

BOARD of SUPERVISORS



City Hall  
Dr. Carlton B. Goodlett Place, Room 244  
San Francisco 94102-4689  
Tel. No. 554-5184  
Fax No. 554-5163  
TDD/TTY No. 554-5227

## MEMORANDUM

### LAND USE AND ECONOMIC DEVELOPMENT COMMITTEE SAN FRANCISCO BOARD OF SUPERVISORS

TO: Supervisor Scott Wiener, Chair  
Land Use and Economic Development Committee

FROM: Alisa Miller, Committee Clerk

DATE: July 29, 2013

SUBJECT: **COMMITTEE REPORT, BOARD MEETING**  
Tuesday, July 30, 2013

The following file should be presented as a **COMMITTEE REPORT** at the Board meeting, Tuesday, July 30, 2013. This item was acted upon at the Committee Meeting on July 29, 2013, at 1:30 p.m., by the votes indicated.

**Item No. 63            File No. 130756**

Resolution granting revocable permission to the Chinese Hospital to occupy a portion of the public right-of-way to construct, install, and maintain the following infrastructure improvements: one 5,000 gallon fuel oil storage tank and four Pacific Gas & Electric Company transformer vaults at the Jackson Street frontage, a new 10" sewer line, under the sidewalk and parallel to the property line, two 6,000 gallon sewer holding tanks, one new rain water storage tank, and two pump station vaults at the James Place frontage, for hospital operations at 835 Jackson Street (Assessor's Block No. 0192, Lot No. 041), conditioned upon the payment of an annual assessment fee of \$1,913; and making environmental findings, findings of consistency with the General Plan, and the priority policies of Planning Code, Section 101.1.

AMENDED, Bearing a New Title  
RECOMMENDED AS AMENDED AS A COMMITTEE REPORT  
Vote: Supervisor Scott Wiener - Aye  
Supervisor Jane Kim - Excused  
Supervisor David Chiu - Aye

c: Board of Supervisors  
Angela Calvillo, Clerk of the Board  
Rick Caldeira, Deputy Legislative Clerk  
Jon Givner, Deputy City Attorney

File No. 130756

Committee Item No. 1

Board Item No. 63

# COMMITTEE/BOARD OF SUPERVISORS

## AGENDA PACKET CONTENTS LIST

Committee: Land Use and Economic Development Date July 29, 2013

Board of Supervisors Meeting Date July 30, 2013

### Cmte Board

- |                                     |                                     |  |
|-------------------------------------|-------------------------------------|--|
| <input type="checkbox"/>            | <input type="checkbox"/>            | Motion                                       |
| <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | Resolution                                   |
| <input type="checkbox"/>            | <input type="checkbox"/>            | Ordinance                                    |
| <input type="checkbox"/>            | <input type="checkbox"/>            | Legislative Digest                           |
| <input type="checkbox"/>            | <input type="checkbox"/>            | Budget and Legislative Analyst Report        |
| <input type="checkbox"/>            | <input type="checkbox"/>            | Youth Commission Report                      |
| <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | Introduction Form                            |
| <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | Department/Agency Cover Letter and/or Report |
| <input type="checkbox"/>            | <input type="checkbox"/>            | MOU  |
| <input type="checkbox"/>            | <input type="checkbox"/>            | Grant Information Form                       |
| <input type="checkbox"/>            | <input type="checkbox"/>            | Grant Budget                                 |
| <input type="checkbox"/>            | <input type="checkbox"/>            | Subcontract Budget                           |
| <input type="checkbox"/>            | <input type="checkbox"/>            | Contract/Agreement                           |
| <input type="checkbox"/>            | <input type="checkbox"/>            | Form 126 – Ethics Commission                 |
| <input type="checkbox"/>            | <input type="checkbox"/>            | Award Letter                                 |
| <input type="checkbox"/>            | <input type="checkbox"/>            | Application                                  |
| <input type="checkbox"/>            | <input type="checkbox"/>            | Public Correspondence                        |

### OTHER (Use back side if additional space is needed)

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|-------------------------------------|-------------------------------------|------------------------------------|
| <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | Street Encroachment Agreement      |
| <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | DPW Order No. 181388               |
| <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | TASC Recommendation, dtd 12/31/12  |
| <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | General Plan Referral, dtd 1/30/13 |
| <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | General Plan Referral Application  |
| <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | Chinese Hospital Plans             |
| <input type="checkbox"/>            | <input type="checkbox"/>            |                                    |
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Completed by: Alisa Miller Date July 26, 2013

Completed by: Alisa Miller Date July 29, 2013

1 [Street Encroachment - Chinese Hospital - 835 Jackson Street]

2  
3 **Resolution granting revocable permission to the Chinese Hospital to occupy a portion of**  
4 **the public right-of-way to construct, install, and maintain the following infrastructure**  
5 **improvements: one 5,000 gallon fuel oil storage tank and four PG&E transformer vaults**  
6 **at the Jackson Street frontage, a new 10" sewer line, under the sidewalk and parallel to**  
7 **the property line, two 6,000 gallon sewer holding tanks, one new rain water storage tank,**  
8 **and two pump station vaults at the James Place frontage, for hospital operations at 835**  
9 **Jackson Street (Assessor's Block No. 0192, Lot No. 041), conditioned upon the payment**  
10 **of an annual assessment fee of \$1,913.00; and making environmental findings, findings**  
11 **of consistency with the General Plan and the priority policies of Planning Code, Section**  
12 **101.1.**

13  
14 WHEREAS, Pursuant to Public Works Code Section 786, permission was requested by  
15 KCA Engineers, authorized agents for the owner, Chinese Hospital, to occupy a portion of the  
16 public right-of-way to construct, install one (1) 5,000 gallon fuel oil storage tank and four (4)  
17 PG&E transformer vaults at the Jackson Street frontage; a new 10" sewer line under the  
18 sidewalk and parallel to the property line, two (2) 6,000 gallon sewer holding tanks, one (1) rain  
19 water storage tank, and two (2) pump station vaults at the James Place frontage, as shown on  
20 the plans, a copy of which is on file in the office of the Clerk of the Board of Supervisors in File  
21 No. 130756; and

22 WHEREAS, The Planning Department, by letter dated January 30, 2013, declared that  
23 the proposed encroachments are in conformity with the General Plan and to the priority policies  
24 of Planning Code Section 101.1. A copy of said letter is on file with the Clerk of the Board of  
25 Supervisors in File No. 130756, and is incorporated herein by reference; and

1 WHEREAS, San Francisco Municipal Transportation Agency (SFMTA), in the minutes of  
2 the Transportation Advisory Staff Committee (TASC) dated December 31, 2012 recommended  
3 conditional approval of the encroachments; provided that during construction, the contractor  
4 provides temporary traffic control; and

5 WHEREAS, Following a duly noticed public hearing on May 29, 2013, the  
6 Department of Public Works recommended approval of the proposed encroachment via DPW  
7 Order Number 181,388, approved June 18, 2013; a copy of which is on file in the office of the  
8 Clerk of the Board of Supervisors in File No. 130756; and

9 WHEREAS, Notwithstanding the determination set forth above, it is the decision of the  
10 Board of Supervisors that the proposed encroachment is in the best interest of the general  
11 public, is desirable and convenient with the owner's use and enjoyment of its property, and is  
12 appropriate use of the public right-of-way; and

13 WHEREAS, The permit and associated encroachment agreement, which are  
14 incorporated herein by reference and attached hereto as Exhibit A, shall not become effective  
15 until:

16 (a) The Permittee executes and acknowledges the permit and delivers said permit to the  
17 City's Controller;

18 (b) Permittee delivers to the City Controller a policy of insurance provided for in said  
19 agreement and the Controller shall have had approved the same as complying with the  
20 requirement of said agreement. The Controller may, in his discretion, accept, in lieu of said  
21 insurance policy, the certificate of an insurance company certifying to the existence of such a  
22 policy; and

23 (c) The City Controller records the permit and associated agreement in the office of the  
24 County Recorder; and

25 WHEREAS, The Permittee, at the Permittee's sole expense and as is necessary as a

1 result of this permit, shall make the following arrangements:

2 (a) To provide for the support and protection of facilities belonging to the Department of  
3 Public Works, San Francisco Public Utilities Commission, the San Francisco Fire Department  
4 and other City Departments, and public utility companies; and

5 (b) To remove or relocate such facilities and provide access to such facilities for the  
6 purpose of constructing, reconstructing, maintaining, operating, or repairing such facilities; and

7 WHEREAS, The Permittee shall procure the necessary permits from Bureau of Street-  
8 Use and Mapping, Department of Public Works, and pay the necessary permit fees and  
9 inspection fees before starting work; and

10 WHEREAS, The Board of Supervisors shall implement an annual assessment fee of  
11 \$1,913.00 for the use of said rights-of-way, which shall be increased at the beginning of each  
12 fiscal year based upon the Consumer Price Index quotient, and shall be re-evaluated by DPW  
13 every five (5) years; and

14 WHEREAS, No structures shall be erected or constructed within said street right-of-way  
15 except as specifically permitted herein; and

16 WHEREAS, The Permittee shall assume all costs for the maintenance and repair of the  
17 encroachments and no cost or obligation of any kind shall accrue to the City and County of San  
18 Francisco by reason of this permission granted; now, therefore, be it

19 RESOLVED, That pursuant to Public Works Code Section 786, the Board of Supervisors  
20 hereby grants permission, revocable at the will of the Director of the Department of Public  
21 Works, to Chinese Hospital, to occupy portions of the public rights-of-way to construct, install  
22 and maintain one (1) 5,000 gallon fuel oil storage tank and four (4) PG&E transformer vaults at  
23 the Jackson Street frontage, a new 10" sewer line under the sidewalk and parallel to the  
24 property line, two (2) 6,000 gallon sewer holding tanks, one (1) rain water storage tank, and two  
25 (2) pump station vaults at the James Place frontage, for hospital operations at 835 Jackson

1 Street (Block 0192, Lots 041), conditioned upon the payment of an annual assessment fee of  
2 \$1913.00 and other conditions set forth herein; and, be it

3 FURTHER RESOLVED, That this Board finds the permit to be consistent with the  
4 General Plan and priority policies of Planning Code Section 101.1. for the reasons set forth in  
5 the City Planning Department letter.

6 APPROVED:  
7

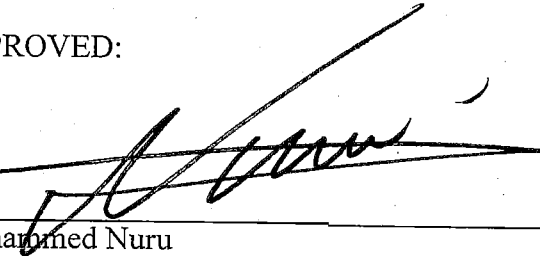
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10 \_\_\_\_\_  
11 Mohammed Nuru

12 Director of Public Works  
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1 Street (Block 0192, Lots 041), conditioned upon the payment of an annual assessment fee of  
2 \$1913.00 and other conditions set forth herein; and, be it

3 FURTHER RESOLVED, That this Board finds the permit to be consistent with the  
4 General Plan and priority policies of Planning Code Section 101.1. for the reasons set forth in  
5 the City Planning Department letter.

6 APPROVED:

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8   
9

10 Mohammod Nuru

11 Director of Public Works



Edwin M. Lee, Mayor  
Mohammed Nuru, Director



July 15, 2013

Clerk, Board of Supervisors  
City Hall, Room 244  
San Francisco, CA 94102-4689

Dear Clerk of the Board:

Attached please find an original, two copies, and one electronic copy of a proposed resolution for Board of Supervisors consideration. This resolution would grant revocable permission to COO Chinese Hospital to occupy the public rights-of-way to construct, install, and maintain the following infrastructure improvements: One (1) 5,000 gallon fuel oil storage tank and four (4) PG&E transformer vaults at the Jackson Street frontage; a new 10" sewer line, under the sidewalk and parallel to the property line, two (2) 6,000 gallon sewer holding tanks, one (1) new rain water storage tank, with its location to be determined by PUC, and two (2) pump station vaults at the James Place frontage. The resolution would also make findings of consistency with the priority policies of Planning Code Section 101.1.

Pursuant to Section 786 of the Public Works Code, COO Chinese Hospital, the Permittee, requested a Major Encroachment Permit in a letter dated October 4, 2012. The Transportation Advisory Staff Committee (TASC) heard this request on December 31, 2012 and recommended it for approval. The Planning Department, by letter dated January 30, 2013, found the infrastructure improvements to be in conformity with the General Plan and with the priority policies of Planning Code Section 101.1.

The following is a list of accompanying documents (five sets):

- Letter from Applicant, COO Chinese Hospital, dated December 31, 2012.
- Letter from the Planning Department dated January 30, 2013.
- DPW Order No. 181388, approved June 18, 2013, recommending the approval of the proposed Major Encroachment.
- Proposed plans for the Major Encroachment Permit.
- Signed and Notarized Street Encroachment Agreement.





The following person may be contacted regarding this matter: Mr. Rassendyll Dennis of BSM at (415) 554-4683.

Sincerely,

A handwritten signature in black ink, appearing to read 'Mohammed Nuru', written over a horizontal line.

Mohammed Nuru  
Director of Public Works

Attachments: As Noted





RECEIVED  
 BOARD OF SUPERVISORS  
 SAN FRANCISCO

2013 JUL 17 PM 2:04

Edwin M. Lee, Mayor  
 Mohammed Nuru, Director



Jerry Sanguinetti, Bureau Manager

## MAJOR ENCROACHMENT RESOLUTION ROUTING SHEET

Everyone involved in the processing of this Major Encroachment Resolution is requested to complete this form so that the Department has a written record of the steps taken. Please notify the sender (see below) of any delays or questions.

### PERMIT INFORMATION

Permit No. 12Me-0008	Date Sent: 7/15/2013	Date Due at BOS
Block/Lot 0192/041	Project Address: 835 Jackson Street	

### SENDER

Name: RASSENDYLL DENNIS	Telephone: 554-4683
Address: 1155 Market Street, 3 <sup>rd</sup> Floor	Email: RASSENDYLL.DENNIS@SFPDW.ORG

### ROUTE

Date Received	To	Date Forwarded or Signed
7/16/13	Frank W. Lee Executive Assistant To Director City Hall, Room 348	
7/17/13	Mohammed Nuru Director of Public Works City Hall, Room 348	
	Clerk of Board of Supervisors (BOS) City Hall, Room 244 (Submit a copy of this sheet with packet.)	
	When the legislation packet is submitted to BOS, please return this original routing sheet to sender.	



130750



**CITY AND COUNTY OF SAN FRANCISCO  
DEPARTMENT OF PUBLIC WORKS  
STREET ENCROACHMENT AGREEMENT**

**WITNESSETH**

In consideration of the adoption by the Board of Supervisors of the City and County of San Francisco of Resolution No. 181159 at its meeting of DPW a true copy of which is attached hereto marked Exhibit A, and by this reference incorporated herein, and subject to all the terms, conditions and restrictions of this Agreement, also by reference incorporated herein, Permittee agrees that in accordance with this agreement and Exhibit A:

1. The permitted encroachment shall constitute a revocable license, shall be personal to Permittee and shall not be assignable or transferable by Permittee, whether separate from or together with any interest of Permittee.

Upon revocation the undersigned permittee, subsequent owners, or their heirs and assignees will within 30 days remove or cause to be removed the encroachment and all materials used in connections with its construction, without expense to the City and County of San Francisco, and shall restore the area to a condition satisfactory to the Department of Public Works.

2. The occupancy, construction and maintenance of the encroachment shall be in the location and as specified by the plans submitted, revises, approved and filed in the Department of Public Works. The permittee, by acceptance of this permit, acknowledges its responsibility to comply with all requirements of the occupancy, construction and maintenance of the encroachment as specified in Public Works Code Section 786 and with the sidewalk maintenance requirements specified in Public Works Code Section 706.
3. The permittee shall verify the locations of City and public service utility company facilities that may be affected by the work authorized by this permit and shall assume all responsibility for any damage to such facilities due to the work. The permittee shall make satisfactory arrangements and payments for any necessary temporary relocation of City and public utility company facilities.
4. In consideration of this Permit being issued for the work described in the application, Permittee on its behalf and that of any successor or assign, and on behalf of any lessee, promises and agrees to perform all the terms of this Permit and to comply with all applicable laws, ordinances and regulations.

Permittee agrees on its behalf and that of any successor or assign to hold harmless, defend, and indemnify the City and County of San Francisco, including, without limitation, each of its commissions, departments, officers, agents and employees (hereinafter collectively referred to as the "City") from and against any and all losses, liabilities, expenses, claims, demands, injuries, damages, fines, penalties, costs or judgments including, without limitation, attorneys' fees and costs (collectively, "claims") of any kind allegedly arising directly or indirectly from (i) any act by, omission by, or negligence of, Permittee or its subcontractors, or the offices, agents or employees of either, while engaged in the performance of the work authorized by this Permit, or while in or about the property subject to this Permit for any reason connected in any way whatsoever with the performance of the work authorized by this Permit, or allegedly resulting directly or indirectly from the maintenance or installation of any equipment, facilities or structures authorized under this Permit, (ii) any accident or injury to any contractor or subcontractor, or any officer, agent, or employee of either of them, while engaged in the performance of the work authorized by this Permit, or while in or about the property, for any reason connected with the performance of the work authorized by this Permit, or arising from liens or claims for services rendered or labor or materials furnished in or for the performance of the work authorized by this Permit, (iii) injuries or damages to real or personal property, good will, and persons in, upon or in any way allegedly connected with the work authorized by this Permit from any cause or claims arising at any time, and potentially falls within this indemnity provision, even if the allegations are or may be groundless, false or fraudulent, which obligations arises at the time such claim is tendered to Permittee by the City and continues at all times thereafter. Permittee agrees that the indemnification obligations assumed under this Permit shall survive expiration of the Permit or completion of work.

Permittee shall obtain and maintain through the terms of this Permit insurance as the City deems necessary to protect the City against claims for damages for personal injury, accidental death and property damage allegedly arising from any work done under this Permit. Such insurance shall in no way limit Permittee's indemnity hereunder. Certificates of insurance, in form and with insurers satisfactory to the City, evidencing all coverages above shall be furnished to the City before commencing any operations under this Permit, with complete copies of policies furnished promptly upon City request.

5. Permittee will, at its own expense, maintain in full force and effect an insurance policy or policies issued by insurers with ratings comparable to A-VIII, or higher that are authorized to do business in the State of California, and that are satisfactory to the City. Approval of the insurance by City shall not relieve or decrease Permittee's liability hereunder.

Permittee must maintain in force, during the full term of the Agreement, insurance in the following amounts and coverages. Workers' Compensation, in statutory amounts, with Employer's Liability limits not less than \$1,000,000 each accident, injury, or illness; and Commercial General Liability Insurance with Limits not less than \$1,000,000 each occurrence and \$2,000,00 in the aggregate for bodily injury and property damage, including contractual liability, personal injury, products and completed operations; and Commercial Automobile Liability insurance with limits not less than \$1,000,000 each occurrence combined single limit or bodily injury and

property damage, including owned, non-owned and hired auto coverage as applicable. Said policies shall include the City and County of San Francisco and its officers and employees jointly and severally as additional insured and shall apply as primary insurance and shall stipulate that no other insurance affected by the City and County of San Francisco will be called on to contribute to a loss covered hereunder.

All policies shall be endorsed to provide thirty (30) days advance written notice to the City of reduction, nonrenewal or material changes in coverages or cancellation of coverages for any reason. Notices shall be sent to the Department of Public Works, Bureau of Street Use and Mapping, 1155 Market Street, 3<sup>rd</sup> Floor, San Francisco, CA, 94103. The permission granted by said resolution shall automatically terminate upon the termination of such insurance. Upon such termination, Permittee shall restore the right-of-way, without expense to the "Personal Injuries", as used herein, shall include wrongful death.

6. The permittee shall obtain a building permit as the Central Permit Bureau, 1660 Mission Street for the construction or alteration of any building.
7. The permittee shall contact the Street Permit Section (415) 554-5810, at least 48 hours prior to starting work to arrange an inspection schedule.
8. The permittee acknowledge its responsibility to notify any successor owners of the existence of the encroachment and the successor owner's obligation to obtain a permit from the Department of Public Works 60 days in advance of any pending sale of the permittee's adjacent property. The permittee's obligation to remove the encroachment and restore the right-of-way to a condition satisfactory to the Department of Public Works shall survive the revocation, expiration or termination of this permit or sale of permittee's adjacent property.
9. The permittee's right to use City property, as set forth in this permit is appurtenant to the property described as: Lot 041, Assessor's Block 0192

\_\_\_\_\_The provisions of the permit shall bind all subsequent purchases and owners of the described property.

Subsequent purchasers and owners shall be subject to the revocation and termination provisions set forth in this permit.

10. The permittee or subsequent owners recognize and understand that this permit may create a possessory interest subject to property taxation and that the permittee or subsequent owner or owners may be subject to the payment of such taxes.
11. The permittee or subsequent owner or owners recognize the recordation of this permit.

All of the provisions of this agreement shall be deemed provisions of said resolution. All of the provisions of said resolution shall be deemed provisions of this agreement.

In witness whereof the undersigned Permittee(s) have executed this agreement this 6 day of June, 2013.

Brenda Yee  
Chief Executive Officer, Chinese Hospital

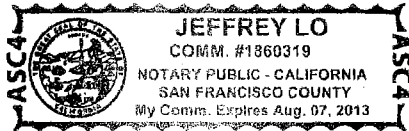
STATE OF CALIFORNIA )  
COUNTY OF San Francisco ) SS

On June 6, 2013 before me, Jeffrey Lo Notary Public in and for said County and State, personally appeared Brenda Yee personally known to me (or proven to me on the name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by this by his/her/their signature(s) on the instrument the person(s), or entity upon behalf of which the person(s) acted, executed the instrument.

WITNESS my hand and official seal

(NOTARY STAMP OR SEAL)

Jeffrey Lo  
Notary Public in and for said County and State



City and County of San Francisco



Edwin M. Lee, Mayor  
Mohammed Nuru, Director

San Francisco Department of Public Works  
Office of the Deputy Director & City Engineer, Fuad Sweiss  
Bureau of Street-Use & Mapping  
1155 Market Street, 3rd Floor  
San Francisco Ca 94103  
(415) 554-5810 ■ www.sfdpw.org



Jerry Sanguinetti, Bureau Manager

**DPW Order No: 181388**

APPROVAL OF A MAJOR (STREET) ENCROACHMENT PERMIT TO CONSTRUCT THE FOLLOWING INFRASTRUCTURE IMPROVEMENTS: ONE (1) 5,000 GALLON FUEL OIL STORAGE TANK, FOUR (4) PG&E TRANSFORMER VAULTS, SEWER LINES, TWO (2) ENMC 5,000 GALLON WATER STORAGE TANKS, A RAIN WATER STORAGE TANK, A PUMP STATION VAULT UNDER THE SIDEWALK AND OTHER PUBLIC IMPROVEMENTS FOR CHINESE HOSPITAL AT 835 JACKSON STREET (BLOCK 0192, LOT 041).

**APPLICANT:** KCA Engineers  
318 Brannan Street  
Redwood City, CA 94065  
Attention: Peter Bekey

**OWNER:** COO Chinese Hospital  
845 Jackson Street  
San Francisco, CA 94133  
Attention: Linda Schumacher

**PROPERTY DESCRIPTION:** Lot 041 in Assessor's Block 0192  
835 Jackson Street  
San Francisco, CA 94111

**DESCRIPTION OF REQUEST:** Major (Street) Encroachment Permit

**BACKGROUND:**

1. On September 12, 2012, the applicant filed a Major (Street) Encroachment application (Permit# 12ME-0008) with the Department of Public Works (DPW).
2. On December 31, 2012, the San Francisco Municipal Transportation Agency (SFMTA) meeting of the Transportation Advisory Staff Committee (TASC), considered and approved traffic control modifications related to the improvements.
3. On January 30, 2013, the Planning Commission, at their hearing, adopted findings that the project, along with the infrastructure improvements, is consistent with the objectives and policies of the General Plan.
4. On April 3, 2013, DPW scheduled and mailed a Notice for Public Hearing (DPW Order#181,159), scheduled for May 29, 2013, to all property owners within a 300-foot radius of the subject encroachments.
5. On April 30, 2013, DPW received two e-mails during the public notification period requesting general information and expressing concerns about the proposed encroachments.



San Francisco Department of Public Works  
Making San Francisco a beautiful, livable, vibrant, and sustainable city.

6. DPW Hearing Officer, Janet Ng, conducted a public hearing on May 29, 2013 and heard testimony regarding the subject encroachment from DPW staff, and recommended the Major Encroachment Permit for approval.
7. The owner's representative, project engineer attended the hearing and presented testimony in support of this project.
8. Aside from the above two e-mails, there was no additional written testimony submitted, and no additional public testimony was presented at the hearing.
9. The Hearing Officer made her recommendation after hearing the above testimony, and reviewing the application, reports, plans and other documents contained in the Department of Public Works files.

**RECOMMENDATION:** APPROVAL of the request for the Major Encroachment Permit and transmittal to the Board of Supervisors for approval based on the following findings.

**FINDING 1:** Recommendation for approval by TASC.

**FINDING 2:** Planning Department and its Commission's findings that the proposed infrastructure improvements are consistent with objectives and policies with the General Plan.

**FINDING 3:** There were no objections to the Major Encroachment Permit for the infrastructure improvements during the Public Hearing.

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Sanguinetti, Jerry  
Bureau Manager


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X Mohammed Nuru

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Nuru, Mohammed  
Director, DPW

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X 

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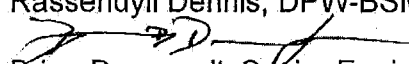
Sweiss, Fuad  
Deputy Director and City Engineer







**MEMORANDUM**

**DATE:** December 31, 2012  
**TO:** Rassendyll Dennis, DPW-BSM  
**THROUGH:**  Brian Dusseault, Senior Engineer  
**FROM:** <sup>NW</sup> Norman Wong, Associate Engineer  
**SUBJECT:** 835 Jackson Street – Major Encroachment Permit

At its meeting of October 25, 2012, TASC recommended approval for a Major Encroachment Permit for:

- 1) A new 5,000 gallon fuel oil underground storage tank on Jackson Street.
- 2) Two new 6,000 gallon sewer storage tanks on James Alley (partly on public right of way)
- 3) A pump station vault on James Alley (partly on public right of way)

Underground PG&E transformer and vault and a rainwater storage tank on James Alley are also proposed.

The Major Encroachment Permit should include this and other necessary temporary traffic control conditions required of the builder.

If you have any questions, please call me at 701-4600. Thank you.

Edwin M. Lee  
Mayor

Tom Nolan  
Chairman

Cheryl Brinkman  
Vice-Chairman

Leona Bridges  
Director

Malcolm Heinicke  
Director

Jerry Lee  
Director

Joél Ramos  
Director

Cristina Rubke  
Director

Edward D. Reiskin  
Director of  
Transportation

One South Van Ness Ave.  
Seventh Floor  
San Francisco, CA 94103

Tele: 415.701.4500

www.sfmta.com

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# SAN FRANCISCO PLANNING DEPARTMENT

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## General Plan Referral

*Date:* January 30, 2013  
*Case No.* Case No. 2008.0762R  
Chinese Hospital, Major Encroachment

*Block/Lot No.:* AB 01092/041

*Project Sponsor:* Linda Schumacher, COO Chinese Hospital  
Chinese Hospital  
845 Jackson Street  
San Francisco, CA 94133

*Referred By:* Rassendyll Dennis  
Bureau of Street Use and Mapping  
875 Stevenson Street, Room 460  
San Francisco, CA 94103

*Staff Contact:* Neil Hrushowy-- (415) 558-6471  
[neil.hrushowy@sfgov.org](mailto:neil.hrushowy@sfgov.org)

*Recommendation:* Finding the project, on balance, is in conformity with  
the General Plan

*Recommended  
By:*   
John Rahaim, Director of Planning

1650 Mission St.  
Suite 400  
San Francisco,  
CA 94103-2479

Reception:  
**415.558.6378**

Fax:  
**415.558.6409**

Planning  
Information:  
**415.558.6377**

### PROJECT DESCRIPTION

We are in receipt of your letter dated October 30, 2012, as revised on January 30, 2013, requesting that the Planning Department consider a General Plan Referral application concerning the installation of a fuel oil storage tank; four PG&E transformer vaults; sewer lines; two water storage tanks; a rain water storage tank; and, a pump station vault, pursuant to Section 4.105 of the Charter and Section 2A.53 of the Administrative Code. The proposed project calls for the City to grant a major encroachment permit for under the sidewalk of Jackson Street and the portion of James Alley owned by the City and County of San Francisco.

## ENVIRONMENTAL REVIEW

The proposed project received CEQA clearance under Case No. 2008.0762E, Chinese Hospital Replacement Project Initial Study, finalized on 05/16/11.

## GENERAL PLAN COMPLIANCE AND BASIS FOR RECOMMENDATION

The Project is consistent with the following relevant objectives and policies of the General Plan. The Objectives and Policies are shown in **bold font**, policy text is in regular font, and staff comments are in *italic font*.

## URBAN DESIGN ELEMENT

### OBJECTIVE 4

#### **IMPROVEMENT OF THE NEIGHBORHOOD ENVIRONMENT TO INCREASE PERSONAL SAFETY, COMFORT, PRICE AND OPPORTUNITY**

##### Urban Design Principle 14

**Vehicle-free or pedestrian-priority spaces contribute to pedestrian comfort and the public life of the city.**

##### Urban Design Principle 16

**Alleys and small streets which are usable as part of the general network of pedestrian and service ways are potential areas of activity and interest.**

*Comment: James Alley is designed to become a high-quality pedestrian route and public space for city residents and visitors to the hospital.*

### POLICY 4.11

**Make use of street space and other unused public areas for recreation, particularly in dense neighborhoods, such as those close to downtown, where land for traditional open spaces is more difficult to assemble.**

### POLICY 4.14

**Remove and obscure distracting and cluttering elements.**

*Comment: Undergrounding the fuel oil and rainwater storage tank maintains maximum open space for pedestrians and improves visual quality.*

## ENVIRONMENTAL PROTECTION ELEMENT

### POLICY 2.2

**Promote citizen action as a means of voluntarily conserving natural resources and improving environmental quality.**

*Comment: The installation of the rainwater storage tank will help diminish the load on the City's stormwater system.*

**RECOMMENDATION:** Finding the Project, on balance, in-conformity with the General Plan

Attachments:

Attachment 1 – Project description.

cc: Neil Hrushowy, Planning Department

PLANNING CODE SECTION 101.1(B) PROVISIONS- EIGHT PRIORITY POLICIES

Planning Code Section 101.1(b) establishes the following eight priority planning policies and requires review of permits for consistency with said policies. The subject project is found to be consistent with the Eight Priority Policies of Planning Code Section 101.1(b) in that:

1. That existing neighborhood-serving retail uses be preserved and enhanced and future opportunities for resident employment in and ownership of such businesses enhanced.  
*The project would not affect neighborhood serving retail uses or opportunities for employment in or ownership of such businesses.*
2. That existing housing and neighborhood character be conserved and protected in order to preserve the cultural and economic diversity of our neighborhoods.  
*The Project would not affect the City's housing stock or neighborhood character.*
3. That the City's supply of affordable housing be preserved and enhanced.  
*The Project will not affect the supply of affordable housing.*
4. That commuter traffic not impede Muni transit service or overburden our streets or neighborhood parking.  
*The Project would not adversely impede MUNI transit service or overburden city streets and neighborhood parking.*
5. That a diverse economic base be maintained by protecting our industrial and service sectors from displacement due to commercial office development, and that future opportunities for resident employment and ownership in these sectors be enhanced.  
*The Project would not affect the industrial or service sectors or future opportunities for resident employment or ownership in these sectors.*
6. That the City achieve the greatest possible preparedness to protect against injury and loss of life in an earthquake.  
*The Project, limited to underground infrastructure improvements, would not adversely affect City preparedness against injury or loss of life in an earthquake. All development would be constructed consistent with current Building and Seismic Codes and regulations.*
7. That landmarks and historic buildings be preserved.  
*The Project would not affect any landmark or historic buildings.*
8. That our parks and open space and their access to sunlight and vistas be protected from development.  
*The Project would have no adverse effect on parks and open space or their access to sunlight and vistas.*

I:\Citywide\General Plan\General Plan Referrals\2008\2008.0762R Chinese Hosp Encroachment Permit\2008.0762R 835-845 Jackson St, Chinese Hospital, James Alley.doc

DESCRIPTION OF PROJECT ELEMENTS INCLUDED IN CASE 2008.0762R

ATTACHMENT 1

*Note: Referenced Exhibits available for review in Docket 2008.0762R)*

Chinese Hospital is seeking the approval for the construction and installation of underground tanks and vaults:

1. One (1) 5,000 gallon fuel oil storage tank beneath the sidewalk on Jackson Street.
2. Four (4) PG&E electrical transformer vaults beneath the sidewalk on Jackson Street.
3. Sewer lines from the new hospital, parallel to the property line, but beneath the sidewalk on Jackson Street.
4. Two (2) Enmc 5,000 gallon water storage tanks on James Alley. One-half of James Alley is owned by Chinese Hospital. The other one-half is owned by the City. The storage tanks will be installed on Chinese Hospital property but will extend partially into the public alley.
5. A rain water storage tank on James Alley. The tank will be installed on Chinese Hospital property but will extend partially into the public alley.
6. A pump station vault on James Alley. The vault will be installed on Chinese Hospital property but will extend partially into the public alley.



**Wayne Hu**

mailing address: 317 West Portal Avenue #27428, San Francisco, CA 94127  
tel: 415-745-1372 | cell: 415-602-2761 | email: whu233@gmail.com

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October 30, 2012

Rassendyll Dennis  
Bureau of Street Use & Mapping  
City & County of San Francisco  
875 Stevenson Street, Room 460  
San Francisco, CA 94103

re: Chinese Hospital – Major Encroachment Permit – General Plan Referral

Dear Rassendyll:

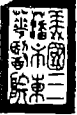
Enclosed is our complete application for the General Plan Referral and Chinese Hospital Check of \$3,454.00 for the Planning Department fee.

Sincerely,

*Wayne Hu*  
Wayne Hu

Encl.

**WARNING: ORIGINAL DOCUMENT HAS A TRUE WATERMARK. HOLD TO LIGHT TO VIEW.**



**CHINESE HOSPITAL**  
845 JACKSON STREET  
SAN FRANCISCO, CALIFORNIA 94133  
982-2400

WELLS FARGO BANK  
115 Hospital Dr., Van Wert, OH 45891

**394043** 56-382  
412

DATE	CHECK NUMBER
10/22/12	394043

THREE THOUSAND FOUR HUNDRED FIFTY FOUR DOLLARS AND NO CENT

CHECK AMOUNT
\$ *****3454.00

TO SAN FRANCISCO PLANNING DEPT  
THE 1650 MISSION ST., SUITE 400  
ORDER SAN FRANCISCO CA 94103  
OF:

*Wayne Hu*  
*Rassendyll Dennis*

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# APPLICATION FOR General Plan Referral

## PART 1. PROJECT LOCATION & APPLICANT INFORMATION

### A. Project Location

<b>STREET ADDRESS OF PROJECT:</b> Sidewalk in front of 835-845 Jackson Street, north line of Jackson St between James Alley & Stone Street
<b>ASSESSOR'S BLOCK/LOT NO(S)</b> If project is in public right-of-way, provide block/lot nos. of fronting property Block 192 Lot 41

### B. Project Information

<b>PROJECT TITLE / DESCRIPTION:</b> - Please Summarize and describe the project. // Install 1 - fuel oil storage tank, 4 - PG&E transformer vaults and sewer lines parallel to the property line on Jackson St and Install 2 water storage tanks, 1 rain water storage tank, and 1 pump station vault partially on James Alley. (See Attached Comment #2	
<b>PRESENT OR PREVIOUS USE:</b> Sidewalk	<b>PROPOSED USE:</b>

### C. Applicant/Agent Information:

<b>APPLICANT'S NAME:</b> Linda Schumacher, COO, Chinese Hospital	<b>APPLICANT'S SIGNATURE</b>	
<b>APPLICANT'S ADDRESS:</b> Chinese Hospital 845 Jackson Street San Francisco, CA 94133	<b>PHONE:</b> 415-677-2477	<b>FAX:</b>
	<b>EMAIL:</b> lindas@chasf.org	

<b>AGENT'S NAME ( CONTACT FOR INFORMATION ):</b> David Lem	<b>COMPANY NAME:</b> Stahl Lem Inc., Construction Manager	
<b>AGENT'S ADDRESS:</b> Stahl Lem Inc 900 Kearny St, Suite 500 San Francisco, CA 94108	<b>PHONE:</b> 415-677-2474	<b>FAX:</b>
	<b>EMAIL:</b> david@stahllem.com	

### D. City Department with Jurisdiction (submit additional sheets if necessary)

<b>DEPARTMENT WITH JURISDICTION:</b> Bureau of Street Use & Mapping, DPW <input type="checkbox"/> Check here if same as above		
<b>NAME OF DEPARTMENT CONTACT:</b> Rassendyll Dennis	<b>SIGNATURE OF DEPARTMENT CONTACT:</b>	
<b>ADDRESS:</b> Bureau Street Use & Mapping, DPW 875 Stevenson Street, Room 460 San Francisco, CA 94103	<b>PHONE:</b> 415-554-4683	<b>FAX:</b>
	<b>EMAIL:</b> rassendyll.dennis@sfdpw.org	

If more than one department has jurisdiction, attach additional sheets.



## PART 2. PROJECT INFORMATION CHECKLIST

### A. Project Checklist PROJECT & PROPOSED ACTION (Please check all that apply)

#### Property or Open Space

- Acquisition / Lease
- Sale / Lease
- Change in Use
- Other ( Specify below )

#### Public Building or Structure

- New Construction
- Alteration
- Demolition
- Change in Use
- Acquisition / Lease
- Sale / Lease
- Other ( Specify below )

#### Redevelopment Area / Project

- New
- Major Change
- Other ( Specify below )

#### Sidewalk, Street, Transportation Route

- Widening less than 1 block\*
- Widening
- Narrowing
- Extension
- Encroachment Permit
- Street Vacation
- Abandonment
- Other ( Specify below )

#### Subdivision

- New
- Replat
- Lot Line Adjustment
- Other ( Specify below )

#### Public Housing

- New Construction
- Major Change
- Other ( Specify below )

#### Publicly Assisted Private Housing

- New Construction
- Major Change
- Other ( Specify below )

#### Capital Improvement Plan

- Annual Capital Expenditure Plan
- Six Year Capital Improvement Program
- Capital Improvement Project
- Other ( Specify below )

#### Long Term Financing Proposal

- General Obligation Bond
- General Revenue Bond
- Non-Profit Corporation Proposal
- Other ( Specify below )

\* Limited to bulb-outs, corner bulbs and sidewalk widening.

If Other, please specify ( attach additional sheets if necessary ):

Chinese Hospital is seeking the approval for the construction and installation of underground tanks and vaults:

1. One (1) 5,000 gallon fuel oil storage tank beneath the sidewalk on Jackson Street.
2. Four (4) PG&E electrical transformer vaults beneath the sidewalk on Jackson Street.
3. Sewer lines from the new hospital, parallel to the property line, but beneath the sidewalk on Jackson Street.
4. Two (2) 6,000 gallon water storage tanks on James Alley. One-half of James Alley is owned by Chinese Hospital. The other one-half is owned by the City. The storage tanks will be installed on Chinese Hospital property but will extend partially into the public alley.
5. A rain water storage tank on James Alley. The tank will be installed on Chinese Hospital property but will extend partially into the public alley.
6. A pump station vault on James Alley. The vault will be installed on Chinese Hospital property but will extend partially into the public alley.

5. That a diverse economic base be maintained by protecting our industrial and service sectors from displacement due to commercial office development, and that future opportunities for resident employment and ownership in these sectors be enhanced;

There will not displacement of industrial and services sectors as the storage tanks, transformer vaults, pump vault and sewer lines will be located beneath the sidewalk.

6. That the City achieve the greatest possible preparedness to protect against injury and loss of life in an earthquake;

The New Hospital will improve the health care for the community and emergency health services against injury and loss of life in an earthquake. The New Hospital will be built to current building code seismic requirements. The storage tanks, transformer vaults, pump vault and sewer line are critical to the operation of the New Hospital especially in preparation for emergency health care services required during an earthquake.

7. That landmarks and historic buildings be preserved; and

The installation of storage tanks, transformer vaults, pump vault and sewer line will not impact any landmark or historic buildings.

8. That our parks and open space and their access to sunlight and vistas be protected from development.

The installation of the storage tanks, transformer vaults, pump vault and sewer line will be beneath the sidewalk and will not impact parks and open space and their access to sunlight and vistas.

**PART 4. APPLICATION CHECKLIST & APPLICANT AFFIDAVIT**

**A. Application Submittal Checklist**

Applications must be accompanied by this checklist and required materials. The checklist is to be completed and signed by the applicant or authorized agent and the City Department with jurisdiction.

REQUIRED MATERIALS ( Check if provided )	IF NOT PROVIDED, PLEASE EXPLAIN
<input type="checkbox"/> Two copies of the completed application, with all blanks filled in, signed by applicant and 2 copies of the following application materials:	
<input type="checkbox"/> Name and signature of City Department with jurisdiction over the project	
<input type="checkbox"/> Letter from Applicant, authorizing agent to represent applicant	
<input type="checkbox"/> Set of project drawings	
<input type="checkbox"/> Location Map (showing adjacent properties)	
<input type="checkbox"/> Site Plan	
<input type="checkbox"/> 8.5"x11" or 11"x17" Reduction of Site Plan	
<input type="checkbox"/> Architectural floors plans and elevations	
<input type="checkbox"/> Photographs of Project Site and its immediate vicinity, with viewpoints labeled	
<input type="checkbox"/> Planning Code Section 101.1 Prop. M Findings	
<input type="checkbox"/> Check payable to Planning Dept.	

**B. Applicant's Affidavit**

I certify the accuracy of the following declarations:

- a. The undersigned is the owner or authorized agent of the owner of this property.
- b. The information presented is true and correct to the best of my knowledge.
- c. I understand that other applications and information may be required.

Linda Schumacher  
 Signature of Applicant

10-17-12  
 Date

Linda Schumacher, COO, Chinese Hospital  
 Name of Applicant or Authorized Agent ( Type or Print )

\_\_\_\_\_  
 Signature of City Department Representative ( if City-sponsored Project )

\_\_\_\_\_  
 Date

\_\_\_\_\_  
 Name of City Department Representative ( Type or Print )

After your case is assigned to a planner, you may be contacted and asked to provide an electronic version of this application including associated photos and drawings.



# CHINESE HOSPITAL

SAN FRANCISCO, CALIFORNIA

OSHPD # IS-072017 FACILITY NUMBER 14621

## INCREMENT NO. 2

OSHPD & CCSF RE-SUBMITTAL - CIVIL

CIVIL WITH UTILITY CONNECTIONS

19 FEBRUARY 2013



### SHEET INDEX

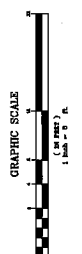
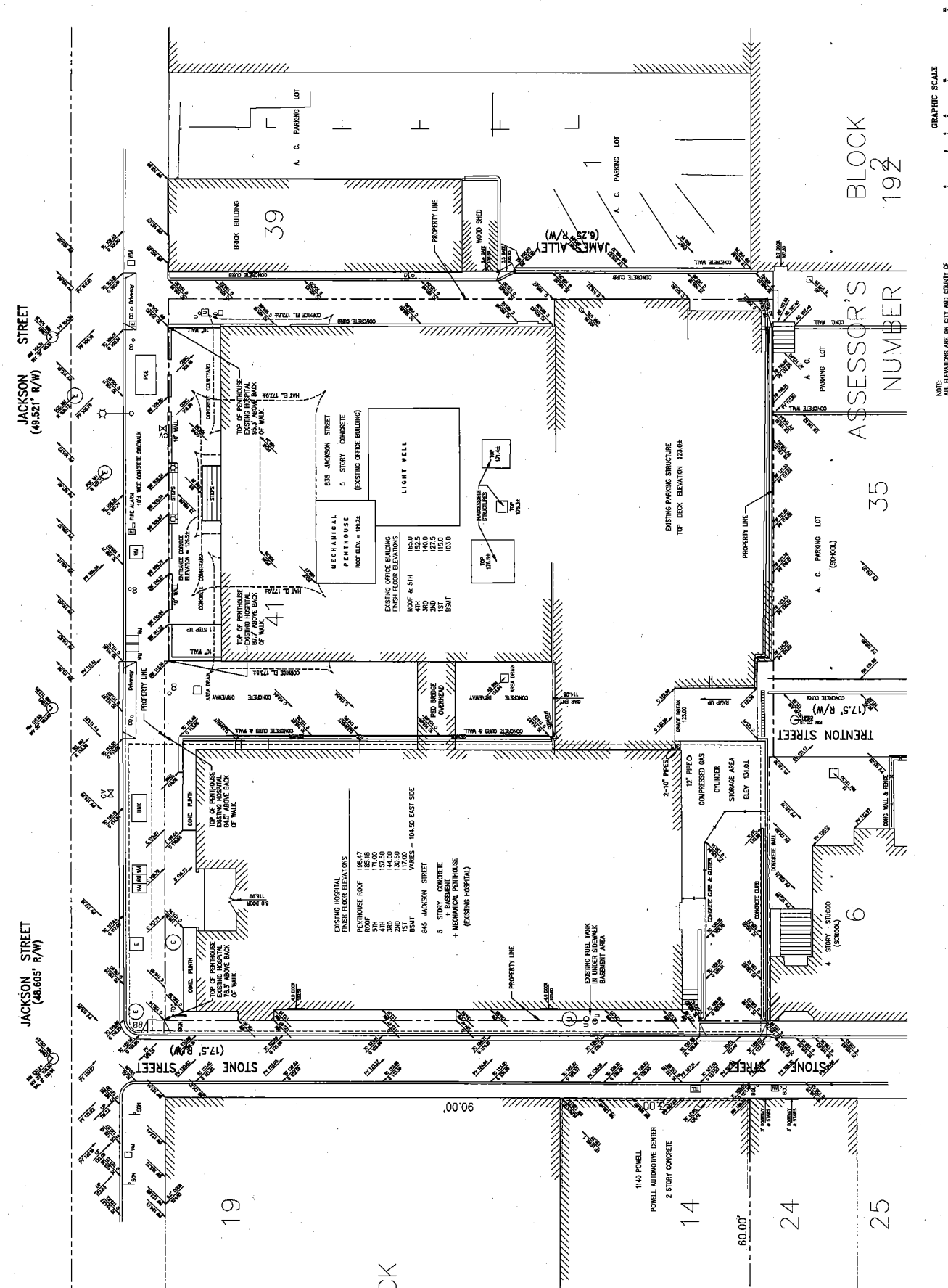
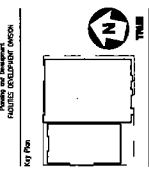
SHEET NUMBER	SHEET TITLE
C11	BOUNDARY MAP & SITE PLAN
C12	TOPOGRAPHIC SURVEY
C13	EXISTING HOSPITAL BASEMENT ELEVATIONS
C14	TOPOGRAPHIC SURVEY POWELL GARAGE
C15	SURROUNDING BUILDINGS ELEVATION PLAN
C21	EXISTING WATER LINES AND FIRE HYDRANTS
C22	EXISTING UTILITIES PLAN WITH EXISTING BUILDING ENTRANCES
C31	ON-SITE SURFACE DEMOLITION PLAN
C32	HOSPITAL EXCAVATION PLAN
C41	STREET IMPROVEMENTS 845 JACKSON STREET
C42	SURFACE IMPROVEMENTS 835 JACKSON STREET
C43	UNDERGROUND IMPROVEMENTS 835 JACKSON STREET
C44	STREET IMPROVEMENTS JAMES ALLEY
C45	STREET IMPROVEMENTS STONE STREET
C46	STREET IMPROVEMENTS TRENTON STREET
C51	GRADING PLAN BEHIND EXISTING HOSPITAL
C52	GRADING PLAN FRONT OF NEW HOSPITAL
C61	DETAILS
C62	DETAILS
C63	DETAILS
C64	DETAILS
C65	DETAILS
C66	DETAILS
C71	SWPPP PLAN
C72	SWPPP DETAILS
C73	SWPPP DETAILS
C81	SHORING AND UNDERPINNING LAYOUT
C81	PROPERTY LINE ANALYSIS
C10.1	P.3 & E. VAULTS
C10.2	P.3 & E. VAULTS



Item	Code	Remarks
1.00	1.00	1.00
2.00	2.00	2.00
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4.00	4.00	4.00
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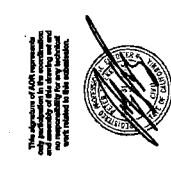


THESE PLANS HAVE BEEN REVIEWED AND APPROVED FOR THE CITY AND COUNTY OF SAN FRANCISCO.

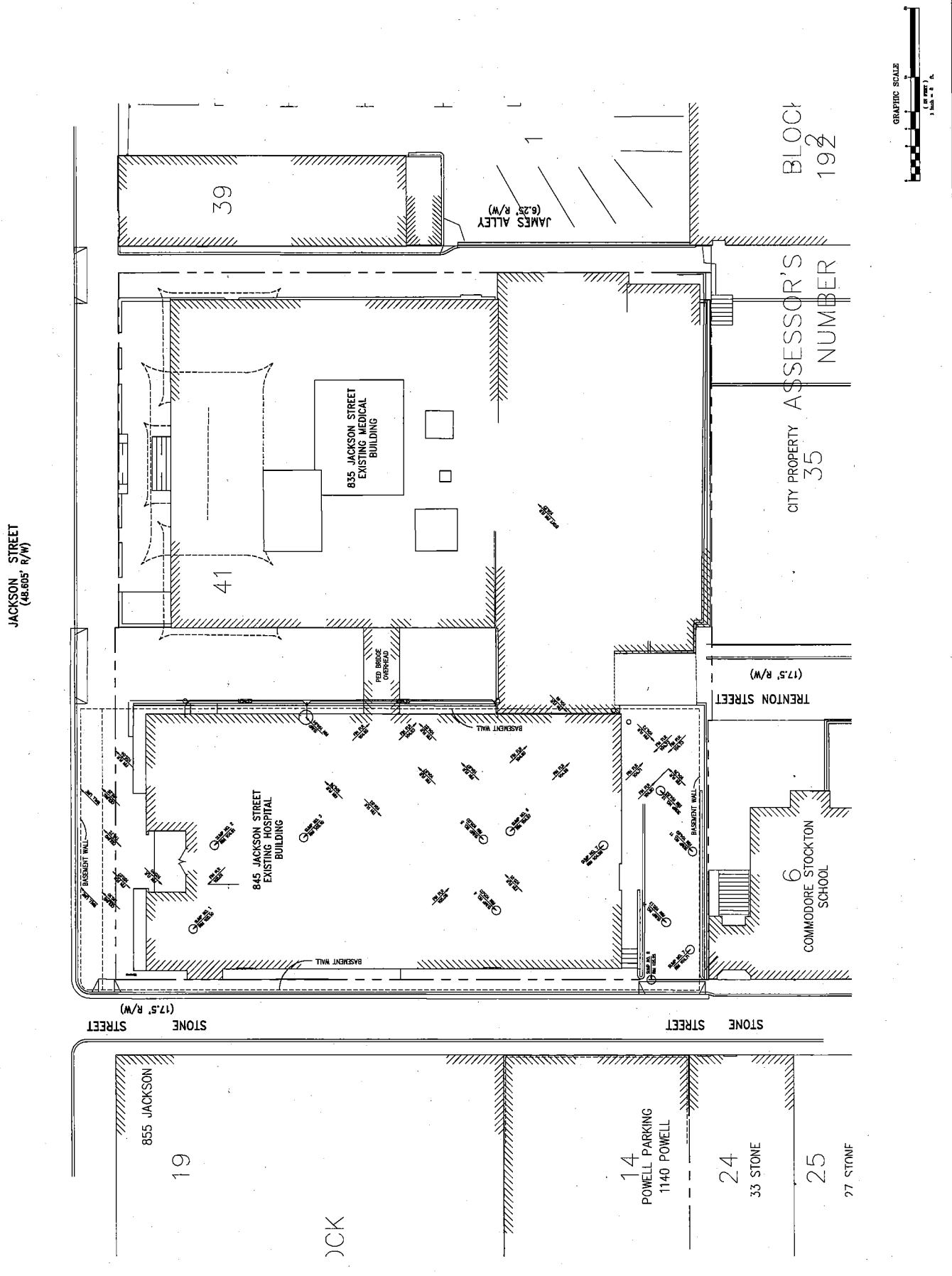
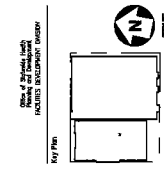


NOTE: ALL ELEVATIONS ARE ON CITY AND COUNTY OF SAN FRANCISCO DATUM.

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CONTRACT	01	01/18
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CONTRACT	01	01/18



THESE ELEVATIONS WERE APPROVED BY THE BOARD OF ARCHITECTS AND ENGINEERS OF THE STATE OF CALIFORNIA ON 01/18/18.



**CHINESE HOSPITAL**  
 645 JACKSON STREET  
 SAN FRANCISCO, CA

OSHPD # 18-072017  
 Facility Number 14621  
**NEW ACUTE CARE HOSPITAL & SKILLED NURSING UNIT**

**JACOBS**  
 668 North Central Expressway  
 Suite 200  
 San Jose, CA 95128  
 Phone: 214.424.7500

CONSULTANT:  
**AJDP**  
**MAZZETTI & ASSOCIATES**  
 2110 BROADWAY  
 SAN FRANCISCO, CA

OWNER CONSULTANT:  
**KCA ENGINEERS**  
 1000 MARKET STREET  
 TREADWELL & HOLLY

**KCA ENGINEERS INC.**  
 CONSULTING CIVIL ENGINEERS  
 & LAND SURVEYORS  
 1000 MARKET STREET  
 TREADWELL & HOLLY  
 SAN FRANCISCO, CA 94102  
 PHONE: 415.774.2200

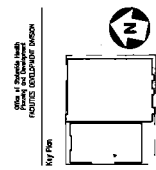
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10. CITY PERMIT	02/01/18	

Scale of Symbols

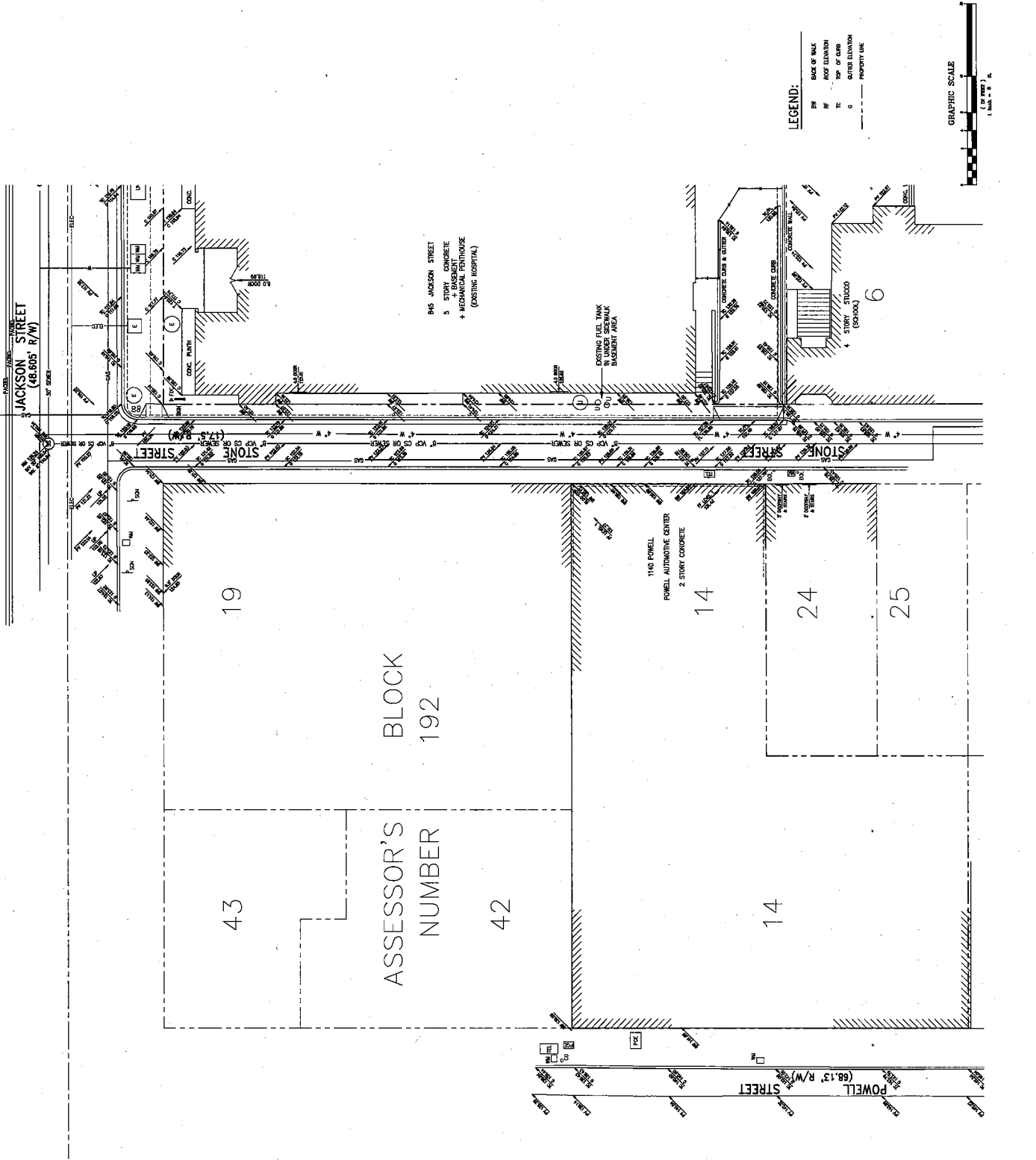
This drawing is a plan view of the site and does not show the vertical alignment of the site. The vertical alignment of the site is shown on the site plan. The vertical alignment of the site is shown on the site plan.



APPROVED



Drawing Title  
**TOPOGRAPHIC SURVEY POWELL GARAGE**  
 Project Number: 021430  
 Drawing Number: **C1.4**  
 DATE: 10/17/18



LEGEND:  
 BW BACK OF WALK  
 RE ROOF ELEVATION  
 TC TOP OF CURB  
 G OTHER ELEVATION  
 --- PROPERTY LINE





**CHINESE HOSPITAL**  
 846 JACKSON STREET  
 SAN FRANCISCO, CA

OSHPD # 18-072017  
 Facility Number: 14621  
**NEW ACUTE CARE HOSPITAL & SKILLED NURSING UNIT**  
**JACOBS**  
 688 North Central Expressway  
 Suite 200  
 Dallas, TX 75206  
 Phone: 214.424.7600

**CONSULTANTS:**  
 JRP  
 MAZZITTELLI LABORATORIES  
 ARCHITECTS

**OWNER CONSULTANT:**  
 HCA ENGINEERS  
 ARCHITECTS  
 1000 MARKET STREET  
 TRADAVILLE, MO

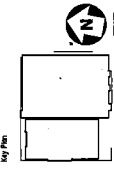
**HCA ENGINEERS, INC.**  
 CONSULTING ENGINEERS  
 ARCHITECTS  
 1000 MARKET STREET  
 TRADAVILLE, MO

Issued For:	REV.	DATE
CITY PERMITS	1	01/11/17
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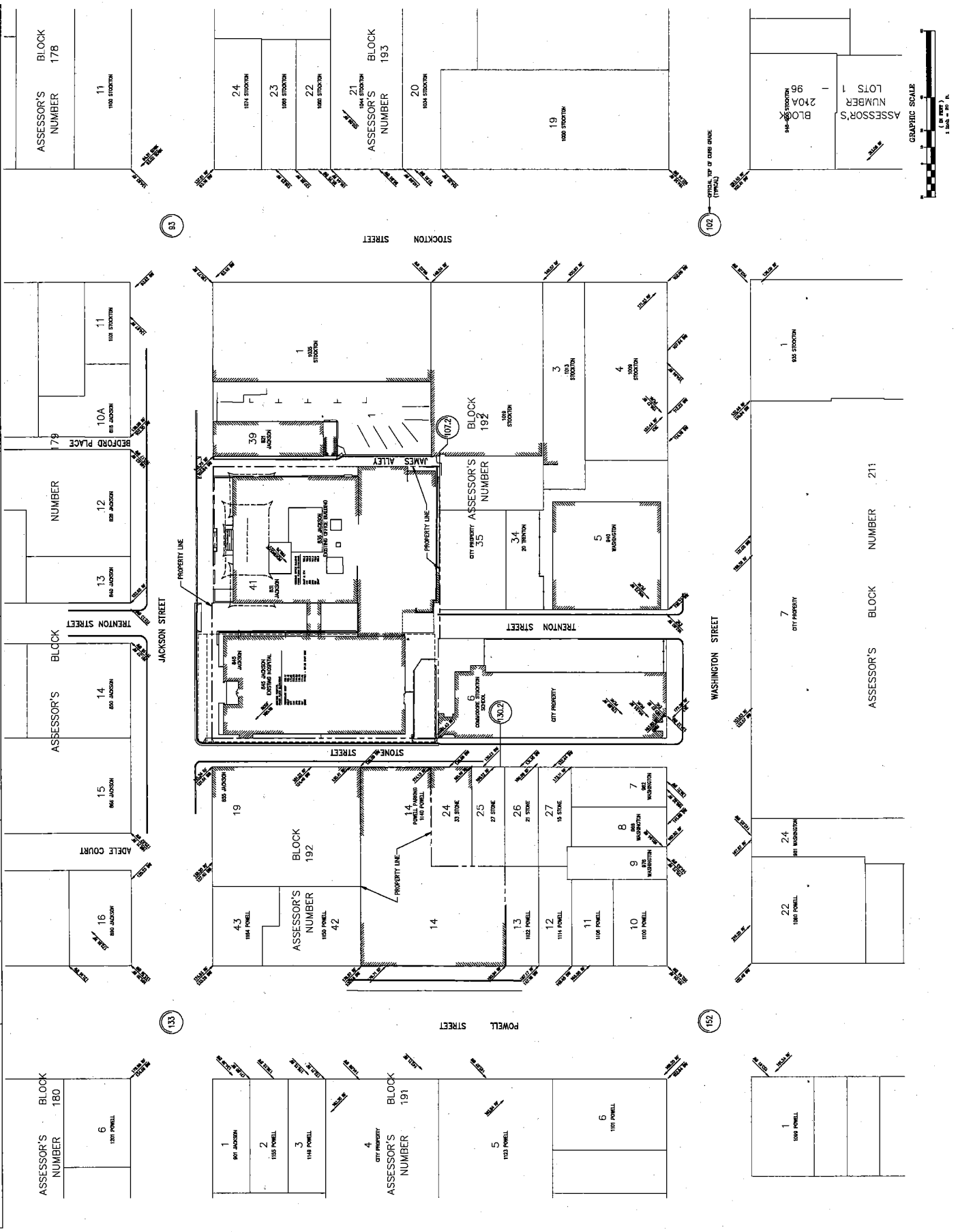


**PRELIMINARY**  
 This drawing is for informational purposes only and does not constitute a contract. The final design and construction shall be governed by the contract documents and specifications. The engineer's liability is limited to the design and construction of the building and its systems. The engineer is not responsible for the design and construction of the building's structure, foundation, or other systems. The engineer is not responsible for the design and construction of the building's interior finishes, fixtures, or equipment. The engineer is not responsible for the design and construction of the building's landscaping, site work, or other exterior work. The engineer is not responsible for the design and construction of the building's utility systems, including but not limited to electrical, mechanical, and plumbing systems. The engineer is not responsible for the design and construction of the building's fire protection systems, including but not limited to fire alarm, fire sprinkler, and fire extinguisher systems. The engineer is not responsible for the design and construction of the building's security systems, including but not limited to access control, video surveillance, and intrusion detection systems. The engineer is not responsible for the design and construction of the building's communication systems, including but not limited to telephone, data, and television systems. The engineer is not responsible for the design and construction of the building's energy management systems, including but not limited to lighting, heating, ventilation, and air conditioning systems. The engineer is not responsible for the design and construction of the building's sustainability systems, including but not limited to green building, energy efficiency, and water conservation systems. The engineer is not responsible for the design and construction of the building's accessibility systems, including but not limited to ramps, elevators, and accessible parking spaces. The engineer is not responsible for the design and construction of the building's safety systems, including but not limited to fire exits, emergency lighting, and first aid kits. The engineer is not responsible for the design and construction of the building's maintenance systems, including but not limited to cleaning, pest control, and landscaping. The engineer is not responsible for the design and construction of the building's security systems, including but not limited to access control, video surveillance, and intrusion detection systems. The engineer is not responsible for the design and construction of the building's communication systems, including but not limited to telephone, data, and television systems. The engineer is not responsible for the design and construction of the building's energy management systems, including but not limited to lighting, heating, ventilation, and air conditioning systems. The engineer is not responsible for the design and construction of the building's sustainability systems, including but not limited to green building, energy efficiency, and water conservation systems. The engineer is not responsible for the design and construction of the building's accessibility systems, including but not limited to ramps, elevators, and accessible parking spaces. The engineer is not responsible for the design and construction of the building's safety systems, including but not limited to fire exits, emergency lighting, and first aid kits. The engineer is not responsible for the design and construction of the building's maintenance systems, including but not limited to cleaning, pest control, and landscaping.

IN THE CITY AND COUNTY OF SAN FRANCISCO  
 I, PAUL M. JOHNSON, LICENSED PROFESSIONAL ENGINEER, DO HEREBY CERTIFY THAT I AM THE AUTHOR OF THIS DRAWING AND THAT I AM A MEMBER OF THE CALIFORNIA PROFESSIONAL ENGINEERS BOARD AND THAT I AM LICENSED TO PRACTICE AS A PROFESSIONAL ENGINEER IN THE STATE OF CALIFORNIA.



DATE: 01/11/17  
 DRAWING NUMBER: 02338  
 PROJECT NUMBER: 02338  
**C1.5**  
 10/07/15



CEHPD # 18-072017  
 Facility Number 14681  
**NEW ACUTE CARE HOSPITAL & SKILLED NURSING UNIT**  
**JACOBS**  
 8688 North Central Expressway  
 Suite 400, 94738  
 San Francisco, CA  
 Phone: 214.424.7500

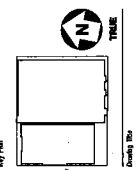
**OWNER CONSULTANTS:**  
 HCA ENGINEERS  
 HCA ENGINEERS  
 HCA ENGINEERS  
 HCA ENGINEERS  
 HCA ENGINEERS

**CONSULTANTS:**  
 HCA ENGINEERS  
 HCA ENGINEERS  
 HCA ENGINEERS  
 HCA ENGINEERS  
 HCA ENGINEERS

Project No.	18-072017
City	SAN FRANCISCO
City	SAN FRANCISCO
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City	SAN FRANCISCO
City	SAN FRANCISCO
City	SAN FRANCISCO
City	SAN FRANCISCO
City	SAN FRANCISCO
City	SAN FRANCISCO



**APPROVED**  
 FIRE MARSHAL  
 STATE OF CALIFORNIA  
 DEPARTMENT OF PUBLIC SAFETY



**EXISTING WATER LINES AND FIRE HYDRANTS**  
 Project Number: 0212  
**C2.1**  
 Fire Marshal: [Signature]  
 Date: 10/27/10

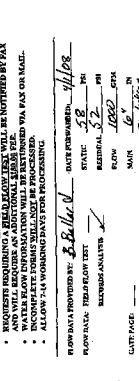
**LOCAL FIRE AUTHORITY APPROVAL**  
 HEALTH CARE FACILITY  
 845 JACKSON STREET  
 SAN FRANCISCO, CA  
 PROJECT # 18072017-35  
 LOCAL FIRE AUTHORITY APPROVAL  
 THE OFFICE OF FIRE PREVENTION AND INSPECTION (OFPI) HAS REVIEWED THE SUBMITTED FIRE SAFETY PLAN AND FOUND IT TO BE IN COMPLIANCE WITH THE CITY OF SAN FRANCISCO FIRE SAFETY ORDINANCES AND THE CALIFORNIA FIRE SAFETY CODE. THE OFPI HAS NO COMMENTS AT THIS TIME.

**LOCAL FIRE AUTHORITY APPROVAL**  
 THE OFFICE OF FIRE PREVENTION AND INSPECTION (OFPI) HAS REVIEWED THE SUBMITTED FIRE SAFETY PLAN AND FOUND IT TO BE IN COMPLIANCE WITH THE CITY OF SAN FRANCISCO FIRE SAFETY ORDINANCES AND THE CALIFORNIA FIRE SAFETY CODE. THE OFPI HAS NO COMMENTS AT THIS TIME.

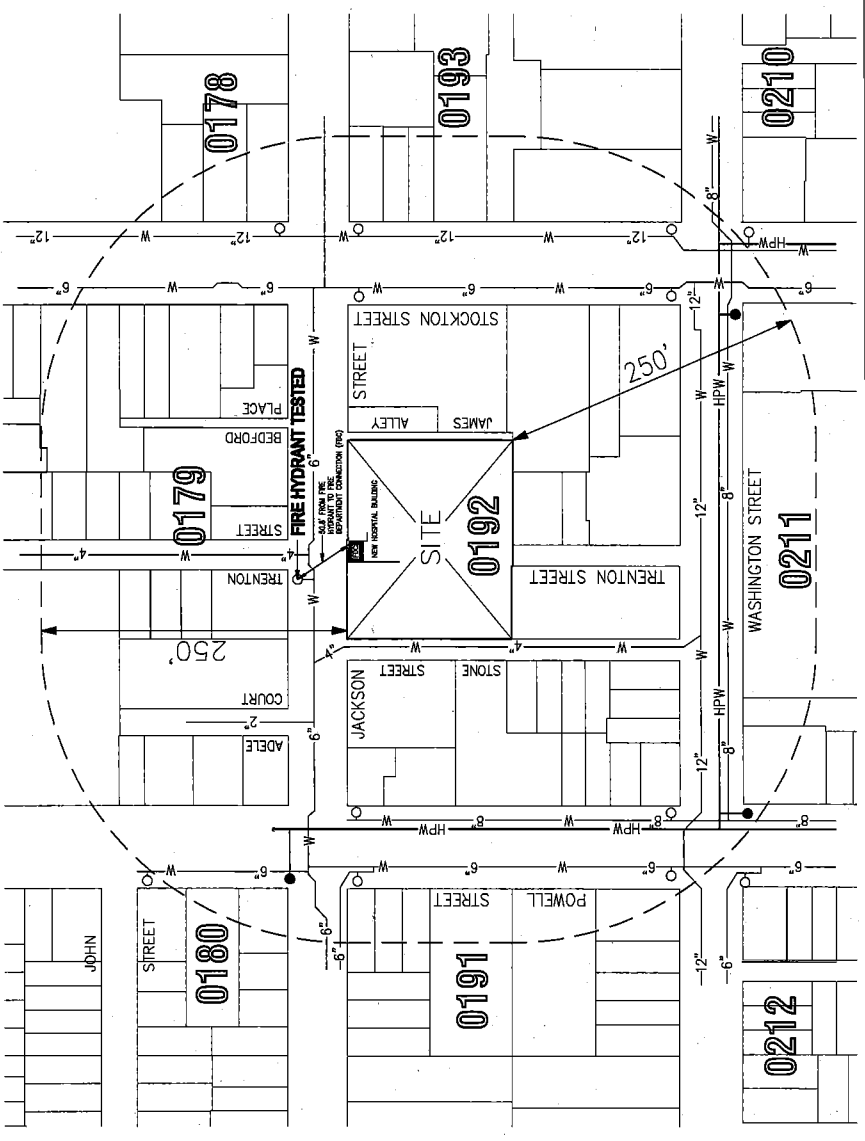
**LOCAL FIRE AUTHORITY APPROVAL**  
 THE OFFICE OF FIRE PREVENTION AND INSPECTION (OFPI) HAS REVIEWED THE SUBMITTED FIRE SAFETY PLAN AND FOUND IT TO BE IN COMPLIANCE WITH THE CITY OF SAN FRANCISCO FIRE SAFETY ORDINANCES AND THE CALIFORNIA FIRE SAFETY CODE. THE OFPI HAS NO COMMENTS AT THIS TIME.

**LOCAL FIRE AUTHORITY APPROVAL**  
 THE OFFICE OF FIRE PREVENTION AND INSPECTION (OFPI) HAS REVIEWED THE SUBMITTED FIRE SAFETY PLAN AND FOUND IT TO BE IN COMPLIANCE WITH THE CITY OF SAN FRANCISCO FIRE SAFETY ORDINANCES AND THE CALIFORNIA FIRE SAFETY CODE. THE OFPI HAS NO COMMENTS AT THIS TIME.

**REQUEST FOR WATER FLOW INVESTIGATION**  
 SAN FRANCISCO FIRE DEPARTMENT  
 BUREAU OF FIRE PREVENTION AND INSPECTION CHECK DIVISION  
 100 MARKET STREET  
 SAN FRANCISCO, CA 94102  
 CONTACT: Inspector [Name]  
 DATE: 10/25/10  
 PROJECT: 18072017-35  
 ADDRESS FOR WATER FLOW INVESTIGATION: 845 JACKSON STREET  
 CROSS STREETS: JACKSON STREET AND WASHINGTON STREET  
 SPECIFIC POINT FOR POINT OF CONNECTION: [Location]



**PRESSURE TEST RESULTS**  
 DATE: 10/25/10  
 TESTED BY: [Name]  
 TEST RESULTS: [Data]  
 COMMENTS: [Notes]



**City of San Francisco**  
 Department of Public Safety  
 Fire Marshal's Office  
 100 Market Street  
 San Francisco, CA 94102  
 DATE: October 29, 2007  
 TO: [Name]  
 FROM: [Name]  
 SUBJECT: [Subject]

**GRAPHIC SCALE**  
 1 inch = 40 feet  
 LEGEND  
 ○ ASSESSOR'S BLOCK NUMBER  
 ○ LOW PRESSURE HYDRANT  
 ● HIGH PRESSURE HYDRANT

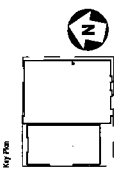
**ASSIGNMENT**  
 PROJECT # 18072017-35  
 DATE: 10/25/10  
 TESTED BY: [Name]  
 TEST RESULTS: [Data]  
 COMMENTS: [Notes]

Revised For	Date
CITY PERMITS	03/12/18
CONTRACT	03/12/18
DR. REVIEW	03/12/18
CONTRACT RESUBMITTAL	03/12/18
CONTRACT RESUBMITTAL	03/12/18
CONTRACT RESUBMITTAL	03/12/18

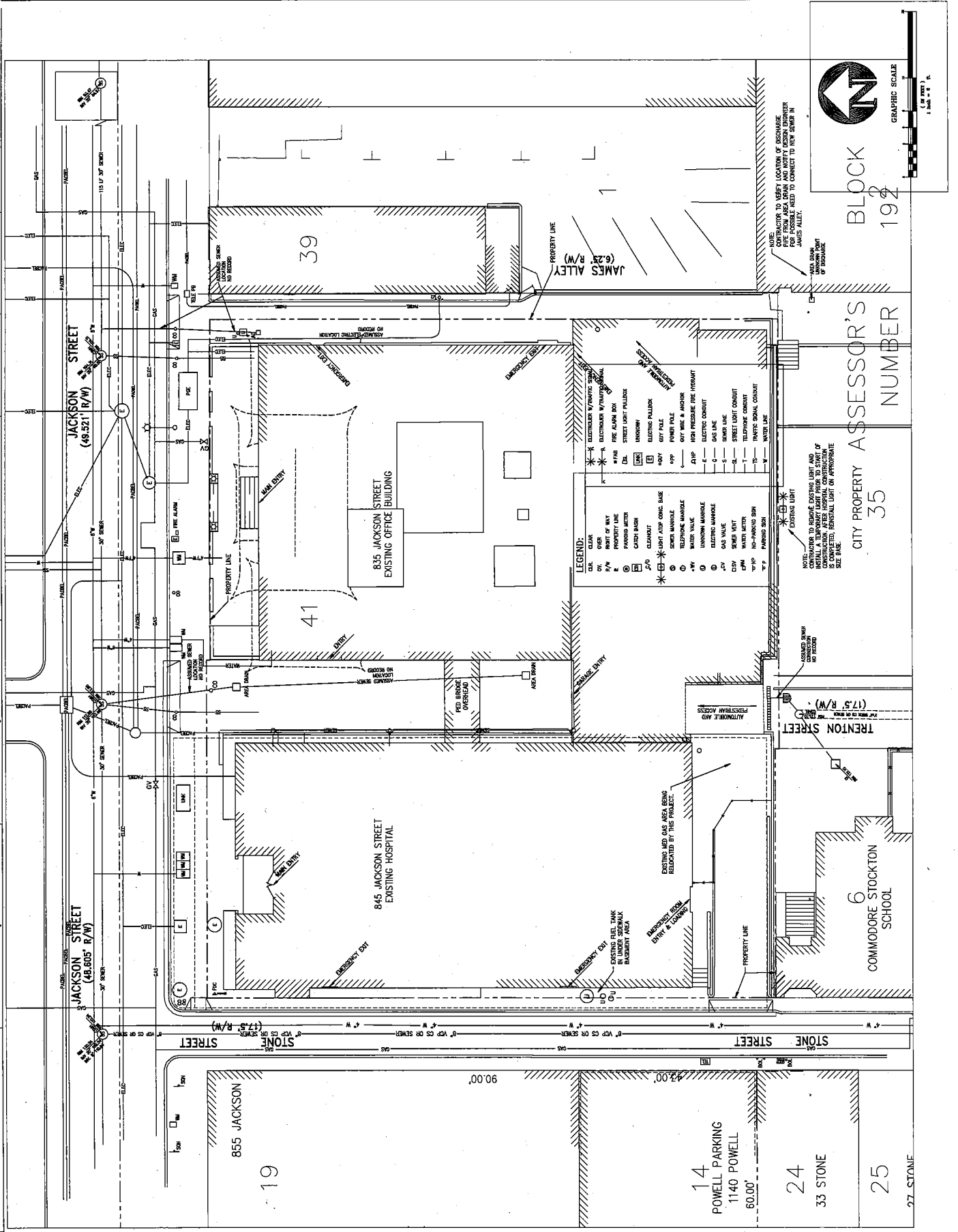
The information on this drawing was prepared by the undersigned and is based on information furnished by the client. The undersigned assumes no responsibility for any inaccuracies or omissions which may result from the information furnished.



APPROVED  
 JAMES A. MAZZETTI  
 CIVIL ENGINEER  
 STATE OF CALIFORNIA  
 LICENSE NO. 45812



Block 192  
 CITY PROPERTY ASSESSOR'S NUMBER 35  
 EXISTING UTILITIES PLAN WITH EXISTING BUILDING ENTRANCES  
 Project Number: 034338  
 Drawing Number: C2.2  
 Date: 10/27/18



- LEGEND:**
- CLEAR
  - OVER
  - FRONT OF WAY
  - FIRE ALARM BOX
  - CATCH BASIN
  - CLEANOUT
  - SINKER MANHOLE
  - TELEPHONE MANHOLE
  - HYDRO-PNEUMATIC MANHOLE
  - RECEIVING MANHOLE
  - GAS VALVE
  - CLOS. WATER METER
  - NO-PARKING SIGN
  - PAVEMENT SIGN
  - EXISTING LIGHT
  - NEW LIGHT
  - NEW LIGHT AND ONE SIDE WALK
  - RELAY MANHOLE
  - HYDRO-PNEUMATIC MANHOLE
  - RECEIVING MANHOLE
  - GAS VALVE
  - CLOS. WATER METER
  - NO-PARKING SIGN
  - PAVEMENT SIGN

NOTE: LIGHTS TO REMAIN EXISTING LIGHT AND INSTALL A TEMPORARY LIGHT PRIOR TO START OF CONSTRUCTION. TEMPORARY LIGHTS TO BE REMOVED UPON COMPLETION OF CONSTRUCTION. REINSTALL LIGHT ON APPROPRIATE SIDE WALK.

NOTE: EXISTING GAS AREA BEING RELOCATED BY THIS PROJECT.

EXISTING REEL TANK IN UNDER SIDEWALK BUREAU AREA

EXISTING MED GAS AREA BEING RELOCATED BY THIS PROJECT.

EXISTING REEL TANK IN UNDER SIDEWALK BUREAU AREA

EXISTING REEL TANK IN UNDER SIDEWALK BUREAU AREA

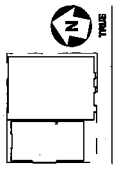
EXISTING REEL TANK IN UNDER SIDEWALK BUREAU AREA

EXISTING REEL TANK IN UNDER SIDEWALK BUREAU AREA

Issued For	Rev.	Date
CITY PERMIT	01	03/13
CONTRACTOR	02	08/01
FOR REVIEW	03	02/04
CONTRACTOR REVISION	04	02/11

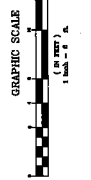
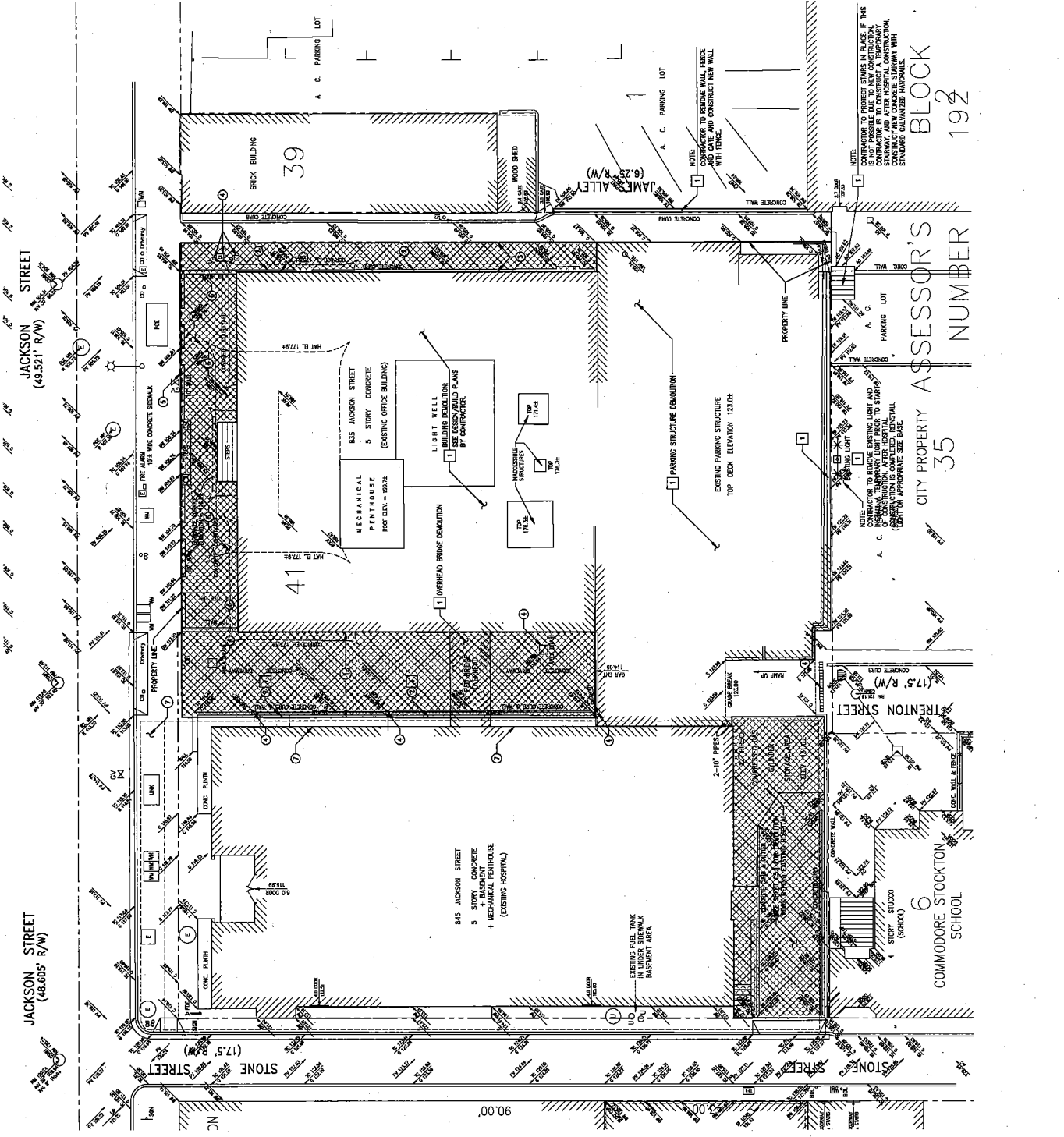


THE PROJECT IS TO BE CONSTRUCTED IN ACCORDANCE WITH THE SPECIFICATIONS AND DETAILS OF THE STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES OF THE STATE OF CALIFORNIA, LATEST EDITION, AND THE STANDARD SPECIFICATIONS FOR STRUCTURES OF THE STATE OF CALIFORNIA, LATEST EDITION.



- GENERAL NOTES:**
- EXISTING BUILDING FOUNDATION, CONCRETE FOUNDATION, CONCRETE WALLS, STEPS, ETC. AND BASEMENT AREAS.
  - ALL WORK SHALL BE DONE IN ACCORDANCE WITH CITY & COUNTY OF SAN FRANCISCO STANDARD SPECIFICATIONS AND DETAILS.
  - CONTACT ALL UTILITY COMPANIES AND AGENCIES TO TURNOFF UTILITY SERVICES PRIOR TO START OF EXCAVATION.
  - UTILITY SERVICES WITHIN THE SITE AREA SHALL NOT BE USED FOR EXCAVATION UNLESS THEY ARE TO BE RELOCATED AS PART OF THE PROJECT.
  - THE PLAN SHOWS ONLY THE EXCAVATION OF SURFACE IMPROVEMENTS WITHIN STREET AREAS IS SHOWN ON THE RESPECTIVE STREET PLANS.
  - REMOVE ALL EXISTING CONCRETE, BRICK, AND OTHER MATERIALS TO BE EXCAVATED AND OBTAIN A RECORD OF THE LOCATION OF THE CURBS BOTH HORIZONTALLY AND VERTICALLY.
  - ALL EXCAVATED MATERIALS ARE TO BE DISPOSED OF PROPERLY. A RECYCLING CENTER.
  - CONTRACTOR IS TO COMPLY WITH THE CITY AND COUNTY OF SAN FRANCISCO CONSTRUCTION AND DEMOLITION ORDERS RECOVERY ACT.
  - CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND EXISTING UTILITIES SHALL BE PROTECTED TO THE BEST OF HIS ABILITY. EXISTING UTILITIES SHALL BE PROTECTED TO THE BEST OF HIS ABILITY. EXISTING UTILITIES SHALL BE PROTECTED TO THE BEST OF HIS ABILITY.
  - SHALL BE EMPLOYED AS APPROPRIATE.
  - AFTER EXCAVATION AND PRIOR TO START OF EXCAVATION THE SITE IS TO BE MAINTAINED TO KEEP DOWN DUST, OF SOME TYPE OF DUST PALLIATIVE IS TO BE APPLIED TO THE EXPOSED GROUND.

- CONSTRUCTION NOTES:**
- REMOVE CONCRETE AND ASPHALT DRIVEWAY PAVING, BASE CURBS AND OTHER SURFACE IMPROVEMENTS.
  - REMOVE CARE.
  - REMOVE ASPHALT CONCRETE PAVING AND OTHER UTILITY STRUCTURES.
  - REMOVE EXISTING BRICK/CONCRETE WALLS AND OTHER UTILITY STRUCTURES.
  - REMOVE CONCRETE CURB/WALL AND STEPS.
  - REMOVE EXISTING ASPHALT DRIVEWAY AND BASEMENT DURING EXCAVATION AND REMOVAL OF UTILITIES.





Contract No.	City	Date
CITY ADMINISTRATION	SAN FRANCISCO	10/01/01
CITY ENGINEERING	SAN FRANCISCO	03/15/02
DEVELOPMENT	SAN FRANCISCO	03/15/02
ENVIRONMENTAL	SAN FRANCISCO	03/15/02
GEOTECHNICAL	SAN FRANCISCO	03/15/02
PLANNING	SAN FRANCISCO	03/15/02
STRUCTURAL	SAN FRANCISCO	03/15/02
TRAFFIC	SAN FRANCISCO	03/15/02
UTILITY	SAN FRANCISCO	03/15/02
WATER	SAN FRANCISCO	03/15/02

The inclusion of KCA Engineers as a consultant in this project is solely for the purpose of providing engineering services. The inclusion of any other consultant is not intended to be a representation of KCA Engineers.



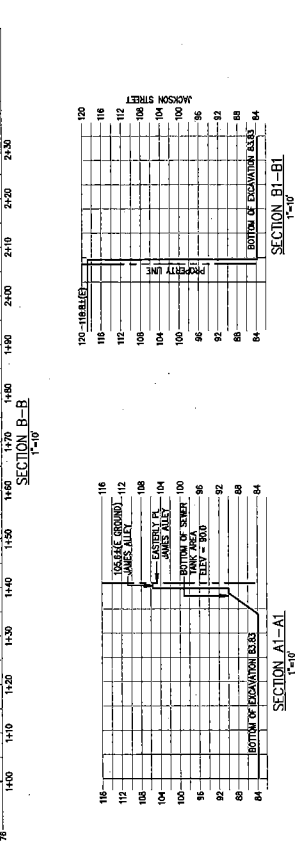
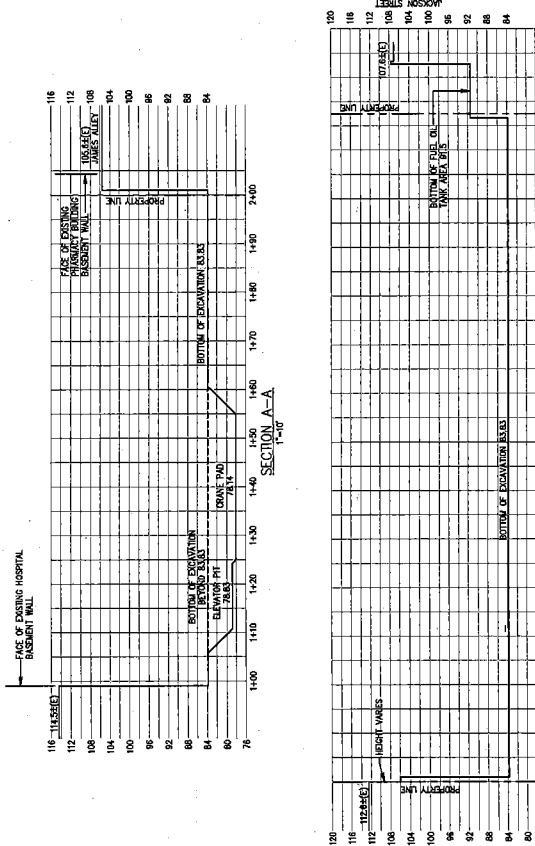
DESIGNED BY  
**ARUP**  
 688 Hovde Center Expressway  
 Dallas, TX 75206  
 Phone: 214.624.7500

APPROVED BY  
**MAZETTI & ASSOCIATES**  
 3000 Grand Central Station  
 San Francisco, CA 94102



Drawing Title  
**HOSPITAL**  
**EXCAVATION**  
**PLAN**

Project Number: 024329  
 Drawing Number: **C3.2**  
 Date: 10/07/10

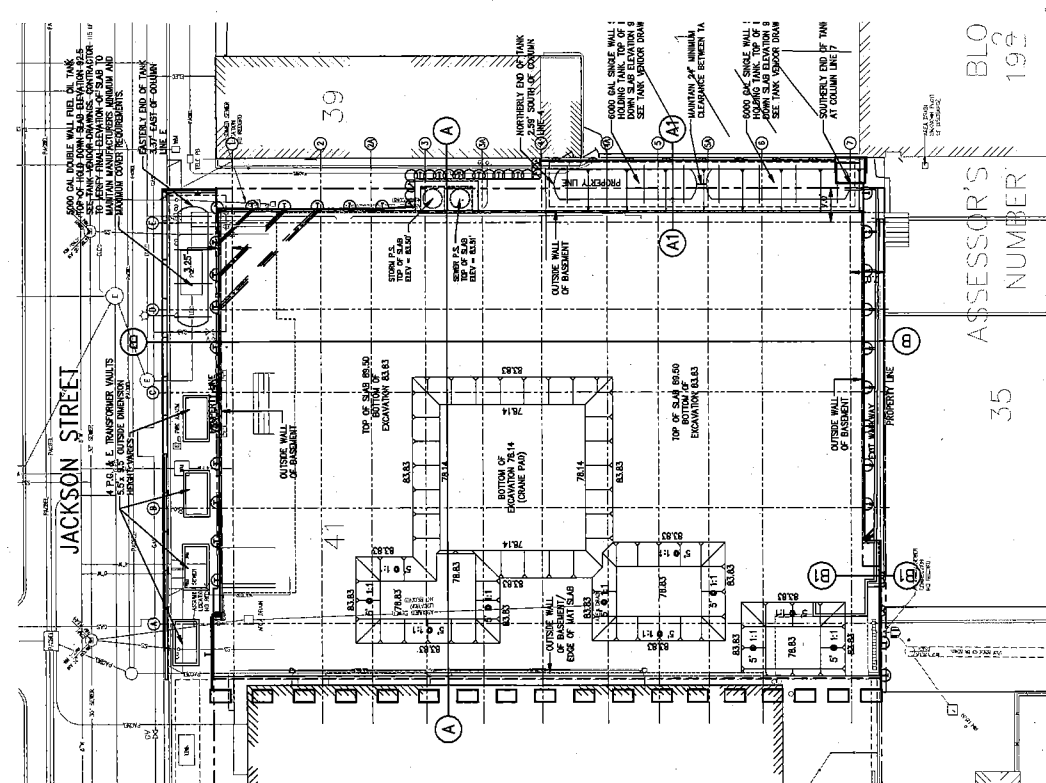


**PROPOSED BUILDING ELEVATIONS**

FLOOR	CITY DATA	ARCHITECT DATA
POORHOUSE	216.0	215.80
GROUND FLOOR	216.0	215.80
FIRST FLOOR	217.0	216.80
SECOND FLOOR	218.0	217.80
THIRD FLOOR	219.0	218.80
ROOF FLOOR	220.0	219.80
BASEMENT	221.0	220.80

- GENERAL NOTES:**
- THE EXCAVATION PLAN IS BASED ON THE CITY AND ARCHITECT DATA. THE EXCAVATION PLAN IS BASED ON THE CITY AND ARCHITECT DATA. THE EXCAVATION PLAN IS BASED ON THE CITY AND ARCHITECT DATA.
  - THE EXCAVATION PLAN IS BASED ON THE CITY AND ARCHITECT DATA. THE EXCAVATION PLAN IS BASED ON THE CITY AND ARCHITECT DATA. THE EXCAVATION PLAN IS BASED ON THE CITY AND ARCHITECT DATA.
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BLO 193  
 ASSESSOR'S NUMBER  
 35



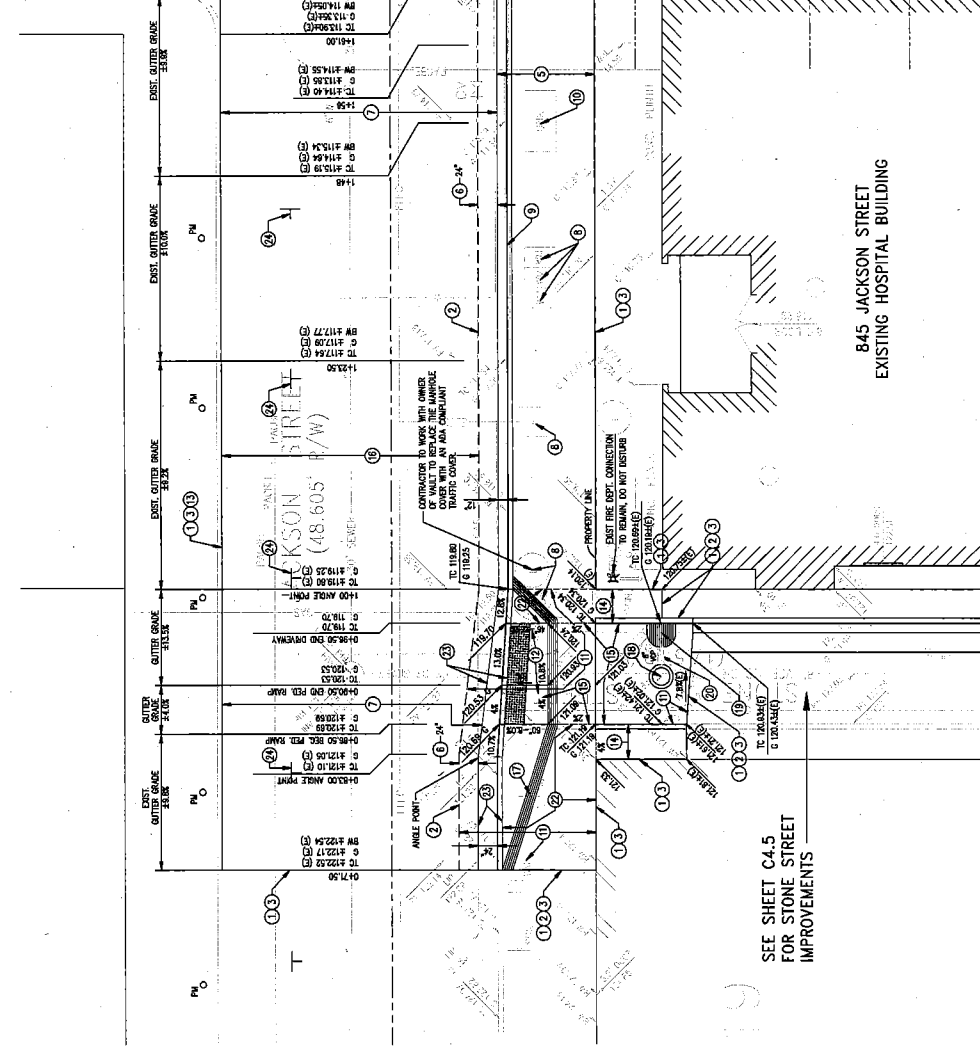
CONSTRUCTION NOTES:  
(845 JACKSON STREET AND STONE STREET INTERSECTION)

1. LIMIT OF WORK.
2. SHOOT LINE.
3. MATCH EXISTING.
4. NOT USED.
5. REMOVE CURB, CUTTER AND SIDEWALK AND CONSTRUCT CONCRETE SIDEWALK (PERMANENT SIDEWALK) 4'-0" WIDE CONCRETE SIDEWALK (PERMANENT SIDEWALK) 4'-0" WIDE CONCRETE SIDEWALK.
6. REMOVE PAVING AND BASE AND CONSTRUCT 6" CONCRETE BASE.
7. PLACE 2" AS PAVING.
8. ADJUST TOPS OF BONES, VALETS, CLEANNETS, WALK COVERS, ETC. TO THE PLANE OF THE NEW PAVING SURFACE.
9. PAINT CURBS WHITE WITH APPROPRIATE CITY OF SAN FRANCISCO SIGNAGE AS A PASSENGER LANDING ZONE.
10. METAL COVERS THAT MAY BE ACCESS TO SUBSIDIARY, RECONSTRUCT IN THE PLANE OF THE NEW PAVING, REPLACE & DAMAGED OR WARPED.
11. REMOVE CURB, CUTTER, PAVING, BASE AND PEDESTRIAN RAMP.
12. CONSTRUCT 6" THICK WIDE CONCRETE AUTOMOBILE RAMP AND PEDESTRIAN CURB RAMP, 6" THICK CONCRETE OVER 6" CLASS 2 AGGREGATE BASE WITH TENARY CHANNELIZED DETACHABLE BOUND SURFACE AND GROOVED BORDERS.
13. PROTECT EXISTING CURBS IN PLACE.
14. CONSTRUCT CONCRETE CURBS OF VARYING HEIGHT AND 3/4" WIDE CONCRETE SIDEWALK (OPTIMAL WIDTH 4'-0").
15. CONSTRUCT CONCRETE STREET PAVING 6" CONCRETE OVER 6" CLASS 2 AGGREGATE BASE.
16. DRILL FLARE 1/2" OF EXISTING PAVING FOR SET STAINERS. THE DEPTH OF DRILLING/FLARE TO BE 1/2" BELOW PROPOSED FINISH GRADE.
17. ADJUST STREET NAME SIGN HEIGHT TO THE PLANE OF NEW PAVING.
18. CONSTRUCT STANDARD SLOPE MANHOLE OVER EXISTING SEWER LINE. BREAK OUT EXISTING PIPE WITH NEW MATERIAL.
19. CONSTRUCT STAIN AND CONCRETE CATCH BASIN WITHOUT CURB INLET AND 24" HIGH CURB.
20. CONSTRUCT STANDARD SLOPE MANHOLE OVER SEWER. THE ELEVATION OF THE EXISTING SEWER IS DETERMINED IN THE FIELD. AFTER THE ELEVATION OF THE EXISTING SEWER IS DETERMINED WHEN IT IS EXCAVATED FOR THE CONSTRUCTION OF THE MANHOLE.
21. NOT USED.
22. CONSTRUCT STANDARD CONCRETE SIDEWALK OF VARYING WIDTH.
23. CONSTRUCT CONCRETE CURB AND CONCRETE CUTTER WITH VARYING FROM 12" TO 24".
24. 4" WIDE WHITE PAINTED SPACE MARKINGS. VERIFY SPACING WITH DOT PRIOR TO PAINTING IN CASE OF PAINTING WITH REFLECTANTS.

GENERAL NOTES:

1. ALL CONSTRUCTION TO BE UNDERTAKEN IN ACCORDANCE WITH THE CITY OF SAN FRANCISCO STANDARD DETAILS AND SPECIFICATIONS.
2. ELEVATIONS ARE ON CITY OF SAN FRANCISCO DATUM.
3. CONTRACTORS TO MAINTAIN PEDESTRIAN ACCESS AND RESTRICTION LANDING AND UNLOADING SPACE IN FRONT OF EXISTING HOSPITAL BUILDING. CONTRACTORS TO COORDINATE WITH HOSPITAL STAFF FOR ALTERNATE ACCESS.
4. CONTRACTOR IS CAUTIONED TO USE CARE IN WORKING ADJACENT TO AND IN THE VICINITY OF PEDESTRIAN STAIRS AND STONE STREET AND STONE STREET.
5. SEE CONSTRUCTION REQUIREMENTS FOR PEDESTRIAN CONSTRUCTION REQUIREMENTS IN THE VICINITY OF JACKSON STREET AND STONE STREET.

MATCHLINE STA. 1+61.00 ~ SEE DRAWING C4.2 FOR SURFACE IMPROVEMENTS  
MATCHLINE STA. 1+61.00 ~ SEE DRAWING C4.3 FOR UNDERGROUND IMPROVEMENTS



SEE SHEET C4.5  
FOR STONE STREET  
IMPROVEMENTS

845 JACKSON STREET  
EXISTING HOSPITAL BUILDING

CHINESE HOSPITAL  
845 JACKSON STREET  
SAN FRANCISCO, CA

CONTR # 18-072077  
Facility Number 14821  
NEW ACUTE CARE  
HOSPITAL & SKILLED  
NURSING UNIT  
JACOBS

8688 North Central Expressway  
Dulles, VA 22026  
Phone: 714,624,7500  
CONSULTANTS:  
ANUP  
MAZZETTI & ASSOCIATES  
421 BROADWAY  
NEW YORK, NY 10013  
OWNER CONSULTANT:  
KOL ENGINEERS  
1601 CALIFORNIA STREET  
TREATWELL & BOLL

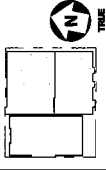
KVA ENGINEERS INC.  
CONSULTING ENGINEERS  
1100 SOMERSET  
AVENUE SUITE 100  
P.O. BOX 200  
DUBLIN, CA 94568  
Prepared For: [Blank]

Item No.	Date
CITY SHEETS	12/15/10
CITY PERMITS	03/18/11
CITY UTILITIES	03/18/11
CITY TRAFFIC	03/18/11
UTILITY PERMITS	03/18/11

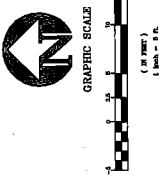


APPROVED BY: [Signature]  
DATE: [Blank]

Scale of 1" = 20'-0" unless noted  
Hatched enclosures shown



Drawn By: [Blank]  
STREET  
IMPROVEMENTS  
845 JACKSON STREET  
Project Number: 040339  
Drawing Number: C4.1  
Print Date: 10/27/10

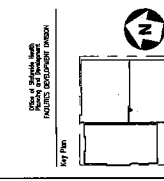




Item No.	Desc.	Unit	Quantity	Price
1	CONCRETE	CU YD		
2	REINFORCING BARS	TON		
3	PAVING	SQ YD		
4	GRASS	SQ YD		
5	LANDSCAPING	SQ YD		
6	CONCRETE	CU YD		
7	REINFORCING BARS	TON		
8	PAVING	SQ YD		
9	GRASS	SQ YD		
10	LANDSCAPING	SQ YD		

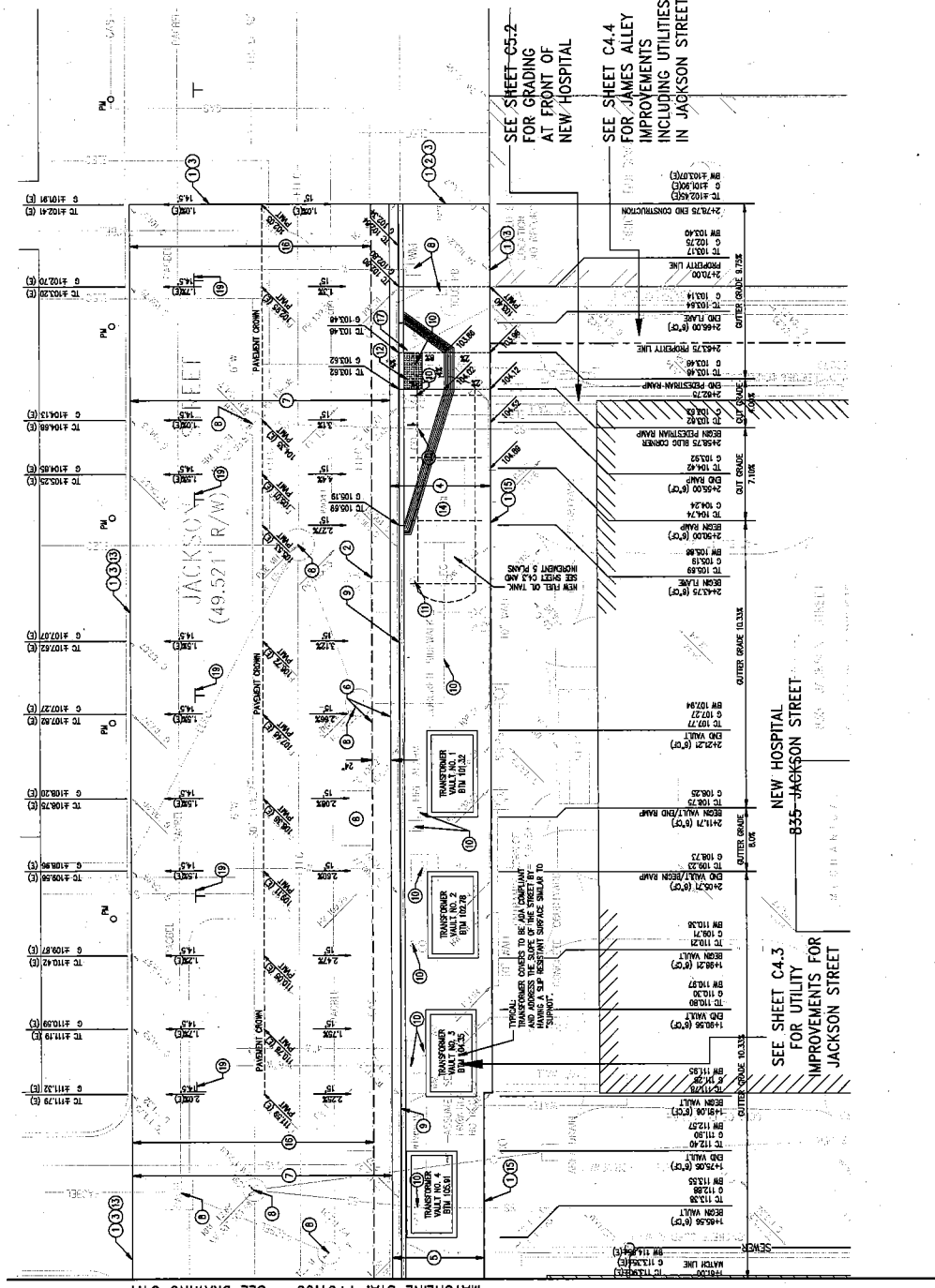


APPROVED  
 PROJECT NO. 16-072617  
 SHEET NO. C4.1



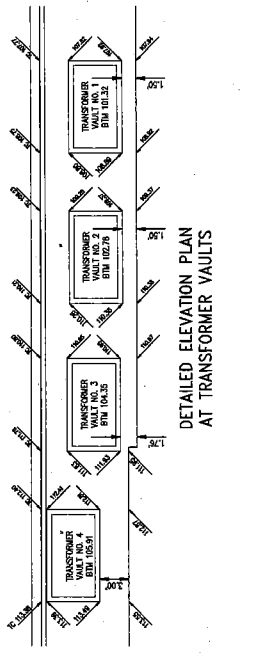
**CONSTRUCTION NOTES:**  
 (835 JACKSON STREET)

1. LIMIT OF WORK
2. SWATCH LINE
3. MATCH EXISTING
4. REMOVE CURB, GUTTER AND SIDEWALK AND CONSTRUCT CONCRETE CURB WITH 3" MIN. CONC. GUTTER AND 3" MIN. CONC. SIDEWALK (OPTIONAL WITH 1" MIN. CONC. CURB AND 1" MIN. CONC. SIDEWALK)
5. REMOVE EXISTING SIDEWALK AND CONSTRUCT CONCRETE SIDEWALK WITH 3" MIN. CONC. GUTTER AND 3" MIN. CONC. SIDEWALK (OPTIONAL WITH 1" MIN. CONC. CURB AND 1" MIN. CONC. SIDEWALK)
6. REMOVE PAVING AND BASE AND CONSTRUCT 8" CONCRETE BASE.
7. PLACE 3" AS PAVING TO GRASS SWATCH
8. PLACE 3" AS PAVING TO GRASS SWATCH, VALVE COVERS, ETC. TO THE PLANE OF THE NEW PAVED SURFACE.
9. BUILT CURB WITH APPROXIMATE CITY OF SAN FRANCISCO STRENGTH INDICATING THE AREA FROM STATION 1+45 TO 1+58.75 ON JACKSON STREET AS A PASSENGER LANDING ZONE.
10. EXISTING STRUCTURES AND MATERIALS TO BE REMOVED PER THE REQUIREMENTS OF THE RESPECTIVE UTILITY ENTITY.
11. REMOVE STREET LIGHT AND BASE.
12. CONSTRUCT 17.5 FOOT WIDE COMBINATION AUTOMOBILE RAMP AND PEDESTRIAN RAMP WITH 3" CONC. CURB AND 3" CONC. SIDEWALK AND GRADED BORDER.
13. PROTECT EXISTING CURB IN PLACE.
14. EXISTING TRANSFORMER VAULT TO BE REMOVED. COORDINATE WITH PG & E.
15. MATCH GRUBS AT NEW HOSPITAL BUILDING.
16. GRUBS/PLANE 3/4" OF EXISTING PAVING PER CITY STANDARD. THE DEPTH OF GRUBS/PLANE TO BE 3/4" BELOW PROPOSED FINISH GRADE.
17. RELOCATE STREET NAME SIGN TO (17A)
18. NOT USED
19. 4" WIDE WHITE PAINTED SPACE MARKINGS, CROSSING WITH OPT PRIOR TO PAINTING IN CASE OF PARKING METER REDUCTIONS.



**GENERAL NOTES:**

1. ALL CONSTRUCTION TO BE UNDERTAKEN IN ACCORDANCE WITH THE CITY OF SAN FRANCISCO STANDARD DETAILS AND SPECIFICATIONS.
2. ELEVATIONS ARE ON CITY OF SAN FRANCISCO DATUM.
3. CONTRACTOR TO MAINTAIN PEDESTRIAN ACCESS AND PEDESTRIAN LANDING AND UNLOADING SPACE AT ALL TIMES EXCEPT WHERE SHOWN OTHERWISE. CONTRACTOR IS TO COORDINATE WITH HISTORICAL STAFF FOR ALTERNATE ACCESS.
4. CONTRACTOR IS TO MAINTAIN PEDESTRIAN ACCESS AT ALL TIMES EXCEPT WHERE SHOWN OTHERWISE. CONTRACTOR IS TO COORDINATE WITH HISTORICAL STAFF FOR ALTERNATE ACCESS.
5. SEE STRUCTURAL AND WATERPROOFING PLANS FOR ADDITIONAL CONSTRUCTION REQUIREMENTS IN THE VICINITY OF JACKSON STREET AND STONE STREET.



MATCHLINE STA. 1+61.00 ~ SEE DRAWING C4.1





**CHINESE HOSPITAL**  
**HOSPITAL**  
 848 JACKSON STREET  
 SAN FRANCISCO, CA

CDHPD # 16-07217  
 Facility Number 1461  
**NEW ACUTE CARE HOSPITAL & SKILLED NURSING UNIT**

**JACOBS**  
 8688 North Center Expressway  
 Suite 400, Dallas, TX 75246  
 Phone: 214-424-7500

**CONSULTANTS:**  
 AMF  
 MAZZETTI & ASSOCIATES  
 10110 Wilshire Blvd., Suite 300  
 Beverly Hills, CA 90210

**OWNER CONSULTANTS:**  
 NCA ENGINEER  
 NCA ARCHITECT  
 THURLOW & WELLS

BD SET 07-



**KEY:**  
 1. NEW CONSTRUCTION  
 2. EXISTING CONSTRUCTION  
 3. TO BE DEMOLISHED  
 4. TO BE MAINTAINED  
 5. TO BE REPAIRED  
 6. TO BE REPLACED  
 7. TO BE MODIFIED  
 8. TO BE ADDED

Issued For:	By:	Date:
CITY PERMITS	MAZETTI	03/11/10
CONTRACT ADMINISTRATION	MAZETTI	03/11/10
CONTRACT ADMINISTRATION	MAZETTI	03/11/10
CONTRACT ADMINISTRATION	MAZETTI	03/11/10
CONTRACT ADMINISTRATION	MAZETTI	03/11/10
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CONTRACT ADMINISTRATION	MAZETTI	03/11/10
CONTRACT ADMINISTRATION	MAZETTI	03/11/10
CONTRACT ADMINISTRATION	MAZETTI	03/11/10

Scale and Symbols

The signature of each registered professional engineer or architect is required to be stamped on the drawings and to be accompanied by the appropriate seal or stamp.



APPROVED  
 PROJECT NUMBER: 03/11/10  
 DRAWING NUMBER: 03/11/10



PROJECT NUMBER: 03/11/10  
 DRAWING NUMBER: 03/11/10

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 DRAWING NUMBER: 03/11/10

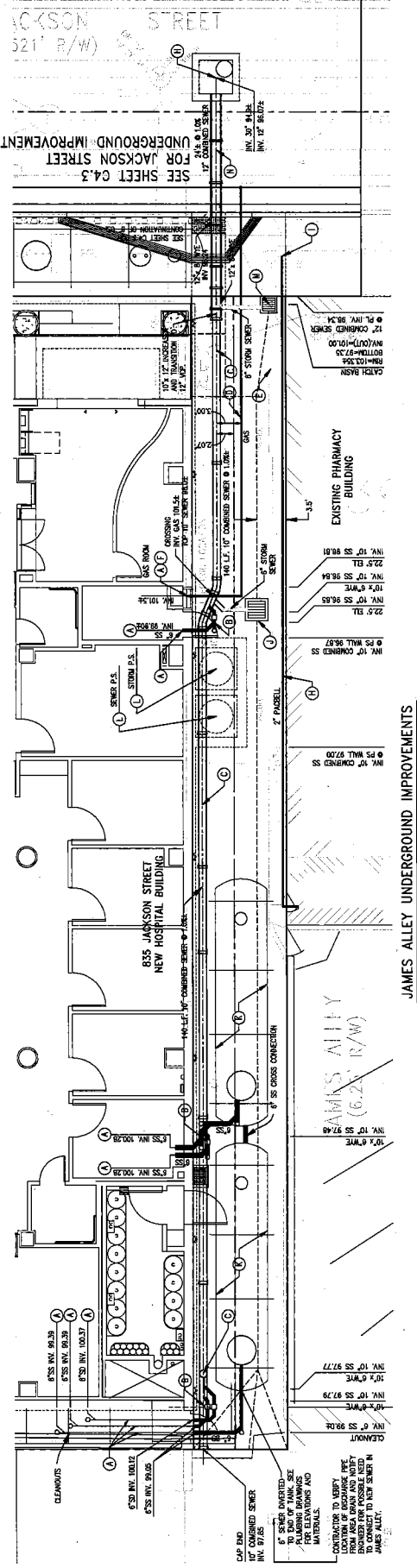
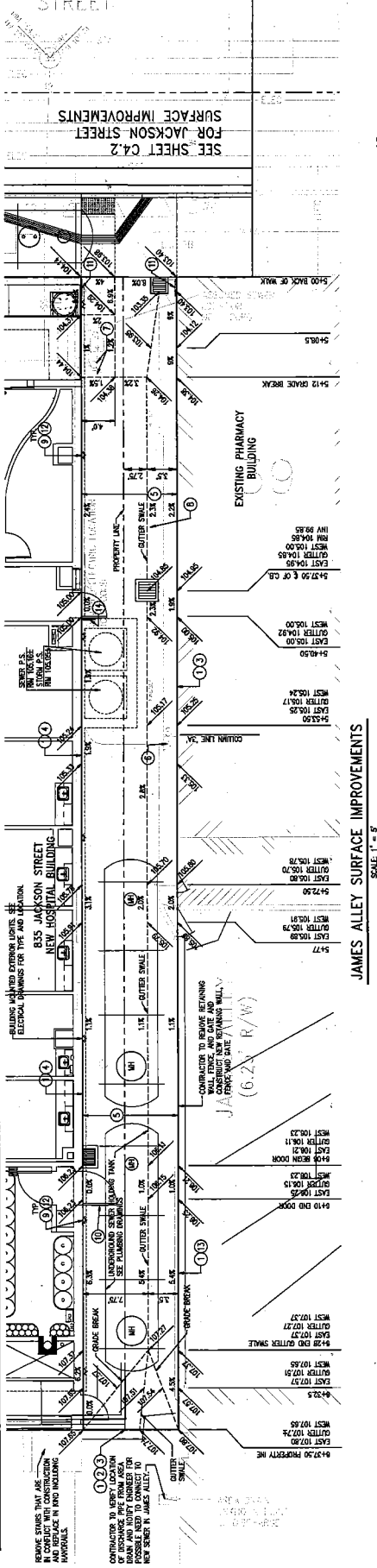
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PROJECT NUMBER: 03/11/10  
 DRAWING NUMBER: 03/11/10



- GENERAL NOTES:**
- ALL CONSTRUCTION TO BE UNDERTAKEN IN ACCORDANCE WITH THE CITY OF SAN FRANCISCO STANDARDS AND SPECIFICATIONS.
  - ELEVATIONS ARE ON CITY OF SAN FRANCISCO DATUM.
  - SEE WORKSHEET 5 PLANS FOR PLUMBING AND ELECTRICAL INFORMATION.
    - A. FUEL STORAGE TANK AND APPURTENANCES.
    - B. GAS LINE.
    - C. GAS SERVICE LINE TAKE INTERCONNECT PRESSURE.
    - D. ELECTRICAL AND CONTROL LINES.
    - E. SAFETY SHOWER SPRINKLER FROM FACE OF BUILDING TO STORAGE TANK.
  - TWO PUMP STATIONS, SEE STRUCTURAL, ELECTRICAL AND PLUMBING PLANS FOR PUMP STATIONS AND CONDUIT SCHEDULES FOR PUMP STATIONS AND TO HAVE A 3/4" RESISTANT SURFACE.
  - INSTALL 1/2" DIA. CATCH BASIN/AND TRAP, CENTRAL PRECAST OR EQUAL, WITHOUT CLEANOUT AND WITH CAST IRON TRAP, ORATE TO BE ADA COMPLIANT AND TRUCK LOAD CAPACITY WITH LOCKING DEVICES.
  - 1/2" EXTRA STRENGTH WPC PIPE COMBINED SEWER.
  - NOT USED.

- CONSTRUCTION NOTES: (JAMES ALLEY UTILITIES)**
- SEE PLUMBING PLANS FOR HORIZONTAL AND VERTICAL LOCATION OF UTILITIES FOR CONSTRUCTION OF EXCHANGE PIPE AND TO HAVE A 3/4" RESISTANT SURFACE.
  - CONSTRUCT WPC SEWER AND STORM TRAP LATERALS WITH FRESH AIR INLET AND TRAP. SEE PLUMBING PLANS, SEE WORKSHEET 5 PLANS.
  - CONSTRUCT 10" DUCTILE IRON COMBINED SEWER WITH CLEANOUT.
  - CONSTRUCT GAS SERVICE LINE, SEE PLUMBING PLANS FOR ALL CONSTRUCTION INFORMATION, SEE WORKSHEET 5 PLANS.
  - RELOCATE NEW TELEPHONE CONDUITS, CONDUITS, ETC. COORDINATE WITH AIRT FOR TEMPORARY SERVICE DURING CONSTRUCTION PERIOD.
  - INSTALL BOLLARDS PER PG & E STANDARDS TO PROTECT GAS LINE RISERS.
  - NOT USED.
  - CONSTRUCT TEMPORARY WALLS FOR THE WIDTH OF THE CONSTRUCTION PERIOD, SEE PLUMBING PLANS FOR THE LOCATION OF THE UPPER HALF OF 30" PIPE LEAVING BOTTOM HALF AS THE FLOWLINE OF THE MAINLINE, THEN COMPLETE THE MAINLINE CONSTRUCTION.
  - CONNECT TO EXISTING ATRAT BOX.
  - INSTALL 24" DIA. CATCH BASIN/AND TRAP, CENTRAL PRECAST OR EQUAL, WITHOUT CLEANOUT AND WITH CAST IRON TRAP, ORATE TO BE ADA COMPLIANT AND TRUCK LOAD CAPACITY WITH LOCKING DEVICES.
  - REMOVE EXISTING TRAFFIC LIGHT, INSTALL A "NO PARKING ANY TIME" SIGN, A "DIMMER COMPRESSED GAS" SIGN, AND A "NO SMOKE" SIGN.
  - ON THE OUTSIDE OF THE DOOR ATTACH A "NO SMOKE" SIGN.
  - ON THE OUTSIDE FACE OF THE PHARMACY BUILDING, INSTALL AN EMERGENCY VESSEL ONLY SINK.
  - INSTALL A SINGLE INCH DUCTILE IRON BELOW EACH BUILDING MOUNTED LIGHT TO BE USED FOR ILLUMINATION OF THE WALKWAY TO THE DOOR.
  - REMOVE EXISTING TRAFFIC LIGHT, INSTALL A "NO PARKING ANY TIME" SIGN, A "DIMMER COMPRESSED GAS" SIGN, AND A "NO SMOKE" SIGN.
  - ON THE OUTSIDE OF THE DOOR ATTACH A "NO SMOKE" SIGN.

- CONSTRUCTION NOTES: (JAMES ALLEY SURFACE IMPROVEMENTS)**
- LIMIT OF WORK.
  - SMOOTH LINE.
  - WATCH EXISTING.
  - REMOVE EXISTING PHARMACY BUILDING.
  - REMOVE CURB, GUTTER, SIDEWALK AND CONSTRUCT 4" THICK CONCRETE PAVING ON 6" THICK CLASS 2 AGGREGATE BASE.
  - REMOVE STREET LIGHT, POLLARIS, CONDUIT, WIRES, ETC.
  - REMOVE TRAFFIC CONDUIT, WIRES, BUNDLES, ETC. COORDINATE WITH AIRT TO REMOVE TEMPORARY SERVICE.
  - REMOVE EXISTING TRAFFIC LIGHT, INSTALL A "NO PARKING ANY TIME" SIGN, A "DIMMER COMPRESSED GAS" SIGN, AND A "NO SMOKE" SIGN.
  - ON THE OUTSIDE OF THE DOOR ATTACH A "NO SMOKE" SIGN.
  - ON THE OUTSIDE FACE OF THE PHARMACY BUILDING, INSTALL AN EMERGENCY VESSEL ONLY SINK.
  - INSTALL A SINGLE INCH DUCTILE IRON BELOW EACH BUILDING MOUNTED LIGHT TO BE USED FOR ILLUMINATION OF THE WALKWAY TO THE DOOR.
  - REMOVE EXISTING TRAFFIC LIGHT, INSTALL A "NO PARKING ANY TIME" SIGN, A "DIMMER COMPRESSED GAS" SIGN, AND A "NO SMOKE" SIGN.
  - ON THE OUTSIDE OF THE DOOR ATTACH A "NO SMOKE" SIGN.

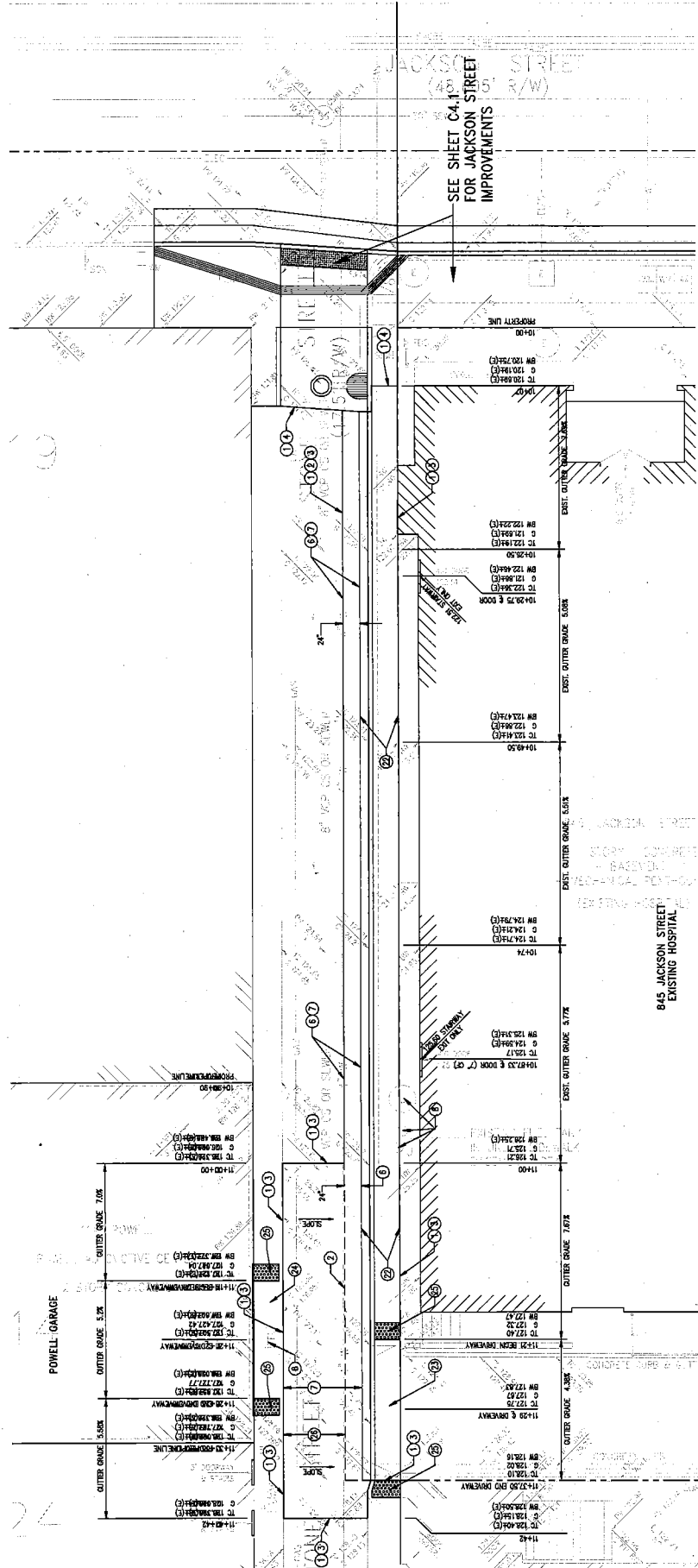
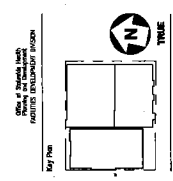
- CONSTRUCTION NOTES: (JAMES ALLEY SURFACE IMPROVEMENTS)**
- LIMIT OF WORK.
  - SMOOTH LINE.
  - WATCH EXISTING.
  - REMOVE EXISTING PHARMACY BUILDING.
  - REMOVE CURB, GUTTER, SIDEWALK AND CONSTRUCT 4" THICK CONCRETE PAVING ON 6" THICK CLASS 2 AGGREGATE BASE.
  - REMOVE STREET LIGHT, POLLARIS, CONDUIT, WIRES, ETC.
  - REMOVE TRAFFIC CONDUIT, WIRES, BUNDLES, ETC. COORDINATE WITH AIRT TO REMOVE TEMPORARY SERVICE.
  - REMOVE EXISTING TRAFFIC LIGHT, INSTALL A "NO PARKING ANY TIME" SIGN, A "DIMMER COMPRESSED GAS" SIGN, AND A "NO SMOKE" SIGN.
  - ON THE OUTSIDE OF THE DOOR ATTACH A "NO SMOKE" SIGN.
  - ON THE OUTSIDE FACE OF THE PHARMACY BUILDING, INSTALL AN EMERGENCY VESSEL ONLY SINK.
  - INSTALL A SINGLE INCH DUCTILE IRON BELOW EACH BUILDING MOUNTED LIGHT TO BE USED FOR ILLUMINATION OF THE WALKWAY TO THE DOOR.
  - REMOVE EXISTING TRAFFIC LIGHT, INSTALL A "NO PARKING ANY TIME" SIGN, A "DIMMER COMPRESSED GAS" SIGN, AND A "NO SMOKE" SIGN.
  - ON THE OUTSIDE OF THE DOOR ATTACH A "NO SMOKE" SIGN.

Issued For	Date
CITY PERMITS	03/15
CITY PERMITS	03/11
CITY PERMITS	03/11
CITY PERMITS	03/11
CITY PERMITS	03/11
CITY PERMITS	03/11
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CITY PERMITS	03/11
CITY PERMITS	03/11
CITY PERMITS	03/11



The signature of each preparer only constitutes approval in the contract documents. It does not constitute approval of the work shown on the drawings. The preparer is responsible for the accuracy of the information provided to the preparer.

1000 MARKET STREET, SUITE 100  
 SAN FRANCISCO, CA 94102  
 (415) 774-1100  
 APPROVED



**GENERAL NOTES:**

1. ALL CONSTRUCTION TO BE UNDERTAKEN IN ACCORDANCE WITH THE CITY OF SAN FRANCISCO STANDARD DETAILS AND SPECIFICATIONS.
2. ELEVATIONS ARE ON CITY OF SAN FRANCISCO DATUM.
3. CONTRACTOR TO MAINTAIN PEDESTRIAN ACCESS AND PEDESTRIAN LOADING AND UNLOADING SPACE IN FRONT OF EXISTING HOSPITAL BUILDING. CONTRACTOR TO MAINTAIN ACCESS TO HOSPITAL FROM JACKSON STREET. CONTRACTOR IS TO COORDINATE WITH HOSPITAL STAFF FOR ALTERNATE ACCESS.
4. CONTRACTOR IS CAUTIONED TO USE CARE IN WORKING ADJACENT STREET DUE TO THE PRESENCE OF AN UNDER-SIGNAL BASEMENT. SEE STRUCTURAL AND WATERPROOFING PLANS FOR ADDITIONAL CONSTRUCTION REQUIREMENTS IN THE VICINITY OF STONE STREET AND JACKSON STREET.

**CONSTRUCTION NOTES:**  
 (STONE STREET)

1. LIMIT OF WORK.
2. MATCH EXISTING.
3. MATCH IMPROVEMENTS ON SHEET C4.1.
4. REGRADE PAVING AND BASE, AND CONSTRUCT 6" CONCRETE BASE.
5. PAVES 2' AC PAVING.
6. ADJUST TOPS OF BRIBES, WALLS, CLEAVINGS, WALK OVERS, ETC. TO THE FINISH OF THE NEW PAVING SURFACE.
7. CONSTRUCT 18" WIDE, 6" THICK CONCRETE AUTOMOBILE RAMP.
8. CONSTRUCT 18" WIDE, 6" THICK CONCRETE AUTOMOBILE RAMP.
9. CONSTRUCT 18" WIDE, 6" THICK CONCRETE AUTOMOBILE RAMP.
10. APPLY A 24" LONG DOWEL SURFACE FOR THE FULL WIDTH OF THE SIDEWALK AT EACH END OF THE DRIVEWAY.
11. GROUND/PLANE 24" OF EXISTING PAVING PER CITY STANDARD. THE DEPTH OF GROUND/PLANE TO BE A MINIMUM OF 22" BELOW PROPOSED FINISH GRADES.

Item No.	Desc.	Units	Quantity	Unit Price	Total Price
1	CITY DRAINAGE	LS	1.00	0.00	0.00
2	CITY CONCRETE	LS	1.00	0.00	0.00
3	CONCRETE	LS	1.00	0.00	0.00
4	CONCRETE	LS	1.00	0.00	0.00
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7	CONCRETE	LS	1.00	0.00	0.00
8	CONCRETE	LS	1.00	0.00	0.00
9	CONCRETE	LS	1.00	0.00	0.00
10	CONCRETE	LS	1.00	0.00	0.00
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98	CONCRETE	LS	1.00	0.00	0.00
99	CONCRETE	LS	1.00	0.00	0.00
100	CONCRETE	LS	1.00	0.00	0.00



The Signature of ICA represents  
 and certifies that the work shown  
 on this drawing was prepared by  
 or under the direct supervision of  
 the undersigned and that the undersigned  
 is a duly Licensed Professional Engineer  
 in the State of California.

APPROVED  
 ICA ENGINEERS, INC.  
 1000 MARKET STREET  
 SAN FRANCISCO, CA 94102  
 (415) 774-1100

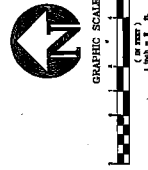
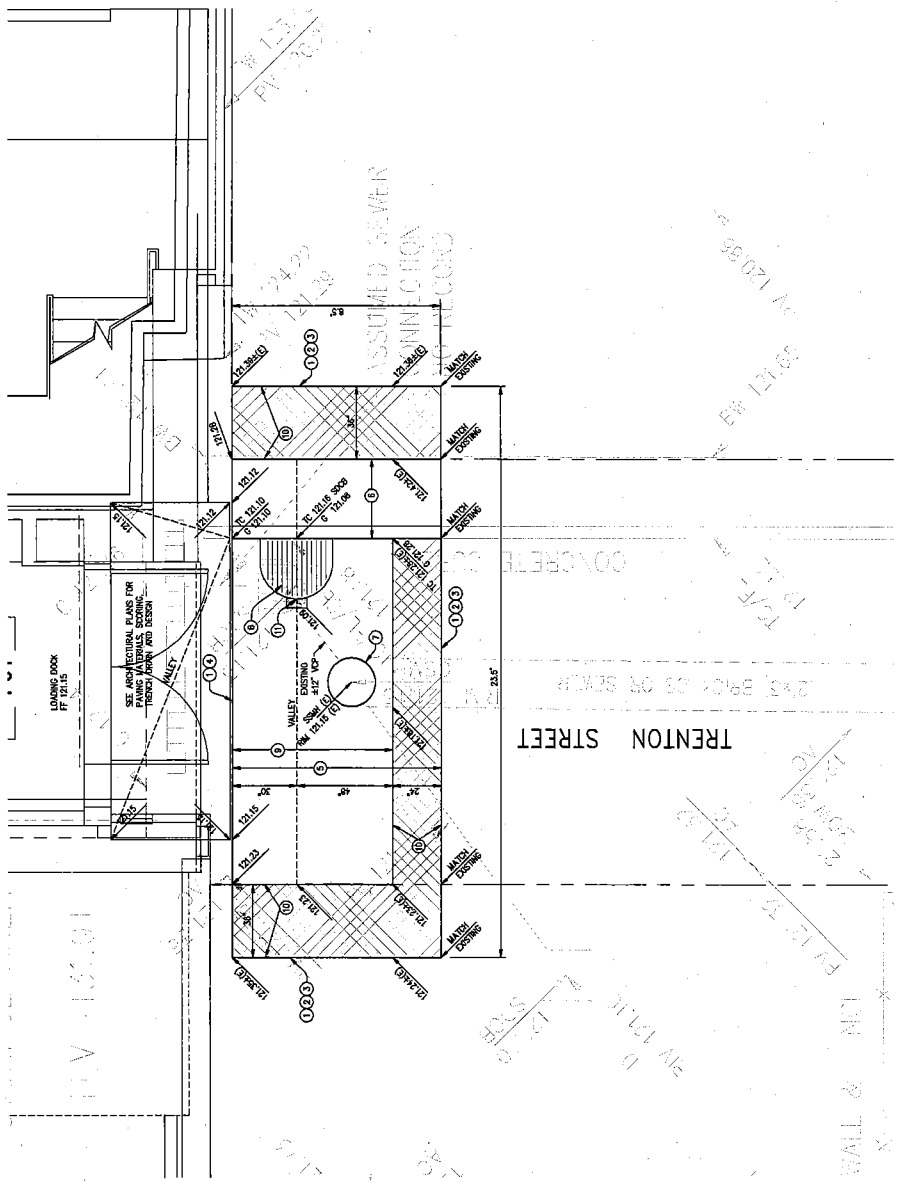
Project Name: **STREET IMPROVEMENTS TRENTON STREET**  
 Project Number: 03-1338  
 Drawing Number: **C4.6**  
 Date: 10/27/70

**CONSTRUCTION NOTES:**

1. LIMIT OF WORK.
2. SAWCUT LINE.
3. MATCH EXISTING.
4. MATCH LOADING RAMP FOR NEW HOSPITAL BUILDING.
5. REPAIR PAVING BASE, TUSHI CURB, SIDEWALK, ETC.
6. CONSTRUCT CONCRETE CURB WITH 3/4" WIRE CONCRETE SCHEDULE (TYPICAL WIDTH 33").
7. ADJUST MARKING OVER INTO THE PLANE OF THE NEW PAVING.
8. REMOVE EXISTING CATCH BASIN AND CONSTRUCT STANDARD CITY CATCH BASIN WITHOUT CURB INLET AND WITH CAST IRON TRAP.
9. CONSTRUCT 8" THICK CONCRETE VALET CUTTER WITH #4 BARS AND 1/2" SAND FILL WITH 1/2" SPACING TO FORMS SHOWN ON 3" CONCRETE BASE.
10. CONSTRUCT 3" THICK AS PAVING ON 6" CONCRETE BASE.
11. CONTRACTOR TO VERIFY EXISTING ELEVATIONS AND ELEVATION OF THE PROPOSED SURFACE COURSE.
12. THE EXISTING ELEVATIONS.
13. NEW PAVING AND STRIPING HAS RECENTLY BEEN CONSTRUCTED BY THE ADVISORY SCHOOL CONTRACTOR TO REPLACE ANY STRIPING DAMAGED BY CONSTRUCTION.

**GENERAL NOTES:**

1. ALL CONSTRUCTION TO BE ACCORDANCE WITH SPECIFICATIONS WITH THE CITY OF SAN FRANCISCO STANDARD DETAILS AND SPECIFICATIONS.
2. ELEVATIONS ARE ON CITY OF SAN FRANCISCO DATUM.
3. CONTRACTOR IS TO EXERCISE CARE WHILE WORKING IN THIS AREA BECAUSE OF THE PRESENCE OF SURFACE CURBING.
4. THE EXISTING ELEVATIONS.
5. NEW PAVING AND STRIPING HAS RECENTLY BEEN CONSTRUCTED BY THE ADVISORY SCHOOL CONTRACTOR TO REPLACE ANY STRIPING DAMAGED BY CONSTRUCTION.

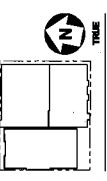


Issued For	Date
CITY PERMITS	08/17/16
CITY PERMITS	08/17/16
CONTRACTOR	08/17/16
FOR REVIEW	08/17/16
SUPPLIER SUBMITTALS	08/17/16



The signature of James W. Smith is hereby certified to be the signature of the registered professional engineer who prepared this plan and who is responsible for the technical content of this plan.

APPROVED  
 JAMES W. SMITH  
 REGISTERED PROFESSIONAL ENGINEER  
 STATE OF CALIFORNIA  
 LICENSE NO. 47365  
 MECHANICAL

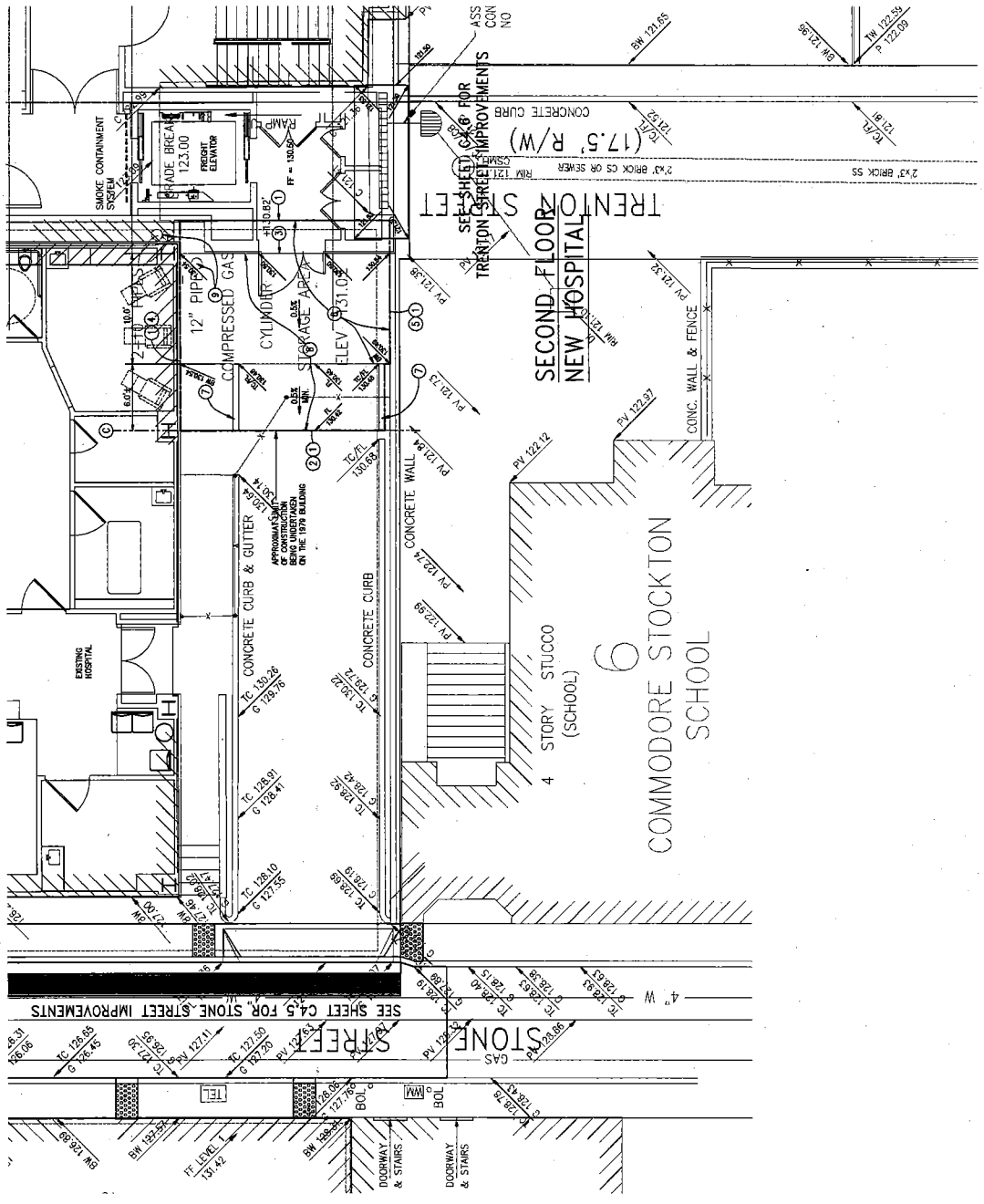
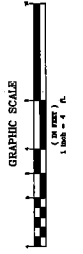


**CONSTRUCTION NOTES:**

1. LIMIT OF WORK
2. MATCH EXISTING
3. MATCH PROPOSED HOSPITAL
4. MATCH EXISTING HOSPITAL
5. MATCH EXISTING WALL
6. REMOVE FENCING, TEMPORARY PAVING, CURB, SIDEWALK AND MEDICAL GAS ENCLOSURES.
7. CONSTRUCT NEW CURB. APPLY TO EXISTING STRUCTURE PER CALTRANS STANDARD A87 WITH 8" LONG #4 DOWELS GROUTED INTO HOLES AT 4' SPACING.
8. CONSTRUCT CONCRETE PAVING AS NECESSARY TO CONFORM TO GRADES SHOWN. AFTER RELOCATION THE ENGINEER WILL ISSUE A SKETCH ADJUSTING GRADES IF NECESSARY TO MINIMIZE THE IMPACT ON THE BASEMENT STRUCTURE. CONCRETE PAVING TO HAVE A BROOMED FINISH WITH APPROXIMATELY 36" SPACING ON SCORE LINES.
9. PROTECT EXISTING PIPES IN PLACE.

**GENERAL NOTES:**

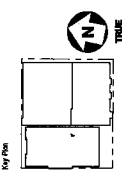
1. ALL CONSTRUCTION TO BE UNDERTAKEN IN ACCORDANCE WITH THE CITY OF SAN FRANCISCO STANDARD DETAILS AND SPECIFICATIONS. ELEVATIONS ARE ON CITY OF SAN FRANCISCO DATUM.
2. CONTRACTOR IS CAUTIONED TO USE EXTREME CARE WHILE WORKING IN EXISTING MEDICAL GAS FACILITIES TO BE RELOCATED IN ACCORDANCE WITH PLANS BEING PREPARED BY OTHERS.
3. PRIOR TO PLACING NEW PAVING, ARCHITECT WILL DETERMINE IF A WATER PROOFING MEMBRANE NEEDS TO BE INSTALLED.
4. THIS WORK TO BE COORDINATED WITH THE DESIGN PROVIDED BY PERKINS EASTMAN ARCHITECTS FOR THE 1970 BUILDING WHICH WILL PROBABLY HAVE BEEN COMPLETED AT THE TIME THIS WORK IS TO BE UNDERTAKEN.



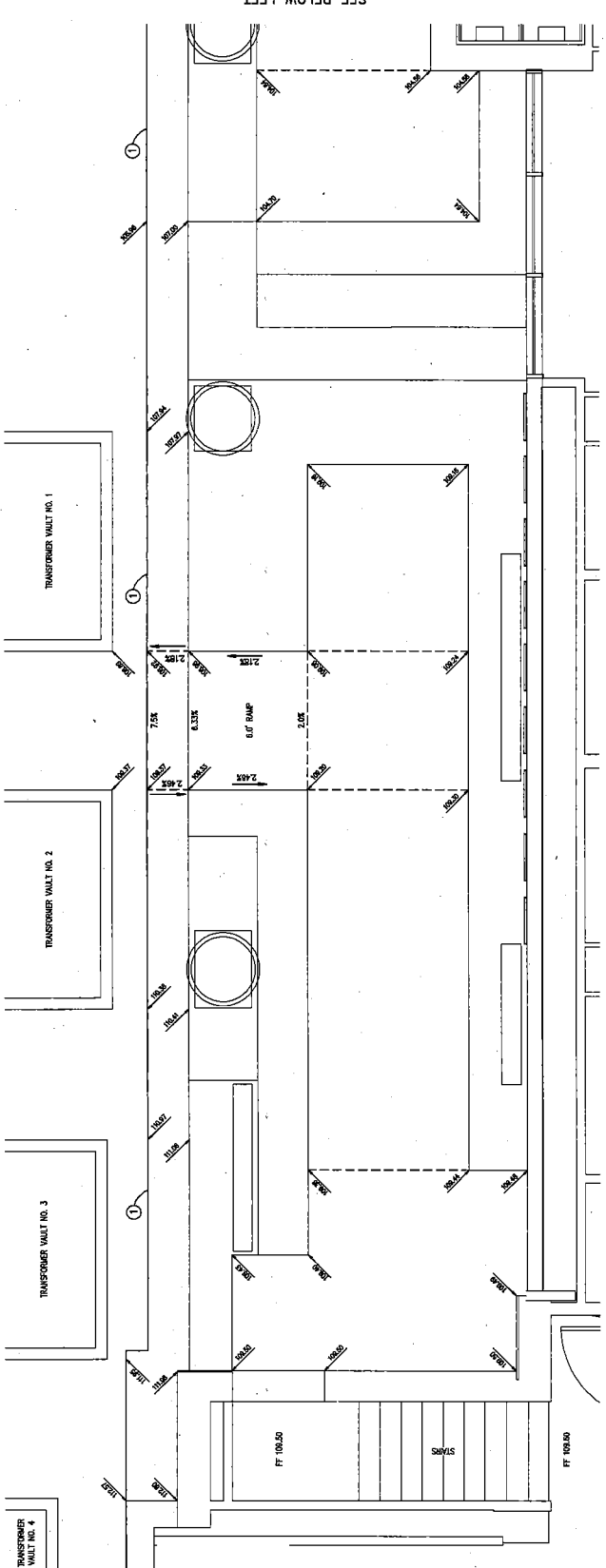
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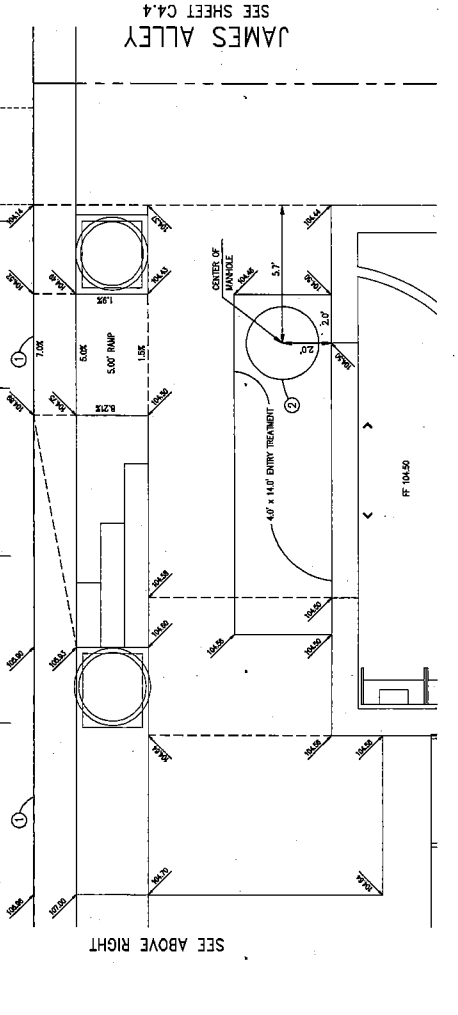
The signature of KCA represents the professional seal of the Engineer and the seal of the Engineer is not to be used for any other project or for any other purpose.



**JACKSON STREET**  
 SEE SHEET C4.2 & C4.3 FOR  
 JACKSON STREET IMPROVEMENTS



**JACKSON STREET**  
 SEE SHEET C4.2 & C4.3 FOR  
 JACKSON STREET IMPROVEMENTS

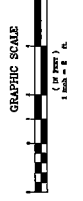


**GENERAL NOTES:**

- THIS PLAN IS FOR DETERMINING ELEVATIONS FOR THE TOPPING SLAB/FINISH SURFACE ONLY. SEE ARCHITECTURAL PLANS FOR PAVING MATERIALS, STAIR DETAILS, DRAINAGE AND ALL OTHER CONSTRUCTION ITEMS.
- CONTRACTOR TO VERIFY THE LOCATION OF COLUMNS AND BEAMS AND NOTIFY ENGINEER, SO THAT FINISH GRADES CAN BE ADJUSTED TO AVOID AVOID COMPROMISE.

**CONSTRUCTION NOTES:**

- MATCH NEW STREET CONSTRUCTION
- 3" ACCESS MANHOLE TO FIRE PROTECTION STORAGE TANK. SEE ARCHITECTURAL PLANS FOR SURFACE TREATMENT OF THE MANHOLE. CONSTRUCTION DETAILS FOR MANHOLE FRAME.



**PRELIMINARY PLAN**  
 FOR REVIEW ~ 01.28.13

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Scale of Symbols

**PROVISIONS**  
 This Agreement is made in accordance with the provisions of the contract documents and shall be subject to the provisions of the contract documents.



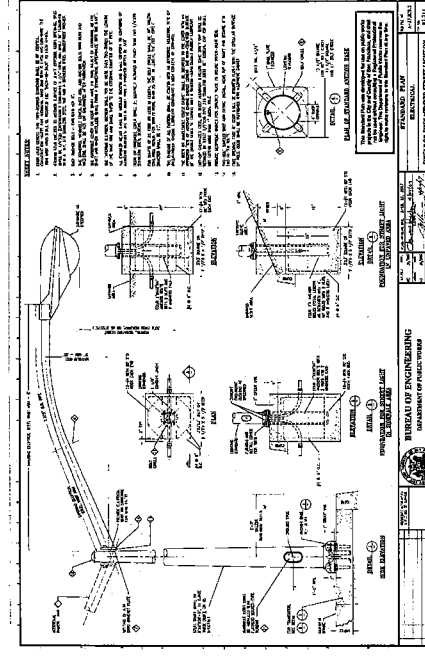
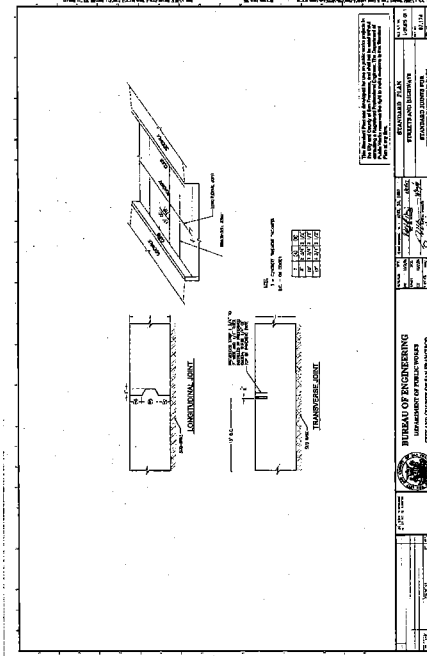
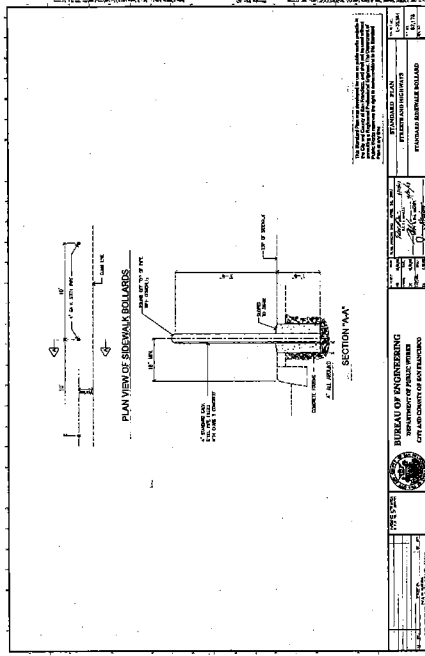
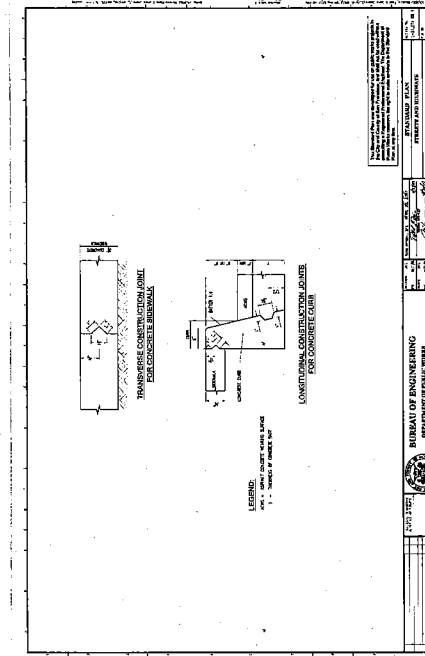
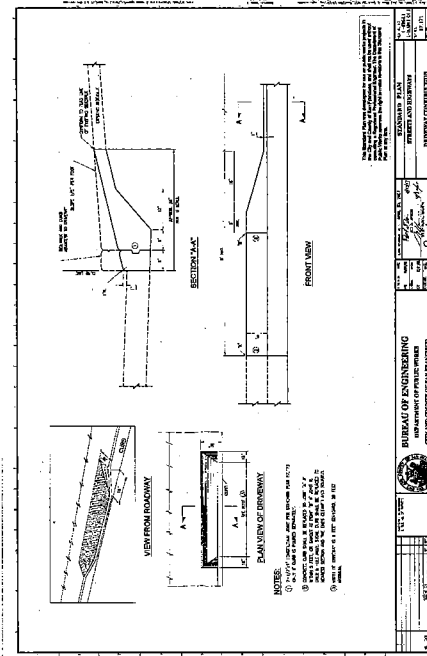
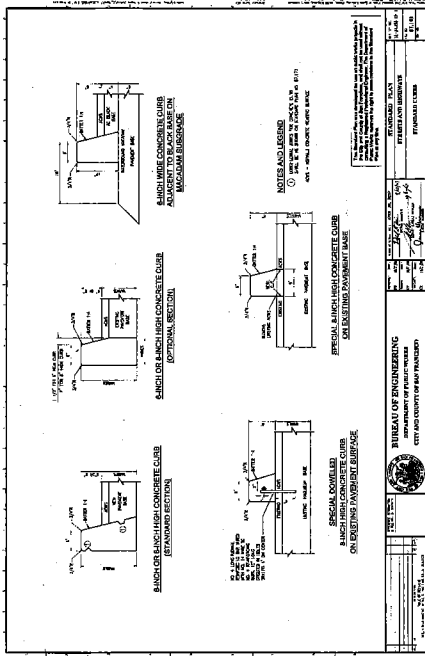
APPROVED  
 ICA ENGINEERS, INC.  
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 State of California  
 License No. 10000

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 Drawing Title: DETAILS  
 Drawing No.: 000000



Project Number: 000000  
 Drawing Title: DETAILS  
 Drawing No.: 000000

Project Number: 000000  
 Drawing Title: DETAILS  
 Drawing No.: 000000



**CHINESE HOSPITAL**  
 845 JACKSON STREET  
 SAN FRANCISCO, CA

OBP# 18-072677  
 Facility Number: 14621  
**NEW ACUTE CARE HOSPITAL & SKILLED NURSING UNIT**

**JACOBS**  
 688 North Canal Expressway  
 Dallas, TX 75208  
 Phone: 214.424.7500

CONSULTANTS:  
**ADIP**  
**MAZZETTI & ASSOCIATES**  
 ARCHITECTS

OWNER CONSULTANTS:  
**ICA ENGINEERS**  
**TRINAVELLA PCL**

BID SET 01

**ICA ENGINEERS INC.**  
 CONSULTING ENGINEERS & LAND SURVEYORS  
 1010 CALIFORNIA STREET  
 SAN FRANCISCO, CA 94108  
 PHONE: 415.774.5500  
 FAX: 415.774.5501

Scale as Specified

**EXPLANATION**  
 The Agreement of Plans incorporated herein is a part of the contract documents for the project and is hereby approved for the project.

**APPROVED**  
 ICA ENGINEERS INC.  
 CONSULTING ENGINEERS & LAND SURVEYORS

**APPROVED**  
 MAZZETTI & ASSOCIATES  
 ARCHITECTS

Project Name: **C68.2**

Project Number: **06348**

Project Name: **C68.2**

Project Number: **06348**

Project Name: **C68.2**

Project Number: **06348**

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Project Name: **C68.2**

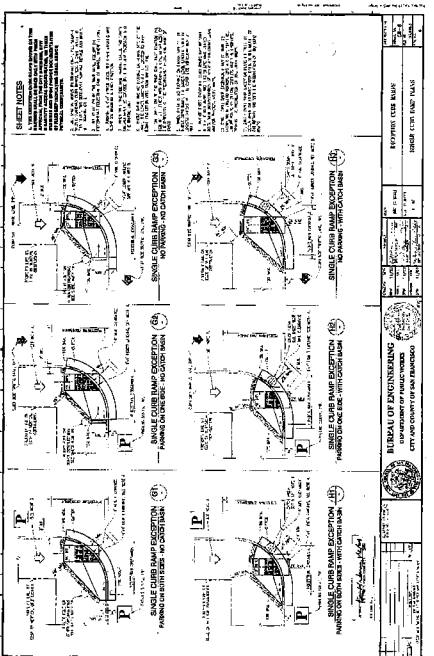
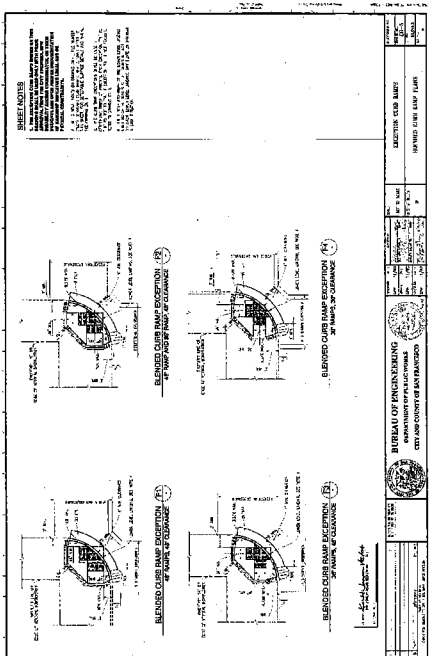
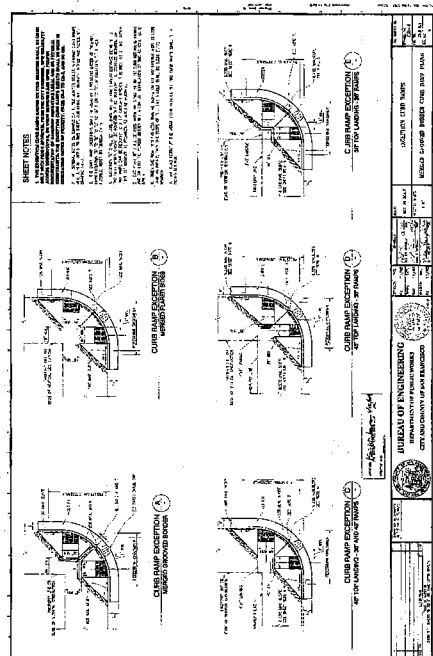
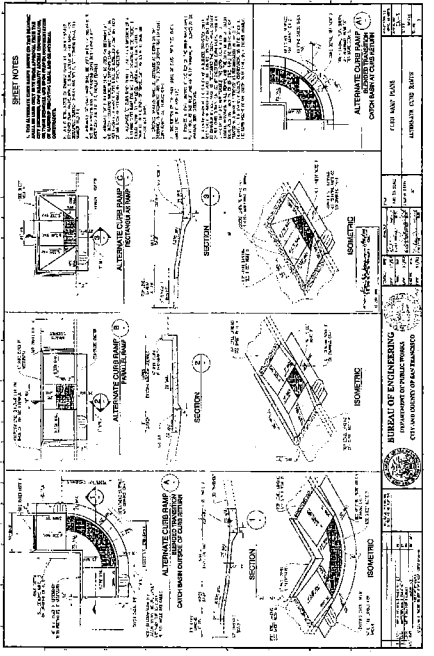
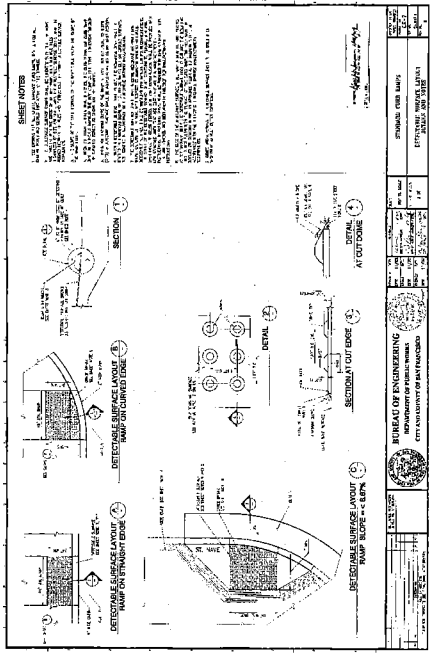
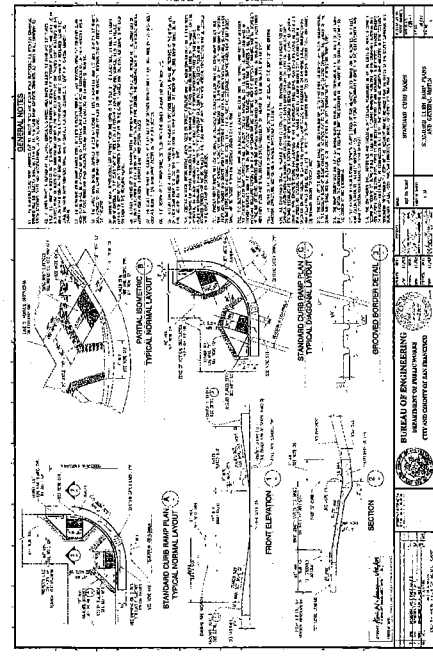
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Project Name: **C68.2**

Project Number: **06348**

Project Name: **C68.2**

Project Number: **06348**



**CHINESE HOSPITAL**  
 845 JACKSON STREET  
 SAN FRANCISCO, CA

OSHPD # 18-072677  
 Facility Number: 14651  
**NEW ACUTE CARE HOSPITAL & SKILLED NURSING UNIT**

**JACOBS**  
 6880 North Central Expressway  
 Suite 100, Redwood City, CA 94063  
 Phone: 314.424.7500

**CONSULTANT:**  
 MARGRETT & ASSOCIATES  
 1000 MARKET STREET  
 SAN FRANCISCO, CA 94102

**OWNER CONSULTANT:**  
 ICA ENGINEERS  
 1000 MARKET STREET  
 SAN FRANCISCO, CA 94102

BID SET 01

**ICA ENGINEERS, INC.**  
 CONSULTING ENGINEERS  
 & ARCHITECTS  
 1000 MARKET STREET  
 SAN FRANCISCO, CA 94102  
 PHONE: 415.774.2100  
 FAX: 415.774.2101

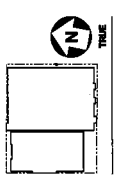
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**PRELIMINARY**  
 THE ISSUANCE OF EACH DRAWING IS SUBJECT TO THE APPROVAL OF THE BOARD OF SUPERVISORS OF THE CITY AND COUNTY OF SAN FRANCISCO. THIS DRAWING IS NOT TO BE USED FOR ANY OTHER PROJECT WITHOUT THE WRITTEN PERMISSION OF ICA ENGINEERS, INC.

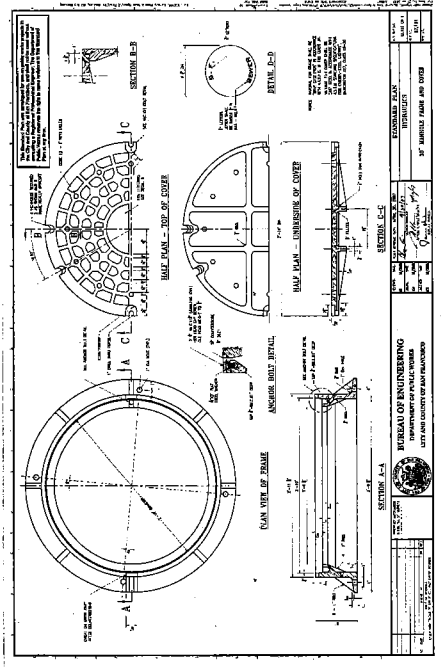
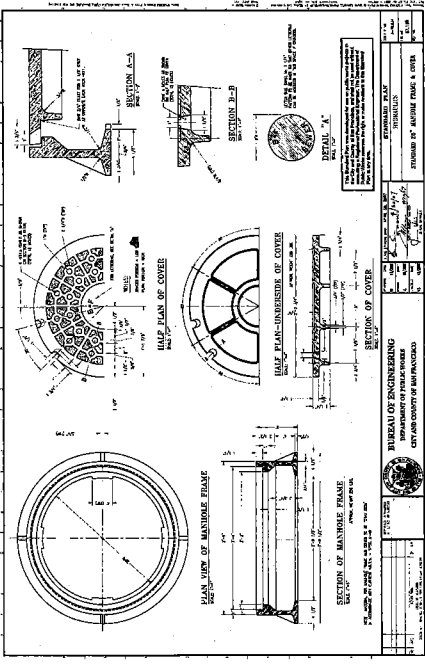
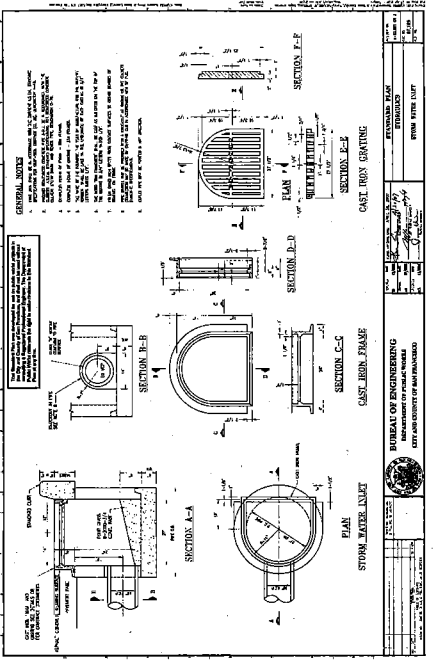
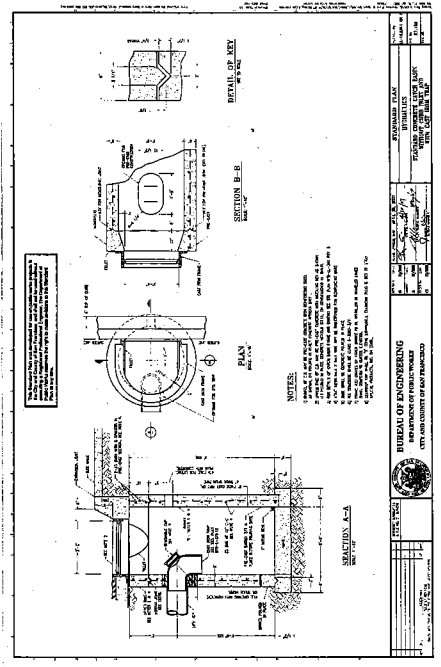
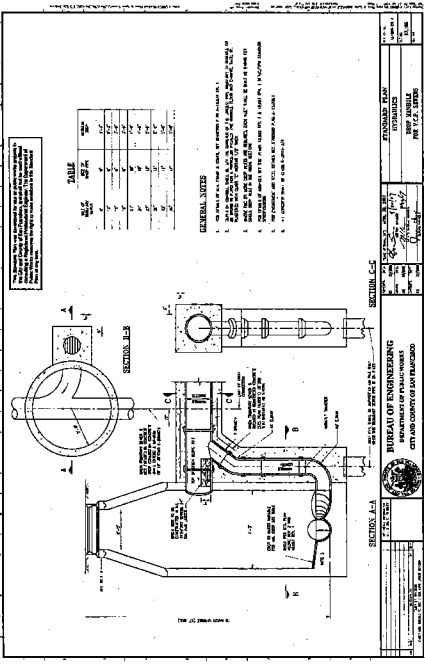
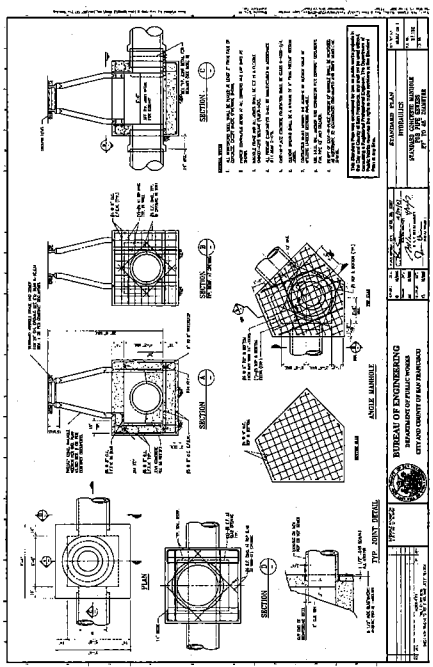


**APPROVED**  
 ICA ENGINEERS, INC.  
 1000 MARKET STREET  
 SAN FRANCISCO, CA 94102

**PROJECT NUMBER:** 06333  
**DRAWING NUMBER:** C6.3  
**DATE:** 10/1/00



**DETAILS**  
 BUREAU OF ENGINEERING  
 DEPARTMENT OF PUBLIC WORKS  
 CITY AND COUNTY OF SAN FRANCISCO





**CHINESE HOSPITAL**  
 848 JACKSON STREET  
 SAN FRANCISCO, CA  
 CEMPD # 18-072517  
 Facility Number 14021  
**NEW ACUTE CARE HOSPITAL & SKILLED NURSING UNIT**

**JACOBS**  
 688 North Deane Expressway  
 Dallas, TX 75208  
 Phone: 214.624.7500

CONSULTANT:  
**ASIP**  
**MAZETTE & ASSOCIATES**  
 11111 RAYBURN DRIVE  
 HOUSTON, TEXAS 77036

OWNER CONSULTANT:  
**KCA ENGINEERS**  
**CONSULTING ENGINEERS**  
**TRANSMISSIONS & ROLLY**  
 11111 RAYBURN DRIVE  
 HOUSTON, TEXAS 77036

BO SET 07

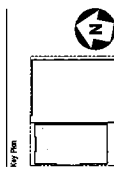
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**PRELIMINARY**  
 This drawing is a preliminary drawing and is not to be used for construction. It is subject to change without notice. The contractor shall verify all dimensions and conditions of the site and building before construction. The contractor shall be responsible for obtaining all necessary permits and approvals from the appropriate authorities.

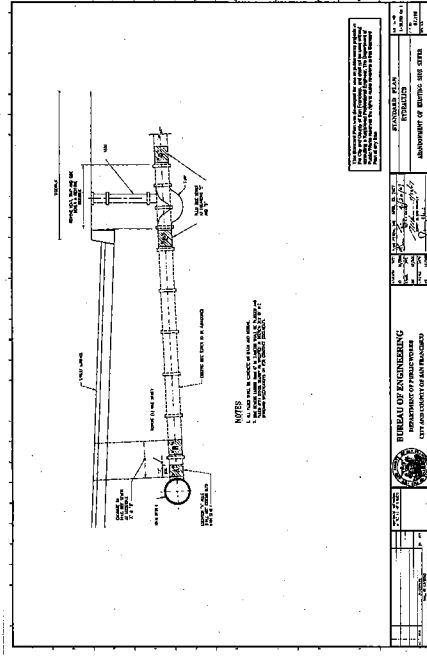
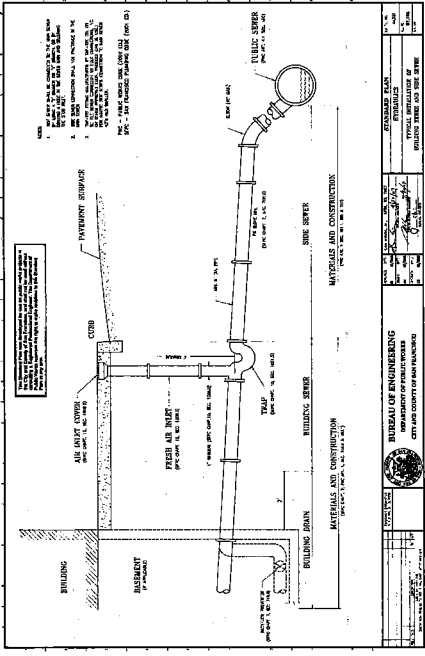
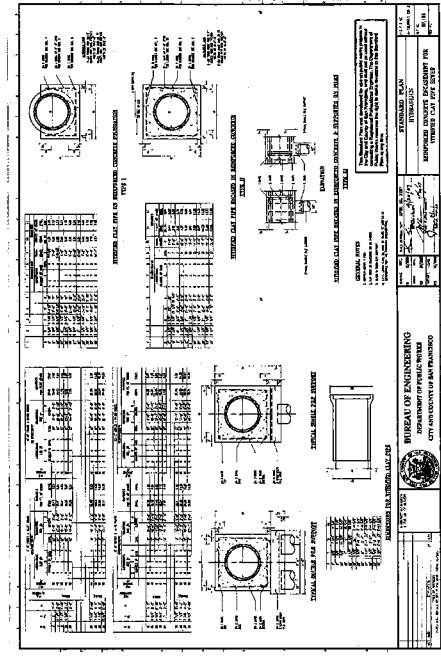
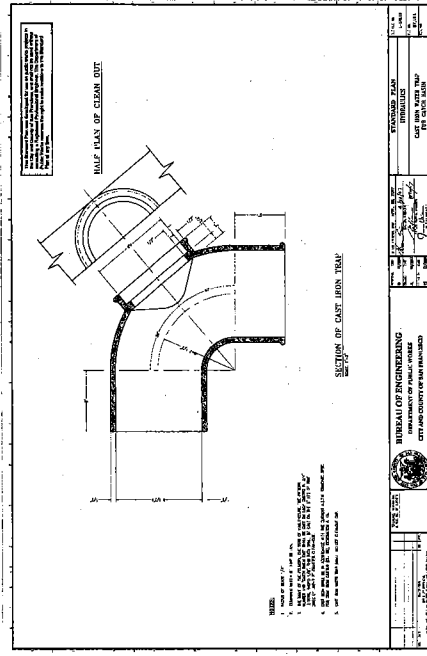
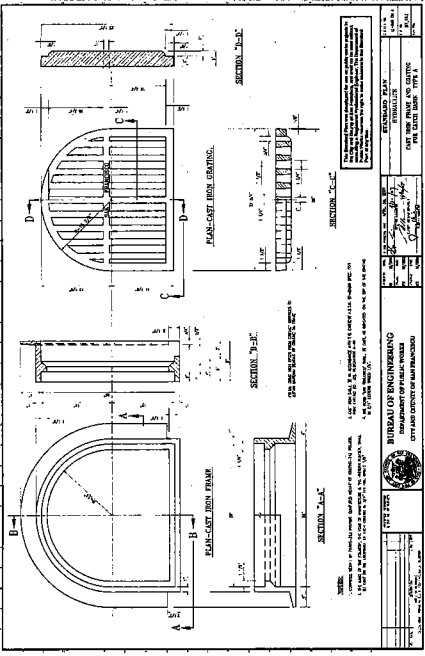


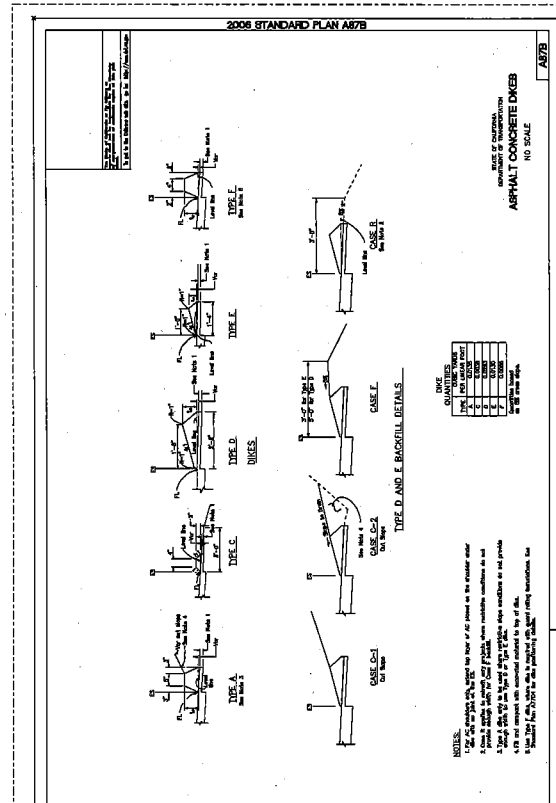
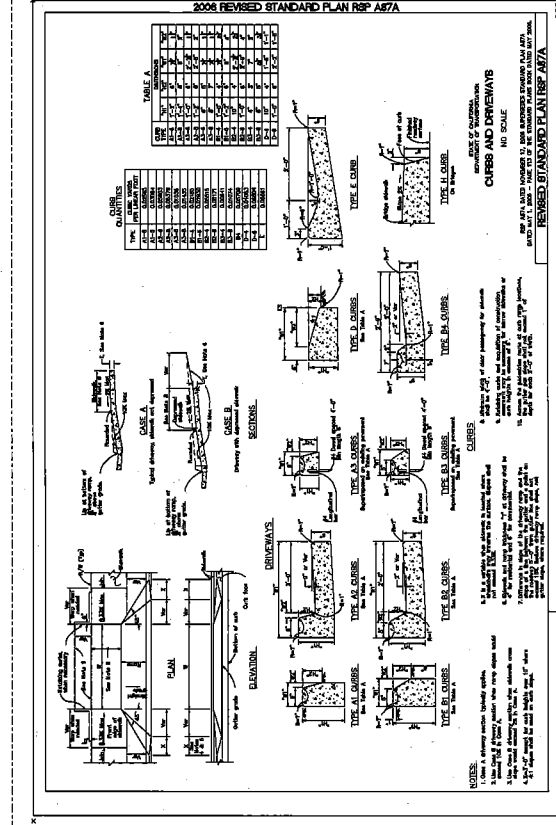
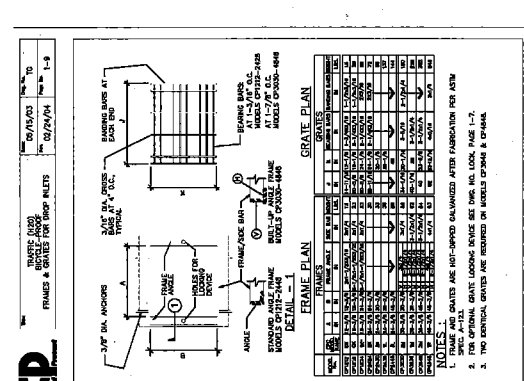
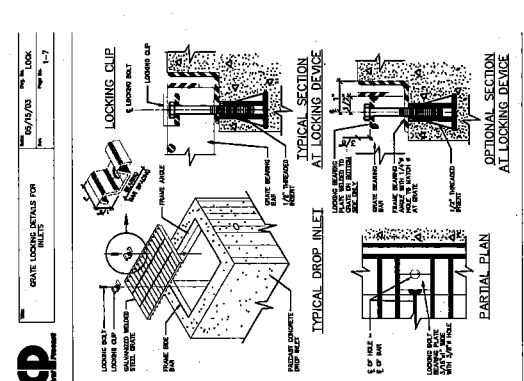
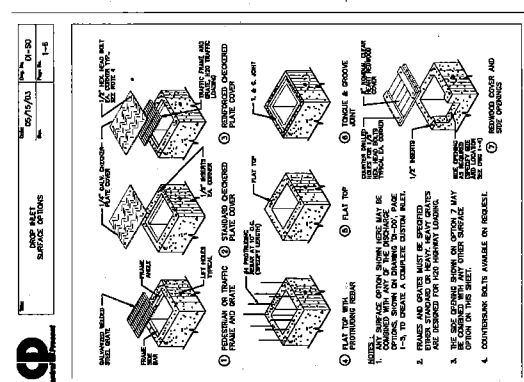
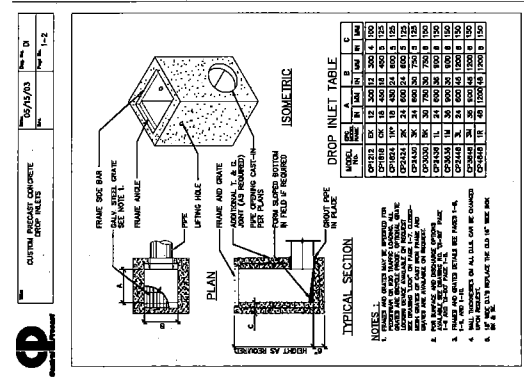
APPROVED  
 KCA ENGINEERS, INC.  
 11111 RAYBURN DRIVE  
 HOUSTON, TEXAS 77036

DATE: 05/01/74  
 DRAWING NO.: 05-100  
 SHEET NO.: 05-100-01



Project Number: 05-100  
 Drawing Number: 05-100-01  
**C6.4**  
 10/27/70





OSRPO #19-072017  
 Facility Number 14021  
**NEW ACUTE CARE HOSPITAL & SKILLED NURSING UNIT**

**JACOBS**  
 8868 North Central Expressway  
 Suite 400, 95128  
 Phone: 214.424.7500

**CONSULTANTS:**  
 ASIP  
 MACZETTL & ASSOCIATES  
 1000 MARKET STREET  
 SAN FRANCISCO, CA 94102

**OWNER CONSULTANT:**  
 KCA ENGINEERS  
 1000 MARKET STREET  
 THURSDAY, WA 98040

BID SET 07.

**KCA ENGINEERS, INC.**  
 CONSULTING CIVIL ENGINEERS  
 4 JARD SERRANO  
 1000 MARKET STREET  
 THURSDAY, WA 98040  
 TEL: 206.485.4300  
 FAX: 206.485.4301

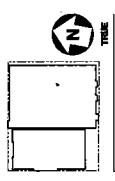
Issued For	Date
EXCISE BIDDING SHEETS	08.10.11
CITY PERMITS	08.10.11
CONTRACT	08.10.11
EMPLOYEE RESUBMITTALS	08.10.11

Side and Elevation



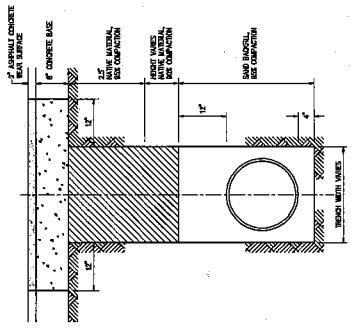
**GREENWAY**  
 The signature of every Greenway project is the commitment to the highest quality of workmanship and the most innovative solutions to the most demanding projects.

APPROVED  
 10/20/10

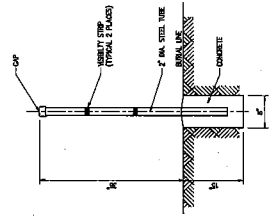
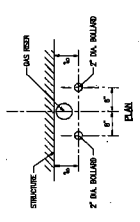


**DETAILS**  
 Project Number: 024338  
 Drawing Number: **C6.6**  
 Date: 10/20/10

1. THE EXISTING PAVEMENT SHALL BE SAW CUT.
2. THE BASE SHALL BE 4" PORTLAND CEMENT CONCRETE.
3. THE TRENCH WIDTH SHALL NOT EXCEED THE COURSE DETERMINED BY THE TRENCHING CONTRACTOR.
4. THE TRENCH PARALLEL WITH THE RESTORATION SHALL BE THE TRENCH WITH TWO FEET.

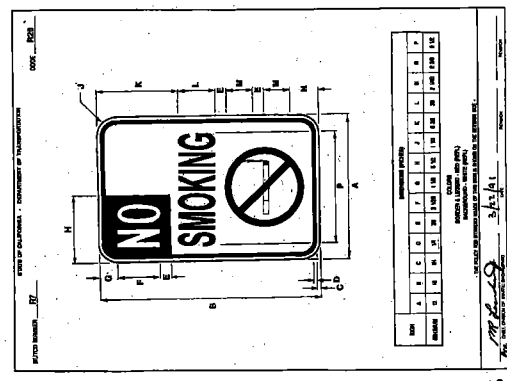


**TRENCH & PAVEMENT RESTORATION DETAIL**  
 NOT TO SCALE

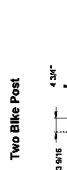


NOTE: UNLESS SHOWN OTHERWISE, ALL CURBS SHALL BE 18" HIGH. SEE SECTION C6.5 FOR CURB AND GUTTER RESTORATION.

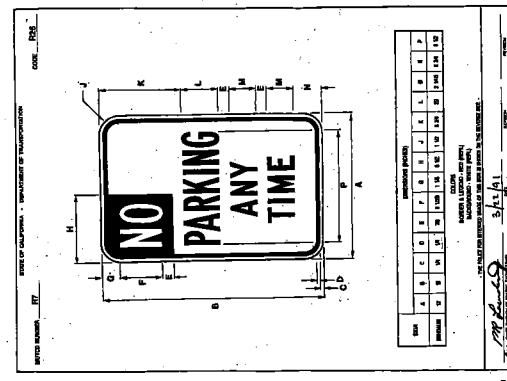
**P.G. & E. METER GUARD**  
 NOT TO SCALE



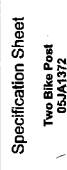
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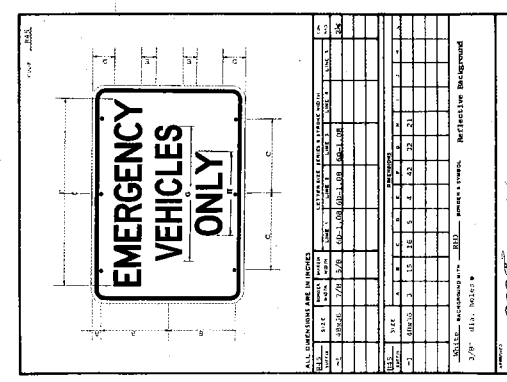
**Two Bike Post**  
 NOT TO SCALE



**NO PARKING ANY TIME**  
 NOT TO SCALE



**Two Bike Post**  
 NOT TO SCALE



**EMERGENCY VEHICLES ONLY SIGN**  
 NOT TO SCALE



**COMPRESSED GAS SIGN**  
 NOT TO SCALE

7.45

7.47

**CHINESE HOSPITAL**  
 848 JACSON STREET  
 SAN FRANCISCO, CA

CORP # 18-072077  
 Facility Number 14621  
**NEW ACUTE CARE HOSPITAL & SKILLED NURSING UNIT**

**JACOBS**  
 8850 North Central Expressway  
 Dallas, TX 75226  
 Phone: 214.424.7500

**CONSULTANTS:**  
 AN/P  
 MAZZETTI & ASSOCIATES

**OWNER CONSULTANTS:**  
 KCA ENGINEERS  
 TREATWELL & ROLL

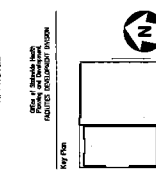
BID SET 07

**KCA ENGINEERS INC.**  
 CIVIL ENGINEERS  
 & LAND SURVEYORS  
 410 NORTH 101ST  
 SUITE 200  
 DALLAS, TX 75243  
 214.635.4400

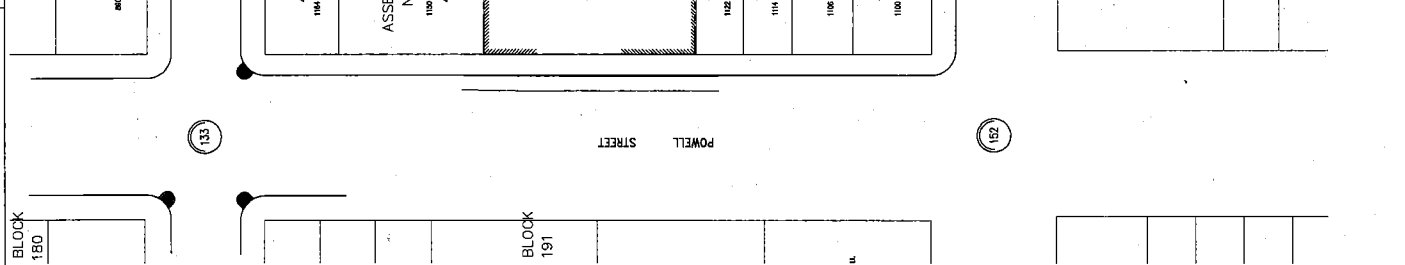
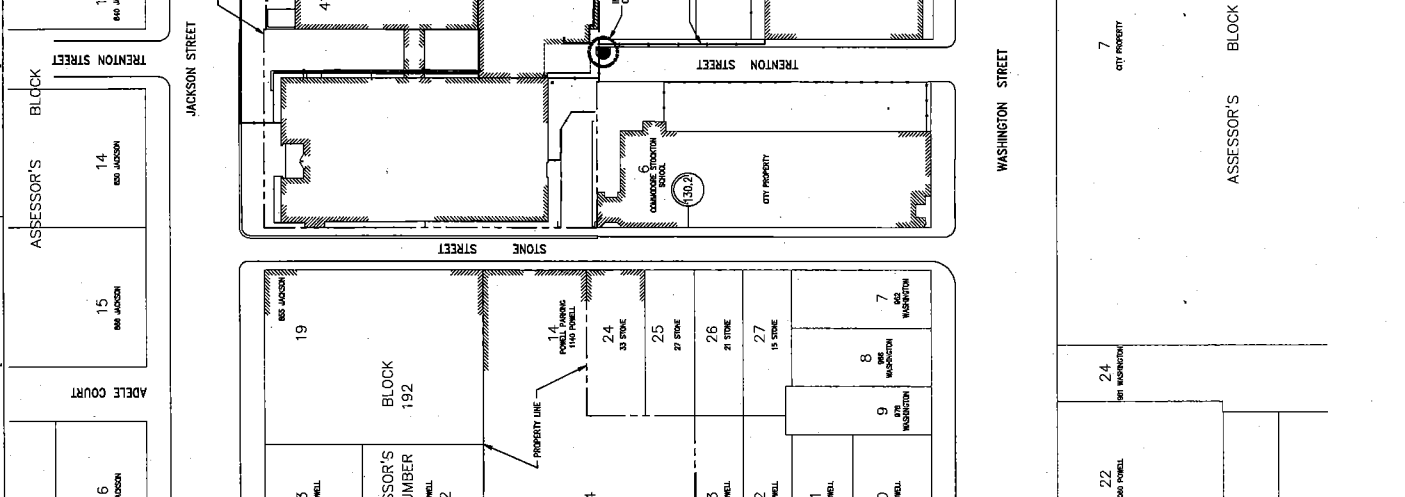
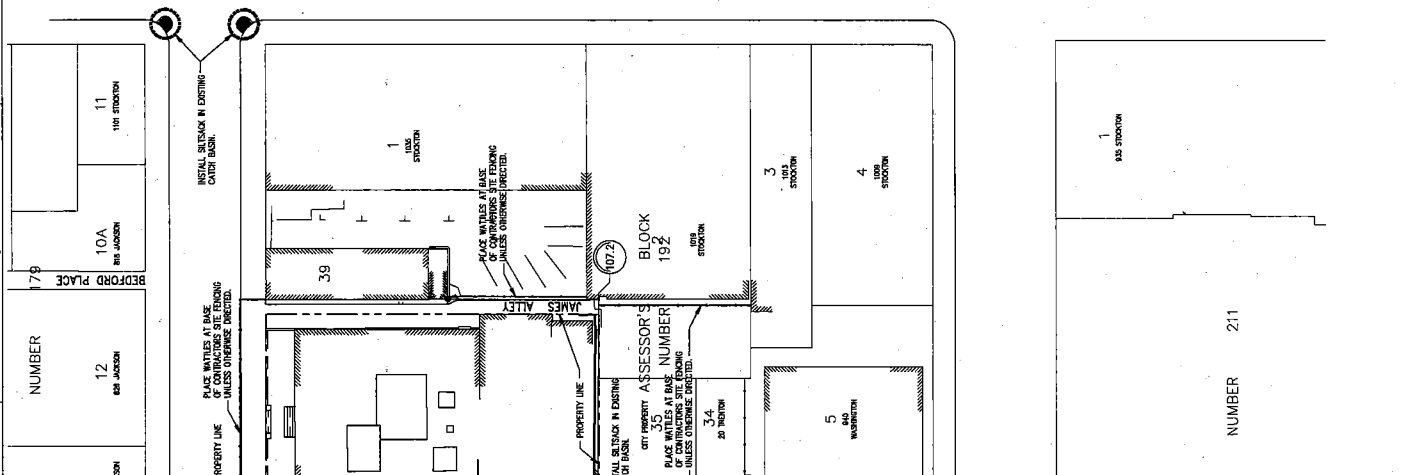
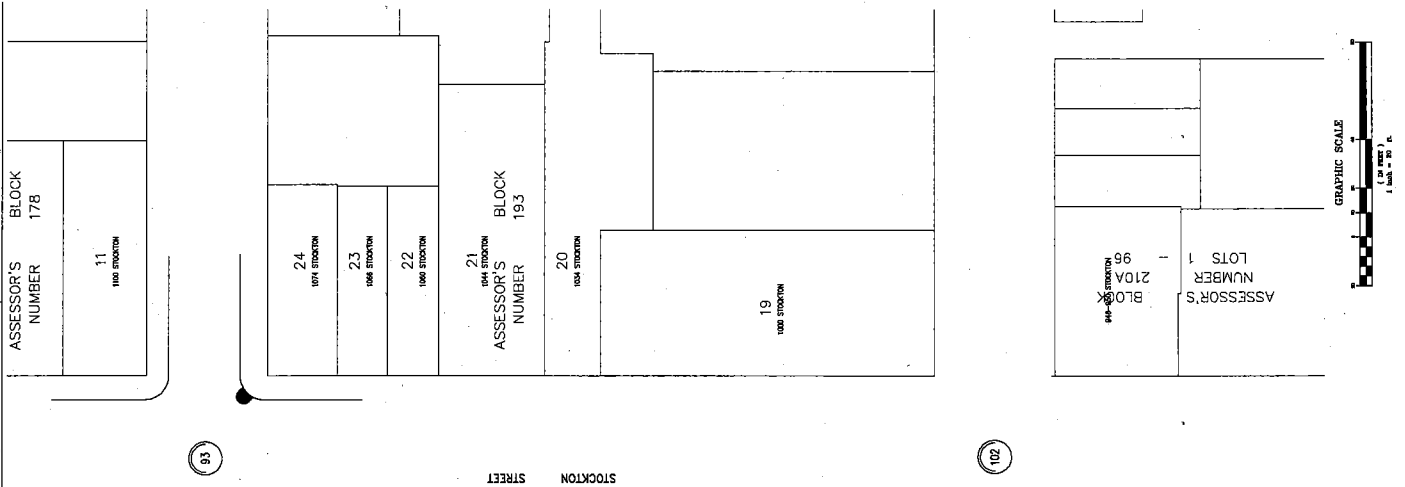
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3	1	SHEET	EXISTING UTILITIES
4	1	SHEET	PROPOSED UTILITIES
5	1	SHEET	FOUNDATION PLAN
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99	1	SHEET	FOUNDATION PLAN
100	1	SHEET	FOUNDATION PLAN



**APPROVED**  
 PROJECT MANAGER OF THE WORKS  
 APPROVED



Project Number: 024338  
 Drawing Number: **C7.1**  
 Drawing Title: SWPPP PLAN  
 Date: 10/20/00

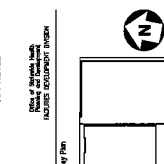


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Scale and Spacing

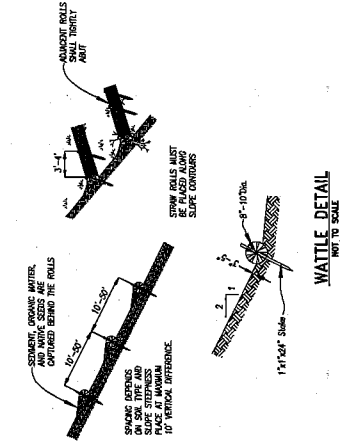


**ICMA ENGINEERS INC.**  
 REGISTERED PROFESSIONAL ENGINEER  
 NO. 123456789  
 STATE OF TEXAS

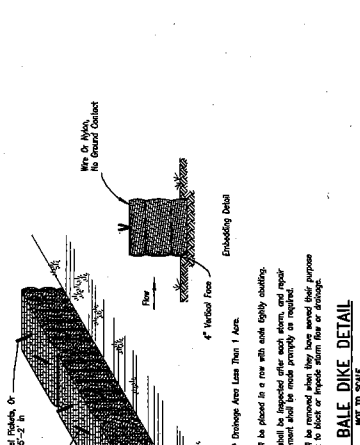


**EROSION AND POLLUTION CONTROL NOTES:**

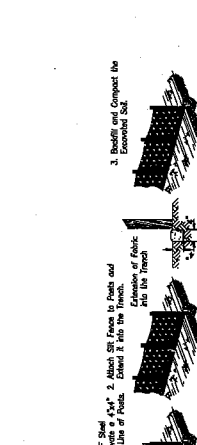
- All erosion control facilities must be inspected and reported at the end of each working day or more often during the rainy season.
- If significant sediment or other solid materials are transported on site, the storm water discharge must be immediately diverted to the storm water discharge system.
- Check the storm water discharge system for blockages or obstructions at the erosion control plan. Sediment on the storm water gutters shall be removed by shovels or brooms and disposed of appropriately.
- Appropriate sediment and siltation control measures shall be installed according to the storm water management plan and related documents.
- Contractors to verify Best Management Practices (BMPs) in accordance with the Association of Bay Area Governments (ABAG) letter recommendations.
- All dumpsters or other trash storage enclosures shall be utilized solely for non-hazardous materials.
- During the rainy season, all paved areas shall be kept clear of earth and debris. Sediment and debris shall be removed from paved areas and sediment-trap basins within the storm drain system. These areas shall be cleaned and maintained in effect until the representations are made on the permit application.
- Storm water and temporary sedimentation shall be collected with appropriate erosion control measures to the satisfaction of the City and the City Engineer.
- Remove sumps promptly and avoid stoppage of fill materials when other materials shall be covered with plastic or a tarp, at the direction of the City and the City Engineer.
- Store, handle and dispose of construction materials and wastes as follows: 1. Store materials on a flat, compacted surface. 2. Store materials in a way that prevents them from blowing away or falling into the catch basins, storm drains, or other air runoff.
- Use filtration or other approved measures to remove sediment from discharging effluent.
- Cleaning, loading or unloading vehicles on site shall not be permitted from entering the catch basins, storm drains, or other air runoff.
- Water on active construction areas of least 1000 sq. ft. or as needed to prevent visible dust plumes from blowing onto or off the site.
- Hydrated or apply (non-toxic) and stabilizers to highly erodible construction areas (previously graded areas located for less than 1 month).
- Report vegetation in disturbed areas as quickly as possible.
- Limit the area subject to excavation, grading and other construction activity to only one lot.
- Grading shall be completed by the end of the project and the site shall be returned to its original condition.
- Stops for any reason shall be covered with plastic or other approved construction activity.
- In all storm drain facilities on to be protected to prevent intrusion of foreign materials into the storm drain system.
- Trucks leaving the site must be covered to prevent spillage.
- See sheet C7.3 for additional minimum requirements.
- Contractor is responsible for conforming to the requirements of the "BLUE PRINT FOR A CLEAN BAY" which can be viewed at [www.forestbay.org](http://www.forestbay.org).



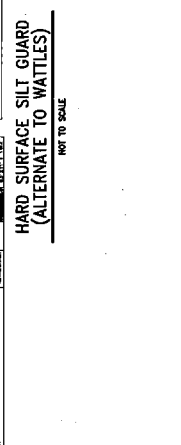
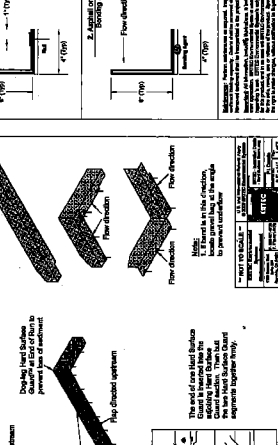
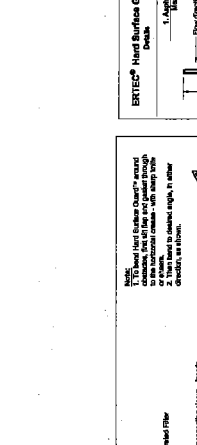
**WATTLE DETAIL**  
 NOT TO SCALE



**STRAW BALE DIKE DETAIL**  
 NOT TO SCALE



**SILT FENCE DETAIL**  
 NOT TO SCALE



Item	Qty	Unit	Price
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Item No.	Rev.	Date
001	01	01/17/18
002	01	02/01/18
003	01	02/01/18
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006	01	02/01/18
007	01	02/01/18
008	01	02/01/18
009	01	02/01/18
010	01	02/01/18

Scale and Specifications



**CONSULTANTS:**  
 ARUP  
 MACEWILLI & LANDOWERS  
 1000 MARKET STREET  
 SAN FRANCISCO, CA

**ISO 9001**

Item No.	Rev.	Date
001	01	01/17/18
002	01	02/01/18
003	01	02/01/18
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005	01	02/01/18
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008	01	02/01/18
009	01	02/01/18
010	01	02/01/18

Scale and Specifications



**CONSULTANTS:**  
 ARUP  
 MACEWILLI & LANDOWERS  
 1000 MARKET STREET  
 SAN FRANCISCO, CA

**ISO 9001**

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001	01	01/17/18
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007	01	02/01/18
008	01	02/01/18
009	01	02/01/18
010	01	02/01/18

Scale and Specifications

# Stormwater Pollution Prevention Program

## Pollution Prevention – It's Part of the Plan It is your responsibility to do the job right!

Runoff from streets and other paved areas is a major source of pollution in local creeks, San Francisco Bay and the Pacific Ocean. Construction activities can directly affect the health of our waters unless contractors and crews plan ahead to keep dirt, debris, and other construction waste away from storm drains and creeks. Following these guidelines will ensure your compliance with local stormwater ordinance requirements. Remember, ongoing monitoring and maintenance of installed controls is crucial to proper implementation.

### General Construction & Site Supervision

- Minimize dust and soil erosion by covering exposed areas with mulch, straw, or other erosion control measures.
- Use silt fences, sediment basins, and other erosion control measures to prevent sediment from entering storm drains or creeks.
- Use best management practices (BMPs) to minimize sediment and other pollutants from construction activities.
- Use erosion control blankets to stabilize exposed soil.
- Use silt fences to filter sediment from runoff.
- Use sediment basins to capture sediment before it enters storm drains or creeks.
- Use other erosion control measures as appropriate.

### Heavy Equipment Operation

- Use proper operation techniques to minimize dust and soil erosion.
- Use proper tire inflation to minimize dust and soil erosion.
- Use proper grading techniques to minimize dust and soil erosion.
- Use proper compaction techniques to minimize dust and soil erosion.
- Use proper backfilling techniques to minimize dust and soil erosion.
- Use proper site cleanup techniques to minimize dust and soil erosion.

### Earth-Moving Activities

- Use proper grading techniques to minimize dust and soil erosion.
- Use proper compaction techniques to minimize dust and soil erosion.
- Use proper backfilling techniques to minimize dust and soil erosion.
- Use proper site cleanup techniques to minimize dust and soil erosion.

### Roadwork & Paving

- Use proper paving techniques to minimize dust and soil erosion.
- Use proper compaction techniques to minimize dust and soil erosion.
- Use proper backfilling techniques to minimize dust and soil erosion.
- Use proper site cleanup techniques to minimize dust and soil erosion.

### Fresh Concrete & Mortar Application of Solvents & Adhesives

- Use proper application techniques to minimize dust and soil erosion.
- Use proper curing techniques to minimize dust and soil erosion.
- Use proper site cleanup techniques to minimize dust and soil erosion.

### Painting & Application of Solvents & Adhesives

- Use proper painting techniques to minimize dust and soil erosion.
- Use proper application techniques to minimize dust and soil erosion.
- Use proper site cleanup techniques to minimize dust and soil erosion.

### Landscaping, Gardening, and Pool Maintenance

- Use proper landscaping techniques to minimize dust and soil erosion.
- Use proper gardening techniques to minimize dust and soil erosion.
- Use proper pool maintenance techniques to minimize dust and soil erosion.

### Storm drain polluters may be liable for fines of up to \$25,000 per day!

Item No.	Rev.	Date
001	01	01/17/18
002	01	02/01/18
003	01	02/01/18
004	01	02/01/18
005	01	02/01/18
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009	01	02/01/18
010	01	02/01/18

Scale and Specifications



**CONSULTANTS:**  
 ARUP  
 MACEWILLI & LANDOWERS  
 1000 MARKET STREET  
 SAN FRANCISCO, CA

**ISO 9001**

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008	01	02/01/18
009	01	02/01/18
010	01	02/01/18

Scale and Specifications



**CONSULTANTS:**  
 ARUP  
 MACEWILLI & LANDOWERS  
 1000 MARKET STREET  
 SAN FRANCISCO, CA

**ISO 9001**

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Scale and Specifications

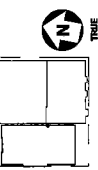
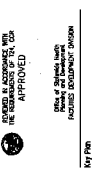


Material	Spec.	Detail
REINFORCING	REIN-1	REIN-1
CONCRETE	CON-1	CON-1
ADDED WALLS & FLOOR FINISHES	ADDF-1	ADDF-1
ADDED FLOOR FINISHES	ADDF-2	ADDF-2
ADDED WALL FINISHES	ADDF-3	ADDF-3
ADDED ROOF FINISHES	ADDF-4	ADDF-4
ADDED MECHANICAL	ADDF-5	ADDF-5
ADDED ELECTRICAL	ADDF-6	ADDF-6
ADDED PLUMBING	ADDF-7	ADDF-7
ADDED MECHANICAL	ADDF-8	ADDF-8
ADDED ELECTRICAL	ADDF-9	ADDF-9
ADDED PLUMBING	ADDF-10	ADDF-10

The signature of each registered professional engineer or architect is required for the approval of this drawing. The signature of the professional engineer or architect is required for the approval of this drawing.

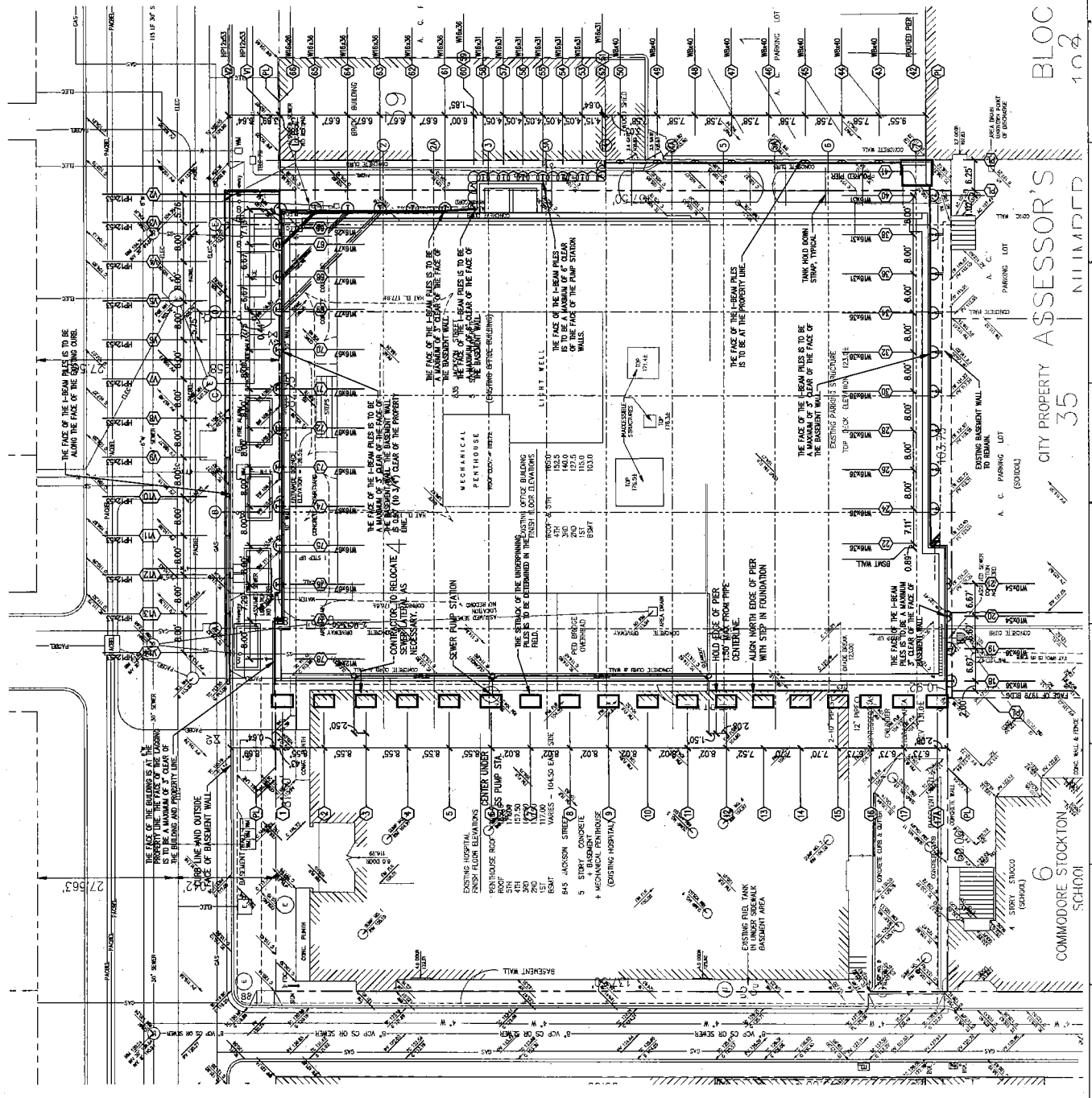


PROJECT: 18-072017, ICA ENGINEERS OF THE ARCHITECTURE OF THE CONTRACTOR APPLIED  
 DATE: 08/20/2018  
 DRAWING: 18-072017-01-UNDERPINNING LAYOUT



Project Name: **CHINESE HOSPITAL**  
 Project Number: **18-072017**  
 Drawing Title: **UNDERPINNING LAYOUT**  
 Scale: **AS SHOWN**  
 Date: **08/20/2018**  
**C8.1**

- NOTES:**
- SEE SHORING PLANS BY SURE ENGINEERING FOR NOTES AND DETAILS.
  - SEWER LINES ARE TO BE LOCATED PRIOR TO START OF UNDERPINNING CONSTRUCTION.
  - LOCATION OF UNDERPINNING PILES MAY VARY BASED ON THE LOCATION OF THE FIELD LOCATED SEWER PIPES AND PUMP STATION.
  - CONTRACTOR IS RESPONSIBLE FOR MAINTAINING SEWER SERVICE DURING THE UNDERPINNING CONSTRUCTION OF THE SITE.
  - SOME TYPE OF DESIGN FOR THE RELOCATION OF THE SEWER SYSTEM WILL BE SUBMITTED TO THE CONTRACTOR PRIOR TO THE COMPLETION OF THE EXCAVATION.



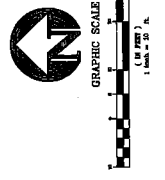
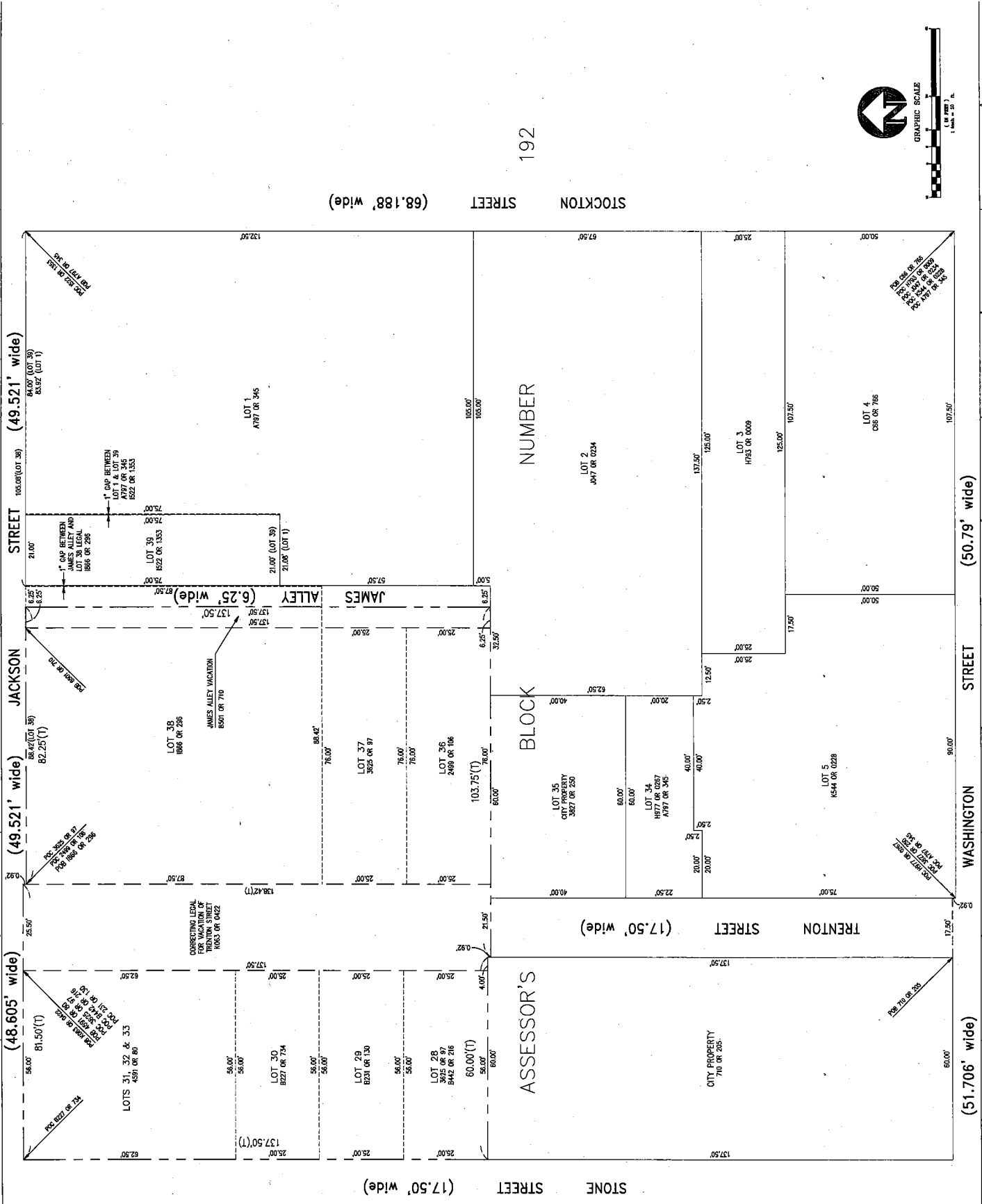
CITY PROPERTY ASSESSOR'S BLOC 35  
 102  
 COMMODORE STOCKTON SCHOOL  
 6  
 102

**CHINESE HOSPITAL**  
 845 JACKSON STREET  
 SAN FRANCISCO, CA  
 CDRPD # 18-072617  
 Facility Number 14621  
**NEW ACUTE CARE HOSPITAL & SKILLED NURSING UNIT**

KCA ENGINEERS INC.  
 CONSULTING CIVIL ENGINEERS  
 & LAND SURVEYORS  
 100 MARKET STREET, SUITE 100  
 SAN FRANCISCO, CA 94102  
 TEL: 415.774.8800  
 FAX: 415.774.8801



Project Name: CHINESE HOSPITAL  
 Drawing Number: C9.1  
 Date: 10/26/12



192



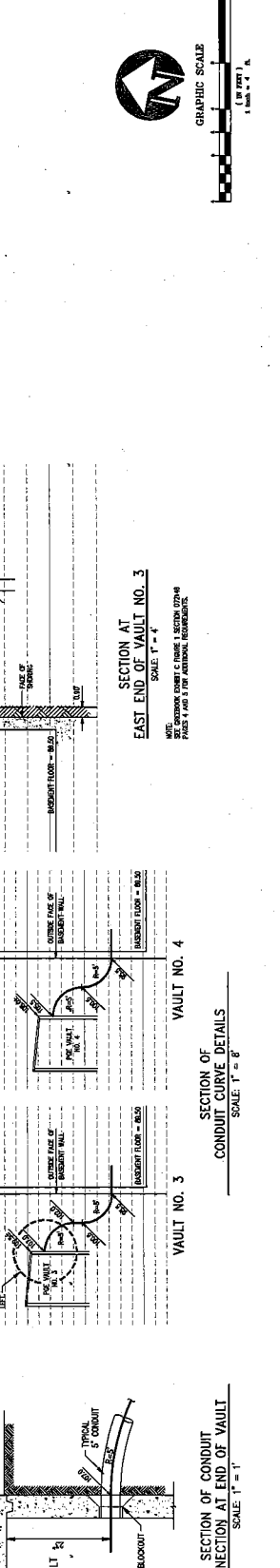
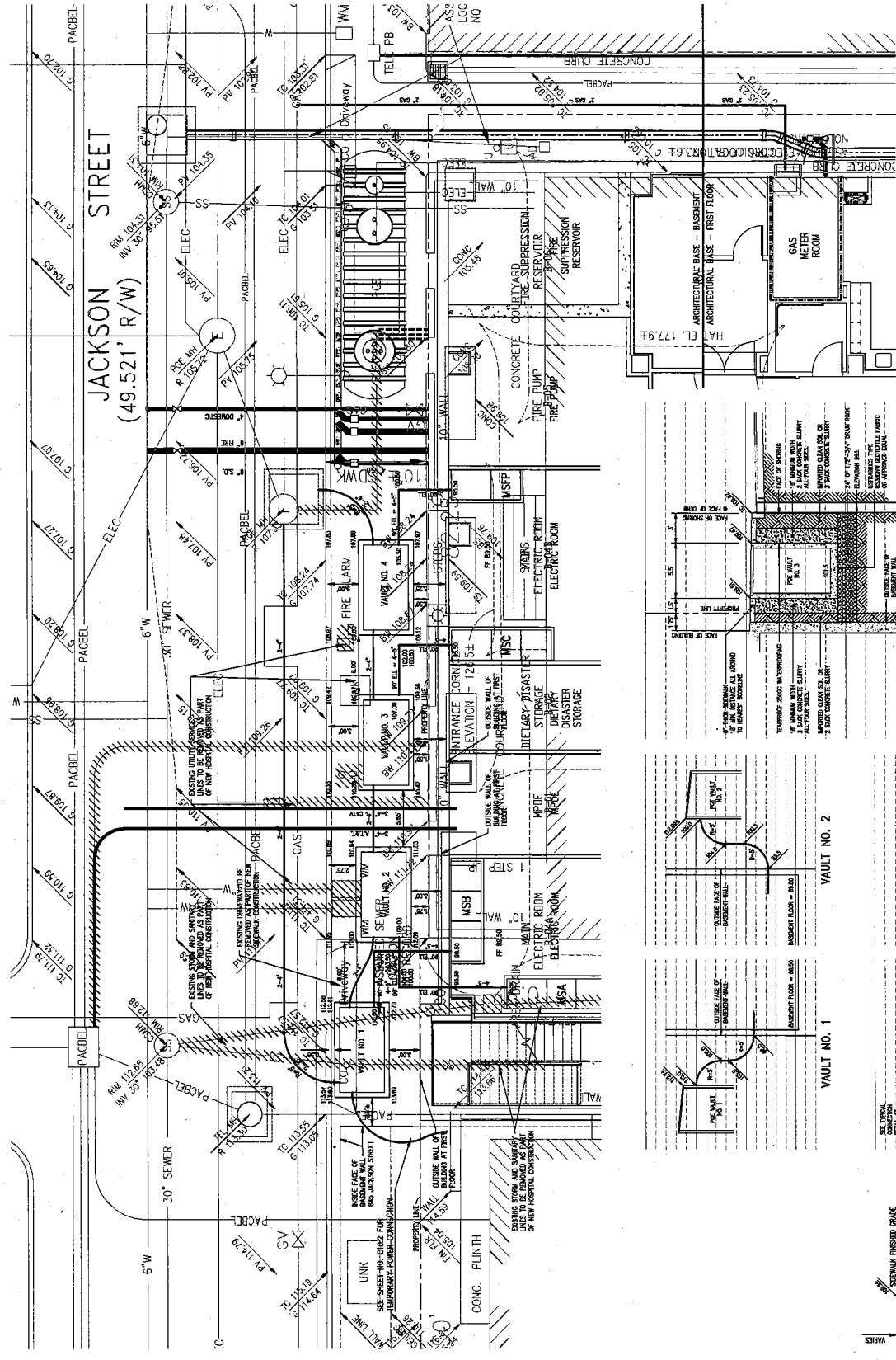
Revised For	Date
PROVISIONAL DESIGN	04/15/17
FINAL DESIGN	05/15/17
PERMITS	06/15/17
CONSTRUCTION	07/15/17
AS-BUILT	08/15/17
OPERATION	09/15/17
REVISIONS	
NO. 1	
NO. 2	
NO. 3	
NO. 4	
NO. 5	
NO. 6	
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NO. 100	



Key Plan

Scale: 1" = 4'

Project Number: 04-1339  
 Drawing Number: **C10.1**  
 Date: 05/15/17

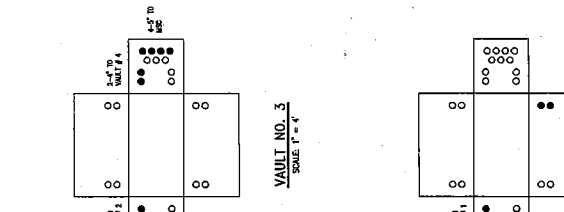
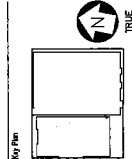


SECTION AT EAST END OF VAULT NO. 3  
 SCALE: 1" = 4'

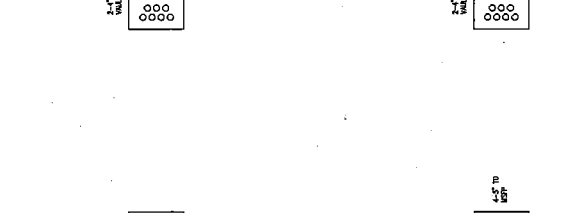
SECTION OF CONDUIT CONNECTION AT END OF VAULT  
 SCALE: 1" = 1'

SECTION OF CONDUIT CURVE DETAILS  
 SCALE: 1" = 8'

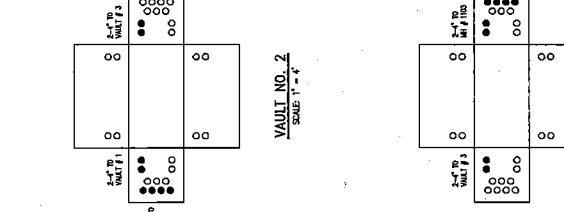
Item No.	Rev.	Date
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3	1	08/14/12
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**VAULT NO. 1**  
 SCALE: 1" = 4'



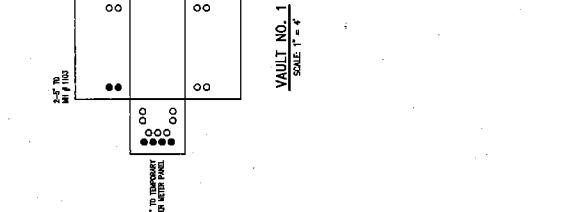
**VAULT NO. 2**  
 SCALE: 1" = 4'



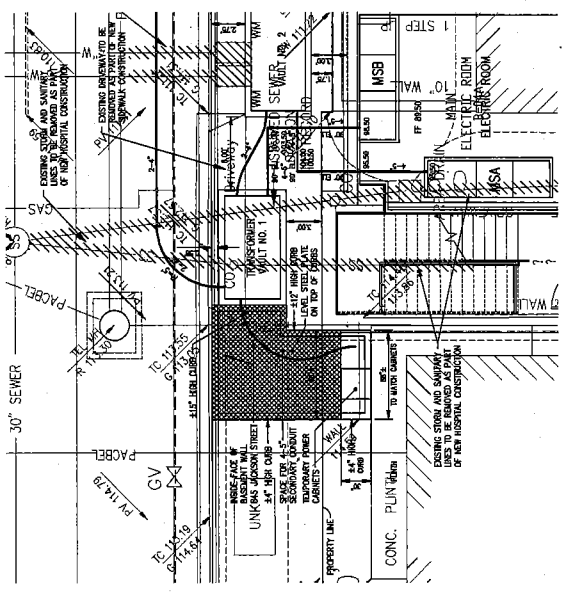
**VAULT NO. 3**  
 SCALE: 1" = 4'



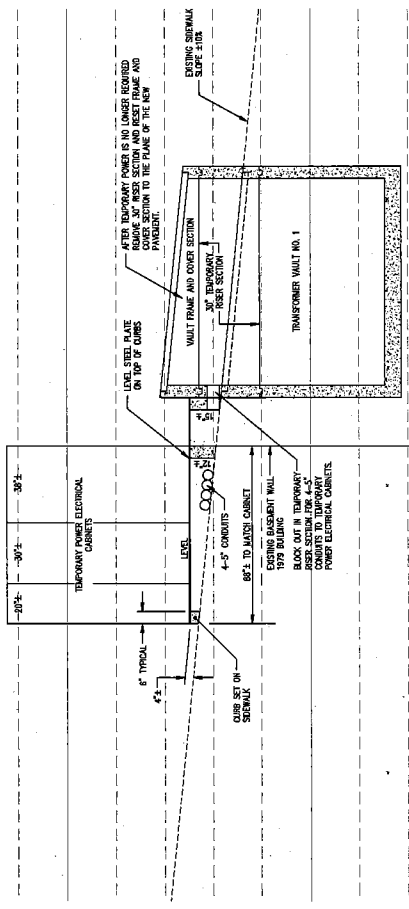
**VAULT NO. 4**  
 SCALE: 1" = 4'



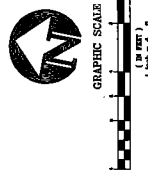
**MANHOLE NO. 103**  
 SCALE: 1" = 4'



**PLAN OF TEMPORARY POWER CONNECTION**  
 SCALE: 1" = 4'



**SECTION LOOKING NORTH**  
 SCALE: 1" = 4'



✓ ACCEPTED

1 [Street Encroachment - Chinese Hospital - 835 Jackson Street]

2

3 **Resolution granting revocable permission to the Chinese Hospital to occupy a**  
 4 **portion of the public right-of-way to construct, install, and maintain the following**  
 5 **infrastructure improvements: one 5,000 gallon fuel oil storage tank and four**  
 6 **PG&E transformer vaults at the Jackson Street frontage, a new 10" sewer line,**  
 7 **under the sidewalk and parallel to the property line, two 6,000 gallon sewer**  
 8 **holding tanks, one new rain water storage tank, ~~with its location to be determined~~**  
 9 **~~by Public Utilities Commission,~~ and two pump station vaults at the James Place**  
 10 **frontage, for hospital operations at 835 Jackson Street (Assessor's Block No.**  
 11 **0192, Lot No. 041), conditioned upon the payment of an annual assessment fee of**  
 12 **\$1,913.00; and making environmental findings, findings of consistency with the**  
 13 **General Plan and the priority policies of Planning Code, Section 101.1.**

deleted

14

15 WHEREAS, pursuant to Public Works Code Section 786, permission was  
 16 requested by KCA Engineers, authorized agents for the owner, Chinese Hospital, to  
 17 occupy a portion of the public right-of-way to construct, install one (1) 5,000 gallon fuel  
 18 oil storage tank and four (4) PG&E transformer vaults at the Jackson Street frontage; a  
 19 new 10" sewer line under the sidewalk and parallel to the property line, two (2) 6,000  
 20 gallon sewer holding tanks, one (1) rain water storage tank ~~(with its location to be~~  
 21 ~~determined by PUC,~~ and two (2) pump station vaults at the James Place frontage, as  
 22 shown on the plans, a copy of which is on file in the office of the Clerk of the Board of  
 23 Supervisors in File No. 130756; and

deleted

24

25 WHEREAS, The Planning Department, by letter dated January 30, 2013,  
 declared that the proposed encroachments are in conformity with the General Plan and

1 to the priority policies of Planning Code Section 101.1. A copy of said letter is on file  
2 with the Clerk of the Board of Supervisors in File No. 130756, and is incorporated herein  
3 by reference; and

4 WHEREAS, San Francisco Municipal Transportation Agency (SFMTA), in the  
5 minutes of the Transportation Advisory Staff Committee (TASC) dated December 31,  
6 2012 recommended conditional approval of the encroachments; provided that during  
7 construction, the contractor provides temporary traffic control.

8 WHEREAS, Following a duly noticed public hearing on May 29, 2013, the  
9 Department of Public Works recommended approval of the proposed encroachment via  
10 DPW Order Number 181,388, approved June 18, 2013; a copy of which is on file in the  
11 office of the Clerk of the Board of Supervisors in File No. 130756; and

12 WHEREAS, Notwithstanding the determination set forth above, it is the decision  
13 of the Board of Supervisors that the proposed encroachment is in the best interest of  
14 the general public, is desirable and convenient with the owner's use and enjoyment of  
15 its property, and is appropriate use of the public right-of-way; and

16 WHEREAS, The permit and associated encroachment agreement, which are  
17 incorporated herein by reference and attached hereto as Exhibit A, shall not become  
18 effective until:

19 (a) The Permittee executes and acknowledges the permit and delivers said  
20 permit to the City's Controller, and

21 (b) Permittee delivers to the City Controller a policy of insurance provided for in  
22 said agreement and the Controller shall have had approved the same as complying with  
23 the requirement of said agreement. The Controller may, in his discretion, accept, in lieu  
24 of said insurance policy, the certificate of an insurance company certifying to the  
25 existence of such a policy; and,

1 (c) The City Controller records the permit and associated agreement in the office  
2 of the County Recorder; and

3 WHEREAS, The Permittee, at the Permittee's sole expense and as is necessary  
4 as a result of this permit, shall make the following arrangements:

5 (a) To provide for the support and protection of facilities belonging to the  
6 Department of Public Works, San Francisco ~~Water Department~~, the San Francisco Fire  
7 Department and other City Departments, and public utility companies; and

*changed to  
(Public Utilities  
Commission)*

8 (b) To remove or relocate such facilities and provide access to such facilities for  
9 the purpose of constructing, reconstructing, maintaining, operating, or repairing such  
10 facilities; and

11 WHEREAS, The Permittee shall procure the necessary permits from Bureau of  
12 Street-Use and Mapping, Department of Public Works, and pay the necessary permit  
13 fees and inspection fees before starting work; and

14 WHEREAS, The Board of Supervisors shall implement an annual assessment  
15 fee of \$1,913.00 for the use of said rights-of-way, which shall be increased at the  
16 beginning of each fiscal year based upon the Consumer Price Index quotient, and shall  
17 be re-evaluated by DPW every five (5) years; and

18 WHEREAS, No structures shall be erected or constructed within said street right-  
19 of-way except as specifically permitted herein; and,

20 WHEREAS, The Permittee shall assume all costs for the maintenance and repair  
21 of the encroachments and no cost or obligation of any kind shall accrue to the City and  
22 County of San Francisco by reason of this permission granted; now, therefore be it

23 RESOLVED, That pursuant to Public Works Code Section 786, the Board of  
24 Supervisors hereby grants permission, revocable at the will of the Director of the  
25 Department of Public Works, to Chinese Hospital, to occupy portions of the public  
rights-of-way to construct, install and maintain one (1) 5,000 gallon fuel oil storage tank

*deleted*

1 and four (4) PG&E transformer vaults at the Jackson Street frontage, a new 10" sewer  
2 line under the sidewalk and parallel to the property line, two (2) 6,000 gallon sewer  
3 holding tanks, one (1) rain water storage tank (~~with its location to be determined by PUG,~~)  
4 and two (2) pump station vaults at the James Place frontage, for hospital operations at  
5 835 Jackson Street (Block 0192, Lots 041), conditioned upon the payment of an annual  
6 assessment fee of \$1913.00 and other conditions set forth herein; and, be it

7 FURTHER RESOLVED, That this Board finds the permit to be consistent with the  
8 General Plan and priority policies of Planning Code Section 101.1. for the reasons set  
9 forth in the City Planning Department letter.

10 APPROVED:  
11

12  
13 \_\_\_\_\_  
14 Mohammed Nuru  
15 Director of Public Works  
16  
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25

# Introduction Form

By a Member of the Board of Supervisors or the Mayor

Time stamp  
or meeting date

I hereby submit the following item for introduction (select only one):

- 1. For reference to Committee.  
An ordinance, resolution, motion, or charter amendment.
- 2. Request for next printed agenda without reference to Committee.
- 3. Request for hearing on a subject matter at Committee.
- 4. Request for letter beginning "Supervisor [ ] inquires"
- 5. City Attorney request.
- 6. Call File No. [ ] from Committee.
- 7. Budget Analyst request (attach written motion).
- 8. Substitute Legislation File No. [ ]
- 9. Request for Closed Session (attach written motion).
- 10. Board to Sit as A Committee of the Whole.
- 11. Question(s) submitted for Mayoral Appearance before the BOS on [ ]

Please check the appropriate boxes. The proposed legislation should be forwarded to the following:

- Small Business Commission     Youth Commission     Ethics Commission
- Planning Commission     Building Inspection Commission

**Note: For the Imperative Agenda (a resolution not on the printed agenda), use a Imperative**

**Sponsor(s):**

Supervisor David Chiu

**Subject:**

Major Street Encroachment - 835 Jackson Street

**The text is listed below or attached:**

See attached.

Signature of Sponsoring Supervisor: David Chiu

For Clerk's Use Only:

130756