocking significant public vistas from Bernal Heights Boulevard along the open-space park.

There are specific National Transportation Safety Board and Pipeline Informed Planning Alliance protocols that should be followed for all land use near pipelines, and we expect assurances and evidence from you and the responsible City agencies that these protocols will be thoroughly adhered to.

This is your opportunity to keep your promise to assure that citizens of San Francisco are safe by requiring that a complete environmental review is undertaken and all appropriate safety measures are in place before any construction is approved for this undeveloped and vulnerable hillside. We also request that the safety measures and oversight are transparent to the impacted neighbors and the traffic/parking issues are addressed.

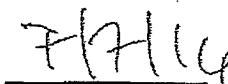
Sincerely,


BRIJAN MARASITI

Name & Signature

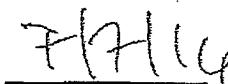
BRIJAN.MARASITI@GMAIL.COM

Email


3325 FOLSOM ST

Address SF, CA 94110

Phone (optional)


Date

July, 2016
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City Hall, San Francisco, CA 94102

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Sincerely, *Jane Hundertmark*

Jane Hu

Name & Signature

Janehundertmark@gmail.com

Email

102 Banks Street

Address

415-717-4448

Phone (optional)

July 5, 2016

Date

July, 2016
Board of Supervisors
City Hall, San Francisco, CA 94102

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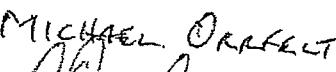
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Sincerely,


Michael Draycott

Name & Signature

102 Banks St.
Address

7/5/16
Date

Email

Phone (optional)

July, 2016
Board of Supervisors
City Hall, San Francisco, CA 94102

Dear Supervisors,

Urgent Request for Environment Review - Our safety and even our lives are at stake.

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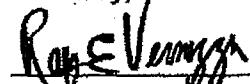
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Sincerely,



Ray E. Vernazza

Name & Signature

rayver6@hotmail.com

Email

140 Peralta Avenue	07/04/16
Address	Date
Phone (optional)	

July, 2016
Board of Supervisors
City Hall, San Francisco, CA 94102

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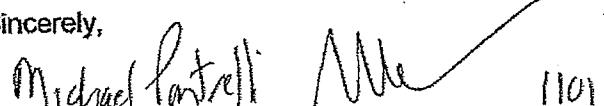
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Sincerely,


Name & Signature
m.pantrell. @ outlook.com
Email

1101 Powhatan Ave SP
Address
415 324 9980
Phone (optional)

7/16
Date

July, 2016
Board of Supervisors
City Hall, San Francisco, CA 94102

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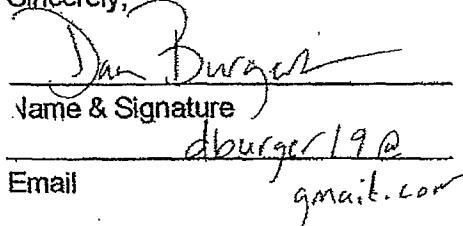
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Sincerely,


Name & Signature
dburger19@gmail.com

Email

1101 Powhatan Ave Apt 9411D
Address 415 324 9980
Date 7/4/16
Phone (optional)

July, 2016
Board of Supervisors
City Hall, San Francisco, CA 94102

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Sincerely,

Daniel Brodsky
Name & Signature
dbrod970@gmail.com
Email

3599 Folsom st
Address
Phone (optional)

94110
7/4/16
Date

July 1, 2016

Board of Supervisors
City Hall
San Francisco, CA 94102

Dear Board of Supervisors,

I have lived in the diverse, friendly, unique neighborhood of Bernal Heights for over 35 years. We have always felt safe here, despite the sight of a P.G. + E warning sign right outside our front window.

Just this morning P.G. + E workers came by to replace the worn sign with a new one - this time with words: "Warning Gas Pipeline!"

Please allow us the fair consideration of an environmental review. We are a community - children, elders, dogs, workers, home-makers.

The planned development is carelessly and poorly planned - a steep street, congested traffic and the danger of the pipeline - which is at an unknown - or undisclosed depth.

In addition, my husband and I would not be able, after construction of the road, to access our garage. Please! Follow protocol and common sense and allow an environmental review to take place.

Sincerely,
Gail Newman
Gail Newman

3574 Folsom St.
S.F., CA 94110
g-newman@comcast.net

July, 2016
Board of Supervisors
City Hall, San Francisco, CA 94102

Dear Supervisors,

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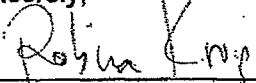
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Sincerely,


Name & Signature: Robin Knip
Email: gtrivankn@gmail.com

935 Geary #208

Address

7-4-16

Date

Phone (optional)

July, 2016
Board of Supervisors
City Hall, San Francisco, CA 94102

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Sincerely,

NATHALIE PAVEN

Name & Signature

[Signature]
Email

1534B SHRADER ST 7/4/16

Address

Date

Phone (optional)

July, 2016
Board of Supervisors
City Hall, San Francisco, CA 94102

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Sincerely,
Diana Amodia, MD
DIANA S AMODIA, MD

Name & Signature
dsamodiamd@yahoo.com
Email

390 CHAPMAN ST
Address SF CA 94102

7/6/2016
Date

Phone (optional)

July, 2016
Board of Supervisors
City Hall, San Francisco, CA 94102

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Sincerely,

CHARLOTTE WILLIAMS 390 CHAPMAN ST

Name & Signature

Charlotte Williams

Address

SF 94110

Date

7/6/16

Email

Phone (optional)

COACHCHARLOTTE@GMAIL.COM

415.4595.648.4768

July, 2016
Board of Supervisors
City Hall, San Francisco, CA 94102

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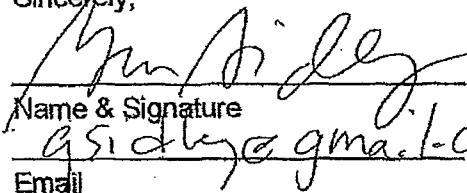
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Sincerely,


Name & Signature
giselle@gmail.com
Email

157 Crescent Ave 7/7/16
Address
Date
Phone (optional)

July, 2016
Board of Supervisors
City Hall, San Francisco, CA 94102

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Sincerely,

Jean L. Gallo
Jean L. Gallo
Name & Signature

Email

1534A Shreder St.
Address SF 94117

4 July 2016
Date

Phone (optional)

July, 2016
Board of Supervisors
City Hall, San Francisco, CA 94102

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Sincerely,

Jasice Stasche Jasice Stasche 551297d ST 7/4/2011
Name & Signature Address Date
Jasice25276 _____
Email Yahoo.com Phone (optional)

July, 2016
Board of Supervisors
City Hall, San Francisco, CA 94102

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Sincerely,

Susan Danby
Name & Signature
SusanDanby@yahoo.com
Email

551 29th St
Address
415 279-8090
Phone (optional)

7/4/2016
Date

July, 2016
Board of Supervisors
City Hall, San Francisco, CA 94102

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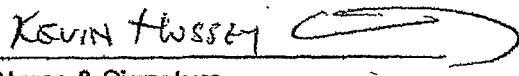
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Sincerely,


Name & Signature

Kevin@californiawoodfloor.com

Email

555 29th & SF 94131

Address

7/4/16

Date

Phone (optional)

July, 2016
Board of Supervisors
City Hall, San Francisco, CA 94102

Dear Supervisors,

Urgent Request for Environment Review - Our safety and even our lives are at stake.

Construction on two lots at 3516 and 3526 Folsom Street have been given categorical exemption from environmental review, however this particular plot of land, encompassing 6 lots and a street right of way, poses significant, potentially life-threatening, safety hazards.

These include:

- Construction by a private developer over a 26" PG&E gas pipeline without industry recommended safety protocol in place, resulting in the potential loss of life and property. All safety guidelines and oversight must be transparent and shared with residents. The San Bruno tragedy is fresh in our minds.
- Hazardous traffic conditions at the corner of Folsom and Chapman Streets. The projects have no on-street parking. Two garages and the driveways currently used will be rendered unusable. Residents will be forced to search parking on a street where space is already severely inadequate. (And, there is the potential for 4 additional new homes.) Delivery trucks, construction vehicles, and visitors will be forced to park at the base of the street, blocking access to many homes.
- The project's lack of planning for garbage, recycling, and compost pickup will impact both public health and safety.
- The project site's proposed steep street presents a significant threat to drivers and residents, and a liability issue for homeowners and the City.
- The structures would create a north-facing solid wall blocking significant public vistas from Bernal Heights Boulevard along the open-space park.

There are specific National Transportation Safety Board and Pipeline Informed Planning Alliance protocols that should be followed for all land use near pipelines, and we expect assurances and evidence from you and the responsible City agencies that these protocols will be thoroughly adhered to.

This is your opportunity to keep your promise to assure that citizens of San Francisco are safe by requiring that a complete environmental review is undertaken and all appropriate safety measures are in place before any construction is approved for this undeveloped and vulnerable hillside. We also request that the safety measures and oversight are transparent to the impacted neighbors and the traffic/parking issues are addressed.

Sincerely,

Kathleen O'Brien 193½ Ripley St/3/2016
Name & Signature Address SF 94110 Date
KRICE168@gmail.com

Email

Phone (optional)

July, 2016
Board of Supervisors
City Hall, San Francisco, CA 94102

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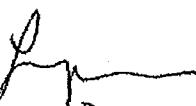
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Sincerely,


LALENA GOARD

Name & Signature

LALENA GOARD

Email

gmil.com

3775 25TH ST SF CA

Address

q410

7/4/16

Date

Phone (optional)

July, 2016
Board of Supervisors
City Hall, San Francisco, CA 94102

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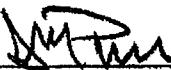
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Sincerely,

 STEVE PICCUS
Name & Signature
steve.piccus@yahoo.com
Email

3580 Folsom St. 94110 07/04/2016
Address Date
Phone (optional)

July, 2016
Board of Supervisors
City Hall, San Francisco, CA 94102

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Sincerely, Zepporah Glass

Zepporah Glass

Name & Signature

Zglass28@gmail.com

Email

7/5/16

820 Lawton St.

Address

Date

Phone (optional)

LETTER TO THE SF BOARD OF SUPERVISORS

Support Bernal Heights CEQA CatEx Appeal on July 19th ***The safety of our community is at stake***

Dear Board Members,

As a San Francisco resident, I urge you to prioritize our public safety over the rush-to-build in San Francisco. I ask that you support an appeal of a CA Environmental Quality Act ("CEQA") Categorical Exemption ("CatEx") involving a new housing development at 3516-3526 Folsom Street in Bernal Heights to be accessed by a proposed steep street - directly over, near, and around the vintage 26" PG&E Gas Transmission Pipeline 109 - the same type that blew up in San Bruno.

Unlike other gas transmission pipelines in SF, no pavement or street cover protects this pipeline - it is only covered by dirt. Excavation activities are the major cause of accidental ruptures on gas transmission pipelines in the United States. Identifying and mitigating public safety street issues before construction begins is plain common sense.

This hilly area of Bernal Heights is known for its twisty and congested narrow streets that create particularly difficult access issues for emergency vehicles, delivery trucks, and construction vehicles. Several fire trucks have gotten stuck in this area. The ultimate future mini-division of six houses will have no on-street parking. The development will be accessed by a proposed street so steep, it will rank among the steepest *in the world* - too steep for emergency vehicle access and many regular vehicles. It is proposed as a dead-end street with no-turn-around at top. Vehicles will have to back down into a blind intersection.

The SF Planning Department approved the construction permits based on design criteria only, saying public safety issues would be addressed by other SF governmental agencies.

Please ensure good governance prevails - that known and potential public safety hazards be addressed through established CEQA protocols before any accidents happen.

I urge you to support the Bernal Heights CEQA Categorical Exemption appeal on July 19th. There are unusual circumstances in this construction project that necessitate environmental review.

Sincerely,

Nais M Raulet

Signature

75 Gates St, San Francisco 94110

Address

Nais M Raulet

Printed name

raulet@att.net

Email

7/30/16

Date

Phone number (Optional)

July 5, 2016
Board of Supervisors
City Hall, San Francisco, CA 94102

Dear Supervisors,

Urgent Request for Environment Review - Our safety and even our lives are at stake.

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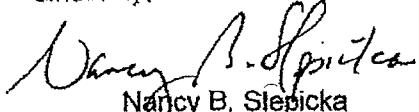
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Sincerely,


Nancy B. Slepicka

608 Peralta Ave., San Francisco
94110

7/5/16

Name & Signature

Address

Date

nrslepicka@gmail.com

217-556-9449

July, 2016
Board of Supervisors
City Hall, San Francisco, CA 94102

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Sincerely,

Name & Signature

THOMAS H. REED

Email THREED@GMAIL.COM

3507 FOLSOM ST
Address (415) 401-0840
Phone (optional)

7/7/16
Date

July, 2016
Board of Supervisors
City Hall, San Francisco, CA 94102

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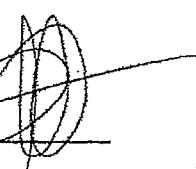
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Sincerely,


Cristina Melero
Name & Signature
cmh2304@yahoo.com
Email

3607. FOLSOM ST
Address
(415) 401-0840
Phone (optional)

7/5/2016
Date

July, 2016
Board of Supervisors
City Hall, San Francisco, CA 94102

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Sincerely,

Cortney Hoechert *CH*
Name & Signature

cchoechert10@hotmail.com
Email

3590 Folsom St

Address

7/8/16

Date

Phone (optional)

July, 2016
Board of Supervisors
City Hall, San Francisco, CA 94102

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Sincerely,
BILL SHIELDS
BILL SHIELDS
Name & Signature
billshields5@gmail.com
Email

161 Bernal Street
Address
415-652-6154
Phone (optional)

7-6-16
Date

July, 2016
Board of Supervisors
City Hall, San Francisco, CA 94102

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Sincerely,

Vincenta Petrelli

Name & Signature

Vincenta.petrelli@gmail.com

Email

161 Banks St

Address

415-652-6198

Phone (optional)

July 6, 2016

Date

July, 2016
Board of Supervisors
City Hall, San Francisco, CA 94102

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Sincerely,

Agostino Ronitti
Name & Signature
Email

459 Brussels
Address
415 468 3259
Phone (optional)

7/6/2016
Date

July, 2016
Board of Supervisors
City Hall, San Francisco, CA 94102

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Sincerely,


Name & Signature
Email

454 Brussels St
Address
415 4683259
Phone (optional)

06/06/2016
Date

July, 2016
Board of Supervisors
City Hall, San Francisco, CA 94102

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Sincerely,

Ray Castro

Name & Signature

Email

67 Prentiss ST

Address

Phone (optional)

415 647-5615

Date 7-2-2016

July, 2016
Board of Supervisors
City Hall, San Francisco, CA 94102

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This is your opportunity to keep your promise to assure that citizens of San Francisco are safe by requiring that a complete environmental review is undertaken and all appropriate safety measures are in place before any construction is approved for this undeveloped and vulnerable hillside. We also request that the safety measures and oversight are transparent to the impacted neighbors and the traffic/parking issues are addressed.

Sincerely,

NICOLA GRIFFIN

Name & Signature

nicolagriffin57@hotmail.com

Email

101 PRENTISS ST.

Address

415 - 518 - 4907

Phone (optional)

7/6/2016

Date

July, 2016
Board of Supervisors
City Hall, San Francisco, CA 94102

Dear Supervisors,

Urgent Request for Environment Review - Our safety and even our lives are at stake.

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These include:

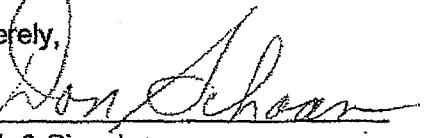
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Sincerely,

Name & Signature


donschaan@stringglobal.net

Email

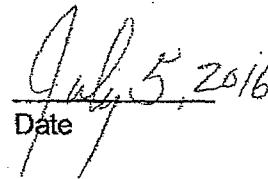
117 Brewster St.

Address

415-824-4684

Phone (optional)

Date


July 5, 2016

July, 2016
Board of Supervisors
City Hall, San Francisco, CA 94102

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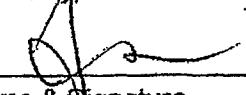
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Sincerely,

Name & Signature


nutkin98@yahoo.com

Email

131 mullen pl
Address
415-246-6263

Date

Phone (optional)

6/6/2016

July, 2016
Board of Supervisors
City Hall, San Francisco, CA 94102

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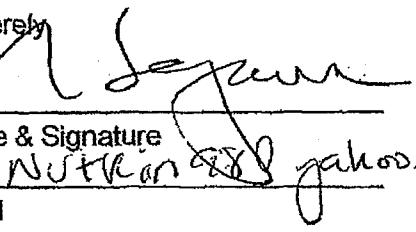
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Sincerely,

Name & Signature

Nutkin  jahod.com

Email

Address

SFCA

Date

Phone (optional)

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Board of Supervisors
City Hall, San Francisco, CA 94102

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Sincerely,

Jerry F. Schimme 40 Prentiss St. 6/6/16
Name & Signature Address Date
j.schimme40@abcglobal.net 415-698-8634
Email Phone (optional) (before noon)

Date:

Board of Supervisors

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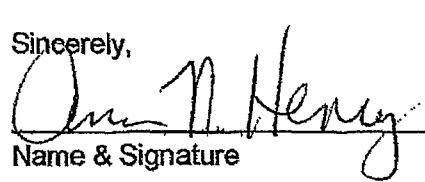
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Sincerely,

Name & Signature



Address

326 Peralta Ave
San Francisco
94110

Date

7/6/16

July 5, 2016

Board of Supervisors
City Hall
San Francisco, CA 94102

Dear Supervisors,

I am writing with a **strong request for an environmental review** of the two constructions lots at 3516 and 3526 Folsom Street in San Francisco. These sites have been given a **categorical exemption** from environmental review.

This plot of land, comprised of 6 lots and a street right of way, present significant safety hazards including, the one of most concern to me, which is.....

the construction over a 26 inch PG and E gas pipeline without industry recommended safety protocols in place.

In addition, the heavy equipment and trucks that will be used in construction will be extremely difficult and dangerous to navigate, blocking emergency vehicles to all homes and properties north of Chapman Street.

There are specific NTSB and Pipeline Informed Planning Alliance protocols that should be followed for all land use near pipelines, and we expect assurances and evidence from you and the responsible City agencies that these protocols will be thoroughly adhered to.

Please take the opportunity to keep San Francisco safe by requiring that a complete environmental review is undertaken and all appropriate safety measures are in place before any construction is approved for this undeveloped and vulnerable hillside.

Sincerely

Luciana Padilla
56 Roscoe St.
San Francisco, CA
94110

July 5, 2016

July, 2016
Board of Supervisors
City Hall, San Francisco, CA 94102

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Sincerely,

Uchi Leggin
Name & Signature
uleggin@sfsu.edu
Email

107 Ellsworth
Address

Phone (optional)

July 5 16
Date

Date: July 6, 2016

Board of Supervisors

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Request for Environment Review - Our safety and even our lives are at stake.

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Sincerely,


Name & Signature

540 Alabama St #3B 7/6/2016
Address San Francisco Date

Date:

Board of Supervisors

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Sincerely,

Jennifer Ewing
Name & Signature *Jennifer Ewing*

540 Alabama St
Address #307
San Francisco
CA 94110

July 6, 2016
Date

Date:

Board of Supervisors

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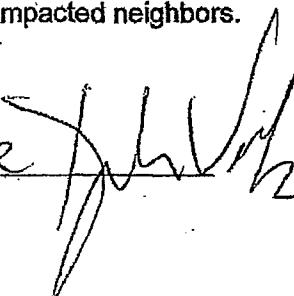
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Sincerely:


John Walker

Name & Signature

Address

540 Alabama St #217
SF 49410

7/7/2016

Date

Date:

Board of Supervisors

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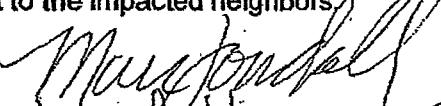
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Sincerely,


MARc Sondell

Name & Signature

Address

340 Alabama ST 07-06-2016

Date

Date: July 6, 2016

Board of Supervisors

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Sincerely,

Leo Germano

Name & Signature

540 Maynard St.

Address

July 6, 2016

Date

*PG&E HAS A BAD SAFETY PROTOCOL RECORD
LET ALL REMEMBER San Bruno!*

Date:

Board of Supervisors

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Sincerely,

Mary Alice Salcedo

Name & Signature

29 Holyoke St. #

Address

94134

7-7-16

Date

Mary Alice Salcedo

Date:

Board of Supervisors

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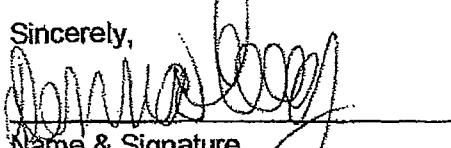
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Sincerely,


Name & Signature

DONNA REVEY
4th generation
SAN FRANCISCO

1035 Jamestown 7/7/14
Address Date

Date:

Board of Supervisors

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Sincerely,

Chloe C. Nucu

Name & Signature

3730 Folsom

Address

7/7/16

Date

July, 2016
Board of Supervisors
City Hall, San Francisco, CA 94102

Dear Supervisors,

Urgent Request for Environment Review - Our safety and even our lives are at stake.

Construction on two lots at 3516 and 3526 Folsom Street have been given categorical exemption from environmental review, however this particular plot of land, encompassing 6 lots and a street right of way, poses significant, potentially life-threatening, safety hazards.

These include:

- ✓ Construction by a private developer over a 26" PG&E gas pipeline without industry recommended safety protocol in place, resulting in the potential loss of life and property. All safety guidelines and oversight must be transparent and shared with residents. The San Bruno tragedy is fresh in our minds.
- ✓ Hazardous traffic conditions at the corner of Folsom and Chapman Streets. The projects have no on-street parking. Two garages and the driveways currently used will be rendered unusable. Residents will be forced to search parking on a street where space is already severely inadequate. (And, there is the potential for 4 additional new homes.) Delivery trucks, construction vehicles, and visitors will be forced to park at the base of the street, blocking access to many homes.
- ✓ The project's lack of planning for garbage, recycling, and compost pickup will impact both public health and safety.
- ✓ The project site's proposed steep street presents a significant threat to drivers and residents; and a liability issue for homeowners and the City.
- ✓ The structures would create a north-facing solid wall blocking significant public vistas from Bernal Heights Boulevard along the open-space park.

There are specific National Transportation Safety Board and Pipeline Informed Planning Alliance protocols that should be followed for all land use near pipelines, and we expect assurances and evidence from you and the responsible City agencies that these protocols will be thoroughly adhered to.

This is your opportunity to keep your promise to assure that citizens of San Francisco are safe by requiring that a complete environmental review is undertaken and all appropriate safety measures are in place before any construction is approved for this undeveloped and vulnerable hillside. We also request that the safety measures and oversight are transparent to the impacted neighbors and the traffic/parking issues are addressed.

Sincerely,

Hui Dan Huang

Name & Signature

Huanghui.Dan@yahoo.com.hk

Email

Address

827 corland
HK

Phone (optional)

415 518-3112

7-516

Date

July, 2016
Board of Supervisors
City Hall, San Francisco, CA 94102

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Sincerely,



Name & Signature

3515 Folsom St.

Address

7-5-16

Date

Email

Phone (optional)

July, 2016
Board of Supervisors
City Hall, San Francisco, CA 94102

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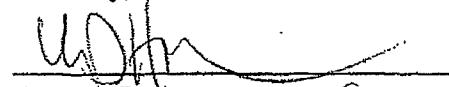
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Sincerely,


Name & Signature
BROWNBELLEZZLAPL.COM

Email

3615 FOLSOM ST

Address

Phone (optional)

07-05-16

Date

July, 2016
Board of Supervisors
City Hall, San Francisco, CA 94102

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Sincerely,


Name & Signature
Linda Scherzer, Esq.
Email: scherzer@sfes.org


Address

7-5-16
Date

Phone (optional)

July, 2016
Board of Supervisors
City Hall, San Francisco, CA 94102

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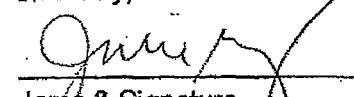
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Sincerely,


Name & Signature
thousandst@gmail.com
Email

3625 Folsom St 7/5/17
Address Date
Phone (optional)

July, 2016
Board of Supervisors
City Hall, San Francisco, CA 94102

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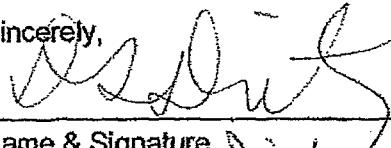
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Sincerely,


Name & Signature
Deborah Dietz
Email

106 Banks
Address
Phone (optional)

7/5/16
Date

July, 2016
Board of Supervisors
City Hall, San Francisco, CA 94102

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Sincerely,

Michael Slater
MICHAEL SLATER

Name & Signature

STGUNVER@COMCAST.NET

Email

350 FOLSOM ST
Address
415-713-8192

7/5/2016
Date

Phone (optional)

July, 2016
Board of Supervisors
City Hall, San Francisco, CA 94102

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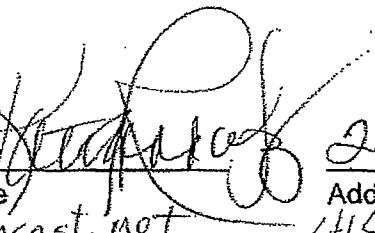
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Sincerely,


Kathryn Ruddatz
Name & Signature
kathyruddatz@comcast.net
Email

250 Gates St.
Address
415-282-8518
Phone (optional)

7-5-2016
Date

July, 2016
Board of Supervisors
City Hall, San Francisco, CA 94102

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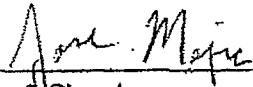
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Sincerely,



Jamie Majic
Signature

231 Ellsworth St

Address

7-5-16

Date

Email

Phone (optional)

July, 2016
Board of Supervisors
City Hall, San Francisco, CA 94102

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Sincerely,

Robert Mason

Name & Signature

117 Banks

Address

7/5/16

Date

Email

Phone (optional)

July, 2016
Board of Supervisors
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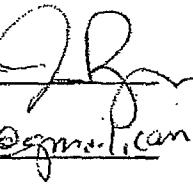
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Sincerely,


Name & Signature
jordanreznick@gmail.com
Email

270 Anderson St
Address
415 85723126
Phone (optional)

7.6.16
Date

July, 2016
Board of Supervisors
City Hall, San Francisco, CA 94102

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Sincerely,


Name & Signature
geri.simmssaint@gmail.com
Email

901 Tarboe Ave
Address
415-500-2896
Phone (optional)

7-5-16
Date

July, 2016
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City Hall, San Francisco, CA 94102

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Sincerely,

Robyn Talman Bynum
Name & Signature
ratalmam@yahoo.com
Email

42 Nevada St SF 94110

Address

415-726-0633

Date

7/6/16

Phone (optional)

July, 2016
Board of Supervisors
City Hall, San Francisco, CA 94102

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Sincerely, *Ruth Castro*

Ruth Castro
Name & Signature

67 Prentiss St.
Address

7-7-2016
Date

Email

Phone (optional)

July, 2016
Board of Supervisors
City Hall, San Francisco, CA 94102

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- The project site's proposed steep street presents a significant threat to drivers and residents, and a liability issue for homeowners and the City.
- The structures would create a north-facing solid wall blocking significant public vistas from Bernal Heights Boulevard along the open-space park.

There are specific National Transportation Safety Board and Pipeline Informed Planning Alliance protocols that should be followed for all land use near pipelines, and we expect assurances and evidence from you and the responsible City agencies that these protocols will be thoroughly adhered to.

This is your opportunity to keep your promise to assure that citizens of San Francisco are safe by requiring that a complete environmental review is undertaken and all appropriate safety measures are in place before any construction is approved for this undeveloped and vulnerable hillside. We also request that the safety measures and oversight are transparent to the impacted neighbors and the traffic/parking issues are addressed.

Sincerely,

 **NANCY ZECHES**
Name & Signature
nancyzeches@yahoo.com
Email

405 Chapman St
Address
415 760 0503
Phone (optional)

7.4.16
Date

July, 2016
Board of Supervisors
City Hall, San Francisco, CA 94102

Dear Supervisors,

Urgent Request for Environment Review - Our safety and even our lives are at stake.

Construction on two lots at 3516 and 3526 Folsom Street have been given categorical exemption from environmental review, however this particular plot of land, encompassing 6 lots and a street right of way, poses significant, potentially life-threatening, safety hazards.

These include:

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Sincerely,

Sharon Zechs
Sharon Zechs
Name & Signature
Sazechs@shcglobal.net
Email

1553 Finch Way 7.6.16
Address Date
408 735 8161
Phone (optional)

LETTER TO THE SF BOARD OF SUPERVISORS

Support Bernal Heights CEQA CatEx Appeal on July 19th ***The safety of our community is at stake***

Dear Board Members,

As a San Francisco resident, I urge you to prioritize our public safety over the rush-to-build in San Francisco. I ask that you support an appeal of a CA Environmental Quality Act ("CEQA") Categorical Exemption ("CatEx") involving a new housing development at 3516-3526 Folsom Street in Bernal Heights to be accessed by a proposed steep street - directly over, near, and around the vintage 26" PG&E Gas Transmission Pipeline 109 - the same type that blew up in San Bruno.

Unlike other gas transmission pipelines in SF, no pavement or street cover protects this pipeline - it is only covered by dirt. Excavation activities are the major cause of accidental ruptures on gas transmission pipelines in the United States. Identifying and mitigating public safety street issues before construction begins is plain common sense.

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The SF Planning Department approved the construction permits based on design criteria only, saying public safety issues would be addressed by other SF governmental agencies.

Please ensure good governance prevails - that known and potential public safety hazards be addressed through established CEQA protocols before any accidents happen.

I urge you to support the Bernal Heights CEQA Categorical Exemption appeal on July 19th. There are unusual circumstances in this construction project that necessitate environmental review.

Sincerely,

Matthew Evans
Signature

Matthew Evans
Printed name

7-2-16

Date

105 Cortland Ave, SF 94110

Address

matthew.evans@csueastbay.edu

Email

(650) 863-5569

Phone number (Optional)

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Sincerely,



Signature

4964 MISSION ST.

Address

VALERIO PAOLUCCI

Printed name

VALERZ.P @ GMAIL.COM

Email

07/07/16

Date

Phone number (Optional)

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Sincerely,

Mark West

Signature

214 Folsom St. SF 94110

Address

Mark West

Printed name

7/2/16

Date

Phone number (Optional)

July, 2016
 Board of Supervisors
 City Hall, San Francisco, CA 94102

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Sincerely,

ADAM FARNER Adam
 Name & Signature
alan.farner@gmail.com
 Email

68 NEVADA ST.
 Address

 Phone (optional)

7/5/2016
 Date

July, 2016
Board of Supervisors
City Hall, San Francisco, CA 94102

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Sincerely,

Pachel Holt
Name & Signature
holzoffers@gmail.com
Email

68 Nevada St.
Address
Phone (optional)

7/5/16
Date

LETTER TO THE SF BOARD OF SUPERVISORS

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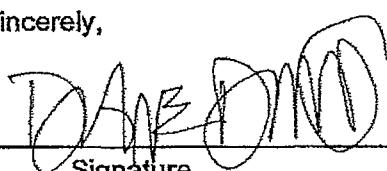
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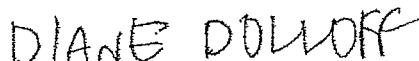
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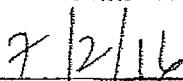
Sincerely,



Signature



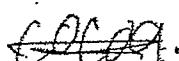
Printed name



Date



Address



Email

Phone number (Optional)

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Sincerely,


Signature

354 Montrose St SF, CA 94110
Address

Deborah Hamolsky
Printed name

debhamolsky@gmail.com
Email

7.3.16
Date

Phone number (Optional)

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Sincerely,

Miriam R. Higtrue
Signature

828 Portland Ave
Address

MIRIAM R. HIGTRUE
Printed name

Email

July 3 - 2016
Date

Phone number (Optional)

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Sincerely,



Signature

81 Cortland, SF CA 94110

Address

Amy Yang

Printed name

amyamy.yang@gmail.com

Email

July 3 2016

Date

Phone number (Optional)

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Sincerely,

Kathleen Kaiser

Signature

201 Elsie

Address

Kathleen Kaiser

Printed name

rKaiser940@comcast.net

Email

7-3-16

Date

415-826-4577

Phone number (Optional)

LETTER TO THE SF BOARD OF SUPERVISORS

Support Bernal Heights CEQA CatEx Appeal on July 19th ***The safety of our community is at stake***

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Sincerely,



Signature

Matthew Zimmerman

Printed name

7/2/16

Date

8 Gladys St San Francisco 94110

Address

matthew.zimmerman1@gmail.com

Email

Phone number (Optional)

LETTER TO THE SF BOARD OF SUPERVISORS

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Sincerely,

Theresa Ebersold

Signature

99 Bronte SF 94110

Address

TOM EBERSOLD

Printed name

Email

7/2/16

Date

Phone number (Optional)

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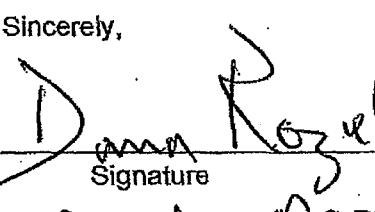
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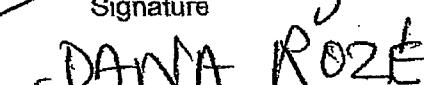
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Sincerely,


Signature

9/110
559 VALENCIA SF CA

Address


Printed name

Email


7/2/16
Date

Phone number (Optional)

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Support Bernal Heights CEQA CatEx Appeal on July 19th The safety of our community is at stake

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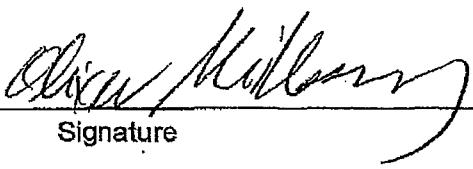
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Sincerely,



Signature

209 GATES ST. SF CA 94110

Address

OLIVER MULLARNEY

Printed name

OMULLARNEY@GMAIL.COM

Email

7/2/2016

Date

Phone number (Optional)

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Signature

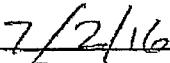
76 Gates St. San Francisco CA 94110

Address



Printed name

Email



Date

Phone number (Optional)

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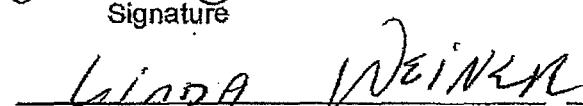
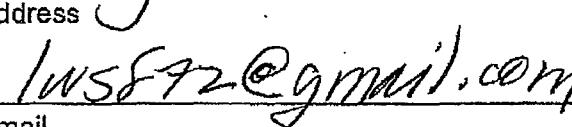
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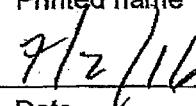
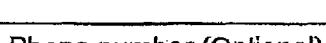
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Sincerely,

 Linda Weiner 
Signature Address

 Linda Weiner 
Printed name Email

 7/2/16 
Date Phone number (Optional)

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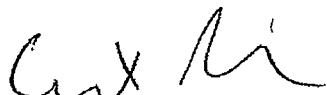
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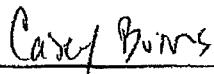
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Signature



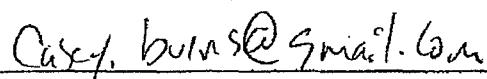
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Date

515 Gates St, San Francisco, CA 94110

Address



Email

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Sincerely,

Stephanie Rivera

Signature

Stephanie Rivera

Printed name

7/19/16

Date

3870 24th St. B SF, CA 94114.

Address

stephanie.rivera@quant.com

Email

202-422-4234

Phone number (Optional)

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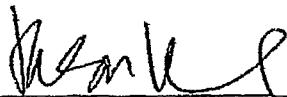
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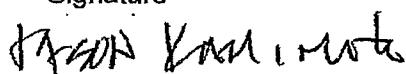
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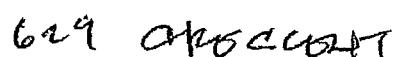
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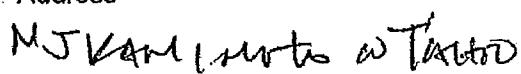
Signature



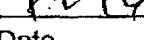
Printed name



Address



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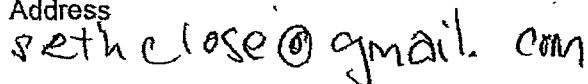


615 MULTRAY St.

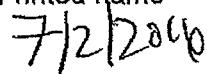
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Address



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Sincerely,

Whitney Heaver
Signature

1001 Tompkins Ave, San Francisco 94110

Address

Whitney Heaver

Printed name

Email

7/2/16

Date

Phone number (Optional)

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Signature

24 GLADYS ST. 94110

Address

Printed name

Email

Date

Phone number (Optional)

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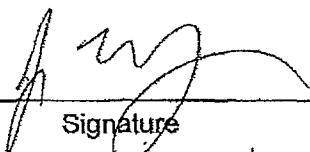
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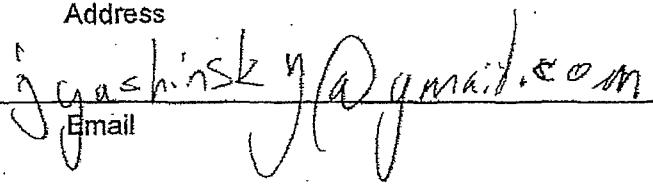
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Sincerely,


Signature
Jason Gashinsky
Printed name
7/11/2016
Date

545 Ellsworth
Address

Email
Phone number (Optional)

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Sincerely,

Sandra Roche 1143 CRPP ST 94110
Signature Address

Sandra Roche Email
Printed name

7-2-20016
Date Phone number (Optional)

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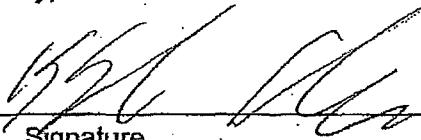
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Sincerely,



Signature

50 Reratta Ave

94110

Address

Kyle Salasko

Printed name

Ksalasko@gmail.com

Email

7/2/16

Date

Phone number (Optional)

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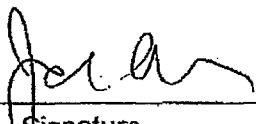
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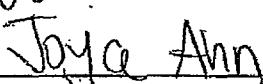
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Printed name

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Phone number (Optional)

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Support Bernal Heights CEQA CatEx Appeal on July 19th The safety of our community is at stake

Dear Board Members,

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Sincerely,

C. D'Alessandro

Signature

131 Prentiss St. SF CA. 94110

Address

Christine D'Alessandro

Printed name

Email

7/2/16

Date

Phone number (Optional)

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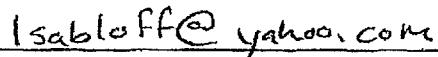
Signature

60 Peralta Ave., 94110

Address

S. SALASKO

Printed name



Email

7/2/16

Date

Phone number (Optional)

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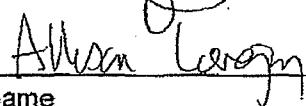
Sincerely,



Signature

88 ELSIE ST. 94110

Address



Printed name

loneyy.alison.lyther.com

July 2 2016

Date

Phone number (Optional)

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Sincerely,

Alex Clements

Signature

22 Elsie St. 94110

Address

Alex Clements

Printed name

clementsalexandra@gmail.com

Email

7/2/16

Date

Phone number (Optional)

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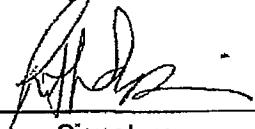
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Sincerely,



Signature

Printed name

7/2/2016

Date

292 Crescent Ave SF

Address

ruthscott@gmail.com

Email

Phone number (Optional)

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Sincerely,

Eugene Monaghan 977 Brussels St., San Francisco, CA
Signature Address

Eugene Monaghan E. Monaghan 2011@Yahoo.com
Printed name Email

07/02/16 215-6975583
Date Phone number (Optional)

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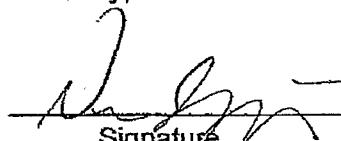
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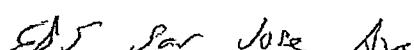
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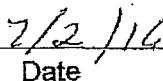
Sincerely,


Signature
NICO^L INFESTA
NICO^L INFESTA

Printed name


Address

Email


Date

Phone number (Optional)

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Sincerely,



Signature

CHAMBERS

DAVID CHAMBERS

Printed name

7/21/16

Date

685 San Jose Ave

Address

DAVID RODRIGUEZ KEY ACT

Email

Phone number (Optional)

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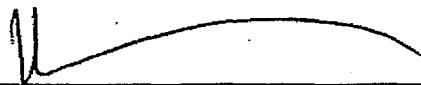
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Sincerely,



Signature

Ken Volpe

Printed name

7/2/16

Date

242 Athens St

Address

kenvolpe@yahoo.com

Email

915-235-2617

Phone number (Optional)

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Sincerely,

Hannah Kahn

Signature

540 Alabama St.

Address

HANNAH KAHN

Printed name

hannahkahn@att.net

Email

7/2/16

Date

Phone number (Optional)

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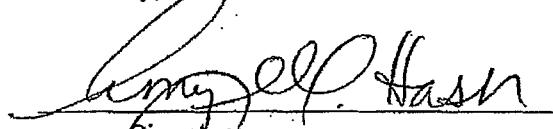
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Sincerely,


Signature

Amy M. Hash
Printed name

7/2/16
Date

1317 Kansas St.
Address

machnake@hotmail.com
Email

Phone number (Optional)

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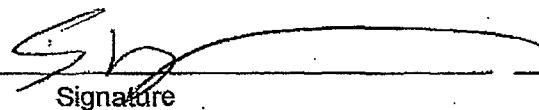
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Sincerely,


Signature

782 Sweeny S.F. 94134

Address

Stuart Washington

Printed name

Email

7/2/16

Date

Phone number (Optional)

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Sincerely,

Joan McAllister 205 28th street #10

Signature

Address

SF 94131

Printed name

Email

Date

Phone number (Optional)

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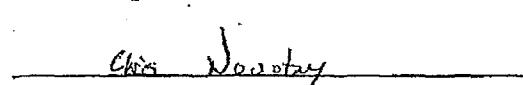
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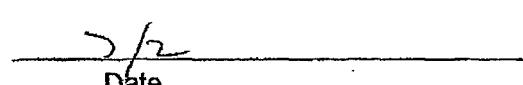
Sincerely,


Signature

1071 Watson St
Address


Printed name

christopher.novotny@west.eid
Email


Date

Phone number (Optional)

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Sincerely,



Signature

Florentine Kitagahira

Printed name

7/2/2016

Date

1071 Natoma Street

Address

frutag@gmail.com

Email

Phone number (Optional)

LETTER TO THE SF BOARD OF SUPERVISORS

Support Bernal Heights CEQA CatEx Appeal on July 19th ***The safety of our community is at stake***

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Sincerely,


Signature

Alex Den
Printed name

07/02/16
Date

724 Burling St
Address

akka18@hotmail.com
Email

Phone number (Optional)

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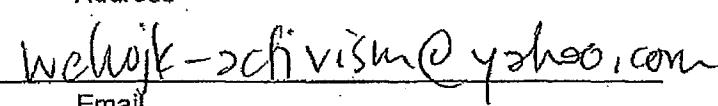
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Sincerely,


Signature

1007 3rd ST SF 94107
Address

JAMES KILAVITZ 
Printed name Email

7/2/16
Date Phone number (Optional)

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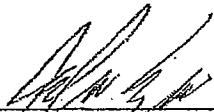
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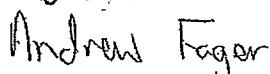
Sincerely,



Signature

644 27th Ave

Address



Printed name

Email

7-2-16

Date

Phone number (Optional)

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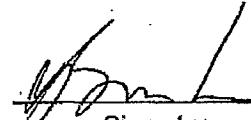
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Sincerely,


Signature

Brian Vihm
Printed name

7/2/16
Date

437 Jerses
Address

privatebrianwilliam@gmail.com
Email

Phone number (Optional)

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Sincerely,


Signature

322 Madrid St

Address

Julio S. Larreynaga

Printed name

Email

7/2/16

Date

Phone number (Optional)

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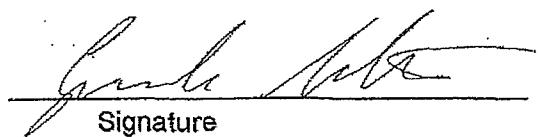
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Sincerely,


Signature

1111 FINE ST.

Address

GIANLUCA MARTINI
Printed name

GIANLUCA.MARTINI@ME.COM

Email

07/02/2016
Date

Phone number (Optional)

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Sincerely,

S Alden C
Signature

630 OAK STREET T
Address

S. ALDEN COVANT

Printed name

Email

7/2/16

Date

Phone number (Optional)

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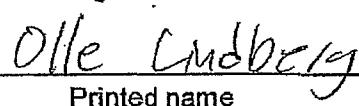
Sincerely,



Signature

630 Oak St

Address



Printed name

Email



Date

Phone number (Optional)

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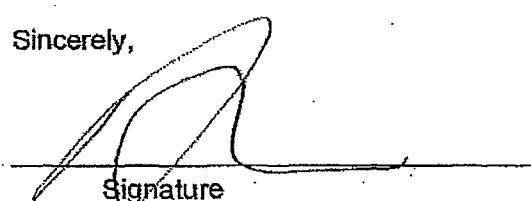
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Sincerely,



Signature

260 ANJOIE AVE #202, SF CA 94110

Address

DAISY LINDEN

Printed name

daisy.linden@gmail.com

Email

7/2/16

Date

Phone number (Optional)

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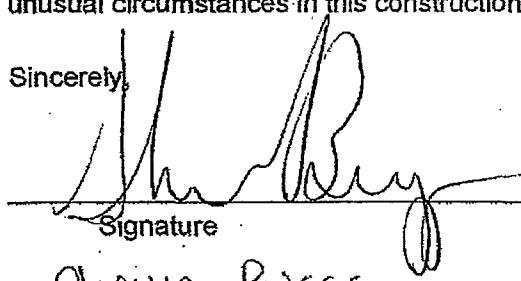
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Sincerely,



Signature

191 Beaumont Ave

Address

Shann Briggs

Printed name

Email

7/2/16

Date

Phone number (Optional)

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Sincerely,



Signature

HEIDI LANGIUS

Printed name

7/2/16

Date

242 Athens St SF 94112

Address

langius@mac.com

Email

Phone number (Optional)

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Sincerely,



Signature

Natalie Orr

Printed name

7.2.16

Date

1724 Bernal St San Francisco

Address

natmyersorr@gmail.com

Email

Phone number (Optional)

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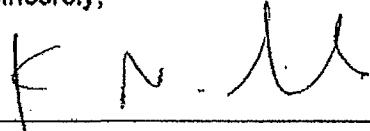
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Sincerely,



Signature

49 B.sworth #2

SF, CA
94112

Address

Katherine Nichols

Printed name

Email

7.2.14

Date

Phone number (Optional)

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Sincerely,



150 Chaves Ave, 94127

Signature

Address

A. Glikshtern

Printed name

Email

7-2-2016

Date

Phone number (Optional)

LETTER TO THE SF BOARD OF SUPERVISORS

Support Bernal Heights CEQA CatEx Appeal on July 19th ***The safety of our community is at stake***

Dear Board Members,

As a San Francisco resident, I urge you to prioritize our public safety over the rush-to-build in San Francisco. I ask that you support an appeal of a CA Environmental Quality Act ("CEQA") Categorical Exemption ("CatEx") involving a new housing development at 3516-3526 Folsom Street in Bernal Heights to be accessed by a proposed steep street - directly over, near, and around the vintage 26" PG&E Gas Transmission Pipeline 109 - the same type that blew up in San Bruno.

Unlike other gas transmission pipelines in SF, no pavement or street cover protects this pipeline - it is only covered by dirt: Excavation activities are the major cause of accidental ruptures on gas transmission pipelines in the United States. Identifying and mitigating public safety street issues before construction begins is plain common sense.

This hilly area of Bernal Heights is known for its twisty and congested narrow streets that create particularly difficult access issues for emergency vehicles, delivery trucks, and construction vehicles. Several fire trucks have gotten stuck in this area. The ultimate future mini-division of six houses will have no on-street parking. The development will be accessed by a proposed street so steep, it will rank among the steepest *in the world* - too steep for emergency vehicle access and many regular vehicles. It is proposed as a dead-end street with no-turn-around at top. Vehicles will have to back down into a blind intersection.

The SF Planning Department approved the construction permits based on design criteria only, saying public safety issues would be addressed by other SF governmental agencies.

Please ensure good governance prevails - that known and potential public safety hazards be addressed through established CEQA protocols before any accidents happen.

I urge you to support the Bernal Heights CEQA Categorical Exemption appeal on July 19th. There are unusual circumstances in this construction project that necessitate environmental review.

Sincerely,



Signature

601 O'farrell Street 94109

Address

CHIARA MARTIN

Printed name

Malvini.chiara@hotmail.it

Email

07/02/2016

Date

415-5396564

Phone number (Optional)

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Sincerely,

Signature

Gene Vondroy

Printed name

07/07/16

Date

1979 42nd Ave

Address

Email

Phone number (Optional)

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Sincerely,

Carole L. Fager
Signature

644 27th Ave SF CA 94121

Address

Carole L. Fager

Printed name

Email

7/2/16

Date

Phone number (Optional)

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Sincerely,

Mark Parsons

Signature

152 Folsom St. #8 SF, CA

Address

Mark Parsons

Printed name

Email

7-2-16

Date

Phone number (Optional)

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Sincerely,

Lydia Pineda
Signature

437 Jersey
Address

Printed name

Email

7/2/2016

Date

Phone number (Optional)

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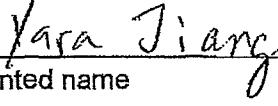
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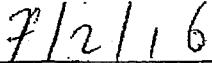
Sincerely,


Signature

35 Folsom St. S.F. 0839112
Address


Printed name

Email


Date

Phone number (Optional)

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Sincerely,



Signature

Jesse Raderick

Printed name

7/2/16

Date

20 Cotta St. SF 94112

Address

JesseRaderick@gmail.com

Email

Phone number (Optional)

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Sincerely,

Leticia Whitebone 140 Thrift St
Signature Address

Leticia Whitebone
Printed name Email

7/2/16
Date Phone number (Optional)

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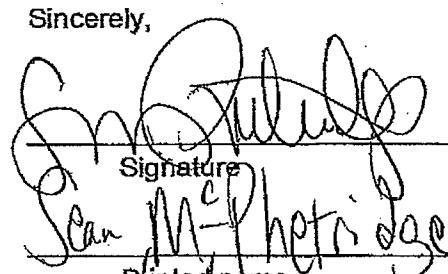
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Sincerely,


Signature
Sean McPhotridge
Printed name
7/2/16
Date

206 Diamond St. 94114
SF CA
Address
mcphotridge@gmail.com
Email
Phone number (Optional)

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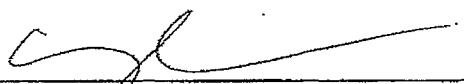
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Sincerely,



Signature

Carolyn Combs

Printed name

7/2/16

Date

6 Gladys St SFCA 94110

Address

Email

Phone number (Optional)

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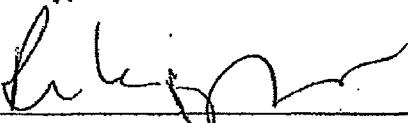
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Sincerely,



Signature

Robert Mann

Printed name

7/2/2011

Date

445 DARLEN AVE SF 94127

Address

RJMerlot@gmail

Email

Phone number (Optional)

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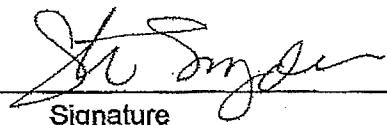
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Sincerely,



Signature

Steve Snyder

Printed name

7/2/14

Date

445 Darley Way, SF, CA 94127

Address

Steve Snyder stevesny@gmail.com

Email

Phone number (Optional)

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Sincerely,

David Strachan

Signature

577-1471 ST. SF 94103

Address

DAVID STRACHAN

Printed name

strachandc@gmail.com

Email

7/2/16

Date

Phone number (Optional)

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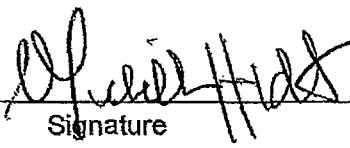
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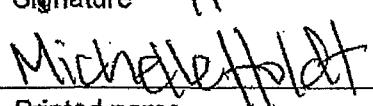
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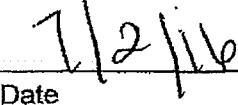
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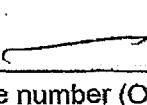

Signature

787 Dartmouth St
Address


Printed name

Email


Date


Phone number (Optional)

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Sincerely,



Signature

Fiqchra Mukova

Printed name

436 Grandview Ave

Address

Date

07/12/2016

Email

Phone number (Optional)

LETTER TO THE SF BOARD OF SUPERVISORS

Support Bernal Heights CEQA CatEx Appeal on July 19th

The safety of our community is at stake

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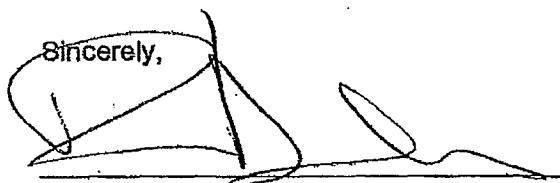
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Sincerely,



Signature

251 Frederick

Address

PETER von HARDENBERG

Printed name

Email

Date

Phone number (Optional)

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Sincerely,

Donna Hayes

Signature

Donna Hayes

Printed name

7/3/16

Date

362 Mullen Ave S.F. 94110

Address

dh

Email

Phone number (Optional)

LETTER TO THE SF BOARD OF SUPERVISORS

Support Bernal Heights CEQA CatEx Appeal on July 19th ***The safety of our community is at stake***

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BERNAL HEIGHTS LOCAL VISITOR
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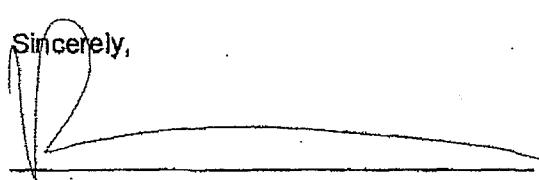
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Sincerely,



Signature

22 ELSIE ST.

Address

PATRICK FORRESTER

Printed name

MODUSHOPPER@GMAIL.COM

Email

7/1/16

Date

Phone number (Optional)

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Sincerely,



Signature

61 GATES St

94110

Address

Marilyn Waterman

Printed name

nev.eec@yahoo.com

Email

7/2/16

Date

650-387-9918

Phone number (Optional)

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Sincerely,



Signature

90 GATES ST SF 94110

Address

LLEWELYN B. KELLOGGTM

lbelleverepzbell.net

Printed name

Email

7/2/16

415-290-8024

Date

Phone number (Optional)

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Sincerely,

Kathryn Bender
Signature

90 Gates ST
Address

Kathryn Bender
Printed name

biofeedbackkath@gmail.com
Email

7/2/2016
Date

Phone number (Optional)

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Sincerely,



Signature

xx
200 Cortland Ave San Francisco CA 94110

Address

Christina Smith

Printed name

Email

1/2/16

9165190230

Date

Phone number (Optional)

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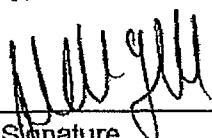
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Sincerely,



Signature

Printed name

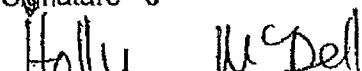
Date

21 Putnam St, CA 94110

Address

HMCDELL@GMAIL.COM

Email



Phone number (Optional)

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Sincerely,

Leoncio B. Santos

Signature

Leoncio B. Santos

Printed name

7-3-16

Date

662 3rd Street

Address

lsantos56@yahoo.com

Email

Phone number (Optional)

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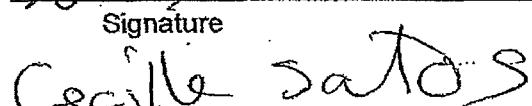
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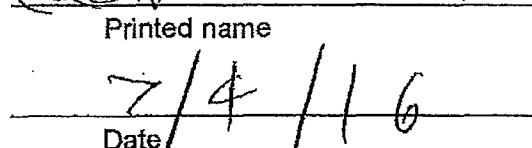
Sincerely,


Signature

662 Ellsworth St
Address


Printed name

SF - of - 94110
Email


Date

cecillesantos@shcglobal.net
Phone number (Optional)

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Sincerely,

Paul O'Leary
Signature

21 Cortland Ave San Francisco CA 94110

Address

Paul O'Leary
Printed name

Email

7/3/2016
Date

Phone number (Optional)

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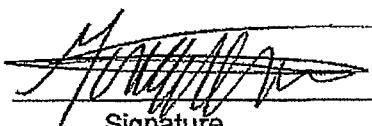
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Sincerely,


Signature

Monique Diemers
Printed name
7/2/16
Date

1260 8th Avenue Street Apt 2
Address SF Ca 94117

mlc2997@yahoo.com
Email
Phone number (Optional)

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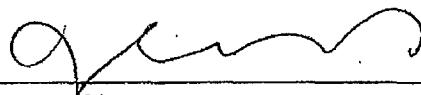
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Sincerely,



Signature

Jessica Gibbs

Printed name

July 3 2016

Date

1146 Naples St

Address

jgibbs12@hotmail.com

Email

Phone number (Optional)

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Sincerely,

Susan Esh

Signature

169 Folsom St 94117

Address

Susan Eshler

Printed name

seshler@comcast.net

7-2-16

Date

Phone number (Optional)

LETTER TO THE SF BOARD OF SUPERVISORS

Support Bernal Heights CEQA CatEx Appeal on July 19th ***The safety of our community is at stake***

Dear Board Members,

As a San Francisco resident, I urge you to prioritize our public safety over the rush-to-build in San Francisco. I ask that you support an appeal of a CA Environmental Quality Act ("CEQA") Categorical Exemption ("CatEx") involving a new housing development at 3516-3526 Folsom Street in Bernal Heights to be accessed by a proposed steep street - directly over, near, and around the vintage 26" PG&E Gas Transmission Pipeline 109 - the same type that blew up in San Bruno.

Unlike other gas transmission pipelines in SF, no pavement or street cover protects this pipeline - it is only covered by dirt. Excavation activities are the major cause of accidental ruptures on gas transmission pipelines in the United States. Identifying and mitigating public safety street issues before construction begins is plain common sense.

This hilly area of Bernal Heights is known for its twisty and congested narrow streets that create particularly difficult access issues for emergency vehicles, delivery trucks, and construction vehicles. Several fire trucks have gotten stuck in this area. The ultimate future mini-division of six houses will have no on-street parking. The development will be accessed by a proposed street so steep, it will rank among the steepest in the world - too steep for emergency vehicle access and many regular vehicles. It is proposed as a dead-end street with no-turn-around at top. Vehicles will have to back down into a blind intersection.

The SF Planning Department approved the construction permits based on design criteria only, saying public safety issues would be addressed by other SF governmental agencies.

Please ensure good governance prevails - that known and potential public safety hazards be addressed through established CEQA protocols before any accidents happen.

I urge you to support the Bernal Heights CEQA Categorical Exemption appeal on July 19th. There are unusual circumstances in this construction project that necessitate environmental review.

Sincerely,

Michael Beattie

Signature

Michael Beattie

Printed name

7-2-16

Date

621 crescent ave

Address

mrbbeattie@gmail.com

Email

Phone number (Optional)

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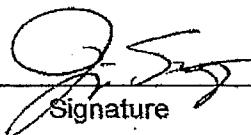
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Sincerely,



Signature

Jia Suy Wu

Printed name

243 16th Ave. SF 94116

Address

KathyW88@Yahoo.com

Email

Date

Phone number (Optional)

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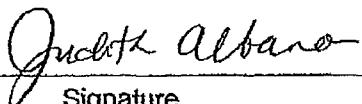
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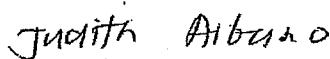
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Sincerely,



Signature



Printed name

07-02-16

Date

55 CHICAGO WAY SAN FRANCISCO CA
94112

Address

Email

Phone number (Optional)

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Sincerely,

Emily Roderick

Signature

Emily Roderick

Printed name

7/2/16

Date

20 Cotter Street

Address

esuchomel@gmail.com

Email

415-225-1899

Phone number (Optional)

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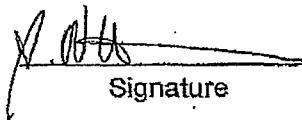
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Sincerely,


Signature

S. Williams
Printed name

7/2/16
Date

845 Pine St., Apt. A

Address

Email

Phone number (Optional)

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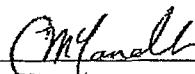
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Sincerely,



Signature

243B Miramar Ave, San Francisco, CA
Address 94112

Carolina McCandless

Printed name

Carolina @zesty.com

Email

7/12/16

Date

Phone number (Optional)

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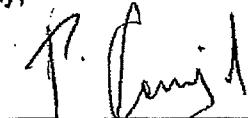
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Sincerely,



Signature

Printed name

7/21/2016

Date

103 Holly Park Cr

Address

pbz-antonieto@gmail.com

Email

Phone number (Optional)

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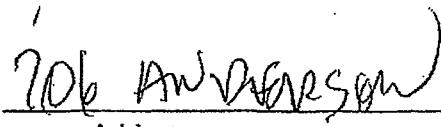
Sincerely,



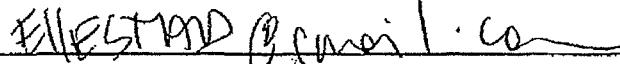
Signature

Printed name

Date



Address



Email

Phone number (Optional)

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Sincerely,

Sophie Mining

Signature

Sophie Mining

Printed name

7.2.2016

Date

105 Cortland Ave, San Francisco, CA 94110

Address

sophie.mining@gmail.com

Email

Phone number (Optional)

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Sincerely,

Alfonso Daleman 131 Prentiss St. 94110
Signature Address

Alfonso Daleman
Printed name Email

7/21/16
Date Phone number (Optional)

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Sincerely,

W. Wilson

Signature

Wilson Restrepo

Printed name

7-2-16

Date

1341 Mullen Ave, SF 94110

Address

wlrestrepo@gmail.com

Email

415-693-5576

Phone number (Optional)

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Sincerely,

Deborah Gerson
Signature

Deborah Gerson
Printed name

July 2, 2016
Date

117 Banks St. SF 94110
Address

dgerson646@gmail.com
Email

Phone number (Optional)

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Sincerely,

Kathryn Davis

Signature

376 Moultrie St.

Address

Kathryn Davis

Printed name

Email

7/03/2016

Date

Phone number (Optional)

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Sincerely,

Christa Blewins

Signature

289 Anderson St. SF 94110

Address

Christa Blewins

Printed name

XPA

Email

July 3 2016

Date

XPA

Phone number (Optional)

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Please ensure good governance prevails - that known and potential public safety hazards be addressed through established CEQA protocols before any accidents happen.

I urge you to support the Bernal Heights CEQA Categorical Exemption appeal on July 19th. There are unusual circumstances in this construction project that necessitate environmental review.

Sincerely,



Signature

Alexandra Gushin

Printed name

7/2/16

Date

3581 19th St. S.F.

Address

alexgracegushin@gmail.com

Email

478 187 6397

Phone number (Optional)

LETTER TO THE SF BOARD OF SUPERVISORS

Support Bernal Heights CEQA CatEx Appeal on July 19th The safety of our community is at stake

Dear Board Members,

As a San Francisco resident, I urge you to prioritize our public safety over the rush-to-build in San Francisco. I ask that you support an appeal of a CA Environmental Quality Act ("CEQA") Categorical Exemption ("CatEx") involving a new housing development at 3516-3526 Folsom Street in Bernal Heights to be accessed by a proposed steep street - directly over, near, and around the vintage 26" PG&E Gas Transmission Pipeline 109 - the same type that blew up in San Bruno.

Unlike other gas transmission pipelines in SF, no pavement or street cover protects this pipeline - it is only covered by dirt. Excavation activities are the major cause of accidental ruptures on gas transmission pipelines in the United States. Identifying and mitigating public safety street issues before construction begins is plain common sense.

This hilly area of Bernal Heights is known for its twisty and congested narrow streets that create particularly difficult access issues for emergency vehicles, delivery trucks, and construction vehicles. Several fire trucks have gotten stuck in this area. The ultimate future mini-division of six houses will have no on-street parking. The development will be accessed by a proposed street so steep, it will rank among the steepest *in the world* - too steep for emergency vehicle access and many regular vehicles. It is proposed as a dead-end street with no-turn-around at top. Vehicles will have to back down into a blind intersection.

The SF Planning Department approved the construction permits based on design criteria only, saying public safety issues would be addressed by other SF governmental agencies.

Please ensure good governance prevails - that known and potential public safety hazards be addressed through established CEQA protocols before any accidents happen.

I urge you to support the Bernal Heights CEQA Categorical Exemption appeal on July 19th. There are unusual circumstances in this construction project that necessitate environmental review.

Sincerely,

Sheri Broussard

Signature

611 Taraval st, SF, CA 94116

Address

Sheri Broussard

Printed name

Email

7/21/16

Date

Phone number (Optional)

July 5, 2016

Ms. Angela Cavillo
Clerk
San Francisco Board of Supervisors
1 Dr. Carlton Goodlett Place
City Hall, Room 244
San Francisco, CA 94102

RE: Appeal of CEQA Categorical Exemption Determination
Planning Case No. 2013.1383E
Building Permit Application Nos. 2013.12.16.4318 & 2013.16.4322
3516-3526 Folsom Street ("Project Site")

Dear Ms. Cavillo:

I am the owner of 3516 Folsom Street and the applicant for the referenced building permits, which are the subject the subject of this appeal. I am writing to request that Supervisor David Campos, an officer of the City and County of San Francisco, recuse himself from acting on or voting on the above matter.

As you may know, Supervisor Campos owns a home located at 401 Chapman Street, which is within 500 feet of the Project Site.

Pursuant to Section 3.206 of the San Francisco Administrative Code, "No officer ...of the City and County shall make, participate in making, or seek to influence a decision of the City and County in which the officer...has a financial interest within the meaning of California Government Code Section 87100 et. seq. and any subsequent amendments to these Sections."

Government Code Section 87100 states that "No public official at any level of state or local government shall make, participate in making or in any way attempt to use his official position to influence a governmental decision in which he knows or has reason to know he has a financial interest."

Government Code Section 87103 states that "A public official has a financial interest in a decision within the meaning of Section 87100 if it is reasonably foreseeable that the decision will have a material financial effect, distinguishable from its effect on the public generally, on the official, a member of his or her immediate family or on any of the following: (b) Any real property which the public official has a direct or indirect interest worth two thousand dollars (\$2,000) or more."

California Code of Regulations, Title 2, Division 6 sets forth the regulations of California's Political Reform Act and Sections 87100 et. seq.

Regulation 18702.2(a) provides a list of circumstances under which the reasonably foreseeable financial effect of a governmental decision on real property in which an official has a financial interest is material. The list of circumstances includes construction of, or improvements to, streets, water, sewer, storm drainage or similar facilities that would:

- Change the development potential of the official's parcel of real property (Regulation 18702.2(a)(7).)
- Change the income producing potential of the parcel of real property (Regulation 18702.2(a)(8).)
- Change the highest and best use of the real property in which the official has an interest (Regulation 18702.2(a)(9).)
- Change the character of the parcel of real property by substantially altering traffic levels, intensity of use, including parking, of property surrounding the official's real property parcel, the view, privacy, noise levels, or air quality, including odors, or any other factors that would affect the market value of the real property party in which the official has a financial interest. (Regulation 18702.2(a)(10).)
- Involve any decision affecting real property value located within 500 feet of the property line of the official's real property, other than commercial property containing a business entity.... (Regulation 18702.2(a)(11).)
- Cause a reasonably prudent person, using due care and consideration under the circumstances, to believe that the governmental decision was of such a nature that its reasonably foreseeable effect would influence the market value of the official's property (Regulation 18702.2(a)(12).)

The FPPC, in its August 2015 Guide To The Conflict of Interest Rules of the Political Reform Act, a copy of which is attached as **Exhibit A**, states that a material financial effect is assumed if the above matters are present. (See pages 7-8.) These laws, regulations and principals were applied as recently as June 21, 2016, in Oakland when its Civil Grand Jury found that City Council President Lynette Gibson McElhaney broke state and city ethics laws by interfering with the approval process for a 5-unit development planned for a lot next door to her home. See, **Exhibit B**.

The Appellants have stated in their Appeal Letter, dated June 3, 2016, that there are at least 19 "facts" that would result in damage to and diminution of value to neighboring residents. Many of the signers of the Appeal Letter live on Chapman Street, the same street that Supervisor Campos owns a home on. Supervisor Campos' interest in his real property would incur the same alleged impacts as those identified by the Appellants. His "injury" or "damage" is not similar to the public at

large, but rather is a localized impact that might affect, if at all, only the neighbors in the nearby vicinity of the project site.

Based on the facts set forth herein, and the applicable conflict of interest laws and regulations, Supervisor David Campos has a clear conflict of interest in this matter and he should immediately recuse himself from taking any action or participating in any vote involving the Project Site.

If for some reason Supervisor Campos will not be recusing himself on all matters and votes involving the Project, please let me know immediately.

Thank you:

Very truly yours,



Fabien Lannoye

CC: Supervisor David Campos
City Attorney Dennis Herrera

Exhibit A

Recognizing Conflicts of Interest

A Guide to the Conflict of Interest Rules of the Political Reform Act

Fair Political Practices Commission
August 2015

4751



This guide is provided by the Fair Political Practices Commission (FPPC) as a general overview of a public official's obligations under the conflict of interest rules provided for in the Political Reform Act (the Act).¹ It is intended to help the user spot situations and issues that may give rise to a conflict. The guide will provide answers to some of the more common questions:

- What is a conflict of interest under the Act?
- Who must be vigilant about conflicts of interest?
- What precautions can be taken to prevent conflicts?
- A conflict of interest exists, what now?
- Where to go for help?

A word of caution - officials should not rely solely on this guide to ensure compliance with the Act, but should also consult the statutes of the Act, the FPPC's regulations, and if necessary, seek legal advice.

What is a conflict of interest under the Act?

In 1974, the voters enacted the Political Reform Act.² In adopting the Act, the voters recognized that conflicts of interest in governmental decision-making by public officials posed a significant danger.

"The people find and declare ...

- a) State and local government should serve the needs and respond to the wishes of all citizens equally, without regard to their wealth;
- b) Public officials, whether elected or appointed, should perform their duties in an impartial manner, free from bias caused by their own financial interests or the financial interests of persons who have supported them...."³

Under the Act, a public official will have a statutory conflict of interest with regard to a particular government decision if it is foreseeable that the outcome of the decision will have a financial impact on the official's personal finances or other financial interests.⁴ In such cases, there is a risk of biased decision-making that could sacrifice the public's interest in favor of the official's private financial interests. In fact, preventing conflicts of interest was of such vital importance to the voters that the Act not only prohibits actual bias in decision-making but also "seeks to forestall ... the appearance of possible improprieties."⁵

Who must be vigilant about conflicts of interest?

Public Officials: The reach of the Act's conflict of interest rules is commonly misunderstood or understated. The Act applies to all "public officials," which is defined as "every member, officer, employee or consultant of a state or local government agency."⁶

It is universally recognized that certain elected public officials, such as city councilmembers, city managers and city attorneys, must refrain from decision-making where a conflict of interest exists. These persons hold high-level positions of trust in government. However, the Act's conflict of interest prohibition reaches much further than high-level state and local officials. The Act's conflict of interest disclosure and disqualification rules apply to thousands of local and state public employees and officials working throughout California.

The Public: The Act relies on individual citizens to monitor the decision-making of their elected and appointed representatives to identify whether they have a conflict of interest with respect to a specific decision. Much of the enforcement of the Act's conflict of interest provisions is based on citizen complaints.⁷

What precautions can be taken to prevent conflicts of interest?

In order to prevent a conflict of interest, a public official should: 1) identify and fully disclose the financial interests that may cause a conflict; 2) understand the different types of financial interests that may be the basis for a conflict; and 3) consider whether the decision's effect on the official's financial interest is reasonably foreseeable and material. Each step is discussed in greater detail below.

1. Identify and fully disclose the financial interests that may cause a conflict.

Public Officials: The most important thing an official can do to comply with this law is to recognize the types of interests from which a conflict of interest can arise. By learning to recognize these interests, an official will be able to spot potential problems and seek help from the agency's legal counsel or from the FPPC.

In fact, officials can take steps to protect themselves and the public from conflict of interest decisions well in advance of making a specific governmental decision. The Act requires that public officials annually disclose their financial interests on a Form 700 (Statement of Economic Interests). This is a requirement because the voters who enacted the law recognized that an important purpose of the Act was to ensure adequate disclosure:

"Assets and income of public officials which may be materially affected by their official actions should be disclosed and in appropriate circumstances the officials should be disqualified from acting in order that conflicts of interest may be avoided."⁸

The financial interests disclosed include many of the interests that form the basis for a conflict and require disqualification under the Act. No one has a conflict of interest under the Act on general principles or because of personal bias regarding a person or subject – conflicts under the Act are based on financial interests. By thoroughly completing the Form 700, the official is on notice of the type of financial interests he or she holds that may cause a conflict of interest. If the official has no interests that governmental decisions can financially affect, the official will not have a conflict of interest.

The Public: Requiring officials to publicly disclose their financial interests allows the general public to monitor an official's conduct. In other words, any individual citizen can obtain a copy of the Form 700 filed by their local or state official to determine whether the official has a conflict of interest with respect to a specific decision. This serves as an important enforcement mechanism for the Act's disqualification requirements.

2. Understand the different types of financial interests that may be the basis for a conflict.

There are five types of interests⁹ that may result in disqualification:

- ***Business Investment, Employment or Management.*** An official has a financial interest in a business entity in which the official, or the official's spouse, registered domestic partner, or dependent children or an agent has invested \$2,000 or more.¹⁰ An official also has a financial interest in a business entity for which the official is a director, officer, partner, trustee, employee, or holds any position of management.
- ***Real Property.*** An official has a financial interest in real property in which the official, or the official's spouse, registered domestic partner, or dependent children, or an agent has invested \$2,000 or more, and also in certain leasehold interests of terms of more than a month (excluding a month-to-month lease and leases for terms of less than a month).¹¹
- ***Sources of Income.*** An official has a financial interest in anyone, whether an individual or an organization, from whom the official has received (or from whom the official has been promised) \$500 or more in income within 12 months prior to the decision. A "source of income" includes a community property interest in the spouse's or registered domestic partner's income. Therefore, a person from

whom the official's spouse or registered domestic partner receives income of \$1,000 or more, such that the official's community property share is \$500 or more, may also be a source of a conflict of interest.¹²

In addition, if the spouse, registered domestic partner or dependent children own 10 percent or more of a business, the official is considered to be receiving "pass-through income" from the business's clients. In other words, under such circumstances, the business's clients may be considered sources of income to the official as well.

- **Gifts.** An official has a financial interest in anyone, whether an individual or an organization, who has given gifts to the official that total \$460 or more¹³ within 12 months prior to the decision.
- **Personal Finances.** An official has a financial interest in decisions that affect the official's personal expenses, income, assets, or liabilities, as well as those of the official's immediate family. This is known as the "personal financial effects" rule.

Quick Tip:

Not all of the financial interests that may cause a conflict of interest are disclosed on a Form 700. A good example is an official's home. It is common for financial effects on an official's home to trigger a conflict of interest. Officials are not, however, required to disclose their home on the Form 700.¹

3. Consider whether the decision's effect on the official's financial interest is reasonably foreseeable and material.

The next steps all focus on the specific governmental decision in question. At the heart of deciding whether an official has a conflict of interest in a specific decision is determining whether an effect on the financial interest is reasonably foreseeable (might realistically happen or is too remote a possibility) and is material (financially important enough). Determining whether a decision's effects are foreseeable and material will depend on the nature of the specific decision and the relationship of the official's interest to the effects of the governmental decisions.

IS IT REASONABLY FORESEEABLE?¹⁴

Is it a realistic possibility that the decision will actually affect the official's financial interest or is it too remote or theoretical? Two alternative tests answer this question depending on whether an interest is explicitly involved in a decision.

<p><u>An Interest is Explicitly Involved in a Decision If:</u></p> <ol style="list-style-type: none">1) The interest is a named party in or the subject of a governmental decision, or2) The decision involves the issuance, renewal, approval, denial or revocation of any license, permit, or other entitlement to, or contract with, the interest, or3) The decision affects the real property of the official as described in Regulation 18702.2(a)(1)-(6).	<p><u>Then</u></p> <p>It is reasonably foreseeable that the decision will have a material financial effect on the interest.</p>
<p><u>If Not Explicitly Involved in the Decision</u></p> <p>All other decisions, other than those above, are considered not explicitly involved in the decision.</p>	<p><u>Then</u></p> <p>If an interest is not explicitly involved in a decision, the financial effect on the interest is reasonably foreseeable only if the effect can be recognized as a realistic possibility and more than hypothetical or theoretical. A financial effect need not be likely to be considered reasonably foreseeable. However, if the financial result cannot be expected absent extraordinary circumstances not subject to the public official's control, it is not reasonably foreseeable.</p>

Quick Tip:

For purposes of being vigilant to avoid conflict of interest decisions, keep the general rule in mind – if the financial effect can be recognized as a realistic possibility and more than hypothetical or theoretical, it is reasonably foreseeable.

IS IT MATERIAL?

The FPPC has adopted various rules (general and specific) for deciding what kinds of financial effects are important enough to trigger a conflict of interest. Generally, for each of the five interests set forth above, a separate materiality standard exists. The following charts reflect the materiality standards that apply to each type of interest.

Interests in Business Entities¹⁵
(Including investments in, employment or positions with, or income from business entities)

If Business Explicitly Involved = Financial Effect Assumed to be Material

A material financial effect is assumed if the business:

- 1) Initiates the proceeding by filing an application, claim, appeal, or request for other government action;
- 2) Offers to make a sale of a service or a product to the official's agency;
- 3) Bids on or enters into a written contract with the official's agency;
- 4) Is the named manufacturer in a purchase order of any product purchased by the official's agency or the sales provider of any products to the official's agency that aggregates to \$1,000 or more in any 12-month period;
- 5) Applies for a permit, license, grant, tax credit, exception, variance, or other entitlement that the official's agency is authorized to issue;
- 6) Is the subject of any inspection, action, or proceeding subject to the regulatory authority of the official's agency; or
- 7) Is otherwise subject to an action the official's agency takes, the effect of which is directed solely at the business entity in which the official has an interest.

NOTE: In all other circumstances, the business is considered not explicitly involved in the decision and the financial effect is not assumed to be material.

◎ Not Assumed Material if Business Not Explicitly Involved

In all other cases, a financial effect is material if a prudent person with sufficient information would find it is reasonably foreseeable that the decision's financial effect would contribute to a change in the price of the entity's publicly traded stock, or the value of a privately-held business entity.

Interests in Real Property¹⁶

NOTE: There are different materiality standards depending on whether it is an ownership or leasehold interest.

Ownership Interests in Real Property

The decision:

- 1) Involves adopting or amending a general or specific plan, that includes the official's property;
- 2) Determines the property's zoning or rezoning, annexation or de-annexation, or inclusion in or exclusion from any city, county, district, or other local government subdivision, or other boundaries (other than a zoning decision applicable to all properties designated in that category);
- 3) Imposes, repeals, or modifies any taxes, fees, or assessments that apply to the property;
- 4) Authorizes the sale, purchase, or lease of the property;
- 5) Involves the issuance, denial or revocation of a license, permit or other land use entitlement authorizing a specific use of or improvement to the property or any variance that changes the permitted use of, or restrictions placed on it;

NOTE: For a financial effect resulting from a governmental decision regarding permits or licenses issued to the official's business entity when operating on the official's real property, the materiality standards under Regulation 18702.1 applicable to business entities would apply instead.

- 6) Involves construction of, or improvements to, streets, water, sewer, storm drainage or similar facilities, and the property in which the official has an interest will receive new or improved services that are distinguishable from improvements and services that are provided to or received by other similarly situated properties in the official's jurisdiction, or the official will otherwise receive a disproportionate benefit or detriment by the decision.

A material financial effect
is assumed if:

Unless it is nominal, inconsequential or insignificant, a material financial effect is also assumed if...

The decision:

- 1) Changes the development potential of the real property;
- 2) Changes the income-producing potential of the real property;

NOTE: If the real property contains a business entity, including rental property, and the nature of the business entity remains unchanged, the materiality standards under Regulation 18702.1 applicable to business entities would apply instead.

- 3) Changes the highest and best use of the parcel of real property in which the official has a financial interest;
- 4) Changes the character of the parcel of real property by substantially altering traffic levels or intensity of use, including parking, of property surrounding the official's real property parcel, the view, privacy, noise levels, or air quality, including odors, or any other factors that would affect the market value of the real property parcel in which the official has a financial interest;
- 5) Affects real property value located within 500 feet of the official's property line. However, if the real property is commercial property and contains a business entity, the materiality standards under Regulation 18702.1 applicable to business entities would apply instead;¹⁷
- 6) Causes a reasonably prudent person, using due care and consideration under the circumstances, to believe that the governmental decision was of such a nature that its reasonably foreseeable effect would influence the market value of the official's property.

A material financial effect is assumed if...

Leasehold Interests in Real Property¹⁸

The decision:

- 1) Changes the termination date of the lease;
- 2) Increases or decreases the potential rental value of the property;
- 3) Increases or decreases the rental value of the property, and official has right to sublease it;
- 4) Changes the official's actual or legally allowable use of the real property; or
- 5) Impacts the official's use and enjoyment of the real property.

Sources of Income

NOTE: There are different standards depending if income is for goods and services or the sale of personal or real property.

Income Received for Goods and Services Provided in the Ordinary Course of Business, including a Salary¹⁹

A material financial effect is assumed if...

The source of income is:

- 1) A claimant, applicant, respondent, contracting party, or is otherwise named or identified as the subject of the proceeding;
- 2) An individual and the individual will be financially affected under the standards applied to an official in Regulation 18702.5, or the official knows or has reason to know that the individual has an interest in a business entity or real property that will be financially affected under the standards applied to those financial interests in Regulation 18702.1 or 18702.2, respectively;
- 3) A nonprofit that will receive a measurable financial benefit or loss, or the official knows or has reason to know that the nonprofit has an interest in real property that will be financially affected under the standards applied to a real property interest in Regulation 18702.2; or
- 4) A business entity and the business will be financially affected under the standards applied to a business interest in Regulation 18702.1.

Income from the Sale of Personal or Real Property of the Official or the Official's Spouse if Community Property²⁰

A material financial effect is assumed if...

The official knows or has reason to know that the source of income:

- 1) Is a claimant, applicant, respondent, contracting party, or is otherwise named or identified as the subject of the proceeding;
- 2) Has an interest in a business entity that will be financially affected under the standards applied to a financial interest in Regulation 18702.1; or
- 3) Has an interest in real property that will be financially affected under the standards applied to a financial interest in Regulation 18702.2.

Sources of Gifts²¹

(Including Gifts from Individuals, Nonprofits, and Business Entities)

A material financial effect can be assumed if...

The source is:

- 1) A claimant, applicant, respondent, contracting party, or is otherwise named or identified as the subject of the proceeding;
- 2) An individual who will be financially affected under the standards applied to an official in Regulation 18702.5, or the official knows or has reason to know that the individual has an interest in a business entity or real property that will be financially affected under the standards applied to those interests in Regulation 18702.1 or 18702.2, respectively;
- 3) An nonprofit that will receive a measurable financial benefit or loss, or the official knows or has reason to know that the nonprofit has an interest in real property that will be financially affected under the standards applied to a financial interest in Regulation 18702.5; or
- 4) A business entity will be financially affected under the standards in Regulation 18702.1.

Interests in Personal Finances²²

(Including the Personal Finances of Immediate Family Members)

The financial effect is material if...

The official or the official's immediate family member will receive a measurable financial benefit or loss from the decision unless it is nominal, inconsequential, or insignificant.

Quick Tip:

There are many rules and many exceptions (so numerous we can't discuss them all here). At a big picture level, remember:

- In most cases, if the financial interest is directly or explicitly involved in the decision, the materiality standard is met. This is because an interest that is directly or explicitly involved in a governmental decision presents a more obvious conflict.
- On the other hand, if the financial interest is not directly or explicitly involved, the materiality standard is generally based on a reasonable person standard.

4. Consider whether an exception applies.

Once an official has determined that he or she has a conflict of interest in a particular decision, the official can examine if an exception permits the official's participation despite the conflict. Not all conflicts of interest prevent the official from lawfully taking part in the government decision.

- *The Public Generally Exception:*²³ Even if an official otherwise has a conflict of interest, the official is not disqualified from the participating in the decision if the "public generally" exception applies. This public generally exception applies when the financial effect on a public official or the official's interests is indistinguishable from its effect on the public generally.

NOTE: The "public generally" exception must be considered with care. An official may not just assume that it applies. There are rules for identifying the specific segments of the general population with which the official must compare the official's financial interest, and specific rules for deciding whether the financial impact will uniquely affect the public official as compared to the public generally. Again, officials should contact their agency counsel or the FPPC concerning these specific rules.

- *Legally Required to Participate:*²⁴ Even if an official has a disqualifying conflict of interest, is the participation legally required? In certain rare circumstances, an official may be called upon to take part in a decision despite the fact that the official has a disqualifying conflict of interest. This "legally required participation" rule applies only in certain very specific circumstances in which the government agency would be paralyzed or unable to act. The FPPC or the agency's counsel must generally make this determination and will instruct the official on how to proceed.

A conflict of interest exists, what now?

Once an official determines that they have a conflict of interest and that an exception does not apply, the official must disqualify from all of the following:²⁵

- *Making the governmental decision.* A public official makes a governmental decision if the official authorizes or directs any action, votes, appoints a person, obligates or commits his or her agency to any course of action, or enters into any contractual agreement on behalf of his or her agency.

- *Participating in making the governmental decision.* A public official participates in a governmental decision if the official provides information, an opinion, or a recommendation for the purpose of affecting the decision without significant intervening substantive review.
- *Influencing the governmental decision.* A public official uses his or her official position to influence a governmental decision if he or she: contacts or appears before (1) any official in his or her agency or in an agency subject to the authority or budgetary control of his or her agency for the purpose of affecting a decision; or (2) any official in any other government agency for the purpose of affecting a decision, and the public official acts or purports to act within his or her authority or on behalf of his or her agency in making the contact.

Certain officials (including city council members, planning commissioners, and members of the boards of supervisors) have a mandated manner in which they must disqualify from a decision.²⁶ They must publicly identify in detail the interest that creates the conflict, step down from the dais, and must then leave the room. The official must identify the interest following the announcement of the agenda item to be discussed or voted upon, but before either the discussion or vote commences.

If the decision is to take place during a closed session, the identification of the financial interest must be made during the public meeting prior to the closed session but is limited to a declaration that the official has a conflict of interest. The financial interest that is the basis for the conflict need not be disclosed. The official may not be present during consideration of the closed session item and may not obtain or review any nonpublic information regarding the decision.

There are limited exceptions that allow a public official to participate even when a conflict is present, such as participating as a member of the general public, speaking to the press, or discussing one's own governmental employment. The exceptions are limited and fact-specific, and may require advice from the agency's counsel or the FPPC.

Final thoughts

Generally speaking, here are the keys for public officials to meet their obligations under the Act's conflict of interest laws:

- Know the purpose of the law, which is to prevent biases, actual and apparent, that result from the financial interests of the decision-makers.
- Learn to spot potential trouble early. Understand which financial interests could give rise to a conflict of interest.

- Understand the “big picture” of the rules. For example, know why the rules distinguish between explicitly involved interests, and why the public generally exception exists.
- Realize the importance of the facts. Deciding whether an official has a disqualifying conflict of interest depends just as much - if not more - on the facts of the particular situation as it does on the law.
- Don’t try to memorize all of the specific conflict of interest rules. The rules are detailed, and the penalties for violating them are significant. Rather, look the rules up or ask about the particular rules applicable to a given case.
- Ask for advice. It is available from the agency’s legal counsel and from the FPPC.

Where to go for help?

Email Advice (informal)	advice@fppc.ca.gov
Written Advice (formal and informal)	Fair Political Practices Commission 428 J Street, Suite 620 Sacramento, CA 95814

¹ The Political Reform Act is contained in Government Code §§ 81000 - 91014, and all statutory references are to this code. The FPPC regulations are contained in §§ 18110 - 18997 of Title 2 of the California Code of Regulations, and all regulatory references are to this source.

² Enacted through Proposition 9 at the June 4, 1974 Primary Election.

³ § 81001.

⁴ § 87100.

⁵ *Witt v. Morrow* (1977) 70 Cal. App. 3d 817 at 822-823: "Morrow asserts it is unconstitutional to automatically disqualify a public official from participating in decisions which may affect the investments of an entity which pays him However, the whole purpose of the Political Reform Act of 1974 is to preclude a government official from participating in decisions where it appears he may not be totally objective because the outcome will likely benefit a corporation or individual by whom he is also employed."

⁶ § 82048.

⁷ § 83115.

⁸ § 81002(c).

⁹ § 87103.

¹⁰ Under § 87103, an official has an "indirect interest" in real property owned by a business entity or trust in which the official, the official's immediate family, or their agents own directly, indirectly, or beneficially a 10-percent interest or greater.

¹¹ § 82033.

¹² § 82030.

¹³ The Commission adjusts the gift threshold on January 1 of each odd-numbered year to reflect changes in the Consumer Price Index.

¹⁴ Regulation 18701.

¹⁵ Regulation 18702.1

¹⁶ Regulation 18702.2(a).

¹⁷ Particular facts can rebut this presumption depending on advice given by the FPPC.

¹⁸ Regulation 18702.2(b).

¹⁹ Regulation 18702.3(a).

²⁰ Regulation 18702.3(b).

²¹ Regulation 18702.4.

²² Regulation 18702.5.

²³ Regulation 18703.

²⁴ § 87101 and Regulation 18705.

²⁵ Regulation 18704.

²⁶ § 87105 and Regulation 18707 applicable to persons holding positions specified in § 87200.

Exhibit B

66°

BAY AREA & STATE

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Oakland councilwoman broke city, state rules, report says

Rachel Swan | on June 21, 2016

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Photo: Michael Short, Special To The Chronicle

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Oakland City Council President Lynette Gibson McElhaney speaks during a press conference at the Oakland Museum of California, in Oakland, CA Friday, April 22, 2016.

Oakland city councilwoman broke state and city ethics rules by interfering with the approval process for a five-unit town house development planned for a lot next door to her home, according to a civil grand jury report released Tuesday.



The councilwoman inappropriately wielded her position and used city resources to contact a department head to argue her objections and cause a re-evaluation that stalled the project, according to the report of the Alameda County grand jury. Although the report does not name the councilwoman, a source with knowledge of the grand jury probe identified her as City Council President Lynette Gibson McElhaney, and city documents show the address of the project lot as 530 32nd St. in West Oakland, which is next door to McElhaney's home.

The interference by the councilwoman led to several revisions and downsizing of the building plans, and the project was approved in 2014, according to the report. But the project has not been built. Instead, the property owner is offering the lot for sale.

"The property owner is concerned that further battles with the city may occur while attempting to obtain permits and constructing the town house project," the report states. "Witnesses to the grand jury testified that developers are reluctant to purchase the property due to the council member's interference."

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[American Canyon teen bitten by deadly snake in Belize](#)

McElhaney did not return calls seeking comment.

"As public servants, elected officials are precluded from seeking to influence a decision in which they have a financial interest," the grand jury report stated.

The report noted that "the councilmember had a material financial interest in governmental decisions based on the

proximity of the town house project to her residence and the likelihood that her privacy would be adversely impacted."

Opposition to project

The saga began in January 2014 as the property owner, who is not identified in the report, was in the midst of working with the city planning department on a design for the five-townhouse project with downtown views in a part of Oakland long starved for development. The property owner was contacted by a "next-door neighbor who stated that his wife was an Oakland city councilmember and further stated that he and his wife would be working to stop the project if the design was not changed to their liking," according to the report.

Shortly afterward, the report states, the councilwoman contacted Oakland Planning and Building Department chief Rachel Flynn to complain about the town house project. It says Flynn visited the lot, decided the design was subpar and pressured the property owner to make several modifications to mollify the councilwoman and her husband.

Flynn also installed herself as a point person for the project and urged the property owner to submit the revised plans to the councilwoman and other neighbors before turning them in to the city, the report stated.

[READ FULL ARTICLE](#)

— Chele Swan | Oakland Reporter

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PROOF OF MAILING

Legislative File No. 160676 - Public Hearing - Appeal of Categorical Exemption from Environmental Review - 3516 and 3526 Folsom Street Hearing Notices - English - Spanish - Chinese

Description of Items: Hearing of persons interested in or objecting to the determination of categorical exemption from environmental review under the California Environmental Quality Act issued by the Planning Department on March 26, 2014, for a proposed project to allow the construction of two 3,000-square-foot single-family residences on two vacant lots at 3516 and 3526 Folsom Street. (District 9) (Appellant: Ryan J. Patterson, on behalf of the Bernal Heights South Slope Organization, Bernal Safe & Liveable, Neighbors Against the Upper Folsom Street Extension, Marcus Ryu, and Ann Lockett) (Filed June 3, 2016).

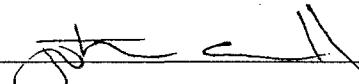
I, John Carroll, an employee of the City and County of San Francisco, mailed the above described document(s) by depositing the sealed items with the United States Postal Service (USPS) with the postage fully prepaid as follows:

Date: July 5, 2016

Time: 11 a.m.

USPS Location: Repro Pick-up Box in the Clerk of the Board's Office (Rm 244)

Mailbox/Mailslot Pick-Up Times (if applicable): N/A

Signature: 

Instructions: Upon completion, original must be filed in the above referenced file.

Carroll, John (BOS)

From: SF Docs (LIB)
nt: Tuesday, July 05, 2016 3:18 PM
To: BOS Legislation, (BOS)
Subject: Re: Hearing Notice - Categorical Exemption from Environmental Review Appeal - 3516 and 3526 Folsom Street - July 19, 2016

Categories: 160676

Hi,

Documents have been received/posted by the San Francisco Public Library.

Thanks,

Frank Vaughn
Government Information Center

From: BOS Legislation, (BOS)
Sent: Tuesday, July 5, 2016 2:06 PM
To: SF Docs (LIB)
Cc: BOS Legislation, (BOS)
Subject: FW: Hearing Notice - Categorical Exemption from Environmental Review Appeal - 3516 and 3526 Folsom Street
July 19, 2016

Good afternoon,

Could you please post the below-linked hearing notices for public viewing at the library?

Regards,

John Carroll
Legislative Clerk
Board of Supervisors
San Francisco City Hall, Room 244
San Francisco, CA 94102
(415)554-4445 - Direct | (415)554-5163 - Fax
john.carroll@sfgov.org | bos.legislation@sfgov.org

 Click [here](#) to complete a Board of Supervisors Customer Service Satisfaction form.

The [Legislative Research Center](#) provides 24-hour access to Board of Supervisors legislation and archived matters since August 1998.

Disclosures: Personal information that is provided in communications to the Board of Supervisors is subject to disclosure under the California Public Records Act and the San Francisco Sunshine Ordinance. Personal information provided will not be redacted. Members of the public are not required to provide personal identifying information when they communicate with the Board of Supervisors and its committees. All written or oral communications that members of the public submit to the Clerk's Office regarding pending legislation or hearings will be made available to all members of the public for inspection and copying. The Clerk's Office does not redact any information from these submissions. This means that personal information—including names, phone numbers, addresses and similar information that a member of the public elects to submit to the Board and its committees—may appear on the Board of Supervisors website or in other public documents that members of the public may inspect or copy.

Carroll, John (BOS)

From: BOS Legislation, (BOS)
Sent: Tuesday, July 05, 2016 2:07 PM
To: SF Docs (LIB)
Cc: BOS Legislation, (BOS)
Subject: FW: Hearing Notice - Categorical Exemption from Environmental Review Appeal - 3516 and 3526 Folsom Street - July 19, 2016

Categories: 160676

Good afternoon,

Could you please post the below-linked hearing notices for public viewing at the library?

Regards,

John Carroll
Legislative Clerk
Board of Supervisors
San Francisco City Hall, Room 244
San Francisco, CA 94102
(415)554-4445 - Direct | (415)554-5163 - Fax
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From: Carroll, John (BOS)
Sent: Tuesday, July 05, 2016 1:55 PM
To: fabien@bluorange.com; ryan@zfplaw.com
Cc: Givner, Jon (CAT) <jon.givner@sfgov.org>; Stacy, Kate (CAT) <kate.stacy@sfgov.org>; Byrne, Marlena (CAT) <marlena.byrne@sfgov.org>; Sanchez, Scott (CPC) <scott.sanchez@sfgov.org>; Jones, Sarah (CPC) <sarah.b.jones@sfgov.org>; Cooper, Rick (CPC) <rick.cooper@sfgov.org>; Gibson, Lisa (CPC) <lisa.gibson@sfgov.org>; Starr, Aaron (CPC) <aaron.starr@sfgov.org>; Rodgers, AnMarie (CPC) <anmarie.rodgers@sfgov.org>; Kline, Heidi (CPC) <heidi.kline@sfgov.org>; Ionin, Jonas (CPC) <jonas.ionin@sfgov.org>; BOS-Supervisors <bos-supervisors@sfgov.org>; BOS-Legislative Aides <bos-legislative_aides@sfgov.org>; Calvillo, Angela (BOS) <angela.calvillo@sfgov.org>; Somera, Alisa (BOS) <alisa.somera@sfgov.org>; BOS Legislation, (BOS) <bos.legislation@sfgov.org>; Carroll, John (BOS) <john.carroll@sfgov.org>; Jalipa, Brent (BOS) <brent.jalipa@sfgov.org>; Lew, Lisa (BOS) <lisa.lew@sfgov.org>; Horner, Justin (CPC) <justin.horner@sfgov.org>; Range, Jessica (CPC) <jessica.range@sfgov.org>
Subject: Hearing Notice - Categorical Exemption from Environmental Review Appeal - 3516 and 3526 Folsom Street - July 19, 2016

Good afternoon,

The Office of the Clerk of the Board has scheduled an appeal hearing for Special Order on **July 19, 2016, at 3:00 p.m.**, to hear an appeal of the Categorical Exemption from Environmental Review under the California Environmental Quality Act of the proposed projects at 3516 and 3526 Folsom Street, filed by Ryan J. Patterson on behalf of the Bernal Heights South Slope Organization, Bernal Safe & Liveable, Neighbors Against the Upper Folsom Street Extension, Marcus Ryu, and Ann Lockett.

Please find the following link to the hearing notices for the matter:

July 19, 2016 - Board of Supervisors - 3516 and 3526 Folsom Street Appeal

I invite you to review the entire matter on our Legislative Research Center by following the link below.

Board of Supervisors File No. 160676

Thank you,

John Carroll
Legislative Clerk
Board of Supervisors
San Francisco City Hall, Room 244
San Francisco, CA 94102
(415)554-4445 - Direct | (415)554-5163 - Fax
john.carroll@sfgov.org | bos.legislation@sfgov.org

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Carroll, John (BOS)

From: Carroll, John (BOS)
Sent: Tuesday, July 05, 2016 1:55 PM
To: fabien@bluorange.com; ryan@zfplaw.com
Cc: Givner, Jon (CAT); Stacy, Kate (CAT); Byrne, Marlena (CAT); Sanchez, Scott (CPC); Jones, Sarah (CPC); Cooper, Rick (CPC); Gibson, Lisa (CPC); Starr, Aaron (CPC); Rodgers, AnMarie (CPC); Kline, Heidi (CPC); Ionin, Jonas (CPC); BOS-Supervisors; BOS-Legislative Aides; Calvillo, Angela (BOS); Somera, Alisa (BOS); BOS Legislation, (BOS); Carroll, John (BOS); Jalipa, Brent (BOS); Lew, Lisa (BOS); Horner, Justin (CPC); Range, Jessica (CPC)
Subject: Hearing Notice - Categorical Exemption from Environmental Review Appeal - 3516 and 3526 Folsom Street - July 19, 2016

Categories: 160676

Good afternoon,

The Office of the Clerk of the Board has scheduled an appeal hearing for Special Order on **July 19, 2016, at 3:00 p.m.**, to hear an appeal of the Categorical Exemption from Environmental Review under the California Environmental Quality Act for the proposed projects at 3516 and 3526 Folsom Street, filed by Ryan J. Patterson on behalf of the Bernal Heights South Slope Organization, Bernal Safe & Liveable, Neighbors Against the Upper Folsom Street Extension, Marcus Ryu, and Ann Lockett.

Please find the following link to the hearing notices for the matter:

[July 19, 2016 - Board of Supervisors - 3516 and 3526 Folsom Street Appeal](#)

I invite you to review the entire matter on our [Legislative Research Center](#) by following the link below.

[Board of Supervisors File No. 160676](#)

Thank you,

John Carroll
Legislative Clerk
Board of Supervisors
San Francisco City Hall, Room 244
San Francisco, CA 94102
(415)554-4445 - Direct | (415)554-5163 - Fax
john.carroll@sfgov.org | bos.legislation@sfgov.org

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BOARD of SUPERVISORS



City Hall
1 Dr. Carlton B. Goodlett Place, Room 244
San Francisco 94102-4689
Tel. No. 554-5184
Fax No. 554-5163
TDD/TTY No. 554-5227

NOTICE OF PUBLIC HEARING

BOARD OF SUPERVISORS OF THE CITY AND COUNTY OF SAN FRANCISCO

NOTICE IS HEREBY GIVEN THAT the Board of Supervisors of the City and County of San Francisco will hold a public hearing to consider the following appeal and said public hearing will be held as follows, at which time all interested parties may attend and be heard:

Date: Tuesday, July 19, 2016

Time: 3:00 p.m.

Location: Legislative Chamber, City Hall, Room 250
1 Dr. Carlton B. Goodlett, Place, San Francisco, CA

Subject: File No. 160676. Hearing of persons interested in or objecting to the determination of categorical exemption from environmental review under the California Environmental Quality Act issued by the Planning Department on March 26, 2014, for a proposed project to allow the construction of two 3,000-square-foot single-family residences on two vacant lots at 3516 and 3526 Folsom Street. (District 9) (Appellant: Ryan J. Patterson, on behalf of the Bernal Heights South Slope Organization, Bernal Safe & Liveable, Neighbors Against the Upper Folsom Street Extension, Marcus Ryu, and Ann Lockett) (Filed June 3, 2016).

In accordance with Administrative Code, Section 67.7-1, persons who are unable to attend the hearing on this matter may submit written comments prior to the time the hearing begins. These comments will be made as part of the official public record in this matter and shall be brought to the attention of the Board of Supervisors. Written comments should be addressed to Angela Calvillo, Clerk of the Board, City Hall, 1 Dr. Carlton B. Goodlett Place, Room 244, San Francisco, CA, 94102. Information relating to this matter is available in the Office of the Clerk of the Board and agenda information relating to these matters will be available for public review on Friday, July 15, 2016.

Alisa Somers
for Angela Calvillo
Clerk of the Board



NOTIFICACIÓN DE AUDIENCIA PÚBLICA

JUNTA DE SUPERVISORES DE LA CIUDAD Y CONDADO DE SAN FRANCISCO

SE NOTIFICA POR LA PRESENTE que la Junta de Supervisores de la Ciudad y Condado de San Francisco celebrará una audiencia pública para considerar la siguiente apelación y dicha audiencia pública se celebrará de la siguiente manera, en tal momento que todas las personas interesadas podrán asistir y ser escuchadas:

Fecha: Martes, 19 de julio de 2016

Hora: 3:00 p.m.

Lugar: Cámara Legislativa, Sala 250 del Ayuntamiento
1 Dr. Carlton B. Goodlett Place, San Francisco, CA

Asunto: Expediente Núm. 160676. Audiencia para personas interesadas en o que se oponen a la determinación de exención categórica de una revisión ambiental según la Ley de Calidad Medioambiental de California, emitida por el Departamento de Planificación el 26 de marzo de 2016, para un proyecto propuesto que permite la construcción de dos viviendas-unifamiliares-de-3,000-pies-cuadrados sobre dos terrenos baldíos situados en 3516 y 3526 de la Calle Folsom. (Distrito 9) (Apelante: Ryan J. Patterson, en nombre de Bernal Heights South Slope Organization, Bernal Safe & Liveable, Neighbors Against the Upper Folsom Street Extension, Marcus Ryu y Ann Lockett) (Presentado el 3 de junio de 2016).

Angela Calvillo
Angela Calvillo,
Secretaria de la Junta

FECHADO/ENVIADO/PUBLICADO: 5 de julio de 2016



City Hall
1 Dr. Carlton B. Goodlett Place, Room 244
San Francisco 94102-4689
Tel. No 554-5184
Fax No. 554-5163
TTD/TTY No. 5545227

公聽會通知

三藩市市及縣市參事委員會

日期: 2016年7月19日星期二

時間: 下午3時

地點: 市政廳, 立法會議廳250室, 1 Dr. Carlton B. Goodlett Place, San Francisco, CA 94102

議題: 檔案號碼 160676。聆訊感興趣或反對人士對鑑於一項准許在兩個閒置地(分別位於Folsom街3516號和3526號)上建造兩棟面積為3,000平方英尺的單一家庭獨立住宅的擬議工程而所作出有關環境審核的類別(性)豁免(categorical exemption)的決定的意見,此項決定是依據「加州環境質量法」(California Environmental Quality Act),由規劃局於2014年3月26日頒佈的。(第9選區)(上訴人Ryan J. Patterson, 代表Bernal Heights South Slope組織、Bernal Safe & Liveable、反對Folsom街上區擴展的鄰里、Marcus Ryu以及Ann Lockett)(於2016年6月3日已提交)。

Olisa Bemer
for Angela Calvillo
市參事委員會書記

日期/郵寄/張貼: July 5, 2016

BOARD of SUPERVISORS



City Hall

1 Dr. Carlton B. Goodlett Place, Room 244
San Francisco 94102-4689
Tel. No. 554-5184
Fax No. 554-5163
TDD/TTY No. 544-5227

June 10, 2016

File No. 160676
Planning Case No. 2013.1383E

Received from the Board of Supervisors Clerk's Office one check, in the amount of Five Hundred Sixty Two Dollars (\$562), representing filing fee paid by Zacks, Freedman, and Patterson, for appeal of the CEQA Categorical Exemption Determination for the proposed projects at 3516 and 3526 Folsom Street.

Planning Department
By:

Tony Young
Print Name

Signature and Date

6/14/16

Carroll, John (BOS)

From: Carroll, John (BOS)
nt: Friday, June 10, 2016 5:02 PM
to: ryan@zfplaw.com
Cc: Givner, Jon (CAT); Stacy, Kate (CAT); Byrne, Marlena (CAT); Sanchez, Scott (CPC); Jones, Sarah (CPC); Cooper, Rick (CPC); Gibson, Lisa (CPC); Starr, Aaron (CPC); Rodgers, AnMarie (CPC); Kline, Heidi (CPC); Ionin, Jonas (CPC); BOS-Supervisors; BOS-Legislative Aides; Calvillo, Angela (BOS); Somera, Alisa (BOS); BOS Legislation, (BOS); Carroll, John (BOS); Jalipa, Brent (BOS); Lew, Lisa (BOS)
Subject: CEQA Categorical Exemption Appeal - 3516 and 3526 Folsom Street - Appeal Hearing on July 19, 2016

Good afternoon,

The Office of the Clerk of the Board has scheduled a hearing for Special Order before the Board of Supervisors on **July 19, 2016, at 3:00 p.m.** Please find linked below a letter of appeal filed for the proposed project at 3516 and 3526 Folsom Street and an informational letter from the Clerk of the Board.

[Appeal Letter - June 3, 2016](#)

[Clerk of the Board Letter - June 10, 2016](#)

I invite you to review the entire matter on our [Legislative Research Center](#) by following the link below:

[Board of Supervisors File No. 160676](#)

ank you,

John Carroll
Legislative Clerk
Board of Supervisors
San Francisco City Hall, Room 244
San Francisco, CA 94102
(415)554-4445 - Direct | (415)554-5163 - Fax
john.carroll@sfgov.org | bos.legislation@sfgov.org



Click [here](#) to complete a Board of Supervisors Customer Service Satisfaction form.

The [Legislative Research Center](#) provides 24-hour access to Board of Supervisors legislation and archived matters since August 1998.

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BOARD of SUPERVISORS



City Hall
1 Dr. Carlton B. Goodlett Place, Room 244
San Francisco 94102-4689
Tel. No. 554-5184
Fax No. 554-5163
TDD/TTY No. 544-5227

June 10, 2016

Ryan J. Patterson
Zacks, Freedman & Patterson
235 Montgomery Street, Suite 400
San Francisco, CA 94104

**Subject: Appeal of California Environmental Quality Act (CEQA) Determination
of Categorical Exemption from Environmental Review - 3516-3526
Folsom Street**

Dear Mr. Patterson:

The Office of the Clerk of the Board is in receipt of a memorandum dated June 8, 2016, from the Planning Department regarding their determination on the timely filing of your appeal of the CEQA determination of categorical exemption from environmental review for the proposed projects at 3516-3526 Folsom Street.

The Planning Department has determined that the appeal was filed in a timely manner.

The appeal filing period closed on Monday, June 6, 2016. Pursuant to Administrative Code, Section 31.16, a hearing date has been scheduled for **Tuesday, July 19, 2016, at 3:00 p.m.**, at the Board of Supervisors meeting to be held in City Hall, 1 Dr. Carlton B. Goodlett Place, Legislative Chamber, Room 250, San Francisco, CA 94102.

Continues on next page

Please provide to the Clerk's Office by noon:

20 days prior to the hearing: names and addresses of interested parties to be notified of the hearing, in spreadsheet format; and

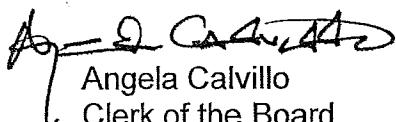
11 days prior to the hearing: any documentation which you may want available to the Board members prior to the hearing.

For the above, the Clerk's office requests one electronic file (sent to bos.legislation@sfgov.org) and two copies of the documentation for distribution.

NOTE: If electronic versions of the documentation are not available, please submit 18 hard copies of the materials to the Clerk's Office for distribution. If you are unable to make the deadlines prescribed above, it is your responsibility to ensure that all parties receive copies of the materials.

If you have any questions, please feel free to contact John Carroll, Legislative Clerk, at (415) 554-4445.

Very truly yours,



Angela Calvillo
Clerk of the Board

c: Fabian Lannoye, Bluorange Designs, Project Sponsor
Jon Givner, Deputy City Attorney
Kate Stacy, Deputy City Attorney
Marlena Byrne, Deputy City Attorney
John Rahaim, Planning Director
Scott Sanchez, Zoning Administrator, Planning Department
Sarah Jones, Planning Department
Aaron Starr, Planning Department
AnMarie Rodgers, Planning Department
Heidi Kline, Planning Department
Jonas Ionin, Planning Commission Secretary

Carroll, John (BOS)

From: Jones, Sarah (CPC)
Sent: Wednesday, June 08, 2016 11:43 AM
To: BOS Legislation, (BOS); Rahaim, John (CPC)
Cc: Givner, Jon (CAT); Stacy, Kate (CAT); Byrne, Marlena (CAT); Sanchez, Scott (CPC); Rodgers, AnMarie (CPC); Starr, Aaron (CPC); Kline, Heidi (CPC); Ionin, Jonas (CPC); BOS-Supervisors; BOS-Legislative Aides; Calvillo, Angela (BOS); Somera, Alisa (BOS); Horner, Justin (CPC); Range, Jessica (CPC)
Subject: RE: Appeal of CEQA Categorical Exemption Determination - Proposed 3516-3526 Folsom Street - Timeliness Determination Request
Attachments: 3516-3526 Folsom timeliness determination.pdf

Please see attached determination that the appeal was timely filed.

From: BOS Legislation, (BOS)
Sent: Tuesday, June 07, 2016 9:39 AM
To: Rahaim, John (CPC)
Cc: Givner, Jon (CAT); Stacy, Kate (CAT); Byrne, Marlena (CAT); Sanchez, Scott (CPC); Jones, Sarah (CPC); Rodgers, AnMarie (CPC); Starr, Aaron (CPC); Kline, Heidi (CPC); Ionin, Jonas (CPC); BOS-Supervisors; BOS-Legislative Aides; Calvillo, Angela (BOS); Somera, Alisa (BOS); BOS Legislation, (BOS)
Subject: Appeal of CEQA Categorical Exemption Determination - Proposed 3516-3526 Folsom Street - Timeliness Determination Request

Good morning Director Rahaim,

The Office of the Clerk of the Board is in receipt of an Appeal of the CEQA Determination of Categorical Exemption from Environmental Review for the proposed 3516-3526 Folsom Street project. The appeal was filed on June 3, 2016, by Zacks, Freedman, and Patterson, on behalf of Bernal Heights South Slope Organization, Bernal Safe & Livable, Neighbors Against the Upper Folsom Street Extension, Marcus Ryu, and Ann Lockett.

Please review for timely filing determination.

Thank you in advance,

Brent Jalipa

Board of Supervisors - Clerk's Office
1 Dr. Carlton B. Goodlett Place, Room 244
San Francisco, CA 94102
(415) 554-7712 | Fax: (415) 554-5163
brent.jalipa@sfgov.org | www.sfbos.org

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SAN FRANCISCO PLANNING DEPARTMENT

MEMO

DATE: June 8, 2016

1650 Mission St.
Suite 400
San Francisco,
CA 94103-2479

TO: Angela Calvillo, Clerk of the Board of Supervisors

Reception:
415.558.6378

FROM: Sarah B. Jones, Environmental Review Officer

Fax:
415.558.6409

RE: Appeal timeliness determination – 3516 and 3526 Folsom Street,
Planning Department Case No. 2013.1383E

Planning
Information:
415.558.6377

An appeal of the categorical exemption for the proposed project at 3516 and 3526 Folsom Street (Planning Department Case No. 2013.1383E) was filed with the Office of the Clerk of the Board on June 3, 2016 by Zacks, Freedman, and Patterson, on behalf of Bernal Heights South Slope Organization, Bernal Safe & Livable, Neighbors Against the Upper Folsom Street Extension, Marcus Ryu, and Ann Lockett.

Timeline: The Categorical Exemption was issued on March 26, 2014. The exemption identified the Approval Action for the project as the Discretionary Review Hearing by the Planning Commission, as provided for in Planning Code Section 311, which occurred on May 5, 2016 (Date of the Approval Action).

Timeliness Determination: Section 31.16(a) and (e) of the San Francisco Administrative Code states that any person or entity may appeal an exemption determination to the Board of Supervisors during the time period beginning with the date of the exemption determination and ending 30 days after the Date of the Approval Action.

The appeal of the exemption determination was filed on June 3, 2016, which is within the time frame specified above. Therefore the appeal is considered timely.

Section 31.16(b)(4) of the San Francisco Administrative Code states that the Clerk of the Board shall schedule the appeal hearing no less than 21 days and no more than 45 days following expiration of the specified time period for filing of the appeal.

BOARD of SUPERVISORS



City Hall

1 Dr. Carlton B. Goodlett Place, Room 244
San Francisco 94102-4689
Tel. No. 554-5184
Fax No. 554-5163
TDD/TTY No. 544-5227

June 6, 2016

To: John Rahaim
Planning Director

From:  Angela Calvillo
Clerk of the Board of Supervisors

Subject: **Appeal of California Environmental Quality Act (CEQA) Determination of Categorical Exemption from Environmental Review - 3516-3526 Folsom Street**

An appeal of the CEQA Determination of Categorical Exemption from Environmental Review for the proposed project at 3516 and 3526 Folsom Street, was filed with the Office of the Clerk of the Board on June 4, 2016, by Zacks, Freedman, and Patterson, on behalf of Bernal Heights South Slope Organization, Bernal Safe & Livable, Neighbors Against the Upper Folsom Street Extension, Marcus Ryu, and Ann Lockett.

Pursuant to Administrative Code, Chapter 31.16, I am forwarding this appeal, with attached documents, to the Planning Department to determine if the appeal has been filed in a timely manner. The Planning Department's determination should be made within three (3) working days of receipt of this request.

If you have any questions, please feel free to contact John Carroll, Legislative Clerk, at (415) 554-4445.

c: Jon Givner, Deputy City Attorney
Kate Stacy, Deputy City Attorney
Marlena Byrne, Deputy City Attorney
Scott Sanchez, Zoning Administrator, Planning Department
Sarah Jones, Environmental Review Officer, Planning Department
AnMarie Rodgers, Planning Department
Aaron Starr, Planning Department
Heidi Kline, Planning Department
Jonas Ionin, Planning Department

Introduction Form

By a Member of the Board of Supervisors or the Mayor

Time stamp
or meeting date

I hereby submit the following item for introduction (select only one):

- 1. For reference to Committee. (An Ordinance, Resolution, Motion, or Charter Amendment)
- 2. Request for next printed agenda Without Reference to Committee.
- 3. Request for hearing on a subject matter at Committee.
- 4. Request for letter beginning "Supervisor" inquires"
- 5. City Attorney request.
- 6. Call File No. from Committee.
- 7. Budget Analyst request (attach written motion).
- 8. Substitute Legislation File No.
- 9. Reactivate File No.
- 10. Question(s) submitted for Mayoral Appearance before the BOS on

Please check the appropriate boxes. The proposed legislation should be forwarded to the following:

- Small Business Commission
- Youth Commission
- Ethics Commission
- Planning Commission
- Building Inspection Commission

Note: For the Imperative Agenda (a resolution not on the printed agenda), use a Imperative Form.

Sponsor(s):

Clerk of the Board

Subject:

Public Hearing - Appeal of Categorical Exemption from Environmental Review - 3516 and 3526 Folsom Street

The text is listed below or attached:

Hearing of persons interested in or objecting to the determination of categorical exemption from environmental review under the California Environmental Quality Act issued by the Planning Department on March 26, 2014, for a proposed project to allow the construction of two 3,000-square-foot single-family residences on two vacant lots at 3516 and 3526 Folsom Street. (District 9) (Appellant: Ryan J. Patterson, on behalf of the Bernal Heights South Slope Organization, Bernal Safe & Liveable, Neighbors Against the Upper Folsom Street Extension, Marcus Ryu, and Ann Lockett) (Filed 6/3/2016).

Signature of Sponsoring Supervisor:

Alisa Someich

for

For Clerk's Use Only:

160676

