

MILLS ACT HISTORICAL PROPERTY CONTRACT

SUPPLEMENTAL APPLICATION

Note: Applications must be submitted in both hard copy and digital copy form to the Planning Department at 49 South Van Ness Avenue., Suite 1400 by May 1 in order to comply with the timelines established in the Application Guide. Please submit only the Application and required documents.

Property Information

Project Address: 988 Market Street

Block/Lot(s): 0342 / 019-040 (0342-018 not included, but owner consenting hereto)

Is the entire property owner-occupied?

☐ Yes ☐ No

If **NO**, please provide an approximate square footage for owner-occupied areas vs. rental income (non-owner-occupied areas). Attach a separate sheet of paper if necessary.

Rental Income Information

Include information regarding any rental income on the property, including anticipated annual expenses, such as utilities, garage, insurance, building maintenance, etc.? Attach a separate sheet of paper if necessary.

See attached.

Property Owner's Information

(If more than three owners attach additional sheets as necessary. Property owner names must be listed exactly as listed on the deed)

Name (Owner 1): Joy Ou

Company/Organization: Marlin Cove, Inc.

Address: 988 Market Street, Suite 400 Email Address: mark@groupi.com

Telephone: 415.394.9016

Name (Owner 2): Joy Ou

Company/Organization: 140 Partners, LP

Address: 988 Market Street, Suite 400 Email Address: mark@groupi.com

Telephone: 415.394.9016

Name (Owner 3): David Grieve

Company/Organization: ACV Warfield, LLC (as owner of separate APN 0342018 in structure, not applicant)

Address: 465 First Street West, 2nd Floor

Sonoma, CA 95476

Email Address: N/A

Telephone: 707-935-3700

Do you own other property in the City and County of San Francisco? $\ \ \square$ Yes $\ \ \square$ No	
If YES , please list the addresses and Block/Lot(s) for all other property of	owned within the City of San Francisco.
140 Partners, LP is the owner of: (1) 1301 Folson APN 6055/001.	n Street APN: 3519/001; and (2) 770 Woolsey Street
Applicant Information	
Name: Mark Shkolnikov	
Company/Organization: Marlin Cove Inc. & 140 Partner	s LP
Address: 988 Market Street, Suite 400	Email Address: mark@groupi.com
	Telephone: 415.394.9016
Please Select Billing Contact	
Name:	-1.1
Email Address:	Telephone:
Please Select Primary Project Contact: ☐ Owner	
Qualified Historic Property	
☐ Individually Designated Pursuant to Article 10 of the Planning Code Landmark No.: Landmark Name:	е.
☐ Contributing Building in a Landmark District Designated Pursuant Landmark District Name:	to Article 10 of the Planning Code.
☑ Significant (Category I or II) Pursuant to Article 11 of the Planning C	ode.
☐ Contributory (Category III) Pursuant to Article 11 of the Planning Co	ode
☐ Contributory (Category IV) to a Conservation District Pursuant to A	rticle 11 of the Planning Code.
☐ Individual Landmark under the California Register of Historical Reso	ources
☑ Contributory Building in California Register of Historical Resources	Historic Districts.
☐ Individual Landmark listed in the National Register of Historic Place	25.
Contributory Building listed in the National Register of Historic Place	ces as a Historic District.
$\hfill \square$ Submitted a complete application for listing or designation on or bounds of the submitted section of the subm	pefore December 31 of the year before the application is made.
Are there any outstanding violations on the property from the San Fra YES, all outstanding violations must be abated and closed for eligibilit ☐ Yes ☑ No	ncisco Planning Department or the Department of Building Inspection? If y for the Mills Act.
Are taxes on all property owned within the City and County of San Franthe Mills Act. ☑ Yes ☐ No	ncisco paid to date? If NO , all property taxes must be paid for eligibility for
NOTE: All property owners are required to include a copy of their most received	ent property tay hill

PAGE 12 | APPLICATION GUIDE - Mills Act Historical Property Contract

Most Recent Assessed Value: \$	22,873,681 (see attached spreadsheet)
Choose one of the following op	otions:
The property is a Residential Bu ☐ Yes ☐ No	uilding valued at less than \$3,000,000
The property is a Commercial/I ☐ Yes ☑ No	ndustrial Building valued at less than \$5,000,000
Exemption from Tax A	Assessment Value
MUNICIPAL DE LES TOTAL	ne Tax Assessment Value, please explain below how the property meets the following two criteria and why it should
If the property value exceeds the exempt from the Tax Assess 1. The site, building, or object, or	ne Tax Assessment Value, please explain below how the property meets the following two criteria and why it should

2. Granting the exemption will assist in the preservation of a site, building, or object, or structure that would otherwise be in danger of demolition, substantial alteration, or disrepair.

The wake of the Covid-19 pandemic drastically shifted demand for office use, reducing pedestrian activity and demand for storefront retail within the District, and calling into question the long-term feasibility of maintaining the historic building with commercial-only programming. The applicants are proposing to convert a portion of the office uses to residential uses, with further ground floor improvements to accommodate the new residential uses. The proposal intends to simultaneously attract long-term tenanting of the building, as well as a sizable amount of new, round-the-clock foot traffic to the ground-level shops, Warfield Theater, and entire District.

NOTE: A Historic Structures Report, completed by a qualified historic preservation consultant, must be submitted in order to apply for an exemption from the tax assessment value.

Property owner will ensure that a portion of the Mills Act tax savings will be used to finance the preservation, rehabilitation, and maintenance of the property.

☑ Yes ☐ No

Priority Consideration Criteria

Please check the appropriate criteria as they apply to your property and explain on a separate piece of paper how the property meets the stated Priority Consideration Criteria. Only properties qualifying in three of the five categories are given priority consideration.

Necessity: The project will require a financial incentive to help ensure the preservation of the property. This criterion will establish that the property is in danger of deterioration and in need of substantial rehabilitation and restoration that has significant associated costs. Properties with open complaints, enforcement cases or violations will not meet this criterion. See attached rehabilitation plan detailing need for help to ensure preservation of property. Despite the anticipated long-term benefits of adding residential uses to the building to support on-going preservation of the building, adding the cost of this work to the project (under particularly challenging marketing conditions) would render the project infeasible. Investment: The project will result in additional private investment in the property other than for routine maintenance. This may include seismic retrofitting and substantial rehabilitation and restoration work. This criterion will establish that the owner is committed to investing in the restoration, rehabilitation and maintenance the property. The project to convert a portion of the building's office uses to residential will result in additional private investment to ensure both near-term rehabilitation and restoration and long-term historic building maintenance as described in the attached plans. Distinctiveness: The project preserves a distinctive example of a property that is especially deserving of a contract due to its exceptional nature. The project to convert a portion of the building's office uses to residential will help reinvigorate a key property in the District and ensure foot traffic in the District, a central component of the District's history as a center of attraction in the City. ☐ Recently Designated City Landmarks: properties that have been recently designated landmarks will be given priority consideration. ☐ Legacy Business: The project will preserve a property at which a business included in the Legacy Business Registry is located. This criterion will establish that the owner is committed to preserving the property, including physical features that define the existing Legacy Business.

Photographic Documentation
Provide both interior and exterior images (either on separate sheets of paper or digitally) and label the images properly.
Site Plan
On a separate sheet of paper, show all buildings on the property including lot boundary lines, street name(s), north arrow and dimensions on a site plan.
Rehabilitation/Restoration & Maintenance Plans
A 10 Year Rehabilitation/Restoration Plan, including estimates prepared by qualified contractors, has been submitted detailing work to be performed on the subject property ☑ Yes ☐ No
A 10 Year Maintenance Plan has been submitted detailing work to be performed on the subject property ☑ Yes ☐ No
Proposed work will meet the Secretary of the Interior's Standards for the Treatment of Historic Properties, the California Historic Building Code and applicable Codes and Guidelines, including the Planning Code and Building Code.

Signature and Notary Acknowledgement Form

By signing below, I/we acknowledge that I/we am/are the owner(s) of the structure referenced above and by applying for exemption from the limitations certify, under the penalty of perjury, that the information attached and provided is accurate. Attach notary acknowledgement.

Joy Ou, President of Group i, Manager of Marlin Cove Inc and 140 Partners LP		
Name (Print)	· · · · · · · · · · · · · · · · · · ·	
5/01/2023		
Date		
Signature	,	
David Grieve, Chairman and CEO of A&C Ventures		
Name (Print)		
Date		
Signature		
Name (Print)		
Date		
Signature		
Public Information Release	2	
Please read the following statements and check each to indicate the space provided.	at you agree with th	e statement. Then sign below in the
I understand that submitted documents will become public record documents will be made available upon request to members of the		
I acknowledge that all photographs and images submitted as part compensation.	of the application ma	ay be used by the City without
Joy Ou, President of Group i, Manager of Marlin Cove Inc and 140 Partners LP		
Name (Print)		
5/01/2023		
Date		
Signature	×.	

CERTIFICATE OF ACKNOWLEDGMENT OF NOTARY PUBLIC

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California) County of San Francisco)
On $5/1/2023$, before me, $Alan$ long, a Notary Public, personally appeared 504000 , who proved to me on the basis of
personally appeared 504 Ou , who proved to me on the basis of
satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within
instrument and acknowledged to me that he/she/they executed the same in his/her/their
authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or
the entity upon behalf of which the person(s) acted, executed the instrument.
I certify under PENALTY OF PERJURY under the laws of the State of California that the
foregoing paragraph is true and correct.
WITNESS my hand and official seal.
Signature ALAN LEONG Notary Public - California San Francisco County Commission # 2404244 My Comm. Expires May 19, 2026

Signature and Notary Acknowledgement Form

By signing below, I/we acknowledge that I/we am/are the owner(s) of the structure referenced above and by applying for exemption from the limitations certify, under the penalty of perjury, that the information attached and provided is accurate. Attach notary acknowledgement.

Joy Ou, President of Group I, Manager of Martin Cove Inc and 140 Partners LP			
Name (Print)			
Dete			
Date			
Signature			
David Grieve, Chairman and CEO of A&C Ventures			
Name (Print)			
May 1, 2023			
Date			
Signature			
Name (Print)			
Traine (Time)			
Date			
Signature			
Public Information Release			
Please read the following statements and check each to indicate the space provided.	at you agree with the sta	tement. Then sign	n below in the
I understand that submitted documents will become public records documents will be made available upon request to members of the			and that these
I acknowledge that all photographs and images submitted as part of compensation.	of the application may be	e used by the City	without
Joy Ou, President of Group i, Manager of Marlin Cove Inc and 140 Partners LP			
Name (Print)			
Date			
Signature			

CERTIFICATE OF ACKNOWLEDGMENT OF NOTARY PUBLIC

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California) County of San Francisco Sanoma)
On May 1,2023, before me, Elizabeth Akere, a Notary Public, personally appeared David R. Grieve, who proved to me on the basis of
satisfactory evidence to be the person() whose name() are subscribed to the within
instrument and acknowledged to me that he she/they executed the same in his her/their authorized capacity (ies), and that by his her/their signature (s) on the instrument the person(s), o
the entity upon behalf of which the person(b) acted, executed the instrument.
I certify under PENALTY OF PERJURY under the laws of the State of California that the
foregoing paragraph is true and correct.
WITNESS my hand and official seal. ELIZABETH AKERS Notary Public - California- Sonoma County Commission # 2438256 My Comm. Expirés Feb 14, 2027
Signature

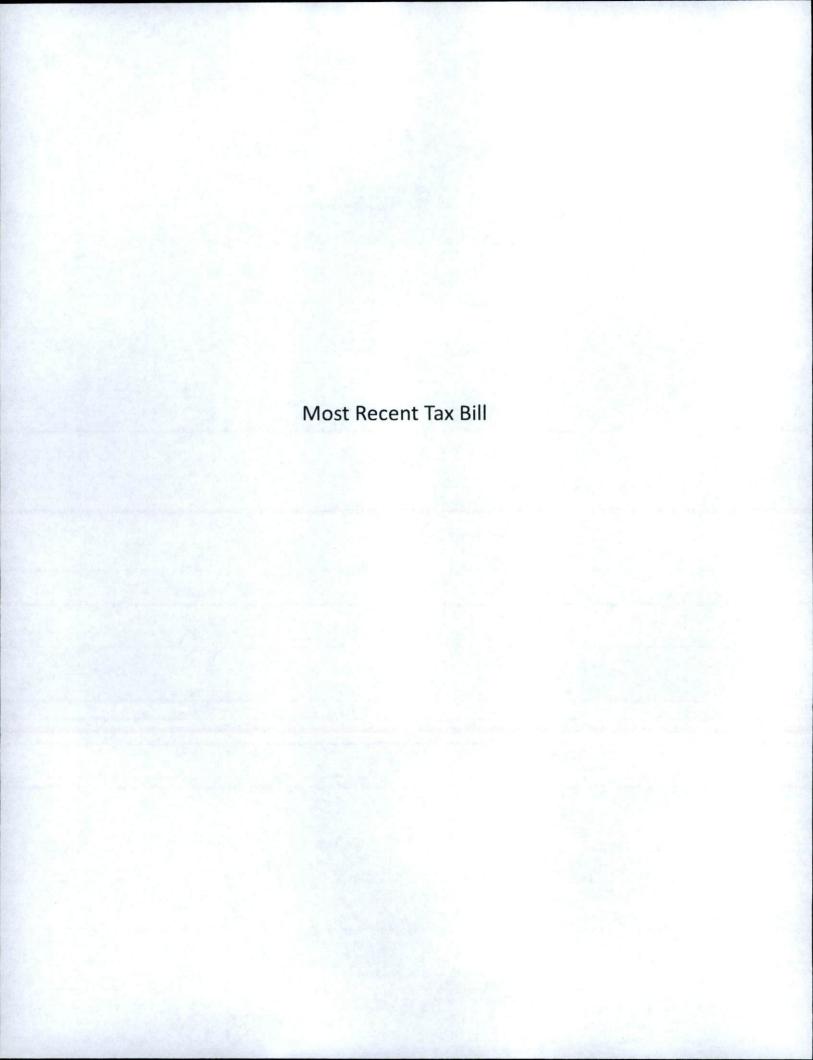
Rental Information (current rental income, along with annual expenses (utilities, insurance, building maintenance, etc.))

2022 Mon Ended 12/31/22

			12 Mon Ended 12/31/22 (1/1/22 to 12/31/22)	
Rental Revenu	ie			
R	ental Income			2,140,34
C	AM - Current Year			77,13
C	AM - Prior Year			28,41
L	Itilities Income			53,06
S	torage Income			32
Total Rental R	evenue			2,299,29
Other Revenu	e			
	teimbursable Income			9,40
Total Other Re				9,40
Total Revenue				\$2,308,69
rotor neverior				,-,,
Operating Exp				2.24
	anitorial - Contract			3,24
	anitorial - Supplies			2
	idewalk Cleaning			35
	ecurity Guard - Contract			16,08
	rash Removal			13,87
	lectrical - Supplies			1,12
F	Plumbing - Repair			28,46
	Plumbing - Supplies			9
	Pest Control - Contract			3,88
0	General Maintenance			10,87
(General Repair			9,82
(General Supplies			1,34
E	xterior Painting & Waterproofing			6,74
	Graffiti Removal			12
Total Operation	ng Expenses			\$96,04
Utilities				
ı	Jtilities - Electricity			48,70
ı	Jtilities - Gas			96
ı	Jtilities - Water			7,71
Total Utilities				\$57,38
Administrativ	es			
L	egal			2,29
F	Postage/Delivery Charges			5
	Dues/Subscriptions			6
E	Bank/Finance Charge			14
1	Management Fee Expenses			159,04
	Owners Association Dues *			202,92
0	Gross SF Commercial Rent Tax			37,77
E	Business Registration Fee			6
Total Adminis	tratives	and the		\$402,36
Property Taxe	s			
P	Property Taxes			159,78
1	40P Excess Over Base Prop Tax			107,73
S	pecial Assessment			28,85
Total Property	y Taxes			\$296,36
Total Operation	ng and Non-Operating Expenses			\$852,15
Net Operating	Income			\$1,456,54
	nterest Expenses			1,285,33
				\$171,21
Pre-Tax Net Ir				

Assessed Value of Property &
Other Owned Property

			1000年进步2000年	PETANE S	Fiscal 2022-2023 (7/1/22-6/30/23)	
Location	Unit No	Block 0342	Ownership	Land	Structure	Taxable Value
Ground Floor	984	Lot 19	140 Partners LP & Marlin Cove Inc. as TIC	\$117,646	\$78,429	\$196,075
Ground Floor	988	Lot 20	140 Partners LP & Marlin Cove Inc. as TIC	\$155,608	\$103,735	\$259,343
Ground Floor	990	Lot 21	140 Partners LP & Marlin Cove Inc. as TIC	\$104,559	\$69,705	\$174,264
Ground Floor	994	Lot 22	140 Partners LP & Marlin Cove Inc. as TIC	\$109,162	\$72,771	\$181,933
Ground Floor	998	Lot 23	140 Partners LP & Marlin Cove Inc. as TIC	\$612,211	\$408,139	\$1,020,350
Ground Floor	16	Lot 24	140 Partners LP & Marlin Cove Inc. as TIC	\$120,227	\$80,148	\$200,375
2nd Floor (1st floor Mezz)	1M1	Lot 25 *	140 Partners LP & Marlin Cove Inc. as TIC	\$256,246	\$170,830	\$427,076
2nd Floor (1st floor Mezz)	1M2	Lot 26	140 Partners LP & Marlin Cove Inc. as TIC	\$677,123	\$451,414	\$1,128,537
3rd Floor	201	Lot 27	140 Partners LP & Marlin Cove Inc. as TIC	\$690,777	\$460,516	\$1,151,293
3rd Floor	202	Lot 28	140 Partners LP & Marlin Cove Inc. as TIC	\$790,595	\$527,061	\$1,317,656
4th Floor	301	Lot 29	140 Partners LP & Marlin Cove Inc. as TIC	\$691,914	\$461,271	\$1,153,185
4th Floor	302	Lot 30	140 Partners LP & Marlin Cove Inc. as TIC	\$953,029	\$635,351	\$1,588,380
5th floor	401	Lot 31 *	140 Partners LP & Marlin Cove Inc. as TIC	684,467	456,306	\$1,140,773
5th floor	402	Lot 32 *	140 Partners LP & Marlin Cove Inc. as TIC	\$949,051	\$632,698	\$1,581,749
6th Floor	501	Lot 33 *	140 Partners LP & Marlin Cove Inc. as TIC	\$679,138	\$452,759	\$1,131,897
6th Floor	502	Lot 34 *	140 Partners LP & Marlin Cove Inc. as TIC	\$949,617	\$633,075	\$1,582,692
7th Floor	601	Lot 35 *	140 Partners LP & Marlin Cove Inc. as TIC	\$713,842	\$475,892	\$1,189,734
7th Floor	602	Lot 36 *	140 Partners LP & Marlin Cove Inc. as TIC	\$1,024,040	\$682,691	\$1,706,731
8th Floor	701	Lot 37 *	140 Partners LP & Marlin Cove Inc. as TIC	\$713,842	\$475,892	\$1,189,734
8th Floor	702	Lot 38 *	140 Partners LP & Marlin Cove Inc. as TIC	\$1,022,903	\$681,932	\$1,704,835
9th Floor	801	Lot 39 *	140 Partners LP & Marlin Cove Inc. as TIC	\$698,997	\$465,998	\$1,164,995
9th Floor	802	Lot 40 *	140 Partners LP & Marlin Cove Inc. as TIC	\$1,009,245	\$672,829	\$1,682,074
STATE OF THE STATE OF				\$13,724,239	\$9,149,442	\$22,873,681





1 Dr. Carlton B. Goodlett Place City Hall, Room 140 San Francisco, CA 94102 www.sftreasurer.org

 Vol
 Block
 Lot
 Bill No
 Mail Date
 Property Location

 03
 0342
 019
 20220286904
 October
 11, 2022
 982-998 MARKET ST

Assessed on January 1, 2022 at 12:01am To: NAME WITHHELD PER CA AB 2238

ADDRESS INFORMATION NOT AVAILABLE ONLINE

► TOTAL DUE	\$3,645.74
1st Installment	2nd Installment
\$1,822.87	\$1,822.87
Due 12/12/2022	Due 04/10/2023

Assessed Value

		Description	Full Value	
Important N	lessages	Land	\$117,646	
7		Structure	\$78,429	
		Fixtures		
		Personal Property		
		Gross Taxable Value	\$196,075	
		Less HO Exemption	\$0	
		Less Other Exemption	\$0	
		Net Taxable Value	\$196,075	
		TaxAmount	\$2,313.12	
	Di a Ch		\$2,313	

Direct Charges an	d Special Assessments	
Туре	Telephone	Amount Due
46 - San Francisco Bay Restoration Authority 62 - North of Market/Tenderloin CBD 89 - SFUSD Facilities District 91 - SFCCD Parcel Tax 98 - SFUSD - Teacher Support 101 - School Parcel Tax of 2020	(888) 508-8157 (415) 292-4812 (415) 355-2203 (415) 487-2400 (415) 355-2203 (415) 355-2203	\$12.00 \$600.00 \$40.52 \$99.00 \$283.86 \$297.24
Total Direct Charges and Special Assessments		\$1,332.62

(2)

es and a special respective records. See back of bill for payment options and additional information.

City & County of San Francisco
Pay online at v
Property Tax Bill (Secured)

For Fiscal Year July 1, 2022 through June 30, 2023

Pay online at www.sftreasurer.org

Vol	Block	Lot	Bill No	Property Location	_
03	0342	019	20220286904	982-998 MARKET ST	

Check if contribution to Arts Fund is enclosed.
For other donation opportunities go to www.Give2SF.org

Write your block and lot on your check.
2nd Installment cannot be accepted unless 1st is pa

2

Pay by April 10, 2023 \$1,822.87

If paid after includes 10% applicable fees April 10, 2023 \$2,050.15

San Francisco Tax Collector Secured Property Tax P.O. Box 7426

San Francisco, CA 94120-7426

E005 0000 000000000 000000000 P0P48505505 00P400000PE0E0



City & County of San Francisco Property Tax Bill (Secured) For Fiscal Year July 1,2022 through June 30,2023 Pay online at www.sftreasurer.org

Vol	Block	Lot	Bill No	Property Location
03	0342	019	20220286904	982-998 MARKET ST

Check if contribution to Arts Fund is enclosed.

For other donation opportunities go to www.Give2SF.org

Write your block and lot on your check.
If property has been sold, please forward bill to new owner.

01

Pay by December 12, 2022 \$1,822.87

If paid after December 12, 2022 \$2,005.15

includes 10% penalty

San Francisco Tax Collector Secured Property Tax P.O. Box 7426 San Francisco, CA 94120-7426

Paid 12/07/2022



0342

020

Assessed on January 1, 2022, at 12:01am

20220286905

City & County of San Francisco José Cisneros, Treasurer David Augustine, Tax Collector Property Tax Bill (Secured) For Fiscal Year July 1,2022 through June 30, 2023

11, 2022

October

1 Dr. Carlton B. Goodlett Place City Hall, Room 140 San Francisco, CA 94102 www.sftreasurer.org

982-998 MARKET ST

To: NAME WITHHELD PER CA AB 2238 ► TOTAL DUE \$4,392.12 1st Installment 2nd Installment **ADDRESS INFORMATION** \$2,196.06 \$2,196.06 **NOT AVAILABLE ONLINE** Due 12/12/2022 Due 04/10/2023 Assessed Value Full Value Land \$155,608 Important Messages Structure \$103,735 Fixtures Personal Property Gross Taxable Value \$259,343 Less HO Exemption \$0 Less Other Exemption 50 **Net Taxable Value** \$259,343 **Tax Amount** \$3,059.50 **Direct Charges and Special Assessments** Amount Due 46 - San Francisco Bay Restoration Authority 62 - North of Market/Tenderloin CBD 89 - SFUSD Facilities District 91 - SFCCD Parcel Tax \$12.00 \$600.00 \$40.52 \$99.00 (888) 508-8157 (415) 292-4812 (415) 355-2203 (415) 487-2400 98 - SFUSD - Teacher Support 101 - School Parcel Tax of 2020 (415) 355-2203 (415) 355-2203 \$283.86 \$297.24 **Total Direct Charges and Special Assessments** \$1,332.62 Keep this portion for your records. See back of bill for payment options and additional information City & County of San Francisco Pay online at www.sftreasurer.org Property Tax Bill (Secured) For Fiscal Year July 1,2022 through June 30, 2023 Bill No 03 0342 020 20220286905 982-998 MARKET ST Check if contribution to Arts Fund is enclosed. 2nd Installment Due For other donation opportunities go to www.Give2SF.org April 10, 2023 \$2,196.06 Pay by Write your block and lot on your check. 2nd Installment cannot be accepted unless 1st is paid April 10, 2023 If paid after \$2,460.66 includes 10% penalty and applicable fees San Francisco Tax Collector Secured Property Tax P.O. Box 7426 San Francisco, CA 94120-7426 0303420002000 20220286905 000000000 00000000 0000 2003 City & County of San Francisco Pay online at www.sftreasurer.org Property Tax Bill (Secured) For Fiscal Year July 1,2022 through June 30, 2023 0342 020 20220286905 982-998 MARKET ST Check if contribution to Arts Fund is enclosed. 1st Installment Due For other donation opportunities go to www.Give2SF.org Write your block and lot on your check.
If property has been sold, please forward bill to new owner. \$2,196.06 December 12, 2022 If paid after December 12, 2022 \$2,415.66 includes 10% penalty San Francisco Tax Collector San Francisco Tax Con-Paid 12/07/2022 P.O. Box 7426 San Francisco, CA 94120-7426



1 Dr. Carlton B. Goodlett Place City Hall, Room 140 San Francisco, CA 94102 www.sftreasurer.org

For Fiscal Year July 1,2022 through June 30, 2023 Mail Date October 11, 2022 03 0342 021 20220286906 982-998 MARKET ST Assessed on January 1, 2022 at 12:01am To: NAME WITHHELD PER CA AB 2238 TOTAL DUE \$3 388 43

ADDRESS INFORMATION NOT AVAILABLE ONLINE

PIOIALDEL	\$3,300.42
1st Installment	2nd Installment
\$1,694.21	\$1,694.21
Due 12/12/2022	Due 04/10/2023
Assesse	d Value
Description	Full Value
Land	£104 FF0

Important Messages \$104,559 Structure \$69,705 Fixtures Personal Property Gross Taxable Value \$174,264 Less HO Exemption \$0 Less Other Exemption \$0 Net Taxable Value \$174,264 **Tax Amount** \$2,055.80

Assessments Telephone (888) 508-8157	Amount Due
(888) 508-8157	\$12.00
(415) 292-4812 (415) 355-2203 (415) 487-2400 (415) 355-2203 (415) 355-2203	\$120.00 \$600.00 \$40.52 \$99.00 \$283.86 \$297.24
	\$1,332.62
	(415) 355-2203 (415) 487-2400 (415) 355-2203

Keep this portion for your records. See back of bill for payment options and additional information.

City & County of San Francisco Property Tax Bill (Secured) For Fiscal Year July 1,2022 through June 30,2023

Pay online at www.sftreasurer.org

0342 021 20220286906 982-998 MARKET ST

Check if contribution to Arts Fund is enclosed. For other donation opportunities go to www.Give2SF.org

Write your block and lot on your check.

2nd Installment cannot be accepted unless 1st is paid San Francisco Tax Collector Secured Property Tax P.O. Box 7426

2nd Installment Due April 10, 2023 \$1,694.21 Pay by April 10, 2023 If paid after \$1,908.63 includes 10% penalty and applicable fees

0303450005700 5055059P40P 00000000 00000000 0000 5003



City & County of San Francisco Property Tax Bill (Secured) For Fiscal Year July 1,2022 through June 30,2023 Pay online at www.sftreasurer.org

Vol	Block	Lot	Bill No	Property Location
03	0342	021	20220286906	982-998 MARKET ST
	A STATE OF THE PARTY OF THE PAR		BORNEY OF SHIP STORY CONTROL	

Check if contribution to Arts Fund is enclosed. For other donation opportunities go to www.Give2SF.org

Write your block and lot on your check. If property has been sold, please forward bill to new owner

San Francisco Tax Collector Secured Property Tax P.O. Box 7426 San Francisco, CA 94120-7426

San Francisco, CA 94120-7426

	1st Installment	Due
Pay by	December 12, 2022	\$1,694.21
If paid afte includes	er December 12,2022 10% penalty	\$1,863.63
	Paid 12/07/2022	



Mail Date

1 Dr. Carlton B. Goodlett Place City Hall, Room 140 San Francisco, CA 94102 www.sftreasurer.org

03 0342 022 20220286907 October 11, 2022 982-998 MARKET ST Assessed on January 1, 2022 at 12:01am To: NAME WITHHELD PER CA AB 2238 ► TOTAL DUE \$3,478.90 1st Installment 2nd Installment ADDRESS INFORMATION \$1,739.45 \$1,739.45 NOT AVAILABLE ONLINE Due 12/12/2022 Due 04/10/2023 Assessed Value Full Value Land \$109,162 Important Messages Structure \$72,771 Fixtures Personal Property Gross Taxable Value \$181,933 Less HO Exemption 50 Less Other Exemption \$0 **Net Taxable Value** \$181,933 **Tax Amount** \$2,146.28 **Direct Charges and Special Assessments** 46 - San Francisco Bay Restoration Authority 62 - North of Market/Tenderloin CBD 89 - SFUSD Facilities District 91 - SFCCD Parcel Tax 98 - SFUSD - Teacher Support 101 - School Parcel Tax of 2020 (888) 508-8157 (415) 292-4812 (415) 355-2203 (415) 487-2400 \$12.00 \$600.00 \$40.52 \$99.00 (415) 355-2203 (415) 355-2203 5283.86 \$297.24 **Total Direct Charges and Special Assessments** \$1,332.62 Keep this portion for your records. See back of bill for payment options and additional information. City & County of San Francisco Pay online at www.sftreasurer.org Property Tax Bill (Secured) For Fiscal Year July 1,2022 through June 30, 2023 Bill No 03 0342 022 20220286907 982-998 MARKET ST Check if contribution to Arts Fund is enclosed. 2nd Installment Due For other donation opportunities go to www.Give2SF.org \$1,739.45 Pay by April 10, 2023 Write your block and lot on your check. 2nd Installment cannot be accepted unless 1st is paid April 10, 2023 If paid after \$1,958.39 includes 10% penalty and applicable fees San Francisco Tax Collector Secured Property Tax P.O. Box 7426 P.O. Box 7426 San Francisco, CA 94120-7426 0303420002200 20220286907 000000000 000000000 0000 2003 City & County of San Francisco Pay online at www.sftreasurer.org Property Tax Bill (Secured) For Fiscal Year July 1,2022 through June 30,2023 0342 022 20220286907 982-998 MARKET ST Check if contribution to Arts Fund is enclosed. 1st Installment Due For other donation opportunities go to www.Give2SF.org Write your block and lot on your chees.
If property has been sold, please forward bill to new owner. Pay by December 12, 2022 \$1,739.45 If paid after December 12, 2022 \$1,913.39 10% penalty San Francisco Tax Collector San Francisco Paid 12/07/2022 P.O. Box 7426 San Francisco, CA 94120-7426



San Francisco Tax Collector Secured Property Tax P.O. Box 7426 San Francisco, CA 94120-7426

City & County of San Francisco José Cisneros, Treasurer David Augustine, Tax Collector Property Tax Bill (Secured) Il Year July 1,2022 through June 30, 2023

1 Dr. Carlton B. Goodlett Place City Hall, Room 140 San Francisco, CA 94102 www.sftreasurer.org

	023	20220286908	Mail Date October 11, 202	2	Property Location 982-998 MARKET ST
	uary 1, 2022 at HELD PER CA A			C. TOTAL DUE	442.224.4
. IVAIVE VITTI	HELD FER OA A	ND 2236		► TOTAL DUE	\$13,370.0
				1st Installment	2nd Installment
	DDRESS INFO			\$6,685.02	\$6,685.02
N	OT AVAILABI	LE ONLINE		Due 12/12/2022	Due 04/10/2023
				As	ssessed Value
				Description	Full Value
	Impo	rtant Message	S	Land	\$612,21
				Structure	\$408,13
				Personal Property	
				Gross Taxable Value	\$1,020,35
			Carried States	Less HO Exemption	5
			Total 1	Less Other Exemption	\$
				Net Taxable Value	\$1,020,35
1		CO J. March P. P.		TaxAmount	\$12,037.4
1 8/10			rect Charges and Sp		1/- 1
16 - Fan F-	ancisco Pau Da	storation Authorit	v	Telephone (888) 508-8157	Amount Due \$12.0
62 - North	of Market/Ten	derloin CBD	y	(415) 292-4812	\$600.0
	Facilities Distr Parcel Tax	rict		(415) 355-2203 (415) 487-2400	
98 - SFUSE	- Teacher Sup	port		(415) 355-2203 (415) 355-2203	\$283.8
ä	Keep	this portion for you	City & County o Property Tax	Bill (Secured)	tional information.
Vol	Block	this portion for you	city & County of Property Tax or Fiscal Year July 1,202	of San Francisco Bill (Secured) 2 through June 30, 2023	tional information. Pay online at www.sftreasurer.o Property Location
03	Block 0342	Find this portion for your Find the Control of the	City & County of Property Tax or Fiscal Year July 1,202	of San Francisco Bill (Secured) 2 through June 30, 2023	tional information. Pay online at www.sftreasurer.o
03 Check if	Block 0342 contribution to A	this portion for you	City & County of Property Tax or Fiscal Year July 1,202	of San Francisco Bill (Secured) 2 through June 30, 2023	tional information. Pay online at www.sftreasurer.o Property Location
O3 Check if For other	Block 0342 contribution to a	Lot 023 Arts Fund is enclose ortunities go to www	City & County of Property Tax or Fiscal Year July 1,202	of San Francisco Bill (Secured) 2 through June 30, 2023	Pay online at www.sftreasurer.o Property Location 998 MARKET ST 2nd Installment Due
O3 Check if For other Write you 2nd Inst	Block 0342 contribution to a or donation opposur block and lot tallment cannot	Lot 023 Arts Fund is enclose ortunities go to www. on your check. be accepted unless	City & County of Property Tax or Fiscal Year July 1,202 Bill No 20220286908 d. w.Give2SF.org	of San Francisco Bill (Secured) 2 through June 30, 2023 982-	Property Location -998 MARKET ST 2nd Installment Due April 10, 2023 \$6,685.0 April 10, 2023 \$7,398.5
O3 Check if For other Write you and Institute of San France Secured P.O. Box	Block 0342 contribution to a or donation opposite block and lot tailment cannot	Lot 023 Arts Fund is enclose ortunities go to www on your check, be accepted unless or	City & County of Property Tax or Fiscal Year July 1,202 Bill No 20220286908 d. v.Give2SF.org	Pay by If paid after Includes 10 applicable fe	Property Location -998 MARKET ST 2nd Installment Due April 10, 2023 \$6,685.0 April 10, 2023 \$7,398.5
O3 Check if For other Write you and Institute of San France Secured P.O. Box	Block 0342 contribution to a or donation oppor our block and lot tallment cannot crisco Tax Collect Property Tax 7426	Lot 023 Arts Fund is enclose ortunities go to www. on your check. be accepted unless or	City & County of Property Tax See back of bill. City & County of Property Tax or Fiscal Year July 1, 202 Bill No 20220286908 d. V. Give2SF.org 1st is paid.	Pay by If paid after includes 10 applicable fee San Francisco	Property Location -998 MARKET ST 2nd Installment Due April 10, 2023 \$6,685.0 April 10, 2023 \$7,398.5 penalty and 00000000000000000000000000000000000
O3 Check if For other Write you and instance of the control of t	Block 0342 contribution to a or donation oppor our block and lot tallment cannot crisco Tax Collect Property Tax 7426	Lot 023 Arts Fund is enclose ortunities go to www. on your check. be accepted unless or	City & County of Property Tax See back of bill. City & County of Property Tax or Fiscal Year July 1, 202 Bill No 20220286908 d. V. Give2SF.org 1st is paid.	Pay by If paid after includes 10 applicable fee San Francisco Bill (Secured) Pay by If paid after includes 10 applicable fee San Francisco Bill (Secured) It through June 30, 2023	Property Location -998 MARKET ST 2nd Installment Due April 10, 2023 \$6,685.0 April 10, 2023 \$7,398.5 penalty and 00000000000000000000000000000000000
O3 Check if For other Write yez and Insi	Block 0342 contribution to a redonation opposite block and lot tallment cannot cisco Tax Collect Property Tax 7426 cisco, CA 94120-	Lot 023 Arts Fund is enclose or your check. be accepted unless or United the Control of the Con	City & County of Property Tax Escal Year July 1,202 Bill No 20220286908 d. v.Give25F.org City & County of Property Tax Escal Year July 1,2022 Bill No 20220286908 d. v.Give25F.org	Pay by If paid after includes 10 applicable fee San Francisco Bill (Secured) Pay by If paid after includes 10 applicable fee San Francisco Bill (Secured) It through June 30, 2023	Property Location 998 MARKET ST 2nd Installment Due April 10, 2023 \$6,685.0 April 10, 2023 \$7,398.5 penalty and es Pay online at www.sftreasurer.o
O3 Check if For other Write ycznd Ins San France Secured P.O. Box San France Vol O3 Check if For other	Block 0342 contribution to A or donation oppor block and lot tallment cannot clisco Tax Collect Property Tax 7426 clisco, CA 94120-0342 contribution to A or donation oppor	Lot 023 Arts Fund is enclose ortunities go to www. on your check. be accepted unless or United States and States Fund is enclose ortunities go to www.	City & County of Property Tax Escal Year July 1,202 Bill No 20220286908 d. v.Give25F.org City & County of Property Tax Escal Year July 1,2022 Bill No 20220286908 d. v.Give25F.org	Pay by If paid after includes 10 applicable fee San Francisco Bill (Secured) Pay by If paid after includes 10 applicable fee San Francisco Bill (Secured) 1 through June 30, 2023	Property Location April 10, 2023 April 10, 2023 April 10, 2023 S7,398.5 Pay online at www.sftreasurer.o
O3 Check if For other Write ye 2nd Insi San France Secured P.O. Box San France Vol 03 Check if For other Write yo	Block 0342 contribution to a redonation opposite block and lot tallment cannot cisco Tax Collect Property Tax 7426 cisco, CA 94120-	Lot 023 Arts Fund is enclose ortunities go to www. on your check. be accepted unless or United States and States Fund is enclose ortunities go to www.	City & County of Property Tax or Fiscal Year July 1, 202 Bill No 20220286908 d. v.Give25F.org City & County of Property Tax Er Fiscal Year July 1, 2022 Bill No 20220286908 d. v.Give25F.org	Pay by If paid after includes 10 applicable fee San Francisco Bill (Secured) Pay by If paid after includes 10 applicable fee San Francisco Bill (Secured) 1 through June 30, 2023	Property Location Pay online at www.sftreasurer.o Property Location 998 MARKET ST 2nd Installment Due April 10, 2023 \$6,685.0 April 10, 2023 \$7,398.5 penalty and Pay online at www.sftreasurer.o Property Location 998 MARKET ST

Paid 12/07/2022



ol Block 3 0342	024	Bill No 20220286909	October 11, 202	2	982-998 MARKET ST	
essed on Janua	ry 1, 2022 at	12:01am	011001 11,202			
NAME WITHHE	LD PER CA A	B 2238		► TOTAL DUI	E	\$3,696.44
				1st Installmen	t 2nd l	nstallment
	DRESS INFO			\$1,848.22		\$1,848.22
NO	I AVAILABL	EUNLINE		Due 12/12/202	22 Due	e 04/10/2023
					Assessed Value	
			4	Description		Full Value
	Impo	rtant Message	5	Land Structure		\$120,227 \$80.148
			19040	Fixtures		300,140
				Personal Property		
			437	Gross Taxable Value Less HO Exemption		\$200,375
			CO LA	Less Other Exemption		\$0 \$0
				Net Taxable Value	Annual Control	\$200,375
		Judent Fills		TaxAmount	21	\$2,363.82
			rect Charges and Sp			
16 - San Far	circe Day D	Type	by .	Telephone (888) 508-81	57	Amount Due \$12.00
62 - North of	Market/Tend		y Charles	(415) 292-48	12	\$600.00
89 - SFUSD F. 91 - SFCCD P	arcel Tax			(415) 355-22((415) 487-24(\$40.52 \$99.00
98 - SFUSD - 101 - School	Teacher Supp	port		(415) 355-22((415) 355-22(03	\$283.86 \$297.24
Total Direc			ur records. See back of bill t City & County o Property Tax	Bill (Secured)	Pay online	
Vol	Keep	this portion for you	ur records. See back of bill I City & County o Property Tax or Fiscal Year July 1,202	of San Francisco Bill (Secured) 2 through June 30, 2023	Pay online Property Location	
Vol 03	Block 0342	this portion for you	City & County o Property Tax or Fiscal Year July 1,202. Bill No 20220286909	of San Francisco Bill (Secured) 2 through June 30, 2023	Property Location 22-998 MARKET ST	\$1,332.62 at www.sttreasurer.org
Vol 03 Check if co	Block 0342 ntribution to A	this portion for you	City & County o Property Tax or Fiscal Year July 1, 202. Bill No 20220286909	of San Francisco Bill (Secured) 2 through June 30, 2023 98	Pay online Property Location 12-998 MARKET ST 2nd Installme	at www.streasurer.org
vol 03 Check if co For other c	Block 0342 ntribution to A donation oppo	F Lot 024 Arts Fund is enclose ritunities go to www.on your check.	City & County o Property Tax or Fiscal Year July 1,202. Bill No 20220286909 id. w.Give2SF.org	of San Francisco Bill (Secured) 2 through June 30, 2023 98 Pay by	Pay online Property Location 12-998 MARKET ST 2nd Installme April 10, 2023	at www.sftreasurer.org
Vol 03 Check if co For other c Write your 2nd Install	Block 0342 ntribution to A donation oppor	Lot 024 Arts Fund is enclose ortunities go to www.on your check. be accepted unless	City & County o Property Tax or Fiscal Year July 1,202. Bill No 20220286909 id. w.Give2SF.org	of San Francisco Bill (Secured) 2 through June 30, 2023 98	Property Location (2-998 MARKET ST 2nd Installme April 10, 2023 r April 10, 2023 10% penalty and	at www.streasurer.org
Vol 03 Check if co For other co Write your 2nd Install	Block 0342 ntribution to A donation oppor block and lot lment cannot	Lot 024 Arts Fund is enclose ortunities go to www.on your check. be accepted unless	City & County o Property Tax or Fiscal Year July 1,202. Bill No 20220286909 id. w.Give2SF.org	F San Francisco Bill (Secured) 2 through June 30, 2023 98 Pay by If paid afte includes	Property Location (2-998 MARKET ST 2nd Installme April 10, 2023 r April 10, 2023 10% penalty and	at www.sttreasurer.org
Vol 03 Check if co For other c Write your 2nd Install San Francis Secured Pro P.O. Box 74'	Block 0342 ntribution to A donation oppor block and lot lment cannot	Lot 024 Arts Fund is enclose ortunities go to www. on your check. be accepted unless or	City & County o Property Tax for Fiscal Year July 1,202. Bill No 20220286909 ed. w.Give2SF.org	Pay by If paid afte includes applicable	Property Location 12-998 MARKET ST 2nd Installme April 10, 2023 a April 10, 2023 10% penalty and fees	ent Due \$1,848.22 \$2,078.04
Vol 03 Check if co For other c Write your 2nd Install San Francis Secured Pro P.O. Box 74'	Block 0342 ntribution to A donation oppor block and lot lment cannot l	Lot 024 Arts Fund is enclose ortunities go to www. on your check. be accepted unless or	City & County o Property Tax for Fiscal Year July 1,202. Bill No 20220286909 ed. w.Give2SF.org	F San Francisco Bill (Secured) 2 through June 30, 2023 98 Pay by If paid afte includes	Property Location 12-998 MARKET ST 2nd Installme April 10, 2023 a April 10, 2023 10% penalty and fees	ent Due \$1,848.22 \$2,078.04
Vol 03 Check if co For other c Write your 2nd Install San Francis Secured Pro P.O. Box 74'	Block 0342 ntribution to A donation oppor block and lot lment cannot l	Lot 024 Arts Fund is enclose ortunities go to www. on your check. be accepted unless or	City & County o Property Tax for Fiscal Year July 1,202. Bill No 20220286909 ed. w.Give2SF.org	Pay by If paid afte includes applicable	Property Location 12-998 MARKET ST 2nd Installme April 10, 2023 a April 10, 2023 10% penalty and fees	ent Due \$1,848.22 \$2,078.04
Vol 03 Check if co For other c Write your 2nd Install San Francis Secured Pro P.O. Box 74'	Block 0342 ntribution to A donation oppor block and lot lment cannot l	Lot 024 Arts Fund is enclose ortunities go to www. on your check. be accepted unless or	City & County of Property Tax for Fiscal Year July 1,202. Bill No 20220286909 ed. w.Give2SF.org 1st is paid.	Pay by If paid after includes applicable	Property Location 12-998 MARKET ST 2nd Installme April 10, 2023 r April 10, 2023 penalty and fees	ent Due \$1,848.22 \$2,078.04
Vol 03 Check if co For other c Write your 2nd Install San Francis Secured Pro P.O. Box 74'	Block 0342 ntribution to A donation oppor block and lot lment cannot l	Lot 024 Arts Fund is enclose ritunities go to www. on your check. be accepted unless or 0303426	City & County of Property Tax See back of bill in City & County of Property Tax For Fiscal Year July 1,202. Bill No 20220286909 Ind. See back of bill in City & County of Property Tax Bell in City & County & City & County & City & County & City & County & City &	Pay by If paid after includes applicable San Francisco Bill (Secured) Pay by If paid after includes applicable San Francisco Bill (Secured)	Property Location 12-998 MARKET ST 2nd Installme April 10, 2023 r April 10, 2023 penalty and fees	ent Due \$1,848.22 \$2,078.04
Vol 03 Check if co For other c Write your 2nd Install San Francis Secured Pro P.O. Box 74'	Block 0342 ntribution to A donation oppor block and lot lment cannot l	Lot 024 Arts Fund is enclose ritunities go to www. on your check. be accepted unless or 0303426	City & County of Property Tax for Fiscal Year July 1,202. Bill No 20220286909 ed. w.Give2SF.org	Pay by If paid after includes applicable San Francisco Bill (Secured) Pay by If paid after includes applicable San Francisco Bill (Secured)	Property Location 12-998 MARKET ST 2nd Installme April 10, 2023 r April 10, 2023 penalty and fees	ent Due \$1,848.22 \$2,078.04
Vol 03 Check if co For other c Write your 2nd Install San Francis Secured Pro P.O. Box 74: San Francis	Block 0342 Intribution to A donation oppo block and lot liment cannot i co Tax Collecti operty Tax. 26 co, CA 94120-	For Lot 1024 Arts Fund is enclose ritunities go to www. on your check. be accepted unless or 17426	City & County of Property Tax Bill No 20220286909 cl. St is paid: City & County 1, 202. City & County 1, 202. City & County of Property Tax Bill No Priscal Year July 1, 202.	Pay by If paid after includes applicable San Francisco Bill (Secured) Pay by If paid after includes applicable San Francisco Bill (Secured) It through June 30,2023	Property Location 12-998 MARKET ST 2nd Installme April 10, 2023 r April 10, 2023 10% penalty and fees D D D D D D D D D Pay online	ent Due \$1,848.22 \$2,078.04
Vol 03 Check if co For other c Write your 2nd Install San Francis Secured Pro P.O. Box 74, San Francis	Block 0342 Intribution to A donation opporation opporation of the control of the	Lot 024 Arts Fund is enclose ortunities go to www. on your check. be accepted unless or 0303426	City & County of Property Tax Bill No 20220286909 City & County of Property Tax State Property Tax State Property Tax Bill No Property Tax Bill No Property Tax Bill No Property Tax Bill No 20220286909	Pay by If paid after includes applicable San Francisco Bill (Secured) Pay by If paid after includes applicable San Francisco Bill (Secured) It through June 30,2023	Property Location 12-998 MARKET ST 2nd Installme April 10, 2023 10% April 10, 2023 10% penalty and fees	ent Due \$1,848.22 \$2,078.04
Vol 03 Check if co For other c Write your 2nd Install San Francis: Secured Pro P.O. Box 74: San Francis: Vol 03 Check if co Check if co	Block 0342 ntribution to A donation oppor block and lot lment cannot co Tax Collect opporty Tax 26 co, CA 94120-	For Lot 1024 Arts Fund is enclose ritunities go to www. on your check. be accepted unless or 17426	City & County of Property Tax Bill No 20220286909 City & County of Property Tax Bill No 20220286909 City & County of Property Tax Bor Fiscal Year July 1,2022	Pay by If paid after includes applicable San Francisco Bill (Secured) Pay by If paid after includes applicable San Francisco Bill (Secured) It through June 30,2023	Property Location 12-998 MARKET ST 2nd Installme April 10, 2023 r April 10, 2023 10% penalty and fees D D D D D D D D D Pay online	ent Due \$1,848.22 \$2,078.04
Vol 03 Check if co For other c Write your 2nd Install San Francis Secured Pro P.O. Box 74: San Francis Vol 03 Check if co For other c Write your	Block 0342 Intribution to Adonation opporty block and lot Iment cannot Imen Cannot Im	Lot 024 Arts Fund is enclose ortunities go to www. on your check. be accepted unless or 024 Arts Fund is enclose ortunities go to www. on your check. or 024 Arts Fund is enclose ortunities go to www. on your check.	City & County of Property Tax Bill No 20220286909 City & County of Property Tax Bill No 20220286909 City & County of Property Tax Bill No 20220286909 City & County of Property Tax Bill No 20220286909 Ed. W.Give2SF.org	Pay by If paid after includes applicable San Francisco Bill (Secured) Pay by If paid after includes applicable San Francisco Bill (Secured) It through June 30,2023	Property Location 12-998 MARKET ST 2nd Installme April 10, 2023 r April 10, 2023 r April 10, 2023 r April 20, 2023	ent Due \$1,848.22 \$2,078.04
Vol 03 Check if co For other c Write your 2nd Install San Francis Secured Pro P.O. Box 74: San Francis Vol 03 Check if co For other c Write your	Block 0342 Intribution to Adonation opporty block and lot Iment cannot Imen Cannot Im	Lot 024 Arts Fund is enclose ortunities go to www. on your check. be accepted unless or 024 Arts Fund is enclose ortunities go to www. on your check. or 024 Arts Fund is enclose ortunities go to www. on your check. or 024	City & County of Property Tax Bill No 20220286909 City & County of Property Tax Bill No 20220286909 City & County of Property Tax Bill No 20220286909 d. W.Give2SF.org	Pay by If paid after includes applicable San Francisco Bill (Secured) Pay by If paid after includes applicable San Francisco Bill (Secured) It through June 30, 2023 Pay by If paid after includes applicable Fan Francisco Bill (Secured) It paid after includes applicable	Property Location 12-998 MARKET ST 2nd Installme April 10, 2023 r April 10, 2023 10% penalty and fees Pay online Property Location 12-998 MARKET ST 1st Installmer December 12, 2022 r December 12, 2022	ent Due \$1,848.22 \$2,078.04
Vol 03 Check if co For other c Write your 2nd Install San Francis: Secured Pro P.O. Box 74: San Francis: Vol 03 Check if co For other c Write your If property	Block 0342 Intribution to Adonation opporty Coo Tax Collections Block 0342 Block 0342 Intribution to Adonation opporty Block 0342 Intribution to Adonation opporty block and lot has been sold	Lot 024 Arts Fund is enclose ortunities go to www. on your check. be accepted unless or 024 Arts Fund is enclose ortunities go to www. on your check. or 024 Arts Fund is enclose ortunities go to www. on your check. or 024	City & County of Property Tax Bill No 20220286909 City & County of Property Tax Bill No 20220286909 City & County of Property Tax Bill No 20220286909 City & County of Property Tax Bill No 20220286909 Ed. W.Give2SF.org	Pay by If paid after includes applicable San Francisco Bill (Secured) Pay by If paid after includes applicable San Francisco Bill (Secured) It through June 30, 2023 Pay by If paid after includes applicable Fan Francisco Bill (Secured) It paid after includes applicable	Property Location 12-998 MARKET ST 2nd Installme April 10, 2023 10% penalty and fees DODDDDDDDDDDDDDDDDDDDDDDDDDDDDDDDDD	ent Due \$1,848.22 \$2,078.04



1 Dr. Carlton B. Goodlett Place City Hall, Room 140 San Francisco, CA 94102 www.sftreasurer.org

Vol	Block	Lot	Bill No		1,2022 t	P. P.	roperty Location	
03	0342	025	20220286910	October	11, 2022		998 MARKET ST	
	ed on Januar ME WITHHE					► TOTAL DUE		\$6,370.9
						h. Distriction of the second	3-41-4	Months and
	ADD	DESS INE	ORMATION			1st Installment	2nd Inst	
			LE ONLINE		- 001	\$3,185.48	\$3,	185.48
					M	Due 12/12/2022	Due 0	4/10/2023
						Asses	sed Value	
						Description	energy and the second	Value
		Impo	ortant Messages	Name of the local division in the local divi		Land		\$256,24
			1111	708	35 A.A.	Structure		\$170,830
						Fixtures		
					F. St.	Personal Property		
						Gross Taxable Value		\$427,07
						Less HO Exemption		\$
					1	Less Other Exemption		\$
					26	Net Taxable Value		\$427,07
_						TaxAmount		\$5,038.34
			Dir	ect Charge	s and Spe	ecial Assessments		
			Туре	BOWN V.		Telephone		Amount Due
46	- San Franc	risco Bay Re	estoration Authority iderloin CBD	A TOROLE		(888) 508-8157 (415) 292-4812		\$12.0 \$600.0
	- SFUSD Fa					(415) 355-2203		\$40.5
91	- SFCCD Pa	arcel Tax				(415) 487-2400		\$99.0
98	3 - SFUSD - 1 01 - School F	eacher Sup	port			(415) 355-2203 (415) 355-2203		\$283.8 \$297.2
Т	otal Direct		and Special Asses			respectively in	1.2	\$1,332.6
- CO	Vo.	Kee	p this partian for you			r payment options and additiona San Francisco		
1			Fo	Pro	perty Tax B	ill (Secured) through June 30, 2023	Pay online at w	ww.sftreasurer.or
	Vol 03	Block 0342	Lot 025	Bill No 202202869	910		rty Location MARKET ST	
			Arts Fund is enclosed			2	nd Installment	Due
_			ortunities go to www	.Give2SF.org		Pay by	April 10, 2023	\$3,185.48
		block and lo	t on your check.	Ist is paid	n	If paid after	April 10, 2023	\$3,549.0
	2nd Installi	ment cannot	the accented unless					
	2nd Install	ment cannot	t be accepted unless	DE		includes 10%	penalty and	45/5 1510
	2nd Install	ment cannot	t be accepted unless	IRE	-10	includes 10% applicable fees	penalty and	03/2 13/0
	San Francisc	o Tax Collec	-01	JRE	-0		penalty and	93/31310
	San Francisc Secured Pro	o Tax Collect	-01	JRE	L		penalty and	
	San Francisc Secured Pro P.O. Box 742	o Tax Collect	ECL	JRE			penalty and	
	San Francisc Secured Pro P.O. Box 742	o Tax Collect perty Tax	to ECL	JRE	2022028			
	San Francisc Secured Pro P.O. Box 742	o Tax Collect perty Tax	to ECL	JRE	2022028	applicable fees		
	San Francisc Secured Pro P.O. Box 742	o Tax Collect perty Tax	to ECL	002500 a		applicable fees	0000000 000	00 2003
	San Francisc Secured Pro P.O. Box 742	o Tax Collect perty Tax	to ECL	002500 a	County of S	applicable fees	0000000 000	
	San Francisc Secured Pro P.O. Box 742	o Tax Collect perty Tax	orECL 0-7426 0-303420	City &	County of Serty Tax Bil	applicable fees	0000000 000	00 2003

Property Location 982-998 MARKET ST 20220286910 0342 025

Check if contribution to Arts Fund is enclosed.
For other donation opportunities go to www.Give2SF.org

Write your block and lot on your check.
If property has been sold, please forward bill to new owner.

San Francisco Tax Collector Secured Property Tax P.O. Box 7426 San Francisco, CA 94120-7426

1st Installment Due \$3,185.48 December 12, 2022 If paid after December 12, 2022 \$3,504.02 includes 10% penalty Paid 12/07/2022



10 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0					rough June 30, 2			
0342	026	Bill No 20220286911	October 0	11, 2022		Property Loca 982-998 MARK		
	ary 1, 2022 a			(
IAME WITH	HELD PER CA	AB 2238			► TOTAL DUE	Ε		\$14,646.34
					1st Installment	t	2nd Instal	llment
	DDRESS INF	ORMATION		-	\$7,323.17		\$7,32	23.17
14	OI AVAILAL	SEE ONLINE		100	Due 12/12/202	22	Due 04/	/10/2023
						Assessed Valu	ie	
					Description		Full V	alue
	Imp	ortant Messages	None of the		Land			\$677,123
					Structure Fixtures			\$451,414
					Personal Property			
				- 1	Gross Taxable Value			\$1,128,537
					Less HO Exemption Less Other Exemption			\$0
				- 1	Net Taxable Value			\$1,128,537
					TaxAmount	-		\$13,313.72
		Dir	ect Charge		cial Assessments	the f		
		Туре		20	Telephone	2/	Ar	mount Due
46 - San Fra	ncisco Bay R	estoration Authority nderloin CBD	у	H PAPER	(888) 508-815 (415) 292-48	57		\$12.00 \$600.00
39 - SFUSD	Facilities Dis	trict			(415) 355-220	03		\$40.52
98 - SFUSD	Parcel Tax - Teacher Su of Parcel Tax o				(415) 487-240 (415) 355-220 (415) 355-220	03		\$99.00 \$283.86 \$297.24
Total Dire		and Special Assess	r records. See b City &	County of S	payment options and ad an Francisco			
Vol	Kee	p this portion for your	r records. See b City & Prop or Fiscal Year J Bill No	County of S perty Tax Bil July 1,2022 t	an Francisco I (Secured) through June 30, 2023	Pay of Property Location	online at ww	
Vol 03	Block 0342	Fo	City & Propor Fiscal Year J	County of S perty Tax Bil July 1,2022 t	an Francisco I (Secured) through June 30, 2023	Property Location 2-998 MARKET S	online at ww	\$1,332.62
Vol 03 Check if G	Block 0342	p this portion for your	City & Propor Fiscal Year J Bill No 202202869	County of S perty Tax Bil July 1,2022 t	an Francisco I (Secured) through June 30, 2023	Property Location 2-998 MARKET S	online at ww	rw.sftreasurer.org
Vol 03 Check if of For othe	Block 0342 contribution to r donation oppur block and lo	Lot 026 Arts Fund is enclosed portunities go to www.	City & Propor Fiscal Year J Bill No 202202869	County of S perty Tax Bil July 1,2022 t	an Francisco I (Secured) through June 30, 2023	Property Location 2-998 MARKET S	online at ww	rw.sftreasurer.org
Vol 03 Check if of For othe Write yo 2nd Inst	Block 0342 contribution to r donation oppur block and lo	Lot 026 Arts Fund is enclosed contunities go to www. ot on your check. It be accepted unless	City & Propor Fiscal Year J Bill No 202202869	County of S perty Tax Bil July 1,2022 t	an Francisco I (Secured) through June 30, 2023	Property Location 2-998 MARKET S 2nd Insta April 10, 2 r April 10, 2 penalty a	Ilment E	rw.sftreasurer.org
Vol 03 Check if 6 For othe Write yo 2nd Inst	Block 0342 contribution to r donation opp ur block and ic allment canno isco Tax Collect roperty Tax	Lot 026 Arts Fund is enclosed contunities go to www of on your check. It be accepted unless to contunities go to work of the contunities go to work of the contunities go to work on your check.	City & Progress of Fiscal Year J Bill No 202202869 d	e County of S perty Tax Bil July 1,2022 t	an Francisco I (Secured) through June 30, 2023 98 Pay by If paid afte includes applicable	Property Location 22-998 MARKET S 2nd Insta April 10, 2 r April 10, 2 penalty a fees	T Illment E 2023 2023 and	Oue \$7,323.17
Vol 03 Check if c For othe Write yo 2nd Inst	Block 0342 contribution to donation oppur block and leallment canno issoo Tax Collectroperty Tax 426	Lot 026 Arts Fund is enclosed contunities go to www of on your check. It be accepted unless to contunities go to work of the contunities go to work of the contunities go to work on your check.	City & City & Prop. Piscal Year J 202202869 1. Cive2SF.org	County of Second	Pay by If paid after includes applicable Through June 30, 2023	Property Location 12-998 MARKET S 2nd Insta April 10, 2 r April 10, 2 penalty a fees	Illment E	Oue \$7,323.17 \$8,100.48
Vol 03 Check if of For othe Write yo 2nd Inst San France Secured F P.O. Box 2 San France	Block 0342 contribution to donation oppur block and ic allment canno isco Tax Collec roperty Tax 426 isco, CA 94126	Lot 026 Parts Fund is enclosed contunities go to www of on your check. It be accepted unless to 0-7426	City & Prop Fiscal Year J	County of Secrety Tax Bill IIII	Pay by If paid after includes applicable Through June 30, 2023	Property Location 2-998 MARKET S 2nd Insta April 10, 2 r April 10, 2 penalty a fees	Illment E	Oue \$7,323.17
Vol 03 Check if of For othe Write you 2nd Inst San France Secured P.P.O. Box 7 San France	Block 0342 contribution to r donation oppur block and loallment canno issco Tax Collectoroperty Tax 426 Block 0342	Lot 026 Darts Fund is enclosed contunities go to www of on your check. It be accepted unless 100-7426	City & Prop r Fiscal Year July & Prop Research & Prop r Fiscal Year July & Prop Research & Prop r Fiscal Year July & Prop Research & Prop r Fiscal Year July & Prop Research & Prop r Fiscal Year July & Prop Research	County of Sperty Tax Bill ally 1,2022 the County of Saperty Tax Bill all 1,2022 the County Office Saperty Tax B	Pay by If paid afte includes applicable Trancisco (Secured) Pay by If paid afte includes applicable In Francisco (Secured) Anough June 30,2023	Property Location 12-998 MARKET S 2nd Insta April 10, 2 r April 10, 2 penalty a fees	Illment E 2023 2023 and	Oue \$7,323.17 \$8,100.48
Vol 03 Check if o For other Write you 2nd Inst San France Secured F. P.O. Box 7 San France Vol 03 Check if o	Block 0342 contribution to donation oppur block and lo allment canno isco Tax Collectroperty Tax. 426 sisco, CA 94126 Block 0342 contribution to	Lot 026 O Arts Fund is enclosed portunities go to www of on your check. It be accepted unless 100-7426	City & Prop Fiscal Year July &	County of Sperty Tax Bill ally 1,2022 the County of Saperty Tax Bill all 1,2022 the County Office Saperty Tax B	Pay by If paid afte includes applicable Trancisco (Secured) Pay by If paid afte includes applicable In Francisco (Secured) Anough June 30,2023	Property Location 2-998 MARKET S 2nd Insta April 10, 2 r April 10, 2 penalty a fees	Illment D 2023 2023 and	Oue \$7,323.17 \$8,100.48
Vol 03 Check if of For othe Write yo 2nd Inst San Franc Secured F P.O. Box 7 San Franc Vol 03 Check if of For othe Write you	Block 0342 contribution to redonation oppur block and lealment canno issco Tax Collectroperty Tax 426 lsco, CA 9412i	Lot 026 Arts Fund is enclosed ortunities go to www. 02-7426 Data Starts Fund is enclosed ortunities go to www. 02-7426 Arts Fund is enclosed ortunities go to www. 02-7426 Arts Fund is enclosed ortunities go to www. 02-7426 Arts Fund is enclosed ortunities go to www. 03-7426	City & Prop r Fiscal Year July & Group &	County of Saperty Tax Billuly 1,2022 to 1911 County of Saperty Tax Billuly 1,2022 to 1911	Pay by If paid afte includes applicable Trancisco (Secured) Pay by If paid afte includes applicable In Francisco (Secured) Anough June 30,2023	Property Location 2-998 MARKET S 2nd Insta April 10, 2 r April 10, 2 penalty a fees Pay of Property Location 2-998 MARKET S	Illment D	Oue \$7,323.17 \$8,100.48
Vol 03 Check if of For othe Write yo 2nd Inst San France Secured P P.O. Box 7 San France Vol 03 Check if of For othe Write you If proper	Block 0342 contribution to redonation oppur block and lealment canno issco Tax Collectroperty Tax 426 lsco, CA 9412i	Lot 026 Darts Fund is enclosed contunities go to www of on your check. It be accepted unless 10-7426 Darts Fund is enclosed on the contunities go to www of on your check. It be accepted unless 10-7426 Darts Fund is enclosed contunities go to www of on your check. Id, please forward bill	City & Prop r Fiscal Year July & Group &	County of Saperty Tax Billuly 1,2022 to 1911 County of Saperty Tax Billuly 1,2022 to 1911	Pay by If paid after includes applicable Trancisco (Secured) Pay by If paid after includes applicable In Francisco (Secured) Pay by If paid after includes applicable Pay by If paid after includes applicable	Property Location 2-998 MARKET S 2nd Insta April 10, 2 April 10, 2 April 10, 2 Penalty a fees Property Location 2-998 MARKET S 1st Instal	T Illment E 2023 2023 and Online at ww	Oue \$7,323.17 \$8,100.48



1 Dr. Carlton B. Goodlett Place City Hall, Room 140 San Francisco, CA 94102 www.sftreasurer.org

For Fiscal Year July 1,2022 through June 30, 2023 Mail Date 03 0342 027 20220286912 October 11, 2022 982-998 MARKET ST Assessed on January 1, 2022 at 12:01am To: NAME WITHHELD PER CA AB 2238 **▶ TOTAL DUE** \$14,914.82 1st Installment 2nd Installment ADDRESS INFORMATION \$7,457.41 \$7,457.41 NOT AVAILABLE ONLINE Due 12/12/2022 Due 04/10/2023 Assessed Value Land \$690,777 Important Messages Structure \$460,516 Fixtures Personal Property Gross Taxable Value \$1,151,293 Less HO Exemption 50 Less Other Exemption \$0 Net Taxable Value \$1,151,293 **Tax Amount** \$13,582.20 **Direct Charges and Special Assessments** Amount Due (888) 508-8157 (415) 292-4812 (415) 355-2203 (415) 487-2400 (415) 355-2203 (415) 355-2203 \$12.00 \$600.00 \$40.52 \$99.00 46 - San Francisco Bay Restoration Authority 62 - North of Market/Tenderloin CBD 89 - SFUSD Facilities District 91 - SFCCD Parcel Tax 98 - SFUSD - Teacher Support 101 - School Parcel Tax of 2020 \$283.86 5297 24 **Total Direct Charges and Special Assessments** \$1,332.62 Keep this portion for your records. See back of bill for payment options and additional information City & County of San Francisco Pay online at www.sftreasurer.org Property Tax Bill (Secured) For Fiscal Year July 1,2022 through June 30, 2023 Bill No 0342 20220286912 03 027 982-998 MARKET ST Check if contribution to Arts Fund is enclosed. 2nd Installment Due For other donation opportunities go to www.Give2SF.org Pay by April 10, 2023 \$7,457.41 Write your block and lot on your check. 2nd Installment cannot be accepted unless 1st is paid: If paid after April 10, 2023 \$8,248.15 includes 10% penalty and applicable fees San Francisco Tax Collector Secured Property Tax P.O. Box 7426 San Francisco, CA 94120-7426 0303420002700 20220286912 000000000 00000000 0000 2003



City & County of San Francisco Property Tax Bill (Secured) For Fiscal Year July 1,2022 through June 30,2023 Pay online at www.sftreasurer.org

 Vol
 Block
 Lot
 Bill No
 Property Location

 03
 0342
 027
 20220286912
 982-998 MARKET ST

Check if contribution to Arts Fund is enclosed.
For other donation opportunities go to www.Give2SF.org

Write your block and lot on your check.
If property has been sold, please forward bill to new owner.

San Francisco Tax Collector Secured Property Tax P.O. Box 7426 San Francisco, CA 94120-7426 Pay by December 12, 2022 \$7,457.41

If paid after December 12, 2022 includes 10% penalty

Paid 12/07/2022



1 Dr. Carlton B. Goodlett Place City Hall, Room 140 San Francisco, CA 94102 www.sftreasurer.org

	030		For Fisca	al Year July		110dg113d11e 30, 2023		
3	0342	028	20220286913	October	11, 2022	982	Property Location 2-998 MARKET ST	
		y 1, 2022 at			(TOTAL DUE		*** ***
NAIV	IE WITHHE	LD FER CAP	1D 2230			► TOTAL DUE		\$16,877.46
						1st Installment	2nd Ins	tallment
			DRMATION LE ONLINE			\$8,438.73	\$8	,438.73
	NOI	AVAILAB	LEONLINE		COM	Due 12/12/2022	Due (04/10/2023
						Asse	ssed Value	
						Description		II Value
		Impo	ortant Messages	s		Land		\$790,59
			15.7		100.65	Structure		\$527,06
						Fixtures Parameter		
					1000	Personal Property Gross Taxable Value		\$1,317,65
						Less HO Exemption		\$1,517,039
						Less Other Exemption		Ś
					32	Net Taxable Value		\$1,317,65
						TaxAmount	7	\$15,544.84
			Dir	ect Charge	es and Spe	cial Assessments	1	
			Туре			Telephone		Amount Due
			storation Authorit	у	11/22/201	(888) 508-8157		\$12.0
		Market/Ten acilities Dist	derloin CBD rict			(415) 292-4812 (415) 355-2203		\$600.0 \$40.5
91 -	SFCCD Pa	arcel Tax				(415) 487-2400		\$99.0
101	- School F	Feacher Sup Parcel Tax o	port f 2020			(415) 355-2203 (415) 355-2203		\$283.8 \$297.2
To	otal Direct		Communication Activities and Administrating (graph final framework at the	r records. See b City & Pro	County of Sperty Tax Bil	payment options and addition on Francisco Il (Secured) through June 30, 2023		
J	/ol	Keep Block	FC	City & Pro Pro Fiscal Year	County of S perty Tax Bil July 1,2022	ian Francisco II (Secured) through June 30, 2023	Pay online at	
	Vol.	Block 0342	E this portion for your Fo	City & Pro or Fiscal Year	County of S perty Tax Bil July 1,2022	San Francisco II (Secured) through June 30, 2023 Prop 982-99	Pay online at operty Location 8 MARKET ST	www.sftreasurer.ou
	ol 13	Block 0342 ntribution to	FC	City & Pro pr Fiscal Year Bill No 202202869	County of S perty Tax Bil July 1,2022	San Francisco II (Secured) through June 30, 2023 Prop 982-99	Pay online at secrety Location 8 MARKET ST	www.sftreasurer.or
	Check if con	Block 0342 htribution to onation oppo	Lot 028 Arts Fund is enclosed	City & Pro pr Fiscal Year Bill No 202202869	County of S perty Tax Bil July 1,2022	San Francisco II (Secured) through June 30, 2023 Prop 982-99	Pay online at operty Location 8 MARKET ST	www.sftreasurer.or
	Check if con For other do Write your I 2nd Installr	Block 0342 htribution to onation oppi block and lot ment cannot	Lot 028 Arts Fund is enclosed cortunities go to www. to on your check. be accepted unless	City & Pro City & Cit	County of S perty Tax Bil July 1,2022	San Francisco II (Secured) through June 30, 2023 Prop 982-99	Pay online at secrety Location 8 MARKET ST	t Due \$8,438.7
SSSP	Check if con For other do Write your I 2nd Installr	Block 0342 attribution to onation oppo block and lot ment cannot	Lot 028 Arts Fund is enclosed cortunities go to www. to on your check. be accepted unless	City & Pro City & Cit	County of S perty Tax Bil July 1,2022	From Standard Standar	Pay online at operty Location 8 MARKET ST 2nd Installment April 10, 2023 April 10, 2023	t Due \$8,438.7
SSSP	Check if con For other do Write your I 2nd Installr	Block 0342 atribution to onation oppo block and lot ment cannot	Lot 028 Arts Fund is enclosed cortunities go to www. t on your check. the accepted unless tor	City & Proportion of the Control of	County of Sperty Tax Bill	Prop 982-993 Pay by If paid after includes 10% applicable fees An Francisco (Secured)	Pay online at operty Location 8 MARKET ST 2nd Installment April 10, 2023 April 10, 2023 penalty and	t Due \$8,438.7 \$9,327.6
SSSPSS	Check if con For other do Write your I 2nd Installr an Francisc ecured Pro O. Box 742 an Francisc	Block 0342 attribution to onation opposition opposition of the block and lot ment cannot to Tax Collect perty Tax 16 16, CA 94120	Lot 028 Arts Fund is enclosed ortunities go to www. to on your check. the accepted unless tor	City & Propriscal Year July 18 City 18	County of Saperty Tax Bill Uly 1,2022 to County of Saperty Tax Bill Uly 1,2022 to County 1,	Property of the property of th	Pay online at operty Location 8 MARKET ST 2nd Installment April 10, 2023 April 10, 2023 penalty and	t Due \$8,438.7 \$9,327.6
SSSPSS	Check if con For other do Write your I 2nd Installr an Francisc ecured Pro 1.0. Box 742 an Francisc	Block 0342 ntribution to onation oppiblock and lot ment cannot to Tax Collect perty Tax 66, CA 94120	Lot 028 Arts Fund is enclosed ortunities go to www. to on your check. be accepted unless.	City & Propr Fiscal Year July & Propr Fiscal Year Year Year Year Year Year Year Year	County of Saperty Tax Bill Uly 1,2022 to County of Saperty Tax Bill Uly 1,2022 to County 1,	Prop 982-996 In Francisco Il (Secured) Ithrough June 30, 2023 Prop 982-996 Pay by If paid after includes 10% applicable fees In Francisco (Secured) In Franc	Pay online at perty Location 8 MARKET ST 2nd Installment April 10, 2023 April 10, 2023 penalty and Pay online at perty Location 8 MARKET ST	\$8,438.73 \$9,327.6
SSSPPS	Check if con For other do Write your I 2nd Installr an Francisc ecured Proj .0. 8ox 742 an Francisc	Block 0342 ntribution to onation opposition of Tax Collect perty Tax 60 co, CA 94120	Lot 028 Arts Fund is enclosed ortunities go to www. ton your check. be accepted unless. For Lot 028 Arts Fund is enclosed or your check. be accepted unless.	City & Propr Fiscal Year July 18 Propr Fisca	County of Saperty Tax Bill Uly 1,2022 to County of Saperty Tax Bill Uly 1,2022 to County 1,	Prop 982-991 Pay by If paid after includes 10% applicable fees B 91.3 00000000 0 an Francisco (Secured) hrough June 30, 2023	Pay online at operty Location 8 MARKET ST 2nd Installment April 10, 2023 April 10, 2023 penalty and Pay online at operty Location 8 MARKET ST 1st Installment	t Due \$8,438.7 \$9,327.6
SSSPPS	Check if con For other do Write your I 2nd Installr an Francisc ecured Proj 2.0. Box 742 an Francisc other do Write your b	Block 0342 ntribution to onation opportunity of the perty Tax 126 Block 0342 ntribution to onation opportunity of the perty Tax 126 Block 0342 ntribution to onation oppoblock and lot	Lot 028 Arts Fund is enclosed cortunities go to www. to n your check. to accepted unless tor 028 Arts Fund is enclosed on your check. The accepted unless tor 028 Arts Fund is enclosed ortunities go to www. to n your check.	City & Prop r Fiscal Year J. City & City	County of Secrety Tax Bill uly 1,2022 to Secrety Tax Bill uly	Prop 982-998 Pay by If paid after includes 10% applicable fees Pap Ban Francisco (Secured) hrough June 30, 2023	Pay online at perty Location 8 MARKET ST 2nd Installment April 10, 2023 April 10, 2023 penalty and Pay online at perty Location 8 MARKET ST	t Due \$8,438.7. \$9,327.6
SSPPS	Check if conformation of the conformation of t	Block 0342 Attribution to onation opportunity of Tax Collect perty Tax 166 0342 Attribution to onation opportunity of Tax Collect perty Tax 167 Block 0342 Attribution to onation opportunity opportun	Lot 028 Arts Fund is enclosed ortunities go to www. to on your check. the accepted unless of the control of th	City & Prop r Fiscal Year July & Prop r Fisc	County of Secrety Tax Bill uly 1,2022 to Secrety Tax Bill uly	Property of the part of the pa	Pay online at the perty Location 8 MARKET ST 2nd Installment April 10, 2023 April 10, 2023 April 10, 2023 penalty and Pay online at the perty Location 8 MARKET ST 1st Installment tember 12, 2022 ember 12, 2022	t Due \$8,438.7 \$9,327.6
S S S P P S S S S S S S S S S S S S S S	Check if conformation of the conformation of t	Block 0342 attribution to onation opposition of the opposition of	Lot 028 Arts Fund is enclosed ortunities go to www. to on your check. the accepted unless of the control of th	City & Prop r Fiscal Year J. City & City	County of Secrety Tax Bill uly 1,2022 to Secrety Tax Bill uly	Pay by If paid after includes 10% If paid after includes 10% Prop 982-998 Pay by If paid after includes 10% Prop 982-998 Pay by If paid after includes 10% Prop 982-998 Prop 982-998 Pay by Dec If paid after Dec includes 10%	Pay online at the perty Location 8 MARKET ST 2nd Installment April 10, 2023 April 10, 2023 April 10, 2023 penalty and Pay online at the perty Location 8 MARKET ST 1st Installment tember 12, 2022 ember 12, 2022	\$8,438.7 \$9,327.6



O3	Block 0342	029	20220286914	October 11, 202	22 982	2-998 MARKET ST
		LD PER CA			► TOTAL DUE	\$14,937.14
					1st Installment	2nd Installment
	ADI	DRESS INFO	DRMATION		\$7,468.57	\$7,468.57
	NO	TAVAILAB	LE ONLINE		Due 12/12/2022	Due 04/10/2023
					Asse	essed Value
					Description	Full Value
		Impo	ortant Messages	5	Land	\$691,914
		497	121		Structure	\$461,271
					Personal Property	
					Gross Taxable Value	\$1,153,185
					Less HO Exemption	\$0
					Less Other Exemption Net Taxable Value	\$1,153,185
					TaxAmount	\$13,604.52
		100	Dir	rect Charges and S	pecial Assessments	
		IN ESTA	Туре		Telephone	Amount Due
62 89 91 98	 North of SFUSD F SFCCD P SFUSD - 	Market/Ten acilities Dist	port	38	(888) 508-8157 (415) 292-4812 (415) 355-2203 (415) 487-2400 (415) 355-2203 (415) 355-2203	\$12.00 \$600.00 \$40.5: \$99.00 \$283.80 \$297.2:
.To	otal Direc			r records. See back of bill City & County Property Tax	I for payment options and addition of San Francisco (Bill (Secured) 22 through June 30, 2023	\$1,332.6: hal information. Pay online at www.sftreasurer.or
	vol 03		o this portion for you	r records. See back of bill City & County Property Tax	of San Francisco (Bill (Secured) 22 through June 30, 2023 Prop	nal information.
	Voi 03 Check if coi	Block 0342 ntribution to	Lot 029 Arts Fund is enclosed	City & County Property Tax or Fiscal Year July 1,203 Bill No 20220286914 d.	of San Francisco (Bill (Secured) 22 through June 30, 2023 Prop 982-99	nal information. Pay online at www.sftreasurer.or perty Location
	Voi 03 Check if cor For other d	Block 0342 ntribution to donation opp	For Lot 029 Arts Fund is enclosed cortunities go to www.	City & County Property Tax or Fiscal Year July 1,203 Bill No 20220286914 d.	of San Francisco (Bill (Secured) 22 through June 30, 2023 Prop 982-99	nal information. Pay online at www.sftreasurer.or perty Location 8 MARKET ST
	vol 03 Check if col For other d Write your 2nd Install	Block 0342 ntribution to lonation opp block and lo	For Lot 029 Arts Fund is enclosed ortunities go to www. to on your check. be accepted unless	City & County. Property Tax or Fiscal Year July 1,202 Bill No 20220286914 d. w.Give2SF.org	of San Francisco (Bill (Secured) 22 through June 30, 2023 Prop 982-994	pal information. Pay online at www.sftreasurer.or perty Location 8 MARKET ST 2nd Installment Due April 10, 2023 \$7,468.57 April 10, 2023 \$8,260.4
	vol 03 Check if cor For other d Write your 2nd Install San Franciss Secured Prop. O. Box 74:	Block 0342 ntribution to lonation opp block and lo ment cannot	For Lot 029 Arts Fund is enclosed ortunities go to www. ton your check. be accepted unless	City & County City & County Property Tax Bill No 20220286914 d. d. v.Give2SF.org 1st is paid.	Property of San Francisco (Bill (Secured) (Bill (Bill)	pal information. Pay online at www.sftreasurer.or perty Location 8 MARKET ST 2nd Installment Due April 10, 2023 \$7,468.57 April 10, 2023 \$8,260.4
	Vol 03 Check if cor For other d Write your 2nd Install San Francisc Secured Pro P.O. Box 74: San Francisc	Block 0342 ntribution to lonation opp block and lo ment cannot co Tax Collec co Tax Collec co, CA 94120	Lot 029 Arts Fund is enclosed ortunities go to www. ton your check. be accepted unless	City & County Property Tax or Fiscal Year July 1,202 Bill No 20220286914 d. v.Give2SF.org City & County or Property Tax or Fiscal Year July 1,202	Prop 982-99: Pay by If paid after includes 10% applicable fees Sea Francisco Bill (Secured) 2 through June 30, 2023	Pay online at www.sftreasurer.or B MARKET ST 2nd Installment Due April 10, 2023 \$7,468.52 April 10, 2023 \$8,260.42 penalty and \$8,260.42
	vol 03 Check if cor For other d Write your 2nd Install San Franciss Secured Prop. O. Box 74:	Block 0342 ntribution to lonation opp block and lo iment cannot	Arts Fund is enclosed ortunities go to www. ton your check. be accepted unless tor	City & County Property Tax or Fiscal Year July 1,202 Bill No 20220286914 d. W.Give2SF.org City & County or Property Tax	Proposition of San Francisco (Bill (Secured) (Bill (party Location 8 MARKET ST 2nd Installment Due April 10, 2023 \$7,468.5. April 10, 2023 \$8,260.4.
	Vol 03 Check if cor For other d Write your 2nd Install San Francisc Secured Pro P.O. Box 74: San Francisc Vol 03 Check if cor	Block 0342 ntribution to lonation opp block and lo iment cannot co Tax Collect operty Tax 26 co, CA 94120 Block 0342 ntribution to the contract of the contrac	For Lot O29 Arts Fund is enclosed or your check. be accepted unless tor O303420 For Lot O29 Arts Fund is enclosed or your check. be accepted unless tor O303420 For O303420	City & County of Property Tax of Fiscal Year July 1,202 Bill No Property Tax of Fiscal Year July 1,202 City & County of Property Tax of Fiscal Year July 1,202 City & County of Property Tax of Fiscal Year July 1,202 Bill No 20220286914 d.	Property of San Francisco (Bill (Secured) (Bill (B	Pay online at www.sftreasurer.or B MARKET ST 2nd Installment Due April 10, 2023 \$7,468.57 April 10, 2023 \$8,260.47 penalty and Pay online at www.sftreasurer.or
	Vol 03 Check if core For other d Write your 2nd Install San Francisc Secured Pro P.O. Box 74: San Francisc Old	Block 0342 Intribution to lonation opp block and lo ment cannot co Tax Collectory Tax 26 Co, CA 94120 Block 0342 Intribution to lonation opp	Fo Lot 029 Arts Fund is enclosed cortunities go to www. et on your check. be accepted unless for a cortuin to a cortuin	City & County of Property Tax of Fiscal Year July 1,202 Bill No Property Tax of Fiscal Year July 1,202 City & County of Property Tax of Fiscal Year July 1,202 City & County of Property Tax of Fiscal Year July 1,202 Bill No 20220286914 d.	Prop 982-991 Pay by If paid after includes 10% applicable fees If San Francisco Bill (Secured) If San Francisco Bill (Secured) If paid after includes 10% applicable fees Prop 982-991	Pay online at www.sftreasurer.or Berty Location 8 MARKET ST 2nd Installment Due April 10, 2023 \$7,468.5. April 10, 2023 \$8,260.4 penalty and Pay online at www.sftreasurer.or
	Vol 03 Check if cor For other d Write your 2nd Install San Francisc Secured Pro P.O. Box 74: San Francisc Vol 03 Check if cor For other d Write your If property	Block 0342 ntribution to lonation opp block and lo ment cannot co Tax Collect opperty Tax 26 co, CA 94120 ntribution to lonation opp block and lot lonation opp block and lot lonation opp block and lot	Lot 029 Arts Fund is enclosed ortunities go to www. ton your check. be accepted unless tor 029 Arts Fund is enclosed ortunities go to www. ton your check. do not not not not not not not not not no	City & County of Property Tax of Fiscal Year July 1,202 Bill No 20220286914 d. w.Give2SF.org City & County of Property Tax	Prop 982-99i San Francisco Prop 982-99i Pay by If paid after includes 10% applicable fees Prop 982-99i Pay by P	Pay online at www.sftreasurer.or Pay online at www.sftreasurer.or



1 Dr. Carlton B. Goodlett Place City Hall, Room 140 San Francisco, CA 94102 www.sftreasurer.org

Vol	Block	Lot	Bill No	Mail	Date	Prop	erty Location
03	0342	030	20220286915	October	11, 2022	982-998	B MARKET ST
	ed on Januar ME WITHHEL					► TOTAL DUE	\$20,071.30

ADDRESS INFORMATION NOT AVAILABLE ONLINE

► TOTAL DUE	\$20,071.30	
1st Installment	2nd Installment	
\$10,035.65	\$10,035.65	
Due 12/12/2022	Due 04/10/2023	

	Assessed	l Value
	Description	Full Value
Important Messages	Land	\$953,029
	Structure	\$635,351
	Fixtures	
	Personal Property	
	Gross Taxable Value	\$1,588,380
	Less HO Exemption	\$0
	Less Other Exemption	\$0
	Net Taxable Value	\$1,588,380
The second secon	TaxAmount	\$18,738.68
Direct Char	ges and Special Assessments	
Type	Telephone	Amount Due

Туре	Telephone	Amount Due
46 - San Francisco Bay Restoration Authority 52 - North of Market/Tenderloin CBD 89 - SFUSD Facilities District 91 - SFCCD Parcel Tax 98 - SFUSD - Teacher Support 101 - School Parcel Tax of 2020	(888) 508-8157 (415) 292-4812 (415) 355-2203 (415) 487-2400 (415) 355-2203 (415) 355-2203	\$12.00 \$600.00 \$40.52 \$99.00 \$283.86 \$297.24
Total Direct Charges and Special Assessments		\$1,332.62

City & County of San Francisco Property Tax Bill (Secured) For Fiscal Year July 1,2022 through June 30, 2023

Pay online at www.sftreasurer.org

1	Vol	Block	Lot	Bill No	Property Location
	03	0342	030	20220286915	982-998 MARKET ST

Check if contribution to Arts Fund is enclosed. For other donation opportunities go to www.Give2SF.org

Write your block and lot on your check. 2nd installment cannot be accepted unless 1st is paid.

2nd Installment Due								
Pay by	April 10, 2023	\$10,035.65						
If paid after includes 10% applicable fees	April 10, 2023 penalty and	\$11,084.21						

Secured Property Tax San Francisco, CA 94120-7426 0303420003000 20220286915 000000000 000000000 0000 2003



City & County of San Francisco Property Tax Bill (Secured)
For Fiscal Year July 1,2022 through June 30,2023 Pay online at www.sftreasurer.org

Vol	Block	Lot	Bill No	Property Location
03	0342	030	20220286915	982-998 MARKET ST

Check if contribution to Arts Fund is enclosed. For other donation opportunities go to www.Give2SF.org

Write your block and lot on your check. If property has been sold, please forward bill to new own

1st Installment Due Pay by December 12, 2022 \$10,035.65 If paid after December 12, 2022 \$11,039.21 ncludes 10% penalty Paid 12/07/2022

San Francisco Tax Collector Secured Property Tax P.O. Box 7426

San Francisco, CA 94120-7426

San Francisco Tax Collector

P.O. Box 7426



ADDRESS INFORMATION NOT AVAILABLE ONLINE ADDRESS INFORMATION NOT AVAILABLE ONLINE Important Messages I						1,2022 t			
ADDRESS INFORMATION NOT AVAILABLE ONLINE Important Messages Industry Important Messages Important Messages Industry Indu	03			12.17.22.2			9		
ADDRESS INFORMATION NOT AVAILABLE ONLINE Standard	sessed	on Januar	y 1, 2022 at	12:01am		-	TOTAL DUE		ć11 700 7
ADDRESS INFORMATION NOT AVAILABLE ONLINE S7,395.35 Due 12/12/2022 Due 04/10/2023	NAM	E WITHHEL	LD PER CA A	AB 2238					
Due 12/12/2022 Due 04/10/2023			DESC INIE	anustion.			1st Installment	2nd Ins	tallment
Due 12/12/2022 Due 04/10/2023							\$7,395.35	\$7,	,395.35
Important Messages Intra Messages Important Messages Important Messages Important Messages Intra Messages Intra Messages Important Messages Intra Messages Intra Messages Important Messages Intra Messages Intra Messages Intra Messages Intra Messages Important Messages Intra Mess		NOI	AVAILAD	LE ONLINE			Due 12/12/2022	Due 0	04/10/2023
Important Messages Land Structure S456,3i Structure S456,3i Structure Fixtures Personal Property Gross Taxable Value Less HO Exemption Less Other Exemption Ret Taxable Value S1,140,77 Tax Amount S13,458.4 46 - San Francisco Bay Restoration Authority (888) 508-8157 S1,222-8157 S600. 89 - SFUSD Facilities District (415) 355-2203 S9 - SFUSD Faci							Ass	essed Value	
Structure \$456,31				18		-		Ful	
Fixtures Fixtures Fixtures Fixtures Fixtures Fixtures Fixtures Fixtures Fixtures Fixed F			Impo	rtant Messages				\$684,467	
Personal Property Gross Taxable Value Less HDs Exemption Less Other Exemption Less Other Exemption Net Taxable Value S1,140,77 TaxAmount S13,458.4 Direct Charges and Special Assessments Todephone Amount Due 46 - San Francisco Bay Restoration Authority (888) 508-8157 S12, 62 - North of Market/Tenderloin CBD (415) 292-4812 S600. 91 - SFCCD Parcel Tax (415) 457-2400 S99- SFUSD Tacketr Support (415) 355-2203 S09- S09- S09- S09- S09- S09- S09- S09-						是。传统			\$450,500
Less HO Exemption Less Other Exemption Less Other Exemption Ret Taxable Value S1,140,77						100000	And the second second		
Less Other Exemption Net Taxable Value S1,140,77 Tax Manuart S13,458.45							Gross Taxable Value		\$1,140,773
Net Taxable Value S1,140,77 TaxAmount S13,458.t							Less HO Exemption		\$0
TaxAmount S13,458.k							COLUMN TRANSPORT		\$(
Type									
Type	_								\$13,458.08
46 - San Francisco Bay Restoration Authority (288) 508-8157 (27 North of Market/Fenderloin CBD (415) 292-4812 (415) 355-2203 (ect Charge	s and Sp		/	Amount Due
62 - North of Market/Fenderloin CBD (415) 292-4812 S600. 91 - SFCCD Parcel Tax (415) 487-2400 S99. 98 - SFUSD - Eacher Support (415) 355-2203 S283. 101 - School Parcel Tax of 2020 (415) 355-2203 S283. 101 - School Parcel Tax of 2020 (415) 355-2203 S283. 101 - School Parcel Tax of 2020 (415) 355-2203 S283. 101 - School Parcel Tax of 2020 (415) 355-2203 S283. 101 - School Parcel Tax of 2020 (415) 355-2203 S283. 102 - School Parcel Tax of 2020 S297. Total Direct Charges and Special Assessments Scept back of bill for payment options and additional information. City & County of San Francisco Pay online at www.sftreasurer. Property Tax Bill (Secured) For Fiscal Year July 1, 2022 through June 30, 2023 Voil Block Date Date Date Date Date Date Date Date	46.	San Franc	risco Ray Re		,	L PACE YOU			3 m 10 m 1
91 - SFCCD Pracel Tax 98 - SFUSD - Teacher Support 101 - School Parcel Tax of 2020 103 - School Parcel Tax of 2020 105 - School Parcel Tax of 2020 106 - School Parcel Tax of 2020 107 - School Parcel Tax of 2020 108 - SFUSD - Teacher Support 109 - School Parcel Tax of 2020 109 - School	62 -	North of I	Market/Ten	derloin CBD			(415) 292-4812		\$600.0
98-SFUSD-Teacher Support 101-School Parcel Tax of 2020 Total Direct Charges and Special Assessments Keep this portion for your records. See back of bill for payment options and additional information. City & County of San Francisco Pay online at www.sftreasurer. Property Tax Bill (Secured) For Fiscal Year July 1, 2022 through June 30, 2023 Vol Block if contribution to Arts Fund is enclosed. For other donation opportunities go to www.Give2SF.org Write your block and lot on your check. 2nd Installment cannot be accepted unless 1st is paid. San Francisco Tax Collector Secured Property Tax P.O. Box 7426 San Francisco, CA 94120-7426 City & County of San Francisco Property Tax Bill (Secured) For Fiscal Year July 1, 2022 through June 30, 2023 City & County of San Francisco Property Tax Bill (Secured) For Fiscal Year July 1, 2022 through June 30, 2023 Vol Block O3 0342 031 20220286916 Property Location Pay online at www.sftreasurer. Pay online at www.sftreasurer. Pay online at www.sftreasurer. Pay online at www.sftreasurer. Property Tax Bill (Secured) For Fiscal Year July 1, 2022 through June 30, 2023 Vol Block O3 0342 031 20220286916 Property Location Property Location Property Location Pay online at www.sftreasurer. Property Location Pay online at www.sftreasurer. Pay online at www.				rict			(415) 355-2203		\$99.0
Total Direct Charges and Special Assessments Keep this portion for your records. See back of bill for payment options and additional information. City & County of San Francisco Property Tax Bill (Secured) For Fiscal Year July 1, 2022 through June 30, 2023 Voil Block 03 0342 031 20220286916 Property Location 982-998 MARKET ST Check if contribution to Arts Fund is enclosed. For other donation opportunities go to www.Give2SF.org Write your block and lot on your check. 2nd Installment cannot be accepted unless 1st is paid. San Francisco Tax Collector Secured Property Tax P.O. Box 7426 San Francisco, CA 94120-7426 City & County of San Francisco Property Tax Bill (Secured) For Fiscal Year July 1,2022 through June 30,2023 City & County of San Francisco Property Tax Bill (Secured) For Fiscal Year July 1,2022 through June 30,2023 City & County of San Francisco Property Tax Bill (Secured) For Fiscal Year July 1,2022 through June 30,2023 Check if contribution to Arts Fund is enclosed. For other donation opportunities go to www.Give2SF.org 1st Installment Due	98 -	SFUSD - T	Feacher Sup				(415) 355-2203		\$283.8
For Fiscal Year July 1,2022 through June 30, 2023 Vol Block		Ď.						Pay online at	www.sftreasurer.or
O3 0342 031 20220286916 982-998 MARKET ST Check if contribution to Arts Fund is enclosed. For other donation opportunities go to www.Give2SF.org Write your block and lot on your check. 2nd Installment cannot be accepted unless 1st is paid. San Francisco Tax Collector Secured Property Tax P.O. Box 7426 San Francisco, CA 94120-7426 City & County of San Francisco Property Tax Bill (Secured) For Fiscal Year July 1,2022 through June 30,2023 Vol Block 03 0342 031 20220286916 For other donation opportunities go to www.Give2SF.org Check if contribution to Arts Fund is enclosed. For other donation opportunities go to www.Give2SF.org Check if contribution to Arts Fund is enclosed. For other donation opportunities go to www.Give2SF.org		9		Fo					
Check if contribution to Arts Fund is enclosed. For other donation opportunities go to www.Give2SF.org Write your block and lot on your check. 2nd Installment cannot be accepted unless 1st is paid. San Francisco Tax Collector Secured Property Tax P.O. Box 7426 San Francisco, CA 94120-7426 City & County of San Francisco Property Tax Bill (Secured) For Fiscal Year July 1,2022 through June 30,2023 Vol Block Lot Bill No 0342 031 20220286916 Check if contribution to Arts Fund is enclosed. For other donation opportunities go to www.Give2SF.org 2nd Installment Due Pay by April 10, 2023 \$7,395.3 If paid after April 10, 2023 \$8,179. Includes 10% applicable fees City & County of San Francisco Property Tax Bill (Secured) Pay online at www.sftreasurer. Pay online at www.sftreasurer. Property Location 982-998 MARKET ST 1st Installment Due				A CONTRACTOR OF THE PARTY OF TH	Bill No			4	
For other donation opportunities go to www.Give2SF.org Write your block and lot on your check. 2nd Installment cannot be accepted unless 1st is paid. San Francisco Tax Collector Secured Property Tax P.O. Box 7426 San Francisco, CA 94120-7426 City & County of San Francisco Property Tax Bill (Secured) For Fiscal Year July 1,2022 through June 30,2023 Vol Block Date Block Date Block Date Block Date Property Location 982-998 MARKET ST Check if contribution to Arts Fund is enclosed. For other donation opportunities go to www.Give2SF.org			0342						
Write your block and lot on your check. 2nd Installment cannot be accepted unless 1st is paid: San Francisco Tax Collector Secured Property Tax P.O. Box 7426 San Francisco, CA 94120-7426 City & County of San Francisco Property Tax Bill (Secured) For Fiscal Year July 1,2022 through June 30,2023 Vol Block O342 031 20220286916 Check if contribution to Arts Fund is enclosed. For other donation opportunities go to www.Give2SF.org Pay by April 10, 2023 \$7,395.: 1 paid after April 10, 2023 \$8,179. If paid after April 10, 2023 \$8,179. Includes 10% applicable fees Pay online at www.sftreasurer. Pay online at www.sftreasurer. Pay by April 10, 2023 \$7,395.: Stan Francisco Property Tax Bill (Secured) Pay online at www.sftreasurer. Pay by April 10, 2023 \$8,179. Includes 10% applicable fees Pay online at www.sftreasurer.	. 75	heck if con	and the		202202869	916			
2nd Installment cannot be accepted unless 1st is paid: San Francisco Tax Collector Secured Property Tax P.O. Box 7426 City & County of San Francisco Property Tax Bill (Secured) For Fiscal Year July 1,2022 through June 30,2023 Vol Block O342	F	For other de		Arts Fund is enclosed	202202869	916		98 MARKET ST	t Due
Secured Property Tax P.O. Box 7426 San Francisco, CA 94120-7426 City & County of San Francisco Property Tax Bill (Secured) For Fiscal Year July 1,2022 through June 30,2023 Vol Block 0342 031 20220286916 Property Location 982-998 MARKET ST Check if contribution to Arts Fund is enclosed. For other donation opportunities go to www.Give2SF.org			onation oppo	Arts Fund is enclosed ortunities go to www	202202869	916	982-9	2nd Installment	
City & County of San Francisco Property Tax Bill (Secured) For Fiscal Year July 1,2022 through June 30,2023 Vol 8lock 0342 031 20220286916 Property Location 982-998 MARKET ST Check if contribution to Arts Fund is enclosed. For other donation opportunities go to www.Give2SF.org	,	Write your I 2nd Installr	onation oppo block and lot ment cannot	Arts Fund is enclosed ortunities go to www ton your check. be accepted unless 1	202202869 I. .Give2SF.org	D	Pay by If paid after includes 109	2nd Installment April 10, 2023 April 10, 2023 penalty and	\$7,395.3
Property Tax Bill (Secured) For Fiscal Year July 1,2022 through June 30,2023 Vol 8lock 0342 031 20220286916 Property Location 982-998 MARKET ST Check if contribution to Arts Fund is enclosed. For other donation opportunities go to www.Give2SF.org	Si Si Si P.	Write your I 2nd Installr an Francisc ecured Pro .O. Box 742	block and lot ment cannot to Tax Collect perty Tax	Arts Fund is enclosed ortunities go to www ton your check. be accepted unless to	202202869 I. .Give2SF.org	D	Pay by If paid after includes 109	2nd Installment April 10, 2023 April 10, 2023 penalty and	\$7,395.3
Vol Block Lot Bill No Property Location 982-998 MARKET ST Check if contribution to Arts Fund is enclosed. For other donation opportunities go to www.Give2SF.org	Si Si Si P.	Write your I 2nd Installr an Francisc ecured Pro .O. Box 742	block and lot ment cannot to Tax Collect perty Tax	Arts Fund is enclosed ortunities go to www ton your check. be accepted unless to	202202869 i. .Give2SF.org lst is paid:	D	Pay by If paid after includes 10% applicable fee	2nd Installment April 10, 2023 April 10, 2023 penalty and	\$7,395.3 : \$8,179.8
Check if contribution to Arts Fund is enclosed. For other donation opportunities go to www.Give2SF.org	Si Si Si P.	Write your I 2nd Installr an Francisc ecured Pro .O. Box 742	block and lot ment cannot to Tax Collect perty Tax	Arts Fund is enclosed ortunities go to www. ton your check. be accepted unless tor	202202869 I. Give2SF.org Ist is paid: City & Prop	County of Serty Tax Bi	Pay by If paid after includes 109 applicable fee.	2nd Installment April 10, 2023 April 10, 2023 April 10, 2023 Spenalty and	\$7,395.3: \$8,179.8
For other donation opportunities go to www.Give2SF.org	SS	Write your I 2nd Installr an Francisc ecured Pro ,0. 8ox 742 an Francisc	onation oppiblock and lot ment cannot	Arts Fund is enclosed ortunities go to www.t on your check. be accepted unless to accepte	202202869 I. Give2SF.org Ist is paid: City & Prop Fiscal Year Ju	County of Serty Tax Birly 1,2022	Pay by If paid after includes 109 applicable fee.	2nd Installment April 10, 2023 April 10, 2023 penalty and Pay online at a coperty Location	\$7,395.35 \$8,179.86
Write your block and lot on your check. Pay by December 12, 2022 \$7,395.3	SS	Write your I 2nd Installr an Francisc ecured Pro O. Box 742 an Francisc	onation oppiblock and lot ment cannot contact Collect perty Tax 16 co, CA 94120	Arts Fund is enclosed ortunities go to www. ton your check. be accepted unless tor	202202869 I. Give2SF.org Ist is paid: City & Prop Fiscal Year Ju Bill No 202202869	County of Serty Tax Birly 1,2022	Pay by If paid after includes 109 applicable fee.	2nd Installment April 10, 2023 April 10, 2023 April 10, 2023 penalty and Pay online at:	\$7,395.35 \$8,179.85
	Sic	Write your I 2nd Installing an Francisc ecured Pro .O. Box 742 an Francisc	onation oppiblock and lot ment cannot	Arts Fund is enclosed ortunities go to www ton your check. be accepted unless to tor United States and States Stat	202202869 I. Give2SF.org Ist is paid: City & Prop Fiscal Year Ju 202202869	County of Serty Tax Birly 1,2022	Pay by If paid after includes 109 applicable fee.	2nd Installment April 10, 2023 April 10, 2023 April 10, 2023 penalty and Pay online at:	\$7,395.3: \$8,179.8

If property has been sold, please forward bill to new owner.
-CIIRED
San Francisco Tax Collector
Secured Property Tax
P.O. Box 7426
San Francisco, CA 94120-7426

1st Installment Due					
Pay by	December 12, 2022	\$7,395.35			
	er December 12, 2022 10% penalty	\$8,134.88			
	Paid 12/07/2022				



1 Dr. Carlton B. Goodlett Place City Hall, Room 140 San Francisco, CA 94102 www.sftreasurer.org

20220286917 October 11, 2022 982-998 MARKET ST

Assessed on January 1, 2022 at 12:01am To: NAME WITHHELD PER CA AB 2238

> ADDRESS INFORMATION NOT AVAILABLE ONLINE

► TOTAL DUE	\$19,993.08
1st Installment	2nd Installment
\$9,996.54	\$9,996.54
Due 12/12/2022	Due 04/10/2023

	Assessed Value		
	Description	Full Value	
Important Messages	Land	\$949,051	
	Structure	\$632,698	
	Fixtures		
	Personal Property		
	Gross Taxable Value	\$1,581,749	
	Less HO Exemption	\$0	
	Less Other Exemption	\$0	
	Net Taxable Value	\$1,581,749	
	TaxAmount	\$18,660.46	

Туре	Telephone	Amount Due
46 - San Francisco Bay Restoration Authority	(888) 508-8157	\$12.00
62 - North of Market/Tenderloin CBD	(415) 292-481 2	\$600.00
89 - SFUSD Facilities District	(415) 355-2203	\$40.55
91 - SFCCD Parcel Tax	(415) 487-2400	\$99.00
98 - SFUSD - Teacher Support	(415) 355-2203	\$283.86
101 - School Parcel Tax of 2020	(415) 355-2203	\$297.24

Keep this portion for your records. See back of bill for payment options and additional information. City & County of San Francisco Property Tax Bill (Secured)

Pay online at www.sftreasurer.org

\$1,332.62

For Fiscal Year July 1,2022 through June 30, 2023 Bill No

20220286917 0342 032 982-998 MARKET ST

Check if contribution to Arts Fund is enclosed. For other donation opportunities go to www.Give2SF.org

Total Direct Charges and Special Assessments

Write your block and lot on your check. 2nd Installment cannot be accepted unless 1st is paid! San Francisco Tax Collector Secured Property Tax

Pay by	April 10, 2023	\$9,996.54
If paid after includes 10% applicable fees	April 10, 2023 penalty and	\$11,041.19

0303420003200 20220286917 000000000 000000000 0000 2003

P.O. Box 7426

San Francisco, CA 94120-7426

City & County of San Francisco Property Tax Bill (Secured) For Fiscal Year July 1,2022 through June 30, 2023 Pay online at www.sftreasurer.org

Vol	Block	Lot	Bill No	Property Location	10
03	0342	032	20220286917	982-998 MARKET ST	

Check if contribution to Arts Fund is enclosed. For other donation opportunities go to www.Give2SF.org

Write your block and lot on your cree...
If property has been sold, please forward bill to new ow

San Francisco Tax Collector San Francisco Tax Secured Property Tax P.O. Box 7426 San Francisco, CA 94120-7426

	1st Installment	Due
Pay by	December 12, 2022	\$9,996.54
	er December 12, 2022 10% penalty	\$10,996.19
	Paid 12/07/2022	



1 Dr. Carlton B. Goodlett Place City Hall, Room 140 San Francisco, CA 94102 www.sftreasurer.org

Vol Block 03 0342	033	Bill No 20220286918	October 11, 20	22	Property Location 982-998 MARKET ST	г
	uary 1, 2022 at HELD PER CA A			► TOTAL DU	E	\$14,686.00
				1st Installme		Installment
A	DDRESS INFO	DRMATION				
	OT AVAILABI			\$7,343.00		\$7,343.00
				Due 12/12/20	022 Du	e 04/10/2023
				Description	Assessed Value	Full Value
		/ X	/	Land	7	\$679,138
	Impo	rtant Messages		Structure Fixtures Personal Property Gross Taxable Value Less HO Exemption Less Other Exemption		\$452,75 \$1,131,89 \$ \$
				Net Taxable Value	1 200	\$1,131,89
		June 1985		TaxAmount		\$13,353.38
		100	ect Charges and S	pecial Assessments		
AC F F-	ancieco Day D	Type storation Authority		Telephone (888) 508-8		Amount Due \$12.0
89 - SFUSE 91 - SFCCE 98 - SFUSE	of Market/Tend Facilities Distr Parcel Tax - Teacher Sup ol Parcel Tax of	port		(415) 292-4 (415) 355-2 (415) 487-2 (415) 355-2 (415) 355-2	203 400 203	\$600.0 \$40.5 \$99.0 \$283.8 \$297.2
Total Dir		nd Special Assess this portion for you	r records. See back of bil City & County	I for payment options and a of San Francisco		
Vol 03		this portion for you	r records. See back of bil City & County Property Tax	of San Francisco k Bill (Secured) 22 through June 30, 202	Pay online	
Vol 03	Block 0342	this partian for you	r records. See back of bil City & County Property Ta: or Fiscal Year July 1,20 Bill No 20220286918	of San Francisco k Bill (Secured) 22 through June 30, 202	Pay online Property Location PROPERTY ST	at www.sftreasurer.o
vol 03 Check if	Block 0342 contribution to	Fo	City & County Property Ta: or Fiscal Year July 1,20 Bill No 20220286918	of San Francisco k Bill (Secured) 22 through June 30, 202	Pay online 3 Property Location 982-998 MARKET ST 2nd Installment	at www.sftreasurer.o
Vol 03 Check if For other Write ye 2nd Ins	Block 0342 contribution to a or donation opposition block and lot tallment cannot	For Lot 033 Arts Fund is enclose ortunities go to www. on your check, be accepted unless	City & County Property Ta: or Fiscal Year July 1,20 Bill No 20220286918 d. v.Give2SF.org	of San Francisco k Bill (Secured) 22 through June 30, 202	Property Location 082-998 MARKET ST 2nd Installme April 10, 2023 ter April 10, 2023 10% penalty and	ent Due \$7,343.0
Vol 03 Check if For othe Write ye 2nd Ins San Fran Secured P.O. Box	Block 0342 contribution to a re donation opposur block and lot tallment cannot cisco Tax Collect Property Tax	Lot 033 Arts Fund is enclosed ortunities go to www. on your check. be accepted unless or 07	City & County City & County Property Ta: or Fiscal Year July 1,20 Bill No 20220286918 d. City & County City & County Property Ta: Or Fiscal Year July 1,20 City & County Property Tax	of San Francisco k Bill (Secured) 22 through June 30, 202 Pay by If paid af includes applicab of San Francisco Bill (Secured)	Pay online 3 Property Location 982-998 MARKET ST 2nd Installme April 10, 2023 10% penalty and le fees	ent Due \$7,343.0 \$8,122.3
Vol 03 Check if For other Write ye 2nd Ins San Fran Secured P.O. Box	Block 0342 contribution to oper our block and lot tallment cannot cisco Tax Collect Property Tax 7426	Lot 033 Arts Fund is enclosed ortunities go to www. on your check. be accepted unless or 07	City & County City & County Property Ta: or Fiscal Year July 1,20 Bill No 20220286918 d. City & County City & County Property Ta: Or Fiscal Year July 1,20 City & County Property Tax	of San Francisco k Bill (Secured) 22 through June 30, 202 Pay by If paid affincludes applicab Page 14 0000000	Pay online 3 Property Location 982-998 MARKET ST 2nd Installme April 10, 2023 10% penalty and le fees	ent Due \$7,343.0 \$8,122.3
Vol 03 Check if For other Write ye 2nd Ins San Fran Secured P.O. Box San Fran Vol 03	Block 0342 contribution to a	For Lot 033 Arts Fund is enclosed ortunities go to www. on your check. be accepted unless or United States of United States	City & County Oroperty Tax or Fiscal Year July 1,20 Bill No 20220286918 d. City & County Or Fiscal Year July 1,20 City & County Or Property Tax or Fiscal Year July 1,202 Bill No 20220286918	of San Francisco k Bill (Secured) 22 through June 30, 202 Pay by If paid af includes applicab of San Francisco Bill (Secured) 22 through June 30, 2023	Property Location 182-998 MARKET ST 2nd Installme April 10, 2023 ter April 10, 2023 penalty and le fees	\$7,343.0 \$8,122.3
Vol 03 Check if For othic Write ye 2nd Ins San Fran Secured P.O. Box San Fran Vol 03 Check if For othic Vol 03 Check if For othic Vol 03	Block 0342 contribution to a c	Lot 033 Arts Fund is enclosed ortunities go to www. on your check. be accepted unless or 033420	City & County Property Ta: or Fiscal Year July 1,20 Bill No 20220286918 d. City & County or Property Ta: or Fiscal Year July 1,200 City & County or Property Tax or Fiscal Year July 1,202 Bill No 20220286918 d.	of San Francisco k Bill (Secured) 22 through June 30, 202 Pay by If paid af includes applicab of San Francisco Bill (Secured) 22 through June 30, 2023	Property Location Property Location Property Location Property Location Property Location Property Location April 10, 2023 Property Location Pay online Property Location	ent Due \$7,343.0 \$8,122.3
Vol 03 Check if For other Write ye 2nd Ins San Fran Secured P.O. Box San Fran Vol 03 Check if For other Write ye Use of the secured Use of the	Block 0342 contribution to or donation opporur block and lot tallment cannot cisco Tax Collect Property Tax 7426 Glock 0342 contribution to or donation opporur block and lot	For Lot 033 Arts Fund is enclosed or your check. Lot 033 Arts Fund is enclosed or your check. De accepted unless or your check. De accepted unless or your check. The your check or your check. The your check or your check.	City & County Property Tax or Fiscal Year July 1,20 Bill No 20220286918 d. City & County Property Tax or Fiscal Year July 1,202 City & County Property Tax or Fiscal Year July 1,202 Bill No 20220286918 d. Citye2SF.org	of San Francisco k Bill (Secured) 22 through June 30, 202 Pay by If paid af includes applicab of San Francisco Bill (Secured) 22 through June 30, 2023	Property Location Property Location Property Location Property Location Property Location Property Location April 10, 2023 Penalty and lefees Pay online Pay online Property Location	ent Due \$7,343.0 \$8,122.3
Vol 03 Check if For other Write ye 2nd Ins San Fran Vol 03 Check if For other Write ye if prope	Block 0342 contribution to or donation opporur block and lot tallment cannot cisco Tax Collect Property Tax 7426 Glock 0342 contribution to or donation opporur block and lot	For Lot 033 Arts Fund is enclosed ortunities go to www. on your check. be accepted unless for 033 Arts Fund is enclosed ortunities go to www. on your check. be accepted unless for 033 Arts Fund is enclosed ortunities go to www. on your check. d, please forward bill	City & County Property Tax or Fiscal Year July 1,20 Bill No 20220286918 d. City & County Property Tax or Fiscal Year July 1,202 City & County Property Tax or Fiscal Year July 1,202 Bill No 20220286918 d. Citye2SF.org	of San Francisco (a Bill (Secured) (b) (c) (c) (d) (d) (e) (e) (e) (e) (e) (e) (e) (e) (e) (e	Pay online 3 Property Location 182-998 MARKET ST 2nd Installme April 10, 2023 10% penalty and lefees Pay online 3 Property Location 182-998 MARKET ST 1st Installme	ent Due \$7,343.0 \$8,122.3



Block 0342	034	20220286919	October 11, 202	2	982-998 MARKET ST	
	ary 1, 2022 at HELD PER CA A		The same of the sa	► TOTAL DUE		\$20,004.18
				1st Installment	2nd In	stallment
A	DDRESS INFO	RMATION		\$10,002.09		10,002.09
N	OT AVAILABI	LE ONLINE		Due 12/12/2022		04/10/2023
					ssessed Value	
				Description	Service - Colore Management	ull Value
	Impo	rtant Message:	5 1000000000000000000000000000000000000	Land	\ \ \	\$949,617
		161	THE PERSON	Structure		\$633,075
				Personal Property		
				Gross Taxable Value		\$1,582,692
				Less HO Exemption		\$0
				Less Other Exemption		\$0
				Net Taxable Value Tax Amount		\$1,582,692 \$18,671.56
		Die	ract Charges and S	pecial Assessments		\$18,071.30
		Туре	cer charges and 5	Telephone	v /	Amount Due
46 - San Fra	ncisco Bay Re	storation Authorit	у	(888) 508-815		\$12.00
62 - North o	of Market/Tend Facilities Distr	derloin CBD		(415) 292-481. (415) 355-220.		\$600.00 \$40.52
91 - SFCCD				(415) 487-240 (415) 355-220	0	\$99.00 \$283.86
	Parcel Tax of			(415) 355-220	3	\$297.24
Total Dire			r records. See back of bill City & County o Property Tax	for payment options and add of San Francisco Bill (Secured) 2 through June 30, 2023		
T)	Кеер	this portion for you	City & County of Property Tax Or Fiscal Year July 1,202	of San Francisco	Pay online a	
Vol 03		this portion for you	r records. See back of bill City & County o Property Tax	of San Francisco Bill (Secured) 22 through June 30, 2023		
voi 03 Check if o	Block 0342	this portion for you	ir records. See back of bill City & County of Property Tax or Fiscal Year July 1,202 Bill No 20220286919 d.	of San Francisco Bill (Secured) 22 through June 30, 2023	Pay online a	t www.sftreasurer.org
voi 03 Check if o For other	Block 0342	For Lot Use and Section for your Property of the Property of t	ir records. See back of bill City & County of Property Tax or Fiscal Year July 1,202 Bill No 20220286919 d.	of San Francisco Bill (Secured) 22 through June 30, 2023	Property Location 2-998 MARKET ST	nt www.sftreasurer.org
Voi 03 Check if o For other	Block 0342 contribution to a r donation oppor	Lot 034	or records. See back of bill City & County (Property Tax or Fiscal Year July 1,202 Bill No 20220286919 d. w.Give2SF.org	of San Francisco Bill (Secured) 2 through June 30, 2023	Property Location 2-998 MARKET ST 2nd Installmer April 10, 2023 April 10, 2023 penalty and	\$1,332.62 at www.sftreasurer.org
Voil 03 Check if C For other Write you 2nd Inst	Block 0342 contribution to donation oppor ur block and lot allment cannot	Lot 034 Arts Fund is enclose ortunities go to www on your check. be accepted unless	or records. See back of bill City & County (Property Tax or Fiscal Year July 1,202 Bill No 20220286919 d. w.Give2SF.org	of San Francisco Bill (Secured) 2 through June 30, 2023 982 Pay by If paid after includes 1	Property Location 2-998 MARKET ST 2nd Installmer April 10, 2023 April 10, 2023 penalty and	nt Due \$10,002.09
Voi 03 Check if c For other Write you 2nd Inst	Block 0342 contribution to a donation opporur block and lot allment cannot sisco Tax Collect roperty Tax	Lot 034 Arts Fund is enclose ortunities go to www on your check. be accepted unless	or records. See back of bill City & County (Property Tax or Fiscal Year July 1,202 Bill No 20220286919 d. w.Give2SF.org	of San Francisco Bill (Secured) 2 through June 30, 2023 982 Pay by If paid after includes 1	Property Location 2-998 MARKET ST 2nd Installmer April 10, 2023 April 10, 2023 penalty and	nt Due \$10,002.09
Voil 03 Check if c For other Write you 2nd Inst. San Franc. Secured P P.O. Box 7	Block 0342 contribution to or donation oppositure block and lot allment cannot issco Tax Collect property Tax 426	Lot 034 Arts Fund is enclose ortunities go to www on your check. be accepted unless or	City & County of Property Tax of Property Tax or Fiscal Year July 1,202 Bill No 20220286919 d. W.Give2SF.org 1st is paid.	Pay by If paid after includes 1 applicable for San Francisco Sill (Secured) Pay by If paid after includes 1 applicable for San Francisco Bill (Secured)	Property Location 2-998 MARKET ST 2nd Installmer April 10, 2023 April 10, 2023 0% penalty and ees	nt Due \$10,002.09
Voil 03 Check if c For other Write you 2nd Inst. San Franc. Secured P P.O. Box 7	Block 0342 contribution to or donation oppositure block and lot allment cannot issco Tax Collect property Tax 426	Lot 034 Arts Fund is enclose ortunities go to www on your check. be accepted unless or	City & County of Property Tax of Property Tax or Fiscal Year July 1,202 Bill No 20220286919 d. W.Give2SF.org 1st is paid.	Pay by If paid after includes 1 applicable for San Francisco Sill (Secured) Pay by If paid after includes 1 applicable for San Francisco Sill (Secured) 2 through June 30, 2023	Property Location 2-998 MARKET ST 2nd Installmer April 10, 2023 April 10, 2023 0% penalty and ees	nt Due \$10,002.09 \$11,047.29
Vol 03 Check if o For other Write you 2nd inst San France Secured P.O. Box 7 San France Vol 03 Check if o	Block 0342 contribution to or donation oppor ur block and lot allment cannot isco Tax Collect rooperty Tax 426 lsco, CA 94120	Lot 034 Arts Fund is enclose or unities go to www on your check. be accepted unless or 0303420 For 034 Arts Fund is enclose or unities go to www.	City & County of Property Tax	Pay by If paid after includes 1 applicable for San Francisco Sill (Secured) Pay by If paid after includes 1 applicable for San Francisco Sill (Secured) 2 through June 30, 2023	Property Location 2-998 MARKET ST 2nd Installmer April 10, 2023 April 10, 2023 April 10, 2023 penalty and ees Property Location 2-998 MARKET ST	nt Due \$10,002.09 \$11,047.29
vol 03 Check if c For other Write you 2nd Inst San Franc Secured P P.O. Box 7 San Franc	Block 0342 contribution to or donation opporur block and lot allment cannot issco Tax Collect roperty Tax 426 slock 0342 contribution to or donation opporur opporur to contribution to or donation opporur to contribution to contribution to or donation opporur to contribution to contrib	Lot 034 Arts Fund is enclose ortunities go to www on your check. be accepted unless or 034 20 Lot 034 Arts Fund is enclose ortunities go to www on your check. be accepted unless or 034 420 Fo 034 Arts Fund is enclose ortunities go to www	City & County of Property Tax	Pay by If paid after includes 1 applicable for San Francisco Bill (Secured) Pay by If paid after includes 1 applicable for San Francisco Bill (Secured) through June 30, 2023	Property Location 1-998 MARKET ST 2nd Installmer April 10, 2023 April 10, 2023 penalty and Property Location 1000000000000000000000000000000000000	nt Due \$10,002.09 \$11,047.29
Vol 03 Check if C For other Write you 2nd Inst San Franc Secured P P.O. Box 7 San Franc Vol 03 Check if C For other Write you will be said to said the s	Block 0342 contribution to or donation opporur block and lot allment cannot disco Tax Collect property Tax 1426 Block 0342 contribution to or donation opporur block and lot	Lot 034 Arts Fund is enclose or unities go to www on your check. be accepted unless or 0303420 For 034 Arts Fund is enclose or unities go to www.	City & County of Property Tax or Fiscal Year July 1,202 Bill No 20220286919 d. w.Give2SF.org City & County of Property Tax or Fiscal Year July 1,2022 City & County of Property Tax or Fiscal Year July 1,2022 Bill No 20220286919 d. w.Give2SF.org	Pay by If paid after includes 1 applicable for through June 30,2023 Pay by If paid after includes 1 applicable for through June 30,2023 Pay by If paid after includes 1 applicable for through June 30,2023 Pay by If paid after applicable for through June 30,2023	Property Location 1-998 MARKET ST 2nd Installmer April 10, 2023 April 10, 2023 April 10, 2023 penalty and Pay online a Property Location 1-998 MARKET ST 1st Installmen December 12, 2022 December 12, 2022	nt Due \$10,002.09 \$11,047.29
Vol 03 Check if C For other Write you 2nd Inst. San Franc. San Franc. Vol 03 Check if C For other Write you 103 Check if C For other Write you If proper.	Block 0342 contribution to or donation opporur block and lot allment cannot disco Tax Collect property Tax 426 Block 0342 contribution to or donation opporur block and lot donation opporur block and lot ty has been sole	Lot 034 Arts Fund is enclose ortunities go to www on your check. be accepted unless or 034 Arts Fund is enclose ortunities go to www on your check. be accepted unless or 034 Arts Fund is enclose ortunities go to www on your check. d, please forward bill	City & County of Property Tax or Fiscal Year July 1,202 Bill No 20220286919 d. w.Give2SF.org City & County of Property Tax or Fiscal Year July 1,2022 City & County of Property Tax or Fiscal Year July 1,2022 Bill No 20220286919 d. w.Give2SF.org	Pay by If paid after includes 1 applicable for through June 30,2023 Pay by If paid after includes 1 applicable for through June 30,2023 Pay by If paid after includes 1 applicable for through June 30,2023 Pay by If paid after applicable for through June 30,2023	Property Location 1-998 MARKET ST 2nd Installmer April 10, 2023 April 10, 2023 penalty and Property Location 10 00000000000000000000000000000000000	nt Due \$10,002.09 \$11,047.29
Vol 03 Check if C For other Write you 2nd Inst. San Franc. San Franc. Vol 03 Check if C For other Write you 103 Check if C For other Write you If proper.	Block 0342 contribution to or donation opporur block and lot allment cannot disco Tax Collect roperty Tax 426 lisco, CA 94120 lisco Tax Collect roperty Tax and lot or donation opporur block and lot or donation opporur block and lot ty has been solo disco Tax Collect roperty Tax	Lot 034 Arts Fund is enclose ortunities go to www on your check. be accepted unless or 034 Arts Fund is enclose ortunities go to www on your check. be accepted unless or 034 Arts Fund is enclose ortunities go to www on your check. d, please forward bill	City & County of Property Tax or Fiscal Year July 1,202 Bill No 20220286919 d. w.Give2SF.org City & County of Property Tax or Fiscal Year July 1,2022 City & County of Property Tax or Fiscal Year July 1,2022 Bill No 20220286919 d. w.Give2SF.org	Pay by If paid after includes 1 applicable for through June 30,2023 Pay by If paid after includes 1 applicable for through June 30,2023 Pay by If paid after includes 1 applicable for through June 30,2023 Pay by If paid after applicable for through June 30,2023	Property Location 1-998 MARKET ST 2nd Installmer April 10, 2023 April 10, 2023 April 10, 2023 penalty and Pay online a Property Location 1-998 MARKET ST 1st Installmen December 12, 2022 December 12, 2022	nt Due \$10,002.09 \$11,047.29



1 Dr. Carlton B. Goodlett Place City Hall, Room 140 San Francisco, CA 94102 www.sftreasurer.org

For Fiscal Year July 1,2022 through June 30, 2023 Mail Date October 11, 2022 982-998 MARKET ST 035 20220286920 03 0342 Assessed on January 1, 2022 at 12:01am To: NAME WITHHELD PER CA AB 2238 **▶ TOTAL DUE** \$15,368.34 1st Installment 2nd Installment **ADDRESS INFORMATION** 57,684.17 \$7,684.17 **NOT AVAILABLE ONLINE** Due 12/12/2022 Due 04/10/2023 Assessed Value Land Important Messages \$713,842 Structure \$475,892 Fixtures Personal Property Gross Taxable Value \$1,189,734 Less HO Exemption \$0 Less Other Exemption SO Net Taxable Value \$1,189,734 **Tax Amount** \$14,035.72 **Direct Charges and Special Assessments** Amount Due (888) 508-8157 (415) 292-4812 (415) 355-2203 (415) 487-2400 (415) 355-2203 (415) 355-2203 46 - San Francisco Bay Restoration Authority 62 - North of Market/Tenderloin CBD 89 - SFUSD Facilities District \$12.00 \$600.00 \$40.52 \$99.00 91 - SFCCD Parcel Tax 98 - SFUSD - Teacher Support 101 - School Parcel Tax of 2020 \$283.86 5297 24 **Total Direct Charges and Special Assessments** \$1,332.62 Keep this portion for your records. See back of bill for payment options and additional information. City & County of San Francisco Pay online at www.sftreasurer.org Property Tax Bill (Secured) For Fiscal Year July 1,2022 through June 30, 2023 Bill No 20220286920 03 0342 035 982-998 MARKET ST Check if contribution to Arts Fund is enclosed. 2nd Installment Due For other donation opportunities go to www.Give2SF.org \$7,684.17 Pay by April 10, 2023 Write your block and lot on your check. 2nd Installment cannot be accepted unless 1st is paid If paid after April 10, 2023 \$8,497.58 includes 10% penalty and applicable fees San Francisco Tax Collector Secured Property Tax P.O. Box 7426 San Francisco, CA 94120-7426 0303420003500 20220286920 000000000 000000000 0000 2003 City & County of San Francisco Pay online at www.sftreasurer.org

4

City & County of San Francisco Property Tax Bill (Secured) For Fiscal Year July 1,2022 through June 30,2023

 Vol
 Block
 Lot
 Bill No
 Property Location

 03
 0342
 035
 20220286920
 982-998 MARKET ST

Check if contribution to Arts Fund is enclosed.
For other donation opportunities go to www.Give2SF.org

Write your block and lot on your check.
If property has been sold, please forward bill to new owner.

San Francisco Tax Collector Secured Property Tax P.O. Box 7426 San Francisco, CA 94120-7426



Block	Lot	Bill No	Mail Date		roperty Location	
0342	036 ary 1, 2022 at	20220286921	October 11, 2022	982-	-998 MARKET ST	
	ELD PER CA			► TOTAL DUE	\$21,46	7.54
				1st Installment	2nd Installment	
AD	DRESS INFO	ORMATION	-	\$10,733,77	\$10,733.77	
NO	T AVAILAB	LE ONLINE	COL	Due 12/12/2022	Due 04/10/2023	
			J.D.			
				Asses	sed Value	
	Impo	ortant Messages	1	Land	\$1,02	4,040
1,11		1657	- 48.4	Structure	\$68	32,691
				Personal Property		
			200	Gross Taxable Value	\$1,70	6,731
			10 M	Less HO Exemption		\$0
			THE PARTY NAMED IN	Less Other Exemption Net Taxable Value	61.70	\$0
				Tax Amount	\$1,70	
		Die	rect Charges and Spe		\$20,1	34.92
		Туре	ect charges and spe	Telephone	Amount Due	
		storation Authorit	y COORNER	(888) 508-8157		12.00
	Market/Ten acilities Dist			(415) 292-4812 (415) 355-2203		600.00 540.52
1 - SFCCD P	arcel Tax			(415) 487-2400		99.00
01 - School	Teacher Sup Parcel Tax o	f 2020		(415) 355-2203 (415) 355-2203	\$ 5	283.86 297.24
2				ill (Secured)		
Vol	Kee _l	p this portion for you FC	City & County of Property Tax B or Fiscal Year July 1,2022	San Francisco ill (Secured) through June 30, 2023 Prope	al information. Pay online at www.sftreast	
Vol 03	Block 0342	For Lot 036	City & County of Property Tax B or Fiscal Year July 1,2022	San Francisco ill (Secured) through June 30, 2023 Prope	al information. Pay online at www.sftreasu	
Vol 03 Check if co	Block 0342	p this portion for you FC	City & County of Property Tax B Prop	San Francisco ill (Secured) through June 30, 2023	al information. Pay online at www.sftreast erty Location MARKET ST nd Installment Due	urer.org
Vol 03 Check if co	Block 0342 entribution to donation opp	Lot 036 Arts Fund is enclosed	City & County of Property Tax B Prop	San Francisco ill (Secured) through June 30, 2023	al information. Pay online at www.sftreast erty Location MARKET ST	urer.org
Vol 03 Check if co For other o Write your 2nd Instal	Block 0342 entribution to donation opp r block and lot liment cannot	Lot 036 Arts Fund is enclosed ortunities go to www. ton your check. the accepted unless	City & County of Property Tax B or Fiscal Year July 1,2022 Bill No 20220286921 d. v.Give2SF.org	San Francisco ill (Secured) through June 30, 2023 Prope 982-998 Pay by If paid after	Pay online at www.sftreast erty Location MARKET ST nd Installment Due April 10, 2023 \$10,73	urer.org
vol 03 Check if co For other o Write you 2nd Instal	Block 0342 Intribution to donation opp or block and loi Ilment cannot	Lot 036 Arts Fund is enclosed ortunities go to www. ton your check. the accepted unless	City & County of Property Tax B or Fiscal Year July 1,2022 Bill No 20220286921 d. v.Give2SF.org	San Francisco ill (Secured) through June 30, 2023 Prope 982-998 Pay by If paid after includes 10%	Pay online at www.sftreast wrty Location MARKET ST nd Installment Due April 10, 2023 \$10,73 April 10, 2023 \$11,4	urer.org
Vol 03 Check if co For other o Write your 2nd Install	Block 0342 Intribution to donation opp or block and loi Ilment cannot	Lot 036 Arts Fund is enclosed ortunities go to www. ton your check. to be accepted unless	City & County of Property Tax B or Fiscal Year July 1,2022 Bill No 20220286921 d. v.Give2SF.org	San Francisco ill (Secured) through June 30, 2023 Prope 982-998 Pay by If paid after includes 10%	Pay online at www.sftreast wrty Location MARKET ST nd Installment Due April 10, 2023 \$10,73 April 10, 2023 \$11,4	33.77
Vol 03 Check if co For other o Write your 2nd Install	Block 0342 ontribution to donation opp r block and lo ilment cannot	Lot 036 Arts Fund is enclosed ortunities go to www. t on your check. the accepted unless tor	City & County of Property Tax B or Fiscal Year July 1,2022 Bill No 20220286921 d. v.Give2SF.org	San Francisco ill (Secured) through June 30, 2023 Prope 982-998 Pay by If paid after includes 10%	Pay online at www.sftreasurity Location MARKET ST Ind Installment Due April 10, 2023 \$10,73 April 10, 2023 \$11,4	33.77
Vol 03 Check if co For other o Write your 2nd Install San Francis Secured Prr P.O. Box 74	Block 0342 ontribution to donation opp r block and lo ilment cannot	Lot 036 Arts Fund is enclosed ortunities go to www. t on your check. the accepted unless tor	City & County of Property Tax B or Fiscal Year July 1,2022 Bill No 20220286921 d. v.Give2SF.org	San Francisco ill (Secured) through June 30, 2023 Prope 982-998 2 Pay by If paid after includes 10% applicable fees	Pay online at www.sftreasurity Location MARKET ST Ind Installment Due April 10, 2023 \$10,73 April 10, 2023 \$11,4	33.77
Vol 03 Check if co For other o Write your 2nd Install	Block 0342 ontribution to donation opp r block and lo ilment cannot	Lot 036 Arts Fund is enclosed ortunities go to www. t on your check. the accepted unless tor	City & County of Property Tax B or Fiscal Year July 1,2022 Bill No 20220286921 d. w.Give2SF.org 1st is paid.	San Francisco ill (Secured) through June 30, 2023 Prope 982-998 2 Pay by If paid after includes 10% applicable fees	Pay online at www.sftreasurity Location MARKET ST Ind Installment Due April 10, 2023 \$10,73 April 10, 2023 \$11,4	33.77
Vol 03 Check if co For other o Write you 2nd Instal San Francis Secured Prr P.O. Box 74	Block 0342 ontribution to donation opp r block and lo ilment cannot	Lot 036 Arts Fund is enclosed ortunities go to www. t on your check. the accepted unless tor	City & County of Property Tax B or Fiscal Year July 1,2022 Bill No 20220286921 d. v.Give2SF.org	San Francisco ill (Secured) through June 30, 2023 Prope 982-998 2 Pay by If paid after includes 10% applicable fees San Francisco Il (Secured)	Pay online at www.sftreasurity Location MARKET ST Ind Installment Due April 10, 2023 \$10,73 April 10, 2023 \$11,4	33.77 33.77
Vol 03 Check if co For other of Write your 2nd Instal San Francis Secured Pro P.O. Box 74	Block 0342 ontribution to donation opp r block and lo ilment cannot	Lot 036 Arts Fund is enclosed ortunities go to www. t on your check. the accepted unless tor	City & County of Property Tax B or Fiscal Year July 1,2022 Bill No 20220286921 d. V.Give2SF.org City & County of S Property Tax B or Fiscal Year July 1,2022	San Francisco ill (Secured) through June 30, 2023 Prope 982-998 2 Pay by If paid after includes 10% applicable fees ian Francisco Il (Secured) through June 30, 2023	Pay online at www.sftreasurity Location MARKET ST Ind Installment Due April 10, 2023 \$10,73 April 10, 2023 \$11,4 April 2023 \$11,4	33.77
Vol 03 Check if co For other o Write your 2nd Install	Block 0342 ontribution to donation opp r block and loi ilment cannot sico Tax Collect operty Tax 26 26	Lot 036 Arts Fund is enclosed ortunities go to www. t on your check. the accepted unless tor	City & County of Property Tax Bill No 20220286921 d	San Francisco ill (Secured) through June 30, 2023 Prope 982-998 2 Pay by If paid after includes 10% applicable fees San Francisco Il (Secured) through June 30, 2023	Pay online at www.sftreast wry Location MARKET ST Ind Installment Due April 10, 2023 \$10,73 April 10, 2023 \$11,4 DDDDDDDDDDDDDDDDDDDDDDDDDDDDDDDDDD	33.77 33.77
Vol 03 Check if co For other of Write your 2nd Instal San Francis Secured Pr P.O. Box 74 San Francis	Block 0342 entribution to donation oppor r block and loi llment cannot sco Tax Collect opperty Tax 26 co, CA 94120	Lot 036 Arts Fund is enclosed ortunities go to www. t on your check. the accepted unless tor	City & County of Service September 1,2022 Bill No 20220286921 City & County of Service September 1,2022 Bill No 20220286921 d.	San Francisco ill (Secured) through June 30, 2023 Prope 982-998 2 Pay by If paid after includes 10% applicable fees includes 10% applicable fees includes 10% applicable fees includes 10% applicable fees	Pay online at www.sftreast erty Location MARKET ST Ind Installment Due April 10, 2023 \$10,73 April 10, 2023 \$11,4 DOCUMENT AND ADDRESS STILL Pay online at www.sftreast	33.77 33.77
Vol 03 Check if co For other of Write your 2nd Instal San Francis Secured Pro P.O. Box 74 San Francis	Block 0342 entribution to donation opport of block and lot llment cannot sco Tax Collect operty Tax 26 co, CA 94120 Block 0342 entribution to donation opport of block and lot	Lot 036 Arts Fund is enclosed ortunities go to www. to n your check. 10-7426 10-7	City & County of September 1 (2020) City & County of Property Tax Bill No 20220286921 City & County of September 1 (2020) City & County of September 1 (2020	San Francisco ill (Secured) through June 30, 2023 Prope 982-998 2 Pay by If paid after includes 10% applicable fees San Francisco Il (Secured) through June 30, 2023 Prope 982-998	Pay online at www.sftreast wrty Location MARKET ST Ind Installment Due April 10, 2023 \$10,73 April 10, 2023 \$11,4 DODDDDDDDDDDDDDDDDDDDDDDDDDDDDDDDDDD	33.77 33.77 352.14
Vol 03 Check if co For other of Write your 2nd Instal San Francis Secured Pr. P.O. Box 74 San Francis Vol 03 Check if co For other of Write your Write your Write your Young 103	Block 0342 entribution to donation opport of block and lot llment cannot sco Tax Collect operty Tax 26 co, CA 94120 Block 0342 entribution to donation opport of block and lot	Lot 036 Arts Fund is enclosed ortunities go to www. ton your check. the accepted unless tor 0303420 For Lot 036 Arts Fund is enclosed ortunities go to www.	City & County of September 1 (2020) City & County of Property Tax Bill No 20220286921 City & County of September 1 (2020) City & County of September 1 (2020	San Francisco ill (Secured) through June 30, 2023 Prope 982-998 2 Pay by If paid after includes 10% applicable fees is 1921 00000000 00 is an Francisco il (Secured) through June 30, 2023 Prope 982-998 1 Pay by Dece	Pay online at www.sftreast wrty Location MARKET ST Ind Installment Due April 10, 2023 \$10,73 April 10, 2023 \$11,4 April 10, 2023 \$11,4 April 10, 2023 \$11,5 Pay online at www.sftreast wrty Location MARKET ST st Installment Due with both stallment Due	33.77 33.77
Vol 03 Check if co For other of Write your 2nd Instal San Francis Secured Pr. P.O. Box 74 San Francis Vol 03 Check if co For other of Write your Write your Write your Young 103	Block 0342 entribution to donation opport of block and lot llment cannot sco Tax Collect operty Tax 26 co, CA 94120 Block 0342 entribution to donation opport of block and lot	Lot 036 Arts Fund is enclosed ortunities go to www. to n your check. 10-7426 10-7	City & County of September 1 (2020) City & County of Property Tax Bill No 20220286921 City & County of September 1 (2020) City & County of September 1 (2020	San Francisco ill (Secured) through June 30, 2023 Prope 982-998 2 Pay by If paid after includes 10% applicable fees includes 10% applicable fees includes 10% applicable fees includes 10% applicable fees	Pay online at www.sftreast orty Location MARKET ST Ind Installment Due April 10, 2023 \$10,73 April 10, 2023 \$11,4 DOUDDOOD DOOD 2000 Pay online at www.sftreast orty Location MARKET ST st Installment Due cmber 12, 2022 \$10,73 cmber 12, 2022 \$11,73 cmber 12, 2022 \$11,73	33.77 33.77 352.14
Vol 03 Check if co For other of Write your 2nd Install San Francis Secured Pr P.O. Box 74 San Francis Vol 03 Check if co For other of Write your if property San Francis	Block 0342 ontribution to donation opporty Tax 26 co, CA 94120 ontribution to donation opporty Tax 26 co, CA 94120 ontribution to donation opporty Tax 26 ontribution to donation opporty block and lot has been sole co Tax Collect	Lot 036 Arts Fund is enclosed ortunities go to www. t on your check. the accepted unless tor 036 Arts Fund is enclosed ortunities go to www. to on your check. The accepted unless tor 036 Arts Fund is enclosed ortunities go to www. t on your check. d, please forward bill	City & County of September 1 (2020) City & County of Property Tax Bill No 20220286921 City & County of September 1 (2020) City & County of September 1 (2020	San Francisco ill (Secured) through June 30, 2023 Prope 982-998 2 Pay by If paid after includes 10% applicable fees San Francisco Il (Secured) through June 30, 2023 Prope 982-998 1 Pay by Dece If paid after Dece	Pay online at www.sftreast orty Location MARKET ST Ind Installment Due April 10, 2023 \$10,73 April 10, 2023 \$11,4 DOUDDOOD DOOD 2000 Pay online at www.sftreast orty Location MARKET ST st Installment Due cmber 12, 2022 \$10,73 cmber 12, 2022 \$11,73 cmber 12, 2022 \$11,73	33.77 33.77
Vol 03 Check if co For other of Write your 2nd Install San Francis Secured Pr P.O. Box 74 San Francis	Block 0342 ontribution to donation opporty Tax 26 ontribu	Lot 036 Arts Fund is enclosed ortunities go to www. t on your check. the accepted unless tor 036 Arts Fund is enclosed ortunities go to www. to on your check. The accepted unless tor 036 Arts Fund is enclosed ortunities go to www. t on your check. d, please forward bill	City & County of September 1 (2020) City & County of Property Tax Bill No 20220286921 City & County of September 1 (2020) City & County of September 1 (2020	San Francisco ill (Secured) through June 30, 2023 Prope 982-998 2 Pay by If paid after includes 10% applicable fees is an Francisco il (Secured) through June 30, 2023 Prope 982-998 1 Pay by Dece if paid after Dece includes 10%	Pay online at www.sftreast orty Location MARKET ST Ind Installment Due April 10, 2023 \$10,73 April 10, 2023 \$11,4 DOUDDOOD DOOD 2000 Pay online at www.sftreast orty Location MARKET ST st Installment Due cmber 12, 2022 \$10,73 cmber 12, 2022 \$11,73 cmber 12, 2022 \$11,73	33.77 33.77



0342

037 Assessed on January 1, 2022 at 12:01am

03

City & County of San Francisco José Cisneros, Treasurer David Augustine, Tax Collector Property Tax Bill (Secured) For Fiscal Year July 1,2022 through June 30, 2023

Mail Date

October 11, 2022

20220286922

1 Dr. Carlton B. Goodlett Place City Hall, Room 140 San Francisco, CA 94102 www.sftreasurer.org

982-998 MARKET ST

To: NAME WITHHELD PER CA AB 2238 **▶ TOTAL DUE** \$15,368.34 1st Installment 2nd Installment ADDRESS INFORMATION \$7,684.17 \$7,684.17 **NOT AVAILABLE ONLINE** Due 12/12/2022 Due 04/10/2023 Assessed Value Land \$713,842 Important Messages Structure \$475,892 Fixtures Personal Property Gross Taxable Value \$1,189,734 Less HO Exemption \$0 Less Other Exemption 50 Net Taxable Value \$1,189,734 Tax Amount \$14,035.72 **Direct Charges and Special Assessments** Type Amount Due 46 - San Francisco Bay Restoration Authority 62 - North of Market/Tenderloin CBD 89 - SFUSD Facilities District 91 - SFCCD Parcel Tax 98 - SFUSD - Teacher Support 101 - School Parcel Tax of 2020 (888) 508-8157 (415) 292-4812 (415) 355-2203 (415) 487-2400 (415) 355-2203 (415) 355-2203 \$12.00 \$600.00 \$40.52 \$99.00 \$283.86 \$297.24 **Total Direct Charges and Special Assessments** \$1,332.62 Keep this portion for your records. See back of bill for payment options and additional information City & County of San Francisco Pay online at www.sftreasurer.org Property Tax Bill (Secured) For Fiscal Year July 1,2022 through June 30, 2023 Bill No 037 03 0342 20220286922 982-998 MARKET ST Check if contribution to Arts Fund is enclosed. 2nd Installment Due For other donation opportunities go to www.Give2SF.org Pay by April 10, 2023 \$7,684.17 Write your block and lot on your check. 2nd Installment cannot be accepted unless 1st is paid If paid after April 10, 2023 \$8,497.58 includes 10% applicable fees penalty and San Francisco Tax Collector Secured Property Tax P.O. Box 7426 San Francisco, CA 94120-7426 0303420003700 20220286922 000000000 00000000 0000 2003 City & County of San Francisco Pay online at www.sftreasurer.org Property Tax Bill (Secured) For Fiscal Year July 1,2022 through June 30,2023 Bill No 0342 03 037 20220286922 982-998 MARKET ST Check if contribution to Arts Fund is enclosed. For other donation opportunities go to www.Give2SF.org 1st Installment Due \$7,684.17 December 12, 2022 Write your block and lot on your check. If property has been sold, please forward bill to new ov If paid after December 12, 2022 \$8,452.58 includes 10% penalty San Francisco Tax Collector Secured Property Tax Paid 12/07/2022 P.O. Box 7426 San Francisco, CA 94120-7426



ol Blo 3 03	ck Lot 42 038	20220286923	October 11, 20	22	982-998 MARKET ST	
essed on J	anuary 1, 2022	at 12:01am				
NAME WI	THHELD PER CA	A AB 2238		► TOTAL DUE	711	\$21,445.16
	ADDRESS IN	FORMATION		1st Installment		stallment
	ADDRESS IN NOT AVAILA			\$10,722.58	\$1	0,722.58
				Due 12/12/202	2 Due	04/10/2023
					Assessed Value	
			7/	Description	F	ull Value \$1,022,903
	Imp	portant Messag	es	Structure		\$681,932
				Fixtures Property		
				Personal Property Gross Taxable Value		\$1,704,835
				Less HO Exemption		\$0
				Less Other Exemption Net Taxable Value		\$1.704.835
				TaxAmount	PO 1	\$1,704,835
7/		D	Direct Charges and S	Special Assessments	h /	320,112.54
		Туре	303 4.10	Telephone	ar f	Amount Due
46 - San	Francisco Bay I	Restoration Author	rity	(888) 508-815 (415) 292-481	57	\$12.00 \$600.00
89 - SFU	SD Facilities Di	strict		(415) 355-220	03	\$40.52
	CD Parcel Tax SD - Teacher Si	ipport		(415) 487-240 (415) 355-220		\$99.00 \$283.80
101 - Sch	nool Parcel Tax	of 2020		(415) 355-220		\$297.2
Total I			our records. See back of bil City & County Property Tax	I for payment options and add of San Francisco x Bill (Secured) 22 through June 30, 2023		
Vol	Ke Block	ep this portion for you	City & County Property Ta) For Fiscal Year July 1,20	of San Francisco k Bill (Secured) 22 through June 30, 2023	Pay online at	
vol 03	Block 0342	ep this portion for y	City & County Property Ta) For Fiscal Year July 1,20 Bill No 20220286923	of San Francisco k Bill (Secured) 22 through June 30, 2023	Pay online at Property Location 2-998 MARKET ST	t www.sftreasurer.or
vol 03 Check	Block 0342	Lot 038	City & County Property Ta For Fiscal Year July 1,20 8iii No 20220286923	of San Francisco k Bill (Secured) 22 through June 30, 2023 98	Pay online at Property Location 2-998 MARKET ST 2nd Installmen	t www.sftreasurer.or
vol 03 Check For of	Block 0342 ther donation op	Lot 038 to Arts Fund is enclos opportunities go to ww	City & County Property Ta For Fiscal Year July 1,20 Bill No 20220286923 sed. ww.Give2SF.org	of San Francisco k Bill (Secured) 22 through June 30, 2023 98.	Property Location 2-998 MARKET ST 2nd Installmen April 10, 2023	t www.sftreasurer.or
vol 03 Check For of Write 2nd I	Block 0342 if contribution ther donation op your block and installment cann	Lot 038 co Arts Fund is enclos opportunities go to we lot on your check.	City & County Property Ta For Fiscal Year July 1,20 Bill No 20220286923 sed. ww.Give2SF.org	of San Francisco k Bill (Secured) 22 through June 30, 2023 98	Property Location 2-998 MARKET ST 2nd Installmer April 10, 2023 April 10, 2023 penalty and	nt Due \$10,722.58
vol 03 Check For or Write 2nd I	Block 0342 if contribution ther donation op your block and installment cann	Lot 038 co Arts Fund is enclos opportunities go to we lot on your check.	City & County Property Ta For Fiscal Year July 1,20 Bill No 20220286923 sed. ww.Give2SF.org	of San Francisco k Bill (Secured) 22 through June 30, 2023 98. Pay by If paid after includes	Property Location 2-998 MARKET ST 2nd Installmer April 10, 2023 April 10, 2023 penalty and	nt Due \$10,722.58
vol 03 Check For of Write 2nd I	Block 0342 if contribution of ther donation of your block and installment cann ancisco Tax Colle ded Property Tax ox 7426	Lot 038 co Arts Fund is enclos opportunities go to we lot on your check, ot be accepted unles	City & County Property Ta For Fiscal Year July 1,20 Bill No 20220286923 sed. ww.Give2SF.org	of San Francisco k Bill (Secured) 22 through June 30, 2023 98. Pay by If paid after includes	Property Location 2-998 MARKET ST 2nd Installmer April 10, 2023 April 10, 2023 penalty and	nt Due \$10,722.58
voi 03 Check For of Write 2nd I	Block 0342 if contribution ther donation op your block and installment cann ancisco Tax Colled Property Tax	Lot 038 to Arts Fund is enclose portunities go to wolot on your check, of be accepted unlessector 20-7426	City & County Property Tay For Fiscal Year July 1,20 Bill No 20220286923 sed. ww.Give2SF.org	of San Francisco k Bill (Secured) 22 through June 30, 2023 98. Pay by If paid after includes	Property Location 2-998 MARKET ST 2nd Installmer April 10, 2023 April 10, 2023 10% penalty and fees	nt Due \$10,722.56 \$11,839.8
vol 03 Check For of Write 2nd I	Block 0342 if contribution of ther donation of your block and installment cann ancisco Tax Colle ded Property Tax ox 7426	Lot 038 to Arts Fund is enclose portunities go to wolot on your check, of be accepted unlessector 20-7426	City & County Property Tay For Fiscal Year July 1,20 Bill No 20220286923 sed. ww.Give2SF.org	of San Francisco k Bill (Secured) 22 through June 30, 2023 98 Pay by If paid after includes applicable	Property Location 2-998 MARKET ST 2nd Installmer April 10, 2023 April 10, 2023 10% penalty and fees	nt Due \$10,722.56 \$11,839.8
vol 03 Check For of Write 2nd I	Block 0342 if contribution of ther donation of your block and installment cann ancisco Tax Colle ded Property Tax ox 7426	Lot 038 to Arts Fund is enclose portunities go to wolot on your check, of be accepted unlessector 20-7426	City & County Property Tay For Fiscal Year July 1,20 Bill No 20220286923 sed. ww.Give2SF.org	of San Francisco k Bill (Secured) 22 through June 30, 2023 98 Pay by If paid after includes applicable	Property Location 2-998 MARKET ST 2nd Installmer April 10, 2023 April 10, 2023 10% penalty and fees	nt Due \$10,722.58 \$11,839.8
vol 03 Check For or Write 2nd I	Block 0342 if contribution of ther donation of your block and installment cann ancisco Tax Colle ded Property Tax ox 7426	Lot 038 to Arts Fund is enclose portunities go to wolot on your check, of be accepted unlessector 20-7426	City & County C City & County Property Tay For Fiscal Year July 1,20 Bill No 20220286923 sed. sww.Give2SF.org City & County C	of San Francisco & Bill (Secured) 22 through June 30, 2023 98 Pay by If paid after includes applicable 284923 000000000	Property Location 2-998 MARKET ST 2nd Installmer April 10, 2023 April 10, 2023 penalty and fees	nt Due \$10,722.58 \$11,839.8
vol 03 Check For of Write 2nd I	Block 0342 if contribution of ther donation of your block and installment cann ancisco Tax Colle ded Property Tax ox 7426	Lot 038 to Arts Fund is enclos opportunities go to we lot on your check. ot be accepted unless ector 030342	City & County Property Ta For Fiscal Year July 1,20 Bill No 20220286923 sed. ww.Give2SF.org City & County Property Ta City & County Property Tax	of San Francisco k Bill (Secured) 22 through June 30, 2023 98. Pay by If paid after includes applicable	Property Location 2-998 MARKET ST 2nd Installmer April 10, 2023 April 10, 2023 penalty and fees	nt Due \$10,722.58 \$11,839.8
Vol 03 Check For o' Write 2nd I San Fr. Secure P.O. Be San Fr.	Block 0342 if contribution ther donation op your block and installment cann ancisco Tax Colled Property Tax ox 7426 ancisco, CA 941;	Lot 038 co Arts Fund is enclos opportunities go to ww lot on your check. ot be accepted unless ector 030342	City & County Property Ta For Fiscal Year July 1,20 Bill No 20220286923 sed. ww.Give2SF.org City & County of Property Tax Property Tax For Fiscal Year July 1,202	of San Francisco k Bill (Secured) 22 through June 30, 2023 98. Pay by If paid after includes applicable of San Francisco Bill (Secured) 22 through June 30, 2023	Property Location 2-998 MARKET ST 2nd Installmen April 10, 2023 - April 10, 2023 10% penalty and fees D D D D D D D D D D D D D D D D D D D	nt Due \$10,722.58 \$11,839.8
Vol 03 Check For ol Write 2nd I San Fr. Secure P.O. Bo San Fr. Vol 03	Block 0342 Block 0342 Block 0342 Block 0342	Lot 038 to Arts Fund is enclose opportunities go to work lot on your check. ot be accepted unlessector 03034 6	City & County C Property Tay For Fiscal Year July 1,20 Bill No 20220286923 sed. ww.Give2SF.org City & County C Property Tax For Fiscal Year July 1,202 Bill No 2020286923	of San Francisco k Bill (Secured) 22 through June 30, 2023 98. Pay by If paid after includes applicable of San Francisco Bill (Secured) 22 through June 30, 2023	Pay online at Property Location 2-998 MARKET ST 2nd Installmer April 10, 2023 April 10, 2023 10% penalty and fees	nt Due \$10,722.58 \$11,839.83
Vol 03 Check For or Write 2nd I San Fr. Secure P.O. Be San Fr. Vol 03 Check	Block 0342 If contribution or your block and installment cann ancisco Tax Colled Property Tax ox 7426 ancisco, CA 941:	Lot 038 co Arts Fund is enclos opportunities go to ww lot on your check. ot be accepted unless ector 030342	City & County or Property Tay For Fiscal Year July 1,20 Bill No 20220286923 Sed. www.Give2SF.org City & County or Property Tax For Fiscal Year July 1,202 Bill No 20220286923	of San Francisco k Bill (Secured) 22 through June 30, 2023 98. Pay by If paid after includes applicable of San Francisco Bill (Secured) 22 through June 30, 2023	Property Location 2-998 MARKET ST 2nd Installmen April 10, 2023 - April 10, 2023 10% penalty and fees D D D D D D D D D D D D D D D D D D D	nt Due \$10,722.58 \$11,839.83
Vol 03 Check For or Write 2nd I San Fr. Secure P.O. Be San Fr. I Vol 03 Check For or Write Vol 03 Check For or Write Vol 03	Block 0342 If contribution or your block and installment cann ancisco Tax College Property Tax ox 7426 ancisco, CA 941; Block 0342 If contribution ther donation or your block and in the donation or your block and your block and your block an	Lot 038 to Arts Fund is enclos opportunities go to we control to the accepted unless of the	City & County or Property Tay Sed. Sed. City & County Or Property Tay Sed. City & County Or Property Tay Sed. City & County Or Property Tay Tay Tay Tay Tay Tay Tay Tay Tay Ta	of San Francisco k Bill (Secured) 22 through June 30, 2023 98. Pay by If paid after includes applicable of San Francisco Bill (Secured) 22 through June 30, 2023	Property Location 2-998 MARKET ST 2nd Installmer April 10, 2023 7 April 10, 2023 10% penalty and fees D D D D D D D D D D D D Pay online at	\$10,722.58 \$11,839.83
Vol 03 Check For or Write 2nd I San Fr. Secure P.O. Be San Fr. I Vol 03 Check For or Write Vol 03 Check For or Write Vol 03	Block 0342 If contribution or your block and installment cann ancisco Tax College Property Tax ox 7426 ancisco, CA 941; Block 0342 If contribution or ther donation or your block and in the donation or your block and in the standard services and in the donation or your block and in the standard services and in the donation or your block and in the standard services are standard services and in the standard services are standard services and in the standard services are standard services are standard services and services are standard services are standard services and services are standard services are stan	Lot 038 to Arts Fund is enclose opportunities go to we lot on your check. ot be accepted unlessector 038 038 to Arts Fund is enclose opportunities go to we lot on your check.	City & County or Property Tay Sed. Sed. City & County Or Property Tay Sed. City & County Or Property Tay Sed. City & County Or Property Tay Tay Tay Tay Tay Tay Tay Tay Tay Ta	of San Francisco k Bill (Secured) 22 through June 30, 2023 98 Pay by If paid after includes applicable of San Francisco Bill (Secured) 2 through June 30, 2023 98. Pay by If paid after includes applicable of San Francisco Bill (Secured) 2 through June 30, 2023	Property Location 2-998 MARKET ST 2nd Installmen April 10, 2023 April 10, 2023 penalty and fees Pay online at Property Location 2-998 MARKET ST 1st Installment December 12, 2022 December 12, 2022	t Due \$10,722.58 \$11,839.8:
vol 03 Check For of Write 2nd I San Fr. Secure P.O. Bo San Fr. 100 Vol 03 Check For of Write If proj	Block 0342 if contribution the donation op your block and installment cann ancisco Tax Colled Property Tax ox 7426 ancisco, CA 9413 Block 0342 if contribution the donation op your block and leperty has been serviced.	Lot 038 to Arts Fund is enclose opportunities go to we lot on your check. of be accepted unlessector 038 to Arts Fund is enclose opportunities go to we lot on your check. of be accepted unlessector 038 to Arts Fund is enclose opportunities go to we lot on your check. old, please forward by	City & County or Property Tay Sed. Sed. City & County Or Property Tay Sed. City & County Or Property Tay Sed. City & County Or Property Tay Tay Tay Tay Tay Tay Tay Tay Tay Ta	of San Francisco k Bill (Secured) 22 through June 30, 2023 98 Pay by If paid after includes applicable of San Francisco Bill (Secured) 2 through June 30, 2023 98. Pay by If paid after includes applicable of San Francisco Bill (Secured) 2 through June 30, 2023	Property Location 2-998 MARKET ST 2nd Installmer April 10, 2023 10% penalty and fees Pay online at Property Location 2-998 MARKET ST 1st Installment December 12, 2022	nt Due \$10,722.58 \$11,839.83
Vol 03 Check For or Write 2nd I San Fr. Secure P.O. Bc San Fr. Vol 03 Check For or Write If proj	Block 0342 If contribution or your block and installment cann ancisco Tax College Property Tax ox 7426 ancisco, CA 941; Block 0342 If contribution or ther donation or your block and in the donation or your block and in the standard services and in the donation or your block and in the standard services and in the donation or your block and in the standard services are standard services and in the standard services are standard services and in the standard services are standard services are standard services and services are standard services are standard services and services are standard services are stan	Lot 038 to Arts Fund is enclose opportunities go to we lot on your check. of be accepted unlessector 038 to Arts Fund is enclose opportunities go to we lot on your check. of be accepted unlessector 038 to Arts Fund is enclose opportunities go to we lot on your check. old, please forward by	City & County or Property Tay Sed. Sed. City & County Or Property Tay Sed. City & County Or Property Tay Sed. City & County Or Property Tay Tay Tay Tay Tay Tay Tay Tay Tay Ta	of San Francisco k Bill (Secured) 22 through June 30, 2023 98 Pay by If paid after includes applicable of San Francisco Bill (Secured) 2 through June 30, 2023 98. Pay by If paid after includes applicable of San Francisco Bill (Secured) 2 through June 30, 2023	Property Location 2-998 MARKET ST 2nd Installmen April 10, 2023 April 10, 2023 penalty and fees Pay online at Property Location 2-998 MARKET ST 1st Installment December 12, 2022 December 12, 2022	t Due \$10,722.58 \$11,839.8:



ot Bill No Mail Date Property Location	
039 20220286924 October 11, 2022 982-998 MARKET ST	
022 at 12:01am FR CA AB 2238 ► TOTAL DUE \$15	\$15,076.
1st Installment 2nd Installmen	
S INFORMATION \$7,538.23 \$7,538.23	
AILABLE ONLINE Due 12/12/2022 Due 04/10/2	
	10/2023
Assessed Value Description Full Value	-1
Land	\$698.9
Important Messages Structure	\$465,9
Fixtures	
Personal Property	
Gross Taxable Value Less HO Exemption	\$1,164,9
Less Other Exemption	
Net Taxable Value \$1	\$1,164,9
Tax Amount \$1	\$13,743
Direct Charges and Special Assessments	
	mount Due \$12
et/Tenderloin CBD (415) 292-4812	\$600
es District (415) 355-2203 Tax (415) 487-2400	\$40 \$99
er Support (415) 355-2203 Tax of 2020 (415) 355-2203	\$283 \$297
rges and Special Assessments Keep this portion for your records. See back of bill for payment options and additional information. City & County of San Francisco Pay online at www.sftr	\$1,332 ww.sftreasurer
Keep this portion for your records. See back of bill for payment options and additional information. City & County of San Francisco Pay online at www.sftr Property Tax Bill (Secured) For Fiscal Year July 1,2022 through June 30,2023	
Keep this portion for your records. See back of bill for payment options and additional information. City & County of San Francisco Pay online at www.sftr Property Tax Bill (Secured)	
Keep this portion for your records. See back of bill for payment options and additional information. City & County of San Francisco Property Tax Bill (Secured) For Fiscal Year July 1, 2022 through June 30, 2023 Ock Lot Bill No Property Location	w.sftreasurer
City & County of San Francisco Property Tax Bill (Secured) For Fiscal Year July 1, 2022 through June 30, 2023 Lock Lot Bill No 20220286924 Property Location 982-998 MARKET ST Litin to Arts Fund is enclosed. On opportunities go to www.Give2SF.org Pay online at www.sftr Property Location 982-998 MARKET ST 2nd Installment Due	w.sftreasurer
City & County of San Francisco Property Tax Bill (Secured) For Fiscal Year July 1, 2022 through June 30, 2023 Took 342 Oay 20220286924 Ton opportunities go to www.Give2SF.org and lot on your check. Cannot be accepted unless 1st is paid. Title County of San Francisco Property Tax Bill (Secured) For Fiscal Year July 1, 2022 through June 30, 2023 Property Location 982-998 MARKET ST 2nd Installment Due Pay by April 10, 2023 If paid after April 10, 2023 includes 10% applicable fees	vw.sftreasurer
City & County of San Francisco Property Tax Bill (Secured) For Fiscal Year July 1,2022 through June 30,2023 The property Location 2020286924	ove.sftreasurer
City & County of San Francisco Property Tax Bill (Secured) For Fiscal Year July 1,2022 through June 30,2023 Cock Sada Osa Property Location Bill No 342 Osa Property Location Prope	Oue \$7,538. \$8,337
City & County of San Francisco Property Tax Bill (Secured) For Fiscal Year July 1,2022 through June 30,2023 Property Location 982-998 MARKET ST 2nd Installment Due Pay by April 10, 2023 \$7 If paid after April 10, 2023 \$7 If paid after April 10, 2023 \$7 Collector Tax 94120-7426 City & County of San Francisco Property Tax Bill (Secured) For Fiscal Year July 1,2022 through June 30,2023	Oue \$7,538. \$8,337
City & County of San Francisco Property Tax Bill (Secured) For Fiscal Year July 1,2022 through June 30,2023 Property Location 982-998 MARKET ST 2nd Installment Due Pay by April 10, 2023 1f paid after April 10,2023 Collector Tax 94120-7426 City & County of San Francisco Property Tax Bill (Secured) City & County of San Francisco Property Tax Bill (Secured) Pay online at www.sftr	Oue \$7,538. \$8,337
City & County of San Francisco Property Tax Bill (Secured) For Fiscal Year July 1,2022 through June 30,2023 Sock Property Tax Bill (Secured) For Fiscal Year July 1,2022 through June 30,2023 Sock Property Location 342 039 20220286924 Property Location 982-998 MARKET ST 2nd Installment Due Pay by April 10, 2023 If paid after April 10, 2023 Includes 10% penalty and applicable fees Collector Tax 94120-7426 City & County of San Francisco Property Tax Bill (Secured) For Fiscal Year July 1, 2022 through June 30, 2023 Ock Lot Bill No Property Location Property Location Property Location Property Location Property Location Property Location	Oue \$7,538. \$8,337
Collector Tax 94120-7426 City & County of San Francisco Property Tax Bill (Secured) For Fiscal Year July 1, 2022 through June 30, 2023 City & County of San Francisco Property Tax Bill (Secured) For Fiscal Year July 1, 2022 through June 30, 2023 Collector Tax 94120-7426 City & County of San Francisco Property Location Property Tax Bill (Secured) For Fiscal Year July 1, 2022 through June 30, 2023 Collector Property Tax Bill (Secured) For Fiscal Year July 1, 2022 through June 30, 2023 Collector Property Tax Bill (Secured) For Fiscal Year July 1, 2022 through June 30, 2023 Collector Property Tax Bill (Secured) For Fiscal Year July 1, 2022 through June 30, 2023 Collector Property Tax Bill (Secured) For Fiscal Year July 1, 2022 through June 30, 2023 Collector Property Tax Bill (Secured) For Fiscal Year July 1, 2022 through June 30, 2023 Collector Property Tax Bill (Secured) For Fiscal Year July 1, 2022 through June 30, 2023 Collector Property Tax Bill (Secured) For Fiscal Year July 1, 2022 through June 30, 2023 Collector Property Tax Bill (Secured) For Fiscal Year July 1, 2022 through June 30, 2023 Collector Property Tax Bill (Secured) For Fiscal Year July 1, 2022 through June 30, 2023 Collector Property Tax Bill (Secured) For Fiscal Year July 1, 2022 through June 30, 2023 Collector Property Tax Bill (Secured) For Fiscal Year July 1, 2022 through June 30, 2023 Collector Property Tax Bill (Secured) For Fiscal Year July 1, 2022 through June 30, 2023 Collector Property Tax Bill Year July 1, 2022 through June 30, 2023 Collector Property Tax Bill Year July 1, 2022 through June 30, 2023 Collector Property Tax Bill Year July 1, 2022 through June 30, 2023 Collector Property Tax Bill Year July 1, 2022 through June 30, 2023 Collector Tax	Oue \$7,538. \$8,337
Collector Tax 94120-7426 City & County of San Francisco Property Location Tax City & County of San Francisco Property Tax Bill (Secured) For Fiscal Year July 1,2022 through June 30,2023 Collector Tax 94120-7426 City & County of San Francisco Property Location Property Locatio	Oue \$7,538. S8,337



Block Lot Bill No Mail 0342 040 20220286925 October	11, 2022	98	Property Location 32-998 MARKET ST	
ised on January 1, 2022 at 12:01am IAME WITHHELD PER CA AB 2238	•	TOTAL DUE		\$21,176.64
		1st Installment	2nd In	stallment
ADDRESS INFORMATION		\$10,588.32	\$1	0,588.32
NOT AVAILABLE ONLINE	COUN	Due 12/12/2022	Due	04/10/2023
		Acce	essed Value	
		Description	ere andrew more than the	ull Value
Important Messages	Land			\$1,009,245
	Struct			\$672,829
		nal Property		
	1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	Taxable Value		\$1,682,074
		O Exemption Other Exemption		\$0 \$0
		axable Value		\$1,682,074
	Tax	lmount	7	\$19,844.02
Direct Charge	s and Special	Assessments	1	
Type		Telephone (200) 500 0157		Amount Due
46 - San Francisco Bay Restoration Authority 52 - North of Market/Tenderloin CBD		(888) 508-8157 (415) 292-4812		\$12.00 \$600.00
89 - SFUSD Facilities District 91 - SFCCD Parcel Tax		(415) 355-2203 (415) 487-2400		\$40.52 \$99.00
98 - SFUSD - Teacher Support 101 - School Parcel Tax of 2020		(415) 355-2203 (415) 355-2203		\$283.86 \$297.24
	County of San Fra	incisco		
Keep this portion for your records. See E City 8 Pro For Fiscal Year Vol Block Lot Bill No	County of San Fra perty Tax Bill (Secu July 1,2022 through	nncisco ured) gh June 30, 2023	Pay online at	
Keep this portion for your records. See E City 8 Pro For Fiscal Year Vol Block Lot Bill No 03 0342 040 202202869 Check if contribution to Arts Fund is enclosed.	County of San Fra perty Tax Bill (Secu July 1,2022 through	incisco ured) gh June 30, 2023 Pro 982-99	Pay online at sperty Location 98 MARKET ST	www.sftreasurer.org
Keep this portion for your records. See E City 8 Pro	County of San Fra perty Tax Bill (Secu July 1,2022 through	incisco ured) gh June 30, 2023 Pro 982-99	Pay online at operty Location 198 MARKET ST	www.sftreasurer.org
Keep this portion for your records. See E City 8 Pro For Fiscal Year Vol. Block Lot Bill No. 03 0342 040 20220286: Check if contribution to Arts Fund is enclosed. For other donation opportunities go to www.Give2SF.org Write your block and lot on your check.	County of San Fra perty Tax Bill (Secu July 1,2022 through	proisco (red) (ph June 30, 2023 (Pro- 982-99) (Pay by	Pay online at perty Location 88 MARKET ST 2nd Installment April 10, 2023	it Due \$10,588.32
City 8 Pro For Fiscal Year Vol Block Lot Bill No 03 0342 040 202202869 Check if contribution to Arts Fund is enclosed. For other donation opportunities go to www.Give2SF.org Write your block and lot on your check. 2nd Installment cannot be accepted unless 1st is paid.	County of San Fra perty Tax Bill (Secu July 1,2022 through	incisco ured) gh June 30, 2023 Pro 982-99	Pay online at perty Location 98 MARKET ST 2nd Installment April 10, 2023 April 10, 2023 penalty and	\$1,332.62 www.sftreasurer.org
Vol Block Lot Bill No 03 0342 040 20220286: Check if contribution to Arts Fund is enclosed. For other donation opportunities go to www.Give2SF.org Write your block and lot on your check. 2nd Installment cannot be accepted unless 1st is paid. San Francisco Tax Collector Secured Property Tax	County of San Fra perty Tax Bill (Secu July 1,2022 through	Pay by If paid after includes 10%	Pay online at perty Location 98 MARKET ST 2nd Installment April 10, 2023 April 10, 2023 penalty and	it Due \$10,588.32
City & Frontisco Tax Collector Secured Property Tax P.O. Box 7426 San Francisco, CA 94120-7426 Keep this portion for your records. See E City & Pro For Fiscal Year. City & Pro For Fiscal Year. Bill No 202202869 Block Lot Bill No 202202869 Check if contribution to Arts Fund is enclosed. For other donation opportunities go to www.Give2SF.org Write your block and lot on your check. 2nd Installment cannot be accepted unless 1st is paid.	county of San Fra perty Tax Bill (Section) per	Programmer of the programmer o	Pay online at perty Location 98 MARKET ST 2nd Installment April 10, 2023 April 10, 2023 penalty and	at Due \$10,588.32 \$11,692.15
City & Properties of the portion for your records. See Each Pro For Fiscal Year . Vol Block Lot Bill No 03 0342 040 202202866 Check if contribution to Arts Fund is enclosed. For other donation opportunities go to www.Give2SF.org Write your block and lot on your check. 2nd Installment cannot be accepted unless 1st is paid. San Francisco Tax Collector Secured Property Tax P.O. Box 74276 San Francisco, CA 94120-7426 City & Property For Fiscal Year July 2009 19 19 19 19 19 19 19 19 19 19 19 19 19	county of San Fra perty Tax Bill (Section 1, 2022 through 1925	Programmer of the programmer o	Pay online at perty Location 18 MARKET ST 2nd Installment April 10, 2023 Penalty and	at Due \$10,588.32 \$11,692.15
City & Property Tax P.O. Box 7426 San Francisco Tax Collector Secured Property Tax P.O. Box 7426 City & Property Tax P.O. Box 7426	County of San Fra P25 County of San Fra P25 County of San Fra P37 County of San Fra P47	Proposition of the proposition o	Pay online at perty Location 98 MARKET ST 2nd Installment April 10, 2023 April 10, 2023 penalty and	at Due \$10,588.32 \$11,692.15
Keep this portion for your records. See E City 8 Pro For Fiscal Year. Vol Block Lot Bill No 03 0342 040 20220286 Check if contribution to Arts Fund is enclosed. For other donation opportunities go to www.Give2SF.org Write your block and lot on your check. 2nd Installment cannot be accepted unless 1st is paid. San Francisco Tax Collector Secured Property Tax P.O. Box 7426 San Francisco, CA 94120-7426 City & Prop For Fiscal Year Jo	County of San Fra P25 County of San Fra P25 County of San Fra P37 County of San Fra P47	Proposition of the proposition o	Pay online at perty Location 18 MARKET ST 2nd Installment April 10, 2023 April 10, 2023 April 10, 2023 April 10, 2023 Penalty and	at Due \$10,588.32 \$11,692.15
City & Property Tax P.O. Box 7426 San Francisco, CA 94120-7426 City & Property Tax P.O. Box 7426 San Francisco, CA 94120-7426 City & Property Tax P.O. Box 7426 City & P.O. Box	County of San Fra P25 County of San Fra P25 County of San Fra P37 County of San Fra P47	Pay by If paid after includes 10% applicable fees If DODDDDDDDDDDDDDDDDDDDDDDDDDDDDDDDDDDD	Pay online at perty Location 18 MARKET ST 2nd Installment April 10, 2023 April 10, 2023 penalty and Pay online at perty Location 18 MARKET ST	st Due \$10,588.32 \$11,692.15
City & Property Tax P.O. Box 7426 San Francisco Tax Collector Secured Property Tax P.O. Box 7426 San Francisco, CA 94120-7426 City & Property Tax P.O. Box 7426 City & Property	County of San Fra P25 County of San Fra P25 County of San Fra P37 County of San Fra P47	Pay by If paid after includes 10% applicable fees If paid after includes 10% applicable fees Pay by Deep Pay by	Pay online at perty Location 18 MARKET ST 2nd Installment April 10, 2023 Pay online at perty Location 18 MARKET ST 1st Installment 12, 2022 cember 12, 2022	\$10,588.32 \$10,588.32 \$11,692.15
City & Property Tax P.O. Box 7426 City & Property	County of San Fra P25 County of San Fra P25 County of San Fra P37 County of San Fra P47	Pay by If paid after includes 10% applicable fees Pay by Program 982-99 Pay by If paid after includes 10% applicable fees Program 982-99 Pay by Derincludes 10%	Pay online at perty Location 18 MARKET ST 2nd Installment April 10, 2023 Pay online at perty Location 18 MARKET ST 1st Installment 12, 2022 cember 12, 2022	at Due \$10,588.32 \$11,692.15

PAGE&TURNBULL



THE WARFIELD 988 MARKET STREET FOCUSED HISTORIC STRUCTURE REPORT

SAN FRANCISCO, CALIFORNIA [23077]

PREPARED FOR Group i

April 28, 2023

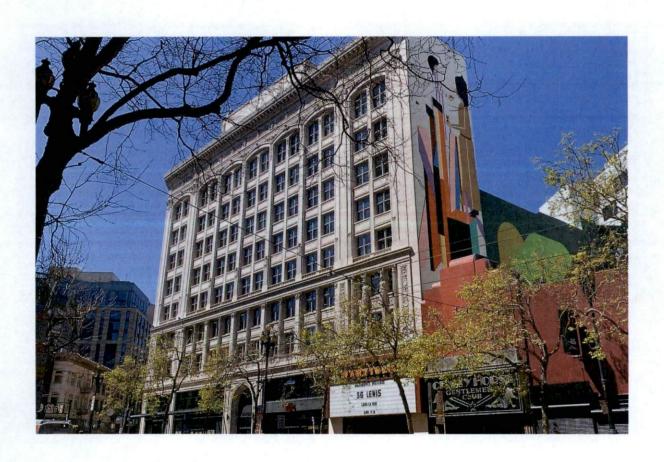


TABLE OF CONTENTS

EXEMPTION STATEMENT & SIGNIFICANCE EVALUATION	2
INTRODUCTION	3
HISTORY OF 988 MARKET STREET - THE WARFIELD	3
Brief History of 988 Market Street	3
Brief Biography of G. Albert Lansburgh, Master Architect (1876-1969)	7
Construction Chronology	11
HISTORIC SIGNIFICANCE	
Market Street Theatre & Loft Historic District	15
The Warfield	17
CHARACTER DEFINING FEATURES	
ARCHITECTURAL DESCRIPTION	21
EXISTING CONDITIONS ASSESSMENT	33
TREATMENT RECOMMENDATIONS	
SUPPLEMENTAL PHOTOGRAPHY	61
SITE PLAN	81
BIBLIOGRAPHY	82

EXEMPTION STATEMENT & SIGNIFICANCE EVALUATION

The Mills Act Historical Property Contract requires all commercial properties that are assessed at a value of more than \$5M to include a Historic Structure Report (HSR) as part of the application. Representatives of the San Francisco Planning Department have indicated that the HSR may be limited in scope and should include, at a minimum, a brief history of the building, a description of the building's historic condition, a summary of its existing condition, and an outline of short-term and long-term recommendations for rehabilitation. This limited Historic Structure Report, together with the Rehabilitation/Restoration & Maintenance Plan, serves to fulfill this requirement of the Mills Act and primarily focuses on conditions and treatment recommendations for the exterior of the building.

The Mills Act Historical Property Contract also requires that all commercial properties that are assessed at a value of more than \$5M include justification for how the property meets the following criteria:

- The qualified historic property is an exceptional example of architectural style or represents a work of a master architect or is associated with the lives of persons important to local or national history; OR
- 2. Granting the exemption will assist in the preservation and rehabilitation of a historic structure (including unusual and/or excessive maintenance requirements) that would otherwise be in danger of demolition, deterioration, or abandonment.

The following addresses how the property meets both criteria:

Constructed in 1921-22, the Warfield at 988 Market Street, has served continuously as an office tower and theater since completion. It is a fine example of Renaissance Revival architecture and is also the work of a local renowned architect, G. Albert Lansburgh. The building appears to have undergone repairs and minor alterations however it remains an important contributor architecturally to the nationally registered *Market Street Theatre & Loft District*. The building also contributes to the narrative of the historic district which represents San Francisco's early twentieth-century commercial and entertainment heritage.

Granting the exemption will aid in financing repairs, rehabilitation/restoration, and maintenance of the building including, for example: the historic terra cotta facades, the wood framed windows, as well as the roofing and parapet walls. The enclosed rehabilitation/restoration and maintenance plan further elaborates on proposed work intended to preserve the building.

The Warfield is situated in proximity to several other theaters and sits directly across Taylor Street from the Golden Gate Theater, which was also designed by Lansburgh in 1921-1922. Designed and constructed almost simultaneously, there was a virtual race toward completion and opening night. The Warfield opened on May 13, 1922, seven weeks after the Golden Gate Theater.

Plans for the Warfield were first proposed in 1919, by Irving Ackerman and Herbert Harris, movie exhibitors and western representatives and managers of Loews Incorporated; they announced in the *San Francisco Examiner* that a one-million-dollar theater was planned that would feature a roof garden, seating for 3,000, a stage of "exceptional" size, and room for a 100-piece orchestra. The theater was to be constructed in partnership with Loew's Incorporated and would be located at the corner of Market and Taylor streets. The newspaper article included an illustration of a domed Beaux-Arts style building suggestive of Lansburgh's work, although no architect was named specifically.³

By the time of its actual construction in 1921-1922, plans for the 988 Market Street building had changed, with the building's theater function physically overshadowed by the large office tower located at the front of the lot (Figure 2.). However, a high degree of architectural style was retained in the building's Renaissance Revival styling and the theater and office tower were cleverly incorporated for the most efficient use of space on the irregular corner lot (Figure 3.). The original design of the building included six retail stores, 7,500 square feet of office space, a 2,657-seat theater with 20 dressing rooms backstage, and a basement cafeteria (Figure 4.). The theater space was elaborately decorated and featured a proscenium mural by Albert Herter.

As the 300th theater in the Loews Theaters chain, the Warfield Theater was initially known as Loew's State Theater. Lowes Theaters was founded in 1904 by Marcus Loew and was the oldest operating theater chain in North America until succumbing to a merger in 2006. It was also the parent company of the Metro-Goldwyn-Mayer (MGM) studio.⁴ Even before construction was completed, however, Loew's State Theater had been renamed in honor of David Warfield, a San Francisco-born actor, who was also a good friend of Marcus Loew and an early investor in the Loews Theaters.⁵

³ Levin, Steve, "Lowe's Warfield," *Marquee: The Journal of the Theater Historical Society of America*, vol. 36, no. 3, third quarter 2004.

⁴ "Loews Cineplex Entertainment," Electronic resource available at: http://en.wikipedia.org/wiki/Loews_Cineplex_Entertainment, accessed: April 19, 2023.

⁵ David Warfield was raised in the South of Market neighborhood and in 1888, his acting talents were discovered by playwright, director, and producer David Belasco. By 1901, Warfield's career had taken him to New York, where he performed until his retirement in 1924; however, he was obviously well remembered in San Francisco and the Warfield Theater has retained the name throughout its history.

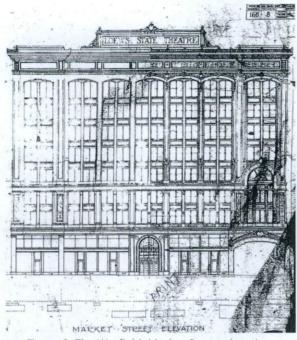


Figure 2. The Warfield. Market Street elevation (1 September 1920).

Source: Building Permit Application #094075, plans: roll #8653, frame #353-9.

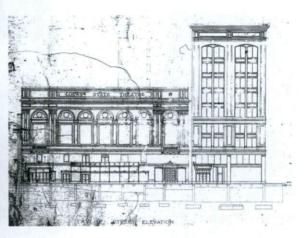


Figure 3. Warfield Theater Building. Original Taylor Street elevation (1 September 1920). Source: Building Permit Application #094075, plans: roll #8653, frame #353-9.



Figure 4. The Warfield in 1922. Source: San Francisco Public Library

When the Warfield first opened it presented a varied program of live Vaudeville acts by the likes of Al Jolson, and "photoplays." Throughout a week the theater might feature performances by the house's live orchestra, news reels, live comedies, featured musicians, a program called "Loew's Warfield's Pointed Paragraphs from the Press", and MGM moving pictures.⁶ In 1924, Fox West Coast Theaters signed a twenty-five-year lease on the Warfield Theater building. At that time, the original Moller organ was replaced with a Wurlitzer, but little else about the theater changed including the name and its status as the MGM showplace on Market Street. The only major alterations to occur during Fox West Coast's occupancy was the enclosure of the rear of the theater's main floor in the late 1920s – a change related to the advent of sound in motion pictures. Around this time, the basement cafeteria was known to have functioned as a nightclub, featuring an Art Deco style interior and a dance floor. Rumors suggest that the cafeteria/nightclub served as a speakeasy during the years of Prohibition. Though it had billed photoplays since its opening, the Warfield began to feature films more prominently in the 1930s (Figure 5.), including MGM's adaptation of the Eugene O'Neill play Anna Christie, featuring Greta Garbo in her first "talkie", and continuing with major first-run films like Gone with the Wind. It became a tradition for Warfield staff to dress in costume according to the currently billed film; a practice that was phased out in the 1970s. The Warfield, like many other major theaters, promoted its shows with eye catching signage that was crafted on site in the theater's basement sign shop. Large production images were provided by movie distributors but were crafted into unique displays by theater staff.7



Figure 5. The Warfield from Market Street, in the 1930s.

Source: San Francisco Public Library



Figure 6. The Warfield, theater marquee detail indicating 'Fox Warfield', ca. 1960s.

Source: San Francisco Public Library

⁶ Bloomfield, Anne, National Register of Historic Places Nomination Form: Market Street Theatre and Loft District, San Francisco, 19 Nov. 1985.

⁷ Jack Tillmany, Images of America: Theaters of San Francisco (Charleston: Arcadia Publishing, 2005).

After Fox West Coast's lease ran out, Loews Theaters reclaimed the building in 1949. At this time, the lobby was faced in red marble, new lobby furniture was installed, and the balcony boxes were removed from the auditorium. The theater was then sold to the National General Theaters chain in 1964 and became known as the Fox-Warfield Theater (Figure 6.).

In 1972, the theater's original marquee and blade signs were removed due to new restrictions on projecting signage that were instituted after the construction of the BART subway under Market Street. The subway tunnel also reduced the size of the building's basement. The theater then entered a period of decline, tending to show second-run movies on a long-term basis, rather than blockbusters as it had in the past. In the late 1970s, the Warfield reverted to its roots as a live performance venue. Beginning with two weeks of shows by Bob Dylan in 1979, the Warfield developed a reputation as a premier rock n' roll hall. Since that time, the theater has hosted concerts by innumerable music groups of various genres, while also showing theatrical productions from time to time. In fact, the theater served as the home performance venue for the San Franciscobased Grateful Dead for many years. National General Theaters sold the building in the early 1980s and it was subsequently owned by a series of independent organizations. In 1988, the main floor seating was removed to create dance space and other cosmetic restoration projects were undertaken within the theater space to serve the Downtown discothèque, which operated at the Warfield for a short time. The building was then acquired by Bill Graham and its reputation as a venue for live rock concerts, conducted under the "Bill Graham Presents" program, continued. Today, the theater continues to serve as a live music venue operated by Goldenvoice productions. Under separate ownership from the theater, the office tower component of the building has also continued its retail storefront and office uses; interior configurations and finishes associated with retail and office spaces have been updated over time with changes in tenancy.

Brief Biography of G. Albert Lansburgh, Master Architect (1876-1969)

The Warfield was designed by local master architect, Gustave Albert Lansburgh, renowned for his theater designs. Lansburgh was born on January 7, 1876 in Panama, the eldest son of Polish-born Simon Lazarus Lansburgh and his Jamaican-born wife, Rebecca. Albert's father, one of the most prominent ship chandlers on the Pacific Coast, died in 1879, and Albert's mother moved the family to San Francisco. The Lansburgh brothers were orphaned in 1888 and were placed under the guardianship of Rabbi Jacob Voorsanger of Temple Emanu-El. In 1894, Lansburgh graduated from Boys High School and enrolled at the University of California, Berkeley. While attending Berkeley between 1894 and 1896, Lansburgh worked as a draftsman for Bernard Maybeck during his vacations, and later spent a year working for architect Julius E. Krafft. Maybeck encouraged Lansburgh to attend the prestigious École des Beaux-Arts in Paris. In 1901, Lansburgh passed the École's entrance exams and was able to enroll due to the sponsorship of Moses A. Gunst, a San

Francisco cigar manufacturer and philanthropist.8

Lansburgh enrolled in the atelier of Jean Louis Pascal and worked with Pascal on the Bibliotèque Nationale. After five years of study, Lansburgh earned his diploma in March 1906 and was awarded a Medaille Salon by the Societé des Artistes Français in July 1906 for a set of drawings for a new Temple Emanu-El at the corner of Sutter Street and Van Ness Avenue. San Francisco's Temple Emanu-El had been largely destroyed in the April 18, 1906 earthquake. The replacement Temple Emanu-El was not built, however, as the Trustees recognized that the location was becoming too commercial. In the mid-1920's, both Lansburgh and Maybeck were retained as consultants for the Temple's present structure on Arguello at Lake, however, that building was designed by Sylvain Schnaitteracher and Bakewell & Brown.

Lansburgh returned from Paris to the Bay Area in May 1906, one month after the earthquake, and teamed up with Bernard Julius Joseph (1875-1971) who had also worked as a draftsman for Julius Krafft. Lansburgh and Joseph worked together as partners for two years before Lansburgh opened his own office. During that time, they designed many Downtown commercial buildings, becoming prominent players in the reconstruction of San Francisco. Their projects included the Gunst Building on the southwest corner of Powell and Geary streets on Union Square, the remodel of the burned-out Emporium on Market Street, and a new Orpheum Theater on the south side of O'Farrell Street between Stockton and Powell streets (demolished in 1938). Even after the partnership dissolved, Lansburgh and Joseph continued to collaborate on several major projects.

Lansburgh is remembered primarily as a theater and auditorium architect, designing over fifty such structures nationwide. He enjoyed the patronage of Morris Meyerfield, Jr., President of the Orpheum Theater and Realty Company. Lansburgh's younger brother Simon, an attorney, became in-house counsel of the company, succeeding Meyerfield as President in 1920. Lansburgh was to design several theaters for the Orpheum Circuit in San Francisco, Los Angeles, New Orleans, St. Louis, Kansas City, and Salt Lake City. Lansburgh consulted with local architects on theaters in Los Angeles, including the Shrine Auditorium, site of the Academy Awards, and the historic Wiltern Theater on Wilshire Boulevard. In In San Francisco, two of Lansburgh's finest surviving theaters are the Warfield on Market Street at Taylor Street and the Golden Gate Theater across Taylor Street on the corner of Golden Gate Avenue. In 1931, Lansburgh and Arthur Brown, Jr. designed both the War Memorial

⁸ Norton B. Stern and William D. Kramer, "G. Albert Lansburgh: San Francisco's Jewish Architect from Panama," Western States Jewish Historical Quarterly, April-May 1981.

⁹ Biography, G. Albert Lansburgh Collection, 1891-1939. *Online Archive of California*. Electronic Resource at: http://content.cdlib.org/view?docId=tf3n39n6xr&chunk.id=bioghist-1.8.4, accessed April 20, 2023.

¹⁰ "Movie Theaters Designed by G. Albert Lansburgh," Electronic Resource at http://cinematreasures.org/architects/68, accessed April 20, 2023.

Opera House and the War Memorial Veterans Building on Van Ness Avenue, with Lansburgh focusing on the interiors. The pinnacle of Lansburgh's theater design was the Beck Theater, a Byzantine-style theater he designed for Vaudeville producer Martin Beck on W. 45th Street and 8th Avenue in New York, which opened in 1924. The monumental theater had room for huge sets and hundreds of actors and reflected Beck's ambitions to stage large musicals.

In addition to theaters, Lansburgh did projects for Jewish organizations. These include the Jewish Concordia Club on Van Ness Avenue (1914), the B'nai B'rith Grand Lodge, the Temple Sinai in Oakland (1914), and a second unexecuted design for Temple Emanu-El. As mentioned previously, Lansburgh acted as consulting architect with Sylvain Schnaittacher and Bakewell & Brown on the present Temple Emanu-El (1926). He also designed a few residential projects in San Francisco, including his own Mediterranean Revival style house at 3052 Pacific Avenue (1924) and an exemplary Beaux-Arts style house at 2201 Broadway (1914).

At the height of his career, Lansburgh ran offices out of San Francisco, New York, and Los Angeles. When World War II started, Lansburgh closed his New York and Los Angeles offices and contributed to the war effort by designing seaplanes and destroyer tenders, until health problems hastened his semi-retirement. Lansburgh was a member of the Argonaut and Concordia Clubs, the San Francisco Chapter of the American Institute of Architects, the Beaux Arts Society, and the Diplome Society of Beaux Arts Architects. Lansburgh, a master of acoustics, was hailed for his "originality and versatility of style" and "careful eye for economy of space, material and construction." He died in San Mateo in April 1969 at the age of 93.13

Brief History of Market Street Theatre & Loft District

During the period of post-1906 Earthquake and Fire redevelopment, Market Street between Fifth and Ninth streets developed as San Francisco's theater district and was host to a series of live performance theaters and motion picture houses, which sprang up along the wide boulevard. Market Street was a natural location for theaters because it was the city's primary transportation corridor, allowing people from all areas of the city to easily access it, and its wide sidewalks could accommodate the large crowds at show times. ¹⁴ As the motion picture industry grew nationwide in the 1920s and 1930s, the Market Street Theatre district continued to flourish, and many of the

¹¹ Biography, G. Albert Lansburgh Collection.

¹² Biography, G. Albert Lansburgh Collection

¹³ Biography, G. Albert Lansburgh Collection

¹⁴ San Francisco Redevelopment Agency, "Mid-Market Redevelopment Plan" EIR #2002.0805E (18 September 2003); Bloomfield.

theaters initially constructed as vaudeville venues were converted to show motion pictures. Through the end of World War II, all first-run Hollywood movies opened on Market Street.¹⁵

This strip of Market Street was dubbed the Great White Way, adopting the moniker originally given to New York's Broadway, due to the numerous brightly lit marquees. Market Street's first movie palace opened in 1917, and at its peak, a six-block stretch housed twenty venues (including the monumental 4,650 seat Fox theater) with 25,000 seats, a quarter of all of those in San Francisco. All major theater chains of the time, Columbia/Universal, MGM, Paramount, RKO, 20th Century Fox, and United Artists, maintained noteworthy Market Street houses for first runs. 1922 was a particularly important year, as two great theaters opened on Market Street -- the Golden Gate and the Warfield. They featured both motion pictures and live entertainment, including vaudeville, famous actors, big bands, and popular musicians of the time. The opening of the Fox Theater, the largest west of the Mississippi River, on June 28, 1929, was the highpoint of Market Street's movie palace era.

By 1930, the production, distribution and exhibition of most motion pictures had been consolidated into the hands of eight studios, and the Depression further impacted the movie industry. Construction of new theaters slowed. From 1930 to 1932 the number of movie theaters in operation nationwide decreased from 22,000 to 14,000 and attendance declined from 90 million people per week to 60 million. San Francisco experienced similar reductions. The Market Street entertainment district was particularly hard hit by declining attendance. Just one theater opened in the district after World War II, the 280-seat Pix.

¹⁵ Jack Tillmany, Images of America: Theaters of San Francisco (Charleston: Arcadia Publishing, 2005).

Construction Chronology

For the purposes of this Focused Historic Structure Report, the property's construction chronology is excerpted below. The following provides a summarized timeline of substantive construction activity at 988 Market Street, based on building permit applications on file with the San Francisco Department of Building Inspection and available online through the San Francisco Property Information Map. Only permits with statuses as "complete" have been included.

Date Filed	Permit #	Owner	Architect/Builder	Scope of Alterations
1 September 1920	#094075	Loew's Theaters	G. Albert Lansburgh (Architect) / MacDonald & Kahn (Builder)	Original construction of theater building and 8-story office tower.
24 March 1922	#0105795	Loew's Theaters		Construction of the marquee.
4 April 1923	#0115502	Loew's Theaters		Replacement of storefront at 984 Market Street.
6 January 1926	#0146335	Loew's Theaters		Window alterations at 994 Market Street.
3 November 1927	#0166034	Loew's Theaters		Removal and replacement of storefront at 984 Market Street.
13 August 1929	#0180585	Loew's Theaters		Replacement of storefront at 982 Market Street to match 984. Ground floor shop spaces 982 and 984 Market Street are combined into one larger tenant space.
27 February 1938	#0184434	Loew's Theaters		Removal of storefront and construction of meta lath and plaster arch at 986 Market Street.

30 June 1938	#35990	Loew's Theaters	Alteration of storefront at 990 Market Street.
14 February 1940	#028104	Loew's Theaters	Building entrance of 984 Market Street moved from the eastern side of the store to the center.
17 October 1949	#0121162	Loew's Theaters	Alteration of 988 Market Street entrance.
10 July 1950	#0128848		Alteration to storefront entrance of 986 Market Street. Replacement of folding door with two 2' x 6'-8" doors flanked by plate glass windows.
13 September 1951	#0140215		Installation of new storefront at 982 Market Street.
29 October 1951	#0141055		Installation of new storefront at 994 Market Street.
17 July 1958	#0211991		Replacement of storefront at 992 Market Street.
15 October 1963	#290204		Installation of new entrance doors at 988 Market Street. The windows at entry were replaced with solid tile wall and doors were replaced as fully glazed metal doors. Awnings were also installed at Taylor and Market Streets.

30 October	#290718		See above
30 October 1963 2 September 1964	#290718	National General Corp.	See above description. Modification of marquee sign to remove reference to "Loew" and add reference to "Fox". Replacement of mezzanine* windows with plate glass. Storefronts were altered with the addition of wider concrete piers separating each
25 May 1965	#3093610	Southwest Amusement Corp.	separating each storefront bay. Remodel of six storefronts and addition of signs indicating new building owner. Additional permits issued for installation of metal awnings above ground floor windows.
August 1966	#0333061		Construction of new window and door at 988 Market Street.
15 May 1972	#0409360		Theater marquee on Market Street removed.
19 May 1982	#8204028	Mann Theaters	Maintenance work completed including window frame and sash repainting, repair of broken windows, remedial repair to terra cotta

		around the cornice
17 June 1982	#8203895	area. See above
1 December 1998	#9824057	description. Installation of new awning over storefront at 986 Market Street.
21 June 2001	#200105249905	Entry doors to office tower at 988 Market are replaced and interior lobby is remodeled.
14 March 2008	#200803147172	Deteriorated windows, doors and door frames are replaced in kind.
13 May 2015	#201207185111	Removal and installation of new storefront systems at ground and mezzanine levels. Replacement in kind of 20% of exterior windows. Repair work was completed for some existing historic windows.
27 April 2015	#201304164659	Construction of a rooftop patio accessed from the 7 th floor stair lobby.

^{*}The historic mezzanine level is now known as the second floor.

HISTORIC SIGNIFICANCE

988 Market Street is a contributor to the *Market Street Theatre & Loft District* (Ref #86000729), which is listed in the National Register of Historic Places (**Figure 7.**) and in the California Register. The nationally registered historic district is comprised of a group of commercial buildings on both sides of Market Street approximately from Sixth Street to Seventh Street. The historic district includes an assortment of major motion picture theatres, loft structures, commercial and office buildings, and hotels. The district is notable for its intact representation of downtown development and architectural patterns post-1906 Earthquake and Fire. As a contributing building in the district, the Warfield is significant 1) for its association with the development of the Market Street entertainment district, 2) for being a notable work of local master architect G. Albert Lansburgh, and 3) as a fine example of Renaissance Revival architecture.

In addition, 988 Market Street (formerly 982-988 Market Street) has been included in several architectural surveys. It was included in the 1976 Department of City Planning Architectural Quality Survey (1976 DCP Survey) with a rating of "4" out of "5." The property was subsequently documented as part of the Foundation for San Francisco Architectural Heritage Survey in 1979 and given a rating of "A", being of "Highest Importance." 988 Market Street was also included as part of the 1986 Market Street Theatre and Loft Survey. The Market Street Theatre & Loft District was listed in the National Register of Historic Places that same year for the reasons detailed above. 988 Market Street is also rated "Significant, Category I" in Article 11 of the City of San Francisco Planning Code.

Market Street Theatre & Loft Historic District

The following examines the significance of the *Market Street Theatre & Loft District* and describes how the Warfield contributes to that significance.

As outlined in the Nomination, the *Market Street Theatre & Loft District* is significant under Criterion C / Architecture for its "common harmony of texture, coloration, height and style inspired by the City Beautiful Movement". ¹⁶ The District is also significant under Criterion A in the area of Commerce for being built as a secondary downtown that featured the distinctive "prime" activity of hosting studio-owned, high-end picture palaces where first-run showcases of moving pictures were shown, often featuring double-billings of film and vaudeville. Here RKO, MGM, United Artists and Paramount sent their major films for their first San Francisco runs. ¹⁷ This concentrated development of theaters, movie palaces and related buildings was associated with two historic trends; one nation-wide and one local. Nation-wide, the popularity of vaudeville, followed by the advent of motion pictures,

¹⁶ Bloomfield, Anne, National Register of Historic Places Nomination Form: Market Street Theatre and Loft District, San Francisco, listed April 10,1986, Section 8.

¹⁷ Bloomfield, Section 8.

spurred the establishment and rapid growth of the entertainment industry and subsequently the construction of performance venues.

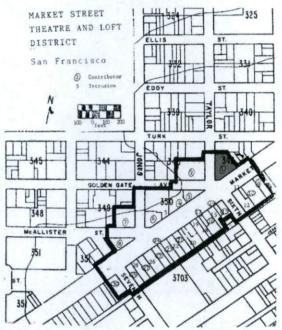


Figure 7: The Market Street Theatre & Loft District. Warfield Theater highlighted in gray.

Source: Market Street Theatre & Loft District National Register Nomination, 1986. Edited by Page & Turnbull.

The district's period of significance, as per the National Register Nomination, extends from 1889-1930, beginning with construction of the Hibernia Bank, San Francisco's earliest surviving Beaux Arts building. Twelve of the district's twenty contributing buildings followed between 1906 and 1913. In 1920-1926 came four more -- three theatres, including the Warfield. The district's high density of motion picture theaters prompted extension of the period of significance beyond the last building's construction date to 1930, to include the major studio reorganizations attendant upon the introduction of talkies in 1927.

The Nomination outlines the architectural characteristics found within the district and for which it is significant. The Nomination furthers,

"All properties [in the district] face Market Street" and "the district's characteristics are a scattering of major motion picture theatres, a group of loft structures mostly on the south side of Market Street, and two intersections of Market Street with Golden Gate Avenue, Taylor and Sixth Streets, and of Market Street with Jones and McAllister Streets...Buildings occupy their full lots and rise straight, usually for two to eight stories with flat roofs concealed behind parapets. Constructed principally from 1900 to 1926, they project a single

visual mode...the Commercial Style, with two- or three-part vertical composition, Renaissance-Baroque or other historicist ornamentation, and prominent cornices. Exterior materials are terra cotta, brick, galvanized iron, and some stucco [cement plaster]; structures are usually steel frame and/or reinforced concrete; there are some brick-bearing walls. Ornamentation tends to be free and often lavish; columns and pilasters are seen. Fenestration is double-hung, or Chicago windows, or a mixture of the two, sometimes with arcading at top stories. Almost without exception, ground stories contain small shops which have been considerably and frequently altered to meet the changing needs of commerce; most buildings were designed to accommodate such changes by design separation between ground and upper floors. Of the thirty buildings, twenty are considered contributors to the district and are listed. The remaining are considered intrusions because of modern alterations or new construction."18

The Warfield

The Warfield is an important contributing element in the *Market Street Theatre & Loft District*. Built during the district's period of significance, it is representative of the historic development of the entertainment district in the mid-Market area. As a theater and movie house related to Loews and MGM, the Warfield has connections to one of the oldest and most prominent entertainment entities. Throughout its history, the Warfield responded to the fluctuating popularity of different types of entertainment and continues to follow such trends today. Locally, the Warfield represents an element in reconstruction efforts that occurred after San Francisco's 1906 Earthquake and Fire. In a city that remained in various states of ruin for years after the disaster, the Warfield construction in 1921-1922 contributed to the city's downtown rebuilding efforts, helping to establish the "second downtown" focused on entertainment.

The Warfield also embodies the *Market Street Theatre & Loft District's* important architectural characteristics: the building occupies its full lot and rises straight for nine floor levels along the Market Street frontage with a flat roof concealed behind a parapet. ¹⁹ Constructed during the district's period of significance (in 1921-1922), the Warfield projects a single visual mode along Market Street, exhibited through the Commercial Style, with a two-part vertical composition. The steel and concrete, faced in terra cotta cladding, the Renaissance Revival-style ornamentation of the frontage includes pilasters (wide and narrow), composite columns, friezes (plain as well as shield and garland), and molded cornices. As is also characteristic of contributing buildings in the historic district, the Warfield features double-hung windows at upper floors and retail shops at ground level.

¹⁸ Bloomfield, Section 7 and Section 10.

¹⁹ Historically, the building's first floor had a mezzanine, which has since been built out as the second-floor level resulting in nine floors, plus a basement and attic level.

In its design and style, the Warfield references Beaux-Arts aesthetics, and the City Beautiful movement, which were popular concepts during the post-1906 Earthquake and Fire reconstruction era in the city. The Warfield is a prominent public-facing building, located on San Francisco's main thoroughfare and appropriately exhibits high style and dignified massing in its architecture.

The Warfield's combination of office tower and theater uses is also important. The theater's survival during downturns in the local and national economics and continued use as an entertainment venue throughout can be attributed to the fact that the building also functioned as an office building, providing a steady use, even during periods when film and theater were in decline.

Additionally, the Warfield's ingenious design, which efficiently uses an irregular site to effectively serve both functions, is notable. A renowned architect, noted for his theater designs, Lansburgh's proficiency in such is evident inside the Warfield. He deftly designed the stage in the acute angle created by the gore point, allowing the seating to fan out into the wider portions of the floor plan, providing a feeling of openness that is enhanced by the "peacock tail" ornamentation of the ceiling. An ambulatory run around the rear of the auditorium space, from the Market Street side of the building to the Taylor Street side, provided access to the main floor and upper levels. This allows for a maximum amount of seating and the presence of retail spaces along the Market Street frontage. It has been noted that the theater space is better designed for live performances, as originally intended and as it operates today, than for movies due to the state of sight lines to the stage.²⁰

CHARACTER DEFINING FEATURES

For a property to be a contributor to a national, state, or local designation under criteria related to type, period, or method of construction, the essential physical features (or character-defining features) that enable the property to convey its historic identity must be evident. These distinctive character-defining features are the physical traits that commonly recur in property types and/or architectural styles. A property must clearly contain enough of those characteristics to be considered a true representative of a particular type, period, or method of construction, and these features must also retain a sufficient degree of integrity. Characteristics can be expressed in terms such as form, proportion, structure, plan, style, or materials.

The Warfield embodies the architectural features and cohesion of early 20th century commercial buildings within the *Market Street Theatre & Loft District*. The Warfield provides a fine example of a two-part vertical commercial building designed in the Renaissance Revival style. The building's

²⁰ Levin, Steve, "Lowe's Warfield," *Marquee: The Journal of the Theater Historical Society of America*, vol. 36, no. 3, third quarter 2004.

massing, scale, architectural features, and ornamentation are highly reflective of the architectural characteristics found within the historic district as outlined in the National Register nomination.

OVERALL FORM

The buildings within the historic district generally occupy their full lots, face Market Street, and rise straight, usually for between two to eight stories with flat roofs concealed behind parapets. Fronting Market Street, the Warfield's nine level office tower composition reads as eight stories, and the building is well related to the width of Market Street with its facades continuous at the property line.

SCALE AND PROPORTION:

Buildings within the historic district typically project a single visual mode along Market Street, reflecting the Commercial Style, with two- or three-part vertical composition. The Warfield's massing, consisting of two components-- a tall office tower block at the corner and fronting Market Street, with a lower theater block at the rear, thus maintains the single visual mode on Market Street. The building exhibits a two-part vertical composition.

FENESTRATION

Fenestration in the historic district is typically double-hung or Chicago windows, or a mixture of the two, sometimes with arcading at top stories. And, almost without exception, ground floors contain small shops which have been frequently altered to meet the changing needs of commerce; most buildings were designed to accommodate such changes by design separation between ground and upper floors. The Warfield's upper floor windows are similar in shape and proportion and are rhythmically spaced. Generally, they are double-hung windows with those of the office tower at Market and Taylor Streets capped at the top by a segmental arch element. The Warfield's glazing is deeply recessed, producing a strong interplay between light and shade. Protruding columns and horizontal ledges frame the windows. At upper floors, the proportion of windows to solid walls is typically less than 50 percent. At the ground level, storefronts have been frequently altered due to changing tenants, however, as is typical of buildings in the historic district, the Warfield's office tower façade features exterior design separation between the ground and upper floors (in this instance, above second floor).

MATERIALS AND COLORS:

Exterior materials of buildings within the historic district consist of terra cotta, brick, galvanized iron, and some cement plaster; structures are usually steel frame and/or reinforced concrete; there are some brick-bearing walls. In the case of the Warfield, the building features terra cotta cladding as

the predominant exterior visible material. Light tones are featured; all the terra cotta is painted a pale gray color. Light-toned hues are continued inside the office tower, too. The original office lobby flooring and original stair treads, where extant, are light toned marble or terrazzo.

DETAILS AND TEXTURE:

Buildings within the historic district commonly exhibit Renaissance-Baroque or other historicist ornamentation. As stated in the Nomination, ornamentation tends to be free and often lavish; prominent cornices, columns and pilasters are typical. The Warfield is a fine example of Renaissance Revival style architecture featuring a contrast between the smooth terra cotta cladding and the tactile texture of the ornamentation. The building's decorative terra cotta ornamentation includes linear and arched banding, projecting string courses, piers, and spandrels, engaged pilasters, columns and caryatids, an ornate frieze and a denticulated cornice.

The Warfield is representative of the characteristic massing and composition, scale, and architectural detailing of contributing buildings within the National Registered *Market Street Theatre & Loft District*. The building's massing, construction and exterior cladding, and Renaissance Revival style ornamentation are indicative of the early 20th century commercial-office and theater buildings constructed within the district and enable the building to remain contributory.

ARCHITECTURAL DESCRIPTION

The Warfield is located on a an irregularly shaped lot on the gore corner formed by the intersection of Market Street, Taylor Street, and Golden Gate Avenue. The facade facing Market Street is bordered by a wide brick sidewalk featuring historic cast-iron lampposts and street trees along the curb. The façade facing Taylor Street is bordered by a narrower concrete sidewalk. The north facade of the building is bordered by a modern 12-story building, while the northeast façade abuts an adjacent building (**Photo 1, 2**). The Warfield is located in close proximity to the Golden Gate Theater and a smaller "flat iron" building, which are each situated on one of the three corners of the aforementioned intersection.



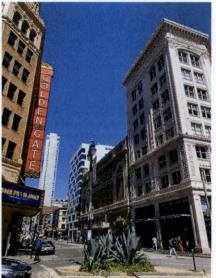


Photo 1. Market Street façade, view north

Photo 2. Taylor Street façade, view northwest

The Renaissance Revival style building is made of steel frame, with concrete and brick, and is comprised of an office tower (consisting of nine office use levels, as well as an attic and basement level) and an interconnected, shorter theater located at the rear.²¹ The building has an irregular, trapezoidal plan that conforms to the shape of the lot on which it is situated. The tall, narrow office block spans the Market Street frontage and dominates the corner, while the lower theater block fills the rest of the lot.

²¹The office tower's historic mezzanine level was built out and is now second floor level, For the purposes of the exterior architectural description, the historic mezzanine is referred to as second floor hereto forward.

The main primary façade faces Market Street with the two smaller primary facades facing Taylor Street and Golden Gate Avenue. These facades are constructed of structural steel and brick with terra cotta cladding. The terra cotta originally had a speckled/granitized beige glaze but is now entirely covered with pale greyish white paint. The secondary (non-street facing) facades are made of structural steel and concrete with a cement plaster coating. The building's fenestration is defined by equally spaced rectangular openings which contain paired double hung windows along the primary (south, southwest, and west) facades. At the secondary (northeast, north) facades, the fenestration features punched rectangular openings with singular double hung windows. The east facing façade has no windows and currently has a painted mural. The secondary façade features a less regular fenestration pattern as a couple of the window openings have been infilled or replaced with door openings. At the ground and second floor levels, large openings in the façade are infilled with metal and glass storefront systems. While the openings are original, the storefront systems are a contemporary replacement. The building features two separate areas of flat roofs, one is located at the top of the tenth-floor level and the other is located over the auditorium portion of the structure at the seventh-floor level.

The Market Street (south) or primary façade is organized into eight structural bays, with one bay at the west side of the façade angled slightly to the south to be oriented toward the gore corner. The bays at each end of the façade, and the angled bay at the corner, are emphasized by wide pilasters that separate them from the five bays at the center of the façade, which are separated by thinner pilasters. At the first and second floor levels, each bay contains a storefront opening (**Photo 3**).



Photo 3. Detail of structural bay at first and second floor (former mezzanine level).



Photo 4. Upper-level structural bays contain four windows at each level.

The storefront assemblies consist of non-historic, aluminum frame display windows at the first level with transoms above (at second floor level), thus extending from the ground level up to the second level and spanning between the columns of the structure which are clad in terra cotta. The lites are divided in a configuration reflective of those seen in historic drawings. Some bays have received cantilevered metal and glass awning between first and second floor levels. Above the second floor and through the top floor, structural bays contain four windows at each level. These windows are paired and divided by a narrow pilaster (**Photo 4**). The bays of the upper levels are capped at the top by a segmental arch element. The primary entrances to the office and theater blocks are located at the first level of the primary façade.

The office block entrance is located within the central structural bay and consists of a non-original, two-story metal assembly, featuring fully-glazed double doors and a round-arched glazed tympanum (**Photo 5**). Though the entry assembly is a replacement, the round arched opening is original and features decorative moldings and a scrolled keystone. The entrance to the theater is located in the easternmost structural bay. It features a fully-glazed aluminum entry assembly containing three sets of glazed double doors with fanlight transoms. These are concealed however, and set back behind a metal roll-up security gate as viewed from the street. The theater entry is surmounted by a large, illuminated marquee that is mounted flat against the building's façade (**Photo 6**).



Photo 5. Office block entry at center of Market Street facade.

Photo 6. Theater entry at east end of Market Street facade.

The third and fourth floor levels of the Market Street façade form an interim shaft segment in the horizontal organization of the building. They are seperated from the second floor level by a plain frieze and molded cornice. Above this, another frieze, featuring shield and garland ornaments, runs under the windows. Terra cotta water table ledges are at the underside of the third-floor windows and above the fourth-floor windows, creating a focal point of concentrated decorative elements. Fluted Composite columns divide the structural bays, while flat wall panels surrounded by decorative moldings separate the third and fourth floor windows. An intermediate entablature consisting of a plain frieze and molded cornice surmounts this interim shaft segment and seperates the fourth and fifth floors. The wide pilasters that define the end bays at the third and fourth levels are adorned with foliate motifs, while the thinner pilasters that separate the other structural bays are adorned with Composite capitals. An exception to this general scheme of ornamentation is found in the easternmost bay, above the theater entrance. Here, there are three windows located at each level. They are seperated horizontally by wall panels adorned with swag motifs and surrounded by decorative moldings. They are seperated vertically by two-story tall, tapering, engaged pilasters terminating in partial caryatids (Photo 7).



Photo 7. Differentiation between easternmost bay (at right) and others between third and fourth floors on the Market Street facade.

The fifth through ninth floor levels represent the remainder of the shaft. The ornamental schemes found at the third and fourth levels continue on these upper floors, but in a less elaborate manner. Simple pilasters separate the structural bays, terminating in decorative capitals that feature shield motifs, foliate ornamentation, and lonic scrolls. The windows at each level are seperated by flat wall panels surrounded by simple moldings. Each pair of windows at the ninth floor level is located within a segmental arch opening, with each structural bay also terminating in a segmental arch element that is adorned with foliate and coquillage ornamentation.

The primary façade terminates in an elaborate entablature respresenting the capital, which features a paneled frieze adorned with foliate ornamentation and a shield motif at the center of each structural bay. Above this, the cornice is decorated with a variety of moldings, including dentils and egg-and-dart moldings, and small scroll modillions. Centered above the cornice at the primary façade fronting Market Street is a parapet which is where the original signage for the building was located, which read "LOEWS WARFIELD". The flat roof of the office block is surrounded by a low parapet and a flat, horizontal marquee, which once bore signage, projects above the parapet at the center of the façade (**Photo 8**).

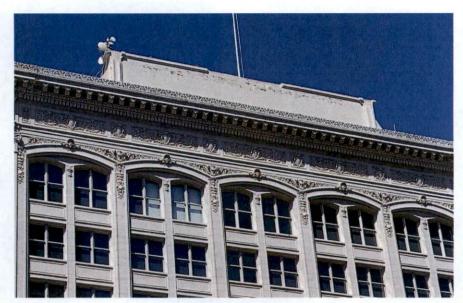


Photo 8. Market Street façade roof parapet and horizontal marquee.

The west façade of the Warfield with frontage along Taylor is comprised of the office block on the south side and the five-story theater block on the north side. The office block is two structural bays wide and follows the same organizational and decorative schemes that are found on the primary, Market Street façade (**Photo 9**), with exception that at the ground level, some of the the metal and glass storefront systems have been partially infilled with metal louvers.

This is in contrast to the theater block which is clad in brick with terra cotta ornamentation (**Photo 10**). At the first floor level, the theater block has mulitple entrances. The southernmost entrance has a tall opening fitted with wood paneled double doors. It is surmounted by a decorative hood supported by scrolled brackets and adorned with urns and foliate motifs. To the immediate north of this entrance is a standard-sized single man-door. At the northern end of the façade are additional entrances (currently serving as egress only). The north end entrance has a larger opening and features a decorative surround, with two sets of paired fire egress doors, and infilled transom levels above. The other entry openings are sized for a single set of paired doors and also have a decroative surround. One has paired egress doors, the other of which has been infilled. Murals have been painted at first floor level within deocrative molded framing that once contained movie signage or posters. At the second floor level, a painted metal fire escape spans the center of the façade and is accessed by two sets of wood panel double doors. At the northern end of the second floor level are two small, one-over-one, double-hung, wood sash windows, which represent the only fenestration on this façade of the theater block. The second floor is separated from the upper portion of the façade by a simple molded entablature. The upper portion is unfenestrated, so that the floor levels

are only loosely defined in comparison with those of the office block. A blind arcade of seven round arches adorns this upper portion of the façade. The lower portions of the arches (which correspond to the second and third floor levels) are defined in brickwork, while horizontal and half-round elements at the top of the arches (at the fourth floor level) are defined by terra cotta moldings. Paired terra cotta pilasters with Corinthain capitals and molded terra cotta spandrel panels emphasize the arches at each end of the arcade. The blind arcade is surmounted by an entablature that features a decoratively molded frieze, dentils, and a molded cornice. A section of wall extends above this cornice at the fifth story level and is adorned with simple terra cotta pilasters that correspond to those that define each end of the blind arcade below. A brick chimney protrudes from the northwest corner of the theater roof.

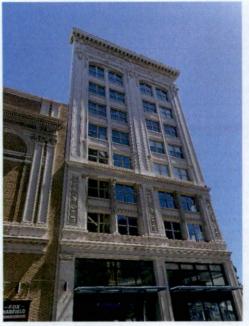


Photo 9. Taylor Street façade, office block portion at south end

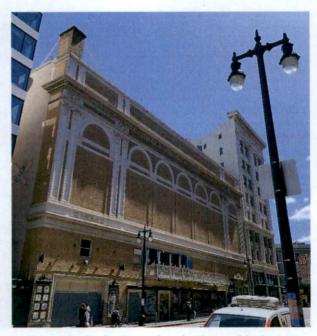


Photo 10. Taylor Street façade, theater block, view southeast

The building's secondary facades generally have little architectural detail relative to the primary facades. The north façade of the theater block is generally not visible from the public right of way due to adjacent construction at the rear of the property. The north façade of the office block rises four floors above the roof of the theater block. It consists of an unadorned concrete wall surface, though it features regularly patterned fenestration. The east façade of the Warfield abuts a neighboring building that is approximately three stories tall. The façade that is visible above this building is unadorned and unfenestrated. The features on the north and northeastern sides of the building are window openings located on the seventh to ninth floors. The tenth floor (attic) has

metal louvered vents. The eastern façade does not contain any openings. The eastern façade is comprised of cast in place concrete and clad with a cement plaster stucco finish. Due to the presence of an adjacent structure, the eastern façade is only visible above the third level. There is presently a painted mural of abstract geometric art which spans the height of the façade between the fourth and tenth levels.

The north and northeastern facades are cast in place concrete that are clad in a painted cement plaster stucco finish. The windows are sheet metal sash and frames. They are double hung with two over two sash windows at the seventh and eighth levels and one over one sash windows at the ninth level. The one over one sash at level nine are replacement wood sash set into the original sheet metal frames. All windows have a projecting windowsill made of concrete. At the tenth level, there are metal louvered vents centered on the window openings at the levels below. At the seventh level, a double door opening has been framed with aluminum and glass and opens onto a raised roof patio above the sixth level roof of the theater complex. There is a single metal door along the northeastern façade which opens onto the roof deck at the seventh level.

The interior of the building's first floor is occupied by retail shops, the office tower lobby, the theater lobby, and the main level of the theater itself. The retail spaces have undergone numerous tenant improvements and configurations over time and no historic fabric is readily apparent within these spaces. The office tower lobby is a rectangular space with an elevator bank containing two elevators located on the west side and an historic stair well on the east side. The floor is covered with nonoriginal marble tile; non-original marble surrounds are featured at the elevators, and the ceiling is coffered. The stairs that ascend to the upper floors feature marble treads; the metal balusters are capped with wood railing (Photos 11-12) The theater vestibule is recessed behind a metal security gate. The vestibule features an elaborate box office at its center which is clad in red marble (since 1949); the original pressed tin ceiling and decorative features remain on the upper walls (Photo 13). The interior of the theater lobby and auditorium space appear to maintain original spatial organization and many decorative elements (Photo 14). Elaborate moldings, sculptural elements, and murals - all in a Classical/Renaissance Revival style - adorn its interior. The original organ screens and balconies remain on either side of the stage, although seating on the main level, for instance, has been removed. A balcony with additional seating is located at the mezzanine and second floor levels, corresponding to those levels of the office tower (Photos 15-16).



Photo 11. First floor office tower lobby, elevator bank.



Photo 12. First floor office tower lobby, stairs.

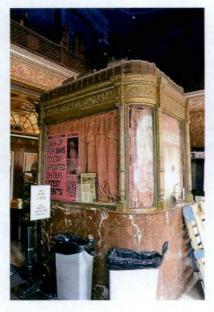


Photo 13. First floor theater vestibule box office.



Photo 14. Theater mural in Classical/Renaissance style.







Photo 16. Theater view of balcony seating.

Inside, the first through nine floors, plus the attic (tenth floor) of the building's office tower component are connected by a central circulation core that incorporates the two side-by-side elevator shafts and an open stairwell. The original stairs feature marble treads, a decorative metal balustrade with geometric motifs, a wood handrail, and paneled, square newel posts with molded caps. The elevators feature metal doors set within non-original marble trim. Original checker-board patterned linoleum mats are located at the threshhold of most elevator doors. Most upper floor lobbies feature original marble and terrazzo flooring, marble baseboards; ceilings are coffered and the original mail chute is featured. This is with exception of the second floor level lobby (historically, the mezzanine), which has non-original marble flooring. A secondary enclosed egress stair is located nearto the west end of the office tower; this replaced an original open secondary stair in the same general location. The office tower tenant spaces have been reconfigured over time as tenants and their needs changed. Most original finishes have been removed as have partition walls that once formed identical arrangements of small offices on each floor. Existing conditions of these spaces typically consist of partially finished interiors: exposed concrete structural columns and ceilings (some painted) with exposed systems; exposed concrete floor with some areas carpeted. Terrazzo flooring is also evident at locations of former original corridors. Perimeter walls are mostly exposed brick with wood window trim (some replacement). Many tenant suites feature open plans. Where interior partitions have been delineated into private offices, restrooms or meeting rooms, they are non-historic in a combination of gypboard and/or glass. On floors 5-7, historic closet doors enclosing fire hoses, however, are evident (Photos 17-20).



Photo 17. 3rd floor, available office space.



Photo 18. 9th floor, available office space.



Photo 19. Upper floor elevator/stair lobby; typical of most.



Photo 20. 5th floor office space with terrazzo floor remnant and fire hose door.

INTEGRITY CONSIDERATIONS

The Warfield, despite interior changes to tenanted spaces, retains a high degree of integrity, and continues to contribute to the *Market Street Theatre & Loft District's* historic significance. Today, it maintains the historic option for a dual use building. It continues to serve as an auditorium venue for live performances in the theater portion and continues to feature available tenanted spaces for retail and/or commercial uses in the office tower portion, therefore maintaining its integrity of association as a multi-use building. The building has not been moved, maintaining its presence along San Francisco's 'Great White Way' with frontage along Market Street at the important intersection with 6th Avenue and Taylor. Still within proximity to several other theaters, including the Golden Gate Theater which is directly across Taylor Street, the Warfield maintains integrity of location and setting. The integrity of materials, design and workmanship has also been retained. Few alterations have been made to the exterior of the building, except for the removal of the theater marquee and blade signs, and replacement of the storefronts multiple times in response to changing tenant needs. Alterations to commercial storefronts are common and do not detract from the building's overall historic character; in this instance, in fact, the current retail storefront configuration is reflective of the original. The interior of the auditorium consisting of a theater stage and a balcony

988 Market Street San Francisco, California

arrangement remains, as do original classical-style decorative features. Although tenant spaces of the office tower have been heavily altered, the office tower's historic circulation core consisting of elevators and historic stairwell remain intact with some historic finishes (marble flooring) and features (mail chute). The building's overall feeling as a multi-use 1920s Renaissance Revival-style office tower/theater building remains.

EXISTING CONDITIONS ASSESSMENT



Photo 21: 988 Market Street – View of the primary façade (south) fronting Market Street, facing northwest.

ASSESSMENT

Primary Facades

The terra cotta on all three primary facades has been painted and is generally in good to fair condition. The main issues affecting the primary façades are cracks, bisque erosion and glaze spalls, bisque spalling, and missing or damaged mortar at the terra cotta, as well as failed sealant joints, delaminating paint, and damaged anchorage points. The damaged areas are typically concentrated around window openings, at the engaged columns and pilasters, on the horizontal water table ledges, and at building corners and cornice. There are two areas of incipient spalling, both at the third level at the engaged pilaster base elements between two window openings (**Photo 22**). At the third-floor level, the majority of the spalling occurs along damaged mortar joints (**Photo 23**). There are some visible vertical cracks in the terra cotta at the south façade at the piers between window openings. Most of the vertical cracks appear to be concentrated at the fifth through seventh levels with one large vertical crack occurring between the third and fourth levels near the corner of the south and east façades, facing Market Street. There are also some visible cracks in the terra cotta elements at the cornice, as viewed from the adjacent roof.



Photo 29. Example of replacement wood window sash in original frame - Market Street.

The windows along the primary façade (third to ninth floors) are all double-hung sash replaced in the original wood frames (**Photo 29**). All upper sash appear to be fixed/ anchored closed. Some windows have double pane glass while others are single pane. The windows are all generally in fair, operable condition. There is widespread delamination of thick paint buildup and wood splitting at the exterior wood sills (**Photo 24**). This condition is present across about 90% of the wood windowsills.



Photo 22: Example of cracks, incipient spalling at third level engaged pilaster base - Market Street.



Photo 23: Example of missing and damaged mortar, paint delamination, and eroded terra cotta as well as splitting wood at the windowsill. Also visible is the original terra cotta glazing which is currently overcoated in paint – Market Street.



Photo 24: Example of delaminating paint at sixth level wood sill - Market Street.

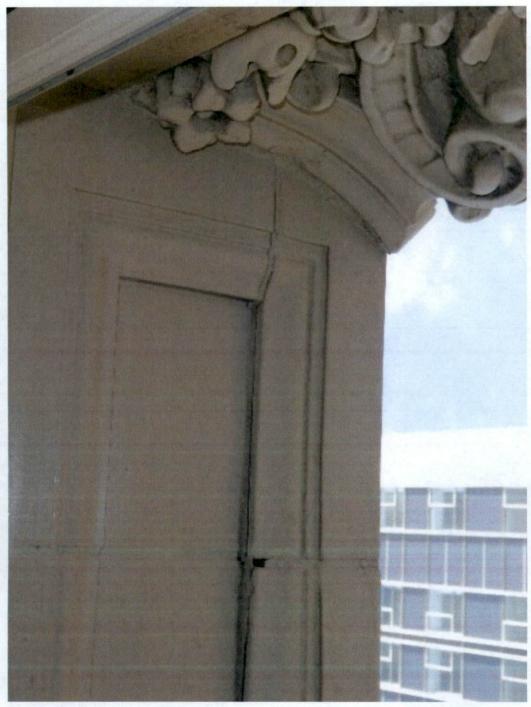


Photo 25: Example of missing mortar at fifth level window head - Market Street.

Storefronts and Entry Vestibule

The storefronts along Market Street at ground level are non-original and are generally in good condition. The storefronts along Taylor Street exhibit more wear and weathering and will require some rehabilitation in the future. There are five glass and metal awnings cantilevered from the storefront system between the first and second levels fronting Market Street and two fronting Taylor Street. These are in good condition other than having a buildup of dirt on the surface. Façade panic door hardware at the main lobby entrance is not functioning properly as the door is not self-closing as intended. There is some corrosion to the arched storefront window at the second level lobby due to missing mortar joints. The granite bases exhibit some spalling or soiling, and there is graffiti located at the base east of the main entry.

Secondary Facades

The secondary facades are generally in fair to good condition. At the eastern façade there is a considerable amount of paint delamination (**Photo 27**). The condition of the underlying cement plaster stucco is unknown and may correspond/ contribute somewhat to the poor condition of the paint. At the north and northeastern facades, the double hung wood and metal windows with some textured wire glass and some clear glass, are in good condition with minor spot corrosion at some metal elements (Photo 28). At the north elevation, seventh level east of the patio doors, a window has been infilled and exhibits minor perimeter cracking in the cement plaster stucco (**Photo 26**).



Photo 26: Cracking of cement plaster stucco at window infill area at the seventh level exterior patio – North Façade.



Photo 27: Detail showing delamination and peeling paint on cement plaster stucco – East Façade.



Photo 28: Example of original double hung sheet metal window (2 over 2 lites) with textured wire glass that is in good condition – North Façade.

Roof

The building has two flat membrane roofs, one at the top of the tenth level and one at the seventh level. The seventh level roof spans across the adjacent six-story theater auditorium portion of the structure and contains a small, elevated rooftop patio which is accessed from the seventh level stair lobby. The auditorium roof also steps up at the northeast corner. The perimeter of both roofs is bounded by a parapet on all sides. The tenth level flat roof is accessed via a ladder within the tenth level mechanical attic and through a door at the east side of the penthouse. The elevator penthouse at the upper tenth level roof is located in the center bay of the southern wall and is shielded from street view on the south side of the building by the tall portion of the parapet which originally had theater signage mounted on it. The tall parapet is laterally braced with steel columns and beams encased in concrete as well as concrete flanking stem walls from the rear of the tall parapet (Photo 35). The penthouse is clad in painted cement plaster stucco. There are mechanical units mounted to the roof deck, which are mostly concentrated at the southwestern side of the roof. Both roofs are sloped slightly to a series of drains with scuppers in the parapet walls. Directly to the west of the elevator penthouse is a steel water tank which is mounted to a welded steel structure (Photo 30). There are some visible cracks in the concrete parapet. At the interior sides of the parapet walls, a horizontal crack runs most of the length the wall at the two primary sides of the building. Biological growth was noted regularly along the horizontal crack (Photo 31). An old tar-like waterproofing at the rear vertical face of the parapet has completely failed and is flaking off (Photo 32). The concrete bracing of the concrete stem walls flanking the tall south parapet exhibits spalling in several areas with exposed corroded rebar visible. Some cracking was also noted where steel flagpole supports interface with the tall portion of the southern parapet. Cracking of the cement plaster at the walls of the elevator penthouse was noted. Some vertical cracks were also noted in the concrete parapets at the secondary facades adjacent to structural column location. The roof drains on both roofs contain debris and they appear to need cleaning. Some slight ponding was noted near the roof drain at the upper roof. The roof membrane at both levels appears to be in generally good condition. The water tank exhibits corrosion. Its steel structure exhibits corrosion with some steel section loss in a few areas and is in poor condition. The vertical elements of the steel support structure are encased in concrete and are badly deteriorated and spalling. The connection of the horizontal steel tank structure to a column encased in concrete at the north parapet wall exhibits severe corrosion, rust jacking, and spalling of the concrete encasing the support (Photo 34). The steel water tank and its support structure will be removed during the construction phase of the residential conversion in 2024.



Photo 30: Metal tank and structure - Roof.



Photo 31: Parapet wall biological growth and cracking - Roof.



Photo 32: Failure at vertical parapet membrane – Roof.

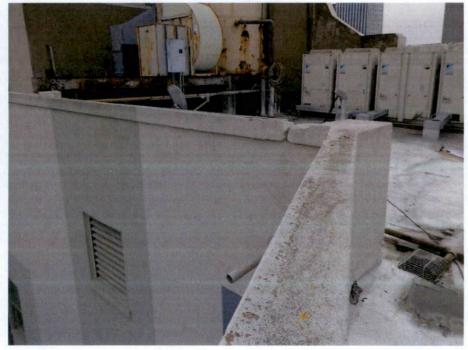


Photo 33: Cracking in cement plaster - Roof.

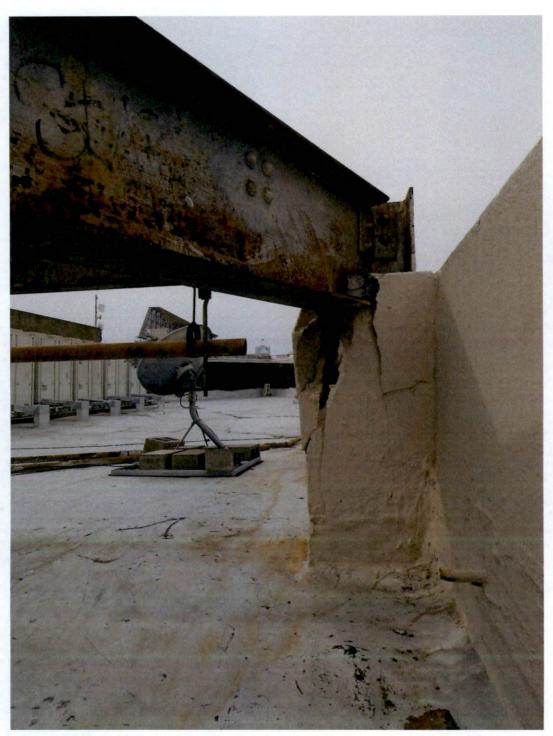


Photo 34: Connection point of steel water tank structure to column - Roof.

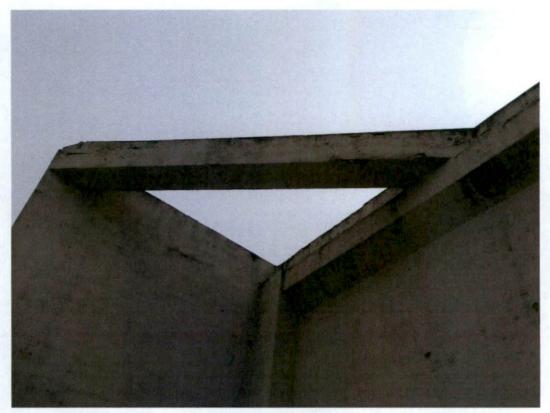


Photo 35: Cracks to parapet wall, lateral bracing at original sign location - Roof.

Interior

The interior of the building is comprised of large open plan office spaces organized around a central stair and elevator lobby. The stair spans from the ground level up to the ninth level office spaces and extends down one level to the basement. There is a secondary egress stair which is located along the northeastern façade and spans all levels of the building. The interior spaces of each level differ based on various tenant improvement build outs, however there are consistent finishes used across the building's common circulation spaces. The central stair lobbies are characterized by their light brown terrazzo flooring with a white marble trim that wraps around the perimeter of the space. The balustrade is a decorative cast iron with a wood top rail. Adjacent to the elevator openings, there is an original metal mail chute which spans the height of all nine office floors, terminating at the ground floor lobby.

First Floor

The main building (office tower) elevator and stair lobby are flanked on both sides by smaller individual storefront units at the ground level. The smaller storefront units are in good condition. At the main lobby, the non-historic marble floor, and the historic stair treads and metal railings are all

in good to fair condition. There is some damage to the original marble stair that is present between the first and second levels (**Photo 36, 37**) consisting mostly of cracks as well as spalled edges and deterioration at the stair nosings.



Photo 36: Example of horizontal cracks at marble stair landing - First Floor.



Photo 37: Example of marble spalling at stair nosing – First to Second Floor.

Floors 2 through 9

The condition at the second through ninth level interior is generally good. The primary areas of concern on these levels are at a few areas of exposed rebar and structural steel where brick and concrete covering the structural steel is spalled or missing (**Photo 38, 39**). Other issues include minor efflorescence at brick location and multiple concrete locations (**Photo 40**). The majority of the marble and terrazzo floors are in good condition. The original stairs have metal risers and marble treads from the second floor to the ninth floor and are in good condition. There is evidence of prior repairs to cracks at the terrazzo floors, but the crack repairs are relatively well done and appear to be sound (**Photo 43**). There are also several cracks throughout the structure which occur along the concrete exterior walls and at the underside of concrete floor slabs and concrete encased steel beams (**Photo 41, 42**).



Photo 38: Exposed metal and damaged concrete coverage at column base -Third Floor.



Photo 39: Example of exposed structural steel at steel beam and column connection - Fifth Floor.



Photo 40: Example of efflorescence along crack in concrete wall - Ninth Floor.

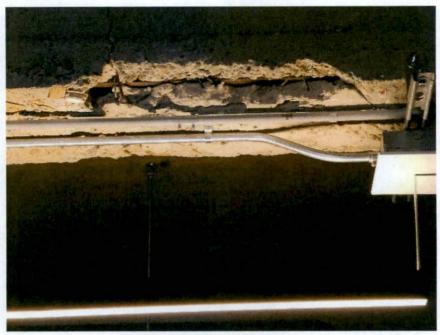


Photo 41: Example of cracked concrete cover over beam and exposed rebar – Eighth Floor.



Photo 42: Example of crack in concrete wall at north stairwell – Third Floor.



Photo 43: Original terrazzo and marble lobby flooring. Image is representative of typical material condition throughout interior lobbies – Second Floor.

Basement

The basement is generally in fair condition with the exception of some areas of exposed rebar, efflorescence and deteriorated concrete at the ceilings and walls beneath the sidewalk (**Photo 47**), where there is evidence of moisture and possible water infiltration from the sidewalk above as well as penetrating from the walls below grade. At the basement stair and elevator lobby, the marble stair and metal balusters are in good condition, with one tread exhibiting a crack in the marble (**Photo 46**). The lobby's original plasterwork includes flat plaster as well as ornamental molding at the ceiling. Some flaking paint and bubbled plaster was noted and may indicate previous or current moisture issues (**Photo 44**, **45**). A back of house space, currently used by the theater, also features decorative plasterwork and decorative stenciling and murals. While these areas were largely concealed, visible areas appeared to be in poor condition and was beyond the scope of this assessment (**Photo 44**).



Photo 44: Murals on plaster walls with flaking paint and numerous holes.



Photo 45: Original decorative crown molding and flaking paint in the lobby - Basement.



Photo 46: Cracked marble tread - Basement.



Photo 47: Deteriorated concrete and visible, rusting rebar overhead. Efflorescence is also present - Basement.

Tenth Floor - Attic

The tenth-floor attic is in fair condition. As a utilitarian unoccupied space, generally for mechanical use, it is generally comprised of two open spaces, with the brick and concrete walls, as well as the concrete floor and ceiling/roof structure exposed. The primary areas of concern at this level include deteriorated concrete, including cracks and spalled areas with visible corroded rebar (**Photo 48**, **Photo 52**), as well as evidence of water intrusion based on the presence of efflorescence (**Photo 49**, **Photo 51**). The presence of efflorescence is most commonly found along cracks and existing penetrations in the concrete structure. There are several large cracks that span 10 feet to 15 feet across the face of the concrete exterior walls and some smaller cracks in the 1 foot to 3 feet range that extend diagonally from the corners of window and vent openings (Photo 49, Photo 50, Photo 53). Deterioration of concrete and presence of exposed rebar is generally limited to the undersides of the roof deck above and at the intersection and corners where the exterior walls meet the roof deck. An area of notable efflorescence and concrete spalling is where the concrete encased structural steel pier is damaged at the roof above. Notable cracking was observed in the floor slab running diagonally between the Market Street and Taylor Street sides of the building. This diagonal cracking was also observed when looking up at the floor slab from the 9th floor below.



Photo 48: Exposed rebar and efflorescence at corner of concrete encased steel column and beams – Tenth Floor.

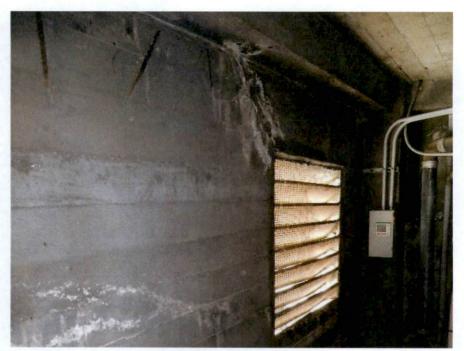


Photo 49: Cracking and efflorescence at opening in concrete for mechanical vent – Tenth Floor.



Photo 50: Horizontal cracking along exterior concrete wall – Tenth Floor.



Photo 51: Efflorescence at hole in concrete for conduit – Tenth Floor.



Photo 52: Large crack and visible rebar at underside of concrete roof deck – Tenth Floor.

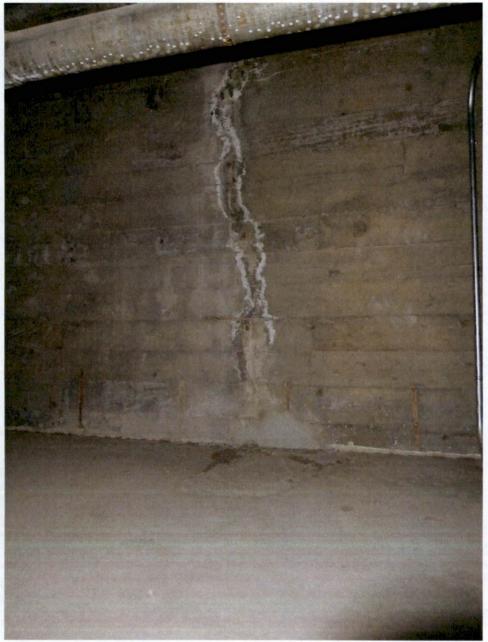


Photo 53: Vertical crack at concrete wall – Tenth Floor.

TREATMENT RECOMMENDATIONS

Primary Façades (Market Street and Taylor Street)

The facades should be rehabilitated, to include cleaning, repair, and possible repainting of the terra cotta cladding. Work at the terra cotta facades should identify and repair areas of deteriorated, unsound, spalled, loose, and/or cracked terra cotta. Terra cotta should be cleaned using as gentle a means as possible, with a warm water wash and detergent or chemical cleaning. Stubborn biological growth can be cleaned using a biocide application. As part of the terra cotta rehabilitation, miscellaneous non-historic non-functioning metal attachments and anchorages should be carefully removed, and holes patched. All damaged, deteriorated, unsound, missing, or inappropriate (too hard) mortar joints should be repointed with an appropriate lime-based mortar. Since all the terra cotta surfaces have been painted, it would be appropriate to either remove all the paint and restore the original terra cotta glazed finish or repaint with an appropriate breathable coating.

Wood windows are located at the third to ninth floors and are comprised of original wood frames and wood sash that have been replaced in-kind. While the sash are in good condition, they should be regularly inspected for hardware issues and leaks. The sealant joints should be regularly maintained and replaced as needed. The wood windowsills are in fair-to-poor condition and show signs of paint delamination and wood deterioration. The wood sills appear to be splitting and weathered. The paint should be removed from both the windowsills and at the lower portions of the frames as needed to repair deteriorated, weathered, and split wood. After the wood is repaired, the windows should be properly prepared, primed, and painted with appropriate breathable wood paint.

North and Northeast Facades (Rear)

The north and northeast facades should be rehabilitated, to include cleaning, repair, and repainting. Work should be undertaken to repair any deteriorated, unsound, debonded, missing and/or cracked cement plaster (and concrete substrate) as occurs. Cement plaster repairs should match the existing original cement plaster. Where corroded steel is found, the cement plaster and concrete substrate should be removed to repair the steel as necessary. Ferrous metal should be prepared, primed, and painted with corrosion inhibitive primer and paint. Exposed concrete and cement plaster should be prepared, primed, and painted with appropriate breathable paint.

The historic sheet metal windows at the 7th and 8th floors, and the original wood frames with replacement wood sash at the 9th floor are in good condition. They should be regularly inspected for hardware issues and leaks. The sealant joints should be regularly maintained and replaced as needed. Repair/replace deteriorated glazing putty and glazing sealants as needed. Replace cracked or damaged glass as needed to match the original. Prepare, prime, and paint the metal window

components with corrosion inhibitive paint, and the wood window components with appropriate breathable wood primer and wood paint. Clean, repair and/or replace broken or missing hardware including weather stripping and replace sash chains as needed to allow for proper operation.

The metal fire escape should be regularly inspected for signs of peeling paint, corrosion, and other deterioration. All corrosion should be removed, and the metal repaired as needed. A corrosion inhibitive primer and paint should be maintained to protect the metal, and the fire escape should be inspected regularly to comply with applicable codes.

East Façade

The paint at the east façade (currently a mural) is severely delaminated, and the east façade should be prepared, primed, and painted with appropriate breathable masonry primer and paint. The preparation should include removal or stabilization of all loose, flaking, delaminated, and unsound paint for proper application of new paint coatings. When painting, the cement plaster substrate should be assessed for deterioration, including deteriorated, unsound, debonded, spalled, and cracked cement plaster. It should be repaired with cement plaster to match the existing original. In areas where steel reinforcement is exposed or corroded, the steel should be coated with a corrosion inhibitive primer and paint system following corrosion removal and preparation. The façade should be regularly inspected for signs of deterioration and failing paint, and a good sound paint coating should be maintained.

Roof

The roof, parapet, penthouse walls, and lateral bracing, as well as the steel seismic bracing should be repaired and maintained. The water tank and structural steel tank support components are scheduled to be removed in 2024 during the construction phase of the building's residential conversion. When the tank is removed, damage at the vertical steel support structure encased in concrete should be repaired to treat rust-jacked and spalled concrete and underlying structural steel corrosion. Following the metal repair, the concrete should be repaired, and waterproofing should be repaired in conjunction with the repair / replacement of the roof system. Repair should be undertaken at damaged cement plaster and concrete and should include cleaning and removal of all biological growth, as well as repair to cracks, spalls, or other deterioration. Following repairs, the roof should be inspected regularly for damage/leaks at the roof membrane, for damage/cracks at cement plaster and concrete, corrosion of metal components, and for damaged flashings, seams, and failed sealants. Areas of noted damage should be promptly repaired as needed. The roof surface and drains should be cleaned regularly (annually at a minimum).

Interior

The interior concrete and masonry walls and the concrete ceilings (floor slabs) should be assessed and repaired where spalling, deteriorated material, and exposed steel structural steel occurs. At the masonry walls, the brick should be spot-pointed with compatible matching mortar if needed. Crack damage should be assessed by a structural engineer and repaired as recommended. Cracks should be regularly monitored for worsening conditions.

The masonry and concrete walls should be cleaned of efflorescence by dry brushing or vacuum, and areas of efflorescence should be monitored for any continued efflorescence, which may indicate issues with moisture infiltration. Efflorescence is particularly notable at the tenth floor (attic) and at basement locations. When found, the sources of the efflorescence and moisture infiltration should be investigated and corrected.

The building's interior lobbies should be inspected visually on an annual basis for signs of wear and damage. The historic terrazzo and marble floors should be inspected for cracks and signs of deterioration and repaired as needed. At the marble stairs between the first and second floors, spalled and cracked treads should be repaired. The historic stone, metal, and wood lobby stairs, and the mail chute, should be regularly cleaned and maintained. Plaster walls and ceilings should be maintained and repaired if deterioration or damage occurs.

SUPPLEMENTAL PHOTOGRAPHY



Photo A: Overall view of 988 Market Street façade. Mural along east façade visible at right side of image. Glass storefront visible at ground and second levels with terra cotta elements at the third through tenth levels.

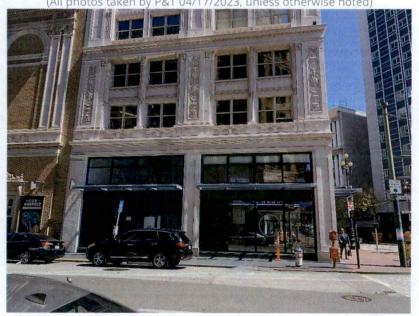


Photo B: View of 988 Market Street, Taylor Street façade looking east. Glass and metal storefront systems with glass awning visible.



Photo C: View of granite wall base at ground level storefront entrance along Market Street elevation. Looking north.



Photo D: View of granite wall base at ground level storefront entrance along Market Street elevation. Looking north.



Photo E: View of Market Street elevation and terra cotta exterior. Looking west from outside 5th level window.



Photo F: Detail view of typical wood windowsill condition along Market Street façade. Looking south.



Photo G: Detail view of cracked spalling terra cotta seen at 3rd level window looking south from Market Street elevation.



Photo H: View of metal fire escape on north elevation between 7th level and rooftop. Looking south.



Photo I: View of cement plaster walls at north elevation. Cracking and deterioration of cement plaster visible. Looking south.



Photo J: View of sheet metal and wood window at north elevation looking south at 7th level exterior.



Photo K: View of metal fire escape spanning from 7th level up to roof. Looking south.



Photo L: Detail view of eastern cement plaster façade, looking southwest.



Photo M: Detail view of east exterior elevation seen from 7th level rooftop looking southwest. Cement plaster and paint are spalling.



Photo N: View of north façade looking south at cement plaster coated concrete walls.



Photo O: View of parapet stem wall at roof level. Image shows damage to cement plaster and asphalt coating and biogrowth.



Photo P: View of steel structure and water tank at roof level.

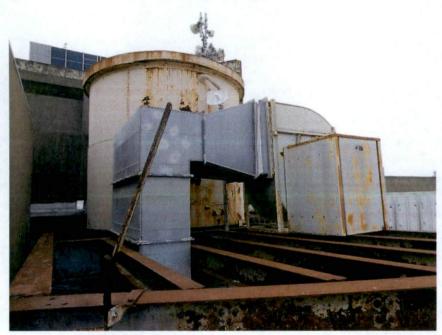


Photo Q: View of water tank and steel structural support members at upper-level roof. Looking south.



Photo R: View looking at roof area drains and roof membrane.



Photo R1: View of lateral bracing at upper parapet along Market Street façade. Looking south.



Photo S: View looking at upper-level roof membrane.



Photo T: Interior first level lobby, looking northwest to elevator entrance.



Photo U: Interior first level lobby, looking southeast to front entrance.



Photo V: Detail view showing damage to marble stairs between 1st and 2nd levels.



Photo W: View of 7th level stair and elevator lobby. Looking west toward elevator entrance and mail chute. Typical interior condition for second through ninth levels.



Photo X: View of third level open office space looking southwest. Typical example of building interior in second through ninth levels.



Photo Y: Detail of brick masonry at concrete walls at 3rd level with exposed steel members and deteriorated mortar joints.



Photo Z: View of exposed steel at 5th level and cracked/ deteriorated concrete.

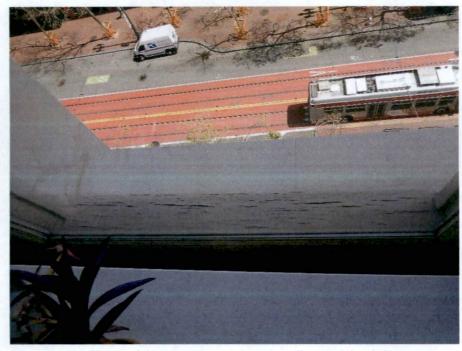


Photo AA: Detail view of deteriorating wood windowsill on sixth level along Market Street elevation, looking south.



Photo BB: View of basement level stair lobby.

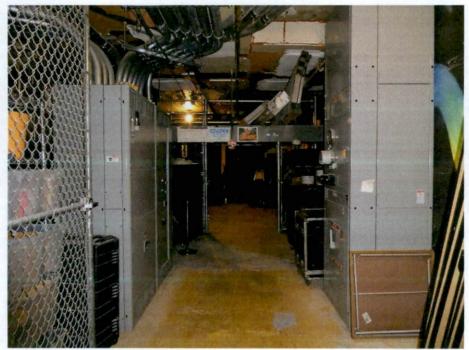


Photo CC: View of basement level mechanical equipment and storage area.



Photo DD: View of concrete wall and ceiling at basement level in area that extends underneath city sidewalk.



Photo EE: View of cracked concrete and efflorescence stains at basement level under sidewalk.



Photo FF: View of mechanical attic (tenth level) along interior of primary façade.

Conditions of brick wall and efflorescence at concrete roof deck are typical throughout level.

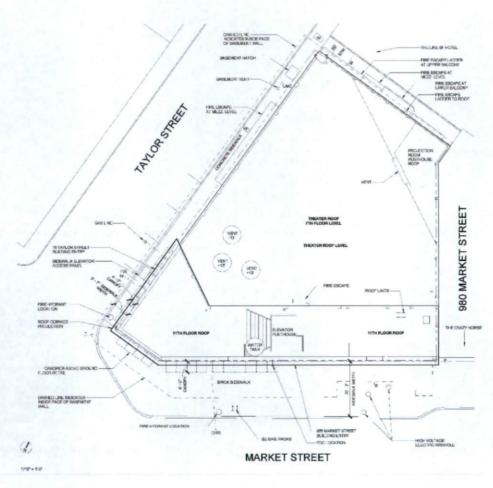


Photo GG: View of ladder leading from mechanical attic up to roof deck above.



Photo HH: View of spalling, steel corrosion and efflorescence at mechanical attic 10th level. Typical representation of conditions.

SITE PLAN



Site Plan. Source: Group i

BIBLIOGRAPHY

"Biography, G. Albert Lansburgh Collection, 1891-1939. *Online Archive of California*. Electronic Resource at: http://content.cdlib.org/view?docId=tf3n39n6xr&chunk.id=bioghist-1.8.4, accessed April 20, 2023.

Bloomfield, Anne, *National Register of Historic Places Nomination Form: Market Street Theatre and Loft District, San Francisco*, listed April 10,1986.

Levin, Steve, "Lowe's Warfield," *Marquee: The Journal of the Theater Historical Society of America*, vol. 36, no. 3, third quarter 2004.

Loews Cineplex Entertainment," Electronic resource available at: http://en.wikipedia.org/wiki/Loews_Cineplex_Entertainment, accessed: April 19, 2023.

Movie Theaters Designed by G. Albert Lansburgh," Electronic Resource at http://cinematreasures.org/architects/68, accessed April 20, 2023.

Page & Turnbull Project Archives, "Warfield," dated 2005-2008.

San Francisco Chronicle. "Work to Begin Next Week on Big Playhouse." July 10, 1920.

San Francisco Department of Building Inspection. Building Permit Applications.

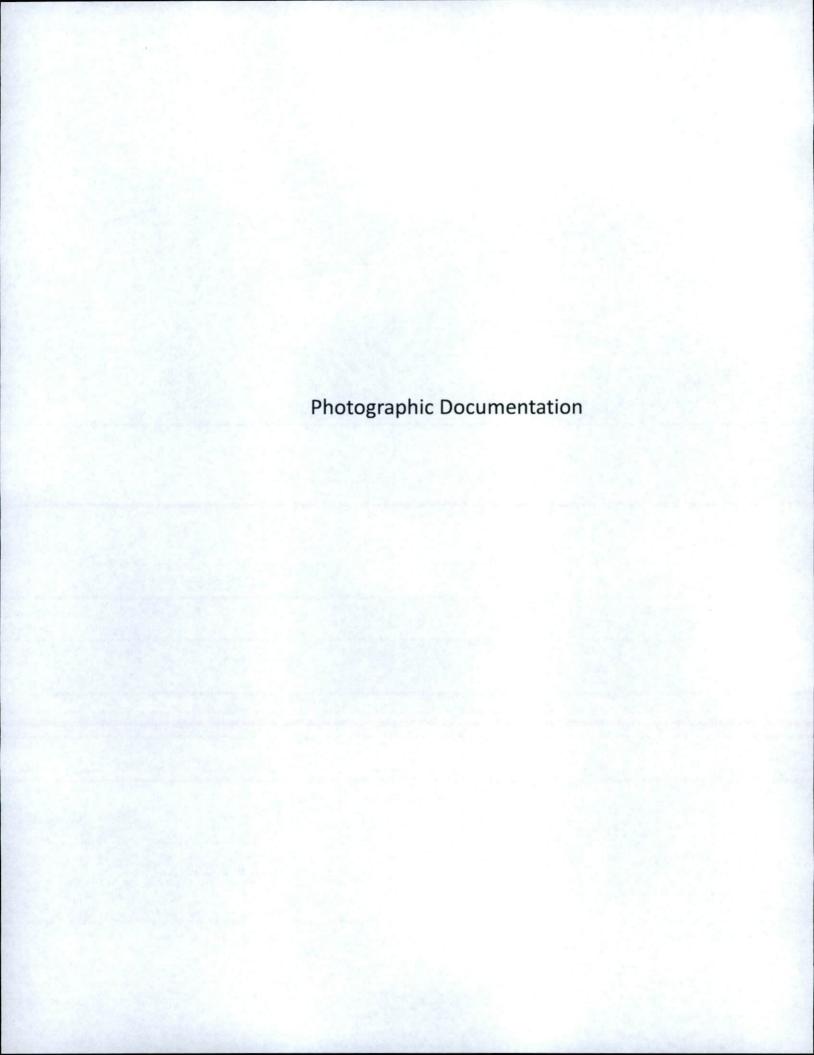
San Francisco Examiner. "Architectural Skill Shown in Loew's Warfield." May 6, 1922.

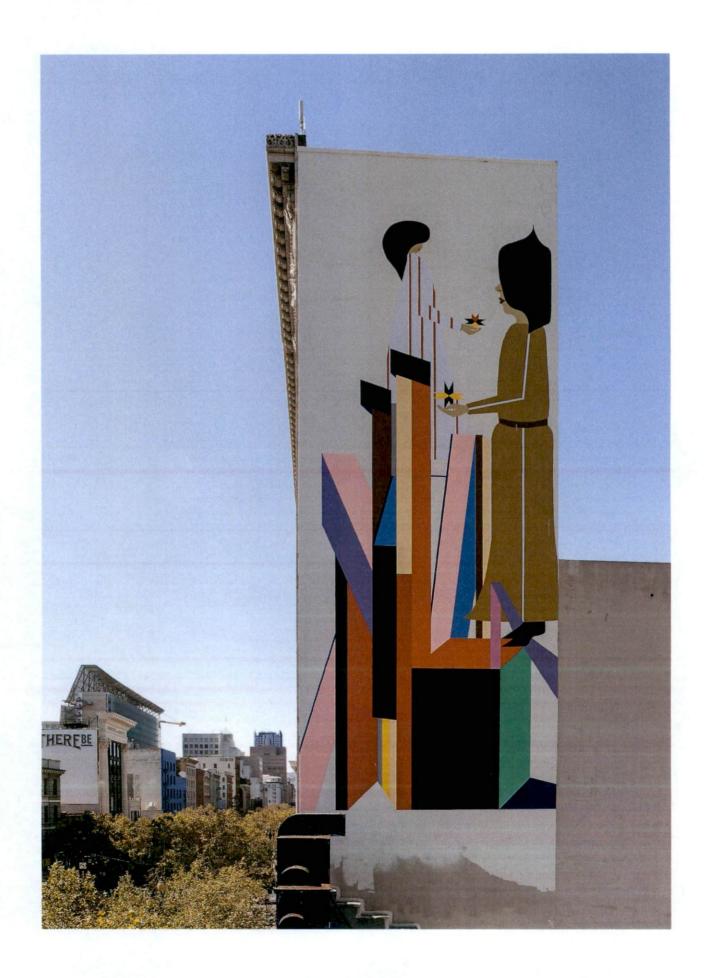
San Francisco Redevelopment Agency, "Mid-Market Redevelopment Plan" EIR #2002.0805E (September 18, 2003).

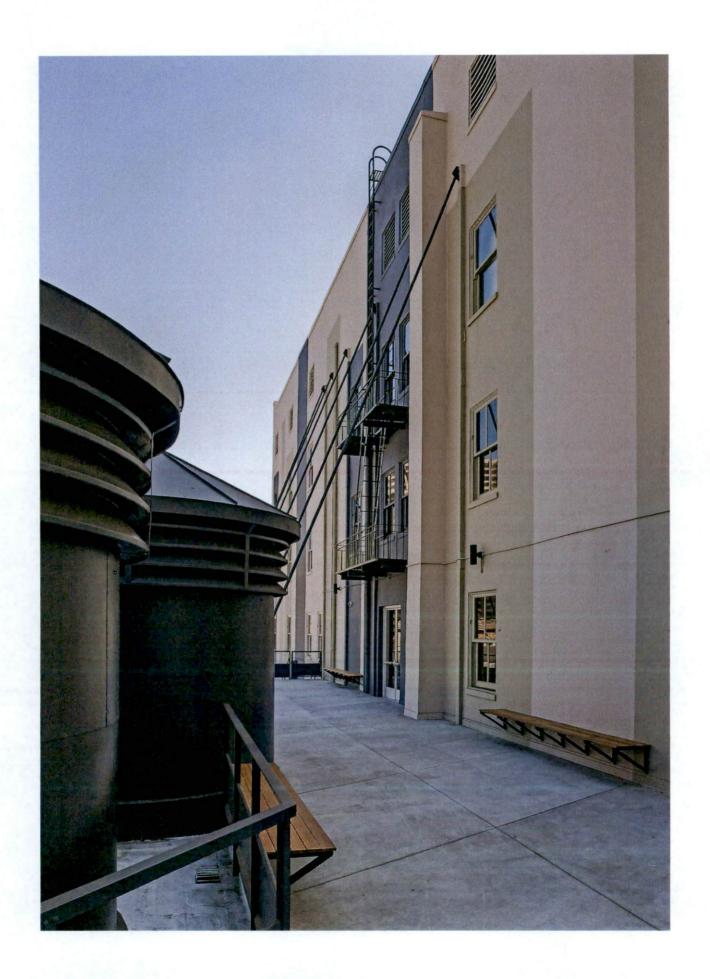
San Francisco Public Library Historical Photograph Collection

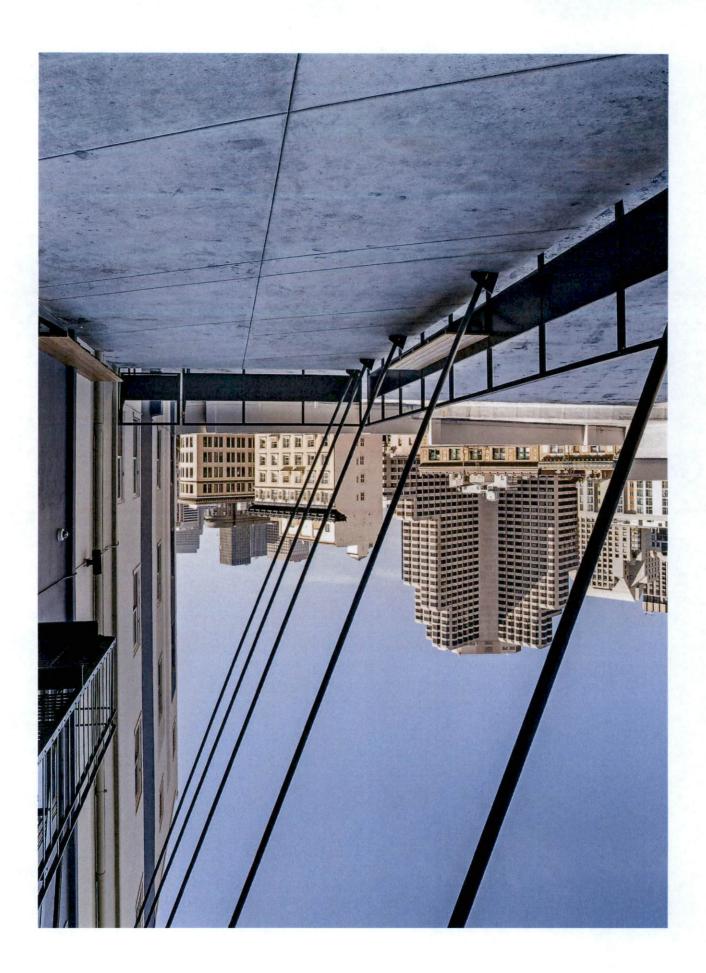
Stern, Norton B. and William D. Kramer, "G. Albert Lansburgh: San Francisco's Jewish Architect from Panama," Western States Jewish Historical Quarterly, April-May 1981.

Tillmany, Jack. Images of America: Theaters of San Francisco (Charleston: Arcadia Publishing, 2005).

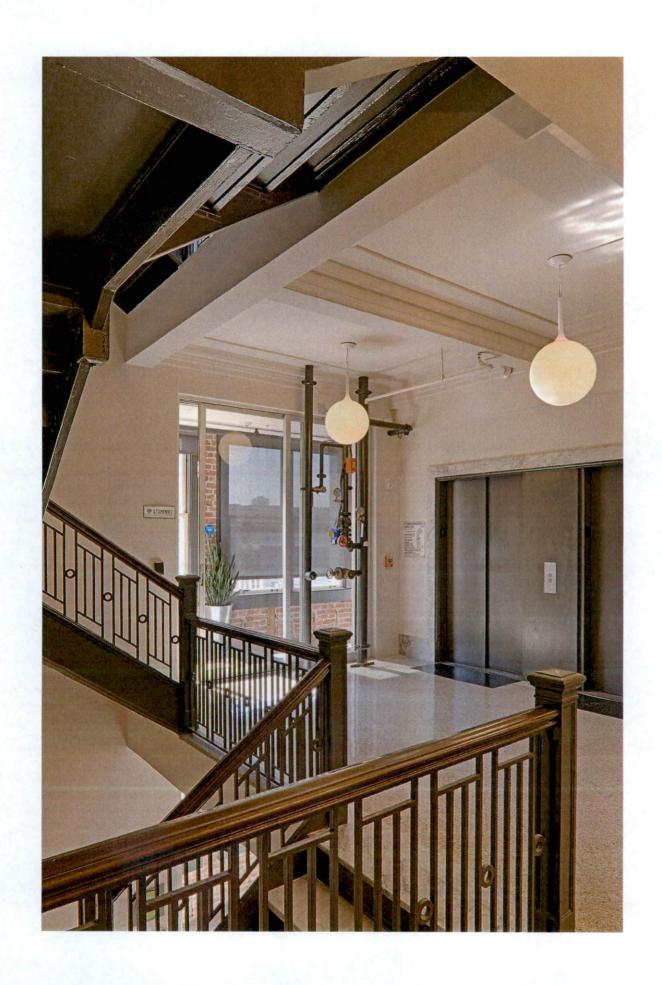




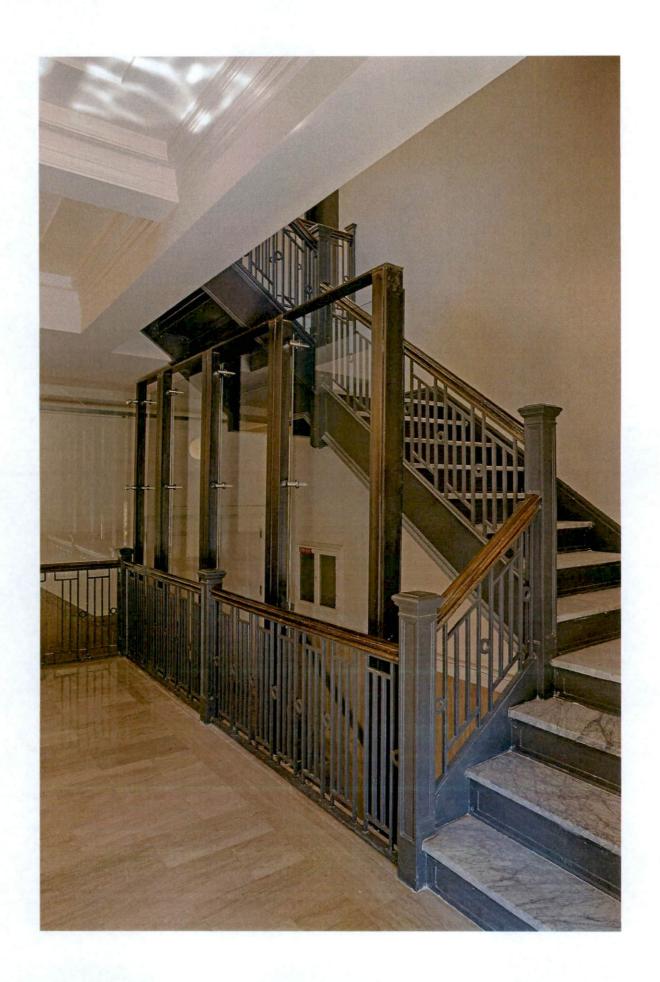


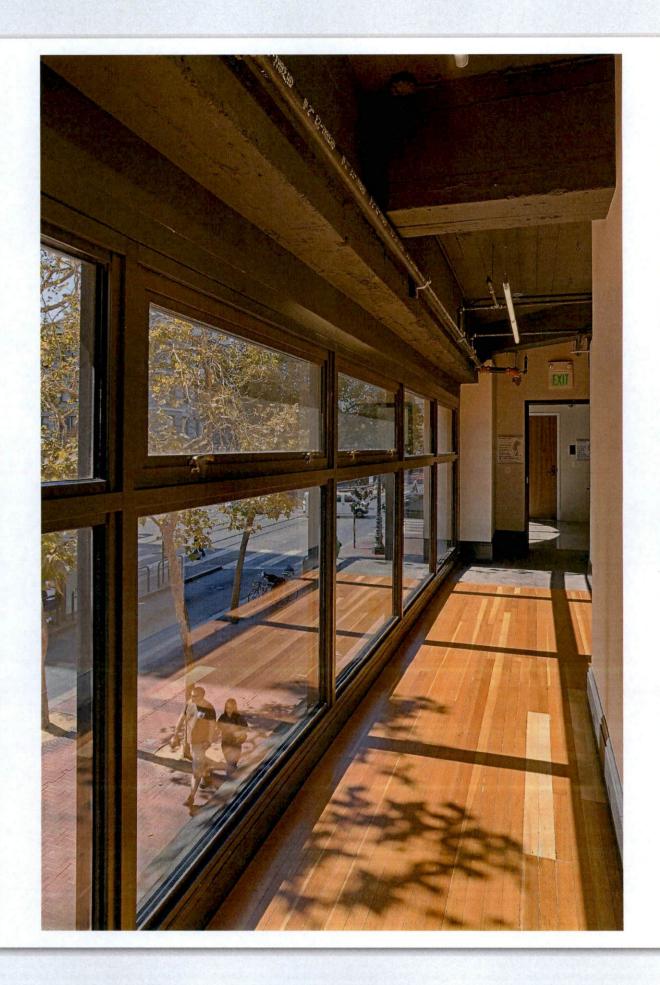


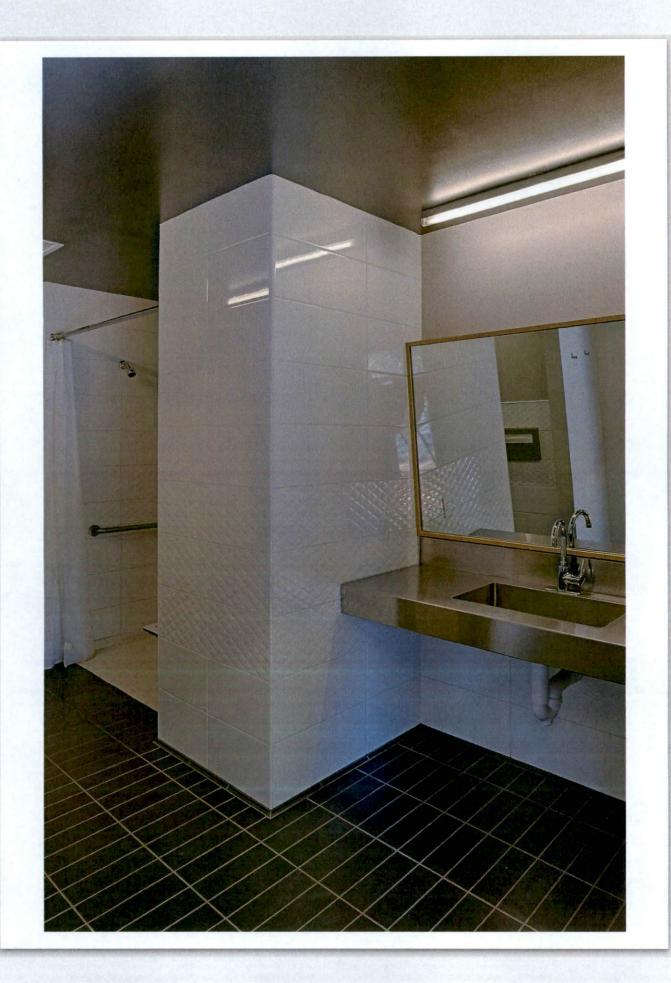






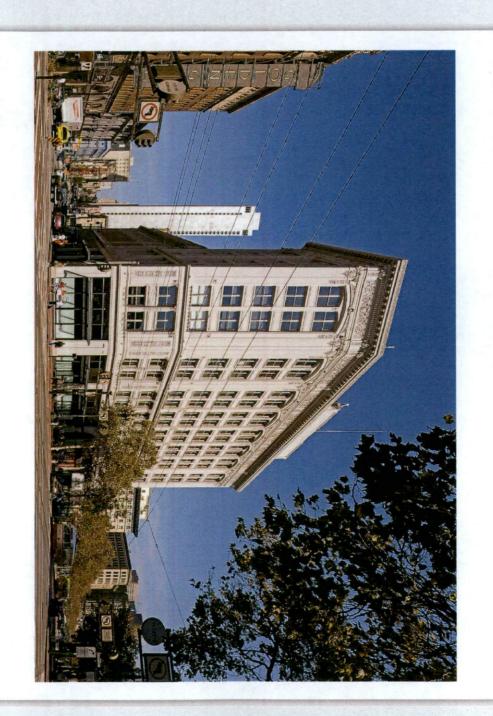






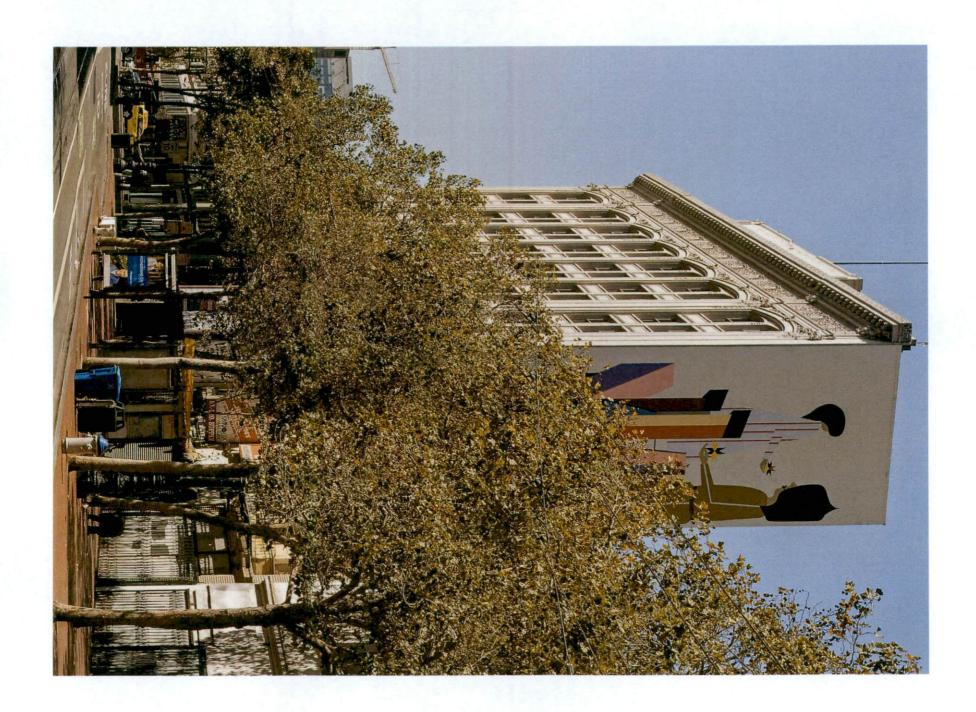


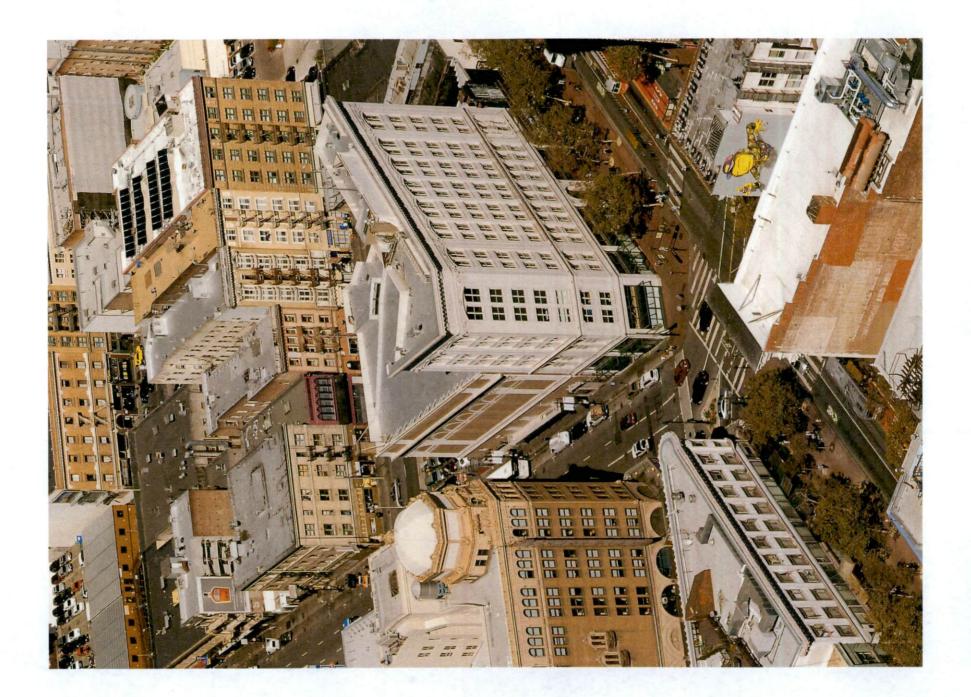


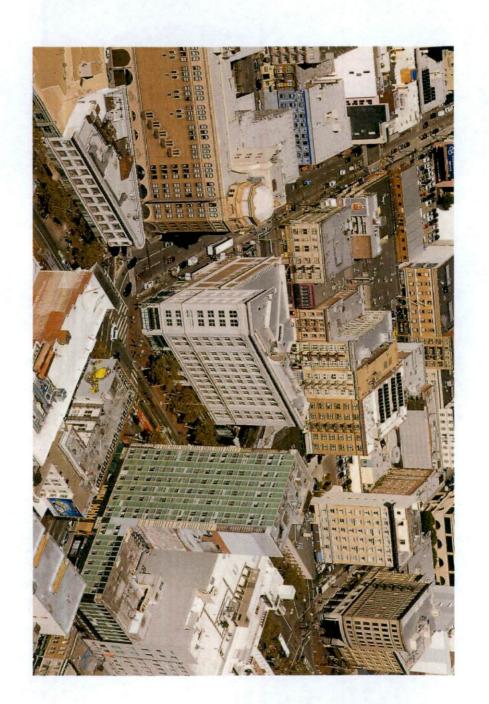


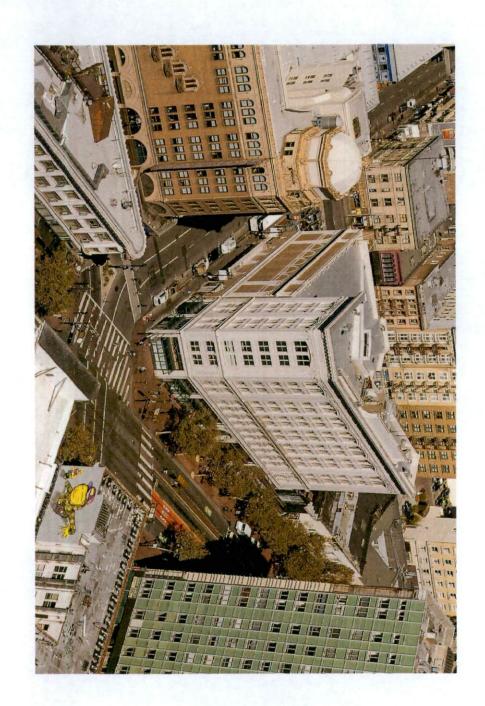


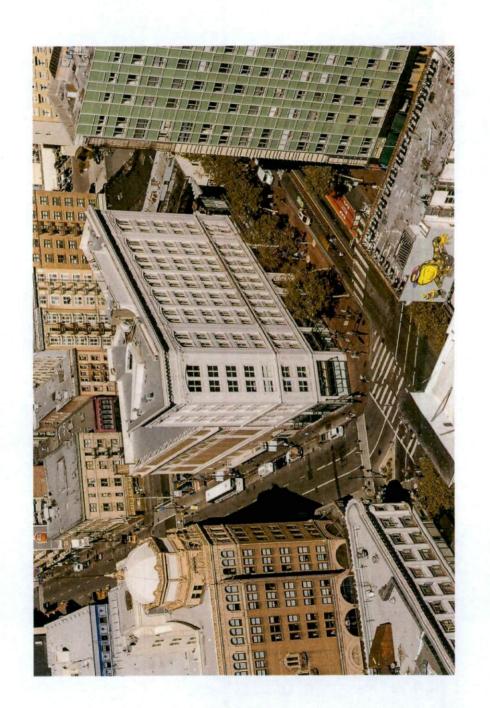






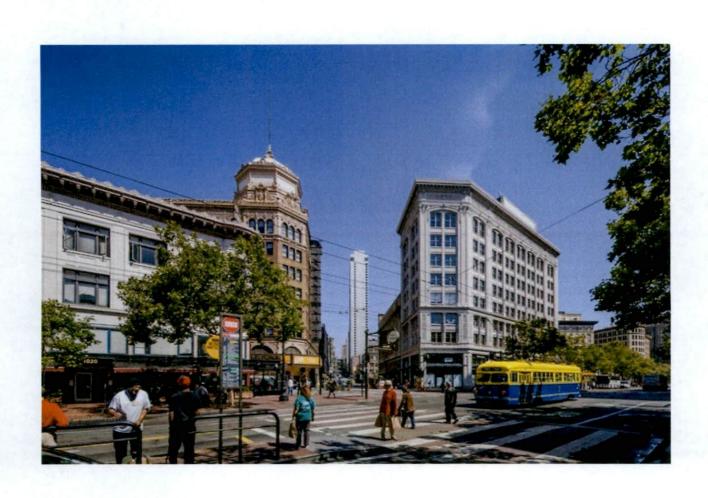


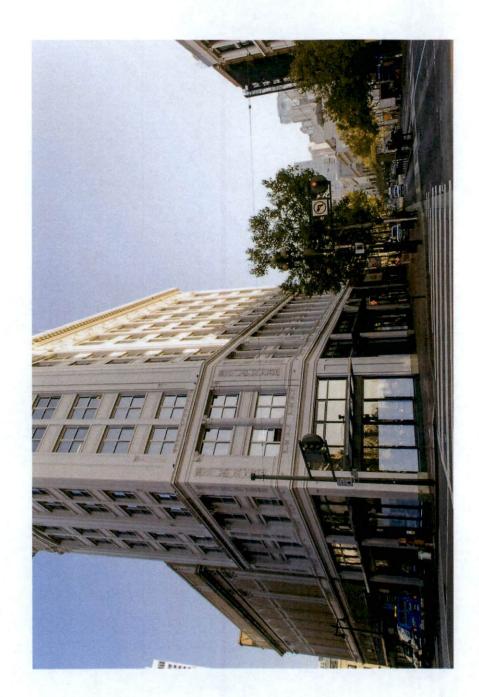














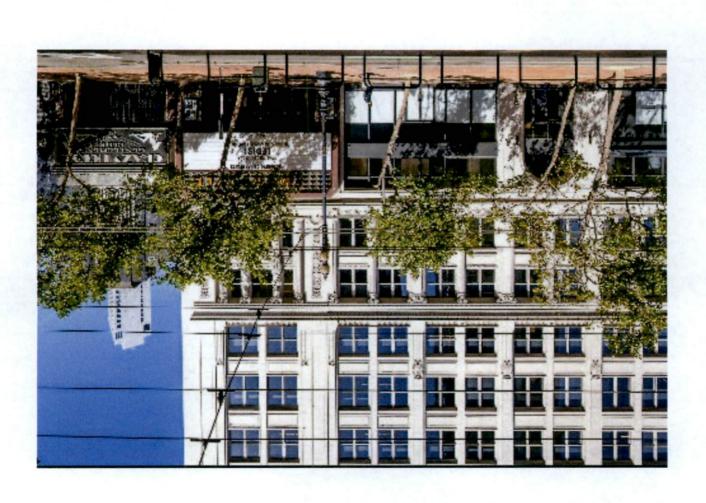




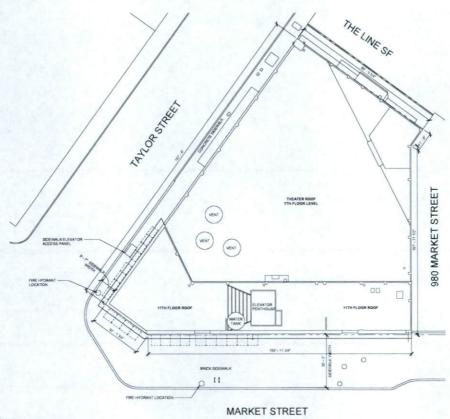












1 SITE PLAN