

File No. 220219 Committee Item No. 3  
Board Item No. 21

## COMMITTEE/BOARD OF SUPERVISORS

### AGENDA PACKET CONTENTS LIST

Committee: Land Use and Transportation Committee Date March 21, 2022

Board of Supervisors Meeting Date April 5, 2022

#### Cmte Board

<input type="checkbox"/>	<input type="checkbox"/>	Motion
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Resolution
<input type="checkbox"/>	<input type="checkbox"/>	Ordinance
<input type="checkbox"/>	<input type="checkbox"/>	Legislative Digest
<input type="checkbox"/>	<input type="checkbox"/>	Budget and Legislative Analyst Report
<input type="checkbox"/>	<input type="checkbox"/>	Youth Commission Report
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Introduction Form
<input type="checkbox"/>	<input type="checkbox"/>	Department/Agency Cover Letter and/or Report
<input type="checkbox"/>	<input type="checkbox"/>	MOU
<input type="checkbox"/>	<input type="checkbox"/>	Grant Information Form
<input type="checkbox"/>	<input type="checkbox"/>	Grant Budget
<input type="checkbox"/>	<input type="checkbox"/>	Subcontract Budget
<input type="checkbox"/>	<input type="checkbox"/>	Contract/Agreement
<input type="checkbox"/>	<input type="checkbox"/>	Form 126 – Ethics Commission
<input type="checkbox"/>	<input type="checkbox"/>	Award Letter
<input type="checkbox"/>	<input type="checkbox"/>	Application
<input type="checkbox"/>	<input type="checkbox"/>	Public Correspondence

#### OTHER (Use back side if additional space is needed)

<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	DRAFT Quitclaim Deed
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	SDAT Memo 121119
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	PC Reso No. 20755 070920
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Referral FYI 030422
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	PC Reso No. 20755
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	PW Memo 022522
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	PW Order No. 206209
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<input type="checkbox"/>	<input type="checkbox"/>	

Completed by: Erica Major Date March 17, 2022

Completed by: Erica Major Date April 1, 2022

1 [Release of Reservation of Abutter's Rights - 725 Jamestown Avenue]

2  
3 **Resolution approving the abandonment and release of the City's reserved abutter's**  
4 **rights to permit curb cuts at 725 Jamestown Avenue (Assessor's Parcel Block No.**  
5 **4991, Lot No. 276); authorizing the abandonment and release of the City's reserved**  
6 **abutter's rights on a final map and the execution of a corresponding quitclaim deed;**  
7 **finding the proposed release is in conformance with the General Plan, and the eight**  
8 **priority policies of Planning Code, Section 101.1; and adopting California**  
9 **Environmental Quality Act findings.**

10  
11 WHEREAS, Under a Grant Deed dated May 26, 1964, approved by this Board of  
12 Supervisors on May 7, 1964, by Ordinance No. 121-64, (recorded in the Official Records at  
13 Book A776, Page 422), and under a Quitclaim Deed approved by this Board of Supervisors  
14 on January 9, 1967 by Ordinance No. 19-67 (recorded in the Official Records at Book B125  
15 page 698) (collectively, the "Deeds"), the City reserved abutter's rights of access (the  
16 "Reserved Abutter's Rights") to the property located at 725 Jamestown Avenue, San  
17 Francisco (Assessor's Parcel Block No. 4991, Lot No. 276; the "Jamestown Property"); and

18 WHEREAS, The Reserved Abutter's Rights provided the City the right to prohibit or  
19 limit any curb cuts on the Jamestown Property as a means of traffic management and control  
20 on this access road for Candlestick Stadium; and

21 WHEREAS, On July 9, 2020, by Planning Commission Resolution No. 20755, the San  
22 Francisco Planning Commission adopted California Environmental Quality Act (CEQA)  
23 Findings and findings of consistency with the General Plan, and Planning Code, Section  
24 101.1, and approved the construction of a residential project with approximately 122 dwelling  
25 units (the "Jamestown Project") on the Jamestown Property (which the Planning Commission

1 Resolution denotes as “853 Jamestown Avenue”), including the construction of curbs cuts on  
2 Jamestown Avenue for street access to the Jamestown Project; and

3 WHEREAS, The proposed street improvements for the Jamestown Project, including  
4 the curb cuts on Jamestown Avenue, were reviewed by and designed with input from the  
5 City’s Street Design Advisory Taskforce (“SDAT”), comprised of members of Public Works,  
6 the Municipal Transportation Agency, the Fire Department, and the Planning Department,  
7 which review was formalized in a memorandum published by SDAT on December 11, 2019;  
8 and

9 WHEREAS, To enable the Jamestown Project to proceed with the identified curb cuts,  
10 the City and County of San Francisco must abandon the Reserved Abutter’s Rights, which the  
11 Director of Real Estate and the Interim Director of Public Works agree are no longer needed  
12 and the purpose for which they were reserved no longer exists; and

13 WHEREAS, On February 25, 2022, the Acting City and County Surveyor approved  
14 Vesting Tentative Map Application 10847 to subdivide the Jamestown Property and this  
15 approval was conditioned upon the City’s vacation and/or relinquishment of the Reserved  
16 Abutter’s Rights prior to the submittal of the Final Map; and

17 WHEREAS, The California Subdivision Map Act (Government Code, Section 66434,  
18 subdivision (g)) provides that the City may abandon a public easement, including a  
19 reservation of abutter’s rights, by action of the final subdivision map, if a written notation of the  
20 abandonment is listed and certified on the map; and

21 WHEREAS, The Interim Public Works Director and the Acting City and County  
22 Surveyor have determined in Public Works Order No. 206209 that the Reserved Abutter’s  
23 Rights are not required to provide access to the public right-of-way and/or future subdivisions;  
24 and

1           WHEREAS, The Board of Supervisors find that as a policy matter the Reserved  
2 Abutter's Rights no longer serve a public purpose, and the benefits to the City of the  
3 Jamestown Project, including the housing, exceed any value of the Reserved Abutter's  
4 Rights; now, therefore, be it

5           RESOLVED, The Board of Supervisors affirms the Planning Commission's findings  
6 under CEQA and findings of consistency with the General Plan, and Planning Code, Section  
7 101.1, for the reasons set forth in Planning Commission Resolution No. 20755, and, be it

8           FURTHER RESOLVED, That the Board of Supervisors authorizes the Director of Real  
9 Estate, the Interim Director of Public Works, and/or the Acting City and County Surveyor to  
10 take such action as may be necessary to abandon, release, or otherwise extinguish the  
11 Reserved Abutter's Rights by action of the approval of Final Subdivision Map No. 10847,  
12 making written notation of the release and abandonment on the map under the California  
13 Subdivision Map Act; and, be it

14           FURTHER RESOLVED, That the Board of Supervisors hereby authorizes City's  
15 Director of Real Estate, Interim Director of Public Works, and/or the Acting City and County  
16 Surveyor to take any and all other steps that they, in consultation with the City Attorney, deem  
17 necessary to effectuate the purpose and intent of this Resolution, including execution of a  
18 quitclaim deed.



# SAN FRANCISCO PLANNING DEPARTMENT

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## Planning Commission Resolution No. 20755

HEARING DATE: JULY 9, 2020

1650 Mission St.  
Suite 400  
San Francisco,  
CA 94103-2479

Reception:  
**415.558.6378**

Fax:  
**415.558.6409**

Planning  
Information:  
**415.558.6377**

*Record No.:* 2019-002743CRV  
*Project Address:* 853 Jamestown Avenue  
*Zoning:* RH-2 (Residential-House, Two-Family) Zoning District  
40-X Height and Bulk District  
*Block/Lot:* 4991/276  
*Project Sponsor:* Jim Abrams, J. Abrams Law, P.C.  
One Maritime Plaza, Suite 1900,  
San Francisco, CA 94111  
*Property Owner:* Strada Jamestown Venture, LLC  
San Francisco, CA 94124  
*Staff Contact:* Xinyu Liang – (415) 575-9182  
[Xinyu.Liang@sfgov.org](mailto:Xinyu.Liang@sfgov.org)

**RESOLUTION ADOPTING FINDINGS RELATED TO THE REQUESTED CONCESSION/INCENTIVE AND WAIVERS FROM DEVELOPMENT STANDARDS PURSUANT TO STATE DENSITY BONUS LAW (CA GOVT. CODE SECTION 65915) AND PLANNING CODE SECTION 206.6; AFFIRMING AND ADOPTING FINDINGS UNDER THE CALIFORNIA ENVIRONMENTAL QUALITY ACT, AND FINDINGS OF CONSISTENCY WITH THE GENERAL PLAN AND PLANNING CODE SECTION 101.1.**

WHEREAS, on July 18, 2019, J. Abrams Law, on behalf of the Project Sponsor submitted, among other materials, a project application ("PRJ") for the proposed project, an application for approval under the Individually Requested State Density Bonus Program, and a notice to the Planning Department that Project applications pertain to a development project pursuant to both the Housing Accountability Act and the Permit Streamlining Act (Section 65920 et seq of the California Government Code).

WHEREAS, on August 29, 2019, the Department deemed the application complete.

WHEREAS, on December 11, 2019, the Department issued a letter to the Project Sponsor summarizing its analysis of the PRJ materials, including itemized analysis of the proposed project's conformity with applicable Planning Code provisions, applicable design guidelines, and the Individually Requested State Density Bonus Program ("Plan Check Letter").

WHEREAS, the Department has concluded that the proposed project, as revised to respond to the Plan Check Letter and as presented in the plan set attached hereto as **Exhibit A** conforms with applicable Planning Code provisions, applicable design guidelines and the Individually Requested State Density Bonus Program.

WHEREAS, The Planning Commission (hereinafter “Commission”) conducted a duly noticed public hearing at a regularly scheduled meeting to consider the proposed project on July 9, 2020 and make findings required by the Individually Requested State Density Bonus Program; and,

WHEREAS, on March 2, 2006, the Commission adopted Motion No. 17200 certifying the Bayview Hunters Point Redevelopment Projects and Rezoning Final Environmental Impact Report (hereinafter “BVHP FEIR”). On March 2, 2006, the Commission adopted Motion No. 17201 adopting California Environmental Quality Act (hereinafter “CEQA”) findings related to the Bayview Hunters Point Redevelopment Projects and Rezoning, including a Statement of Overriding Considerations and a Mitigation Monitoring and Reporting Program. The proposed project was considered as part of the BVHP FEIR and addressed in the CEQA findings adopted for the the Bayview Hunters Point Redevelopment Projects and Rezoning. Thus, the proposed project was eligible for an Addendum to the BVHP FEIR pursuant to CEQA Guidelines Section 15164, and the Addendum was issued on April 16, 2020. The Addendum concludes that the proposed project would not cause new significant impacts that were not identified in the BVHP FEIR, would not result in significant impacts that would be substantially more severe than those identified in the BVHP FEIR, and would not require new mitigation measures to reduce significant impacts; no changes have occurred with respect to circumstances surrounding the proposed project that would cause significant environmental impacts to which the project would contribute considerably, and no new information has been put forward to demonstrate that the proposed project would cause new significant environmental impacts or a substantial increase in the severity of previously identified significant impacts.

WHEREAS, the Commission has heard and considered the testimony presented to it at the public hearing and has further considered written materials and oral testimony presented on behalf of Department staff and other interested parties; and

WHEREAS, all pertinent documents may be found in the files of the Department, as the custodian of records, at 1650 Mission Street, Suite 400, San Francisco; and

MOVED, That the Planning Commission has reviewed and considered the portions of the BVHP FEIR that are relevant to the proposed project, finds that the Addendum to the EIR under case No. 2019-002743ENV is adequate, accurate, and objective, reflects the independent analysis and judgment of the Planning Department and the Planning Commission, and concurs with the determination that no additional environmental review is required for the reasons set forth in the Addendum; and

MOVED, That the Planning Commission reaffirms and adopts the CEQA Findings and Statement of Overriding Considerations adopted for the BVHP FEIR on March 2, 2006 with Motion No. 17201; and

MOVED, That the Planning Commission adopts the Mitigation and Monitoring Program (MMRP) attached to this Motion as Exhibit B; and

MOVED, that the Commission hereby finds that the requested concession/incentive for street frontages (Section 144) and the waiver from development standards for rear yard (Section 134) are necessary for the Project, and makes the following findings.

## FINDINGS

Having reviewed the materials identified in the preamble above, and having heard all testimony and arguments, this Commission finds, concludes, and determines as follows:

1. The above recitals are accurate and constitute findings of this Commission.
2. **Project Description.** The Project proposes new construction of 122 residential units in 20 buildings on a 6.87-acre vacant parcel along Jamestown Avenue. The unit size varies from 1,100 to 1,550 square feet, and each will contain two or three bedrooms. Most units will be three-story attached townhome-style condominiums with private garages at grade. In total, the project will include approximately 169,332 square feet of residential use with 153 private and 17 guest parking spaces, and 122 Class 1 and 8 Class 2 bicycle parking spaces.

The Project is pursuing the State Density Bonus Law pursuant to Planning Code Section 206.6 and California Government Code Section 65915. The base density includes the amount of residential development that could occur on the project site as-of-right without modifications to the physical aspects of the Planning Code. The RH-2 Zoning District permits up to two residential units per lot. The proposed development site could theoretically be subdivided into 50 code-compliant lot. Therefore, the maximum number of units allowed by the Zoning District (or the base density) is 100 dwelling units. The Project is seeking a density bonus of 22% for a total of 122 residential units. 22% of the base project, or 22 units, will be affordable. 12 of the units (12%) will be affordable to low-income households, five of the units (5%) will be affordable to moderate-income households, and the remaining five units (5%) will be affordable to middle-income households as defined by the Planning Code and Procedures Manual.

3. **Site Description and Present Use.** The Project Site consists of a 6.87-acre parcel located at 853 Jamestown Avenue in San Francisco's Bayview-Hunters Point neighborhood. It was previously occupied by a surface parking lot with perimeter fencing that served Candlestick Park until its demolition in 2014. The site gently slopes upward to the north and there is a steep incline between the project site and Bayview Park to the west. Given the relatively steep slopes on portions of the project site, approximately 3.5 acres of the 6.87-acre project site are suitable for development per the Project Sponsor
4. **Surrounding Properties and Neighborhood.** The Project Site is located within the RH-2 (Residential-House, Two-Family) Zoning District in the Candlestick Point SubArea Plan and Bayview Hunters Point Area Plan. The site is bordered to the north by multifamily residential buildings; Jamestown Avenue to the east; and Bayview Park, which is owned and operated by the San Francisco Recreation and Parks Department, to the west and south. The project site is approximately 0.5 miles east of the Le Conte stop of the T Muni Metro Rail Line, approximately one mile northeast of the Bayshore Caltrain Station, and 0.75 miles southeast of the Third Street/Jamestown Avenue on-ramp to southbound U.S. 101. The neighborhood is characterized by one- to two-story single-family homes across the street on Jamestown Avenue, and by three- to

four-story multifamily buildings immediately to the north. The project is also adjacent to the future redevelopment currently underway at Candlestick Point. Other zoning districts in the vicinity of the project site include RH-1(Residential-House, One-Family), C-2 (Community Business), and P (Public) Zoning District.

5. **Planning Code Section 206.6 Findings.** Pursuant to Planning Code Section 206.6(e), the Planning Commission shall make the following findings as applicable for any application for a Density Bonus, Incentive, Concession or Waiver for any Individually Requested Density Bonus Project:

- A. The Housing Project is eligible for the Individually Requested Density Bonus Program pursuant to Planning Code Section 206.6(b).

*The Project Site can accommodate at least five dwelling units on a vacant parking lot that is in the RH-2 Zoning District. The project would contain a total of 122 residential units in 20 building, including 12 units at 80% AMI, which qualifies for a 22% density bonus. The project is not seeking a density bonus under any other state or local density bonus programs; therefore, the project is eligible for the Individually Requested Density Bonus Program.*

- B. The Housing Project has demonstrated that any Concessions or Incentives reduce actual housing costs, as defined in Section 50052.5 of the California Health and Safety Code, or for rents for the targeted units, based upon the financial analysis and documentation provided.

*The Project is requesting a concession and incentive for street frontage under the Individually Requested Density Bonus Program. Planning Code Section 144 requires every dwelling to have no more than one-third of the width of the ground story along the front lot line, or along a street-side lot line, be devoted to entrances to off-street parking. In addition, where two or more separate entrances are provided, there shall be a minimum separation between such entrances of six feet.*

*The Project Sponsor has sufficiently demonstrated that the requested concession reduces the overall cost of the Project. Subterranean parking would be required to reduce the amount of the ground floor devoted to off-street garage parking entrances. The Project Sponsor provides an estimate that the additional cost to building subterranean parking for 41 units at buildings 1-5 at \$80,000 per parking stall would increase the project cost by \$3.28 million. The requested incentive would result in cost reductions for the project that would offset the cost of providing affordable units on-site. An incentive to make a project as a whole, including the affordable housing units, economically feasible is a well-established use of an incentive.*

- C. If a waiver or modification is requested, a finding that the Development Standards for which the waiver is requested would have the effect of physically precluding the construction of the Housing Project with the Density Bonus or Concessions and Incentives permitted.

*The Project includes the construction of 20 new residential buildings for a total of 122 units. In order to achieve the proposed residential density, the Project is requesting one waiver from development standards for the rear yard requirement. Planning Code Section 134 requires that the Project provide a*

*rear yard equal to 45 percent of the total lot depth. The proposed Buildings 6 to 16, which include 53 units, and the central trash enclosure would encroach into the required rear yard in order to better accommodate the internal circulation and the required private fire access road. Without the waivers, the Project will be physically precluded from constructing the project at the allowable density, including the 22 additional units as permitted under the Individually Requested Density Bonus Program, thus preventing the Project from achieving a 22% density bonus.*

- D. If the Density Bonus is based all or in part on donation of land, a finding that all the requirements included in Government Code Section 65915(g) have been met.

*The Density Bonus for the Project is not based on any donation of land; and is therefore not applicable.*

- E. If the Density Bonus, Concession or Incentive is based all or in part on the inclusion of a Child Care Facility, a finding that all the requirements included in Government Code Section 65915(h) have been met.

*The requested Density Bonus for the Project is not based on the inclusion of a Child Care Facility; and is therefore not applicable.*

- F. If the Concession or Incentive includes mixed-use development, a finding that all the requirements included in Government Code Section 65915(k)(2) have been met.

*The requested Density Bonus for the Project does not involve a mixed-use development; and is therefore not applicable.*

6. **General Plan Compliance.** The Project is, on balance, consistent with the following Objectives and Policies of the General Plan:

## **HOUSING ELEMENT**

### **Objectives and Policies**

#### **OBJECTIVE 1:**

IDENTIFY AND MAKE AVAILABLE FOR DEVELOPMENT ADEQUATE SITES TO MEET THE CITY'S HOUSING NEEDS, ESPECIALLY PERMANENTLY AFFORDABLE HOUSING.

#### **Policy 1.1**

Plan for the full range of housing needs in the City and County of San Francisco, especially affordable housing.

#### **Policy 1.10**

Support new housing projects, especially affordable housing, where households can easily rely on public transportation, walking and bicycling for the majority of daily trips.

**Policy 1.2**

Focus housing growth and infrastructure necessary to support growth according to community plans. Complete planning underway in key opportunity areas such as Treasure Island, Candlestick Park and Hunter's Point Shipyard.

**Policy 1.10**

Support new housing projects, especially affordable housing, where households can easily rely on public transportation, walking and bicycling for the majority of daily trips.

**OBJECTIVE 4:**

FOSTER A HOUSING STOCK THAT MEETS THE NEEDS OF ALL RESIDENTS ACROSS LIFECYCLES.

**Policy 4.1**

Develop new housing, and encourage the remodeling of existing housing, for families with children.

**Policy 4.5**

Ensure that new permanently affordable housing is located in all of the City's neighborhoods, and encourage integrated neighborhoods, with a diversity of unit types provided at a range of income levels.

**OBJECTIVE 11:**

SUPPORT AND RESPECT THE DIVERSE AND DISTINCT CHARACTER OF SAN FRANCISCO'S NEIGHBORHOODS.

**Policy 11.1**

Promote the construction and rehabilitation of well-designed housing that emphasizes beauty, flexibility, and innovative design, and respects existing neighborhood character.

**Policy 11.2**

Ensure implementation of accepted design standards in project approvals.

**Policy 11.3**

Ensure growth is accommodated without substantially and adversely impacting existing residential neighborhood character.

**Policy 11.4:**

Continue to utilize zoning districts which conform to a generalized residential land use and density plan and the General Plan.

**Policy 11.6**

Foster a sense of community through architectural design, using features that promote community interaction.

**Policy 11.8**

Consider a neighborhood's character when integrating new uses, and minimize disruption caused by expansion of institutions into residential areas.

**OBJECTIVE 12:**

BALANCE HOUSING GROWTH WITH ADEQUATE INFRASTRUCTURE THAT SERVES THE CITY'S GROWING POPULATION.

**Policy 12.2**

Consider the proximity of quality of life elements such as open space, child care, and neighborhood services, when developing new housing units.

**Policy 12.3**

Ensure new housing is sustainably supported by the City's public infrastructure systems.

**OBJECTIVE 13**

PRIORITIZE SUSTAINABLE DEVELOPMENT IN PLANNING FOR AND CONSTRUCTING NEW HOUSING.

**Policy 13.1**

Support "smart" regional growth that located new housing close to jobs and transit.

**URBAN DESIGN ELEMENT**

**Objectives and Policies**

**OBJECTIVE 1:**

EMPHASIS OF THE CHARACTERISTIC PATTERN WHICH GIVES TO THE CITY AND ITS NEIGHBORHOODS AN IMAGE, A SENSE OF PURPOSE, AND A MEANS OF ORIENTATION.

**Policy 1.3**

Recognize that buildings, when seen together, produce a total effect that characterizes the city and its districts.

**Policy 1.7**

Recognize the natural boundaries of districts, and promote connections between districts.

## **BAYVIEW HUNTERS POINT AREA PLAN**

### **HOUSING**

#### **Objectives and Policies**

##### **OBJECTIVE 6:**

ENCOURAGE THE CONSTRUCTION OF NEW AFFORDABLE AND MARKET RATE HOUSING AT LOCATIONS AND DENSITY LEVELS THAT ENHANCE THE OVERALL RESIDENTIAL QUALITY OF BAYVIEW HUNTERS POINT.

##### **Policy 6.1**

Encourage development of new affordable ownership units, appropriately designed and located and especially targeted for existing Bayview Hunters Point residents.

##### **Policy 6.5**

In the vicinity of Bayview Hill, encourage well-sited housing development that complements the natural areas and open space, as well as provides for local economic development.

### **URBAN DESIGN**

#### **Objectives and Policies**

##### **OBJECTIVE 10:**

ENHANCE THE DISTINCTIVE AND POSITIVE FEATURES OF BAYVIEW HUNTERS POINT.

##### **Policy 10.1**

Better define Bayview's designated open space areas by enabling appropriate, quality development in surrounding areas.

##### **OBJECTIVE 11**

IMPROVE DEFINITION OF THE OVERALL URBAN PATTERN OF BAYVIEW HUNTERS POINT.

##### **Policy 11.2**

Increase awareness and use of the pedestrian/bicycle trail system that links subareas in Bayview Hunters Point with the rest of the City.

## **CANDLESTICK POINT SUBAREA PLAN**

### **LAND USE**

##### **OBJECTIVE 1:**

REALIZE THE FULL POTENTIAL OF THE UNDERUTILIZED CANDLESTICK POINT BY CREATING A COMPLETE AND THRIVING NEW NEIGHBORHOOD INTIMATELY CONNECTED TO THE BAYVIEW AND THE REST OF THE CITY, IN A WAY THAT FULLY

REALIZES ITS SHORELINE LOCATION AND ACTS AS AN ECONOMIC CATALYST FOR THE REST OF THE BAYVIEW.

**Policy 11.2**

Take full advantage of the underutilized site by providing high density sustainable development.

**COMMUNITY DESIGN & BUILT FORM**

**OBJECTIVE 3:**

CREATE A DIVERSE AND EXCITING URBAN NEIGHBORHOOD THAT IS ENGAGING, COMFORTABLE, AND HAS CONVENIENT ACCESS TO AMENITIES, OPTIMIZES ITS WATERFRONT SETTING AND REFLECTS SAN FRANCISCO BUILT FORM AND CHARACTER IN A CONTEMPORARY WAY.

**Policy 3.2**

Ensure a block pattern and street network that is tied to the adjacent neighborhood, is coherent, and provides the development with organization and orientation.

**Policy 3.3**

Create a street system where streets are clearly an element of the public realm.

**Policy 3.4**

Provide a development with a variety of building heights and sizes as a means to create variety and avoid monotonous development.

**Policy 3.6**

Assure high quality architecture of individual buildings that work together to create a coherent and identifiable place while being individually distinguishable.

*The Department finds that the Project is, on balance, consistent with the Candlestick SubArea Plan, the Bayview Hunters Point Plan and the Objectives and Policies of the General Plan. The Project would provide 122 residential units, helping alleviate San Francisco's severe housing crisis. Additionally, the Project also includes new on-site below market-rate (BMR) units. 22 residential units will be dedicated to low to middle-income households. The proposed 20 new buildings would be interspersed with open space, including a new central community park and play area, and several garden paseos. The Project introduces a contemporary architectural vocabulary that is sensitive to the prevailing scale and neighborhood fabric. All the townhome-style condominiums are similar in style, size, and density to the existing townhouses that immediately to the north of the site. All the units would range from approximately 1,100 to 1,550 square feet with 67% of homes with two bedrooms, two-and-a-half baths and 33% of homes with three bedrooms, three-and-a-half baths.*

*The Project will improve the public rights of way with new streetscape improvements. Along the Jamestown Avenue, quality streetscape design with a new 15-foot wide sidewalk is proposed. In order to fully integrate*

*the proposed subdivision with the City at large, the proposed private street will extend the neighborhood's street grid into the parcel. The built form would try to replicate the typical San Francisco residential development and building modulation*

7. **Planning Code Section 101.1(b)** establishes eight priority-planning policies and requires review of permits for consistency with said policies. On balance, the project complies with said policies in that:

- A. That existing neighborhood-serving retail uses be preserved and enhanced and future opportunities for resident employment in and ownership of such businesses be enhanced.

*The project site does not possess any neighborhood-serving retail uses. The Project provides 122 new dwelling units, which will enhance the nearby retail uses by providing new residents, who may patron and/or own these businesses.*

- B. That existing housing and neighborhood character be conserved and protected in order to preserve the cultural and economic diversity of our neighborhoods.

*The Project would not negatively affect the existing housing and neighborhood character. The Project would not displace any housing given the existing project site consists wholly of a paved vacant parking lot. The Project would improve the existing character of the neighborhood by developing 20 residential buildings with 122 dwelling units and include 22 on-site affordable units.*

- C. That the City's supply of affordable housing be preserved and enhanced,

*The Project does not currently possess any existing affordable housing. The Project will comply with the City's Inclusionary Housing Program by providing 22 below-market-rate dwelling units. Therefore, the Project will increase the stock of affordable housing units in the City.*

- D. That commuter traffic not impede MUNI transit service or overburden our streets or neighborhood parking.

*The Project would not impede MUNI transit service or overburden local streets or parking. The Muni bus line 29 is one block north of the proposed development site. The Project will provide off-street parking at the principally permitted amounts and sufficient bicycle parking for residents and their guests. The project would also implement a TDM plan, which would further reduce its vehicle travel demand.*

- E. That a diverse economic base be maintained by protecting our industrial and service sectors from displacement due to commercial office development, and that future opportunities for resident employment and ownership in these sectors be enhanced.

*The Project is wholly a residential building and would not negatively affect the industrial and service sectors, nor would it displace any existing industrial uses.*

- F. That the City achieve the greatest possible preparedness to protect against injury and loss of life in an earthquake.

*The Project will be designed and will be constructed to conform to the structural and seismic safety requirements of the Building Code. This proposal will not impact the property's ability to withstand an earthquake.*

- G. That landmarks and historic buildings be preserved.

*The Project Site does not contain any City Landmarks or historic buildings.*

- H. That our parks and open space and their access to sunlight and vistas be protected from development.

*The Project would not have an adverse effect on the City's parks and open space and their access to sunlight and vistas.*

NOW THEREFORE BE IT RESOLVED that the Commission hereby ADOPTS the findings for the requested incentives, concessions, and waivers as described in this Resolution, and makes a condition of the Project and relevant BVHP FEIR mitigation measures identified in the MMRP attached hereto at Exhibit B.

I hereby certify that the foregoing Resolution was adopted by the Commission at its meeting on July 9, 2020.



Jonas P. Ionin  
Commission Secretary

AYES: Koppel, Moore, Chan, Diamond, Fung, Imperial, Johnson

NAYS: None

ABSENT: None

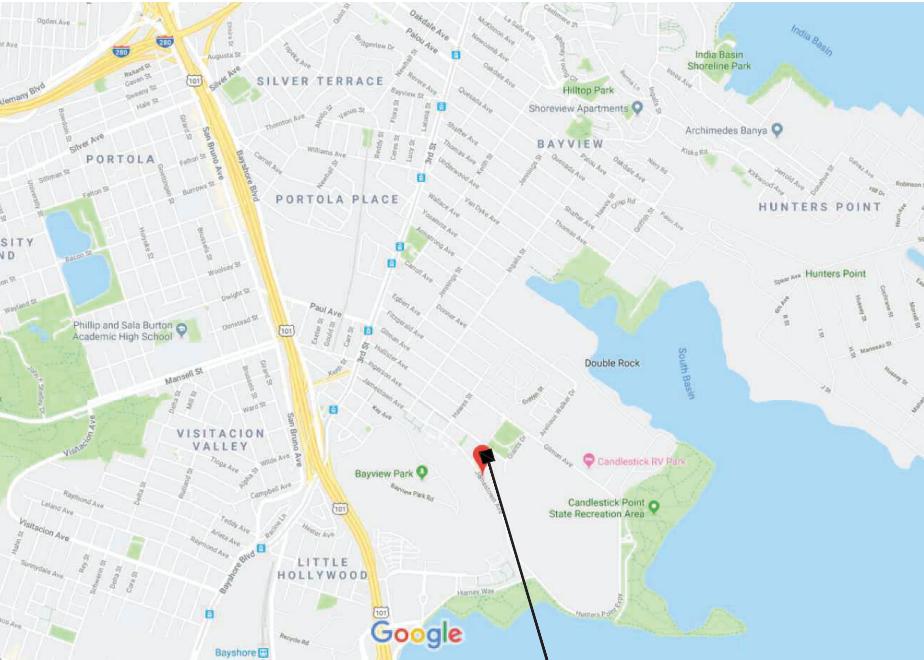
ADOPTED: July 9, 2020



JAMESTOWN  
CANDLESTICK POINT  
SAN FRANCISCO, CA  
JUNE 25, 2020

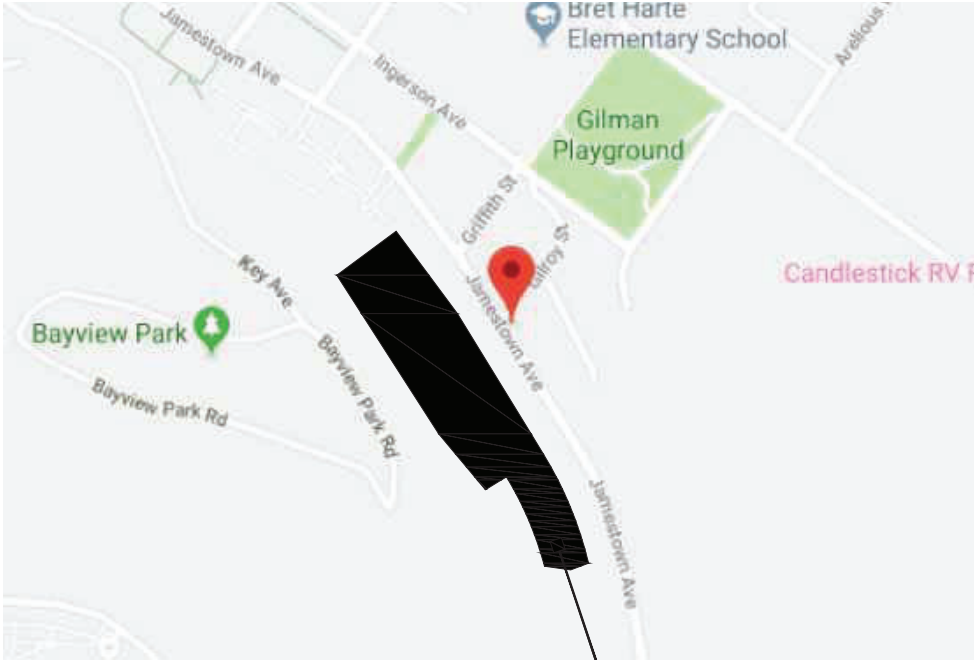


LOCATION MAP



SITE LOCATION

VICINITY MAP



SITE LOCATION

# JAMESTOWN CANDLESTICK POINT SAN FRANCISCO, CALIFORNIA

PRELIMINARY PROJECT ASSESSMENT APPLICATION  
ORIGINAL SUBMITTAL DATE: MARCH 05, 2019  
RESUBMITTAL DATE: MARCH 09, 2020  
RESUBMITTAL DATE: JUNE 05, 2020  
RESUBMITTAL DATE: JUNE 25, 2020



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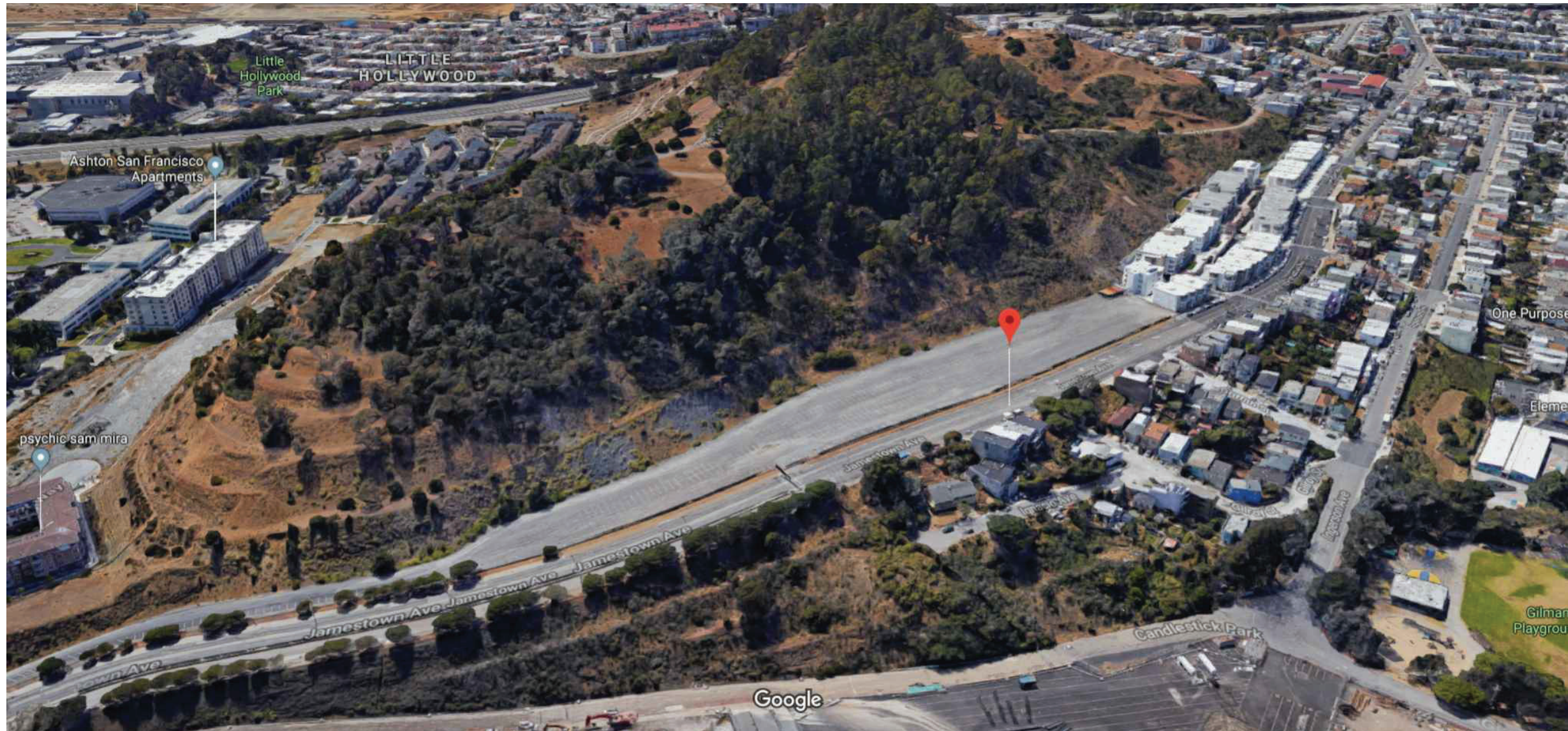
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# PART I

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PROJECT SUMMARY

PROJECT ADDRESS:	853 JAMESTOWN AVE. & HARNEY WAY
ASSESSOR PARCEL NUMBER:	BLOCK 4991 LOT 276
ZONING:	RH-2
LOT AREA:	299,257 SF. (6.78 ACRES)
	- BUILDABLE ±3.5 ACRES / 52%
RESIDENTIAL	67,162 SF (22%)
OPEN PARKING & DRIVES	52,762 SF (17%)
OPEN	972 SF
DRIVES	51,790 SF
USABLE OPEN SPACE (SEE SHEET A2.6 FOR CALCULATIONS)	
COMMON (PARK)	4,921 SF
PRIVATE (TERRACES AND DECKS)	8,281 SF
PUBLIC (HILLSIDE)	154,673 SF
HEIGHT LIMIT:	40'-0" (38'-0" TO 40'-0" PROPOSED)
NO. OF STORIES	THREE
NUMBER OF BLDGS.	20
GROSS SQ.FT.	169,332 SF.
NUMBER OF UNITS:	122 UNITS
	PLAN 1 - 1,296 SF (3 BD. & 3.5 BTHS): 5 UNITS
	PLAN 2 - 1,324 SF (3 BD & 3 BTHS): 18 UNITS
	PLAN 3 - 1,527 SF (3 BD & 3.5 BTHS): 18 UNITS
	PLAN 4 - 1,279 SF (2 BD & 2.5 BTHS): 27 UNITS
	PLAN 5 - 1,279 SF(2 BD & 2.5 BTHS): 13 UNITS
	PLAN 6 - 1,289 SF (2 BD & 2.5 BTHS): 13 UNITS
	PLAN 7 - 1,605 SF (2 BD & 2.5 BTHS): 28 UNITS
	122 UNITS
DENSITY (UNITS PER ACRE):	18 DUA PER TOTAL LOT AREA
	35 DUA PER BUILDABLE LOT AREA
PARKING AUTO:	170 SPACES
	- 153 PRIVATE
	- 17 GUEST (1 ADA)
BICYCLE:	130
	- 122 PRIVATE (IN GARAGES)
	- 8 (CLASS 2 IN PARK)
OCCUPANCY:	R2/U
CONSTRUCTION TYPE:	V-B (BLDGS. TYPE A & B)
	V-A (BLDG. TYPE C)
SPRINKLER:	NFPA-13
ACCESSIBILITY:	
	DWELLING UNITS: 122 - 16 CARRIAGE UNITS = 106 DWELLING UNITS TOTAL
	10% OF THE 106 QUALIFYING UNITS TO BE ADAPTABLE: 106 X 0.1 = 10.6 UNITS
	11 UNITS REQUIRED; 11 PROPOSED
PARKING:	1 SPACE
PATH OF TRAVEL:	BLDGS. 6 THRU 16, PARKING, POCKET PARK & RIGHT OF WAY (SHT. A4.2)
CUT FILL CALCS:	
	PROPOSED TOTAL CUT: 10,158 CUBIC YARDS
	PROPOSED TOTAL FILL: 4,903 CUBIC YARDS
	NET TOTAL CUT: 5, 255 CUBIC YARDS

PROJECT OVERVIEW

PROJECT DESCRIPTION - JAMESTOWN AVENUE (NO ADDRESS; BLOCK 4991; LOT 276):

THE SITE IS A 6.865-ACRE PROPERTY WITHOUT AN ADDRESS, LOCATED ALONG JAMESTOWN AVENUE (BLOCK 4991; LOT 276), IN SAN FRANCISCO. THE SITE IS CURRENTLY OCCUPIED BY A SURFACE PARKING LOT THAT SERVED CANDLESTICK PARK UNTIL ITS DEMOLITION IN 2014 AND IS LOCATED IN A RESIDENTIAL HOUSE, TWO-FAMILY (RH-2) USE DISTRICT AND A 40-X HEIGHT AND BULK DISTRICT. THE PROPERTY IS CENTERED ON A QUIET SLOPED HILLSIDE AT THE NEXUS OF THE BAYVIEW HEIGHTS NEIGHBORHOOD AND THE FUTURE 702-ACRE REDEVELOPMENT CURRENTLY UNDERWAY AT CANDLESTICK POINT WHICH WILL BRING UP TO 6,000 NEW RESIDENTIAL UNITS, 300,000 SQUARE FEET OF RETAIL, 2 MILLION SQUARE FEET OF OFFICE, AND 121 ACRES OF OPEN RECREATION SPACE TO THE SURROUNDING CANDLESTICK POINT AND BAYVIEW COMMUNITIES. THE PARCEL IS BORDERED BY MULTI-FAMILY RESIDENTIAL BUILDINGS AT ADJACENT PARCELS.

THE SITE IS LOCATED A HALF MILE FROM THE LE CONTE STOP OF THE T-THIRD STREET METRO LINE, LESS THAN ONE MILE FROM THE BAYSHORE CALTRAIN STATION, AND HAS IMMEDIATE ACCESS TO THE US-101 FREEWAY WHICH WILL OFFER FUTURE RESIDENTS EASY ACCESS TO BOTH DOWNTOWN SAN FRANCISCO AND SILICON VALLEY JOBS. THESE TRANSIT ADJACENCIES AND THE SITE'S RESIDENTIAL SURROUNDINGS COUPLED WITH SAN FRANCISCO'S HOUSING DEFICIT PRESENT AN IDEAL OPPORTUNITY FOR RESIDENTIAL REDEVELOPMENT.

THE PLAN CONFORMS TO THE EXISTING RH-2 ZONING AND CALLS AN ADDENDUM TO THE PREVIOUSLY APPROVED 2010 CANDLESTICK POINT-HUNTERS POINT SHIPYARD PHASE II DEVELOPMENT PLAN PROJECT EIR (THE "CANDLESTICK EIR"), AMONG OTHER APPROVALS.

PROPOSED REDEVELOPMENT:

THE PROPOSED REDEVELOPMENT ENVISIONS THE CONSTRUCTION OF 122, 3-STORY ATTACHED TOWNHOME STYLE RESIDENCES TOTALING 160,434 SF. THE COMMUNITY OF 20 NEW BUILDINGS WOULD BE INTERSPERSED WITH OPEN SPACE, INCLUDING A NEW CENTRAL COMMUNITY PARK AND PLAY AREA, AND SEVERAL GARDEN PASEOS THAT WOULD CONTRIBUTE TO AND ENHANCE THE EXISTING RESIDENTIAL COMMUNITY THAT SURROUNDS THE PROPERTY TODAY.

THE PROPOSED TOWNHOME-STYLE CONDOMINIUMS ARE SIMILAR IN STYLE, SIZE, AND DENSITY TO THE EXISTING TOWNHOME COMMUNITIES THAT IMMEDIATELY NEIGHBOR THE SITE AS WELL AS THOSE AT THE NEARBY SHIPYARDS DEVELOPMENT. THE TOWNHOMES WOULD RANGE FROM APPROXIMATELY 1,100 TO 1,550 SQUARE FEET WITH 67% OF HOMES WITH TWO BEDROOMS, TWO-AND-A-HALF BATHS AND 23% OF HOMES WITH THREE BEDROOMS, THREE-AND-A-HALF BATHS AND WOULD PROVIDE A RARE OWNERSHIP OPPORTUNITY SUITABLE TO FIRST-TIME SAN FRANCISCO HOME BUYERS. ADDITIONALLY, APPROXIMATELY TWO-THIRDS OF THE HOMES WOULD INCLUDE PRIVATE ROOF DECKS AND/OR BALCONIES.

COMMUNITY AMENITIES/LANDSCAPE:

TO ENHANCE THE PROJECT AND NEIGHBORING COMMUNITY, THE PROJECT ENVISIONS CREATING CENTRAL GATHERING SPACES THAT WILL CAPITALIZE ON SURROUNDING VIEWS OF THE BAY AS WELL AS ACTIVATING THE PREVIOUSLY NEGLECTED SPAN OF JAMESTOWN AVENUE FRONTING THE SITE WITH NEW HARDSCAPE AND PLANTING. ADDITIONALLY, A LANDSCAPED LANDING AT THE SOUTHERNMOST PORTION OF THE PROPERTY WILL PROVIDE A FLUID CONNECTION TO FUTURE PARKS AND OPEN SPACE PLANNED BY THE DEVELOPER OF CANDLESTICK POINT. THE .14 ACRE CENTRAL COMMUNITY PARK WILL BE A PRIVATELY OWNED AND MAINTAINED SPACE WITH A PERMANENT PUBLIC ACCESS EASEMENT, ADDING NO ADDITIONAL COSTS TO THE CITY'S PARKS MAINTENANCE BUDGET.



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PROJECT SUMMARY & PROJECT DESCRIPTION		
PRELIMINARY PROJECT ASSESSMENT APPLICATION		
ORIGINAL SUBMITTAL DATE:	MARCH 05, 2019	SCALE: N.T.S.
RESUBMITTAL DATE:	MARCH 09, 2020	
RESUBMITTAL DATE:	JUNE 05, 2020	DATE: 06.25.2020
RESUBMITTAL DATE:	JUNE 25, 2020	PROJECT: 348001



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EXISTING HUNTERS POINT CONTEXTUAL SITE LOCATION

## A1.1

SCALE: 1"=300'-0"

DATE: 06.25.2020

PROJECT: 348001

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VIEW TOWARD DOWNTOWN **6**



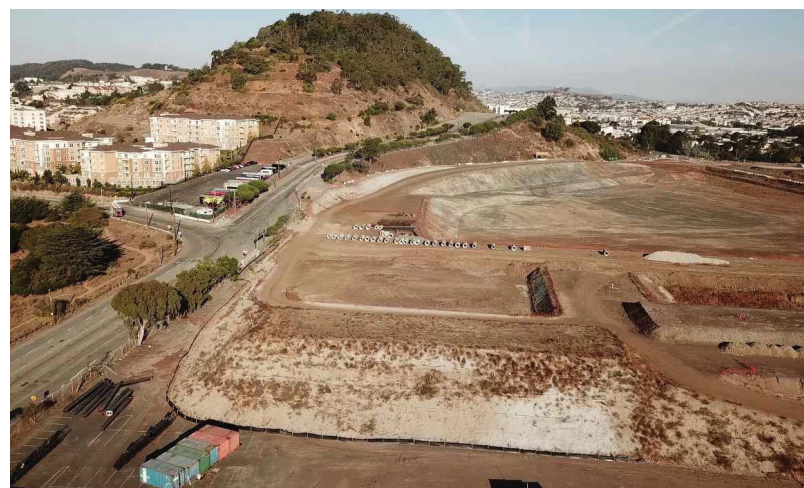
ADJACENT BUILDINGS TO THE NORTH **1**



VIEW ACROSS STREET **5**



VIEW ACROSS JAMESTOWN **2**



VIEW TOWARD DOWNTOWN **4**



PROPOSED DEVELOPMENT AT BALLPARK SITE **3**



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CONTEXTUAL SITE PHOTOS

**A1.2**

SCALE: 1"=200'-0"

DATE: 06.25.2020

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FUTURE HUNTERS POINT CONTEXTUAL DIAGRAM

A1.3

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SCALE: 1"=100'-0"  
DATE: 06.25.2020  
PROJECT: 348001



NORTH ENRTY FROM JAMESTOWN



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RENDERINGS

A1.4

SCALE: N.T.S.  
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GARDEN PASEO



DOWNHILL VIEW



VIEW FROM JAMESTOWN



COMMUNITY PARK & CENTRAL DRIVE AISLE



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RENDERINGS

A1.5

SCALE: N.T.S.

DATE: 06.25.2020

PROJECT: 348001



## PART II

### PROPOSED SITE DETAILS

BUILDING SUMMARY

BLDGS. 1, 4 & 5 (9 UNITS)			
PLAN 1	LIVING	1,296 SF. X 1 =	1,296 SF.
PLAN 2	LIVING	1,324 SF. X 4 =	5,296 SF.
PLAN 3	LIVING	1,527 SF. X 4 =	6,108 SF.
12,700 SF. X 3 BLDGS. = 38,100 GROSS SF.			
BLDGS. 2 & 3 (7 UNITS)			
PLAN 1	LIVING	1,296 SF. x 1 =	1,296 SF.
PLAN 2	LIVING	1,324 SF. x 3 =	3,972 SF.
PLAN 3	LIVING	1,527 SF. x 3 =	4,581 SF.
9,849 SF. x 2 BLDGS. = 19,698 GROSS SF.			
BLDGS. 6 & 7 (4 UNITS)			
PLAN 5	LIVING	1,279 SF. x 2 =	2,558 SF.
PLAN 6	LIVING	1,289 SF. x 2 =	2,578 SF.
5,136 SF. x 2 BLDGS. = 10,272 GROSS SF.			
BLDGS. 8 THRU 16 (5 UNITS)			
PLAN 4	LIVING	1,279 SF. x 3 =	3,837 SF.
PLAN 5	LIVING	1,279 SF. x 1 =	1,132 SF.
PLAN 6	LIVING	1,289 SF. x 1 =	1,289 SF.
6,258 SF. x 9 BLDGS. = 56,322 GROSS SF.			
BLDGS. 17 & 18 (8 UNITS)			
PLAN 7	LIVING	1,605 SF. x 8 =	12,840 SF. x 2 BLDGS. = 25,680 GROSS SF.
BLDGS. 19 & 20 (6 UNITS)			
PLAN 7	LIVING	1,605 SF. x 6 =	9,630 SF. x 2 BLDGS. = 19,260 GROSS SF.
TOTAL LIVING = 169,332 GROSS SF.			

BUILDING DESCRIPTIONS

BLDGS. 1 THRU 5: TYPE A (41 UNITS)- 1 THRU 41	
FOOTAGE	1,296 - 1,527 SF \ UNIT
STORIES	THREE
BED & BATH	3 BEDRM & 3 1/2 BATHS
PARKING	18 SPACES - 44% 2 CAR SIDE BY SIDE
FEATURES	
23 SPACES - 56% 1 CAR	
OPTIONAL ROOF DECK	
BLDGS. 6 THRU 16: TYPE B (53 UNITS)- 42 THRU 94	
FOOTAGE	1,279 - 1,289 SF.
STORIES	THREE
BED & BATH	2 BEDRM & 2 1/2 BATHS
PARKING	13 SPACES - 24% 2 CAR SIDE BY SIDE
FEATURES	
40 SPACES - 76% 1 CAR	
OPTIONAL ROOF DECK	
BLDGS. 17 THRU 20: TYPE C (28 UNITS)- 95 THRU 122	
FOOTAGE	1,605 - 2,428 SF.
STORIES	THREE
BED & BATH	2 BEDRM & 2 1/2 BATHS
PARKING	28 SPACES - 100% 1 CAR

SITE LEGEND

1.

BLDG. TYPE A - BLDGS. 1 THRU 5

3 STORY, TYPE VB, NFPA 13
2.

BLDG. TYPE B - BLDGS. 6 THRU 16

3 STORY, TYPE VB, NFPA 13

W/ ACCESSIBLE GROUND FLOOR AT LOCATIONS SHOWN
3.

BLDG. TYPE C - BLDGS. 17 THRU 20

4 STORY, TYPE VA, NFPA 13
4.

RETAINING WALL
5.

GUEST PARKING (15 TOTAL)
6.

PARKING DRIVE AISLE
7.

COMMON USE PASEOS
8.

VEHICULAR ENTRY
9.

RIDE SHARE PARKING STALL
10.

ACCESSIBLE PARKING STALL
11.

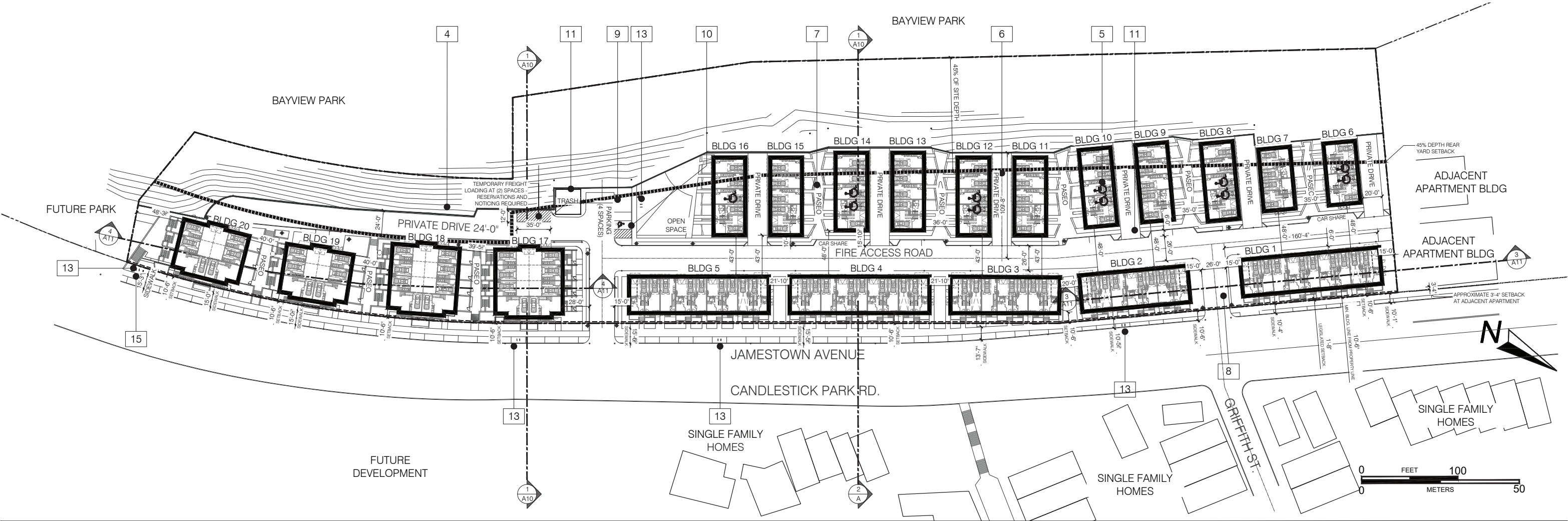
TRASH ENCLOSURE
12.

ACCESSIBLE ROUTES
13.

CLASS 2 BIKE PARKING (15 SPACES)
14.

E.V. CHARGING STATION (NOTE - INTERIOR OF ALL UNIT GARAGES TO PROVIDE CHARGING CAPABILITY)
15.

BIKE REPAIR STATION



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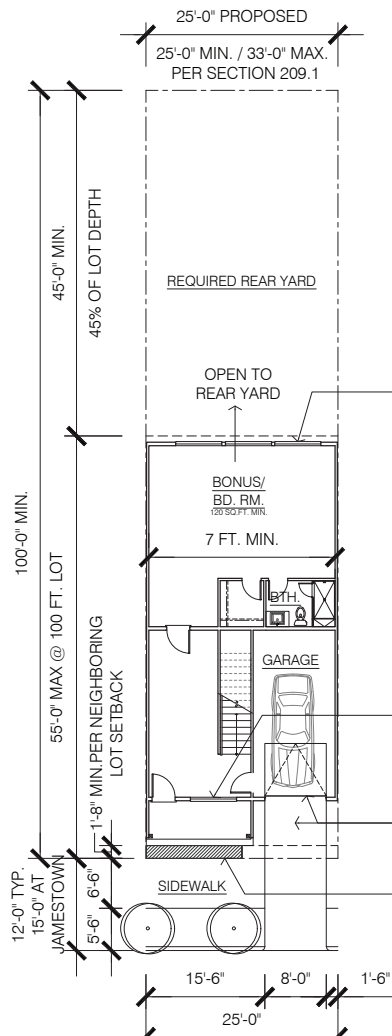
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ARCHITECTURAL SITE PLAN

A2.0

SCALE: 1"=50'-0"  
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TYPICAL LOT AREA: 2,500 SQ.FT. MIN.  
TYPICAL DUPLEX PLAN

PROJECT DATA	
ZONING:	RH-2
MIN. LOT SIZE:	2,500 SQ.FT.
TOTAL LOT AREA:	6.78 ACRES
DEVELOPABLE AREA 10% SLOPE OR LESS:	3.86 ACRES
50 LOTS - 99 UNITS / 3.86:	25.64 D.U.A.

CONCEPT SITE PLAN	
LOT 1-50 - (2) UNITS PER LOT:	100 UNITS
TOTAL UNITS:	100 UNITS

REQUIRED 120 SQ.FT. MIN. WINDOW FACE DIRECTLY ONTO AN OUTER COURT WHOSE WIDTH IS EQUAL TO ITS DEPTH, TYP. OF ALL PLAN TYPES, PER SECTION 140 - NUMBER 1 & 2.

NOTE: THE HOUSING CODE & CBC CHAPTER 12 REQUIREMENTS FOR LIGHT & AIR HAVE BEEN INCLUDED IN WINDOW LOCATION FOR LIGHT & AIR.

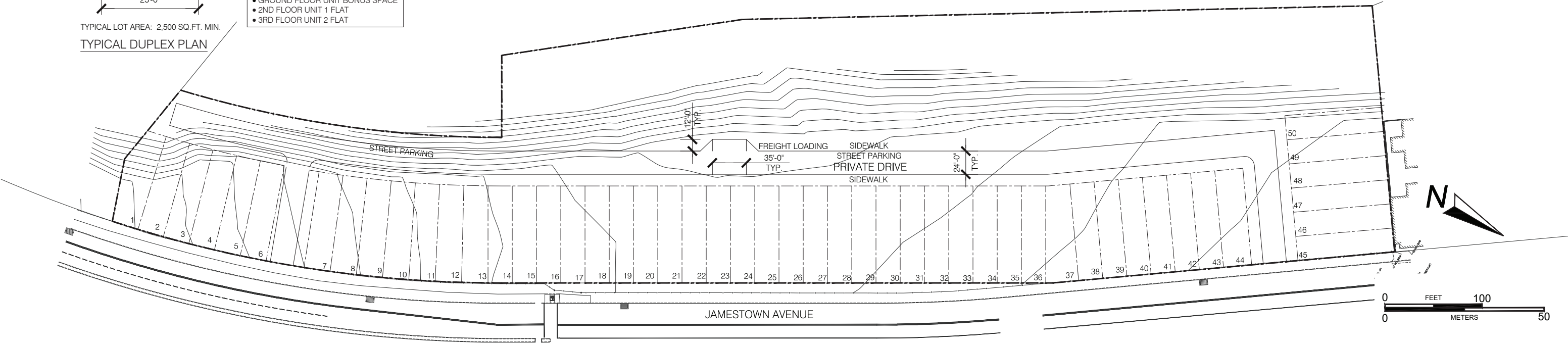
REQUIRED WINDOWS FACE DIRECTLY ONTO A PUBLIC STREET OR ALLEY AT LEAST 20 FT. IN WIDTH, TYP. OF ALL PLAN TYPES

DRIVEWAY AND GARAGE DOOR LESS THAN 1/3 OF WIDTH OF LOT, TYP. (8'-0" = <1/3 x 25'-0")

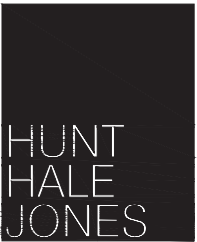
50% OF FRONT YARD SETBACK PERMEABLE, TYP.

- UNIT DESIGN - 3 STORIES < 40 FT.
- GROUND FLOOR UNIT BONUS SPACE
  - 2ND FLOOR UNIT 1 FLAT
  - 3RD FLOOR UNIT 2 FLAT

SAN FRANCISCO PLANNING CODE FOR RH-2			CODE REQUIREMENT	PROJECT PROPOSAL
PLANNING CODE REQUIREMENTS				
SECTION 121 - MINIMUM LOT WIDTH AND AREA				
(a)	FRONTAGE	16 FT. MINIMUM FRONTAGE ON PUBLIC STREET OF ALLEY	16 FT.	25 FT.
(b)	SUBDIVISIONS AND LOT SPLITS	MINIMUM LOT WIDTH OF 25 FT. AND AREA OF 2,500 SQ. FT.	25 FT. / 2,500 SQ.FT.	N/A
(c)	MEASUREMENT	LOT WIDTH MEASURED IN HORIZONTAL DISTANCE BETWEEN LOT LINES, LOT AREA MEASURED IN HORIZONTAL PLAN OF LOT LINES	APPLY	APPLIED
(d)	MINIMUM LOT WIDTH	IN RH-2 (D) DISTRICTS IS 25 FT.	25 FT.	25 FT.
(e)	MINIMUM LOT AREA	IN RH-2 (D) DISTRICTS IS 2,500 SQ. FT.	2,500 SQ. FT.	2,520 SQ.FT.
SECTION 140 - ALL DWELLING UNITS IN ALL USE DISTRICTS TO FACE ON AN OPEN AREA				
(a)	REQUIREMENTS FOR DWELLING UNITS	DWELLING UNITS IN ANY DISTRICT, REQUIRED WINDOWS OF AT LEAST ONE ROOM MEET THE 120 SQ.FT. MINIMUM SUPERFICIAL FLOOR AREA REQUIREMENT OF SECTION 903 OF THE HOUSING CODE, SHALL FACE DIRECTLY ON AN OPEN AREA OF ONE OF THE FOLLOWING TYPES: (1) A PUBLIC STREET, PUBLIC ALLEY AT LEAST 20 FEET IN WIDTH, SIDE YARD AT LEAST 25 FEET IN WIDTH, OR REAR YARD MEETING THE REQUIREMENTS OF THIS CODE; PROVIDED, THAT IF SUCH WINDOWS ARE ON AN OUTER COURT WHOSE WIDTH IS LESS THAN 25 FEET, THE DEPTH OF SUCH COURT SHALL BE NO GREATER THAN ITS WIDTH; OR (2) AN OPEN AREA (WHETHER AN INNER COURT OR A SPACE BETWEEN SEPARATE BUILDINGS ON THE SAME LOT) WHICH IS UNOBSTRUCTED (EXCEPT FOR FIRE ESCAPES NOT PROJECTING MORE THAN NECESSARY FOR SAFETY AND IN NO CASE MORE THAN FOUR FEET SIX INCHES, CHIMNEYS, AND THOSE OBSTRUCTIONS PERMITTED IN SECTIONS 136(C)(14), (15), (16), (19), (20) AND (29) OF THIS CODE) AND IS NO LESS THAN 25 FEET IN EVERY HORIZONTAL DIMENSION FOR THE FLOOR AT WHICH THE DWELLING UNIT IN QUESTION IS LOCATED AND THE FLOOR IMMEDIATELY ABOVE IT, WITH AN INCREASE OF FIVE FEET IN EVERY HORIZONTAL DIMENSION AT EACH SUBSEQUENT FLOOR, EXCEPT FOR SRO BUILDINGS IN THE EASTERN NEIGHBORHOODS MIXED USE DISTRICTS, WHICH ARE NOT REQUIRED TO INCREASE FIVE FEET IN EVERY HORIZONTAL DIMENSION UNTIL THE FIFTH FLOOR OF THE BUILDING.	120 SQ.FT. MIN. OPENING	120 SQ.FT. MIN. OPENING, GROUND FLOOR ROOM PROVIDES 350 SQ.FT., 24'-4" WIDTH AND ACCESS TO OPEN AREA
SECTION 144 - STREET FRONTAGES IN RH, RTO, RTO-M, AND RM DISTRICTS				
(a)	PURPOSE	IN RH, RM, RTO AND RTO-M DISTRICTS THE GROUND STORY OF DWELLINGS AS VIEWED FROM THE STREET IS COMPATIBLE WITH THE SCALE AND CHARACTER OF THE EXISTING STREET FRONTAGE, VISUALLY INTERESTING AND ATTRACTIVE IN RELATION TO THE PATTERN OF THE NEIGHBORHOOD, AND SO DESIGNED THAT ADEQUATE AREAS ARE PROVIDED FOR FRONT LANDSCAPING, STREET TREES AND ON-STREET PARKING BETWEEN DRIVEWAYS		
(b)	CONTROLS			
	1. ENTRANCES TO OFF-STREET PARKING	NO MORE THAN ONE-THIRD OF THE WIDTH OF THE GROUND STORY ALONG THE FRONT LOT LINE, OR ALONG A STREET SIDE LOT LINE, OR ALONG A BUILDING WALL THAT IS SET BACK FROM ANY SUCH LOT LINE, SHALL BE DEVOTED TO ENTRANCES TO OFF-STREET PARKING		SEE PLAN NOTES AND DIMENSIONS
	A. EXCEPTIONS	NOT APPLICABLE WHERE LOT HAS UPWARD OR DOWNWARD SLOPE FROM FRONT LOT LINE TO FORWARD EDGE OF REQUIRED REAR YARD, ALONG THE CENTERLINE OF THE BUILDING, > 20 PERCENT; OR WHERE LOT DEPTH AND REQUIREMENTS OF CODE FOR DIMENSIONS, AREAS AND OPEN SPACES ARE SUCH THAT THE PERMITTED BUILDING DEPTH IS < 40 FEET IN RH-2 DISTRICT OR < 65 FEET IN RH OR RM DISTRICTS		N/A
	2. FEATURES TO BE PROVIDED	NO LESS THAN ONE-THIRD OF THE WIDTH OF THE GROUND STORY ALONG THE FRONT LOT LINE, ALONG A STREET SIDE LOT LINE, AND ALONG A BUILDING WALL THAT IS SET BACK FROM ANY SUCH LOT LINE, SHALL BE DEVOTED TO WINDOWS, ENTRANCES FOR DWELLING UNITS, LANDSCAPING, AND OTHER ARCHITECTURAL FEATURES THAT PROVIDE VISUAL RELIEF AND INTEREST FOR THE STREET FRONTAGE		SEE PLAN NOTES AND DIMENSIONS
	3. PARKING SETBACK	IN RTO AND RTO-M DISTRICTS OFF-STREET PARKING IS NOT PERMITTED ON THE GROUND FLOOR WITHIN THE FIRST 20 FEET OF BUILDING DEPTH FROM ANY FACADE FACING A STREET AT LEAST 30 FEET IN WIDTH		N/A
SECTION 152 - SCHEDULE OF REQUIRED OFF-STREET FREIGHT LOADING SPACES IN DISTRICTS OTHER THAN C-3 AND EASTERN NEIGHBORHOODS MIXED USE DISTRICTS				
TABLE 152 - OFF-STREET FREIGHT LOADING SPACES REQUIRED (OUTSIDE C-3 AND EASTERN NEIGHBORHOODS MIXED USE DISTRICTS)				
	USE OR ACTIVITY			
	ALL OTHER USES NOT INCLUDED ABOVE	OCCUPIED FLOOR AREA OF STRUCTURE OR USE (SQ. FT.) / NUMBER OF OFF-STREET FREIGHT LOADING SPACES REQUIRED	100,001 - 200,000 / 1 REQUIRED	±133,300 SQ.FT. / 1 PROVIDED
SECTION 154 - DIMENSIONS FOR OFF-STREET PARKING, FREIGHT LOADING AND SERVICE VEHICLE SPACES				
b.	FREIGHT LOADING AND SERVICE VEHICLE SPACES	REQUIRED OFF-STREET FREIGHT LOADING SPACE SHALL HAVE A MINIMUM LENGTH OF 35 FEET, A MINIMUM WIDTH OF 12 FEET, AND A MINIMUM VERTICAL CLEARANCE INCLUDING ENTRY AND EXIT OF 14 FEET	351 x 12w x 14h	351 x 12w x 14h
SECTION 209.1 - RH (RESIDENTIAL, HOUSE) DISTRICTS				
TABLE 209.1 - ZONING CONTROL TABLE FOR RH DISTRICTS				
BUILDING STANDARDS			CODE REQUIREMENT	PROJECT PROPOSAL
	MASSING AND SETBACKS			
	HEIGHT AND BULK LIMITS	NO PORTION OF A DWELLING MAY BE TALLER THAN 35 FEET. STRUCTURES WITH USES OTHER THAN DWELLINGS MAY BE CONSTRUCTED TO THE PRESCRIBED HEIGHT LIMIT, WHICH IS GENERALLY 40 FEET. PER § 261 THE HEIGHT LIMIT MAY BE DECREASED OR INCREASED BASED ON THE SLOPE OF THE LOT.	40'-0" MAX.	40'-0" MAX.
	FRONT SETBACK	REQUIRED. BASED ON AVERAGE OF ADJACENT PROPERTIES OR IF SUBJECT PROPERTY HAS A LEGISLATED SETBACK. WHEN FRONT SETBACK IS BASED ON ADJACENT PROPERTIES, IN NO CASE SHALL THE REQUIRED SETBACK BE GREATER THAN 15 FEET.		
	REAR YARD	45% OF LOT DEPTH OR AVERAGE OF ADJACENT NEIGHBORS. IF AVERAGED, NO LESS THAN 25% OR 15 FEET, WHICHEVER IS GREATER.	45% OF LOT DEPTH MIN.	45% OF LOT DEPTH MIN.
	SIDE YARD	NOT REQUIRED		
	RESIDENTIAL DESIGN GUIDELINES	SUBJECT TO THE RESIDENTIAL DESIGN GUIDELINES. OTHER DESIGN GUIDELINES THAT HAVE BEEN APPROVED BY THE PLANNING COMMISSION MAY ALSO APPLY.		
	STREET FRONTAGE AND PUBLIC REALM			
	FRONT SETBACK LANDSCAPING AND PERMEABLE REQUIREMENT	REQUIRED. AT LEAST 50% OF FRONT SETBACK SHALL BE PERMEABLE SO AS TO INCREASE STORM WATER INFILTRATION AND 20% OF FRONT SETBACK SHALL BE UNPAVED AND DEVOTED TO PLANT MATERIAL.	50% MIN. FRONT SETBACK TO BE PERMEABLE	50% MIN. FRONT SETBACK IS PERMEABLE
	STREETSCAPE AND PEDESTRIAN IMPROVEMENTS (STREET TREES)	REQUIRED		
	STREET FRONTAGE REQUIREMENTS	§ 144 APPLIES GENERALLY. ADDITIONAL REQUIREMENTS APPLY TO LIMITED COMMERCIAL USES, AS SPECIFIED IN § 186.		
	STREET FRONTAGE, PARKING AND LOADING ACCESS RESTRICTIONS	AS SPECIFIED IN § 155(R)		
RESIDENTIAL STANDARDS AND USES				
	DEVELOPMENT STANDARDS			
	USABLE OPEN SPACE (PER DWELLING UNIT)	AT LEAST 125 SQUARE FEET IF PRIVATE, AND 166 SQUARE FEET IF COMMON.		
	PARKING REQUIREMENTS	NONE REQUIRED. MAXIMUM PERMITTED PER § 151.		
	RESIDENTIAL USES			
	RESIDENTIAL DENSITY, DWELLING UNITS (d)	P UP TO TWO UNITS PER LOT. C UP TO ONE UNIT PER 1,500 SQUARE FEET OF LOT AREA.		



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STATE DENSITY BONUS BASE SITE PLAN

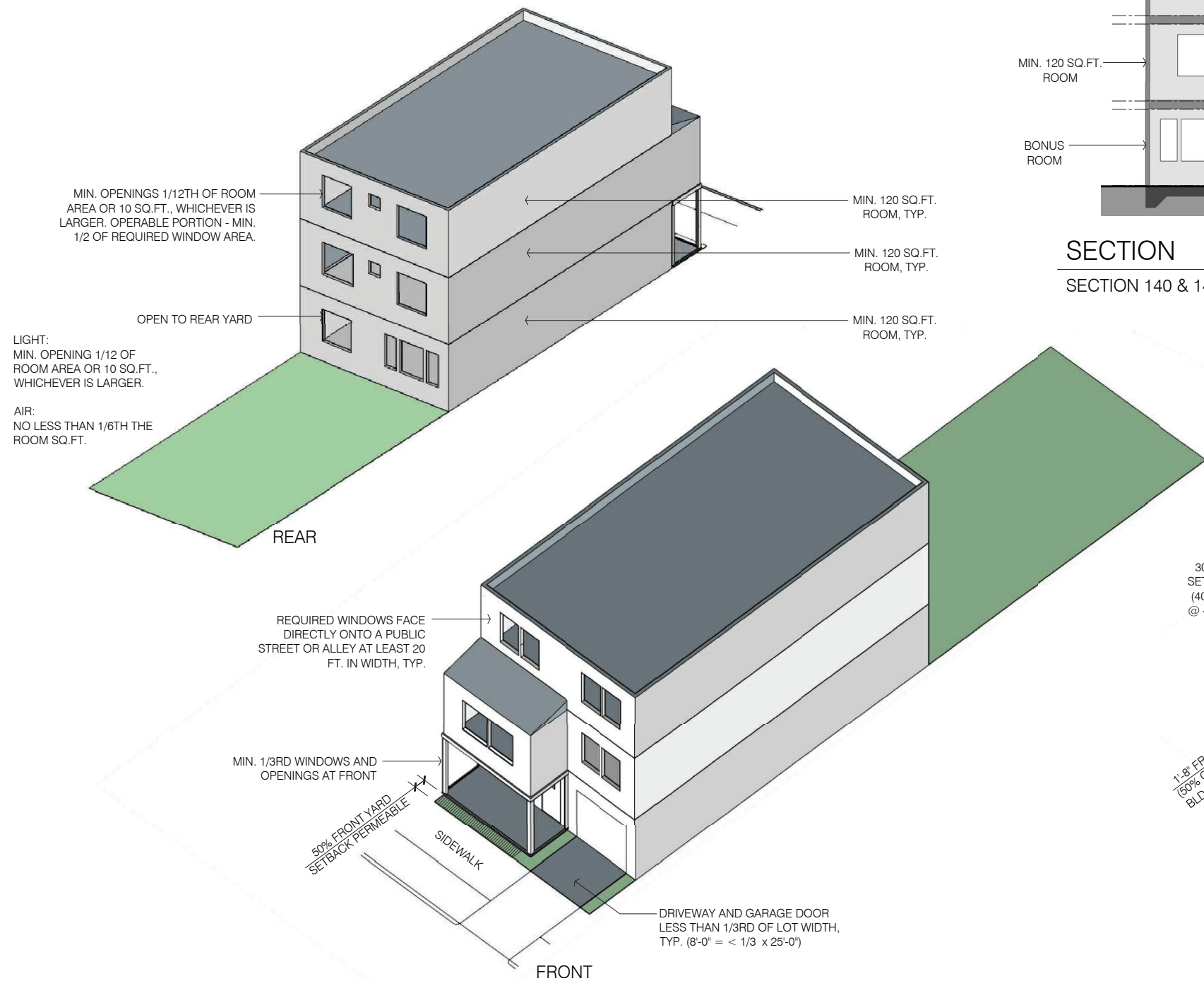
A2.1

SCALE: 1"=50'-0"

DATE: 06.25.2020

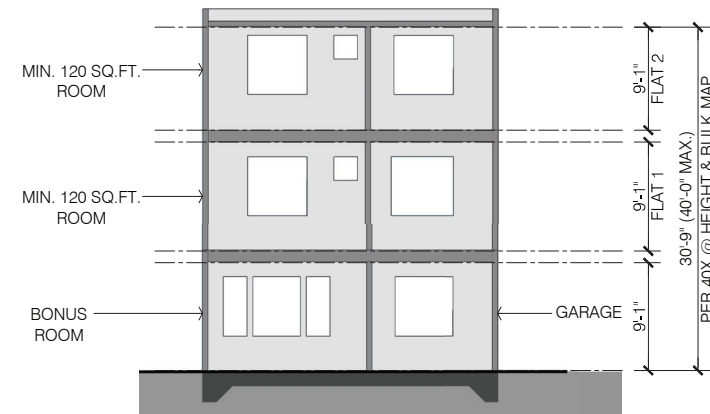
PROJECT: 348001

PRELIMINARY PROJECT ASSESSMENT APPLICATION  
ORIGINAL SUBMITTAL DATE: MARCH 05, 2019  
RESUBMITTAL DATE: MARCH 09, 2020  
RESUBMITTAL DATE: JUNE 05, 2020  
RESUBMITTAL DATE: JUNE 25, 2020



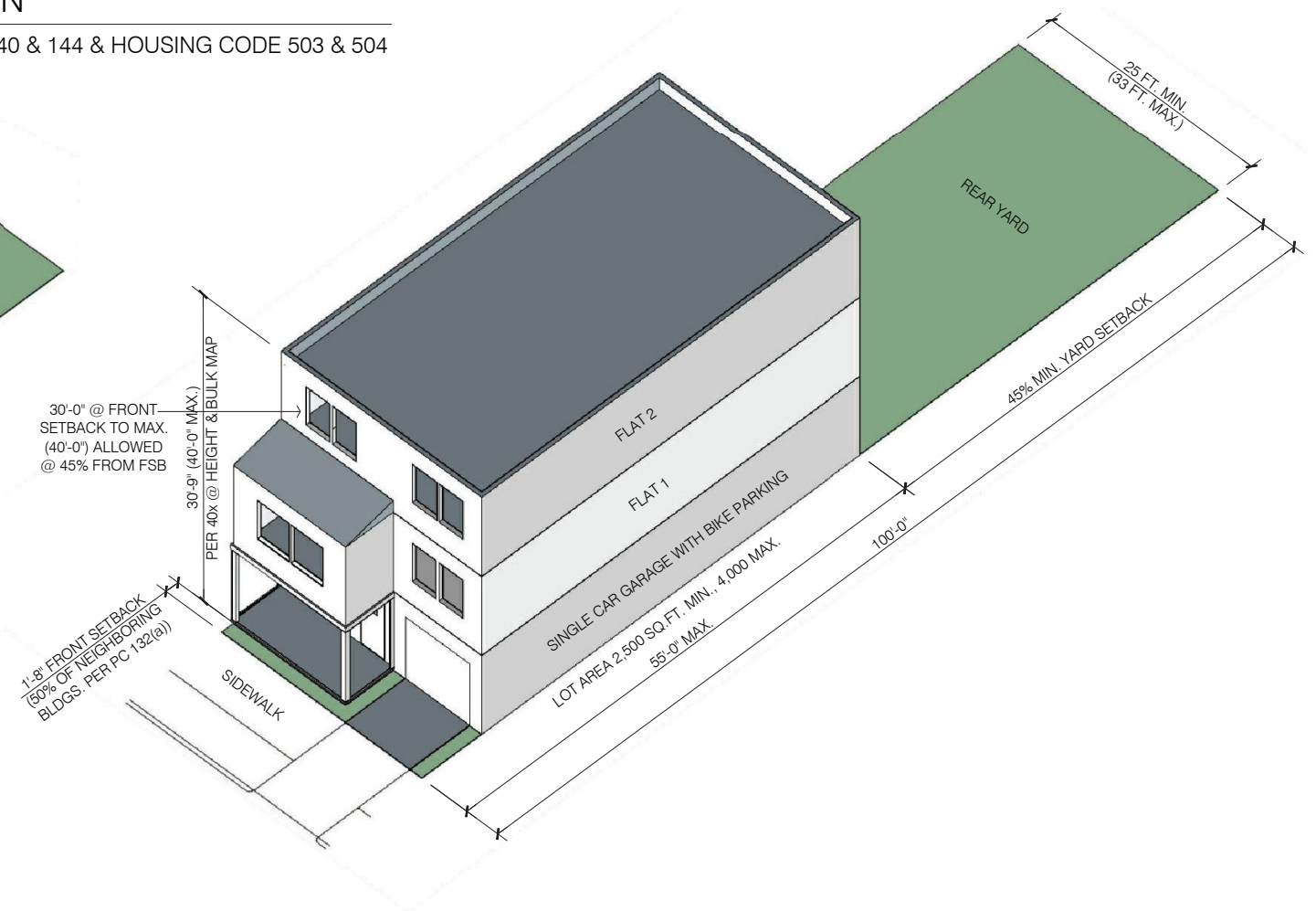
## OPENINGS

SECTION 140 & 144 & HOUSING CODE 503 & 504



## SECTION

SECTION 140 & 144 & HOUSING CODE 503 & 504



## DIMENSIONS, AREA, OPEN SPACE, USES, PARKING, AND BULK & HEIGHT

ARTICLES 1.2, 1.3, 1.4, 1.5, 201 & 2.5

## GENERAL NOTES

LOT & PLAN TYPES FOR BASE PROJECT PLAN INCLUDE CONFORMANCE TO ALL PLANNING REQUIREMENTS FOR RH-2 ZONING WITH A 40-x BULK & HEIGHT DISTRICT.

### THESE INCLUDE:

- ARTICLE 1.2 - DIMENSIONS, AREA & OPENINGS WITH SETBACK, BIRD SAFE BUILDINGS & STREET AND REAR YARD FRONTAGES
- ARTICLE 1.5 - PARKING FOR AUTOMOBILES & BIKES
- ARTICLE 2.5 - HEIGHT & BULK
- HOUSING CODE SECTIONS 503 & 504 FOR ROOM DIMENSION & OPENING REQUIREMENTS



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STATE DENSITY BONUS BASE PROJECT PLAN DIAGRAMS

A2.2

PRELIMINARY PROJECT ASSESSMENT APPLICATION

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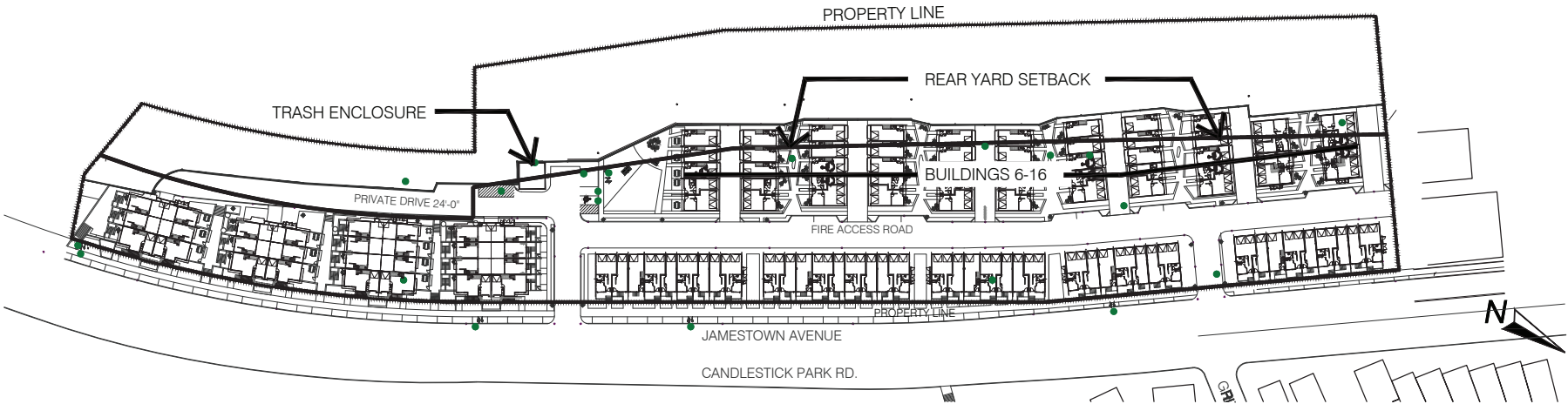
DATE: 06.25.2020

PROJECT: 348001

# INDIVIDUALLY REQUESTED STATE DENSITY BONUS PROGRAM

## 1. PC 134 - REAR YARD REQUIREMENT: WAIVER

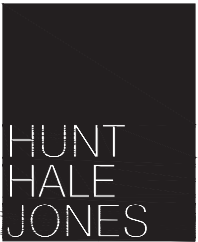
- 1. REAR YARD REQUIRED TO BE 45% OF LOT DEPTH
  - 1.1. 45% OF LOT DEPTH SETBACK INDICATED AT DASHED LINE
- 2. BUILDINGS 6-16 AND TRASH ENCLOSURE ENCROACH INTO SETBACK



PLANNING CODE SECTION 134 - REAR YEAR REQUIREMENT. BUILDINGS 1-16 ENCROACH ON THE PROJECT'S REQUIRED SETBACK. IF CONSIDERED INDIVIDUALLY, THE STANDARD FOR OPEN SPACE AT EACH UNIT IS MET, BUT WITHOUT A WAIVER OF THE PLANNING CODE SECTION 134 REAR YARD REQUIREMENT THE PROJECT WOULD NOT BE ABLE TO ACCOMMODATE THE ADDITIONAL PERMITTED DENSITY.



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WAIVERS, CONCESSIONS & INCENTIVES

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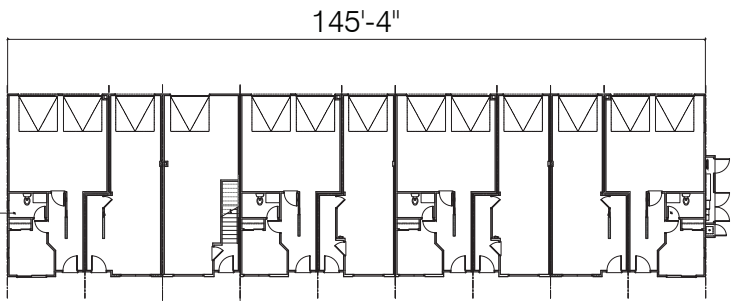
A2.3  
SCALE: 1/16" = 1'-0"  
DATE: 06.25.2020  
PROJECT: 348001

1. PC SEC. 144 STREET FRONTAGE: CONCESSIONS AND INCENTIVES

AT BUILDINGS 1 THRU 16

1. PLANNING CODE SECTION 144 - STREET FRONTAGES IN RH, RTO, RTO-M, AND RM DISTRICTS. THE STREET FRONTAGE REQUIREMENT FOR THIS SITE REQUIRES THAT NO MORE THAN 1/3RD OF THE WIDTH OF THE GROUND STORY BE DEVOTED TO OFF-STREET PARKING, WHILE AT LEAST 1/3RD OF THE WIDTH OF THE GROUND STORY MUST BE DEVOTED TO WINDOWS, ENTRANCES, LANDSCAPING OR OTHER ARCHITECTURAL FEATURES. ACCOMMODATING A STANDARD OFF-STREET VEHICLE ENTRANCE AT ONE-THIRD OF THE PROPOSED BUILDINGS WOULD REDUCE THE TOTAL AMOUNT OF BUILDINGS DUE TO EACH BUILDING'S INCREASED WIDTH. THIS REDUCED NUMBER OF BUILDINGS CANNOT ACCOMMODATE THE ADDITIONAL PERMITTED DENSITY. FURTHER, POOLING PARKING FOR THE INDIVIDUAL UNITS TOGETHER WOULD REMOVE SPACE ON THE GROUND FLOOR NEEDED TO ACCOMMODATE THE ADDITIONAL PERMITTED DENSITY.

THIS INCENTIVE WILL RESULT IN IDENTIFIABLE AND ACTUAL COST REDUCTIONS TO PROVIDE FOR THE PROJECT'S AFFORDABLE HOUSING COSTS. CRITICALLY, THE STREET FRONTAGE IS NECESSARY TO REDUCE THE COST BURDEN OF THE AFFORDABLE UNITS ON THE PROJECT SO THAT THE PROJECT CAN ATTRACT COMMERCIALLY REASONABLE FINANCING. AN INCENTIVE TO MAKE A PROJECT AS A WHOLE, INCLUDING THE AFFORDABLE HOUSING UNITS, ECONOMICALLY FEASIBLE IS A WELL-ESTABLISHED USE OF AN INCENTIVE. (WOLLMER V. CITY OF BERKELEY (2009) 179 CAL.APP.4TH 933, 945-46.) SUBTERRANEAN PARKING WOULD BE REQUIRED IN ORDER TO REDUCE THE AMOUNT OF THE GROUND FLOOR DEVOTED TO OFF-STREET GARAGE PARKING ENTRANCES. SUBTERRANEAN PARKING WOULD CALLING FOR A SINGLE INGRESS AND EGRESS GARAGE DOOR FOR EACH BUILDING WOULD CALL FOR SUBSTANTIAL GRADING. IN TOTAL, THE ADDITIONAL COST TO BUILDING SUBTERRANEAN PARKING FOR 41 UNITS AT BUILDINGS 1-5 AT 80,000 PER PARKING STALL WOULD INCREASE THE PROJECT COST BY \$3.28 MILLION.



CURRENTLY PROPOSED 9 PLEX  
NON COMPLIANT PER SECTION 144



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WAIVERS, CONCESSIONS & INCENTIVES

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RESUBMITTAL DATE: JUNE 25, 2020

A2.4  
SCALE: 1/16" = 1'-0"  
DATE: 06.25.2020  
PROJECT: 348001

ACCESSIBILITY SUMMARY

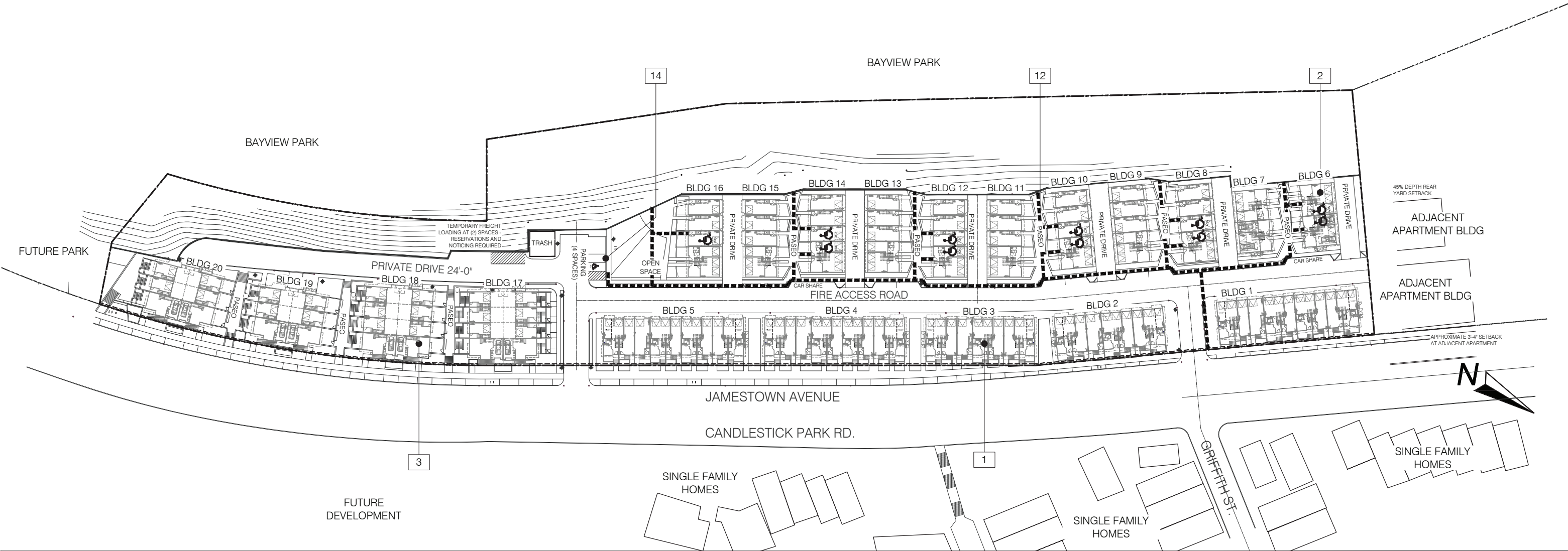
REQUIRED NUMBER OF UNITS - CBC CHPT. 1102A.3  
10% OF QUALIFYING UNITS = 10% OF 91 UNITS = 9.1 = 10 UNITS  
LOCATIONS ALONG BLDGS. 'TYPE B', PENDING FINAL GRADING PLAN

REQUIRED PARKING - CBC CHPT. 1109A.1  
SPACES:  
2% OF ASSIGNED SPACES CBC CHPT. 1109A.3= 2% OF 163 SPACES = 4 SPACES  
5% OF UNASSIGNED SPACES CBC CHPT. 1109A.5= 5% OF 17 SPACES = 1 SPACE

REQUIRED ROUTES - **-----**  
PARKING - CBC CHPT. 1109A.7  
EXTERIOR - CBC CHPT. 1110A.1  
PUBLIC & COMMON SPACES - CBC CHPT. 11B-101.1

SITE LEGEND

- 1. BLDG. TYPE A - BLDGS. 1 THRU 5 3 STORY, TYPE VB, NFPA 13
- 2. BLDG. TYPE B - BLDGS. 6 THRU 16 3 STORY, TYPE VB, NFPA 13  
W/ ACCESSIBLE GROUND FLOOR AT LOCATIONS SHOWN
- 3. BLDG. TYPE C - BLDGS. 17 THRU 20 4 STORY, TYPE VA, NFPA 13
- 4. RETAINING WALL
- 5. GUEST PARKING (15 TOTAL)
- 6. PARKING DRIVE AISLE
- 7. COMMON USE PASEOS
- 8. VEHICULAR ENTRY
- 9. RIDE SHARE PARKING STALL
- 10. ACCESSIBLE PARKING STALL
- 11. TRASH ENCLOSURE
- 12. ACCESSIBLE ROUTES
- 13. CLASS 2 BIKE PARKING (15 SPACES)
- 14. E.V. CHARGING STATION (NOTE - INTERIOR OF ALL UNIT GARAGES TO PROVIDE CHARGING CAPABILITY)



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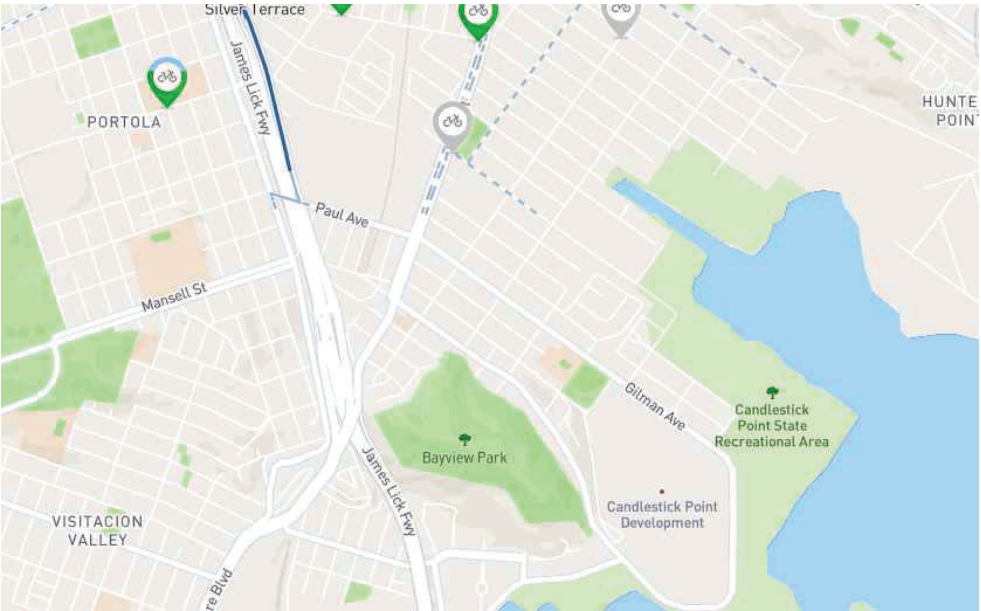
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ADA SITE PLAN

A2.5

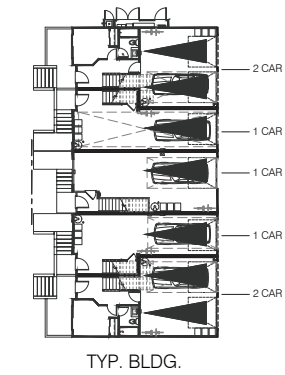
SCALE: 1"=50'-0"  
DATE: 06.25.2020  
PROJECT: 348001



BIKE SHARE STATIONS

LEGEND

- PARKING
- ACCESSIBLE
- CAR SHARE



PARKING SUMMARY

MAX. ALLOWED: 1.5/ UNIT

- 122 UNITS x 1.5 = 183 SPACES

SUMMARY:

PRIVATE (ASSIGNED): 153 SPACES

PLAN #	# CARS	#UNITS	
PLAN 1 -	1 CAR	5 UNITS	= 5 CARS
PLAN 2 -	1 CAR	18 UNITS	= 18 CARS
PLAN 3 -	2 CARS	18 UNITS	= 36 CARS
PLAN 4 -	1 CAR	27 UNITS	= 27 CARS
PLAN 5 -	1 CAR	13 UNITS	= 13 CARS
PLAN 6 -	2 CARS	13 UNITS	= 26 CARS
PLAN 7 -	1 CAR	28 UNITS	= 28 CARS
		122 UNITS	= 153 CARS

GUEST (UNASSIGNED): 17 SPACES = 8%

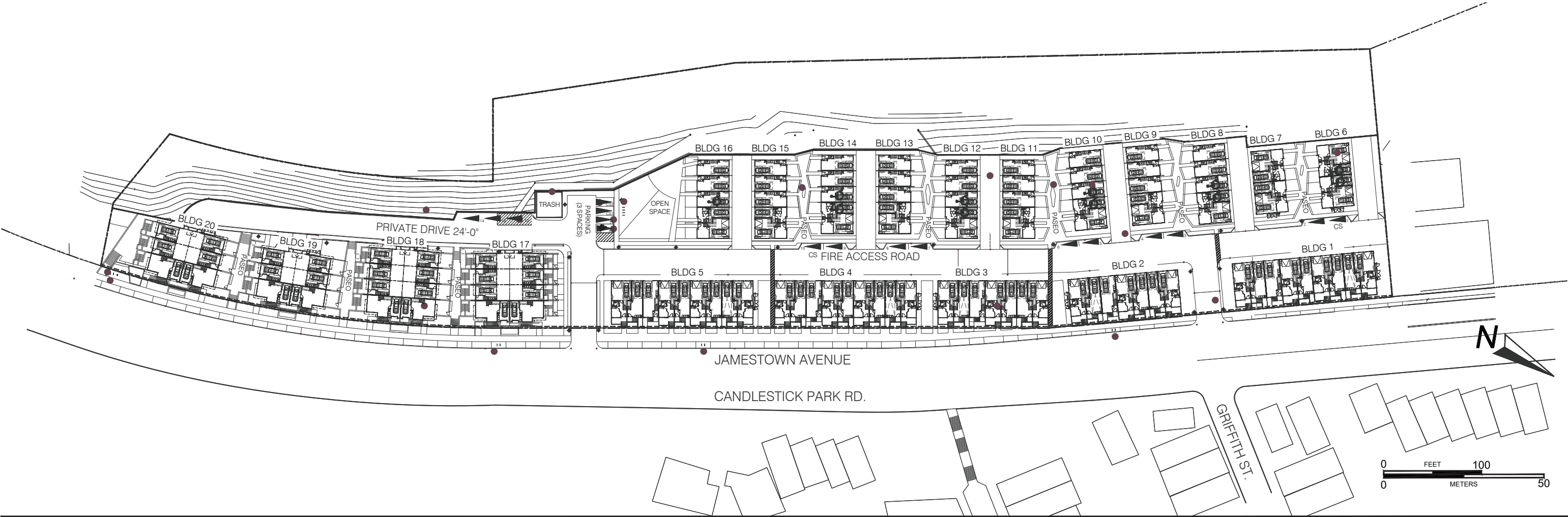
ACCESSIBLE	= 1 SPACE
CAR SHARE	= 2 SPACE
GENERAL	= 14 SPACES

TOTAL PARKING: 170 SPACES PROVIDED

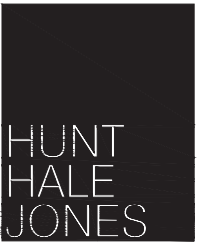
BIKE PARKING

C1 TYPE WITHIN UNIT:	122
C2 TYPE ON SITE:	8
C2 TYPE OFF SITE - ON JAMESTOWN, SEE LANDSCAPE PLAN:	36

(SEE L5.0 PROJECT DIAGRAMS FOR DETAILS)



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PARKING DIAGRAM

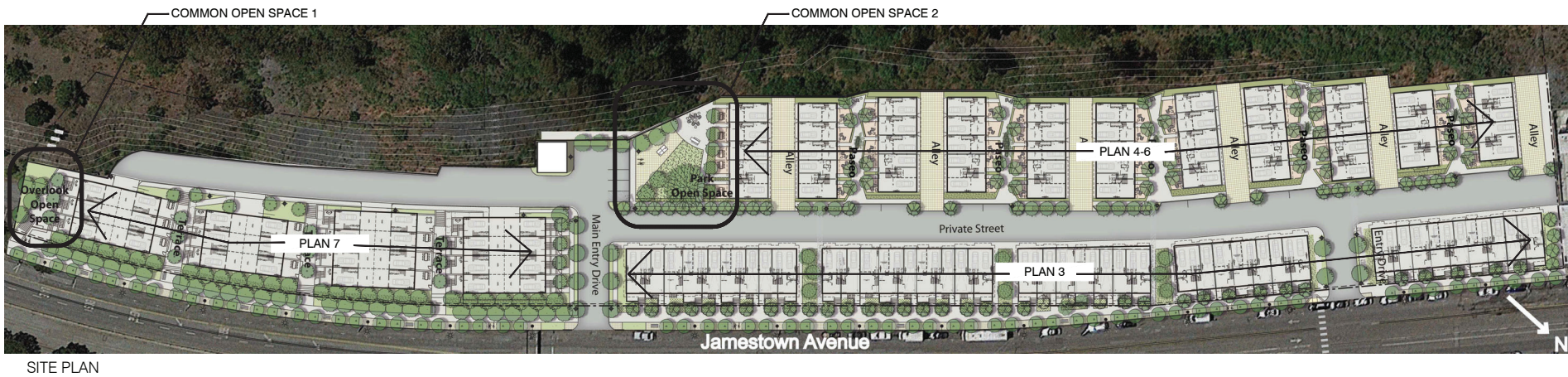
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SCALE: 1"=50'-0"

DATE: 06.25.2020

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SITE PLAN



COMMON OPEN SPACE 1 - DETAIL PLAN  
833 SQ.FT.

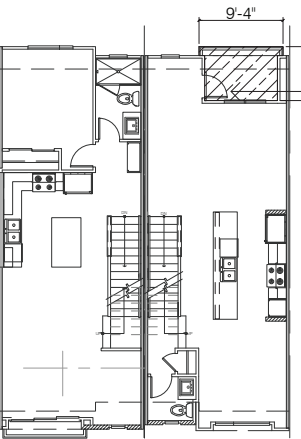


PARK COMMON OPEN SPACE 2 - DETAIL PLAN  
4,290 SQ.FT.

COMMON OPEN SPACE

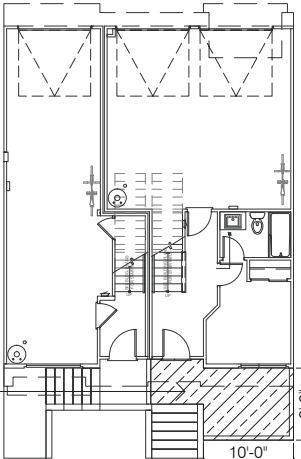
LOT COVERAGE BY TYPE

TOTAL LOT AREA:	299,257 SF. (6.78 ACRES)
TOTAL BUILDABLE LOT AREA	(±3.5 ACRES), 152,460 SQ.FT.
RESIDENTIAL BLDG.	67,162 SF (22.5%)
PARKING AREA	52,762 SF (17.5%)
OPEN PARKING	972 SF.
DRIVE AISLE	51,790 SF.
TOTAL HARDSCAPE:	119,924 SQ.FT. (40%)
BUILDABLE OPEN SPACE AREA:	167,517 SQ. FT. (60%)

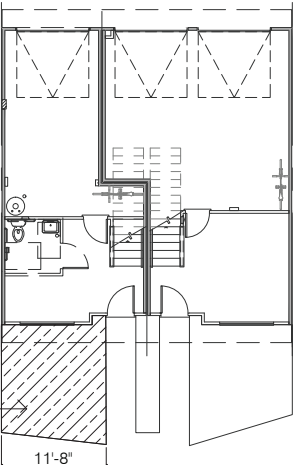


PLAN 3

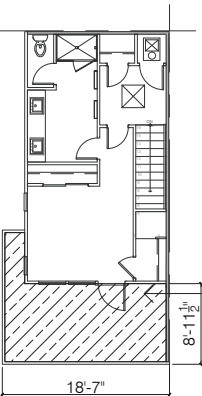
PRIVATE OPEN SPACE



PRIVATE OPEN SPACE  
REQ. FOR PLAN 5 MET  
@ PATIO WITH A MIN.  
OF 10x10 DIM. & 125  
SQ.FT. (PLANS 4 & 6  
SIM.)



PLANS 4-6



PLAN 7

PRIVATE OPEN SPACE  
REQ. FOR PLAN 7 MET  
@ DECK WITH A MIN.  
OF 6x6 DIM. & 36  
SQ.FT.

OPEN SPACE / PRIVATE OPEN SPACE (PER SECTION 135)

USABLE OPEN SPACE (*PER SECTION 135 D, 1 & TABLE 135A*):  
USABLE OPEN SPACE IS ACHIEVED W/ BOTH COMMON & PRIVATE OPEN SPACE. SEE BELOW FOR CODE SPECIFIC REQUIREMENTS.

A. PRIVATE USABLE OPEN SPACE: (*SEE UNIT AND BUILDING PLANS.*)

- 99 UNITS PROVIDE PRIVATE OPEN SPACE PER ZONING CODE
- (46) UNITS W/ BALCONIES AND PORCHES MEET OR EXCEED REQUIRED 6x6 & 36 SQ.FT. MIN.
- (53) UNITS W/ GROUND FLOOR PATIOS MEET OR EXCEED REQUIRED 10x10 & 125 SQ.FT. MIN.

PLAN	# UNITS	QUALIFYING BALCONY/DECK	GROUND FLR PRIVATE OPEN SPACE	SUPPLEMENTAL OPEN SPACE
1	(5)			830 SQ.FT.
2	(18)			2,988 SQ.FT.
3	(18)	147 SQ.FT.		N/A
4,5 & 6	(53)		125 SQ.FT. MIN.	N/A
7	(28)	36 SQ.FT. MIN.		N/A

B. COMMON USABLE OPEN SPACE: (*SEE SITE PLAN*)

- (23) UNITS ARE USING COMMON OPEN SPACE TO PROVIDE USABLE OPEN SPACE REQUIREMENT.  
- PLAN 1 & 2 @ BLDG.'s 1-5 WILL REQUIRE COMMON OPEN SPACE
- REQUIRED OPEN SPACE  
- (23 UNITS)(1.33)(125 SQ.FT.)=3,818 SQ.FT.
- PROPOSED COMMON OPEN SPACE  
- 5,123 SQ.FT.  
- SEE SITE PLAN & COMMON OPEN SPACE DIAGRAMS 1 & 2

USABLE OPEN SPACE SUMMARY - SECTION 135

USABLE OPEN SPACE - SECTION 135 (d) (1):			REQUIRED	PROPOSED
d.	AMOUNT REQUIRED - USABLE OPEN SPACE SHALL BE PROVIDED FOR EACH BUILDING IN THE AMOUNTS SPECIFIED HEREIN AND IN TABLES 135A AND B FOR THE DISTRICT IN WHICH THE BUILDING IS LOCATED; PROVIDED.			
	1.	FOR DWELLINGS OTHER THAN THOSE SPECIFIED IN PARAGRAPHS (d)(2) THROUGH (d)(5) BELOW, THE MINIMUM AMOUNT OF USABLE OPEN SPACE TO BE PROVIDED FOR USE BY EACH DWELLING UNIT SHALL BE AS SPECIFIED IN THE SECOND COLUMN OF TABLE 135A IF SUCH USABLE OPEN SPACE IS ALL PRIVATE. WHERE COMMON USABLE OPEN SPACE IS USED TO SATISFY ALL OR PART OF THE REQUIREMENT FOR A DWELLING UNIT, SUCH COMMON USABLE OPEN SPACE SHALL BE PROVIDED IN AN AMOUNT EQUAL TO 1.33 SQUARE FEET FOR EACH ONE SQUARE FOOT OF PRIVATE USABLE OPEN SPACE SPECIFIED IN THE SECOND COLUMN OF TABLE 135A. IN SUCH CASES, THE BALANCE OF THE REQUIRED USABLE OPEN SPACE MAY BE PROVIDED AS PRIVATE USABLE OPEN SPACE, WITH FULL CREDIT FOR EACH SQUARE FOOT OF PRIVATE USABLE OPEN SPACE SO PROVIDED.		
MINIMUM USABLE OPEN SPACE FOR DWELLING UNITS AND GROUP HOUSING OUTSIDE THE EASTERN NEIGHBORHOODS MIXED USE DISTRICT - TABLE 135A:				
	RH-2	SQUARE FEET OF USABLE OPEN SPACE REQUIRED FOR EACH DWELLING UNIT IF ALL PRIVATE	125 SQ.FT.	53 UNITS (IN BUILDINGS 6 - 16) @ 125 SQ.FT. EACH = 6,625 SQ.FT.
			36 SQ.FT.	46 UNITS (IN BUILDINGS 1-5 & 17-20 @ 36 SQ.FT. EACH = 1,656 SQ.FT.
	RH-2	RATIO OF COMMON USABLE OPEN SPACE THAT MAY BE SUBSTITUTED FOR PRIVATE	(1.33) x 125 SQ.FT.	23 UNITS @ 166 SQ.FT. EACH = 3,818 SQ.FT.
f.	PRIVATE USABLE OPEN SPACE: ADDITIONAL STANDARDS			
	1.	MINIMUM DIMENSIONS AND MINIMUM AREA. ANY SPACE CREDITED AS PRIVATE USABLE OPEN SPACE SHALL HAVE A MINIMUM HORIZONTAL DIMENSION OF SIX FEET AND A MINIMUM AREA OF 36 SQUARE FEET IF LOCATED ON A DECK, BALCONY, PORCH OR ROOF, AND SHALL HAVE A MINIMUM HORIZONTAL DIMENSION OF 10 FEET AND A MINIMUM AREA OF 100 SQUARE FEET IF LOCATED ON OPEN GROUND, A TERRACE OR THE SURFACE OF AN INNER OR OUTER COURT.		
		DECKS - MIN. 6 FT. HORIZONTAL	6 FT.	SEE PLANS
		GROUND - MINIMUM 10 FT. HORIZONTAL	10 FT.	SEE PLANS
COMMON USABLE OPEN SPACE				
		MINIMUM 15 FT. IN EVERY DIRECTION		SEE PLANS



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RESUBMITTAL DATE: MARCH 09, 2020  
RESUBMITTAL DATE: JUNE 05, 2020  
RESUBMITTAL DATE: JUNE 25, 2020

ON SITE OPEN SPACE DIAGRAM

A2.7

SCALE: 1"=100'-0"  
DATE: 06.25.2020  
PROJECT: 348001



FRONT ELEVATION



REAR ELEVATION



SIDE ELEVATION

W/O UTILITY CLOSETS

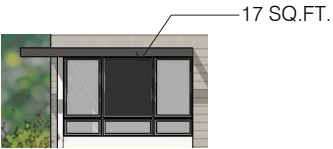


SIDE ELEVATION

W/ UTILITY CLOSETS

STANDARDS FOR BIRD-SAFE BUILDINGS - SECTION 139

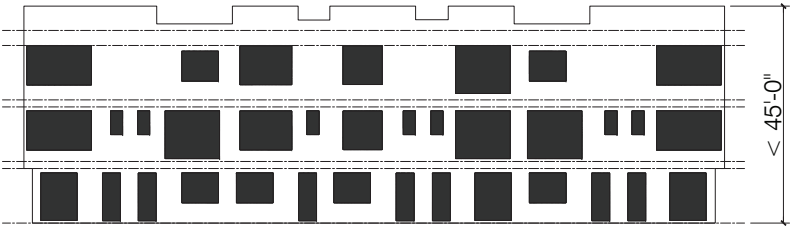
1. LOCATION RELATED STANDARDS, SECTION 139 (c) (1)
  - BUILDINGS LOCATED INSIDE OPEN SPACES 2 ACRES AND LARGER DOMINATED BY VEGETATION (URBAN BIRD REFUGE)
  - PROJECT IS IN URBAN BIRD REFUGE
  - EXEMPT PROPOSED PROJECT PER SECTION 139 (c) (3) (A) (i)
    - LESS THAN 45 FT. IN HEIGHT
    - LESS THAN 50% GLAZING PER WALL
2. FEATURE RELATED STANDARDS, SECTION 139 (c) (2)
  - APPLIED TO BUILDING FEATURES WITH UNBROKEN GLAZED SEGMENTS OF 24 SQ.FT. OR GREATER
  - EXEMPT PROPOSED PROJECT PER SECTION 139 (c) (3) (A) (i)
    - LESS THAN 45 FT. IN HEIGHT
    - LESS THAN 50% GLAZING PER WALL



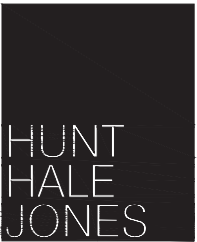
LARGEST UNBROKEN GLAZED SEGMENT IS LESS THAN 24 SQ.FT., SEE FEATURE RELATED STANDARDS, SECTION 139 (c) (2).

<50% OF WALL TO BE DOOR / WINDOW OPENINGS (EX. FRONT ELEVATION):

WALL AREA:	4092 SQ. FT.
DOOR / WINDOW AREA:	1,256 SQ.FT.
DOOR / WINDOW %:	31% OF WALL AREA IS DOOR / WINDOW



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BIRD SAFETY

A2.8

SCALE: 1/8"=1'-0"  
DATE: 06.25.2020  
PROJECT: 348001



# PART III --- LANDSCAPE



Concept Sketch Jamestown Avenue East End



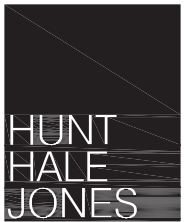
Concept Sketch Jamestown Avenue West End

The proposed landscape design celebrates the distant landscape views to the Bay, the local native plants and biodiversity on the adjacent hillside at Bayview Park, and its local neighborhood context. Compliance with San Francisco's Green Landscaping Ordinance and Tier 2 of the San Francisco Water Efficient Landscape Ordinance has been integrated into a holistic planting design for the site.

The Jamestown sidewalk is an important part of a public trail to the park system adjacent to the Bay. Amenities including seating, bike repair, and shaded areas are provided to augment the rich planting along the walk.



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Landscape Site Plan  
L1.0

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Overlook Open Space Detail Plan



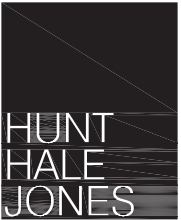
Park Open Space Detail Plan



Typical Alley and Paseo Detail Plan



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Landscape Detailed Site Plans  
L2.0

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Planting Strategy: The proposed landscape planting strategy will be developed from the local context and geology. The adjacent hillside’s serpentine soils will define a plant palette of native and serpentine tolerant plants. Planting within the developed areas of the project will be in harmony with this baseline condition--utilizing some of the plants seen on the hillside, but adapting the layout and composition of material to suit a variety of recreational and people driven programming.

Program Strategy: The proposed landscape program will include classic, practical elements that encourage a connected resilient community. Opportunities for passive and active as well as large groups and small groups are provided at a variety of places within the project. Along Jamestown Avenue a series of different gestures composed of planting, furniture, and site organization that addresses the public way and provides interest and opportunities for small park and plaza moments.



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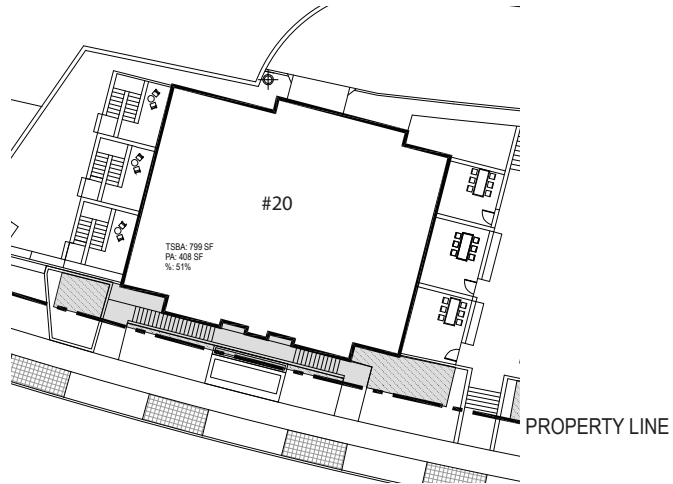
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Landscape Precedent Photos  
L3.0

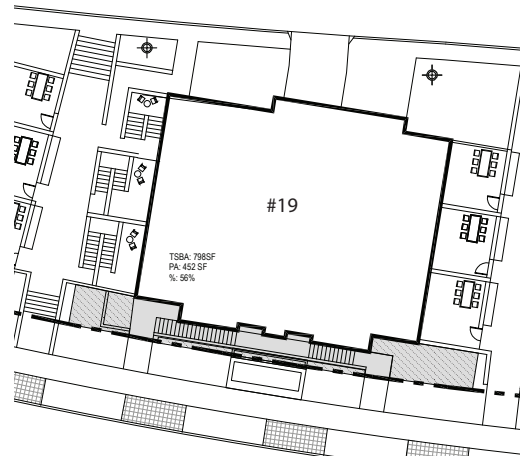
Project Application  
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PROJECT: 348001

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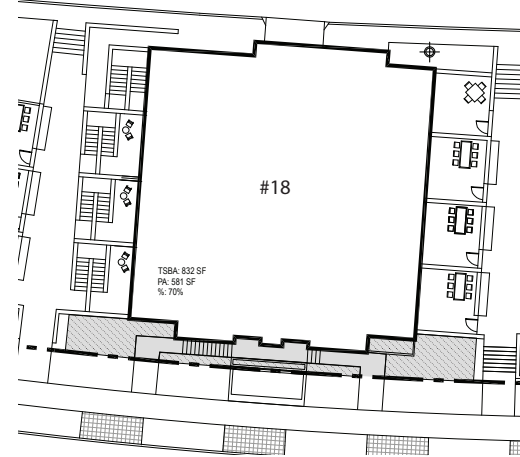


Building #20 Setback Calculations

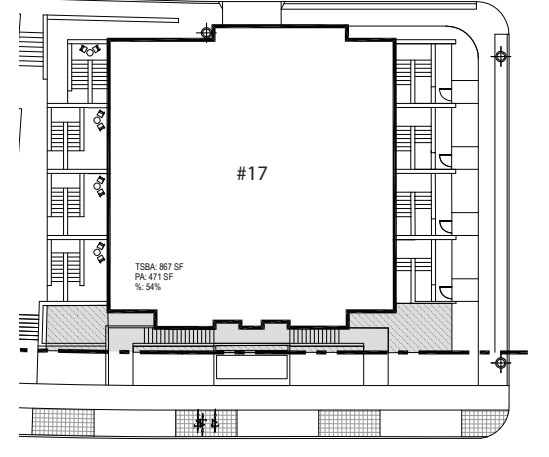
Scale 1" = 20'-0"



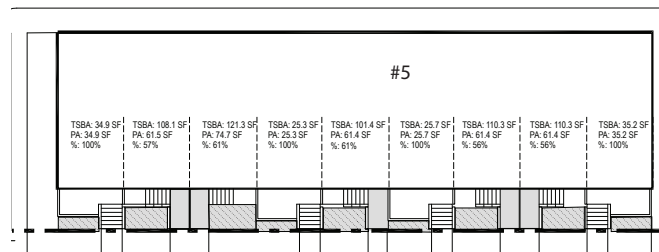
Building #19 Setback Calculations



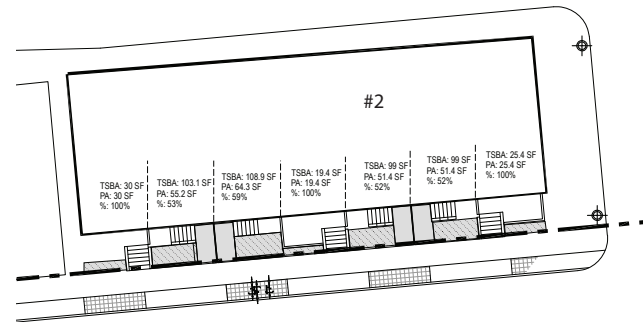
Building #18 Setback Calculations



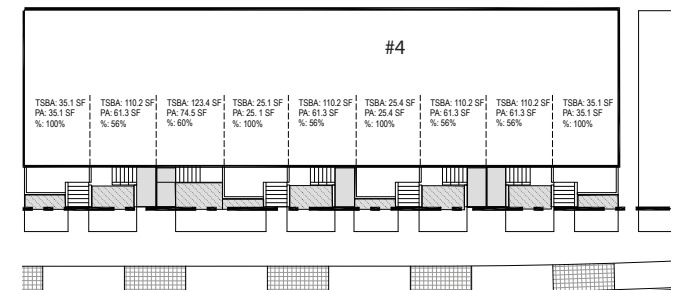
Building #17 Setback Calculations



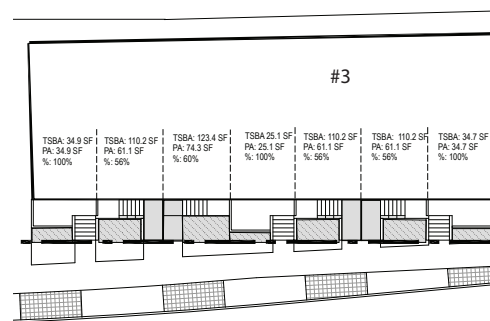
Building #5 Setback Calculations



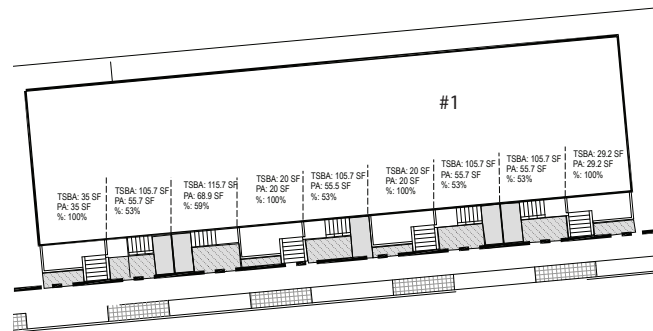
Building #2 Setback Calculations



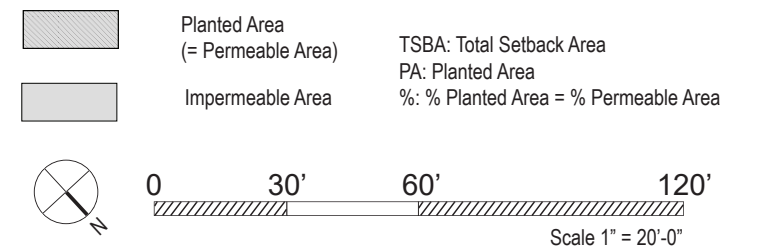
Building #4 Setback Calculations



Building #3 Setback Calculations



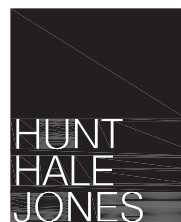
Building #1 Setback Calculations



In compliance with the setback requirements from *Planning Code Section 132 in Guide to San Francisco Green Landscaping Ordinance*.



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Compliance with Green Landscape Ordinance  
**L4.0**

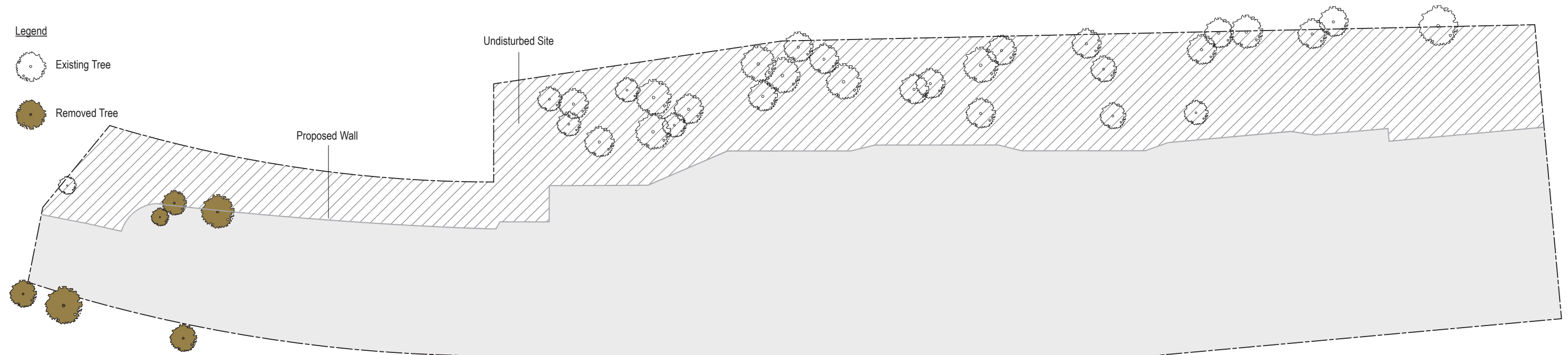
Project Application

DATE: 06.26.2020

PROJECT: 348001

Legend

- Existing Tree
- Removed Tree



Tree Removal Diagram

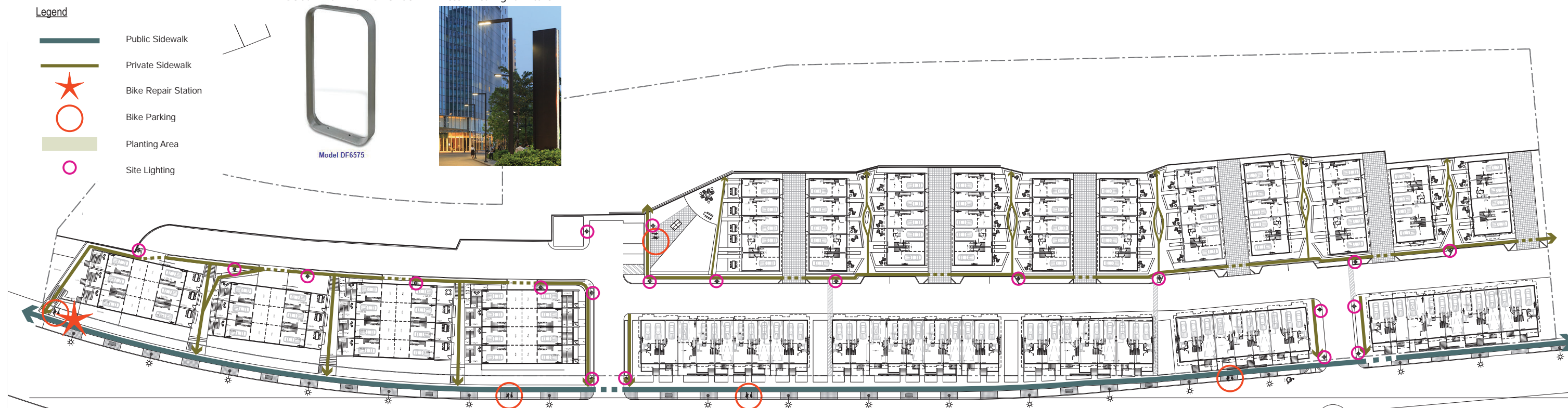
Legend

- Public Sidewalk
- Private Sidewalk
- Bike Repair Station
- Bike Parking
- Planting Area
- Site Lighting

Belson Aluminum Bike Rack



Hess Linea Light Fixture



Bicycle and Pedestrian Circulation + Lighting Diagram



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Project Diagrams  
L5.0

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Rubus pentelobus Bramble

PASEO PLANTERS



Polystichum munitum



Fragaria



Festuca spp.

FRONT YARD



Leymus condensatus



Ergonum spp.



Rhamnus californica

HEDGE



Symphoricarpos albus



Ceanothus spp.

STREET FURNISHING ZONE PLANTING



Cistus spp.,



Arcostaphylos spp.

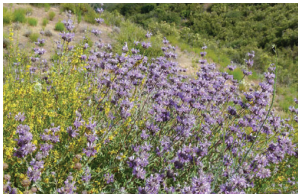


California Fuchsia



Romneya coulteri

ACCENT PLANTING



Salvia spp.



Lantana spp.



Lavatera assurgentiflora



Carex Pansa

BIOSWALE



Sisyrinchium bellum



Nasella pulchra



Rhamnus californica



Achillea millefolium



Delta Bluegrass, Sodded

LAWN



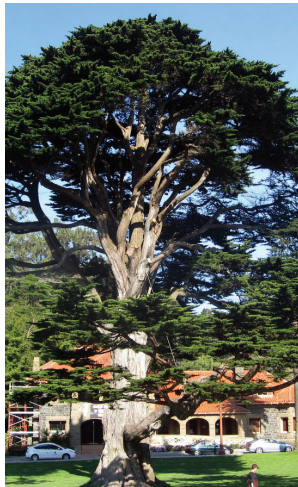
Platanus racemosa "Roberts"

BIOSWALE TREE



Pinus radiata

PASEO TREE



Cupressus macrocarpa

PASEO TREE



Quercus suber

SPECIMEN OAK



Quercus lobata

FRONTAGE 1 TREE



Cercis occidentalis

FRONTAGE 2 TREE



Lyonothamnus floribundus

COURT TREE



Quercus agrifolia

STREET TREE

PLANTING CONCEPT STATEMENT

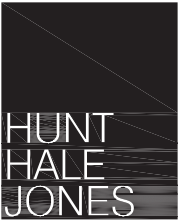
Located adjacent to the bayview hill park, the planting design will showcase local native plants that extend and connect to the existing native landscape. The planting design is created from durable native plants that have been proven to be succesful in the bayview in san francisco. The planting design of the public open space melds with the streetscape and provides variety throughout the site. Microclimates inform the planting selection and provide an opportunity to group plant families according to the variety of sun exposures on the site . In areas with more sun, low water plants are showcased and composed into large areas for bloom, fall color, and scale. Street trees will be installed at a minimum 24" box size and bioswale plantings will comply with c3 requirements. Final planting design may vary from concept species based on plant availability, quality, and overall design cohesiveness based on availability.

IRRIGATION CONCEPT STATEMENT

The irrigation design for the site shall comply with the state of california model water efficient landscape ordinance (title 23 - division 2-chapter 2.7) and the city of san francisco water efficient landscape standards. The irrigation systems will be automatically controlled by an et irrigation controller capable of multiple programming and independent timing of individual irrigation systems. The controller will have a 24-hour clock to allow multiple start times and repeat cycles to adjust for soil percolation rates. The irrigation systems will consist primarily of low volume, low flow bubblers for trees, point source drip irrigation for shrubs and groundcovers, and low flow irrigation for turf plantings. Plants will be grouped onto separate valves according to sun exposure and water use to allow for irrigation application by hydrozone. The irrigation scheduling will reflect the regional evapo-transpiration rates. The entire site will be designed to run during nighttime hours when irrigation is most efficient.



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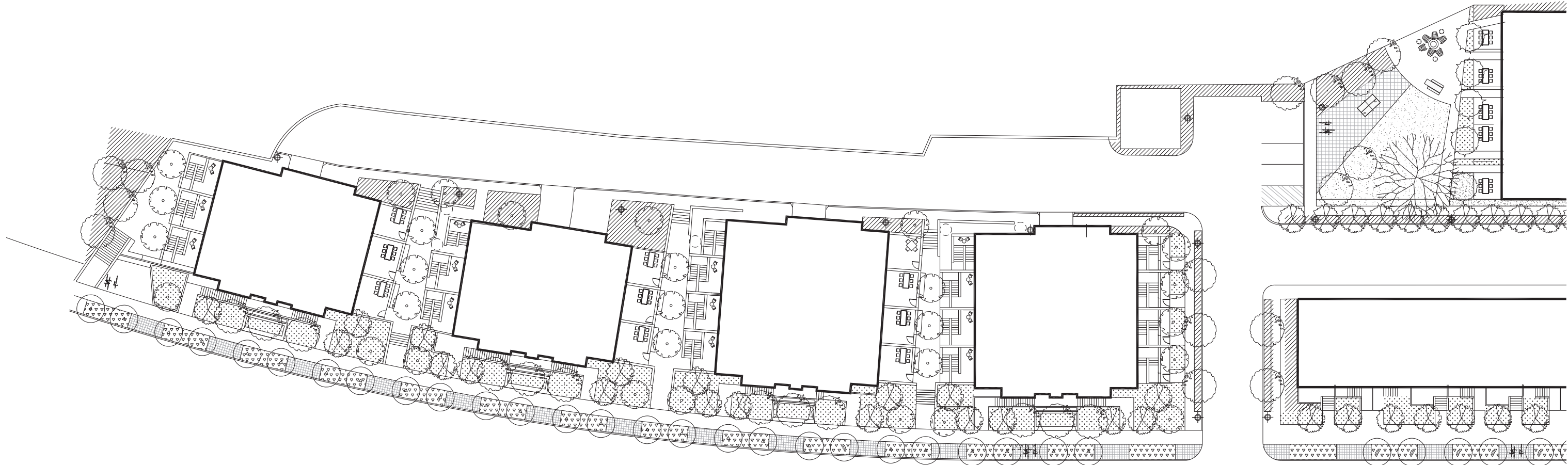
Planting Palette

L6.0

Project Application

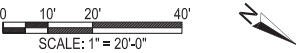
DATE: 06.05.2020

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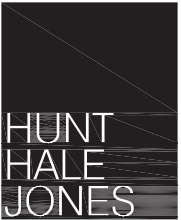


PLANTING LEGEND		
SYMBOL	BOTANICAL NAME	COMMON NAME
TREES		
	<i>Platanus racemosa "Roberts"</i>	BIOSWALE TREE
	<i>Pinus radiata, Cupressus macrocarpa</i>	PASEO TREE
	<i>Quercus suber</i>	SPECIMEN OAK
	<i>Cercis occidentalis</i>	FRONTAGE 1 TREE
	<i>Lyonothamnus floribundus</i>	FRONTAGE 2 TREE
	<i>Lophostemon Confertus</i>	CORT TREE
	<i>Quercus agrifolia</i>	STREET TREE

PLANTING LEGEND		
SYMBOL	BOTANICAL NAME	COMMON NAME
SHRUBS		
	<i>Carex Pansa, Sisyrinchium bellum, Nasella pulchra, Rhamnus californica, Achillea millefolium</i>	BIOSWALE
	Delta Blue Grass, Sodded	LAWN
	<i>Rhamnus californica, Symphoricarpos albus</i>	HEDGE
	<i>Rubus pentelobus Bramble, Fragaria, Polystichum munitum</i>	PASEO PLANTERS
	<i>Ceanothus spp., Cistus spp., Arctostaphlos spp., California Fuchsia</i>	STREET FURNISHING ZONE PLANTING
	<i>Festuca spp., Leymus condensatus, Eragonum spp.</i>	FRONT YARD
	<i>Romneya coulteri, Salvia spp., Lantana spp., Lavatera assurgentiflora</i>	ACCENT PLANTING



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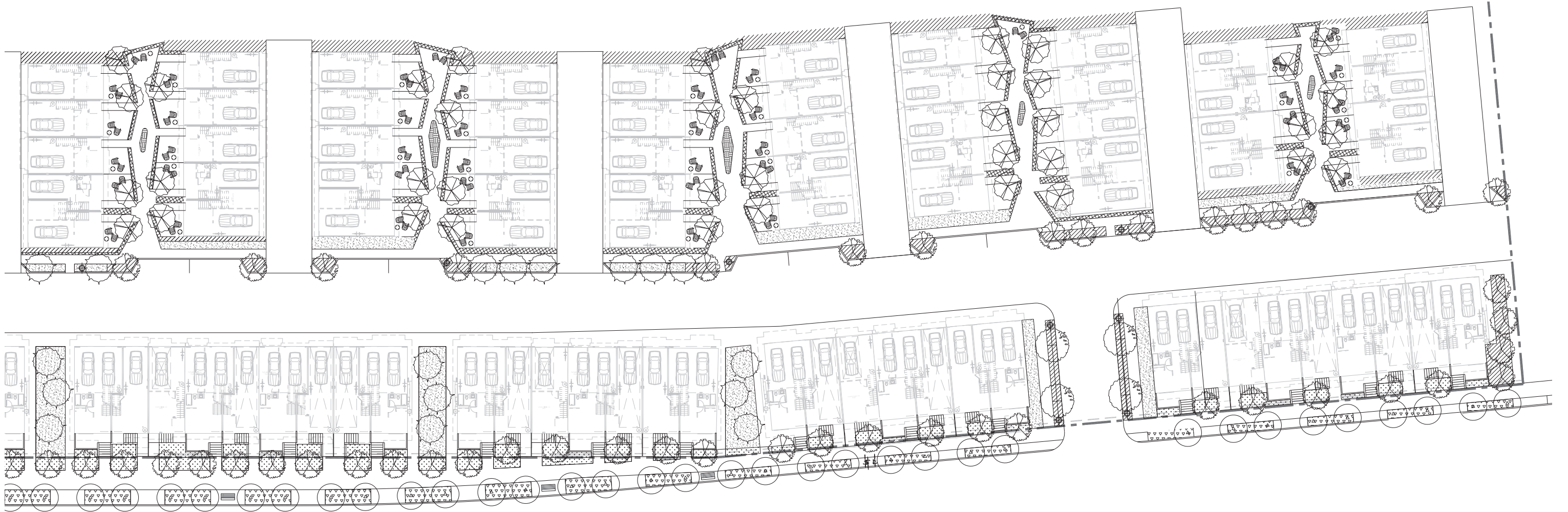
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Planting Plan  
L7.0

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PLANTING LEGEND		
SYMBOL	BOTANICAL NAME	COMMON NAME
TREES		
	<i>Platanus racemosa</i> "Roberts"	BIOSWALE TREE
	<i>Pinus radiata</i> , <i>Cupressus macrocarpa</i>	PASEO TREE
	<i>Quercus suber</i>	SPECIMEN OAK
	<i>Quercus lobata</i>	FRONTAGE 1 TREE
	<i>Cercis occidentalis</i>	FRONTAGE 2 TREE
	<i>Lyonothamnus floribundus</i>	CORT TREE
	<i>Quercus agrifolia</i>	STREET TREE

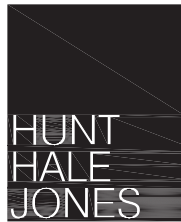
PLANTING LEGEND		
SYMBOL	BOTANICAL NAME	COMMON NAME
SHRUBS		
	<i>Carex Pansa</i> , <i>Sisyrinchium bellum</i> , <i>Nasella pulchra</i> , <i>Rhamnus californica</i> , <i>Achillea millefolium</i>	BIOSWALE
	Delta Blue Grass, Sodded	LAWN
	<i>Rhamnus californica</i> , <i>Symphoricarpos albus</i>	HEDGE
	<i>Rubus pentelabus</i> Bramble, <i>Fragaria</i> , <i>Polystichum munitum</i>	PASEO PLANTERS
	<i>Ceanothus</i> spp., <i>Cistus</i> spp., <i>Arctostaphylos</i> spp., <i>California Fuchsia</i>	STREET FURNISHING ZONE PLANTING
	<i>Festuca</i> spp., <i>Leymus condensatus</i> , <i>Eragrostis</i> spp.	FRONT YARD
	<i>Romneya coulteri</i> , <i>Salvia</i> spp., <i>Lantana</i> spp., <i>Lavatera assurgentiflora</i>	ACCENT PLANTING

0 10' 20' 40'  
SCALE: 1" = 20'-0"



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L8.0

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GARDEN PASEO



DOWNHILL VIEW



VIEW FROM JAMESTOWN



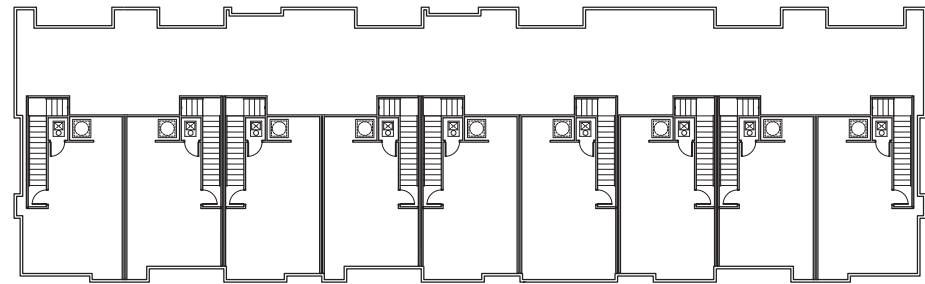
COMMUNITY PARK & CENTRAL DRIVE AISLE

## PART IV

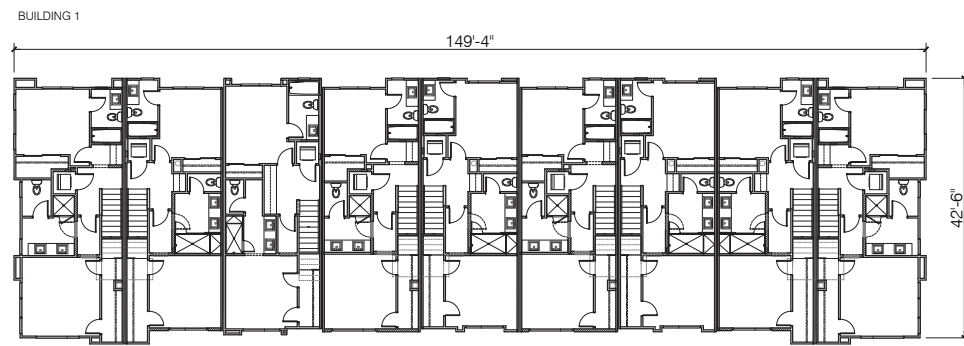
### BUILDING TYPES

# BUILDING TYPE A (9 PLEX)

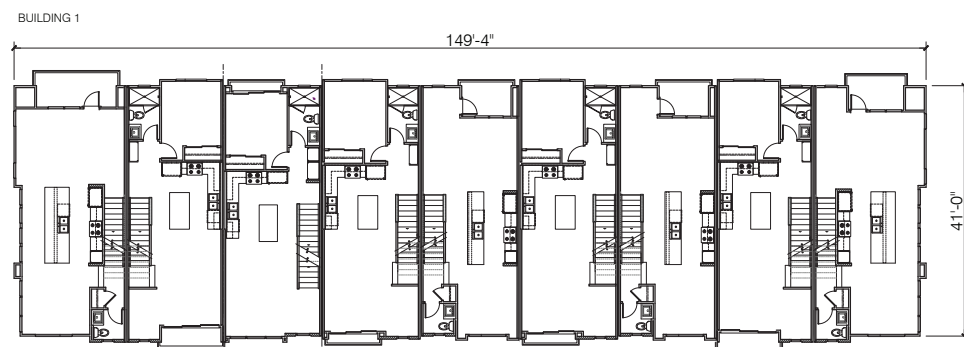
EXAMPLE FOR BUILDINGS 1, 4 & 5



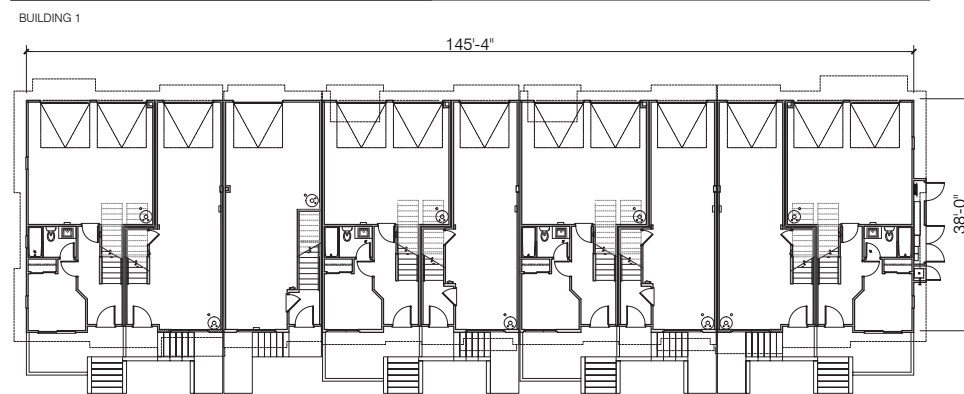
ROOF PLAN



UPPER FLOOR PLAN



MAIN FLOOR PLAN



GROUND FLOOR PLAN

BUILDING 1



RENDERING



BUILDING TYPE A (9 PLEX) - FRONT ELEVATION



LEFT ELEVATION



REAR ELEVATION



RIGHT ELEVATION



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BLDG TYPE A (9 PLEX) - BLDG 1 (BLDGS. 4,5 SIM)

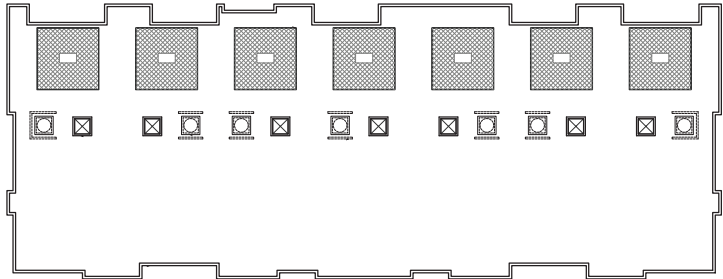
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A4.0

SCALE: 3/16"=1'-0"  
DATE: 06.25.2020  
PROJECT: 348001

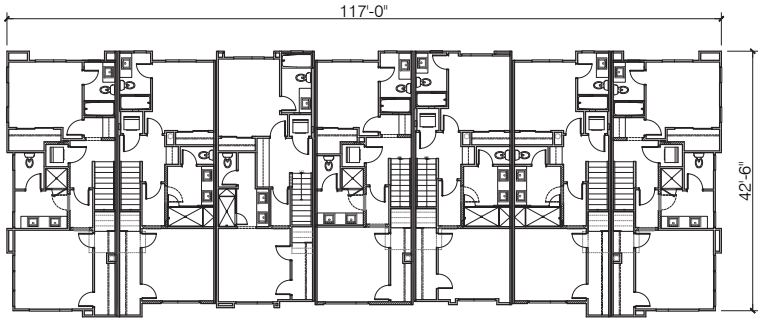
BUILDING TYPE A (7 PLEX)

EXAMPLE FOR BUILDINGS 2 & 3



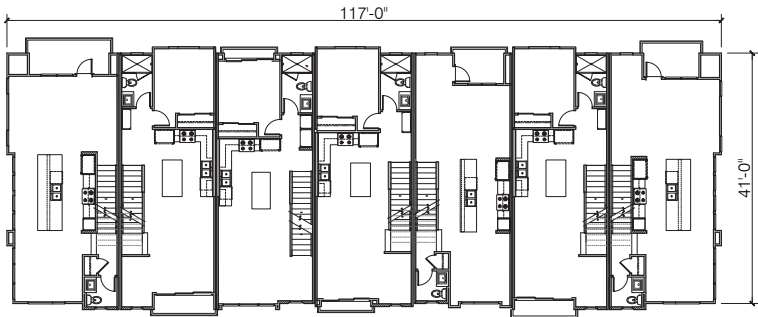
ROOF PLAN

BUILDING 2



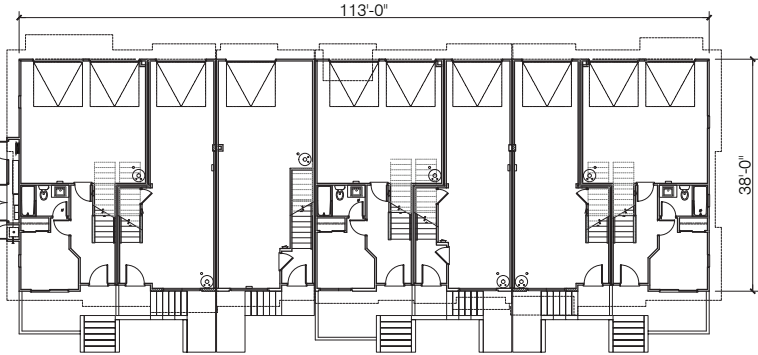
UPPER FLOOR PLAN

BUILDING 2



MAIN FLOOR PLAN

BUILDING 2



GROUND FLOOR PLAN

BUILDING 2



RENDERING



BUILDING TYPE A (7 PLEX) - FRONT ELEVATION



LEFT ELEVATION



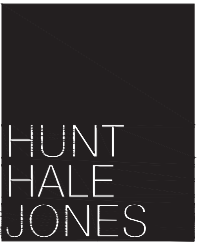
REAR ELEVATION



RIGHT ELEVATION



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BLDG TYPE A (7 PLEX) - BLDG 2 (BLDG 3 SIM)

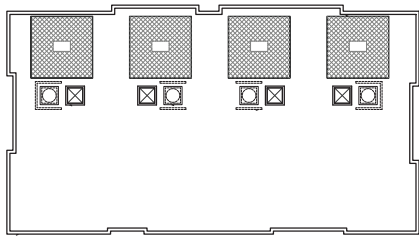
PRELIMINARY PROJECT ASSESSMENT APPLICATION  
ORIGINAL SUBMITTAL DATE: MARCH 05, 2019  
RESUBMITTAL DATE: MARCH 09, 2020  
RESUBMITTAL DATE: JUNE 05, 2020  
RESUBMITTAL DATE: JUNE 25, 2020

A4.1

SCALE: 1/4"=1'-0"  
DATE: 06.25.2020  
PROJECT: 348001

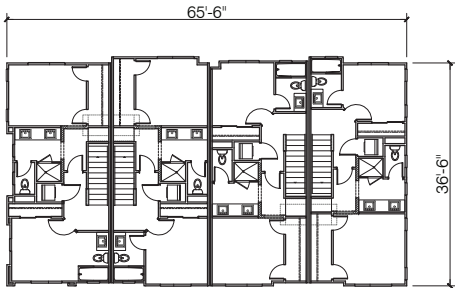
BUILDING TYPE B (4 PLEX)

EXAMPLE FOR BUILDINGS 6 & 7



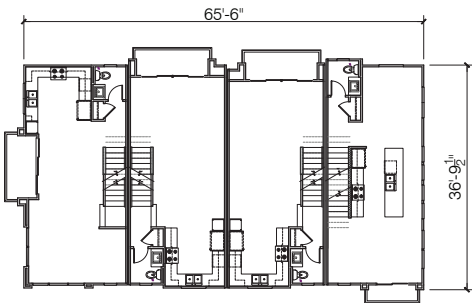
ROOF PLAN

BUILDING 6



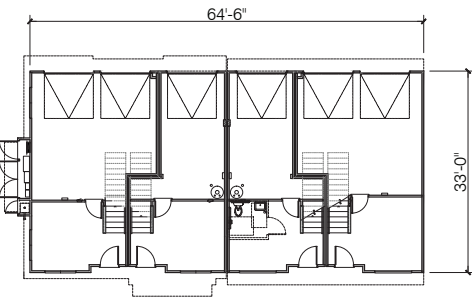
UPPER FLOOR PLAN

BUILDING 6



MAIN FLOOR PLAN

BUILDING 6



GROUND FLOOR PLAN

BUILDING 6



RENDERING



BUILDING TYPE B (4 PLEX) - FRONT ELEVATION



LEFT ELEVATION



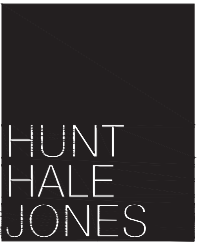
REAR ELEVATION



RIGHT ELEVATION



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BLDG TYPE B (4 PLEX) - BLDG 6 (BLDGS. 7-16 SIM.)

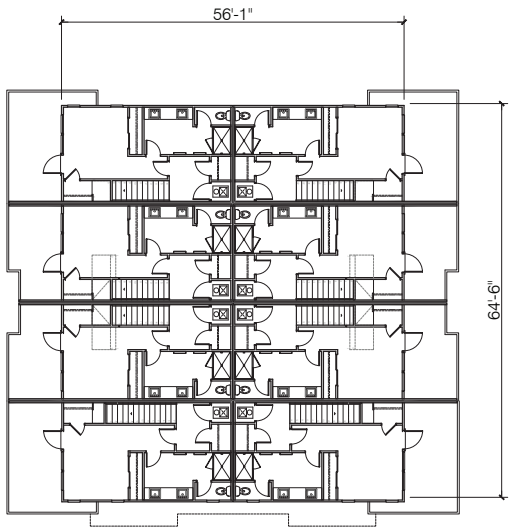
PRELIMINARY PROJECT ASSESSMENT APPLICATION  
ORIGINAL SUBMITTAL DATE: MARCH 05, 2019  
RESUBMITTAL DATE: MARCH 09, 2020  
RESUBMITTAL DATE: JUNE 05, 2020  
RESUBMITTAL DATE: JUNE 25, 2020

A4.2

SCALE: 1/4"=1'-0"  
DATE: 06.25.2020  
PROJECT: 348001

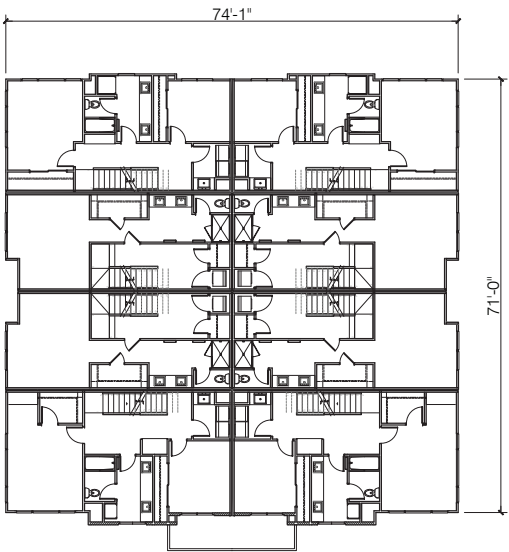
BUILDING TYPE C (8 PLEX)

EXAMPLE FOR BUILDINGS 17 & 18 (19 & 20 SIM.)



UPPER FLOOR PLAN

BUILDING 17



TOP FLOOR PLAN

BUILDING 17



RENDERING



BUILDING TYPE C (8 PLEX) - FRONT ELEVATION



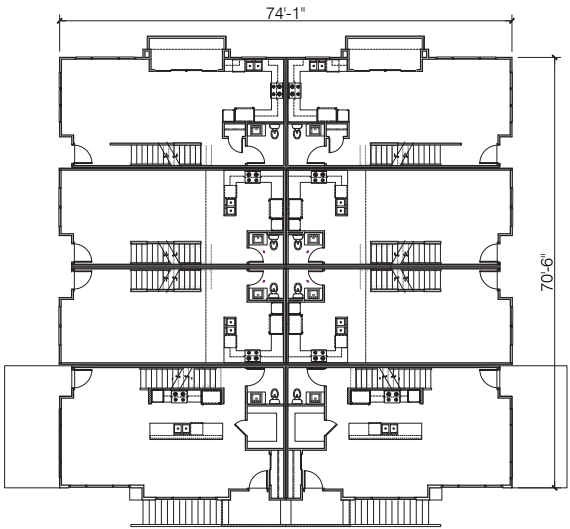
LEFT ELEVATION



REAR ELEVATION

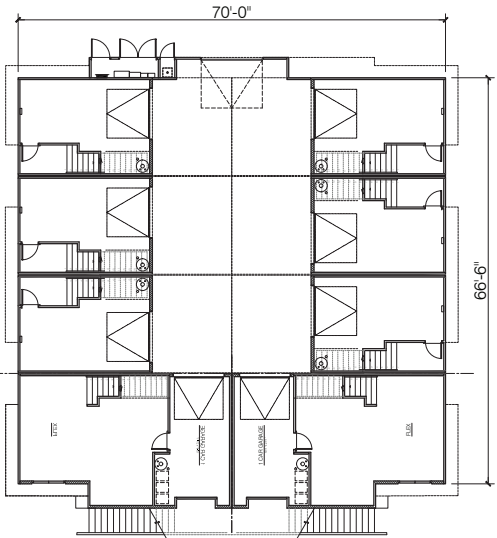


RIGHT ELEVATION



MAIN FLOOR PLAN

BUILDING 17

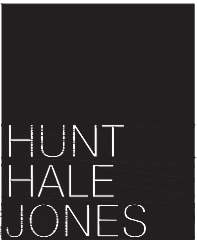


GROUND FLOOR PLAN

BUILDING 17



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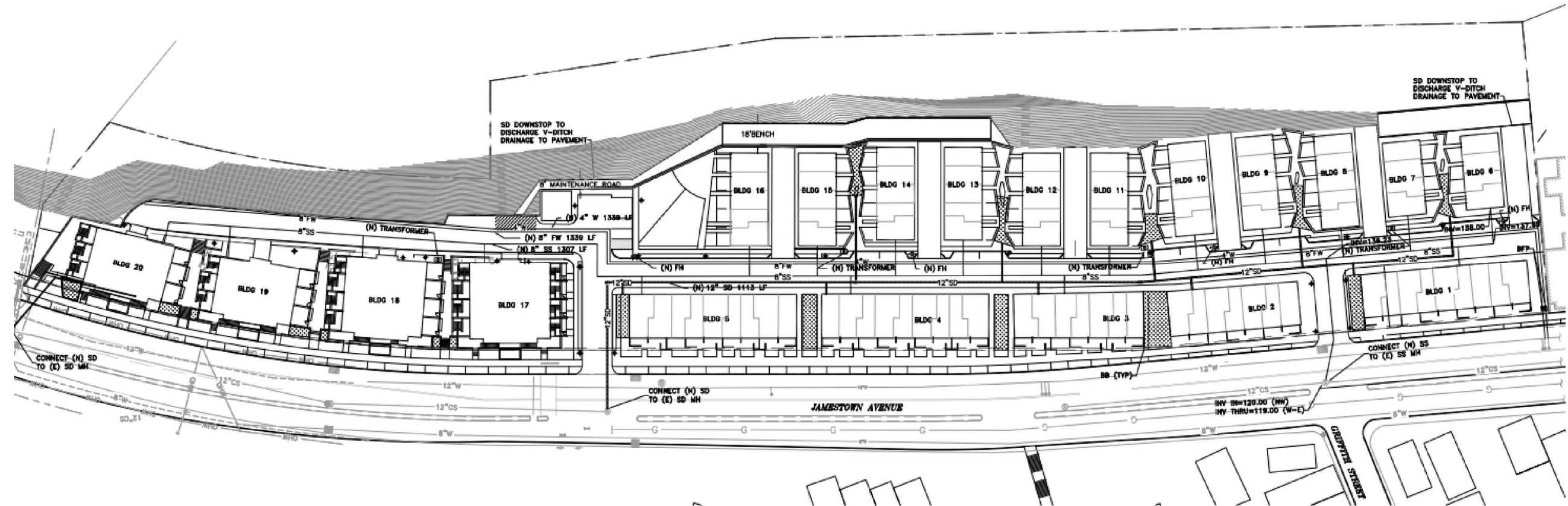
t. 415-512-1300  
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BLDG TYPE C (8 PLEX) - BLDG 17 (18-20 SIM.)

PRELIMINARY PROJECT ASSESSMENT APPLICATION  
ORIGINAL SUBMITTAL DATE: MARCH 05, 2019  
RESUBMITTAL DATE: MARCH 09, 2020  
RESUBMITTAL DATE: JUNE 05, 2020  
RESUBMITTAL DATE: JUNE 25, 2020

A4.3

SCALE: 3/16"=1'-0"  
DATE: 06.25.2020  
PROJECT: 348001



# PART V CIVIL ENGINEERING

VESTING TENTATIVE PARCEL MAP  
JAMESTOWN AVENUE (NO ADDRESS; BLOCK 4991; LOT 276)  
CITY AND COUNTY OF SAN FRANCISCO, CALIFORNIA

GENERAL NOTES

1. OWNER: STRADA JAMESTOWN VENTURE, LLC  
C/O STRADA INVESTMENT GROUP  
101 MISSION STREET, SUITE 420  
SAN FRANCISCO, CA 94105  
(415) 263-9151  
JESSE BLOUT, AUTHORIZED AGENT
2. CIVIL ENGINEER: FREYER & LAURETA, INC.  
150 EXECUTIVE PARK BLVD, SUITE 4200  
SAN FRANCISCO, CA 94134  
(415) 534-7070  
RICHARD LAURETA, RCE 055783
3. GEOTECHNICAL ENGINEER: ENGEO, INC.  
101 CALIFORNIA STREET, SUITE 875  
SAN FRANCISCO, CA 94111  
(510) 717-7100  
LEROY CHAN
4. ZONING CONFORMANCE: THE PLAN CONFORMS TO THE EXISTING RH-2 ZONING AND CALLS AN ADDENDUM TO THE PREVIOUSLY APPROVED 2010 CANDLESTICK POINT-HUNTERS POINT SHIPYARD PHASE II DEVELOPMENT PLAN PROJECT EIR (THE "CANDLESTICK EIR"). AMONG OTHER APPROVALS.
5. PROPOSED LAND USE: THE PROPOSED REDEVELOPMENT ENVISIONS THE CONSTRUCTION OF 122, 3-STORY ATTACHED TOWNHOME STYLE RESIDENCES TOTALING 160,434 SQ. THE COMMUNITY OF 20 NEW BUILDINGS WOULD BE INTERSPERSED WITH OPEN SPACE, INCLUDING A NEW CENTRAL COMMUNITY PARK AND PLAY AREA, AND SEVERAL GARDEN PASEOS THAT WOULD CONTRIBUTE TO AND ENHANCE THE EXISTING RESIDENTIAL COMMUNITY THAT SURROUNDS THE PROPERTY TODAY.
- THE PROPOSED TOWNHOME-STYLE CONDOMINIUMS ARE SIMILAR IN STYLE, SIZE, AND DENSITY TO THE EXISTING TOWNHOME COMMUNITIES THAT IMMEDIATELY NEIGHBOR THE SITE AS WELL AS THOSE AT THE NEARBY SHIPYARDS DEVELOPMENT. THE TOWNHOMES WOULD RANGE FROM APPROXIMATELY 1,100 TO 1,550 SQUARE FEET WITH 67% OF HOMES WITH TWO BEDROOMS, TWO-AND-A-HALF BATHS AND 23% OF HOMES WITH THREE BEDROOMS, THREE-AND-A-HALF BATHS AND WOULD PROVIDE A RARE OWNERSHIP OPPORTUNITY SUITABLE TO FIRST-TIME SAN FRANCISCO HOME BUYERS. ADDITIONALLY, APPROXIMATELY TWO-THIRDS OF THE HOMES WOULD INCLUDE PRIVATE ROOF DECKS AND/OR BALCONIES.
6. DIMENSIONS: ALL DIMENSIONS SHOWN ARE PRELIMINARY AND SUBJECT TO FINAL DESIGN AND MAPPING.

SURVEYOR'S STAMP

[FOR EXAMINATION ONLY]

CURT CHAPPELL, PLS  
SURVEYOR  
FREYER & LAURETA, INC.



DATE

ENGINEER'S STATEMENT

THIS VESTING TENTATIVE PARCEL MAP HAS BEEN PREPARED BY ME OR UNDER MY DIRECTION  
IN ACCORDANCE WITH STANDARD ENGINEERING PRACTICE.

[FOR EXAMINATION ONLY]

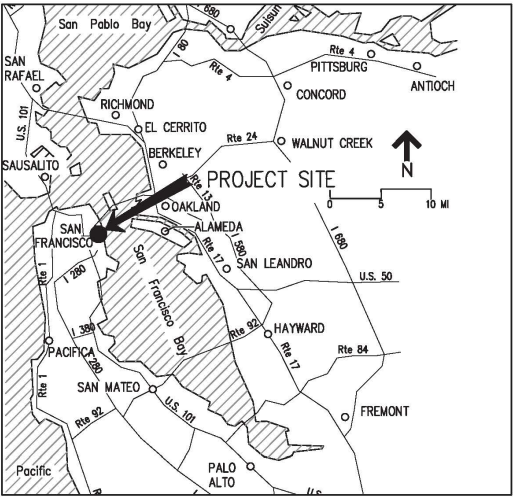
JEFFREY J. TARANTINO, P.E.  
VICE PRESIDENT  
FREYER & LAURETA, INC.



DATE

SHEET INDEX

- 1 COVER SHEET  
2-3 EXISTING SITE CONDITIONS  
4 PROPOSED PARCELIZATION  
5 STREET IMPROVEMENTS  
6 STREET CROSS SECTIONS  
7 UNDERGROUND UTILITY PLAN  
8 GRADING PLAN  
9 STORM WATER MANAGEMENT PLAN  
10 EROSION CONTROL PLAN  
11-13 SFTD FIRE TRUCK ACCESS  
14 PARKING AND STRIPING PLAN



VICINITY MAP  
NO SCALE



SITE PLAN  
NO SCALE



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DESIGNED: LEK  
DRAWN: JKL  
CHECKED: JJT

COVER SHEET  
SHEET 1 OF 14

SCALE: NTS  
DATE: 06.05.2020  
PROJECT: 275002  
SITE PERMIT APPLICATION

SYMBOLS	LEGEND	LINE TYPES
ACCESSIBLE RAMP	ADJACENT PARCEL NUMBER	BOUNDARY LINE
AREA LIGHT	APPROXIMATE ELEVATION	CONTOUR LINE
BACK FILL PREVENTION	BACK FILL PREVENTION	EASEMENT
BIOPHASE	BACK OF WALK	PROPERTY LINE
ELECTRICAL BOX	CONCRETE CURB RILEY	STREET RIGHT-OF-WAY
FIRE HYDRANT	CONCRETE MASONRY WALL	SUBJECT PROPERTY BOUNDARY
FIRE OUTF. CONNECTION	CROWN OF PAVEMENT	
GAS METER	DAMAGE SILET	
GAS VALVE	DEVELOPMENT POINT OF GRADE	
GUY WIRE ANCHOR	EXISTING MANHOLE	
MONITORING WELL	EXISTING MANHOLE	
STORM DRAIN MANHOLE	EXISTING MANHOLE	
SEWER CLEAROUT	EXISTING MANHOLE	
SEWER MANHOLE	EXISTING MANHOLE	
WATER METER	EXISTING MANHOLE	
WATER VALVE	EXISTING MANHOLE	
STREET SIGN	EXISTING MANHOLE	
JOINT UTILITY POLE	EXISTING MANHOLE	
STREET LIGHT	EXISTING MANHOLE	
STREET LIGHT BOX	EXISTING MANHOLE	
STORM DRAIN INLET	EXISTING MANHOLE	
SURVEY POINT BY DESCRIPTION AND GRADE	EXISTING MANHOLE	
TREE WITH DIAPHRAGM	EXISTING MANHOLE	

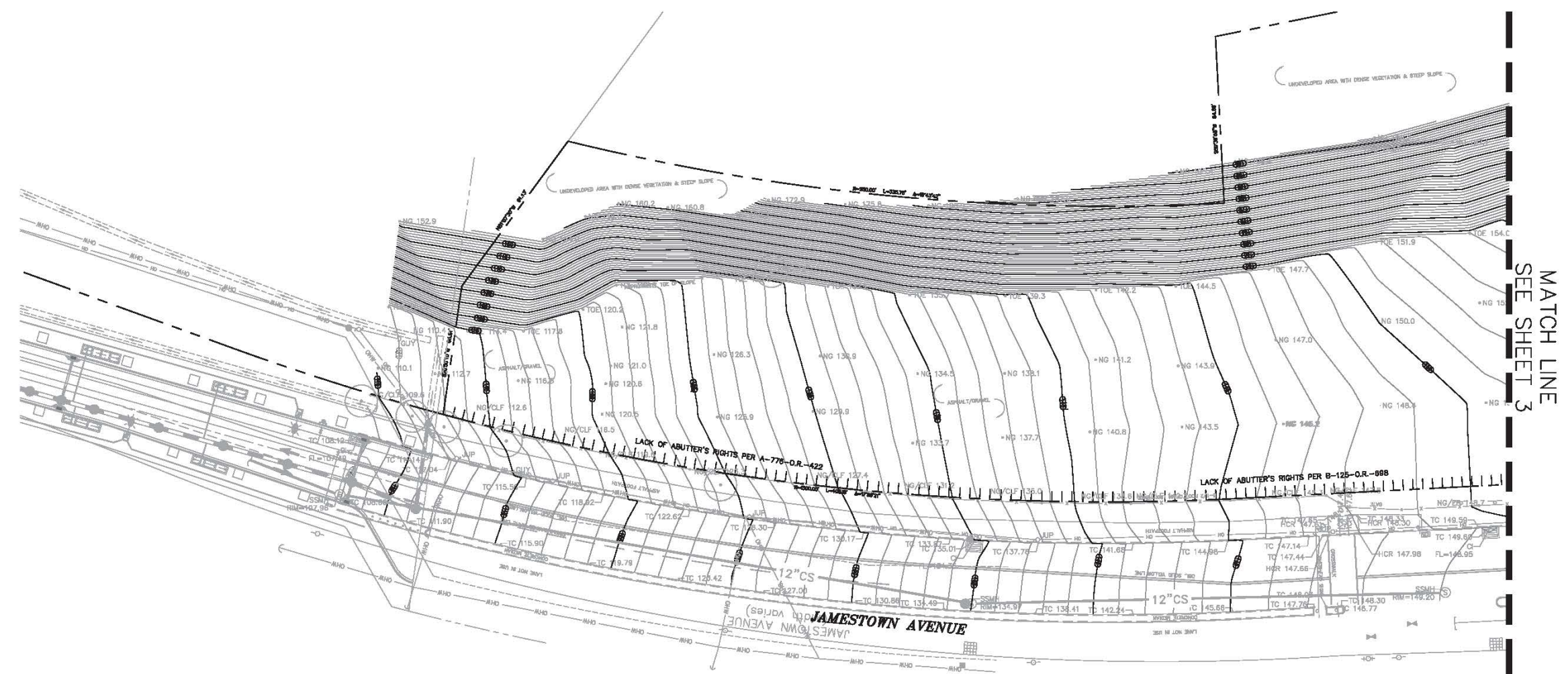
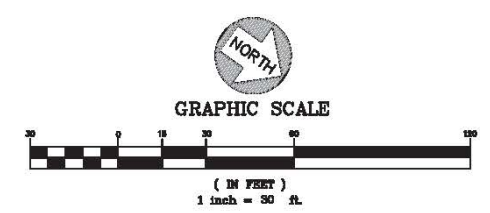
**UTILITY NOTE**  
THE UTILITIES SHOWN ON THIS MAP ARE DERIVED FROM SURFACE OBSERVATION AND FACILITIES MAPS. ACTUAL LOCATION AND SIZE, TOGETHER WITH THE PRESENCE OF ANY ADDITIONAL UTILITY LINES NOT SHOWN ON THIS PLAN, SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO CONSTRUCTION.

**SURVEY NOTE**  
1. ALL DISTANCES SHOWN HEREON ARE IN FEET AND DECIMALS THEREOF.  
2. PHYSICAL ITEMS SHOWN ON THIS SURVEY ARE LIMITED TO THOSE SURFACE ITEMS VISIBLE AS OF THE DATE OF THIS SURVEY. SUBSURFACE OBJECTS NOT SHOWN MAY INCLUDE, BUT ARE NOT LIMITED TO, CONCRETE FOOTINGS, SLABS, SHORING, STRUCTURAL PILES, UTILITY VAULTS, PIPING, UNDERGROUND TANKS, AND ANY OTHER SUBSURFACE STRUCTURES NOT REVEALED BY A SURFACE INSPECTION OR FOR SITE IMPROVEMENT PLANS.

**PROJECT BENCHMARK**  
ELEVATION: 161.98 FEET  
DATE: 02/27/13  
POINT ID: BM 10914  
DESCRIPTION: 1/2" DOMED STEEL ANCHOR PIN  
LOCATION: NORTHEAST CORNER OF HANNEY WAY @ EXECUTIVE PARK. IN CONCRETE CURB, 1' EASTERLY OF BEGINNING OF CURB RETURN, 0.3' RADIAL FROM FACE OF CURB.

**BASIS OF BEARINGS**  
THE BEARING OF SOUTH 31°33'00" EAST (BASIS OF BEARINGS), FOR THE WESTERLY RIGHT-OF-WAY LINE OF JAMESTOWN AVENUE, AS SHOWN ON THE PARKED MAP FILED FOR RECORD IN PARKED MAP BOOK 40, AT PAGE 10, SAN FRANCISCO COUNTY RECORDS, WAS USED AS THE BASIS FOR ALL BEARINGS SHOWN HEREON.

**EXISTING SITE SLOPE**  
THE AVERAGE EXISTING ELEVATION OF THE SITE IS ELEVATION 146. THE AVERAGE SLOPE OF EXISTING SITE IS 25% WITH 57% OF THE SITE HAVING AN EXISTING SLOPE LESS THAN 10%.



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DESIGNED: LEK  
DRAWN: JKL  
CHECKED: JUT

EXISTING SITE CONDITIONS  
SHEET 2 OF 14  
SCALE: 1" = 30'  
DATE: 06.05.2020  
PROJECT: 275002  
SITE PERMIT APPLICATION

**UTILITY SHOWN** ON THIS MAP ARE DERIVED FROM SURFACE OBSERVATION AND FACILITIES NAME, ACTUAL LOCATION AND SIZE, TOGETHER WITH THE PRESENCE OF ANY ADDITIONAL UTILITY LINES NOT SHOWN ON THIS PLAN, SHALL BE VIEWED IN THE FIELD BY THE CONTRACTOR PRIOR TO CONSTRUCTION.

**SURVEY NOTE**

1. ALL DISTANCES SHOWN HEREON ARE IN FEET AND DECIMALS THEREOF.

2. PHYSICAL FEATS SHOWN ON THIS SURVEY ARE LIMITED TO THOSE IDENTIFIED BEING VISIBLE AS OF THE DATE OF THIS SURVEY.

3. SUBSURFACE OBJECTS NOT SHOWN MAY INCLUDE, BUT ARE NOT LIMITED TO, CONCRETE FOOTINGS, SLABS, SHORING, STRUCTURAL PILES, UTILITY VAULTS, PIPE, UNDERGROUND TANKS, AND ANY OTHER SUBSURFACE STRUCTURES NOT REVEALED BY A SURFACE INSPECTION OR PER SITE IMPROVEMENT PLANS.

**PROJECT BENCHMARK**

ELEVATION: 161.08 FEET  
POINT: 1025+1013  
POINT I.D.: BM 10094

DESCRIPTION: 1/2" DOWLED STEEL ANCHOR PIN

LOCATION: NORTHEAST CORNER OF HANNEY WAY @ DEDUCTIVE PARK IN CONCRETE CURB. 1' EASTERLY OF BEGINNING OF CURVE RETURN. 0.3' RADIAL FROM FACE OF CURB.

**BASIS OF BEARINGS**

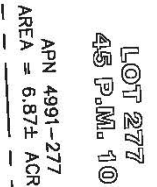
THE BEARING OF SOUTH 113°50'00" EAST (BASIS OF BEARING), FOR THE WESTERLY FRONT-OF-DRIVE LINE OF JARVISSTONE AVENUE, AS SHOWN ON PARCELS MAP FILED FOR RECORD IN PARCELS MAP BOOK 48, AT PAGE 10, SAN FRANCISCO COUNTY RECORDS, WAS USED AS THE BASIS FOR ALL BEARINGS SHOWN HEREON.

### SURVEY NOTE

1. ALL DISTANCES SHOWN HEREON ARE IN FEET AND DECIMALS THEREOF.
2. PHYSICAL ITEMS SHOWN ON THIS SURVEY ARE LIMITED TO THOSE SURFACE ITEMS VISIBLE AS OF THE DATE OF THIS SURVEY. SUBSURFACE OBJECTS NOT SHOWN MAY INCLUDE, BUT ARE NOT LIMITED TO, CONCRETE FOUNDATIONS, BLINDS, SHORING, STRUCTURAL PILES, UTILITY VALVES, PIPING, UNDERGROUND TANKS, AND ANY OTHER SUBSURFACE STRUCTURES NOT REVEALED BY A SURFACE INSPECTION OR PER SITE IMPROVEMENT PLANS.

**BASIS OF BEARINGS**

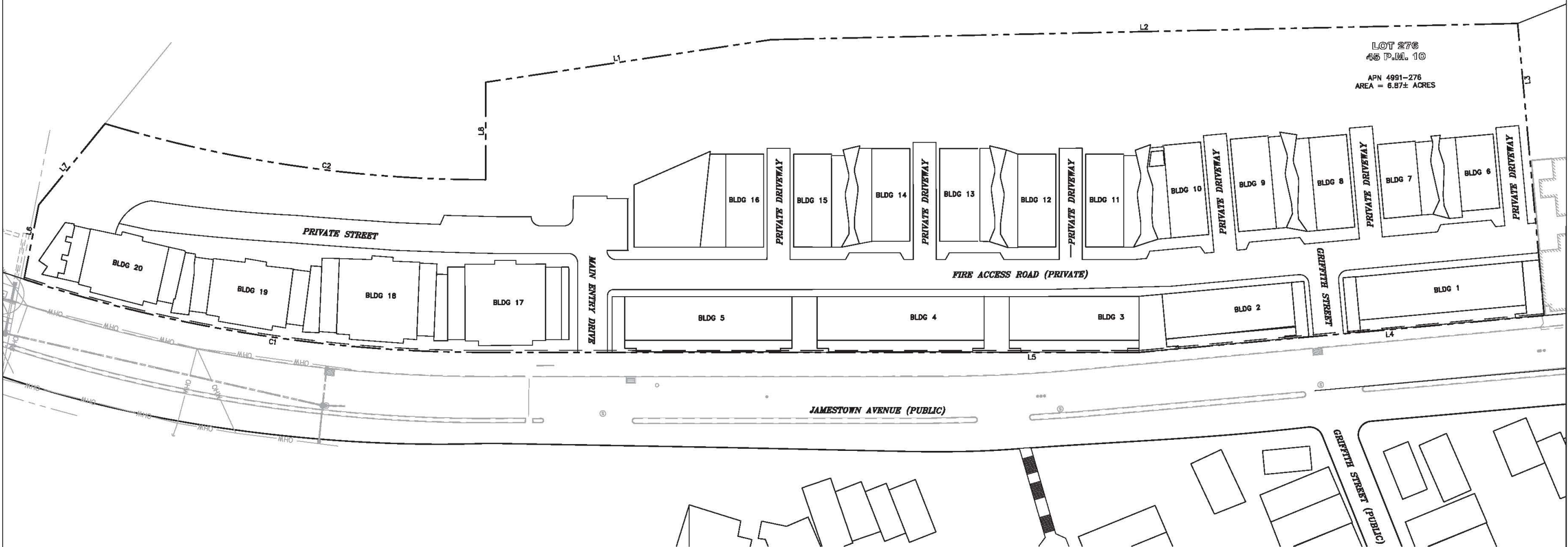
THE BEARING OF SOUTH 31°33'00" EAST (BASIS OF BEARINGS), FOR THE WESTERLY RIGHT-OF-WAY LINE OF JAMESTOWN AVENUE, AS SHOWN ON THE PARCEL MAP FILED FOR RECORD IN PARCEL MAP BOOK 40, AT PAGE 10, SAN FRANCISCO COUNTY RECORDS, WAS USED AS THE BASIS FOR ALL BEARINGS SHOWN HEREON.



- LEGEND**
- PROPOSED LOT BOUNDARY
  - PROPOSED IMPROVEMENTS
  - C# CURVE NUMBER
  - L## LINE NUMBER
  - BLDG # BUILDING NUMBER

LINE TABLE		
LINE NO.	LENGTH	DIRECTION
L1	250.90	N38°51'41"W
L2	649.56	N31°37'46"W
L3	254.76	N54°25'25"E
L4	354.00	S35°34'35"E
L5	568.07	S30°23'05"E
L6	65.81	S70°50'10"W
L7	91.13	N81°07'30"W
L8	84.66	S59°36'55"W

CURVE TABLE			
CURVE NO.	LENGTH	RADIUS	DELTA
C1	408.16	1300.00	17°59'21"
C2	335.76	1150.00	16°43'42"



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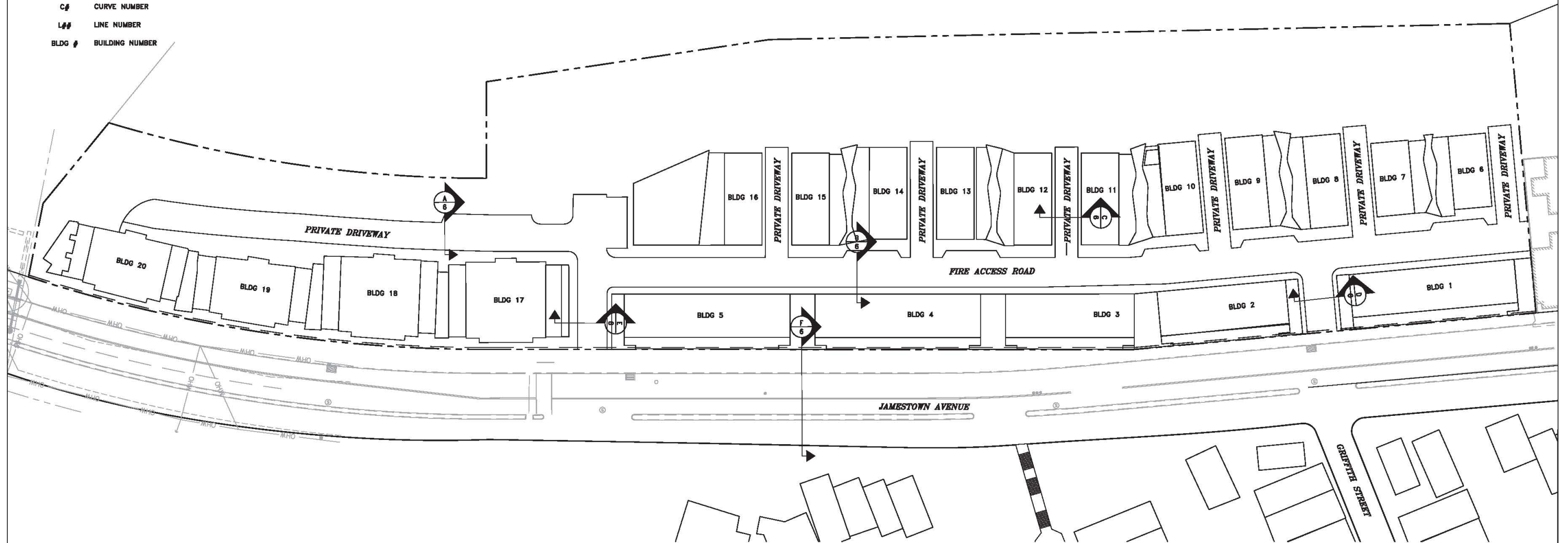
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DESIGNED: LEK  
DRAWN: JKL  
CHECKED: JUT

PROPOSED PARCELIZATION  
SHEET 4 OF 14

SCALE: 1" = 40'  
DATE: 06.05.2020  
PROJECT: 275002  
SITE PERMIT APPLICATION

- LEGEND**
- PROPOSED LOT BOUNDARY
  - PROPOSED IMPROVEMENTS
  - C# CURVE NUMBER
  - L# LINE NUMBER
  - BLDG # BUILDING NUMBER



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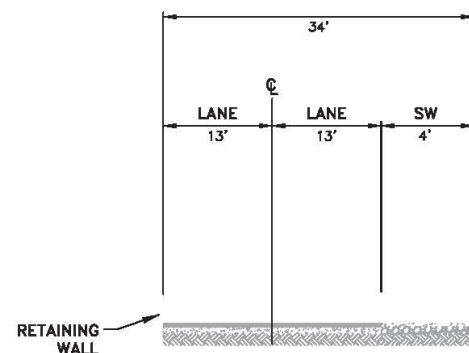
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DESIGNED: LEK  
DRAWN: JKL  
CHECKED: JJT

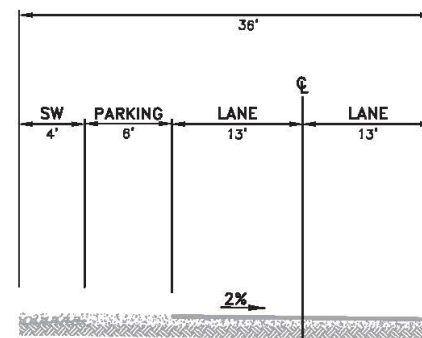
STREET IMPROVEMENTS

SHEET 5 OF 14

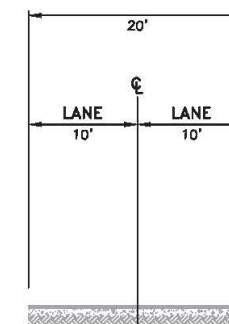
SCALE: 1" = 40'  
DATE: 06.05.2020  
PROJECT: 275002  
SITE PERMIT APPLICATION



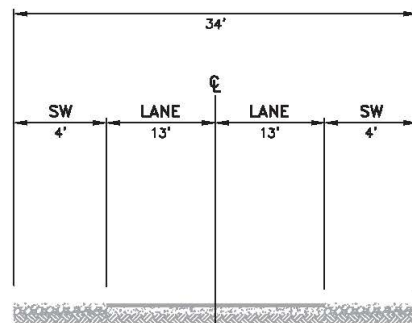
**A** PRIVATE STREET



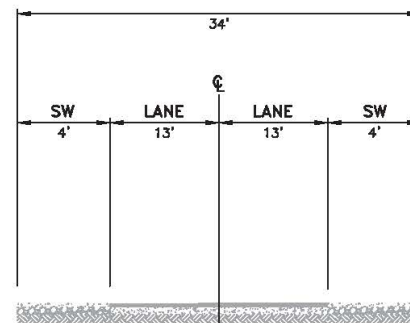
**B** FIRE ACCESS ROAD



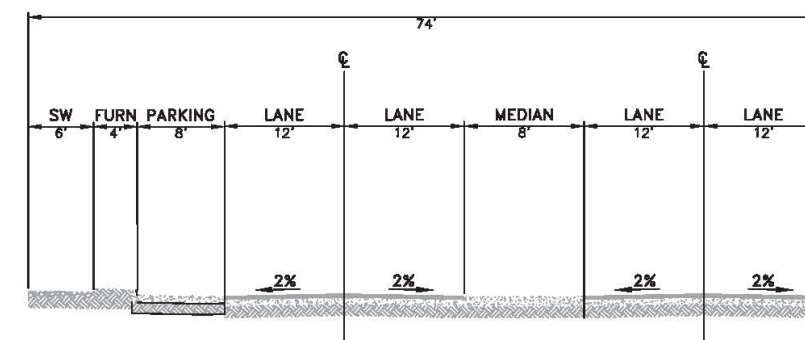
**C** PRIVATE DRIVEWAY



**D** NORTH ENTRY



**E** SOUTH ENTRY



**F** JAMESTOWN AVENUE



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DESIGNED: LEK  
DRAWN: JKL  
CHECKED: JJT

STREET CROSS SECTIONS

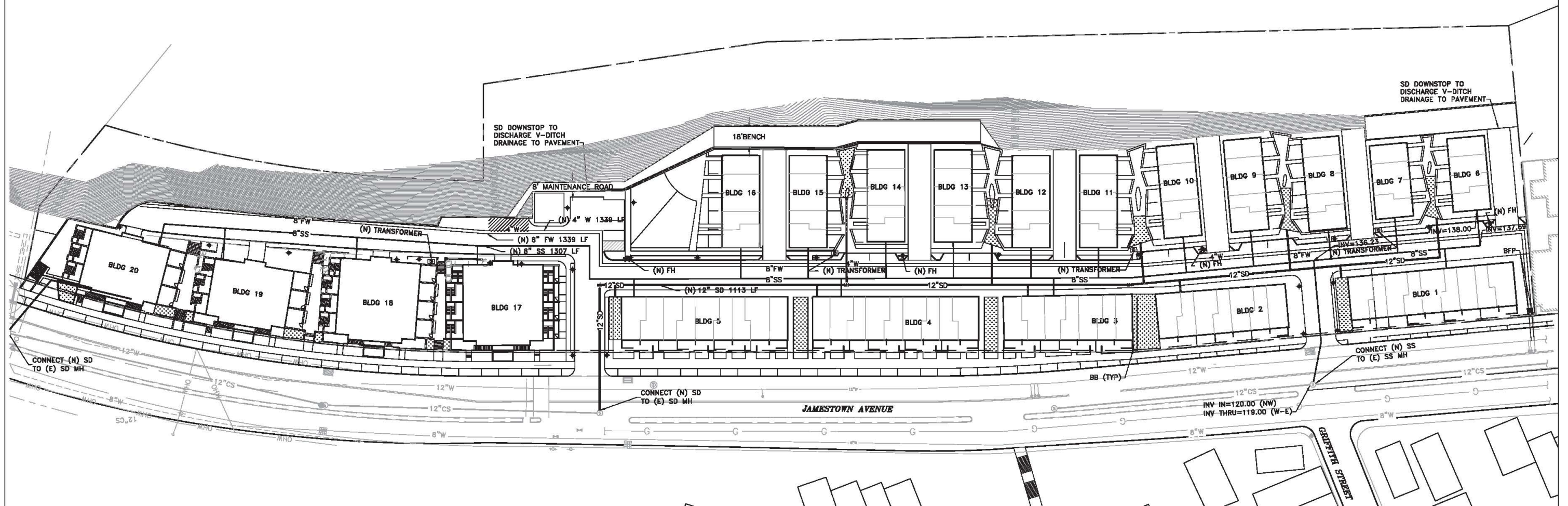
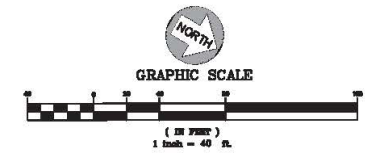
SHEET 6 OF 14

SCALE: NTS  
DATE: 06.05.2020  
PROJECT: 275002  
SITE PERMIT APPLICATION

LEGEND	
---	PROPERTY LINE
---	CENTER LINE
SS	SANITARY SEWER
SD	STORM DRAIN
FW	FIRE WATER
W	WATER
---	BUILDING PAD ELEVATION
■	PROPOSED BIORETENTION
⬮	FIRE HYDRANT
⬮	TRANSFORMER
⬮	BACKFLOW PREVENTER
⬮	STORM DRAIN MANHOLE
⬮	WATER METER
⬮	WATER VALVE

ABBREVIATIONS	
BB	BIORETENTION BASIN
BFP	BACK FLOW PREVENTER
BMP	BEST MANAGEMENT PRACTICES
BLDG	BUILDING
(E)	EXISTING
FFE	FINISHED FLOOR ELEVATION
FW	FIRE WATER
INV	INVERT
MH	MANHOLE
(N)	NEW
(TYP)	TYPICAL
SS	SANITARY SEWER
W	WATER

- NOTES**
- EXISTING SURFACE FEATURES WERE OBTAIN FROM TOPOGRAPHIC SURVEY DATED SEPTEMBER 7, 2018.
  - INVERT ELEVATIONS REFLECT AS-BUILT RECEIVED BY SAN FRANCISCO PUBLIC UTILITIES COMMISSION, EXTENSION OF JAMESTOWN AVENUE GILROY ST. TO HUNTERS PT. SERV. ROAD, DATED JUNE 24, 1958.
  - 8" AND 12" POTABLE WATER LINE REFLECT AS-BUILTS RECEIVED BY SAN FRANCISCO WATER DEPARTMENT DATED JUNE 11, 2018
  - GAS LINE REFLECT AS-BUILTS RECEIVED BY PG&E DATED JUNE 15, 2018
  - TELECOMMUNICATION LINE REFLECT AS-BUILTS SHEET 153-154 RECEIVED BY AT&T DATED, NOVEMBER 8, 2000.
  - ELECTRIC TRANSFORMERS ARE ABOVE GRADE.
  - PER FIELD FLOW TEST PERFORMED BY SFPUC, THE AVAILABLE STATIC PRESSURE IS 39 PSI, THE AVAILABLE RESIDUAL PRESSURE IS 30 PSI, AND THE FLOW IS 200 GPM FROM THE EXISTING 8-INCH MAIN ON JAMESTOWN.



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DESIGNED: LEK  
DRAWN: JKL  
CHECKED: JTT

**UTILITY PLAN**  
SHEET 7 OF 14

SCALE: 1" = 40'  
DATE: 06.05.2020  
PROJECT: 275002  
SITE PERMIT APPLICATION

# LEGEND

- PROPERTY LINE
- CENTER
- CURB
- TC 121.74 SURFACE ELEVATION
- FFE=100.0 AVERAGE SLAB ELEVATIONS
- BUILDING PAD BOUNDARY
- EXISTING 1FT CONTOURS
- DRAIN STRUCTURE
- GRADE BREAK

# ABBREVIATIONS

- EP EDGE OF PAVEMENT
- (E) EXISTING
- (N) NEW
- SF SQUARE FEET
- TC TOP OF CURB
- BMP BEST MANAGEMENT PRACTICE (BIORETENTION)
- (TYP) TYPICAL
- BW BOTTOM OF WALL
- TW TOP OF WALL
- WH WALL HEIGHT

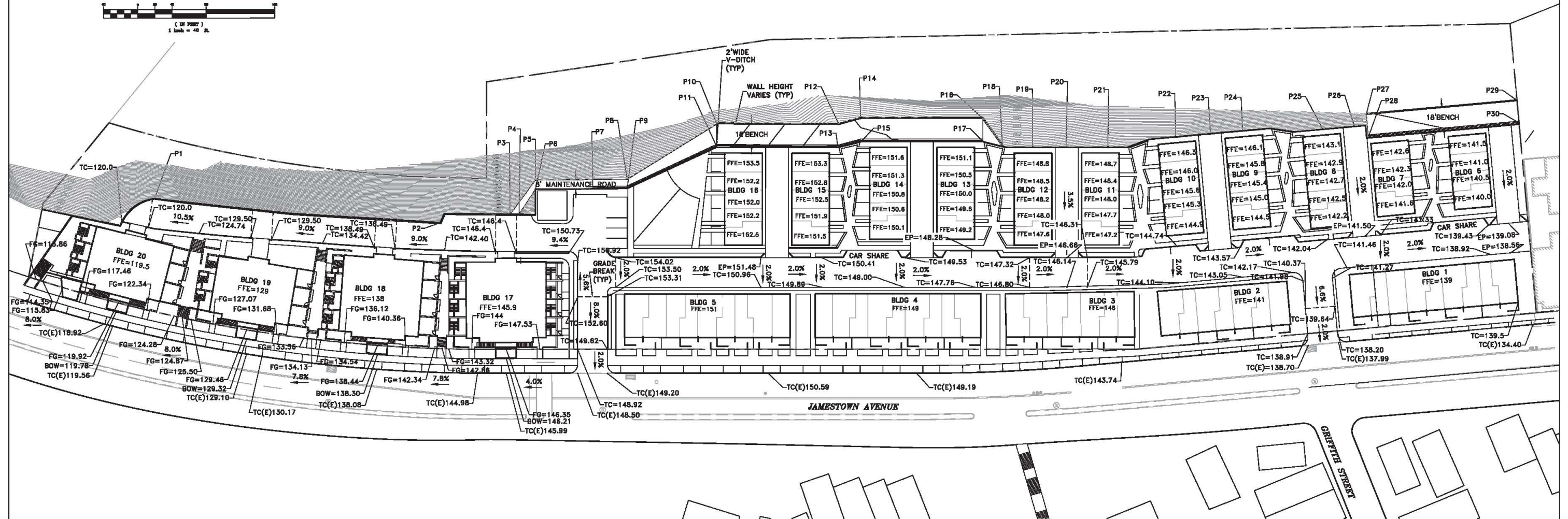
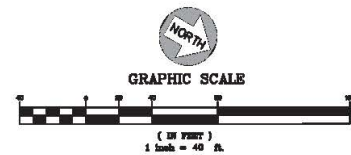
# CUT AND FILL CALCULATIONS

PROPOSED TOTAL CUT = 7,451 CUBIC YARDS  
PROPOSED TOTAL FILL = 3,417 CUBIC YARDS

NET TOTAL CUT = 4,034 CUBIC YARDS

WALL ELEVATION DATA TABLE			
POINT NO.	TW	BW	WH
P1	131.00	128.00	3.00
P2	145.00	145.00	0.00
P3	150.00	147.00	2.00
P4	149.50	147.00	2.00
P5	173.50	148.39	25.11
P6	167.00	148.23	18.77
P7	162.50	153.84	8.86
P8	168.50	155.09	13.41
P9	163.00	154.93	14.39
P10	191.50	177.90	13.60
P11	177.00	153.50	23.50
P12	178.50	170.90	7.60
P13	170.00	153.50	16.50
P14	182.50	172.40	10.10
P15	171.50	152.50	19.00

WALL ELEVATION DATA TABLE			
POINT NO.	TW	BW	WH
P16	186.50	173.90	12.60
P17	173.50	152.00	21.50
P18	169.00	149.30	19.60
P19	167.00	148.80	18.20
P20	165.00	148.75	16.25
P21	163.00	148.70	14.30
P22	169.00	146.30	22.70
P23	168.00	146.20	21.80
P24	168.00	146.10	21.90
P25	165.00	143.10	21.90
P26	165.50	143.41	22.09
P27	173.50	159.90	13.60
P28	159.00	143.60	15.40
P29	174.50	161.90	12.60
P30	161.00	141.50	19.50



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DRAWN: JKL  
CHECKED: JTT

**GRADING PLAN**  
SHEET 8 OF 14

SCALE: 1" = 40'  
DATE: 06.26.2020  
PROJECT: 275002  
SITE PERMIT APPLICATION

# LEGEND

- PROPERTY LINE
- CENTER LINE
- BUILDING PAD BOUNDARY
- DRAINAGE MANAGEMENT AREA
- SD SCHEMATIC PIPE WITH FLOW DIRECTION
- ROOF SLOPE BRAKE LINE
- PROPOSED BIORETENTION BASIN
- SURFACE FLOW
- ROOF DISCHARGE TO BIORETENTION BASIN

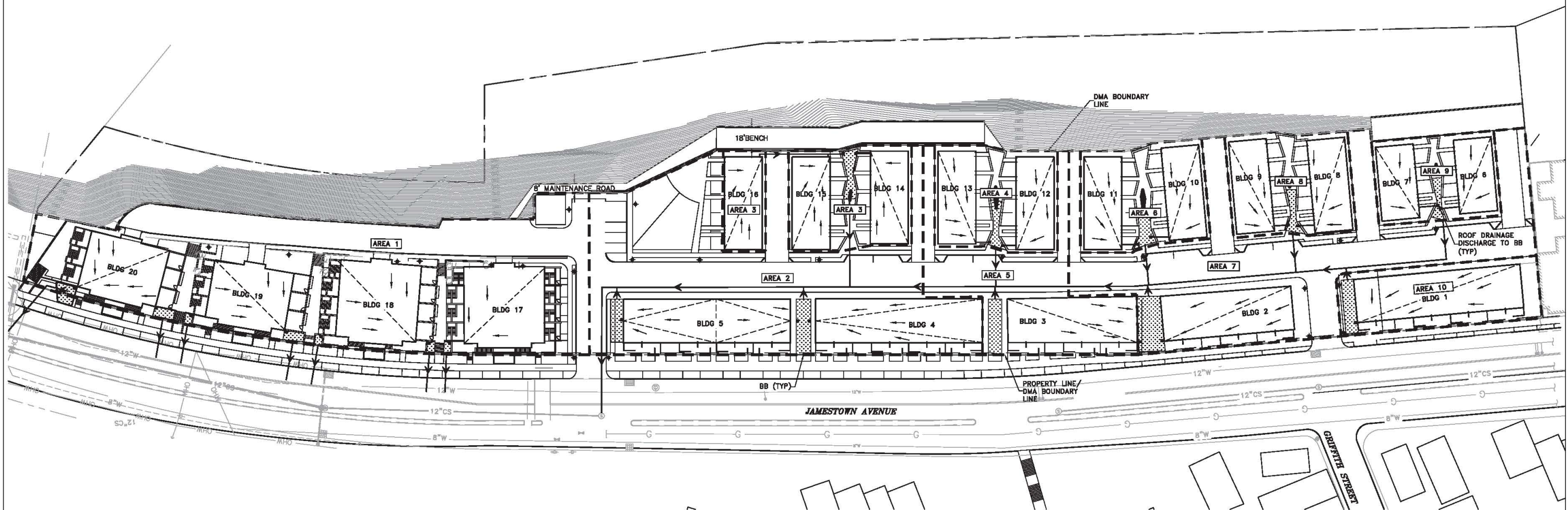
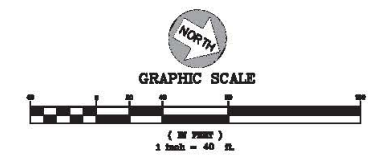
# ABBREVIATIONS

- BB BIORETENTION BASIN
- BMP BEST MANAGEMENT PRACTICE (BIORETENTION)
- DMA DRAINAGE MANAGEMENT AREA
- (SF) SQUARE FEET
- (TYP) TYPICAL

# NOTES

- THIS STORM WATER MANAGEMENT PLAN IS PRELIMINARY AND IS SUBJECT TO CHANGE.
- TABLE IS NOT UPDATED TO CURRENT PLAN SHOWN.

STORMWATER CALCULATIONS				
DMA BOUNDARY	AREA (SF)	IMPERVIOUS AREA (SF)	PERVIOUS AREA (SF)	BMP REQUIRED
AREA 1	41,057	30,358	1,258	1,200
AREA 2	41,188	30,803	1,368	1,235
AREA 3	10,982	10,594	388	329
AREA 4	8,422	8,111	311	283
AREA 5	7,582	6,878	614	227
AREA 6	8,767	8,458	309	283
AREA 7	28,600	28,508	992	888
AREA 8	9,353	8,098	1,255	281
AREA 9	7,884	7,816	248	238
AREA 10	8,520	8,894	528	288



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STORM WATER MANAGEMENT PLAN

SHEET 9 OF 14

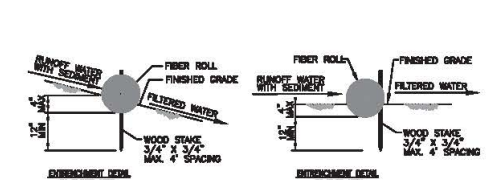
SCALE: 1" = 40'  
DATE: 06.05.2020  
PROJECT: 275002  
SITE PERMIT APPLICATION

LEGEND

- PROPERTY LINE
- CENTER LINE
- FIBER ROLL
- STABILIZED CONSTRUCTION ENTRANCE/EXIT
- INLET CAPTURE BAG

ABBREVIATIONS

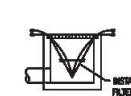
- BFP BEST MANAGEMENT PRACTICES
- BMP BACK FLOW PREVENTER
- BLDG BUILDING
- (E) EXISTING
- FFE FINISHED FLOOR ELEVATION
- INV INVERT
- MH MANHOLE
- (N) NEW
- (TYP) TYPICAL



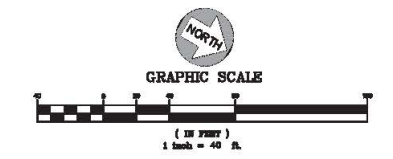
NOTES

1. STABILIZED CONSTRUCTION SITE ACCESS SHALL BE CONSTRUCTED OF 2\"/>
2. LENGTH OF ENTRANCE SHALL BE A MINIMUM OF 50 FEET (15 METERS) WITH SHALL BE A MIN OF 10 FT (3.0 METERS) OR GREATER IF NECESSARY TO COVER ALL VEHICULAR WHEELS AND EXTERIOR PROTRUSIONS. TURNING RADIUS TO COVER ENTIRE ENTRANCE. ALL VEHICLES LEAVING SITE SHALL TURN COMPLETELY ON "STABILIZED ENTRANCE" PRIOR TO LEAVING PAVED RIGHT OF WAY.
3. THE ENTRANCE SHALL BE KEPT IN GOOD CONDITION BY OCCUPANTS. TOP DRESSING WITH MATERIAL AS IS SPECIFIED IN NOTE 1. PERIODIC ROLLING COMPACTION OF THE ENTRANCE SHALL BE PERFORMED TO MAINTAIN CONSOLIDATION OF THE ROCK AND ENTRANCE THROUGHOUT.
4. ACCESS SHALL BE INSPECTED WEEKLY DURING PERIODS OF HEAVY USAGE, MONTHLY DURING NORMAL USAGE, AND AFTER EACH WINTERFALL, WITH MAINTENANCE PROVIDED AS NECESSARY. PAVING TOP DRESSING SHALL BE DONE AS NEEDED.
5. LOCATIONS FOR ALTERNATE/ADDITIONAL CONSTRUCTION ENTRANCES SHALL BE DETERMINED BY THE CONTRACTOR AND SHALL BE COVERED UNDER THE SIGN.
6. EXACT LOCATION OF STABILIZED CONSTRUCTION ENTRANCE SHALL BE DETERMINED IN THE FIELD BY THE OWNER'S REPRESENTATIVE AND WILL BE DETERMINED BY THE CONTRACTOR BASED ON THEIR MEANS AND METHODS FOR CONSTRUCTION AND CONTROLLING THE SITE.

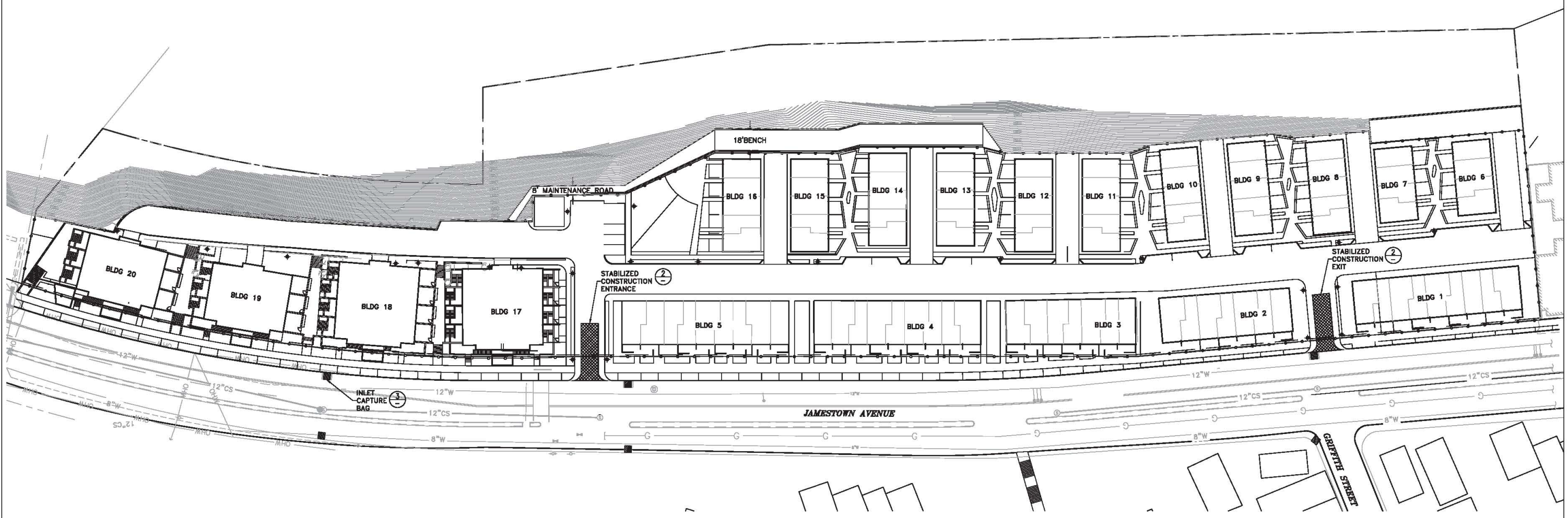
2 STABILIZED CONSTRUCTION ENTRANCE DETAIL  
SCALE: NO SCALE



3 INLET CAPTURE BAG DETAIL  
SCALE: NO SCALE



(150)



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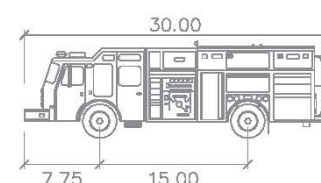
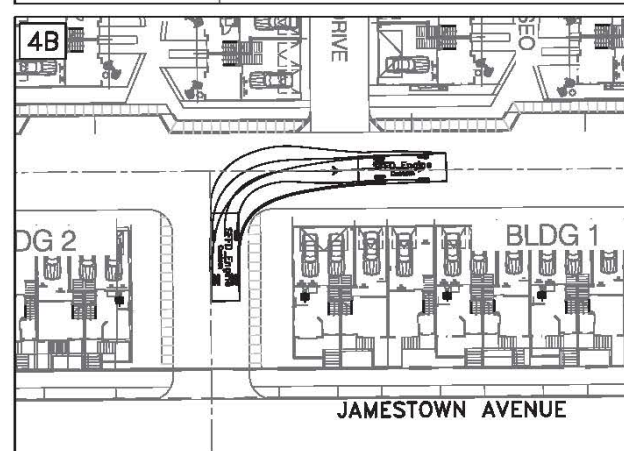
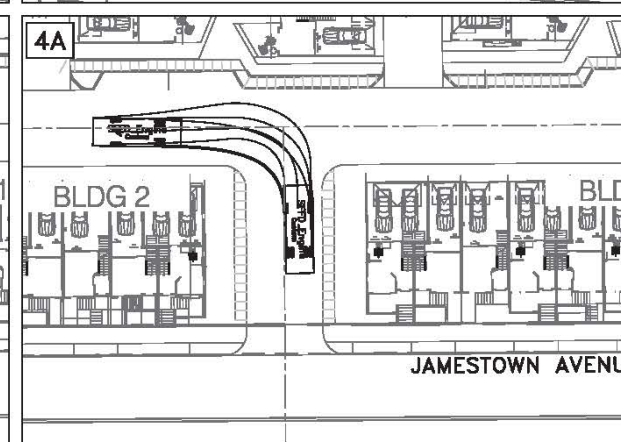
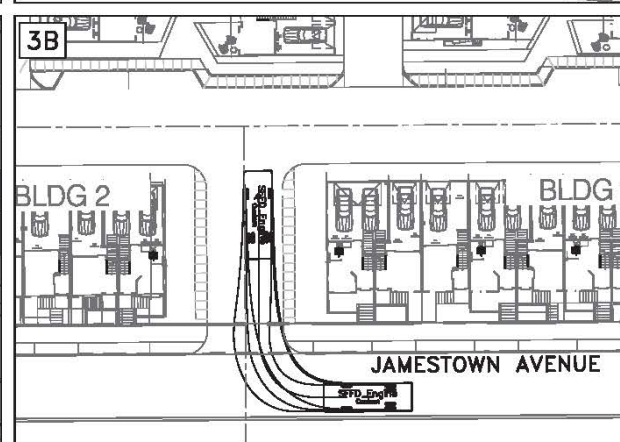
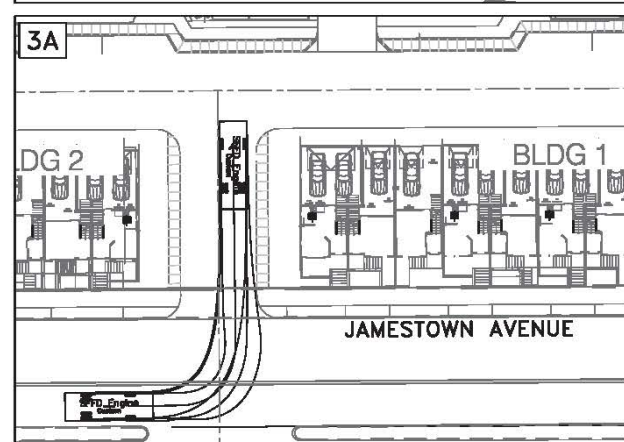
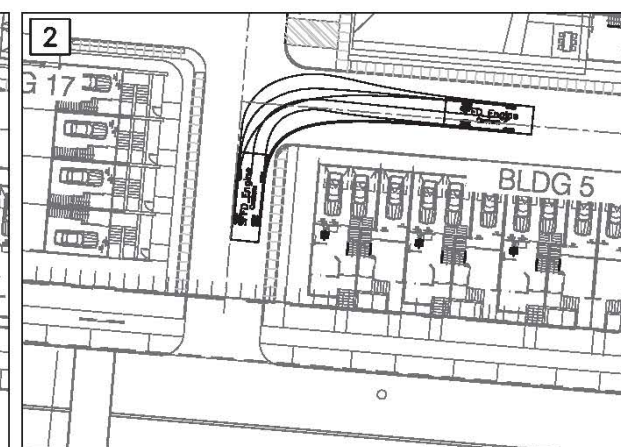
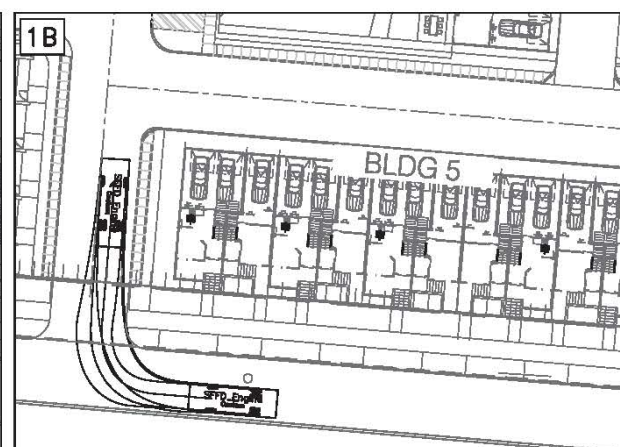
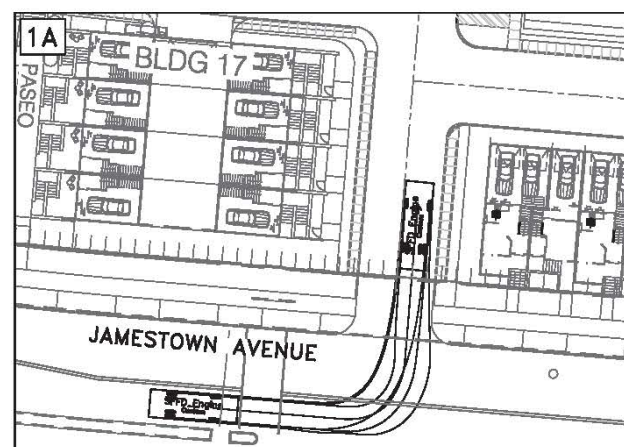
DESIGNED: LEK  
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CHECKED: JUT

EROSION CONTROL PLAN  
SHEET 10 OF 14

SCALE: 1" = 40'  
DATE: 06.05.2020  
PROJECT: 275002  
SITE PERMIT APPLICATION



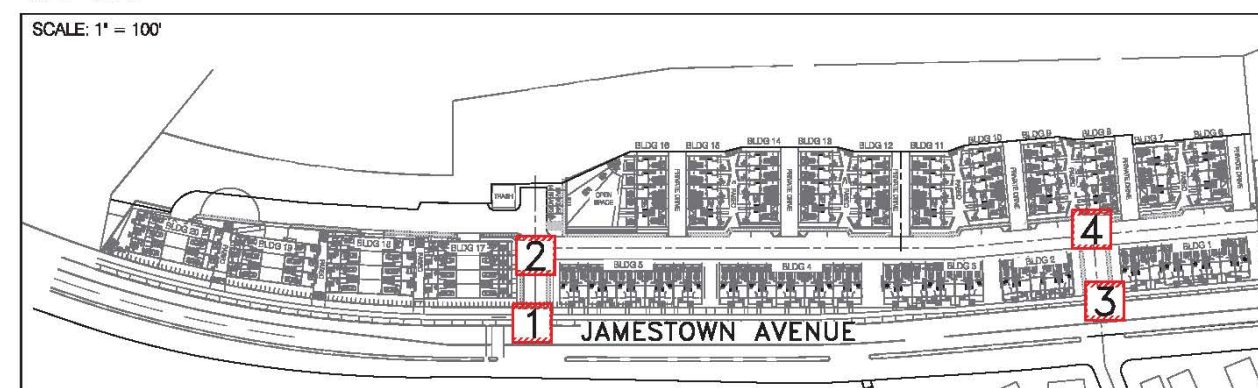
GRAPHIC SCALE



SFFD Engine	feet
Width	: 9.50
Track	: 8.50
Lock to Lock Time	: 6.0
Steering Angle	: 36.0

#### KEY MAP

SCALE: 1" = 100'



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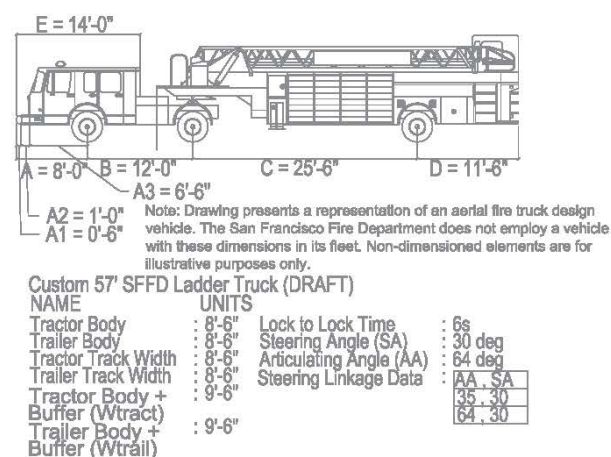
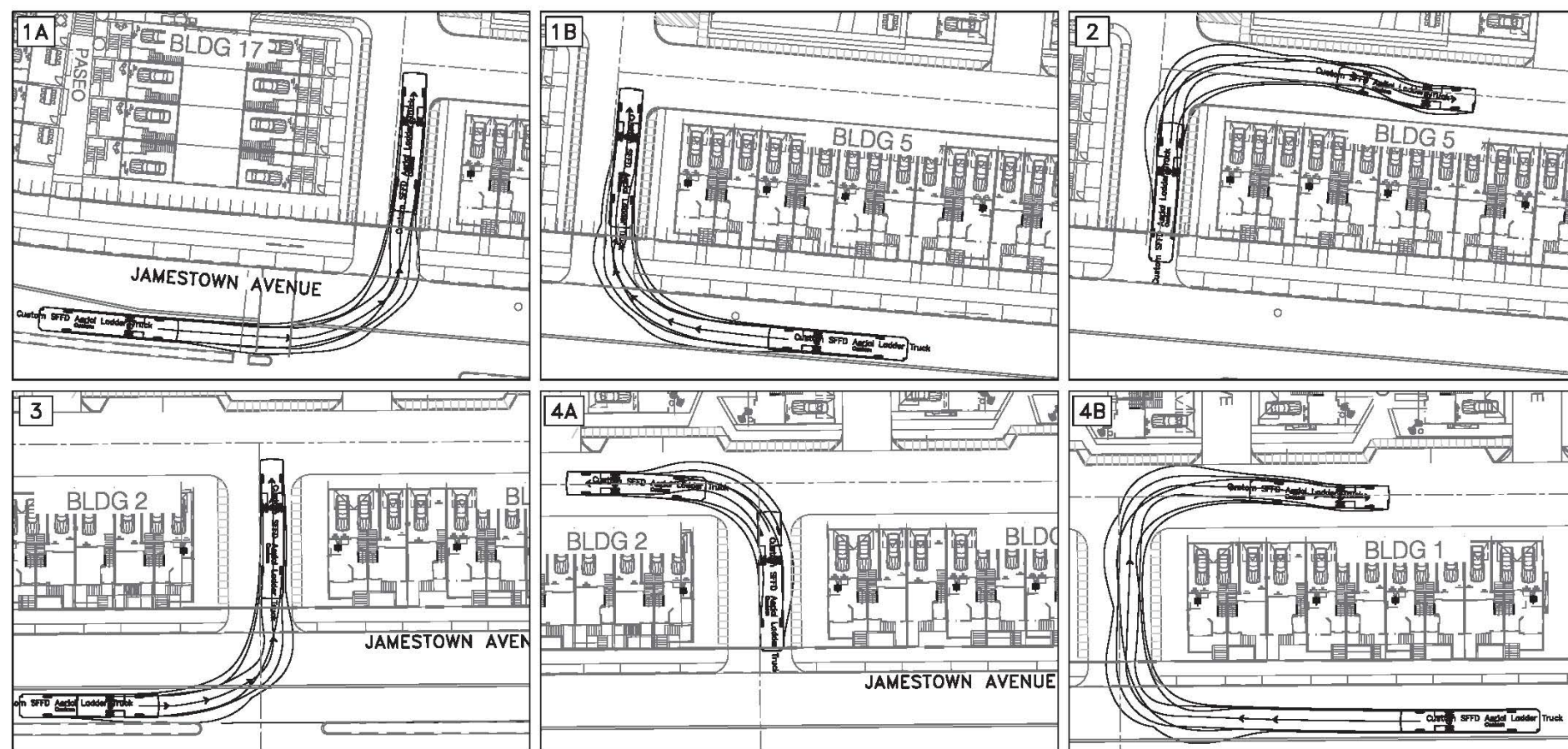
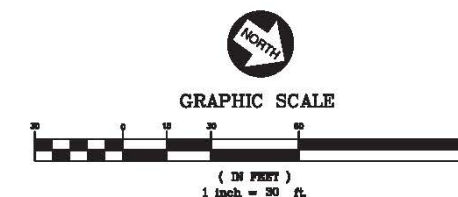
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CHECKED: JJT

**SFFD ENGINE TRUCK ACCESS**

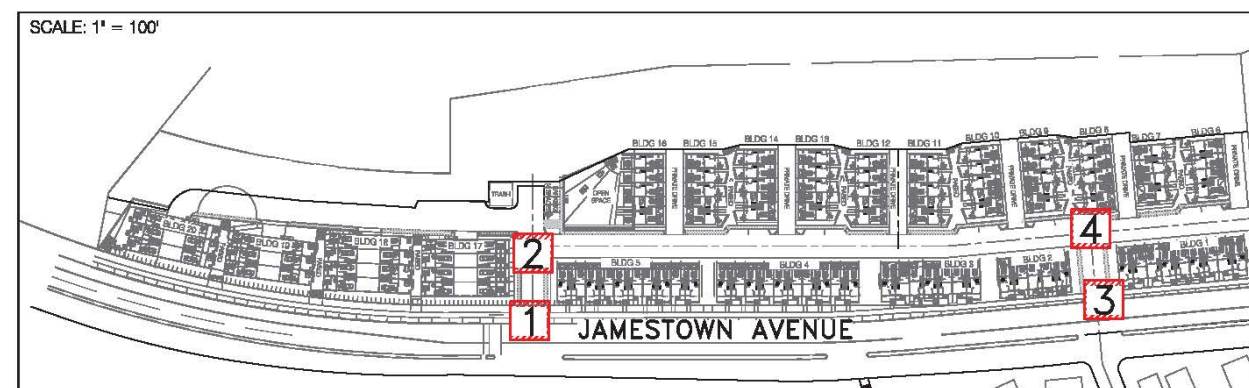
**SHEET 11 OF 14**

SCALE: 1" = 30'  
DATE: 06.05.2020  
PROJECT: 275002  
SITE PERMIT APPLICATION



#### KEY MAP

SCALE: 1" = 100'



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SFFD LADDER TRUCK ACCESS

SHEET 12 OF 14

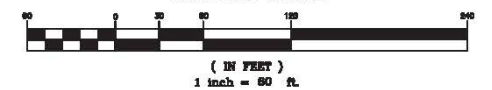
SCALE: 1" = 30'  
DATE: 06.05.2020  
PROJECT: 275002  
SITE PERMIT APPLICATION

# LEGEND

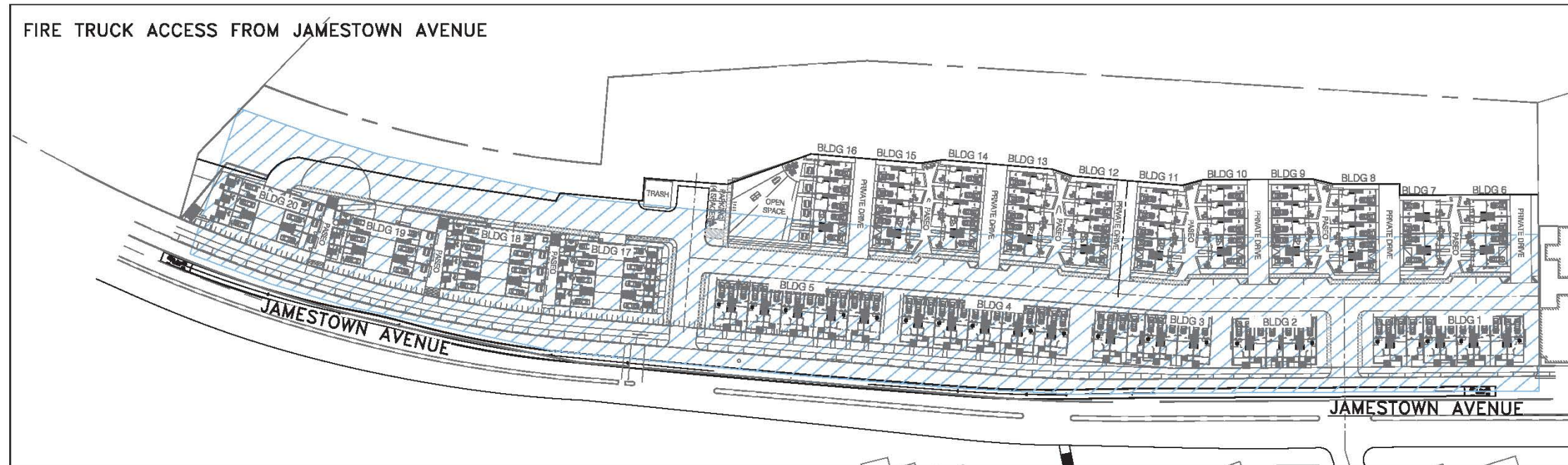
- PROPERTY LINE
- 150 FOOT RADIUS AROUND FIRE TRUCK



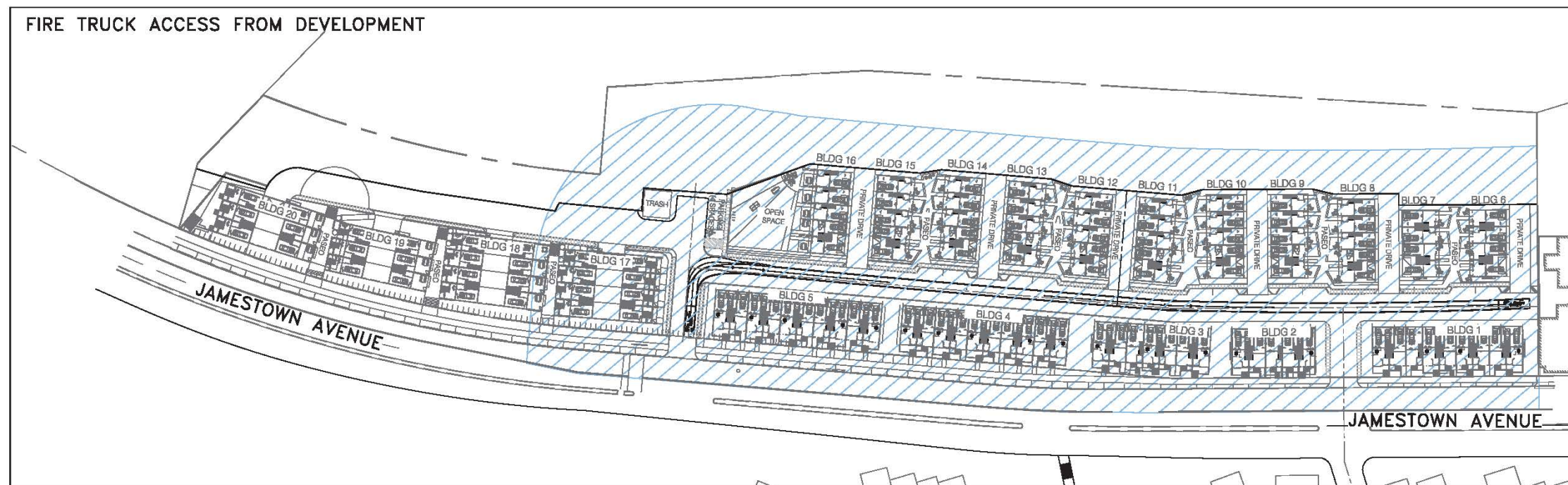
GRAPHIC SCALE



FIRE TRUCK ACCESS FROM JAMESTOWN AVENUE



FIRE TRUCK ACCESS FROM DEVELOPMENT



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SFFD FIRE TRUCK ACCESS

SHEET 13 OF 14

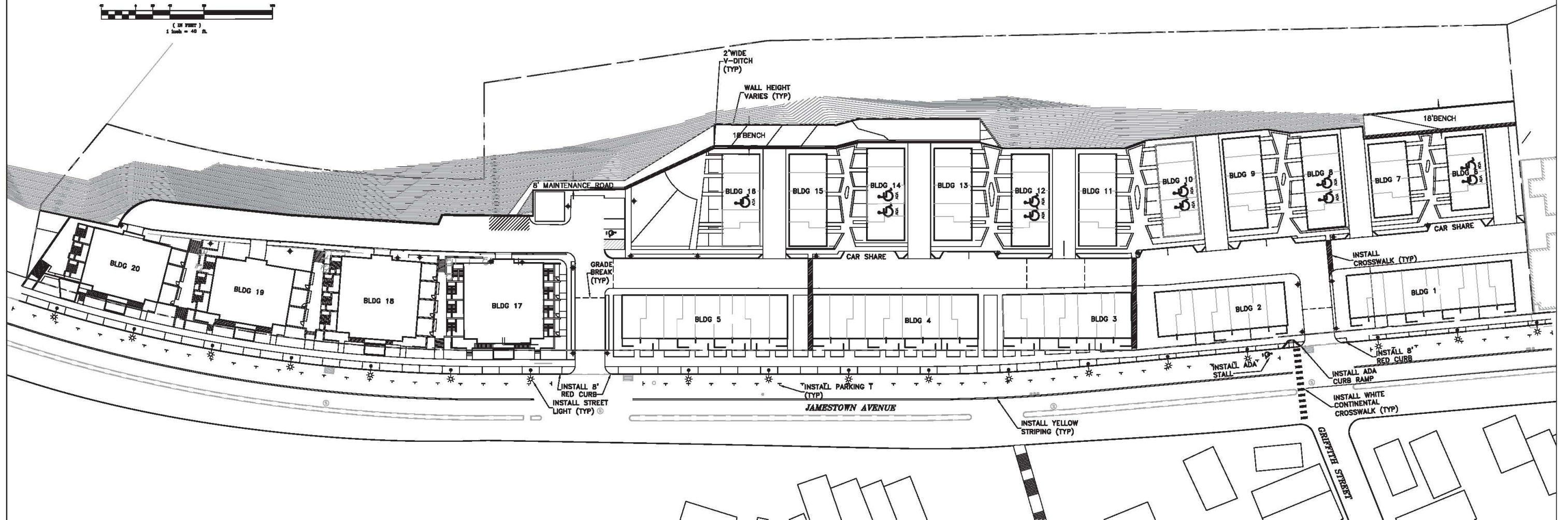
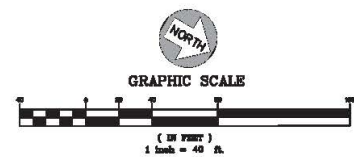
SCALE: 1" = 60'

DATE: 06.05.2020

PROJECT: 275002

SITE PERMIT APPLICATION

LEGEND	
	NEW PARKING T
	NEW YELLOW STRIPING
	NEW RED CURB
	NEW STREET LIGHT
	NEW CROSS WALK



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PARKING AND STRIPING PLAN

SHEET 14 OF 14

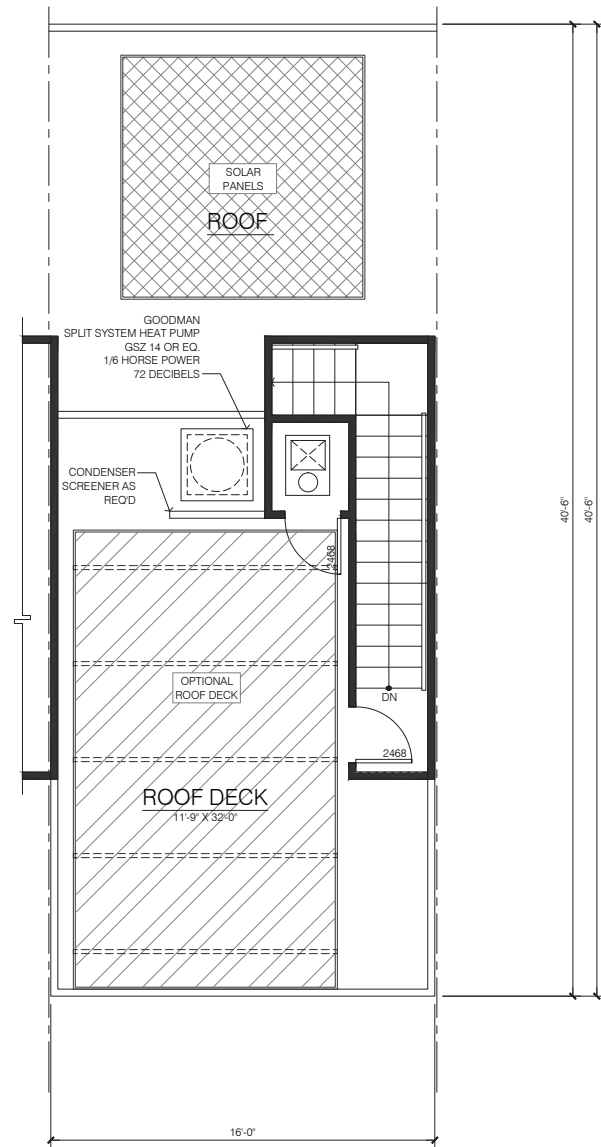
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DATE: 06.05.2020  
PROJECT: 275002  
SITE PERMIT APPLICATION



## PART VI

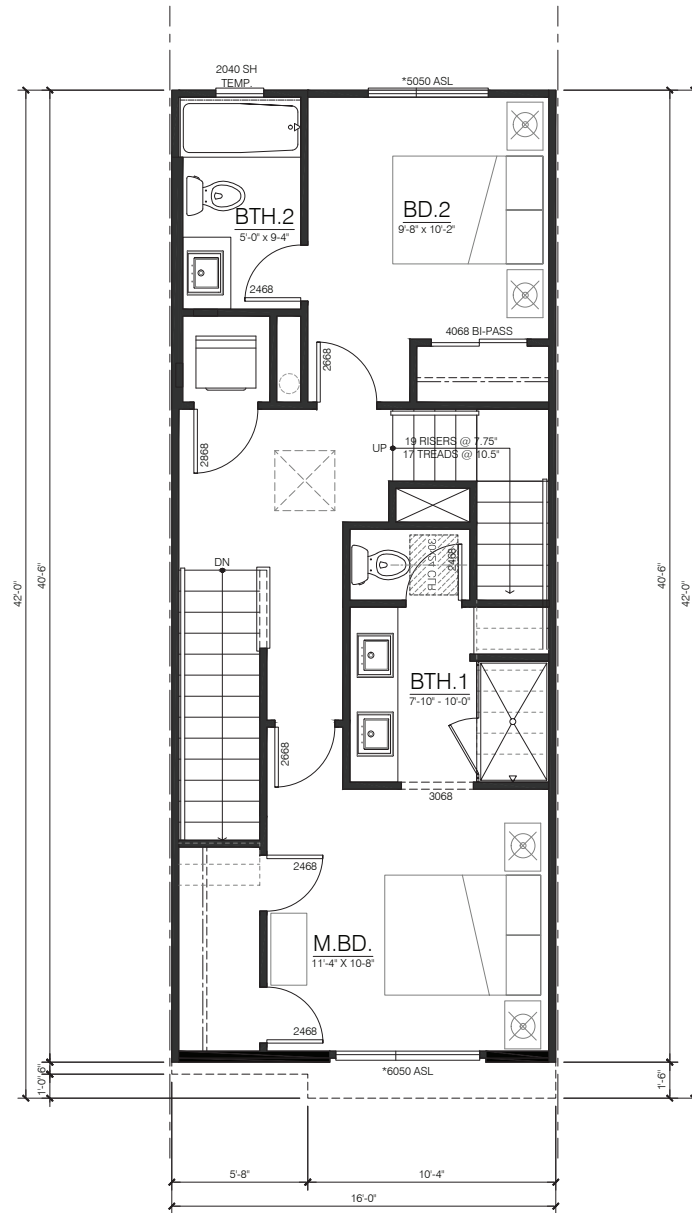
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### UNIT PLANS



ROOF DECK PLAN

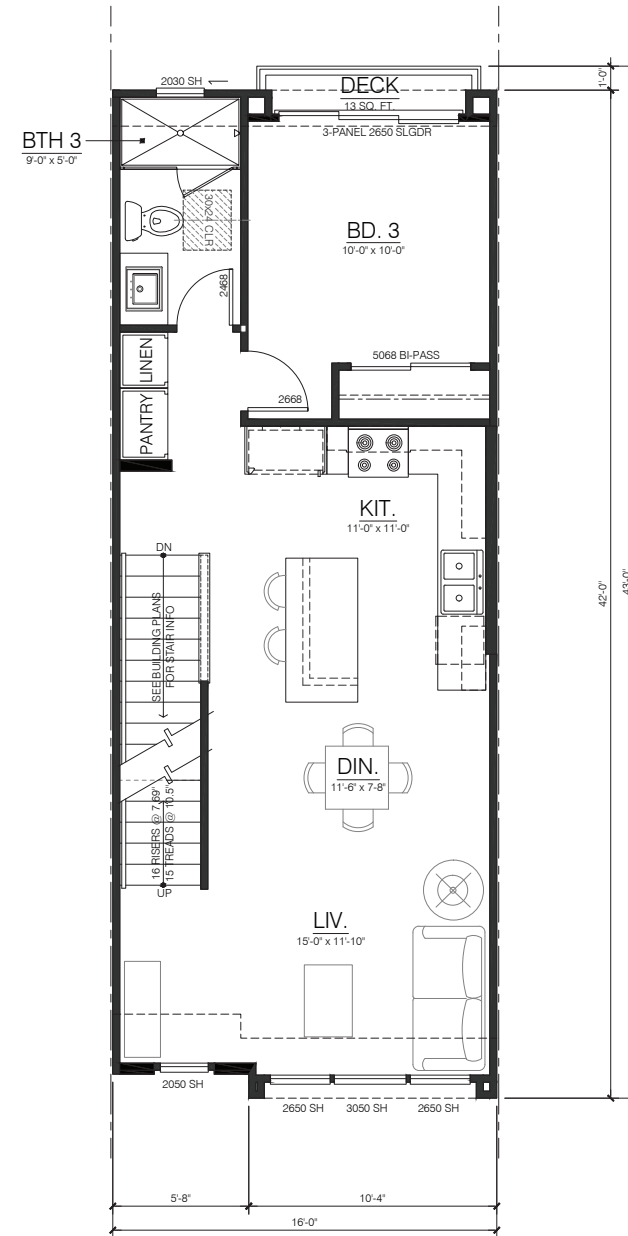
PLAN 1  
 ROOF DECK: 280 SQ. FT.  
 TOTAL ROOF AREA: 648 SQ. FT.  
 SOLAR ROOF AREA: 100 SQ. FT.



GENERAL NOTE:  
 RECESS WINDOWS FACING  
 JAMESTOWN @ STUCCO

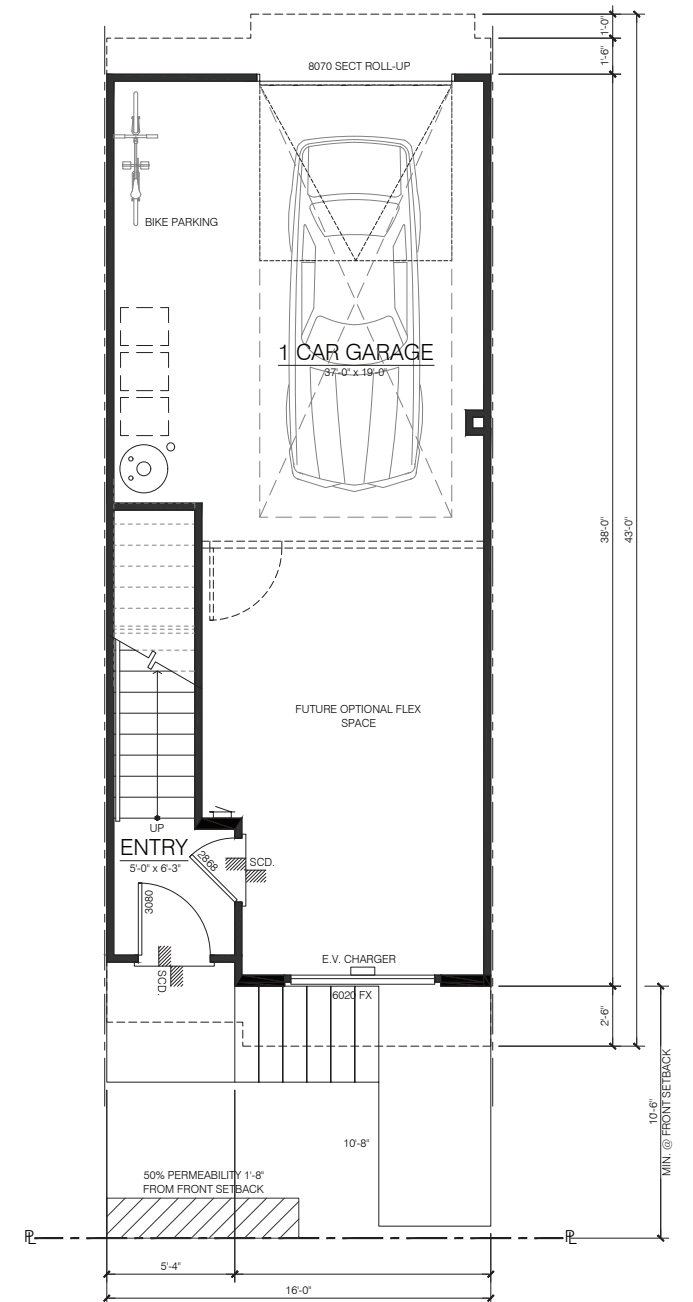
UPPER FLOOR PLAN

PLAN 1  
 UPPER LIVING: 607 SQ. FT.



MAIN FLOOR PLAN

PLAN 1  
 MAIN LIVING: 658 SQ. FT.  
 TOTAL LIVING: 1296 SQ. FT.  
 DECK: 13 SQ. FT.



GROUND FLOOR PLAN

PLAN 1  
 GROUND LIVING: 31 SQ. FT.  
 GARAGE: 571 SQ. FT.



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PLAN 1 W/ ROOF DECK

A6.0

SCALE: 1/4"=1'-0"

DATE: 06.25.2020

PROJECT: 348001

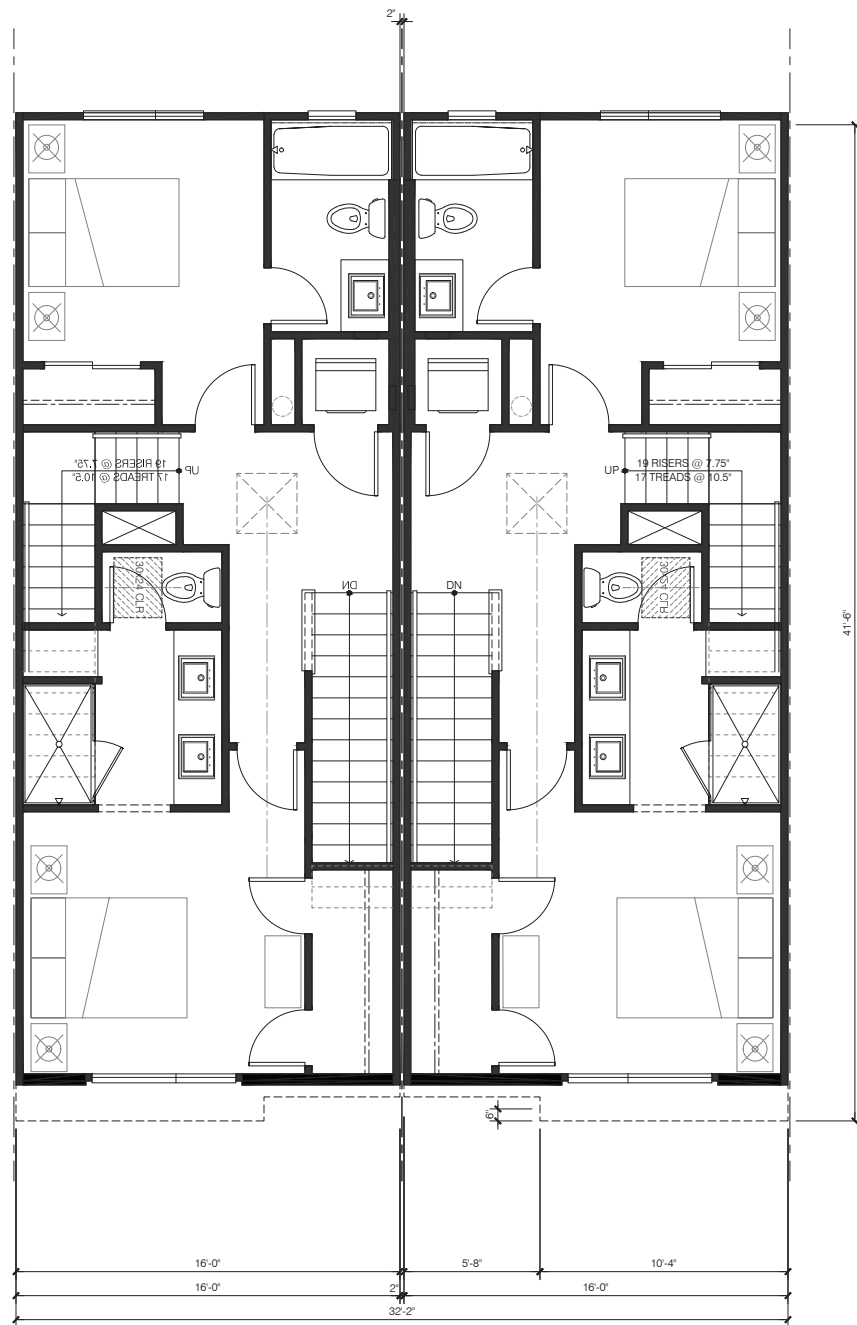
PRELIMINARY PROJECT ASSESSMENT APPLICATION

ORIGINAL SUBMITTAL DATE: MARCH 05, 2019

RESUBMITTAL DATE: MARCH 09, 2020

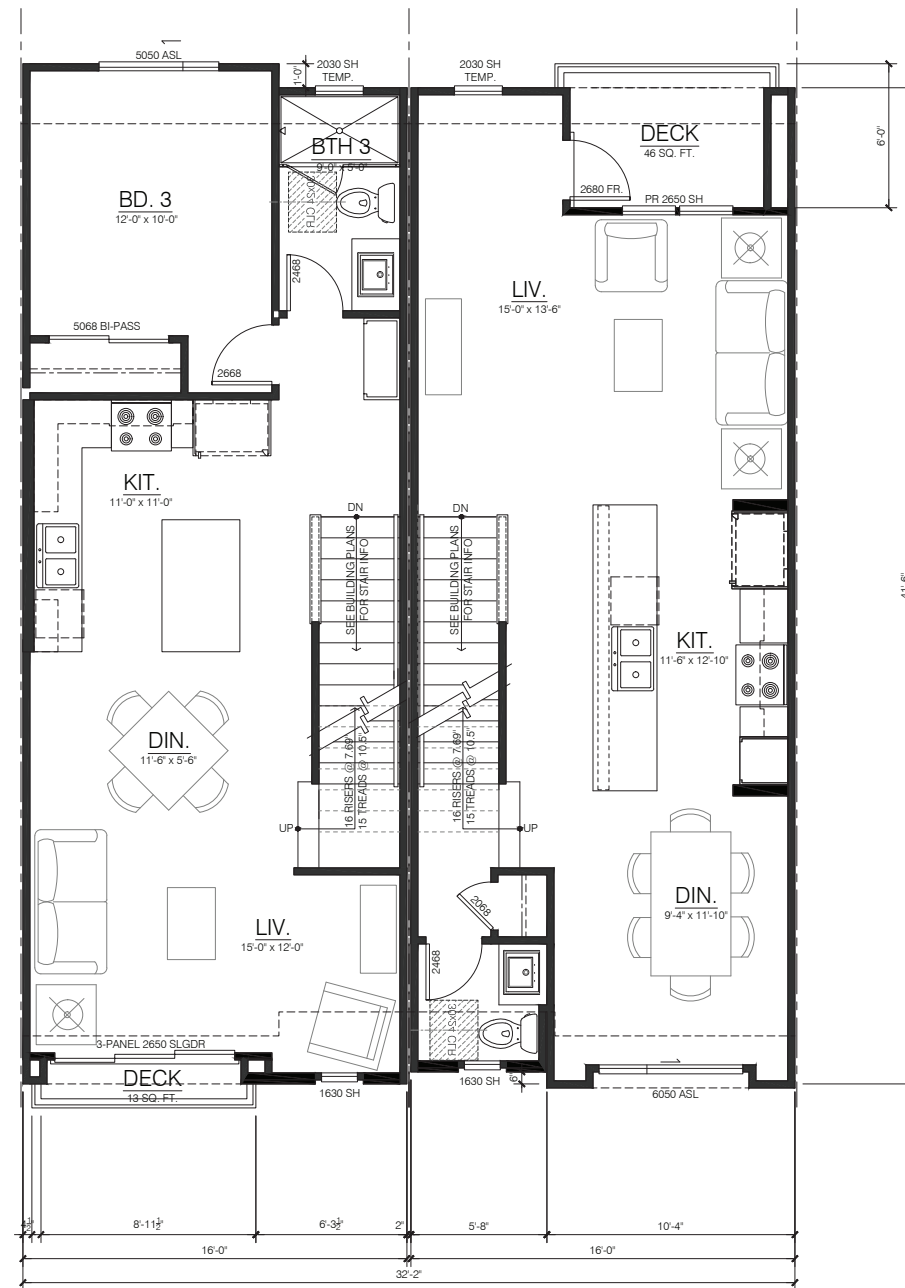
RESUBMITTAL DATE: JUNE 05, 2020

RESUBMITTAL DATE: JUNE 25, 2020



## UPPER FLOOR PLAN

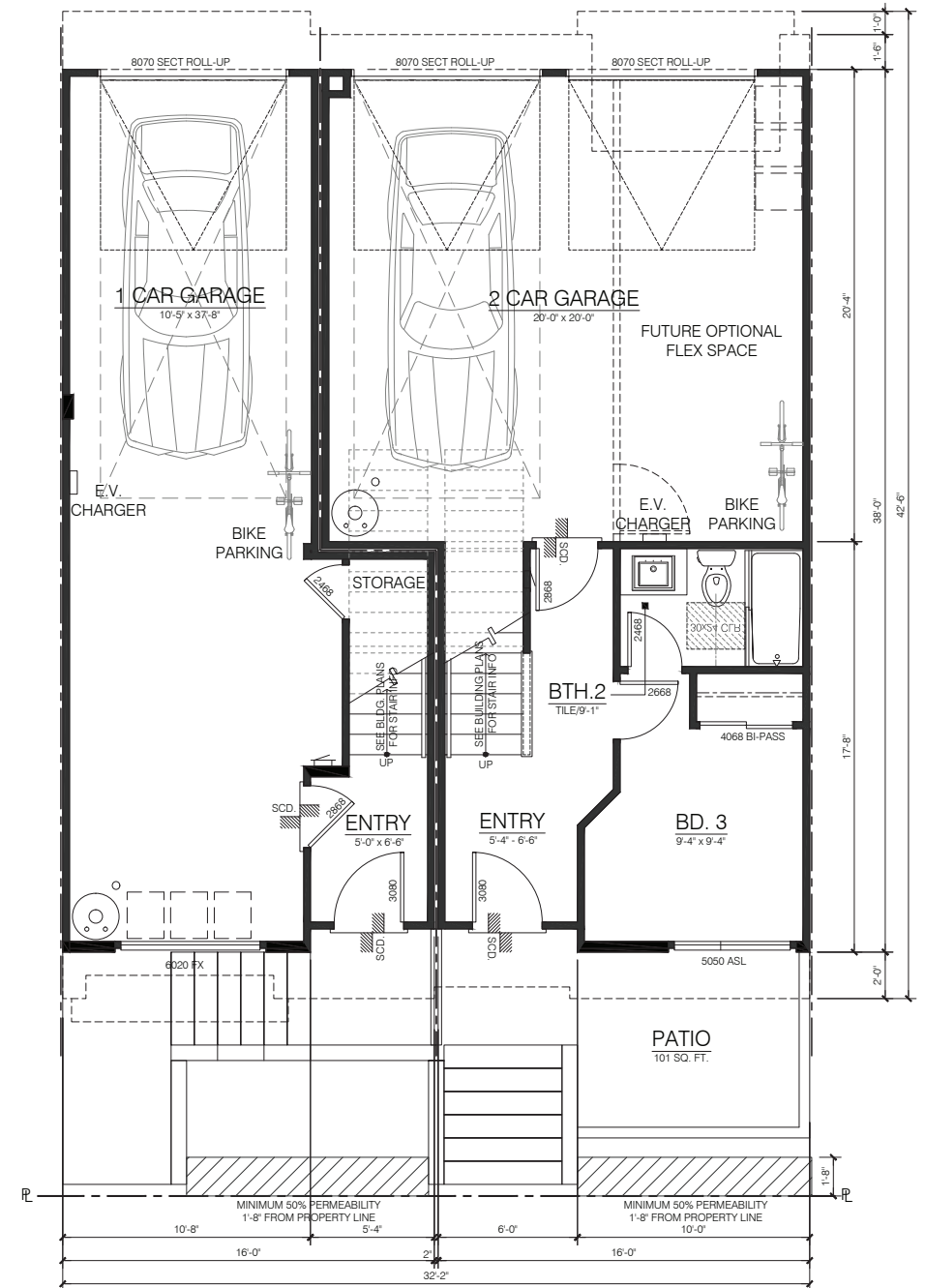
PLAN 2 - 3 INT  
 PLAN 2 - UPPER LIVING: 619 SQ. FT.    PLAN 3 - UPPER LIVING: 631 SQ. FT.



GENERAL NOTE:  
 RECESS WINDOWS FACING  
 JAMESTOWN @ STUCCO

## MAIN FLOOR PLAN

PLAN 2 - 3 INT  
 PLAN 2 - MAIN LIVING: 667 SQ. FT.    PLAN 3 - MAIN LIVING: 620 SQ. FT.  
 TOTAL LIVING: 1324 SQ. FT.    TOTAL LIVING: 1527 SQ. FT.  
 DECK: 13 SQ. FT.    DECK: 46 SQ. FT.



## GROUND FLOOR PLAN

PLAN 2 - 3 - INT  
 PLAN 2 - GROUND LIVING: 38 SQ. FT.    PLAN 3 - OPT. A - GROUND LIVING: 277 SQ. FT.  
 GARAGE: 460 SQ. FT.    GARAGE: 428 SQ. FT.  
 PATIO: 101 SQ. FT.



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PLAN 2&3 W/ ROOF DECK

A6.1

SCALE: 1/4"=1'-0"

DATE: 06.25.2020

PROJECT: 348001

PRELIMINARY PROJECT ASSESSMENT APPLICATION  
 ORIGINAL SUBMITTAL DATE: MARCH 05, 2019  
 RESUBMITTAL DATE: MARCH 09, 2020  
 RESUBMITTAL DATE: JUNE 05, 2020  
 RESUBMITTAL DATE: JUNE 25, 2020

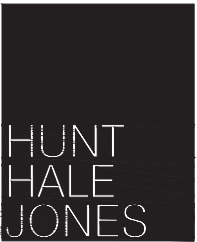


ROOF DECK PLAN

PLAN 2 - 3 - END			
PLAN 2 - ROOF DECK:	306 SQ. FT.	PLAN 3 - ROOF DECK:	348 SQ. FT.
TOTAL ROOF:	677 SQ. FT.	TOTAL ROOF:	753 SQ. FT.
SOLAR:	100 SQ.FT.	SOLAR:	100 SQ.FT.



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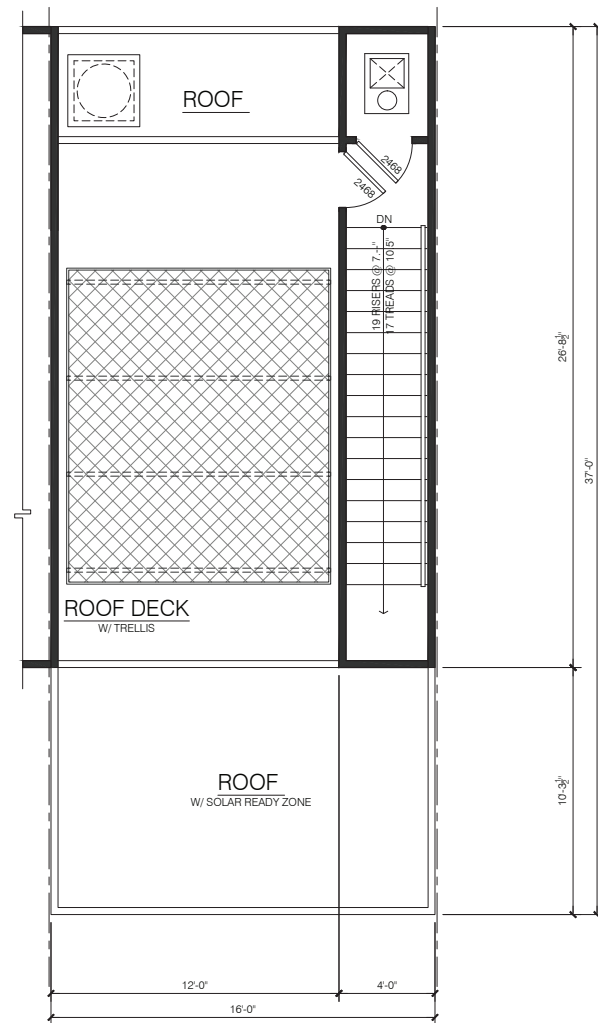
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PRELIMINARY PROJECT ASSESSMENT APPLICATION  
ORIGINAL SUBMITTAL DATE: MARCH 05, 2019  
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RESUBMITTAL DATE: JUNE 25, 2020

PLAN 2&3 W/ ROOF DECK

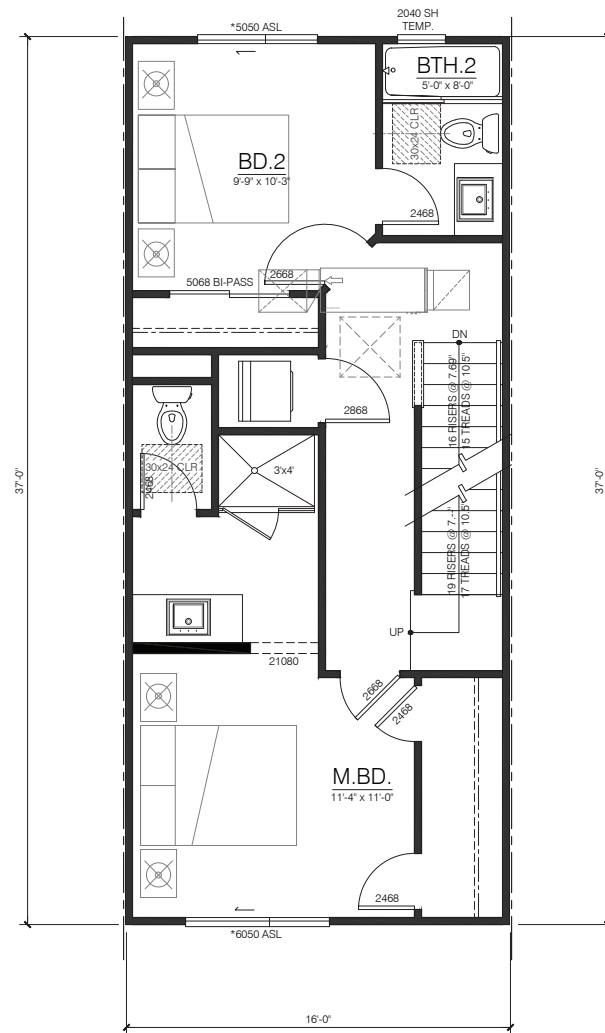
A6.2

SCALE: 1/4"=1'-0"  
DATE: 06.25.2020  
PROJECT: 348001



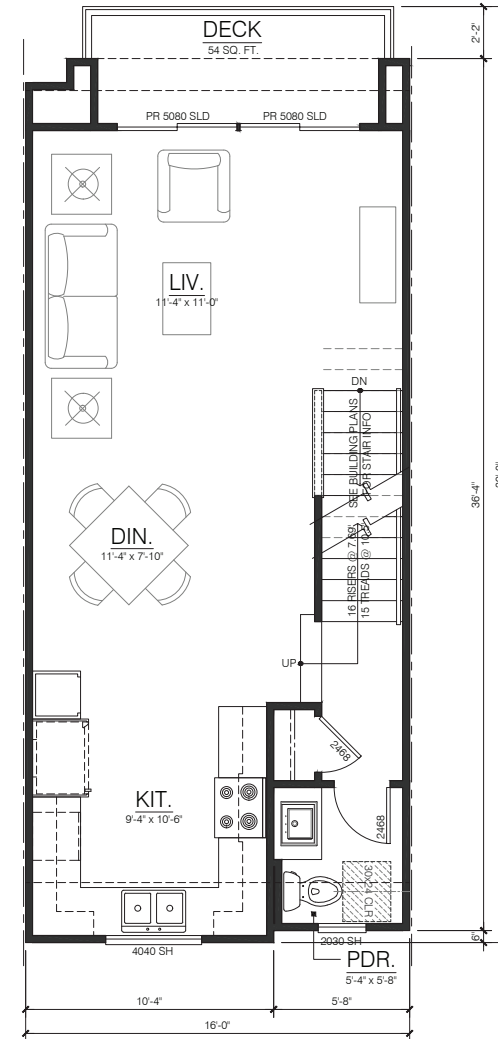
ROOF DECK PLAN

PLAN 4  
 ROOF DECK: 250 SQ. FT.  
 TOTAL ROOF: 592 SQ. FT.  
 SOLAR: 100 SQ. FT.



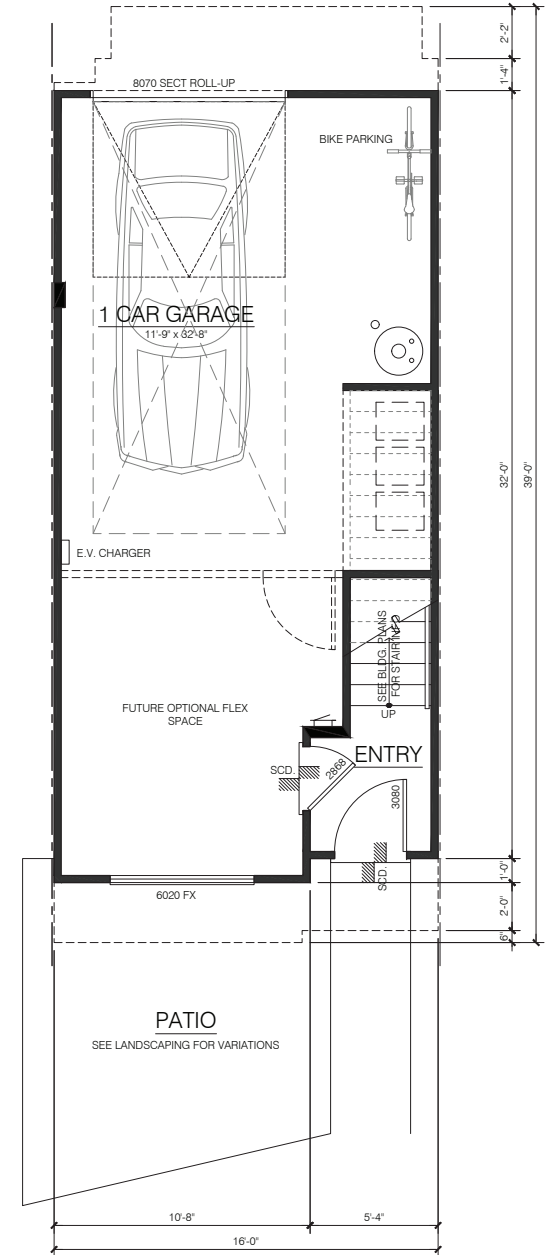
UPPER FLOOR PLAN

PLAN 4  
 UPPER LIVING: 537 SQ. FT.



MAIN FLOOR PLAN

PLAN 4  
 MAIN LIVING: 539 SQ. FT.  
 TOTAL LIVING: 1279 SQ. FT.  
 DECK: 54 SQ. FT.



GROUND FLOOR PLAN

PLAN 4  
 GROUND LIVING: 203 SQ. FT.  
 GARAGE: 320 SQ. FT.  
 PATIO: 125 SQ. FT.



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PLAN 4 W/ ROOF DECK

A6.3

SCALE: 1/4"=1'-0"

DATE: 06.25.2020

PROJECT: 348001

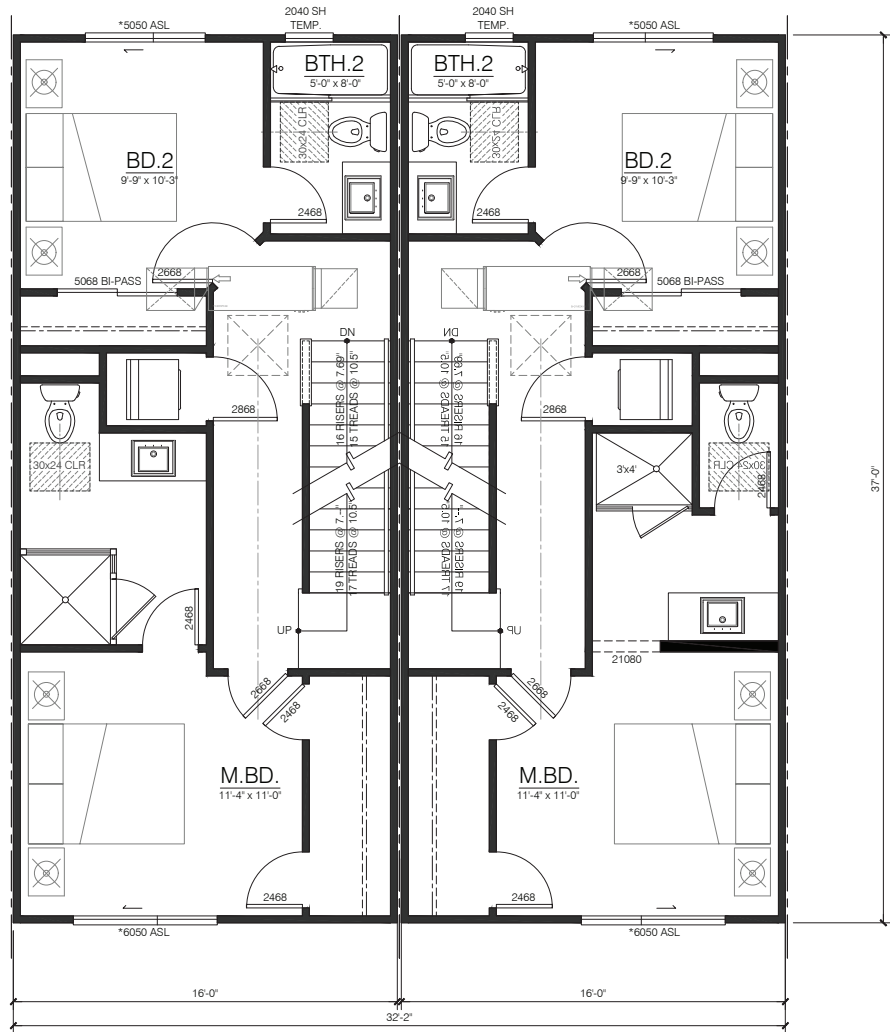
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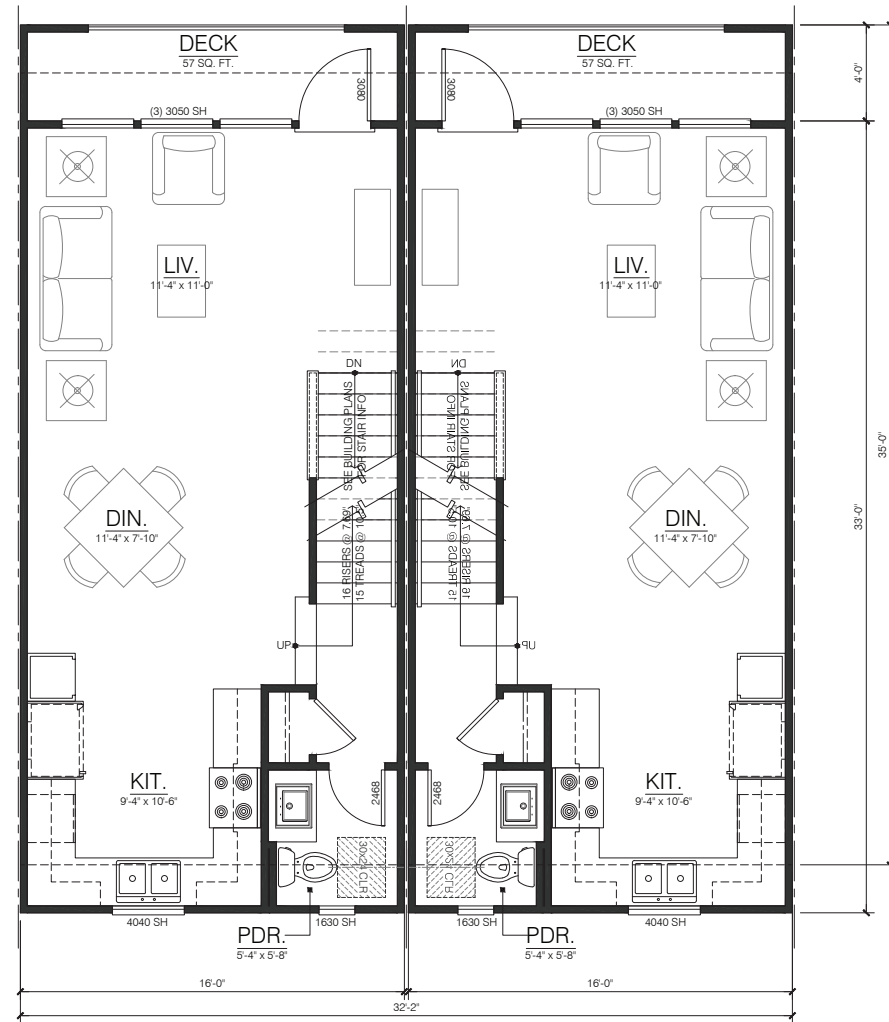
RESUBMITTAL DATE: JUNE 05, 2020

RESUBMITTAL DATE: JUNE 25, 2020



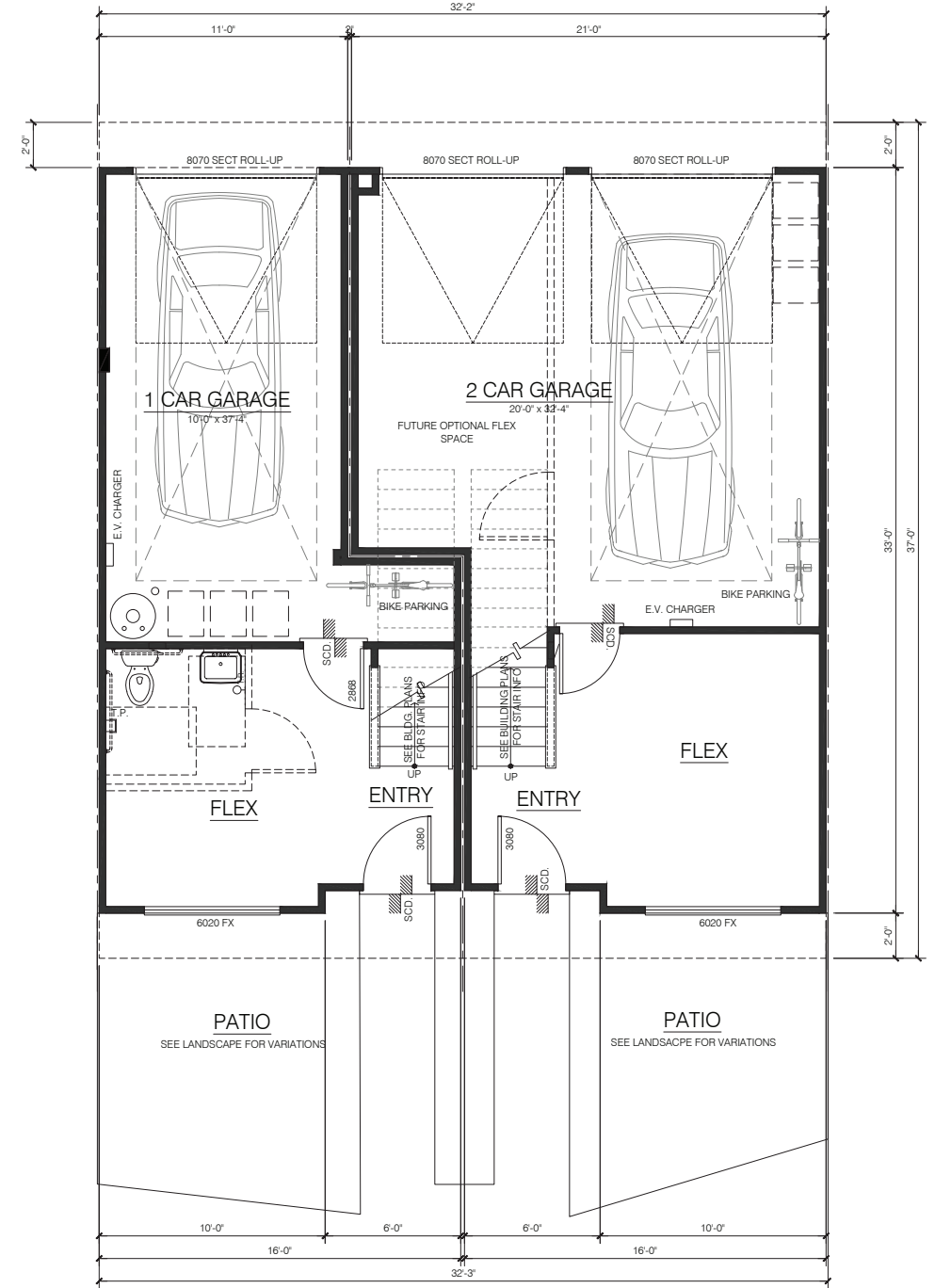
## UPPER FLOOR PLAN

PLAN 5-6 - INT  
 PLAN 5 - UPPER LIVING: 565 SQ. FT.      PLAN 6 - UPPER LIVING: 565 SQ. FT.



## MAIN FLOOR PLAN

PLAN 5-6 - INT  
 PLAN 5 - MAIN LIVING: 528 SQ. FT.      PLAN 6 - MAIN LIVING: 528 SQ. FT.  
 TOTAL LIVING: 1279 SQ. FT.      TOTAL LIVING: 1289 SQ. FT.  
 DECK: 57 SQ. FT.      DECK: 57 SQ. FT.



## GROUND FLOOR PLAN

PLAN 5-6 - INT  
 PLAN 5 - GROUND LIVING: 187 SQ. FT.      PLAN 6 - GROUND LIVING: 197 SQ. FT.  
 GARAGE: 250 SQ. FT.      GARAGE: 411 SQ. FT.  
 PATIO: 125 SQ. FT. MIN.      PATIO: 125 SQ. FT. MIN.



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PLAN 5&6 W/ ROOF DECK

A6.4

SCALE: 1/4"=1'-0"

DATE: 06.25.2020

PROJECT: 348001

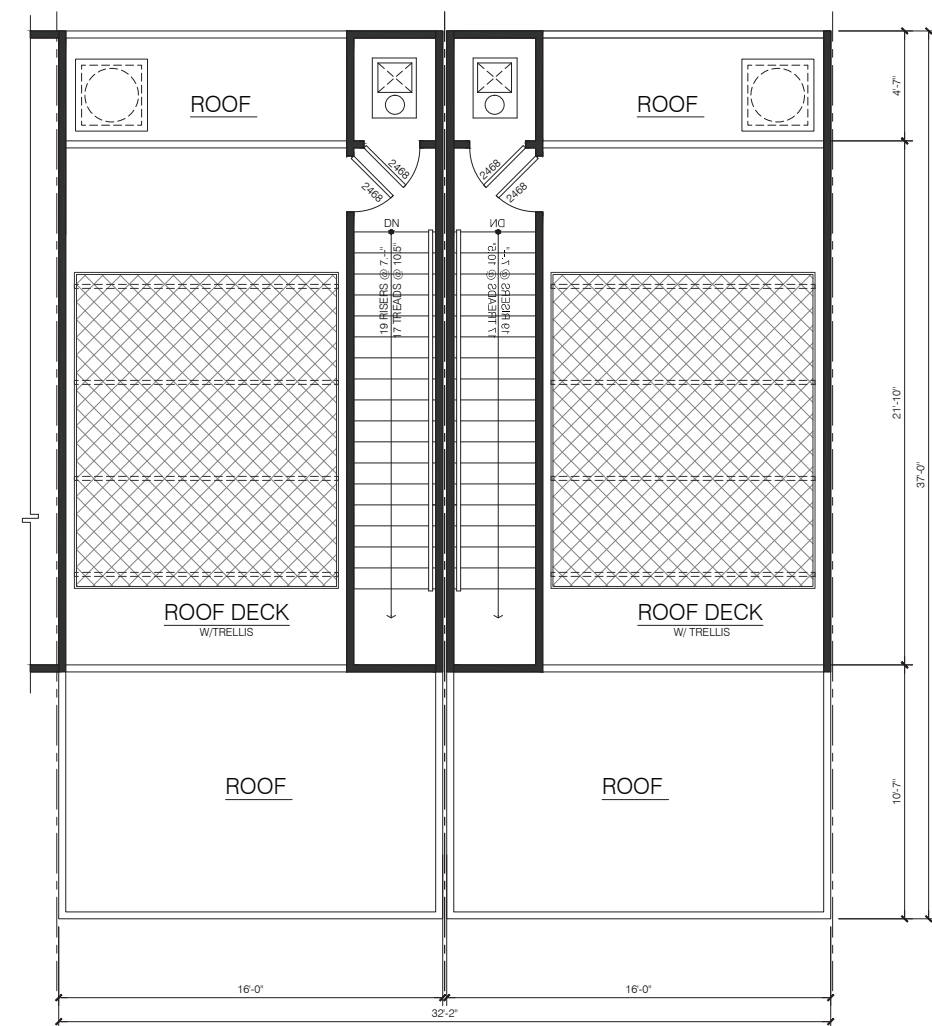
PRELIMINARY PROJECT ASSESSMENT APPLICATION

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RESUBMITTAL DATE: JUNE 05, 2020

RESUBMITTAL DATE: JUNE 25, 2020



## ROOF DECK PLAN

PLAN 5-6 - INT			
PLAN 5 - ROOF DECK:	252 SQ. FT.	PLAN 6 - ROOF DECK:	252 SQ. FT.
TOTAL ROOF:	592 SQ. FT.	TOTAL ROOF:	592 SQ. FT.
SOLAR:	100 SQ.FT.	SOLAR:	100 SQ.FT.



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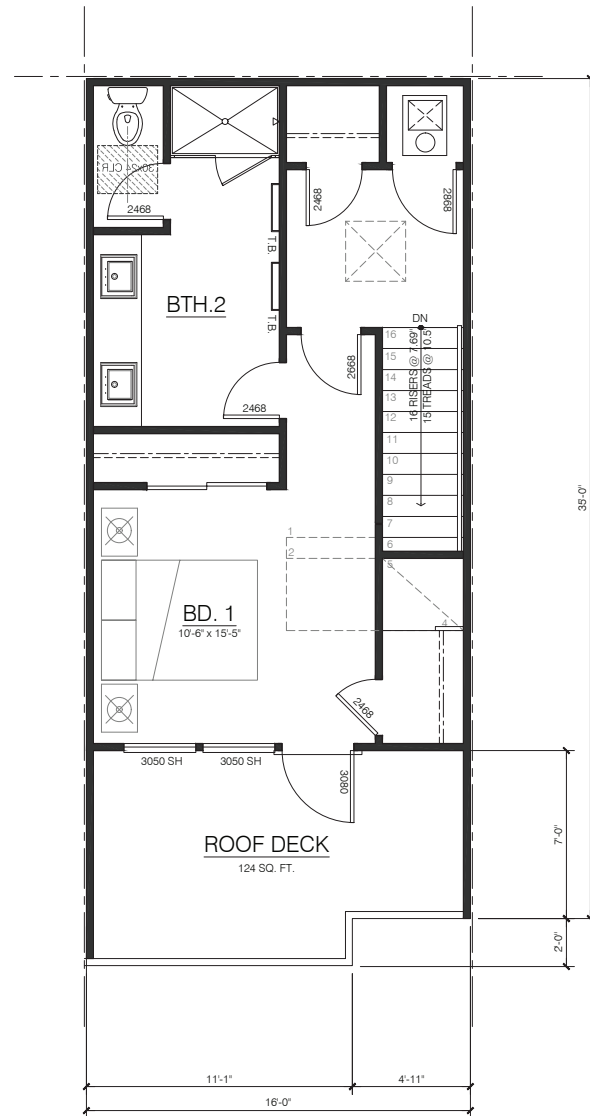
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PLAN 5&6 W/ ROOF DECK

A6.5

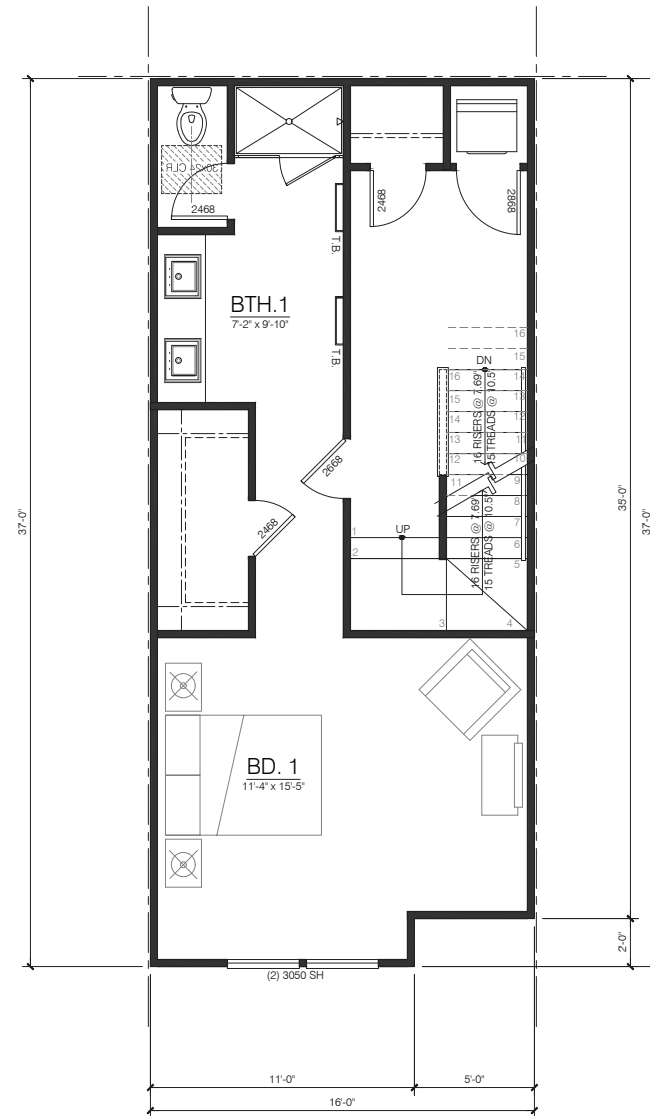
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DATE: 06.25.2020  
PROJECT: 348001

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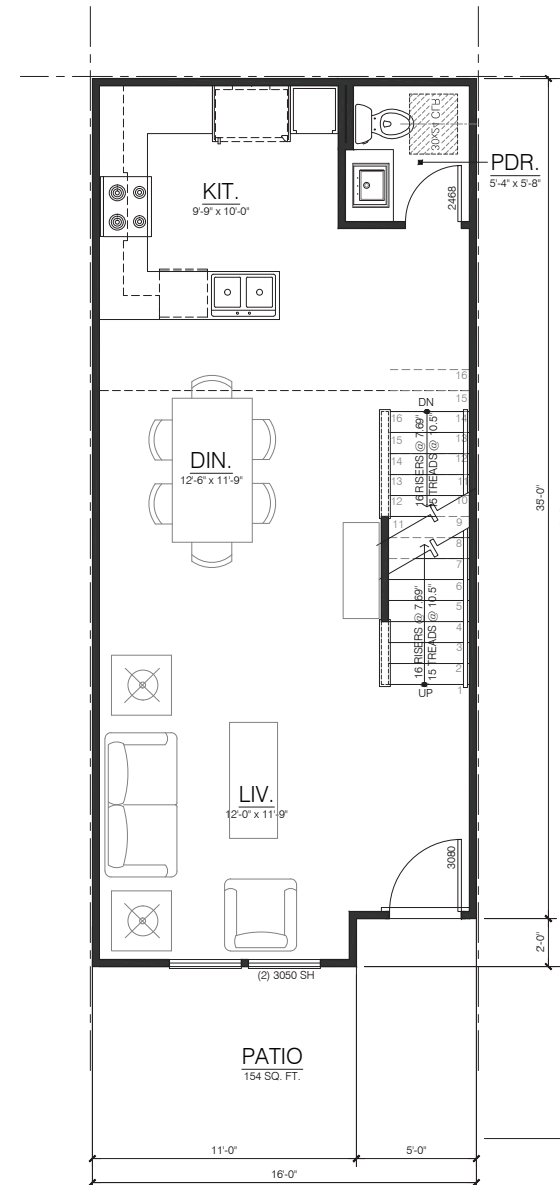
TOP FLOOR PLAN

PLAN 7  
TOP FLOOR: 414 SQ. FT.  
ROOF DECK: 124 SQ. FT.



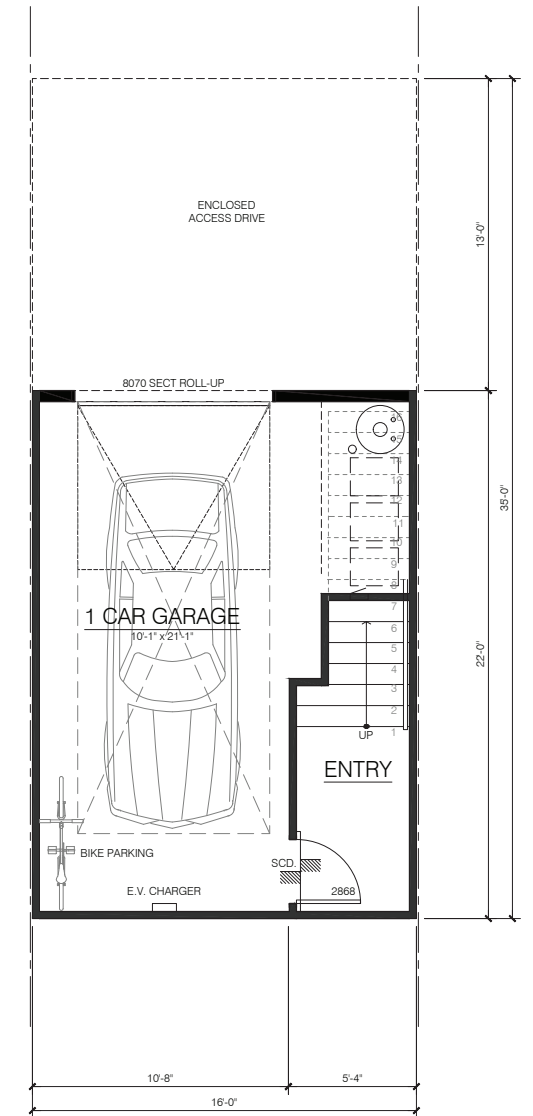
UPPER FLOOR PLAN

PLAN 7  
UPPER LIVING: 542 SQ. FT.



MAIN FLOOR PLAN

PLAN 7  
MAIN LIVING: 582 SQ. FT.  
TOTAL LIVING: 1605 SQ. FT.  
PATIO: 156 SQ. FT.



GROUND FLOOR PLAN

PLAN 7  
GROUND LIVING: 67 SQ. FT.  
GARAGE: 285 SQ. FT.



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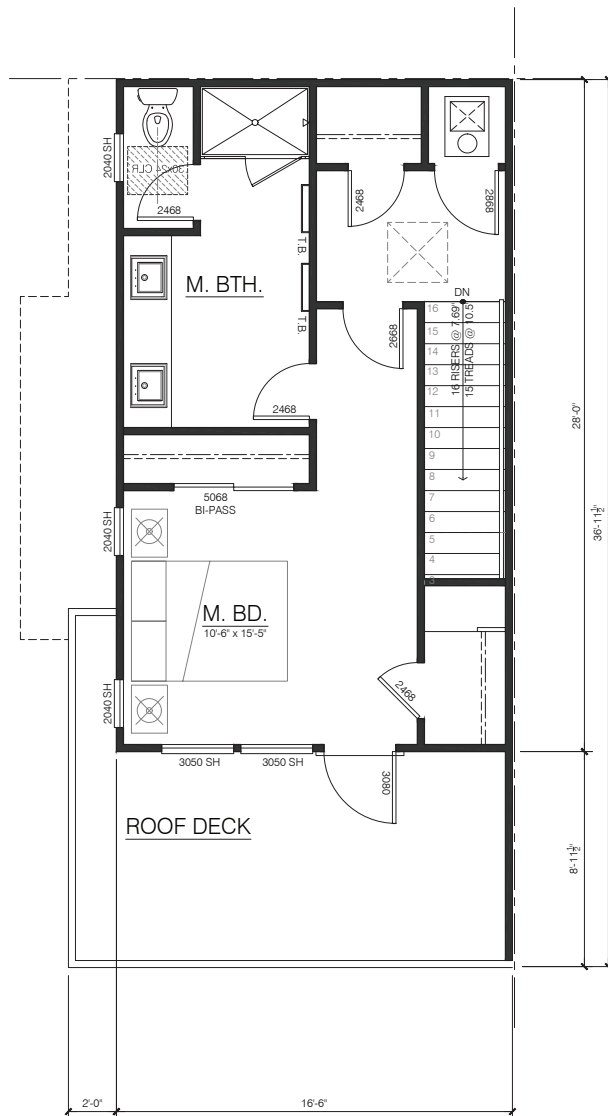
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PLAN 7  
A6.6

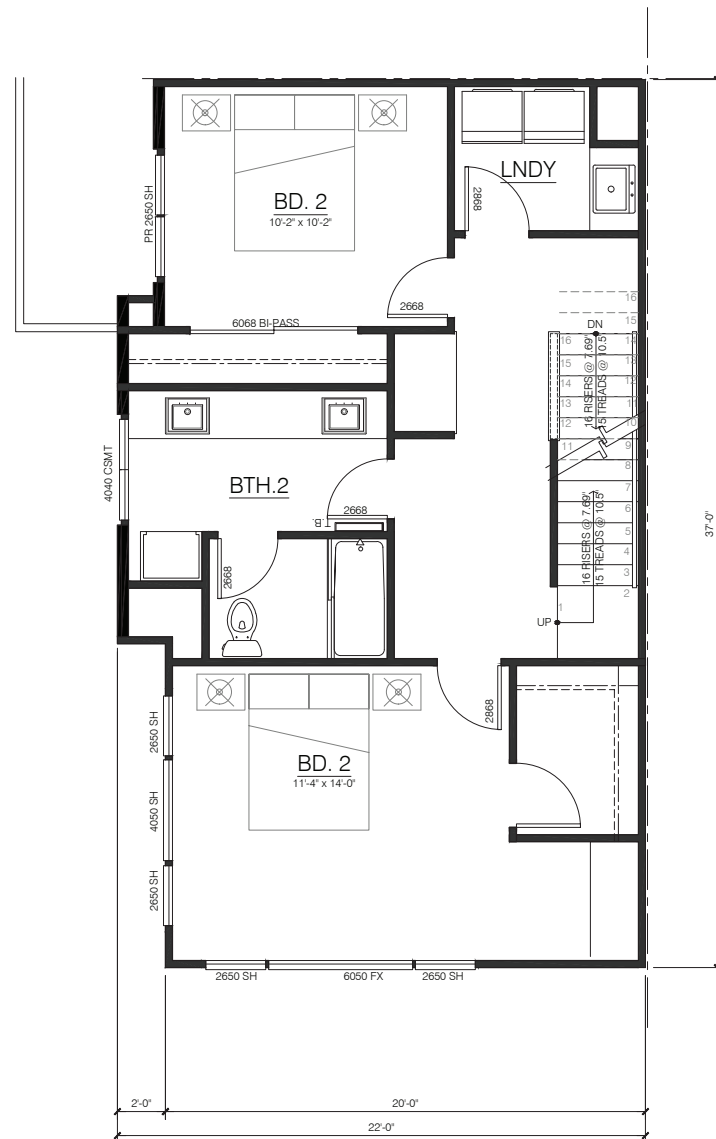
SCALE: 1/4"=1'-0"  
DATE: 06.25.2020  
PROJECT: 348001



GENERAL NOTE:  
RECESS WINDOWS FACING  
JAMESTOWN @ STUCCO

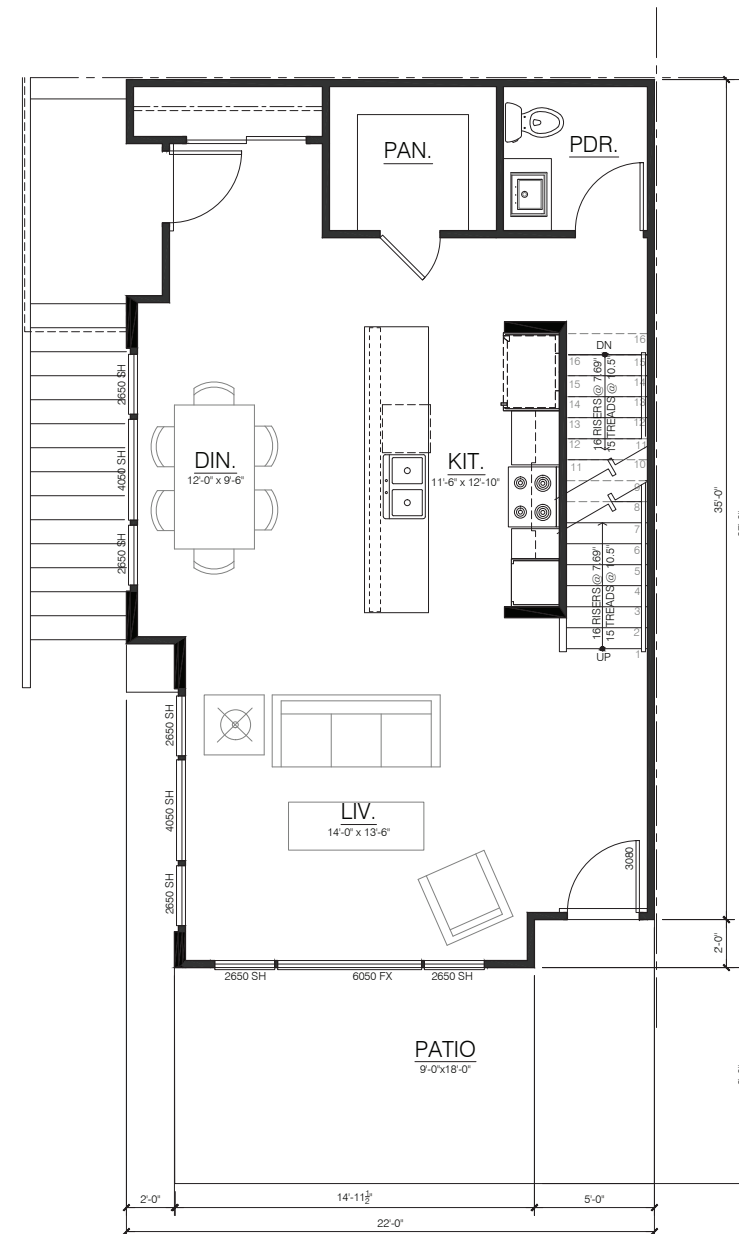
## TOP FLOOR PLAN

PLAN 7 - EXT                  TOP FLOOR:                  415 SQ. FT.  
ROOF DECK:                  165 SQ. FT.



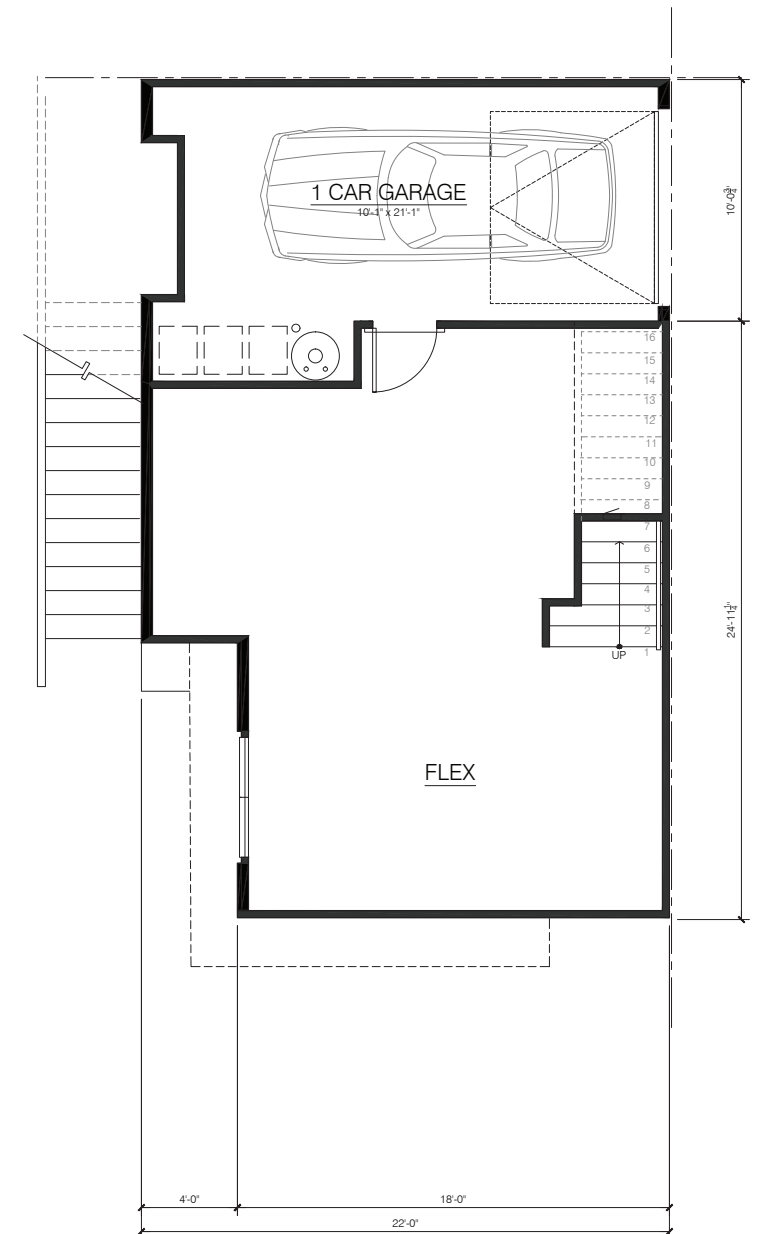
## UPPER FLOOR PLAN

PLAN 7 - EXT                      UPPER LIVING:      774 SQ. FT.



## MAIN FLOOR PLAN

PLAN 7 - EXT	MAIN LIVING:	768 SQ. FT.
	TOTAL LIVING:	2428 SQ.FT.
	PATIO:	190 SQ. FT.



## GROUND FLOOR PLAN

PLAN 7A                      GROUND LIVING: 472 SQ. FT.  
GARAGE: 241 SQ. FT.



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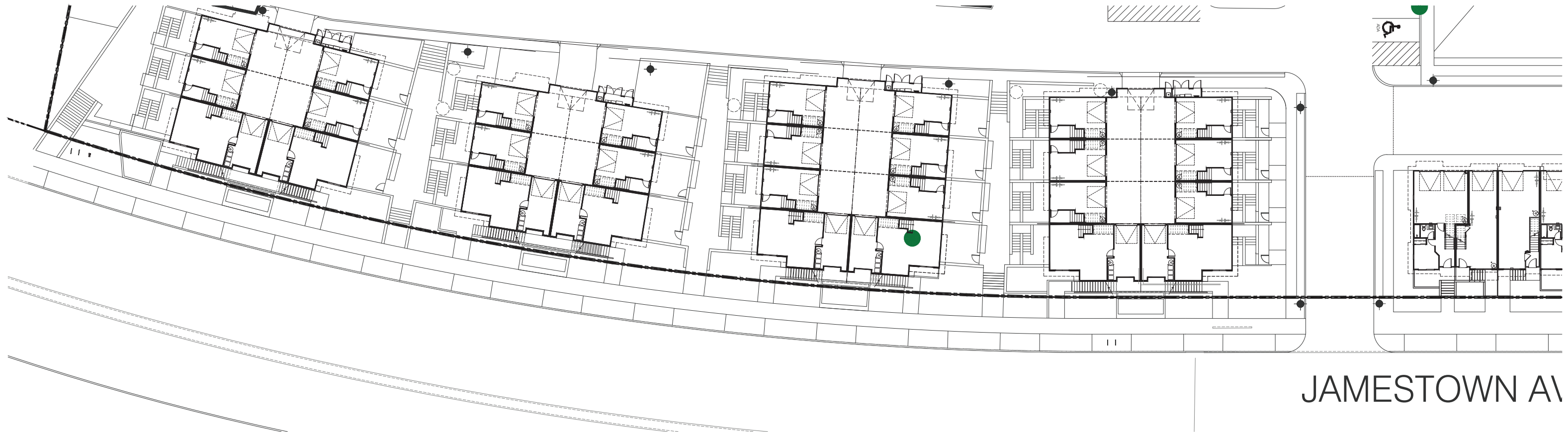
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PLAN 7 EXT

A6.7

SCALE: 1/4"=1'-0"  
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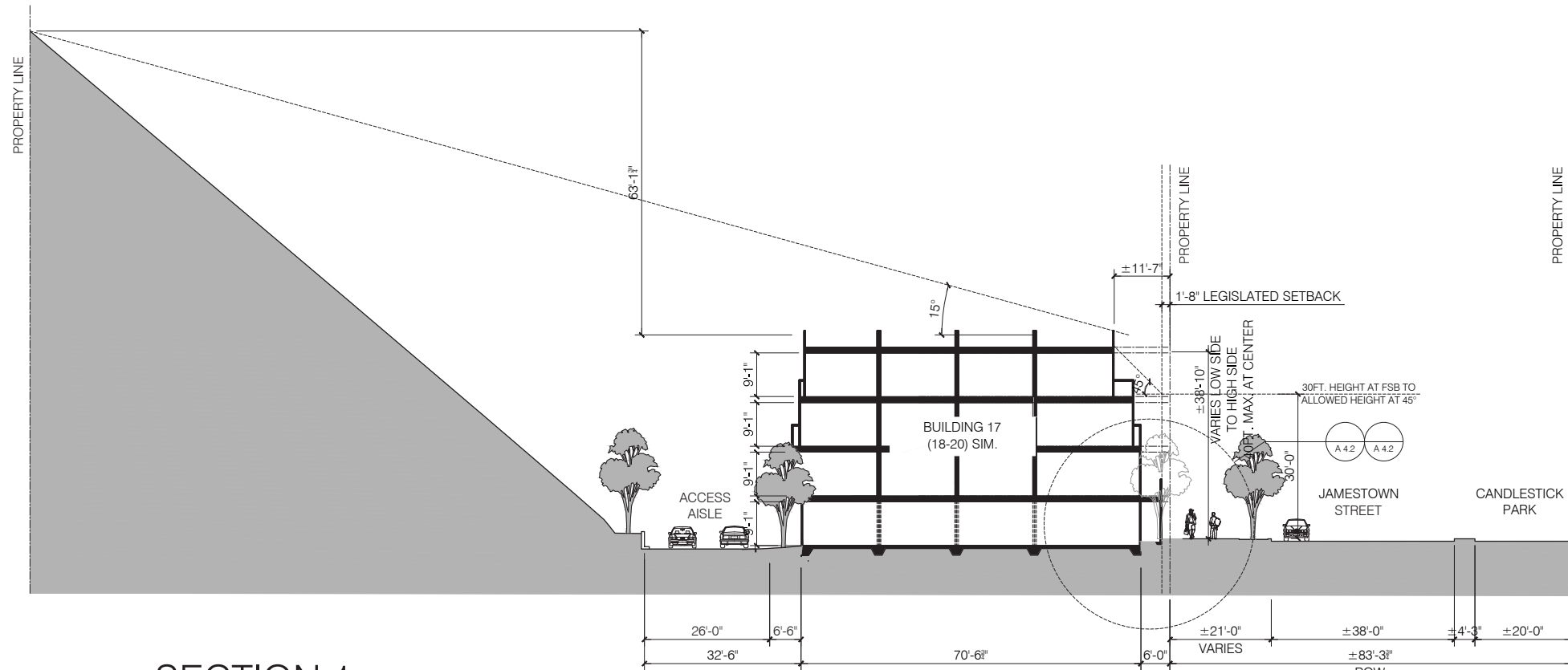
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JAMESTOWN AVE. STREETSCAPE

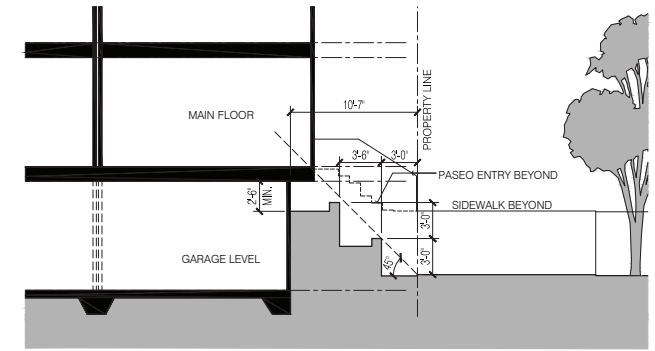
A7.0

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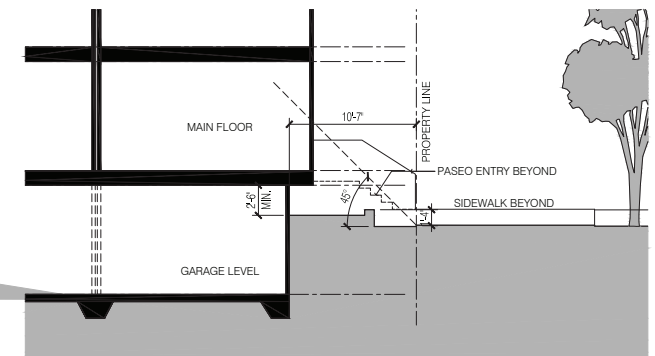
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DATE: 06.25.2020  
PROJECT: 348001



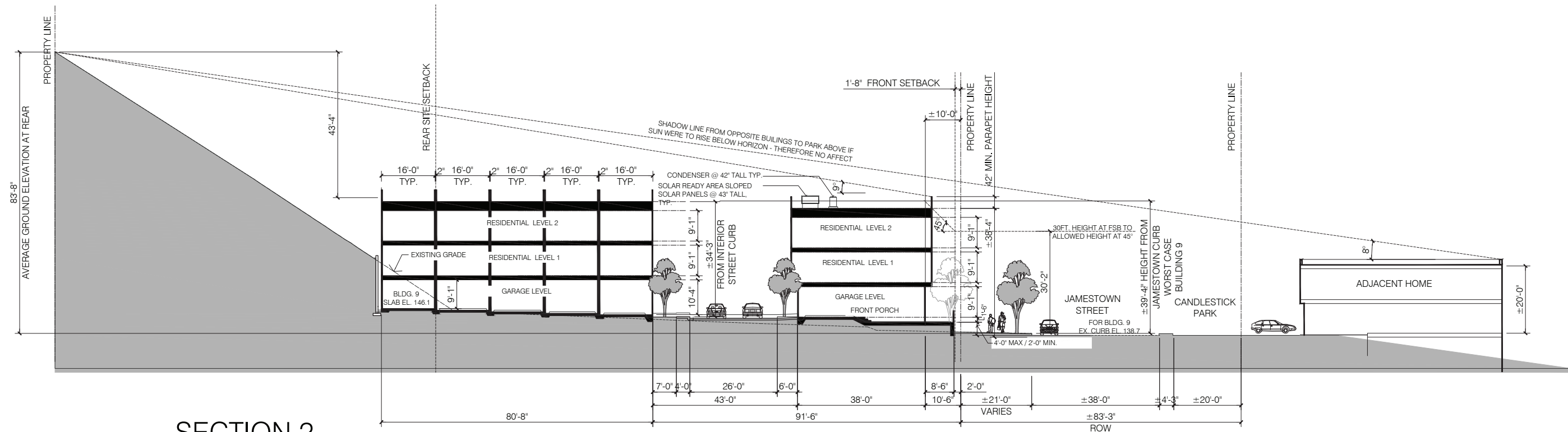
SECTION 1



SECTION 1.2 AT SOUTH DOWNSLOPE



SECTION 1.1 AT NORTH UPSLOPE



SECTION 2



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SITE CROSS SECTIONS

A7.1

SCALE: 1/16" = 1'-0"

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PROJECT: 348001

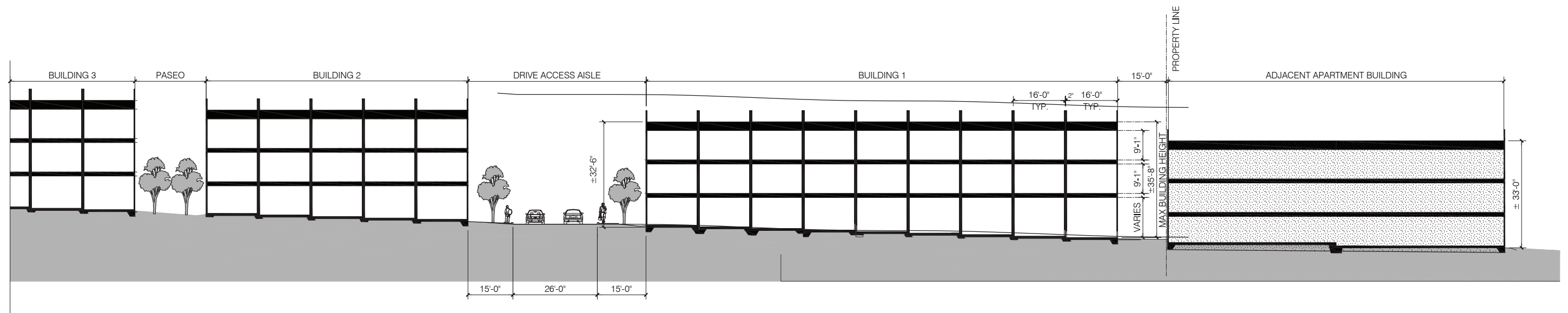
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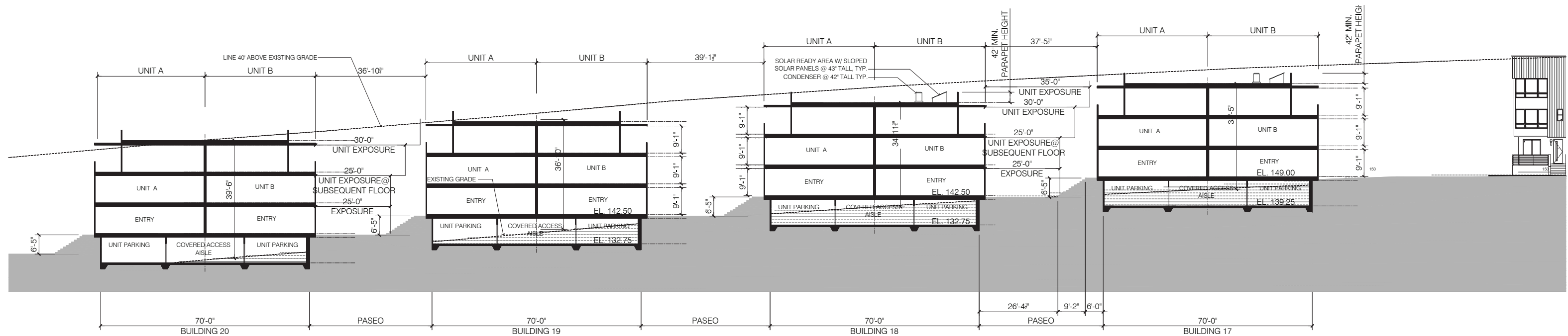
RESUBMITTAL DATE: MARCH 09, 2020

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SECTION 3 - ADJACENT SITE AND BUILDINGS 1-2



SECTION 4 - BUILDINGS 17-20



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SITE LONGITUDINAL SECTIONS

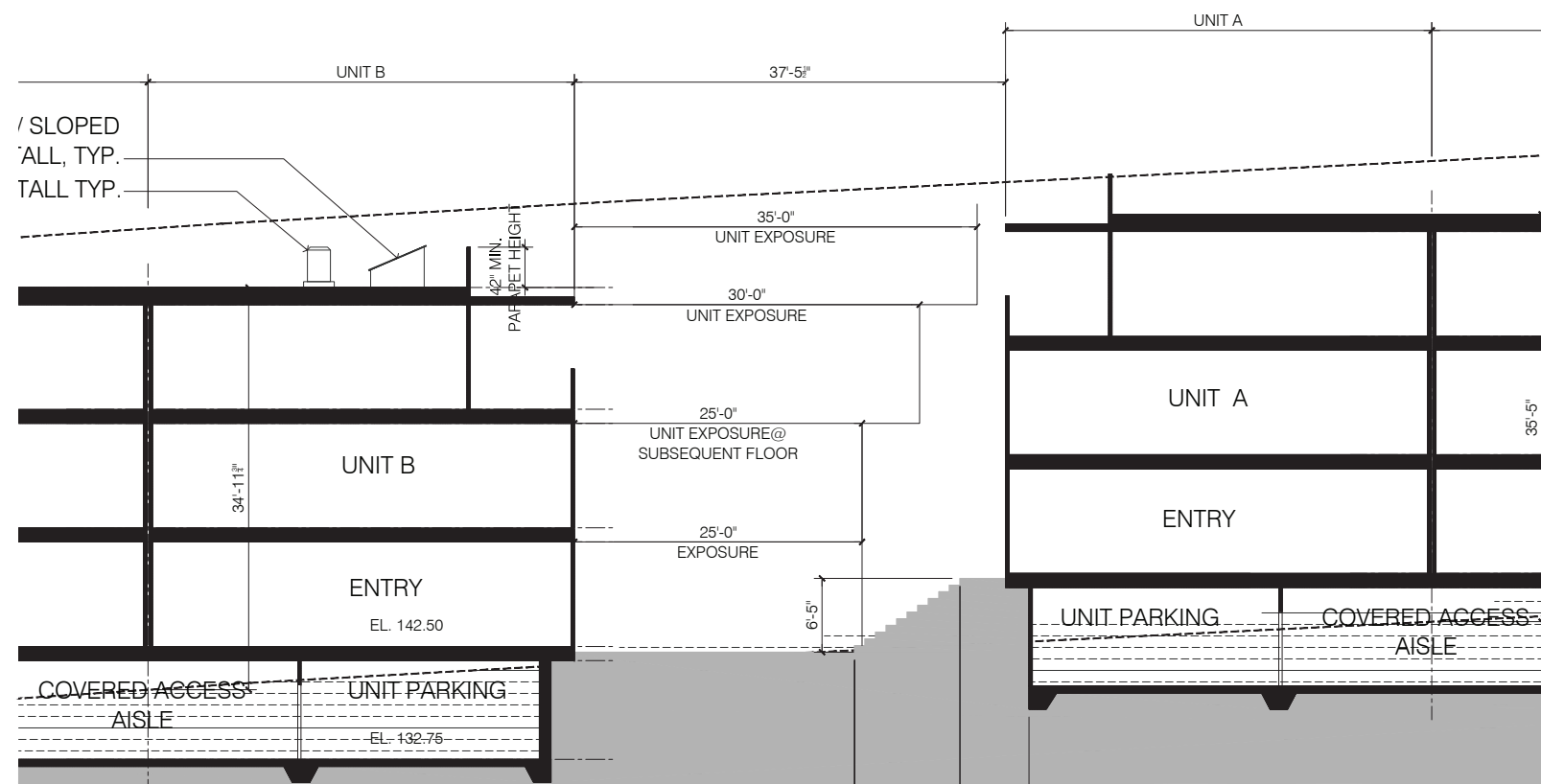
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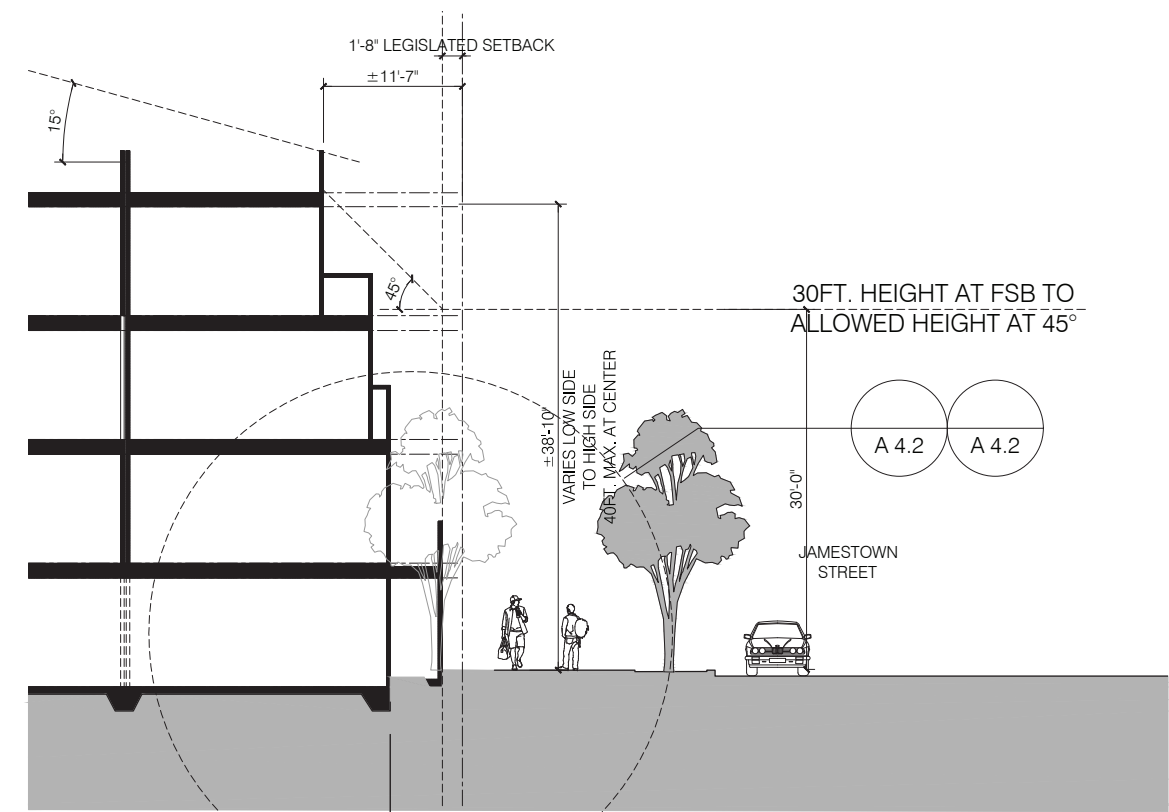
DATE: 06.25.2020

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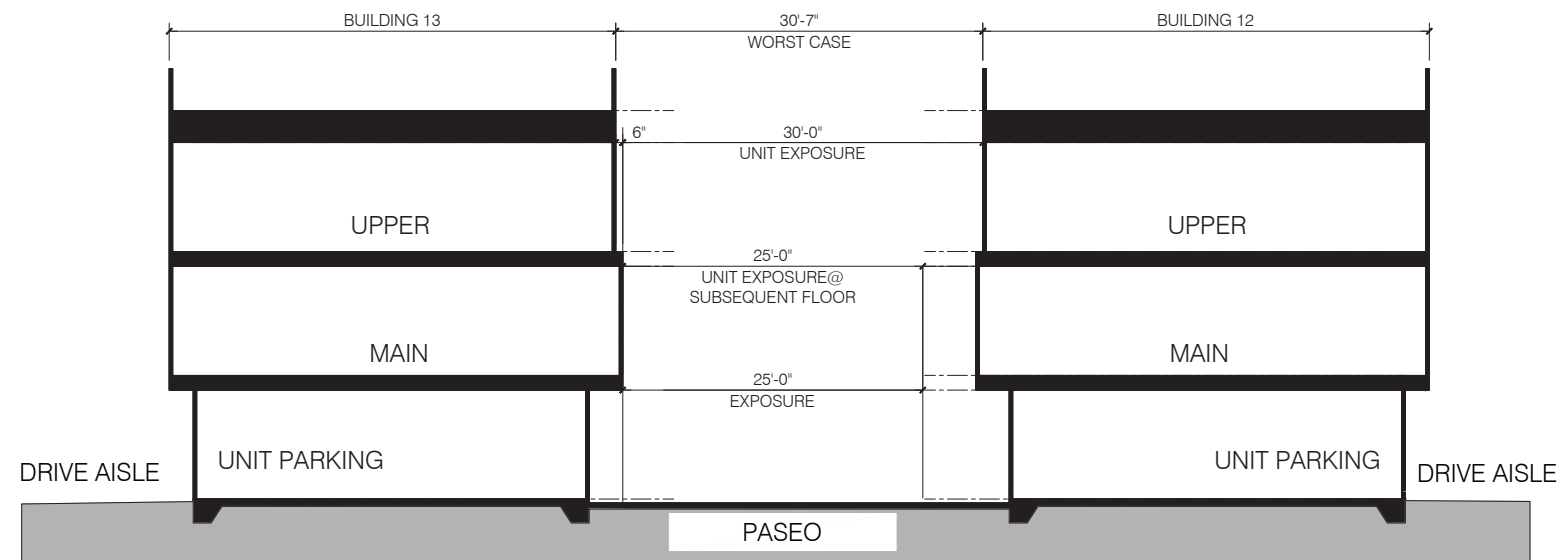
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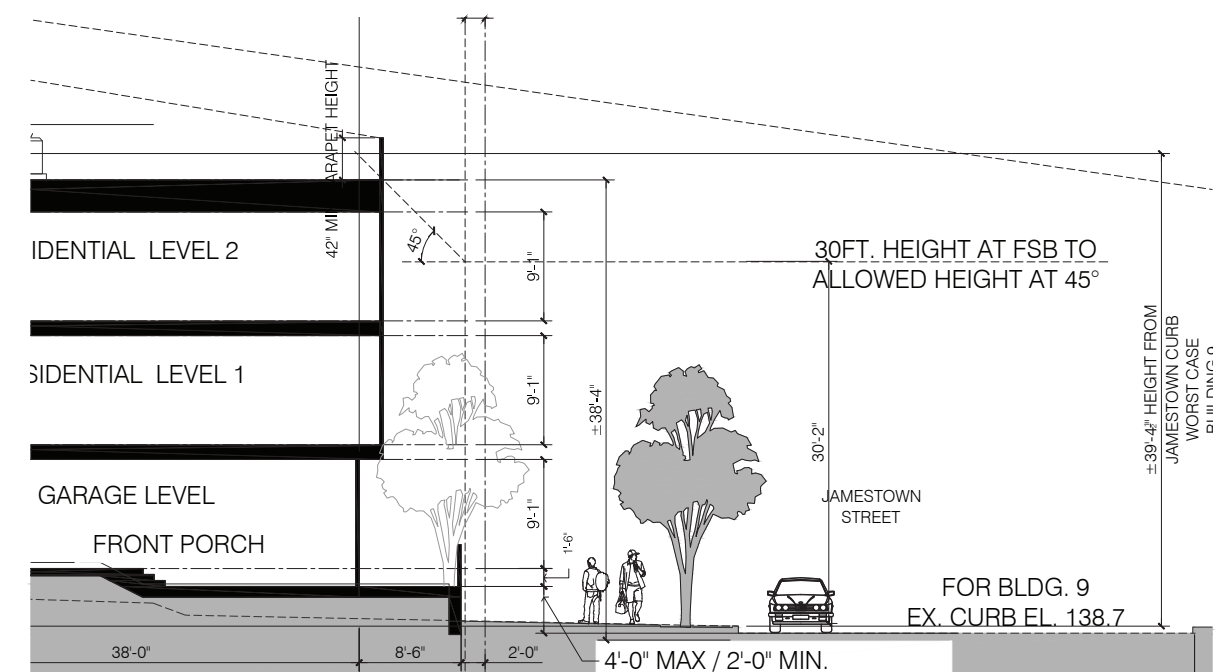
DWELLING UNIT EXPOSURE AT BUILDINGS 17-20



HEIGHT LIMITS FROM FSB AT BUILDINGS 17-20



DWELLING UNIT EXPOSURE AT PASEO OF BUILDINGS 6-16



HEIGHT LIMITS FROM FSB AT BUILDINGS 1-5



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DETAILED SECTIONS

A7.3

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# PART VIII

## MATERIAL AND COLOR SELECTIONS

<p>WINDOW @ LAP SIDING</p>	<p>STD. WINDOW RECESS @ STUCCO</p>	<p>12" or 8" WINDOW RECESS STUCCO CONDITION SHOWN</p>
<p>7 VINYL WINDOW HEAD @ SIDING</p>	<p>4 RECESSED VINYL WINDOW HEAD @ STUCCO</p>	<p>1 12" RECESSED VINYL WINDOW HEAD / 8" RECESS SIM.</p>
<p>8 VINYL WINDOW JAMB @ SIDING</p>	<p>5 RECESSED VINYL WINDOW JAMB @ STUCCO</p>	<p>2 12" RECESSED VINYL WINDOW JAMB / 8" RECESS SIM.</p>
<p>9 VINYL WINDOW SILL @ SIDING</p>	<p>6 RECESSED VINYL WINDOW SILL @ STUCCO</p>	<p>3 12" RECESSED VINYL WINDOW SILL / 8" RECESS SIM.</p>



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JAMESTOWN WINDOW DETAILS

A8.0

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FRONT ELEVATION - COLOR SCHEME A

TYPE A - BLDGS. 1-5

BODY COLOR 1 SW 7008 ALABASTER1	BODY COLOR 2 SW 6001 GRAYISH2	BODY COLOR 3 SW 9087 SMOKY BEIGE3	HORIZONTAL SIDING COLOR SW 6001 GRAYISH4	HORIZONTAL SIDING COLOR SW 9088 UTAUPEIA5	VERTICAL SIDING SW 6001 GRAYISH6	VERTICAL SIDING SW 9088 UTAUPEIA7	METAL TRIM COLOR SW 7066 GRAY MATTERS8
AWNING AND SIDING COMPOSITION9	STUCCO REVEALS10	ENTRY DOOR11	GARAGE DOOR12	ADDRESS SIGN W/ LIGHT13	WOOD DECK SW 9167 POLISHED CONCRETE14	WOOD TRELLIS15	



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TYPE A - BLDGS. 1-5 - MATERIAL BOARD - SCHEME A

A8.1

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PROJECT: 348001



FRONT ELEVATION - COLOR SCHEME B

TYPE A - BLDGS. 1-5

BODY COLOR 1 SW 7008 ALABASTER	BODY COLOR 2 SW 6001 GRAYISH	BODY COLOR 3 SW 9087 SMOKY BEIGE	HORIZONTAL SIDING COLOR SW 6001 GRAYISH	HORIZONTAL SIDING COLOR SW 9088 UTAUPEIA	VERTICAL SIDING SW 6001 GRAYISH	VERTICAL SIDING SW 9088 UTAUPEIA	METAL TRIM COLOR SW 7066 GRAY MATTERS
1	2	3	4	5	6	7	8

AWNING AND SIDING COMPOSITION	STUCCO REVEALS	ENTRY DOOR	GARAGE DOOR	ADDRESS SIGN W/ LIGHT	WOOD DECK SW 9167 POLISHED CONCRETE	WOOD TRELLIS
9	10	11	12	13	14	15



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TYPE A - BLDGS. 1-5 - MATERIAL BOARD - SCHEME B

A8.2

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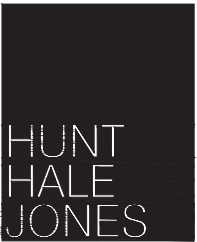
FRONT ELEVATION - COLOR SCHEME

TYPE B - BLDGS. 6-16

							
BODY COLOR 1 SW 7008 ALABASTER1	BODY COLOR 2 SW 6001 GRAYISH2	BODY COLOR 3 SW 9087 SMOKY BEIGE3	HORIZONTAL SIDING COLOR SW 6001 GRAYISH4	HORIZONTAL SIDING COLOR SW 9088 UTAUPEIA5	VERTICAL SIDING SW 6001 GRAYISH6	VERTICAL SIDING SW 9088 UTAUPEIA7	METAL TRIM COLOR SW 7066 GRAY MATTERS8
							
AWNING AND SIDING COMPOSITION9	STUCCO REVEALS10	ENTRY DOOR11	GARAGE DOOR12	ADDRESS SIGN W/ LIGHT13	WOOD DECK SW 9167 POLISHED CONCRETE14	WOOD TRELLIS15	



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Architecture | Planning | InteriorsTYPE B - BLDGS. 6-16 - MATERIAL BOARD - COLOR SCHEME

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A8.3  
SCALE: 3/16"=1'-0"  
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SIDE ELEVATION - COLOR SCHEME A

TYPE C - BLDGS. 17 -20



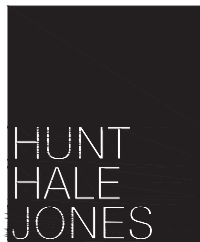
FRONT ELEVATION - COLOR SCHEME A

TYPE C - BLDGS. 17 -20

							
BODY COLOR 1 SW 7008 ALABASTER	BODY COLOR 2 SW 6001 GRAYISH	BODY COLOR 3 SW 9087 SMOKY BEIGE	HORIZONTAL SIDING COLOR SW 6001 GRAYISH	HORIZONTAL SIDING COLOR SW 9088 UTAUPEIA	VERTICAL SIDING SW 6001 GRAYISH	VERTICAL SIDING SW 9088 UTAUPEIA	METAL TRIM COLOR SW 7066 GRAY MATTERS
1	2	3	4	5	6	7	8
							
AWNING AND SIDING COMPOSITION	STUCCO REVEALS	ENTRY DOOR	GARAGE DOOR	ADDRESS SIGN W/ LIGHT	WOOD DECK SW 9167 POLISHED CONCRETE	WOOD TRELLIS	
9	10	11	12	13	14	15	



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TYPE C - BLDGS. 17 - 20 - MATERIAL BOARD - SCHEME A

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A8.4

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PROJECT: 348001



SIDE ELEVATION - COLOR SCHEME B

TYPE C - BLDGS. 17 -20



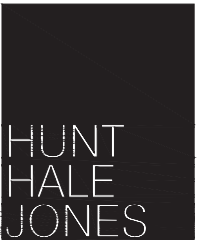
FRONT ELEVATION - COLOR SCHEME B

TYPE C - BLDGS. 17 -20

BODY COLOR 1 SW 7008 ALABASTER	BODY COLOR 2 SW 6001 GRAYISH	BODY COLOR 3 SW 9087 SMOKY BEIGE	HORIZONTAL SIDING COLOR SW 6001 GRAYISH	HORIZONTAL SIDING COLOR SW 9088 UTAUPEIA	VERTICAL SIDING SW 6001 GRAYISH	VERTICAL SIDING SW 9088 UTAUPEIA	METAL TRIM COLOR SW 7066 GRAY MATTERS
1	2	3	4	5	6	7	8
AWNING AND SIDING COMPOSITION	STUCCO REVEALS	ENTRY DOOR	GARAGE DOOR	ADDRESS SIGN W/ LIGHT	WOOD DECK SW 9167 POLISHED CONCRETE	WOOD TRELLIS	
9	10	11	12	13	14	15	



JAMESTOWN  
CANDLESTICK POINT  
SAN FRANCISCO, CA



Architecture | Planning | Interiors

444 Spear Street, Suite 105  
San Francisco, CA 94105  
www.hunthalejones.com

t. 415-512-1300  
f. 415-288-0288

TYPE C - BLDGS. 17 - 20 - MATERIAL BOARD - SCHEME B

PRELIMINARY PROJECT ASSESSMENT APPLICATION  
ORIGINAL SUBMITTAL DATE: MARCH 05, 2019  
RESUBMITTAL DATE: MARCH 09, 2020  
RESUBMITTAL DATE: JUNE 05, 2020  
RESUBMITTAL DATE: JUNE 25, 2020

A8.5

SCALE: 3/16"=1'-0"  
DATE: 06.25.2020  
PROJECT: 348001

## MITIGATION MONITORING AND REPORTING PROGRAM

Adopted Mitigation Measures	MONITORING AND REPORTING PROGRAM			
	Implementation Responsibility	Mitigation Schedule	Monitoring/ Reporting Responsibility	Monitoring Actions/ Schedule and Verification of Compliance
<b>MITIGATION MEASURES AGREED TO BY PROJECT SPONSOR</b>				
<b>CULTURAL RESOURCES</b>				
<b>Project Mitigation Measure 1: Accidental Discovery</b>				
The following mitigation measure is required to avoid any potential adverse effect from the proposed project on accidentally discovered buried or submerged historical resources as defined in CEQA Guidelines section 15064.5(a) and (c) and on human remains and associated or unassociated funerary objects. The project sponsor shall distribute the Planning Department archeological resource "ALERT" sheet to the project prime contractor; to any project subcontractor (including demolition, excavation, grading, foundation, pile driving, etc. firms); or utilities firm involved in soils disturbing activities within the project site. Prior to any soils disturbing activities being undertaken each contractor is responsible for ensuring that the "ALERT" sheet is circulated to all field personnel including, machine operators, field crew, pile drivers, supervisory personnel, etc.	Project sponsor at the direction of the ERO	Prior to and during soils-disturbing activities	Project sponsor shall distribute Alert sheet and shall submit a signed affidavit confirming the distribution to the ERO	Considered complete when ERO receives signed affidavit
The project sponsor shall provide the Environmental Review Officer (ERO) with a signed affidavit from the responsible parties (prime contractor, subcontractor(s), and utilities firm) to the ERO confirming that all field personnel have received copies of the Alert Sheet.				
Should any indication of an archeological resource be encountered during any soils disturbing activity of the project, the project Head Foreman and/or project sponsor shall immediately notify the ERO and shall immediately suspend any soils disturbing activities in the vicinity of the discovery until the ERO has determined what additional measures should be undertaken.				

## MITIGATION MONITORING AND REPORTING PROGRAM

MONITORING AND REPORTING PROGRAM				
Adopted Mitigation Measures	Implementation Responsibility	Mitigation Schedule	Monitoring/ Reporting Responsibility	Monitoring Actions/ Schedule and Verification of Compliance
<p>If the ERO determines that an archeological resource may be present within the project site, the project sponsor shall retain the services of an archeological consultant from the pool of qualified archeological consultants maintained by the Planning Department archeologist. The archeological consultant shall advise the ERO as to whether the discovery is an archeological resource, retains sufficient integrity, and is of potential scientific/historical/cultural significance. If an archeological resource is present, the archeological consultant shall identify and evaluate the archeological resource. The archeological consultant shall make a recommendation as to what action, if any, is warranted. Based on this information, the ERO may require, if warranted, specific additional measures to be implemented by the project sponsor.</p> <p>Measures might include: preservation in situ of the archeological resource; an archeological monitoring program; an archeological testing program; and an interpretative program. If an archeological monitoring program, archeological testing program, or an interpretative program is required, it shall be consistent with the Environmental Planning (EP) division guidelines for such programs and reviewed and approved by the ERO. The ERO may also require that the project sponsor immediately implement a site security program if the archeological resource may be at risk from vandalism, looting, or other damaging actions.</p> <p>The treatment of human remains and of associated or unassociated funerary objects discovered during any soils disturbing activity shall comply with applicable State and federal laws. This shall include immediate notification of the Medical Examiner of the City and County of San Francisco and, in the event of the Medical Examiner's determination that the human remains are Native American remains,</p>	Project sponsor/ Head Foreman and archeological consultant at the direction of the ERO	Accidental discovery	In the event of accidental discovery, the project sponsor shall suspend soils-disturbing activities, notify the ERO, and retain a qualified archeological consultant at the direction of the ERO. The archeological consultant shall identify and evaluate the archeological resources and recommend actions for review and approval by the ERO. The archeological consultant shall undertake additional measures at the direction of the ERO.	Considered complete when archeological consultant completes additional measures as directed by the ERO as warranted

## MITIGATION MONITORING AND REPORTING PROGRAM

MONITORING AND REPORTING PROGRAM				
Adopted Mitigation Measures	Implementation Responsibility	Mitigation Schedule	Monitoring/ Reporting Responsibility	Monitoring Actions/ Schedule and Verification of Compliance
notification of the California State Native American Heritage Commission, which will appoint a Most Likely Descendant (MLD). The MLD will complete his or her inspection of the remains and make recommendations or preferences for treatment within 48 hours of being granted access to the site (Public Resources Code section 5097.98). The ERO also shall be notified immediately upon the discovery of human remains.				
The project sponsor and ERO shall make all reasonable efforts to develop a Burial Agreement ("Agreement") with the MLD, as expeditiously as possible, for the treatment and disposition, with appropriate dignity, of human remains and associated or unassociated funerary objects (as detailed in CEQA Guidelines section 15064.5(d)). The Agreement shall take into consideration the appropriate excavation, removal, recordation, scientific analysis, custodianship, curation, and final disposition of the human remains and associated or unassociated funerary objects. If the MLD agrees to scientific analyses of the remains and/or associated or unassociated funerary objects, the archeological consultant shall retain possession of the remains and associated or unassociated funerary objects until completion of any such analyses, after which the remains and associated or unassociated funerary objects shall be reinterred or curated as specified in the Agreement.				
Nothing in existing State regulations or in this mitigation measure compels the project sponsor and the ERO to accept treatment recommendations of the MLD. However, if the ERO, project sponsor and MLD are unable to reach an Agreement on scientific treatment of the remains and associated or unassociated funerary objects, the ERO, with cooperation of the project sponsor, shall ensure that the remains and/or mortuary materials are stored securely and respectfully until				

## MITIGATION MONITORING AND REPORTING PROGRAM

MONITORING AND REPORTING PROGRAM				
Adopted Mitigation Measures	Implementation Responsibility	Mitigation Schedule	Monitoring/ Reporting Responsibility	Monitoring Actions/ Schedule and Verification of Compliance
they can be reinterred on the property, with appropriate dignity, in a location not subject to further or future subsurface disturbance.				
Treatment of historic-period human remains and of associated or unassociated funerary objects discovered during any soil-disturbing activity, additionally, shall follow protocols laid out in the project's archeological treatment documents, and in any related agreement established between the project sponsor, Medical Examiner and the ERO.				
The archeological consultant shall submit a Draft Final Archeological Resources Report (FARR) to the ERO that evaluates the historical significance of any discovered archeological resource and describes the archeological and historical research methods employed in the archeological testing/monitoring/data recovery program(s) undertaken. The Draft FARR shall include a curation and deaccession plan for all recovered cultural materials. The Draft FARR shall also include an Interpretation Plan for public interpretation of all significant archeological features.				
Copies of the Draft FARR shall be sent to the ERO for review and approval. Once approved by the ERO, the consultant shall also prepare a public distribution version of the FARR. Copies of the FARR shall be distributed as follows: California Archeological Site Survey Northwest Information Center (NWIC) shall receive one copy and the ERO shall receive a copy of the transmittal of the FARR to the NWIC. The Environmental Planning division of the Planning Department shall receive one bound and one unlocked, searchable PDF copy on CD of the FARR along with copies of any formal site recordation forms (CA DPR 523 series) and/or documentation for nomination to the National Register of Historic Places/California Register of	Archeological consultant at the direction of the ERO	Following completion of additional measures by archeological consultant as determined by the ERO	Submittal of draft FARR to ERO for review and approval. Distribution of the FARR by the archeological consultant	Considered complete upon distribution of approved FARR

## MITIGATION MONITORING AND REPORTING PROGRAM

MONITORING AND REPORTING PROGRAM				
Adopted Mitigation Measures	Implementation Responsibility	Mitigation Schedule	Monitoring/ Reporting Responsibility	Monitoring Actions/ Schedule and Verification of Compliance
Historical Resources. In instances of public interest in or the high interpretive value of the resource, the ERO may require a different or additional final report content, format, and distribution than that presented above.				

RECORDING REQUESTED BY, AND  
WHEN RECORDED RETURN TO:

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Attn: \_\_\_\_\_

Address: \_\_\_\_\_

(Space above this line reserved for Recorder's use only)

Block \_\_\_\_\_, Lot \_\_\_\_\_

Documentary Transfer Tax of \$\_\_\_\_\_ based upon full market value of the property without deduction for any lien or encumbrance

### QUITCLAIM DEED [

(Assessor's Parcel No. \_\_\_\_\_)

FOR VALUABLE CONSIDERATION, receipt and adequacy of which are hereby acknowledged, the CITY AND COUNTY OF SAN FRANCISCO, a municipal corporation ("City"), hereby RELEASES, REMISES AND QUITCLAIMS to \_\_\_\_\_, any and all reserved abutters rights that City may have in the real property located in the City and County of San Francisco, State of California, described on Exhibit A attached hereto, as set forth in the following deeds: (1) that certain grant deed dated May 26, 1964, recorded at Book A776, Page 422 on June 17, 1964, and (2) that certain quitclaim deed dated February 21, 1967, and recorded as Document P47035 at Book B125 page 698 on March 15, 1967.

Executed as of this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_.

CITY AND COUNTY OF SAN FRANCISCO,  
a municipal corporation

By: \_\_\_\_\_  
ANDRICO Q. PENICK  
Director of Property

APPROVED AS TO FORM:

DAVID CHIU, City Attorney

By: \_\_\_\_\_  
Charles Sullivan, Deputy City Attorney



# SAN FRANCISCO PLANNING DEPARTMENT

**MEMO**

**DATE:** 12/11//2019

**TO:** Esmeralda Jardines (Current Planning); Michael Li (Environmental Planning); Luiz Barata (Design Review)

**FROM:** The Street Design Advisory Team (SDAT)

**RE:** SDAT Review  
Record No. 2019-002743PRJ  
Address: 853 Jamestown  
Neighborhood: Bayview  
Zoning: RH-2 (Residential- House, Two Family)  
Area Plan: Bayview Hunters Point

1650 Mission St.  
Suite 400  
San Francisco,  
CA 94103-2479

Reception:  
**415.558.6378**

Fax:  
**415.558.6409**

Planning  
Information:  
**415.558.6377**

*The Street Design Advisory Team (SDAT) provides design review and guidance to private developments working within the City's public right-of-way. SDAT is composed of representatives from the San Francisco Planning Department (SF Planning), the San Francisco Fire Department (Fire), San Francisco Public Works (Public Works), the San Francisco Municipal Transportation Agency (SFMTA), and the San Francisco Public Utilities Commission (SFPUC).*

*SDAT reviewed the proposal at 853 Jamestown on November 18, 2019 and provides the following comments.*

## CONTEXT

### Project Description & Transportation-Related Notes

The property is an approximately 6.87-acre vacant parcel located on Jamestown Avenue north of Harney Way. The project proposes the construction of 122 dwelling units, a total of 160,434 square feet. The units will vary in size from 1,100 to 1,550 square feet, and each will contain two or three bedrooms. Two-thirds of the units will front shared paseos and have roof decks, while many of the remaining units will feature private patios and decks. The site will feature a network of shared open spaces.

### Street Design Review Triggers

- ☒ Planning Code [138.1](#) (required streetscape improvements per the [Better Streets Plan](#))
- ☒ Vision Zero
- ☐ Other

### Site Conditions

(See Transportation Info Map <https://sfplanninggis.org/TIM>)

- |  |   |
|--|---|
| <input checked="" type="checkbox"/> Vision Zero: High-Injury | <input type="checkbox"/> Transit Preferential Street    |
| <input type="checkbox"/> Bicycling Network                   | <input type="checkbox"/> Key Walking Street             |
| <input type="checkbox"/> Green Connections Network           | <input type="checkbox"/> Curb Cut Restriction           |
| <input type="checkbox"/> Muni Corridor                       | <input type="checkbox"/> SFMTA or Public Works Projects |

## SDAT Comments

### RELATED CITY PROJECTS

#### Area Plans/ Public Realm Plans

The project is located in the Bayview Hunters Point Area Plan. The Area Plan calls for maintaining industrial zones for production, distribution, and repair activities to strengthen the role of the Bayview's industrial sector in the economy of the district, the City, and the region.

### STREET IMPROVEMENTS

#### Sidewalk

- There is currently no sidewalk fronting the site on Jamestown. The 15' sidewalk that will be built by the project sponsor will require sidewalk legislation at the Board of Supervisors. Please work with the Public Works Bureau of Street Use and Mapping on this item.

#### Notes

- See Item #5 under the "Interagency Coordination and Additional Guidance" section below

#### Lighting

- If existing lighting conditions on Jamestown Avenue do not meet City standards, the project will be required to upgrade street lighting and/or pedestrian lighting. To determine if lighting improvements are required, the sponsor will need to provide photometric studies for street lighting plans to the SFPUC. Please coordinate with the SFPUC Streetlights Division ([Streetlights@sfgwater.org](mailto:Streetlights@sfgwater.org)) on this item.

#### Notes

Please refer to Item #11 under "Interagency Coordination and Additional Guidance" section below.

### OPERATIONS

#### Loading

- SDAT recommends the project install an accessible loading zone (including pedestrian ramp) on Jamestown Avenue. Please schedule a meeting with Paul Kniha ([paul.kniha@sfmta.com](mailto:paul.kniha@sfmta.com)), SFMTA Color Curb Program Manager, and Karina Lairret ([karina.lairret@sfdpw.org](mailto:karina.lairret@sfdpw.org)), Associate Engineer with the Public Works Accessibility Coordinator's Office to coordinate the design, legislation, and implementation of the accessible on-street loading zone.
- The establishment of color curbs for passenger and commercial loading on street requires coordination with SFMTA. Please contact Paul Kniha ([paul.kniha@sfmta.com](mailto:paul.kniha@sfmta.com)), SFMTA

Color Curb Program Manager for all issues related to the design and legislation of color curbs.

#### *Notes*

- Please refer to Item #2 under “Interagency Coordination and Additional Guidance” section below.

#### **No further SDAT Review Required**

- Pending no future substantive changes to the project, and assuming the project sponsor addresses the above comments, no further SDAT review for this project is required.

**CC:** **SF Public Works:** Sebastian Arias, Paul Barradas, Chris Buck, Berhane Gaime, Kevin Jensen, Karina Laird, Eric Lam, Debra Lutske, Suzanne Suskind, John Thomas, Kathy Liu, Michelle Woo

**SFMTA:** Jennifer Molina, Paul Kniha, Francesca Napolitan, Ricardo Olea, Charles Rivasplata, Mike Sallaberry, James Shahamiri, Daniel Sheeter, Adam Smith, Felipe Robles

**SF Planning:** Paul Chasan, Colin Clarke, Nicholas Foster, Esmeralda Jardines, Ryan Shum, Seung Yen Hong, Jessica Look, Maia Small, Dan Wu

**SFPUC:** Derek Adams, Mira Chokshi, Hieu Doan, Molly Petrick, Joan Ryan, Sam Young, April Yan

**SFFD:** Chad Law

## Interagency Coordination and Additional Guidance

### Standard SDAT Comments

#### SFMTA

##### 1. On-Street Bike Rack Coordination

- Planning Code Sections 155.1, 155.4, and 155.5, dictate the number of required Class 1 (in-building) and Class 2 (on-street or sidewalk) bike racks required by the project. SFMTA has final authority on the type, placement and number of Class 2 bicycle racks within the public ROW, and the SFMTA Bike Program coordinates the installation of on-street bicycle racks and ensures that proposed bicycle racks meet the SFMTA's bicycle parking guidelines.
- If Class 2 racks are required, the project sponsor should contact the SFMTA Bike Program ([bikeparking@sfmta.com](mailto:bikeparking@sfmta.com)) prior to issuance of first architectural addenda and submit a site plan showing proposed Class 2 bike rack design and locations. Depending on local site conditions and anticipated demand, SFMTA may request the project sponsor pay an in-lieu fee for Class 2 bike racks required by the Planning Code. Before contacting the SFMTA, please review the [Bike Rack Specifications](#) and [Sidewalk Bicycle Rack Placement Guidelines](#), which can be found on the SFMTA's website at: <https://www.sfmta.com/services/streets-sidewalks/installation-requests/bicycle-racks-corrals>

##### 2. Loading

- The establishment of color curbs for passenger and commercial loading on street requires coordination with SFMTA. Please contact Paul Kniha ([paul.kniha@sfmta.com](mailto:paul.kniha@sfmta.com)), SFMTA Color Curb Program Manager for all issues related to the design and legislation of color curbs.

#### Public Works

##### 3. Electrical Transformer Room

- If a new electrical power transformer is required by the electric utility to provide power to the building, please show the location of the transformer room on the plans. The transformer room must be shown on the plans for review by SDAT and Public Works during the planning phase of the project prior to applying for a Building Permit and Public Works Permits. Public Works typically does not permit new transformer vaults in the public right-of-way.

##### 4. Street Improvements (construction within the public right-of-way)

- Infrastructure improvements within the public right-of-way will require a Street Improvement Permit from SF Public Works Bureau of Street Use & Mapping (BSM) and Street Improvement Plans. Depending on the scope of work the Plans should include the

following plan sheets: Civil (grading, layout, utility erosion control, etc.), Landscaping (planting, irrigation, etc.), Electrical (lighting, photometrics, conduit, etc.), Joint Trench (power, telephone, and communication approved by the respective utility companies). Additional permits may be required. Visit <http://www.sfpublicworks.org/services/permits> for additional information or call 415-554-5810.

**5. Modified Curb Lines (widened or narrowed sidewalk and corner bulbouts)**

- Per guidelines established in the San Francisco Better Streets Plan the tangent of the curb return on a corner bulbout should start a minimum of 5' beyond the property line.
- To ensure that bulbouts are sweepable with standard City street sweeper equipment, bulbout curb returns shall conform to SF Public Works' Standard Plan for Curb Bulbs. See: <http://sfpublicworks.org/sites/default/files/87%2C175.pdf>
- Modification of the curb line will require Sidewalk Legislation, contact BSM Mapping/Subdivision Section. It is strongly encouraged that a sidewalk legislation package is submitted at the time a Street Improvement Permit application is submitted since the permit will not be approved until the Sidewalk Legislation is approved, which can take a minimum of 6-12 months for approval.
- The design of corner bulbouts shall provide for the ability of trolley coaches to successfully make turns without the trolley poles becoming detached from overhead wires. For more information, please coordinate with SFMTA staff to review both revenue and non-revenue bus or light rail lines making turns at the intersection.

**6. Encroachments into the Public Right-of-Way**

- SF Public Works discourages any new encroachments into the public right-of-way. If new encroachments are proposed, show them on the plans. Examples of encroachments are: steps, warped driveways with diverters/planters, level landings, fire department connections (FDC), out swinging doors, bollards, etc. For new building construction, the Building Code does not allow building encroachments unless a variance to the Building Code is allowed by the DBI. If a variance is approved, a Minor Sidewalk Encroachment Permit (MSE) or other encroachment permit will be required from BSM. Most encroachment permits require public notification and, depending on the encroachment an annual assessment fee may be applied.

**7. Special (non-standard) projects in the public right-of-way (plazas, parks, shared streets, etc.)**

- Any modification of the public right-of-way that deviates from SF Public Works Standard Plans and Specifications may require a Major Encroachment Permit (MEP) from the BSM. It is strongly encouraged that the plans for the MEP are complete and all application submittals are promptly submitted to BSM at the time of the Street Improvement Permit application is submitted because the MEP can take a minimum of 6-12 months. For

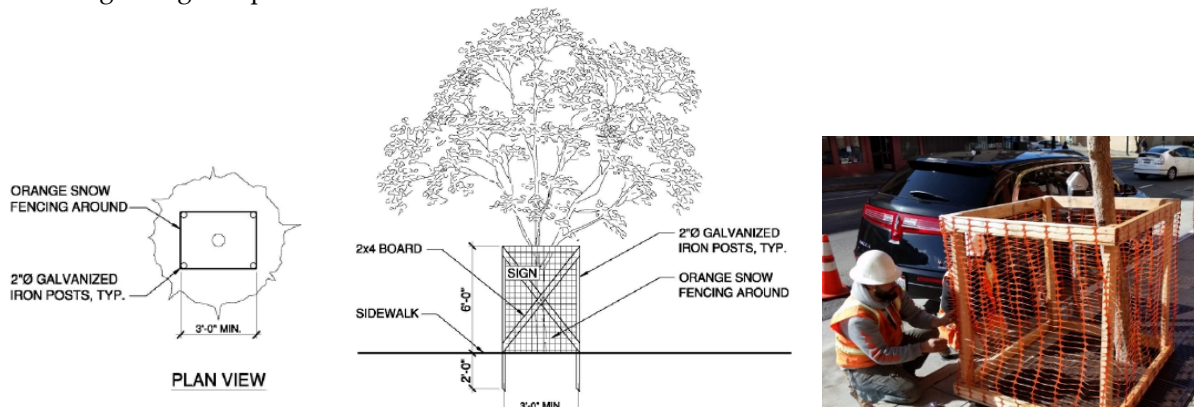
information on the Major Encroachment permitting process visit <http://www.sfpublicworks.org/services/permits> or call 415-554-5810.

## 8. Street trees

- All landscaping, street trees, site furniture, and special paving should be consistent with guidelines in the Better Streets Plan (BSP). See [www.sfbetterstreets.org](http://www.sfbetterstreets.org)
- Per SFMTA standards, trees are not allowed within 25 feet of the corner property line on approach, but trees can be placed closer to the intersection on exit, to enhance pedestrian visibility and safety.
- Per SFPUC standards, new trees shall not be placed within 5 feet of water facilities, including water mains and water service laterals.
- Any proposed new, removed, or relocated street trees and/or landscaping within the public sidewalk may require a permit from SF Public Works Bureau of Urban Forestry (BUF). Tree species should be selected from the "Recommended Plants List". For more Information, please visit: <http://sfpublicworks.org/trees> or call (415) 554-6700. To apply for a permit: <http://sfpublicworks.org/services/permits/street-trees-planting>

## 9. Tree Protection

- Per Public Works Code Article 16 (Urban Forestry Ordinance) Section 808, SDAT requires trees to be protected. Please contact [urbanforestry@sfdpw.org](mailto:urbanforestry@sfdpw.org) for additional details regarding tree protection.



## 10. Tree planting

- SDAT recommends the project review [Public Works Order No: 187246](#). Please note that per Section 806 of Article 16, One tree shall be planted for every 20 feet of total linear frontage for the parcel, and any tree planting that is not feasible per Order No. 187246 will be mitigated with equivalent in-lieu fees per tree

## 11. Tree Removal

- Any healthy tree must be considered as part of the design for the construction prior to applying for removal. Where due diligence and good faith effort to implement existing trees into design is not demonstrated, the tree removal application shall be denied. It is recommended that established trees be implemented into the design to avoid delays.

**SFPUC****12. Clean Energy**

- This project is eligible to use Hetch Hetchy Power: the SFPUC provides 100% greenhouse gas-free electric service at energy rates about 10% lower than other power providers. There may be opportunities to share necessary electrical equipment between buildings, further reducing costs. San Francisco Administrative Code Section 99 requires the SFPUC to consider providing power for certain types of private development projects, including infill and large new buildings. The SFPUC has been providing clean power to some of San Francisco's most critical facilities for 100 years. For more information, please contact [HHPower@sfgwater.org](mailto:HHPower@sfgwater.org)

**13. Water**

- A hydraulic analysis will be required to confirm the adequacy of the water distribution system for proposed new potable, non-potable and fire water services. If the current distribution system pressures and flows are inadequate, the Project Sponsor will be responsible for any capital improvements required to meet the proposed project's water demands. To initiate this process, please contact the SFPUC Customer Service Bureau at 415-551-2900.
- The project sponsor will be required to design all applicable water facilities, including potable, fire-suppression, and non-potable water systems, to conform to the current SFPUC City Distribution Division (CDD) and San Francisco Fire Department (SFFD) standards and practices. These include, but are not limited to, the following:
  - a. SFPUC- CDD Protection of Existing Water and AWSS Facilities;
  - b. SFPUC Standards for the Protection of Water and Wastewater Assets;
  - c. Rules and Regulations Governing Water Service to Customers;
  - d. SFPUC- CDD Design Criteria for Potable Water Systems;
  - e. Application for Water Supply and Responsibility of Applicants;
  - f. San Francisco Fire Code and Reliability;
  - g. California Waterworks Standards; California Code of Regulations Titles 17 and 22
  - h. Auxiliary Water Supply System (AWSS) Distribution Piping.

For questions please contact [cddengineering@sfgwater.org](mailto:cddengineering@sfgwater.org)

**14. Street Lighting**

- City Charter Section 8B.121 and City Administrative Code Section 25.6, states that the PUC has exclusive charge of the construction, management, supervision, maintenance, extension, expansion, operation, use and control of all water, clean water and energy supplies and utilities of the City. This includes the authority to determine the intensity of illumination, number and spacing of lighting facilities and other details necessary to secure satisfactory street lighting.

- City Administrative Code, Section 25.1, states that the Director of Public works shall require underground street lighting facilities, including standards, all associated wires, cables, conduits, junction boxes, services, and all connections therewith satisfactory to the PUC, be included in all plans, maps, plats, and specifications, for the opening of new streets, tracts, districts or subdivisions, except when arrangements have been made by the PUC for installation of adequate overhead street lighting facilities on utility poles.
- City Administrative Code, Section 941, requires the cost of underground wired facilities for street lighting to be borne by the person, firm or corporation paying for the grading, paving, sidewalks and other street construction.
- Illumination levels for roadways, sidewalks and intersections must comply per Illuminating Engineering Society (IES) RP-8. The project sponsor will be expected to propose a street lighting plan and provide photometric studies for the proposed lighting design. Reference SFPUC's streetlight catalogue for approved streetlight fixtures and poles. Fixtures and poles selected outside of the SFPUC catalogue will be maintained by the property owner(s).
- Mixing City and PG&E streetlight jurisdiction for a project is typically not permitted. For example, if the project sponsor proposes to install City-standard streetlights on one side of the property, the project sponsor will be responsible for utilizing City-standard streetlights to illuminate the entire property.
- Both surface and subsurface streetlight facilities are required to remain in compliance with Public Works' standard plans after grade adjustments.
- Separation requirements between streetlights and street furniture must comply per City streetscape ordinances, such as Public Works' ordinances regarding streetlights and trees.
- For questions regarding street lighting or modifications to streetlight infrastructure (both City and PG&E-owned), please contact [Streetlights@sfgwater.org](mailto:Streetlights@sfgwater.org)

BOARD of SUPERVISORS



City Hall  
1 Dr. Carlton B. Goodlett Place, Room 244  
San Francisco, CA 94102-4689  
Tel. No. (415) 554-5184  
Fax No. (415) 554-5163  
TDD/TTY No. (415) 554-5227

## MEMORANDUM

TO: Jeanine Nicholson, Fire Chief, Fire Department  
Carla Short, Interim Director, Public Works  
Rich Hillis, Director, Planning Department  
Jeffrey Tumlin, Executive Director, Municipal Transportation Agency  
Andrico Penick, Director, Real Estate Division  
William Blackwell, Acting City and County Surveyor, Office of the City and County Surveyor

FROM: Erica Major, Assistant Clerk, Land Use and Transportation Committee

DATE: March 4, 2022

SUBJECT: LEGISLATION INTRODUCED

---

The Board of Supervisors' Land Use and Transportation Committee has received the following proposed legislation, introduced by Supervisor Walton on March 1, 2022:

**File No. 220219**

**Resolution approving the abandonment and release of the City's reserved abutter's rights to permit curb cuts at 725 Jamestown Avenue (Assessor's Parcel Block No. 4991, Lot No. 276); authorizing the abandonment and release of the City's reserved abutter's rights on a final map and the execution of a corresponding quitclaim deed; finding the proposed release is in conformance with the General Plan, and the eight priority policies of Planning Code, Section 101.1; and adopting California Environmental Quality Act findings.**

If you have comments or reports to be included with the file, please forward them to me at the Board of Supervisors, City Hall, Room 244, 1 Dr. Carlton B. Goodlett Place, San Francisco, CA 94102 or by email at: [erica.major@sfgov.org](mailto:erica.major@sfgov.org).

Board of Supervisors  
Land Use and Transportation Committee  
Referral  
Page 2

cc: Theresa Ludwig, Fire Department  
David Steinberg, Public Works  
Bryan Dahl, Public Works  
John Thomas, Public Works  
Lena Liu, Public Works  
Tina Tam, Planning Department  
Corey Teague, Planning Department  
Lisa Gibson, Planning Department  
Devyani Jain, Planning Department  
AnMarie Rodgers, Planning Department  
Dan Sider, Planning Department  
Aaron Starr, Planning Department  
Joy Navarrete, Planning Department  
Kate Breen, San Francisco Municipal Transportation Agency  
Janet Martinsen, San Francisco Municipal Transportation Agency  
Joel Ramos, San Francisco Municipal Transportation Agency  
Adrian VerHagen, Office of the City and County Surveyor  
Jason Wong, Office of the City and County Surveyor



Date: February 25, 2022

London N. Breed  
Mayor

Jeffrey Tarantino  
Freyer & Laureta, Inc.  
150 Executive Park Blvd. Suite 4200  
San Francisco, CA 94134

Carla Short  
Acting Director

### Conditional Approval of Vesting Tentative Map 10847

Nicolas Huff  
Bureau of Street-Use and  
Mapping Manager

Re: 725 Jamestown Avenue  
San Francisco, California  
APN: 4991/276

Office of the  
City and County Surveyor

Street-Use and Mapping  
49 South Van Ness Ave.,  
Suite 300,  
San Francisco, CA 94103  
Phone: (628) 271-2000

### Decision

Public Works hereby states that the Vesting Tentative Map Application 10847, prepared on behalf of Strada Jamestown, LLC, by Freyer & Laureta, Inc., dated December 23, 2021, is hereby approved subject to compliance with, but not necessarily limited to, the following findings and conditions:

[sfpublicworks.org](http://sfpublicworks.org)  
[facebook.com/sfpublicworks](https://facebook.com/sfpublicworks)  
[twitter.com/sfpublicworks](https://twitter.com/sfpublicworks)

### FINDINGS

1. This Application requests approval of a total of 122 Residential New Condominium Units Project.
2. The Subdivision meets and performs the requirements or conditions imposed by the California Subdivision Map Act and the City and County of San Francisco (CCSF) Subdivision Code and Regulations.
3. On March 2, 2006, at a duly noticed public hearing, the Planning Commission adopted Motion No. 17200 certifying the Bayview Hunters Point Redevelopment Projects and Rezoning Final Environmental Impact Report ("BVHP FEIR"). On March 2, 2006, the Commission adopted Motion No. 17201 adopting California Environmental Quality Act ("CEQA") findings related to the Bayview Hunters Point Redevelopment Projects and Rezoning, including a Statement of Overriding Considerations and a Mitigation Monitoring and Reporting Program. On April 16, 2020, an Addendum to the BVHP FEIR ("Addendum") pursuant to CEQA Guidelines Section 15164 was issued.
4. On July 9, 2020, the Planning Commission adopted CEQA Findings and findings of consistency with the General Plan and Planning Code Section 101.1 in Planning Commission Resolution No. 20755. For purposes of this tentative map, the Planning Department relies on those findings and incorporates that Resolution by reference herein.
5. The Planning Department, in a letter dated December 23, 2021, determined that none of the conditions described in Government Code Sections 66474(a) through

(g), inclusive, exist with respect to this subdivision, as documented by the Planning Department's findings dated March 2, 2006 and as further documented and determined herein:

- a. Govt. Code § 66474(a): That the proposed map is not consistent with applicable general and specific plans as specified in Section 65451.

*Tentative Map No. 10847 is consistent with the General Plan, and the Bayview Hunters Point Area Plan and Candlestick Point Subarea Plan for the reasons set forth in Planning Commission Resolution No. 20755.*

- b. Govt. Code § 66474(b): That the design or improvement of the proposed subdivision is not consistent with applicable general and specific plans.

*The design and improvement of the proposed subdivision is consistent with the General Plan, and the Bayview Hunters Point Area Plan and Candlestick Point Subarea Plan for the reasons set forth in Planning Commission Resolution No. 20755.*

- c. Govt. Code § 66474(c): That the site is not physically suitable for the type of development.

*The site is physically suitable for the type of development. The BVHP FEIR and thereafter Addendum evaluated potential environmental impacts associated with the development. The FEIR and corresponding mitigation measures address, among other issues, cultural resources.*

- d. Govt. Code § 66474(d): That the site is not physically suitable for the proposed density of development.

*The site is physically suitable for the proposed density of development. The density of development, including up to approximately 169,332 square feet of residential use, 122 residential condominium units, with 153 private and 17 guest off-street parking spaces, and 122 Class 1 and 8 Class 2 bicycle parking spaces as evaluated in the FEIR and thereafter Addendum.*

- e. Govt. Code § 66474(e): That the design of the subdivision or the proposed improvements are likely to cause substantial environmental damage or substantially and avoidably injure fish or wildlife or their habitat.

*Neither the design of the subdivision nor the proposed improvements are likely to cause substantial environmental damage or substantially and avoidably injure fish or wildlife or their habitat. The BVHP FEIR incorporates a comprehensive evaluation of biological resources, including fish and wildlife and their habitat. All feasible and applicable mitigation measures identified in the MMRP, attached, will be applied to the Tentative Map No. 10847 as a condition of this approval.*

- f. Govt. Code § 66474(f): That the design of the subdivision or type of improvements is likely to cause serious public health problems.

*Neither the design of the subdivision nor the type of improvements are likely to cause serious public health problems. Issues of public health, including, for example, geotechnical and soils stability, hazards and hazardous materials, and air quality impacts, were evaluated in the BVHP FEIR and thereafter Addendum. All feasible and applicable mitigation measures identified in the MMRP will be applied to Tentative Map No. 10847 as a condition of this approval.*

- g. Govt. Code § 66474(g): That the design of the subdivision or the type of improvements will conflict with easements, acquired by the public at large, for access through or use of, property within the proposed subdivision. In this connection, the governing body may approve a map if it finds that alternate easements, for access or for use, will be provided, and that these will be substantially equivalent to ones previously acquired by the public. This subsection shall apply only to easements of record or to easements established by judgment of a court of competent jurisdiction and no authority is hereby granted to a legislative body to determine that the public at large has acquired easements for access through or use of property within the proposed subdivision.

*Neither the design of the subdivision nor the type of improvements will conflict with easements acquired by the public at large for access through or use of, property within the proposed subdivision. No such public easements for use or public access would be adversely affected by the proposed subdivision, and the Subdivider will be required to provide new easements as a condition of approval of the map as necessary for public access and use.*

6. The Tentative Map approval shall be effective upon execution by the Director of Public Works.

## **CONDITIONS**

### **DEPARTMENT OF CITY PLANNING (DCP)**

The Planning Department confirms that the Tentative Map does comply with the applicable provisions of the Planning Code, subject to these conditions:

1. Subdivider shall comply with the Transportation Demand Management Program requirements as recorded 7/23/2021 in document 2021114205.
2. Subdivider shall comply with the Inclusionary Affordable Housing Requirements, including those which are applicable to the implementation of State Density Bonus Law, in effect at the time of Planning Commission action on 7/9/2020. The project shall record a Regulatory Agreement prior to the issuance of the first Construction Document and shall record a Notice of Special

Restrictions identifying the location of the affordable units prior to the issuance of the architectural addendum for the project.

3. Subdivider shall comply with all requirements set forth in Planning Commission Resolution No. 20755, including the Mitigation Monitoring and Reporting Program.

### **SAN FRANCISCO PUBLIC UTILITIES COMMISSION (SFPUC)**

Prior to the approval of any Final Map, Subdivider shall confirm in its responses to these conditions that it will comply with the following:

#### **SFPUC Water Enterprise Conditions**

##### Water Fixture Efficiency

This project is required to comply with the San Francisco Commercial or Residential Water Conservation Ordinance (San Francisco Building Code Chapter 13A and San Francisco Housing Code Chapters 12 and 12A). Additionally, please refer to Chapter 4 of the San Francisco Plumbing Code which sets maximum flow rates for plumbing fixtures such as water closets, urinals, showerheads and faucet aerators.

##### Landscape Irrigation

If the project will install or modify 500 square feet or more of landscape area, then the project is required to comply with San Francisco's Water Efficient Irrigation Ordinance, adopted as Chapter 63 of the San Francisco Administrative Code and the SFPUC Rules & Regulations Regarding Water Service to Customers. The project's landscape and irrigation plans shall be reviewed and approved by the SFPUC prior to installation.

##### Residential Water Submetering

This project is required to comply with residential water submetering requirements set forth in the California Water Code (Division 1, Chapter 8, Article 5, Section 537-537.5) by Senate Bill 7 and enforced in San Francisco by the SFPUC. New construction of a multi-family residential structure or mixed-use residential and commercial structure must indicate on its site plans that each dwelling unit will be submetered as a condition of the site permit and water service. The SFPUC will review plans for compliance only for projects that apply for a site permit from the Department of Building Inspection (DBI) and for new water service from SFPUC after January 1, 2018.

##### On-site Non-potable Water

This project is required to comply with San Francisco's Mandatory Use of Alternate Water Supplies in New Construction Ordinance, adopted as Chapter 12C of the San Francisco Health and Safety Code. Please refer to <https://sfpuc.org/construction-contracts/design-guidelines-standards/onsite-water-reuse> for requirements.

##### Non-potable Water Use for Soil Compaction and Dust Control

CCSF Ordinance 175-91 restricts the use of potable water for soil compaction and dust control activities undertaken in conjunction with any construction or demolition project occurring within the boundaries of San Francisco, unless permission is obtained from San Francisco Public Utilities Commission (SFPUC). Non-potable water must be used for soil compaction and dust control activities during project construction or demolition. Recycled water is available from the SFPUC for dust control on roads and streets. However, per State regulations, recycled water cannot be used for demolition, pressure washing, or dust control through aerial spraying. The SFPUC operates a recycled water truck-fill station at the Southeast Water Pollution Control Plant that provides recycled water for these activities at no charge. For more information please contact (415) 695-7378.

## Water Distribution – City Distribution Division (CDD)

1. To ensure the welfare and safety of people and structures in the City and County of San Francisco, the project sponsor will be required to design all applicable water facilities, including potable, fire-suppression, and non-potable water systems, to conform to the current SFPUC City Distribution Division (CDD) and San Francisco Fire Department (SFFD) standards and practices. These include, but are not limited to, the following:
  - CDD Standard Specifications for the Installation of Ductile Iron Water Mains 16-Inches and Smaller (January 2020 or Latest Revision);
  - CDD Standard Plans (January 2020 or Latest Revision);
  - SFPUC Asset Protection Standards (May 2017 or Latest Revision);
  - SFPUC Rules and Regulations Governing Water Service to Customers (September 2016);
  - San Francisco Fire Code (2016);
  - California Safe Drinking Water Act; and
  - California Code of Regulations Titles 17 and 22
2. In addition to conforming to pertinent SFPUC, CDD and SFFD standards, a hydraulic analysis will be required to confirm adequacy of water distribution system for both potable, non-potable and fire use. If current distribution system pressures and flows are inadequate, the Project Sponsor will be responsible for any water distribution system improvements required to meet the proposed project's water demands. Additionally, a capacity fee shall be assessed for the entire project. To initiate this process, please contact the SFPUC Customer Service Bureau at 415-551-2900.
3. To ensure adequate fire suppression reliability and capacity, the Project Sponsor may be required to include construction of one or more of the following: two sources of water delivery (connections to two separate potable water mains), low pressure fire hydrants, and AWSS high pressure distribution piping and hydrants.
4. Prior to Final Map approval, please address all comments included in the Submittal Review Comments dated 12/3/2021. Please submit any questions to [cddengineering@sfgwater.org](mailto:cddengineering@sfgwater.org).
  - a. Delineate the contractor responsibility vs the CDD responsibility for installation of the new fire services. Show the AWWA C110 flange location from the face of the curb. **(CDDILP-203G)**
  - b. Locate the meter boxes for the 4-inch domestic water and 8-inch fire services closer to the curb. **(CDD-LP-203D, CDD-LP-203E)**
  - c. Show the gate valves to the fire hydrants, 4-inch domestic service, and 8-inch fire service on the drawing. **(CDD-LP-203A/B)**
  - d. Add a note mentioning that SFWD will connect the services to the exiting main.
  - e. The distance from the face of the curb to the CL of the hydrant should be a minimum of 24 inches and a maximum of 27 inches. **(CDD-LP-004)**
  - f. Hydrants shall have a clear 5' area around the hydrants, measured from the outside barrel of the hydrant. Please show the distance to all above-ground structures and facilities. **(APS-W7.1)**

## SFPUC Wastewater Enterprise Comments

1. Provide both existing and proposed utility drawings. Show all lateral connections on drawings. Each building shall have own sewer/storm lateral constructed per City Std plan 87,196. Sewer vents shall be located 2-ft behind proposed face of curb.
2. Provide final proposed building sanitary and storm flows in GPM at each point of connection. For storm flow calculations, see 2015 SF Subdivision Regulations.
3. Existing laterals shall be replaced according to SFPUC standards. Proposed lower laterals shall be minimum 6" diameter for single-family residential occupancy and minimum 8" diameter for multi-family residential or commercial occupancies. Lower laterals shall be at minimum 2% slope.
4. Reuse of existing laterals shall not be allowed. All lateral connections shall be new and replaced to current SFPUC standards, regardless of as-found condition.
5. Any modifications that affect street flow, including but not limited to sidewalk bulb outs, altered/moved catch basins, sidewalk widening, etc. will require cross sectional analyses of each street affected by proposed changes. The developer shall determine the existing flow line and compare the pre-existing flow line to the proposed flow line, demonstrating that the existing street overland capacity is not impacted by the proposed development. The analysis shall be provided by the developer and submitted to SFPUC WWE for review and approval.
6. In addition, the developer shall replace any existing sewer laterals within the sidewalk widening limits to comply with clean out vent location, which shall be within 2-ft behind proposed face of curb (refer to comment 1.)
7. Any proposed sidewalk changes within SFPUC-WWE assets are not approved by SFPUC Division unless any existing manhole(s) within sidewalk extension or bulb out is relocated. Refer to SFPUC Asset Protection Standards S2.a "Sidewalk extensions, bulb outs, curbs and gutters shall not be built in the same location as existing manholes." The face of any new curb shall be horizontal offset from the outside edge of any manhole frame by a minimum of 18 inches.
8. Sewer lateral requires 5-feet of clearance from outside of sewer lateral to centerline of tree basin.
9. Project is responsible for designing and building at correct elevation to avoid flooding from overland flow.
10. All materials shall comply with latest available City standards or better, subject to approval by SFPUC.
11. All proposed force mains (if any) are considered private. SFPUC WWE responsibility starts at the connection point to SFPUC WWE assets.
12. Any increase in wastewater demand shall be submitted to the SFPUC for review and approval including but not limited expansion of property, change in usage, addition of units, etc. The capacity of the sewer system will need to be analyzed to ensure that it can accommodate the flows. The developer has the option of providing the analysis, or SFPUC can provide the analysis. If the developer does the analysis, SFPUC WWE for review and approve. If SFPUC does the analysis, the developer shall reimburse the SFPUC for personnel time. Note if capacity is limited, additional mitigation will be required from the project.
13. Construction activities such as pile driving, compaction, pipe jacking and large excavations can damage SFPUC WWE assets. If these activities take place, monitoring for vibration and settlement of SFPUC WWE assets will be required. A monitoring plan shall be submitted to SFPUC for review and approval.
14. (For large excavation) Foundation excavation within the proposed property will likely impact utilities. A workplan needs to be reviewed and approved by SFPUC WWE prior to commencement of

excavation work including, but not limited to, excavation of basements and underground utilities. The project will need to perform pre- and post CCTV inspection of SFPUC WWE assets prior to commencement of any excavation. CCTV inspection performed by the developer shall comply with SFPUC standards. Resultant damaged shall be remedied by the developer.

15. Special foundations such as tie-backs, pressure grout / soil stabilization, etc., that encroach into public rights of way shall include pre and post CCTV inspection of SFPUC WWE assets to ensure no impact from project.
16. Pre and post construction videos of SFPUC WWE assets will be required if construction activities, such as the examples above, are performed. The videos shall be submitted in PACP format and reviewed by SFPUC WWE.
17. Dewatering discharge to the sewer system requires review and approval of SFPUC WWE.
18. All underground basements shall have a detailed permanent dewatering plan, including but not limited to water quality, estimated flow, etc.
19. SFPUC-WWE shall be notified prior to commencement of any construction activities.
20. Project shall reimburse the City for all construction management fees and project oversight during construction.
21. All newly installed sewers shall be air tested and televised according to SFPUC standards. Contractor shall coordinate with SFPUC staff for field witness of CCTV and testing. SFPUC standards can be obtained prior to construction.
22. New manholes will require vacuum testing and new sewers will require either air testing (to applicable ASTM standards) or Focused Electron Leak Locator (FELL).
23. Provide manhole details including a requirement for contractor shop drawings.
24. Provide monitoring plan for potential settlement of surrounding utilities and buildings.
25. If development of the subject parcel or parcels create or replace 5,000 square feet or more of impervious surface area, the development will be subject to the current SFPUC Stormwater Management Requirements, and the owner/Subdivider must submit a Stormwater Control Plan in compliance with those requirements to the SFPUC for review and approval.

### **SFPUC Power Enterprise Comments**

1. Hetch Hetchy Power -San Francisco Administrative Code Section 99 identifies certain types of development projects that present good opportunities for City electric service from the SFPUC. The SFPUC has been providing clean, reliable Hetch Hetchy Power for almost 100 years and is San Francisco's local publicly owned electric utility. The SFPUC provides its customers in new developments with 100% GHG-free electricity at stable, affordable rates. The SFPUC can assess the feasibility of providing clean energy to this project and whether such service would benefit the project and the City's existing electric customers. For more information, please contact [HHPower@sfpuc.org](mailto:HHPower@sfpuc.org).
2. Streetlights - Streetlight work may be required on the sidewalks where work is to be performed by the applicant. The applicant will fill out the streetlight review application at <https://sfpuc.org/construction-contracts/design-guidelines-standards/street-pedestrian-lighting> for review and approval. Please follow all streetlight guidelines, which can be found at the same website.

## **SFPUC Real Estate Services Comments**

At this time, the SFPUC Real Estate Services Division does not identify any conflicts with the proposal as it relates to the SFPUC's property rights. However, the SFPUC is not waiving any rights or interests in the subject property that may exist by law.

The SFPUC will not accept utilities outside of the public right-of-way.

## **SAN FRANCISCO MUNICIPAL TRANSPORTATION AGENCY (SFMTA)**

Subdivider shall shift the curb line fronting Buildings 1, 2, and 3, reducing the travel lane widths to 12.5' to allow for a 12' sidewalk width. The Fire Department's required 26' clearance shall be maintained. The taper length to the adjacent existing 10.5' sidewalk can be determined during detailed design.

## **SAN FRANCISCO RECREATION AND PARK DEPARTMENT (RPD)**

Subdivider shall avoid disrupting the slope on the property in a manner that would cause adverse impacts, including removal of lateral support, to the adjacent RPD-owned natural area at Bayview Park. A geotechnical report prepared by a licensed geotechnical engineer shall confirm that any retaining walls are designed to ensure slope stability. Subdivider shall comply with all applicable requirements including the Slope and Seismic Hazard Zone Protection Act and shall undergo review as determined by DBI as detailed in Information Sheet S-19.

## **PUBLIC WORKS: BUREAU OF STREET USE AND MAPPING (BSM) MAPPING DIVISION:**

1. The Final Map title block shall indicate this project as: A 122 Residential New Condominium Units, being a Subdivision of The Certain Real Property Described in that/those Certain *(Provide vesting document name, document number and recording information. For subdivision maps, include book and page of recordation.)*
2. The recording information of all the Notice of Special Restrictions affecting the property shall be referenced on Final Map 10847, and a note added: "this subdivision is subject to the terms and conditions" of said recorded document.
3. The exterior Subdivision boundary shall be monumented to the satisfaction of the City and County Surveyor and in accordance with Appendix A of the 2015 CCSF Subdivision Regulations. Along right of way lines, provide monumentation on a six (6) foot offset line at each property corner extended. Reference set monumentation on the Final Map as appropriate or show monumentation TO BE SET at each location noted above. If monuments are shown "TO BE SET" on the final map, then the following note shall be included on the map: Monuments shown on this map "To Be Set" shall be set no later than xx/xx/20xx.
4. If said monuments vary in position or description from what is shown on this map, such variance shall be noted and filed with the City and County Surveyor of San Francisco in either a Corner Record or Certificate of Correction.

5. Any City interest in real property, including abutter's rights, that may conflict with this development must be vacated and/or relinquished and/or Subdivider shall otherwise address such interest to the City's sole satisfaction prior to submittal of the Final Map check print.
6. Subdivider shall comply with all provisions of the CCSF Subdivision Code, CCSF Subdivision Regulations, CCSF Mapping Standards, CA Subdivision Map Act, and CA Professional Land Surveyors Act.

Sincerely,

---

William Blackwell  
Acting City and County Surveyor

cc: Nik Krukowski

## AFTER ISSUANCE OF THE TENTATIVE MAP DECISION (APPROVAL OR CONDITIONAL APPROVAL)

Submit the initial FINAL MAP or PARCEL MAP check print in pdf format to [subdivision.mapping@sfdpw.org](mailto:subdivision.mapping@sfdpw.org) for technical review. Use the following naming convention for this initial check print submittal: PIDxxxx\_ABxxxx\_date (use yyyyymmdd format).

Submit one (1) copy of the completed Map Review Checklist. Go to the SFPW website to print this list.

<http://www.sfdpw.org>, under "Services A-Z", select "More" then select "Mapping, Maps". Under "Information for Mapping Professionals," select "Map Review Checklist."

Submit electronic closure calculations for non-rectangular boundaries. This is needed for SFPW's technical map review process (this is a task for your surveyor/engineer).

Submit a tracking spreadsheet detailing the satisfaction of those conditions of approval as detailed herein. (Per the 2015 San Francisco Subdivision Regulations at page 12 item 3, and also at page 27 item "B".)

**Note:** City and County Surveyor may request a copy of the land surveyor's field notes or any other relevant survey information necessary to support the submitted check print map.

## CHECKPRINT AND SUBDIVISION MAP REVIEW PROCESS

Respond promptly to additional requests for information

Make requested changes to check prints and resubmit revised check print (if requested) to [subdivision.mapping@sfdpw.org](mailto:subdivision.mapping@sfdpw.org) using the naming convention for any subsequent check print submittal, PIDxxxx\_ABxxxx\_date (use yyyyymmdd format).

When requested by SFPW, submit the signed map in Mylar form and the documents + recording fees requested on the Mylar Request Transmittal :

- **Department of Public Works will not accept incomplete mylar submittal packages. All items requested in the initial mylar request must be submitted in a single package, or be in possession of SFPW. Incomplete submittals will be returned.**
- Updated Preliminary Title Report (dated within 45 days of mylar submittal).
- Valid Tax Certificate (obtained from the Office of the Treasurer and Tax Collector).
- Check for recordation fee
- **All other documents requested per the Mylar Request transmittal.**

In those cases where a City Agency issued conditional approval of the map, mylars **should not** be submitted to SFPW until:

- The agency that issued the conditions has provided SFPW with confirmation that they have been met.
- The applicant has addressed the agency's conditions.

**Following submittal of the Mylar map, SFPW will continue processing the map and finalizing with the filing of the FINAL MAP or the PARCEL MAP in the office of the County Recorder.**

See “KEY Activities in the Condominium Process” on page 3 of application for a more detailed description of the above.



San Francisco Public Works  
General – Director's Office  
49 South Van Ness Ave., Suite 1600  
San Francisco, CA 94103  
(628) 271-3160 [www.SFPublicWorks.org](http://www.SFPublicWorks.org)

**Public Works Order No: 206209**

DETERMINATION THAT SAN FRANCISCO'S RESERVED ABUTTER'S RIGHTS ON OR ABOUT ASSESSOR'S PARCEL BLOCK NO. 4991, LOT NO. 276 (725 JAMESTOWN AVENUE) ARE NOT REQUIRED TO PROVIDE ACCESS TO THE PUBLIC RIGHT-OF-WAY AND/OR FUTURE SUBDIVISIONS

WHEREAS, Under a Grant Deed dated May 26, 1964, approved by the San Francisco Board of Supervisors on May 7, 1964, by Ordinance No. 121-64, (recorded in the Official Records at Book A776, Page 422), and under a Quitclaim Deed approved by this Board of Supervisors on January 9, 1967 by Ordinance No. 19-67 (recorded in the Official Records at Book B125 page 698) (collectively, the "Deeds"), the City reserved abutter's rights of access (the "Reserved Abutter's Rights") to the property located at 725 Jamestown Avenue, San Francisco (Assessor's Parcel Block No. 4991, Lot No. 276; the "Jamestown Property"); and

WHEREAS, On July 9, 2020, by Planning Commission Resolution No. 20755, the San Francisco Planning Commission adopted California Environmental Quality Act (CEQA) Findings and findings of consistency with the General Plan, and Planning Code, Section 101.1, and approved the construction of a residential project with approximately 122 dwelling units (the "Jamestown Project") on the Jamestown Property (which the Planning Commission Resolution denotes as "853 Jamestown Avenue"), including the construction of curbs cuts on Jamestown Avenue for street access to the Jamestown Project; and

WHEREAS, The proposed street improvements for the Jamestown Project, including the curb cuts on Jamestown Avenue, were reviewed by and designed with input from the City's Street Design Advisory Taskforce ("SDAT"), comprised of representatives of Public Works, the Municipal Transportation Agency ("SFMTA"), the Fire Department, and the Planning Department, which review was formalized in a memorandum published by SDAT on December 11, 2019; and;

WHEREAS, On February 25, 2022, Public Works approved the application for Vesting Tentative Map No. 10847 to subdivide the Jamestown Property consistent with the plans for the Jamestown Project and this approval was conditioned upon the City's vacation and/or relinquishment of the Reserved Abutter's Rights prior to the submittal of the Final Map; and

WHEREAS, To enable the Jamestown Project to proceed with the identified curb cuts, the City

would need to abandon the Reserved Abutter's Rights; and

WHEREAS, Based on the City's review of the Jamestown Project noted herein, including Public Works' and SFMTA's review of the Vesting Tentative Map No. 10847;

THEREFORE, Public Works hereby determines that:

1. The Reserved Abutter's Rights are not required to provide access to the public right-of-way and/or future subdivisions; and
2. The purpose for which the Reserved Abutter's Rights exist no longer exists and the Reserved Abutter's Rights are no longer needed.

RECOMMENDED:

APPROVED:

X

DocuSigned by:

*William E Blackwell Jr*

Blackwell, William

Acting City and County Surveyor

X

DocuSigned by:

*Carla Short*

Short, Carla

Interim Director of Public Works

**Certificate Of Completion**

Envelope Id: 181A2795DBEE437D8F223056743B53D8

Status: Completed

Subject: Order 206209 - PID 10847 - JAMESTOWN PROJECT

Source Envelope:

Document Pages: 2

Signatures: 2

Envelope Originator:

Certificate Pages: 2

Initials: 0

DPW DocuSign

AutoNav: Enabled

49 S Van Ness Ave

Enveloped Stamping: Enabled

San Francisco, CA 94103

Time Zone: (UTC-08:00) Pacific Time (US &amp; Canada)

dpw-docusign.service@sfdpw.org

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Holder: DPW DocuSign

Location: DocuSign

3/9/2022 3:21:08 PM

dpw-docusign.service@sfdpw.org

**Signer Events**

William E Blackwell Jr

William.Blackwell@sfdpw.org

Public Works

Security Level: Email, Account Authentication  
(None)**Signature**

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EACAD7707222400...**Timestamp**

Sent: 3/9/2022 3:21:09 PM

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Signature Adoption: Pre-selected Style

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**Electronic Record and Signature Disclosure:**

Not Offered via DocuSign

Short, Carla

Carla.Short@sfdpw.org

Interim Director

Public Works

Security Level: Email, Account Authentication  
(None)

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Sent: 3/9/2022 3:22:04 PM

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**In Person Signer Events****Signature****Timestamp****Editor Delivery Events****Status****Timestamp****Agent Delivery Events****Status****Timestamp****Intermediary Delivery Events****Status****Timestamp****Certified Delivery Events****Status****Timestamp****Carbon Copy Events****Status****Timestamp**

Wong, Jason

jason.c.wong1@sfdpw.org

Public Works

Security Level: Email, Account Authentication  
(None)

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**Electronic Record and Signature Disclosure:**

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**Witness Events****Signature****Timestamp**

Notary Events	Signature	Timestamp
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Envelope Summary Events	Status	Timestamps
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Envelope Sent	Hashed/Encrypted	3/9/2022 3:21:09 PM
Certified Delivered	Security Checked	3/10/2022 8:15:17 AM
Signing Complete	Security Checked	3/10/2022 8:15:22 AM
Completed	Security Checked	3/10/2022 8:15:22 AM

Payment Events	Status	Timestamps
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**Introduction Form**

By a Member of the Board of Supervisors or Mayor

Time stamp  
or meeting date

I hereby submit the following item for introduction (select only one):

- ☒ 1. For reference to Committee. (An Ordinance, Resolution, Motion or Charter Amendment).
- ☐ 2. Request for next printed agenda Without Reference to Committee.
- ☐ 3. Request for hearing on a subject matter at Committee.
- ☐ 4. Request for letter beginning : "Supervisor  inquiries"
- ☐ 5. City Attorney Request.
- ☐ 6. Call File No.  from Committee.
- ☐ 7. Budget Analyst request (attached written motion).
- ☐ 8. Substitute Legislation File No.
- ☐ 9. Reactivate File No.
- ☐ 10. Topic submitted for Mayoral Appearance before the BOS on

Please check the appropriate boxes. The proposed legislation should be forwarded to the following:

- ☐ Small Business Commission      ☐ Youth Commission      ☐ Ethics Commission
- ☐ Planning Commission      ☐ Building Inspection Commission

**Note: For the Imperative Agenda (a resolution not on the printed agenda), use the Imperative Form.**

Sponsor(s):

Subject:

The text is listed:

Resolution approving the abandonment and release of the City's reserved abutter's rights to permit curb cuts at 725 Jamestown Avenue, San Francisco (Assessor's Parcel Block No. 4991, Lot No. 276); authorizing the abandonment and release of the City's reserved abutter's rights on a final map and the execution of a corresponding quitclaim deed; finding the proposed release is in conformance with the General Plan, and the eight priority policies of Planning Code, Section 101.1; and adopting California Environmental Quality Act findings.

Signature of Sponsoring Supervisor: 

For Clerk's Use Only