

File No. 151224

Committee Item No. 1

Board Item No. _____

COMMITTEE/BOARD OF SUPERVISORS

AGENDA PACKET CONTENTS LIST

Committee: Land Use and Transportation

Date January 11, 2016

Board of Supervisors Meeting

Date _____

Cmte Board

<input type="checkbox"/>	<input type="checkbox"/>	Motion
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Resolution
<input type="checkbox"/>	<input type="checkbox"/>	Ordinance
<input type="checkbox"/>	<input type="checkbox"/>	Legislative Digest
<input type="checkbox"/>	<input type="checkbox"/>	Budget and Legislative Analyst Report
<input type="checkbox"/>	<input type="checkbox"/>	Youth Commission Report
<input type="checkbox"/>	<input type="checkbox"/>	Introduction Form
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Department/Agency Cover Letter and/or Report
<input type="checkbox"/>	<input type="checkbox"/>	Memorandum of Understanding (MOU)
<input type="checkbox"/>	<input type="checkbox"/>	Grant Information Form
<input type="checkbox"/>	<input type="checkbox"/>	Grant Budget
<input type="checkbox"/>	<input type="checkbox"/>	Subcontract Budget
<input type="checkbox"/>	<input type="checkbox"/>	Contract/Agreement
<input type="checkbox"/>	<input type="checkbox"/>	Form 126 - Ethics Commission
<input type="checkbox"/>	<input type="checkbox"/>	Award Letter
<input type="checkbox"/>	<input type="checkbox"/>	Application
<input type="checkbox"/>	<input type="checkbox"/>	Form 700
<input type="checkbox"/>	<input type="checkbox"/>	Vacancy Notice
<input type="checkbox"/>	<input type="checkbox"/>	Information Sheet
<input type="checkbox"/>	<input type="checkbox"/>	Public Correspondence

OTHER

(Use back side if additional space is needed)

<input checked="" type="checkbox"/>	<input type="checkbox"/>	DPW Order No. 184030
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Street Encroachment Agreement
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Permit Plans
<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Plan Referral Letter, dtd 8/11/14
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Municipal Transportation Agency Memo, dtd 10/1/14
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Board of Supervisors Resolution No. 274-04
<input type="checkbox"/>	<input type="checkbox"/>	
<input type="checkbox"/>	<input type="checkbox"/>	
<input type="checkbox"/>	<input type="checkbox"/>	

Completed by: Alisa Somera Date January 7, 2016

Completed by: _____ Date _____

1 [Street Encroachment - Adjacent to the Peru Avenue Frontage of 711 Peru Avenue]

2
3 **Resolution granting revocable permission to Stanford Chiang to occupy a portion of**
4 **the Peru Avenue public right-of-way between Valmar Terrace and Felton Street to**
5 **construct and maintain various improvements, including a new bridge driveway and**
6 **associated foundation, adjacent to 711 Peru Avenue (Assessor's Block No. 5943, Lot**
7 **No. 025); conditioning the permit; affirming the Planning Department's determination**
8 **under the California Environmental Quality Act; and making findings of consistency**
9 **with the General Plan, and the eight priority policies of Planning Code, Section 101.1.**
10

11 WHEREAS, Pursuant to Public Works Code, Section 786, Robert Chiang, on behalf of
12 Property Owner Stanford Chiang, requested permission to occupy a portion of the Peru
13 Avenue public right-of-way to construct and maintain a new bridge driveway and associated
14 foundation, retaining wall structures, and required structural elements and other related
15 improvements adjacent to 711 Peru Avenue (Assessor's Block No. 5943, Lot No. 025); and

16 WHEREAS, The proposed encroachments, which would be located on a portion of
17 Peru Avenue between Valmar Terrace and Felton Street are shown on the permit plans,
18 copies of which are on file with the Clerk of the Board in File No. 151224 and incorporated
19 herein by reference; and

20 WHEREAS, The San Francisco Municipal Transportation Agency, per a memorandum
21 dated October 1, 2014, confirmed that the Transportation Advisory Staff Committee (TASC)
22 had no objections and recommended the proposed encroachment for approval; and

23 WHEREAS, The Planning Department, by letter dated August 11, 2014, found the
24 proposal to be consistent with the General Plan, and the eight priority policies of Planning
25

1 Code, Section 101.1, as previously determined in the General Plan findings issued on
2 January 22, 2001, (Case 200.1181R); and

3 WHEREAS, The Planning Department, by letter dated December 5, 2000, determined
4 that this project is categorically exempt from environmental review and determined that the
5 project is in compliance with the California Environmental Quality Act (California Public
6 Resources Code, Sections 21000, et seq.); and

7 WHEREAS, Copies of said letters are on file with the Clerk of the Board in File No.
8 151224 and is incorporated herein by reference; and

9 WHEREAS, The San Francisco Public Works Structural Division, per correspondence
10 dated July 15, 2015, confirmed that the Public Works Structural Division had no objections
11 and recommended the proposed encroachment for approval; and

12 WHEREAS, After a duly noticed public hearing on August 26, 2015, Public Works (the
13 "Department", "Public Works", or "PW") recommended approval of the proposed
14 encroachments, as set forth in PW Order No. 184030, dated September 14, 2015; and

15 WHEREAS, A copy of the PW Order is on file with the Clerk of the Board in File No.
16 151224 and is incorporated herein by reference; and

17 WHEREAS, The permit and associated street encroachment agreement
18 ("Encroachment Agreement"), copies of which are on file with the Clerk of the Board in File
19 No. 151224 and incorporated herein by reference, shall not become effective until:

20 (a) The Permittee executes and acknowledges the permit and delivers said permit to
21 the Department;

22 (b) Permittee delivers to Public Works a policy of insurance provided for in said
23 agreement and the Public Works Director shall have had approved the same as complying
24 with the requirement of said agreement. The Public Works Director may, in his discretion,
25

1 accept, in lieu of said insurance policy, the certificate of an insurance company certifying to
2 the existence of such a policy;

3 (c) The Permittee delivers to Public Works a maintenance bond to ensure adequate
4 maintenance of the encroachment for the life of the encroachment. The maintenance bond
5 shall be in the amount of \$25,000; and

6 (d) The Public Works Director records the permit and associated agreement in the
7 office of the County Recorder; and

8 WHEREAS, The Permittee, at the Permittee's sole expense and as is necessary as a
9 result of this permit, shall make the following arrangements:

10 (a) To provide for the support and protection of facilities belonging to Public Works,
11 San Francisco Public Utilities Commission, the San Francisco Fire Department, and other City
12 Departments, and public utility companies; and

13 (b) To remove or relocate such facilities and provide access to such facilities for the
14 purpose of constructing, reconstructing, maintaining, operating, or repairing such facilities;
15 and

16 WHEREAS, The Permittee shall procure the necessary permits from the Central Permit
17 Bureau, Department of Building Inspection and/or Bureau of Street-Use and Mapping, Public
18 Works, and pay the necessary permit fees and inspection fees before starting work; and

19 WHEREAS, The permit shall be conditioned upon payment of an annual public right-of-
20 way occupancy assessment pursuant to Public Works Code, Section 786, and the initial
21 amount of said fee shall be \$3,800.00: and

22 WHEREAS, No structure shall be erected or constructed within said street right-of-way
23 except as specifically permitted herein; and

24 WHEREAS, Use of the encroachment permit area is not exclusive to the Permittee and
25 may be accessed by the general public and adjacent property owners; and

1 WHEREAS, Should an adjacent property owner request a separate encroachment
2 permit that affects said encroachment, the Board hereby delegates to the Department, in its
3 discretion, the ability to amend or modify this permit to accommodate a separate permit(s).
4 Under such circumstances, the Department shall adjust the requirements concerning permit
5 maintenance, liability, annual occupancy fee, and any other applicable conditions to
6 proportionately allocate responsibility among the permit holders; and

7 WHEREAS, The Permittee shall assume all costs for the maintenance and repair of the
8 encroachments and no cost or obligation of any kind shall accrue to the Department by
9 reason of this permission granted; now, therefore, be it

10 RESOLVED, That pursuant to Public Works Code, Section 786, the Board of
11 Supervisors hereby grants revocable permission to Stanford Chiang to occupy a portion of the
12 Peru Avenue public right-of-way between Valmar Terrace and Felton Street to construct and
13 maintain a new bridge driveway and associated foundation, retaining wall structures, and
14 required structural elements and other related improvements adjacent to 711 Peru Avenue
15 (Assessor's Block No. 5943, Lot No. 025); and, be it

16 FURTHER RESOLVED, The permission granted herein is conditioned upon the
17 requirements set forth in this resolution; and, be it

18 FURTHER RESOLVED, That this Board adopts as its own the findings of consistency
19 with the General Plan, and Planning Code, Section 101.1, as set forth in the Planning
20 Department letter dated August 11, 2014, and affirms the Planning Department's
21 determination under the California Environmental Quality Act.



Edwin M. Lee
Mayor

Mohammed Nuru
Director

San Francisco Public Works
1 Dr. Carlton B. Goodlett Pl.
Room 348
San Francisco, CA 94102
tel 415-554-6920

sfpublicworks.org
facebook.com/sfpublicworks
twitter.com/sfpublicworks
twitter.com/mrcleansf

November 24, 2015

Angela Calvillo, Clerk of the Board
Board of Supervisors
1 Dr. Carlton B. Goodlett Place, Room 244
San Francisco, CA 94102-4689

RECEIVED
BOARD OF SUPERVISORS
SAN FRANCISCO

2015 NOV 25 AM 9:40

ll

Re: Proposed Resolution for Major Encroachment at 711 Peru Avenue

Dear Ms. Calvillo:

Attached, please find an original, two hard copies of a proposed resolution and supporting documentation for Board of Supervisors consideration. Electronic copies of the proposed resolution and accompanying documentation will be sent to you separately. This resolution would grant revocable permission to Mr. Stanford Chiang, to occupy a portion of the public right-of-way to construct and maintain various improvements, including a new bridge driveway and associated foundation adjacent to 711 Peru Avenue. Said encroachment will provide the subject property an accessible means of ingress and egress to the building's garage.

Pursuant to Public Works Code Section 786, Robert Chiang, on behalf of Property Owner Stanford Chiang, requested a Major Encroachment Permit in a letter dated July 2, 2014. The encroachment was previously approved by the Board of Supervisors on May 20, 2004, per Resolution No. 276-04. Resolution 276-04 allowed approval, conditioned so that the subject encroachment would be constructed no later than May 10, 2005. Because the subject encroachment was not completed by May 10, 2015, the resolution subsequently "expired," thus requiring a new Major Encroachment application. The Planning Department, by letter dated December 5, 2000, determined that this project is categorically exempt from environmental review and determined that the project is in compliance with the California Environmental Quality Act (California Public Resources Code §§ 21000 et seq.). The Planning Department, by letter dated September 24, 2014, declared that the proposed encroachments are in conformity with the General Plan and with the eight priority policies of Planning Code Section 101.1 as previously determined in the General Plan findings issued on January 22, 2001 (Case 200.1181R). The San Francisco Municipal Transportation Agency, per a memorandum dated October 1, 2014, confirmed that the Transportation Advisory Staff Committee (TASC) had no objections and recommended the proposed encroachment for approval. The San Francisco Public Works Structural Division, per correspondence

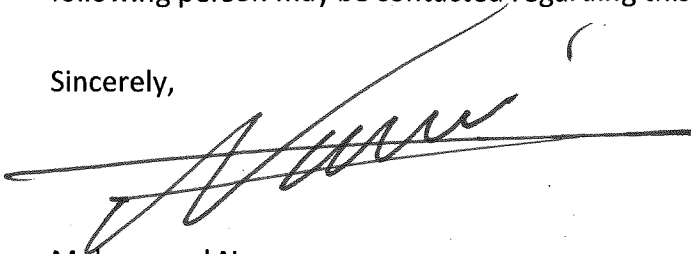
dated July 15, 2015, confirmed that the Public Works Structural Division had no objections and recommended the proposed encroachment for approval.

The following is a list of accompanying documents (three sets):

- Letter from Robert Chiang, dated July 2, 2014.
- Resolution 276-04, approved May 20, 2004.
- Planning Department Determination of Categorical Exemption from Environmental Review, dated December 5, 2000.
- Planning Department Approval letter regarding Application for General Plan Referral, dated August 11, 2014.
- San Francisco Municipal Transportation Agency (SFMTA) memorandum of approval, dated October 1, 2014.
- San Francisco Public Works, Structural Division Approval email dated July 15, 2015.
- Geotechnical review and observation letter for driveway foundation dated July 14, 2015.
- DPW Order No. 184030 approved September 14, 2015, recommending approval of the proposed Major Encroachment.
- Signed and Notarized Street Encroachment Agreement.
- Proposed plans for the Major Encroachment Permit.

Based on the above, San Francisco Public Works recommends approval of the subject permit. The following person may be contacted regarding this matter: Mr. Rahul Shah of BSM at (415) 554-5811.

Sincerely,

A handwritten signature in black ink, appearing to read 'Mohammed Nuru', is written over a horizontal line.

Mohammed Nuru
Director of Public Works

Attachments: As Noted

July 2, 2014

Mohammad Nuru, Director of SFDPW
1155 Market Street
San Francisco, CA 94103

RE: Major Encroachment Permit for 711-715 Peru Avenue (Block 5943, Lot 025)

Mr. Nuru,

I was originally issued a permit for this encroachment by the Board of Supervisors by way of Resolution No. 276-04. This Resolution was approved May 11, 2004 and it expired on May 11, 2005. I am requesting that this permit be reactivated for the purposes of continuing construction on the site.

Because of the unusual layout of the area, I will need to encroach on the public right of way in order to access and construct a driveway to complete the construction of the property. I have attached six (6) sets of construction plans for your reference. Completing the construction will be extremely difficult, if not impossible without permission to encroach on the public right of way.

If you have any questions or concerns, please do not hesitate to give me a call at (415) 760-6678.

Respectfully,
Robert Chiang



Edwin M. Lee, Mayor
Mohammed Nuru, Director

San Francisco Public Works
Office of the Deputy Director & City Engineer, Fuad Sweiss
Bureau of Street-Use & Mapping
1155 Market Street, 3rd Floor
San Francisco Ca 94103
(415) 554-5810 ■ www.sfdpw.org



Jerry Sanguinetti, Bureau Manager

DPW Order No: 184030

APPROVAL OF MAJOR ENCROACHMENT PERMIT NO. 14ME-0016 FOR THE CONSTRUCTION OF A NEW BRIDGE DRIVEWAY AND ASSOCIATED FOUNDATION, RETAINING WALL STRUCTURES, AND REQUIRED STRUCTURAL ELEMENTS FRONTING THE PROPERTY AT 711 PERU AVE.

APPLICANT: CM Construction on behalf of Robert Chiang
Attn: Thomas, Robert, or Stanford Chiang
711 Peru Ave.
San Francisco, CA 94112

PROPERTY IDENTIFICATION: 711 Peru Ave.
San Francisco, CA 94112
Block: 5943 Lot: 025

DESCRIPTION OF REQUEST: Major Encroachment Permit

BACKGROUND:

1. On July 2, 2014, the applicant filed a request with Public Works to consider approval of a Major Encroachment Permit to construct and maintain a new bridge driveway and associated foundation, retaining wall structures, and structural elements fronting the subject property.
2. The encroachment was previously approved by the Board of Supervisors on May 20, 2004, per Resolution No. 276-04. Resolution 276-04 allowed approval, conditioned so that the subject encroachment would be constructed no later than May 10, 2005.
3. Because construction was not completed within the allotted timeframe per Resolution 276-04, a new Major Encroachment Permit Application was required.
4. Per a letter dated August 11, 2014, Planning Department reviewed the application and General Plan Referral (GPR) and approved the proposal based on the fact that the GPR was previously reviewed and approved, and case 200.1181R remains valid.
5. Per a Memorandum dated October 1, 2014, the San Francisco Municipal Transportation Agency (SFMTA) reviewed the proposal at TASC on September 11 and had no further objections.
6. Per an email dated July 30, 2015, Public Works – Structural Division reviewed the plans, calculations, and geotechnical review letter and had no further objections, thus recommending moving forward with the application.



7. Upon reviewing and receiving positive recommendation from other City Departments, San Francisco Public Works scheduled a public hearing on August 26, 2015 to consider the proposed encroachment.
8. A copy of the Notice of Public Hearing was mailed to all property owners within a 300-foot radius of the subject property.
9. One objection via email was received on August 5, 2015. This objection addressed concerns pertaining mainly to the building construction and the work without permits. The objection also made the point that the applicant was working on the encroaching bridge foundation without the proper permit.
10. On August 26, 2015, Hearing Officer Rinaldi Wibowo conducted a hearing to consider the proposed encroachment.
11. The applicant's representative, Stanford Chiang, provided testimony on the proposed encroachment and the purpose.
12. One member of the public objected to the proposed encroachment stating that the proper permits had not been obtained for work, a lower level room with windows and a door, which was stated not to be a part of the original building plan, was included, corroded rebar is being used, and a proper survey of the site was not conducted.
13. The Hearing Officer considered and reviewed all of Public Works' files on the proposed encroachment. Based on the information, the Hearing Officer made a decision to approve the request subject to the submittal, review, and acceptance of a site survey in conjunction with the submitted plans.
14. The applicant provided the site survey on August 28, titled, Topographic Survey, (Job #03-1777) prepared by Langford Land Surveying, dated April 2003.
15. Upon review and after confirmation from Structural Department in an email dated 9/8/2015, it was determined that the designs were compliant and acceptable.

HEARING OFFICER RECOMMENDATION: APPROVAL of the request for Major Encroachment Permit No. 14ME-0020 and forward to the Board of Supervisors for a decision based on the following findings:

FINDING 1. The proposed encroachment was previously approved.

FINDING 2. The SFMTA had no objection to the proposed encroachment.

FINDING 3. The Planning Department determined that the subject encroachment is in conformity with the General Plan.

FINDING 4. Structural Department provided review and had no further comment.

FINDING 5. The majority of objections addressed building issues and did not pertain to the subject encroachment.

FINDING 6. A site survey was submitted within the allotted time, and after review by the Department and the Structural Division, no further objection was made.



9/14/2015

X 

Sanguinetti, Jerry
Bureau Manager
Signed by: Sanguinetti, Jerry

9/14/2015

9/14/2015

X 

Sweiss, Fuad
Deputy Director and City Engineer
Signed by: Sweiss, Fuad

X Mohammed Nuru

Nuru, Mohammed
Director, DPW
Signed by: Nuru, Mohammed



San Francisco Public Works
Making San Francisco a beautiful, livable, vibrant, and sustainable city.



**CITY AND COUNTY OF SAN FRANCISCO
DEPARTMENT OF PUBLIC WORKS**

STREET ENCROACHMENT AGREEMENT

WITNESSETH

In consideration of the adoption by the Board of Supervisors of the City and County of San Francisco of Resolution No. _____ at its meeting of _____, a true copy of which is attached hereto marked Exhibit A, and by this reference incorporated herein, and subject to all the terms, conditions and restrictions of this Agreement, also by reference incorporated herein, Permittee agrees that in accordance with this agreement and Exhibit A:

1. The permitted encroachment shall constitute a revocable license, shall be personal to Permittee and shall not be assignable or transferable by Permittee, whether separate from or together with any interest of Permittee.

Upon revocation the undersigned permittee, subsequent owners, or their heirs and assignees will within 30 days remove or cause to be removed the encroachment and all materials used in connections with its construction, without expense to the City and County of San Francisco, and shall restore the area to a condition satisfactory to the Department of Public Works.

2. The occupancy, construction and maintenance of the encroachment shall be in the location and as specified by the plans submitted, revised, approved and filed in the Department of Public Works. The permittee, by acceptance of this permit, acknowledges its responsibility to comply with all requirements of the occupancy, construction and maintenance of the encroachment as specified in Public Works Code Section 786 and with the sidewalk maintenance requirements specified in Public Works Code Section 706.
3. The permittee shall verify the locations of City and public service utility company facilities that may be affected by the work authorized by this permit and shall assume all responsibility for any damage to such facilities due to the work. The permittee shall make satisfactory arrangements and payments for any necessary temporary relocation of City and public utility company facilities.
4. In consideration of this Permit being issued for the work described in the application, Permittee on its behalf and that of any successor or assign, and on behalf of any lessee, promises and agrees to perform all the terms of this Permit and to comply with all applicable laws, ordinances and regulations.

Permittee agrees on its behalf and that of any successor or assign to hold harmless, defend, and indemnify the City and County of San Francisco, including, without limitation, each of its commissions, departments, officers, agents and employees (hereinafter collectively referred to as the "City") from and against any and all losses, liabilities, expenses, claims, demands, injuries, damages, fines, penalties, costs or judgments including, without limitation, attorneys' fees and costs (collectively, "claims") of any kind allegedly arising directly or indirectly from (i) any act by, omission by, or negligence of, Permittee or its subcontractors, or the offices, agents or employees of either, while engaged in the performance of the work authorized by this Permit, or while in or about the property subject to this Permit for any reason connected in any way whatsoever with the performance of the work authorized by this Permit, or allegedly resulting directly or indirectly from the maintenance or installation of any equipment, facilities or structures authorized under this Permit, (ii) any accident or injury to any contractor or subcontractor, or any officer, agent, or employee of either of them, while engaged in the performance of the work authorized by this Permit, or while in or about the property, for any reason connected with the performance of the work authorized by this Permit, or arising from liens or claims for services rendered or labor or materials furnished in or for the performance of the work authorized by this Permit, (iii) injuries or damages to real or personal property, good will, and persons in, upon or in any way allegedly connected with the work authorized by this Permit from any cause or claims arising at any time, and potentially falls within this indemnity provision, even if the allegations are or may be groundless, false or fraudulent, which obligations arises at the time such claim is tendered to Permittee by the City and continues at all times thereafter. Permittee agrees that the indemnification obligations assumed under this Permit shall survive expiration of the Permit or completion of work.

Permittee shall obtain and maintain through the terms of this Permit insurance as the City deems necessary to protect the City against claims for damages for personal injury, accidental death and property damage allegedly

arising from any work done under this Permit. Such insurance shall in no way limit Permittee's indemnity hereunder. Certificates of insurance, in form and with insurers satisfactory to the City, evidencing all coverages above shall be furnished to the City before commencing any operations under this Permit, with complete copies of policies furnished promptly upon City request.

5. Permittee will, at its own expense, maintain in full force and effect an insurance policy or policies issued by insurers with ratings comparable to A-VIII, or higher that are authorized to do business in the State of California, and that are satisfactory to the City. Approval of the insurance by City shall not relieve or decrease Permittee's liability hereunder.

Permittee must maintain in force, during the full term of the Agreement, insurance in the following amounts and coverages. Workers' Compensation, in statutory amounts, with Employer's Liability limits not less than \$1,000,000 each accident, injury, or illness; and Commercial General Liability Insurance with Limits not less than \$1,000,000 each occurrence and \$2,000,00 in the aggregate for bodily injury and property damage, including contractual liability, personal injury, products and completed operations; and Commercial Automobile Liability insurance with limits not less than \$1,000,000 each occurrence combined single limit or bodily injury and property damage, including owned, non-owned and hired auto coverage as applicable. Said policies shall include the City and County of San Francisco and its officers and employees jointly and severally as additional insured and shall apply as primary insurance and shall stipulate that no other insurance affected by the City and County of San Francisco will be called on to contribute to a loss covered hereunder.

All policies shall be endorsed to provide thirty (30) days advance written notice to the City of reduction, nonrenewal or material changes in coverages or cancellation of coverages for any reason. Notices shall be sent to the Department of Public Works, Central Permit Bureau, 1155 Market Street, 3rd Floor, San Francisco, CA, 94103. The permission granted by said resolution shall automatically terminate upon the termination of such insurance. Upon such termination, Permittee shall restore the right-of-way, without expense to the "Personal Injuries", as used herein, shall include wrongful death.

6. The permittee shall obtain a building permit as the Central Permit Bureau, 1660 Mission Street for the construction or alteration of any building.
7. The permittee shall contact the Street Permit Section (415) 554-5810, at least 48 hours prior to starting work to arrange an inspection schedule.
8. The permittee acknowledge its responsibility to notify any successor owners of the existence of the encroachment and the successor owner's obligation to obtain a permit from the Department of Public Works 60 days in advance of any pending sale of the permittee's adjacent property. The permittee's obligation to remove the encroachment and restore the right-of-way to a condition satisfactory to the Department of Public Works shall survive the revocation, expiration or termination of this permit or sale of permittee's adjacent property.

9. The permittee's right to use City property, as set forth in this permit is appurtenant to the property described as:
711 Peru Ave, San Francisco, CA 94134

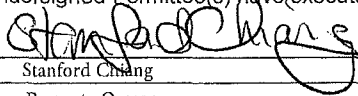
Block 5943 / Lot 025. The provisions of the permit shall bind all subsequent purchases and owners of the described property.

Subsequent purchasers and owners shall be subject to the revocation and termination provisions set forth in this permit.

10. The permittee or subsequent owners recognize and understand that this permit may create a possessory interest subject to property taxation and that the permittee or subsequent owner or owners may be subject to the payment of such taxes.
11. The permittee or subsequent owner or owners recognize the recordation of this permit.

All of the provisions of this agreement shall be deemed provisions of said resolution. All of the provisions of said resolution shall be deemed provisions of this agreement.

In witness whereof the undersigned Permittee(s) have executed this agreement this 25th day of September, 2015.


Stanford Chang

Property Owner

"IMPROVING THE QUALITY OF LIFE IN SAN FRANCISCO"

We are dedicated individuals committed to teamwork, customer service and continuous improvement in partnership with the community.

Customer Service

Teamwork

Continuous Improvement

STATE OF CALIFORNIA

COUNTY OF San Francisco)
) SS

On September 25th 2015 before me, Jiaqi Zhang Notary Public in and for
said County and State, personally appeared Stanford Chiang personally
known to me (or proven to me on the name(s) is/are subscribed to the within instrument and acknowledged to me
that he/she/they executed the same in his/her/their authorized capacity(ies); and that by this by his/her/their
signature(s) on the instrument the person(s), or entity upon behalf of which the person(s) acted, executed the
instrument.

WITNESS my hand and official seal

(NOTARY STAMP OR SEAL)



Notary Public in and for said
County and State



"IMPROVING THE QUALITY OF LIFE IN SAN FRANCISCO"

We are dedicated individuals committed to teamwork, customer service and continuous improvement in partnership with the community.

Customer Service

Teamwork

Continuous Improvement

Shah, Rahul (DPW)

From: Lui, Raymond (DPW)
Sent: Wednesday, July 15, 2015 12:05 PM
To: Shah, Rahul (DPW)
Cc: Sprinkle, John (DPW); Sweiss, Fuad (DPW); Rivera, Patrick (DPW); Cisneros, Fernando (DPW)
Subject: Fwd: 711 Peru Ave - Soils Engineer Letter Regarding Bridge/Driveway
Attachments: 711 Peru - Bridge & Driveway Geotech Letter.pdf

Rahul.

Based on review of the attached letter and the drawings I left on your desk, we recommend approval of the permit at 711 Peru.

Ray

Sent via the Samsung Galaxy S™ III, an AT&T 4G LTE smartphone

----- Original message -----

From: Stanford Chiang
Date: 07/15/2015 09:23 (GMT-08:00)
To: "Lui, Raymond (DPW)" , "Sprinkle, John (DPW)"
Subject: 711 Peru Ave - Soils Engineer Letter Regarding Bridge/Driveway

Raymond / John,

Please see attached letter from the geotech engineer regarding review of the structural plans for the bridge/driveway @ 711 Peru Ave. With this, all the items on the Structural Design Review comments should have been addressed and corrected. Let me know if there is still something outstanding that has not been corrected yet.

Thanks for your help,
Stanford Chiang

FRANK LEE & ASSOCIATES
GEOTECHNICAL CONSULTANTS
10 KOOTENAI COURT, FREMONT, CALIFORNIA 94539
(510) 676-5859

July 14, 2015
Job No: 11294-S1-L4

Ms. Lori Chiang
627 29th Avenue
San Francisco, California 94121

SUBJECT: BRIDGE DRIVEWAY FOUNDATION PLANS REVIEW
Proposed Four-Story Residential Building
711 Peru Avenue
San Francisco, California

Dear Ms. Lori Chiang:

Pursuant to your request, we have reviewed the Bridge Driveway Foundation plans for the proposed four-story residential building at the subject site. We have reviewed the Bridge Driveway Foundation Plan Sheet S1.0, S1.2A, S2 and S3, prepared by Santos & Urrutia Structural Engineers Inc., dated June 18, 2014, revision dated July 9, 2015 and found them to be in accordance with the recommendations contained in our "Soil and Foundation Investigation" report and Updated Soil and Foundation Investigation Report, dated April 21, 2015 for the subject site and to be adequate.

Frank Lee & Associates has been retained to observe the grading and foundation excavation operation during construction to assure compliance with recommendations and to determine that the subsurface soils conditions over the area do not differ from those observed during the soil investigation.

Please do not hesitate to call if you have any questions or if we can be of any further service. Thank you.

Very truly yours,

FRANK LEE & ASSOCIATES

Frank Lee
Frank Lee
Professional Engineer 34975



PROJECT NAME: METAL DECK BRIDGE DRIVEWAY
ADDRESS: 711 PERU AVENUE
BLOCK: LOT:
CITY: SAN FRANCISCO, CALIFORNIA

DRAWING INDEX:

S1.0 TITLE SHEET
S1.2A TYPICAL CONCRETE DETAILS
S2 BRIDGE DRIVEWAY FRAMING AND FOUNDATION PLANS
S3 STRUCTURAL DETAILS

GENERAL STRUCTURAL NOTES

I. GENERAL

- ALL CONSTRUCTION SHALL CONFORM TO THE CALIFORNIA BUILDING CODE 2013 EDITION w/ AMENDMENTS BY LOCAL JURISDICTIONS.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS AT JOB SITE BEFORE COMMENCING WORK AND SHALL REPORT ANY DISCREPANCIES TO THE ARCHITECT OR ENGINEER.
- OMISSIONS OR CONFLICT BETWEEN VARIOUS ELEMENTS OF THE DRAWINGS, NOTES, AND DETAILS SHALL BE BROUGHT TO THE ATTENTION OF ARCHITECT AND RESOLVED BEFORE PROCEEDING WITH THE WORK.
- DO NOT USE SCALED DIMENSIONS; USE WRITTEN DIMENSIONS OR WHERE NO DIMENSION IS PROVIDED, CONSULT THE ARCHITECT FOR CLARIFICATION BEFORE PROCEEDING WITH THE WORK.
- DETAILS SHOWN SHALL BE INCORPORATED INTO THE PROJECT AT ALL APPROPRIATE LOCATIONS WHETHER SPECIFICALLY CALLED OUT OR NOT.
- FOR WATERPROOFING, FIREPROOFING, ETC. REFER TO DRAWINGS OTHER THAN STRUCTURAL.
- SEE DRAWINGS OTHER THAN STRUCTURAL FOR: KINDS OF FLOOR FINISH AND THEIR LOCATION, FOR DEPRESSIONS IN FLOOR SLABS, FOR OPENINGS IN WALLS AND FLOORS REQUIRED BY ARCHITECTURAL AND MECHANICAL FEATURES, FOR ROADWAY PAVING, WALKS, RAMPS, STAIRS, CURBS, ETC.
- HOLES AND OPENINGS THROUGH WALLS AND FLOORS FOR DUCTS, PIPING AND VENTILATION SHALL BE CHECKED BY THE CONTRACTOR, WHO SHALL VERIFY SIZES AND LOCATION OF SUCH HOLES OR OPENINGS WITH THE PLUMBING HEATING, VENTILATING AND ELECTRICAL DRAWINGS AND THESE SUB-CONTRACTORS.
- NO PIPES AND DUCTS SHALL BE PLACED IN SLABS OR WALLS UNLESS SPECIFICALLY DETAILED OR APPROVED BY THE ARCHITECT.
- DRAWINGS AND SPECIFICATIONS REPRESENT FINISHED STRUCTURE. SUBCONTRACTOR SHALL BE RESPONSIBLE FOR MEANS AND METHODS OF CONSTRUCTION INCLUDING BUT NOT LIMITED TO SHORING AND TEMPORARY BRACING. THE SUBCONTRACTOR SHALL UNDERTAKE ALL NECESSARY MEASURES TO INSURE SAFETY OF ALL PERSONS AND STRUCTURES AT THE SITE AND ADJACENT TO THE SITE. OBSERVATION VISITS TO THE SITE BY THE ARCHITECT, ENGINEER SHALL NOT RELIEVE THE SUBCONTRACTOR OF SUCH RESPONSIBILITY.
- NOTE THAT SHEET IS A STANDARD COVER SHEET AND AS SUCH, NOT ALL TYP. DETAILS AND OR NOTES APPLY TO EVERY PROJECT.

II. DESIGN CRITERIA

- APPLICABLE CODE: CALIFORNIA BUILDING CODE 2013 & SBC 2013.
- VERTICAL LIVE LOADS: (REDUCIBLE). ROOF: 20 PSF. FLOOR: 40 PSF. HALLWAYS & CORRIDORS: 100 PSF.
- LATERAL LOADS:
 - WIND: 110 MPH BASIC WIND SPEED
 - SEISMIC: SITE CLASS "D"MAPPED SPECTRAL ACCELERATIONS: $S_s=1.50$ $S_1=0.66$
BASE SHEAR $V = .286 W$

III. MATERIALS

- CONCRETE:
 - REINFORCING STEEL: ASTM A615, GRADE 60, #4 AND SMALLER, GRADE 40.
 - CONCRETE: NORMAL WEIGHT U.O.N. WITH COMPRESSIVE STRENGTH OF THE FOLLOWING AT 28 DAYS:
 - FOOTINGS, MAT SLAB & DRILLED PIER: 3000 psi
 - WALLS, COLUMNS: 5000 psi
 - STRUCTURAL SLAB (I.W. P.T. SEE S3.2): 5000 psi
- MINIMUM CONCRETE COVER FOR REINFORCING STEEL:
 - SURFACE POURED AGAINST GROUND 3"
 - FORMED SURFACES BELOW GRADE 2"
 - SURFACES EXPOSED TO WEATHER 2"
 - BEAM BARS (INCLUDING STIRRUPS) 1-1/2"
 - ALL OTHER 1"
- ANCHOR BOLT EPOXY: HILTI HIT-RE 500-SD. (ICC ESR-2322) OR SIMPSON SET-XP (ICC ESR-2508)
- SCREW ANCHORS: SIMPSON TITEN HD (ICC ESR-2713)

* USE COMPRESSED AIR TO BLOW THE DUST OUT OF ANCHOR BOLT HOLES.

- CMU: UNITS 1500 PSI, MORTAR (TYPE "S"), GROUT 2000 PSI
- STEEL:
 - SHAPES AND PLATES: ASTM A 36; TUBES: ASTM A500, GRADE B.
 - MOMENT FRAMES (BEAMS, COLUMNS): ASTM A992 OR A913 (50 ksi)
 - MOMENT FRAMES (PLATES): A572, GRADE 50.
 - METAL STUDS, SEE S1.4, NOTES
 - METAL JOISTS, 50 ksi
 - BOLTS: ASTM A307, U.O.N.
 - WELDING ELECTRODES: E-70
 - FOR FULL PEN WELDS USE CHARPY V-NOTCH WIRE, MIN. 20 ft # 0 TF
- METAL DECKING, SEE S1.5

D. WOOD

- FRAMING LUMBER - DOUGLAS FIR LARCH
 - a. HEADERS, PLATES, JOISTS: NO.1
 - b. STUDS, BLOCKING: NO.2
 - c. ALL LUMBER IN CONTACT WITH CONCRETE: PRESERVATIVE TREATED DOUGLAS FIR (NOT CCA-C)
 - d. POSTS AND BEAMS: NO.1
- PLYWOOD SHEATHING
 - a. SHEARWALL PLYWOOD: 1/2 INCH STRUCTURAL I, C-D EXTERIOR, APA RATED 32/16, SEE 6/91-1A SHEARWALL SCHEDULE FOR THICKNESS.
 - b. ROOF SHEATHING: 5/8 INCH STRUCTURAL II, C-D EXTERIOR APA RATED 32/16
 - c. FLOOR SHEATHING: 3/4 INCH STRUCTURAL II, C-D EXTERIOR APA RATED 48/24
- FRAMING HARDWARE AND JOIST HANGERS:
 - a. AS MANUFACTURED BY SIMPSON STRONGTIE CO. OR APPROVED EQUAL SIMPSON DESIGNATIONS USED. USE NAILS PER I.C.C. APPROVAL FOR EACH DEVICE.
 - b. COMMON NAILS, UNLESS OTHERWISE NOTED, SHORT NAILS MAY BE USED PROVIDED THEY HAVE COMMON CODE SPECIFIED MINIMUM EMBEDMENT, ALL NAILING TO BE PER IBC TABLE NO. 2304.9.1 UNLESS NOTED OTHERWISE.
- GLU-LAM BEAMS: 24F-V4 (Fb=2400 PSI)
- PARALLAM & MICROLAM BEAMS AND T-J'S TO BE FABRICATED BY TRUS JOIST.
- FOR MICROLAMS SEE CODE EVALUATION: ICC-ES ESR-1387
- FOR T-J JOISTS SEE CODE EVALUATION: ICC-ES ESR-1153

IV. EXPOSURE TO WEATHER:

- STEEL:
 - ALL EXPOSED MEMBERS SHALL BE COATED WITH A ZINC RICH PRIMER.
 - BOLTS, NUTS AND MISCELLANEOUS HARDWARE SHALL BE GALVANIZED.
- WOOD:
 - ALL EXTERIOR TIMBER AND GLU-LAM BEAMS SHALL BE PRESSURE TREATED (BUT NOT CHROMATED COPPER ARSENATE) OR WOOD OF NATURAL RESISTANCE TO DECAY.
 - ALL EXTERIOR HANGERS AND OTHER SIMPSON TYPE PRODUCTS SHALL BE GALVANIZED.
 - ALL PLYWOOD SHALL BE OF AN EXTERIOR GRADE.
 - METAL CONNECTIONS IN CONTACT w/ PRESSURE TREATED WOOD SHALL BE HOT-DIPPED GALVANIZED w/ MIN. ZINC COATING OF 0.185.
 - ALL NAILS & ANCHOR BOLTS IN CONTACT w/ PRESSURE TREATED WOOD SHALL BE HOT DIPPED GALVANIZED.

V. ABBREVIATIONS:

B.N. — BOUNDARY NAILING	S.A.D. — SEE ARCHITECTURAL
DIA. — DIAMETER	DRAWINGS
E.N. — EDGE NAILING	S.O.G. — SLAB-ON-GRADE
H.P. — HIGH POINT	S.S. — STAINLESS STEEL
L.P. — LOW POINT	T.O. — TOP OF
L.V. — LAMINATED VENEER LUMBER	TYP. — TYPICAL
L.W. — LIGHT WEIGHT	U.O.N. — UNLESS OTHERWISE
M.L. — MICROLAM	NOTED
PLYWD — PLYWOOD SHEATHING	W.W.F. — WELDED WIRE FABRIC
PSL — PARALLEL STRAND LUMBER	
P.T. — PRESSURE TREATED OR POST-TENSIONED	

SYMBOLS

(E) WALL BELOW	STEEL COLUMN ABOVE
(E) WALL ABOVE	STEEL COLUMN BELOW
(N) CONC. WALL ABOVE	MOMENT CONNECTION
BRICK OR CMU WALL ABOVE	CONCRETE TOPPING OVER PLYWOOD
WOOD SHEARWALL (BELOW)	CONCRETE TOPPING OVER CORRUGATED METAL DECK
WOOD JOIST HANGER (HUS TYPE, U.O.N.)	CONCRETE COLUMN ABOVE
WOOD POST BELOW	CONCRETE COLUMN BELOW w/ DROP CAP
WOOD POST ABOVE (OR ABOVE & BELOW)	DRILLED CONCRETE PIER
HOLDOWN WOOD POST	PRECAST, PRESTRESSED CONCRETE PILE
	DIAGONAL ABOVE
	DIAGONAL BELOW

REVISIONS	BY
03/20/15	M.C.

SANTOS & URRUTIA
ENGINEERS
2441 HARRISON STREET
SAN FRANCISCO, CA 94104
TEL: (415) 642-7722
FAX: (415) 642-7590



GENERAL STRUCTURAL NOTES, DRAWING INDEX

METAL DECK BRIDGE DRIVEWAY
711 PERU AVENUE
SAN FRANCISCO, CALIFORNIA

Date: 06/18/14
Scale: AS NOTED
Drawn by: M.C.
Job No: 9187
Sheet: S1.0
Of 4 Sheets

City and County of San Francisco
Department of Building Inspection



San Francisco Mayor
Antonio C. Villaraigosa, City Director

NOTICE

SPECIAL INSPECTION REQUIREMENTS

Please note that the Special Inspections shown on the approved plans and checked on the Special Inspections form issued with the permit are required for this project. The employment of special inspectors is the direct responsibility of the owner or the engineer/architect of record acting as the owner's representative.

These special inspections are required in addition to the called inspections performed by the Department of Building Inspection. The name of the special inspector shall be furnished to the district building inspector prior to start of work for which special inspection is required.

For questions regarding the details or extent of required inspection or tests, please call the Plan Checker assigned to this project or 415-558-6132. If there are any test problems regarding special inspection, please call your District Building Inspector or 415-558-6570.

Before final building inspection is scheduled, documentation of special inspection compliance must be submitted to and approved by the Special Inspection Services staff. To avoid delays in the process, the project owner should request final compliance reports from the architect or engineer of record and/or special inspection agency soon after the conclusion of work requiring special inspection. The permit will not be finalized without compliance with the special inspection requirements.

STRUCTURAL OBSERVATION REQUIREMENTS

Structural observation shall be provided as required per Section 1710. The building permit will not be finalized without compliance with the structural observation requirements.

Special Inspection Services Contact Information

- Telephone: (415) 558-6132
- Fax: (415) 558-6474
- Email: sbi@specialinspections.org
- In person: 3rd Floor at 1660 Mission Street

Note: We are moving towards a "paperless" mode of operation. All special inspection submittals, including final letters, may be emailed (preferred) or faxed. We will also be shifting to a paperless fax receipt mode.

Special Inspection Services
1660 Mission Street - San Francisco CA 94103
Office (415) 558-6132 - Fax (415) 558-6474 - www.sbi.org

SPECIAL INSPECTION AND STRUCTURAL OBSERVATION

A COPY OF THIS DOCUMENT SHALL BE KEPT WITH THE APPROVED STRUCTURAL DRAWING SET

JOB ADDRESS: 711 PERU AVENUE APPLICATION NO. ADDENDUM NO. _____
OWNER NAME: OWNER PHONE NO. _____

Employment of Special Inspection is the direct responsibility of the OWNER, or the engineer/architect of record acting as the owner's representative. Special inspection shall be one of those as prescribed in Sec 1704. Name of special inspector shall be furnished to DBI District Inspector prior to start of the work for which the Special Inspection is required. Structural observation shall be performed as provided by Section 1710. A preconstruction conference is recommended for owner/owner's representative or design/build projects, complex and high-rise projects, and for projects utilizing new processes or materials.

In accordance with Sec. 1704.1700.1704 (2010 SBC), Special inspection and/or testing is required for the following work:

- | | | |
|--|---------------------------|--|
| 1. Concrete (Foundation & footings) | 11. High strength bolting | 21. Seismic details in existing masonry or masonry |
| 2. Masonry (Foundation & footings) | 12. Foundation anchors | 22. Foundation anchors per SBC Sec 1802.6 & 1802.7 |
| 3. Structural steel (Foundation & footings) | 13. Reinforced concrete | 23. Foundation anchors per SBC Sec 1802.6 & 1802.7 |
| 4. Reinforced concrete (Foundation & footings) | 14. Reinforced concrete | 24. Foundation anchors per SBC Sec 1802.6 & 1802.7 |
| 5. Foundation anchors | 15. Foundation anchors | 25. Foundation anchors per SBC Sec 1802.6 & 1802.7 |
| 6. Foundation anchors | 16. Foundation anchors | 26. Foundation anchors per SBC Sec 1802.6 & 1802.7 |
| 7. Foundation anchors | 17. Foundation anchors | 27. Foundation anchors per SBC Sec 1802.6 & 1802.7 |
| 8. Foundation anchors | 18. Foundation anchors | 28. Foundation anchors per SBC Sec 1802.6 & 1802.7 |
| 9. Foundation anchors | 19. Foundation anchors | 29. Foundation anchors per SBC Sec 1802.6 & 1802.7 |
| 10. Foundation anchors | 20. Foundation anchors | 30. Foundation anchors per SBC Sec 1802.6 & 1802.7 |

24. Structural observation per Sec. 1710 (2010 SBC) for the following: (See Foundation & Footings)

25. Foundation anchors per SBC Sec 1802.6 & 1802.7

26. Foundation anchors per SBC Sec 1802.6 & 1802.7

27. Foundation anchors per SBC Sec 1802.6 & 1802.7

28. Foundation anchors per SBC Sec 1802.6 & 1802.7

29. Foundation anchors per SBC Sec 1802.6 & 1802.7

30. Foundation anchors per SBC Sec 1802.6 & 1802.7

31. Foundation anchors per SBC Sec 1802.6 & 1802.7

32. Foundation anchors per SBC Sec 1802.6 & 1802.7

33. Foundation anchors per SBC Sec 1802.6 & 1802.7

34. Foundation anchors per SBC Sec 1802.6 & 1802.7

35. Foundation anchors per SBC Sec 1802.6 & 1802.7

36. Foundation anchors per SBC Sec 1802.6 & 1802.7

37. Foundation anchors per SBC Sec 1802.6 & 1802.7

38. Foundation anchors per SBC Sec 1802.6 & 1802.7

39. Foundation anchors per SBC Sec 1802.6 & 1802.7

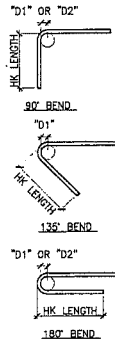
40. Foundation anchors per SBC Sec 1802.6 & 1802.7

CLASS "B" LAP SPLICES				
Fy	BAR SIZE	SPECIFIED CONCRETE STRENGTH, f'c		
		2500	3000	4000
40	#3	1'-4"	1'-3"	1'-1"
40	#4	1'-8"	1'-7"	1'-5"
60	#5	3'-3"	3'-0"	2'-9"
60	#6	3'-11"	3'-7"	2'-9"
60	#7	5'-9"	5'-3"	4'-8"
60	#8	6'-6"	6'-0"	5'-2"
60	#9	7'-4"	6'-9"	5'-3"
60	#10	8'-3"	7'-7"	6'-7"
60	#11	9'-2"	8'-5"	7'-3"
60	#14	11'-1"	10'-1"	8'-9"

THE ABOVE REQUIREMENTS APPLY TO CONFIGURATIONS WHERE:

1. THE BARS IN QUESTION ARE TOP BARS OR BARS IN LIGHTWEIGHT CONCRETE
2. BARS ARE UNCOATED
3. CONCRETE IS NORMAL WEIGHT
4. CLEAR SPACING AND CLEAR COVER > db
- OR CLEAR SPACING > db
- AND CLEAR COVER > db
- AND MIN. STIRRUPS OR TIES ARE PROVIDED

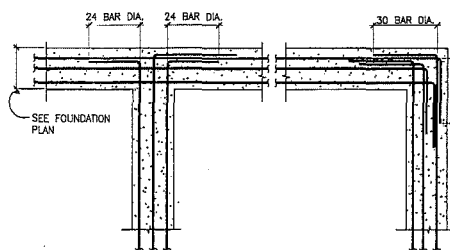
FOR OTHER CONFIGURATIONS CONTACT ENGINEER.



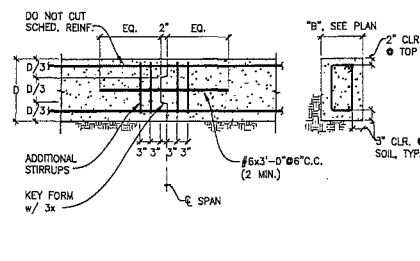
DIAMETER OF BENDS	
"D1"	1 1/2" FOR #3 BARS 2" FOR #4 BARS 2 1/2" FOR #5 BARS
"D2"	5d FOR #3 THRU #6 BARS 8d FOR #8 THRU #11 BARS 10d FOR #14 AND #10 BARS

BAR SIZE	MAIN REINFORCEMENT	STIRRUPS AND TIE HOOPS
#3	6"	4"
#4	8"	4"
#5	9 1/2"	4 1/2"
#6	11 1/2"	5"
#7	13 1/2"	6"
#8	15"	7"
#9	18"	9"
#10	20"	10"
#11	22"	11"

NOTES:
"D1" TO BE USED FOR STIRRUPS, TIES & WALLS REINFORCING AT OPENINGS.
"D2" FOR ALL OTHERS



NOTE: STIRRUPS NOT SHOWN

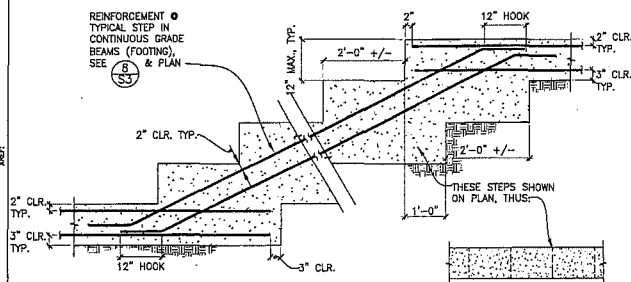


1 TYPICAL OFFSET AND TYPICAL LAP SPLICE
SCALE 1/2" = 1'-0"

2 STANDARD HOOKS
SCALE 1/2" = 1'-0"

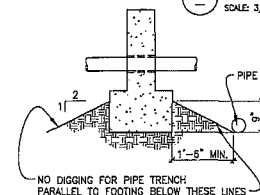
3 TYPICAL GRADE BEAM INTERSECTIONS
SCALE 3/4" = 1'-0"

4 TYPICAL GRADE BEAM CONSTRUCTION JOINT
SCALE 3/4" = 1'-0"

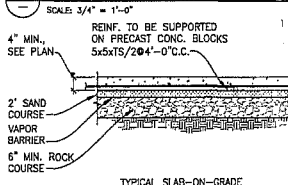
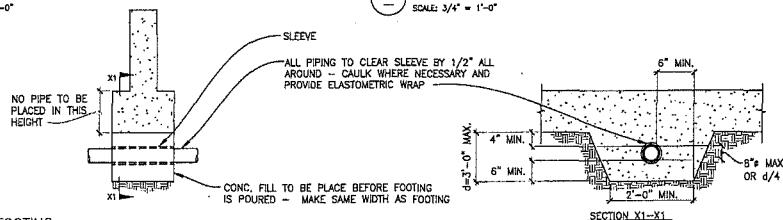


NOTES:
1. DO NOT SLOPE GRADE BEAMS > 1 VERT TO 10 HORIZ.
2. DIMENSIONS AS SHOWN UNLESS OTHERWISE SHOWN ON DRAWINGS

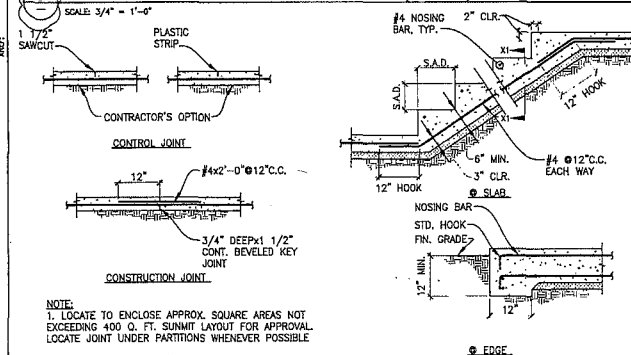
5 TYPICAL STEPS IN CONTINUOUS GRADE BEAMS (FOOTING)
SCALE 3/4" = 1'-0"



6 PIPE CLEARANCE AND DETAILS @ FOOTING
SCALE 3/4" = 1'-0"

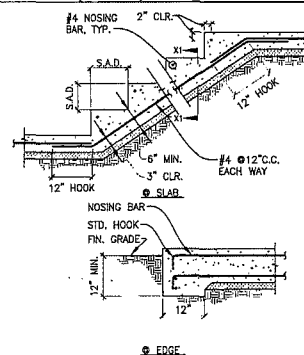


7 TYPICAL SLAB-ON-GRADE DETAILS
SCALE 3/4" = 1'-0"

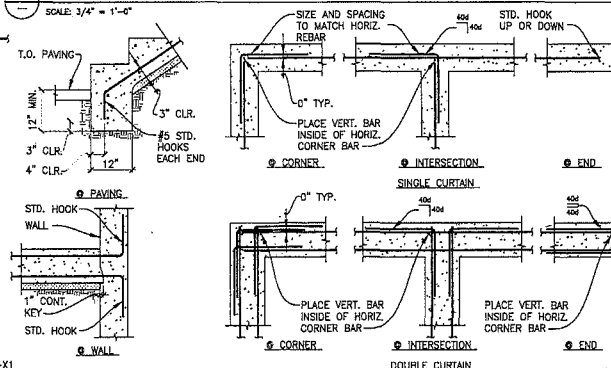


NOTE:
1. LOCATE TO ENCLOSE APPROX. SQUARE AREAS NOT EXCEEDING 400 Q. FT. SUMMIT LAYOUT FOR APPROVAL
LOCATE JOINT UNDER PARTITIONS WHENEVER POSSIBLE

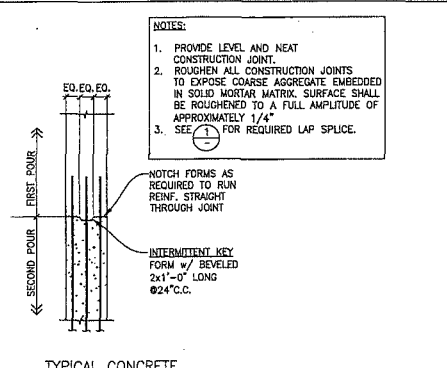
8 TYPICAL CONSTRUCTION JOINT DETAILS @ SLAB-ON-GRADE
SCALE 3/4" = 1'-0"



9 TYPICAL CONCRETE STAIRS ON GRADE
SCALE 3/4" = 1'-0"



10 TYPICAL CONCRETE WALL INTERSECTION
SCALE 3/4" = 1'-0"



11 TYPICAL CONCRETE WALL CONSTRUCTION JOINT
SCALE 3/4" = 1'-0"

REVISIONS
07/09/15 M.C.

SANTOS & URRUTIA
ENGINEERS
3455 AMERSON STREET
SAN FRANCISCO, CA 94132
TELEPHONE (415) 842-7742
FAX (415) 842-7590



TYPICAL CONCRETE DETAILS

METAL DECK BRIDGE DRIVEWAY
711 PERU AVENUE
SAN FRANCISCO, CALIFORNIA

Date: 06/18/14
Scale: AS NOTED
Drawn By: M.C.
Job No: 9187
Sheet
S1.2A
Of 4 Sheets

Date:	06/18/14
Scale:	3/4"=1'-0"
Drawn By:	M.C.
Job No:	9187
Sheet	S3
Of 4 Sheets	



SAN FRANCISCO PLANNING DEPARTMENT

August 11, 2014

Mr. Mohammed Nuru, Director
c/o: Mr. Rahul Shah, Junior Engineer
Department of Public Works: Bureau of Street-Use and Mapping
1155 Market Street, 3rd Floor
San Francisco, CA 94103

RE: Application for General Plan Referral
711 Peru Avenue – Case 2014.1123R
Major Encroachment Permit – 14ME-0016

1650 Mission St.
Suite 400
San Francisco,
CA 94103-2479

Reception:
415.558.6378

Fax:
415.558.6409

Planning
Information:
415.558.6377

Dear Mr. Nuru,

On July 18, 2014, the San Francisco Planning Department received an application for a General Plan Referral at 711 Peru Avenue, in relation to Major Encroachment Permit application, reference BPA#200403309962. This project was originally approved by the Board of Supervisors under BOS Resolution No. 276-04 on April 19, 2004, which expired on May 10, 2005.

Given the amount of time that had passed since Planning issued its General Plan determination for this project, DPW requested that Planning review the permit application to determine if anything has changed that would alter its General Plan analysis. The Planning Department has performed a new review and determined that the General Plan findings issued on January 22, 2001 (Case 200.1181R) still remain valid.

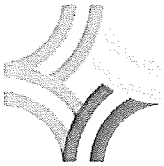
If you have any further questions, please contact me via email at lisa.chen@sfgov.org or by phone at (415)975-9124.

Sincerely,

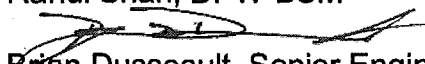
A handwritten signature in black ink, appearing to be "Lisa Chen".

Lisa Chen
Planner, Citywide Planning Division
San Francisco Planning Department

cc: Gil Kelley, Director of Citywide Planning
Adam Varat, Senior Planner, Citywide Planning



MEMORANDUM

DATE: October 1, 2014
TO: Rahul Shah, DPW-BSM
THROUGH:  Brian Dusseault, Senior Engineer
FROM: ^{NW} Norman Wong, Engineer
SUBJECT: 711 Peru Avenue – Major Encroachment Permit

At its meeting of September 11, 2014, TASC had no objections to a major encroachment permit for construction of a new metal deck bridge driveway. This was previously approved under BOS Resolution #276-04 in April 2004; however the approval expired in May 2005.

If you have any questions, please call me at 701-4600. Thank you.

/NW

Edwin M. Lee
Mayor

Tom Nolan
Chairman

Cheryl Brinkman
Vice-Chairman

Malcolm Heinicke
Director

Jerry Lee
Director

Joél Ramos
Director

Cristina Rubke
Director

Edward D. Reiskin
Director of
Transportation



[Construct retaining walls in public right-of-way in order to provide for a parking garage driveway and a level entry to a new resident at 715 Peru Avenue (Block 5943, Lot 25).]

Resolution granting, through May 10, 2005, revocable permission to Robert C. M. & Lori O. W. Chiang to occupy a portion of the street to construct retaining walls in public right-of-way in order to provide for a parking garage driveway and a level entry to a new resident at 715 Peru Avenue (Block 5943, Lot 025); conditioned upon the payment of a \$1,000 fee from Robert and Lori Chiang to the City and County of San Francisco.

WHEREAS, That pursuant to Public Works Code Section 786, permission, revocable at the will of the Board of Supervisors and automatically terminating upon failure to continue in force the insurance protection hereafter referred to is hereby granted to Robert C. M. & Lori O. W. Chiang to occupy a portion of the street area to construct retaining walls in order to provide for a parking garage driveway and a level entry to a new resident at 715 Peru Avenue (Block 5943, Lot 025) as shown on the plans, a copy of which is on file in the office of the Clerk of the Board of Supervisors; and,

WHEREAS, The Department of City Planning, by Motion No. 2000.1181 R, dated January 22, 2001, declared that the proposed encroachment would be in conformity with the General Plan if the following conditions are met:

1. Permanent and unobstructed easement for ingress and egress across the public right-of-way is given to the adjacent property (719 Peru, Assessor's Block 5943, lot 024) and,
2. Such easement must satisfy all relevant building code

WHEREAS, That this permit shall not become effective until:

1 [a] There shall have been executed and acknowledged by the Permittee; and by it delivered to
2 the City's Controller, who shall have the recorded in the office of the City Recorder a
3 street encroachment agreement, a copy of which is on file with the Clerk of the Board of
4 Supervisor in File No. 040228, and;

5 [b] There shall have been executed and acknowledged by the Permittee; and by it delivered to
6 the City Controller, who shall have the recorded in the office of the City Recorder a
7 maintenance agreement, a copy of which is on file with the Clerk of the Board of
8 Supervisor in File No. 040228, and;

9 [c] There shall be delivered to the Controller the policy of insurance provided for in said
10 agreement and the Controller shall have had approved same as complying with the
11 requirement of said agreement. The Controller may, as his option accept, in lieu of said
12 insurance policy, the certificate of an insurance company certifying to the existence of
13 such a policy, which is hereby declared to be a part of this resolution as if set forth fully
14 herein; and,

15 [d] There shall have been executed and acknowledge by the Permittee; and by it delivered to
16 the City's Controller, who shall recorded in the office of the City Recorder a maintenance
17 agreement, a copy of which is on file with the Clerk of the Board of Supervisor in File No.
18 040228, and;

19 WHEREAS, The Permittee, at the permittee's sole expense, and as is necessary as a
20 result of this permit shall make arrangements:

21 [1] to provide for the support and protection of facilities belonging to the Department of Public
22 Works, public utility companies, the San Francisco Water Department, the San Francisco Fire
23 Department and other City Departments;

24 [2] to remove or change the location of such facilities and provide access to such facilities for the
25 purpose of constructing, reconstructing, maintaining, operating, or repairing such facilities; and,

1 WHEREAS, The Permittee shall procure the necessary permits from the Central Permit
2 Bureau, Department of building Inspections, and/or Bureau of Street-Use and Mapping, Department
3 of Public Works, and pay the necessary permit fees and inspection fees before starting work; and,

4 WHEREAS, That the Board of Supervisors reserves the right to exact a permit fee, or rental,
5 for the use of said street area for the purpose of performance of its governmental or proprietary
6 activities, including the construction, reconstruction, maintaining, operating, repairing, removing, and
7 use of public utilities located under, over or along said street area; and,

8 WHEREAS, That no structure shall be erected or constructed within said street right-
9 of-way except as specifically permitted herein; and,

10 WHEREAS, That the Permittee shall assure all costs and maintenance and repair of
11 the encroachments at no cost or obligation of any kind shall accrue to the City and County of
12 San Francisco by reason of this permission granted; now, therefore, be it

13 RESOLVED, That pursuant to Public Works Code Section 786, permission, revocable
14 at the will of the Board of Supervisors and automatically terminating upon failure to continue
15 in force ~~tee~~ the provisions and requirements of the Street Encroachment Agreement
16 hereafter referred to, is hereby granted, through May 10, 2005, to Robert C. M. & Lori O. W.
17 Chiang to occupy a portion of the street area to construct retaining walls in order to provide
18 for a parking garage driveway and a level entry to a new resident at 715 Peru Avenue (Block
19 5943, Lot 025) as shown on the plans, a copy of which is on file in the office of the Clerk of
20 the Board of Supervisors. This permission is conditioned upon the payment of a \$1,000 fee
21 from Robert and Lori Chiang to the City and County of San Francisco. This permission shall
22

1 automatically terminate at 12:01 A.M. on May 11, 2005, unless otherwise extended by the
2 City and County of San Francisco.

4 RECOMMENDED:

5 See original for signature

6 Robert P. Beck

7 Deputy Director for Engineering

APPROVED:

See original for signature

Edwin M. Lee

Director of Public Works



City and County of San Francisco

Tails

Resolution

City Hall
1 Dr. Carlton B. Goodlett Place
San Francisco, CA 94102-4689

File Number: 040228

Date Passed:

Resolution granting, through May 10, 2005, revocable permission to Robert C. M. & Lori O. W. Chiang to occupy a portion of the street to construct retaining walls in public right-of-way in order to provide for a parking garage driveway and a level entry to a new resident at 715 Peru Avenue (Block 5943, Lot 025); conditioned upon the payment of a \$1,000 fee from Robert and Lori Chiang to the City and County of San Francisco.

April 27, 2004 Board of Supervisors — CONTINUED

Ayes: 11 - Alioto-Pier, Ammiano, Daly, Dufty, Gonzalez, Hall, Ma, Maxwell, McGoldrick, Peskin, Sandoval

May 11, 2004 Board of Supervisors — ADOPTED

Ayes: 10 - Alioto-Pier, Daly, Dufty, Gonzalez, Hall, Ma, Maxwell, McGoldrick, Peskin, Sandoval

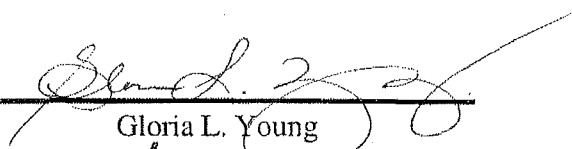
Excused: 1 - Ammiano

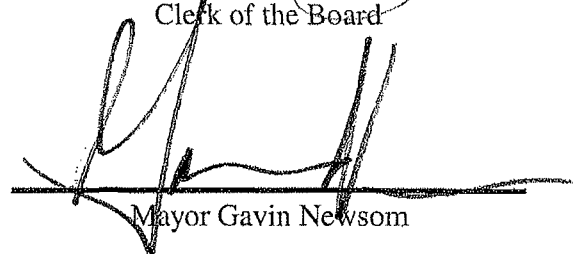
File No. 040228

I hereby certify that the foregoing Resolution
was ADOPTED on May 11, 2004 by the
Board of Supervisors of the City and County
of San Francisco.

MAY 20 2004

Date Approved


Gloria L. Young
Clerk of the Board


Mayor Gavin Newsom

City and County of San Francisco



Willie Lewis Brown, Jr., Mayor
Mark A. Primeau, Architect, AIA, Director



(415) 554-5800
FAX (415) 554-5843
<http://www.sfdpw.com>

Department of Public Works
Bureau of Street-Use and Mapping
875 Stevenson Street, Room 460
San Francisco, CA 94103-0942

Barbara L. Moy, Bureau Manager

November 1, 2000

Mr. Gerald Green
Director of Planning
1660 Mission Street, 5th Floor
San Francisco, CA 94103
Attn: Sally Ramon

RE: General Plan Referral, 715 Peru Avenue

Dear Mr. Green:

This is in reference to an application filed with our office for a Major Encroachment Permit at the subject properties.

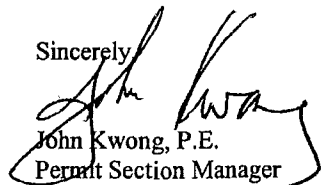
This application, from Kollerbohm Group, LLC, 601 Van Ness Avenue, Suite E3-519, San Francisco, CA 94102, agents for James Daly property owner of 715 Peru Avenue, is to construct retaining walls in the public right-of-way in order to provide for a parking garage driveway and a level entry to the proposed building.

Pursuant to Section 786 of the Public Works Code, please inform us of your recommendations, with regards to the subject project for conformance to the General Plan. Attached for your use and information is the completed General Plan Referral Application and a check for \$224, payable to the Planning Department, to cover the cost of administrative review.

Please make requests for any additional documents and/or fees directly to the applicant.

If you have any further questions, please call me at (415) 554-5810 or Mr. Fred A. Kollerbohm, P.E. at (415) 447-4247.

Sincerely,


John Kwong, P.E.
Permit Section Manager
Division of Street-Use Permits
Bureau of Street-Use & Mapping

SAN FRANCISCO DEPARTMENT OF CITY PLANNING
CATEGORICALLY EXEMPT FROM ENVIRONMENTAL REVIEW

*CLASS 3(a) - new construction of
one single-family residence; 5-minor
alterations in land use limitations.*

Lisa Gibson 12/5/00

Attachments: As Noted

J:\Kwong\John\majors\715 Peru.doc



LEGISLATION RECEIVED CHECKLIST

Date Nov. 25, 2015

File Number (if applicable) _____

- | | | |
|--------------------------|--|-----------------------|
| <input type="checkbox"/> | Legislation for Introduction (NEW) | ▶▶▶ Legislative Clerk |
| <input type="checkbox"/> | Legislation Pending in Committee (AMENDED) | ▶▶▶ Committee Clerk |
| <input type="checkbox"/> | Legislation for Board Agenda (AMENDED) | ▶▶▶ Deputy Clerk |

Supervisor, Mayor, and Departmental Submittals

Grant Ordinance

- ☐ **Legislation:** Original, 1 hard copy, and 1 electronic copy in **Word** format
- ☐ **Signature:** Department Head, Mayor or the Mayor's designee, plus the Controller
- ☐ **Supporting documents:** 1 full set, and separate **pdf** copies of each in email
 - ☐ Cover letter (original)
 - ☐ Grant budget/application
 - ☐ Grant information form, including signed disability checklist
 - ☐ Letter of Intent or grant award letter from funding agency
 - ☐ Contract, Leases/Agreements (if applicable)
 - ☐ Ethics Form 126 (if applicable) in **Word** format
 - ☐ Other support documents as identified in the cover letter and legislation
- ☐ **E-Copy of legislation/supporting documents:** Sent to **BOS.Legislation@sfgov.org**

Ordinance

- ☐ **Legislation:** Original, 1 hard copy, and 1 electronic copy in **Word** format
- ☐ **Signature:** City Attorney (For Settlement of Lawsuits - City Attorney, Department Head, Controller, Commission Secretary)
- ☐ **Supporting documents:** 1 full set, and separate **pdf** copies of each in email
 - ☐ Cover letter (original)
 - ☐ Settlement Report/Agreement (for settlements)
 - ☐ Other support documents as identified in the cover letter and legislation
- ☐ **E-Copy of legislation/supporting documents:** Sent to **BOS.Legislation@sfgov.org**

Grant Resolution

- ☐ **Legislation:** Original, 1 hard copy, and 1 electronic copy in **Word** format
- ☐ **Signature:** Department Head; Mayor or the Mayor's designee, plus the Controller
- ☐ **Supporting documents:** 1 full set, and separate **pdf** copies of each in email
 - ☐ Cover letter (original)
 - ☐ Grant budget/application
 - ☐ Grant information form, including signed disability checklist
 - ☐ Letter of Intent or grant award letter from funding agency
 - ☐ Contract, Leases/Agreements (if applicable)
 - ☐ Ethics Form 126 (if applicable) in **Word** format
 - ☐ Other support documents as identified in the cover letter and legislation
- ☐ **E-Copy of legislation/supporting documents:** Sent to **BOS.Legislation@sfgov.org**

Resolution

- ☒ **Legislation:** Original, 1 hard copy, and 1 electronic copy in **Word** format
- ☐ **Signature:** None (Note: Required for Settlement of Claims - City Attorney, Department Head, Controller, Commission Secretary)
- ☒ **Supporting documents:** 1 full set, and separate **pdf** copies of each in email
 - ☒ Cover letter (original)
 - ☐ Settlement Report/Agreement (for settlements)
 - ☒ Other support documents as identified in the cover letter and legislation
- ☐ **E-Copy of legislation/supporting documents:** Sent to **BOS.Legislation@sfgov.org**

Rahul Shah 415-554-5811
Name and Telephone Number

Public Works
Department