

LETTER OF TRANSMITTAL

DATE: November 4, 2016

JOB NUMBER: 1983-16

TO: Bureau of Street-Use & Mapping
1155 Market Street, 3rd Floor
San Francisco, CA 94103

ATTENTION: Bruce Storrs

SUBJECT: New Construction Condominium – 162-164 Alhambra Street, San Francisco, CA 94123
Block 0463A Lot 013

TRANSMITTING THE FOLLOWING: -Attached

- ⇒ Cover Letter
- ⇒ Signed Application
- ⇒ Checklist
- ⇒ Two fee checks (\$9,475.00 and \$250.00) attached to one application
- ⇒ Tentative Parcel Map, five (5) sets
- ⇒ Preliminary Title Report
- ⇒ Grant Deeds
- ⇒ Previous Land Use
- ⇒ Permit numbers for any approved building permits
- ⇒ Owner's Release of interest in Common Areas
- ⇒ Neighborhood Notification Package
 - ⇒ 300' Radius Map, one (1) set
 - ⇒ Address List, one (1) set
 - ⇒ Stamped and addressed envelopes, one (1) set
- ⇒ Photographs of subject property two (2) Sets
- ⇒ Draft Proposition "M" findings one (1) Set
- ⇒ Provide proposed sale price for Below Market Rate N/A
- ⇒ Copy of the Signed Planning Department or Planning Commission motion approving the project
- ⇒ Copies of Notices of Special Restrictions
- ⇒ Copy of Building Permit one

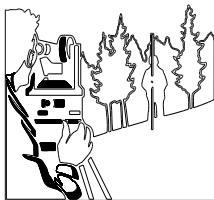
REMARKS:

Bruce:

If you have any questions or need additional information, please do not hesitate to call (415) 921-7690.

Regards,

Michelle Petty



Frederick T. Seher & Associates, Inc.

PROFESSIONAL LAND SURVEYORS

State License # 6216

July 28, 2016

Application for New Construction

City and County Surveyor
Department of Public Works
Bureau of Street-Use and Mapping
1155 Market Street, 3rd Floor
San Francisco, CA 94103

Dear Bruce:

In compliance with the California Subdivision Map Act, the San Francisco Subdivision Code, the San Francisco Subdivision Regulations, and all amendments thereto, I/we, the undersigned subdivide, or agent, hereby submit to you for your review and processing a proposed condominium subdivision, together with the New Construction Condominium Application and Checklist and all applicable items, fees, documents and data checked thereon for APN: 0463A-013 at 162-164 Alhambra Street.

Respectfully,

Michelle Petty
Office Manger

Attachment: Application Packet

(Required for all New Construction Condominium Applications)

D. APPLICATIONProperty Address: 162-164 Alhambra Street

For DPW-BSM use only

ID No.: _____

Assessor's Block: 0463A Lot Number(s): 013

Owner:	
Name:	Charles Cross of Charles Cross Trust
Address:	3560 Jackson Street, San Francisco, CA 94118
Phone:	415.567.4141
E-mail:	charles@cross.bz
Person to be contacted concerning this project (If different from owner)	
Name:	Michelle Petty
Address:	841 Lombard Street, San Francisco, CA 94133
Phone:	415.921.7690
E-mail:	michelle@sflandsurveyor.com
Firm or agent preparing the subdivision map:	
Name:	Frederick T. Seher and Associates, Inc.
Address:	841 Lombard Street, San Francisco, CA 94133
Phone:	415.921.7690
E-mail:	rick@sflandsurveyor.com
Subdivider: (If different from owner)	
Name:	
Address:	

Number of Units in Project: 3This subdivision creates an airspace: ☒ No ☐ Yes (shown on Tentative Map)This subdivision creates an addition to an existing building ☐ No ☒ Yes (shown on Tentative Map)

Check only one of the following options:

	Indicate project type
Residential Only	<input checked="" type="checkbox"/>
Mixed-Use	<input type="checkbox"/> If checked, Number of residential unit(s): ____ Number of commercial unit(s): ____

**STATE OF CALIFORNIA
CITY AND COUNTY OF SAN FRANCISCO**

I (We) Charles Cross, Charles Cross Trust
 (Print Subdivider's Name in full)

declare, under penalty of perjury, that I am (we are) the owner(s) [authorized agent of the owner(s)] of the property that is the subject of this application, that the statements herein and in the attached exhibits present the information required for this application, and the information presented is true and correct to the best of my (our) knowledge and belief.

Date: August 2, 2016 Signed: Charles Cross

Date: _____ Signed: _____

E. NEW CONSTRUCTION CONDOMINIUM APPLICATION CHECKLIST

Check the following items enclosed where applicable:

Submitted per guidelines and in this order?		Official Use Only OK?	No.	Item Description and Order	Total of copies	Which and how many of total required items are needed for each agency?			Form No. (where applicable)
Yes	No					DPW	DCP	DBI	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	1.	Four (4) copies of Tentative Parcel Map [DPW copies: 3-BSM Mapping Section; 1-City Planning One additional copy will be required if project falls within the jurisdiction of SFRA (See Page 7).]	4	3	1	1*	
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	2.	Six (6) copies of Tentative Final Map [DPW copies: 5-BSM Mapping Section; 1-City Planning One additional copy will be required if project falls within the jurisdiction of SFRA (See Page 7). N/A]	6	5	1	1*	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	3.	Subdivision Fee (\$9,725.00) Ck #3180 \$9,475.00 and Ck #3181 \$250.00	1				
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	4.	Preliminary Title Report (dated within 3 months)	2	1	1		
<input checked="" type="checkbox"/>	<input type="checkbox"/>		5.	Grant Deeds and any other recorded documents for: <input checked="" type="checkbox"/> Subject Site and <input checked="" type="checkbox"/> Adjoiners	1	1			
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6.	Previous Land Use.	2	1	1		Form No. 1
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6a.	Permit numbers for any approved building permits	2	1	1		Form No. 1
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	7.	Owner's Release of Interest in Common Areas [Sec. 1323 (6)]	2	1	1		Form No. 2
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	8.	Neighborhood notification packet for Tentative Map decision. <input checked="" type="checkbox"/> 300-Foot Radius Map <input checked="" type="checkbox"/> Address List <input checked="" type="checkbox"/> Envelopes	1	1			
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	9.	Photographs of subject property, as follows: [Public Works Code Sec. 723.2 & Planning Code] <input checked="" type="checkbox"/> Front photo from the street looking at the property, including sidewalk without obstructions <input checked="" type="checkbox"/> Photo from left side showing property line and sidewalk fronting subject site <input checked="" type="checkbox"/> Photo from right side showing property line and sidewalk fronting subject site <input checked="" type="checkbox"/> Photo of rear of property	3	2	1		
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	10.	Proposition "M" Findings demonstrating consistency with Eight Priority General Plan Policies [Planning Code Sec. 101.1(b)]	2	1	1		Form No. 3
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	11.	Review by Department of Building Inspection, if required, See Page 8. N/A	1			1	Form No. 4
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	12.	Provide proposed sales prices for Below Market Rate (BMR) units (Form No. 1) N/A	1	1			Form No. 1
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	13.	A copy of the signed Planning Dept. or Planning Commission motion approving the project	1	1			
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	14.	Provide copies of any Notices of Special Restrictions associated with this site.	1	1			
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	15.	3R report required for existing dwelling units-See Page 8 for details. N/A per Bruce	1	1			
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.	Copy of Building Permits-See Page 8 for details.	1	1			

*** ADDITIONAL COPY TO DBI – SEE REQUIREMENTS PAGE 8, ITEM 11**

NOTE: TO ANYONE HAVING ANY TYPE OF INTEREST IN THIS MAP PLEASE BE ADVISED AS FOLLOWS:

1. THAT ALL TITLE INFORMATION HEREON INCLUDING EASEMENTS WAS PREPARED SOLELY FOR AND IN STRICT CONFORMANCE WITH OUR CLIENT'S OR HIS AGENT'S REQUIREMENTS AND TITLE INFORMATION SUPPLIED TO FREDERICK T. SEHER & ASSOCIATES, INC.; FURTHERMORE, WE HEREBY DISCLAIM ANY AND ALL TITLE SEARCH RESPONSIBILITY ON THIS PROJECT.

2. THAT THIS MAP WAS PREPARED AS A PROFESSIONAL INSTRUMENT OF SERVICE FOR CHARLES CROSS AND THAT IT REMAINS THE PROPERTY OF FREDERICK T. SEHER & ASSOCIATES, INC. WHETHER THE PROJECT (IF ANY PROPOSED) ON THIS SITE IS CONSTRUCTED OR NOT.

3. THAT ANY INFORMATION ON THIS MAP AND ANY DOCUMENT(S) PREPARED BY FREDERICK T. SEHER & ASSOCIATES, INC. IN RELATION HEREOF SHALL NOT BE USED FOR ANY OTHER PURPOSE THAN FOR LAND SUBDIVISION. FURTHERMORE, THE USE OF THIS MAP FOR ANY OTHER PURPOSES WHATSOEVER INCLUDING ENGINEERING DESIGNS OF OFFSITE OR ONSITE IMPROVEMENTS IS BEYOND THIS MAP'S PURPOSES, INTENT & CONTRACT. LIABILITY SHALL REST UPON THE PARTY USING OUR INFORMATION BEYOND THE ESTABLISHED LIMITATION ABOVE, IN WHICH CASE FREDERICK T. SEHER & ASSOCIATES, INC. DISCLAIMS ANY AND ALL RESPONSIBILITY.

4. THAT ANY IMPROVEMENT CHANGES WITHIN THIS SITE OR THE ADJACENT SITE THEREOF AS WELL AS TITLE TRANSFERS OF THE PROPERTY IN QUESTION (EXCEPT FOR ALTA MAPS) AND/OR THE LAPSE OF 3 OR MORE YEARS FROM THE DATE OF THE MAP (WHICHEVER COMES FIRST) SHALL VOID ALL INFORMATION, HEREON UNLESS A RE-SURVEY IS ORDERED TO RECTIFY, UPDATE OR RE-CERTIFY THIS MAP.

5. THAT THIS INFORMATION SHALL NOT BE USED FOR ANY IMPROVEMENT STAKING UNLESS STATED IN ITEM NO. 3 ABOVE.

6. THAT THE USE OF THIS MAP BY OTHER CONSULTANTS OR CONTRACTORS ON BEHALF OF OUR CLIENT SHALL PROMPT THE IMMEDIATE FULFILLMENTS OF ALL CLIENT'S OBLIGATIONS TO FREDERICK T. SEHER & ASSOCIATES, INC. UNLESS OTHERWISE AGREED TO.

7. IT SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNERS INVOLVED TO RESOLVE ALL ISSUES REGARDING PROPERTY DISPUTES WHICH MAY ARISE OUT OF INFORMATION SHOWN HEREON.

8. THIS MAP WILL BE PROVIDED IN AN ELECTRONIC FORMAT AS A COURTESY TO THE CLIENT. THE DELIVERY OF THE ELECTRONIC FILE DOES NOT CONSTITUTE THE DELIVERY OF OUR PROFESSIONAL WORK PRODUCT. A SIGNED PRINT DELIVERED TO THE CLIENT OR CLIENT REPRESENTATIVE CONSTITUTES OUR PROFESSIONAL WORK PRODUCT, AND IN THE EVENT THE ELECTRONIC FILE IS ALTERED, THE PRINT MUST BE REFERRED TO FOR THE ORIGINAL AND CORRECT SURVEY INFORMATION. WE SHALL NOT BE RESPONSIBLE FOR ANY MODIFICATIONS MADE TO THE ELECTRONIC FILE, OR FOR ANY PRODUCTS DERIVED FROM THE ELECTRONIC FILE WHICH ARE NOT REVIEWED, SIGNED AND SEALED BY US.

BOUNDARY NOTES:

PROPERTY AND RIGHT-OF-WAY LINES SHOWN HEREON ARE PREDICATED ON AN ANALYSIS OF EXISTING IMPROVEMENTS, RECORD DATA, FIELD TIES AND ASSESSOR'S PARCEL MAPS. IT IS NOT THE INTENT OF THIS MAP TO PROVIDE A FORMAL BOUNDARY RESOLUTION FOR THE SUBJECT PROPERTY SHOWN HEREON. SAID RESOLUTION WOULD REQUIRE THE SETTING OF PROPERTY CORNERS AND THE FILING OF A RECORD OF SURVEY UNDER CALIFORNIA STATE LAW. BOUNDARY INFORMATION SHOWN HEREON IS FOR PLANNING PURPOSES ONLY.

ALL ANGLES ARE 90° UNLESS OTHERWISE NOTED

ALL DISTANCES ARE MEASURED IN FEET AND DECIMALS THEREOF.

UTILITY NOTE:

UNDERGROUND UTILITIES SHOWN HEREON WERE PLOTTED FROM A COMBINATION OF OBSERVED SURFACE EVIDENCE (CONDITIONS PERMITTING) AND RECORD INFORMATION OBTAINED FROM THE RESPECTIVE UTILITY COMPANIES, AND ARE NOT INTENDED TO REPRESENT THEIR ACTUAL LOCATIONS. THEREFORE, ALL UTILITIES MUST BE VERIFIED WITH RESPECT TO SIZES, HORIZONTAL AND VERTICAL LOCATIONS BY THE OWNER AND/OR CONTRACTOR PRIOR TO DESIGN OR CONSTRUCTION. NO RESPONSIBILITY IS ASSUMED BY THE SURVEYOR FOR THE LOCATION AND CAPACITY OF SAID UTILITIES.

GENERAL NOTE:

THE FOLIAGE LINES OF ALL TREES PLOTTED HEREON ARE SHOWN IN A GRAPHICAL FORM ONLY, AND ARE NOT INTENDED TO REPRESENT ACTUAL DRIPLINES THEREOF.

DATE OF FIELD SURVEY:

TOPOGRAPHIC INFORMATION SHOWN HERE IS BASED UPON A FIELD SURVEY PERFORMED BY FREDERICK T. SEHER & ASSOCIATES INC. ON JULY 7, 2016.

SURVEY REFERENCE:

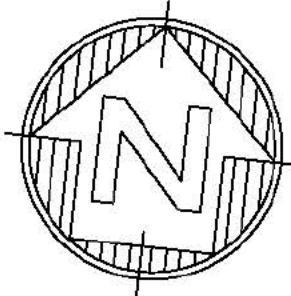
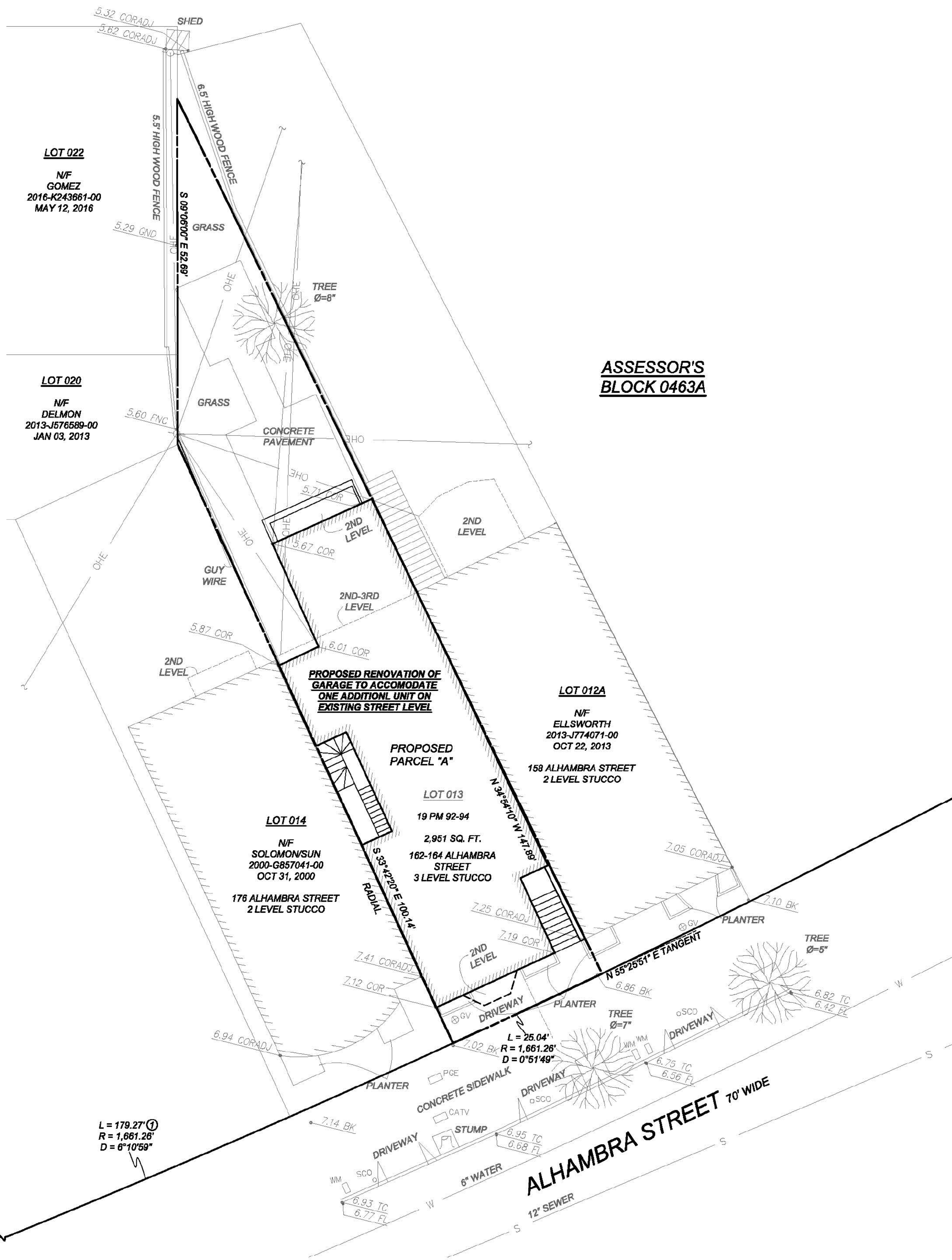
THE SURVEY HEREON IS BASED ON THE LEGAL DESCRIPTION DESCRIBED IN THE FOLLOWING TRUST TRANSFER DEED:

① LOT 013: RECORDED JULY 26, 2012, DOCUMENT NUMBER 2012-J455866-00

PROJECT BENCHMARK - DESCRIPTION:

ELEVATIONS SHOWN HEREON WERE OBTAINED FROM A GROUP OF CITY BENCHMARKS, LOCATED AT THE INTERSECTION OF ALHAMBRA STREET AND PIERCE STREET; ELEVATIONS ARE BASED ON CITY AND COUNTY OF SAN FRANCISCO DATUM. N.E. CORNER, + CUT CONCRETE CURB OVER SWI ELEVATION = 6.643'

PIERCE STREET 50' WIDE



10' 0 10' 20'
SCALE: 1" = 10'

LEGEND:

ADJ	ADJACENT
BK	BACK OF WALK
CATV	CABLE TELEVISION
CNC	CONCRETE
COR	CORNER OF BUILDING
Ø	DIAMETER
FL	FLOW LINE
GND	GROUND
GV	GAS VALVE
PACB	PACIFIC BELL
SCO	SANITARY SEWER CLEAN OUT/VENT
TC	TOP OF CURB
WM	WATER METER
S	SANITARY SEWER LINE
OHE	OVERHEAD ELECTRIC LINE
W	WATER LINE
○	POWER POLE
—	SIGN
ELEV DESC	SPOT ELEVATION
✱	TREE
✱	TREE STUMP

OWNER:

MR. CHARLES CROSS
3500 JACKSON STREET
SAN FRANCISCO, CA 94118

SURVEYOR'S STATEMENT:

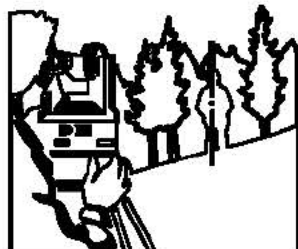
THIS MAP WAS PREPARED BY ME, OR UNDER MY DIRECTION, AND IS BASED UPON A FIELD SURVEY.



Frederick T. Seher
FREDERICK T. SEHER, PLS
LICENSE NO. 6215

AUGUST 2, 2016
DATE:

DATE:	AUGUST, 2016	▲			
SCALE:	1" = 10'	▲			
DRAWN BY:	FC	▲			
DRAWING NAME:	1983-16	▲			
SURVEYED BY:	FTS	▲			
CHECKED BY:	HRE	▲			
CHECKED BY:	EF	▲			
		NO.	BY	DATE	REVISIONS



FREDERICK T. SEHER & ASSOCIATES, INC.
PROFESSIONAL LAND SURVEYORS
SURVEYING & MAPPING
841 LOMBARD STREET, SAN FRANCISCO, CA 94133
(415) 921-7690 FAX (415) 921-7655

TENTATIVE PARCEL MAP
BEING A 3 UNIT RESIDENTIAL NEW CONSTRUCTION CONDOMINIUM PROJECT
162-164 ALHAMBRA STREET, SAN FRANCISCO, CA
ASSESSOR'S BLOCK 0463A, LOT 013

SHEET
1
OF 1 SHEETS
JOB NO.
1983-16

CHARLES J. CROSS
3560 JACKSON STREET
SAN FRANCISCO, CA 94118

3180

11-8166/3210
19

8/2/16

DATE

PAY TO THE
ORDER OF

DPW

\$ 9,475⁰⁰

Nine thousand four hundred and seventy five and no/100

DOLLARS



Photo
Safe
DepositSM
Details on back

FIRST REPUBLIC BANK

3533 California Street
San Francisco, CA 94118
Ph (415) 831-6688 / (800) 392-1407 (24hr Cust Serv)

FOR

MP

CHARLES J. CROSS
3560 JACKSON STREET
SAN FRANCISCO, CA 94118

3181

11-8166/3210
19

8/2/16

DATE

PAY TO THE
ORDER OF

DPW

\$ 250

Two hundred and fifty and no/100

DOLLARS



Photo
Safe
DepositSM
Details on back

FIRST REPUBLIC BANK

3533 California Street
San Francisco, CA 94118
Ph (415) 831-6688 / (800) 392-1407 (24hr Cust Serv)

FOR

MP

Updated



First American Title

First American Title Company

One Embarcadero Center, Suite 250
San Francisco, CA 94111-3632
California Department of Insurance License No. 151

Charles John Cross
c/o John Britton,
W. J. Britton & Co. , 1345 Mission Street
San Francisco, CA 94103
Phone: (415)934-1151

Customer Reference:

Order Number: 3811-5152501 (DL)

Title Officer: Douglas Lagomarsino
Phone: (415)796-6122
Fax No.: (866)420-3241
E-Mail: dlagomarsino@firstam.com

Buyer:

Owner: CROSS

Property: 162-164 Alhambra Street
San Francisco, CA 94123

PRELIMINARY REPORT

In response to the above referenced application for a policy of title insurance, this company hereby reports that it is prepared to issue, or cause to be issued, as of the date hereof, a Policy or Policies of Title Insurance describing the land and the estate or interest therein hereinafter set forth, insuring against loss which may be sustained by reason of any defect, lien or encumbrance not shown or referred to as an Exception below or not excluded from coverage pursuant to the printed Schedules, Conditions and Stipulations of said Policy forms.

The printed Exceptions and Exclusions from the coverage and Limitations on Covered Risks of said policy or policies are set forth in Exhibit A attached. *The policy to be issued may contain an arbitration clause. When the Amount of Insurance is less than that set forth in the arbitration clause, all arbitrable matters shall be arbitrated at the option of either the Company or the Insured as the exclusive remedy of the parties.* Limitations on Covered Risks applicable to the CLTA and ALTA Homeowner's Policies of Title Insurance which establish a Deductible Amount and a Maximum Dollar Limit of Liability for certain coverages are also set forth in Exhibit A. Copies of the policy forms should be read. They are available from the office which issued this report.

Please read the exceptions shown or referred to below and the exceptions and exclusions set forth in Exhibit A of this report carefully. The exceptions and exclusions are meant to provide you with notice of matters which are not covered under the terms of the title insurance policy and should be carefully considered.

It is important to note that this preliminary report is not a written representation as to the condition of title and may not list all liens, defects, and encumbrances affecting title to the land.

This report (and any supplements or amendments hereto) is issued solely for the purpose of facilitating the issuance of a policy of title insurance and no liability is assumed hereby. If it is desired that liability be assumed prior to the issuance of a policy of title insurance, a Binder or Commitment should be requested.

Dated as of July 13, 2016 at 7:30 A.M.

The form of Policy of title insurance contemplated by this report is:

To Be Determined

A specific request should be made if another form or additional coverage is desired.

Title to said estate or interest at the date hereof is vested in:

CHARLES CROSS, TRUSTEE OF THE CHARLES CROSS TRUST DATED MAY 1, 2012

The estate or interest in the land hereinafter described or referred to covered by this Report is:

FEE

The Land referred to herein is described as follows:

(See attached Legal Description)

At the date hereof exceptions to coverage in addition to the printed Exceptions and Exclusions in said policy form would be as follows:

1. General and special taxes and assessments for the fiscal year 2016-2017, a lien not yet due or payable.
2. All taxes - secured, supplemental, defaulted, escaped and including bonds and assessments are not available at this time. Please verify any/all tax amounts and assessment information with the County Tax Collector prior to the close of the contemplated transaction.
3. The lien of supplemental taxes, if any, assessed pursuant to Chapter 3.5 commencing with Section 75 of the California Revenue and Taxation Code.
4. Covenants, conditions, restrictions and easements in the document recorded September 29, 1924 as BOOK/REEL 942, PAGE/IMAGE 297 of Official Records, but deleting any covenant, condition, or restriction indicating a preference, limitation or discrimination based on race, color, religion, sex, sexual orientation, familial status, disability, handicap, national origin, genetic information, gender, gender identity, gender expression, source of income (as defined in California Government Code § 12955(p)) or ancestry, to the extent such covenants, conditions or restrictions violation 42 U.S.C. § 3604(c) or California Government Code § 12955. Lawful restrictions under state and federal law on the age of occupants in senior housing or housing for older persons shall not be construed as restrictions based on familial status.
5. An easement for public utilities and incidental purposes in the document recorded January 23, 1925 as BOOK/REEL 992, PAGE/IMAGE 337 of Official Records.

6. THE EFFECT OF PARCEL MAP OF 162-164 ALHAMBRA STREET, A CONDOMINIUM, FILED ON APRIL 10, 1981 IN BOOK 19 OF PARCEL MAPS, AT PAGES 92 TO 94, CITY AND COUNTY OF SAN FRANCISCO RECORDS.

Prior to the issuance of any policy of title insurance, the Company will require:

7. With respect to the trust referred to in the vesting:
 - a. A certification pursuant to Section 18100.5 of the California Probate Code in a form satisfactory to the Company.
 - b. Copies of those excerpts from the original trust documents and amendments thereto which designate the trustee and confer upon the trustee the power to act in the pending transaction.
 - c. Other requirements which the Company may impose following its review of the material required herein and other information which the Company may require.

INFORMATIONAL NOTES

Note: The policy to be issued may contain an arbitration clause. When the Amount of Insurance is less than the certain dollar amount set forth in any applicable arbitration clause, all arbitrable matters shall be arbitrated at the option of either the Company or the Insured as the exclusive remedy of the parties. If you desire to review the terms of the policy, including any arbitration clause that may be included, contact the office that issued this Commitment or Report to obtain a sample of the policy jacket for the policy that is to be issued in connection with your transaction.

1. According to the public records, there has been no conveyance of the land within a period of twenty-four months prior to the date of this report, except as follows:

None

2. We find no open deeds of trust. Escrow please confirm before closing.

NOTE to proposed insured lender only: No Private transfer fee covenant, as defined in Federal Housing Finance Agency Final Rule 12 CFR Part 1228, that was created and first appears in the Public Records on or after February 8, 2011, encumbers the Title except as follows: None

The map attached, if any, may or may not be a survey of the land depicted hereon. First American expressly disclaims any liability for loss or damage which may result from reliance on this map except to the extent coverage for such loss or damage is expressly provided by the terms and provisions of the title insurance policy, if any, to which this map is attached.

LEGAL DESCRIPTION

Real property in the City of San Francisco, County of San Francisco, State of California, described as follows:

BEGINNING AT A POINT ON THE NORTHWESTERLY LINE OF ALHAMBRA STREET, DISTANT THEREON 179.271 FEET NORTHEASTERLY FROM THE EASTERLY LINE OF PIERCE STREET; RUNNING THENCE NORTHEASTERLY ALONG THE NORTHWESTERLY LINE OF ALHAMBRA STREET 25.036 FEET; THENCE NORTH 34 DEGREES 54' 10" WEST 147.889 FEET; THENCE SOUTH 9 DEGREES 6' EAST 52.686 FEET; THENCE SOUTH 33 DEGREES 42' 20" EAST 100.141 FEET TO THE POINT OF BEGINNING

BEING A PORTION OF MARINA GARDENS.

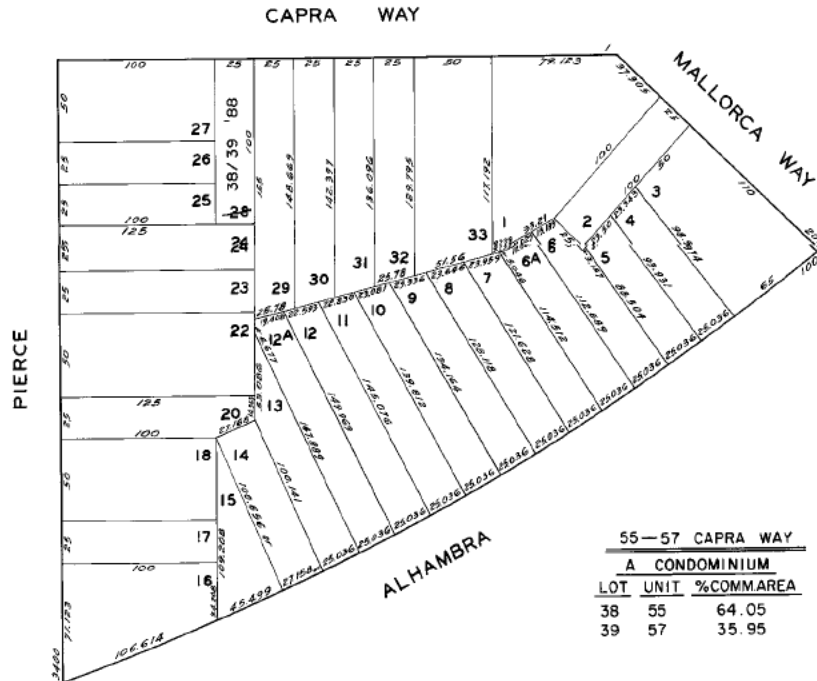
APN: LOT 013 AND BLOCK 0463A

463A

W. A. BLK. 403
MARINA GARDENS
REVISED 1988

LOTS MERGED
LOT 35 INTO LOT 1 - 1992
" 37 " " 22 - 1990
" 39 " " 19 - 1984
" 34 " " 33 - 1981

© COPYRIGHT SAN FRANCISCO
CITY & COUNTY ASSESSOR 1995



NOTICE

Section 12413.1 of the California Insurance Code, effective January 1, 1990, requires that any title insurance company, underwritten title company, or controlled escrow company handling funds in an escrow or sub-escrow capacity, wait a specified number of days after depositing funds, before recording any documents in connection with the transaction or disbursing funds. This statute allows for funds deposited by wire transfer to be disbursed the same day as deposit. In the case of cashier's checks or certified checks, funds may be disbursed the next day after deposit. In order to avoid unnecessary delays of three to seven days, or more, please use wire transfer, cashier's checks, or certified checks whenever possible.

**EXHIBIT A
LIST OF PRINTED EXCEPTIONS AND EXCLUSIONS (BY POLICY TYPE)**

CLTA/ALTA HOMEOWNER'S POLICY OF TITLE INSURANCE (02-03-10)

EXCLUSIONS

In addition to the Exceptions in Schedule B, You are not insured against loss, costs, attorneys' fees, and expenses resulting from:

1. Governmental police power, and the existence or violation of those portions of any law or government regulation concerning:
 - (a) building;
 - (b) zoning;
 - (c) land use;
 - (d) improvements on the Land;
 - (e) land division; and
 - (f) environmental protection.

This Exclusion does not limit the coverage described in Covered Risk 8.a., 14, 15, 16, 18, 19, 20, 23 or 27.

2. The failure of Your existing structures, or any part of them, to be constructed in accordance with applicable building codes. This Exclusion does not limit the coverage described in Covered Risk 14 or 15.
3. The right to take the Land by condemning it. This Exclusion does not limit the coverage described in Covered Risk 17.
4. Risks:
 - (a) that are created, allowed, or agreed to by You, whether or not they are recorded in the Public Records;
 - (b) that are Known to You at the Policy Date, but not to Us, unless they are recorded in the Public Records at the Policy Date;
 - (c) that result in no loss to You; or
 - (d) that first occur after the Policy Date - this does not limit the coverage described in Covered Risk 7, 8.e., 25, 26, 27 or 28.
5. Failure to pay value for Your Title.
6. Lack of a right:
 - (a) to any land outside the area specifically described and referred to in paragraph 3 of Schedule A; and
 - (b) in streets, alleys, or waterways that touch the Land.

This Exclusion does not limit the coverage described in Covered Risk 11 or 21.

7. The transfer of the Title to You is invalid as a preferential transfer or as a fraudulent transfer or conveyance under federal bankruptcy, state insolvency, or similar creditors' rights laws.

LIMITATIONS ON COVERED RISKS

Your insurance for the following Covered Risks is limited on the Owner's Coverage Statement as follows: For Covered Risk 16, 18, 19, and 21 Your Deductible Amount and Our Maximum Dollar Limit of Liability shown in Schedule A.

<u>Your Deductible Amount</u>	<u>Our Maximum Dollar Limit of Liability</u>
Covered Risk 16: 1% of Policy Amount or \$2,500.00 (whichever is less)	\$10,000.00
Covered Risk 18: 1% of Policy Amount or \$5,000.00 (whichever is less)	\$25,000.00
Covered Risk 19: 1% of Policy Amount or \$5,000.00 (whichever is less)	\$25,000.00
Covered Risk 21: 1% of Policy Amount or \$2,500.00 (whichever is less)	\$5,000.00

ALTA RESIDENTIAL TITLE INSURANCE POLICY (6-1-87)

EXCLUSIONS

In addition to the Exceptions in Schedule B, you are not insured against loss, costs, attorneys' fees, and expenses resulting from:

1. Governmental police power, and the existence or violation of any law or government regulation. This includes building and zoning ordinances and also laws and regulations concerning:
 - (a) and use
 - (b) improvements on the land
 - (c) and division
 - (d) environmental protection

This exclusion does not apply to violations or the enforcement of these matters which appear in the public records at Policy Date.

This exclusion does not limit the zoning coverage described in Items 12 and 13 of Covered Title Risks.

2. The right to take the land by condemning it, unless:

- (a) a notice of exercising the right appears in the public records on the Policy Date
 - (b) the taking happened prior to the Policy Date and is binding on you if you bought the land without knowing of the taking
 - 3. Title Risks:
 - (a) that are created, allowed, or agreed to by you
 - (b) that are known to you, but not to us, on the Policy Date -- unless they appeared in the public records
 - (c) that result in no loss to you
 - (d) that first affect your title after the Policy Date -- this does not limit the labor and material lien coverage in Item 8 of Covered Title Risks
 - 4. Failure to pay value for your title.
 - 5. Lack of a right:
 - (a) to any land outside the area specifically described and referred to in Item 3 of Schedule A OR
 - (b) in streets, alleys, or waterways that touch your land
- This exclusion does not limit the access coverage in Item 5 of Covered Title Risks.

2006 ALTA LOAN POLICY (06-17-06)
EXCLUSIONS FROM COVERAGE

The following matters are expressly excluded from the coverage of this policy, and the Company will not pay loss or damage, costs, attorneys' fees, or expenses that arise by reason of:

- 1. (a) Any law, ordinance, permit, or governmental regulation (including those relating to building and zoning) restricting, regulating, prohibiting, or relating to
 - (i) the occupancy, use, or enjoyment of the Land;
 - (ii) the character, dimensions, or location of any improvement erected on the Land;
 - (iii) the subdivision of land; or
 - (iv) environmental protection;or the effect of any violation of these laws, ordinances, or governmental regulations. This Exclusion 1(a) does not modify or limit the coverage provided under Covered Risk 5.
- (b) Any governmental police power. This Exclusion 1(b) does not modify or limit the coverage provided under Covered Risk 6.
- 2. Rights of eminent domain. This Exclusion does not modify or limit the coverage provided under Covered Risk 7 or 8.
- 3. Defects, liens, encumbrances, adverse claims, or other matters
 - (a) created, suffered, assumed, or agreed to by the Insured Claimant;
 - (b) not Known to the Company, not recorded in the Public Records at Date of Policy, but Known to the Insured Claimant and not disclosed in writing to the Company by the Insured Claimant prior to the date the Insured Claimant became an Insured under this policy;
 - (c) resulting in no loss or damage to the Insured Claimant;
 - (d) attaching or created subsequent to Date of Policy (however, this does not modify or limit the coverage provided under Covered Risk 11, 13, or 14); or
 - (e) resulting in loss or damage that would not have been sustained if the Insured Claimant had paid value for the Insured Mortgage.
- 4. Unenforceability of the lien of the Insured Mortgage because of the inability or failure of an Insured to comply with applicable doing-business laws of the state where the Land is situated.
- 5. Invalidity or unenforceability in whole or in part of the lien of the Insured Mortgage that arises out of the transaction evidenced by the Insured Mortgage and is based upon usury or any consumer credit protection or truth-in-lending law.
- 6. Any claim, by reason of the operation of federal bankruptcy, state insolvency, or similar creditors' rights laws, that the transaction creating the lien of the Insured Mortgage, is
 - (a) a fraudulent conveyance or fraudulent transfer, or
 - (b) a preferential transfer for any reason not stated in Covered Risk 13(b) of this policy.
- 7. Any lien on the Title for real estate taxes or assessments imposed by governmental authority and created or attaching between Date of Policy and the date of recording of the Insured Mortgage in the Public Records. This Exclusion does not modify or limit the coverage provided under Covered Risk 11(b).

The above policy form may be issued to afford either Standard Coverage or Extended Coverage. In addition to the above Exclusions from Coverage, the Exceptions from Coverage in a Standard Coverage policy will also include the following Exceptions from Coverage:

EXCEPTIONS FROM COVERAGE

This policy does not insure against loss or damage (and the Company will not pay costs, attorneys' fees or expenses) that arise by reason of:

- 1. (a) Taxes or assessments that are not shown as existing liens by the records of any taxing authority that levies taxes or assessments on real property or by the Public Records; (b) proceedings by a public agency that may result in taxes or assessments, or notices of such proceedings, whether or not shown by the records of such agency or by the Public Records.
- 2. Any facts, rights, interests, or claims that are not shown by the Public Records but that could be ascertained by an inspection of the Land or that may be asserted by persons in possession of the Land.
- 3. Easements, liens or encumbrances, or claims thereof, not shown by the Public Records.

4. Any encroachment, encumbrance, violation, variation, or adverse circumstance affecting the Title that would be disclosed by an accurate and complete land survey of the Land and not shown by the Public Records.
5. (a) Unpatented mining claims; (b) reservations or exceptions in patents or in Acts authorizing the issuance thereof; (c) water rights, claims or title to water, whether or not the matters excepted under (a), (b), or (c) are shown by the Public Records.
6. Any lien or right to a lien for services, labor or material not shown by the public records.

2006 ALTA OWNER'S POLICY (06-17-06)

EXCLUSIONS FROM COVERAGE

The following matters are expressly excluded from the coverage of this policy, and the Company will not pay loss or damage, costs, attorneys' fees, or expenses that arise by reason of:

1. (a) Any law, ordinance, permit, or governmental regulation (including those relating to building and zoning) restricting, regulating, prohibiting, or relating to
 - (i) the occupancy, use, or enjoyment of the Land;
 - (ii) the character, dimensions, or location of any improvement erected on the Land;
 - (iii) the subdivision of land; or
 - (iv) environmental protection;or the effect of any violation of these laws, ordinances, or governmental regulations. This Exclusion 1(a) does not modify or limit the coverage provided under Covered Risk 5.
- (b) Any governmental police power. This Exclusion 1(b) does not modify or limit the coverage provided under Covered Risk 6.
2. Rights of eminent domain. This Exclusion does not modify or limit the coverage provided under Covered Risk 7 or 8.
3. Defects, liens, encumbrances, adverse claims, or other matters
 - (a) created, suffered, assumed, or agreed to by the Insured Claimant;
 - (b) not Known to the Company, not recorded in the Public Records at Date of Policy, but Known to the Insured Claimant and not disclosed in writing to the Company by the Insured Claimant prior to the date the Insured Claimant became an Insured under this policy;
 - (c) resulting in no loss or damage to the Insured Claimant;
 - (d) attaching or created subsequent to Date of Policy (however, this does not modify or limit the coverage provided under Covered Risk 9 or 10); or
 - (e) resulting in loss or damage that would not have been sustained if the Insured Claimant had paid value for the Title.
4. Any claim, by reason of the operation of federal bankruptcy, state insolvency, or similar creditors' rights laws, that the transaction vesting the Title as shown in Schedule A, is
 - (a) a fraudulent conveyance or fraudulent transfer, or
 - (b) a preferential transfer for any reason not stated in Covered Risk 9 of this policy.
5. Any lien on the Title for real estate taxes or assessments imposed by governmental authority and created or attaching between Date of Policy and the date of recording of the deed or other instrument of transfer in the Public Records that vests Title as shown in Schedule A.

The above policy form may be issued to afford either Standard Coverage or Extended Coverage. In addition to the above Exclusions from Coverage, the Exceptions from Coverage in a Standard Coverage policy will also include the following Exceptions from Coverage:

EXCEPTIONS FROM COVERAGE

This policy does not insure against loss or damage (and the Company will not pay costs, attorneys' fees or expenses) that arise by reason of:

1. (a) Taxes or assessments that are not shown as existing liens by the records of any taxing authority that levies taxes or assessments on real property or by the Public Records; (b) proceedings by a public agency that may result in taxes or assessments, or notices of such proceedings, whether or not shown by the records of such agency or by the Public Records.
2. Any facts, rights, interests, or claims that are not shown by the Public Records but that could be ascertained by an inspection of the Land or that may be asserted by persons in possession of the Land.
3. Easements, liens or encumbrances, or claims thereof, not shown by the Public Records.
4. Any encroachment, encumbrance, violation, variation, or adverse circumstance affecting the Title that would be disclosed by an accurate and complete land survey of the Land and not shown by the Public Records.
5. (a) Unpatented mining claims; (b) reservations or exceptions in patents or in Acts authorizing the issuance thereof; (c) water rights, claims or title to water, whether or not the matters excepted under (a), (b), or (c) are shown by the Public Records.
6. Any lien or right to a lien for services, labor or material not shown by the public records.

ALTA EXPANDED COVERAGE RESIDENTIAL LOAN POLICY (07-26-10)

EXCLUSIONS FROM COVERAGE

The following matters are expressly excluded from the coverage of this policy, and the Company will not pay loss or damage, costs, attorneys' fees, or expenses that arise by reason of:

1. (a) Any law, ordinance, permit, or governmental regulation (including those relating to building and zoning) restricting, regulating, prohibiting, or relating to
 - (i) the occupancy, use, or enjoyment of the Land;
 - (ii) the character, dimensions, or location of any improvement erected on the Land;
 - (iii) the subdivision of land; or
 - (iv) environmental protection;
 or the effect of any violation of these laws, ordinances, or governmental regulations. This Exclusion 1(a) does not modify or limit the coverage provided under Covered Risk 5, 6, 13(c), 13(d), 14 or 16.
 - (b) Any governmental police power. This Exclusion 1(b) does not modify or limit the coverage provided under Covered Risk 5, 6, 13(c), 13(d), 14 or 16.
2. Rights of eminent domain. This Exclusion does not modify or limit the coverage provided under Covered Risk 7 or 8.
3. Defects, liens, encumbrances, adverse claims, or other matters
 - (a) created, suffered, assumed, or agreed to by the Insured Claimant;
 - (b) not Known to the Company, not recorded in the Public Records at Date of Policy, but Known to the Insured Claimant and not disclosed in writing to the Company by the Insured Claimant prior to the date the Insured Claimant became an Insured under this policy;
 - (c) resulting in no loss or damage to the Insured Claimant;
 - (d) attaching or created subsequent to Date of Policy (however, this does not modify or limit the coverage provided under Covered Risk 11, 16, 17, 18, 19, 20, 21, 22, 23, 24, 27 or 28); or
 - (e) resulting in loss or damage that would not have been sustained if the Insured Claimant had paid value for the Insured Mortgage.
4. Unenforceability of the lien of the Insured Mortgage because of the inability or failure of an Insured to comply with applicable doing-business laws of the state where the Land is situated.
5. Invalidity or unenforceability in whole or in part of the lien of the Insured Mortgage that arises out of the transaction evidenced by the Insured Mortgage and is based upon usury or any consumer credit protection or truth-in-lending law. This Exclusion does not modify or limit the coverage provided in Covered Risk 26.
6. Any claim of invalidity, unenforceability or lack of priority of the lien of the Insured Mortgage as to Advances or modifications made after the Insured has Knowledge that the vestee shown in Schedule A is no longer the owner of the estate or interest covered by this policy. This Exclusion does not modify or limit the coverage provided in Covered Risk 11.
7. Any lien on the Title for real estate taxes or assessments imposed by governmental authority and created or attaching subsequent to Date of Policy. This Exclusion does not modify or limit the coverage provided in Covered Risk 11(b) or 25.
8. The failure of the residential structure, or any portion of it, to have been constructed before, on or after Date of Policy in accordance with applicable building codes. This Exclusion does not modify or limit the coverage provided in Covered Risk 5 or 6.
9. Any claim, by reason of the operation of federal bankruptcy, state insolvency, or similar creditors' rights laws, that the transaction creating the lien of the Insured Mortgage, is
 - (a) a fraudulent conveyance or fraudulent transfer, or
 - (b) a preferential transfer for any reason not stated in Covered Risk 27(b) of this policy.



First American Title

Privacy Information

We Are Committed to Safeguarding Customer Information

In order to better serve your needs now and in the future, we may ask you to provide us with certain information. We understand that you may be concerned about what we will do with such information - particularly any personal or financial information. We agree that you have a right to know how we will utilize the personal information you provide to us. Therefore, together with our subsidiaries we have adopted this Privacy Policy to govern the use and handling of your personal information.

Applicability

This Privacy Policy governs our use of the information that you provide to us. It does not govern the manner in which we may use information we have obtained from any other source, such as information obtained from a public record or from another person or entity. First American has also adopted broader guidelines that govern our use of personal information regardless of its source. First American calls these guidelines its Fair Information Values.

Types of Information

Depending upon which of our services you are utilizing, the types of nonpublic personal information that we may collect include:

- Information we receive from you on applications, forms and in other communications to us, whether in writing, in person, by telephone or any other means;
- Information about your transactions with us, our affiliated companies, or others; and
- Information we receive from a consumer reporting agency.

Use of Information

We request information from you for our own legitimate business purposes and not for the benefit of any nonaffiliated party. Therefore, we will not release your information to nonaffiliated parties except: (1) as necessary for us to provide the product or service you have requested of us; or (2) as permitted by law. We may, however, store such information indefinitely, including the period after which any customer relationship has ceased. Such information may be used for any internal purpose, such as quality control efforts or customer analysis. We may also provide all of the types of nonpublic personal information listed above to one or more of our affiliated companies. Such affiliated companies include financial service providers, such as title insurers, property and casualty insurers, and trust and investment advisory companies, or companies involved in real estate services, such as appraisal companies, home warranty companies and escrow companies. Furthermore, we may also provide all the information we collect, as described above, to companies that perform marketing services on our behalf, on behalf of our affiliated companies or to other financial institutions with whom we or our affiliated companies have joint marketing agreements.

Former Customers

Even if you are no longer our customer, our Privacy Policy will continue to apply to you.

Confidentiality and Security

We will use our best efforts to ensure that no unauthorized parties have access to any of your information. We restrict access to nonpublic personal information about you to those individuals and entities who need to know that information to provide products or services to you. We will use our best efforts to train and oversee our employees and agents to ensure that your information will be handled responsibly and in accordance with this Privacy Policy and First American's Fair Information Values. We currently maintain physical, electronic, and procedural safeguards that comply with federal regulations to guard your nonpublic personal information.

Information Obtained Through Our Web Site

First American Financial Corporation is sensitive to privacy issues on the Internet. We believe it is important you know how we treat the information about you we receive on the Internet.

In general, you can visit First American or its affiliates' Web sites on the World Wide Web without telling us who you are or revealing any information about yourself. Our Web servers collect the domain names, not the e-mail addresses, of visitors. This information is aggregated to measure the number of visits, average time spent on the site, pages viewed and similar information. First American uses this information to measure the use of our site and to develop ideas to improve the content of our site.

There are times, however, when we may need information from you, such as your name and email address. When information is needed, we will use our best efforts to let you know at the time of collection how we will use the personal information. Usually, the personal information we collect is used only by us to respond to your inquiry, process an order or allow you to access specific account/profile information. If you choose to share any personal information with us, we will only use it in accordance with the policies outlined above.

Business Relationships

First American Financial Corporation's site and its affiliates' sites may contain links to other Web sites. While we try to link only to sites that share our high standards and respect for privacy, we are not responsible for the content or the privacy practices employed by other sites.

Cookies

Some of First American's Web sites may make use of "cookie" technology to measure site activity and to customize information to your personal tastes. A cookie is an element of data that a Web site can send to your browser, which may then store the cookie on your hard drive.

FirstAm.com uses stored cookies. The goal of this technology is to better serve you when visiting our site, save you time when you are here and to provide you with a more meaningful and productive Web site experience.

Fair Information Values

Fairness We consider consumer expectations about their privacy in all our businesses. We only offer products and services that assure a favorable balance between consumer benefits and consumer privacy.

Public Record We believe that an open public record creates significant value for society, enhances consumer choice and creates consumer opportunity. We actively support an open public record and emphasize its importance and contribution to our economy.

Use We believe we should behave responsibly when we use information about a consumer in our business. We will obey the laws governing the collection, use and dissemination of data.

Accuracy We will take reasonable steps to help assure the accuracy of the data we collect, use and disseminate. Where possible, we will take reasonable steps to correct inaccurate information. When, as with the public record, we cannot correct inaccurate information, we will take all reasonable steps to assist consumers in identifying the source of the erroneous data so that the consumer can secure the required corrections.

Education We endeavor to educate the users of our products and services, our employees and others in our industry about the importance of consumer privacy. We will instruct our employees on our fair information values and on the responsible collection and use of data. We will encourage others in our industry to collect and use information in a responsible manner.

Security We will maintain appropriate facilities and systems to protect against unauthorized access to and corruption of the data we maintain.

RECORDING REQUESTED BY:

Fidelity National Title Company
 Escrow No.: 12-262472-JA
 Locate No.: CAFNT0938-0907-0001-0000464341
 Title No.: 12-464341-KD

**When Recorded Mail Document
 and Tax Statement To:**

Dana P. Ellsworth
 158 Alhambra Street
 San Francisco, CA 94123

San Francisco Assessor-Recorder
 Carmen Chu, Assessor-Recorder
DOC- 2013-J774071-00
 Acct 11-FIDELITY NATIONAL Title Company
 Tuesday, OCT 22, 2013 08:00:00
 Ttl Pd \$21.00 Rcpt # 0004815112
REEL L008 IMAGE 0048
 ofa/FT/1-2

APN: Lot 012A, Block 0463A

158 Alhambra St.

SPACE ABOVE THIS LINE FOR RECORDER'S USE

GRANT DEED

The undersigned grantor(s) declare(s)

Documentary transfer tax is \$ 0.00

City Transfer Tax is \$ 0.00

- ☒ computed on full value of property conveyed, or
☐ computed on full value less value of liens or encumbrances remaining at time of sale,
☐ Unincorporated Area City of **San Francisco**,

"This conveyance transfers the grantor's interest into or out of his or her revocable living trust, R & T 11930."

FOR A VALUABLE CONSIDERATION, receipt of which is hereby acknowledged, Dana Ellsworth, a married woman as her sole and separate property

hereby GRANT(S) to Dana P. Ellsworth, trustee of the Dana P. Ellsworth Revocable Trust UDT dated July 23, 2004 and successor trustees thereunder

the following described real property in the City of San Francisco, County of San Francisco, State of California:

SEE EXHIBIT "A" ATTACHED HERETO AND MADE A PART HEREOF

DATED: October 10, 2013

State of California

County of ALAMEDA

On OCTOBER 11, 2013 before me,
JESSE E. RAYGOZA, Notary Public
 (here insert name and title of the officer), personally appeared
DANA ELLSWORTH

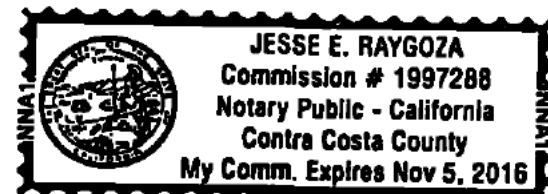

 Dana Ellsworth

who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.

Signature Jesse E. Raygoza (Seal)



MAIL TAX STATEMENTS AS DIRECTED ABOVE

Escrow No.: 12-262472-JA
Locate No.: CAFNT0938-0907-0001-0000464341
Title No.: 12-464341-KD

EXHIBIT "A"

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE CITY OF SAN FRANCISCO, COUNTY OF SAN FRANCISCO, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:

COMMENCING AT A POINT ON THE NORTHWESTERLY LINE OF ALHAMBRA STREET, DISTANT THEREON 315.360 FEET SOUTHWESTERLY FROM THE SOUTHWESTERLY LINE OF MALLORCA WAY AND RUNNING THENCE SOUTHWESTERLY ALONG SAID NORTHWESTERLY LINE OF ALHAMBRA STREET 25.063 FEET; THENCE NORTH 34 DEGREE 54' 10" WEST 147.889 FEET; THENCE NORTH 9 DEGREE 06' WEST 6.677 FEET; THENCE NORTH 66 DEGREE 45' 12" EAST 19.408 FEET; THENCE SOUTH 36 DEGREE 05' 44" EAST 149.969 FEET TO THE NORTHWESTERLY LINE OF ALHAMBRA STREET AND THE POINT OF COMMENCEMENT.

BEING PART OF MARINA GARDEN.

APN: Lot 012A, Block 0463A

Order No.
Escrow No. PH308071
Loan No.

First American Title
WHEN RECORDED MAIL TO:

Daniel Solomon & Shirley Sun
176 Alhambra Street
San Francisco, CA 94123



San Francisco Assessor-Recorder
Doris M. Ward, Assessor-Recorder
DOC- 2000-G857041-00

Acct. 2-FIRST AMERICAN Title Company
Tuesday, OCT 31, 2000 08:00:00
Ttl Pd \$12.00 Nbr-0001001012

REEL H754 IMAGE 0167
car/AB/1-2

DOCUMENTARY TRANSFER TAX none

SPACE ABOVE THIS LINE FOR RECORDER'S USE

____ Computed on the consideration or value of property conveyed; OR
____ Computed on the consideration or value less liens or
encumbrances remaining at time of sale.

As declared by the undersigned Grantor
Signature of Declarant or Agent determining tax - Firm Name

Lot 014, Block 0483A

GRANT DEED

FOR A VALUABLE CONSIDERATION, receipt of which is hereby acknowledged,

Daniel Solomon and Shirley Sun, husband and wife who acquired title as Daniel Solomon, a single man and Shirley Sun, a single woman
hereby GRANT(S) to

Daniel Solomon and Shirley Sun, husband and wife, as community property

the real property in the City of
County of

San Francisco
San Francisco

, State of California, described as

SEE LEGAL DESCRIPTION ATTACHED HERETO AND MADE A PART HEREOF

Dated October 24, 2000

STATE OF CALIFORNIA }
COUNTY OF SAN FRANCISCO } ss.

On OCTOBER 25 2000 before me,

LLOYD K. MARCUS
personally appeared DANIEL SOLOMON AND
SHIRLEY SUN

personally known to me (or proved to me on the basis of satisfactory evidence) to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s) or the entity upon behalf of which the person(s) acted, executed the instrument. WITNESS my hand and official seal.

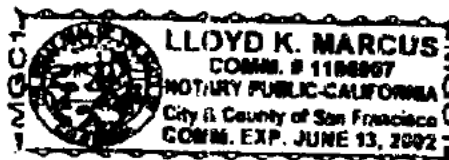
Signature

MAIL TAX STATEMENTS TO:

SAME AS ABOVE

Daniel Solomon

Shirley Sun



(This was the official record copy.)

00344



First American Title Insurance Company

A subsidiary of The First American Financial Corporation

G857041

The property in the City and County of San Francisco, State of California, described as follows:

BEGINNING AT A POINT ON THE NORTHWESTERLY LINE OF ALHAMBRA STREET DISTANT THEREON 152.113 FEET NORTHEASTERLY FROM THE INTERSECTION OF SAID LINE OF ALHAMBRA STREET AND THE EASTERLY LINE OF PIERCE STREET, AS WIDENED; RUNNING THENCE NORTHEASTERLY ALONG SAID LINE OF ALHAMBRA STREET 27.158 FEET; THENCE NORTH 33 DEGREES 42' 20" WEST 100.141 FEET TO A POINT WHICH IS PERPENDICULARLY DISTANT SOUTHERLY 214.363 FEET FROM THE SOUTHERLY LINE OF CAPRA WAY AND ALSO PERPENDICULARLY DISTANT EASTERLY 125 FEET FROM THE SAID LINE OF PIERCE STREET; THENCE SOUTH 57 DEGREES 51' WEST 27.168 FEET TO A POINT WHICH IS PERPENDICULARLY DISTANT SOUTHERLY 225 FEET FROM THE SOUTHERLY LINE OF CAPRA WAY AND ALSO PERPENDICULARLY DISTANT EASTERLY 100 FEET FROM SAID EASTERLY LINE OF PIERCE STREET; THENCE SOUTH 33 DEGREES 42' 20" EAST 100.656 FEET TO THE POINT OF BEGINNING.

BEING A PORTION OF MARINA GARDENS.

EXHIBIT "A"

**RECORDING REQUESTED BY
AND WHEN RECORDED MAIL TO:**

Nina Delmon
c/o Tour-Sarkissian Law Offices
211 Gough Street, Third Floor
San Francisco, CA 94102



San Francisco Assessor-Recorder

D. Hoa Nguyen, Acting Assessor-Recorder

DOC- 2013-J576589-00

Thursday, JAN 03, 2013 13:39:06

Ttl Pd \$20.00 Rcpt # 0004589603

REEL K805 IMAGE 1071

ogi/MA/1-2

3440 Pierce St., San Francisco, CA 94123
APN: Lot 020; Block 463A

Space above line for Recorder's Use

NO TAX DUE.

ma

GRANT DEED

Documentary transfer tax is NONE. Not pursuant to a sale. No consideration. Interspousal transfer. Rev. & Tax Code §§ 11930, 60, 61(h), and 63.

_ Unincorporated area X City of San Francisco

Mail tax statements to: 163 Avila Street, San Francisco, CA 94123

FOR NO CONSIDERATION. **GRANTOR** Nina P. Delmon, as trustee of the 2003 Delmon Family Trust, under Declaration of Trust dated September 5, 2003 and as amended and ratified on November 12, 2003 and on December 17, 2004, hereby **GRANTS TO** Nina P. Delmon, trustee of the Bypass Trust created under Article V of the 2003 Delmon Family Trust, that certain real property in the City of San Francisco, County of San Francisco, State of California, described in Exhibit "A" attached hereto and incorporated herein.

Dated: November 20, 2012

Nina P. Delmon
Nina P. Delmon, Trustee

State of California)
County of San Francisco) ss

On November 20, 2012 before me, B. Warden Lawlor, a notary public, personally appeared Nina P. Delmon, who proved to me on the basis of satisfactory evidence to be the person whose name is subscribed to the within instrument and acknowledged to me that she executed the same in her authorized capacity, and that by her signature on the instrument, the person, or the entity upon behalf of which the person acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.

Signature *B. Warden Lawlor* (SEAL)

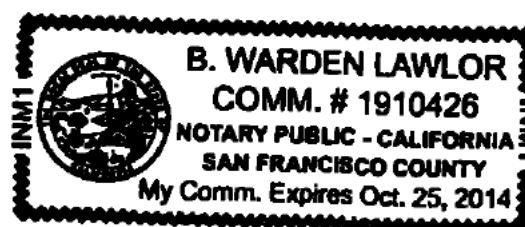


EXHIBIT "A"

Commencing at a point on the easterly line of Pierce Street (as widened) distant thereon 200 feet southerly from the southerly line of Capra Way; running thence southerly along said line of Pierce Street 25 feet; thence at a right angle easterly 100 feet; thence northeasterly 27.168 feet to a point distant southerly 214.363 feet from the southerly line of Capra Way measured at right angles thereto and distant easterly 125 feet from the easterly line of Pierce Street measured at right angles thereto; thence northerly parallel with the easterly line of Pierce Street 14.363 feet; thence at a right angle westerly 125 feet to the point of commencement.

Being a portion of Marina Gardens.

Commonly known as: 3440 Pierce Street
San Francisco, CA

(a) The Trust is the grantee named in that certain Individual Grant Deed executed by Daniel Gomez Urionaguena recorded as Instrument No. Doc-2015-K091932-00, on July 17, 2015, of the Official Records of the County of San Francisco, State of California, regarding the real property located in the City and County of San Francisco, State of California, described as

BEGINNING at a point on the easterly line of Pierce Street, distant thereon 150 feet southerly from the southerly line of Capra Way, running thence southerly along said line of Pierce Street 50 feet, thence at a right angle easterly 125 feet, thence at a right angle northerly 50 feet, thence at a right angle westerly 125 feet to the point of beginning

BEING a portion of MARINA GARDENS

Executed on April 11, 2016, at San Francisco, California.

The Daniel Gomez Urionaguena and Manuela Munoz
De Gomez Living Trust, u/t/a dated June 29, 1994

By: [Signature]
Joanne Mary Gomez, co-Trustee

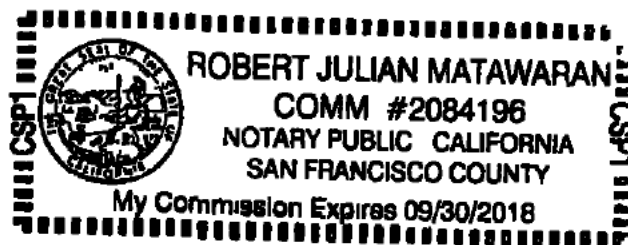
By: [Signature]
Yvonne Marie Gomez, co-Trustee

A notary public or other officer completing this certificate
verifies only the identity of the individual who signed the
document to which this certificate is attached, and not the
truthfulness, accuracy, or validity of that document

State of California
County of San Francisco

Subscribed and sworn to (or affirmed) before me on this 11th
day of April, 2016, by Joanne Mary Gomez,
proved to me on the basis of satisfactory evidence to be the
person(s) who appeared before me.

(Seal)



Signature [Signature]
Notary Public

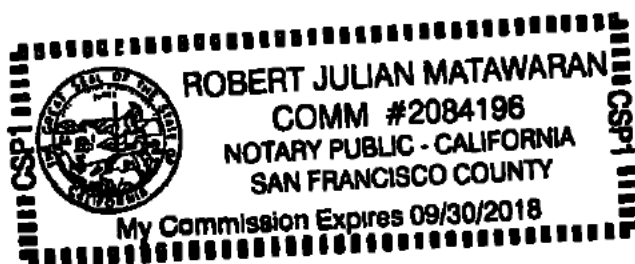
A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document

State of California

County of San Francisco

Subscribed and sworn to (or affirmed) before me on this 11th
day of April, 2016, by Yvonne Marie Gomez,
proved to me on the basis of satisfactory evidence to be the
person(s) who appeared before me

(Seal)



Signature

A handwritten signature in black ink, appearing to read "Robert Julian Matawaran", written over a horizontal line.

Notary Public

O:\3761 02\Affidavit Death of Trustee 3450 Pierce Street SF wpd

State: California
County: San Francisco
Doc Type: Document - Year.DocID
Description: 2016.243661
Page: 4

The page you requested is a Vital Record and is not available online. Data Tree is committed to the privacy and protection of our customers and consumers. We are in the process of voluntarily restricting access to all pages that contain Vital Record information. We believe that such efforts reflect best practices to enhance and improve corporate responsibility, as well as to provide a valuable service to our customers and consumers.

If you have questions regarding this message, please contact:

Data Tree Customer Service Help Desk
1-800-708-8463

State: California
County: San Francisco
Doc Type: Document - Year.DocID
Description: 2016.243661
Page: 5

The page you requested is a Vital Record and is not available online. Data Tree is committed to the privacy and protection of our customers and consumers. We are in the process of voluntarily restricting access to all pages that contain Vital Record information. We believe that such efforts reflect best practices to enhance and improve corporate responsibility, as well as to provide a valuable service to our customers and consumers.

If you have questions regarding this message, please contact:

Data Tree Customer Service Help Desk
1-800-708-8463

Recording requested by
and when recorded return to:
MITCHELL & COURTS, LLP
1001 Marina Village Pkwy., Ste. 400
Alameda, CA 94501

Mail tax statements to:
Charles Cross
3560 Jackson Street
San Francisco, CA 94118



San Francisco Assessor-Recorder
Phil Ting, Assessor-Recorder
DOC- 2012-J455866-00

Check Number 8275

Thursday, JUL 26, 2012 13:02:54

Ttl Pd \$20.00 Rcpt # 0004455178

REEL K697 IMAGE 0497
adm/DM/1-2

Grantor declares there is no documentary transfer tax. (R&T 11930). Grantee is a trust for the benefit of the Grantor.


Charles Cross, Declarant/Grantor

TRUST TRANSFER DEED

The undersigned declares under penalty of perjury that the following is true and correct:

[] Unincorporated area: [x] City of San Francisco and

This is a transfer to a revocable trust under §62 of the Revenue and Taxation Code.

GRANTOR: Charles John Cross, also known as **Charles Cross**, a single man, hereby GRANTS to **Charles Cross, Trustee of the CHARLES CROSS TRUST** dated May 1, 2012, all of his right, title, and interest in the following described real property located in the City and County of San Francisco, State of California, and particularly described as follows:

BEGINNING at a point on the northwesterly line of Alhambra Street, distant thereon 179.271 feet northeasterly from the easterly line of Pierce Street; running thence northeasterly along the northwesterly line of Alhambra Street 25.036 feet; thence North 34 Degrees 54' 10" West 147.889 feet; thence South 9 Degrees 6' East 52.686 feet; thence South 33 degrees 42' 20" East 100.141 feet to the point of beginning.

BEING a portion of Marina Gardens.

Address: 162 Alhambra Street, San Francisco, CA 94123
APN: 0463A-013

Dated: 6/18/12, 2012


CHARLES CROSS

State of California)
County of San Francisco) ss.
)

On June 18, 2012, before me, Clifton Tam, notary public,
personally appeared **CHARLES CROSS**, who proved to me on the basis of satisfactory
evidence to be the person whose name is subscribed to the within instrument and
acknowledged to me that he executed the same in his authorized capacity, and that by his
signature on the instrument the person, or the entity upon behalf of which the person acted,
executed the instrument.

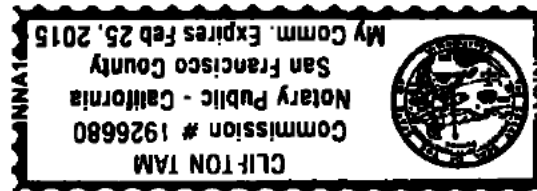
*I certify under PENALTY OF PERJURY under the laws of the State of California that the
foregoing paragraph is true and correct.*

WITNESS my hand and official seal.


Notary Public Signature

Print Name Clifton Tam

Commission Expiration Feb 25, 2015



(Seal)

Document: **Trust Transfer Deed**
162 Alhambra Street, San Francisco, CA 94123
APN 0463A-013

G. FORMS**Form No. 1****Previous Land Use, Permits and Below Market Rate Units**Assessor's Block 0436A Lot 013 Address 162-164 Alhambra Street**Item No. 6. – Previous Land Use:** Multiple Family Home**Item No. 6a. - Permit numbers for any approved building permits**

# <u>201509177273</u>	# _____	# _____
# _____	# _____	# _____

Item No. 12 - Provide proposed sales prices for Below Market Rate (BMR)

Apartment No.	Proposed Sales Price	Apartment No.	Proposed Sales Price
	N/A		

Form No. 2

Owner's Release of Interest in Common Areas

In accordance with section 1323(a)(6) of the San Francisco Subdivision Code, this is my statement that neither I nor any of my agents shall retain any right, title, or interest in any common area or areas or facilities except those common areas in which I might retain any individual interest by virtue of ownership of one or more of the individual units.

Dated: August 2, 2016

Signed: Charles Cross

Dated: _____

Signed: _____

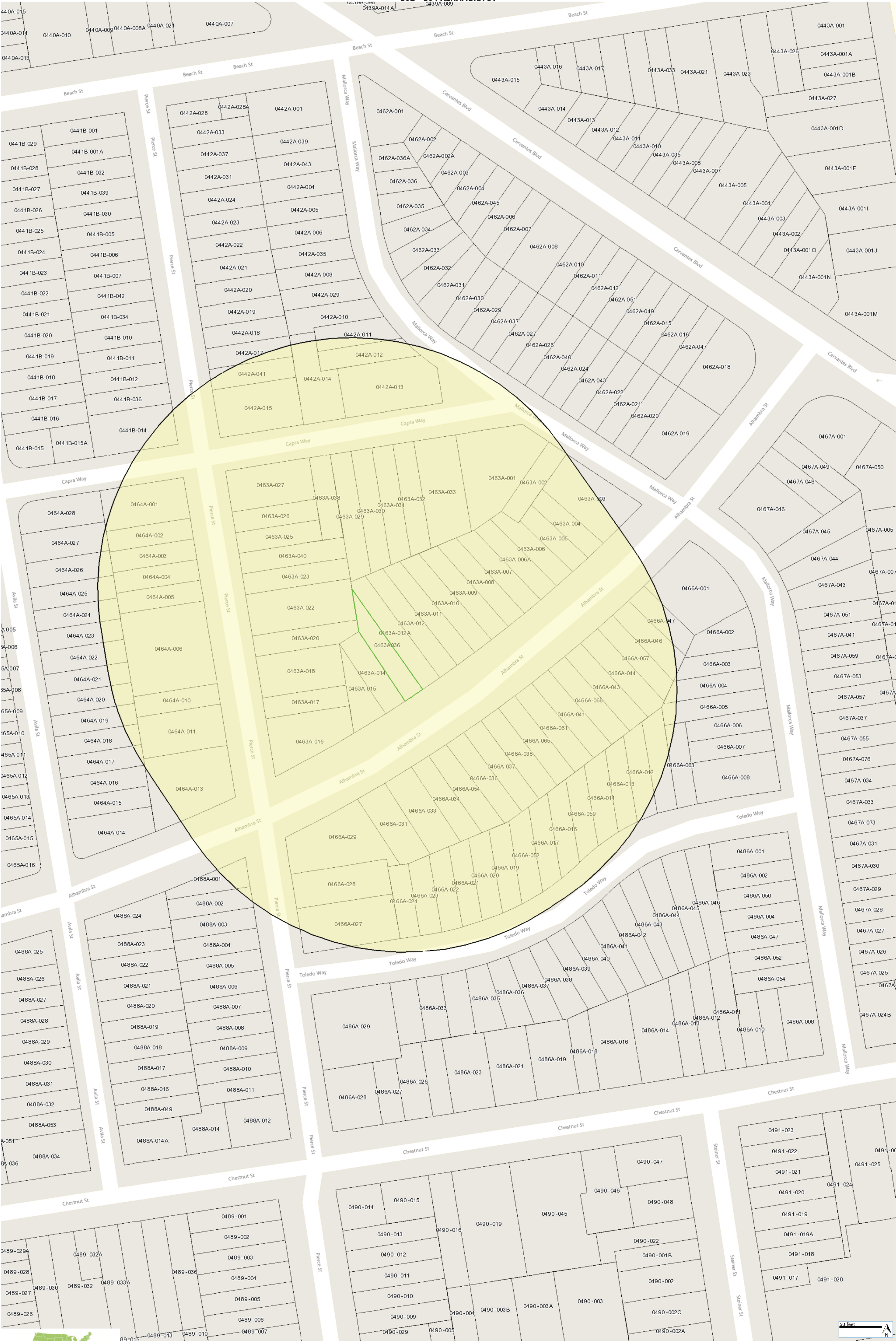
Dated: _____

Signed: _____

Dated: _____

Signed: _____

300' Radius Map
162 - 164 ALHAMBRA ST





Radius Maps Owner and Occupant Lists Mailing Services

July 28, 2016

TO: Department of Public Works
 Bureau of Street Use and Mapping
 1155 Market Street, 3rd Floor San
 Francisco, CA 94103

COPY TO:

RE: Notification Package 162-164 ALHAMBRA ST SF

To Whom It May Concern:

Enclosed please find

- 300' radius map measured from the exterior of property boundaries
- Mailing list with all owners and subject parcel tenants within the 300'
- Mailing labels with all owners and subject parcel tenants within 300'

This property information was acquired through the County Assessor's office. Further, the information is based upon the most up-to-date records of the county tax assessor and is deemed reliable, but is not guaranteed.

Please contact me at (866) 752-6266 if you have questions.

Thank you.

Norah Jaffan



Front of PIQ 162-164 Alhambra APN 0436A-013



Looking from right of PIQ 162-164 Alhambra Street APN: 0436A-013



Looking from right of PIQ 162-164 Alhambra Street APN: 0436A-013



Looking from right of PIQ 162-164 Alhambra Street APN: 0436A-013

Form No. 3

Proposition "M" Findings Form **The Eight Priority Policies** **of Section 101.1 of the San Francisco Planning Code**

Date: August 1, 2016

City Planning Case No. _____ (if available)

Address 162-164 Alhambra Street

Assessor's Block 0436A Lot(s) 013

Proposal: 3 Unit New Construction Condominium

EIGHT PRIORITY GENERAL PLAN POLICIES

As a result of the passage of Proposition M (Section 101.1 of the San Francisco Planning Code), findings that demonstrate consistency with the eight priority policies of Section 101.1 must be presented to the Department of City Planning as part of your project application review for general conformity with San Francisco's General Plan.

Photographs of the subject property are required for priority policy review and must be submitted as part of the application.

INSTRUCTIONS TO APPLICANTS: Please present information in detail about how your application relates to each of the eight priority policies listed below. The application will be found to be incomplete if the responses are not thorough. Use a separate document and attach if more space is needed.

1. That existing neighborhood-serving retail uses be preserved and enhanced and future opportunities for resident employment in and ownership of such businesses enhanced;

This project includes three residential condominiums. When occupied it will provide additional
customers to existing neighborhood retail businesses.

2. That existing housing and neighborhood character be conserved and protected in order to preserve the cultural and economic diversity of our neighborhood;

This project was carefully designed so that its architecture meshes with the architecture of the
current multi-family home as well as the surrounding neighborhood.

3. That the City's supply of affordable housing be preserved and enhanced;

This project will contribute 3 moderately priced residences to San Francisco's housing supply.

An increase in housing units lessens demand and contributes to the reduction of costs.

4. That commuter traffic not impede Muni transit service or overburden our streets or neighborhood parking;

This project will not increase commuter traffic. It will not overburden Muni services or San Francisco

street traffic nor will it cause parking problems.

5. That a diverse economic base be maintained by protecting our industrial and service sectors from displacement due to commercial office development, and that future opportunities for resident employment and ownership in these sectors be enhanced;

This project will have no impact on the industrial or service sectors.

6. That the City achieve the greatest possible preparedness to protect against injury and loss of life in an earthquake;

The project is new construction and it complies with current building codes regarding seismic safety.

7. That landmarks and historic buildings be preserved; and

This project has no impact on policy.

8. That our parks and open space and their access to sunlight and vistas be protected from development.

No parks or open space were affected by this development. The project does not block access to sunlight or vistas.

Charles Cross
Signature of Applicant

August 2, 2016
Date



NOTICE

TITLE-24 ENERGY INSPECTION REQUIREMENTS LOW-RISE RESIDENTIAL (BUILDING)

Please note that Certificates of Installation and/or Verification are required for this project, as indicated on this form issued with this permit. Ensuring the accurate completion of this documentation is the direct responsibility of the engineer/architect of record. This documentation is required *in addition to* the called inspections performed by the Department of Building Inspection.

For questions regarding the details or extent of required documentation or testing, and if there are any field problems regarding documentation or testing, please call your District Building Inspector or 415-558-6570.

Before final building inspection is scheduled, documentation of energy compliance "Certificate of Installation, Acceptance, and Verification" must be completed and signed by the responsible person in charge. **The permit will not be finalized without compliance with the energy inspection requirements.**

Energy Inspection Services Contact Information

1. Telephone: (415) 558-6132
2. Fax: (415) 558-6474
3. Email: dbi.energyinspections@sfgov.org
4. In person: 3rd floor at 1660 Mission St.

Note: We are moving towards a 'paperless' mode of operation. All special inspection submittals, including final letters, may be emailed (preferred) or faxed. We will also be shifting to a paperless fax receipt mode.

Installation and Verification certificates can be found on the California Energy Commission website at <http://energy.ca.gov/title24/2013standards/>

Information Sheet MEP-06 provides submittal instructions for the Title-24 installation, verification, and acceptance energy certificates. MEP-06 may be found on the SFDBI website at <http://sfdbi.org/information-sheets>

TITLE-24 LOW-RISE RESIDENTIAL ENERGY INSPECTION (BUILDING)

A COPY OF THIS DOCUMENT SHALL BE KEPT WITH THE APPROVED DRAWING SET

JOB ADDRESS 162-164 ALVARADO ST. APPLICATION NO. 2015 09177213 ADDENDUM NO.
ENGINEER/ARCHITECT/DESIGNER NAME HARRY FRIEGEN PHONE NO. (415) 999-2315
FRIEGEN ARCHITECTS

Ensuring the completion of installation documentation as well as the required acceptance/verification testing is the direct responsibility of the undersigned. Installation documentation must be completed by the contractor performing the installation. Verification testing must be completed by a certified HERS rater.

In accordance with the requirements of the 2013 California Energy Code, the following documentation is required for the building elements in this project:

1. Installation

Envelope

- ☒ CF2R ENV-01-E Non HERS - Fenestration & Site built Fenestration (IB1)
- ☐ CF2R ENV-02-E Non HERS - Envelope Air Sealing Requirements (IB2)
- ☐ CF2R ENV-03-E Non HERS - Insulation Installation (IB3)
- ☐ CF2R ENV-04-E Non HERS - Roofing; Radiant Barrier (IB4)
- ☐ CF2R ENV-20a-H HERS - Building Envelope Air Leakage Single Point Test with Manual Meter (IB5)
- ☐ CF2R ENV-20b-H HERS - Building Envelope Air Leakage Single Point Test with Automatic Meter (IB6)
- ☐ CF2R ENV-20c-H HERS - Building Envelope Air Leakage Multi-Point Test (IB7)
- ☐ CF2R ENV-20d-H HERS - Building Envelope Air Leakage Repeated Single Point with Manual Meter (IB8)
- ☐ CF2R ENV-20e-H HERS - Building Envelope Air Leakage Repeated Single Point with Automatic Meter (IB9)
- ☐ CF2R ENV-21-H HERS - High Quality Insulation Installation (QII) Framing Stage for Batt, Loose Fill, and SPF (IB10)
- ☐ CF2R ENV-22-H HERS - High Quality Insulation Installation (QII) Ceiling/Roof Deck (IB38)
- ☐ CF2R ENV-23-H HERS - High Quality Insulation Installation (QII) Insulation (IB11)
- ☐ CF2R ENV-24-H HERS - High Quality Insulation Installation (QII) Framing Stage for SIP and ICF (IB39)

Mechanical

- ☐ CF2R-MCH-01a-E Space conditioning systems ducts and fans Performance (IB12)
- ☐ CF2R-MCH-01b-E Space conditioning systems ducts and fans Prescriptive (IB40)
- ☐ CF2R-MCH-01c-E Space conditioning systems ducts and fans Prescriptive Newly Constructed Buildings (IB41)
- ☐ CF2R-MCH-02-E Non HERS - Whole house fan (IB13)
- ☐ CF2R-MCH-20a-H HERS - Duct Leakage - New Systems (IB14)
- ☐ CF2R-MCH-20b-H HERS - Duct Leakage - Low Leakage Ducts in Conditioned Space (compliance credit) (IB15)
- ☐ CF2R-MCH-20c-H HERS - Duct Leakage - Low Leakage Air-Handling Units (IB16)
- ☐ CF2R-MCH-20d-H HERS - Duct Leakage - Altered System (IB17)
- ☐ CF2R-MCH-20e-H HERS - Duct Leakage - Sealing All Accessible Leaks (IB42)
- ☐ CF2R-MCH-21-H HERS - Duct Location Verification (compliance credit) (IB18)
- ☐ CF2R-MCH-22a-H HERS - Forced Air System Fan Efficacy All Zones Calling (IB19)
- ☐ CF2R-MCH-22b-H HERS - Forced Air System Fan Efficacy Every Zonal Control Mode (IB43)
- ☐ CF2R-MCH-23a-H HERS - Forced Air System Airflow Rate All Zones Calling (IB20)
- ☐ CF2R-MCH-23b-H HERS - Forced Air System Airflow Rate Every Zonal Control (IB44)
- ☐ CF2R-MCH-23c-H HERS - Forced Air System Airflow Rate Alternative Compliance (IB45)
- ☐ CF2R-MCH-23d-H HERS - Forced Air System Airflow Rate Measurement Only (IB46)
- ☐ CF2R-MCH-24a-H HERS - Building Envelope Air Leakage Single-Point Test with Manual Meter (IB47)
- ☐ CF2R-MCH-24b-H HERS - Building Envelope Air Leakage Single-Point Test with Automatic Meter (IB48)
- ☐ CF2R-MCH-24c-H HERS - Building Envelope Air Leakage Multi-Point Test (IB49)
- ☐ CF2R-MCH-24d-H HERS - Building Envelope Air Leakage Repeated Single Point with Manual Meter (IB50)
- ☐ CF2R-MCH-24e-H HERS - Building Envelope Air Leakage Repeated Single Point with Automatic Meter (IB51)
- ☐ CF2R-MCH-25a-H HERS - Refrigerant Charge Verification - Superheat Method (IB21)
- ☐ CF2R-MCH-25b-H HERS - Refrigerant Charge Verification - Subcooling (IB22)
- ☐ CF2R-MCH-25c-H HERS - Refrigerant Charge Verification - Weigh-in Procedure (IB23)
- ☐ CF2R-MCH-25d-H HERS - Refrigerant Charge Verification - Charge Indicator Display (CID) (IB24)
- ☐ CF2R-MCH-25e-H HERS - Refrigerant Charge Verification - Winter Setup for Standard Charge Verification (IB25)
- ☐ CF2R-MCH-25f-E Refrigerant Charge Verification - New package unit with factory charge (IB26)
- ☐ CF2R-MCH-26-H HERS - Verified EER or SEER (IB27)
- ☐ CF2R-MCH-27a-H HERS - Mechanical Ventilation - Continuous Whole-Building Mechanical Ventilation Airflow - Fan Vent Rate Method (IB28)
- ☐ CF2R-MCH-27b-H HERS - Mechanical Ventilation - Continuous Whole-Building Mechanical Ventilation Airflow - Total Vent Rate Method (IB29)
- ☐ CF2R-MCH-27c-H HERS - Mechanical Ventilation - Intermittent Whole-Building Mechanical Ventilation Airflow - Fan Vent Rate Method (IB30)
- ☐ CF2R-MCH-27d-H HERS - Mechanical Ventilation - Intermittent Whole-Building Mechanical Ventilation Airflow - Total Vent Rate Method (IB52)
- ☐ CF2R-MCH-28-H HERS - Return Duct And Filter Design (IB31)
- ☐ CF2R-MCH-29-H HERS - Buried Ducts and Deeply Buried Ducts (IB32)

APPROVED
Dept. of Building Insp.
OCT 19 2015
Tom C. Hui
TOM C. HUI, S.E.
DIRECTOR
DEPT. OF BUILDING INSPECTION

RECEIVED
SEP 17 2015
DEPT. OF BUILDING INSPECTION
ACCEPTED

REYNALDO ORTEGA
SEP 17 2015



2. Verification

Mechanical

- | | |
|--|--|
| <input type="checkbox"/> CF3R ENV-20a-H HERS - Building Envelope Air Leakage Single Point Test with Manual Meter (VB1) | <input type="checkbox"/> CF3R-MCH-24a-H HERS - Building Envelope Air Leakage Single-Point Test with Manual Meter (VB41) |
| <input type="checkbox"/> CF3R ENV-20b-H HERS - Building Envelope Air Leakage Single Point Test with Automatic Meter (VB2) | <input type="checkbox"/> CF3R-MCH-24b-H HERS - Building Envelope Air Leakage Single-Point Test with Automatic Meter (VB42) |
| <input type="checkbox"/> CF3R ENV-20c-H HERS - Building Envelope Air Leakage Multi Point Test (VB3) | <input type="checkbox"/> CF3R-MCH-24c-H HERS - Building Envelope Air Leakage Multi-Point Test (VB43) |
| <input type="checkbox"/> CF3R ENV-20d-H HERS - Building Envelope Air Leakage Repeated Single Point with Manual Meter (VB4) | <input type="checkbox"/> CF3R-MCH-24d-H HERS - Building Envelope Air Leakage Repeated Single-Point with Manual Meter (VB44) |
| <input type="checkbox"/> CF3R ENV-20e-H HERS - Building Envelope Air Leakage Repeated Single Point with Automatic Meter (VB5) | <input type="checkbox"/> CF3R-MCH-24e-H HERS - Building Envelope Air Leakage Repeated Single-Point with Automatic Meter (VB45) |
| <input type="checkbox"/> CF3R ENV-21-H HERS - High Quality Insulation Installation (QII) Framing Stage - wood frame (VB6) | <input type="checkbox"/> CF3R-MCH-25a-H HERS - Refrigerant Charge Verification - Superheat Method (VB15) |
| <input type="checkbox"/> CF3R ENV-22-H HERS - High Quality Insulation Installation (QII) Ceiling/Roof Deck (VB34) | <input type="checkbox"/> CF3R-MCH-25b-H HERS - Refrigerant Charge Verification - Subcooling (VB16) |
| <input type="checkbox"/> CF3R ENV-23-H HERS - High Quality Insulation Installation (QII) Insulation (VB7) | <input type="checkbox"/> CF3R-MCH-25c-H HERS - Refrigerant Charge Verification - Weigh-In Procedure (VB17) |
| <input type="checkbox"/> CF3R ENV-24-H HERS - High Quality Insulation Installation (QII) Framing Stage - SIP and ICF (VB35) | <input type="checkbox"/> CF3R-MCH-25d-H HERS - Refrigerant Charge Verification - Charge Indicator Display (CID) (VB18) |
| <input type="checkbox"/> CF3R-MCH-20a-H HERS - Duct Leakage - New Systems (VB8) | <input type="checkbox"/> CF3R-MCH-25e-H HERS - Refrigerant Charge Verification - Winter Setup for Standard Charge Verification (VB19) |
| <input type="checkbox"/> CF3R-MCH-20b-H HERS - Duct Leakage - Low Leakage Ducts in Conditioned Space (compliance credit) (VB9) | |
| <input type="checkbox"/> CF3R-MCH-20c-H HERS - Duct Leakage - Low Leakage Air-Handling Units (VB10) | |
|
 | |
| <input type="checkbox"/> CF3R-MCH-20d-H HERS - Duct Leakage - Altered System (VB11) | <input type="checkbox"/> CF3R-MCH-26-H HERS - Verified EER or SEER (VB21) |
| <input type="checkbox"/> CF3R-MCH-20e-H HERS - Duct Leakage - Sealing All Accessible Leaks (VB36) | <input type="checkbox"/> CF3R-MCH-27a-H HERS - Mechanical Ventilation - Continuous Whole-Building Mechanical Ventilation Airflow - Fan Vent Rate Method (VB22) |
|
 | <input type="checkbox"/> CF3R-MCH-27b-H HERS - Mechanical Ventilation - Continuous Whole-Building Mechanical Ventilation Airflow - Total Vent Rate Method (VB23) |
| <input type="checkbox"/> CF3R-MCH-21-H HERS - Duct Location Verification (compliance credit) (VB12) | |
|
 | |
| <input type="checkbox"/> CF3R-MCH-22a-H HERS - Forced Air System Fan Efficacy All Zones Calling (VB13) | <input type="checkbox"/> CF3R-MCH-27c-H HERS - Mechanical Ventilation - Intermittent Whole-Building Mechanical Ventilation Airflow - Fan Vent Rate Method (VB24) |
| <input type="checkbox"/> CF3R-MCH-22b-H HERS - Forced Air System Fan Efficacy Every Zonal Control Mode (VB37) | <input type="checkbox"/> CF3R-MCH-27d-H HERS - Mechanical Ventilation - Intermittent Whole-Building Mechanical Ventilation Airflow - Total Vent Rate Method (VB46) |
| <input type="checkbox"/> CF3R-MCH-23a-H HERS - Forced Air System Airflow Rate All Zones Calling (VB14) | <input type="checkbox"/> CF3R-MCH-28-H HERS - Return Duct And Filter Grille Design (VB25) |
| <input type="checkbox"/> CF3R-MCH-23b-H HERS - Forced Air System Airflow Rate Every Zonal Control (VB38) | <input type="checkbox"/> CF3R-MCH-29-H HERS - Supply Duct Surface Area and R-Value; Buried Ducts; Deeply Buried Ducts (VB27) |
| <input type="checkbox"/> CF3R-MCH-23c-H HERS - Forced Air System Airflow Rate Alternative Compliance (VB39) | |
| <input type="checkbox"/> CF3R-MCH-23d-H HERS - Forced Air System Airflow Rate Measurement Only (VB40) | |

Prepared by: _____ Date: 9/17/15

Engineer/Architect of Record/ Designer Signature

Required information:

Fax: _____ Email: _____

Review by: _____ Phone: (415) 558-_____

DBI Engineer or Plan Checker

APPROVAL (Based on submitted reports)

DATE _____ DBI Building Inspector or Energy Inspection Services Staff

QUESTIONS ABOUT TITLE-24 ENERGY INSPECTION SHOULD BE DIRECTED TO:
Energy Inspection Services (415) 558-6132; or, dbi.energyinspections@sfgov.org; or FAX (415) 558-6474

RECEIVED
SEP 17 2015
DEPT. OF BUILDING INSPECTION
ACCEPTED

REYNALDO ORTEGA
SEP 17 2015

APPROVED
Dept. of Building Insp.
OCT 19 2015
Tom C. Hui
TOM C. HUI, S.E.
DIRECTOR
DEPT. OF BUILDING INSPECTION



NOTICE

TITLE-24 ENERGY INSPECTION REQUIREMENTS LOW-RISE RESIDENTIAL (ELECTRICAL)

Please note that Certificates of Installation and/or Verification are required for this project, as indicated on this form issued with this permit. Ensuring the accurate completion of this documentation is the direct responsibility of the engineer/architect of record. This documentation is required *in addition to* the called inspections performed by the Department of Building Inspection.

For questions regarding the details or extent of required documentation or testing, and if there are any field problems regarding documentation or testing, please call your District Electrical Inspector or 415-558-6570.

Before final electrical inspection is scheduled, documentation of energy compliance "Certificate of Installation, Acceptance, and Verification" must be completed and signed by the responsible person in charge. **The permit will not be finalized without compliance with the energy inspection requirements.**

Energy Inspection Services Contact Information

1. Telephone: (415) 558-6132
2. Fax: (415) 558-6474
3. Email: dbi.energyinspections@sfgov.org
4. In person: 3rd floor at 1660 Mission St.

Note: We are moving towards a 'paperless' mode of operation. All special inspection submittals, including final letters, may be emailed (preferred) or faxed. We will also be shifting to a paperless fax receipt mode.

Installation and Verification certificates can be found on the California Energy Commission website at <http://energy.ca.gov/title24/2013standards/>

Information Sheet MEP-06 provides submittal instructions for the Title-24 installation, verification, and acceptance energy certificates. MEP-06 may be found on the SFDDBI website at <http://sfdbi.org/information-sheets>

TITLE-24 LOW RISE RESIDENTIAL ENERGY INSPECTION (ELECTRICAL)

A COPY OF THIS DOCUMENT SHALL BE KEPT WITH THE APPROVED DRAWING SET

JOB ADDRESS 162 - 164 ALHAMBRA ST. APPLICATION NO. 2015 0917 7273 ADDENDUM NO. _____

ENGINEER/ARCHITECT/DESIGNER NAME LARRY FRIESEN PHONE NO. (415) 999-2315
FRIESEN ARCHITECTS

Ensuring the completion of installation documentation as well as the required acceptance/verification testing is the direct responsibility of the undersigned. Installation documentation must be completed by the contractor performing the installation. Verification testing must be completed by a certified HERS rater.

In accordance with the requirements of the 2013 California Energy Code, the following documentation is required for the electrical elements in this project:

1. Installation

Electrical

- ☐ CF2R-LTG-01-E Lighting types and controls for single family buildings (IE1)
☒ CF2R-LTG-02-E Lighting types and controls for multifamily buildings (IE2)

Solar

- ☐ CF2R-SPV-01a-E Photovoltaic systems compliance credit (IE3)
☐ CF2R-SPV-01b-E Photovoltaic systems exceptions to solar ready area requirements (IE4)
☐ CF2R-SPV-01c-E Photovoltaic systems PV compliance credit and exemptions (IE5)

APPROVED
Dept. of Building Insp.

OCT 19 2015

Tom C. Hui
TOM C. HUI, S.E.
DIRECTOR
DEPT. OF BUILDING INSPECTION

RECEIVED
SEP 17 2015
DEPT. OF BUILDING INSPECTION
ACCEPTED

REYNALDO ORTEGA
SEP 17 2015

Prepared by: _____ Date: 9/17/15

Engineer/Architect of Record/ Designer Signature

Required information:

Fax: _____ Email: _____

Review by: _____ Phone: (415) 558-
DBI Engineer or Plan Checker

APPROVAL (Based on submitted reports)

REYNALDO ORTEGA
SEP 17 2015

DATE _____ DBI Electrical Inspector or Energy Inspection Services Staff

QUESTIONS ABOUT TITLE-24 ENERGY INSPECTION SHOULD BE DIRECTED TO:
Energy Inspection Services (415) 558-6132; or, dbi.energyinspections@sfgov.org; or FAX (415) 558-6474



NOTICE

TITLE-24 ENERGY INSPECTION REQUIREMENTS LOW-RISE RESIDENTIAL (PLUMBING)

Please note that Certificates of Installation and/or Verification are required for this project, as indicated on this form issued with this permit. Ensuring the accurate completion of this documentation is the direct responsibility of the engineer/architect of record. This documentation is required *in addition to* the called inspections performed by the Department of Building Inspection.

For questions regarding the details or extent of required documentation or testing, and if there are any field problems regarding documentation or testing, please call your District Plumbing Inspector or 415-558-6570.

Before final plumbing inspection is scheduled, documentation of energy compliance "Certificate of Installation, Acceptance, and Verification" must be completed and signed by the responsible person in charge. *The permit will not be finalized without compliance with the energy inspection requirements.*

Energy Inspection Services Contact Information

1. Telephone: (415) 558-6132
2. Fax: (415) 558-6474
3. Email: dbi.energyinspections@sfgov.org
4. In person: 3rd floor at 1660 Mission St.

Note: We are moving towards a 'paperless' mode of operation. All special inspection submittals, including final letters, may be emailed (preferred) or faxed. We will also be shifting to a paperless fax receipt mode.

Installation and Verification certificates can be found on the California Energy Commission website at <http://energy.ca.gov/title24/2013standards/>

Information Sheet MEP-06 provides submittal instructions for the Title-24 installation, verification, and acceptance energy certificates. MEP-06 may be found on the SFDBI website at <http://sfdbi.org/information-sheets>

TITLE-24 LOW-RISE RESIDENTIAL SPECIAL INSPECTION (PLUMBING)

A COPY OF THIS DOCUMENT SHALL BE KEPT WITH THE APPROVED DRAWING SET

JOB ADDRESS 162-164 ALHAMBRA ST APPLICATION NO. 2015 0917 7273 ADDENDUM NO. _____

ENGINEER/ARCHITECT/DESIGNER NAME LARRY FRIESEN PHONE NO. (415) 999-2315
FRIESEN ARCHITECTS

Ensuring the completion of installation documentation as well as the required acceptance/verification testing is the direct responsibility of the undersigned. Installation documentation must be completed by the contractor performing the installation. Verification testing must be completed by a certified HERS rater.

In accordance with the requirements of the 2013 California Energy Code, the following documentation is required for the plumbing work in this project:

1. Installation

Plumbing

- ☒ CF2R-PLB-01-E DHW Non-HERS - Multifamily Central Hot Water System Distribution (IP6)
- ☐ CF2R-PLB-02-E DHW Non-HERS - Single Dwelling Unit Hot Water System Distribution (IP5)
- ☐ CF2R-PLB-03-E DHW Non-HERS - Pool and Spa System (IP7)
- ☐ CF2R-PLB-21-H DHW HERS - HERS Multifamily Central Hot Water System Distribution (IP9)
- ☐ CF2R-PLB-22-H DHW HERS - HERS Single Dwelling Unit Hot Water System Distribution (IP8)

Solar

- ☐ CF2R-STH-01-E Solar Water Heating System (IP1)

Mechanical

- ☐ CF2R-MCH-04-E Non HERS - Evaporative coolers (IP2)

2. Verification

- ☐ CF3R-PLB-21-H DHW HERS - HERS Multifamily Central Hot Water System Distribution (VP2)
- ☐ CF3R-PLB-22-H DHW HERS - HERS Single Dwelling Unit Hot Water System Distribution (VP3)

RECEIVED
SEP 17 2015
DEPT. OF BUILDING INSPECTION
ACCEPTED

REYNALDO ORTEGA
SEP 17 2015

Prepared by: _____ Date: 9/17/15
Engineer/Architect of Record/ Designer Signature

Required information:
Fax: _____ Email: _____

Review by: _____ Phone: (415) 558-_____
DBI Engineer or Plan Checker

APPROVAL (Based on submitted reports)

DATE _____ DBI Plumbing Inspector or Energy Inspection Services Staff

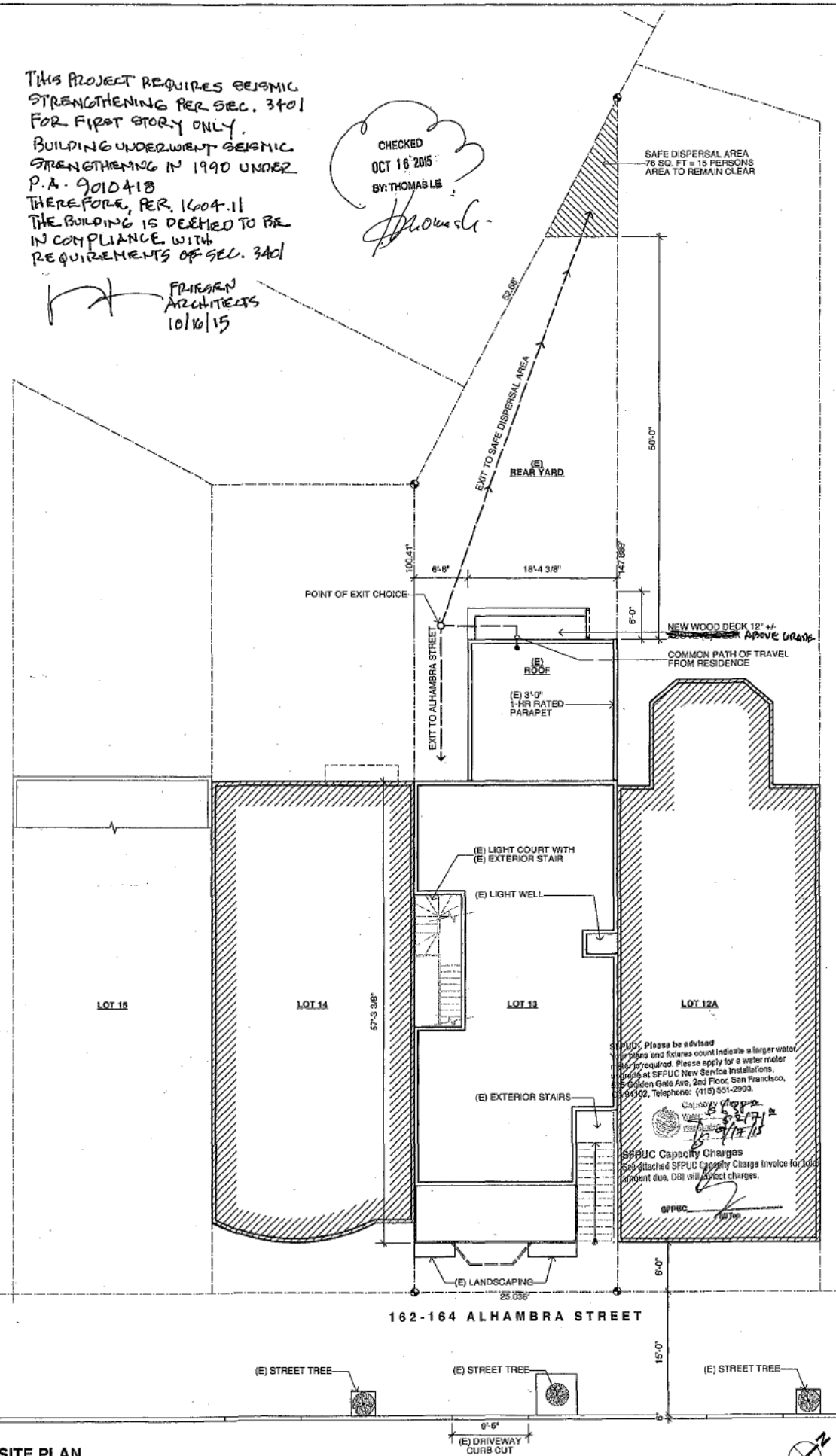
QUESTIONS ABOUT TITLE-24 ENERGY INSPECTION SHOULD BE DIRECTED TO:
Energy Inspection Services (415) 558-6132; or, dbi.energyinspections@sfgov.org; or FAX (415) 558-6474

THIS PROJECT REQUIRES SEISMIC STRENGTHENING PER SEC. 3401 FOR FIRST STORY ONLY. BUILDING UNDERWENT SEISMIC STRENGTHENING IN 1990 UNDER P.A. 9010418 THEREFORE, PER 1604.11 THE BUILDING IS DEEMED TO BE IN COMPLIANCE WITH REQUIREMENTS OF SEC. 3401

FRIESEN ARCHITECTS 10/16/15

CHECKED OCT 15 2015 BY: THOMAS LE

THOMAS LE



GENERAL NOTES

BOLD TEXT INDICATES ITEMS WITH CODE INFORMATION

ALL WORK AND MATERIALS SHALL BE IN FULL CONFORMANCE WITH THE LATEST FEDERAL, STATE AND LOCAL CODES, LAWS AND ORDINANCES, INCLUDING THEIR MOST RECENT REVISIONS, ADDITIONS, AMENDMENTS, AND INTERPRETATIONS.

THE ARCHITECTURAL CONTRACT DOCUMENTS FOR THIS PROJECT CONSIST OF DRAWINGS AND SPECIFICATIONS. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR THE COMPLETE REVIEW OF ALL PARTS OF THE CONTRACT DOCUMENTS AS A REQUIREMENT OF THIS PROJECT.

THE COMPLETE SCOPE OF WORK FOR THIS PROJECT IS NOT LIMITED TO THE INFORMATION INDICATED ON THE ARCHITECTURAL DRAWINGS AND SPECIFICATIONS. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR PROVIDING AND COORDINATING THE WORK OF OTHERS INCLUDING BUT NOT LIMITED TO ELECTRICAL, PLUMBING AND MECHANICAL CONTRACTORS IN CONNECTION WITH THE DESIGN, ENGINEERING AND CONSTRUCTION OF ALL APPLICABLE SYSTEMS.

THE GENERAL CONTRACTOR SHALL COORDINATE THE WORK OF OTHERS WITH EXISTING CONDITIONS AND REQUIREMENTS SHOWN ON THE ARCHITECTURAL AND STRUCTURAL DRAWINGS AND SUBMIT ALL DESIGN-BUILD DRAWINGS TO THE ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO FABRICATION AND INSTALLATION.

THE GENERAL CONTRACTOR SHALL REVIEW THE DRAWINGS AND SPECIFICATIONS TO COORDINATE WITH EXISTING BUILDING CONDITIONS. ANY VARIANCE OR DISCREPANCIES THAT ARISE FROM THE ABOVE REVIEW SHALL BE REPORTED TO THE ARCHITECT IMMEDIATELY FOR RESOLUTION. ALL DELAYS AND ADDITIONAL COSTS RESULTING FROM THE INCOMPLETE OR UNTIMELY SUBMISSION OF THE ABOVE REPORT SHALL BE THE SOLE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO REMEDY.

THE GENERAL CONTRACTOR SHALL BRING TO THE ATTENTION OF THE ARCHITECT ANY CODE VIOLATIONS, INCORRECT CONSTRUCTIONS, OR SAFETY PROBLEMS THAT ARE EXISTING FIELD CONDITIONS.

ALL EXISTING HAZARDOUS MATERIALS SHALL BE REMOVED AND DISPOSED OF IN ACCORDANCE WITH LOCAL AND STATE CODES. NO NEW OR EXISTING CONSTRUCTION SHALL CONTAIN HAZARDOUS OR PROHIBITED MATERIALS.

ALL DIMENSIONS SHALL BE AS INDICATED ON THE DRAWINGS, OR AS CLARIFIED BY THE ARCHITECT. UNDER NO CIRCUMSTANCES SHALL DIMENSIONS BE DETERMINED BY SCALING THE DRAWINGS.

DIMENSIONS ARE TO FACE OF FINISH CENTERLINE OF COLUMN OR CENTERLINE OF WINDOW MULLION UNLESS OTHERWISE NOTED. ALL NEW FINISHES ARE TO ALIGN FLUSH WITH EXISTING FINISHES WITHOUT EVIDENCE OF ADDITION UNLESS OTHERWISE NOTED.

ALL CLEAR DIMENSIONS ARE TO BE WITHIN 1/8" (+/-) ALONG FULL HEIGHT AND FULL WIDTH OF WALLS. THE CONTRACTOR SHALL NOT ADJUST ANY DIMENSION MARKED "CLEAR" OR "CLF" WITHOUT WRITTEN INSTRUCTION FROM THE ARCHITECT.

ALL CHANGES IN FLOOR MATERIALS OCCUR AT CENTERLINE OF DOOR OR FRAMED OPENING UNLESS OTHERWISE NOTED.

MECHANICAL: MECHANICAL SYSTEMS SHOWN ARE SCHEMATIC ONLY. THIS SYSTEMS SHALL BE DESIGN BUILD BY CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROPER SIZING, PLACEMENT AND INSTALLATION. CONTRACTOR SHALL OBTAIN SEPARATE PERMITS AS NECESSARY.

PLUMBING: PLUMBING SYSTEMS SHOWN ARE SCHEMATIC ONLY. THIS SYSTEMS SHALL BE DESIGN BUILD BY CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROPER SIZING, PLACEMENT AND INSTALLATION. CONTRACTOR SHALL OBTAIN SEPARATE PERMITS AS NECESSARY.

ALL SHOWER HEADS AND WATER FAUCETS SHALL BE "LOW FLOW" AND BE CERTIFIED BY THE CALIFORNIA ENERGY COMMISSION.

THE TOILET SHALL USE A MAX. OF 1.2 GALLONS PER FLUSH.

ALL GAS DEVICES MUST HAVE INTERIM PILOTS.

ELECTRICAL: ELECTRICAL SYSTEMS SHOWN ARE SCHEMATIC ONLY. THIS SYSTEMS SHALL BE DESIGN BUILD BY CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROPER SIZING, PLACEMENT AND INSTALLATION. CONTRACTOR SHALL OBTAIN SEPARATE PERMITS AS NECESSARY.

RECEPTACLES SHALL BE INSTALLED SO THAT NO POINT ALONG THE FLOOR IN ANY WALL SPACE IS MORE THAN 6 FEET HORIZONTALLY FROM AN OUTLET AND 2 FEET HORIZONTALLY AT KITCHEN COUNTER SURFACES.

ALL RECEPTACLES WITHIN 8 FEET OF WET AREAS SHALL BE GFI PROTECTED.

ALL NEW OUTLET RECEPTACLES TO BE PLACED AT 15" A.F.F. U.O.N. HEIGHT SHALL BE MEASURED FROM FINISHED FLOOR TO CENTERLINE OF OUTLET. IF NECESSARY, INSTALL BLOCKING OR FRAMING BRACKETS BETWEEN STUDS. THIS DOES NOT APPLY TO OUTLETS AT COUNTER SURFACES.

LIGHTING FIXTURES INSTALLED FOR BATHROOMS AND KITCHENS SHALL BE HIGH EFFICIENCY AND HAVE AN EFFICIENCY OF NOT LESS THAN 26 LUMENS / WATT OR HAVE MANUAL ON/OFF AND AUTOMATIC MOTION SENSORS (WITHOUT OVERRIDE) 30 MINUTES MAX. ON TIME WITHOUT MOTION.

STRUCTURAL NOTES

DESIGN LOAD: DECK DEAD LOAD - 10PSF, DECK LIVE LOAD 40PSF REYNALDO ORTEGA

CONCRETE:

REINFORCING STEEL - ASTM A615, GRADE 40 #4 AND SMALLER.

NORMAL WEIGHT READY MIX CONFORMING TO DBD STANDARD 6-13-8 DEVELOPING COMPRESSIVE STRENGTH AT 28 DAYS AND SHALL CONFORM TO THE FOLLOWING:

SLAB-ON-GRADE: 2,500 PSI, 4" SLUMP, 3/4" MAX. AGGREGATE

FOUNDATIONS: 2,500 PSI, 4" SLUMP, 7" AGGREGATE

MIN. CONCRETE COVER FOR REINFORCING STEEL:

A. SURFACE POURED AGAINST GROUND 3"

B. SURFACES EXPOSED TO WEATHER 2"

WOOD: (WPA GRADING RULES AGENCY)

FRAMING LUMBER - DOUGLAS FIR LARCH

NAILERS AND LEDGERS IN CONTACT WITH CONCRETE: PRESERVATIVE TESTED DOUGLAS FIR

POSTS AND BEAMS - NO. 1

WOOD IN CONTACT WITH CONCRETE OR PERMANENT EXPOSURE TO WEATHER SHALL BE PRESSURE TREATED AND MARKED WITH QUALITY MARK OR SHALL BE FOUNDATION GRADE REDWOOD.

ALL CONNECTORS SHALL BE SIMPSON A-MAX OR BETTER

ANCHORS AND FASTENERS FOR PRESSURE TREATED WOOD SHALL BE HOT-DIPPED ZINC COATED GALVANIZED STEEL

AUTOMATIC FIRE SPRINKLER SYSTEM

INSTALL AN AUTOMATIC FIRE SPRINKLER SYSTEM COMPLYING WITH REQUIREMENTS OF NFPA 13 CODE.

THE SYSTEM SHALL BE INSTALLED THROUGHOUT THE FIRST FLOOR. THE SPRINKLER SYSTEM LAYOUT SHOWN IN THIS DRAWING IS SCHEMATIC LAYOUT ONLY. A SEPARATE FIRE SPRINKLER PERMIT SHALL BE OBTAINED BY A LICENSED SPRINKLER ENGINEER.

APPROVED
FOR PLANS AND APPLICATION
PLANNING DEPARTMENT
SEP 17 2015

75 SQFT. OF FRONT SETBACK WILL BE MADE PERMEABLE PER SEC. 102 AND 20% SHALL BE LANDSCAPING.

PROJECT DESCRIPTION

The construction will involve adding a new residential unit to an existing two story, two unit building. The unit will be constructed within the existing building envelope on the first floor in a portion of the existing garage and an existing storage area. The unit will have living and dining areas, a kitchen, one bedroom and one bathroom.

The new unit is 488 square feet with an occupancy load of three persons

The electrical, mechanical and plumbing systems will be upgraded as required to service the new unit.

A new automatic fire sprinkler system will be installed through out the first floor of the existing house. *UNDER DEFERRED SUBMITTAL (NFPA-13) (SEPARATE PERMIT)*

PROJECT DATA

Owner: Charles Cross
3560 Jackson St., San Francisco, Ca. 94118

Project Address: 162/164 Alhambra St., San Francisco, Ca. 94123

Block, Lot & Block No: 0463A / 013

Zoning: RH-3, Residential - House, Three Family

Construction Type: V - Non Rated

Current Occupancy Group: R-3, Two Unit Residence

New Occupancy Group: R-2, Three Unit Residence

PROJECT TEAM

ARCHITECTS: Friesen Architects
Larry Friesen
1280 Ellis St., #1
San Francisco, Ca. 94109
T: 415-999-2315
E: friesenarchitects@comcast.net

STRUCTURAL ENGINEER: Double D Engineering
Mark Lanning
72 Otis Street
San Francisco, Ca. 94103
T: 415-551-5150-103
E: mark@doubleengineering.com

GENERAL CONTRACTOR: Build To Please
Troy Clemons
4847 Daywalt Road
Sebastopol, Ca. 95472
T: 707-312-0395
E: CDRTARC@gmail.com

LOCATION MAP



INDEX OF SHEETS

T.1	Project information, Site Location Map, Index of Drawings, Site Plan, General Notes
T.2	Preapplication Review Signed Letter, MF-R1 Forms
T.3	CF-1R-PRF-01 Forms
T.4	S.F. Green Building Submittal
A.1	Existing 1st & 2nd & 3rd Floor Plans
A.2	Proposed 1st Floor Plan, Proposed 1st Floor Reflected Ceiling Plan, Schedules and Legends
A.3	Interior and Exterior Elevations, Details
A.4	Details

REVISIONS
PREAPPLICATION 5/19/15
PERMIT ISSUE 9/14/15

ARCHITECTS
FRIESEN ARCHITECTS
1280 ELLIS STREET
SAN FRANCISCO, CA 94109
TEL: 415-999-2315

APPROVED
DEPT. OF BUILDING INSPECTION
OCT 19 2015
TOM C. HILL, SE
DIRECTOR
DEPT. OF BUILDING INSPECTION

RECEIVED
SEP 17 2015
DEPT. OF BUILDING INSPECTION
THIS PLAN MEETS THE QUALITY STANDARD FOR DESIGN

162-164 Alhambra Street
San Francisco CA
Remodel for Charles Cross

2015 09/17 7273

PROJECT INFORMATION
Date 9/14/15
Scale AS NOTED
Drawn RML
Job 21003.00
Sheet T.1

2013 Low-Rise Residential Mandatory Measures Summary

NOTES: Low-rise residential buildings subject to the Standards must comply with all applicable mandatory measures listed, regardless of the compliance approach used. Exemptions may apply. Review the respective code sections for more information.

Building Envelope Measures:	
§110.4(a):	Doors and windows between conditioned and unconditioned spaces are manufactured to limit air leakage.
§110.4(a):	Penetration products (except field-fabricated windows) have a listed listing the certified U-Factor, certified Solar Heat Gain Coefficient (SHGC), and infiltration that meets the requirements of §110.4(a).
§110.7:	Exterior doors and windows are weathertight, all joints and penetrations are sealed and tested.
§110.8(a):	Insulation specified or installed meets Standards for Insulating Materials. Indicate type and include on the CFR.
§110.8(b):	The thermal resistance and aged air reference values of the roof ceiling material meet the requirements of §110.8(b) when the insulation of the roof ceiling is specified on the CFR.
§110.8(c):	A radiant barrier shall have an emittance of 0.05 or less when the installation of a radiant barrier is specified on the CFR.
§150.0(a):	Minimum R-30 insulation in wood-frame ceiling, or the weighted average U-factor shall not exceed 0.031. Minimum R-19 in a rafter roof alteration. Attic access doors shall have permanently attached insulation using adhesive or mechanical fasteners. The attic access shall be gasketed to prevent air leakage.
§150.0(b):	Loose fill insulation shall conform with manufacturer's installed design intent R-value.
§150.0(c):	Minimum R-13 insulation in 2x4 wood framing wall or have a U-factor of 0.10 or less (R-19 in 2x6 or 0.074 maximum U-factor).
§150.0(d):	Minimum R-19 insulation in mixed wood-frame floor or 0.037 maximum U-factor.
§150.0(g):	In Climate Zones 14 and 16 a Class II vapor retarder shall be installed on the conditioned space side of all insulation in all exterior walls, exterior doors and windows with air-permeable insulation.
§150.0(g):	In Climate Zones 1-16 with unvented ceiling spaces the ceiling floor of the crawl space shall be covered with a Class I or Class II vapor retarder.
§150.0(g):	In a building having a controlled ventilation system, a Class I or Class II vapor retarder shall be placed over the ceiling floor of the crawl space to reduce moisture entry and protect insulation from condensation, as specified in the exception in Section 150.0(g).
§150.0(g):	Water vapor permeance shall have a water vapor permeance, not greater than 0.1 perm-inch, be protected from physical damage and UV light deterioration; and when installed as part of a heated slab floor meet the requirements of §110.8(b).
§150.0(g):	Penetration, including skylights, separating conditioned space from unconditioned space or outdoors shall have a maximum U-factor of 0.55, or the weighted average U-factor of all penetrations shall not exceed 0.56.
Fireplaces, Decorative Gas Appliances and Gas Log Measures:	
§150.0(a):	Masonry or factory-built fireplaces have a closure cap or glass door covering the entire opening of the fireplace.
§150.0(a):	Masonry or factory-built fireplaces have a combustion outside air intake, which is at least six inches in size and is equipped with a readily accessible, operable, and tight-fitting damper or a combustion air control device.
§150.0(a):	Masonry or factory-built fireplaces have a flue damper with a readily accessible control.
§150.0(a):	Continuous burning pilot lights and the use of indoor air for cooling a fireplace jacket, when that indoor air is vented to the outside of the building, are prohibited.
Space Conditioning, Water Heating and Plumbing System Measures:	
§110.3-§110.3:	HVAC equipment, water heaters, showerheads, faucets and all other regulated appliances are certified to the Energy Conservation.
§110.3(e):	Water heating recirculation loops serving multiple dwelling units meet the air return valve, backflow prevention, pump insulation valve, and recirculation loop connection requirements of §110.3(e).
§110.3:	Continuously burning pilot lights are prohibited for natural gas, fan-type central furnaces, household cooling appliances (appliance without an electrical supply voltage connection with pilot lights that consumes less than 150 Btu/hr are exempt), and pool and spa heaters.
§150.0(h):	Heating and/or cooling loads are calculated in accordance with ASHRAE, SMACNA or ACCA using design conditions specified in §150.0(h).
§150.0(h):	Installed air conditioner and heat pump outdoor condensing units shall have a clearance of at least five feet from the outlet of any dryer vent.
§150.0(h):	Heating systems are equipped with thermostats that meet the technical requirements of §110.3(e).
§150.0(h):	Storage gas water heaters with an energy factor equal to or less than the federal minimum standards shall be externally wrapped with insulation having an installed R-value of R-13 or greater.
§150.0(h):	Unvented hot water tanks, such as storage tanks and heating storage tanks for solar water-heating systems, have R-12 external insulation or R-16 internal insulation with the thermal insulation on the exterior of the tank.
§150.0(h):	For domestic hot water system piping, whether buried or unburied, the first five feet of hot and cold water pipes from the storage tank, all piping with a nominal diameter of 3/4 inch or larger, all piping associated with a domestic hot water recirculation system regardless of the pipe diameter, piping from the heating source to storage tank or between tanks, piping buried below grade, and all hot water pipes from the heating source to kitchen fixtures must be insulated according to the requirements of TABLE 120.3-A.
§150.0(h):	All domestic hot water pipes that are buried below grade must be installed in a water-proof and non-volatile casing or sleeve that allows for installation, removal, and replacement of the enclosed pipe and insulation.

2013 Low-Rise Residential Mandatory Measures Summary

§150.0(h):	Pipe for cooling system lines shall be insulated as specified in §150.0(h). Piping insulation for steam and hydronic heating systems or hot water systems with pressure > 15 psig shall meet the requirements in TABLE 120.3-A.
§150.0(h):	Insulation is protected from damage, including that due to sunlight, moisture, equipment maintenance, and wind.
§150.0(h):	Insulation exposed to weather shall either be used for outdoor use or installed with a cover suitable for outdoor service. For example, metal or plastic cover. Cellular foam insulation protected as specified or painted with coating that is water resistant and provides shielding from solar radiation that degrades the material.
§150.0(h):	Insulation covering chilled water piping and refrigerant suction piping located outside the conditioned space shall have a Class I or Class II vapor retarder, or the insulation shall be installed in the thickness that qualifies as a Class I or Class II vapor retarder.
§150.0(h):	Systems using gas or propane water heaters to serve individual dwelling units shall include a 120V electrical receptacle within 3 feet of the water heater, a Category III or IV vent, or a Type D vent with multiple pipe between the duct termination and the space where the water heater is installed; a condensate drain that is no more than 2 inches higher than the base of the insulated water heater, and allows natural draining without pump assistance; and a gas supply line with a capacity of at least 200,000 Btu/hr.
§150.0(h):	Reinsulating loops serving multiple dwelling units shall meet the requirements of §110.3(e).
§150.0(h):	Water heating systems and collection shall be certified and tested by the Solar Rating and Certification Corporation (SRCC) or by a testing agency approved by the Executive Director.
Ducts and Fans Measures:	
§150.0(m):	All air-distribution system ducts and plenums installed are sealed and insulated to meet the requirements of CMC §601.0, §602.0, §603.0, §604.0, §605.0 and ANSI/SMACNA-2006 HVAC Duct Construction Standards Metal and Flexible 3rd Edition. Supply and return air ducts and plenums are insulated to a minimum installed level of R-4.0 (or higher if required by CMC §605.0) or enclosed entirely in directly conditioned space as confirmed through field verification and diagnostic testing. (SHG 1.4.3.6). Connections of metal ducts and/or flexible ducts are mechanically fastened. Openings shall be sealed with mastic, tape, or other duct-sealing system that meets the applicable requirements of UL 181, UL 181A, or UL 181B or sealed/sealed that meets the requirements of UL 723. If mastic or tape is used to seal openings greater than 1/4 inch, the combination of mastic and either mesh or tape shall be used. Building cavities, support platforms for air handlers, and plenums defined or constructed with materials other than sealed steel, duct board or flexible duct shall not be used for conveying conditioned air. Building cavities and support platforms may contain ducts. Ducts installed in cavities and support platforms shall not be compressed to cause reductions in the cross-sectional area of the ducts.
§150.0(m):	Factory-Fabricated Duct Systems shall comply with specified requirements for duct construction, connections, and closures; joints and seams of duct systems and their components shall not be sealed with cloth based rubber adhesive duct tapes unless mastic tape is used in combination with mastic and draw bands.
§150.0(m):	Field-Fabricated Duct Systems shall comply with requirements for: pressure-sensitive tapes, mastic, sealants, and other requirements specified for duct construction; duct insulation R-value ratings; duct insulation thickness; and duct sheathing.
§150.0(m):	All fan systems that exchange air between the conditioned space and the outside of the building must have backdraft or automatic dampers.
§150.0(m):	Gravity ventilating systems serving conditioned space have either automatic or manually operated dampers that are installed in the ductwork and are tested for leakage.
§150.0(m):	Insulation shall be protected from damage, including that due to sunlight, moisture, equipment maintenance, and wind but not limited to the following: insulation exposed to weather shall be suitable for outdoor service. For example, protected by aluminum, sheet metal, painted canvas, or plastic cover. Cellular foam insulation shall be protected as specified or painted with a coating that is water resistant and provides shielding from solar radiation.
§150.0(m):	Flexible ducts cannot have porous inner cores.
§150.0(m):	When space conditioning systems are forced air duct systems to supply conditioned air to an occupiable space, the ducts shall be sealed and duct leakage tested, as confirmed through field verification and diagnostic testing, in accordance with Reference Residential Appendix B.3.3.
§150.0(m):	Mechanical systems that supply air to an occupiable space through ductwork exceeding 10 feet in length and through a thermal conditioning component, except evaporative coolers, shall be provided with air filter devices that meet the requirements of §150.0(m).
§150.0(m):	Space conditioning systems that utilize forced air ducts to supply conditioned air to an occupiable space shall have a hole for the placement of a static pressure probe (SPP), or a permanently installed static pressure probe (PSP) in the supply plenums. The space conditioning system must also demonstrate airflow > 250 CFM per ton of nominal cooling capacity through the return plenums, and an air-handling unit fan efficiency > 0.58 WOC/FM as confirmed by field verification and diagnostic testing, in accordance with Reference Residential Appendix B.3.3.
§150.0(m):	Zeroth controlled central forced air cooling systems shall be capable of simultaneously delivering, in every room control mode, an airflow from the dwelling, through the air handler fan and delivered to the ceiling, of 250 CFM per ton of nominal cooling capacity, and operating at an air-handling unit fan efficiency of 0.58 WOC/FM as confirmed by field verification and diagnostic testing, in accordance with Reference Residential Appendix B.3.3.
§150.0(m):	All dwelling units shall meet the requirements of ASHRAE Standard 62.2. Neither ductwork operation nor continuous operation of central forced air system air handlers used in central fan integrated ventilation systems are permitted methods of providing the Whole Building Ventilation.
§150.0(m):	Whole Building Ventilation airflow shall be confirmed through field verification and diagnostic testing, in accordance with Reference Residential Appendix B.3.3.
Pool and Spa Heating Systems and Equipment Measures:	
§110.4(a):	Any pool or spa heating system shall be certified to have a thermal efficiency that complies with the Appliance Efficiency Regulations, as an on-off switch mounted outside of the heater that allows shutting off the heater without adjusting the thermostat setting, a permanent weatherproof plate or card with operating instructions, and shall not use electric resistance heating.

2013 Low-Rise Residential Mandatory Measures Summary

§110.4(a):	Any pool or spa heating equipment shall be installed with at least 36 inches of pipe between filter and heater or dedicated return and return lines, or built-up connections for future solar heating.
§110.4(a):	Outdoor pools or spas that have a heat pump or spa heater shall have a cover.
§110.4(a):	Pools shall have directional inlets that adequately mix the pool water, and a time switch that will allow all pumps to be set or programmed to run only during off-peak electric demand periods.
§110.5:	Natural gas pool and spa heaters shall not have a continuous burning pilot light.
§150.0(g):	Residential pool system or equipment shall meet specified pump sizing, flow rate, piping, filters, and valve requirements.
Lighting Measures:	
§110.9:	All lighting control devices and systems, ballasts, and luminaires shall meet the applicable requirements of §110.9.
§150.0(a):	Installed luminaires shall be classified as high-efficiency or low-efficiency for compliance with §150.0(a) in accordance with TABLE 150.0-A or TABLE 150.0-B, as applicable.
§150.0(a):	When a high-efficiency and low-efficiency lighting system are combined in a single luminaire, each system shall separately comply with the applicable provisions of §150.0(a).
§150.0(a):	The wattage and classification of permanently installed luminaires in residential kitchens shall be determined in accordance with §150.0(a). In residential kitchens, the wattage of electrical boxes finished with a blank cover or where no electrical equipment has been installed, and where the electrical box can be used for a luminaire or a surface-mounted ceiling fan, shall be calculated as 180 watts of low-efficiency lighting per electrical box.
§150.0(a):	Ballasts for fluorescent lamps rated 13 watts or greater shall be electronic and shall have an output frequency no less than 20 kHz. Permanently installed night lights and night lights integral to installed luminaires or exhaust fans shall be rated to consume no more than 3 watts of power per luminaire or exhaust fan as determined in accordance with §150.0(a). Night lights do not need to be controlled by a vacancy sensor.
§150.0(a):	Lighting integral to exhaust fans (except when installed by the manufacturer in kitchen exhaust hoods) shall meet the applicable requirements of §150.0(a).
§150.0(a):	High efficiency luminaires must be switched separately from low efficiency luminaires.
§150.0(a):	Exhaust fans shall be switched separately from lighting systems.
§150.0(a):	Luminaires shall be switched with readily accessible controls that permit the luminaires to be manually switched ON and OFF.
§150.0(a):	Controls and equipment are installed in accordance with manufacturer's instructions.
§150.0(a):	No control shall bypass a diverter or vacancy sensor function if the control is installed to comply with §150.0(a).
§150.0(a):	Lighting controls comply with applicable requirements of §110.9.
§150.0(a):	An Energy Management Control System (EMCS) may be used to comply with dimmer requirements if it functions as a dimmer according to §110.9, meets Installation Certificate requirements of §130.4, the EMCS requirements of §130.5, and all other requirements in §150.0(a).
§150.0(a):	An Energy Management Control System (EMCS) may be used to comply with vacancy sensor requirements of §150.0(a) if it functions as a vacancy sensor according to §110.9, meets Installation Certificate requirements of §130.4, the EMCS requirements of §130.5, and all other requirements in §150.0(a).
§150.0(a):	A multiroom programmable controller may be used to comply with dimmer requirements of this section if it provides the functionality of a dimmer according to §110.9, and complies with all other applicable requirements in §150.0(a).
§150.0(a):	A minimum of 50 percent of the total rated wattage of permanently installed lighting in kitchens shall be high efficiency.
§150.0(a):	Kitchen lighting includes all permanently installed lighting in the kitchen except internal lighting in cabinets that illuminates only the inside of the cabinets. Lighting in areas adjacent to the kitchen, including but not limited to dining and work areas, are considered kitchen lighting if they are not separately switched from kitchen lighting.
§150.0(a):	Permanently installed lighting that is internal to cabinets shall use no more than 20 watts of power per linear foot of illuminated cabinet.
§150.0(a):	A minimum of one high efficiency luminaire shall be installed in each bathroom, and all other lighting installed in each bathroom shall be high efficiency or controlled by vacancy sensors.
§150.0(a):	Lighting installed in attached and detached garages, laundry rooms, and utility rooms shall be high efficiency luminaires and controlled by vacancy sensors.
§150.0(a):	Lighting installed in rooms or areas other than in kitchens, bathrooms, garages, laundry rooms, and utility rooms shall be high efficiency, or shall be controlled by either dimmers or vacancy sensors.
§150.0(a):	Luminaires recessed into ceilings shall be listed for zero clearance installation (CZ) by Underwriters Laboratories or other nationally recognized testing laboratory. They have a label that certifies that the luminaire is airtight with air leakage less than 2.0 CFM at 75 Pascals when tested in accordance with ASTM E283, be sealed with a gasket or caulk between the luminaire housing and ceiling, and shall have all air leak paths between conditioned and unconditioned spaces sealed with a gasket or caulk; and allow ballast maintenance and bulb replacement without requiring cutting holes in the ceiling.
§150.0(a):	For recessed compact fluorescent luminaires with ballasts to qualify as high efficiency for compliance with §150.0(a), the ballasts shall be certified to the Energy Conservation to comply with the applicable requirements in §110.9.
§150.0(a):	For single-family residential buildings, outdoor lighting for private patios, entrances, balconies, and porches, and outdoor lighting for residential parking lots and residential garages with less than eight vehicles per site shall comply with one of the following requirements:
§150.0(a):	i. Shall comply with the applicable requirements in §110.9, §130.4, §130.5, §130.6, §140.7 and §141.0.
§150.0(a):	ii. Shall comply with the applicable requirements in §110.9, §130.4, §130.5, §130.6, §140.7 and §141.0.
§150.0(a):	Outdoor lighting for residential parking lots and residential garages with less than eight vehicles per site shall comply with the applicable requirements in §110.9, §130.4, §130.5, §130.6, §140.7 and §141.0.
§150.0(a):	Internally illuminated address signs shall comply with §140.8; or shall consume no more than 5 watts of power as determined according to §130.0(a).
§150.0(a):	Lighting for residential parking garages for eight or more vehicles shall comply with the applicable requirements for nonresidential garages in §110.9, §130.4, §130.5, §130.6, §140.6, §140.7, and §141.0.
§150.0(a):	In a low-rise multifamily residential building where the total interior common area in a single building equals 30 percent or less of the floor area, permanently installed lighting for the interior common areas in that building shall be high efficiency luminaires or controlled by an occupant sensor.
§150.0(a):	In a low-rise multifamily residential building where the total interior common area in a single building equals more than 20 percent of the floor area, permanently installed lighting in that building shall:
§150.0(a):	i. Comply with the applicable requirements in §110.9, §130.4, §130.5, §130.6 and §141.0;
§150.0(a):	ii. Lighting installed in corridors and stairwells shall be controlled by occupant sensors that reduce the lighting power in each space by at least 50 percent. The occupant sensors shall be capable of turning the Light Duty On and Off from all designated paths of ingress and

01	02	03	04	05	06	07	08	09	10
01	Project Name	Lower Unit Addition Residence							
02	Calculation Description	Title 24 Analysis							
03	Project Location	162-164 Alhambra St							
04	City	San Francisco							
05	Zip Code	94133							
06	Climatic Zone	023							
07	Building Type	Multi-Family							
08	Project Status	Newly Constructed							
09	Total Cond. Floor Area (ft²)	109							
10	Slab Area (ft²)	109							
11	Addition Cond. Floor Area (ft²)	NA							
12	Addition Slab Area (ft²)	NA							

01	02	03	04	05	06	07	08	09	10
01	Building Compliance with Proposed Performance								
02	This building complies with the proposed performance level as determined by the HERS Rater.								
03	This building complies with the proposed performance level as determined by the HERS Rater.								

01	02	03	04	05	06	07	08	09	10
01	Energy Use (kBtu/sf-yr)	Standard Design	Proposed Design	Compliance Margin	Percent Improvement				
02	Space Heating	10.98	17.27	-6.29	-57.3%				
03	Space Cooling	0.01	0.00	0.01	100.0%				
04	IAQ Ventilation	2.54	2.54	0.00	0.0%				
05	Water Heating	34.63	20.43	14.20	41.3%				
06	Photovoltaic Offset	---	0.00	0.00	---				
07	Compliance Energy Total	48.23	48.24	7.99	16.6%				

01	02	03	04	05	06	07	08	09	10
01	REQUIRED SPECIAL FEATURES								
02	The following are features that must be included as conditions for meeting the modeled energy performance for this computer analysis.								
03	Cathedral Ceiling								

01	02	03	04	05	06	07	08	09	10
01	HERS FEATURE SUMMARY								
02	The following is a summary of the features that must be included as conditions for meeting the modeled energy performance for this computer analysis. Additional detail is provided in the building compliance report below.								
03	Building-level Verifications:								
04	IAQ mechanical ventilation								
05	Cooling System Verifications:								
06	--- None ---								
07	HVAC Distribution System Verifications:								
08	--- None ---								
09	Domestic Hot Water System Verifications:								
10	--- None ---								

01	02	03	04	05	06	07	08	09	10
01	ENERGY DESIGN RATINGS								
02	This is the sum of the annual TDD energy consumption for the building components included in the performance compliance approach for the Standard Design Building (Energy Budget) and the annual TDD energy consumption for lighting and equipment not included in the TDD energy budget, as determined by the HERS Rater.								
03	Total Energy (TDD) (kBtu/sf-yr)	48.23	48.24	7.99	16.6%				
04	Includes calculated appliances and miscellaneous energy use (MUE)								

01	02	03	04	05	06	07	08	09	10
01	BUILDING - FEATURES INFORMATION								
02	Project Name	Lower Unit Addition Residence							
03	Conditioned Floor Area (ft²)	109							
04	Number of Dwelling Units	1							
05	Number of Bedrooms	1							
06	Number of Bathrooms	1							
07	Number of Living Areas	1							
08	Number of Dining Areas	1							
09	Number of Kitchens	1							
10	Number of Water Heating Systems	1							

01	02	03	04	05	06	07	08	09	10
01	ZONE INFORMATION								
02	Zone Name	Lower Unit Addition							
03	Zone Type	Conditioned							
04	Zone Floor Area (ft²)	109							
05	Avg. Ceiling Height	8							
06	Number of Dwelling Units	1							

01	02	03	04	05	06	07	08	09	10
01	DWELLING UNIT INFORMATION								
02	Dwelling Unit Name	DU-1 (1st)							
03	Dwelling Unit Type	DU-1							
04	Zone	Lower Unit Addition							

01	02	03	04	05	06	07	08	09	10
01	DWELLING UNIT TYPES								
02	Name	DU-1							
03	CFA (ft²)	699							
04	Number of Bedrooms	1							
05	Number in Building	1							
06	Space Conditioning System Name (Count)	Plant Pump System 1:2 (1)							
07	DHW System Name	DHW Sys 1							
08	IAQ Vent Fan Name	Default Minimum (IAQ Fan)							

01	02	03	04	05	06	07	08	09	10
01	OPAQUE SURFACES								
02	Name	Zone	Construction	Area (ft²)	Orientation	Gross Area (ft²)	Window & Door Area (ft²)	TIR (deg)	
03	Front Wall: New	Lower Unit Addition	R-21 Wall	150	Front	14	14	90	
04	Left Wall: New	Lower Unit Addition	R-21 Wall	240	Left	240	0	90	
05	Back Wall: New	Lower Unit Addition	R-21 Wall	240	Back	240	0	90	
06	Right Wall: New	Lower Unit Addition	R-21 Wall	240	Right	240	0	90	
07	Interior Surface	Lower Unit Addition	Interior Surface	109	Interior	109	0	90	
08	Roof Surface 1	Lower Unit Addition	R-30 Roof	109	Roof	109	0	90	
09	Roof Surface 2	Lower Unit Addition	R-30 Roof	109	Roof	109	0	90	
10	Roof Surface 3	Lower Unit Addition	R-30 Roof	109	Roof	109	0	90	

01	02	03	04	05	06	07	08	09	10
01	OPAQUE SURFACES - Cathedral Ceilings								
02	Name	Zone	Type	Area (ft²)	Orientation	Area (ft²)	Window & Door Area (ft²)	TIR (deg)	
03	Roof	Lower Unit Addition	R-30 Roof	109	Roof	109	0	90	

01	02	03	04	05	06	07	08	09	10
01	WINDOWS								
02	Name	Type	Surface (Orientation-Azimuth)	Width (ft)	Height (ft)	Area (ft²)	U-factor	SHGC	Exterior Shading
03	Window: New	Window	Back Wall: New (Back-53°)	1.0	1.0	1.0	0.45	0.50	Screen Screen (Default)
04	Glaze: New	Window	Back Wall: New (Back-53°)	1.0	1.0	1.0	0.45	0.50	Screen Screen (Default)

01	02	03	04	05	06	07	08	09	10
01	DOORS								
02	Name	Type	Surface (Orientation-Azimuth)	Width (ft)	Height (ft)	Area (ft²)	U-factor	SHGC	Exterior Shading
03	Door: New	Door	Back Wall: New (Back-53°)	1.0	1.0	1.0	0.45	0.50	Screen Screen (Default)

01	02	03	04	05	06	07	08	09	10
01	OPAQUE SURFACE CONSTRUCTIONS								
02	Construction Name	Surface Type	Construction Type	Framing	Total Ceiling R-value	Winter Design U-value	Assembly Layers		
03	R-4 Wall	Exterior Wall	Wood Framed Wall	2x6 @ 16 in. O.C.	R-4	0.04	• Insulation: Gypsum Board • Cavity: R-13 / 2x6 • Exterior Finish: Wood Siding/Sheetrocking		
04	R-21 Wall	Exterior Wall	Wood Framed Wall	2x6 @ 16 in. O.C.	R-21	0.06	• Insulation: Gypsum Board • Cavity: R-21 / 2x6 • Exterior Finish: Wood Siding/Sheetrocking		
05	R-30 Roof Cathedral	Cathedral Ceiling	Wood Framed Ceiling	2x12 @ 16 in. O.C.	R-30	0.06	• Insulation: Gypsum Board • Cavity: R-30 / 2x12 • Roof Deck: Wood Siding/Sheetrocking		
06	R-13 Wall	Interior Wall	Wood Framed Wall	2x4 @ 16 in. O.C.	R-13	0.02	• Insulation: Gypsum Board • Cavity: R-13 / 2x4 • Other Side Finish: Gypsum Board		

01	02	03	04	05	06	07	08	09	10
01	SLAB FLOORS								
02	Name	Zone	Area (ft²)	Perimeter (ft)	Edge Insul. R-value & Depth	Ceiling Fraction	Heated		
03	Slab-on-Grade	Lower Unit Addition	109	109	None	0.0	No		
04	Slab-on-Grade-exposed	Garage	793	109	None	0	No		

01	02	03	04	05	06	07	08	09	10
01	BUILDING ENVELOPE - HERS VERIFICATION								
02	Quality Insulation Installation (QII)	Quality Installation of Spray Foam Insulation	Building Envelope Air Leakage	ACH @ 50 Pa					
03	Not Required	Not Required	Not Required	---					

01	02	03	04	05	06	07	08	09	10
01	WATER HEATING SYSTEMS								
02	Name	System Type	Number of Systems in Building	Multi-Family Distribution Type	Water Heater	Number of Water Heating Systems	Solar Fraction (%)		
03	DHW Sys 1	Standard	1	--- zone ---	DHW Heater 1	1	0		

01	02	03	04	05	06	07	08	09	10
01	WATER HEATERS								
02	Name	Water Heater Type	Water Type	Tank Volume (gal)	Energy Factor or Efficiency	Input Rating	Tank Exterior Insulation R-value	Standby Loss (Frost)	
03	DHW Heater 1	Water Heater	Hot Water	15000	0.82	15000-Btu/hr	0	0	

01	02	03	04	05	06	07	08	09	10
01	SPACE CONDITIONING SYSTEMS								
02	SC Sys Name	System Type	Heating Unit Name	Cooling Unit Name	Fan Name	Distribution Name			
03	Plant Pump System 1:2	Heat Pump Heating and Cooling System	Heat Pump System 1	Heat Pump System 1	None	None			

01	02	03	04	05	06	07	08	09	10
01	HVAC - HEAT PUMPS								
02	Name	Type	HEATING COP	Cooling COP	SEER	EER	Zoneally Controlled	Multi-speed Compressor	HERS Verification
03	Heat Pump System 1	Outdoor/Heat Pump	8.2	14000	14	12.2	No	No	Heat Pump System 1:2-cool

01	02	03	04	05	06	07	08	09	10
01	HVAC COOLING - HERS VERIFICATION								
02	Name	Verified Airflow	Airflow Target	Verified SEER	Verified EER	Verified SEER	Verified EER	Verified Refrigerant Charge	
03	Heat Pump System 1:2-cool	Not Required	---	Not Required	Not Required	Not Required	Not Required	Not Required	

01	02	03	04	05	06	07	08	09	10
01	IAQ (Indoor Air Quality) FANS								
02	Dwelling Unit	IAQ CFM	IAQ Wall/CFM	IAQ Fan Type	IAQ Recovery Effectiveness(%)	HERS Verification			
03	DU-1 (1st)	33.37	6.25	Default	0	Required			

01	02	03	04	05	06	07</
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City and County of San Francisco Green Building Submittal: Residential Additions and Alterations

REQUIREMENTS

The following items are required for all additions and alterations to residential occupancy which increase conditioned area, volume, or size of a residential building. Requirements apply only to areas and systems within the scope of addition and alteration, with the exception of "Existing Noncompliant Plumbing Fixtures" (below). An abbreviated summary of each requirement is included for reference. To determine if this form is appropriate for a project, see Administrative Bulletin 93, Attachment A, Table 1. Projects required to meet a LEED standard must use C-3 "Submittal for LEED Projects", and projects required to meet GreenPoint Rated must use the C-4 "Submittal for GreenPoint Rated Projects." Projects seeking certification may use the C-3 "Submittal for LEED Projects" or C-4 "Submittal for GreenPoint Rated" as alternatives to this form.

Construction and Demolition Debris: 100% of mixed debris must be transported by a registered hauler to a registered facility and be processed for recycling, in compliance with the San Francisco Construction & Demolition Debris Ordinance (San Francisco Building Code Chapter 13B and Environment Code Chapter 14)
Recycling by Occupants: Provide adequate space and equal access for storage, collection and loading of compostable, recyclable and landfill materials. - See Administrative Bulletin 088.
Water Efficient Irrigation: Projects that include $\geq 1,000$ square feet of new or modified landscape must comply with the San Francisco Water Efficient Irrigation Ordinance. (See www.sfwater.org/landscape)
Stormwater Control Plan: Projects disturbing $\geq 5,000$ square feet must implement a Stormwater Control Plan meeting SFPUC Stormwater Design Guidelines. (See www.sfwater.org/sdg)
Grading and paving: Construction plans shall indicate how the site grading or drainage system will manage surface water flows to keep water from entering the building, such as swales, drains, or water retention gardens. (CalGreen 4.106.3)
Smart Irrigation Controller: Automatically adjust irrigation based on weather and soil moisture. Controllers must have either an integral or separate rain sensors that connects or communicates with the controller. (CalGreen 4.304.1)
Indoor Water Efficiency: Install water-efficient fixtures and fittings as summarized in CalGreen 4.303 (See "Indoor Water Efficiency" at left.) Replace all noncompliant fixtures in project area (CalGreen 3.301.1.1, San Francisco Housing Code 12A)
Energy Efficiency: Comply with California Energy Code (Title 24, Part 6 2013)
Rodent Proofing: Annular spaces around pipes, electric cables, conduits, or other openings in sole/bottom plates at exterior walls shall be protected against the passage of rodents by closing with cement mortar, concrete masonry, or a similar method acceptable to the San Francisco Department of Building Inspection. (CalGreen 4.406.1)
Moisture content: Verify wall and floor framing shall be verified to not exceed 19% moisture content prior to enclosure as detailed below. Materials with visible signs of moisture damage shall not be installed. (CalGreen 4.505.3) 1) Moisture content shall be determined with either a probe-type or a contact-type moisture meter. Equivalent moisture verification methods may be approved by the enforcing agency and shall satisfy requirements in Section 101.6. 2) Moisture readings shall be taken at a point 2 feet (610 mm) to 4 feet (1219 mm) from the grade-stamped end of each piece to be verified. 3) At least three random moisture readings shall be performed on wall and floor framing with documentation acceptable to the enforcing agency provided at the time of approval to enclose the wall and floor framing. Insulation products which are visibly wet or have a high moisture content shall be replaced or allowed to dry prior to enclosure in wall or floor cavities. Manufacturers' drying recommendations shall be followed for wet-applied insulation products prior to enclosure
Capillary break for concrete slab on grade: Concrete slab on grade foundations required to have a vapor retarder must also have a capillary break, including at least one of the following: (CalGreen 4.505.2) 1) A 4-inch (101.6 mm) thick base of 1/2-inch (12.7 mm) or larger clean aggregate shall be provided with a vapor retarder in direct contact with concrete and a concrete mix design which will address bleeding, shrinkage and curling shall be used. For additional information, see American Concrete Institute, ACI 302.2R-06. 2) A slab design specified by a licensed design professional.
Fireplaces and woodstoves: Install only direct-vent or sealed-combustion appliances; comply with US EPA Phase II limits. (CalGreen 4.503.1)
Design and Install HVAC System to ACCA Manual J, D, and S (CalGreen 4.507.2)
HVAC Installer Qualifications: HVAC system installers must be trained and certified in the proper installation of HVAC systems, such as via a state certified apprenticeship program, public utility training program (with certification as installer qualification), or other program acceptable to the Department of Building Inspection. (CalGreen 702.1)
Covering duct openings and protecting mechanical equipment during construction: Duct openings and other air distribution component openings shall covered during all phases of construction with tape, plastic, sheetmetal, or other acceptable methods to reduce the amount of water, dust, and debris entering the system. (CalGreen 4.504.1)
ENERGY STAR Compliant Bathroom exhaust fans: Must be ENERGY STAR compliant, ducted to terminate outside the building, and controlled by humidistat capable of adjustment between relative humidity of less than 50% to maximum of 80%. Humidity control may be a separate component from the exhaust fan. (CalGreen 4.506.1)
Carpet: All carpet must meet one of the following: (CalGreen 4.504.3) 1. Carpet and Rug Institute Green Label Plus Program, 2. California Department of Public Health Standard Practice for the testing of VOCs (Specification 01350), 3. NSF/ANSI 140 at the Gold level, 4. Scientific Certifications Systems Sustainable Choice, OR 5. California Collaborative for High Performance Schools EQ 2.2 and listed in the CHPS High Performance Product Database AND carpet cushion must meet Carpet and Rug Institute Green Label, AND indoor carpet adhesive & carpet pad adhesive must not exceed 50 g/L VOC content.
Resilient flooring systems: For 80% of floor area receiving resilient flooring, install resilient flooring complying with (CalGreen 4.504.4): 1. Certified under the Resilient Floor Covering Institute (RFCI) FloorScore program, 2. Compliant with the VOC-emission limits and testing requirements of California Department of Public Health 2010 Standard Method for the Testing and Evaluation Chambers v.1.1, 3. Compliant with the Collaborative for High Performance Schools (CHPS) EQ2.2 and listed in the CHPS High Performance Product Database, OR 4. Certified under the Greenguard Children & Schools Program to comply with California Department of Public Health criteria.
Composite wood products: Hardwood plywood, particleboard, and medium density fiberboard composite wood products used on interior or exterior shall meet CARB Air Toxics Control Measure for Composite Wood. See CalGreen Table 4.504.5.
Interior paints and coatings: Comply with VOC limits in the Air Resources Board Architectural Coatings Suggested Control Measure and California Code of Regulations Title 17 for aerosol paints. See CalGreen Table 4.504.3.
Low-VOC aerosol paints and coatings: Meet BAAQMD VOC limits (Regulation 8, Rule 49) and Product-Weighted MIR Limits for ROC. (CalGreen 4.504.2.3.)
Low VOC Caulks, Construction adhesives, and Sealants: Meet SCAQMD Rule 1168. See CalGreen Tables 4.504.1 and 4.504.2. (CalGreen 4.504.2.1)

INDOOR WATER USE

All fixtures must not exceed the following flow rates (CalGreen Section 4.303.1):

Fixture Type	Maximum Prescriptive Flow Rate	Referenced Standard from California Plumbing Code Table 140.1
Showerheads ²	2.0 gpm @ 80 psi per valve and per showerhead ²	n/a
Lavatory faucets - residential	1.5 gpm @ 60 psi	n/a
Lavatory faucets - common and public use areas	0.5 gpm @ 60 psi	n/a
Metering faucets	.25 gallons/cycle	ASME A112.18.1/CSA B125.1
Kitchen faucets	1.8 gpm @ 60 psi default, allowed to temporarily increase to 2.2 gpm	n/a
Tank-type water closets	1.28 gallons/flush ¹ and EPA WaterSense Certified	U.S. EPA WaterSense Tank-Type High-Efficiency Toilet Specification
Flushometer valve water closets	1.28 gallons/flush ¹	ASME A112.19.2/CSA B45.1 - 1.28 gal
Urinals	0.5 gallons/flush	ASME A112.19.2/CSA B45.1 - 0.5 gal

1) For dual flush toilets, effective flush volume is defined as the average volume of two reduced flushes and one full flush. The referenced standard is ASME A112.19.14 and USEPA WaterSense Tank-Type High Efficiency Toilet Specification - 1.28 gal (4.8 L).
2) The combined flow rate of all showerheads in one shower stall not exceed the maximum flow rate for one showerhead, or the shower shall be designed to allow only one showerhead to be in operation at a time. (CalGreen 4.303.1.3)

EXISTING NONCOMPLIANT PLUMBING FIXTURES

All fixtures that are not compliant with the San Francisco Residential Water Conservation Ordinance that serve or are located within the project area must be replaced with fixtures or fittings meeting the maximum flow rates and standards at left. For more information, see the DBI brochure, "San Francisco's Residential Energy and Water Conservation Requirements", available at SFDBI.org, and also see the "Residential Water Conservation" section of the SFPUC website - SFWATER.org.

Noncompliant plumbing fixtures include:

- Any toilet manufactured for use more than 1.6 gallons of water per flush.
- Any urinal manufactured for use more than 1 gallon of water per flush.
- Any showerhead manufactured to have a flow capacity of more than 2.5 gallons of water per minute.
- Any interior faucet that emits more than 2.2 gallons of water per minute.

Exceptions to this requirement are limited to situations where replacement of fixture(s) would detract from the historic integrity of the building, as determined by the Department of Building Inspection pursuant to San Francisco Building Code Chapter 13A.

VERIFICATION

Indicate below who is responsible for ensuring green building requirements are met. Projects that increase total conditioned floor area by $\geq 1,000$ square feet are required to have a Green Building Compliance Professional of Record as described in Administrative Bulletin 93. For projects that increase total conditioned floor area by $< 1,000$ square feet, the applicant or design professional may sign below, and no license or special qualifications are required.

FINAL COMPLIANCE VERIFICATION form will be required prior to Certificate of Completion.

Alteration for Charles Cross
Project Name
0453A / 013
Block/Lot
162/164 Alhambra Street, San Francisco, CA 94118
Address
R-2, Three Unit Residence
Primary Occupancy
Occupied: 2,201 Gross Sq. Ft. Garage: 1,477 Gross sq. ft.
Gross Building Area
488 Gross Sq. Ft. (Within Existing Envelope)
Increase In Conditioned Floor Area

I will assure that approved construction documents and construction fulfill the requirements of San Francisco Green Building Code. It is my professional opinion that the requirements of the San Francisco Green Building Code will be met. I will notify the Department of Building Inspection if the project will, for any reason, not substantially comply with these requirements, if I am no longer the Green Building Compliance Professional of Record for the project, or if I am otherwise no longer responsible for assuring the compliance of the project with the San Francisco Green Building Code.

Licensed Professional: Sign & Date
(May be signed by the applicant when less than 1,000 square feet is added.)

Affix professional stamp:



OCT 19 2015

Tom C. Ortega
DIRECTOR
DEPT. OF BUILDING INSPECTION

REYNALDO ORTEGA
SEP 17 2015

Projects that increase total conditioned floor area by $\geq 1,000$ square feet:
The Green Building Compliance Professional of Record for this project is:

Green Building Compliance Professional - Name and Contact Phone Number

Green Building Compliance Professional - Firm

- ☐ I am a LEED Accredited Professional
☐ I am a GreenPoint Rater
☐ I am an ICC Certified CalGreen Inspector

Green Building Compliance Professional - Sign & Date

Signature by a professional holding at least one of the above certifications is required. If the Licensed Professional does not hold a certification for green design and/or inspection, this section may be completed by another party who will verify applicable green requirements are met.

Attachment C-7:
Residential Additions
and Alterations

Version: January 1, 2015

162-164 Alhambra Street
San Francisco CA
Remodel for Charles Cross

RECEIVED

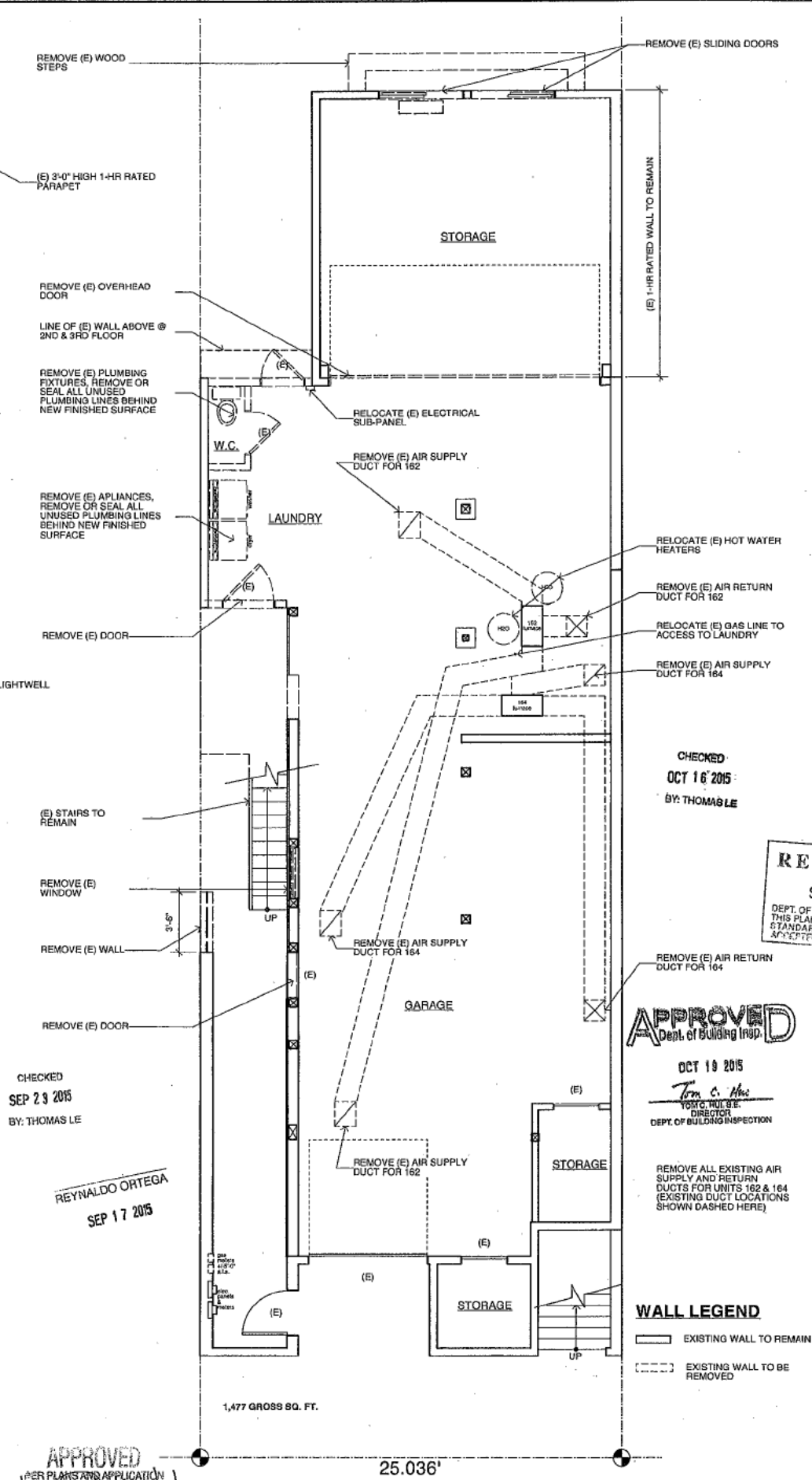
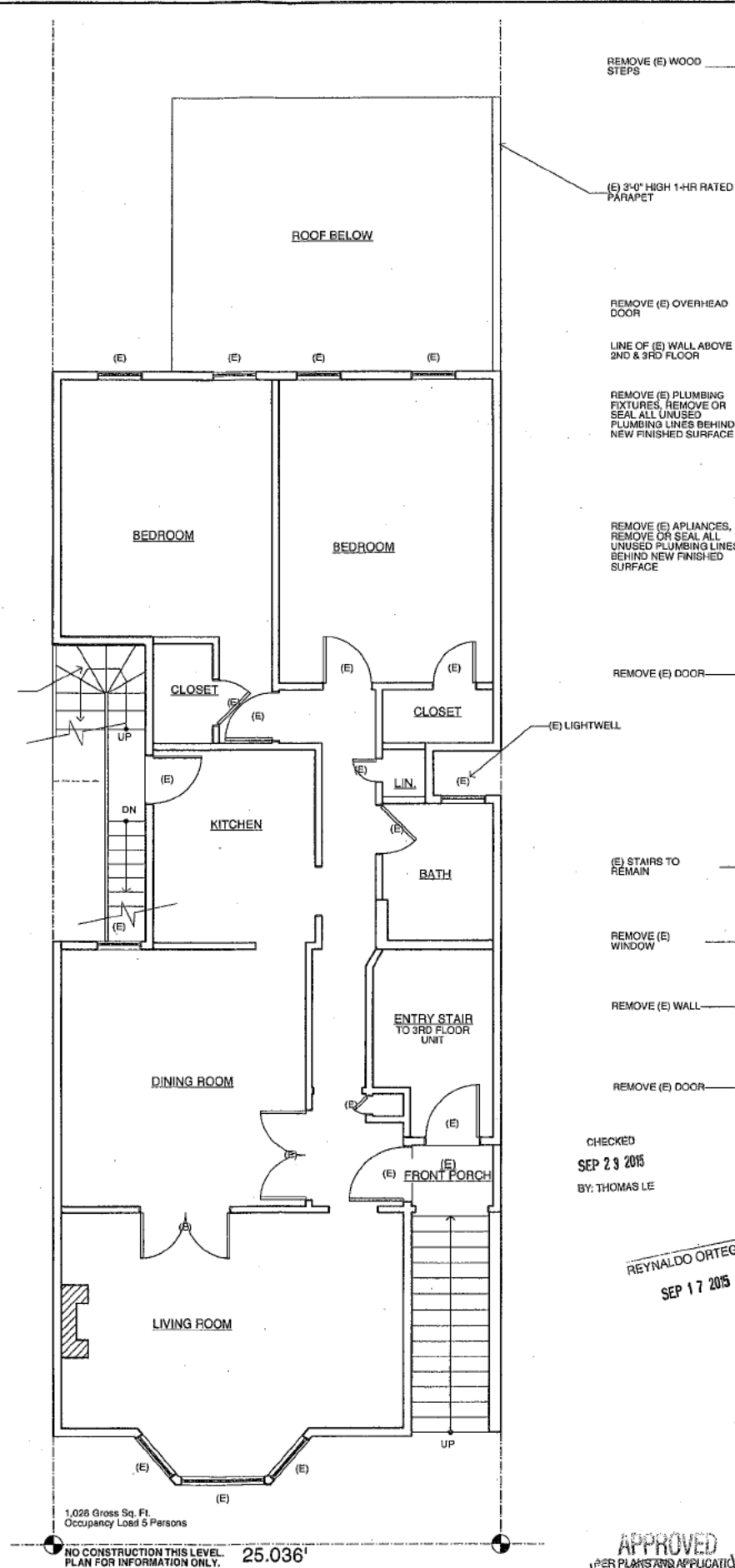
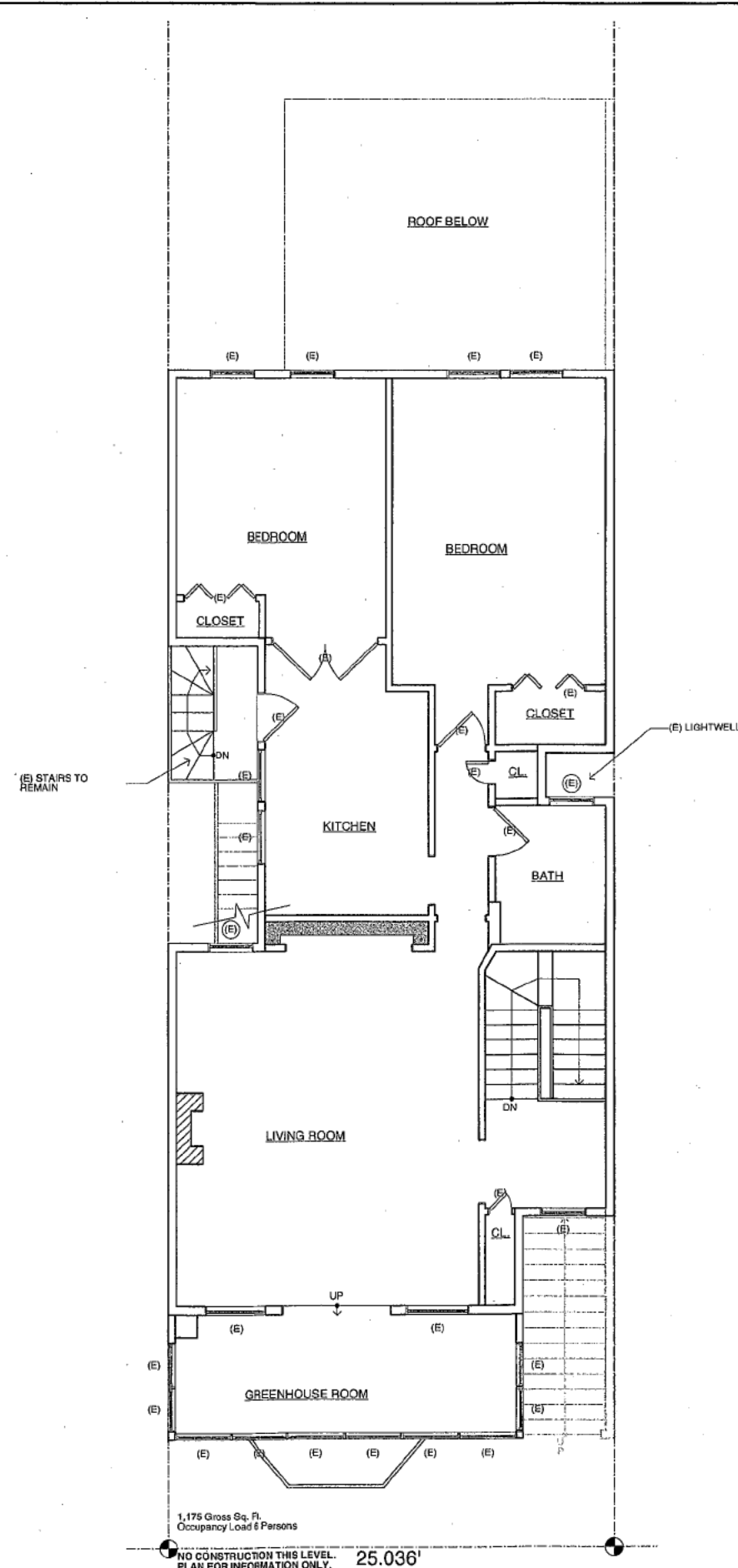
SEP 17 2015

DEPT. OF BUILDING INSPECTION
THIS PLAN MEETS THE QUALITY
STANDARD FOR SIGNATURE

Thomas Hanev, SFPD

SEP 17 2015

T.4



REVISIONS	
PREAAPPLICATION 5/19/15	
PERMIT ISSUE 9/14/15	
FRIESEN ARCHITECTS	1500 DILL STREET SAN FRANCISCO CA 94109 TEL# 415-596-1111
<div style="text-align: right;">RECEIVED SEP 17 2015 BUILDING INSPECTION DEPARTMENT MEETS THE QUALITY REQUIREMENTS FOR DIGITIZING</div>	
162-164 Alhambra Street San Francisco CA Remodel for Charles Cross	
EXISTING CONDITION PLANS	
Date	9/14/15
Scale	A3 NOTES
Drawn	RJS
Job	21503.0
Sheet	A.1
Ci	Steel

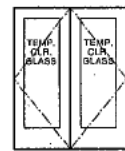
ELECTRICAL / LIGHTING LEGEND

- (F) SURFACE MOUNTED FLUORESCENT OR LED (BY OWNER)
- (24") LED LIGHT LENGTH IN (), UNDERCABINET
- (J) J-BOX - LIGHT FIXTURE BY OWNER. ALL BATHROOM AND EXTERIOR FIXTURES SHALL BE HIGH EFFICACY
- (72") SURFACE MOUNT TRACK LIGHT, LENGTH IN ()
- (36") SINGLE TUBE FLUORESCENT, SURFACE MOUNT LIGHT LENGTH IN ()
- (E) LIGHT, HEAT & EXHAUST FAN SWITCHED SEPARATELY
- (S) SINGLE POLE SWITCH
- (D) SWITCH, "D" INDICATES DIMMER, "3" INDICATES TWO WAY SWITCHING
- (N) NEW DUPLEX OUTLET- 110 V. 60 HZ - MOUNTED AT 15" A.F.F. U.O.N.
- (H) NOTE: "H" INDICATES HORIZONTALLY MOUNTED
- (WP) "WP" INDICATES WATER PROOF
- (GF) "GF" INDICATES GROUND FAULT INTERRUPT
- (E) "E" INDICATES EXISTING
- (N) NEW CARBON MONOXIDE DETECTOR (MOUNTED LOW ON WALL)
- (N) NEW FIRE SPRINKLER HEAD
- (N) NEW SMOKE DETECTOR (CEILING MOUNTED)
- (T) TELEPHONE JACK
- (TV) T.V. CABLE OUTLET

NOTE: ALL FLUORESCENT LAMPS SHALL BE 2700 K TEMPERATURE

DOOR SCHEDULE

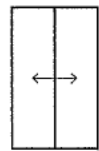
DOOR NO.	NOMINAL SIZE	TYPE	DOOR MTL.	FINISH	FRAME MTL.	FINISH	GLAZING	HARDWARE GROUP	NOTES
1	5'0" x 6'8"	A						A	
2	5'0" x 6'8"	A						A	
3	1'4" x 6'8"	B						C	
4	1'4" x 6'8"	B						C	
5	2'6" x 6'8"	B						D	
6	2'6" x 6'8"	B						D	
7	3'0" x 6'8"	C						E	
8	2'6" x 6'8"	B						S	90 MIN. RATED DOOR W/ CLOSE



A. FRENCH DOORS



B. FLUSH



C. SLIDING

WINDOW SCHEDULE

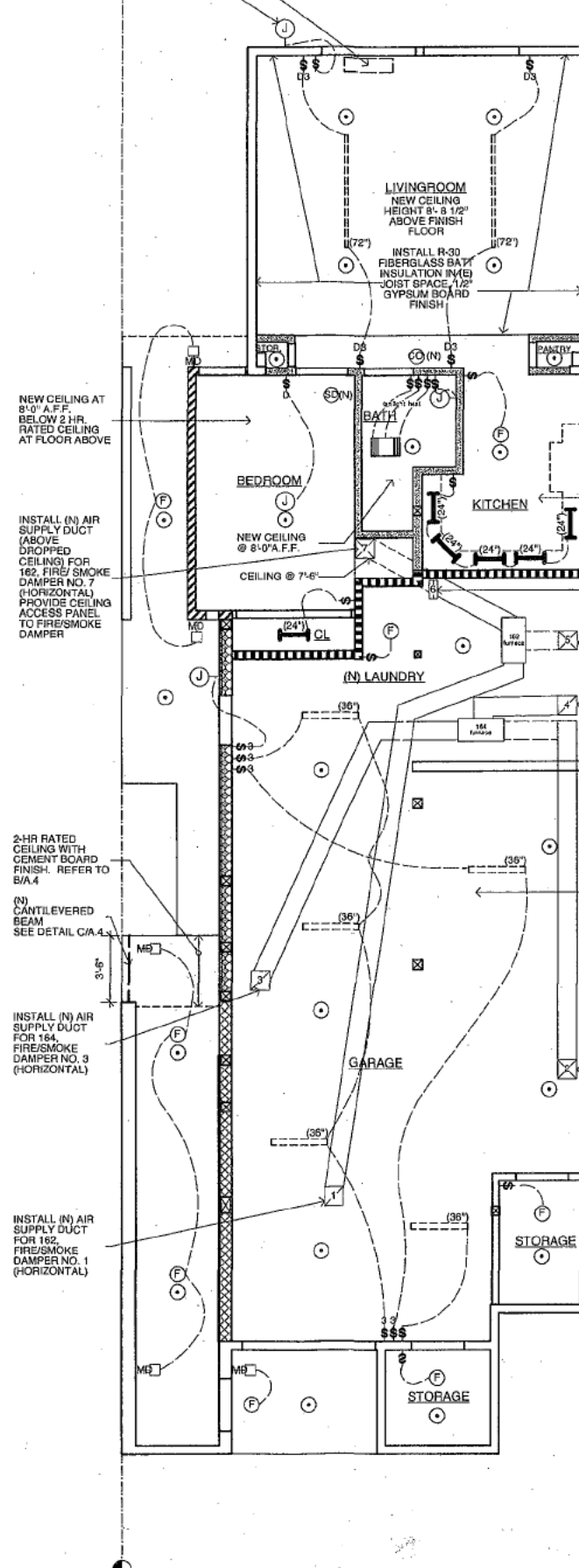
SYMB.	NOM. WINDOW	TYPE	MTL.	FINISH	GLAZING	SILL HT.	REMARKS
	WIDTH	HEIGHT					
A	2'6"	6'8"	DH	WD	PAINT	CLD. TEMP.	24" x 4" EGRESS WINDOW WITH TEMPERED GLASS

ELECTRICAL NOTES:

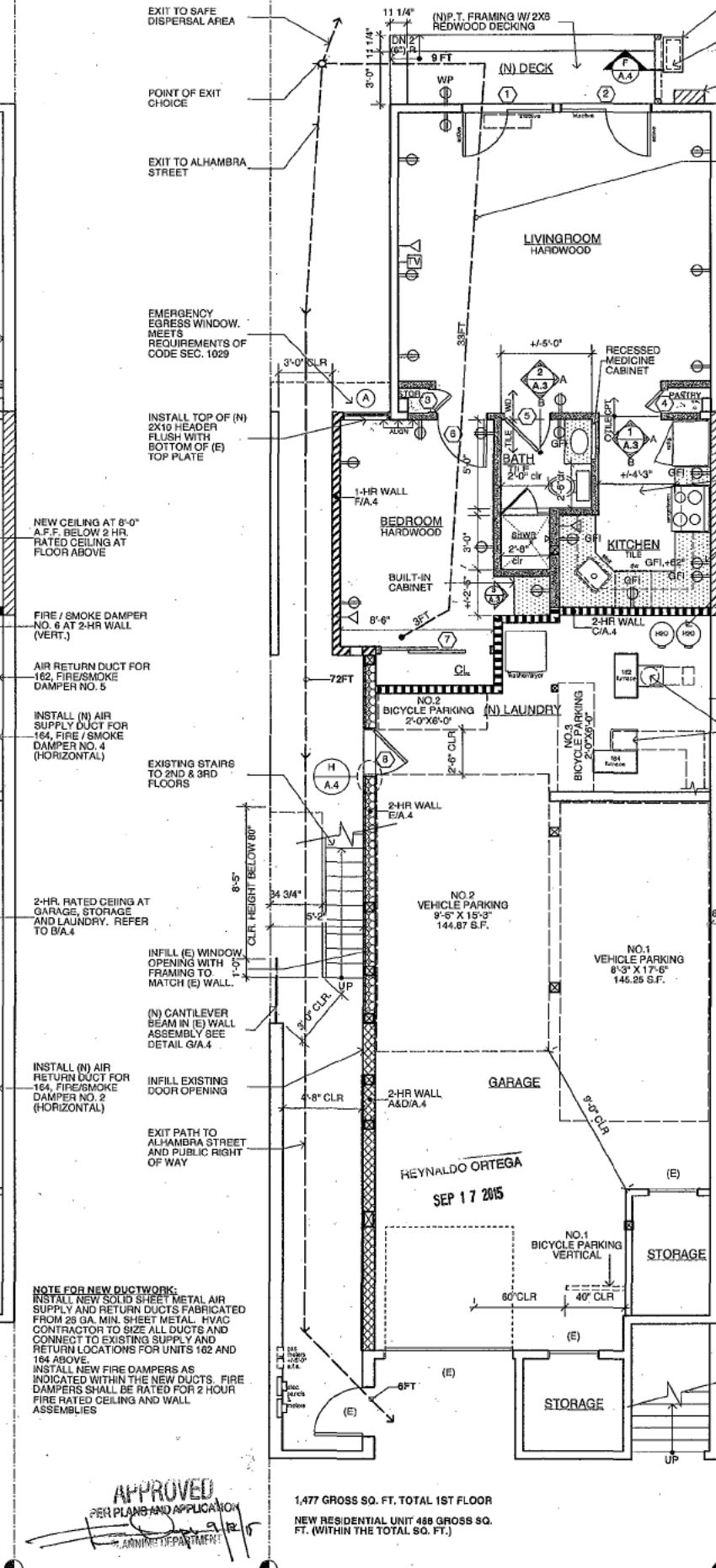
- ALL FLUORESCENT LAMPS SHALL BE 2700 K TEMPERATURE.
- PROVIDE MIN (2) 20 AMP BRANCH CIRCUITS FOR KITCHEN APPLIANCES DINING AREA, PANTRY NC220-4) 220-4(B)(1) (2) WITH NO OTHER OUTLETS ON THE CIRCUIT. AT LEAST ONE 20 AMP CIRCUIT 220 VOLT DRYER SHALL BE ON A SEPARATE 30 AMP CIRCUIT INSTALLED FOR LAUNDRY EQUIPMENT. A RECEPTACLE SHALL BE INSTALLED WITHIN 6' PROVIDE LAUNDRY EQUIPMENT, AND SHOW DRYER VENT THE OUTSIDE OF BUILDING.
- ARC FAULT CIRCUIT INTERRUPTER (AFCI) THE 2001 CALIF. ELECT. CODE REQUIRES ALL 120-VOLT, SINGLE PHASE, 15 AND 20 AMP BRANCH CIRCUITS SUPPLYING OUTLETS INSTALLED IN DWELLING UNIT FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DENS, BEDROOMS, SUNROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS SHALL BE PROTECTED BY AN ARC-FAULT CIRCUIT. (Art. 210-12a)
- PROVIDE TAMPER-RESISTANT RECEPTACLES IN ALL AREAS OF DWELLINGS OR UNITS AS REQUIRED BY (CEC 406.11). THIS INCLUDES NEW OR ALTERED KITCHENS, FAMILY ROOM, DINING, LIVING ROOMS, PARLOR, LIBRARY, DEN, SUNROOM, BEDROOMS, RECREATIONS ROOM OR SIM. ROOMS OR AREAS.
- BATHROOM FAN SHALL MEET THE 60 CUBIC FT. PER MIN FOR INTERMITTENT OR 25 CUBIC FT MIN FOR CONTINUOUS VENTILATION SHALL BE EXHAUSTED TO THE OUTSIDE 3' FROM ANY OPENING INTO THE BUILDING.

DUCTLESS AIR HANDLING UNIT.
MOUNT ON WALL ABOVE
CENTER OF DOOR

(E) EXTERIOR LIGHT TO REMAIN



25.036'
2
A.2
Scale: 1/4" = 1'-0"



25.036'
1
A.2
Scale: 1/4" = 1'-0"

WALL LEGEND

- EXISTING WALL TO REMAIN
- EXISTING WALL TO BE REMOVED
- INTERIOR PARTITION - NEW 2X4 WOOD STUD WALLS WITH 1/2" GYPSUM WALL BOARD EACH SIDE. MOISTURE PROOF GYPSUM WALL BOARD AT DAMP LOCATIONS
- 1-HR. RATED PARTITION REFER TO FIA.4
- 2-HR. RATED PARTITION REFER TO CIA.4
- 2-HR. RATED PARTITION REFER TO EIA.4
- 2-HR. RATED PARTITION REFER TO AADIA.4
- UPGRADE (E) 2X6 STUD WALL TO 1-HR RATING WITH 2 LAYERS 5/8" TYPE "X" GYPSUM WALL BOARD, INTERIOR SIDE

1,477 GROSS SQ. FT. TOTAL 1ST FLOOR
NEW RESIDENTIAL UNIT 488 GROSS SQ. FT. (WITHIN THE TOTAL SQ. FT.)

25.036'
1
A.2
Scale: 1/4" = 1'-0"

APPROVED

OCT 13 2015
Tom C. Hule
DIRECTOR
DEPT. OF BUILDING INSPECTION

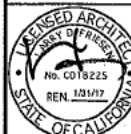
CHECKED
OCT 16 2015
BY: THOMAS LE

CHECKED
SEP 23 2015
BY: THOMAS LE

RECEIVED

SEP 17 2015
DEPT. OF BUILDING INSPECTION
THIS PLAN MEETS THE QUALITY
STANDARD FOR CHARTER 17-16
ACCEPTED

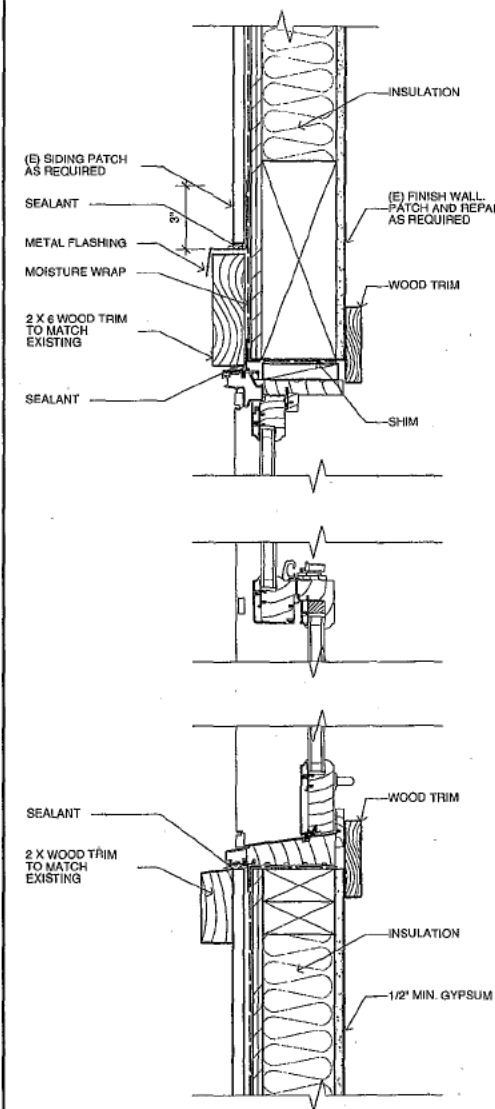
162-164 Alhambra Street
San Francisco CA
Remodel for Charles Cross



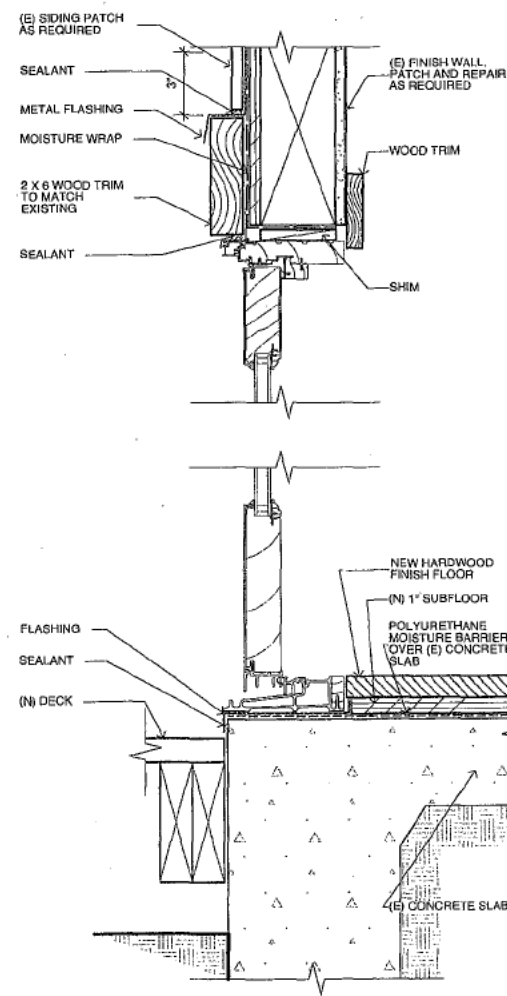
PROJ PLAN
REFLECTED
CEILING PLAN
SCHEDULES

Date: 9/14/15
Scale: AS NOTED
Drawn: RLJL
Job: 21933.00
Sheet: A.2

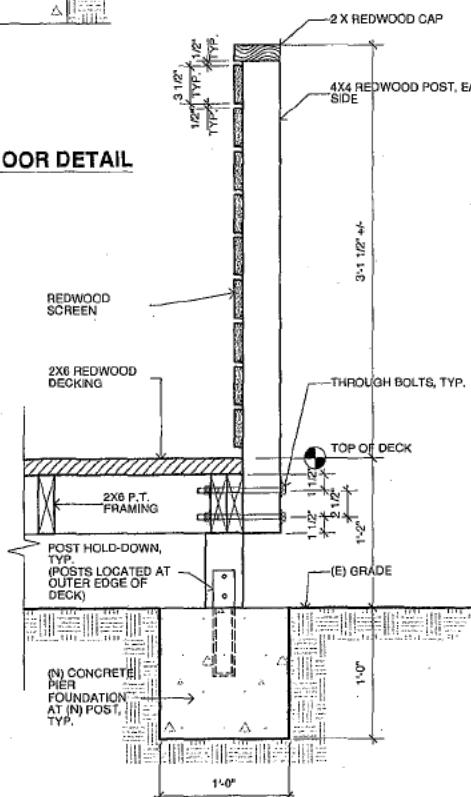
Thomas Haney, SFFD
SEP 17 2015



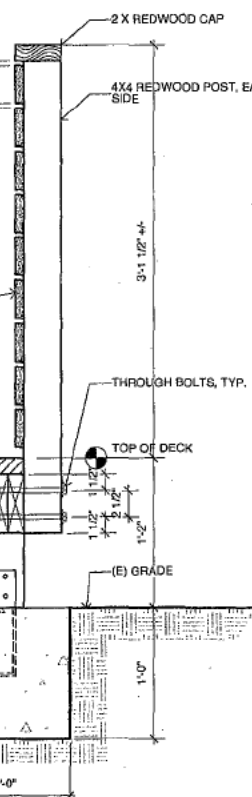
B WINDOW SECTION DETAIL
Scale: 3" = 1'-0"



C FRENCH DOOR DETAIL
Scale: 3" = 1'-0"

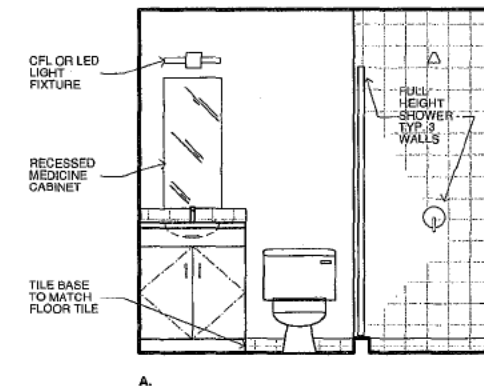


A DECK AND SCREEN DETAIL
Scale: 1 1/2" = 1'-0"

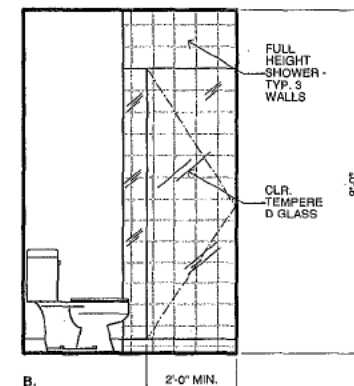


1 KITCHEN ELEVATIONS
Scale: 1/2" = 1'-0"

2 BATHROOM ELEVATIONS
Scale: 1/2" = 1'-0"

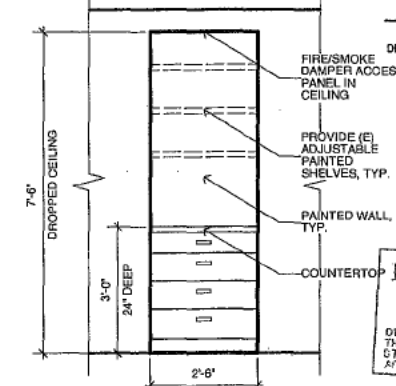


CHECKED
SEP 23 2015
BY: THOMAS LE



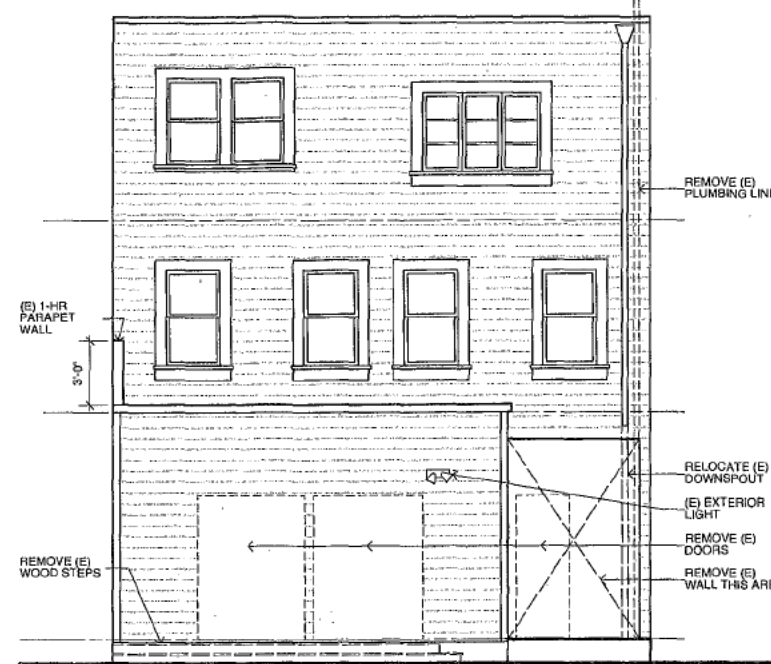
REYNALDO ORTEGA
SEP 17 2015

3 BUILT-IN CABINET ELEVATION
Scale: 1/2" = 1'-0"

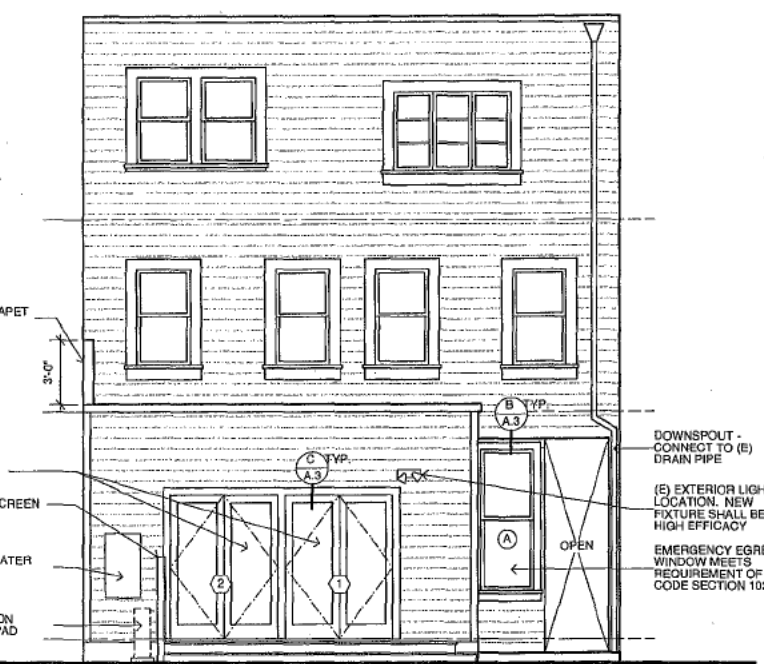


CHECKED
OCT 16 2015
BY: THOMAS LE

4 (E) REAR ELEVATIONS
Scale: 1/4" = 1'-0"



5 PROPOSED REAR ELEVATIONS
Scale: 1/4" = 1'-0"



APPROVED
Dept. of Building Insp.

OCT 19 2015
T. C. HUI
DIRECTOR
DEPT. OF BUILDING INSPECTION

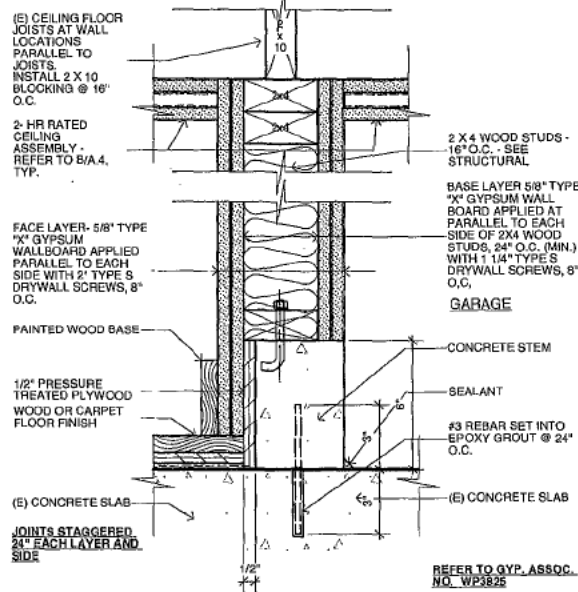
RECEIVED
SEP 17 2015
DEPT. OF BUILDING INSPECTION
THIS PLAN SET'S THE QUALITY STANDARD FOR DIGITIZATION

162-164 Alhambra Street
San Francisco CA
Remodel for Charles Cross

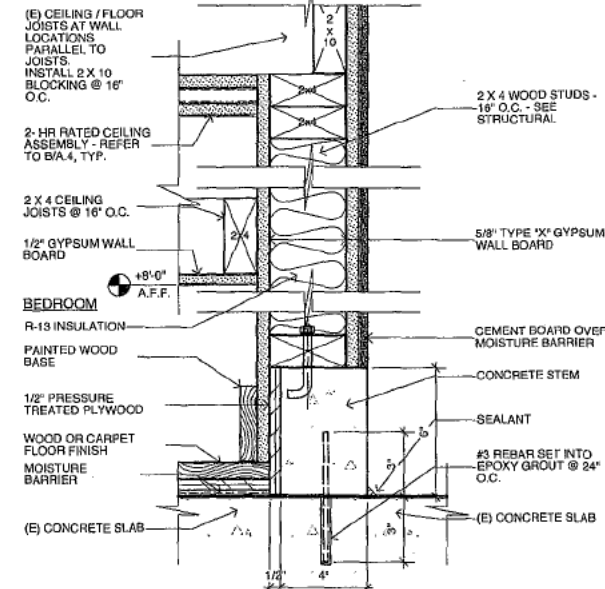
LICENSED ARCHITECT
TOMAS LE
No. 007225
REN. 12/1/17

INTERIOR & EXTERIOR ELEVATIONS

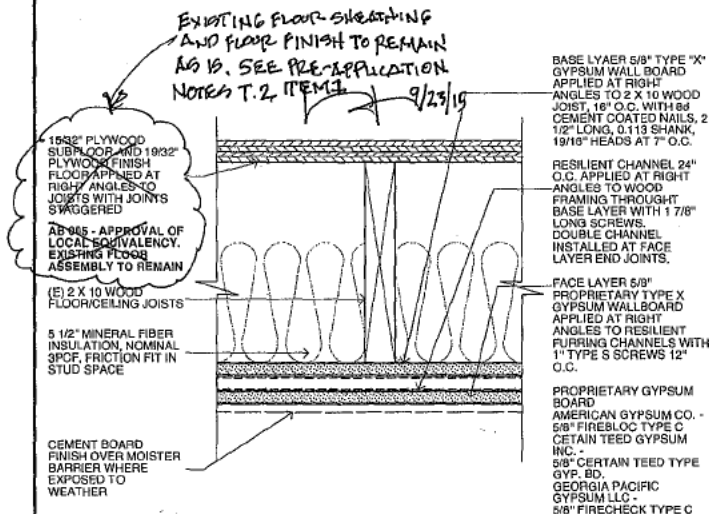
Date: 9/14/15
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Drawn: RJBL
Job: 21503.00
Sheet: A.3



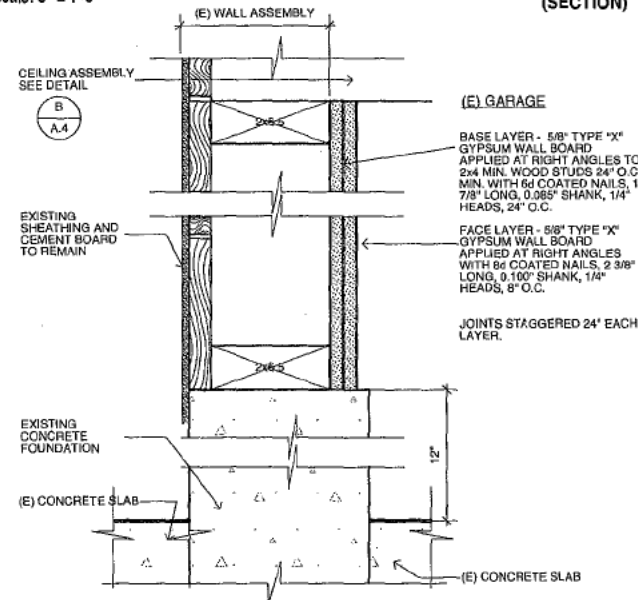
C 2HR FIRE RATED WALL
Scale: 3" = 1'-0"
(SECTION)



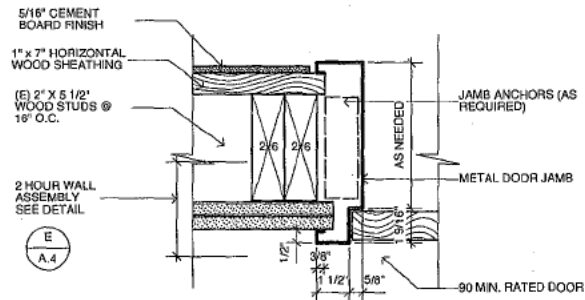
F 1HR FIRE RATED WALL
Scale: 3" = 1'-0"
(SECTION)



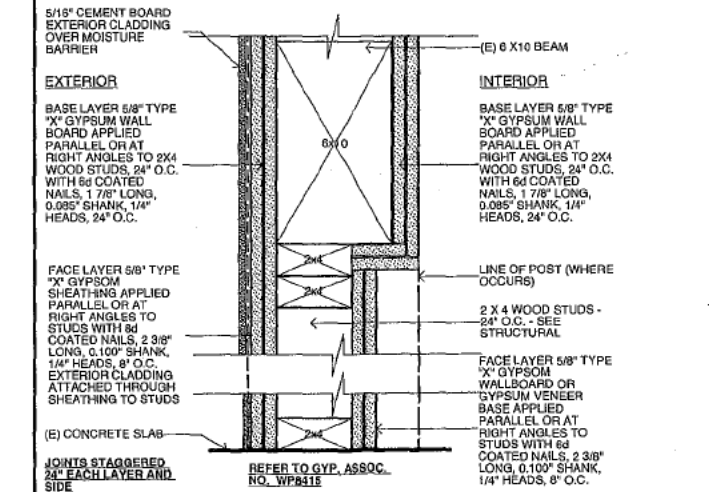
B 2HR FIRE RATED CEILING DETAIL
Scale: 3" = 1'-0"
(SECTION)



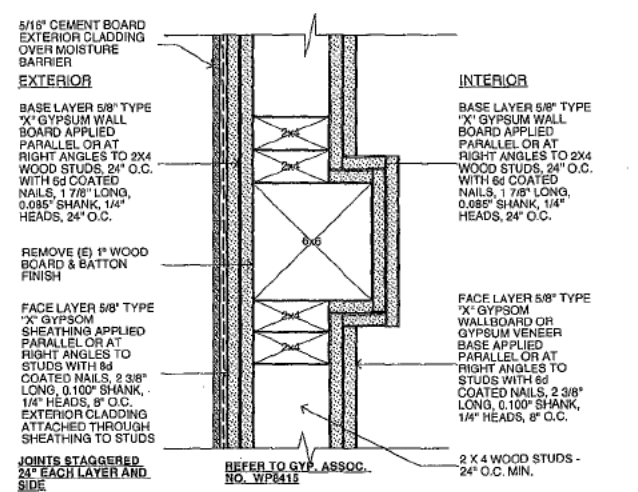
E 2HR FIRE RATED WALL UPGRADE @ (E) STUD FRAMED WALL
Scale: 3" = 1'-0"
(SECTION)



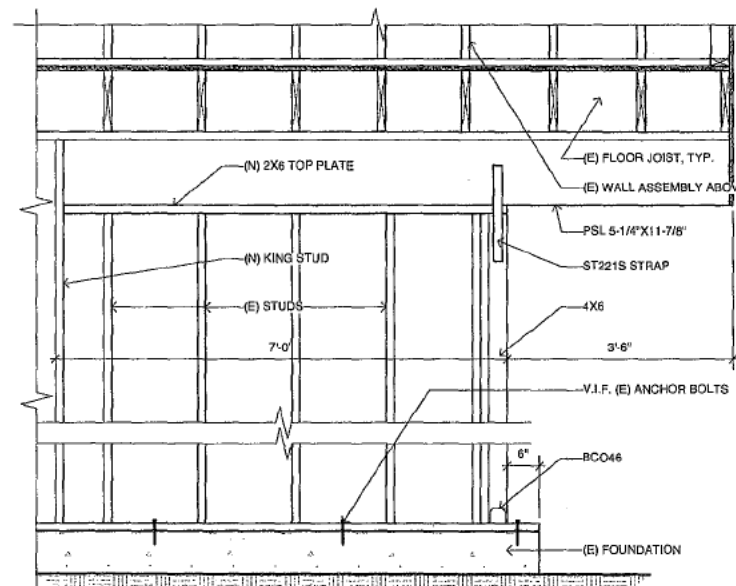
H 90 MIN. RATED DOOR & JAMB
Scale: 3" = 1'-0"
PLAN (HEAD SIM.)



A 2HR FIRE RATED WALL @ (E) POST & BEAM WALL
Scale: 3" = 1'-0"
(SECTION)



D 2HR FIRE RATED WALL @ (E) POST & BEAM WALL
Scale: 3" = 1'-0"
(PLAN)



G BEAM ELEVATION / DETAIL
Scale: 3/4" = 1'-0"
(SECTION)

APPROVED
Dept. of Building Insp.

OCT 19 2015

Tom C. Hu
TOM C. HU, S.E.
DIRECTOR
DEPT. OF BUILDING INSPECTION

CHECKED
SEP 23 2015
BY: THOMAS LE

CHECKED
OCT 16 2015
BY: THOMAS LE

RECEIVED

SEP 23 2015
DEPT. OF BUILDING INSPECTION
ACCEPTED

162-164 Alhambra Street
San Francisco CA
Remodel for Charles Cross

REGISTERED ARCHITECT
No. 0018225
REN 1/31/17
STATE OF CALIFORNIA

DETAILS

Date 9/14/15

Scale AS NOTED

Drawn RBL

Job 21508.00

Sheet

A.4

Cl Sheets

MARINA CORPORATION

TO

THE PACIFIC GAS & ELECTRIC CO. et al.

MARINA CORPORATION, a corporation organized and existing under and by virtue of the laws of the State of California, hereinafter called the "grantor" for and in consideration of the sum of ONE DOLLAR (\$1.00) in lawful money of the United States of America to the grantor in hand paid by THE PACIFIC GAS AND ELECTRIC COMPANY, and THE PACIFIC TELEPHONE AND TELEGRAPH COMPANY, like corporations, hereinafter called the "grantees" the receipt whereof is hereby acknowledged, does hereby grant unto the said grantees, their successors and assigns, the respective rights and privileges hereinafter set forth as applying to the respective parcels hereinafter specified, the right and privilege of inspecting, maintaining and using as conduits for the transmission and/or distribution of electricity and/or the furnishing of telephone service and for all purposes connected therewith, mains or pipes and suitable service pipes and connections, as to Parcels Nos. One (1), Four (4), Five (5), Ten (10), Eleven (11), Thirteen (13), and Fifteen (15) hereinafter referred to: X

THE right and privilege of erecting, maintaining and using for the transmission and distribution of electricity and/or the furnishing of telephone service and for all purposes connected therewith, poles, and wires suspended therefrom, and all necessary and proper cross-arms, braces and other fixtures and appliances for use in connection therewith, as to Parcels Nos. Two (2), Seven (7), Eight (8) and Fourteen (14) hereinafter referred to;

THE right and privilege of inspecting and maintaining and using as conduits for the transmission and/or distribution of electricity and/or the furnishing of telephone service and for all purposes connected therewith, mains or pipes and suitable service pipes and connections, and/or the right and privilege of erecting, maintaining and using, for the transmission and distribution of electricity, and/or the furnishing of telephone service, and for all purposes connected therewith, poles, and wires suspended therefrom and all necessary and proper cross-arms, braces and other fixtures and appliances for use in connection therewith, as to Parcels Nos. Three (3), Six (6), Nine (9) and Twelve (12).

TOGETHER with a right of way over, upon, through and across all of the following hereinafter described parcels of land situate in the City and County of San Francisco, State of California, and more particularly described as follows: X

PARCEL ONE (1). COMMENCING at a point on the Northerly line of Chestnut Street, distant thereon 90.285 feet Easterly from the Easterly line of Pierce Street (as widened); running thence Easterly along said line of Chestnut Street 4 feet; thence at a right angle Northerly 166.83 feet to the Southerly line of Toledo Way (as re-aligned and widened) thence at a right angle Westerly 4 feet along the said line of Toledo Way; thence at a right angle Southerly 166.83 feet to the said line of Chestnut Street and the point of commencement.

BEING part of Marina Gardens.

PARCEL TWO (2). A strip of land 8 feet in width, the center line of which is described as follows:

COMMENCING at a point distant 90 feet Northerly from the Northerly line of Chestnut Street, measured at right angles thereto, and distant 94.285 feet Easterly from the Easterly line of Pierce Street (as widened) measured at right angles thereto; running thence Easterly parallel with the Northerly line of Chestnut Street a distance of 200 feet; thence North 65 degrees 7 minutes 45 seconds East a distance of 77.394 feet.

BEING part of Marina Gardens.

PARCEL THREE (3). A strip of land 4 feet in width the Southeasterly boundary line of which is described as follows:

COMMENCING at a point distant 111.182 feet Northerly from the Northerly line of Chestnut Street measured at right angles thereto, and distant 369.285 feet Easterly from the Easterly line of Pierce Street (as widened) measured at right angles thereto; running thence North 65 degrees 7 minutes 45 seconds East a distance of 18.189 feet.

BEING part of Marina Gardens.

PARCEL FOUR (4). COMMENCING at a point distant 96 feet Easterly from the Easterly line of Pierce Street (as widened) measured at right angles thereto; and distant 225 feet Southerly from the Southerly line of Capra Way measured at right angles thereto; running thence

C.C.
R.S.P.R.S.P.
N.P.

992

22.

337

1/23/1925

Easterly parallel with the Southerly line of Capra Way a distance of 4 feet; thence at a right angle Southerly 109.208 feet to the Northwesterly line of Alhambra Street; thence Southwesterly along Alhambra Street to a point distant 96 feet Easterly from the Easterly line of Pierce Street (as widened) measured at right angles thereto; thence Northerly parallel with the Easterly line of Pierce Street to the point of commencement.

BEING part of Marina Gardens.

PARCEL FIVE (5). COMMENCING at a point on the Southerly line of Capra Way, distant thereon 96 feet Easterly from the point of intersection of the Southerly line of Capra Way with the Easterly line of Pierce Street (as widened) running thence Easterly along said line of Capra Way 4 feet; thence at a right angle Southerly 104 feet; thence at a right angle Westerly 4 feet; thence at a right angle Northerly 104 feet to the point of commencement.

BEING part of Marina Gardens.

PARCEL SIX (6). A strip of land 8 feet in width, the center line of which is described as follows:

COMMENCING at a point distant 100 feet Southerly from the Southerly line of Capra Way measured at right angles thereto and 100 feet Easterly from the Easterly line of Pierce Street (as widened), measured at right angles thereto; and running thence Easterly and parallel with the said line of Capra Way 25 feet; thence at a right angle Southerly 114.363 feet; thence South 57 degrees 51 minutes West 27.168 feet.

BEING part of Marina Gardens.

PARCEL SEVEN (7). A strip of land 8 feet in width, the center line of which is described as follows:

COMMENCING at a point distant 155 feet Southerly from the Southerly line of Capra Way, measured at right angles thereto, and a point distant 125 feet Easterly from the Easterly line of Pierce Street (as widened) measured at right angles thereto, running thence North 66 degrees 45 minutes 12 seconds East 163.931 feet; thence North 51 degrees 00 minutes 39 seconds East 33.210 feet.

BEING part of Marina Gardens.

PARCEL EIGHT (8). A strip of land 4 feet in width, the Southeasterly boundary line of which is described as follows:

COMMENCING at a point 85 feet Southwesterly from a point on the Southwesterly line of Mallorca Way measured at right angles to said line of Mallorca Way, said point on Mallorca Way being distant 135 feet Northwesterly from the Northwesterly line of Alhambra Street; thence South 34 degrees 9 minutes 46 seconds West a distance of 15 feet.

BEING part of Marina Gardens.

PARCEL NINE (9). A strip of land 8 feet in width the center line of which is described as follows:

COMMENCING at a point distant 100 feet Southwesterly from a point on the Southwesterly line of Mallorca Way measured at right angles to said line of Mallorca Way, said point on Mallorca Way being distant 110 feet Northwesterly from the Northwesterly line of Alhambra Street; running thence Northwesterly parallel with the Southwesterly line of Mallorca Way a distance of 29 feet.

BEING part of Marina Gardens.

PARCEL TEN (10). COMMENCING at a point on the Northwesterly boundary line of Alhambra Street, distant thereon 65 feet Southwesterly from the point of intersection of the Southwesterly line of Mallorca Way and the Northwesterly line of Alhambra Street; running thence North 47 degrees 46 minutes 43 seconds West 98.974 feet; thence South 34 degrees 9 minutes 46 seconds West 46 feet; thence Southeasterly parallel with the Southwesterly line of Mallorca Way a distance of 4 feet; thence North 34 degrees 9 minutes 46 seconds East 42 feet; thence South 47 degrees 46 minutes 43 seconds East to the Northwesterly line of Alhambra Street; thence Northeasterly along the said line of Alhambra Street to the point of commencement.

BEING part of Marina Gardens.

PARCEL ELEVEN (11). COMMENCING at a point on the Northerly line of Capra Way, distant thereon 150 feet Easterly from the Easterly line of Pierce Street (as widened) running thence Easterly along the said line of Capra Way 4 feet; thence at a right angle Northerly

O.K.
M.C.

O.K.
M.C.

O.K.
M.C.
O.K.
M.C.

7 54 feet; thence at a right angle Westerly 20 feet; thence at a right angle Northerly 48 feet 6 inches; thence at a right angle Westerly 4 feet; thence at a right angle Southerly 52 feet 6 inches; thence at a right angle Easterly 20 feet; thence at a right angle Southerly 50 feet to the point of commencement.

BEING part of Marina Gardens. X

PARCEL TWELVE (12) COMMENCING at a point distant 130 feet Easterly from the Easterly line of Pierce Street (as widened) measured at right angles thereto, and distant 111 feet 6 inches Northerly from the Northerly line of Capra Way measured at right angles thereto; running thence Westerly parallel with said line of Capra Way 30 feet more or less; thence at a right angle Southerly 8 feet; thence at a right angle Easterly 50 feet; thence at a right angle Northerly 8 feet to the point of commencement. R.S.P.
N.P.

BEING part of Marina Gardens.

PARCEL THIRTEEN (13). COMMENCING at a point on the Northerly line of Capra Way, distant thereon 96 feet Easterly from the Easterly line of Pierce Street (as widened) running thence Easterly along the said line of Capra Way 4 feet; thence at a right angle Northerly 107 feet 6 inches; thence at a right angle Westerly 4 feet; thence at a right angle Southerly 107 feet 6 inches to the point of commencement.

BEING part of Marina Gardens.

X PARCEL FOURTEEN (14). A strip of land 8 feet in width, the center line of which is described as follows:

COMMENCING at a point on the Southerly line of Beach Street, distant thereon 95 feet Easterly from the point of intersection of the Southerly line of Beach Street and the Easterly line of Pierce Street (as widened) running thence Southerly parallel with the said line of Pierce Street a distance of 187 feet 6 inches; thence South 11 degrees 49 minutes 45 seconds East a distance of 105.118 feet.

R.S.P.
N.P.

BEING part of Marina Gardens.

PARCEL FIFTEEN (15). COMMENCING at a point on the Westerly line of Mallorca Way, distant 197 feet Northerly from the Northerly line of Capra Way measured at right angles thereto; running thence Westerly parallel with said line of Capra Way 95 feet; thence at a right angle Northerly 3 feet; thence at a right angle Easterly 95 feet more or less to the said line of Mallorca Way; thence Southerly along said line of Mallorca Way to the point of commencement. R.S.P.
N.P.

BEING part of Marina Gardens.

X THE following clause shall apply only to such portions of the foregoing described parcels of land as hereinafter set forth:

THE grantor, its successors or assigns, shall have the right to construct, erect, build and/or maintain buildings, and/or improvements on or upon the property above described, and the grantees agree to save the grantor, its successors or assigns harmless from any damages arising out of the grantees' exercise of the right of ingress and egress and to pay all costs arising out of the exercise of said right of ingress and egress under any buildings and/or improvements constructed over said conduit or easement. R.S.P.
N.P.

X ALL of Parcel One (1). The Southerly 35 feet of Parcel Four (4). The Northerly 50 feet of Parcel Five (5). All of Parcel Ten (10). The Southerly 60 feet of Parcel Eleven (11). The Southerly 57 feet 6 inches of Parcel Thirteen (13). All of Parcel Fifteen (15).

THE grantees agree each for itself that no single line of wires shall carry in excess of five thousand (5000) volts.

THE grantees herein agree each for itself that all underground conduits laid in any of the foregoing parcels of land shall be laid sufficiently below the surface of the ground so as not to interfere with the foundations of buildings that may subsequent to the date hereof be built upon same. R.S.P.
N.P.

X NONE of the foregoing are exclusive easements, rights or privileges, and a similar easement, right and/or privilege over, upon or through the parcels of land hereinbefore described can be granted to any other public service corporation by the grantor herein.

IN WITNESS WHEREOF, grantor has executed these presents this Thirtieth day of December,

1924.

(Corp. Seal)

MARINA CORPORATION
By J. E. ROTHSCHILD, President.
By S. V. ROTHSCHILD, Secretary.

OWNER'S CERTIFICATE: 0150 577

I (WE) HEREBY CERTIFY THAT I AM (WE ARE) THE ONLY OWNER(S) OF AND HOLDER(S) OF SECURITY INTEREST OR HAVE SOME RIGHT, TITLE OR INTEREST IN AND TO THE REAL PROPERTY INCLUDED WITHIN THE SUBDIVISION SHOWN UPON THIS MAP, THAT I AM (WE ARE) THE ONLY PERSON(S) WHOSE CONSENT IS NECESSARY TO PASS CLEAR TITLE TO SAID REAL PROPERTY; THAT I (WE) CONSENT TO THE MAKING AND RECORDING OF SAID MAP AND SUBDIVISION AS SHOWN WITHIN THE BLUE BORDER LINE; THAT SAID MAP CONSTITUTES AND CONSISTS OF A CERTIFIED MAP AND DIAGRAMMATIC FLOOR PLANS WITHIN THE MEANING OF PARAGRAPH 1351 (I) (II) OF THE CIVIL CODE OF THE STATE OF CALIFORNIA, AND THAT I (WE) HEREBY CONSENT TO THE MAKING AND RECORDING OF SAID MAP PURSUANT TO CHAPTER 1, TITLE 6, PART 4, DIVISION SECOND OF THE CIVIL CODE OF THE STATE OF CALIFORNIA.

IN WITNESS WHEREOF I (WE) HAVE CAUSED THESE PRESENTS TO BE EXECUTED THIS

9th DAY OF MARCH, 1981.

BY: Charles J. Cross BY: Lindsay Murray
Charles J. Cross Lindsay Murray

TRUSTEE: Cal Fed Enterprises, a California corporation

BY: Patricia Beard BY: Mellie Jackson

TRUSTEE: Founders Title Company, a California corporation

BY: William M. Dent BY: Dennis P. White

OWNER'S ACKNOWLEDGEMENT:

STATE OF CALIFORNIA ISS
COUNTY OF SAN FRANCISCO

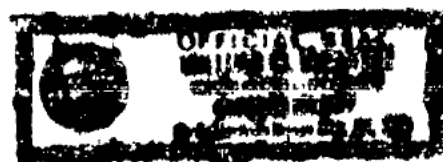
ON THIS 9th DAY OF MARCH, 1981, BEFORE ME William M. Dent, A

NOTARY PUBLIC IN AND FOR SAID STATE AND COUNTY, PERSONALLY APPEARED

Charles J. Cross and Lindsay Murray

KNOWN TO ME TO BE THE PERSON(S) WHOSE NAME(S) IS (ARE) SUBSCRIBED TO THE WITHIN INSTRUMENT AND WHO ACKNOWLEDGED TO ME THAT THEY EXECUTED THE SAME

William M. Dent
NOTARY PUBLIC
MY COMMISSION EXPIRES AUG. 14, 1982



TRUSTEE'S ACKNOWLEDGEMENT:

STATE OF CALIFORNIA ISS
COUNTY OF San Francisco

ON THIS 10th DAY OF March, 1981, BEFORE ME the undersigned, A

NOTARY PUBLIC IN AND FOR SAID STATE AND COUNTY, PERSONALLY APPEARED

Debbie L. Barry AND Dennis P. White

KNOWN TO ME TO BE THE Asst. Secretary AND Vice-President RESPECTIVELY, OF THE CORPORATION THAT EXECUTED THE WITHIN INSTRUMENT AND ALSO KNOWN TO ME TO BE THE PERSONS WHO EXECUTED IT ON BEHALF OF SAID CORPORATION AND ACKNOWLEDGED TO ME THAT SUCH CORPORATION EXECUTED THE SAME AND FURTHER ACKNOWLEDGED TO ME THAT SUCH CORPORATION EXECUTED THE WITHIN INSTRUMENT PURSUANT TO ITS BY-LAWS OR A RESOLUTION OF ITS BOARD OF DIRECTORS.

Annie Johnson
NOTARY PUBLIC

CITY ENGINEER'S CERTIFICATE:

I, FRANK H. MOSS JR., CITY ENGINEER OF THE CITY AND COUNTY OF SAN FRANCISCO DO HEREBY CERTIFY THAT I HAVE EXAMINED THIS FINAL MAP ENTITLED "PARCEL MAP OF 162-164 ALHAMBRA STREET", SAN FRANCISCO, CALIFORNIA,

COMPRISING 3 SHEETS, THAT THE SUBDIVISION AS SHOWN HEREON IS SUBSTANTIALLY THE SAME AS IT APPEARED ON THE TENTATIVE MAP AND ANY APPROVED ALTERATIONS THERE OF; THAT ALL PROVISIONS OF THE SUBDIVISION MAP ACT AND ANY LOCAL ORDINANCES APPLICABLE AT THE TIME OF APPROVAL OF THE TENTATIVE MAP HAVE BEEN COMPLIED WITH AND I AM SATISFIED THAT SAID MAP IS TECHNICALLY CORRECT

DATED THIS 10th DAY OF April, 1981.

Frank H. Moss Jr.
FRANK H. MOSS JR., CITY ENGINEER
CITY AND COUNTY OF SAN FRANCISCO,
STATE OF CALIFORNIA.

SURVEYOR'S CERTIFICATE:

I DO HEREBY STATE THAT DURING THE YEAR OF 1980 A SURVEY WAS MADE UNDER MY DIRECTION AND THAT THE SURVEY IS TRUE AND COMPLETE AS SHOWN ON THIS MAP ENTITLED "PARCEL MAP OF 162-164 ALHAMBRA STREET", SAN FRANCISCO, CALIFORNIA, COMPRISING 3 SHEETS. I DO HEREBY CERTIFY THAT THE MONUMENTS AND BENCH MARKS ARE OF THE CHARACTER AND OCCUPY OR WILL OCCUPY THE POSITIONS INDICATED ON THE WITHIN MAP AND THAT THEY ARE SUFFICIENT TO ENABLE THIS SURVEY TO BE RETRACED AND THAT THE BUILDING IS AS SHOWN.

WITNESS MY HAND AND SEAL THIS 10th DAY OF APRIL, 1981.

TRANSAMERICAN ENGINEERS & ASSOCIATES: BY E. ARANA, L.S. 3075

RECORDATION DATA:

FILED FOR RECORD THIS 10 DAY OF APRIL, 1981, AT 7

MINUTES PAST 3 P. M. IN PARCEL MAP BOOK 19 AT PAGES 92 TO 94

INCLUSIVE, OFFICIAL RECORDS OF THE CITY AND COUNTY OF SAN FRANCISCO, STATE OF CALIFORNIA, AT THE REQUEST OF

Charles J. Cross and Lindsay Murray

Jay Mohan Singh (Mplz)
COUNTY RECORDER
CITY AND COUNTY OF SAN FRANCISCO,
STATE OF CALIFORNIA

TRUSTEE'S ACKNOWLEDGEMENT:

STATE OF CALIFORNIA ISS
COUNTY OF Los Angeles

ON THIS 31 DAY OF March, 1981, BEFORE ME S. L. Bahale, A

NOTARY PUBLIC IN AND FOR SAID STATE AND COUNTY, PERSONALLY APPEARED

Patricia Beard AND Mellie Jackson

KNOWN TO ME TO BE THE Vice-President AND Asst. Secretary RESPECTIVELY, OF THE CORPORATION THAT EXECUTED THE WITHIN INSTRUMENT AND ALSO KNOWN TO ME TO BE THE PERSONS WHO EXECUTED IT ON BEHALF OF SAID CORPORATION AND ACKNOWLEDGED TO ME THAT SUCH CORPORATION EXECUTED THE SAME AND FURTHER ACKNOWLEDGED TO ME THAT SUCH CORPORATION EXECUTED THE WITHIN INSTRUMENT PURSUANT TO ITS BY-LAWS OR A RESOLUTION OF ITS BOARD OF DIRECTORS

S. L. Bahale
NOTARY PUBLIC
MY COMMISSION EXPIRES Sept 25, 1984

RECORDED AT REQUEST OF

At 7 Min Past 3 PM

APR 10 1981

City & County of San Francisco, Calif.

DU75296

PARCEL MAP OF
162-164 ALHAMBRA STREET
A CONDOMINIUM
BEING A RESUBDIVISION OF LOT 13
A PORTION OF ASSESSOR'S BLK. NO. 463A
SAN FRANCISCO, CALIFORNIA

TRANSAMERICAN ENGINEERS & ASSOCIATES

0150 576

92

ROLL 1180 FALL 579 CAPRA WAY (40')

ASSESSOR'S BLOCK 463A

MALLORCA WAY (40')

NOTE: CITY MONUMENT LINES PER MONUMENT MAP No. 7-5 47

GENERAL NOTES ROLL 1180 FALL 578 93

1. THE SUBDIVISION DEPICTED HEREON IS SUBJECT TO THE PROVISIONS OF THE CALIFORNIA CONDOMINIUM ACT, TITLE 6, PART 4, DIVISION SECOND OF THE CIVIL CODE.
2. "UNIT" MEANS A NUMBERED PARCEL SO DESIGNATED. THE BOUNDARIES OF EACH UNIT ARE THE INTERIOR UNFINISHED SURFACE (EXCLUSIVE OF PAINT, PAPER, WAX, TILE, ENAMEL, WALLS, FLOORS, FIREPLACES, CEILINGS, WINDOWS AND WINDOW FRAMES, DOORS AND DOOR FRAMES AND TRIM) AND INCLUDES BOTH THE PORTIONS OF A BUILDING SO DESCRIBED AND THE AIR SPACE SO ENCOMPASSED. (PER SECTION 1350 (2) CALIFORNIA CIVIL CODE).
3. "COMMON AREA" MEANS ALL LANDS AND IMPROVEMENTS NOT LOCATED WITHIN ANY UNIT. THE COMMON AREA ALSO INCLUDES BUT NOT BY WAY OF LIMITATIONS ALL STAIRCASES AND LIGHT WELLS, ROOFS, FOUNDATION, PIPES AND DUCTS FOR THE MUTUAL USE OF ADJOINING UNITS, FLUES, CHUTES, CONDUITS, COLUMNS AND GILDERS TO THE UNFINISHED SURFACE THERETO, ALL REGARDLESS OF LOCATION WITHIN THE SAID UNITS.
4. THE OWNER OF EACH UNIT SHALL OWN AN UNDIVIDED INTEREST IN THE COMMON AREA AS SHOWN ON SHEET NO. 3.
5. ALL ANGLES SHOWN ARE 90 DEGREES UNLESS EXPRESSLY OTHERWISE INDICATED.
6. ALL WALLS ARE 0.34' THICK UNLESS OTHERWISE NOTED.
7. THE SERIALLY NUMBERED (LETTERED) PARCELS SHOWN ON SHEET 3, (P-162A THROUGH P-164) ARE PARKING AREAS, EASEMENT FOR THE EXCLUSIVE USE OF SAID AREAS MAY BE GRANTED AS APPURTENANCES OF PARTICULAR UNITS.
8. BENCH MARKS: ELEVATIONS SHOWN ARE BASED ON CITY DATUM AND WERE OBTAINED FROM A GROUP OF CITY BENCH MARKS, LOCATED AT THE INTERSECTION OF ALHAMBRA ST. & PIERCE ST.
9. THE SERIALLY NUMBERED PARCEL (S) SHOWN ON SHEET 3, (S-162 THROUGH S-164) IS A STORAGE AREA. EASEMENT FOR THE EXCLUSIVE USE OF SAID AREA MAY BE GRANTED AS APPURTENANCES OF PARTICULAR UNITS.

PIERCE STREET (50')

Radial

DETAIL "A"

424.99' Mon. to Mon. Line

4' Public Utilities & Incidental Purposes Easement, Book-992 Page-337 & Book-1037 Page-173

22

20

ALHAMBRA

R=1725.26'

R=1731.26'

TOLEDO WAY (50')

CHESTNUT ST. (68.75')

STREET (70')

Projected

ALHAMBRA ST.

R=1661.26'

R=1731.26'

DETAIL "A" NO SCALE

PARCEL MAP OF 162-164 ALHAMBRA STREET A CONDOMINIUM

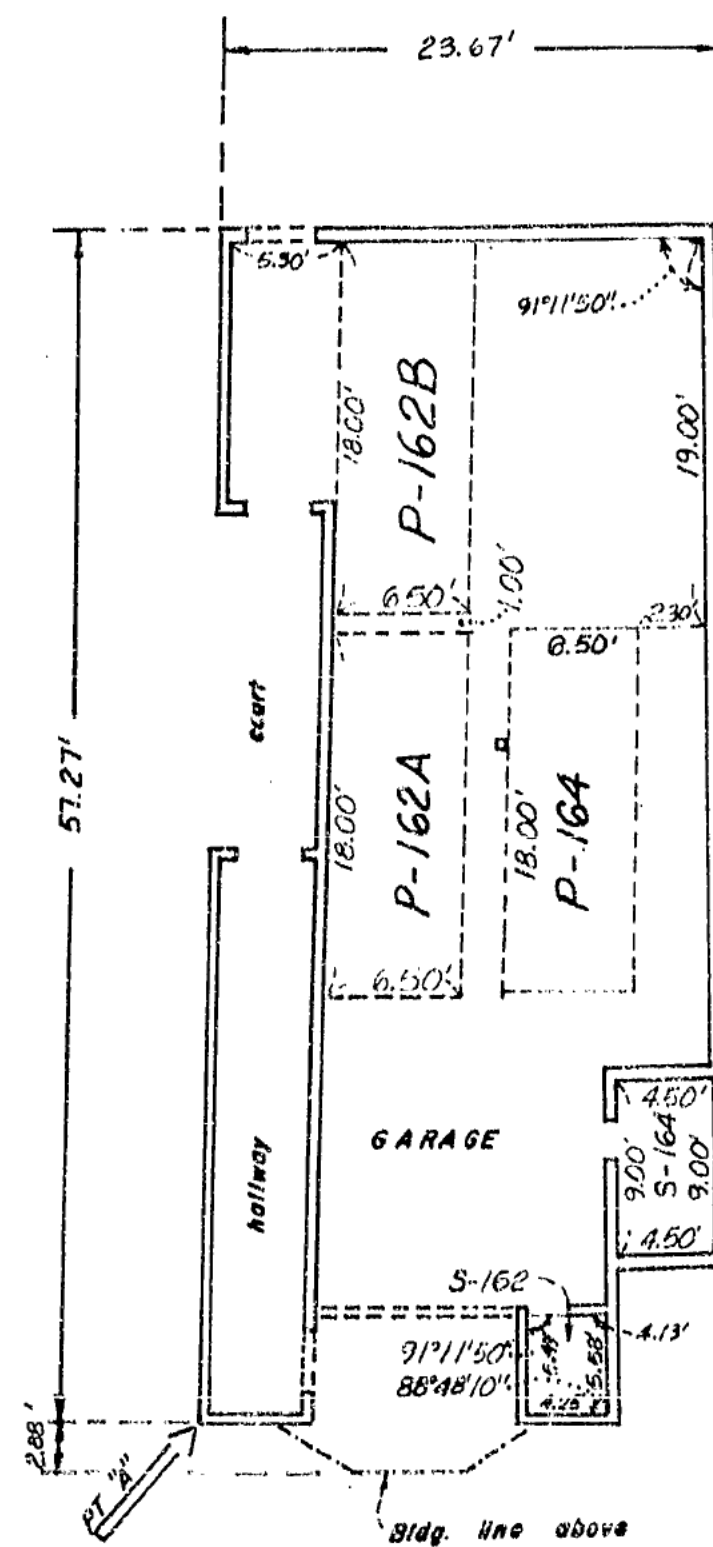
BEING A RESUBDIVISION OF LOT 13
A PORTION OF ASSESSOR'S BLK. NO. 463A
SAN FRANCISCO, CALIFORNIA

TRANSAMERICAN ENGINEERS & ASSOCIATES
3295 Mission Street - San Francisco, Ca. 94110

001180 581

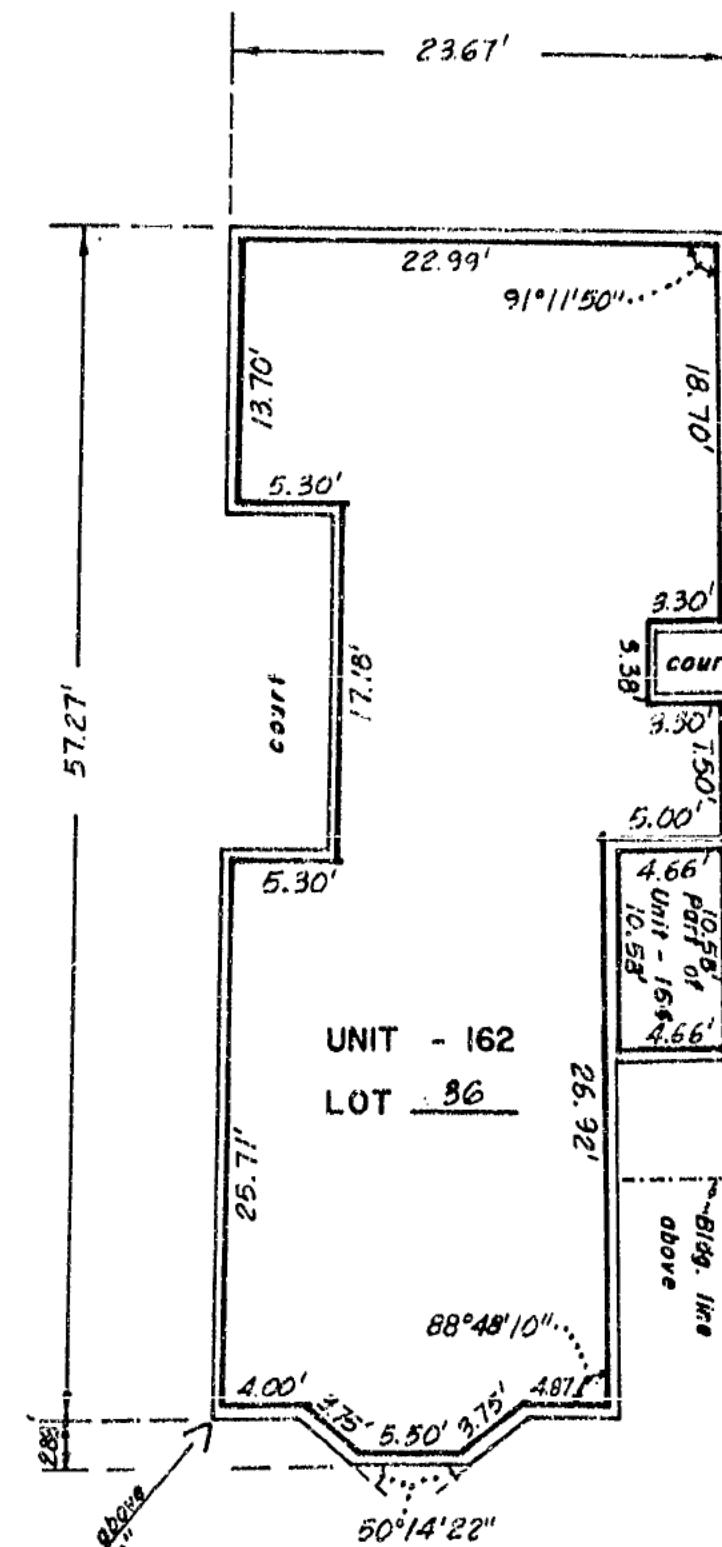
001180 530

94



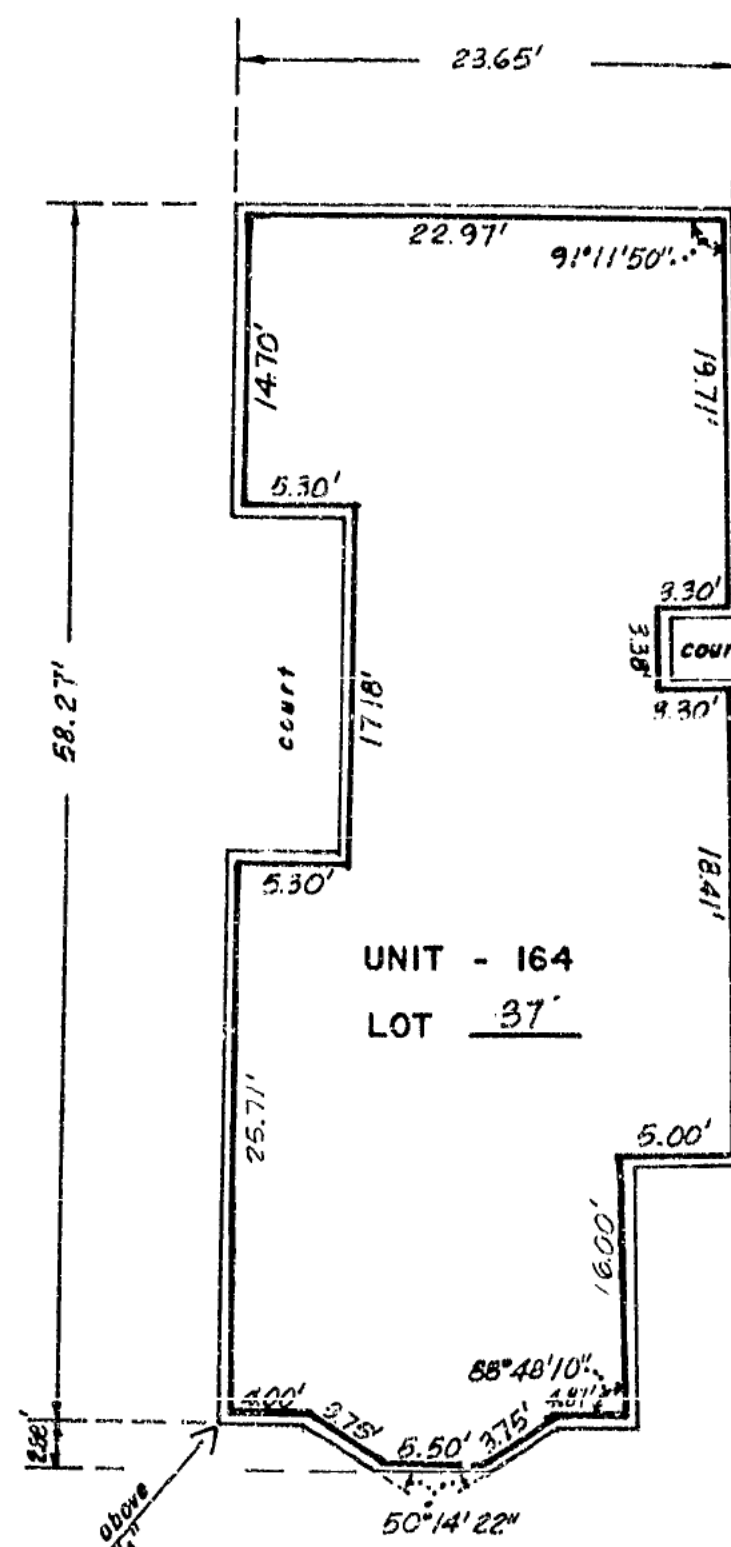
ALHAMBRA STREET

1st. FLOOR



ALHAMBRA STREET

2nd. FLOOR



ALHAMBRA STREET

3rd. FLOOR

TABLE FOR LOT AREA AND PERCENTAGE OF INTEREST IN COMMON AREA

UNIT	LOT	SQ. FT.	%
162	36	1122.59	47.40
164	37	1245.70	52.60

PARCEL MAP OF
162-164 ALHAMBRA STREET
A CONDOMINIUM
 BEING A RESUBDIVISION OF LOT 13
 A PORTION OF ASSESSOR'S BLK. NO. 463A
 SAN FRANCISCO, CALIFORNIA

Updated



First American Title

First American Title Company

One Embarcadero Center, Suite 250
San Francisco, CA 94111-3632
California Department of Insurance License No. 151

Charles John Cross
c/o John Britton,
W. J. Britton & Co. , 1345 Mission Street
San Francisco, CA 94103
Phone: (415)934-1151

Customer Reference:

Order Number: 3811-5152501 (DL)

Title Officer: Douglas Lagomarsino
Phone: (415)796-6122
Fax No.: (866)420-3241
E-Mail: dlagomarsino@firstam.com

Buyer:

Owner: CROSS

Property: 162-164 Alhambra Street
San Francisco, CA 94123

PRELIMINARY REPORT

In response to the above referenced application for a policy of title insurance, this company hereby reports that it is prepared to issue, or cause to be issued, as of the date hereof, a Policy or Policies of Title Insurance describing the land and the estate or interest therein hereinafter set forth, insuring against loss which may be sustained by reason of any defect, lien or encumbrance not shown or referred to as an Exception below or not excluded from coverage pursuant to the printed Schedules, Conditions and Stipulations of said Policy forms.

The printed Exceptions and Exclusions from the coverage and Limitations on Covered Risks of said policy or policies are set forth in Exhibit A attached. *The policy to be issued may contain an arbitration clause. When the Amount of Insurance is less than that set forth in the arbitration clause, all arbitrable matters shall be arbitrated at the option of either the Company or the Insured as the exclusive remedy of the parties.* Limitations on Covered Risks applicable to the CLTA and ALTA Homeowner's Policies of Title Insurance which establish a Deductible Amount and a Maximum Dollar Limit of Liability for certain coverages are also set forth in Exhibit A. Copies of the policy forms should be read. They are available from the office which issued this report.

Please read the exceptions shown or referred to below and the exceptions and exclusions set forth in Exhibit A of this report carefully. The exceptions and exclusions are meant to provide you with notice of matters which are not covered under the terms of the title insurance policy and should be carefully considered.

It is important to note that this preliminary report is not a written representation as to the condition of title and may not list all liens, defects, and encumbrances affecting title to the land.

This report (and any supplements or amendments hereto) is issued solely for the purpose of facilitating the issuance of a policy of title insurance and no liability is assumed hereby. If it is desired that liability be assumed prior to the issuance of a policy of title insurance, a Binder or Commitment should be requested.

Dated as of July 13, 2016 at 7:30 A.M.

The form of Policy of title insurance contemplated by this report is:

To Be Determined

A specific request should be made if another form or additional coverage is desired.

Title to said estate or interest at the date hereof is vested in:

CHARLES CROSS, TRUSTEE OF THE CHARLES CROSS TRUST DATED MAY 1, 2012

The estate or interest in the land hereinafter described or referred to covered by this Report is:

FEE

The Land referred to herein is described as follows:

(See attached Legal Description)

At the date hereof exceptions to coverage in addition to the printed Exceptions and Exclusions in said policy form would be as follows:

1. General and special taxes and assessments for the fiscal year 2016-2017, a lien not yet due or payable.
2. All taxes - secured, supplemental, defaulted, escaped and including bonds and assessments are not available at this time. Please verify any/all tax amounts and assessment information with the County Tax Collector prior to the close of the contemplated transaction.
3. The lien of supplemental taxes, if any, assessed pursuant to Chapter 3.5 commencing with Section 75 of the California Revenue and Taxation Code.
4. Covenants, conditions, restrictions and easements in the document recorded September 29, 1924 as BOOK/REEL 942, PAGE/IMAGE 297 of Official Records, but deleting any covenant, condition, or restriction indicating a preference, limitation or discrimination based on race, color, religion, sex, sexual orientation, familial status, disability, handicap, national origin, genetic information, gender, gender identity, gender expression, source of income (as defined in California Government Code § 12955(p)) or ancestry, to the extent such covenants, conditions or restrictions violation 42 U.S.C. § 3604(c) or California Government Code § 12955. Lawful restrictions under state and federal law on the age of occupants in senior housing or housing for older persons shall not be construed as restrictions based on familial status.
5. An easement for public utilities and incidental purposes in the document recorded January 23, 1925 as BOOK/REEL 992, PAGE/IMAGE 337 of Official Records.

6. THE EFFECT OF PARCEL MAP OF 162-164 ALHAMBRA STREET, A CONDOMINIUM, FILED ON APRIL 10, 1981 IN BOOK 19 OF PARCEL MAPS, AT PAGES 92 TO 94, CITY AND COUNTY OF SAN FRANCISCO RECORDS.

Prior to the issuance of any policy of title insurance, the Company will require:

7. With respect to the trust referred to in the vesting:
 - a. A certification pursuant to Section 18100.5 of the California Probate Code in a form satisfactory to the Company.
 - b. Copies of those excerpts from the original trust documents and amendments thereto which designate the trustee and confer upon the trustee the power to act in the pending transaction.
 - c. Other requirements which the Company may impose following its review of the material required herein and other information which the Company may require.

INFORMATIONAL NOTES

Note: The policy to be issued may contain an arbitration clause. When the Amount of Insurance is less than the certain dollar amount set forth in any applicable arbitration clause, all arbitrable matters shall be arbitrated at the option of either the Company or the Insured as the exclusive remedy of the parties. If you desire to review the terms of the policy, including any arbitration clause that may be included, contact the office that issued this Commitment or Report to obtain a sample of the policy jacket for the policy that is to be issued in connection with your transaction.

1. According to the public records, there has been no conveyance of the land within a period of twenty-four months prior to the date of this report, except as follows:

None

2. We find no open deeds of trust. Escrow please confirm before closing.

NOTE to proposed insured lender only: No Private transfer fee covenant, as defined in Federal Housing Finance Agency Final Rule 12 CFR Part 1228, that was created and first appears in the Public Records on or after February 8, 2011, encumbers the Title except as follows: None

The map attached, if any, may or may not be a survey of the land depicted hereon. First American expressly disclaims any liability for loss or damage which may result from reliance on this map except to the extent coverage for such loss or damage is expressly provided by the terms and provisions of the title insurance policy, if any, to which this map is attached.

LEGAL DESCRIPTION

Real property in the City of San Francisco, County of San Francisco, State of California, described as follows:

BEGINNING AT A POINT ON THE NORTHWESTERLY LINE OF ALHAMBRA STREET, DISTANT THEREON 179.271 FEET NORTHEASTERLY FROM THE EASTERLY LINE OF PIERCE STREET; RUNNING THENCE NORTHEASTERLY ALONG THE NORTHWESTERLY LINE OF ALHAMBRA STREET 25.036 FEET; THENCE NORTH 34 DEGREES 54' 10" WEST 147.889 FEET; THENCE SOUTH 9 DEGREES 6' EAST 52.686 FEET; THENCE SOUTH 33 DEGREES 42' 20" EAST 100.141 FEET TO THE POINT OF BEGINNING

BEING A PORTION OF MARINA GARDENS.

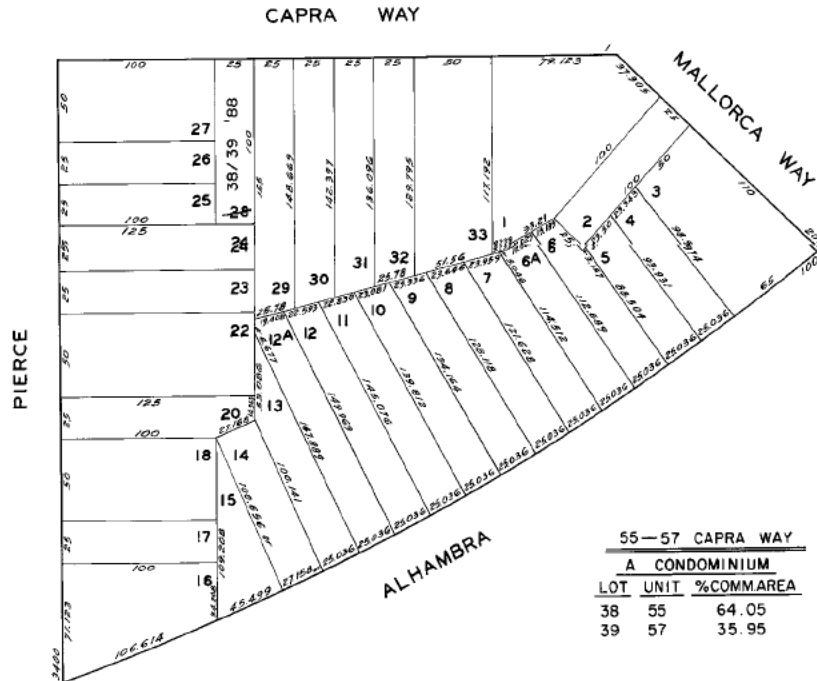
APN: LOT 013 AND BLOCK 0463A

463A

W. A. BLK. 403
MARINA GARDENS
REVISED 1988

LOTS MERGED
LOT 35 INTO LOT 1 - 1992
" 37 " " 22 - 1990
" 39 " " 19 - 1984
" 34 " " 33 - 1981

© COPYRIGHT SAN FRANCISCO
CITY & COUNTY ASSESSOR 1995



NOTICE

Section 12413.1 of the California Insurance Code, effective January 1, 1990, requires that any title insurance company, underwritten title company, or controlled escrow company handling funds in an escrow or sub-escrow capacity, wait a specified number of days after depositing funds, before recording any documents in connection with the transaction or disbursing funds. This statute allows for funds deposited by wire transfer to be disbursed the same day as deposit. In the case of cashier's checks or certified checks, funds may be disbursed the next day after deposit. In order to avoid unnecessary delays of three to seven days, or more, please use wire transfer, cashier's checks, or certified checks whenever possible.

**EXHIBIT A
LIST OF PRINTED EXCEPTIONS AND EXCLUSIONS (BY POLICY TYPE)**

CLTA/ALTA HOMEOWNER'S POLICY OF TITLE INSURANCE (02-03-10)

EXCLUSIONS

In addition to the Exceptions in Schedule B, You are not insured against loss, costs, attorneys' fees, and expenses resulting from:

1. Governmental police power, and the existence or violation of those portions of any law or government regulation concerning:
 - (a) building;
 - (b) zoning;
 - (c) land use;
 - (d) improvements on the Land;
 - (e) land division; and
 - (f) environmental protection.

This Exclusion does not limit the coverage described in Covered Risk 8.a., 14, 15, 16, 18, 19, 20, 23 or 27.

2. The failure of Your existing structures, or any part of them, to be constructed in accordance with applicable building codes. This Exclusion does not limit the coverage described in Covered Risk 14 or 15.
3. The right to take the Land by condemning it. This Exclusion does not limit the coverage described in Covered Risk 17.
4. Risks:
 - (a) that are created, allowed, or agreed to by You, whether or not they are recorded in the Public Records;
 - (b) that are Known to You at the Policy Date, but not to Us, unless they are recorded in the Public Records at the Policy Date;
 - (c) that result in no loss to You; or
 - (d) that first occur after the Policy Date - this does not limit the coverage described in Covered Risk 7, 8.e., 25, 26, 27 or 28.
5. Failure to pay value for Your Title.
6. Lack of a right:
 - (a) to any land outside the area specifically described and referred to in paragraph 3 of Schedule A; and
 - (b) in streets, alleys, or waterways that touch the Land.

This Exclusion does not limit the coverage described in Covered Risk 11 or 21.

7. The transfer of the Title to You is invalid as a preferential transfer or as a fraudulent transfer or conveyance under federal bankruptcy, state insolvency, or similar creditors' rights laws.

LIMITATIONS ON COVERED RISKS

Your insurance for the following Covered Risks is limited on the Owner's Coverage Statement as follows: For Covered Risk 16, 18, 19, and 21 Your Deductible Amount and Our Maximum Dollar Limit of Liability shown in Schedule A.

<u>Your Deductible Amount</u>	<u>Our Maximum Dollar Limit of Liability</u>
Covered Risk 16: 1% of Policy Amount or \$2,500.00 (whichever is less)	\$10,000.00
Covered Risk 18: 1% of Policy Amount or \$5,000.00 (whichever is less)	\$25,000.00
Covered Risk 19: 1% of Policy Amount or \$5,000.00 (whichever is less)	\$25,000.00
Covered Risk 21: 1% of Policy Amount or \$2,500.00 (whichever is less)	\$5,000.00

ALTA RESIDENTIAL TITLE INSURANCE POLICY (6-1-87)

EXCLUSIONS

In addition to the Exceptions in Schedule B, you are not insured against loss, costs, attorneys' fees, and expenses resulting from:

1. Governmental police power, and the existence or violation of any law or government regulation. This includes building and zoning ordinances and also laws and regulations concerning:
 - (a) and use
 - (b) improvements on the land
 - (c) and division
 - (d) environmental protection

This exclusion does not apply to violations or the enforcement of these matters which appear in the public records at Policy Date.

This exclusion does not limit the zoning coverage described in Items 12 and 13 of Covered Title Risks.

2. The right to take the land by condemning it, unless:

- (a) a notice of exercising the right appears in the public records on the Policy Date
 - (b) the taking happened prior to the Policy Date and is binding on you if you bought the land without knowing of the taking
 - 3. Title Risks:
 - (a) that are created, allowed, or agreed to by you
 - (b) that are known to you, but not to us, on the Policy Date -- unless they appeared in the public records
 - (c) that result in no loss to you
 - (d) that first affect your title after the Policy Date -- this does not limit the labor and material lien coverage in Item 8 of Covered Title Risks
 - 4. Failure to pay value for your title.
 - 5. Lack of a right:
 - (a) to any land outside the area specifically described and referred to in Item 3 of Schedule A OR
 - (b) in streets, alleys, or waterways that touch your land
- This exclusion does not limit the access coverage in Item 5 of Covered Title Risks.

2006 ALTA LOAN POLICY (06-17-06)
EXCLUSIONS FROM COVERAGE

The following matters are expressly excluded from the coverage of this policy, and the Company will not pay loss or damage, costs, attorneys' fees, or expenses that arise by reason of:

- 1. (a) Any law, ordinance, permit, or governmental regulation (including those relating to building and zoning) restricting, regulating, prohibiting, or relating to
 - (i) the occupancy, use, or enjoyment of the Land;
 - (ii) the character, dimensions, or location of any improvement erected on the Land;
 - (iii) the subdivision of land; or
 - (iv) environmental protection;or the effect of any violation of these laws, ordinances, or governmental regulations. This Exclusion 1(a) does not modify or limit the coverage provided under Covered Risk 5.
- (b) Any governmental police power. This Exclusion 1(b) does not modify or limit the coverage provided under Covered Risk 6.
- 2. Rights of eminent domain. This Exclusion does not modify or limit the coverage provided under Covered Risk 7 or 8.
- 3. Defects, liens, encumbrances, adverse claims, or other matters
 - (a) created, suffered, assumed, or agreed to by the Insured Claimant;
 - (b) not Known to the Company, not recorded in the Public Records at Date of Policy, but Known to the Insured Claimant and not disclosed in writing to the Company by the Insured Claimant prior to the date the Insured Claimant became an Insured under this policy;
 - (c) resulting in no loss or damage to the Insured Claimant;
 - (d) attaching or created subsequent to Date of Policy (however, this does not modify or limit the coverage provided under Covered Risk 11, 13, or 14); or
 - (e) resulting in loss or damage that would not have been sustained if the Insured Claimant had paid value for the Insured Mortgage.
- 4. Unenforceability of the lien of the Insured Mortgage because of the inability or failure of an Insured to comply with applicable doing-business laws of the state where the Land is situated.
- 5. Invalidity or unenforceability in whole or in part of the lien of the Insured Mortgage that arises out of the transaction evidenced by the Insured Mortgage and is based upon usury or any consumer credit protection or truth-in-lending law.
- 6. Any claim, by reason of the operation of federal bankruptcy, state insolvency, or similar creditors' rights laws, that the transaction creating the lien of the Insured Mortgage, is
 - (a) a fraudulent conveyance or fraudulent transfer, or
 - (b) a preferential transfer for any reason not stated in Covered Risk 13(b) of this policy.
- 7. Any lien on the Title for real estate taxes or assessments imposed by governmental authority and created or attaching between Date of Policy and the date of recording of the Insured Mortgage in the Public Records. This Exclusion does not modify or limit the coverage provided under Covered Risk 11(b).

The above policy form may be issued to afford either Standard Coverage or Extended Coverage. In addition to the above Exclusions from Coverage, the Exceptions from Coverage in a Standard Coverage policy will also include the following Exceptions from Coverage:

EXCEPTIONS FROM COVERAGE

This policy does not insure against loss or damage (and the Company will not pay costs, attorneys' fees or expenses) that arise by reason of:

- 1. (a) Taxes or assessments that are not shown as existing liens by the records of any taxing authority that levies taxes or assessments on real property or by the Public Records; (b) proceedings by a public agency that may result in taxes or assessments, or notices of such proceedings, whether or not shown by the records of such agency or by the Public Records.
- 2. Any facts, rights, interests, or claims that are not shown by the Public Records but that could be ascertained by an inspection of the Land or that may be asserted by persons in possession of the Land.
- 3. Easements, liens or encumbrances, or claims thereof, not shown by the Public Records.

4. Any encroachment, encumbrance, violation, variation, or adverse circumstance affecting the Title that would be disclosed by an accurate and complete land survey of the Land and not shown by the Public Records.
5. (a) Unpatented mining claims; (b) reservations or exceptions in patents or in Acts authorizing the issuance thereof; (c) water rights, claims or title to water, whether or not the matters excepted under (a), (b), or (c) are shown by the Public Records.
6. Any lien or right to a lien for services, labor or material not shown by the public records.

2006 ALTA OWNER'S POLICY (06-17-06)

EXCLUSIONS FROM COVERAGE

The following matters are expressly excluded from the coverage of this policy, and the Company will not pay loss or damage, costs, attorneys' fees, or expenses that arise by reason of:

1. (a) Any law, ordinance, permit, or governmental regulation (including those relating to building and zoning) restricting, regulating, prohibiting, or relating to
 - (i) the occupancy, use, or enjoyment of the Land;
 - (ii) the character, dimensions, or location of any improvement erected on the Land;
 - (iii) the subdivision of land; or
 - (iv) environmental protection;or the effect of any violation of these laws, ordinances, or governmental regulations. This Exclusion 1(a) does not modify or limit the coverage provided under Covered Risk 5.
- (b) Any governmental police power. This Exclusion 1(b) does not modify or limit the coverage provided under Covered Risk 6.
2. Rights of eminent domain. This Exclusion does not modify or limit the coverage provided under Covered Risk 7 or 8.
3. Defects, liens, encumbrances, adverse claims, or other matters
 - (a) created, suffered, assumed, or agreed to by the Insured Claimant;
 - (b) not Known to the Company, not recorded in the Public Records at Date of Policy, but Known to the Insured Claimant and not disclosed in writing to the Company by the Insured Claimant prior to the date the Insured Claimant became an Insured under this policy;
 - (c) resulting in no loss or damage to the Insured Claimant;
 - (d) attaching or created subsequent to Date of Policy (however, this does not modify or limit the coverage provided under Covered Risk 9 or 10); or
 - (e) resulting in loss or damage that would not have been sustained if the Insured Claimant had paid value for the Title.
4. Any claim, by reason of the operation of federal bankruptcy, state insolvency, or similar creditors' rights laws, that the transaction vesting the Title as shown in Schedule A, is
 - (a) a fraudulent conveyance or fraudulent transfer, or
 - (b) a preferential transfer for any reason not stated in Covered Risk 9 of this policy.
5. Any lien on the Title for real estate taxes or assessments imposed by governmental authority and created or attaching between Date of Policy and the date of recording of the deed or other instrument of transfer in the Public Records that vests Title as shown in Schedule A.

The above policy form may be issued to afford either Standard Coverage or Extended Coverage. In addition to the above Exclusions from Coverage, the Exceptions from Coverage in a Standard Coverage policy will also include the following Exceptions from Coverage:

EXCEPTIONS FROM COVERAGE

This policy does not insure against loss or damage (and the Company will not pay costs, attorneys' fees or expenses) that arise by reason of:

1. (a) Taxes or assessments that are not shown as existing liens by the records of any taxing authority that levies taxes or assessments on real property or by the Public Records; (b) proceedings by a public agency that may result in taxes or assessments, or notices of such proceedings, whether or not shown by the records of such agency or by the Public Records.
2. Any facts, rights, interests, or claims that are not shown by the Public Records but that could be ascertained by an inspection of the Land or that may be asserted by persons in possession of the Land.
3. Easements, liens or encumbrances, or claims thereof, not shown by the Public Records.
4. Any encroachment, encumbrance, violation, variation, or adverse circumstance affecting the Title that would be disclosed by an accurate and complete land survey of the Land and not shown by the Public Records.
5. (a) Unpatented mining claims; (b) reservations or exceptions in patents or in Acts authorizing the issuance thereof; (c) water rights, claims or title to water, whether or not the matters excepted under (a), (b), or (c) are shown by the Public Records.
6. Any lien or right to a lien for services, labor or material not shown by the public records.

ALTA EXPANDED COVERAGE RESIDENTIAL LOAN POLICY (07-26-10)

EXCLUSIONS FROM COVERAGE

The following matters are expressly excluded from the coverage of this policy, and the Company will not pay loss or damage, costs, attorneys' fees, or expenses that arise by reason of:

1. (a) Any law, ordinance, permit, or governmental regulation (including those relating to building and zoning) restricting, regulating, prohibiting, or relating to
 - (i) the occupancy, use, or enjoyment of the Land;
 - (ii) the character, dimensions, or location of any improvement erected on the Land;
 - (iii) the subdivision of land; or
 - (iv) environmental protection;or the effect of any violation of these laws, ordinances, or governmental regulations. This Exclusion 1(a) does not modify or limit the coverage provided under Covered Risk 5, 6, 13(c), 13(d), 14 or 16.
- (b) Any governmental police power. This Exclusion 1(b) does not modify or limit the coverage provided under Covered Risk 5, 6, 13(c), 13(d), 14 or 16.
2. Rights of eminent domain. This Exclusion does not modify or limit the coverage provided under Covered Risk 7 or 8.
3. Defects, liens, encumbrances, adverse claims, or other matters
 - (a) created, suffered, assumed, or agreed to by the Insured Claimant;
 - (b) not Known to the Company, not recorded in the Public Records at Date of Policy, but Known to the Insured Claimant and not disclosed in writing to the Company by the Insured Claimant prior to the date the Insured Claimant became an Insured under this policy;
 - (c) resulting in no loss or damage to the Insured Claimant;
 - (d) attaching or created subsequent to Date of Policy (however, this does not modify or limit the coverage provided under Covered Risk 11, 16, 17, 18, 19, 20, 21, 22, 23, 24, 27 or 28); or
 - (e) resulting in loss or damage that would not have been sustained if the Insured Claimant had paid value for the Insured Mortgage.
4. Unenforceability of the lien of the Insured Mortgage because of the inability or failure of an Insured to comply with applicable doing-business laws of the state where the Land is situated.
5. Invalidity or unenforceability in whole or in part of the lien of the Insured Mortgage that arises out of the transaction evidenced by the Insured Mortgage and is based upon usury or any consumer credit protection or truth-in-lending law. This Exclusion does not modify or limit the coverage provided in Covered Risk 26.
6. Any claim of invalidity, unenforceability or lack of priority of the lien of the Insured Mortgage as to Advances or modifications made after the Insured has Knowledge that the vestee shown in Schedule A is no longer the owner of the estate or interest covered by this policy. This Exclusion does not modify or limit the coverage provided in Covered Risk 11.
7. Any lien on the Title for real estate taxes or assessments imposed by governmental authority and created or attaching subsequent to Date of Policy. This Exclusion does not modify or limit the coverage provided in Covered Risk 11(b) or 25.
8. The failure of the residential structure, or any portion of it, to have been constructed before, on or after Date of Policy in accordance with applicable building codes. This Exclusion does not modify or limit the coverage provided in Covered Risk 5 or 6.
9. Any claim, by reason of the operation of federal bankruptcy, state insolvency, or similar creditors' rights laws, that the transaction creating the lien of the Insured Mortgage, is
 - (a) a fraudulent conveyance or fraudulent transfer, or
 - (b) a preferential transfer for any reason not stated in Covered Risk 27(b) of this policy.



First American Title

Privacy Information

We Are Committed to Safeguarding Customer Information

In order to better serve your needs now and in the future, we may ask you to provide us with certain information. We understand that you may be concerned about what we will do with such information - particularly any personal or financial information. We agree that you have a right to know how we will utilize the personal information you provide to us. Therefore, together with our subsidiaries we have adopted this Privacy Policy to govern the use and handling of your personal information.

Applicability

This Privacy Policy governs our use of the information that you provide to us. It does not govern the manner in which we may use information we have obtained from any other source, such as information obtained from a public record or from another person or entity. First American has also adopted broader guidelines that govern our use of personal information regardless of its source. First American calls these guidelines its Fair Information Values.

Types of Information

Depending upon which of our services you are utilizing, the types of nonpublic personal information that we may collect include:

- Information we receive from you on applications, forms and in other communications to us, whether in writing, in person, by telephone or any other means;
- Information about your transactions with us, our affiliated companies, or others; and
- Information we receive from a consumer reporting agency.

Use of Information

We request information from you for our own legitimate business purposes and not for the benefit of any nonaffiliated party. Therefore, we will not release your information to nonaffiliated parties except: (1) as necessary for us to provide the product or service you have requested of us; or (2) as permitted by law. We may, however, store such information indefinitely, including the period after which any customer relationship has ceased. Such information may be used for any internal purpose, such as quality control efforts or customer analysis. We may also provide all of the types of nonpublic personal information listed above to one or more of our affiliated companies. Such affiliated companies include financial service providers, such as title insurers, property and casualty insurers, and trust and investment advisory companies, or companies involved in real estate services, such as appraisal companies, home warranty companies and escrow companies. Furthermore, we may also provide all the information we collect, as described above, to companies that perform marketing services on our behalf, on behalf of our affiliated companies or to other financial institutions with whom we or our affiliated companies have joint marketing agreements.

Former Customers

Even if you are no longer our customer, our Privacy Policy will continue to apply to you.

Confidentiality and Security

We will use our best efforts to ensure that no unauthorized parties have access to any of your information. We restrict access to nonpublic personal information about you to those individuals and entities who need to know that information to provide products or services to you. We will use our best efforts to train and oversee our employees and agents to ensure that your information will be handled responsibly and in accordance with this Privacy Policy and First American's Fair Information Values. We currently maintain physical, electronic, and procedural safeguards that comply with federal regulations to guard your nonpublic personal information.

Information Obtained Through Our Web Site

First American Financial Corporation is sensitive to privacy issues on the Internet. We believe it is important you know how we treat the information about you we receive on the Internet.

In general, you can visit First American or its affiliates' Web sites on the World Wide Web without telling us who you are or revealing any information about yourself. Our Web servers collect the domain names, not the e-mail addresses, of visitors. This information is aggregated to measure the number of visits, average time spent on the site, pages viewed and similar information. First American uses this information to measure the use of our site and to develop ideas to improve the content of our site.

There are times, however, when we may need information from you, such as your name and email address. When information is needed, we will use our best efforts to let you know at the time of collection how we will use the personal information. Usually, the personal information we collect is used only by us to respond to your inquiry, process an order or allow you to access specific account/profile information. If you choose to share any personal information with us, we will only use it in accordance with the policies outlined above.

Business Relationships

First American Financial Corporation's site and its affiliates' sites may contain links to other Web sites. While we try to link only to sites that share our high standards and respect for privacy, we are not responsible for the content or the privacy practices employed by other sites.

Cookies

Some of First American's Web sites may make use of "cookie" technology to measure site activity and to customize information to your personal tastes. A cookie is an element of data that a Web site can send to your browser, which may then store the cookie on your hard drive.

FirstAm.com uses stored cookies. The goal of this technology is to better serve you when visiting our site, save you time when you are here and to provide you with a more meaningful and productive Web site experience.

Fair Information Values

Fairness We consider consumer expectations about their privacy in all our businesses. We only offer products and services that assure a favorable balance between consumer benefits and consumer privacy.

Public Record We believe that an open public record creates significant value for society, enhances consumer choice and creates consumer opportunity. We actively support an open public record and emphasize its importance and contribution to our economy.

Use We believe we should behave responsibly when we use information about a consumer in our business. We will obey the laws governing the collection, use and dissemination of data.

Accuracy We will take reasonable steps to help assure the accuracy of the data we collect, use and disseminate. Where possible, we will take reasonable steps to correct inaccurate information. When, as with the public record, we cannot correct inaccurate information, we will take all reasonable steps to assist consumers in identifying the source of the erroneous data so that the consumer can secure the required corrections.

Education We endeavor to educate the users of our products and services, our employees and others in our industry about the importance of consumer privacy. We will instruct our employees on our fair information values and on the responsible collection and use of data. We will encourage others in our industry to collect and use information in a responsible manner.

Security We will maintain appropriate facilities and systems to protect against unauthorized access to and corruption of the data we maintain.

APPROVED
Dept. of Building Insp.

OCT 19 2015

TOM C. HUI, S.E.
DIRECTOR

Capacity Charge
\$638

9/17/15

FIRE

REVIEWED BY FIRE DEPT.

FIRE DEPT. INSPECTION
NOT REQUIRED

BLDG.
FORM
3/8

APPLICATION NUMBER

OSHA APPROVAL REQD
APPROVAL NUMBER:

APPLICATION FOR BUILDING PERMIT
ADDITIONS, ALTERATIONS OR REPAIRS

CITY AND COUNTY OF SAN FRANCISCO
DEPARTMENT OF BUILDING INSPECTION

APPLICATION IS HEREBY MADE TO THE DEPARTMENT OF
BUILDING INSPECTION OF SAN FRANCISCO FOR
PERMISSION TO BUILD IN ACCORDANCE WITH THE
PLANS AND SPECIFICATIONS SUBMITTED HERewith AND
ACCORDING TO THE DESCRIPTION AND FOR THE
PURPOSE HEREINAFTER SET FORTH.

FORM 3 ☐ OTHER AGENCIES REVIEW REQUIRED

FORM 8 ☒ OVER-THE-COUNTER ISSUANCE

2+ REF.
NUMBER OF PLAN SETS

DEP
FEE

DO NOT WRITE ABOVE THIS LINE

DATE FILED 9/17/15	FILING FEE RECEIPT NO. 1377705	(1) STREET ADDRESS OF JOB 2162-164 ALHAMBRA ST. 0403A	BLOCK & LOT 213
PERMIT NO. 1377705	ISSUED OCT 19 2015	(2A) ESTIMATED COST OF JOB \$305,000.00	(2B) REVISED COST: \$305K
		BY: [Signature]	DATE: [Signature]

INFORMATION TO BE FURNISHED BY ALL APPLICANTS

LEGAL DESCRIPTION OF EXISTING BUILDING

(4A) TYPE OF CONSTR. I	(5A) NO. OF STORIES OF OCCUPANCY: 3	(6A) NO. OF BASEMENTS AND CELLARS: 0	(7A) PRESENT USE: GROUND LEVEL PARKING/STORAGE 2 UNIT RESIDENTIAL W/	(8A) OCCUP. CLASS R-3	(9A) NO. OF DWELLING UNITS: 2
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DESCRIPTION OF BUILDING AFTER PROPOSED ALTERATION

(4) TYPE OF CONSTR. II	(5) NO. OF STORIES OF OCCUPANCY: 3	(6) NO. OF BASEMENTS AND CELLARS: 0	(7) PROPOSED USE (LEGAL USE) LEV. PARKING STORAGE 3 UNIT RESIDENTIAL W/ GROUND	(8) OCCUP. CLASS R-2	(9) NO. OF DWELLING UNITS: 3
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(10) IS AUTO RUNWAY TO BE CONSTRUCTED OR ALTERED? YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	(11) WILL STREET SPACE BE USED DURING CONSTRUCTION? YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	(12) ELECTRICAL WORK TO BE PERFORMED? YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	(13) PLUMBING WORK TO BE PERFORMED? YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>
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(14) GENERAL CONTRACTOR T. C. LEMONS	ADDRESS BUILT TO PLEASE 4841 DIVISADERO ST. SAN FRANCISCO, CA. 94131	ZIP 94132	PHONE 415-935-9350	CALIF. LIC. NO. 93507	EXPIRATION DATE 3/31/17
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(15) OWNER - LESSEE (CROSS-OUT ONE) CHARLES CROSS	ADDRESS 3560 JACKSON ST. S.F. CA. 94118	ZIP 94118	BTRC # 477630	PHONE (FOR CONTACT BY DEPT.) 415-999-2315
--	--	--------------	------------------	--

(16) WRITE IN DESCRIPTION OF ALL WORK TO BE PERFORMED UNDER THIS APPLICATION (REFERENCE TO PLANS IS NOT SUFFICIENT)

CONSTRUCT A NEW RESIDENTIAL UNIT (E) 2 UNIT, 3 STORY BLD. THE NEW UNIT WILL BE ON THE GROUND LEVEL CONSTRUCTED WITHIN THE (E) BLD. ENVELOPE IN (F) GARAGE & STORAGE SPACE. THE UNIT WILL HAVE LIV. & DINING AREAS, KITCHEN, 1 BATH, 1 BEDRM. AUTOMATIC FIRE SPRINKLERS WILL BE INSTALLED THROUGHOUT THE GROUND LEVEL.

ADDITIONAL INFORMATION

(17) DOES THIS ALTERATION CREATE ADDITIONAL HEIGHT OR STORY TO BUILDING? YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	(18) IF (17) IS YES, STATE NEW HEIGHT AT CENTER LINE OF FRONT [Blank]	(19) DOES THIS ALTERATION CREATE DECK OR HORIZ. EXTENSION TO BUILDING? YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	(20) IF (19) IS YES, STATE NEW GROUND FLOOR AREA [Blank]
(21) WILL SIDEWALK OVER SUB-SIDEWALK SPACE BE REPAIRED OR ALTERED? YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	(22) WILL BUILDING EXTEND BEYOND PROPERTY LINE? YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	(23) ANY OTHER EXISTING BLDG. ON LOT? (IF YES, SHOW ON PLOT PLAN) YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	(24) DOES THIS ALTERATION CONSTITUTE A CHANGE OF OCCUPANCY? YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>

(25) ARCHITECT OR ENGINEER (DESIGN) <input type="checkbox"/> CONSTRUCTION <input checked="" type="checkbox"/> FRIEGEN ARCHITECTS LARRY FRIEGEN 1200 ELLIS ST. S.F. CA. 94109	CALIF. CERTIFICATE NO. C013225
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(26) CONSTRUCTION LENDER (ENTER NAME AND BRANCH DESIGNATION IF ANY, IF THERE IS NO KNOWN CONSTRUCTION LENDER, ENTER "UNKNOWN"). UNKNOWN	ADDRESS [Blank]
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IMPORTANT NOTICES

No change shall be made in the character of the occupancy or use without first obtaining a Building Permit authorizing such change. See San Francisco Building Code and San Francisco Housing Code.

No portion of building or structure or scaffolding used during construction, to be closer than 6'0" to any wire containing more than 750 volts. See Sec. 385, California Penal Code.

Pursuant to San Francisco Building Code, the building permit shall be posted on the job. The owner is responsible for approved plans and application being kept at building site.

Grade lines as shown on drawings accompanying this application are assumed to be correct. If actual grade lines are not the same as shown revised drawings showing correct grade lines, cuts and fills together with complete details of retaining walls and wall footings required must be submitted to this department for approval.

ANY STIPULATION REQUIRED HEREIN OR BY CODE MAY BE APPEALED.

BUILDING NOT TO BE OCCUPIED UNTIL CERTIFICATE OF FINAL COMPLETION IS POSTED ON THE BUILDING OR PERMIT OF OCCUPANCY GRANTED, WHEN REQUIRED.

APPROVAL OF THIS APPLICATION DOES NOT CONSTITUTE AN APPROVAL FOR THE ELECTRICAL WIRING OR PLUMBING INSTALLATIONS. A SEPARATE PERMIT FOR THE WIRING AND PLUMBING MUST BE OBTAINED. SEPARATE PERMITS ARE REQUIRED IF ANSWER IS "YES" TO ANY OF ABOVE QUESTIONS (10) (11) (12) (13) (22) OR (24).

THIS IS NOT A BUILDING PERMIT. NO WORK SHALL BE STARTED UNTIL A BUILDING PERMIT IS ISSUED.

Installations of all insulating materials must have a clearance of not less than two inches from all wires or equipment.

NOTICE TO APPLICANT

HOLD HARMLESS CLAUSE: The permittee(s) by acceptance of the permit, agree(s) to indemnify and hold harmless the City and County of San Francisco from and against any and all claims, demands and actions for damages resulting from operations under this permit, regardless of negligence of the City and County of San Francisco, and to assume the defense of the City and County of San Francisco against all such claims, demands or actions.

In conformity with the provisions of Section 3800 of the Labor Code of the State of California, the applicant shall have coverage under (I), or (II) designated below or shall indicate item (III), or (IV), or (V), whichever is applicable. If however item (V) is checked item (IV) must be checked as well. Mark the appropriate method of compliance below:

I hereby affirm under penalty of perjury one of the following declarations:

() I. I have and will maintain a certificate of consent to self-insure for workers' compensation, as provided by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued.

() II. I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are:

Carrier

Policy Number

() III. The cost of the work to be done is \$100 or less.

(X) IV. I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California. I further acknowledge that I understand that in the event that I should become subject to the workers' compensation provisions of the Labor Code of California and fail to comply forthwith with the provisions of Section 3800 of the Labor Code, that the permit herein applied for shall be deemed revoked.

APPROPRIATE BOX

ARCHITECT
AGENT

10-19-15

BY: THOMAS LE

BUILDING INSPECTOR, DEPT. OF BLDG. INSP.

NOTIFIED MR.

APPROVED:

See R# for approval
1 - New Dwelling
3 total - RH-3

DATE:

REASON:

DEPARTMENT OF CITY PLANNING

NOTIFIED MR.

APPROVED:

REVIEWED BY FIRE DEPT.

DATE:

REASON:

Thomas Haney, SFFD

SEP 17 2015

FIRE DEPT INSPECTIONS
NOT REQUIRED

NOTIFIED MR.

APPROVED:

SEE ARCHITECT'S STATEMENT ON
SHEET T. 1 FOR SEISMIC STRENGTHENING ISSUE

DATE:

REASON:

CHECKED

OCT 16 2015

BY: THOMAS LE

CIVIL ENGINEER, DEPT. OF BLDG. INSPECTION

NOTIFIED MR.

APPROVED:

REYNALDO ORTEGA

SEP 17 2015

BUREAU OF ENGINEERING

DATE:

REASON:

NOTIFIED MR.

APPROVED:

DEPARTMENT OF PUBLIC HEALTH

DATE:

REASON:

NOTIFIED MR.

APPROVED:

SFPUC

Bill Torn

SFPUC Capacity Charges

See attached SFPUC Capacity Charge Invoice for total
amount due. DBI will collect charges.

DATE:

REASON:

NOTIFIED MR.

HOUSING INSPECTION DIVISION

I agree to comply with all conditions or stipulations of the various bureaus or departments noted on this application, and attached
statements of conditions or stipulations, which are hereby made a part of this application.

Number of attachments:

OWNER'S AUTHORIZED AGENT

HOLD SECTION - NOTE DATES AND NAMES OF ALL PERSONS NOTIFIED DURING PROCESSING

CENTRAL PERMIT BUREAU
1660 Mission Street
San Francisco, California 94103

CITY AND COUNTY OF SAN FRANCISCO
DEPARTMENT OF BUILDING INSPECTION
(415)558-6088

Receipt No: 1372765
Application/Permit No: 201509177273

PERMIT IS GRANTED TO

☐ ERECT ☒ ALTER BUILDING ☐ ERECT SIGN DATE OF ISSUE 19-OCT-15
☐ DEMOLISH BUILDING ☐ GRADE FILING FEE RECEIPT # _____
☐ LOWER CURB ☒ OCCUPY STREET SPACE
☐ EXCAVATE STREET OR SIDEWALK ☐ POST NOTICE
☐ HOUSE NUMBER CERTIFICATE ☐ REPAIR OR CONSTRUCT SIDEWALK

SUPPLEMENTAL FEE PAID:

☐ FINAL PLAN CHECK ☐ EXPEDITER FEE ☐ PENALTY ☐
☐ STRUCTURAL LTR ☒ DCP FEE ☒ FIRE ☐

OWNER:

CHARLES CROSS TRUST

LOCATION OF JOB: HOUSE NUMBER: EXISTING ☐ ASSIGNED ☐
STREET ADDRESS BLOCK/LOT
162 ALHAMBRA ST 0463A/013
164 ALHAMBRA ST 0463A/013

METES AND BOUNDS

FRONTAGE FT. 3 # STORIES 5 TYPE R-2 LEGAL OCCUPANCIES
BUILDING USE APARTMENTS ESTIMATED COST \$ 305,000.00
SIDEWALK SQ. FTGE. ST. SPACE LINEAR FT. 20 9 FT. CURB SECT. TO BE LOWERED
PARKING METER LINEAR FT. PARKING METER DAYS

WORK MUST COMMENCE ON BUILDING WITHIN TIME PER CODE, UNLESS EXTENSION AUTHORIZED PRIOR TO EXPIRATION. IF UNDER ENFORCEMENT ORDERS, SPECIAL TIME PERIODS SPECIFIED IN NOTICE OF VIOLATION OR ABATEMENT ORDER WILL APPLY.

TIME FOR COMPLETION OF WORK UNDER THIS BUILDING PERMIT EXPIRES 1080 Days AFTER DATE OF ISSUANCE. IF UNDER ENFORCEMENT ORDERS, SPECIAL TIME PERIODS WHERE SPECIFIED WILL APPLY.
(NOTE: STREET SPACE PERMIT EXPIRES ON COMPLETION OF WORK OR WHEN REVOKED BY DIRECTOR OF PUBLIC WORKS. SEE BACK OF FORM FOR OTHER TIME LIMITS.)

DON CLEMONS 707321209395

FEE PAYOR
18766 JAMIE LEE LANE
ADDRESS
SONOMA CA 95476
CITY

PERMIT 1372765

APPEAL
CENTRAL
PERMIT
BUREAU-D.B.I. CVICTORI

THIS PERMIT IS GRANTED IN ACCORDANCE WITH PROVISIONS OF THE CHARTER AND ORDINANCES OF THE CITY AND COUNTY OF SAN FRANCISCO AND/OR THE CURRENT STANDARD SPECIFICATIONS OF THE DEPARTMENT OF BUILDING INSPECTION

* ADDITIONAL INFORMATION REGARDING SPECIFIC PERMITS IS GIVEN ON THE BACK OF THIS FORM.

DBI P/C PAID AT FILING \$0.00

AUDITED FOR REFUND	FEE
	DCP PLAN CHECK 9,663.60
	BUILDING 1,520.00
	PLAN REVIEW 3,547.00
	ST. SPACE 768.00
	FIRE PLAN CHECK FEE 1,721.58
	PUC WW CAPACITY 2,171.00
	PUC WATER CAP 638.00
	RECORDS RETENTION 24.00
	BLDG STDS ADMIN FUND 13.00
	TECH SURCHARGE 344.88

SURCHARGE 0.00
BOA SURCHARGE 56.00

SUBTOTAL OF FEES WITH APPLICABLE SURCHARGES \$20,467.06

STRONG MOTION 39.65

SUBTOTAL OTHER FEES 39.65
TOTAL \$ \$20,506.71



October 18, 2016

Frederick T. Seher & Associates
841 Lombard St.
San Francisco, CA 94133

Edwin M. Lee
Mayor

Mohammed Nuru
Director

Jerry Sanguinetti
Bureau of Street Use & Mapping
Manager

Bruce R. Storrs P.L.S.
City and County Surveyor

Bureau of Street Use & Mapping
1155 Market St., 3rd floor
San Francisco, CA 94103
tel (415) 554-5827
Subdivision.Mapping@sfdpw.org

sfpublicworks.org
facebook.com/sfpublicworks
twitter.com/sfpublicworks

TENTATIVE MAP APPROVAL

Project ID	9131
APN	0463A-013
Address	162-164 Alhambra Street
Project Type	3NC

Dear Engineer / Surveyor:

The Tentative Map which you submitted to this Agency for review is approved, subject to compliance with the following:

The C.C.S.F. Planning Code and all Planning Department conditions outlined in the attached Planning Department memo dated 10/5/2016.

☒ Copy of Planning Department approval/conditions

The C.C.S.F. Building Code and all Department of Building Inspection conditions outlined in the attached D.B.I. memo dated _____.

☐ Copy of D.B.I. approval/conditions (check if attached)

The C.C.S.F. Subdivision Code and the California State Map Act:

Please submit:

☒ One (1) Check Print in PDF format of the final version of this map

☐ One (1) copy of C.F.C. (Certificate of Final Completion)

☒ One (1) copy of the Map Checklist

Do not submit check prints without complying with ALL of the above.
Incomplete submittals will be returned and subject to \$250 fee.

Sincerely,

Bruce R. Storrs, PLS
City and County Surveyor



City and County of San Francisco
San Francisco Public Works · Bureau of Street-Use and Mapping
1155 Market Street, 3rd Floor · San Francisco, CA 94103
sfpublicworks.org · tel 415-554-5810 · fax 415-554-6161



TENTATIVE MAP DECISION

Date: August 17, 2016

Department of City Planning
1650 Mission Street, Suite 400
San Francisco, CA 94103

Project ID: 9131			
Project Type: 3 Residential Condominium Units New Construction Project			
Address#	StreetName	Block	Lot
162 - 164	ALHAMBRA ST	0463A	013
Tentative Map Referral			

Attention: Mr. Scott F. Sanchez

Please review and respond to this referral within 30 days in accordance with the Subdivision Map Act.

Sincerely,

for, Bruce R. Storrs, P.L.S.
City and County Surveyor

The subject Tentative Map has been reviewed by the Planning Department and does comply with applicable provisions of the Planning Code. On balance, the Tentative Map is consistent with the General Plan and the Priority Policies of Planning Code Section 101.1 based on the attached findings. The subject referral is exempt from California Environmental Quality Act (CEQA) environmental review as categorically exempt Class_____, CEQA Determination Date_____, based on the attached checklist.

The subject Tentative Map has been reviewed by the Planning Department and does comply with applicable provisions of the Planning Code subject to the attached conditions.

The subject Tentative Map has been reviewed by the Planning Department and does not comply with applicable provisions of the Planning Code due to the following reason(s):

PLANNING DEPARTMENT

Signed_____

Date_____

Planner's Name _____
for, Scott F. Sanchez, Zoning Administrator



Date: October 18, 2016

THIS IS NOT A BILL

The City and County Surveyor has approved a tentative map for a proposed subdivision located at:

Address	Block	Lot
162 - 164 ALHAMBRA ST	0463A	013

This subdivision will result in:

3 Units New Construction

This notification letter is to inform you of your right to appeal this tentative approval.

IF YOU WOULD LIKE TO FILE AN APPEAL OF THE TENTATIVE APPROVAL:

You must do so in writing with the Clerk of the Board of Supervisors within ten (10) days of the date of this letter along with a check in the amount of \$315.00, payable to the Department of Public Works.

The Clerk of the Board is located at: City Hall of San Francisco
1 Dr. Carlton B. Goodlett Place, Room 244
San Francisco, CA 94102
(415) 554-5184

If you have any questions on this matter, please contact us at (415) 554-5827, or our email address: subdivision.mapping@sfdpw.org

Sincerely,

Bruce R. Storrs, P.L.S.
City and County Surveyor
City and County of San Francisco