



MILLS ACT HISTORICAL PROPERTY CONTRACT

SUPPLEMENTAL APPLICATION

Note: Applications must be submitted in both hard copy and digital copy form to the Planning Department at 49 South Van Ness Avenue., Suite 1400 by May 1 in order to comply with the timelines established in the Application Guide. Please submit only the Application and required documents.

Property Information

Project Address: 988 Market Street

Block/Lot(s): 0342 / 019-040 (0342-018 not included, but owner consenting hereto)

Is the entire property owner-occupied?

☐ Yes ☐ No

If **NO**, please provide an approximate square footage for owner-occupied areas vs. rental income (non-owner-occupied areas). Attach a separate sheet of paper if necessary.

Rental Income Information

Include information regarding any rental income on the property, including anticipated annual expenses, such as utilities, garage, insurance, building maintenance, etc.? Attach a separate sheet of paper if necessary.

See attached.

Property Owner's Information

(If more than three owners attach additional sheets as necessary. Property owner names must be listed exactly as listed on the deed)

Name (Owner 1): Joy Ou

Company/Organization: Marlin Cove, Inc.

Address: 988 Market Street, Suite 400

Email Address: mark@groupi.com

Telephone: 415.394.9016

Name (Owner 2): Joy Ou

Company/Organization: 140 Partners, LP

Address: 988 Market Street, Suite 400

Email Address: mark@groupi.com

Telephone: 415.394.9016

Name (Owner 3): David Grieve

Company/Organization: ACV Warfield, LLC (as owner of separate APN 0342018 in structure, not applicant)

Address: 465 First Street West, 2nd Floor
Sonoma, CA 95476

Email Address: N/A

Telephone: 707-935-3700

Do you own other property in the City and County of San Francisco?

☒ Yes ☐ No

If **YES**, please list the addresses and Block/Lot(s) for all other property owned within the City of San Francisco.

140 Partners, LP is the owner of: (1) 1301 Folsom Street APN: 3519/001; and (2) 770 Woolsey Street APN 6055/001.

Applicant Information ☐ Same as above

Name: Mark Shkolnikov

Company/Organization: Marlin Cove Inc. & 140 Partners LP

Address: 988 Market Street, Suite 400

Email Address: mark@groupi.com

Telephone: 415.394.9016

Please Select Billing Contact ☐ Owner ☒ Applicant

Name:

Email Address:

Telephone:

Please Select Primary Project Contact: ☐ Owner ☒ Applicant

Qualified Historic Property

☐ Individually Designated Pursuant to Article 10 of the Planning Code.

Landmark No.: _____ Landmark Name: _____

☐ Contributing Building in a Landmark District Designated Pursuant to Article 10 of the Planning Code.

Landmark District Name: _____

☒ Significant (Category I or II) Pursuant to Article 11 of the Planning Code.

☐ Contributory (Category III) Pursuant to Article 11 of the Planning Code

☐ Contributory (Category IV) to a Conservation District Pursuant to Article 11 of the Planning Code.

☐ Individual Landmark under the California Register of Historical Resources

☒ Contributory Building in California Register of Historical Resources Historic Districts.

☐ Individual Landmark listed in the National Register of Historic Places.

☒ Contributory Building listed in the National Register of Historic Places as a Historic District.

☐ Submitted a complete application for listing or designation on or before December 31 of the year before the application is made.

Are there any outstanding violations on the property from the San Francisco Planning Department or the Department of Building Inspection? If **YES**, all outstanding violations must be abated and closed for eligibility for the Mills Act.

☐ Yes ☒ No

Are taxes on all property owned within the City and County of San Francisco paid to date? If **NO**, all property taxes must be paid for eligibility for the Mills Act.

☒ Yes ☐ No

NOTE: All property owners are required to include a copy of their most recent property tax bill.

Tax Assessment Value

Most Recent Assessed Value: \$ 22,873,681 (see attached spreadsheet)

Choose one of the following options:

The property is a Residential Building valued at less than \$3,000,000

☐ Yes ☐ No

The property is a Commercial/Industrial Building valued at less than \$5,000,000

☐ Yes ☒ No

Exemption from Tax Assessment Value

If the property value exceeds the Tax Assessment Value, please explain below how the property meets the following two criteria and why it should be exempt from the Tax Assessment Value.

1. The site, building, or object, or structure is a particularly significant resource and represents an exceptional example of an architectural style, the work of a master, or is associated with the lives of significant persons or events important to local or natural history;

The application is for the parcels constituting the reinforced concrete office tower and ground-level shops enclosing and surrounding the Warfield Theater. A contributor to the National Register-listed Market Street Theatre and Loft District and rated as a Significant, Category 1 building in Article 11 of the Planning Code, the building defines the northeast edge of the District, embodying and evoking a time when "everybody" came to the district for theatre entertainment.

2. Granting the exemption will assist in the preservation of a site, building, or object, or structure that would otherwise be in danger of demolition, substantial alteration, or disrepair.

The wake of the Covid-19 pandemic drastically shifted demand for office use, reducing pedestrian activity and demand for storefront retail within the District, and calling into question the long-term feasibility of maintaining the historic building with commercial-only programming. The applicants are proposing to convert a portion of the office uses to residential uses, with further ground floor improvements to accommodate the new residential uses. The proposal intends to simultaneously attract long-term tenancing of the building, as well as a sizable amount of new, round-the-clock foot traffic to the ground-level shops, Warfield Theater, and entire District.

NOTE: A Historic Structures Report, completed by a qualified historic preservation consultant, must be submitted in order to apply for an exemption from the tax assessment value.

Property owner will ensure that a portion of the Mills Act tax savings will be used to finance the preservation, rehabilitation, and maintenance of the property.

☒ Yes ☐ No

Priority Consideration Criteria

Please check the appropriate criteria as they apply to your property and explain on a separate piece of paper how the property meets the stated Priority Consideration Criteria. Only properties qualifying in three of the five categories are given priority consideration.

- ☒ **Necessity:** The project will require a financial incentive to help ensure the preservation of the property. This criterion will establish that the property is in danger of deterioration and in need of substantial rehabilitation and restoration that has significant associated costs. Properties with open complaints, enforcement cases or violations will not meet this criterion.

See attached rehabilitation plan detailing need for help to ensure preservation of property. Despite the anticipated long-term benefits of adding residential uses to the building to support on-going preservation of the building, adding the cost of this work to the project (under particularly challenging marketing conditions) would render the project infeasible.

- ☒ **Investment:** The project will result in additional private investment in the property other than for routine maintenance. This may include seismic retrofitting and substantial rehabilitation and restoration work. This criterion will establish that the owner is committed to investing in the restoration, rehabilitation and maintenance the property.

The project to convert a portion of the building's office uses to residential will result in additional private investment to ensure both near-term rehabilitation and restoration and long-term historic building maintenance as described in the attached plans.

- ☒ **Distinctiveness:** The project preserves a distinctive example of a property that is especially deserving of a contract due to its exceptional nature.

The project to convert a portion of the building's office uses to residential will help reinvigorate a key property in the District and ensure foot traffic in the District, a central component of the District's history as a center of attraction in the City.

- ☐ **Recently Designated City Landmarks:** properties that have been recently designated landmarks will be given priority consideration.

- ☐ **Legacy Business:** The project will preserve a property at which a business included in the Legacy Business Registry is located. This criterion will establish that the owner is committed to preserving the property, including physical features that define the existing Legacy Business.

Photographic Documentation

Provide both interior and exterior images (either on separate sheets of paper or digitally) and label the images properly.

Site Plan

On a separate sheet of paper, show all buildings on the property including lot boundary lines, street name(s), north arrow and dimensions on a site plan.

Rehabilitation/Restoration & Maintenance Plans

A 10 Year Rehabilitation/Restoration Plan, including estimates prepared by qualified contractors, has been submitted detailing work to be performed on the subject property

☒ Yes ☐ No

A 10 Year Maintenance Plan has been submitted detailing work to be performed on the subject property

☒ Yes ☐ No

Proposed work will meet the *Secretary of the Interior's Standards for the Treatment of Historic Properties*, the California Historic Building Code and all applicable Codes and Guidelines, including the Planning Code and Building Code.

☒ Yes ☐ No

Signature and Notary Acknowledgement Form

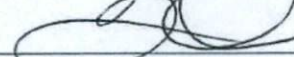
By signing below, I/we acknowledge that I/we am/are the owner(s) of the structure referenced above and by applying for exemption from the limitations certify, under the penalty of perjury, that the information attached and provided is accurate. Attach notary acknowledgement.

Joy Ou, President of Group i, Manager of Marlin Cove Inc and 140 Partners LP

Name (Print)

5/01/2023

Date


Signature

David Grieve, Chairman and CEO of A&C Ventures

Name (Print)

Date

Signature

Name (Print)

Date

Signature

Public Information Release

Please read the following statements and check each to indicate that you agree with the statement. Then sign below in the space provided.

I understand that submitted documents will become public records under the California Public Records Act, and that these documents will be made available upon request to members of the public for inspection and copying.


I acknowledge that all photographs and images submitted as part of the application may be used by the City without compensation.

Joy Ou, President of Group i, Manager of Marlin Cove Inc and 140 Partners LP

Name (Print)


5/01/2023

Date


Signature

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

WITNESS my hand and official seal.


 ALAN LEONG
 Notary Public - California
 San Francisco County
 Commission # 2404244
 My Comm. Expires May 19, 2026

Signature and Notary Acknowledgement Form

By signing below, I/we acknowledge that I/we am/are the owner(s) of the structure referenced above and by applying for exemption from the limitations certify, under the penalty of perjury, that the information attached and provided is accurate. Attach notary acknowledgement.

Joy Ou, President of Group i, Manager of Marlin Cove Inc and 140 Partners LP

Name (Print)

Date

Signature

David Grieve, Chairman and CEO of A&C Ventures

Name (Print)

May 1, 2023

Date

Signature

Name (Print)

Date

Signature

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Joy Ou, President of Group i, Manager of Marlin Cove Inc and 140 Partners LP

Name (Print)

Date

Signature

CERTIFICATE OF ACKNOWLEDGMENT
OF NOTARY PUBLIC

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

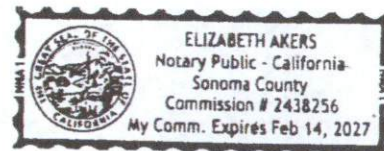
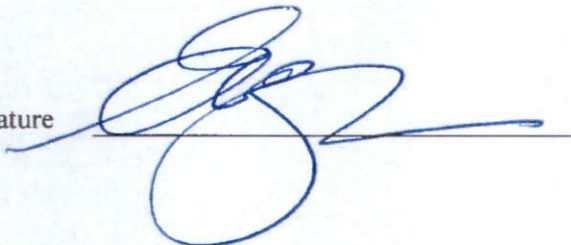
State of California)
County of ~~San Francisco~~ Sonoma)

On May 1, 2023, before me, Elizabeth Akers, a Notary Public,
personally appeared David R. Griere, who proved to me on the basis of
satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within
instrument and acknowledged to me that he/she/they executed the same in his/her/their
authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or
the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the
foregoing paragraph is true and correct.

WITNESS my hand and official seal.

Signature



Rental Information

(current rental income, along with annual expenses (utilities, insurance, building maintenance, etc.))

THE WARFIELD BUILDING

	2022 12 Mon Ended 12/31/22 (1/1/22 to 12/31/22)
Rental Revenue	
Rental Income	2,140,347
CAM - Current Year	77,133
CAM - Prior Year	28,418
Utilities Income	53,067
Storage Income	329
Total Rental Revenue	2,299,295
Other Revenue	
Reimbursable Income	9,403
Total Other Revenue	9,403
Total Revenue	\$2,308,698
Operating Expenses	
Janitorial - Contract	3,248
Janitorial - Supplies	21
Sidewalk Cleaning	350
Security Guard - Contract	16,080
Trash Removal	13,874
Electrical - Supplies	1,120
Plumbing - Repair	28,464
Plumbing - Supplies	92
Pest Control - Contract	3,887
General Maintenance	10,875
General Repair	9,824
General Supplies	1,344
Exterior Painting & Waterproofing	6,742
Graffiti Removal	123
Total Operating Expenses	\$96,045
Utilities	
Utilities - Electricity	48,705
Utilities - Gas	966
Utilities - Water	7,712
Total Utilities	\$57,382
Administratives	
Legal	2,299
Postage/Delivery Charges	55
Dues/Subscriptions	61
Bank/Finance Charge	140
Management Fee Expenses	159,042
Owners Association Dues *	202,923
Gross SF Commercial Rent Tax	37,778
Business Registration Fee	62
Total Administratives	\$402,360
Property Taxes	
Property Taxes	159,781
140P Excess Over Base Prop Tax	107,731
Special Assessment	28,856
Total Property Taxes	\$296,367
Total Operating and Non-Operating Expenses	\$852,154
Net Operating Income	\$1,456,544
Interest Expenses	1,285,333
Pre-Tax Net Income	\$171,211

* Master Owners Association Dues includes property insurance, repair, maintenance and necessary reserve

Assessed Value of Property
&
Other Owned Property

					Fiscal 2022-2023 (7/1/22-6/30/23)	
Location	Unit No	Block 0342	Ownership	Land	Structure	Taxable Value
Ground Floor	984	Lot 19	140 Partners LP & Marlin Cove Inc. as TIC	\$117,646	\$78,429	\$196,075
Ground Floor	988	Lot 20	140 Partners LP & Marlin Cove Inc. as TIC	\$155,608	\$103,735	\$259,343
Ground Floor	990	Lot 21	140 Partners LP & Marlin Cove Inc. as TIC	\$104,559	\$69,705	\$174,264
Ground Floor	994	Lot 22	140 Partners LP & Marlin Cove Inc. as TIC	\$109,162	\$72,771	\$181,933
Ground Floor	998	Lot 23	140 Partners LP & Marlin Cove Inc. as TIC	\$612,211	\$408,139	\$1,020,350
Ground Floor	16	Lot 24	140 Partners LP & Marlin Cove Inc. as TIC	\$120,227	\$80,148	\$200,375
2nd Floor (1st floor Mezz)	1M1	Lot 25 *	140 Partners LP & Marlin Cove Inc. as TIC	\$256,246	\$170,830	\$427,076
2nd Floor (1st floor Mezz)	1M2	Lot 26	140 Partners LP & Marlin Cove Inc. as TIC	\$677,123	\$451,414	\$1,128,537
3rd Floor	201	Lot 27	140 Partners LP & Marlin Cove Inc. as TIC	\$690,777	\$460,516	\$1,151,293
3rd Floor	202	Lot 28	140 Partners LP & Marlin Cove Inc. as TIC	\$790,595	\$527,061	\$1,317,656
4th Floor	301	Lot 29	140 Partners LP & Marlin Cove Inc. as TIC	\$691,914	\$461,271	\$1,153,185
4th Floor	302	Lot 30	140 Partners LP & Marlin Cove Inc. as TIC	\$953,029	\$635,351	\$1,588,380
5th floor	401	Lot 31 *	140 Partners LP & Marlin Cove Inc. as TIC	684,467	456,306	\$1,140,773
5th floor	402	Lot 32 *	140 Partners LP & Marlin Cove Inc. as TIC	\$949,051	\$632,698	\$1,581,749
6th Floor	501	Lot 33 *	140 Partners LP & Marlin Cove Inc. as TIC	\$679,138	\$452,759	\$1,131,897
6th Floor	502	Lot 34 *	140 Partners LP & Marlin Cove Inc. as TIC	\$949,617	\$633,075	\$1,582,692
7th Floor	601	Lot 35 *	140 Partners LP & Marlin Cove Inc. as TIC	\$713,842	\$475,892	\$1,189,734
7th Floor	602	Lot 36 *	140 Partners LP & Marlin Cove Inc. as TIC	\$1,024,040	\$682,691	\$1,706,731
8th Floor	701	Lot 37 *	140 Partners LP & Marlin Cove Inc. as TIC	\$713,842	\$475,892	\$1,189,734
8th Floor	702	Lot 38 *	140 Partners LP & Marlin Cove Inc. as TIC	\$1,022,903	\$681,932	\$1,704,835
9th Floor	801	Lot 39 *	140 Partners LP & Marlin Cove Inc. as TIC	\$698,997	\$465,998	\$1,164,995
9th Floor	802	Lot 40 *	140 Partners LP & Marlin Cove Inc. as TIC	\$1,009,245	\$672,829	\$1,682,074
				\$13,724,239	\$9,149,442	\$22,873,681
* residential conversion						

Most Recent Tax Bill



City & County of San Francisco
José Cisneros, Treasurer
David Augustine, Tax Collector
Property Tax Bill (Secured)

1 Dr. Carlton B. Goodlett Place
City Hall, Room 140
San Francisco, CA 94102
www.sftreasurer.org

For Fiscal Year July 1, 2022 through June 30, 2023

Vol	Block	Lot	Bill No	Mail Date	Property Location
03	0342	019	20220286904	October 11, 2022	982-998 MARKET ST

Assessed on January 1, 2022 at 12:01am
To: NAME WITHHELD PER CA AB 2238

ADDRESS INFORMATION
NOT AVAILABLE ONLINE

Important Messages

► **TOTAL DUE** **\$3,645.74**

1st Installment	2nd Installment
\$1,822.87	\$1,822.87
Due 12/12/2022	Due 04/10/2023

Assessed Value

Description	Full Value
Land	\$117,646
Structure	\$78,429
Fixtures	
Personal Property	
Gross Taxable Value	\$196,075
Less HO Exemption	\$0
Less Other Exemption	\$0
Net Taxable Value	\$196,075
Tax Amount	\$2,313.12

Direct Charges and Special Assessments

Type	Telephone	Amount Due
46 - San Francisco Bay Restoration Authority	(888) 508-8157	\$12.00
62 - North of Market/Tenderloin CBD	(415) 292-4812	\$600.00
89 - SFUSD Facilities District	(415) 355-2203	\$40.52
91 - SFCCD Parcel Tax	(415) 487-2400	\$99.00
98 - SFUSD - Teacher Support	(415) 355-2203	\$283.86
101 - School Parcel Tax of 2020	(415) 355-2203	\$297.24

Total Direct Charges and Special Assessments

\$1,332.62

Keep this portion for your records. See back of bill for payment options and additional information.



City & County of San Francisco
Property Tax Bill (Secured)
For Fiscal Year July 1, 2022 through June 30, 2023

Pay online at www.sftreasurer.org

Vol	Block	Lot	Bill No	Property Location
03	0342	019	20220286904	982-998 MARKET ST

☐ Check if contribution to Arts Fund is enclosed.
For other donation opportunities go to www.Give2SF.org

Write your block and lot on your check.
2nd Installment cannot be accepted unless 1st is paid.

San Francisco Tax Collector
Secured Property Tax
P.O. Box 7426
San Francisco, CA 94120-7426

2nd Installment Due

Pay by	April 10, 2023	\$1,822.87
If paid after includes 10% penalty and applicable fees	April 10, 2023	\$2,050.15

0303420001900 20220286904 000000000 000000000 0000 2003



City & County of San Francisco
Property Tax Bill (Secured)
For Fiscal Year July 1, 2022 through June 30, 2023

Pay online at www.sftreasurer.org

Vol	Block	Lot	Bill No	Property Location
03	0342	019	20220286904	982-998 MARKET ST

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For other donation opportunities go to www.Give2SF.org

Write your block and lot on your check.
If property has been sold, please forward bill to new owner.

San Francisco Tax Collector
Secured Property Tax
P.O. Box 7426
San Francisco, CA 94120-7426

1st Installment Due

Pay by	December 12, 2022	\$1,822.87
If paid after December 12, 2022 includes 10% penalty		\$2,005.15

Paid 12/07/2022



City & County of San Francisco
José Cisneros, Treasurer
David Augustine, Tax Collector
Property Tax Bill (Secured)

1 Dr. Carlton B. Goodlett Place
City Hall, Room 140
San Francisco, CA 94102
www.sftreasurer.org

For Fiscal Year July 1, 2022 through June 30, 2023

Vol	Block	Lot	Bill No	Mail Date	Property Location
03	0342	020	20220286905	October 11, 2022	982-998 MARKET ST

Assessed on January 1, 2022 at 12:01am
To: NAME WITHHELD PER CA AB 2238

ADDRESS INFORMATION
NOT AVAILABLE ONLINE

Important Messages

► **TOTAL DUE** **\$4,392.12**

1st Installment	2nd Installment
\$2,196.06	\$2,196.06
Due 12/12/2022	Due 04/10/2023

Assessed Value

Description	Full Value
Land	\$155,608
Structure	\$103,735
Fixtures	
Personal Property	
Gross Taxable Value	\$259,343
Less HO Exemption	\$0
Less Other Exemption	\$0
Net Taxable Value	\$259,343
Tax Amount	\$3,059.50

Direct Charges and Special Assessments

Type	Telephone	Amount Due
46 - San Francisco Bay Restoration Authority	(888) 508-8157	\$12.00
62 - North of Market/Tenderloin CBD	(415) 292-4812	\$600.00
89 - SFUSD Facilities District	(415) 355-2203	\$40.52
91 - SFCCD Parcel Tax	(415) 487-2400	\$99.00
98 - SFUSD - Teacher Support	(415) 355-2203	\$283.86
101 - School Parcel Tax of 2020	(415) 355-2203	\$297.24

Total Direct Charges and Special Assessments

\$1,332.62

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City & County of San Francisco
Property Tax Bill (Secured)
For Fiscal Year July 1, 2022 through June 30, 2023

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Vol	Block	Lot	Bill No	Property Location
03	0342	020	20220286905	982-998 MARKET ST

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Write your block and lot on your check.
2nd Installment cannot be accepted unless 1st is paid.

San Francisco Tax Collector
Secured Property Tax
P.O. Box 7426
San Francisco, CA 94120-7426

2nd Installment Due

Pay by	April 10, 2023	\$2,196.06
If paid after includes 10% penalty and applicable fees	April 10, 2023	\$2,460.66

0303420002000 20220286905 0000000000 0000000000 0000 2003



City & County of San Francisco
Property Tax Bill (Secured)
For Fiscal Year July 1, 2022 through June 30, 2023

Pay online at www.sftreasurer.org

Vol	Block	Lot	Bill No	Property Location
03	0342	020	20220286905	982-998 MARKET ST

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Write your block and lot on your check.
If property has been sold, please forward bill to new owner.

San Francisco Tax Collector
Secured Property Tax
P.O. Box 7426
San Francisco, CA 94120-7426

1st Installment Due

Pay by	December 12, 2022	\$2,196.06
If paid after includes 10% penalty	December 12, 2022	\$2,415.66

Paid 12/07/2022



City & County of San Francisco
José Cisneros, Treasurer
David Augustine, Tax Collector
Property Tax Bill (Secured)

1 Dr. Carlton B. Goodlett Place
City Hall, Room 140
San Francisco, CA 94102
www.sftreasurer.org

For Fiscal Year July 1, 2022 through June 30, 2023

Vol	Block	Lot	Bill No	Mail Date	Property Location
03	0342	021	20220286906	October 11, 2022	982-998 MARKET ST

Assessed on January 1, 2022 at 12:01am
To: NAME WITHHELD PER CA AB 2238

ADDRESS INFORMATION
NOT AVAILABLE ONLINE

Important Messages

TOTAL DUE \$3,388.42	
1st Installment	2nd Installment
\$1,694.21	\$1,694.21
Due 12/12/2022	Due 04/10/2023

Assessed Value	
Description	Full Value
Land	\$104,559
Structure	\$69,705
Fixtures	
Personal Property	
Gross Taxable Value	\$174,264
Less HO Exemption	\$0
Less Other Exemption	\$0
Net Taxable Value	\$174,264
Tax Amount	\$2,055.80

Direct Charges and Special Assessments		
Type	Telephone	Amount Due
46 - San Francisco Bay Restoration Authority	(888) 508-8157	\$12.00
62 - North of Market/Tenderloin CBD	(415) 292-4812	\$600.00
89 - SFUSD Facilities District	(415) 355-2203	\$40.52
91 - SFCCD Parcel Tax	(415) 487-2400	\$99.00
98 - SFUSD - Teacher Support	(415) 355-2203	\$283.86
101 - School Parcel Tax of 2020	(415) 355-2203	\$297.24
Total Direct Charges and Special Assessments		\$1,332.62

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City & County of San Francisco
Property Tax Bill (Secured)
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San Francisco Tax Collector
Secured Property Tax
P.O. Box 7426
San Francisco, CA 94120-7426

2nd Installment Due		
Pay by	April 10, 2023	\$1,694.21
If paid after includes 10% penalty and applicable fees	April 10, 2023	\$1,908.63

0303420002100 20220286906 000000000 000000000 0000 2003



City & County of San Francisco
Property Tax Bill (Secured)
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Secured Property Tax
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San Francisco, CA 94120-7426

1st Installment Due		
Pay by	December 12, 2022	\$1,694.21
If paid after includes 10% penalty	December 12, 2022	\$1,863.63
Paid 12/07/2022		



City & County of San Francisco
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David Augustine, Tax Collector
Property Tax Bill (Secured)

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For Fiscal Year July 1, 2022 through June 30, 2023

Vol	Block	Lot	Bill No	Mail Date	Property Location
03	0342	022	20220286907	October 11, 2022	982-998 MARKET ST

Assessed on January 1, 2022 at 12:01am
To: NAME WITHHELD PER CA AB 2238

ADDRESS INFORMATION
NOT AVAILABLE ONLINE

Important Messages

TOTAL DUE		\$3,478.90
1st Installment	2nd Installment	
\$1,739.45	\$1,739.45	
Due 12/12/2022	Due 04/10/2023	

Assessed Value	
Description	Full Value
Land	\$109,162
Structure	\$72,771
Fixtures	
Personal Property	
Gross Taxable Value	\$181,933
Less HO Exemption	\$0
Less Other Exemption	\$0
Net Taxable Value	\$181,933
Tax Amount	\$2,146.28

Direct Charges and Special Assessments		
Type	Telephone	Amount Due
46 - San Francisco Bay Restoration Authority	(888) 508-8157	\$12.00
62 - North of Market/Tenderloin CBD	(415) 292-4812	\$600.00
89 - SFUSD Facilities District	(415) 355-2203	\$40.52
91 - SFCCD Parcel Tax	(415) 487-2400	\$99.00
98 - SFUSD - Teacher Support	(415) 355-2203	\$283.86
101 - School Parcel Tax of 2020	(415) 355-2203	\$297.24
Total Direct Charges and Special Assessments		\$1,332.62

Keep this portion for your records. See back of bill for payment options and additional information.



City & County of San Francisco
Property Tax Bill (Secured)
For Fiscal Year July 1, 2022 through June 30, 2023

Pay online at www.sftreasurer.org

Vol	Block	Lot	Bill No	Property Location
03	0342	022	20220286907	982-998 MARKET ST

☐ Check if contribution to Arts Fund is enclosed.
For other donation opportunities go to www.Give2SF.org

Write your block and lot on your check.
2nd Installment cannot be accepted unless 1st is paid.

San Francisco Tax Collector
Secured Property Tax
P.O. Box 7426
San Francisco, CA 94120-7426

2nd Installment Due		
Pay by	April 10, 2023	\$1,739.45
If paid after includes 10% penalty and applicable fees	April 10, 2023	\$1,958.39

0303420002200 20220286907 000000000 000000000 0000 2003



City & County of San Francisco
Property Tax Bill (Secured)
For Fiscal Year July 1, 2022 through June 30, 2023

Pay online at www.sftreasurer.org

Vol	Block	Lot	Bill No	Property Location
03	0342	022	20220286907	982-998 MARKET ST

☐ Check if contribution to Arts Fund is enclosed.
For other donation opportunities go to www.Give2SF.org

Write your block and lot on your check.
If property has been sold, please forward bill to new owner.

San Francisco Tax Collector
Secured Property Tax
P.O. Box 7426
San Francisco, CA 94120-7426

1st Installment Due		
Pay by	December 12, 2022	\$1,739.45
If paid after includes 10% penalty	December 12, 2022	\$1,913.39
Paid 12/07/2022		



City & County of San Francisco
José Cisneros, Treasurer
David Augustine, Tax Collector
Property Tax Bill (Secured)

1 Dr. Carlton B. Goodlett Place
City Hall, Room 140
San Francisco, CA 94102
www.sftreasurer.org

For Fiscal Year July 1, 2022 through June 30, 2023

Vol	Block	Lot	Bill No	Mail Date	Property Location
03	0342	023	20220286908	October 11, 2022	982-998 MARKET ST

Assessed on January 1, 2022 at 12:01am
To: NAME WITHHELD PER CA AB 2238

ADDRESS INFORMATION
NOT AVAILABLE ONLINE

Important Messages

TOTAL DUE		\$13,370.04
1st Installment	2nd Installment	
\$6,685.02	\$6,685.02	
Due 12/12/2022	Due 04/10/2023	

Assessed Value	
Description	Full Value
Land	\$612,211
Structure	\$408,139
Fixtures	
Personal Property	
Gross Taxable Value	\$1,020,350
Less HO Exemption	\$0
Less Other Exemption	\$0
Net Taxable Value	\$1,020,350
Tax Amount	\$12,037.42

Direct Charges and Special Assessments		
Type	Telephone	Amount Due
46 - San Francisco Bay Restoration Authority	(888) 508-8157	\$12.00
62 - North of Market/Tenderloin CBD	(415) 292-4812	\$600.00
89 - SFUSD Facilities District	(415) 355-2203	\$40.52
91 - SFCCD Parcel Tax	(415) 487-2400	\$99.00
98 - SFUSD - Teacher Support	(415) 355-2203	\$283.86
101 - School Parcel Tax of 2020	(415) 355-2203	\$297.24
Total Direct Charges and Special Assessments		\$1,332.62

Keep this portion for your records. See back of bill for payment options and additional information.



City & County of San Francisco
Property Tax Bill (Secured)
For Fiscal Year July 1, 2022 through June 30, 2023

Pay online at www.sftreasurer.org

Vol	Block	Lot	Bill No	Property Location
03	0342	023	20220286908	982-998 MARKET ST

☐ Check if contribution to Arts Fund is enclosed.
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2nd Installment cannot be accepted unless 1st is paid.

San Francisco Tax Collector
Secured Property Tax
P.O. Box 7426
San Francisco, CA 94120-7426

2nd Installment Due		
Pay by	April 10, 2023	\$6,685.02
If paid after includes 10% penalty and applicable fees	April 10, 2023	\$7,398.52

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City & County of San Francisco
Property Tax Bill (Secured)
For Fiscal Year July 1, 2022 through June 30, 2023

Pay online at www.sftreasurer.org

Vol	Block	Lot	Bill No	Property Location
03	0342	023	20220286908	982-998 MARKET ST

☐ Check if contribution to Arts Fund is enclosed.
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If property has been sold, please forward bill to new owner.

San Francisco Tax Collector
Secured Property Tax
P.O. Box 7426
San Francisco, CA 94120-7426

1st Installment Due		
Pay by	December 12, 2022	\$6,685.02
If paid after includes 10% penalty	December 12, 2022	\$7,353.52
Paid 12/07/2022		



City & County of San Francisco
José Cisneros, Treasurer
David Augustine, Tax Collector
Property Tax Bill (Secured)

1 Dr. Carlton B. Goodlett Place
City Hall, Room 140
San Francisco, CA 94102
www.sftreasurer.org

For Fiscal Year July 1, 2022 through June 30, 2023

Vol	Block	Lot	Bill No	Mail Date	Property Location
03	0342	024	20220286909	October 11, 2022	982-998 MARKET ST

Assessed on January 1, 2022 at 12:01am
To: NAME WITHHELD PER CA AB 2238

ADDRESS INFORMATION
NOT AVAILABLE ONLINE

Important Messages

TOTAL DUE		\$3,696.44
1st Installment	2nd Installment	
\$1,848.22	\$1,848.22	
Due 12/12/2022	Due 04/10/2023	

Assessed Value	
Description	Full Value
Land	\$120,227
Structure	\$80,148
Fixtures	
Personal Property	
Gross Taxable Value	\$200,375
Less HO Exemption	\$0
Less Other Exemption	\$0
Net Taxable Value	\$200,375
Tax Amount	\$2,363.82

Direct Charges and Special Assessments

Type	Telephone	Amount Due
46 - San Francisco Bay Restoration Authority	(888) 508-8157	\$12.00
62 - North of Market/Tenderloin CBD	(415) 292-4812	\$600.00
89 - SFUSD Facilities District	(415) 355-2203	\$40.52
91 - SFCCD Parcel Tax	(415) 487-2400	\$99.00
98 - SFUSD - Teacher Support	(415) 355-2203	\$283.86
101 - School Parcel Tax of 2020	(415) 355-2203	\$297.24

Total Direct Charges and Special Assessments

\$1,332.62

Keep this portion for your records. See back of bill for payment options and additional information.



City & County of San Francisco
Property Tax Bill (Secured)
For Fiscal Year July 1, 2022 through June 30, 2023

Pay online at www.sftreasurer.org

Vol	Block	Lot	Bill No	Property Location
03	0342	024	20220286909	982-998 MARKET ST

☐ Check if contribution to Arts Fund is enclosed.
For other donation opportunities go to www.Give2SF.org

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2nd Installment cannot be accepted unless 1st is paid.

San Francisco Tax Collector
Secured Property Tax
P.O. Box 7426
San Francisco, CA 94120-7426

2nd Installment Due		
Pay by	April 10, 2023	\$1,848.22
If paid after includes 10% penalty and applicable fees	April 10, 2023	\$2,078.04

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City & County of San Francisco
Property Tax Bill (Secured)
For Fiscal Year July 1, 2022 through June 30, 2023

Pay online at www.sftreasurer.org

Vol	Block	Lot	Bill No	Property Location
03	0342	024	20220286909	982-998 MARKET ST

☐ Check if contribution to Arts Fund is enclosed.
For other donation opportunities go to www.Give2SF.org

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If property has been sold, please forward bill to new owner.

San Francisco Tax Collector
Secured Property Tax
P.O. Box 7426
San Francisco, CA 94120-7426

1st Installment Due		
Pay by	December 12, 2022	\$1,848.22
If paid after includes 10% penalty	December 12, 2022	\$2,033.04
Paid 12/07/2022		



City & County of San Francisco
José Cisneros, Treasurer
David Augustine, Tax Collector
Property Tax Bill (Secured)

1 Dr. Carlton B. Goodlett Place
City Hall, Room 140
San Francisco, CA 94102
www.sftreasurer.org

For Fiscal Year July 1, 2022 through June 30, 2023

Vol	Block	Lot	Bill No	Mail Date	Property Location
03	0342	025	20220286910	October 11, 2022	982-998 MARKET ST

Assessed on January 1, 2022 at 12:01am
To: NAME WITHHELD PER CA AB 2238

ADDRESS INFORMATION
NOT AVAILABLE ONLINE

Important Messages

TOTAL DUE		\$6,370.96
1st Installment	2nd Installment	
\$3,185.48	\$3,185.48	
Due 12/12/2022	Due 04/10/2023	

Assessed Value	
Description	Full Value
Land	\$256,246
Structure	\$170,830
Fixtures	
Personal Property	
Gross Taxable Value	\$427,076
Less HO Exemption	\$0
Less Other Exemption	\$0
Net Taxable Value	\$427,076
Tax Amount	\$5,038.34

Direct Charges and Special Assessments

Type	Telephone	Amount Due
46 - San Francisco Bay Restoration Authority	(888) 508-8157	\$12.00
62 - North of Market/Tenderloin CBD	(415) 292-4812	\$600.00
89 - SFUSD Facilities District	(415) 355-2203	\$40.52
91 - SFCCD Parcel Tax	(415) 487-2400	\$99.00
98 - SFUSD - Teacher Support	(415) 355-2203	\$283.86
101 - School Parcel Tax of 2020	(415) 355-2203	\$297.24

Total Direct Charges and Special Assessments

\$1,332.62

Keep this portion for your records. See back of bill for payment options and additional information.



City & County of San Francisco
Property Tax Bill (Secured)
For Fiscal Year July 1, 2022 through June 30, 2023

Pay online at www.sftreasurer.org

Vol	Block	Lot	Bill No	Property Location
03	0342	025	20220286910	982-998 MARKET ST

☐ Check if contribution to Arts Fund is enclosed.
For other donation opportunities go to www.Give2SF.org

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2nd Installment cannot be accepted unless 1st is paid.

San Francisco Tax Collector
Secured Property Tax
P.O. Box 7426
San Francisco, CA 94120-7426

2nd Installment Due		
Pay by	April 10, 2023	\$3,185.48
If paid after includes 10% penalty and applicable fees	April 10, 2023	\$3,549.02

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City & County of San Francisco
Property Tax Bill (Secured)
For Fiscal Year July 1, 2022 through June 30, 2023

Pay online at www.sftreasurer.org

Vol	Block	Lot	Bill No	Property Location
03	0342	025	20220286910	982-998 MARKET ST

☐ Check if contribution to Arts Fund is enclosed.
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San Francisco Tax Collector
Secured Property Tax
P.O. Box 7426
San Francisco, CA 94120-7426

1st Installment Due		
Pay by	December 12, 2022	\$3,185.48
If paid after December 12, 2022 includes 10% penalty		\$3,504.02
Paid 12/07/2022		



City & County of San Francisco
José Cisneros, Treasurer
David Augustine, Tax Collector
Property Tax Bill (Secured)

1 Dr. Carlton B. Goodlett Place
City Hall, Room 140
San Francisco, CA 94102
www.sftreasurer.org

For Fiscal Year July 1, 2022 through June 30, 2023

Vol	Block	Lot	Bill No	Mail Date	Property Location
03	0342	026	20220286911	October 11, 2022	982-998 MARKET ST

Assessed on January 1, 2022 at 12:01am
To: NAME WITHHELD PER CA AB 2238

ADDRESS INFORMATION
NOT AVAILABLE ONLINE

Important Messages

TOTAL DUE		\$14,646.34
1st Installment	2nd Installment	
\$7,323.17	\$7,323.17	
Due 12/12/2022	Due 04/10/2023	

Assessed Value	
Description	Full Value
Land	\$677,123
Structure	\$451,414
Fixtures	
Personal Property	
Gross Taxable Value	\$1,128,537
Less HO Exemption	\$0
Less Other Exemption	\$0
Net Taxable Value	\$1,128,537
Tax Amount	\$13,313.72

Direct Charges and Special Assessments		
Type	Telephone	Amount Due
46 - San Francisco Bay Restoration Authority	(888) 508-8157	\$12.00
62 - North of Market/Tenderloin CBD	(415) 292-4812	\$600.00
89 - SFUSD Facilities District	(415) 355-2203	\$40.52
91 - SFCCD Parcel Tax	(415) 487-2400	\$99.00
98 - SFUSD - Teacher Support	(415) 355-2203	\$283.86
101 - School Parcel Tax of 2020	(415) 355-2203	\$297.24
Total Direct Charges and Special Assessments		\$1,332.62

Keep this portion for your records. See back of bill for payment options and additional information.



City & County of San Francisco
Property Tax Bill (Secured)
For Fiscal Year July 1, 2022 through June 30, 2023

Pay online at www.sftreasurer.org

Vol	Block	Lot	Bill No	Property Location
03	0342	026	20220286911	982-998 MARKET ST

- ☐ Check if contribution to Arts Fund is enclosed.
For other donation opportunities go to www.Give2SF.org
- Write your block and lot on your check.
2nd Installment cannot be accepted unless 1st is paid.

San Francisco Tax Collector
Secured Property Tax
P.O. Box 7426
San Francisco, CA 94120-7426

2nd Installment Due		
Pay by	April 10, 2023	\$7,323.17
If paid after includes 10% applicable fees	April 10, 2023 penalty and	\$8,100.48

0303420002600 20220286911 0000000000 0000000000 0000 2003



City & County of San Francisco
Property Tax Bill (Secured)
For Fiscal Year July 1, 2022 through June 30, 2023

Pay online at www.sftreasurer.org

Vol	Block	Lot	Bill No	Property Location
03	0342	026	20220286911	982-998 MARKET ST

- ☐ Check if contribution to Arts Fund is enclosed.
For other donation opportunities go to www.Give2SF.org
- Write your block and lot on your check.
If property has been sold, please forward bill to new owner.

San Francisco Tax Collector
Secured Property Tax
P.O. Box 7426
San Francisco, CA 94120-7426

1st Installment Due		
Pay by	December 12, 2022	\$7,323.17
If paid after includes 10% penalty	December 12, 2022	\$8,055.48
Paid 12/07/2022		



City & County of San Francisco
José Cisneros, Treasurer
David Augustine, Tax Collector
Property Tax Bill (Secured)

1 Dr. Carlton B. Goodlett Place
City Hall, Room 140
San Francisco, CA 94102
www.sftreasurer.org

For Fiscal Year July 1, 2022 through June 30, 2023

Vol	Block	Lot	Bill No	Mail Date	Property Location
03	0342	027	20220286912	October 11, 2022	982-998 MARKET ST

Assessed on January 1, 2022 at 12:01am
To: NAME WITHHELD PER CA AB 2238

ADDRESS INFORMATION
NOT AVAILABLE ONLINE

Important Messages

TOTAL DUE		\$14,914.82
1st Installment	2nd Installment	
\$7,457.41	\$7,457.41	
Due 12/12/2022	Due 04/10/2023	

Assessed Value	
Description	Full Value
Land	\$690,777
Structure	\$460,516
Fixtures	
Personal Property	
Gross Taxable Value	\$1,151,293
Less HO Exemption	\$0
Less Other Exemption	\$0
Net Taxable Value	\$1,151,293
Tax Amount	\$13,582.20

Direct Charges and Special Assessments		
Type	Telephone	Amount Due
46 - San Francisco Bay Restoration Authority	(888) 508-8157	\$12.00
62 - North of Market/Tenderloin CBD	(415) 292-4812	\$600.00
89 - SFUSD Facilities District	(415) 355-2203	\$40.52
91 - SFCCD Parcel Tax	(415) 487-2400	\$99.00
98 - SFUSD - Teacher Support	(415) 355-2203	\$283.86
101 - School Parcel Tax of 2020	(415) 355-2203	\$297.24
Total Direct Charges and Special Assessments		\$1,332.62

Keep this portion for your records. See back of bill for payment options and additional information.



City & County of San Francisco
Property Tax Bill (Secured)
For Fiscal Year July 1, 2022 through June 30, 2023

Pay online at www.sftreasurer.org

Vol	Block	Lot	Bill No	Property Location
03	0342	027	20220286912	982-998 MARKET ST

☐ Check if contribution to Arts Fund is enclosed.
For other donation opportunities go to www.Give2SF.org

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2nd Installment cannot be accepted unless 1st is paid.

San Francisco Tax Collector
Secured Property Tax
P.O. Box 7426
San Francisco, CA 94120-7426

2nd Installment Due		
Pay by	April 10, 2023	\$7,457.41
If paid after April 10, 2023 includes 10% penalty and applicable fees		\$8,248.15

0303420002700 20220286912 000000000 000000000 0000 2003



City & County of San Francisco
Property Tax Bill (Secured)
For Fiscal Year July 1, 2022 through June 30, 2023

Pay online at www.sftreasurer.org

Vol	Block	Lot	Bill No	Property Location
03	0342	027	20220286912	982-998 MARKET ST

☐ Check if contribution to Arts Fund is enclosed.
For other donation opportunities go to www.Give2SF.org

Write your block and lot on your check.
If property has been sold, please forward bill to new owner.

San Francisco Tax Collector
Secured Property Tax
P.O. Box 7426
San Francisco, CA 94120-7426

1st Installment Due		
Pay by	December 12, 2022	\$7,457.41
If paid after December 12, 2022 includes 10% penalty		\$8,203.15
Paid 12/07/2022		



City & County of San Francisco
José Cisneros, Treasurer
David Augustine, Tax Collector
Property Tax Bill (Secured)

1 Dr. Carlton B. Goodlett Place
City Hall, Room 140
San Francisco, CA 94102
www.sftreasurer.org

For Fiscal Year July 1, 2022 through June 30, 2023

Vol	Block	Lot	Bill No	Mail Date	Property Location
03	0342	028	20220286913	October 11, 2022	982-998 MARKET ST

Assessed on January 1, 2022 at 12:01am
To: NAME WITHHELD PER CA AB 2238

ADDRESS INFORMATION
NOT AVAILABLE ONLINE

Important Messages

TOTAL DUE		\$16,877.46
1st Installment	2nd Installment	
\$8,438.73	\$8,438.73	
Due 12/12/2022	Due 04/10/2023	

Assessed Value	
Description	Full Value
Land	\$790,595
Structure	\$527,061
Fixtures	
Personal Property	
Gross Taxable Value	\$1,317,656
Less HO Exemption	\$0
Less Other Exemption	\$0
Net Taxable Value	\$1,317,656
Tax Amount	\$15,544.84

Direct Charges and Special Assessments		
Type	Telephone	Amount Due
46 - San Francisco Bay Restoration Authority	(888) 508-8157	\$12.00
62 - North of Market/Tenderloin CBD	(415) 292-4812	\$600.00
89 - SFUSD Facilities District	(415) 355-2203	\$40.52
91 - SFCCD Parcel Tax	(415) 487-2400	\$99.00
98 - SFUSD - Teacher Support	(415) 355-2203	\$283.86
101 - School Parcel Tax of 2020	(415) 355-2203	\$297.24
Total Direct Charges and Special Assessments		\$1,332.62

Keep this portion for your records. See back of bill for payment options and additional information.



City & County of San Francisco
Property Tax Bill (Secured)
For Fiscal Year July 1, 2022 through June 30, 2023

Pay online at www.sftreasurer.org

Vol	Block	Lot	Bill No	Property Location
03	0342	028	20220286913	982-998 MARKET ST

☐ Check if contribution to Arts Fund is enclosed.
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2nd Installment cannot be accepted unless 1st is paid.

San Francisco Tax Collector
Secured Property Tax
P.O. Box 7426
San Francisco, CA 94120-7426

2nd Installment Due		
Pay by	April 10, 2023	\$8,438.73
If paid after includes 10% penalty and applicable fees	April 10, 2023	\$9,327.60

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City & County of San Francisco
Property Tax Bill (Secured)
For Fiscal Year July 1, 2022 through June 30, 2023

Pay online at www.sftreasurer.org

Vol	Block	Lot	Bill No	Property Location
03	0342	028	20220286913	982-998 MARKET ST

☐ Check if contribution to Arts Fund is enclosed.
For other donation opportunities go to www.Give2SF.org

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If property has been sold, please forward bill to new owner.

San Francisco Tax Collector
Secured Property Tax
P.O. Box 7426
San Francisco, CA 94120-7426

1st Installment Due		
Pay by	December 12, 2022	\$8,438.73
If paid after December 12, 2022 includes 10% penalty		\$9,282.60
Paid 12/07/2022		



City & County of San Francisco
José Cisneros, Treasurer
David Augustine, Tax Collector
Property Tax Bill (Secured)

1 Dr. Carlton B. Goodlett Place
City Hall, Room 140
San Francisco, CA 94102
www.sftreasurer.org

For Fiscal Year July 1, 2022 through June 30, 2023

Vol	Block	Lot	Bill No	Mail Date	Property Location
03	0342	029	20220286914	October 11, 2022	982-998 MARKET ST

Assessed on January 1, 2022 at 12:01am
To: NAME WITHHELD PER CA AB 2238

ADDRESS INFORMATION
NOT AVAILABLE ONLINE

Important Messages

TOTAL DUE		\$14,937.14
1st Installment	2nd Installment	
\$7,468.57	\$7,468.57	
Due 12/12/2022	Due 04/10/2023	

Assessed Value	
Description	Full Value
Land	\$691,914
Structure	\$461,271
Fixtures	
Personal Property	
Gross Taxable Value	\$1,153,185
Less HO Exemption	\$0
Less Other Exemption	\$0
Net Taxable Value	\$1,153,185
Tax Amount	\$13,604.52

Direct Charges and Special Assessments

Type	Telephone	Amount Due
46 - San Francisco Bay Restoration Authority	(888) 508-8157	\$12.00
62 - North of Market/Tenderloin CBD	(415) 292-4812	\$600.00
89 - SFUSD Facilities District	(415) 355-2203	\$40.52
91 - SFCCD Parcel Tax	(415) 487-2400	\$99.00
98 - SFUSD - Teacher Support	(415) 355-2203	\$283.86
101 - School Parcel Tax of 2020	(415) 355-2203	\$297.24

Total Direct Charges and Special Assessments

\$1,332.62

Keep this portion for your records. See back of bill for payment options and additional information.



City & County of San Francisco
Property Tax Bill (Secured)
For Fiscal Year July 1, 2022 through June 30, 2023

Pay online at www.sftreasurer.org

Vol	Block	Lot	Bill No	Property Location
03	0342	029	20220286914	982-998 MARKET ST

☐ Check if contribution to Arts Fund is enclosed.
For other donation opportunities go to www.Give2SF.org

Write your block and lot on your check.
2nd Installment cannot be accepted unless 1st is paid.

San Francisco Tax Collector
Secured Property Tax
P.O. Box 7426
San Francisco, CA 94120-7426

2nd Installment Due

Pay by	April 10, 2023	\$7,468.57
If paid after includes 10% penalty and applicable fees	April 10, 2023	\$8,260.42

0303420002900 20220286914 000000000 000000000 0000 2003



City & County of San Francisco
Property Tax Bill (Secured)
For Fiscal Year July 1, 2022 through June 30, 2023

Pay online at www.sftreasurer.org

Vol	Block	Lot	Bill No	Property Location
03	0342	029	20220286914	982-998 MARKET ST

☐ Check if contribution to Arts Fund is enclosed.
For other donation opportunities go to www.Give2SF.org

Write your block and lot on your check.
If property has been sold, please forward bill to new owner.

San Francisco Tax Collector
Secured Property Tax
P.O. Box 7426
San Francisco, CA 94120-7426

1st Installment Due

Pay by	December 12, 2022	\$7,468.57
If paid after includes 10% penalty	December 12, 2022	\$8,215.42
Paid 12/07/2022		



City & County of San Francisco
José Cisneros, Treasurer
David Augustine, Tax Collector
Property Tax Bill (Secured)

1 Dr. Carlton B. Goodlett Place
City Hall, Room 140
San Francisco, CA 94102
www.sftreasurer.org

For Fiscal Year July 1, 2022 through June 30, 2023

Vol	Block	Lot	Bill No	Mail Date	Property Location
03	0342	030	20220286915	October 11, 2022	982-998 MARKET ST

Assessed on January 1, 2022 at 12:01am
To: NAME WITHHELD PER CA AB 2238

ADDRESS INFORMATION
NOT AVAILABLE ONLINE

Important Messages

► TOTAL DUE \$20,071.30

1st Installment	2nd Installment
\$10,035.65	\$10,035.65
Due 12/12/2022	Due 04/10/2023

Assessed Value

Description	Full Value
Land	\$953,029
Structure	\$635,351
Fixtures	
Personal Property	
Gross Taxable Value	\$1,588,380
Less HO Exemption	\$0
Less Other Exemption	\$0
Net Taxable Value	\$1,588,380
Tax Amount	\$18,738.68

Direct Charges and Special Assessments

Type	Telephone	Amount Due
46 - San Francisco Bay Restoration Authority	(888) 508-8157	\$12.00
62 - North of Market/Tenderloin CBD	(415) 292-4812	\$600.00
89 - SFUSD Facilities District	(415) 355-2203	\$40.52
91 - SFCCD Parcel Tax	(415) 487-2400	\$99.00
98 - SFUSD - Teacher Support	(415) 355-2203	\$283.86
101 - School Parcel Tax of 2020	(415) 355-2203	\$297.24

Total Direct Charges and Special Assessments

\$1,332.62

Keep this portion for your records. See back of bill for payment options and additional information.



City & County of San Francisco
Property Tax Bill (Secured)
For Fiscal Year July 1, 2022 through June 30, 2023

Pay online at www.sftreasurer.org

Vol	Block	Lot	Bill No	Property Location
03	0342	030	20220286915	982-998 MARKET ST

☐ Check if contribution to Arts Fund is enclosed.
For other donation opportunities go to www.Give2SF.org

Write your block and lot on your check.
2nd Installment cannot be accepted unless 1st is paid.

San Francisco Tax Collector
Secured Property Tax
P.O. Box 7426
San Francisco, CA 94120-7426

2nd Installment Due

Pay by	April 10, 2023	\$10,035.65
If paid after includes 10% penalty and applicable fees	April 10, 2023	\$11,084.21

0303420003000 20220286915 0000000000 0000000000 0000 2003



City & County of San Francisco
Property Tax Bill (Secured)
For Fiscal Year July 1, 2022 through June 30, 2023

Pay online at www.sftreasurer.org

Vol	Block	Lot	Bill No	Property Location
03	0342	030	20220286915	982-998 MARKET ST

☐ Check if contribution to Arts Fund is enclosed.
For other donation opportunities go to www.Give2SF.org

Write your block and lot on your check.
If property has been sold, please forward bill to new owner.

San Francisco Tax Collector
Secured Property Tax
P.O. Box 7426
San Francisco, CA 94120-7426

1st Installment Due

Pay by	December 12, 2022	\$10,035.65
If paid after includes 10% penalty	December 12, 2022	\$11,039.21
Paid 12/07/2022		



City & County of San Francisco
José Cisneros, Treasurer
David Augustine, Tax Collector
Property Tax Bill (Secured)

1 Dr. Carlton B. Goodlett Place
City Hall, Room 140
San Francisco, CA 94102
www.sftreasurer.org

For Fiscal Year July 1, 2022 through June 30, 2023

Vol	Block	Lot	Bill No	Mail Date	Property Location
03	0342	031	20220286916	October 11, 2022	982-998 MARKET ST

Assessed on January 1, 2022 at 12:01am
To: NAME WITHHELD PER CA AB 2238

**ADDRESS INFORMATION
NOT AVAILABLE ONLINE**

Important Messages

TOTAL DUE		\$14,790.70
1st Installment	2nd Installment	
\$7,395.35	\$7,395.35	
Due 12/12/2022	Due 04/10/2023	

Assessed Value	
Description	Full Value
Land	\$684,467
Structure	\$456,306
Fixtures	
Personal Property	
Gross Taxable Value	\$1,140,773
Less HO Exemption	\$0
Less Other Exemption	\$0
Net Taxable Value	\$1,140,773
Tax Amount	\$13,458.08

Direct Charges and Special Assessments

Type	Telephone	Amount Due
46 - San Francisco Bay Restoration Authority	(888) 508-8157	\$12.00
62 - North of Market/Tenderloin CBD	(415) 292-4812	\$600.00
89 - SFUSD Facilities District	(415) 355-2203	\$40.52
91 - SFCCD Parcel Tax	(415) 487-2400	\$99.00
98 - SFUSD - Teacher Support	(415) 355-2203	\$283.86
101 - School Parcel Tax of 2020	(415) 355-2203	\$297.24
Total Direct Charges and Special Assessments		\$1,332.62

Keep this portion for your records. See back of bill for payment options and additional information.



City & County of San Francisco
Property Tax Bill (Secured)
For Fiscal Year July 1, 2022 through June 30, 2023

Pay online at www.sftreasurer.org

Vol	Block	Lot	Bill No	Property Location
03	0342	031	20220286916	982-998 MARKET ST

☐ Check if contribution to Arts Fund is enclosed.
For other donation opportunities go to www.Give2SF.org

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2nd Installment cannot be accepted unless 1st is paid.

San Francisco Tax Collector
Secured Property Tax
P.O. Box 7426
San Francisco, CA 94120-7426

2nd Installment Due		
Pay by	April 10, 2023	\$7,395.35
If paid after includes 10% penalty and applicable fees	April 10, 2023	\$8,179.88

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City & County of San Francisco
Property Tax Bill (Secured)
For Fiscal Year July 1, 2022 through June 30, 2023

Pay online at www.sftreasurer.org

Vol	Block	Lot	Bill No	Property Location
03	0342	031	20220286916	982-998 MARKET ST

☐ Check if contribution to Arts Fund is enclosed.
For other donation opportunities go to www.Give2SF.org

Write your block and lot on your check.
If property has been sold, please forward bill to new owner.

San Francisco Tax Collector
Secured Property Tax
P.O. Box 7426
San Francisco, CA 94120-7426

1st Installment Due		
Pay by	December 12, 2022	\$7,395.35
If paid after includes 10% penalty	December 12, 2022	\$8,134.88
Paid 12/07/2022		



City & County of San Francisco
José Cisneros, Treasurer
David Augustine, Tax Collector
Property Tax Bill (Secured)

1 Dr. Carlton B. Goodlett Place
City Hall, Room 140
San Francisco, CA 94102
www.sftreasurer.org

For Fiscal Year July 1, 2022 through June 30, 2023

Vol	Block	Lot	Bill No	Mail Date	Property Location
03	0342	032	20220286917	October 11, 2022	982-998 MARKET ST

Assessed on January 1, 2022 at 12:01am
To: NAME WITHHELD PER CA AB 2238

ADDRESS INFORMATION
NOT AVAILABLE ONLINE

Important Messages

► **TOTAL DUE** **\$19,993.08**

1st Installment	2nd Installment
\$9,996.54	\$9,996.54
Due 12/12/2022	Due 04/10/2023

Assessed Value

Description	Full Value
Land	\$949,051
Structure	\$632,698
Fixtures	
Personal Property	
Gross Taxable Value	\$1,581,749
Less HO Exemption	\$0
Less Other Exemption	\$0
Net Taxable Value	\$1,581,749
Tax Amount	\$18,660.46

Direct Charges and Special Assessments

Type	Telephone	Amount Due
46 - San Francisco Bay Restoration Authority	(888) 508-8157	\$12.00
62 - North of Market/Tenderloin CBD	(415) 292-4812	\$600.00
89 - SFUSD Facilities District	(415) 355-2203	\$40.52
91 - SFCCD Parcel Tax	(415) 487-2400	\$99.00
98 - SFUSD - Teacher Support	(415) 355-2203	\$283.86
101 - School Parcel Tax of 2020	(415) 355-2203	\$297.24

Total Direct Charges and Special Assessments

\$1,332.62

Keep this portion for your records. See back of bill for payment options and additional information.



City & County of San Francisco
Property Tax Bill (Secured)
For Fiscal Year July 1, 2022 through June 30, 2023

Pay online at www.sftreasurer.org

Vol	Block	Lot	Bill No	Property Location
03	0342	032	20220286917	982-998 MARKET ST

☐ Check if contribution to Arts Fund is enclosed.
For other donation opportunities go to www.Give2SF.org

Write your block and lot on your check.
2nd Installment cannot be accepted unless 1st is paid.

San Francisco Tax Collector
Secured Property Tax
P.O. Box 7426
San Francisco, CA 94120-7426

2nd Installment Due

Pay by	April 10, 2023	\$9,996.54
If paid after includes 10% penalty and applicable fees	April 10, 2023	\$11,041.19

0303420003200 20220286917 000000000 000000000 0000 2003



City & County of San Francisco
Property Tax Bill (Secured)
For Fiscal Year July 1, 2022 through June 30, 2023

Pay online at www.sftreasurer.org

Vol	Block	Lot	Bill No	Property Location
03	0342	032	20220286917	982-998 MARKET ST

☐ Check if contribution to Arts Fund is enclosed.
For other donation opportunities go to www.Give2SF.org

Write your block and lot on your check.
If property has been sold, please forward bill to new owner.

San Francisco Tax Collector
Secured Property Tax
P.O. Box 7426
San Francisco, CA 94120-7426

1st Installment Due

Pay by	December 12, 2022	\$9,996.54
If paid after includes 10% penalty	December 12, 2022	\$10,996.19

Paid 12/07/2022



City & County of San Francisco
José Cisneros, Treasurer
David Augustine, Tax Collector
Property Tax Bill (Secured)

1 Dr. Carlton B. Goodlett Place
City Hall, Room 140
San Francisco, CA 94102
www.sftreasurer.org

For Fiscal Year July 1, 2022 through June 30, 2023

Vol	Block	Lot	Bill No	Mail Date	Property Location
03	0342	033	20220286918	October 11, 2022	982-998 MARKET ST

Assessed on January 1, 2022 at 12:01am
To: NAME WITHHELD PER CA AB 2238

ADDRESS INFORMATION
NOT AVAILABLE ONLINE

Important Messages

TOTAL DUE		\$14,686.00
1st Installment	2nd Installment	
\$7,343.00	\$7,343.00	
Due 12/12/2022	Due 04/10/2023	

Assessed Value	
Description	Full Value
Land	\$679,138
Structure	\$452,759
Fixtures	
Personal Property	
Gross Taxable Value	\$1,131,897
Less HO Exemption	\$0
Less Other Exemption	\$0
Net Taxable Value	\$1,131,897
Tax Amount	\$13,353.38

Direct Charges and Special Assessments		
Type	Telephone	Amount Due
46 - San Francisco Bay Restoration Authority	(888) 508-8157	\$12.00
62 - North of Market/Tenderloin CBD	(415) 292-4812	\$600.00
89 - SFUSD Facilities District	(415) 355-2203	\$40.52
91 - SFCCD Parcel Tax	(415) 487-2400	\$99.00
98 - SFUSD - Teacher Support	(415) 355-2203	\$283.86
101 - School Parcel Tax of 2020	(415) 355-2203	\$297.24
Total Direct Charges and Special Assessments		\$1,332.62

Keep this portion for your records. See back of bill for payment options and additional information.



City & County of San Francisco
Property Tax Bill (Secured)
For Fiscal Year July 1, 2022 through June 30, 2023

Pay online at www.sftreasurer.org

Vol	Block	Lot	Bill No	Property Location
03	0342	033	20220286918	982-998 MARKET ST

☐ Check if contribution to Arts Fund is enclosed.
For other donation opportunities go to www.Give2SF.org

Write your block and lot on your check.
2nd Installment cannot be accepted unless 1st is paid.

San Francisco Tax Collector
Secured Property Tax
P.O. Box 7426
San Francisco, CA 94120-7426

2nd Installment Due		
Pay by	April 10, 2023	\$7,343.00
If paid after includes 10% penalty and applicable fees	April 10, 2023	\$8,122.30

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City & County of San Francisco
Property Tax Bill (Secured)
For Fiscal Year July 1, 2022 through June 30, 2023

Pay online at www.sftreasurer.org

Vol	Block	Lot	Bill No	Property Location
03	0342	033	20220286918	982-998 MARKET ST

☐ Check if contribution to Arts Fund is enclosed.
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If property has been sold, please forward bill to new owner.

San Francisco Tax Collector
Secured Property Tax
P.O. Box 7426
San Francisco, CA 94120-7426

1st Installment Due		
Pay by	December 12, 2022	\$7,343.00
If paid after includes 10% penalty	December 12, 2022	\$8,077.30
Paid 12/07/2022		



City & County of San Francisco
José Cisneros, Treasurer
David Augustine, Tax Collector
Property Tax Bill (Secured)

1 Dr. Carlton B. Goodlett Place
City Hall, Room 140
San Francisco, CA 94102
www.sftreasurer.org

For Fiscal Year July 1, 2022 through June 30, 2023

Vol	Block	Lot	Bill No	Mail Date	Property Location
03	0342	034	20220286919	October 11, 2022	982-998 MARKET ST

Assessed on January 1, 2022 at 12:01am
To: NAME WITHHELD PER CA AB 2238

ADDRESS INFORMATION
NOT AVAILABLE ONLINE

Important Messages

TOTAL DUE		\$20,004.18
1st Installment	2nd Installment	
\$10,002.09	\$10,002.09	
Due 12/12/2022	Due 04/10/2023	

Assessed Value	
Description	Full Value
Land	\$949,617
Structure	\$633,075
Fixtures	
Personal Property	
Gross Taxable Value	\$1,582,692
Less HO Exemption	\$0
Less Other Exemption	\$0
Net Taxable Value	\$1,582,692
Tax Amount	\$18,671.56

Direct Charges and Special Assessments		
Type	Telephone	Amount Due
46 - San Francisco Bay Restoration Authority	(888) 508-8157	\$12.00
62 - North of Market/Tenderloin CBD	(415) 292-4812	\$600.00
89 - SFUSD Facilities District	(415) 355-2203	\$40.52
91 - SFCCD Parcel Tax	(415) 487-2400	\$99.00
98 - SFUSD - Teacher Support	(415) 355-2203	\$283.86
101 - School Parcel Tax of 2020	(415) 355-2203	\$297.24
Total Direct Charges and Special Assessments		\$1,332.62

Keep this portion for your records. See back of bill for payment options and additional information.



City & County of San Francisco
Property Tax Bill (Secured)
For Fiscal Year July 1, 2022 through June 30, 2023

Pay online at www.sftreasurer.org

Vol	Block	Lot	Bill No	Property Location
03	0342	034	20220286919	982-998 MARKET ST

☐ Check if contribution to Arts Fund is enclosed.
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2nd Installment cannot be accepted unless 1st is paid.

San Francisco Tax Collector
Secured Property Tax
P.O. Box 7426
San Francisco, CA 94120-7426

2nd Installment Due		
Pay by	April 10, 2023	\$10,002.09
If paid after includes 10% penalty and applicable fees	April 10, 2023	\$11,047.29

0303420003400 20220286919 000000000 000000000 0000 2003



City & County of San Francisco
Property Tax Bill (Secured)
For Fiscal Year July 1, 2022 through June 30, 2023

Pay online at www.sftreasurer.org

Vol	Block	Lot	Bill No	Property Location
03	0342	034	20220286919	982-998 MARKET ST

☐ Check if contribution to Arts Fund is enclosed.
For other donation opportunities go to www.Give2SF.org

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If property has been sold, please forward bill to new owner.

San Francisco Tax Collector
Secured Property Tax
P.O. Box 7426
San Francisco, CA 94120-7426

1st Installment Due		
Pay by	December 12, 2022	\$10,002.09
If paid after includes 10% penalty	December 12, 2022	\$11,002.29
Paid 12/07/2022		



City & County of San Francisco
José Cisneros, Treasurer
David Augustine, Tax Collector
Property Tax Bill (Secured)

1 Dr. Carlton B. Goodlett Place
City Hall, Room 140
San Francisco, CA 94102
www.sftreasurer.org

For Fiscal Year July 1, 2022 through June 30, 2023

Vol	Block	Lot	Bill No	Mail Date	Property Location
03	0342	035	20220286920	October 11, 2022	982-998 MARKET ST

Assessed on January 1, 2022 at 12:01am
To: NAME WITHHELD PER CA AB 2238

ADDRESS INFORMATION
NOT AVAILABLE ONLINE

Important Messages

TOTAL DUE		\$15,368.34
1st Installment	2nd Installment	
\$7,684.17	\$7,684.17	
Due 12/12/2022	Due 04/10/2023	

Assessed Value	
Description	Full Value
Land	\$713,842
Structure	\$475,892
Fixtures	
Personal Property	
Gross Taxable Value	\$1,189,734
Less HO Exemption	\$0
Less Other Exemption	\$0
Net Taxable Value	\$1,189,734
Tax Amount	\$14,035.72

Direct Charges and Special Assessments		
Type	Telephone	Amount Due
46 - San Francisco Bay Restoration Authority	(888) 508-8157	\$12.00
62 - North of Market/Tenderloin CBD	(415) 292-4812	\$600.00
89 - SFUSD Facilities District	(415) 355-2203	\$40.52
91 - SFCCD Parcel Tax	(415) 487-2400	\$99.00
98 - SFUSD - Teacher Support	(415) 355-2203	\$283.86
101 - School Parcel Tax of 2020	(415) 355-2203	\$297.24
Total Direct Charges and Special Assessments		\$1,332.62

Keep this portion for your records. See back of bill for payment options and additional information.



City & County of San Francisco
Property Tax Bill (Secured)
For Fiscal Year July 1, 2022 through June 30, 2023

Pay online at www.sftreasurer.org

Vol	Block	Lot	Bill No	Property Location
03	0342	035	20220286920	982-998 MARKET ST

☐ Check if contribution to Arts Fund is enclosed.
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2nd Installment cannot be accepted unless 1st is paid.

San Francisco Tax Collector
Secured Property Tax
P.O. Box 7426
San Francisco, CA 94120-7426

2nd Installment Due		
Pay by	April 10, 2023	\$7,684.17
If paid after includes 10% penalty and applicable fees	April 10, 2023	\$8,497.58

0303420003500 20220286920 000000000 000000000 0000 2003



City & County of San Francisco
Property Tax Bill (Secured)
For Fiscal Year July 1, 2022 through June 30, 2023

Pay online at www.sftreasurer.org

Vol	Block	Lot	Bill No	Property Location
03	0342	035	20220286920	982-998 MARKET ST

☐ Check if contribution to Arts Fund is enclosed.
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If property has been sold, please forward bill to new owner.

San Francisco Tax Collector
Secured Property Tax
P.O. Box 7426
San Francisco, CA 94120-7426

1st Installment Due		
Pay by	December 12, 2022	\$7,684.17
If paid after includes 10% penalty	December 12, 2022	\$8,452.58
Paid 12/07/2022		



City & County of San Francisco
José Cisneros, Treasurer
David Augustine, Tax Collector
Property Tax Bill (Secured)

1 Dr. Carlton B. Goodlett Place
City Hall, Room 140
San Francisco, CA 94102
www.sftreasurer.org

For Fiscal Year July 1, 2022 through June 30, 2023

Vol	Block	Lot	Bill No	Mail Date	Property Location
03	0342	036	20220286921	October 11, 2022	982-998 MARKET ST

Assessed on January 1, 2022 at 12:01am
To: NAME WITHHELD PER CA AB 2238

ADDRESS INFORMATION
NOT AVAILABLE ONLINE

Important Messages

TOTAL DUE		\$21,467.54
1st Installment	2nd Installment	
\$10,733.77	\$10,733.77	
Due 12/12/2022	Due 04/10/2023	

Assessed Value	
Description	Full Value
Land	\$1,024,040
Structure	\$682,691
Fixtures	
Personal Property	
Gross Taxable Value	\$1,706,731
Less HO Exemption	\$0
Less Other Exemption	\$0
Net Taxable Value	\$1,706,731
Tax Amount	\$20,134.92

Direct Charges and Special Assessments		
Type	Telephone	Amount Due
46 - San Francisco Bay Restoration Authority	(888) 508-8157	\$12.00
62 - North of Market/Tenderloin CBD	(415) 292-4812	\$600.00
89 - SFUSD Facilities District	(415) 355-2203	\$40.52
91 - SFCCD Parcel Tax	(415) 487-2400	\$99.00
98 - SFUSD - Teacher Support	(415) 355-2203	\$283.86
101 - School Parcel Tax of 2020	(415) 355-2203	\$297.24
Total Direct Charges and Special Assessments		\$1,332.62

Keep this portion for your records. See back of bill for payment options and additional information.



City & County of San Francisco
Property Tax Bill (Secured)
For Fiscal Year July 1, 2022 through June 30, 2023

Pay online at www.sftreasurer.org

Vol	Block	Lot	Bill No	Property Location
03	0342	036	20220286921	982-998 MARKET ST

- ☐ Check if contribution to Arts Fund is enclosed.
For other donation opportunities go to www.Give2SF.org
- Write your block and lot on your check.
2nd Installment cannot be accepted unless 1st is paid.

San Francisco Tax Collector
Secured Property Tax
P.O. Box 7426
San Francisco, CA 94120-7426

2nd Installment Due		
Pay by	April 10, 2023	\$10,733.77
If paid after includes 10% penalty and applicable fees	April 10, 2023	\$11,852.14

0303420003600 20220286921 0000000000 0000000000 0000 2003



City & County of San Francisco
Property Tax Bill (Secured)
For Fiscal Year July 1, 2022 through June 30, 2023

Pay online at www.sftreasurer.org

Vol	Block	Lot	Bill No	Property Location
03	0342	036	20220286921	982-998 MARKET ST

- ☐ Check if contribution to Arts Fund is enclosed.
For other donation opportunities go to www.Give2SF.org
- Write your block and lot on your check.
If property has been sold, please forward bill to new owner.

San Francisco Tax Collector
Secured Property Tax
P.O. Box 7426
San Francisco, CA 94120-7426

1st Installment Due		
Pay by	December 12, 2022	\$10,733.77
If paid after December 12, 2022 includes 10% penalty		\$11,807.14
Paid 12/07/2022		



City & County of San Francisco
José Cisneros, Treasurer
David Augustine, Tax Collector
Property Tax Bill (Secured)

1 Dr. Carlton B. Goodlett Place
City Hall, Room 140
San Francisco, CA 94102
www.sftreasurer.org

For Fiscal Year July 1, 2022 through June 30, 2023

Vol	Block	Lot	Bill No	Mail Date	Property Location
03	0342	037	20220286922	October 11, 2022	982-998 MARKET ST

Assessed on January 1, 2022 at 12:01am

To: NAME WITHHELD PER CA AB 2238

ADDRESS INFORMATION
NOT AVAILABLE ONLINE

Important Messages

TOTAL DUE		\$15,368.34
1st Installment	2nd Installment	
\$7,684.17	\$7,684.17	
Due 12/12/2022	Due 04/10/2023	

Assessed Value	
Description	Full Value
Land	\$713,842
Structure	\$475,892
Fixtures	
Personal Property	
Gross Taxable Value	\$1,189,734
Less HO Exemption	\$0
Less Other Exemption	\$0
Net Taxable Value	\$1,189,734
Tax Amount	\$14,035.72

Direct Charges and Special Assessments		
Type	Telephone	Amount Due
46 - San Francisco Bay Restoration Authority	(888) 508-8157	\$12.00
62 - North of Market/Tenderloin CBD	(415) 292-4812	\$600.00
89 - SFUSD Facilities District	(415) 355-2203	\$40.52
91 - SFCCD Parcel Tax	(415) 487-2400	\$99.00
98 - SFUSD - Teacher Support	(415) 355-2203	\$283.86
101 - School Parcel Tax of 2020	(415) 355-2203	\$297.24
Total Direct Charges and Special Assessments		\$1,332.62

Keep this portion for your records. See back of bill for payment options and additional information.



City & County of San Francisco
Property Tax Bill (Secured)
For Fiscal Year July 1, 2022 through June 30, 2023

Pay online at www.sftreasurer.org

Vol	Block	Lot	Bill No	Property Location
03	0342	037	20220286922	982-998 MARKET ST

☐ Check if contribution to Arts Fund is enclosed.
For other donation opportunities go to www.Give2SF.org

Write your block and lot on your check.
2nd Installment cannot be accepted unless 1st is paid.

San Francisco Tax Collector
Secured Property Tax
P.O. Box 7426
San Francisco, CA 94120-7426

2nd Installment Due		
Pay by	April 10, 2023	\$7,684.17
If paid after includes 10% penalty and applicable fees	April 10, 2023	\$8,497.58

0303420003700 20220286922 0000000000 0000000000 0000 2003



City & County of San Francisco
Property Tax Bill (Secured)
For Fiscal Year July 1, 2022 through June 30, 2023

Pay online at www.sftreasurer.org

Vol	Block	Lot	Bill No	Property Location
03	0342	037	20220286922	982-998 MARKET ST

☐ Check if contribution to Arts Fund is enclosed.
For other donation opportunities go to www.Give2SF.org

Write your block and lot on your check.
If property has been sold, please forward bill to new owner.

San Francisco Tax Collector
Secured Property Tax
P.O. Box 7426
San Francisco, CA 94120-7426

1st Installment Due		
Pay by	December 12, 2022	\$7,684.17
If paid after includes 10% penalty	December 12, 2022	\$8,452.58
Paid 12/07/2022		



City & County of San Francisco
José Cisneros, Treasurer
David Augustine, Tax Collector
Property Tax Bill (Secured)

1 Dr. Carlton B. Goodlett Place
City Hall, Room 140
San Francisco, CA 94102
www.sftreasurer.org

For Fiscal Year July 1, 2022 through June 30, 2023

Vol	Block	Lot	Bill No	Mail Date	Property Location
03	0342	038	20220286923	October 11, 2022	982-998 MARKET ST

Assessed on January 1, 2022 at 12:01am
To: NAME WITHHELD PER CA AB 2238

ADDRESS INFORMATION
NOT AVAILABLE ONLINE

Important Messages

TOTAL DUE		\$21,445.16
1st Installment	2nd Installment	
\$10,722.58	\$10,722.58	
Due 12/12/2022	Due 04/10/2023	

Assessed Value	
Description	Full Value
Land	\$1,022,903
Structure	\$681,932
Fixtures	
Personal Property	
Gross Taxable Value	\$1,704,835
Less HO Exemption	\$0
Less Other Exemption	\$0
Net Taxable Value	\$1,704,835
Tax Amount	\$20,112.54

Direct Charges and Special Assessments		
Type	Telephone	Amount Due
46 - San Francisco Bay Restoration Authority	(888) 508-8157	\$12.00
62 - North of Market/Tenderloin CBD	(415) 292-4812	\$600.00
89 - SFUSD Facilities District	(415) 355-2203	\$40.52
91 - SFCCD Parcel Tax	(415) 487-2400	\$99.00
98 - SFUSD - Teacher Support	(415) 355-2203	\$283.86
101 - School Parcel Tax of 2020	(415) 355-2203	\$297.24
Total Direct Charges and Special Assessments		\$1,332.62

Keep this portion for your records. See back of bill for payment options and additional information.



City & County of San Francisco
Property Tax Bill (Secured)
For Fiscal Year July 1, 2022 through June 30, 2023

Pay online at www.sftreasurer.org

Vol	Block	Lot	Bill No	Property Location
03	0342	038	20220286923	982-998 MARKET ST

☐ Check if contribution to Arts Fund is enclosed.
For other donation opportunities go to www.Give2SF.org

Write your block and lot on your check.
2nd Installment cannot be accepted unless 1st is paid.

San Francisco Tax Collector
Secured Property Tax
P.O. Box 7426
San Francisco, CA 94120-7426

2nd Installment Due		
Pay by	April 10, 2023	\$10,722.58
If paid after includes 10% applicable fees	April 10, 2023 penalty and	\$11,839.83

0303420003800 20220286923 0000000000 0000000000 0000 2003



City & County of San Francisco
Property Tax Bill (Secured)
For Fiscal Year July 1, 2022 through June 30, 2023

Pay online at www.sftreasurer.org

Vol	Block	Lot	Bill No	Property Location
03	0342	038	20220286923	982-998 MARKET ST

☐ Check if contribution to Arts Fund is enclosed.
For other donation opportunities go to www.Give2SF.org

Write your block and lot on your check.
If property has been sold, please forward bill to new owner.

San Francisco Tax Collector
Secured Property Tax
P.O. Box 7426
San Francisco, CA 94120-7426

1st Installment Due		
Pay by	December 12, 2022	\$10,722.58
If paid after December 12, 2022 includes 10% penalty		\$11,794.83
Paid 12/07/2022		



City & County of San Francisco
José Cisneros, Treasurer
David Augustine, Tax Collector
Property Tax Bill (Secured)

1 Dr. Carlton B. Goodlett Place
City Hall, Room 140
San Francisco, CA 94102
www.sftreasurer.org

For Fiscal Year July 1, 2022 through June 30, 2023

Vol	Block	Lot	Bill No	Mail Date	Property Location
03	0342	039	20220286924	October 11, 2022	982-998 MARKET ST

Assessed on January 1, 2022 at 12:01am
To: NAME WITHHELD PER CA AB 2238

ADDRESS INFORMATION
NOT AVAILABLE ONLINE

Important Messages

TOTAL DUE		\$15,076.46
1st Installment	2nd Installment	
\$7,538.23	\$7,538.23	
Due 12/12/2022	Due 04/10/2023	

Assessed Value	
Description	Full Value
Land	\$698,997
Structure	\$465,998
Fixtures	
Personal Property	
Gross Taxable Value	\$1,164,995
Less HO Exemption	\$0
Less Other Exemption	\$0
Net Taxable Value	\$1,164,995
Tax Amount	\$13,743.84

Direct Charges and Special Assessments

Type	Telephone	Amount Due
46 - San Francisco Bay Restoration Authority	(888) 508-8157	\$12.00
62 - North of Market/Tenderloin CBD	(415) 292-4812	\$600.00
89 - SFUSD Facilities District	(415) 355-2203	\$40.52
91 - SFCCD Parcel Tax	(415) 487-2400	\$99.00
98 - SFUSD - Teacher Support	(415) 355-2203	\$283.86
101 - School Parcel Tax of 2020	(415) 355-2203	\$297.24

Total Direct Charges and Special Assessments

\$1,332.62

Keep this portion for your records. See back of bill for payment options and additional information.



City & County of San Francisco
Property Tax Bill (Secured)
For Fiscal Year July 1, 2022 through June 30, 2023

Pay online at www.sftreasurer.org

Vol	Block	Lot	Bill No	Property Location
03	0342	039	20220286924	982-998 MARKET ST

☐ Check if contribution to Arts Fund is enclosed.
For other donation opportunities go to www.Give2SF.org

Write your block and lot on your check.
2nd Installment cannot be accepted unless 1st is paid.

San Francisco Tax Collector
Secured Property Tax
P.O. Box 7426
San Francisco, CA 94120-7426

2nd Installment Due		
Pay by	April 10, 2023	\$7,538.23
If paid after	April 10, 2023	\$8,337.05
includes 10% penalty and		
applicable fees		

0303420003900 20220286924 0000000000 0000000000 0000 2003



City & County of San Francisco
Property Tax Bill (Secured)
For Fiscal Year July 1, 2022 through June 30, 2023

Pay online at www.sftreasurer.org

Vol	Block	Lot	Bill No	Property Location
03	0342	039	20220286924	982-998 MARKET ST

☐ Check if contribution to Arts Fund is enclosed.
For other donation opportunities go to www.Give2SF.org

Write your block and lot on your check.
If property has been sold, please forward bill to new owner.

San Francisco Tax Collector
Secured Property Tax
P.O. Box 7426
San Francisco, CA 94120-7426

1st Installment Due		
Pay by	December 12, 2022	\$7,538.23
If paid after December 12, 2022		\$8,292.05
includes 10% penalty		
Paid 12/07/2022		



City & County of San Francisco
José Cisneros, Treasurer
David Augustine, Tax Collector
Property Tax Bill (Secured)

1 Dr. Carlton B. Goodlett Place
City Hall, Room 140
San Francisco, CA 94102
www.sftreasurer.org

For Fiscal Year July 1, 2022 through June 30, 2023

Vol	Block	Lot	Bill No	Mail Date	Property Location
03	0342	040	20220286925	October 11, 2022	982-998 MARKET ST

Assessed on January 1, 2022 at 12:01am
To: NAME WITHHELD PER CA AB 2238

ADDRESS INFORMATION
NOT AVAILABLE ONLINE

Important Messages

TOTAL DUE	
1st Installment	2nd Installment
\$10,588.32	\$10,588.32
Due 12/12/2022	Due 04/10/2023

Assessed Value	
Description	Full Value
Land	\$1,009,245
Structure	\$672,829
Fixtures	
Personal Property	
Gross Taxable Value	\$1,682,074
Less HO Exemption	\$0
Less Other Exemption	\$0
Net Taxable Value	\$1,682,074
Tax Amount	\$19,844.02

Direct Charges and Special Assessments

Type	Telephone	Amount Due
46 - San Francisco Bay Restoration Authority	(888) 508-8157	\$12.00
62 - North of Market/Tenderloin CBD	(415) 292-4812	\$600.00
89 - SFUSD Facilities District	(415) 355-2203	\$40.52
91 - SFCCD Parcel Tax	(415) 487-2400	\$99.00
98 - SFUSD - Teacher Support	(415) 355-2203	\$283.86
101 - School Parcel Tax of 2020	(415) 355-2203	\$297.24

Total Direct Charges and Special Assessments

\$1,332.62

Keep this portion for your records. See back of bill for payment options and additional information.



City & County of San Francisco
Property Tax Bill (Secured)
For Fiscal Year July 1, 2022 through June 30, 2023

Pay online at www.sftreasurer.org

Vol	Block	Lot	Bill No	Property Location
03	0342	040	20220286925	982-998 MARKET ST

☐ Check if contribution to Arts Fund is enclosed.
For other donation opportunities go to www.Give2SF.org

Write your block and lot on your check.
2nd Installment cannot be accepted unless 1st is paid.

San Francisco Tax Collector
Secured Property Tax
P.O. Box 7426
San Francisco, CA 94120-7426

2nd Installment Due		
Pay by	April 10, 2023	\$10,588.32
If paid after includes 10% penalty and applicable fees	April 10, 2023	\$11,692.15

0303420004000 20220286925 000000000 000000000 0000 2003



City & County of San Francisco
Property Tax Bill (Secured)
For Fiscal Year July 1, 2022 through June 30, 2023

Pay online at www.sftreasurer.org

Vol	Block	Lot	Bill No	Property Location
03	0342	040	20220286925	982-998 MARKET ST

☐ Check if contribution to Arts Fund is enclosed.
For other donation opportunities go to www.Give2SF.org

Write your block and lot on your check.
If property has been sold, please forward bill to new owner.

San Francisco Tax Collector
Secured Property Tax
P.O. Box 7426
San Francisco, CA 94120-7426

1st Installment Due		
Pay by	December 12, 2022	\$10,588.32
If paid after includes 10% penalty	December 12, 2022	\$11,647.15
Paid 12/07/2022		

THE WARFIELD
988 MARKET STREET
FOCUSED HISTORIC STRUCTURE REPORT

SAN FRANCISCO, CALIFORNIA
[23077]

PREPARED FOR
Group i

April 28, 2023

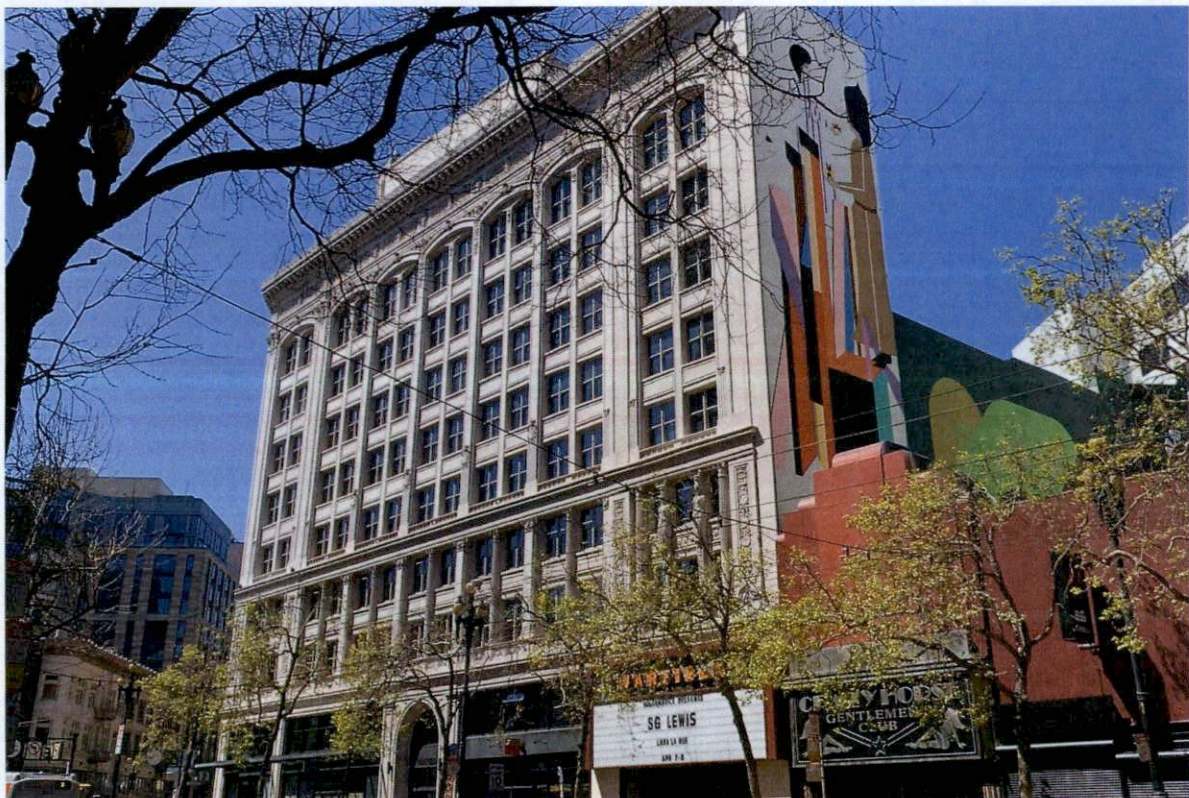


TABLE OF CONTENTS

EXEMPTION STATEMENT & SIGNIFICANCE EVALUATION.....	2
INTRODUCTION	3
HISTORY OF 988 MARKET STREET – THE WARFIELD	3
Brief History of 988 Market Street.....	3
Brief Biography of G. Albert Lansburgh, Master Architect (1876-1969).....	7
Construction Chronology.....	11
HISTORIC SIGNIFICANCE.....	15
Market Street Theatre & Loft Historic District	15
The Warfield	17
CHARACTER DEFINING FEATURES.....	18
ARCHITECTURAL DESCRIPTION	21
EXISTING CONDITIONS ASSESSMENT.....	33
TREATMENT RECOMMENDATIONS.....	58
SUPPLEMENTAL PHOTOGRAPHY	61
SITE PLAN	81
BIBLIOGRAPHY.....	82

EXEMPTION STATEMENT & SIGNIFICANCE EVALUATION

The Mills Act Historical Property Contract requires all commercial properties that are assessed at a value of more than \$5M to include a Historic Structure Report (HSR) as part of the application. Representatives of the San Francisco Planning Department have indicated that the HSR may be limited in scope and should include, at a minimum, a brief history of the building, a description of the building's historic condition, a summary of its existing condition, and an outline of short-term and long-term recommendations for rehabilitation. This limited Historic Structure Report, together with the Rehabilitation/Restoration & Maintenance Plan, serves to fulfill this requirement of the Mills Act and primarily focuses on conditions and treatment recommendations for the exterior of the building.

The Mills Act Historical Property Contract also requires that all commercial properties that are assessed at a value of more than \$5M include justification for how the property meets the following criteria:

1. The qualified historic property is an exceptional example of architectural style or represents a work of a master architect or is associated with the lives of persons important to local or national history; OR
2. Granting the exemption will assist in the preservation and rehabilitation of a historic structure (including unusual and/or excessive maintenance requirements) that would otherwise be in danger of demolition, deterioration, or abandonment.

The following addresses how the property meets both criteria:

Constructed in 1921-22, the Warfield at 988 Market Street, has served continuously as an office tower and theater since completion. It is a fine example of Renaissance Revival architecture and is also the work of a local renowned architect, G. Albert Lansburgh. The building appears to have undergone repairs and minor alterations however it remains an important contributor architecturally to the nationally registered *Market Street Theatre & Loft District*. The building also contributes to the narrative of the historic district which represents San Francisco's early twentieth-century commercial and entertainment heritage.

Granting the exemption will aid in financing repairs, rehabilitation/restoration, and maintenance of the building including, for example: the historic terra cotta facades, the wood framed windows, as well as the roofing and parapet walls. The enclosed rehabilitation/restoration and maintenance plan further elaborates on proposed work intended to preserve the building.

The Warfield is situated in proximity to several other theaters and sits directly across Taylor Street from the Golden Gate Theater, which was also designed by Lansburgh in 1921-1922. Designed and constructed almost simultaneously, there was a virtual race toward completion and opening night. The Warfield opened on May 13, 1922, seven weeks after the Golden Gate Theater.

Plans for the Warfield were first proposed in 1919, by Irving Ackerman and Herbert Harris, movie exhibitors and western representatives and managers of Loews Incorporated; they announced in the *San Francisco Examiner* that a one-million-dollar theater was planned that would feature a roof garden, seating for 3,000, a stage of "exceptional" size, and room for a 100-piece orchestra. The theater was to be constructed in partnership with Loew's Incorporated and would be located at the corner of Market and Taylor streets. The newspaper article included an illustration of a domed Beaux-Arts style building suggestive of Lansburgh's work, although no architect was named specifically.³

By the time of its actual construction in 1921-1922, plans for the 988 Market Street building had changed, with the building's theater function physically overshadowed by the large office tower located at the front of the lot (**Figure 2.**). However, a high degree of architectural style was retained in the building's Renaissance Revival styling and the theater and office tower were cleverly incorporated for the most efficient use of space on the irregular corner lot (**Figure 3.**). The original design of the building included six retail stores, 7,500 square feet of office space, a 2,657-seat theater with 20 dressing rooms backstage, and a basement cafeteria (**Figure 4.**). The theater space was elaborately decorated and featured a proscenium mural by Albert Herter.

As the 300th theater in the Loews Theaters chain, the Warfield Theater was initially known as Loew's State Theater. Loews Theaters was founded in 1904 by Marcus Loew and was the oldest operating theater chain in North America until succumbing to a merger in 2006. It was also the parent company of the Metro-Goldwyn-Mayer (MGM) studio.⁴ Even before construction was completed, however, Loew's State Theater had been renamed in honor of David Warfield, a San Francisco-born actor, who was also a good friend of Marcus Loew and an early investor in the Loews Theaters.⁵

³ Levin, Steve, "Lowe's Warfield," *Marquee: The Journal of the Theater Historical Society of America*, vol. 36, no. 3, third quarter 2004.

⁴ "Loews Cineplex Entertainment," Electronic resource available at: http://en.wikipedia.org/wiki/Loews_Cineplex_Entertainment, accessed: April 19, 2023.

⁵ David Warfield was raised in the South of Market neighborhood and in 1888, his acting talents were discovered by playwright, director, and producer David Belasco. By 1901, Warfield's career had taken him to New York, where he performed until his retirement in 1924; however, he was obviously well remembered in San Francisco and the Warfield Theater has retained the name throughout its history.

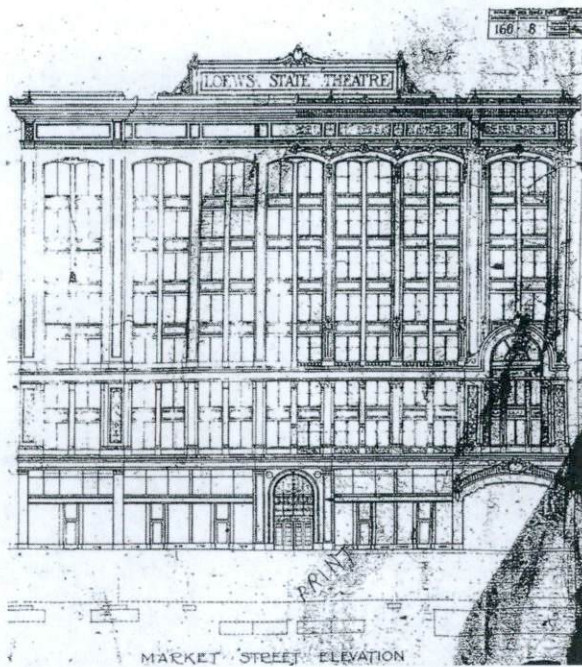


Figure 2. The Warfield. Market Street elevation
(1 September 1920).

Source: Building Permit Application #094075, plans:
roll #8653, frame #353-9.

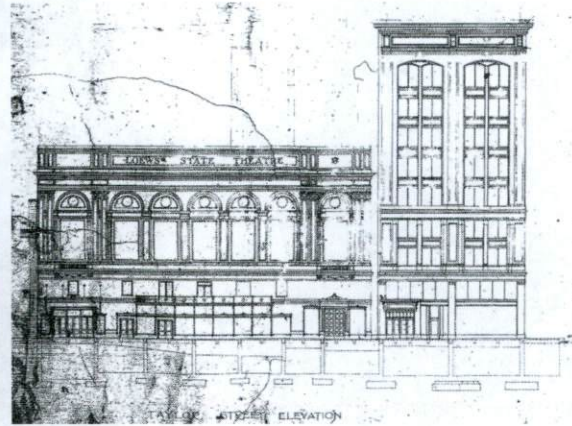


Figure 3. Warfield Theater Building. Original Taylor
Street elevation (1 September 1920).

Source: Building Permit Application #094075, plans:
roll #8653, frame #353-9.



Figure 4. The Warfield in 1922. Source: San Francisco Public Library

When the Warfield first opened it presented a varied program of live Vaudeville acts by the likes of Al Jolson, and "photoplays." Throughout a week the theater might feature performances by the house's live orchestra, news reels, live comedies, featured musicians, a program called "Loew's Warfield's Pointed Paragraphs from the Press", and MGM moving pictures.⁶ In 1924, Fox West Coast Theaters signed a twenty-five-year lease on the Warfield Theater building. At that time, the original Moller organ was replaced with a Wurlitzer, but little else about the theater changed including the name and its status as the MGM showplace on Market Street. The only major alterations to occur during Fox West Coast's occupancy was the enclosure of the rear of the theater's main floor in the late 1920s – a change related to the advent of sound in motion pictures. Around this time, the basement cafeteria was known to have functioned as a nightclub, featuring an Art Deco style interior and a dance floor. Rumors suggest that the cafeteria/nightclub served as a speakeasy during the years of Prohibition. Though it had billed photoplays since its opening, the Warfield began to feature films more prominently in the 1930s (**Figure 5.**), including MGM's adaptation of the Eugene O'Neill play *Anna Christie*, featuring Greta Garbo in her first "talkie", and continuing with major first-run films like *Gone with the Wind*. It became a tradition for Warfield staff to dress in costume according to the currently billed film; a practice that was phased out in the 1970s. The Warfield, like many other major theaters, promoted its shows with eye catching signage that was crafted on site in the theater's basement sign shop. Large production images were provided by movie distributors but were crafted into unique displays by theater staff.⁷



Figure 5. The Warfield from Market Street, in the 1930s.

Source: San Francisco Public Library



Figure 6. The Warfield, theater marquee detail indicating 'Fox Warfield', ca. 1960s.

Source: San Francisco Public Library

⁶ Bloomfield, Anne, National Register of Historic Places Nomination Form: Market Street Theatre and Loft District, San Francisco, 19 Nov. 1985.

⁷ Jack Tillmany, *Images of America: Theaters of San Francisco* (Charleston: Arcadia Publishing, 2005).

After Fox West Coast's lease ran out, Loews Theaters reclaimed the building in 1949. At this time, the lobby was faced in red marble, new lobby furniture was installed, and the balcony boxes were removed from the auditorium. The theater was then sold to the National General Theaters chain in 1964 and became known as the Fox-Warfield Theater (**Figure 6.**).

In 1972, the theater's original marquee and blade signs were removed due to new restrictions on projecting signage that were instituted after the construction of the BART subway under Market Street. The subway tunnel also reduced the size of the building's basement. The theater then entered a period of decline, tending to show second-run movies on a long-term basis, rather than blockbusters as it had in the past. In the late 1970s, the Warfield reverted to its roots as a live performance venue. Beginning with two weeks of shows by Bob Dylan in 1979, the Warfield developed a reputation as a premier rock n' roll hall. Since that time, the theater has hosted concerts by innumerable music groups of various genres, while also showing theatrical productions from time to time. In fact, the theater served as the home performance venue for the San Francisco-based Grateful Dead for many years. National General Theaters sold the building in the early 1980s and it was subsequently owned by a series of independent organizations. In 1988, the main floor seating was removed to create dance space and other cosmetic restoration projects were undertaken within the theater space to serve the Downtown discothèque, which operated at the Warfield for a short time. The building was then acquired by Bill Graham and its reputation as a venue for live rock concerts, conducted under the "Bill Graham Presents" program, continued. Today, the theater continues to serve as a live music venue operated by Goldenvoice productions. Under separate ownership from the theater, the office tower component of the building has also continued its retail storefront and office uses; interior configurations and finishes associated with retail and office spaces have been updated over time with changes in tenancy.

Brief Biography of G. Albert Lansburgh, Master Architect (1876-1969)

The Warfield was designed by local master architect, Gustave Albert Lansburgh, renowned for his theater designs. Lansburgh was born on January 7, 1876 in Panama, the eldest son of Polish-born Simon Lazarus Lansburgh and his Jamaican-born wife, Rebecca. Albert's father, one of the most prominent ship chandlers on the Pacific Coast, died in 1879, and Albert's mother moved the family to San Francisco. The Lansburgh brothers were orphaned in 1888 and were placed under the guardianship of Rabbi Jacob Voorsanger of Temple Emanu-El. In 1894, Lansburgh graduated from Boys High School and enrolled at the University of California, Berkeley. While attending Berkeley between 1894 and 1896, Lansburgh worked as a draftsman for Bernard Maybeck during his vacations, and later spent a year working for architect Julius E. Krafft. Maybeck encouraged Lansburgh to attend the prestigious École des Beaux-Arts in Paris. In 1901, Lansburgh passed the École's entrance exams and was able to enroll due to the sponsorship of Moses A. Gunst, a San

Francisco cigar manufacturer and philanthropist.⁸

Lansburgh enrolled in the atelier of Jean Louis Pascal and worked with Pascal on the Bibliothèque Nationale. After five years of study, Lansburgh earned his diploma in March 1906 and was awarded a Medaille Salon by the Société des Artistes Français in July 1906 for a set of drawings for a new Temple Emanu-El at the corner of Sutter Street and Van Ness Avenue. San Francisco's Temple Emanu-El had been largely destroyed in the April 18, 1906 earthquake. The replacement Temple Emanu-El was not built, however, as the Trustees recognized that the location was becoming too commercial. In the mid-1920's, both Lansburgh and Maybeck were retained as consultants for the Temple's present structure on Arguello at Lake, however, that building was designed by Sylvain Schnaitteracher and Bakewell & Brown.

Lansburgh returned from Paris to the Bay Area in May 1906, one month after the earthquake, and teamed up with Bernard Julius Joseph (1875-1971) who had also worked as a draftsman for Julius Krafft. Lansburgh and Joseph worked together as partners for two years before Lansburgh opened his own office. During that time, they designed many Downtown commercial buildings, becoming prominent players in the reconstruction of San Francisco. Their projects included the Gunst Building on the southwest corner of Powell and Geary streets on Union Square, the remodel of the burned-out Emporium on Market Street, and a new Orpheum Theater on the south side of O'Farrell Street between Stockton and Powell streets (demolished in 1938).⁹ Even after the partnership dissolved, Lansburgh and Joseph continued to collaborate on several major projects.

Lansburgh is remembered primarily as a theater and auditorium architect, designing over fifty such structures nationwide. He enjoyed the patronage of Morris Meyerfield, Jr., President of the Orpheum Theater and Realty Company. Lansburgh's younger brother Simon, an attorney, became in-house counsel of the company, succeeding Meyerfield as President in 1920. Lansburgh was to design several theaters for the Orpheum Circuit in San Francisco, Los Angeles, New Orleans, St. Louis, Kansas City, and Salt Lake City. Lansburgh consulted with local architects on theaters in Los Angeles, including the Shrine Auditorium, site of the Academy Awards, and the historic Wiltern Theater on Wilshire Boulevard.¹⁰ In San Francisco, two of Lansburgh's finest surviving theaters are the Warfield on Market Street at Taylor Street and the Golden Gate Theater across Taylor Street on the corner of Golden Gate Avenue. In 1931, Lansburgh and Arthur Brown, Jr. designed both the War Memorial

⁸ Norton B. Stern and William D. Kramer, "G. Albert Lansburgh: San Francisco's Jewish Architect from Panama," *Western States Jewish Historical Quarterly*, April-May 1981.

⁹ Biography, G. Albert Lansburgh Collection, 1891-1939. *Online Archive of California*. Electronic Resource at: <http://content.cdlib.org/view?docId=tf3n39n6xr&chunk.id=bioghist-1.8.4>, accessed April 20, 2023.

¹⁰ "Movie Theaters Designed by G. Albert Lansburgh," Electronic Resource at <http://cinematreasures.org/architects/68>, accessed April 20, 2023.

Opera House and the War Memorial Veterans Building on Van Ness Avenue, with Lansburgh focusing on the interiors. The pinnacle of Lansburgh's theater design was the Beck Theater, a Byzantine-style theater he designed for Vaudeville producer Martin Beck on W. 45th Street and 8th Avenue in New York, which opened in 1924. The monumental theater had room for huge sets and hundreds of actors and reflected Beck's ambitions to stage large musicals.

In addition to theaters, Lansburgh did projects for Jewish organizations. These include the Jewish Concordia Club on Van Ness Avenue (1914), the B'nai B'rith Grand Lodge, the Temple Sinai in Oakland (1914), and a second unexecuted design for Temple Emanu-El. As mentioned previously, Lansburgh acted as consulting architect with Sylvain Schnaittacher and Bakewell & Brown on the present Temple Emanu-El (1926).¹¹ He also designed a few residential projects in San Francisco, including his own Mediterranean Revival style house at 3052 Pacific Avenue (1924) and an exemplary Beaux-Arts style house at 2201 Broadway (1914).

At the height of his career, Lansburgh ran offices out of San Francisco, New York, and Los Angeles. When World War II started, Lansburgh closed his New York and Los Angeles offices and contributed to the war effort by designing seaplanes and destroyer tenders, until health problems hastened his semi-retirement.¹ Lansburgh was a member of the Argonaut and Concordia Clubs, the San Francisco Chapter of the American Institute of Architects, the Beaux Arts Society, and the Diplome Society of Beaux Arts Architects. Lansburgh, a master of acoustics, was hailed for his "originality and versatility of style" and "careful eye for economy of space, material and construction."¹² He died in San Mateo in April 1969 at the age of 93.¹³

Brief History of Market Street Theatre & Loft District

During the period of post-1906 Earthquake and Fire redevelopment, Market Street between Fifth and Ninth streets developed as San Francisco's theater district and was host to a series of live performance theaters and motion picture houses, which sprang up along the wide boulevard. Market Street was a natural location for theaters because it was the city's primary transportation corridor, allowing people from all areas of the city to easily access it, and its wide sidewalks could accommodate the large crowds at show times.¹⁴ As the motion picture industry grew nationwide in the 1920s and 1930s, the Market Street Theatre district continued to flourish, and many of the

¹¹ Biography, G. Albert Lansburgh Collection.

¹² Biography, G. Albert Lansburgh Collection

¹³ Biography, G. Albert Lansburgh Collection

¹⁴ San Francisco Redevelopment Agency, "Mid-Market Redevelopment Plan" EIR #2002.0805E (18 September 2003); Bloomfield.

theaters initially constructed as vaudeville venues were converted to show motion pictures. Through the end of World War II, all first-run Hollywood movies opened on Market Street.¹⁵

This strip of Market Street was dubbed the Great White Way, adopting the moniker originally given to New York's Broadway, due to the numerous brightly lit marquees. Market Street's first movie palace opened in 1917, and at its peak, a six-block stretch housed twenty venues (including the monumental 4,650 seat Fox theater) with 25,000 seats, a quarter of all of those in San Francisco. All major theater chains of the time, Columbia/Universal, MGM, Paramount, RKO, 20th Century Fox, and United Artists, maintained noteworthy Market Street houses for first runs. 1922 was a particularly important year, as two great theaters opened on Market Street -- the Golden Gate and the Warfield. They featured both motion pictures and live entertainment, including vaudeville, famous actors, big bands, and popular musicians of the time. The opening of the Fox Theater, the largest west of the Mississippi River, on June 28, 1929, was the highpoint of Market Street's movie palace era.

By 1930, the production, distribution and exhibition of most motion pictures had been consolidated into the hands of eight studios, and the Depression further impacted the movie industry. Construction of new theaters slowed. From 1930 to 1932 the number of movie theaters in operation nationwide decreased from 22,000 to 14,000 and attendance declined from 90 million people per week to 60 million. San Francisco experienced similar reductions. The Market Street entertainment district was particularly hard hit by declining attendance. Just one theater opened in the district after World War II, the 280-seat Pix.

¹⁵ Jack Tillmany, *Images of America: Theaters of San Francisco* (Charleston: Arcadia Publishing, 2005).

Construction Chronology

For the purposes of this Focused Historic Structure Report, the property's construction chronology is excerpted below. The following provides a summarized timeline of substantive construction activity at 988 Market Street, based on building permit applications on file with the San Francisco Department of Building Inspection and available online through the San Francisco Property Information Map. Only permits with statuses as "complete" have been included.

Date Filed	Permit #	Owner	Architect/Builder	Scope of Alterations
1 September 1920	#094075	Loew's Theaters	G. Albert Lansburgh (Architect) / MacDonald & Kahn (Builder)	Original construction of theater building and 8-story office tower.
24 March 1922	#0105795	Loew's Theaters		Construction of the marquee.
4 April 1923	#0115502	Loew's Theaters		Replacement of storefront at 984 Market Street.
6 January 1926	#0146335	Loew's Theaters		Window alterations at 994 Market Street.
3 November 1927	#0166034	Loew's Theaters		Removal and replacement of storefront at 984 Market Street.
13 August 1929	#0180585	Loew's Theaters		Replacement of storefront at 982 Market Street to match 984. Ground floor shop spaces 982 and 984 Market Street are combined into one larger tenant space.
27 February 1938	#0184434	Loew's Theaters		Removal of storefront and construction of metal lath and plaster arch at 986 Market Street.

30 June 1938	#35990	Loew's Theaters		Alteration of storefront at 990 Market Street.
14 February 1940	#028104	Loew's Theaters		Building entrance of 984 Market Street moved from the eastern side of the store to the center.
17 October 1949	#0121162	Loew's Theaters		Alteration of 988 Market Street entrance.
10 July 1950	#0128848			Alteration to storefront entrance of 986 Market Street. Replacement of folding door with two 2' x 6'-8" doors flanked by plate glass windows.
13 September 1951	#0140215			Installation of new storefront at 982 Market Street.
29 October 1951	#0141055			Installation of new storefront at 994 Market Street.
17 July 1958	#0211991			Replacement of storefront at 992 Market Street.
15 October 1963	#290204			Installation of new entrance doors at 988 Market Street. The windows at entry were replaced with solid tile wall and doors were replaced as fully glazed metal doors. Awnings were also installed at Taylor and Market Streets.

30 October 1963	#290718			See above description.
2 September 1964	#298522	National General Corp.		Modification of marquee sign to remove reference to "Loew" and add reference to "Fox". Replacement of mezzanine* windows with plate glass. Storefronts were altered with the addition of wider concrete piers separating each storefront bay.
25 May 1965	#3093610	Southwest Amusement Corp.		Remodel of six storefronts and addition of signs indicating new building owner. Additional permits issued for installation of metal awnings above ground floor windows.
August 1966	#0333061			Construction of new window and door at 988 Market Street.
15 May 1972	#0409360			Theater marquee on Market Street removed.
19 May 1982	#8204028	Mann Theaters		Maintenance work completed including window frame and sash repainting, repair of broken windows, remedial repair to terra cotta

				around the cornice area.
17 June 1982	#8203895			See above description.
1 December 1998	#9824057			Installation of new awning over storefront at 986 Market Street.
21 June 2001	#200105249905			Entry doors to office tower at 988 Market are replaced and interior lobby is remodeled.
14 March 2008	#200803147172			Deteriorated windows, doors and door frames are replaced in kind.
13 May 2015	#201207185111			Removal and installation of new storefront systems at ground and mezzanine levels. Replacement in kind of 20% of exterior windows. Repair work was completed for some existing historic windows.
27 April 2015	#201304164659			Construction of a rooftop patio accessed from the 7 th floor stair lobby.

**The historic mezzanine level is now known as the second floor.*

HISTORIC SIGNIFICANCE

988 Market Street is a contributor to the *Market Street Theatre & Loft District* (Ref #86000729), which is listed in the National Register of Historic Places (**Figure 7.**) and in the California Register. The nationally registered historic district is comprised of a group of commercial buildings on both sides of Market Street approximately from Sixth Street to Seventh Street. The historic district includes an assortment of major motion picture theatres, loft structures, commercial and office buildings, and hotels. The district is notable for its intact representation of downtown development and architectural patterns post-1906 Earthquake and Fire. As a contributing building in the district, the Warfield is significant 1) for its association with the development of the Market Street entertainment district, 2) for being a notable work of local master architect G. Albert Lansburgh, and 3) as a fine example of Renaissance Revival architecture.

In addition, 988 Market Street (formerly 982-988 Market Street) has been included in several architectural surveys. It was included in the 1976 Department of City Planning Architectural Quality Survey (1976 DCP Survey) with a rating of "4" out of "5." The property was subsequently documented as part of the Foundation for San Francisco Architectural Heritage Survey in 1979 and given a rating of "A", being of "Highest Importance." 988 Market Street was also included as part of the 1986 Market Street Theatre and Loft Survey. The *Market Street Theatre & Loft District* was listed in the National Register of Historic Places that same year for the reasons detailed above. 988 Market Street is also rated "Significant, Category I" in Article 11 of the City of San Francisco Planning Code.

Market Street Theatre & Loft Historic District

The following examines the significance of the *Market Street Theatre & Loft District* and describes how the Warfield contributes to that significance.

As outlined in the Nomination, the *Market Street Theatre & Loft District* is significant under Criterion C / Architecture for its "common harmony of texture, coloration, height and style inspired by the City Beautiful Movement".¹⁶ The District is also significant under Criterion A in the area of Commerce for being built as a secondary downtown that featured the distinctive "prime" activity of hosting studio-owned, high-end picture palaces where first-run showcases of moving pictures were shown, often featuring double-billings of film and vaudeville. Here RKO, MGM, United Artists and Paramount sent their major films for their first San Francisco runs.¹⁷ This concentrated development of theaters, movie palaces and related buildings was associated with two historic trends; one nation-wide and one local. Nation-wide, the popularity of vaudeville, followed by the advent of motion pictures,

¹⁶ Bloomfield, Anne, National Register of Historic Places Nomination Form: Market Street Theatre and Loft District, San Francisco, listed April 10, 1986, Section 8.

¹⁷ Bloomfield, Section 8.

spurred the establishment and rapid growth of the entertainment industry and subsequently the construction of performance venues.

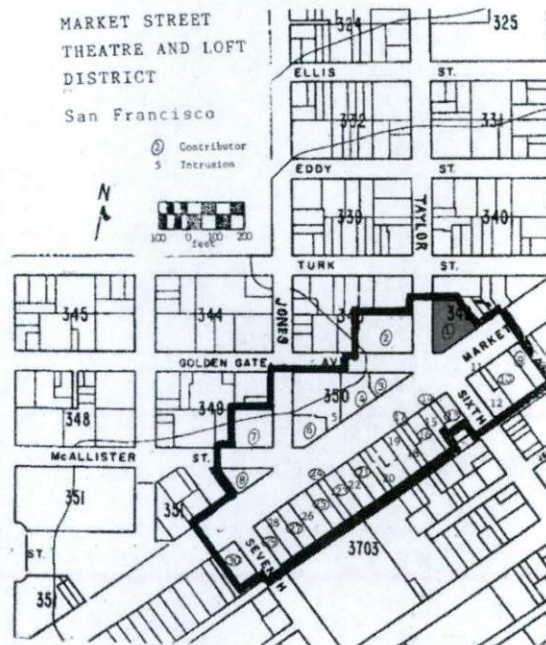


Figure 7: The Market Street Theatre & Loft District. Warfield Theater highlighted in gray.
Source: Market Street Theatre & Loft District National Register Nomination, 1986. Edited by Page & Turnbull.

The district's period of significance, as per the National Register Nomination, extends from 1889-1930, beginning with construction of the Hibernia Bank, San Francisco's earliest surviving Beaux Arts building. Twelve of the district's twenty contributing buildings followed between 1906 and 1913. In 1920-1926 came four more -- three theatres, including the Warfield. The district's high density of motion picture theaters prompted extension of the period of significance beyond the last building's construction date to 1930, to include the major studio reorganizations attendant upon the introduction of talkies in 1927.

The Nomination outlines the architectural characteristics found within the district and for which it is significant. The Nomination furthers,

"All properties [in the district] face Market Street" and "the district's characteristics are a scattering of major motion picture theatres, a group of loft structures mostly on the south side of Market Street, and two intersections of Market Street with Golden Gate Avenue, Taylor and Sixth Streets, and of Market Street with Jones and McAllister Streets...Buildings occupy their full lots and rise straight, usually for two to eight stories with flat roofs concealed behind parapets. Constructed principally from 1900 to 1926, they project a single

visual mode...the Commercial Style, with two- or three-part vertical composition, Renaissance-Baroque or other historicist ornamentation, and prominent cornices. Exterior materials are terra cotta, brick, galvanized iron, and some stucco [cement plaster]; structures are usually steel frame and/or reinforced concrete; there are some brick-bearing walls. Ornamentation tends to be free and often lavish; columns and pilasters are seen. Fenestration is double-hung, or Chicago windows, or a mixture of the two, sometimes with arcading at top stories. Almost without exception, ground stories contain small shops which have been considerably and frequently altered to meet the changing needs of commerce; most buildings were designed to accommodate such changes by design separation between ground and upper floors. Of the thirty buildings, twenty are considered contributors to the district and are listed. The remaining are considered intrusions because of modern alterations or new construction.”¹⁸

The Warfield

The Warfield is an important contributing element in the *Market Street Theatre & Loft District*. Built during the district’s period of significance, it is representative of the historic development of the entertainment district in the mid-Market area. As a theater and movie house related to Loews and MGM, the Warfield has connections to one of the oldest and most prominent entertainment entities. Throughout its history, the Warfield responded to the fluctuating popularity of different types of entertainment and continues to follow such trends today. Locally, the Warfield represents an element in reconstruction efforts that occurred after San Francisco’s 1906 Earthquake and Fire. In a city that remained in various states of ruin for years after the disaster, the Warfield construction in 1921-1922 contributed to the city’s downtown rebuilding efforts, helping to establish the “second downtown” focused on entertainment.

The Warfield also embodies the *Market Street Theatre & Loft District’s* important architectural characteristics: the building occupies its full lot and rises straight for nine floor levels along the Market Street frontage with a flat roof concealed behind a parapet.¹⁹ Constructed during the district’s period of significance (in 1921-1922), the Warfield projects a single visual mode along Market Street, exhibited through the Commercial Style, with a two-part vertical composition. The steel and concrete, faced in terra cotta cladding, the Renaissance Revival-style ornamentation of the frontage includes pilasters (wide and narrow), composite columns, friezes (plain as well as shield and garland), and molded cornices. As is also characteristic of contributing buildings in the historic district, the Warfield features double-hung windows at upper floors and retail shops at ground level.

¹⁸ Bloomfield, Section 7 and Section 10.

¹⁹ Historically, the building’s first floor had a mezzanine, which has since been built out as the second-floor level resulting in nine floors, plus a basement and attic level.

In its design and style, the Warfield references Beaux-Arts aesthetics, and the City Beautiful movement, which were popular concepts during the post-1906 Earthquake and Fire reconstruction era in the city. The Warfield is a prominent public-facing building, located on San Francisco's main thoroughfare and appropriately exhibits high style and dignified massing in its architecture.

The Warfield's combination of office tower and theater uses is also important. The theater's survival during downturns in the local and national economics and continued use as an entertainment venue throughout can be attributed to the fact that the building also functioned as an office building, providing a steady use, even during periods when film and theater were in decline.

Additionally, the Warfield's ingenious design, which efficiently uses an irregular site to effectively serve both functions, is notable. A renowned architect, noted for his theater designs, Lansburgh's proficiency in such is evident inside the Warfield. He deftly designed the stage in the acute angle created by the gore point, allowing the seating to fan out into the wider portions of the floor plan, providing a feeling of openness that is enhanced by the "peacock tail" ornamentation of the ceiling. An ambulatory run around the rear of the auditorium space, from the Market Street side of the building to the Taylor Street side, provided access to the main floor and upper levels. This allows for a maximum amount of seating and the presence of retail spaces along the Market Street frontage. It has been noted that the theater space is better designed for live performances, as originally intended and as it operates today, than for movies due to the state of sight lines to the stage.²⁰

CHARACTER DEFINING FEATURES

For a property to be a contributor to a national, state, or local designation under criteria related to type, period, or method of construction, the essential physical features (or character-defining features) that enable the property to convey its historic identity must be evident. These distinctive character-defining features are the physical traits that commonly recur in property types and/or architectural styles. A property must clearly contain enough of those characteristics to be considered a true representative of a particular type, period, or method of construction, and these features must also retain a sufficient degree of integrity. Characteristics can be expressed in terms such as form, proportion, structure, plan, style, or materials.

The Warfield embodies the architectural features and cohesion of early 20th century commercial buildings within the *Market Street Theatre & Loft District*. The Warfield provides a fine example of a two-part vertical commercial building designed in the Renaissance Revival style. The building's

²⁰ Levin, Steve, "Lowe's Warfield," *Marquee: The Journal of the Theater Historical Society of America*, vol. 36, no. 3, third quarter 2004.

massing, scale, architectural features, and ornamentation are highly reflective of the architectural characteristics found within the historic district as outlined in the National Register nomination.

OVERALL FORM

The buildings within the historic district generally occupy their full lots, face Market Street, and rise straight, usually for between two to eight stories with flat roofs concealed behind parapets. Fronting Market Street, the Warfield's nine level office tower composition reads as eight stories, and the building is well related to the width of Market Street with its facades continuous at the property line.

SCALE AND PROPORTION:

Buildings within the historic district typically project a single visual mode along Market Street, reflecting the Commercial Style, with two- or three-part vertical composition. The Warfield's massing, consisting of two components-- a tall office tower block at the corner and fronting Market Street, with a lower theater block at the rear, thus maintains the single visual mode on Market Street. The building exhibits a two-part vertical composition.

FENESTRATION

Fenestration in the historic district is typically double-hung or Chicago windows, or a mixture of the two, sometimes with arcading at top stories. And, almost without exception, ground floors contain small shops which have been frequently altered to meet the changing needs of commerce; most buildings were designed to accommodate such changes by design separation between ground and upper floors. The Warfield's upper floor windows are similar in shape and proportion and are rhythmically spaced. Generally, they are double-hung windows with those of the office tower at Market and Taylor Streets capped at the top by a segmental arch element. The Warfield's glazing is deeply recessed, producing a strong interplay between light and shade. Protruding columns and horizontal ledges frame the windows. At upper floors, the proportion of windows to solid walls is typically less than 50 percent. At the ground level, storefronts have been frequently altered due to changing tenants, however, as is typical of buildings in the historic district, the Warfield's office tower façade features exterior design separation between the ground and upper floors (in this instance, above second floor).

MATERIALS AND COLORS:

Exterior materials of buildings within the historic district consist of terra cotta, brick, galvanized iron, and some cement plaster; structures are usually steel frame and/or reinforced concrete; there are some brick-bearing walls. In the case of the Warfield, the building features terra cotta cladding as

the predominant exterior visible material. Light tones are featured; all the terra cotta is painted a pale gray color. Light-toned hues are continued inside the office tower, too. The original office lobby flooring and original stair treads, where extant, are light toned marble or terrazzo.

DETAILS AND TEXTURE:

Buildings within the historic district commonly exhibit Renaissance-Baroque or other historicist ornamentation. As stated in the Nomination, ornamentation tends to be free and often lavish; prominent cornices, columns and pilasters are typical. The Warfield is a fine example of Renaissance Revival style architecture featuring a contrast between the smooth terra cotta cladding and the tactile texture of the ornamentation. The building's decorative terra cotta ornamentation includes linear and arched banding, projecting string courses, piers, and spandrels, engaged pilasters, columns and caryatids, an ornate frieze and a denticulated cornice.

The Warfield is representative of the characteristic massing and composition, scale, and architectural detailing of contributing buildings within the National Registered *Market Street Theatre & Loft District*. The building's massing, construction and exterior cladding, and Renaissance Revival style ornamentation are indicative of the early 20th century commercial-office and theater buildings constructed within the district and enable the building to remain contributory.

ARCHITECTURAL DESCRIPTION

The Warfield is located on an irregularly shaped lot on the gore corner formed by the intersection of Market Street, Taylor Street, and Golden Gate Avenue. The facade facing Market Street is bordered by a wide brick sidewalk featuring historic cast-iron lampposts and street trees along the curb. The facade facing Taylor Street is bordered by a narrower concrete sidewalk. The north facade of the building is bordered by a modern 12-story building, while the northeast facade abuts an adjacent building (**Photo 1, 2**). The Warfield is located in close proximity to the Golden Gate Theater and a smaller “flat iron” building, which are each situated on one of the three corners of the aforementioned intersection.

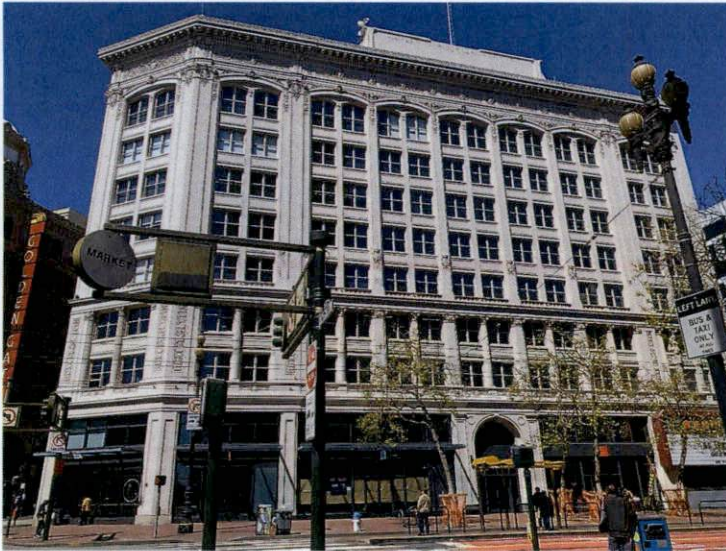


Photo 1. Market Street façade, view north

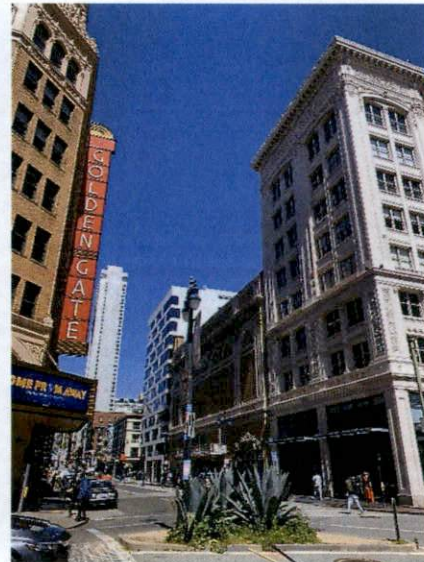


Photo 2. Taylor Street façade, view northwest

The Renaissance Revival style building is made of steel frame, with concrete and brick, and is comprised of an office tower (consisting of nine office use levels, as well as an attic and basement level) and an interconnected, shorter theater located at the rear.²¹ The building has an irregular, trapezoidal plan that conforms to the shape of the lot on which it is situated. The tall, narrow office block spans the Market Street frontage and dominates the corner, while the lower theater block fills the rest of the lot.

²¹The office tower's historic mezzanine level was built out and is now second floor level. For the purposes of the exterior architectural description, the historic mezzanine is referred to as second floor hereto forward.

The main primary façade faces Market Street with the two smaller primary facades facing Taylor Street and Golden Gate Avenue. These facades are constructed of structural steel and brick with terra cotta cladding. The terra cotta originally had a speckled/granitized beige glaze but is now entirely covered with pale greyish white paint. The secondary (non-street facing) facades are made of structural steel and concrete with a cement plaster coating. The building's fenestration is defined by equally spaced rectangular openings which contain paired double hung windows along the primary (south, southwest, and west) facades. At the secondary (northeast, north) facades, the fenestration features punched rectangular openings with singular double hung windows. The east facing façade has no windows and currently has a painted mural. The secondary façade features a less regular fenestration pattern as a couple of the window openings have been infilled or replaced with door openings. At the ground and second floor levels, large openings in the façade are infilled with metal and glass storefront systems. While the openings are original, the storefront systems are a contemporary replacement. The building features two separate areas of flat roofs, one is located at the top of the tenth-floor level and the other is located over the auditorium portion of the structure at the seventh-floor level.

The Market Street (south) or primary façade is organized into eight structural bays, with one bay at the west side of the façade angled slightly to the south to be oriented toward the gore corner. The bays at each end of the façade, and the angled bay at the corner, are emphasized by wide pilasters that separate them from the five bays at the center of the façade, which are separated by thinner pilasters. At the first and second floor levels, each bay contains a storefront opening (**Photo 3**).



Photo 3. Detail of structural bay at first and second floor (former mezzanine level).



Photo 4. Upper-level structural bays contain four windows at each level.

The storefront assemblies consist of non-historic, aluminum frame display windows at the first level with transoms above (at second floor level), thus extending from the ground level up to the second level and spanning between the columns of the structure which are clad in terra cotta. The lites are divided in a configuration reflective of those seen in historic drawings. Some bays have received cantilevered metal and glass awning between first and second floor levels. Above the second floor and through the top floor, structural bays contain four windows at each level. These windows are paired and divided by a narrow pilaster (**Photo 4**). The bays of the upper levels are capped at the top by a segmental arch element. The primary entrances to the office and theater blocks are located at the first level of the primary façade.

The office block entrance is located within the central structural bay and consists of a non-original, two-story metal assembly, featuring fully-glazed double doors and a round-arched glazed tympanum (**Photo 5**). Though the entry assembly is a replacement, the round arched opening is original and features decorative moldings and a scrolled keystone. The entrance to the theater is located in the easternmost structural bay. It features a fully-glazed aluminum entry assembly containing three sets of glazed double doors with fanlight transoms. These are concealed however, and set back behind a metal roll-up security gate as viewed from the street. The theater entry is surmounted by a large, illuminated marquee that is mounted flat against the building's façade (**Photo 6**).



Photo 5. Office block entry at center of Market Street facade.

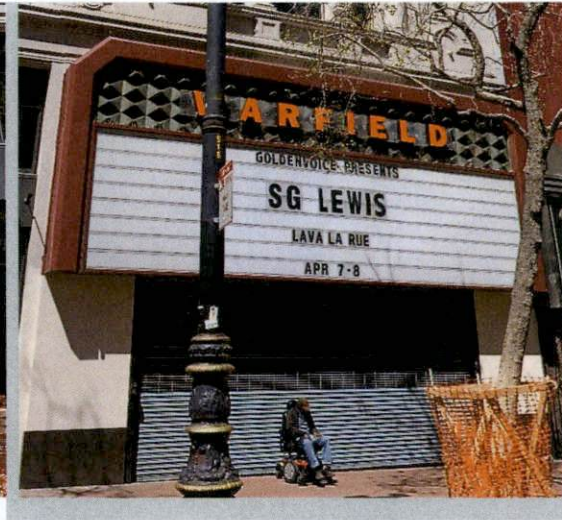


Photo 6. Theater entry at east end of Market Street facade.

The third and fourth floor levels of the Market Street façade form an interim shaft segment in the horizontal organization of the building. They are separated from the second floor level by a plain frieze and molded cornice. Above this, another frieze, featuring shield and garland ornaments, runs under the windows. Terra cotta water table ledges are at the underside of the third-floor windows and above the fourth-floor windows, creating a focal point of concentrated decorative elements. Fluted Composite columns divide the structural bays, while flat wall panels surrounded by decorative moldings separate the third and fourth floor windows. An intermediate entablature consisting of a plain frieze and molded cornice surmounts this interim shaft segment and separates the fourth and fifth floors. The wide pilasters that define the end bays at the third and fourth levels are adorned with foliate motifs, while the thinner pilasters that separate the other structural bays are adorned with Composite capitals. An exception to this general scheme of ornamentation is found in the easternmost bay, above the theater entrance. Here, there are three windows located at each level. They are separated horizontally by wall panels adorned with swag motifs and surrounded by decorative moldings. They are separated vertically by two-story tall, tapering, engaged pilasters terminating in partial caryatids (**Photo 7**).



Photo 7. Differentiation between easternmost bay (at right) and others between third and fourth floors on the Market Street facade.

The fifth through ninth floor levels represent the remainder of the shaft. The ornamental schemes found at the third and fourth levels continue on these upper floors, but in a less elaborate manner. Simple pilasters separate the structural bays, terminating in decorative capitals that feature shield motifs, foliate ornamentation, and Ionic scrolls. The windows at each level are separated by flat wall panels surrounded by simple moldings. Each pair of windows at the ninth floor level is located within a segmental arch opening, with each structural bay also terminating in a segmental arch element that is adorned with foliate and coquillage ornamentation.

The primary façade terminates in an elaborate entablature representing the capital, which features a paneled frieze adorned with foliate ornamentation and a shield motif at the center of each structural bay. Above this, the cornice is decorated with a variety of moldings, including dentils and egg-and-dart moldings, and small scroll modillions. Centered above the cornice at the primary façade fronting Market Street is a parapet which is where the original signage for the building was located, which read "LOEWS WARFIELD". The flat roof of the office block is surrounded by a low parapet and a flat, horizontal marquee, which once bore signage, projects above the parapet at the center of the façade (**Photo 8**).



Photo 8. Market Street façade roof parapet and horizontal marquee.

The west façade of the Warfield with frontage along Taylor is comprised of the office block on the south side and the five-story theater block on the north side. The office block is two structural bays wide and follows the same organizational and decorative schemes that are found on the primary, Market Street façade (**Photo 9**), with exception that at the ground level, some of the the metal and glass storefront systems have been partially infilled with metal louvers.

This is in contrast to the theater block which is clad in brick with terra cotta ornamentation (**Photo 10**). At the first floor level, the theater block has multiple entrances. The southernmost entrance has a tall opening fitted with wood paneled double doors. It is surmounted by a decorative hood supported by scrolled brackets and adorned with urns and foliate motifs. To the immediate north of this entrance is a standard-sized single man-door. At the northern end of the façade are additional entrances (currently serving as egress only). The north end entrance has a larger opening and features a decorative surround, with two sets of paired fire egress doors, and infilled transom levels above. The other entry openings are sized for a single set of paired doors and also have a decorative surround. One has paired egress doors, the other of which has been infilled. Murals have been painted at first floor level within decorative molded framing that once contained movie signage or posters. At the second floor level, a painted metal fire escape spans the center of the façade and is accessed by two sets of wood panel double doors. At the northern end of the second floor level are two small, one-over-one, double-hung, wood sash windows, which represent the only fenestration on this façade of the theater block. The second floor is separated from the upper portion of the façade by a simple molded entablature. The upper portion is unfenestrated, so that the floor levels

are only loosely defined in comparison with those of the office block. A blind arcade of seven round arches adorns this upper portion of the façade. The lower portions of the arches (which correspond to the second and third floor levels) are defined in brickwork, while horizontal and half-round elements at the top of the arches (at the fourth floor level) are defined by terra cotta moldings. Paired terra cotta pilasters with Corinthian capitals and molded terra cotta spandrel panels emphasize the arches at each end of the arcade. The blind arcade is surmounted by an entablature that features a decoratively molded frieze, dentils, and a molded cornice. A section of wall extends above this cornice at the fifth story level and is adorned with simple terra cotta pilasters that correspond to those that define each end of the blind arcade below. A brick chimney protrudes from the northwest corner of the theater roof.



Photo 9. Taylor Street façade, office block portion at south end



Photo 10. Taylor Street façade, theater block, view southeast

The building's secondary facades generally have little architectural detail relative to the primary facades. The north façade of the theater block is generally not visible from the public right of way due to adjacent construction at the rear of the property. The north façade of the office block rises four floors above the roof of the theater block. It consists of an unadorned concrete wall surface, though it features regularly patterned fenestration. The east façade of the Warfield abuts a neighboring building that is approximately three stories tall. The façade that is visible above this building is unadorned and unfenestrated. The features on the north and northeastern sides of the building are window openings located on the seventh to ninth floors. The tenth floor (attic) has

metal louvered vents. The eastern façade does not contain any openings. The eastern façade is comprised of cast in place concrete and clad with a cement plaster stucco finish. Due to the presence of an adjacent structure, the eastern façade is only visible above the third level. There is presently a painted mural of abstract geometric art which spans the height of the façade between the fourth and tenth levels.

The north and northeastern facades are cast in place concrete that are clad in a painted cement plaster stucco finish. The windows are sheet metal sash and frames. They are double hung with two over two sash windows at the seventh and eighth levels and one over one sash windows at the ninth level. The one over one sash at level nine are replacement wood sash set into the original sheet metal frames. All windows have a projecting windowsill made of concrete. At the tenth level, there are metal louvered vents centered on the window openings at the levels below. At the seventh level, a double door opening has been framed with aluminum and glass and opens onto a raised roof patio above the sixth level roof of the theater complex. There is a single metal door along the northeastern façade which opens onto the roof deck at the seventh level.

The interior of the building's first floor is occupied by retail shops, the office tower lobby, the theater lobby, and the main level of the theater itself. The retail spaces have undergone numerous tenant improvements and configurations over time and no historic fabric is readily apparent within these spaces. The office tower lobby is a rectangular space with an elevator bank containing two elevators located on the west side and an historic stair well on the east side. The floor is covered with non-original marble tile; non-original marble surrounds are featured at the elevators, and the ceiling is coffered. The stairs that ascend to the upper floors feature marble treads; the metal balusters are capped with wood railing (**Photos 11-12**). The theater vestibule is recessed behind a metal security gate. The vestibule features an elaborate box office at its center which is clad in red marble (since 1949); the original pressed tin ceiling and decorative features remain on the upper walls (**Photo 13**). The interior of the theater lobby and auditorium space appear to maintain original spatial organization and many decorative elements (**Photo 14**). Elaborate moldings, sculptural elements, and murals – all in a Classical/Renaissance Revival style – adorn its interior. The original organ screens and balconies remain on either side of the stage, although seating on the main level, for instance, has been removed. A balcony with additional seating is located at the mezzanine and second floor levels, corresponding to those levels of the office tower (**Photos 15-16**).



Photo 11. First floor office tower lobby, elevator bank.



Photo 12. First floor office tower lobby, stairs.



Photo 13. First floor theater vestibule box office.



Photo 14. Theater mural in Classical/Renaissance style.



Photo 15. Theater view towards stage.



Photo 16. Theater view of balcony seating.

Inside, the first through nine floors, plus the attic (tenth floor) of the building's office tower component are connected by a central circulation core that incorporates the two side-by-side elevator shafts and an open stairwell. The original stairs feature marble treads, a decorative metal balustrade with geometric motifs, a wood handrail, and paneled, square newel posts with molded caps. The elevators feature metal doors set within non-original marble trim. Original checker-board patterned linoleum mats are located at the threshold of most elevator doors. Most upper floor lobbies feature original marble and terrazzo flooring, marble baseboards; ceilings are coffered and the original mail chute is featured. This is with exception of the second floor level lobby (historically, the mezzanine), which has non-original marble flooring. A secondary enclosed egress stair is located near to the west end of the office tower; this replaced an original open secondary stair in the same general location. The office tower tenant spaces have been reconfigured over time as tenants and their needs changed. Most original finishes have been removed as have partition walls that once formed identical arrangements of small offices on each floor. Existing conditions of these spaces typically consist of partially finished interiors: exposed concrete structural columns and ceilings (some painted) with exposed systems; exposed concrete floor with some areas carpeted. Terrazzo flooring is also evident at locations of former original corridors. Perimeter walls are mostly exposed brick with wood window trim (some replacement). Many tenant suites feature open plans. Where interior partitions have been delineated into private offices, restrooms or meeting rooms, they are non-historic in a combination of gypsum board and/or glass. On floors 5-7, historic closet doors enclosing fire hoses, however, are evident (**Photos 17-20**).



Photo 17. 3rd floor, available office space.



Photo 18. 9th floor, available office space.



Photo 19. Upper floor elevator/stair lobby; typical of most.



Photo 20. 5th floor office space with terrazzo floor remnant and fire hose door.

INTEGRITY CONSIDERATIONS

The Warfield, despite interior changes to tenanted spaces, retains a high degree of integrity, and continues to contribute to the *Market Street Theatre & Loft District's* historic significance. Today, it maintains the historic option for a dual use building. It continues to serve as an auditorium venue for live performances in the theater portion and continues to feature available tenanted spaces for retail and/or commercial uses in the office tower portion, therefore maintaining its integrity of association as a multi-use building. The building has not been moved, maintaining its presence along San Francisco's 'Great White Way' with frontage along Market Street at the important intersection with 6th Avenue and Taylor. Still within proximity to several other theaters, including the Golden Gate Theater which is directly across Taylor Street, the Warfield maintains integrity of location and setting. The integrity of materials, design and workmanship has also been retained. Few alterations have been made to the exterior of the building, except for the removal of the theater marquee and blade signs, and replacement of the storefronts multiple times in response to changing tenant needs. Alterations to commercial storefronts are common and do not detract from the building's overall historic character; in this instance, in fact, the current retail storefront configuration is reflective of the original. The interior of the auditorium consisting of a theater stage and a balcony

arrangement remains, as do original classical-style decorative features. Although tenant spaces of the office tower have been heavily altered, the office tower's historic circulation core consisting of elevators and historic stairwell remain intact with some historic finishes (marble flooring) and features (mail chute). The building's overall feeling as a multi-use 1920s Renaissance Revival-style office tower/theater building remains.

EXISTING CONDITIONS ASSESSMENT



Photo 21: 988 Market Street – View of the primary façade (south) fronting Market Street, facing northwest.

ASSESSMENT

Primary Facades

The terra cotta on all three primary facades has been painted and is generally in good to fair condition. The main issues affecting the primary façades are cracks, bisque erosion and glaze spalls, bisque spalling, and missing or damaged mortar at the terra cotta, as well as failed sealant joints, delaminating paint, and damaged anchorage points. The damaged areas are typically concentrated around window openings, at the engaged columns and pilasters, on the horizontal water table ledges, and at building corners and cornice. There are two areas of incipient spalling, both at the third level at the engaged pilaster base elements between two window openings (**Photo 22**). At the third-floor level, the majority of the spalling occurs along damaged mortar joints (**Photo 23**). There are some visible vertical cracks in the terra cotta at the south façade at the piers between window openings. Most of the vertical cracks appear to be concentrated at the fifth through seventh levels with one large vertical crack occurring between the third and fourth levels near the corner of the south and east façades, facing Market Street. There are also some visible cracks in the terra cotta elements at the cornice, as viewed from the adjacent roof.



Photo 29. Example of replacement wood window sash in original frame – Market Street.

The windows along the primary façade (third to ninth floors) are all double-hung sash replaced in the original wood frames (**Photo 29**). All upper sash appear to be fixed/ anchored closed. Some windows have double pane glass while others are single pane. The windows are all generally in fair, operable condition. There is widespread delamination of thick paint buildup and wood splitting at the exterior wood sills (**Photo 24**). This condition is present across about 90% of the wood windowsills.



Photo 22: Example of cracks, incipient spalling at third level engaged pilaster base - Market Street.



Photo 23: Example of missing and damaged mortar, paint delamination, and eroded terra cotta as well as splitting wood at the windowsill. Also visible is the original terra cotta glazing which is currently overcoated in paint - Market Street.



Photo 24: Example of delaminating paint at sixth level wood sill - Market Street.



Photo 25: Example of missing mortar at fifth level window head – Market Street.

Storefronts and Entry Vestibule

The storefronts along Market Street at ground level are non-original and are generally in good condition. The storefronts along Taylor Street exhibit more wear and weathering and will require some rehabilitation in the future. There are five glass and metal awnings cantilevered from the storefront system between the first and second levels fronting Market Street and two fronting Taylor Street. These are in good condition other than having a buildup of dirt on the surface. Façade panic door hardware at the main lobby entrance is not functioning properly as the door is not self-closing as intended. There is some corrosion to the arched storefront window at the second level lobby due to missing mortar joints. The granite bases exhibit some spalling or soiling, and there is graffiti located at the base east of the main entry.

Secondary Facades

The secondary facades are generally in fair to good condition. At the eastern façade there is a considerable amount of paint delamination (**Photo 27**). The condition of the underlying cement plaster stucco is unknown and may correspond/ contribute somewhat to the poor condition of the paint. At the north and northeastern facades, the double hung wood and metal windows with some textured wire glass and some clear glass, are in good condition with minor spot corrosion at some metal elements (Photo 28). At the north elevation, seventh level east of the patio doors, a window has been infilled and exhibits minor perimeter cracking in the cement plaster stucco (**Photo 26**).



Photo 26: Cracking of cement plaster stucco at window infill area at the seventh level exterior patio – North Façade.



Photo 27: Detail showing delamination and peeling paint on cement plaster stucco – East Façade.



Photo 28: Example of original double hung sheet metal window (2 over 2 lites) with textured wire glass that is in good condition – North Façade.

Roof

The building has two flat membrane roofs, one at the top of the tenth level and one at the seventh level. The seventh level roof spans across the adjacent six-story theater auditorium portion of the structure and contains a small, elevated rooftop patio which is accessed from the seventh level stair lobby. The auditorium roof also steps up at the northeast corner. The perimeter of both roofs is bounded by a parapet on all sides. The tenth level flat roof is accessed via a ladder within the tenth level mechanical attic and through a door at the east side of the penthouse. The elevator penthouse at the upper tenth level roof is located in the center bay of the southern wall and is shielded from street view on the south side of the building by the tall portion of the parapet which originally had theater signage mounted on it. The tall parapet is laterally braced with steel columns and beams encased in concrete as well as concrete flanking stem walls from the rear of the tall parapet (Photo 35). The penthouse is clad in painted cement plaster stucco. There are mechanical units mounted to the roof deck, which are mostly concentrated at the southwestern side of the roof. Both roofs are sloped slightly to a series of drains with scuppers in the parapet walls. Directly to the west of the elevator penthouse is a steel water tank which is mounted to a welded steel structure (Photo 30). There are some visible cracks in the concrete parapet. At the interior sides of the parapet walls, a horizontal crack runs most of the length the wall at the two primary sides of the building. Biological growth was noted regularly along the horizontal crack (**Photo 31**). An old tar-like waterproofing at the rear vertical face of the parapet has completely failed and is flaking off (**Photo 32**). The concrete bracing of the concrete stem walls flanking the tall south parapet exhibits spalling in several areas with exposed corroded rebar visible. Some cracking was also noted where steel flagpole supports interface with the tall portion of the southern parapet. Cracking of the cement plaster at the walls of the elevator penthouse was noted. Some vertical cracks were also noted in the concrete parapets at the secondary facades adjacent to structural column location. The roof drains on both roofs contain debris and they appear to need cleaning. Some slight ponding was noted near the roof drain at the upper roof. The roof membrane at both levels appears to be in generally good condition. The water tank exhibits corrosion. Its steel structure exhibits corrosion with some steel section loss in a few areas and is in poor condition. The vertical elements of the steel support structure are encased in concrete and are badly deteriorated and spalling. The connection of the horizontal steel tank structure to a column encased in concrete at the north parapet wall exhibits severe corrosion, rust jacking, and spalling of the concrete encasing the support (Photo 34). The steel water tank and its support structure will be removed during the construction phase of the residential conversion in 2024.



Photo 30: Metal tank and structure - Roof.



Photo 31: Parapet wall biological growth and cracking - Roof.



Photo 32: Failure at vertical parapet membrane – Roof.

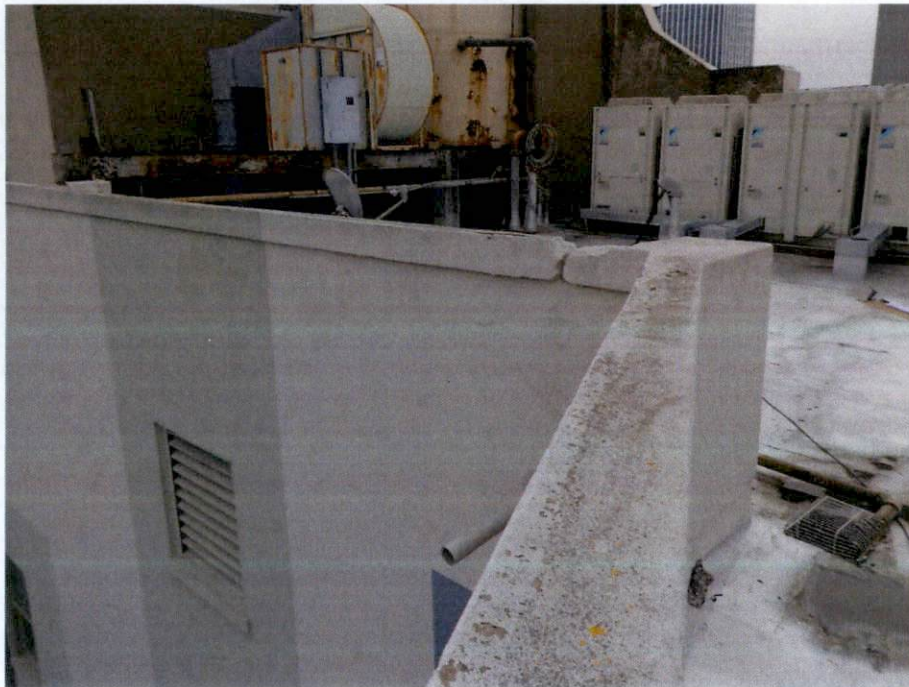


Photo 33: Cracking in cement plaster - Roof.

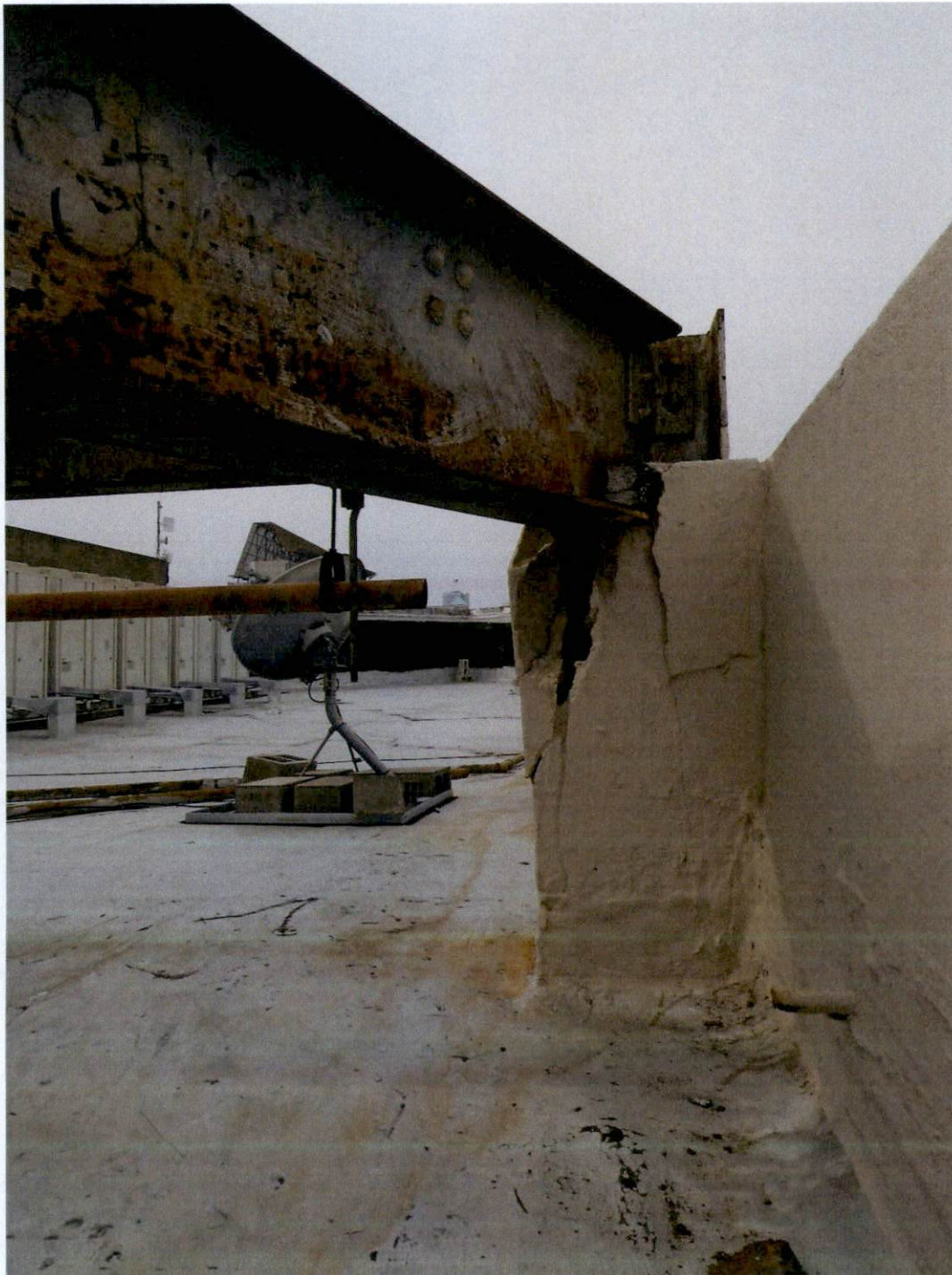


Photo 34: Connection point of steel water tank structure to column - Roof.



Photo 35: Cracks to parapet wall, lateral bracing at original sign location - Roof.

Interior

The interior of the building is comprised of large open plan office spaces organized around a central stair and elevator lobby. The stair spans from the ground level up to the ninth level office spaces and extends down one level to the basement. There is a secondary egress stair which is located along the northeastern façade and spans all levels of the building. The interior spaces of each level differ based on various tenant improvement build outs, however there are consistent finishes used across the building's common circulation spaces. The central stair lobbies are characterized by their light brown terrazzo flooring with a white marble trim that wraps around the perimeter of the space. The balustrade is a decorative cast iron with a wood top rail. Adjacent to the elevator openings, there is an original metal mail chute which spans the height of all nine office floors, terminating at the ground floor lobby.

First Floor

The main building (office tower) elevator and stair lobby are flanked on both sides by smaller individual storefront units at the ground level. The smaller storefront units are in good condition. At the main lobby, the non-historic marble floor, and the historic stair treads and metal railings are all

in good to fair condition. There is some damage to the original marble stair that is present between the first and second levels (**Photo 36, 37**) consisting mostly of cracks as well as spalled edges and deterioration at the stair nosings.



Photo 36: Example of horizontal cracks at marble stair landing – First Floor.



Photo 37: Example of marble spalling at stair nosing – First to Second Floor.

Floors 2 through 9

The condition at the second through ninth level interior is generally good. The primary areas of concern on these levels are at a few areas of exposed rebar and structural steel where brick and concrete covering the structural steel is spalled or missing (**Photo 38, 39**). Other issues include minor efflorescence at brick location and multiple concrete locations (**Photo 40**). The majority of the marble and terrazzo floors are in good condition. The original stairs have metal risers and marble treads from the second floor to the ninth floor and are in good condition. There is evidence of prior repairs to cracks at the terrazzo floors, but the crack repairs are relatively well done and appear to be sound (**Photo 43**). There are also several cracks throughout the structure which occur along the concrete exterior walls and at the underside of concrete floor slabs and concrete encased steel beams (**Photo 41, 42**).

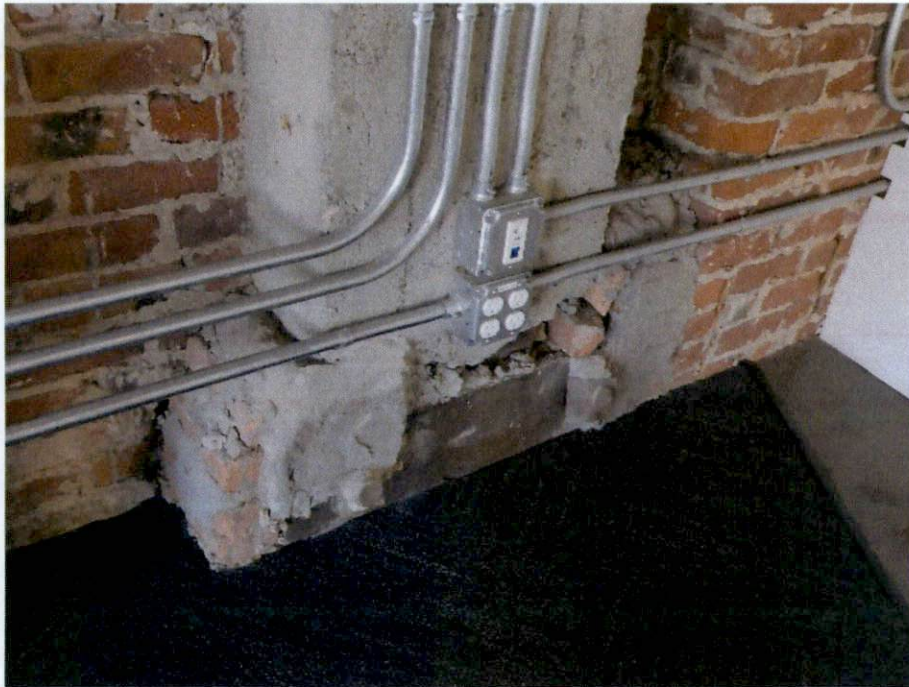


Photo 38: Exposed metal and damaged concrete coverage at column base -Third Floor.



Photo 39: Example of exposed structural steel at steel beam and column connection
- Fifth Floor.



Photo 40: Example of efflorescence along crack in concrete wall - Ninth Floor.

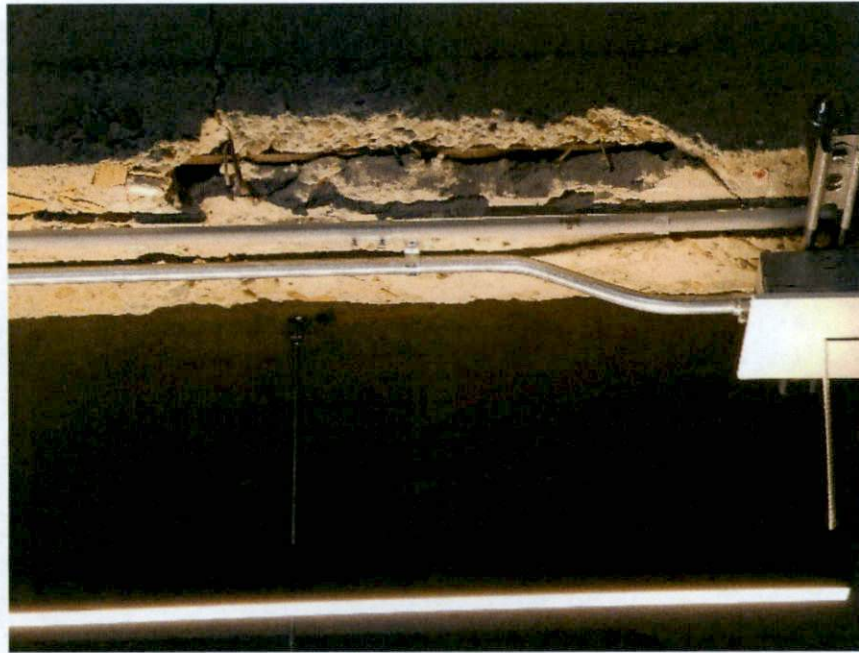


Photo 41: Example of cracked concrete cover over beam and exposed rebar - Eighth Floor.



Photo 42: Example of crack in concrete wall at north stairwell - Third Floor.



Photo 43: Original terrazzo and marble lobby flooring. Image is representative of typical material condition throughout interior lobbies – Second Floor.

Basement

The basement is generally in fair condition with the exception of some areas of exposed rebar, efflorescence and deteriorated concrete at the ceilings and walls beneath the sidewalk (**Photo 47**), where there is evidence of moisture and possible water infiltration from the sidewalk above as well as penetrating from the walls below grade. At the basement stair and elevator lobby, the marble stair and metal balusters are in good condition, with one tread exhibiting a crack in the marble (**Photo 46**). The lobby's original plasterwork includes flat plaster as well as ornamental molding at the ceiling. Some flaking paint and bubbled plaster was noted and may indicate previous or current moisture issues (**Photo 44, 45**). A back of house space, currently used by the theater, also features decorative plasterwork and decorative stenciling and murals. While these areas were largely concealed, visible areas appeared to be in poor condition and was beyond the scope of this assessment (**Photo 44**).



Photo 44: Murals on plaster walls with flaking paint and numerous holes.



Photo 45: Original decorative crown molding and flaking paint in the lobby -
Basement.



Photo 46: Cracked marble tread - Basement.



Photo 47: Deteriorated concrete and visible, rusting rebar overhead.
Efflorescence is also present - Basement.

Tenth Floor - Attic

The tenth-floor attic is in fair condition. As a utilitarian unoccupied space, generally for mechanical use, it is generally comprised of two open spaces, with the brick and concrete walls, as well as the concrete floor and ceiling/roof structure exposed. The primary areas of concern at this level include deteriorated concrete, including cracks and spalled areas with visible corroded rebar (**Photo 48, Photo 52**), as well as evidence of water intrusion based on the presence of efflorescence (**Photo 49, Photo 51**). The presence of efflorescence is most commonly found along cracks and existing penetrations in the concrete structure. There are several large cracks that span 10 feet to 15 feet across the face of the concrete exterior walls and some smaller cracks in the 1 foot to 3 feet range that extend diagonally from the corners of window and vent openings (Photo 49, Photo 50, Photo 53). Deterioration of concrete and presence of exposed rebar is generally limited to the undersides of the roof deck above and at the intersection and corners where the exterior walls meet the roof deck. An area of notable efflorescence and concrete spalling is where the concrete encased structural steel pier is damaged at the roof above. Notable cracking was observed in the floor slab running diagonally between the Market Street and Taylor Street sides of the building. This diagonal cracking was also observed when looking up at the floor slab from the 9th floor below.



Photo 48: Exposed rebar and efflorescence at corner of concrete encased steel column and beams – Tenth Floor.



Photo 49: Cracking and efflorescence at opening in concrete for mechanical vent
- Tenth Floor.



Photo 50: Horizontal cracking along exterior concrete wall - Tenth Floor.

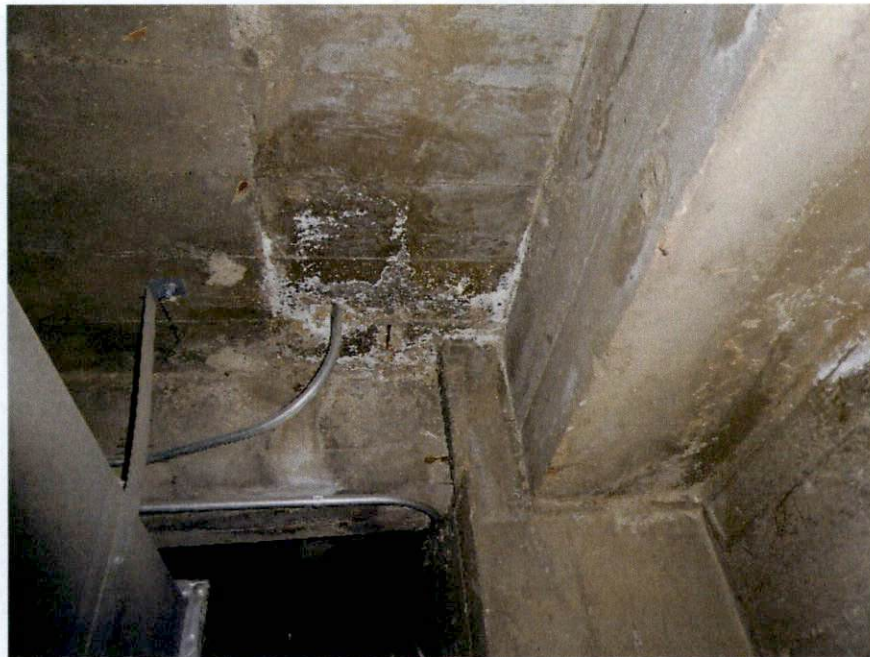


Photo 51: Efflorescence at hole in concrete for conduit – Tenth Floor.

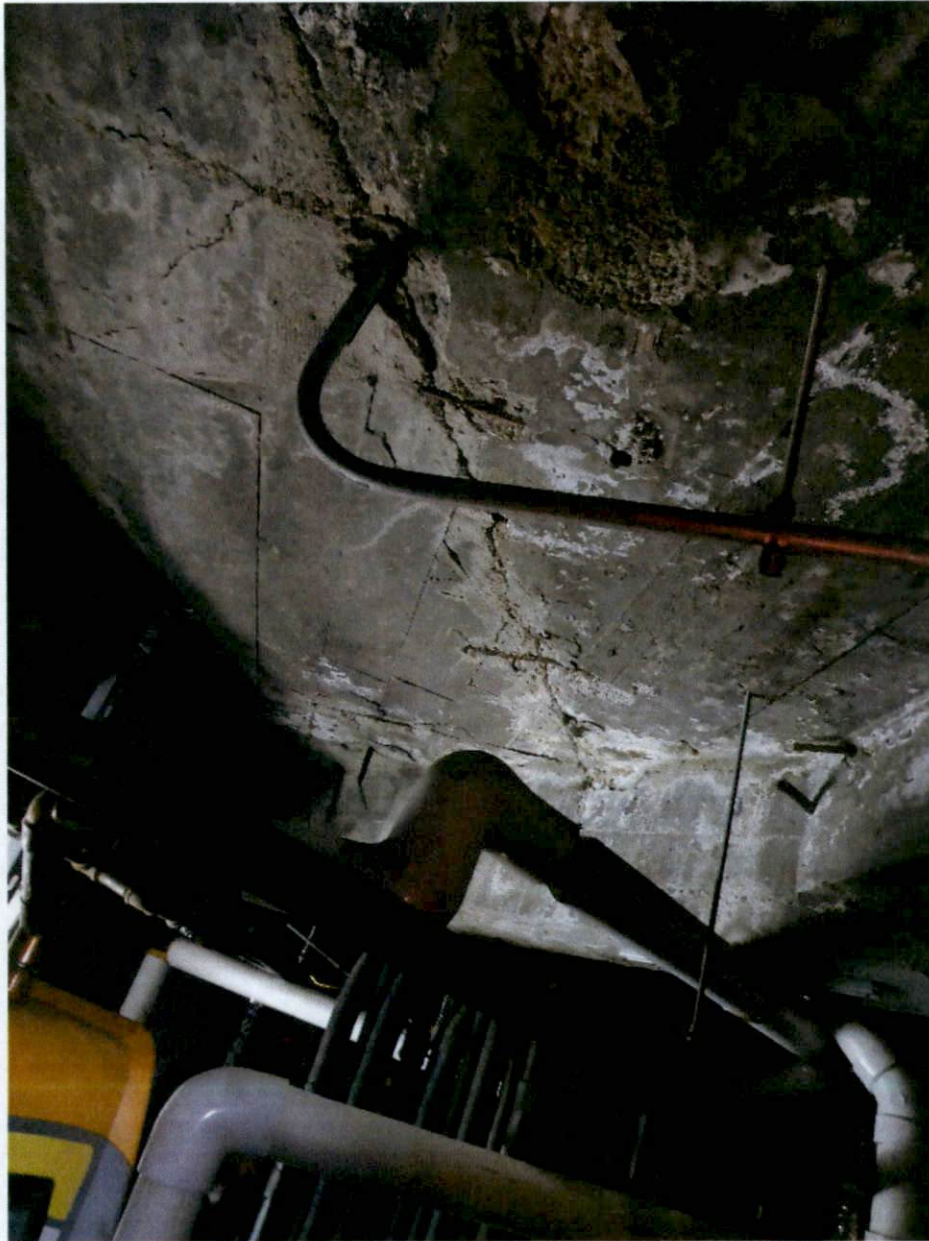


Photo 52: Large crack and visible rebar at underside of concrete roof deck – Tenth Floor.



Photo 53: Vertical crack at concrete wall – Tenth Floor.

TREATMENT RECOMMENDATIONS

Primary Façades (Market Street and Taylor Street)

The façades should be rehabilitated, to include cleaning, repair, and possible repainting of the terra cotta cladding. Work at the terra cotta façades should identify and repair areas of deteriorated, unsound, spalled, loose, and/or cracked terra cotta. Terra cotta should be cleaned using as gentle a means as possible, with a warm water wash and detergent or chemical cleaning. Stubborn biological growth can be cleaned using a biocide application. As part of the terra cotta rehabilitation, miscellaneous non-historic non-functioning metal attachments and anchorages should be carefully removed, and holes patched. All damaged, deteriorated, unsound, missing, or inappropriate (too hard) mortar joints should be repointed with an appropriate lime-based mortar. Since all the terra cotta surfaces have been painted, it would be appropriate to either remove all the paint and restore the original terra cotta glazed finish or repaint with an appropriate breathable coating.

Wood windows are located at the third to ninth floors and are comprised of original wood frames and wood sash that have been replaced in-kind. While the sash are in good condition, they should be regularly inspected for hardware issues and leaks. The sealant joints should be regularly maintained and replaced as needed. The wood windowsills are in fair-to-poor condition and show signs of paint delamination and wood deterioration. The wood sills appear to be splitting and weathered. The paint should be removed from both the windowsills and at the lower portions of the frames as needed to repair deteriorated, weathered, and split wood. After the wood is repaired, the windows should be properly prepared, primed, and painted with appropriate breathable wood paint.

North and Northeast Facades (Rear)

The north and northeast façades should be rehabilitated, to include cleaning, repair, and repainting. Work should be undertaken to repair any deteriorated, unsound, debonded, missing and/or cracked cement plaster (and concrete substrate) as occurs. Cement plaster repairs should match the existing original cement plaster. Where corroded steel is found, the cement plaster and concrete substrate should be removed to repair the steel as necessary. Ferrous metal should be prepared, primed, and painted with corrosion inhibitive primer and paint. Exposed concrete and cement plaster should be prepared, primed, and painted with appropriate breathable paint.

The historic sheet metal windows at the 7th and 8th floors, and the original wood frames with replacement wood sash at the 9th floor are in good condition. They should be regularly inspected for hardware issues and leaks. The sealant joints should be regularly maintained and replaced as needed. Repair/replace deteriorated glazing putty and glazing sealants as needed. Replace cracked or damaged glass as needed to match the original. Prepare, prime, and paint the metal window

components with corrosion inhibitive paint, and the wood window components with appropriate breathable wood primer and wood paint. Clean, repair and/or replace broken or missing hardware including weather stripping and replace sash chains as needed to allow for proper operation.

The metal fire escape should be regularly inspected for signs of peeling paint, corrosion, and other deterioration. All corrosion should be removed, and the metal repaired as needed. A corrosion inhibitive primer and paint should be maintained to protect the metal, and the fire escape should be inspected regularly to comply with applicable codes.

East Façade

The paint at the east façade (currently a mural) is severely delaminated, and the east façade should be prepared, primed, and painted with appropriate breathable masonry primer and paint. The preparation should include removal or stabilization of all loose, flaking, delaminated, and unsound paint for proper application of new paint coatings. When painting, the cement plaster substrate should be assessed for deterioration, including deteriorated, unsound, debonded, spalled, and cracked cement plaster. It should be repaired with cement plaster to match the existing original. In areas where steel reinforcement is exposed or corroded, the steel should be coated with a corrosion inhibitive primer and paint system following corrosion removal and preparation. The façade should be regularly inspected for signs of deterioration and failing paint, and a good sound paint coating should be maintained.

Roof

The roof, parapet, penthouse walls, and lateral bracing, as well as the steel seismic bracing should be repaired and maintained. The water tank and structural steel tank support components are scheduled to be removed in 2024 during the construction phase of the building's residential conversion. When the tank is removed, damage at the vertical steel support structure encased in concrete should be repaired to treat rust-jacked and spalled concrete and underlying structural steel corrosion. Following the metal repair, the concrete should be repaired, and waterproofing should be repaired in conjunction with the repair / replacement of the roof system. Repair should be undertaken at damaged cement plaster and concrete and should include cleaning and removal of all biological growth, as well as repair to cracks, spalls, or other deterioration. Following repairs, the roof should be inspected regularly for damage/leaks at the roof membrane, for damage/cracks at cement plaster and concrete, corrosion of metal components, and for damaged flashings, seams, and failed sealants. Areas of noted damage should be promptly repaired as needed. The roof surface and drains should be cleaned regularly (annually at a minimum).

Interior

The interior concrete and masonry walls and the concrete ceilings (floor slabs) should be assessed and repaired where spalling, deteriorated material, and exposed steel structural steel occurs. At the masonry walls, the brick should be spot-pointed with compatible matching mortar if needed. Crack damage should be assessed by a structural engineer and repaired as recommended. Cracks should be regularly monitored for worsening conditions.

The masonry and concrete walls should be cleaned of efflorescence by dry brushing or vacuum, and areas of efflorescence should be monitored for any continued efflorescence, which may indicate issues with moisture infiltration. Efflorescence is particularly notable at the tenth floor (attic) and at basement locations. When found, the sources of the efflorescence and moisture infiltration should be investigated and corrected.

The building's interior lobbies should be inspected visually on an annual basis for signs of wear and damage. The historic terrazzo and marble floors should be inspected for cracks and signs of deterioration and repaired as needed. At the marble stairs between the first and second floors, spalled and cracked treads should be repaired. The historic stone, metal, and wood lobby stairs, and the mail chute, should be regularly cleaned and maintained. Plaster walls and ceilings should be maintained and repaired if deterioration or damage occurs.

SUPPLEMENTAL PHOTOGRAPHY



Photo A: Overall view of 988 Market Street façade. Mural along east façade visible at right side of image. Glass storefront visible at ground and second levels with terra cotta elements at the third through tenth levels.
(All photos taken by P&T 04/17/2023, unless otherwise noted)



Photo B: View of 988 Market Street, Taylor Street façade looking east. Glass and metal storefront systems with glass awning visible.

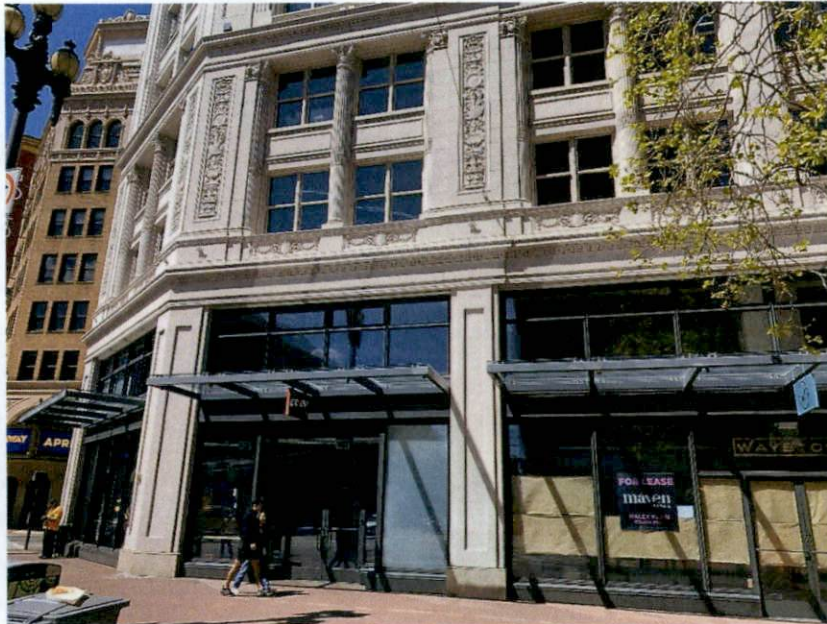


Photo C: View of granite wall base at ground level storefront entrance along Market Street elevation. Looking north.

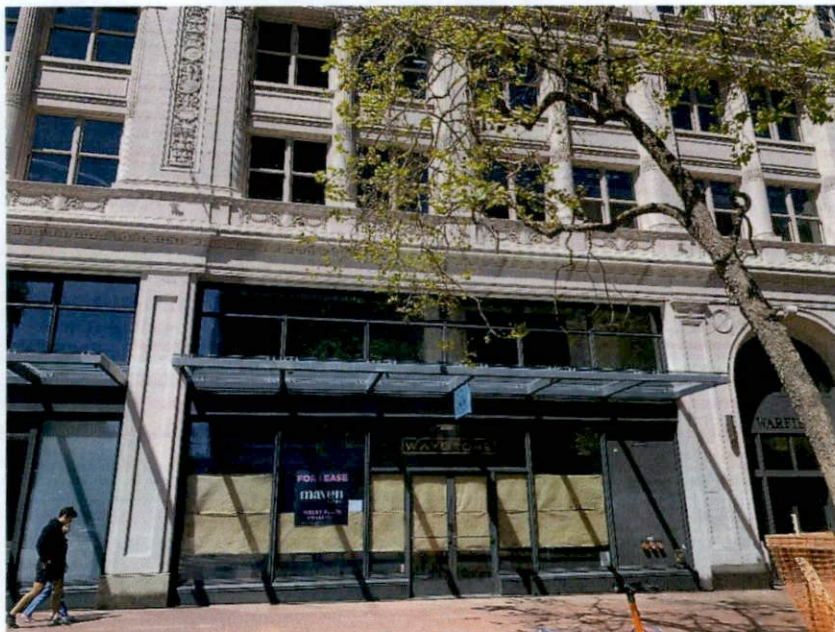


Photo D: View of granite wall base at ground level storefront entrance along Market Street elevation. Looking north.

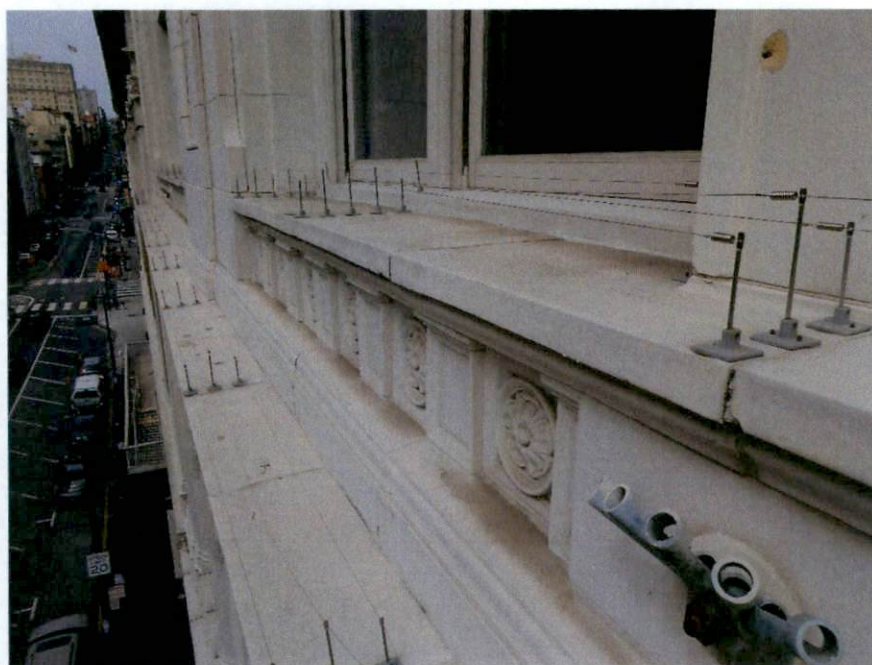


Photo E: View of Market Street elevation and terra cotta exterior. Looking west from outside 5th level window.

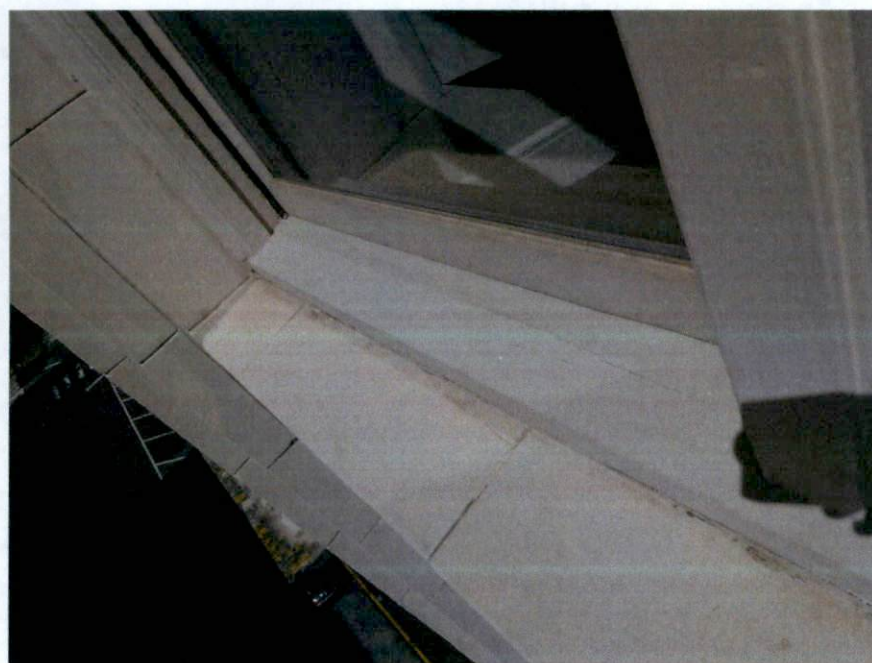


Photo F: Detail view of typical wood windowsill condition along Market Street façade. Looking south.

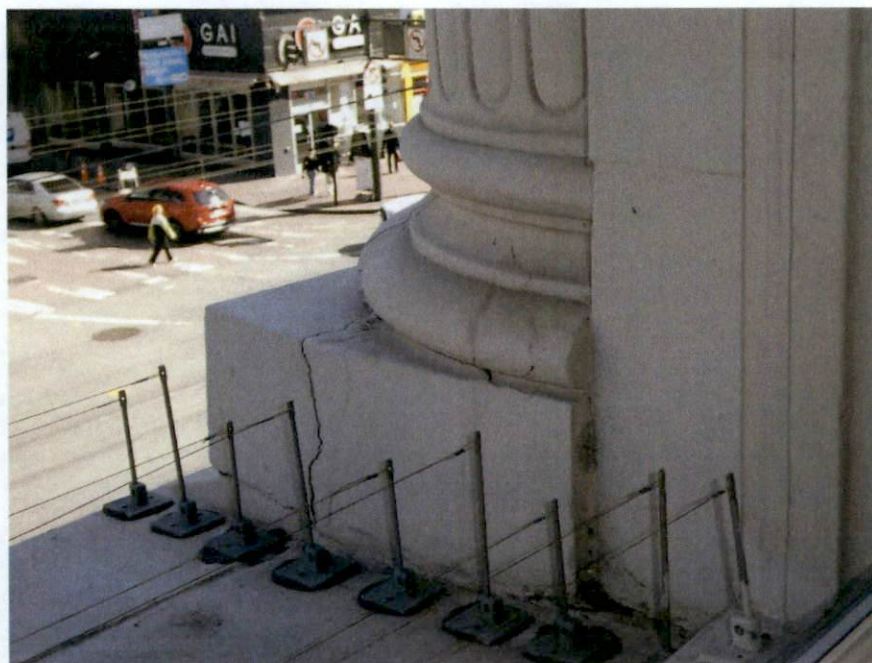


Photo G: Detail view of cracked spalling terra cotta seen at 3rd level window looking south from Market Street elevation.



Photo H: View of metal fire escape on north elevation between 7th level and rooftop. Looking south.



Photo I: View of cement plaster walls at north elevation. Cracking and deterioration of cement plaster visible. Looking south.



Photo J: View of sheet metal and wood window at north elevation looking south at 7th level exterior.



Photo K: View of metal fire escape spanning from 7th level up to roof. Looking south.

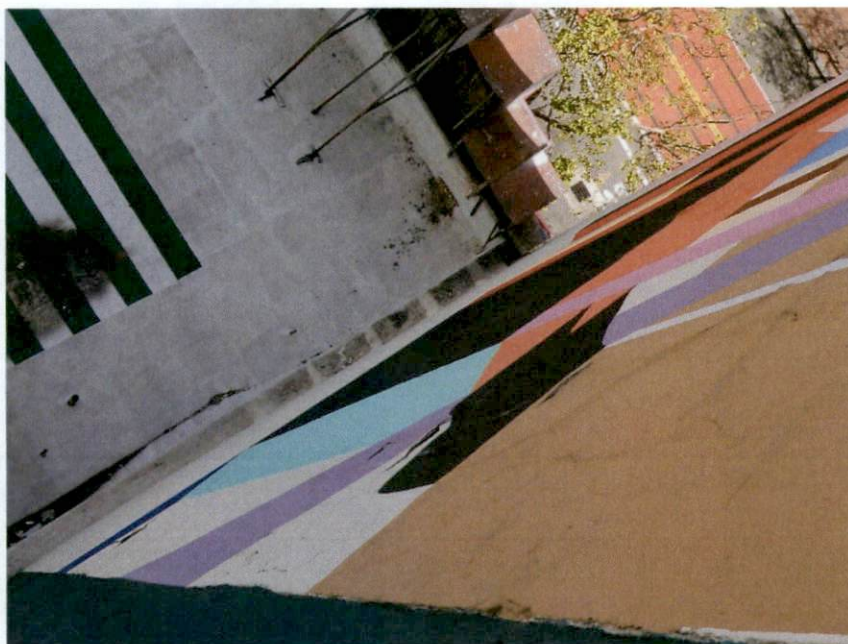


Photo L: Detail view of eastern cement plaster façade, looking southwest.



Photo M: Detail view of east exterior elevation seen from 7th level rooftop looking southwest. Cement plaster and paint are spalling.



Photo N: View of north façade looking south at cement plaster coated concrete walls.



Photo O: View of parapet stem wall at roof level. Image shows damage to cement plaster and asphalt coating and biogrowth.



Photo P: View of steel structure and water tank at roof level.



Photo Q: View of water tank and steel structural support members at upper-level roof. Looking south.



Photo R: View looking at roof area drains and roof membrane.



Photo R1: View of lateral bracing at upper parapet along Market Street façade.
Looking south.



Photo S: View looking at upper-level roof membrane.



Photo T: Interior first level lobby, looking northwest to elevator entrance.



Photo U: Interior first level lobby, looking southeast to front entrance.



Photo V: Detail view showing damage to marble stairs between 1st and 2nd levels.



Photo W: View of 7th level stair and elevator lobby. Looking west toward elevator entrance and mail chute. Typical interior condition for second through ninth levels.



Photo X: View of third level open office space looking southwest. Typical example of building interior in second through ninth levels.



Photo Y: Detail of brick masonry at concrete walls at 3rd level with exposed steel members and deteriorated mortar joints.



Photo Z: View of exposed steel at 5th level and cracked/ deteriorated concrete.

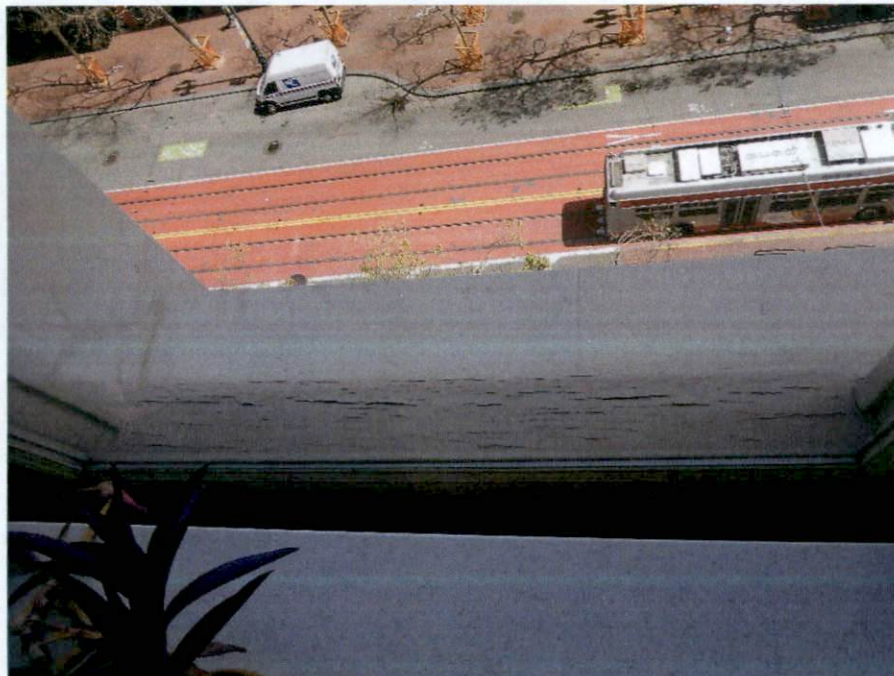


Photo AA: Detail view of deteriorating wood windowsill on sixth level along Market Street elevation, looking south.



Photo BB: View of basement level stair lobby.



Photo CC: View of basement level mechanical equipment and storage area.



Photo DD: View of concrete wall and ceiling at basement level in area that extends underneath city sidewalk.

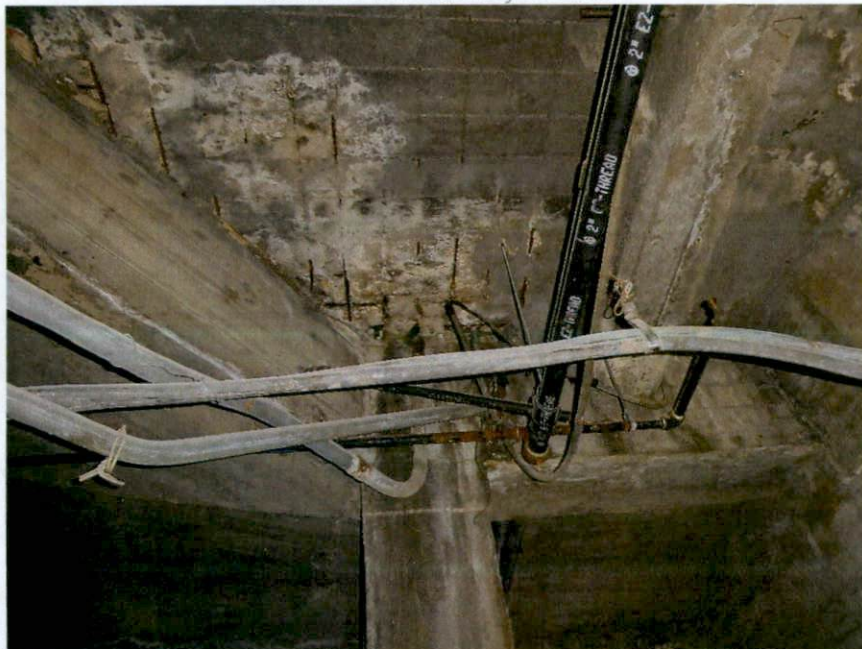


Photo EE: View of cracked concrete and efflorescence stains at basement level under sidewalk.



Photo FF: View of mechanical attic (tenth level) along interior of primary façade. Conditions of brick wall and efflorescence at concrete roof deck are typical throughout level.



Photo GG: View of ladder leading from mechanical attic up to roof deck above.



Photo HH: View of spalling, steel corrosion and efflorescence at mechanical attic 10th level. Typical representation of conditions.

Site Plan.
Source: Group i

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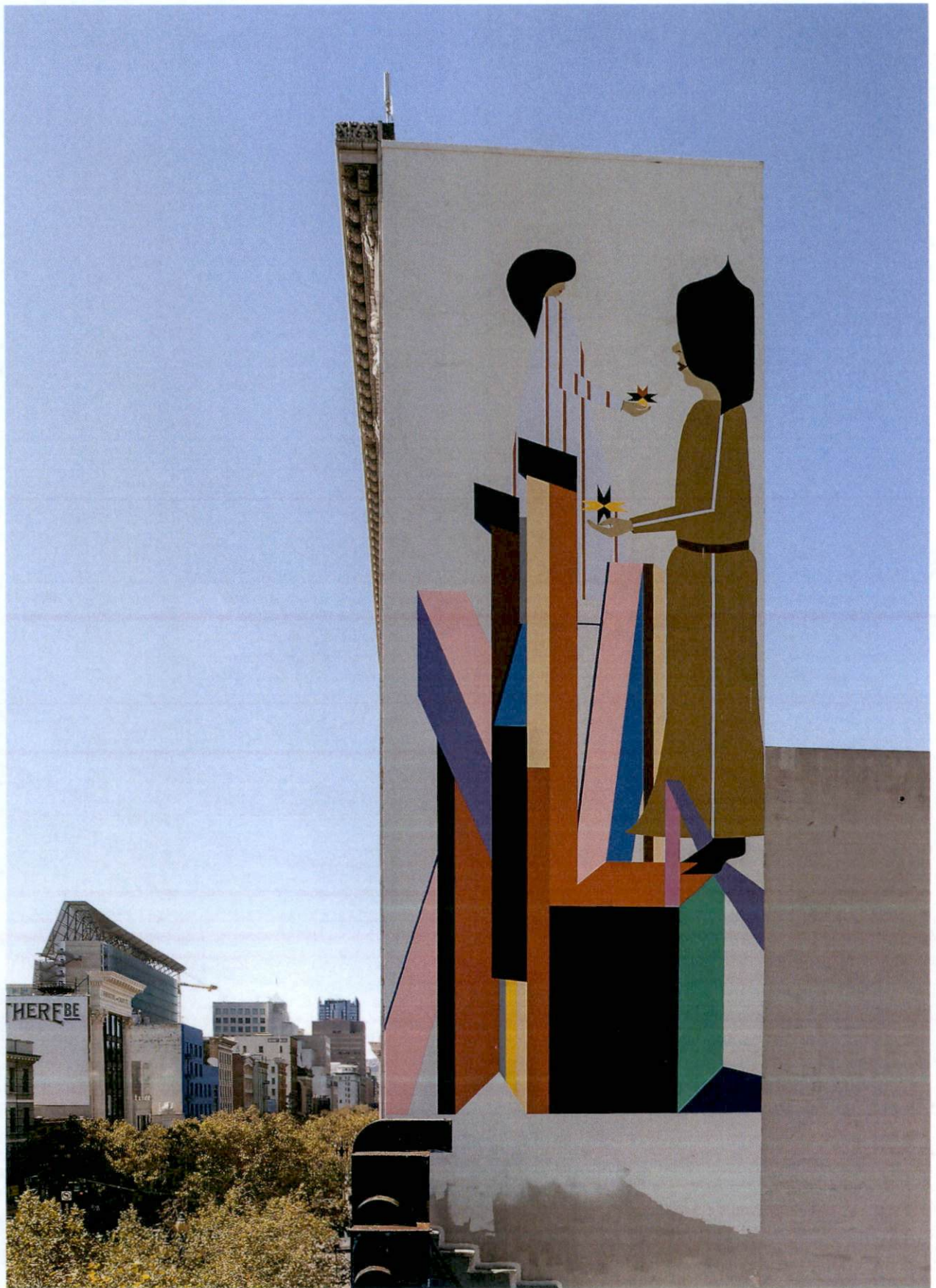
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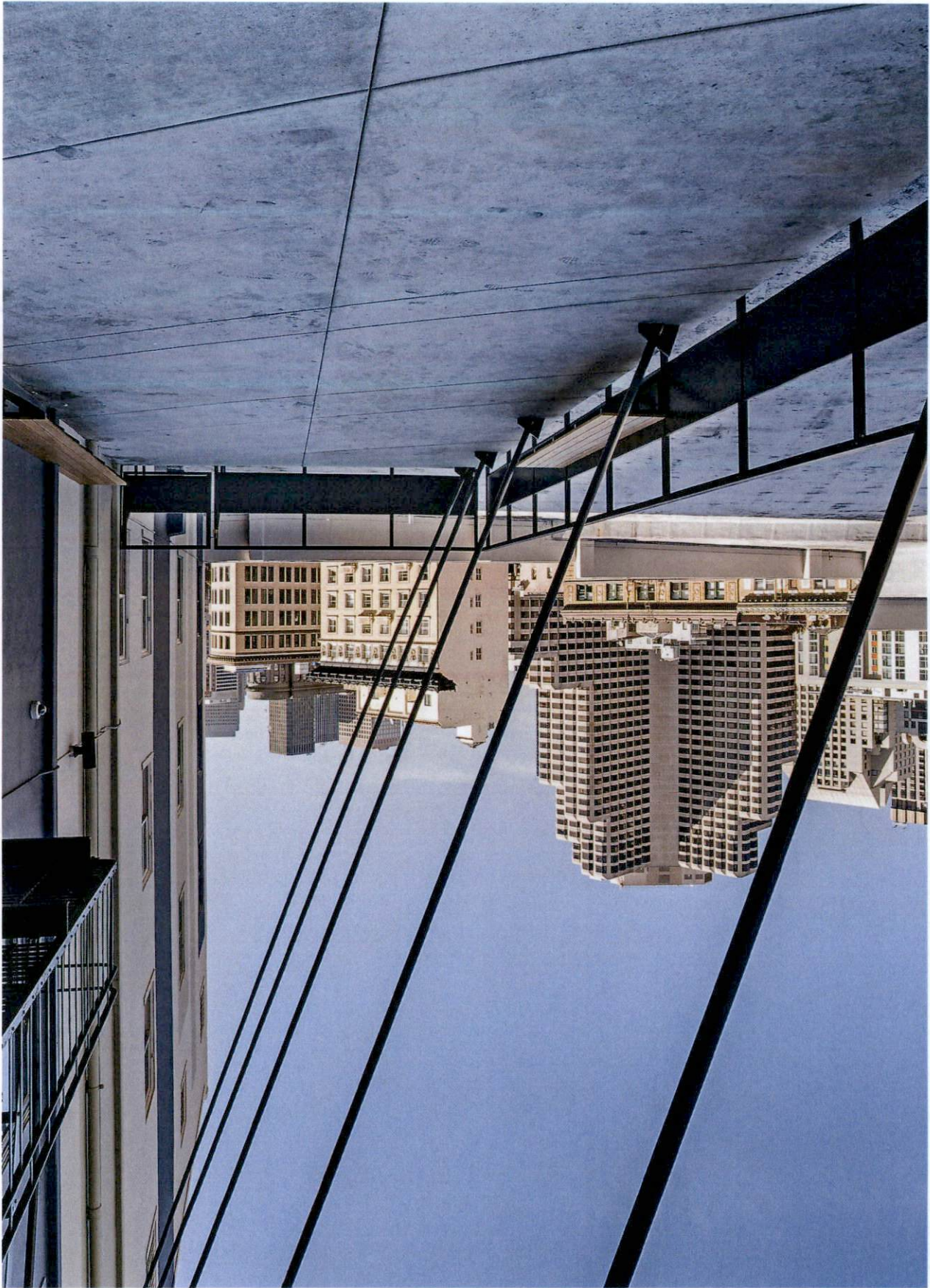
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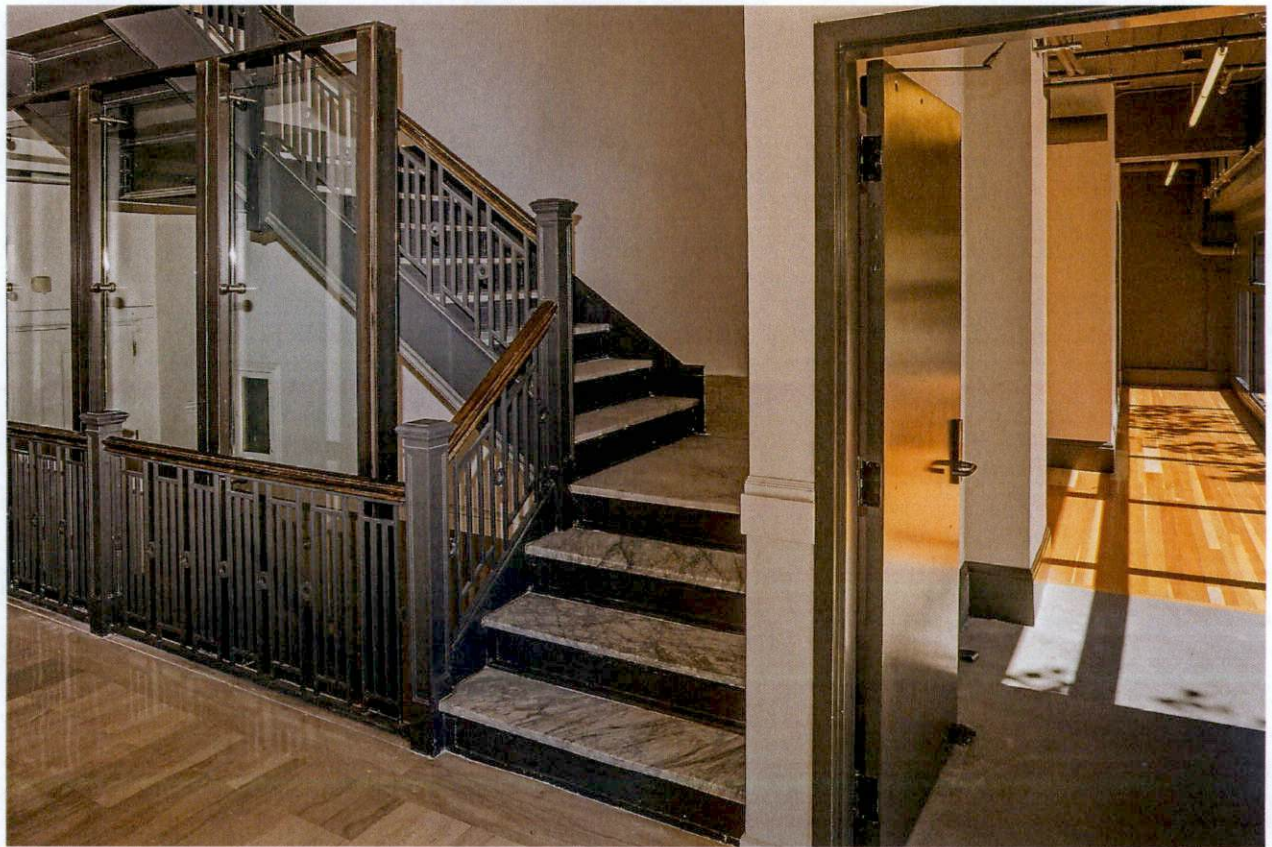




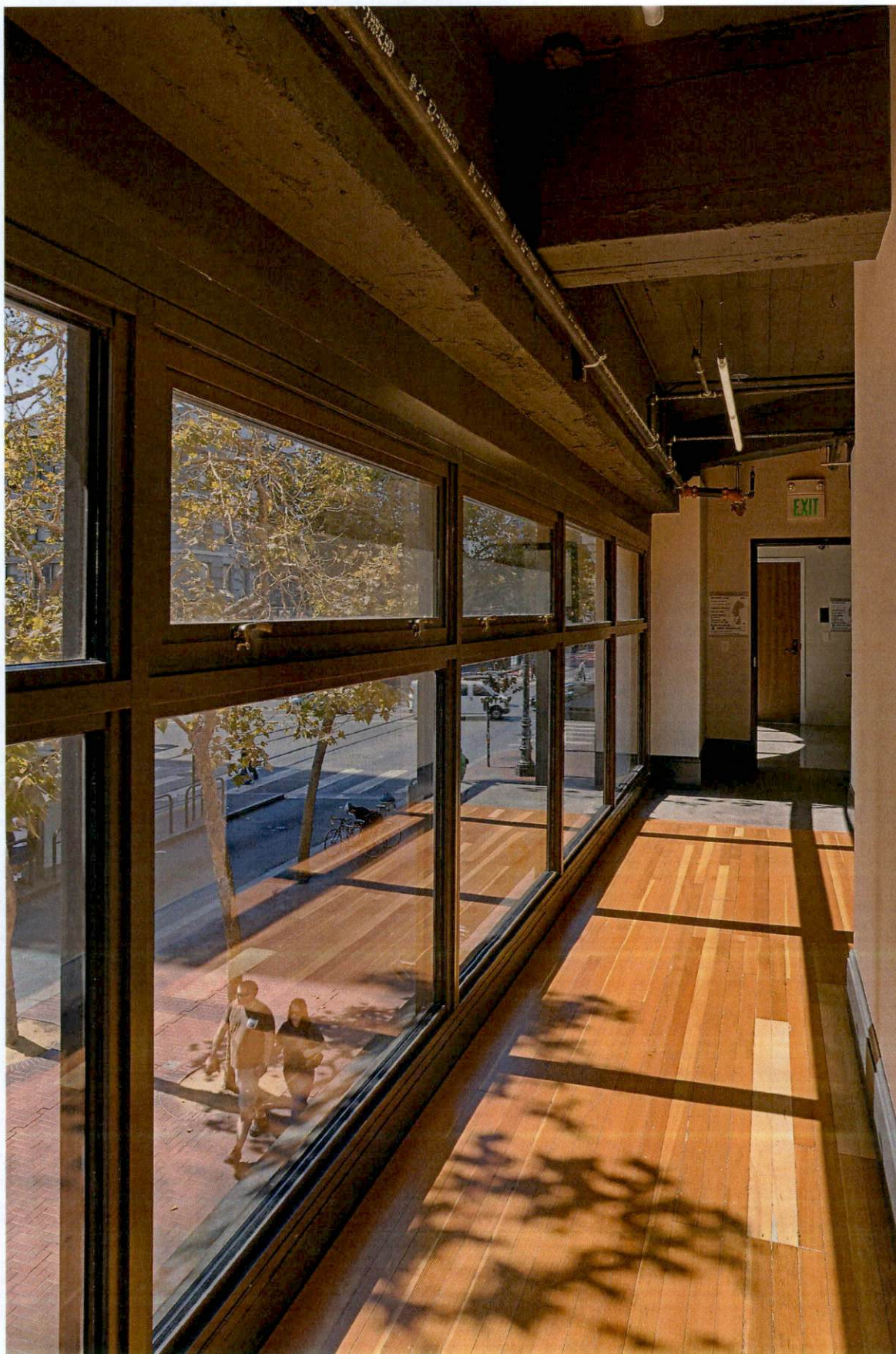








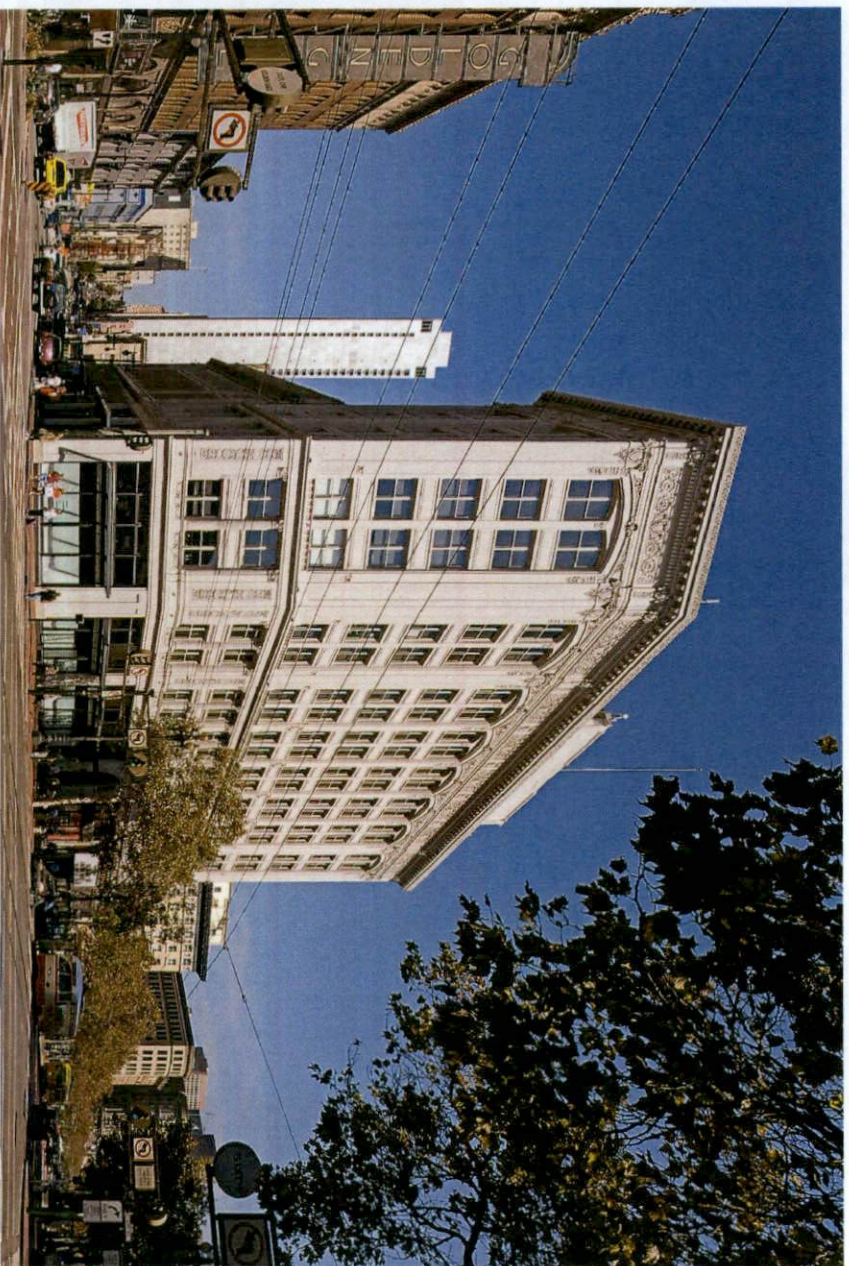








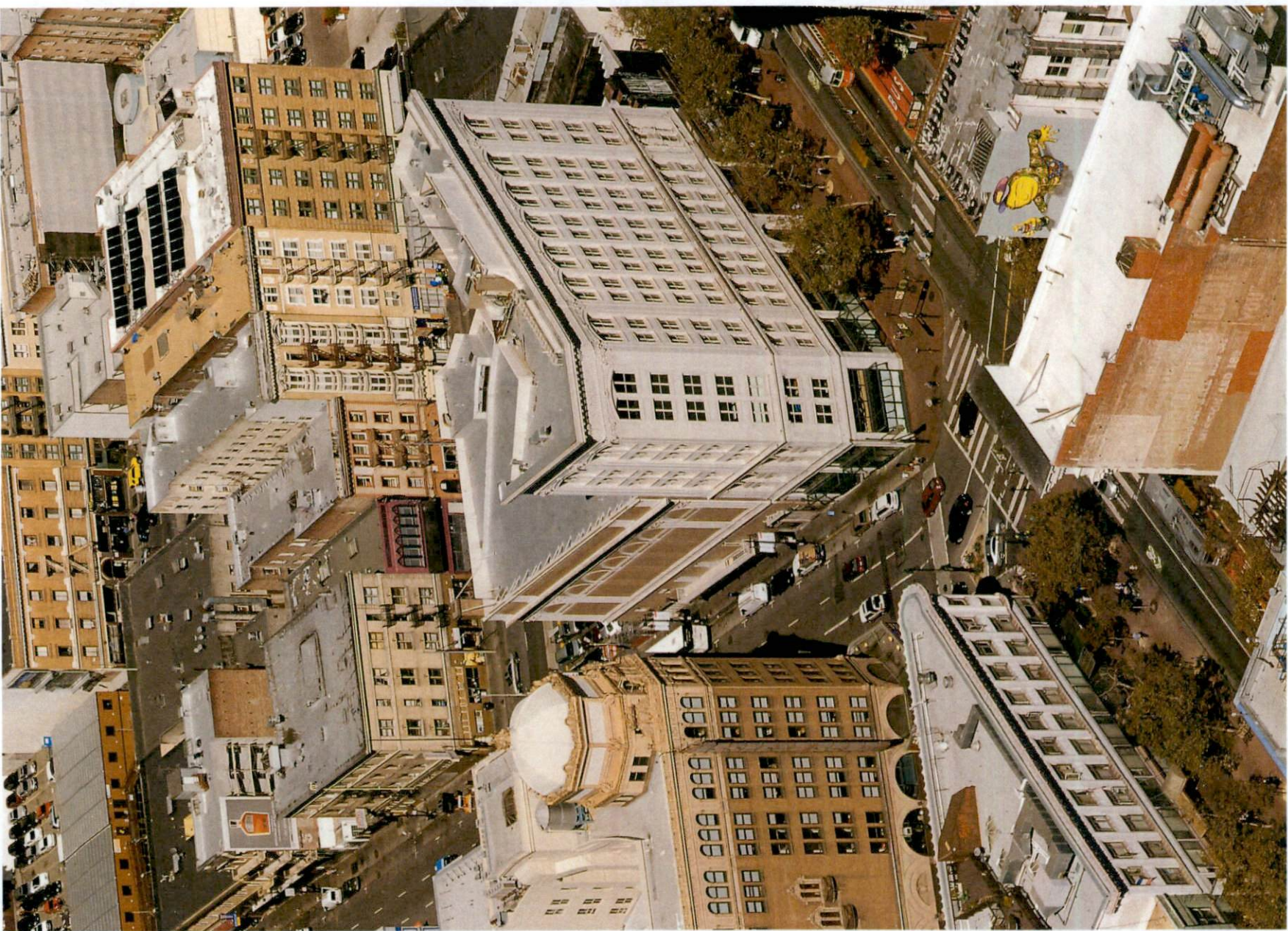














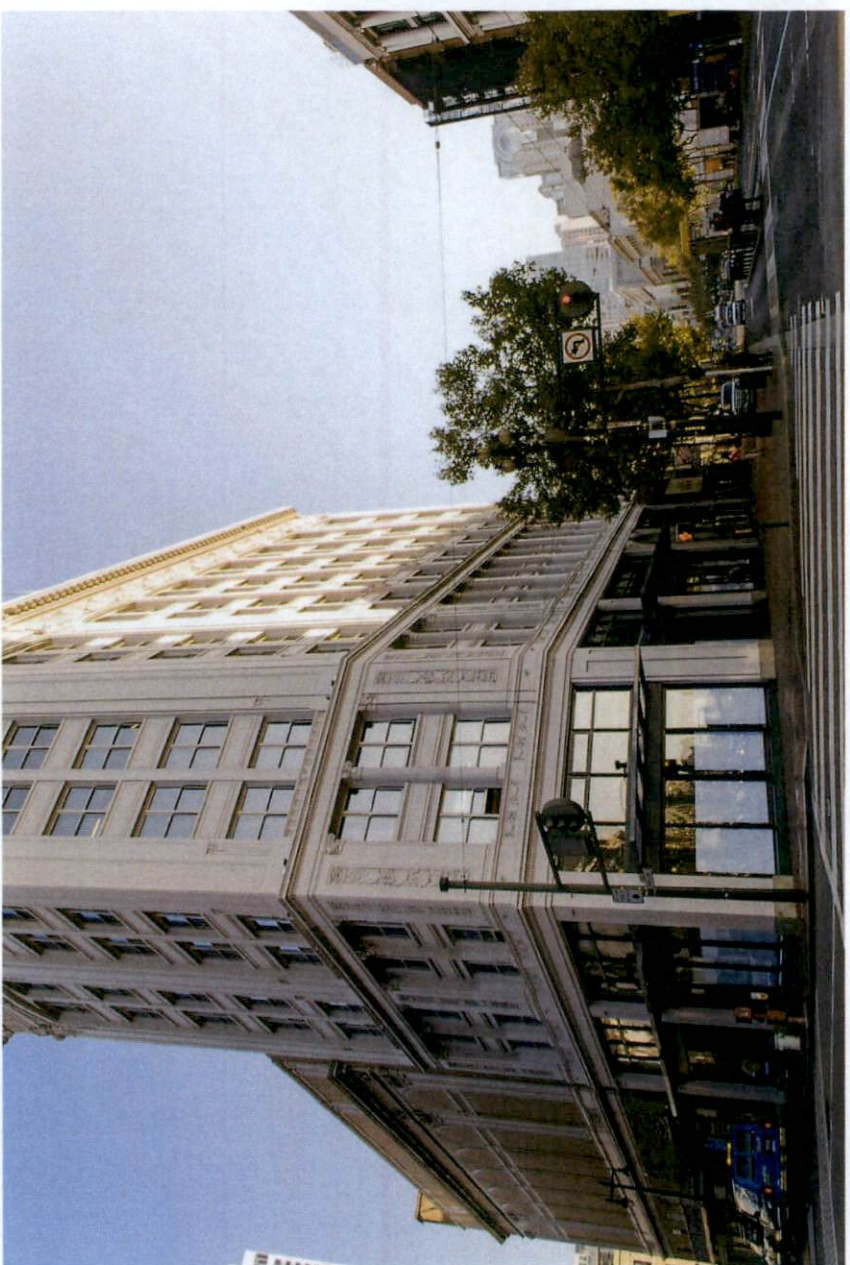












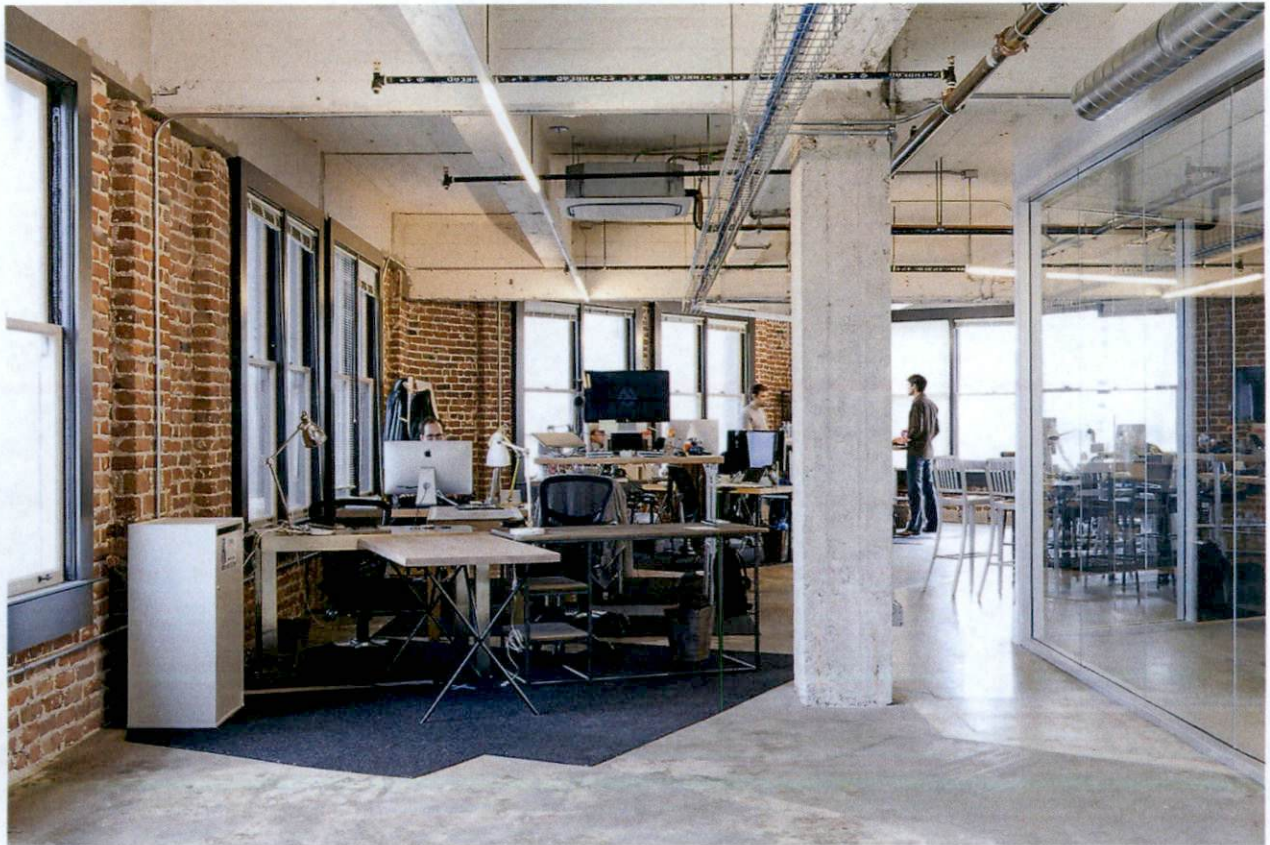


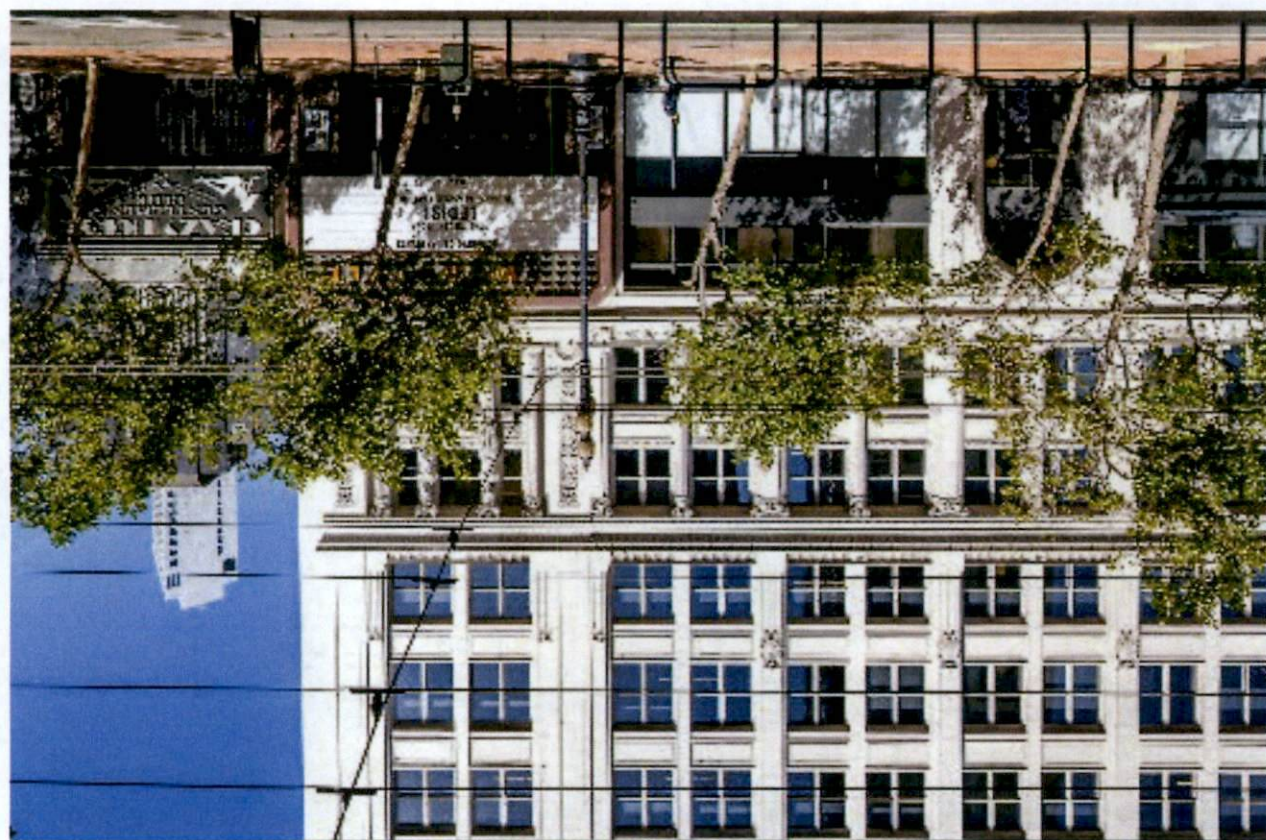




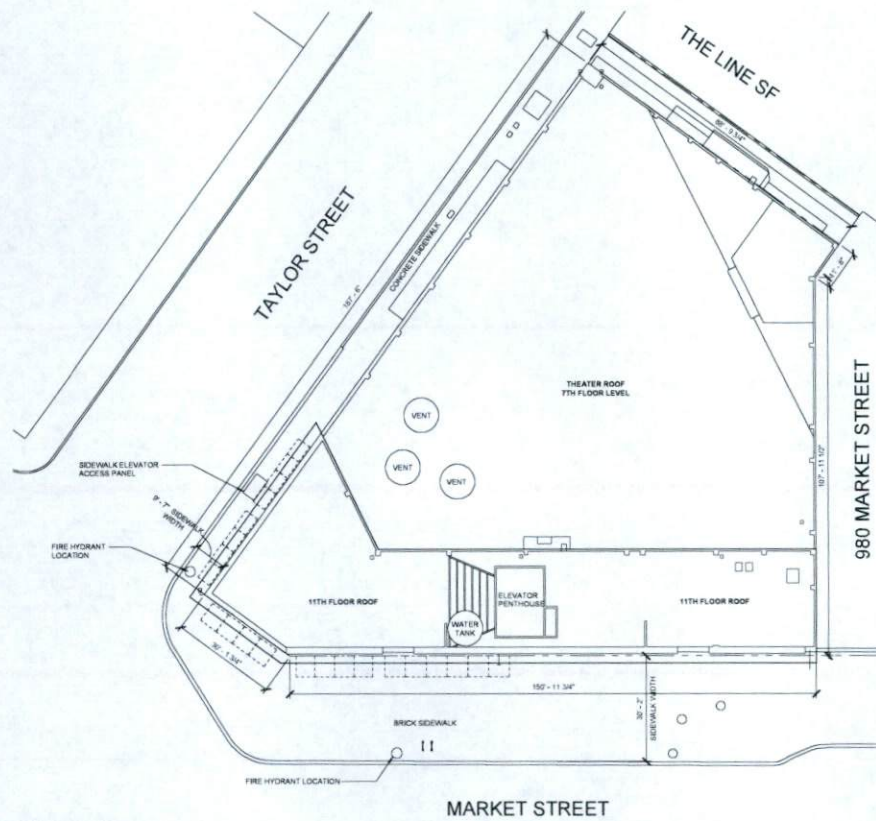








Site Plan



1 SITE PLAN
1/8" = 1'-0"