

# PLANNING COMMISSION MOTION NO. 21487

**HEARING DATE: JANUARY 11, 2024** 

Record No.: 2019-021884CUA

Project Address: 2500 MARIPOSA STREET (SFMTA Potrero Modernization Project)

**Zoning:** P (Public) Zoning District

65-X Height and Bulk District

**Block/Lot:** 3971 / 001 **Applicant:** Chris Jauregui

**Company:** Plenary Americas, Potrero Neighborhood Collective LLC

**Address:** 555 W. Fifth St., Suite 3150

City, State: Los Angeles, CA

**Property Owner/** 

**Sponsor:** City and County of San Francisco, SFMTA

**Address:** 1 S. Van Ness Ave., 7<sup>th</sup> Floor **City, Sate:** San Francisco, CA 94103

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ADOPTING FINDINGS RELATING TO A CONDITIONAL USE AUTHORIZATION FOR A PLANNED UNIT DEVELOPMENT PURSUANT TO PLANNING CODE SECTIONS 303 AND 304 TO DEMOLISH SFMTA'S EXISTING TWO-STORY BUS YARD FACILITY AND PARKING LOT AND CONSTRUCT AN APPROXIMATELY 1,240,000 SQUARE FOOT, 75-150 FOOT, MIXED-USE BUILDING THAT WILL CONTAIN PUBLIC TRANSPORTATION FACILITY AND PUBLIC UTILITY YARD USES FOR SFMTA'S NEW STATE-OF-THE-ART FACILITY, 465 DWELLING UNITS (72 STUDIOS, 159 ONE-BEDROOM, 157 TWO-BEDROOM, AND 77 THREE-BEDROOM), AND APPROXIMATELY 2,886 SQUARE FEET OF COMMERCIAL SPACE ("PROJECT") WITH A MODIFICATION TO THE REQUIREMENTS FOR ACTIVE USE ( PLANNING CODE SECTION 145.1) AND OFF-STREET FREIGHT LOADING SPACES (PLANNING CODE SECTION 152) AND AN ALTERNATIVE PROPOSAL ("PARATRANSIT VARIANT") THAT CONSTRUCTS AN ADDITIONAL APPROXIMATELY 23,809 SQUARE FEET OF AREA AT THE FIFTH LEVEL WHICH WILL BE DEDICATED TO SFMTA'S PARATRANSIT DIVISION AND REDUCES THE NUMBER OF DWELLING UNITS FROM 465 TO 104 LOCATED AT 2500 MARIPOSA STREET, BLOCK 3971 LOT 001 WITHIN THE P (PUBLIC) ZONING DISTRICT, POTRERO YARD SPECIAL USE DISTRICT (SUD), AND 150-PY HEIGHT AND BULK DISTRICT, AND ADOPTING FINDINGS UNDER THE CALIFORNIA ENVIRONMENTAL QUALITY ACT.

# **PREAMBLE**

On November 20, 2019, San Francisco Municipal Transportation Agency (SFMTA) (hereinafter "Property Owner") filed an Environmental Evaluation Application No. 2019-021884ENV with the Planning Department (hereinafter "Department") for a Project at 2500 Mariposa Street (hereinafter "Project Site"), Block 3971 Lot 001.

The City and County of San Francisco, acting through the Planning Department (hereinafter "Department") fulfilled all procedural requirements of the California Environmental Quality Act (Cal. Pub. Res. Code Section 21000 et seq., hereinafter "CEQA"), the State CEQA Guidelines (Cal. Admin. Code Title 14, Section 15000 et seq., hereinafter "CEQA Guidelines") and Chapter 31 of the San Francisco Administrative Code (hereinafter "Chapter 31").

The Department determined that an environmental impact report (hereinafter "EIR") was required and provided public notice of that determination by publication in a newspaper of general circulation on August 19, 2020. On the same date, the Department submitted the notice of preparation of an EIR and notice of public scoping meeting to the state Office of Planning and Research electronically, and emailed or mailed the notice to the Department's list of persons requesting such notice, and to owners and occupants of properties within 300 feet of the project site on August 19, 2020.

On September 2, 2020, the Department held a virtual public scoping meeting by Zoom conference and telephone to receive public comments on the scope of the environmental analysis in the EIR for the project.

On June 30, 2021, the Department published the draft EIR (hereinafter "DEIR") and provided public notice in a newspaper of general circulation of the availability of the DEIR for public review and comment and of the date and time of the Planning Commission public hearing on the DEIR; the Department emailed or mailed the notice to the Department's list of persons requesting such notice, and to property owners and occupants within a 300-foot radius of the site on June 30, 2021.

On August 26, 2021, the San Francisco Planning Commission (hereinafter "Commission") held a duly noticed public hearing on the Draft Environmental Impact Report ("DEIR"), at which opportunity for public comment was given, and public comment was received on the DEIR. The period for commenting on the DEIR ended on August 31, 2021. The Department prepared responses to comments on environmental issues received during the 62-day public review period for the DEIR, prepared revisions to the text of the DEIR in response to comments received or based on additional information that became available during the public review period and corrected clerical errors in the DEIR.

On June 26, 2023, Chris Jauregui, J Plenary Americas, Potrero Neighborhood Collective LLC (hereinafter "Project Sponsor") filed Application No. 2019-021884CUA (hereinafter "Application") with the Planning Department (hereinafter "Department") for a Conditional Use Authorization for a Planned Unit Development to demolish SFMTA's existing two-story bus yard facility and parking lot located at 2500 Mariposa Street and construct an approximately 1,240,000 square foot, 75-150 foot, mixed-use building that will contain Public Transportation Facility and Public Utility Yard Uses for SFMTA's new state-of-the-art facility, 465 dwelling units (72 Studios, 159 One-Bedroom, 157 Two-Bedroom, and 77 Three-Bedroom), and approximately 2,886 square feet of commercial space (hereinafter "Project") and an alternative proposal (hereinafter "Paratransit Variant") that constructs an additional approximately 23,809 square feet of area at the fifth level which will be dedicated to SFMTA's Paratransit division and reduces the number of dwelling units from 465 to 104 at 2500 Mariposa Street, Block 3971 Lot 001.



On December 13, 2023, the Planning Department published a Response to Comments ("RTC") on the DEIR. A Final Environmental Impact Report (hereinafter "FEIR") has been prepared by the Department, consisting of the DEIR, any consultations and comments received during the public review process, any additional information that became available, and the RTC document, all as required by law.

On January 11, 2024, the Commission reviewed and considered the information contained in the FEIR and hereby does find that the contents of said report and the procedures through which the FEIR was prepared, publicized, and reviewed comply with the provisions of CEQA, the CEQA Guidelines, and Chapter 31 of the San Francisco Administrative Code. The FEIR was certified by the Commission on January 11, 2024 by adoption of its Motion No. 21482.

On January 11, 2024, the San Francisco Planning Commission (hereinafter "Commission") conducted a duly noticed public hearing at a regularly scheduled meeting on Conditional Use Authorization Application No. 2019-021884CUA.

The Planning Department Commission Secretary is the Custodian of Records; the File for Record No. 2019-021884CUA is located at 49 South Van Ness Avenue, Suite 1400, San Francisco, California.

The Commission has heard and considered the testimony presented to it at the public hearing and has further considered written materials and oral testimony presented on behalf of the applicant, Department staff, and other interested parties.

**MOVED,** that the Commission hereby authorizes the Conditional Use Authorization as requested in Application No. 2019-021884CUA subject to the conditions contained in "EXHIBIT A" of this motion, based on the following findings:

# **FINDINGS**

Having reviewed the materials identified in the preamble above, and having heard all testimony and arguments, this Commission finds, concludes, and determines as follows:

- 1. The above recitals are accurate and constitute findings of this Commission.
- 2. Project Description. The proposal ("The Project") will demolish SFMTA's existing two-story bus yard facility and parking lot located at 2500 Mariposa Street and construct an approximately 1,240,000 square foot mixed-use building, ranging from 75-150 feet in height, that will contain Public Transportation Facility and Public Utility Yard Uses for SFMTA's new state-of-the-art facility (approximately 710,437 square feet), 465 dwelling units (72 Studios, 159 One-Bedroom, 157 Two-Bedroom, and 77 Three-Bedroom for a total of approximately 520,671 square feet), and approximately 2,886 square feet of ground floor commercial space. Designed to accommodate SFMTA's current and future bus maintenance, operation, and administrative needs, the first four levels of the building (up to 75 feet in height) will be a modern, energy-efficient, and seismically safe facility that includes bus maintenance, storage, and repair spaces as well as employee training and support areas. The remaining portions of the building, including areas up to 150 feet in height, will be dedicated to the construction of the residential joint development between SFMTA



and Potrero Neighborhood Collective (PNC). In addition to the proposed building, the Project will also include the construction of street improvements including new bulbouts, ADA ramps, street trees, Class 2 bicycle parking spaces, and the addition of on-street passenger and commercial loading spaces along Hampshire and Bryant Streets. A public restroom will be constructed within the building at the corner of Bryant and 17th Street.

An alternative proposal is being proposed known as the "Paratransit Variant". In addition to the proposed four levels dedicated to SFMTA's facility, this proposal would extend the SFMTA facility onto the fifth level for a total of approximately 734,246 square feet. The additional approximately 23,809 square feet of area will be dedicated to SFMTA's Paratransit division and include additional building massing for administrative and operation spaces, and paratransit vehicle storage, operation, and circulation areas. The Paratransit Variant proposal includes the construction of 104 dwelling units and 2,886 square feet of commercial space along with the street improvements and public restroom. The dwelling units will be concentrated in a 13-story building along the Bryant Street frontage.

# **Project Phasing**

The Project is proposed to be constructed in three distinct phases. The first phase will include the construction of the first four levels for SFMTA's facility and is expected to last three years, from late 2024 to late 2027. The second phase will include the construction of the housing component along Bryant St. up to the fourth level, podium level. Construction for the second phase is expected to span two years and start one to two years after the start of construction on the first phase. Lastly, the third phase will construct the remaining housing component atop the podium level (both the remaining housing along Bryant St. and workforce housing along Hampshire St.) and is expected to span two years and start no sooner than two years after the start of the first phase. Phases 2 and 3 may also be constructed concurrently after the completion of SFMTA's facility.

The Project Sponsors intend to deliver all dwelling units at an affordable rate. Thus, the Paratransit Variant would only be eligible to move forward after the completion of SFMTA's facility and first phase and after a specified timeframe by which all readily available funding sources have been exhausted to construct additional housing beyond the 104 units included in the Paratransit Variant. The specified timeframes are to be outlined in the associated Project Agreements.

3. Site Description and Present Use. The subject property is an approximately 4.4 acre (192,000 square foot) rectangular shaped lot located within the northeast portion of San Francisco' Mission neighborhood. Bounded by 17<sup>th</sup> Street to the north, Mariposa Street to the south, Hampshire Street to the east, and Bryant Street to the west, the subject property occupies an entire block and is equivalent to two typical city blocks, 200 feet by 400 feet. Owned by the City, the current site is occupied by San Francisco Municipal Transportation Agency's (SFMTA) Potrero Yard. Developed in 1915, the site is home to SFMTA's oldest and most outdated maintenance and operations bus facility. The eastern half of the subject property is occupied by two independent maintenance and office buildings and the remainder of the property is utilized as a surface parking lot for bus storage and circulation. Originally designed for the operation and storage of streetcars and later tailored for trolley buses, the facility known as "Potrero Trolley Coach Division Facility" was evaluated as part of the Project's Environmental Impact Report process and was determined to be a "Class A- Historical Resource".



- 4. Surrounding Properties and Neighborhood. The subject property is located within the Public (P) Zoning District, 65-X Height and Bulk District, and Mission Area Plan. The property is located within the Mission neighborhood, adjacent to the South Market and Potrero Hill neighborhoods. The immediate neighborhood's context is predominantly mixed in character with one-to-five story mixed-use, residential and commercial/industrial developments. Immediately to the north of the subject property is Franklin Square Park. Other zoning districts in the vicinity of the subject property include RH-3 (Residential-House, Three-Family), PDR-1-G (Production, Design, and Repair, 1-General), and UMU (Urban Mixed-Use) Zoning Districts.
- 5. Public Outreach and Comments. The Project's descriptions and objectives are the result of more than five years of continued community outreach and stakeholder engagement to envision a joint development that that serves SFMTA, the City's workforce, the community, and reflects the values of the immediate neighborhood and City. The Project's procurement documents reflect stakeholder input with regards to public benefits, principles, design guidelines, and housing component affordability. A key to this outreach effort is the creation and convening of the Potrero Yard Working Group, an advisory body made up of local residents, SFMTA employees, and other stakeholders. Since November 2022, SFMTA has teamed up with their joint development partner, Potrero Neighborhood Collective (PNC), to continue refining the Project's design in reflection of their outreach efforts with the community and other stakeholders. More than 140 public meetings, tours, working sessions etc. have been held since the inception of the Project in 2017. To date, the Department has received eleven letters in support and no letters in opposition of the Project.
- **6. Planning Code Compliance.** The Commission finds that the Project is consistent with the relevant provisions of the Planning Code in the following manner:
  - A. Use. Per Planning Code Section 211-211.2 principally permits public structures and uses of the City and County of San Francisco, and of other governmental agencies that are subject to regulation by this Code, including Neighborhood Agriculture.
    - The Project and Paratransit Variant will comply with this requirement. Both proposals will construct a Public Transportation Facility and Utility Yard to be used by SFMTA.
  - B. Residential Use. Pursuant to Planning Code Section 249.98, Potrero Yard Special Use District, Residential Uses may be permitted at the subject property via the issuance of Conditional Use Authorization for a Planned Unit Development pursuant to Planning Code Sections 303 and 304.
    - The Project and Paratransit Variant propose to construct at minimum 104 dwelling units via joint development between SFMTA and their Joint Development Partner, PNC. Therefore, the Project and Paratransit Variant seek a Conditional Use Authorization for a Planned Unit Development (PUD) pursuant to Planning Code Sections 303 and 304. The additional criteria specified under Section 304 have been incorporated as findings in Subsection 8, "Planned Unit Development Findings" below.
  - C. Useable Open Space. Pursuant to Planning Code Section 249.98, Potrero Yard Special Use District, each dwelling unit shall have access to 80 square feet of private or common usable open space or 54 square feet of publicly accessible usable open space. In the event that Public Facilities or Public Transportation Facilities are constructed on portions of the building above 75 feet in height, the



amount of usable open space required for each dwelling unit shall be reduced to 50 square feet of private or common usable open space.

The Project and Paratransit Variant will comply with this requirement. The Project will provide at minimum 80 square feet of common usable open space for each dwelling unit. A total of approximately 94,952 square feet of usable open space will be provided at podium level in the form of a large outdoor open area that features a variety of programming including workout spaces, gathering spaces, community gardens, and a dog run. The Paratransit Variant will provide at minimum 50 square feet of common usable open space. A total of approximately 6,000 square feet of usable open space in the form of roof decks.

D. Dwelling Unit Exposure. Pursuant to Planning Code Section 140, each dwelling unit shall contain a room measuring at minimum 120 square feet in area with required windows (as defined by the Section 504 of the San Francisco Housing Code) that face directly onto one of the following open areas: an open area which is unobstructed and is no less than 25 feet in every horizontal dimension for the floor at which the dwelling unit in question is located and the floor immediately above it, with an increase of five feet in every horizontal dimension at each subsequent floor, a public street; a public alley of at least 20 feet in width; a side yard of at least 25 feet in width; or a rear yard meeting the requirements of the Planning Code.

The Project and Paratransit Variant complies with this requirement. All proposed dwelling units will contain a room measuring at minimum 120 square feet in area with required windows facing onto either a public street or an open area which is unobstructed and is no less than 25 feet in every horizontal dimension for the floor at which the dwelling unit in question is located and the floor immediately above it, with an increase of five feet in every horizontal dimension at each subsequent floor.

E. Street Frontage. Pursuant to Planning Code Section 249.98, Potrero Yard Special Use District, non-public uses shall be subject to Section 145.1(c)(3,6,7) of the Planning Code that requires an active use to be provided within the first 25 feet of building depth on the ground floor along Bryant Street, 17<sup>th</sup> Street, and Hampshire Street. Frontages with active uses must be fenestrated with transparent windows and doorways for no less than 60 percent of the street frontage at the ground level and allow visibility to the inside of the building. The use of dark or mirrored glass shall not count towards the required transparent area. Any decorative railings or grillwork, other than wire mesh, which is placed in front of or behind ground floor windows, shall be at least 75 percent open to perpendicular view. Rolling or sliding security gates shall consist of open grillwork rather than solid material, so as to provide visual interest to pedestrians when the gates are closed, and to permit light to pass through mostly unobstructed. Gates, when both open and folded or rolled as well as the gate mechanism, shall be recessed within, or laid flush with, the building facade.

The Project and Paratransit Variant will not comply with Planning Code Section 145.1(c)(3), Active Use. While the Project and Paratransit Variant will provide a residential unit, residential lobbies and amenity spaces, and retail spaces at the ground floor of the proposed building, the spaces will not be greater than 25 feet in depth. Therefore, the Project and Paratransit Variant seeks a modification from the Active Use requirement under the Planned Unit Development (PUD). The additional criteria specified in Section 304(d) have been incorporated as findings of this motion. See Item No. 8, "Planned Unit Development



Findings."

The Project and Paratransit Variant, however, will comply with Planning Code Section 145.1(c)(6) which requires no less than 60 percent transparency and 145.1(c)(7) which requires decorative railings or grillwork, other than wire mesh, which is placed in front of or behind ground floor windows, shall be at least 75 percent open to perpendicular view.

F. Off-Street Freight Loading. Pursuant to Planning Code Section 152, zero off-street freight loading space is required for up to 10,000 square feet of occupied floor area for Retail Sales and Services Uses and two spaces are required for up to 500,000 square feet of occupied floor area or three spaces plus one for each additional 400,000 sq. ft. for all other uses over 500,000 square feet not included in Retail Sales and Service Use.

The Paratransit Variant will comply with this requirement. The Paratransit Variant will provide two off-street freight loading spaces for a maximum occupied floor area of approximately 298,953 square feet. Similarly, the Project will provide two off-street freight loading spaces. However, with approximately 634,453 square feet of occupied floor area, the Project is required to provide at minimum four off-street freight loading spaces. Therefore, the Project seeks a modification from the off-street loading requirement under the Planned Unit Development (PUD). The additional criteria specified in Section 304(d) have been incorporated as findings of this motion. See Item No. 8, "Planned Unit Development Findings."

**G.** Off-Street Parking. Planning Code Section 151 does not require a minimum number of off-street parking spaces and permits a maximum of 1.5 parking space for each dwelling unit and each 500 square feet of Occupied Floor Area of Retail Sales and Service Use, and one space for each 2,000 square feet of Occupied Floor Area for Utility and Infrastructure Uses.

The Project and Paratransit Variant will not provide any off-street parking spaces. Therefore, the Project and Paratransit Variant comply with this requirement.

H. Bicycle Parking. Planning Code Section 155.2 requires at least one Class 1 bicycle parking space be provided for each dwelling unit. For buildings containing more than 100 Dwelling Units, 100 Class 1 spaces plus one Class 1 space for every four Dwelling Units over 100. One Class 2 bicycle parking space shall be provided for every 20 dwelling units. In addition, one Class 1 space shall also be provided for every 7,500 square feet of Retail Sales and Service Use Occupied Floor Area and at minimum two Class 2 bicycle parking spaces. No bicycle parking spaces are required for Utility and Infrastructure Uses.

The Project and Paratransit Variant will comply with this requirement. The Project will provide 279 Class 1 bicycle parking spaces, 192 spaces are required, and 32 Class 2 bicycle parking spaces, 25 are required. The Paratransit Variant will provide 114 Class 1 bicycle parking spaces, 105 are required, and 14 Class 2 bicycle parking spaces, 7 are required.

I. Showers Facilities and Lockers. Pursuant to Planning Code Section 155.4 four showers and 24 lockers are required when the Occupied Floor Area (OFA) exceeds 50,000 square feet for Institutional Uses and Non-Retail Sales and Service Uses.



The Project and Paratransit Variant will comply with this requirement. The Project and Paratransit Variant will provide at minimum four showers and 24 lockers for the utilization of SFMTA's employees.

J. Dwelling Unit Mix. Pursuant to Planning Code Section 249.98, Potrero Yard Special Use District, the dwelling unit mix requirements shall be those applicable to the Eastern Neighborhood Mixed Use District under Planning Code Section 207.6 which requires one of the three to apply: (1) no less than 40% of the total number of proposed Dwelling Units shall contain at least two bedrooms. Any fraction resulting from this calculation shall be rounded to the nearest whole number of Dwelling Units, or (2) no less than 30% of the total number of proposed Dwelling Units shall contain at least three bedrooms. Any fraction resulting from this calculation shall be rounded to the nearest whole number of Dwelling Units, or (3) no less than 35% of the total number of proposed Dwelling Units shall contain at least two or three bedrooms with at least 10% of the total number of proposed Dwelling Units containing three bedrooms. Any fraction resulting from this calculation shall be rounded to the nearest whole number of Dwelling Units.

The Project and Paratransit Variant will comply with this requirement. Fifty percent of the Project's units will contain at least two or three bedrooms, 17 percent of which will contain at least three bedrooms. The Project will provide 465 dwelling units with a unit mix of 72 studios, 159 one-bedroom, 157 two-bedroom, and 77 three-bedroom, and therefore provide more than 35 percent of units with at least two or three bedrooms with at least 10 percent to be three bedrooms. Sixty five percent of the Paratransit Variant's units will contain at least two or three bedrooms, 27 percent of which will contain at least three bedrooms. The Paratransit Variant will provide 104 dwelling units with a unit mix of 13 studios, 23 one-bedroom, 40 two-bedroom, and 28 three-bedroom, and therefore provide more than 35 percent of units with at least two or three bedrooms with at least 10 percent to be three bedrooms.

K. Height. Planning Code Section 260 requires that all structures be no taller than the height prescribed in the subject height and bulk district. The proposed Project is located in a 150-PY Height and Bulk District, with a 150-foot height limit as measured from Mariposa Street.

The Project and Paratransit Variant will comply with this requirement. The proposed building in the Project and Paratransit Variant will be no greater than 150 feet in height.

L. Shadow. Planning Code Section 295 requires a shadow analysis for projects over 40 feet in height to ensure that new buildings would not cast new shadows on properties that are under the jurisdiction of the San Francisco Recreation and Park Department.

A shadow analysis report, prepared by Prevision Design, was submitted on June 30, 2023, analyzing the potential shadow impacts of the Project and Paratransit Variant to properties under the jurisdiction of the Recreation and Parks Department (Record No. 2019-021884SHD). The memorandum concluded that the Project would cast approximately 12,766,699 square-foot hours of new shadow on Franklin Square Park, equal to approximately 1.77% of the TAAS on Franklin Square Park, bringing the estimated total annual shading of the Park as a percentage of TAAS to 3.13 (previously at 1.36%). The memorandum also concluded that the Paratransit Variant would cast approximately 13,480,971 square-foot hours of new shadow on Franklin Square Park, equal to approximately 1.87% of the TAAS on Franklin Square Park, bringing the estimated total annual shading of the Park as a percentage of TAAS to 3.23 (previously at



1.36%). The Paratransit Variant will produce a greater shadow load in comparison to the Project.

Both the proposed Project and Paratransit Variant would result in new shadows falling on the park, adding at maximum approximately 13,480,971 annual square foot hours (sfh) of shadow and increasing shadow load at maximum by 1.87% above current levels, resulting in an increase in the total annual shading from 1.36% to 3.23% of Total Annual Available Sunlight (TAAS). The new shadow resulting from the Project and Paratransit Variant would be present throughout the day from October to February and in the mornings in September and March. During these periods, the new shadow would occur over the southern edge of the park affecting the children's play area and adult fitness area.

On December 21, 2023, the full Recreation and Park Commission conducted a duly noticed public hearing at a regularly scheduled meeting and recommended that the Planning Commission find that the shadows cast by the Project and Paratransit Variant would not be adverse to the use of Franklin Square Park.

M. Residential Child-Care Impact Fee. Planning Code Section 411 is applicable to any residential development that results in at least one new residential unit.

The Project includes approximately 499,541 gross square feet of newly constructed residential use and the Paratransit Variant includes approximately 155,250 gross square feet of newly constructed residential use. This use is subject to Residential Child-Care Impact Fee, as outlined in Planning Code Section 411A. This fee must be paid prior to the issuance of the building permit application.

N. Inclusionary Affordable Housing Program (Section 415). Planning Code Section 415 sets forth the requirements and procedures for the Inclusionary Affordable Housing Program ("Program"). Under Planning Code Section 415.3, these requirements apply to projects that consist of 10 or more units. Pursuant to Planning Code Section 415.5 and 415.6, the Inclusionary Affordable Housing Program requirement for the On-site Affordable Housing Alternative is dependent on the total number of units in the project, the zoning of the property, and the date of the accepted Project Application. For the Project to be eligible for the On-Site Affordable Housing Alternative, the Project must submit an" Affidavit of Compliance with the Inclusionary Affordable Housing Program: Planning Code Section 415" to the Planning Department stating that all units in the Project are rental units and any Affordable Units will remain as affordable for the life of the project.

The Project Sponsor has elected the On-Site Affordable Housing Alternative under Planning Code Sections 415.5 and 415.6 and will satisfy the requirements of the Program by providing the affordable housing on-site instead of through payment of the Affordable Housing Fee. The Project Sponsor submitted an" Affidavit of Compliance with the Inclusionary Affordable Housing Program: Planning Code Section 415" on January 3, 2024. A Project Application was accepted on November 20, 2019. Pursuant to Planning Code Section 415.3 and 415.6, the on-site requirement is 17% of the total proposed dwelling units as affordable to low-income households. Therefore, 79 units of the 465 total units in the Project and 18 of the 104 total units in the Paratransit Variant will be provided as Affordable Units. If the Project becomes ineligible to meet its Program obligation through the On-site Affordable Housing Alternative, it must elect another Alternative or pay the Affordable Housing Fee with interest, if applicable. However, pursuant to Planning Code Section 249.98, additional affordability requirements may be determined by



future agreement between the City and another party for developing and operating uses within the SUD.

O. Transportation Demand Management (TDM) Plan. Pursuant to Planning Code Section 169 and the TDM Program Standards, the Project shall finalize a TDM Plan prior Planning Department approval of the first Building Permit or Site Permit. As currently proposed, the Project and Paratransit Variant must each achieve a target of 10 points for Category C (Residential) and 3 points for Category D (Other).

As currently proposed, the Project and Paratransit will achieve its target of 10 points for Category C (Residential) and 3 points for Category D (Other) through the following TDM measures:

- Parking Supply
- Bicycle Parking (Option A)
- Multimodal Wayfinding Signage
- Real Time Transportation Displays
- Car-Share (Option A)
- Delivery Supportive Amenities
- Contributions or Incentives for Sustainable Transportation
- 7. **Conditional Use Findings.** Planning Code Section 303 establishes the following criteria for the Planning Commission to consider when reviewing applications for Conditional Use authorization:
  - A. The proposed use or feature, at the size and intensity contemplated and at the proposed location, will provide a development that is necessary or desirable for, and compatible with, the neighborhood or the community.

The Project and Paratransit Variant are necessary and desirable in that they will provide a state-of-the-art public facility for SFMTA's current and future needs including advancing SFMTA's Building Progress Program, which has the goal of repairing, renovating, and modernizing SFMTA's aging facilities and facilitate improvement of the overall transportation service delivery system. The Project and Paratransit Variance will also multipurpose public land for the construction of at minimum 104 dwelling units, including affordable dwelling units. While the size and intensity of the proposed development will be larger than most developments in the immediate area, the development warrants such a size and intensity because the proposed mixed-use building will serve as an anchor for the Northeast Mission neighborhood and showcase its modern public transportation use while providing land for housing. In addition, the surrounding neighborhood includes a variety of land uses including residential, restaurant, office, retail, automotive use, and Franklin Square Park. The Project will provide retails spaces, a public transportation facility and utility yard, and residential uses.

- B. Such use or feature as proposed will not be detrimental to the health, safety, convenience or general welfare of persons residing or working in the vicinity, or injurious to property, improvements or potential development in the vicinity, with respect to aspects including but not limited to the following:
  - i. The nature of the proposed site, including its size and shape, and the proposed size, shape and arrangement of structures;



The Project and Paratransit Variant will create a new visual focal point for San Francisco and the greater Bay Area. At a building height of 150-feet, the mixed-use building will be taller than many surrounding buildings in the immediate neighborhood and be distinctive at an appropriate scale for the neighborhood, in that it will be an iconic, highly visible symbol associated with San Francisco's public transportation. In addition, the Project site is suitable for such development. The site is substantial in size at approximately 4.4 acres.

ii. The accessibility and traffic patterns for persons and vehicles, the type and volume of such traffic, and the adequacy of proposed off-street parking and loading and of proposed alternatives to off-street parking, including provisions of car-share parking spaces, as defined in Section 166 of this Code.

The Project and Paratransit Variant will construct a state-of-the-art SFMTA bus facility that improve bus maintenance and storage capabilities, contribute to a greener, more sustainable, and more reliable transportation system for San Francisco. While the Project will not provide off-street vehicle parking spaces, a Transportation Demand Management (TDM) plan will be implemented and street improvements will be made to the adjacent public right of way to encourage other modes of transportation including the use of public transportation. The project site is located within a block from multiple Muni bus lines including the 22, 27, 9, 9-R, and 33 lines. Additionally, careful consideration of the relationship and interaction between all modes of transportation around the facility was made and the streetscape and building were designed to avoid any undo conflicts between modes of transportation.

iii. The safeguards afforded to prevent noxious or offensive emissions such as noise, glare, dust and odor;

The Project will comply with the City's requirements to minimize noise, glare, dust, odors, or other harmful emissions. All potential Project impacts on noise, glare, and dust are discussed in the Project's FEIR, including the MMRP.

iv. Treatment given, as appropriate, to such aspects as landscaping, screening, open spaces, parking and loading areas, service areas, lighting and signs; and

The Project and Paratransit Variant will provide usable open space in the form of roof decks. In particular, the Project will provide ample open space on the podium level that includes a mix of programming including community gardens and workout spaces. The Project and Paratransit Variant will also improve the pedestrian walkways with new ADA curb ramps, new bulbouts, ADA passenger loading zones, street trees, landscaping, and Class 2 bicycle parking spaces. Additionally, the Project will appropriately screen all vehicle/ bus entries and parking spaces.

C. Such use or feature as proposed will comply with the applicable provisions of this Code and will not adversely affect the General Plan; and

The Project complies with all relevant requirements and standards of the Planning Code and is consistent with objectives and policies of the General Plan as detailed in Resolution No. 21484.



D. Such use or feature as proposed will provide development that is in conformity with the stated purpose of the applicable Use District; and

The Project and Paratransit Variant are consistent with the stated purpose of P (Public) Zoning District and Potrero Yard SUD. Pursuant to the SUD's Planning Code and Zoning Map Amendment Ordinance (File No. 231256), the purpose of this SUD is to facilitate development of the Potrero Yard Modernization Project by allowing uses beyond San Francisco Municipal Transportation Agency's growing facility, maintenance, and operational needs, including residential uses and nonresidential uses. The Potrero Yard Modernization Project will include the construction and operation of a modern, multi-story, efficient bus maintenance and storage facility equipped to serve the San Francisco Municipal Transportation Agency's growing and future needs, as well as the construction of high-density residential development and ground floor commercial space.

- 8. Planned Unit Development Findings. Planning Code Section 304 establishes procedures for Planned Unit Developments (PUD), which are intended for projects on sites of considerable size, including an area of not less than half-acre, developed as integrated units and designed to produce an environment of stable and desirable character, which will benefit the occupants, the neighborhood, and the City as a whole. In the cases of outstanding overall design, complementary to the design and values of the surrounding area, such a project may merit a well-reasoned modification of certain provisions contained elsewhere in the Planning Code.
  - A. Modifications. The Project and the Paratransit Variant request modification from Planning Code Section 145.1 (active use) and the Project request modification from Planning Code Section 152 (off-street freight loading). Each modification is discussed below.
    - i. <u>Active Use.</u> Pursuant to Planning Code Sections 145.1(c)(3) and 249.98, active use is to be provided within the first 25 feet of building depth on the ground floor along Bryant Street, 17<sup>th</sup> Street, and Hampshire Street.
      - While the development does not comply with the strict application of Planning Code Section 145(c)(3) and 249.98, due to active use being less than 25 feet in depth on the ground floor, the Project and Paratransit Variant will provide uses including residential lobbies, residential units, retail spaces, and residential amenity spaces that will activate the ground floor of the proposed building. The Public Transportation Facility and Utility Yard uses are not subject to the requirements of Section 145.1(c)(3).
    - ii. Off-Street Freight Loading. Pursuant to Planning Code Section 152, zero off-street freight loading space is required for up to 10, 000 square feet of occupied floor area for Retail Sales and Services Uses and two spaces are required for up to 500,000 square feet of occupied floor area or three spaces plus one for each additional 400,000 sq. ft. for all other uses over 500,000 square feet not included in Retail Sales and Service Use.

While the development does not comply with the requirements of Planning Code Section 152 to provide four off-street freight loading spaces, the Project will provide two spaces within the building and on-street loading zones along Hampshire and Bryant Streets. In total, 140 linear feet will be



dedicated to commercial or general loading zones along both Hampshire and Bryant Streets. In addition, separate and distinct passenger on-street loading zones will also be provided along both streets.

- B. Criteria and Limitations. Section 304(d) establishes criteria and limitations for the authorization of PUDs over and above those applicable to Conditional Uses in general and contained in Section 303 and elsewhere in the Code. On balance, the Project complies with said criteria in that it:
  - i. Affirmatively promote applicable objectives and policies of the General Plan;
    - The Project complies with the objectives and policies of the General Plan, as stated in Item No. 9 "General Plan Compliance" and Resolution No. 21484.
  - ii. Provide off-street parking appropriate to the occupancy proposed and not exceeding principally permitted maximum amounts;
    - Pursuant to Planning Code Section 151, 1.5 off-street parking spaces are principally permitted per dwelling unit and one space per 2,000 square feet of Occupied Floor Area for Public Transportation Facility and Public Utility Yard. The Project will not provide any off-street parking spaces which is under the maximum number of principally permitted off-street parking spaces.
  - iii. Provide open space usable by the occupants and, where appropriate, by the general public, at least equal to the open spaces required by this Code;
    - The Project provides usable open space in the amount requirement by the Code. The Project will provide at minimum 80 square feet of common usable open space for each dwelling unit. A total of approximately 94,952 square feet of usable open space will be provided at podium level in the form of a large outdoor open area that features a variety of programming including workout spaces, gathering spaces, community gardens, and a dog run. The Paratransit Variant will provide at minimum 50 square feet of common usable open space. A total of approximately 6,000 square feet of usable open space in the form of roof decks.
  - iv. Be limited in dwelling unit density to less than the density that would be allowed by Article 2 of this Code for a district permitting a greater density, so that the Planned Unit Development will not be substantially equivalent to a reclassification of property;
    - The subject property is located within the P (Public) Zoning District and Potrero Yard SUD (Planning Code Text and Zoning Map Amendments Ordinance (Board File No. 231356)). Pursuant to Planning Code Section 249.98, Potrero Yard SUD, density limits are regulated by the permitted height and bulk, and required setbacks, exposure, and open space of each development lot.
    - The Project and Paratransit Variant will construct at minimum 104 dwelling units within the permitted heigh, bulk, setbacks, exposure, and open space limitations for the subject property.
  - v. In R Districts, include Commercial Uses only to the extent that such uses are necessary to serve residents of the immediate vicinity, subject to the limitations for NC-1 Districts under this Code,



and in RTO Districts include Commercial Uses only according to the provisions of Section 231 of this Code;

The subject property is located within the Public (P) Zoning District and not within an R District. However, the Project and Paratransit Variant will provide approximately 2,886 square feet of commercial use.

vi. Under no circumstances be excepted from any height limit established by Article 2.5 of this Code, unless such exception is explicitly authorized by the terms of this Code. In the absence of such an explicit authorization, exceptions from the provisions of this Code with respect to height shall be confined to minor deviations from the provisions for measurement of height in Sections 260 and 261 of this Code, and no such deviation shall depart from the purposes or intent of those sections;

The subject property is located within the P Zoning District, Potrero Yard SUD, and 150-PY (Planning Code Text and Zoning Map Amendments Ordinance (Board File No. 231356), and therefore is limited to a building height of 150 feet as measured from Mariposa Street pursuant to Planning Code Section 260. Both the Project and Paratransit Variant will construct a building that is no taller than 150 feet in height, as measured from Mariposa Street. Therefore, no minor deviation from the provisions in the measurement in height is being requested.

vii. In NC Districts, be limited in gross floor area to that allowed under the floor area ratio limit permitted for the district in Section 124 and Article 7 of this Code;

Not applicable. The subject property is located within the Public (P) Zoning District and not within an NC Zoning District.

viii. In NC Districts, not violate the use limitations by story set forth in Article 7 of this Code;

Not applicable. The subject property is located within the Public (P) Zoning District and not within an NC Zoning District.

ix. In RTO and NCT Districts, include the extension of adjacent alleys or streets onto or through the site, and/or the creation of new publicly-accessible streets or alleys through the site as appropriate, in order to break down the scale of the site, continue the surrounding existing pattern of block size, streets and alleys, and foster beneficial pedestrian and vehicular circulation.

Not applicable. The subject property is located within the Public (P) Zoning District and not within an RTO or NCT Zoning District.

x. Provide street trees as per the requirements of Section 138.1 of the Code.

The Project will provide street trees as deemed appropriate by the Director of Public Works pursuant to Article 16 of the Public Works Code. Currently, the Project and Paratransit Variant proposes a total of 47 street trees.



xi. Provide landscaping and permeable surfaces in any required setbacks in accordance with Section 132 (g) and (h).

The subject property is not required to provide a front setback pursuant to Planning Code Section 132, and therefore will not provide landscaping equal to 20 percent of the subject property's front setback area (Section 132(g)) and permeable surfaces equal to 50 percent of the property's front setback area (Section 132(h)). However, the Project and Paratransit Variant will provide landscaping within the public right of way along all street frontages.

**9. General Plan Compliance.** The Project is, on balance, consistent with the following Objectives and Policies of the General Plan:

#### **HOUSING ELEMENT**

Goals, Objectives, and Policies

#### **OBJECTIVE 1.B**

ADVANCE EQUITABLE HOUSING ACCESS.

# Policy 5

Improve access to the available Affordable Rental and Homeownership units especially for disproportionately underserved racial and social groups.

# Policy 6

Advance equal housing access by eliminating discrimination based on race, ethnicity, immigration status, HIV+ status, gender identity, sexual orientation, disabilities, age, prior incarceration, or mental health and improving housing programs for underserved groups.

The proposed dwelling units would be accessible as affordable and workforce housing and would increase the number of units available within the Mission neighborhood and City. The Project Sponsors intend to deliver either 465 affordable dwelling units or 104 affordable dwelling units.

# **OBJECTIVE 3.C**

# ELIMINATE DISPLACEMENT OF VULNERABLE COMMUNITIES 17 AND COMMUNITIES OF COLOR.

# Policy 18

Tailor zoning changes within Priority Equity Geographies and intersecting Cultural Districts to serve the specific needs of American Indian, Black, and other communities of color while implementing programs to stabilize communities and meet community needs.

#### Policy 21

Prevent the potential displacement and adverse racial and social equity impacts of zoning changes, planning processes, or public and private investments especially for populations and <u>areas vulnerable to displacement</u>.

The Project would increase the number of dwelling units in the City without demolishing existing units or displacing residents. The project site is located within the Mission District, which is identified as a Priority



Equity Geography area. Additionally, SFMTA and their Joint Development Partner have proactively engaged with the community through a robust multi-year public outreach effort to solicit input on the Project.

# **OBJECTIVE 4.A**

# SUBSTANTIALLY EXPAND THE AMOUNT OF PERMANENTLY AFFORDABLE HOUSING FOR EXTREMELY LOW- TO MODERATE-INCOME HOUSEHOLDS

#### POLICY 15

Expand permanently affordable housing investments in Priority Equity Geographies to better serve American Indian, Black, and other People of color within income ranges underserved, including extremely-, very low-, and moderate-income households.

The proposed dwelling units will be targeted to serve households at a variety of affordability levels. The Project Sponsors intend to deliver either 465 affordable dwelling units or 104 affordable dwelling units.

# **OBJECTIVE 5.A**

# CONNECT PEOPLE TO JOBS AND THEIR NEIGHBORHOOD WITH NUMEROUS, EQUITABLE, AND HEALTHY TRANSPORTATION AND MOBILITY OPTIONS

# POLICY 17

Expand investments in Priority Equity Geographies to advance equitable access to resources while ensuring community stability.

The project site is located within a Priority Equity Geography area and represents a significant investment in a community resource that will benefit both the immediate community and the City.

#### POLICY 37

Facilitate neighborhoods where proximity to daily needs and high-quality community services and amenities promotes social connections, supports caregivers, reduces the need for private auto travel, and advances healthy activities.

The project site has excellent access to daily needs, high quality community services and amenities. It is located across the street from Franklin Square Park, one block away from a major retail center, and has access to other smaller scale commercial corridors and community uses throughout the Northeast Mission neighborhood. Beyond being a transit hub itself, the site is located within a block distance from multiple Muni bus lines including the 22, 27, 9, 9-R, and 33 lines. It is also adjacent to a major bike route along 17th Street.

# POLICY 38

Ensure transportation investments create equitable access to transit and are planned in parallel with increase in housing capacity to advance well-connected neighborhoods consistent with the City's Connect SF vision, and encourage sustainable trips<sup>35</sup> in new housing.



As noted above, the proposed Project will be located near several Muni lines and construct a major transit facility. The Project does not include any off-street parking for residents or employees which will discourage the use of private vehicles and encourage the use of more sustainable means of transportation.

# **OBJECTIVE 5.B**

#### ADVANCE ENVIRONMENTAL JUSTICE, CLIMATE, AND COMMUNITY RESILIENCE

#### POLICY 40

Enforce and improve planning processes and building regulations to ensure a healthy environment for new housing developments, especially in Environmental Justice Communities.

The project site is located within an area identified as having a high environmental justice burden by the Environmental Justice Framework of the General Plan. SFMTA and their Joint Development Partner, PNC, have reached out to the community and other key stakeholders to illicit feedback on what qualities are important to local residents and employees.

# **OBJECTIVE 5.C**

ELEVATE EXPRESSION OF CULTURAL IDENTITIES THROUGH THE DESIGN OF ACTIVE AND ENGAGING NEIGHBORHOOD BUILDINGS AND SPACES

#### POLICY 41

Shape urban design policy, standards, and guidelines to enable cultural and identity expression, advance architectural creativity and durability, and foster neighborhood belonging.

#### POLICY 42

Support cultural uses, activities, and architecture that sustain San Francisco's diverse cultural heritage.

The Project will incorporate public art into the building's façade at several locations. SFMTA and their Joint Development Partner have worked with the Potrero Yard Working Group to determine a selection process for artists and their art.

# TRANSPORTATION ELEMENT

Objectives and Policies

# **OBJECTIVE 1**

MEET THE NEEDS OF ALL RESIDENTS AND VISITORS FOR SAFE, CONVENIENT AND INEXPENSIVE TRAVEL WITHIN SAN FRANCISCO AND BETWEEN THE CITY AND OTHER PARTS OF THE REGION WHILE MAINTAINING THE HIGH QUALITY LIVING ENVIRONMENT OF THE BAY AREA.

#### POLICY 1.1

Involve citizens in planning and developing transportation facilities and services, and in further defining objectives and policies as they relate to district plans and specific projects.



Given the magnitude and importance of this transportation project for the City, SFMTA and their Joint Development Partner have engaged the community and stakeholders on an ongoing basis all throughout the planning process including in the creation of the development's design guidelines, Potrero Design Guidelines

#### POLICY 1.2

Ensure the safety and comfort of pedestrians throughout the city.

#### POLICY 1.6

Ensure choices among modes of travel and accommodate each mode when and where it is most appropriate.

The Project's streetscape plan includes new bulbouts, ADA ramps, Class 2 bicycle parking spaces, street trees, expanded sidewalks, on-street commercial and loading spaces, and landscaping, thereby furthering the safety and accessibility for pedestrians, and encouraging other modes of travel at a transit, bicycle, and pedestrian rich environment.

#### POLICY 1.7

Assure expanded mobility for the disadvantaged.

The Paratransit Variant proposal would include dedicated storage and maintenance areas for SFMTA's paratransit fleet at the facility, which would improve SFMTA's ability to serve the disadvantaged. Furthermore, the Project's streetscape plan includes safety and accessibility improvements for pedestrians including new ADA ramps, on-street ADA passenger loading spaces, and increased sidewalk widths.

# **OBJECTIVE 2**

USE THE TRANSPORTATION SYSTEM AS A MEANS FOR GUIDING DEVELOPMENT AND IMPROVING THE ENVIRONMENT.

# POLICY 2.4

Organize the transportation system to reinforce community identity, improve linkages among interrelated activities and provide focus for community activities.

# POLICY 2.5

Provide incentives for the use of transit, carpools, vanpools, walking and bicycling and reduce the need for new or expanded automobile and automobile parking facilities.

The Project site is located within close proximity to public transportation and other sustainable modes of transportation and will encourage the use of these modes.

# **OBJECTIVE 9**

IMPROVE BICYCLE ACCESS TO SAN FRANCISCO FROM ALL OUTLYING CORRIDORS.



#### POLICY 9.1

Accommodate bicycles on regional transit facilities and important regional transportation links, such as the City's light rail vehicles, wherever and whenever practically feasible.

The Project's streetscape plan includes the maximization of Class 2 bicycle parking spaces with the public right if way adjacent to the subject property and improvements to the existing bicycle route along  $17^{th}$  Street.

# **OBJECTIVE 11**

ESTABLISH PUBLIC TRANSIT AS THE PRIMARY MODE OF TRANSPORTATION IN SAN FRANCISCO AND AS A MEANS THROUGH WHICH TO GUIDE FUTURE DEVELOPMENT AND IMPROVE REGIONAL MOBILITY AND AIR QUALITY.

#### POLICY 11.2

Continue to favor investment in transit infrastructure and services over investment in highway development and other facilities that accommodate the automobile.

The Potrero Yard Modernization Project represents the first major project of SFMTA's Building Progress Program in which SFMTA seeks to make major improvements to its overall transit infrastructure to enhance San Francisco's transit efficiency, reliability, and sustainability. The Project will help ensure improved ongoing maintenance and operation of Muni buses and increase the Yard's capacity, thereby making travel by public transit more reliable and enabling its increased usage by San Francisco residents, workers, and visitors.

# **OBJECTIVE 12**

DEVELOP AND IMPLEMENT PROGRAMS IN THE PUBLIC AND PRIVATE SECTORS, WHICH WILL SUPPORT CONGESTION MANAGEMENT AND AIR QUALITY OBJECTIVES, MAINTAIN MOBILITY AND ENHANCE BUSINESS VITALITY AT MINIMUM COST.

# POLICY 12.1

Develop and implement strategies which provide incentives for individuals to use public transit, ridesharing, bicycling and walking to the best advantage, thereby reducing the number of single occupant auto trips.

# **POLICY 12.3**

Implement private and public sector TDM programs which support each other and explore opportunities for private-public responsibility in program implementation.

The Project does not include off-street parking for residents or employees. However, the site is immediately adjacent to major transit lines and is within walking (or bicycling) distance from a BART station at 16th Street and Mission. Through a Project Agreement and other agreements documents with the City, the Joint Development Partner will be required to implement a Transportation Demand Management (TDM) plan that would encourage travel by sustainable modes.



# **OBJECTIVE 16**

DEVELOP AND IMPLEMENT PROGRAMS THAT WILL EFFICIENTLY MANAGE THE SUPPLY OF PARKING AT EMPLOYMENT CENTERS THROUGHOUT THE CITY SO AS TO DISCOURAGE SINGLE-OCCUPANT RIDERSHIP AND ENCOURAGE RIDESHARING, TRANSIT AND OTHER ALTERNATIVES TO THE SINGLE-OCCUPANT AUTOMOBILE.

# **POLICY 16.1**

Reduce parking demand through the provision of comprehensive information that encourages the use of alternative modes of transportation.

#### **POLICY 16.5**

Reduce parking demand through limiting the absolute amount of spaces and prioritizing the spaces for short-term and ride-share uses.

The Project will not include any off-street parking spaces for residents or residents.

# **OBJECTIVE 21**

GIVE FIRST PRIORITY TO IMPROVING TRANSIT SERVICE THROUGHOUT THE CITY, PROVIDING A CONVENIENT AND EFFICIENT SYSTEM AS A PREFERABLE ALTERNATIVE TO AUTOMOBILE USE.

# POLICY 21.5

Place and maintain all sidewalk elements, including passenger shelters, benches, trees, newsracks, kiosks, toilets, and utilities at appropriate transit stops according to established guidelines.

The Project includes a streetscape plan that features new bulbouts, widened sidewalks, Class 2 bicycle parking spaces, and bus stop shelters and other features, thereby beautifying the public realm and increasing accessibility and usage of transit or bicycles.

#### **POLICY 21.11**

Promote the electrification of bus operation.

The Potrero Yard Modernization Project is the first major project of SFMTA's Building Progress Program which strives to improve their facilities to meet today's demands and future needs including the complete electrification of their bus fleet.

#### **OBIECTIVE 24**

# DESIGN EVERY STREET IN SAN FRANCISCO FOR SAFE AND CONVENIENT WALKING

# **POLICY 24.2**

Widen sidewalks where intensive commercial, recreational, or institutional activity is present, sidewalks are congested, where sidewalks are less than adequately wide to provide appropriate pedestrian amenities, or where residential densities are high.



#### POLICY 24.6

Ensure convenient and safe pedestrian crossings by minimizing the distance pedestrians must walk to cross a street.

# **OBJECTIVE 25**

#### IMPROVE THE AMBIENCE OF THE PEDESTRIAN ENVIRONMENT

#### POLICY 25.2

Maintain and expand the planting of street trees and the infrastructure to support them.

# **OBJECTIVE 29**

ENSURE THAT BICYCLES CAN BE USED SAFELY AND CONVENIENTLY AS A PRIMARY MEANS OF TRANSPORTATION, AS WELL AS FOR RECREATIONAL PURPOSES.

#### POLICY 29.3

Remove conflicts to bicyclists on all city streets.

The Project's streetscape plan includes the improvement of the bicycle route along 17<sup>th</sup> Street, a major eastwest bicycle route through the Mission neighborhood.

# **OBJECTIVE 30**

# PROVIDE SECURE AND CONVENIENT PARKING FACILITIES FOR BICYCLES.

#### POLICY 30.1

Provide secure bicycle parking in new governmental, commercial, and residential developments.

#### POLICY 30.4

Provide bicycle parking at all transit terminals.

The Project will include Class 1 bicycle parking spaces for residents and employees. The Project also include Class 2 bicycle parking spaces within the public right of way.

#### **URBAN DESIGN ELEMENT**

Objectives and Policies

# **OBJECTIVE 1**

EMPHASIS OF THE CHARACTERISTIC PATTERN WHICH GIVES TO THE CITY AND ITS NEIGHBORHOODS AN IMAGE, A SENSE OF PURPOSE, AND A MEANS OF ORIENTATION.

# POLICY 1.3

Recognize that buildings, when seen together, produce a total effect that characterizes the city and its districts.

#### POLICY 1.6

Make centers of activity more prominent through design of street features and by other means.



As a prominent high-quality design, the new mixed-use building will serve as a new visual focal point that marks the civic importance and presence of public transportation in San Francisco. While larger than most buildings in the immediate neighborhood, care has been taken to design a building that minimizes its visual effect. The building will be sculpted with heights tapering from Mariposa Street down to 17th Street (which is immediately across the street from Franklin Square) to minimize shadow impacts on the park. Additionally, the building will also be modulated throughout so as to provide breaks in the building massing and relate to the surrounding built context.

# POLICY 2.4

Preserve notable landmarks and areas of historic, architectural or aesthetic value, and promote the preservation of other buildings and features that provide continuity with past development.

The demolition of the existing buildings, considered historical resources pursuant to CEQA, would be considered a significant unavoidable impact. However, the Commission has found that there are overriding considerations that justify demolishing the buildings including the need to modernize SFMTA's facilities, provide improved working environment conditions, and utilize the land for housing.

# **OBJECTIVE 3**

MODERATION OF MAJOR NEW DEVELOPMENT TO COMPLEMENT THE CITY PATTERN, THE RESOURCES TO BE CONSERVED, AND THE NEIGHBORHOOD ENVIRONMENT.

# POLICY 3.3

Promote efforts to achieve high quality of design for buildings to be constructed at prominent locations.

The Project includes a bold design that - while larger than surrounding buildings – showcases both its civic importance as a public transit use, and its ability to utilize a public site for a residential use.

# POLICY 3.5

Relate the height of buildings to important attributes of the city pattern and to the height and expression of existing development.

# POLICY 3.6

Relate the bulk of buildings to the prevailing scale of development to avoid an overwhelming or dominating appearance in new construction.

While the Project would be larger in scale than surrounding development, careful consideration has been made to modulate the building by including articulation that is consistent with surrounding development.

# **OBJECTIVE 4**

IMPROVEMENT OF THE NEIGHBORHOOD ENVIRONMENT TO INCREASE PERSONAL SAFETY, COMFORT, PRIDE AND OPPORTUNITY

# POLICY 4.6

Emphasize the importance of local centers providing commercial and government services.



The Project is an important public use which will be expressed by its design.

#### **POLICY 4.10**

Encourage or require the provision of recreation space in private development.

The residential portion of the development includes usable open space on the podium level that will feature a wide variety of recreational programming for its residents.

#### **POLICY 4.13**

Improve pedestrian areas by providing human scale and interest.

The Project includes a streetscape plan (as described above) that will provide an interest and human scale.

#### **COMMERCE AND INDUSTRY ELEMENT**

Objectives and Policies

# **OBJECTIVE 1**

MANAGE ECONOMIC GROWTH AND CHANGE TO ENSURE ENHANCEMENT OF THE TOTAL CITY LIVING AND WORKING ENVIRONMENT.

#### POLICY 1.3

Locate commercial and industrial activities according to a generalized commercial and industrial land use plan.

The subject property is located within the P (Public) Zoning District which principally permits public uses. The proposed Special Use District will reaffirm the existing and proposed use for the site.

#### **OBJECTIVE 2**

MAINTAIN AND ENHANCE A SOUND AND DIVERSE ECONOMIC BASE AND FISCAL STRUCTURE FOR THE CITY.

#### POLICY 2.1

Seek to retain existing commercial and industrial activity and to attract new such activity to the city.

The Project represents a commitment to a PDR use by expanding and modernizing SFMTA's bus facility at its current location.

#### SAFETY AND RESILIENCE ELEMENT

Objectives and Policies

#### **OBJECTIVE 2.1.**

CLIMATE RESILIENCE. PURSUE SYNERGISTIC EFFORTS THAT BOTH ELIMINATE GREENHOUSE GASES (CLIMATE MITIGATION) AND PROTECT PEOPLE, THE BUILT ENVIRONMENT, AND NATURE FROM THE UNAVOIDABLE IMPACTS OF THE CLIMATE CRISIS (CLIMATE ADAPTATION).



#### POLICY 2.1.4.

Ensure that City projects and private developments provide multi-benefit solutions that mitigate hazard risk and contribute to a zero-emission future.

The Project represents one of the first steps to the City's transition to a 100-percent electric bus fleet, a significant step in ensuring a zero-emission future for San Francisco.

# **OBJECTIVE 3.2.**

NEW BUILDINGS. MAXIMIZE THE SAFETY, ENVIRONMENTAL PERFORMANCE, AND CLIMATE ADAPTABILITY OF ALL NEW DEVELOPMENT.

# POLICY 3.2.4.

Ensure foundations and structural systems are designed with consideration of site soils conditions when reviewing projects in areas subject to liquefaction, slope instability, sea level rise, groundwater rise, and other flood hazards

#### POLICY 3.2.8.

During retrofits and new construction, prioritize building practices that emit lower greenhouse gasses and build resilience to multiple hazards at once, especially in Environmental Justice Communities.

The Project will construct a new building to LEED-Gold standards.

# **OBJECTIVE 3.3.**

INFRASTRUCTURE AND PUBLIC REALM. ENSURE THE CITY'S LIFELINE SYSTEMS, TRANSPORTATION AND EMERGENCY RESPONSE FACILITIES, UTILITIES, STREETS, PUBLIC SPACES, AND COASTS CAN WITHSTAND AND ADAPT TO ALL HAZARDS.

# POLICY 3.3.2.

Identify and replace vulnerable infrastructure and critical service lifelines in high-risk areas.

The modernization of Potrero Yard represents SFMTA's commitment to identifying and replacing vulnerable infrastructure and critical service lifelines.

# POLICY 3.3.3.

Conduct capital planning to advance resilient infrastructure prioritizing life safety and functional recovery, as well as the needs of Environmental Justice Communities and other vulnerable people.

As noted above, the Project and other elements of the Building Progress Program will enable a more efficient and sustainable transit system in San Francisco. The subject property is located within an Environmental Justice Geography area and the Project will include features that emphasize and encourage travel by transit, foot, and bicycle.

# **RECREATION AND OPEN SPACE ELEMENT**

Objectives and Policies



# **OBJECTIVE 2**

# INCREASE RECREATION AND OPEN SPACE TO MEET THE LONG-TERM NEEDS OF THE CITY AND BAY REGION

# POLICY 2.11

Assure that privately developed residential open spaces are usable, beautiful, and environmentally sustainable.

The Project is located across the street from Franklin Square Park and will increase the number of residents and employees to the area in addition to providing usable open space as an amenity on the building's podium level with a variety of recreational programming.

# **OBJECTIVE 3**

# IMPROVE ACCESS AND CONNECTIVITY TO OPEN SPACE

# POLICY 3.1

Creatively develop existing publicly-owned rights-of-way and streets into open space.

#### POLICY 3.2

Establish and Implement a network of Green Connections that increases access to parks, open spaces, and the waterfront.

The Project includes a streetscape plan with improved bicycle facilities along 17<sup>th</sup> Street, which is identified as a Green Connection.

# **ARTS ELEMENT**

Objectives and Policies

# **OBJECTIVE I-3**

MAINTAIN AND STRENGTHEN THE ARTS COMMISSION SO THAT IT CAN BETTER SERVE THE PUBLIC AND CITY GOVERNMENT THROUGH ARTS POLICY COORDINATION, PLANNING AND PROGRAMMING.

# POLICY I-3.3

Strive for the highest standards of design of public buildings and grounds and structures placed in the public right-of-way.

The design of SFMTA's bus facility (the public component) was reviewed by the Civic Design Review Board of the Arts Commission and received a positive recommendation from the Board. Additionally, SFMTA and its Joint Development Partner have been working with the Arts Commission to develop its public arts program.

- **10. Planning Code Section 101.1(b)** establishes eight priority-planning policies and requires review of permits for consistency with said policies. On balance, the project complies with said policies in that:
  - A. That existing neighborhood-serving retail uses be preserved and enhanced and future opportunities



for resident employment in and ownership of such businesses be enhanced.

The Project and Paratransit Variant will not remove or displace an existing neighborhood serving retail uses. The Project site is currently developed and will be redeveloped for the continue for the utilization of SFMTA, a Public Use. The Project and Paratransit Variant will, however, enhance and provide new neighborhood serving retail use opportunities, job opportunities, and business opportunities to the residents of the neighborhood with the addition of approximately 2,886 square feet of commercial space. Furthermore, the Project will introduce new patrons to the area, and therefore, strengthen the customer base of existing retail uses and contribute to the demand for new retail uses serving the area.

B. That existing housing and neighborhood character be conserved and protected in order to preserve the cultural and economic diversity of our neighborhoods.

The project site does not currently include any housing and the surrounding neighborhood is characterized with a mix of uses within the Public, PDR, and Urban Mixed-Use Zoning Districts. The Project will preserve and expand its current use while providing additional units to the City's housing stock. SFMTA and their Joint Development Partner have engaged with the community for more than five years to ensure that their needs are understood and that the new building is reflective of and serves the community.

C. That the City's supply of affordable housing be preserved and enhanced,

The Project and Paratransit Variant includes the construction of at minimum 104 dwelling units to be affordable at various affordable levels. The Project Sponsors intend to deliver all dwelling units in either proposal at below market rate.

D. That commuter traffic not impede MUNI transit service or overburden our streets or neighborhood parking.

The Project and Paratransit Variant will construct a state-of-the-art SFMTA bus facility that improve bus maintenance and storage capabilities, contribute to a greener, more sustainable, and more reliable transportation system for San Francisco. While the Project will not provide off-street vehicle parking spaces, a Transportation Demand Management (TDM) plan will be implemented and street improvements will be made to the adjacent public right of way to encourage other modes of transportation including the use of public transportation. The project site is located within a block from multiple Muni bus lines including the 22, 27, 9, 9-R, and 33 lines. Additionally, careful consideration of the relationship and interaction between all modes of transportation around the facility was made and the streetscape and building were designed to avoid any undo conflicts between modes of transportation.

E. That a diverse economic base be maintained by protecting our industrial and service sectors from displacement due to commercial office development, and that future opportunities for resident employment and ownership in these sectors be enhanced.

The Project and Paratransit Variant maintains and expands a longstanding public PDR use that will improve the working environment for SFMTA employees and provide ongoing employment opportunities to residents.



F. That the City achieve the greatest possible preparedness to protect against injury and loss of life in an earthquake.

The Project will be designed and constructed to conform to the structural and seismic safety requirements of the Building Code. As such, this Project will improve the property's ability to withstand an earthquake.

G. That landmarks and historic buildings be preserved.

The Project and Paratransit Variant do entail demolishing the existing Potrero Yard buildings, historically known as the Potrero Trolly Coach Division Facility, which is a known historic resource pursuant to CEQA. The FEIR analyzed four alternatives, three of which preserve the existing buildings to an extent. However, the Commission has found that pursuing these alternatives would not meet the Projects' basic objectives to modernize the current bus yard and achieve systemwide master plan priorities by consolidating scattered transit support functions at the Potrero Yard. Pursuing these alternatives would also significantly reduce the public site's capacity to provide housing at the site.

H. That our parks and open space and their access to sunlight and vistas be protected from development.

The Project and Paratransit Variant will not have an adverse effect on the City's parks and open space and their access to sunlight and vistas. While the Project and Paratransit Variant will result in net new shadow on Franklin Square Park, the shadow was determined to neither have a significant nor adverse effect on the use of the park due to the limited duration, time and location of such shadow, as described in Planning Commission Motion No. 21486

**11. First Source Hiring.** The Project is subject to the requirements of the First Source Hiring Program as they apply to permits for residential development (Administrative Code Section 83.11), and the Project Sponsor shall comply with the requirements of this Program as to all construction work and on-going employment required for the Project. Prior to the issuance of any building permit to construct or a First Addendum to the Site Permit, the Project Sponsor shall have a First Source Hiring Construction and Employment Program approved by the First Source Hiring Administrator, and evidenced in writing. In the event that both the Director of Planning and the First Source Hiring Administrator agree, the approval of the Employment Program may be delayed as needed.

The Project Sponsor submitted a First Source Hiring Affidavit and prior to issuance of a building permit will execute a First Source Hiring Memorandum of Understanding and a First Source Hiring Agreement with the City's First Source Hiring Administration.

- 12. The Project is consistent with and would promote the general and specific purposes of the Code provided under Section 101.1(b) in that, as designed, the Project would constitute a beneficial development.
- **13.** The Commission hereby finds that approval of the Conditional Use Authorization would promote the health, safety and welfare of the City.



# **DECISION**

That based upon the Record, the submissions by the Applicant, the staff of the Department and other interested parties, the oral testimony presented to this Commission at the public hearings, and all other written materials submitted by all parties, the Commission hereby **APPROVES Conditional Use Authorization Application No. 2019-021884CUA** subject to the following conditions attached hereto as "EXHIBIT A" in general conformance with plans on file, dated December 21, 2023, and stamped "EXHIBIT B", which is incorporated herein by reference as though fully set forth.

The Planning Commission has reviewed and considered the FEIR and the record as a whole and incorporates by reference herein the CEQA Findings contained in Motion No. 21483 and MMRP, included as "EXHIBIT C". All required mitigation and improvement measures identified in "EXHIBIT C" of Motion No. 21483 are included as conditions of approval.

**APPEAL AND EFFECTIVE DATE OF MOTION:** Any aggrieved person may appeal this Conditional Use Authorization to the Board of Supervisors within thirty (30) days after the date of this Motion. The effective date of this Motion shall be the date of this Motion if not appealed (after the 30-day period has expired) OR the date of the decision of the Board of Supervisors if appealed to the Board of Supervisors. For further information, please contact the Board of Supervisors at (415) 554-5184, City Hall, Room 244, 1 Dr. Carlton B. Goodlett Place, San Francisco, CA 94102.

Protest of Fee or Exaction: You may protest any fee or exaction subject to Government Code Section 66000 that is imposed as a condition of approval by following the procedures set forth in Government Code Section 66020. The protest must satisfy the requirements of Government Code Section 66020(a) and must be filed within 90 days of the date of the first approval or conditional approval of the development referencing the challenged fee or exaction. For purposes of Government Code Section 66020, the date of imposition of the fee shall be the date of the earliest discretionary approval by the City of the subject development.

If the City has not previously given Notice of an earlier discretionary approval of the project, the Planning Commission's adoption of this Motion, Resolution, Discretionary Review Action or the Zoning Administrator's Variance Decision Letter constitutes the approval or conditional approval of the development and the City hereby gives **NOTICE** that the 90-day protest period under Government Code Section 66020 has begun. If the City has already given Notice that the 90-day approval period has begun for the subject development, then this document does not re-commence the 90-day approval period.

I hereby certify that the Planning Commission ADOPTED the foregoing Motion on January 11, 2024.

Jonas P. Ionin

Commission Secretary

AYES: Braun, Ruiz, Diamond, Imperial, Koppel, Moore, Tanner

NAYS: None ABSENT: None

ADOPTED: January 11, 2024



# **EXHIBIT A**

#### **Authorization**

This authorization is for a conditional use for a planned unit development to allow the demolition of SFMTA'S existing two-story bus yard facility and parking lot and the construction of an approximately 1,240,000 square foot, 75-150 foot, mixed-use building that will contain Public Transportation Facility and Public Utility Yard uses for SFMTA'S new state-of-the-art facility, 465 dwelling units (72 studios, 159 one-bedroom, 157 two-bedroom, and 77 three-bedroom), and approximately 2,886 square feet of commercial space ("Project") and an alternative proposal ("Paratransit Variant") that constructs an additional approximately 23,809 square feet of area at the fifth level which will be dedicated to SFMTA'S Paratransit division and reduces the number of dwelling units from 465 to 104 at 2500 Mariposa Street, Block 3971, and Lot 001, pursuant to Planning Code Sections 303 and 304 within the P (Public) Zoning District, Potrero Yard Special Use District, and a 150-PY Height and Bulk District; in general conformance with plans, dated December 21, 2023, and stamped "EXHIBIT B" included in the docket for Record No. 2019-021884CUA and subject to conditions of approval reviewed and approved by the Commission on January 11, 2024 under Motion No. 21487. This authorization and the conditions contained herein run with the property and not with a particular Project Sponsor, business, or operator.

# **Recordation of Conditions Of Approval**

Prior to the issuance of the building permit or commencement of use for the Project the Zoning Administrator shall approve and order the recordation of a Notice in the Official Records of the Recorder of the City and County of San Francisco for the subject property. This Notice shall state that the project is subject to the conditions of approval contained herein and reviewed and approved by the Planning Commission on January 11, 2024 under Motion No. 21487.

# **Severability**

The Project shall comply with all applicable City codes and requirements. If any clause, sentence, section or any part of these conditions of approval is for any reason held to be invalid, such invalidity shall not affect or impair other remaining clauses, sentences, or sections of these conditions. This decision conveys no right to construct, or to receive a building permit. "Project Sponsor" shall include any subsequent responsible party.

# **Changes and Modifications**

Changes to the approved plans may be approved administratively by the Zoning Administrator. Significant changes and modifications of conditions shall require Planning Commission approval of a new Conditional Use authorization.



# CONDITIONS OF APPROVAL, COMPLIANCE, MONITORING, AND REPORTING

# **Performance**

1. Validity. The authorization and right vested by virtue of this action is valid for three (3) years from the date that the Planning Code text amendment(s) and/or Zoning Map amendment(s) become effective. The Department of Building Inspection shall have issued a Building Permit or Site Permit to construct the project and/or commence the approved use within this three-year period.

For information about compliance, contact Code Enforcement, Planning Department at 628.652.7463, <a href="https://www.sfplanning.org">www.sfplanning.org</a>

2. Expiration and Renewal. Should a Building or Site Permit be sought after the three (3) year period has lapsed, the project sponsor must seek a renewal of this Authorization by filing an application for an amendment to the original Authorization or a new application for Authorization. Should the project sponsor decline to so file, and decline to withdraw the permit application, the Commission shall conduct a public hearing in order to consider the revocation of the Authorization. Should the Commission not revoke the Authorization following the closure of the public hearing, the Commission shall determine the extension of time for the continued validity of the Authorization.

For information about compliance, contact Code Enforcement, Planning Department at 628.652.7463, <a href="https://www.sfplanning.org">www.sfplanning.org</a>

3. Diligent Pursuit. Once a site or Building Permit has been issued, construction must commence within the timeframe required by the Department of Building Inspection and be continued diligently to completion. Failure to do so shall be grounds for the Commission to consider revoking the approval if more than three (3) years have passed since the date that the Planning Code text amendment(s) and/or Zoning Map amendment(s) became effective.

For information about compliance, contact Code Enforcement, Planning Department at 628.652.7463, <a href="https://www.sfplanning.org">www.sfplanning.org</a>

**4. Extension.** All time limits in the preceding three paragraphs may be extended at the discretion of the Zoning Administrator where implementation of the project is delayed by a public agency, an appeal or a legal challenge and only by the length of time for which such public agency, appeal or challenge has caused delay.

For information about compliance, contact Code Enforcement, Planning Department at 628.652.7463, <a href="https://www.sfplanning.org">www.sfplanning.org</a>

**5. Conformity with Current Law.** No application for Building Permit, Site Permit, or other entitlement shall be approved unless it complies with all applicable provisions of City Codes in effect at the time of such approval.

For information about compliance, contact Code Enforcement, Planning Department at 628.652.7463, <a href="https://www.sfplanning.org">www.sfplanning.org</a>



6. Additional Project Authorization. The Project Sponsor must obtain a General Plan Amendment to amend the Urban Design Element Map 4, "Urban Design Guidelines for the Height of Buildings", and Urban Design Element Map 5, "Urban Design Guidelines for the Bulk of Buildings", a Planning Code Text Amendment Code to create the Potrero Yard Special Use District (SUD) at 2500 Mariposa Street, Assessor's Parcel Block 3971, Lot 001 and "PY" Bulk Limit in Planning Code Section 270, and a Zoning Map Amendment to amend Zoning Maps SU08 to illustrate the Potrero Yard SUD and HT08 to change the Height and Bulk Zoning District from 65-X to 150-PY (Board of Supervisor File No. 231256). The conditions set forth below are additional conditions required in connection with the Project. If these conditions overlap with any other requirement imposed on the Project, the more restrictive or protective condition or requirement, as determined by the Planning Director, shall apply.

This approval is contingent on and will be of no further force and effect until the date that the San Francisco Board of Supervisors has approved by resolution approving the General Plan Amendment, Planning Code Text Amendment, and Map Amendment.

For information about compliance, contact Code Enforcement, Planning Department at 628.652.7463, <a href="https://www.sfplanning.org">www.sfplanning.org</a>

7. Mitigation Measures. Mitigation measures described in the MMRP attached as Exhibit C are necessary to avoid potential significant effects of the proposed project and have been agreed to by the project sponsor. Their implementation is a condition of project approval. The conditions of approval under the 'Exhibit C' of this Planning Commission Motion shall be reproduced on the Index Sheet of construction plans submitted with the site or building permit application for the Project.

For information about compliance, contact Code Enforcement, Planning Department at 628.652.7463, <a href="https://www.sfplanning.org">www.sfplanning.org</a>

# **Entertainment Commission – Noise Attenuation Conditions**

- **8. Chapter 116 Residential Projects.** The Project Sponsor shall comply with the "Recommended Noise Attenuation Conditions for Chapter 116 Residential Projects," which were recommended by the Entertainment Commission on August 25, 2015. These conditions state:
  - A. Community Outreach. Project Sponsor shall include in its community outreach process any businesses located within 300 feet of the proposed project that operate between the hours of 9PM-5AM. Notice shall be made in person, written or electronic form.
  - B. Sound Study. Project sponsor shall conduct an acoustical sound study, which shall include sound readings taken when performances are taking place at the proximate Places of Entertainment, as well as when patrons arrive and leave these locations at closing time. Readings should be taken at locations that most accurately capture sound from the Place of Entertainment to best of their ability. Any recommendation(s) in the sound study regarding window glaze ratings and soundproofing materials including but not limited to walls, doors, roofing, etc. shall be given highest consideration by the project sponsor when designing and building the project.
  - C. Design Considerations.



- i. During design phase, project sponsor shall consider the entrance and egress location and paths of travel at the Place(s) of Entertainment in designing the location of (a) any entrance/egress for the residential building and (b) any parking garage in the building.
- ii. In designing doors, windows, and other openings for the residential building, project sponsor should consider the POE's operations and noise during all hours of the day and night.
- D. Construction Impacts. Project sponsor shall communicate with adjacent or nearby Place(s) of Entertainment as to the construction schedule, daytime and nighttime, and consider how this schedule and any storage of construction materials may impact the POE operations.
- E. Communication. Project Sponsor shall make a cell phone number available to Place(s) of Entertainment management during all phases of development through construction. In addition, a line of communication should be created to ongoing building management throughout the occupation phase and beyond.

# **Design - Compliance at Plan Stage**

**9. Final Materials.** The Project Sponsor shall continue to work with Planning Department on the building design . Final materials, glazing, color, texture, landscaping, and detailing shall be subject to Department staff review and approval. The architectural addenda shall be reviewed and approved by the Planning Department prior to issuance.

For information about compliance, contact the Case Planner, Planning Department at 628.652.7380, <a href="https://www.sfplanning.org">www.sfplanning.org</a>

10. Garbage, Composting and Recycling Storage. Space for the collection and storage of garbage, composting, and recycling shall be provided within enclosed areas on the property and clearly labeled and illustrated on the building permit plans. Space for the collection and storage of recyclable and compostable materials that meets the size, location, accessibility and other standards specified by the San Francisco Recycling Program shall be provided at the ground level of the buildings.

For information about compliance, contact the Case Planner, Planning Department at 628.652.7380, <a href="https://www.sfplanning.org">www.sfplanning.org</a>

**11. Laundry Facilities.** The Project Sponsor shall provide sufficient on-site laundering access for residential occupants through on-site communal laundry facilities, individual in-unit laundry hook-ups, or some combination thereof.

For information about compliance, contact the Case Planner, Planning Department at 628.652.7380, <a href="https://www.sfplanning.org">www.sfplanning.org</a>

12. Rooftop Mechanical Equipment. Pursuant to Planning Code 141, the Project Sponsor shall submit a roof plan to the Planning Department prior to Planning approval of the building permit application. Rooftop mechanical equipment, if any is proposed as part of the Project, is required to be screened so as not to be visible from any point at or below the roof level of the subject building.



For information about compliance, contact the Case Planner, Planning Department at 415-558-6378, <a href="https://www.sfplanning.org">www.sfplanning.org</a>

**13. Lighting Plan.** The Project Sponsor shall submit an exterior lighting plan to the Planning Department prior to Planning Department approval of the building / site permit application.

For information about compliance, contact the Case Planner, Planning Department at 628.652.7380, <a href="https://www.sfplanning.org">www.sfplanning.org</a>

14. Streetscape Plan. Pursuant to Planning Code Section 138.1, the Project Sponsor shall continue to work with Planning Department staff, in consultation with other City agencies, to refine the design and programming of the Streetscape Plan so that the plan generally meets the standards of the Better Streets Plan and all applicable City standards. The Project Sponsor shall complete final design of all required street improvements, including procurement of relevant City permits, prior to issuance of first architectural addenda, and shall complete construction of all required street improvements prior to issuance of first temporary certificate of occupancy.

For information about compliance, contact the Case Planner, Planning Department at 628.652.7380, <a href="https://www.sfplanning.org">www.sfplanning.org</a>

15. Transformer Vault Location. The location of individual project PG&E Transformer Vault installations has significant effects to San Francisco streetscapes when improperly located. However, they may not have any impact if they are installed in preferred locations. Therefore, the Planning Department in consultation with Public Works shall require the location for transformer vault(s) for this project to be on-site, in a basement area or ground floor within the building and screened from view on a façade facing a public right of way. The above requirement shall adhere to the Memorandum of Understanding regarding Electrical Transformer Locations for Private Development Projects between Public Works and the Planning Department dated January 2, 2019.

For information about compliance, contact Bureau of Street Use and Mapping, Department of Public Works at 628.271.2000, <u>www.sfpublicworks.org</u>

**16. Overhead Wiring.** The Property owner will allow MUNI to install eyebolts in the building adjacent to its electric streetcar line to support its overhead wire system if requested by MUNI or MTA.

For information about compliance, contact San Francisco Municipal Railway (Muni), San Francisco Municipal Transit Agency (SFMTA), at 415.701.4500, <a href="https://www.sfmta.org">www.sfmta.org</a>

17. Noise, Ambient. Interior occupiable spaces shall be insulated from ambient noise levels. Specifically, in areas identified by the Environmental Protection Element, Map1, "Background Noise Levels," of the General Plan that exceed the thresholds of Article 29 in the Police Code, new developments shall install and maintain glazing rated to a level that insulate interior occupiable areas from Background Noise and comply with Title 24.

For information about compliance, contact the Environmental Health Section, Department of Public Health at 415.252.3800, <u>www.sfdph.org</u>



**18. Noise.** Plans submitted with the building permit application for the approved project shall incorporate acoustical insulation and other sound proofing measures to control noise.

For information about compliance, contact the Case Planner, Planning Department at 628.652.7380, <a href="https://www.sfplanning.org">www.sfplanning.org</a>

19. Odor Control Unit. In order to ensure any significant noxious or offensive odors are prevented from escaping the premises once the project is operational, the building permit application to implement the project shall include air cleaning or odor control equipment details and manufacturer specifications on the plans. Odor control ducting shall not be applied to the primary façade of the building.

For information about compliance, contact the Case Planner, Planning Department at 628.652.7380, www.sfplanning.org

# **Parking and Traffic**

20. Transportation Demand Management (TDM) Program. Pursuant to Planning Code Section 169, the Project shall finalize a TDM Plan prior to the issuance of the first Building Permit or Site Permit to construct the project and/or commence the approved uses. The Property Owner, and all successors, shall ensure ongoing compliance with the TDM Program for the life of the Project, which may include providing a TDM Coordinator, providing access to City staff for site inspections, submitting appropriate documentation, paying application fees associated with required monitoring and reporting, and other actions.

Prior to the issuance of the first Building Permit or Site Permit, the Zoning Administrator shall approve and order the recordation of a Notice in the Official Records of the Recorder of the City and County of San Francisco for the subject property to document compliance with the TDM Program. This Notice shall provide the finalized TDM Plan for the Project, including the relevant details associated with each TDM measure included in the Plan, as well as associated monitoring, reporting, and compliance requirements.

For information about compliance, contact the TDM Performance Manager at <a href="mailto:tdm@sfgov.org">tdm@sfgov.org</a> or 628.652.7340, <a href="mailto:www.sfplanning.org">www.sfplanning.org</a>

21. Bicycle Parking. Pursuant to Planning Code Sections 155, 155.1, and 155.2, the Project shall provide no fewer than 217 bicycle parking spaces (192 Class 1 spaces and 25 Class 2 spaces) and the Paratransit Variant shall provide no fewer than 112 bicycle parking spaces (105 Class 1 spaces and 7 Class 2 spaces). SFMTA has final authority on the type, placement and number of Class 2 bicycle racks within the public ROW. Prior to issuance of first architectural addenda, the project sponsor shall contact the SFMTA Bike Parking Program at <a href="mailto:bikeparking@sfmta.com">bikeparking@sfmta.com</a> to coordinate the installation of on-street bicycle racks and ensure that the proposed bicycle racks meet the SFMTA's bicycle parking guidelines. Depending on local site conditions and anticipated demand, SFMTA may request the project sponsor pay an in-lieu fee for Class II bike racks required by the Planning Code.

For information about compliance, contact Code Enforcement, Planning Department at 628.652.7463, <a href="https://www.sfplanning.org">www.sfplanning.org</a>



**22. Showers and Clothes Lockers.** Pursuant to Planning Code Section 155.3, the Project shall provide no fewer than four showers and 24 clothes lockers.

For information about compliance, contact Code Enforcement, Planning Department at 628.652.7463, <a href="https://www.sfplanning.org">www.sfplanning.org</a>

**23. Off-Street Loading.** Pursuant to Planning Code Section 152, the Project will provide at minimum of two off-street loading spaces.

For information about compliance, contact Code Enforcement, Planning Department at 628.652.7463, <a href="https://www.sfplanning.org">www.sfplanning.org</a>

**24. Managing Traffic During Construction.** The Project Sponsor and construction contractor(s) shall coordinate with the Traffic Engineering and Transit Divisions of the San Francisco Municipal Transportation Agency (SFMTA), the Police Department, the Fire Department, the Planning Department, and other construction contractor(s) for any concurrent nearby Projects to manage traffic congestion and pedestrian circulation effects during construction of the Project.

For information about compliance, contact Code Enforcement, Planning Department at 628.652.7463, <a href="https://www.sfplanning.org">www.sfplanning.org</a>

# **Provisions**

**25. Anti-Discriminatory Housing.** The Project shall adhere to the requirements of the Anti-Discriminatory Housing policy, pursuant to Administrative Code Section 1.61.

For information about compliance, contact the Case Planner, Planning Department at 628.652.7380, <a href="https://www.sfplanning.org">www.sfplanning.org</a>

**26. First Source Hiring.** The Project shall adhere to the requirements of the First Source Hiring Construction and End-Use Employment Program approved by the First Source Hiring Administrator, pursuant to Section 83.4(m) of the Administrative Code. The Project Sponsor shall comply with the requirements of this Program regarding construction work and on-going employment required for the Project.

For information about compliance, contact the First Source Hiring Manager at 415.581.2335, www.onestopSF.ora

**27. Inclusionary Affordable Housing Program.** The following Inclusionary Affordable Housing Requirements are those in effect at the time of Planning Commission action. In the event that the requirements change, the Project Sponsor shall comply with the requirements in place at the time of issuance of the Site Permit.

For information about compliance on any of the Conditions noted below, contact the Planning Department at 628-652-7600 or at www.sf-planning.org or the Mayor's Office of Housing and Community Development at 415-701-5500, or at <a href="https://www.sfmohcd.org">www.sfmohcd.org</a>.

1. Number of Required Units. Pursuant to Planning Code Section 415.6, the Project is required to provide 17% of the proposed dwelling units as affordable to qualifying households. The Project contains 465 units;



therefore, 79 Affordable Units are required. The Project will fulfill this requirement by providing the 79 Affordable Units on-site. The Paratransit Variant is required to provide 17% of the proposed dwelling units as affordable to qualifying households. The Project contains 104 units; therefore, 18 Affordable Units are required. The Project will fulfill this requirement by providing the 18 Affordable Units on-site. If the number of market-rate units changes, the number of required Affordable Units shall be modified accordingly with written approval from the Planning Department in consultation with the Mayor's Office of Housing and Community Development ("MOHCD").

- 2. Unit Mix. The Project contains 72 studios, 159 one-bedroom, 157 two-bedroom, and 77 three-bedroom units; therefore, the required affordable unit mix is 12 studios, 27 one-bedroom, 27 two-bedroom, and 13 three-bedroom units. The Paratransit Variant contains 13 studios, 23 one-bedroom, 40 two-bedroom, and 28 three-bedroom units; therefore, the required affordable unit mix is 2 studios, 4 one-bedroom, 7 two-bedroom, and 5 three-bedroom units. If the overall unit mix of the Project changes, the affordable unit mix will be modified accordingly with written approval from the Planning Department in consultation with MOHCD.
- 3. Unit Tenure. The project is a Rental Housing Project as defined in Section 415.2. If the Project seeks to convert from a Rental Housing Project to an Ownership Housing Project, the Project shall require public notice for a hearing and approval from the Planning Commission pursuant to Planning Code Section 415.5(g)(5). Conversion from a Rental Unit to an Owned Unit shall follow the procedures set forth in the City and County of San Francisco Inclusionary Affordable Housing Program Monitoring and Procedures Manual ("Procedures Manual"), as amended from time to time.

If a Rental Housing Project converts to an Ownership Housing Project with the approval of the Planning Commission, the project sponsor shall either (A) reimburse the City the proportional amount of the inclusionary affordable housing fee, which would be equivalent to the then-current inclusionary affordable fee requirement for Ownership Housing Projects, or (B) provide additional on-site or off-site Affordable Units equivalent to the difference between the on-site rate for rental units approved at the time of entitlement and the then-current inclusionary requirements for Ownership Housing Projects. The additional units shall be apportioned among the required number of units at various income levels in compliance with the requirements in effect at the time of conversion as specified in Planning Code Section 415.

4. Mixed Income Levels for Affordable Units. Pursuant to Planning Code Sections 415.3 and 415B, the Project is required to provide 17% of the proposed dwelling units as Affordable to Qualifying Households. At least 10.2% must be affordable to low-income households, at least 3.4% must be affordable to moderate income households, and at least 3.4.% must be affordable to middle income households. Rental Units for low-income households shall have an affordable rent set at 55% of Area Median Income or less, with households earning up to 65% of Area Median Income eligible to apply for low-income units. Rental Units for moderate-income households shall have an affordable rent set at 80% of Area Median Income or less, with households earning up to 90% of Area Median Income eligible to apply for moderate-income units. Rental Units for middle-income households shall have an affordable rent set at 110% of Area Median Income or less, with households earning up to 130% of Area Median Income eligible to apply for middle-income units.



	Number of Units in Project	Affordable Rent AMI	Maximum Household AMI
Low Income Units	47	55%	65%
Moderate Income Units	16	80%	90%
Middle Income Units	16	110%	130%

	Number of Units in Paratransit Variant	Affordable Rent AMI	Maximum Household AMI
Low Income Units	11	55%	65%
Moderate Income Units	3 or 4*	80%	90%
Middle Income Units	3 or 4*	110%	130%

<sup>\*</sup> Pursuant to Zoning Administrator Bulletin No. 10, a remaining fraction of one-half (0.5) or more shall be adjusted upward to the next higher whole number of required Inclusionary Units. However, if rounding each of the AMI levels results in more Inclusionary Units than required, the Project Sponsor may elect which AMI levels to round up or down to achieve the number of required Inclusionary Units.

- 5. Occupancy of Middle Income Units. For any Affordable Units with rents set at 110% of Area Median Income, the units shall have a minimum occupancy of two persons pursuant to Planning Code Section 415.6(a)(3).
- 6. Minimum Unit Sizes. Pursuant to Planning Code Section 415.6(f)(2), the Affordable Units shall meet the minimum unit sizes standards established by the California Tax Credit Allocation Committee (TCAC) as of May 16, 2017. One-bedroom units must be at least 450 square feet, two-bedroom units must be at least 700 square feet, and three-bedroom units must be at least 900 square feet. Studio units must be at least 300 square feet pursuant to Planning Code Section 415.6(f)(2). The total residential floor area devoted to the Affordable Units shall not be less than the applicable percentage applied to the total residential floor area of the overall project, provided that a 10% variation in floor area is permitted.
- 7. Notice of Special Restrictions. Pursuant to Planning Code Section 415.6(g)(1), the Project Sponsor shall record a Notice of Special Restrictions on the property that contains these conditions of approval and a reduced set of plans that identify the Affordable Units satisfying the requirements of this approval prior to the issuance of the architectural addendum or twelve months prior to the first certificate of occupancy, whichever is earlier. The Project Sponsor shall comply with Zoning Administrator Bulletin No. 10 and any other affordable housing designation standards published by the Planning Department or MOHCD and updated periodically. The Project Sponsor shall provide a copy of the recorded Notice of Special Restrictions to the Planning Department and MOHCD or its successor prior to the issuance of the architectural addendum. If a Project does not anticipate an architectural addendum, then the Notice of Special Restrictions shall be recorded prior to the issuance of the Building Permit. Following the designation of Affordable Units, changes to the overall residential square footage or to any unit within the Project require written approval from the Planning Department in consultation with MOHCD who will determine if the changes are consistent with Zoning Administrator Bulletin No. 10 and any other affordable housing designation standards published by the Planning Department or MOHCD.



- 8. Construction Timeline. Prior to the issuance of the site permit, the Project Sponsor shall submit an estimated construction timeline to the Department in accordance with Planning Section 415.6(g)(3).
- 9. Unit Pricing. Pursuant to Planning Code Section 415.6(g)(2), the Project Sponsor shall submit a request for pricing determination from MOHCD at least eight (8) months prior to first certificate of occupancy.
- 10. Phasing. If any building permit is issued for partial phasing of the Project, the Project shall have designated not less than 5.6 percent (5.6%) of each phase's total number of dwelling units as on-site affordable units.
- 11. **Duration.** Under Planning Code Section 415.8, all units are constructed pursuant to Section 415.6, and therefore must remain Affordable to Qualifying Households for the life of the project.
- 12. Expiration of the Inclusionary Rate. Pursuant to Planning Code Section 415.6(a)(10), if the Project has not obtained a site or building permit within 30 months of Planning Commission Approval of this Motion No. 21487, then it is subject to the Inclusionary Affordable Housing Requirements in effect at the time of site or building permit issuance.
- 13. Expiration of the Temporary Inclusionary Rate Reductions pursuant to Section 415B. The first construction document for the project must be issued no later than 30 months from the date of the Final Approval for the project. If the Project Sponsor does not obtain first construction document within 30 months of Final Approval, the applicable inclusionary on-site rate shall be the rate in effect at the time of the issuance of the first construction document. Final Approval is defined in Planning Code Section 415A.2 as (1) the approval of the project's first Development Application, unless such approval is appealed; or (2) if a project only requires a building permit, the issuance of the first site or building permit, unless such permit is appealed; or (3) if the first Development Application or the first site or building permit, on the appeal by the relevant City Board or Commission.
- 14. Modification of Elected Alternative. Pursuant to Planning Code Section 415.5(g)(3), any proposed change from the on-site alternative to another alternative, including the Affordable Housing Fee, requires public notice for hearing and approval from the Planning Commission to amend these Conditions of Approval.
- 15. 20% below market rents. Pursuant to PC Section 415.6, the maximum affordable rents shall be no higher than 20% below market rents for the neighborhood within which the project is located, which shall be defined in accordance with the American Community Survey Neighborhood Profile Boundaries Map. MOHCD shall adjust the allowable rents, and the eligible households for such units, accordingly.
- 16. Procedures Manual. The Project is subject to the requirements of the Inclusionary Affordable Housing Program under Planning Code Section 415 et seq. and City and County of San Francisco Inclusionary Affordable Housing Program Monitoring and Procedures Manual ("Procedures Manual"), as amended from time to time. The Procedures Manual is incorporated herein by reference, as published and adopted by the Planning Commission, and as required by Planning Code Section 415. Terms used in these conditions of approval and not otherwise defined shall have the meanings set forth in the Procedures Manual. A copy of the Procedures Manual can be obtained at the MOHCD at 1 South Van Ness Avenue or

Planning

on the Planning Department or MOHCD websites, including on the internet at: https://sfmohcd.org/inclusionary-housing-program-manuals

As provided in the Inclusionary Affordable Housing Program, the applicable Procedures Manual is the manual in effect at the time the subject units are made available for initial rental, re-rental, and recertification.

- a) Comparability. The affordable unit(s) shall (1) be constructed, completed, ready for occupancy and marketed no later than the market rate units, and (2) be evenly distributed throughout the building floor plates; (3) be of comparable overall quality, construction and exterior appearance as the market rate units in the project; and (4) be maintained in the same manner as the market units. The interior features in Affordable Units should be generally the same as those of the market units in the project, but need not be the same make, model or type of such item as long they are of good and new quality and are consistent with then-current standards for new housing. Other specific standards for on-site units are outlined in Zoning Administrator Bulletin No. 10 and the Procedures Manual. Any material changes to an affordable unit following recordation of the Notice of Special Restrictions requires written approval from the Planning Department in consultation with MOHCD
- b) Tenure. The project is a Rental Housing Project. Therefore, the affordable unit(s) shall be rented to low-income, moderate-income, and middle-income households, as defined in the Planning Code and Procedures Manual. The initial and subsequent rent level of such units shall be calculated according to the Procedures Manual. Limitations on (i) occupancy; (ii) lease changes; (iii) subleasing, (iv) recertification, and (v) re-rental for the Affordable Units are set forth in the Procedures Manual.
- c) Marketing. The Project Sponsor is responsible for following the marketing, reporting, and monitoring requirements and procedures as set forth in the Procedures Manual. MOHCD shall be responsible for overseeing and monitoring the marketing of Affordable Units.
- d) Parking. The total number of parking spaces leased to residential tenants in the Project shall be made available to renters of Affordable Units according to the Procedures Manual.

Compliance. If the Project fails to comply with the Inclusionary Affordable Housing Program requirement, the Director of DBI shall deny any and all site or building permits or certificates of occupancy for the development project until the Planning Department notifies the DBI Director of the Project's compliance. The Planning Department, MOHCD and City Attorney's Office may also enforce against violations of the Inclusionary Affordable Housing program. A Project's failure to comply with the requirements of Planning Code Section 415 et seq. shall constitute cause for the City to record a lien against the Project and to pursue any and all available remedies at law, including penalties and interest, if applicable.

**28. Transportation Sustainability Fee.** The Project is subject to the Transportation Sustainability Fee (TSF), as applicable, pursuant to Planning Code Section 411A.

For information about compliance, contact the Case Planner, Planning Department at 628.652.7380, <a href="https://www.sfplanning.org">www.sfplanning.org</a>



**29. Residential Child Care Impact Fee.** The Project is subject to the Residential Child Care Fee, as applicable, pursuant to Planning Code Section 414A.

For information about compliance, contact the Case Planner, Planning Department at 628.652.7380, <a href="https://www.sfplanning.org">www.sfplanning.org</a>

**30. Eastern Neighborhoods Infrastructure Impact Fee.** The Project is subject to the Eastern Neighborhoods Infrastructure Impact Fee, as applicable, pursuant to Planning Code Section 423.

For information about compliance, contact the Case Planner, Planning Department at 628.652.7380, <a href="https://www.sfplanning.org">www.sfplanning.org</a>

### **Monitoring - After Entitlement**

**31. Enforcement.** Violation of any of the Planning Department conditions of approval contained in this Motion or of any other provisions of Planning Code applicable to this Project shall be subject to the enforcement procedures and administrative penalties set forth under Planning Code Section 176 or Section 176.1. The Planning Department may also refer the violation complaints to other city departments and agencies for appropriate enforcement action under their jurisdiction.

For information about compliance, contact Code Enforcement, Planning Department at 628.652.7463, <a href="https://www.sfplanning.org">www.sfplanning.org</a>

**32. Monitoring.** The Project requires monitoring of the conditions of approval in this Motion. The Project Sponsor or the subsequent responsible parties for the Project shall pay fees as established under Planning Code Section 350 and work with the Planning Department for information about compliance.

For information about compliance, contact Code Enforcement, Planning Department at 628.652.7463, <a href="https://www.sfplanning.org">www.sfplanning.org</a>

**33. Revocation due to Violation of Conditions.** Should implementation of this Project result in complaints from interested property owners, residents, or commercial lessees which are not resolved by the Project Sponsor and found to be in violation of the Planning Code and/or the specific conditions of approval for the Project as set forth in Exhibit A of this Motion, the Zoning Administrator shall refer such complaints to the Commission, after which it may hold a public hearing on the matter to consider revocation of this authorization.

For information about compliance, contact Code Enforcement, Planning Department at 628.652.7463, www.sfplanning.org

## Operation

**34. Sidewalk Maintenance.** The Project Sponsor shall maintain the main entrance to the building and all sidewalks abutting the subject property in a clean and sanitary condition in compliance with the Department of Public Works Streets and Sidewalk Maintenance Standards.

For information about compliance, contact Bureau of Street Use and Mapping, Department of Public Works,



### 628.271.2000, www.sfpublicworks.org

**35. Community Liaison.** Prior to issuance of a building permit to construct the project and implement the approved use, the Project Sponsor shall appoint a community liaison officer to deal with the issues of concern to owners and occupants of nearby properties. The Project Sponsor shall provide the Zoning Administrator and all registered neighborhood groups for the area with written notice of the name, business address, and telephone number of the community liaison. Should the contact information change, the Zoning Administrator and registered neighborhood groups shall be made aware of such change. The community liaison shall report to the Zoning Administrator what issues, if any, are of concern to the community and what issues have not been resolved by the Project Sponsor.

For information about compliance, contact Code Enforcement, Planning Department at 628.652.7463, <a href="https://www.sfplanning.org">www.sfplanning.org</a>

**36. Lighting.** All Project lighting shall be directed onto the Project site and immediately surrounding sidewalk area only, and designed and managed so as not to be a nuisance to adjacent residents. Nighttime lighting shall be the minimum necessary to ensure safety, but shall in no case be directed so as to constitute a nuisance to any surrounding property.

For information about compliance, contact Code Enforcement, Planning Department at 628.652.7463, <a href="https://www.sfplanning.org">www.sfplanning.org</a>



# **Exhibit B**

# **COVER PAGE**



SHEET LIST - ARCHITECTURAL PLANNING SET SHEET NAME G.0000 COVER PAGE G.0001 GENERAL INFORMATION G.0006 PROGRAMS G.0007 TRANSPARENCY G.0008 BYCICLE PARKING, LOCKERS AND SHOWERS G.0009 BUS ROUTES G.0011 ROOM NAME ABBREVIATION G.0111 SITE PHOTOS
A.1001 SITE PLAN A.1002 STREETSCAPE IMPROVEMENTS
A.1003 PLANTING PLAN A.1004 PLANTING PLAN - PODIUM A.2001 BYC / HCC - LEVEL B1 A.2002 BYC / HCC - LEVEL GROUND A.2003 BYC - LEVEL 2 A.2004 BYC - LEVEL 3
A.2005 BYC - LEVEL 4
A.2006 HCC - LEVEL 2 A.2007 HCC - LEVEL 3-6 A.2011 HCC - LEVEL 7 A.2012 HCC - LEVEL 8
A.2013 HCC - LEVEL 9-10
A.2014 HCC - LEVEL 11-13
A.2015 HCC - ROOF A.3001 BUILDING ELEVATIONS
A.3002 BUILDING ELEVATIONS A.3003 BUILDING ELEVATIONS A.3004 BUILDING ELEVATIONS A.3005 MATERIALS A.4001 BUILDING SECTIONS
A.4002 BUILDING SECTIONS A.4003 BUS RAMP SECTIONS
A.9001 AERIAL VIEW A.9003 STREET VIEW - 17TH ST

A.9004 STREET VIEW - BRYANT ST A.9005 STREET VIEW - MARIPOSA ST A.9006 STREET VIEW - HAMPSHIRE ST

ARCHITECTURE

**ARCADIS** 

ARCADIS 100 Montgomery St, Suite 300 San Francisco, CA NAME: Yancey Clayton EMAIL: yancey.clayton@arcadis.com

Y.A. studio

**ARCADIS** 

**ARCADIS** 

NABIH YOUSSEF ASSOCIATES STRUCTURAL ENGINEERS



Scale: 12" = 1'-0"

# **GENERAL INFORMATION**

JAN MAX

PART

RM SG SA SS SIM

Elevation Datum Marker

PRE-FINISHED PAINTED

ROUGH OPENING

ROOM SPANDREL GLAZING

SELF ADHERED STAINLESS STEEL

SIM SIMILAR
SPECS SPECIFICATIONS
SQ M SQUARE METER
STOR STORAGE
STRUCT STRUCTURAL

TACK BOARDS THICK

REFLECTED CEILING PLAN

### **ABBREVIATIONS**

ACT ACOUSTICAL CEILING TILES ADMIN ADMINISTRATION ALUM ALUMINUM
BF BARRIER FREE
CR CARD READER c/w CB CJ CG COMPLETE WITH CATCH BASIN CONTROL JOINT CORNER GUARD CL CENTER LINE
COMM COMMUNICATION CONC CONCRETE
CT CERAMIC TILE
DIA DIAMETER DWGS DRAWINGS ELEC ELECTRICA ELECTRICAL ELEV EQ ESL EXT ELEVATOR EQUAL

ENGLISH AS SECOND LANGUAGE EXTERIOR FIRE RESISTANCE RATING

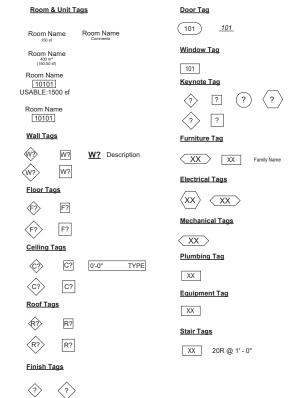
FD FLOOR DRAIN
FL FLOOR
G/S GRADUATE STUDENT
GALV GALVANIZED GUARDRAIL TYPE GYPSUM WALL BOARD GR-GWB HOLLOW STRUCTURAL STEEL HANDRAIL TYPE

Section Marker

JANITOR MAXIMUM MECHANICAL MINIMUM NOT IN CONTRACT NOT TO SCALE ON CENTER O.W.S.J. OPEN WEB STEEL JOIST P PROJECTOR PARTITION PLASTIC LAMINATE TYPE PART PARTITION
PL- PLASTIC LAMII
PREF PRE-FINISHED
PT PAINTED
R RADIUS
RO ROUGH OPEN
RCP REFLECTED C
RD ROOF DRAIN
REQ'D REQUIRED
PM POOM

TYP UG U/S UNIV VG WB W/ WC WD TYPICAL UNDER GRADUATE UNDERSIDE UNIVERSITY WHITE BOARD WITH WASHROOM WOOD

# Level (-00' 00" Level (-00' 00" DEFAULT(TYPED) Level (-00' 00") GEODETIC 20'-0" 1 View Name 1 View Name A101 Scale: NTS **Revision Tags** $\propto$ Photo Reference Tags



**SFMTA** 



Issue: PRJ

Date: 2023-12-21 Project No: 141440

Scale: As indicated

## **PROJECT INFORMATION - ZONING**

PROPERTY INFORMATION (FROM DEIR)	
Project Address:	2500 Mariposa Street
Cross Street(s):	Mariposa, Hampshire, Bryant, and 17th Streets
Block /Lot No.:	3971/001
Zoning District(s):	Public (P) Zoning District 65-X Height and Bulk District
Plan Area:	Mission Area Plan
Site Area:	191,854 SF (4.4 Acres)

COMPARISON OF CHARACTERISTICS OF THE PROPOSED PROJECT AND EIR			
Building and Site Characteristics	Proposed Project	DEIR (June 2021)	SF Planning / Zoning
Transit Facility Podium Height (feet)	75'	75'	-
Number of Transit Facility Stories	4	3	-
High-Rise Tower Height (feet)	Up to 145'-3"	Up to 150'	-
Height Limit (NOTE A)	150'	150'	65' (NOTE B)
Number of Joint Development Stories	Up to 12	Up to 13	-
5	20';	35 feet;	
Excavation Depth	142,230 cubic yards	248,900 cubic yards	-
Construction Duration	49 months	3 – 4 years	-
FAR (Floor Area Ratio) (NOTE C)	6.43	6.78	No Limit
Building Construction Area	1,233,994 gsf	1,300,000 gsf	-
Enclosed Bus Facility	710,437 gsf	723,000 gsf	-
Ramps & Circulation, Bus Storage and Service	638,201 gsf	671.000 gsf	-
Administration and Common Area	72,236 gsf	52,000 gsf	-
Residential	520,671 gsf	544,000 gsf	-
Commercial	2,886 gsf	33,000 gsf	-
Residential Units	465 units	575 units	-
Studio	72 units (15%)	141 units (24%)	-
One-Bedroom	159 units (34%)	206 units (36%)	-
Two-Bedroom	154 units (200%)	228 units (40%)	
Three-Bedroom	77 units (17%)	228 units (40%)	-
Manager Units	3 (1%)	0	-
Open Space	94,952 gsf	91,000 sf	-
Transportation and Circulation Features	Proposed Project	DEIR (June 2021)	SF Planning / Zoning
Maintenances Repair Bays	18	18	-
Vehicle Parking Spaces	374 (NOTE D)	310	0 (NOTE E)
Trolley Coaches (40 foot/60 foot)	213 (53/160)	213 (63/150)	-
Non-Revenue Vehicles (large/standard)	161 (12/149)	97 (8/89)	-
SFMTA Staff	0	0	-
Residential	0	0	-
Loading Supply	296 curb feet (5/2)	160 curb feet (3/2)	?
Commercial (On-Street/Off-Street)	40 curb feet (1/2)	40 curb feet (1/2)	?
Passenger (On-Street/Off-Street)	156 curb feet (2/0)	120 curb feet (3/0)	?
On-Street Parking Spaces Removed Along Adjacent Streets	75	48	-
Bicycle Parking Spaces (NOTE F)	313	773	220 (191/29)
Commercial (Class 1/Class 2)	278	736	6 (2/4)
Residencial (Class 1/Class 2)	35	37	214 (189/25)

NOTE A: HEIGHT LIMITS: MEASUREMENT

Per RFP Addendum No. 5 'Potrero Yard RFP Part III\_Division 2 Design Guidelines\_6-8-21': "Building heights shall be measured from the midpoint of the Mariposa Street property boundary. Refer to the San Francisco Planning Code for allowable equipment, appurtenances and penthouse height exceptions."

Per City of San Francisco Planning Code SEC. 260.a.2: "The upper point to which such measurement shall be taken shall be the highest point on the finished roof in the case of a flat roof, and the average height of the rise in the case of a pitched or stepped roof, or similarly sculptured roof form, or any higher point of a feature not exempted under Subsection (b) below."

Per City of San Francisco Planning Code SEC. 260.b:
(1)" The following features shall be exempt provided the limitations indicated for each are observed; and provided further that the sum of the horizontal areas of all features listed in this subsection (b)(1) shall not exceed 20% of the horizontal area of the roof above which they are situated. Ary such sum of 20% heretofore described may be increased to 30% by unroofed screening designed either to obscure the features listed under (A) and (B) below or to provide a more balanced and graceful silhouette for the top of the building or structure.

(A) Mechanical equipment and appurtenances necessary to the operation or maintenance of the building or structure itself, including chimneys, ventilators, plumbing vent stacks, cooling towers, water tanks, panels or devices for the collection of solar or wind energy, and window-wasning equipment, together with visual screening for any such features. This exemption shall be limited to the top 10 feet of such features where the height limit is 65 feet or less, and the top 16 feet of such features where the height limit is more than 65 feet.

(B) Elevator, stair and mechanical penthouses, fire towers, skylights and dormer windows. This exemption shall be limited to the top 10 feet of such features where the height limit is 65 feet. However, for eevator penthouses, the exemption shall be limited to the top 16 feet and limited to the footprint of the elevator shaft, regardless of the height limit of the building.

(2) The following features shall be exempt, without regard to their horizontal area, provided the limitations indicated for each are observed.

(A) Railings, parapets and catwalks, with a maximum height of four feet.

(B) Open railings, catwalks and fire escapes required by law, wherever situated.
(C) Unroofed recreation facilities with open fencing, including tennis and basketball courts at roof level, swimming pools with a maximum height of four feet and play equipment with a maximum height of 10 feet. (D) Unenclosed seating areas limited to tables, chairs and benches, and related windscreens, lattices and sunshades with a maximum height of 10 feet.

(E) Landscaping, with a maximum height of four feet for all features other than plant materials.

NOTE B: HEIGHT LIMITS: MAXIMUM

See 'REQUIRED ACTIONS BY THE SAN FRANCISCO PLANNING COMMISSION', regarding requirement for a Special Use District (SUD) to change the height and bulk designation from 65X to a designation that accommodates heights to a maximum 150 feet.

#### NOTE C: MAXIMUM FLOOR AREA RATIO

nough P and PDR zoning districts do not have basic floor area ratio limits, the adjacent UMU-zoned parcels have basic floor area ratio limits of either 4.0 to 1 or 5.0 to 1, for non-residential mixed uses

NOTE D: REQUIRED OFF-STREET PARKING SPACES
Per RFP Addendum No. 12: Table 2.B – 2030 Program Vehicle Summary found in Section 2 of RFP Part III Technical Requirements Division 3: Design Criteria Document will be amended to reflect an additional 66 spaces (btal of 84) for standard non-revenue vehicles (NRV). Note that the newly added asterisk below the table states that an estimated 10 to 20 NRV spaces may be considered for Transportation Demand Management programming for the Bus Yard Component. The "Total" value in this table is amended to be 370, reflecting the additional 66 spaces for standard non-revenue vehicles. This change will be reflected in RFP Part III Technical Requirements Division 3: Design Criteria Document and issued in a forthcoming Addendum to the RFP.

### NOTE E: REQUIRED OFF-STREET PARKING SPACES

None required for any proposed use, per City of San Francisco Planning Code SEC. 151

NOTE F: REOUIRED OFF-STREET BICYCLE PARKING SPACES
Per City of San Francisco Planning Code SEC. 155.2:
Residential uses: Senior housing: 1 Class 1 parking per every 10 units, 2 Class 2 spaces for every 50 units; Other housing: 100 Class 1 spaces plus one Class 1 space for every four Dwelling Units over 100, 1 Class 2 per 20 units.
Commercial uses: 1 Class 1 space for every 7,500 square feet of Occupied Floor Area, 1 Class 2 space for every 2,500 sq. ft. d Occupied Floor Area but minimu Classes 1 and 2 per City of San Francisco Planning Code SEC. 155.1

## REQUIRED ACTIONS BY THE SAN FRANCISCO PLANNING COMMISSION (FROM DEIR) Adoption of Findings of Consistency with the general plan and priority policies of planning code section 101.1

commendation to the San Francisco Board of Supervisors (board of supervisors) to amend the general plan, including but not limited to the Mission Area Plan and

Recommendation to the board of supervisors to amend the planning code and zoning maps by 1) establishing a Special Use District (SUD) to accommodate residential and commercial uses and to designate the boundaries of the SUD; (2) maintaining the underlying zoning from P (Public); and (3) changing the height and bulk designation from 65X to a designation that accommodates heights to a maximum 150 feet

Approval either through a Conditional Use authorization under planning code section 303, Large Project authorization under planning code section 329, or similar project authorization pursuant to the SUD

REGULATORY FRAMEWORK (FROM DEIR) SAN FRANCISCO GENERAL PLAN	
Recreation and Open Space Element (ROSE)	Policy 1.9 in the general plan: Solar access to public open space should be protected. (No shadow on 'Properties under the jurisdiction of the Recreation and Park Department', ie the park across the street from the Project.
Urban Design Element	Policy 3.4 in the general plan: Promotion of building forms that will respect and improve the integrity of open spaces and other public areas.
Mission Area Plan	Objective 5.3: Creation of a network of "Green Connector" streets in the Mission District, including 17th Street, that connect open spaces and improve walkability, aesthetics, and ecological sustainability of the Mission.
	Policy 5.3.7: Mission Public Realm Plan with detail the differing design needs of different types of streets in the Mission.
	Policy 3.1.2: Design of new, mixed-use infill development in the Northeast Mission Industrial Zone should strengthen the area's industrial character through appropriate materials, massing, and
	Policy 3.1.12: Requires height limits and upper-story setbacks along alley frontages to maintain adequate light and air to sidewalks
SAN FRANCISCO PLANNING CODE	
Section 101.1	Priority Policy No. 8 calls for the protection of parks and open space and their access to sunlight and vistas. The City is required to find that the proposed project or legislation would be consistent with the Priority Policies.
Section 147	Establishes additional design guidelines for new buildings and additions in C-3 Downtown Commercial, South of Market Mixed Use, and Eastern Neighborhoods Mixed Use Districts where the height exceeds 50 feet. It requires such projects to be shaped to minimize shadow on public plazas and other publicly accessible spaces other than those protected under planning code section 295 (described below). (Doesn't seem to affect our current land-use)
Section 295	Prohibits the approval of "any structure that would cast any snade or shadow upon any property under the jurisdiction of, or designated for acquisition by, the Recreation and Park Commission, unless the San Francisco Planning Commission (planning commission than the retire and comment by the recreation and park commission, has found that the shadows cast by a proposed project would not have an adverse impact on the use of the property. Section 295 does not apply to structures that do not exceed 40 feet in height. The period analyzed is from the first hour after sunrise until the last hour before sunset.  Note: "The planning commission and the recreation and park commission have not established and park of the property of the

BUILDING CODE & ZONING REQUIREMENTS Authority Having Jurisdiction:	City and County of San Francisco
Zoning Code:	San Francisco Administrative Code (Planning Code)
Applicable Codes (Adopted):	ASHRAE- 62.1, 90.1, 189.1
	California Building Standards Code (with local amendments)
	California Electrical Code (with local amendments)
	California Energy Code (with local amendments)
	California Existing Building Code (with local amendments)
	California Fire Code (with local amendments)
	California Green Building Standards Code (with local amendments)
	California Historical Building Code (with local amendments)
	California Mechanical Code (with local amendments)
	California Plumbing Code (with local amendments)
	California Reference Standards Code (with local amendments)
	Department of Justice ADA Standards for Accessible Design
	NFPA Codes- 13, 30, 30A, 33, 88A, 110, 111, 704, 720
	San Francisco Code
	Amendments, State
	Amendments, Ordinances, and
	Law
Occupancy Group:	S-2, B, R-2, M

CONSTRUCTION TYPE/ HEIGHT & AREA (SEE ICC	TABLE 503; ICC TABLE 504.3) (FROM RFP Part III_Division 3)
Type I-B Max.	150'-0"/ _Floors @_sf ea. Per ICC 2016; 85' per San Francisco Municipal Code
Fire Protection:	Sprinkler System

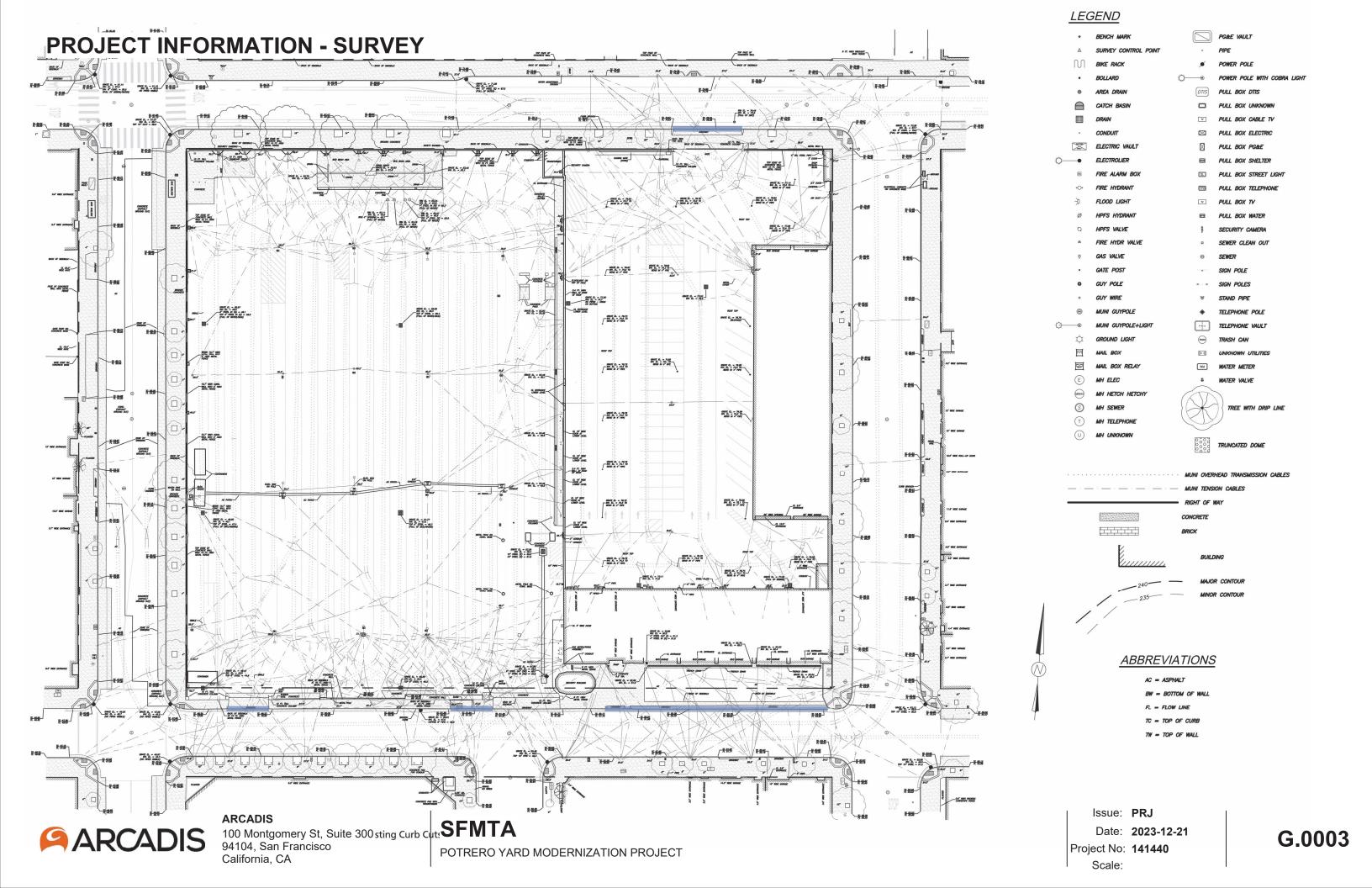
FIRE RESISTANCE RATING REQUIREMENTS FOR BUILDING ELEMENTS, FOR TYPE 1-B CONSTRUCTION (ICC TABLE 601) (FROM RFP Part III_Division				
Structural Frame Including Columns, Joists, & Girders	Supporting Floors - 2 hours / Supporting Roof ONLY - 1 hour			
Bearing Walls Exterior	(per ICC Table 602) - 2 hours			
Bearing Walls Interior	Supporting Floors - 2 hours / Supporting Roof ONLY - 1 hour			
Non-Bearing Walls & Partitions Exterior	(per ICC Table 602) - 1 hour			
Floor Construction Including Supporting Beams & Joists	2 hours			
Roof Construction Including Supporting Beams & Joists	2 hours			

OCCUPANCY SEPARATION, FIRE BARRIERS, FIRE PARTITIONS, & REQUIRED OPENING PROTECTIVES, FOR TYPE I-B CONSTRUCTION (ICC TABLE 504.3, TABLE 504.4, TABLE 716.5) (FROM RFP Part III_Division 3)			
	Partitions	Openings	
Occupancy Separation between (S-2, Bus Repair Garage) & (B, Training Area, Operations)	2 hours	-	
Occupancy Separation between (S-2, Bus Repair Garage) & (R-2, Residential T.O.D.)	2 hours	-	
Exit Passageways	1 hour	1 hour	
Exit Enclosures	1 hour	1 hour	
Vertical Shafts (for 14 stories, 144 feet, 0 inch total height)	1 hour	1 hour	

INTERIOR WALL AND CEILING FINISH REQUIREMENTS BY OCCUPANCY (SPRINKLERED BUILDING), FOR TYPE I -B CONSTRUCTION (ICC TABLE 803.11) (FROM RFP Part III_Division 3)			
OCCUPANCY GROUP	EXIT ENCLOSURES & EXIT PASSAGEWAYS	CORRIDORS	ROOMS & ENCLOSED SPACES
S-2	Class C	Class C	Class C
В	Class B	Class C	Class C
R-2	Class C	Class C	Class C



Issue: PRJ



# **PROGRAMS**

### GENERAL PROGRAMS

Landuse Summary(sf)		
HCC 520,671		
BYC Facility 638,201		
<b>BYC Admin.</b> 72,236		
Usable Open Space	94,952	

Dwelling Units - Affordable	247
Dwelling Units - Workforce Housing	218
Total Units	465

Numbers of Building	1
Numbers of Levels	13

### **UNIT BREAKDOWN**

		UNIT BREAKDOWN (COUNT)																			
LEVEL		FAMILY	(BRYANT	BAR)		F	AMILY (F	ODIUM N	ORTH)			FAMILY (	PODIUM S	SOUTH)			WOR	KFORCE			TOTAL
	STUDIO/1ba	1B/1ba	2B/1ba	3B/2ba	TOTAL	STUDIO/1ba	1B/1ba	2B/1ba	3B/2ba	TOTAL	STUDIO/1ba	1B/1ba	2B/1ba	3B/2ba	-OTAL	STUDIO/1ba	1B/1ba	2B/2ba	3B/2ba	TOTAL	
ROOF																					
13	2	0	1	2	5	1	3	0	1	5		5	3	3	11	0	0	9	3	12	33
12	2	0	1	2	5	1	3	0	1	5		5	3	3	11	0	0	9	3	12	33
11	2	0	1	2	5	1	3	0	1	5		5	3	3	11	0	0	9	3	12	33
10	2	1	4	2	9	2	5	4	3	14		5	3	3	11	16	18	11	1	46	80
9	2	1	4	2	9	2	5	4	3	14		5	3	3	11	16	18	11	1	46	80
8	2	1	4	2	9	1	4	4	3	12		5	3	3	11	9	19	15	2	45	77
7	1	1	4	2	8	1	4	5	1	11		5	1	3	9	9	19	15	2	45	73
6		4	4	3	11																11
5		4	4	3	11																11
4		4	4	3	11																11
3		4	4	3	11																11
2		3	4	2	9																9
1																					
B1																					
TOTAL	13	23	39	28	103	9	27	17	13	66	0	35	19	21	75	50	74	79	15	218	462
	13%	22%	38%	27%	100%	14%	41%	26%	20%	100%	0%	47%	25%	28%	100%	23%	34%	36%	7%	100%	
Manager's unit			1		1			1		1			1		1						3

	OVERALL	OVERALL UNIT BREAKDOWN									
	STUDIO	1B	2B	3B	TOTAL						
COUNT	72	159	157	77	465						
%	15%	34%	34%	17%	100%						

TOTAL BEDROOMS
776

	ACCESIB	ACCESIBLE UNIT BREAKDOWN									
	STUDIO	1B	2B	3B	TOTAL						
MOBILITY	4	4	24	0	32						
% OF ALL	1%	1%	3%	0%	4%						
ADAPTIBLE	68	155	133	77	433						
% OF ALL	00/	20%	17%	10%	56%						

### AREA BREAKDOWN

				GROSS BUILD	ING AREA (SF)						DEDUCTIONS FOR EX	EMPTION PER SEC 102			
LEVEL	HEIGHT ABOVE GROUND LEVEL	FLOOR TO FLOOR HEIGHT	BUS MAINTENANCE	BUS ADMIN	OFFICE	RESIDENTIAL	RESIDENTIAL AMENITY/COMMON	RETAIL	TOTAL GROSS FLOOR AREA	Basement Area per 102.9 (b) 1 (storage and maintenance)	MEP / BOH Building Services 102.9 (b) (3) & (4)	Bicycle Parking 102.9 (b) (8)	Residential Elevator shaft on nonresidential floors 102.9 (b) (11)	GROSS FLOOR AREA LESS DEDUCTIONS PER SEC 102	TOTAL OCCUPIED FLOOR AREA
OVERRUN	155'-2"										2,158 SF	)			
ROOF	145'-3"										34,443 SF				
13	135'-2"	10'				36,601 SF			36,601 SF					36,601 SF	36,049 SF
12	125'-1"	10'				36,601 SF			36,601 SF					36,601 SF	36,049 SF
11	115'-0"	10'				36,601 SF			36,601 SF					36,601 SF	36,049 SF
10	104-11"	10'				72,578 SF	1,608 SF		74,186 SF		1,614 SF			72,572 SF	72,020 SF
9	94'10"	10'				72,578 SF	1,608 SF		74,186 SF		1,625 SF			72,561 SF	72,009 SF
8	84'-9"	10'				76,305 SF	2,842 SF		79,147 SF		1,182 SF			77,965 SF	77,413 SF
7	74'-8"	10'				77,670 SF	6,920 SF		84,590 SF		660 SF	1,083 SF		82,847 SF	83,378 SF
6	59'-10"	15'-2"				15,967 SF			15,967 SF					15,967 SF	15,705 SF
5	50'-0"	9'-10"				15,967 SF			15,967 SF					15,967 SF	15,705 SF
BUS 4	49'-9"	20'-4"	172,257 SF				316 SF		172,573 SF				316 SF	172,257 SF	9,415 SF
4	40'-2"	9'-10"				15,967 SF			15,967 SF					15,967 SF	15,705 SF
3	30'-4"	9'-10"				15,967 SF			15,967 SF					15,967 SF	15,705 SF
BUS 3	29'-4"	20'-5"	172,737 SF				316 SF		173,053 SF				316 SF	172,737 SF	9,415 SF
2	20'-6"	9'-10"				13,971 SF			13,971 SF					13,971 SF	13,709 SF
BUS 2	17'-6"	11'-10"	44,563 SF	54,158 SF		3,333 SF		839 SF	102,054 SF		12,466 SF			89,588 SF	79,636 SF
GROUND	-8"	18'-2"	154,170 SF	18,078 SF	2,061 SF	4,560 SF	5,459 SF	2,047 SF	184,328 SF		734 SF	1,778 SF		181,816 SF	34,077 SF
B1	-20'-8"	20'-0"	94,474 SF			4,875 SF			99,349 SF	1,692 SF	20,319 SF	303 SF		77,035 SF	12,414 SF
GRAND TOTALS			638,201 SF	72,236 SF	2,061 SF	499,541 SF	19,069 SF	2,886 SF	1,231,108 SF	1,692 SF	75,201 SF	3,164 SF	632 SF	1,187,020 SF	634,453 SF

### OPEN SPACE BREAKDOWN

Area Schedu	Area Schedule - Open Space - By Area					
Name	Level	Area				

 BYC
 OPEN SPACE
 BUS FL 2
 1,044 SF

 OPEN SPACE
 BUS FL 4
 900 SF

 BYC
 1,945 SF

 RESI

 OPEN SPACE
 FL 07
 88,473 SF

 OPEN SPACE
 FL 07
 1,798 SF

 OPEN SPACE
 FL 07
 2,737 SF

 RESI
 93,007 SF

 Grand total
 94,951 SF

**ARCADIS** 

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California, CA

SFMTA

POTRERO YARD MODERNIZATION PROJECT

Issue: PRJ

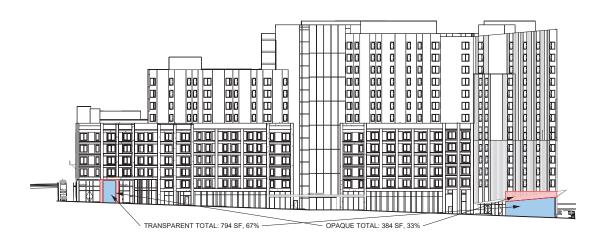
Date: **2023-12-21** Project No: **141440** 

Scale:

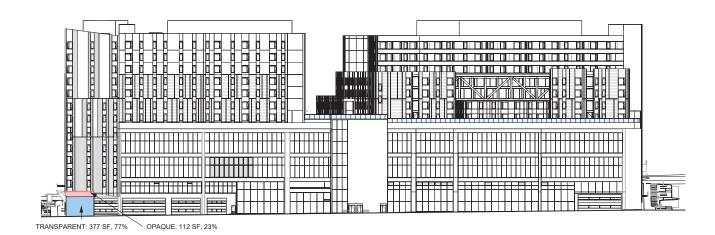
## **TRANSPARENCY**



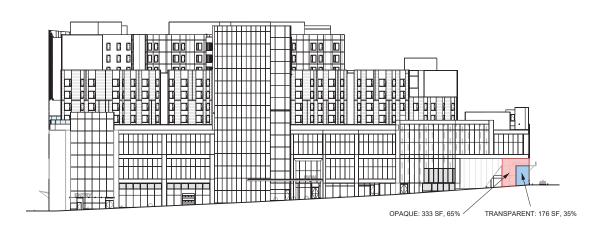
1 ELEVATION - NORTH - TRANSPARENCY



2 ELEVATION - WEST - TRANSPARENCY



3 ELEVATION - SOUTH - TRANSPARENCY
G.0007 Scale: 1" = 40"-0"



4 ELEVATION - EAST - TRANSPARENCY
G.0007 Scale: 1" = 40'-0"

OPAQUE
TRANSPARENT

	TOTAL AREA	%
OPAQUE	1,009 SF	37%
TRANSPARENT	1,724 SF	63%
	2,733 SF	



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Scale: 1" = 40'-0"

# **BYCICLE PARKING, LOCKERS AND SHOWERS**

### **BIKE AND STORAGE SUMMARY**

	CLASS 1 BIKE STORAGE REQUIREMENTS PER SFMC SECTION 155.2							
	BIKES PER UNIT/AREA	RESIDENTIAL UNITS	RETAIL/OFFICE/ INDUSTRIAL AREA (SF)	REQUIRED BIKE STORAGE	PROVIDED IN PROJECT			
RESIDENTIAL REQUIREMENT (WORKFORCE)	100 CLASS 1 SPACES + 1 CLASS 1 SPACE FOR EVERY 4 DWELLING UNITS ABOVE 100 UNITS	218		- 130	168			
RESIDENTIAL REQUIREMENT (AFFORDABLE)	100 CLASS 1 SPACES + 1 CLASS 1 SPACE FOR EVERY 4 DWELLING UNITS ABOVE 100 UNITS	244		136	140			
RETAIL REQUIREMENT	1 CLASS 1 SPACE FOR EVERY 7,500 SF OF OCCUPIED FLOOR AREA		3,500					
OFFICE REQUIREMENT	1 CLASS 1 SPACE FOR EVERY 5,000 SF OF OCCUPIED FLOOR AREA	-	28,746	6	12			
INDUSTRIAL REQUIREMENT	1 CLASS 1 SPACE FOR EVERY 12,000 SF OF OCCUPIED FLOOR AREA, EXCEPT NOT LESS THAN TWO CLASS 1 APACES FOR ANY USE LARGER THAN 5000 SF	-	74,450	7	12			
				279	332			

	BIKE ST	DRAGE PROVISIONS	
CLASS I @ B1, GI	ROUND FLOOR, AND FL07 WORK	ORCE HOUSING BIKE STORAGE ROOMS	
TYPE	AMOUNT	# BIKES PER RACK TOTAL BIKES	
SINGLE		0 1	-
DERO DUPLEX		83 4	333
VERTICAL BIKE LIFE	E	0 8	
	<u> </u>	TOTAL CLASS I	
		PROVIDED	33
CLASS II @ GROI	JND LEVEL		
		# BIKES PER	
TYPE	AMOUNT	RACK TOTAL BIKES	
SINGLE		35 1	3
DOUBLE STACKED		0 2	-
		TOTAL CLASS II PROVIDED	3

	BIKES PER UNIT/AREA	RESIDENTIAL UNITS	RETAIL/INDUSTRIAL AREA (SF)	REQUIRED BIKE STORAGE	PROVIDED II PROJECT
RESIDENTIAL REQUIREMENT (WORKFORCE)	1 CLASS 2 SPACE / 20 DWELLING UNITS	218	-	11	
RESIDENTIAL REQUIREMENT (AFFORDABLE)	1 CLASS 2 SPACE / 20 DWELLING UNITS	244		13	
RETAIL REQUIREMENT	1 CLASS 2 SPACE FOR EVERY 2,500 SF OF OCCUPIED FLOOR AREA	-	3,500	2	
OFFICE REQUIREMENT	MINIMUM 2 SPACES FOR ANY OFFICE USE GREATER THAN 5,000 SF OF OCCUPIED FLOOR AREA, AND 1 CLASS 2 SPACE FOR EACH ADDITIONAL 50,000		28,746	2	
INDUSTRIAL REQUIREMENT	FOUR CLASS 2 SPACES FOR ANY USE LARGER THAN 50,000 SF		>50,000	4	
				32	35

### SHOWERS AND LOCKERS SUMMARY

LOCKER AND SHOWER REQUIREMENTS PER SFMC SECTION 155.4									
	UNITS PER AREA	AREA	REQUIRED	PROVIDED IN PROJECT					
LOCKER REQUIREMENTS	24 CLOTHES LOCKERS ARE REQUIRED WHERE OCCUPIED FLOOR AREA EXCEEDS 50,000 SQUARE FEET	>50000 sqft	24	402					
SHOWER REQUIREMENTS	FOUR SHOWERS ARE REQUIRED WHERE OCCUPIED FLOOR AREA EXCEEDS 50,000 SQUARE FEET	>50000 sqft	4	25					

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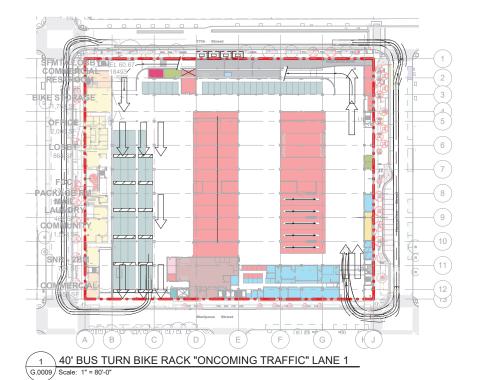
POTRERO YARD MODERNIZATION PROJECT

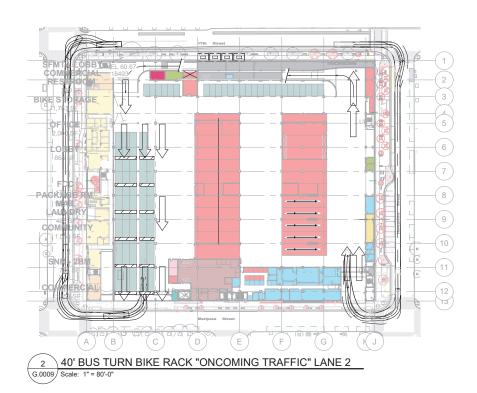
Issue: PRJ

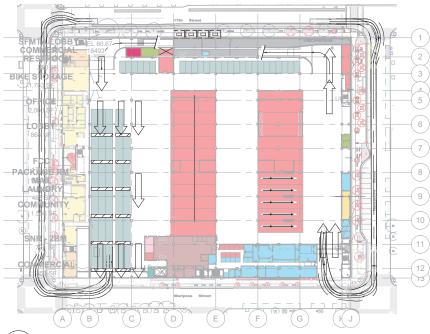
Date: 2023-12-21

Project No: **141440**Scale:

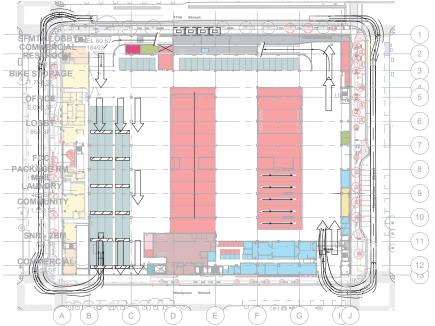
# **BUS ROUTES**



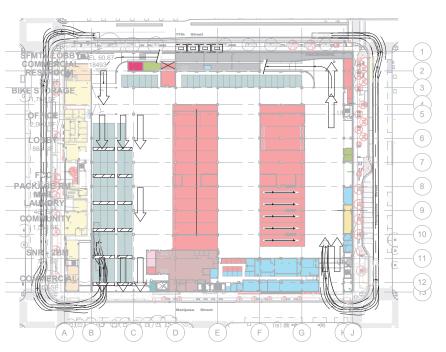




3 40' BUS TURN BIKE RACK "ONCOMING TRAFFIC" LANE 3 G.0009 Scale: 1" = 80'-0"







5 40' BUS TURN BIKE RACK "ONCOMING TRAFFIC" LANE 10 G.0009 Scale: 1" = 80'-0"

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POTRERO YARD MODERNIZATION PROJECT

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Scale: 1" = 80'-0"

# **ROOM NAME ABBREVIATION**

NSM BYC / HC	NSM BYC / HCC LEVEL BASEMENT						
NAME SHOWN ON DWG	NAME IN PROGRAM						
01 PARKING							
BM N-REV	BUILDING MAINTENANCE NON-REVENUE VEHICLE						
L N-REV	LARGE NON-REV VEHICLE						
N-REV	STANDARD NON-REV VEHICLE						
ROAD TRUCK	BUILDING MAINTENANCE NON-REVENUE VEHICLE						
ROAD TRUCK	LARGE NON-REV VEHICLE						
SE N-REV	STATIONARY ENGINEER NON-REVENUE VEHICLE						

04 SERVICE & CLEAN
WATER RECLAMATION WATER RECLAMATION

09 SHARED	
BYC BICYCLE PARKING	BICYCLE PARKING
ELEC ROOM	ELECTRICAL ROOM ALLOWANCE
HAZARDOUS WASTE	HAZARDOUS WASTE
MECH	MECHANICAL ROOM ALLOWANCE
MPOE	MAIN POINT OF ENTRY
TRASH/ RECYCLING/ COMPOST COMPACTOR	TRASH/ RECYCLING/ COMPOST COMPACTOR
BYC FIRE PUMP	BYC FIRE PUMP
DIESEL STORAGE	DIESEL STORAGE ROOM

#### CAR SHARE PARKING

CAR SHARE PARKING CAR SHARE PARKING

FMO	
ADMIN	ADMIN OPEN OFFICE AREA
BREAK	LUNCH AND BREAK ROOM
FEMALE	FEMALE WASHROOM AND SHOWERS
IT	IT ROOM
JNTR	JANITOR CLOSET 1
LOCKER	FM LOCKER ROOM
MALE	MALE WASHROOM AND SHOWERS
MNGR	SITE MANAGER
STOR	OFFICE STORAGE
STORAGE	SPARE PARTS STORAGE
TECH SHOP	TECH SHOP
LINISEX	LINISEX WASHROOM

### FMO PARKING

FMO PARKING FMO PARKING

#### HCC BOH/CIRCULATION

CIRCULATION	CIRCULATION
HCC FIRE PUMP	FIRE PUMP
HCC FIRE PUMP	HCC FIRE PUMP
HCC MPOE	HCC TECHNOLOGY ENTRANCE ROOM
HCC WATER BOOSTER PUMP	HCC WATER BOOSTER PUMP
LOADING	LOADING
RESIDENTIAL STORAGE	LOBBY
RESIDENTIAL TRASH ROOM	WASTE STORAGE

#### HCC/BYC MEP

60,000 GALLON TANK FOR HCC	60,000 GALLON TANK FOR HCC
AFF ELECTRICAL	AFF ELECTRICAL ROOM
AFF EMERGENCY ELECTRICAL	AFF EMERGENCY ELECTRICAL ROOM
DCW BOOSTER ROOM	DCW BOOSTER ROOM
GREY WATER TANK	GREY WATER TANK
PROCESSING PLANT	PROCESSING PLANT
RAIN WATER TANK	RAIN WATER TANK
THERMAL STORAGE PUMP	HCC THERMAL STORAGE PUMP ROOM
WRK ELECTRICAL	WRK ELECTRICAL ROOM
WRK EMERGENCY ELECTRICAL	WRK ELECTRICAL EMERGENCY ROOM

### UNASSIGNED

STORAGE	STORA

NSM BYC / HCC LEVEL GROUND PR	
NAME SHOWN ON DWG	NAME IN PROGRAM
1 PARKING	
:0' BUS	40' BUS
I-REV	STANDARD NON-REV VEHICLE

2 BAYS & SHOPS	
BR	60' BUS MINOR BODY REPAIR
CR	CONTROL ROOM - CLERK
CW	60' BUS CHASSIS WASH
S	ELECTRONIC SUPERVISOR
S	FLOOR SUPERVISOR
PM	60' BUS PREVENTIVE MAINTENANCE
PM	PREVENTIVE MAINTENANCE SUPERVISOR
RB	60' BUS REPAIR BAY
RR	RUNNING REPAIR SUPERVISOR
ТВ	60' BUS TIRE BAY
COMM	DATA/ COMM ROOM
COMP.	COMPRESSOR ROOM
CWA	COMMON WORK AREA
BS	ELECTRONIC BENCH SHOP
S WKST	ELECTRONIC SHOP WORKSTATIONS
.UBE	LUBE ROOM
ИBS	MINOR BODY SHOP
PES	PORTABLE EQUIPMENT STORAGE
BS	TOOL BOX STORAGE
TIRE SHOP	TIRE SHOP
TRE STORAGE	TIRE STORAGE
OOL STOR	TOOL STORAGE

#### 04 SERVICE & CLEAN

CLEANING EQUIPMENT STORAGE CL EQ

05 PARIS	
BREAK	BREAK ROOM
GN'S	GENDER NEUTRAL RESTROOM
LOCKERS	PARTS LOCKERS
PART STOR	PARTS STORAGE
PARTS WINDOW	PARTS WINDOW
PS	PARTS SUPERVISOR
PSKP	PARTS SHOPKEEPER
RECEIVING OFFICE	RECEIVING OFFICE

### OR MAINTENANCE

00 MAINTENANCE	
AA	ADMINISTRATIVE ASSISTANT
ARCHIVE	ARCHIVE RECORD STORAGE
ASP	ASSISTANT SUPERINTENDENT
BREAK	BREAK ROOM
COMM	DATA/ COMM ROOM
COPY	COPY/ SUPPLY
CSTDL	CUSTODIAL
GN'S	GENDER NEUTRAL ACCESSIBLE LOCKER/ SHOWER/ RESTROOM
HTL	HOTELING - WORKSTATION
KITCHEN	KITCHENETTE/ VENDING
LIBRARY	LIBRARY/ ONLINE RESOURCES
LOCKER	MEN'S LOCKER
LOCKER	WOMEN'S LOCKER
MEN'S	MEN'S RESTROOM/ SHOWER
RECORDS	RECORDS STORAGE
SC	SENIOR CONTROLLER
SP	SUPERINTENDENT
SS	SUPPORT SHOP
TRAINING	TRAINING ROOM
UNIFORM	UNIFORM ALCOVE
WOMEN'S	WOMEN'S RESTROOM/ SHOWER

### 07 OPERATIONS

YARD STARTER OFFICE

### 08 TRANSIT SERVICES (MRO)

ES/CR	TRANSIT OPERATIONS/ EQUIPMENT
	STORAGE/ COMPONENT
	REBUILDING ASSEMBLY

### NSM BYC / HCC LEVEL GROUND PRJ

NAME SHOWN ON DWG	NAME IN PROGRAM
09 SHARED	
FSE	FACILITIES STATIONARY ENGINEER
MEET AND GREET	MEET AND GREET
REVENUE	REVENUE OFFICE

#### 10 TRAINING

OMM	DATA/ COMM ROOM

#### HCC BOH/CIRCULATION CIRCULATION CIRCULATION

RESIDENTIAL TRASH	TRASH	
HCC/BYC MEP		
FLEO	FLEOTOLOAL	-

ROOM	MAIN ELECTRICAL ROOM
MECHANICAL ROOM	MECHANICAL ROOM

CHARGERS

#### UNASSIGNED

FM SHOP	FM SHOP

#### NSM BYC / HCC LEVEL 2 - PRJ NAME SHOWN ON DWG NAME IN PROGRAM

07 OPERATIONS	
AA	ADMINISTRATIVE ASSISTANT
ASP	ASSISTANT SUPERINTENDENT
COPY	COPY/ SUPPLY
DISP	DISPATCH
HTL	HOTELING - WORKSTATION
OPS	OPERATIONS SUPERVISOR
RCV	RECEIVER
RECORDS	RECORDS STORAGE
SP	SUPERINTENDENT
TRAINER	TRAINER
UNFM	UNIFORM STORAGE
UNION	UNION OFFICE
BREAK	BREAK ROOM
CH	LOCKER CHANGING AREA
COMM	DATA/ COMM ROOM
CSTDL	CUSTODIAL
GN'S	GENDER NEUTRAL ACCESSIBLE
	LOCKER/ SHOWER/ RESTROOM
KITCHEN	KITCHENETTE/ VENDING
LOCKERS	LOCKERS
MEN'S	MEN'S RESTROOM/ SHOWER
OPERATOR CHECK-IN/ DISPATCH/ RECEIVER	OPERATOR CHECK-IN / DISPATCH / RECEIVER

### 08 TRANSIT SERVICES (MRO)

QUIET

TV RM

WOMEN'S

RECREATN AREA

SFMTA OPEN SPACE

BREAK	BREAK ROOM
СН	LOCKER CHANGING AREA
COMM	DATA/ COMM ROOM
CONFER	CONFERENCE ROOM
CSTDL	CUSTODIAL
GN'S	GENDER NEUTRAL ACCESSIBLE LOCKER/ SHOWER/ RESTROOM
JMA	JUNIOR MANAGERMENT ASSISTANT
LOCKERS	LOCKERS
MEN'S	MEN'S RESTROOM/ SHOWER
MRO	MRO, STREET OPERATIONS
OM	OPERATIONS MANAGER
TM II	TRANSIT MANAGER II
TOS	OPERATIONS SPECIALIST
TRAINING	TRAINING ROOM
WOMEN'S	WOMEN'S RESTROOM/ SHOWER

QUIET ROOM

TV ROOM

RECREATION AREA

SFMTA OPEN SPACE

WOMEN'S RESTROOM/ SHOWER

#### 09 SHARED

OO OIII II LED	
BLDG M STOR	BUILDING MAINTENANCE STORAGE
BOILER ROOM	BOILER ROOM
CHILLER ROOM	CHILLER ROOM
COMM	TELECOMMUNICATION ROOM
COMMUNITY ROOM	COMMUNITY ROOM
FITNESS	FITNESS
GN'S	GENDER NEUTRAL ACCESSIBLE RESTROOM
L CONF	LARGE CONFERENCE/ SMALL TRAINING
LCTN	LACTATION ROOM
LOBBY	LOBBY
M CONF	MEDIUM CONFERENCE ROOM
MAIN COMM ROOM	MAIN TELECOMMUNICATION ROOM
MECH	MECHANICAL ROOM ALLOWANCE
MECH ROOM	HVAC ROOM
SECURITY	SECURITY OFFICE
TME	TRANSIT MAINTENANCE ENGINEER
GN'S	GENDER NEUTRAL ACCESSIBLE RESTROOM

## NSM BYC / HCC LEVEL 2 - PRJ

NAME SHOWN ON DWG

10 TRAINING		01 PARKING	
ARCHIVE	RECORDS ARCHIVE STORAGE	40' BUS	40' BUS
ASP	ASSIST SUPERINTENDENTS	60' BUS	60' BUS
BREAK	BREAKROOM	N-REV	STANDARD NON-REV VEHICLE
CAT	CAT TRAINING		
CL	CLERICAL STAFF	04 SERVICE & (	CLEAN
CLASS A	CLASSROOM A	BUS WASHER	BUS WASHER
CLASS B	CLASSROOM B	CL EQ	CLEANING EQUIPMENT STORAG
CLASS C	CLASSROOM C	SERVICE	SERVICE POSITION
CLASS D	CLASSROOM D	POSITION	
COMP. LAB	COMPUTER LAB	SS	SERVICE SUPERVISOR OFFICE
CONF A	CONFERENCE ROOM A		
CONF B	CONFERENCE ROOM B	06 MAINTENAN	
COPY	COPY/ SUPPLY	CTRL. RM.	CTRL RM
CSTDL	CUSTODIAL		
GN'S	GENDER NEUTRAL ACCESSIBLE	09 SHARED	
	LOCKER/ SHOWER/ RESTROOM	GN'S	GENDER NEUTRAL ACCESSIBLE
HANDOUTS	HANDOUTS STORAGE		RESTROOM
INS	INSTRUCTORS		
INS LK	INSTRUCTOR LOCKER	HCC COMMERC	IAL

KITCHENETTE/ VENDING

MEN'S RESTROOM/ SHOWER

LACTATION ROOM

OPERATOR LOCKER

RECORDS STORAGE

TRAINING AID STORAGE

WOMEN'S RESTROOM/ SHOWER

SIMULATOR ROOM

UNIFORM STORAGE

NAME IN PROGRAM

#### HCC BOH/CIRCUI ATION

KITCHEN

LCTN

MEN'S

OP LK

RECEP

SIMU.

UNFM

WOMEN'S

RECORDS

TRAINING AID

MG

HCC BOH/CIRCULATION	
HCC VERTICAL CIRCULATION	CIRCULATION
BIKE	BICYCLE PARKING
CIRCULATION	CIRCULATION
ENTRY VEST	LOBBY
LOBBY	LOBBY
MAILROOM	MAILROOM
TRASH	TRASH
VESTIBULE	LOBBY
FIRE COMMAND CENTER	FIRE COMMAND CENTER

IT OFFICE

MANAGER

<varies>

RECEPTION

TEAM LEADER

#### HCC/BYC MEP

	ELECTRICAL ROOM FOR CHARGERS
UNASSIGNED	
STORAGE	STORAGE

### NSM BYC LEVEL 3 - PRJ NAME SHOWN ON DWG NAME IN PROGRAM

#### EAN

BUS WASHER	BUS WASHER
CL EQ	CLEANING EQUIPMENT STORAGE
SERVICE POSITION	SERVICE POSITION
SS	SERVICE SUPERVISOR OFFICE

09 SHARED	
GN'S	GENDER NEUTRAL ACCESSIBLE

RETAIL RETAIL

UNASSIGNED	
JNTR	JANITOR CLOSET
WASH	WASH EQUIPMENT ROOM
EQUIPMENT	
ROOM	

#### NSM BYC LEVEL 4 - PRJ NAME SHOWN ON DWG NAME IN PROGRAM

#### 01 PARKING 60' BUS 60' BUS STANDARD NON-REV VEHICLE N-REV

### 04 SERVICE & CLEAN

BUS WASHER	BUS WASHER
CL EQ	CLEANING EQUIPMENT STORAGE
SERVICE POSITION	SERVICE POSITION
SS	SERVICE SUPERVISOR OFFICE

#### 09 SHARED

00 011/11/12	
GN'S	GENDER NEUTRAL ACCESSIBLE
	RESTROOM

#### UNASSIGNED

0111100101122	
JNTR	JANITOR CLOSET
WASH EQUIPMENT ROOM	WASH EQUIPMENT ROOM

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Scale:

# **SITE PHOTOS**



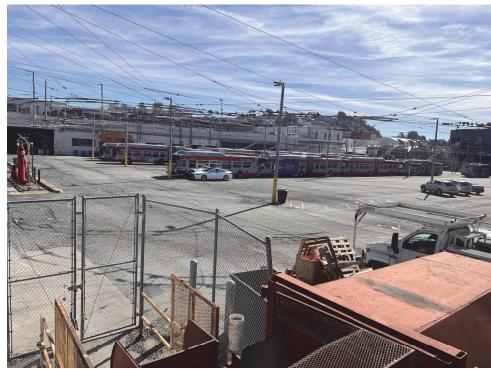
VIEW ON BUS YARD



VIEW TO 17TH ST. AND BRYANT ST. FROM WEST



VIEW TO MARISPOSA ST. AND HAMPSHIRE ST. FROM SOUTHWAST



VIEW TO BUS YARD FROM BRYANT ST.



VIEW TO 17TH ST. SIDEWALK FROM EAST

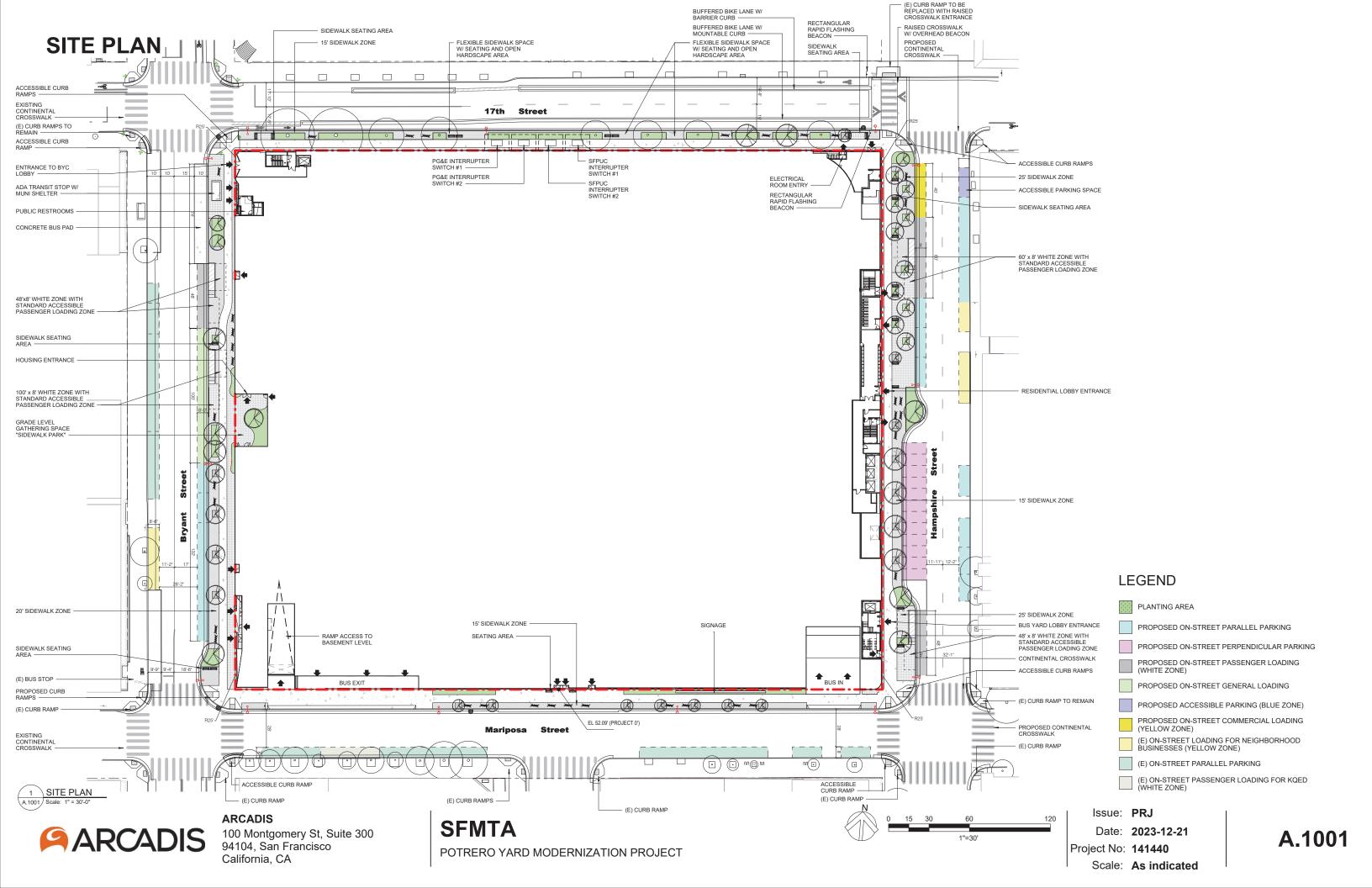


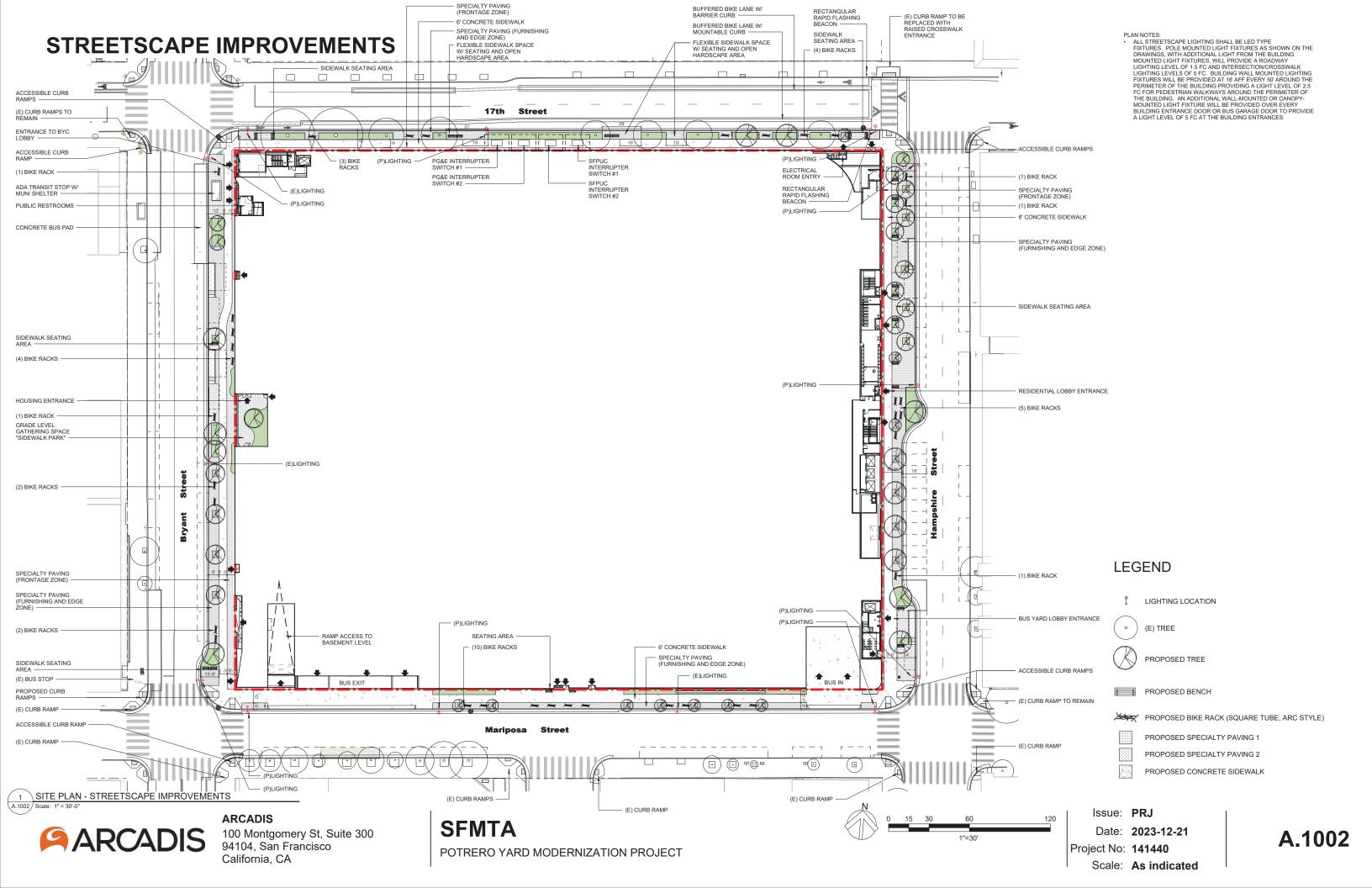
VIEW TO 17TH ST. AND BRYANT ST. FROM NORTHWEST

Issue: PRJ

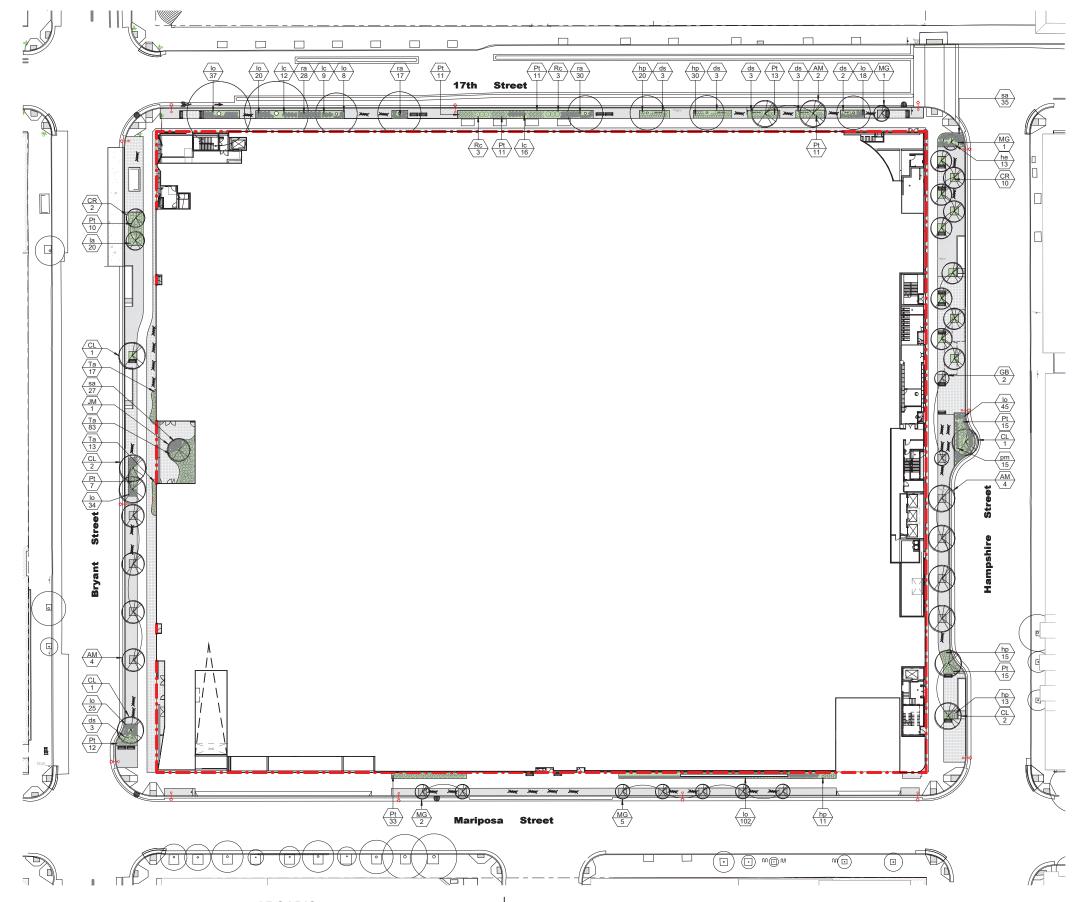
Date: 2023-12-21

Project No: **141440**Scale:





# **PLANTING PLAN**



ype mark	Dotamour Hame	Common reame	OILC	Holgin	Opicua	opuomg	dudititity	rrater ooc	110100
rees									
U	Amelanchier utahensis	Utah Serviceberry	24" Box	12'	10'		TBD	M	Native to San Francisco
M	Arbutus 'Marina'	Marina Strawberry Tree	36" Box	20'	20'		TBD	L	
									Nector source for
c	Arbutus unedo 'Compacta'	Dwarf Strawberry Tree	24" Box	8'	6'		TBD	L	butterflies
E	Brahae edulis	Guadalupe Palm	36" Box	30'	10'		TBD	L	
2	Ceanothus 'Ray Hartman'	Ray Hartman Ceanothus	24" Box	12'	15'		TBD	L	California Native Species
+	Chamaerops humilis	European Fan Palm		15'	10'		TBD	L	
									Self pollinating. Fruit
			5' to 6'						Production in Community
M	Citrus x meyeri	Meyer Lemon Tree	ht.	8'	4'		TBD	M	Garden Area.
	Lophostemon confertus	Brisbane Box	36" Box	30'	25'		TBD	M	
	Lyonothamnus floribundus ssp.								
:	Aspleniifolius	Santa Cruz Island Ironwood	24" Box	20'	15'		TBD	L	California Native Species
,	Parrotia persica	Persian Ironwood	36" Box	20'	15'		TBD	M	
A	Quercus agrifolia	Coast Live Oak	36" Box	30'	15'		TBD	VL	Native to San Francisco
	Trachycarpus fortunei	Chinese Windmill Palm	36" Box	30'	10'		TBD	L	
hrubs									
	Arctostaphylos 'John Dourley'	John Dourley Manzanita	5 gallon	3'	6'		TBD	VL	California Native Species
3	Ceonothus gloriosus	Point Reyes Ceanothus	5 gallon		12'		TBD	VL	California Native Species
	Cistus x ladanifer 'Blanche	Rockrose	5 gallon		8'		TBD	VL	
)	Phyllostachys bambusoides	Giant Timber Bamboo	5 gallon				TBD	L	Contain roots
	Pittosporum crassifolium 'Nana'	Dwarf Karo	5 gallon	3'	3'		TBD	M	
		Dwarf Variegated Mock							

7.9	· · · · · · · · · · · · · · · · · · ·		- 3	-	-			odinorna ridaro opodioo
Cg	Ceonothus gloriosus	Point Reyes Cannothus	5 gallon	1.5'	12'	TBD	VL	California Native Species
CI	Cistus x ladanifer 'Blanche	Rockrose	5 gallon	8'	8'	TBD	VL	
Pb	Phyllostachys bambusoides	Giant Timber Bamboo	5 gallon			TBD	L	Contain roots
Pc	Pittosporum crassifolium 'Nana'	Dwarf Karo	5 gallon	3'	3'	TBD	M	
		Dwarf Variegated Mock						
Pt	Pittosporum tobira 'Dwarf Variegata'	Orange	5 gallon		2'	TBD	L	
Re	Rhamnus californica 'Eve Case'	Coffeeberry	5 gallon	4'	4'	TBD	L	Native to San Francisco
	Rhamnus californica 'Mound San							
Rm	Bruno'	Coffeeberry	5 gallon		8'	TBD	L	Native to San Francisco
Ta	Trachelospermum asiaticum	Asian Star Jasmine	3 gallon	2'	12'	TBD	M	
Perennials	s Grasses  Succulents Vines							
		Variegated Caribbean						
aa	Agave angustifolia 'Marginata'	Agave	1 gallon	3'	4'	TBD	L	

rerenmais	orasses joucculents/vines								
		Variegated Caribbean							
aa	Agave angustifolia 'Marginata'	Agave	1 gallon	3'	4'	TB	BD ]	L	
abf	Agave 'Blue Flame'	Blue Flame Agave	5 gallon	3.	3.	TB	3D	L	
abe	Aloe 'Blue Elf'	Blue Elf Aloe	1 gallon	1'	1'	TB	3D	L	
abr	Anigozanthos 'Big Red'	Red Kangaroo Paw	1 gallon	4'	2'	TB	3D	L	
blj	Bougainvillea 'La Jolla'	La Jolla Bouganvilla	1 gallon	5'	5'	TB	3D	L	Shrub Form
bsd	Bougainvillea 'San Diego Red'	San Diego Red Bouganvilla	1 gallon	30'	10'	тв	3D	L	Vine Form
	Bougainvillea spectabilis 'White								
bsw	Stripe'	White Stripe Bouganvilla	1 gallon		10'	TB			Vine Form
cn	Calamagrostis nutkaensis	Pacific Reed Grass		2'	2'	TB			Native to San Francisco
ct	Carex tumulicola	Berkley Sedge	1 gallon	1'	2'	TB			Native to San Francisco
db	Dudleya brittonii	Britton Dudleya	1 gallon	8"	1'	TB	BD	L	Native to California
ea	Echeveria 'Afterglow'	Afterglow Echeveria	1 gallon	1'	1'	TB	3D	L	
hp	Hesperaloe parviflora	Red Yucca	1 gallon	3'	4'	TB	3D	VL	
la	Lavandula angustifolia 'Munstead'	Munstead Lavender	1 gallon	2'	2'	TB	3D	L	
lc	Leymus condensatus 'Canyon Prince'	Canyon Prince Lyme Grass	1 gallon		3'	тв	BD	VL	
II	Lomandra longifolia 'Breeze'	Lomandra	1 gallon	2'	2'	TB	BD	L	
saj	Sedum 'Autumn Joy'	Autumn Joy Sedum	1 gallon	2'	2'	TB	3D	L	
sm	Senecio mandraliscae	Blue Chalk Sticks	1 gallon	1'	2'	TB	3D	L	
sa	Sesleria autumnalis	Autumn Moor Grass	1 gallon	1'	2'	TB	3D	M	
sp	Setaria palmifolia	Palm Grass	1 gallon	4'	3'	TB	3D	M	

OOT WIIX								
			Mature	Mature				
Botanical Name	Common Name	Size	Height	Spread	Spacing	Quantity	Water Use	Notes
Achilliea Millefolium	Common Yarrow		36"	12"	6 to 12"	TBD	L	Native to San Francisco
Allium cernuum	Nodding Onion		18"	18"	6 to 12"	TBD	VL	Native to San Francisco
Arimeria maritima spp. californica	California Sea Thrift		9"	8"	6 to 12"	TBD	VL	Native to San Francisco
Dudleya caespitosa	Coast Dudleya		8"	6"	6 to 12"	TBD	VL	Native to San Francisco
Lasthenia californica ssp. Macrantha	Perennial Goldfields		1'	6"	6 to 12"	TBD	VL	Native to San Francisco
Sedum divergens	Pacific Stonecrop		4"	18"	6 to 12"	TBD	VL	Native to California
Sedum spathulifolium	Broad-leaved Stonecrop		6"	10"	6 to 12"	TBD	VL	Native to San Francisco
	Botanical Name Achilliea Millefolium Allium cernuum Allium cernuum Arimeria maritima spp. californica Dudleya caespitosa Lasthenia californica spp. Macrantha Sedum divergens	Botanical Name Common Name Achilliea Millefolium Common Yarrow Allium cernuum Nodding Onion Arimeria maritima spp. californica California Sea Thrift Dudleya caespitosa Lasthenia californica ssp. Macrantha Sedum divergens Pacific Stonecrop	Botanical Name Common Name Size Achilliea Millefolium Common Yarrow Allium cernuum Nodding Onion Arimenia maritima spp. californica California Sea Thrift Dudleya caespitosa Lasthenia californica spp. Macrantha Sedum divergens Pacific Stonecrop	Botanical Name         Common Name         Size         Mature Height           Achilliea Millefolium         Common Yarrow         36°           Allium cernuum         Nodding Onion         18°           Arimeria maritima spp. californica         California Sea Thrift         9°           Dudleya caespitosa         Coast Dudleya         8°           Lasthenia californica ssp. Macrantha         Perennial Goldfields         1¹           Sedum divergens         Pacfic Stonecrop         4°	Botanical Name         Common Name         Size         Mature Height         Mature Spread           Achilliea Millefolium         Common Yarrow         36"         12"           Allium cernuum         Nodding Onion         18"         18"           Arimeria maritima spp. californica         California Sea Thrift         9"         8"           Dudleya caespitosa         Coast Dudleya         8"         6"           Lasthenia californica ssp. Macrantha         Perennial Goldfields         1"         6"           Sedum divergens         Pacific Stonecrop         4"         18"	Botanical Name	Botanical Name         Common Name         Size         Mature Height         Mature Spacing         Quantity           Achilliea Millefolium         Common Yarrow         36"         12"         6 to 12"         TBD           Allium cernuum         Nodding Onion         18"         18"         6 to 12"         TBD           Arimeria maritima spp. californica         California Sea Thrift         9"         8"         6 to 12"         TBD           Dudleya caespitosa         Coast Dudleya         8"         6"         6 to 12"         TBD           Lasthenia californica ssp. Macrantha         Perennial Goldfields         1"         6"         6 to 12"         TBD           Sedum divergens         Pacific Stonecrop         4"         18"         6 to 12"         TBD	Botanical Name

Issue: PRJ

Date: **2023-12-21** Project No: **141440** 

Scale: 1" = 30'-0"

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California, CA

**SFMTA** 

# **PLANTING PLAN - PODIUM**



				Mature	Mature				
Type Mark	Botanical Name	Common Name	Size	Height	Spread	Spacing	Quantity	Water Use	Notes
Trees									•
AU	Amelanchier utahensis	Utah Serviceberry	24" Box	12'	10'		TBD	M	Native to San Francisco
AM	Arbutus 'Marina'	Marina Strawberry Tree	36" Box	20'	20'		TBD	L	
									Nector source for
AC	Arbutus unedo 'Compacta'	Dwarf Strawberry Tree		8'	6'		TBD	L	butterflies
BE	Brahae edulis	Guadalupe Palm	36" Box	30'	10'		TBD	L	
CR	Ceanothus 'Ray Hartman'	Ray Hartman Ceanothus	24" Box		15'		TBD	L	California Native Speci
CH	Chamaerops humilis	European Fan Palm		15'	10'		TBD	L	
									Self pollinating. Fruit
			5' to 6'						Production in Commun
CM	Citrus x meyeri	Meyer Lemon Tree	ht.	8'	4'		TBD	M	Garden Area.
LC	Lophostemon confertus	Brisbane Box	36" Box	30'	25'		TBD	M	
	Lyonothamnus floribundus ssp.								
LF	Aspleniifolius	Santa Cruz Island Ironwood			15'		TBD	L	California Native Speci
PP	Parrotia persica	Persian Ironwood	36" Box		15'		TBD	M	
QA	Quercus agrifolia	Coast Live Oak	36" Box		15'		TBD	VL	Native to San Francisc
TF	Trachycarpus fortunei	Chinese Windmill Palm	36" Box	30'	10'		TBD	L	
Shrubs									
Aj	Arctostaphylos 'John Dourley'	John Dourley Manzanita	5 gallon	3'	6'		TBD	VL	California Native Speci
Cg	Ceonothus gloriosus	Point Reyes Ceanothus	5 gallon		12'		TBD	VL	California Native Speci
CI	Cistus x ladanifer 'Blanche	Rockrose	5 gallon		8'		TBD	VL	
Pb	Phyllostachys bambusoides	Giant Timber Bamboo	5 gallon				TBD	L	Contain roots
Pc	Pittosporum crassifolium 'Nana'	Dwarf Karo	5 gallon	3'	3'		TBD	М	
		Dwarf Variega:ed Mock							
Pt	Pittosporum tobira 'Dwarf Variegata'	Orange	5 gallon		2'		TBD	L	
Re	Rhamnus californica 'Eve Case'	Coffeeberry	5 gallon	4'	4'		TBD	L	Native to San Francisc
	Rhamnus californica 'Mound San								
Rm	Bruno'	Coffeeberry	5 gallon		8'		TBD	L	Native to San Francisc
Та	Trachelospermum asiaticum	Asian Star Jasmine	3 gallon	2'	12'		TBD	M	
Perennials	Grasses  Succulents Vines								1
		Variegated Caribbean			4'			l.	
aa	Agave angustifolia 'Marginata'  Agave 'Blue Flame'	Agave	1 gallon				TBD	Ļ.	
abf	Aloe 'Blue Elf'	Blue Flame Agave Blue Elf Aloe	5 gallon 1 gallon		3'		TBD	L	
abe					2'		TBD	L	
abr	Anigozanthos 'Big Red'	Red Kangaroo Paw	1 gallon						0
blj	Bougainvillea 'La Jolla'	La Jolla Bouganvilla	1 gallon	5'	5'		TBD	L	Shrub Form
	David San	6 Bi B-4 B	4	201	10'		TDD		
bsd	Bougainvillea 'San Diego Red'	San Diego Red Bouganvilla	1 gallon	30	10.		TBD	L	Vine Form
	Bougainvillea spectabilis 'White				401				
bsw	Stripe'	White Stripe Bouganvilla	1 gallon		10'		TBD	L	Vine Form
cn	Calamagrostis nutkaensis Carex tumulicola	Pacific Reed Grass	1 gallon		2'		TBD	M	Native to San Francisc
ct		Berkley Sedge						L	Native to San Francisc
db	Dudleya brittonii	Britton Dudleya	1 gallon		1'		TBD	L	Native to California
ea	Echeveria 'Afterglow'	Afterglow Echeveria	1 gallon		1'			L	
hp	Hesperaloe parviflora	Red Yucca	1 gallon		4'		TBD	VL	
a	Lavandula angustifolia 'Munstead'	Munstead Lavender	1 gallon	2.	2'		TBD	L	
		0 5: 1 0					TDD		
lc		Canyon Prince Lyme Grass	1 gallon		3'		TBD	VL	
II	Lomandra longifolia 'Breeze'	Lomandra	1 gallon		2'		TBD	L	
saj	Sedum 'Autumn Joy'	Autumn Joy Sedum	1 gallon		2'		TBD	L	
sm	Senecio mandraliscae	Blue Chalk Sticks	1 gallon		2'		TBD	L	
sa	Sesleria autumnalis	Autumn Moor Grass	1 gallon	1'	2'		TBD	М	
sp	Setaria palmifolia	Palm Grass	1 gallon	4	3'		TBD	M	
Extensive F	COOT MIX								
				Mature	Mature				
Type Mark	Botanical Name	Common Name	Size	Height	Spread	Spacing	Quantity	Water Use	Notes
am	Achilliea Millefolium	Common Yarrow		36"	12"	6 to 12"	TBD	L	Native to San Francisc
ac	Allium cernuum	Nodding Onion		18"	18"	6 to 12"	TBD	VL	Native to San Francisc
	Arimeria maritima spp. californica	California Sea Thrift		9"	8"	6 to 12"	TBD	VL	Native to San Francisc
amc									
dc	Dudleya caespitosa	Coast Dudleya		8"	6"	6 to 12"	TBD	VL	Native to San Francisc
amc dc lc	Dudleya caespitosa Lasthenia californica ssp. Macrantha			8" 1' 4"	6" 6"	6 to 12" 6 to 12"	TBD TBD	VL VL	Native to San Francisc Native to San Francisc Native to California



**SFMTA** 

Project No: **141440** Scale: 1" = 30'-0"

Issue: PRJ Date: 2023-12-21

# BYC / HCC - LEVEL B1



AREA - BY	C / HCC	LEVEL	B1	
Department	PROGRAM REQUIRED AREA (SF)	PROVIDED	Δ (SF)	%
01 PARKING	10.440	10.440	0	58%
04 SERVICE & CLEAN	900	901	1	5%
09 SHARED	4,750	7,300	2,550	26%
CAR SHARE PARKING	0	1,000	1,000	0%
FMO	1,932	2,099	167	11%
FMO PARKING	0	600	600	0%
HCC BOH/CIRCULATION	0	6,389	6,389	0%
HCC/BYC MEP	0	10,714	10,714	0%
UNASSIGNED	0	915	915	0%
Grand total	18,022	40,358	22,336	100%

### **DEPARTMENT**

HCC COMMERCIAL

HCC/BYC MEP

UNASSIGNED

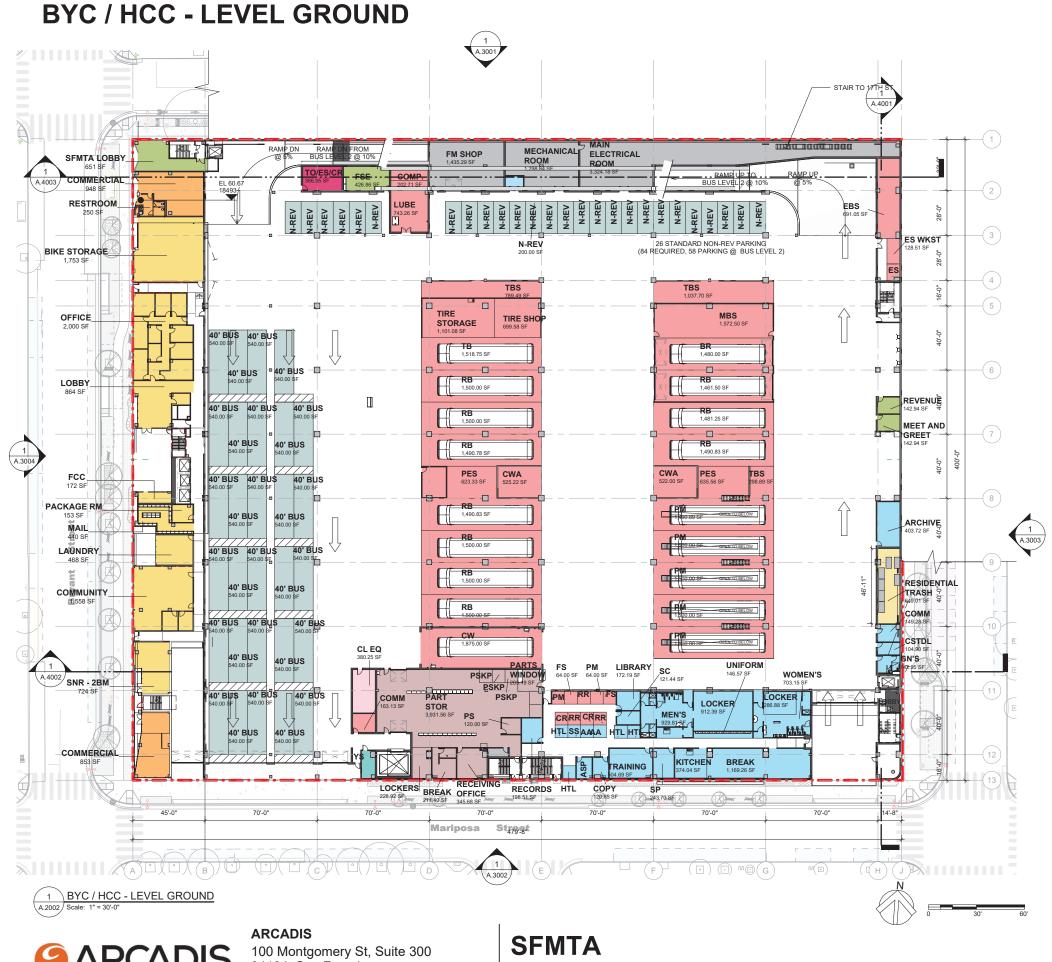
HCC DWELLING UNITS



Issue: PRJ

Date: 2023-12-21 Project No: **141440** 

Scale: 1" = 30'-0"



AREA - BYC /	HCC LE	VEL GR	OUND	
Department	PROGRAM REQUIRED AREA (SF)	PROVIDED	Δ (SF)	%
01 PARKING	20.860	20.860	0	29%
02 BAYS & SHOPS	36.210	37.959	1.749	51%
04 SERVICE & CLEAN	200	380	180	0%
05 PARTS	5,605	5,424	-181	8%
06 MAINTENANCE	7,012	7,261	249	10%
07 OPERATIONS	120	148	28	0%
08 TRANSIT SERVICES (MRO)	200	367	167	0%
09 SHARED	420	713	293	1%
10 TRAINING	100	101	1	0%
HCC BOH/CIRCULATION	370	649	649	1%
HCC/BYC MEP	0	4,692	4,692	0%
UNASSIGNED	0	1,435	1,435	0%
Grand total	71,097	79,988	9,261	100%



Date: 2023-12-21

Scale: 1" = 30'-0"

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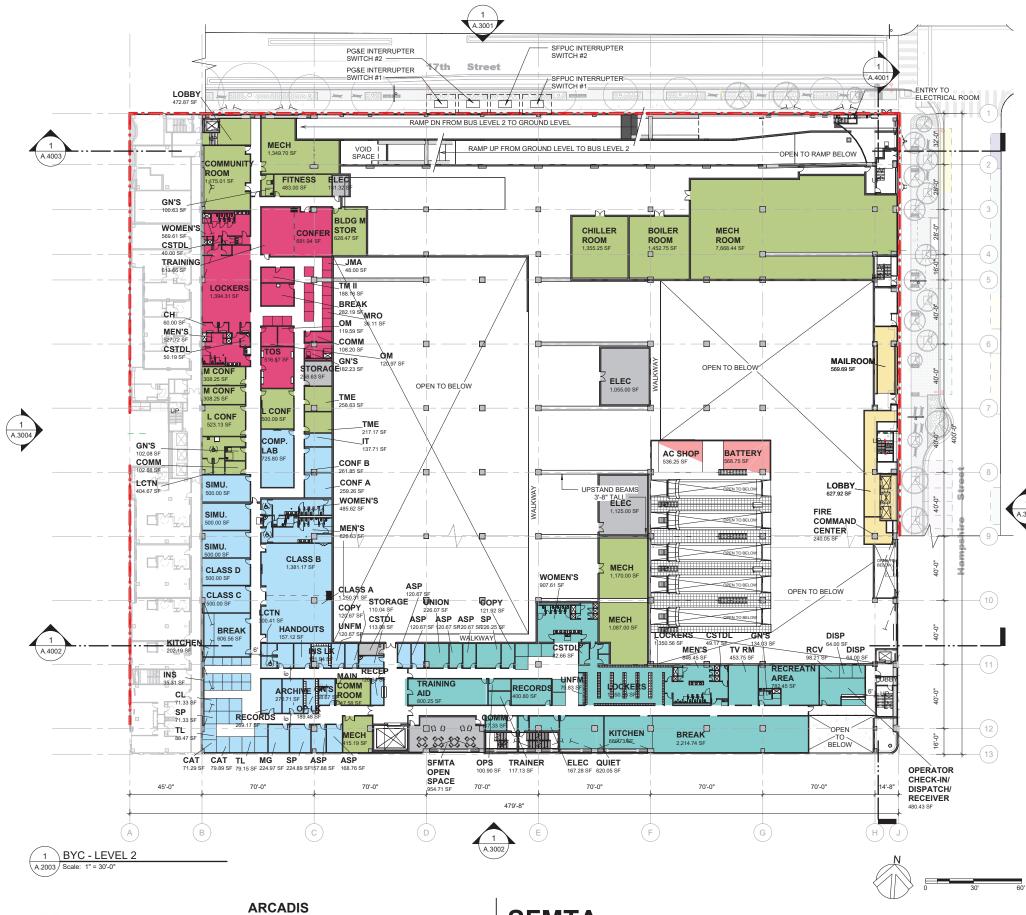
UNASSIGNED

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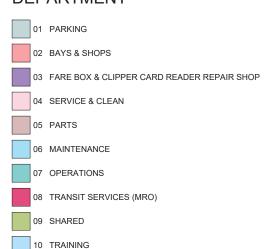
POTRERO YARD MODERNIZATION PROJECT

# **BYC - LEVEL 2**



AREA - E	BYC / HC	C LEVEL	_ 2	
Department	PROGRAM REQUIRED AREA (SF)		Δ (SF)	%
07 OPERATIONS	10.419	11.883	1.464	28%
08 TRANSIT SERVICES (MRO)	6,110	6,174	64	17%
09 SHARED	5,330	20,713	15,383	14%
10 TRAINING	13,099	13,679	580	36%
HCC BOH/CIRCULATION	1,850	3,287	1,807	5%
HCC/BYC MEP	0	2,479	2,479	0%
UNASSIGNED	0	369	369	0%
Grand total	36,808	58,583	22,145	100%

### **DEPARTMENT**



CAR SHARE PARKING

FMO

FMO PARKING

HCC BOH/CIRCULATION

HCC COMMERCIAL

HCC DWELLING UNITS

HCC/BYC MEP

UNASSIGNED

Issue: PRJ

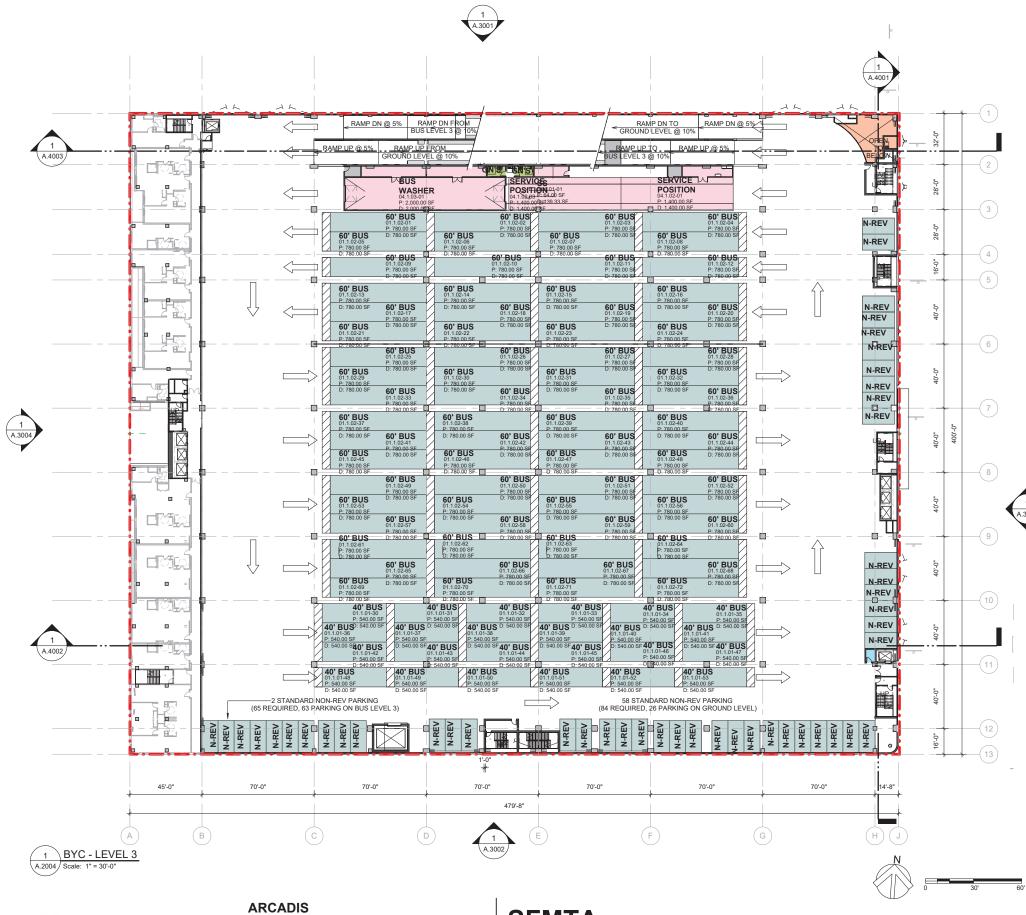
Date: 2023-12-21

Project No: **141440**Scale: **1" = 30'-0"** 



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# **BYC - LEVEL 3**



AR	EA - BYC LI	EVEL 3		
Department	PROGRAM REQUIRED AREA (SF)		Δ (SF)	%
A. DADIGNO	70.500	70.504		0.40/
01 PARKING	78,520	78,501	-19	94%
04 SERVICE & CLEAN	5,064	5,647	583	6%
06 MAINTENANCE	80	45	-35	0%
09 SHARED	200	148	-52	0%
HCC COMMERCIAL	0	664	664	0%
UNASSIGNED	0	121	121	0%
Grand total	83.864	85.127	1.263	100%

### **DEPARTMENT**

01 PARKING
02 BAYS & SHOPS
03 FARE BOX & CLIPPER CARD READER REPAIR SHOP
04 SERVICE & CLEAN

05 PARTS

06 MAINTENANCE

07 OPERATIONS

08 TRANSIT SERVICES (MRO)

10 TRAINING

CAR SHARE PARKING

FMO

FMO PARKING

HCC COMMERCIAL

HCC COMMERCIAL

HCC DWELLING UNITS

HCC/BYC MEP

UNASSIGNED Issue: PRJ

Date: 2023-12-21

Project No: **141440**Scale: **1" = 30'-0"** 



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# **BYC - LEVEL 4**



ARI	EA - BYC L	EVEL 4		
Department	PROGRAM REQUIRED AREA (SF)	PROVIDED	Δ (SF)	%
01 PARKING	78,440	78,433	-7	95%
04 SERVICE & CLEAN	3,664	6,358	2,694	4%
09 SHARED	200	148	-52	0%
UNASSIGNED	0	760	760	0%
Grand total	82.304	85.699	3.395	100%

### **DEPARTMENT**

01 PARKING
02 BAYS & SHOPS

03 FARE BOX & CLIPPER CARD READER REPAIR SHOP

04 SERVICE & CLEAN

05 PARTS

06 MAINTENANCE
07 OPERATIONS

08 TRANSIT SERVICES (MRO)

09 SHARED

CAR SHARE PARKING

FMO

FMO PARKING

HCC BOH/CIRCULATION

HCC COMMERCIAL

HCC DWELLING UNITS

HCC/BYC MEP
UNASSIGNED

Issue: PRJ

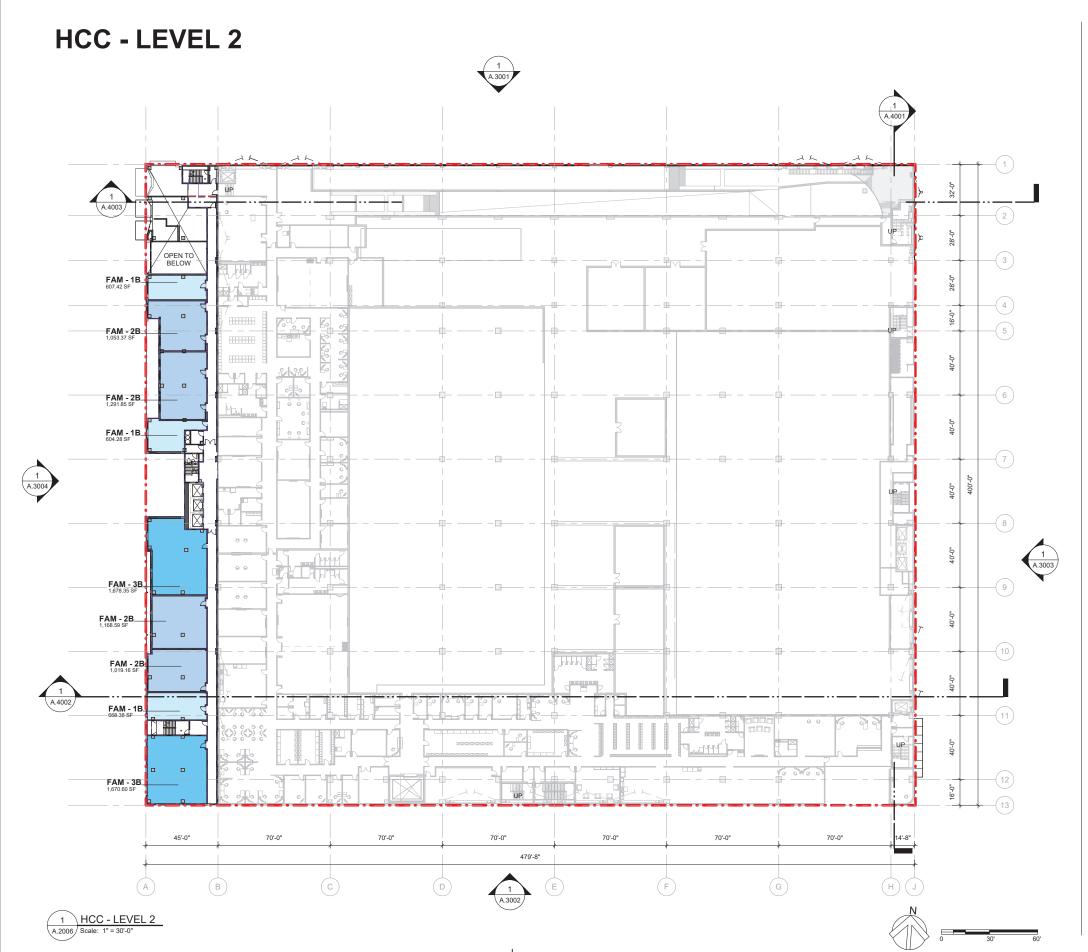
Date: **2023-12-21**Project No: **141440** 

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UNIT - HCC FL 02		
Name	Area	Count
FAM - 1B	604 SF 668 SF	3
FAM - 2B	1,019 SF 1,292 SF	4
FAM - 3B	1,671 SF 1,678 SF	2
TOTAL		9



1B 2B 3B COMMON

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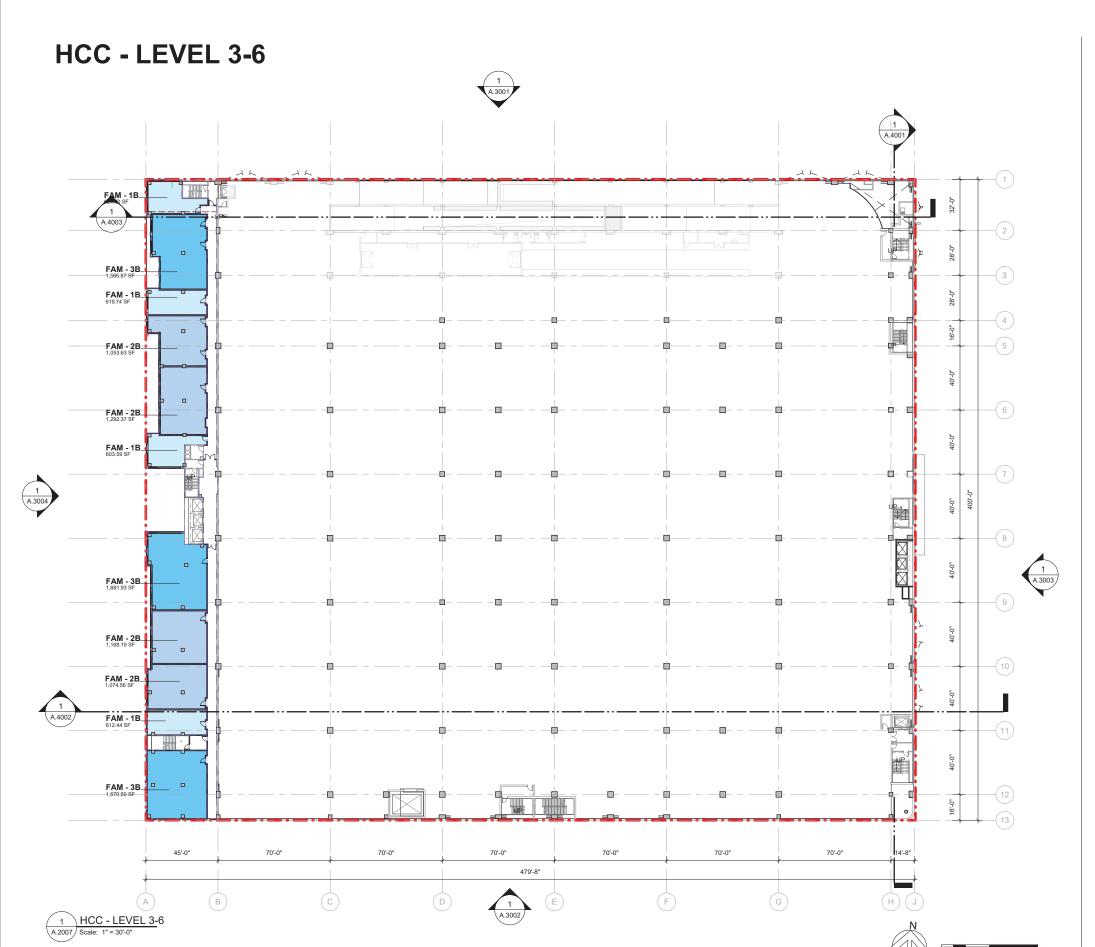
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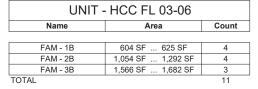
POTRERO YARD MODERNIZATION PROJECT

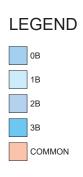
Issue: PRJ

Date: **2023-12-21** 

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POTRERO YARD MODERNIZATION PROJECT

Issue: PRJ

Date: **2023-12-21**Project No: **141440** 

Scale: 1" = 30'-0"



UNIT - HCC FL 07			
	Name	Area	Count
	FAM-0B	418 SF 508 SF	2
	FAM-1B	552 SF 628 SF	9
	FAM-2B	774 SF 1,204 SF	11
	FAM-2BM	861 SF 889 SF	2
	FAM-3B	1,108 SF 1,235 SF	6
FAM		•	30
	WRK-0B	439 SF 539 SF	9
	M/DIC 4D	047.05 747.05	40

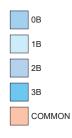
WKK-UD	439 SF 539 SF	9
WRK-1B	617 SF 747 SF	19
WRK-2B	875 SF 1,003 SF	15
WRK-3B	1,053 SF 1,064 SF	2
WRK		45
TOTAL		75

COMMON - HCC FL 07			
MLML	Area	Count	
FAM			
COMMUNITY	1,958 SF	1	
COMMUNITY	1,373 SF	1	
LAUNDRY	541 SF	1	
LAUNDRY	495 SF	1	
<u>'</u>	4,367 SF	4	
WRK			
BICYCLE ROOM	1,085 SF	1	
COMMUNITY AREA	1,945 SF	1	
COMMUNITY AREA	325 SF	1	
-	3,354 SF	3	

7,721 SF



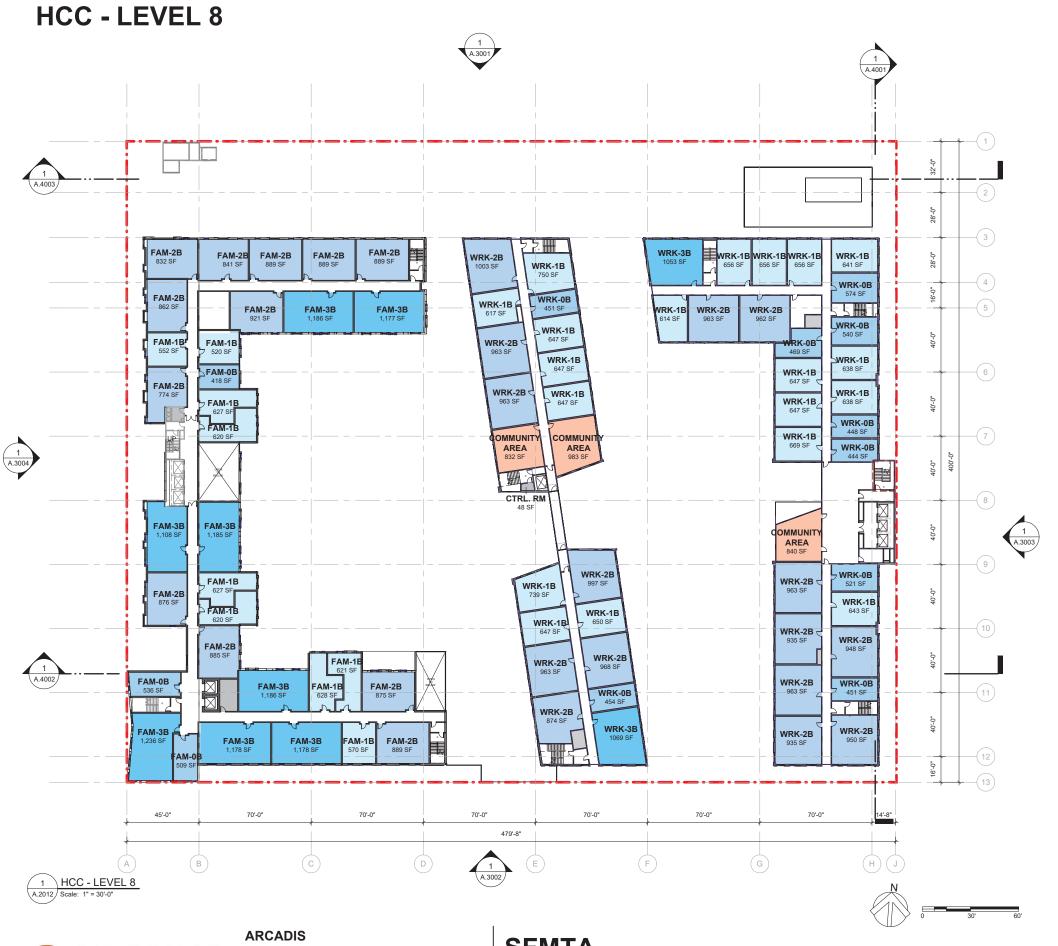
Grand total



Issue: PRJ

Date: **2023-12-21**Project No: **141440** 

Scale: 1" = 30'-0"



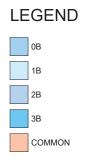
UNIT - HCC FL 08			
Name Area		Count	
FAM-0B	418 SF	536 SF	3
FAM-1B	520 SF	628 SF	9
FAM-2B	774 SF	921 SF	12
FAM-3B	1,108 SF	1,236 SF	8
FAM			32
WRK-0B	444 SF	574 SF	9
WRK-1B	614 SF	750 SF	19
WRK-2B	874 SF	1.003.SE	15

1,053 SF ... 1,069 SF

WRK-3B

TOTAL

COMMON - HCC FL 08		
Name	Area	Count
WRK		
COMMUNITY AREA	832 SF	1
COMMUNITY AREA	840 SF	1
COMMUNITY AREA	983 SF	1
	2,655 SF	3
Grand total	2,655 SF	3



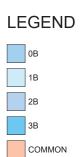
Issue: PRJ

Date: 2023-12-21 Project No: **141440** 

Scale: 1" = 30'-0"



UNIT - HCC FL 09		
Name	Name Area	
FAM-0B	418 SF 536 SF	4
FAM-1B	552 SF 628 SF	10
FAM-2B	775 SF 893 SF	12
FAM-3B	1,108 SF 1,209 SF	8
FAM		34
WRK-0B	443 SF 552 SF	16
WRK-1B	607 SF 656 SF	18
WRK-2B	914 SF 1,046 SF	11
WRK-3B	1.063 SF	1



TOTAL

Issue: PRJ

Date: **2023-12-21** 

Project No: **141440**Scale: **1" = 30'-0"** 



UNIT - HCC FL 11 Name 402 SF ... 469 SF FAM-1B 552 SF ... 628 SF FAM-2B 859 SF ... 876 SF FAM-3B 1,108 SF ... 1,202 SF WRK-2B 873 SF ... 1,027 SF WRK-3B 1,067 SF ... 1,221 SF

LEGEND 0B 1B 2B 3B

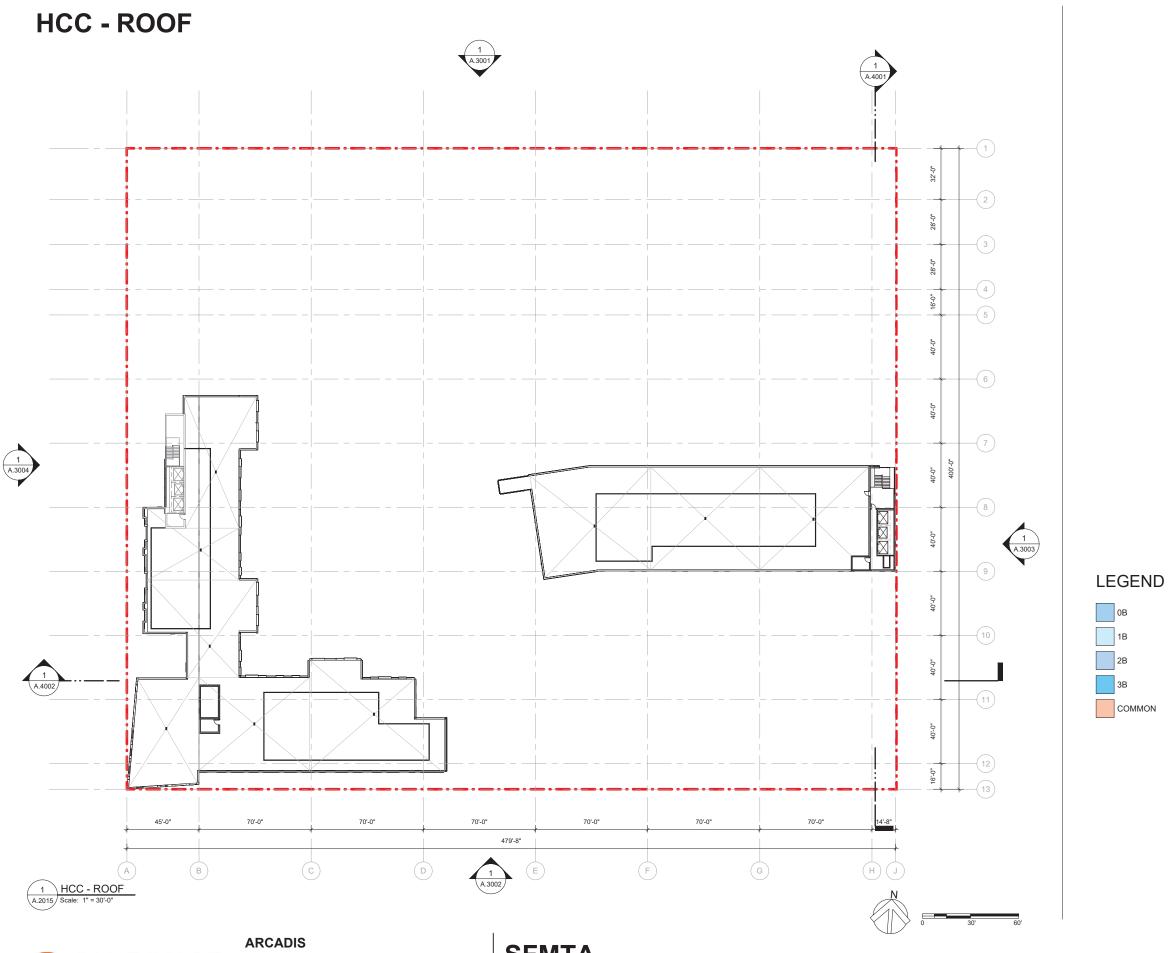
COMMON

TOTAL

Issue: PRJ

Date: 2023-12-21

Project No: **141440** Scale: 1" = 30'-0"





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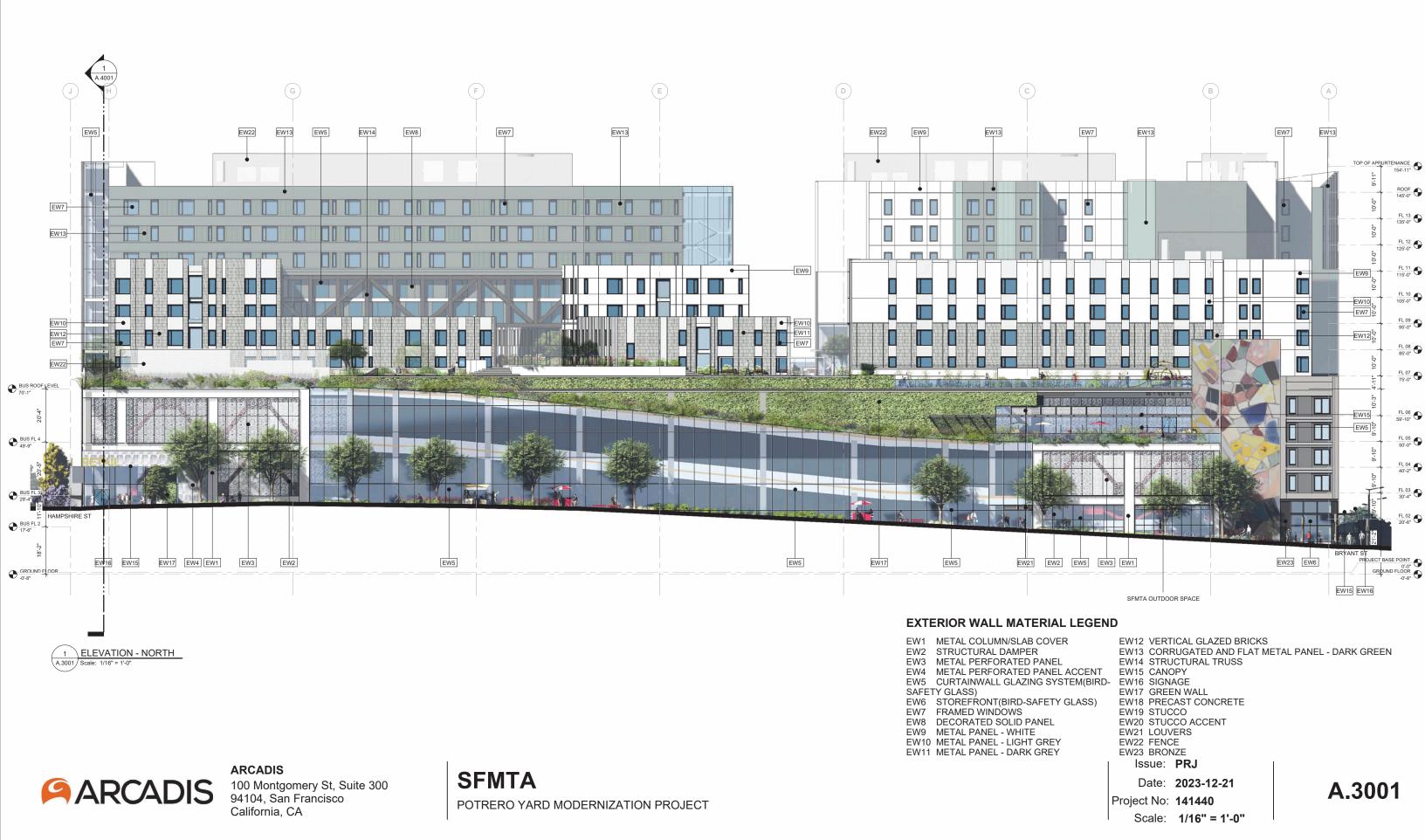
POTRERO YARD MODERNIZATION PROJECT

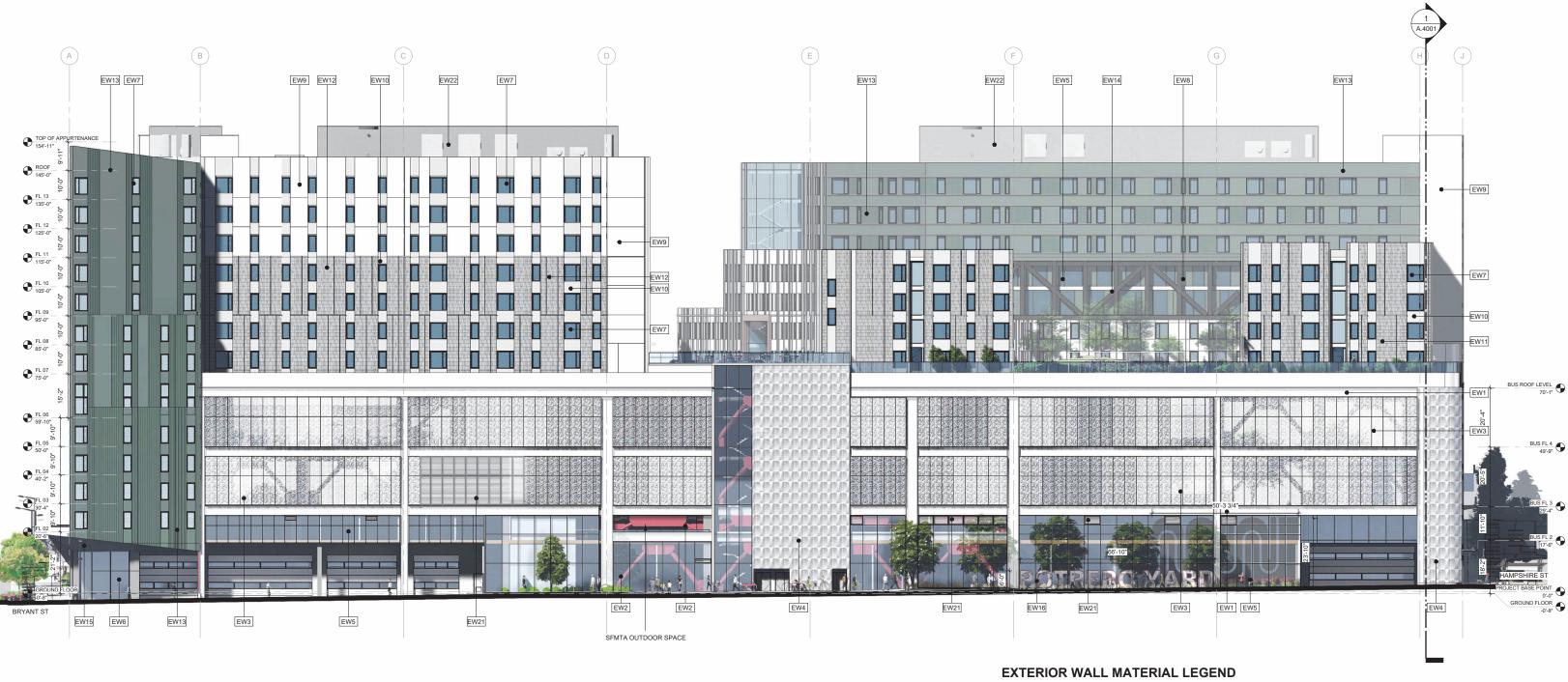
Issue: PRJ

Date: 2023-12-21

Scale: 1" = 30'-0"

Project No: **141440** 









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POTRERO YARD MODERNIZATION PROJECT

EW1 METAL COLUMN/SLAB COVER

EW2 STRUCTURAL DAMPER

EW3 METAL PERFORATED PANEL EW4 METAL PERFORATED PANEL ACCENT

EW5 CURTAINWALL GLAZING SYSTEM(BIRD-

SAFETY GLASS)

EW6 STOREFRONT(BIRD-SAFETY GLASS)

EW7 FRAMED WINDOWS

EW8 DECORATED SOLID PANEL

EW9 METAL PANEL - WHITE

EW10 METAL PANEL - LIGHT GREY

EW11 METAL PANEL - DARK GREY

EW22 FENCE EW23 BRONZE

EW15 CANOPY

EW16 SIGNAGE

EW19 STUCCO

EW21 LOUVERS

EW17 GREEN WALL

Issue: PRJ

EW20 STUCCO ACCENT

Date: 2023-12-21

Scale: 1/16" = 1'-0"

EW12 VERTICAL GLAZED BRICKS

EW14 STRUCTURAL TRUSS

EW18 PRECAST CONCRETE

EW13 CORRUGATED AND FLAT METAL PANEL - DARK GREEN

Project No: **141440** 



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POTRERO YARD MODERNIZATION PROJECT

Scale: 1/16" = 1'-0"





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POTRERO YARD MODERNIZATION PROJECT

### **EXTERIOR WALL MATERIAL LEGEND**

EW1 METAL COLUMN/SLAB COVER EW12 VERTICAL GLAZED BRICKS EW2 STRUCTURAL DAMPER EW13 CORRUGATED AND FLAT METAL PANEL - DARK GREEN EW3 METAL PERFORATED PANEL EW14 STRUCTURAL TRUSS EW4 METAL PERFORATED PANEL ACCENT EW15 CANOPY EW5 CURTAINWALL GLAZING SYSTEM(BIRD-EW16 SIGNAGE SAFETY GLASS) EW6 STOREFRONT(BIRD-SAFETY GLASS) FRAMED WINDOWS EW8 DECORATED SOLID PANEL EW9 METAL PANEL - WHITE EW10 METAL PANEL - LIGHT GREY

EW11 METAL PANEL - DARK GREY

EW17 GREEN WALL EW18 PRECAST CONCRETE EW19 STUCCO EW20 STUCCO ACCENT **EW21 LOUVERS** EW22 FENCE

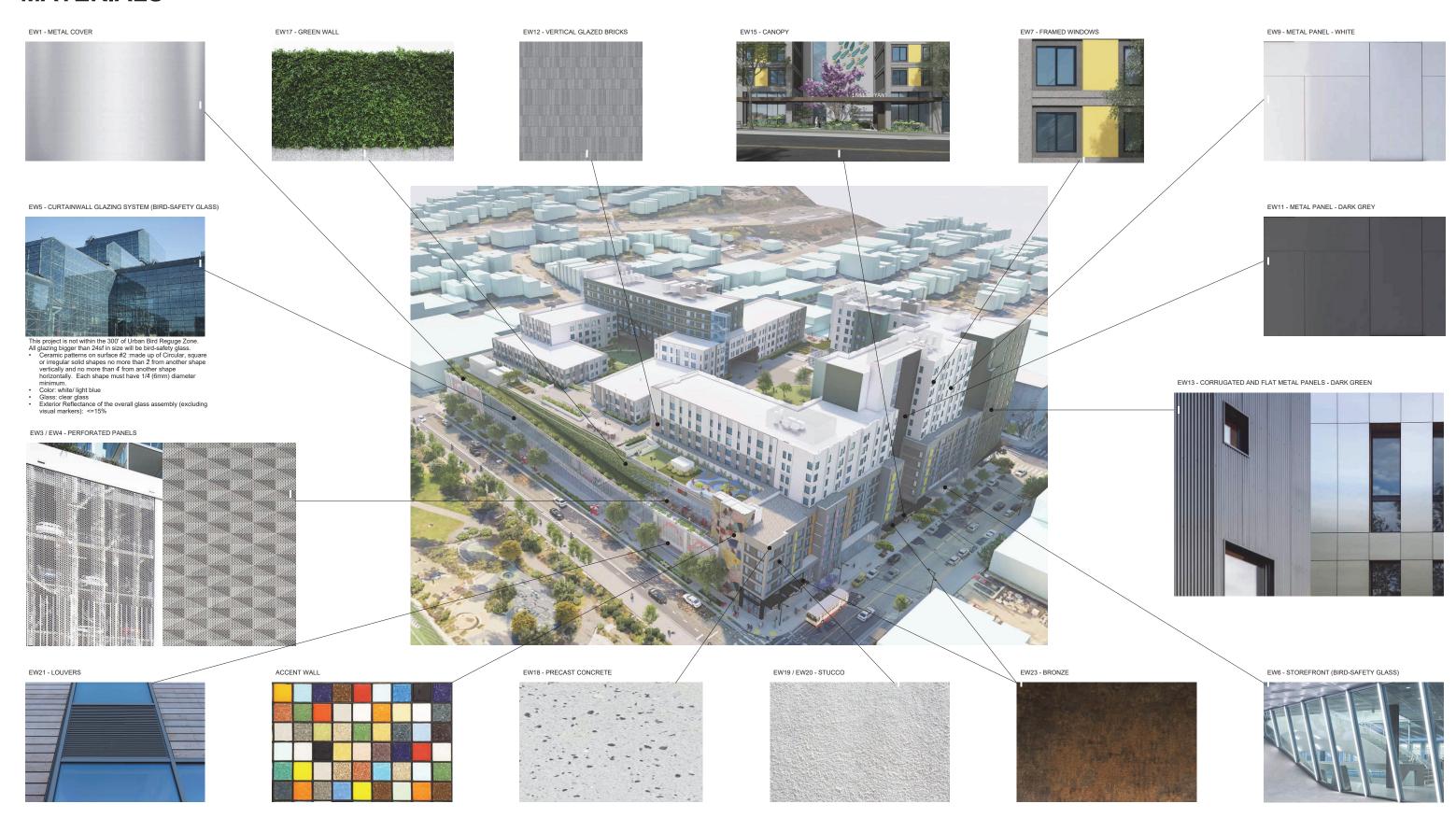
EW23 BRONZE Issue: PRJ

Date: 2023-12-21 Project No: 141440

A.3004

Scale: 1/16" = 1'-0"

## **MATERIALS**





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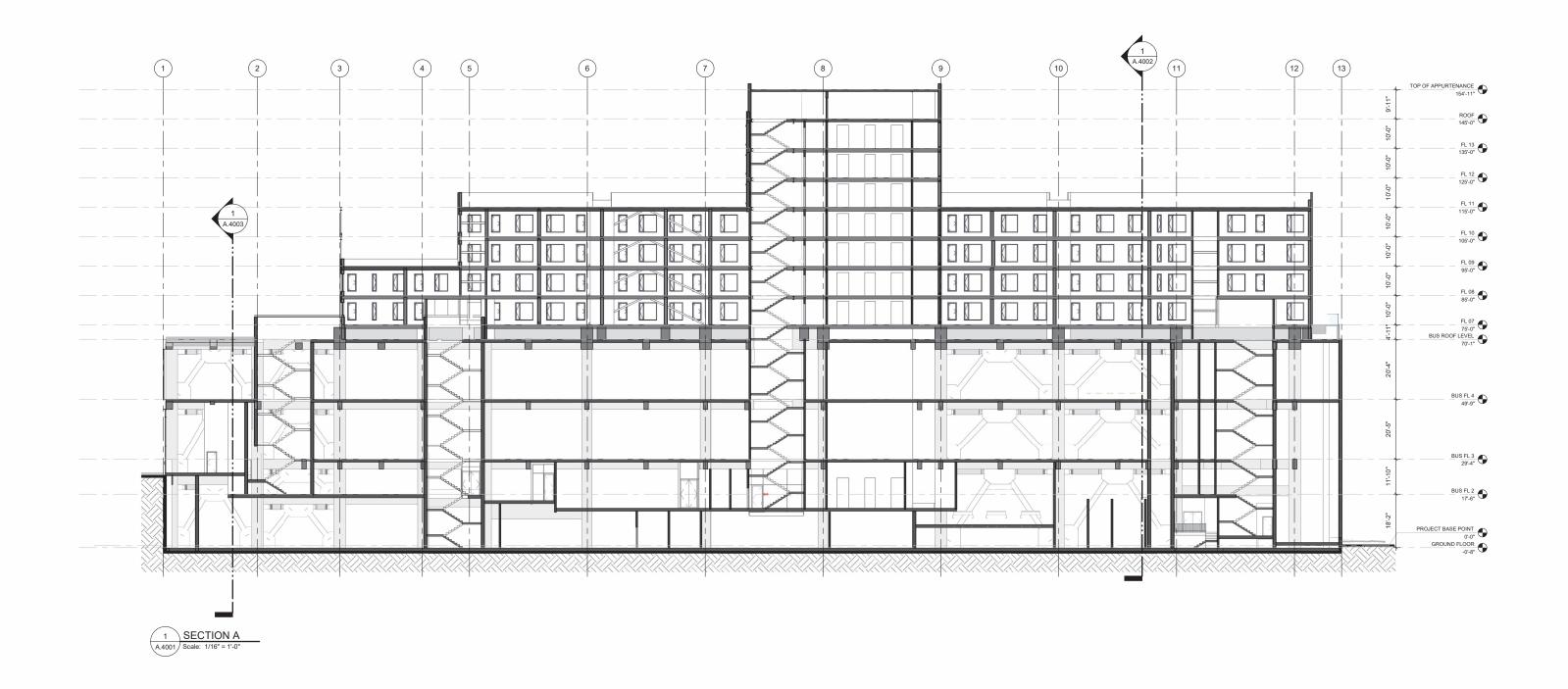
Issue: PRJ Date: 2023-12-21

Project No: **141440** 

Scale:

A.3005

## **BUILDING SECTIONS**



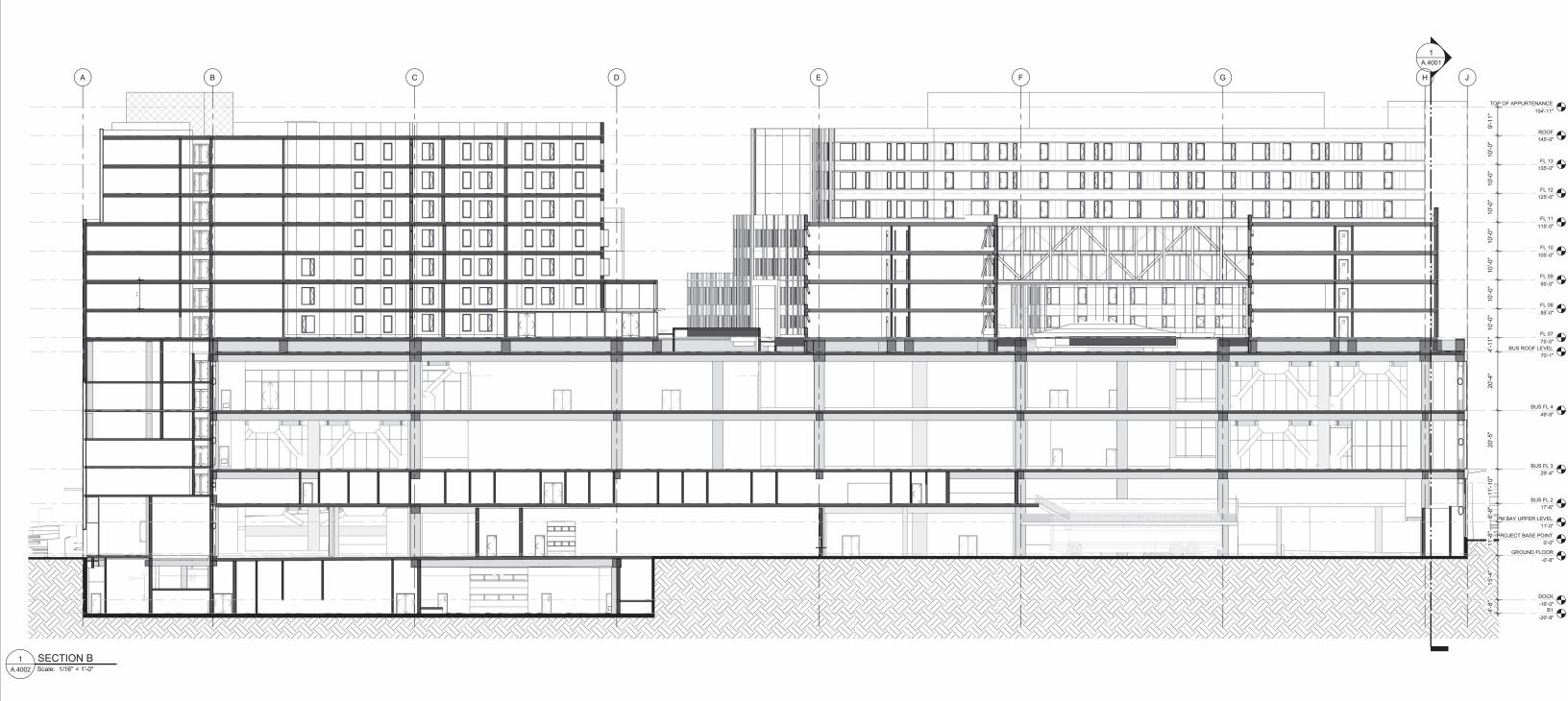


Issue: PRJ

Date: **2023-12-21**Project No: **141440** 

Scale: 1/16" = 1'-0"

## **BUILDING SECTIONS**





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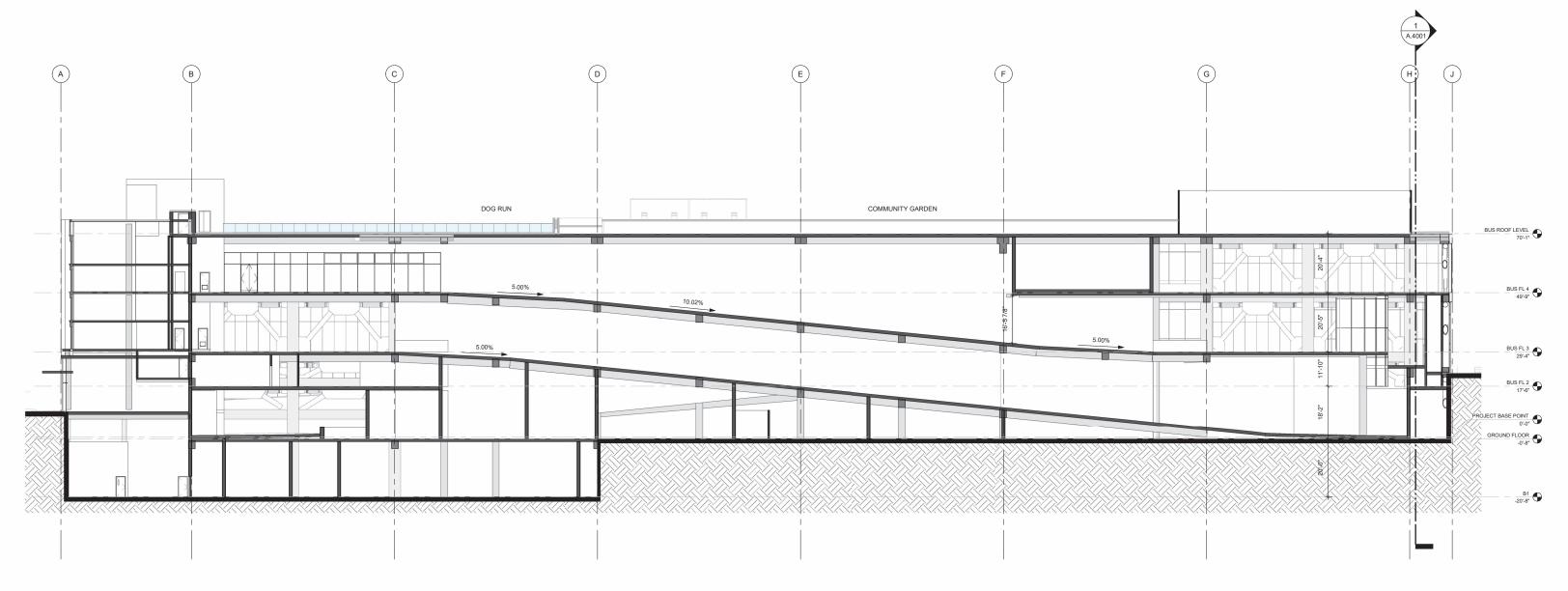
POTRERO YARD MODERNIZATION PROJECT

Issue: PRJ

Date: **2023-12-21**Project No: **141440** 

Scale: 1/16" = 1'-0"

## **BUS RAMP SECTIONS**



1 A4003 Scale: 1/16" = 1'-0"



Issue: PRJ
Date: 2023-12-21
Project No: 141440
Scale: 1/16" = 1'-0"

# **AERIAL VIEW**





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POTRERO YARD MODERNIZATION PROJECT

Issue: PRJ

Date: 2023-12-21

Project No: **141440** Scale:

# **STREET VIEW - 17TH ST**





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Issue: PRJ Date: 2023-12-21

Project No: **141440** 

Scale:

# **STREET VIEW - BRYANT ST**





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POTRERO YARD MODERNIZATION PROJECT

Issue: **PRJ**Date: **2023-12-21** 

Project No: 141440

Scale:

2 ..

A.9004

# **STREET VIEW - MARIPOSA ST**





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POTRERO YARD MODERNIZATION PROJECT

Issue: **PRJ**Date: **2023-12-21** 

Project No: **141440** 

2023-12-21 141440 A.9005

Scale:

# **STREET VIEW - HAMPSHIRE ST**





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POTRERO YARD MODERNIZATION PROJECT

Issue: PRJ

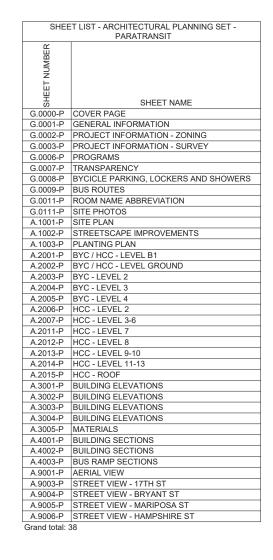
Date: 2023-12-21

Project No: **141440** 

Scale:

## **COVER PAGE**





ARCHITECTURE

**ARCADIS** 

ARCADIS 100 Montgomery St, Suite 300 San Francisco, CA NAME: Yancey Clayton EMAIL: yancey.clayton@arcadis.com

Y.A. studio

**ARCADIS** 

**ARCADIS** 

NABIH YOUSSEF ASSOCIATES STRUCTURAL ENGINEERS



Issue: PRJ Date: 2024-01-03

Project No: **141440** Scale: 12" = 1'-0" G.0000-P

### **GENERAL INFORMATION**

### **ABBREVIATIONS**

GUARDRAIL TYPE GYPSUM WALL BOARD

HOLLOW STRUCTURAL STEEL HANDRAIL TYPE

GR-GWB

Section Marker

ACT ACOUSTICAL CEILING TILES ADMIN ADMINISTRATION JAN MAX JANITOR MAXIMUM ALUM ALUMINUM
BF BARRIER FREE
CR CARD READER MECHANICAL MINIMUM NOT IN CONTRACT c/w CB CJ CG COMPLETE WITH NOT TO SCALE CATCH BASIN ON CENTER O.W.S.J. OPEN WEB STEEL JOIST P PROJECTOR CONTROL JOINT CORNER GUARD CL CENTER LINE
COMM COMMUNICATION PART PARTITION PART PARTITION
PL- PLASTIC LAMII
PREF PRE-FINISHED
PT PAINTED
R RADIUS
RO ROUGH OPEN
RCP REFLECTED C
RD ROOF DRAIN
REQ'D REQUIRED
PM POOM PLASTIC LAMINATE TYPE CONC CONCRETE
CT CERAMIC TILE
DIA DIAMETER PRE-FINISHED PAINTED DWGS DRAWINGS ROUGH OPENING ELEC ELECTRICAL REFLECTED CEILING PLAN ELEV EQ ESL EXT ELEVATOR EQUAL ENGLISH AS SECOND LANGUAGE RM SG SA SS SIM ROOM SPANDREL GLAZING EXTERIOR FIRE RESISTANCE RATING SELF ADHERED STAINLESS STEEL FD FLOOR DRAIN
FL FLOOR
G/S GRADUATE STUDENT
GALV GALVANIZED SIM SIMILAR
SPECS SPECIFICATIONS
SQ M SQUARE METER
STOR STORAGE
STRUCT STRUCTURAL

TYP UG U/S UNIV VG WB W/ WC WD TYPICAL UNDER GRADUATE UNDERSIDE UNIVERSITY WHITE BOARD WITH WASHROOM WOOD

Room & Unit Tags

Door Tag

### 101 Level (-00' 00" Window Tag Level (-00' 00" 101 DEFAULT(TYPED) Room Name 10101 USABLE:1500 sf Keynote Tag Level (-00' 00") ? ? ? ? GEODETIC 20'-0" Room Name 10101 ? Wall Tags Furniture Tag 1 View Name W? W? Description XX XX Family Name W? W? 1 View Name Electrical Tags A101 Scale: NTS Floor Tags $\langle xx \rangle \langle xx \rangle$ **₹**? Mechanical Tags F? F? **Revision Tags** $\langle XX \rangle$ Ceiling Tags Plumbing Tag $\propto$ €?> C? XX C?> C? Photo Reference Tags Roof Tags XX R? Stair Tags R? R? XX 20R @ 1' - 0" Finish Tags $\langle \hat{\gamma} \rangle$

TACK BOARDS THICK

Elevation Datum Marker



Potrero Yard Project Site



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POTRERO YARD MODERNIZATION PROJECT

Issue: PRJ

Date: 2024-01-03

Project No: 141440

Scale: As indicated

G.0001-P

## **PROJECT INFORMATION - ZONING**

PROPERTY INFORMATION (FROM DEIR)			
Project Address:	2500 Mariposa Street		
Cross Street(s):	Mariposa, Hampshire, Bryant, and 17th Streets		
Block /Lot No.:	3971/001		
Zoning District(s):	Public (P) Zoning District 65-X Height and Bulk District		
Plan Area:	Mission Area Plan		
Site Area	191 854 SF (4.4 Acres)		

COMPARISON OF CHARACTERISTICS OF THE PROPOSED P	ROJECT AND EIR		
Building and Site Characteristics	Proposed Project	DEIR (June 2021)	SF Planning / Zoning
Transit Facility Podium Height (feet)	70' - 1"	75'	-
Number of Transit Facility Stories	4	3	-
High-Rise Tower Height (feet)	Up to 145'-3"	Up to 150'	-
Height Limit (NOTE A)	150'	150'	65' (NOTE B)
Number of Joint Development Stories	Up to 12	Up to 13	-
Excavation Depth	20';	35 feet;	
Excavation Deptin	142,230 cubic yards	248,900 cubic yards	-
Construction Duration	49 months	3 – 4 years	-
FAR (Floor Area Ratio) (NOTE C)	4.70	6.78	No Limit
Building Construction Area	901,072 gsf	1,300,000 gsf	-
Enclosed Bus Facility	734,246 gsf	723,000 gsf	-
Ramps & Circulation, Bus Storage and Service	646,123 gsf	671,000 gsf	-
Administration and Common Area	88,123 gsf	52,000 gsf	-
Residential	163,940 gsf	544,000 gsf	-
Commercial	2,886 gsf	33,000 gsf	-
Residential Units	104 units	575 units	-
Studio	13 units (13%)	141 units (24%)	-
One-Bedroom	23 units (22%)	206 units (36%)	-
Two-Bedroom	39 units (38%)	228 units (40%)	
Three-Bedroom	28 units (27%)	228 utilis (40%)	-
Manager Units	1 units (1%)	0	-
Open Space	8,514 gsf	91,000 sf	-
Transportation and Circulation Features	Proposed Project	DEIR (June 2021)	SF Planning / Zoning
Maintenances Repair Bays	18	18	-
Vehicle Parking Spaces	374 (NOTE D)	310	0 (NOTE E)
Trolley Coaches (40 foot/60 foot)	213 (53/160)	213 (63/150)	-
Non-Revenue Vehicles (large/standard)	161 (12/149)	97 (8/89)	~
SFMTA Staff	0	0	-
Residential	0	0	-
Loading Supply	296 curb feet (5/2)	160 curb feet (3/2)	?
Commercial (On-Street/Off-Street)	40 curb feet (1/2)	40 curb feet (1/2)	?
Passenger (On-Street/Off-Street)	156 curb feet (2/0)	120 curb feet (3/0)	?
On-Street Parking Spaces Removed Along Adjacent Streets	75	48	-
Bicycle Parking Spaces (NOTE F)	0	773	220 (191/29)
Commercial (Class 1/Class 2)	0	736	6 (2/4)
Residencial (Class 1/Class 2)	0	37	214 (189/25)

NOTE A: HEIGHT LIMITS: MEASUREMENT

Per RFP Addendum No. 5 'Potrero Yard RFP Part III\_Division 2 Design Guidelines\_6-8-21': "Building heights shall be measured from the midpoint of the Mariposa Street property boundary. Refer to the San Francisco Planning Code for allowable equipment, appurtenances and penthouse height exceptions." Per City of San Francisco Planning Code SEC. 260.a.2." "The upper point to which such measurement shall be taken shall be the highest point on the finished roof in the case of a flat roof, and the average height of the rise in the case of a pitched or stepped roof, or similarly sculptured roof form, or any higher point of a feature not exempted under Subsection (b) below."

Per City of San Francisco Planning Code SEC. 260.b:
(1)\* The following features shall be exempt provided the limitations indicated for each are observed; and provided further that the sum of the horizontal areas of all features listed in this subsection (b)(1) shall not exceed 20% of the horizontal area of the roof above which they are situated. Any such sum of 20% heretofore described may be increased to 30% by unroofed screening designed either to obscure the features listed under (A) and (B) below or to provide a more balanced and graceful silhouette for the top of the building or structure. (A) Mechanical equipment and appurtenances necessary to the operation or maintenance of the building or structure itself, including chimneys, ventilators, plumbing

vent stacks, cooling towers, water tanks, panels or devices for the collection of solar or wind energy, and window-washing equipment, together with visual screening for any such features. This exemption shall be limited to the top 10 feet of such features where the height limit is 65 feet or less, and the top 16 feet of such features where the height limit is more than 65 feet.

(B) Elevator, stair and mechanical penthouses, fire towers, skylights and dormer windows. This exemption shall be limited to the top 10 feet of such features where the height limit is 65 feet or less, and the top 16 feet of such features where the height limit is more than 65 feet. However, for elevator penthouses, the exemption shall be limited to the top 16 feet and limited to the footprint of the elevator shaft, regardless of the height limit of the building.

(2) The following features shall be exempt, without regard to their horizontal area, provided the limitations indicated for each are observed.

(A) Railings, parapets and catwalks, with a maximum height of four feet.

(B) Open railings, catwalks and fire escapes required by law, wherever situated

(C) Unroofed recreation facilities with open fencing, including tennis and basketball courts at roof level, swimming pools with a maximum height of four feet and play quipment with a maximum height of 10 feet.

(D) Unenclosed seating areas limited to tables, chairs and benches, and related windscreens, lattices and sunshades with a maximum height of 10 feet. (E) Landscaping, with a maximum height of four feet for all features other than plant materials.

NOTE B: HEIGHT LIMITS: MAXIMUM

See 'REQUIRED ACTIONS BY THE SAN FRANCISCO PLANNING COMMISSION', regarding requirement for a Special Use District (SUD) to change the height and bulk designation from 65X to a designation that accommodates heights to a maximum 150 feet.

### NOTE C: MAXIMUM FLOOR AREA RATIO

Although P and PDR zoning districts do not have basic floor area ratio limits, the adjacent UMU-zoned parcels have basic floor area ratio limits of either 4.0 to 1 or 5.0 to 1, for non-residential mixed uses.

NOTE D: REQUIRED OFF-STREET PARKING SPACES

Per RFP Addendum No. 12: Table 2.B – 2030 Program Vehicle Summary found in Section 2 of RFP Part III Technical Requirements Division 3: Design Criteria

Document will be amended to reflect an additional 66 spaces (total of 84) for standard non-revenue vehicles (NRV). Note that the newly added asterisk below the table states that an estimated 10 to 20 NRV spaces may be considered for Transportation Demand Management programming for the Bus Yard Component. The "Total" value in this table is amended to be 370, reflecting the additional 66 spaces for standard non-revenue vehicles. This change will be reflected in RFP Part III Technical Requirements Division 3: Design Criteria Document and issued in a forthcoming Addendum to the RFP.

NOTE E: REQUIRED OFF-STREET PARKING SPACES

None required for any proposed use, per City of San Francisco Planning Code SEC. 151

### NOTE F: REQUIRED OFF-STREET BICYCLE PARKING SPACES

Per City of San Francisco Planning Code SEC. 155.2: Residential uses: Senior housing: 1 Class 1 parking per every 10 units, 2 Class 2 spaces for every 50 units; Other housing: 100 Class 1 spaces plus one Class 1 space for every four Dwelling Units over 100, 1 Class 2 per 20 units.

Commercial uses: 1 Class 1 space for every 7,500 square feet of Occupied Floor Area, 1 Class 2 space for every 2,500 sq. ft. of Occupied Floor Area but minimum 2.

Classes 1 and 2 per City of San Francisco Planning Code SEC, 155.1



Adoption of Findings of Consistency with the general plan and priority policies of planning code section 101.1

Recommendation to the San Francisco Board of Supervisors (board of supervisors) to amend the general plan, including but not limited to the Mission Area Plan and the Urban Design Element

Recommendation to the board of supervisors to amend the planning code and zoning maps by 1) establishing a Special Use District (SUD) to accommodate resident and commercial uses and to designate the boundaries of the SUD; (2) maintaining the underlying zoning from P (Public); and (3) changing the height and bulk designation from 65X to a designation that accommodates heights to a maximum 150 feet

Approval either through a Conditional Use authorization under planning code section 303, Large Project authorization under planning code section 329, or similar project authorization pursuant to the SUD

SAN FRANCISCO GENERAL PLAN	
Recreation and Open Space Element (ROSE)	Policy 1.9 in the general plan: Solar access to public open space should be protected. (No shadow on 'Properties under the jurisdiction of the Recreation and Park Department', ie the park across the street from the Project.
Urban Design Element	Policy 3.4 in the general plan: Promotion of building forms that will respect and improve the integrity of open spaces and other public areas.
Mission Area Plan	Objective 5.3: Creation of a network of "Green Connector" streets in the Mission District, including 17th Street, that connect open spaces and improve walkability, aesthetics, and ecological sustainability of the Mission.
	Policy 5.3.7: Mission Public Realm Plan with detail the differing design needs of different types of streets in the Mission.
	Policy 3.1.2: Design of new, mixed-use infill development in the Northeast Mission Industrial Zone should strengthen the area's industrial character through appropriate materials, massing, and
	Policy 3.1.12: Requires height limits and upper-story setbacks along alley frontages to maintain adequate light and air to sidewalks
SAN FRANCISCO PLANNING CODE	
Section 101.1	Priority Policy No. 8 calls for the protection of parks and open space and their access to sunlight an vistas. The City is required to find that the proposed project or legislation would be consistent with the Priority Policies.
Section 147	Establishes additional design guidelines for new buildings and additions in C-3 Downtown Commercial, South of Market Mixed Use, and Eastern Neighborhoods Mixed Use Districts where th height exceeds 50 feet. It requires such projects to be shaped to minimize shadow on public plazas and other publicly accessible spaces other than those protected under planning code section 295 (described below). (Doesn't seem to affect our current land-use)
Section 295	Prohibits the approval of "any structure that would cast any shade or shadow upon any property under the jurisdiction of, or designated for acquisition by, the Recreation and Park Commission, unless the San Francisco Planning Commission (planning commission than the retire and comment by the recreation and park commission, has found that the shadows cast by a proposed project would not have an adverse impact on the use of the property. Section 295 does not apply to structures that do not exceed 40 feet in height. The period analyzed is from the first hour after sunrise until the last hour before sunset.  Note: "The planning commission and the recreation and park commission have not established an "absolute cumulative limit" (ACL) for new shadow on Franklin Square."

BUILDING CODE & ZONING REQUIREMENTS	
Authority Having Jurisdiction:	City and County of San Francisco
Zoning Code:	San Francisco Administrative Code (Planning Code)
Applicable Codes (Adopted):	ASHRAE- 62.1, 90.1, 189.1
	California Building Standards Code (with local amendments)
	California Electrical Code (with local amendments)
	California Energy Code (with local amendments)
	California Existing Building Code (with local amendments)
	California Fire Code (with local amendments)
	California Green Building Standards Code (with local amendments)
	California Historical Building Code (with local amendments)
	California Mechanical Code (with local amendments)
	California Plumbing Code (with local amendments)
	California Reference Standards Code (with local amendments)
	Department of Justice ADA Standards for Accessible Design
	NFPA Codes- 13, 30, 30A, 33, 88A, 110, 111, 704, 720
	San Francisco Code
	Amendments, State
	Amendments, Ordinances, and
	Law
Occupancy Group:	S-2, B, R-2, M

CONSTRUCTION TYPE/ HEIGHT & AREA (SEE ICC TABLE 503	3; ICC TABLE 504.3) (FROM RFP Part III_Division 3)
Type I-B Max.	150'-0"/ _Floors @_sf ea. Per ICC 2016; 85' per San Francisco Municipal Code
Fire Protection:	Sprinkler System

FIRE RESISTANCE RATING REQUIREMENTS FOR BUILDING ELEMENTS, FOR TYPE 1-B CONSTRUCTION (ICC TABLE 601) (FROM RFP Part III_Division 3)			
Structural Frame Including Columns, Joists, & Girders	Supporting Floors - 2 hours / Supporting Roof ONLY - 1 hour		
Bearing Walls Exterior	(per ICC Table 602) - 2 hours		
Bearing Walls Interior	Supporting Floors - 2 hours / Supporting Roof ONLY - 1 hour		
Non-Bearing Walls & Partitions Exterior	(per ICC Table 602) - 1 hour		
Floor Construction Including Supporting Beams & Joists	2 hours		
Roof Construction Including Supporting Beams & Joists	2 hours		

OCCUPANCY SEPARATION, FIRE BARRIERS, FIRE PARTITION 504.3, TABLE 504.4, TABLE 716.5) (FROM RFP Part III_Division		OTECTIVES, FOR TYPET-B CONST	RUCTION (ICC TABLE
	Partitions	Openings	
Occupancy Separation between (S-2, Bus Repair Garage) & (B, Training Area, Operations)	2 hours	-	
Occupancy Separation between (S-2, Bus Repair Garage) & (R-2, Residential T.O.D.)	2 hours	-	
Exit Passageways	1 hour	1 hour	
Exit Enclosures	1 hour	1 hour	
Vertical Shafts (for 14 stories, 144 feet, 0 inch total height)	1 hour	1 hour	

INTERIOR WALL AND CEILING FINISH REQUIREMENTS BY OCCUPANCY (SPRINKLERED BUILDING), FOR TYPE I -B CONSTRUCTION (ICC TABLE 803.11) (FROM RFP Part III_Division 3)			
OCCUPANCY GROUP	EXIT ENCLOSURES & EXIT PASSAGEWAYS	CORRIDORS	ROOMS & ENCLOSED SPACES
S-2	Class C	Class C	Class C
В	Class B	Class C	Class C
R-2	Class C	Class C	Class C



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POTRERO YARD MODERNIZATION PROJECT

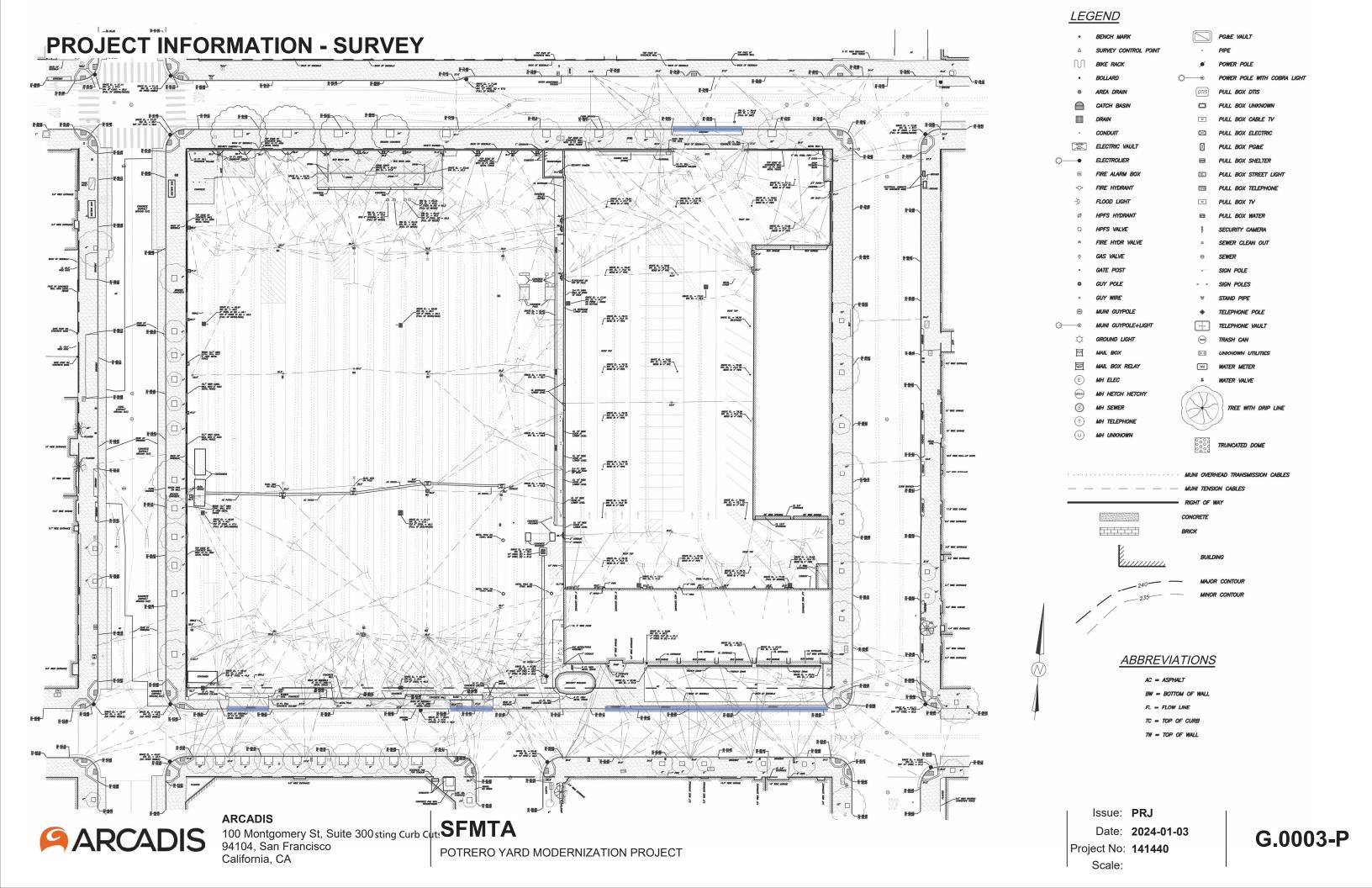
Issue: PRJ

Date: 2024-01-03

Project No: **141440** 

Scale:

G.0002-P



## **PROGRAMS**

### GENERAL PROGRAMS

Landuse Summary(sf)		
нсс	163,940	
BYC Facility	646,123	
BYC Admin.	88,123	
Usable Open Space 2,843		

Dwelling Units - Affordable	104
Dwelling Units - Workforce	0
Housing	
Total Units	104

_		
ſ	Numbers of Building	1
Ī	Numbers of Levels	13

### **UNIT BREAKDOWN**

	UNIT BREAKDOWN (COUNT)																				
LEVEL		FAMILY (	BRYANT	BAR)			FAMILY (F	PODIUM N	ORTH)		F	AMILY (PO	ODIUM SO	UTH)			WOR	RKFORCE			TOTAL
	STUDIO	1B/1ba	2B/1ba	3B/2ba	TOTAL	STUDIO	1B/1ba	2B/1ba	3B/2ba	TOTAL	STUDIO/1ba	1B/1ba	2B/1ba	3B/2ba	TOTAL	STUDIO/1ba	1B/1ba	2B/2ba	3B/2ba	TOTAL	
ROOF																					
13	2	0	1	2	5																5
12	2	0	1	2	5																5
11	2	0	1	2	5																5
10	2	1	4	2	9																9
9	2	1	4	2	9																9
8	2	1	4	2	9																9
7	1	1 1	4	2	8																8
6		4	4	3	11																11
5		4	4	3	11																11
4		4	4	3	11																11
3		4	4	3	11																11
2		3	4	2	9																9
1																					
B1																					
TOTAL	13	23	39	28	103	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	103
	13%	22%	38%	27%	100%				i												
Manager's unit			1		1																1

	OVERALI	OVERALL UNIT BREAKDOWN									
	STUDIO	STUDIO 1B 2B 3B TOTAL									
COUNT	13	23	40	28	104						
%	13%	22%	38%	27%	100%						

200

	ACCESIB	LE UNIT E	BREAKD0	WN	
	STUDIO	1B	2B	3B	TOTAL
MOBILITY	1	2	2	2	7
% OF ALL	1%	2%	2%	2%	7%
ADAPTIBLE	12	21	38	26	97
% OF ALL	12%	20%	37%	25%	93%

### AREA BREAKDOWN

				GROSS BUILD	ING AREA (SF)						DEDUCTIONS FOR E	XEMPTION PER SEC 102			
LEVEL	HEIGHT ABOVE GROUND LEVEL	FLOOR TO FLOOR HEIGHT	BUS MAINTENANCE	BUS ADMIN	OFFICE	RESIDENTIAL	RESIDENTIAL AMENITY/COMMON	RETAIL	TOTAL GROSS FLOOR AREA	Basement Area per 102.9 (b) 1 (storage and maintenance)	MEP / BOH Building Services 102.9 (b) (3) & (4)	Bicycle Parking 102.9 (b) (8)	Residential Elevator shaft on nonresidential floors 102.9 (b) (11)	GROSS FLOOR AREA LESS DEDUCTIONS PER SEC 102	TOTAL OCCUPIED FLOOR AREA
OVERRUN	155'-2"										910 SF				
ROOF	145'-3"										20,636 SF				
13	135'-2"	10'				7,135 SF			7,135 SF					7,135 SF	6,873 SF
12	125'-1"	10'				7,135 SF			7,135 SF					7,135 SF	6,873 SF
11	115'-0"	10'				7,135 SF			7,135 SF					7,135 SF	6,873 SF
10	104-11"	10'				10,944 SF			10,944 SF					10,944 SF	10,682 SF
9	94'10"	10'				10,944 SF			10,944 SF					10,944 SF	10,682 SF
8	84'-9"	10'				10,944 SF			10,944 SF					10,944 SF	10,682 SF
7	74'-8"	10'	7,922 SF	15,887 SF		10,406 SF	538 SF		34,753 SF					34,753 SF	24,802 SF
6	59'-10"	15'-2"				15,967 SF			15,967 SF					15,967 SF	15,705 SF
5	50'-0"	9'-10"				15,967 SF			15,967 SF					15,967 SF	15,705 SF
BUS 4	49'-9"	20'-4"	172,257 SF				316 SF		172,573 SF				316 SF	172,257 SF	9,415 SF
4	40'-2"	9'-10"				15,967 SF			15,967 SF					15,967 SF	15,705 SF
3	30'-4"	9'-10"				15,967 SF			15,967 SF					15,967 SF	15,705 SF
BUS 3	29'-4"	20'-5"	172,737 SF				316 SF		173,053 SF				316 SF	172,737 SF	9,415 SF
2	20'-6"	9'-10"				13,971 SF			13,971 SF					13,971 SF	13,709 SF
BUS 2	17'-6"	11'-10"	44,563 SF	54,158 SF		3,333 SF		839 SF	102,893 SF		12,466 SF			90,427 SF	79,636 SF
GROUND	-8"	18'-2"	154,170 SF	18,078 SF	2,061 SF	4,560 SF	5,459 SF	2,047 SF	186,375 SF		734 SF	1,778 SF		183,863 SF	34,077 SF
B1	-20'-8"	20'-0"	94,474 SF			4,875 SF			99,349 SF	1,692 SF	20,319 SF	303 SF		77,035 SF	12,414 SF
GRAND TOTALS			646,123 SF	88,123 SF	2,061 SF	155,250 SF	6,629 SF	2,886 SF	901,072 SF	1,692 SF	55,065 SF	2,081 SF	632 SF	863,148 SF	298,953 SF

### OPEN SPACE BREAKDOWN

Area Schedule - Ope	n Space - By Area	- Paratransit
Name	Level	Area

BYC		
OPEN SPACE	BUS FL 2	1,044 SF
OPEN SPACE	BUS FL 4	900 SF
PVC	•	1 0/5 SE

HCC		
HCC OPEN SPACE	FL 07	2,090 SF
HCC OPEN SPACE	FL 07	973 SF
HCC OPEN SPACE	FL 11	3,506 SF
HCC		6,569 SF
Grand total		8,514 SF

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**SFMTA**POTRERO YARD MODERNIZATION PROJECT

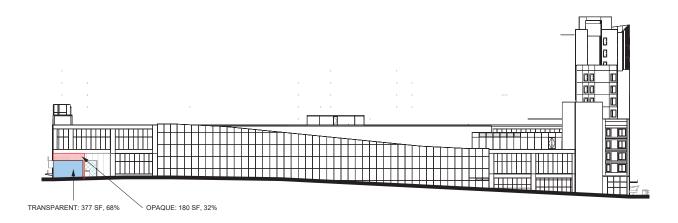
Issue: PRJ

Date: 2024-01-03

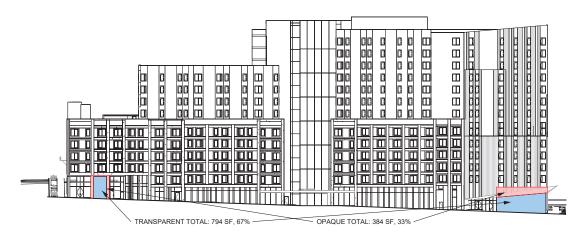
Project No: **141440** 

Scale:

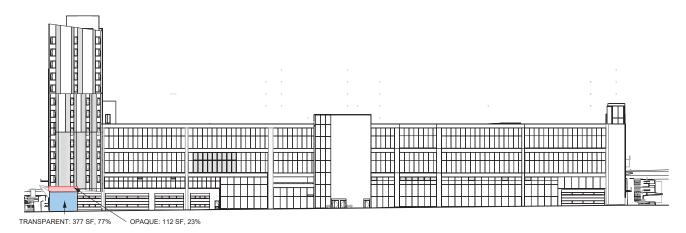
### **TRANSPARENCY**



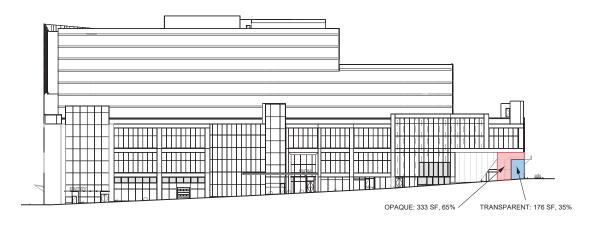
1 ELEVATION - NORTH - TRANSPARENCY - PARATRANSIT



2 ELEVATION - WEST - TRANSPARENCY - PARATRANSIT G.0007-P Scale: 1" = 40'-0"



3 ELEVATION - SOUTH - TRANSPARENCY - PARATRANSIT G.0007-P Scale: 1" = 40'-0"



4 ELEVATION - EAST - TRANSPARENCY - PARATRANSIT

OPAQUE
TRANSPARENT

	TOTAL AREA	%
OPAQUE	1,009 SF	37%
TRANSPARENT	1,724 SF	63%
	2,733 SF	



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Issue: PRJ

Date: **2024-01-03**Project No: **141440** 

Scale: 1" = 40'-0"

G.0007-P

# **BYCICLE PARKING, LOCKERS AND SHOWERS**

### **BIKE AND STORAGE SUMMARY**

	BIKES PER UNIT/AREA	RESIDENTIAL UNITS	RETAIL/OFFICE/ INDUSTRIAL AREA (SF)	REQUIRED BIKE STORAGE	PROVIDED IN PROJECT
RESIDENTIAL REQUIREMENT WORKFORCE)	100 CLASS 1 SPACES + 1 CLASS 1 SPACE FOR EVERY 4 DWELLING UNITS ABOVE 100 UNITS	-			
RESIDENTIAL REQUIREMENT AFFORDABLE)	100 CLASS 1 SPACES + 1 CLASS 1 SPACE FOR EVERY 4 DWELLING UNITS ABOVE 100 UNITS	103		101	140
RETAIL REQUIREMENT	1 CLASS 1 SPACE FOR EVERY 7,500 SF OF OCCUPIED FLOOR AREA	-	3,500		
OFFICE REQUIREMENT	1 CLASS 1 SPACE FOR EVERY 5,000 SF OF OCCUPIED FLOOR AREA		28,746	6	12
NDUSTRIAL REQUIREMENT	1 CLASS 1 SPACE FOR EVERY 12,000 SF OF CCCUPIED FLOOR AREA, EXCEPT NOT LESS THAN TWO CLASS 1 APACES FOR ANY USE LARGER THAN 5000 SF	-	74,450	7	12

		TORAGE PROVISION			
CLASS I @ B1, GR	OUND FLOOR, AND FL07 WORK	FORCE HOUSING BIKE ST	ORAGE ROOM	MS	
TYPE	AMOUNT	# B RAC	IKES PER CK	TOTAL BIKES	
SINGLE		0	1		0
DERO DUPLEX		41	4		164
VERTICAL BIKE LIFE		0	8		0
			TAL CLASS I		1000
		F	PROVIDED		164
CLASS II @ GROU	ND LEVEL				
20,000,000			IKES PER		
TYPE	AMOUNT	RAC	CK	TOTAL BIKES	
SINGLE		35	1		35
DOUBLE STACKED		0	2		0
	-	TO	TAL CLASS II		
			PROVIDED		35

BIKES PER UNIT/AREA	RESIDENTIAL UNITS	RETAIL/INDUSTRIAL AREA (SF)	REQUIRED BIKE STORAGE	PROVIDED IN
1 CLASS 2 SPACE / 20 DWELLING UNITS	-			
1 CLASS 2 SPACE / 20 DWELLING LINITS	103		6	
1 CLASS 2 SPACE FOR EVERY 2,500 SF OF OCCUPIED FLOOR AREA		3,500	2	
THAN 5,000 SF OF OCCUPIED FLOOR AREA, AND 1 CLASS 2 SPACE FOR EACH ADDITIONAL 50,000 OCCUPIED SF	_		2	
FOUR CLASS 2 SPACES FOR ANY USE LARGER THAN 50,000 SF		>50,000	4	
_	1 CLASS 2 SPACE FOR EVERY 2.500 SF OF OCCUPIED FLOOR AREA MINIMUM 25 SPACE FOR EVERY 2.500 SF OF OCCUPIED FLOOR AREA, AND 1 CLASS 2 SPACE FOR EACH ADDITIONAL 50,000 OCCUPIED ST. OCCUPIED SPACE FOR EACH ADDITIONAL 50,000 OCCUPIED SPACE FOR EACH EACH ADDITIONAL 50,000 OCCUPIED SPACE FOR EACH EACH EACH EACH EACH EACH EACH EACH	1 CLASS 2 SPACE F/20 DWF1 LING LINTS 103  1 CLASS 2 SPACE FOR EVERY 2,500 SF OF OCCUPIED FLOOR AREA MINIMUM FOR STANDARD FOR ANY OFFICE USE SPACETER THAN 5,000 SF OF OCCUPIED FLOOR AREA, AND 1 CLASS 2 SPACE FOR EACH ADDITIONAL 50,000 OCCUPIED SF  FOUR CLASS 2 SPACES FOR ANY USE LARGER THAN	1 CLASS 2 SPACE FOR EVERY 2,500 SF OF OCCUPIED FLOOR AREA INITIATION OF OF OCCUPIED FLOOR AREA, AND 1 CLASS 2 SPACE FOR EACH ADDITIONAL 50,000 CCUPIED SF FOUR CLASS 2 SPACE FOR ANY USE LARGER THAN	1 CLASS 2 SPACE FOR EVERY 2,500 SF OF OCCUPIED FLOOR AREA INITIATION OF FOR EVERY 2,500 SF OF OCCUPIED FLOOR AREA INITIATION OF FOR OCCUPIED FLOOR AREA, AND 1 CLASS 2 SPACE FOR EACH ADDITIONAL 50,000 COCUPIED SF FOUR CLASS 2 SPACE FOR ANY USE LARGER THAN

### SHOWERS AND LOCKERS SUMMARY

LOCKER AND SHOWER REQUIREMENTS PER SFMC SECTION 155.4							
	UNITS PER AREA	AREA	REQUIRED	PROVIDED IN PROJECT			
LOCKER REQUIREMENTS	24 CLOTHES LOCKERS ARE REQUIRED WHERE OCCUPIED FLOOR AREA EXCEEDS 50,000 SQUARE FEET	>50000 sqft	24	402			
SHOWER REQUIREMENTS	FOUR SHOWERS ARE REQUIRED WHERE OCCUPIED FLOOR AREA EXCEEDS 50,000 SQUARE FEET	>50000 sqft	4	25			

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SFMTA

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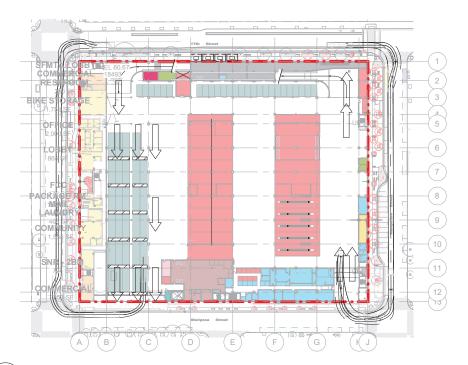
Issue: PRJ

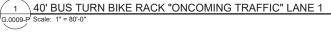
Date: **2024-01-03**Project No: **141440** 

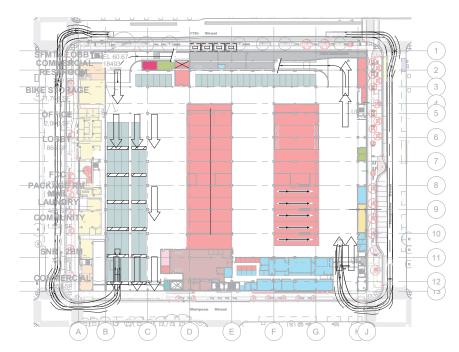
Scale:

G.0008-P

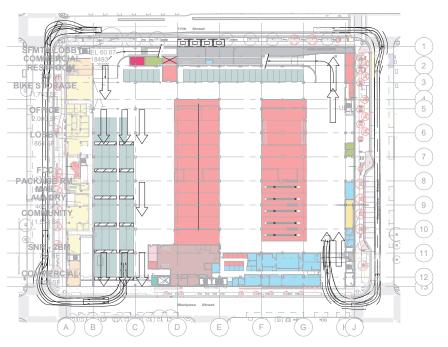
## **BUS ROUTES**



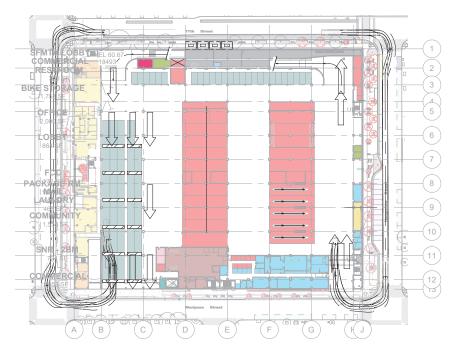




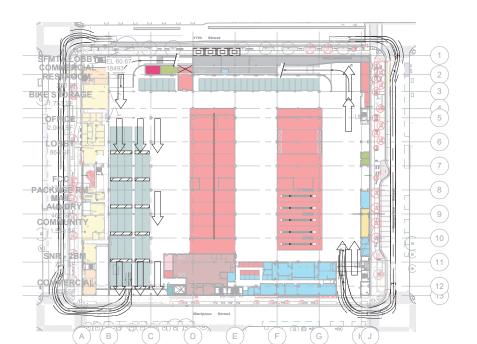
4) 40' BUS TURN BIKE RACK "ONCOMING TRAFFIC" LANE 4



2 40' BUS TURN BIKE RACK "ONCOMING TRAFFIC" LANE 2



5 40' BUS TURN BIKE RACK "ONCOMING TRAFFIC" LANE 10

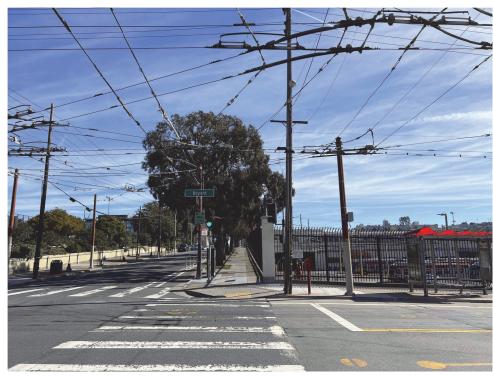


3 40' BUS TURN BIKE RACK "ONCOMING TRAFFIC" LANE 3

# **SITE PHOTOS**



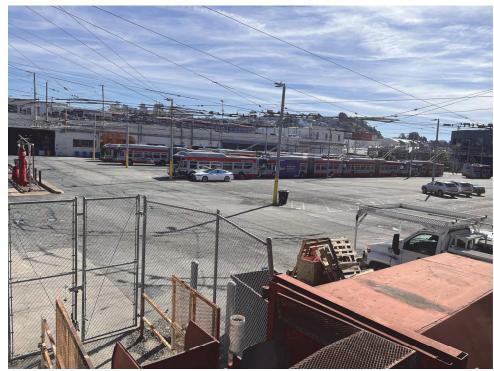
VIEW ON BUS YARD



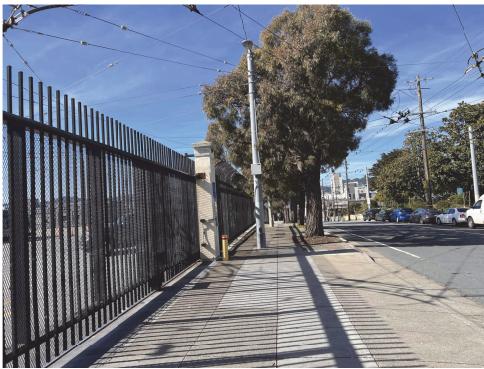
VIEW TO 17TH ST. AND BRYANT ST. FROM WEST



VIEW TO MARISPOSA ST. AND HAMPSHIRE ST. FROM SOUTHWAST



VIEW TO BUS YARD FROM BRYANT ST.



VIEW TO 17TH ST. SIDEWALK FROM EAST



VIEW TO 17TH ST. AND BRYANT ST. FROM NORTHWEST



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tel 408 924 0811 fax 408 924 0844
ibigroup.com

POTRERO YARD MODERNIZATION PROJECT

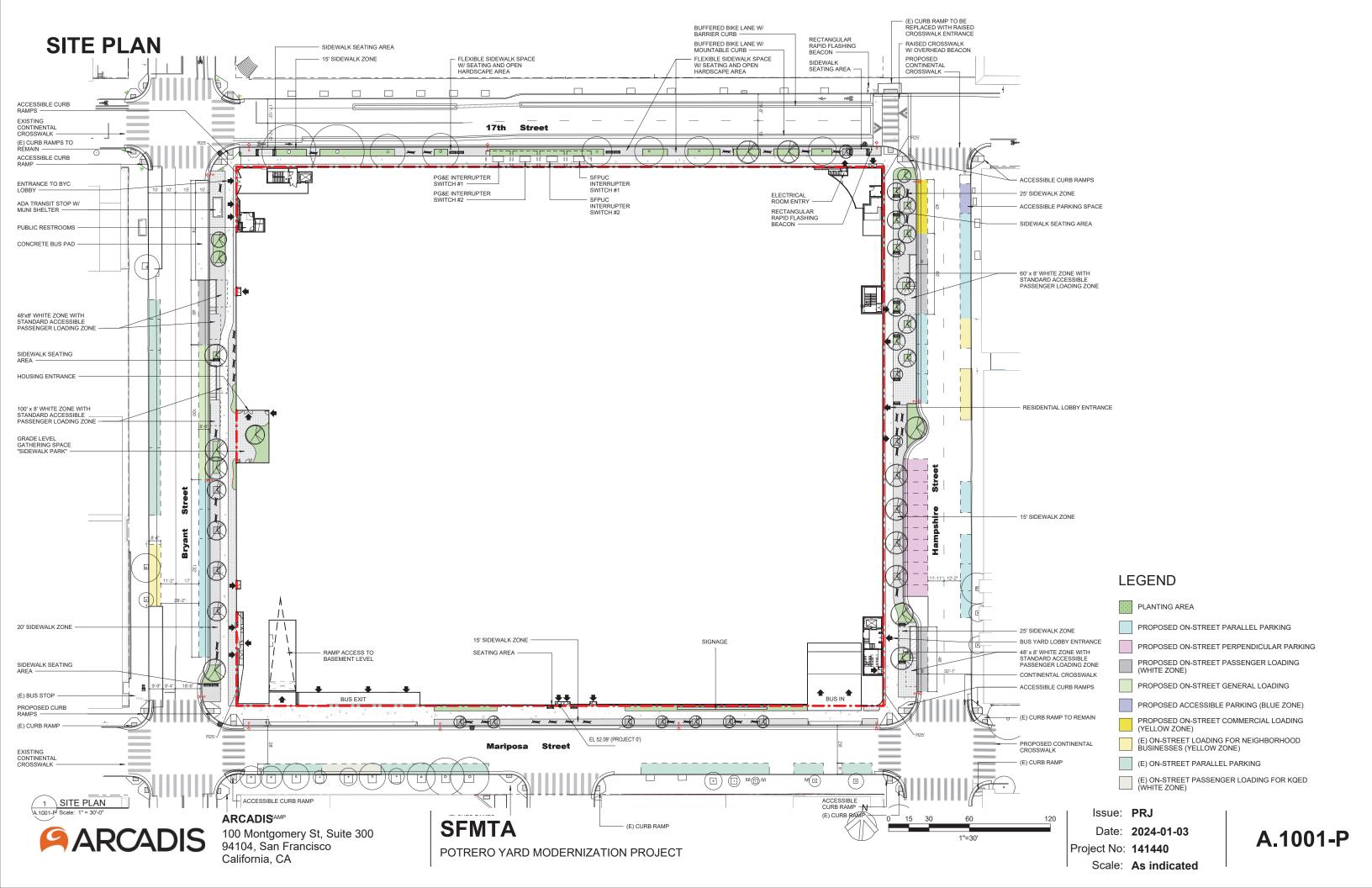
Issue: PRJ

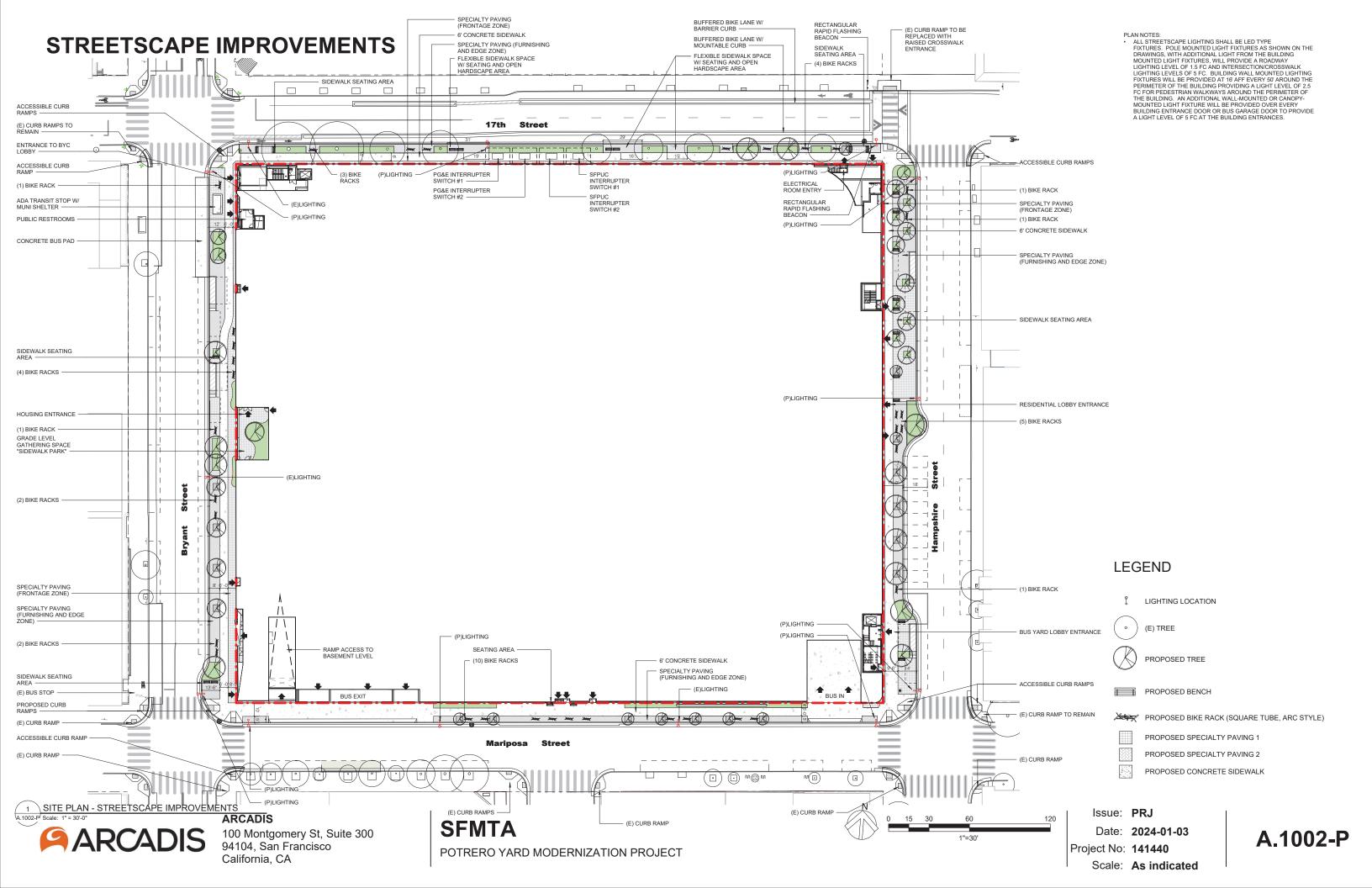
Date: 2024-01-03

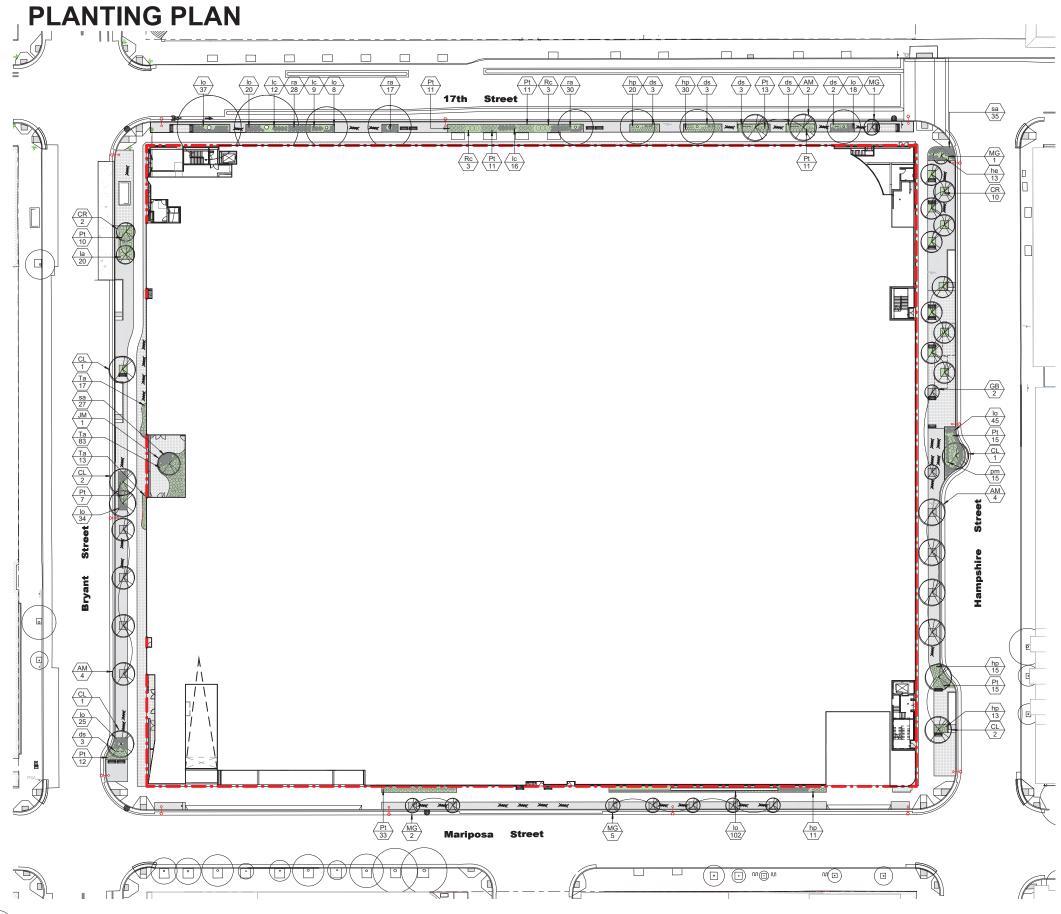
Project No: **141440** 

Scale:

G.0111-P







Type Mark	Botanical Name	Common Name	Size	Height	Spread	Spacing	Quantity	Water Use	Notes
Trees									
AU	Amelanchier utahensis	Utah Serviceberry	24" Box	12'	10'	I	TBD	M	Native to San Francisco
AM	Arbutus 'Marina'	Marina Strawberry Tree	36" Box	20'	20'		TBD	L	
		,							Nector source for
AC	Arbutus unedo 'Compacta'	Dwarf Strawberry Tree	24" Box	8'	6'		TBD	L	butterflies
BE	Brahae edulis	Guadalupe Palm	36" Box	30'	10'		TBD	Ī.	
,,,									
CR	Ceanothus 'Ray Hartman'	Ray Hartman Ceanothus	24" Box	12'	15'		TBD	L	California Native Species
CH	Chamaerops humilis	European Fan Palm		15'	10'		TBD	Ī.	
									Self pollinating. Fruit
			5' to 6'						Production in Community
CM	Citrus x meyeri	Meyer Lemon Tree	ht.	8'	4'		TBD	м	Garden Area.
_C	Lophostemon confertus	Brisbane Box	36" Box	30'	25'		TBD	М	
	Lyonothamnus floribundus ssp.								
F	Aspleniifolius	Santa Cruz Island Ironwood	24" Box	20'	15'		TBD	L	California Native Species
op.	Parrotia persica	Persian Ironwood		20'	15'		TBD	M	,
QA	Quercus agrifolia	Coast Live Oak	36" Box	30'	15'		TBD	VL	Native to San Francisco
TF.	Trachycarpus fortunei	Chinese Windmill Palm		30'	10'		TBD	L	Traction Carring Tarrello
				1				<u></u>	
Shrubs									
J.11 4.50		I				T	T	T	I
Aj	Arctostaphylos 'John Dourley'	John Dourley Manzanita	5 gallon	3'	6'		TBD	VL	California Native Species
7)	/ wolcotaphyloo comi boarroy	Don't Boarloy Manzanta	o ganon				100	V-	Camornia realive opecies
Cg	Ceonothus gloriosus	Point Reyes Ceanothus	5 gallon	1.5'	12'		TBD	VL	California Native Species
CI	Cistus x ladanifer 'Blanche	Rockrose		8'	8'		TBD	VL	Camerna radive opecies
Pb	Phyllostachys bambusoides	Giant Timber Bamboo	5 gallon				TBD	I	Contain roots
Pc .	Pittosporum crassifolium 'Nana'	Dwarf Karo	5 gallon	3'	3'		TBD	M	Contain roots
	1 Ittosporum crassilolium mana	Dwarf Variegated Mock	o gallori	0	0		100	IVI	
Pt	Pittosporum tobira 'Dwarf Variegata'	Orange	5 gallon	2'	2'		TBD	r	
Re	Rhamnus californica 'Eve Case'	Coffeeberry	5 gallon		4'		TBD	i -	Native to San Francisco
ne .	Rhamnus californica 'Mound San	Conceberry	o gallori	7	-		100	-	Ivalive to Gail Francisco
Rm	Bruno'	Coffeeberry	5 gallon	21	8'		TBD	lr .	Native to San Francisco
Га	Trachelospermum asiaticum	Asian Star Jasmine		2'	12'		TBD	M	Native to Sail Halicisco
i a	Tracificiospermani asiaticum	Asian otal basinine	o gallori	12	12		100	IVI	
Poroppialel	Grasses  Succulents Vines								
erenniaisp		Variegated Caribbean			T			Т	Ι
	Agave angustifolia 'Marginata'	Agave	1 gallon	21	4'		TBD	lr .	
aa abf	Agave 'Blue Flame'	Blue Flame Agave		3.	3'		TBD	i	
abe	Aloe 'Blue Elf'	Blue Elf Aloe	1 gallon		1'		TBD	<del> </del>	
abr	Anigozanthos 'Big Red'	Red Kangaroo Paw	1 gallon	4'	2'		TBD	i.	
olj	Bougainvillea 'La Jolla'	La Jolla Bouganvilla	1 gallon		5'		TBD	i i	Shrub Form
onj.	Douganivinea La volla	La solia Boagervilla	1 gallori	-	0		100	-	On ab Form
osd	Bougainvillea 'San Diego Red'	San Diego Red Bouganvilla	1 gallon	30'	10'		TBD	lr .	Vine Form
JSU .	Bougainvillea spectabilis 'White	Can Diego (tea Douganvilla	1 gallori	00	10		100	-	VIII OIIII
osw	Stripe'	White Stripe Bouganvilla	1 gallon	20'	10'		TBD	r.	Vine Form
n	Calamagrostis nutkaensis	Pacific Reed Grass	1 gallon	2'	2'		TBD	M	Native to San Francisco
it	Carex tumulicola	Berkley Sedge	1 gallon	1'	2'		TBD	I	Native to San Francisco
db	Dudleya brittonii	Britton Dudleya	1 gallon	8"	1'		TBD	L	Native to California
	Echeveria 'Afterglow'	Afterglow Echeveria	1 gallon	1'	1'		TBD	-	Ivalive to California
ea	Hesperaloe parviflora	Red Yucca	1 gallon	3'	4'		TBD	VL	
пр		Munstead Lavender		2'	2'		TBD	V L	
a	Lavandula angustifolia 'Munstead'	IVIUTISTEAU LAVETUET	1 gallon	2	2		עפון	<u> </u>	
		6 B-i I 6	4	01	01		TBD	VL	
c	Leymus condensatus 'Canyon Prince'		1 gallon	2'	3'		TBD	V L	
I	Lomandra longifolia 'Breeze'	Lomandra	1 gallon	2'	2'			L.	
saj	Sedum 'Autumn Joy'	Autumn Joy Sedum	1 gallon	1'	2'		TBD	L	
im	Senecio mandraliscae	Blue Chalk Sticks	1 gallon		2'		TBD	L A	
sa .	Sesleria autumnalis	Autumn Moor Grass	1 gallon	1'	3'		TBD	M	
p	Setaria palmifolia	Palm Grass	1 gallon	14.	3	1	טשון	М	

1 SITE PLAN - PLANTING PLAN
A.1003-P Scale: 1" = 30'-0"



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## **SFMTA**

POTRERO YARD MODERNIZATION PROJECT

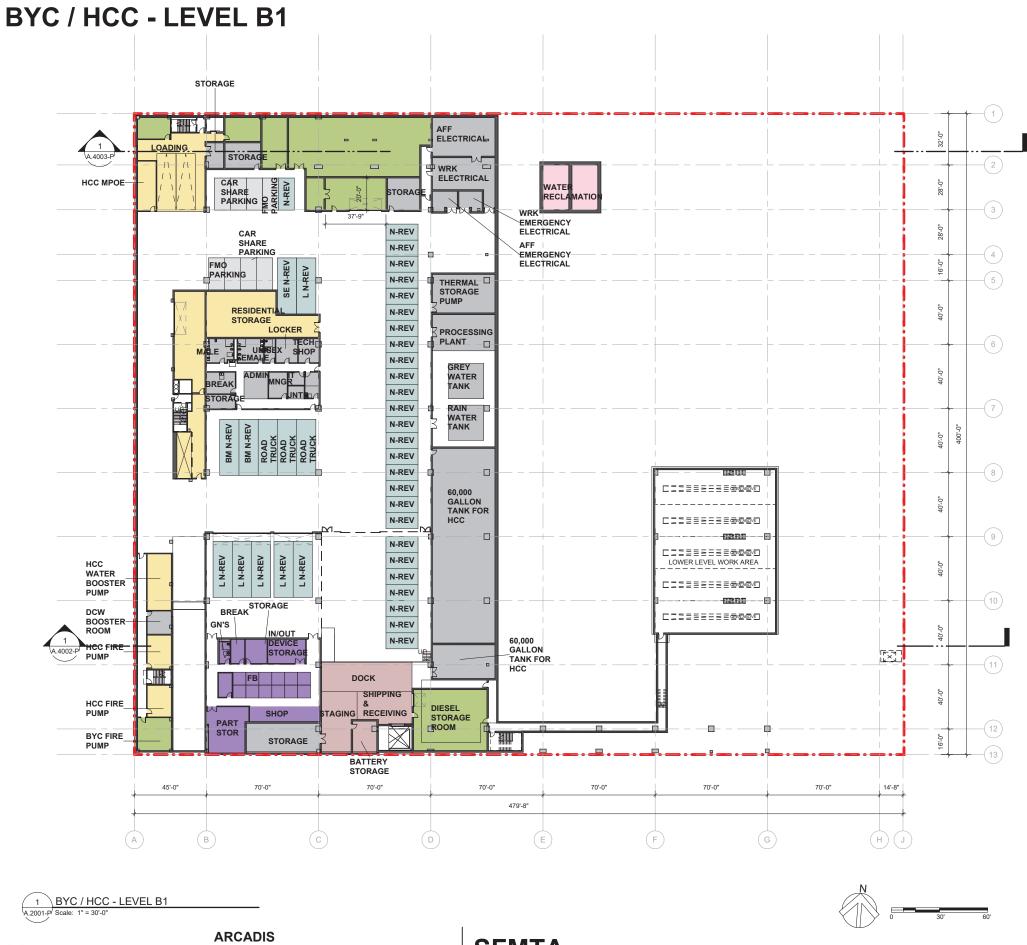
Issue: PRJ

rimeria maritima spp. californica

Date: **2024-01-03** 

Project No: **141440**Scale: **1" = 30'-0"** 

A.1003-P



AREA - BYC / HCC LEVEL B1							
Department	PROGRAM REQUIRED AREA (SF)	PROVIDED	Δ (SF)	%			
01 PARKING	10.440	10.440	0	58%			
04 SERVICE & CLEAN	900	901	1	5%			
09 SHARED	4,750	7,300	2,550	26%			
CAR SHARE PARKING	0	1,000	1,000	0%			
FMO	1,932	2,099	167	11%			
FMO PARKING	0	600	600	0%			
HCC BOH/CIRCULATION	0	6,389	6,389	0%			
HCC/BYC MEP	0	10,714	10,714	0%			
UNASSIGNED	0	915	915	0%			
Grand total	18,022	40,358	22,336	100%			

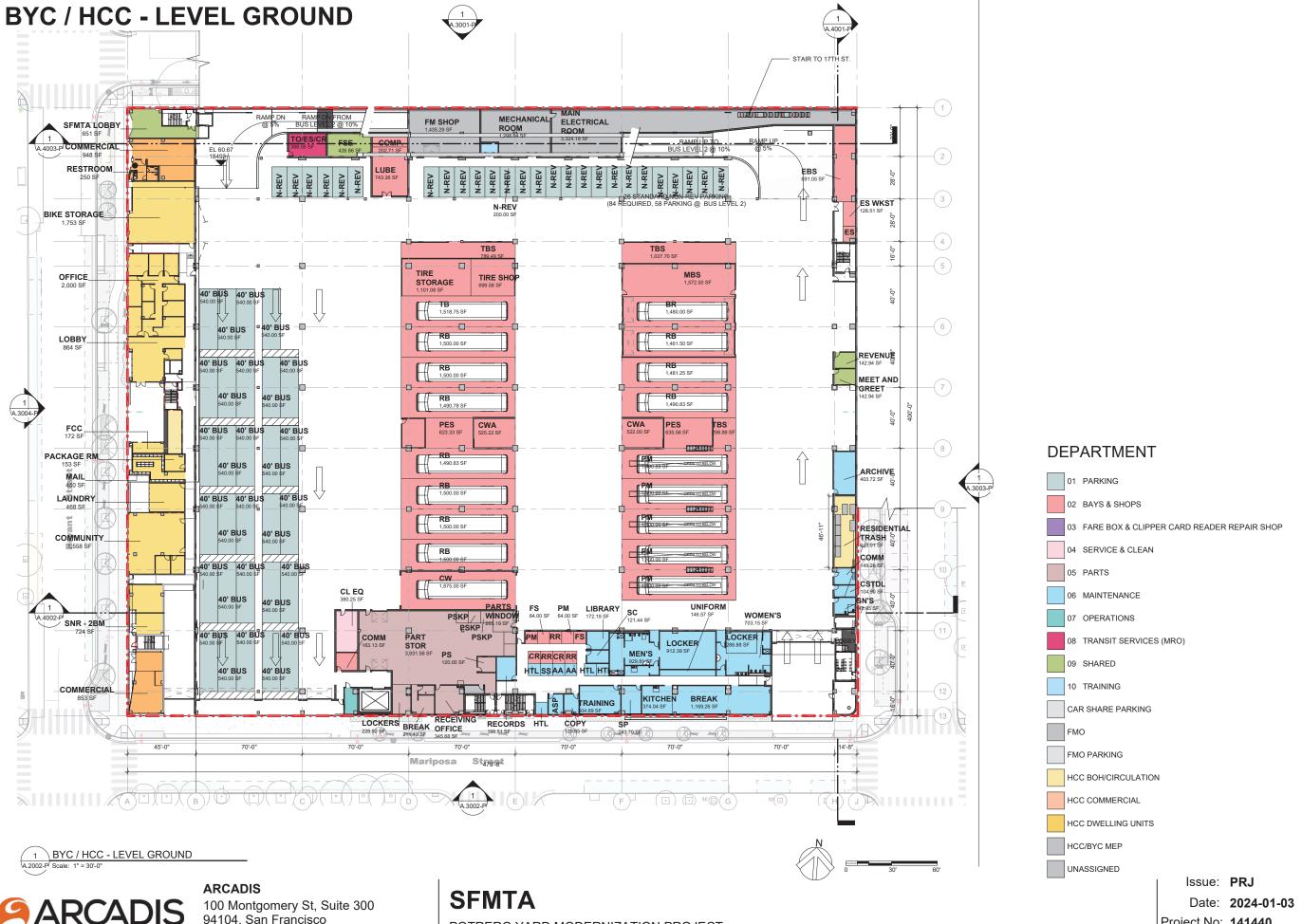
Issue: PRJ

Date: 2024-01-03

Scale: 1" = 30'-0"

Project No: **141440** 

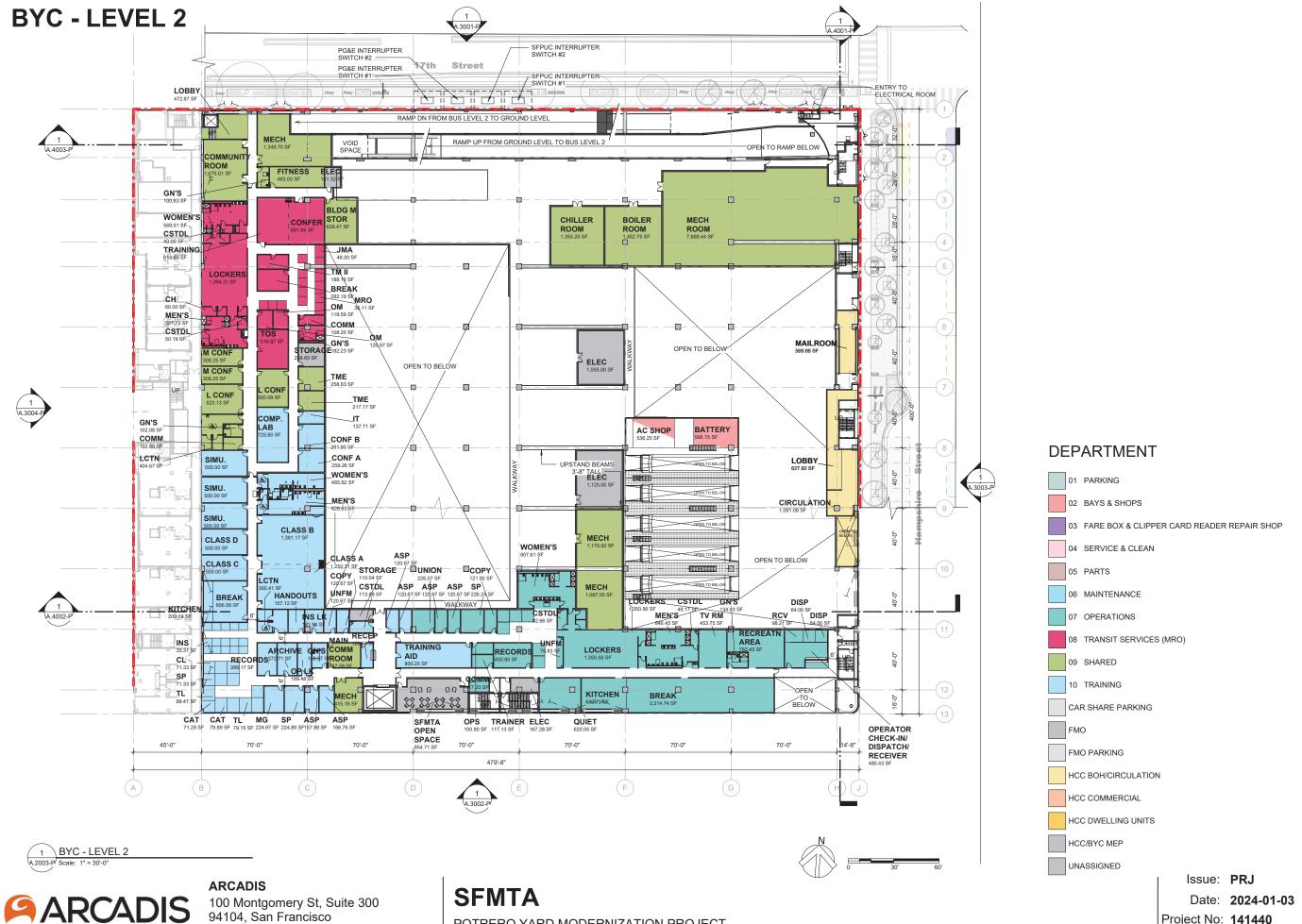
A.2001-P



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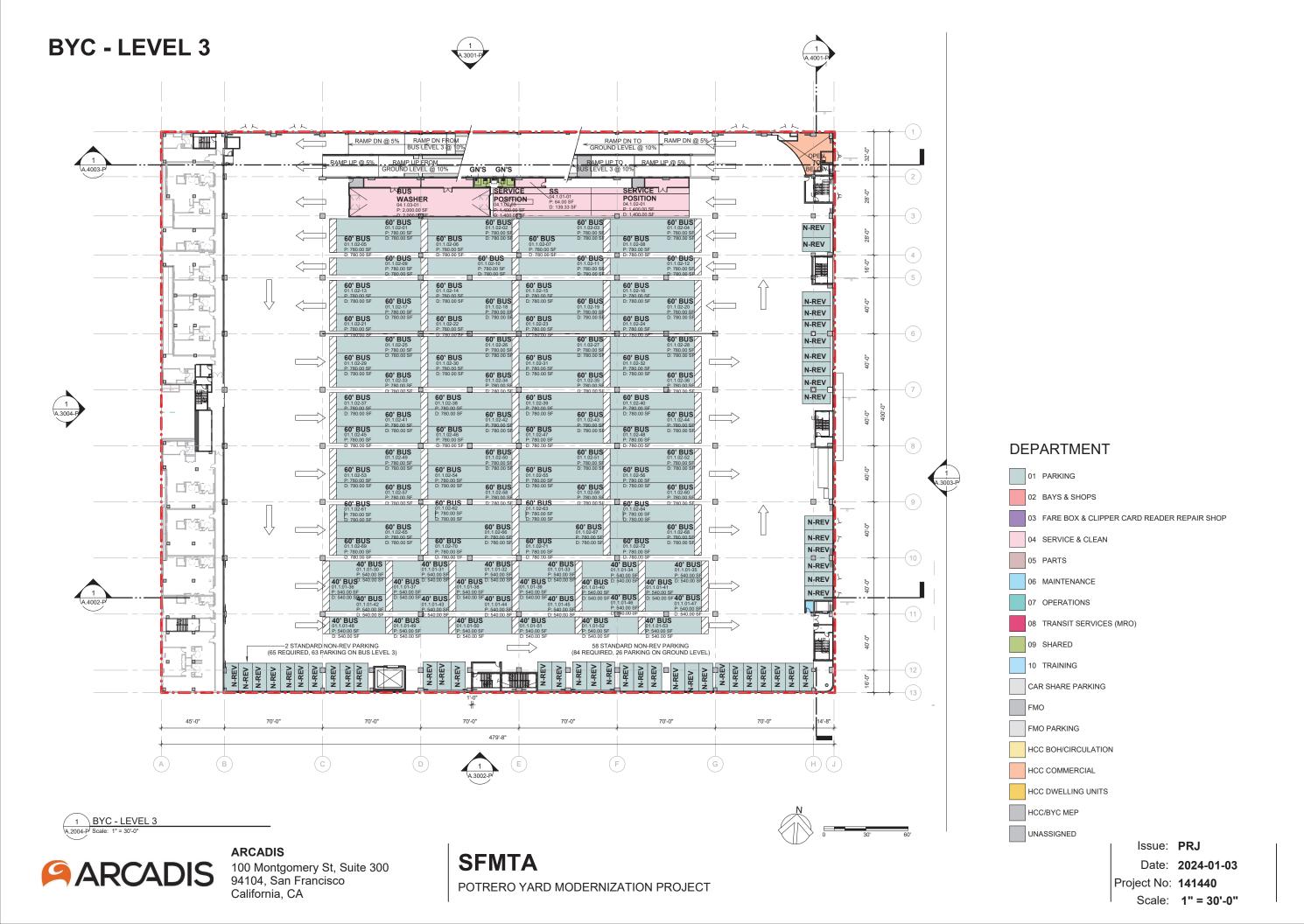
Project No: **141440** Scale: 1" = 30'-0" A.2002-P



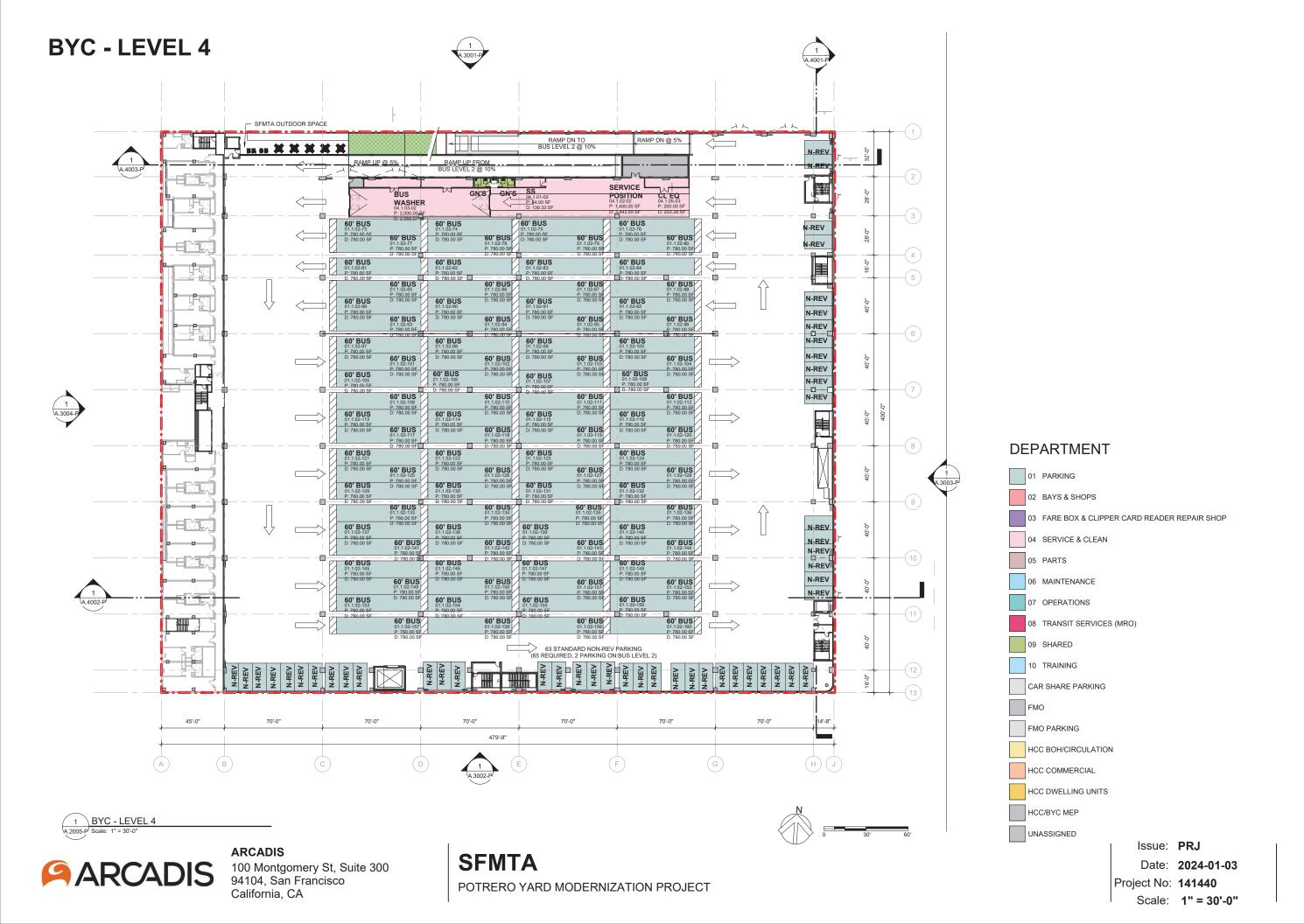
California, CA

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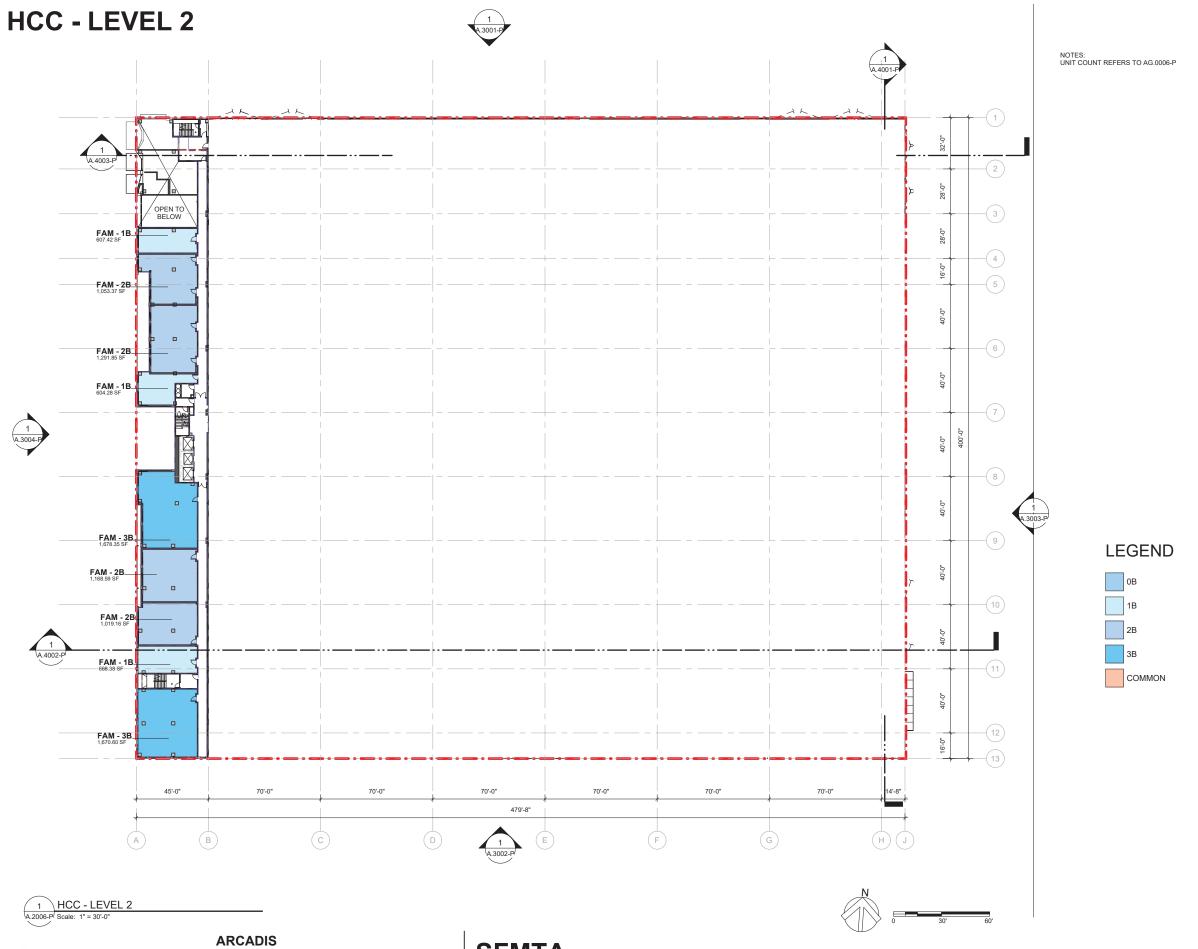
Project No: **141440** Scale: 1" = 30'-0" A.2003-P



A.2004-P



A.2005-P



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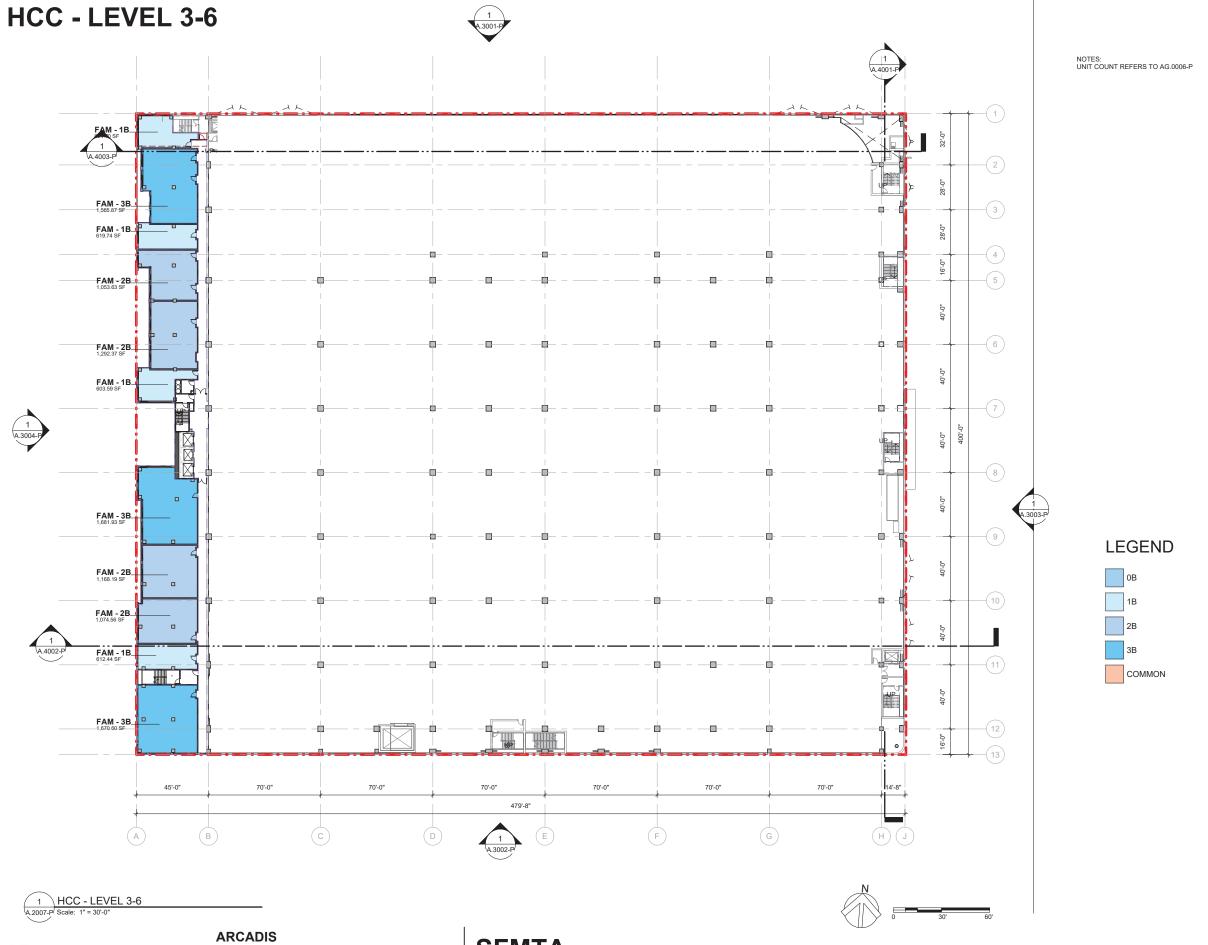
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Issue: PRJ

Date: 2024-01-03

Project No: **141440** 

A.2006-P Scale: 1" = 30'-0"



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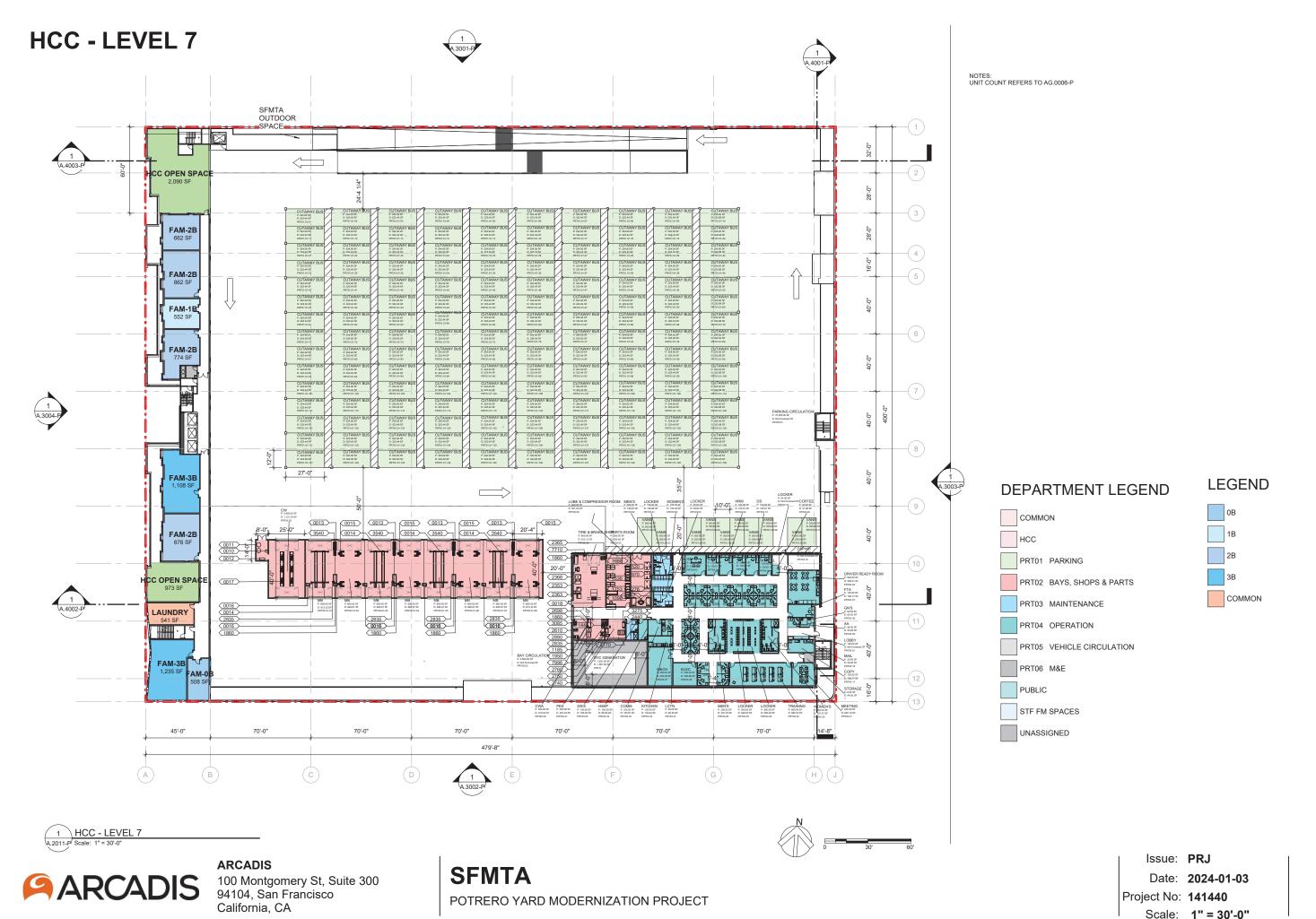
Issue: PRJ

Date: 2024-01-03

Project No: **141440** 

Scale: 1" = 30'-0"

A.2007-P



A.2011-P



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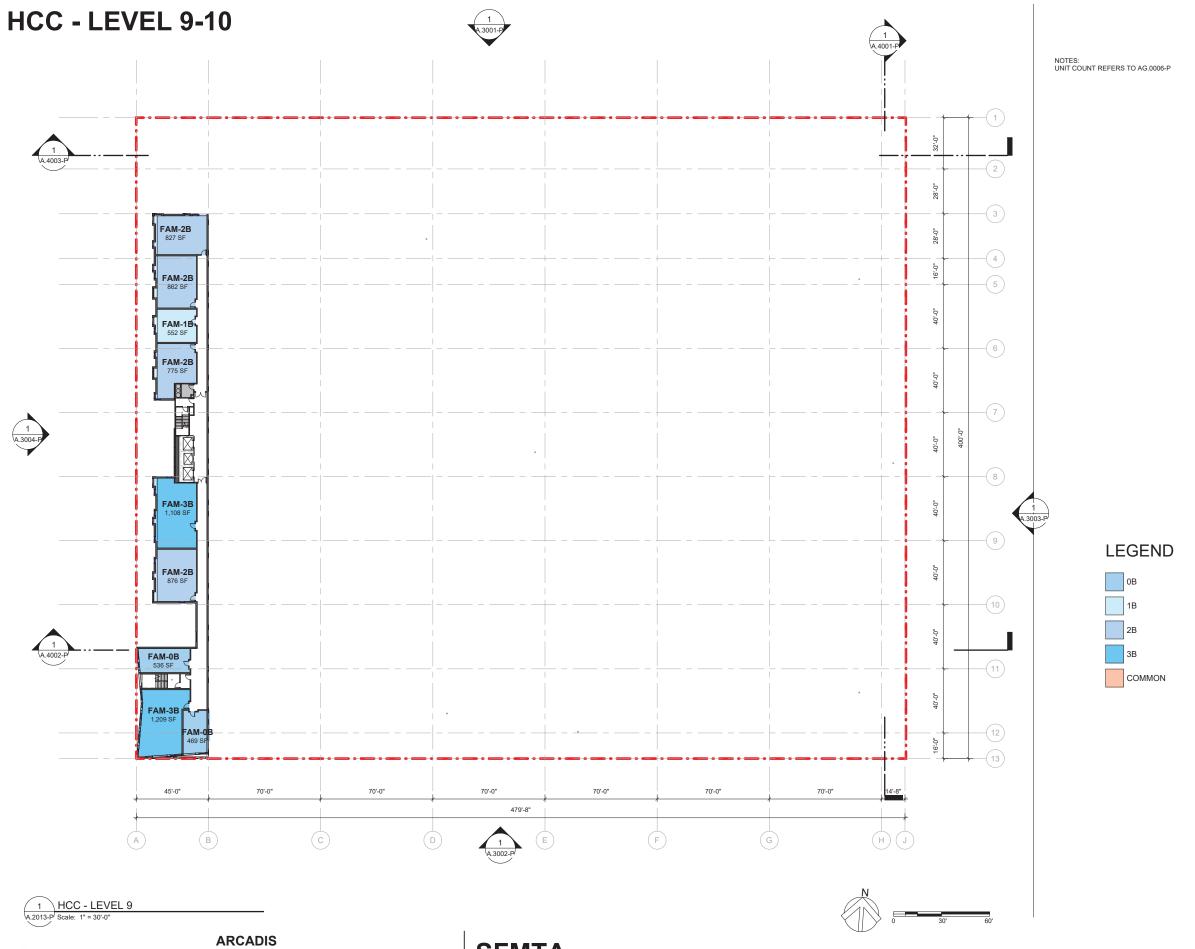
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Issue: PRJ

Date: 2024-01-03

Project No: **141440** 

A.2012-P Scale: 1" = 30'-0"



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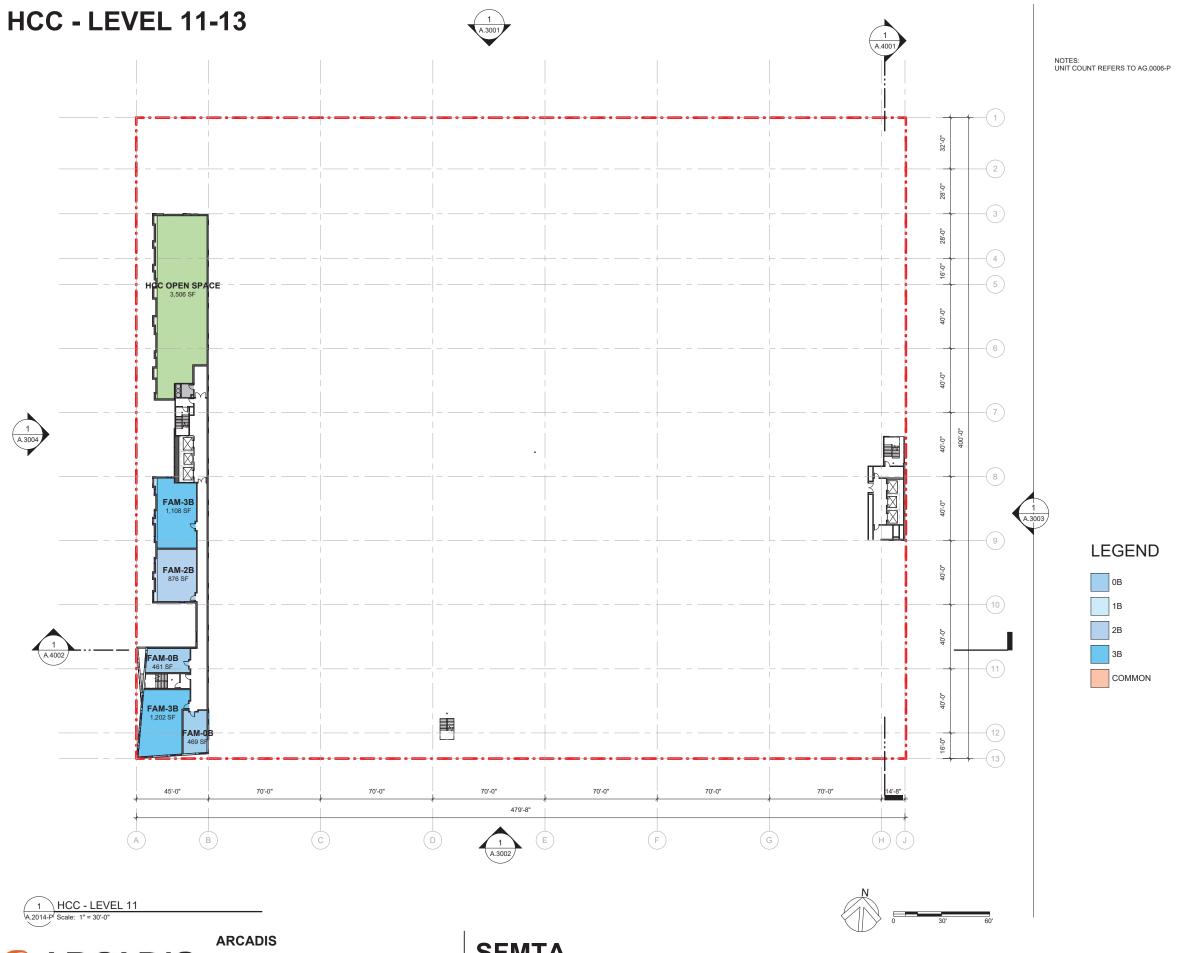
Issue: PRJ

Date: 2024-01-03

Scale: 1" = 30'-0"

Project No: **141440** 

A.2013-P



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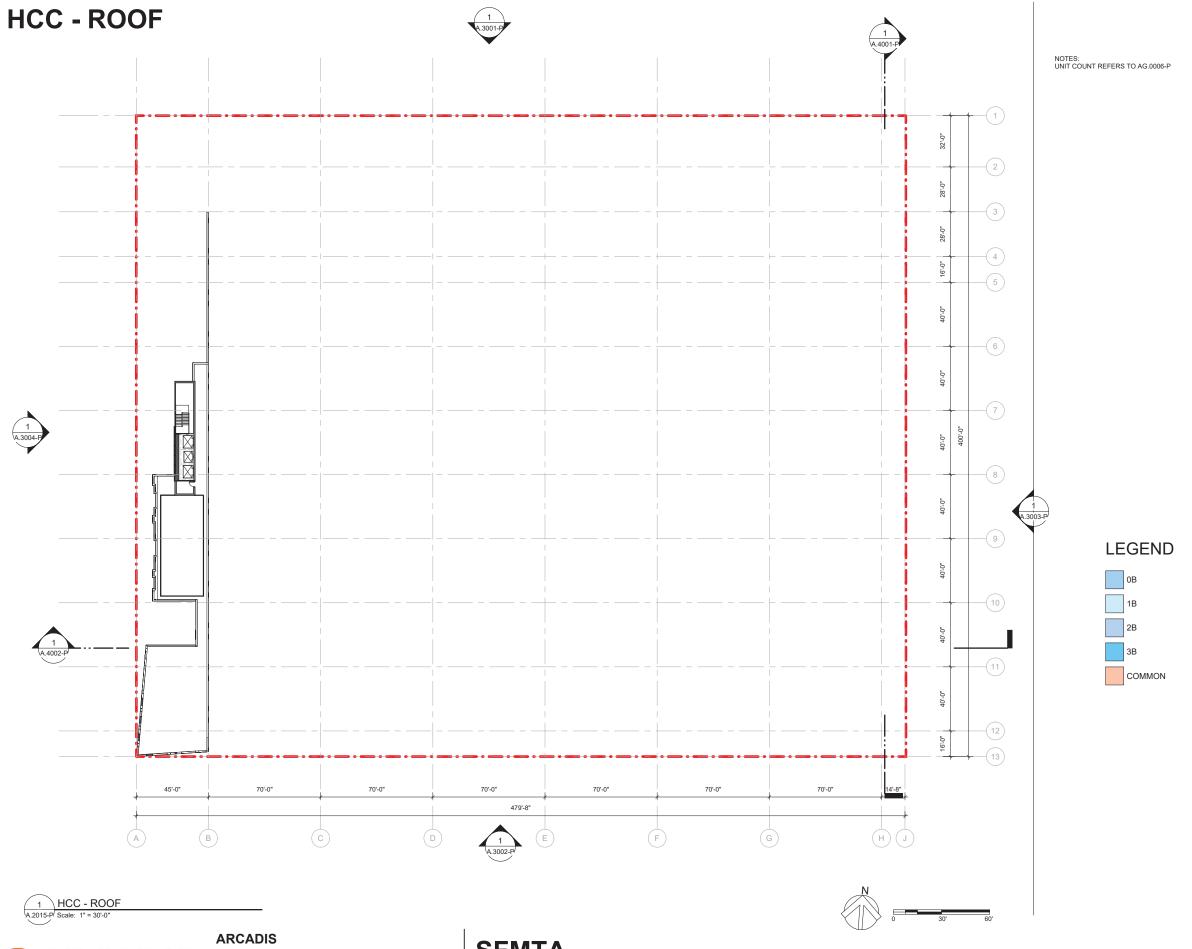
Issue: PRJ

Date: 2024-01-03

Scale: 1" = 30'-0"

Project No: **141440** 

A.2014-P



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Issue: PRJ

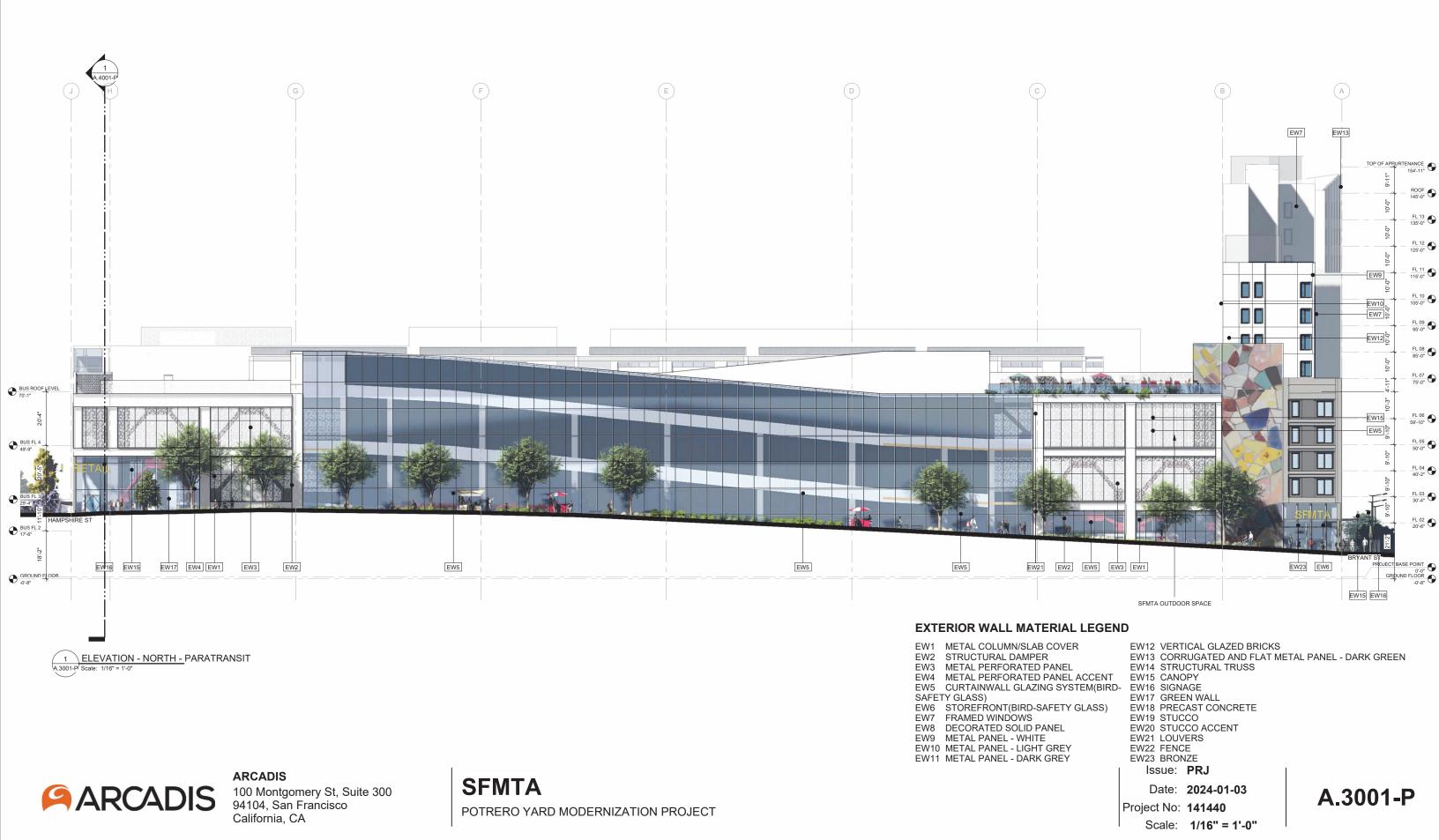
Date: 2024-01-03

Project No: 141440

Scale: 1" = 30'-0"

A.2015-P

## **BUILDING ELEVATIONS**



## **BUILDING ELEVATIONS**







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POTRERO YARD MODERNIZATION PROJECT

EW1 METAL COLUMN/SLAB COVER EW12 VERTICAL GLAZED BRICKS EW2 STRUCTURAL DAMPER EW13 CORRUGATED AND FLAT METAL PANEL - DARK GREEN EW3 METAL PERFORATED PANEL EW4 METAL PERFORATED PANEL ACCENT EW14 STRUCTURAL TRUSS EW15 CANOPY EW5 CURTAINWALL GLAZING SYSTEM(BIRD-EW16 SIGNAGE EW17 GREEN WALL

SAFETY GLASS)

EW6 STOREFRONT(BIRD-SAFETY GLASS)

EW7 FRAMED WINDOWS EW8 DECORATED SOLID PANEL

EW9 METAL PANEL - WHITE EW10 METAL PANEL - LIGHT GREY

EW11 METAL PANEL - DARK GREY

EW22 FENCE EW23 BRONZE

Issue: PRJ

EW20 STUCCO ACCENT

EW19 STUCCO

EW21 LOUVERS

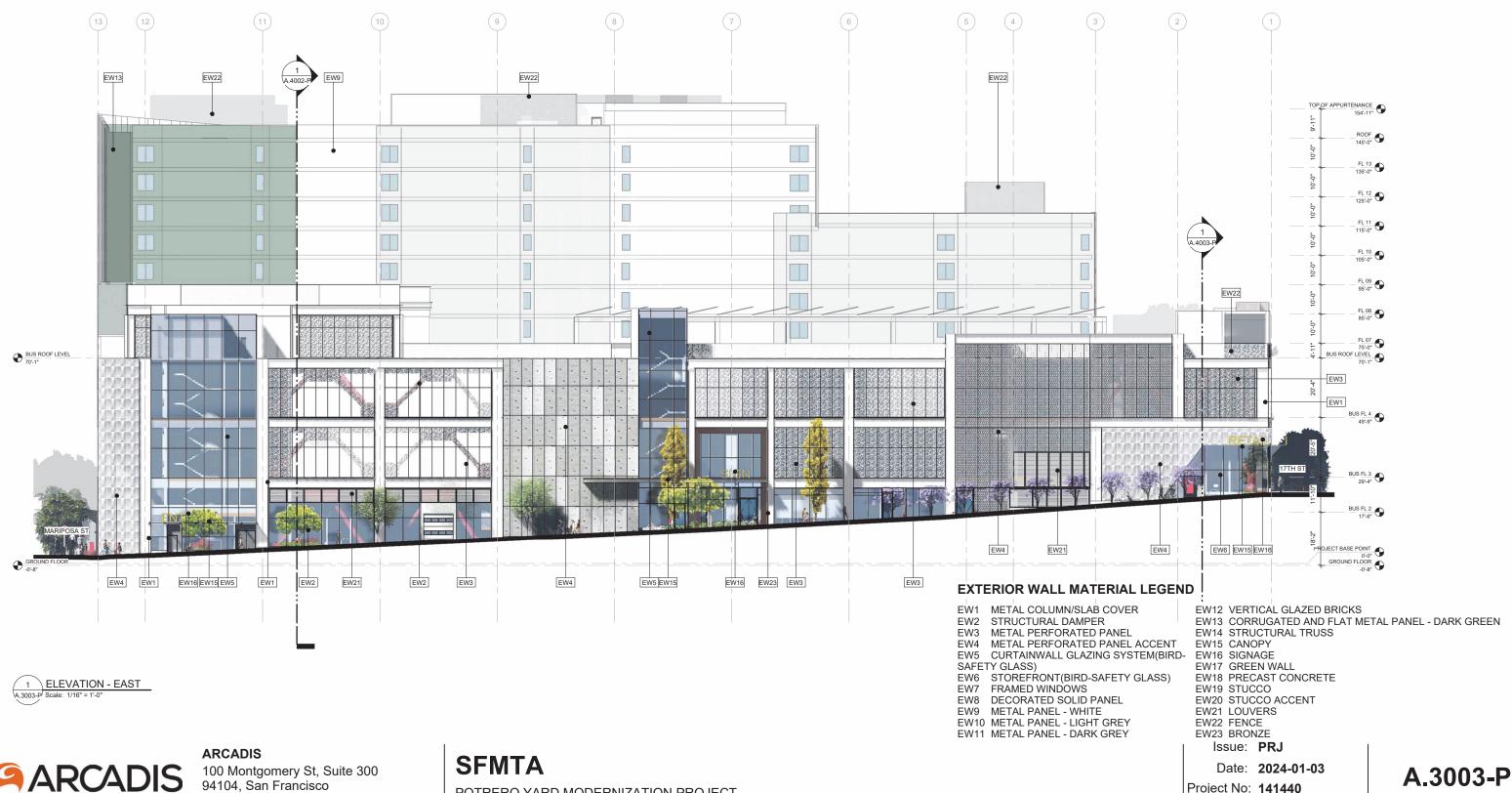
EW18 PRECAST CONCRETE

Date: 2024-01-03 Project No: **141440** 

Scale: 1/16" = 1'-0"

A.3002-P

### **BUILDING ELEVATIONS**





California, CA

POTRERO YARD MODERNIZATION PROJECT

Project No: **141440** 

Scale: 1/16" = 1'-0"

### **BUILDING ELEVATIONS**





# **ARCADIS**

#### **ARCADIS**

100 Montgomery St, Suite 300 94104, San Francisco California, CA

### **SFMTA**

POTRERO YARD MODERNIZATION PROJECT

#### **EXTERIOR WALL MATERIAL LEGEND**

EW1 METAL COLUMN/SLAB COVER EW12 VERTICAL GLAZED BRICKS EW2 STRUCTURAL DAMPER EW13 CORRUGATED AND FLAT METAL PANEL - DARK GREEN EW3 METAL PERFORATED PANEL EW14 STRUCTURAL TRUSS EW4 METAL PERFORATED PANEL ACCENT EW5 CURTAINWALL GLAZING SYSTEM(BIRD-SAFETY GLASS) EW6 STOREFRONT(BIRD-SAFETY GLASS) FRAMED WINDOWS EW8 DECORATED SOLID PANEL EW9 METAL PANEL - WHITE

EW10 METAL PANEL - LIGHT GREY EW11 METAL PANEL - DARK GREY

EW15 CANOPY EW16 SIGNAGE

EW17 GREEN WALL EW18 PRECAST CONCRETE EW19 STUCCO

EW20 STUCCO ACCENT **EW21 LOUVERS** EW22 FENCE

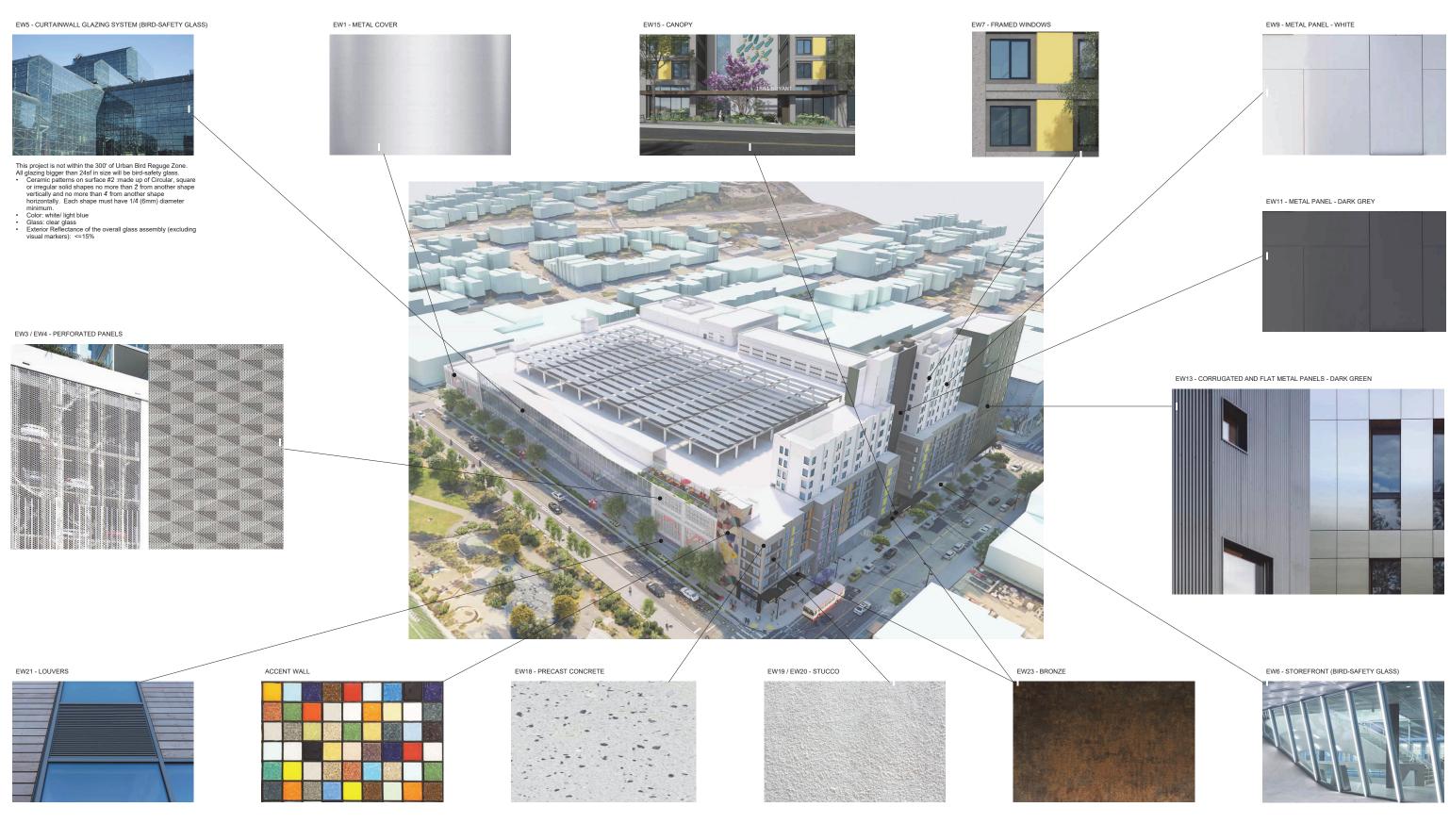
EW23 BRONZE Issue: PRJ

Date: 2024-01-03 Project No: **141440** 

Scale: 1/16" = 1'-0"

A.3004-P

### **MATERIALS**





ARCADIS

100 Montgomery St, Suite 300
94104, San Francisco
California, CA

**SFMTA** 

POTRERO YARD MODERNIZATION PROJECT

Issue: PRJ

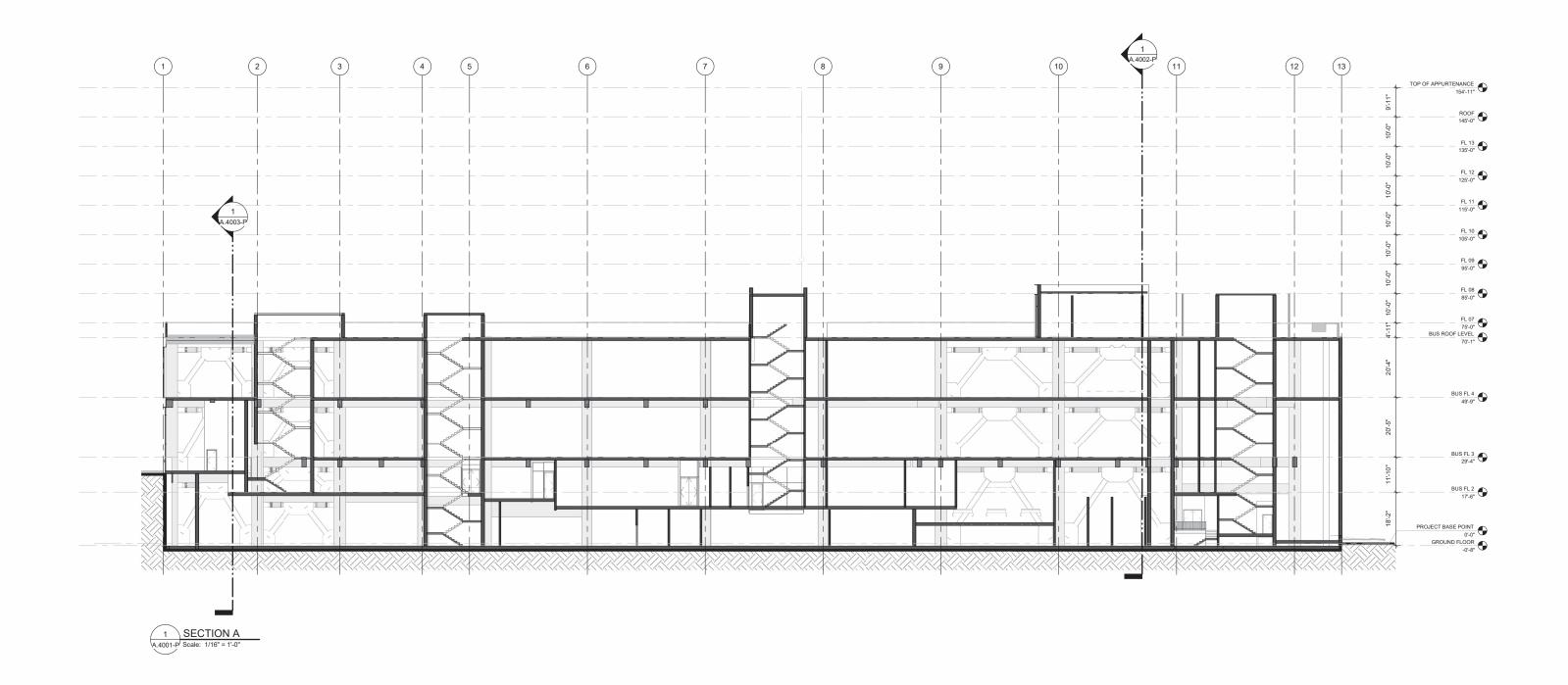
Date: 2024-01-03

Project No: **141440** 

Scale:

A.3005-P

### **BUILDING SECTIONS**





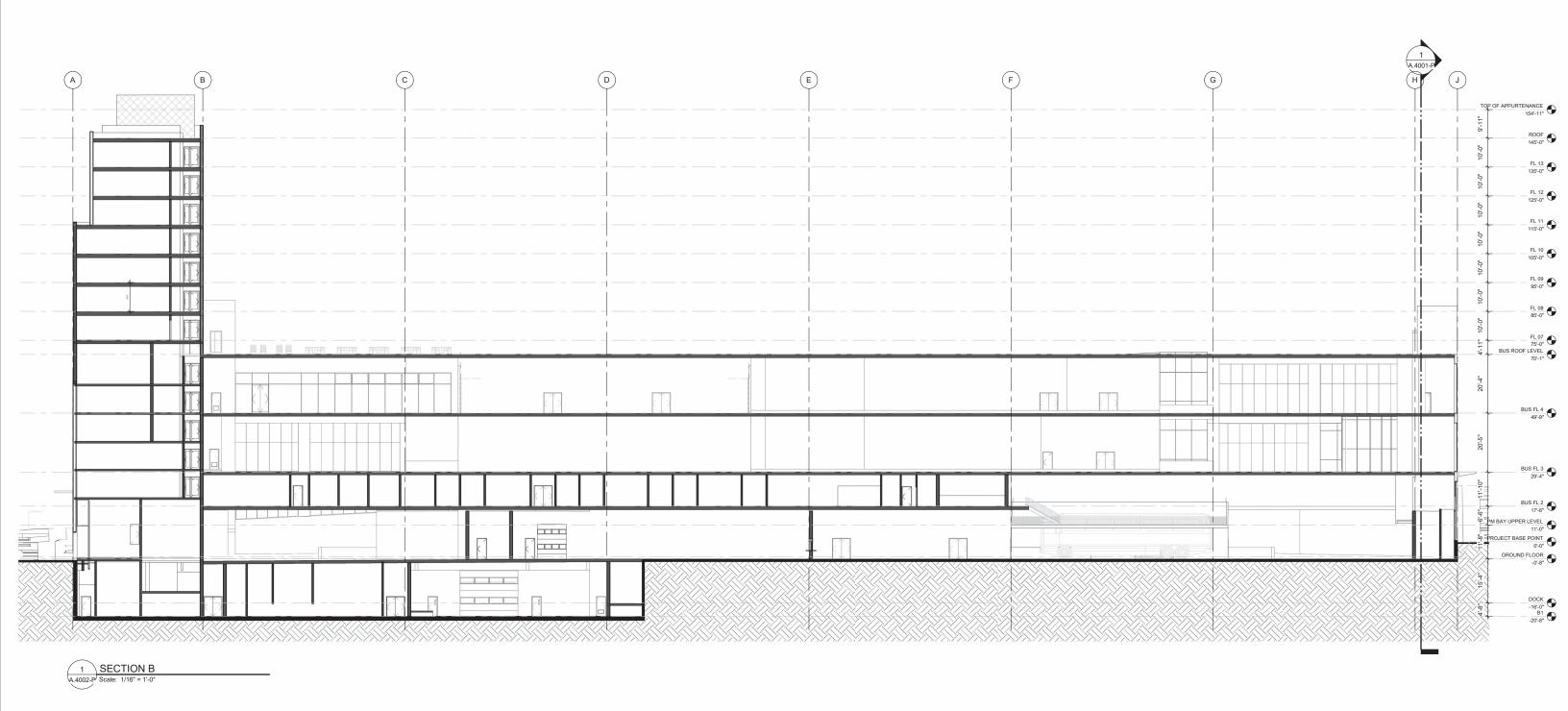
Issue: PRJ

Date: **2024-01-03** Project No: **141440** 

Scale: 1/16" = 1'-0"

A.4001-P

### **BUILDING SECTIONS**





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**SFMTA** 

POTRERO YARD MODERNIZATION PROJECT

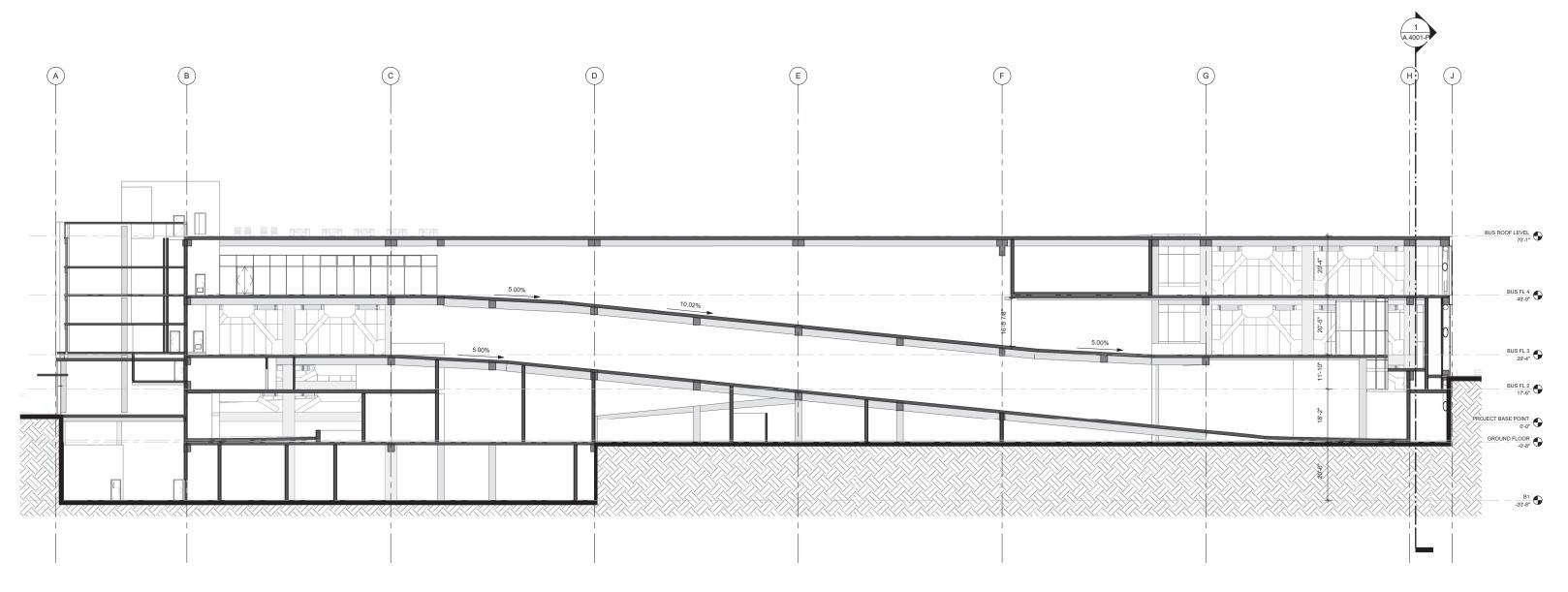
Issue: PRJ

Date: **2024-01-03**Project No: **141440** 

Scale: 1/16" = 1'-0"

A.4002-P

### **BUS RAMP SECTIONS**



SECTION C - BUS RAMP - PRJ

A.4003-P Scale: 1/16" = 1'-0"



Issue: PRJ

Date: **2024-01-03** Project No: **141440** 

Scale: 1/16" = 1'-0"

A.4003-P

### **AERIAL VIEW**





**SFMTA** 

POTRERO YARD MODERNIZATION PROJECT

Issue: PRJ

Date: 2024-01-03

Project No: **141440** 

Scale:

### **STREET VIEW - 17TH ST**





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California, CA

# **SFMTA**

POTRERO YARD MODERNIZATION PROJECT

Issue: PRJ

Date: 2024-01-03

Project No: **141440** 

Scale:

A.9003-P

### **STREET VIEW - BRYANT ST**





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94104, San Francisco
California, CA

### SFMTA

POTRERO YARD MODERNIZATION PROJECT

Issue: **PRJ**Date: **2024-01-03** 

Project No: **141440** 

oject No: **14144(** Scale: A.9004-P

### **STREET VIEW - MARIPOSA ST**





ARCADIS
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94104, San Francisco
California, CA

# SFMTA

POTRERO YARD MODERNIZATION PROJECT

Issue: **PRJ**Date: **2024-01-03** 

Project No: **141440** 

Scale:

A.9005-P

### **STREET VIEW - HAMPSHIRE ST**





ARCADIS

100 Montgomery St, Suite 300
94104, San Francisco
California, CA

# **SFMTA**

POTRERO YARD MODERNIZATION PROJECT

Issue: PRJ Date: 2024-01-03

Project No: **141440** 

Scale:

A.9006-P

# **Exhibit C**



# MITIGATION MONITORING AND REPORTING PROGRAM: MITIGATION, IMPROVEMENT & PUBLIC WORKS STANDARD CONSTRUCTION MEASURES

Record No.: Case No. 2019-021884ENV

Block/Lot: 3971/001

Project Title:

SFMTA Potrero Yard Modernization Project

Lot Size: 4.4 acres

BPA Nos: Submittal pending Zoning: Public (P) Use District

Project Sponsor: Chris Lazaro, SFMTA, (415) 549-6572

Lead Agency: San Francisco Planning Department

65-X Height and Bulk District

Staff Contact: Jen

Jennifer McKellar, Planning - (628) 652-7563

Tables 1 and 3 below indicate when compliance with each mitigation and improvement measure must occur. Some mitigation and improvement measures span multiple phases. Substantive descriptions of each mitigation measure's requirements are provided on the following pages in the Mitigation Monitoring and Reporting Program. The San Francisco Municipal Transportation Agency (SFMTA) is the project sponsor and property owner of the project site at 2500 Mariposa Street (Potrero Yard). Together the SFMTA and a private project co-sponsor (developer) are referenced below as the project sponsor team. In addition, pursuant to the May 11, 2023, memorandum regarding Public Works' Authority for project delivery of the Potrero Yard Project and the May 31, 2020, attachment referenced therein, San Francisco Public Works assumes responsibility for environmental compliance, including applicable Standard Construction Measures in Tables 2 and 6 below

**Period of Compliance** 

			<del>-</del>	
Table 1: Adopted Mitigation Measure	Prior to the start of Construction*	During Construction**	Post- Construction or Operational	Compliance with MM completed?
Mitigation Measure M-CR-1a: Documentation of Historical Resource	Х			
Mitigation Measure M-CR-1b: Salvage Plan	Χ			
Mitigation Measure M-CR-1c: Interpretation of the Historical Resource	Χ			
Mitigation Measure M-CR-1d: Oral Histories	Χ			
Mitigation Measure M-TCR-1: Tribal Cultural Resources Preservation and/or Interpretive Program	X	X	X	
Mitigation Measure M-NO-1: Construction Noise Control	Χ	X		
Mitigation Measure M-NO-2: Vibration-Sensitive Equipment at 2601 Mariposa Street (KQED Building)	X	Х		
Mitigation Measure NO-3: Fixed Mechanical Equipment Noise Control for Building Operations	X		X	



Mitigation Measure M-AQ-1: Off-Road Construction Equipment Emissions Minimization	X	Х		
Mitigation Measure M-AQ-3: Emergency Diesel Generator Health Risk Reduction Plan	X		Х	
Mitigation Measure M-WI-1: Design Measures to Reduce Project-Specific Wind Impacts	Х			
Mitigation Measure M-GE-6a: Inadvertent Discovery of Paleontological Resources	Х	X		
Mitigation Measure M-GE-6b: Preconstruction Paleontological Evaluation for Class 3 (Moderate) Paleontological Sensitivity Sediments during Construction	X	Х		

<sup>\*</sup>Prior to any ground disturbing activities at the project site.

#### **Period of Compliance**

Table 2: Adopted Public Works Standard Construction Measure	Prior to the start of Construction*	During Construction**	Post- Construction or Operational	Compliance with SCM completed?
SCM #1: SEISMIC AND GEOTECHNICAL STUDIES	Х	X		
SCM #2: AIR QUALITY	X	X		
SCM #3: WATER QUALITY	X	X		
SCM #4: TRAFFIC	X	X		
SCM #5: NOISE	X	X		
SCM #6: HAZARDOUS MATERIALS	X	X		
SCM #7: BIOLOGICAL RESOURCES	X	X		
SCM #8: VISUAL AND AESTHETIC CONSIDERATIONS, PROJECT SITE	X	X		
SCM #9: CULTURAL RESOURCES	X	X		

<sup>\*</sup>Prior to any ground disturbing activities at the project site.

(Continues on next page)

<sup>\*\*</sup>Construction is broadly defined to include any physical activities associated with construction of a development project including, but not limited to: site preparation, clearing, demolition, excavation, shoring, foundation installation, and building construction.

<sup>\*\*</sup>Construction is broadly defined to include any physical activities associated with construction of a development project including, but not limited to: site preparation, clearing, demolition, excavation, shoring, foundation installation, and building construction.



**Period of Compliance** 

Table 3: Adopted Improvement Measure	Prior to the start of Construction*	During Construction**	Post- Construction or Operational	Compliance with Improvement Measure completed?
Improvement Measure I-TR-A: Construction Management Plan – Additional Measures	X	X		
Improvement Measure I-TR-B: Driveway and Loading Operations Plan (DLOP)			X	

<sup>\*</sup>Prior to any ground disturbing activities at the project site.

#### **Signatures:**

$\mathcal{C}\mathcal{Q}$   agree to implement the attached mitigation	measure(s) and standard construction measures as described herein as conditions of project appro	oval.
	December 22, 2023	
Private Project Co-Sponsor (Developer)	Date	

Note to project sponsor team: Please contact <a href="mailto:CPC.EnvironmentalMonitoring@sfgov.org">CPC.EnvironmentalMonitoring@sfgov.org</a> to begin the environmental monitoring process prior to the submittal of your building permits to the San Francisco Department Building Inspection.

(Continues on next page)

<sup>\*\*</sup>Construction is broadly defined to include any physical activities associated with construction of a development project including, but not limited to: site preparation, clearing, demolition, excavation, shoring, foundation installation, and building construction.



### MITIGATION MONITORING AND REPORTING PROGRAM

### Table 4: MITIGATION MEASURES FOR THE POTRERO YARD MODERNIZATION PROJECT

MONITORING AND REPORTING PROGRAM <sup>1</sup>					
Adopted Mitigation Measures	Implementation Responsibility	Mitigation Schedule	Monitoring / Reporting Responsibility	Monitoring Actions / Completion Criteria	
MITIGATION MEASURES AGREED TO BY PROJECT SPONSOR TEAM					
HISTORIC ARCHITECTURAL/CULTURAL RESOURCES					
Mitigation Measure M-CR-1a: Documentation of Historical					
Resource (HRER Part II, Mitigation Measure 1)					
Prior to issuance of a demolition permit, the project sponsor team shall undertake Historic American Building/Historic American Landscape Survey-like (HABS/HALS-like) documentation of the building features. The documentation shall be undertaken by a professional who meets the Secretary of the Interior's Professional Qualifications Standards for Architectural History, History, or Architecture (as appropriate) to prepare written and photographic documentation of the Potrero Trolley Coach Division Facility. The specific scope of the documentation shall be reviewed and approved by the Planning Department but shall include the following elements:  Measured Drawings – A set of measured drawings shall be prepared that depict the existing size, scale, and dimension of the historic resource. Planning Department staff will accept the original architectural drawings or an as-built set of architectural drawings (e.g., plans, sections, elevations). Planning Department staff will assist the consultant in determining the appropriate level of measured drawings.  Historic American Buildings/Historic American Landscape Survey-Level Photographs – Either Historic American Buildings/Historic American Landscape Survey (HABS/HALS) standard large-format or digital photography shall be used. The scope of the digital photographs shall be reviewed by Planning Department staff for concurrence, and all digital photography shall be conducted	Project Sponsor Team and qualified consultant, at the direction of the ERO	Prior to issuance of excavation permit or commencement of construction	Planning Department preservation staff shall review and approve the documentation package	Considered complete upor completion of the Planning Department approved documentation provided to the repositories in their preferred format and the print-on-demand booklet is made available to the public, upon request	



	Implementation	- Indiano in the control in the cont	Monitoring / Reporting	Monitoring Actions /
Adopted Mitigation Measures	Responsibility	Mitigation Schedule	Responsibility	Completion Criteria
photography shall be undertaken by a qualified professional with			-	-
demonstrated experience in HABS/HALS photography. Photograph				
views for the data set shall include contextual views; views of each				
side of the building and interior views, including any original interior				
features, where possible; oblique views of the building; and detail				
views of character-defining features. All views shall be referenced on				
a photographic key. This photographic key shall be on a map of the				
property and shall show the photograph number with an arrow to				
indicate the direction of the view. Historic photographs shall also be				
collected, reproduced, and included in the data set.				
HABS/HALS Historical Report – A written historical narrative and				
report shall be provided in accordance with the HABS/HALS				
Historical Report Guidelines. The written history shall follow an				
outline format that begins with a statement of significance				
supported by the development of the architectural and historical				
context in which the structure was built and subsequently evolved.				
The report shall also include architectural description and				
bibliographic information.				
Video Recordation (HRER Part II, Mitigation Measure 3) – Video				
recordation shall be undertaken before demolition or site permits				
are issued. The project sponsor team shall undertake video				
documentation of the affected historical resource and its setting.				
The documentation shall be conducted by a professional				
videographer, one with experience recording architectural				
resources. The documentation shall be narrated by a qualified				
professional who meets the standards for history, architectural				
history, or architecture (as appropriate) set forth by the Secretary of				
the Interior's Professional Qualification Standards (36 Code of				
Federal Regulations Part 61). The documentation shall include as				
much information as possible—using visuals in combination with				
narration—about the materials, construction methods, current				
condition, historic use, and historic context of the historical				
resource. This mitigation measure would supplement the				



	Implementation		Monitoring / Reporting	Monitoring Actions /
Adopted Mitigation Measures	Responsibility	Mitigation Schedule	Responsibility	Completion Criteria
traditional HABS/HALS documentation, and would enhance the				
collection of reference materials that would be available to the				
public and inform future research.				
Softcover Book – A Print-on-Demand softcover book shall be				
produced that includes the content from the historical report,				
historical photographs, HABS/HALS photography, measured				
drawings, and field notes. The Print-on-Demand book shall be				
made available to the public for distribution. The project sponsor				
team shall transmit such documentation to the History Room of the				
San Francisco Public Library, San Francisco Architectural Heritage,				
the Planning Department, and the Northwest Information Center.				
The HABS/HALS documentation scope will determine the				
requested documentation type for each facility, and the project				
sponsor team will conduct outreach to identify other interested				
groups. All documentation will be reviewed and approved by the				
Planning Department's staff before any demolition or site permit is				
granted for the affected historical resource.				
Mitigation Measure M-CR-1b: Salvage Plan (HRER Part II, Mitigation				
Measure 2)				
Prior to any demolition that would remove character-defining	Project Sponsor	Prior to issuance of	Planning Department	Considered compete after
features, the project sponsor team shall consult with the planning	Team/qualified preservation	construction permits		salvage occur and interpretive program is
department as to whether any such features may be salvaged, in	consultant at the			complete
whole or in part, during demolition/alteration. The project sponsor	direction of the			
team shall make a good faith effort to salvage materials of historical	ERO			
interest to be utilized as part of the interpretative program.				
Mitigation Measure M-CR-1c: Interpretation of the Historical				
Resource (HRER Part II, Mitigation Measure 4)				
The project sponsor team shall facilitate the development of an	Project Sponsor	Prior to issuance of	Planning Department	Considered complete upon
interpretive program focused on the history of the project site. The	Team,	excavation permit or	preservation staff shall review	the Planning Department's
interpretive program should be developed and implemented by a	construction contractors, and	commencement of construction	and approve the interpretive program plan	approval and the Project Sponsor Team's
qualified professional with demonstrated experience in displaying	qualified	CONSTRUCTION	Program Plan	implementation of the
information and graphics to the public in a visually interesting	consultant, at the			interpretive program plan



		MONITORING	AND REPORTING PROGRAM	
Adopted Mitigation Measures	Implementation	Mitigation Schedule	Monitoring / Reporting	Monitoring Actions /
manner, such as a museum or exhibit curator. This program shall be initially outlined in a proposal for an interpretive plan subject to review and approval by Planning Department staff. The proposal shall include the proposed format and the publicly-accessible location of the interpretive content, as well as high-quality graphics and written narratives. The proposal prepared by the qualified consultant describing the general parameters of the interpretive program shall be approved by Planning Department staff prior to issuance of the architectural addendum to the site permit. The detailed content, media, and other characteristics of such an interpretive program shall be approved by Planning Department	Responsibility direction of the ERO	Mitigation Schedule	Responsibility	Completion Criteria
staff prior to issuance of a Temporary Certificate of Occupancy.  The interpretative program shall include but not be limited to the installation of permanent on-site interpretive displays or screens in publicly accessible locations. Historical photographs, including some of the large-format photographs required by Mitigation Measure M-CR-1a, may be used to illustrate the site's history. The oral history program required by Mitigation Measure M-CR-1d will also inform the interpretative program.				
The primary goal is to educate visitors and future residents about the property's historical themes, associations, and lost contributing features within broader historical, social, and physical landscape contexts. These themes would include but not be limited to the subject property's historic significance for its association with the earliest years of San Francisco's Municipal Railway, the United States' first publicly owned street railway and for its distinctive characteristics as a car barn, for its post-Earthquake period of construction, and as the work of master Michael M. O'Shaughnessy.				
Mitigation Measure M-CR-1d: Oral Histories (HRER Part II, Mitigation Measure 5)				



			AND REPORTING PROGRAM	
Adopted Mitigation Measures	Implementation Responsibility	Mitigation Schedule	Monitoring / Reporting Responsibility	Monitoring Actions / Completion Criteria
The project sponsor team shall undertake an oral history project on the resource that may include interviews of people such as former SFMTA employees, or other community members who may offer informative historic perspectives on the history and significance of the resource. The project shall be conducted by a professional historian in conformance with the Oral History Association's Principles and Best Practices (https://www.oralhistory.org/principles-and-best-practices-revised-2018/). In addition to transcripts of the interviews, the oral history project shall include a narrative project summary report containing an introduction to the project, a methodology description, and brief summaries of each conducted interview. Copies of the completed oral history project shall be submitted to the San Francisco Public Library, Planning Department, and other interested historical institutions. The oral history project shall also be incorporated into the interpretative program.	Project Sponsor Team and qualified consultant, at the direction of the ERO	Prior to issuance of excavation permit or commencement of construction	Planning Department preservation staff shall review and approve the documentation package	Considered complete upon the Planning Department's approval and the Project Sponsor Team's implementation of the interpretive program plan
Mitigation Measure M-TCR-1: Tribal Cultural Resources Preservation and/or Interpretive Program				
During ground-disturbing activities that encounter archeological resources, if the Environmental Review Officer (ERO) determines that a significant archeological resource is present, and if in consultation with the affiliated Native American tribal representatives, the ERO determines that the resource constitutes a tribal cultural resource (TCR) and that the resource could be adversely affected by the proposed project, the proposed project shall be redesigned so as to avoid any adverse effect on the significant tribal cultural resource, if feasible.  If the ERO, in consultation with the project sponsor, determines that preservation-in-place of the TCR would be both feasible and effective, then the archeological consultant shall prepare an archeological resource preservation plan (ARPP). Implementation of	Project Sponsor Team, construction contractors, and qualified consultant, at the direction of the ERO	Consultation and planning starting upon discovery of a potential TCR during archeological testing or during construction excavations; interpretive program to be implemented prior to issuance of building occupancy permit	Environmental Review Officer (ERO) or designee	In the event of the discovery of a TCR, considered complete after implementation of the Planning Department approved interpretation program



	Implementation		Monitoring / Reporting	Monitoring Actions /
the approved ARPP by the archeological consultant shall be required when feasible.	Responsibility	Mitigation Schedule	Responsibility	Completion Criteria
If the ERO, in consultation with the affiliated Native American tribal representatives and the project sponsor, determines that preservation-in-place of the TCR is not a sufficient or feasible option, then the project sponsor shall implement an interpretive program of the TCR in consultation with affiliated Native American tribal representatives. An interpretive plan produced in consultation with affiliated Native American tribal representatives, at a minimum, and approved by the ERO, would be required to guide the interpretive program. The plan shall identify proposed locations for installations or displays, the proposed content and materials of those displays or installation, the producers or artists of the displays or installation, and a long-term maintenance program. The interpretive program may include artist installations, preferably by local Native American artists, oral histories with local Native Americans, artifacts displays and interpretation, and educational panels or other informational displays.				
NOISE				
Mitigation Measure M-NO-1: Construction Noise Control				
The SFMTA and private project co-sponsor and/or its contractors on SFMTA's behalf (referred to below as project sponsor team) shall prepare construction noise control documentation as detailed below. Prior to issuance of any demolition or building permit, the project sponsor team shall submit a project-specific construction noise control plan to the Environmental Review Officer (ERO) or the ERO's designee for approval. The construction noise control plan shall be prepared by a qualified acoustical engineer, with input from the construction contractor, and include all feasible measures to reduce construction noise. The construction noise control plan shall identify noise control measures to meet a performance target of	Project Sponsor Team, construction contractors, acoustical engineer	Prior to the issuance of construction permits; prior to the commencement of each construction stage; implementation of monitoring ongoing during construction	Environmental review officer or designee in Planning Department, Project Sponsor Team	Noise control plan approved by ERO/Planning Department prior to construction and considered complete upon submission of a noise monitoring report after each construction phase and completion of construction activities



Adopted Mitigation Measures	Implementation Responsibility	Mitigation Schedule	Monitoring / Reporting Responsibility	Monitoring Actions / Completion Criteria
construction activities not resulting in a noise level greater than			Responsibility	
90 dBA at noise-sensitive receptors and 10 dBA above the ambient				
noise level at noise-sensitive receptors. The project sponsor team				
shall ensure that requirements of the construction noise control				
plan are included in contract specifications. If nighttime				
construction is required, the plan shall include specific measures to				
reduce nighttime construction noise. The plan shall also include				
measures for notifying the public of construction activities,				
complaint procedures, and a plan for monitoring construction noise				
levels in the event complaints are received. The construction noise				
control plan shall include the following measures to the degree				
feasible, or other effective measures, to reduce construction noise				
levels:				
<ul> <li>Use construction equipment that is in good working order, and inspect mufflers for proper functionality;</li> <li>Select "quiet" construction methods and equipment (e.g., improved mufflers, use of intake silencers, engine enclosures);</li> <li>Use construction equipment with lower noise emission ratings whenever possible, particularly for air compressors;</li> <li>Prohibit the idling of inactive construction equipment for more than five minutes;</li> <li>Locate stationary noise sources (such as compressors) as far from nearby noise-sensitive receptors as possible (including future onsite noise-sensitive receptors at the Phase 2 Bryant Street Housing under the phased construction scenarios for the Refined Project), muffle such</li> </ul>				
noise sources, and construct barriers around such sources and/or the construction site.  • Avoid placing stationary noise-generating equipment (e.g., generators, compressors) within noise-sensitive buffer areas (as determined by the acoustical engineer) immediately adjacent to neighbors (including future onsite noise-				



Adopted Mitigation Managers	Implementation Responsibility	Mitigation Schodula	Monitoring / Reporting	Monitoring Actions / Completion Criteria
Adopted Mitigation Measures sensitive receptors at the Phase 2 Bryant Street Housing	Responsibility	Mitigation Schedule	Responsibility	Completion Criteria
under the phased construction scenarios for the Refined				
Project).				
<ul> <li>Enclose or shield stationary noise sources from neighboring</li> </ul>				
noise-sensitive properties (including the future onsite noise-				
sensitive properties (including the future offsite folse-				
under the phased construction scenarios for the Refined				
'				
Project) with noise barriers to the extent feasible. To further				
reduce noise, locate stationary equipment in pit areas or				
excavated areas, if feasible; and				
Install temporary barriers, barrier-backed sound curtains  and (an appendiculation of a post of a pos				
and/or acoustical panels around working powered impact				
equipment and, if necessary, around the perimeter of active				
construction areas or phases. When temporary barrier units				
are joined together, the mating surfaces shall be flush with				
each other. Gaps between barrier units, and between the				
bottom edge of the barrier panels and the ground, shall be				
closed with material that completely closes the gaps, and				
dense enough to attenuate noise.				
Under the phased construction scenarios for the Refined				
Project, develop strategies to reduce exposure to				
construction noise in coordination with future onsite noise-				
sensitive receptors at the Phase 2 Bryant Street Housing.				
Some options to reduce noise include limiting noise to				
Phase 2 Bryant Street receptors by delaying or limiting				
occupancy in units closest to the construction zone or				
notifying receptors of loud construction periods. These				
options should be explored as part of the noise control plan				
prepared by a qualified noise consultant and the				
construction contractor.				
The construction noise control plan shall include the following				
measures for notifying the public of construction activities,				
complaint procedures, and monitoring construction noise levels:				



Adopted Mitigation Measures	Implementation Responsibility	Mitigation Schedule	Monitoring / Reporting Responsibility	Monitoring Actions / Completion Criteria
Designate an on-site construction noise manager for the			<sub>F</sub>	
project;				
Notify neighboring noise-sensitive receptors within 300 feet				
of the project construction area at least 30 days in advance				
of high-intensity noise-generating activities (e.g., pier				
drilling, pile driving, and other activities that may generate				
noise levels greater than 90 dBA at noise-sensitive				
receptors) about the estimated duration of the activity				
(including future onsite noise-sensitive receptors at the				
Phase 2 Bryant Street Housing under the phased				
construction scenarios for the Refined Project);				
<ul> <li>Post a sign onsite describing noise complaint procedures</li> </ul>				
and a complaint hotline number that shall always be				
answered during construction;				
<ul> <li>Implement a procedure for notifying the planning</li> </ul>				
department of any noise complaints within one week of receiving a complaint;				
Establish a list of measures for responding to and tracking				
complaints pertaining to construction noise. Such				
measures may include the evaluation and implementation				
of additional noise controls at sensitive receptors				
(residences, hospitals, convalescent homes, schools,				
churches, hotels and motels, and sensitive wildlife habitat);				
and				
Conduct noise monitoring (measurements) at the beginning				
of major construction phases (e.g., demolition, grading,				
excavation) and during high-intensity construction activities				
to determine the effectiveness of noise attenuation				
measures and, if necessary, implement additional noise				
control measures.				
The construction noise control plan shall include the following				
additional measures in the event of pile-driving activities:				



Adopted Mitigation Measures	Implementation Responsibility	Mitigation Schedule	Monitoring / Reporting Responsibility	Monitoring Actions / Completion Criteria
<ul> <li>When pile driving is to occur within 600 feet of a noise-sensitive receptor, implement "quiet" pile-driving technology (such as pre-drilling of piles, sonic pile drivers, auger cast-in-place, or drilled-displacement, or the use of more than one pile driver to shorten the total pile-driving duration [only if such measure is preferable to reduce impacts to sensitive receptors]) where feasible, in consideration of geotechnical and structural requirements and conditions;</li> <li>Where the use of driven impact piles cannot be avoided, properly fit impact pile driving equipment with an intake and exhaust muffler and a sound-attenuating shroud, as specified by the manufacturer; and</li> <li>Conduct noise monitoring (measurements) before, during, and after the pile-driving activity.</li> </ul>	Responsibility	mitigation schedule	Responsibility	Completion Criteria
Mitigation Measure M-NO-2: Vibration-Sensitive Equipment at 2601 Mariposa Street (KQED Building)				
Prior to construction, the SFMTA and private project co-sponsor and/or its contractors on SFMTA's behalf (referred to below as project sponsor team) shall designate and make available a community liaison to respond to vibration complaints from building occupants at the KQED building, located at 2601 Mariposa Street. Contact information for the community liaison shall be posted in a conspicuous location so that it is clearly visible to building occupants most likely to be disturbed. Through the community liaison, the project sponsor team shall provide notification to property owners and occupants of 2601 Mariposa Street at least 10 days prior to construction activities involving equipment that can generate vibration capable of interfering with vibration-sensitive equipment, informing them of the estimated start date and duration of vibration-generating construction activities. Equipment types capable of generating such vibration include an impact pile	Project Sponsor Team, and qualified consultant, at the direction of the ERO	Prior to the issuance building and construction permits	Project sponsor, project acoustical engineer and Planning Department	Considered complete after construction activities are completed and after buildings and/or structures are remediated to their pre-construction condition at the conclusion of vibration-generating activity on the site, should any damage occur



	Implementation		Monitoring / Reporting	Monitoring Actions /
Adopted Mitigation Measures	Responsibility	Mitigation Schedule	Responsibility	Completion Criteria
driver, or similar equipment, operating within 250 feet of the				
building or a vibratory roller, or similar equipment, operating within				
125 feet of the building. If feasible, the project sponsor team shall				
identify potential alternative equipment and techniques that could				
reduce construction vibration levels. Alternative equipment and				
techniques may include, but are not limited to:				
<ul> <li>pre-drilled piles,</li> </ul>				
• caisson drilling,				
<ul> <li>oscillating or rotating pile installation,</li> </ul>				
<ul> <li>jetting piles into place using a water injection at the tip of</li> </ul>				
the pile could be substituted for driven piles, if feasible,				
based on soil conditions,				
<ul> <li>static rollers could be substituted for vibratory rollers in</li> </ul>				
some cases.				
If concerns prior to construction or complaints during construction				
related to equipment interference are identified, the community				
liaison shall work with the project sponsor team and the affected				
building occupants to resolve the concerns such that the vibration				
control measures would meet a performance target of the 65 VdB				
vibration level threshold for vibration sensitive equipment, as set				
forth by Federal Transit Authority (FTA). To resolve concerns raised				
by building occupants, the community liaison shall convey the				
details of the complaint(s) to the project sponsor team, such as who				
shall implement specific measures to ensure that the project				
construction meets the performance target of 65 VdB vibration level				
for vibration sensitive equipment. These measures may include				
evaluation by a qualified noise and vibration consultant, scheduling				
certain construction activities outside the hours of operation or				
recording periods of specific vibration-sensitive equipment if				
feasible, and/or conducting ground-borne vibration monitoring to				
document that the project can meet the performance target of				
65 VdB at specific distances and/or locations. Ground-borne				



Adopted Mitigation Measures	Implementation Responsibility	Mitigation Schedule	Monitoring / Reporting Responsibility	Monitoring Actions / Completion Criteria
vibration monitoring, if appropriate to resolve concerns, shall be conducted by a qualified noise and vibration consultant.				
Mitigation Measure NO-3: Fixed Mechanical Equipment Noise Control for Building Operations				
The SFMTA and a private project co-sponsor and/or its contractors on SFMTA's behalf (referred to below as project sponsor team) shall prepare operational noise control documentation as detailed below. Prior to approval of a building permit, the project sponsor team shall submit documentation to the Environmental Review Officer (ERO) or the officer's designee, demonstrating with reasonable certainty that the building's fixed mechanical equipment (such as heating, ventilation and air conditioning [HVAC] equipment) meets the noise limits specified in sections 2909 (b) and 2909 (d) of the noise ordinance (i.e., an 8-dB increase above the ambient noise level at the property plane for commercial or mixed-use properties; and interior noise limits of 55 dBA and 45 dBA for daytime and nighttime hours inside any sleeping or living room in a nearby dwelling unit on a residential property assuming windows open, respectively). Acoustical treatments required to meet the noise ordinance may include, but are not limited to:	Project Sponsor Team and qualified consultant, at the direction of the ERO	Prior to the issuance building permit	Environmental Review Officer (ERO) or designee	Considered complete after receipt and acceptance of the appropriate documentation to the ERO
<ul> <li>Enclosing noise-generating mechanical equipment;</li> <li>Installing relatively quiet models of air handlers, exhaust fans, and other mechanical equipment;</li> <li>Using mufflers or silencers on equipment exhaust fans;</li> <li>Orienting or shielding equipment to protect noise-sensitive receptors (residences, hospitals, convalescent homes, schools, churches, hotels and motels, and sensitive wildlife habitat) to the greatest extent feasible;</li> <li>Increasing the distance between noise-generating equipment and noise-sensitive receptors; and/or</li> </ul>				



-	Implementation		Monitoring / Reporting	Monitoring Actions /
Adopted Mitigation Measures	Responsibility	Mitigation Schedule	Responsibility	Completion Criteria
Placing barriers around the equipment to facilitate the				
attenuation of noise.				
Compliance with this fixed-mechanical equipment noise control for				
building operations standard requirement does not obviate the need				
for the equipment to demonstrate compliance with the noise				
ordinance throughout the lifetime of the project.				
AIR QUALITY				
Mitigation Measure M-AQ-1: Off-Road Construction Equipment Emissions Minimization				
The SFMTA and private project co-sponsor and/or its contractors on SFMTA's behalf (referred to below as project sponsor team) shall comply with the following:  A. Engine Requirements.  1. All off-road equipment greater than or equal to 25 horsepower shall have engines that meet U.S. EPA or California Air Resources Board Tier 4 Final off-road emission standards.  2. Where access to alternative sources of power is available, portable diesel engines shall be prohibited. If access to alternative sources of power is infeasible, portable diesel engines shall meet the requirements of Subsection (A)(1).  3. Diesel engines, whether for off-road or on-road equipment, shall not be left idling for more than two minutes, at any location, except as provided in exceptions to the applicable state regulations regarding idling for off-road and on-road equipment (e.g., traffic conditions, safe operating conditions). The project sponsor team shall post legible and visible signs in	Project Sponsor Team, construction contractors	Prior to issuance of a construction permit; implementation ongoing during construction	Environmental Review Officer (ERO) or designee/ project sponsor	Considered complete upon Planning Department review and approval of Construction Emissions Minimization Plan, ongoing review and approval of biannual reports, and review and approval of final construction report



	Implementation		Monitoring / Reporting	Monitoring Actions /
Adopted Mitigation Measures	Responsibility	Mitigation Schedule	Responsibility	Completion Criteria
areas and at the construction site to remind operators of				
the two-minute idling limit.				
4. The project sponsor team shall instruct construction				
workers and equipment operators on the maintenance				
and tuning of construction equipment and require that				
such workers and operators properly maintain and tune				
equipment in accordance with manufacturer				
specifications.				
B. Waivers.				
1. The San Francisco Planning Department Environmental				
Review Officer (ERO) may waive the equipment				
requirements of Subsection (A)(1) if: a particular piece of				
off-road Tier 4 Final equipment is not regionally				
available, not technically feasible, or would not produce				
desired emissions reduction due to expected operating				
modes. In granting the waiver, the project sponsor team				
must demonstrate with substantial evidence that the				
project construction does not exceed the BAAQMD				
threshold for NOx (54 lbs/day) by resulting in a net				
increase of average daily NOx emissions greater than 4				
pounds per day. The project sponsor team must also				
demonstrate with substantial evidence that the overall				
combined construction and operational excess cancer				
risk does not exceed 7 per 1 million persons exposed at				
nearby sensitive receptors.				
C. Construction Emissions Minimization Plan.				
1. Before starting onsite construction activities, the project				
sponsor team shall submit a Construction Emissions				
Minimization Plan (Plan) to the ERO for review and				
approval. The Plan shall state, in reasonable detail, how				
the project sponsor team will meet the requirements of				
Section A.				



	Implementation		Monitoring / Reporting	Monitoring Actions /
Adopted Mitigation Measures	Responsibility	Mitigation Schedule	Responsibility	Completion Criteria
2. The Plan shall include estimates of the construction				
timeline by phase, with a description of each piece of off-				
road equipment required for every construction phase.				
The description may include, but is not limited to:				
equipment type, equipment manufacturer, equipment				
identification number, engine model year, engine				
certification (Tier rating), horsepower, engine serial				
number, and expected fuel use and hours of operation.				
3. The project sponsor team shall ensure that all applicable				
requirements of the Plan have been incorporated into				
the contract specifications. The Plan shall include a				
certification statement that the project sponsor team				
agrees to comply fully with the Plan.				
4. The project sponsor team shall make the Plan available				
to the public for review onsite during working hours. The				
project sponsor team shall post at the construction site				
a legible and visible sign summarizing the Plan. The sign				
shall also state that the public may ask to inspect the				
Plan for the project at any time during working hours and				
shall explain how to request to inspect the Plan. The				
project sponsor team shall post at least one copy of the				
sign in a visible location on each side of the construction				
site facing a public right-of-way.				
D. Monitoring				
1. After start of construction activities, the project sponsor				
team shall submit biannual reports to the ERO				
documenting compliance with the Plan. After				
completion of construction activities and prior to				
receiving a final certificate of occupancy, the project				
sponsor team shall submit to the ERO a final report				
summarizing construction activities, including the start				
and end dates and duration of each construction phase,				
and the specific information required in the Plan.				



Adopted Mitigation Measures	Implementation Responsibility	Mitigation Schedule	Monitoring / Reporting Responsibility	Monitoring Actions / Completion Criteria
Mitigation Measure M-AQ-3: Emergency Diesel Generator Health Risk Reduction Plan				
The SFMTA and private project co-sponsor and/or its contractors on SFMTA's behalf (referred to below as the project sponsor team) shall comply with the following:  1. Require all emergency diesel generators to meet Tier 4 Final emission standards and reduce annual testing limit to 20 hours per year for each generator; or  2. Require all emergency generators to be battery-powered; or  3. The project sponsor team shall retain a qualified air quality consultant to develop an Emergency Diesel Generator Health Risk Reduction Plan. The project sponsor team shall submit the plan to the San Francisco Planning Department Environmental Review Officer (ERO) for review and approval prior to issuance of a permit for emergency diesel generators from the San Francisco Department of Building Inspection or the Bay Area Air Quality Management District. The plan must include, for each emergency diesel generator, a description of the anticipated venting location, engine specifications, and annual maintenance testing procedures. The plan must demonstrate with substantial evidence that annual maintenance testing will not result in the project's overall construction and operational cancer risk exceeding 7 per one million persons exposed at nearby offsite sensitive receptors.  Additionally, the operator of the facility at which the generators are located (including the private project co-sponsor as applicable) shall be required to maintain records of the testing schedule for each emergency diesel generator for the life of that generator and to	Project Sponsor Team and construction contractor	Prior to issuance of a permit for emergency diesel generator	Project Sponsor Team, facility maintenance contractor, and the Planning Department	Considered complete upon Planning Department review and approval of Emergency Diesel Generator Health Risk Reduction Plan



Adopted Mitigation Measures	Implementation Responsibility	Mitigation Schedule	Monitoring / Reporting Responsibility	Monitoring Actions / Completion Criteria
provide this information for review to the planning department				
within three months of requesting such information.				
WIND				
Mitigation Measure M-WI-1(a): Design Measures to Reduce Project- Specific Wind Impacts				
The project sponsor team shall retain a qualified wind consultant to prepare, in consultation with the San Francisco Planning Department (planning department), a wind impact mitigation report that identifies design measures to reduce the project's wind impacts in the project scenario. Prior to certification of the Final Environmental Impact Report, the project sponsor team shall submit the wind impact mitigation report to the planning department for its final review and approval. The wind impact mitigation report shall incorporate updated information on the building design based on a list of potential wind reduction measures identified below, along with the estimated effectiveness of each measure to reduce the identified off-site wind hazards.  • Porous façades on portions of the north, east and west sides for natural ventilation as part of the heating, ventilation, and air conditioning strategy for the new transit facility at the second and third levels  • Recessed building corner up to 12 feet in height at the southwest corner of proposed building near Bryant/Mariposa intersection  • Vertical elevated screens on portions of the second and third levels of the west façade (Bryant Street)  • Vertical wind screens at grade level on the adjacent Bryant Street sidewalk near the Bryant/Mariposa intersection	Project Sponsor Team/qualified consultant	Prior to completion of the environmental review	Project Sponsor Team, and the Planning Department	Completion of and acceptance of the wind impact mitigation report by the Planning Department
Such wind reduction design measures may include additional onsite landscaping, or equivalent wind-reducing features; and off-site wind reduction measures such as landscaping, streetscape				



	Implementation		Monitoring / Reporting	Monitoring Actions /
Adopted Mitigation Measures	Responsibility	Mitigation Schedule	Responsibility	Completion Criteria
improvements or other wind-reducing features, such as wind screens.				
The project sponsor team shall implement as many of the design measures identified in the wind impact mitigation report as needed to reduce the proposed project's or project variants' potential to create a new wind hazard or exacerbate an existing wind hazard in publicly accessible areas of substantial pedestrian use to less-than-significant levels. The final wind impact mitigation report should not find that the project produces a net increase of the already identified wind hazard exceedances. The planning department shall approve the final list of wind reduction measures that the project sponsor team shall implement.				
Mitigation Measure M-WI-1(b): Additional Wind Testing				
If changes to the building design or massing are proposed after certification of the Final Environmental Impact Report, additional wind analysis may be required to confirm the modified design does not result in any 9-hour wind hazard exceedances and to minimize 1-hour wind hazard exceedances.  If the planning department determines that the modified design could result in wind hazard criterion exceedances (for example, due to the removal of one or more wind reducing features), the project sponsor team shall retain a qualified wind consultant to prepare a wind analysis under the direction of the planning department. The wind analysis may require a wind tunnel test and shall identify wind reduction measures needed to avoid 9-hour wind hazard exceedances.	Project Sponsor Team /qualified consultant	Prior to completion of the environmental review	Project Sponsor Team, and the Planning Department	Completion of and acceptance of the wind impact mitigation report by the Planning Department
GEOLOGY AND SOILS				
Mitigation Measure M-GE-6a: Inadvertent Discovery of Paleontological Resources				



		MONTOKING	AND REPORTING PROGRAM	
Adonted Mitigation Measures	Implementation	Mitigation Schedule	Monitoring / Reporting	Monitoring Actions /
Worker Awareness Training - Prior to commencing construction, and ongoing throughout ground disturbing activities (e.g., excavation, utility installation, the project sponsor and/or their designee shall ensure that all project construction workers are trained on the contents of the Paleontological Resources Alert Sheet, as provided by the Planning Department. The Paleontological Resources Alert Sheet shall be prominently displayed at the construction site during ground disturbing activities for reference regarding potential paleontological	Responsibility Project Sponsor Team, construction contractors, at the direction of the ERO	Mitigation Schedule Prior to construction commencement	Responsibility Project Sponsor Team and the Planning Department	Submission of evidence of worker awareness training and distribution of alert sheet to the satisfaction of the Planning Department, including proper adherence to procedures if a resource is encountered
In addition, the project sponsor shall inform the contractor and construction personnel of the immediate stop work procedures and other procedures to be followed if bones or other potential fossils are unearthed at the project site. Should new workers that will be involved in ground disturbing construction activities begin employment after the initial training has occurred, the construction supervisor shall ensure that they receive the worker awareness training as described above.				
The project sponsor shall complete the standard form/affidavit confirming the timing of the worker awareness training to the Environmental Review Officer (ERO). The affidavit shall confirm the project's location, the date of training, the location of the informational handout display, and the number of participants. The affidavit shall be transmitted to the ERO within five (5) business days of conducting the training.				
Paleontological Resource Discoveries - In the event of the discovery of an unanticipated paleontological resource during project construction, ground disturbing activities shall temporarily be halted within 25 feet of the find until the discovery is examined by a qualified paleontologist as recommended by the Society of				



	Implementation	monitorino.	Monitoring / Reporting	Monitoring Actions /
Adopted Mitigation Measures	Responsibility	<b>Mitigation Schedule</b>	Responsibility	Completion Criteria
Vertebrate Paleontology standards (SVP 2010) and Best Practices in				
Mitigation Paleontology (Murphey et al. 2019). Work within the				
sensitive area shall resume only when deemed appropriate by the				
qualified paleontologist in consultation with the ERO.				
The qualified paleontologist shall determine: 1) if the discovery is				
scientifically significant; 2) the necessity for involving other				
responsible or resource agencies and stakeholders, if required or				
determined applicable; and 3) methods for resource recovery. If a				
paleontological resource assessment results in a determination that				
the resource is not scientifically important, this conclusion shall be				
documented in a Paleontological Evaluation Letter to demonstrate				
compliance with applicable statutory requirements (e.g., Federal				
Antiquities Act of 1906, CEQA Guidelines Section 15064.5, California				
Public Resources Code Chapter 17, Section 5097.5, Paleontological				
Resources Preservation Act 2009). The Paleontological Evaluation				
Letter shall be submitted to the ERO for review within 30 days of the				
discovery.				
If the qualified paleontologist determines that a paleontological				
resource is of scientific importance, and there are no feasible				
measures to avoid disturbing this paleontological resource, the				
qualified paleontologist shall prepare a Paleontological Mitigation				
Program. The mitigation program shall include measures to fully				
document and recover the resource of scientific importance. The				
qualified paleontologist shall submit the mitigation program to the				
ERO for review and approval within 10 business days of the				
discovery. Upon approval by the ERO, ground disturbing activities in				
the project area shall resume and be monitored as determined by				
the qualified paleontologist for the duration of such activities.				
The mitigation program shall include: 1) procedures for				
construction monitoring at the project site; 2) fossil preparation and				



Adopted Mitigation Measures	Implementation Responsibility	Mitigation Schedule	Monitoring / Reporting Responsibility	Monitoring Actions / Completion Criteria
identification procedures; 3) curation of paleontological resources	Responsibility	Mitigation Schedule	Responsibility	Completion criteria
of scientific importance into an appropriate repository; and 4)				
preparation of a Paleontological Resources Report (report or				
paleontology report) at the conclusion of ground disturbing				
activities. The report shall include dates of field work, results of				
monitoring, fossil identifications to the lowest possible taxonomic				
level, analysis of the fossil collection, a discussion of the scientific				
significance of the fossil collection, conclusions, locality forms, an				
itemized list of specimens, and a repository receipt from the				
curation facility. The project sponsor shall be responsible for the				
preparation and implementation of the mitigation program, in				
addition to any costs necessary to prepare and identify collected				
fossils, and for any curation fees charged by the paleontological				
repository. The paleontology report shall be submitted to the ERO				
for review within 30 business days from conclusion of ground				
disturbing activities, or as negotiated following consultation with				
the ERO.				
Mitigation Measure M-GE-6b: Preconstruction Paleontological				
Evaluation and Monitoring Plan during Construction				
The project sponsor shall engage a qualified paleontologist to	Project Sponsor	Prior to construction	Project Sponsor Team and the	Completion of and
develop a site-specific monitoring plan prior to commencing soil-	Team, construction	commencement	Planning Department	acceptance of the Preconstruction
disturbing activities at the project site. The Preconstruction	contractors, and			Paleontological Evaluation
Paleontological Monitoring Plan would determine project	qualified			by the Planning
construction activities requiring paleontological monitoring based	consultant, at the			Department
on those may affect sediments with moderate sensitivity for	direction of the			
paleontological resources. Prior to issuance of any demolition	ERO			
permit, the project sponsor shall submit the Preconstruction				
Paleontological Monitoring Plan to the ERO for approval.				
At a minimum, the plan shall include:				
1. Project Description				
Regulatory Environment – outline applicable federal, state and local regulations				



Adopte	d Mitigation Measures	Implementation Responsibility	Mitigation Schedule	Monitoring / Reporting Responsibility	Monitoring Actions / Completion Criteria
3.					
4.	Research Methods, including but not limited to:				
	4.a. Field studies conducted by the approved paleontologist				
	to check for fossils at the surface and assess the exposed				
	sediments.				
	4.b. Literature Review to include an examination of geologic				
	maps and a review of relevant geological and				
	paleontological literature to determine the nature of				
	geologic units in the project area.				
	4.c. Locality Search to include outreach to the University of				
	California Museum of Paleontology in Berkeley.				
5.	Results: to include a summary of literature review and				
	finding of potential site sensitivity for paleontological				
	resources; and depth of potential resources if known.				
6.	Recommendations for any additional measures that could				
	be necessary to avoid or reduce any adverse impacts to				
	recorded and/or inadvertently discovered paleontological				
	resources of scientific importance. Such measures could				
	include:				
	6.a. Avoidance: If a known fossil locality appears to contain				
	critical scientific information that should be left undisturbed				
	for subsequent scientific evaluation.				
	6.b. Fossil Recovery: If isolated small, medium- or large-				
	sized fossils are discovered during field surveys or				
	construction monitoring, and they are determined to be				
	scientifically significant, they should be recovered. Fossil				
	recovery may involve collecting a fully exposed fossil from				
	the ground surface, or may involve a systematic excavation,				
	depending upon the size and complexity of the fossil				
	discovery.				
	6.c. Monitoring: Monitoring involves systematic inspections				
	of graded cut slopes, trench sidewalls, spoils piles, and				
	other types of construction				



	Implementation		Monitoring / Reporting	Monitoring Actions /
Adopted Mitigation Measures	Responsibility	Mitigation Schedule	Responsibility	Completion Criteria
excavations for the presence of fossils, and the fossil				
recovery and documentation of these fossils before they are				
destroyed by further ground disturbing actions. Standard				
monitoring is typically used in the most paleontologically				
sensitive geographic areas/geologic units (moderate, high				
and very high potential); while spot-check monitoring is				
typically used in geographic areas/geologic units of				
moderate or unknown paleontological sensitivity (moderate				
or unknown potential).				
6.d. Data recovery and reporting: Fossil and associated data				
discovered during soils disturbing activities should be				
treated according to professional paleontological standards				
and documented in a data recovery report. The plan should				
define the scope of the data recovery report.				
define the scope of the data recovery report.				
The consultant shall document the monitoring conducted				
according to the monitoring plan and any data recovery completed				
for significant paleontological resource finds discovered, if any.				
Plans and reports prepared by the consultant shall be considered				
draft reports subject to revision until final approval by the ERO. The				
final monitoring report and any data recovery report shall be				
submitted to the ERO prior to the certificate of occupancy.				

Continues on the next page.



Table 5: IMPROVEMENT MEASURES FOR THE POTRERO YARD MODERNIZATION PROJECT

#### MONITORING AND REPORTING PROGRAM<sup>1</sup> **Monitoring Actions Implementation** Monitoring / Reporting Responsibility Responsibility **Completion Criteria Adopted Improvement Measures Mitigation Schedule** IMPROVEMENT MEASURES AGREED TO BY PROJECT SPONSOR TEAM TRANSPORTATION Improvement Measure I-TR-A: Construction Management Plan – Additional Measures As part of the project's construction management plan, the SFMTA Project Sponsor Project Sponsor Team, SFMTA Considered complete upon Prior to the issuance Team, including of construction (in its regulatory capacity) the submittal and approval and a private project co-sponsor and/or its contractors on SFMTA's SFMTA regulatory of the Construction permits: behalf (referred to as project sponsor team) will require additional teams, and Management Plan to the implementation measures to further minimize disruptions to people walking and construction SFMTA (in its regulatory ongoing during bicycling, transit, and emergency vehicles during project contractor construction with capacity) construction updates construction: The additional measures include: provided weekly: Active Monitoring of Carpool, Bicycle, Walk, and Transit Access for Construction Detours as needed Workers—Carpool, Bicycle, Walk, and Transit Access for Construction Workers—To minimize parking demand and vehicle trips associated with construction workers, the construction contractor will include as part of the Construction Management Plan methods to encourage carpooling, bicycle, walk, and transit access to the project site by construction workers. These methods could include providing secure bicycle parking spaces, participating in free-to-employee and employer ride matching program from www.511.org, participating in emergency ride home program through the City of San Francisco (www.sferh.org), and providing transit information to construction workers. Project Construction Updates for Adjacent Businesses and **Residents**— To minimize construction impacts on access to nearby residences and businesses, the project sponsor team will provide nearby residences and adjacent businesses with regularly updated information regarding project construction, including construction activities, peak construction vehicle activities, travel lane closures,



	Implementation	Montholino	Manitaving / Denouting	Manitarina Astiona /
Adopted Improvement Measures	Responsibility	Mitigation Schedule	Monitoring / Reporting Responsibility	Monitoring Actions / Completion Criteria
and parking lane and sidewalk closures (e.g., via the project's website). At regular intervals to be defined in the construction management plan, a regular email notice will be distributed by the project sponsor team that would provide current construction information of interest to neighbors, as well as contact information for specific construction inquiries or concerns.  Improvement Measure I-TR-B: Driveway and Loading Operations Plan (DLOP)				
The project sponsor team (including joint development project sponsor as applicable) will be required to prepare and implement a Driveway and Loading Operations Plan (DLOP). The DLOP will be prepared by the private project co-sponsor, in coordination with the SFMTA, and submitted as part of the application for the first temporary occupancy permit. The DLOP will include provisions to manage loading activities and driveway operations associated with the below-grade onsite loading spaces; provisions for assessing onstreet commercial and passenger loading supply and protocol for expanding on-street supply, if needed; provisions for trash/recycling/compost truck access and collection operations; provisions for residential move-in and move-out operations; provisions for scheduling Muni deliveries using the onsite loading facilities; and provisions for accommodating recurring deliveries such as UPS, Federal Express, and USPS within the onsite loading facilities.  The intent of the DLOP is to reduce potential conflicts between passenger and freight loading and transit operations, and between passenger and freight loading activities and people walking and bicycling, and other vehicles in the project vicinity, as well as to maximize reliance on onsite facilities to accommodate freight loading demand.	Project Sponsor Team	Project Sponsor Team to submit Loading Management Plan to ERO prior to the issuance of any certificate of occupancy for the proposed project.	ERO, Project Sponsor Team or successor owner/ manager of residential building	Considered complete upon ERO approval of Loading Management Plan; Ongoing monitoring to continue indefinitely



#### Table 6: PUBLIC WORKS STANDARD CONSTRUCTION MEASURES FOR THE POTRERO YARD MODERNIZATION PROJECT

Public Works' Regulatory Affairs division will ensure the Standard Construction Measures are included in construction specifications and contracts. The planning department environmental monitoring team will confirm the public works standard construction measures have been incorporated into the final project agreement with the project sponsor team.

	MONITORING AND REPORTING PROGRAM <sup>1</sup>			
Adopted Public Works Standard Construction Measure	Implementation Responsibility	Mitigation Schedule	Monitoring / Reporting Responsibility	Monitoring Actions / Completion Criteria
PUBLIC WORKS STANDARD CONSTRUCTION MEASURES AGREED TO BY PROJECT SPONSOR TEAM				
Public Works Standard Construction Measure #1, Seismic and Geotechnical Studies (Geology and Soils)				
The project manager shall ensure that projects that may potentially be affected by existing soil, slope and/or geologic conditions at the project site will be screened for liquefaction, subsidence, landslide, fault displacement, and other geological hazards at the project site, and will be engineered and designed as necessary to minimize risks to safety and reliability due to such hazards. As necessary, geotechnical investigations will be performed.	Project Sponsor Team, construction contractors	Prior to construction	Project Sponsor Team, Planning Department, Public Works Regulatory Affairs	Considered complete upon submission of geotechnical investigations, if applicable
Public Works Standard Construction Measure #2, Air Quality				
All projects will comply with the Construction Dust Control Ordinance. Major construction projects that are estimated to require 20 or more days of cumulative work within the Air Pollutant Exposure Zone must comply with the additional clean construction requirements of the Clean Construction Ordinance.	Project Sponsor Team, construction contractors	Ongoing during construction	Project Sponsor Team, Planning Department, Public Works Regulatory Affairs	Considered complete upon submission of a Site- Specific Dust Control Plan for the review and approval of the Department of Public Health
Public Works Standard Construction Measure #3, Water Quality				
All projects will implement erosion and sedimentation controls to be tailored to the project site, such as fiber rolls and/or gravel bags around storm drain inlets, installation of silt fences, and other such measures sufficient-to prevent discharges of sediment and other pollutants to storm drains and all surface waterways, such as San Francisco Bay, the Pacific Ocean, water supply reservoirs, wetlands, swales, and streams. As required based on project location and size,	Project Sponsor Team, construction contractors	Ongoing during construction	Project Sponsor Team, Planning Department, Public Works Regulatory Affairs	Considered complete upon Project Sponsor Team's enforcement of water quality considerations



	MONITORING AND REPORTING PROGRAM				
Adopted Public Works Standard Construction Measure	Implementation Responsibility	Mitigation Schedule	Monitoring / Reporting Responsibility	Monitoring Actions / Completion Criteria	
a Stormwater Control Plan (in most areas of San Francisco) or a Stormwater Pollution Prevention Plan (SWPPP) (in certain areas of San Francisco) will be prepared. If uncontaminated groundwater is encountered during excavation activities, it will be discharged in compliance with applicable water quality standards and discharge permit requirements.	Responsibility	mitigation schedule	Responsibility	Completion Criteria	
Public Works Standard Construction Measure #4, Traffic					
All projects will implement traffic control measures sufficient to maintain traffic and pedestrian circulation on streets affected by construction of the project. The measures will also, at a minimum, be consistent with the requirements of San Francisco Municipal Transportation Agency (SFMTA)'s Blue Book. Traffic control measures may include, but not be limited to, flaggers and/or construction warning sign age of work ahead; scheduling truck trips during non-peak hours to the extent feasible; maintaining access to driveways, private roads, and off-street commercial loading facilities by using steel trench plates or other such method; and coordination with local emergency responders to maintain emergency access. Any temporary rerouting of transit vehicles or relocation of transit facilities would be coordinated with SFMTA Muni Operations.	Project Sponsor Team, construction contractors	Ongoing during construction	Project Sponsor Team; SFMTA Muni Operations, Public Works Regulatory Affairs	Considered complete upon the submittal and approval of the Construction Management Plan to the SFMTA	
Public Works Standard Construction Measure #5, Noise					
All projects will comply with local noise ordinances resulting construction noise. Public Works shall undertake measures to minimize noise disruption to nearby neighbors and sensitive receptors during construction. These efforts could include using best available noise control technologies on equipment (i.e., mufflers, ducts, and acoustically attenuating shields), locating stationary noise sources (i.e., pumps and generators) away from sensitive receptors, erecting temporary noise barriers, and other such means.	Project Sponsor Team, construction contractors	Ongoing during construction	Project Sponsor Team, Planning Department, Public Works Regulatory Affairs	Considered complete upon Project Sponsor enforcement of local noise ordinances	



Adopted Public Works Standard Construction Measure	Implementation Responsibility	Mitigation Schedule	Monitoring / Reporting Responsibility	Monitoring Actions / Completion Criteria
Public Works Standard Construction Measure #6, Hazardous Materials				
Projects that involve excavation of 50 cubic yards of soil in the Maher Zone will comply with the Maher Ordinance. Projects on sites that are not currently located in the Maher Zone but have the potential to contain hazardous materials in soil and/or groundwater will be referred to the Department of Public Health as newly identified Maher sites.	Project Sponsor Team, construction contractors	Ongoing during construction	Project Sponsor Team, Planning Department, Public Works Regulatory Affairs	Considered complete upon Project Sponsor enforcement of Maher ordinance
Public Works Standard Construction Measure #7, Biological Resources				
Projects will comply with all local, state, and federal requirements for surveys, analysis, and protection of biological resources (e.g., Migratory Bird Treaty Act, Federal and State Endangered Species Acts, etc.). The project site and the immediately surrounding area will be screened to determine whether biological resources may be affected by construction. If biological resources are present, a qualified biologist will carry out a survey of the project site to note the presence of general biological resources and to identify whether habitat for special-status species and/or migratory birds is present. If necessary, measures will be implemented to protect biological resources, such as installing wildlife exclusion fencing, establishing work buffer zones, installing bird deterrents, having a qualified biologist conduct monitoring, and other such applicable measures. Tree removal will also comply with any applicable tree protection ordinance.	Project Sponsor Team, construction contractors	Ongoing during construction	Project Sponsor Team, Planning Department, Public Works Regulatory Affairs	Considered complete upon Project Sponsor enforcement of biological considerations
Public Works Standard Construction Measure #8, Visual and Aesthetic Considerations, Project Site				
All project sites will be maintained in a clean and orderly state. Construction staging areas will be sited away from public view, and on currently paved or previously disturbed areas, where possible.	Project Sponsor Team, construction contractors	Ongoing during construction	Project Sponsor Team, Planning Department, Public Works Regulatory Affairs	Considered complete upon Project Sponsor Team's enforcement of visual considerations



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Adopted Public Works Standard Construction Measure	Responsibility	Mitigation Schedule	Responsibility	Completion Criteria
Nighttime lighting will be directed away from residential areas and				
have shields to prevent light spillover effects. Upon project				
completion, project sites on City-owned lands will be returned to				
their general pre-project condition, including re-grading of the site				
and re-vegetation or re-paving of disturbed areas to the extent this				
is consistent with Public Works Bureau of Urban Forestry Policy and				
San Francisco Code. Project sites on non-City land will be restored				
to their general pre-project condition so that the owner may return				
them to their prior use, unless otherwise arranged with the property				
owner.				
Public Works Standard Construction Measure #9, Cultural Resources				
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All projects that will alter a building or structure, produce vibrations,	Project Sponsor Team,	Prior to issuance of a construction permit	Project Sponsor Team, the EP Archeologist staff, Public	Considered complete upon compliance with Standard
or include soil disturbance will be screened to assess whether	construction	construction permit	Works and the ERO	Archeological Measure III
cultural resources are or may be present and could be affected, as	contractors			(Testing/Data Recovery)
detailed below.				requirements
Soil is defined as native earthen deposits or introduced earthen fill.				
Soil does not include materials that were previously introduced as				
part of roadway pavement section including asphalt concrete				
wearing roadway base and subbase.				
Archeological Resources. The EP Archeologist has determined that				
Standard Archeological Measure III (Testing/Data Recovery) shall be				
implemented by Public Works to protect and/or treat significant				
archeological resources identified as being present within the site				
and potentially affected by the project (see Attachment H: Public				
Works Archeological Measure III (Testing / Data Recovery)).				
1. Public Works shall implement the EP Archeologist's				
recommendations prior to and/or during project				
construction consistent with Standard Archeological				
Measure III and shall consult with the EP Archeologist in				



Adopted Public Works Standard Construction Measure	Implementation Responsibility	Mitigation Schedule	Monitoring / Reporting Responsibility	Monitoring Actions / Completion Criteria
selecting a qualified archeological consultant from the EP Archeological Resources Consultant Pool, as needed, to implement these measures.			Responsibility	
2. Soil-disturbing activities in archeologically sensitive areas, as identified through the above process, will not begin until preconstruction archeological measures required by the EP Archeologist (e.g., preparation of an Archeological Testing Plan, Archeological Treatment Plan, and/or an Archeological Data Recovery Plan) have been implemented.				
Public Works Standard Construction Measure #9, Cultural Resources				
All projects that will alter a building or structure, produce vibrations, or include soil will be screened to assess whether cultural resources are or may be present disturbance and could be affected, as detailed below.	Project Sponsor Team, construction contractors	Prior to issuance of a construction permit	Project Sponsor Team, the EP Preservation staff, Public Works and the ERO	Considered complete upon compliance with requirements
Historic (Built Environment) Resources. Where construction will take place in proximity to a building or structure identified as a significant historical resource but would not otherwise directly affect it, Public Works will implement protective measures, such as but not limited to, the erection of temporary construction barriers to ensure that inadvertent impacts to such buildings or structures are avoided. These measures shall require the development of a Construction Best Practices for Historical Resources Plan and a plan outlining the Construction Monitoring for Historical Resources Program to be reviewed and approved by CCSF Planning Department Preservation staff.				
If a project includes or is directly adjacent to historic buildings or structures susceptible to vibration (such as but not limited to unreinforced masonry, earthen construction, lathe and plaster, or fragile architectural ornamentation) as determined in consultation with CCSF Planning Department Preservation staff, Public Works will determine if vibrations associated with proposed construction				



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Adopted Public Works Standard Construction Measure	Implementation Responsibility	Mitigation Schedule	Monitoring / Reporting Responsibility	Monitoring Actions / Completion Criteria
activities has the potential to cause damage to such buildings or structures. Generally, vibration below 0.12 inches per second peak				
particle velocity does not have the potential to damage sensitive				
buildings or structures. A vibration study may be necessary to				
determine if such vibration levels will occur. If Public Works				
determines in consultation with CCSF Planning Department				
Preservation staff that vibration damage may occur, Public Works				
will engage a qualified historic architect or historic preservation				
professional to document and photograph the preconstruction				
condition of the building and prepare a plan for monitoring the				
building during construction. The monitoring plan will be submitted				
to and approved by CCSF Planning Department Preservation				
Planner prior to the beginning of construction and will be				
implemented during construction. The monitoring plan will identify				
how often monitoring will occur, who will undertake the monitoring,				
reporting requirements on vibration levels, reporting requirements				
on damage to adjacent historical resources during construction,				
reporting procedures to follow if such damage occurs, and the				
scope of the preconstruction survey and post-construction conditions assessment.				
If any damage to a historic building or structure occurs, Public				
Works will modify activities to minimize further vibration. If any				
damage occurs, the building will be repaired following the Secretary				
of the Interior's Standards for the Treatment of Historic Properties				
under the guidance of a qualified historic architect or historic				
preservation professional in consultation with CCSF Department				
Preservation Planner.				

<sup>&</sup>lt;sup>1</sup> Definitions of MMRP Column Headings:

<u>Adopted Mitigation, Improvement or Public Works Standard Construction Measures:</u> Full text of the mitigation measures, improvement measures or Public Works Standard Construction Measures copied verbatim from the final CEQA document.

Implementation Responsibility: Entity who is responsible for implementing the mitigation measures, improvement measures or Public Works Standard Construction Measures. In most cases this is the project sponsor and/or project's sponsor's contractor/consultant and at times under the direction of the planning department.

Mitigation Schedule: Identifies milestones for when the actions in the mitigation measure, improvement measure or Public Works Standard Construction Measure need to be implemented.



Monitoring/Reporting Responsibility: Identifies who is responsible for monitoring compliance with the mitigation measure, improvement measure or Public Works Standard Construction Measure and any reporting responsibilities. In most cases it is the Planning Department who is responsible for monitoring compliance. If a department or agency other than the planning department is identified as responsible for monitoring, there should be an expressed agreement between the planning department and that other department/agency. In most cases the project sponsor, their contractor, or consultant are responsible for any reporting requirements.

Monitoring Actions/Completion Criteria: Identifies the milestone at which the mitigation measure, improvement measure or Public Works Standard Construction Measure is considered complete. This may also identify requirements for verifying compliance.