

PLANNING APPROVAL LETTER - REISSUED

Original Approval Date: April 22, 2025 Reissued Approval Date: June 12, 2025 Planning Record No. 2025-002323PRJ Project Address: 835 Turk Street

Zoning: **NCT-3 - Moderate Scale Neighborhood Commercial Transit**

Priority Equity Geographies Special Use District

Block/Lot: 0761/016A Property Owner: **Five Keys**

> 320 13TH Street Oakland, CA 94612

Project Sponsor: Emily Van Loon on behalf of Tenderloin Neighborhood Development Corporation

201 Eddy Street

San Francisco, CA 94102

Staff Contact: Sylvia Jimenez

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Project Description

The project proposes interior renovation and rehabilitation of an existing seven-story over basement, 114-unit residential hotel (the "Property"), and proposes to restrict the existing rooms as permanent supportive housing using funds from (1) Mayor's Office of Housing and Community Development ("MOHCD") and (2) the California Department of Housing and Community Development ("HCD") under the Homekey Plus program. The Property is owned by the City and County of San Francisco under the jurisdiction of the Department of Homelessness and Supportive Housing ("HSH") and currently restricted as permanent supportive housing under Administrative Code section 10.100-164(b) (Our City, Our Home Fund) and Revenue and Taxation Code At the first upper floor, the one-bedroom manager's unit and the section 2810(b)(3)(A)(iii). kitchen/dining/lounge area will be converted to become ADA-compliant. At all residential floors, two units at each floor will be combined into one mobility unit and the remaining space will be used to add a trash room with a new chute. The existing building with 114 units, including unit #101 currently used as common space, will be reduced to 108 units to provide required mobility units. Unit #101 will continue to be used as common space. The proposal also includes interior and exterior alterations that do not increase the building envelope, including structural bracing, improvements to exterior stairs along Elm Street, conversion of parking into support spaces for building residents, and various window replacements on the Turk Street façade. Any further interior rehabilitation, construction, or alteration will be coordinated with the Department of Building Inspection.

Project Approval

The Department has determined that the Property complies with the exemption for "Low Income Housing" under Administrative Code sections 41.4 and 41.7(b). The Property is restricted to households exiting homelessness and have incomes of less than 60% of MOHCD's published area median income. The elimination of units in the proposal is for the sole purpose of creating mobility units compliant with the Americans with Disability Act and the San Francisco Building Code and to comply with the funding requirements of HCD. If awarded, the Property will be restricted as permanent supportive housing by HCD for no less than 55 years under a recorded restriction pursuant to the California Health & Safety Code. MOHCD will also restrict the Property as permanent supportive housing for life of the project under a recorded restriction. HSH and its operator will comply with relocation requirements under California Government Code Section 7260 *et seq*. Further, the Department has determined that the project complies with the definition of a "Conversion" under Administrative Code section 41.4.

The Department has determined that the project complies with the objective standards of the Planning Code and the requirements of Administrative Code Chapter 41 and may be approved ministerially under CA Health and Safety Code Section 50675.1.5.

The Department therefore approves the project as recorded in Planning Record No. 2025-002323PRJ. The plans for the approved project are attached to this approval.

Project Timeline

| Action | Date |
|--|---------|
| Project Sponsor submitted Development Application | 3/20/25 |
| Department staff deemed Application Complete (CAN) | 3/26/25 |
| Department staff issued Environmental Site Criteria Memo | 3/31/25 |

Priority Policies and General Plan Findings

As described below, the Project is consistent with the eight priority policies established by Planning Code Section 101.1(b) and is in conformity with the Objectives and Policies of the General Plan.

On balance, the project complies with the eight priority policies in that:

- 1. That existing neighborhood-serving retail uses be preserved and enhanced and future opportunities for resident employment in and ownership of such businesses be enhanced.
 - The project site does not contain any commercial uses. In rehabilitating and altering existing residential rooms on the property, the project will enhance nearby neighborhood-serving retail uses by encouraging new residents, who may patronize, work at, or own such businesses.
- 2. That existing housing and neighborhood character be conserved and protected in order to preserve the cultural and economic diversity of our neighborhoods.



The project site contains 114 existing residential hotel rooms. While the project will result in an overall reduction to the number of rooms to 108, it will create six (6) mobility units, better serving the needs of the target population. The project will also restrict the existing rooms as Permanent Supportive Housing, ensuring that the residential hotel continues to provide critically-needed housing for people exiting homelessness and thus conserving the cultural and economic diversity of the neighborhood.

3. That the City's supply of affordable housing be preserved and enhanced,

While six (6) deed-restricted affordable residential hotel rooms will be eliminated, the addition of mobility units, the rehabilitation and seismic retrofitting of the existing building, and the addition of programming rooms for supportive services at the ground floor constitute significant enhancement to the City's supply of affordable housing.

4. That commuter traffic not impede MUNI transit service or overburden our streets or neighborhood parking.

The project site is served by nearby public transportation options. It is within one-quarter mile of the Muni bus routes 19-Polk, 21-Hayes, 31-Balboa, 38-Geary, 38R-Geary Rapid, 49-Van Ness/Mission, 5-Fulton, 5R-Fulton Rapid, and 90-San Bruno Owl. In addition, it is just over one-half mile to the Civic Center BART station. While it removes a small amount of off-street parking, nearby public garage parking may accommodate this transportation demand.

5. That a diverse economic base be maintained by protecting our industrial and service sectors from displacement due to commercial office development, and that future opportunities for resident employment and ownership in these sectors be enhanced.

The project does not include commercial office development nor eliminate any industrial and service uses.

6. That the City achieve the greatest possible preparedness to protect against injury and loss of life in an earthquake.

The project will add structural bracing to enhance seismic safety per the Building Code. Thus, the project will improve the property's ability to withstand an earthquake.

7. That landmarks and historic buildings be preserved.

While the project site is not a City-designated landmark, the building has been determined to be a historic resource for the purposes of the California Environmental Quality Act (CEQA). (Note: the project is not subject to review for impacts to historic resources pursuant to CEQA.) The project proposes structural braced framing at the interior of the ground and first floors, which will be visible through the front lobby windows. It also proposes to replace existing wood sash double-hung windows with vinyl hung windows on secondary, street-visible facades. The existing exterior facades will be retained and enhanced with waterproofing repair and painting. Lastly, the primary entry door will be replaced with a similar wood entry door, that has been designed as a single, wider door with sidelight in lieu of a symmetrical double door, in order to comply Building Code standards.



8. That our parks and open space and their access to sunlight and vistas be protected from development.

The project does not propose to increase the height or massing of the structure. Therefore, the nearby Jefferson Square Park, Margaret S. Hayward Playground, and James P. Lang Athletic Fields will not be impacted, or have their access to sunlight and vistas reduced, by the project.

On balance, the project complies with the Objectives and Policies of the General Plan in that:

Note: Objectives are shown in UPPER CASE font; Policies are in regular font; staff comments are in italic font.

HOUSING ELEMENT

OBJECTIVE 1.A

ENSURE HOUSING STABILITY AND HEALTHY HOMES.

Policy 2

Preserve affordability of existing subsidized housing, government-owned or cooperative-owned housing, or SRO hotel rooms where the affordability requirements are at risk or soon to expire.

Policy 3

Acquire and rehabilitate privately-owned housing as permanently affordable to better serve residents and areas vulnerable to displacement with unmet affordable housing needs.

OBJECTIVE 1.C

ELIMINATE HOMELESSNESS.

Policy 8

Expand permanently supportive housing and services for individuals and families experiencing homelessness as a primary part of a comprehensive strategy to eliminate homelessness.

Policy 15

Expand permanently affordable housing investments in Priority Equity Geographies to better serve American Indian, Black, and other people of color within income ranges underserved, including extremely-, very low-, and moderate-income households.

OBJECTIVE 4.A

SUBSTANTIALLY EXPAND THE AMOUNT OF PERMANENTLY AFFORDABLE HOUSING FOR EXTREMELY LOW- TO MODERATE-INCOME HOUSEHOLDS.

Policy 26

Streamline and simplify permit processes to provide more equitable access to the application process, improve certainty of outcomes, and ensure meeting state- and local-required timelines, especially for 100% affordable housing and shelter projects.

OBJECTIVE 4.C



DIVERSIFY HOUSING TYPES FOR ALL CULTURES, FAMILY STRUCTURES, AND ABILITIES.

Policy 32

Promote and facilitate aging in place for seniors and multi-generational living that supports extended families and communal households.

The project will rehabilitate an aging residential hotel building, increasing its seismic safety, adding mobility rooms, and creating ground-floor spaces to host supportive services. It preserves critical affordable housing, and further restricts these rooms to households exiting homelessness that have incomes of less than 60% of MOHCD's published area median income. As exemplified by the Objectives and Policies of the Housing Element listed above, the project is consistent with the General Plan.

Expiration

This Planning Approval is valid for three years, the applicant must submit for a building permit by April 18, 2028. Any permit submittals for a housing development project after this Planning Department Approval are considered post-entitlement permits subject to AB1114.

CC:

Bruce Baumann, <u>bruce@baumannassociates.com</u>
Holly B. Faust, SF Mayor's Office of Housing and Community Development
Mara Blitzer, SF Mayor's Office of Housing and Community Development
<u>CPC.Closeout@sfgov.org</u>

Attachments:

Approved Plans dated March 19, 2025



BLOCK / LOT: 0761 / 016A 835 TURK STREET SAN FRANCISCO, CA 94102

100% AFFORDABLE HOUSING PRIORITY PERMIT PROCESSING PER **EXECUTIVE DIRECTIVE 13-01 DEC. 18, 2023**

ABBREVIATIONS

ANGLE

ANCHOR BOLT ABOVE

ACCESSIBLE ACOUSTICAL

AREA DRAIN ADJACENT

BD.
BLDG.
BLKG.
BM.
B.O.C.
BTM.
B.S.W.
BTWN.
CABT.
CEM.PLAS

C.L. CLG. CLKG.

CLRG.
CLR.
C.M.U.
COL.
CONC.
CONN.
CONT.
CONST
CNTR.
CSMT.

DBL.
DBT.
DIA.
DDFT.
DIA.
DDR.
DR.
DR.
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DR.
DR.
DR.
EA.
EJ.
ELLEV.
ELLEC.
EP.
EQ.
EQPT.
EXT.
FA.I.
F.D.
F.E.
F.E.
F.E.
F.E.
F.F.
FIN.
FLASH'G
FLEX
F.O.B.
F.O.C.
F.O.S.
F.

ASPHALTIC CONC

ASSUMED PROPERTY

BOARD
BUILDING
BLOCKING
BEAM
BOTTOM OF CURB
BOTTOM
BACK OF SIDEWALK
BETWEEN

CABINET CEMENT PLASTER CONTROL JOINT

CONCRETE MASONRY UNIT

CENTERLINE

CEILING

CAULKING

COLUMN CONCRETE

CONCRETE
CONNECTION
CONTINUOUS
CONSTRUCTION
COUNTER
CASEMENT
DRYER
DOUBLE
DETAIL
DIAMETER
DIMENSION
DOOR
DOWNSPOUT
DRAWING

EXPANSION JOINT ELEVATION

ELECTRIC PANEL

EQUIPMENT
EXTERIOR
FRESH AIR INTAKE
FLOOR DRAIN
FOUNDATION
FIRE EXTINGUISHER
FIRE EXTINGUISHER
FINISH DE FLOOR
FINISH OR
FINISH OR
FLESHING
FLESHING
FLESHIBLE
FLOOR

FACE OF BEAM FACE OF CONCRETE FACE OF FINISH FACE OF STUD

GRAB BAR
GLASS
GLAZING
GALVINIZED SHEET METAL
GYPSUM WALL BOARD
GYPSUM
HOSE BIB
HARDWARE
HOLLOW METAL
HOPIZONTAL
HOPER
HOUR
HANDRAIL
HEIGHT
INCHES
INSULATION

FACE OF WALL FOOT

FOOTING GAUGE

GARAGE GRAB BAR

INSULATION

INTERMEDIATE

INTERIOR

ENCLOSURE

EQUAL EQUIPMENT

KIT. LAU. LAND'G LAV. LT. MAX. M.C.

MULL. N/A N.I.C. N.T.S.

P.O. P.T.

PTD. PLYWD.

SHLVS. SHT. SIM.

LAUNDRY LANDING LAVATORY

MAXIMUM

MOUNTED

MULLION NOT APPLICABLE

NOT IN CONTRAC

PARTIALLY OPERABLE PRESSURE TREATED

OR POST TENSIONED

R RISER
REC. RECESSED
REF. REERIGERATOR
REINF. REINFORCED
REQU REQUIRED
RM. ROOM
ROUMOPENING
R.W.L. RAINWATER LEADER
S.A.D. / SAD SEE ARCHITECTURAL DRAWINGS
S.C. D / SEO SEE CIVIL DRAWINGS

SCHEDULE
SEC. SECTION
S.E.D. / SED SEE ELECTRICAL DRAWINGS
S.F. SUBELOOP

SHELVES

S.M.D. SMD SEE MECHANICAL DRAWING
S.P. STANDPIPE
ETS.P.D. / SPD SEE PLUMBING DRAWINGS
SPECS. SPECIFICATIONS
SQ. SOUARE
S.S. STAINLESS STEEL
STD. STANDARD
STL STEEL
STOR. STORAGE
STRUCT, STRUCTURAL
SV. SHEET VINNA

SHEET VINYL TOWEL BAR

THRESHOLD

TONGUE AND GROOVE TELEPHONE

TOP OF WALL
TOILET PAPER HOLDER
TREAD (OR TEMPERED)
TUBE STEEL

WITH WATER CLOSET

WATER HEATER

WHERE OCCURS WATERPROOF WHEELSTOP

WOOD

TEMPERED GLASS

SUBFLOOR SEE FIRE PROTECTION DRAWINGS

SEE FIRE SPRINKLER DRAWINGS SAFETY GLAZING

S.L.D. / SLD SEE LANDSCAPE DRAWINGS SLVTD SEE LOW VOLTAGE TELECOM DWGS

OVER ON CENTER OFFICE OVERHANG OPENING OPPOSITE

PL. PLATE
PROPERTY LINE
PLAS. LAM. PLASTIC LAMINATE

PLYWOOD

MEDICINE CABINET

T: 415.777.0991 F: 415.777.0992



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ISSUE INFORMATION

SF PLANNING APPLICATION 03.19.2025

PLOT DATE: PROJECT NO PHASE: PREPARED BY: SCALE:

PROJECT

12/18/2024

12" = 1'-0"

G000

PROJECT LOCATION 5024.51 (140) Chinese. American Indi School-Turk St

PROJECT DESCRIPTION

NCT-3 - Moderate - Scale Neighborhood, Commerical Transit District

Year Bull: 1929 (1930)
Historic Resource Status A - Historic Resource Present (See SF PIM)
Occupancy Typels): R.2, R.2 (Ancessory), B. S., unused basement
Construction Type: Class C, SF Building Law of 1928
non-conforming Construction Class SI oursent code used as close equivalent
Number Of Stories: Passement
Subding Height: 73-714" from Turk Street Main Entrance to Roof F.F.E. at Storage
77-7 34" from Turk Street Main Entrance to Top of Parapit at Turk Street
66'-6 34" from Lowest Level Sidewalk (at Elm Street) to Ingless coorpied level (6th Floor)

1 -Bedroom Unit
114 Total Units
100% of Units are affordable (See MOHCD Priority Permit Letter sheet G010)
57/5 x 120 = 6,900 15; 700 = 6,900 15; 700 = 700

See Gioss Floor Area Plans Remorder disting parking (~16 parking spaces). No parking required. No parking provided. No Car Share existing, required, or provided Norm required per SEC. FLOS. BICYCLE PARKING (a) Applicability and/or GGEC 5.186.4 Bicycle Parking. Provided Existing bicycle rack for approx. 12 bicycles to be relocated within existing space. No Usable Open Space required, no Islaeb Open Space Provided. (100°-07-91"-7.1"2") / 120°-07-6.891 /100°-07-11/14.33

SEC. 249.35. FRINGE FINANCIAL SERVICE RESTRICTED USE DISTRICT SEC. 249.97. PRIORITY EQUITY GEOGRAPHIES SPECIAL USE DISTRIC

The groperly at 355 Turk is a 7 story + basement residential hotel building built in 1028. The building occupies the length of the property. The Ground Floor is accessed from Turk Street. The basement floor is accessed from Turk Street. The basement floor is accessed from the back of the building at Elm Street. Per SF Fire Code Section 1103.54 this is not a high rise building by floor is under 75 above fire truck access. So builtier 1258 care to building have an open men state; an additional statesea the building has one of the building has one one that the state of the state of the building contains parking into state of the building has one. The building contains parking into state of ADA parking and other high! ties than required for ADA, activate, and the state of the ADA parking and other high! ties share negarized not ADA, maintenance office and alsurdy one of the ground for pregizer Units, a 1-above manages unit, and a kitchen fidning licunge area at the 1"upper floor and units at the floors above. The regular units contain bathrooms but no kitchens, the Manages unit contains a bathroom and a kitchen. The construction is concrete with supporting steel structure, wood floor construction at the upper floors, and wood not construction.

MAJOR SCOPE ITEMS

The basement floor is not in the project scope except as required for improvements to the building. Parking to remain not stipped for ADA parking and clear height to remain less than required for ADA parking. Required scope at the basement includes shoutural brace frames, improvements to the Em Street side stairs, and removing or abendoring MEP equipment and ploin; The ground floor use as parking garage is changed to become support, packed for the residential use of the building. Aft he first upper from the Chee-Bedrom Manager's until and the littlehanding injung area are converted to become ADA complaint. At all residential floors two units at each floor are combined into one mobility unit and the remaining space is used to add a trash room with a new chute.

TRASH ROOMS AT FLOORS 1-6 - REPLACE TURK STREET SIDE WOOD WINDOWS IN KIND TYPICAL, SSD

| | The second section is | |
|-------------|-----------------------|--|
| | | |
| $=$ C \pm | TLVVI | |

OWNER'S CONSULTANT

Email: victor@sit-co.com

| APPLICABLE CODES | ABBREVIATIONS | <u>AMENDMENTS</u> |
|--|--|---------------------|
| 2022 California Buldinig Code 2022 California Existing Bulding Code 2022 California Electrical Code 2022 California Mechanical Code 2022 California Plumbing Code 2022 California Gerne Bulding Code 2022 California Energy Code | CBC CEBC CEC CMC CPC CGBC CENC | SF.AMENDMENTS, TVP. |
| 2022 San Francisco Building Code Amendments 2022 San Francisco Electrical Code Amendments 2022 San Francisco Mechanical Code Amendments 2022 San Francisco Piumbing Code Amendments 2022 San Francisco Green Building Code Amendments 2022 San Francisco Green Building Code Amendments 2022 San Francisco Existing Building Code Amendments | SFBC SFEC SFMC SFPC SFGBC SFEBC | |

CODE & ACCESSIBILITY INFORMATION

Civic Center

APPLICABLE ACCESSIBILITY REGULATIONS

MOD will review the projects for compliance to San Francisco Building Code Chapters 11A and 11B, UFAS 1998 Fair Housing Act and 2010 ADAS. The mobility, visual and heating featured units will need to comply with the 2010 ADA Standards blended with UFAS and Chapter 11B. The remaining units will need to comply with Chapter 11A to the extent feasible. Where conflicts occur between UFAS and 2010 ADAS, refer to MOD's memo dated August 20, 2014 for

Applicable Accessibility Codes - new construction or alterations:
2010 ADA Standards for Accessibility Codes - new construction are alterations:
2010 ADA Standards for Accessible Design Includes Till Bill 28 CFR part 35 151 and 2004 ADAAG 36 CFR part 1191, Appendices B and D published by DOJ EAR HOUSING ACCESSIBILITY (Appendices B and D published by DOJ CCR Title 24 2019 CBC Chapters 11a and 11b

Applicable Accessional you'd reliantly continuous.

999 ADA Standards for Accessible Design (caudios elevator exemptions Section 4.1.3(5) and Section 4.1.5(1)(it) published by DOJ-Fair Hussing Accessibility Guidelines 1991 published by HUD

HUMBOR Section 4.1.5(1)(it) published by DOJ

Fair Hussing Accessibility Guideline (18.9) 1996 Edition

Humbor Section Accessibility Standards (19.8) 1996 Edition

CCR Title 24 1994 CBC Chapters 11a and 11b

Applicable Accessibility Codes - non-compliant existing conditions:
2010 ADA Standards for Accessibility Codes - non-compliant existing conditions:
2010 ADA Standards for Accessibility Codefines 1991 on Library Expensions
2010 ADA Standards for Accessibility Codefines 1991 on Library Code 1991 on Libra

2010 AUX Statistics for Accessible Design 30, 10 (c)

Newly constituation of altered facilises or elements covered by §§ 36, 151(a) or (b) that were constructed or altered before March 15, 2012 and that do not comply with the 1991 Standards or with UFAS shall, on or after March 15, 2012, be made accessible in accordance with the 2010 Standards.

SF PLANNING

Project complies to Citywide Objective Design Standards:

Preservation Design Standards:

2.1 TREATMENT OF CHARACTER-DEFINING FEATURES

3 EXISTING BUILDING ENTRANCES AND GARAGE OPENINGS

PROJECT TEAM

OWNERSHIP TEAM

and Supportive Housing 1515 Vallejo Street San Francisco, CA 94109 Attn: Lakessa Scott Tel: (626) 652-5935 Email: lakessa.scott@sfgov.or

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Email: brandim@fivekeys.org REAL ESTATE DEVELOPMENT CONSULTANTS he Amin Group eal Estate Investments and

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WATERPROOFING ENGINEER Steelhead Engineers 2570 W. El Camino Real, Suite 320 Mountain View, CA 94040 Attn: Alan Burnett Tel: (650) 941-1112 Email: aeb@steelheadengineers.co

BIM CONSULTANT MODULUS Consuling 44 Montgomery Street, Suite 1000 San Francisco, CA 94104 Attn: Vishaal Dokras Tel: (415) 796-6482

UNIT MATRIX SUMMARY

UNIT COUNT SRO BUILDING UNIT COUNT | SRO(M) | 1BR(M) SRO (N.I.C.)

(M) MOBILITY UNITS

(C) UNITS WITH COMMUNICATION FEATURES NOTES: (N.I.C.) UNITS NOT IN SCOPE

1. THE UNIT COUNT ABOVE REFERS TO THE NUMBER OF UNITS ACTUALLY USED AS UNITS THE NUMBER OF UNITS THAT SF DBI HAS ON RECORD IN THE ANNUAL UNIT USAGE REPORT INCLUDES THE LOUNGE/KITCHENDINING SPACE AT THE 1ST UPPER FLOOR AS UNIT#101. THE CURRENT USE AS KITCHENLOUNGE/DINING SPACE WAS CONFIRMED ACCCEPTABLE WITH DBI AND

2 TOTAL NUMBER OF MOBILITY LINITS REQUIRED AT 835 TURK (ASSUME 5% PER ADA AND CBC REQUIREMENT ONLY NO TCAC FUNDING) = 6 3. UNITS XXX, XXX, AND XXX, TO BECOME FUTURE MOBILITY UNITS. TOTAL NUMBER OF MOBILITY UNITS PROVIDED AT 835 TURK = 6 (FULFILLS

4. TOTAL NUMBER OF COMMUNICATION UNITS REQUIRED AT 835 TURK (ASSUME 2% PER ADA AND CBC REQUIREMENTS, NO TCAC FUNDING) = 3 5. UNITS XXX AND XXX TO BECOME FUTURE COMMUNICATION UNITS. TOTAL NUMBER OF COMMUNICATION UNITS PROVIDED AT 835 TURK = 3

UNIT MATRIX PROPOSED UNIT NUMBERS AND LOCATION OF MOBILITY AND COMMUNICATION UNITS

| | Unit | | | | | | |
|-------|------|--------------------|--------------------|--------------------|--------------------|--------------------|--------------------|
| Floor | | 1 | - 2 | 3 | 4 | 5 | 6 |
| Samon | x01 | 101 KDL 010 GSF | 201 225 GSF | 301 229 GSF | 401 229 G6F | 501 229 GSF | 601 229 GSF |
| | a02 | 102 232 GSF | 202 231 GSF | 302 233 GSF | 402 233 GSF | 502 233 GSF | 602 233 GSF |
| | x03 | 208 XWKH | 3/11 FIDEN | 302 YEST | 108 1861 | 503 1951 | 689 795H |
| | 101 | 104 MOB 384 GSF | 204M08 382 GSF | 304 MOB 382 GSF | 404 MOB 382 GSF | 504 MO8 382 GSF | 604 MOB 382 GSF |
| | x05 | 105 223 GSF | 205 223 GSF | 305 223 GSF | 405 223 GSF | 505 223 GSF | 605 223 GSF |
| | x06 | 106 227 GSF | 236 227 GSF | 306 227 GSF | 406 227 GSF | 506 227 GSF | 606 227 68f |
| | x02 | 107 221 GSF | 237 221 GSF | 307 221 GSF | 407 221 GSF | 507 221 GSF | 607 221 GSF |
| | x08 | 108 226 GSF | 238 226 GSF | 308 226 GSF | 408 226 GSF | 508 226 GSF | 608 226 GSF |
| | x09 | 109 228 GSF | 239 228 GSF | 309 228 GSF | 409 228 GSF | 509 228 GSF | 609 228 GSF |
| | xtD | 110 226 GSF | 210 226 GSF | 310 226 GSF | 610 226 GSF | 510 226 GSF | 610 226 GSF |
| | xt1 | 111 234 GSF | 231 COM 234 GSF | 311 234 GSF | 431 234 GSF | 531 234 65F | 611 234 65f |
| | x12 | 112 226 GSF | 212 226 GSF | 312 226 GSF | 412 226 GSF | 532 226 658 | 612 226 GSF |
| | 211 | N/A | 6/5 | 4/4 | NJA | 475 | 6356 |
| | x14 | 114 234 GSF | 23.4 234 GSF | 314 234 GSF | 414 COM 234 GSF | 514 284 GSF | 614 234 GSF |
| | ×15 | 115 MGR 456 GSF | 215 230 GSF | 315 232 GSF | 415 232 GSF | 515 232 GSE | 615 232 GSf |
| | x16 | × | 216 212 GSF | 316 212 GSF | 416 212 GSF | 536 212 GSF | 616 212 65F |
| | 117 | × | 217 326 GSF | 317 320 GSF | 417 320 GSF | 517 320 GSF | 617 COM 320 GSF |
| | x18 | × | 218 284 GSF | 318 284 GSF | 418 284 GSF | 518 284 GSF | 618 284 GSF |
| | x19 | × | 219 287 GSF | 319 282 (SE | 419 282 GSF | 519 282 GSF | 619 282 GSF |
| | x20 | × | 220 315 GSF | 320 319 G5F | 420 319 GSF | 520 319 GSF | 620 379 65F |

LEGEND:
UNITS HIGHLIGHTED IN BOLD ITALICS ARE ALTERATION SCOPE,
AND ON ACCESSIBLE ROUTE. UNITS HIGHLIGHTED IN BOLD! THALES ARE ALTERATION SCOPE, CONVERTED TO BE ACCESSIBLE AND ON ACCESSIBLE ROUTE. [EXISTING ELEVATORS REQUESTED TO BE ACCEPTED PER INFEA [E] 101 KDL. [E] UNIT PREVIOUSLY CONVERTED TO COMMON SPACE FOR TENANTS

FOR TEMATS

(MTCHEN, ININING LOUNCE) TO BE ALTERED TO BE ACCESSBLE

[2] X33 AND XMA LINE: COMBINED INTO INJUDICILITY SRO UNITS

[2] X33 LINE APARTIMENTS ARE REMOVED. X33 LINE ROOM

NUMBERS USED FOR RESIDENTIAL FLOOR TRASH ROOMS.

COM. COMMUNICATION LINTS: 2% REQUIRED. LOCATION OF

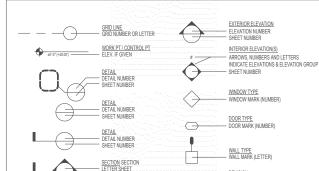
COMMUNICATION LINTS TBD.

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835 TURK STREET

PLOT DATE:
PROJECT NO:
PHASE:
PREPARED BY:
SCALE:
Sheet Title:

DRAWING INDEX

- G001



City and County of San Francisco DEPARTMENT OF PUBLIC HEALTH ENVIRONMENTAL HEALTH

Seant Collax, MD, Director of Health Patrick Foedahl, MS, REVS Environmental Health Director

January 21, 2025

City and County of San Francisco ment of Hornelessness & Supportive Housing Affr: Lakessa Scott 440 Turk Street

San Francisco, CA 94102

Via email: lakessa.scottiji.sfgov.org Subject: SFHC Article 22A and 22B - Compliance Certification 835 Turk St, San Francisco, California 94102 SMED Case Number: 2291

In accordance with San Francisco Health Code (SFHC) Article 22A and 22B, and San Francisco Building Code Section 106.3.2.4, the San Francisco Department of Poblic Health, Environmental Health Branch, Constantianted Site Assessment and Mitigation Program (EHB-SAM) is isosing a Compliance Certification letter based on the receipt and review of the following documents related to Site Mitigation: Busiconcental Health Database (SMED) case number 2291 for the property located at 835 Turk Street (the Star):

- SCA Environmental, Inc. (SCA), 2021. Phase I Environmental Site Assessment, Van Suites, APN 0761-016A, 835 Turk Street, San Francisco, CA 94102. November 18.
- Calgeotech Engineering Consultants, Inc., 2024. Final Geotechnical Engineering Investigation Report for Scientic Retroft Project, 835 Turk Street, San Francisco, California, December, (Gonocchical Report)
- Saida + Sullivan Design Partners (SSDP), 2024, 835 Turk Street, 50% Design Development, December 18.

On December 10, 2024, the EHB-SAM received a Site Assessment and Mitigation Application and issued a SMED case number 2291 for the Site.

A case summary and comments from EHB-SAM review are included in this letter.

SITE DESCRIPTION AND PROPOSED DEVELOPMENT

The Site is located on Turk Street, between Gough Street and Franklin Street. It is approximately 6,899 square feet (0.16 acres) in size and identified by the San Francisco County Assesser's Parcel Number (APN) 0761-016A.

Continuencio Siria Assesseer neo Miscanos Processe. 49 South Van Ness Avenue, Suite 600, San Francisco, CA 54100 Phone 415-252-3800 | Fex 415-252-3910

835 Turk St (5MED 2291) January 21, 2025 Page 2 of 3

Based on the Geotechnical Report, the Site basement is underlain by approximately 20 foot of sand. Groundwater is anticipated an 35 foot below ground surface (bgs), flowing towards the sentheaut. Based on the Phase I ESA, the Site was cool for residential dwellings from 1866 to the late 1920s. The existing building was beth in 19729 and used for hotel apartments, single room occupancy, and short-ferri remials. Interical commercial operations neighbering the Site include a short metal workshop, paint shop, photo shop, ands orqui shop, day cleaner, and oil and gas station(s). A ramp overpass to a historical freeway was present two parcels west of the Site from the 1996s to 1990s. In accordance with ASTM E1527-13, the Phase I ESA did not identify any receptaired environmental conditions (RECs).

The Site contains an existing seven-story residential hotel building (with a partially subgrade basenesen) and is proposed for robabilitation for 100% affectable boasing. Rehabilitation scope includes voluntary assense stronghening, electrication uggated so of the mechanical, electrical, and planching systems, and correlates with the Americans with Disabilities Act. Approximately 252 cubic yeards of seil are estimated for excussion. The ground floor uses will change from parking garage to residential building support spaces for residential use (e.g., offices, laundry, stonge). The basement, which is currently used as parking and storage, will be abundened to accommodate the structural upgrades.

EHB-SAM REVIEW

Based on the information provided, the requirements of Article 22B do not apply to this project and so Size-Specific Deut Control Plan will be required. Please review the general construction dust control exquirements in San Francisco Building Code Section 106,5,3,2-6,3 at they may still

The EHB-SAM approves the Phase I ESA and finds it compliant with SFHC <u>Article 22A.6</u>, and finds no farther action is necessary for Article 22A compliance based on the findings that no hazardous substances are capected to be present in seil or groundwater exceeding applicable health risk levels.

Should you have any questions or comments, please contact Tina Houng at (415) 252-3927 or tina hoangids (dph.org

Sincerely,

The Book

Tina Hoang Senior Enviro nental Health Inspector

AB-004 DOCUMENTATION OF FINDINGS FOR PRIORITY PERMIT APPLICATION PROCESSING.

2022 SAN FRANCISCO BUILDING CODE

ATTACHMENT I



London N. Breed, Mayor Patrick O'Riordan, C.B.O., Director

AB-004

DEPARTMENT OF BUILDING INSPECTION City & County of San Francisco
49 South Van Ness Ave | 5th Floor, San Francisco, CA 94103 Documentation of Findings for Priority Permit Application Processing

Received Date: _____ Time: ____ Permit Application # Property Address: 835 Turk Street, San Francisco, CA 94102 Block and Lot: 0761 / 016A
Occupancy Group: Use: Description of Proposed Work:

Rehabilitation of existing 6-story 100% Affordable Housing SRO building for formerly homeless individuals.

03/12/2025 Signature of Applicant
PELLICE PLACE ANN PERSON TO Date . |
PELLICE PRODUCTION PRODUCTIO

the building is currently object by 1881 4 leased to a building operator.

Entail correspondence detects, 3-12-2025. (Attached) Signature of DBJ Supervisor or Many

Print Name and Title Mark Walls, Chief building Tay, Date 3-12-2025

Dwyer, Brendan (MYR) Wednesday, March 12, 2025 11:40 AM Walls, Mark (DBI) Faust, Holly B. (MYR) RE: 835 Turk St.

Hi Mark.

Yes, this is a MOHCD / HSH project. Adding the assigned Construction Rep here (Holly Faust). She will correct me if I'm wrong, but I believe that the building is currently owned by HSH and leased to a building operator (can't recall their name off the top of my head.) I believe the plan is to eventually transfer ownership of the building to a developer while the City retains ownership of the land. They've got some non-MOHCD funding source that is driving their construction schedule, so I think they'll need at least some permits approved by Sepfect or risk loosing out or some funding. That's my very high level understanding of where things are at, but Holly is way in the weeds on this one and can answer any further questions you may have. Thanks,

Brendan Dwyer (he, him, his)

1 S. Van Ness Avenue, 5th Floor an Francisco, CA 94103 Cell: (510) 830-5681 brendan.dwyer@sfgov.org

My normal in-office days are Monday to Thursday. I generally work from home on Fridays

ional Services and Construction contracting opportunities for MOHCD-funded projects HERE.

From: Walls, Mark (DBI) <mark.walls@sfgov.org>
Sent: Wednesday, March 12, 2025 11:29 AM
To: Dwyer, Brendan (MYR)

Subject: 835 Turk St.

Morning Brendan. Mark G Walls

Is this location owned or leased by CCSF?

Mark G. Walls
Chief Building Inspector
Permit Services - Department of Building Inspectior
(628) 652-3752
SERBLAGE

Sign up for our customer email list

MOHCD PRIORITY PERMIT LETTER

Mayor's Office of Housing and Community Development City and County of San Francisco



London N. Breed

Eric D. Shaw



4 GOUGH ST. SUITE 202 SAN FRANCISCO, CA 94103

T: 415.777.0991 F: 415.777.0992

Letter Confirming City Priority Permit Status

Pranay Mowji, Owner's Representat c/o Five Keys Schools and Program 70 Oak Grove Street San Francisco, CA 94107

On behalf of the Mayor's Office of Housing and Community Development (MOHCD) this letter confirms the priority permit status of the proposed 100% affordable project at the Property listed below, as an Executive Directive 13-01 priority project.

This letter should be uploaded with your permit application when you submit any building permits online and should be referenced in all correspondence related to those permit applications

Thank you and please contact the staff person listed below with any question:

Bul Dyc Brendan Dwyer brendan.dwyer@sfgov.org

One South Van Ness Avenue, Fifth Floor, San Francisco, CA 94103 www.sfmohcd.org

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ISSUE INFORMATION

SF PLANNING APPLICATION 03.19.2025

PLOT DATE: 12/18/2024 PROJECT NO: PHASE: PREPARED BY:

AGENCY

SCALE:

- COMMUNICATION

G010

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ERRCS REQUIREMENTS

From: "Weiss-Ishai, Sagiv (FIR)" <sagiv.weiss-Ishai@sfgov.org>
Subject: RE: 835 Turk - Pre-App - question for clarification
Date: January 7, 2025 at 14.00:26 PST
To: Bob Luhrs <a href="https://doi.org/10.108/j.nc/ib/

<bruce@baumann
ishai@sfgov.org>

Hi Bob and Bruce and Happy 2025!

Hi Bob and Bruce and Happy 2025!
There is no code requirement to install indoor antenna on every floor.
You could potentially have full coverage with no antennas at all.
The Antenna coverage design is based on the GROL licensed design and we just provide the Radio coverage inspection throughout the building via a grid test and DAQ + NEG 95 requirement in each grid regardless the locations of the antenna.
Tou can tell it. Woo that this is how SFFO (Sagiv/Plan Check) are enforcing the ERRCS requirement since

1/1/2011 and he can contact me for more specific info if he needs to Hope this helps

Sagiv Weiss-Ishai, P.E.



Eckart Graeve

Pranay Mowjf; Mimi Sullivan; Koji Saida; Jansen Lum; Faust, Holly B. (MYR) Quiambao, Cheley (HOM) FW: 835 Turk - HSH acquisition property - HCO question

Hi all,

Please see below for confirmation DBI will accept a net loss of 6 units to create 6 accessible units.

Joanne

Email: sagiv.weiss-ishai@sfgov.org



UNIT COUNT REDUCTION

Park, Joanne (HOM) <joanne.park@sfgov.org> Tuesday, July 25, 2023 3:44 PM

From: Luton, Matthew (DBI) -matthew.luton@sfgov.org>
Sent: Friday, July 21, 2023 4:31 PM
To: Park, Joanne (H0M) -joanne.park@sfgov.org>
Cc: Quiambao, Cheley (H0M) -chelette.quiambao@sfgov.org>
Subject: RE: 835 Turk - H5H acquisition property - HCO question

approve the combination of 12 guest rooms in order to create 6 accessible units, as it has been presented to me, due to the exception specified under the definition of Conversion (See Section 41.4 of the SF Administrative Code).

I hope that this email satisfies your request for the interpretation in writing.

Please feel free to contact me with any additional questions or concerns.

Housing Inspection Services 49 So. Van Ness Ave., Suite 400 San Francisco CA, 94103 (628) 652-3373

Subject: RE: 835 Turk - HSH acquisition property - HCO question

Thanks for the update! Would it be possible to get this interpretation in writing or something formalized so it doesn't become an issue during plan check?

Sent: Friday, July 21, 2023 9:00 AM

I apologize for the delay in getting back to you.

I am not aware of anything that would require you to convert existing guest rooms into accessible units. During our meeting it was brought up that the Mayor's Office of Housing might require the city to provide accessible units. It sounds like that is not the case now.

I have just heard back from the city attorney and after going over the proposed change at 835 Turk Street, it seems like we can use the exception specified under the HCO's definition of "Conversion" to approve this project. The exception allows a change in use of a residential unit to a non-commercial use, which serves only the needs of the permanen

Thank you,

Conversion. The change or attempted change of the use of a residential unit to a Tourist or Transient use, or the elimination of a residential unit, or the voluntary demolition of a residential hotel. However, a change in the use of a residential hotel will not an one-more fall use which serves only the needs of the permanent residents, such as a resident's lounge, community kitchen, or common area, shall not constitute a conversion within the meaning of this

From: Park, Joanne (HOM) < joanne.park@sfgov.org>
Sent: Monday, July 10, 2023 12:02 PM
To: Luton, Matthew (DBI) matthew.luton@sfgov.org>
C: Quiambao, Cheley (HOM) chelette.quiambao@sfgov.org>
Subject: RE: 835 Turk - HSH acquisition property - HCO question

Hi Matt,

No worries — we're all pretty busy here too. I don't recall mentioning there is an authority for an accessible unit requirement. From our perspective, the units would be voluntary. I'm still not clear, however, I'DBI would require accessible units if they determine the magnitude of our seismic retrofit project warrants such units.

2021 ANNUAL UNIT USAGE REPORT

| Block: | 0761 | |
|----------------|-----------------------|----------------------------|
| Lot: | 016A 01 | |
| Hotel N | lame (If Applicable): | Vantaggio Suites |
| Hotel Address: | | 835 Turk St., SF, CA 94102 |

SECTION 2 – OWNER NAME AND ADDRESS

| Owner Name: | VSSF Associates, LLC | | | | |
|----------------------|------------------------|----------|----------------|--|--|
| Owner Address: | 835 Turk St. | | | | |
| | City SF | State CA | Zip Code 94102 | | |
| Owner Email Address: | sf@vantaggiosuites.com | | | | |
| | | | | | |

SECTION 3 – LESSEE NAME AND ADDRESS (if applicable)

| Lessee Name: | N/A | | |
|-----------------------|------|-------|----------|
| Lessee Address: | - | | |
| | City | State | Zip Code |
| Lessee Email Address: | | | |
| Lessee Phone Number: | | | |

ANNUAL UNIT USAGE REPORT 2021

HOTEL ADDRESS: 835 Turk St., SF, CA 94102-761/016A 01

SECTION 4 – RESIDENTIAL GUEST ROOMS

For October 15, 2021 indicate how many Residential guest rooms were occupied and vacant. Do not include legal spartments/dwelling units in guest room count. Attach the Daily Log for October 15, 2021 with this report.

4.1) How many Residential guest rooms were occupied on 10/15/2021? 4.2) How many Residential guest rooms were vacant on 10/15/2021?

Total number of Residential guest rooms that were occupied and vacant on 10/15/2021. Add together the total number of rooms from Question 4.1 and 4.2.

4.4) Number of certified Residential guest rooms. See section 1.

4.5) Is the total number of Residential guest rooms that were occupied and vacant on 10/15/2021 (Question 4.3) the same as the number of Residential rooms listed on the Certificate of Use (Question 4.4)? "YES-"/NO".

4.6) If the response at Question 4.5 is "YES", please move on to the next section. If the response at Question 4.5 is "NO", please provide an explanation for the discrepancy in the space below. If you need additional space, please attach separate sheets.

Unit #101 is converted and being used as a community kitchen SECTION 5 – TOURIST GUEST ROOMS

- 5.1) How many Tourist guest rooms were occupied on 10/15/2021?
- 5.2) How many Tourist guest rooms were vacant on 10/15/2021? 5.3) Total number of Tourist guest rooms that were occupied and vacant on 10/15/2021. Add together the total number of rooms from Question 5.1 and 5.2.
- 5.4) Number of certified Tourist guest rooms. See Section 1. 5.5) Is the total number of Tourist guest rooms that were occupied and vacant on 10/15/2021 (Question 5.3) the same as the number of Tourist rooms listed on the Certificate of Use (Question 5.4)? "YES"/"NO".

 YES
- 5.6) If the response at Question 5.5 is "YES", please move on to the next section. If the response at Question 5.5 is "NO", please provide an explanation for the discrepancy in the space below. If you need additional space, please attach separate sheets.

ANNUAL UNIT USAGE REPORT 2021

NO EXISTING 3R REPORT

Sent: Wednesday, October 19, 2022 9:21 AM To: Christen, Sharon (HOM) <sharon.christen@sfgov.org

Cc: Adams. Dan (MYR-DEM) <d an.adams@sfgov.org>; Herrera, Patty (DBI) patty.herrera@sfgov.org>; Catigan, Alexander (DBI) alexander.catigan@sfgov.org Subject: RE: 3 R report for 835 Turk and Eula

Typically, if we have an existing 3R, I can provide you with a copy of that 3R. For these two properties, 835 Turk St and 3061 16TH St, we have none. And I noticed these two

Per Housing Code, Section 351(A)

herein provided for. A residential building is defined as a building or portion thereof containing one or more dwelling units but not including hotels containing 30 or more guest rooms, or motels.

Thank you,

Darren Wu, Custodian of Records Records Management Division 49 South Van Ness, Suite 400 San Francisco, CA 94103 Office: (628) 652-3420 Desk: (628) 652-3331 ISSUE INFORMATION

T: 415.777.0991 F: 415.777.0992

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SF PLANNING APPLICATION — 03.19.2025

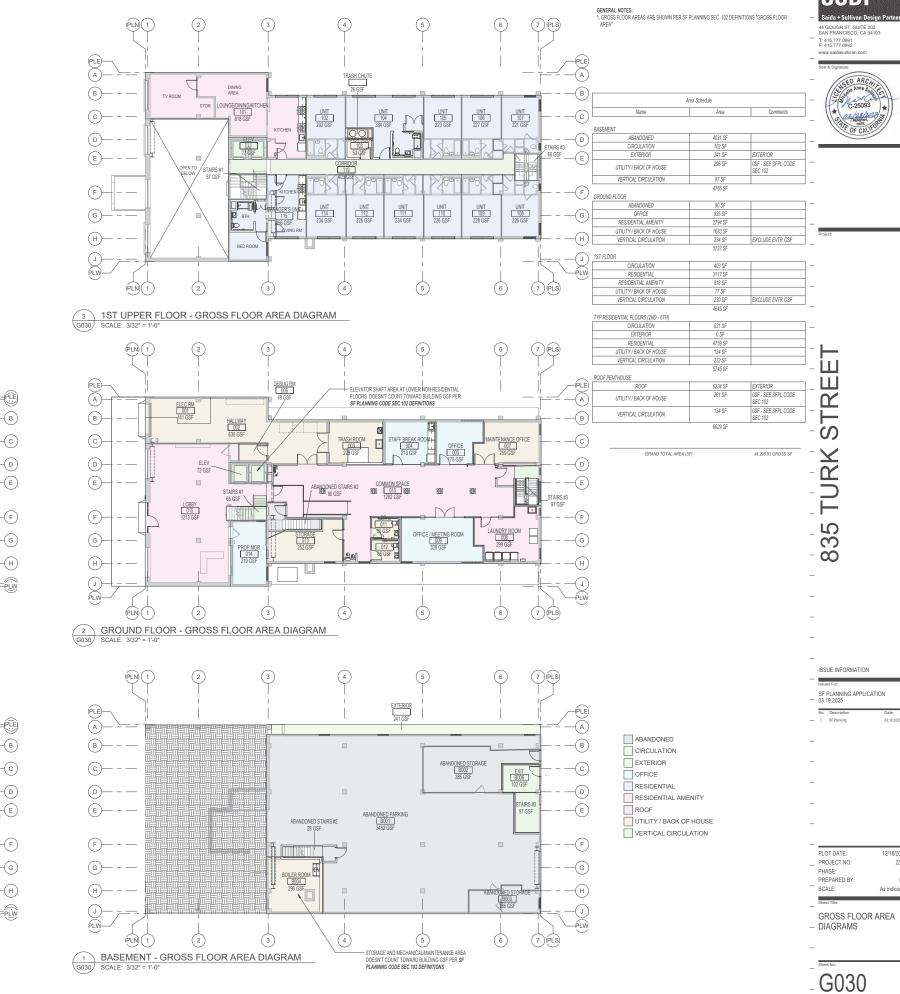
PLOT DATE: 12/18/2024 PROJECT NO: PHASE:

EG

PREPARED BY: SCALE:

AGENCY - COMMUNICATION CONT.

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(PLN) (2) (3) (4) 6 (PLS) ROOF ABOVE BASEMENT EAST 321SF B - - c — - -00 D - - -UNOCCUPIED ROOF 5,343 SF E — ELEVATOR OR STAIR PENTHOUSES, ACCESSORY WATER TAMKS OR COOLING TOWERS, AND OTHER MECHANICAL EQUIPMENT, APPURTENANCES, AND AREAS NECESSARY TO THE OPERATION OR MANNEMANCE OF THE BUILDING INSEL, F. LOCATED AT THE TOP OF THE BUILDING OR SEPARATED THEREFROM ONLY BY OTHER SPACE NOT INCLUDED IN THE GROSS FLOOR AREA PER SF PLANNING CODE SEC 102 DEFINITIONS F - - -MECH. RM. 702 68 GSF G -- -Н — - -ROOF ABOVE BASEMENT WEST 569SF 6 (PLS) 5 ROOF PENTHOUSE - GROSS FLOOR AREA DIAGRAM SCALE: 3/32" = 1'-0"

4

(5)

6

206 227 GSF

UNIT 209 228 GSF

6

(PLS)

210 226 GSF

5

(PLS)

4 2ND - 6TH FLOORS - GROSS FLOOR AREA DIAGRAM
G030 SCALE: 3/32" = 1'-0"

(PLN)

B - - -

(c)—

D-

E -

(F)—

(G)—

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Octobrilla Solar + Soliton Design Partners, Inc. 2022

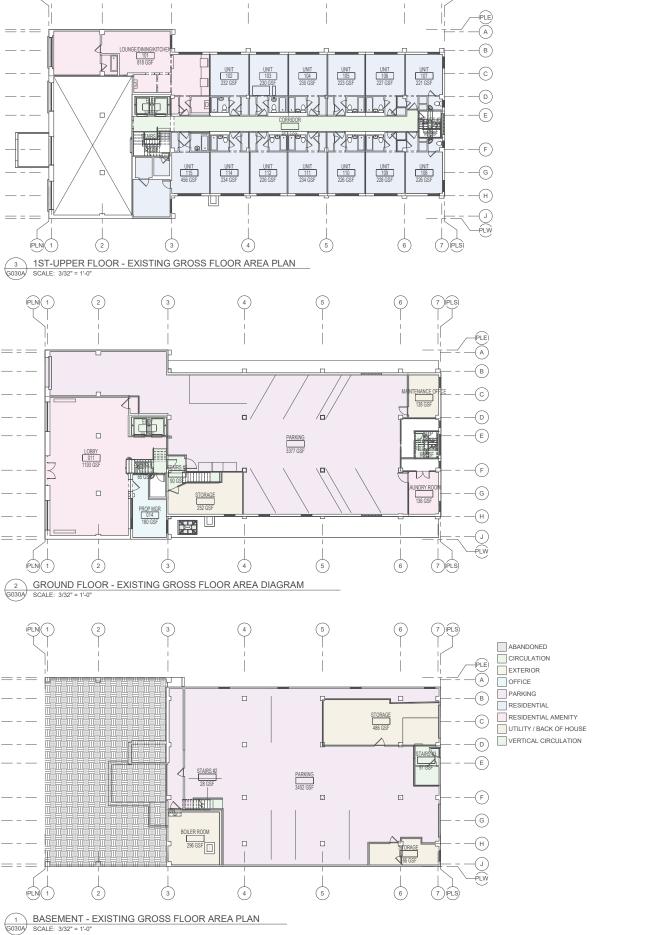
SHEET NOTES - GROSS FLOOR AREA PLANS:

STRE 835 TURK 8

SCALE:

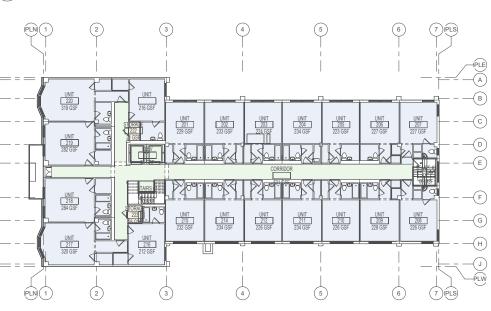
EXISTING GROSS

– FLOOR AREA DIAGRAMS



6

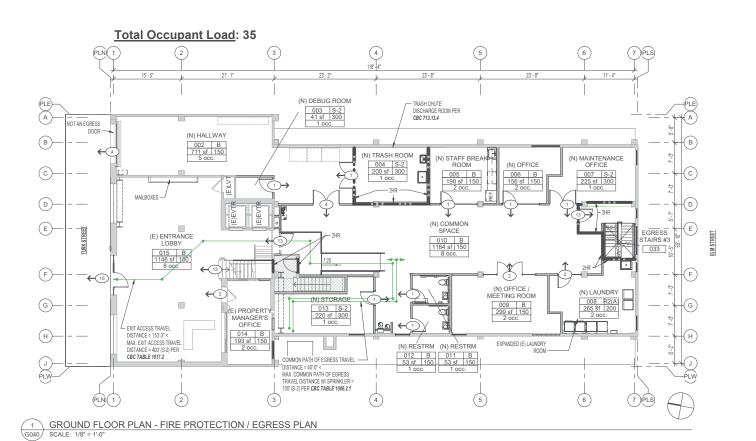


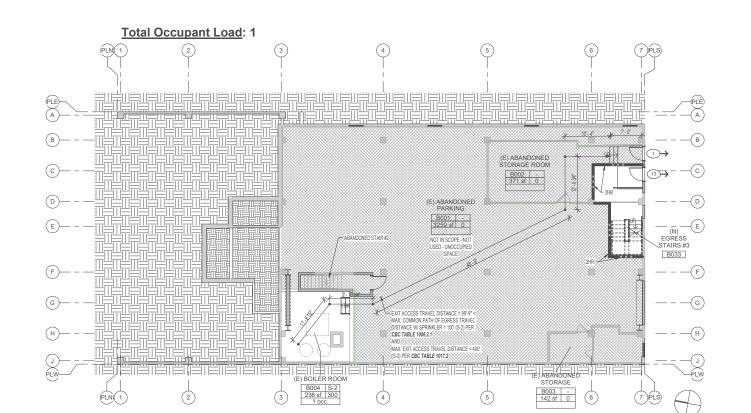


4 2ND UPPER FLOOR - EXISTING GROSS FLOOR AREA PLAN SCALE: 3/32" = 1'-0"

(PLN) 1

G030A





2 BASEMENT FLOOR PLAN - FIRE PROTECTION / EGRESS PLAN SCALE: 1/8" = 1'-0"

EGRESS SHEET NOTES:

1. EXISTING WALLS/ OPENINGS TO BE RETAINED AT FIRE PARTITIONS AND FIRE BARRIER LOCATIONS UNLESS OCCUPANCY TYPE CHANGES AT EITHER SIDE. (CEBC 302.3)

2. EXISTING MATERIALS TO BE RETAINED AS REPAIR WORK. (CEBC 302.3)

3. NEW & REPLACEMENT MATERIALS SHALL COMPLY WITH CURRENT CODE (CEBC 302.4)

4. ROOF: UNOCCUPIED 5. ALL REQ'D SHAFTS 2-HOUR RATED PER CBC SECTION 713. FIRE SEPARATION REQUIREMENTS ARE SHOWN FOR (N) PARTITIONS ONLY. FIRE SEPARATION REQUIREMENTS FOR (E) PARTITIONS ARE NOT SHOWN.

PER CBC CHAPTER 3

OCCUPANCY:

| | | C | CCUPANT LOAD S | CHEDULE - 01 GROUND | LEVEL | | |
|--------------|----------------------------------|--------|----------------|---------------------|----------------------|----------|----------------|
| Level | Name | Number | Area | OCCUPANCY | OCCUPANT LOAD FACTOR | INT/EXT | OCCUPANT COUNT |
| | | | | | | | |
| GROUND FLOOR | (N) HALLWAY | 002 | 711 SF | | | | |
| GROUND FLOOR | (N) LAUNDRY | 008 | 265 SF | R-2(A) | 15 | INTERIOR | 18 |
| GROUND FLOOR | (N) COMMON SPACE | 010 | 1184 SF | A-3 | 15 | INTERIOR | 79 |
| GROUND FLOOR | (E) ENTRANCE LOBBY | 015 | 1146 SF | A-3 | 15 | INTERIOR | 77 |
| GROUND FLOOR | (E) PROPERTY MANAGER'S OFFICE | 014 | 193 SF | В | 100 | INTERIOR | 2 |
| GROUND FLOOR | (N) STORAGE | 013 | 220 SF | S-2 | 300 | INTERIOR | 1 |
| GROUND FLOOR | (N) RESTRM | 011 | 53 SF | R-2(A) | 15 | INTERIOR | 4 |
| GROUND FLOOR | (N) RESTRM | 012 | 53 SF | R-2(A) | 15 | INTERIOR | 4 |
| GROUND FLOOR | (N) OFFICE / MEETING ROOM | 009 | 299 SF | S-2 | 300 | INTERIOR | 1 |
| GROUND FLOOR | (N) TRASH ROOM | 004 | 200 SF | S-2 | 300 | INTERIOR | 1 |
| GROUND FLOOR | (N) STAFF BREAK ROOM | 005 | 190 SF | В | 100 | INTERIOR | 2 |
| GROUND FLOOR | (N) OFFICE | 006 | 156 SF | В | 100 | INTERIOR | 2 |
| GROUND FLOOR | EGRESS STAIRS #3 | 033 | 115 SF | CIRC | 0 | INTERIOR | |
| GROUND FLOOR | (E)EVTR | 44 | 28 SF | CIRC | 0 | INTERIOR | |
| GROUND FLOOR | (E)EVTR | 45 | 30 SF | CIRC | 0 | INTERIOR | |
| GROUND FLOOR | (E)LVT | 46 | 12 SF | R-2(A) | 15 | INTERIOR | 1 |
| GROUND FLOOR | (N) MAINTENANCE OFFICE | 007 | 225 SF | R-2(A) | 15 | INTERIOR | 15 |
| GROUND FLOOR | (N) DEBUG ROOM | 003 | 41 SF | S-2 | 300 | INTERIOR | 1 |
| GROUND FLOOR | (E) ABANDONED | 032 | 74 SF | S-2 | 300 | INTERIOR | 1 |

EGRESS DIAGRAM LEGEND:

Room name ----- ROOM NAME

ROOM NUMBER / OCCUPANCY

FLOOR AREA / ALLOWABLE AREA PER OCC.

OCCUPANT LOAD PATH OF TRAVEL 10> CUMALITIVE # OCCUPANTS EXITING SPACE €10**→** CUMALITIVE # OCCUPANTS TO EXIT CUMALITIVE # OCCUPANTS TO EXIT DISCHARGE 1 HR FIRE RATED (N) CONSTRUCTION 2 HR FIRE RATED (N) CONSTRUCTION (E) CONCRETE WALL TO REMAIN (N) CONCRETE WALL TW TWO-WAY COMMUNICATION DEVICE

AREA NOT IN ARCHITECTURAL SCOPE

| OCCUPANT LOAD SCHEDULE - 00 BASEMENT | | | | | | | |
|--------------------------------------|-------------------------------|--------|---------|-----------|----------------------|----------|----------------|
| Level | Name | Number | Area | OCCUPANCY | OCCUPANT LOAD FACTOR | INT/EXT | OCCUPANT COUNT |
| | | | | | | | |
| EMENT | (E) ABANDONED STORAGE ROOM | B002 | 371 SF | NA | 0 | INTERIOR | |
| EMENT | (E) ABANDONED PARKING | B001 | 3259 SF | NA | 0 | INTERIOR | |
| EMENT | (E) BOILER ROOM | B004 | 238 SF | S-2 | 300 | INTERIOR | 1 |
| EMENT | (E) ABANDONED STORAGE | B003 | 142 SF | NA | 0 | INTERIOR | |
| EMENT | (N) EGRESS STAIRS#3 | B033 | 178 SF | CIRC | 0 | INTERIOR | |
| | | | 4187 SF | | | | |
| | | | | | | | |

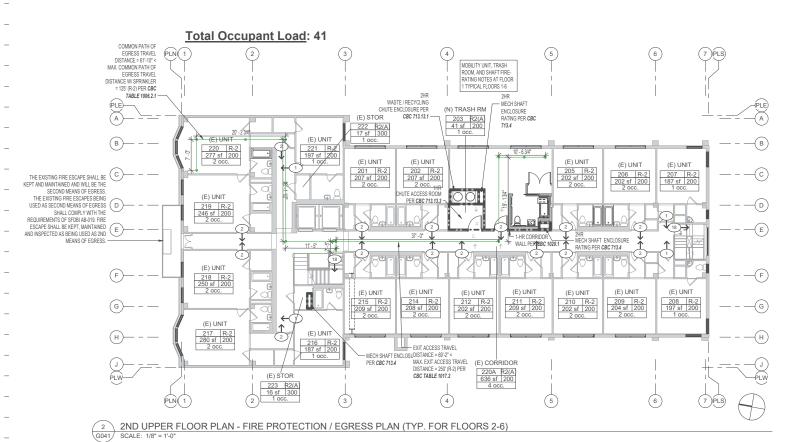
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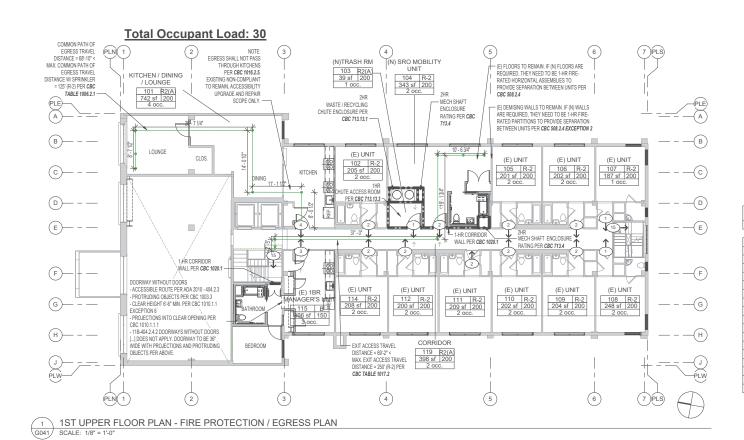
ISSUE INFORMATION

PLOT DATE PHASE: SCALE: As indicated

EGRESS DIAGRAMS

G040





EGRESS SHEET NOTES:

- EXISTING WALLS! OPENINGS TO BE RETAINED AT FIRE PARTITIONS AND FIRE BARRIEF LOCATIONS UNLESS OCCUPANCY TYPE CHANGES AT EITHER SIDE. (CEBC 302.3)
 EXISTING MATERIALS TO BE RETAINED AS REPAIR WORK. (CEBC 302.3)
- 2. EASH ING MALERIALS TO BE RETAINED AS REPAIR WORK, (LEBC 302.4)

 4. ROOF: UNDOCUPIED

 5. ALL REQ'D SHAFTS 2-HOUR RATED PER CBC SECTION 713.
- ALL REQ'D SHAFTS 2-HOUR RATED PER CBC SECTION 713.
 FIRE SEPARATION REQUIREMENTS ARE SHOWN FOR (N) PARTITIONS ONLY. FIRE SEPARATION REQUIREMENTS FOR (E) PARTITIONS ARE NOT SHOWN.

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4 GOUGH ST. SUITE 202 IAN FRANCISCO, CA 94103

T: 415.777.0991 F: 415.777.0992

OCCUPANCY:

PER CBC CHAPTER 3

| | | | OCCUPANT LOAD | SCHEDULE - 02 LEVEL 2- | -7 | | |
|-----------------|-----------------------|--------|---------------|------------------------|----------------------|----------|---------------|
| Level | Name | Number | Area | OCCUPANCY | OCCUPANT LOAD FACTOR | INT/EXT | OCCUPANT COUN |
| 2ND UPPER FLOOR | (E) STOR | 223 | 16 SF | | | | |
| 2ND UPPER FLOOR | (E) STOR | 222 | 17.SF | | | | |
| 2ND UPPER FLOOR | (E) UNIT | 205 | 202 SF | R-2 | 200 | INTERIOR | 2 |
| 2ND UPPER FLOOR | (E) UNIT | 201 | 207 SF | R-2 | 200 | INTERIOR | 2 |
| 2ND UPPER FLOOR | (E) UNIT | 208 | 197 SF | R-2 | 200 | INTERIOR | 1 |
| 2ND UPPER FLOOR | (E) UNIT | 209 | 204 SF | R-2 | 200 | INTERIOR | 2 |
| 2ND UPPER FLOOR | (E) UNIT | 210 | 202 SF | R-2 | 200 | INTERIOR | 2 |
| 2ND UPPER FLOOR | (E) UNIT | 211 | 209 SF | R-2 | 200 | INTERIOR | 2 |
| 2ND UPPER FLOOR | (E) UNIT | 212 | 202 SF | R-2 | 200 | INTERIOR | 2 |
| 2ND UPPER FLOOR | (E) UNIT | 214 | 208 SF | R-2 | 200 | INTERIOR | 2 |
| 2ND UPPER FLOOR | (E) UNIT | 215 | 209 SF | R-2 | 200 | INTERIOR | 2 |
| 2ND UPPER FLOOR | (E) UNIT | 216 | 187 SF | R-2 | 200 | INTERIOR | 1 |
| 2ND UPPER FLOOR | (E) CORRIDOR | 220A | 636 SF | R-2(C) | 0 | INTERIOR | |
| 2ND UPPER FLOOR | (E) UNIT | 220 | 277 SF | R-2 | 200 | INTERIOR | 2 |
| 2ND UPPER FLOOR | (E) UNIT | 221 | 197 SF | R-2 | 200 | INTERIOR | 1 |
| 2ND UPPER FLOOR | (E) UNIT | 219 | 246 SF | R-2 | 200 | INTERIOR | 2 |
| 2ND UPPER FLOOR | (E) UNIT | 218 | 250 SF | R-2 | 200 | INTERIOR | 2 |
| 2ND UPPER FLOOR | (E) UNIT | 217 | 280 SF | R-2 | 200 | INTERIOR | 2 |
| 2ND UPPER FLOOR | STAIRS | 2201 | 58 SF | CIRC | 0 | INTERIOR | |
| 2ND UPPER FLOOR | ELEVATORS | 220J | 80 SF | CIRC | 0 | INTERIOR | |
| 2ND UPPER FLOOR | (N) EGRESS STAIRS #3 | 233 | 57 SF | CIRC | 0 | INTERIOR | |
| 2ND UPPER FLOOR | (N) TRASH RM | 203 | 41 SF | S-2 | 300 | INTERIOR | 1 |
| 2ND UPPER FLOOR | (E) UNIT | 206 | 202 SF | R-2 | 200 | INTERIOR | 2 |
| 2ND UPPER FLOOR | (E) UNIT | 207 | 187 SF | R-2 | 200 | INTERIOR | 1 |
| 2ND UPPER FLOOR | (E) UNIT | 202 | 207 SF | R-2 | 200 | INTERIOR | 2 |
| 2ND UPPER FLOOR | (N) SRO MOBILITY UNIT | 204 | 338 SF | R-2 | 200 | INTERIOR | 2 |

EGRESS DIAGRAM LEGEND:

| 101 A 150 SF LF # OCC. | POOM NUMBER / OCCUPANCY FLOOR AREA / ALLOWABLE AREA PER OC OCCUPANT LOAD PROPERTY LINE PATH OF TRAVEI |
|------------------------------|---|
| 10)→ | CUMALITIVE # OCCUPANTS EXITING SPACE |
| E10→ | CUMALITIVE # OCCUPANTS TO EXIT |
| € D10→ | CUMALITIVE # OCCUPANTS TO EXIT DISC |
| | |
| | 1 HR FIRE RATED (N) CONSTRUCTION |
| | 2 HR FIRE RATED (N) CONSTRUCTION |
| | (E) WALL TO REMAIN |
| | (E) CONCRETE WALL TO REMAIN |
| | (N) WALL |
| | (N) CONCRETE WALL |
| TW | TWO-WAY COMMUNICATION DEVICE |

AREA NOT IN ARCHITECTURAL SCOPE

| OCCUPANT LOAD SCHEDULE - 01.5 LEVEL 1 | | | | | | | | | | |
|---------------------------------------|---------------------------|--------|----------------|-----------|----------------------|----------|----------------|--|--|--|
| Level | Name | Number | Area | OCCUPANCY | OCCUPANT LOAD FACTOR | INT/EXT | OCCUPANT COUNT | | | |
| | | | | | | | | | | |
| 1ST-UPPER FLOOR | (E) UNIT | 105 | 201 SF | R-2 | 200 | INTERIOR | 2 | | | |
| 1ST-UPPER FLOOR | KITCHEN / DINING / LOUNGE | 101 | 742 SF | R-2(A) | 15 | INTERIOR | 50 | | | |
| 1ST-UPPER FLOOR | (E) UNIT | 102 | 205 SF | R-2 | 200 | INTERIOR | 2 | | | |
| 1ST-UPPER FLOOR | (E) UNIT | 110 | 202 SF | R-2 | 200 | INTERIOR | 2 | | | |
| 1ST-UPPER FLOOR | (E) UNIT | 109 | 204 SF | R-2 | 200 | INTERIOR | 2 | | | |
| 1ST-UPPER FLOOR | (E) UNIT | 108 | 248 SF | R-2 | 200 | INTERIOR | 2 | | | |
| 1ST-UPPER FLOOR | (E) UNIT | 111 | 209 SF | R-2 | 200 | INTERIOR | 2 | | | |
| 1ST-UPPER FLOOR | (E) UNIT | 112 | 200 SF | R-2 | 200 | INTERIOR | 2 | | | |
| 1ST-UPPER FLOOR | (E) UNIT | 114 | 208 SF | R-2 | 200 | INTERIOR | 2 | | | |
| 1ST-UPPER FLOOR | (E) 1BR MANAGER'S UNIT | 115 | 366 SF | R-2 | 200 | INTERIOR | 2 | | | |
| 1ST-UPPER FLOOR | CORRIDOR | 119 | 398 SF | R-2(C) | 0 | INTERIOR | | | | |
| 1ST-UPPER FLOOR | (E) EGRESS STAIRS#3 | 133 | Redundant Room | CIRC | 0 | INTERIOR | | | | |
| 1ST-UPPER FLOOR | (E) ELEVATORS | 220G | 31 SF | CIRC | 0 | INTERIOR | | | | |
| 1ST-UPPER FLOOR | (E)STAIRS | 220H | 86 SF | CIRC | 0 | INTERIOR | | | | |
| 1ST-UPPER FLOOR | (N) SRO MOBILITY UNIT | 104 | 343 SF | R-2 | 200 | INTERIOR | 2 | | | |
| 1ST-UPPER FLOOR | (N)TRASH RM | 103 | 39 SF | S-2 | 300 | INTERIOR | 1 | | | |
| 1ST-UPPER FLOOR | (E) UNIT | 106 | 202 SF | R-2 | 200 | INTERIOR | 2 | | | |
| 1ST-UPPER FLOOR | (E) UNIT | 107 | 187 SF | R-2 | 200 | INTERIOR | 1 | | | |

ISSUE INFORMATION

Issued For:

SF PLANNING APPLICATION

03.19.2025

PLOT DATE: 12/18/2024
PROJECT NO: 2305
PHASE: PREPARED BY: EG
SCALE: As indicated

EGRESS DIAGRAMS

- G041





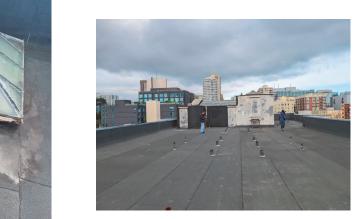




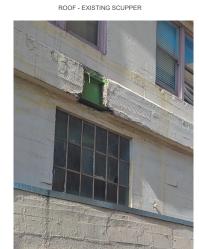


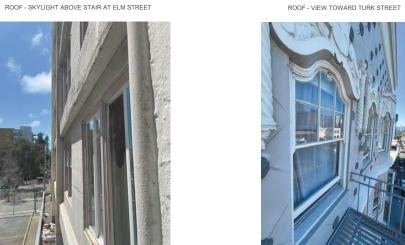
LOBBY - MAILBOXES





ROOF - FIRE WATER ASSEMBLY





ROOF - VIEW TOWARD ELM STREET









TOP FLOOR WINDOW



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STOREFRONT WINDOW



TURK STREET - FIRE ESCAPE



TURK STREET - LOBBY MAIN ENTRANCE



ELM STREET - WEST







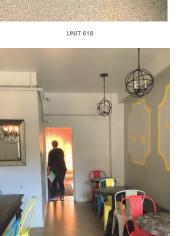
VIEW FROM TURK STREET

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| |

SITE PHOTOS

_ G080

VIEW FROM ELM STREET

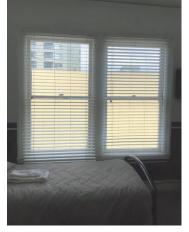


COMMON SPACES - TV LOUNGE



GROUND FLOOR LAUNDRY ROOM





UNIT 605



COMMON SPACES - LOUNGE



GROUND FLOOR LAUNDRY ROOM



ELEVATOR



UNIT 617



COMMON SPACES - LOUNGE



GROUND FLOOR - FIRE WATER ASSEMBLY



CORRIDOR - VIEW TOWARD TURK STREET



UNIT 617

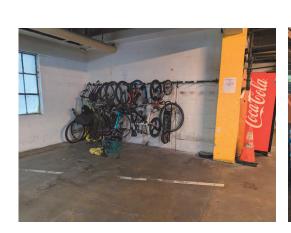


UNIT 617

COMMON SPACES - KITCHEN

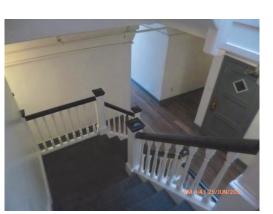


COMMON SPACES - KITCHEN



GROUND FLOOR - BICYCLE RACK





MAIN STAIR



GROUND FLOOR - GARAGE



STREET

835

SITE PHOTOS

G081

- N GRAPHIC SCALE

RECORD REFERENCES

BASIS OF SURVEY

LEGEND SYMBOLS DESCRIPTION BOUNDARY - SUBJECT PROPERTY RIGHT-OF-WAY LINE

ADJOINERS PROPERTY LINE TIE LINE MONUMENT LINE

EASEMENT LINE SQUARE FEET MORE OR LESS ASSESSOR'S PARCEL NUMBER RIGHT OF WAY

ASSESSOR'S PARCEL NUMBER PRELIMINARY TITLE REPORT

DOCUMENT NUMBER MONUMENT TO MONUMENT MEASURED RECORD DISTANCE

ASSESSOR'S BLOCK NO. 0761

WESTERN ADDITION BLOCK 135

FINAL MAP 4074 99 CM 79 APN 0768-032 THRU -060

(60' 7/8")

THE TITLE REPORT USED IN THIS SURVEY WAS ISSUED BY CHICAGO TITLE COMPANY, TITLE ORDER NO. FWPN-3552101685-JM, DATED FEBRUARY 11, 2022 AT 7:30 AM, REFERRED TO HEREON AS THE "PTR". TITLE TO SAID ESTATE IS VESTED IN:

THE ESTATE OR INTEREST IN THE LAND IS:

LEGAL DESCRIPTION

TITLE REPORT

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE CITY OF SAN FRANCISCO, COUNTY OF SAN FRANCISCO, STATE OF CALIFORNIA AND IS DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT ON THE SOUTHERLY LINE OF TURK STREET, DISTANT SOUTH 80° 55' WEST THEREON 137.50 FEET FROM THE WESTERLY LINE OF FRANKLIN STREET, RUNNING THENCE SOUTH 80° 55' WEST ALONG THE SAOD LINE OF TURK STREET 57.50 FEET; THENCE AT A RIGHT ANGLE SOUTH 9° 05' EAST 120 FEET TO THE NORTHERLY LINE OF ELM STREET; THENCE NORTH 80° 55' EAST ALONG THE SAID LINE OF ELM STREET 57.50 FEET; THENCE NORTH 9° 05' WEST 120 FEET TO THE POINT OF

BEING A PORTION OF WESTERN ADDITION BLOCK NO. 135.

PARCEL II:

TOGETHER WITH AND AS AN APPURTENANCE THERETO, A PERPETUAL EASEMENT FOR LIGHT AND AIR, OMER AND ALONG THE REAL PROPERTY DESCRIBED AT A LEVEL ABOVE 15 FEET IN HIGHET FROM THE LEVEL OF TURK STREET, A PRESENTLY CONSTITUTED, AS PROVIDED FOR IN THE FIRML GROER AND DECREE OF CONDEMNATION HAD IN SUPERIOR COURT ACTION NO. 404435 ENTITLED, "STATE OF CALIFORNA VS. FRED J. E. MEYER, ET AL.", A CERTIFIED COPY OF WHICH DECREE WAS RECORDED JULY 30, 1952, IN BOOK 5974, AT PAGE 102 OF OFFICIAL RECORDS, SERIES NO. 6660, TO WIT:

BEGINNING AT A POINT ON THE SOUTHERLY LINE OF TURK STREET, DISTANT THEREON 100 FEET WESTERLY FROM THE WESTERLY STREET, PRIMINING THENCE WESTERLY ALONG THE SAID LINE OF THIS STREET, FREET BION-LESS, THENCE AT A RIGHT ANGLE SOUTHERLY 120 FEET TO THE MORPHERLY LINE OF ELM STREET; THENCE AT A RIGHT ANGLE EASTERLY ALONG THE SAID LINE OF ELM STREET 37 FEET 6 INCHES; THENCE AT A RIGHT ANGLE NORTHERLY 120 FEET TO THE POINT OF BEDNING.

BEING PART OF WESTERN ADDITION BLOCK NO. 135.

- 1 THE HEREIN DESCRIBED PROPERTY LIES WITHIN THE BOUNDARIES OF A MELLO ROOS COMMUNITY FACULTIES DISTRICT ("CFD"), GFD NO 90 1, FOR SCHOOL FACULTY REPAIR AND MAINTENANCE, DISCLOSED BY NOTICE OF SPECIAL TAX LIEN RECORDED JULY, 5, 1900 IN BOOK FIGS, PAGE 1044 AND BY SUPPLEMENTAL NOTICE OF SPECIAL TAX LIEN RECORDED JULY 11, 1990, IN BOOK FIGS, PAGE 1 ET. SEQ., OFFICIAL RECORDS OF THE CITY AND COUNTY OF SAME PRAINCROP (SEYS). SINCE DISTRICT SETS OF THE CITY AND COUNTY OF SAME PRAINCROP (SEYS). CITY AND COUNTY OF SAN FRANCISCO (EXC. 5 - NOT PLOTTABLE).
- CITY AND COUNTY OF SAN FRANCISCO (EXC. 5 NOT PLOTTABLE).

 A NOTICE THAT SAID LAND IS INCLUDED WITHIN A PROJECT AREA OF THE REDEVELOPMENT AGENCY SHOWN BELOW, AND THAT PROFECEDINGS FOR THE REDEVELOPMENT OF SAID PROJECT HAVE BEEN INSTITUTED UNDER THE REDEVELOPMENT LAW (SUCH REDEVELOPMENT OF SAID PROJECT HAVE BEEN INSTITUTED UNDER THE REDEVELOPMENT LAW SIDISCOSED BY A DOCUMENT, RECORDING DATE JULY 21, 1966, RECORDING NO. P03335, OF OFFICIAL RECORDS, REDUCKLOPMENT AGENCY WESTERN ADDITION APPROVED REDEVELOPMENT PROJECT AREA A—2, AND RECORDED AUGUST 24, 1976, BOX C222, PAGE 190, OF OFFICIAL RECORDS, MODIFICATION OF SAID PLAN FILED IN THE OFFICE OF THE RECORDER OF THE CITY AND COUNTY OF SAN FRANCISCO NOVEMBER 23, 1970, SERIES NO. 26263, OF OFFICIAL RECORDS, AND RECORDED AUGUST 24, 1976, BOX C222, PAGE 26, OF OFFICIAL RECORDS, AND RECORDED AUGUST 24, 1976, BOX C222, PAGE 36, OF OFFICIAL RECORDS, AND RECORDED AUGUST 24, 1976, BOX C222, PAGE 36, OF OFFICIAL RECORDS, AND RECORDED. AUGUST 24, 1976, BOX C222, PAGE 36, OF OFFICIAL RECORDS, AND RECORDED. AUGUST 24, 1976, BOX C222, PAGE 36, OF OFFICIAL RECORDS, AND RECORDED. AUGUST 24, 1976, BOX C222, PAGE 36, OF OFFICIAL RECORDS, AND RECORDED. AUGUST 24, 1976, BOX C222, PAGE 36, OF OFFICIAL RECORDS, AND RECORDED. AUGUST 24, 1976, BOX C222, PAGE 36, OF OFFICIAL RECORDS. AND INSTRUMENT NO. 1273735, BOX OF FACE AGENCY AND CANNER 3, 1992, RISTRUMENT NO. 1273735, BOX OF FACE AGENCY AND CANNER 3, 1992, RISTRUMENT NO. 1273735, BOX OF FACE AGENCY AND CANNER 3, 1992, RISTRUMENT NO. 1273735, BOX FACE AGENCY AND CANNER 3, 1992, RISTRUMENT NO. 181205, OF OFFICIAL RECORDS, MODIFICATION OF SAID PLAN RECORDED. VIOLENT SAID PLAN RECORDED. SOUTH STRUMENT NO. 1273735, BOX OF FACE AGENCY AND AGENCY AND CANNER 3, 1992, RISTRUMENT NO. 1816205, BOX OF OFFICIAL RECORDS. OF OFFICIAL RECORDS SAID RECORDED. SOUTH AND CANNER SAID PLAN RECORDED. SOUTH SAID PLAN RECORDED. SOU 17, 1995, INSTRUMENT NO. F816260, BOOK G424, PAGE 152, OF OFFICIAL RECORDS (EXC. 6 - NOT
- 3 STATUTORY STATEMENT RE: REDEVELOPMENT, PURSUANT TO HEALTH AND SAFETY CODE SECTION 33373, RECORDED JULY 21, 1966, BOOK B68, PAGE 346, OF OFFICIAL RECORDS (EXC. 7 NOT PLOTTABLE).
- [4] COVENANTS, CONDITIONS AND RESTRICTIONS, AS SET FORTH IN THE DOCUMENT RECORDING DATE DECEMBER 33, 1996, RECORDINS NO. BOOK BIO3, PAGE 216, OF FORICAL RECORDS, SAID COVENANTS, CONDITIONS AND RESTRICTIONS PROVIDE THAT A ONCATION THEREOF SHALL NOT DEETAT THE LEW ATM MORTGAGE OR DEED OF TRUST MADE IN GOOD FAITH AND FOR VALUE (EXC. 8 - NOT PLOTTABLE).

- DATE OF FIELD SURVEY: NOVEMBER 5, 2021, NOVEMBER 22, 2023 AND AUGUST 23, 2024 AS TO THE BOUNDARY AND TOPOGRAPHIC SURVEY OF THE SUBJECT PROPERTY.
- THE UTILITIES SHOWN HEREON ARE BY SURFACE OBSERVATION AND RECORD INFORMATION ONLY AND NO WARRANTY IS GIVEN HEREIN AS TO THEIR EXACT LOCATION. IT IS THE RESPONSIBILITY OF THE DEVELOPER AND/OR CONTRACTOR TO KERRY THE EXACT LOCATION OF THE UTILITIES WITH THE APPROPRIATE UTILITY COMPANY OR AGENCY.
- 3. UTILITY JURISDICTIONS / PROVIDERS ARE AS FOLLOWS: STORM DRAINS: OTTY AND COUNTY OF SAN FRANCISCO SANTARY SEMER: OTT AND COUNTY OF SAN FRANCISCO WATER: OTTY AND COUNTY OF SAN FRANCISCO ELECTRICTY: PACHIC GAS & ELECTRIC COMPANY NATURAL GAS: PACHE GAS & ELECTRIC COMPANY
- 4. THERE ARE NO CEMETERIES ON OR WITHIN 100 FEET OF THE SUBJECT PROPERTY
- 5. THE SURVEYED PROPERTY IS THE SAME PROPERTY DESCRIBED IN THE TITLE REPORT.
- 6. THERE ARE NO WETLAND AREAS IN THE SUBJECT PROPERTY.
- 7. THERE IS NO EVIDENCE OF SITE USE AS A SOLID WASTE DUMP, SUMP OR SANITARY
- ALL DISTANCES AND DIMENSIONS WITHIN THIS DRAWING ARE BASED ON THE U.S. SURVEY FOOT AND DECIMALS THEREOF.

AR AR N80°55'00"F 57.50 TABLE A NOTES

IGHT 102

= XX

(6.02')(2

5.23' MEAS: (5.23')(3) (5.25')(1)

MK. E. FACE GRANITE FLECTROLIER

REDWOOD ST

(35' WIDE; PUBLIC)

MK. COR. BRK. 4-STY BRK

1.7' UP

6.36' MEAS.

PARCEL 15' FROM TEASEMENT

TURK STREET

(68.75' WIDE: PUBLIC)

N80°55'00"E 57.50

PARCEL I (PTR)

ELM STREET

(35' WIDE; PUBLIC)

GOLDEN GATE AVENUE (68.75' WIDE; PUBLIC)

- FOUND MONUMENTS ARE SHOWN ON THIS SHEET OF THE SURVEY.
- FLOOD ZONE: ACCORDING TO SAN FRANCISCO'S PRELIMINARY FLOODPLAINS MAP, DATED NOVEMBER 12, 2015, THE PROPERTY IS NOT LOCATED IN A SPECIAL FLOOD HAZARD AREA. SOURCE: HTTPS://SFGSA.ORG/SAN-FRANCISCO-FLOODPLAIN-MANAGEMENT-PROGRAM

ames P.

Lang Field

PROJECT SITE

Fulton St

VICINITY MAP

SAN FRANCISCO

THE PROJECT IS NOT LOCATED WITHIN THE FLOOD ZONE ON THE SFPUC'S 100 YEAR-STORM FLOOD ZONE MAP, WHICH SHOWS PROPERTIES IN SAN FRANCISCO THAT ARE SUBJECT TO DEEP AND CONTIGUOUS FLOODING DURING A 100-YEAR STORM, DATED JULY 2019. SOURCE: WWW.SFWATER.ORG/FLOODMAPS

4. THE TOTAL GROSS LAND AREA 6,900 SQUARE FEET +/- OR 0.158 ACRES MORE OR LESS

MK. COR. BRK. 2.0' UP AT EAST SIDE OF

(A/B) ZONING REQUIREMENTS: PER THE CITY OF SAN FRANCISCO PLANNING AND DEVELOPMENT, THE PROPERTY IS ZONED NCT-3
MODERATE SCALE NEIGHBORHOOD COMMERCIAL TRANSIT DISTRICT.

MINIMUM FRONT YARD: NONE REQUIRED
MINIMUM SIDE YARD: NONE REQUIRED
MINIMUM REAR YARD: REQUIRED AT THE LOWEST STORY CONTAINING A DWELLING UNIT AND AT EACH SUCCEEDING LEVEL OR
STORY OF THE BUILDING: 25% OF LOT DEPTH, BUT IN NO CASE LESS THAN 15 FEET.

MINIMUM PARKING REQUIREMENTS: NONE REQUIRED

- (A/B1/C) EXTERIOR DIMENSIONS AND SQUARE FOOTAGE OF BUILDINGS AT GROUND LEVEL, AND NUMBER OF STORIES ARE SHOWN ON SHEET 2 OF THE SURVEY.
- 8. SUBSTANTIAL IMPROVEMENTS OBSERVED IN THE PROCESS OF CONDUCTING THE SURVEY ARE SHOWN
- 9. THERE ARE 19 PARKING SPACES LOCATED ON THE SUBJECT PROPERTY, INSIDE BUILDING GARAGE. THERE ARE NO DIVISION OR PARTY WALLS WITH RESPECT TO ADJOINING PROPERTIES.
- (A) LOCATION OF UTILITIES EXISTING ON OR SERVING THE SURVEYED PROPERTY AS DETERMINED BY OBSERVED EVIDENCE TOGETHER WITH EVIDENCE FROM PLAN OBTAINED FROM UTILITY COMPANIES OR PROVIDED BY CLIENT ARE SHOWN ON SHEET 2.
- 13. NAMES OF ADJOINING OWNERS OF PLATTED LANDS ARE SHOWN ON THIS SHEET OF THE SURVEY.
- 16. THERE IS NO OBSERVABLE EVIDENCE OF CURRENT EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS.
- 17. THERE IS NO OBSERVED EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS.
- 18. THERE ARE NO OFFSITE EASEMENTS TO THE SUBJECT PROPERTY.
- 19. PROFESSIONAL LIABILITY INSURANCE IN THE AMOUNT OF \$2,000,000 IS HELD BY THE SURVEYOR.

BENCHMARK

BUTIBOZ, BEING SET COS'S STANDARD 1/2" DOMED STAINLESS SITEL ANCHOR SCREW
WITH MASHER STAMPED "COS'S CONTROL", LOCATED AT THE NORTHMEST CORNER OF VAN
NESS AVENUE AND MCALLISTER STREET, IN THE NORTHMESTERLY RETURN AT VAN NESS
AVENUE AND MCALLISTER STREET, NEAR THE NORTHMESTERLY RETURN AT VAN NESS
AVENUE AND MCALLISTER STREET, NEAR THE NORTHMESTERLY RROW PEDESTRAIN
CROSSING STOAL POST, 11.5 FETT NORTHMESTERLY FROM PEDESTRAIN
GOSSING STOAL POST, 11.5 FETT NORTHMESTERLY FROM CENTER/CENTER CABLE TIELEMSON PULL BOX, 18.4
16.9 FEET NORTHMESTERLY FROM CENTER/CENTER CABLE TIELEMSON PULL BOX, 18.4
16.9 FEET NORTHMESTERLY FROM CENTER/CENTER CABLE TIELEMSON PULL BOX, 18.4
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16.9 FEET NORTHMESTERLY FROM CENTER/CENTER CABLE TIELEMSON PULL BOX, 18.4 (1) MONUMENT MAP NO. 16 AND 25, ON FILE IN THE OFFICE OF THE CITY AND COUNTY SURVEYOR CÓUNTY SURVEYOR

(2) RECORD OF SURVEY NO. 5957, FILED IN BOOK DO OF SURVEY MAPS, PAGES

100-110, OFFICIAL RECORDS OF CITY & COUNTY OF SAN FRANCISCO

3) RECORD OF SURVEY NO. 7624, FILED IN BOOK E OF SURVEY MAPS, PAGE 100,

OFFICIAL RECORDS OF CITY & COUNTY OF SAN FRANCISCO

64 RECORD OF SURVEY, FILED IN BOOK AS OF MAPS, PAGE 197, OFFICIAL RECORDS

OF THE CITY & COUNTY OF SAN FRANCISCO.

5) FINAL MAP 4074, FILED IN BOOK 99 OF CONDOMINUM MAPS, PAGES 79-B2,

OFFICIAL RECORDS OF THE CITY AND COUNTY OF SAN FRANCISCO. FEET SOUTHERLY FROM CENTER/CENTER STREET LIGHT PULL BOX. ELEVATION = 69.959 FEET, VERTICAL DATUM: CITY AND COUNTY OF SAN FRANCISCO.

SURVEYOR'S CERTIFICATE FOUND MONUMENTS ON TURK STREET BETWEEN COUGH STREET AND VAN NESS AVENUE AS SHOWN ON MONUMENT MAP NO. 16 AND 25, ON FILE IN THE OFFICE OF THE CITY AND COUNTY SURVEYOR, WERE USED AS THE BASIS OF SURVEY.

TO VSSF ASSOCIATES, LLC, A CALIFORNIA LIMITED LIABILITY COMPANY; THE CITY AND COUNTY OF SAN FRANCISCO; AND CHICAGO TITLE COMPANY:

THIS IS TO CETIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA, ASSED EARD THIS SURVEYS, SURNITY ESTABLISHED AND ADOPTED BY ALTA AND INSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 6(A/B), 7(A), 7(B)), 7(C), 8, 9, 10, 11(A), 13, 14, 16, 17, 18, AND 19 O'T TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON NOVEMBER 5, 2221, NOVEMBER 22, 2023 AND AUGUST 23, 2024.

DATE AUGUST 28, 2024

P.L.S. 8934

DATE _AUGUST 28, 2024



ALTA/NSPS LAND TITLE SURVEY

835 TURK STREET CITY AND COUNTY OF SAN FRANCISCO, CALIFORNIA AUGUST 2024

PREPARED BY

LUK AND ASSOCIATES

CIVIL ENGINEER - LAND PLANNERS - LAND SURVEYORS

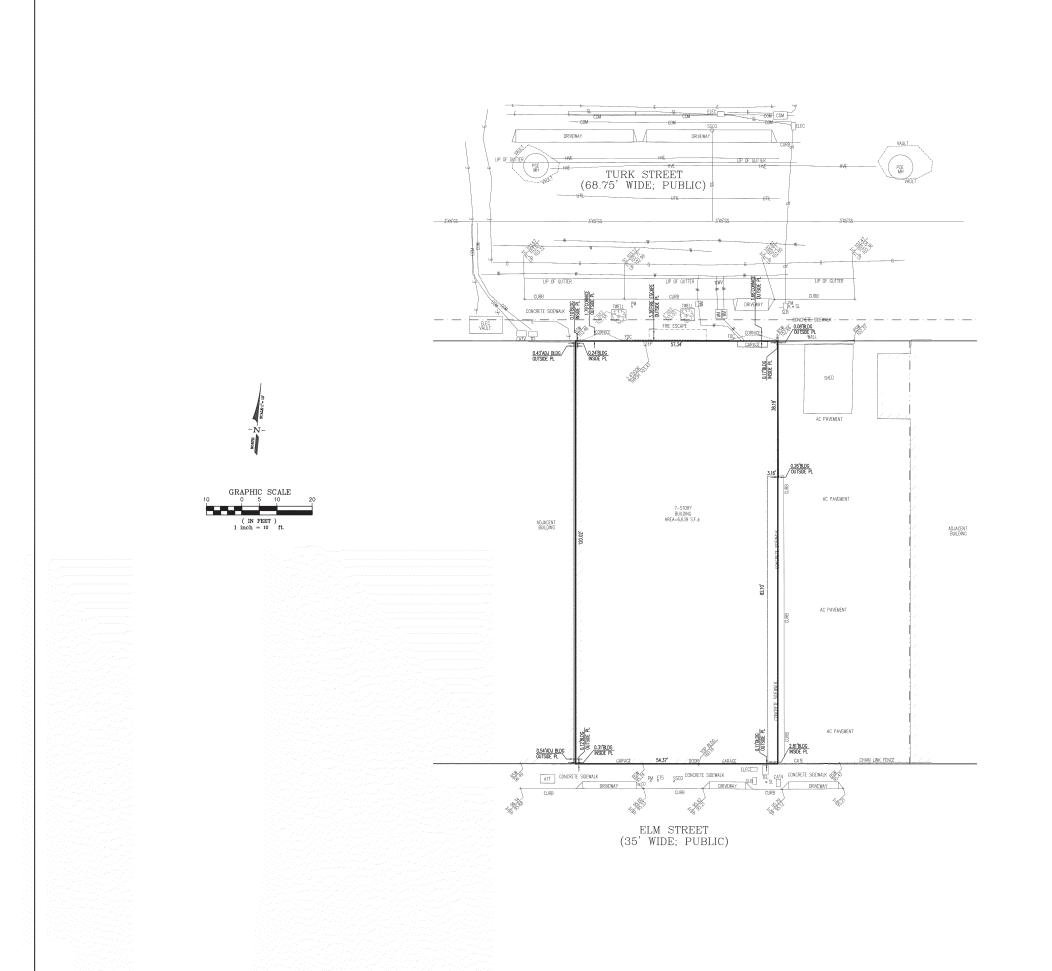
738 ALFRED NOBEL DRIVE

HERCULES, CALIFORNIA 94547

(510) 724-3388

F: \Jobs\FILE2021\21136A40\ALTA-21136A40.dwg

JOB NO.: 21136A40 PLOT DATE: AUGUST 28, 202



LEGEND

| SYMBOLS | DESCRIPTION |
|------------------------------------|---|
| | BOUNDARY - SUBJECT PROPERTY |
| | RIGHT-OF-WAY LINE |
| | ADJOINERS PROPERTY LINE |
| | TIE LINE |
| Processor i mount i mount i amount | MONUMENT LINE |
| | EASEMENT LINE |
| | BUILDING LINE |
| HVE | HIGH VOLTAGE ELECTRIC LINE |
| G | STREET LIGHT LINE GAS LINE |
| w | WATER LINE |
| COM | COMMUNICATIONS LINE |
| SS | SANITARY SEWER LINE |
| UTIL | UNKNOWN UTILITY LINE |
| E | ELECTRIC LINE |
| CO SSCO | CLEAN OUT |
| TWELL | SANITARY SEWER CLEAN OUT TREE WELL |
| WM | WATER METER |
| WV | WATER VALVE |
| ELEC | ELECTRIC BOX |
| PM | PARKING METER |
| SLB | STREET LIGHT BOX |
| FDC | FIRE DEPARTMENT CONNECTION |
| TEL | TELEPHONE BOX |
| CATV | CABLE AND TELEVISION |
| SL | STREET LIGHT ELECTROLYSIS TEST STATION |
| ETS ADJ | ADJACENT |
| BLDG | BUILDING |
| PL | PROPERTY LINE |
| TOP BLDG | TOP OF BUILDING ELEVATION |
| X 65.60 | |
| THRSH X-65.60 | THRESHOLD ELEVATION |
| | |
| X 65.60 | LIP OF GUTTER ELEVATION |
| | TOD OF SUPE ELECTION |
| X 65.64 | TOP OF CURB ELEVATION |
| X 65.64 | TOP OF PAVEMENT ELEVATION |
| X FL X 65.64 | FLOW LINE ELEVATION |
| P2'0# | |
| | TREE |
| | |
| | |

ALTA/NSPS LAND TITLE SURVEY

OF

835 TURK STREET

CITY AND COUNTY OF SAN FRANCISCO, CALIFORNIA

AUGUST 2024

PREPARED BY

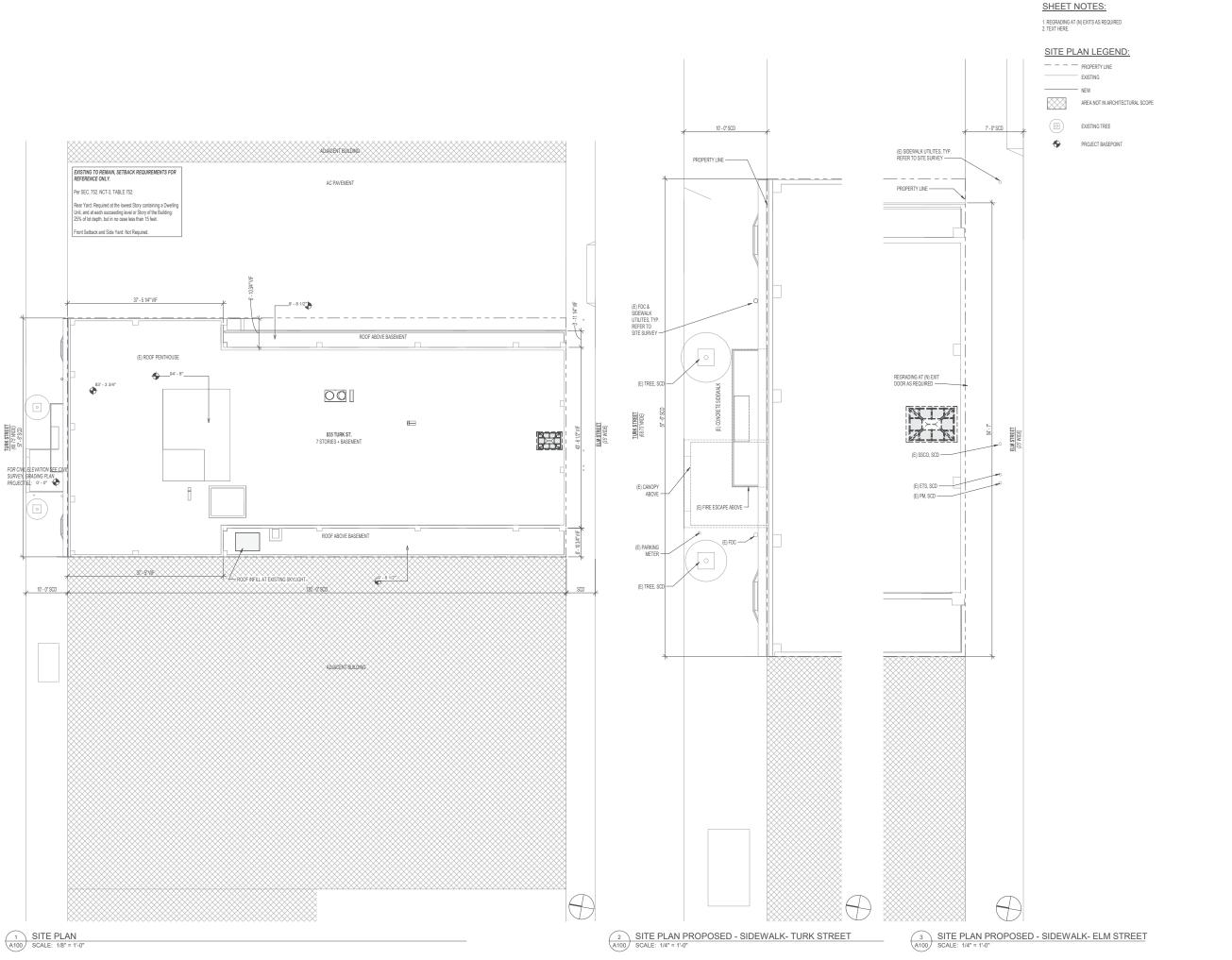
LUK AND ASSOCIATES

CIVIL ENGINEER - LAND PLANNERS - LAND SURVEYORS

738 ALFRED NOBEL DRIVE

HERCULES, CALIFORNIA 94547

(510) 724-3388



- SSDP

44 GOUGH ST. SUITE 202

T: 415.777.0991 F: 415.777.0992

: 415.777.0992 ww.saidasullivan.co

Seal & Signature:

Seal & Signature:

C.25093

C.25093

Signature:

835 TURK STREET

ISSUE INFORMATION

Issued For:

SF PLANNING APPLICATION

— 03.19.2025

— i srraing os.

PLOT DATE: 12/18/20

PROJECT NO: 23

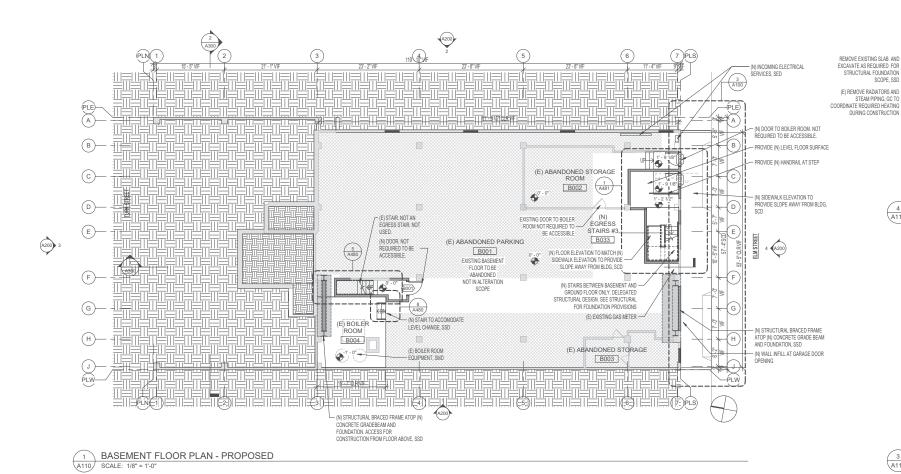
PHASE: PREPARED BY: As indica

SCALE:

SITE PLAN

- A100

2 GROUND FLOOR PLAN - PROPOSED SCALE: 1/8" = 1'-0"



FLOOR PLAN LEGEND:

DOOR/DOOR HARDWARE TO BE DISTURBED OR REMOVED SEE DOOR SCHEDULE

NEW DOOR

EXISTING STUD WALLS TO REMAI

EXISTING CONCRETE WALL

BACKING LOCATION S.S.D.

AREA NOT IN ARCHITECTURAL SCOPE

STRUCTURAL BRACED FRAME SCOPE, SSD

DISTURBED AREA / ARCHITECTURAL SCOPE AS NOTED

NEW FLOOR CONSTRUCTION

RID ROOM IDENTIFICATION SIGNAGE. SEE SHEETS AXX.XX — ХХ WALL TYPE IDENTIFICATION

A I.S. E.S. WINDOW TYPE IDENTIFICATION, REFER TO WINDOW SCHEDULE

INTERIOR SECURITY SCREEN I.S. INTERIOR SECURITY SCREEN
E.S. EXTERIOR SECURITY SCREEN $\langle 1t \rangle$ DOOR TYPE IDENTIFICATION REFER TO DOOR SCHEDULE

MOBILITY UNIT COMMUNICATION UNIT

FIRE EXTINGUISHER, CLASS ABC - SURFACE MOUNTED

ELEVATIONS ARE A.F.F

SEE 9 & 11 / G060 FOR CLEAR FLOOR SPACE & ACCESSIBLE TURNING SPACE

(E) FD. TO REMAIN

3

(E) WALL MOUNTED BIKE RACK

(5)

(4)

BASEMENT FLOOR PLAN REMOVAL STRUCTURAL FOUNDATION SCOPE SSD STRUCTURAL BRACED FRAME

3 BASEMENT FLOOR PLAN REMOVAL STRUCTURAL FOUNDATION SCOPE SSD STRUCTURAL BRACED FRAME
SCALE: 1/16" = 1'-0"

SEE 13 / G061 FOR DOOR MANEUVERING CLEARANCE LEGEND

(PLN) 1

(PLN(1)

GROUND FLOOR PLAN_REMOVAL

BUILDING PLAN SHEET NOTES:

1. ALL DIMENSIONS ARE TO FACE OF FINISH U.O.N. ALIGN FACE OF FINISH TO EXISTING FACE

2. ACCESSIBILITY REQUIREMENTS SHALL BE VERIFIED IN FIELD BY CONTRACTOR, CONDITIONS SHALL BE COORDINATED WITH ARCHITECT PRIOR TO COMPLETION. SEE ACCESSIBILITY SHEETS FOR ADDITIONAL INFORMATION.

3. EXISTING CONDITIONS SURROUNDING ALL PROPOSED WORK UNDER CONTRACT WITH OWNER SHALL BE VERIFIED IN FIELD BY CONTRACTOR. SEE OWNER RECORD DRAWINGS

FOR ADDITIONAL INFORMATION. 4. ALL ELECTRICAL WORK (I.E. RECEPTACLES, SWITCHING, CONTROLS) INCLUDING (RE LOCATION SHALL BE COORDINATED IN FIELD BY ELECTRICAL CONTRACTOR, PROVIDE

SOUND ATTENUATION AND PADS AT PENETRATIONS IN ACOUSTICAL WALL TYPES 5. ALL EXISTING CONDITIONS TO REMAIN WHICH CORRELATE TO PROPOSED SCOPE OF WORK SHALL BE EVALUATED BY OWNER FOR DAMAGE AND REPAIR OR REPLACEMENT.

6. PROVIDE NEW FINISHES, FURNISHINGS, EQUIPMENT, AND FIXTURES PER PRODUCT

SELECTION TABLE AND SPECIFICATIONS. 7. CEILING REMOVAL AS REQUIRED FOR INSTALLATION OF STRUCTURAL TIES, TYPICAL AT ALL

FLOORS AT PERIMETER WALLS, SSD

INTERIOR FINISHES

1 NEW INTERIOR FINISHES INCLUDING BUT NOT LIMITED TO FLOORING WALL BASE

PAINTING WITH PATCH AND REPAIR AT WALLS, CEILINGS, AND TRIM CONDITIONS, SEE PRODUCT SELECTIONS.

KEYNOTES

KEYNOTE

11 02 00.A1 STACKING WASHER AND DRYER 11 02 00.B2 11 02 00 C1 CHANGE DISPENSER N I C STANDPIPE W/ FIRE HOSE CONNECTION

22 30 00.A1 FLOOR DRAIN, S.P.D.

22 40 00.A9

MOP SINK

ACCESSIBLE UTILITY SINK W/ INTEGRAL EYE-WASH COMBO, S.P.D

6

28 13 33.A1 ENTRY SYSTEM

STRE 35 ∞

LISED ARCH

ISSUE INFORMATION

SF PLANNING APPLICATION - 03.19.2025

PHASE:

As indicated

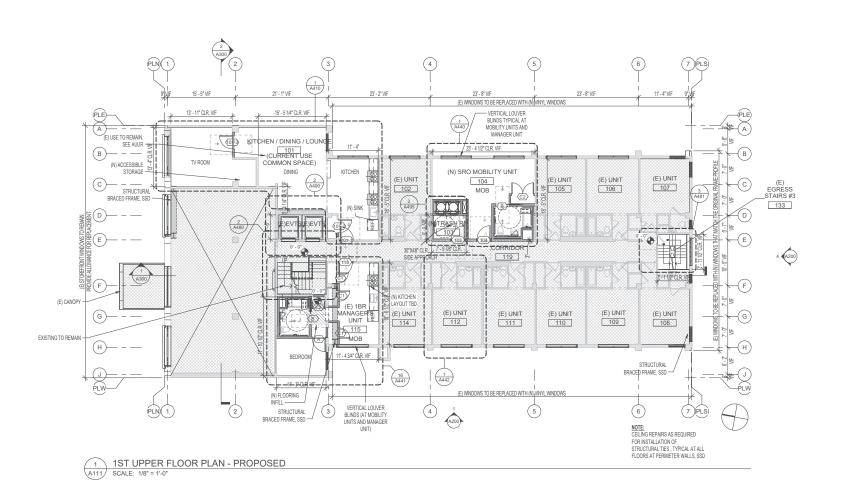
BASEMENT & GROUND FLOOR PLANS -PROPOSED & REMOVAL

A110

SCALE:

LEVEL FLOOR SURFACE, TBD

SLAB AND EXCAVATE AS REQUIRED FOR STRUCTURAL



FLOOR PLAN LEGEND:

DOOR/DOOR HARDWARE TO BE DISTURBED OR REMOVED SEE DOOR SCHEDULE

NEW DOOR

EXISTING STUD WALLS TO REMAI

AREA NOT IN ARCHITECTURAL SCOPE STRUCTURAL BRACED FRAME SCOPE, SSD

DISTURBED AREA / ARCHITECTURAL SCOPE AS NOTED NEW FLOOR CONSTRUCTION

RID ROOM IDENTIFICATION SIGNAGE, SEE SHEETS AXX.XX

> WINDOW TYPE IDENTIFICATION, REFER TO WINDOW SCHEDULE INTERIOR SECURITY SCREEN

WALL TYPE IDENTIFICATION

I.S. INTERIOR SECURITY SCREEN
E.S. EXTERIOR SECURITY SCREEN $\langle 1t \rangle$ DOOR TYPE IDENTIFICATION REFER TO DOOR SCHEDULE

MOBILITY UNIT COMMUNICATION UNIT

(B)

D E

(PLN) 1

4 2ND UPPER FLOOR PLAN_REMOVAL 81111 SCALE: 1/16" = 1"-0"

3 1ST UPPER FLOOR PLAN_REMOVAL SCALE: 1/16" = 1'-0"

FIRE EXTINGUISHER, CLASS ABC - SURFACE MOUNTED ELEVATIONS ARE A.F.F

(3)

(3)

(4)

(4)

SFF NOTE #7

SEE NOTE #7

SEE 9 & 11 / G060 FOR CLEAR FLOOR SPACE & ACCESSIBLE TURNING SPACE SEE 13 / G061 FOR DOOR MANEUVERING

BUILDING PLAN SHEET NOTES:

GENERAL NOTES:

1. ALL DIMENSIONS ARE TO FACE OF FINISH U.O.N. ALIGN FACE OF FINISH TO EXISTING FACE 2. ACCESSIBILITY REQUIREMENTS SHALL BE VERIFIED IN FIELD BY CONTRACTOR, CONDITIONS

SHALL BE COORDINATED WITH ARCHITECT PRIOR TO COMPLETION. SEE ACCESSIBILITY

OWNER SHALL BE VERIFIED IN FIELD BY CONTRACTOR. SEE OWNER RECORD DRAWINGS FOR ADDITIONAL INFORMATION. 4. ALL ELECTRICAL WORK (I.E. RECEPTACLES, SWITCHING, CONTROLS) INCLUDING (RE)

LOCATION SHALL BE COORDINATED IN FIELD BY ELECTRICAL CONTRACTOR, PROVIDE SOUND ATTENUATION AND PADS AT PENETRATIONS IN ACOUSTICAL WALL TYPES.
5. ALL EXISTING CONDITIONS TO REMAIN WHICH CORRELATE TO PROPOSED SCOPE OF WORK

SHALL BE EVALUATED BY OWNER FOR DAMAGE AND REPAIR OR REPLACEMENT.

6. PROVIDE NEW FINISHES, FURNISHINGS, EQUIPMENT, AND FIXTURES PER PRODUCT SELECTION TABLE AND SPECIFICATIONS. . CEILING REMOVAL AS REQUIRED FOR INSTALLATION OF STRUCTURAL TIES, TYPICAL AT ALL

FLOORS AT PERIMETER WALLS, SSD

INTERIOR FINISHES.

1. NEW INTERIOR FINISHES INCLUDING, BUT NOT LIMITED TO, FLOORING, WALL BASE PAINTING WITH PATCH AND REPAIR AT WALLS, CEILINGS, AND TRIM CONDITIONS. SEE PRODUCT SELECTIONS.

KEYNOTES

KEYNOTE ITEM

STRE 35

SED ARCH

1ST AND 2ND UPPER FLOOR PLANS -PROPOSED &

A111

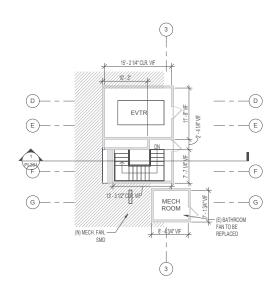
ISSUE INFORMATION

SF PLANNING APPLICATION 03.19.2025

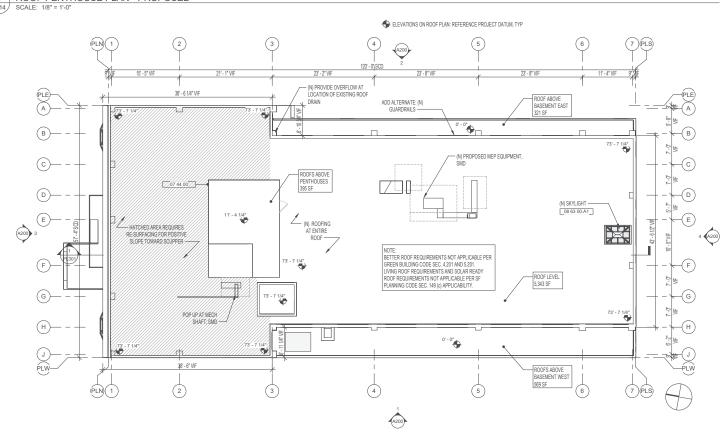
PLOT DATE:

PHASE: SCALE: As indicated

REMOVAL







ROOF PLAN - PROPOSED
SCALE: 1/8" = 1'-0"

FLOOR PLAN LEGEND:

DOOR/DOOR HARDWARE TO BE DISTURBED OR REMOVED SEE DOOR SCHEDULE

NEW DOOR

EXISTING STUD WALLS TO REMAIN

BACKING LOCATION S.S.D.

AREA NOT IN ARCHITECTURAL SCOPE

STRUCTURAL BRACED FRAME SCOPE, SSD

DISTURBED AREA / ARCHITECTURAL SCOPE AS NOTED NEW FLOOR CONSTRUCTION

RID ROOM IDENTIFICATION SIGNAGE, SEE SHEETS AXX.XX

WALL TYPE IDENTIFICATION WINDOW TYPE IDENTIFICATION, REFER TO WINDOW SCHEDULE

I.S. INTERIOR SECURITY SCREEN
E.S. EXTERIOR SECURITY SCREEN DOOR TYPE IDENTIFICATION REFER TO DOOR SCHEDULE

 $\langle 1t \rangle$ MOBILITY UNIT COMMUNICATION UNIT

FIRE EXTINGUISHER, CLASS ABC - SURFACE MOUNTED

◆ ELEVATIONS ARE A.F.F

SEE 9 & 11 / G060 FOR CLEAR FLOOR SPACE & ACCESSIBLE TURNING SPACE

SEE 13 / G061 FOR DOOR MANEUVERING CLEARANCE LEGEND

BUILDING PLAN SHEET NOTES:

GENERAL NOTES:

1. ALL DIMENSIONS ARE TO FACE OF FINISH U.O.N. ALIGN FACE OF FINISH TO EXISTING FACE OF FINISH WHERE SUCH FRAMING CONDITIONS OCCUR.

2. ACCESSIBILITY REQUIREMENTS SHALL BE VERIFIED IN FIELD BY CONTRACTOR. CONDITIONS SHALL BE COORDINATED WITH ARCHITECT PRIOR TO COMPLETION. SEE ACCESSIBILITY

SHEETS FOR ADDITIONAL INFORMATION.

OWNER SHALL BE VERIFIED IN FIELD BY CONTRACTOR. SEE OWNER RECORD DRAWINGS FOR ADDITIONAL INFORMATION.

4. ALL ELECTRICAL WORK (I.E. RECEPTACLES, SWITCHING, CONTROLS) INCLUDING (RE) LOCATION SHALL BE COORDINATED IN FIELD BY ELECTRICAL CONTRACTOR, PROVIDE

SOUND ATTENUATION AND PADS AT PENETRATIONS IN ACOUSTICAL WALL TYPES. ALL EXISTING CONDITIONS TO REMAIN WHICH CORRELATE TO PROPOSED SCOPE OF WORK
 SHALL BE EVALUATED BY OWNER FOR DAMAGE AND REPAIR OR REPLACEMENT.
 PROVIDE NEW FINISHES, FURNISHINGS, EQUIPMENT, AND FIXTURES PER PRODUCT

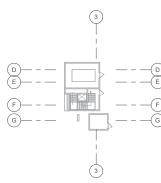
SELECTION TABLE AND SPECIFICATIONS.
7. CEILING REMOVAL AS REQUIRED FOR INSTALLATION OF STRUCTURAL TIES, TYPICAL AT ALL FLOORS AT PERIMETER WALLS, SSD

INTERIOR FINISHES.

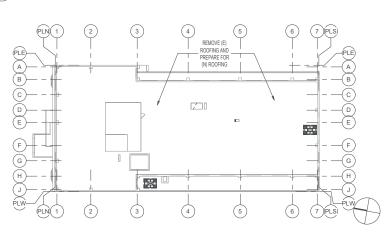
1. NEW INTERIOR FINISHES INCLUDING, BUT NOT LIMITED TO, FLOORING, WALL BASE, PAINTING WITH PATCH AND REPAIR AT WALLS, CEILINGS, AND TRIM CONDITIONS. SEE PRODUCT SELECTIONS.

KEYNOTES

KEYNOTE ITEM 07 44 00 FIBER CEMENT SIDING 08 63 00.A1 METAL-FRAMED SKYLIGHT



ROOF PENTHOUSE PLAN_REMOVAL SCALE: 1/16" = 1'-0"



ROOF PLAN_REMOVAL

LINSED ARCH

STRE

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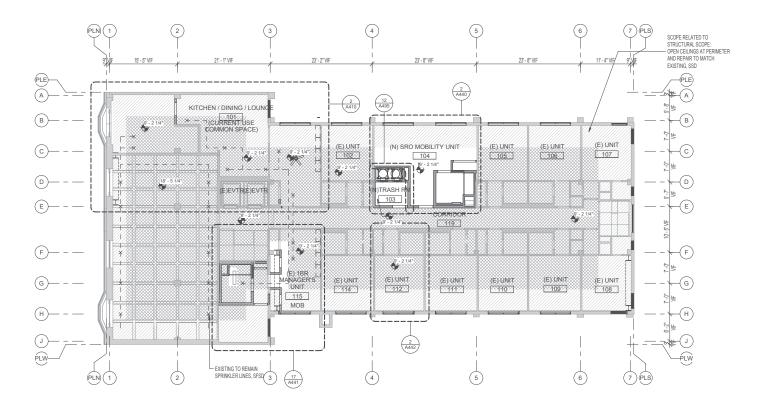
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ISSUE INFORMATION SF PLANNING APPLICATION

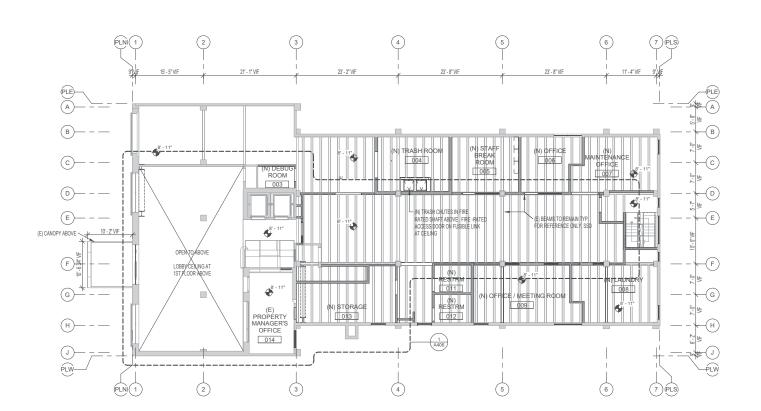
— 03.19.2025

PLOT DATE: PHASE: SCALE: As indicated

ROOF PLAN -PROPOSED & REMOVAL



1 1ST-UPPER FLOOR RCP SCALE: 1/8" = 1'-0"



2 GROUND FLOOR RCP A170 SCALE: 1/8" = 1'-0"

FLOOR PLAN LEGEND:

DOOR/DOOR HARDWARE TO BE DISTURBED OR REMOVED SEE DOOR SCHEDULE NEW DOOR EXISTING DOOR EXISTING STUD WALLS TO REMAIN

BACKING LOCATION S.S.D.

AREA NOT IN ARCHITECTURAL SCOPE

STRUCTURAL BRACED FRAME SCOPE, SSD

DISTURBED AREA / ARCHITECTURAL SCOPE AS NOTED

NEW FLOOR CONSTRUCTION

RID ROOM IDENTIFICATION SIGNAGE, SEE SHEETS AXX.XX

WALL TYPE IDENTIFICATION

I.S. INTERIOR SECURITY SCREEN
E.S. EXTERIOR SECURITY SCREEN

WINDOW TYPE IDENTIFICATION, REFER TO WINDOW SCHEDULE

 $\langle 1t \rangle$ DOOR TYPE IDENTIFICATION REFER TO DOOR SCHEDULE MOBILITY UNIT COMMUNICATION UNIT

FIRE EXTINGUISHER, CLASS ABC - SURFACE MOUNTED

◆ ELEVATIONS ARE A.F.F

SEE 9 & 11 / G060 FOR CLEAR FLOOR SPACE & ACCESSIBLE TURNING SPACE

SEE 13 / G061 FOR DOOR MANEUVERING CLEARANCE LEGEND

BUILDING PLAN SHEET NOTES:

GENERAL NOTES:

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5. ALL EXISTING CONDITIONS TO REMAIN WHICH CORRELATE TO PROPOSED SCOPE OF WORK

SHALL BE EVALUATED BY OWNER FOR DAMAGE AND REPAIR OR REPLACEMENT.

6. PROVIDE NEW FINISHES, FURNISHINGS, EQUIPMENT, AND FIXTURES PER PRODUCT SELECTION TABLE AND SPECIFICATIONS.

7. CEILING REMOVAL AS REQUIRED FOR INSTALLATION OF STRUCTURAL TIES, TYPICAL AT ALL FLOORS AT PERIMETER WALLS, SSD

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> <u></u> Н STRE 35 $-\infty$

14 GOUGH ST. SUITE 202 SAN FRANCISCO, CA 94103

SED ARCH

T: 415.777.0991 F: 415.777.0992

ISSUE INFORMATION

SF PLANNING APPLICATION

— 03.19.2025

PLOT DATE PHASE:

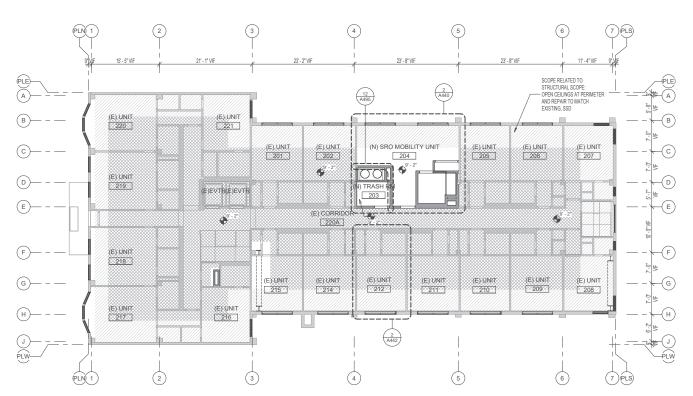
SCALE:

GROUND & 1ST FLOOR

As indicated

- RCPS - PROPOSED & REMOVAL

_A170



1 2ND UPPER FLOOR RCP TYP. FOR FLOORS 2-6 SCALE: 1/8" = 1'-0"

FLOOR PLAN LEGEND:

EXISTING ITEMS TO BE REMOVED DOOR/DOOR HARDWARE TO BE DISTURBED OR REMOVED SEE DOOR SCHEDULE NEW DOOR EXISTING DOOR

EXISTING STUD WALLS TO REMAIN

EXISTING CONCRETE WALL

BACKING LOCATION S.S.D.

AREA NOT IN ARCHITECTURAL SCOPE

STRUCTURAL BRACED FRAME SCOPE, SSD

DISTURBED AREA / ARCHITECTURAL SCOPE AS NOTED

NEW FLOOR CONSTRUCTION

RID ROOM IDENTIFICATION SIGNAGE, SEE SHEETS AXX.XX

— ХХ WALL TYPE IDENTIFICATION

WINDOW TYPE IDENTIFICATION, REFER TO WINDOW SCHEDULE

I.S. INTERIOR SECURITY SCREEN
E.S. EXTERIOR SECURITY SCREEN

 $\langle 1t \rangle$ DOOR TYPE IDENTIFICATION REFER TO DOOR SCHEDULE

MOBILITY UNIT COMMUNICATION UNIT

FE FIRE EXTINGUISHER, CLASS ABC - SURFACE MOUNTED

◆ ELEVATIONS ARE A.F.F

SEE 9 & 11 / G060 FOR CLEAR FLOOR SPACE & ACCESSIBLE TURNING SPACE

SEE 13 / G061 FOR DOOR MANEUVERING CLEARANCE LEGEND

BUILDING PLAN SHEET NOTES:

GENERAL NOTES:

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SELECTION TABLE AND SPECIFICATIONS.
7. CEILING REMOVAL AS REQUIRED FOR INSTALLATION OF STRUCTURAL TIES, TYPICAL AT ALL

FLOORS AT PERIMETER WALLS, SSD

09 FINISHES

INTERIOR FINISHES

1 NEW INTERIOR FINISHES INCLUDING BUT NOT LIMITED TO ELOOPING WALL BASE PAINTING WITH PATCH AND REPAIR AT WALLS, CEILINGS, AND TRIM CONDITIONS, SEE PRODUCT SELECTIONS.

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ISSUE INFORMATION

SF PLANNING APPLICATION — 03.19.2025

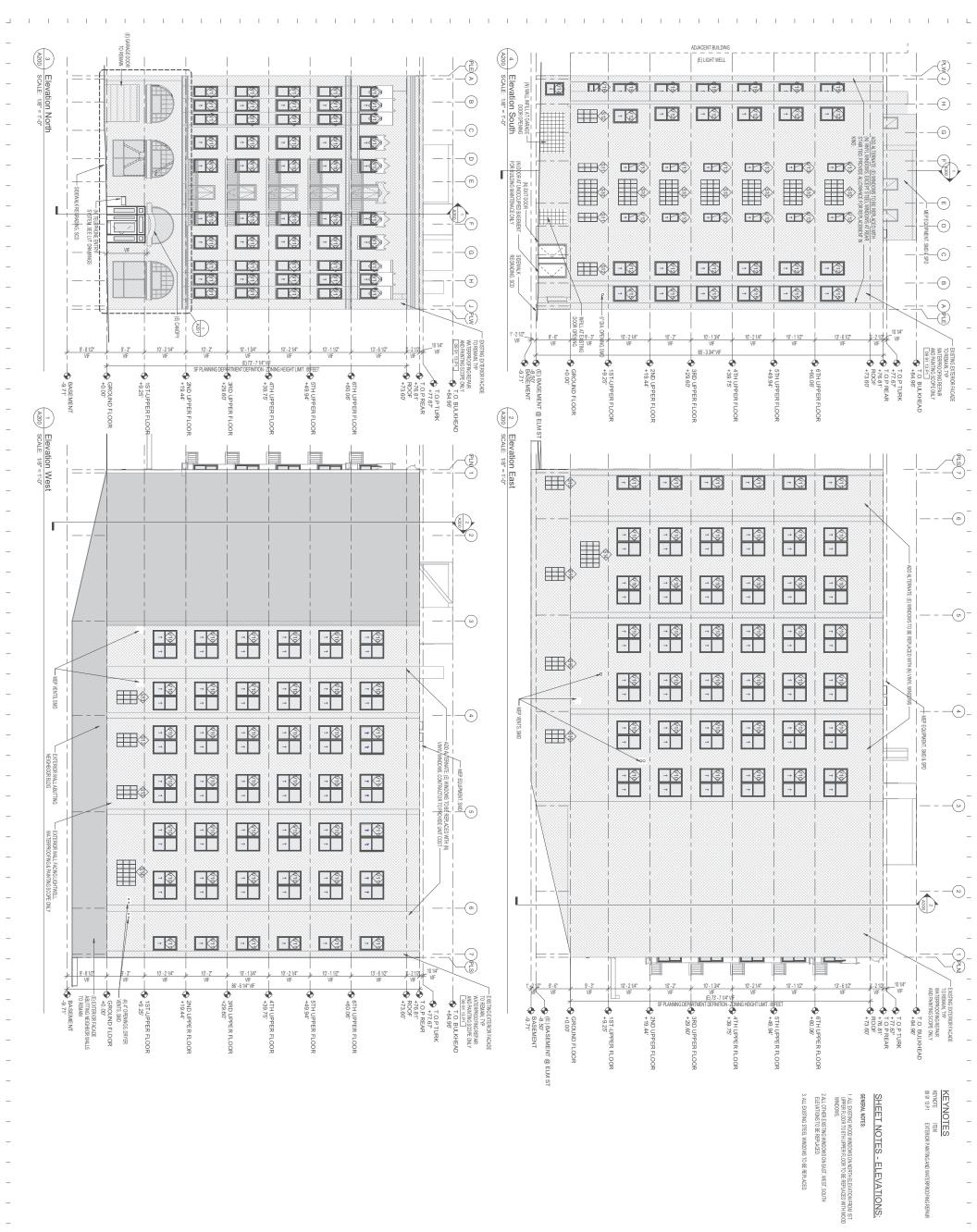
PLOT DATE: PROJECT NO: PHASE:

SCALE: As indicated

2ND UPPER FLOOR - RCPS - PROPOSED &

_A171

REMOVAL



ISSUE INFORMATION

Resulted For:

SF PLANNING APPLICATION

- 03.19.2025

PLOT DATE:
PROJECT NO:
PHASE:
PREPARED BY:
SCALE:

A200

BUILDING ELEVATIONS

835 TURK STREET



- SSDP
- Saida + Sullivan Design Partners

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T: 415.777.0991 F: 415.777.0992



835 TURK STREET

ISSUE INFORMATION

SF PLANNING APPLICATION

03.19.2025

SF Planning 03.19.200

PLOT DATE: 12/18/2024
PROJECT NO: 2305
PHASE:
PREPARED BY: EG
SCALE: 1/8" = 1'-0"

BUILDING ELEVATIONS
- (EXISTING)

A200A

A201 SCALE: 1/8" = 1'-0"

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1

E

E

(N) WALL INFILL AT GARAGE DOOR OPENING

3 Elevation South - Diagram

G

F

1

(E) (D) (C)

B A PLE

1

1 1

1 1

T.O. BULKHEAD +84.96'

6TH UPPER FLOOR +60.06'

5TH UPPER FLOOR +49.94'

4TH UPPER FLOOR +39.75'

3RD UPPER FLOOR +29.60'

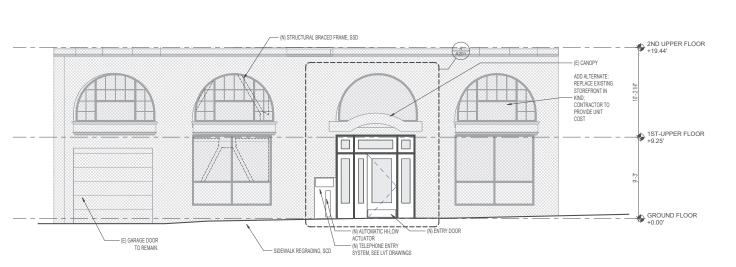
2ND UPPER FLOOR +19.44'

1ST-UPPER FLOOR +9.25'

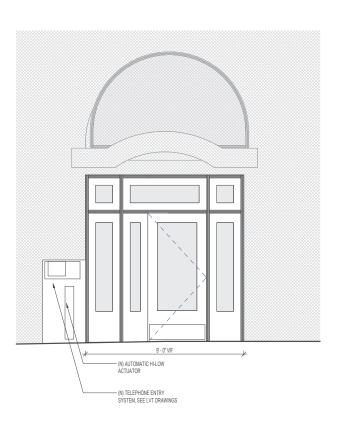
GROUND FLOOR +0.00'

T.O.P TURK +77.67' T.O.P REAR +76.81' ROOF +73.60'

2 Elevation North - Diagram
SCALE: 1/8" = 1'-0"







4 ENLARGED ELEVATION - ENTRY

SSDP



-- Ш STRE

TURK

835

ISSUE INFORMATION

SF PLANNING APPLICATION — 03.19.2025

PLOT DATE: PROJECT NO: PHASE: SCALE: As indicated

BUILDING ELEVATIONS ENLARGED & DIAGRAMS

_A201

GROUND FLOOR +0.00°

2ND UPPER FLOOR +19.44'

100

10

1)

4

10

| T: 415,777,0991 F: 415,777,0992 www.saidasullivan.com | Signature: | C. S.E.D. ARCHITA | S | THOUSE THE STATE OF THE STATE O | on one | |
|---|------------|-------------------|-----|--|--------|--|
| T: 415.7 F: 415.7 www.sai | Soal & Sig | | | | | |
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OF FINISH WHERE EXISTING FINISH UD IN ALIGN FACE OF FINISH TO EXISTING FACE
OF FINISH WHERE EXISTING FINISH OF CONTROL OF THE CONTROL OF CONTROL WITH OWNERS WHERE TO CONDITIONS STRROUGHING ALL PROPOGES INVOKING MET CONTROL OF CONTROL O SELECTON TABLE AND SPECFICATIONS. . CELLING REMOVAL AS REQUIRED FOR INSTALLATION OF STRUCTURAL TIES, TYPICAL AT ALI FLOORS AT PERIMETER WALLS, SSD

BUILDING PLAN SHEET NOTES:

KEYNOTE S



TH UPPER FLOOR +60.06'

X

◆ T.O. BULKHEAD +84.96¹

7-0

18-2-8-

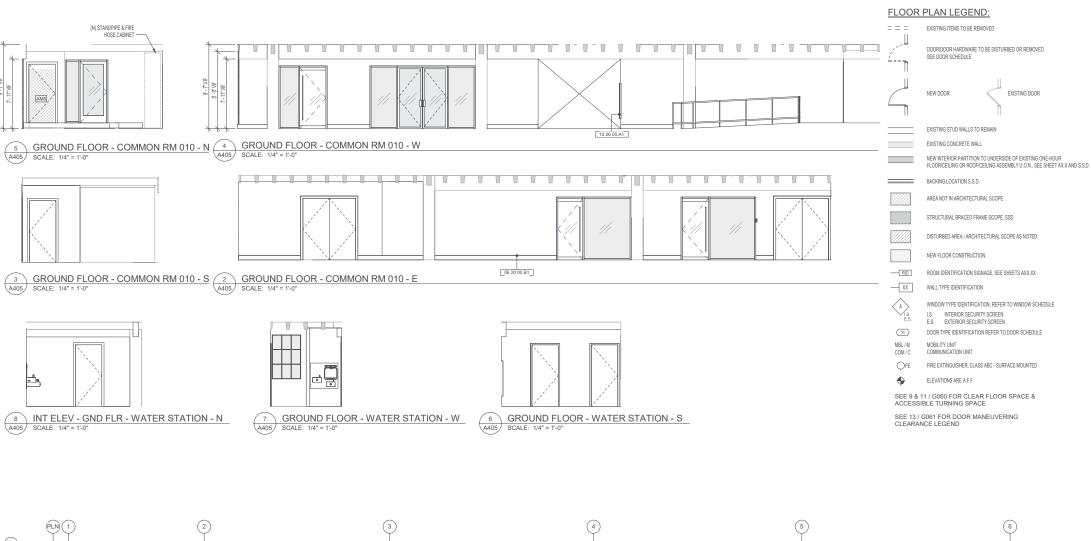
T.O.P TURK
+77.67.
T.O.P REAR
+76.81
ROOF
+73.60'

(E) BASEMENT @ ELM ST -8.50'
BASEMENT 40 PER PLOOR PER A 2ND UPPER FLOOR +19.44

4300 SCALE: 1/8" = 1'-0"

BUILDING SECTION - E/W SCALE: 1/8" = 1'-0"

A300 1 1 _



- (E) FIRE HOSE RISER

013

NOT REQ. TO BE ACCESSIBLE

6 A480 EF1

(N) COMMON SPACE

_____10 26 00.A1

09 65 00.A2



GENERAL NOTES:

1. ALL DIMENSIONS ARE TO FACE OF FINISH U.O.N. ALIGN FACE OF FINISH TO EXISTING FACE

OF FINISH WHERE SUCH FRAMING CONDITIONS OCCUR.

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CONTINUATION AND PLAS AT PENETRATIONS IN ACQUISITION, WITH TYPES.

5. ALL EXISTING CONDITIONS TO REMAIN WHICH CORRELATE TO PROPOSED SOCRE WORK
SHALL BE FULLATED BY OWNER FOR DAMAGE AND PEPAR OR REPLACEMENT.

6. PROVIDE NEW FINISHES, FURNISHINGS, EQUIPMENT, AND FIXTURES PER PRODUCT

SELECTION TABLE AND SPECIFICATIONS. 7. CEILING REMOVAL AS REQUIRED FOR INSTALLATION OF STRUCTURAL TIES, TYPICAL AT ALL FLOORS AT PERIMETER WALLS, SSD

09 FINISHES INTERIOR FINISHES.

INTERIOR FINISHES.

1 NEW INTERIOR FINISHES INCLUDING BUT NOT LIMITED TO FLOORING WALL BASE PAINTING WITH PATCH AND REPAIR AT WALLS, CEILINGS, AND TRIM CONDITIONS, SEE PRODUCT SELECTIONS.

KEYNOTES

ELECTRICAL FL OUTLETS, SED

6

— - —G

| KEYNOTE | ITEM |
|-------------|----------------------|
| 06 20 00.B1 | MDF BASEBOARD |
| 09 65 00.A2 | VINYL PLANK FLOORING |
| 40.00.00.44 | CODUED CLUDD |

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SF PLANNII — 03.19.2025

PLOT DATE 12/18/2024 PHASE: AUTHOR SCALE: As indicated

ENLARGED FLOOR PLAN - GROUND FLOOR

COMMON SPACE

COMMON AREA ENLARGED FLOOR PLANS - GROUND FLOOR

(E) LOBBY DESK, FF&E, NOT IN

ACTUATOR AT BOTH SIDES

(E) MAILBOXES

(E) ENTRANCE LOBBY

SURFACES AT REMOVED TOLIET

(2)

1 A480

OFFICE 014

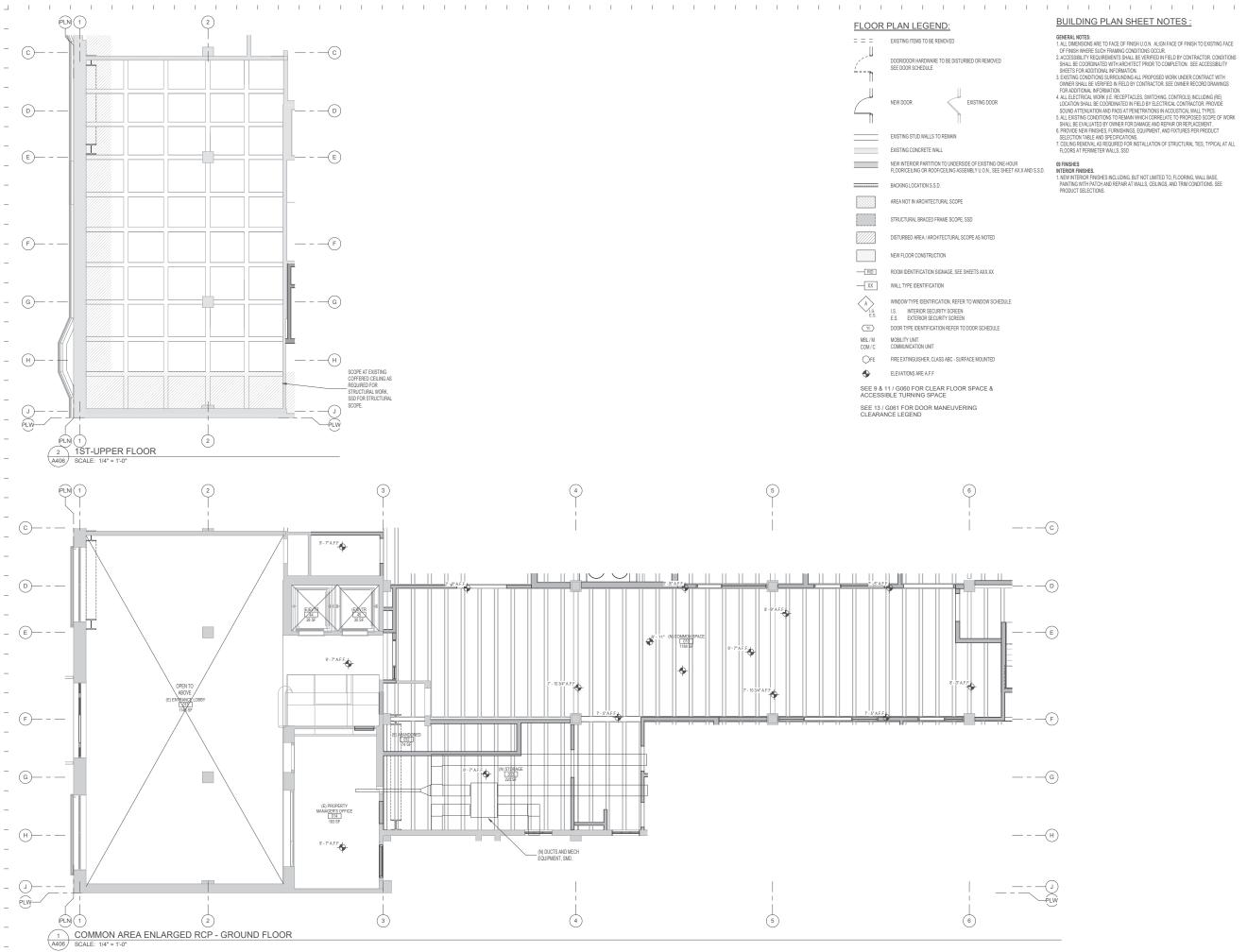
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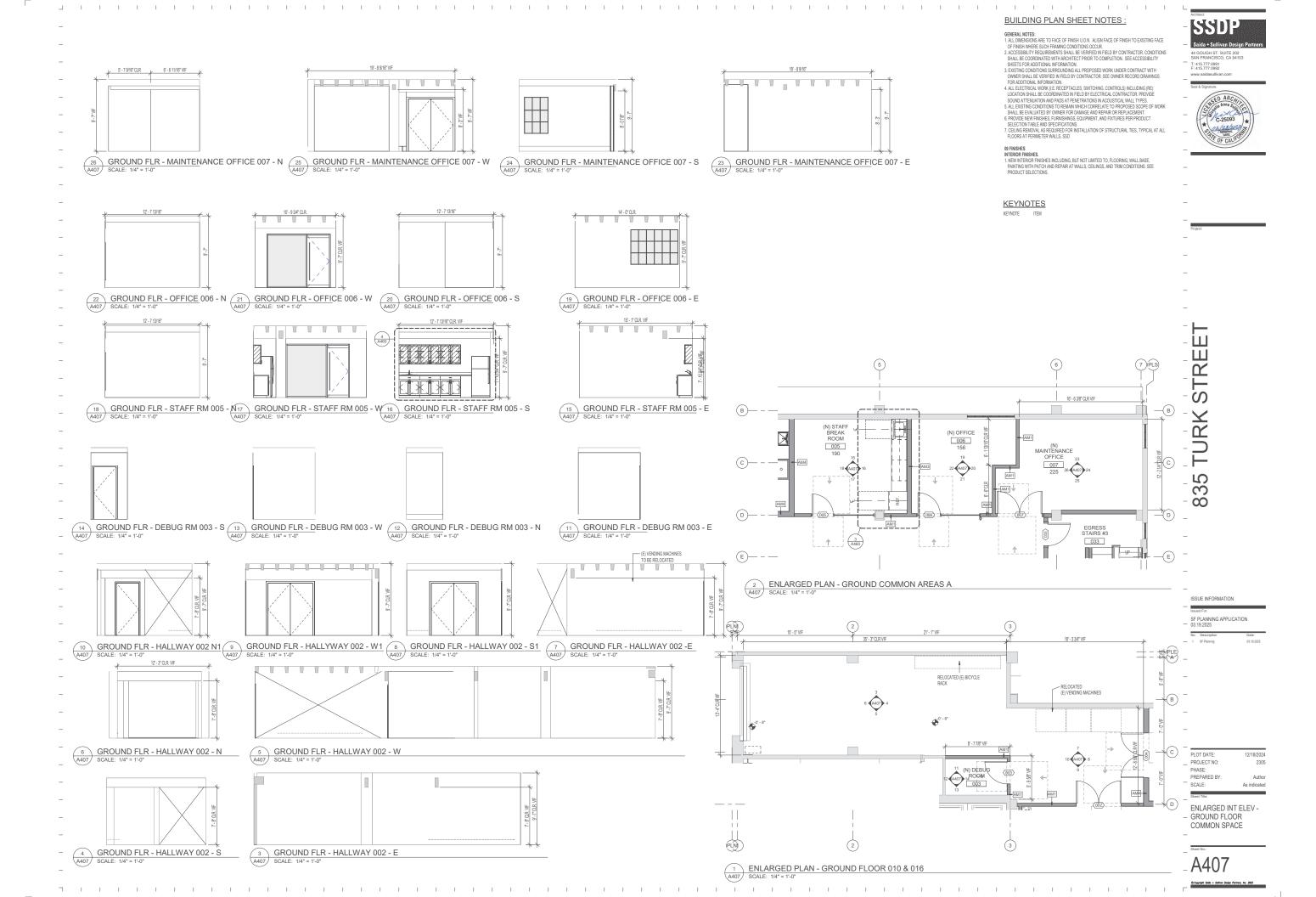
ISSUE INFORMATION

SF PLANNING APPLICATION
— 03.19.2025

PLOT DATE:

PHASE: SCALE: As indicated

ENLARGED RCP -- GROUND FLOOR COMMON SPACE



BUILDING PLAN SHEET NOTES:

- GENERAL NOTES:

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- SHEETS FOR ADDITIONAL INFORMATION.
- SHEETS FOR ADDITIONAL INFORMATION.

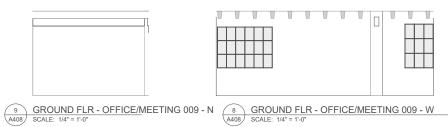
 2. EXISTING CONTIONS SURROUNDING ALL PROPOSED WORK UNDER CONTRACT WITH OWNER SHALL BE VERIFIED IN FIELD BY CONTRACTOR. SEE OWNER RECORD DRAWINGS FOR ADDITIONAL INFORMATION.

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- FLOORS AT PERIMETER WALLS, SSD

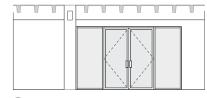
09 FINISHES INTERIOR FINISHES. 1. NEW INTERIOR FINISHES INCLUDING, BUT NOT LIMITED TO, FLOORING, WALL BASE, PAINTING WITH PATCH AND REPAIR AT WALLS, CEILINGS, AND TRIM CONDITIONS, SEE PRODUCT SELECTIONS.

KEYNOTES

| KEYNOTE | ITEM |
|-------------|--------------------------|
| 09 68 00.A2 | FORBO FLOTEX CARPET TILE |
| 11 02 00.A1 | STACKING WASHER AND DRYE |
| 11 02 00.B2 | DRYER |
| 11 02 00.C1 | CHANGE DISPENSER, N.I.C. |
| 22 30 00.A1 | FLOOR DRAIN, S.P.D. |
| 22 40 00.A4 | MOP SINK |
| | |







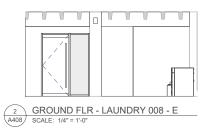
7 GROUND FLR - OFFICE/MEETING 009 - S
A408 SCALE: 1/4" = 1'-0"

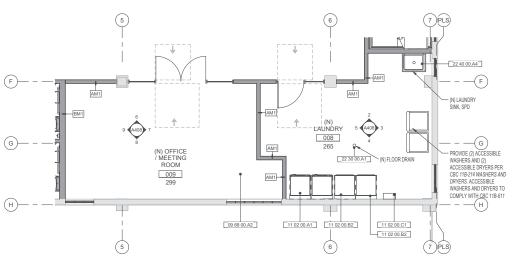
6 GROUND FLR - OFFICE/MEETING 009 - E A408 SCALE: 1/4" = 1'-0"











1 ENLARGED PLAN - GROUND COMMON AREAS B

SF PLANNING APPLICATION 03.19.2025

ISSUE INFORMATION

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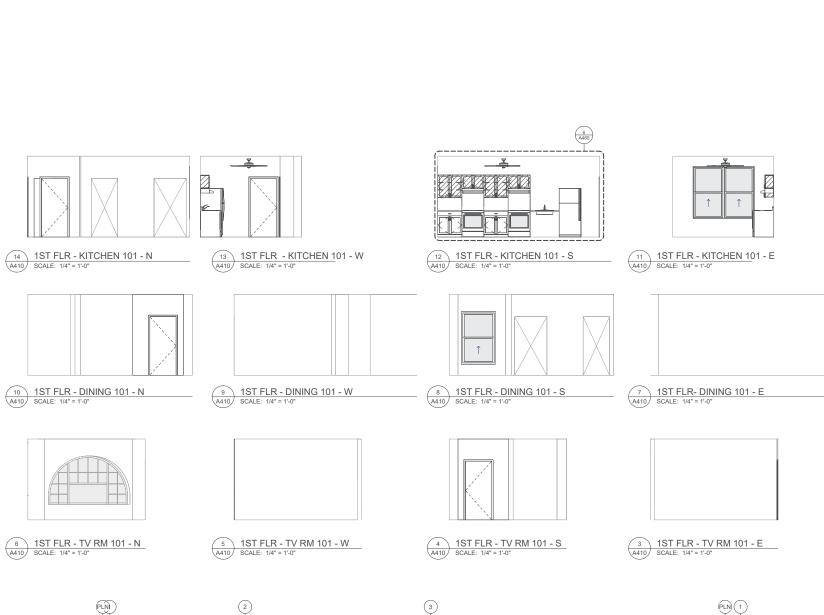
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PLOT DATE: 12/18/2024

PHASE: Author SCALE: As indicated

ENLARGED INT ELEV -- GROUND FLOOR COMMON SPACE



KITCHEN / DINING / LOUNGE

44

45

В

(c)-

D-

(E)-

2 1ST-UPPER FLOOR RCP - COMMOM SCALE: 1/4" = 1'-0"

TV ROOM

-PLE)

-(В)

-(D)

В

c)—

D-

E-

1 ST-UPPER FLOOR - COMMON SCALE: 1/4" = 1'-0"

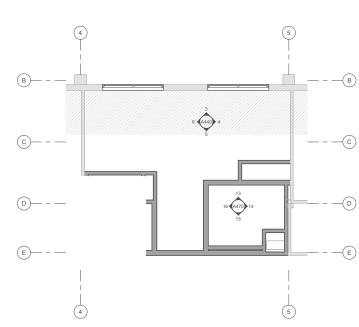
TV ROOM

(E) LOCATION

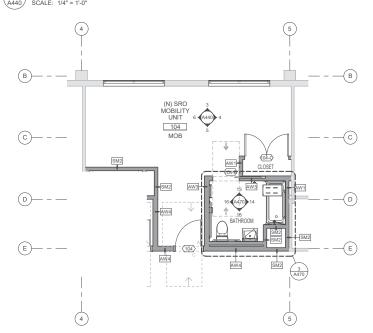
KITCHEN

SED ARCH STRE 35 $-\infty$ ISSUE INFORMATION SF PLANNING APPLICATION 03.19.2025 PLOT DATE 12/18/2024 PHASE: Author SCALE: As indicated ENLARGED FPS, RCPS - AND ELEVATIONS -

1ST-6TH FLOOR COMMON



2 ENLARGED RCP - TYP MOBILITY UNIT 104 - PROPOSED



1 ENLARGED PLAN - TYP MOBILITY UNIT 104 - PROPOSED
SCALE: 1/4" = 1"-0"

BUILDING PLAN SHEET NOTES:

GENERAL NOTES:

1. ALL DIMENSIONS ARE TO FACE OF FINISH U.O.N. ALIGN FACE OF FINISH TO EXISTING FACE OF FINISH WHERE SUCH FRAMING CONDITIONS OCCUR.

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09 FINDRES
MTERIOR FINISHES.

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KEYNOTES

KEYNOTE ITEM

FLOOR PLAN LEGEND:

= = EXISTING ITEMS TO BE REMOVED DOOR/DOOR HARDWARE TO BE DISTURBED OR REMOVED SEE DOOR SCHEDULE

NEW INTERIOR PARTITION TO UNDERSIDE OF EXISTING ONE-HOUR FLOORICEILING OR ROOFICEILING ASSEMBLY U.O.N., SEE SHEET AX.X AND S.S.D.

BACKING LOCATION S.S.D.

AREA NOT IN ARCHITECTURAL SCOPE

STRUCTURAL BRACED FRAME SCOPE, SSD

DISTURBED AREA / ARCHITECTURAL SCOPE AS NOTED

NEW FLOOR CONSTRUCTION

ROOM IDENTIFICATION SIGNAGE, SEE SHEETS AXX.XX

___ XX WALL TYPE IDENTIFICATION

WINDOW TYPE IDENTIFICATION. REFER TO WINDOW SCHEDULE I.S. INTERIOR SECURITY SCREEN

E.S. EXTERIOR SECURITY SCREEN (1t) DOOR TYPE IDENTIFICATION REFER TO DOOR SCHEDULE

MBL / M COM / C COMMUNICATION UNIT

FE FIRE EXTINGUISHER, CLASS ABC - SURFACE MOUNTED

• ELEVATIONS ARE A.F.F.

SEE 9 & 11 / G060 FOR CLEAR FLOOR SPACE & ACCESSIBLE TURNING SPACE

SEE 13 / G061 FOR DOOR MANEUVERING CLEARANCE LEGEND

ISSUE INFORMATION

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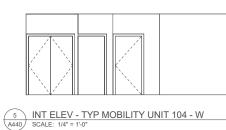
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PLOT DATE

PHASE: Author SCALE: As indicated

ENLARGED PLAN, RCP - AND ELEVATIONS -MOBILITY UNIT

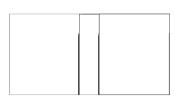
A440



3 INT ELEV - TYP MOBILITY UNIT 104 - E
SCALE: 1/4" = 1'-0"

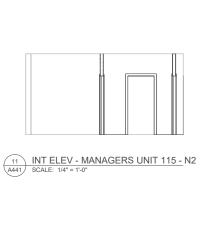


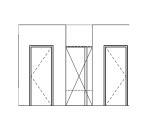
6 INT ELEV - TYP MOBILITY UNIT 104 - N
SCALE: 1/4" = 1'-0"





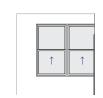
4 INT ELEV - TYP MOBILITY UNIT 104 - S
SCALE: 1/4" = 1"-0"





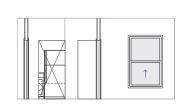
7 INT ELEV - MANAGERS UNIT 115 - N SCALE: 1/4" = 1'-0"





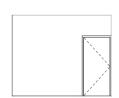
10 INT ELEV - MANAGERS UNIT 115 - W2 SCALE: 1/4" = 1'-0"





9 INT ELEV - MANAGERS UNIT 115 - S2

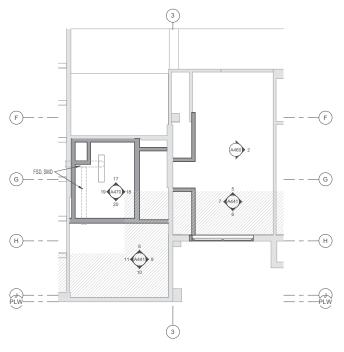
SCALE: 1/4" = 1'-0"



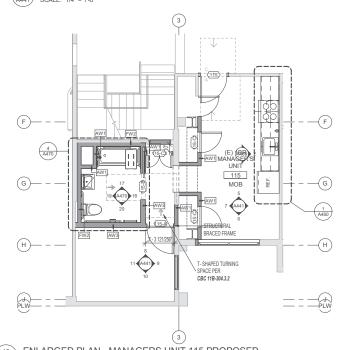
8 INT ELEV - MANAGERS UNIT 115 - E2
SCALE: 1/4" = 1'-0"



5 INT ELEV - MANAGERS UNIT 115 - E A441 SCALE: 1/4" = 1'-0"



(17) ENLARGED RCP - MANAGERS UNIT 115 PROPOSED SCALE: 1/4" = 1'-0"



ENLARGED PLAN - MANAGERS UNIT 115 PROPOSED

SCALE: 1/4" = 1'-0"

BUILDING PLAN SHEET NOTES:

GENERAL NOTES:

1. ALL DIMENSIONS ARE TO FACE OF FINISH U.O.N. ALIGN FACE OF FINISH TO EXISTING FACE OF FINISH WHERE SUCH FRAMING CONDITIONS OCCUR.

O. I TIMES WITHER SUCH FRANING CONDITIONS OCCUR.

2. ACCESSIBILITY REQUIREMENTS SHALL BE VERIFIED IN FIELD BY CONTRACTOR. CONDITIONS SHALL BE COORDINATED WITH ARCHITECT PRIOR TO COMPLETION. SEE ACCESSIBILITY SHEETS FOR ADDITIONAL INFORMATION.

CASTING CONSTITUTE OF STRUCTURE THE PAGE OF THE STRUCTURE STR

LOCATION SHALL BE COORDINATED IN HEAD PELECTRICAL CONTRACTOR PROVIDE SOUND ATTENUATION AND PAGE OF PENETRATIONS IN ACOUSTICIAL WHILE TYPES. 5. ALL EXISTING CONDITIONS TO RELIAND WHICH CORRELATE TO PROPOSED SCOPE OF WORK SHALL BE EVALUATED BY OWNER FOR DAMAGE AND PEPAIR OR REPLACEMENT. 6. PROVIDE NEW PRINSHES, FURNISHINGS. EQUIPMENT, AND FIXTURES PER PRODUCT SELECTION TALE AND SEPCIFICATIONS. 7. CELIAN REMOVAL AS REQUIRED FOR INSTALLATION OF STRUCTURAL TIES, TYPICAL AT ALL ELONGS AS TERMITTED WAYS.

FLOORS AT PERIMETER WALLS, SSD

09 FINISHES
INTEROR PINISHES.

1. NEW INTERIOR FINISHES INCLUDING, BUT NOT LIMITED TO, FLOORING, WALL BASE,
PAINTING WITH PATCH AND REPAIR AT WALLS, CEILINGS, AND TRIM CONDITIONS. SEE

KEYNOTES

KEYNOTE ITEM

FLOOR PLAN LEGEND:

= = EXISTING ITEMS TO BE REMOVED DOOR/DOOR HARDWARE TO BE DISTURBED OR REMOVED SEE DOOR SCHEDULE



NEW INTERIOR PARTITION TO UNDERSIDE OF EXISTING ONE-HOUR FLOOR/CEILING OR ROOF/CEILING ASSEMBLY U.O.N., SEE SHEET AX.X AND S.S.D.

AREA NOT IN ARCHITECTURAL SCOPE

STRUCTURAL BRACED FRAME SCOPE, SSD

DISTURBED AREA / ARCHITECTURAL SCOPE AS NOTED

ROOM IDENTIFICATION SIGNAGE, SEE SHEETS AXX.XX

___ XX

WINDOW TYPE IDENTIFICATION, REFER TO WINDOW SCHEDULE E.S. EXTERIOR SECURITY SCREEN

 $\langle 1t \rangle$ DOOR TYPE IDENTIFICATION REFER TO DOOR SCHEDULE

MBL / M COM / C COMMUNICATION UNIT FE FIRE EXTINGUISHER, CLASS ABC - SURFACE MOUNTED

● ELEVATIONS ARE A.F.F SEE 9 & 11 / G060 FOR CLEAR FLOOR SPACE & ACCESSIBLE TURNING SPACE

SEE 13 / G061 FOR DOOR MANEUVERING CLEARANCE LEGEND

ISSUE INFORMATION

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SED ARCH

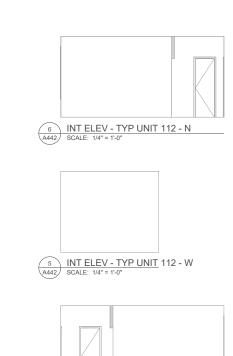
As indicated

PHASE: SCALE:

ENLARGED PLAN, RCP.

- AND ELEVATIONS -MGR'S UNIT

_A441

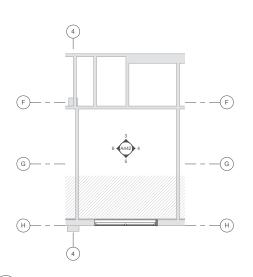


4 INT ELEV - TYP UNIT 112 - S

3 INT ELEV - TYP UNIT 112 - E

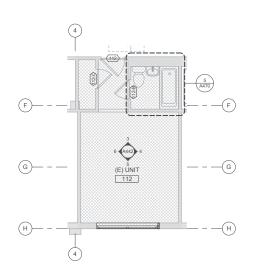
A442 SCALE: 1/4" = 1'-0"

A442 SCALE: 1/4" = 1'-0"



2 ENLARGED RCP - TYP EXISTING UNIT 112 - PROPOSED

A442 SCALE: 1/4" = 1'-0"

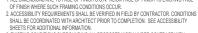


ENLARGED PLAN - TYP EXISITING UNIT 112 - PROPOSED SCALE: 1/4" = 1'-0"

BUILDING PLAN SHEET NOTES:

GENERAL NOTES:

1. ALL DIMENSIONS ARE TO FACE OF FINISH U.O.N. ALIGN FACE OF FINISH TO EXISTING FACE OF FINISH WHERE SUCH FRAMING CONDITIONS OCCUR.



OWINER SHALL BE VERIFIED IN FIELD BY CONTRACTOR SEE OWINER RECORD DRAWINGS FOR ADDITIONAL INFORMATION.

4. ALL ELECTRICAL WORK (JE. RECEPTACLES, SWITCHING, CONTROLS) INCLUDING (RE) LOCATION SHALL BE COORDINATED IN FIELD BY ELECTRICAL CONTRACTOR. PROVIDE

LOCATION SHALL BE COORDINATED IN FIELD BY ELECTRICAL CONTRACTUR, PHOVIDLE SOUND ATTENUATION AND PAGE OF PENETRATIONS IN ACQUSTICAL WAIL TYPES. 5. ALL EXISTING CONDITIONS TO RELIAND WHICH CORRELATE TO PROPOSED SCOPE OF WORK SHALL BE PEULATIED BY OWNER FOR DAMIGE AND REPARA OR REPLACEDED. 6. PROVIDE NEW FINISHES, FURNISHINGS, EQUIPMENT, AND FIXTURES PER PRODUCT SELECTION TABLE AND SPECIFICATIONS. 7. CEILUNG REMOVAL AS REQUIRED FOR INSTALLATION OF STRUCTURAL TIES, TYPICAL AT ALL FLOORS AT PERMITTER WAIL SE.

FLOORS AT PERIMETER WALLS, SSD

09 FINISHES
INTEROR PINISHES.

1. NEW INTERIOR FINISHES INCLUDING, BUT NOT LIMITED TO, FLOORING, WALL BASE,
PAINTING WITH PATCH AND REPAIR AT WALLS, CEILINGS, AND TRIM CONDITIONS. SEE

KEYNOTES

KEYNOTE ITEM

FLOOR PLAN LEGEND:

= = EXISTING ITEMS TO BE REMOVED DOOR/DOOR HARDWARE TO BE DISTURBED OR REMOVED SEE DOOR SCHEDULE





NEW INTERIOR PARTITION TO UNDERSIDE OF EXISTING ONE-HOUR FLOOR/CEILING OR ROOF/CEILING ASSEMBLY U.O.N., SEE SHEET AX.X AND S.S.D.



STRUCTURAL BRACED FRAME SCOPE, SSD DISTURBED AREA / ARCHITECTURAL SCOPE AS NOTED

ROOM IDENTIFICATION SIGNAGE, SEE SHEETS AXX.XX

___ XX WINDOW TYPE IDENTIFICATION, REFER TO WINDOW SCHEDULE E.S. EXTERIOR SECURITY SCREEN

 $\langle 1t \rangle$ DOOR TYPE IDENTIFICATION REFER TO DOOR SCHEDULE MBL / M COM / C COMMUNICATION UNIT

○FE FIRE EXTINGUISHER, CLASS ABC - SURFACE MOUNTED • ELEVATIONS ARE A.F.F.

SEE 13 / G061 FOR DOOR MANEUVERING CLEARANCE LEGEND

SEE 9 & 11 / G060 FOR CLEAR FLOOR SPACE & ACCESSIBLE TURNING SPACE

ISSUE INFORMATION

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PLOT DATE: 12/18/2024

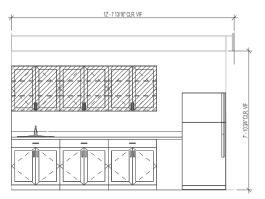
Author

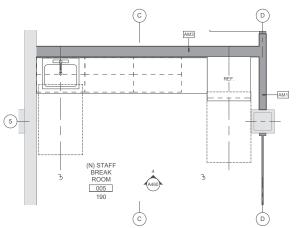
As indicated

PHASE: SCALE:

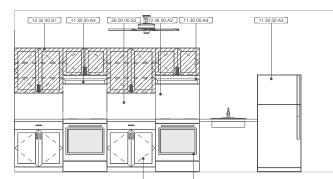
ENLARGED PLAN, RCP.

- AND ELEVATIONS - TYP EXISTING UNIT

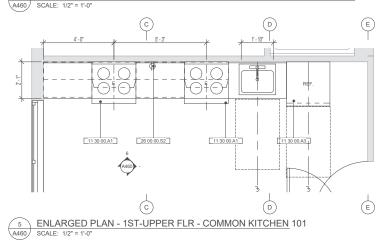


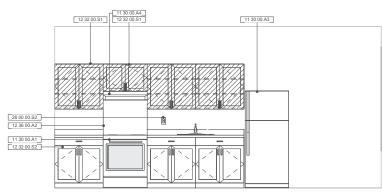




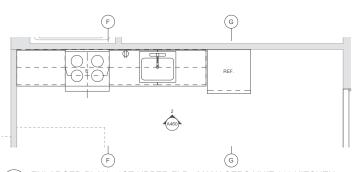


12 32 00.S2 11 30 00.A1 6 INT ELEV - COMMON KITCHEN 101 - S SCALE: 1/2" = 1'-0"





2 A460 SCALE: 1/2" = 1'-0"



1 ENLARGED PLAN - 1ST-UPPER FLR - MANAGERS UNIT 115 KITCHEN
SCALE: 1/2" = 1'-0"

BUILDING PLAN SHEET NOTES:

GENERAL NOTES:

1. ALL DIMENSIONS ARE TO FACE OF FINISH U.O.N. ALIGN FACE OF FINISH TO EXISTING FACE OF FINISH WHERE SUCH FRAMING CONDITIONS OCCUR.

2. ACCESSBILITY REQUIREMENTS SANL BE VERRIED IN FIELD BY CONTRACTOR. CONDITIONS SHALL BE COORDINATE WITH ARCHITECT PRIOR TO COMPLETION. SEE ACCESSBILITY SHEETS FOR ADDITIONAL SURROUNDING ALL PROPOSED WORK KUNDER CONTRACT WITH OWNER SHALL BE VERIFIED IN FILE BY CONTRACTOR. SEE OWNER RECORD BRAWINGS FOR ADDITIONAL INFORMATION.

4. ALL ELECTRICAL WORK ILE RECEPTACLES, SWITCHING, CONTRACTOR, PROVUDE SOUND ATTENLATION AND PADS A PREINTAINORS, AND CONTRACTOR, PROVUDE SOUND ATTENLATION AND PADS A PREINTAINORS IN ACQUISTION. WILL TYPES.

5. ALL ELESTING CONDITIONS TO RELIAMA WHICH CORRELATE TO PROPOSED SCOPE OF WORK SHALL BE EVALUATED BY OWNER FOR DAMAGE AND PERFORMED REPORTS.

6. PROVIDE NEW FINISHES FURNISHINGS. EQUIPIENT, AND FIXTURES PER PRODUCT SELECTION THAT EARLY BY SECRETARIONS.

7. CELLING REMOVAL AS REQUIRED FOR INSTALLATION OF STRUCTURAL TIES, TYPICAL AT ALL FLOORS AT PERMICTER HALLS, SSD.

09 FINISHES
INTEROR FINISHES.

I. NEW INTERIOR FINISHES INCLUDING, BUT NOT LIMITED TO, FLOORING, WALL BASE,
PAINTING WITH PATCH AND REPAIR AT WALLS, CEILINGS, AND TRIM CONDITIONS. SEE

KEYNOTES

PRODUCT SELECTIONS.

| KEYNOTE | ITEM |
|-------------|---|
| 11 30 00.A1 | RANGE |
| 11 30 00.A3 | REFRIGERATOR |
| 11 30 00.A4 | RANGE HOOD |
| 12 32 00.S1 | WOOD VENEER CASEWORK |
| 12 32 00 S2 | REMOVABLE WOOD VENEER BASE CARINET, AT KITCHENS, SE |

 12.32 W. SZ
 HEAMAYARISE WOUD VENEER BASE CABINET. AT KITCHENS, SEE 18, 19,

 60.62, 22/A10.14 & 23/A10.14. AT BATHS, SEE 8.8 9(0.06.0 & 22/A10.14.

 12.36.00.A2
 STAINLESS STEEL BACKSPLASH AT RANGE SI'W X 30'H

 26.00.00.S2
 CABINET FACE MOUNT RECEPTACLE, S.E.D.

TURK STRE 35 - 00

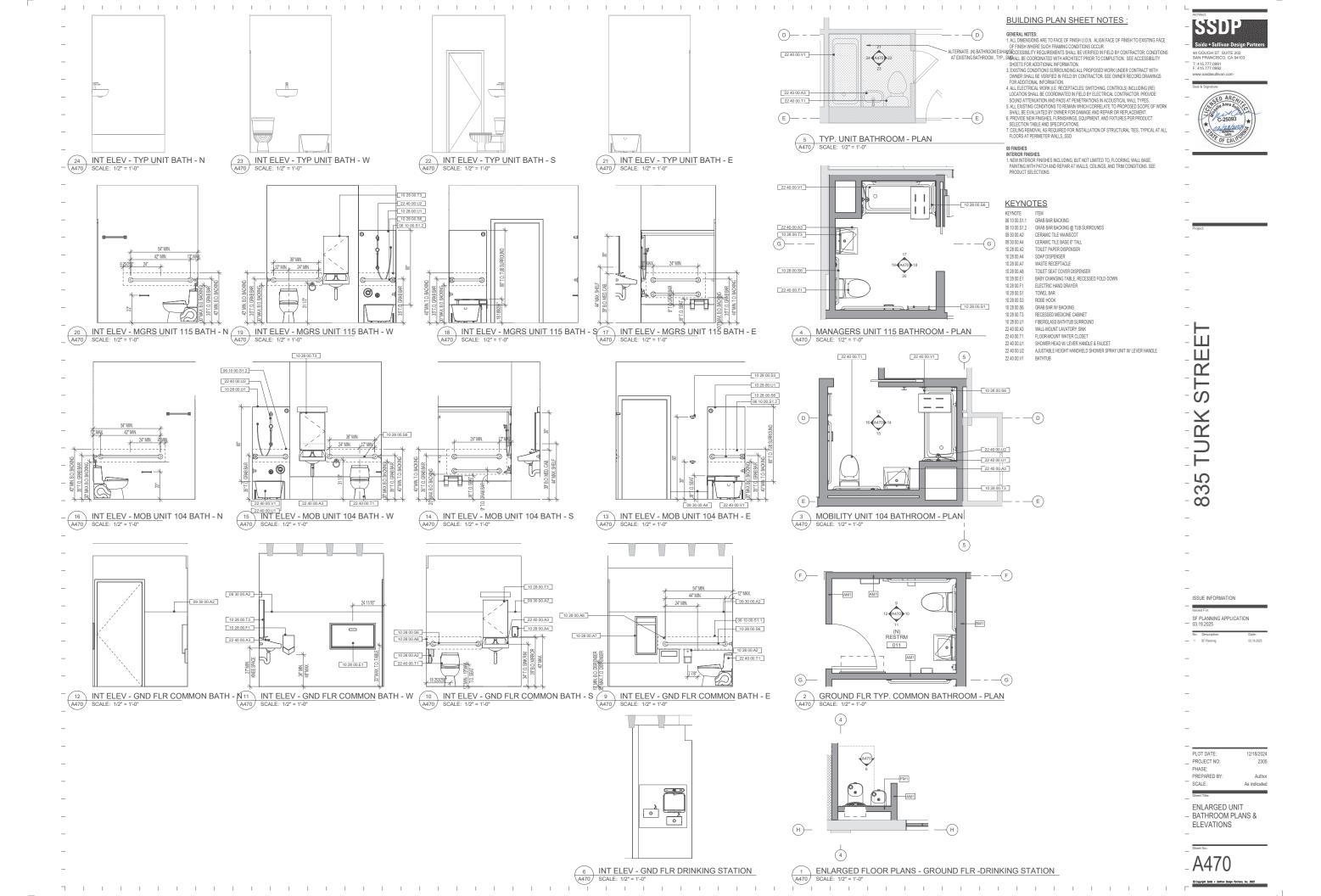
ISSUE INFORMATION

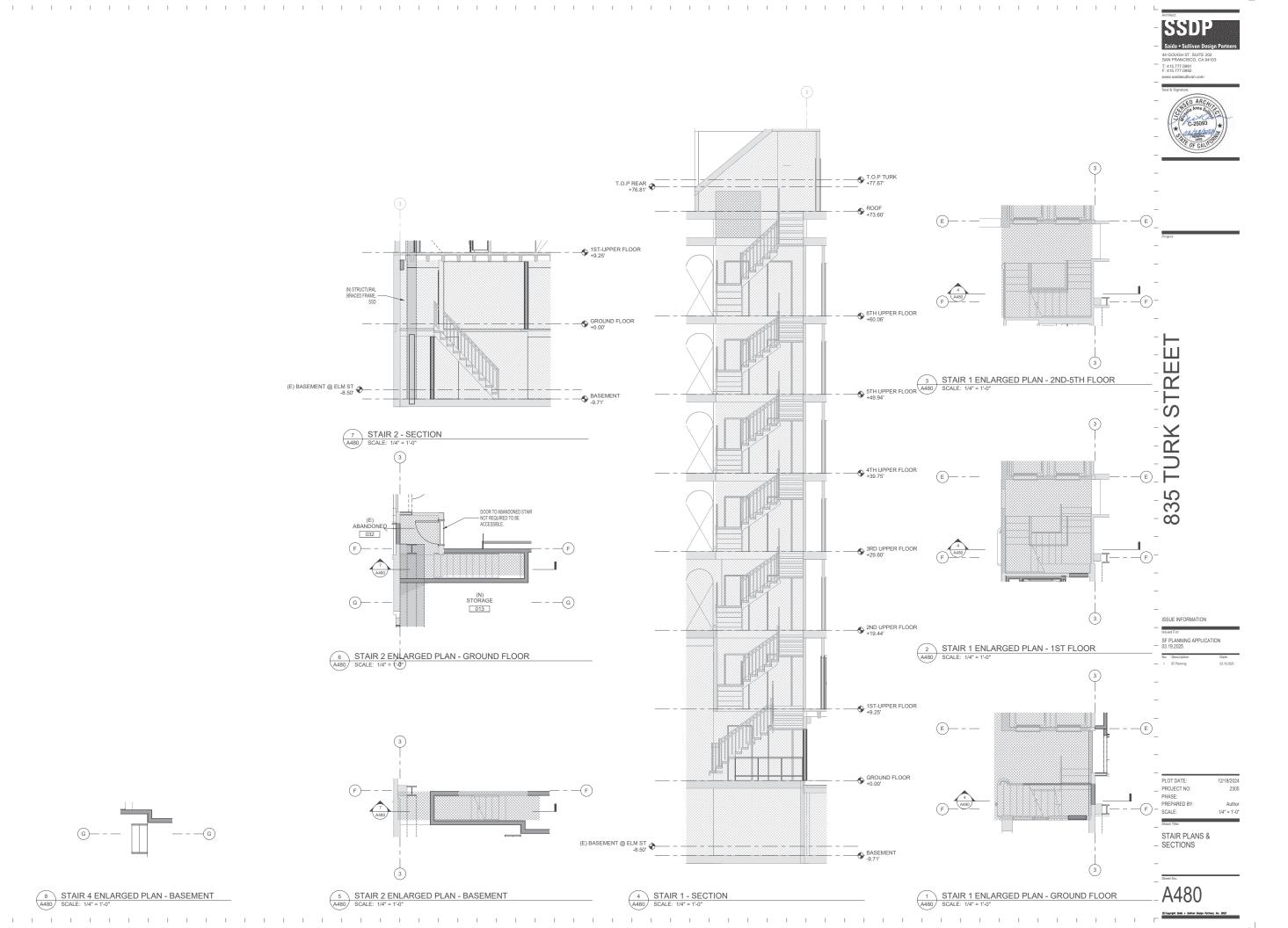
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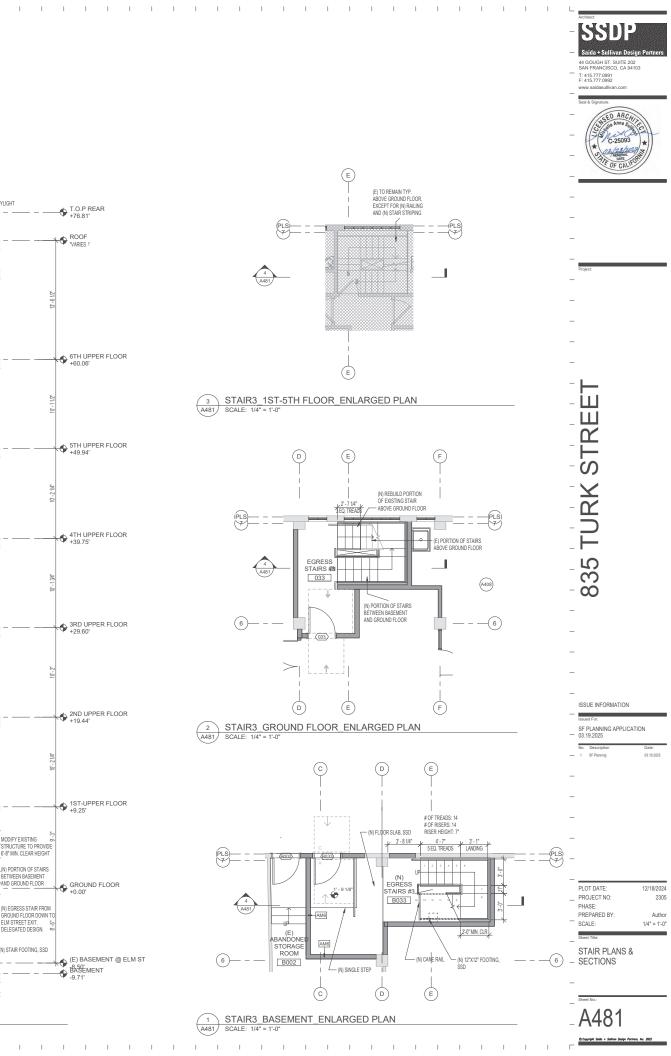
As indicated

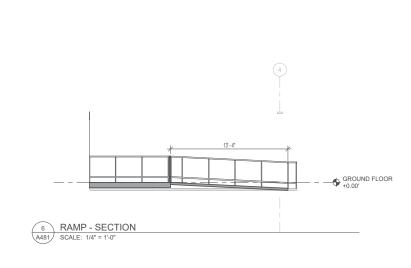
SCALE:

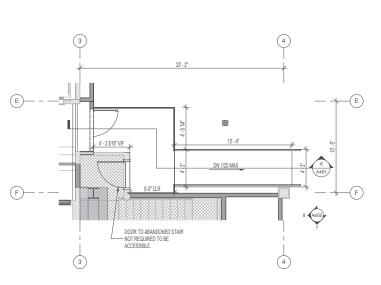
ENLARGED KITCHEN - PLANS & ELEVATIONS











5 RAMP ENLARGED PLAN - GROUND FLOOR
SCALE: 1/4" = 1'-0"

DR 4 STAIR 3 · A481 SCALE: 1/4"

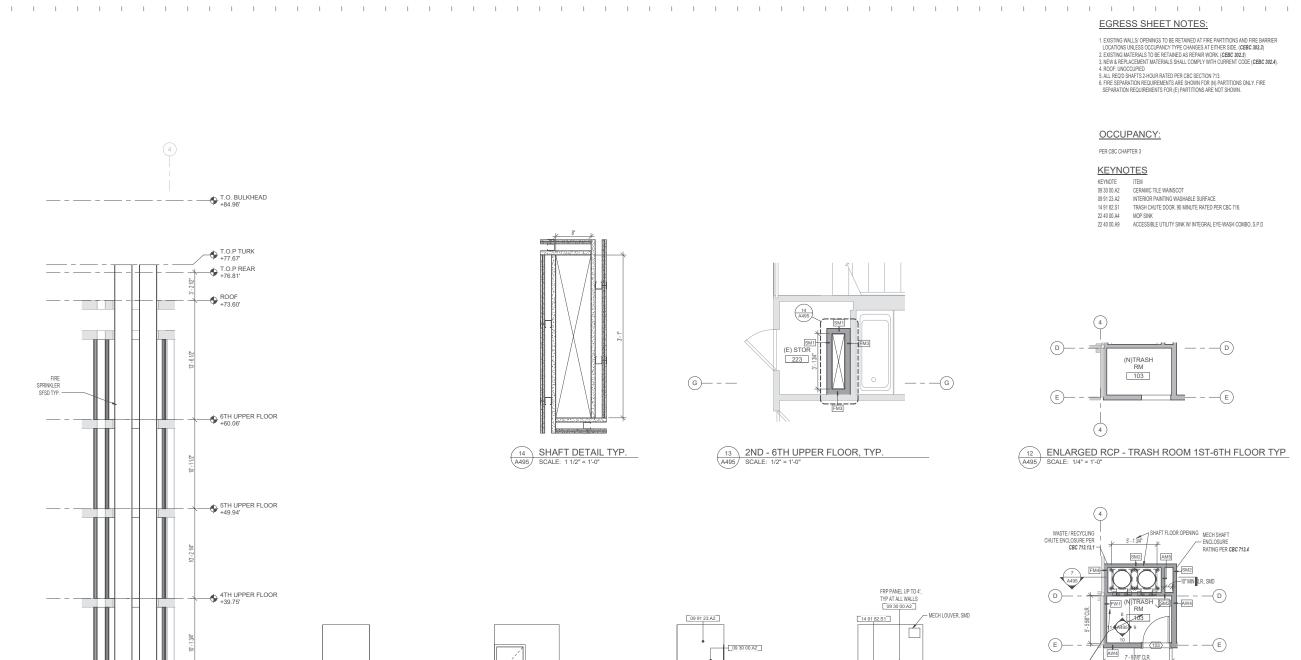
4 STAIR 3 - SECTION
A481 SCALE: 1/4" = 1'-0"

(E) TO REMAIN TYP. ABOVE GROUND FLOOR, EXCEPT FOR (N) RAILING AND (N) STAIR STRIPING

> (E) PORTION OF STAIRS ABOVE GROUND FLOOR -

MODIFY LOWEST RUN AT EXISITING STAIR AS REQUIRED —

EXISTING BEAM LOCATION —



#

3RD UPPER FLOOR +29.60'

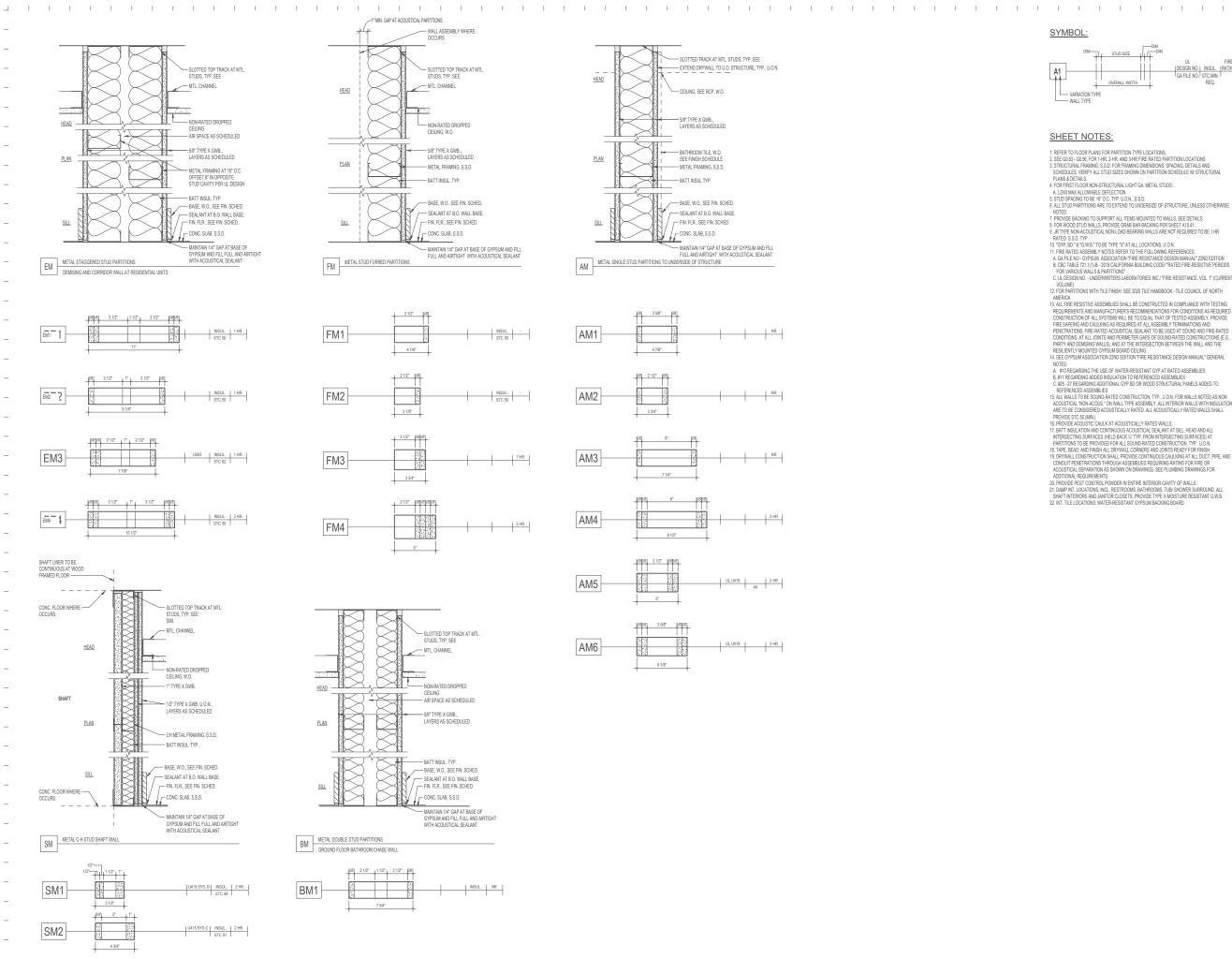
2ND UPPER FLOOR +19.44'

1ST-UPPER FLOOR +9.25'

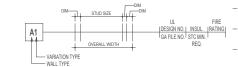
(N) TRASH CHUTES IN FIRE RATED SHAFT ABOVE. FIRE RATED ACCESS DOOR ON FUSIBLE LINK AT CEILING ABOVE

GROUND FLOOR +0.00'

(N) TRASH ROOM



SYMBOL:



SHEET NOTES:

- REFER TO FLOOR PLANS FOR PARTITION TYPE LOCATIONS.
 SEE GOS. GOS. FOR 1-HR. 2-HR. AND 3-HR FIRE RATED PARTITION LOCATIONS.
 STRUCTURE PRANIOS S. S. FOR FRAMIOS GIBLED, SPACING, SPECING, SETALS AND
 SCHEDULES. VERIFY ALL STUD SIZES SHOWN ON PARTITION SCHEDULE WISTRUCTURAL
- SOLIDIDATE AND A STATE OF THE S

- NOTED.
 7. PROVIDE BACKING TO SUPPORT ALL ITEMS MOUNTED TO WALLS, SEE DETAILS
- FOR WOOD STUD WALLS, PROVIDE GRAB BAR BACKING PER SHEET A10.41.
 JR TYPE NON-ACOUSTICAL NON-LOAD-BEARING WALLS ARE NOT REQUIRED TO BE 1 HR
- RATED, S.S.D. TYP.

 10. "GYP. BD." & "G.W.B." TO BE TYPE "X" AT ALL LOCATIONS, U.O.N.
- 11. FIRE RATED ASSEMBLY NOTES REFER TO THE FOLLOWING REFERENCES:

 A GAFIE NO GYPSUM, ASSOCIATION FIRE RESISTANCE DESIGN MANUAL: 22ND EDITION
 B CGC TABLE TS. (1) R 2019 CALE PORNIA BULDING CODE! "RATED FIRE-RESISTIVE PERIODS
 FOR VARIOUS WALLS & PARTITIONS"
- C. UL DESIGN NO. UNDERWRITERS LABORATORIES INC./ "FIRE RESISTANCE, VOL. 1" (CURRENT VOLUME)
 12. FOR PARTITIONS WITH TILE FINISH, SEE 2020 TILE HANDBOOK - TILE COUNCIL OF NORTH
- AMERICA

 13. ALL FIRE RESISTIVE ASSEMBLIES SHALL BE CONSTRUCTED IN COMPLIANCE WITH TESTING REQUIREMENTS AND MANUFACTURER'S RECOMMENDATIONS FOR CONDITIONS AS REQUIRED. CONSTRUCTION OF ALL SYSTEMS WILL BE TO EQUAL THAT OF TESTED ASSEMBLY, PROVIDE FIRE SAFEING AND CAULKING AS REQUIRED AT ALL ASSEMBLY TERMINATIONS AND PIRE SPECING AND CAUCHWAYS A REQUIRED AT HALF ASSEMBLE! TERMINIONS AND PENETRATIONS, FIRE-RATED ACQUISITEAL SEALANT TO BE USED AT SOUND AND FIRE-RATED CONDITIONS, AT ALL JOINTS AND PERIMETER GAPS OF SOUND-RATED CONSTRUCTIONS (E.G., PARTY AND DEMISING WALLS), AND AT THE INTERSECTION BETWEEN THE WALL AND THE
- RESILIENTLY MOUNTED GYPŚÚM BOARD CEILING. 14. SEE GYPSUM ASSOCIATION 22ND EDITION "FIRE RESISTANCE DESIGN MANUAL" GENERAL NOTES:
 A. #10 REGARDING THE USE OF WATER-RESISTANT GYP AT RATED ASSEMBLIES
- B. #11 REGARDING ADDED INSULATION TO REFERENCED ASSEMBLIES
 C. #25-27 REGARDING ADDITIONAL GYP BD OR WOOD STRUCTURAL PANELS ADDED TO REFERENCED ASSEMBLIES
- 15. ALL WALLS TO BE SOUND-RATED CONSTRUCTION, TYP., U.O.N. FOR WALLS NOTED AS NON ACOUSTICAL "NON-ACOUS." ON WALL TYPE ASSEMBLY, ALL INTERIOR WALLS WITH INSULATION ARE TO BE CONSIDERED ACOUSTICALLY RATED. ALL ACOUSTICALLY RATED WALLS SHALL PROVIDE STC 50 (MIN.)
- PROVIDE STC 50 (MIN.)

 17. BATT INSULATION AND CONTINUOUS ACOUSTICAL Y RATED WALLS.

 17. BATT INSULATION AND CONTINUOUS ACOUSTICAL SEALANT AT SLL, HEAD AND ALL INTERSECTING SURFACES (HELD BACK ½ TYP: FROM INTERSECTING SURFACES) AT PARTITIONS TO BE PROVIDED FOR ALL SOUNDAFAILE ONSTRUCTION, TYP: U.O. N.

 18. TAPE, ERDO, AND FINISH ALL DRYWALL CORNERS AND JOINTS READY FOR FINISH.

 19. DRYWALL CORNISTUCTION SHALL PROVIDE CONTINUOUS CAULAING AT ALL DCT; PIPE, AND CONDUIT PENETRATIONS THROUGH ASSEMBLES REQUIRING FATING FOR FIRE OR ACCUSTOLING PEDIAL PROVIDED CONTINUOUS CAULAING AT AND FOR THE OR ACCUSTOLING PEDIAL POLICY CONTINUOUS CAULAING AT AND FIRE OR ACCUSTOLING PEDIAL POLICY CONTINUOUS CAULAING AT AND FIRE OR ACCUSTOLING PEDIAL POLICY CONTINUOUS CAULAING AT AND FIRE OR ACCUSTOLING PEDIAL PROVIDENCE OF THE MINING POLICY CONTINUOUS CAULAING AT AND FIRE OR ACCUSTOLING PEDIAL PROVIDENCE OF THE MINING POLICY CONTINUOUS CAULAING AT AND FIRE OR ACCUSTOLING PEDIAL PROVIDENCE OF THE MINING POLICY CONTINUOUS CAULAING AT AND FIRE OR ACCUSTOLING PEDIAL PROVIDENCE OF THE MINING POLICY CONTINUOUS CAULAING AT AND FIRE OR ACCUSTOLING PEDIAL PROVIDENCE OF THE MINING POLICY CONTINUOUS CAULAING AT AND FIRE OR ACCUSTOLING PEDIAL PROVIDENCE OF THE MINING POLICY CONTINUOUS CAULAING AT AND FIRE OR ACCUSTOLING PEDIAL PROVIDENCE OF THE MINING PEDIAL PROVIDENCE OF THE PROVIDENCE OF THE PROVIDENCE OF THE PROVIDENCE PEDIAL PROVIDENCE PEDIAL
- ACOUSTICAL SEPARATION AS SHOWN ON DRAWINGS. SEE PLUMBING DRAWINGS FOR ADDITIONAL REQUIREMENTS.
- AUDITIONAL NEQUIREMENTS.
 20 PROVIDE PEST CONTROL POWDER IN ENTIRE INTERIOR CAVITY OF WALLS.
 21 DAMP INT LOCATIONS, INCL. RESTROOMS, BATHROOMS, TUB SHOWER SURROUND, ALL SHAFT INTERIORS AND JAINTOR CLOSETS. PROVIDE TYPE X MOISTURE RESISTANT G.W.B.
 22 INT. TILE LOCATIONS: WATER-RESISTANT GYPSUM BACKING BOARD.





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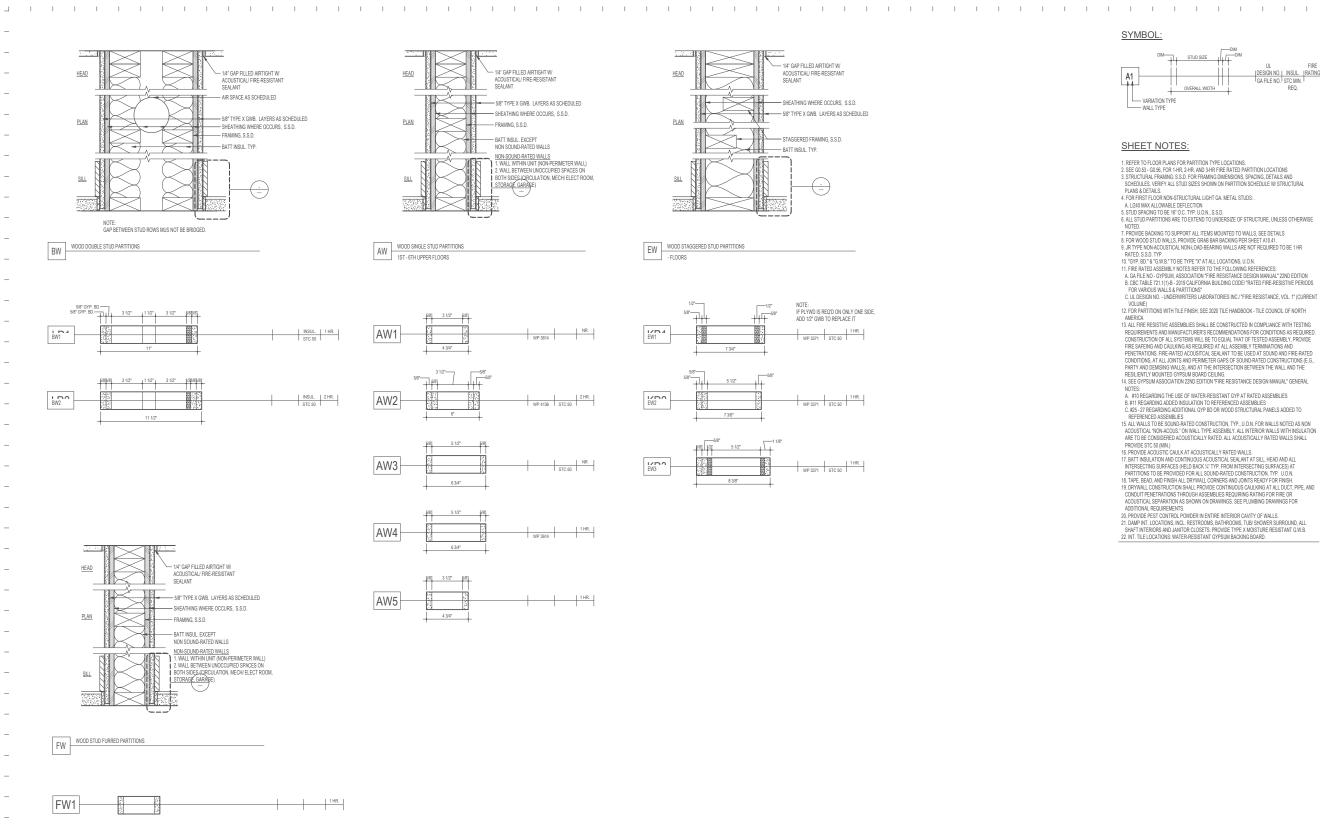
ISSUE INFORMATION

SF PLANNING APPLICATION 03.19.2025

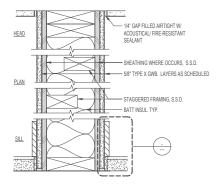
PLOT DATE: 12/18/2024 PROJECT NO: PHASE: Author 3" = 1'-0" SCALE:

INTERIOR PARTITION - TYPES

_ A510



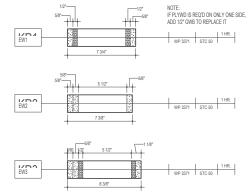
FW2



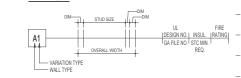
EW WOOD STAGGERED STUD PARTITIONS
- FLOORS

WP 3614

WP 4136 STC 50







SHEET NOTES:

- REFER TO FLOOR PLANS FOR PARTITION TYPE LOCATIONS.
 SEE 03.5 0.05, FOR 1-HR, 2-HR, AND 3-HR RIFE RATED PARTITION LOCATIONS
 STRUCTURE PRANIOS S.S. FOR FRAMIOS DIMENSIANDS, SPACING, DETAILS AND
 SCHEDULES. VERIFY ALL STUD SIZES SHOWN ON PARTITION SCHEDULE WISTRUCTURAL SCHEDULES VERHY ALL SIOU SIZES SHOWN OF PRIVINION SCHEDULE WIS INDICIONAL PLANS & DETAILS.

 4. FOR FIRST FLOOR NON-STRUCTURAL LIGHT GA. METAL STUDS:

 4. IZAGI MAX. ALOWABLE DEFLECTION

 5. STUD SPACING TO BE 16 OC. TYP. U.O.N., S. S.D.

 6. ALL STUD PARTITIONS ARE 10 SECTION TO UNDERSIZE OF STRUCTURE, UNLESS OTHERWISE

 6. ALL STUD PARTITIONS ARE 10 SECTION TO UNDERSIZE OF STRUCTURE, UNLESS OTHERWISE

- NOTED.
 7. PROVIDE BACKING TO SUPPORT ALL ITEMS MOUNTED TO WALLS, SEE DETAILS
- 8. FOR WOOD STUD WALLS, PROVIDE GRAB BAR BACKING PER SHEET A10.41.
 9. JR TYPE NON-ACOUSTICAL NON-LOAD-BEARING WALLS ARE NOT REQUIRED TO BE 1 HR
- RATED, S.S.D. TYP.

 10. "GYP. BD." & "G.W.B." TO BE TYPE "X" AT ALL LOCATIONS, U.O.N.
- 10. DIFF. 30. A SIM. 31. DIESE IFF. A. A. A. ILLOOMING, LOCK PEFFENCES.
 A. GA FLE NO. SPESULE Y NOTES REFER TO THE FALLOWING REFERENCES.
 A. GA FLE NO. SPESULE ASSOCIATION THE RESISTANCE DESIGN ANALUA! 22ND EDITION
 B. CBC TABLE 721.1(1):9. 2019 CALFORNIA BUILDING CODE! "PATIED FIRE-RESISTIVE PERIODS
 FOR VARIOUS WALLS & PARTITIONS."
 C. UL DESIGN NO. UNDERWINITERIS LADORATORIES INC./ "FIRE RESISTANCE, VOL. 1" (CURRENT
 C. UL DESIGN NO. UNDERWINITERIS LADORATORIES INC./ "FIRE RESISTANCE, VOL. 1" (CURRENT
- VOLUME)
 12. FOR PARTITIONS WITH TILE FINISH, SEE 2020 TILE HANDBOOK TILE COUNCIL OF NORTH
- AMERICA

 13. ALL FIRE RESISTIVE ASSEMBLIES SHALL BE CONSTRUCTED IN COMPLIANCE WITH TESTING 13. ALL FINE RESISTING AND MANUFACTURER'S RECOMMENDATIONS FOR CONDITIONS AS REQUIRED
 CONSTRUCTION OF ALL SYSTEMS WILL BE TO COULD. THAT OF TESTED ASSEMBLY, PROVIDE
 FREE SAFENS AND CAULKING AS REQUIRED AT ALL ASSEMBLY TERMINATIONS AND
 PRINTERATIONS. FIRE-MATED ACQUISTICAL SEALANT TO BE USED AT SOUND AND FIRE-MATED
 CONDITIONS, AT ALL JOINTS AND PERMITER CRAFF OF SOUND ARTIED CONSTRUCTIONS (E.G.,
 PARTY AND DEMISING WALLS), AND AT THE INTERSECTION BETWEEN THE WALL AND THE
 RESILIENTLY MOUNTED GYPSIM BOARD CEILING.

 14. SEE GYPSIM ASSOCIATION 20ND EDITION "FIRE RESISTANCE DESIGN MANUAL" GENERAL
 MOTES.
- NOTES: A. #10 REGARDING THE USE OF WATER-RESISTANT GYP AT RATED ASSEMBLIES
- A. #10 HEGARDING THE USE OF WAITENEESSTANT GYP AT RATED ASSEMBLIES

 #11 REGARDING ADDED INSULATION TO REFERENCE ASSEMBLIES

 C. #25.2 FREGARDING ADDED TO RETURN TO SESSEMBLIES

 15. ALL WALLS TO SESSIBLIES

 15. ALL WALLS TO SESSIBLIES

 15. ALL WALLS TO SESSIBLIES

 16. ALL WALLS
- ARE TO BE CONSIDERED ACOUSTICALLY RATED. ALL ACOUSTICALLY RATED WALLS SHALL PROVIDE STESD JIM STORM THE PROVIDE STESD JIM STORM THE PROVIDE ACOUSTIC CALLK AT ACOUSTICALLY RATED WALLS.

 17. BATT INSULATION AND CONTINUOUS ACOUSTICAL SEALANT AT SILL, HEAD AND ALL INTERSECTING SURFACES, HED BACK X** TYP. FROM INTERSECTING SURFACES, AT PARTITIONS TO BE PROVIDED FOR ALL SOUND-RATED CONSTRUCTION, TYP. U.O.N.

 18. TAPE: BEAD, AND FINISH ALL DEVIAUL CONNERS AND JOINTS READY FOR FINISH.

 19. DRYWALL CONSTRUCTION SHALL PROVIDE CONTINUOUS CAULKING AT ALL DUCT, PIPE, AND CONDUT PERITATIONS THROUGH ASSEMBLES REQUIRENDED THE FOR FIRE OR ACOUSTICAL SEPARATION AS SHOWN ON DRAWINGS. SEE PLUMBING DRAWINGS FOR ADDITIONAL REQUIREMENTS.

 20. PROVIDE FEST CONTROL POWDER IN ENTIRE INTERIOR CAVITY OF WALLS.

 21. DAMP INT. LOCATIONS, INC., RESTROOMS, BATH-ROOMS, TUB SHOWER SUBROUND, ALL SHAFT INTERIORS AND JAMFOCK COUSTS. PROVIDE TYPE X MIDSTURE RESISTANT G.W.B.

 22. INT. TILE LOCATIONS: WATER-RESISTANT GYPSUM BACKING BOARD.



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ISSUE INFORMATION

SF PLANNING APPLICATION — 03.19.2025

PLOT DATE: 12/18/2024 PROJECT NO: 2305 PHASE: PREPARED BY: Author 3" = 1'-0" SCALE:

INTERIOR PARTITION

- TYPES - WOOD

_ A511

| | | LOCAT | TION | | | SIZE | | VIF-WID | | | MATERIAL | | | FIRE RATING | | DETAIL | | | | HARDV | VADE | | | |
|--------------------------|-----------|--|---------------------------------------|--------------|--------|----------|-------------|---------|----------|-------------|--------------|-------|----------------|----------------|------|--------|------|-------|--------|--------|-------|------|--------|----------|
| | DOOR NO. | TO ROOM: NAME | FROM ROOM: NAME | DOOR TYPE | THICK | | HEIGHT | TH, | DOOR | DOOR EINISH | DOOR GLAZING | FRAME | FRAME FINISH | DOOR | HEAD | JAMB | SILL | GROUP | CLOSED | EGRESS | | LOCK | READER | REMARKS |
| | DOOK NO. | TO ROOM, NAME | PROW ROOM. NAME | HIFL | ITTICK | WIDIN | HEIGHI | HEIGHT | DOOR | DOOK FINISH | DOOK GDIZING | FRANC | FROMINE FINISH | DOOR | HEAD | JAIVID | JILL | GROUP | CLUSER | EURESS | FURUE | LUCK | READER | REWIARKS |
| BASEMENT | BASEMENT | | | | | | | | | | | | | | | | | | | | | | | |
| | B001 | (E) ABANDONED PARKING | | A | 1 3/4" | 3' - 0" | 7" - 0" | | HM | PTD | - | HM | PTD | 90MIN | | | | | | | | | | |
| | | | | | | | | | | | | | | | | | | | | | | | | |
| | | NT @ ELM ST | | | T (-0 | I | T | | 104 | 070 | | 100 | 070 | | | | _ | | | | | | | |
| | | (E) ABANDONED STORAGE ROOM (N) EGRESS STAIRS #3 | | _ | | 3' - 0" | 6' - 8" | - | HM HM | PTD | - | HM | PTD | | | | | | _ | - | | | | |
| | BU33 | (N) EGRESS STAIRS #3 | | - 1 | 1 3/4" | 3' - 0" | 6' - 8" | | ПM | PID | | TIM | PID | | | | | | | | | | | |
| GROUND FLOOR | GROUND FL | OOR | | | | | | | | | | | | | | | | | | | | | | |
| GROOMD I LOOK | | (N) HALLWAY | (N) COMMON SPACE | Н | 1 3/4" | 6' - 0" | 7" - 0" | | WD | PTD | | ALUM | PTD | | | | | | | | | | | |
| | 003 | (N) DEBUG ROOM | (N) HALLWAY | A | 1 3/4" | 3' - 0" | 7' - 0" | | WD | PTD | - | ALUM | PTD | | | | | | | | | | | |
| | | (N) TRASH ROOM | (N) HALLWAY | Н | 1 3/4" | 6' - 0" | 7' - 0" | | HM | PTD | - | HM | PTD | 90MIN | | | | | | | | | | |
| | 005 | (N) STAFF BREAK ROOM | (N) COMMON SPACE | G | 1 3/4" | 2' - 10" | 7" - 0" | | WD | PTD | GL3 | ALUM | AN | | | | | | | | | | | |
| | 006 | (N) OFFICE | (N) COMMON SPACE | G | 1 3/4" | 3' - 0" | 7' - 0" | | WD | PTD | GL3 | ALUM | AN | | | | | | | | | | | |
| | 007 | (N) MAINTENANCE OFFICE | (N) COMMON SPACE | Н | 1 3/4" | 6" - 0" | 7" - 0" | | WD | PTD | - | ALUM | PTD | | | | | | | | | | | |
| | 008 | (N) LAUNDRY | (N) COMMON SPACE | G | 1 3/4" | 3' - 0" | 7' - 0" | | WD | PTD | GL3 | ALUM | AN | | | | | | | | | | | |
| | 009 | (N) OFFICE / MEETING ROOM | (N) COMMON SPACE | Е | | 5' - 8" | 7" - 0" | | WD | PTD | GL3 | | | | | | | | | | | | | |
| | 010 | (E) ENTRANCE LOBBY | (N) COMMON SPACE | G | 1 3/4" | 3' - 0" | 7' - 0" | | WD | PTD | GL3 | ALUM | PTD | | | | | | | | | | | |
| | 011 | (N) RESTRM | (N) COMMON SPACE | A | 1 3/4" | 3' - 0" | 7" - 0" | | HM | PTD | - | HM | PTD | | | | | | | | | | | |
| | 012 | (N) RESTRM | (N) COMMON SPACE | A | 1 3/4" | 3' - 0" | 7" - 0" | | HM | PTD | - | HM | PTD | | | | | | | | | | | |
| | 013 | (N) STORAGE | (N) COMMON SPACE | A | 1 3/4" | 3' - 0" | 7' - 0" | | WD | PTD | | ALUM | PTD | | | | | | | | | | | |
| | 015 | (E) ENTRANCE LOBBY | | K | 3/8" | 3' - 4" | 7' - 6 1/4" | VIF-H | WD | | GL1 | WD | | | | | | | | | | | | CUSTOM |
| | 019 | | | | | 2' - 4" | 2' - 4" | | | | | | | | | | | | | | | | | |
| | 020 | | | | | 2' - 4" | 2' - 4" | | | | | | | | | | | | | | | | | |
| | 032 | (E) ABANDONED | (N) COMMON SPACE | A | 1 3/4" | 3' - 0" | 6' - 8" | | HM | PTD | - | HM | PTD | 90MIN | | | | | | | | | | |
| 1ST UPPER FLOOR | 033 | EGRESS STAIRS #3 | (N) COMMON SPACE | A | 1 3/4" | 3' - 0" | 7" - 0" | | HM | PTD | - | HM | PTD | 90MIN | | | | | | | | | | |
| 131 OFFER FLOOR | | | | | | | | | | | | | | | | | | | | | | | | |
| | 1ST-UPPER | | conninon | | T (| T | T | | un | 070 | | un | 070 | eram. | | | | | _ | | | | | |
| | | KITCHEN / DINING / LOUNGE KITCHEN / DINING / LOUNGE | CORRIDOR KITCHEN / DINING / LOUNGE | | 1 3/4" | | 6' - 8" | - | WD | PTD | - | WD | PTD | 45MIN | | | | | _ | | | | | |
| | | KITCHEN / DINING / LOUNGE KITCHEN / DINING / LOUNGE | KITCHEN / DINING / LOUNGE | A | 1 3/4" | 3' - 0" | 6' - 8" | | WD | PTD | | WD | PTD | | | | | | | | | | | |
| | 101-3 | | | A | 1 3/4" | 3' - 0" | 6' - 8" | | WD | | - | WD | PTD | 45MIN | | | | | _ | - | | | | |
| | | (N)TRASH RM (N) SRO MOBILITY UNIT | CORRIDOR | A | 1 3/4" | 3' - 0" | 6' - 8" | | WD | PTD | - | WD | PTD | 45MIN | | | _ | | _ | | | | | |
| | | (E) 1BR MANAGER'S UNIT | CORRIDOR | A | 1 3/4" | 3' - 0" | 6' - 8" | | WD | PTD | - | WD | | 45MIN | | | - | l | _ | _ | | | | |
| 2ND UPPER FLOOR | 113 | (L) IDIX MRIPHOLIX S UNII | CONNECT | A | 1 3/4" | 3' - 0" | 6' - 8" | | WD | I PID | | IVD. | PID | 4JMIIY | | | 1 | | | | | | | |
| (Typical for Floors 2-6) | 2ND UPPER | FLOOR | | | | | | | | | | | | | | | | | | | | | | |
| | | (N) TRASH RM | (E) CORRIDOR | А | 1 3/4" | 3" - 0" | 6' - 8" | | WD | PTD | | WD | PTD | 45MIN | | | | | | | | | | |
| | | (N) SRO MOBILITY UNIT | (E) CORRIDOR | A | 1 3/4" | 3' - 0" | 6' - 8" | | WD | PTD | - | WD | PTD | 45MIN | | | | | | | | | | |

DOOR SCHEDULE - UNIT INTERIOR DOORS

| | LO | CATION | | | SIZE | | | | | MATERIAL | | | FIRE RATING | | DETAIL | | | | HARDI | WARE | | | |
|-------------|----------------------------------|------------------------|--------------|--------|----------|---------|------|------|-------------|-----------------|-------|--------------|----------------|------|--------|------|--------|--------|--------|-------|-------|--------|---------|
| DOOR NO. | TO ROOM: NAME | FROM ROOM: NAME | DOOR TYPE | THICK | WIDTH | HEIGHT | NOTE | DOOR | DOOR FINISH | DOOR GLAZING | FRAME | FRAME FINISH | DOOR | HEAD | JAMB | SILL | GROUP | CLOSER | FGRESS | FORCE | LOCK | READER | REMARKS |
| | | | 11112 | | | | | | 1 | | | | DOUR | | | | Oltool | OLOOLK | LONLOO | TOROL | LOUIT | REPORT | |
| 1ST-UPPE | | | | | | | | | | | | | | | | | | | | | | | |
| A | (E) 1BR MANAGER'S UNIT | (E) 1BR MANAGER'S UNIT | A | | | 6' - 8" | | WD | PTD | - | WD | PTD | | | | | | | | | | | |
| В | (N) SRO MOBILITY UNIT | (N) SRO MOBILITY UNIT | C | 1 3/8" | 3' - 0" | 6' - 8" | | WD | PTD | - | WD | PTD | | | | | | | | | | | |
| В | (E) 1BR MANAGER'S UNIT | (E) 1BR MANAGER'S UNIT | C | 1 3/8" | 3' - 0" | 6' - 8" | | WD | PTD | - | WD | PTD | | | | | | | | | | | |
| C1 | (E) 1BR MANAGER'S UNIT | | A | 1 3/4" | 2' - 4" | 6' - 8" | | WD | PTD | - | WD | PTD | | | | | | | | | | | |
| C1 | (E) 1BR MANAGER'S UNIT | (E) 1BR MANAGER'S UNIT | A | 1 3/4" | 2' - 4" | 6' - 8" | | WD | PTD | - | WD | PTD | | | | | | | | | | | |
| C1 | (E) 1BR MANAGER'S UNIT | | A | 1 3/4" | 2' - 4" | 6' - 8" | | WD | PTD | - | WD | PTD | | | | | | | | | | | |
| C2 | (E) 1BR MANAGER'S UNIT | | Н | 1 3/4" | 2' - 10" | 6' - 8" | | WD | PTD | - | WD | PTD | | | | | | | | | | | |
| C2 | (N) SRO MOBILITY UNIT | (N) SRO MOBILITY UNIT | Н | 1 3/4" | 5' - 0" | 6' - 8" | | WD | PTD | - | WD | PTD | | | | | | | | | | | |
| 2ND UPPE | R FLOOR (N) SRO MOBILITY UNIT | (N) SRO MOBILITY UNIT | 1 c | 1 3/8" | 3' - 0" | 6' - 8" | | WD | PTD | | I WD | I PTD | | | | | | | | | | | |
| C2 | (N) SRO MOBILITY UNIT | (N) SRO MOBILITY UNIT | | | | 6' - 8" | | WD | PTD | | WD | PTD | _ | _ | | | _ | | | | | | |
| 3RD UPPE | R FLOOR | 1 | | | | | | | | | | | | | | | | | | | | | |
| В | (N) SRO MOBILITY UNIT | (N) SRO MOBILITY UNIT | C | | 3' - 0" | 6' - 8" | | WD | PTD | - | WD | PTD | | | | | | | | | | | |
| C2 | (N) SRO MOBILITY UNIT | (N) SRO MOBILITY UNIT | H | 1 3/4" | 5' - 0" | 6' - 8" | | WD | PTD | - | WD | PTD | | | | | | | | | | | |
| 4TH UPPE | R FLOOR | | | | | | | | | | | | | | | | | | | | | | |
| В | (N) SRO MOBILITY UNIT | (N) SRO MOBILITY UNIT | С | 1 3/8" | 3' - 0" | 6' - 8" | | WD | PTD | - | WD | PTD | | | | | | | | | | | |
| C2 | (N) SRO MOBILITY UNIT | (N) SRO MOBILITY UNIT | Н | 1 3/4" | 5' - 0" | 6' - 8" | | WD | PTD | - | WD | PTD | | | | | | | | | | | |
| 5TH UPPE | R FLOOR | | | | | | | | | | | | | | | | | | | | | | |
| В | (N) SRO MOBILITY UNIT | (N) SRO MOBILITY UNIT | С | 1 3/8" | 3' - 0" | 6' - 8" | | WD | PTD | - | WD | PTD | | | | | | | | | | | |
| C2 | (N) SRO MOBILITY UNIT | (N) SRO MOBILITY UNIT | Н | 1 3/4" | 5' - 0" | 6' - 8" | | WD | PTD | - | WD | PTD | | | | | | | | | | | |
| 6TH UPPE | R FLOOR | | | | | | | | | | | | | | | | | | | | | | |
| В | (N) SRO MOBILITY UNIT | (N) SRO MOBILITY UNIT | С | 1 3/8" | 3' - 0" | 6' - 8" | | WD | PTD | - | WD | PTD | | | | | | | | | | | |
| C2 | (N) SRO MOBILITY UNIT | (N) SRO MOBILITY UNIT | Н | 1 3/4" | 5' - 0" | 6' - 8" | | WD | PTD | - | WD | PTD | | | | | | | | | | | |

SHEET NOTES:

DOOR GENERAL NOTES:

1. ALL ROUGH OPENINGS FOR EXTERIOR/INTERIOR AND EXISTING AND NEW 1. ALE NOUSH OPENINGS FOR EXTENDININI TENDER AND EXISTING AND NEW DOORS AND FRAMES, GATES, AND FENCES SHALL BE VERIFIED IN FIELD BEFORE PURCHASE ORDER, FABRICATION, AND INSTALLATION, TYP. S.S.D. 2. (RE)PAINT ALL EXTERIOR/INTERIOR EXISTING AND NEW DOORS AND FRAMES, (NE)PANNI ALL EXTENDENINTENDIN EXISTING AND NEW DUONS AND FRANKE GATES, AND FENCES. SEE DOOR SCHEDULE FOR ADDITIONAL INFORMATION.
 ALL UNDERCUT DOOR TO BE VERIFIED AND PROPERLY COORDINATED FOR VARYING FLOOR FINISHES. THE MAXIMUM SWING DOOR CLEARANCE TO FRAME/THRESHOLD TO BE 1/8" AT JAMB, HEAD, THRESHOLD, U.O.N. 4. COORDINATE ALL DOOR OPENINGS AND DETAILS TO PROVIDE ADEQUATE CLEARANCE AND FRAME REINFORCEMENT FOR HARDWARE. SEE DOOR

DETAILS.

5. COORDINATE HEAD/JAMB WIDTH OF ALL METAL FRAMES WITH SPECIFIC WALL. 3. COORDINATE PERSONNING WID IT OF ALL METAL FRANCE WITH SPECIAL WAL THICKNESS AND WALL TYPES AT EACH OPENING CONDITION, Y.I.F. 6. PROVIDE CLOSERS ON ALL EXISTING AND NEW EGRESS DOORS IDENTIFIED WITH PANIC HARDWARE OPENING IN DIRECTION OF TRAVEL. OTHER DOORS TO RECEIVE CLOSERS ARE NOTED ON DOOR SCHEDULE.

7. ALL FIRE RATED DOORS TO RECEIVE LABELED DOORS, CLOSING DEVICES,

7. ALL FIRE PATED DOORS TO RECEIVE LABELED DOORS, CLOSING DEVICES, FRAMES AND LATCHES WHERE OCCURIS

8. ALL EGRESS DOORS INCLUDING DOORS WITH LOCKS AND/OR CARD READERS TO COMPLY WITH GOE (108.19 AND GOE 108.19.5).

9. USE TEMPERED CLASSE FOR ALL DOOR GLAZING AND PROVIDE IMPACT SAFETY GLAZING AT LOCATIONS REQUIRED BY CODE.

10. DOOR VIEWER TO HAVE MINIMUMIN 250-EGREE VEW WHICH DOES NOT HAVE SIGHTING CAPABILITY WHEN VEWED FROM OUTSIDE. MOUNTING HEIGHT SHALL NOT EXCEED 59. FOR COMMUNICATION (I) CHINN, SWEWER SHOULD HAVE 180-DEGREE VIEW. PROVIDE A. SECOND VIEWER MOUNTED BETWEEN 43° AND 51'S AFE IN MINISTER WHEN STOLD.

SHALL NOT EXCEED SY: FAR COMMUNICATION (C) UNITS, VIEWER'S SHOULD HAVE 180 DECREE VIEW PROVIDE A SECONO YEARER MOUNTED BETWEEN 47° AND 51" A.F. IN MOBILITY WIBLI UNITS.

1. SEE DOOR SHEDULE FOR WHERE POWER DOOR OPERATORS OCCUR. POWER DOOR OPERATORS PROVIDED TO BE NOT COMPLIANCE WITH CBC 118-404 29 EXCEPTION 2. ALL DOORS WITH POWER OPERATORS SHALL COMMY WITH BHMA 4156 19, WICLIDING ALL REQUIRED SIGNS.

1.2 SEEP JANS, ELEVATIONS & ELEVATIONS OF POWER DOOR OPERATORS & CARD BEAUERS.

1.3 ALL DOORS AND GATES, IL ON. SHALL BE COUPPED WITH SINGLE EFFORT, LEVER TYPE, NON-GRAPP HARDWARE PER CBC 1152A.

1.4 LEVERS OF LEVER ACTUATED LATCHES OR LOCKS SHALL BE CURVED WITH A RETURN 10 12" OF DOOR FACE.

1.5 PROVIDE LEVER HARDWARE AT 36" A.F. HAMD ACTIVATED DOOR LATCHING, LOCKING SHALL BE CONTROLLED OF THE MAD AND A STAFF, INC. CONSISTENCE OF THE MAD AND A STAFF, INC. CONSTRUCTION OF THE MAD A STAFF, INC. CONSTRUC

PARIEL (IP DOOR IS NOT HELSH DOOR) AT 1901 MORE PUSH SIDE. IN ALL VISTRALE (I), ADAPTABLE (I), AND MOBILITY (M) JUNTS.

17. PROVIDE LEVER HARDWARE IN COMINON AREAS WITH OCCUPANT LOAD EXCEDING 1) LEVER RETURN TO 90 OD OOR FACE.

18. PER CIB. CUEVER RETURN TO SEE CURVED WITH A RETURN TO 12' OF DOOR FACE.

18. PER CIB. COURS 1.9 4 MANUALLY O'PERATED FLUSH BOLTS OR SURFACE BOLTS ARE NOT PERMITTED. PECEPT:

ARE NOT PERMITTED. EXCEPT:

AN IN DOOR NOT REQUIRED FOR EGRESS IN INDIVIDUAL DIVELLING UNITS OR SLEFRING UNITS.

IS LEFEMIG UNITS.

IS HAVE A PAIR OF DOORS SERVES A STORAGE OR EQUIPMENT ROOM, MANUALLY O'PERATED EDGE- OR SURFACE-MOUNITED BOLTS ARE PERMITTED ON THE MACTIVE LEAF.

19. REFER TO HARDWARE SPECIFICATIONS FOR DOOR HARDWARE GROUPS.

20. PROVIDE O'PHOLS HOOD HAVE A STORAGE OR POLY BE SERVING A STORAGE OR POLY BE SERVING AND A STORAGE OR POLY WITH A CHANGE ON HEIGHT ENTER MEN AND A STORAGE OR POLY WITH A CHANGE ON HEIGHT ENTER AND A STORAGE OR POLY WITH A CHANGE ON HEIGHT ENTER AND A STORAGE OR POLY BE SERVING AND A STORAGE OR POLY WITH A CHANGE ON HEIGHT ENTER AND A STORAGE OR POLY BE SERVING AND A STORAGE OR POLY WITH A CHANGE ON HEIGHT ENTER AND A STORAGE OR POLY WITH A CHANGE ON HEIGHT ENTER AND A STORAGE OR POLY WITH A CHANGE ON HEIGHT ENTER AND A STORAGE ON THE MANUAL BOY OF THE LEGGE OF THE LOOR OR AND SEARCH AND A STORAGE ON THE MANUAL BOY OF THE LOOR OF A STORAGE ON A STORAGE OR SERVED AND A STORAGE OR A STORAGE OR A STORAGE ON A STORAGE OR A STORA

ISSUE INFORMATION

14 GOUGH ST. SUITE 202 SAN FRANCISCO, CA 94103

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T: 415.777.0991 F: 415.777.0992

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| - | | PLANNING APPLI 19.2025 | CATION |
|---|-----|---------------------------|--------|
| | No. | Description | Date |

| TH v | | - | |
|------|--|---|--|
| | | _ | |

PLOT DATE: PROJECT NO: PHASE: PREPARED BY: SCALE:

DOOR SCHEDULE

12/18/2024

Author 1/4" = 1'-0"

_A600

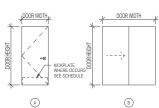
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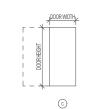
DOOR MATERIAL LEGEND DOOR/ FRAME FINISH LEGEND FRAME MATERIAL LEGEND HM HOLLOW METAL SC SOLID CORE WOOD HC HOLLOW CORE WOOD ALUM ALUMNUM STL STEEL MTL METAL FG FIBERGLASS WD WOOD HM HOLLOW METAL ALUM ALUMINUM SS STAINLESS STEEL FG FIBERGLASS

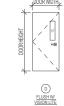
GLASS LEGEND

DOOR SCHEDULE LEGEND

SEE DOOR SCHEDULE



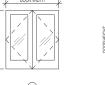




Note 1: All existing doors verified in field to be 6'-8" or lower to be 6'-8" minumum.



INTERIOR STOREFRONT DOUBLE SWING





INTERIOR STOREFRONT
GLASS SWING

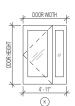




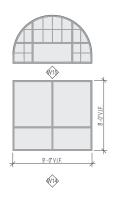




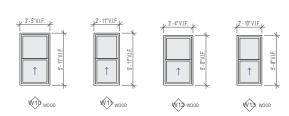


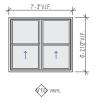


| | | Wi | indow Schedule | | | |
|-----------|------------------------|----------|----------------|--------------|-----------|----------|
| | | | SIZE | ROUG | H OPENING | |
| Type Mark | TYPE | HEIGHT | WIDTH | HEIGHT | WIDTH | COMMENTS |
| | • | • | | | • | |
| G14 | 4'8" | 5' - 2" | 4' - 8" | | | |
| G20 | C1 - 3' 3" | 4' - 8" | 3' - 3" | | | |
| G26 | 9' 2" | 4' - 8" | 9' - 2" | | | |
| V10 | 48" x 42" | 5' - 11" | 6' - 11 1/2" | 5' - 11 1/2" | 7' - 0" | |
| V11 | C1 - 3' 6" x 5' 11" | 5' - 11" | 3' - 5 3/4" | | | |
| V12 | C1 - 3' 5" | 6' - 0" | 3' - 5" | | | |
| V13 | C1 - 2' 0" | 4" - 0" | 2' - 0" | | | |
| V14 | C1 - 3' 2" | 4' - 7" | 3' - 2" | | | |
| V15 | C1 - 3' 11" x 6'0" | 6' - 0" | 3' - 11" | | | |
| V16 | C1 - 3' 11" x 2' 11" | 2' - 11" | 3' - 11" | | | |
| W10 | 3' 5" | 5' - 11" | 3' - 5" | | | |
| W11 | 2' 11" | 5' - 11" | 2' - 11" | | | |
| W12 | C1 - 2' 0 1/2" v 5' 6" | 5' - 8" | 3' - //" | | | |

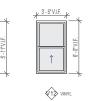








3'-534" V.I.F. V17 VINYL













EXTERIOR VINYL WINDOW 2ND - 6TH UPPER FLOOR SOUTH FACADE

6'-6" V.I.F. \$10 STEEL











835 TURK STREET

ISSUE INFORMATION

SF PLANNING APPLICATION — 03.19.2025

Author 1/4" = 1'-0" SCALE:

WINDOW SCHEDULE

_A620

| Copyright date + Series Entropy Princes, Too, 2022

| | | | | | FINIS | H SCHEDULE | | | | | |
|----------------------|---------------------------|----------|-----------|----------|------------------|------------|------|--------|----------|----------|----------------------------|
| ROOM NUMBER LOCATION | LOCATION | FLC | IOR | | WALL | | OPEI | VINGS | CEI | LING | REMARKS |
| | LOCATION | FLOORING | WALL BASE | FINISH 1 | FINISH 2 | CASEWORK | DOOR | WINDOW | FINISH 1 | FINISH 2 | REMARKS |
| BASEMENT | | | | | | | | | | | |
| B033 | (N) EGRESS STAIRS #3 | CONC | RB - 10 | PT - 10 | | | | | | | |
| GROUND FLOOR | | | | | | | | | | | • |
| 002 | (N) HALLWAY | | WB -10 | PT - 10 | | | | | | | |
| 003 | (N) DEBUG ROOM | EXP - 10 | NB | FRP - 10 | | | | | | | |
| 004 | (N) TRASH ROOM | EXP - 10 | NB | FRP - 10 | | | | | | | |
| 005 | (N) STAFF BREAK ROOM | LVT - 10 | WB -10 | PT - 10 | PT - 11(Accent) | | | | | | |
| 006 | (N) OFFICE | CPT - 10 | WB -10 | CT - 10 | PT - 12 (Accent) | | | | | | |
| 007 | (N) MAINTENANCE OFFICE | | RB -10 | PT - 10 | | | | | | | |
| 008 | (N) LAUNDRY | LVT - 11 | RB - 10 | FRP - 10 | PT -13 (Accent) | PLAM - 1 | | | | | |
| 009 | (N) OFFICE / MEETING ROOM | CPT - 10 | WB -10 | PT - 10 | PT - 12 (Accent) | | | | | | |
| 010 | (N) COMMON SPACE | LVT - 10 | WB -10 | PT - 10 | | | | | | | |
| 011 | (N) RESTRM | CT - 10 | | CT - 10 | | | | | | | |
| 012 | (N) RESTRM | CT - 10 | | CT - 10 | | | | | | | |
| 013 | (N) STORAGE | - | RB - 10 | PT - 10 | | | | | | | |
| 1ST-UPPER FLOOR | | | | | | | | | | | |
| 101 | KITCHEN / DINING / LOUNGE | | RB - 11 | PT - 2 | | | | | | | (CURRENT USE COMMON SPACE) |
| 103 | (N)TRASH RM | LVT-1 | RB - 10 | PT - 1 | | | | | | | |
| 104 | (N) SRO MOBILITY UNIT | VP - 1 | WB -1 | PT - 2 | | | | | | | MOB |
| 115 | (E) 1BR MANAGER'S UNIT | VP - 1 | WB -1 | PT - 2 | | | | | | | MOB |

(Typical for Floors 2-6)

| | SRO MORILITY UNIT - FINISH SCHEDULE | | | | | | | | | | |
|-------------|-------------------------------------|----------|-----------|----------|----------|----------|--------|--------|----------|----------|---------|
| | | FLC | OR | | WALL | | OPE | NINGS | CEI | LING | |
| ROOM NUMBER | LOCATION | FLOORING | WALL BASE | FINISH 1 | FINISH 2 | CASEWORK | DOOR | WINDOW | FINISH 1 | FINISH 2 | REMARKS |
| | | | | | | | | | | | |
| | SRO MOBILITY UNIT | VP - 1 | RB - 1 | PT - 1 | | | PT - 2 | | PT - 1 | | |
| | BATH | CT - 1 | CT - 1 | PT - 1 | CP - 1 | | PT - 2 | | PT - 1 | | |
| | TRASH ROOM | LVT-1 | RB - 2 | PT - 1 | | | PT - 2 | | PT - 1 | | |
| | | | | | | | | | | | |

| | | | INTERIOR FII | NISHES - LEGEND | | | |
|---------------------|--------------------------------------|-----------|------------------------|------------------|---------------------------|----------|-------------------------|
| SPEC | CATEGORY | ABBREV. | FINISH DESCRIPTION | MFR | STYLE, COLOR, ETC. | SIZE | COMMENT |
| • | | • | | | | | |
| CARPET | | | | | | | |
| | CARPET | CPT - 10 | CARPET TILE, LOW PILE | FLOTEX | FORBO, TBD | | |
| CAST POLYMER | | | | | | | |
| | CAST POLYMER | CP - 1 | TUB SURROUND | SWANSTONE | TBD | | |
| ERAMIC TILE | | | | | | | |
| | CERAMIC TILE | CT - 1 | CERAMIC TILE | DALTILE | TBD | | |
| | CERAMIC TILE | CT - 10 | CERAMIC TILE | DALTILE | TBD | | |
| CONCRETE | | | | | | | |
| | CONCRETE | CONC -1 | | | | | |
| EPOXY FLOORING | | | • | <u> </u> | * | <u> </u> | |
| | EPOXY FLOORING | EPX - 10 | | DEX-O-TEX | TBD | | |
| FRP WALL PANEL | | | | | <u> </u> | | |
| 06 64 13 | FRP WALL PANEL | FRP - 1 | FRP WALL PANEL - TBD | MARLITE | INDURO(TM) HPL-FACED FRP | | |
| 06 64 13 | FRP WALL PANEL | FRP - 2 | FRP WALL PANEL - TBD | MARLITE | INDURO(TM) HPL-FACED FRP | | |
| LUXURY VINYL COI | MPOSITE TILE FLOORING | | | | | | |
| | LUXURY VINYL COMPOSITE TILE FLOORING | LV - 10 | LUXURY VINYL TILE | PATCRAFT | TBD | | |
| 096500.A1 | LUXURY VINYL COMPOSITE TILE FLOORING | LVT - 1 | LUXURY VINYL TILE | PATCRAFT | TBD | | |
| 096500.A2 | LUXURY VINYL COMPOSITE TILE FLOORING | LVT - 2 | LUXURY VINYL TILE | PATCRAFT | TBD | | |
| PAINT | | 1 | | | | - | |
| | PAINT | PT - 1 | EGGSHELL | SHERWIN WILLIAMS | TBD | | |
| | PAINT | PT - 2 | SEMI-GLOSS | SHERWIN WILLIAMS | TBD | | |
| | PAINT | PT - 5 | EGGSHELL | SHERWIN WILLIAMS | TBD | | MATCH EXISTING |
| | PAINT | PT - 10 | EGGSHELL | SHERWIN WILLIAMS | TBD | | |
| PLASTIC LAMINATE | | | | | 1 | | |
| | PLASTIC LAMINATE | PLAM - 10 | WHITE | | TBD | | |
| RESILIENT BASE | T D D T D D MIN OT L | 1 1 1 10 | mine | | 100 | | |
| COLLETT DVOC | RESILIENT BASE | RB - 1 | RESILIENT BASE | ROPPE | TBD | 4" TALL | |
| | RESILIENT BASE | RB - 10 | RESILIENT BASE | ROPPE | TBD | 4 1765 | _ |
| SHEET VINYI /RUBE | | 160 10 | THEOLEGET BYOL | Norte | 100 | | |
| SHEET VINTERODE | SHEET VINYLIRUBBER | SV - 1 | TBD | MONDO | IGRANITO | | INTEGRAL FLASH COVE. 6" |
| TRANSITION STRIP | | 34-1 | 1100 | MONDO | Jordanio | | periodical chorroove, o |
| INMINOLITION STRUP | TRANSITION STRIP | TS - 20 | | ROPPE | TBD | | _ |
| VINYL PLANK FLOC | | 18-20 | 1 | KUPPE | TIDU | | |
| VIIVI L PLAINT PLUC | VINYL PLANK FLOORING | VP - 1 | 1 | PATCRAFT | TREELINE ACOUSTICAL, TBD | 7" X 47" | |
| WOOD BASE | VINTE PLANK FLOURING | VP - 1 | 1 | PATCRAFT | TIRECLINE AUGUSTICAL, IBD | 1° X 41° | |
| WIUUD BASE | WOOD DADE | un a | Lung nagrooann naarro | FORMER | DAGERGADE GOLLARE EDGE | 0.7411 | THE TOTAL WALL OF LOD |
| | WOOD BASE | WB - 1 | MDF BASEBOARD, PAINTED | FORMICA | BASEBOARD, SQUARE EDGE | 4" TALL | MATCH WALL COLOR |
| | WOOD BASE | WB - 10 | MDF BASEBOARD, PAINTED | FORMICA | BASEBOARD, SQUARE EDGE | 6" TALL | 1 |



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Project:

835 TURK STREET

ISSUE INFORMATION

SF PLANNING APPLICATION

— 03.19.2025

No. Description

1 SF Planning

PLOT DATE: 12/1
PROJECT NO:
PHASE:
PREPARED BY:
SCALE:

Chaot Title:

FINISH SCHEDULE

- A640

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