



PLANNING APPROVAL LETTER - REISSUED

Original Approval Date: **April 22, 2025**
Reissued Approval Date: **June 12, 2025**
Planning Record No. **2025-002323PRJ**
Project Address: **835 Turk Street**
Zoning: **NCT-3 -Moderate Scale Neighborhood Commercial Transit
Priority Equity Geographies Special Use District**
Block/Lot: **0761/016A**
Property Owner: **Five Keys
320 13TH Street
Oakland, CA 94612**
Project Sponsor: **Emily Van Loon on behalf of Tenderloin Neighborhood Development Corporation
201 Eddy Street
San Francisco, CA 94102**
Staff Contact: **Sylvia Jimenez**
Sylvia.Jimenez@sfgov.org | (628) 652-7348

Project Description

The project proposes interior renovation and rehabilitation of an existing seven-story over basement, 114-unit residential hotel (the “Property”), and proposes to restrict the existing rooms as permanent supportive housing using funds from (1) Mayor’s Office of Housing and Community Development (“MOHCD”) and (2) the California Department of Housing and Community Development (“HCD”) under the Homekey Plus program. The Property is owned by the City and County of San Francisco under the jurisdiction of the Department of Homelessness and Supportive Housing (“HSH”) and currently restricted as permanent supportive housing under Administrative Code section 10.100-164(b) (Our City, Our Home Fund) and Revenue and Taxation Code section 2810(b)(3)(A)(iii). At the first upper floor, the one-bedroom manager’s unit and the kitchen/dining/lounge area will be converted to become ADA-compliant. At all residential floors, two units at each floor will be combined into one mobility unit and the remaining space will be used to add a trash room with a new chute. The existing building with 114 units, including unit #101 currently used as common space, will be reduced to 108 units to provide required mobility units. Unit #101 will continue to be used as common space. The proposal also includes interior and exterior alterations that do not increase the building envelope, including structural bracing, improvements to exterior stairs along Elm Street, conversion of parking into support spaces for building residents, and various window replacements on the Turk Street façade. Any further interior rehabilitation, construction, or alteration will be coordinated with the Department of Building Inspection.

Project Approval

The Department has determined that the Property complies with the exemption for “Low Income Housing” under Administrative Code sections 41.4 and 41.7(b). The Property is restricted to households exiting homelessness and have incomes of less than 60% of MOHCD’s published area median income. The elimination of units in the proposal is for the sole purpose of creating mobility units compliant with the Americans with Disability Act and the San Francisco Building Code and to comply with the funding requirements of HCD. If awarded, the Property will be restricted as permanent supportive housing by HCD for no less than 55 years under a recorded restriction pursuant to the California Health & Safety Code. MOHCD will also restrict the Property as permanent supportive housing for life of the project under a recorded restriction. HSH and its operator will comply with relocation requirements under California Government Code Section 7260 *et seq.* Further, the Department has determined that the project complies with the definition of a “Conversion” under Administrative Code section 41.4.

The Department has determined that the project complies with the objective standards of the Planning Code and the requirements of Administrative Code Chapter 41 and may be approved ministerially under CA Health and Safety Code Section 50675.1.5.

The Department therefore approves the project as recorded in Planning Record No. 2025-002323PRJ. The plans for the approved project are attached to this approval.

Project Timeline

Action	Date
Project Sponsor submitted Development Application	3/20/25
Department staff deemed Application Complete (CAN)	3/26/25
Department staff issued Environmental Site Criteria Memo	3/31/25

Priority Policies and General Plan Findings

As described below, the Project is consistent with the eight priority policies established by Planning Code Section 101.1(b) and is in conformity with the Objectives and Policies of the General Plan.

On balance, the project complies with the eight priority policies in that:

1. That existing neighborhood-serving retail uses be preserved and enhanced and future opportunities for resident employment in and ownership of such businesses be enhanced.

The project site does not contain any commercial uses. In rehabilitating and altering existing residential rooms on the property, the project will enhance nearby neighborhood-serving retail uses by encouraging new residents, who may patronize, work at, or own such businesses.

2. That existing housing and neighborhood character be conserved and protected in order to preserve the cultural and economic diversity of our neighborhoods.

The project site contains 114 existing residential hotel rooms. While the project will result in an overall reduction to the number of rooms to 108, it will create six (6) mobility units, better serving the needs of the target population. The project will also restrict the existing rooms as Permanent Supportive Housing, ensuring that the residential hotel continues to provide critically-needed housing for people exiting homelessness and thus conserving the cultural and economic diversity of the neighborhood.

3. That the City's supply of affordable housing be preserved and enhanced,

While six (6) deed-restricted affordable residential hotel rooms will be eliminated, the addition of mobility units, the rehabilitation and seismic retrofitting of the existing building, and the addition of programming rooms for supportive services at the ground floor constitute significant enhancement to the City's supply of affordable housing.

4. That commuter traffic not impede MUNI transit service or overburden our streets or neighborhood parking.

The project site is served by nearby public transportation options. It is within one-quarter mile of the Muni bus routes 19-Polk, 21-Hayes, 31-Balboa, 38-Geary, 38R-Geary Rapid, 49-Van Ness/Mission, 5-Fulton, 5R-Fulton Rapid, and 90-San Bruno Owl. In addition, it is just over one-half mile to the Civic Center BART station. While it removes a small amount of off-street parking, nearby public garage parking may accommodate this transportation demand.

5. That a diverse economic base be maintained by protecting our industrial and service sectors from displacement due to commercial office development, and that future opportunities for resident employment and ownership in these sectors be enhanced.

The project does not include commercial office development nor eliminate any industrial and service uses.

6. That the City achieve the greatest possible preparedness to protect against injury and loss of life in an earthquake.

The project will add structural bracing to enhance seismic safety per the Building Code. Thus, the project will improve the property's ability to withstand an earthquake.

7. That landmarks and historic buildings be preserved.

While the project site is not a City-designated landmark, the building has been determined to be a historic resource for the purposes of the California Environmental Quality Act (CEQA). (Note: the project is not subject to review for impacts to historic resources pursuant to CEQA.) The project proposes structural braced framing at the interior of the ground and first floors, which will be visible through the front lobby windows. It also proposes to replace existing wood sash double-hung windows with vinyl hung windows on secondary, street-visible facades. The existing exterior facades will be retained and enhanced with waterproofing repair and painting. Lastly, the primary entry door will be replaced with a similar wood entry door, that has been designed as a single, wider door with sidelight in lieu of a symmetrical double door, in order to comply Building Code standards.

8. That our parks and open space and their access to sunlight and vistas be protected from development.

The project does not propose to increase the height or massing of the structure. Therefore, the nearby Jefferson Square Park, Margaret S. Hayward Playground, and James P. Lang Athletic Fields will not be impacted, or have their access to sunlight and vistas reduced, by the project.

On balance, the project complies with the Objectives and Policies of the General Plan in that:

Note: Objectives are shown in UPPER CASE font; Policies are in regular font; staff comments are in *italic* font.

HOUSING ELEMENT

OBJECTIVE 1.A

ENSURE HOUSING STABILITY AND HEALTHY HOMES.

Policy 2

Preserve affordability of existing subsidized housing, government-owned or cooperative-owned housing, or SRO hotel rooms where the affordability requirements are at risk or soon to expire.

Policy 3

Acquire and rehabilitate privately-owned housing as permanently affordable to better serve residents and areas vulnerable to displacement with unmet affordable housing needs.

OBJECTIVE 1.C

ELIMINATE HOMELESSNESS.

Policy 8

Expand permanently supportive housing and services for individuals and families experiencing homelessness as a primary part of a comprehensive strategy to eliminate homelessness.

Policy 15

Expand permanently affordable housing investments in Priority Equity Geographies to better serve American Indian, Black, and other people of color within income ranges underserved, including extremely-, very low-, and moderate-income households.

OBJECTIVE 4.A

SUBSTANTIALLY EXPAND THE AMOUNT OF PERMANENTLY AFFORDABLE HOUSING FOR EXTREMELY LOW- TO MODERATE-INCOME HOUSEHOLDS.

Policy 26

Streamline and simplify permit processes to provide more equitable access to the application process, improve certainty of outcomes, and ensure meeting state- and local-required timelines, especially for 100% affordable housing and shelter projects.

OBJECTIVE 4.C

DIVERSIFY HOUSING TYPES FOR ALL CULTURES, FAMILY STRUCTURES, AND ABILITIES.

Policy 32

Promote and facilitate aging in place for seniors and multi-generational living that supports extended families and communal households.

The project will rehabilitate an aging residential hotel building, increasing its seismic safety, adding mobility rooms, and creating ground-floor spaces to host supportive services. It preserves critical affordable housing, and further restricts these rooms to households exiting homelessness that have incomes of less than 60% of MOHCD's published area median income. As exemplified by the Objectives and Policies of the Housing Element listed above, the project is consistent with the General Plan.

Expiration

This Planning Approval is valid for three years, the applicant must submit for a building permit by April 18, 2028. Any permit submittals for a housing development project after this Planning Department Approval are considered post-entitlement permits subject to AB1114.

CC:

Bruce Baumann, bruce@baumannassociates.com

Holly B. Faust, SF Mayor's Office of Housing and Community Development

Mara Blitzer, SF Mayor's Office of Housing and Community Development

CPC.Closeout@sfgov.org

Attachments:

Approved Plans dated March 19, 2025

835 TURK STREET

PLANNING APPLICATION

3.19.2025

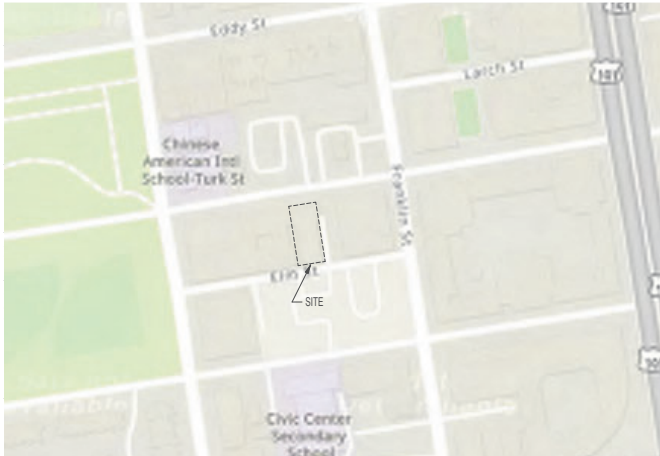
BLOCK / LOT: 0761 / 016A
835 TURK STREET
SAN FRANCISCO, CA 94102

100% AFFORDABLE HOUSING

PRIORITY PERMIT PROCESSING PER

EXECUTIVE DIRECTIVE 13-01 DEC. 18, 2023

PROJECT LOCATION



PROJECT DESCRIPTION

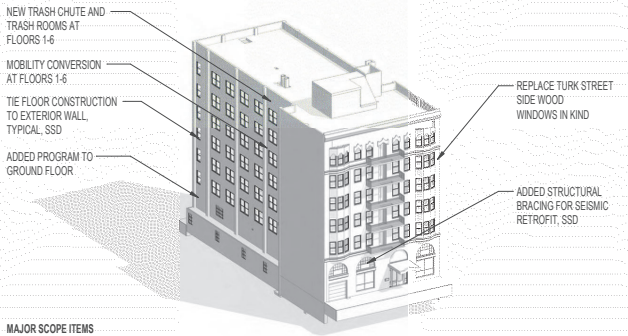
Project Name: 835 Turk
Address: 835 Turk Street, San Francisco, 94102
Block Number: 0761
Lot Number: 016A
Zoning District: NCT-3 - Moderate - Scale Neighborhood, Commercial Transit District
Maher Ordinance: Yes
Height Limit: 85'-X
Year Began: 1929 / 1930
Historic Resource Status: 3CS, SF Planning Historic Resource Status A - Historic Resource Present (See SF PM)
Occupancy Type(s): R-2, R-2 (Accessory), B, S, unused basement
Construction Type: Class C, SF Building Law of 1928
non-conforming Construction Class 3b current code used as close equivalent
Number Of Stories: 7 Stories + Basement
Building Height: 73'-7 1/4" from Turk Street Main Entrance to Roof F.F.E. at Storage
77'-7 3/4" from Turk Street Main Entrance to Top of Psepal at Turk Street
68'-6 3/4" from Lowest Level Sidewalk (at Elm Street) to highest occupied level (8th Floor)
Unit Count: 113 Units (includes unit #101 currently used as Kitchen / Dining / Lounge area for tenants)
1 - 1-Bedroom Unit
114 Total Units
100% of Units are affordable (See MOHCD Priority Permit Letter sheet G010)
Lot Area: 57.9' X 120' = 6,900 SF, SCD
Roof Areas: Roofs above Bmnt: 890 SF; Roof Level 5,343 SF; Roofs above Penthouses 395 SF
Roof Requirements: Better roofs ordinance, including total roof area, living roof area, and solar ready zone area:
Project subject to Planning Code Section 149 = N/A
Gross Floor Areas: See Gross Floor Area Plans
Vehicle Parking: Removed existing parking (1-16 parking spaces). No parking required. No parking provided.
No Car Share existing, required, or provided
Bicycle Parking: None required per **SEC. 155.2. BICYCLE PARKING (a) Applicability**
and/or **CGBC 5.106.4.1 Bicycle Parking**.
Provided: Existing bicycle rack for approx. 12 bicycles to be relocated within existing space.
No Usable Open Space required, no Usable Open Space Provided.
Usable Open Space: (100'-0" - 91'-7 1/2") / 120'-0" = 6.98' / 100'-0" = 1/14.33
SPECIAL USE DISTRICT: SEC. 249.35. FRINGE FINANCIAL SERVICE RESTRICTED USE DISTRICT
SEC. 249.97. PRIORITY EQUITY GEOGRAPHIES SPECIAL USE DISTRICT

Existing Property:

The property at 835 Turk is a 7 story + basement residential hotel building built in 1928. The building occupies the length of the property. The Ground Floor is accessed from Turk Street. The basement floor is accessed from the back of the building at Elm Street. Per SF Fire Code Section 1103.5.4 this is not a high rise building top floor is under 75' above fire truck access. Built per 1928 SF Building Law Class C, the building has an open main stair, an additional staircase at the Elm Street side, and a fire escape at the Turk Street facade. Two elevators service the lobby floor and floors above. The building contains parking (not striped for ADA parking and clear height less than required for ADA), storage and mechanical rooms at the basement floor, Lobby, property maintenance office, parking (not striped for ADA parking and clear height less than required for ADA), maintenance office and a laundry room at the ground floor, regular Units, a 1-bedroom managers unit, and a kitchen / dining / lounge area at the 1st upper floor and units at the floors above. The regular units contain bedrooms but no kitchens, the Managers unit contains a bathroom and a kitchen. The construction is concrete with supporting steel structure, wood floor construction at the upper floors, and wood roof construction.

Scope of Work:

The basement floor is not in the project scope except as required for improvements to the building. Parking to remain not striped for ADA parking and clear height to remain less than required for ADA parking. Required scope at the basement includes structural brace frames, improvements to the Elm Street side stairs, and removing or abandoning MEP equipment and piping. The ground floor use as parking garage is changed to become support spaces for the residential use of the building. At the first upper floor the One-Bedroom Manager's unit and the kitchen/dining/lounge area are converted to become ADA compliant. At all residential floors two units at each floor are combined into one mobility unit and the remaining space is used to add a trash room with a new chute.



CODE & ACCESSIBILITY INFORMATION

APPLICABLE CODES	ABBREVIATIONS	AMENDMENTS
2022 California Building Code	CBC	SF AMENDMENTS, TYP.
2022 California Existing Building Code	CEBC	
2022 California Electrical Code	CEC	
2022 California Mechanical Code	CMC	
2022 California Plumbing Code	CPC	
2022 California Green Building Code	CGBC	
2022 California Energy Code	CENC	
2022 San Francisco Building Code Amendments	SFBC	
2022 San Francisco Electrical Code Amendments	SFEC	
2022 San Francisco Mechanical Code Amendments	SFMC	
2022 San Francisco Plumbing Code Amendments	SFPC	
2022 San Francisco Green Building Code Amendments	SFGBC	
2022 San Francisco Existing Building Code Amendments	SFEB	

APPLICABLE ACCESSIBILITY REGULATIONS

MOD will review the projects for compliance to San Francisco Building Code Chapters 11A and 11B, UFAS 1988 Fair Housing Act and 2010 ADAS. The mobility, visual and hearing featured units will need to comply with the 2010 ADA Standards blended with UFAS and Chapter 11B. The remaining units will need to comply with Chapter 11A to the extent feasible. Where conflicts occur between UFAS and 2010 ADAS, refer to MOD's memo dated August 20, 2014 for clarification.

Applicable Accessibility Codes - new construction or alterations:

2010 ADA Standards for Accessible Design includes Title II 28 CFR part 35.151 and 2004 ADAAG 36 CFR part 1191, Appendices B and D published by DOJ
Fair Housing Accessibility Guidelines 1991 published by HUD
CCR Title 24 2019 CBC Chapters 11a and 11b

Applicable Accessibility Codes - existing conditions:

1991 ADA Standards for Accessible Design (excludes elevator exemptions Section 4.1.3(5) and Section 4.1.6(1)(k) published by DOJ
Fair Housing Accessibility Guidelines 1991 published by HUD
Uniform Federal Accessibility Standards (UFAS) 1988 Edition
CCR Title 24 1994 CBC Chapters 11a and 11b

Applicable Accessibility Codes - non-compliant existing conditions:

2010 ADA Standards for Accessible Design includes Title II 28 CFR part 35.151 and 2004 ADAAG 36 CFR part 1191, Appendices B and D published by DOJ
Fair Housing Accessibility Guidelines 1991 published by HUD
Uniform Federal Accessibility Standards (UFAS) 1988 Edition
CCR Title 24 1994 CBC Chapters 11a and 11b

2010 ADA Standards for Accessible Design 35.151(c)

Newly constructed or altered facilities or elements covered by §§ 35.151(a) or (b) that were constructed or altered before March 15, 2012 and that do not comply with the 1991 Standards or with UFAS shall, on or after March 15, 2012, be made accessible in accordance with the 2010 Standards.

SF PLANNING

Project complies to Citywide Objective Design Standards:

Preservation Design Standards:

EXISTING FEATURES

- P.1 TREATMENT OF CHARACTER-DEFINING FEATURES
- P.2 EXISTING WINDOWS
- P.3 EXISTING BUILDING ENTRANCES AND GARAGE OPENINGS
- P.4 EXISTING STOREFRONTS

PROJECT TEAM

OWNERSHIP TEAM	OWNER'S CONSULTANT	DESIGN TEAM
OWNER San Francisco Department of Homelessness and Supportive Housing 1515 Vallejo Street San Francisco, CA 94109 Attn: Lakessa Scott Tel: (415) 551-7884 Email: lakessa.scott@sfgov.org	PERMIT CONSULTANT Saída + Sullivan Design Partners 1221 Harrison Street, Suite 22 San Francisco, CA 94103 Attn: Bruce Baumann Tel: (415) 777-0991 Email: bruce@saídasullivan.com	ARCHITECT Saída + Sullivan Design Partners 12 Gough Street, Suite 100 San Francisco, CA 94103 Attn: Mimi Sullivan Tel: (415) 777-0991 Email: mimi@saídasullivan.com
OPERATOR Five Keys School and Programs 433 Ellis Street San Francisco, CA 94102 Attn: Brandi Marshall Tel: (415) 209-5372 Email: brandim@fivekeys.org	GEOTECHNICAL Calgeotech Engineering Consultants 3329 Pine Valley Rd., San Ramon, CA 94583 Attn: Manny Saleminik Tel: (925) 548-0111 Email: manny@calgeotech.com	CIVIL ENGINEER Luk and Associates 738 Alfred Nobel Drive Hercules, CA 94547 Attn: Jackie Luk Tel: (510) 724-3388 Email: jackie@lukassociates.com
REAL ESTATE DEVELOPMENT CONSULTANTS The Armin Group Real Estate Investments and Management Attn: Pranay Mowj Tel: (209) 969-5983 Email: pmowj@gmail.com	ERM - EXTERIOR BUILDING MAINTENANCE Scaffold Inspection and Testing Co. (SIT-Co) 183A Beacon Street South San Francisco, CA 94080 Attn: Victor Nadobochov Tel: (650) 588-4626 Email: victor@sit-co.com	STRUCTURAL ENGINEER ZFA Structural Engineers 601 Montgomery Street, Suite 1450 San Francisco, CA 94111 Attn: Ryan Bogert Tel: (415) 243-4021, ext.202 Email: ryanb@zfa.com
GC AND DESIGN / BUILD SUBS	MEP ENGINEER EdesignC Incorporated 582 Market Street, Suite 400 San Francisco, CA 94104 Attn: Stephen Howarter Tel: (415) 963-4303, ext.101 Email: stephen@edesignc.com	WATERPROOFING ENGINEER Steelhead Engineers 2570 W. El Camino Real, Suite 320 Mountain View, CA 94040 Attn: Alan Burnett Tel: (650) 941-1112 Email: aeb@steelheadengineers.com
GENERAL CONTRACTOR DAH Construction 2107 Kearney Street El Cerrito, CA 94530 Attn: Jansen Lum Tel: (510) 237-7883 Email: jansen@dh-construction.com	BIM CONSULTANT MODULUS Consulting 44 Montgomery Street, Suite 1000 San Francisco, CA 94104 Attn: Vishal Dolras Tel: (415) 396-6482	

UNIT MATRIX SUMMARY

UNIT MATRIX SUMMARY EXISTING & PROPOSED CONDITIONS

UNIT MATRIX / PROGRAM (EXISTING)				UNIT MATRIX / PROGRAM (PROPOSED)			
	UNIT COUNT	SRO		UNIT COUNT	SRO(M)	1BR(M)	SRO (N.I.C.)
BUILDING			BUILDING				
BASEMENT	0	0	BASEMENT	0	0	0	0
GROUND FLOOR	0	0	GROUND FLOOR	0	0	0	0
FLOOR 1	13	13	FLOOR 1	12	1	1	10
FLOOR 2	20	20	FLOOR 2	19	1	0	18
FLOOR 3	20	20	FLOOR 3	19	1	0	18
FLOOR 4	20	20	FLOOR 4	19	1	0	18
FLOOR 5	20	20	FLOOR 5	19	1	0	18
FLOOR 6	20	20	FLOOR 6	19	1	0	18
TOTAL	113	112	TOTAL	107	6	1	100

(E) UNIT TOTAL	113	112	PROPOSED TOTAL	107	7	100
UNIT ALLOCATION %		99.1%	UNIT ALLOCATION %		6.5%	93.5%

NOTES

- THE UNIT COUNT ABOVE REFERS TO THE NUMBER OF UNITS ACTUALLY USED AS UNITS. THE NUMBER OF UNITS THAT SF DBI HAS ON RECORD IN THE ANNUAL UNIT USAGE REPORT INCLUDES THE LOUNGE/KITCHEN/DINING SPACE AT THE 1ST UPPER FLOOR AS UNIT #101. THE CURRENT USE AS KITCHEN/LOUNGE/DINING SPACE WAS CONFIRMED ACCEPTABLE WITH DBI AND WILL REMAIN AS IS.
- TOTAL NUMBER OF MOBILITY UNITS REQUIRED AT 835 TURK (ASSUME 5% PER ADA AND CBC REQUIREMENT ONLY, NO TCAC FUNDING) = 6
- UNITS XXX, XXX, AND XXX, TO BECOME FUTURE MOBILITY UNITS. TOTAL NUMBER OF MOBILITY UNITS PROVIDED AT 835 TURK = 6 (FULFILLS THE 5% ADA AND CBC REQUIREMENT)
- TOTAL NUMBER OF COMMUNICATION UNITS REQUIRED AT 835 TURK (ASSUME 2% PER ADA AND CBC REQUIREMENTS, NO TCAC FUNDING) = 3
- UNITS XXX AND XXX TO BECOME FUTURE COMMUNICATION UNITS. TOTAL NUMBER OF COMMUNICATION UNITS PROVIDED AT 835 TURK = 3 (FULFILLS THE 2% ADA AND CBC REQUIREMENT)

UNIT MATRIX

PROPOSED UNIT NUMBERS AND LOCATION OF MOBILITY AND COMMUNICATION UNITS

Unit	1	2	3	4	5	6
Floor						
A01	A01 A01	201	301	401	501	601
A02	102	202	302	402	502	602
A03	103	203	303	403	503	603
A04	104	204	304	404	504	604
A05	105	205	305	405	505	605
A06	106	206	306	406	506	606
A07	107	207	307	407	507	607
A08	108	208	308	408	508	608
A09	109	209	309	409	509	609
A10	110	210	310	410	510	610
A11	111	211	311	411	511	611
A12	112	212	312	412	512	612
A13	113	213	313	413	513	613
A14	114	214	314	414	514	614
A15	115	215	315	415	515	615
A16	116	216	316	416	516	616
A17	117	217	317	417	517	617
A18	118	218	318	418	518	618
A19	119	219	319	419	519	619
A20	120	220	320	420	520	620
A21	121	221	321	421	521	621

LEGEND:

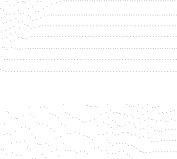
UNITS HIGHLIGHTED IN BOLD ITALICS ARE ALTERATION SCOPE
CONVERTED TO BE ACCESSIBLE AND ON ACCESSIBLE ROUTE
(EXISTING ELEVATORS REQUESTED TO BE ACCEPTED PER INFA
[E] 101 KOL: [E] UNIT PREVIOUSLY CONVERTED TO COMMON SPACE
FOR TENANTS
(KITCHEN, DINING / LOUNGE) TO BE ALTERED TO BE ACCESSIBLE
[E] X03 AND X04 LINE COMBINED INTO IN MOBILITY SRO UNITS
[E] X03 LINE APARTMENTS ARE REMOVED. X03 LINE ROOM
NUMBERS USED FOR RESIDENTIAL FLOOR TRASH ROOMS.
COM: COMMUNICATION UNITS. 2% REQUIRED. LOCATION OF
COMMUNICATION UNITS TBD.
[E] 115 MGR: [E] MANAGERS UNIT TO BE ALTERED TO BE
ACCESSIBLE (MOBILITY 1-BR).
OTHER UNITS ARE EXISTING SRO UNITS TO REMAIN.

ABBREVIATIONS

&	AND	KIT.	KITCHEN
<	ANGLE	LAU.	LAUNDRY
@	AT	LAND/G	LANDING
A.B.	ANCHOR BOLT	LAV.	LAVATORY
ABV	ABOVE	LT.	LIGHT
A.C.	ASPHALTIC CONC	MAX.	MAXIMUM
ACC	ACCESSIBLE	M.C.	MEDICINE CABINET
ACOUS.	ACOUSTICAL	MECH.	MECHANICAL
A.D.	AREA DRAIN	MTL	METAL
ADJ.	ADJACENT	MFR.	MANUFACTURER
ALUM.	ALUMINIUM	MIN.	MINIMUM
APL	ASSUMED PROPERTY LINE	MTD.	MOUNTED
AUTO.	AUTOMATIC	MULL.	MULLION
BALC.	BALCONY	N/A	NOT APPLICABLE
BD.	BOARD	N.I.C.	NOT IN CONTRACT
BLDG.	BUILDING	N.T.S.	NOT TO SCALE
BLKG.	BLOCKING	O/	OVER
BM.	BEAM	O.C.	ON CENTER
B.O.C.	BOTTOM OF CURB	OFF.	OFFICE
BTM	BOTTOM	O.H.	OVERHANG
B.S.W.	BACK OF SIDEWALK	OPNG.	OPENING
BTWN.	BETWEEN	OPP.	OPPOSITE
CABT.	CABINET	PERF.	PERFORATED
CEM.PLAS.	CEMENT PLASTER	PL	PLATE
C.J.	CONTROL JOINT	PLAS. LAM.	PROPERTY LINE
C.L.	CENTERLINE	P.O.	PARTIALLY OPERABLE
CLG.	CEILING	P.T.	PRESSURE TREATED
CLKG.	CAULKING		OR POST TENSIONED
CL.	CLOSET	PTD.	PAINTED
CLR.	CLEAR	PLYWD.	PLYWOOD
C.M.U.	CONCRETE MASONRY UNIT	R	RECESSED
COL	COLUMN	REC.	REFRIGERATOR
CONC.	CONCRETE	REF.	REINFORCED
CONN.	CONNECTION	REINF.	REINFORCED
CONT.	CONTINUOUS	REQ'D	REQUIRED
CONST.	CONSTRUCTION	RM.	ROOM
CNTR.	CASEMENT	R.O.	ROUGH OPENING
CSMT.	DRYER	R.W.L.	RAINWATER LEADER
DBL	DOUBLE	S.A.D. / SAD	SEE ARCHITECTURAL DRAWINGS
DET.	DETAIL	S.C.	SOLID CORE
DIA.	DIAMETER	S.C.D / SCD	SEE CIVIL DRAWINGS
DIM.	DIMENSION	S.S.D. / SSD	SEE STRUCTURAL DRAWINGS
DR.	DOOR	SCH.	SCHEDULE
D.S.	DOWNSPOUT	SEC.	SECTION
DWG.	DRAWING	S.E.D. / SED	SEE ELECTRICAL DRAWINGS
EA.	EACH	S.F.	SUBFLOOR
E.X.J.	EXPANSION JOINT	SFPD	SEE FIRE PROTECTION DRAWINGS
ELEV.	ELEVATION	SFSD	SEE FIRE SPRINKLER DRAWINGS
ELEC.	ELECTRIC	S.G.	SAFETY GLAZING
ENCL.	ENCLOSURE	SH.	SHELF
E.P.	ELECTRIC PANEL	SHLV.	SHELVES
EQ.	EQUAL	SHT.	SHEET
EQUIPT.	EQUIPMENT	SIM.	SIMILAR
EXT.	EXTERIOR	S.L.D. / SLD	SEE LANDSCAPE DRAWINGS
F.A.I.	FRESH AIR INTAKE	SLVTD	SEE LOW VOLTAGE TELECOM DWGS
F.D.	FLOOR DRAIN	S.M.	SHEET METAL
FDN.	FOUNDATION	S.M.D. SMD	SEE MECHANICAL DRAWINGS
F.E.	FIRE EXTINGUISHER	S.F.	SEAMLESS
F.E.C.	FIRE EXTINGUISHER CABINET	S.P.D. / SPD	SEE PLUMBING DRAWINGS
F.F.	FINISHED FLOOR	SPECS.	SPECIFICATIONS
FIN.	FINISH OR FINISHED	SQ.	SQUARE
FLASHG	FLASHING	S.S.	STAINLESS STEEL
FLEX	FLEXIBLE	STD.	STANDARD
FLR.	FLOOR	STL	STEEL
F.O.B.	FACE OF BEAM	STOR.	STORAGE
F.O.C.	FACE OF CONCRETE	STRUCT.	STRUCTURAL
F.O.F.	FACE OF FINISH	SV	SHEET VINYL
F.O.S.	FACE OF STUD	T.B.	TOWEL BAR
F.O.W.	FACE OF WALL	T&G	TONGUE AND GROOVE
FOOT.	FOOT	TEL.	TELEPHONE
FTG.	FOOTING	TEMP.GL	TEMPERED GLASS
GA.	GAUGE	THRESH.	THRESHOLD
GAR.	GARAGE	T.O.	TOP OF
G.B.	GRAB BAR	T.O.C.	TOP OF CURB
GL.	GLASS	T.O.P.L.	TOP OF PLATE
GLAZ.	GLAZING	T.O.S.	TOP OF SLAB
G.S.M.	GALVANIZED SHEET METAL	T.O.W.	TOP OF WALL
G.W.B.	GYPSON WALL BOARD	TPH	TOILET PAPER HOLDER
GYP.	GYPSON	T	TREAD (OR TEMPERED)
H.B.	HOSE BIB	T.S.	TUBE STEEL
HWWR.	HARDWARE	TYP.	TYPICAL
H.M.	HOLLOW METAL	U.O.N.	UNLESS OTHERWISE NOTED
HORIZ.	HORIZONTAL	VCT	VINYL COMPOSITION TILE
HPR.	HOPPER	VERT.	VERTICAL
HR.	HOSE	VEST.	VESTIBULE
H.R.	HANDRAIL	V.G.D.F.	VERTICAL GRAIN DOUG. FIR
HT.	HEIGHT	V.I.F.	VERIFY IN FIELD
IN.	INCHES	W	WASHER
INSUL.	INSULATION	W/	WITH
INT.	INTERIOR	W.C.	WATER CLOSET
INTERM.	INTERMEDIATE	WD.	WOOD
JOINT.	JOINT	WDW.	WINDOW
		W.H.	WATER HEATER
		W/O	WITHOUT
		W.O.	WHERE OCCURS
		W.P.	WATERPROOF
		W.S.	WHEELSTOP

SYMBOLS

	GRID LINE GRID NUMBER OR LETTER		EXTERIOR ELEVATION ELEVATION NUMBER SHEET NUMBER
	WORK PT / CONTROL PT ELEV. IF GIVEN		INTERIOR ELEVATION(S) ARROWS, NUMBERS AND LETTERS INDICATE ELEVATIONS & ELEVATION GROUP SHEET NUMBER
	DETAIL DETAIL NUMBER SHEET NUMBER		WINDOW TYPE WINDOW MARK (NUMBER)
	DETAIL DETAIL NUMBER SHEET NUMBER		DOOR TYPE DOOR MARK (NUMBER)
	DETAIL DETAIL NUMBER SHEET NUMBER		WALL TYPE WALL MARK (LETTER)
	SECTION SECTION LETTER SHEET NUMBER		REVISION REVISION MARK (NUMBER)



Project:

835 TURK STREET

ISSUE INFORMATION

Issued For:

SF PLANNING APPLICATION
03.19.2025

No.	Description	Date:
1	SF Planning	03.19.2025

PLOT DATE: 12/18/2024

PROJECT NO: 2305

PHASE:

PREPARED BY: EG

SCALE: 1/2" = 1'-0"

Sheet Title:

PROJECT INFORMATION

Sheet No.:

G000

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A111	1ST AND 2ND UPPER FLOOR PLANS - PROPOSED & REMOVAL	•
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ARCHITECTURAL: 32

TOTAL: 50

Architect

SSDP

Saïda + Sullivan Design Partners

44 GOUGH ST. SUITE 202
SAN FRANCISCO, CA 94103
T: 415.777.0991
F: 415.777.0992
www.saidasullivan.com

Seal & Signature:



Project:

835 TURK STREET

ISSUE INFORMATION

Issued For:		
SF PLANNING APPLICATION		
03.19.2025		
No.	Description	Date:
1	SF Planning	03.19.2025

PLOT DATE:	12/18/2024
PROJECT NO:	2305
PHASE:	
PREPARED BY:	EG
SCALE:	

Sheet Title:

DRAWING INDEX

Sheet No.:

G001

MAHER - COMPLIANCE CERTIFICATION LETTER FROM SF DPH

Design/Envelope ID: C170308-0815-886A-A618-A2C84HCF7329



City and County of San Francisco
DEPARTMENT OF PUBLIC HEALTH
ENVIRONMENTAL HEALTH

Daniel Jure, Mayor
Grant Colfax, MD, Director of Health
Patrick Fosdick, MS, RPH,
Environmental Health Director

January 21, 2025

City and County of San Francisco
Department of Health & Supportive Housing
Attn: Lakessa Scott
449 Turk Street
San Francisco, CA 94102

Via email: lakessa.scott@sfgov.org

Subject: SFHC Article 22A and 22B - Compliance Certification
835 Turk St, San Francisco, California 94102
SMED Case Number: 2291

Dear Lakessa Scott:

In accordance with San Francisco Health Code (SFHC) Article 22A and 22B, and San Francisco Building Code Section 106.3.2.4, the San Francisco Department of Public Health, Environmental Health Branch, Contaminated Site Assessment and Mitigation Program (EHB-SAM) is issuing a Compliance Certification letter based on the receipt and review of the following documents related to Site Mitigation Environmental Health Database (SMED) case number 2291 for the property located at 835 Turk Street (the Site):

- SCA Environmental, Inc. (SCA), 2021, Phase I Environmental Site Assessment, Vantage Suites, APN 0761-016A, 835 Turk Street, San Francisco, CA 94102, November 18, (Phase I ESA)
- Calgeotech Engineering Consultants, Inc., 2024, Final Geotechnical Engineering Investigation Report for Seismic Retrofit Project, 835 Turk Street, San Francisco, California, December, (Geotechnical Report)
- Saida + Sullivan Design Partners (SSDP), 2024, 835 Turk Street, 50% Design Development, December 18.

On December 10, 2024, the EHB-SAM received a Site Assessment and Mitigation Application and issued a SMED case number 2291 for the Site.

A case summary and comments from EHB-SAM review are included in this letter.

SITE DESCRIPTION AND PROPOSED DEVELOPMENT

The Site is located on Turk Street, between Gough Street and Franklin Street. It is approximately 6,899 square feet (0.16 acres) in size and identified by the San Francisco County Assessor's Parcel Number (APN) 0761-016A.

CONTAMINATED SITE ASSESSMENT AND MITIGATION PROGRAM
49 South Van Ness Avenue, Suite 800, San Francisco, CA 94102
Phone: 415-253-3800 / Fax: 415-253-3910

Design/Envelope ID: C170308-0815-886A-A618-A2C84HCF7329

835 Turk St (SMED 2291)
January 21, 2025
Page 2 of 3

Based on the Geotechnical Report, the Site basement is underlain by approximately 20 feet of sand. Groundwater is anticipated at 35 feet below ground surface (bgs), flowing towards the southeast. Based on the Phase I ESA, the Site was used for residential dwellings from 1866 to the late 1920s. The existing building was built in 1929 and used for hotel apartments, single room occupancy, and short-term rentals. Historical commercial operations neighboring the Site include a sheet metal workshop, paint shop, photo shop, auto repair shop, dry cleaner, and oil and gas stations. A ramp encephalitis to a historical freeway was present two parcels west of the Site from the 1960s to 1980s. In accordance with ASTM E1527-13, the Phase I ESA did not identify any recognized environmental conditions (RECs).

The Site contains an existing seven-story residential hotel building (with a partially subgrade basement) and is proposed for rehabilitation for 100% affordable housing. Rehabilitation scope includes voluntary seismic strengthening; electrification upgrades of the mechanical, electrical, and plumbing systems; and compliance with the Americans with Disabilities Act. Approximately 292 cubic yards of soil are estimated for excavation. The ground floor uses will change from parking garage to residential building support spaces for residential use (e.g., offices, laundry, storage). The basement, which is currently used as parking and storage, will be abandoned to accommodate the structural upgrades.

EHB-SAM REVIEW

Based on the information provided, the requirements of Article 22B do not apply to this project and no Site-Specific Dust Control Plan will be required. Please review the general construction dust control requirements in San Francisco Building Code Section 106A.3.2.6.3 as they may still apply.

The EHB-SAM approves the Phase I ESA and finds it compliant with SFHC Article 22A.6 and finds no further action is necessary for Article 22A compliance based on the findings that no hazardous substances are expected to be present in soil or groundwater exceeding applicable health risk levels.

Should you have any questions or comments, please contact Tina Hoang at (415) 252-9927 or tina.hoang@sfdph.org.

Sincerely,

Tina Hoang
Senior Environmental Health Inspector

CC: Beneska Mattingren, EHB-SAM, via beneska.mattingren@sfdph.org
Tania Sheynar, San Francisco City Planning Department, via tania.sheynar@sfgov.org

AB-004 DOCUMENTATION OF FINDINGS FOR PRIORITY PERMIT APPLICATION PROCESSING.

2022 SAN FRANCISCO BUILDING CODE

AB-004

City and County of San Francisco
Department of Building Inspection



London N. Breed, Mayor
Patrick O'Riordan, C.B.O., Director

DEPARTMENT OF BUILDING INSPECTION
City & County of San Francisco
49 South Van Ness Ave | 5th Floor, San Francisco, CA 94103

Documentation of Findings for Priority Permit Application Processing

This form shall accompany all requests for priority processing of permit applications. A copy shall be maintained in the office of the Deputy Director for Permit Services, a copy shall accompany the permit application, and a copy shall be recorded as a permit document.

Note: Boldface items are to be completed by the Permit Applicant.

Received Date: _____ Time: _____ Permit Application # _____
Property Address: 835 Turk Street, San Francisco, CA 94102 Block and Lot: 0761 / 016A
Occupancy Group: _____ Use: _____

Description of Proposed Work:
Rehabilitation of existing 6-story 100% Affordable Housing SRO building for formerly homeless individuals.

I hereby declare that the information provided is accurate to the best of my knowledge and that I intend to undertake and complete the project described herein in compliance with the requirements for Priority Permit Processing detailed in DBI Administrative Bulletin AB-004.

Signature of Applicant:
Print Name of Applicant: BRICE BAUMANN Date: 03/12/2025
Phone Number: 415-551-7804 Email: brice.baumann@associates.com

Filing/Basis for Priority Permit Review (based on AB-004)
If: Case A ☐ Case B ☐ Other (select one) Item # 2

Comments/Findings: Per an email response from Brendan Dwyer, MOHCD, the building is currently owned by HSH & leased to a building operator. Email correspondence dated: 3-12-2025. (Attached)

Approved by:

Signature of DBI Supervisor or Manager

Print Name and Title: Mark Walls, Chief Building Insp. Date: 3-12-2025

1/1/2023

Page 4-5

Walls, Mark (DBI)

From: Dwyer, Brendan (MYR)
Sent: Wednesday, March 12, 2025 11:40 AM
To: Walls, Mark (DBI)
Cc: Faust, Holly B. (MYR)
Subject: RE: 835 Turk St.

Hi Mark,

Yes, this is a MOHCD / HSH project. Adding the assigned Construction Rep here (Holly Faust). She will correct me if I'm wrong, but I believe that the building is currently owned by HSH and leased to a building operator (can't recall their name off the top of my head). I believe the plan is to eventually transfer ownership of the building to a developer while the City retains ownership of the land. They've got some non-MOHCD funding source that is driving their construction schedule, so I think they'll need at least some permits approved by Sept/Oct or risk losing out on some funding. That's my very high level understanding of where things are at, but Holly is way in the weeds on this one and can answer any further questions you may have. Thanks,

Brendan Dwyer (he, him, his)
Director of Construction Services

Mayor's Office of Housing and Community Development
1 S. Van Ness Avenue, 5th Floor
San Francisco, CA 94103
Cell: (510) 830-5681
brendan.dwyer@sfgov.org

My normal in-office days are Monday to Thursday. I generally work from home on Fridays.

See Professional Services and Construction contracting opportunities for MOHCD-funded projects [HERE](#).

From: Walls, Mark (DBI) <mark.walls@sfgov.org>
Sent: Wednesday, March 12, 2025 11:29 AM
To: Dwyer, Brendan (MYR) <brendan.dwyer@sfgov.org>
Subject: 835 Turk St.

Morning Brendan,

Is this location owned or leased by CCSF?

Thanks,

Mark G. Walls
Chief Building Inspector
Permit Services - Department of Building Inspection
(628) 652-3752
SFDBI.org
[Sign up for our customer email list](#)

MOHCD PRIORITY PERMIT LETTER

Mayor's Office of Housing and Community Development
City and County of San Francisco



London N. Breed
Mayor

Eric D. Shaw
Director

Letter Confirming City Priority Permit Status

December 27, 2023

Pranay Mowji, Owner's Representative/Construction Manager
c/o Five Keys Schools and Programs
70 Oak Grove Street
San Francisco, CA 94107

Pranay Mowji,

On behalf of the Mayor's Office of Housing and Community Development (MOHCD) this letter confirms the priority permit status of the proposed 100% affordable project at the Property listed below, as an Executive Directive 13-01 priority project.

This letter should be uploaded with your permit application when you submit any building permits online and should be referenced in all correspondence related to those permit applications.

835 Turk Street – Block 0761 Lot 016A
Rehabilitation of existing 6-story 100% Affordable Housing SRO building for formerly homeless individuals.

Thank you and please contact the staff person listed below with any questions.

Brendan Dwyer
Director of Construction Services
brendan.dwyer@sfgov.org

CC: Joanne Park (HSH), Chey Quimbas (HSH), Eli Raedbach (HSH), Mimi Sullivan (Saida+Sullivan Design Partners), Sonia Delgado-Schumberg (MOHCD), Sara Amaral (MOHCD), Carly Grob (CPC)

One South Van Ness Avenue, Fifth Floor, San Francisco, CA 94103
www.sfmohcd.org

Architect
SSDP
Saida + Sullivan Design Partners
44 GOUGH ST. SUITE 202
SAN FRANCISCO, CA 94103
T: 415.777.0891
F: 415.777.0992
www.saidasullivan.com

Seal & Signature:



Project:

ISSUE INFORMATION

Issued For:

SF PLANNING APPLICATION
03.19.2025

No.	Description	Date:
1	SF Planning	03.19.2025

PLOT DATE: 12/18/2024

PROJECT NO: 2305

PHASE:

PREPARED BY: EG

SCALE:

Sheet Title:

AGENCY
COMMUNICATION

Sheet No.:

G010

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835 TURK STREET

ERRCS REQUIREMENTS

Begin forwarded message:

From: "Weiss-Ishai, Sagiv (FIR)" <sagiv.weiss-ishai@sfgov.org>
Subject: RE: 835 Turk - Pre-App - question for clarification
Date: January 7, 2025 at 14:00:26 PST
To: Bob Luhrs <bluhrs@pacificodas.com>
Cc: Pranay Mowji <pmowji@gmail.com>, Bruce Baumann <bruce@baumannassociates.com>, "Weiss-Ishai, Sagiv (FIR)" <sagiv.weiss-ishai@sfgov.org>

Hi Bob and Bruce and Happy 2025!
There is no code requirement to install indoor antenna on every floor.
You could potentially have full coverage with no antennas at all.
The Antenna coverage design is based on the GROL licensed design and we just provide the Radio coverage inspection throughout the building via a grid test and DAQ + NEG 95 requirement in each grid regardless the locations of the antenna.
You can tell Lt. Woo that this is how SFFD (Sagiv/Plan Check) are enforcing the ERRCS requirement since 1/1/2011 and he can contact me for more specific info if he needs to
Hope this helps

Sagiv

Sagiv Weiss-Ishai, P.E.
Senior Fire Protection Engineer
San Francisco Fire Department
Bureau of Fire Prevention
49 South Van Ness, Suite 560
San Francisco, CA 94103
Desk: 628-652-3270
Fax: 628-652-3476
Email: sagiv.weiss-ishai@sfgov.org



UNIT COUNT REDUCTION

Eckart Graeve

From: Park, Joanne (HOM) <joanne.park@sfgov.org>
Sent: Tuesday, July 25, 2023 3:44 PM
To: Pranay Mowji; Mini Sullivan; Koji Saido; Jansen Lunn; Faust, Holly B. (MYR)
Cc: Quimbaro, Cheley (HOM)
Subject: FW: 835 Turk - HSH acquisition property - HCO question

Hi all,

Please see below for confirmation DBI will accept a net loss of 6 units to create 6 accessible units.

Thanks,

Joanne

From: Luton, Matthew (DBI) <matthew.luton@sfgov.org>
Sent: Friday, July 21, 2023 4:31 PM
To: Park, Joanne (HOM) <joanne.park@sfgov.org>
Cc: Quimbaro, Cheley (HOM) <chelette.quimbaro@sfgov.org>
Subject: RE: 835 Turk - HSH acquisition property - HCO question

Hi Joanna,

I will be the person in Housing Inspection that reviews your permit application for compliance with the HCO and will approve the combination of 12 guest rooms in order to create 6 accessible units, as it has been presented to me, due to the exception specified under the definition of Conversion (See Section 41.4 of the SF Administrative Code).

I hope that this email satisfies your request for the interpretation in writing.

Please feel free to contact me with any additional questions or concerns.

Thank you,

Matt Luton
Housing Inspection Services
49 So. Van Ness Ave., Suite 400
San Francisco CA, 94103
(628) 652-3373

From: Park, Joanne (HOM) <joanne.park@sfgov.org>
Sent: Friday, July 21, 2023 12:45 PM
To: Luton, Matthew (DBI) <matthew.luton@sfgov.org>
Cc: Quimbaro, Cheley (HOM) <chelette.quimbaro@sfgov.org>
Subject: RE: 835 Turk - HSH acquisition property - HCO question

Hi Matt,

Thanks for the update! Would it be possible to get this interpretation in writing or something formalized so it doesn't become an issue during plan check?

Joanne

From: Luton, Matthew (DBI) <matthew.luton@sfgov.org>
Sent: Friday, July 21, 2023 9:00 AM
To: Park, Joanne (HOM) <joanne.park@sfgov.org>
Cc: Quimbaro, Cheley (HOM) <chelette.quimbaro@sfgov.org>
Subject: RE: 835 Turk - HSH acquisition property - HCO question

Good morning, Joanne.

I apologize for the delay in getting back to you.

I am not aware of anything that would require you to convert existing guest rooms into accessible units. During our meeting it was brought up that the Mayor's Office of Housing might require the city to provide accessible units. It sounds like that is not the case now.

I have just heard back from the city attorney and after going over the proposed change at 835 Turk Street, it seems like we can use the exception specified under the HCO's definition of "Conversion" to approve this project. The exception allows a change in use of a residential unit to a non-commercial use, which serves only the needs of the permanent residents.

Please let me know if you have any questions or concerns.

Thank you,

Matt Luton
Housing Inspection Services
49 So. Van Ness Ave., Suite 400
San Francisco CA, 94103
(628) 652-3373

Conversion. The change or attempted change of the use of a residential unit to a Tourist or Transient use, or the elimination of a residential unit, or the voluntary demolition of a residential hotel. However, **a change in the use of a residential hotel unit into a non-commercial use which serves only the needs of the permanent residents**, such as a resident's lounge, community kitchen, or common area, shall not constitute a conversion within the meaning of this [Chapter 41](#), provided that the residential hotel owner establishes that eliminating or re-designating an existing tourist unit instead of a residential unit would be infeasible.

From: Park, Joanne (HOM) <joanne.park@sfgov.org>
Sent: Monday, July 10, 2023 12:02 PM
To: Luton, Matthew (DBI) <matthew.luton@sfgov.org>
Cc: Quimbaro, Cheley (HOM) <chelette.quimbaro@sfgov.org>
Subject: RE: 835 Turk - HSH acquisition property - HCO question

Hi Matt,

No worries – we're all pretty busy here too. I don't recall mentioning there is an authority for an accessible unit requirement. From our perspective, the units would be voluntary. I'm still not clear, however, if DBI would require accessible units if they determine the magnitude of our seismic retrofit project warrants such units.

NO EXISTING 3R REPORT

From: Wu, Darren (DBI) <darren.wu@sfgov.org>
Sent: Wednesday, October 19, 2022 9:21 AM
To: Christen, Sharon (HOM) <sharon.christen@sfgov.org>
Cc: Adams, Dan (MYR-DEM) <dan.adams@sfgov.org>; Herrera, Patty (DBI) <patty.herrera@sfgov.org>; Catigan, Alexander (DBI) <alexander.catigan@sfgov.org>
Subject: RE: 3 R report for 835 Turk and Eula

Hi Sharon,

Typically, if we have an existing 3R, I can provide you with a copy of that 3R. For these two properties, 835 Turk St and 3061 16TH St, we have none. And I noticed these two properties are owned by the City.

May I ask why you need one? Usually, a 3R is requested when a sale or exchange of a residential property. See below:

Per Housing Code, Section 351(A)

It shall be unlawful for the owner of such residential building to sell or exchange same without first having obtained and delivered to the buyer the Report of Residential Building Record herein provided for. A residential building is defined as a building or portion thereof containing one or more dwelling units but not including hotels containing 30 or more guest rooms, or motels.

Please advise.

Thank you,

Darren Wu, Custodian of Records
Department of Building Inspection
Records Management Division
49 South Van Ness, Suite 400
San Francisco, CA 94103
Office: (628) 652-3420 Desk: (628) 652-3331
<https://sfdbi.org/RMO>



2021 ANNUAL UNIT USAGE REPORT

SECTION 1 – PROPERTY INFORMATION

Block: 0761
Lot: 016A 01

Hotel Name (If Applicable): Vantaggio Suites
Hotel Address: 835 Turk St., SF, CA 94102

Number of Certified Residential Rooms: 114
Number of Certified Tourist Rooms: 0

SECTION 2 – OWNER NAME AND ADDRESS

Owner Name: VSSF Associates, LLC
Owner Address: 835 Turk St.
City SF State CA Zip Code 94102
Owner Email Address: sf@vantaggiosuites.com
Owner Phone Number: 415-922-0111

SECTION 3 – LESSEE NAME AND ADDRESS (if applicable)

Lessee Name: N/A
Lessee Address:
City State Zip Code
Lessee Email Address:
Lessee Phone Number:

ANNUAL UNIT USAGE REPORT 2021 3 of 7

HOTEL ADDRESS: 835 Turk St., SF, CA 94102-761/016A 01

SECTION 4 – RESIDENTIAL GUEST ROOMS

For October 15, 2021 indicate how many Residential guest rooms were occupied and vacant. Do not include legal apartments/dwelling units in guest room count. Attach the Daily Log for October 15, 2021 with this report.

- 4.1) How many Residential guest rooms were occupied on 10/15/2021? 50
4.2) How many Residential guest rooms were vacant on 10/15/2021? 63
4.3) Total number of Residential guest rooms that were occupied and vacant on 10/15/2021. Add together the total number of rooms from Question 4.1 and 4.2. 113
4.4) Number of certified Residential guest rooms. See section 1. 114
4.5) Is the total number of Residential guest rooms that were occupied and vacant on 10/15/2021 (Question 4.3) the same as the number of Residential rooms listed on the Certificate of Use (Question 4.4)? "YES"/"NO". NO
4.6) If the response at Question 4.5 is "YES", please move on to the next section. If the response at Question 4.5 is "NO", please provide an explanation for the discrepancy in the space below. If you need additional space, please attach separate sheets.
Unit #101 is converted and being used as a community kitchen

SECTION 5 – TOURIST GUEST ROOMS

For October 15, 2021 indicate how many Tourist guest rooms were occupied and vacant.

- 5.1) How many Tourist guest rooms were occupied on 10/15/2021? 0
5.2) How many Tourist guest rooms were vacant on 10/15/2021? 0
5.3) Total number of Tourist guest rooms that were occupied and vacant on 10/15/2021. Add together the total number of rooms from Question 5.1 and 5.2. 0
5.4) Number of certified Tourist guest rooms. See Section 1. 0
5.5) Is the total number of Tourist guest rooms that were occupied and vacant on 10/15/2021 (Question 5.3) the same as the number of Tourist rooms listed on the Certificate of Use (Question 5.4)? "YES"/"NO". YES
5.6) If the response at Question 5.5 is "YES", please move on to the next section. If the response at Question 5.5 is "NO", please provide an explanation for the discrepancy in the space below. If you need additional space, please attach separate sheets.

ANNUAL UNIT USAGE REPORT 2021 4 of 7

Architect
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LICENSED ARCHITECT
Saida + Sullivan
C-25093
FEDERAL
STATE OF CALIFORNIA

Project:

835 TURK STREET

ISSUE INFORMATION

Issued For:		
SF PLANNING APPLICATION		
03.19.2025		
No.	Description	Date:
1	SF Planning	03.19.2025

PLOT DATE: 12/18/2024
PROJECT NO: 2305
PHASE:
PREPARED BY: EG
SCALE:

Sheet Title:

AGENCY
COMMUNICATION
CONT.

Sheet No.:

G011

SHEET NOTES - GROSS FLOOR AREA PLANS:

GENERAL NOTES:
1. GROSS FLOOR AREAS ARE SHOWN PER SF PLANNING SEC. 102 DEFINITIONS "GROSS FLOOR AREA"

Architect

SSDP

Saida + Sullivan Design Partners

44 GOUGH ST. SUITE 202
SAN FRANCISCO, CA 94103
T: 415.777.0991
F: 415.777.0992
www.saidasullivan.com

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Area Schedule		
Name	Area	Comments

BASEMENT		
ABANDONED	4031 SF	
CIRCULATION	102 SF	
EXTERIOR	241 SF	EXTERIOR
UTILITY / BACK OF HOUSE	296 SF	USF - SEE SFPL CODE SEC 102
VERTICAL CIRCULATION	97 SF	
	4766 SF	

GROUND FLOOR		
ABANDONED	90 SF	
OFFICE	935 SF	
RESIDENTIAL AMENITY	2794 SF	
UTILITY / BACK OF HOUSE	1683 SF	
VERTICAL CIRCULATION	234 SF	EXCLUDE EVTR GSF
	5737 SF	

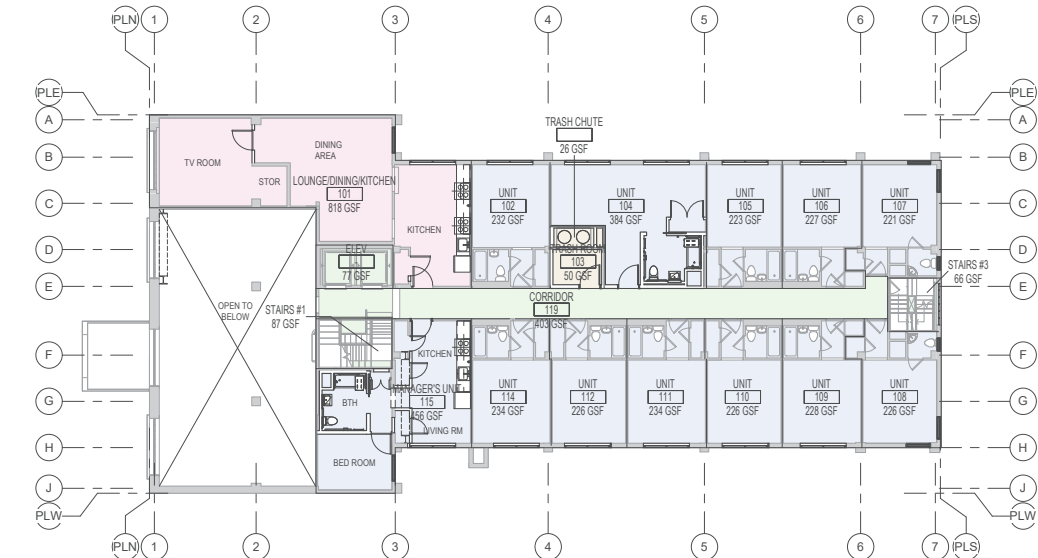
1ST FLOOR		
CIRCULATION	403 SF	
RESIDENTIAL	3117 SF	
RESIDENTIAL AMENITY	818 SF	
UTILITY / BACK OF HOUSE	77 SF	
VERTICAL CIRCULATION	230 SF	EXCLUDE EVTR GSF
	4645 SF	

TYP RESIDENTIAL FLOORS (2ND - 6TH)		
CIRCULATION	631 SF	
EXTERIOR	0 SF	
RESIDENTIAL	4759 SF	
UTILITY / BACK OF HOUSE	124 SF	
VERTICAL CIRCULATION	232 SF	
	5745 SF	

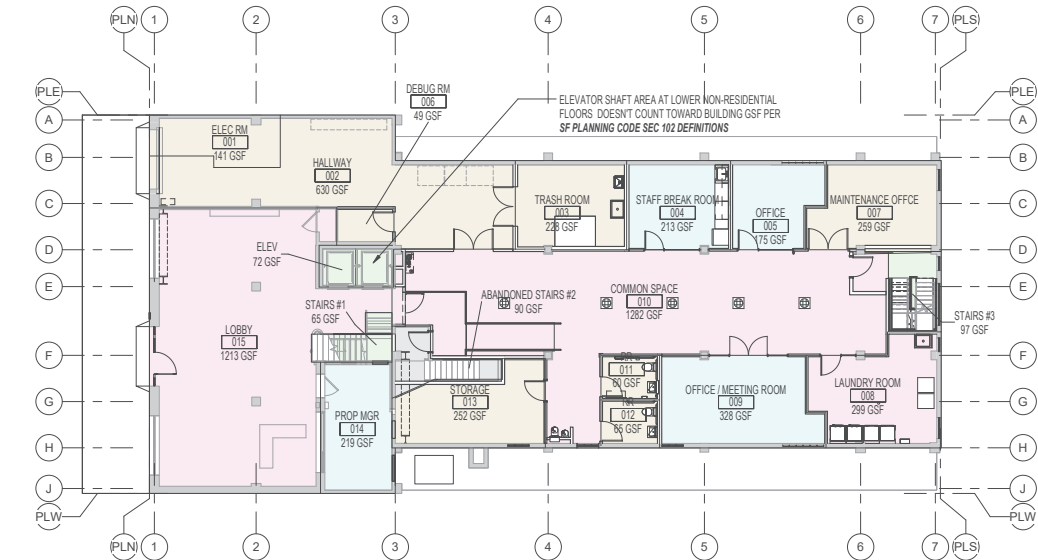
ROOF PENTHOUSE		
ROOF	6234 SF	EXTERIOR
UTILITY / BACK OF HOUSE	261 SF	USF - SEE SFPL CODE SEC 102
VERTICAL CIRCULATION	134 SF	USF - SEE SFPL CODE SEC 102
	6629 SF	

GRAND TOTAL AREA (SF) 44,295.93 GROSS SF

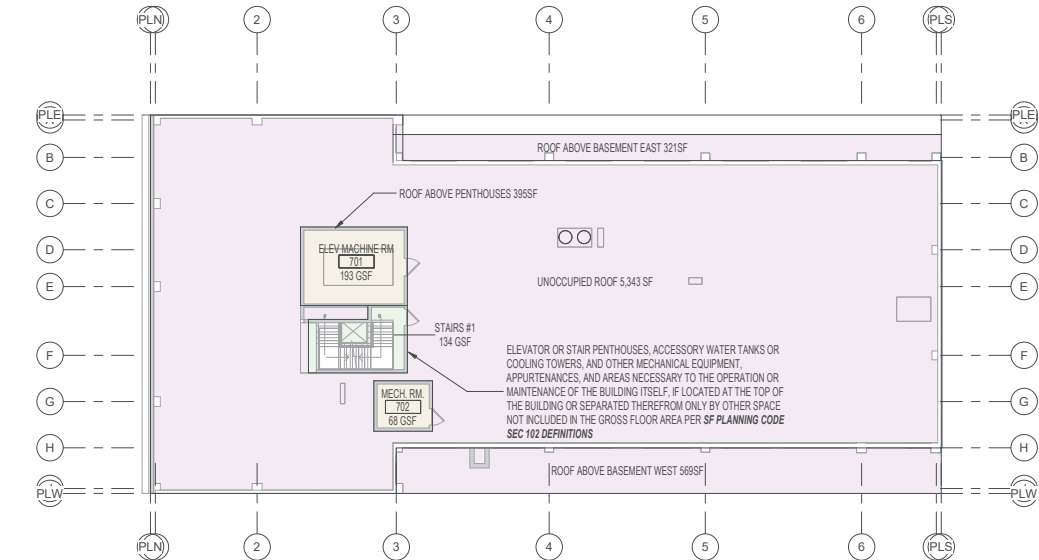
835 TURK STREET



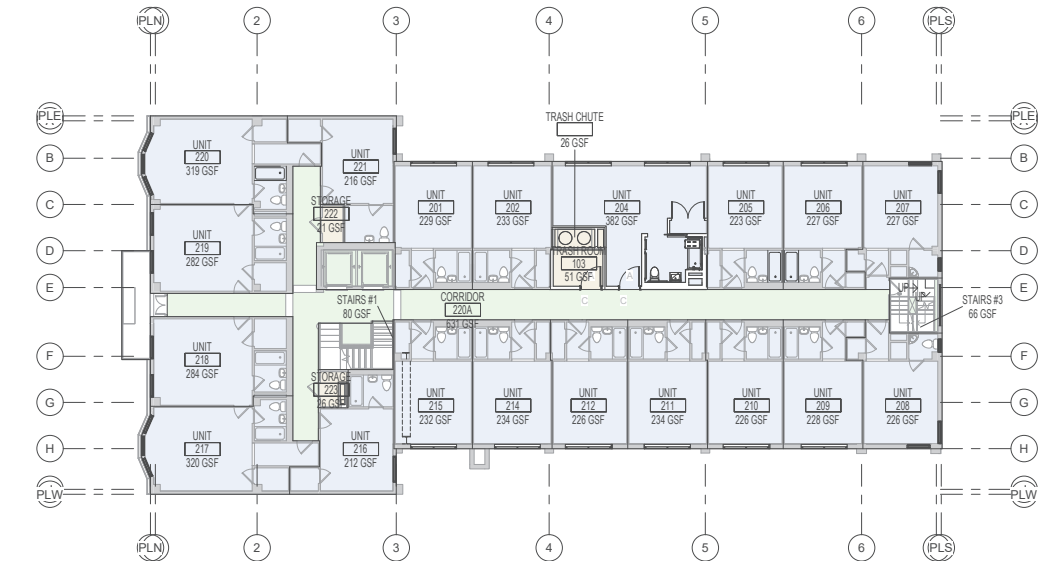
3 1ST UPPER FLOOR - GROSS FLOOR AREA DIAGRAM
G030 SCALE: 3/32" = 1'-0"



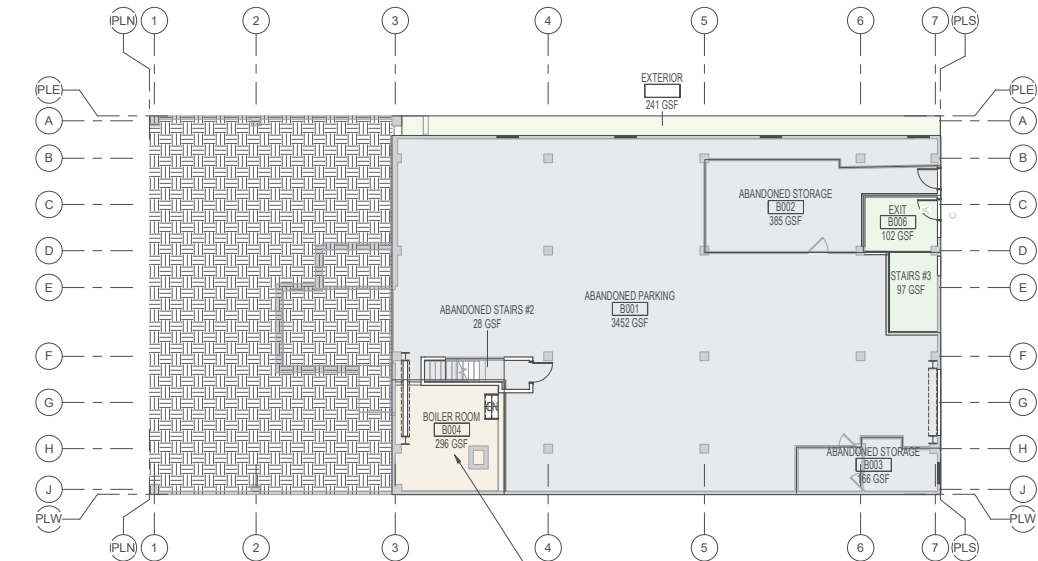
2 GROUND FLOOR - GROSS FLOOR AREA DIAGRAM
G030 SCALE: 3/32" = 1'-0"



5 ROOF PENTHOUSE - GROSS FLOOR AREA DIAGRAM
G030 SCALE: 3/32" = 1'-0"



4 2ND - 6TH FLOORS - GROSS FLOOR AREA DIAGRAM
G030 SCALE: 3/32" = 1'-0"



1 BASEMENT - GROSS FLOOR AREA DIAGRAM
G030 SCALE: 3/32" = 1'-0"

- ABANDONED
- CIRCULATION
- EXTERIOR
- OFFICE
- RESIDENTIAL
- RESIDENTIAL AMENITY
- ROOF
- UTILITY / BACK OF HOUSE
- VERTICAL CIRCULATION

ISSUE INFORMATION

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1 SF Planning 03.19.2025

PLOT DATE: 12/18/2024

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PREPARED BY: EG

SCALE: As indicated

Sheet Title:

GROSS FLOOR AREA DIAGRAMS

Sheet No.:

G030

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SHEET NOTES - GROSS FLOOR AREA PLANS:

GENERAL NOTES:
1. GROSS FLOOR AREAS ARE SHOWN PER SF PLANNING SEC. 102 DEFINITIONS "GROSS FLOOR AREA"

Architect

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LICENSED ARCHITECT

Stephen Anne Saida

C-25093

STATE OF CALIFORNIA

Project:

835 TURK STREET

ISSUE INFORMATION

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SF PLANNING APPLICATION		
03.19.2025		
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1	SF Planning	03.19.2025

PLOT DATE:	12/18/2024
PROJECT NO:	2305
PHASE:	
PREPARED BY:	EG
SCALE:	As indicated

Sheet Title:

EXISTING GROSS
FLOOR AREA
DIAGRAMS

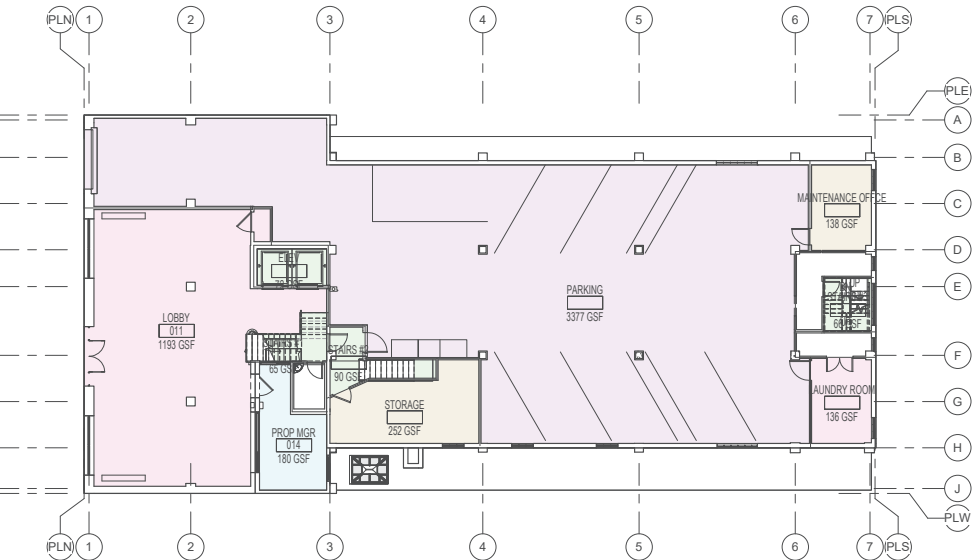
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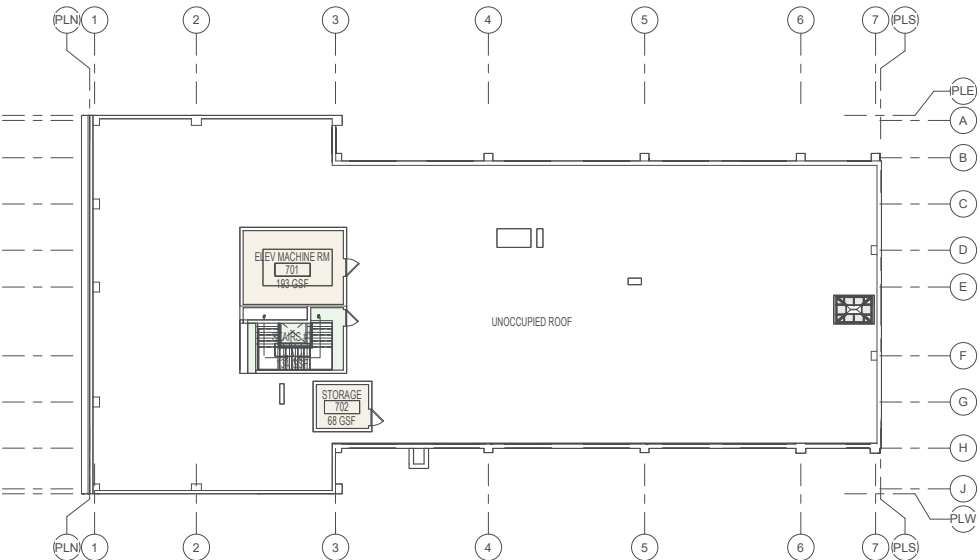
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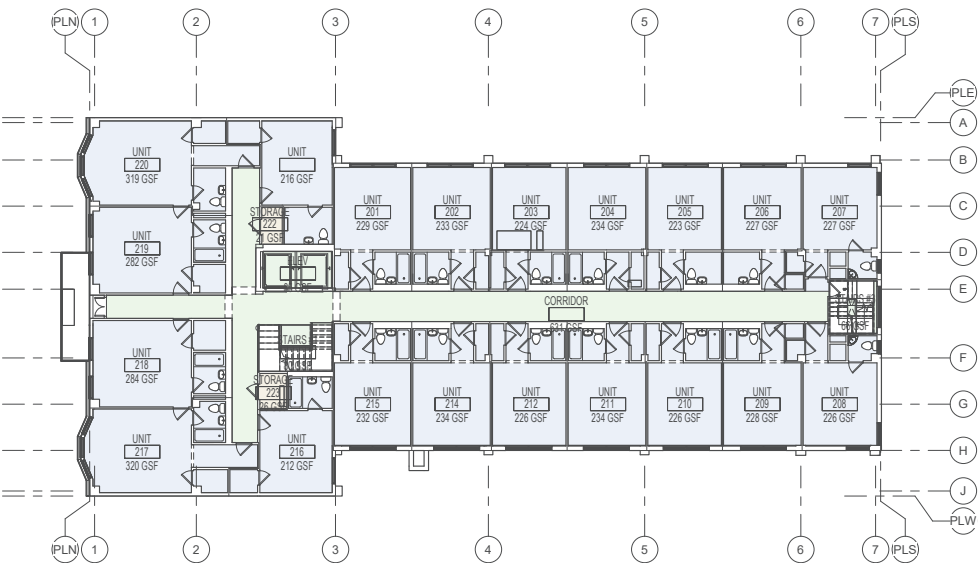
3 1ST-UPPER FLOOR - EXISTING GROSS FLOOR AREA PLAN
SCALE: 3/32" = 1'-0"



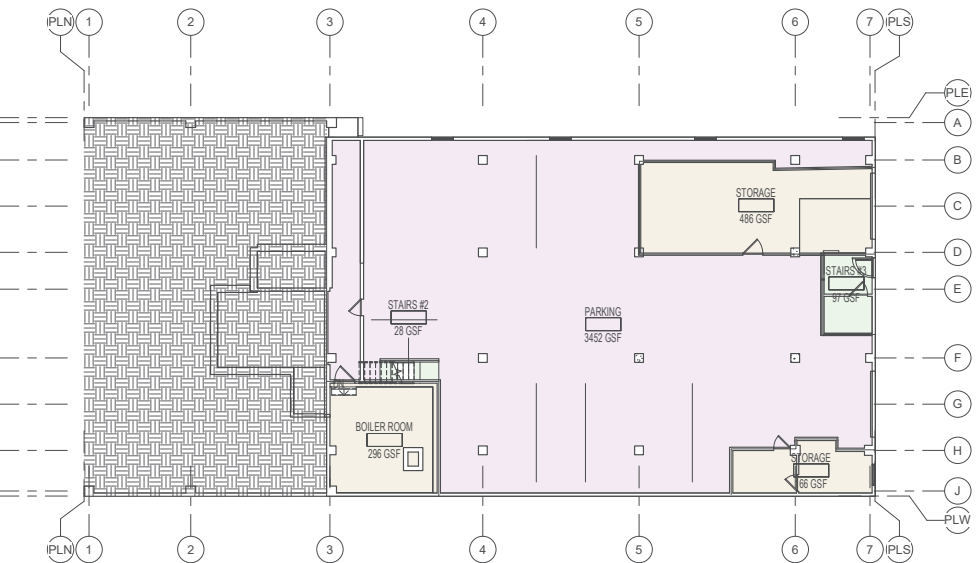
2 GROUND FLOOR - EXISTING GROSS FLOOR AREA DIAGRAM
SCALE: 3/32" = 1'-0"



5 ROOF - EXISTING GROSS FLOOR AREA PLAN
SCALE: 3/32" = 1'-0"

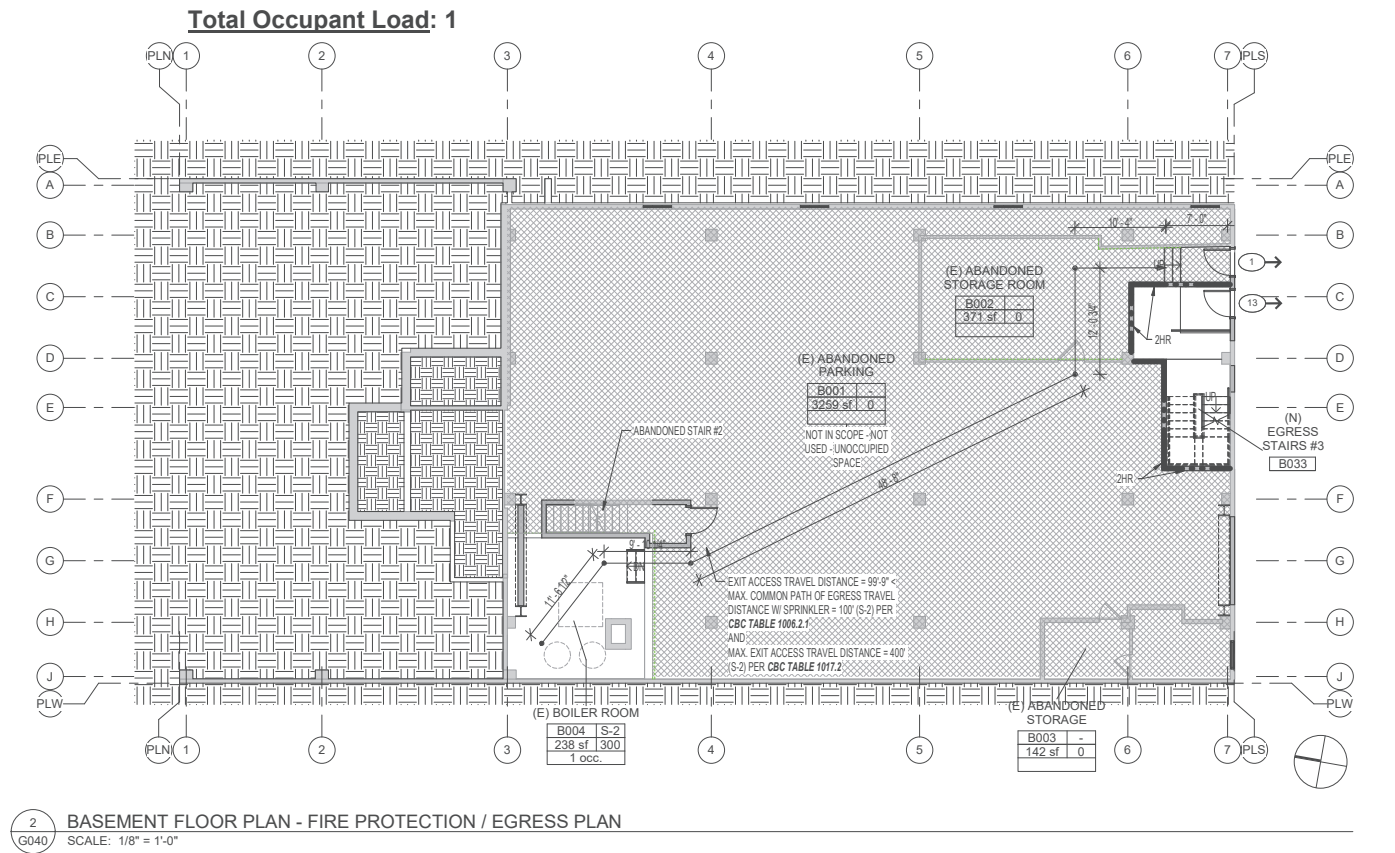
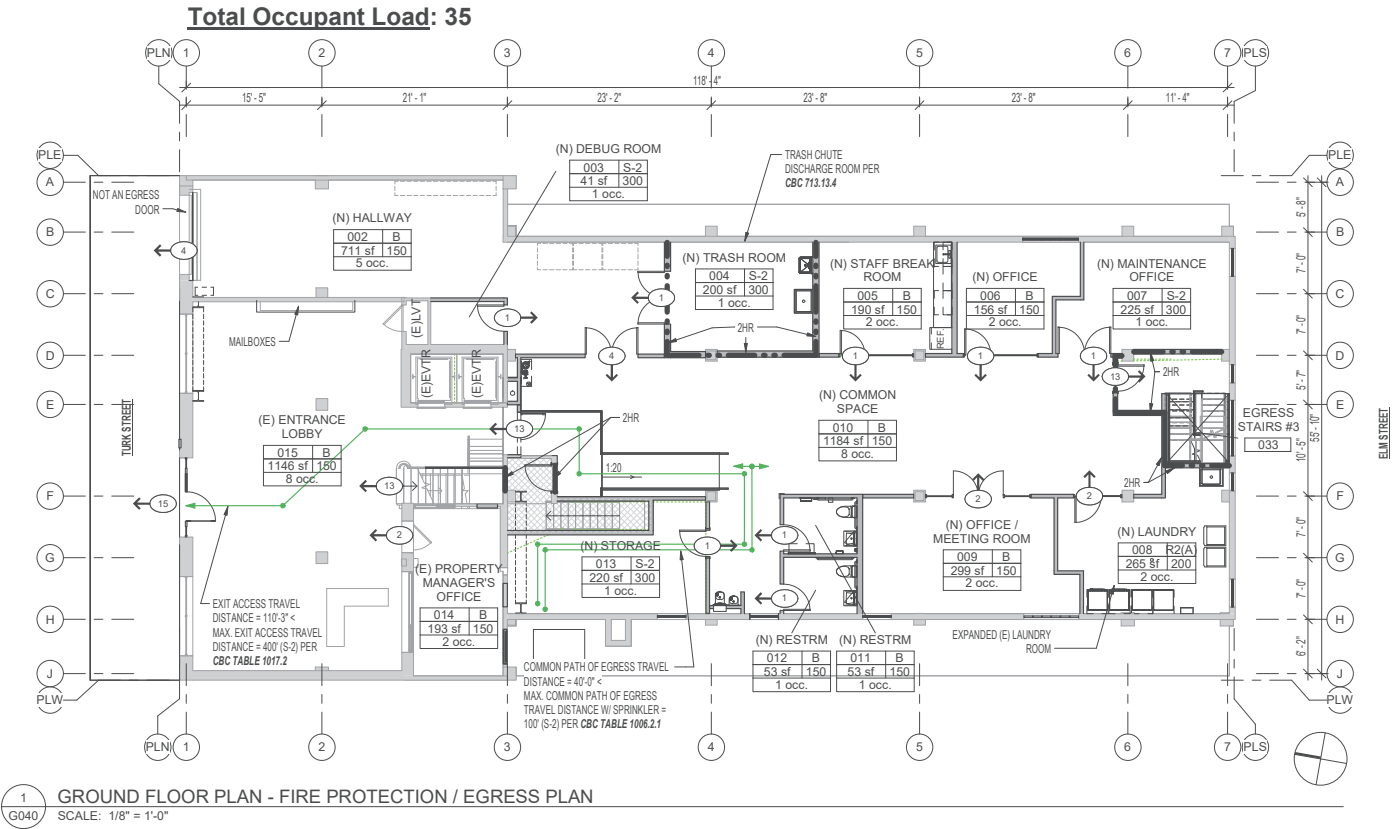


4 2ND UPPER FLOOR - EXISTING GROSS FLOOR AREA PLAN
SCALE: 3/32" = 1'-0"



1 BASEMENT - EXISTING GROSS FLOOR AREA PLAN
SCALE: 3/32" = 1'-0"

- ABANDONED
- CIRCULATION
- EXTERIOR
- OFFICE
- PARKING
- RESIDENTIAL
- RESIDENTIAL AMENITY
- UTILITY / BACK OF HOUSE
- VERTICAL CIRCULATION



EGRESS SHEET NOTES:

1. EXISTING WALLS / OPENINGS TO BE RETAINED AT FIRE PARTITIONS AND FIRE BARRIER LOCATIONS UNLESS OCCUPANCY TYPE CHANGES AT EITHER SIDE. (CEBC 302.3)
2. EXISTING MATERIALS TO BE RETAINED AS REPAIR WORK. (CEBC 302.3)
3. NEW & REPLACEMENT MATERIALS SHALL COMPLY WITH CURRENT CODE. (CEBC 302.4)
4. ROOF: UNOCCUPIED
5. ALL RE-200 SHAFTS 2-HOUR RATED PER CBC SECTION 713
6. FIRE SEPARATION REQUIREMENTS ARE SHOWN FOR (N) PARTITIONS ONLY. FIRE SEPARATION REQUIREMENTS FOR (E) PARTITIONS ARE NOT SHOWN.

OCCUPANCY:

PER CBC CHAPTER 3

OCCUPANT LOAD SCHEDULE - 01 GROUND LEVEL							
Level	Name	Number	Area	OCCUPANCY	OCCUPANT LOAD FACTOR	INT/EXT	OCCUPANT COUNT
GROUND FLOOR	(N) HALLWAY	002	711 SF				
GROUND FLOOR	(N) LAUNDRY	008	265 SF	R-2(A)	15	INTERIOR	18
GROUND FLOOR	(N) COMMON SPACE	010	1184 SF	A-3	15	INTERIOR	79
GROUND FLOOR	(E) ENTRANCE LOBBY	015	1146 SF	A-3	15	INTERIOR	77
GROUND FLOOR	(E) PROPERTY MANAGERS OFFICE	014	193 SF	B	100	INTERIOR	2
GROUND FLOOR	(N) STORAGE	013	220 SF	S-2	300	INTERIOR	1
GROUND FLOOR	(N) RESTRM	011	53 SF	R-2(A)	15	INTERIOR	4
GROUND FLOOR	(N) RESTRM	012	53 SF	R-2(A)	15	INTERIOR	4
GROUND FLOOR	(N) OFFICE / MEETING ROOM	009	299 SF	S-2	300	INTERIOR	1
GROUND FLOOR	(N) TRASH ROOM	004	200 SF	S-2	300	INTERIOR	1
GROUND FLOOR	(N) STAFF BREAK ROOM	005	190 SF	B	100	INTERIOR	2
GROUND FLOOR	(N) OFFICE	006	156 SF	B	100	INTERIOR	2
GROUND FLOOR	EGRESS STAIRS #3	033	115 SF	CIRC	0	INTERIOR	
GROUND FLOOR	(E) EVTR	44	28 SF	CIRC	0	INTERIOR	
GROUND FLOOR	(E) EVTR	45	30 SF	CIRC	0	INTERIOR	
GROUND FLOOR	(E) EVTR	46	12 SF	R-2(A)	15	INTERIOR	1
GROUND FLOOR	(N) MAINTENANCE OFFICE	007	225 SF	R-2(A)	15	INTERIOR	15
GROUND FLOOR	(N) DEBUG ROOM	003	41 SF	S-2	300	INTERIOR	1
GROUND FLOOR	(E) ABANDONED	032	74 SF	S-2	300	INTERIOR	1
			5196 SF				

EGRESS DIAGRAM LEGEND:

Room name	ROOM NAME
101 A	ROOM NUMBER / OCCUPANCY
150 SF LF	FLOOR AREA / ALLOWABLE AREA PER OCC.
# OCC.	OCCUPANT LOAD
---	PROPERTY LINE
---	PATH OF TRAVEL
10 →	CUMULATIVE # OCCUPANTS EXITING SPACE
E10 →	CUMULATIVE # OCCUPANTS TO EXIT
ED10 →	CUMULATIVE # OCCUPANTS TO EXIT DISCHARGE
---	1 HR FIRE RATED (N) CONSTRUCTION
---	2 HR FIRE RATED (N) CONSTRUCTION
---	(E) WALL TO REMAIN
---	(E) CONCRETE WALL TO REMAIN
---	(N) WALL
---	(N) CONCRETE WALL
TW	TWO-WAY COMMUNICATION DEVICE
---	AREA NOT IN ARCHITECTURAL SCOPE

OCCUPANT LOAD SCHEDULE - 00 BASEMENT							
Level	Name	Number	Area	OCCUPANCY	OCCUPANT LOAD FACTOR	INT/EXT	OCCUPANT COUNT
BASEMENT	(E) ABANDONED STORAGE ROOM	B002	371 SF	NA	0	INTERIOR	
BASEMENT	(E) ABANDONED PARKING	B001	3259 SF	NA	0	INTERIOR	
BASEMENT	(E) BOILER ROOM	B004	238 SF	S-2	300	INTERIOR	1
BASEMENT	(E) ABANDONED STORAGE	B003	142 SF	NA	0	INTERIOR	
BASEMENT	(N) EGRESS STAIRS #3	B033	178 SF	CIRC	0	INTERIOR	
			4187 SF				



Project:

835 TURK STREET

ISSUE INFORMATION

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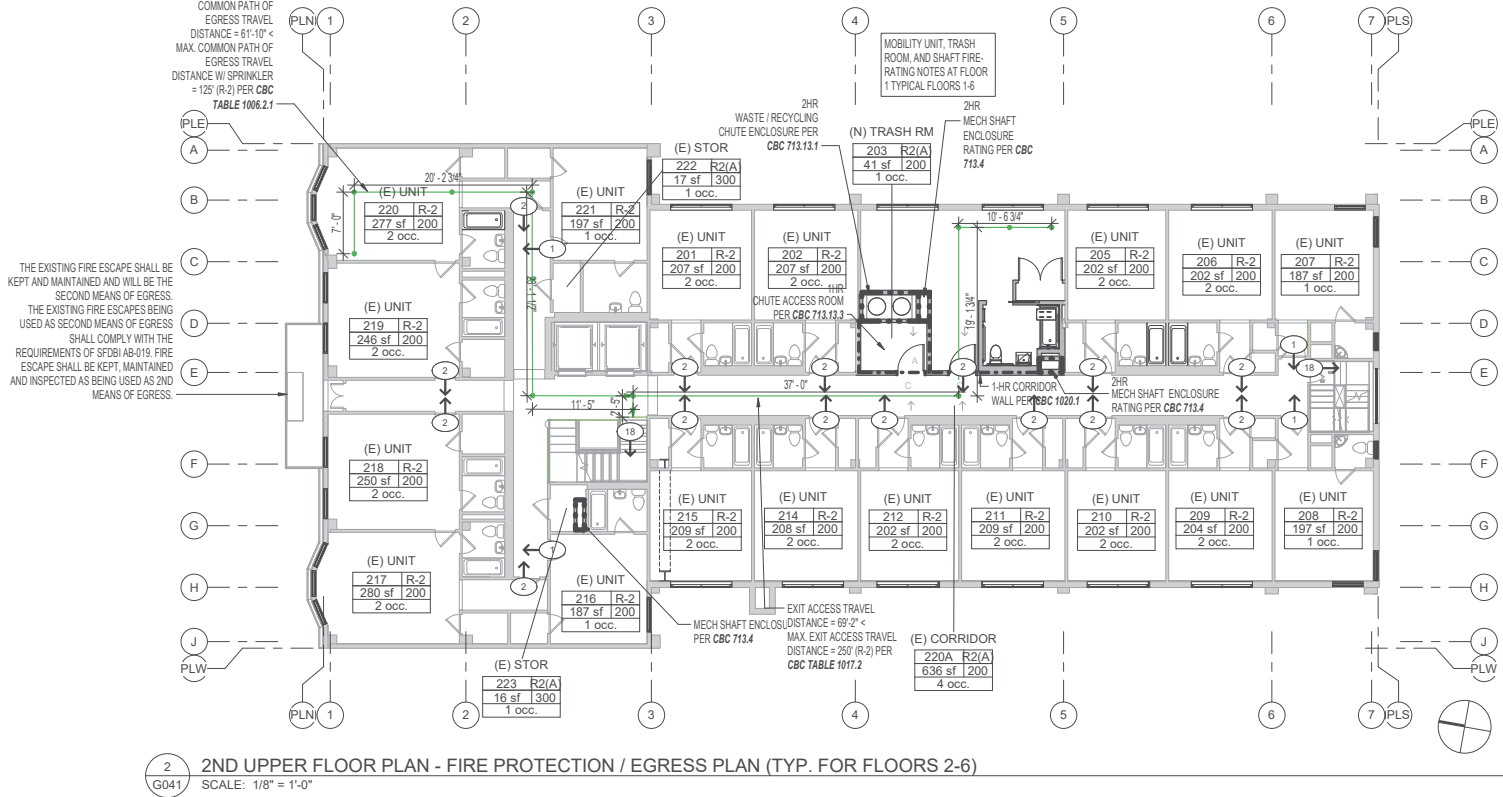
PLOT DATE:	12/18/2024
PROJECT NO:	2305
PHASE:	
PREPARED BY:	EG
SCALE:	As indicated

EGRESS DIAGRAMS

Sheet No.:

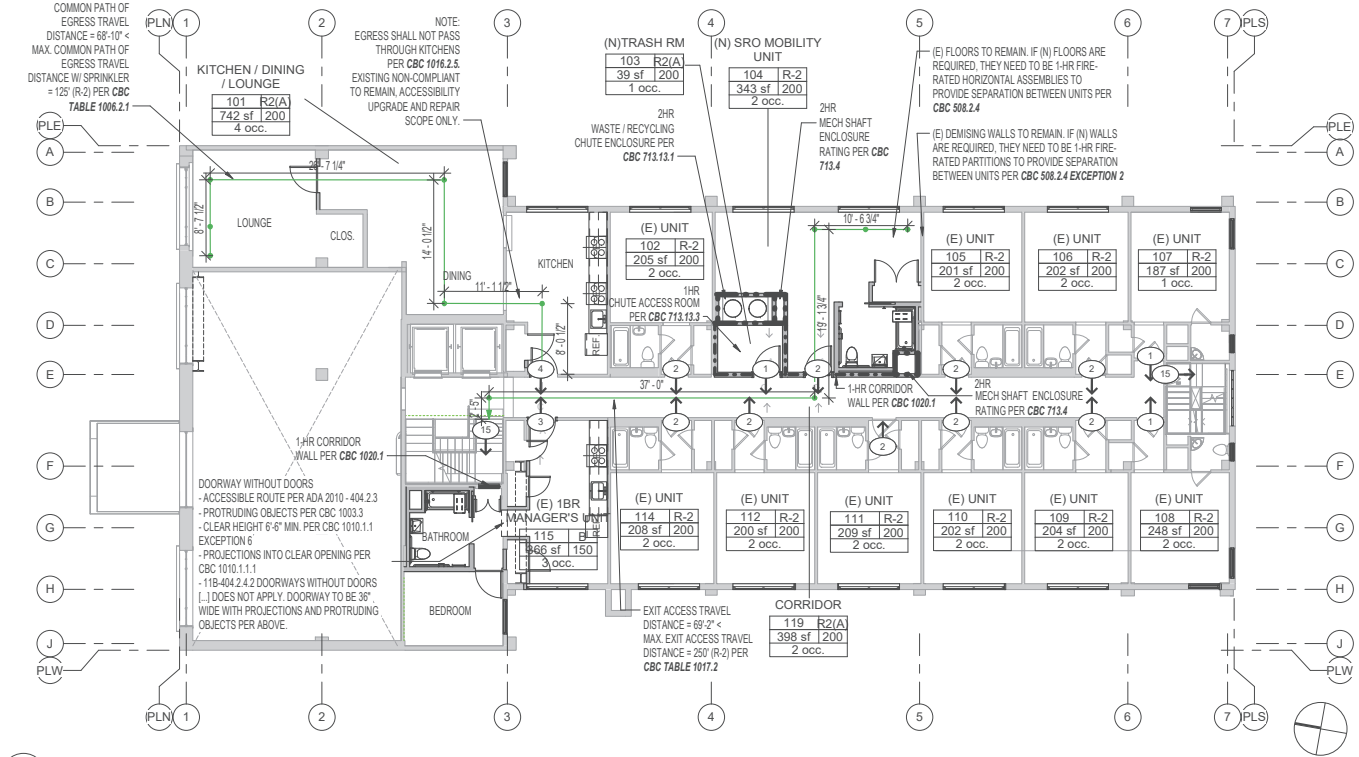
G040

Total Occupant Load: 41



2ND UPPER FLOOR PLAN - FIRE PROTECTION / EGRESS PLAN (TYP. FOR FLOORS 2-6)
SCALE: 1/8" = 1'-0"

Total Occupant Load: 30



1ST UPPER FLOOR PLAN - FIRE PROTECTION / EGRESS PLAN
SCALE: 1/8" = 1'-0"

EGRESS SHEET NOTES:

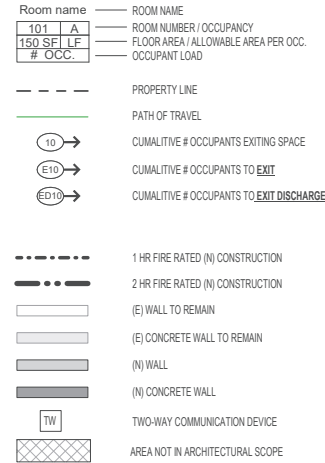
1. EXISTING WALLS / OPENINGS TO BE RETAINED AT FIRE PARTITIONS AND FIRE BARRIER LOCATIONS UNLESS OCCUPANCY TYPE CHANGES AT EITHER SIDE. (CEBC 302.3)
2. EXISTING MATERIALS TO BE RETAINED AS REPAIR WORK. (CEBC 302.3)
3. NEW & REPLACEMENT MATERIALS SHALL COMPLY WITH CURRENT CODE. (CEBC 302.4)
4. ROOF: UNOCCUPIED
5. ALL RECO SHAFTS 2-HOUR RATED PER CBC SECTION 713.
6. FIRE SEPARATION REQUIREMENTS ARE SHOWN FOR (N) PARTITIONS ONLY. FIRE SEPARATION REQUIREMENTS FOR (E) PARTITIONS ARE NOT SHOWN.

OCCUPANCY:

PER CBC CHAPTER 3

OCCUPANT LOAD SCHEDULE - 02 LEVEL 2-7						
Level	Name	Number	Area	OCCUPANCY	OCCUPANT LOAD FACTOR	INT/EXT
2ND UPPER FLOOR	(E) STOR	223	16 SF			
2ND UPPER FLOOR	(E) STOR	222	17 SF			
2ND UPPER FLOOR	(E) UNIT	205	202 SF	R-2	200	INTERIOR
2ND UPPER FLOOR	(E) UNIT	201	207 SF	R-2	200	INTERIOR
2ND UPPER FLOOR	(E) UNIT	208	197 SF	R-2	200	INTERIOR
2ND UPPER FLOOR	(E) UNIT	209	204 SF	R-2	200	INTERIOR
2ND UPPER FLOOR	(E) UNIT	210	202 SF	R-2	200	INTERIOR
2ND UPPER FLOOR	(E) UNIT	211	208 SF	R-2	200	INTERIOR
2ND UPPER FLOOR	(E) UNIT	212	202 SF	R-2	200	INTERIOR
2ND UPPER FLOOR	(E) UNIT	214	208 SF	R-2	200	INTERIOR
2ND UPPER FLOOR	(E) UNIT	215	208 SF	R-2	200	INTERIOR
2ND UPPER FLOOR	(E) UNIT	216	187 SF	R-2	200	INTERIOR
2ND UPPER FLOOR	(E) CORRIDOR	220A	636 SF	R-2(C)	0	INTERIOR
2ND UPPER FLOOR	(E) UNIT	220	277 SF	R-2	200	INTERIOR
2ND UPPER FLOOR	(E) UNIT	221	197 SF	R-2	200	INTERIOR
2ND UPPER FLOOR	(E) UNIT	219	246 SF	R-2	200	INTERIOR
2ND UPPER FLOOR	(E) UNIT	218	250 SF	R-2	200	INTERIOR
2ND UPPER FLOOR	(E) UNIT	217	280 SF	R-2	200	INTERIOR
2ND UPPER FLOOR	STAIRS	220	58 SF	CIRC	0	INTERIOR
2ND UPPER FLOOR	ELEVATORS	220	80 SF	CIRC	0	INTERIOR
2ND UPPER FLOOR	(N) EGRESS STAIRS #3	233	57 SF	CIRC	0	INTERIOR
2ND UPPER FLOOR	(N) TRASH RM	203	41 SF	S-2	300	INTERIOR
2ND UPPER FLOOR	(E) UNIT	206	202 SF	R-2	200	INTERIOR
2ND UPPER FLOOR	(E) UNIT	207	187 SF	R-2	200	INTERIOR
2ND UPPER FLOOR	(E) UNIT	202	207 SF	R-2	200	INTERIOR
2ND UPPER FLOOR	(N) SRO MOBILITY UNIT	204	338 SF	R-2	200	INTERIOR
			5117 SF			

EGRESS DIAGRAM LEGEND:



OCCUPANT LOAD SCHEDULE - 01 LEVEL 1						
Level	Name	Number	Area	OCCUPANCY	OCCUPANT LOAD FACTOR	INT/EXT
1ST-UPPER FLOOR	(E) UNIT	105	201 SF	R-2	200	INTERIOR
1ST-UPPER FLOOR	KITCHEN / DINING / LOUNGE	101	742 SF	R-2(A)	15	INTERIOR
1ST-UPPER FLOOR	(E) UNIT	102	205 SF	R-2	200	INTERIOR
1ST-UPPER FLOOR	(E) UNIT	110	202 SF	R-2	200	INTERIOR
1ST-UPPER FLOOR	(E) UNIT	109	204 SF	R-2	200	INTERIOR
1ST-UPPER FLOOR	(E) UNIT	108	248 SF	R-2	200	INTERIOR
1ST-UPPER FLOOR	(E) UNIT	111	209 SF	R-2	200	INTERIOR
1ST-UPPER FLOOR	(E) UNIT	112	200 SF	R-2	200	INTERIOR
1ST-UPPER FLOOR	(E) UNIT	114	208 SF	R-2	200	INTERIOR
1ST-UPPER FLOOR	(E) 1BR MANAGERS UNIT	115	366 SF	R-2	200	INTERIOR
1ST-UPPER FLOOR	CORRIDOR	119	398 SF	R-2(C)	0	INTERIOR
1ST-UPPER FLOOR	(E) EGRESS STAIRS #3	133	Redundant Room	CIRC	0	INTERIOR
1ST-UPPER FLOOR	(E) ELEVATORS	220G	31 SF	CIRC	0	INTERIOR
1ST-UPPER FLOOR	(E) STAIRS	220H	86 SF	CIRC	0	INTERIOR
1ST-UPPER FLOOR	(N) SRO MOBILITY UNIT	104	343 SF	R-2	200	INTERIOR
1ST-UPPER FLOOR	(N) TRASH RM	103	39 SF	S-2	300	INTERIOR
1ST-UPPER FLOOR	(E) UNIT	106	202 SF	R-2	200	INTERIOR
1ST-UPPER FLOOR	(E) UNIT	107	187 SF	R-2	200	INTERIOR
			4075 SF			



Project:

835 TURK STREET

ISSUE INFORMATION

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SCALE: As indicated

Sheet Title:

EGRESS DIAGRAMS

Sheet No.:

G041



LOBBY - MAILBOXES



LOBBY - FRONT DESK



LOBBY - STOREFRONT



LOBBY - MAIN ENTRANCE



LOBBY - VIEW FROM FRONT DOOR

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ROOF - FIRE WATER ASSEMBLY



ROOF - EXISTING SCUPPER



ROOF - SKYLIGHT ABOVE STAIR AT ELM STREET



ROOF - VIEW TOWARD TURK STREET



ROOF - VIEW TOWARD ELM STREET



TYPICAL WINDOWS @ TURK STREET



TYPICAL STEEL WINDOW



TYPICAL WINDOW @ EAST / WEST FACADE



TOP FLOOR WINDOW



STOREFRONT WINDOW



TURK STREET - FIRE ESCAPE



TURK STREET - LOBBY MAIN ENTRANCE



ELM STREET - WEST



VIEW FROM ELM STREET



VIEW FROM TURK STREET

Project:
835 TURK STREET

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SITE PHOTOS
Sheet No.:
G080
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UNIT 618



UNIT 605



UNIT 617



UNIT 617



UNIT 617

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COMMON SPACES - TV LOUNGE



COMMON SPACES - LOUNGE



COMMON SPACES - LOUNGE



COMMON SPACES - KITCHEN



COMMON SPACES - KITCHEN



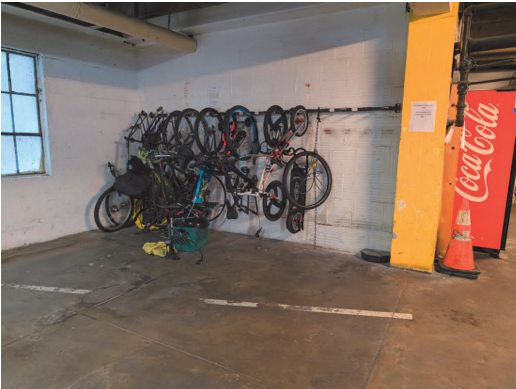
GROUND FLOOR LAUNDRY ROOM



GROUND FLOOR LAUNDRY ROOM



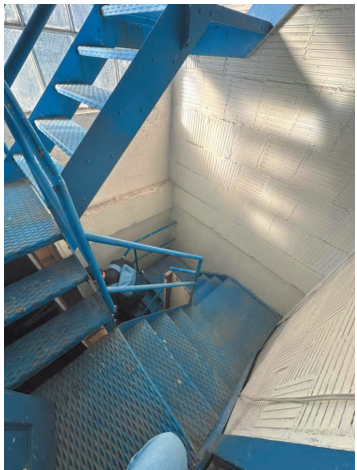
GROUND FLOOR - FIRE WATER ASSEMBLY



GROUND FLOOR - BICYCLE RACK



GROUND FLOOR - GARAGE



EGRESS STAIR AT ELM STREET



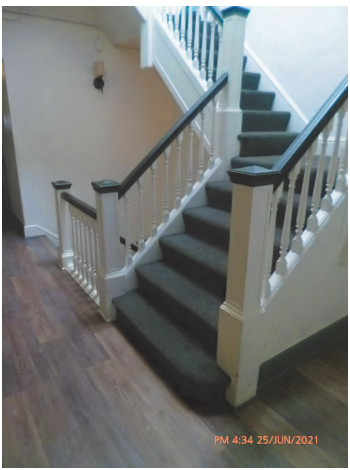
ELEVATOR



CORRIDOR - VIEW TOWARD TURK STREET



MAIN STAIR



MAIN STAIR

835 TURK STREET

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PREPARED BY:	EG
SCALE:	

SITE PHOTOS

Sheet No.:
G081
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TITLE REPORT

THE TITLE REPORT USED IN THIS SURVEY WAS ISSUED BY CHICAGO TITLE COMPANY, TITLE ORDER NO. FWP-3552101685-JM, DATED FEBRUARY 11, 2022 AT 7:30 AM, REFERRED TO HEREON AS THE "PTR".

TITLE TO SAID ESTATE IS VESTED IN:

VSSF ASSOCIATES, LLC, A CALIFORNIA LIMITED LIABILITY COMPANY

THE ESTATE OR INTEREST IN THE LAND IS:

A FEE

LEGAL DESCRIPTION

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE CITY OF SAN FRANCISCO, COUNTY OF SAN FRANCISCO, STATE OF CALIFORNIA AND IS DESCRIBED AS FOLLOWS:

PARCEL I:

BEGINNING AT A POINT ON THE SOUTHERLY LINE OF TURK STREET, DISTANT SOUTH 80° 55' 55" WEST THEREON 137.50 FEET FROM THE WESTERLY LINE OF FRANKLIN STREET; RUNNING THENCE SOUTH 80° 55' 55" WEST ALONG THE SAID LINE OF TURK STREET 57.76 FEET; THENCE AT A RIGHT ANGLE SOUTH 9° 05' EAST 120 FEET TO THE NORTHERLY LINE OF ELM STREET; THENCE NORTH 80° 55' EAST ALONG THE SAID LINE OF ELM STREET 57.50 FEET; THENCE NORTH 9° 05' WEST 120 FEET TO THE POINT OF BEGINNING.

BEING A PORTION OF WESTERN ADDITION BLOCK NO. 135.

PARCEL II:

TOGETHER WITH AND AS AN APPURTENANCE, THERETO, A PERPETUAL EASEMENT FOR LIGHT AND AIR, OVER AND ALONG THE REAL PROPERTY DESCRIBED AT A LEVEL ABOVE 15 FEET IN HEIGHT FROM THE LEVEL OF TURK STREET, A PRESENTLY CONSTITUTED, AS PROVIDED FOR IN THE FINAL ORDER AND DECREE OF CONDEMNATION HAD IN SUPERIOR COURT ACTION NO. 404493 ENTITLED, "STATE OF CALIFORNIA VS. FRED J. E. MEYER, ET AL.", A CERTIFIED COPY OF WHICH DECREE WAS RECORDED JULY 30, 1952, IN BOOK 5974, AT PAGE 102 OF OFFICIAL RECORDS, SERIES NO. 6660, TO WIT:

BEGINNING AT A POINT ON THE SOUTHERLY LINE OF TURK STREET, DISTANT THEREON 100 FEET WESTERLY FROM THE WESTERLY LINE OF FRANKLIN STREET; RUNNING THENCE WESTERLY ALONG THE SAID LINE OF TURK STREET 37 FEET 6 INCHES; THENCE AT A RIGHT ANGLE SOUTHERLY 120 FEET TO THE NORTHERLY LINE OF ELM STREET; THENCE AT A RIGHT ANGLE EASTERLY ALONG THE SAID LINE OF ELM STREET 37 FEET 6 INCHES; THENCE AT A RIGHT ANGLE NORTHERLY 120 FEET TO THE POINT OF BEGINNING.

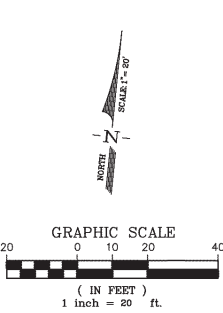
BEING PART OF WESTERN ADDITION BLOCK NO. 135.

EXCEPTIONS

- THE HEREIN DESCRIBED PROPERTY LIES WITHIN THE BOUNDARIES OF A MELLO ROOS COMMUNITY FACILITIES DISTRICT ("OFD"), CTD NO 90 1, FOR SCHOOL FACILITY REPAIR AND MAINTENANCE, DISCLOSED BY NOTICE OF SPECIAL TAX LIEN RECORDED JULY 5, 1990 IN BOOK F160, PAGE 1044 AND BY SUPPLEMENTAL NOTICE OF SPECIAL TAX LIEN RECORDED JULY 11, 1990, IN BOOK F165, PAGE 1 ET. SEQ., OFFICIAL RECORDS OF THE CITY AND COUNTY OF SAN FRANCISCO (EXC. 5 - NOT PLOTTABLE).
- A NOTICE THAT SAID LAND IS INCLUDED WITHIN A PROJECT AREA OF THE REDEVELOPMENT AGENCY SHOWN BELOW, AND THAT PROCEEDINGS FOR THE REDEVELOPMENT OF SAID PROJECT HAVE BEEN INSTITUTED UNDER THE REDEVELOPMENT LAW (SUCH REDEVELOPMENT TO PROCEED ONLY AFTER THE ADOPTION OF THE REDEVELOPMENT PLAN) AS DISCLOSED BY A DOCUMENT, RECORDING DATE JULY 21, 1966, RECORDING NO. P03935, OF OFFICIAL RECORDS, REDEVELOPMENT AGENCY WESTERN ADDITION APPROVED REDEVELOPMENT PROJECT AREA 4-2, AND RECORDED AUGUST 24, 1976, BOOK C222, PAGE 190, OF OFFICIAL RECORDS, MODIFICATION OF SAID PLAN FILED IN THE OFFICE OF THE RECORDER OF THE CITY AND COUNTY OF SAN FRANCISCO NOVEMBER 23, 1970, SERIES NO. 26263, OF OFFICIAL RECORDS, AND RECORDED AUGUST 24, 1976, BOOK C222, PAGE 220, OF OFFICIAL RECORDS, MODIFICATION OF SAID PLAN FILED IN THE OFFICE OF THE RECORDER OF THE CITY AND COUNTY OF SAN FRANCISCO AUGUST 13, 1976, AS INSTRUMENT NO. 14621, OF OFFICIAL RECORDS, AND RECORDED AUGUST 24, 1976, BOOK C222, PAGE 86, OF OFFICIAL RECORDS, MODIFICATIONS OF SAID PLAN FILED IN THE OFFICE OF THE RECORDER OF THE CITY AND COUNTY OF SAN FRANCISCO JANUARY 19, 1988 AS INSTRUMENT NO. E117917, OF OFFICIAL RECORDS AND INSTRUMENT NO. E117918, OF OFFICIAL RECORDS, MODIFICATION OF SAID PLAN RECORDED NOVEMBER 3, 1992, INSTRUMENT NO. F237135, BOOK F747, PAGE 639, OF OFFICIAL RECORDS, MODIFICATION OF SAID PLAN RECORDED JULY 17, 1995, INSTRUMENT NO. F816260, BOOK G424, PAGE 152, OF OFFICIAL RECORDS (EXC. 6 - NOT PLOTTABLE).
- STATUTORY STATEMENT RE: REDEVELOPMENT, PURSUANT TO HEALTH AND SAFETY CODE SECTION 33373, RECORDED JULY 21, 1966, BOOK B66, PAGE 346, OF OFFICIAL RECORDS (EXC. 7 - NOT PLOTTABLE).
- COVENANTS, CONDITIONS AND RESTRICTIONS, AS SET FORTH IN THE DOCUMENT RECORDING DATE DECEMBER 13, 1996, RECORDING NO. BOOK B103, PAGE 216, OF OFFICIAL RECORDS, SAID COVENANTS, CONDITIONS AND RESTRICTIONS PROVIDE THAT A VIOLATION THEREOF SHALL NOT DEFEAT THE LIEN OF ANY MORTGAGE OR DEED OF TRUST MADE IN GOOD FAITH AND FOR VALUE (EXC. 8 - NOT PLOTTABLE).

NOTES

- DATE OF FIELD SURVEY: NOVEMBER 5, 2021, NOVEMBER 22, 2023 AND AUGUST 23, 2024 AS TO THE BOUNDARY AND TOPOGRAPHIC SURVEY OF THE SUBJECT PROPERTY.
- THE UTILITIES SHOWN HEREON ARE BY SURFACE OBSERVATION AND RECORD INFORMATION ONLY AND NO WARRANTY IS GIVEN HEREIN AS TO THEIR EXACT LOCATION. IT IS THE RESPONSIBILITY OF THE DEVELOPER AND/OR CONTRACTOR TO VERIFY THE EXACT LOCATION OF THE UTILITIES WITH THE APPROPRIATE UTILITY COMPANY OR AGENCY.
- UTILITY JURISDICTIONS / PROVIDERS ARE AS FOLLOWS:
STORM DRAINS: CITY AND COUNTY OF SAN FRANCISCO
SANITARY SEWER: CITY AND COUNTY OF SAN FRANCISCO
WATER: CITY AND COUNTY OF SAN FRANCISCO
ELECTRICITY: PACIFIC GAS & ELECTRIC COMPANY
NATURAL GAS: PACIFIC GAS & ELECTRIC COMPANY
- THERE ARE NO CEMETERIES ON OR WITHIN 100 FEET OF THE SUBJECT PROPERTY
- THE SURVEYED PROPERTY IS THE SAME PROPERTY DESCRIBED IN THE TITLE REPORT.
- THERE ARE NO WETLAND AREAS IN THE SUBJECT PROPERTY.
- THERE IS NO EVIDENCE OF SITE USE AS A SOLID WASTE DUMP, SLUMP OR SANITARY LANDFILL.
- ALL DISTANCES AND DIMENSIONS WITHIN THIS DRAWING ARE BASED ON THE U.S. SURVEY FOOT AND DECIMALS THEREOF.



SYMBOLS	DESCRIPTION
---	BOUNDARY - SUBJECT PROPERTY
---	RIGHT-OF-WAY LINE
---	ADJOINERS PROPERTY LINE
---	TIE LINE
---	MONUMENT LINE
---	EASEMENT LINE
S.F.	SQUARE FEET
±	MORE OR LESS
APN	ASSESSOR'S PARCEL NUMBER
R/W	RIGHT OF WAY
COR.	CORNER
STY	STORY
MK	MARK
APN	ASSESSOR'S PARCEL NUMBER
PTR	PRELIMINARY TITLE REPORT
(T)	TOTAL
DOC. NO.	DOCUMENT NUMBER
M.M.	MONUMENT TO MONUMENT
MEAS.	MEASURED
(60' 7/8")	RECORD DISTANCE

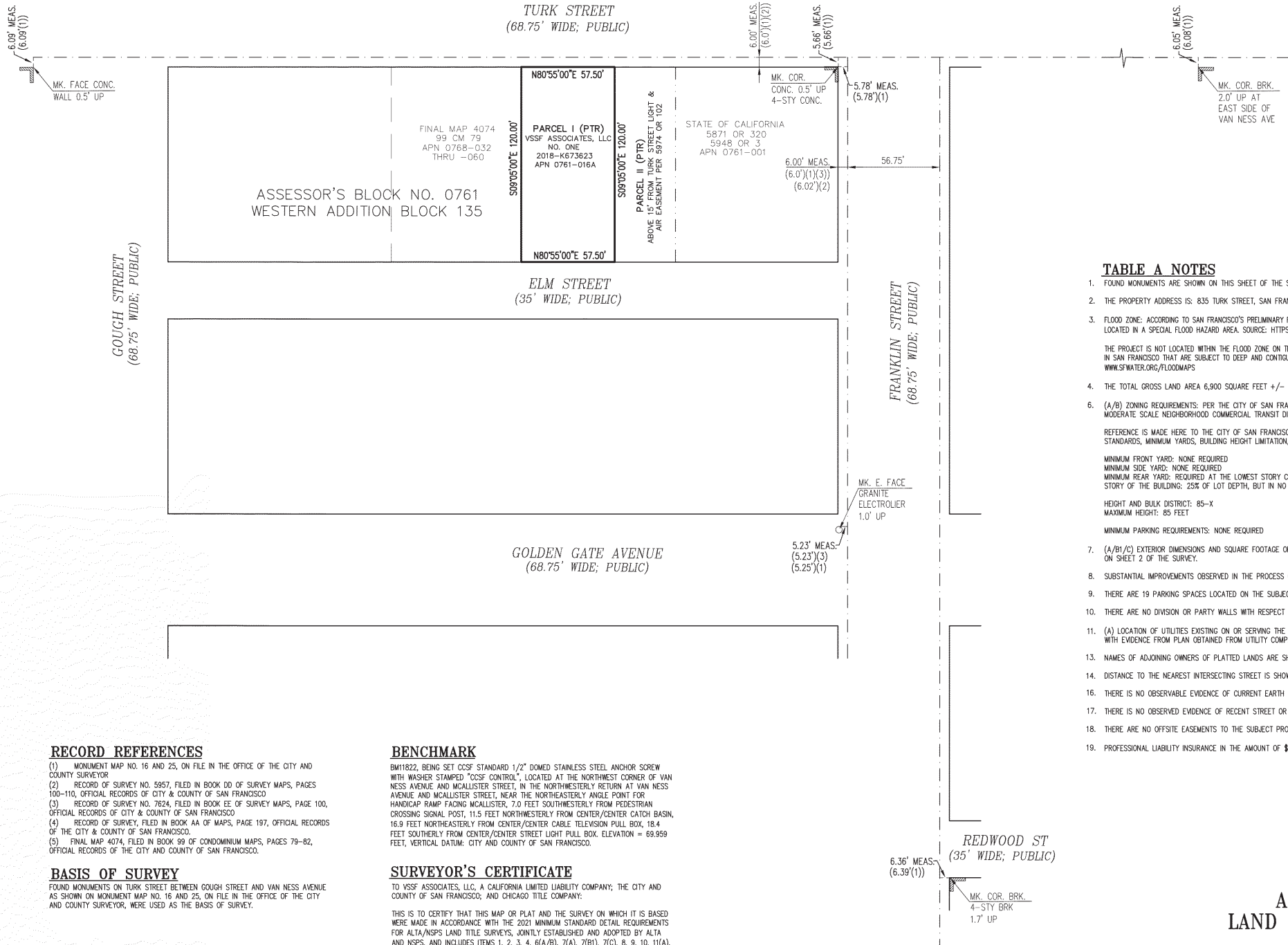


TABLE A NOTES

- FOUND MONUMENTS ARE SHOWN ON THIS SHEET OF THE SURVEY.
- THE PROPERTY ADDRESS IS: 835 TURK STREET, SAN FRANCISCO, CA
- FLOOD ZONE: ACCORDING TO SAN FRANCISCO'S PRELIMINARY FLOODPLAINS MAP, DATED NOVEMBER 12, 2015, THE PROPERTY IS NOT LOCATED IN A SPECIAL FLOOD HAZARD AREA. SOURCE: [HTTPS://SFGSA.ORG/SAN-FRANCISCO-FLOODPLAIN-MANAGEMENT-PROGRAM](https://sfgsa.org/san-francisco-floodplain-management-program)

THE PROJECT IS NOT LOCATED WITHIN THE FLOOD ZONE ON THE SFPUC'S 100 YEAR-STORM FLOOD ZONE MAP, WHICH SHOWS PROPERTIES IN SAN FRANCISCO THAT ARE SUBJECT TO DEEP AND CONTIGUOUS FLOODING DURING A 100-YEAR STORM, DATED JULY 2019. SOURCE: WWW.SFWATER.ORG/FLOODMAPS
- THE TOTAL GROSS LAND AREA 6,900 SQUARE FEET +/- OR 0.158 ACRES MORE OR LESS
- (A/B) ZONING REQUIREMENTS: PER THE CITY OF SAN FRANCISCO PLANNING AND DEVELOPMENT, THE PROPERTY IS ZONED NCT-3 MODERATE SCALE NEIGHBORHOOD COMMERCIAL TRANSIT DISTRICT.

REFERENCE IS MADE HERE TO THE CITY OF SAN FRANCISCO ZONING CODE, SECTION 752, REGARDING PROPERTY DEVELOPMENT STANDARDS, MINIMUM YARDS, BUILDING HEIGHT LIMITATION, BUILDING SETBACK REQUIREMENTS ARE AS FOLLOWS:

MINIMUM FRONT YARD: NONE REQUIRED
MINIMUM SIDE YARD: NONE REQUIRED
MINIMUM REAR YARD: REQUIRED AT THE LOWEST STORY CONTAINING A DWELLING UNIT AND AT EACH SUCCEEDING LEVEL OR STORY OF THE BUILDING: 25% OF LOT DEPTH, BUT IN NO CASE LESS THAN 15 FEET.

HEIGHT AND BULK DISTRICT: 85-X
MAXIMUM HEIGHT: 85 FEET

MINIMUM PARKING REQUIREMENTS: NONE REQUIRED
- (A/B1/C) EXTERIOR DIMENSIONS AND SQUARE FOOTAGE OF BUILDINGS AT GROUND LEVEL, AND NUMBER OF STORIES ARE SHOWN ON SHEET 2 OF THE SURVEY.
- SUBSTANTIAL IMPROVEMENTS OBSERVED IN THE PROCESS OF CONDUCTING THE SURVEY ARE SHOWN.
- THERE ARE 19 PARKING SPACES LOCATED ON THE SUBJECT PROPERTY, INSIDE BUILDING GARAGE.
- THERE ARE NO DIVISION OR PARTY WALLS WITH RESPECT TO ADJOINING PROPERTIES.
- (A) LOCATION OF UTILITIES EXISTING ON OR SERVING THE SURVEYED PROPERTY AS DETERMINED BY OBSERVED EVIDENCE TOGETHER WITH EVIDENCE FROM PLAN OBTAINED FROM UTILITY COMPANIES OR PROVIDED BY CLIENT ARE SHOWN ON SHEET 2.
- NAMES OF ADJOINING OWNERS OF PLATTED LANDS ARE SHOWN ON THIS SHEET OF THE SURVEY.
- DISTANCE TO THE NEAREST INTERSECTING STREET IS SHOWN ON THIS SHEET OF THE SURVEY.
- THERE IS NO OBSERVABLE EVIDENCE OF CURRENT EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS.
- THERE IS NO OBSERVED EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS.
- THERE ARE NO OFFSITE EASEMENTS TO THE SUBJECT PROPERTY.
- PROFESSIONAL LIABILITY INSURANCE IN THE AMOUNT OF \$2,000,000 IS HELD BY THE SURVEYOR.

RECORD REFERENCES

- MONUMENT MAP NO. 16 AND 25, ON FILE IN THE OFFICE OF THE CITY AND COUNTY SURVEYOR
- RECORD OF SURVEY NO. 5957, FILED IN BOOK DO OF SURVEY MAPS, PAGES 100-110, OFFICIAL RECORDS OF CITY & COUNTY OF SAN FRANCISCO
- RECORD OF SURVEY NO. 7824, FILED IN BOOK EE OF SURVEY MAPS, PAGE 100, OFFICIAL RECORDS OF CITY & COUNTY OF SAN FRANCISCO
- RECORD OF SURVEY, FILED IN BOOK AA OF MAPS, PAGE 197, OFFICIAL RECORDS OF THE CITY & COUNTY OF SAN FRANCISCO.
- FINAL MAP 4074, FILED IN BOOK 99 OF CONDOMINIUM MAPS, PAGES 79-82, OFFICIAL RECORDS OF THE CITY AND COUNTY OF SAN FRANCISCO.

BASIS OF SURVEY

FOUND MONUMENTS ON TURK STREET BETWEEN GOUGH STREET AND VAN NESS AVENUE AS SHOWN ON MONUMENT MAP NO. 16 AND 25, ON FILE IN THE OFFICE OF THE CITY AND COUNTY SURVEYOR, WERE USED AS THE BASIS OF SURVEY.

BENCHMARK

BM11822, BEING SET CDSF STANDARD 1/2" DOMED STAINLESS STEEL ANCHOR SCREW WITH WASHER STAMPED "CDSF CONTROL", LOCATED AT THE NORTHWEST CORNER OF VAN NESS AVENUE AND MCALLISTER STREET, IN THE NORTHWESTERLY RETURN AT VAN NESS AVENUE AND MCALLISTER STREET, NEAR THE NORTHEASTERLY ANGLE POINT FOR HANDICAP RAMP FACING MCALLISTER, 7.0 FEET SOUTHWESTERLY FROM PEDESTRIAN CROSSING SIGNAL POST, 11.5 FEET NORTHWESTERLY FROM CENTER/CENTER CATCH BASIN, 16.9 FEET NORTHEASTERLY FROM CENTER/CENTER CABLE TELEVISION PULL BOX, 18.4 FEET SOUTHERLY FROM CENTER/CENTER STREET LIGHT PULL BOX. ELEVATION = 89.959 FEET, VERTICAL DATUM: CITY AND COUNTY OF SAN FRANCISCO.

SURVEYOR'S CERTIFICATE

TO VSSF ASSOCIATES, LLC, A CALIFORNIA LIMITED LIABILITY COMPANY; THE CITY AND COUNTY OF SAN FRANCISCO; AND CHICAGO TITLE COMPANY:

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 6(A/B), 7(A), 7(B1), 7(C), 8, 9, 10, 11(A), 13, 14, 16, 17, 18, AND 19 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON NOVEMBER 5, 2021, NOVEMBER 22, 2023 AND AUGUST 23, 2024.

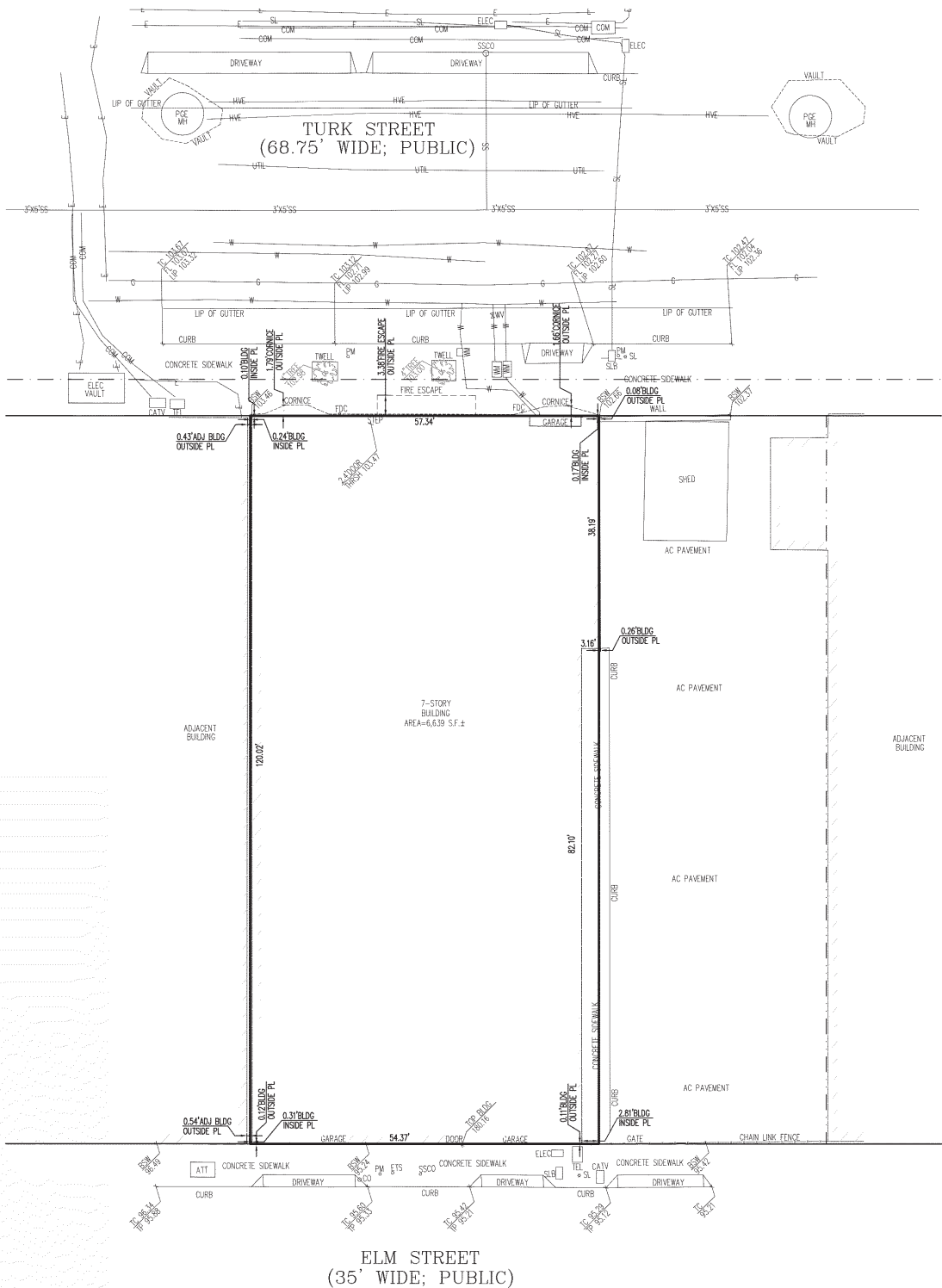
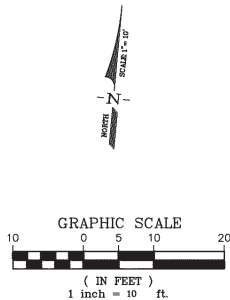
JACQUELINE LUK
FOR LUK & ASSOCIATES, INC.

DATE AUGUST 28, 2024



ALTA/NSPS
LAND TITLE SURVEY

OF
835 TURK STREET
CITY AND COUNTY OF SAN FRANCISCO, CALIFORNIA
AUGUST 2024
PREPARED BY
LUK AND ASSOCIATES
CIVIL ENGINEER - LAND PLANNERS - LAND SURVEYORS
738 ALFRED NOBEL DRIVE
HERCULES, CALIFORNIA 94547
(510) 724-3388



LEGEND	
SYMBOLS	DESCRIPTION
---	BOUNDARY - SUBJECT PROPERTY
---	RIGHT-OF-WAY LINE
---	ADJOINERS PROPERTY LINE
---	TIE LINE
---	MONUMENT LINE
---	EASEMENT LINE
---	BUILDING LINE
---	HVE
---	SL
---	G
---	W
---	COM
---	SS
---	UTIL
---	E
---	CO
---	SSCO
---	TWELL
---	WM
---	WV
---	ELEC
---	PM
---	SLB
---	FDC
---	TEL
---	CATV
---	SL
---	ETS
---	ADJ
---	BLDG
---	PL
X- 85.60	TOP OF BUILDING ELEVATION
X- 85.60	THRESHOLD ELEVATION
X- 85.60	LIP OF GUTTER ELEVATION
X- 85.64	TOP OF CURB ELEVATION
X- 85.64	TOP OF PAVEMENT ELEVATION
X- 85.64	FLOW LINE ELEVATION
○	TREE

ALTA/NSPS
LAND TITLE SURVEY
OF
835 TURK STREET
CITY AND COUNTY OF SAN FRANCISCO, CALIFORNIA
AUGUST 2024
PREPARED BY
LUK AND ASSOCIATES
CIVIL ENGINEER - LAND PLANNERS - LAND SURVEYORS
738 ALFRED NOBEL DRIVE
HERCULES, CALIFORNIA 94547
(510) 724-3388

1. REGRADING AT (N) EXITS AS REQUIRED
2. TEXT HERE.

 PROPERTY LINE
 EXISTING
 NEW
 AREA NOT IN ARCHITECTURAL SCOPE
 EXISTING TREE
 PROJECT BASEPOINT

Architect.

SSDP

Saida + Sullivan Design Partners

44 GOUGH ST., SUITE 202
SAN FRANCISCO, CA 94103

T: 415.777.0991
F: 415.777.0992

www.saidasullivan.com

Seal & Signature:



Project:

835 TURK STREET

ISSUE INFORMATION

Issued For

SF PLANNING APPLICATION
03.19.2025

No.	Description	Date:
1	SF Planning	03.19.2025

PLOT DATE: 12/18/202

PROJECT NO: 230

PHASE:

PREPARED BY: EC
SCALE: As indicated

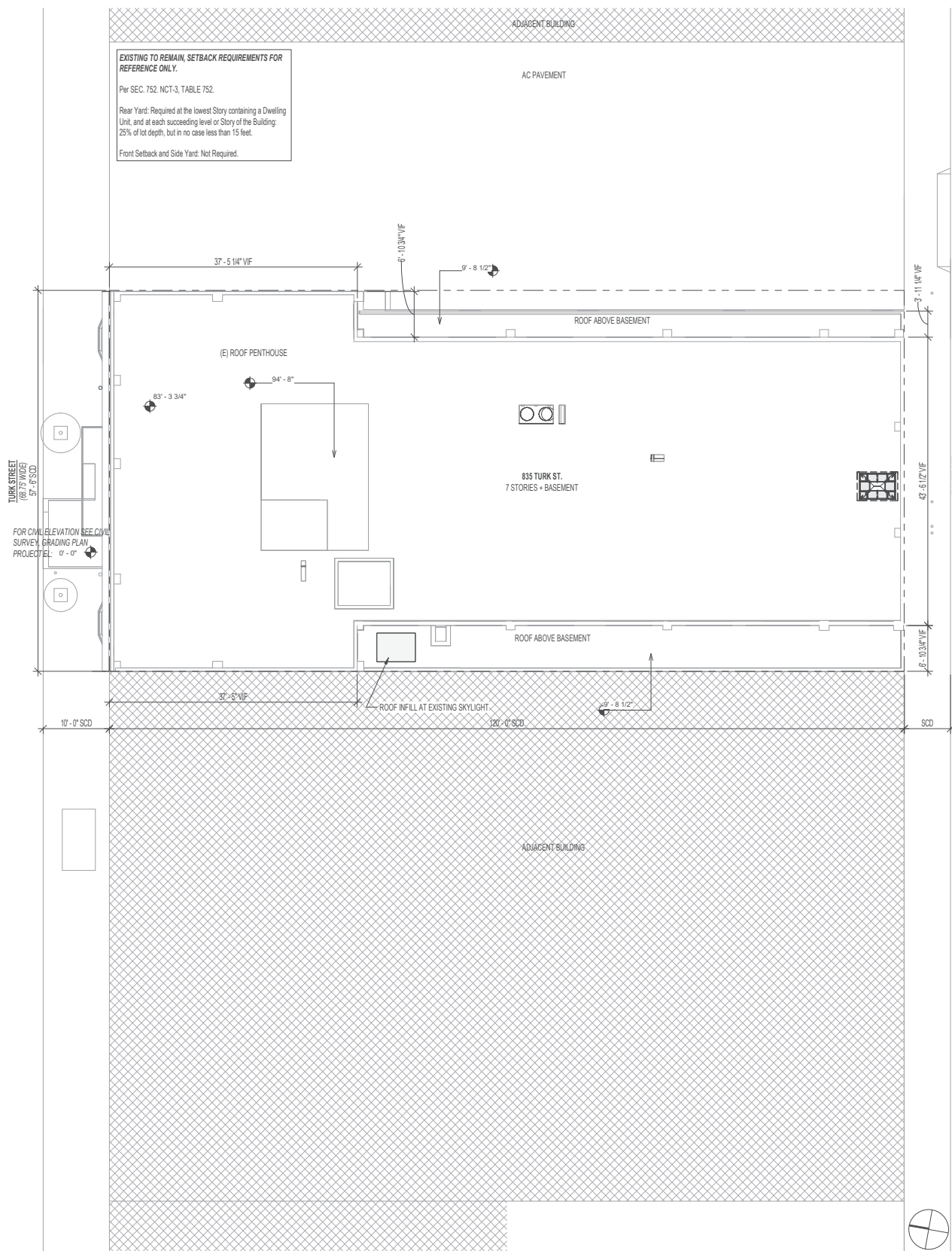
Sheet Title

SITE PLAN

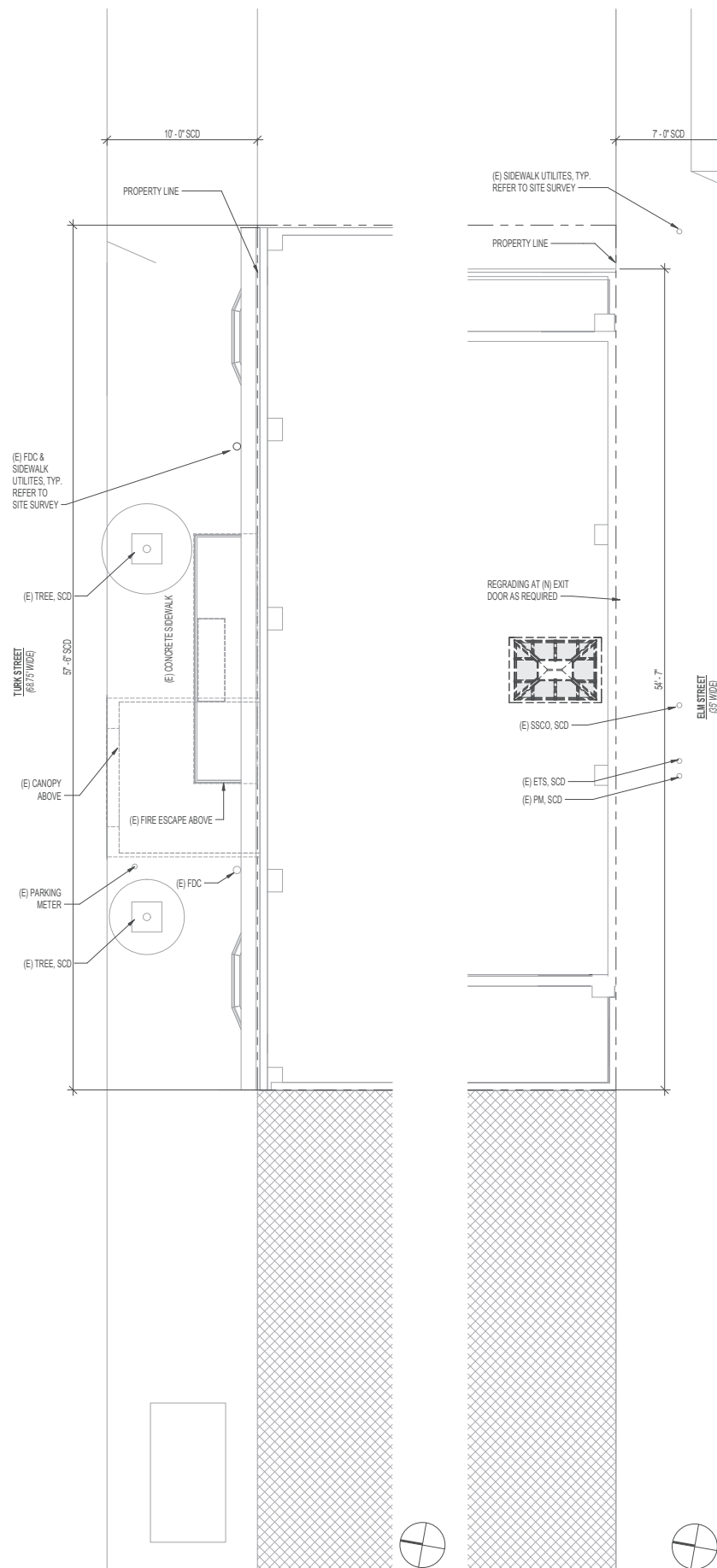
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A100

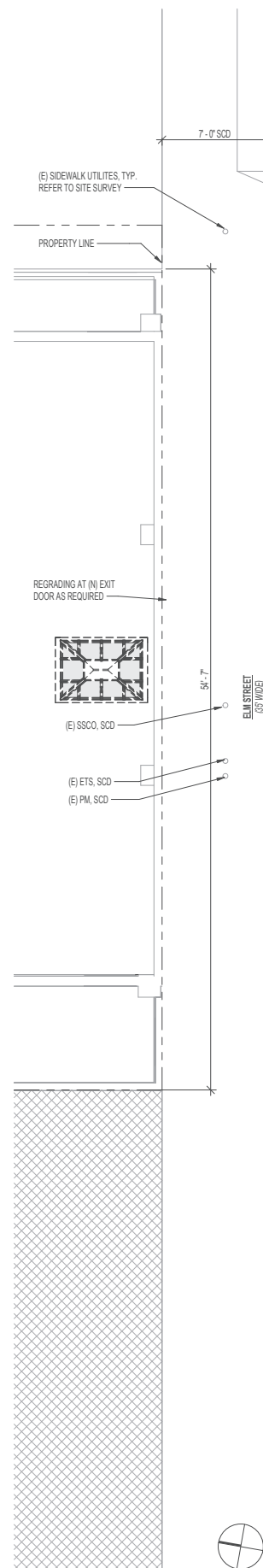
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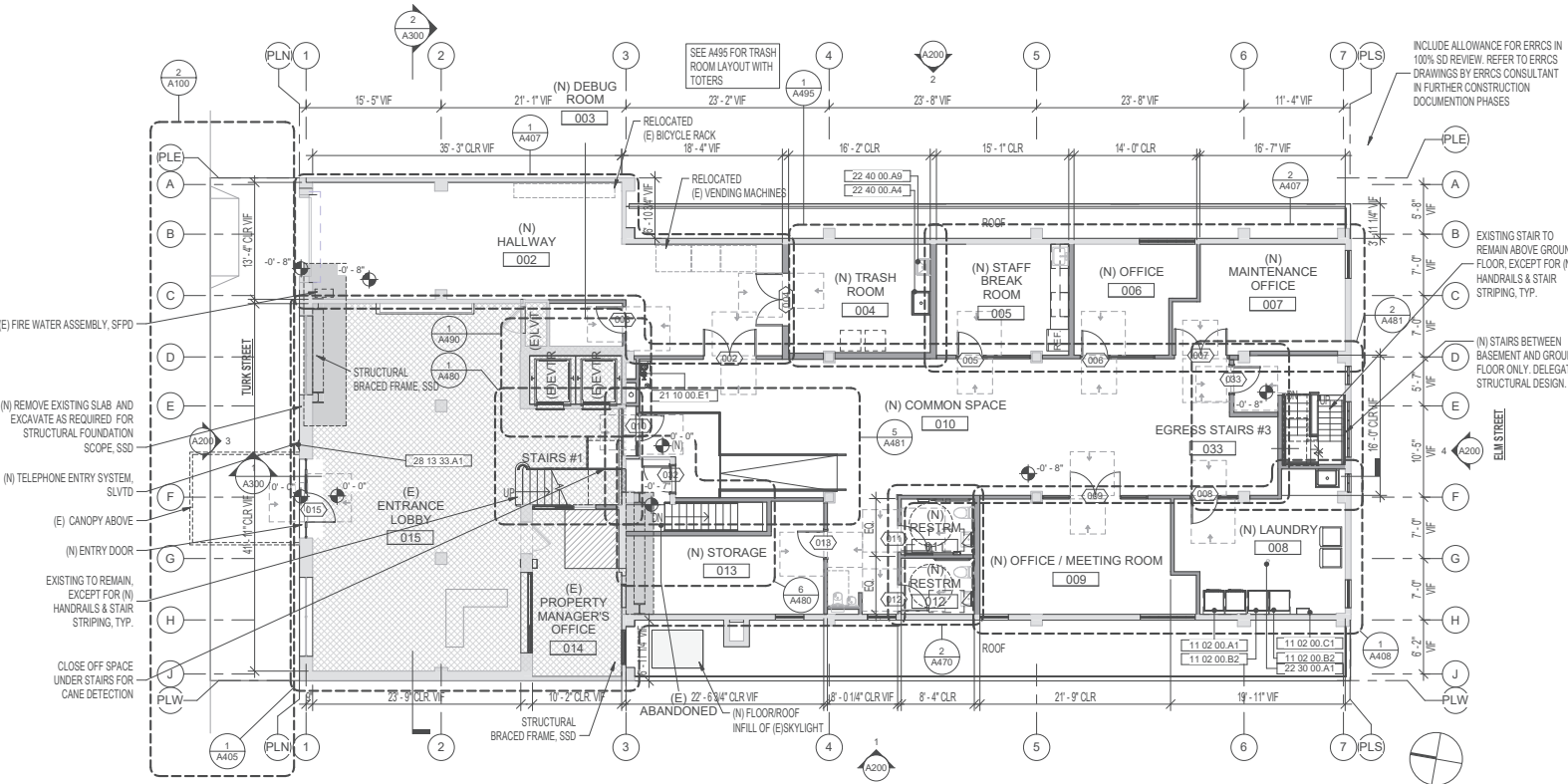
1 SITE PLAN
A100 SCALE: 1/8" = 1'-0"



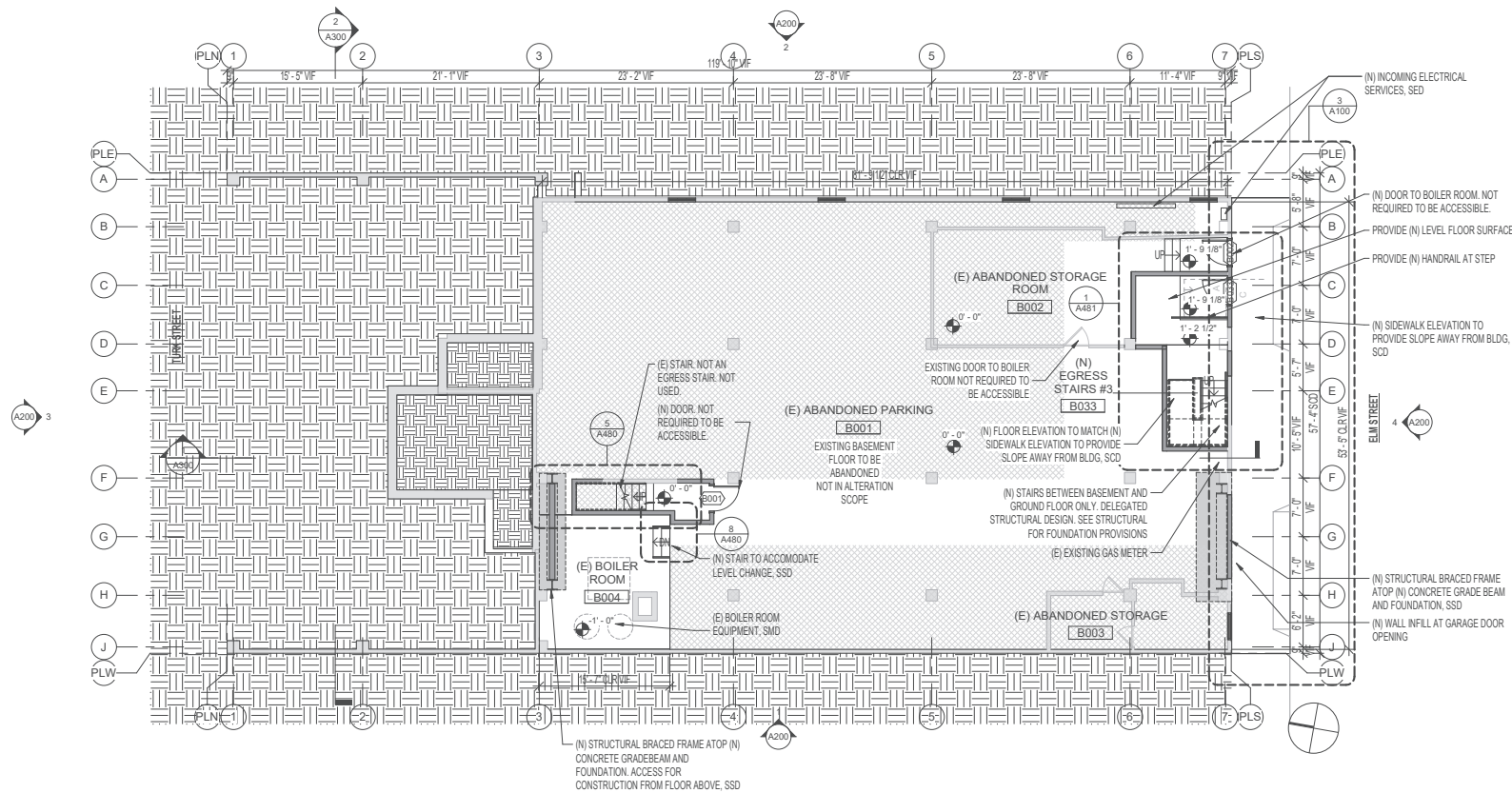
2 SITE PLAN PROPOSED - SIDEWALK- TURK STREET
A100 SCALE: 1/4" = 1'-0"



3 SITE PLAN PROPOSED - SIDEWALK- ELM STREET
A100 SCALE: 1/4" = 1'-0"



2
A110
GROUND FLOOR PLAN - PROPOSED
SCALE: 1/8" = 1'-0"



1
A110
BASEMENT FLOOR PLAN - PROPOSED
SCALE: 1/8" = 1'-0"

FLOOR PLAN LEGEND:

- EXISTING ITEMS TO BE REMOVED
- DOOR/DOOR HARDWARE TO BE DISTURBED OR REMOVED SEE DOOR SCHEDULE
- NEW DOOR
- EXISTING DOOR
- EXISTING STUD WALLS TO REMAIN
- EXISTING CONCRETE WALL
- NEW INTERIOR PARTITION TO UNDERSIDE OF EXISTING ONE-HOUR FLOOR/CEILING OR ROOF/CEILING ASSEMBLY U.O.N., SEE SHEET AXX AND S.S.D.
- BACKING LOCATION S.S.D.
- AREA NOT IN ARCHITECTURAL SCOPE
- STRUCTURAL BRACED FRAME SCOPE, SSD
- DISTURBED AREA / ARCHITECTURAL SCOPE AS NOTED
- NEW FLOOR CONSTRUCTION
- ROOM IDENTIFICATION SIGNAGE, SEE SHEETS AXXXX
- WALL TYPE IDENTIFICATION
- WINDOW TYPE IDENTIFICATION, REFER TO WINDOW SCHEDULE
- IS INTERIOR SECURITY SCREEN
- ES EXTERIOR SECURITY SCREEN
- DOOR TYPE IDENTIFICATION REFER TO DOOR SCHEDULE
- MBL / M COM / C
- FE FIRE EXTINGUISHER, CLASS ABC - SURFACE MOUNTED
- ELEVATIONS ARE A.F.F.

SEE 9 & 11 / G060 FOR CLEAR FLOOR SPACE & ACCESSIBLE TURNING SPACE

SEE 13 / G061 FOR DOOR MANEUVERING CLEARANCE LEGEND

BUILDING PLAN SHEET NOTES:

- GENERAL NOTES:
1. ALL DIMENSIONS ARE TO FACE OF FINISH U.O.N. ALIGN FACE OF FINISH TO EXISTING FACE OF FINISH WHERE SUCH FRAMING CONDITIONS OCCUR.
 2. ACCESSIBILITY REQUIREMENTS SHALL BE VERIFIED IN FIELD BY CONTRACTOR. CONDITIONS SHALL BE COORDINATED WITH ARCHITECT PRIOR TO COMPLETION. SEE ACCESSIBILITY SHEETS FOR ADDITIONAL INFORMATION.
 3. EXISTING CONDITIONS SURROUNDING ALL PROPOSED WORK UNDER CONTRACT WITH OWNER SHALL BE VERIFIED IN FIELD BY CONTRACTOR. SEE OWNER RECORD DRAWINGS FOR ADDITIONAL INFORMATION.
 4. ALL ELECTRICAL WORK (I.E. RECEPTACLES, SWITCHING, CONTROLS) INCLUDING (RE) LOCATION SHALL BE COORDINATED IN FIELD BY ELECTRICAL CONTRACTOR. PROVIDE SOUND ATTENUATION AND PADS AT PENETRATIONS IN ACOUSTICAL WALL TYPES.
 5. ALL EXISTING CONDITIONS TO REMAIN WHICH CORRELATE TO PROPOSED SCOPE OF WORK SHALL BE EVALUATED BY OWNER FOR DAMAGE AND REPAIR OR REPLACEMENT.
 6. PROVIDE NEW FINISHES, FURNISHINGS, EQUIPMENT, AND FIXTURES PER PRODUCT SELECTION TABLE AND SPECIFICATIONS.
 7. CEILING REMOVAL AS REQUIRED FOR INSTALLATION OF STRUCTURAL TIES, TYPICAL AT ALL FLOORS AT PERIMETER WALLS, SSD

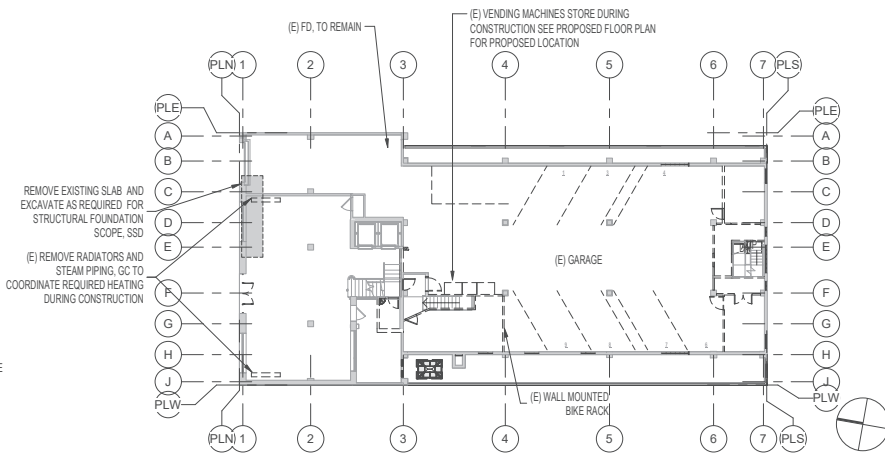
09 FINISHES

INTERIOR FINISHES.

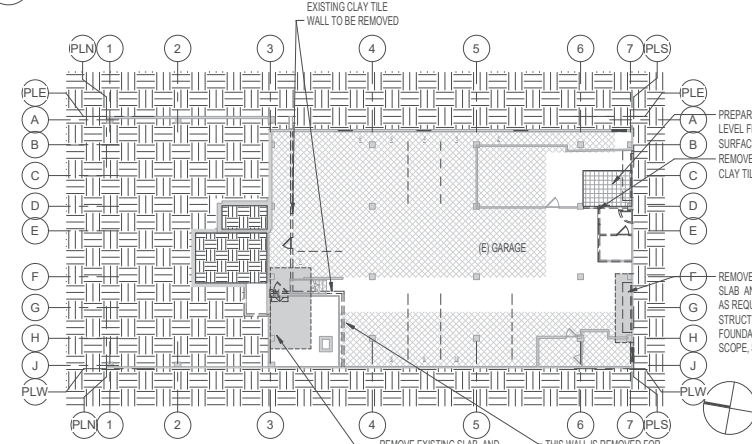
1. NEW INTERIOR FINISHES INCLUDING, BUT NOT LIMITED TO, FLOORING, WALL BASE, PAINTING WITH PATCH AND REPAIR AT WALLS, CEILINGS, AND TRIM CONDITIONS. SEE PRODUCT SELECTIONS.

KEYNOTES

KEYNOTE	ITEM
11 02 00 A1	STACKING WASHER AND DRYER
11 02 00 B2	DRYER
11 02 00 C1	CHANGE DISPENSER, N.I.C.
21 10 00 E1	STANDPIPE W/ FIRE HOSE CONNECTION
22 30 00 A1	FLOOR DRAIN, S.P.D.
22 40 00 A4	MOP SINK
22 40 00 A9	ACCESSIBLE UTILITY SINK W/ INTEGRAL EYE-WASH COMBO, S.P.D.
28 13 33 A1	ENTRY SYSTEM



4
A110
GROUND FLOOR PLAN REMOVAL
SCALE: 1/16" = 1'-0"

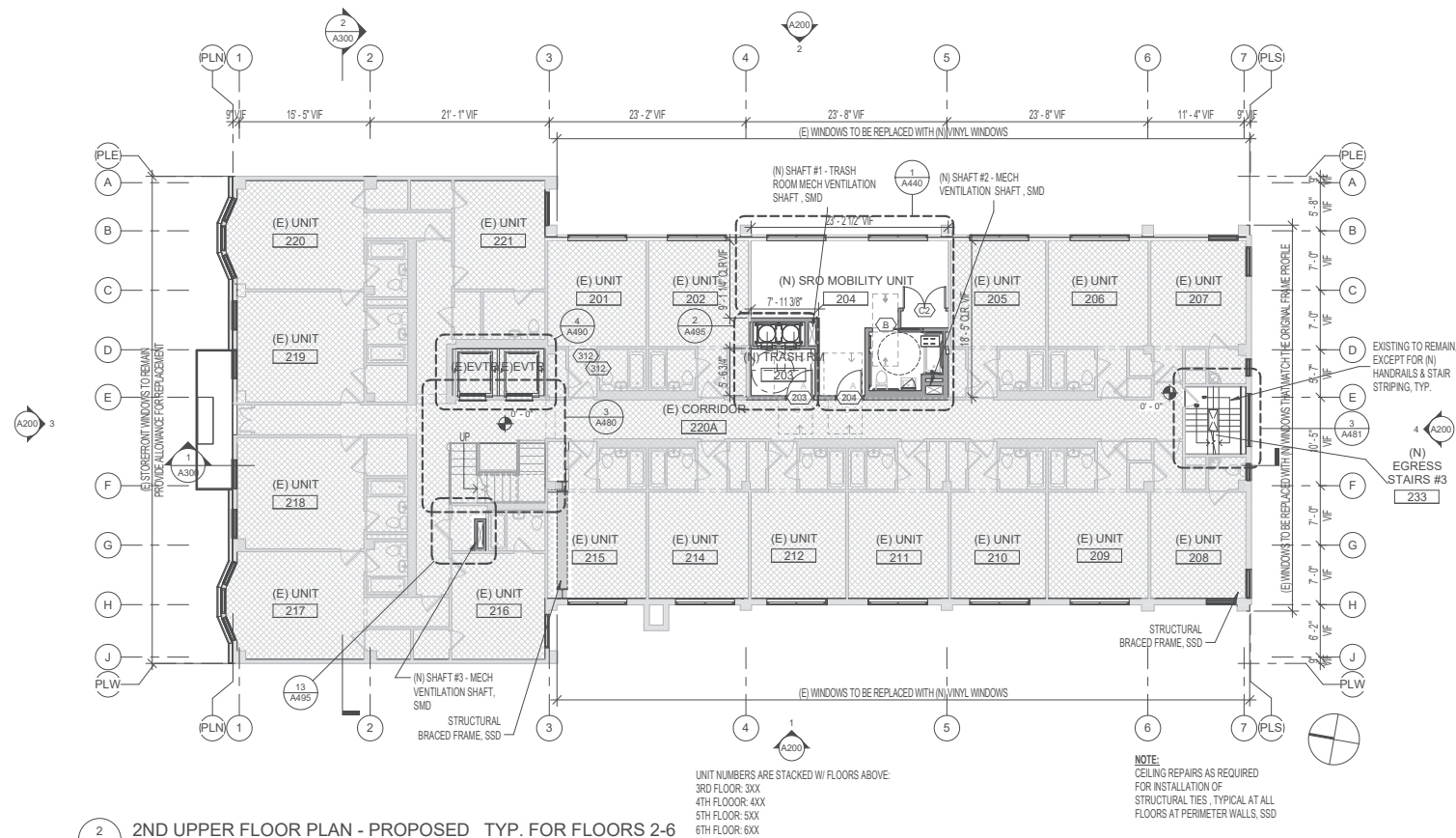


3
A110
BASEMENT FLOOR PLAN REMOVAL
SCALE: 1/16" = 1'-0"

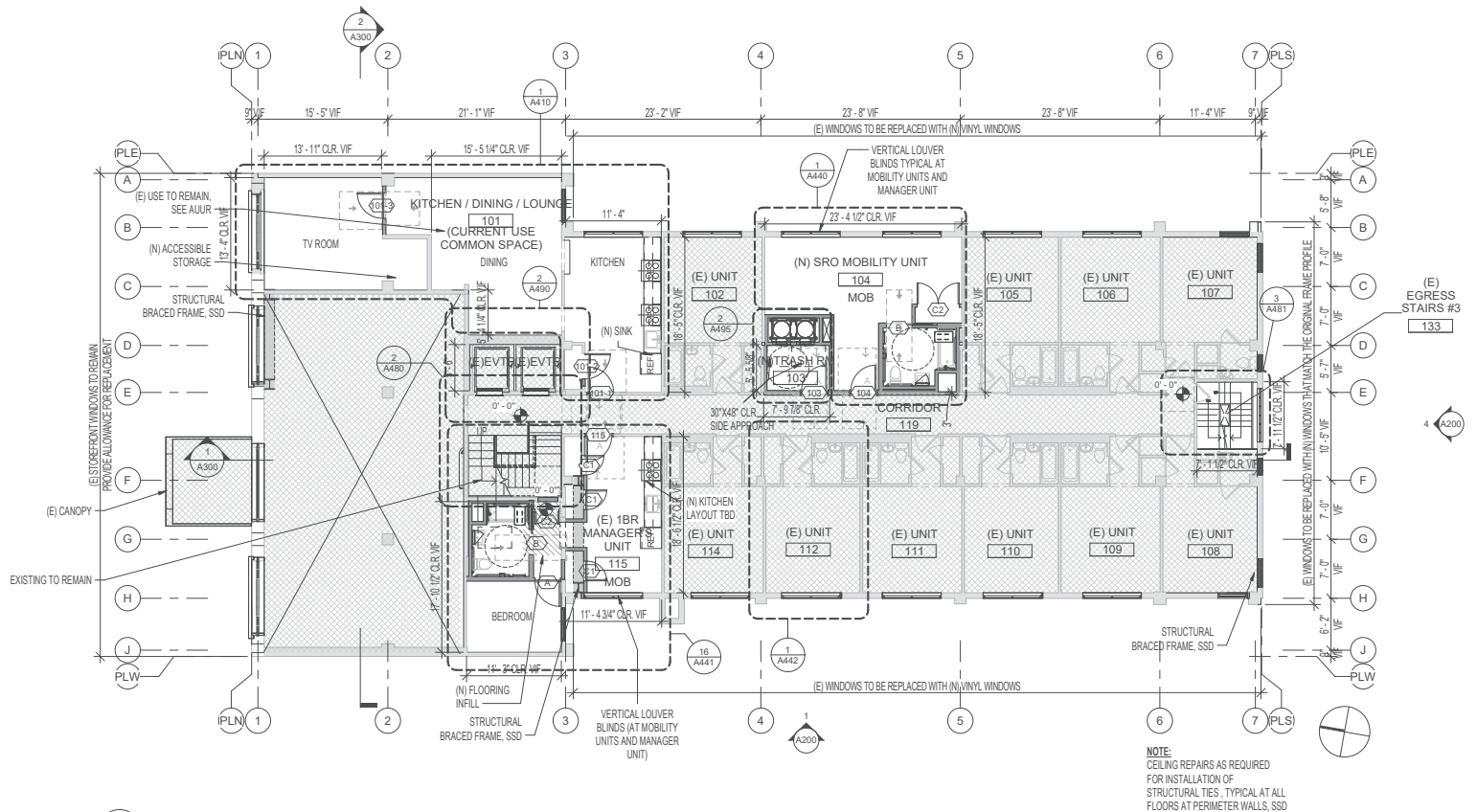
SSDP
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Seal & Signature:
LICENSED ARCHITECT
C-25093
STATE OF CALIFORNIA

835 TURK STREET

ISSUE INFORMATION
Issued For:
SF PLANNING APPLICATION
03.19.2025
No. Description Date:
1 SF Planning 03.19.2025
PLOT DATE: 12/18/2024
PROJECT NO: 2305
PHASE:
PREPARED BY: EG
SCALE: As indicated
Sheet Title:
BASEMENT & GROUND FLOOR PLANS - PROPOSED & REMOVAL
Sheet No.:
A110



2ND UPPER FLOOR PLAN - PROPOSED TYP. FOR FLOORS 2-6
SCALE: 1/8" = 1'-0"



1ST UPPER FLOOR PLAN - PROPOSED
SCALE: 1/8" = 1'-0"

FLOOR PLAN LEGEND:

- EXISTING ITEMS TO BE REMOVED
- DOOR/DOOR HARDWARE TO BE DISTURBED OR REMOVED SEE DOOR SCHEDULE
- NEW DOOR
- EXISTING DOOR
- EXISTING STUD WALLS TO REMAIN
- EXISTING CONCRETE WALL
- NEW INTERIOR PARTITION TO UNDERSIDE OF EXISTING ONE-HOUR FLOOR/CEILING OR ROOF/CEILING ASSEMBLY U.O.N., SEE SHEET AXX AND S.S.D.
- BACKING LOCATION S.S.D.
- AREA NOT IN ARCHITECTURAL SCOPE
- STRUCTURAL BRACED FRAME SCOPE, SSD
- DISTURBED AREA / ARCHITECTURAL SCOPE AS NOTED
- NEW FLOOR CONSTRUCTION
- ROOM IDENTIFICATION SIGNAGE, SEE SHEETS AXXX
- WALL TYPE IDENTIFICATION
- WINDOW TYPE IDENTIFICATION, REFER TO WINDOW SCHEDULE
 - I.S. INTERIOR SECURITY SCREEN
 - E.S. EXTERIOR SECURITY SCREEN
- DOOR TYPE IDENTIFICATION REFER TO DOOR SCHEDULE
- MBL / M
- COM / C
- MOBILITY UNIT
- COMMUNICATION UNIT
- FIRE EXTINGUISHER, CLASS ABC - SURFACE MOUNTED
- ELEVATIONS ARE A.F.F.

SEE 9 & 11 / G060 FOR CLEAR FLOOR SPACE & ACCESSIBLE TURNING SPACE

SEE 13 / G061 FOR DOOR MANEUVERING CLEARANCE LEGEND

BUILDING PLAN SHEET NOTES :

- GENERAL NOTES:**
1. ALL DIMENSIONS ARE TO FACE OF FINISH U.O.N. ALIGN FACE OF FINISH TO EXISTING FACE OF FINISH WHERE SUCH FRAMING CONDITIONS OCCUR.
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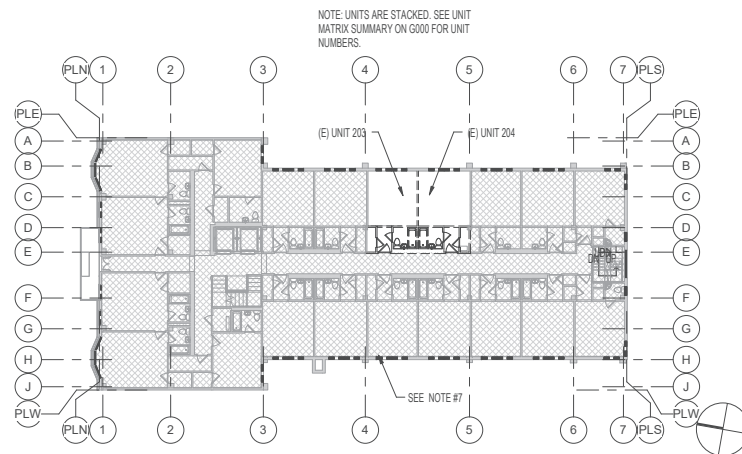
09 FINISHES

INTERIOR FINISHES.

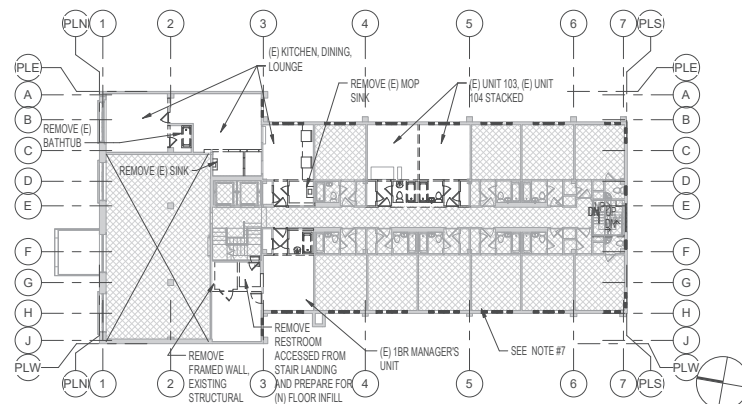
1. NEW INTERIOR FINISHES INCLUDING, BUT NOT LIMITED TO, FLOORING, WALL BASE, PAINTING WITH PATCH AND REPAIR AT WALLS, CEILINGS, AND TRIM CONDITIONS. SEE PRODUCT SELECTIONS.

KEYNOTES

KEYNOTE ITEM



2ND UPPER FLOOR PLAN REMOVAL
SCALE: 1/16" = 1'-0"



1ST UPPER FLOOR PLAN REMOVAL
SCALE: 1/16" = 1'-0"

ISSUE INFORMATION

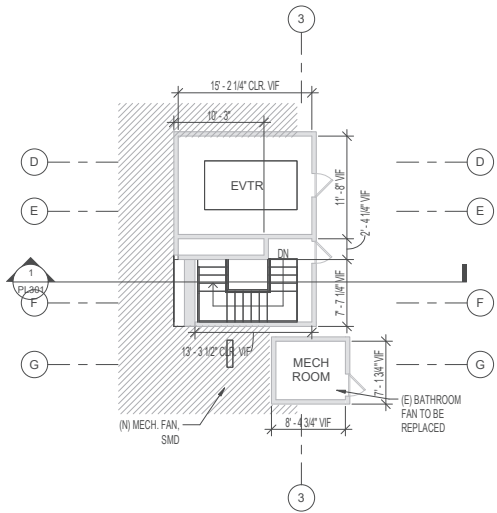
Issued For:		
SF PLANNING APPLICATION		
03.19.2025		
No.	Description	Date:
1	SF Planning	03.19.2025

PLOT DATE:	12/18/2024
PROJECT NO:	2305
PHASE:	
PREPARED BY:	EG
SCALE:	As indicated

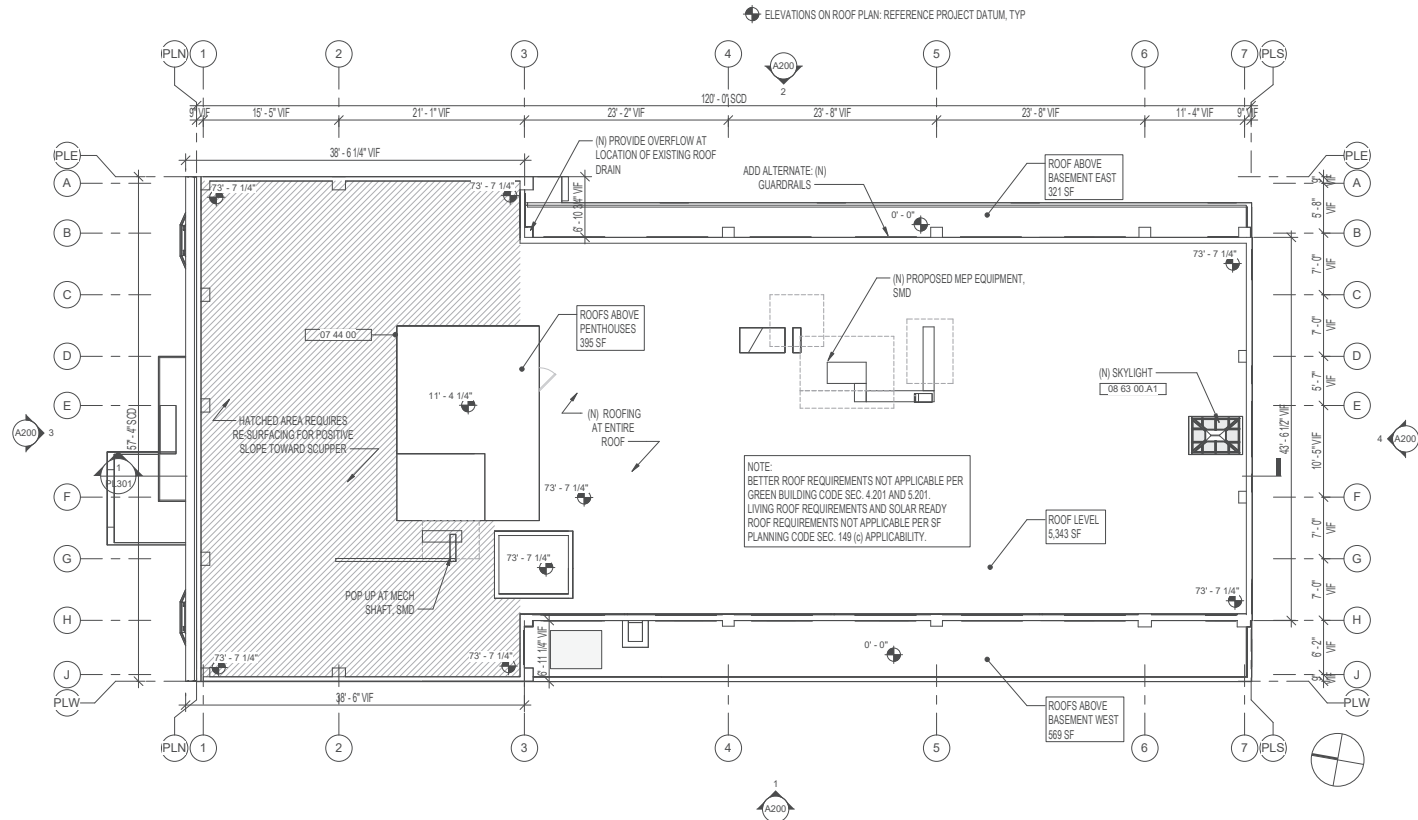
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1ST AND 2ND UPPER FLOOR PLANS - PROPOSED & REMOVAL

Sheet No.:

A111

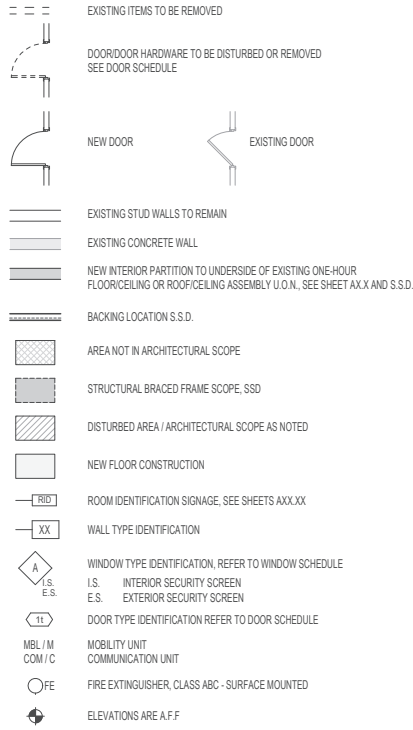


2 ROOF PENTHOUSE PLAN - PROPOSED
A114 SCALE: 1/8" = 1'-0"



1 ROOF PLAN - PROPOSED
A114 SCALE: 1/8" = 1'-0"

FLOOR PLAN LEGEND:



SEE 9 & 11 / G060 FOR CLEAR FLOOR SPACE & ACCESSIBLE TURNING SPACE

SEE 13 / G061 FOR DOOR MANEUVERING CLEARANCE LEGEND

BUILDING PLAN SHEET NOTES :

GENERAL NOTES:

1. ALL DIMENSIONS ARE TO FACE OF FINISH U.O.N. ALIGN FACE OF FINISH TO EXISTING FACE OF FINISH WHERE SUCH FRAMING CONDITIONS OCCUR.
2. ACCESSIBILITY REQUIREMENTS SHALL BE VERIFIED IN FIELD BY CONTRACTOR. CONDITIONS SHALL BE COORDINATED WITH ARCHITECT PRIOR TO COMPLETION. SEE ACCESSIBILITY SHEETS FOR ADDITIONAL INFORMATION.
3. EXISTING CONDITIONS SURROUNDING ALL PROPOSED WORK UNDER CONTRACT WITH OWNER SHALL BE VERIFIED IN FIELD BY CONTRACTOR. SEE OWNER RECORD DRAWINGS FOR ADDITIONAL INFORMATION.
4. ALL ELECTRICAL WORK (I.E. RECEPTACLES, SWITCHING, CONTROLS) INCLUDING (RE) LOCATION SHALL BE COORDINATED IN FIELD BY ELECTRICAL CONTRACTOR. PROVIDE SOUND ATTENUATION AND PADS AT PENETRATIONS IN ACOUSTICAL WALL TYPES.
5. ALL EXISTING CONDITIONS TO REMAIN WHICH CORRELATE TO PROPOSED SCOPE OF WORK SHALL BE EVALUATED BY OWNER FOR DAMAGE AND REPAIR OR REPLACEMENT.
6. PROVIDE NEW FINISHES, FURNISHINGS, EQUIPMENT, AND FIXTURES PER PRODUCT SELECTION TABLE AND SPECIFICATIONS.
7. CEILING REMOVAL AS REQUIRED FOR INSTALLATION OF STRUCTURAL TIES, TYPICAL AT ALL FLOORS AT PERIMETER WALLS, SSD

09 FINISHES

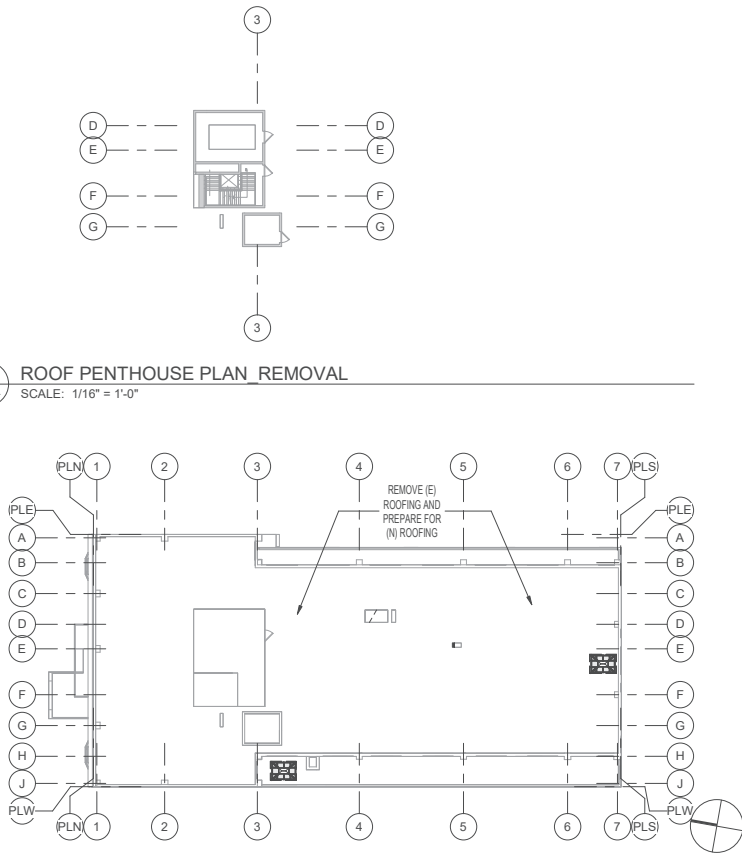
INTERIOR FINISHES.

1. NEW INTERIOR FINISHES INCLUDING, BUT NOT LIMITED TO, FLOORING, WALL BASE, PAINTING WITH PATCH AND REPAIR AT WALLS, CEILINGS, AND TRIM CONDITIONS. SEE PRODUCT SELECTIONS.

KEYNOTES

KEYNOTE	ITEM
07 44 00	FIBER CEMENT SIDING
08 63 00.A1	METAL-FRAMED SKYLIGHT

4 ROOF PENTHOUSE PLAN - REMOVAL
A114 SCALE: 1/16" = 1'-0"



3 ROOF PLAN - REMOVAL
A114 SCALE: 1/16" = 1'-0"

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835 TURK STREET

ISSUE INFORMATION

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SF PLANNING APPLICATION
03.19.2025

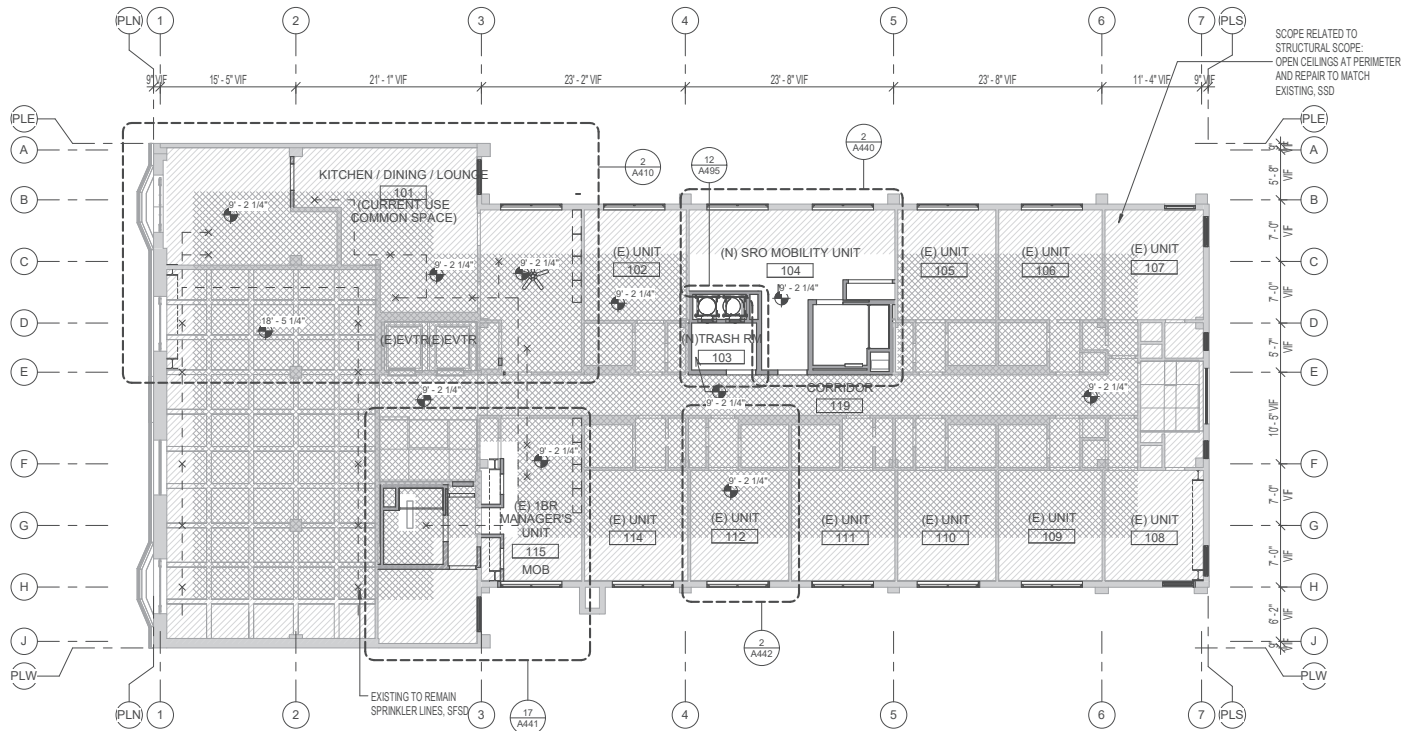
No.	Description	Date:
1	SF Planning	03.19.2025

PLOT DATE: 12/18/2024
PROJECT NO: 2305
PHASE:
PREPARED BY: EG
SCALE: As indicated

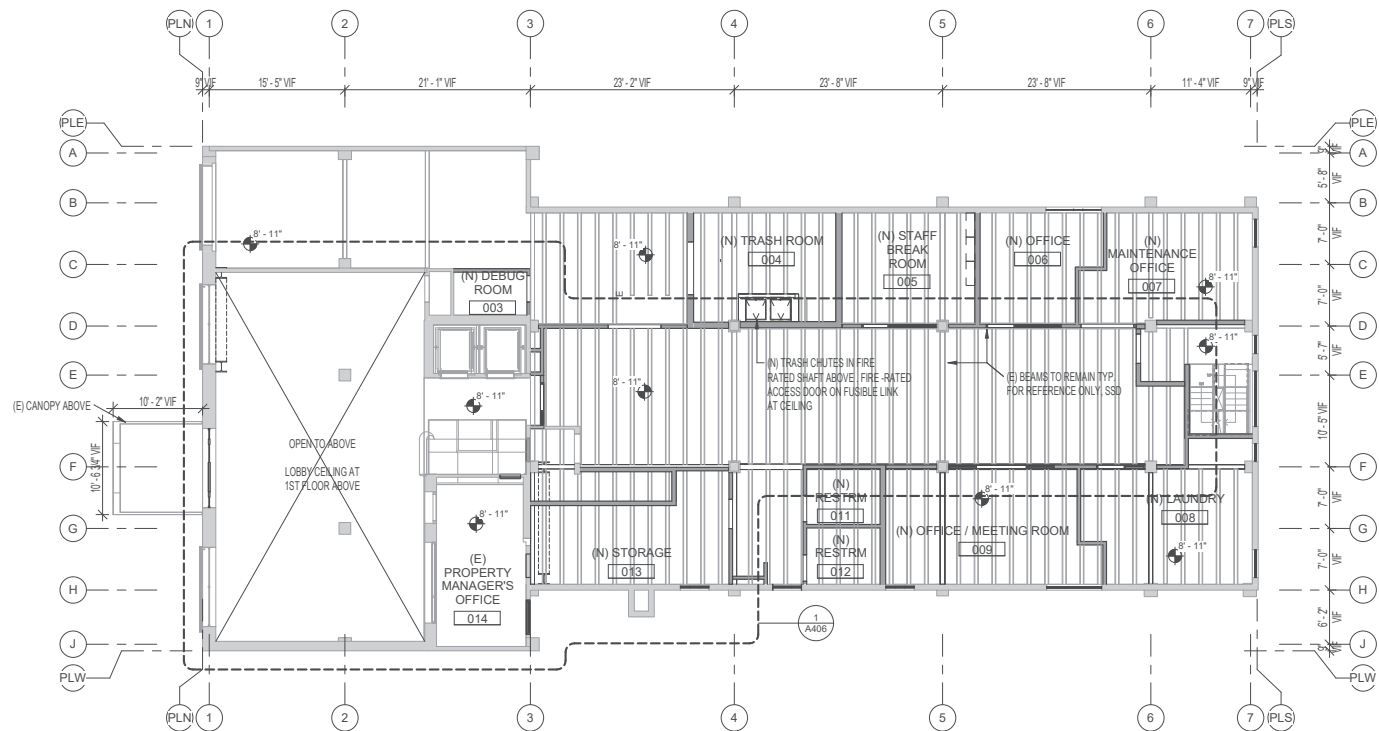
Sheet Title:
ROOF PLAN - PROPOSED & REMOVAL

Sheet No.:
A114

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1 1ST-UPPER FLOOR RCP
SCALE: 1/8" = 1'-0"



2 GROUND FLOOR RCP
SCALE: 1/8" = 1'-0"

FLOOR PLAN LEGEND:

- EXISTING ITEMS TO BE REMOVED
- DOOR/DOOR HARDWARE TO BE DISTURBED OR REMOVED SEE DOOR SCHEDULE
- NEW DOOR
- EXISTING DOOR
- EXISTING STUD WALLS TO REMAIN
- EXISTING CONCRETE WALL
- NEW INTERIOR PARTITION TO UNDERSIDE OF EXISTING ONE-HOUR FLOOR/CEILING OR ROOF/CEILING ASSEMBLY U.O.N., SEE SHEET AXX AND S.S.D.
- BACKING LOCATION S.S.D.
- AREA NOT IN ARCHITECTURAL SCOPE
- STRUCTURAL BRACED FRAME SCOPE, SSD
- DISTURBED AREA / ARCHITECTURAL SCOPE AS NOTED
- NEW FLOOR CONSTRUCTION
- ROOM IDENTIFICATION SIGNAGE, SEE SHEETS AXXXX
- WALL TYPE IDENTIFICATION
- WINDOW TYPE IDENTIFICATION, REFER TO WINDOW SCHEDULE
- I.S. INTERIOR SECURITY SCREEN
- E.S. EXTERIOR SECURITY SCREEN
- DOOR TYPE IDENTIFICATION REFER TO DOOR SCHEDULE
- MBL / M COMM / C MOBILITY UNIT
- FE FIRE EXTINGUISHER, CLASS ABC - SURFACE MOUNTED
- ELEVATIONS ARE A.F.F

SEE 9 & 11 / G060 FOR CLEAR FLOOR SPACE & ACCESSIBLE TURNING SPACE

SEE 13 / G061 FOR DOOR MANEUVERING CLEARANCE LEGEND

BUILDING PLAN SHEET NOTES :

- GENERAL NOTES:
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 - CEILING REMOVAL AS REQUIRED FOR INSTALLATION OF STRUCTURAL TIES, TYPICAL AT ALL FLOORS AT PERIMETER WALLS, SSD

09 FINISHES

INTERIOR FINISHES.

- NEW INTERIOR FINISHES INCLUDING, BUT NOT LIMITED TO, FLOORING, WALL BASE, PAINTING WITH PATCH AND REPAIR AT WALLS, CEILINGS, AND TRIM CONDITIONS. SEE PRODUCT SELECTIONS.



Project:

835 TURK STREET

ISSUE INFORMATION

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1	SF Planning	03.19.2025

PLOT DATE: 12/18/2024
PROJECT NO: 2305

PHASE:
PREPARED BY: EG
SCALE: As indicated

Sheet Title:

GROUND & 1ST FLOOR
RCPS - PROPOSED &
REMOVAL

Sheet No.:

A170

FLOOR PLAN LEGEND:

- EXISTING ITEMS TO BE REMOVED

DOOR/DOOR HARDWARE TO BE DISTURBED OR REMOVED
SEE DOOR SCHEDULE

NEW DOOR

EXISTING DOOR

EXISTING STUD WALLS TO REMAIN

EXISTING CONCRETE WALL

NEW INTERIOR PARTITION TO UNDERSIDE OF EXISTING ONE-HOUR
FLOOR/CEILING OR ROOF/CEILING ASSEMBLY U.O.N., SEE SHEET AXX AND S.S.D.

BACKING LOCATION S.S.D.

AREA NOT IN ARCHITECTURAL SCOPE

STRUCTURAL BRACED FRAME SCOPE, SSD

DISTURBED AREA / ARCHITECTURAL SCOPE AS NOTED

NEW FLOOR CONSTRUCTION

ROOM IDENTIFICATION SIGNAGE, SEE SHEETS AXXX

WALL TYPE IDENTIFICATION

WINDOW TYPE IDENTIFICATION, REFER TO WINDOW SCHEDULE
I.S. INTERIOR SECURITY SCREEN
E.S. EXTERIOR SECURITY SCREEN

DOOR TYPE IDENTIFICATION REFER TO DOOR SCHEDULE

MOBILITY UNIT
COMMUNICATION UNIT

FIRE EXTINGUISHER, CLASS ABC - SURFACE MOUNTED

ELEVATIONS ARE A.F.F
- SEE 9 & 11 / G060 FOR CLEAR FLOOR SPACE &
ACCESSIBLE TURNING SPACE

SEE 13 / G061 FOR DOOR MANEUVERING
CLEARANCE LEGEND

BUILDING PLAN SHEET NOTES :

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09 FINISHES

INTERIOR FINISHES.

1. NEW INTERIOR FINISHES INCLUDING, BUT NOT LIMITED TO, FLOORING, WALL BASE, PAINTING WITH PATCH AND REPAIR AT WALLS, CEILINGS, AND TRIM CONDITIONS. SEE PRODUCT SELECTIONS.

Architect

SSDP

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Project:

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ISSUE INFORMATION

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SF PLANNING APPLICATION		
03.19.2025		
No.	Description	Date:
1	SF Planning	03.19.2025

PLOT DATE:	12/18/2024
PROJECT NO:	2305
PHASE:	
PREPARED BY:	EG
SCALE:	As indicated

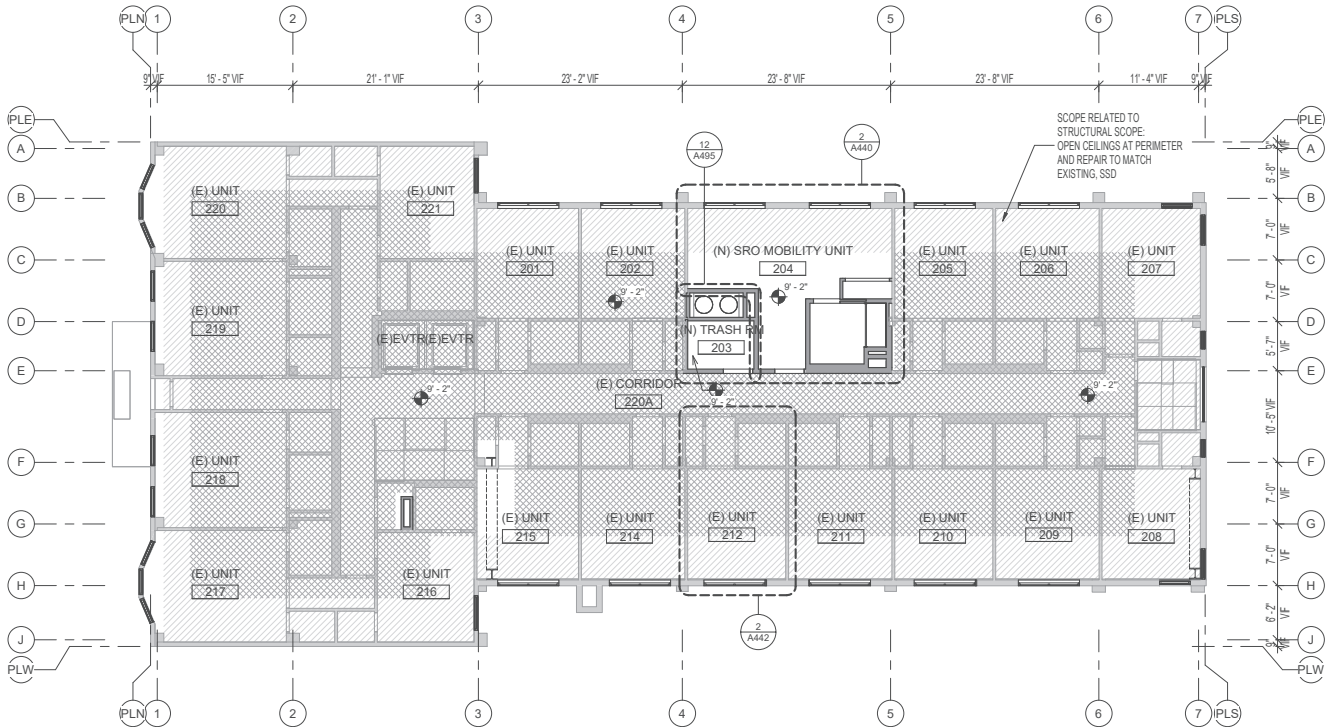
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2ND UPPER FLOOR
RCPS - PROPOSED &
REMOVAL

Sheet No.:

A171

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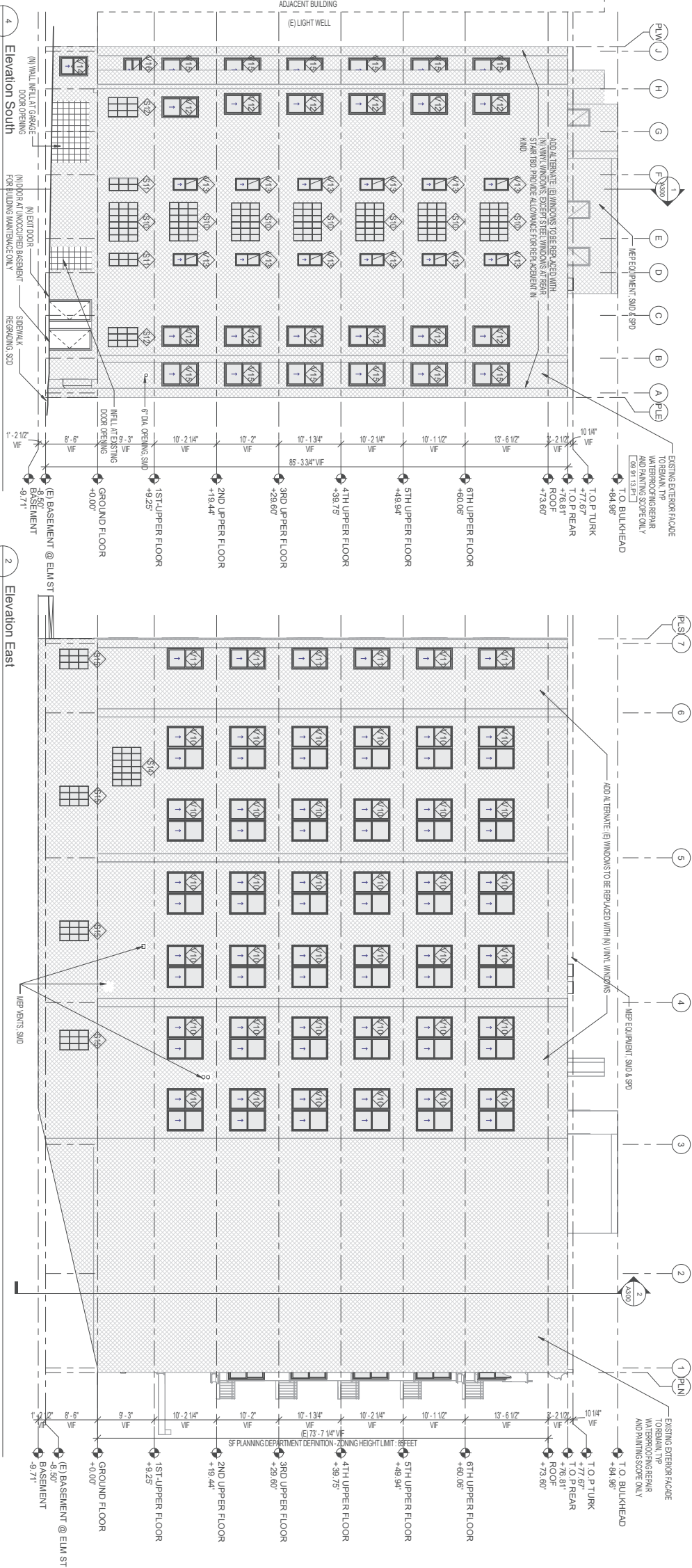




SHEET NOTES - ELEVATIONS:

GENERAL NOTES:

1. ALL EXISTING WOOD WINDOWS ON NORTH ELEVATION FROM 1ST UPPER FLOOR TO 6TH UPPER FLOOR TO BE REPLACED WITH WOOD WINDOWS
2. ALL OTHER EXISTING WINDOWS ON EAST & WEST SOUTH ELEVATIONS TO BE REPLACED
3. ALL EXISTING STEEL WINDOWS TO BE REPLACED

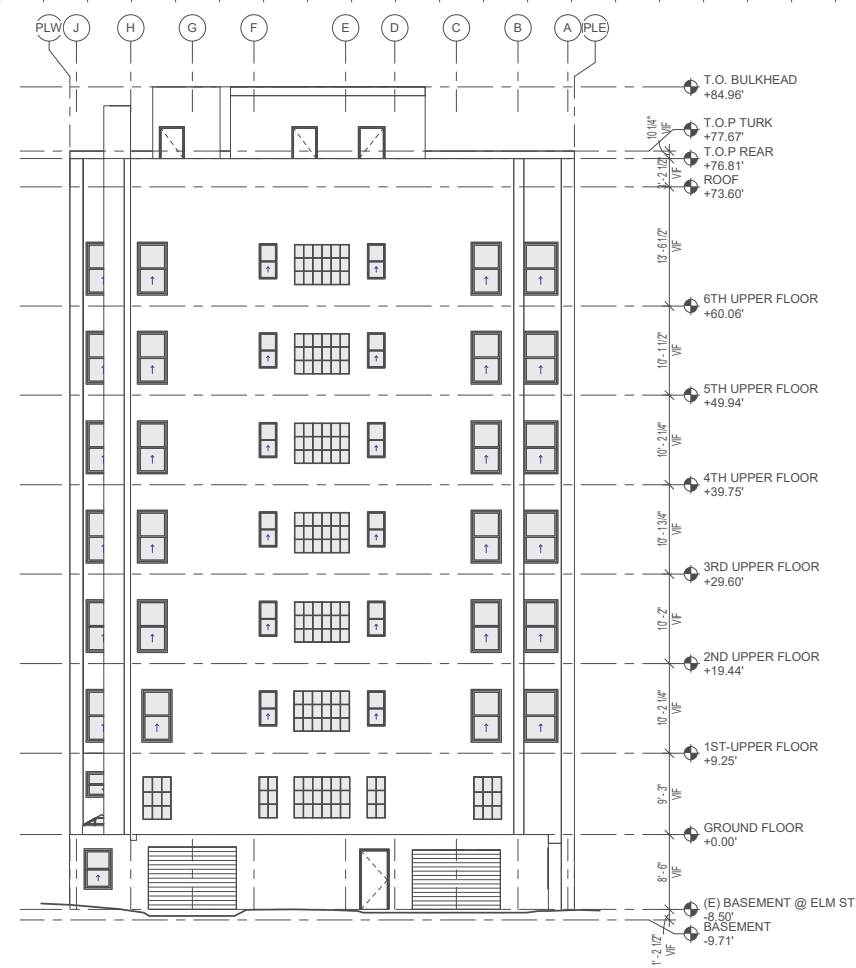


835 TURK STREET

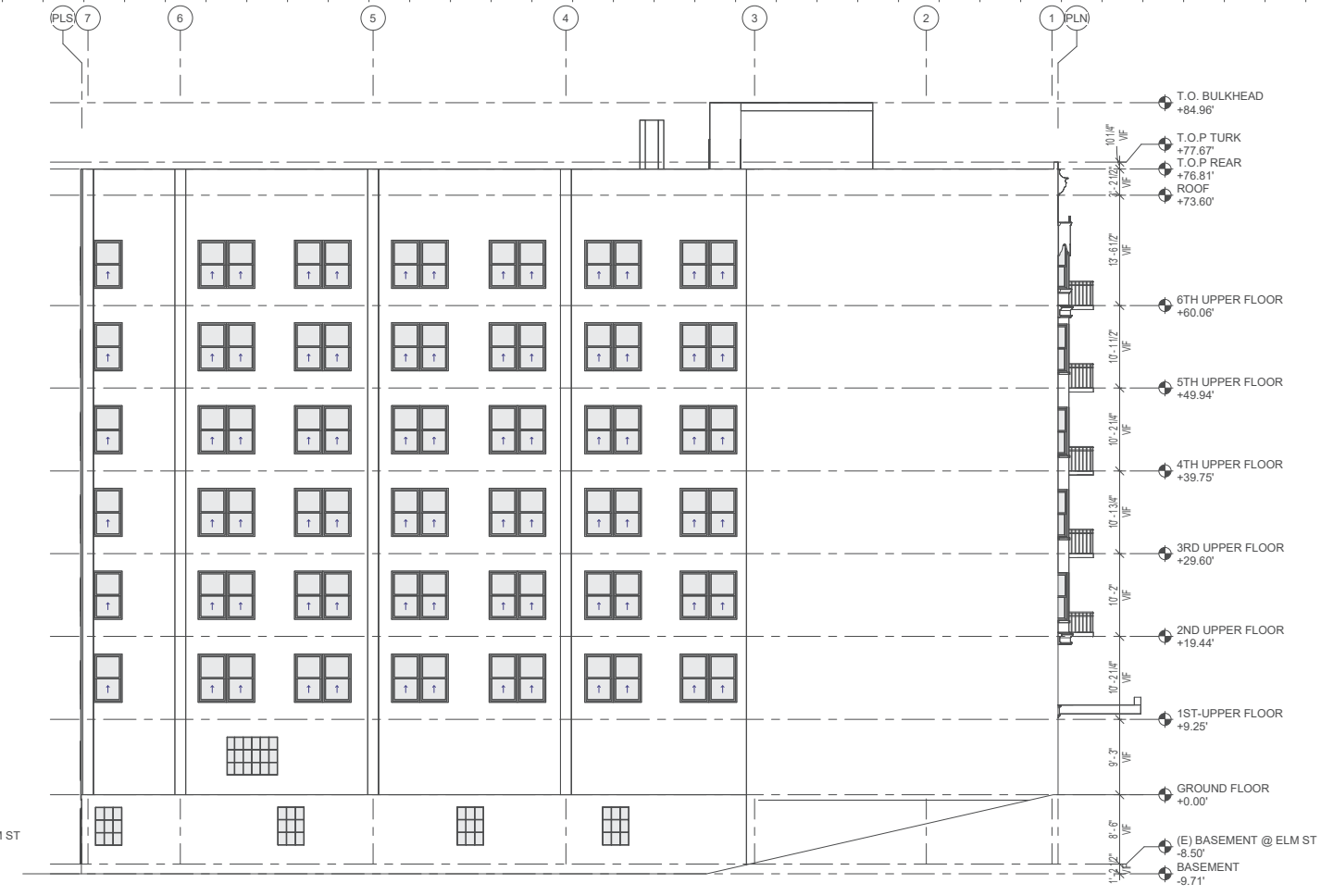
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Issue No.	Description	Date
03.19.2025	SF PLANNING APPLICATION	
1	SF Planning	03.19.2025

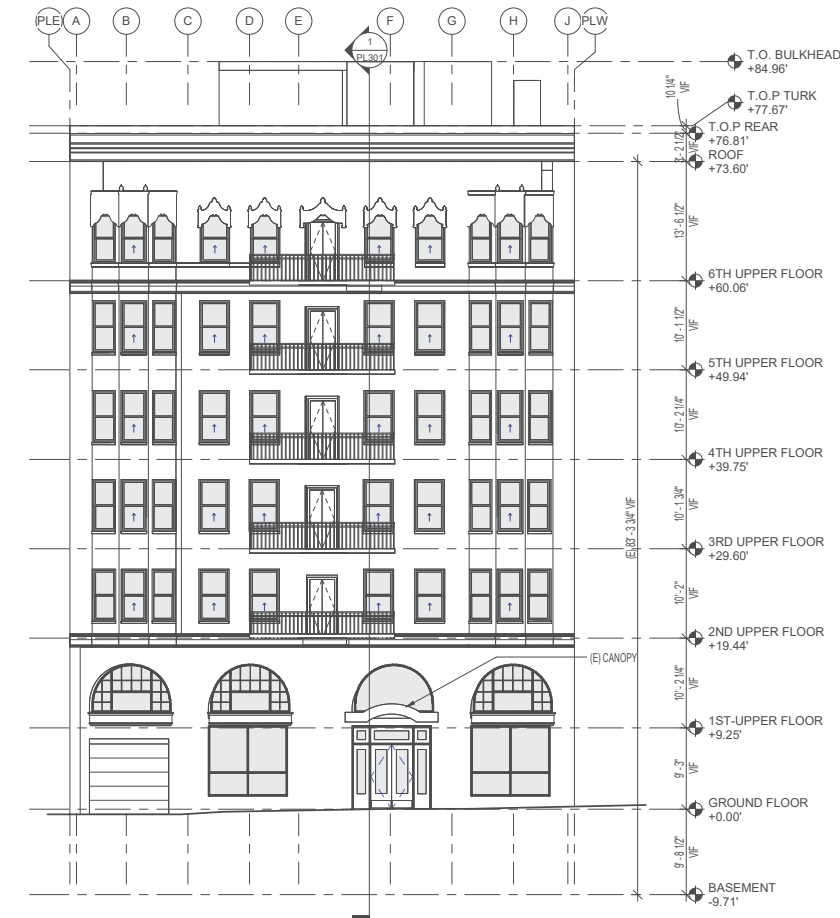
PLOT DATE:	12/16/2024
PROJECT NO.:	2305
PREPARED BY:	EG
SCALE:	As Indicated
SHEET TITLE:	BUILDING ELEVATIONS



4 Elevation South (Existing)
A200A SCALE: 1/8" = 1'-0"



2 Elevation East (Existing)
A200A SCALE: 1/8" = 1'-0"



3 Elevation North (Existing)
A200A SCALE: 1/8" = 1'-0"



1 Elevation West (Existing)
A200A SCALE: 1/8" = 1'-0"

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Project:

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ISSUE INFORMATION

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SF PLANNING APPLICATION		
03.19.2025		
No.	Description	Date:
1	SF Planning	03.19.2025

PLOT DATE: 12/18/2024
PROJECT NO: 2305
PHASE:
PREPARED BY: EG
SCALE: 1/8" = 1'-0"

Sheet Title:
BUILDING ELEVATIONS
(EXISTING)

Sheet No.:
A200A

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Project:

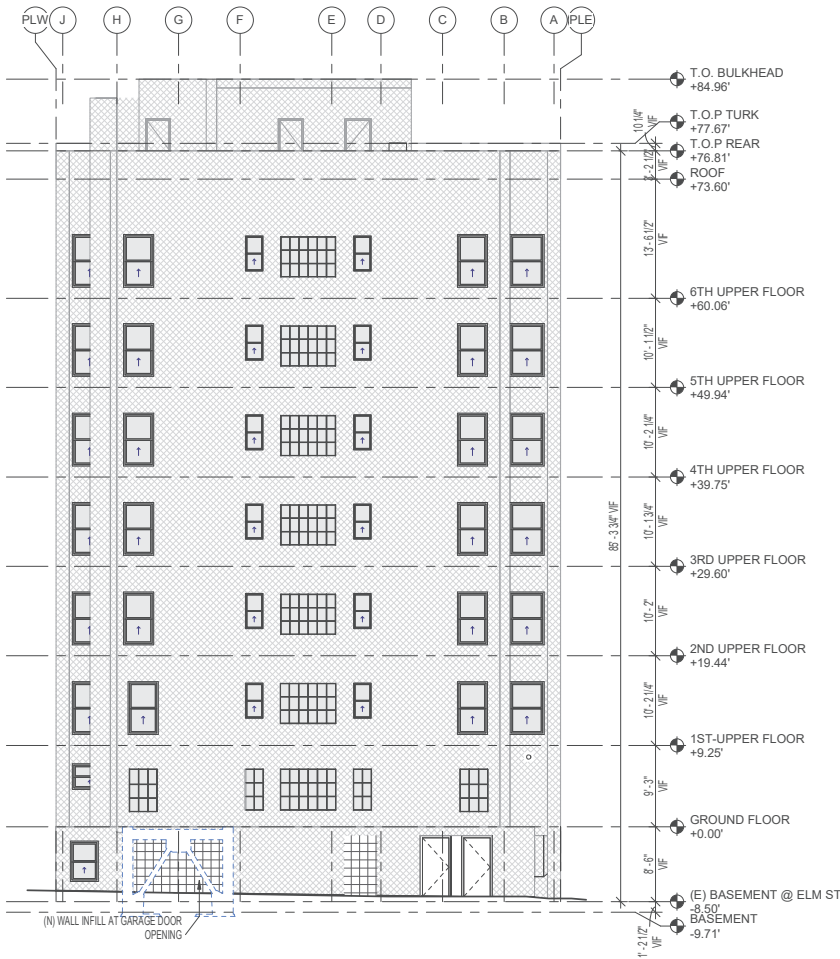
835 TURK STREET

ISSUE INFORMATION		
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03.19.2025		
No.	Description	Date:
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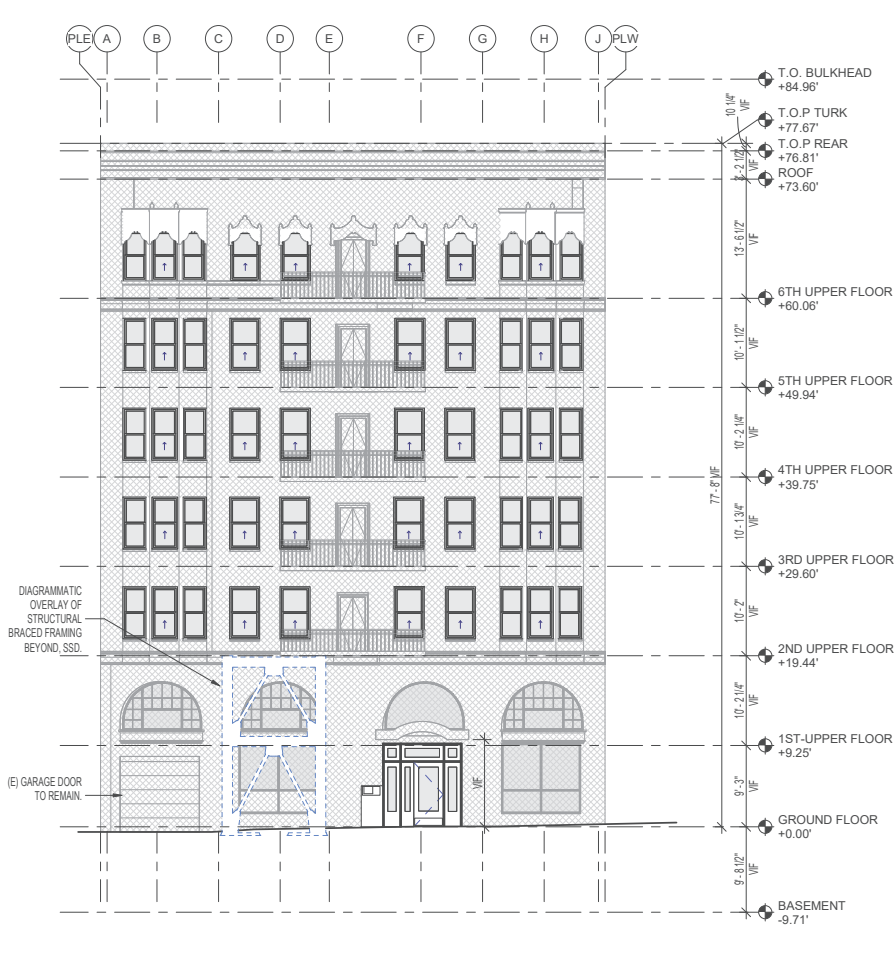
PLOT DATE:	12/18/2024
PROJECT NO:	2305
PHASE:	
PREPARED BY:	EG
SCALE:	As indicated

Sheet Title:
**BUILDING ELEVATIONS
- ENLARGED &
DIAGRAMS**

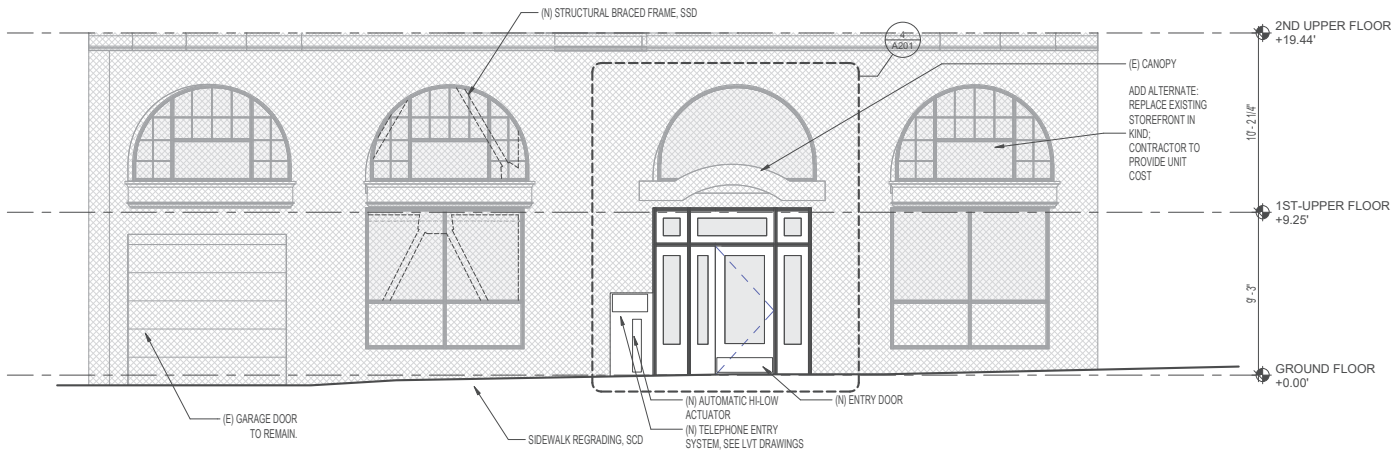
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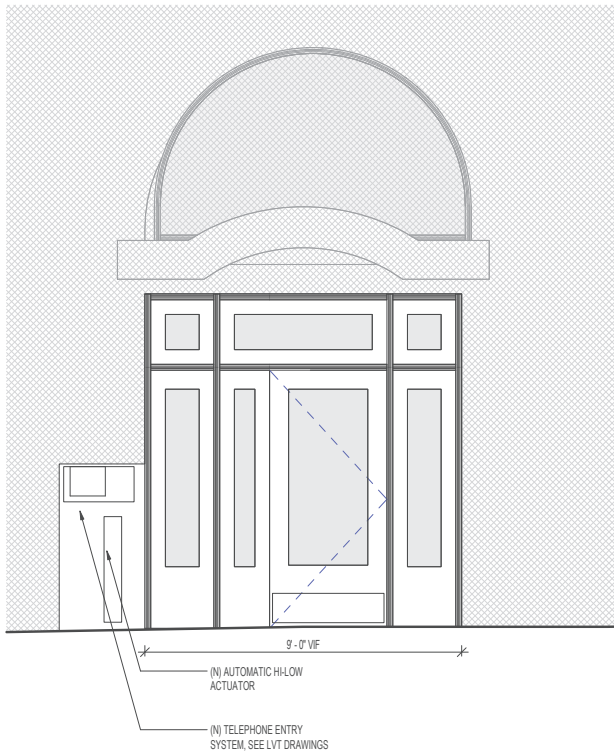
3 Elevation South - Diagram
A201 SCALE: 1/8" = 1'-0"



2 Elevation North - Diagram
A201 SCALE: 1/8" = 1'-0"



1 ENLARGED ELEVATION - STOREFRONT AND ENTRY SOUTH
A201 SCALE: 1/4" = 1'-0"



4 ENLARGED ELEVATION - ENTRY
A201 SCALE: 1/2" = 1'-0"

BUILDING PLAN SHEET NOTES:

- GENERAL NOTES:**
- ALL DIMENSIONS ARE TO FACE OF FINISH U.O.M. ALIGN FACE OF FINISH TO EXISTING FACE OF FINISH WHERE SUCH FRAMING CONDITIONS OCCUR.
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 - ALL EXISTING CONDITIONS TO REMAIN WHICH ARE TO BE REPOSED, SCOPE OF WORK SHALL BE EVALUATED BY OWNER FOR DAMAGE AND REPAIR OR REB. AGENCY.
 - PROVIDE NEW FINISHES, FURNISHINGS, EQUIPMENT, AND FIXTURES PER PRODUCT SELECTION TABLE AND SPECIFICATIONS.
 - CEILING REMOVAL, AS REQUIRED FOR INSTALLATION OF STRUCTURAL TIES, TYPICAL AT ALL FLOORS AT PERIMETER WALLS, SSD.
- 09 FINISHES**
- INTERIOR FINISHES:**
- NEW INTERIOR FINISHES INCLUDING BUT NOT LIMITED TO: FLOORING, WALL BASE, PAINTING WITH PATCH AND REPAIR AT WALLS, CEILINGS, AND TRIM CONDITIONS. SEE PRODUCT SELECTIONS.

KEYNOTES

KEYNOTE ITEM

SSDP

SSDP

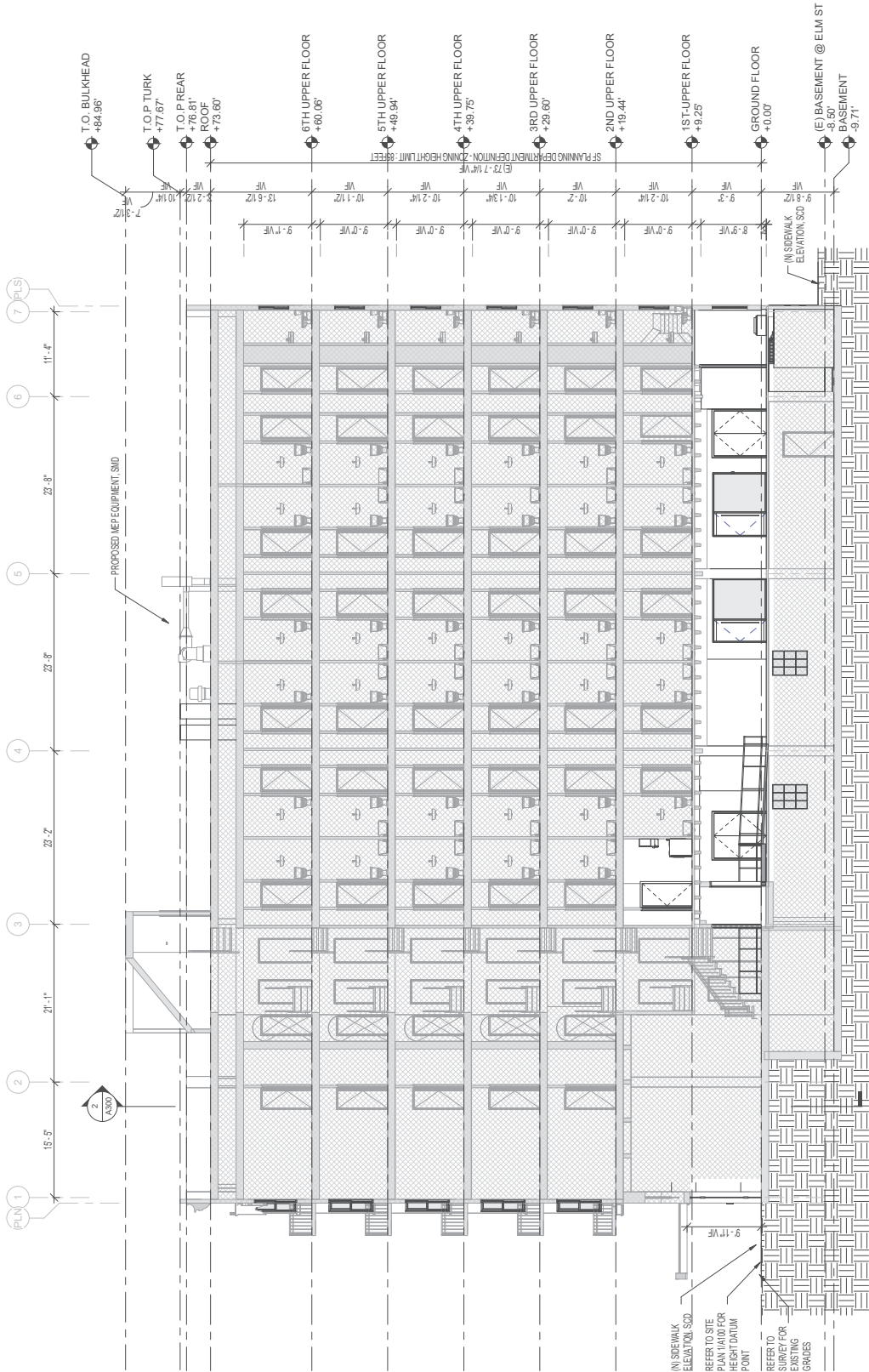
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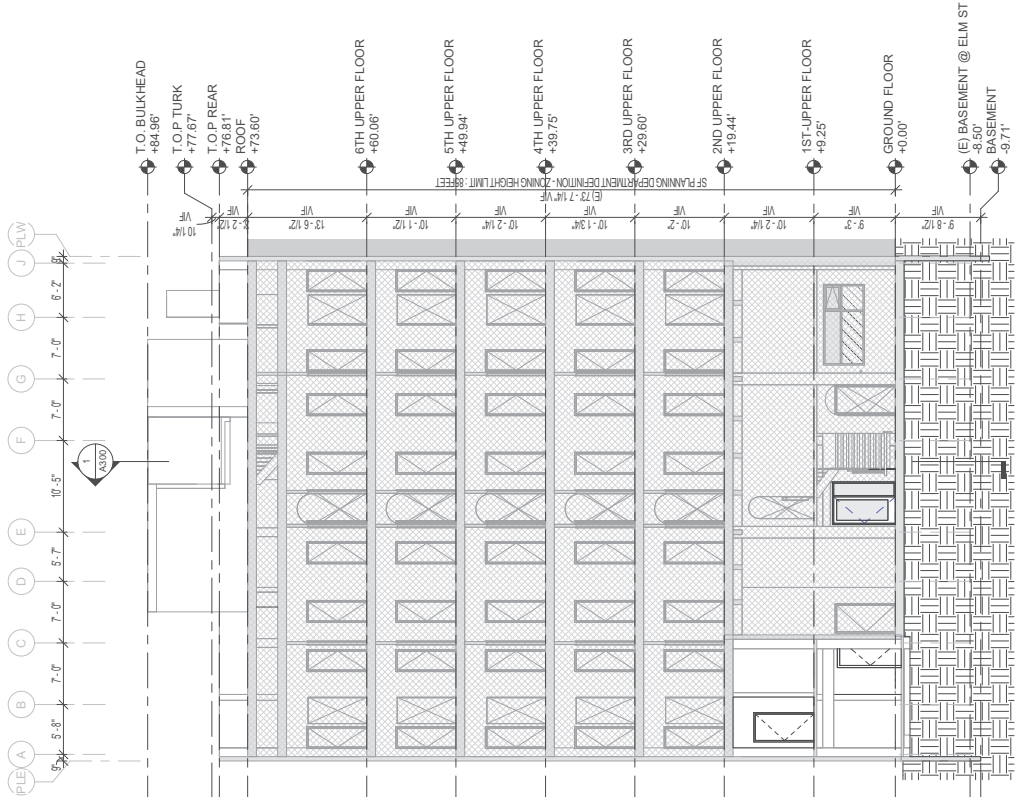
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835 TURK STREET



1 Building Section 1 - N/S
SCALE: 1/8" = 1'-0"



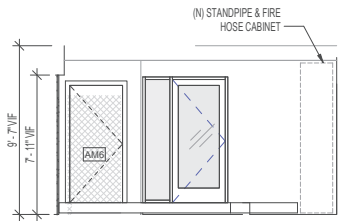
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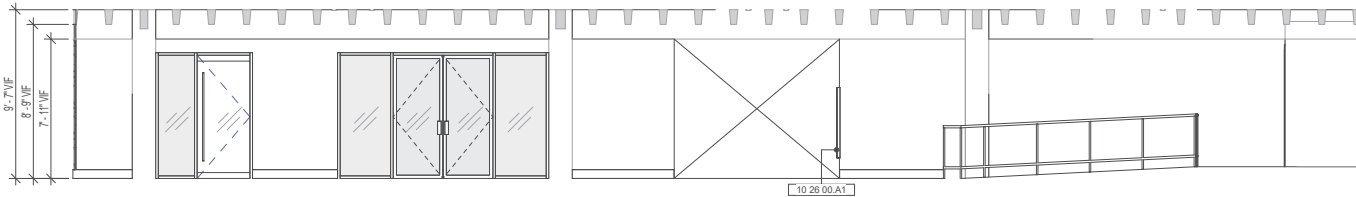
No.	Description	Date
1	SF Planning	03.19.2025

PLOT DATE:	12/19/2024
PROJECT NO:	235
PHASE:	EG
PREPARED BY:	As indicated
SCALE:	As indicated

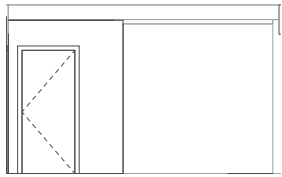
BUILDING SECTIONS



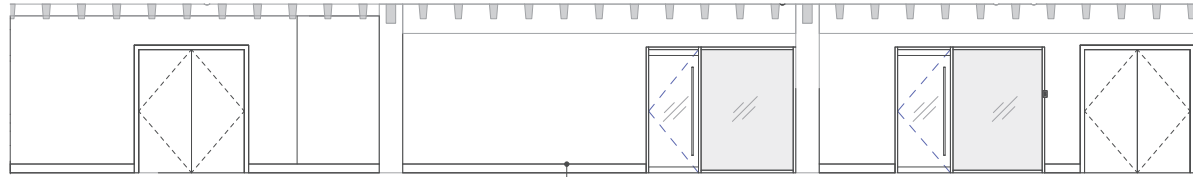
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A405
GROUND FLOOR - COMMON RM 010 - N
SCALE: 1/4" = 1'-0"



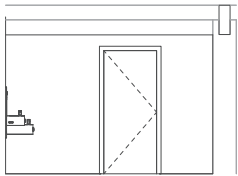
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A405
GROUND FLOOR - COMMON RM 010 - W
SCALE: 1/4" = 1'-0"



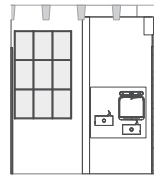
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A405
GROUND FLOOR - COMMON RM 010 - S
SCALE: 1/4" = 1'-0"



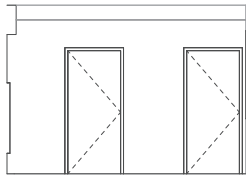
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A405
GROUND FLOOR - COMMON RM 010 - E
SCALE: 1/4" = 1'-0"



8
A405
INT ELEV - GND FLR - WATER STATION - N
SCALE: 1/4" = 1'-0"



7
A405
GROUND FLOOR - WATER STATION - W
SCALE: 1/4" = 1'-0"



6
A405
GROUND FLOOR - WATER STATION - S
SCALE: 1/4" = 1'-0"

FLOOR PLAN LEGEND:

- EXISTING ITEMS TO BE REMOVED
- DOOR/DOOR HARDWARE TO BE DISTURBED OR REMOVED
SEE DOOR SCHEDULE
- NEW DOOR
- EXISTING DOOR
- EXISTING STUD WALLS TO REMAIN
- EXISTING CONCRETE WALL
- NEW INTERIOR PARTITION TO UNDERSIDE OF EXISTING ONE-HOUR
FLOOR/CEILING OR ROOF/CEILING ASSEMBLY U.O.N., SEE SHEET AXX.X AND S.S.D.
- BACKING LOCATION S.S.D.
- AREA NOT IN ARCHITECTURAL SCOPE
- STRUCTURAL BRACED FRAME SCOPE, SSD
- DISTURBED AREA / ARCHITECTURAL SCOPE AS NOTED
- NEW FLOOR CONSTRUCTION
- ROOM IDENTIFICATION SIGNAGE, SEE SHEETS AXX.XX
- WALL TYPE IDENTIFICATION
- WINDOW TYPE IDENTIFICATION, REFER TO WINDOW SCHEDULE
I.S. INTERIOR SECURITY SCREEN
E.S. EXTERIOR SECURITY SCREEN
- DOOR TYPE IDENTIFICATION REFER TO DOOR SCHEDULE
- MBL / M
COM / C
MOBILITY UNIT
COMMUNICATION UNIT
- FE
FIRE EXTINGUISHER, CLASS ABC - SURFACE MOUNTED
- ELEVATIONS ARE A.F.F.
- SEE 9 & 11 / G060 FOR CLEAR FLOOR SPACE &
ACCESSIBLE TURNING SPACE
- SEE 13 / G081 FOR DOOR MANEUVERING
CLEARANCE LEGEND

BUILDING PLAN SHEET NOTES :

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09 FINISHES

INTERIOR FINISHES.

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KEYNOTES

KEYNOTE	ITEM
06 20 00.B1	MDF BASEBOARD
09 65 00.A2	VINYL PLANK FLOORING
10 26 00.A1	CORNER GUARD
22 40 00.A8	ACCESSIBLE DRINKING FOUNTAIN W/ BOTTLE FILLING STATION



Project:

835 TURK STREET

ISSUE INFORMATION

Issued For:

SF PLANNING APPLICATION
03.19.2025

No.	Description	Date:
1	SF Planning	03.19.2025

PLOT DATE: 12/18/2024

PROJECT NO: 2305

PHASE:

PREPARED BY: AUTHOR

SCALE: As indicated

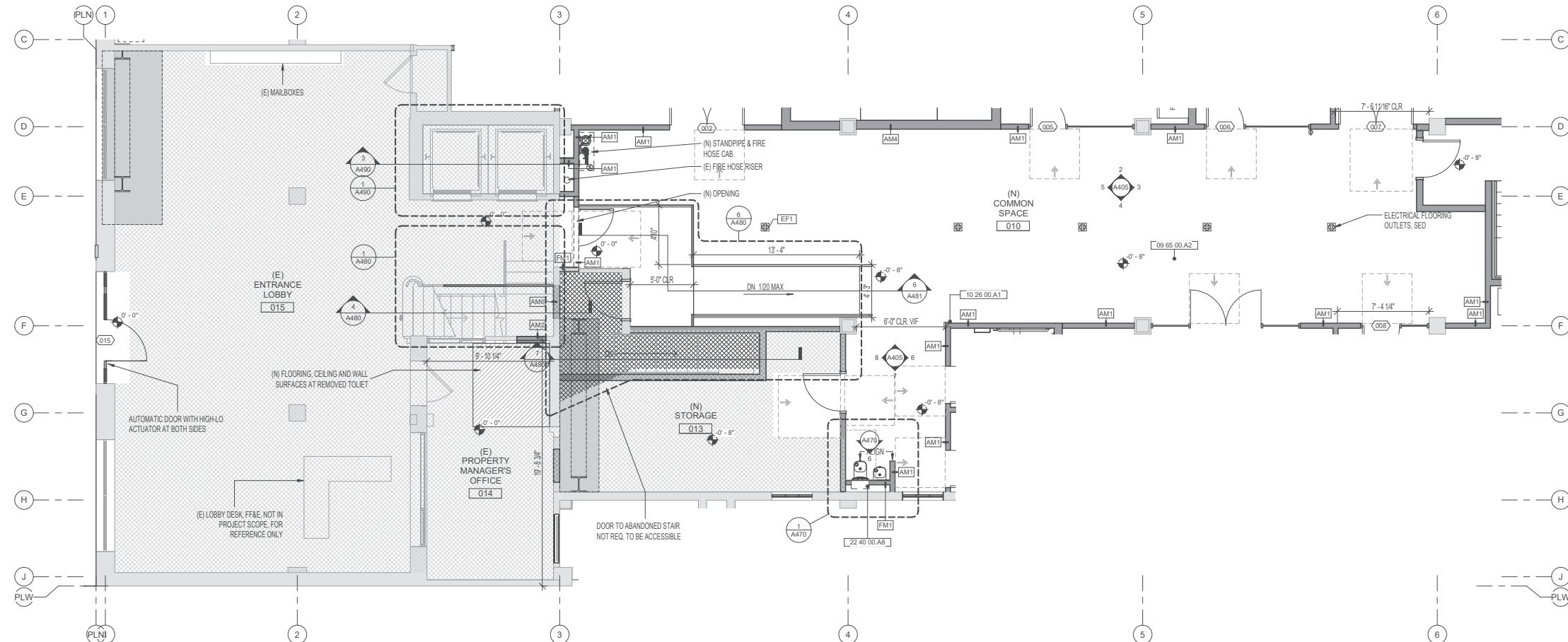
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ENLARGED FLOOR
PLAN - GROUND FLOOR
COMMON SPACE

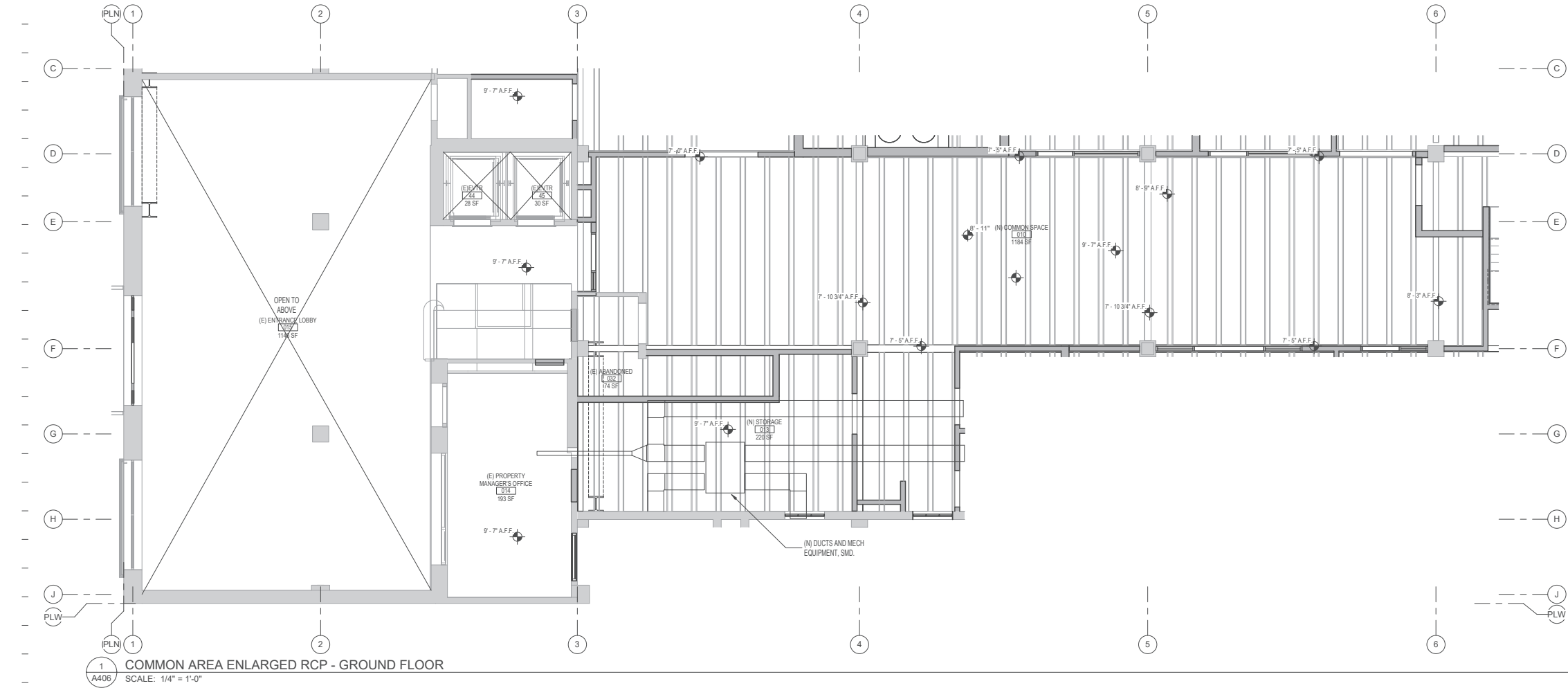
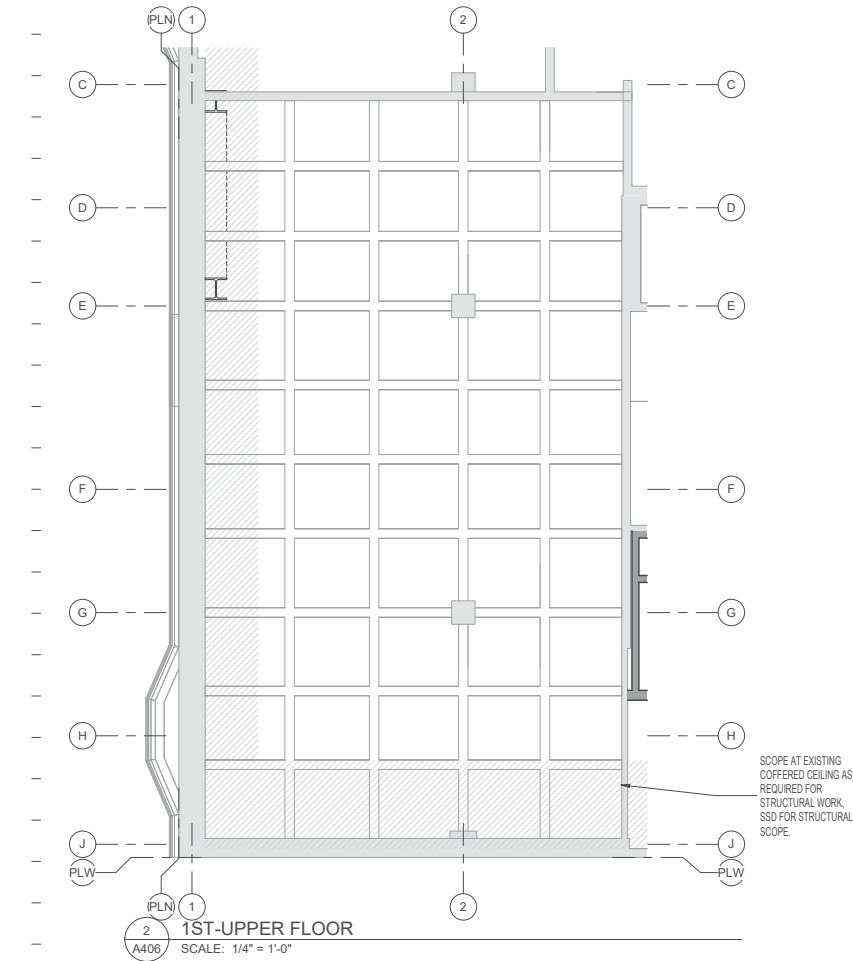
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A405

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1
A405
COMMON AREA ENLARGED FLOOR PLANS - GROUND FLOOR
SCALE: 1/4" = 1'-0"



FLOOR PLAN LEGEND:

- EXISTING ITEMS TO BE REMOVED
- DOOR/DOOR HARDWARE TO BE DISTURBED OR REMOVED
SEE DOOR SCHEDULE
- NEW DOOR
- EXISTING DOOR
- EXISTING STUD WALLS TO REMAIN
- EXISTING CONCRETE WALL
- NEW INTERIOR PARTITION TO UNDERSIDE OF EXISTING ONE-HOUR
FLOOR/CEILING OR ROOF/CEILING ASSEMBLY U.O.N., SEE SHEET AXX.XX AND S.S.D.
- BACKING LOCATION S.S.D.
- AREA NOT IN ARCHITECTURAL SCOPE
- STRUCTURAL BRACED FRAME SCOPE, SSD
- DISTURBED AREA / ARCHITECTURAL SCOPE AS NOTED
- NEW FLOOR CONSTRUCTION
- ROOM IDENTIFICATION SIGNAGE, SEE SHEETS AXX.XX
- WALL TYPE IDENTIFICATION
- WINDOW TYPE IDENTIFICATION, REFER TO WINDOW SCHEDULE
I.S. INTERIOR SECURITY SCREEN
E.S. EXTERIOR SECURITY SCREEN
- DOOR TYPE IDENTIFICATION REFER TO DOOR SCHEDULE
- MOBILITY UNIT
COM / C
- FIRE EXTINGUISHER, CLASS ABC - SURFACE MOUNTED
- ELEVATIONS ARE A.F.F.

SEE 9 & 11 / G060 FOR CLEAR FLOOR SPACE &
ACCESSIBLE TURNING SPACE

SEE 13 / G061 FOR DOOR MANEUVERING
CLEARANCE LEGEND

BUILDING PLAN SHEET NOTES :

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09 FINISHES

INTERIOR FINISHES.

- NEW INTERIOR FINISHES INCLUDING, BUT NOT LIMITED TO, FLOORING, WALL BASE, PAINTING WITH PATCH AND REPAIR AT WALLS, CEILINGS, AND TRIM CONDITIONS. SEE PRODUCT SELECTIONS.



Project:

835 TURK STREET

ISSUE INFORMATION

Issued For:		
SF PLANNING APPLICATION		
03.19.2025		
No.	Description	Date:
1	SF Planning	03.19.2025

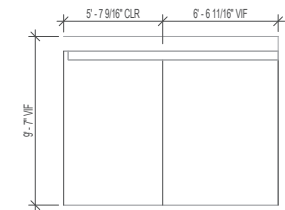
PLOT DATE:	12/18/2024
PROJECT NO:	2305
PHASE:	
PREPARED BY:	Author
SCALE:	As indicated

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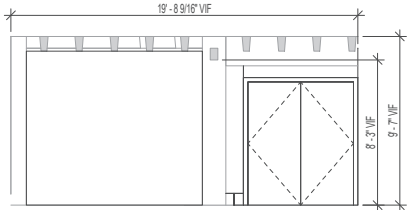
ENLARGED RCP -
GROUND FLOOR
COMMON SPACE

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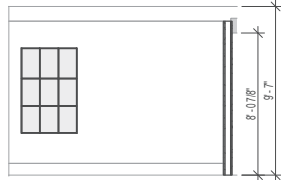
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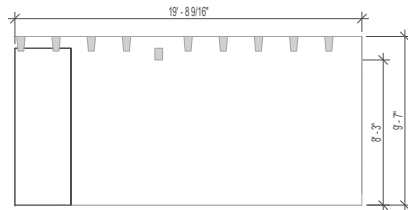
26
A407
GROUND FLR - MAINTENANCE OFFICE 007 - N
SCALE: 1/4" = 1'-0"



25
A407
GROUND FLR - MAINTENANCE OFFICE 007 - W
SCALE: 1/4" = 1'-0"



24
A407
GROUND FLR - MAINTENANCE OFFICE 007 - S
SCALE: 1/4" = 1'-0"



23
A407
GROUND FLR - MAINTENANCE OFFICE 007 - E
SCALE: 1/4" = 1'-0"

BUILDING PLAN SHEET NOTES :

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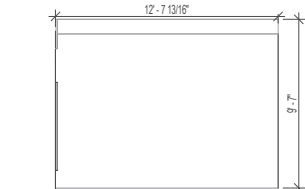
09 FINISHES

INTERIOR FINISHES.

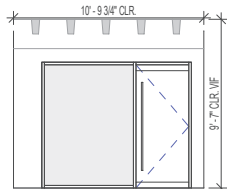
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KEYNOTES

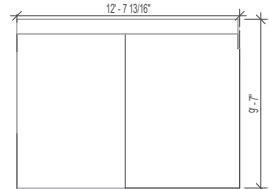
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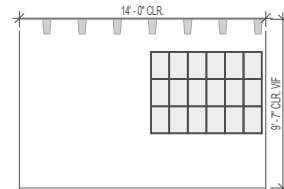
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SCALE: 1/4" = 1'-0"



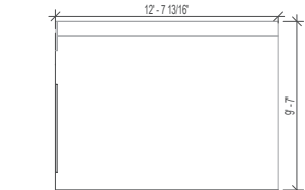
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GROUND FLR - OFFICE 006 - W
SCALE: 1/4" = 1'-0"



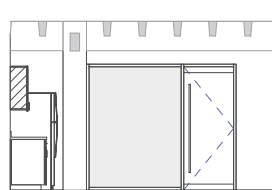
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GROUND FLR - OFFICE 006 - S
SCALE: 1/4" = 1'-0"



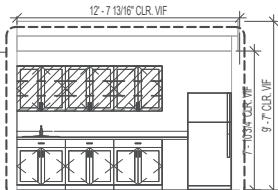
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GROUND FLR - OFFICE 006 - E
SCALE: 1/4" = 1'-0"



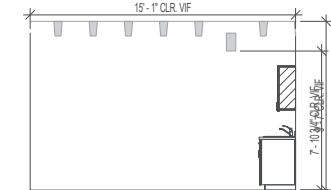
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SCALE: 1/4" = 1'-0"



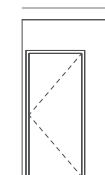
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GROUND FLR - STAFF RM 005 - W
SCALE: 1/4" = 1'-0"



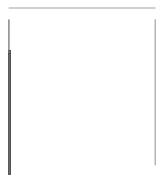
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GROUND FLR - STAFF RM 005 - S
SCALE: 1/4" = 1'-0"



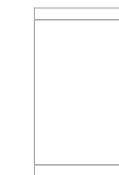
15
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GROUND FLR - STAFF RM 005 - E
SCALE: 1/4" = 1'-0"



14
A407
GROUND FLR - DEBUG RM 003 - S
SCALE: 1/4" = 1'-0"



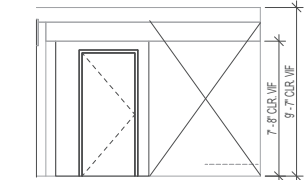
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GROUND FLR - DEBUG RM 003 - W
SCALE: 1/4" = 1'-0"



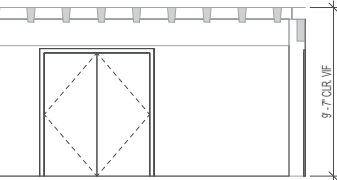
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GROUND FLR - DEBUG RM 003 - N
SCALE: 1/4" = 1'-0"



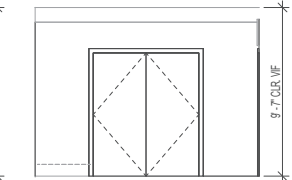
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GROUND FLR - DEBUG RM 003 - E
SCALE: 1/4" = 1'-0"



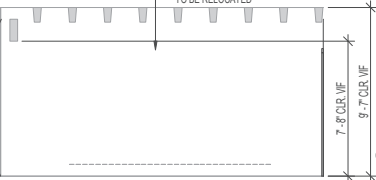
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SCALE: 1/4" = 1'-0"



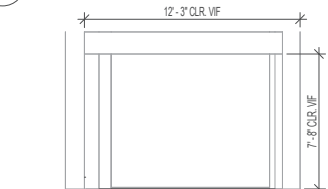
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GROUND FLR - HALLYWAY 002 - W1
SCALE: 1/4" = 1'-0"



8
A407
GROUND FLR - HALLWAY 002 - S1
SCALE: 1/4" = 1'-0"



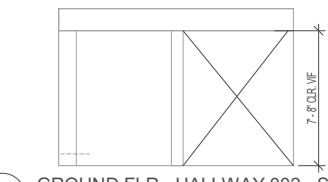
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SCALE: 1/4" = 1'-0"



6
A407
GROUND FLR - HALLWAY 002 - N
SCALE: 1/4" = 1'-0"



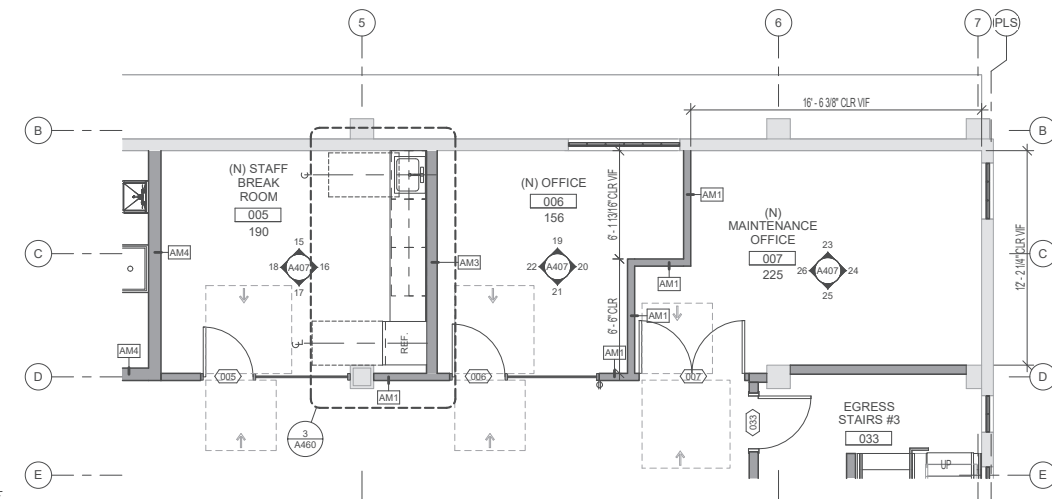
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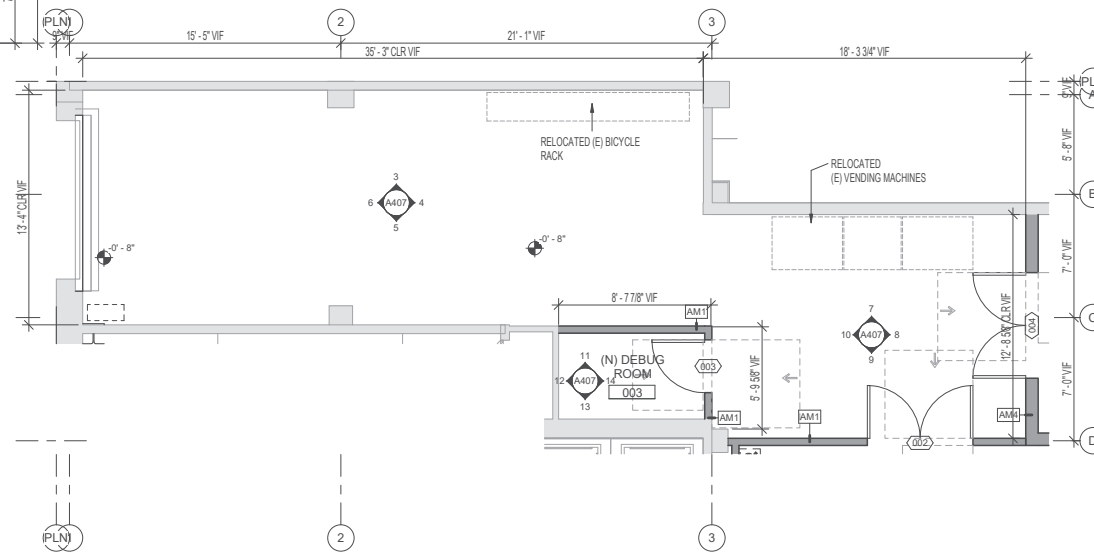
4
A407
GROUND FLR - HALLWAY 002 - S
SCALE: 1/4" = 1'-0"



3
A407
GROUND FLR - HALLWAY 002 - E
SCALE: 1/4" = 1'-0"



2
A407
ENLARGED PLAN - GROUND COMMON AREAS A
SCALE: 1/4" = 1'-0"



1
A407
ENLARGED PLAN - GROUND FLOOR 010 & 016
SCALE: 1/4" = 1'-0"



Project:

835 TURK STREET

ISSUE INFORMATION

Issued For:

SF PLANNING APPLICATION
03.19.2025

No.	Description	Date:
1	SF Planning	03.19.2025

PLOT DATE: 12/18/2024
PROJECT NO: 2305
PHASE:
PREPARED BY: Author
SCALE: As indicated
Sheet Title:

ENLARGED INT ELEV -
GROUND FLOOR
COMMON SPACE

Sheet No.:

A407

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BUILDING PLAN SHEET NOTES :

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- 09 FINISHES
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KEYNOTES

KEYNOTE	ITEM
09 68 00.A2	FORBO FLOTEX CARPET TILE
11 02 00.A1	STACKING WASHER AND DRYER
11 02 00.B2	DRYER
11 02 00.C1	CHANCE DISPENSER, N.I.C.
22 30 00.A1	FLOOR DRAIN, S.P.D.
22 40 00.A4	MOP SINK



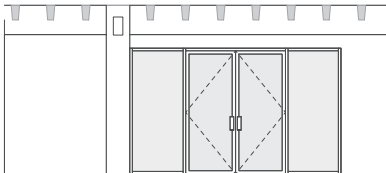
9 GROUND FLR - OFFICE/MEETING 009 - N
A408 SCALE: 1/4" = 1'-0"



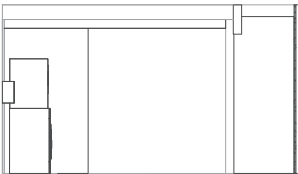
8 GROUND FLR - OFFICE/MEETING 009 - W
A408 SCALE: 1/4" = 1'-0"



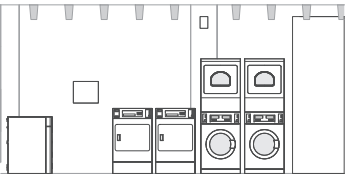
7 GROUND FLR - OFFICE/MEETING 009 - S
A408 SCALE: 1/4" = 1'-0"



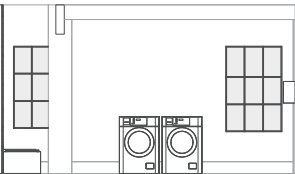
6 GROUND FLR - OFFICE/MEETING 009 - E
A408 SCALE: 1/4" = 1'-0"



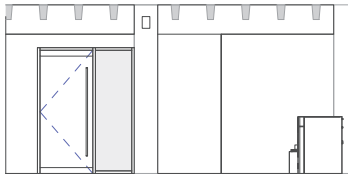
5 GROUND FLR - LAUNDRY 008 - N
A408 SCALE: 1/4" = 1'-0"



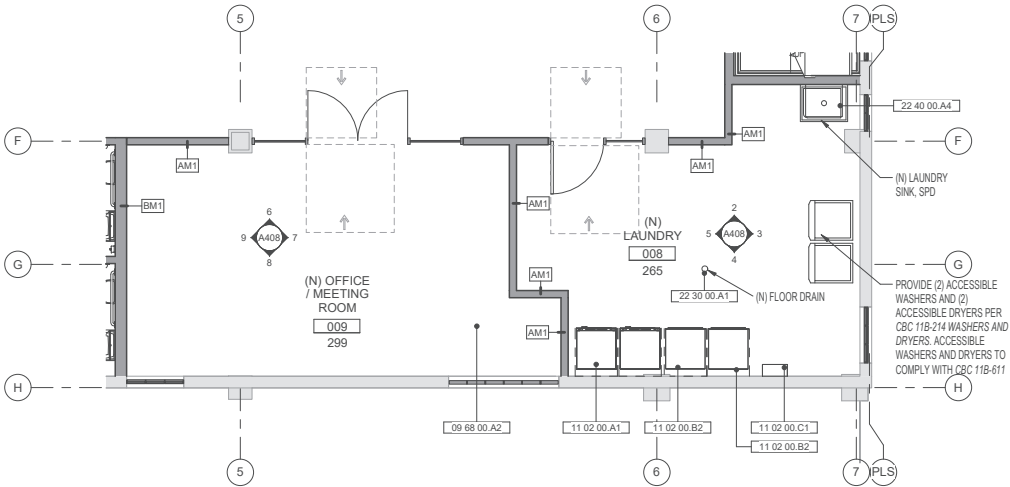
4 GROUND FLR - LAUNDRY 008 - W
A408 SCALE: 1/4" = 1'-0"



3 GROUND FLR - LAUNDRY 008 - S
A408 SCALE: 1/4" = 1'-0"



2 GROUND FLR - LAUNDRY 008 - E
A408 SCALE: 1/4" = 1'-0"



1 ENLARGED PLAN - GROUND COMMON AREAS B
A408 SCALE: 1/4" = 1'-0"



Project:

ISSUE INFORMATION

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SF PLANNING APPLICATION
03.19.2025

No.	Description	Date:
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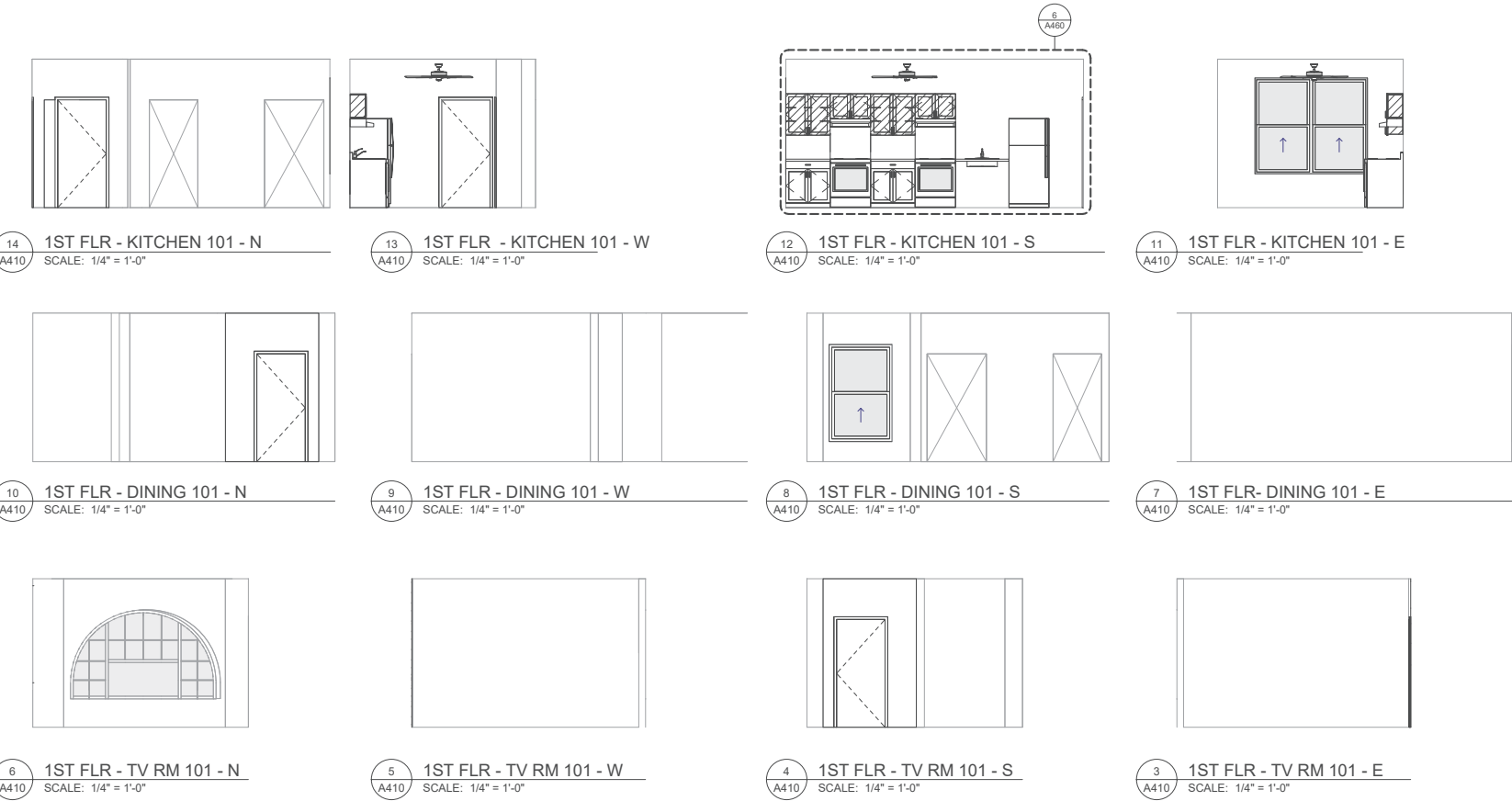
PLOT DATE: 12/18/2024
PROJECT NO: 2305
PHASE:
PREPARED BY: Author
SCALE: As indicated

Sheet Title:

ENLARGED INT ELEV -
GROUND FLOOR
COMMON SPACE

Sheet No.:

A408



FLOOR PLAN LEGEND:

- EXISTING ITEMS TO BE REMOVED
- DOOR/DOOR HARDWARE TO BE DISTURBED OR REMOVED SEE DOOR SCHEDULE
- NEW DOOR
- EXISTING DOOR
- EXISTING STUD WALLS TO REMAIN
- EXISTING CONCRETE WALL
- NEW INTERIOR PARTITION TO UNDERSIDE OF EXISTING ONE-HOUR FLOOR/CEILING OR ROOF/CEILING ASSEMBLY U.O.N., SEE SHEET A.X.X AND S.S.D.
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- WALL TYPE IDENTIFICATION
- WINDOW TYPE IDENTIFICATION, REFER TO WINDOW SCHEDULE
I.S. INTERIOR SECURITY SCREEN
E.S. EXTERIOR SECURITY SCREEN
- DOOR TYPE IDENTIFICATION REFER TO DOOR SCHEDULE
- MOBILITY UNIT
COM / C
- FIRE EXTINGUISHER, CLASS ABC - SURFACE MOUNTED
- ELEVATIONS ARE A & F

SEE 9 & 11 / G060 FOR CLEAR FLOOR SPACE & ACCESSIBLE TURNING SPACE

SEE 13 / G061 FOR DOOR MANEUVERING CLEARANCE LEGEND

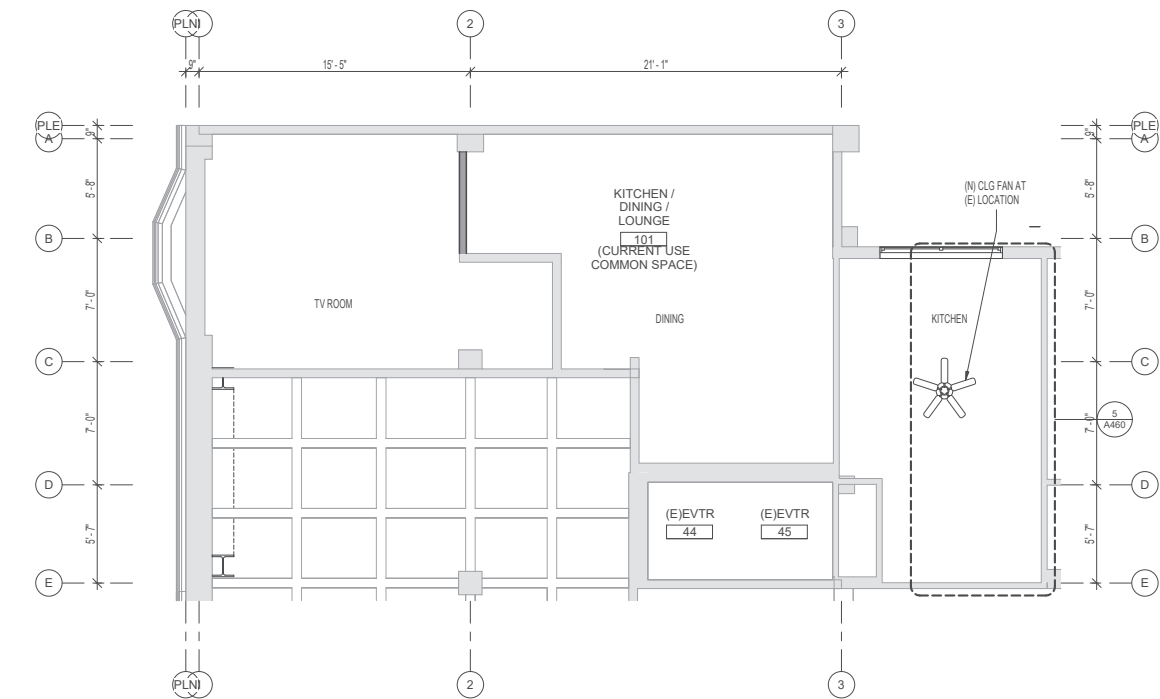
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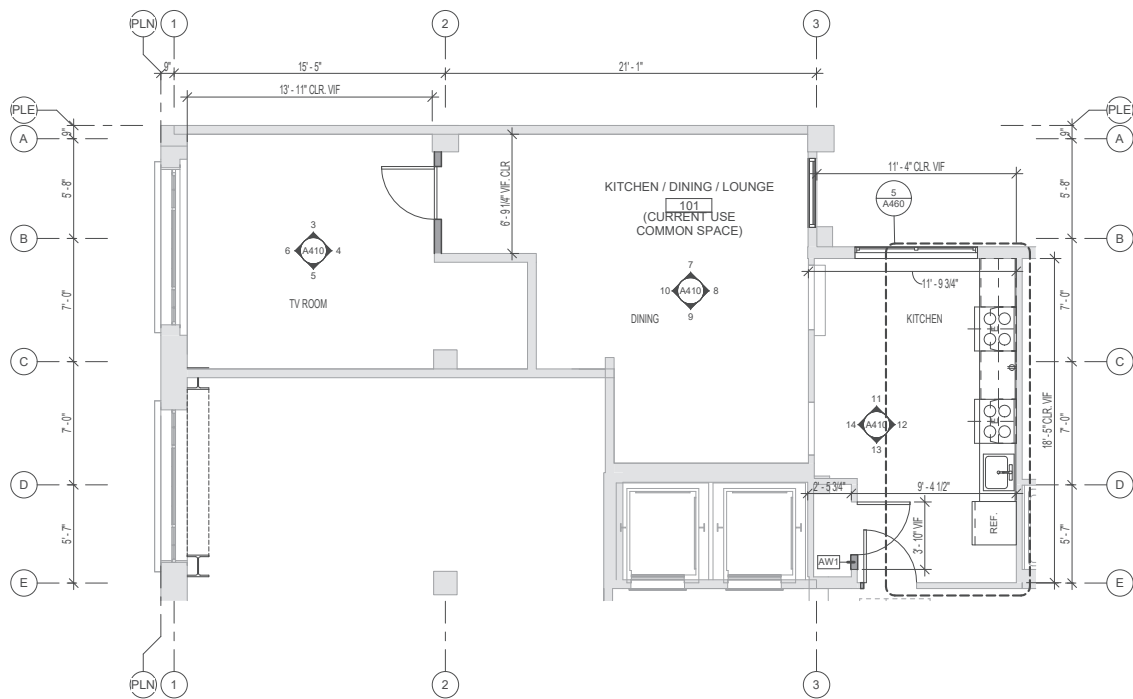
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2 1ST-UPPER FLOOR RCP - COMMOM
SCALE: 1/4" = 1'-0"



1 1ST-UPPER FLOOR - COMMON
SCALE: 1/4" = 1'-0"



Project:

835 TURK STREET

ISSUE INFORMATION

Issued For:

SF PLANNING APPLICATION

03.19.2025

No.	Description	Date:
1	SF Planning	03.19.2025

PLOT DATE:	12/18/2024
PROJECT NO:	2305
PHASE:	
PREPARED BY:	Author
SCALE:	As indicated

Sheet Title:

ENLARGED FPS, RCPS
AND ELEVATIONS -
1ST-6TH FLOOR
COMMON

Sheet No.:

A410

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KEYNOTES

KEYNOTE ITEM

FLOOR PLAN LEGEND:

- EXISTING ITEMS TO BE REMOVED
- DOOR/DOOR HARDWARE TO BE DISTURBED OR REMOVED
SEE DOOR SCHEDULE
- NEW DOOR
- EXISTING DOOR
- EXISTING STUD WALLS TO REMAIN
- EXISTING CONCRETE WALL
- NEW INTERIOR PARTITION TO UNDERSIDE OF EXISTING ONE-HOUR FLOOR/CEILING OR ROOF/CEILING ASSEMBLY U.O.N., SEE SHEET AXX.X AND S.S.D.
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COMMUNICATION UNIT
- FIRE EXTINGUISHER, CLASS ABC - SURFACE MOUNTED
- ELEVATIONS ARE A.F.F

SEE 9 & 11 / G060 FOR CLEAR FLOOR SPACE & ACCESSIBLE TURNING SPACE

SEE 13 / G061 FOR DOOR MANEUVERING CLEARANCE LEGEND



Project:

835 TURK STREET

ISSUE INFORMATION

Issued For:		
SF PLANNING APPLICATION		
03.19.2025		
No.	Description	Date:
1	SF Planning	03.19.2025

PLOT DATE:	12/18/2024
PROJECT NO:	2305
PHASE:	
PREPARED BY:	Author
SCALE:	As indicated

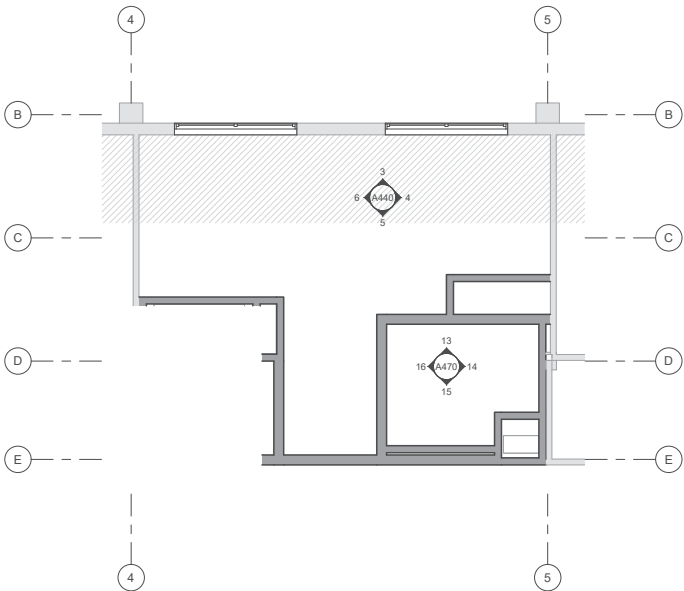
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ENLARGED PLAN, RCP
AND ELEVATIONS -
MOBILITY UNIT

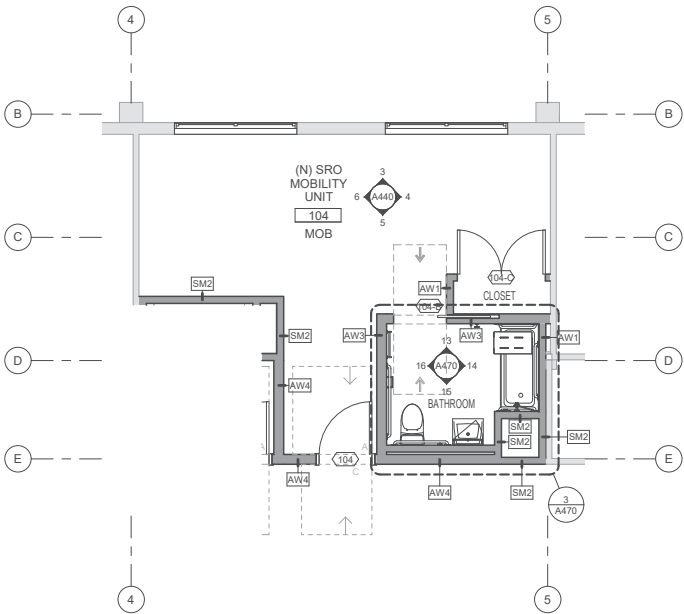
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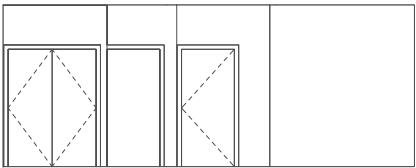
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2 ENLARGED RCP - TYP MOBILITY UNIT 104 - PROPOSED
SCALE: 1/4" = 1'-0"



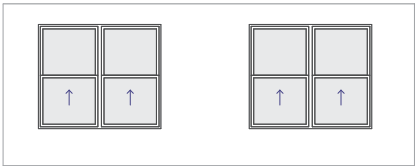
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SCALE: 1/4" = 1'-0"



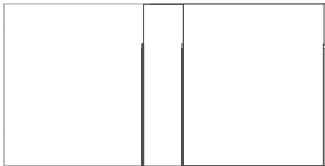
5 INT ELEV - TYP MOBILITY UNIT 104 - W
SCALE: 1/4" = 1'-0"



6 INT ELEV - TYP MOBILITY UNIT 104 - N
SCALE: 1/4" = 1'-0"



3 INT ELEV - TYP MOBILITY UNIT 104 - E
SCALE: 1/4" = 1'-0"



4 INT ELEV - TYP MOBILITY UNIT 104 - S
SCALE: 1/4" = 1'-0"

BUILDING PLAN SHEET NOTES :

GENERAL NOTES:
1. ALL DIMENSIONS ARE TO FACE OF FINISH U.O.N. ALIGN FACE OF FINISH TO EXISTING FACE OF FINISH WHERE SUCH FRAMING CONDITIONS OCCUR.
2. ACCESSIBILITY REQUIREMENTS SHALL BE VERIFIED IN FIELD BY CONTRACTOR. CONDITIONS SHALL BE COORDINATED WITH ARCHITECT PRIOR TO COMPLETION. SEE ACCESSIBILITY SHEETS FOR ADDITIONAL INFORMATION.
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5. ALL EXISTING CONDITIONS TO REMAIN WHICH CORRELATE TO PROPOSED SCOPE OF WORK SHALL BE EVALUATED BY OWNER FOR DAMAGE AND REPAIR OR REPLACEMENT.
6. PROVIDE NEW FINISHES, FURNISHINGS, EQUIPMENT, AND FIXTURES PER PRODUCT SELECTION TABLE AND SPECIFICATIONS.
7. CEILING REMOVAL AS REQUIRED FOR INSTALLATION OF STRUCTURAL TIES, TYPICAL AT ALL FLOORS AT PERIMETER WALLS, SSD

09 FINISHES
INTERIOR FINISHES.
1. NEW INTERIOR FINISHES INCLUDING, BUT NOT LIMITED TO, FLOORING, WALL BASE, PAINTING WITH PATCH AND REPAIR AT WALLS, CEILINGS, AND TRIM CONDITIONS. SEE PRODUCT SELECTIONS.

KEYNOTES

KEYNOTE ITEM

FLOOR PLAN LEGEND:

- EXISTING ITEMS TO BE REMOVED
- DOOR/DOOR HARDWARE TO BE DISTURBED OR REMOVED
SEE DOOR SCHEDULE
- NEW DOOR
- EXISTING DOOR
- EXISTING STUD WALLS TO REMAIN
- EXISTING CONCRETE WALL
- NEW INTERIOR PARTITION TO UNDERSIDE OF EXISTING ONE-HOUR
FLOOR/CEILING OR ROOF/CEILING ASSEMBLY U.O.N., SEE SHEET A1.X.X AND S.S.D.
- BACKING LOCATION S.S.D.
- AREA NOT IN ARCHITECTURAL SCOPE
- STRUCTURAL BRACED FRAME SCOPE, SSD
- DISTURBED AREA / ARCHITECTURAL SCOPE AS NOTED
- NEW FLOOR CONSTRUCTION
- ROOM IDENTIFICATION SIGNAGE, SEE SHEETS AXX.XX
- WALL TYPE IDENTIFICATION
- WINDOW TYPE IDENTIFICATION, REFER TO WINDOW SCHEDULE
I.S. INTERIOR SECURITY SCREEN
E.S. EXTERIOR SECURITY SCREEN
- DOOR TYPE IDENTIFICATION REFER TO DOOR SCHEDULE
- MOBILITY UNIT
COMMUNICATION UNIT
- FIRE EXTINGUISHER, CLASS ABC - SURFACE MOUNTED
- ELEVATIONS ARE A-F

SEE 9 & 11 / G060 FOR CLEAR FLOOR SPACE & ACCESSIBLE TURNING SPACE

SEE 13 / G061 FOR DOOR MANEUVERING CLEARANCE LEGEND



Project:

835 TURK STREET

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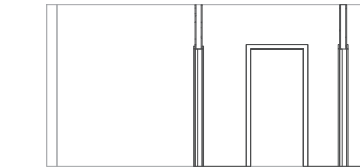
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PROJECT NO:	2305
PHASE:	
PREPARED BY:	Author
SCALE:	As indicated

ENLARGED PLAN, RCP,
AND ELEVATIONS -
MGR'S UNIT

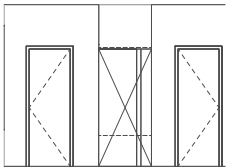
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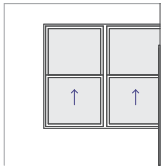
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A441 SCALE: 1/4" = 1'-0"



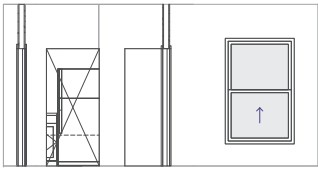
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A441 SCALE: 1/4" = 1'-0"



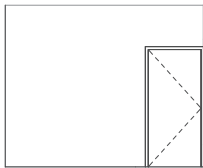
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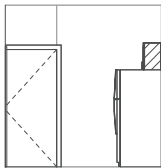
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A441 SCALE: 1/4" = 1'-0"



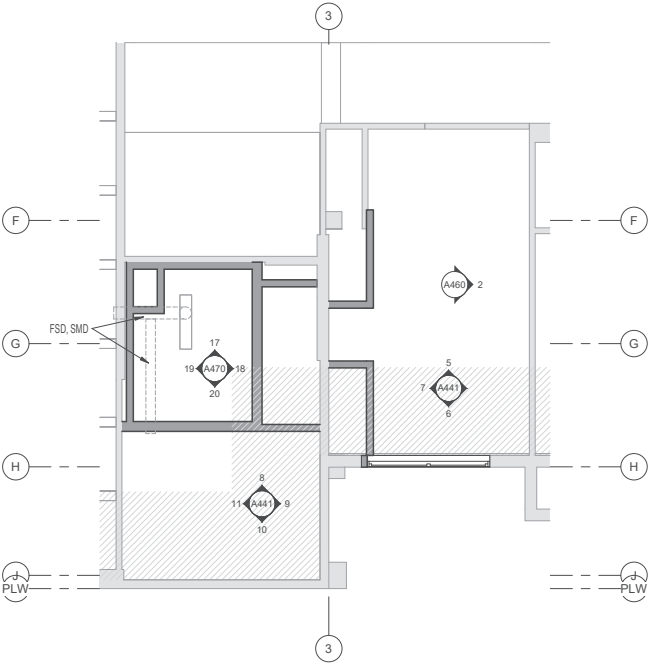
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A441 SCALE: 1/4" = 1'-0"



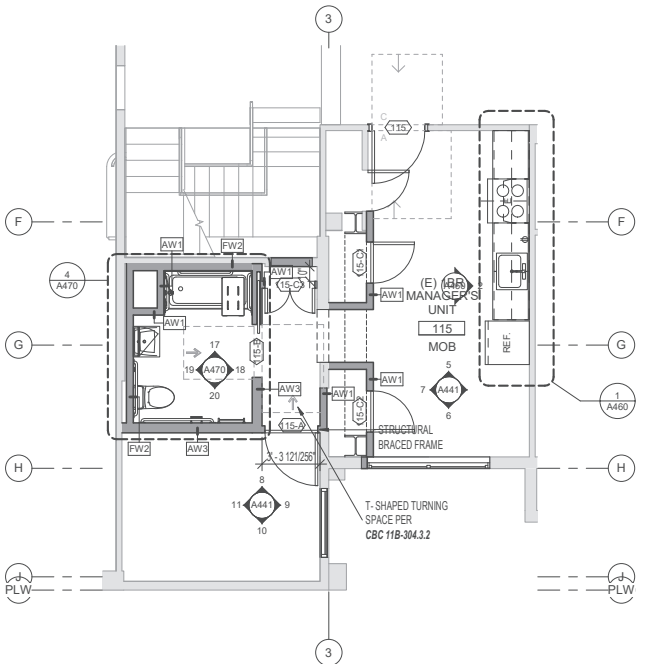
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A441 SCALE: 1/4" = 1'-0"



5 INT ELEV - MANAGERS UNIT 115 - E
A441 SCALE: 1/4" = 1'-0"



17 ENLARGED RCP - MANAGERS UNIT 115 PROPOSED
A441 SCALE: 1/4" = 1'-0"



16 ENLARGED PLAN - MANAGERS UNIT 115 PROPOSED
A441 SCALE: 1/4" = 1'-0"

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09 FINISHES
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KEYNOTES

KEYNOTE ITEM

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- BACKING LOCATION S.S.D.
- AREA NOT IN ARCHITECTURAL SCOPE
- STRUCTURAL BRACED FRAME SCOPE, SSD
- DISTURBED AREA / ARCHITECTURAL SCOPE AS NOTED
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- ROOM IDENTIFICATION SIGNAGE, SEE SHEETS AXX.XX
- WALL TYPE IDENTIFICATION
- WINDOW TYPE IDENTIFICATION, REFER TO WINDOW SCHEDULE
I.S. INTERIOR SECURITY SCREEN
E.S. EXTERIOR SECURITY SCREEN
- DOOR TYPE IDENTIFICATION REFER TO DOOR SCHEDULE
- MBL / M
COM / C
MOBILITY UNIT
COMMUNICATION UNIT
- FIRE EXTINGUISHER, CLASS ABC - SURFACE MOUNTED
- ELEVATIONS ARE A-F

SEE 9 & 11 / G060 FOR CLEAR FLOOR SPACE & ACCESSIBLE TURNING SPACE

SEE 13 / G061 FOR DOOR MANEUVERING CLEARANCE LEGEND



Project:

835 TURK STREET

ISSUE INFORMATION

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PREPARED BY: Author
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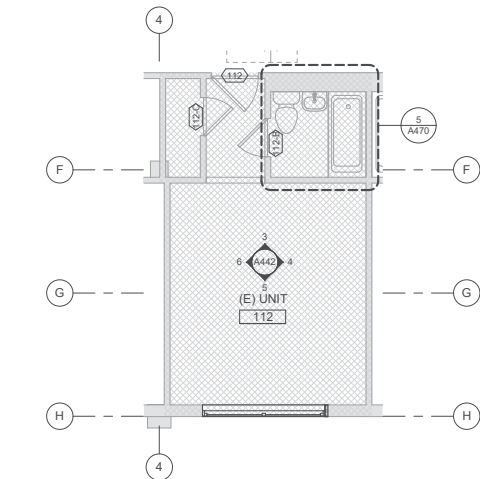
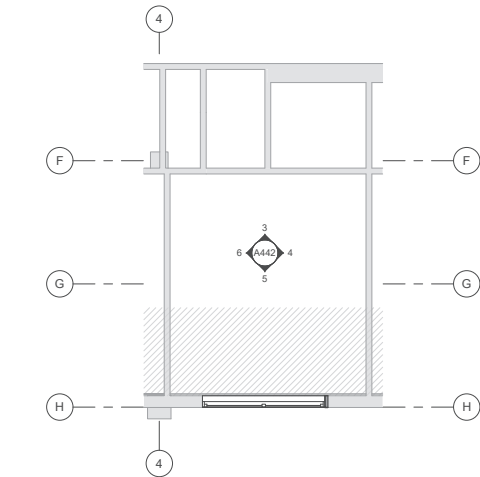
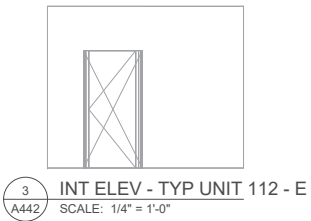
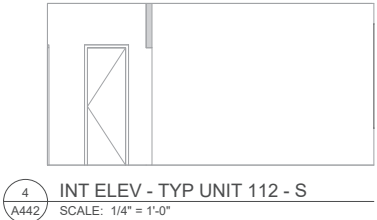
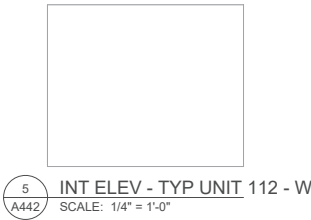
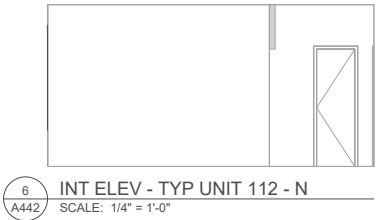
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ENLARGED PLAN, RCP,
AND ELEVATIONS - TYP
EXISTING UNIT

Sheet No.:

A442

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1
A442

ENLARGED PLAN - TYP EXISITING UNIT 112 - PROPOSED
SCALE: 1/4" = 1'-0"

BUILDING PLAN SHEET NOTES :

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09 FINISHES

INTERIOR FINISHES.

1. NEW INTERIOR FINISHES INCLUDING, BUT NOT LIMITED TO, FLOORING, WALL BASE, PAINTING WITH PATCH AND REPAIR AT WALLS, CEILINGS, AND TRIM CONDITIONS. SEE PRODUCT SELECTIONS.

KEYNOTES

KEYNOTE	ITEM
11 30 00.A1	RANGE
11 30 00.A3	REFRIGERATOR
11 30 00.A4	RANGE HOOD
12 32 00.S1	WOOD VENEER CASEWORK
12 32 00.S2	REMOVABLE WOOD VENEER BASE CABINET. AT KITCHENS, SEE 18, 19, 23 & 24 ON GO.GC, 22A10.14 & 23A10.14. AT BATHS, SEE 8 & 9 GO.GC & 22A10.14.
12 36 00.A2	STAINLESS STEEL BACKSPLASH AT RANGE 30"W X 30"H
26 00 00.S2	CABINET FACE MOUNT RECEPTACLE, S.E.D.



Project:

835 TURK STREET

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PREPARED BY: Author
SCALE: As indicated

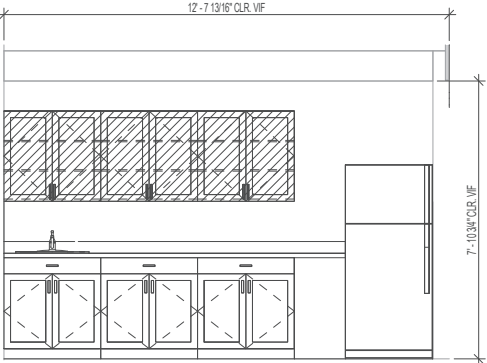
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ENLARGED KITCHEN
PLANS & ELEVATIONS

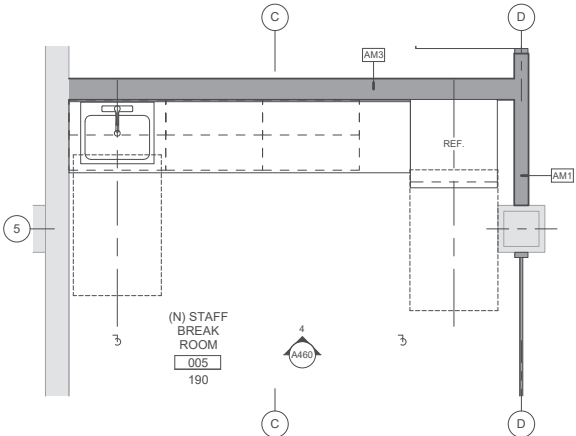
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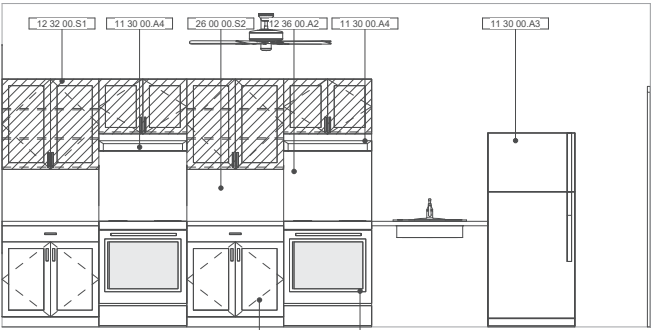
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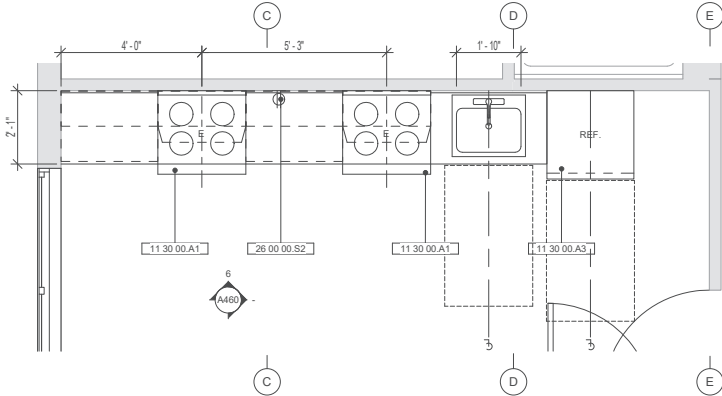
4 INT ELEV - STAFF RM 005 - S
SCALE: 1/2" = 1'-0"



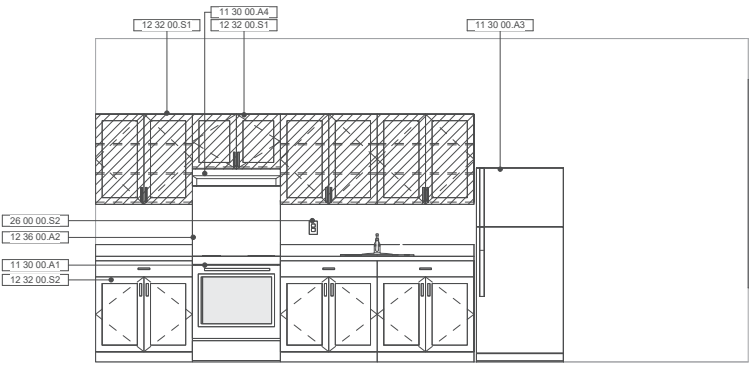
3 ENLARGED PLAN - GROUND FLR - STAFF RM KITCHEN 005
SCALE: 1/2" = 1'-0"



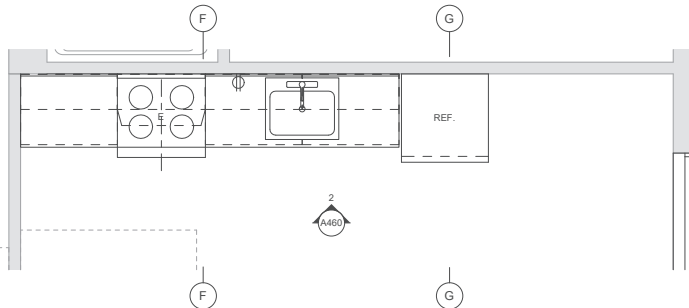
6 INT ELEV - COMMON KITCHEN 101 - S
SCALE: 1/2" = 1'-0"



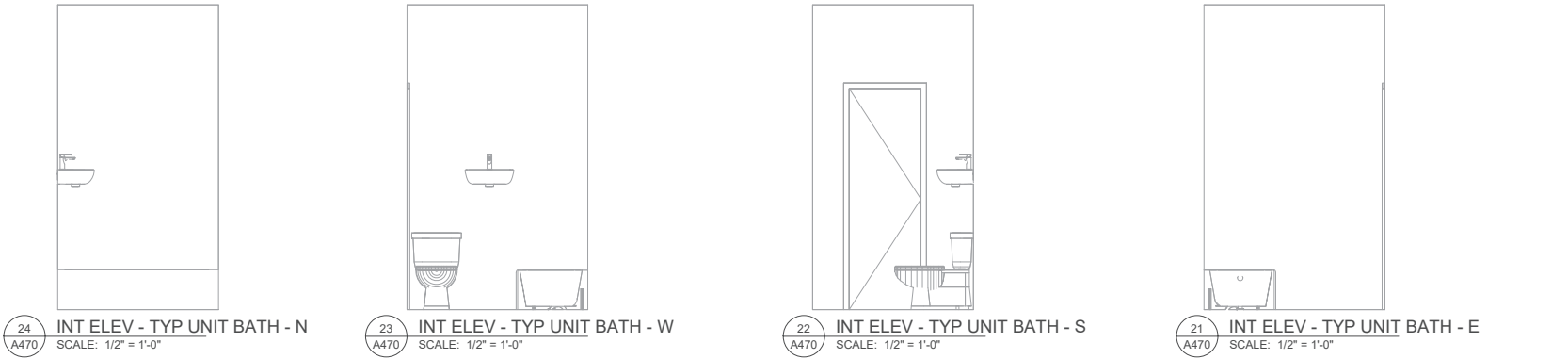
5 ENLARGED PLAN - 1ST-UPPER FLR - COMMON KITCHEN 101
SCALE: 1/2" = 1'-0"



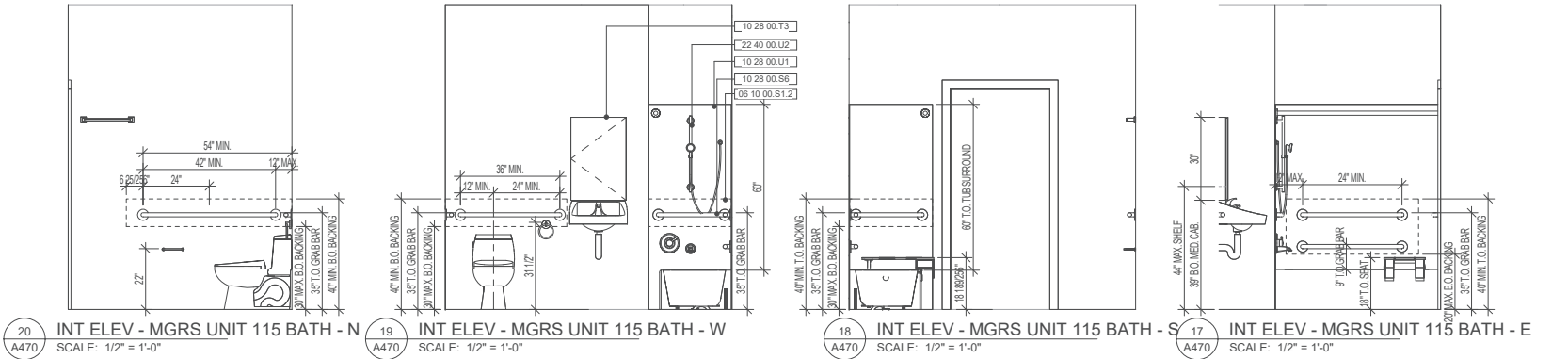
2 INT ELEV - MANAGERS UNIT 115 KITCHEN - S
SCALE: 1/2" = 1'-0"



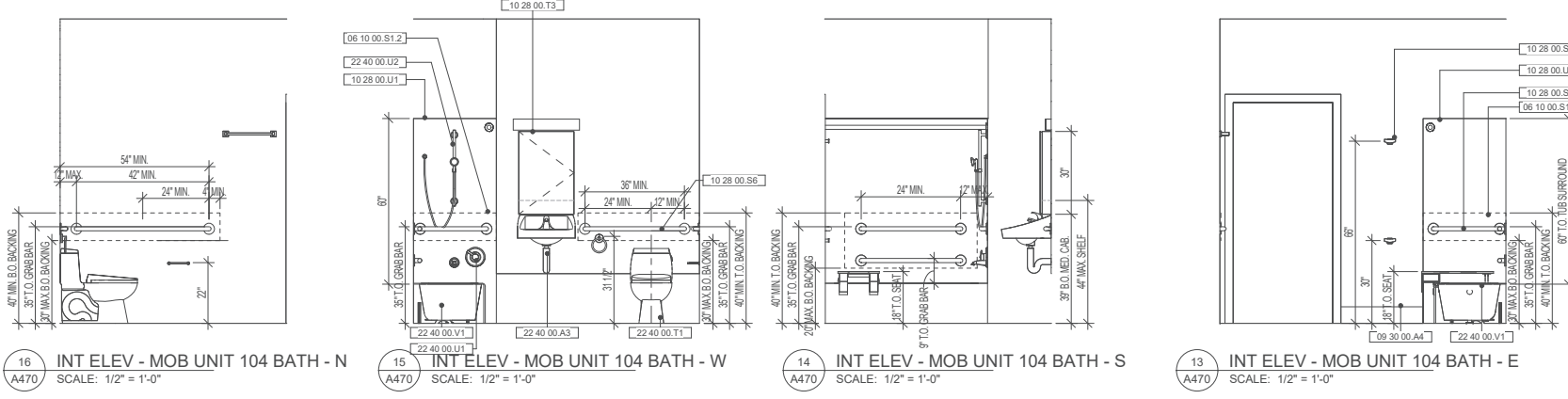
1 ENLARGED PLAN - 1ST-UPPER FLR - MANAGERS UNIT 115 KITCHEN
SCALE: 1/2" = 1'-0"



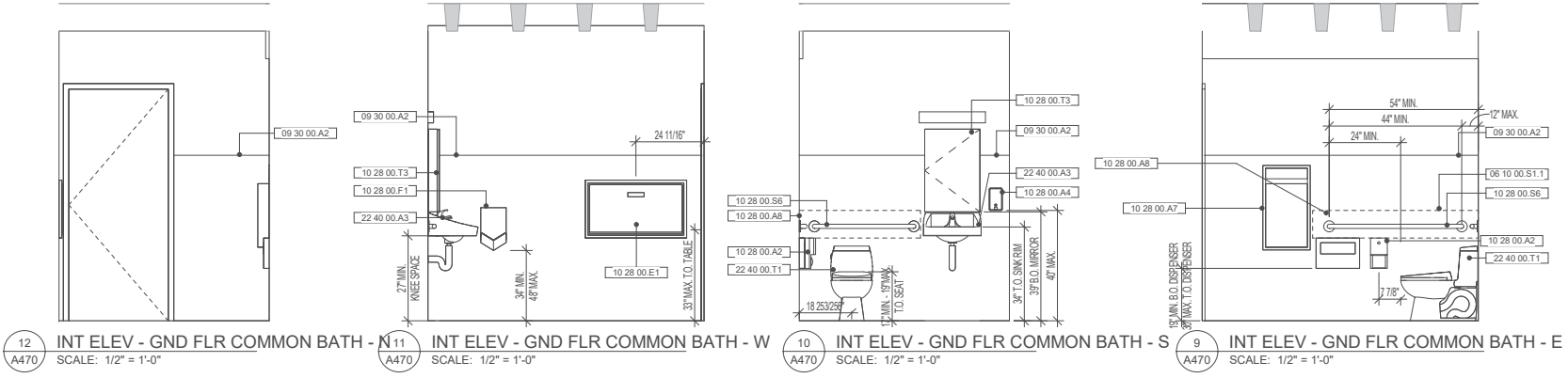
24 INT ELEV - TYP UNIT BATH - N SCALE: 1/2" = 1'-0"
23 INT ELEV - TYP UNIT BATH - W SCALE: 1/2" = 1'-0"
22 INT ELEV - TYP UNIT BATH - S SCALE: 1/2" = 1'-0"
21 INT ELEV - TYP UNIT BATH - E SCALE: 1/2" = 1'-0"



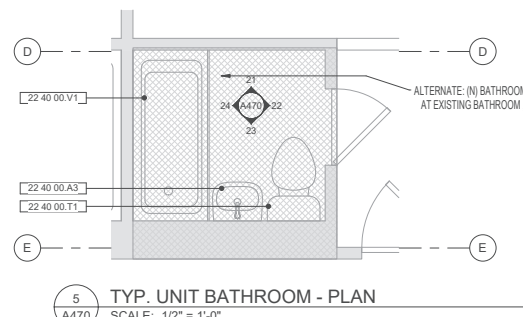
20 INT ELEV - MGRS UNIT 115 BATH - N SCALE: 1/2" = 1'-0"
19 INT ELEV - MGRS UNIT 115 BATH - W SCALE: 1/2" = 1'-0"
18 INT ELEV - MGRS UNIT 115 BATH - S SCALE: 1/2" = 1'-0"
17 INT ELEV - MGRS UNIT 115 BATH - E SCALE: 1/2" = 1'-0"



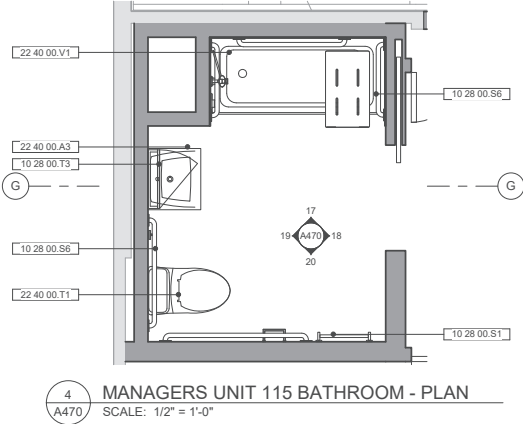
16 INT ELEV - MOB UNIT 104 BATH - N SCALE: 1/2" = 1'-0"
15 INT ELEV - MOB UNIT 104 BATH - W SCALE: 1/2" = 1'-0"
14 INT ELEV - MOB UNIT 104 BATH - S SCALE: 1/2" = 1'-0"
13 INT ELEV - MOB UNIT 104 BATH - E SCALE: 1/2" = 1'-0"



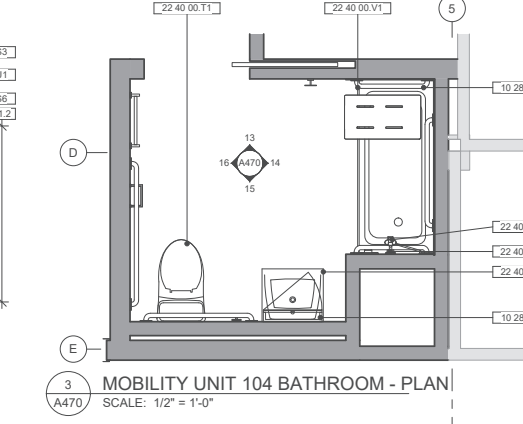
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11 INT ELEV - GND FLR COMMON BATH - W SCALE: 1/2" = 1'-0"
10 INT ELEV - GND FLR COMMON BATH - S SCALE: 1/2" = 1'-0"
9 INT ELEV - GND FLR COMMON BATH - E SCALE: 1/2" = 1'-0"
6 INT ELEV - GND FLR DRINKING STATION SCALE: 1/2" = 1'-0"



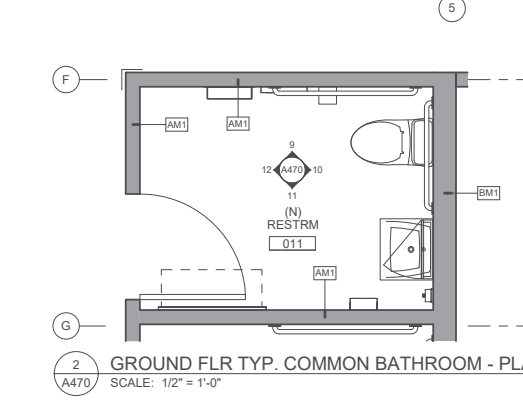
5 TYP. UNIT BATHROOM - PLAN SCALE: 1/2" = 1'-0"



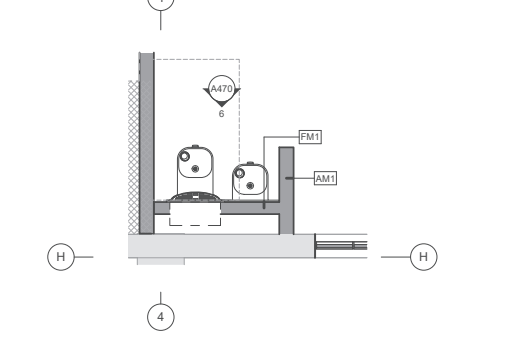
4 MANAGERS UNIT 115 BATHROOM - PLAN SCALE: 1/2" = 1'-0"



3 MOBILITY UNIT 104 BATHROOM - PLAN SCALE: 1/2" = 1'-0"



2 GROUND FLR TYP. COMMON BATHROOM - PLAN SCALE: 1/2" = 1'-0"



1 ENLARGED FLOOR PLANS - GROUND FLR -DRINKING STATION SCALE: 1/2" = 1'-0"

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KEYNOTES

KEYNOTE	ITEM
06 10 00.S1.1	GRAB BAR BACKING
06 10 00.S1.2	GRAB BAR BACKING @ TUB SURROUNDS
09 30 00.A2	CERAMIC TILE WAINSCOT
09 30 00.A4	CERAMIC TILE BASE 9" TALL
10 28 00.A2	TOILET PAPER DISPENSER
10 28 00.A4	SOAP DISPENSER
10 28 00.A7	WASTE RECEPTACLE
10 28 00.A8	TOILET SEAT COVER DISPENSER
10 28 00.E1	BABY CHANGING TABLE, RECESSED FOLD-DOWN
10 28 00.F1	ELECTRIC HAND DRYER
10 28 00.S1	TOWEL BAR
10 28 00.S3	ROBE HOOK
10 28 00.S6	GRAB BAR W/ BACKING
10 28 00.T3	RECESSED MEDICINE CABINET
10 28 00.U1	FIBERGLASS BATHTUB SURROUND
22 40 00.A3	WALL-MOUNT LAVATORY SINK
22 40 00.T1	FLOOR-MOUNT WATER CLOSET
22 40 00.U1	SHOWER HEAD W/ LEVER HANDLE & FAUCET
22 40 00.U2	ADJUSTABLE HEIGHT HANDHELD SHOWER SPRAY UNIT W/ LEVER HANDLE
22 40 00.V1	BATHTUB

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835 TURK STREET

ISSUE INFORMATION

Issued For:
SF PLANNING APPLICATION
03.19.2025

No.	Description	Date:
1	SF Planning	03.19.2025

PLOT DATE: 12/18/2024
PROJECT NO: 2305
PHASE:
PREPARED BY: Author
SCALE: As indicated

Sheet Title:
**ENLARGED UNIT
BATHROOM PLANS &
ELEVATIONS**

Sheet No.:
A470

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1	SF Planning	03.19.2025

PLOT DATE:	12/18/2024
PROJECT NO:	2305
PHASE:	
PREPARED BY:	Author
SCALE:	1/4" = 1'-0"

Sheet Title:

STAIR PLANS &
SECTIONS

Sheet No.:

A480

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8 STAIR 4 ENLARGED PLAN - BASEMENT
A480 SCALE: 1/4" = 1'-0"

5 STAIR 2 ENLARGED PLAN - BASEMENT
A480 SCALE: 1/4" = 1'-0"

4 STAIR 1 - SECTION
A480 SCALE: 1/4" = 1'-0"

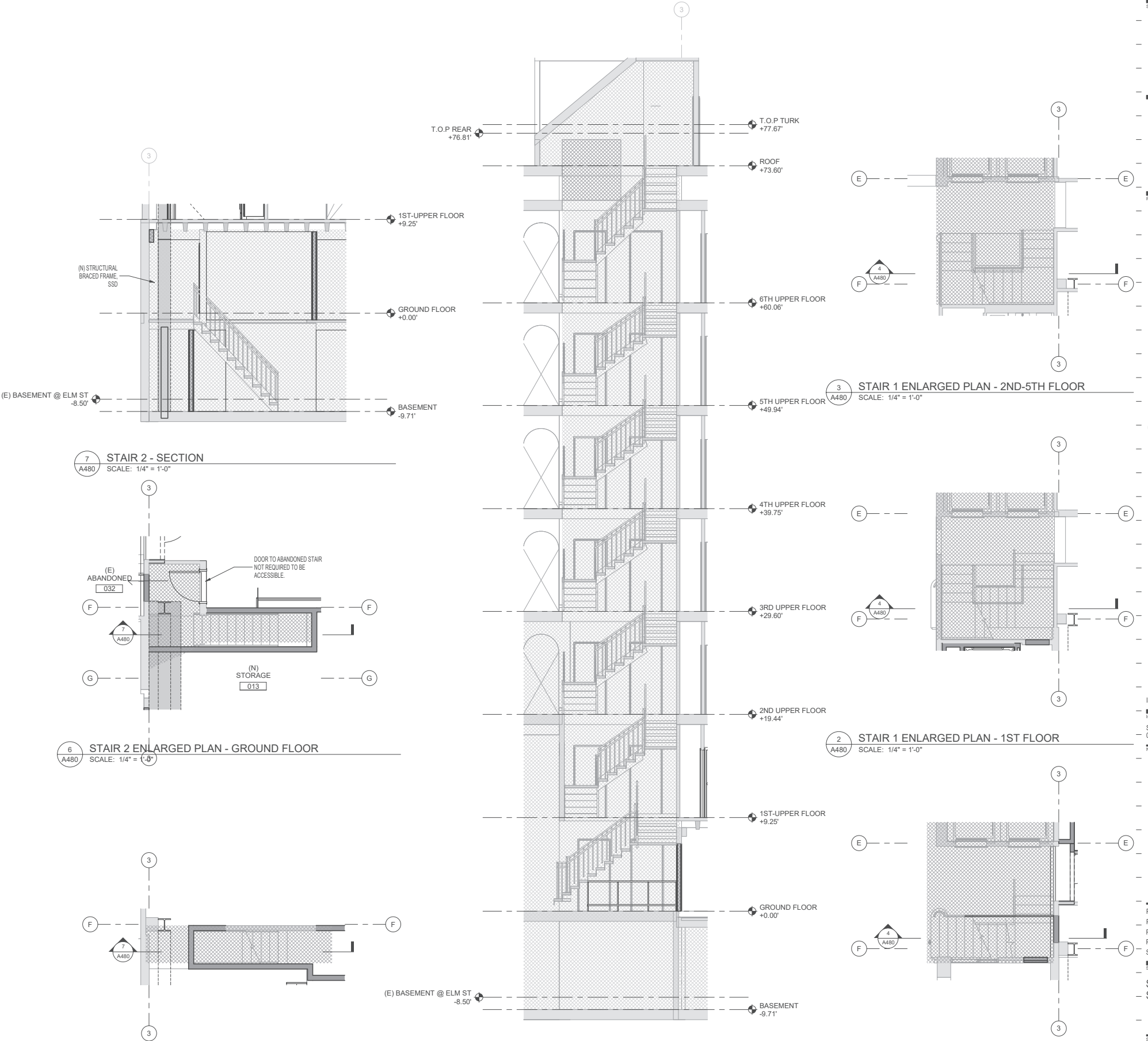
1 STAIR 1 ENLARGED PLAN - GROUND FLOOR
A480 SCALE: 1/4" = 1'-0"

2 STAIR 1 ENLARGED PLAN - 1ST FLOOR
A480 SCALE: 1/4" = 1'-0"

3 STAIR 1 ENLARGED PLAN - 2ND-5TH FLOOR
A480 SCALE: 1/4" = 1'-0"

6 STAIR 2 ENLARGED PLAN - GROUND FLOOR
A480 SCALE: 1/4" = 1'-0"

7 STAIR 2 - SECTION
A480 SCALE: 1/4" = 1'-0"



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No.	Description	Date:
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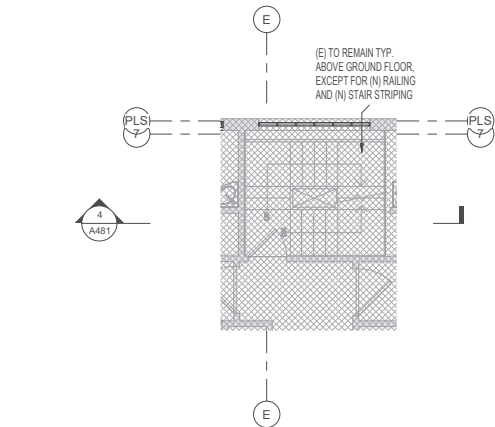
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STAIR PLANS & SECTIONS

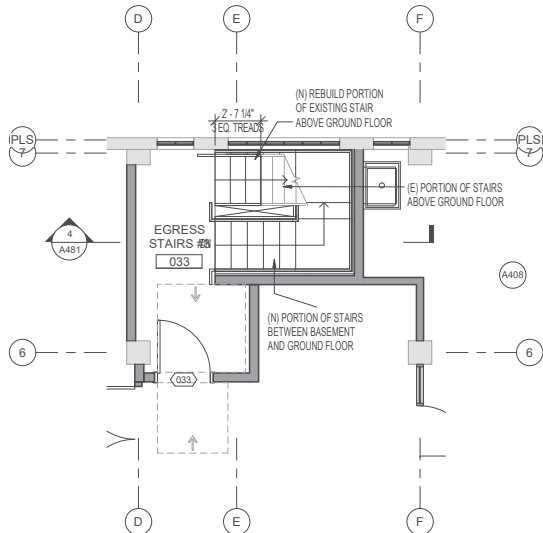
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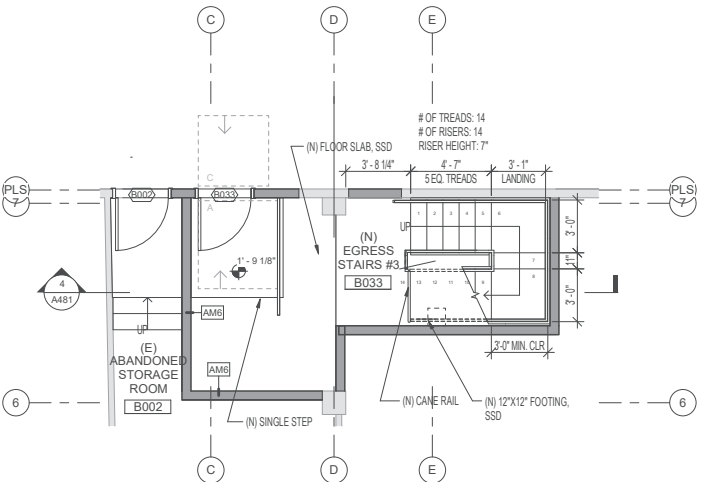
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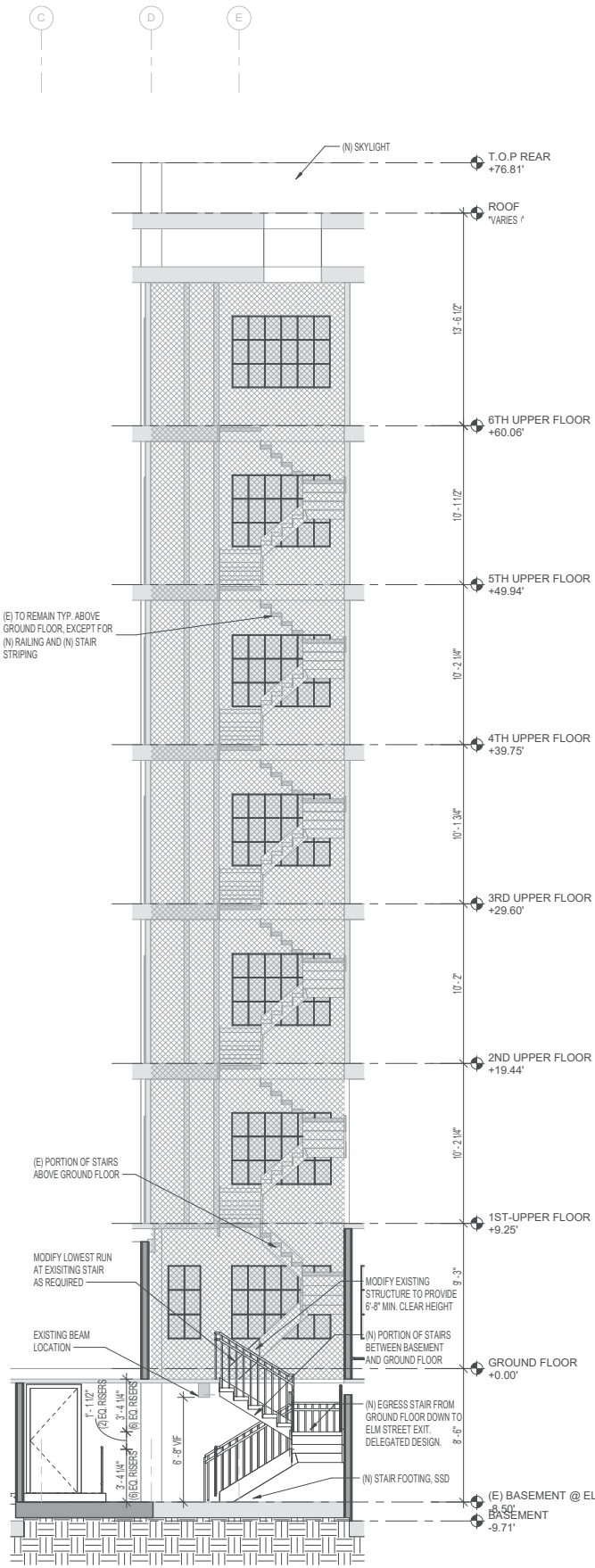
3 STAIR3 1ST-5TH FLOOR ENLARGED PLAN
SCALE: 1/4" = 1'-0"



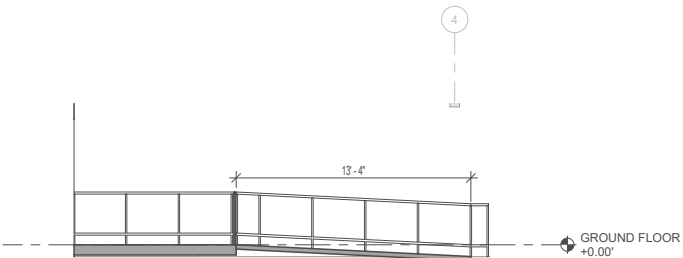
2 STAIR3 GROUND FLOOR ENLARGED PLAN
SCALE: 1/4" = 1'-0"



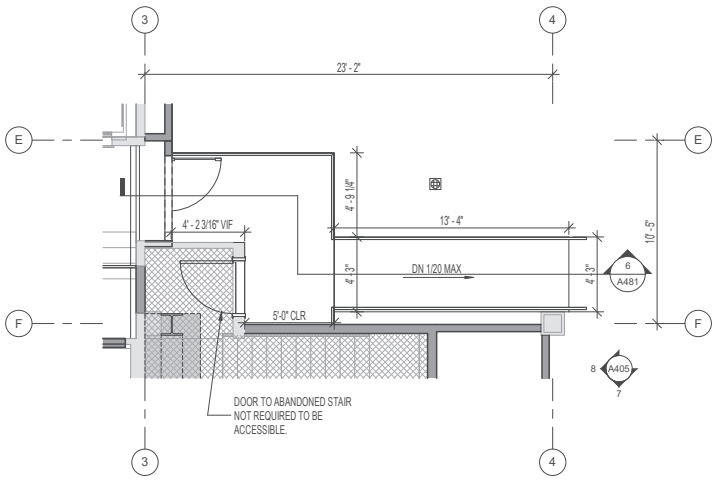
1 STAIR3 BASEMENT ENLARGED PLAN
SCALE: 1/4" = 1'-0"



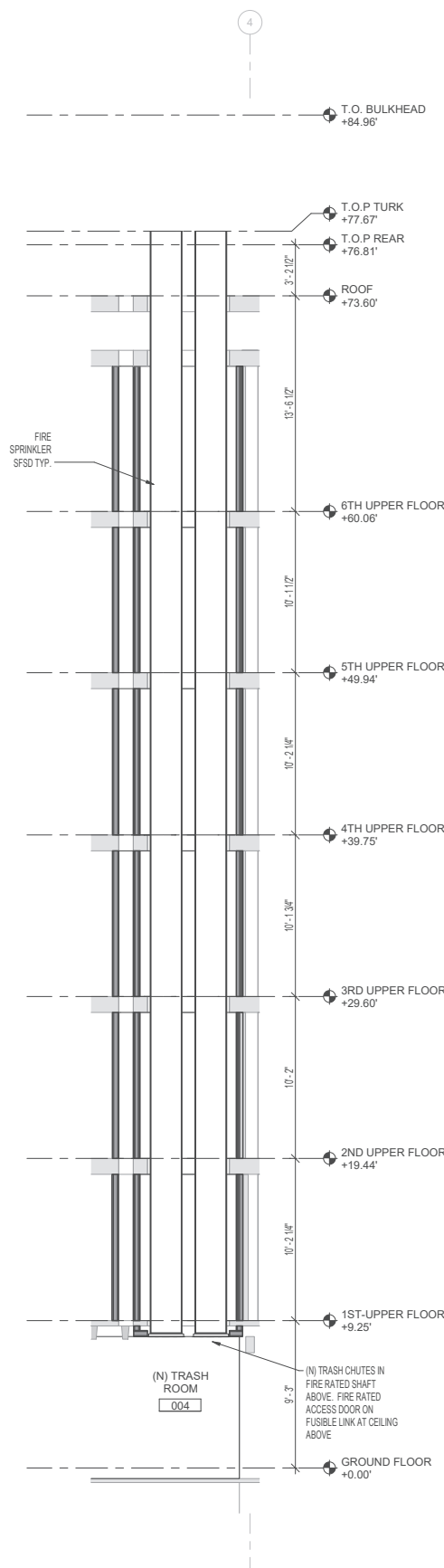
4 STAIR 3 - SECTION
SCALE: 1/4" = 1'-0"



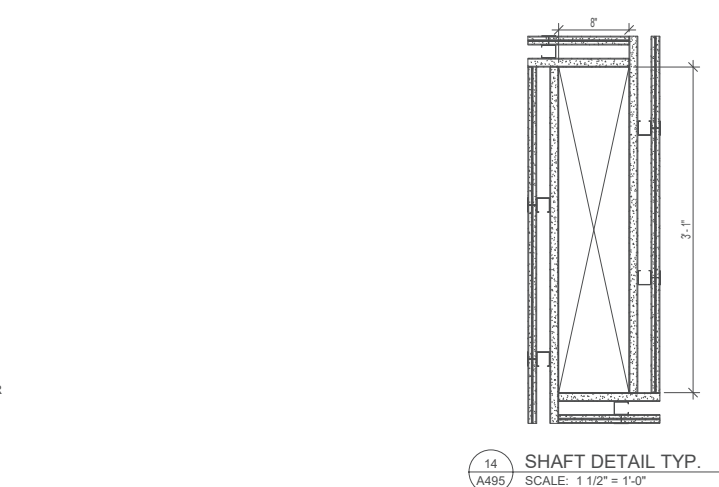
6 RAMP - SECTION
SCALE: 1/4" = 1'-0"



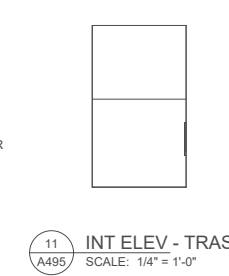
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SCALE: 1/4" = 1'-0"



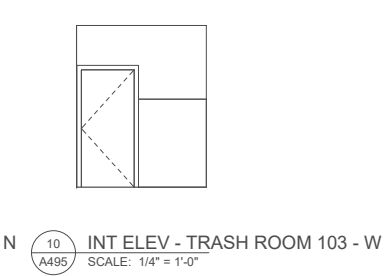
7 TRASH CHUTE SECTION
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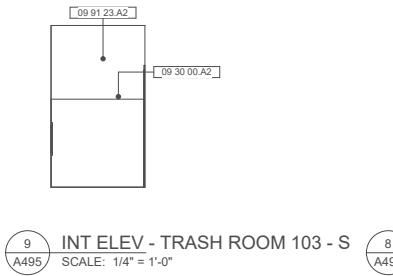
14 SHAFT DETAIL TYP.
SCALE: 1 1/2" = 1'-0"



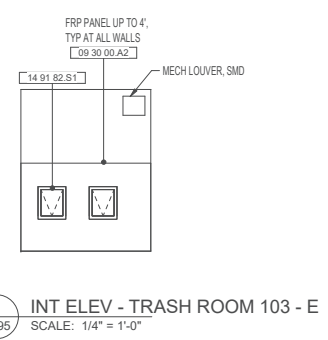
11 INT ELEV - TRASH ROOM 103 - N
SCALE: 1/4" = 1'-0"



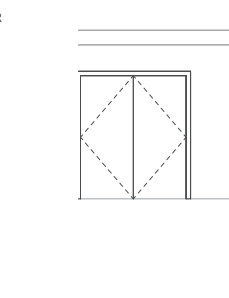
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SCALE: 1/4" = 1'-0"



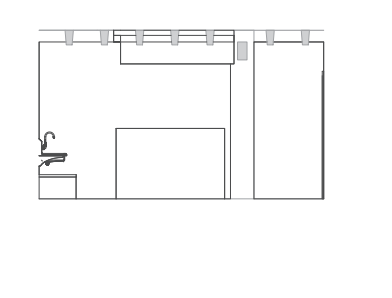
9 INT ELEV - TRASH ROOM 103 - S
SCALE: 1/4" = 1'-0"



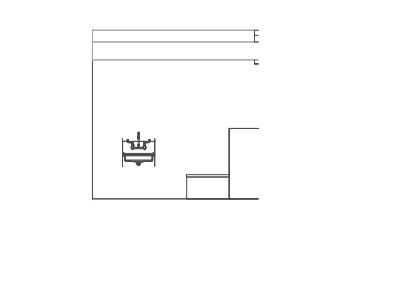
8 INT ELEV - TRASH ROOM 103 - E
SCALE: 1/4" = 1'-0"



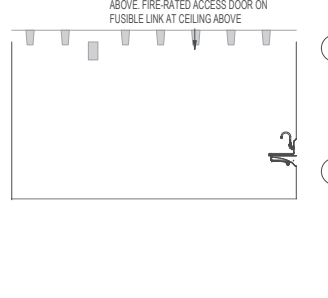
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SCALE: 1/4" = 1'-0"



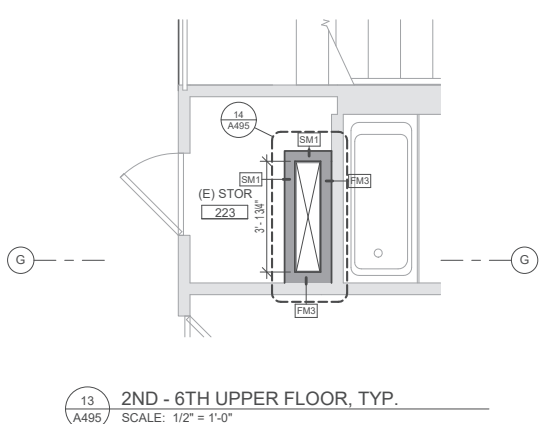
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SCALE: 1/4" = 1'-0"



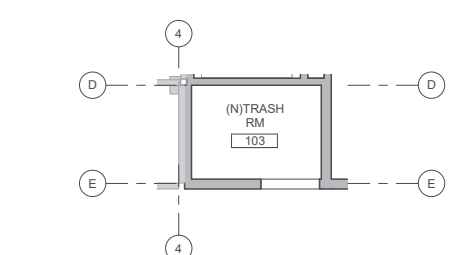
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SCALE: 1/4" = 1'-0"



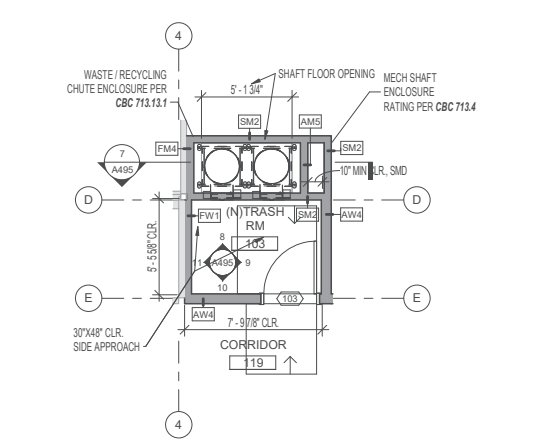
3 INT ELEV - TRASH RM 004 - E
SCALE: 1/4" = 1'-0"



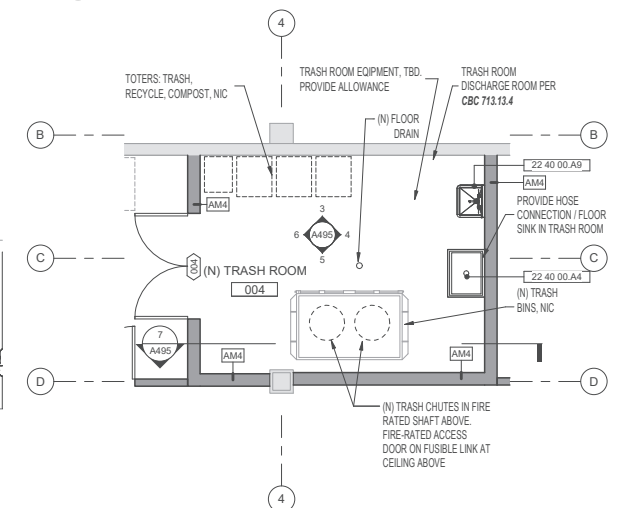
13 2ND - 6TH UPPER FLOOR, TYP.
SCALE: 1/2" = 1'-0"



12 ENLARGED RCP - TRASH ROOM 1ST-6TH FLOOR TYP
SCALE: 1/4" = 1'-0"



2 ENLARGED PLAN - TRASH ROOM TYP 1ST-6TH FLOOR
SCALE: 1/4" = 1'-0"



1 ENLARGED PLANS - GROUND FLOOR - TRASH RM 004
SCALE: 1/4" = 1'-0"

EGRESS SHEET NOTES:

- EXISTING WALLS/ OPENINGS TO BE RETAINED AT FIRE PARTITIONS AND FIRE BARRIER LOCATIONS UNLESS OCCUPANCY TYPE CHANGES AT EITHER SIDE. (CEBC 302.3)
- EXISTING MATERIALS TO BE RETAINED AS REPAIR WORK. (CEBC 302.3)
- NEW & REPLACEMENT MATERIALS SHALL COMPLY WITH CURRENT CODE (CEBC 302.4).
- ROOF: UNOCCUPIED
- ALL RECD SHAFTS 2-HOUR RATED PER CBC SECTION 713.
- FIRE SEPARATION REQUIREMENTS ARE SHOWN FOR (N) PARTITIONS ONLY. FIRE SEPARATION REQUIREMENTS FOR (E) PARTITIONS ARE NOT SHOWN.

OCCUPANCY:

PER CBC CHAPTER 3

KEYNOTES

KEYNOTE	ITEM
09 30 00 A2	CERAMIC TILE WAINSCOT
09 91 23 A2	INTERIOR PAINTING WASHABLE SURFACE
14 91 82 S1	TRASH CHUTE DOOR, 90 MINUTE RATED PER CBC 716.
22 40 00 A4	MOP SINK
22 40 00 A9	ACCESSIBLE UTILITY SINK W/ INTEGRAL EYE-WASH COMBO, S.P.D

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835 TURK STREET

ISSUE INFORMATION

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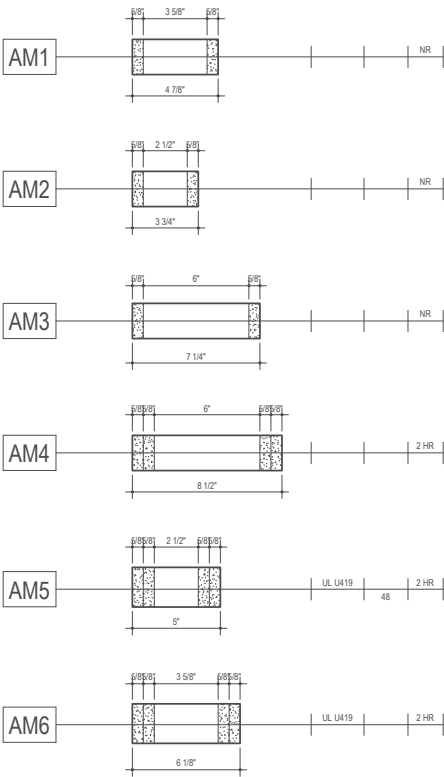
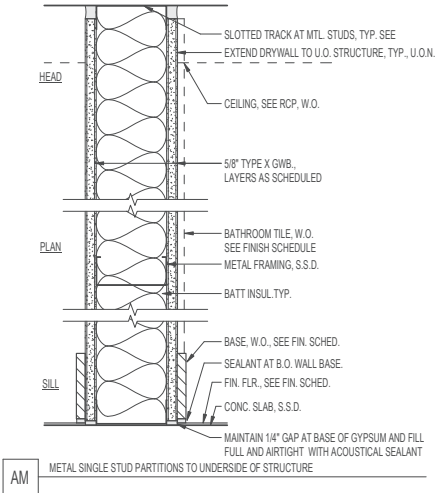
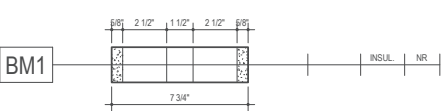
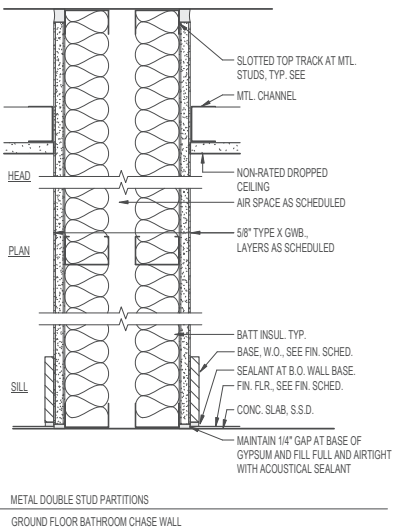
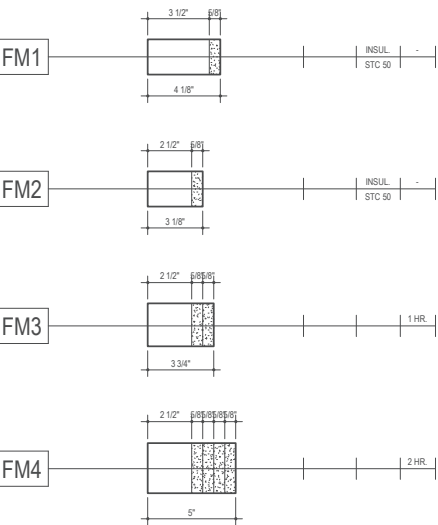
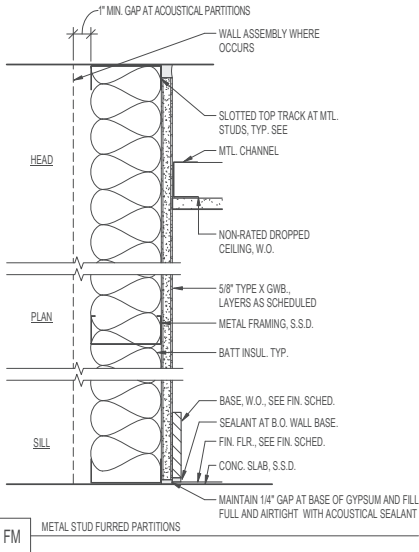
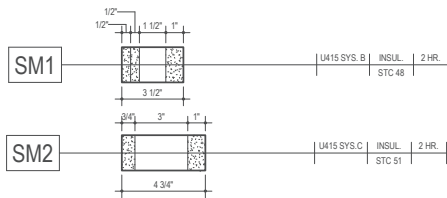
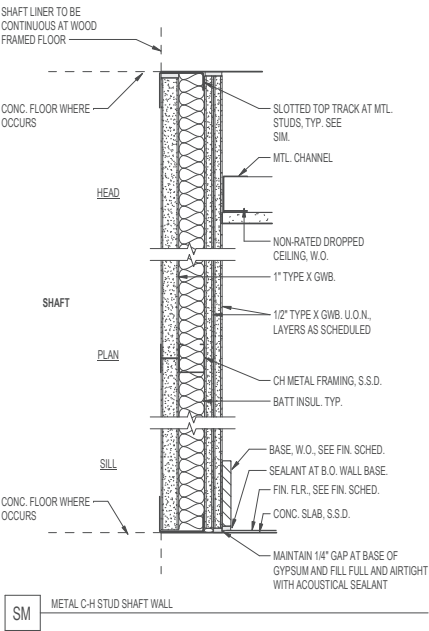
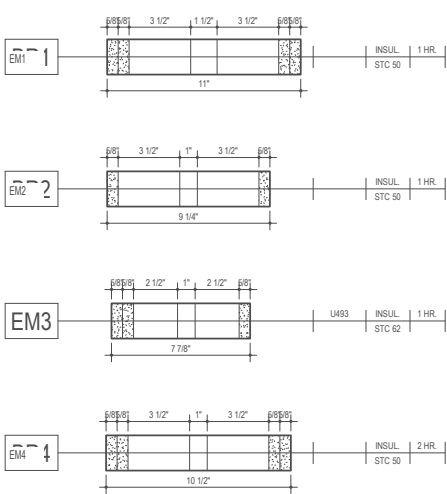
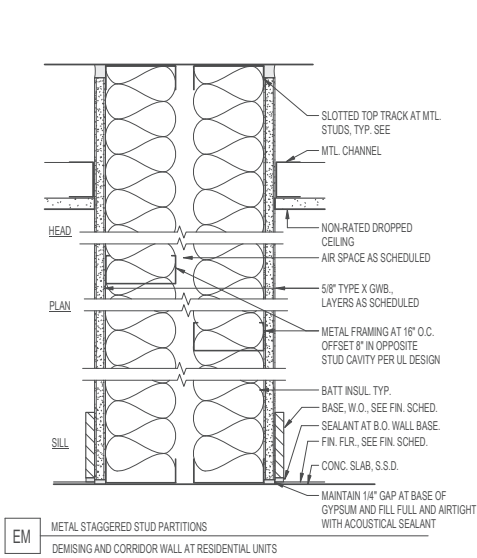
No.	Description	Date:
1	SP Planning	03.19.2025

PLOT DATE: 12/18/2024
PROJECT NO: 2305
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PREPARED BY: Author
SCALE: As indicated

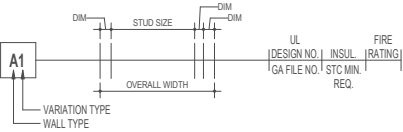
Sheet Title:
TRASH ROOMS & CHUTE & ENLARGED MECH SHAFT PLANS & SECTIONS

Sheet No.:
A495

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SYMBOL:



SHEET NOTES:

1. REFER TO FLOOR PLANS FOR PARTITION TYPE LOCATIONS.
2. SEE G0.53 - G0.56 FOR 1-HR, 2-HR, AND 3-HR FIRE RATED PARTITION LOCATIONS.
3. STRUCTURAL FRAMING: S.S.D. FOR FRAMING DIMENSIONS, SPACING, DETAILS AND SCHEDULES. VERIFY ALL STUD SIZES SHOWN ON PARTITION SCHEDULE W/ STRUCTURAL PLANS & DETAILS.
4. FOR FIRST FLOOR NON-STRUCTURAL LIGHT GA. METAL STUDS:
 - A. L240 MAX ALLOWABLE DEFLECTION
5. STUD SPACING TO BE 16" O.C. TYP. U.O.N., S.S.D.
6. ALL STUD PARTITIONS ARE TO EXTEND TO UNDERSIDE OF STRUCTURE, UNLESS OTHERWISE NOTED.
7. PROVIDE BACKING TO SUPPORT ALL ITEMS MOUNTED TO WALLS. SEE DETAILS.
8. FOR WOOD STUD WALLS, PROVIDE GRAB BAR BACKING PER SHEET A10.41.
9. JR TYPE NON-ACOUSTICAL NON-LOAD-BEARING WALLS ARE NOT REQUIRED TO BE 1 HR RATED, S.S.D. TYP.
10. "GYP. 80" & "G.W.B." TO BE TYPE "X" AT ALL LOCATIONS, U.O.N.
11. FIRE RATED ASSEMBLY NOTES REFER TO THE FOLLOWING REFERENCES:
 - A. GA FILE NO. - GYPSUM ASSOCIATION "FIRE RESISTANCE DESIGN MANUAL" 22ND EDITION
 - B. CBC TABLE 721.1(1) B - 2019 CALIFORNIA BUILDING CODE/ "RATED FIRE-RESISTIVE PERIODS FOR VARIOUS WALLS & PARTITIONS"
 - C. UL DESIGN NO. - UNDERWRITERS LABORATORIES INC./ "FIRE RESISTANCE, VOL. 1" (CURRENT VOLUME)
12. FOR PARTITIONS WITH TILE FINISH, SEE 2020 TILE HANDBOOK - TILE COUNCIL OF NORTH AMERICA
13. ALL FIRE RESISTIVE ASSEMBLIES SHALL BE CONSTRUCTED IN COMPLIANCE WITH TESTING REQUIREMENTS AND MANUFACTURER'S RECOMMENDATIONS FOR CONDITIONS AS REQUIRED. CONSTRUCTION OF ALL SYSTEMS WILL BE TO EQUAL THAT OF TESTED ASSEMBLY, PROVIDE FIRE SAFENING AND CAULKING AS REQUIRED AT ALL ASSEMBLY TERMINATIONS AND PENETRATIONS. FIRE-RATED ACOUSTICAL SEALANT TO BE USED AT SOUND AND FIRE-RATED CONDITIONS, AT ALL JOINTS AND PERIMETER GAPS OF SOUND-RATED CONSTRUCTIONS (E.G., PARTY AND DEMISING WALLS), AND AT THE INTERSECTION BETWEEN THE WALL AND THE RESILIENTLY MOUNTED GYPSUM BOARD CEILING.
14. SEE GYPSUM ASSOCIATION 22ND EDITION "FIRE RESISTANCE DESIGN MANUAL" GENERAL NOTES:
 - A. #10 REGARDING THE USE OF WATER-RESISTANT GYP AT RATED ASSEMBLIES
 - B. #11 REGARDING ADDED INSULATION TO REFERENCED ASSEMBLIES
 - C. #25 - 27 REGARDING ADDITIONAL GYP BO OR WOOD STRUCTURAL PANELS ADDED TO REFERENCED ASSEMBLIES
15. ALL WALLS TO BE SOUND-RATED CONSTRUCTION, TYP., U.O.N. FOR WALLS NOTED AS NON ACOUSTICAL "NON-ACOUS." ON WALL TYPE ASSEMBLY. ALL INTERIOR WALLS WITH INSULATION ARE TO BE CONSIDERED ACOUSTICALLY RATED. ALL ACOUSTICALLY RATED WALLS SHALL PROVIDE STC 50 (MIN.)
16. PROVIDE ACOUSTIC CAULK AT ACOUSTICALLY RATED WALLS.
17. BATT INSULATION AND CONTINUOUS ACOUSTICAL SEALANT AT SILL, HEAD AND ALL INTERSECTING SURFACES (HELD BACK 1/4" TYP. FROM INTERSECTING SURFACES) AT PARTITIONS TO BE PROVIDED FOR ALL SOUND-RATED CONSTRUCTION, TYP., U.O.N.
18. TAPE, BEAD, AND FINISH ALL DRYWALL CORNERS AND JOINTS READY FOR FINISH.
19. DRYWALL CONSTRUCTION SHALL PROVIDE CONTINUOUS CAULKING AT ALL DUCT, PIPE, AND CONDUIT PENETRATIONS THROUGH ASSEMBLIES REQUIRING RATING FOR FIRE OR ACOUSTICAL SEPARATION AS SHOWN ON DRAWINGS. SEE PLUMBING DRAWINGS FOR ADDITIONAL REQUIREMENTS.
20. PROVIDE PEST CONTROL POWDER IN ENTIRE INTERIOR CAVITY OF WALLS.
21. DAMP INT. LOCATIONS, INCL. RESTROOMS, BATHROOMS, TUB/ SHOWER SURROUND, ALL SHAFT INTERIORS AND JANITOR CLOSETS: PROVIDE TYPE X MOISTURE RESISTANT G.W.B.
22. INT. TILE LOCATIONS: WATER-RESISTANT GYPSUM BACKING BOARD.

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Project:

835 TURK STREET

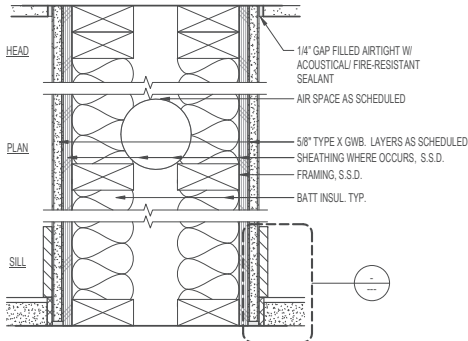
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1	SF Planning	03.19.2025

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PROJECT NO:	2305
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PREPARED BY:	Author
SCALE:	3" = 1'-0"
Sheet Title:	

INTERIOR PARTITION
TYPES

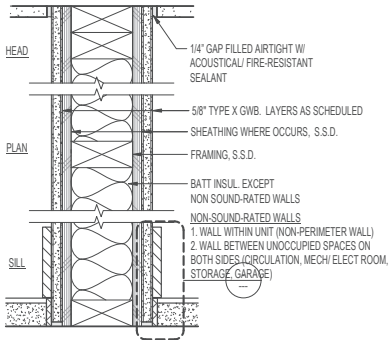
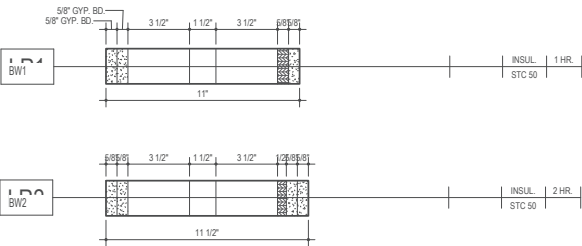
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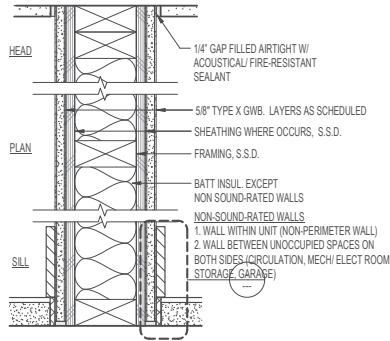


NOTE:
GAP BETWEEN STUD ROWS MUST NOT BE BRIDGED.

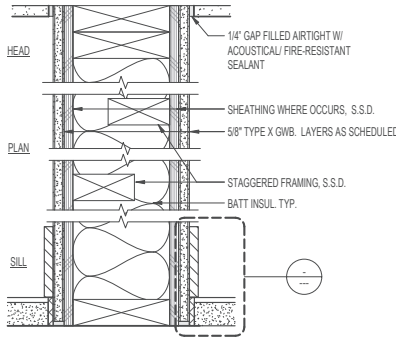
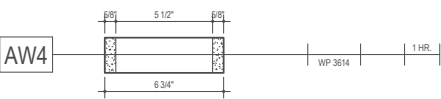
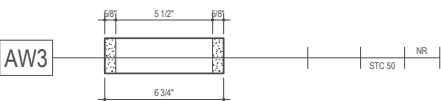
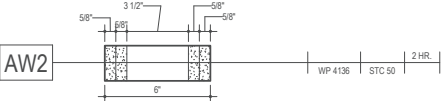
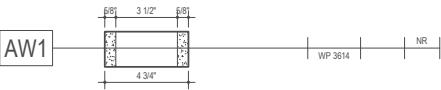
BW WOOD DOUBLE STUD PARTITIONS



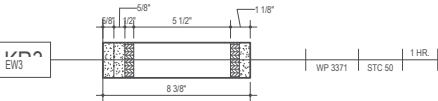
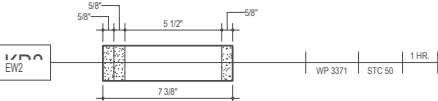
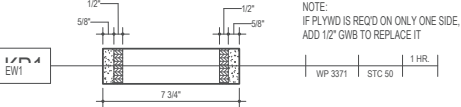
FW WOOD STUD FURRED PARTITIONS



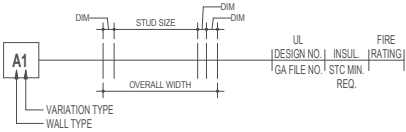
AW WOOD SINGLE STUD PARTITIONS
1ST-6TH UPPER FLOORS



EW WOOD STAGGERED STUD PARTITIONS
- FLOORS



SYMBOL:



SHEET NOTES:

- REFER TO FLOOR PLANS FOR PARTITION TYPE LOCATIONS.
- SEE G0.53 - G0.56 FOR 1-HR, 2-HR, AND 3-HR FIRE RATED PARTITION LOCATIONS.
- STRUCTURAL FRAMING: S.S.D. FOR FRAMING DIMENSIONS, SPACING, DETAILS AND SCHEDULES. VERIFY ALL STUD SIZES SHOWN ON PARTITION SCHEDULE W/ STRUCTURAL PLANS & DETAILS.
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 - C. UL DESIGN NO. - UNDERWRITERS LABORATORIES INC./ "FIRE RESISTANCE, VOL. 1" (CURRENT VOLUME)
- FOR PARTITIONS WITH TILE FINISH, SEE 2020 TILE HANDBOOK - TILE COUNCIL OF NORTH AMERICA
- ALL FIRE RESISTIVE ASSEMBLIES SHALL BE CONSTRUCTED IN COMPLIANCE WITH TESTING REQUIREMENTS AND MANUFACTURER'S RECOMMENDATIONS FOR CONDITIONS AS REQUIRED. CONSTRUCTION OF ALL SYSTEMS WILL BE TO EQUAL THAT OF TESTED ASSEMBLY, PROVIDE FIRE SAFING AND CAULKING AS REQUIRED AT ALL ASSEMBLY TERMINATIONS AND PENETRATIONS. FIRE-RATED ACOUSTICAL SEALANT TO BE USED AT SOUND AND FIRE-RATED CONDITIONS, AT ALL JOINTS AND PERIMETER GAPS OF SOUND-RATED CONSTRUCTIONS (E.G., PARTY AND DEMISING WALLS), AND AT THE INTERSECTION BETWEEN THE WALL AND THE RESILIENTLY MOUNTED GYPSUM BOARD CEILING.
- SEE GYPSUM ASSOCIATION 22ND EDITION "FIRE RESISTANCE DESIGN MANUAL" GENERAL NOTES:
 - A. #10 REGARDING THE USE OF WATER-RESISTANT GYP AT RATED ASSEMBLIES
 - B. #11 REGARDING ADDED INSULATION TO REFERENCED ASSEMBLIES
 - C. #25 - 27 REGARDING ADDITIONAL GYP BO OR WOOD STRUCTURAL PANELS ADDED TO REFERENCED ASSEMBLIES
- ALL WALLS TO BE SOUND-RATED CONSTRUCTION, TYP., U.O.N. FOR WALLS NOTED AS NON ACOUSTICAL "NON-ACOUS." ON WALL TYPE ASSEMBLY. ALL INTERIOR WALLS WITH INSULATION ARE TO BE CONSIDERED ACOUSTICALLY RATED. ALL ACOUSTICALLY RATED WALLS SHALL PROVIDE STC 50 (MIN.)
- PROVIDE ACOUSTIC CAULK AT ACOUSTICALLY RATED WALLS.
- BATT INSULATION AND CONTINUOUS ACOUSTICAL SEALANT AT SILL, HEAD AND ALL INTERSECTING SURFACES (HELD BACK 1/4" TYP. FROM INTERSECTING SURFACES) AT PARTITIONS TO BE PROVIDED FOR ALL SOUND-RATED CONSTRUCTION, TYP., U.O.N.
- TAPE, BEAD, AND FINISH ALL DRYWALL CORNERS AND JOINTS READY FOR FINISH.
- DRYWALL CONSTRUCTION SHALL PROVIDE CONTINUOUS CAULKING AT ALL DUCT, PIPE, AND CONDUIT PENETRATIONS THROUGH ASSEMBLIES REQUIRING RATING FOR FIRE OR ACOUSTICAL SEPARATION AS SHOWN ON DRAWINGS. SEE PLUMBING DRAWINGS FOR ADDITIONAL REQUIREMENTS.
- PROVIDE PEST CONTROL POWDER IN ENTIRE INTERIOR CAVITY OF WALLS.
- DAMP INT. LOCATIONS, INCL. RESTROOMS, BATHROOMS, TUB/ SHOWER SURROUND, ALL SHAFT INTERIORS AND JANITOR CLOSETS: PROVIDE TYPE X MOISTURE RESISTANT G.W.B.
- INT. TILE LOCATIONS: WATER-RESISTANT GYPSUM BACKING BOARD.

Architect

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Project:

835 TURK STREET

ISSUE INFORMATION

Issued For:		
SF PLANNING APPLICATION		
03.19.2025		
No.	Description	Date:
1	SF Planning	03.19.2025

PLOT DATE:	12/18/2024
PROJECT NO:	2305
PHASE:	
PREPARED BY:	Author
SCALE:	3" = 1'-0"
Sheet Title:	

INTERIOR PARTITION
TYPES - WOOD

Sheet No.:

A511

835 Turk

DOOR SCHEDULE - ALL DOORS EXCEPT UNIT INTERIOR DOORS

DOOR NO.	LOCATION		DOOR TYPE	SIZE			VIF-WID TH, HEIGHT	MATERIAL					FIRE RATING DOOR	DETAIL			HARDWARE						REMARKS
	TO ROOM: NAME	FROM ROOM: NAME		THICK	WIDTH	HEIGHT		DOOR	DOOR FINISH	DOOR GLAZING	FRAME	FRAME FINISH		HEAD	JAMB	SILL	GROUP	CLOSER	EGRESS	FORCE	LOCK	READER	
BASEMENT																							
B001	(E) ABANDONED PARKING		A	1 3/4"	3'-0"	7'-0"		HM	PTD	-	HM	PTD	90MIN										
(E) BASEMENT @ ELM ST																							
B002	(E) ABANDONED STORAGE ROOM		I	1 3/4"	3'-0"	6'-8"		HM	PTD	-	HM	PTD											
B003	(N) EGRESS STAIRS #3		I	1 3/4"	3'-0"	6'-8"		HM	PTD	-	HM	PTD											
GROUND FLOOR																							
002	(N) HALLWAY	(N) COMMON SPACE	H	1 3/4"	6'-0"	7'-0"		WD	PTD	-	ALUM	PTD											
003	(N) DEBUG ROOM	(N) HALLWAY	A	1 3/4"	3'-0"	7'-0"		WD	PTD	-	ALUM	PTD											
004	(N) TRASH ROOM	(N) HALLWAY	H	1 3/4"	6'-0"	7'-0"		HM	PTD	-	HM	PTD	90MIN										
005	(N) STAFF BREAK ROOM	(N) COMMON SPACE	G	1 3/4"	2'-10"	7'-0"		WD	PTD	GL3	ALUM	AN											
006	(N) OFFICE	(N) COMMON SPACE	G	1 3/4"	3'-0"	7'-0"		WD	PTD	GL3	ALUM	AN											
007	(N) MAINTENANCE OFFICE	(N) COMMON SPACE	H	1 3/4"	6'-0"	7'-0"		WD	PTD	-	ALUM	PTD											
008	(N) LAUNDRY	(N) COMMON SPACE	G	1 3/4"	3'-0"	7'-0"		WD	PTD	GL3	ALUM	AN											
009	(N) OFFICE / MEETING ROOM	(N) COMMON SPACE	E		5'-8"	7'-0"		WD	PTD	GL3													
010	(E) ENTRANCE LOBBY	(N) COMMON SPACE	G	1 3/4"	3'-0"	7'-0"		WD	PTD	GL3	ALUM	PTD											
011	(N) RESTRM	(N) COMMON SPACE	A	1 3/4"	3'-0"	7'-0"		HM	PTD	-	HM	PTD											
012	(N) RESTRM	(N) COMMON SPACE	A	1 3/4"	3'-0"	7'-0"		HM	PTD	-	HM	PTD											
013	(N) STORAGE	(N) COMMON SPACE	A	1 3/4"	3'-0"	7'-0"		WD	PTD	-	ALUM	PTD											
015	(E) ENTRANCE LOBBY		K	3/8"	3'-4"	7'-6 1/4"	VIF-H	WD		GL1	WD												CUSTOM
019					2'-4"	2'-4"																	
020					2'-4"	2'-4"																	
032	(E) ABANDONED	(N) COMMON SPACE	A	1 3/4"	3'-0"	6'-8"		HM	PTD	-	HM	PTD	90MIN										
033	EGRESS STAIRS #3	(N) COMMON SPACE	A	1 3/4"	3'-0"	7'-0"		HM	PTD	-	HM	PTD	90MIN										
1ST UPPER FLOOR																							
101-1	KITCHEN / DINING / LOUNGE	CORRIDOR	A	1 3/4"	3'-0"	6'-8"		WD	PTD	-	WD	PTD	45MIN										
101-2	KITCHEN / DINING / LOUNGE	KITCHEN / DINING / LOUNGE	A	1 3/4"	3'-0"	6'-8"		WD	PTD	-	WD	PTD											
101-3	KITCHEN / DINING / LOUNGE	KITCHEN / DINING / LOUNGE	A	1 3/4"	3'-0"	6'-8"		WD	PTD	-	WD	PTD											
103	(N)TRASH RM	CORRIDOR	A	1 3/4"	3'-0"	6'-8"		WD	PTD	-	WD	PTD	45MIN										
104	(N) SRO MOBILITY UNIT	CORRIDOR	A	1 3/4"	3'-0"	6'-8"		WD	PTD	-	WD	PTD	45MIN										
115	(E) 1BR MANAGER'S UNIT	CORRIDOR	A	1 3/4"	3'-0"	6'-8"		WD	PTD	-	WD	PTD	45MIN										
2ND UPPER FLOOR																							
(E) TYPICAL FOR FLOORS 2-6																							
2ND UPPER FLOOR																							
203	(N) TRASH RM	(E) CORRIDOR	A	1 3/4"	3'-0"	6'-8"		WD	PTD	-	WD	PTD	45MIN										
204	(N) SRO MOBILITY UNIT	(E) CORRIDOR	A	1 3/4"	3'-0"	6'-8"		WD	PTD	-	WD	PTD	45MIN										

DOOR SCHEDULE - UNIT INTERIOR DOORS

DOOR NO.	LOCATION		DOOR TYPE	SIZE			NOTE	MATERIAL					FIRE RATING	DETAIL			HARDWARE						REMARKS
	TO ROOM: NAME	FROM ROOM: NAME		THICK	WIDTH	HEIGHT		DOOR	DOOR FINISH	GLAZING	FRAME	FRAME FINISH		DOOR	HEAD	JAMB	SILL	GROUP	CLOSER	EGRESS	FORCE	LOCK	
1ST UPPER FLOOR																							
A	(E) 1BR MANAGER'S UNIT	(E) 1BR MANAGER'S UNIT	A	1 3/4"	3'-0"	6'-8"		WD	PTD	-	WD	PTD											
B	(N) SRO MOBILITY UNIT	(N) SRO MOBILITY UNIT	C	1 3/8"	3'-0"	6'-8"		WD	PTD	-	WD	PTD											
B	(E) 1BR MANAGER'S UNIT	(E) 1BR MANAGER'S UNIT	C	1 3/8"	3'-0"	6'-8"		WD	PTD	-	WD	PTD											
C1	(E) 1BR MANAGER'S UNIT	(E) 1BR MANAGER'S UNIT	A	1 3/4"	2'-4"	6'-8"		WD	PTD	-	WD	PTD											
C1	(E) 1BR MANAGER'S UNIT	(E) 1BR MANAGER'S UNIT	A	1 3/4"	2'-4"	6'-8"		WD	PTD	-	WD	PTD											
C1	(E) 1BR MANAGER'S UNIT	(E) 1BR MANAGER'S UNIT	A	1 3/4"	2'-4"	6'-8"		WD	PTD	-	WD	PTD											
C2	(E) 1BR MANAGER'S UNIT	(E) 1BR MANAGER'S UNIT	H	1 3/4"	2'-10"	6'-8"		WD	PTD	-	WD	PTD											
C2	(N) SRO MOBILITY UNIT	(N) SRO MOBILITY UNIT	H	1 3/4"	5'-0"	6'-8"		WD	PTD	-	WD	PTD											
2ND UPPER FLOOR																							
B	(N) SRO MOBILITY UNIT	(N) SRO MOBILITY UNIT	C	1 3/8"	3'-0"	6'-8"		WD	PTD	-	WD	PTD											
C2	(N) SRO MOBILITY UNIT	(N) SRO MOBILITY UNIT	H	1 3/4"	5'-0"	6'-8"		WD	PTD	-	WD	PTD											
3RD UPPER FLOOR																							
B	(N) SRO MOBILITY UNIT	(N) SRO MOBILITY UNIT	C	1 3/8"	3'-0"	6'-8"		WD	PTD	-	WD	PTD											
C2	(N) SRO MOBILITY UNIT	(N) SRO MOBILITY UNIT	H	1 3/4"	5'-0"	6'-8"		WD	PTD	-	WD	PTD											
4TH UPPER FLOOR																							
B	(N) SRO MOBILITY UNIT	(N) SRO MOBILITY UNIT	C	1 3/8"	3'-0"	6'-8"		WD	PTD	-	WD	PTD											
C2	(N) SRO MOBILITY UNIT	(N) SRO MOBILITY UNIT	H	1 3/4"	5'-0"	6'-8"		WD	PTD	-	WD	PTD											
5TH UPPER FLOOR																							
B	(N) SRO MOBILITY UNIT	(N) SRO MOBILITY UNIT	C	1 3/8"	3'-0"	6'-8"		WD	PTD	-	WD	PTD											
C2	(N) SRO MOBILITY UNIT	(N) SRO MOBILITY UNIT	H	1 3/4"	5'-0"	6'-8"		WD	PTD	-	WD	PTD											
6TH UPPER FLOOR																							
B	(N) SRO MOBILITY UNIT	(N) SRO MOBILITY UNIT	C	1 3/8"	3'-0"	6'-8"		WD	PTD	-	WD	PTD											
C2	(N) SRO MOBILITY UNIT	(N) SRO MOBILITY UNIT	H	1 3/4"	5'-0"	6'-8"		WD	PTD	-	WD	PTD											

DOOR MATERIAL LEGEND

HM HOLLOW METAL
SC SOLID CORE WOOD
HC HOLLOW CORE WOOD
ALUM ALUMINUM
STL STEEL
MTL METAL
FG FIBERGLASS

DOOR / FRAME FINISH LEGEND

PTD PAINTED
FF FACTORY FINISH
AN ANODIZED
STW STAINED WOOD
CLR CLEAR FINISH

FRAME MATERIAL LEGEND

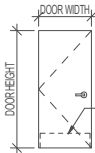
WD WOOD
HM HOLLOW METAL
ALUM ALUMINUM
SS STAINLESS STEEL
FG FIBERGLASS

GLASS LEGEND

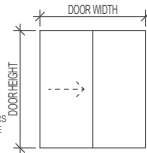
GL-1: 1" INSULATED GLAZING, TRANSPARENT
GL-2: 1" INSULATED GLAZING, TRANSLUCENT
GL-3: 1/4" GLAZING @ TYP. INTERIOR STOREFRONT
GL-4: 1/4" GLAZING @ RATED INTERIOR STOREFRONT
GL-5: 1/4" GLAZING @ DOOR VISION LITE
PA-1: STOREFRONT INFILL PANEL

DOOR SCHEDULE LEGEND

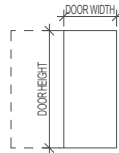
(1) DOOR MARK OR NUMBER - SEE DOOR SCHEDULE



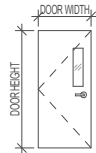
A
FLUSH SWING



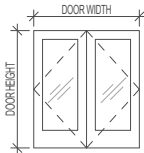
B
SLIDING



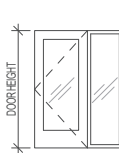
C
POCKET



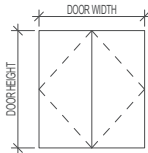
D
FLUSH W/ VISION LITE



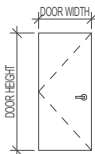
E
INTERIOR STOREFRONT DOUBLE SWING



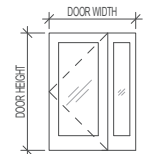
G
INTERIOR STOREFRONT GLASS SWING



H
FLUSH SWING DOUBLE



I
EXTERIOR FLUSH SWING



K
EXTERIOR STOREFRONT UNEVEN SWING

D
FLUSH W/ VISION LITE

E
INTERIOR STOREFRONT DOUBLE SWING

G
INTERIOR STOREFRONT GLASS SWING

H
FLUSH SWING DOUBLE

I
EXTERIOR FLUSH SWING

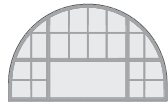
K
EXTERIOR STOREFRONT UNEVEN SWING

NOTES

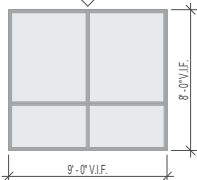
Note 1: All existing doors verified in field to be 6'-8" or lower to be 6'-8" minimum.

Note 2: CBC 1010.1.1 Exceptions: 6. Door openings within a dwelling unit shall have a min

Window Schedule						
Type Mark	TYPE	SIZE		ROUGH OPENING		COMMENTS
		HEIGHT	WIDTH	HEIGHT	WIDTH	
G14	48"	5'-2"	4'-8"			
G20	C1-3'3"	4'-8"	3'-3"			
G26	9'2"	4'-8"	9'-2"			
V10	48" x 42"	5'-11"	6'-11 1/2"	5'-11 1/2"	7'-0"	
V11	C1-3'6" x 5'11"	5'-11"	3'-5 3/4"			
V12	C1-3'5"	6'-0"	3'-5"			
V13	C1-2'0"	4'-0"	2'-0"			
V14	C1-3'2"	4'-7"	3'-2"			
V15	C1-3'11" x 6'0"	6'-0"	3'-11"			
V16	C1-3'11" x 2'11"	2'-11"	3'-11"			
W10	3'5"	5'-11"	3'-5"			
W11	2'11"	5'-11"	2'-11"			
W12	C1-2'9 1/2" x 5'6"	5'-8"	3'-4"			
W13	2'10"	5'-8"	2'-10"			



W15



W15

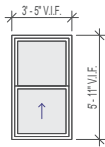
EXTERIOR HISTORICAL
WOOD WINDOW
NORTH FACADE

ADD ALTERNATE- REPLACE EXISTING
STOREFRONT IN KIND

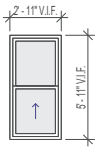
2

A620

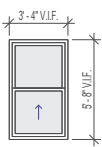
WINDOW TYPES - STOREFRONT



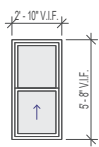
W10 WOOD



W11 WOOD



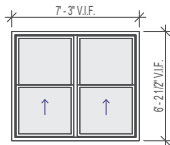
W12 WOOD



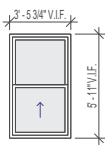
W13 WOOD

EXTERIOR HISTORICAL
WOOD WINDOW
2ND - 5TH UPPER FLOORS
NORTH FACADE

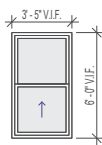
EXTERIOR HISTORICAL
WOOD WINDOW
6TH UPPER FLOOR
NORTH FACADE



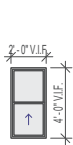
V10 VINYL



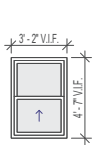
V11 VINYL



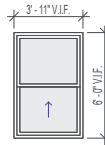
V12 VINYL



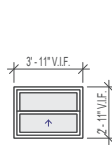
V13 VINYL



V14 VINYL



V15 VINYL



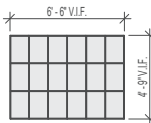
V16 VINYL

EXTERIOR VINYL WINDOW
2ND - 6TH UPPER FLOOR
EAST WEST FACADE

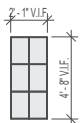
EXTERIOR VINYL WINDOW
2ND - 6TH UPPER FLOOR
SOUTH FACADE

EXTERIOR VINYL WINDOW
BASEMENT
GROUND FLOOR
SOUTH FACADE

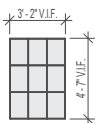
EXTERIOR VINYL WINDOW
1ST - 6TH UPPER FLOOR
SOUTH FACING



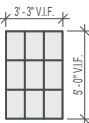
S10 STEEL



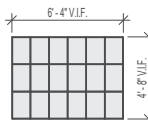
S11 STEEL



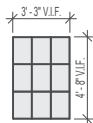
S12 STEEL



S13 STEEL



S14 STEEL



S15 STEEL

EXTERIOR STEEL WINDOW
GROUND - 6TH UPPER FLOOR
SOUTH FACADE

EXTERIOR STEEL WINDOW
GROUND FLOOR
SOUTH FACADE

EXTERIOR STEEL WINDOW
GROUND FLOOR
WEST FACADE

EXTERIOR STEEL WINDOW
BASEMENT FLOOR
EAST WEST FACADE

EXTERIOR STEEL WINDOW
BASEMENT FLOOR
EAST FACADE

1

A620

WINDOW TYPES

Seal & Signature:



Project:

835 TURK STREET

ISSUE INFORMATION

Issued For:

SF PLANNING APPLICATION
03.19.2025

No.	Description	Date:
1	SF Planning	03.19.2025

PLOT DATE: 12/18/2024
PROJECT NO: 2305
PHASE:
PREPARED BY: Author
SCALE: 1/4" = 1'-0"

Sheet Title:

WINDOW SCHEDULE

Sheet No.:

A620

FINISH SCHEDULE											
ROOM NUMBER	LOCATION	FLOOR		WALL		OPENINGS		CEILING		REMARKS	
		FLOORING	WALL BASE	FINISH 1	FINISH 2	CASEWORK	DOOR	WINDOW	FINISH 1		FINISH 2
BASEMENT											
B033	(N) EGRESS STAIRS #3	CONC	RB - 10	PT - 10							
GROUND FLOOR											
002	(N) HALLWAY	-	WB - 10	PT - 10							
003	(N) DEBUG ROOM	EXP - 10	NB	FRP - 10							
004	(N) TRASH ROOM	EXP - 10	NB	FRP - 10							
005	(N) STAFF BREAK ROOM	LVT - 10	WB - 10	PT - 10	PT - 11(Accent)						
006	(N) OFFICE	CPT - 10	WB - 10	CT - 10	PT - 12 (Accent)						
007	(N) MAINTENANCE OFFICE		RB - 10	PT - 10							
008	(N) LAUNDRY	LVT - 11	RB - 10	FRP - 10	PT -13 (Accent)	PLAM - 1					
009	(N) OFFICE / MEETING ROOM	CPT - 10	WB - 10	PT - 10	PT - 12 (Accent)						
010	(N) COMMON SPACE	LVT - 10	WB - 10	PT - 10							
011	(N) RESTRM	CT - 10		CT - 10							
012	(N) RESTRM	CT - 10		CT - 10							
013	(N) STORAGE	-	RB - 10	PT - 10							
1ST-UPPER FLOOR											
101	KITCHEN / DINING / LOUNGE		RB - 11	PT - 2						(CURRENT USE COMMON SPACE)	
103	(N) TRASH RM	LVT - 1	RB - 10	PT - 1							
104	(N) SRO MOBILITY UNIT	VP - 1	WB - 1	PT - 2						MOB	
115	(E) 1BR MANAGER'S UNIT	VP - 1	WB - 1	PT - 2						MOB	

2ND UPPER FLOOR
(Typical for Floors 2-6)

SRO MOBILITY UNIT - FINISH SCHEDULE											
ROOM NUMBER	LOCATION	FLOOR		WALL			OPENINGS		CEILING		REMARKS
		FLOORING	WALL BASE	FINISH 1	FINISH 2	CASEWORK	DOOR	WINDOW	FINISH 1	FINISH 2	
	SRO MOBILITY UNIT	VP - 1	RB - 1	PT - 1			PT - 2		PT - 1		
	BATH	CT - 1	CT - 1	PT - 1	CP - 1		PT - 2		PT - 1		
	TRASH ROOM	LVT - 1	RB - 2	PT - 1			PT - 2		PT - 1		

INTERIOR FINISHES - LEGEND							
SPEC	CATEGORY	ABBREV.	FINISH DESCRIPTION	MFR	STYLE, COLOR, ETC.	SIZE	COMMENT
CARPET	CARPET	CPT - 10	CARPET TILE, LOW PILE	FLOTEX	FORBO, TBO		
CAST POLYMER	CAST POLYMER	CP - 1	TUB SURROUND	SWANSTONE	TBO		
CERAMIC TILE	CERAMIC TILE	CT - 1	CERAMIC TILE	DAL TILE	TBO		
	CERAMIC TILE	CT - 10	CERAMIC TILE	DAL TILE	TBO		
CONCRETE	CONCRETE	CONC - 1					
EPOXY FLOORING	EPOXY FLOORING	EPX - 10		DEX-O-TEX	TBO		
FRP WALL PANEL	FRP WALL PANEL	FRP - 1	FRP WALL PANEL - TBO	MARLITE	(INDURO(TM) HPL-FACED FRP		
06 84 13	FRP WALL PANEL	FRP - 2	FRP WALL PANEL - TBO	MARLITE	(INDURO(TM) HPL-FACED FRP		
LUXURY VINYL COMPOSITE TILE FLOORING							
	LUXURY VINYL COMPOSITE TILE FLOORING	LV - 10	LUXURY VINYL TILE	PATCRAFT	TBO		
096500 A1	LUXURY VINYL COMPOSITE TILE FLOORING	LVT - 1	LUXURY VINYL TILE	PATCRAFT	TBO		
096500 A2	LUXURY VINYL COMPOSITE TILE FLOORING	LVT - 2	LUXURY VINYL TILE	PATCRAFT	TBO		
PAINT							
	PAINT	PT - 1	EGGSHELL	SHERWIN WILLIAMS	TBO		
	PAINT	PT - 2	SEM-GLOSS	SHERWIN WILLIAMS	TBO		
	PAINT	PT - 5	EGGSHELL	SHERWIN WILLIAMS	TBO		MATCH EXISTING
	PAINT	PT - 10	EGGSHELL	SHERWIN WILLIAMS	TBO		
PLASTIC LAMINATE							
	PLASTIC LAMINATE	PLAM - 10	WHITE		TBO		
RESILIENT BASE							
	RESILIENT BASE	RB - 1	RESILIENT BASE	ROPPE	TBO		
	RESILIENT BASE	RB - 10	RESILIENT BASE	ROPPE	TBO	4" TALL	
SHEET VINYL/RUBBER							
	SHEET VINYL/RUBBER	SV - 1	TBO	MONDO	GRANITO		INTEGRAL FLASH COVE, 6"
TRANSITION STRIP							
	TRANSITION STRIP	TS - 20		ROPPE	TBO		
VINYL PLANK FLOORING							
	VINYL PLANK FLOORING	VP - 1		PATCRAFT	ITREELINE ACOUSTICAL, TBO	7" X 47"	
WOOD BASE							
	WOOD BASE	WB - 1	IMF BASEBOARD, PAINTED	FORMICA	BASEBOARD, SQUARE EDGE	4" TALL	MATCH WALL COLOR
	WOOD BASE	WB - 10	IMF BASEBOARD, PAINTED	FORMICA	BASEBOARD, SQUARE EDGE	6" TALL	

Architect

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ISSUE INFORMATION

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