

File No. 180787

Committee Item No. _____

Board Item No. 30

COMMITTEE/BOARD OF SUPERVISORS

AGENDA PACKET CONTENTS LIST

Committee: _____

Date: _____

Board of Supervisors Meeting

Date: October 2, 2018

Cmte Board

<input type="checkbox"/>	<input type="checkbox"/>	Motion
<input type="checkbox"/>	<input type="checkbox"/>	Resolution
<input type="checkbox"/>	<input type="checkbox"/>	Ordinance
<input type="checkbox"/>	<input type="checkbox"/>	Legislative Digest
<input type="checkbox"/>	<input type="checkbox"/>	Budget and Legislative Analyst Report
<input type="checkbox"/>	<input type="checkbox"/>	Youth Commission Report
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Introduction Form
<input type="checkbox"/>	<input type="checkbox"/>	Department/Agency Cover Letter and/or Report
<input type="checkbox"/>	<input type="checkbox"/>	MOU
<input type="checkbox"/>	<input type="checkbox"/>	Grant Information Form
<input type="checkbox"/>	<input type="checkbox"/>	Grant Budget
<input type="checkbox"/>	<input type="checkbox"/>	Subcontract Budget
<input type="checkbox"/>	<input type="checkbox"/>	Contract/Agreement
<input type="checkbox"/>	<input type="checkbox"/>	Award Letter
<input type="checkbox"/>	<input type="checkbox"/>	Application
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Public Correspondence

OTHER

(Click on the text of checked items to view documents)

<input type="checkbox"/>	<input checked="" type="checkbox"/>	<u>Appeal Letter - July 23, 2018</u>
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<u>Planning Department Appeal Response - August 24, 2018</u>
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<u>Project Sponsor Appeal Response Brief - August 24, 2018</u>
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<u>Hearing Notice and Clerical Documents</u>
<input type="checkbox"/>	<input type="checkbox"/>	_____
<input type="checkbox"/>	<input type="checkbox"/>	_____

Prepared by: Brent Jalipa

Date: September 27, 2018

Prepared by: _____

Date: _____

**NOTICE TO BOARD OF SUPERVISORS OF APPEAL
FROM ACTION OF THE CITY PLANNING COMMISSION**

RECEIVED
BOARD OF SUPERVISORS
SAN FRANCISCO

2018 JUL 23 AM 10:43

BY BA

Notice is hereby given of an appeal to the Board of Supervisors from the following action of the City Planning Commission.

The property is located at 143 Corbett Avenue (Block 2656, lot 060)

June 21, 2018

Date of City Planning Commission Action
(Attach a Copy of Planning Commission's Decision)

July 23, 2018

Appeal Filing Date

_____ The Planning Commission disapproved in whole or in part an application for reclassification of property, Case No. _____.

_____ The Planning Commission disapproved in whole or in part an application for establishment, abolition or modification of a set-back line, Case No. _____.

X _____ The Planning Commission approved in whole or in part an application for conditional use authorization, Case No. 2017-009348CUA.

_____ The Planning Commission disapproved in whole or in part an application for conditional use authorization, Case No. _____.

Statement of Appeal:

RECEIVED
BOARD OF SUPERVISORS
SAN FRANCISCO

a) Set forth the part(s) of the decision the appeal is taken from: 2018 JUL 23 AM 10:43

see attachment

BY BJ

b) Set forth the reasons in support of your appeal:

see attachment

Person to Whom
Notices Shall Be Mailed

Dirk Aguilar

Name

30 Ord Street
San Francisco, CA 94114

Address

(415) 347-5415

Telephone Number

lifeisapizza@gmail.com

Name and Address of Person Filing Appeal:

Gary Weiss
President of Corbett Heights Neighbors

Name

79 Mars Street
San Francisco, CA 94114

Address

(415) 279-5570

Telephone Number

gary@corbettheights.org



Signature of Appellant or
Authorized Agent

Statement of Appeal:

RECEIVED
BOARD OF SUPERVISORS
SAN FRANCISCO

2018 JUL 23 AM 10:43

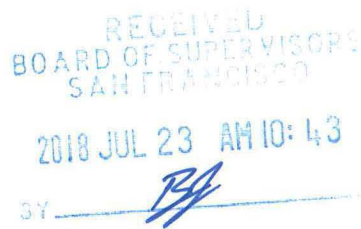
a) The set forth part(s) of the decision the appeal is taken from:

BY BA

The approval of Conditional Use Authorization No. 2017-009348CUA, including, among other things, to permit excess lot coverage.

b) Set forth the reason in support of your appeal:

Among other things, the project fails to meet the criteria of the Corona Heights Large Residence Special Use District and it fails to meet the City's Conditional Use requirements. We will provide further explanation, testimony and materials in our brief and at the Board of Supervisors Hearing.



Gary Weiss
President of Corbett Heights Neighbors
78 Mars Street
San Francisco, CA 94114

July 13, 2018

Office of the Clerk of the Board
San Francisco Board of Supervisors
1 Dr. Carlton B. Goodlett Place
City Hall, Room 244
San Francisco, CA 94102-4689

143 Corbett Avenue CUA Appeal: Letter of Authorization

To whom it may concern

I am the appellant of the 143 Corbett Avenue Conditional use Authorization Case No 2017-009348CUA. I authorize Dirk Aguilar, 30 Ord Street, San Francisco, CA 94114 to act as my agent and on my behalf for all purposes of this appeal.

Sincerely,

A handwritten signature in black ink, consisting of several loops and a long horizontal stroke extending to the right.

Gary Weiss

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BOARD OF SUPERVISORS
SAN FRANCISCO
2018 JUL 23 AM 10:43
BY BA

Gary Weiss
President of Corbett Heights Neighbors
78 Mars Street
San Francisco, CA 94114

July 13, 2018

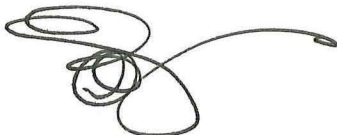
San Francisco Planning Department
1650 Mission Street, Suite 400
San Francisco, CA 94103-9425

143 Corbett Avenue CUA Appeal: Letter of Authorization

To whom it may concern

I am the appellant of the 143 Corbett Avenue Conditional use Authorization Case No 2017-009348CUA. I authorize Dirk Aguilar, 30 Ord Street, San Francisco, CA 94114 to act as my agent and on my behalf for all purposes of this appeal.

Sincerely,

A handwritten signature in black ink, consisting of several loops and a long horizontal stroke extending to the right.

Gary Weiss

RECEIVED
BOARD OF SUPERVISORS
SAN FRANCISCO

2018 JUL 23 AM 10:43

BY BJ

City Planning Commission
Case No. 2017 009348 CVA VAR

The undersigned declare that they are hereby subscribers to this Notice of Appeal and are owners of property affected by the proposed amendment or conditional use (that is, owners of property within the area that is the subject of the application for amendment or conditional use, or within a radius of 300 feet of the exterior boundaries of the property.

If ownership has changed and assessment roll has not been amended, we attach proof of ownership change. If signing for a firm or corporation, proof of authorization to sign on behalf of the organization is attached.

	Street Address, property owned	Assessor's Block & Lot	Printed Name of Owner(s)	Original Signature of Owner(s)
1.	<u>27 Hattie</u>	<u>2657042</u>	<u>MARY HELEN BRUKETTA</u>	<u>M. Bruketta</u>
2.	<u>27 Hattie</u>	<u>2657042</u>	<u>LAURENCE BRUKETTA</u>	<u>L. Bruketta</u>
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RECEIVED
BOARD OF SUPERVISORS
SAN FRANCISCO


2018 JUL 23 AM 10:43

BY Bj

City Planning Commission
Case No. 2017 009348 CUA VAC

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	Street Address, property owned	Assessor's Block & Lot	Printed Name of Owner(s)	Original Signature of Owner(s)
1.	<u>25 HATTIE</u>	<u>2657041</u>	<u>VALERIE LO</u>	
2.	<u>25 HATTIE</u>	<u>2657041</u>	<u>JOHNNY LO</u>	
3.	25 HATTIE	2657041	JOHNNY LO	
4.	_____	_____	_____	_____
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BOARD OF SUPERVISORS
SAN FRANCISCO



2018 JUL 23 AM 10:44

City Planning Commission

Case No. 2017-009348 CUA-VAR

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	Street Address, property owned	Assessor's Block & Lot	Printed Name of Owner(s)	Original Signature of Owner(s)
1.	124 CORBETT	265 2008A	JAMES MUNSON	
2.	124 CORBETT	265 2008A	SIMON PITCHELLO	
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SAN FRANCISCO

2018 JUL 23 AM 10:44

BY

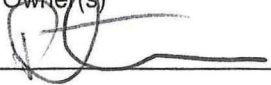
BA

City Planning Commission
Case No. 2017

009348 CUA VAK

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	Street Address, property owned	Assessor's Block & Lot	Printed Name of Owner(s)	Original Signature of Owner(s)
1.	<u>4328A 17th ST</u>	<u>264 6075</u>	<u>Peter Cappa</u>	<u></u>
2.	_____	_____	_____	_____
3.	_____	_____	_____	_____
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SAN FRANCISCO

2018 JUL 23 AM 10:44

BY BQ

City Planning Commission

Case No. 2017-009348 CJA VAR

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	Street Address, property owned	Assessor's Block & Lot	Printed Name of Owner(s)	Original Signature of Owner(s)
1.	<u>158 CORBET</u>	<u>265 2037</u>	<u>WALTER PARLEY</u>	<u>[Signature]</u>
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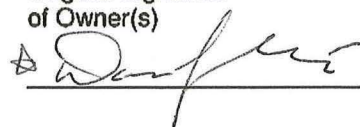
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BOARD OF SUPERVISORS
SAN FRANCISCO

2018 JUL 23 AM 10:52

City Planning Commission
Case No. 2017-009349 CUA VAR

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Street Address, property owned	Assessor's Block & Lot	Printed Name of Owner(s)	Original Signature of Owner(s)
<u>1. 25028 MARKET ST</u>	<u>2656010</u>	<u>DANIEL SHULTZ</u>	<u></u>
2. _____	_____	_____	_____
3. _____	_____	_____	_____
4. _____	_____	_____	_____
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RECEIVED
BOARD OF SUPERVISORS
SAN FRANCISCO

2018 JUL 23 AM 10:44

City Planning Commission

Case No. 2017-009348 CUA VAR

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	Street Address, property owned	Assessor's Block & Lot	Printed Name of Owner(s)	Original Signature of Owner(s)
1.	<u>4626 18th ST</u>	<u>2658075</u>	<u>TIM FARR</u>	<u>[Signature]</u>
2.	_____	_____	_____	_____
3.	_____	_____	_____	_____
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RECEIVED
BOARD OF SUPERVISORS
SAN FRANCISCO

City Planning Commission
Case No. 2017 009348 CVA VAR

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	Street Address, property owned	Assessor's Block & Lot	Printed Name of Owner(s)	Original Signature of Owner(s)
1.	<u>4331 17th</u>	<u>2652007A</u>	<u>DAVID HENDRICKSON</u>	<u>[Signature]</u>
2.	<u>4331 17th</u>	<u>2652007A</u>	<u>DANIEL SONNENFELD</u>	<u>[Signature]</u>
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2018 JUL 23


City Planning Commission

Case No.

2017-009348 CUA VAR

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	Street Address, property owned	Assessor's Block & Lot	Printed Name of Owner(s)	Original Signature of Owner(s)
1.	127 Corbett Ave	2657025	Wesley Horner	
2.	121 Corbett Ave	2657025	Jennifer Horner	
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RECEIVED
BOARD OF SUPERVISORS
SAN FRANCISCO

2018 JUL 23 AM 10:44

City Planning Commission

Case No. 2017

009348CUA VAP

The undersigned declare that they are hereby subscribers to this Notice of Appeal and are owners of property affected by the proposed amendment or conditional use (that is, owners of property within the area that is the subject of the application for amendment or conditional use, or within a radius of 300 feet of the exterior boundaries of the property.

If ownership has changed and assessment roll has not been amended, we attach proof of ownership change. If signing for a firm or corporation, proof of authorization to sign on behalf of the organization is attached.

50% owner of 3-unit building

Street Address, property owned	Assessor's Block & Lot	Printed Name of Owner(s)	Original Signature of Owner(s)
1. 173-175-175A Corbett Ave.	2656/052	David Odisho	
2. _____	_____	_____	_____
3. _____	_____	_____	_____
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SAN FRANCISCO

2018 JUL 23 AM 10:44

City Planning Commission

Case No. 2017-009348 CUA VAP

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50% owner of 3-unit building

Street Address, property owned	Assessor's Block & Lot	Printed Name of Owner(s)	Original Signature of Owner(s)
1. <u>173-175-175A</u> <u>Corbett Ave</u>	<u>2656/052</u>	<u>Hannibal Odisho</u>	<u>Hannibal Odisho</u>
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2018 JUL 23 AM 10:44

BY BJ City Planning Commission
Case No. 2017 009348 CUA VAR

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	Street Address, property owned	Assessor's Block & Lot	Printed Name of Owner(s)	Original Signature of Owner(s)
1.	<u>154 Corbett Ave</u>	<u>2652015</u>	<u>David Ballinger</u>	<u>[Signature]</u>
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RECEIVED
BOARD OF SUPERVISORS
SAN FRANCISCO

City Planning Commission

Case No.

2017 009348 CUA VAC

2019 JUL 23 AM 10:44

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	Street Address, property owned	Assessor's Block & Lot	Printed Name of Owner(s)	Original Signature of Owner(s)
1.	3022 Market St	2656071	Marianne Ward	Marianne Ward
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2018 JUL 23 AM 10:44

City Planning Commission

Case No. 2017 - 005348 LJA VAR

The undersigned declare that they are hereby subscribers to this Notice of Appeal and are owners of property affected by the proposed amendment or conditional use (that is, owners of property within the area that is the subject of the application for amendment or conditional use, or within a radius of 300 feet of the exterior boundaries of the property.

If ownership has changed and assessment roll has not been amended, we attach proof of ownership change. If signing for a firm or corporation, proof of authorization to sign on behalf of the organization is attached.

	Street Address, property owned	Assessor's Block & Lot	Printed Name of Owner(s)	Original Signature of Owner(s)
1.	145 CORBETT	2656 1059	JENNIFER GREENMAN	[Signature] (TRUSSE)
2.	3012 MARKET ST	2656 005	ANDY ZIVIC	[Signature]
3.	3006 MARKET ST	2656 003	PAUL SACCONI	[Signature]
4.	3012 MARKET	2656 005	CLAUDE SOYER	[Signature]
5.	3014 MARKET	2656 006	JOHN SPARK	[Signature]
6.	3014 MARKET	2656 006	ANDERS NELSON	[Signature]
7.	[REDACTED]	[REDACTED]	[REDACTED]	
8.	[REDACTED]	[REDACTED]	[REDACTED]	
9.	156 CORBETT	265 2036	STEVEN ADAMS	[Signature]
10.	[REDACTED]	[REDACTED]	WALTER FARLEY	
11.	[REDACTED]	[REDACTED]	[REDACTED]	
12.	181 Corbett	265 6049	Paula Macchello	[Signature]
13.	187A CORBETT	265 6070	Andrew Marshall	[Signature]
14.	110 CORBETT	265 2030	ROBERT W. LANE "WES"	[Signature]
15.	[REDACTED]	[REDACTED]	[REDACTED]	
16.	[REDACTED]	[REDACTED]	[REDACTED]	
17.	3024 Market	265 6072	Graham Walla	[Signature]
18.	3040 MARKET	265 6013	Johu Kainlauri	[Signature]
19.	3040 MARKET	265 6013	KATHI RENDLOW	[Signature]
20.	123 Corbett	265 7026	Kevin Sun	[Signature]
21.	123 Corbett	265 7026	Richard Johnson	[Signature]
22.	145 Corbett	265 6059	Alfred W. Briggs	[Signature]

2656/059
145 Corbett
Creelman/Driggs

Order No.: FSMO-0111401204
Title No.: FSFM-TO14000598

When Recorded Mail Document To:
Alfred W. Driggs, IV and Jennifer H. Creelman
145 Corbett Avenue
San Francisco, CA 94114

20149J99329300003
San Francisco Assessor-Recorder
Carmen Chu, Assessor-Recorder
DOC 2014-J993293-00
Acct 6003-Fidelity National Title - San Francisco
Tuesday, DEC 16, 2014 11:48:37
Ttl Pd \$24.00 Nbr-0005068957
ofa/RE/1-3

APN/Parcel ID(s): LOT 059, BLOCK 2656

SPACE ABOVE THIS LINE FOR RECORDER'S USE

145 Corbett Avenue

GRANT DEED

The undersigned grantor(s) declare(s)

- ☐ This transfer is exempt from the documentary transfer tax.
- ☒ The documentary transfer tax is \$_-0-__ and is computed on: None no consideration transfer out of trust for refinance purposes
- ☐ the full value of the interest or property conveyed.
- ☐ the full value less the liens or encumbrances remaining thereon at the time of sale.

The property is located in ☒ the City of San Francisco.

FOR A VALUABLE CONSIDERATION, receipt of which is hereby acknowledged, Jennifer H. Creelman, Trustee of The DC Revocable Family Trust,

hereby GRANT(S) to Alfred W. Driggs, IV and Jennifer H. Creelman, husband and wife as joint tenants,

the following described real property in the City of San Francisco, County of San Francisco, State of California:

SEE EXHIBIT "A" ATTACHED HERETO AND MADE A PART HEREOF

MAIL TAX STATEMENTS AS DIRECTED ABOVE


GRANT DEED
(continued)

APN/Parcel ID(s): LOT 059, BLOCK 2656

Dated: November 18, 2014

IN WITNESS WHEREOF, the undersigned have executed this document on the date(s) set forth below.

The DC Revocable Family Trust

BY: 
Jennifer H. Creelman, Trustee


State of California

County of San Francisco

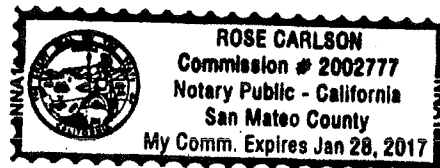
On December 9, 2014 before me, Rose Carlson a notary public in and for said state, personally appeared Jennifer H. Creelman who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.


Signature

(Seal)



MAIL TAX STATEMENTS AS DIRECTED ABOVE

EXHIBIT "A"
Legal Description

For APN/Parcel ID(s): LOT 059, BLOCK 2656

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE CITY OF SAN FRANCISCO, COUNTY OF SAN FRANCISCO, STATE OF CALIFORNIA AND IS DESCRIBED AS FOLLOWS:

LOT NO. 59, BLOCK "C", AS SAID LOT AND BLOCK ARE DELINEATED AND SO DESIGNATED UPON THAT CERTAIN MAP ENTITLED "MAP OF A PORTION OF FARE LANE TRACT BETWEEN 17TH AND 18TH STREETS", FILED APRIL 22, 1895 AND RECORDED IN BOOK "C" AND "B" OF MAPS AT PAGE 147 IN THE OFFICE OF THE RECORDER OF THE CITY AND COUNTY OF SAN FRANCISCO, STATE OF CALIFORNIA.

APN: LOT 059, BLOCK 2656

MAIL TAX STATEMENTS AS DIRECTED ABOVE

2656/049
181 Corbett
Macchello/Henry

UNLESS
MENTS TO

Paula Anne Macchello and
Mary Kay Henry
181 Corbett Ave., SF, CA 94114
Order No.:
Escrow No.:

San Francisco Assessor-Recorder
Phil Ting, Assessor-Recorder
DOC- 2011-J284149-00

Wednesday, OCT 12, 2011 11:17:54
Ttl Pd \$17.00 Rpt # 0004259683
REEL K500 IMAGE 0447
081/66/1-3

A.P.N. Lot 49, Block 2656

SPACE ABOVE THIS LINE IS FOR RECORDER'S USE

TRUST TRANSFER DEED

GRANT DEED (EXCLUDED FROM REAPPRAISAL UNDER PROPOSITION 13, I.E., CALIF. CONST. ART 13A §1 ET SEQ.)

THE UNDERSIGNED GRANTOR(S) DECLARE(S) UNDER PENALTY OF PERJURY THAT THE FOLLOWING IS TRUE AND CORRECT:
DOCUMENTARY TRANSFER TAX IS \$ 0

☐ Computed on full value of property conveyed, or ☐ computed on full value less value of liens or encumbrances remaining at time of sale or transfer

☒ There is no Documentary transfer tax due. (state reason and give Code § or Ordinance number)

Trust Transfer under section 62, Revenue & Taxation Code

☐ Unincorporated area: ☒ city of San Francisco AND

This is a Trust Transfer under §62 of the Revenue and Taxation Code and Grantor(s) has (have) checked the applicable exclusion:

☒ Transfer to a revocable trust; ☐ Transfer to a short-term trust not exceeding 12 years with Trustor holding the reversion;

☐ Transfer to a trust where the Trustor or the Trustor's spouse is the sole beneficiary; ☐ Change of trustee holding title;

☐ Transfer from trust to Trustor or Trustor's spouse where prior transfer to trust was excluded from reappraisal and for a valuable consideration, receipt of which is acknowledged.

☐ Other:

GRANTOR(S): Paula Anne Macchello, an unmarried woman, and Mary Kay Henry,
an unmarried woman, as joint tenants

hereby GRANT(S) TO: Paula Anne Macchello, trustee, Paula Anne Macchello Revocable Living Trust, 50% and Mary Kay Henry, trustee
Mary Kay Henry Revocable Living Trust, 50%, tenancy in common

the following described real property in the City of San Francisco

County of San Francisco, State of California:

As per exhibit "A" herewith and made a part hereof.

Dated: 7/26/11

Paula Anne Macchello

8/1/11

Mary Kay Henry

ACKNOWLEDGMENT

State of California

County of San Francisco

On 7/26/11

before me, Michael Burke, Notary Public
(HERE INSERT NAME AND TITLE OF THE OFFICER)

personally appeared

Paula Anne Macchello

who proved to me on the basis of satisfactory evidence to be

the person(s) whose name(s) is/are subscribed to the within instrument and
acknowledged to me that he/she/they executed the same in his/her/their authorized
capacity(ies), and that by his/her/their signature(s) on the instrument the person(s)
or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California
that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.

Signature

MAIL TAX STATEMENTS TO PARTY SHOWN ON FOLLOWING LINE; IF NO PARTY SHOWN, MAIL AS DIRECTED ABOVE (SEAL)

NAME

STREET ADDRESS

CITY, STATE & ZIP

NONJC-014 (Rev. 03/01/2009)

TRUST TRANSFER DEED



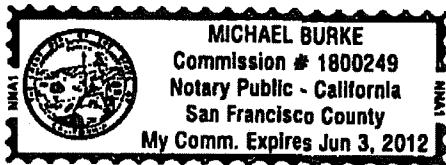
CALIFORNIA ALL-PURPOSE ACKNOWLEDGMENT

State of California

County of San Francisco

On 28/01/2011 before me, Michael Burke, Notary Public

personally appeared Mary Kay Henry



who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.

Signature

Signature of Notary Public

Place Notary Seal Above

OPTIONAL

Though the information below is not required by law, it may prove valuable to persons relying on the document and could prevent fraudulent removal and reattachment of this form to another document.

Description of Attached Document

Title or Type of Document: Trust Transfer Deed

Document Date: _____ Number of Pages: 2

Signer(s) Other Than Named Above: Paula Anne Macchello

Capacity(ies) Claimed by Signer(s)

Signer's Name: _____

- ☐ Individual
☐ Corporate Officer — Title(s): _____
☐ Partner — ☐ Limited ☐ General
☐ Attorney in Fact
☐ Trustee
☐ Guardian or Conservator
☐ Other: _____

Signer Is Representing: _____

RIGHT THUMBPRINT
OF SIGNER
Top of thumb here

Signer's Name: _____

- ☐ Individual
☐ Corporate Officer — Title(s): _____
☐ Partner — ☐ Limited ☐ General
☐ Attorney in Fact
☐ Trustee
☐ Guardian or Conservator
☐ Other: _____

Signer Is Representing: _____

RIGHT THUMBPRINT
OF SIGNER
Top of thumb here

EXHIBIT "A"

THE LAND REFERRED TO HEREIN IS SITUATED IN THE CITY AND COUNTY OF SAN FRANCISCO, STATE OF CALIFORNIA AND IS DESCRIBED AS FOLLOWS:

LOT NO. 49, in Block Lettered "C" as said Lot and Block are delineated and so designated upon that certain map entitle "Map of a portion of Park Lane Tract between 17th and 18th Streets, San Francisco, California" recorded April 22, 1885, in Book "C" and "D" of Maps, at Page 147, in the office of the Recorder of the City and County of San Francisco, State of California.

A.P.N.: LOT 49, BLOCK 2656

2656/070
187A Corbett
MARSHALL

1 By:
ESQ.

WHEN RECEIVED MAIL to:
PAUL R. MALONE, ESQ.
155 Sansome Street, Suite 1200
San Francisco, CA 94104

Mail Tax Statements to:
Andrew Marshall III
187A Corbett Ave.
San Francisco, CA 94114

San Francisco Assessor-Recorder
Mabel S. Teng, Assessor-Recorder
DOC- 2003-H565566-00

Check Number 1574

Friday, OCT 17, 2003 13:50:07

Ttl Pd \$12.00

Nbr-0002301993

REEL I495 IMAGE 0719

ofa/FT/1-2

SS

Mail tax statements to
above address

APN: Lots 68, 69 and 70 Block 2656

EXEMPT FROM TRANSFER TAX

EXEMPT FROM REASSESSMENT

(*See Note Below)

Andrew Marshall III
Andrew Marshall III

GRANT DEED
(TO REVOCABLE TRUST)

FOR NO CONSIDERATION, Transferor:

Andrew Marshall III, an unmarried man

hereby transfers to Transferee:

Andrew Marshall III, Trustee of the Andrew Marshall
III Revocable Living Trust, dated June 27, 2003

all that real property situated in the County of San Francisco,
State of California, described on the attachment hereto labeled
Exhibit A.

(*NOTE: This is a transfer for no consideration to a revocable trust created by Transferor. It is exempt from
transfer tax under Rev.& Tax. Code §11911, and is exempt from reassessment under Rev.& Tax. Code §62.)

DATED: **AUG 29 2003**

Andrew Marshall III
Andrew Marshall III

ACKNOWLEDGMENT

State of California

County of *San Francisco*

ss.

On *Aug. 29*, 2003, before me, *Virginia Malone*, Notary Public, personally appeared Andrew
Marshall III, personally known to me (or proved to me on the basis of satisfactory evidence) to be the person(s)
whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the
same in his/her/their capacity(ies), and that by his/her/ their signature(s) on the instrument the person(s),
or the entity upon behalf of which the person(s) acted, executed the instrument.

WITNESS my hand and official seal.

Virginia Malone
Notary Public

185, 187 and 187A Corbett Ave.; San Francisco, CA 1205



H565566

ALL THAT CERTAIN REAL PROPERTY as shown on the Map entitled "Parcel Map, 185-187-187A Corbett Avenue, a Residential Condominium Project" which was filed for record on June 11, 2003 in Condominium Map Book 81, Pages 14-16, inclusive, in the office of the Recorder of the City and County of San Francisco, State of California

APN: Lots 68, 69, and 70, Block 2656 (formerly Lot 48, Block 2656)

2657/026
123-125 Corbett
Dunn & Johnson

Fidelity National Title Company
Order No.: FSFM-0311300093

When Recorded Mail Document To:
Richard G. Johnson and Kevin C. Dunn
123-125 Corbett Avenue
San Francisco, CA 94114

20149J83252000003
San Francisco Assessor-Recorder
Carmen Chu, Assessor-Recorder
DOC 2014-J832520-00
Acct 2005-Fidelity Title Company Concord
Thursday, JAN 30, 2014 09:23:56
Ttl Pd \$24.00 Nbr-0004881807
REEL L074 IMAGE 0146
oar/RE/1-3

APN/Parcel ID(s): Lot 026, Block 2657
123-125 Corbett Avenue

SPACE ABOVE THIS LINE FOR RECORDER'S USE

GRANT DEED

The undersigned grantor(s) declare(s)

☒ This transfer is exempt from the documentary transfer tax.

"This conveyance confirms a change of name, and the grantor and grantee are the same party, R & T 11911."

☐ The documentary transfer tax is \$ 0 and is computed on:

☐ the full value of the interest or property conveyed.

☐ the full value less the liens or encumbrances remaining thereon at the time of sale.

The property is located in ☒ the **City of San Francisco**.

FOR A VALUABLE CONSIDERATION, receipt of which is hereby acknowledged, Richard G. Johnson, Trustee under The Richard G. Johnson Living Trust, dated August 10, 2007 and any amendments thereto,

and Kevin C. Dunn, Trustee under The Kevin C. Dunn Living Trust, dated August 10, 2007, and any amendments thereto

hereby GRANT(S) to Richard G. Johnson^{Tr} and Kevin C. Dunn, a married couple as community property with right of survivorship

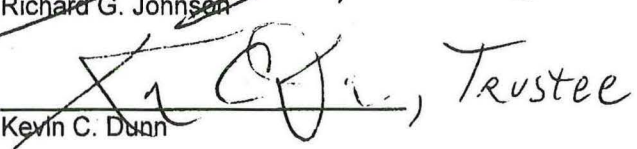
the following described real property in the City of San Francisco, County of San Francisco, State of California:

SEE EXHIBIT "A" ATTACHED HERETO AND MADE A PART HEREOF

Dated: January 23, 2014

IN WITNESS WHEREOF, the undersigned have executed this document on the date(s) set forth below


Richard G. Johnson, Trustee


Kevin C. Dunn, Trustee

MAIL TAX STATEMENTS AS DIRECTED ABOVE

GRANT DEED
(continued)

APN/Parcel ID(s): Lot 026, Block 2657

State of CA

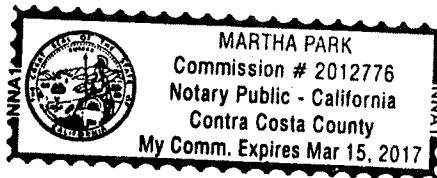
County of San Francisco

On Jan. 24, 2014 before me, Martha Park, Notary Public, personally appeared Richard G. Johnson and Kevin C. Dunn, who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of CA that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.

Signature 



(Seal)

MAIL TAX STATEMENTS AS DIRECTED ABOVE

EXHIBIT "A"
Legal Description

For APN/Parcel ID(s): Lot 026, Block 2657

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE CITY OF SAN FRANCISCO, COUNTY OF SAN FRANCISCO, STATE OF CALIFORNIA AND IS DESCRIBED AS FOLLOWS:

LOT NO. 14, IN BLOCK "A" AS PER MAP ENTITLED "MAP OF A PORTION OF PARK LANE TRACT", FILED APRIL 22, 1885, IN VOLUME "C" AND "D" OF MAPS, PAGE 147, IN THE OFFICE OF THE RECORDER OF THE CITY AND COUNTY OF SAN FRANCISCO, STATE OF CALIFORNIA.

APN: Lot 026, Block 2657

MAIL TAX STATEMENTS AS DIRECTED ABOVE

2652/013
152 Corbett
Mahoney

RECEIVED
BOARD OF SUPERVISORS
SAN FRANCISCO

2018 JUL 23 AM 10:46

City Planning Commission BA
Case No. 2017-009348 CUA VAR

The undersigned declare that they are hereby subscribers to this Notice of Appeal and are owners of property affected by the proposed amendment or conditional use (that is, owners of property within the area that is the subject of the application for amendment or conditional use, or within a radius of 300 feet of the exterior boundaries of the property.

If ownership has changed and assessment roll has not been amended, we attach proof of ownership change. If signing for a firm or corporation, proof of authorization to sign on behalf of the organization is attached.

Street Address, property owned	Assessor's Block & Lot	Printed Name of Owner(s)	Original Signature of Owner(s)
<u>152 Corbett SF 94114</u>	<u>2652013</u>	<u>Sally T. Mahoney</u>	<u>Sally T. Mahoney,</u> <u>Trustee, 2004 Grantor Trust</u>
2. _____	_____	_____	_____
3. _____	_____	_____	_____
4. _____	_____	_____	_____
5. _____	_____	_____	_____
6. _____	_____	_____	_____
7. _____	_____	_____	_____
8. _____	_____	_____	_____
9. _____	_____	_____	_____
10. _____	_____	_____	_____
11. _____	_____	_____	_____
12. _____	_____	_____	_____
13. _____	_____	_____	_____
14. _____	_____	_____	_____
15. _____	_____	_____	_____
16. _____	_____	_____	_____
17. _____	_____	_____	_____
18. _____	_____	_____	_____
19. _____	_____	_____	_____
20. _____	_____	_____	_____
21. _____	_____	_____	_____
22. _____	_____	_____	_____

Recording Requested By:
and

When Recorded, Mail To:

SALLY T. MAHONEY
2040 West Middlefield Road #19
Mountain View, CA 94043

San Francisco Assessor-Recorder
Mabel S. Teng, Assessor-Recorder
DOC- 2004-H841566-00
Check Number 13492
Thursday, OCT 28, 2004 15:38:23
Ttl Pd \$15.00 Nbr-0002614508
REEL 1753 IMAGE 0658
gar/TD/1-3

Mail Tax Statements To:

SALLY T. MAHONEY
2040 West Middlefield Road #19
Mountain View, CA 94043

NO TRANSFER TAX DUE --
Conveyance by individual to her
newly established grantor trust.
No actual change of ownership.

Sally T. Mahoney

QUITCLAIM DEED

SALLY T. MAHONEY, A Single Woman

hereby remise, releases, and forever quitclaims to:

the SALLY T. MAHONEY 2004 GRANTOR TRUST
-- Sally T. Mahoney, Trustee

her undivided 66-2/3% interest in and of

that certain parcel of real property and the improvements thereon
located in the City and County of San Francisco, State of
California described as:

Legal Description set forth in Exhibit 1 attached hereto.

✓ A.P.N. Block 2652 - Lot 013.

✓ 152 Corbett Avenue, San Francisco.

Dated: 10-27-2004.

Sally T. Mahoney
SALLY T. MAHONEY

LEGAL DESCRIPTION (EXHIBIT 1) AND NOTARY ACKNOWLEDGMENT ATTACHED.

NOTARY ACKNOWLEDGMENT

State of California)
) ss:
County of San Francisco)

On this date, before me, a Notary Public in and for the State of California, personally appeared SALLY T. MAHONEY, personally known to me to be the person whose name is subscribed to the within instrument; to wit, "Quitclaim Deed" re 152 Corbett Avenue, San Francisco and acknowledged to me that she executed the same in her authorized capacity(ies), and that by her signature on the instrument the person, or the entity upon behalf of which person acted, executed the instrument.

WITNESS my hand and official seal.

Dated: 10/27/04

Gilbert Y. Jay
Gilbert Y. Jay,
Notary Public

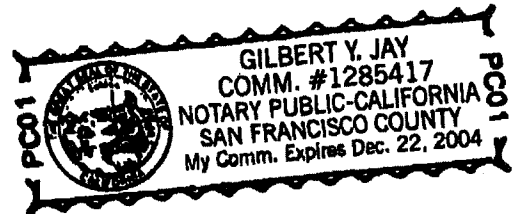


EXHIBIT 1

LOT 10, in Block "W" as per map of Park Lane Tract Map No. 2, filed January 8, 1889, in Book 1 of Maps Page 181, in the Office of the Recorder of the City and County of San Francisco, CA.

EXCEPTING therefrom that portion of said Lot 10 described as follows:

BEGINNING at the point of intersection of the southerly line of 17th Street with the dividing line between Lots 10 and 11, in Block "W" as shown on above mentioned map, thence easterly along the said line of 17th Street 4 inches; thence at a right angle southerly 44 feet; thence at a right angle westerly 4 inches to said dividing line between Lots 10 and 11; and thence at a right angle northerly along said dividing line 44 feet to the point of beginning.

A.P.N. Block 2652 - Lot 013.

152 Corbett Avenue, San Francisco.

2652/007
120 Corbett
Waterman

RECEIVED
BOARD OF SUPERVISORS
SAN FRANCISCO

2018 JUL 23 AM 10:46

BY BJ City Planning Commission
Case No. 2017-009348 C/A/A/R

The undersigned declare that they are hereby subscribers to this Notice of Appeal and are owners of property affected by the proposed amendment or conditional use (that is, owners of property within the area that is the subject of the application for amendment or conditional use, or within a radius of 300 feet of the exterior boundaries of the property.

If ownership has changed and assessment roll has not been amended, we attach proof of ownership change. If signing for a firm or corporation, proof of authorization to sign on behalf of the organization is attached.

	Street Address, property owned	Assessor's Block & Lot	Printed Name of Owner(s)	Original Signature of Owner(s)
1.	<u>120 CORBETT</u>	<u>265 2007</u>	<u>JARED WATERMAN</u>	<u>[Signature]</u> Trustee
2.	_____	_____	_____	_____
3.	_____	_____	_____	_____
4.	_____	_____	_____	_____
5.	_____	_____	_____	_____
6.	_____	_____	_____	_____
7.	_____	_____	_____	_____
8.	_____	_____	_____	_____
9.	_____	_____	_____	_____
10.	_____	_____	_____	_____
11.	_____	_____	_____	_____
12.	_____	_____	_____	_____
13.	_____	_____	_____	_____
14.	_____	_____	_____	_____
15.	_____	_____	_____	_____
16.	_____	_____	_____	_____
17.	_____	_____	_____	_____
18.	_____	_____	_____	_____
19.	_____	_____	_____	_____
20.	_____	_____	_____	_____
21.	_____	_____	_____	_____
22.	_____	_____	_____	_____

RECORDING REQUESTED BY:

JEWEL & STONEMAN, LLP
220 Montgomery Street, Suite 678
San Francisco, CA 94104

AND WHEN RECORDED MAIL TO:

Jared R. Waterman, Trustee
120 Corbett Avenue
San Francisco, CA 94114



San Francisco Assessor-Recorder
Carmen Chu, Assessor-Recorder
DOC- 2014-J877774-00

Check Number 7471
Monday, MAY 12, 2014 09:07:34
Ttl Pd \$21.00 Rcpt # 0004935294
ofa/FT/1-2

TRUST TRANSFER DEED

GRANT DEED (Excluded from Reappraisal Under Proposition 13 i.e., Calif. Const. Art. 13 A§1 et Seq. and Calif. Revenue & Taxation Code Section 11930-Grantee is a trust for the benefit of the Grantors.) THIS CONVEYANCE TRANSFERS AN INTEREST INTO OR OUT OF A LIVING TRUST, R & T 11930)

The undersigned Grantor(s) declare under penalty of perjury that the following is true and correct:

There is no consideration for this transfer. Documentary transfer tax is \$0. This is a Transfer under §62 of the Revenue and Taxation Code, which qualifies for an exclusion because the transfer is to a revocable trust. *Not pursuant to a sale and for the benefit of the Grantor.* THIS CONVEYANCE TRANSFERS AN INTEREST INTO OR OUT OF A LIVING TRUST, R & T 11930)

GRANTOR(S): JARED R. WATERMAN, an unmarried man, hereby grant(s) to JARED R. WATERMAN Trustee, or his successors in trust under JARED R. WATERMAN LIVING TRUST dated April 15, 2014, and any amendments thereto, the following described property in the City of San Francisco, County of San Francisco, State of California, described as follows:

SEE EXHIBIT "A" ATTACHED HERETO AND MADE A PART HEREOF.

APN: 2652-007 ✓ Commonly known as: 120 Corbett Avenue, San Francisco, CA 94114

DATED: April 15, 2014

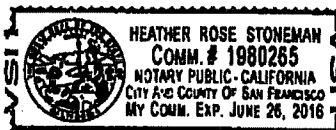

JARED R. WATERMAN, GRANTOR

State of California)
County of San Francisco)

On April 15, 2014, before me, Heather Rose Stoneman, a Notary Public, personally appeared JARED R. WATERMAN, who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

Witness my hand and official seal.




NOTARY PUBLIC

MAIL TAX STATEMENTS TO:

Jared R. Waterman, Trustee
120 Corbett Avenue
San Francisco, CA 94114

EXHIBIT A

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE CITY AND COUNTY OF SAN FRANCISCO, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:

Beginning at the point of intersection of the northwesterly line of Corbett Avenue and the dividing line between Lots No's 3 and 4 Block "W" according to Map hereinafter referred to, running thence Southwesterly along said line of Corbett Avenue 25 feet and 5 ½ inches, more or less, to the Westerly line of said Lot No. 4; thence Northerly and along the Westerly line of said Lot No. 4; a distance of 50.22 feet, more or less, to a point distant thereon 60 feet Southerly from the Southerly line of 17th Street; thence at a right angle Easterly parallel with the Southerly line of 17th Street 25 feet; thence at a right angle Southerly 41.87 feet, more or less, to the point of beginning.

Being part of Lot No. 4 in Block "W" according to Map entitled "Part of the Park Lane Tract Map No.2", filed in the Office of the Recorder of the City and County of San Francisco, State of California January 8, 1889 and recorded in Map Book 1, Page 181.

Commonly Known As: 120 Corbett Avenue, San Francisco, CA 94114

APN: 2652-007

RECEIVED
BOARD OF SUPERVISORS
SAN FRANCISCO

2018 JUL 23 AM 10:46

City Planning Commission

Case No. 2017-009348 CUA VAR

The undersigned declare that they are hereby subscribers to this Notice of Appeal and are owners of property affected by the proposed amendment or conditional use (that is, owners of property within the area that is the subject of the application for amendment or conditional use, or within a radius of 300 feet of the exterior boundaries of the property.

If ownership has changed and assessment roll has not been amended, we attach proof of ownership change. If signing for a firm or corporation, proof of authorization to sign on behalf of the organization is attached.

Street Address, property owned	Assessor's Block & Lot	Printed Name of Owner(s)	Original Signature of Owner(s)
1. <u>3041 MARKET</u>	<u>265 8078</u>	<u>Gr. Boe</u>	<u>[Signature]</u>
2. <u>3049 MARKET</u>	<u>265 8045</u>	<u>C Ratajski</u>	<u>[Signature]</u>
3. <u>3053 MARKET</u>	<u>265 8060</u>	<u>STEPHEN KIRWAN, I</u>	<u>[Signature]</u>
4. <u>4610 18th ST</u>	<u>265 8068</u>	<u>Valerie Barall</u>	<u>[Signature]</u>
5. <u>4612 18th ST</u>	<u>265 8069</u>	<u>Wm [Signature]</u>	<u>[Signature]</u>
6. _____	_____	_____	_____
7. _____	_____	_____	_____
8. _____	_____	_____	_____
9. _____	_____	_____	_____
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17. _____	_____	_____	_____
18. _____	_____	_____	_____
19. _____	_____	_____	_____
20. _____	_____	_____	_____
21. _____	_____	_____	_____
22. _____	_____	_____	_____

2658/060
3053 Market
KIRWAN

by:

San Francisco, CA 94114

and when recorded mail to:
Stephen V. Kirwan
3053 Market Street
San Francisco, CA 94114

Mail Tax Statement To:
same as above

San Francisco Assessor-Recorder
Mabel S. Teng, Assessor-Recorder
DOC- 2004-H784795-00
Check Number 1270
Wednesday, AUG 11, 2004 13:01:15
Ttl Pd \$15.00 Nbr-0002551218
REEL I699 IMAGE 0321
0J1/JL/1-3

SPACE ABOVE THIS LINE FOR RECORDER'S USE

GRANT DEED

The undersigned grantor declares:

Documentary transfer tax is NONE. Conveyance transferring grantor's interest to his revocable living trust and not pursuant to sale.

APN: Block 2658 Lot 60

Property Address: 3053 Market Street, San Francisco, California

For no consideration, STEPHEN V. KIRWAN, an unmarried man, as his sole and separate property, hereby GRANTS to STEPHEN V. KIRWAN, as Trustee for the STEPHEN V. KIRWAN TRUST, created by a Declaration of Trust dated August 9, 2004, the following described real property situated in the City and Country of San Francisco, State of California:

PARCEL A:

Condominium Unit No. 1, Lot No. 60, as shown upon the Condominium Map and diagrammatic floor plan entitled, "Parcel Map of 3053 - 3055 Market Street, a Condominium, Being a Resubdivision of the a portion of Lot 14, and all of Lot 43, in Block "B" of that certain map entitled "Map of a portion of Park Lane Tract, between 17th and 18th Streets, San Francisco, California", recorded April 22, 1885 in Book "C" and "D" of Maps, at page 147, in the office the the Recorder of the City and County of San Francisco, State of California, also being a resubdivision of Lot 44, being a portion of

Assessor's Block 265B" which was filed for record on June 3, 1996 in Condominium Map Book 50, at pages 7 - 9, inclusive in the office of the Recorder of the City and County of San Francisco, State of California (referred to herein as the "Map") and as further defined in the Declaration of Covenants, Conditions and Restriction of 3053 - 3055 Market Street Homeowners Association, recorded on June 3, 1996, Book G645, Page 532 and following, Official Records of the City and County of San Francisco, State of California, (referred to herein as "the Declaration")

EXCEPTING THEREFROM any portion of the common area lying within said Unit.

ALSO EXCEPTING THEREFROM:

(a) Easements through said Unit, appurtenant to the common area and all other Units, for support and repair of the common area and all other Units.

(b) Easements, appurtenant to the common area for encroachment upon the air space of the Unit by those portions of the common area located within the Unit.

PARCEL B:

An undivided 50% interest in and to the Common Area as shown on the Map and defined in the Declaration, reserving therefrom the following:

(a) Exclusive easements, other than PARCEL C, as shown on the Map and reserved by Grantor to Units for use as defined in the Declaration; and

(b) Non-exclusive easement appurtenant to all units for ingress and egress, support, repair and maintenance.

PARCEL C:

The following easements appurtenant to Parcel A above as set forth and defined in the Declaration:

(a) The exclusive easement to use the Deck Area designated as D-1 on the Map.

4784795

(b) The exclusive easement to use the Parking Area designated as P-1 on the Map.

PARCEL D:

A nonexclusive easement appurtenant to PARCEL A for support, repair and maintenance and for ingress and egress through the Common Area in accordance with California Civil Code Section 1361(a).

PARCEL E:

Encroachment easement appurtenant to the Unit in accordance with the provisions of the Declaration.

This conveyance is to a revocable trust created by the grantor and does not constitute a change of ownership and is not subject to reassessment pursuant to Revenue and Taxation Code section 62.

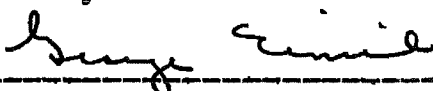
Dated: August 9, 2004


STEPHEN V. KIRWAN

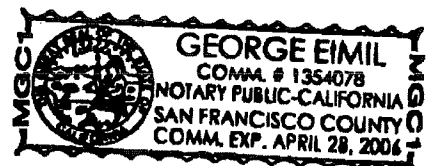
State of California)
County of San Francisco)

On August 9, 2004, before me, George Eimil, a notary public, in and for the state, personally appeared STEPHEN V. KIRWAN, personally known to me to be the person whose name is subscribed to the within instrument and acknowledged to me that he executed the same in his authorized capacity and that by his signature on the instrument the person, or the entity upon behalf of which the person acted, executed the instrument.

WITNESS my hand and official seal


Signature 

(Seal)



2658/069
4612 18th St.
SALIT

AND WHEN RECORDED MAIL TO
William S. Salit
4612 18th Street
San Francisco, California 94114


San Francisco Assessor-Recorder
Phil Ting, Assessor-Recorder
DOC- 2006-1256569-00
Check Number 1882
Tuesday, SEP 19, 2006 10:31:11
Ttl Pd \$12.00 Nbr-0003082884
REEL J228 IMAGE 0384
okc/KC/1-2

APN: 19-2658-69-02, Lot 69, Block 2658

Space above line for Recorder's Use
NO TAX DUE.

GRANT DEED

Not pursuant to sale. Transfer into revocable living trust. Cal. Rev. & Tax. Code 11911 *et seq.*
Documentary transfer tax is NONE.

_ Unincorporated area X City of San Francisco

MAIL TAX STATEMENTS TO William S. Salit, 4612 18th Street, San Francisco, California 94114

FOR NO CONSIDERATION BETWEEN THE PARTIES,

GRANTOR WILLIAM S. SALIT, an unmarried man,

GRANTS TO WILLIAM S. SALIT, as Trustee, or his Successors in Trust, under the WILLIAM SALIT
LIVING TRUST dated August 31, 2006, and any amendments thereto, as to his interest

That real property in the City of San Francisco, County of San Francisco, State of California, described in Exhibit
"A" attached hereto and incorporated herein.

Commonly known as 4612 18th Street, San Francisco, California 94114

Dated: August 31, 2006


William S. Salit

State of California)

) ss

County of San Francisco)

On August 31, 2006, before me, Alma Soongi Beck, a notary public, personally appeared WILLIAM S.
SALIT, personally known to me (or proved to me on the basis of satisfactory evidence) to be the person
whose name is subscribed to the within instrument and acknowledged to me that he executed the same in
his authorized capacity, and that by his signature on the instrument, the person, or the entity upon behalf
of which the person acted, executed the instrument.

WITNESS my hand and official seal.

Signature  (SEAL)



EXHIBIT A

PARCEL 1:

CONDOMINIUM UNIT NO. 4612 (LOT 69) AS SHOWN UPON THE CONDOMINIUM MAP AND DIAGRAMMATIC FLOOR PLAN ENTITLED "PARCEL MAP OF 4610-4612 18TH STREET, A RESIDENTIAL CONDOMINIUM PROJECT" WHICH WAS FILED FOR RECORD ON JUNE 23, 2005 IN CONDOMINIUM MAP BOOK 91, AT PAGES 25 TO 27, INCLUSIVE, IN THE OFFICE OF THE RECORDER OF THE CITY AND COUNTY OF SAN FRANCISCO, STATE OF CALIFORNIA (REFERRED TO HEREIN AS "THE MAP"), AND AS FURTHER DEFINED IN THE DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTIONS OF 4610-4612 18TH STREET HOMEOWNERS ASSOCIATION RECORDED ON JUNE 24, 2005, AS DOCUMENT NO. 2005-H978827 IN BOOK/REEL 1918, PAGE/IMAGE 0097, OFFICIAL RECORDS OF THE CITY AND COUNTY OF SAN FRANCISCO, STATE OF CALIFORNIA (REFERRED TO HEREIN AS "THE DECLARATION").

EXCEPTING THEREFROM, ANY PORTION OF THE COMMON AREA LYING WITHIN SAID UNIT.

2658/079
3043 Market
Barry

20169K36000100004
San Francisco Assessor-Recorder
Carmen Chu, Assessor-Recorder
DOC 2016-K360001-00
Acct 6002-First American Title Co.- Redwood City
Friday, NOV 18, 2016 12:20:15
Ttl Pd \$27.00 Nbr-0005496417
odm/RE/1-4

UMENT TO:

Stephen J Barry, Trustee
3043 Market Street
San Francisco, CA 94114

Space Above This Line for Recorder's Use Only

A.P.N.: LOT 079 AND BLOCK 2658

File No.: 3802-5282476 (nlc)

Situs Address: 3043 Market Street, San Francisco, CA 94114

Property Address: **3043 Market Street, San Francisco, CA 94114**

Lot Number: 079

Block Number: 2658

GRANT DEED

The Undersigned Grantor(s) Declare(s): DOCUMENTARY TRANSFER TAX \$0 CITY TRANSFER TAX \$0
SURVEY MONUMENT FEE \$

- [] computed on the consideration or full value of property conveyed, OR
[] computed on the consideration or full value less value of liens and/or encumbrances remaining at time of sale,
[] unincorporated area; [X] City of **San Francisco**, and
[X] Exempt from transfer tax; Reason: **correct of Vesting**

FOR A VALUABLE CONSIDERATION, receipt of which is hereby acknowledged,
Stephen J Barry, Trustee, The Stephen J. Barry 2015 Revocable Trust

hereby GRANT(s) to **Stephen J Barry, Trustee, The Stephen J. Barry 2015 Revocable Trust**, dated
March 19, 2015

the following described property in the City of **San Francisco**, County of **San Francisco**, State of **California**:

PARCEL I:

CONDOMINIUM UNIT NO. 3043 (LOT NO. 79) AS SHOWN UPON THE CONDOMINIUM PLAN RECORDED ON JANUARY 17, 2012 IN BOOK/REEL K563 AT PAGE/IMAGE 0015, DOCUMENT NO. 2012-J333409, IN THE OFFICE OF THE RECORDER OF THE CITY AND COUNTY OF SAN FRANCISCO, STATE OF CALIFORNIA (REFERRED TO HEREIN AS "THE PLAN") BEING A SUBDIVISION OF THE LAND AS SHOWN ON THAT CERTAIN MAP RECORDED ON NOVEMBER 29, 2011, IN CONDOMINIUM MAP BOOK 117 AT PAGE(S) 56 TO 57, INCLUSIVE (REFERRED TO HEREIN AS "THE MAP"), AND AS FURTHER DEFINED IN THE DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTIONS OF 3041-3043 MARKET STREET AND CONDOMINIUM PLAN OF 3041-3043 MARKET STREET RECORDED ON JANUARY 17, 2012, IN BOOK/REEL K563 AT PAGE/IMAGE 0015, DOCUMENT NO. 2012-J333409, OFFICIAL RECORDS OF THE CITY AND COUNTY OF SAN FRANCISCO, STATE OF CALIFORNIA (REFERRED TO HEREIN AS "THE DECLARATION").

EXCEPTING THEREFROM, ANY PORTION OF THE COMMON AREA LYING WITHIN SAID UNIT.

Mail Tax Statements To: **SAME AS ABOVE**

Date: 11/10/2016

PARCEL II:

AN UNDIVIDED 50% INTEREST IN AND TO THE COMMON AREA AS SHOWN AND DEFINED ON THE PLAN

PARCEL III:

(A) THE EXCLUSIVE EASEMENT TO USE THE YARD AREA(S) DESIGNATED Y-3043 ON THE PLAN.

(B) THE EXCLUSIVE EASEMENT TO USE THE STORAGE AREA(S) DESIGNATED S-A ON THE PLAN.

PARCEL IV:

A NONEXCLUSIVE EASEMENT APPURTENANT TO PARCEL I ABOVE FOR SUPPORT, REPAIR AND MAINTENANCE, AND FOR INGRESS AND EGRESS THROUGH THE COMMON AREA IN ACCORDANCE WITH CALIFORNIA CIVIL CODE SECTION 1361 (A).

PARCEL V:

ENCROACHMENT EASEMENTS APPURTENANT TO THE UNIT IN ACCORDANCE WITH THE PROVISIONS OF THE DECLARATION.

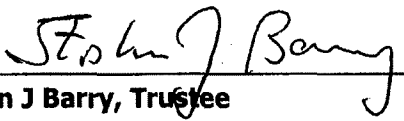
Grant Deed - continued

Date: **11/10/2016**

A.P.N.: LOT 079 AND BLOCK 2658

File No.: 3802-5282476 (nlc)

Dated: November 10, 2016



Stephen J Barry, Trustee

Date: 11/10/2016

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

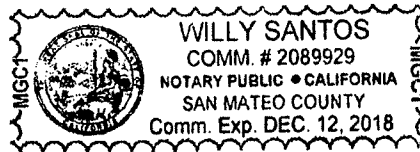
STATE OF CALIFORNIA)SSCOUNTY OF SAN FRANCISCO)On 11/14/16 before me, Willy Santos, Notary Public, personally appearedStephen J Barry

who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.

Signature

W Santos

This area for official notarial seal.

RECEIVED
BOARD OF SUPERVISORS
SAN FRANCISCO

2018 JUL 23 AM 10:46

City Planning Commission
Case No. 2017-009348 WA

BY BA
The undersigned declare that they are hereby subscribers to this Notice of Appeal and are owners of property affected by the proposed amendment or conditional use (that is, owners of property within the area that is the subject of the application for amendment or conditional use, or within a radius of 300 feet of the exterior boundaries of the property).

If ownership has changed and assessment roll has not been amended, we attach proof of ownership change. If signing for a firm or corporation, proof of authorization to sign on behalf of the organization is attached.

	Street Address, property owned	Assessor's Block & Lot	Printed Name of Owner(s)	Original Signature of Owner(s)
1.	3043 MARKET	265 8079	STEPHEN J BARRY	<u>Stephen J Barry, the</u>
2.				
3.				
4.				
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RECEIVED
BOARD OF SUPERVISORS
SAN FRANCISCO

City Planning Commission

Case No. 2017-009348 CUA

2018 JUL 23 AM 10:46

The undersigned declare that they are hereby subscribers to this Notice of Appeal and are owners of property affected by the proposed amendment or conditional use (that is, owners of property within the area that is the subject of the application for amendment or conditional use, or within a radius of 300 feet of the exterior boundaries of the property).

If ownership has changed and assessment roll has not been amended, we attach proof of ownership change. If signing for a firm or corporation, proof of authorization to sign on behalf of the organization is attached.

	Street Address, property owned	Assessor's Block & Lot	Printed Name of Owner(s)	Original Signature of Owner(s)
1.	<u>3041 MARKET</u>	<u>265 8078</u>	<u>GORDON M BOE</u>	<u>* [Signature]</u>
2.	_____	_____	_____	_____
3.	_____	_____	_____	_____
4.	_____	_____	_____	_____
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RECEIVED
BOARD OF SUPERVISORS
SAN FRANCISCO

2018 JUL 23 AM 10:46

City Planning Commission

Case No. 2017 009348 CUA VAR

The undersigned declare that they are hereby subscribers to this Notice of Appeal and are owners of property affected by the proposed amendment or conditional use (that is, owners of property within the area that is the subject of the application for amendment or conditional use, or within a radius of 300 feet of the exterior boundaries of the property.

If ownership has changed and assessment roll has not been amended, we attach proof of ownership change. If signing for a firm or corporation, proof of authorization to sign on behalf of the organization is attached.

	Street Address, property owned	Assessor's Block & Lot	Printed Name of Owner(s)	Original Signature of Owner(s)
1.	<u>4630 18TH ST</u>	<u>2658073</u>	<u>THOMAS LUKENS</u>	<u>[Signature]</u>
2.	<u>4630 18TH</u>	<u>2658073</u>	<u>Leslie Sunada</u>	<u>[Signature]</u>
3.	_____	_____	_____	_____
4.	_____	_____	_____	_____
5.	_____	_____	_____	_____
6.	_____	_____	_____	_____
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19.	_____	_____	_____	_____
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21.	_____	_____	_____	_____
22.	_____	_____	_____	_____

2658/073
4630 18th St.
SUNADA / LUKENS

6200 PARK AVE
DES MOINES, IA 50321

Property Address: 4630 18th ST, San
Francisco, CA 94114-1834

Parcel Number: 2658/073

20179K51497500024
San Francisco Assessor-Recorder
Carmen Chu, Assessor-Recorder
DOC 2017-K514975-00
Acct 2005-Fidelity Title Company Concord
Tuesday, SEP 19, 2017 08:35:14
Ttl Pd \$87.00 Nbr-0005683729
oar/RE/1-24

Deed of Trust

Definitions. Words used in multiple sections of this document are defined below and other words are defined in Sections 3, 11, 13, 18, 20 and 21. Certain rules regarding the usage of words used in this document are also provided in Section 16.

(A) "*Security Instrument*" means this document, which is dated September 14, 2017, together with all Riders to this document.

(B) "*Borrower*" is Leslie M. Sunada, Trustee of the Sunada Survivors Trust, as to an undivided 93.75% interest and Thomas F. Lukens, a single man, as to an undivided 6.25% interest, as tenants in common. Borrower's address is 4351 17TH ST, SAN FRANCISCO, CA 94114-1804. Borrower is the trustor under this Security Instrument.

(C) "*Lender*" is Wells Fargo Bank, N.A.. Lender is a corporation organized and existing under the laws of United States of America. Lender's address is 101 North Phillips Avenue, Sioux Falls, SD 57104. Lender is the beneficiary under this Security Instrument.

(D) "*Trustee*" is Fidelity National Title Ins Co.

(E) "*Note*" means the promissory note signed by Borrower and dated September 14, 2017. The Note states that Borrower owes Lender seven hundred fifty five thousand and 00/100 Dollars (U.S. \$755,000.00) plus interest. Borrower has promised to pay this debt in regular Periodic Payments and to pay the debt in full not later than October 1, 2047.

(F) "*Property*" means the property that is described below under the heading "Transfer of Rights in the Property."

(G) "*Loan*" means the debt evidenced by the Note, plus interest, any prepayment charges and late charges due under the Note, and all sums due under this Security Instrument, plus interest.

(H) "*Riders*" means all Riders to this Security Instrument that are executed by Borrower. The following Riders are to be executed by Borrower [check box as applicable]:

- | | | |
|--|---|--|
| <input type="checkbox"/> Adjustable Rate Rider | <input checked="" type="checkbox"/> Condominium Rider | <input type="checkbox"/> Second Home Rider |
| <input type="checkbox"/> Balloon Rider | <input type="checkbox"/> Planned Unit Development Rider | <input type="checkbox"/> 1-4 Family Rider |
| <input type="checkbox"/> VA Rider | <input type="checkbox"/> Biweekly Payment Rider | <input checked="" type="checkbox"/> Other(s) [specify] |



Trust Rider

(I) "*Applicable Law*" means all controlling applicable federal, state and local statutes, regulations, ordinances and administrative rules and orders (that have the effect of law) as well as all applicable final, non-appealable judicial opinions.

(J) "*Community Association Dues, Fees, and Assessments*" means all dues, fees, assessments and other charges that are imposed on Borrower or the Property by a condominium association, homeowners association or similar organization.

(K) "*Electronic Funds Transfer*" means any transfer of funds, other than a transaction originated by check, draft, or similar paper instrument, which is initiated through an electronic terminal, telephonic instrument, computer, or magnetic tape so as to order, instruct, or authorize a financial institution to debit or credit an account. Such term includes, but is not limited to, point-of-sale transfers, automated teller machine transactions, transfers initiated by telephone, wire transfers, and automated clearinghouse transfers.

(L) "*Escrow Items*" means those items that are described in Section 3.

(M) "*Miscellaneous Proceeds*" means any compensation, settlement, award of damages, or proceeds paid by any third party (other than insurance proceeds paid under the coverages described in Section 5) for: (i) damage to, or destruction of, the Property; (ii) condemnation or other taking of all or any part of the Property; (iii) conveyance in lieu of condemnation; or (iv) misrepresentations of, or omissions as to, the value and/or condition of the Property.

(N) "*Mortgage Insurance*" means insurance protecting Lender against the nonpayment of, or default on, the Loan.

(O) "*Periodic Payment*" means the regularly scheduled amount due for (i) principal and interest under the Note, plus (ii) any amounts under Section 3 of this Security Instrument.

(P) "*RESPA*" means the Real Estate Settlement Procedures Act (12 U.S.C. Section 2601 et seq.) and its implementing regulation, Regulation X (12 C.F.R. Part 1024), as they might be amended from time to time, or any additional or successor legislation or regulation that governs the same subject matter. As used in this Security Instrument, RESPA refers to all requirements and restrictions that are imposed in regard to a "federally related mortgage loan" even if the Loan does not qualify as a "federally related mortgage loan" under RESPA.

(Q) "*Successor in Interest of Borrower*" means any party that has taken title to the Property, whether or not that party has assumed Borrower's obligations under the Note and/or this Security Instrument.

Transfer of Rights in the Property. This Security Instrument secures to Lender: (i) the repayment of the Loan, and all renewals, extensions and modifications of the Note; and (ii) the performance of Borrower's covenants and agreements under this Security Instrument and the Note. For this purpose, Borrower irrevocably grants and conveys to Trustee, in trust, with power of sale, the following described property located in the County [Type of Recording Jurisdiction] of San Francisco [Name of Recording Jurisdiction] SEE ATTACHED LEGAL DESCRIPTION AS Exhibit A

Parcel ID Number: 2658 073 which currently has the address of 4630 18th ST [Street] San Francisco [City], California 94114-1834 [Zip Code] ("Property Address"):

TOGETHER WITH all the improvements now or hereafter erected on the property, and all easements, appurtenances, and fixtures now or hereafter a part of the property. All replacements and additions shall also be covered by this Security Instrument. All of the foregoing is referred to in this Security Instrument as the "Property."

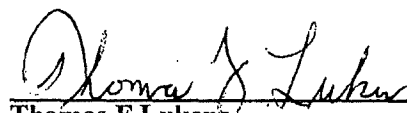
BORROWER COVENANTS that Borrower is lawfully seised of the estate hereby conveyed and has the right to grant and convey the Property and that the Property is unencumbered, except for encumbrances of record. Borrower warrants and will defend generally the title to the Property against all claims and demands, subject to any encumbrances of record.




The undersigned Borrower requests that a copy of any Notice of Default and any Notice of Sale under this Security Instrument be mailed to the Borrower at the address set forth above. A copy of any Notice of Default and any Notice of Sale will be sent only to the address contained in this recorded request. If the Borrower's address changes, a new request must be recorded.

BY SIGNING BELOW, Borrower accepts and agrees to the terms and covenants contained in this Security Instrument and in any Rider executed by Borrower and recorded with it.

Borrower

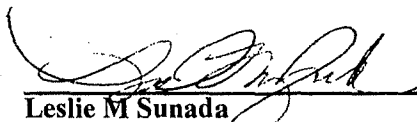

Thomas F Lukens
2017/04/14
Date
Seal

Trustee


Leslie M Sunada, Trustee of the
Sunada Survivors Trust under trust
instrument dated April 12, 2003.
9/14/17
Date
Seal

BY SIGNING BELOW, Settlor, of the Sunada Survivors Trust under trust instrument dated 04/12/2003, agrees that the term Borrower when used in this Security Instrument shall include Settlor, and the Settlor acknowledges and agrees to be bound by all of the terms and covenants contained in this Security Instrument and any Riders to this Security Instrument.

Settlor


Leslie M Sunada
9/14/17
Date
Seal



A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California

County of San Francisco

On Sept. 14, 2017, before me, E. Davis, Notary Public,
personally appeared

Thomas F. Lukens and

Leslie M. Sunada

who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

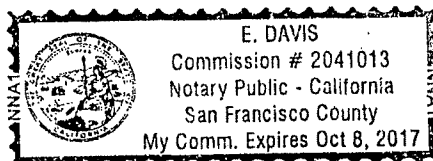
WITNESS my hand and official seal.

E. Davis

Notary Public

My commission expires:

10/08/2017



Loan Origination Organization: Wells Fargo
Bank N.A.

NMLSR ID: 399801

Loan Originator: Alber Saleh

NMLSR ID: 479975



Inter Vivos Revocable Trust Rider

Definitions Used in this Rider.

- (A) "Revocable Trust." The Sunada Survivors Trust created under trust instrument dated April 12, 2003.
(B) "Revocable Trust Trustee(s)." Leslie M Sunada, trustee(s) of the Revocable Trust.
(C) "Revocable Trust Settlor(s)." Leslie M Sunada, settlor(s), grantor(s), or trustor(s) of the Revocable Trust.
(D) "Lender." Wells Fargo Bank, N.A.
(E) "Security Instrument." The Deed of Trust and any riders thereto of the same date as this Rider given to secure the Note to Lender of the same date and covering the Property (as defined below).
(F) "Property." The property described in the Security Instrument and located at:

4630 18th ST, San Francisco, CA 94114-1834

[Property Address]

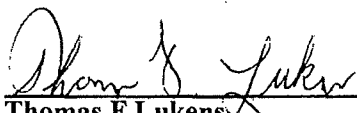
THIS INTER VIVOS REVOCABLE TRUST RIDER is made September 14, 2017, and is incorporated into and shall be deemed to amend and supplement the Security Instrument.

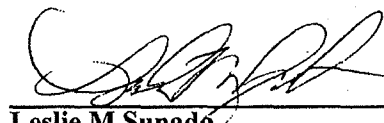
ADDITIONAL COVENANTS. In addition to the covenants and agreements made in the Security Instrument, the Revocable Trust Trustee(s), and the Revocable Trust Settlor(s) and the Lender further covenant and agree as follows:

A. Additional Borrower(s).

The term "Borrower" when used in the Security Instrument shall refer to the Revocable Trust Trustee(s), the Revocable Trust Settlor(s), and the Revocable Trust, jointly and severally. Each party signing this Rider below (whether by accepting and agreeing to the terms and covenants contained herein or by acknowledging all of the terms and covenants contained herein and agreeing to be bound thereby, or both) covenants and agrees that, whether or not such party is named as "Borrower" on the first page of the Security Instrument, each covenant and agreement and undertaking of the "Borrower" in the Security Instrument shall be such party's covenant and agreement and undertaking as "Borrower" and shall be enforceable by the Lender as if such party were named as "Borrower" in the Security Instrument.

Borrower

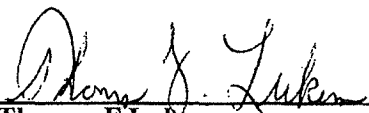

Thomas F Lukens
2017/09/14
Date
Seal


Leslie M Sunada
9/14/17
Date
Seal

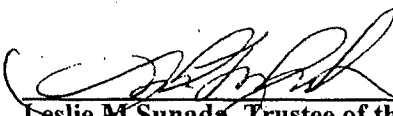


BY SIGNING BELOW, Borrower accepts and agrees to the terms and covenants contained in this Condominium Rider.

Borrower

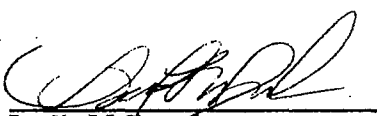

Thomas F Lukens 2017/09/14
Date
Seal

Trustee


Leslie M Sunada, Trustee of the
Sunada Survivors Trust under trust
instrument dated April 12, 2003.
Date
Seal

BY SIGNING BELOW, Settlor, of the Sunada Survivors Trust under trust instrument dated April 12, 2003, acknowledges all of the terms and covenants contained in this Security Instrument and any rider(s) thereto and agrees to be bound thereby.

Settlor


Leslie M Sunada 9/14/17
Date
Seal



THIS SECURITY INSTRUMENT combines uniform covenants for national use and non-uniform covenants with limited variations by jurisdiction to constitute a uniform security instrument covering real property.

Uniform Covenants. Borrower and Lender covenant and agree as follows:

1. Payment of Principal, Interest, Escrow Items, Prepayment Charges, and Late Charges. Borrower shall pay when due the principal of, and interest on, the debt evidenced by the Note and any prepayment charges and late charges due under the Note. Borrower shall also pay funds for Escrow Items pursuant to Section 3. Payments due under the Note and this Security Instrument shall be made in U.S. currency. However, if any check or other instrument received by Lender as payment under the Note or this Security Instrument is returned to Lender unpaid, Lender may require that any or all subsequent payments due under the Note and this Security Instrument be made in one or more of the following forms, as selected by Lender: (a) cash; (b) money order; (c) certified check, bank check, treasurer's check or cashier's check, provided any such check is drawn upon an institution whose deposits are insured by a federal agency, instrumentality, or entity; or (d) Electronic Funds Transfer.

Payments are deemed received by Lender when received at the location designated in the Note or at such other location as may be designated by Lender in accordance with the notice provisions in Section 15. Lender may return any payment or partial payment if the payment or partial payments are insufficient to bring the Loan current. Lender may accept any payment or partial payment insufficient to bring the Loan current, without waiver of any rights hereunder or prejudice to its rights to refuse such payment or partial payments in the future, but Lender is not obligated to apply such payments at the time such payments are accepted. If each Periodic Payment is applied as of its scheduled due date, then Lender need not pay interest on unapplied funds. Lender may hold such unapplied funds until Borrower makes payment to bring the Loan current. If Borrower does not do so within a reasonable period of time, Lender shall either apply such funds or return them to Borrower. If not applied earlier, such funds will be applied to the outstanding principal balance under the Note immediately prior to foreclosure. No offset or claim which Borrower might have now or in the future against Lender shall relieve Borrower from making payments due under the Note and this Security Instrument or performing the covenants and agreements secured by this Security Instrument.

2. Application of Payments or Proceeds. Except as otherwise described in this Section 2, all payments accepted and applied by Lender shall be applied in the following order of priority: (a) interest due under the Note; (b) principal due under the Note; (c) amounts due under Section 3. Such payments shall be applied to each Periodic Payment in the order in which it became due. Any remaining amounts shall be applied first to late charges, second to any other amounts due under this Security Instrument, and then to reduce the principal balance of the Note.

If Lender receives a payment from Borrower for a delinquent Periodic Payment which includes a sufficient amount to pay any late charge due, the payment may be applied to the delinquent payment and the late charge. If more than one Periodic Payment is outstanding, Lender may apply any payment received from Borrower to the repayment of the Periodic Payments if, and to the extent that, each payment can be paid in full. To the extent that any excess exists after the payment is applied to the full payment of one or more Periodic Payments, such excess may be applied to any late charges due. Voluntary prepayments shall be applied first to any prepayment charges and then as described in the Note.

Any application of payments, insurance proceeds, or Miscellaneous Proceeds to principal due under the Note shall not extend or postpone the due date, or change the amount, of the Periodic Payments.

3. Funds for Escrow Items. Borrower shall pay to Lender on the day Periodic Payments are due under the Note, until the Note is paid in full, a sum (the "Funds") to provide for payment of amounts due for: (a) taxes and assessments and other items which can attain priority over this Security Instrument as a lien or encumbrance on the Property; (b) leasehold payments or ground rents on the Property, if any; (c) premiums for any and all insurance required by Lender under Section 5; and (d) Mortgage Insurance premiums, if any, or any sums payable by Borrower to Lender in lieu of the payment of Mortgage Insurance premiums in accordance with the provisions of Section 10. These items are called "Escrow Items." At origination or at any time during the term of the Loan, Lender may require that Community Association Dues, Fees, and Assessments, if any, be escrowed by Borrower, and such dues, fees and assessments shall



be an Escrow Item. Borrower shall promptly furnish to Lender all notices of amounts to be paid under this Section. Borrower shall pay Lender the Funds for Escrow Items unless Lender waives Borrower's obligation to pay the Funds for any or all Escrow Items. Lender may waive Borrower's obligation to pay to Lender Funds for any or all Escrow Items at any time. Any such waiver may only be in writing. In the event of such waiver, Borrower shall pay directly, when and where payable, the amounts due for any Escrow Items for which payment of Funds has been waived by Lender and, if Lender requires, shall furnish to Lender receipts evidencing such payment within such time period as Lender may require. Borrower's obligation to make such payments and to provide receipts shall for all purposes be deemed to be a covenant and agreement contained in this Security Instrument, as the phrase "covenant and agreement" is used in Section 9. If Borrower is obligated to pay Escrow Items directly, pursuant to a waiver, and Borrower fails to pay the amount due for an Escrow Item, Lender may exercise its rights under Section 9 and pay such amount and Borrower shall then be obligated under Section 9 to repay to Lender any such amount. Lender may revoke the waiver as to any or all Escrow Items at any time by a notice given in accordance with Section 15 and, upon such revocation, Borrower shall pay to Lender all Funds, and in such amounts, that are then required under this Section 3.

Lender may, at any time, collect and hold Funds in an amount (a) sufficient to permit Lender to apply the Funds at the time specified under RESPA, and (b) not to exceed the maximum amount a lender can require under RESPA. Lender shall estimate the amount of Funds due on the basis of current data and reasonable estimates of expenditures of future Escrow Items or otherwise in accordance with Applicable Law.

The Funds shall be held in an institution whose deposits are insured by a federal agency, instrumentality, or entity (including Lender, if Lender is an institution whose deposits are so insured) or in any Federal Home Loan Bank. Lender shall apply the Funds to pay the Escrow Items no later than the time specified under RESPA. Lender shall not charge Borrower for holding and applying the Funds, annually analyzing the escrow account, or verifying the Escrow Items, unless Lender pays Borrower interest on the Funds and Applicable Law permits Lender to make such a charge. Unless an agreement is made in writing or Applicable Law requires interest to be paid on the Funds, Lender shall not be required to pay Borrower any interest or earnings on the Funds. Borrower and Lender can agree in writing, however, that interest shall be paid on the Funds. Lender shall give to Borrower, without charge, an annual accounting of the Funds as required by RESPA.

If there is a surplus of Funds held in escrow, as defined under RESPA, Lender shall account to Borrower for the excess funds in accordance with RESPA. If there is a shortage of Funds held in escrow, as defined under RESPA, Lender shall notify Borrower as required by RESPA, and Borrower shall pay to Lender the amount necessary to make up the shortage in accordance with RESPA, but in no more than 12 monthly payments. If there is a deficiency of Funds held in escrow, as defined under RESPA, Lender shall notify Borrower as required by RESPA, and Borrower shall pay to Lender the amount necessary to make up the deficiency in accordance with RESPA, but in no more than 12 monthly payments.

Upon payment in full of all sums secured by this Security Instrument, Lender shall promptly refund to Borrower any Funds held by Lender.

4. Charges; Liens. Borrower shall pay all taxes, assessments, charges, fines, and impositions attributable to the Property which can attain priority over this Security Instrument, leasehold payments or ground rents on the Property, if any, and Community Association Dues, Fees, and Assessments, if any. To the extent that these items are Escrow Items, Borrower shall pay them in the manner provided in Section 3.

Borrower shall promptly discharge any lien which has priority over this Security Instrument unless Borrower: (a) agrees in writing to the payment of the obligation secured by the lien in a manner acceptable to Lender, but only so long as Borrower is performing such agreement; (b) contests the lien in good faith by, or defends against enforcement of the lien in, legal proceedings which in Lender's opinion operate to prevent the enforcement of the lien while those proceedings are pending, but only until such proceedings are concluded; or (c) secures from the holder of the lien an agreement satisfactory to Lender subordinating the lien to this Security Instrument. If Lender determines that any part of the Property is subject to a lien which can attain priority over this Security Instrument, Lender may give Borrower



a notice identifying the lien. Within 10 days of the date on which that notice is given, Borrower shall satisfy the lien or take one or more of the actions set forth above in this Section 4.

Lender may require Borrower to pay a one-time charge for a real estate tax verification and/or reporting service used by Lender in connection with this Loan.

5. Property Insurance. Borrower shall keep the improvements now existing or hereafter erected on the Property insured against loss by fire, hazards included within the term "extended coverage," and any other hazards including, but not limited to, earthquakes and floods, for which Lender requires insurance. This insurance shall be maintained in the amounts (including deductible levels) and for the periods that Lender requires. What Lender requires pursuant to the preceding sentences can change during the term of the Loan. The insurance carrier providing the insurance shall be chosen by Borrower subject to Lender's right to disapprove Borrower's choice, which right shall not be exercised unreasonably. Lender may require Borrower to pay, in connection with this Loan, either: (a) a one-time charge for flood zone determination, certification and tracking services; or (b) a one-time charge for flood zone determination and certification services and subsequent charges each time remappings or similar changes occur which reasonably might affect such determination or certification. Borrower shall also be responsible for the payment of any fees imposed by the Federal Emergency Management Agency in connection with the review of any flood zone determination resulting from an objection by Borrower.

If Borrower fails to maintain any of the coverages described above, Lender may obtain insurance coverage, at Lender's option and Borrower's expense. Lender is under no obligation to purchase any particular type or amount of coverage. Therefore, such coverage shall cover Lender, but might or might not protect Borrower, Borrower's equity in the Property, or the contents of the Property, against any risk, hazard or liability and might provide greater or lesser coverage than was previously in effect. Borrower acknowledges that the cost of the insurance coverage so obtained might significantly exceed the cost of insurance that Borrower could have obtained. Any amounts disbursed by Lender under this Section 5 shall become additional debt of Borrower secured by this Security Instrument. These amounts shall bear interest at the Note rate from the date of disbursement and shall be payable, with such interest, upon notice from Lender to Borrower requesting payment.

All insurance policies required by Lender and renewals of such policies shall be subject to Lender's right to disapprove such policies, shall include a standard mortgage clause, and shall name Lender as mortgagee and/or as an additional loss payee and Borrower further agrees to generally assign rights to insurance proceeds to the holder of the Note up to the amount of the outstanding loan balance. Lender shall have the right to hold the policies and renewal certificates. If Lender requires, Borrower shall promptly give to Lender all receipts of paid premiums and renewal notices. If Borrower obtains any form of insurance coverage, not otherwise required by Lender, for damage to, or destruction of, the Property, such policy shall include a standard mortgage clause and shall name Lender as mortgagee and/or as an additional loss payee and Borrower further agrees to generally assign rights to insurance proceeds to the holder of the Note up to the amount of the outstanding loan balance.

In the event of loss, Borrower shall give prompt notice to the insurance carrier and Lender. Lender may make proof of loss if not made promptly by Borrower. Unless Lender and Borrower otherwise agree in writing, any insurance proceeds, whether or not the underlying insurance was required by Lender, shall be applied to restoration or repair of the Property, if the restoration or repair is economically feasible and Lender's security is not lessened. During such repair and restoration period, Lender shall have the right to hold such insurance proceeds until Lender has had an opportunity to inspect such Property to ensure the work has been completed to Lender's satisfaction, provided that such inspection shall be undertaken promptly. Lender may disburse proceeds for the repairs and restoration in a single payment or in a series of progress payments as the work is completed. Unless an agreement is made in writing or Applicable Law requires interest to be paid on such insurance proceeds, Lender shall not be required to pay Borrower any interest or earnings on such proceeds. Fees for public adjusters, or other third parties, retained by Borrower shall not be paid out of the insurance proceeds and shall be the sole obligation of Borrower. If the restoration or repair is not economically feasible or Lender's security would be lessened, the insurance proceeds shall be applied to the sums



secured by this Security Instrument, whether or not then due, with the excess, if any, paid to Borrower. Such insurance proceeds shall be applied in the order provided for in Section 2.

If Borrower abandons the Property, Lender may file, negotiate and settle any available insurance claim and related matters. If Borrower does not respond within 30 days to a notice from Lender that the insurance carrier has offered to settle a claim, then Lender may negotiate and settle the claim. The 30-day period will begin when the notice is given. In either event, or if Lender acquires the Property under Section 22 or otherwise, Borrower hereby assigns to Lender (a) Borrower's rights to any insurance proceeds in an amount not to exceed the amounts unpaid under the Note or this Security Instrument, and (b) any other of Borrower's rights (other than the right to any refund of unearned premiums paid by Borrower) under all insurance policies covering the Property, insofar as such rights are applicable to the coverage of the Property. Lender may use the insurance proceeds either to repair or restore the Property or to pay amounts unpaid under the Note or this Security Instrument, whether or not then due.

6. Occupancy. Borrower shall occupy, establish, and use the Property as Borrower's principal residence within 60 days after the execution of this Security Instrument and shall continue to occupy the Property as Borrower's principal residence for at least one year after the date of occupancy, unless Lender otherwise agrees in writing, which consent shall not be unreasonably withheld, or unless extenuating circumstances exist which are beyond Borrower's control.

7. Preservation, Maintenance and Protection of the Property; Inspections. Borrower shall not destroy, damage or impair the Property, allow the Property to deteriorate or commit waste on the Property. Whether or not Borrower is residing in the Property, Borrower shall maintain the Property in order to prevent the Property from deteriorating or decreasing in value due to its condition. Unless it is determined pursuant to Section 5 that repair or restoration is not economically feasible, Borrower shall promptly repair the Property if damaged to avoid further deterioration or damage. If insurance or condemnation proceeds are paid in connection with damage to, or the taking of, the Property, Borrower shall be responsible for repairing or restoring the Property only if Lender has released proceeds for such purposes. Lender may disburse proceeds for the repairs and restoration in a single payment or in a series of progress payments as the work is completed. If the insurance or condemnation proceeds are not sufficient to repair or restore the Property, Borrower is not relieved of Borrower's obligation for the completion of such repair or restoration.

Lender or its agent may make reasonable entries upon and inspections of the Property. If it has reasonable cause, Lender may inspect the interior of the improvements on the Property. Lender shall give Borrower notice at the time of or prior to such an interior inspection specifying such reasonable cause.

8. Borrower's Loan Application. Borrower shall be in default if, during the Loan application process, Borrower or any persons or entities acting at the direction of Borrower or with Borrower's knowledge or consent gave materially false, misleading, or inaccurate information or statements to Lender (or failed to provide Lender with material information) in connection with the Loan. Material representations include, but are not limited to, representations concerning Borrower's occupancy of the Property as Borrower's principal residence.

9. Protection of Lender's Interest in the Property and Rights Under this Security Instrument. If (a) Borrower fails to perform the covenants and agreements contained in this Security Instrument, (b) there is a legal proceeding that might significantly affect Lender's interest in the Property and/or rights under this Security Instrument (such as a proceeding in bankruptcy, probate, for condemnation or forfeiture, for enforcement of a lien which may attain priority over this Security Instrument or to enforce laws or regulations), or (c) Borrower has abandoned the Property, then Lender may do and pay for whatever is reasonable or appropriate to protect Lender's interest in the Property and rights under this Security Instrument, including protecting and/or assessing the value of the Property, and securing and/or repairing the Property. Lender's actions can include, but are not limited to: (a) paying any sums secured by a lien which has priority over this Security Instrument; (b) appearing in court; and (c) paying reasonable attorneys' fees to protect its interest in the Property and/or rights under this Security Instrument, including its secured position in a bankruptcy proceeding. Securing the Property includes, but is not limited to, entering the Property to make repairs, change locks, replace or board up doors and windows, drain water from pipes, eliminate building or



other code violations or dangerous conditions, and have utilities turned on or off. Although Lender may take action under this Section 9, Lender does not have to do so and is not under any duty or obligation to do so. It is agreed that Lender incurs no liability for not taking any or all actions authorized under this Section 9.

Any amounts disbursed by Lender under this Section 9 shall become additional debt of Borrower secured by this Security Instrument. These amounts shall bear interest at the Note rate from the date of disbursement and shall be payable, with such interest, upon notice from Lender to Borrower requesting payment.

If this Security Instrument is on a leasehold, Borrower shall comply with all the provisions of the lease. If Borrower acquires fee title to the Property, the leasehold and the fee title shall not merge unless Lender agrees to the merger in writing.

10. Mortgage Insurance. If Lender required Mortgage Insurance as a condition of making the Loan, Borrower shall pay the premiums required to maintain the Mortgage Insurance in effect. If, for any reason, the Mortgage Insurance coverage required by Lender ceases to be available from the mortgage insurer that previously provided such insurance and Borrower was required to make separately designated payments toward the premiums for Mortgage Insurance, Borrower shall pay the premiums required to obtain coverage substantially equivalent to the Mortgage Insurance previously in effect, at a cost substantially equivalent to the cost to Borrower of the Mortgage Insurance previously in effect, from an alternate mortgage insurer selected by Lender. If substantially equivalent Mortgage Insurance coverage is not available, Borrower shall continue to pay to Lender the amount of the separately designated payments that were due when the insurance coverage ceased to be in effect. Lender will accept, use and retain these payments as a non-refundable loss reserve in lieu of Mortgage Insurance. Such loss reserve shall be non-refundable, notwithstanding the fact that the Loan is ultimately paid in full, and Lender shall not be required to pay Borrower any interest or earnings on such loss reserve. Lender can no longer require loss reserve payments if Mortgage Insurance coverage (in the amount and for the period that Lender requires) provided by an insurer selected by Lender again becomes available, is obtained, and Lender requires separately designated payments toward the premiums for Mortgage Insurance. If Lender required Mortgage Insurance as a condition of making the Loan and Borrower was required to make separately designated payments toward the premiums for Mortgage Insurance, Borrower shall pay the premiums required to maintain Mortgage Insurance in effect, or to provide a non-refundable loss reserve, until Lender's requirement for Mortgage Insurance ends in accordance with any written agreement between Borrower and Lender providing for such termination or until termination is required by Applicable Law. Nothing in this Section 10 affects Borrower's obligation to pay interest at the rate provided in the Note.

Mortgage Insurance reimburses Lender (or any entity that purchases the Note) for certain losses it may incur if Borrower does not repay the Loan as agreed. Borrower is not a party to the Mortgage Insurance.

Mortgage insurers evaluate their total risk on all such insurance in force from time to time, and may enter into agreements with other parties that share or modify their risk, or reduce losses. These agreements are on terms and conditions that are satisfactory to the mortgage insurer and the other party (or parties) to these agreements. These agreements may require the mortgage insurer to make payments using any source of funds that the mortgage insurer may have available (which may include funds obtained from Mortgage Insurance premiums).

As a result of these agreements, Lender, any purchaser of the Note, another insurer, any reinsurer, any other entity, or any affiliate of any of the foregoing, may receive (directly or indirectly) amounts that derive from (or might be characterized as) a portion of Borrower's payments for Mortgage Insurance, in exchange for sharing or modifying the mortgage insurer's risk, or reducing losses. If such agreement provides that an affiliate of Lender takes a share of the insurer's risk in exchange for a share of the premiums paid to the insurer, the arrangement is often termed "captive reinsurance." Further:

(A) Any such agreements will not affect the amounts that Borrower has agreed to pay for Mortgage Insurance, or any other terms of the Loan. Such agreements will not increase the amount Borrower will owe for Mortgage Insurance, and they will not entitle Borrower to any refund.



(B) Any such agreements will not affect the rights Borrower has - if any - with respect to the Mortgage Insurance under the Homeowners Protection Act of 1998 or any other law. These rights may include the right to receive certain disclosures, to request and obtain cancellation of the Mortgage Insurance, to have the Mortgage Insurance terminated automatically, and/or to receive a refund of any Mortgage Insurance premiums that were unearned at the time of such cancellation or termination.

11. Assignment of Miscellaneous Proceeds; Forfeiture. All Miscellaneous Proceeds are hereby assigned to and shall be paid to Lender.

If the Property is damaged, such Miscellaneous Proceeds shall be applied to restoration or repair of the Property, if the restoration or repair is economically feasible and Lender's security is not lessened. During such repair and restoration period, Lender shall have the right to hold such Miscellaneous Proceeds until Lender has had an opportunity to inspect such Property to ensure the work has been completed to Lender's satisfaction, provided that such inspection shall be undertaken promptly. Lender may pay for the repairs and restoration in a single disbursement or in a series of progress payments as the work is completed. Unless an agreement is made in writing or Applicable Law requires interest to be paid on such Miscellaneous Proceeds, Lender shall not be required to pay Borrower any interest or earnings on such Miscellaneous Proceeds. If the restoration or repair is not economically feasible or Lender's security would be lessened, the Miscellaneous Proceeds shall be applied to the sums secured by this Security Instrument, whether or not then due, with the excess, if any, paid to Borrower. Such Miscellaneous Proceeds shall be applied in the order provided for in Section 2.

In the event of a total taking, destruction, or loss in value of the Property, the Miscellaneous Proceeds shall be applied to the sums secured by this Security Instrument, whether or not then due, with the excess, if any, paid to Borrower.

In the event of a partial taking, destruction, or loss in value of the Property in which the fair market value of the Property immediately before the partial taking, destruction, or loss in value is equal to or greater than the amount of the sums secured by this Security Instrument immediately before the partial taking, destruction, or loss in value, unless Borrower and Lender otherwise agree in writing, the sums secured by this Security Instrument shall be reduced by the amount of the Miscellaneous Proceeds multiplied by the following fraction: (a) the total amount of the sums secured immediately before the partial taking, destruction, or loss in value divided by (b) the fair market value of the Property immediately before the partial taking, destruction, or loss in value. Any balance shall be paid to Borrower.

In the event of a partial taking, destruction, or loss in value of the Property in which the fair market value of the Property immediately before the partial taking, destruction, or loss in value is less than the amount of the sums secured immediately before the partial taking, destruction, or loss in value, unless Borrower and Lender otherwise agree in writing, the Miscellaneous Proceeds shall be applied to the sums secured by this Security Instrument whether or not the sums are then due.

If the Property is abandoned by Borrower, or if, after notice by Lender to Borrower that the Opposing Party (as defined in the next sentence) offers to make an award to settle a claim for damages, Borrower fails to respond to Lender within 30 days after the date the notice is given, Lender is authorized to collect and apply the Miscellaneous Proceeds either to restoration or repair of the Property or to the sums secured by this Security Instrument, whether or not then due. "Opposing Party" means the third party that owes Borrower Miscellaneous Proceeds or the party against whom Borrower has a right of action in regard to Miscellaneous Proceeds.

Borrower shall be in default if any action or proceeding, whether civil or criminal, is begun that, in Lender's judgment, could result in forfeiture of the Property or other material impairment of Lender's interest in the Property or rights under this Security Instrument. Borrower can cure such a default and, if acceleration has occurred, reinstate as provided in Section 19, by causing the action or proceeding to be dismissed with a ruling that, in Lender's judgment, precludes forfeiture of the Property or other material impairment of Lender's interest in the Property or rights under this Security Instrument. The proceeds of any award or claim for damages that are attributable to the impairment of Lender's interest in the Property are hereby assigned and shall be paid to Lender.



All Miscellaneous Proceeds that are not applied to restoration or repair of the Property shall be applied in the order provided for in Section 2.

12. Borrower Not Released; Forbearance By Lender Not a Waiver. Extension of the time for payment or modification of amortization of the sums secured by this Security Instrument granted by Lender to Borrower or any Successor in Interest of Borrower shall not operate to release the liability of Borrower or any Successors in Interest of Borrower. Lender shall not be required to commence proceedings against any Successor in Interest of Borrower or to refuse to extend time for payment or otherwise modify amortization of the sums secured by this Security Instrument by reason of any demand made by the original Borrower or any Successors in Interest of Borrower. Any forbearance by Lender in exercising any right or remedy including, without limitation, Lender's acceptance of payments from third persons, entities or Successors in Interest of Borrower or in amounts less than the amount then due, shall not be a waiver of or preclude the exercise of any right or remedy.

13. Joint and Several Liability; Co-signers; Successors and Assigns Bound. Borrower covenants and agrees that Borrower's obligations and liability shall be joint and several. However, any Borrower who co-signs this Security Instrument but does not execute the Note (a "co-signer"): (a) is co-signing this Security Instrument only to mortgage, grant and convey the co-signer's interest in the Property under the terms of this Security Instrument; (b) is not personally obligated to pay the sums secured by this Security Instrument; and (c) agrees that Lender and any other Borrower can agree to extend, modify, forbear or make any accommodations with regard to the terms of this Security Instrument or the Note without the co-signer's consent.

Subject to the provisions of Section 18, any Successor in Interest of Borrower who assumes Borrower's obligations under this Security Instrument in writing, and is approved by Lender, shall obtain all of Borrower's rights and benefits under this Security Instrument. Borrower shall not be released from Borrower's obligations and liability under this Security Instrument unless Lender agrees to such release in writing. The covenants and agreements of this Security Instrument shall bind (except as provided in Section 20) and benefit the successors and assigns of Lender.

14. Loan Charges. Lender may charge Borrower fees for services performed in connection with Borrower's default, for the purpose of protecting Lender's interest in the Property and rights under this Security Instrument, including, but not limited to, attorneys' fees, property inspection and valuation fees. In regard to any other fees, the absence of express authority in this Security Instrument to charge a specific fee to Borrower shall not be construed as a prohibition on the charging of such fee. Lender may not charge fees that are expressly prohibited by this Security Instrument or by Applicable Law.

If the Loan is subject to a law which sets maximum loan charges, and that law is finally interpreted so that the interest or other loan charges collected or to be collected in connection with the Loan exceed the permitted limits, then: (a) any such loan charge shall be reduced by the amount necessary to reduce the charge to the permitted limit; and (b) any sums already collected from Borrower which exceeded permitted limits will be refunded to Borrower. Lender may choose to make this refund by reducing the principal owed under the Note or by making a direct payment to Borrower. If a refund reduces principal, the reduction will be treated as a partial prepayment without any prepayment charge (whether or not a prepayment charge is provided for under the Note). Borrower's acceptance of any such refund made by direct payment to Borrower will constitute a waiver of any right of action Borrower might have arising out of such overcharge.

15. Notices. All notices given by Borrower or Lender in connection with this Security Instrument must be in writing. Any notice to Borrower in connection with this Security Instrument shall be deemed to have been given to Borrower when mailed by first class mail or when actually delivered to Borrower's notice address if sent by other means. Notice to any one Borrower shall constitute notice to all Borrowers unless Applicable Law expressly requires otherwise. The notice address shall be the Property Address unless Borrower has designated a substitute notice address by notice to Lender. Borrower shall promptly notify Lender of Borrower's change of address. If Lender specifies a procedure for reporting Borrower's change of address, then Borrower shall only report a change of address through that specified procedure. There may be only one designated notice address under this Security Instrument at any one time. Any



notice to Lender shall be given by delivering it or by mailing it by first class mail to Lender's address stated herein unless Lender has designated another address by notice to Borrower. Any notice in connection with this Security Instrument shall not be deemed to have been given to Lender until actually received by Lender. If any notice required by this Security Instrument is also required under Applicable Law, the Applicable Law requirement will satisfy the corresponding requirement under this Security Instrument.

16. Governing Law; Severability; Rules of Construction. This Security Instrument shall be governed by federal law and the law of the jurisdiction in which the Property is located. All rights and obligations contained in this Security Instrument are subject to any requirements and limitations of Applicable Law. Applicable Law might explicitly or implicitly allow the parties to agree by contract or it might be silent, but such silence shall not be construed as a prohibition against agreement by contract. In the event that any provision or clause of this Security Instrument or the Note conflicts with Applicable Law, such conflict shall not affect other provisions of this Security Instrument or the Note which can be given effect without the conflicting provision.

As used in this Security Instrument: (a) words of the masculine gender shall mean and include corresponding neuter words or words of the feminine gender; (b) words in the singular shall mean and include the plural and vice versa; and (c) the word "may" gives sole discretion without any obligation to take any action.

17. Borrower's Copy. Borrower shall be given one copy of the Note and of this Security Instrument.

18. Transfer of the Property or a Beneficial Interest in Borrower. As used in this Section 18, "Interest in the Property" means any legal or beneficial interest in the Property, including, but not limited to, those beneficial interests transferred in a bond for deed, contract for deed, installment sales contract or escrow agreement, the intent of which is the transfer of title by Borrower at a future date to a purchaser.

If all or any part of the Property or any Interest in the Property is sold or transferred (or if Borrower is not a natural person and a beneficial interest in Borrower is sold or transferred) without Lender's prior written consent, Lender may require immediate payment in full of all sums secured by this Security Instrument. However, this option shall not be exercised by Lender if such exercise is prohibited by Applicable Law.

If Lender exercises this option, Lender shall give Borrower notice of acceleration. The notice shall provide a period of not less than 30 days from the date the notice is given in accordance with Section 15 within which Borrower must pay all sums secured by this Security Instrument. If Borrower fails to pay these sums prior to the expiration of this period, Lender may invoke any remedies permitted by this Security Instrument without further notice or demand on Borrower.

19. Borrower's Right to Reinstate After Acceleration. If Borrower meets certain conditions, Borrower shall have the right to have enforcement of this Security Instrument discontinued at any time prior to the earliest of: (a) five days before sale of the Property pursuant to any power of sale contained in this Security Instrument; (b) such other period as Applicable Law might specify for the termination of Borrower's right to reinstate; or (c) entry of a judgment enforcing this Security Instrument. Those conditions are that Borrower: (a) pays Lender all sums which then would be due under this Security Instrument and the Note as if no acceleration had occurred; (b) cures any default of any other covenants or agreements; (c) pays all expenses incurred in enforcing this Security Instrument, including, but not limited to, reasonable attorneys' fees, property inspection and valuation fees, and other fees incurred for the purpose of protecting Lender's interest in the Property and rights under this Security Instrument; and (d) takes such action as Lender may reasonably require to assure that Lender's interest in the Property and rights under this Security Instrument, and Borrower's obligation to pay the sums secured by this Security Instrument, shall continue unchanged. Lender may require that Borrower pay such reinstatement sums and expenses in one or more of the following forms, as selected by Lender: (a) cash; (b) money order; (c) certified check, bank check, treasurer's check or cashier's check, provided any such check is drawn upon an institution whose deposits are insured by a federal agency, instrumentality or entity; or (d) Electronic Funds Transfer. Upon reinstatement by Borrower, this Security Instrument and obligations secured hereby shall remain fully effective as if no acceleration had occurred. However, this right to reinstate shall not apply in the case of acceleration under Section 18.



20. Sale of Note; Change of Loan Servicer; Notice of Grievance. The Note or a partial interest in the Note (together with this Security Instrument) can be sold one or more times without prior notice to Borrower. A sale might result in a change in the entity (known as the "Loan Servicer") that collects Periodic Payments due under the Note and this Security Instrument and performs other mortgage loan servicing obligations under the Note, this Security Instrument, and Applicable Law. There also might be one or more changes of the Loan Servicer unrelated to a sale of the Note. If there is a change of the Loan Servicer, Borrower will be given written notice of the change which will state the name and address of the new Loan Servicer, the address to which payments should be made and any other information RESPA requires in connection with a notice of transfer of servicing. If the Note is sold and thereafter the Loan is serviced by a Loan Servicer other than the purchaser of the Note, the mortgage loan servicing obligations to Borrower will remain with the Loan Servicer or be transferred to a successor Loan Servicer and are not assumed by the Note purchaser unless otherwise provided by the Note purchaser.

Neither Borrower nor Lender may commence, join, or be joined to any judicial action (as either an individual litigant or the member of a class) that arises from the other party's actions pursuant to this Security Instrument or that alleges that the other party has breached any provision of, or any duty owed by reason of, this Security Instrument, until such Borrower or Lender has notified the other party (with such notice given in compliance with the requirements of Section 15) of such alleged breach and afforded the other party hereto a reasonable period after the giving of such notice to take corrective action. If Applicable Law provides a time period which must elapse before certain action can be taken, that time period will be deemed to be reasonable for purposes of this paragraph. The notice of acceleration and opportunity to cure given to Borrower pursuant to Section 22 and the notice of acceleration given to Borrower pursuant to Section 18 shall be deemed to satisfy the notice and opportunity to take corrective action provisions of this Section 20.

21. Hazardous Substances. As used in this Section 21: (a) "Hazardous Substances" are those substances defined as toxic or hazardous substances, pollutants, or wastes by Environmental Law and the following substances: gasoline, kerosene, other flammable or toxic petroleum products, toxic pesticides and herbicides, volatile solvents, materials containing asbestos or formaldehyde, and radioactive materials; (b) "Environmental Law" means federal laws and laws of the jurisdiction where the Property is located that relate to health, safety or environmental protection; (c) "Environmental Cleanup" includes any response action, remedial action, or removal action, as defined in Environmental Law; and (d) an "Environmental Condition" means a condition that can cause, contribute to, or otherwise trigger an Environmental Cleanup.

Borrower shall not cause or permit the presence, use, disposal, storage, or release of any Hazardous Substances, or threaten to release any Hazardous Substances, on or in the Property. Borrower shall not do, nor allow anyone else to do, anything affecting the Property (a) that is in violation of any Environmental Law, (b) which creates an Environmental Condition, or (c) which, due to the presence, use, or release of a Hazardous Substance, creates a condition that adversely affects the value of the Property. The preceding two sentences shall not apply to the presence, use, or storage on the Property of small quantities of Hazardous Substances that are generally recognized to be appropriate to normal residential uses and to maintenance of the Property (including, but not limited to, hazardous substances in consumer products).

Borrower shall promptly give Lender written notice of (a) any investigation, claim, demand, lawsuit or other action by any governmental or regulatory agency or private party involving the Property and any Hazardous Substance or Environmental Law of which Borrower has actual knowledge, (b) any Environmental Condition, including but not limited to, any spilling, leaking, discharge, release or threat of release of any Hazardous Substance, and (c) any condition caused by the presence, use or release of a Hazardous Substance which adversely affects the value of the Property. If Borrower learns, or is notified by any governmental or regulatory authority, or any private party, that any removal or other remediation of any Hazardous Substance affecting the Property is necessary, Borrower shall promptly take all necessary remedial actions in accordance with Environmental Law. Nothing herein shall create any obligation on Lender for an Environmental Cleanup.



Non-Uniform Covenants. Borrower and Lender further covenant and agree as follows:

22. Acceleration; Remedies. Lender shall give notice to Borrower prior to acceleration following Borrower's breach of any covenant or agreement in this Security Instrument (but not prior to acceleration under Section 18 unless Applicable Law provides otherwise). The notice shall specify: (a) the default; (b) the action required to cure the default; (c) a date, not less than 30 days from the date the notice is given to Borrower, by which the default must be cured; and (d) that failure to cure the default on or before the date specified in the notice may result in acceleration of the sums secured by this Security Instrument and sale of the Property. The notice shall further inform Borrower of the right to reinstate after acceleration and the right to bring a court action to assert the non-existence of a default or any other defense of Borrower to acceleration and sale. If the default is not cured on or before the date specified in the notice, Lender at its option may require immediate payment in full of all sums secured by this Security Instrument without further demand and may invoke the power of sale and any other remedies permitted by Applicable Law. Lender shall be entitled to collect all expenses incurred in pursuing the remedies provided in this Section 22, including, but not limited to, reasonable attorneys' fees and costs of title evidence.

If Lender invokes the power of sale, Lender shall execute or cause Trustee to execute a written notice of the occurrence of an event of default and of Lender's election to cause the Property to be sold. Trustee shall cause this notice to be recorded in each county in which any part of the Property is located. Lender or Trustee shall mail copies of the notice as prescribed by Applicable Law to Borrower and to the other persons prescribed by Applicable Law. Trustee shall give public notice of sale to the persons and in the manner prescribed by Applicable Law. After the time required by Applicable Law, Trustee, without demand on Borrower, shall sell the Property at public auction to the highest bidder at the time and place and under the terms designated in the notice of sale in one or more parcels and in any order Trustee determines. Trustee may postpone sale of all or any parcel of the Property by public announcement at the time and place of any previously scheduled sale. Lender or its designee may purchase the Property at any sale.

Trustee shall deliver to the purchaser Trustee's deed conveying the Property without any covenant or warranty, expressed or implied. The recitals in the Trustee's deed shall be prima facie evidence of the truth of the statements made therein. Trustee shall apply the proceeds of the sale in the following order: (a) to all expenses of the sale, including, but not limited to, reasonable Trustee's and attorneys' fees; (b) to all sums secured by this Security Instrument; and (c) any excess to the person or persons legally entitled to it.

23. Reconveyance. Upon payment of all sums secured by this Security Instrument, Lender shall request Trustee to reconvey the Property and shall surrender this Security Instrument and all notes evidencing debt secured by this Security Instrument to Trustee. Trustee shall reconvey the Property without warranty to the person or persons legally entitled to it. Lender may charge such person or persons a reasonable fee for reconveying the Property, but only if the fee is paid to a third party (such as the Trustee) for services rendered and the charging of the fee is permitted under Applicable Law. If the fee charged does not exceed the fee set by Applicable Law, the fee is conclusively presumed to be reasonable.

24. Substitute Trustee. Lender, at its option, may from time to time appoint a successor trustee to any Trustee appointed hereunder by an instrument executed and acknowledged by Lender and recorded in the office of the Recorder of the county in which the Property is located. The instrument shall contain the name of the original Lender, Trustee and Borrower, the book and page where this Security Instrument is recorded and the name and address of the successor trustee. Without conveyance of the Property, the successor trustee shall succeed to all the title, powers and duties conferred upon the Trustee herein and by Applicable Law. This procedure for substitution of trustee shall govern to the exclusion of all other provisions for substitution.

25. Statement of Obligation Fee. Lender may collect a fee not to exceed the maximum amount permitted by Applicable Law for furnishing the statement of obligation as provided by Section 2943 of the Civil Code of California.



RECEIVED
BOARD OF SUPERVISORS
SAN FRANCISCO

2018 JUL 23 AM 10:48

City Planning Commission

Case No. 2017 009348 CVA VAR

The undersigned declare that they are hereby subscribers to this Notice of Appeal and are owners of property affected by the proposed amendment or conditional use (that is, owners of property within the area that is the subject of the application for amendment or conditional use, or within a radius of 300 feet of the exterior boundaries of the property.

If ownership has changed and assessment roll has not been amended, we attach proof of ownership change. If signing for a firm or corporation, proof of authorization to sign on behalf of the organization is attached.

	Street Address, property owned	Assessor's Block & Lot	Printed Name of Owner(s)	Original Signature of Owner(s)
1.	<u>3008 Market</u> <u>St.</u>	<u>2456004</u>	<u>DONNA M COOPER</u>	<u>Donna M. Cooper</u>
2.	_____	_____	_____	_____
3.	_____	_____	_____	_____
4.	_____	_____	_____	_____
5.	_____	_____	_____	_____
6.	_____	_____	_____	_____
7.	_____	_____	_____	_____
8.	_____	_____	_____	_____
9.	_____	_____	_____	_____
10.	_____	_____	_____	_____
11.	_____	_____	_____	_____
12.	_____	_____	_____	_____
13.	_____	_____	_____	_____
14.	_____	_____	_____	_____
15.	_____	_____	_____	_____
16.	_____	_____	_____	_____
17.	_____	_____	_____	_____
18.	_____	_____	_____	_____
19.	_____	_____	_____	_____
20.	_____	_____	_____	_____
21.	_____	_____	_____	_____
22.	_____	_____	_____	_____

2656/004
3008 Market
Cooper

700 Larkspur Landing Circle
Suite 205
Larkspur, CA 94939



San Francisco Assessor-Recorder
Doris M. Ward, Assessor-Recorder
DOC- 2000-G873775-00

Check Number 3317

Monday, DEC 11, 2000 10:19:08

Ttl Pd \$15.00

Nbr-0001521337

REEL H781 IMAGE 0173
ear/TD/1-3

SPACE ABOVE THIS LINE FOR RECORDER'S USE

Mail Tax Statements to:

Donna M. Cooper
3008 Market Street
San Francisco, CA 94114

Property address: 3008 Market Street, San Francisco
APN: 19-2656-4

Documentary Transfer Tax \$ None **

☒ Computed on the consideration or value of property conveyed; OR

☐ Computed on the consideration or value less liens or encumbrances remaining at time of sale.

Signature of Declarant or Agent determining tax - firm name

**This conveyance is exempt from transfer tax under R&T 11911. This is [] a gift; [x] interspousal transfer; [] transfer to revocable trust; [] correction of title; or [] other - describe

QUITCLAIM DEED

FOR NO CONSIDERATION,

MICHAEL D. LIPS and DONNA M. COOPER, Trustees of The Lips/Cooper Family Trust - 1997,
u/v/a dated March 17, 1997, as the separate property of Donna M. Cooper,

do hereby REMISE, RELEASE AND FOREVER QUITCLAIM to

DONNA M. COOPER, an unmarried woman

the real property in the City and County of San Francisco, State of California, described as:

see property description attached hereto as Exhibit A and made a part hereof

Dated: November 2, 2000


Michael D. Lips


Donna M. Cooper

Mail Tax Statements as Directed Above
Notary Acknowledgment attached



San Francisco Assessor-Recorder
Doris M. Ward, Assessor-Recorder
DOC- 2000-G873776-00

Check Number 3317

Monday, DEC 11, 2000 10:19:20

Ttl Pd \$18.00

Nbr-0001521338

REEL H781 IMAGE 0174
000/TD/1-3

WHEN RECORDED MAIL TO:

Myron S. Greenberg, Esq.
700 Larkspur Landing Circle
Suite 205
Larkspur, CA 94939

SPACE ABOVE THIS LINE FOR RECORDER'S USE:

Mail Tax Statements to:

Donna M. Cooper
3008 Market Street
San Francisco, CA 94114

Property address: 3008 Market Street, San Francisco
APN: 19-2656-4

Documentary Transfer Tax \$ None **

☒ Computed on the consideration or value of property conveyed; OR

☐ Computed on the consideration or value less liens or encumbrances remaining at time of sale.


Signature of Declarant or Agent determining tax - firm name

****This conveyance is exempt from transfer tax under R&T 11911. This is [] a gift; [] interspousal transfer; [x] transfer to revocable trust; [] correction of title; or [] other - describe**

QUITCLAIM DEED

FOR NO CONSIDERATION,,

DONNA M. COOPER, an unmarried woman


does hereby REMISE, RELEASE AND FOREVER QUITCLAIM to

DONNA M. COOPER, Trustee of The Donna M. Cooper Trust - 2000, u/t/a dated June 6, 2000

the real property in the City and County of San Francisco, State of California, described as:

see property description attached hereto as Exhibit A and made a part hereof

Dated: Nov. 2, 2000


Donna M. Cooper

Mail Tax Statements as Directed Above
Notary Acknowledgment attached

STATE OF CALIFORNIA)

G873776

COUNTY OF San Francisco ss.

On NOV. 2nd, 2000, before me, a Notary Public, personally appeared Donna M. Cooper, personally known to me (or proved to me on the basis of satisfactory evidence) to be the person whose name is subscribed to the within instrument and acknowledged to me that she executed the same in her authorized capacity, and that by her signature on the instrument, the persons or the entity upon behalf of which she acted executed the instrument.

WITNESS my hand and official seal.

Signature

Rosmarie Gordon

Print Name:

Rosmarie Gordon



Description of Instrument: Quitclaim Deed

1556 Deed SF

COMMENCING at a point on the Northerly line of Market Street (formerly Merritt Street), distant thereon 50.12 feet Westerly from the Westerly line of Hattie Street; running thence Westerly along said Northerly line of Market Street 25.06 feet; thence at a right angle Northerly 71.02 feet to the Northerly line of Lot No. 3 in Block "C" as per map hereinafter referred to, thence Easterly along said last named line 25.18 feet to the Easterly line of said Lot No. 3 and thence Southerly along said last named line 70.31 feet to the Northerly line of Market Street and the point of commencement.

BEING Lot Number 3 in Block "C" as said lot and block are delineated and so designated upon that certain map entitled "MAP OF A PORTION OF PARK LANE TRACT", filed April 22, 1885 and recorded in Liber "C" and "D" of Maps at Page 147.

Assessor's Parcel: 19-2656-4

RECEIVED
BOARD OF SUPERVISORS
SAN FRANCISCO

2018 JUL 23 AM 10:48

BY

City Planning Commission

Case No. 2017-009348 UJA JAR

The undersigned declare that they are hereby subscribers to this Notice of Appeal and are owners of property affected by the proposed amendment or conditional use (that is, owners of property within the area that is the subject of the application for amendment or conditional use, or within a radius of 300 feet of the exterior boundaries of the property.

If ownership has changed and assessment roll has not been amended, we attach proof of ownership change. If signing for a firm or corporation, proof of authorization to sign on behalf of the organization is attached.

Street Address, property owned	Assessor's Block & Lot	Printed Name of Owner(s)	Original Signature of Owner(s)
<u>3032-3034 MARKET ST</u>	<u>2656011</u>	<u>SUSAN SHAWL</u>	<u>Susan Shawl</u>
2. _____	_____	_____	_____
3. _____	_____	_____	_____
4. _____	_____	_____	_____
5. _____	_____	_____	_____
6. _____	_____	_____	_____
7. _____	_____	_____	_____
8. _____	_____	_____	_____
9. _____	_____	_____	_____
10. _____	_____	_____	_____
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12. _____	_____	_____	_____
13. _____	_____	_____	_____
14. _____	_____	_____	_____
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17. _____	_____	_____	_____
18. _____	_____	_____	_____
19. _____	_____	_____	_____
20. _____	_____	_____	_____
21. _____	_____	_____	_____
22. _____	_____	_____	_____

2656 / 011
3032-3034 Market
SHAWL

58 Maiden Lane, 2nd Floor
San Francisco, CA 94108

MAIL TAX STATEMENTS TO:

Susan Shawl
326 - 63rd Street
Oakland, CA 94618

San Francisco Assessor-Recorder
Mabel S. Teng, Assessor-Recorder
DOC- 2004-H639142-00

Check Number 648

Thursday, JAN 15, 2004 15:44:33

Ttl Pd \$9.00

Nbr-0002383883

REEL I554 IMAGE 0956

oke/KC/1-1

SPACE ABOVE THIS LINE RESERVED FOR RECORDER'S USE

GRANT DEED

The undersigned Grantor(s) declare(s) under penalty of perjury that the following is true and correct:

Documentary transfer tax is \$ -0- NO CONSIDERATION. Grantor(s) is transferring the property into living trust.

- () computed on full value of property conveyed, or
() computed on full value less value of liens and encumbrances remaining at time of sale.
() Unincorporated area: (X) City of San Francisco, and County of San Francisco.

FOR A VALUABLE CONSIDERATION, receipt of which is hereby acknowledged, SUSAN SHAWL, a single woman, hereby GRANT(S) to SUSAN SHAWL, as Trustee of the SUSAN SHAWL LIVING TRUST, dated December 17, 2003, the following described real property in the City of San Francisco, County of San Francisco, State of California:

Lot 10 in Block "C", as per Map entitled, "Map of Portion of Park Lane Tract", filed April 22, 1885, in Book "C" and "D" of Maps, Page 147, in the office of the Recorder of the City and County of San Francisco, California.

APN: Lot 11, Block 2656

3032 Market Street, San Francisco, California

Dated: 12-17-2003

Susan Shawl
SUSAN SHAWL

STATE OF CALIFORNIA)

COUNTY OF San Francisco)

) SS

On this 17th day of December, 2003, before me, Mary G. Sancimino personally appeared SUSAN SHAWL, personally known to me (or proved to me on the basis of satisfactory evidence) to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity(ies) upon behalf of which the person(s) acted, executed the instrument.

WITNESS my hand and official seal.

Mary G. Sancimino
NOTARY PUBLIC



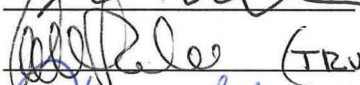
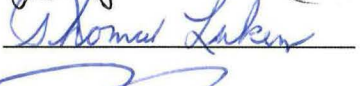

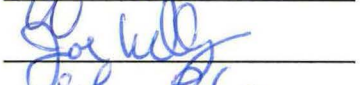
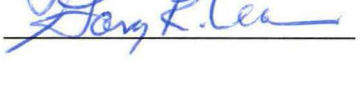
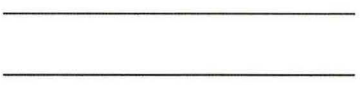
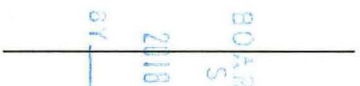


City Planning Commission

Case No. 2017 009348 CVA VAR

The undersigned declare that they are hereby subscribers to this Notice of Appeal and are owners of property affected by the proposed amendment or conditional use (that is, owners of property within the area that is the subject of the application for amendment or conditional use, or within a radius of 300 feet of the exterior boundaries of the property.

If ownership has changed and assessment roll has not been amended, we attach proof of ownership change. If signing for a firm or corporation, proof of authorization to sign on behalf of the organization is attached.

Street Address, property owned	Assessor's Block & Lot	Printed Name of Owner(s)	Original Signature of Owner(s)
1. 149 CORBETT	2656058	Steven Moonjian	
2. 149 CORBETT	2656058	Stephane EREEMIAN	
3. 135 CORBETT	2656062	STEVEN WILLIAMS	
4. 135 CORBETT	2656062	GRAHAM BROWNLEE	 (TRUSTEE)
5. 4351 17 th St.	2652027	Thomas Lukens	
6. 4351-A 17 th St	2652028	Brad Buehne	
7. 4351-A 17 th	2652028	Olaf Munknesson	
8. 100 CORBETT	2652002	Joe Kelley	
9. 100 CORBETT	2652002	Gary Lea	
10. _____	_____	_____	_____
11. _____	_____	_____	_____
12. _____	_____	_____	_____
13. _____	_____	_____	_____
14. _____	_____	_____	_____
15. _____	_____	_____	_____
16. _____	_____	_____	_____
17. _____	_____	_____	_____
18. _____	_____	_____	_____
19. _____	_____	_____	_____
20. _____	_____	_____	_____
21. _____	_____	_____	_____
22. _____	_____	_____	_____

RECEIVED
BOARD OF SUPERVISORS
SAULT STEARNS CO
2018 JUL 23 AM 10:49
BY [Signature]

26561062
135 Corbett
Brownlee

San Francisco, CA 94104

San Francisco Assessor-Recorder
Carmen Chu, Assessor-Recorder
DOC- 2013-J695952-00
Check Number 3635
Wednesday, JUN 26, 2013 13:34:08
Ttl Pd \$18.00 Rcpt # 0004724771
REEL K926 IMAGE 0680
odm/AB/1-1

GRANT DEED

A.P.N. Lot 62, Block 2656
135 Corbett Avenue, San Francisco

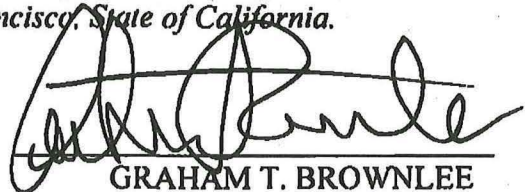
The undersigned grantor declares: TRANSFER TO REVOCABLE TRUST
FOR BENEFIT OF GRANTOR.

Documentary transfer tax is NONE. NO CONSIDERATION. NOT PURSUANT TO SALE.
Rev. & Tax. Code § 11911 and § 11930

GRAHAM T. BROWNLEE, an unmarried man, hereby GRANTS to GRAHAM BROWNLEE, as
Trustee of the Graham Brownlee Trust, dated June 25, 2013, the following described real property in the
City and County of San Francisco, State of California (commonly known as 135 Corbett Avenue):

*Lot No. 62, in Block "C", as said lot and block are delineated and so
designated upon that certain map entitled, "Map of a Portion of Park
Lane Tract between 17th and 18th Streets", filed on April 22, 1895 and
recorded in Liber "C" and "D" of Maps, at Page 147, in the office of the
recorder of the City and County of San Francisco, State of California.*

Dated: 6/25, 2013


GRAHAM T. BROWNLEE

STATE OF CALIFORNIA)
COUNTY OF SAN FRANCISCO)

On June 25, 2013, before me, Mary Klestoff, Notary Public,
personally appeared GRAHAM T. BROWNLEE, who proved to me on the basis of satisfactory evidence to be the person
whose name is subscribed to the within instrument and acknowledged to me that he executed the same in his authorized
capacity, and that by his signature on the instrument the person, or the entity upon behalf of which the person acted, executed
the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and
correct.

WITNESS my hand and official seal.

Signature





Mail Tax Statements To: Graham Brownlee, 135 Corbett Avenue, San Francisco, CA 94114

City Planning Commission

Case No. 2017 009348 CUA VAR

The undersigned declare that they are hereby subscribers to this Notice of Appeal and are owners of property affected by the proposed amendment or conditional use (that is, owners of property within the area that is the subject of the application for amendment or conditional use, or within a radius of 300 feet of the exterior boundaries of the property.

If ownership has changed and assessment roll has not been amended, we attach proof of ownership change. If signing for a firm or corporation, proof of authorization to sign on behalf of the organization is attached.

Street Address, property owned	Assessor's Block & Lot	Printed Name of Owner(s)	Original Signature of Owner(s)
1. <u>10 STORRIE ST</u>	<u>2657016</u>	<u>THE JAMES AND DAISY</u>	<u>James Young Trustee</u>
2. <u>59 HATTIE ST</u>	<u>2657029</u>	<u>YOUNG FAMILY TRUST</u>	<u>Daisy A. Young Trustee</u>
3. <u>75 HATTIE ST</u>	<u>2657030</u>	<u>DATED NOV. 6, 2017</u>	<u>Daisy A. Young Trustee</u>
4. <u>10 STORRIE ST</u>	<u>2657029</u>		<u>Daisy A. Young Trustee</u>
5. <u>10 STORRIE ST</u>	<u>2657029</u>		<u>Daisy A. Young Trustee</u>
6. <u>10 STORRIE ST</u>	<u>2657029</u>		<u>Daisy A. Young Trustee</u>
7. _____	_____	_____	_____
8. _____	_____	_____	_____
9. _____	_____	_____	_____
10. _____	_____	_____	_____
11. _____	_____	_____	_____
12. _____	_____	_____	_____
13. _____	_____	_____	_____
14. _____	_____	_____	_____
15. _____	_____	_____	_____
16. _____	_____	_____	_____
17. _____	_____	_____	_____
18. _____	_____	_____	_____
19. _____	_____	_____	_____
20. _____	_____	_____	_____
21. _____	_____	_____	_____
22. _____	_____	_____	_____

BY DM 2018 JUL 23 AM 10:49
 BOARD OF SUPERVISORS
 SAN FRANCISCO
 RECEIVED

2657/016 10 Starrie
2657/029 SA HATTIE
2657/030 75 HATTIE
YOUNG

7
The



San Francisco Assessor-Recorder
Carmen Chu, Assessor-Recorder
DOC- 2018-K601164-00
Friday, APR 13, 2018 14:53:58
Ttl Pd \$92.00 Rcpt # 0005789261
okc/KC/1-2

28929 Market Street
S.F. CA 94114

Grant Deed

The undersigned grantor(s) declare(s):
Documentary Transfer Tax is ☒
() computed on full value of property conveyed, or
() computed on full value less of liens and encumbrances remaining at time of sale.
() Unincorporated area: (x) City of San Francisco

FOR A VALUABLE CONSIDERATION, receipt of which is hereby acknowledged,
Daisy A. Young and James V. Young, husband and wife
hereby GRANT(S) to
The James and Daisy Young Family Trust
that property in the City of San Francisco
County of San Francisco, State of California
SEE EXHIBIT ONE ATTACHED AND MADE A PART HEREOF
Date: APRIL 13, 2018

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

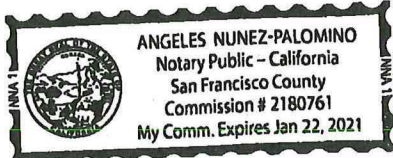
State of California
County of

On 4/12/18 before me, Angeles Nunez Palomino a Notary Public, personally appeared _____ who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

→ Daisy Austria Young and James Vernon Young
I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.

Signature: [Signature]
Name: Angeles Nunez-Palomino
(Typed or Printed)



(Seal)

EXHIBIT ONE

BEGINNING at a point on the Easterly line of Hattie Street, distant thereon 75 feet Northerly from the Northerly line of 18th Street; running thence Northerly along the said Easterly line of Hattie Street 25 feet; thence at a right angle Easterly 75 feet; thence at a right angle Southerly 8.337 feet; thence Southerly 31.186 feet, more or less, to a point which is distant 49.985 feet Easterly from the point of beginning, measured along a line drawn at a right angle from the Easterly line of Hattie Street; thence Westerly 49.985 feet to the point of beginning.

BEING a portion to Lot 4, Block "A", according to the map entitled, "Park Lane Tract", recorded April 22, 1885, in the office of the Recorder of the City and County of San Francisco, State of California,, in Book "C" and "D" of Maps, at Page 147.

RECORDING REQUESTED BY:

James Young
2929 Market Street
San Francisco, CA 94114-1838



APN: Block 2657, Lot 29
59 Hattie Street, S.F. 94114

When Recorded Mail Document and Tax Statements to:

James Young
2929 Market Street
San Francisco, CA 94114-1838



San Francisco Assessor-Recorder
Carmen Chu, Assessor-Recorder

DOC- 2018-K616962-00

Monday, MAY 21, 2018 14:08:58

Ttl Pd \$95.00 Rcpt # 0005808245

car/AB/1-3

Grant Deed

The undersigned grantor(s) declare(s):

Documentary Transfer Tax is 0

() computed on full value of property conveyed, or

() computed on full value less of liens and encumbrances remaining at time of sale.

() Unincorporated area: (x) City of

FOR A VALUABLE CONSIDERATION, receipt of which is hereby acknowledged,

James Vernon Young, a married man as his separate property

hereby GRANT(S) to:

The James and Daisy Young Family Trust dated November 6, 2017

that property in The City of San Francisco, County of San Francisco
State of California

See Schedule "A" attached hereto and made part of

Date: 5-21-18

Declarant

James Vernon Young

Street Address: 59 Hattie Street, San Francisco, CA 94114

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of CA

County of San Francisco

On 5/21/18

before me, Michael Lee

a Notary Public, personally appeared

James Vernon Young, who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.

Signature: See Attached

Name: Michael Lee
(Typed or Printed)

(Seal)

Grant Deed

MAIL TAX STATEMENTS AS DIRECTED ABOVE

2 > 1 "Page 1 of 2" "Page 1 of 2"

CALIFORNIA ALL-PURPOSE ACKNOWLEDGMENT

CIVIL CODE § 1189

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California

County of San Francisco

On 5/21/18

before me, Michael Lee

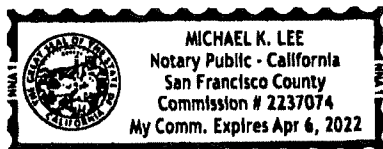
Date

Here Insert Name and Title of the Officer

personally appeared James V. Young

Name(s) of Signer(s)

who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.



I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.

Signature

[Signature]
Signature of Notary Public

Place Notary Seal and/or Stamp Above

OPTIONAL

Completing this information can deter alteration of the document or fraudulent reattachment of this form to an unintended document.

Description of Attached Document

Title or Type of Document: Grant Deed

Document Date: N/A

Number of Pages: 4

Signer(s) Other Than Named Above: N/A

Capacity(ies) Claimed by Signer(s)

Signer's Name: James V. Young

- ☐ Corporate Officer – Title(s): _____
☐ Partner – ☐ Limited ☐ General
☐ Individual ☐ Attorney in Fact
☐ Trustee ☐ Guardian of Conservator
☐ Other: _____

Signer is Representing: _____

Signer's Name: _____

- ☐ Corporate Officer – Title(s): _____
☐ Partner – ☐ Limited ☐ General
☐ Individual ☐ Attorney in Fact
☐ Trustee ☐ Guardian of Conservator
☐ Other: _____

Signer is Representing: _____

SCHEDULE A

Real property in the City of SAN FRANCISCO, County of SAN FRANCISCO, State of California, described as follows:

BEGINNING AT THE POINT OF INTERSECTION OF THE SOUTHERLY LINE OF MARKET STREET WITH THE EASTERLY LINE OF HATTIE STREET, AS SAID STREETS ARE SHOWN ON THE "MAPS SHOWING THE OPENING AND WIDENING OF MARKET STREET FROM ORD STREET TO 24TH STREET; ALSO THE OPENINGS OF STORRIE STREET BETWEEN ORD AND HATTIE STREETS", FILED IN THE OFFICE OF THE RECORDER OF THE CITY AND COUNTY OF SAN FRANCISCO, STATE OF CALIFORNIA, AUGUST 22, 1941 AND RECORDED IN MAP BOOK "O" PAGES 46 TO 51 INCLUSIVE; RUNNING THENCE EASTERLY ALONG SAID LINE OF MARKET STREET 100.856 FEET TO THE BEGINNING OF THE CURVE TO THE RIGHT WITH A RADIUS OF 5.701 FEET WHICH CONNECTS SAID LINE OF MARKET STREET WITH THE NORTHWESTERLY LINE OF STORRIE STREET, AS SHOWN ON THE MAP ABOVE REFERRED TO; THENCE EASTERLY, SOUTHERLY AND WESTERLY ALONG SAID CURVE AN ARC DISTANCE OF 16.189 FEET TO THE NORTHWESTERLY LINE OF STORRIE STREET; THENCE SOUTHWESTERLY ALONG SAID LINE OF STORRIE STREET 129.176 FEET TO THE EASTERLY LINE OF HATTIE STREET; THENCE NORTHERLY ALONG SAID LAST NAMED LINE 94.443 FEET TO THE POINT OF BEGINNING.

EXCEPTING THEREFROM:

BEGINNING AT THE POINT ON THE EASTERLY LINE OF HATTIE STREET, DISTANT THEREON 75 FEET NORTHERLY FROM THE NORTHERLY LINE OF EIGHTEENTH STREET; AND RUNNING THENCE NORTHERLY ALONG THE SAID EASTERLY LINE OF HATTIE STREET, 25 FEET; THENCE AT A RIGHT ANGLE EASTERLY 75 FEET; THENCE AT A RIGHT ANGLE SOUTHERLY 6.337 FEET; THENCE SOUTHWESTERLY 31.186 FEET, MORE OR LESS, TO A POINT WHICH IS DISTANT 49.985 FEET EASTERLY FROM THE POINT OF BEGINNING, MEASURED ALONG A LINE DRAWN AT A RIGHT ANGLE FROM THE EASTERLY LINE OF HATTIE STREET; THENCE WESTERLY 49.985 FEET TO THE POINT OF BEGINNING.

BEING A PORTION OF LOT 4 IN BLOCK "A" ACCORDING TO THE MAP ENTITLED "PARK HOME TRACT" RECORDED APRIL 22, 1885, IN THE OFFICE OF THE RECORDER OF THE CITY AND COUNTY OF SAN FRANCISCO, STATE OF CALIFORNIA, IN BOOK "C" AND "D" OF MAPS, PAGE 147.

APN: LOT 029 BLOCK 2657

Commonly known as: 59 Hattie Street, San Francisco, CA

CALIFORNIA ALL-PURPOSE ACKNOWLEDGMENT

CIVIL CODE § 1189

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

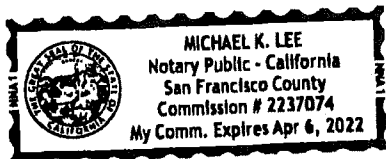
State of California

County of San Francisco

On 5/21/18 before me, Michael Lee, Notary Public
Date Here Insert Name and Title of the Officer

personally appeared James V. Young
Name(s) of Signer(s)

who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.



I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.

Signature [Signature]
Signature of Notary Public

Place Notary Seal and/or Stamp Above

OPTIONAL

Completing this information can deter alteration of the document or fraudulent reattachment of this form to an unintended document.

Description of Attached Document

Title or Type of Document: Grant Deed

Document Date: N/A Number of Pages: 4

Signer(s) Other Than Named Above: N/A

Capacity(ies) Claimed by Signer(s)

Signer's Name: James V. Young

- ☐ Corporate Officer – Title(s): _____
☐ Partner – ☐ Limited ☐ General
☐ Individual ☐ Attorney in Fact
☐ Trustee ☐ Guardian of Conservator
☐ Other: _____

Signer is Representing: _____

Signer's Name: _____

- ☐ Corporate Officer – Title(s): _____
☐ Partner – ☐ Limited ☐ General
☐ Individual ☐ Attorney in Fact
☐ Trustee ☐ Guardian of Conservator
☐ Other: _____

Signer is Representing: _____

SCHEDULE A

Real property in the City of SAN FRANCISCO, County of SAN FRANCISCO, State of California, described as follows:

PARCEL ONE:

BEGINNING AT A POINT ON THE EASTERLY LINE OF HATTIE STREET, DISTANT THEREON 75 FEET NORTHERLY FROM THE NORTHERLY LINE OF EIGHTEENTH STREET, AS SAID LINE OF EIGHTEENTH STREET FORMERLY EXISTED; THENCE EASTERLY AT RIGHT ANGLES TO SAID LINE OF HATTIE STREET 25 FEET; THENCE AT A RIGHT ANGLE SOUTHERLY 18.601 FEET TO THE NORTHWESTERLY LINE OF STORRIE STREET FORMERLY MARKET STREET; THENCE SOUTHWESTERLY ALONG SAID LINE OF STORRIE STREET 31.167 FEET TO THE EASTERLY LINE OF HATTIE STREET; AND THENCE NORTHERLY ALONG SAID LINE OF HATTIE STREET 37.213 FEET TO THE POINT OF BEGINNING.

BEING A PORTION OF LOT NO. 3 IN BLOCK "A" ACCORDING TO MAP OF A PORTION OF PARK LANE TRACT BETWEEN SEVENTEENTH AND EIGHTEENTH STREETS, RECORDED APRIL 22, 1886, IN MAP BOOK "C" AND "D", PAGE 147, IN THE OFFICE OF THE RECORDER OF THE CITY AND COUNTY OF SAN FRANCISCO, STATE OF CALIFORNIA.

PARCEL TWO:

PORTION OF LOT 2, IN BLOCK "A" PARK LANE TRACT, AS PER MAP THEREOF FILED APRIL 22, 1885, IN BOOK "C" AND "D" OF MAPS, PAGE 147 IN THE OFFICE OF THE RECORDER OF THE CITY AND COUNTY OF SAN FRANCISCO, STATE OF CALIFORNIA, DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT ON THE NORTHERLY LINE OF EIGHTEENTH STREET, DISTANT THEREON 25 FEET EASTERLY FROM THE EASTERLY LINE OF HATTIE STREET; RUNNING THENCE EASTERLY ALONG SAID LINE OF EIGHTEENTH STREET 25 FEET; THENCE AT A RIGHT ANGLE NORTHERLY 75 FEET; THENCE AT A RIGHT ANGLE WESTERLY 25 FEET; THENCE AT A RIGHT ANGLE SOUTHERLY 75 FEET TO THE POINT OF BEGINNING.

EXCEPTING THEREFROM THAT PORTION THEREOF CONVEYED BY FRANCISCA HERMANN TO CITY AND COUNTY OF SAN FRANCISCO, A MUNICIPAL CORPORATION, BY DEED DATED SEPTEMBER 30, 1914 RECORDED OCTOBER 14, 1914 IN BOOK 831 OF DEEDS, PAGE 147

APN: LOT 030; BLOCK 2657

RECORDING REQUESTED BY:

James Young

2929 Market Street

San Francisco, CA 94114-1838



APN: Block 2657, Lot 30

75 Hattie St, S.F. 94114

When Recorded Mail Document and Tax Statements to:

James Young

2929 Market Street

San Francisco, CA 94114-1838



San Francisco Assessor-Recorder

Carmen Chu, Assessor-Recorder

DOC- 2018-K616963-00

Monday, MAY 21, 2018 14:08:58

Ttl Pd \$95.00

Rcpt # 0005808246

ear/AB/1-3

Grant Deed

The undersigned grantor(s) declare(s):

Documentary Transfer Tax is 0

() computed on full value of property conveyed, or

() computed on full value less of liens and encumbrances remaining at time of sale.

() Unincorporated area:

(x) City of

FOR A VALUABLE CONSIDERATION, receipt of which is hereby acknowledged,

James Vernon Young, a married man as his separate property

hereby GRANT(S) to

The James and Daisy Young Family Trust dated November 6, 2017

that property in The City of San Francisco, County of San Francisco,
State of California

See Schedule "A" attached hereto and made part of

Date: 5-21-18

Declarant

James Vernon Young

Street Address: 75 Hattie Street, San Francisco, CA 94114

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of CA

County of San Francisco

On 5/21/18 before me, Michael Lee, a Notary Public, personally appeared James Vernon Young, who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.

Signature: See Attached

Name: Michael Lee

(Typed or Printed)

(Seal)

Grant Deed

MAIL TAX STATEMENTS AS DIRECTED ABOVE.

2 > 1 "Page 1 of 2" ** Page 1 of 2

RECEIVED
BOARD OF SUPERVISORS
SAN FRANCISCO

2010 JUL 23 AM 10:49
JW

City Planning Commission

Case No. 2017-009348 CVA

The undersigned declare that they are hereby subscribers to this Notice of Appeal and are owners of property affected by the proposed amendment or conditional use (that is, owners of property within the area that is the subject of the application for amendment or conditional use, or within a radius of 300 feet of the exterior boundaries of the property.

If ownership has changed and assessment roll has not been amended, we attach proof of ownership change. If signing for a firm or corporation, proof of authorization to sign on behalf of the organization is attached.

	Street Address, property owned	Assessor's Block & Lot	Printed Name of Owner(s)	Original Signature of Owner(s)
1.	3036 MARKET	2656012	MORGAN THOMAS	* [Signature] TRUSTEE
2.	3036 Market	2656012	MARLENE THOMAS	[Signature]
3.				
4.				
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22.				

2656 / 012
3036 Market
Thomas

D BY

AND WHEN RECORDED MAIL TO
Heather Robertson
Heather Robertson Law
8 Mt Tenaya Ct
San Rafael, California 94903

San Francisco Assessor-Recorder
Carmen Chu, Assessor-Recorder
DOC- 2015-K080058-00
Check Number 353
Monday, JUN 22, 2015 10 16 12
Ttl Pd \$21.00 Rcpt # 0005172063
ofa/JL/1-2

APN Block 2656, Lot 012
Property Address 3036 Market Street

Space above line for Recorder's Use
NO TAX DUE

GRANT DEED

The undersigned Grantors declare under the penalty of perjury that the following is true and correct

Documentary transfer tax is NONE Changes manner in which title is held Rev & Tax Code Section 11911


_____ Unincorporated area X City of San Francisco

This is a transfer from husband and wife as joint tenants to husband and wife as community property, excludable from reassessment under Rev & Tax Code Section 63

FOR NO CONSIDERATION, GRANTOR Morgan L Thomas, a married man, hereby GRANTS TO Morgan Thomas and Melissa Thomas-Croteau, husband and wife, as Community Property, that real property in the City of San Francisco, County of San Francisco, State of California, described as follows

LOT 11, IN BLOCK "C", "MAP OF PORTION OF PARK LANE TRACT, BETWEEN 17TH AND 18TH STREETS", RECORDED APRIL 22, 1885, IN BOOK "C" AND "D" OF MAPS, AT PAGE 147, IN THE OFFICE OF THE RECORDER OF THE CITY AND COUNTY OF SAN FRANCISCO, STATE OF CALIFORNIA

Dated May 14, 2015


Morgan L Thomas

Mail tax statements to Morgan Thomas and Melissa Thomas-Croteau, 3036 Market Street, San Francisco, California 94114

ACKNOWLEDGMENT

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document, to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document

State of California)

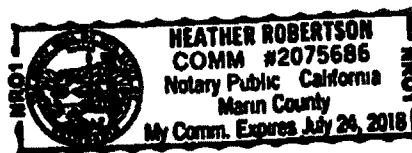
County of San Francisco)

On May 14, 2015, before me, Heather Robertson, a notary public, personally appeared Morgan Thomas, who proved to me on the basis of satisfactory evidence to be the person whose name is subscribed to the within instrument and acknowledged to me that he executed the same in his authorized capacity and that by his signature on the instrument the person, or the entity upon behalf of which the person acted, executed the instrument

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct

WITNESS my hand and official seal


Heather Robertson (Seal)



My commission expires on July 24, 2018

Mail tax statements to Morgan Thomas and Melissa Thomas-Croteau, 3036 Market Street, San Francisco, California 94114

RECEIVED
BOARD OF SUPERVISORS
SAN FRANCISCO

City Planning Commission
Case No. CVA VAE 2017-009378

The undersigned declare that they are hereby subscribers to this Notice of Appeal and are owners of property affected by the proposed amendment or conditional use (that is, owners of property within the area that is the subject of the application for amendment or conditional use, or within a radius of 300 feet of the exterior boundaries of the property).

If ownership has changed and assessment roll has not been amended, we attach proof of ownership change. If signing for a firm or corporation, proof of authorization to sign on behalf of the organization is attached.

	Street Address, property owned	Assessor's Block & Lot	Printed Name of Owner(s)	Original Signature of Owner(s)
1.	<u>4373 17th</u>	<u>265 2020</u>	<u>Theodore Teipal</u>	<u>Theodore Teipal</u>
2.			<u>TEODORA + MANICA</u>	
3.			<u>TEIPAL Living Trust</u>	<u>[Signature]</u>
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SAN FRANCISCO
2018 JUL 23 AM 10:49
[Signature]

2652/020
4373 17th
TEIPEL

and Tax Statement To:
Theodore W. & Marcia A. Teipel
4373 - 17th Street
San Francisco, CA 94114

4373 - 17TH STREET

APN: Lot 20, Block 2652



San Francisco Assessor-Recorder
Doris M. Ward, Assessor-Recorder
DOC- 2002-H138443-00

Acct 11-FIDELITY NATIONAL Title Company

Tuesday, APR 02, 2002 08:00:00

Ttl Pd \$12.00

Nbr-0001825162

REEL 1107 IMAGE 0168

091/66/1-2

GRANT DEED

SPACE ABOVE THIS LINE FOR RECORDER'S USE

The undersigned grantor(s) declare(s)

Documentary transfer tax is \$ 0 City Transfer Tax is \$

[] computed on full value of property conveyed, or

[] computed on full value less value of liens or encumbrances remaining at time of sale,

[] Unincorporated Area City of San Francisco

FOR A VALUABLE CONSIDERATION, receipt of which is hereby acknowledged, Theodore W. Teipel & Marcia A. Teipel, husband and wife who acquired title as Marcia A. Crimele, an unmarried individual and Theodore W. Teipel, an unmarried individual

hereby GRANT(S) to Theodore W. Teipel & Marcia A. Teipel, husband and wife as community properties with the right of survivorship

the following described real property in the City of San Francisco,
County of San Francisco, State of California:

SEE EXHIBIT ONE ATTACHED HERETO AND MADE A PART HEREOF

DATED: March 25, 2002

STATE OF CALIFORNIA

COUNTY OF San Francisco

ON 3/25/02 before me,

Richard L. Silver personally appeared

Theodore W. Teipel and Marcia A.

Teipel

personally known to me (or proved to me on the basis of satisfactory evidence) to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

Witness my hand and official seal

Signature

Theodore W. Teipel

Marcia A. Teipel



MAIL TAX STATEMENTS AS DIRECTED ABOVE

H138443

Order No. 926517 - A

EXHIBIT "ONE"

LOT 17, in Block "W" of Park Lane Tract No. 2, as per Map thereof recorded January 8, 1889, in the office of the Recorder of the City and County of San Francisco, State of California, in Book 1 of Maps at page 181.

Assessor's Parcel No: Lot 20, Block 2652

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SAN FRANCISCO


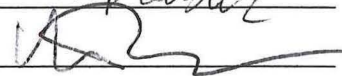
2018 JUL 23 AM 10:50

City Planning Commission

Case No. 2017 009348 CUA VAR

The undersigned declare that they are hereby subscribers to this Notice of Appeal and are owners of property affected by the proposed amendment or conditional use (that is, owners of property within the area that is the subject of the application for amendment or conditional use, or within a radius of 300 feet of the exterior boundaries of the property.

If ownership has changed and assessment roll has not been amended, we attach proof of ownership change. If signing for a firm or corporation, proof of authorization to sign on behalf of the organization is attached.

	Street Address, property owned	Assessor's Block & Lot	Printed Name of Owner(s)	Original Signature of Owner(s)
1.	4333 17 th	2652-008	MEREDITH TREASER	
2.	4333 17 th	2652-008	MILES TREASER	
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22. Reconveyance. Upon payment of all sums secured by this Security Instrument, Lender shall request Trustee to reconvey the Property and shall surrender this Security Instrument and all notes evidencing debt secured by this Security Instrument to Trustee. Trustee shall reconvey the Property without warranty to the person or persons legally entitled to it. Borrower will have to pay a recording fee and a reconveyance fee for release of this Security Instrument.

23. Substitute Trustee. Lender, at its option, may from time to time appoint a successor trustee to any Trustee appointed hereunder by an instrument executed and acknowledged by Lender and recorded in the office of the Recorder of the county in which the Property is located. The instrument shall contain the name or the original Lender, Trustee and Borrower, the book and page where this Security Instrument is recorded and the name and address of the successor trustee. Without conveyance of the Property, the successor trustee shall succeed to all the title, powers and duties conferred upon the Trustee herein and by applicable law. This procedure for substitution of trustee shall govern to the exclusion of all other provisions for substitution.

24. Request for Notices. Borrower requests that copies of the notices of default and sale be sent to Borrower's address which is the Property Address.

25. Statement of Obligation Fee. Lender may collect a fee not to exceed the maximum amount permitted by law for furnishing the statement of obligation as provided by Section 2943 of the Civil Code of California.

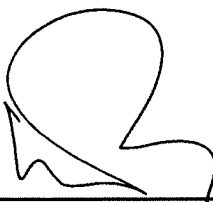
26. Riders to this Security Instrument. If one or more riders are executed by Borrower and recorded together with this Security Instrument, the covenants and agreements of each such rider shall be incorporated into and shall amend and supplement the covenants and agreements of this Security Instrument as if the rider(s) were a part of this Security Instrument.

Check applicable box(es)

- | | | |
|--|---|---|
| <input checked="" type="checkbox"/> Equity Line Rider | <input type="checkbox"/> Condominium Rider | <input type="checkbox"/> 1-4 Family Rider |
| <input type="checkbox"/> Graduated Payment Rider | <input type="checkbox"/> Planned Unit Development Rider | <input type="checkbox"/> Biweekly Payment Rider |
| <input type="checkbox"/> Balloon Rider | <input type="checkbox"/> Rate Improvement Rider | <input type="checkbox"/> Second Home Rider |
| <input checked="" type="checkbox"/> Other(s) [specify] | LEGAL | |

Add. to Equity Line Rdr, Sett. Ack. Rdr, Rev. Trust Rdr

BY SIGNING BELOW, Borrower accepts and agrees to the terms and covenants contained in this Security Instrument and in any rider(s) executed by Borrower and recorded with it.



Miles Treaster, Trustee -Trustor



Meredith Treaster, Trustee -Trustor

-Trustor

-Trustor

TOGETHER WITH all the improvements now or hereafter erected on the property, and all easements, appurtenances, and fixtures now or hereafter a part of the property. All replacements and additions shall also be covered by this Security Instrument. All of the foregoing is referred to in this Security Instrument as the "Property."

BORROWER COVENANTS that Borrower is lawfully seized of the estate hereby conveyed and has the right to grant and convey the Property and that the Property is unencumbered, except for encumbrances of record. Borrower warrants and will defend generally the title to the Property against all claims and demands, subject to any encumbrances of record.

THIS SECURITY INSTRUMENT combines uniform covenants for national use and non-uniform covenants with limited variations by jurisdiction to constitute a uniform security instrument covering real property.

UNIFORM COVENANTS. Borrower and Lender covenant and agree as follows:

1. Payment of Principal and Interest; Prepayment and Late Charges. Borrower shall promptly pay when due the principal of and interest on the debt evidenced by the Note and any prepayment and late charges due under the Note.

2. Funds for Taxes and Insurance. Subject to applicable law or to a written waiver by Lender, Borrower shall pay to Lender on the day monthly payments are due under the Note, until the Note is paid in full, a sum ("Funds") for: (a) yearly taxes and assessments which may attain priority over this Security Instrument as a lien on the Property; (b) yearly leasehold payments or ground rents on the Property, if any; (c) yearly hazard or property insurance premiums; (d) yearly flood insurance premiums, if any; (e) yearly mortgage insurance premiums, if any; and (f) any sums payable by Borrower to Lender, in accordance with the provisions of paragraph 8, in lieu of the payment of mortgage insurance premiums. These items are called "Escrow Items." Lender may, at any time, collect and hold Funds in an amount not to exceed the maximum amount a lender for a federally related mortgage loan may require for Borrower's escrow account under the federal Real Estate Settlement Procedures Act of 1974 as amended from time to time, 12 U.S.C. §2601 et seq. ("RESPA"), unless another law that applies to the Funds sets a lesser amount. If so, Lender may, at any time, collect and hold Funds in an amount not to exceed the lesser amount. Lender may estimate the amount of Funds due on the basis of current data and reasonable estimates of expenditures of future Escrow Items or otherwise in accordance with applicable law.

The Funds shall be held in an institution whose deposits are insured by a federal agency, instrumentality, or entity (including Lender, if Lender is such an institution) or in any Federal Home Loan Bank. Lender shall apply the Funds to pay the Escrow Items. Lender may not charge Borrower for holding and applying the Funds, annually analyzing the escrow account, or verifying the Escrow Items, unless Lender pays Borrower interest on the Funds and applicable law permits Lender to make such a charge. However, Lender may require Borrower to pay a one-time charge for an independent real estate tax reporting service used by Lender in connection with this loan, unless applicable law provides otherwise. Unless an agreement is made or applicable law requires interest to be paid, Lender shall not be required to pay Borrower any interest or earnings on the Funds. Borrower and Lender may agree in writing, however, that interest shall be paid on the Funds. Lender shall give to Borrower, without charge, an annual accounting of the Funds, showing credits and debits to the Funds and the purpose for which each debit to the Funds was made. The Funds are pledged as additional security for all sums secured by this Security Instrument.

If the Funds held by Lender exceed the amounts permitted to be held by applicable law, Lender shall account to Borrower for the excess Funds in accordance with the requirements of applicable law. If the amount of the Funds held by Lender at any time is not sufficient to pay the Escrow Items when due, Lender may so notify Borrower in writing, and, in such case Borrower shall pay to Lender the amount necessary to make up the deficiency. Borrower shall make up the deficiency in no more than twelve monthly payments, at Lender's sole discretion.

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Upon payment in full of all sums secured by this Security Instrument, Lender shall promptly refund to Borrower any Funds held by Lender. If, under paragraph 21, Lender shall acquire or sell the Property, Lender, prior to the acquisition or sale of the Property, shall apply any Funds held by Lender at the time of acquisition or sale as a credit against the sums secured by this Security Instrument.

3. Application of Payments. Unless applicable law provides otherwise, all payments received by Lender under paragraphs 1 and 2 shall be applied: first, to any prepayment charges due under the Note; second, to amounts payable under paragraph 2; third, to interest due; fourth, to principal due; and last, to any late charges due under the Note.

4. Charges; Liens. Borrower shall pay all taxes, assessments, charges, fines and impositions attributable to the Property which may attain priority over this Security Instrument, and leasehold payments or ground rents, if any. Borrower shall pay these obligations in the manner provided in paragraph 2, or if not paid in that manner, Borrower shall pay them on time directly to the person owed payment. Borrower shall promptly furnish to Lender all notices of amounts to be paid under this paragraph. If Borrower makes these payments directly, Borrower shall promptly furnish to Lender receipts evidencing the payments.

Borrower shall promptly discharge any lien which has priority over this Security Instrument unless Borrower: (a) agrees in writing to the payment of the obligation secured by the lien in a manner acceptable to Lender; (b) contests in good faith the lien by, or defends against enforcement of the lien in, legal proceedings which in the Lender's opinion operate to prevent the enforcement of the lien; or (c) secures from the holder of the lien an agreement satisfactory to Lender subordinating the lien to this Security Instrument. If Lender determines that any part of the Property is subject to a lien which may attain priority over this Security Instrument, Lender may give Borrower a notice identifying the lien. Borrower shall satisfy the lien or take one or more of the actions set forth above within 10 days of the giving of notice.

5. Hazard or Property Insurance. Borrower shall keep the improvements now existing or hereafter erected on the Property insured against loss by fire, hazards included within the term "extended coverage" and any other hazards, including floods or flooding, for which Lender requires insurance. This insurance shall be maintained in the amounts and for the periods that Lender requires. The insurance carrier providing the insurance shall be chosen by Borrower subject to Lender's approval which shall not be unreasonably withheld. If Borrower fails to maintain coverage described above, Lender may, at Lender's option, obtain coverage to protect Lender's rights in the Property in accordance with paragraph 7.

All insurance policies and renewals shall be acceptable to Lender and shall include a standard mortgage clause. Lender shall have the right to hold the policies and renewals. If Lender requires, Borrower shall promptly give to Lender all receipts of paid premiums and renewal notices. In the event of loss, Borrower shall give prompt notice to the insurance carrier and Lender. Lender may make proof of loss if not made promptly by Borrower.

Unless Lender and Borrower otherwise agree in writing, insurance proceeds shall be applied to restoration or repair of the Property damaged, if the restoration or repair is economically feasible and Lender's security is not lessened. If the restoration or repair is not economically feasible or Lender's security would be lessened, the insurance proceeds shall be applied to the sums secured by this Security Instrument, whether or not then due, with any excess paid to Borrower. If Borrower abandons the Property, or does not answer within 30 days a notice from Lender that the insurance carrier has offered to settle a claim, then Lender may collect the insurance proceeds. Lender may use the proceeds to repair or restore the Property or to pay sums secured by this Security Instrument, whether or not then due. The 30-day period will begin when the notice is given.

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Unless Lender and Borrower otherwise agree in writing, any application of proceeds to principal shall not extend or postpone the due date of the monthly payments referred to in paragraphs 1 and 2 or change the amount of the payments. If under paragraph 21 the Property is acquired by Lender, Borrower's right to any insurance policies and proceeds resulting from damage to the Property prior to the acquisition shall pass to Lender to the extent of the sums secured by this Security Instrument immediately prior to the acquisition.

6. Occupancy, Preservation, Maintenance and Protection of the Property; Borrower's Loan Application; Leaseholds. Borrower shall occupy, establish, and use the Property as Borrower's principal residence or other residence within sixty days after the execution of this Security Instrument and shall continue to occupy the Property as Borrower's principal residence or other residence for at least one year after the date of occupancy. Borrower shall not destroy, damage or impair the Property, allow the Property to deteriorate, or commit waste on the Property. Borrower shall be in default if any forfeiture action or proceeding, whether civil or criminal, is begun that in Lender's good faith judgment could result in forfeiture of the Property or otherwise materially impair the lien created by this Security Instrument or Lender's security interest. Borrower may cure such a default and reinstate, as provided in paragraph 18, by causing the action or proceeding to be dismissed with a ruling that, in Lender's good faith determination, precludes forfeiture of the Borrower's interest in the Property or other material impairment of the lien created by this Security Instrument or Lender's security interest. Borrower shall also be in default if Borrower, during the loan application process, gave materially false or inaccurate information or statements to Lender (or failed to provide Lender with any material information) in connection with the loan evidenced by the Note, including, but not limited to, representations concerning Borrower's occupancy of the Property as a principal residence or other residence. If this Security Instrument is on a leasehold, Borrower shall comply with all the provisions of the lease. If Borrower acquires fee title to the Property, the leasehold and the fee title shall not merge unless Lender agrees to the merger in writing.

7. Protection of Lender's Rights in the Property. If Borrower fails to perform the covenants and agreements contained in this Security Instrument, or there is a legal proceeding that may significantly affect Lender's rights in the Property (such as a proceeding in bankruptcy, probate, for condemnation or forfeiture or to enforce laws or regulations), then Lender may do and pay for whatever is necessary to protect the value of the Property and Lender's rights in the Property. Lender's actions may include paying any sums secured by a lien which has priority over this Security Instrument, appearing in court, paying reasonable attorneys' fees and entering on the Property to make repairs. Although Lender may take action under this paragraph 7, Lender does not have to do so.

Any amounts disbursed by Lender under this paragraph 7 shall become additional debt of Borrower secured by this Security Instrument. Unless Borrower and Lender agree to other terms of payment, these amounts shall bear interest from the date of disbursement at the Note rate and shall be payable, with interest, upon notice from Lender to Borrower requesting payment.

8. Mortgage Insurance. If Lender required mortgage insurance as a condition of making the loan secured by this Security Instrument, Borrower shall pay the premiums required to maintain the mortgage insurance in effect. If, for any reason, the mortgage insurance coverage required by Lender lapses or ceases to be in effect, Borrower shall pay the premiums required to obtain coverage substantially equivalent to the mortgage insurance previously in effect, at a cost substantially equivalent to the cost to Borrower of the mortgage insurance previously in effect, from an alternate mortgage insurer approved by Lender. If substantially equivalent mortgage insurance coverage is not available, Borrower shall pay to Lender each month a sum equal to one-twelfth of the yearly mortgage insurance premium being paid by Borrower when the insurance coverage lapsed or ceased to be in effect. Lender will accept, use and retain these payments as a loss reserve in lieu of mortgage insurance. Loss reserve payments may no longer be required, at the option of Lender, if mortgage insurance coverage (in the amount and for the period that Lender requires) provided by an insurer approved by Lender again becomes available and is obtained. Borrower shall pay the premiums required to maintain mortgage insurance in effect, or to provide a loss reserve, until the requirement for mortgage insurance ends in accordance with any written agreement between Borrower and Lender or applicable law.

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9. Inspection. Lender or its agent may make reasonable entries upon and inspections of the Property. Lender shall give Borrower notice at the time of or prior to an inspection specifying reasonable cause for the inspection.

10. Condemnation. The proceeds of any award or claim for damages, direct or consequential, in connection with any condemnation or other taking of any part of the Property, or for conveyance in lieu of condemnation, are hereby assigned and shall be paid to Lender.

In the event of a total taking of the Property, the proceeds shall be applied to the sums secured by this Security Instrument, whether or not then due, with any excess paid to Borrower. In the event of a partial taking of the Property in which the fair market value of the Property immediately before the taking is equal to or greater than the amount of the sums secured by this Security Instrument immediately before the taking, unless Borrower and Lender otherwise agree in writing, the sums secured by this Security Instrument shall be reduced by the amount of the proceeds multiplied by the following fraction: (a) the total amount of the sums secured immediately before the taking, divided by (b) the fair market value of the Property immediately before the taking. Any balance shall be paid to Borrower. In the event of a partial taking of the Property in which the fair market value of the Property immediately before the taking is less than the amount of the sums secured immediately before the taking, unless Borrower and Lender otherwise agree in writing or unless applicable law otherwise provides, the proceeds shall be applied to the sums secured by this Security Instrument whether or not the sums are then due.

If the Property is abandoned by Borrower, or if, after notice by Lender to Borrower that the condemnor offers to make an award or settle a claim for damages, Borrower fails to respond to Lender within 30 days after the date the notice is given, Lender is authorized to collect and apply the proceeds, at its option, either to restoration or repair of the Property or to the sums secured by this Security Instrument, whether or not then due.

Unless Lender and Borrower otherwise agree in writing, any application of proceeds to principal shall not extend or postpone the due date of the monthly payments referred to in paragraphs 1 and 2 or change the amount of such payments.

11. Borrower Not Released; Forbearance By Lender Not a Waiver. Extension of the time for payment or modification of amortization of the sums secured by this Security Instrument granted by Lender to any successor in interest of Borrower shall not operate to release the liability of the original Borrower or Borrower's successors in interest. Lender shall not be required to commence proceedings against any successor in interest or refuse to extend time for payment or otherwise modify amortization of the sums secured by this Security Instrument by reason of any demand made by the original Borrower or Borrower's successors in interest. Any forbearance by Lender in exercising any right or remedy shall not be a waiver of or preclude the exercise of any right or remedy.

12. Successors and Assigns Bound; Joint and Several Liability; Cosigners. The covenants and agreements of this Security Instrument shall bind and benefit the successors and assigns of Lender and Borrower, subject to the provisions of paragraph 17. Borrower's covenants and agreements shall be joint and several. Any Borrower who cosigns this Security Instrument but does not execute the Note: (a) is cosigning this Security Instrument only to mortgage, grant and convey that Borrower's interest in the Property under the terms of this Security Instrument; (b) is not personally obligated to pay the sums secured by this Security Instrument; and (c) agrees that Lender and any other Borrower may agree to extend, modify, forbear or make any accommodations with regard to the terms of this Security Instrument or the Note without that Borrower's consent.

13. Loan Charges. If the loan secured by this Security Instrument is subject to a law which sets maximum loan charges, and that law is finally interpreted so that the interest or other loan charges collected or to be collected in connection with the loan exceed the permitted limits, then: (a) any such loan charge shall be reduced by the amount necessary to reduce the charge to the permitted limit; and (b) any sums already collected from Borrower which exceeded permitted limits will be refunded to Borrower. Lender may choose to make this refund by reducing the principal owed under the Note or by making a direct payment to Borrower. If a refund reduces principal, the reduction will be treated as a partial prepayment without any prepayment charge under the Note.

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14. Notices. Any notice to Borrower provided for in this Security Instrument shall be given by delivering it or by mailing it by first class mail unless applicable law requires use of another method. The notice shall be directed to the Property Address or any other address Borrower designates by notice to Lender. Any notice to Lender shall be given by first class mail to Lender's address stated herein or any other address Lender designates by notice to Borrower. Any notice provided for in this Security Instrument shall be deemed to have been given to Borrower or Lender when given as provided in this paragraph.

15. Governing Law; Severability. This Security Instrument shall be governed by federal law and the law of the jurisdiction in which the Property is located. In the event that any provision or clause of this Security Instrument or the Note conflicts with applicable law, such conflict shall not affect other provisions of this Security Instrument or the Note which can be given effect without the conflicting provision. To this end the provisions of this Security Instrument and the Note are declared to be severable.

16. Borrower's Copy. Borrower shall be given one conformed copy of the Note and of this Security Instrument.

17. Transfer of the Property or a Beneficial Interest in Borrower. If all or any part of the Property or any interest in it is sold or transferred (or if a beneficial interest in Borrower is sold or transferred and Borrower is not a natural person) without Lender's prior written consent, Lender may, at its option, require immediate payment in full of all sums secured by this Security Instrument. However, this option shall not be exercised by Lender if exercise is prohibited by federal law as of the date of this Security Instrument.

If Lender exercises this option, Lender shall give Borrower notice of acceleration. The notice shall provide a period of not less than 30 days from the date the notice is delivered or mailed within which Borrower must pay all sums secured by this Security Instrument. If Borrower fails to pay these sums prior to the expiration of this period, Lender may invoke any remedies permitted by this Security Instrument without further notice or demand on Borrower.

18. Borrower's Right to Reinstate. If Borrower meets certain conditions, Borrower shall have the right to have enforcement of this Security Instrument discontinued at any time prior to the earlier of: (a) 5 days (or such other period as applicable law may specify for reinstatement) before sale of the Property pursuant to any power of sale contained in this Security Instrument; or (b) entry of a judgment enforcing this Security Instrument. Those conditions are that Borrower: (a) pays Lender all sums which then would be due under this Security Instrument and the Note as if no acceleration had occurred; (b) cures any default of any other covenants or agreements; (c) pays all expenses incurred in enforcing this Security Instrument, including, but not limited to, reasonable attorneys' fees; and (d) takes such action as Lender may reasonably require to assure that the lien of this Security Instrument, Lender's rights in the Property and Borrower's obligation to pay the sums secured by this Security Instrument shall continue unchanged. Upon reinstatement by Borrower, this Security Instrument and the obligations secured hereby shall remain fully effective as if no acceleration had occurred. However, this right to reinstate shall not apply in the case of acceleration under paragraph 17.

19. Sale of Note; Change of Loan Servicer. The Note or a partial interest in the Note (together with this Security Instrument) may be sold one or more times without prior notice to Borrower. A sale may result in a change in the entity (known as the "Loan Servicer") that collects monthly payments due under the Note and this Security Instrument. There also may be one or more changes of the Loan Servicer unrelated to a sale of the Note. If there is a change of the Loan Servicer, Borrower will be given written notice of the change in accordance with paragraph 14 above and applicable law. The notice will state the name and address of the new Loan Servicer and the address to which payments should be made. The notice will also contain any other information required by applicable law.

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ELTDP6 Rev. 12/24/2014

20. Hazardous Substances. Borrower shall not cause or permit the presence, use, disposal, storage, or release of any Hazardous Substances on or in the Property. Borrower shall not do, nor allow anyone else to do, anything affecting the Property that is in violation of any Environmental Law. The preceding two sentences shall not apply to the presence, use, or storage on the Property of small quantities of Hazardous Substances that are generally recognized to be appropriate to normal residential uses and to maintenance of the Property

Borrower shall promptly give Lender written notice of any investigation, claim, demand, lawsuit or other action by any governmental or regulatory agency or private party involving the Property and any Hazardous Substance or Environmental Law of which Borrower has actual knowledge. If Borrower learns, or is notified by any governmental or regulatory authority, that any removal or other remediation of any Hazardous Substance affecting the Property is necessary, Borrower shall promptly take all necessary remedial actions in accordance with Environmental Law.

As used in this paragraph 20, "Hazardous Substances" are those substances defined as toxic or hazardous substances by Environmental Law and the following substances: gasoline, kerosene, other flammable or toxic petroleum products, toxic pesticides and herbicides, volatile solvents, materials containing asbestos or formaldehyde, and radioactive materials. As used in this paragraph 20, "Environmental Law" means federal laws and laws of the jurisdiction where the Property is located that relate to health, safety or environmental protection.

NON-UNIFORM COVENANTS. Borrower and Lender further covenant and agree as follows:

21. Acceleration; Remedies. Lender shall give notice to Borrower prior to acceleration following Borrower's breach of any covenant or agreement in this Security Instrument (but not prior to acceleration under paragraph 17 unless applicable law provides otherwise). The notice shall specify: (a) the default; (b) the action required to cure the default; (c) a date, not less than 30 days from the date the notice is given to Borrower, by which the default must be cured; and (d) that failure to cure the default on or before the date specified in the notice may result in acceleration of the sums secured by this Security Instrument and sale of the Property. The notice shall further inform Borrower of the right to reinstate after acceleration and the right to bring a court action to assert the non-existence of a default or any other defense of Borrower to acceleration and sale. If the default is not cured on or before the date specified in the notice, Lender at its option may require immediate payment in full of all sums secured by this Security Instrument without further demand and may invoke the power of sale and any other remedies permitted by applicable law. Lender shall be entitled to collect all expenses incurred in pursuing the remedies provided in this paragraph 21, including, but not limited to, reasonable attorneys' fees and costs of title evidence.

If Lender invokes the power of sale, Lender shall execute or cause Trustee to execute a written notice of the occurrence of an event of default and of Lender's election to cause the Property to be sold. Trustee shall cause this notice to be recorded in each county in which any part of the Property is located. Lender or Trustee shall mail copies of the notice as prescribed by applicable law to Borrower and to the other persons prescribed by applicable law. Trustee shall give public notice of sale to the persons and in the manner prescribed by applicable law. After the time required by applicable law, Trustee, without demand on Borrower, shall sell the Property at public auction to the highest bidder at the time and place and under the terms designated in the notice of sale in one or more parcels and in any order Trustee determines. Trustee may postpone sale of all or any parcel of the Property by public announcement at the time and place of any previously scheduled sale. Lender or its designee may purchase the Property at any sale.

Trustee shall deliver to the purchaser Trustee's deed conveying the Property without any covenant or warranty, expressed or implied. The recitals in the Trustee's deed shall be prima facie evidence of the truth of the statements made therein. Trustee shall apply the proceeds of the sale in the following order: (a) to all expenses of the sale, including, but not limited to, reasonable Trustee's and attorneys' fees; (b) to all sums secured by this Security Instrument; and (c) any excess to the person or persons legally entitled to it.

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ELTDP7 Rev. 12/24/2014

[Space Below This Line for Acknowledgment]

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

STATE OF CALIFORNIA
COUNTY OF *San Francisco*

} ss.

On May 21, 2015 before me, Wendy Ng
Notary Public, personally appeared Miles Treaster and Meredith Treaster

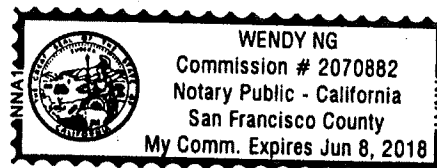
who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s), acted, executed the instrument.

I certify under PENALTY OF PERJURY, under the laws of the State of California, that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.



Notary Public



My commission expires: Jun 8, 2018

Loan origination organization **First Republic Bank**
NMLS ID **362814**
Loan originator **Elia Malick**
NMLS ID **0881364**

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BOARD OF SUPERVISORS
SAN FRANCISCO
2018 JUL 23 AM 10:50

City Planning Commission

Case No. 2017 009348 CUA VAR

The undersigned declare that they are hereby subscribers to this Notice of Appeal and are owners of property affected by the proposed amendment or conditional use (that is, owners of property within the area that is the subject of the application for amendment or conditional use, or within a radius of 300 feet of the exterior boundaries of the property.

If ownership has changed and assessment roll has not been amended, we attach proof of ownership change. If signing for a firm or corporation, proof of authorization to sign on behalf of the organization is attached.

	Street Address, property owned	Assessor's Block & Lot	Printed Name of Owner(s)	Original Signature of Owner(s)
1.	265600			
2.	THOMAS LOUIS	2656001	THOMAS W. LOUIE	★ Thomas W. Louie
3.	131 Corbett Ave			
4.				
5.				
6.				
7.				
8.				
9.				
10.				
11.				
12.				
13.				
14.				
15.				
16.				
17.				
18.				
19.				
20.				
21.				
22.				

2656/001
131 Corbett
LOUIE

Jackson W. Louie, ET All
104 Mozart Avenue
Los Gatos, Ca 95032

San Francisco Assessor-Recorder
Nabel S. Teng, Assessor-Recorder
DOC- 2005-H999317-00

Acct 3-FIRST AMERICAN Title Company
Thursday, JUL 28, 2005 13:13:50
Ttl Pd \$38.50 Nbr-0002794579
REEL 1941 IMAGE 0391
ogl/KC/1-4

Space Above This Line for Recorder's Use Only

A.P.N.: Lot: 001 Block: 2656

File No.: 4316-1952389 (AW)

Property Address: 131 Corbett Avenue, San Francisco, CA 94114

Lot Number:

Block Number:

GRANT DEED

The Undersigned Grantor(s) Declare(s): DOCUMENTARY TRANSFER TAX ~~4.0000~~ ^{122.50}; CITY TRANSFER TAX ~~0.0000~~
SURVEY MONUMENT FEE \$

- ☐ computed on the consideration or full value of property conveyed, OR
☐ computed on the consideration or full value less value of liens and/or encumbrances remaining at time of sale,
☐ unincorporated area; ☐ City of San Francisco, and
☐ Exempt from transfer tax; Reason:

FOR A VALUABLE CONSIDERATION, receipt of which is hereby acknowledged,
Jackson W. Louie, a married man as his sole and separate property, who aquired title as Jackson W. Louie an Unmarried man and Betasha W. Louie, a married woman as her sole and separate property, who aquired title as Betasha W. Louie an unmarried woman and Thomas W. Louie and Sana Wai Ping Louie Husband and wife, who aquired title as Thomas W. Louie and Sana Louie Husband and wife and Lai Bing Louie as surviving Joint Tenants.


hereby GRANT(s) to Jackson W. Louie, a married man as his sole and separate property, as to an undivided 33 1/3 % Interest and Betasha W. Louie a married woman as her sole and separate property as to an undivided 33 1/3 % Interest, and Thomas W. Louie and Sana Wai Ping Louie Husband & Wife as to an undivided 33 1/3 % Interest all as tenants in common.

the following described property in the City of San Francisco, County of San Francisco, State of California:


BEGINNING AT THE POINT OF INTERSECTION OF THE SOUTHERLY LINE OF CORBETT AVENUE WITH THE WESTERLY LINE OF HATTIE STREET; RUNNING THENCE WESTERLY ALONG SAID LINE OF CORBETT AVENUE 25.54 FEET; THENCE SOUTHERLY AND PARALLEL WITH SAID LINE OF HATTIE STREET 82.963 FEET; THENCE AT A RIGHT ANGLE EASTERLY 25 FEET TO THE WESTERLY LINE OF HATTIE STREET; AND THENCE NORTHERLY ALONG SAID LAST NAMED LINE 87.953 FEET TO THE POINT OF BEGINNING.

BEING A PORTION OF LOTS 1 AND 63, IN BLOCK "C", ACCORDING TO MAP ENTITLED, "PARK LANE TRACT", FILED APRIL 22, 1885 IN THE OFFICE OF THE RECORDER OF THE CITY AND COUNTY OF SAN FRANCISCO, STATE OF CALIFORNIA.

Dated: 07/19/2005


Jackson W. Louie


Betasha W. Louie


Thomas W. Louie


Sana Wai Ping Louie

Lai Bing Louie

Lai Bing Louie

STATE OF Oregon)SS
COUNTY Clackamas
OF

On July 19, 2005, before me, A. COX
personally appeared Betasha W. Louie

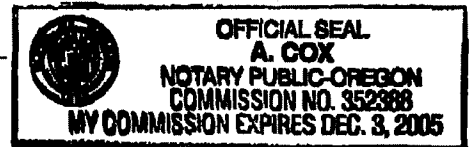
personally known to me (or proved to me on the basis of satisfactory evidence) to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies) and that his/her/their signature(s) on the instrument the person(s) or the entity upon behalf of which the person(s) acted, executed the instrument.

WITNESS my hand and official seal.

*This area for official
notarial seal*

Signature [Signature]

My Commission Expires: 12-3-2005



Notary Name: A. COX

Notary Phone: 503-635-3665

Notary Registration Number: 352388

County of Principal Place of Business: FATCO

Lake Oswego, OR

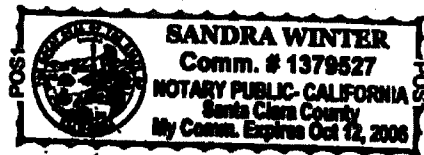
NOTARY ACKNOWLEDGMENT

STATE OF CALIFORNIA }ss
COUNTY OF *Santa Clara* }

On *July 22, 2005*, before me, *Sandra Winter*, a Notary Public in and for said State, personally appeared *Jackson W. Louie, Thomas W. Louie, Lai Bing Louie & Jana Wai Ping Louie* personally known to me (or proved to me on the basis of satisfactory evidence) to be the person(s) whose name(s) *is/are* subscribed to the within instrument and acknowledged to me that *he/she/they* executed the same in *his/her/their* authorized capacity(ies), and that by *his/her/their* signature(s) on the instrument the person(s) or the entity upon behalf of which the person(s) acted, executed the instrument.

WITNESS my hand and official seal.

Signature *Sandra Winter*



(This area for official notarial seal)

EXHIBIT "A"

LEGAL DESCRIPTION

Real property in the City of San Francisco, County of San Francisco, State of California, described as follows:

BEGINNING AT THE POINT OF INTERSECTION OF THE SOUTHERLY LINE OF CORBETT AVENUE WITH THE WESTERLY LINE OF HATTIE STREET; RUNNING THENCE WESTERLY ALONG SAID LINE OF CORBETT AVENUE 25.54 FEET; THENCE SOUTHERLY AND PARALLEL WITH SAID LINE OF HATTIE STREET 82.963 FEET; THENCE AT A RIGHT ANGLE EASTERLY 25 FEET TO THE WESTERLY LINE OF HATTIE STREET; AND THENCE NORTHERLY ALONG SAID LAST NAMED LINE 87.953 FEET TO THE POINT OF BEGINNING.

BEING A PORTION OF LOTS 1 AND 63, IN BLOCK "C", ACCORDING TO MAP ENTITLED, "PARK LANE TRACT", FILED APRIL 22, 1885 IN THE OFFICE OF THE RECORDER OF THE CITY AND COUNTY OF SAN FRANCISCO, STATE OF CALIFORNIA.

APN: Lot: 001 Block: 2656



SAN FRANCISCO PLANNING DEPARTMENT

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SAN FRANCISCO

2018 JUL 23 AM 10:44

Subject to: (Select only if applicable)

☐ Affordable Housing (Sec. 415)

☐ Jobs Housing Linkage Program (Sec. 413)

☐ Downtown Park Fee (Sec. 412)

☐ First Source Hiring (Admin. Code)

☒ Child Care Requirement (Sec. 414)

☐ Other

1650 Mission St.
Suite 400
San Francisco,
CA 94103-2479

Reception:
415.558.6378

Fax:
415.558.6409

Planning
Information:
415.558.6377

Planning Commission Motion No. 20220

HEARING DATE: JUNE 21, 2018

Record No.: 2017-009348CUA
Project Address: 143 Corbett Avenue
Zoning: RH-2 (Residential House, Two-Family District)
40-X Height and Bulk District
Block/Lot: 2656/060
Project Sponsor: Mark Cruz
Cruz Architecture+Design
400 Perkins, Suite 209
Oakland, CA 94610
Staff Contact: Jeff Horn – (415) 575-6925
jeffrey.horn@sfgov.org

ADOPTING FINDINGS RELATING TO THE APPROVAL OF CONDITIONAL USE AUTHORIZATION UNDER PLANNING CODE SECTIONS 249.77(D)(4) AND 303(C) TO LEGALIZE INTERIOR ALTERATIONS AND HORIZONTAL ADDITIONS AT THE REAR BUILDING WALL'S BAY WINDOW AND DECKS, AND THE ADDITION OF A SECOND UNIT WITHIN AN EXISTING SINGLE-FAMILY DWELLING AT 143 CORBETT AVENUE THAT HAS A REAR YARD THAT IS LESS THAN 45% OF THE LOT DEPTH, WITHIN AN RH-2 (RESIDENTIAL HOUSE, TWO-FAMILY) ZONING DISTRICT AND A 40-X HEIGHT AND BULK DISTRICT.

PREAMBLE

On February 12, 2018, Mark Cruz of Cruz Architecture+Design, LLP (hereinafter "Project Sponsor") filed an application with the Planning Department (hereinafter "Department") for Conditional Use Authorization under Planning Code Sections 249.77(d)(4) and 303(c) to legalize interior alterations and horizontal additions at the rear buildings wall's bay window and decks, and the addition of a second unit within an existing single-family dwelling at 143 Corbett Avenue that has a rear yard that is less than 45% of the lot depth, within the RH-2 (Residential-House, Two-Family) Zoning District, 40-X Height and Bulk District.

On June 21, 2018, the San Francisco Planning Commission (hereinafter "Commission") conducted a duly noticed public hearing at a regularly scheduled meeting on Conditional Use Application No. 2017-009348CUA.

The project is exempt from the California Environmental Quality Act ("CEQA") as a Class 1 and Class 3 categorical exemption under CEQA.

The Commission has heard and considered the testimony presented to it at the public hearing and has further considered written materials and oral testimony presented on behalf of the applicant, Department staff, and other interested parties.

MOVED, that the Commission hereby authorizes the Conditional Use requested in Application No. 2017-009348CUA, subject to the conditions contained in "EXHIBIT A" of this motion, based on the following findings:

FINDINGS

Having reviewed the materials identified in the preamble above, and having heard all testimony and arguments, this Commission finds, concludes, and determines as follows:

1. The above recitals are accurate and constitute findings of this Commission.
2. **Site Description and Present Use.** The subject property is located on the south side of Corbett Avenue, between Hattie Street and Danvers, within the Corbett Heights neighborhood. The subject property is slightly more than 25 feet wide, and slopes downward with a depth of approximately 71 feet. The site is developed with a 4-story single family home; two of the floors are below street grade and are not entirely conditioned spaces. The lot is 1,829 square feet in size and is located in a RH-2 (Residential House, Two-Family) Zoning District and a 40-X Height and Bulk District.
3. **Surrounding Properties and Neighborhood.** The surrounding neighborhood consists of a mixture of two- and three-story buildings, containing mostly one- or two-residential dwelling units. Corbett Avenue slopes up slightly to the west, but steep slopes characterize the neighborhood as a whole; with the lots along the north and south side of Corbett Avenue steeply upsloping up towards the north, in excess of 20 percent. The adjacent parcel to the west, 145 Corbett Avenue, is a two-story over basement single-family residence. The adjacent property to the east, 137 and 139 Corbett Avenue, is a two-story over basement two-family residence.
4. **Project Description.** The Project is to legalize interior alterations and horizontal additions at the rear buildings wall's bay window and decks, to construct horizontal additions of a deck infill at the basement level and any solid fire-rated parapet deck railings within the rear yard, and the addition of a second unit within an existing single-family dwelling.
5. **Public Comment/Community Outreach.** The adjacent neighbors to the west (145 Corbett Avenue) of the project have expressed concerns with the legalizing of the rear structures, with the amount of unpermitted work that has occurred on site, and other issues. The Department has received one comment letter in opposition to the proposal from a resident of Corbett Avenue and a letter of opposition from the Corbett Heights Neighbors.

6. **Planning Code Compliance:** The Commission finds that the Project is consistent with the relevant provisions of the Planning Code in the following manner:

- A. **Height.** Planning Code Section 260 requires that all structures be no taller than the height prescribed in the subject height and bulk district. The proposed project is located in a 40-X Height and Bulk District, with a 40-foot height limit.

The project proposes no changes to the buildings height. Roof access is proposed via a hatch.

- B. **Front Setback.** Planning Code Section 132 requires, in RH-2 Districts, a front setback that complies to legislated setbacks (if any) or a front back based on the average of adjacent properties (in no case shall the required setback be greater than 15 feet).

The Project will provide the minimum front setback required based on the average of adjacent properties along Corbett Avenue.

- C. **Rear Yard.** Planning Code Section 134 requires a minimum rear yard depth equal to 45% of the total depth of the lot on which the building is situated, except that rear yard requirements can be reduced to a line on the lot, parallel to the rear lot line, which is the average between the depths of the rear building walls of both adjacent properties.

The Project Sponsor is seeking a Variance to Section 134 and Condition Use Authorization pursuant to Section 249.77 to allow for the legalization to a rear bay addition and a new spiral staircase within the required rear yard.

- D. **Side Yard.** Planning Code Section 133 does not require side yard setbacks in in RH-2 Districts.

No side setbacks are required. The proposed building will be built to both side lot lines.

- E. **Front Setback Landscaping and Permeability.** Planning Code Section 132 requires that the required front setback be at least 20% unpaved and devoted to plant material and at least 50% permeable to increase storm water infiltration.

The Project complies with Section 132 and provides the required landscaping permeable area.

- F. **Street Frontage.** Off-street parking and freight loading shall meet the standards set forth in Planning Code Section 144 with respect to entrance dimensions and features.

There is presently no off-street parking or loading on site.

- G. **Usable Open Space.** Planning Code Section 135 requires at least 125 sq.ft. usable open space if private, 333 sq. ft. for two units if common and 400 sq. ft. if a shared inner court.

The Project meets common open space requirements for two units.

- H. **Off-Street Parking.** Planning Code Section 151 requires one off-street parking space per dwelling unit, and the maximum parking permitted as accessory may not exceed three spaces, where one is required by Code.

There is presently no off-street parking existing or proposed on the site.

- I. **Bicycle Parking.** Planning Code Section 155.2 requires one Class 1 Bicycle Parking space per dwelling unit, when there is an addition of a dwelling unit.

The Project proposes two Class 1 Bicycle Parking spaces within the proposed garage, therefore the requirement is met.

- J. **Density (Section 209.1).** Planning Code Section 209.1 permits up to two dwelling units per lot in an RH-2 District.

The Project proposes two units; therefore, the permitted density is not exceeded.

7. **Planning Code Section 303** establishes criteria for the Planning Commission to consider when reviewing applications for Conditional Use approval. On balance, the project does comply with said criteria in that:

- A. The proposed use or feature, at the size and intensity contemplated and at the proposed location, will provide a development that is necessary or desirable for, and compatible with, the neighborhood or the community.

The Project adds a much-needed dwelling unit. The size, design, and two-family residential use, are compatible with the neighborhood. Located in an exclusively residential neighborhood, this project will add a new 2-bedroom residential unit at grade and the lower level to the existing 2,113 sf single-family building. The site's RH-2 zoning permits this unit as of right. This building was built in 1911 and has been used for residential use over that period. The new unit will not expand the existing envelope. There will not be a noticeable change in the intensity of use at the site given that it is surrounded by similarly situated 1 and 2 unit homes.

In addition, the project is seeking legal authorization of existing and proposed rear yard extensions, respectively. A horizontal expansion of the existing modified breakfast nook will encroach 1'9" or 10 sf into the average rear yard of 33'. Additionally, 32' of a proposed 1-story spiral stair at grade will encroach 12'6" into the rear yard for 32 sf.

This project is necessary and desirable at this location. Most of the elements in the rear yard were installed by the prior owner of the property. There are also numerous other features at the rear of the building which were undertaken by the prior owner. Many of the other homes facing the southern portion of the block also enjoy decks, stairs and other elements that support outdoor activities.

- B. The use or feature as proposed will not be detrimental to the health, safety, convenience or general welfare of persons residing or working in the vicinity, or injurious to property, improvements, or potential development in the vicinity, with respect to aspects including, but not limited to the following:

- i. Nature of proposed site, including its size and shape, and the proposed size, shape and arrangement of structures;

The subject property, similar to many lots within the surrounding neighborhood, is characterized by a steep slope, with a rear property line that lower than the front property line, on a 71 foot deep lot, which is much shorter than the typical lot in San Francisco. The proposed building's depth and height have been sensitively designed with regard to site-specific constraints and will create a quality, family-sized home while retaining the existing structure fronting on Corbett Avenue. Although the Project will have a rear yard less than 45% of the total lot depth, its coverage and scale are consistent with other properties in the surrounding neighborhood.

There is already an existing 3-story over basement single family residential building on the Project site. The Project involves variances for the legalization of various existing and proposed rear yard features. That includes the 10 sf of the existing rear breakfast nook that will encroach 1'9" into the required rear yard. It also includes a 32 sf of a new, 1-story spiral staircase for rear access to the lower unit. Other variance requests (e.g., 2nd story deck) were submitted. No other changes to the building envelope or rear façade are sought.

- ii. The accessibility and traffic patterns for persons and vehicles, the type and volume of such traffic, and the adequacy of proposed off-street parking and loading;

The Project can provide two-bike parking space, which is adequate to meet the needs of a two-family home. This small Project will not have significant impacts on area traffic.

The subject property is also in close proximity to several transit lines, located only approximately a 10-minute walk away from the Castro Street MUNI Station, and within a ½ mile of MUNI bus lines.

- iii. The safeguards afforded to prevent noxious or offensive emissions such as noise, glare, dust and odor;

The Project will comply with all applicable regulations relating to construction noise and dust. It will not produce, nor include, any permanent uses that generate substantial levels of noxious or offensive emissions, such as noise, dust, glare, or odor.

- iv. Treatment given, as appropriate, to such aspects as landscaping, screening, open spaces, parking and loading areas, service areas, lighting and signs;

The proposal does not include loading or services areas, nor will it include atypical lighting or signage. The Project has existing landscaping at the base of the entry stair and in the rear yard to

contribute to an enjoyable rear yard and open space area. The proposed roof deck above the third floor will be set back from the front, rear and side lot lines to minimally impact the neighboring properties and their own enjoyment of their space.

- C. That the use or feature as proposed will comply with the applicable provisions of the Planning Code and will not adversely affect the General Plan.

The proposed Project complies with all applicable requirements and standards of the Planning Code, and is consistent with the Objectives and Policies of the General Plan as detailed below.

- D. That the use or feature as proposed would provide development that is in conformity with the stated purpose of the applicable Use District.

The proposed project is consistent with the stated purpose of the RH-2 District. The building structure is compatible to the height and size of development expected in this District, and within the permitted density.

8. **Corona Heights Large Residence Special Use District (Planning Code Section 249.77).** The project is located within the boundaries of the Corona Heights Large Residence Special Use District (SUD). The SUD was adopted to protect and enhance existing neighborhood character, encourage new infill housing at compatible densities and scale, and provide for thorough assessment of proposed large-scale residences that could adversely impact the area and affordable housing opportunities, to meet these goals, the SUD requires Conditional Use Authorization for five (5) types of development.

The proposed Project exceeds one of these development standards; thereby requiring Conditional Use Authorization pursuant to Planning Code Section 249.77(d)(4) for residential development that results in less than 45% rear yard depth.

In acting on any application for Conditional Use authorization within the SUD, the Commission shall consider the Conditional Use authorization requirements set forth in subsection 303(c) and, in addition, shall consider whether facts are presented to establish, based on the record before the Commission, one or more of the following:

- A. The proposed project promotes housing affordability by increasing housing supply.

The Project would add a second unit below and existing single-family unit, resulting in two family-sized units (three bedrooms and two bedrooms), thereby increasing the housing supply in the City.

- B. The proposed project maintains affordability of any existing housing unit; or

The Site is currently vacant. Therefore, there is no affordability of an existing unit to maintain.

- C. The proposed project is compatible with existing development.

The subject property and the adjacent properties are all approximately 70 feet deep, due to a curve in Corbett Avenue; this is a much short dimension than the typical lot in San Francisco. These buildings all have a similar depth and have relatively consistent rear building-wall depths. The subject property and the property to the west have non-complying rear decks at all levels.

The project is in a predominantly 1-2 unit neighborhood in the upper Castro neighborhood. The scale and massing of the building is not changing. No changes will occur to the building envelope at the rear because of the project or legalization of the encroachments by issuance of a variance by the Zoning Administrator. Most of the existing encroachments were done without benefit of permit and by the prior owner.

The trigger for compliance with the Corona SUD is a modified breakfast nook, 10 sf of which encroaches 1'9" into the 33' averaged rear yard and 32 sf of a proposed 1-story spiral staircase. Similar rear yard encroachments exist in the neighborhood. In addition to the spiral staircase, legalization is sought for other encroachments including existing decks and bay windows. Many of the other neighbors have similar encroachments in the required rear yards

9. **General Plan Compliance.** The Project is, on balance, consistent with the following Objectives and Policies of the General Plan:

HOUSING ELEMENT

Objectives and Policies

OBJECTIVE 1:

IDENTIFY AND MAKE AVAILABLE FOR DEVELOPMENT ADEQUATE SITES TO MEET THE CITY'S HOUSING NEEDS, ESPECIALLY PERMANENTLY AFFORDABLE HOUSING.

Policy 1.8:

Promote mixed use development, and include housing, particularly permanently affordable housing, in new commercial, institutional or other single use development projects.

The Project proposes to contribute a much needed home to the City's housing stock.

OBJECTIVE 4:

FOSTER A HOUSING STOCK THAT MEETS THE NEEDS OF ALL RESIDENTS ACROSS LIFECYCLES.

Policy 4.1:

Develop new housing, and encourage the remodeling of existing housing, for families with children.

The Project advances this policy by creating a two quality family-sized home that could accommodate families.

OBJECTIVE 11:

SUPPORT AND RESPECT THE DIVERSE AND DISTINCT CHARACTER OF SAN FRANCISCO'S NEIGHBORHOODS.

Policy 11.1:

Promote the construction and rehabilitation of well-designed housing that emphasizes beauty, flexibility, and innovative design, and respects existing neighborhood character.

Policy 11.2:

Ensure implementation of accepted design standards in project approvals.

Policy 11.3:

Ensure growth is accommodated without substantially and adversely impacting existing residential neighborhood character.

Policy 11.6:

Foster a sense of community through architectural design, using features that promote community interaction.

The Project supports these policies in that the proposed construction is sensitively designed within existing site constraints and conforms to the prevailing neighborhood character. The Project is consistent with all accepted design standards, including those related to site design, building scale and form, architectural features and building details. The resulting height and depth is compatible with the existing building scale on the adjacent properties. The building's form, façade materials, proportions, and third floor addition are also compatible with the surrounding buildings and consistent with the character of the neighborhood.

TRANSPORTATION ELEMENT

Objectives and Policies

OBJECTIVE 1:

MEET THE NEEDS OF ALL RESIDENTS AND VISITORS FOR SAFE, CONVENIENT AND INEXPENSIVE TRAVEL WITHIN SAN FRANCISCO AND BETWEEN THE CITY AND OTHER PARTS OF THE REGION WHILE MAINTAINING THE HIGH QUALITY LIVING ENVIRONMENT OF THE BAY AREA.

Policy 1.3:

Give priority to public transit and other alternatives to the private automobile as the means of meeting San Francisco's transportation needs, particularly those of commuters.

The Project furthers this policy by creating a quality second dwelling unit in an area well-served by the City's public transit system. The Castro Street MUNI Station is less than a 10-minute walk from the project site, and several MUNI bus lines have stops within a quarter-mile of the site.

URBAN DESIGN ELEMENT

Objectives and Policies

OBJECTIVE 4:

IMPROVEMENT OF THE NEIGHBORHOOD ENVIRONMENT TO INCREASE PERSONAL SAFETY, COMFORT, PRIDE AND OPPORTUNITY.

Policy 4.15:

Protect the livability and character of residential properties from the intrusion of incompatible new buildings.

The Project furthers this policy by ensuring that the proposed development is compatible with the surrounding properties and neighborhood. The height and depth of the resulting building is compatible with the neighborhood's scale in terms of bulk and lot coverage.

10. **Planning Code Section 101.1(b)** establishes eight priority-planning policies and requires review of permits for consistency with said policies. On balance, the project does comply with said policies in that:

- A. That existing neighborhood-serving retail uses be preserved and enhanced and future opportunities for resident employment in and ownership of such businesses be enhanced.

This policy does not apply to the proposed project, as the project is residential and will not affect or displace any existing neighborhood-serving retail uses.

- B. That existing housing and neighborhood character be conserved and protected in order to preserve the cultural and economic diversity of our neighborhoods.

The Project is consistent with this policy, as the proposed construction is designed to be consistent with the existing neighborhood's height and size while maintaining the strong mid-block open space pattern.

- C. That the City's supply of affordable housing be preserved and enhanced,

The Project does not propose to remove or add any affordable housing units, nor are any required under the Planning Code. The Project does help to create a high-quality two-family house by contributing one net new family-sized unit to the City's housing stock.

- D. That commuter traffic not impede MUNI transit service or overburden our streets or neighborhood parking.

The Project is located in an area well-served by the City's public transit systems, proposes two off-street parking spaces and provides two bicycle parking spaces. The Castro MUNI Rail Station and several MUNI bus lines are in close proximity to the subject property, therefore the Project will not overburden streets or neighborhood parking. MUNI transit service will not be overburdened as the unit count is only increasing by one unit.

- E. That a diverse economic base be maintained by protecting our industrial and service sectors from displacement due to commercial office development, and that future opportunities for resident employment and ownership in these sectors be enhanced.

This policy does not apply to the proposed project, as the project does not include commercial office development and will not displace industrial or service sector uses.

- F. That the City achieve the greatest possible preparedness to protect against injury and loss of life in an earthquake.

The proposed building is designed and will be constructed to conform to the structural and seismic safety requirements of the City Building Code. This proposal will not impact the existing building's ability to withstand an earthquake as no alterations are proposed.

- G. That landmarks and historic buildings be preserved.

The Project will not adversely affect any landmarks or historic buildings.

- H. That our parks and open space and their access to sunlight and vistas be protected from development.

The Project will not affect any parks or open space, through development upon such lands or impeding their access to sunlight. No vistas will be blocked or otherwise affected by the proposed project.

11. The Project is consistent with and would promote the general and specific purposes of the Code provided under Section 101.1(b) in that, as designed, the Project would contribute to the character and stability of the neighborhood and would constitute a beneficial development.
12. The Commission hereby finds that approval of the Conditional Use authorization would promote the health, safety and welfare of the City.

DECISION

That based upon the Record, the submissions by the Applicant, the staff of the Department and other interested parties, the oral testimony presented to this Commission at the public hearings, and all other written materials submitted by all parties, the Commission hereby **APPROVES Conditional Use Application No. 2017-009348CUA** pursuant to Planning Code Sections 249.77(d)(4) and 303(c) to legalize interior alterations and horizontal additions the rear and propose horizontal additions at the rear and add a second unit to an existing single-family dwelling at 143 Corbett Avenue that has a rear yard that is less than 45% of the lot depth, within the RH-2 (Residential-House, Two-Family) Zoning District, 40-X Height and Bulk District, subject to the conditionssubject to the following conditions attached hereto as "EXHIBIT A" in general conformance with plans on file, dated June 11, 2018, and stamped "EXHIBIT B", which is incorporated herein by reference as though fully set forth.

APPEAL AND EFFECTIVE DATE OF MOTION: Any aggrieved person may appeal this Conditional Use Authorization to the Board of Supervisors within thirty (30) days after the date of this Motion No. 20220. The effective date of this Motion shall be the date of this Motion if not appealed (After the 30-day period has expired) OR the date of the decision of the Board of Supervisors if appealed to the Board of Supervisors. For further information, please contact the Board of Supervisors at (415) 554-5184, City Hall, Room 244, 1 Dr. Carlton B. Goodlett Place, San Francisco, CA 94102.

Protest of Fee or Exaction: You may protest any fee or exaction subject to Government Code Section 66000 that is imposed as a condition of approval by following the procedures set forth in Government Code Section 66020. The protest must satisfy the requirements of Government Code Section 66020(a) and must be filed within 90 days of the date of the first approval or conditional approval of the development referencing the challenged fee or exaction. For purposes of Government Code Section 66020, the date of imposition of the fee shall be the date of the earliest discretionary approval by the City of the subject development.

If the City has not previously given Notice of an earlier discretionary approval of the project, the Planning Commission's adoption of this Motion, Resolution, Discretionary Review Action or the Zoning Administrator's Variance Decision Letter constitutes the approval or conditional approval of the development and the City hereby gives **NOTICE** that the 90-day protest period under Government Code Section 66020 has begun. If the City has already given Notice that the 90-day approval period has begun for the subject development, then this document does not re-commence the 90-day approval period.

I hereby certify that the Planning Commission ADOPTED the foregoing Motion on June 21, 2018.


Jonas P. Ionin
Commission Secretary

AYES: Hillis, Johnson, Koppel, Moore, Richards
NAYS: None
ABSENT: Fong, Melgar
ADOPTED: June 21, 2018

EXHIBIT A

AUTHORIZATION

This authorization is for a conditional use to legalize interior alterations and horizontal additions the rear and construction the horizontal additions of a spiral staircase and deck infill with the rear yard and a add a second unit within the existing single-family dwelling at 143 Corbett Avenue that has a rear yard that is less than 45% of the lot depth, within the RH-2 (Residential-House, Two-Family) Zoning District, 40-X Height and Bulk District. District and a 40-X Height and Bulk District; in general conformance with plans, dated June 11, 2018, and stamped "EXHIBIT B" included in the docket for Case No. 2017-009348CUA and subject to conditions of approval reviewed and approved by the Commission on June 21, 2018 under Motion No. 20220. this authorization and the conditions contained herein run with the property and not with a particular Project Sponsor, business, or operator.

RECORDATION OF CONDITIONS OF APPROVAL

Prior to the issuance of the building permit or commencement of use for the Project the Zoning Administrator shall approve and order the recordation of a Notice in the Official Records of the Recorder of the City and County of San Francisco for the subject property. This Notice shall state that the project is subject to the conditions of approval contained herein and reviewed and approved by the Planning Commission on June 21, 2018 under Motion No. 20220.

PRINTING OF CONDITIONS OF APPROVAL ON PLANS

The conditions of approval under the 'Exhibit A' of this Planning Commission Motion No. 20220 shall be reproduced on the Index Sheet of construction plans submitted with the Site or Building permit application for the Project. The Index Sheet of the construction plans shall reference to the Conditional Use authorization and any subsequent amendments or modifications.

SEVERABILITY

The Project shall comply with all applicable City codes and requirements. If any clause, sentence, section or any part of these conditions of approval is for any reason held to be invalid, such invalidity shall not affect or impair other remaining clauses, sentences, or sections of these conditions. This decision conveys no right to construct, or to receive a building permit. "Project Sponsor" shall include any subsequent responsible party.

CHANGES AND MODIFICATIONS

Changes to the approved plans may be approved administratively by the Zoning Administrator. Significant changes and modifications of conditions shall require Planning Commission approval of a new Conditional Use authorization.

Conditions of Approval, Compliance, Monitoring, and Reporting PERFORMANCE

1. **Validity.** The authorization and right vested by virtue of this action is valid for three (3) years from the effective date of the Motion. The Department of Building Inspection shall have issued a Building Permit or Site Permit to construct the project and/or commence the approved use within this three-year period.
For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org
2. **Expiration and Renewal.** Should a Building or Site Permit be sought after the three (3) year period has lapsed, the project sponsor must seek a renewal of this Authorization by filing an application for an amendment to the original Authorization or a new application for Authorization. Should the project sponsor decline to so file, and decline to withdraw the permit application, the Commission shall conduct a public hearing in order to consider the revocation of the Authorization. Should the Commission not revoke the Authorization following the closure of the public hearing, the Commission shall determine the extension of time for the continued validity of the Authorization.
For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org
3. **Diligent pursuit.** Once a site or Building Permit has been issued, construction must commence within the timeframe required by the Department of Building Inspection and be continued diligently to completion. Failure to do so shall be grounds for the Commission to consider revoking the approval if more than three (3) years have passed since this Authorization was approved.
For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org
4. **Extension.** All time limits in the preceding three paragraphs may be extended at the discretion of the Zoning Administrator where implementation of the project is delayed by a public agency, an appeal or a legal challenge and only by the length of time for which such public agency, appeal or challenge has caused delay.
For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org
5. **Conformity with Current Law.** No application for Building Permit, Site Permit, or other entitlement shall be approved unless it complies with all applicable provisions of City Codes in effect at the time of such approval.
For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org
6. **Final Materials.** The Project Sponsor shall continue to work with Planning Department on the building design. Final materials, glazing, color, texture, landscaping, and detailing shall be subject to Department staff review and approval. The architectural addenda shall be reviewed and approved by the Planning Department prior to issuance.

For information about compliance, contact the Case Planner, Planning Department at 415-575-9017, www.sf-planning.org

7. **Remove Roof Deck and Spiral Staircase.** As amended by the Planning Commission, the project not provide a roof deck or a spiral staircase within the required rear yard.

For information about compliance, contact the Case Planner, Planning Department at 415-575-9017, www.sf-planning.org

8. **Garbage, Composting, and Recycling Storage.** Space for the collection and storage of garbage, composting, and recycling shall be provided within enclosed areas on the property and clearly labeled and illustrated on the building permit plans. Space for the collection and storage of recyclable and compostable materials that meets the size, location, accessibility and other standards specified by the San Francisco Recycling Program shall be provided at the ground level of the buildings.

For information about compliance, contact the Case Planner, Planning Department at 415-575-9017, www.sf-planning.org

PARKING AND TRAFFIC

9. **Managing Traffic During Construction.** The Project Sponsor and construction contractor(s) shall coordinate with the Traffic Engineering and Transit Divisions of the San Francisco Municipal Transportation Agency (SFMTA), the Police Department, the Fire Department, the Planning Department, and other construction contractor(s) for any concurrent nearby Projects to manage traffic congestion and pedestrian circulation effects during construction of the Project.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

10. **Enforcement.** Violation of any of the Planning Department conditions of approval contained in this Motion or of any other provisions of Planning Code applicable to this Project shall be subject to the enforcement procedures and administrative penalties set forth under Planning Code Section 176 or Section 176.1. The Planning Department may also refer the violation complaints to other city departments and agencies for appropriate enforcement action under their jurisdiction.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

11. **Revocation due to Violation of Conditions.** Should implementation of this Project result in complaints from interested property owners, residents, or commercial lessees which are not resolved by the Project Sponsor and found to be in violation of the Planning Code and/or the specific conditions of approval for the Project as set forth in Exhibit A of this Motion, the Zoning Administrator shall refer such complaints to the Commission, after which it may hold a public hearing on the matter to consider revocation of this authorization.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

12. **Bicycle Parking.** The Project shall provide no fewer than 2 Class 1 bicycle parking spaces as required by Planning Code Sections 155.1 and 155.2.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

OPERATION

13. **Child Care Fee - Residential.** The Project is subject to the Residential Child Care Fee, as applicable, pursuant to Planning Code Section 414A.

For information about compliance, contact the Case Planner, Planning Department at 415-558-6378, www.sf-planning.org

14. **Garbage, Recycling, and Composting Receptacles.** Garbage, recycling, and compost containers shall be kept within the premises and hidden from public view, and placed outside only when being serviced by the disposal company. Trash shall be contained and disposed of pursuant to garbage and recycling receptacles guidelines set forth by the Department of Public Works.

For information about compliance, contact Bureau of Street Use and Mapping, Department of Public Works at 415-554-.5810, <http://sfdpw.org>

15. **Sidewalk Maintenance.** The Project Sponsor shall maintain the main entrance to the building and all sidewalks abutting the subject property in a clean and sanitary condition in compliance with the Department of Public Works Streets and Sidewalk Maintenance Standards.

For information about compliance, contact Bureau of Street Use and Mapping, Department of Public Works, 415-695-2017, <http://sfdpw.org>

16. **Lighting.** All Project lighting shall be directed onto the Project site and immediately surrounding sidewalk area only, and designed and managed so as not to be a nuisance to adjacent residents. Nighttime lighting shall be the minimum necessary to ensure safety, but shall in no case be directed so as to constitute a nuisance to any surrounding property.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

VARIANCE APPLICATION FOR:

143 CORBETT AVE

SAN FRANCISCO, CA, 94114

PROJECT INFORMATION

OWNER: RAJAN AND RAGINI RAGHAVAN

143 CORBETT AVE
SAN FRANCISCO, CA
RRAGHAVAN57@gmail.com

ARCHITECT: MARK CRUZ #36564

400 PERKINS #206
OAKLAND, CA 94610
mark@cruzad.space

CONTRACTOR: F J SANDOVAL CO

1348 DOLORES ST #5
SAN FRANCISCO, CA 94110
FRANCISCO@FSANDOVAL.COM

PARCEL: 2656060

YEAR BUILT: 1911

PARCEL AREA: 1,829 SQ FT

UNITS: 1

STORIES: 4

OCCUPANCY: RH-2

HEIGHT DISTRICT: 40-X

PROJECT DESCRIPTION

THE SITE CONSISTS OF AN EXISTING 3 THREE STORY - SINGLE FAMILY RESIDENTIAL BUILDING WITH BASEMENT. THE PROJECT INVOLVES VARIANCES FOR THE LEGALIZATION OF VARIOUS EXISTING AND PROPOSED REAR YARD FEATURES. A HORIZONTAL EXPANSION OF THE EXISTING BREAKFAST NOOK WAS MODIFIED TO ENCROACH 1'9" INTO THE AVERAGED REAR YARD. ADDITIONALLY, A 1-STORY SPIRAL STAIR AT GRADE IS PROPOSED TO BE 12'-6" INTO IN THE REQUIRED REAR YARD.

THE GOAL OF THE PROJECT TO CREATE A SEPERATE DWELLING UNIT ON THE LOWER LEVEL AND CONVERT THE BASEMENT INTO A LIVABLE SPACE. SOME EXCAVATION OF THE EXISTING SOIL WAS REQUIRED TO ALLOW FOR A 8'1" CEILING.

DRAWING LIST

SHEET #	SHEET NAME
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VA0.0	COVER SHEET
VA0.2	SITE PLAN / INFO
VA0.3	UNIT DIAGRAM
VA0.4	FLOOR AREA
VA1.0	FLOOR PLANS - BASEMENT
VA1.0E	PLAN - BASEMENT EXISTING
VA1.1	FLOOR PLANS - LOWER
VA1.1E	FLOOR PLAN - LOWER EXISTING
VA1.2	FLOOR PLAN - MAIN
VA1.2E	FLOOR PLAN - MAIN EXISTING
VA1.3	FLOOR PLAN - UPPER
VA1.3E	FLOOR PLAN - UPPER EXISTING
VA2.0	ELEVATION - REAR
VA2.1	ELEVATION - WEST
VA2.2	ELEVATION - EAST
VA2.3	ELEVATION - FRONT
VA3.0	LONGITUDINAL SECTION
VA3.1	LONGITUDINAL SECTION
VA3.2	TRANSVERSE SECTIONS
VA4.1	3D
VA4.2	3D VIEW

RECENT PERMITS FOR REFERENCE

- 2002.1010.8753 -REAR DECK AND IMPROVEMENTS TO THE LOWER LEVELS
- 2014.0918.6685 -INSTALL RETAINING WALL, FOOTING, AND BEAM @ GROUND LEVEL
- 2015.8827.5417 -GIRDER REPLACEMENT @ LOWER LEVEL CEILING (NOT SHOWN)
- 2016.0309.1590 -REPAIR GROUND LEVEL FOUNDATION
- 2016-1123-3483 -INSTALL TEMPORARY SHORING TO GROUND LEVEL
- 2017-0327-2431 -INSTALL NEW RETAINING WALL AT REAR YARD
- (NOT SHOWN HERE) FOUNDATION IMPROVEMENTS AT BASEMENT AND UNDERPIN PARTIAL EXTG WEST REAR FOUNDATION.

CONDITIONAL USE APPLICATION FOR:

RAGHAVAN RESIDENCE

143 CORBETT AVE
SAN FRANCISCO, CA 94610

△ REVISIONS:		
No.	Description	Date
1	VARIANCE (2017-010082GEN)	7-21-17
2	PERMIT CONSOLIDATION (201708094368)	8-9-17

CRUZ A+D

MARK CRUZ, CA #36564

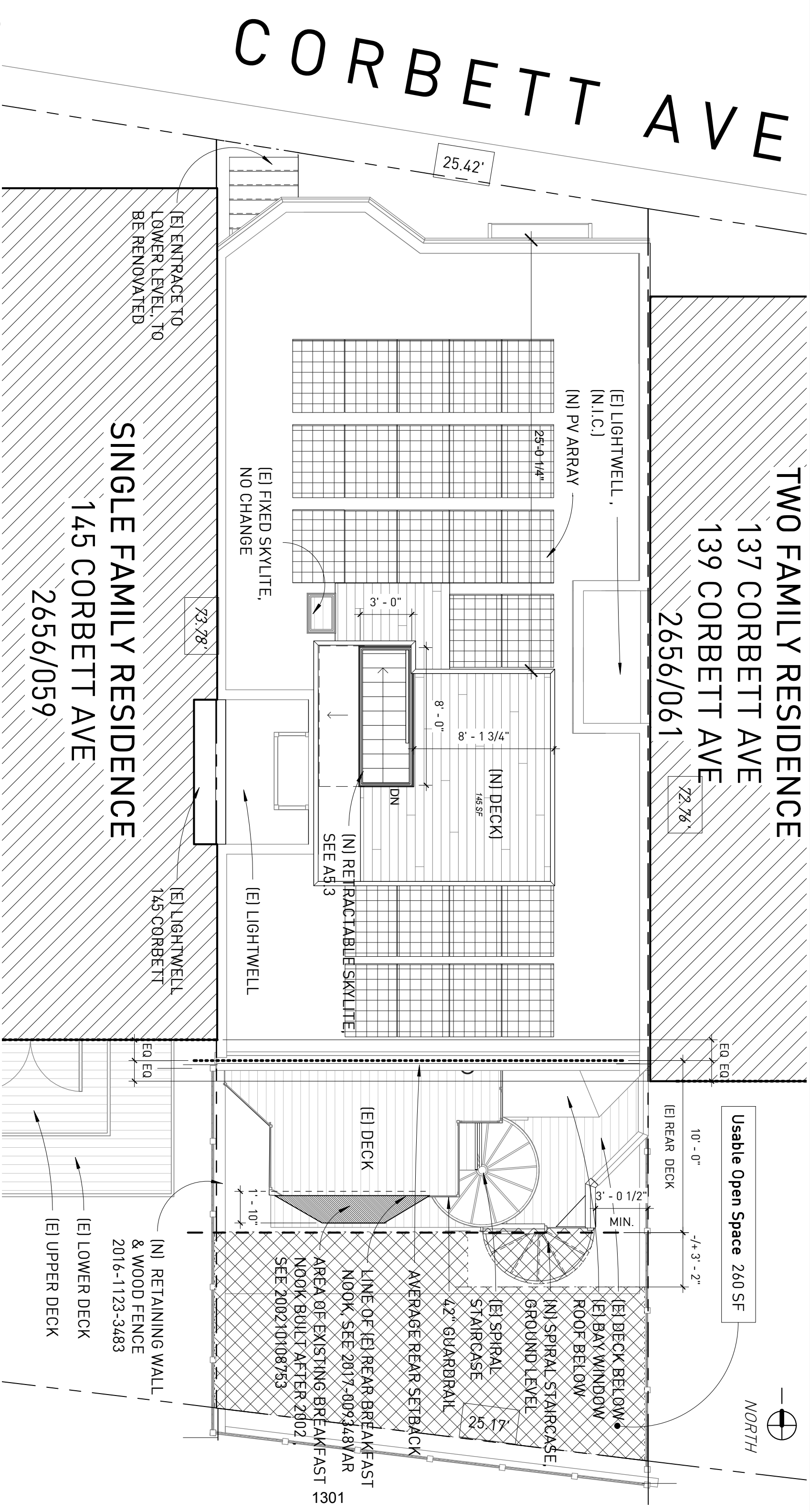
415.802.7447

mark@cruzad.space

COVER SHEET

VA0.0

Scale



1 SITE & ROOF PLAN
3/16" = 1'-0"

CONDITIONAL USE APPLICATION FOR:

RAGHAVAN RESIDENCE

143 CORBETT AVE
SAN FRANCISCO, CA 94610

△ REVISIONS:

No.	Description	Date
1	VARIANCE (2017-010082GEN)	7-21-17
2	PERMIT CONSOLIDATION (201708094368)	8-9-17

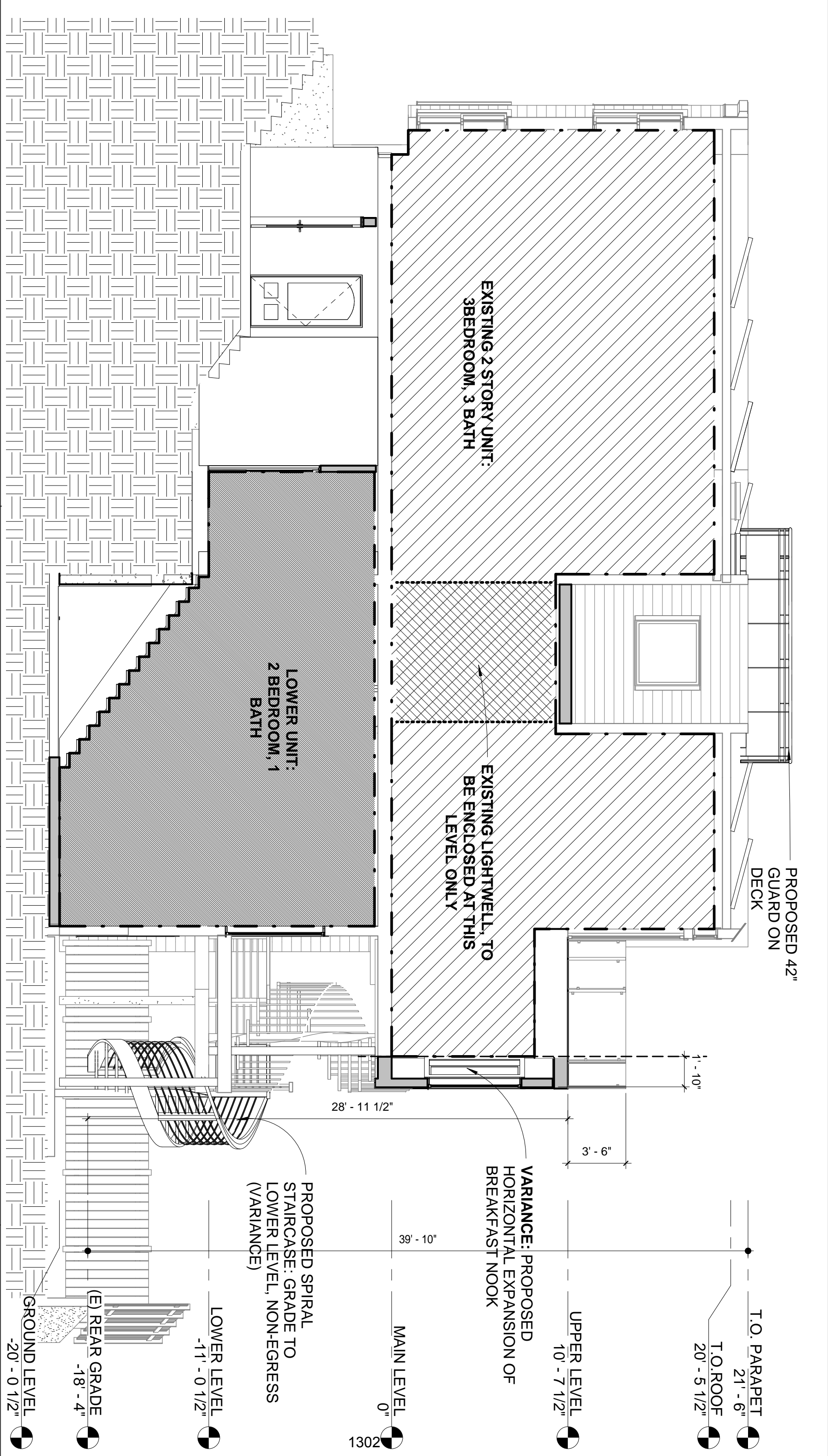
CRUZ A+D

MARK CRUZ, CA #36564
415.802.7447
mark@cruzad.space

SITE PLAN / INFO

V A 0 . 2

Scale 3/16" = 1'-0"



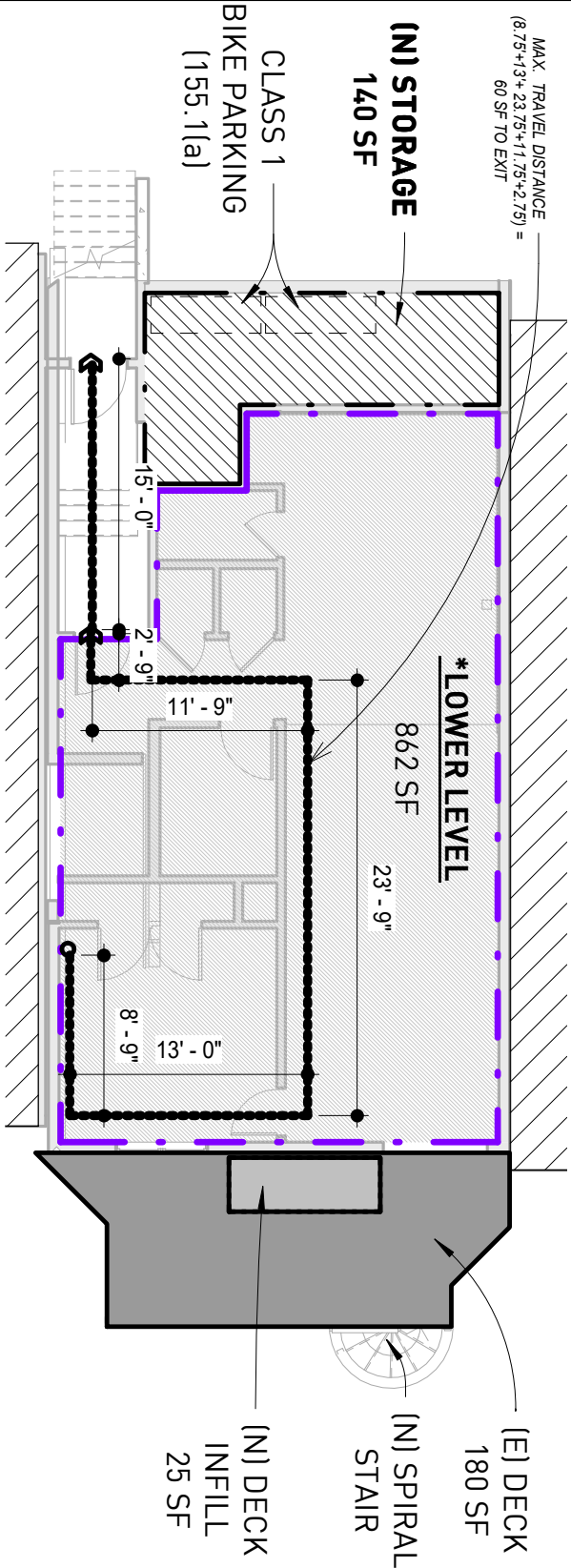
CONDITIONAL USE
APPLICATION FOR: **RAGHAVAN RESIDENCE**

143 CORBETT AVE
SAN FRANCISCO, CA 94610

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No.	Description	Date
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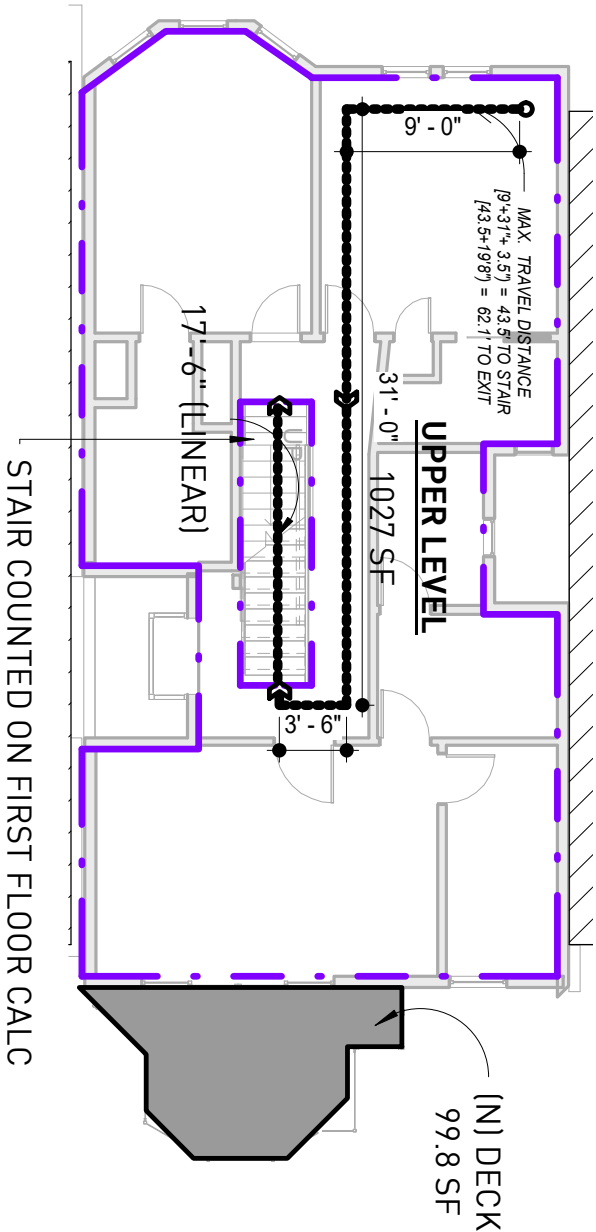
UNIT DIAGRAM
VA0.3
Scale 3/16" = 1'-0"



2

FLOOR AREA PLAN - LOWER LEVEL

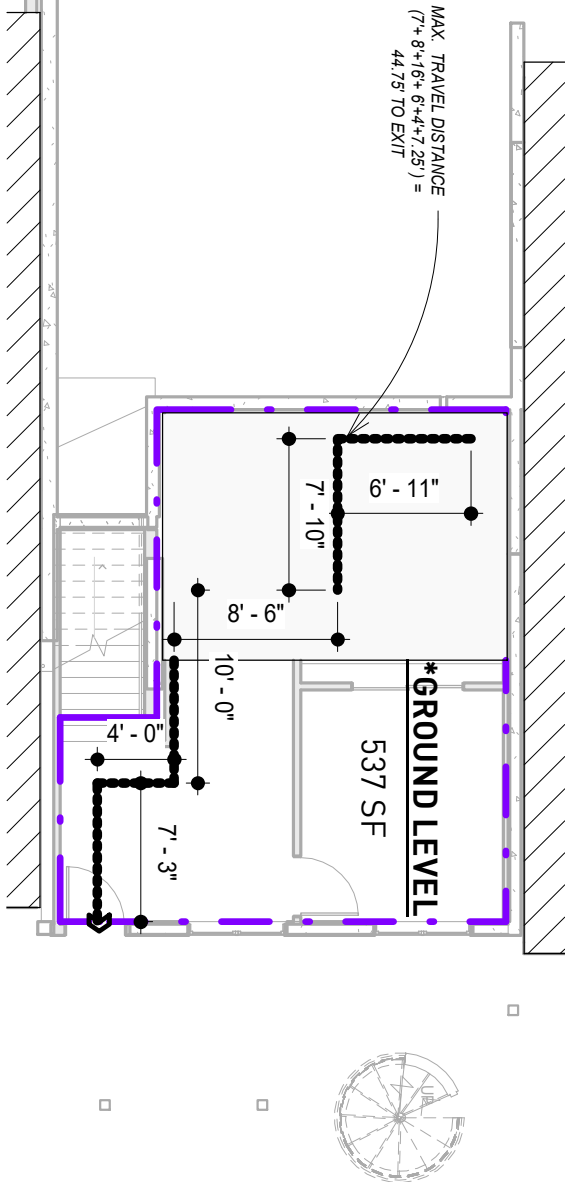
1" = 10'-0"



4

FLOOR AREA PLAN - UPPER LEVEL

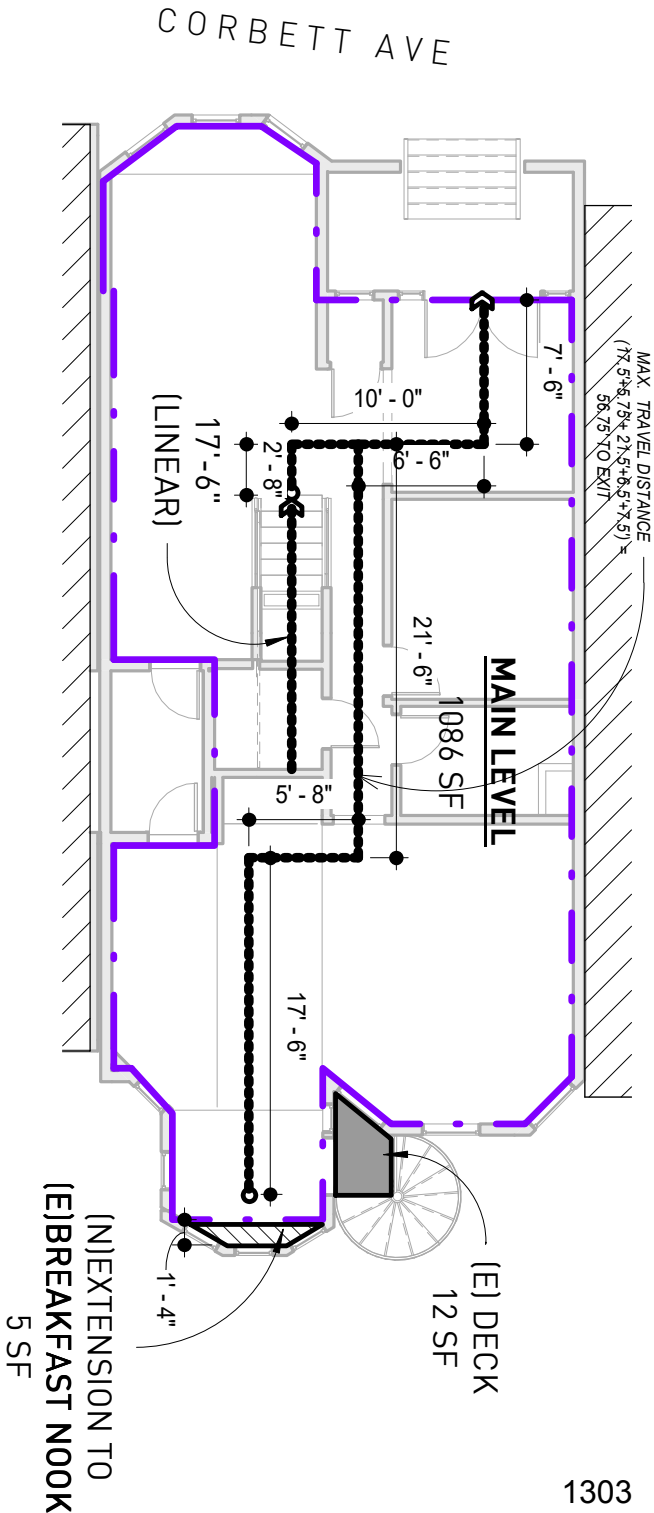
1" = 10'-0"



1

FLOOR AREA PLAN - BASEMENT

1" = 10'-0"



3

FLOOR AREA PLAN - MAIN LEVEL

1" = 10'-0"

CONDITIONAL USE
APPLICATION FOR:

RAGHAVAN RESIDENCE

143 CORBETT AVE
SAN FRANCISCO, CA 94610

△ REVISIONS:

Description

Date

No.

CRUZ A+D

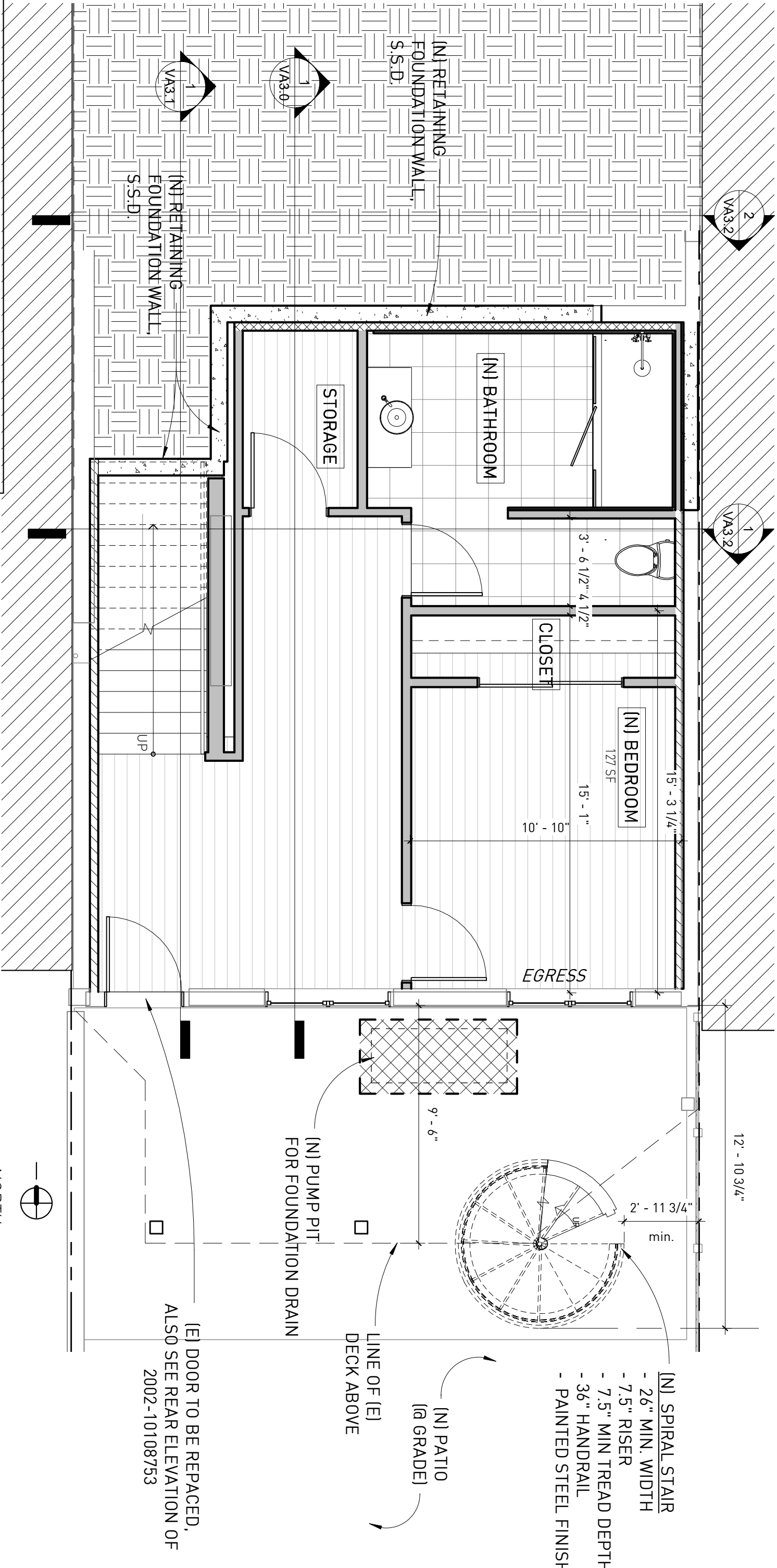
MARK CRUZ, CA #36564
415.802.7447
mark@cruzad.space

FLOOR AREA

V A 0 . 4

Scale

1" = 10'-0"



NEW NON-STRUCTURAL PARTITION
2x4 FRAMING @ 16" GWB EA SIDE

FURRING WALL @ FOUNDATION REPAIR LOCATIONS

EXISTING 2X4 @ 16" O.C. WALL TO REMAIN

NON STRUCTURAL PARTION TO BE DEMOLISHED

CONDITIONAL USE
APPLICATION FOR:

RAGHAVAN RESIDENCE

143 CORBETT AVE
SAN FRANCISCO, CA 94610

△ REVISIONS:		
No.	Description	Date
1	VARIANCE (2017-010082GEN)	7-21-17
2	PERMIT CONSOLIDATION (201708094368)	8-9-17

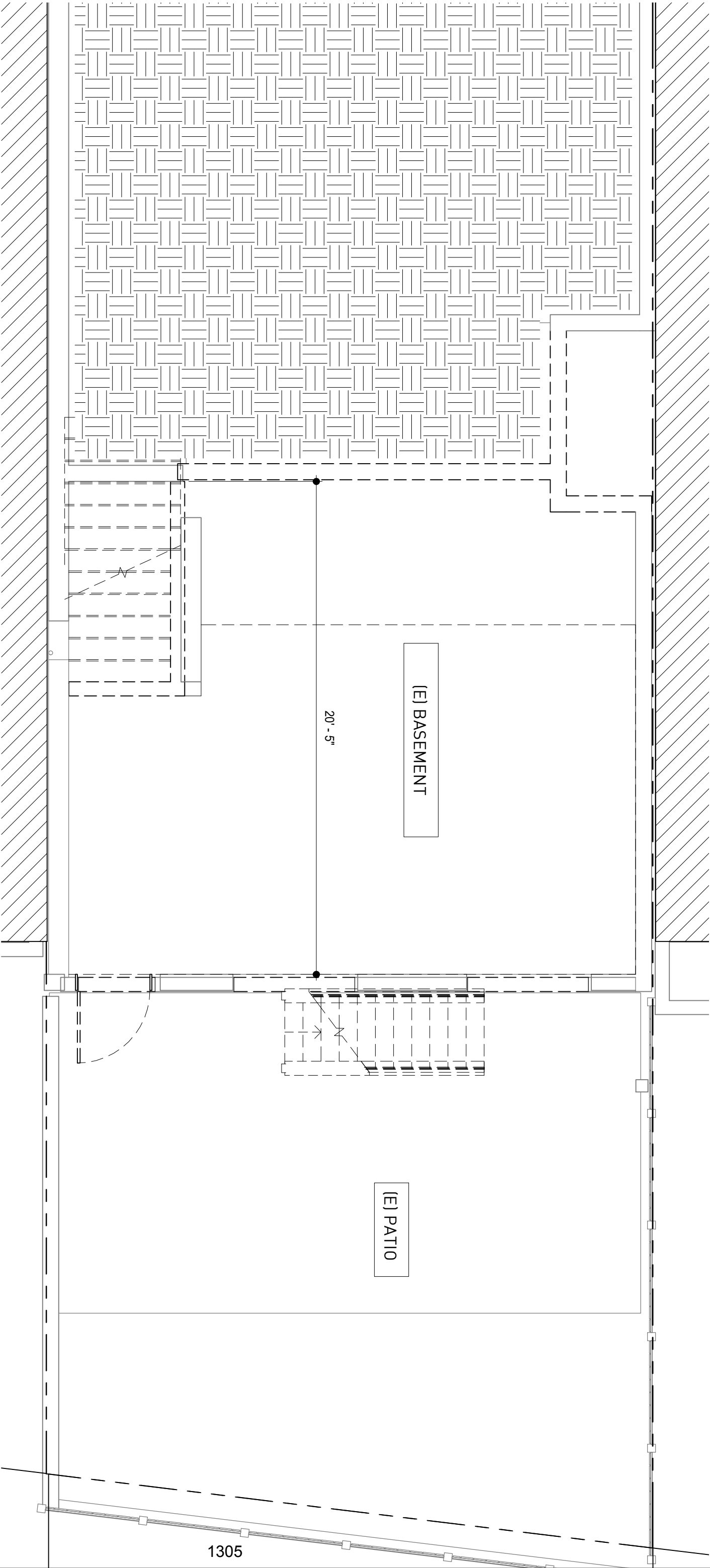
CRUZ A+D

MARK CRUZ, CA #36564
415.802.7447
mark@cruzad.space

FLOOR PLANS - BASEMENT

VA1.0

Scale As indicated



NEW NON-STRUCTURAL PARTITION
2x4 FRAMING @ 16" GWB EA SIDE

FURRING WALL @ FOUNDATION REPAIR LOCATIONS

EXISTING 2X4 @ 16" O.C. WALL TO REMAIN

NON STRUCTURAL PARTION TO BE DEMOLISHED

CONDITIONAL USE
APPLICATION FOR:

RAGHAVAN RESIDENCE

143 CORBETT AVE
SAN FRANCISCO, CA 94610

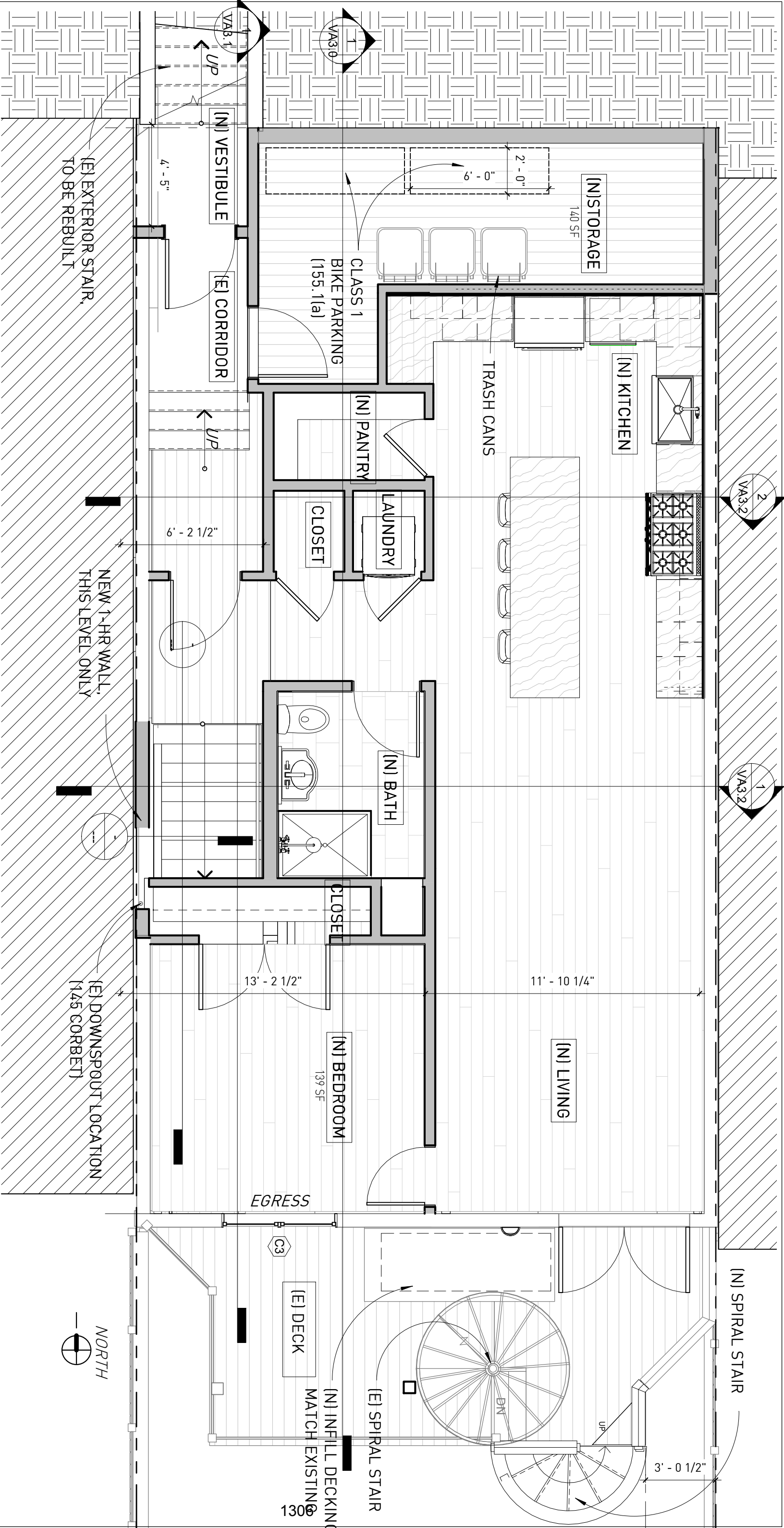
△ REVISIONS:		
No.	Description	Date

CRUZ A+D
MARK CRUZ, CA #36564
415.802.7447
mark@cruzad.space

PLAN - BASEMENT EXISTING

VA1.0E

Scale As indicated



CONDITIONAL USE
APPLICATION FOR:

RAGHAVAN RESIDENCE

143 CORBETT AVE
SAN FRANCISCO, CA 94610

REVISIONS:		
No.	Description	Date
1	VARIANCE (2017-010082GEN)	7-21-17

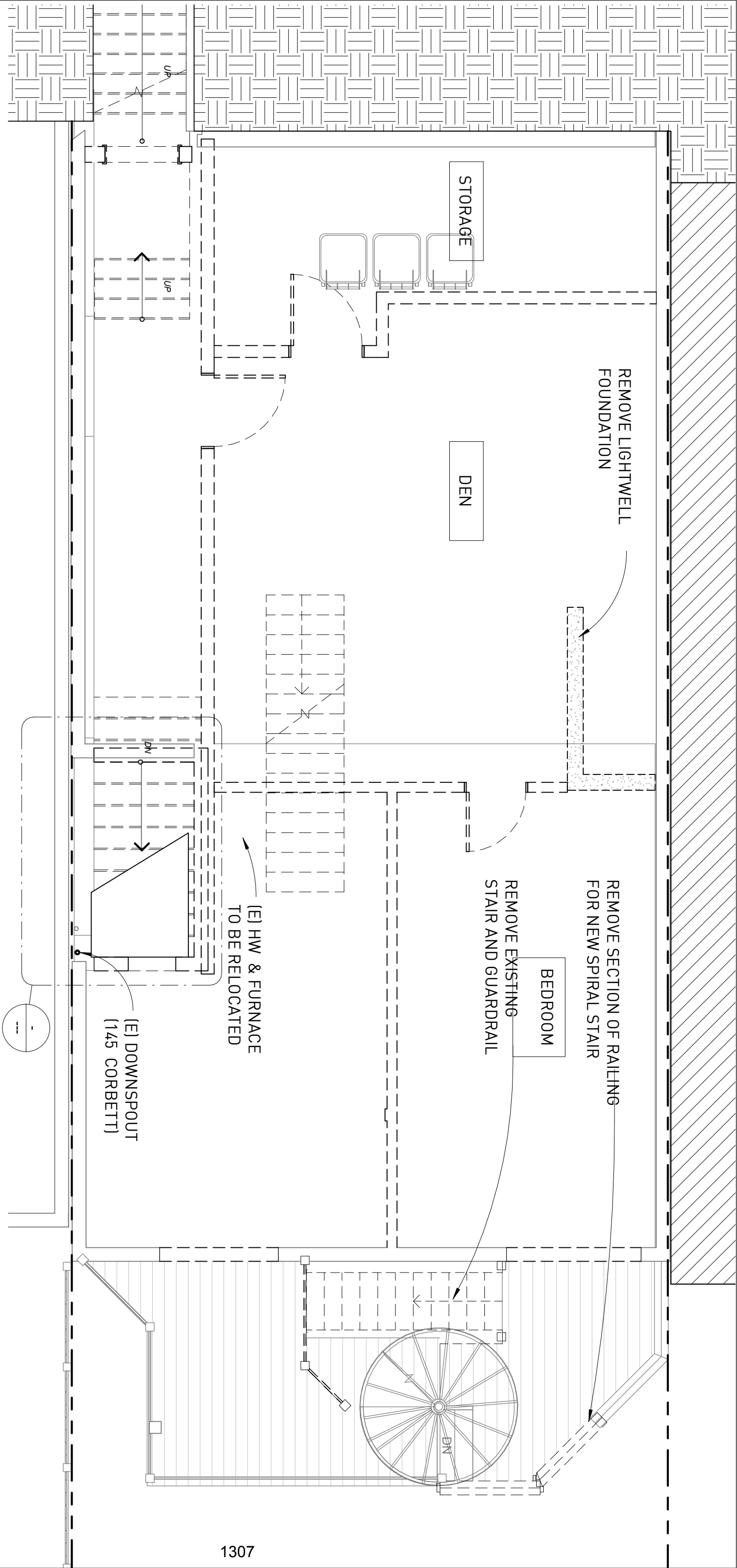
CRUZ A+D

MARK CRUZ, CA #36564
415.802.7447
mark@cruzad.space

FLOOR PLANS - LOWER

VA1.1

Scale 1/4" = 1'-0"



1307

CONDITIONAL USE
APPLICATION FOR:

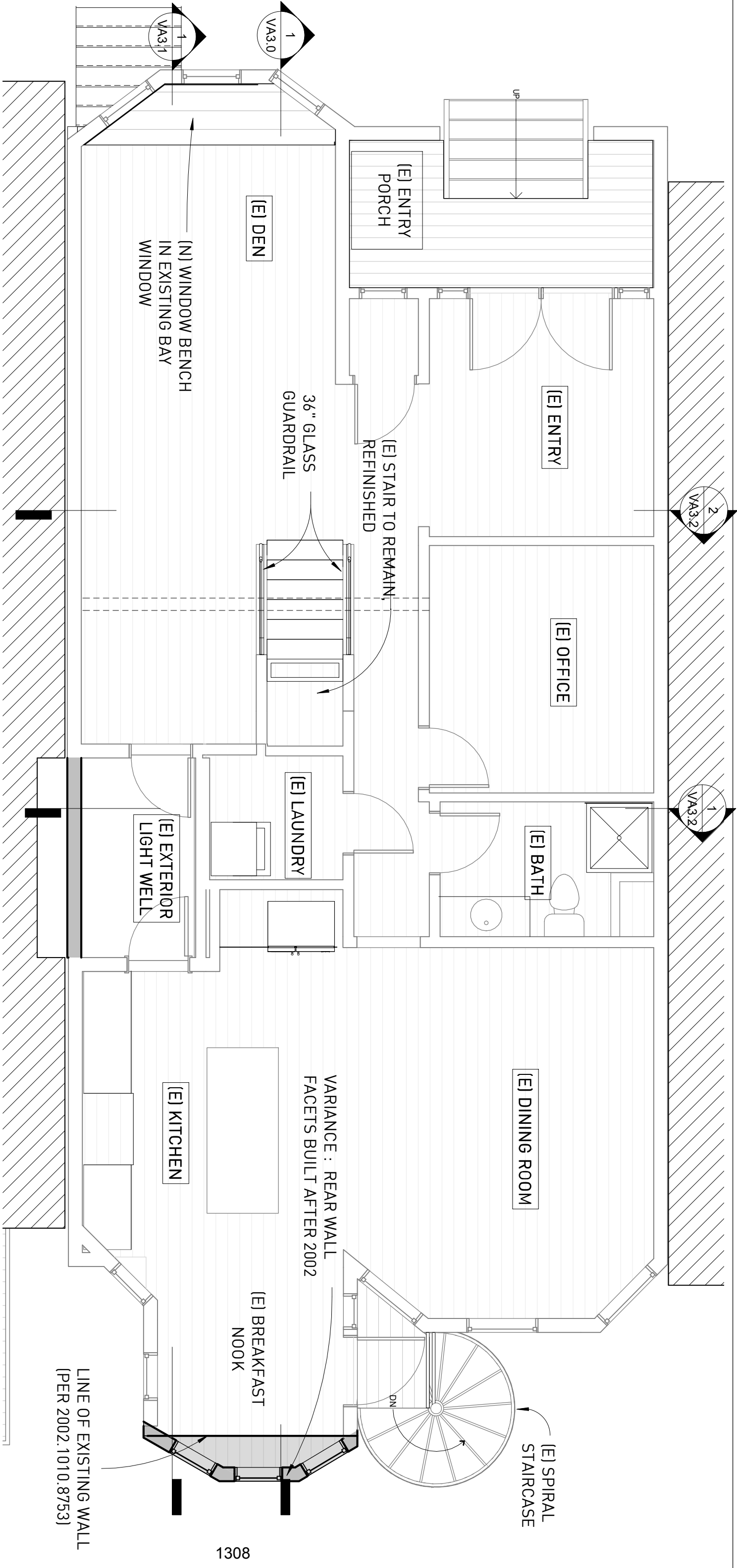
RAGHAVAN RESIDENCE
143 CORBETT AVE
SAN FRANCISCO, CA 94610

△ REVISIONS:		
No.	Description	Date

CRUZ A+D
MARK CRUZ, CA #36564
415.802.7447
mark@cruzad.space

FLOOR PLAN - LOWER EXISTING

VA1.1E
Scale 1/4" = 1'-0"



NEW NON-STRUCTURAL PARTITION
2x4 FRAMING @ 16" GWB EA SIDE

FURRING WALL @ FOUNDATION REPAIR LOCATIONS

EXISTING 2X4 @ 16" O.C. WALL TO REMAIN

NON STRUCTURAL PARTION TO BE DEMOLISHED

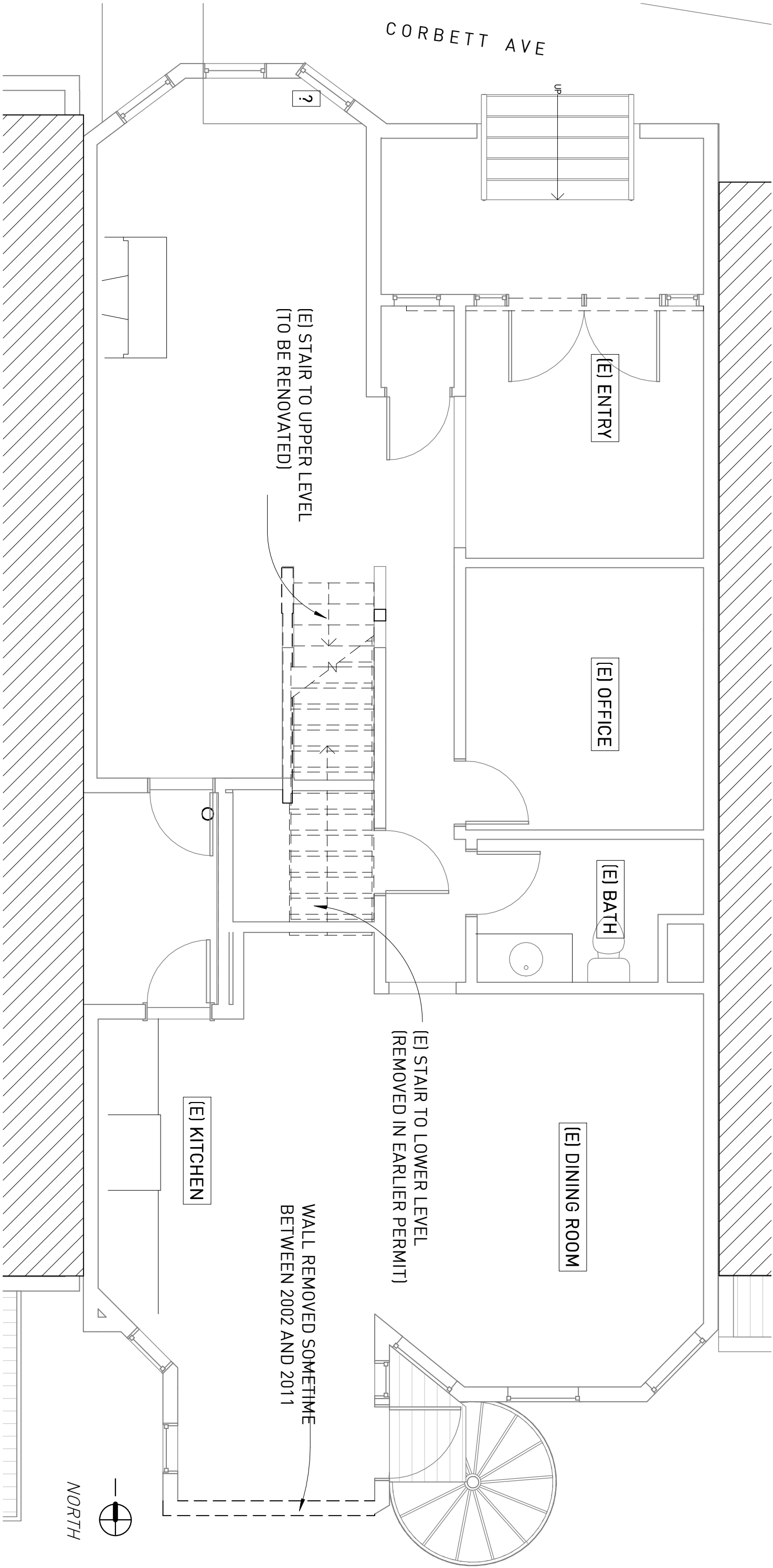
CONDITIONAL USE
APPLICATION FOR:

RAGHAVAN RESIDENCE
143 CORBETT AVE
SAN FRANCISCO, CA 94610

△ REVISIONS:		
No.	Description	Date
1	VARIANCE (2017-010082GEN)	7-21-17

CRUZ A+D
MARK CRUZ, CA #36564
415.802.7447
mark@cruzad.space

FLOOR PLAN - MAIN
VA1.2
Scale As indicated



NEW NON-STRUCTURAL PARTITION
2x4 FRAMING @ 16" GWB EA SIDE

FURRING WALL @ FOUNDATION REPAIR LOCATIONS

EXISTING 2X4 @ 16" O.C. WALL TO REMAIN

NON STRUCTURAL PARTION TO BE DEMOLISHED

CONDITIONAL USE
APPLICATION FOR:

RAGHAVAN RESIDENCE

143 CORBETT AVE
SAN FRANCISCO, CA 94610

REVISIONS:

No.	Description	Date

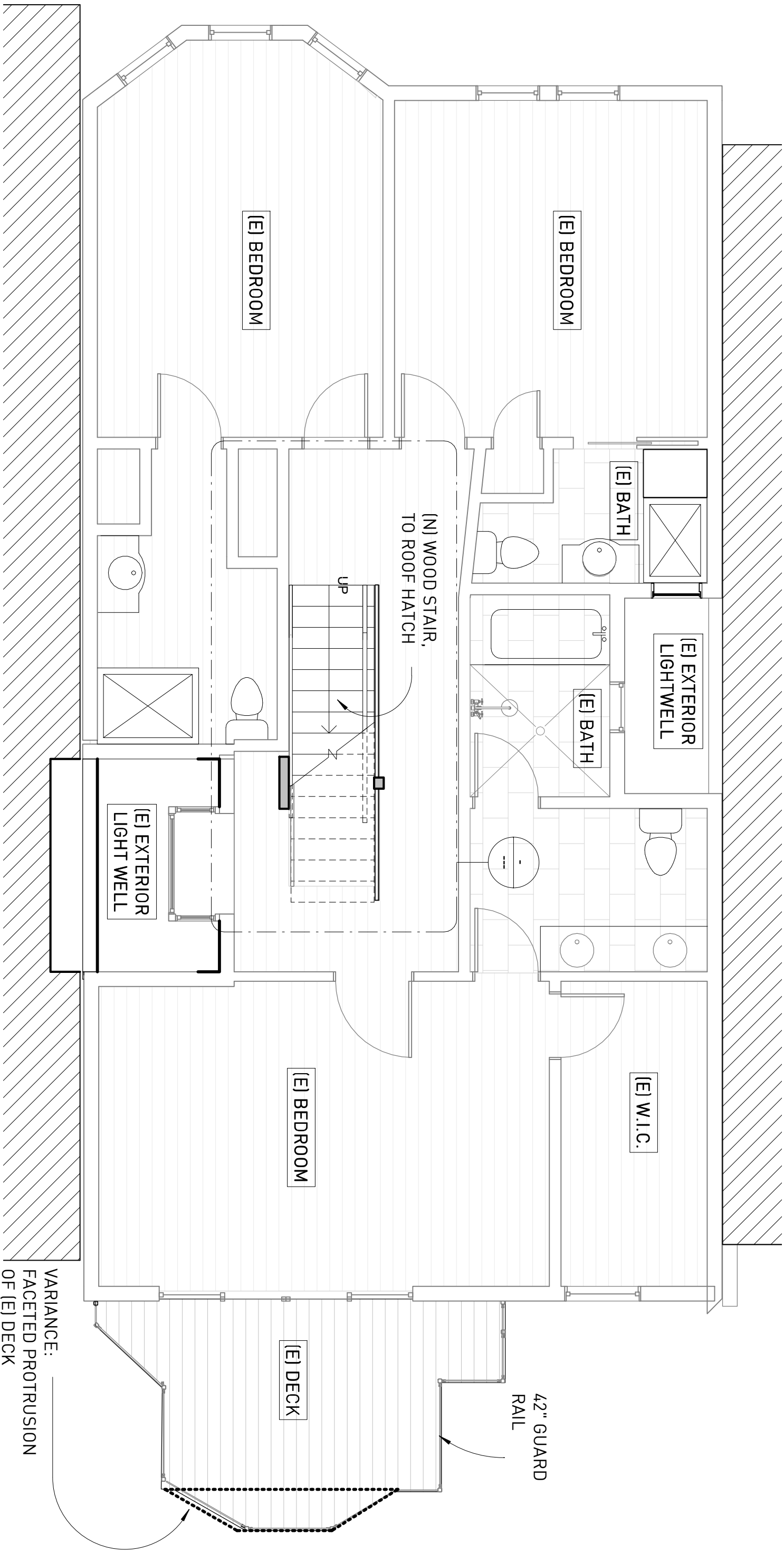
CRUZ A+D

MARK CRUZ, CA #36564
415.802.7447
mark@cruzad.space

FLOOR PLAN - MAIN EXISTING

VA1.2E

ScaleAs indicated



NEW NON-STRUCTURAL PARTITION
2x4 FRAMING @ 16" GWB EA SIDE

FURRING WALL @ FOUNDATION REPAIR LOCATIONS

EXISTING 2X4 @ 16" O.C. WALL TO REMAIN

NON STRUCTURAL PARTION TO BE DEMOLISHED

CONDITIONAL USE
APPLICATION FOR:

RAGHAVAN RESIDENCE

143 CORBETT AVE
SAN FRANCISCO, CA 94610

REVISIONS:

No.	Description	Date
1	VARIANCE (2017-010082GEN)	7-21-17

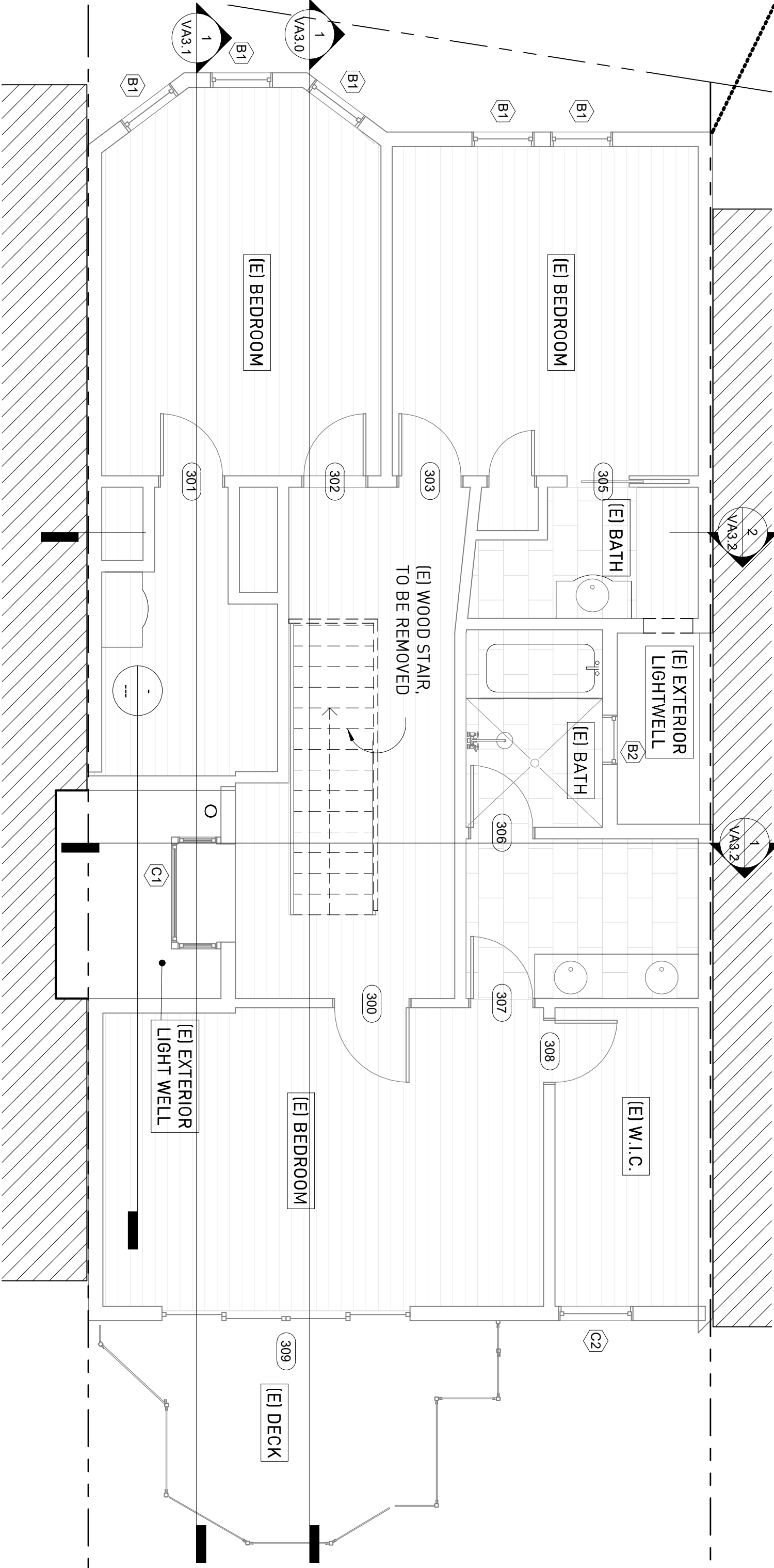
CRUZ A+D

MARK CRUZ, CA #36564
415.802.7447
mark@cruzad.space

FLOOR PLAN - UPPER

VA1.3

Scale As indicated



NEW NON-STRUCTURAL PARTITION
2x4 FRAMING @ 16" GWB EA SIDE

FURRING WALL @ FOUNDATION REPAIR LOCATIONS

EXISTING 2x4 @ 16" O.C. WALL TO REMAIN

NON STRUCTURAL PARTION TO BE DEMOLISHED

CONDITIONAL USE
APPLICATION FOR:

RAGHAVAN RESIDENCE

143 CORBETT AVE
SAN FRANCISCO, CA 94610

REVISIONS:

No.	Description	Date

CRUZ A+D

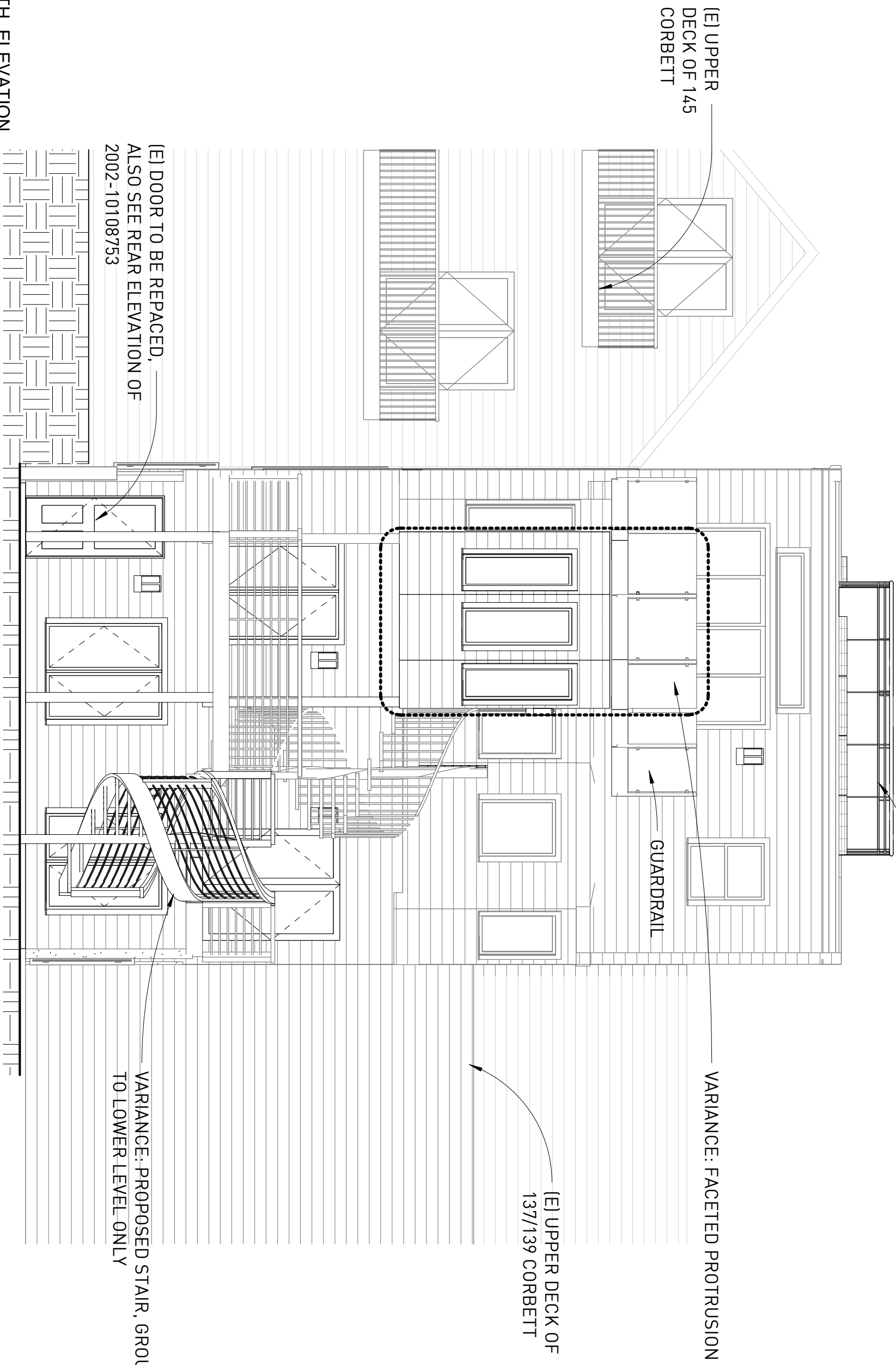
MARK CRUZ, CA #36564
415.802.7447
mark@cruzad.space

FLOOR PLAN - UPPER EXISTING

VA1.3E

ScaleAs indicated

VARIANCE: PROPOSED RAILING AROUND MAINTENANCE DECK



1) SOUTH ELEVATION
3/16" = 1'-0"

**CONDITIONAL USE
APPLICATION FOR:**

RAGHAVAN RESIDENCE

143 CORBETT AVE

SAN FRANCISCO, CA 94610

△ REVISIONS:		
No.	Description	Date
1	VARIANCE (2017-010082GEN)	7-21-17

CRUZ A+D

MARK CRUZ, CA #36564

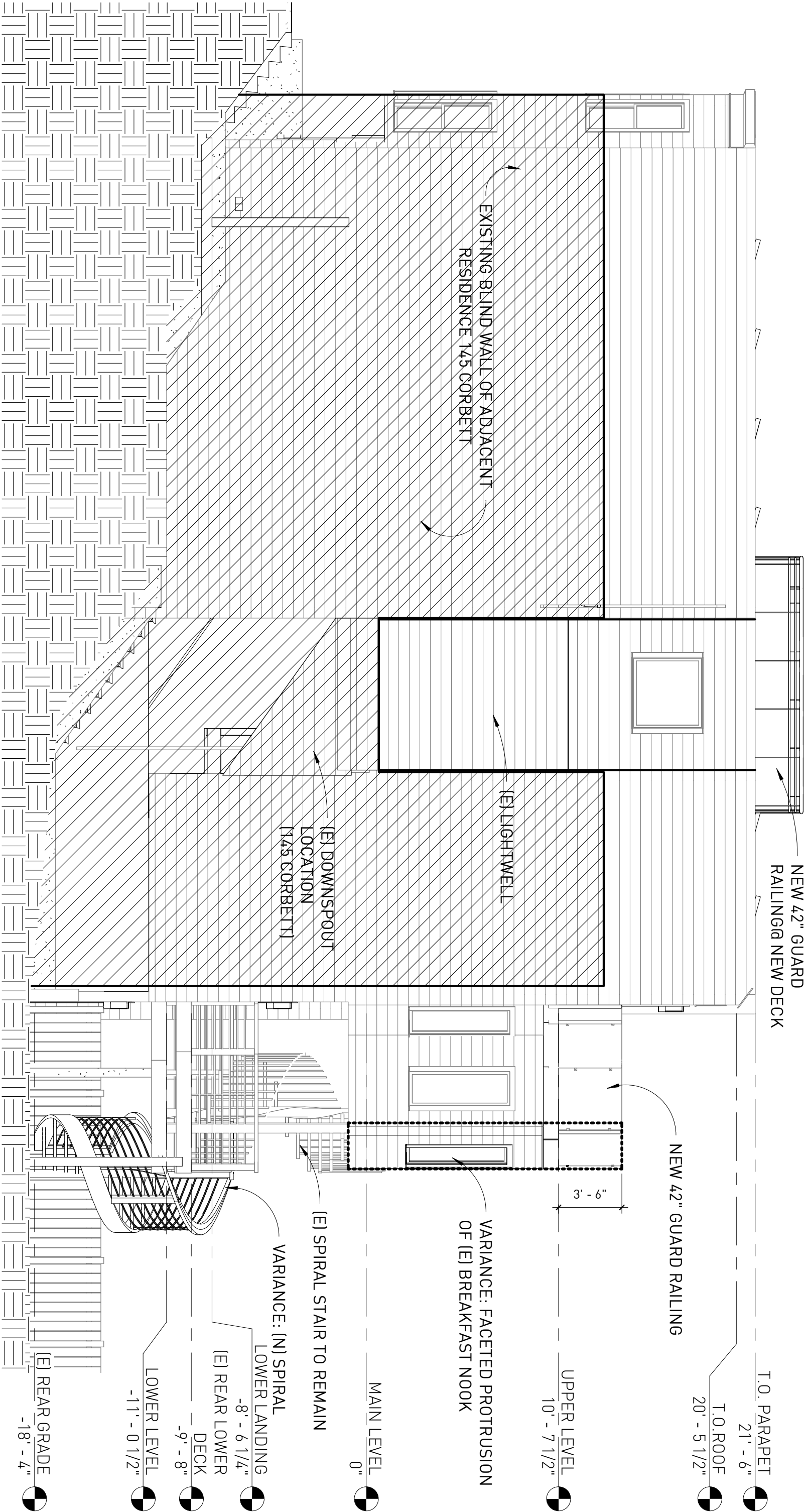
415.802.7447

mark@cruzad.space

ELEVATION - REAR

VA2.0

Scale $3/16" = 1'-0"$



1

ELEVATION - WEST

3/16" = 1'-0"

CONDITIONAL USE APPLICATION FOR:

RAGHAVAN RESIDENCE

143 CORBETT AVE
SAN FRANCISCO, CA 94610

△ REVISIONS:

No.	Description	Date
1	VARIANCE (2017-010082GEN)	7-21-17

CRUZ A+D

MARK CRUZ, CA #36564
415.802.7447
mark@cruzad.space

ELEVATION - WEST

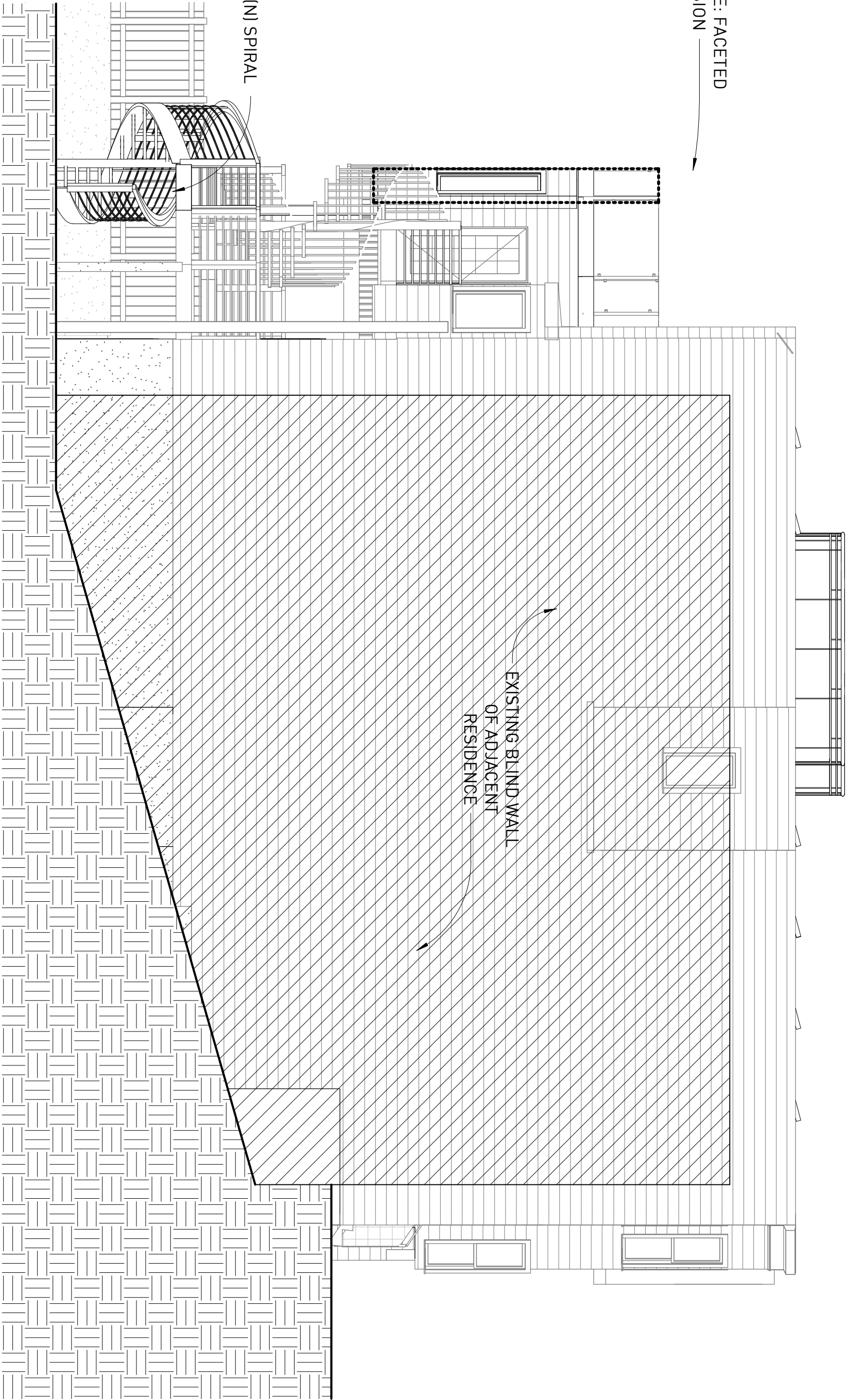
VA2.1

Scale 3/16" = 1'-0"

VARIANCE: FACETED
PROTRUSION

VARIANCE: (N) SPIRAL
STAIRCASE

1 EAST ELEVATION
3/16" = 1'-0"



CONDITIONAL USE
APPLICATION FOR:

RAGHAVAN RESIDENCE

143 CORBETT AVE
SAN FRANCISCO, CA 94610

△ REVISIONS:		
No.	Description	Date
1	VARIANCE (2017-010082GEN)	7-21-17

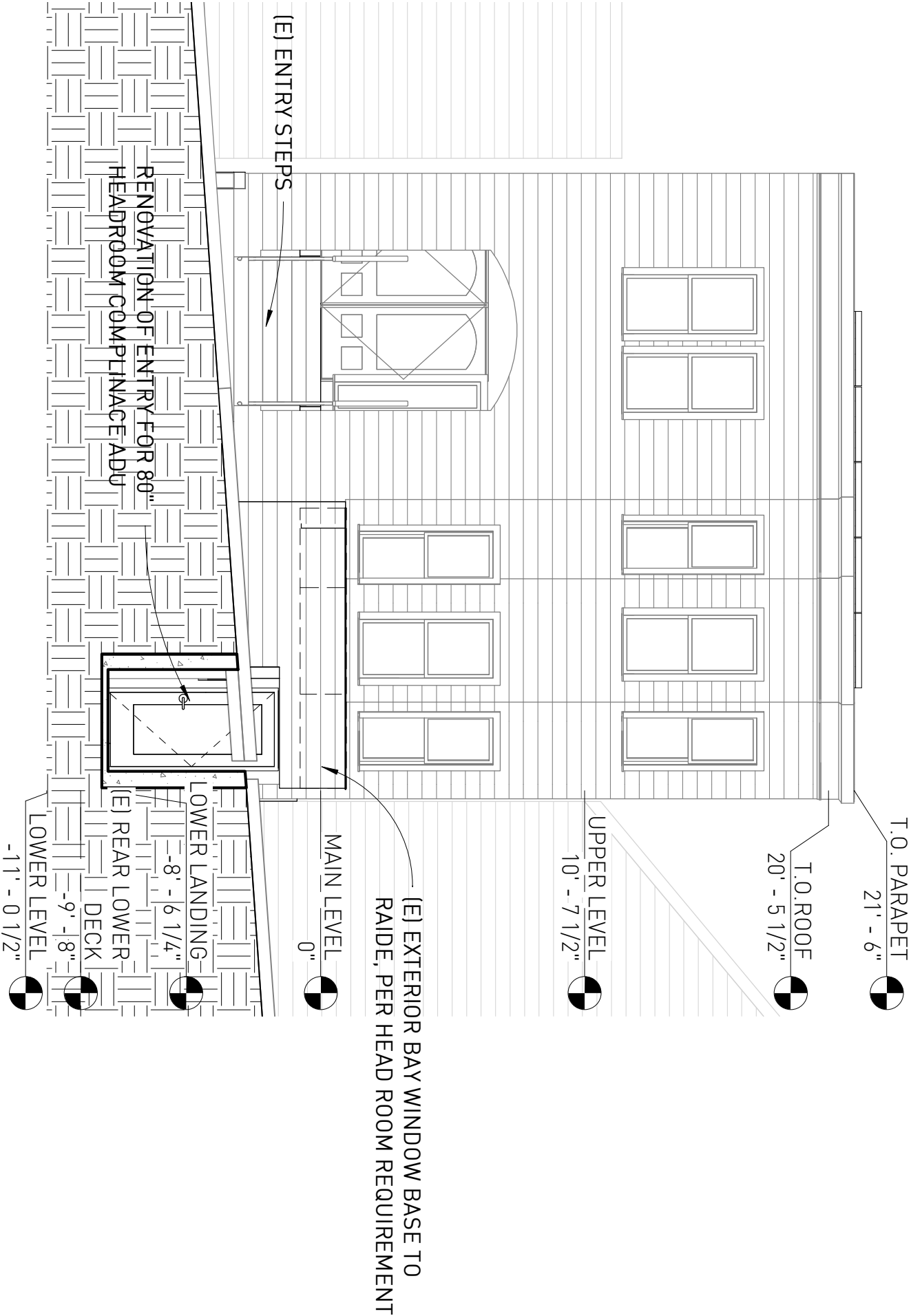
CRUZ A+D

MARK CRUZ, CA #36564
415.802.7447
mark@cruzad.space

ELEVATION - EAST

VA2.2

Scale 3/16" = 1'-0"



1 NORTH ELEVATION
3/16" = 1'-0"

CONDITIONAL USE
APPLICATION FOR:

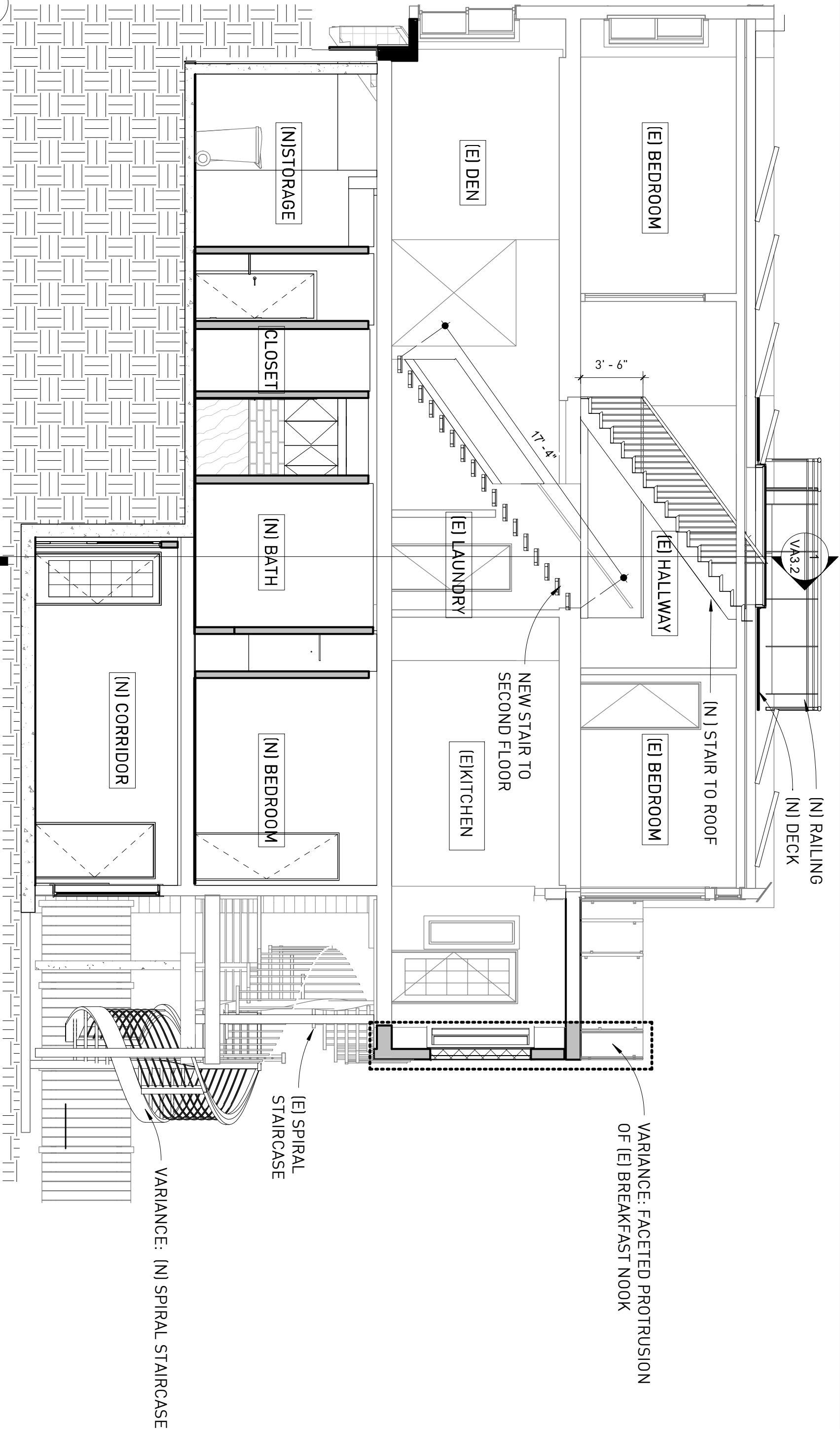
RAGHAVAN RESIDENCE
143 CORBETT AVE
SAN FRANCISCO, CA 94610

△ REVISIONS:		
No.	Description	Date
1	VARIANCE (2017-010082GEN)	7-21-17

CRUZ A+D
MARK CRUZ, CA #36564
415.802.7447
mark@cruzad.space

ELEVATION - FRONT

VA2.3
Scale 3/16" = 1'-0"



1

LONGITUDINAL SECTION - B

3/16" = 1'-0"

CONDITIONAL USE
APPLICATION FOR:

RAGHAVAN RESIDENCE

143 CORBETT AVE
SAN FRANCISCO, CA 94610

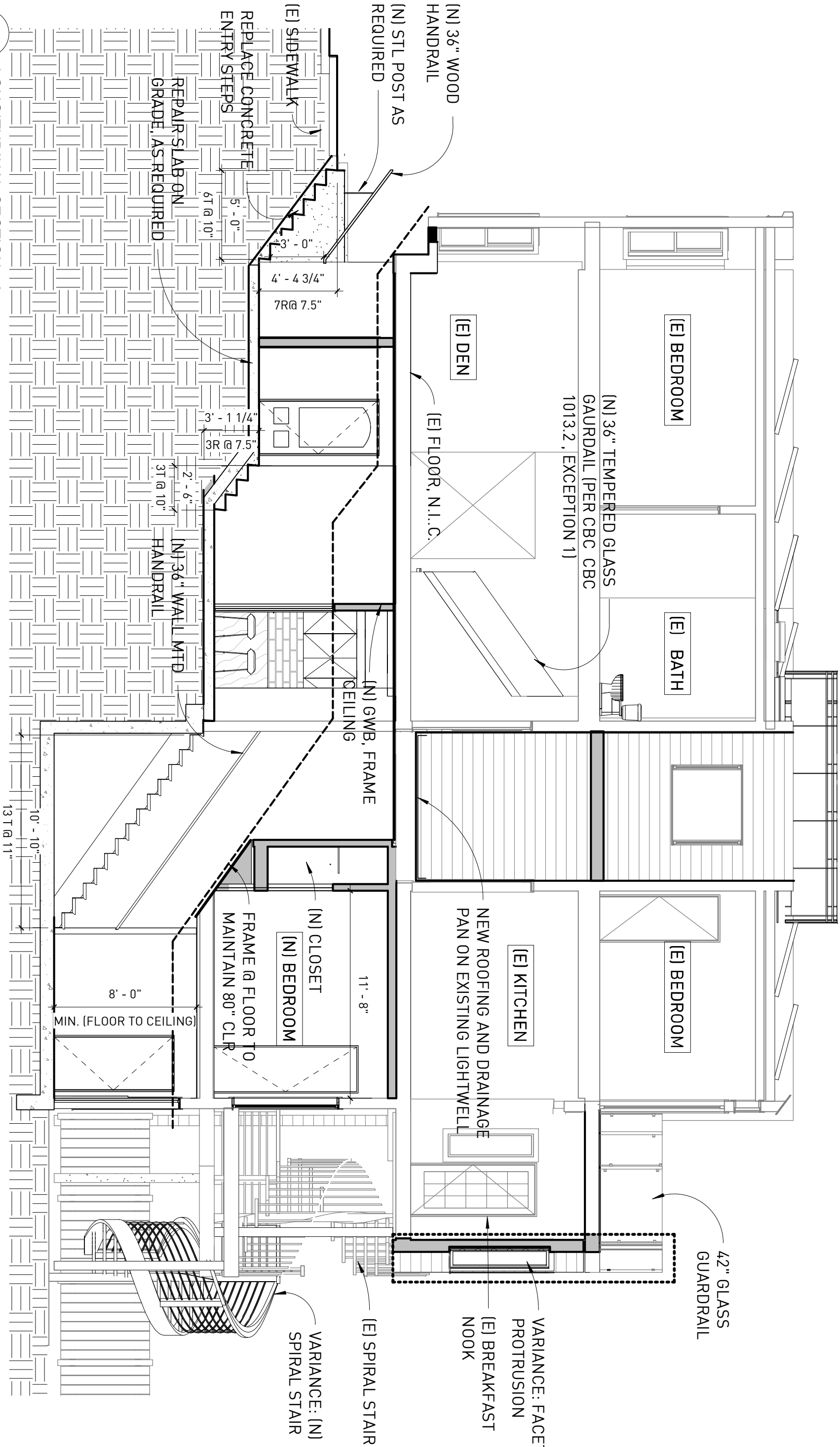
REVISIONS:		
No.	Description	Date
1	VARIANCE (2017-010082GEN)	7-21-17

CRUZ A+D
MARK CRUZ, CA #36564
415.802.7447
mark@cruzad.space

LONGITUDINAL SECTION

VA3.0

Scale 3/16" = 1'-0"



1 LONGITUDINAL SECTION - A
3/16" = 1'-0"

CONDITIONAL USE
APPLICATION FOR:

RAGHAVAN RESIDENCE

143 CORBETT AVE
SAN FRANCISCO, CA 94610

△ REVISIONS:		
No.	Description	Date
1	VARIANCE (2017-010082GEN)	7-21-17

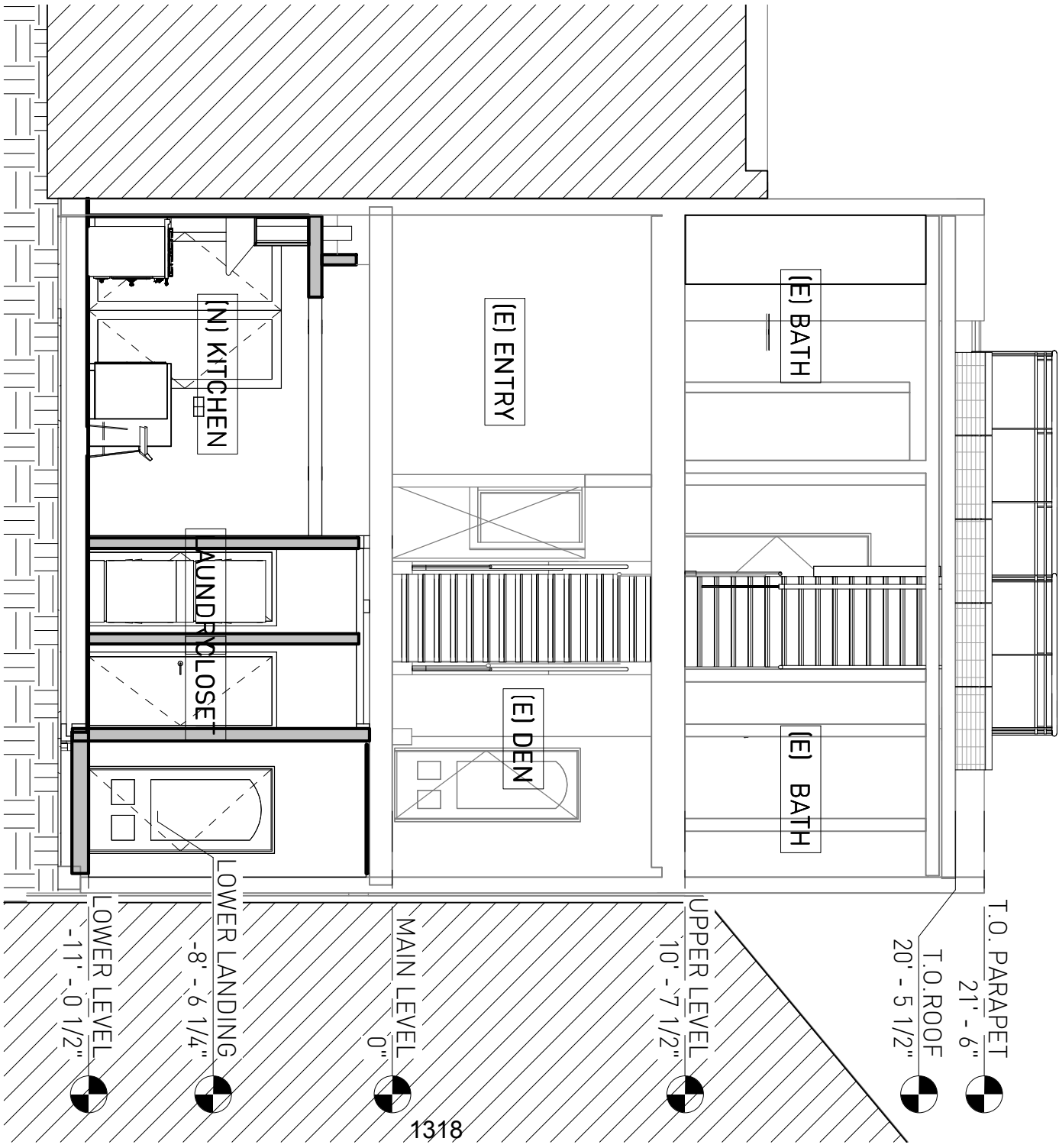
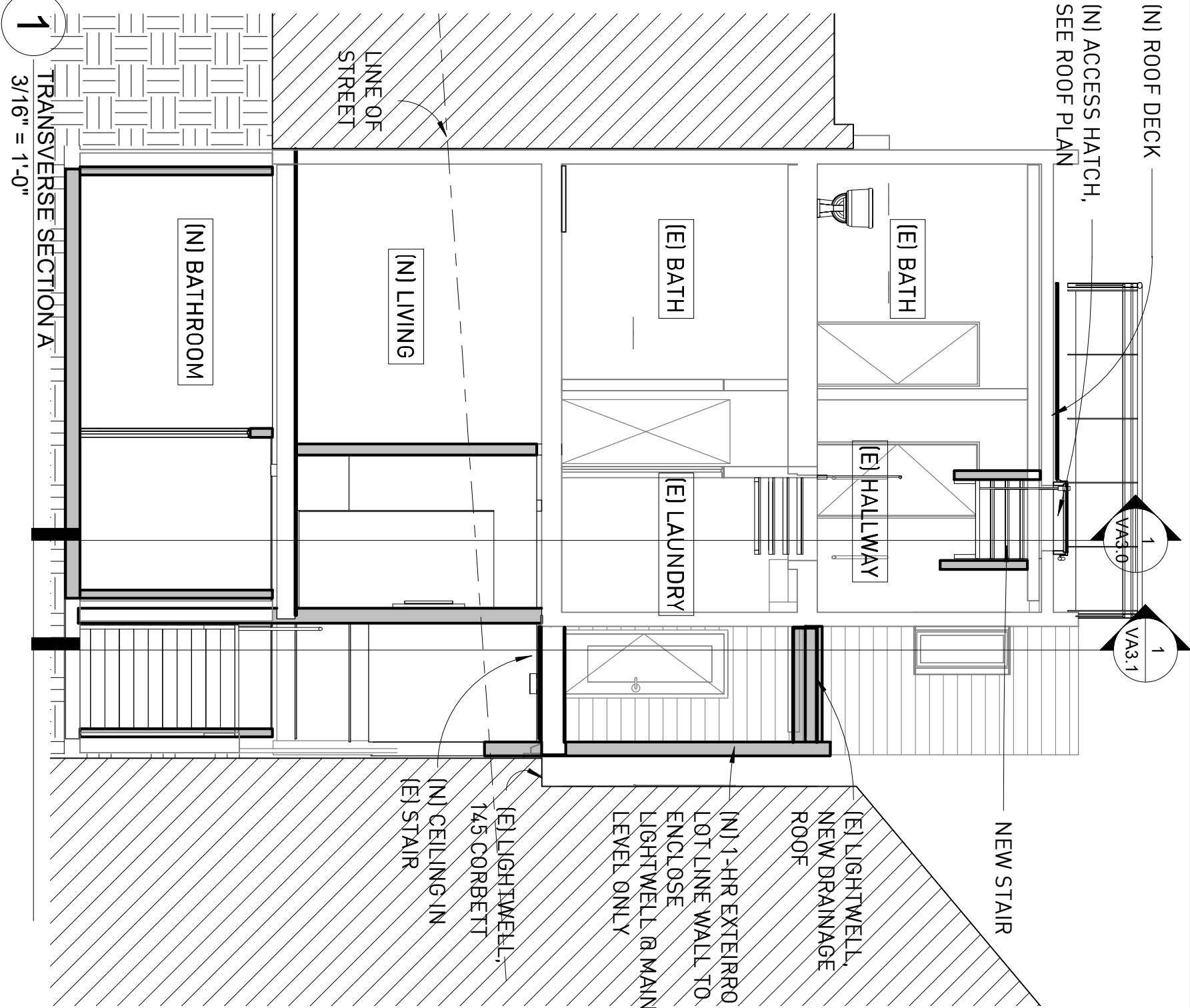
CRUZ A+D

MARK CRUZ, CA #36564
415.802.7447
mark@cruzad.space

LONGITUDINAL SECTION

VA3.1

Scale 3/16" = 1'-0"



CONDITIONAL USE
APPLICATION FOR:

RAGHAVAN RESIDENCE

143 CORBETT AVE
SAN FRANCISCO, CA 94610

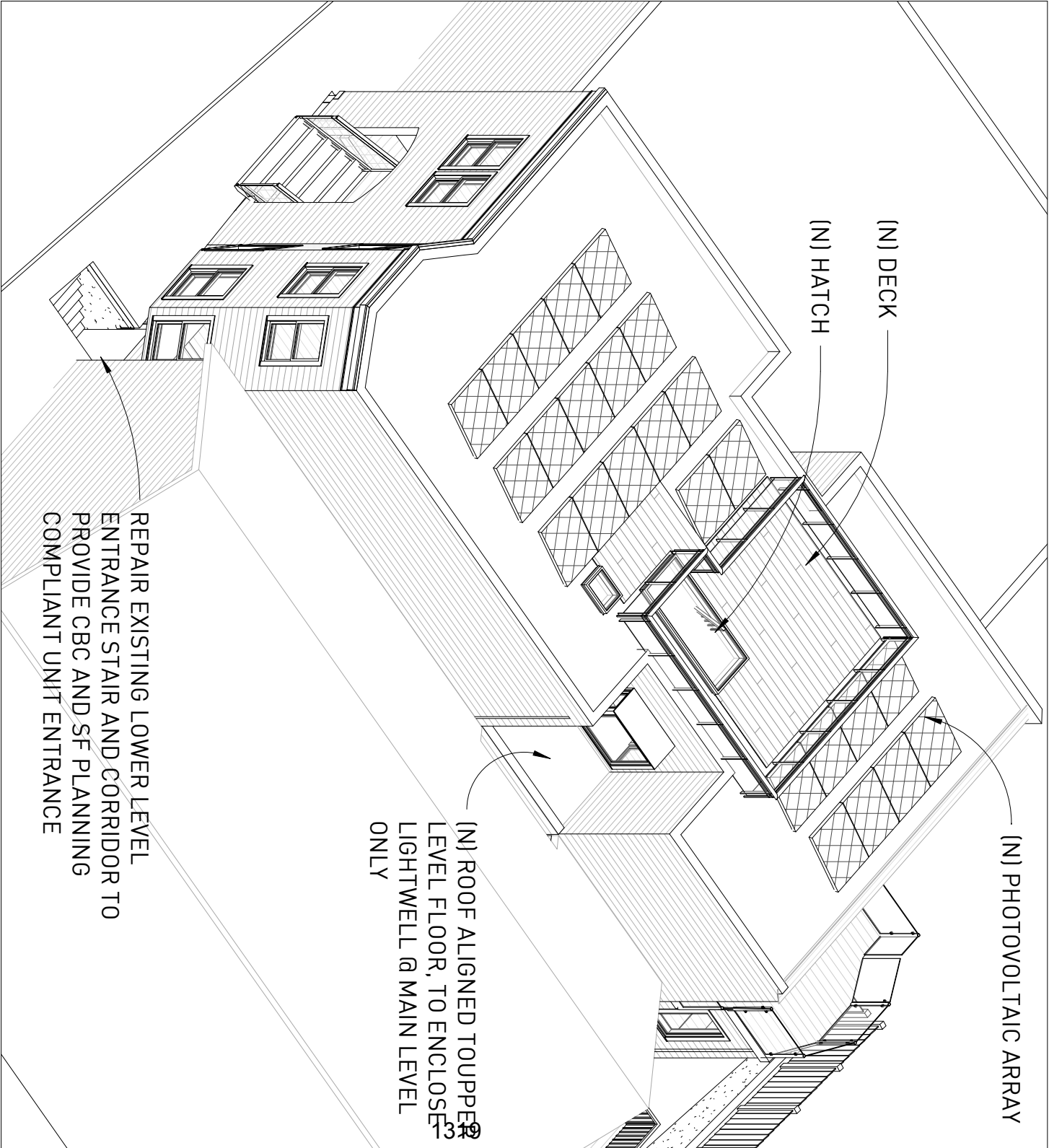
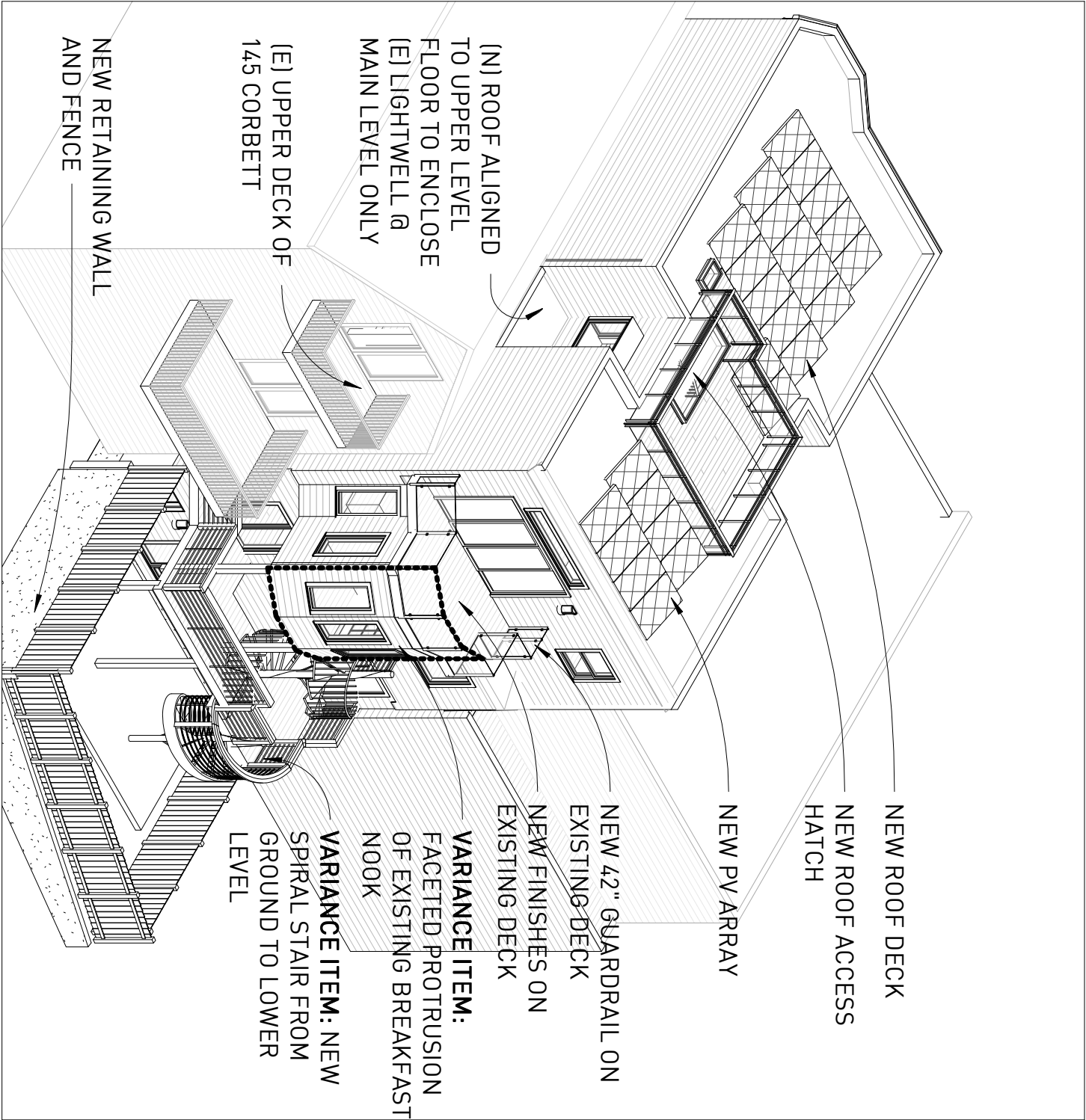
△ REVISIONS:		
No.	Description	Date
1	VARIANCE (2017-010082GEN)	7-21-17

CRUZ A+D
MARK CRUZ, CA #36564
415.802.7447
mark@cruzad.space

TRANSVERSE SECTIONS

VA3.2

Scale 3/16" = 1'-0"



CONDITIONAL USE
APPLICATION FOR:

RAGHAVAN RESIDENCE

143 CORBETT AVE
SAN FRANCISCO, CA 94610

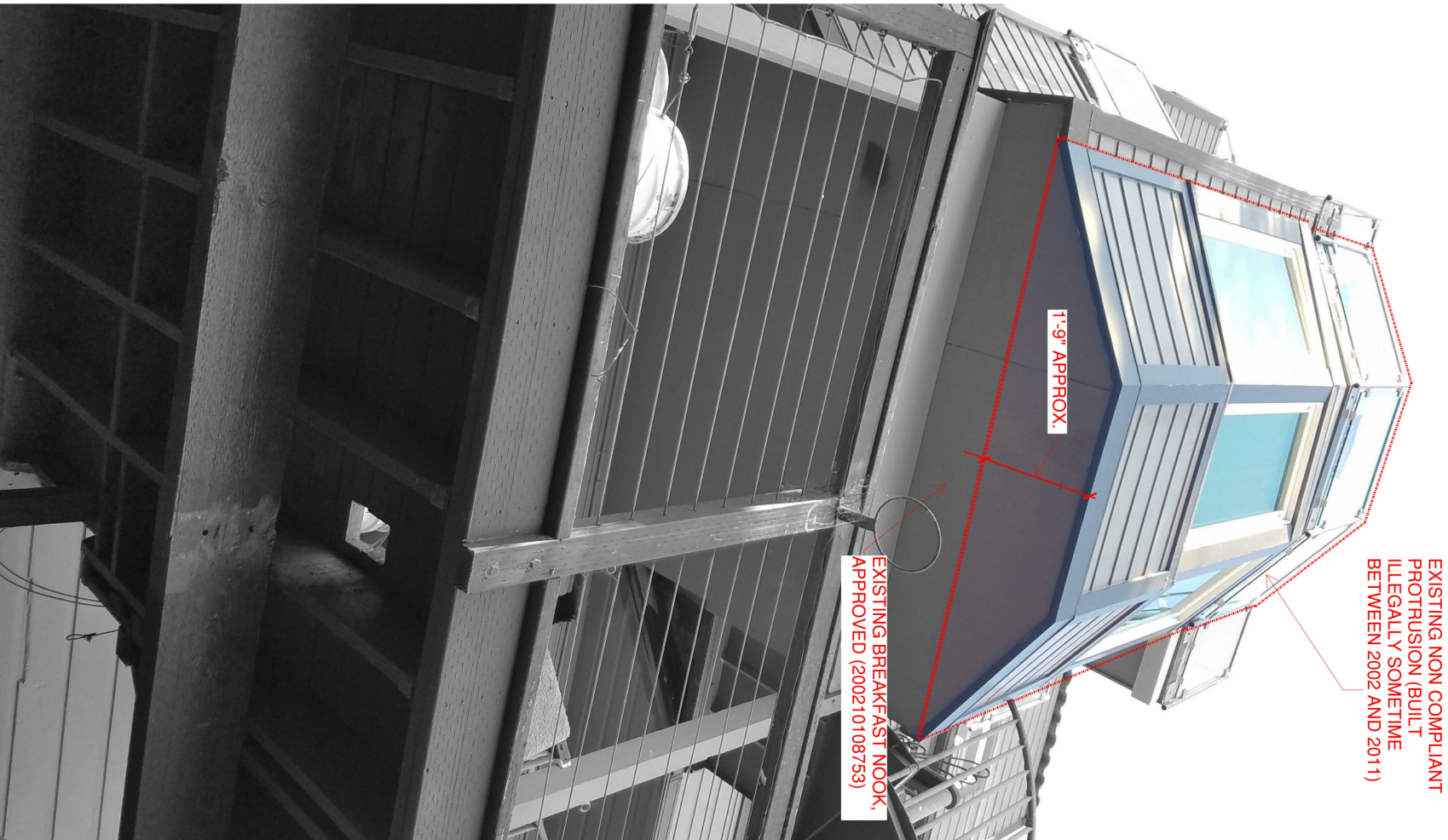
△ REVISIONS:		
No.	Description	Date
1	VARIANCE (2017-010082GEN)	7-21-17

CRUZ A+D
MARK CRUZ, CA #36564
415.802.7447
mark@cruzad.space

3D

VA4.1

Scale



EXISTING NON COMPLIANT
PROTRUSION (BUILT
ILLEGALLY SOMETIME
BETWEEN 2002 AND 2011)

1'-9" APPROX.

EXISTING BREAKFAST NOOK,
APPROVED (200210108753)

EXISTING UPPER DECK, SEE
200210108753

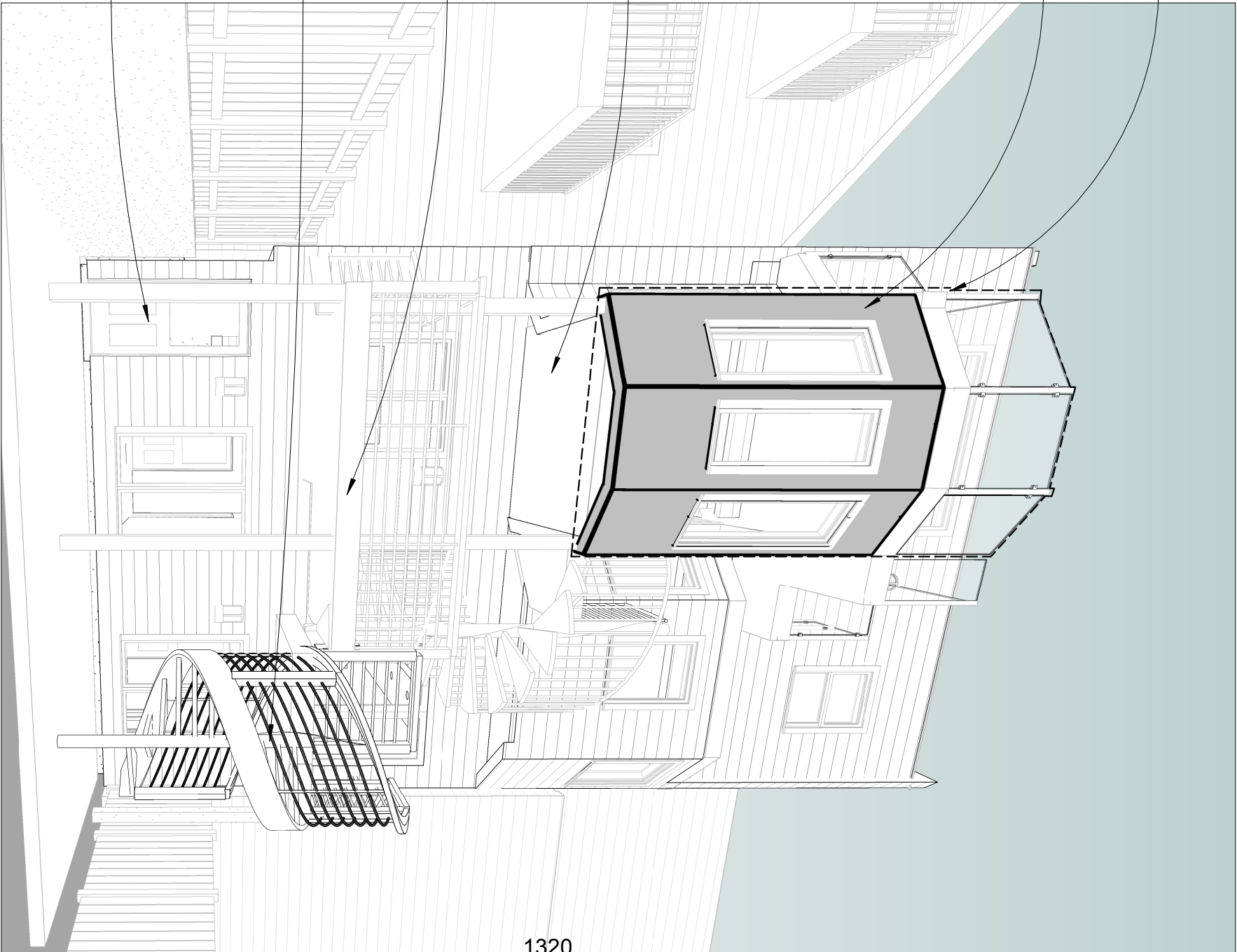
"FACETED" REAR PROTRUSION
1'-9" PAST EXISTING BREAKFAST
NOOK INTO REAR YARD

EXISTING BREAKFAST NOOK

EXISTING DECK

PROPOSED STEEL SPIRAL
STAIRCASE, ONE STORY

EXISTING DOOR



1320

CONDITIONAL USE
APPLICATION FOR:

RAGHAVAN RESIDENCE

143 CORBETT AVE
SAN FRANCISCO, CA 94610

△ REVISIONS:		
No.	Description	Date
1	VARIANCE (2017-010082GEN)	7-21-17
2	PERMIT CONSOLIDATION (201708094368)	8-9-17

CRUZ A+D

MARK CRUZ, CA #36564
415.802.7447
mark@cruzad.space

3D VIEW

VA4.2

Scale

1/2" = 1'-0"

RECEIVED
BOARD OF SUPERVISORS
SAN FRANCISCO

2018 JUL 23 AM 10:44

BY BJ

CORBETT HEIGHTS NEIGHBORS 78 MARS ST. SAN FRANCISCO, CA 94114-1828		90-2267/1211	209
DATE <u>Jul 23-18</u>			
PAY TO THE ORDER OF <u>Planning Dept - SF</u>		\$ <u>597.00</u>	
<u>Five hundred and ninety seven</u>		DOLLARS	
usbank. Five Star Service Guaranteed		usbank.com	
MEMO <u>appeal</u>	<u>Wm. D. [Signature]</u>		

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BOARD OF SUPERVISORS
SAN FRANCISCO

2018 JUL 23 AM 10:55

Application to Request a
Board of Supervisors Appeal Fee Waiver

CASE NUMBER:
For Staff Use only

APPLICATION FOR

Board of Supervisors Appeal Fee Waiver

1. Applicant and Project Information

APPLICANT NAME: Gary Weiss on behalf of Corbett Heights Neighbors		
APPLICANT ADDRESS: 78. Mars St. San Francisco CA 94114		TELEPHONE: (415) 279-5570
		EMAIL: gary@corbettheights.org
NEIGHBORHOOD ORGANIZATION NAME: Corbett Heights Neighbors		
NEIGHBORHOOD ORGANIZATION ADDRESS: Same as above.		TELEPHONE: ()
		EMAIL:
PROJECT ADDRESS: 143 Corbett Av.		
PLANNING CASE NO.: 2017-009348CUA	BUILDING PERMIT APPLICATION NO.:	DATE OF DECISION (IF ANY): 6/21/18

2. Required Criteria for Granting Waiver

(All must be satisfied; please attach supporting materials)

- ☒ The appellant is a member of the stated neighborhood organization and is authorized to file the appeal on behalf of the organization. Authorization may take the form of a letter signed by the President or other officer of the organization.
- ☒ The appellant is appealing on behalf of an organization that is registered with the Planning Department and that appears on the Department's current list of neighborhood organizations.
- ☒ The appellant is appealing on behalf of an organization that has been in existence at least 24 months prior to the submittal of the fee waiver request. Existence may be established by evidence including that relating to the organization's activities at that time such as meeting minutes, resolutions, publications and rosters.
- ☒ The appellant is appealing on behalf of a neighborhood organization that is affected by the project and that is the subject of the appeal.

From: [BOS Legislation, \(BOS\)](#)
To: [gary@corbettheights.org](#); [lifeisapizza@gmail.com](#); [mark@cruzad.space](#); [rraghavan57@gmail.com](#); [Ilene Dick - GIVNER, JON \(CAT\)](#); [STACY, KATE \(CAT\)](#); [JENSEN, KRISTEN \(CAT\)](#); [Rahaim, John \(CPC\)](#); [Gibson, Lisa \(CPC\)](#); [Jain, Devyani \(CPC\)](#); [Rodgers, AnMarie \(CPC\)](#); [Navarrete, Joy \(CPC\)](#); [Lynch, Laura \(CPC\)](#); [Sanchez, Scott \(CPC\)](#); [Sider, Dan \(CPC\)](#); [Starr, Aaron \(CPC\)](#); [Ionin, Jonas \(CPC\)](#); [BOS-Supervisors](#); [BOS-Legislative Aides](#); [Calvillo, Angela \(BOS\)](#); [Somera, Alisa \(BOS\)](#); [Horn, Jeffrey \(CPC\)](#); [BOS Legislation, \(BOS\)](#)
Subject: APPEAL RESPONSES - Appeal of Conditional Use - Proposed 143 Corbett Avenue Project - Appeal Hearing on September 4, 2018
Date: Monday, August 27, 2018 10:03:10 AM
Attachments: [image001.png](#)

Greetings,

Please find linked below appeal responses received by the Office of the Clerk of the Board from the Planning Department, regarding the appeal of the Conditional Use Authorization for the proposed project at 143 Corbett Avenue.

[Planning Response Memo - Conditional Use - August 24, 2018](#)

The appeal hearing for these matters are scheduled for a 3:00 p.m. special order before the Board on September 4, 2018.

I invite you to review the entire matter on our [Legislative Research Center](#) by following the link below:

[Board of Supervisors File No. 180787](#)

Regards,

Lisa Lew
San Francisco Board of Supervisors
1 Dr. Carlton B. Goodlett Place, Room 244
San Francisco, CA 94102
T 415-554-7718 | F 415-554-5163
lisa.lew@sfgov.org | www.sfbos.org



Click [here](#) to complete a Board of Supervisors Customer Service Satisfaction form

The [Legislative Research Center](#) provides 24-hour access to Board of Supervisors legislation, and archived matters since August 1998.

Disclosures: Personal information that is provided in communications to the Board of Supervisors is subject to disclosure under the California Public Records Act and the San Francisco Sunshine Ordinance. Personal information provided will not be redacted. Members of the public are not required to provide personal identifying information when they communicate with the Board of Supervisors and its committees. All written or oral communications that members of the public submit to the Clerk's Office regarding pending legislation or hearings will be made available to all members of the public for inspection and copying. The Clerk's Office does not redact any information from these submissions. This means that personal information—including names, phone numbers, addresses and similar information that a member of the public elects to submit to the Board and its committees—may appear on the Board of Supervisors' website or in other public documents that members of the public may inspect or copy.



SAN FRANCISCO PLANNING DEPARTMENT

MEMO

APPEAL OF CONDITIONAL USE AUTHORIZATION 143 CORBETT AVENUE

1650 Mission St.
Suite 400
San Francisco,
CA 94103-2479

Reception:
415.558.6378

Fax:
415.558.6409

Planning
Information:
415.558.6377

DATE: August 24, 2018
TO: Angela Calvillo, Clerk of the Board of Supervisors
FROM: John Rahaim, Planning Director – Planning Department (415) 558-6411
Jeff Horn, Enforcement Planner – Planning Department (415) 575-6925
RE: File No. 180787, Planning Case No. 2017-009348CUA - Appeal of the approval of Conditional Use Authorization for 143 Corbett Avenue

HEARING DATE: September 4, 2018

ATTACHMENTS:

- A. Planning Commission Staff Report for Case No. 2017-009348CUA (Executive Summary, Exhibits, and Project Sponsor Submittal for June 21, 2018 hearing.)
- B. Updated Exhibit B per Planning Commission modifications
- C. Final Motion No. 20220 (Case No. 2017-009348CUA)
- D. Appeal letter filed by Gary Weiss on July 23, 2018

PROJECT SPONSOR: Ilene Dick, Farella + Braun + Martel, LLP
235 Montgomery Street, San Francisco, CA 94104

APPELLANT: Gary Weiss, on behalf of Corbett Heights Neighbors
78 Mars Street, San Francisco, CA 94114

INTRODUCTION:

This memorandum and the attached documents are in response to the letter of appeal to the Board of Supervisors ("Board") regarding the Planning Commission's ("Commission") approval of the application for Conditional Use Authorization under Planning Code Sections 249.77(d)(4) and 303(c) to legalize 12 square feet of horizontal additions to the rear bay window and rear decks, which are located within the required rear yard. The project's Building Permit Application also proposes to legalize interior alterations and the addition of a second unit within an existing single-family dwelling.

This response provides clarifications regarding the proposed Project and addresses the appeal ("Appeal Letter") to the Board filed on July 23, 2018 by Gary Weiss, on behalf of Corbett Heights Neighbors, in opposition to the project. The Appeal Letter referenced the proposed project in Case No. 2017-009348CUA.

The decision before the Board is whether to uphold or overturn the Planning Commission's approval of Conditional Use Authorization.

SITE DESCRIPTION & PRESENT USE

The subject property (APN 2656/060) is located on the south side of Corbett Avenue, between Hattie Street and Danvers, within the Corbett Heights neighborhood. The subject property is slightly more than 25 feet wide, and slopes downward with a depth of approximately 71 feet. The site is developed with a 4-story single family home; two of the floors are below street grade and are not entirely conditioned spaces. The structure was originally built in 1911 with an existing gross square footage of 2,113 square feet. Since 2014, the property has received a series of building permits to renovate the structure and expand the basement floors through excavation. The excavation was done to add a second unit to the structure, within the existing building volume. The subject lot is 1,829 square feet in size and is located in a RH-2 (Residential House, Two-Family) Zoning District and a 40-X Height and Bulk District.

SURROUNDING PROPERTIES AND NEIGHBORHOOD

The project is located within the Corbett Heights neighborhood. The neighborhood surrounding the project site generally consists of a mixture of two-, three- and four-story buildings, containing mostly one- or two-residential dwelling units. Corbett Avenue slopes laterally upward slightly to the west, but steep slopes characterize the neighborhood as a whole; with the lots along the north and south side of Corbett Avenue steeply upsloping up towards to the north, in excess of 20 percent. The adjacent parcel to the west, 145 Corbett Avenue, is a two-story over basement single-family residence. The adjacent property to the east, 137 and 139 Corbett Avenue, is a two-story over basement two-family residence. Due to the steep topography of the neighborhood, the streets are irregularly shaped, resulting in atypical lot configurations and depths on Corbett Avenue and throughout the neighborhood.

ENVIRONMENTAL DETERMINATION

The project is exempt from the California Environmental Quality Act ("CEQA") as a Class 1 and Class 3 categorical exemption under CEQA.

PROJECT DESCRIPTION

The Project is to legalize twelve square feet of horizontal additions at the rear-building wall's bay window and decks located within the required rear yard, pursuant to the Corona Heights Large Residence Special Use District. The project's Building Permit Application also proposes to legalize interior alterations and the addition of a second unit within an existing single-family dwelling.

BACKGROUND

On February 12, 2018, Mark Cruz of Cruz Architecture+Design, LLP (hereinafter "Project Sponsor") filed an application with the Planning Department (hereinafter "Department") for Conditional Use Authorization under Planning Code Sections 249.77(d)(4) and 303(c). The Conditional Use application was to legalize twelve square feet of horizontal additions to the rear bay window and decks located in the required rear yard.

The project sponsors also submitted an application for a rear yard variance on July 21, 2017. The Variance was required to legalize twelve square feet of horizontal additions to the rear bay window and decks that encroach in the required rear yard, per Planning Code Section 134. This Variance is not subject to the appeal before the Board; however, if the CU is overturned, the Variance would become invalid.

On June 21, 2018, the San Francisco Planning Commission (hereinafter "Commission") along with the Zoning Administrator heard the Conditional Use Application and the Variance application at a joint hearing. At the hearing, the Commission voted +5-0 (Fong and Melgar absent) to approve the request to legalize the horizontal addition, with a condition that the proposed new roof deck and spiral stair case providing access to the rear yard to be removed (Final Motion No. 20220). The Zoning Administrator indicated his intent to grant the requested Variance in compliance with Commission's conditions of approval.

The project is located within the boundaries of the Corona Heights Large Residence Special Use District (SUD). The SUD was adopted to protect and enhance existing neighborhood character, encourage new infill housing at compatible densities and scale, and provide for thorough assessment of proposed large-scale residences that could adversely impact the area and affordable housing opportunities. To meet these goals, the SUD requires Conditional Use Authorization for five (5) types of development, which are listed in the next section. The proposed Project exceeds one of these development standards; thereby requiring Conditional Use Authorization pursuant to Planning Code Section 249.77(d)(4) for residential development that results in less than 45% rear yard depth.

The project seeks to legalize work to the subject property, some of which was completed by a previous owner. There are two phases of unpermitted, illegal or out of scope construction.

- The expansion of the bay windows and top floor deck, all of which was completed by the previous owner, were unpermitted and beyond the scope of Building Permit No. 2002.1010.8753. Building Permit No. 2002.1010.8753 was issued on November 18, 2002 with floor plans and elevations that showed an existing square bay window at the first floor and decks at the basement, first, and second floor levels; the Plans and Permit were approved and signed by the Planning Department and the Department of Building Inspection (DBI). The expansion to the size, shape and roofing of the top floor deck appears to have occurred between the years 2002 and 2010 by the previous owner. The expansion of the bay window at the rear occurred sometime between March 14, 2010 and March 29, 2011. (Reference attached context photo set: "Archived Rear Wall Photo" within the Planning Commission Staff Report for Case No. 2017-009348CUA)." Because of the location of these structures with the required 45% rear yard, a Conditional Use Authorization pursuant to Planning Code Section 249.77(d)(4) is necessary to legalize the structures.
- The excavation and interior alterations, which resulted in the creation of a second unit, were all completed by the current owner (Project Sponsor). These alterations occurred through a series of 15 over-the-counter permits, filed between 8/11/2014 and 12/8/2017; however, not all work that occurred was covered by the issued permits. DBI has issued eight violations for this work, and has issued a stop work order. DBI also required that the project sponsor legalize all work under one comprehensive permit. Planning also opened an enforcement case on 3/13/2017. The legalization of this work does not require a Conditional Use Authorization or a Variance, as the work is located with the existing building volume and within the buildable area; however, the Sponsor combined the interior alterations with the exterior work described above into one consolidated Building Permit per DBI's Notice of Violation No. 201631352.

Opponents of the Project did not support the legalization of the twelve square feet of volume added to the approved square bay window within the rear yard. The opponents, including the Corbett Height Neighbors and the adjacent neighbors at 145 Corbett Avenue, were concerned that the legalization of these volumes of building would negatively affect the quality of life in the neighborhood with specific

impacts to: light and air, privacy and mid-block open space. The Planning Department's Residential Design Advisory Team (RDAT) reviewed the proposed horizontal addition of an angled bay form protruding past the permitted square bay. RDAT found that the angled bay does not impact adjacent properties' access to light and air, privacy or the neighborhood mid-block open space.

CONDITIONAL USE AUTHORIZATION REQUIREMENTS:

Planning Code Section 303

Planning Code Section 303 establishes criteria for the Commission to consider when reviewing all applications for Conditional Use approval. To approve the project, the Commission must find that these criteria have been met:

1. That the proposed use or feature, at the size and intensity contemplated and at the proposed location, will provide a development that is necessary or desirable for, and compatible with, the neighborhood or the community; and
2. That such use or feature as proposed will not be detrimental to the health, safety, convenience or general welfare of persons residing or working in the vicinity, or injurious to property, improvements or potential development in the vicinity, with respect to aspects including but not limited to the following:
 - a. The nature of the proposed site, including its size and shape, and the proposed size, shape and arrangement of structures;
 - b. The accessibility and traffic patterns for persons and vehicles, the type and volume of such traffic, and the adequacy of proposed off-street parking and loading;
 - c. The safeguards afforded to prevent noxious or offensive emissions such as noise, glare, dust and odor;
 - d. Treatment given, as appropriate, to such aspects as landscaping, screening, open spaces, parking and loading areas, service areas, lighting and signs; and
3. That such use or feature as proposed will comply with the applicable provisions of this Code and will not adversely affect the Master Plan; and
4. That such use or feature as proposed will provide development that is in conformity with the stated purpose of the applicable Use District.

Planning Code Section 249.77 Corona Height's SUD

Planning Code Section 249.77, **Corona Heights Large Residence Special Use District**, was adopted to protect and enhance existing neighborhood character, encourage new infill housing at compatible densities and scale, and provide for thorough assessment of proposed large-scale residences that could adversely impact the area and affordable housing opportunities, to meet these goals, the SUD requires Conditional Use Authorization for four (4) types of development, which include:

- (1) **Development of Vacant Property.** Residential development on a vacant parcel that will result in total gross floor area exceeding 3,000 square feet;
- (2) **Expansion of Large Existing Development.** Residential development on a developed parcel that will result in total gross floor area in excess of 3,000 square feet if that expansion results in more than 75% increase in gross square feet of development on the parcel (as it existed at any time in the last five years prior to application), and does not increase that number of legal dwelling units

on the parcel. The total gross square footage calculation shall also include all development performed on the parcel within the last five years;

- (3) **Expansion of Large Existing Development Plus Additional Dwelling Units.** Residential development on a developed parcel that will result in total gross square floor area in excess of 3,000 gross square feet, if that expansion results in more than 100% increase in gross square feet of development, and increases the existing legal unit count on the parcel;
- (4) Residential development, either as an addition to an existing building or as a new building, that results in less than 45% rear yard depth.

The proposed Project exceeds development standard (4) in seeking to legalize development beyond the required rear yard setback; thereby requiring Conditional Use Authorization pursuant to Planning Code Section 249.77(d)(4) for residential development that results in less than 45% rear yard depth.

In acting on any application for Conditional Use authorization within the SUD, the Commission shall consider the Conditional Use authorization requirements set forth in subsection 303(c) and, in addition, shall consider whether facts are presented to establish, based on the record before the Commission, one or more of the following:

- (1) The proposed project promotes housing affordability by increasing housing supply.
- (2) The proposed project maintains affordability of any existing housing unit; or
- (3) The proposed project is compatible with existing development.

The Department's responses to these criteria can be found in the attached motion with additional comments below.

PLANNING DEPARTMENT RESPONSES:

The concerns raised in the Appeal Letter are cited in a summary below and are followed by the Department's response:

ISSUE #1: The appellant claims that "Among other things, the project fails to meet the criteria of the Corona Heights Large Residence Special Use District and it fails to meet the City's Conditional Use requirements."

RESPONSE #1: In approving Planning Commission Motion No. 20220, the Commission granted Conditional Use Authorization per Planning Code Sections 249.77 and 303. The Commission reviewed substantial information, including a thorough discussion of the permit and DBI Violation history and actions taken by Department Staff and found the legalization of the additions to be "necessary and desirable".

Section 303 Findings

The Commission concluded that the Project was "necessary and desirable for, and compatible with, the neighborhood or the community," across a number of criteria as outlined in Planning Code Section 303. The Commission found that the depth and shape of the additions to the bay window have been sensitively designed with regard to site-specific constraints and the location of the additions maintain adjacent properties' access to light, air and privacy. Although the Project will have a rear yard less than

45% of the total lot depth, its coverage and scale are consistent with other properties in the surrounding neighborhood and the additions do not impact the mid-block open space.

The Commission also found that the Project will add a much-needed dwelling unit. The size, design, and two-family residential use, are compatible with the neighborhood. Located in an exclusively residential neighborhood, this project will add a new 2-bedroom residential unit below the existing 2,113 sf single-family building. The site's RH-2 zoning permits this unit as of right. This building was built in 1911 and has been used as residence since. The new unit will not expand the existing envelope, and any increase in intensity of use is consistent with the neighborhood's similarly situated one and two unit homes.

Further, the Commission found that this project is necessary and desirable at this location as many of the other homes facing the southern portion of the block also enjoy decks, stairs and other elements that encroach into the required rear yard.

Section 249.77 Findings

Pursuant to Section 249.77, the Commission found that the Project promotes housing affordability by increasing housing supply, and maintains affordability of any existing housing unit. The Project adds a second unit below the existing single-family unit, resulting in two family-sized units (three bedrooms and two bedrooms). Adding a unit increases the housing supply in the City while having no effect on the affordability of the existing unit.

The Commission also found that the proposed project is compatible with existing development. The subject property and the adjacent properties are all approximately 70 feet deep, which is much short than the typical 100 foot deep San Francisco lot. The subject property and the property to the west have non-complying rear decks at all levels, and similar rear yard encroachments exist throughout the neighborhood. As acknowledged in Building Permit No 2002.1010.8753, the rear yard decks and an enclosed square bay window are legal non-conforming structures within the required rear yard. The Project seeks to legalize twelve square feet of additional volume added to the bay window and decks by the previous owner in 2010. The additional volume is set off of property lines and designed with chamfered angles. The Commission found that this new volume's setback off the property lines would not impact the neighbor's access to light and air, privacy or mid-block open-space. Further, the Commission found that the addition would be compatible with existing development.

CONCLUSION:

For the reasons stated above, the Department recommends that the Board uphold the Planning Commission's decision in approving the Conditional Use authorization to legalize interior alterations and the new unit, and the horizontal additions at the rear of the building. By doing so, the Board will maintain the affordability of the existing unit, legalize a small addition that would not impact neighborhood character, and add to the City's housing stock. If the Planning Commission's decision is overturned, the project sponsor would be required to obtain a Building Permit to legalize and allow completion of the work involved for the 2nd Unit. This work is currently stopped per a stop work order issued by DBI. The Sponsor would also need to seek a permit to propose the removal of the angled portions of the bay in order to return property to a design in conformance with the Building Permit No 2002.1010.8753.



SAN FRANCISCO PLANNING DEPARTMENT

Executive Summary Conditional Use

HEARING DATE: JUNE 21, 2018

Record No.: 2017-009348CUAVAR
Project Address: 143 Corbett Avenue
Zoning: RH-2 (Residential House, Two-Family District)
40-X Height and Bulk District
Block/Lot: 2656/060
Project Sponsor: Mark Cruz
Cruz Architecture+Design
400 Perkins, Suite 209
Oakland, CA 94610
Staff Contact: Jeff Horn – (415) 575-6925
jeffrey.horn@sfgov.org
Recommendation: Approval with Conditions

1650 Mission St.
Suite 400
San Francisco,
CA 94103-2479

Reception:
415.558.6378

Fax:
415.558.6409

Planning
Information:
415.558.6377

PROJECT DESCRIPTION

The Project is to legalize interior alterations and horizontal additions at the rear buildings wall's bay window and decks, to construct a roof deck, to construct horizontal additions of a spiral staircase and deck infill at the basement level within the rear yard, and the addition of a second unit within an existing single-family dwelling.

REQUIRED COMMISSION ACTION

In order for the Project to proceed, the Commission must grant Conditional Use Authorization to allow the legalization of the unpermitted expansion of the breakfast nook and 3rd floor deck and to permit a new spiral deck and expansion on the basement rear deck in the Corona Heights Large Residence SUD, pursuant to Planning Code Sections 249.77(d)(4) and 303(c).

ISSUES AND OTHER CONSIDERATIONS

- The project is located within the boundaries of the Corona Heights Large Residence Special Use District (SUD). The SUD was adopted to protect and enhance existing neighborhood character, encourage new infill housing at compatible densities and scale, and provide for thorough assessment of proposed large-scale residences that could adversely impact the area and affordable housing opportunities, to meet these goals, the SUD requires Conditional Use Authorization for five (5) types of development. The proposed Project exceeds one of these development standards; thereby requiring Conditional Use Authorization pursuant to Planning Code Section 249.77(d)(4) for residential development that results in less than 45% rear yard depth. The project also requires a Variance for encroachment into the required rear yard.

- The Residential Design Advisory Team (RDAT) reviewed the project scope of the horizontal addition of an angled bay form protruding past the permitted square bay and found that the angled bay does not impact adjacent properties' access to light and air.
- The project seeks to legalize completed work to the subject property. There are two phases of unpermitted, illegal or out of scope construction.
 - The expansion of the bay windows and top floor deck were unpermitted and beyond the scope of Building Permit #2002.1010.8753. Expansion to the size, shape and roofing of the top floor deck appears to have occurred between the years 2002 and 2010. The expansion of the bay window at the rear occurred sometime between March 14, 2010 and March 29, 2011. (Reference attached context photo set: "Archived Rear Wall Photo")
 - The excavation and interior alterations, including the creation of a second unit occurred through a series of 15 over-the-counter permits, filed between 8/11/2014 and 12/8/2017, however, not all work that occurred was covered by the issued permits. DBI has issued eight violations for this work, currently stopped all work and has requested the proposed project serve to legalize all work under one comprehensive permit. Planning opened an enforcement case on 3/13/2017.
- **Public Comment & Outreach.** The adjacent neighbors to the west (145 Corbett Avenue) of the project have expressed concerns with the legalizing of the rear structures, with the amount of unpermitted work that has occurred on site, and other issues. The Department has received one comment letter in opposition to the proposal from a resident of Corbett Avenue and a letter of opposition from the Corbett Heights Neighbors.

BASIS FOR RECOMMENDATION

The Department finds that the Project is, on balance, consistent with the Objectives and Policies of the General Plan. The Project designed within existing site constraints and conforms to the prevailing neighborhood character while adding a dwelling unit, thereby maximizing the site's density. The Project is conditionally consistent with all accepted design standards, including those related to site design, building scale and form, architectural features and building details. The resulting height and depth is compatible with the existing building scale on the adjacent properties. The Department also finds the project to be necessary, desirable, and compatible with the surrounding neighborhood, and not to be detrimental to persons or adjacent properties in the vicinity.

Attachments:

Draft Motion – Conditional Use Authorization
Exhibit A – Maps and Context Photos
Exhibit B – Project Sponsor Brief and Plans
Exhibit C – Public Correspondence



SAN FRANCISCO PLANNING DEPARTMENT

Subject to: (Select only if applicable)

- ☐ Affordable Housing (Sec. 415)
☐ Jobs Housing Linkage Program (Sec. 413)
☐ Downtown Park Fee (Sec. 412)

- ☐ First Source Hiring (Admin. Code)
☒ Child Care Requirement (Sec. 414)
☐ Other

1650 Mission St.
Suite 400
San Francisco,
CA 94103-2479

Reception:
415.558.6378

Fax:
415.558.6409

Planning
Information:
415.558.6377

Planning Commission Draft Motion

HEARING DATE: JUNE 21, 2018

Record No.: **2017-005992CUAVAR**
Project Address: **143 Corbett Avenue**
Zoning: RH-2 (Residential House, Two-Family District)
40-X Height and Bulk District
Block/Lot: 2656/060
Project Sponsor: Mark Cruz
Cruz Architecture+Design
400 Perkins, Suite 209
Oakland, CA 94610
Staff Contact: Jeff Horn – (415) 575-6925
jeffrey.horn@sfgov.org

ADOPTING FINDINGS RELATING TO THE APPROVAL OF CONDITIONAL USE AUTHORIZATION UNDER PLANNING CODE SECTIONS 249.77(D)(4) AND 303(C) TO LEGALIZE INTERIOR ALTERATIONS AND HORIZONTAL ADDITIONS AT THE REAR BUILDING WALL'S BAY WINDOW AND DECKS, TO CONSTRUCT HORIZONTAL ADDITIONS OF A SPIRAL STAIRCASE AND DECK INFILL WITHIN THE REAR YARD, AND THE ADDITION OF A SECOND UNIT WITHIN AN EXISTING SINGLE-FAMILY DWELLING AT 143 CORBETT AVENUE THAT HAS A REAR YARD THAT IS LESS THAN 45% OF THE LOT DEPTH, WITHIN AN RH-2 (RESIDENTIAL HOUSE, TWO-FAMILY) ZONING DISTRICT AND A 40-X HEIGHT AND BULK DISTRICT.

PREAMBLE

On February 12, 2018, Mark Cruz of Cruz Architecture+Design, LLP (hereinafter "Project Sponsor") filed an application with the Planning Department (hereinafter "Department") for Conditional Use Authorization under Planning Code Sections 249.77(d)(4) and 303(c) to legalize interior alterations and horizontal additions at the rear buildings wall's bay window and decks, and construct horizontal additions of a spiral staircase and deck infill at the basement level within the rear yard, and the addition of a second unit within an existing single-family dwelling at 143 Corbett Avenue that has a rear yard that is less than 45% of the lot depth, within the RH-2 (Residential-House, Two-Family) Zoning District, 40-X Height and Bulk District.

On June 21, 2018, the San Francisco Planning Commission (hereinafter "Commission") conducted a duly noticed public hearing at a regularly scheduled meeting on Conditional Use Application No. 2017-009348CUA.

The project is exempt from the California Environmental Quality Act ("CEQA") as a Class 1 and Class 3 categorical exemption under CEQA.

The Commission has heard and considered the testimony presented to it at the public hearing and has further considered written materials and oral testimony presented on behalf of the applicant, Department staff, and other interested parties.

MOVED, that the Commission hereby authorizes the Conditional Use requested in Application No. 2017-005992CUA, subject to the conditions contained in "EXHIBIT A" of this motion, based on the following findings:

FINDINGS

Having reviewed the materials identified in the preamble above, and having heard all testimony and arguments, this Commission finds, concludes, and determines as follows:

1. The above recitals are accurate and constitute findings of this Commission.
2. **Site Description and Present Use.** The subject property is located on the south side of Corbett Avenue, between Hattie Street and Danvers, within the Corbett Heights neighborhood. The subject property is slightly more than 25 feet of wide, and slopes downward with a depth of approximately 71 feet. The site is developed with a 4-story single family home; two of the floors are below street grade and not are not entirely conditioned spaces. The lot is 1,829 square feet in size and is located in a RH-2 (Residential House, Two-Family) Zoning District and a 40-X Height and Bulk District.
3. **Surrounding Properties and Neighborhood.** The surrounding neighborhood consists of a mixture of two- and three-story buildings, containing mostly one- or two-residential dwelling units. Corbett Avenue slopes up slightly to the west, but steep slopes characterize the neighborhood as a whole; with the lots along the north and south side of Corbett Avenue steeply upsloping up towards the north, in excess of 20 percent. The adjacent parcel to the west, 145 Corbett Avenue, is a two-story over basement single-family residence. The adjacent property to the east, 137 and 139 Corbett Avenue, is a two-story over basement two-family residence.
4. **Project Description.** The Project is to legalize interior alterations and horizontal additions at the rear buildings wall's bay window and decks, to construct a roof deck, to construct horizontal additions of a spiral staircase and deck infill at the basement level within the rear yard, and the addition of a second unit within an existing single-family dwelling.
5. **Public Comment/Community Outreach.** The adjacent neighbors to the west (145 Corbett Avenue) of the project have expressed concerns with the legalizing of the rear structures, with the amount of unpermitted work that has occurred on site, and other issues. The Department has

received one comment letter in opposition to the proposal from a resident of Corbett Avenue and a letter of opposition from the Corbett Heights Neighbors.

6. **Planning Code Compliance:** The Commission finds that the Project is consistent with the relevant provisions of the Planning Code in the following manner:

- A. **Height.** Planning Code Section 260 requires that all structures be no taller than the height prescribed in the subject height and bulk district. The proposed project is located in a 40-X Height and Bulk District, with a 40-foot height limit.

The project proposes no changes to the buildings height. Roof access is proposed via a hatch.

- B. **Front Setback.** Planning Code Section 132 requires, in RH-2 Districts, a front setback that complies to legislated setbacks (if any) or a front back based on the average of adjacent properties (in no case shall the required setback be greater than 15 feet).

The Project will provide the minimum front setback required based on the average of adjacent properties along Corbett Avenue.

- C. **Rear Yard.** Planning Code Section 134 requires a minimum rear yard depth equal to 45% of the total depth of the lot on which the building is situated, except that rear yard requirements can be reduced to a line on the lot, parallel to the rear lot line, which is the average between the depths of the rear building walls of both adjacent properties.

The Project Sponsor is seeking a Variance to Section 134 and Condition Use Authorization pursuant to Section 249.77 to allow for the legalization to a rear bay addition and a new spiral staircase within the required rear yard.

- D. **Side Yard.** Planning Code Section 133 does not require side yard setbacks in in RH-2 Districts.

No side setbacks are required. The proposed building will be built to both side lot lines.

- E. **Front Setback Landscaping and Permeability.** Planning Code Section 132 requires that the required front setback be at least 20% unpaved and devoted to plant material and at least 50% permeable to increase storm water infiltration.

The Project complies with Section 132 and provides the required landscaping permeable area.

- F. **Street Frontage.** Off-street parking and freight loading shall meet the standards set forth in Planning Code Section 144 with respect to entrance dimensions and features.

There is presently no off-street parking or loading on site.

- G. **Usable Open Space.** Planning Code Section 135 requires at least 125 sq.ft. usable open space if private, 333 sq. ft. for two units if common and 400 sq. ft. if a shared inner court.

The Project meets common open space requirements for two units.

- H. **Off-Street Parking.** Planning Code Section 151 requires one off-street parking space per dwelling unit, and the maximum parking permitted as accessory may not exceed three spaces, where one is required by Code.

There is presently no off-street parking existing or proposed on the site.

- I. **Bicycle Parking.** Planning Code Section 155.2 requires one Class 1 Bicycle Parking space per dwelling unit, when there is an addition of a dwelling unit.

The Project proposes two Class 1 Bicycle Parking spaces within the proposed garage, therefore the requirement is met.

- J. **Density (Section 209.1).** Planning Code Section 209.1 permits up to two dwelling units per lot in an RH-2 District.

The Project proposes two units; therefore, the permitted density is not exceeded.

7. **Planning Code Section 303** establishes criteria for the Planning Commission to consider when reviewing applications for Conditional Use approval. On balance, the project does comply with said criteria in that:

- A. The proposed use or feature, at the size and intensity contemplated and at the proposed location, will provide a development that is necessary or desirable for, and compatible with, the neighborhood or the community.

The Project adds a much-needed dwelling unit. The size, design, and two-family residential use, are compatible with the neighborhood. Located in an exclusively residential neighborhood, this project will add a new 2-bedroom residential unit at grade and the lower level to the existing 2,113 sf single-family building. The site's RH-2 zoning permits this unit as of right. This building was built in 1911 and has been used for residential use over that period. The new unit will not expand the existing envelope. There will not be a noticeable change in the intensity of use at the site given that it is surrounded by similarly situated 1 and 2 unit homes.

In addition, the project is seeking legal authorization of existing and proposed rear yard extensions, respectively. A horizontal expansion of the existing modified breakfast nook will encroach 1'9" or 10 sf into the average rear yard of 33'. Additionally, 32' of a proposed 1-story spiral stair at grade will encroach 12'6" into the rear yard for 32 sf.

This project is necessary and desirable at this location. Most of the elements in the rear yard were installed by the prior owner of the property. As noted above, the new element that the project sponsor

seeks to introduce is a 1-story spiral staircase that will facilitate access between the upper floors and the new lower level unit. There are also numerous other features at the rear of the building which were undertaken by the prior owner. Many of the other homes facing the southern portion of the block also enjoy decks, stairs and other elements that support outdoor activities.

- B. The use or feature as proposed will not be detrimental to the health, safety, convenience or general welfare of persons residing or working in the vicinity, or injurious to property, improvements, or potential development in the vicinity, with respect to aspects including, but not limited to the following:

- i. Nature of proposed site, including its size and shape, and the proposed size, shape and arrangement of structures;

The subject property, similar to many lots within the surrounding neighborhood, is characterized by a steep slope, with a rear property line that lower than the front property line, on a 71 foot deep lot, which is much shorter than the typical lot in San Francisco. The proposed building's depth and height have been sensitively designed with regard to site-specific constraints and will create a quality, family-sized home while retaining the existing structure fronting on Corbett Avenue. Although the Project will have a rear yard less than 45% of the total lot depth, its coverage and scale are consistent with other properties in the surrounding neighborhood.

There is already an existing 3-story over basement single family residential building on the Project site. The Project involves variances for the legalization of various existing and proposed rear yard features. That includes the 10 sf of the existing rear breakfast nook that will encroach 1'9" into the required rear yard. It also includes a 32 sf of a new, 1-story spiral staircase for rear access to the lower unit. Other variance requests (e.g., 2nd story deck) were submitted. No other changes to the building envelope or rear façade are sought.

- ii. The accessibility and traffic patterns for persons and vehicles, the type and volume of such traffic, and the adequacy of proposed off-street parking and loading;

The Project can provide two-bike parking space, which is adequate to meet the needs of a two-family home. This small Project will not have significant impacts on area traffic.

The subject property is also in close proximity to several transit lines, located only approximately a 10-minute walk away from the Castro Street MUNI Station, and within a ½ mile of MUNI bus lines.

- iii. The safeguards afforded to prevent noxious or offensive emissions such as noise, glare, dust and odor;

The Project will comply with all applicable regulations relating to construction noise and dust. It will not produce, nor include, any permanent uses that generate substantial levels of noxious or offensive emissions, such as noise, dust, glare, or odor.

- iv. Treatment given, as appropriate, to such aspects as landscaping, screening, open spaces, parking and loading areas, service areas, lighting and signs;

The proposal does not include loading or services areas, nor will it include atypical lighting or signage. The Project has existing landscaping at the base of the entry stair and in the rear yard to contribute to an enjoyable rear yard and open space area. The proposed roof deck above the third floor will be set back from the front, rear and side lot lines to minimally impact the neighboring properties and their own enjoyment of their space.

- C. That the use or feature as proposed will comply with the applicable provisions of the Planning Code and will not adversely affect the General Plan.

The proposed Project complies with all applicable requirements and standards of the Planning Code, and is consistent with the Objectives and Policies of the General Plan as detailed below.

- D. That the use or feature as proposed would provide development that is in conformity with the stated purpose of the applicable Use District.

The proposed project is consistent with the stated purpose of the RH-2 District. The building structure is compatible to the height and size of development expected in this District, and within the permitted density.

- 8. **Corona Heights Large Residence Special Use District (Planning Code Section 249.77).** The project is located within the boundaries of the Corona Heights Large Residence Special Use District (SUD). The SUD was adopted to protect and enhance existing neighborhood character, encourage new infill housing at compatible densities and scale, and provide for thorough assessment of proposed large-scale residences that could adversely impact the area and affordable housing opportunities, to meet these goals, the SUD requires Conditional Use Authorization for five (5) types of development.

The proposed Project exceeds one of these development standards; thereby requiring Conditional Use Authorization pursuant to Planning Code Section 249.77(d)(4) for residential development that results in less than 45% rear yard depth.

In acting on any application for Conditional Use authorization within the SUD, the Commission shall consider the Conditional Use authorization requirements set forth in subsection 303(c) and, in addition, shall consider whether facts are presented to establish, based on the record before the Commission, one or more of the following:

- A. The proposed project promotes housing affordability by increasing housing supply.

The Project would add a second unit below and existing single-family unit, resulting in two family-sized units (three bedrooms and two bedrooms), thereby increasing the housing supply in the City.

- B. The proposed project maintains affordability of any existing housing unit; or

The Site is currently vacant. Therefore, there is no affordability of an existing unit to maintain.

- C. The proposed project is compatible with existing development.

The subject property and the adjacent properties are all approximately 70 feet deep, due to a curve in Corbett Avenue; this is a much short dimension than the typical lot in San Francisco. These buildings all have a similar depth and have relatively consistent rear building-wall depths. The subject property and the property to the west have non-complying rear decks at all levels.

The project is in a predominantly 1-2 unit neighborhood in the upper Castro neighborhood. The scale and massing of the building is not changing. No changes will occur to the building envelope at the rear because of the project or legalization of the encroachments by issuance of a variance by the Zoning Administrator. Most of the existing encroachments were done without benefit of permit and by the prior owner.

The trigger for compliance with the Corona SUD is a modified breakfast nook, 10 sf of which encroaches 1'9" into the 33' averaged rear yard and 32 sf of a proposed 1-story spiral staircase. Similar rear yard encroachments exist in the neighborhood. In addition to the spiral staircase, legalization is sought for other encroachments including existing decks and bay windows. Many of the other neighbors have similar encroachments in the required rear yards

9. **General Plan Compliance.** The Project is, on balance, consistent with the following Objectives and Policies of the General Plan:

HOUSING ELEMENT

Objectives and Policies

OBJECTIVE 1:

IDENTIFY AND MAKE AVAILABLE FOR DEVELOPMENT ADEQUATE SITES TO MEET THE CITY'S HOUSING NEEDS, ESPECIALLY PERMANENTLY AFFORDABLE HOUSING.

Policy 1.8:

Promote mixed use development, and include housing, particularly permanently affordable housing, in new commercial, institutional or other single use development projects.

The Project proposes to contribute a much needed home to the City's housing stock.

OBJECTIVE 4:

FOSTER A HOUSING STOCK THAT MEETS THE NEEDS OF ALL RESIDENTS ACROSS LIFECYCLES.

Policy 4.1:

Develop new housing, and encourage the remodeling of existing housing, for families with children.

The Project advances this policy by creating a two quality family-sized home that could accommodate families.

OBJECTIVE 11:

SUPPORT AND RESPECT THE DIVERSE AND DISTINCT CHARACTER OF SAN FRANCISCO'S NEIGHBORHOODS.

Policy 11.1:

Promote the construction and rehabilitation of well-designed housing that emphasizes beauty, flexibility, and innovative design, and respects existing neighborhood character.

Policy 11.2:

Ensure implementation of accepted design standards in project approvals.

Policy 11.3:

Ensure growth is accommodated without substantially and adversely impacting existing residential neighborhood character.

Policy 11.6:

Foster a sense of community through architectural design, using features that promote community interaction.

The Project supports these policies in that the proposed construction is sensitively designed within existing site constraints and conforms to the prevailing neighborhood character. The Project is consistent with all accepted design standards, including those related to site design, building scale and form, architectural features and building details. The resulting height and depth is compatible with the existing building scale on the adjacent properties. The building's form, façade materials, proportions, and third floor addition are also compatible with the surrounding buildings and consistent with the character of the neighborhood.

TRANSPORTATION ELEMENT

Objectives and Policies

OBJECTIVE 1:

MEET THE NEEDS OF ALL RESIDENTS AND VISITORS FOR SAFE, CONVENIENT AND INEXPENSIVE TRAVEL WITHIN SAN FRANCISCO AND BETWEEN THE CITY AND OTHER PARTS OF THE REGION WHILE MAINTAINING THE HIGH QUALITY LIVING ENVIRONMENT OF THE BAY AREA.

Policy 1.3:

Give priority to public transit and other alternatives to the private automobile as the means of meeting San Francisco's transportation needs, particularly those of commuters.

The Project furthers this policy by creating a quality second dwelling unit in an area well-served by the City's public transit system. The Castro Street MUNI Station is less than a 10-minute walk from the project site, and several MUNI bus lines have stops within a quarter-mile of the site.

URBAN DESIGN ELEMENT

Objectives and Policies

OBJECTIVE 4:

IMPROVEMENT OF THE NEIGHBORHOOD ENVIRONMENT TO INCREASE PERSONAL SAFETY, COMFORT, PRIDE AND OPPORTUNITY.

Policy 4.15:

Protect the livability and character of residential properties from the intrusion of incompatible new buildings.

The Project furthers this policy by ensuring that the proposed development is compatible with the surrounding properties and neighborhood. The height and depth of the resulting building is compatible with the neighborhood's scale in terms of bulk and lot coverage.

10. **Planning Code Section 101.1(b)** establishes eight priority-planning policies and requires review of permits for consistency with said policies. On balance, the project does comply with said policies in that:

- A. That existing neighborhood-serving retail uses be preserved and enhanced and future opportunities for resident employment in and ownership of such businesses be enhanced.

This policy does not apply to the proposed project, as the project is residential and will not affect or displace any existing neighborhood-serving retail uses.

- B. That existing housing and neighborhood character be conserved and protected in order to preserve the cultural and economic diversity of our neighborhoods.

The Project is consistent with this policy, as the proposed construction is designed to be consistent with the existing neighborhood's height and size while maintaining the strong mid-block open space pattern.

- C. That the City's supply of affordable housing be preserved and enhanced,

The Project does not propose to remove or add any affordable housing units, nor are any required under the Planning Code. The Project does help to create a high-quality two-family house by contributing one net new family-sized unit to the City's housing stock.

- D. That commuter traffic not impede MUNI transit service or overburden our streets or neighborhood parking.

The Project is located in an area well-served by the City's public transit systems, proposes two off-street parking spaces and provides two bicycle parking spaces. The Castro MUNI Rail Station and several MUNI bus lines are in close proximity to the subject property, therefore the Project will not overburden streets or neighborhood parking. MUNI transit service will not be overburdened as the unit count is only increasing by one unit.

- E. That a diverse economic base be maintained by protecting our industrial and service sectors from displacement due to commercial office development, and that future opportunities for resident employment and ownership in these sectors be enhanced.

This policy does not apply to the proposed project, as the project does not include commercial office development and will not displace industrial or service sector uses.

- F. That the City achieve the greatest possible preparedness to protect against injury and loss of life in an earthquake.

The proposed building is designed and will be constructed to conform to the structural and seismic safety requirements of the City Building Code. This proposal will not impact the existing building's ability to withstand an earthquake as no alterations are proposed.

- G. That landmarks and historic buildings be preserved.

The Project will not adversely affect any landmarks or historic buildings.

- H. That our parks and open space and their access to sunlight and vistas be protected from development.

The Project will not affect any parks or open space, through development upon such lands or impeding their access to sunlight. No vistas will be blocked or otherwise affected by the proposed project.

- 11. The Project is consistent with and would promote the general and specific purposes of the Code provided under Section 101.1(b) in that, as designed, the Project would contribute to the character and stability of the neighborhood and would constitute a beneficial development.
- 12. The Commission hereby finds that approval of the Conditional Use authorization would promote the health, safety and welfare of the City.

DECISION

That based upon the Record, the submissions by the Applicant, the staff of the Department and other interested parties, the oral testimony presented to this Commission at the public hearings, and all other written materials submitted by all parties, the Commission hereby **APPROVES Conditional Use Application No. 2017-009348CUA** pursuant to Planning Code Sections 249.77(d)(4) and 303(c) to legalize interior alterations and horizontal additions the rear and propose horizontal additions at the rear and add a second unit to an existing single-family dwelling at 143 Corbett Avenue that has a rear yard that is less than 45% of the lot depth, within the RH-2 (Residential-House, Two-Family) Zoning District, 40-X Height and Bulk District, subject to the conditionssubject to the following conditions attached hereto as "EXHIBIT A" in general conformance with plans on file, dated June 11, 2018, and stamped "EXHIBIT B", which is incorporated herein by reference as though fully set forth.

APPEAL AND EFFECTIVE DATE OF MOTION: Any aggrieved person may appeal this Conditional Use Authorization to the Board of Supervisors within thirty (30) days after the date of this Motion No. XXXXX. The effective date of this Motion shall be the date of this Motion if not appealed (After the 30-day period has expired) OR the date of the decision of the Board of Supervisors if appealed to the Board of Supervisors. For further information, please contact the Board of Supervisors at (415) 554-5184, City Hall, Room 244, 1 Dr. Carlton B. Goodlett Place, San Francisco, CA 94102.

Protest of Fee or Exaction: You may protest any fee or exaction subject to Government Code Section 66000 that is imposed as a condition of approval by following the procedures set forth in Government Code Section 66020. The protest must satisfy the requirements of Government Code Section 66020(a) and must be filed within 90 days of the date of the first approval or conditional approval of the development referencing the challenged fee or exaction. For purposes of Government Code Section 66020, the date of imposition of the fee shall be the date of the earliest discretionary approval by the City of the subject development.

If the City has not previously given Notice of an earlier discretionary approval of the project, the Planning Commission's adoption of this Motion, Resolution, Discretionary Review Action or the Zoning Administrator's Variance Decision Letter constitutes the approval or conditional approval of the development and the City hereby gives **NOTICE** that the 90-day protest period under Government Code Section 66020 has begun. If the City has already given Notice that the 90-day approval period has begun for the subject development, then this document does not re-commence the 90-day approval period.

I hereby certify that the Planning Commission ADOPTED the foregoing Motion on June 21, 2018.

Jonas P. Ionin
Commission Secretary

AYES:

NAYS:

ABSENT:

ADOPTED: June 21, 2018

EXHIBIT A

AUTHORIZATION

This authorization is for a conditional use to legalize interior alterations and horizontal additions the rear and construction the horizontal additions of a spiral staircase and deck infill with the rear yard and a add a second unit within the existing single-family dwelling at 143 Corbett Avenue that has a rear yard that is less than 45% of the lot depth, within the RH-2 (Residential-House, Two-Family) Zoning District, 40-X Height and Bulk District. District and a 40-X Height and Bulk District; in general conformance with plans, dated June 11, 2018, and stamped "EXHIBIT B" included in the docket for Case No. 2017-009348CUA and subject to conditions of approval reviewed and approved by the Commission on June 21, 2018 under Motion No. XXXXX. this authorization and the conditions contained herein run with the property and not with a particular Project Sponsor, business, or operator.

RECORDATION OF CONDITIONS OF APPROVAL

Prior to the issuance of the building permit or commencement of use for the Project the Zoning Administrator shall approve and order the recordation of a Notice in the Official Records of the Recorder of the City and County of San Francisco for the subject property. This Notice shall state that the project is subject to the conditions of approval contained herein and reviewed and approved by the Planning Commission on June 21, 2018 under Motion No. XXXXX.

PRINTING OF CONDITIONS OF APPROVAL ON PLANS

The conditions of approval under the 'Exhibit A' of this Planning Commission Motion No. XXXXX shall be reproduced on the Index Sheet of construction plans submitted with the Site or Building permit application for the Project. The Index Sheet of the construction plans shall reference to the Conditional Use authorization and any subsequent amendments or modifications.

SEVERABILITY

The Project shall comply with all applicable City codes and requirements. If any clause, sentence, section or any part of these conditions of approval is for any reason held to be invalid, such invalidity shall not affect or impair other remaining clauses, sentences, or sections of these conditions. This decision conveys no right to construct, or to receive a building permit. "Project Sponsor" shall include any subsequent responsible party.

CHANGES AND MODIFICATIONS

Changes to the approved plans may be approved administratively by the Zoning Administrator. Significant changes and modifications of conditions shall require Planning Commission approval of a new Conditional Use authorization.

**Conditions of Approval, Compliance, Monitoring, and Reporting
PERFORMANCE**

1. **Validity.** The authorization and right vested by virtue of this action is valid for three (3) years from the effective date of the Motion. The Department of Building Inspection shall have issued a Building Permit or Site Permit to construct the project and/or commence the approved use within this three-year period.
For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org
2. **Expiration and Renewal.** Should a Building or Site Permit be sought after the three (3) year period has lapsed, the project sponsor must seek a renewal of this Authorization by filing an application for an amendment to the original Authorization or a new application for Authorization. Should the project sponsor decline to so file, and decline to withdraw the permit application, the Commission shall conduct a public hearing in order to consider the revocation of the Authorization. Should the Commission not revoke the Authorization following the closure of the public hearing, the Commission shall determine the extension of time for the continued validity of the Authorization.
For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org
3. **Diligent pursuit.** Once a site or Building Permit has been issued, construction must commence within the timeframe required by the Department of Building Inspection and be continued diligently to completion. Failure to do so shall be grounds for the Commission to consider revoking the approval if more than three (3) years have passed since this Authorization was approved.
For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org
4. **Extension.** All time limits in the preceding three paragraphs may be extended at the discretion of the Zoning Administrator where implementation of the project is delayed by a public agency, an appeal or a legal challenge and only by the length of time for which such public agency, appeal or challenge has caused delay.
For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org
5. **Conformity with Current Law.** No application for Building Permit, Site Permit, or other entitlement shall be approved unless it complies with all applicable provisions of City Codes in effect at the time of such approval.
For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org
6. **Final Materials.** The Project Sponsor shall continue to work with Planning Department on the building design. Final materials, glazing, color, texture, landscaping, and detailing shall be subject to Department staff review and approval. The architectural addenda shall be reviewed and approved by the Planning Department prior to issuance.

For information about compliance, contact the Case Planner, Planning Department at 415-575-9017, www.sf-planning.org

7. **Garbage, Composting, and Recycling Storage.** Space for the collection and storage of garbage, composting, and recycling shall be provided within enclosed areas on the property and clearly labeled and illustrated on the building permit plans. Space for the collection and storage of recyclable and compostable materials that meets the size, location, accessibility and other standards specified by the San Francisco Recycling Program shall be provided at the ground level of the buildings.

For information about compliance, contact the Case Planner, Planning Department at 415-575-9017, www.sf-planning.org

PARKING AND TRAFFIC

8. **Managing Traffic During Construction.** The Project Sponsor and construction contractor(s) shall coordinate with the Traffic Engineering and Transit Divisions of the San Francisco Municipal Transportation Agency (SFMTA), the Police Department, the Fire Department, the Planning Department, and other construction contractor(s) for any concurrent nearby Projects to manage traffic congestion and pedestrian circulation effects during construction of the Project.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

9. **Enforcement.** Violation of any of the Planning Department conditions of approval contained in this Motion or of any other provisions of Planning Code applicable to this Project shall be subject to the enforcement procedures and administrative penalties set forth under Planning Code Section 176 or Section 176.1. The Planning Department may also refer the violation complaints to other city departments and agencies for appropriate enforcement action under their jurisdiction.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

10. **Revocation due to Violation of Conditions.** Should implementation of this Project result in complaints from interested property owners, residents, or commercial lessees which are not resolved by the Project Sponsor and found to be in violation of the Planning Code and/or the specific conditions of approval for the Project as set forth in Exhibit A of this Motion, the Zoning Administrator shall refer such complaints to the Commission, after which it may hold a public hearing on the matter to consider revocation of this authorization.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

11. **Bicycle Parking.** The Project shall provide no fewer than 2 Class 1 bicycle parking spaces as required by Planning Code Sections 155.1 and 155.2.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

OPERATION

12. **Child Care Fee - Residential.** The Project is subject to the Residential Child Care Fee, as applicable, pursuant to Planning Code Section 414A.

For information about compliance, contact the Case Planner, Planning Department at 415-558-6378, www.sf-planning.org

OPERATION

13. **Garbage, Recycling, and Composting Receptacles.** Garbage, recycling, and compost containers shall be kept within the premises and hidden from public view, and placed outside only when being serviced by the disposal company. Trash shall be contained and disposed of pursuant to garbage and recycling receptacles guidelines set forth by the Department of Public Works.

For information about compliance, contact Bureau of Street Use and Mapping, Department of Public Works at 415-554-5810, <http://sfdpw.org>

14. **Sidewalk Maintenance.** The Project Sponsor shall maintain the main entrance to the building and all sidewalks abutting the subject property in a clean and sanitary condition in compliance with the Department of Public Works Streets and Sidewalk Maintenance Standards.

For information about compliance, contact Bureau of Street Use and Mapping, Department of Public Works, 415-695-2017, <http://sfdpw.org>

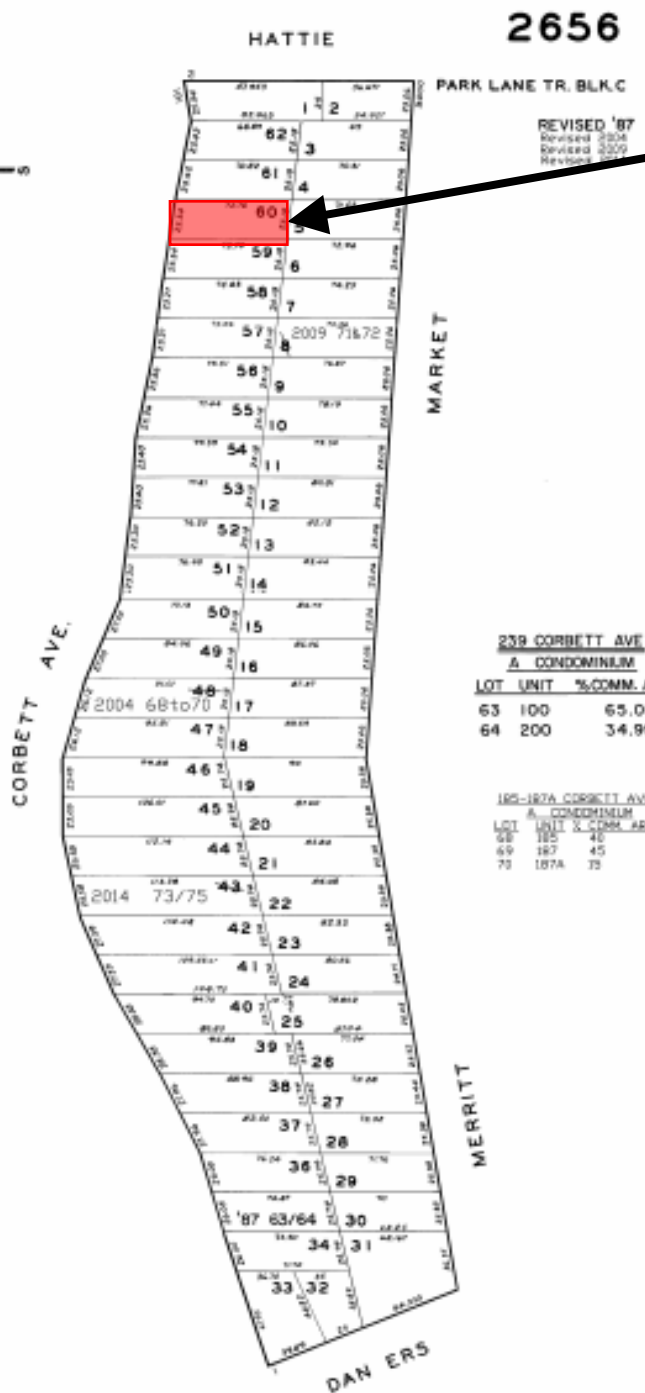
15. **Lighting.** All Project lighting shall be directed onto the Project site and immediately surrounding sidewalk area only, and designed and managed so as not to be a nuisance to adjacent residents. Nighttime lighting shall be the minimum necessary to ensure safety, but shall in no case be directed so as to constitute a nuisance to any surrounding property.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

Parcel Map

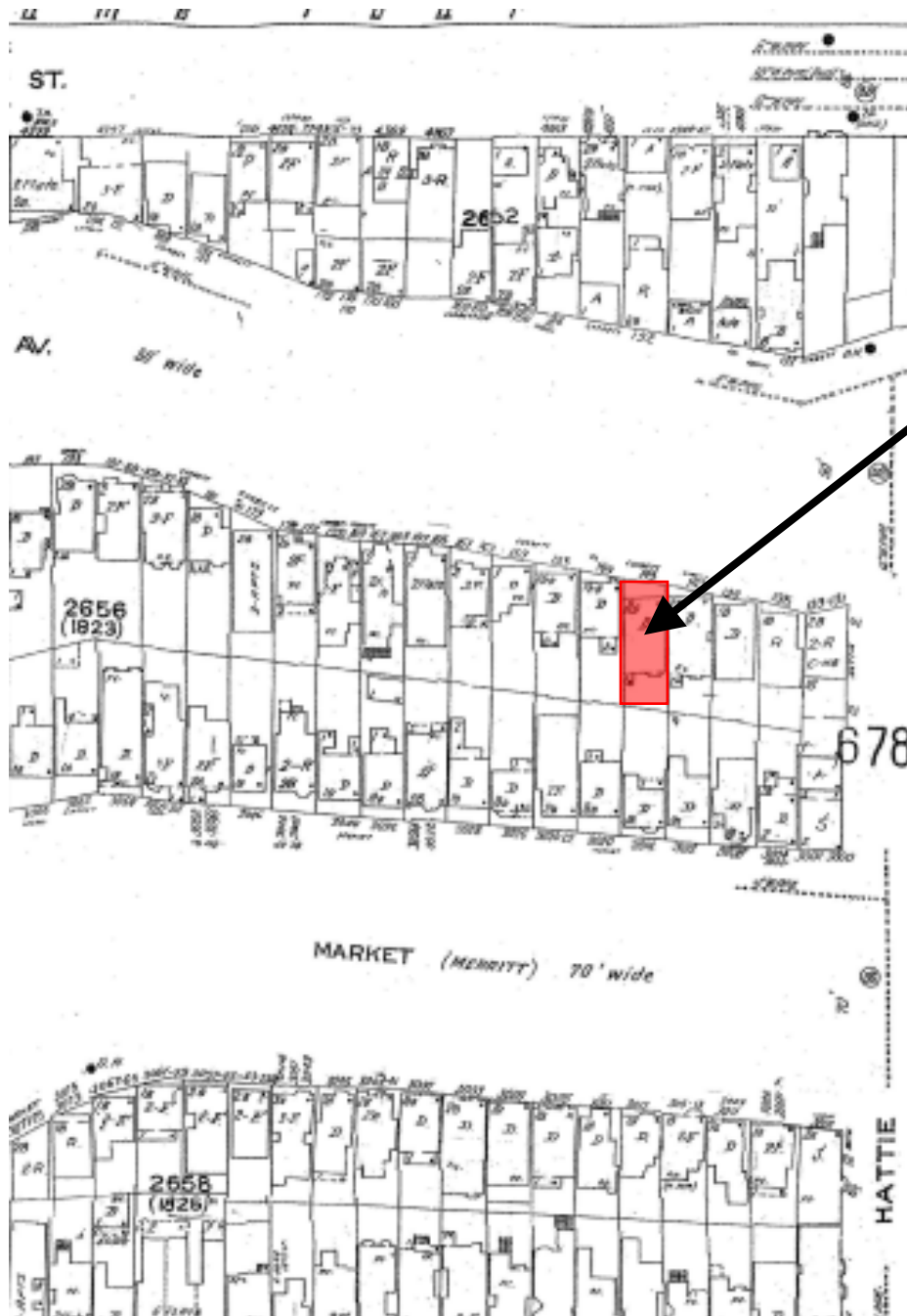
08/03
08/1995

204 FGL
204 FGL
204 FGL



Conditional Use Authorization Hearing
Case Number 2017-009348CUA
143 Corbett Avenue

Sanborn Map*

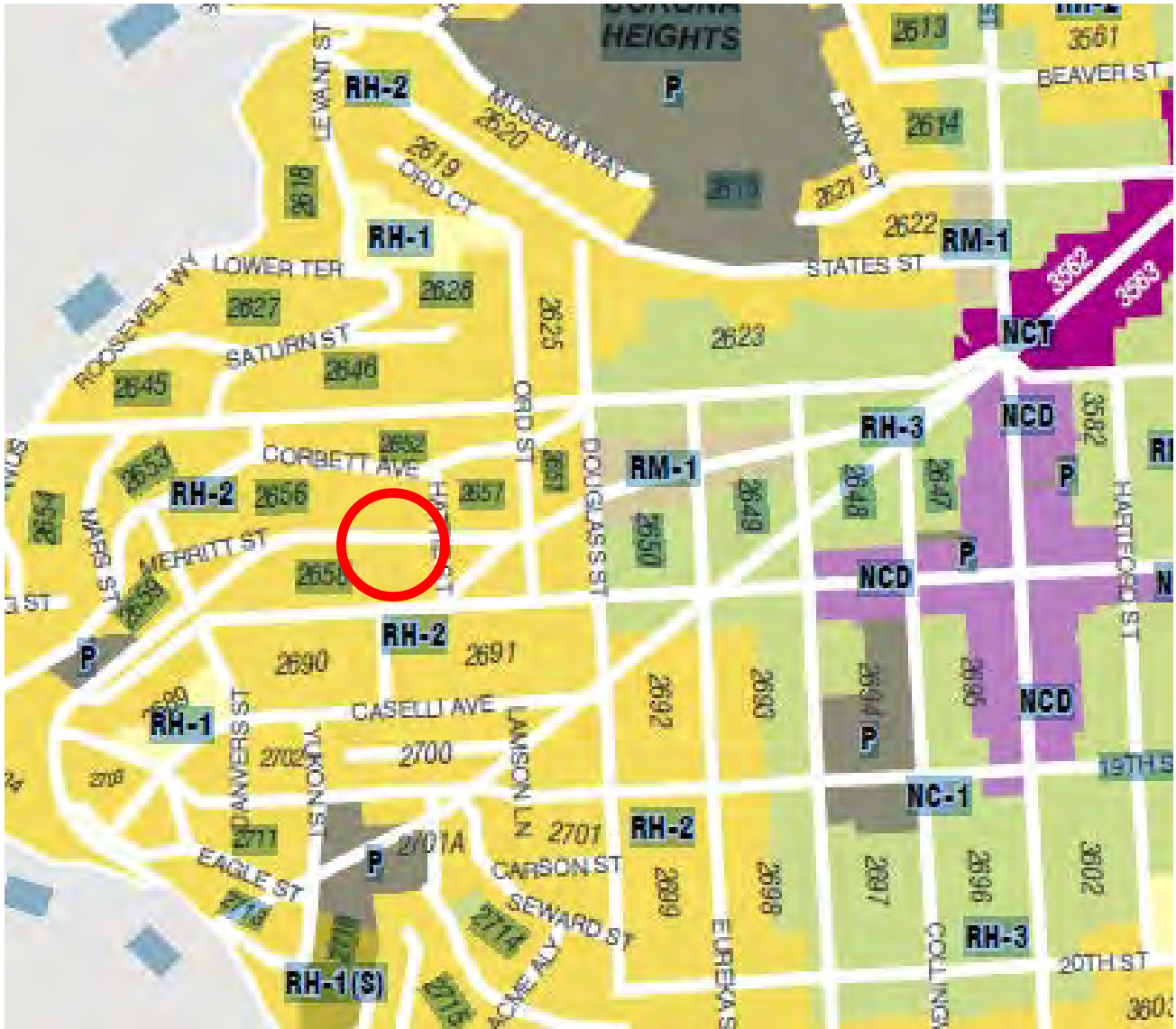


SUBJECT PROPERTY

*The Sanborn Maps in San Francisco have not been updated since 1998, and this map may not accurately reflect existing conditions.



Zoning Map



Conditional Use Authorization Hearing
Case Number 2017-009348CUA
143 Corbett Avenue



Aerial Photo

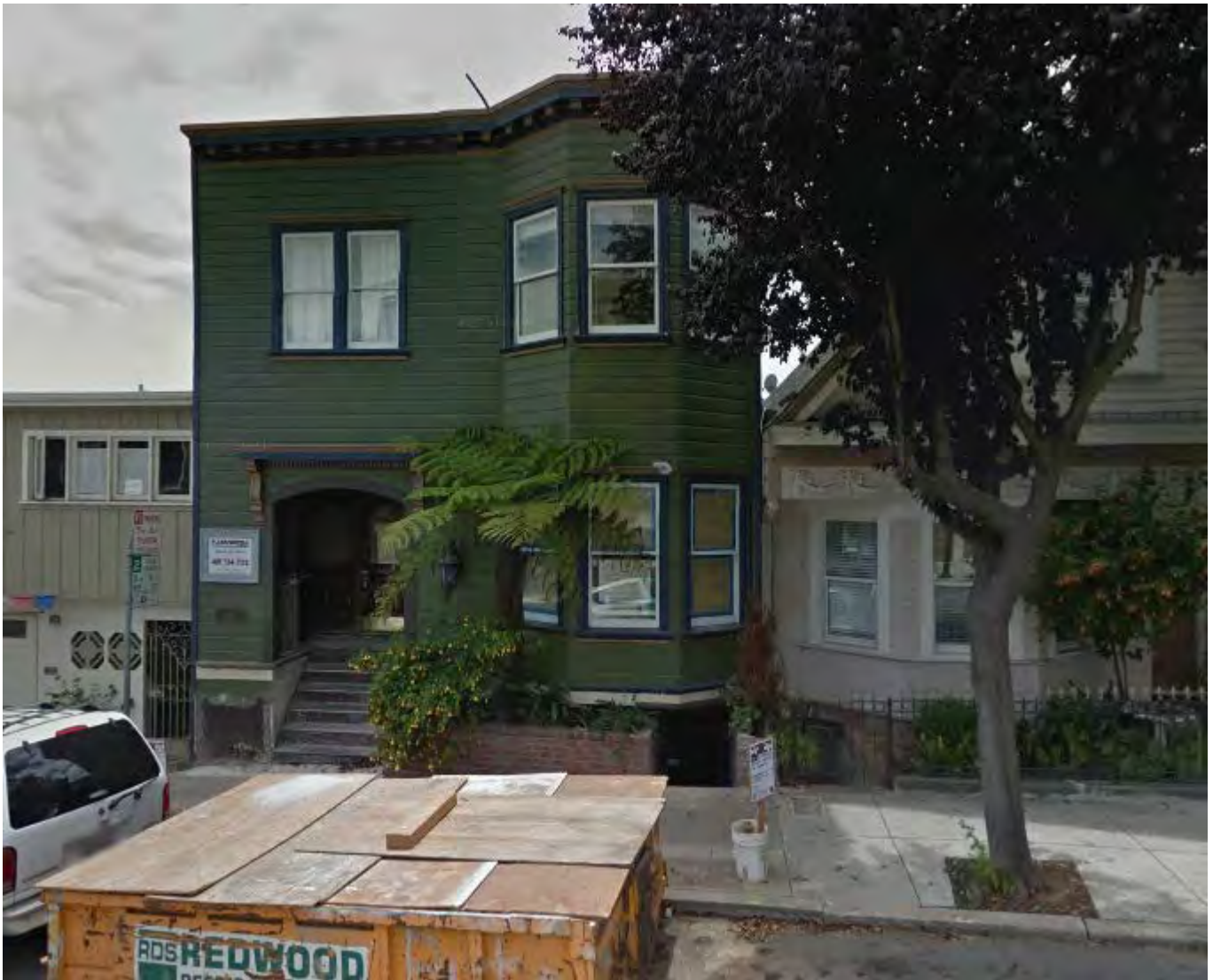


SUBJECT PROPERTY



Conditional Use Authorization Hearing
Case Number 2017-009348CUA
143 Corbett Avenue

Existing Site Photo



Conditional Use Authorization Hearing
Case Number 2017-009348CUA
143 Corbett Avenue

Archived Rear Wall Photo



May 2002.

- Enclosed square bay breakfast nook.
- Rear wall of the bay appears to have solid base with windows on upper portion, side wall appears solid at base with window(s).
- Overhanging deck with roof at top floor.

Conditional Use Authorization Hearing
Case Number 2017-009348CUA
143 Corbett Avenue

Archived Rear Wall Photo



August 2004.

- Enclosed square bay breakfast nook.
- Rear wall of the bay appears to have solid base with windows on upper portion
- Overhanging deck with roof at top floor

Conditional Use Authorization Hearing
Case Number 2017-009348CUA
143 Corbett Avenue

Archived Rear Wall Photo



March 14, 2010.

- Enclosed square bay breakfast nook.
- Visible rear solid wall with punched window openings.
- Roof over top floor deck has been enlarged. Deck has been extended further out, has a angled bay shape

Conditional Use Authorization Hearing
Case Number 2017-009348CUA
143 Corbett Avenue

Archived Rear Wall Photo



March 29, 2011.

- Enlarged angled bay extension has been added to breakfast nook.
- Inconclusive if there is an addition of triangular volumes to the nook, at the rear-building wall.
- Solid base, inconclusive if upper portion of the nook is windows or open with support columns.

Conditional Use Authorization Hearing
Case Number 2017-009348CUA
143 Corbett Avenue

Archived Rear Wall Photo



2014.

- MLS photo of the inside of the finished breakfast nook with angled bay addition circa the purchase date, April 2014.

Conditional Use Authorization Hearing
Case Number 2017-009348CUA
143 Corbett Avenue

Archived Rear Wall Photo



June 17, 2014.

- Enlarged angled bay breakfast nook.
- Visible solid wall at lower portion of the bay, with windows on each section of the bay
- Deck with larger roof at top floor.

Conditional Use Authorization Hearing
Case Number 2017-009348CUA
143 Corbett Avenue

Archived Rear Wall Photo



September 1, 2015.

- Enlarged angled bay. Solid wall with windows.
- Triangular addition to nook is visible.
- Roof over upper deck removed.

Conditional Use Authorization Hearing
Case Number 2017-009348CUA
143 Corbett Avenue

Archived Rear Wall Photo



July 19, 2017.

- Enlarged angled bay. Solid lower walls with windows.
- Triangular addition to nook is visible.
- Roof over upper deck removed. Deck actively being worked on by contractor.

Conditional Use Authorization Hearing
Case Number 2017-009348CUA
143 Corbett Avenue



SHARTSIS FRIESE LLP

One Maritime Plaza ♦ Eighteenth Floor
San Francisco, California 94111-3598

Richard F. Munzinger
rmunzinger@sflaw.com
(415) 773-7340
Fax: (415) 421-2922

June 11, 2018

San Francisco Planning Department
1650 Mission St., Suite 400
San Francisco, CA 94103

Re: Joint Planning Commission and Variance Hearing on 143 Corbett Ave., San Francisco, CA 94114 scheduled for June 21, 2018

Dear Commissioners:

I represent the owners of the real property located at 143 Corbett Ave., San Francisco, California 94114 (“143 Corbett”), Messrs. Rajan Raghavan and Ravi Raghavan (the “Raghavans”). I write to provide the Planning Commission with relevant information to consider in the upcoming joint Planning Commission and Variance hearing on 143 Corbett, scheduled for June 21, 2018.

I. The Proposed Variances

The variances sought by the Raghavans are set forth in the plans and drawings (the “Plans”) attached hereto as **Exhibit A**. These Plans were prepared by Mark Cruz, the Raghavans’ architect for the proposed variances. The requested variances include:

1. Approval of a pre-existing extension of a breakfast nook by a prior owner;
2. Approval to enclose a lightwell with the neighbors’ signed permission. (A copy of the neighbors’ written authorization is attached as **Exhibit B**.) The enclosed lightwell will still allow light into both properties;
3. Addition of a roof deck; and
4. Extension of an existing spiral staircase in the back of the house to the ground level.

Mr. Cruz will explain the requested variances and why they are appropriate at the hearing.

II. The Neighbors' False Accusations And Gaming Of The System

A. The Neighbors Knowingly False Statements About the Breakfast Nook

Ms. Jennifer Creelman and Mr. Alfred Waldo “Chip” Driggs (the “Neighbors”) reside at the real property known as 145 Corbett Ave., San Francisco, California 94114 (“145 Corbett”), which abuts the Raghavans’ property to the West. Creelman and Diggs are represented by attorney Stephen Williams.

Mr. Williams and his clients have objected to the variances sought by the Raghavans for various reasons, but their objections are based on completely unsupported false accusations and assertions. Notably, they have not included any evidence supporting their slanderous attacks on the Raghavans.

First, Creelman and Driggs argue that the Raghavans extended their breakfast nook (one of the requested variance items), without a permit, after they purchased their property on May 9, 2014. But this is demonstrably false. To the contrary, a historical review of Google Earth and the file for the property shows that the Raghavans did not extend the breakfast nook, but rather that it was extended by the prior owner. The Raghavans replaced the windows in the nook, but did not perform any other work on that area. Jeff Horn’s findings to this effect with respect to the nook and the supporting documents were sent by Mr. Horn to Williams on June 8, 2018, and are attached as **Exhibit C**.

Creelman and Driggs have always known that the Raghavans did not extend the nook. As they admit in the materials they have submitted, they knew the owner prior to the Raghavans and visited the home when he owned it, at which time the breakfast nook had already been extended. Moreover, as evidenced by the Google Earth photographs attached to Mr. Horn’s findings, the extended portion of the nook is clearly visible from Creelman and Driggs’ property, so they know exactly when it was built. Accordingly, Creelman and Driggs’ assertion that the Raghavans extended the nook is knowingly false and made in bad faith to harass and oppress the Raghavans.

B. The Neighbors’ False Claims About Serial Permitting

Creelman and Driggs, through Williams, have also made false claims that the Raghavans intentionally engaged in serial permitting in order to deceive DBI. Again, these claims are nothing more than unsupported false accusations. Mr. Williams and his clients have not supplied the Planning Commission with any evidence. Unsupported accusations like these are easy to make, given that they are protected from a defamation lawsuit by the litigation privilege recognized under California law.

Gary Weiss of the Corbett Heights Neighbors group submitted a letter to the Commission on May 21, 2018, raising a similar objection as the Neighbors, i.e., that the Raghavans have engaged in bad faith serial permitting to game the system. But this is not the case. Each permit here was pulled in good faith to address unexpected conditions and issues on the property as they

arose. Like the Neighbors, Mr. Weiss offers no evidence to the contrary and has no first-hand knowledge of this project. Mr. Weiss's general concerns about the potential abuses of serial permitting should not influence the Commission here, where there is no evidence of such a practice.

As Mr. Raghavan will explain in more detail at the hearing, the permits he obtained were made necessary by the unexpected conditions his contractors encountered at 143 Corbett. Some of these conditions include:

- The electrical system in the house was antiquated, with knob and tube wiring from decades ago. In addition, the previous owner had tapped electrical connections from various random points in the house, which presented a safety hazard. Mr. Raghavan and his contractors needed to add new breakers and replace the wiring, which entailed tearing down the sheet rock in the house and obtaining various electrical permits;
- The internal staircase in the house was built ad-hoc with no safety rails and random height code non-conforming steps, so Mr. Raghavan and his contractors were forced to replace the existing staircase for safety reasons;
- The foundation of the house needed extensive repair work, so Mr. Raghavan and his contractors had to pull permits to fix the foundation;
- The balcony had a very heavy non-conforming roof that leaked water, and the balcony railings were not child-proof, so Mr. Raghavan and his contractors had to pull permits to fix these issues;
- The breakfast nooks had wooden joists and pillars which had rotted and had to be replaced for safety reasons.

For reference, a complete list of the permits pulled as to 143 Corbett is attached hereto as **Exhibit D**. The Raghavans and their contractors have not engaged in deception. As the Department of Building Inspection has largely found, and as Rajan Raghavan and Mr. Cruz will attest at the June 21st hearing, construction on 143 Corbett is proper, permitted, and Building Code-compliant.

C. The Neighbors Have A Pattern And Practice Of Making False Accusations To Interfere With The Raghavans' Construction

Ms. Creelman, Mr. Driggs, and Mr. Williams have opposed the Raghavans' construction in bad faith from the beginning. For example, in September of 2016, Mr. Williams and his clients filed a frivolous appeal of a permit the Raghavans obtained to infill their Eastern lightwell, which is on the side opposite from Creelman and Driggs and thus does not abut their property. However, a clerical error resulted in the permit showing that the lightwell on the Southwest side of their home would be infilled. See **Exhibit E**. After discovering the oversight,

the Raghavans promptly informed Ms. Creelman and Mr. Driggs that the error was clerical. **Exhibit F.** However, before the Raghavans obtained a revised permit, Mr. Williams filed an appeal of the permit on behalf of Creelman and Driggs, despite knowing that the error was clerical. **Exhibit G.** The Raghavans subsequently obtained a revised permit. **Exhibit H.**

In addition, this is not the first time Creelman, Driggs and Williams have falsely accused the Raghavans of using serial permitting to deceive DBI. They made these same false accusations in connection with an appeal of one of the Raghavans' permits. Attached hereto as **Exhibits I, J, and K** are the appellate materials (notice of appeal and briefing) of an appeal filed by Williams on behalf of his clients of a permit the Raghavans pulled to install temporary shoring at 143 Corbett, at DBI's request. As you can see, Williams and his clients made the same unsupported, slanderous accusations against the Raghavans in their appellate briefing as they make here. However in that proceeding, when it came time to stand behind their false accusations, Williams and his clients withdrew their appeal at the last minute, on the morning of the hearing, after the Raghavans were forced to spend tens of thousands of dollars briefing and responding to the false claims, and after delaying construction of their home by months. *See Exhibits L and M.* This despite the fact that the Raghavans had made every effort to accommodate the Neighbors' concerns, and even proposed in early 2016 to address water drainage issues between the homes that Mr. Driggs raised as an ongoing issue from before the Raghavan's purchased 143 Corbett. **Exhibit F.** Accordingly, making false accusations to game the system and harass the Raghavans is a pattern by Creelman, Driggs and Williams, which the Commission should consider in assessing their complaints.

III. Attachments

1. **Exhibit A** - Plans and drawings of architect Mark Cruz regarding the variances sought by the Raghavans;
2. **Exhibit B** - Approval to enclose a lightwell (while still allowing light into both properties) with the Neighbors' signed permission;
3. **Exhibit C** - Jeff Horn's findings with respect to the breakfast nook and supporting documents, including a historical review of Google Earth and the file for the property showing that the Raghavans did not extend the breakfast nook, but rather that it was extended by the prior owner;
4. **Exhibit D** - A complete list of the permits pulled as to 143 Corbett;
5. **Exhibit E** - Permit No. 1402304 to infill lightwell approved August 31, 2016, which due to a clerical error incorrectly describes lightwell as on the Southwest side of the house;
6. **Exhibit F** - Email correspondence in which Rajan Raghavan informs Chip Driggs on February 24, 2016 that the application for Permit No. 1402304 incorrectly describes the lightwell as on the Southwest side of the house, and first proposes to

take care of the water drainage issues between the homes that Mr. Driggs raised as a concern;

7. **Exhibit G** - Preliminary Statement of Appeal, Appeal No. 16-155, filed on September 15, 2016 by Williams on behalf of Ms. Creelman and Mr. Driggs, of Permit No. 1402304 describing lightwell as on Southwest side of the house rather than the East side of the house;
8. **Exhibit H** - Permit No. 1403825 to infill lightwell on the East side of the house, correcting clerical error in Permit No. 1402304 describing the lightwell as on the Southwest side of the house, approved on September 16, 2016;
9. **Exhibit I** - Notice of Appeal and Appeal No. 16-186 of Permit No. 1410466 addressing Notice of Violation 201631352, dated October 24, 2016 and filed by Williams on behalf of Creelman and Driggs;
10. **Exhibit J** - Appellants' brief in support of Appeal No. 16-186;
11. **Exhibit K** - Respondents' brief in Appeal No. 16-186;
12. **Exhibit L** - Withdrawal Request of Appeal No. 16-186 filed by Appellants April 5, 2016, the morning of the hearing;
13. **Exhibit M** - Affidavit of Service of Notice of Withdrawal of Appeal No. 16-186.

IV. Conclusion

The variances requested by the Raghavans are appropriate and should be granted. The Neighbors' and Mr. Weiss's objections are not supported by any evidence, and the Neighbors' prior conduct shows that their false accusations should be disregarded. For these reasons and as will be further explained at the hearing, the Commission should grant the proposed variances.

Sincerely,

/s/ Richard F. Munzinger

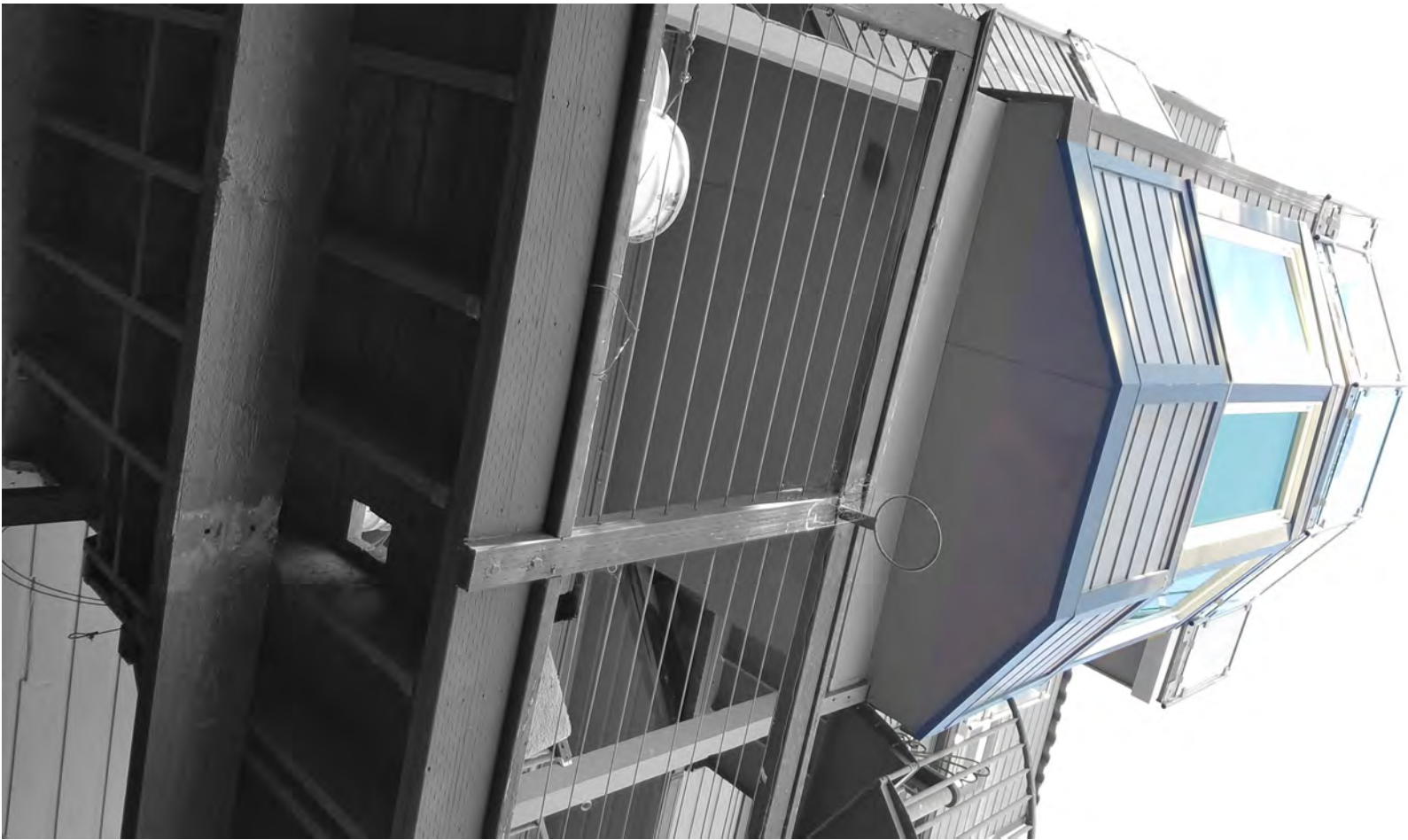
Richard F. Munzinger

EXHIBIT A

CONDITIONAL USE APPLICATION FOR

143 CORBETT AVE
SAN FRANCISCO, CA, 94114

THIS DOCUMENT IS PREPARED AS SUPPLEMENTAL ADDENDA TO THE VARIANCE APPLICATION TO CLARIFY QUESTIONS OF PERMIT AND CONSTRUCTION HISTORY, SCOPE OF WORK, AND SPECIFICS OF THE VARIANCE APPLICATION FOR ILLEGAL ALTERATIONS OF AN EXISTING REAR BREAKFAST NOOK CONSTRUCTUCTED BEFORE THE OWNER PURCHASED THE HOME.



SHEET LIST	
Sheet Number	Sheet Name

CU0	COVER SHEET
CU1.1	PROJECT INFORMATION
CU1.2	2002 PERMIT - ANALYSIS
CU1.3	200 PERMIT - ANALYSIS
CU1.4	GROSS AREA - 200210108753
CU1.5	TOTAL GROSS AREA ANALYSIS
CU2.1	BASEMENT LEVEL
CU2.2	LOWER LEVEL
CU2.3	MAIN LEVEL PLAN
CU2.4	UPPER LEVEL PLAN
CU2.5	ROOF PLAN
CU3.1	FRONT ELEVATION
CU3.2	WEST ELEVATION
CU3.3	REAR ELEVATION
CU3.4	EAST ELEVATION
CU5.1	ENLARGED PLAN - LOWER DECK
CU5.2	3D PERSPECTIVE OF REAR STAIRS
CU8.1	SECTION
CU8.2	SECTION
CU9.1	LIGHTWELL ENCLOSURE
CU9.2	LIGHTWELL AGREEMENT
CU9.3	LIGHTWELL AGREEMENT
CU10.1	LETTER BY THE ENGINEER
CU11.1	PHOTOS OF EXISTING BREAKFAST NOOK
CU11.2	PHOTOS OF THE BREAKFAST NOOK - LMS
CU11.3	PHOTOS - 143 CORBETT - REAR FACADE
CU11.4	HISTORIC INTERPOLATION
CU12.1	PHOTOS - 145 CORBETT - DECK
CU12.2	PHOTOS - 145 CORBETT - DECK

RENOVATION FOR:

RAGHAVAN FAMILY

143 CORBETT AVE
SAN FRANCISCO, CA 94114

CRUZ A+D

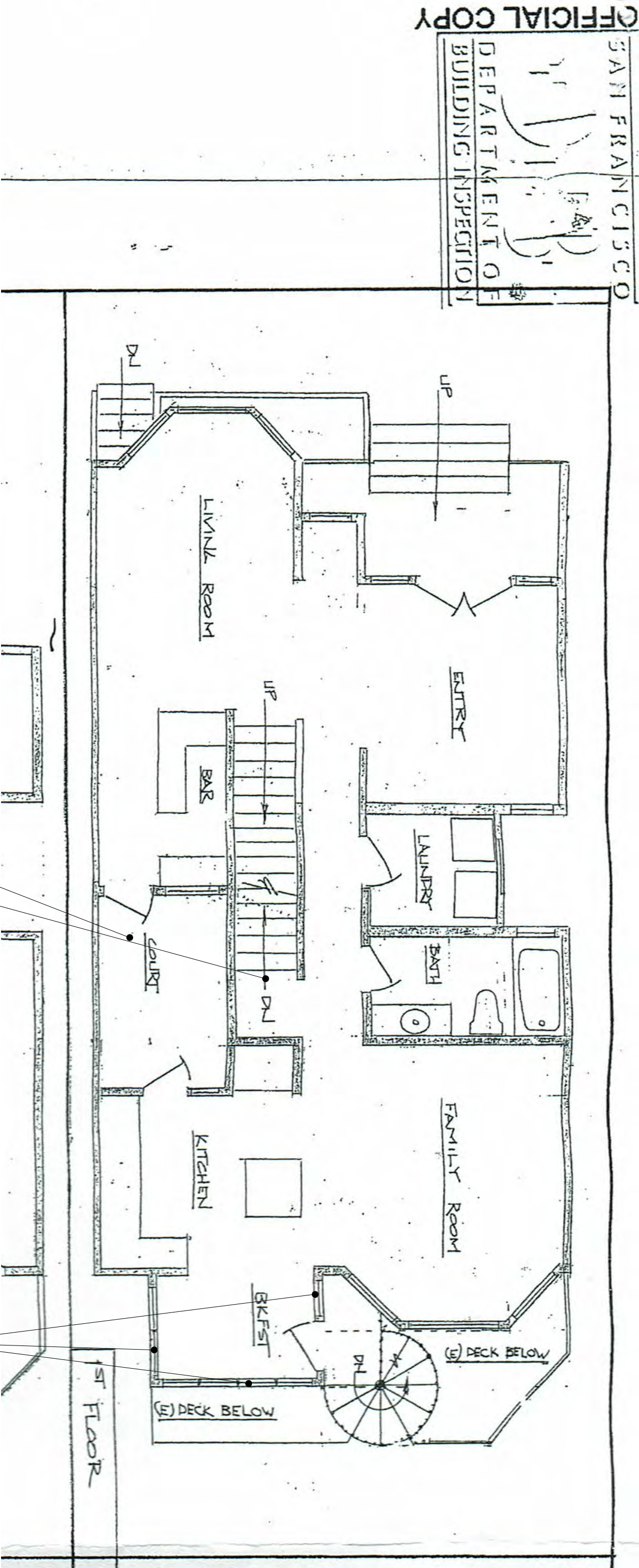
400 PERKINS ST #209
OAKLAND, CA 94610
T: 415.802.7447
MARK@CRUZAD.SPACE

COVER SHEET

CU0

Scale:

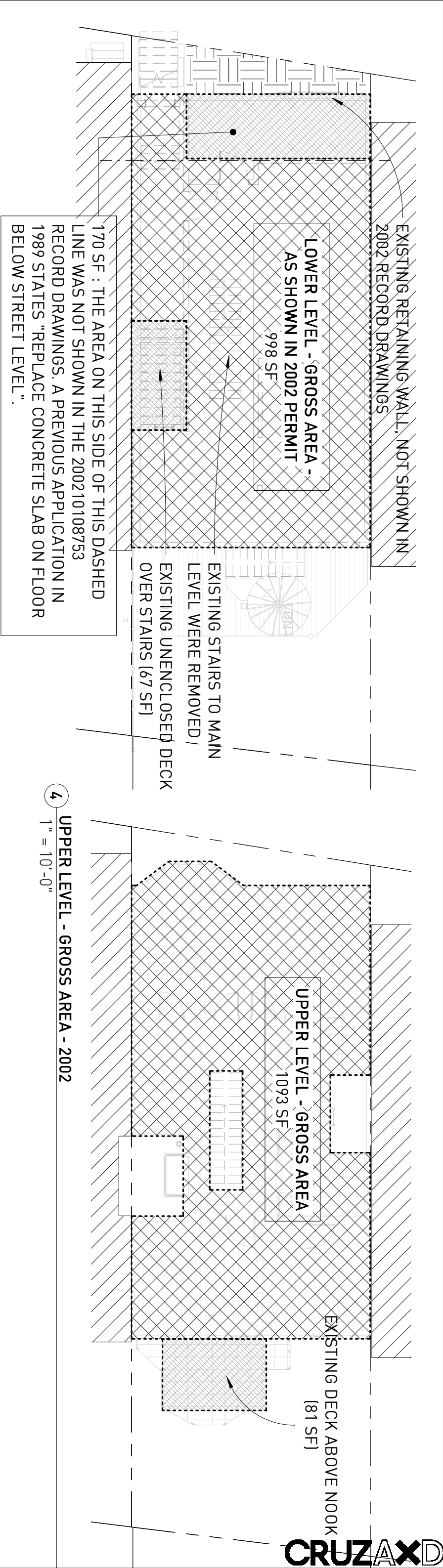
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INTERNAL STAIR TO LOWER LEVEL WAS REMOVED.

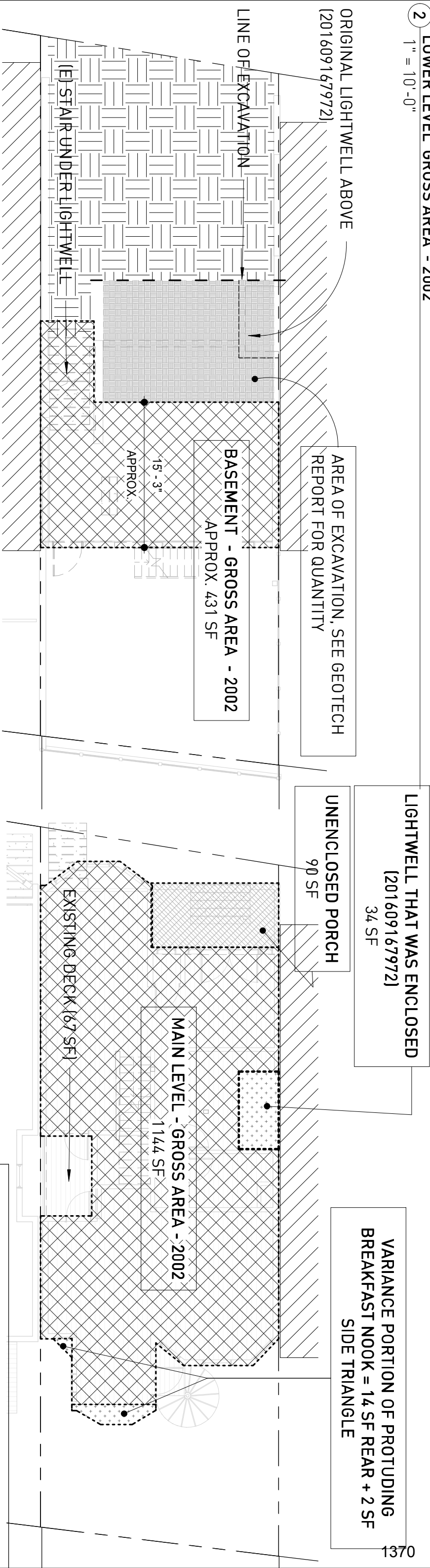
WINDOWS AND HATCHED WALL INDICATES ENCLOSED , CONDITIONED SPACE

LIGHTWELL



2 LOWER LEVEL GROSS AREA - 2002

1" = 10'-0"



1 BASEMENT - GROSS AREA - 2002

1" = 10'-0"

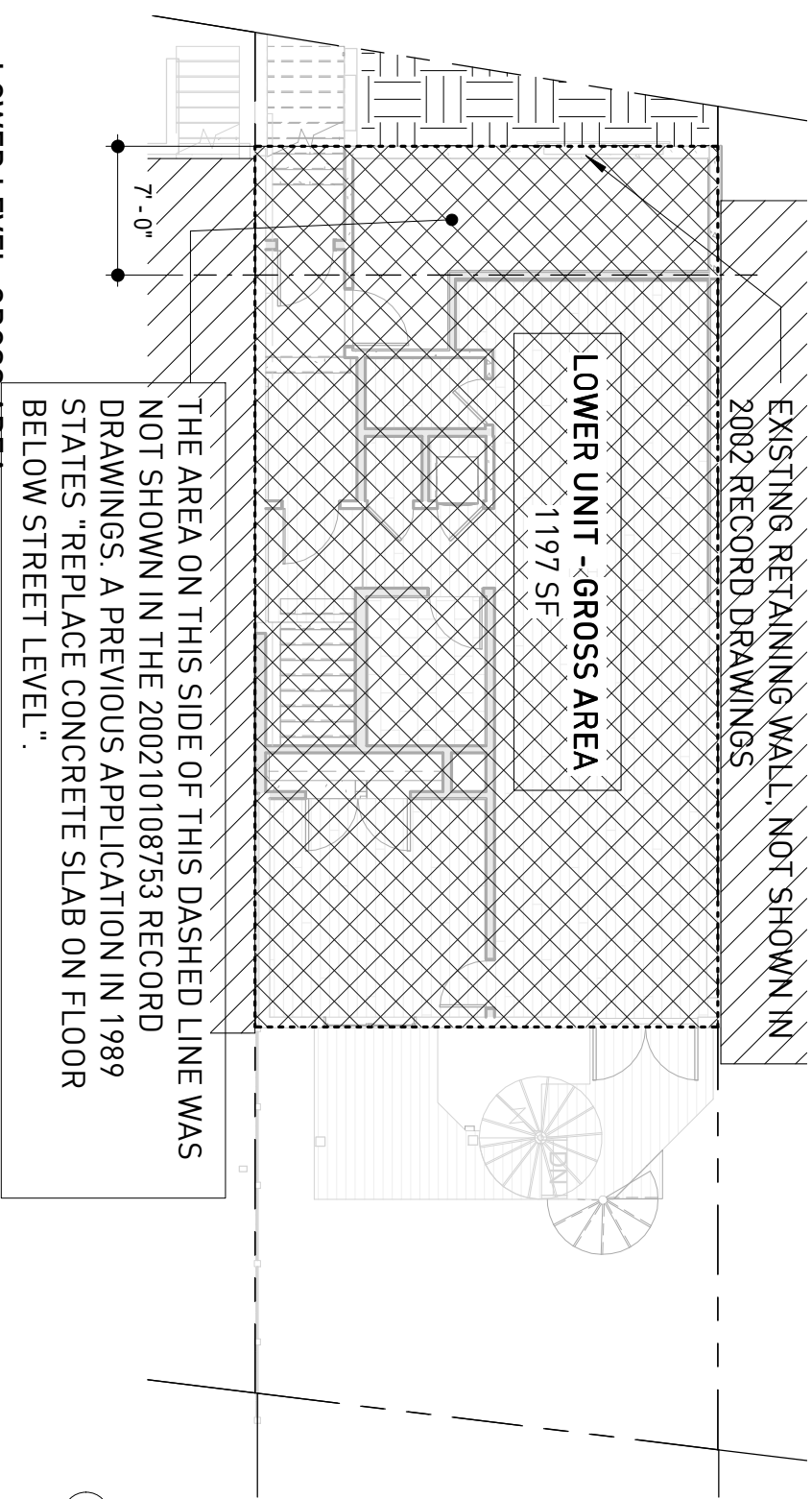
3 MAIN FLOOR - GROSS AREA - 2002

1" = 10'-0"

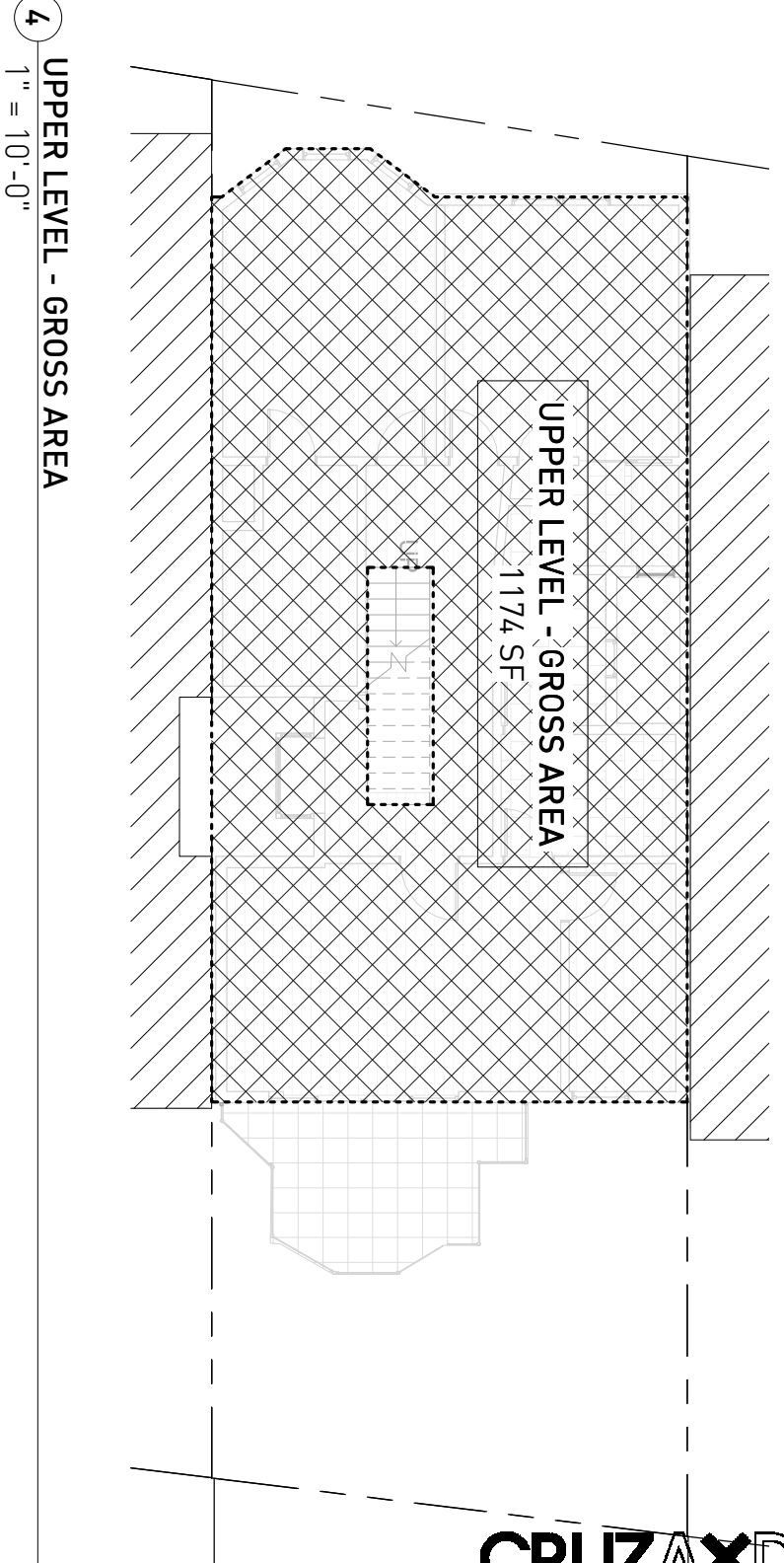
GROSS AREA - 200210108753

CU1.4

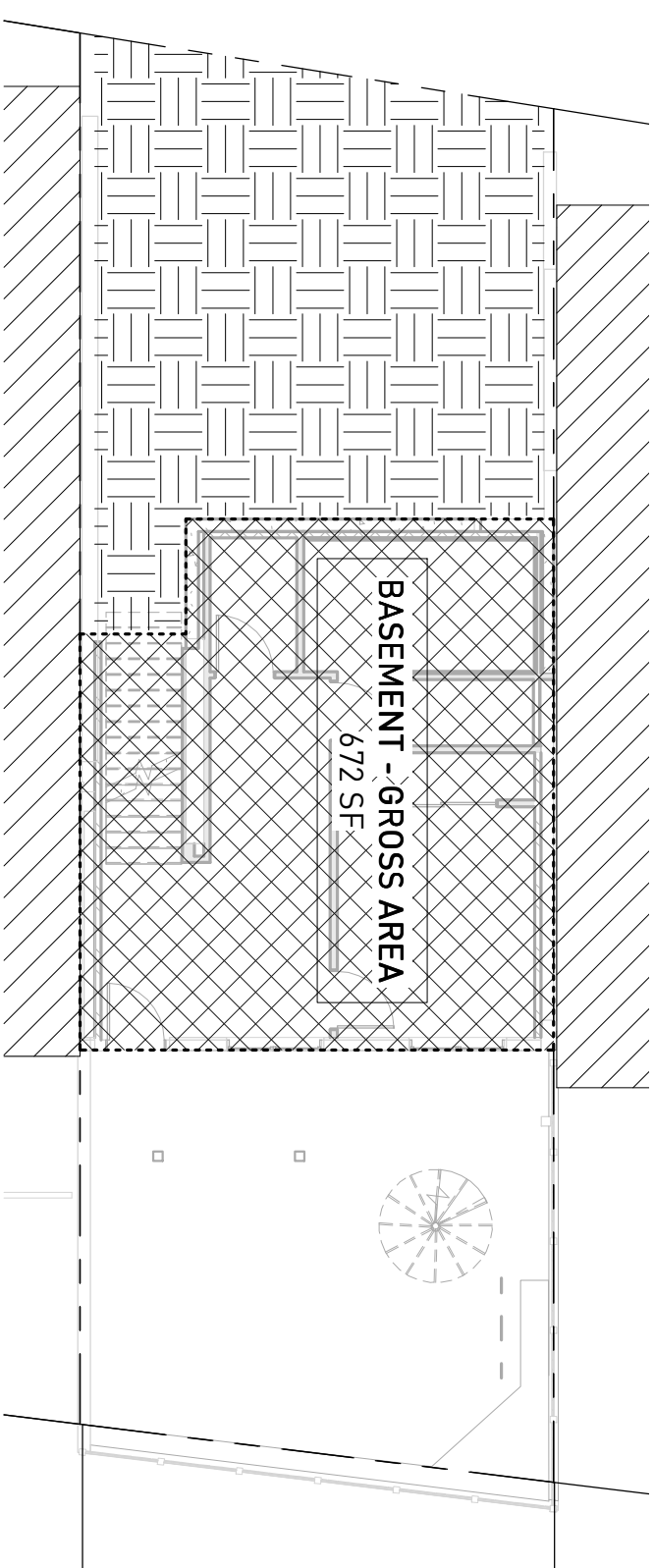
Scale: 1" = 10'-0"



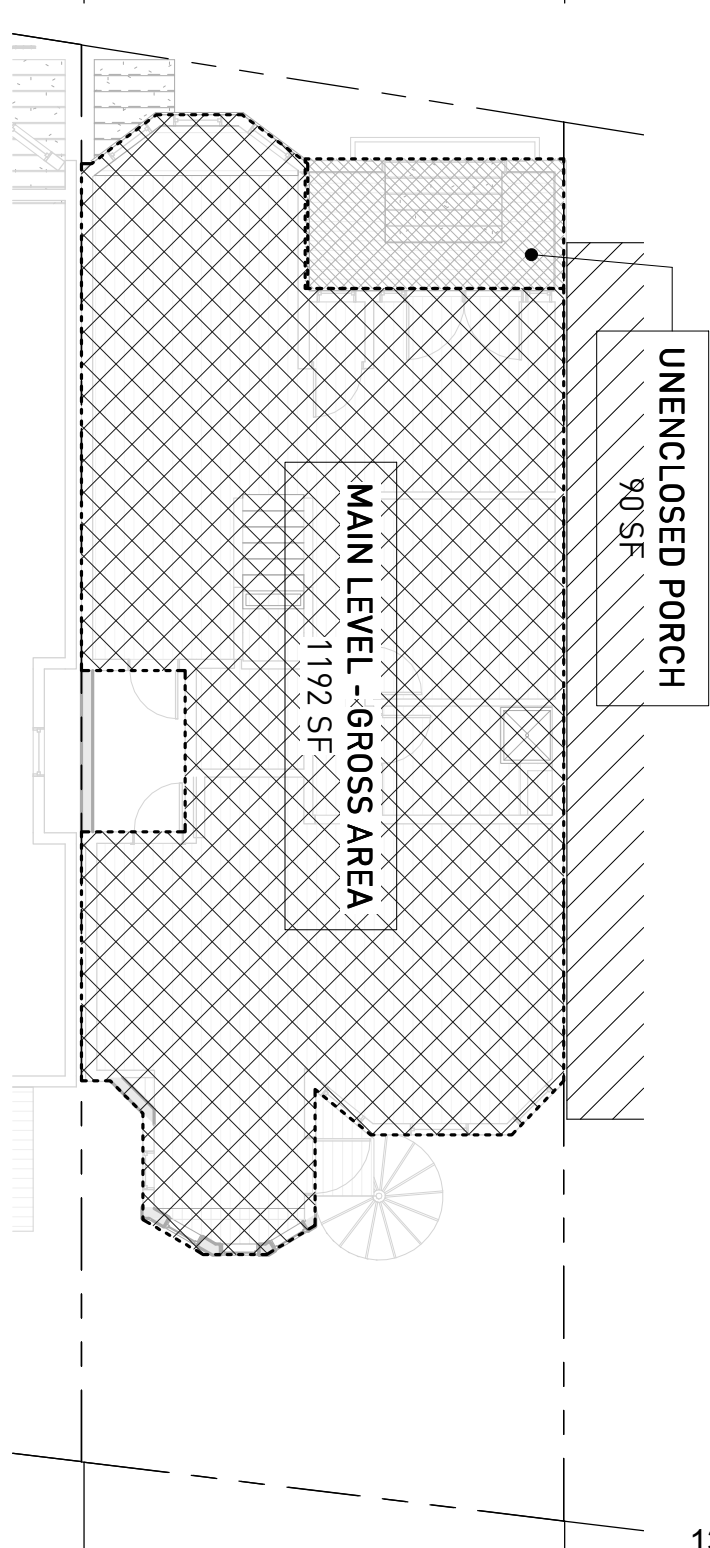
2 LOWER LEVEL GROSS AREA
1" = 10'-0"



4 UPPER LEVEL - GROSS AREA
1" = 10'-0"



1 BASEMENT - GROSS AREA
1" = 10'-0"



3 MAIN FLOOR - GROSS AREA
1" = 10'-0"

TOTAL GROSS AREA ANALYSIS

CU1.5
Scale: 1" = 10'-0"

TWO FAMILY RESIDENCE
137 CORBETT AVE
139 CORBETT AVE

PROPOSED GROUND FLOOR
NEWLY EXPANDED
(SEE GEOTECH REPORT WITH EE FOR EXCAVATION ANALYSIS.)

(E) REAR YARD,
PROPOSED PATIO AND
SEATWALL DESIGN

APPROX.

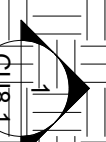
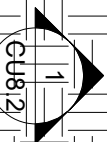
27' - 6"

9' - 3"

CRUZAXD

RETAINING FOUNDATION
WALL, INSPECTED &
POURED ON DEC 2017,
REFERENCE
201611233483 &
201703272431 &
201712085904
INSPECTED BY
INSPECTOR DUFFY AND
INSPECTOR BIRMINGHAM

INSPECTOR DUFFY AND
INSPECTOR BIRMINGHAM



(N) RETAINING FOUNDATION WALL,
POURED IN DEC 2017, REFERENCE
201611233483 & 201703272431

SINGLE FAMILY RESIDENCE
145 CORBETT AVE

LOT LINE FOUNDATION REPLACEMENT UNDER LIGHTWELL, DUE TO
UNDERMINED SOILS CAUSED BY WATER LEAK
(FINAL POUR DEC 2017, INSPECTED BY INSPECTOR BIRMINGHAM)

(N) BATHROOM

(N) 60"x 72" DUAL
CASEMENT
(EGRESS)

(N) BEDROOM
128 SF

STORAGE

(E) STAIR LOCATION
(TO BE REBUILT)

(E) 145 CORBET
DOWNSPOUT FROM
UP LIGHTWELL

VARIANCE PROPOSAL STEEL SPIRAL
STAIRCASE (ONE STORY)

(N) PUMP PIT
FOR FOUNDATION DRAIN

LINE OF (E) DECK ABOVE

RETAINING WALL PER
201611233483



RENOVATION FOR:

RAGHAVAN FAMILY

143 CORBETT AVE
SAN FRANCISCO, CA 94114

CRUZ A+D

400 PERKINS ST #209
OAKLAND, CA 94610
T: 415.802.7447
MARK@CRUZAD.SPACE

BASEMENT LEVEL

CU2.1

Scale: 1/4" = 1'-0"

Architectural floor plan of a two-family residence. The plan shows two units: Unit 1 (top) and Unit 2 (bottom). Unit 1 includes a Storage room, Kitchen, Living area, Dining area, and a Bathroom. Unit 2 includes a Kitchen, Living area, Dining area, and a Bathroom. The plan also shows a central Corridor, a Spiral Stair, and an (E) Deck. The plan is oriented with North at the top. The plan is labeled with '1373' at the bottom center.

Unit 1 (Top):

- STORAGE
- (N) KITCHEN
- (N) LIVING
- (N) DINING
- (N) BATH
- (N) PANTRY
- LAUNDRY
- CLOSET
- (N) VESTIBULE
- (E) CORRIDOR
- (E) SPIRAL STAIR
- (E) DECK

Unit 2 (Bottom):

- (N) KITCHEN
- (N) LIVING
- (N) DINING
- (N) BATH
- (N) PANTRY
- LAUNDRY
- CLOSET
- (N) VESTIBULE
- (E) CORRIDOR
- (E) SPIRAL STAIR
- (E) DECK

Other Features:

- (E) CONCRETE STEPS TO BE REBUILT (7.75" MAX X 10" MIN.)
- (E) DOWNSPOUT, (145 CORBETT)
- (N) 1-HR LOT LINE WALL
- LINE OF BAY WINDOW ABOVE
- LINE OF BREAKFAST NOOK ABOVE
- NORTH
- 1373

Architectural floor plan of a two-family residence. The plan shows two units: (N) Vestibule, (N) Kitchen, (N) Living, (N) Bath, (N) Bedroom, and (E) Deck; and (E) Corridor, (E) Downspout, (E) Spiral Stair, and (E) Bay Window. The plan also includes a north arrow and a scale bar.

Units and Rooms:

- (N) VESTIBULE
- (N) KITCHEN
- (N) LIVING
- (N) BATH
- (N) BEDROOM (139 SF)
- (E) CORRIDOR
- (E) DOWNSPOUT (145 CORBETT)
- (E) SPIRAL STAIR
- (E) BAY WINDOW
- (E) DECK

Other Features:

- STORAGE
- LAUNDRY
- CLOSET
- (E) CONCRETE STEPS TO BE REBUILT (7.75" MAX X 10" MIN)
- (N) 60" x 72" DUAL CASEMENT (EGRESS)
- (N) 1-HR LOT LINE WALL
- LINE OF BREAKFAST NOOK ABOVE

Orientation and Scale:

- NORTH
- 1373

TWO FAMILY RESIDENCE
137 CORBETT AVE
139 CORBETT AVE

STORAGE

(N) KITCHEN

(N) PANTRY

LAUNDRY

CLOSET

(N) BATH

(N) BEDROOM
139 SF

(N) LIVING

(E) SPIRAL STAIR

(E) DECK

(N) VESTIBULE

(E) CORRIDOR

(E) DOWNSPOUT, 145 CORBETT

(N) 1-HR LOT LINE WALL

(E) 60" x 72" DUAL CASEMENT (EGRESS)

LINE OF BAY WINDOW ABOVE

LINE OF BREAKFAST NOOK ABOVE

NORTH

1373

CRUZAX

[illegible]

Architectural floor plan of a two-family residence. The plan shows two units: Unit 1 (top) and Unit 2 (bottom). Unit 1 includes a Storage room, Kitchen, Living area, Dining area, and a Bathroom. Unit 2 includes a Kitchen, Living area, Dining area, and a Bathroom. The plan also shows a central Corridor, a Spiral Stair, and a Deck. The plan is oriented with North at the top. The plan is labeled with '1373' at the bottom right.

Unit 1 (Top):

- Storage
- Kitchen
- Living
- Dining
- Bathroom

Unit 2 (Bottom):

- Kitchen
- Living
- Dining
- Bathroom

Common Areas:

- Corridor
- Spiral Stair
- Deck

Other Features:

- Line of Bay Window Above
- Line of Breakfast Nook Above
- North Arrow
- 1373

Architectural floor plan of a two-family residence. The plan shows two units: Unit 1 (top) and Unit 2 (bottom). Unit 1 includes a Storage room, Kitchen, Living area, Dining area, and a Bathroom. Unit 2 includes a Kitchen, Living area, Dining area, and a Bathroom. The plan also shows a central Corridor, a Spiral Stair, and a Deck. The plan is oriented with North at the top. The plan is labeled with '1373' at the bottom right.

Unit 1 (Top):

- Storage
- Kitchen
- Living
- Dining
- Bathroom

Unit 2 (Bottom):

- Kitchen
- Living
- Dining
- Bathroom

Common Areas:

- Corridor
- Spiral Stair
- Deck

Other Features:

- Line of Bay Window Above
- Line of Breakfast Nook Above
- North Arrow
- 1373

TWO FAMILY RESIDENCE
137 CORBETT AVE
139 CORBETT AVE

(N) KITCHEN

(N) LIVING

(N) DINING

(N) BEDROOM
139 SF

(N) BEDROOM
139 SF

(N) BATH

(N) PANTRY

(N) LAUNDRY

(N) CLOSET

(N) VESTIBULE

(N) CORRIDOR

(E) SPIRAL STAIR

(E) DECK

(E) DOWNSPOUT, 145 CORBETT

(E) 60" x 72" DUAL CASEMENT (EGRESS)

(E) CONCRETE STEPS TO BE REBUILT (7.75" MAX X 10" MIN)

LINE OF BAY WINDOW ABOVE

LINE OF BREAKFAST NOOK ABOVE

1373

CRUZAX

Architectural floor plan of a two-family residence. The plan shows two units: (N) Vestibule, (N) Kitchen, (N) Living, (N) Bath, (N) Bedroom, and (E) Deck; and (E) Corridor, (E) Downspout, (E) Spiral Stair, and (E) Bay Window. The plan also includes a north arrow and a scale bar.

Units and Rooms:

- (N) VESTIBULE
- (N) KITCHEN
- (N) LIVING
- (N) BATH
- (N) BEDROOM (139 SF)
- (E) CORRIDOR
- (E) DOWNSPOUT (145 CORBETT)
- (E) SPIRAL STAIR
- (E) BAY WINDOW
- (E) DECK

Other Features:

- STORAGE
- LAUNDRY
- CLOSET
- (E) CONCRETE STEPS TO BE REBUILT (7.75" MAX X 10" MIN)
- (N) 60" x 72" DUAL CASEMENT (EGRESS)
- (N) 1-HR LOT LINE WALL
- LINE OF BREAKFAST NOOK ABOVE
- LINE OF BAY WINDOW ABOVE

Orientation and Scale:

- NORTH
- 1373

TWO FAMILY RESIDENCE
137 CORBETT AVE
139 CORBETT AVE

STORAGE

(N) KITCHEN

(N) PANTRY

LAUNDRY

CLOSET

(N) BATH

(N) BEDROOM
139 SF

(N) LIVING

(E) SPIRAL STAIR

(E) DECK

(N) VESTIBULE

(E) CORRIDOR

(N) 60" x 72" DUAL CASEMENT (EGRESS)

(E) DOWNSPOUT, 145 CORBETT

(N) 1-HR LOT LINE WALL

LINE OF BAY WINDOW ABOVE

LINE OF BREAKFAST NOOK ABOVE

NORTH

1373

CRUZAX

TWO FAMILY RESIDENCE
137 CORBETT AVE
139 CORBETT AVE

STORAGE

(N) KITCHEN

(N) PANTRY

LAUNDRY

CLOSET

(N) BATH

(N) BEDROOM
139 SF

(N) LIVING

(E) SPIRAL STAIR

(E) DECK

(N) VESTIBULE

(E) CORRIDOR

(N) 60" x 72" DUAL CASEMENT (EGRESS)

(E) DOWNSPOUT, 145 CORBETT

(N) 1-HR LOT LINE WALL

LINE OF BAY WINDOW ABOVE

LINE OF BREAKFAST NOOK ABOVE

NORTH

1373

CRUZAX

TWO FAMILY RESIDENCE
137 CORBETT AVE
139 CORBETT AVE

STORAGE

(N) KITCHEN

(N) PANTRY

LAUNDRY

CLOSET

(N) BATH

(N) BEDROOM
139 SF

(N) LIVING

(E) SPIRAL STAIR

(E) DECK

(N) VESTIBULE

(E) CORRIDOR

(N) 60" x 72" DUAL CASEMENT (EGRESS)

(E) DOWNSPOUT, 145 CORBETT

(N) 1-HR LOT LINE WALL

LINE OF BAY WINDOW ABOVE

LINE OF BREAKFAST NOOK ABOVE

NORTH

1373

CRUZAX

TWO FAMILY RESIDENCE
137 CORBETT AVE
139 CORBETT AVE

(N) VESTIBULE
3'-0"

(N) KITCHEN

(N) LIVING

(N) BATH

(N) BEDROOM
139 SF

(E) CORRIDOR
UP
DN

(E) DOWNSPOUT, 145 CORBETT

(E) SPIRAL STAIR
DN

(E) DECK

(E) BAY WINDOW ABOVE

(E) 60" x 72" DUAL CASEMENT (EGRESS)

(E) 1-HR LOT LINE WALL

(E) CONCRETE STEPS TO BE REBUILT (7.75" MAX X 10" MIN)

NORTH

1373

CRUZAX

Architectural floor plan of a two-family residence. The plan shows two units: Unit 1 (top) and Unit 2 (bottom). Unit 1 includes a Storage room, Kitchen, Living area, Dining area, and a Bathroom. Unit 2 includes a Kitchen, Living area, Dining area, and a Bathroom. The plan also shows a central Corridor, a Spiral Stair, and a Deck. The plan is oriented with North at the top. The plan is labeled with '1373' at the bottom right.

Unit 1 (Top):

- Storage
- Kitchen
- Living
- Dining
- Bathroom

Unit 2 (Bottom):

- Kitchen
- Living
- Dining
- Bathroom

Common Areas:

- Corridor
- Spiral Stair
- Deck

Other Features:

- Line of Bay Window Above
- Line of Breakfast Nook Above
- North Arrow
- 1373

Architectural floor plan of a two-family residence. The plan shows two units: Unit 1 (top) and Unit 2 (bottom). Unit 1 includes a Storage room, Kitchen, Living area, Dining area, and a Bathroom. Unit 2 includes a Kitchen, Living area, Dining area, and a Bathroom. The plan also shows a central Corridor, a Spiral Stair, and a Deck. The plan is oriented with North at the top. The plan is labeled with '1373' at the bottom right.

Unit 1 (Top):

- Storage
- Kitchen
- Living
- Dining
- Bathroom

Unit 2 (Bottom):

- Kitchen
- Living
- Dining
- Bathroom

Common Areas:

- Corridor
- Spiral Stair
- Deck

Other Features:

- Line of Bay Window Above
- Line of Breakfast Nook Above
- North Arrow
- 1373

Architectural floor plan of a two-family residence. The plan shows two units: Unit 1 (top) and Unit 2 (bottom). Unit 1 includes a Storage room, Kitchen, Living area, Dining area, and a Bathroom. Unit 2 includes a Kitchen, Living area, Dining area, and a Bathroom. The plan also shows a central Corridor, a Spiral Stair, and a Deck. The plan is oriented with North at the top. The plan is labeled with '1373' at the bottom right.

Unit 1 (Top):

- Storage
- Kitchen
- Living
- Dining
- Bathroom

Unit 2 (Bottom):

- Kitchen
- Living
- Dining
- Bathroom

Common Areas:

- Corridor
- Spiral Stair
- Deck

Other Features:

- Line of Bay Window Above
- Line of Breakfast Nook Above
- North Arrow
- 1373

TWO FAMILY RESIDENCE
137 CORBETT AVE
139 CORBETT AVE

(N) STORAGE

(N) KITCHEN

(N) PANTRY

(N) LAUNDRY

(N) CLOSET

(N) BATH

(N) 60" x 72" DUAL CASEMENT (EGRESS)

(N) BEDROOM
139 SF

(E) VESTIBULE

(E) CORRIDOR

(E) LIVING

(E) SPIRAL STAIR

(E) BATH

(E) BEDROOM

(E) DECK

LINE OF BAY WINDOW ABOVE

LINE OF BREAKFAST NOOK ABOVE

(E) CONCRETE STEPS TO BE REBUILT (7.75" MAX X 10" MIN.)

SINGLE FAMILY RESIDENCE
145 CORBETT AVE

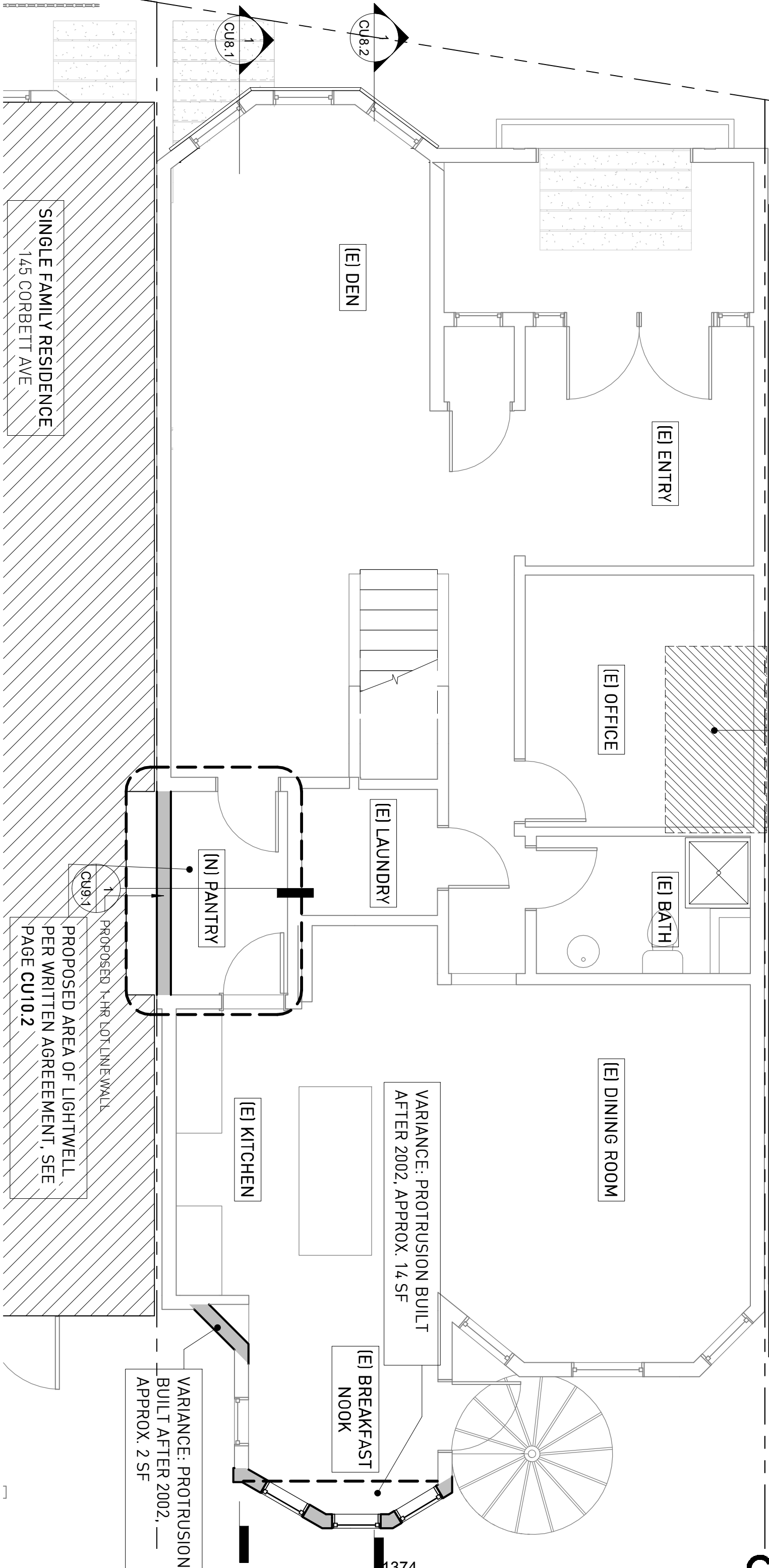
NORTH

CRUZAX

1373

TWO FAMILY RESIDENCE
137 CORBETT AVE
139 CORBETT AVE

AREA OF LIGHTWELL INFILL
PER 201609167972



RENOVATION FOR:

RAGHAVAN FAMILY
143 CORBETT AVE
SAN FRANCISCO, CA 94114

CRUZ A+D
400 PERKINS ST #209
OAKLAND, CA 94610
T: 415.802.7447
MARK@CRUZAD.SPACE

MAIN LEVEL PLAN

CU2.3
Scale: 1/4" = 1'-0"

TWO FAMILY RESIDENCE
137 CORBETT AVE
139 CORBETT AVE

AREA OF LIGHTWELL INFILL
PER 201609167972.
INTERNAL DRAINAGE ROOF
PAN INSTALLED

VARIANCE: PROTRUSION OF
(E) DECK. NON CONFORMING
GUARDRAIL WAS REPLACD IN
2016, SEE CU 11.1 FOR
PHOTOS OF EXISTING AND
NEW CONSTRUCTION.

(E) DECK, SEE
200210108753

175

(E) BEDROOM

(E) BATH

(E) BATH

(E) W.I.C.

(E) HALLWAY

(E) BEDROOM

(E) BEDROOM

(E) BATH

PROPOSED AREA OF LIGHTWELL PER
WRITTEN AGREEMENT, SEE PAGE
CU10.2. NO ENCLOSURE THIS
LEVEL, INTERNAL DRAINAGE ROOF
PAN WITH PARAPET TO BE
INSTALLED

PROPOSED ROOF DRAIN

SINGLE FAMILY RESIDENCE
145 CORBETT AVE

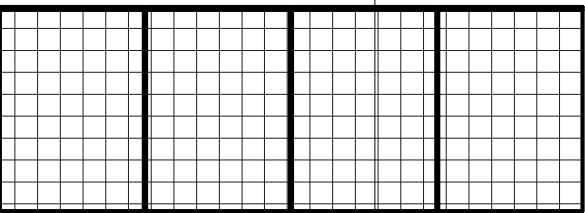
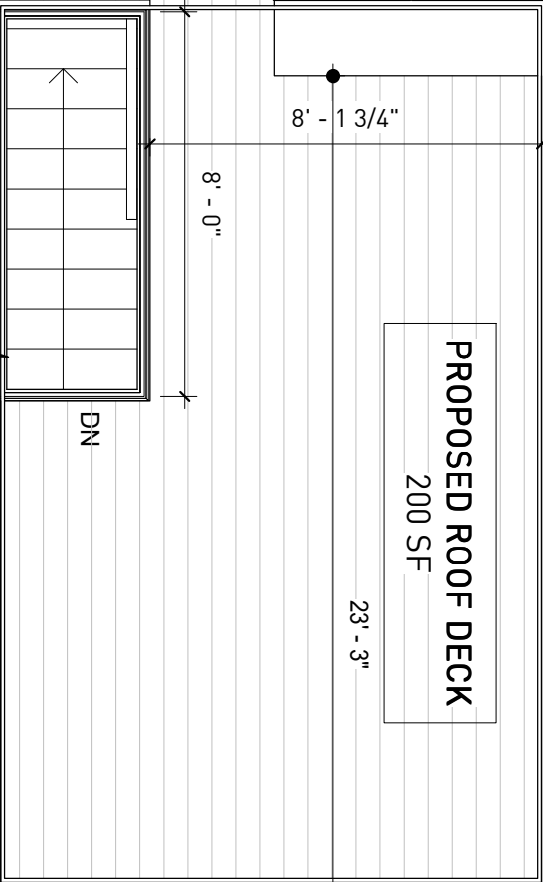
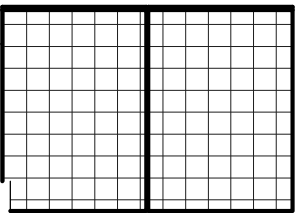
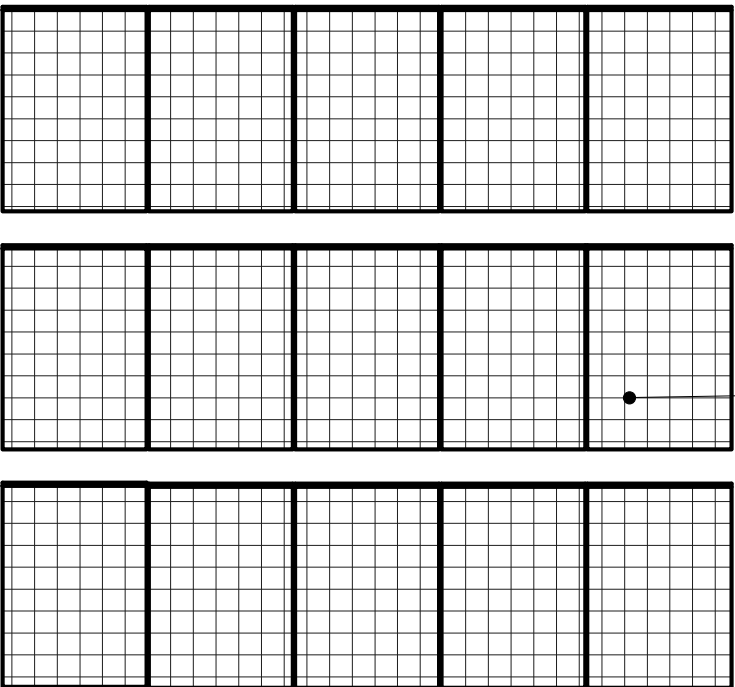
RENOVATION FOR:
RAGHAVAN FAMILY
143 CORBETT AVE
SAN FRANCISCO, CA 94114

CRUZ A+D
400 PERKINS ST #209
OAKLAND, CA 94610
T: 415.802.7447
MARK@CRUZAD.SPACE

UPPER LEVEL PLAN

CU2.4
Scale: 1/4" = 1'-0"

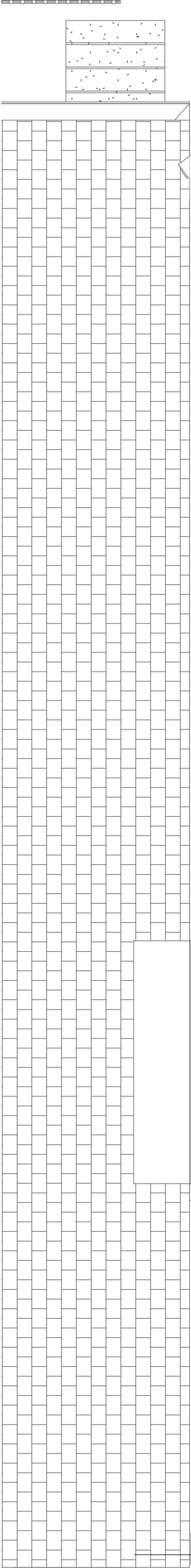
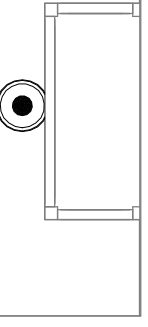
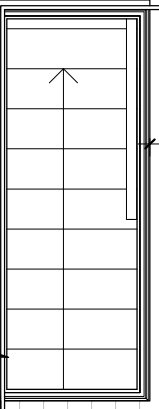
PV ARRAY HAS BEEN DESIGNED AND IS
WAITING TO BE INSTALLED BY *SIMPLY*
SOLAR .



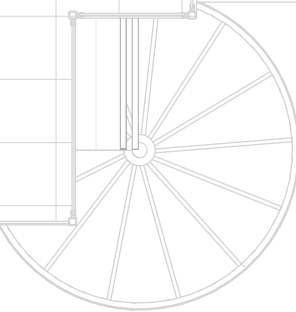
(E) FIXED SKYLITE,
NO CHANGE



(N) RETRACTABLE SKYLITE,
SEE A5.3



(E) DECK



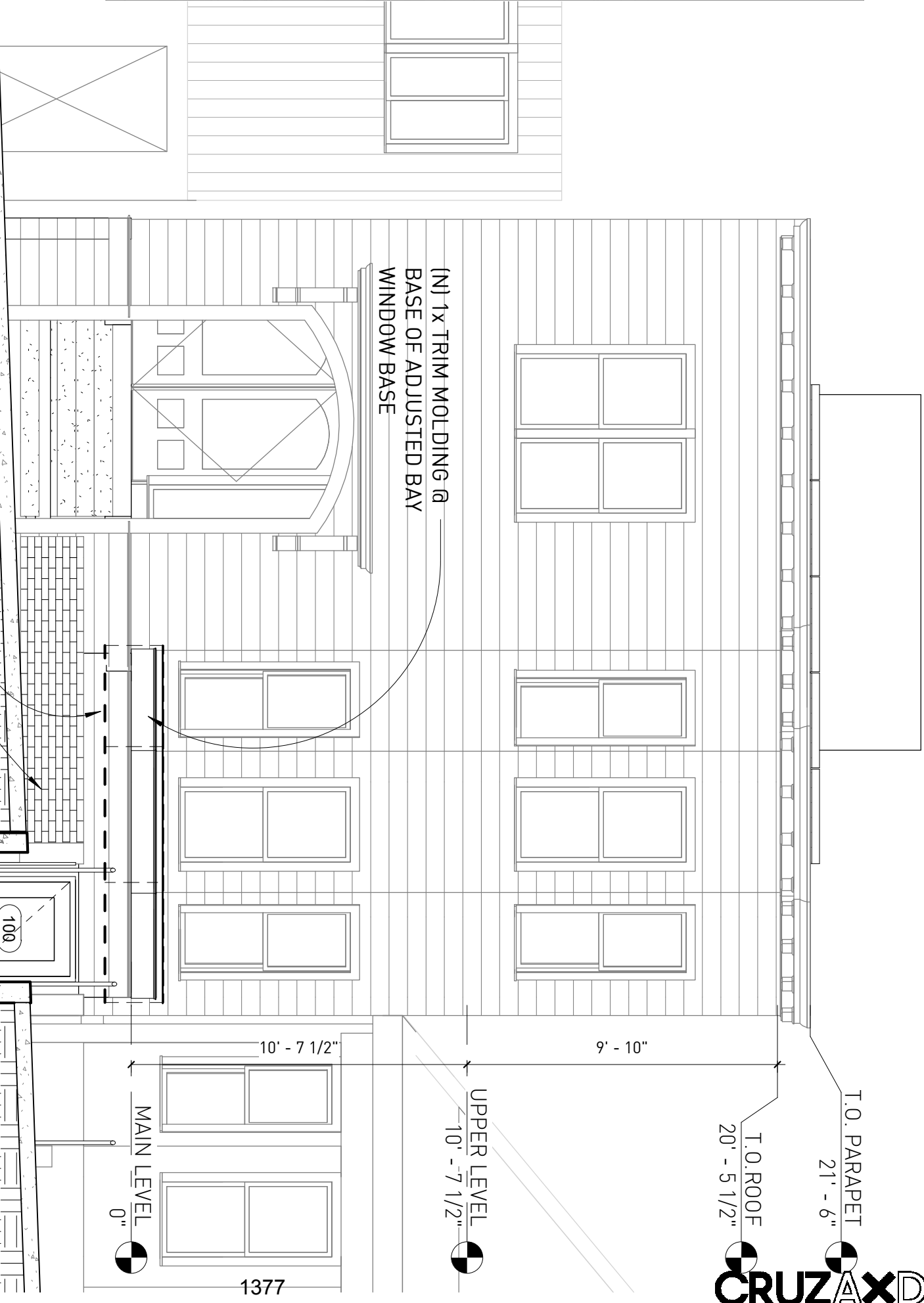
RENOVATION FOR:

RAGHAVAN FAMILY
143 CORBETT AVE
SAN FRANCISCO, CA 94114

CRUZ A+D
400 PERKINS ST #209
OAKLAND, CA 94610
T: 415.802.7447
MARK@CRUZAD.SPACE

ROOF PLAN

CU2.5
Scale: 1/4" = 1'-0"



T.O. PARAPET
21' - 6"

T.O. ROOF
20' - 5 1/2"

UPPER LEVEL
10' - 7 1/2"

MAIN LEVEL
0"

LOWER LANDING
-8' - 6 1/4"

(E) REAR LOWER
DECK
-9' - 3 1/2"

(E) LOWER LEVEL
-11' - 0 1/2"



(N) 1x TRIM MOLDING @
BASE OF ADJUSTED BAY
WINDOW BASE

LINE OF (E) BASE LOCATION
OF BAY WINDOW

EXISTING PLANTER

EXISTING FULL LITE ENTRY DOOR

NEW LOCATION TO PROVIDE 36" VESTIBULE

EXISTING LANDING, NEW STEPS PROPOSED

(E) LOWER LEVEL
-11' - 0 1/2"

LOWER LANDING
-8' - 6 1/4"

(E) REAR LOWER
DECK
-9' - 3 1/2"

(E) LOWER LEVEL
-11' - 0 1/2"

(E) LOWER LEVEL
-11' - 0 1/2"

RENOVATION FOR:

RAGHAVAN FAMILY

143 CORBETT AVE
SAN FRANCISCO, CA 94114

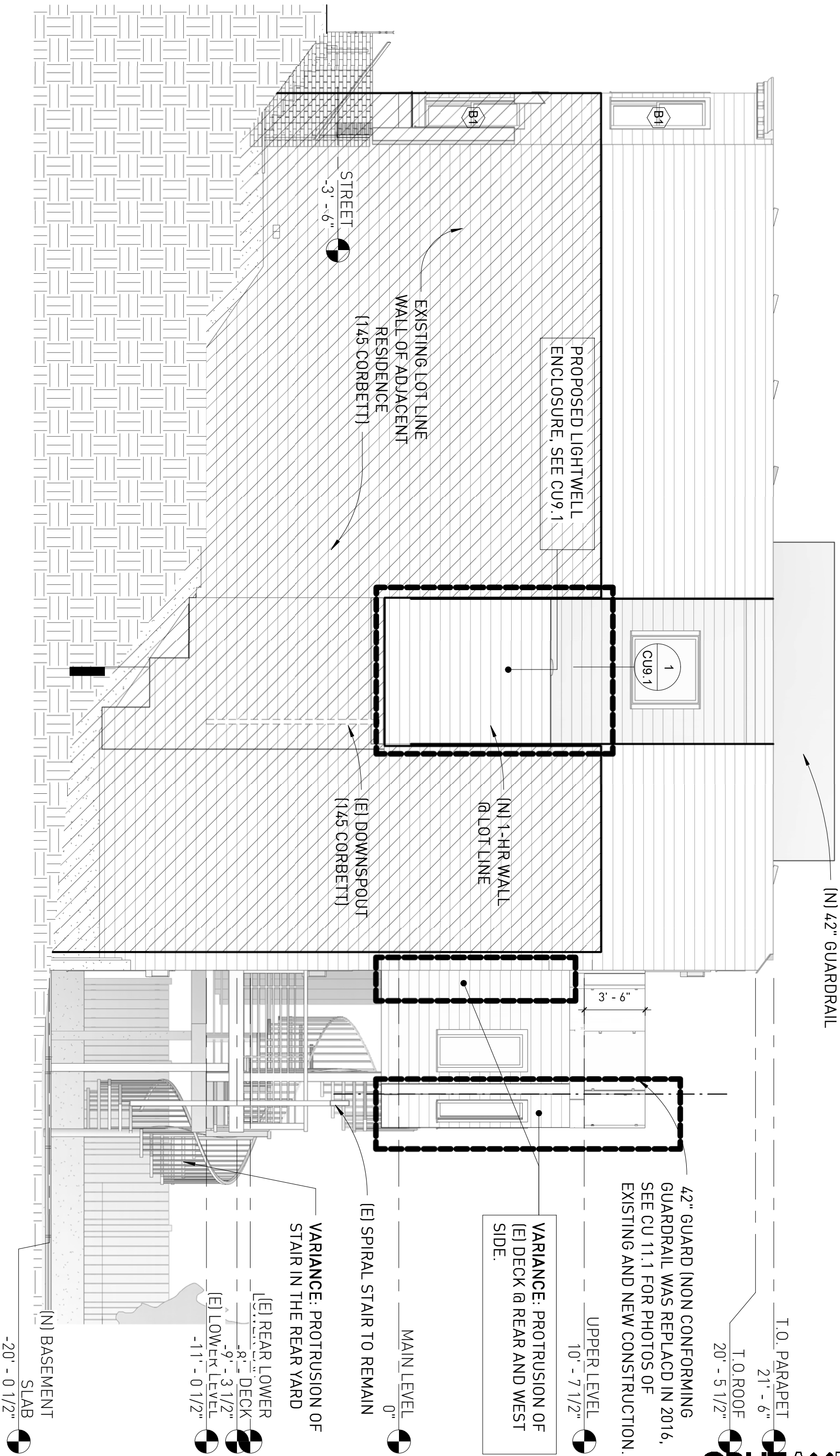
CRUZ A+D

400 PERKINS ST #209
OAKLAND, CA 94610
T: 415.802.7447
MARK@CRUZAD.SPACE

FRONT ELEVATION

CU3.1

Scale: 1/4" = 1'-0"



RENOVATION FOR:

RAGHAVAN FAMILY

143 CORBETT AVE
SAN FRANCISCO, CA 94114

CRUZ A+D

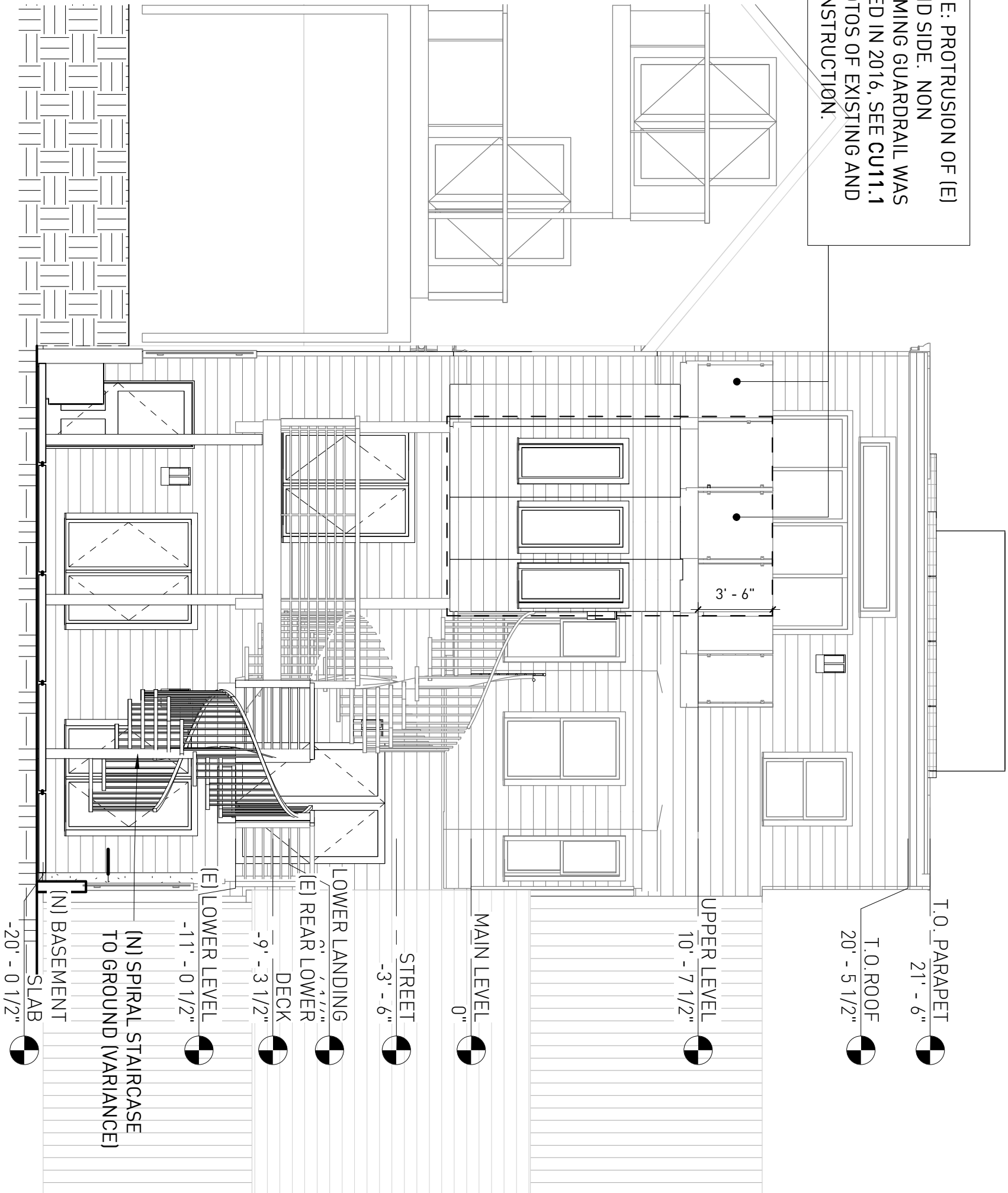
400 PERKINS ST #209
OAKLAND, CA 94610
T: 415.802.7447
MARK@CRUZAD.SPACE

WEST ELEVATION

CU3.2

Scale: 3/16" = 1'-0"

VARIANCE: PROTRUSION OF (E) DECK AND SIDE. NON CONFORMING GUARDRAIL WAS REPLACED IN 2016, SEE CU11.1 FOR PHOTOS OF EXISTING AND NEW CONSTRUCTION.



RENOVATION FOR:

RAGHAVAN FAMILY
143 CORBETT AVE
SAN FRANCISCO, CA 94114

CRUZ A+D
400 PERKINS ST #209
OAKLAND, CA 94610
T: 415.802.7447
MARK@CRUZAD.SPACE

REAR ELEVATION

CU3.3
Scale: 3/16" = 1'-0"

VARIANCE: PROTRUSION OF (E) DECK @ REAR AND WEST SIDE.

(N) 42" GUARD

T.O. PARAPET
21' - 6"
T.O. ROOF
20' - 5 1/2"

CRUZAXD

UPPER LEVEL
10' - 7 1/2"

EXISTING LOT LINE
WALL OF ADJACENT
RESIDENCE
(137 CORBETT AVE
139 CORBETT AVE)

MAIN LEVEL
0"

1380

VARIANCE: PROTRUSION OF
STAIR IN THE REAR YARD

LOWER LANDING
8' - 6 1/4"

(E) LOWER LEVEL
-11' - 0 1/2"

(N) BASEMENT
SLAB
-20' - 0 1/2"

1 EAST ELEVATION Copy 1

3/16" = 1'-0"

RENOVATION FOR:

RAGHAVAN FAMILY

143 CORBETT AVE
SAN FRANCISCO, CA 94114

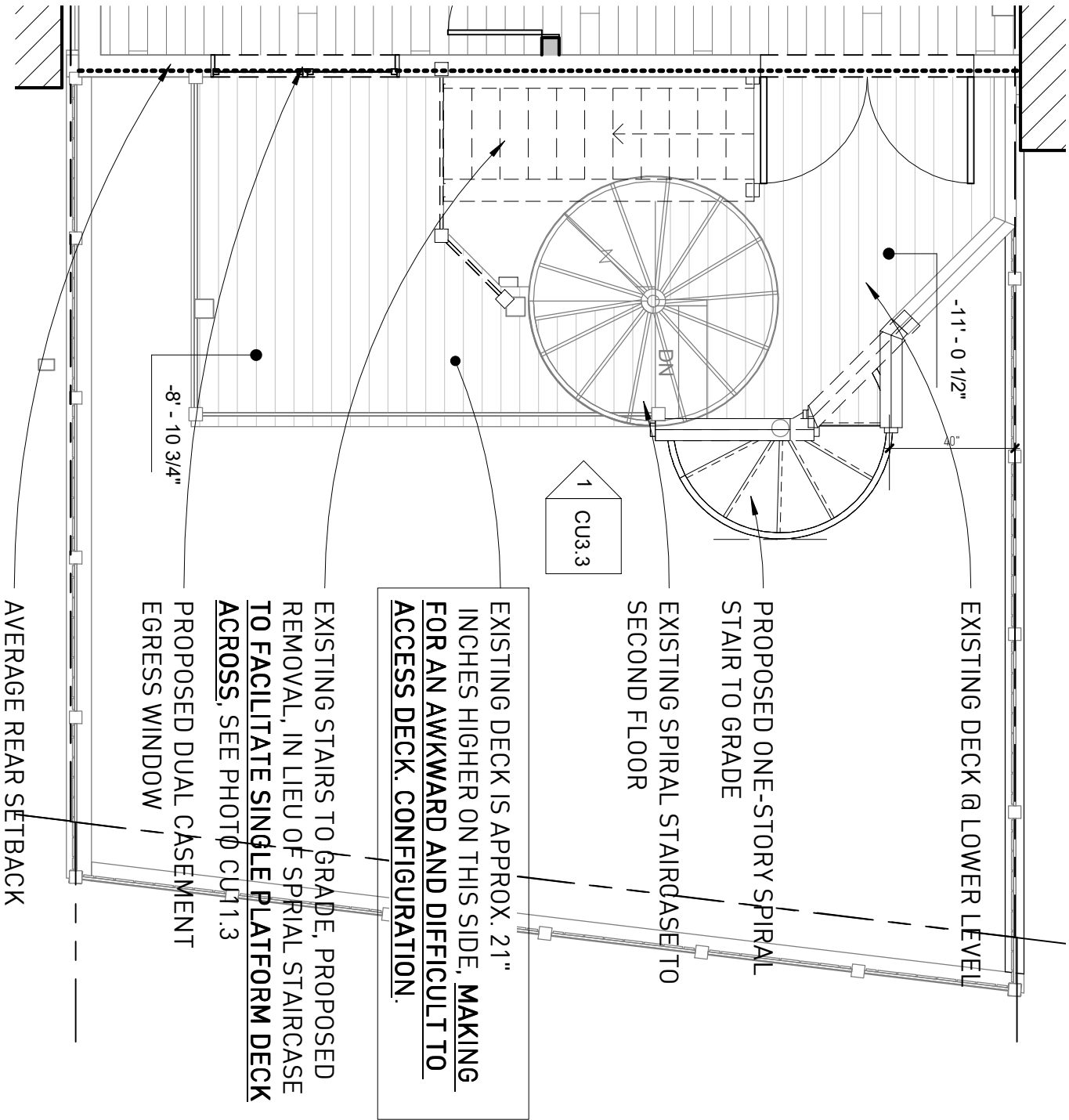
CRUZ A+D

400 PERKINS ST #209
OAKLAND, CA 94610
T: 415.802.7447
MARK@CRUZAD.SPACE

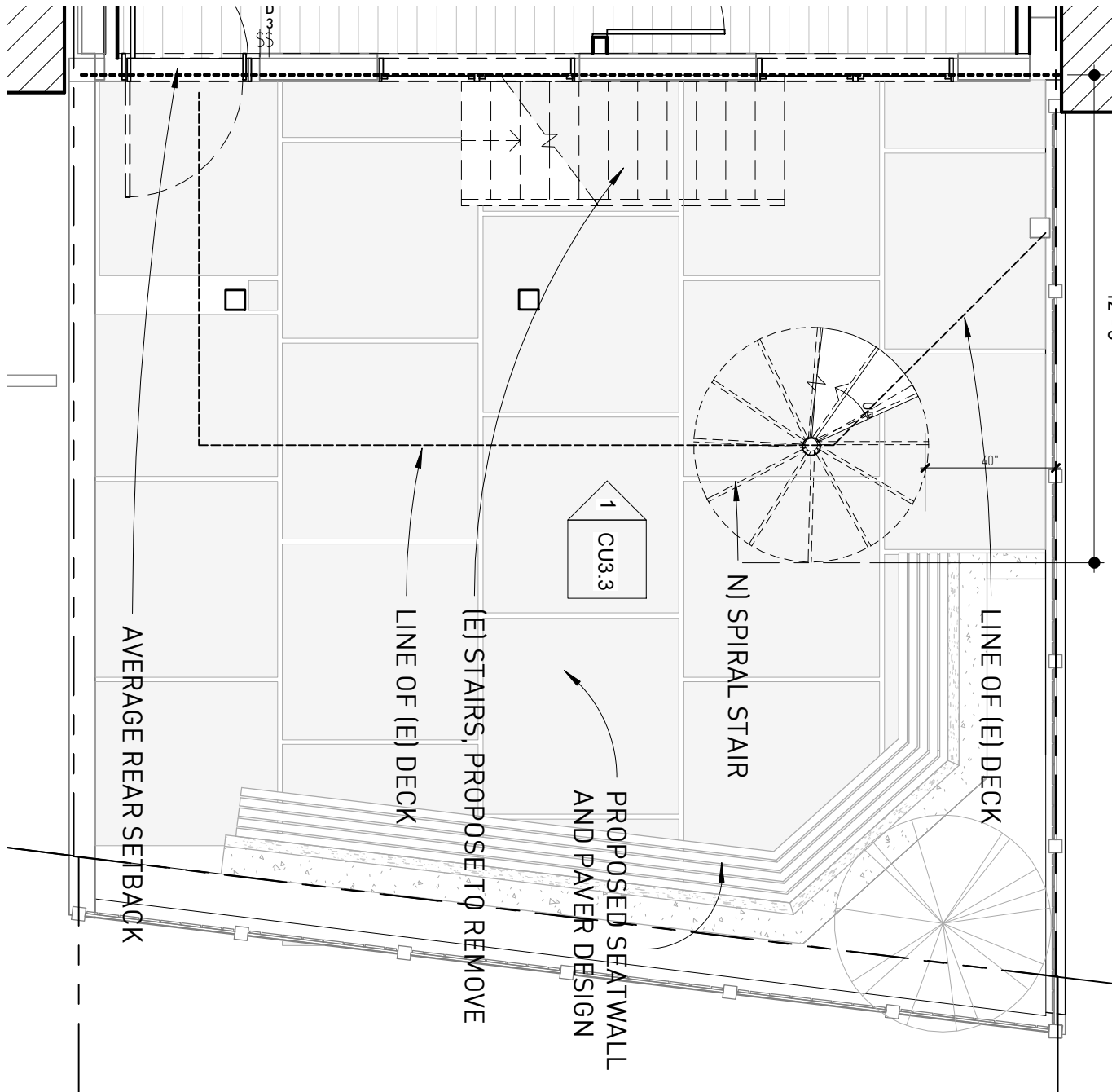
EAST ELEVATION

CU3.4

Scale: 3/16" = 1'-0"



LOWER LEVEL FLOOR PLAN - LOWER DECK
1
1/4" = 1'-0"



ENLARGED PLAN - GROUND LEVEL @ REAR YARD
2
1/4" = 1'-0"

ENLARGED PLAN - LOWER DECK

CU5.1

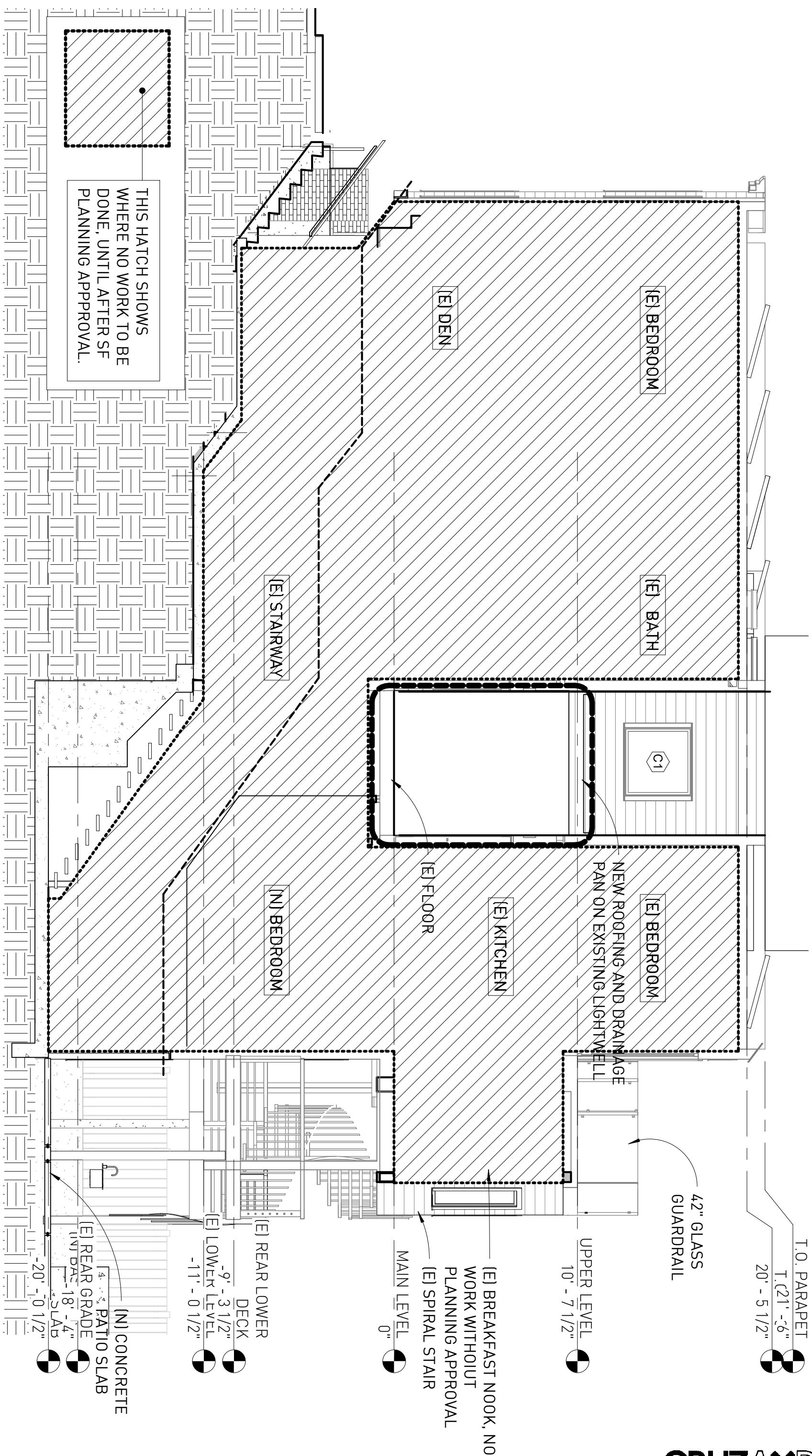
Scale: 1/4" = 1'-0"



**3D PERSPECTIVE OF REAR
STAIRS**

CU5.2

Scale:



SECTION 1 - OTC
3/16" = 1'-0"

RENOVATION FOR:

RAGHAVAN FAMILY

143 CORBETT AVE
SAN FRANCISCO, CA 94114

CRUZ A+D SECTION

400 PERKINS ST #209
OAKLAND, CA 94610
T: 415.802.7447
MARK@CRUZAD.SPACE

SECTION

CU8.1
Scale: As indicated

Scale: As indicated

NEW INTERIOR STAIRWELL TO ROOF
(NO PENTHOUSE, NO VERTICAL
EXTERIOR EXPANSION)

T.O. PARAPET
21' - 6"

T.O. ROOF
20' - 5 1/2"

UPPER LEVEL
10' - 7 1/2"

(E) DEN

(E) BEDROOM

(E) HALLWAY

(E) BEDROOM

(E) BREAKFAST
NOOK

MAIN LEVEL
0"

(E) RETAINING
FOUNDATION WALL
STORAGE

(N) BEDROOM

STORAGE

(N) CORRIDOR

(N) RETAINING FOUNDATION WALL
SEE 201712085904 &

(E) SLAB SEE 8911550

(E) REAR LOWER
DECK
-9' - 3 1/2"

(E) REAR GRADE
-18' - 1/4"

(N) BASEMENT
SLAB
-20' - 0 1/2"

RENOVATION FOR:

RAGHAVAN FAMILY

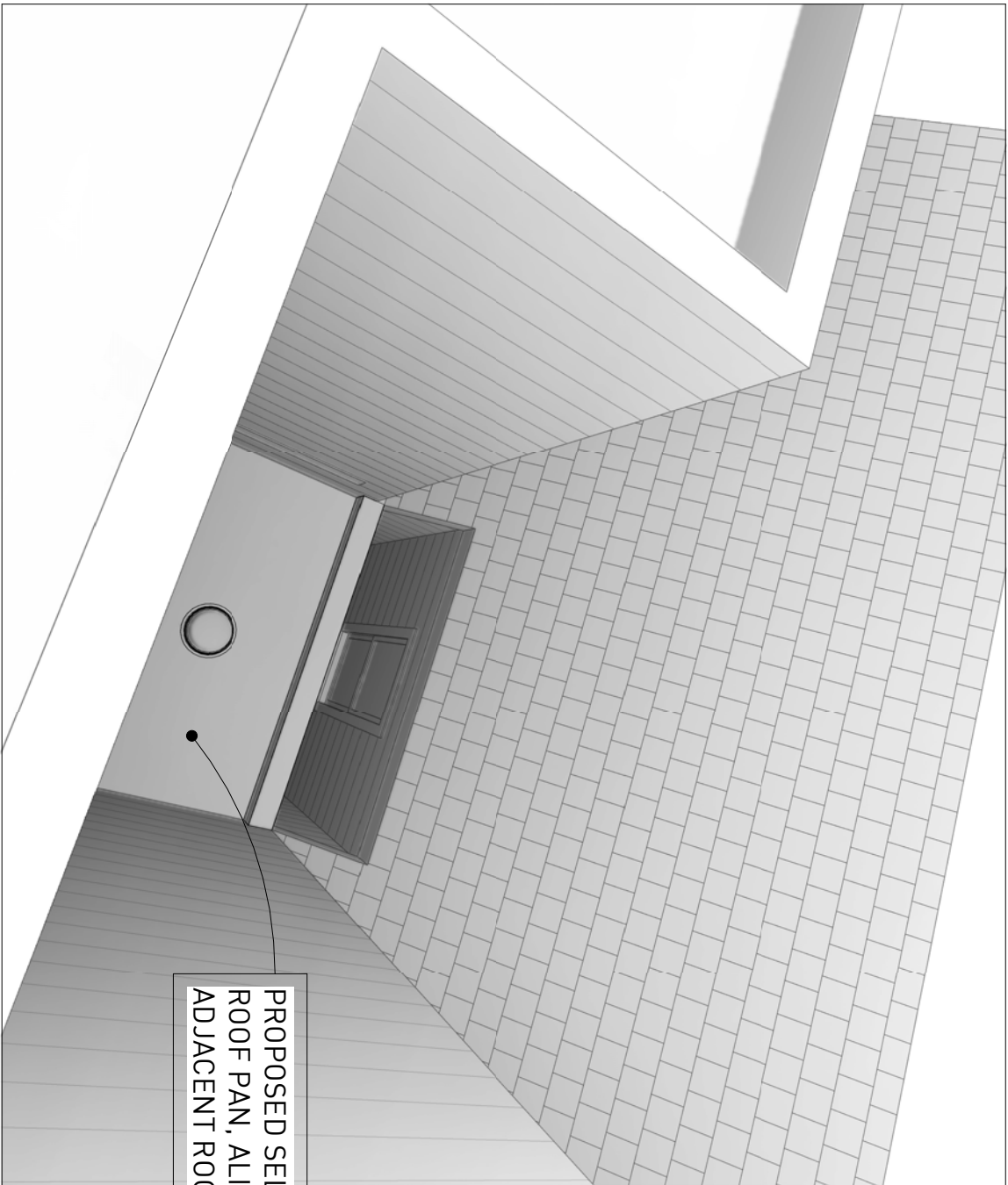
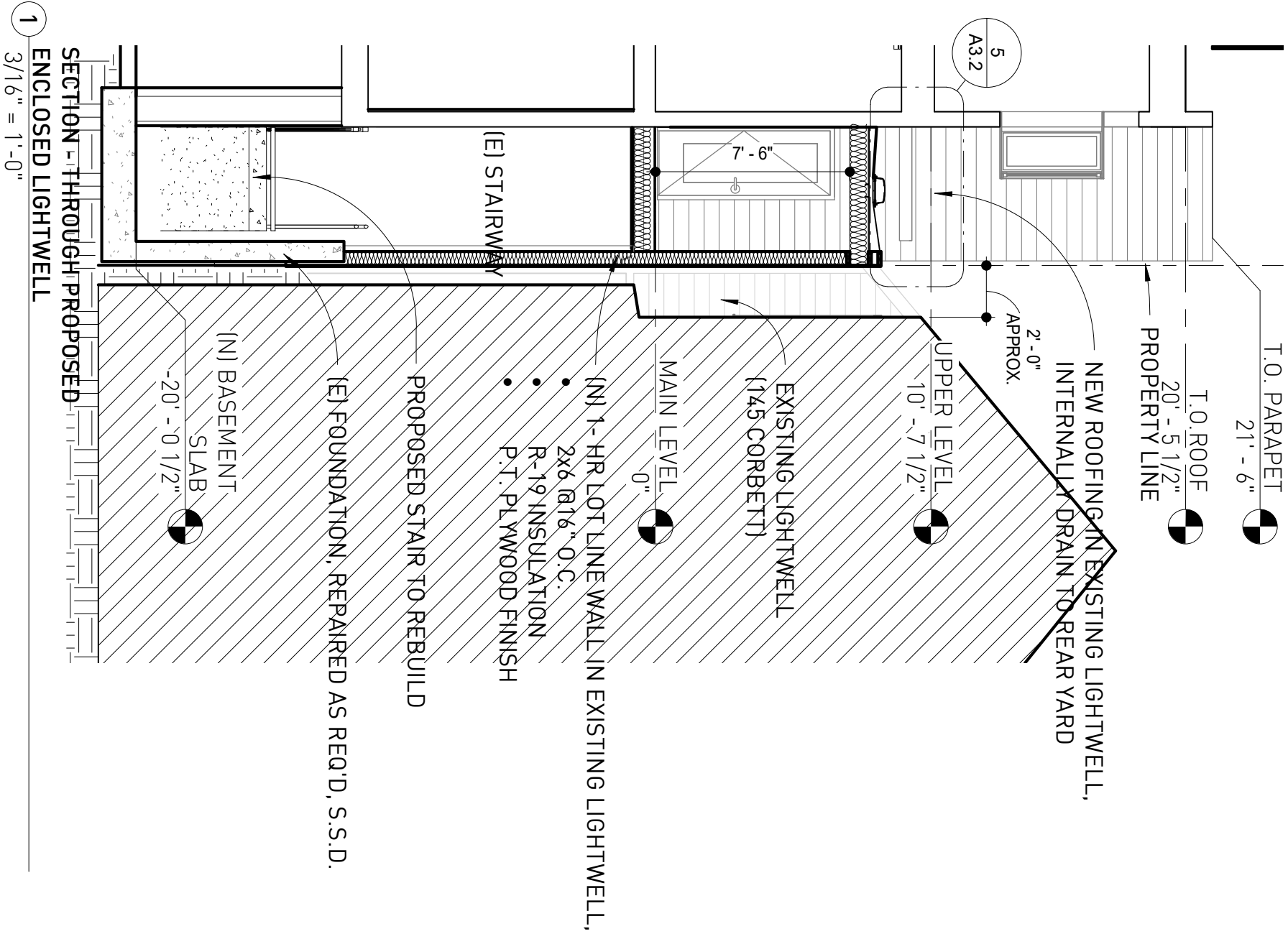
143 CORBETT AVE
SAN FRANCISCO, CA 94114

CRUZ A+D SECTION

400 PERKINS ST #209
OAKLAND, CA 94610
T: 415.802.7447
MARK@CRUZAD.SPACE

CU8.2

Scale: 3/16" = 1'-0"



RENOVATION FOR:

RAGHAVAN FAMILY

143 CORBETT AVE
SAN FRANCISCO, CA 94114

CRUZ A+D

400 PERKINS ST #209
OAKLAND, CA 94610
T: 415.802.7447
MARK@CRUZAD.SPACE

LIGHTWELL ENCLOSURE

CU9.1

Scale: 3/16" = 1'-0"

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California
County of San Francisco
On 1-23-2018 before me, Matt G. Miller, Notary Public
Date Here Insert Name and Title of the Officer
personally appeared Alfred W. Diego N and
Name(s) of Signer(s)
Jennifer H Cremer

who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies) and that by his/her/their signature(s) on the instrument the person(s) or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.

Signature [Signature]
Signature of Notary Public

Place Notary Seal Above

OPTIONAL

Though this section is optional, completing this information can deter alteration of the document or fraudulent reattachment of this form to an unintended document.

Description of Attached Document
Title or Type of Document: Lightwell Infill Plans
Document Date: 1-23-18 Number of Pages: 1
Signer(s) Other Than Named Above: _____

Capacity(ies) Claimed by Signer(s)

Signer's Name: _____ Signer's Name: _____
☐ Corporate Officer — Title(s): _____ ☐ Corporate Officer — Title(s): _____
☐ Partner — ☐ Limited ☐ General ☐ Partner — ☐ Limited ☐ General
☐ Individual ☐ Attorney in Fact ☐ Individual ☐ Attorney in Fact
☐ Trustee ☐ Guardian or Conservator ☐ Trustee ☐ Guardian or Conservator
☐ Other: _____ ☐ Other: _____
Signer Is Representing: _____ Signer Is Representing: _____

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California
County of San Francisco
On 1-23-2018 before me, Matt G. Miller, Notary Public
Date Here Insert Name and Title of the Officer
personally appeared Alfred W. Diego N and
Name(s) of Signer(s)
Jennifer H Cremer

who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies) and that by his/her/their signature(s) on the instrument the person(s) or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.

Signature [Signature]
Signature of Notary Public

Place Notary Seal Above

OPTIONAL

Though this section is optional, completing this information can deter alteration of the document or fraudulent reattachment of this form to an unintended document.

Description of Attached Document
Title or Type of Document: Lightwell Infill Plans
Document Date: 1-23-18 Number of Pages: 1
Signer(s) Other Than Named Above: _____

Capacity(ies) Claimed by Signer(s)

Signer's Name: _____ Signer's Name: _____
☐ Corporate Officer — Title(s): _____ ☐ Corporate Officer — Title(s): _____
☐ Partner — ☐ Limited ☐ General ☐ Partner — ☐ Limited ☐ General
☐ Individual ☐ Attorney in Fact ☐ Individual ☐ Attorney in Fact
☐ Trustee ☐ Guardian or Conservator ☐ Trustee ☐ Guardian or Conservator
☐ Other: _____ ☐ Other: _____
Signer Is Representing: _____ Signer Is Representing: _____

LIGHTWELL AGREEMENT

CU9.2

Scale: 1 1/2" = 1'-0"

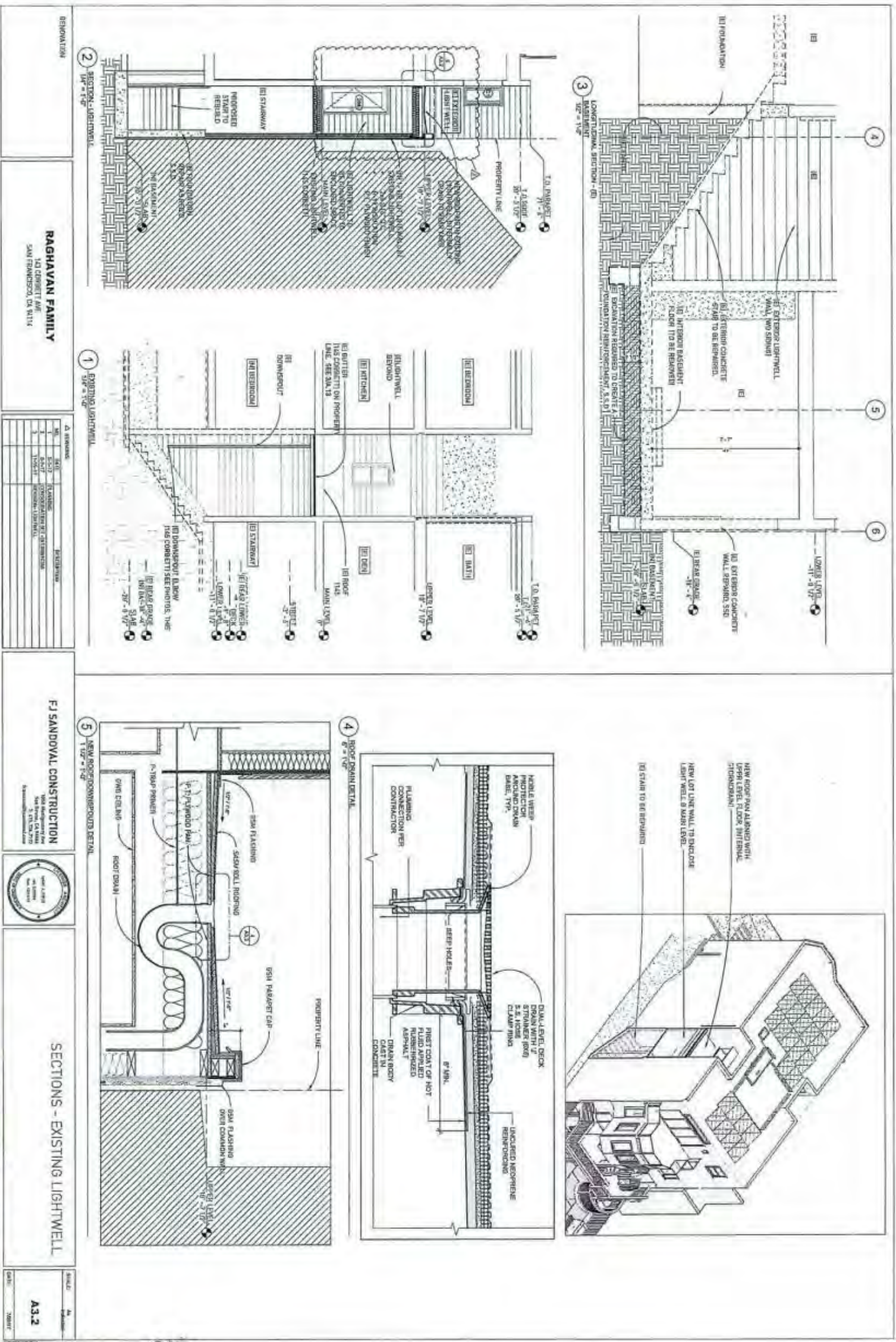
SCOPE ITEM: ENCLOSE LIGHTWELL

ACCORDING PAGE 6 OF THE BULLEIN 4 AND THE SF PLANNING CODE 312(B) SECTION 136(c), AS AN EXCEPTION, LIGHTWELLS THAT ARE NOT VISIBLE FROM ANY OFF SITE LOCATION DO NOT REQUIRE 311, AND CAN BE SOUGHT OVER-THE-COUNTER WITH THE ADJACENT NEIGHBROS WRITTEN APPROVAL. SEE ATTACHED WRITTEN STATEMENT CLARIFYING THIS

LIGHTWELL AGREEMENT

CU9.3

Scale: 3" = 1'-0"



1-23-2018 Approved by: Approved in ONISS IV
1-23-2018 Approved by: SAULE H. ALZOLA

ONE Design

2849 California Street • San Francisco, CA 94115 • 415-828-4412 • info@onedesignsf.com

June 8, 2018

City and County of San Francisco
Department of Building Inspection
1660 Mission Street, 3rd Floor
San Francisco, CA 94103



Re: **Rear Cantilevered Room @ 143 Corbett Avenue**
San Francisco, CA
Job number: 1841

To whom it may concern,

Introduction:

On June 5 2018 we conducted a site visit to examine the rear bay that houses the nook at the rear of the kitchen at 143 Corbett Ave.
It is our understanding from the permit history that this bay was originally built as a rectangular shaped bay and was later amended so the shape was changed to a semi octagonal shape and was extended a further 12" approximately. The legality of this bay protrusion is beyond the scope of our services and our review herein is limited to a sturctural inspection only.

Observations:

1. The roof of the bay forms a roof deck accessible from the rear bedroom. The framing of this deck was in accessible and excluded from the scope of our investigation.
2. The railing at the deck was observed to consist of glazed infill panels supported by stainless steel guardrail posts. It was noted that the guardrail does not extend the code required 42" high above the deck surface. It is our understanding however that the railing has yet to be completed, and will be, by adding a continuous top rail which will increase the rail height to the code prescribed 42". It is unknown if the glazed panels aree tempered and meet the requiremets of chapter 24 of the 2016 CBC. The original installer or a glazing specialist should be retained to confirm this
3. The framing of the floor of the bay under the sunroom was observed from underneath as the soffit was removed and the framing was visible.
4. The 2X12 joists are supported by a wall mounted ledger that is lag screwed into the wall with 3/8" lags staggered at 9" c.c. this connection appears to be adequate for the gravity loads code prescribes. The joists cantilever over a 4X12 beam at the outer edge. This 4x12 beam is non treated and exposed it is supported in turn by 4x6 Pressure Treated (PT) posts with PC framing clips which are continuous to the foundation. This beam should be either replaced with

wood that is PT or naturally preservative to weather. Alternatively it can be finished with a waterproof finish to protect it from the elements.

5. The bay subfloor is plywood and it is recommended that horizontal HDU5 holdowns be added at each side to provide lateral bracing to the bay which currently lacks lateral support at the rear.
 6. The soffit is finished with untreated plywood and appears to lack code required venting. We recommend this be finished with a product that is rated for exterior applications and the soffit vented in accordance with code requirements. Waterproofing recommendations are beyond the scope of this report but it is recommended as part of the waterproofing that a drip edge be installed at the outer edge to inhibit the horizontal migration of water along the underside of the soffit.
 7. The lower level deck is balloon framed off the 4x6 posts. It is anticipated that this will be rebuilt in kind as part of the remodel of the lower level unit.
 8. A system of knee braces or some other method of laterally bracing the posts is recommended at the lower level.
 9. The posts at the foundation are supported on 12" diameter piers. They are connected to the piers with cbsq post pbases. The piers and footing for the other post forming the ladngin of the stairs and the post for the spiral stairs have both been undermined by recent excavation that occurred to lower the grade of the rear yard. It is assumed the piers have lost some of their bearing capacity as well as piers usually derive their capacity form skin friction acting at the sides of the piers. It is recommend that new footings be built to support these posts.
- We will be issuing details as to how to implement the repairs we recommend in this report in due course.

Our observations and recommendations are limited to structural elements visible to us on the day of our visit. We make no representation as to elements not visible to us on that day nor do we make any recommendation to issues or items related to waterproofing and finishes.

We are happy to answer any questions you may have pertaining to items we have outlined in this report.

Erevan O'Neill P.E.
Lic. No. C75459

LETTER BY THE ENGINEER

CU10.1

Scale: 6" = 1'-0"



THESE PHOTOS TAKEN MAY 22, 2014, EXTRACTED FROM A VIDEO POSTED BY THE REALTOR AT THE TIME OF THE CLOSING
BY THE REALTORS SHOW A COMPLETED BREAKFAST NOOK
SEE ~ https://www.youtube.com/watch?v=NAMkLso3sIA&feature=em-upload_owner

PHOTOS OF EXISTING
BREAKFAST NOOK

CU11.1

Scale: 6" = 1'-0"



VIEW OF THE TOP FLOOR REAR BALCONY NOTE THE APPROX. 36" HIGH RAILING AND THE DISCO BALLS HANGING FROM THE ILLEGAL REAR ROOF ANWING THAT WAS REMOVED



VIEW OF EXISTING BREAKFAST NOOK



VIEW OF EXISTING BREAKFAST NOOK



VIEW OF EXISTING BREAKFAST NOOK SEE CU10.5 FOR LARGER VEIW OF SIDE TRIANGLE

THESE IMAGES WERE TAKEN FROM THE MLS WEBSITE:
<https://mlax.rapmls.com/Gallery.aspx?mls=SFAR&listingRid=290204>

PHOTOS OF THE BREKAFAST	
NOOK - LMS	CU11.2
Scale: 6" = 1'-0"	

143 CORBETT AVE
SAN FRANCISCO, CA 94114

RAGHAVAN FAMILY

PHOTO OF REAR BREAKFAST NOOK - PROTRUSION



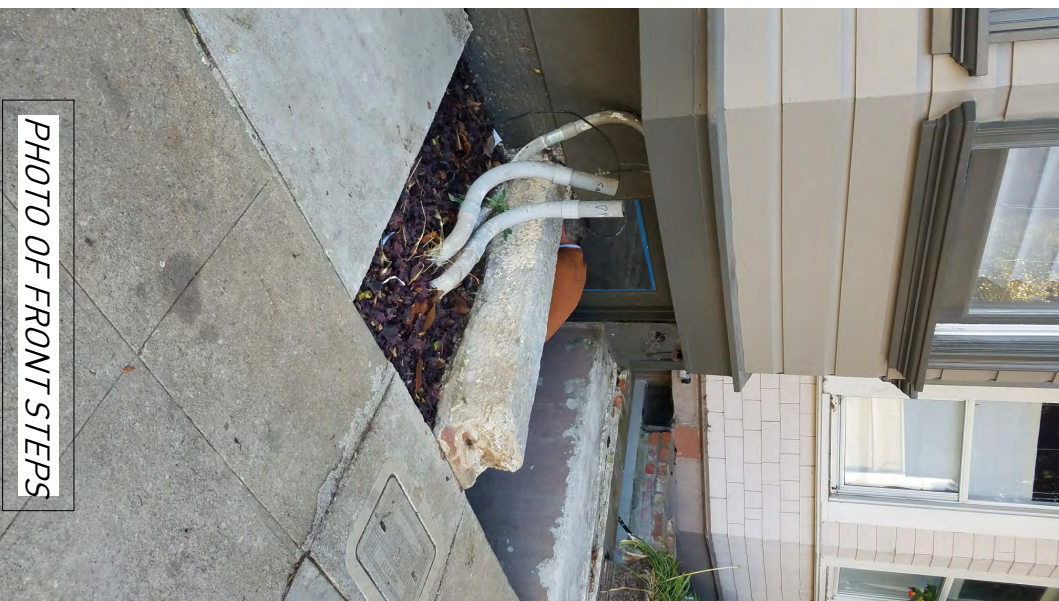
PHOTO OF AWKWARD SPLIT DECK



PHOTO OF LIGHTWELL



PHOTO OF FRONT STEPS



PHOTOS - 143 CORBETT - REAR FACADE

CRUZ A+D

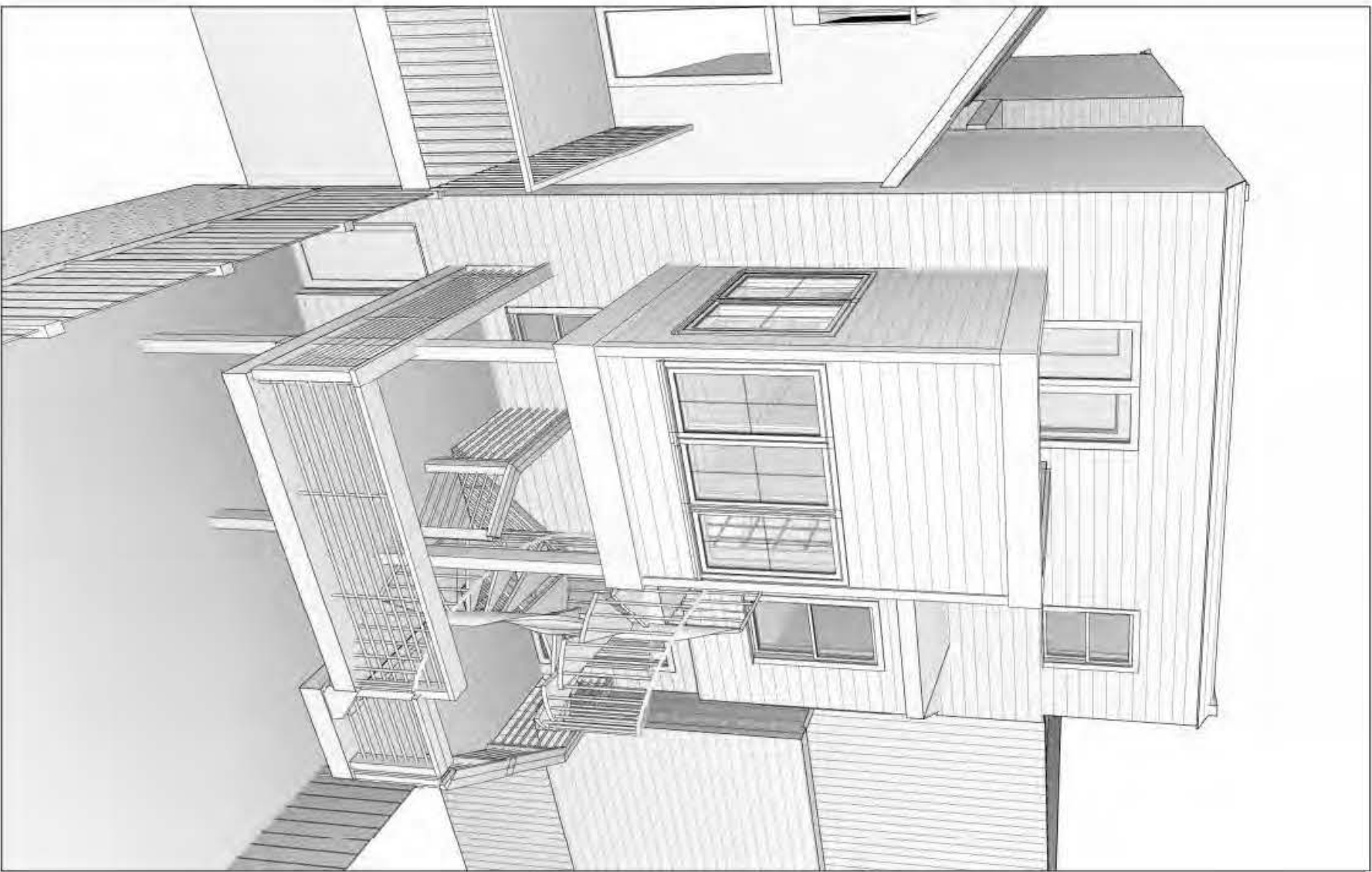
400 PERKINS ST #209
OAKLAND, CA 94610
T: 415.802.7447
MARK@CRUZAD.SPACE

MARKACRUZAD.SPACE

MARKACRUZAD.SPACE

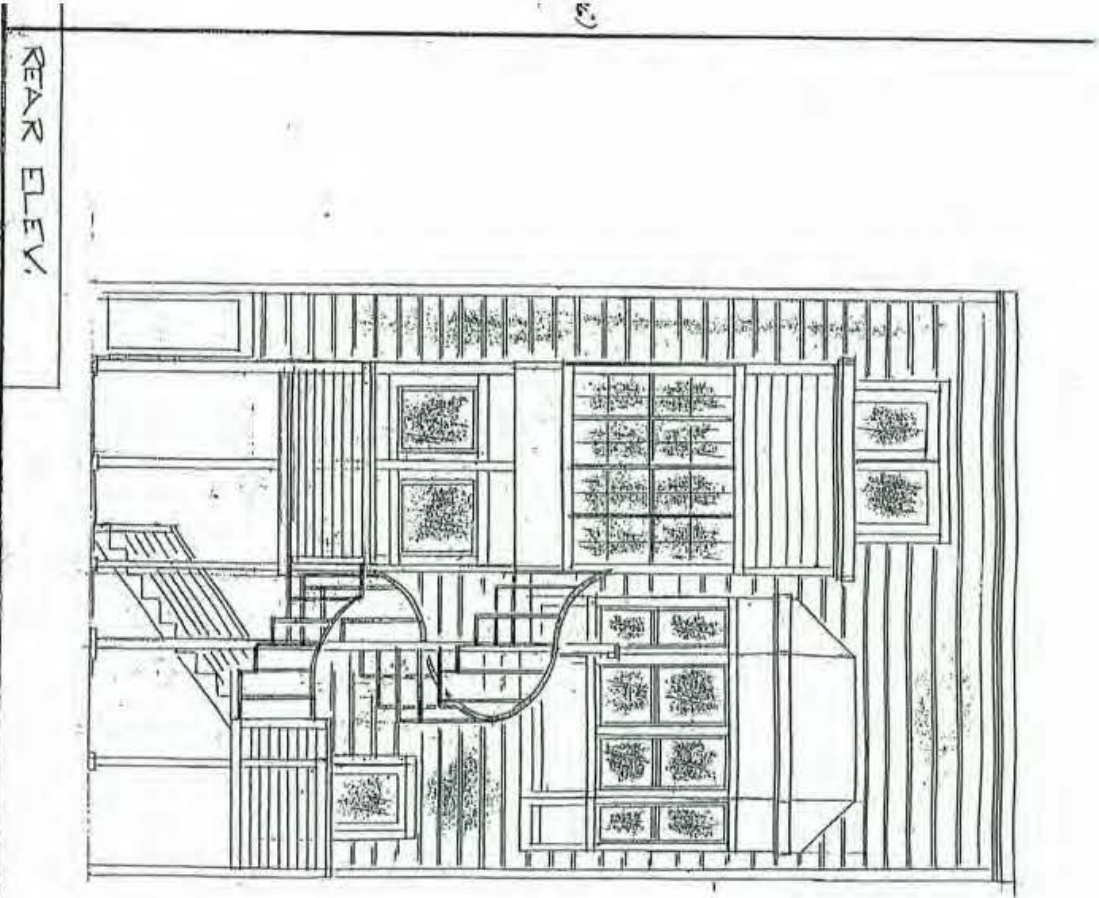
CU11.3

Scale:



RENOVATION FOR:

RAGHAVAN FAMILY
143 CORBETT AVE
SAN FRANCISCO, CA 94114



REAR ELEV.

1/2" THREADED RODS w/ WASHER & NUT
EMBEDDED IN FOOTING

APPROVED
DEPARTMENT OF BUILDING INSPECTION
OCT 18 2002
Frank V. Chiu
FRANK V. CHIU, DIRECTOR

THIS SIMULATED REPRESENTATION OF THE 2002 PERMIT WAS CREATED TO ILLUSTRATE THE POSSIBLE FORMATION OF THE BREAKFAST NOOK FOR DISCUSSION PURPOSES AT A PLANNING HEARING. IT IS AN APPROXIMATION AS TO THE APPROVED DESIGN IN 2002. THIS IS NOT INTENDED AS A SCHEMATIC DESIGN FOR A RETROGRADE APPLICATION OF THE HISTORY OF THE BUILDING. THE ARCHITECT YIELDS NO LICENSE OR WARRANTY TO ITS USE. IT IS ONLY A VISUALISATION.

CRUZ A+D
400 PERKINS ST #209
OAKLAND, CA 94610
T: 415.802.7447
MARK@CRUZAD.SPACE

HISTORIC INTERPOLATION

CU11.4
Scale: 3" = 1'-0"

PERKE
AVE.
FAIRS

DMKD
DIETSCH, MONTALDO, KEENEY, & DIETSCH

Environmental Designers
General Contractors
Electrical Contractors
Lic. # 508795, B, C-10

213 Acadia Street
San Francisco, CA 94131
(415) 586-3289
Fax: (415) 584-6505

STATEMENT FROM THE ARCHITECT

"THE NEIGHBORS HAVE SHOWN CONCERN FOR THE FRAMING OF THE EXISTING REAR DECK AND BREAKFAST NOOK @ 143 CORBETT BY SENDING PHOTOS TO SFPLANNING STAFF. IN FULL TRANSPARENCY AND OUT OF OUR CONCERN FOR LIFE SAFETY, WE HAVE SINCE EXPOSED ALL SUPPORTING FRAMING UNDER THE BREAKFAST NOOK IN QUESTION, IN ORDER TO TO BE INSPECTED BY OUR NEW PROJECT ENGINEER, EREVAN O'NIEL, (AS WELL AS JEFF HORN IN PERSON FOR REFERENCE). ONCE WE OBTAIN A BUILDING PERMIT , WE INTEND TO HAVE EVERY ASPECT OF THE ENTIRE HOUSE, EXISTING AND PROPOSED, FULLY RE-CALCULATED , REVIEWED, ENGINEERED, AND INSPECTED AS REQUIRED BY THE ENGINEER AND DBI INSPECTORS.

WHILE ON THE TOPIC OF STRUCTURAL SAFETY ABOVE THE REAR YARD AREA: THIS ARCHITECT WOULD LIKE TO ALSO MAKE MENTION OF A PRECARIOUSLY-FRAMED, THREE STORY DECK ON THE REAR OF 145 CORBETT. THE PHOTOS TAKEN HERE SHOW SOME LEVEL OF NEGLECT LEADING TO DILAPIDATION AND DISREPAIR OF AN EXISTING NON-CONFORMING STRUCTURE. ADDITIONALLY, IT DOES NOT APPEAR TO BE CONSISTENT WITH AN PERMIT-APPROVED DECK DESIGN BY DBI STANDARDS?

OF SPECIFIC CONCERN:

- IT IS NOT CLEAR IF THE BEAMS HAVE THE APPROPRIATE COLUMN BRACKETS
- THE GUARDRAIL IS APPRENTLY 42" IN SOME PLACES, DO APPER TO BE READY FOR A 200 LB LOAD APPLIED Laterally @ THE TOP RAIL
- IT IS NOT DIFFICULT FOR ANY BUILDING PROFESSIONAL TO ASSESS THAT ITS LACK IN LATERAL BRACING SUPPORTS, MAKE IT A PERILOUS PLACE TO BE DURING A SEISMIC EVENT.

THE DECK DESERVES AT THE VERY LEAST TO BE INSPECTED BY AN ENGINEER, JUST AS THE OWNERS OF 143 CORBETT ARE CURRENTLY DOING WITH THEIR OWN HOME. FOR THE SAKE OF THE SAFETY OF THE OWNERS AND THEIR YOUNG CHILDERN, PERHAPS FUNDS SPENT ON ATTORNEY'S FEE MIGHT BE MORE PRUDENTLY SPENT ON THE RECTIFICATION OF THIS CONTRAPTION. "



PHOTO TAKEN ON 6.10.18 BY RESIDENT AT 143 CORBETT AVE.

PHOTOS - 145 CORBETT - DECK

CJ12.1

Scale: 1/2" = 1'-0"



COLUMN CAP?

LATERAL BRACING?

42" GUARDRAIL?

CAN THIS POST RESIST A 200 LB. LOAD?

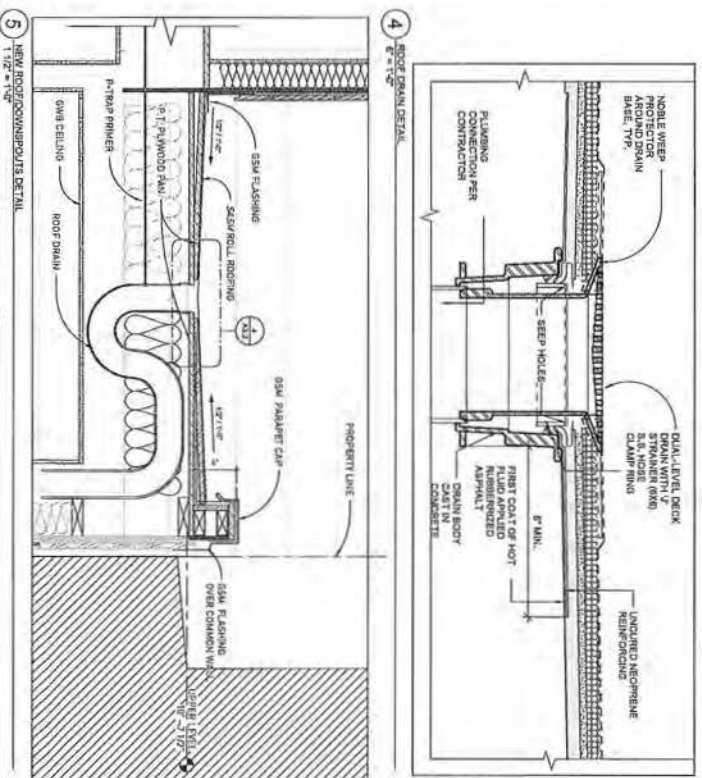
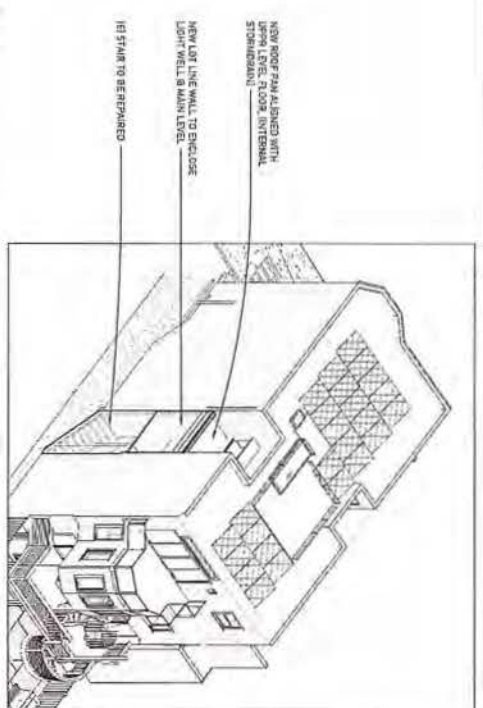
HOLDDOWNS

COLUMN CAP?


PHOTOS - 145 CORBETT - DECK

CU12.2
Scale:

EXHIBIT B



FJ SANDOVAL CONSTRUCTION
3032 Westcliffway Ave.
San Bruno, CA 94066
E: 415.704.2773
F: 415.704.2773
francesca@sjsandoval.com



SEC

CTIONS - EX

STING LIGHT

SWELL	
-------	--

772817

1-23-2018 Approved by: APPROVED BY: DRIGGS IV
1-23-2019 Approved by: JAMES H. HARRISON
JH

CALIFORNIA ALL-PURPOSE ACKNOWLEDGMENT

CIVIL CODE § 1189

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California)
County of San Francisco)

On 1-23-2018 before me, Matt G Miller, Notary Public
Date Here Insert Name and Title of the Officer

personally appeared Alfred W. Driggs N and
Name(s) of Signer(s)
Jennifer H Creelman

who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s) or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.

Signature

Signature of Notary Public

Place Notary Seal Above

OPTIONAL

Though this section is optional, completing this information can deter alteration of the document or fraudulent reattachment of this form to an unintended document.

Description of Attached Document

Title or Type of Document: Lightwell Infill Plans
Document Date: 1-23-18 Number of Pages: 1
Signer(s) Other Than Named Above: _____

Capacity(ies) Claimed by Signer(s)

Signer's Name: _____
☐ Corporate Officer — Title(s): _____
☐ Partner — ☐ Limited ☐ General
☒ Individual ☐ Attorney in Fact
☐ Trustee ☐ Guardian or Conservator
☐ Other: _____
Signer Is Representing: _____

Signer's Name: _____
☐ Corporate Officer — Title(s): _____
☐ Partner — ☐ Limited ☐ General
☒ Individual ☐ Attorney in Fact
☐ Trustee ☐ Guardian or Conservator
☐ Other: _____
Signer Is Representing: _____

EXHIBIT C

From: **Horn, Jeffrey (CPC)** <jeffrey.horn@sfgov.org>
Date: Fri, Jun 8, 2018 at 7:48 PM
Subject: FW: 143 Corbett
To: Mark Cruz <mark@cruzad.space>

FYI

Jeff Horn, Senior Planner

Southwest Team, Current Planning Division

San Francisco Planning Department

1650 Mission Street, Suite 400, San Francisco, CA 94103
Direct: 415-575-6925 | **Email:** jeffrey.horn@sfgov.org

www.sfplanning.org | [San Francisco Property Information Map](#)

From: Horn, Jeffrey (CPC)
Sent: Friday, June 08, 2018 7:46 PM
To: 'Stephen M. Williams'
Cc: 'Jennifer Creelman'
Subject: RE: 143 Corbett

Hi Steve,

I have put out all materials for you to review and will follow this email with a PDF of all the emails I have received or sent.

The scope of the CU and Variance are for the legalization work done beyond the approved plans of the 2002 permit, specific to portions of the building located within the required rear yard setback. I went on a site visit of the building earlier this week, to better understand the areas that were illegally constructed. From my review of the existing conditions vs. the last approved plans (2002), the scope of work the Sponsor seeks to be legalized

and therefore triggering the CU and Variance is the angled bay addition beyond the original square bay, the triangular volumes added where the square bay meets the rear wall, any proposed additions to or new decks or stairs and any non-compliant or unpermitted new railings along the property lines that do not meet Fire code standards.

The scope of work for the CU does also incorporate all of the scopes of work from the many previously issued building permits. This is to satisfy DBI, who requested that Building Permit #201708094368 be an all-encompassing permit.

Please review my attached figure "Rear Façade Photo History," this is an analysis of the rear of the building through aerial photography since 2002. It is in my opinion that in 2002, the square bay breakfast nook existed in compliance with the 2002 plans. Sometime between the March 14, 2010 and March 29, 2011 is when that the rear of the square bay was extended out to the current angled bay shape. Based on this photo analysis, It seems that most of the illegal work that is within the rear yard, and requiring the CU and Variance, occurred prior to the current owners purchase of the property in 2014. Records show the purchase was completed on 5/9/2014, and the photo dated 6/7/2014 shows a clear view of an enclosed, angled bay breakfast nook.

Staff is in support of the CU in our recommendation to the Commission. In regards to a decision on the Variance, that will be at the discretion of the Zoning Administrator after the public hearing is closed.

Do you think you will be submitted materials for the Commission Package? Those would be needed by early Thursday morning at the latest.

Thank you,

Jeff Horn, Senior Planner

Southwest Team, Current Planning Division

San Francisco Planning Department

1650 Mission Street, Suite 400, San Francisco, CA 94103

Direct: 415-575-6925 | **Email:** jeffrey.horn@sfgov.org

www.sfplanning.org | [San Francisco Property Information Map](#)

From: Stephen M. Williams [<mailto:smw@stevewilliamslaw.com>]
Sent: Thursday, June 07, 2018 4:21 PM
To: Horn, Jeffrey (CPC)
Cc: 'Jennifer Creelman'
Subject: 143 Corbett

Jeff:

We have had a long quiet period since this permit was sought....over a year I believe....Can you please put the files out for me to review. I would like to see everything that that has been going on and the communication the new architect, and attorney and others have been sending to the Dept to justify the application. I am really hoping that the Dept recommendation will be "no" as to the CU and the variance as these folks were breaking the rules from the opening bell on the project, knew they were breaking the rules and just continued to break more rules to cover it up....That should not be rewarded with the exceptions and special favors they are seeking.

Possible to put that stuff out for me?

Thanks...Steve

Stephen M. Williams

1934 Divisadero St.

San Francisco, CA 94115

Ph: (415) 292-3656

Fax: (415) 776-8047

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--
Mark Cruz RA
CRUZ A+D
415 802 7447

May 2002.

Enclosed square bay breakfast nook.

Rear wall of the bay appears to have solid base with windows on upper portion, side wall appears solid at base with window(s).

Overhanging deck with roof at top floor.



August 2004.

Enclosed square bay breakfast nook.

Rear wall of the bay appears to have solid base with windows on upper portion

Overhanging deck with roof at top floor.



March 14, 2010.

Enclosed square bay breakfast nook.

Visible rear solid wall with punched window openings.

Roof over top floor deck has been enlarged. Deck has been extended further out, has a angled bay shape



March 29, 2011.

Enlarged angled bay extension has been added to breakfast nook.

Inconclusive if there is an addition of triangular volumes to the nook, at the rear-building wall.

Solid base, inconclusive if upper portion of the nook is windows or open with support columns.



June 17, 2014.

Enlarged angled bay breakfast nook.

Visible solid wall at lower portion of the bay, with windows on each section of the bay

Deck with larger roof at top floor.



September 1, 2015.

Enlarged angled bay. Solid wall with windows.

Triangular addition to nook is visible.

Roof over upper deck removed.



July 19, 2017.

Enlarged angled bay. Solid lower walls with windows.

Triangular addition to nook is visible.

Roof over upper deck removed. Deck actively being worked on by contractor.

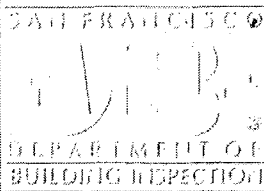


EXHIBIT D

DATE	PERMIT #	DESCRIPTION	COST	COMMENTS
	201712085904	REVISION TO APP#201508275417. RETAINING WALL REBAR CHANGE	\$15,000.00	Engineering revision to lower retaining wall
	M640287	STREET SPACE	Not Specified	
	201708094368	GUARDRAIL. LEGALIZE BUMP OUT @ REAR BREAKFAST NOOK. VARIANCE: BREAKFAST NOOK BUMP OUT, SPIRAL STAIR @ GRADE IN REAR YARD.	\$150,000.00	At the request of Joseph Duffy, this is a consolidation of all work to be done on the project, including the variance
	201707182269	REMOVE (E) FRENCH DOORS, INSTALL NEW DOORS IN (E) OPENING, AT THE BACK OF BUILDING.	\$4,300.00	
	201705166740		\$80,000.00	
	201611233483	WORK VIOLATION REQUEST OF BLD OFFICIAL. INSTALL NEW RETAINING WALL AT REAR YARD AS PER PLANS	\$10,000.00	
	201703272431	FOUNDATION IMPROVEMENTS AT BASEMENT AND UNDERPIN PARTIAL EXTG WEST REAR FOUNDATION.	\$30,000.00	
	201609167972	REVISION TO PERMIT #201511253643: INFILL ON LIGHTWELL ON EAST SIDE OF BUILDING AS NOTED ON PLAN. CLERICAL ERROR SHOWS WEST.	\$1.00	East vs West mistake
	201511253643	INFILL LIGHTWELL ON SOUTHWEST SIDE OF THE HOUSE.	\$15,000.00	
	201411252473	OPEN WALLS IN VARIOUS LOCATIONS ON 1ST, 2ND AND FLOORS TO INSTALL ELECTRICAL REPLACEMENT CABLES RELATED TO ELECTRICAL PERMIT #E201409243026.	\$1,000.00	
	201408113493	REPAIR DRY ROT ON FLOOR & WALL OF THIRD FLOOR BATHROOM. REPLACE PLUMBING FIXTS. (E) LIGHTING & VENTILATION TO REMAIN.	\$13,000.00	
	201409186685	INSTALL NEW BATHROOM ON 3RD FLOOR, REMODEL EXISTING BATHROOM ON 3RD FL. ADDRESS COMPLAINT 20149441	\$25,000.00	
	201507060719	REPLACE REAR WINDOWS (6) NOT VISIBLE FROM THE STREET. IN-KIND SIZE & TYPE. U-FACTOR 0.32 MAX.	\$3,200.00	
	201608195515	TO OBTAIN FINAL INSPECTION FOR WORK APPROVED UNDER PA#201408113493. 201409186685, 201411252473. ALL WORK IS COMPLETE.	\$1.00	
	M717728	STREET SPACE	\$1.00	
	M687747	STREET SPACE PERMIT	\$1.00	
	201603091590	GIRDER REPLACEMENT AT LOWER & BASEMENT LEVELS, ADD FOUNDATION UPGRADES.	\$8,000.00	
	M660507	STREET SPACE	\$1.00	
	M654467	STREET SPACE	\$1.00	
	201508275417	INSTALL RETAINING WALL, BEAM AND FOOTINGS IN BASEMENT	\$15,000.00	
	M601647	STREET SPACE	\$1.00	
	201508245070	INSTALL 2ND UNIT, INSTALL BEDROOM & BATHROOM AND KITCHEN AT GROUND LEVEL	\$60,000.00	
	M598967	STREET SPACE PERMIT	\$1.00	
	M581527	STREET SPACE	\$1.00	

		200208012891	TO RENEW APP#20020110/6676 FOR FINAL INSPECTION.	\$1.00	
		200210108753	REPAIR DETERIORATED REAR SPIRAL STAIRS, REPLACE VARIOUS DRY-ROTTED PER PA #200208012891	\$1.00	
		200201106676	RENEW APP #200011105445	\$3,000.00	
		200011105445	REPAIR REAR EGRESS STAIRS PER N.O.V. 200007945	\$3,000.00	
	8/9/1989	8911550	REPLACE CONCRETE SLAB ON FLOOR BELOW STREET LEVEL	\$1,000.00	Some question of the Gross Arwa calculation was offset by this section. This space is not drafted correctly in the 200210108753
		8717127	REMOVE PLASTER & LATH IN BATHROOM, RESHEETROCK	\$500.00	
		8811172	REPAIR FUNGUS DAMAGE	\$5,000.00	
		8716328	REMOVE LATH & PLASTER IN KITCHEN/NO STRUCTURAL/DESIGN CHANGE	\$400.00	

EXHIBIT E



BUILDING ENLARGEMENT
DESCRIPTION
☐ VERTICAL
☐ HORIZONTAL

APPROVED
Dept. of Building Insp.

AUG 31 2016

APPROVED FOR ISSUANCE

AUG 31 2016

BLDG. FORM 3/8

APPLICATION NUMBER

CSCA APPROVAL REQUIRED ☐

Bld 201500691

**APPLICATION FOR BUILDING PERMIT
ADDITIONS, ALTERATIONS OR REPAIRS**

FORM 3 ☐ OTHER AGENCIES REVIEW REQUIREDFORM 8 ☒ OVER-THE-COUNTER ISSUANCE

2

NUMBER OF PLAN SETS

DEPT. OF BUILDING INSPECTION
CITY AND COUNTY OF SAN FRANCISCO
DEPARTMENT OF BUILDING INSPECTION

APPLICATION IS HEREBY MADE TO THE DEPARTMENT OF
BUILDING INSPECTION OF SAN FRANCISCO FOR
PERMISSION TO BUILD IN ACCORDANCE WITH THE PLANS
AND SPECIFICATIONS SUBMITTED HERewith AND
ACCORDING TO THE DESCRIPTION AND FOR THE PURPOSE
HEREINAFTER SET FORTH.

DCP

DO NOT WRITE ABOVE THIS LINE

PERMIT NO. 1402304	ISSUED 8-31-16	PLUMB. FEE RECEIPT NO. 142575	(1) STREET ADDRESS OF JOB 143 CORCORAN AVE	BLOCK & LOT 2666 / 060
		(2A) ESTIMATED COST OF JOB \$6,000	(2B) REVISED COST \$15,000	

INFORMATION TO BE FURNISHED BY ALL APPLICANTS

LEGAL DESCRIPTION OF EXISTING BUILDING

(4A) TYPE OF CONSTR. V-P	(5A) NO. OF STORIES OF OCCUPANCY 3	(6A) NO. OF BASEMENTS AND CELLARS 1	(7A) PRESENT USE SINGLE FAMILY	(8A) OCCUP. CLASS R-3	(9A) NO. OF DWELLING UNITS 1
-----------------------------	---------------------------------------	--	-----------------------------------	--------------------------	---------------------------------

DESCRIPTION OF BUILDING AFTER PROPOSED ALTERATION

(4) TYPE OF CONSTR. V-P	(5) NO. OF STORIES OF OCCUPANCY 3	(6) NO. OF BASEMENTS AND CELLARS 1	(7) PROPOSED USE (LEGAL USE) SINGLE FAMILY	(8) OCCUP. CLASS R-3	(9) NO. OF DWELLING UNITS 1
----------------------------	--------------------------------------	---------------------------------------	---	-------------------------	--------------------------------

(10) IS AUTO RUNWAY TO BE CONSTRUCTED OR ALTERED? YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	(11) WILL STREET SPACE BE USED DURING CONSTRUCTION? YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	(12) ELECTRICAL WORK TO BE PERFORMED? YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	(13) PLUMBING WORK TO BE PERFORMED? YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>
--	--	--	--

(14) GENERAL CONTRACTOR FRANCIS VAL 1348 DOLORES ST. 94110	ADDRESS 1348 DOLORES ST.	ZIP 94110	PHONE 415-735-7172	CALIF. LIC. NO. 8705103	EXPIRATION DATE 3/18
---	-----------------------------	--------------	-----------------------	----------------------------	-------------------------

(15) OWNER - LESSEE (CROSS OUT ONE) FAGIANI PACHANAW	ADDRESS 21389 MOUNT EDEN	ZIP 94020	PHONE (FOR CONTACT BY DEPT.) 408-1074-1907
---	-----------------------------	--------------	---

(16) WRITE IN DESCRIPTION OF ALL WORK TO BE PERFORMED UNDER THIS APPLICATION (REFERENCE TO PLANS IS NOT SUFFICIENT)

INSTALL LIGHT WELL ON SOUTH SIDE OF THE HOUSE

ADDITIONAL INFORMATION

(17) DOES THIS ALTERATION CREATE ADDITIONAL HEIGHT OR STORY TO BUILDING? YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	(18) IF (17) IS YES, STATE NEW HEIGHT AT CENTER LINE OF FRONT NO <input checked="" type="checkbox"/>	(19) DOES THIS ALTERATION CREATE DECK OR PORCH, EXTENSION TO BUILDING? YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	(20) IF (19) IS YES, STATE NEW CHORD FLOOR AREA SQ. FT. NO <input checked="" type="checkbox"/>
(21) WILL SIDEWALK OVER SIDE-SIDEWALK SPATE BE REPAIRED OR ALTERED? YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	(22) WILL BUILDING EXTEND BEYOND PROPERTY LINE? YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	(23) ANY OTHER EXISTING BLDG. ON LOT? (IF YES, SHOW ON PLOT PLAN) YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	(24) DOES THIS ALTERATION CONSTITUTE A CHANGE OF OCCUPANCY? YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>

(25) ARCHITECT OR ENGINEER (DESIGN ☐ CONSTRUCTION ☐ ADDRESS CALIF. CERTIFICATE NO.

(26) CONSTRUCTION LENDER (ENTER NAME AND BRANCH DESIGNATION IF ANY. IF THERE IS NO KNOWN CONSTRUCTION LENDER, ENTER "UNKNOWN") ADDRESS

IMPORTANT NOTICES

No change shall be made in the character of the occupancy or use without first obtaining a Building Permit authorizing such change. See San Francisco Building Code and San Francisco Housing Code.

No portion of building or structure or use thereof used during construction is to be closer than 6'0" to any wall containing more than 750 volts. See Sec. 262, California Penal Code.

Pursuant to San Francisco Building Code, the building permit shall be posted on the job. The owner is responsible for approved plans and application being kept at building site.

Grade lines as shown on drawings accompanying this application are assumed to be correct. If actual grade does not conform to shown, applicant shall determine necessary grade and show on drawings and submit complete details of site before walls and wall footings must be submitted to this department for approval.

ANY ALTERATION REQUIRED HEREIN OR BY CODE MAY BE APPEALED

BUILDING NOT TO BE OCCUPIED UNTIL CERTIFICATE OF FINAL COMPLETION IS POSTED ON THE BUILDING OR PERMIT OF OCCUPANCY GRANTED, WHEN REQUIRED

APPROVAL OF THIS APPLICATION DOES NOT CONSTITUTE AN APPROVAL FOR THE ELECTRICAL WIRING OR PLUMBING INSTALLATIONS. A SEPARATE PERMIT FOR THE WIRING AND PLUMBING MUST BE OBTAINED. SEPARATE PERMITS ARE REQUIRED IF ANSWER IS "YES" TO ANY OF ABOVE QUESTIONS (10) (11) (12) (13) (20) OR (24).

THIS IS NOT A BUILDING PERMIT. NO WORK SHALL BE STARTED UNTIL A BUILDING PERMIT IS ISSUED.

In drawings, all building materials must have a clearance of not less than two inches from all electrical wires or equipment.

CHECK APPROPRIATE BOX

☐ OWNER
☐ LESSEE
☒ CONTRACTOR

☐ ARCHITECT
☐ AGENT
☐ ENGINEER

APPLICANT'S CERTIFICATION

I HEREBY CERTIFY AND AGREE THAT IF A PERMIT IS ISSUED FOR THE CONSTRUCTION DESCRIBED IN THIS APPLICATION, ALL THE PROVISIONS OF THE PERMIT AND ALL LAWS AND ORDINANCES THEREOF WILL BE COMPLIED WITH.

REV 06/13

NOTICE TO APPLICANT

HOLD HARMLESS CLAUSE. The permittee(s) by acceptance of the permit, agree(s) to indemnify and hold harmless the City and County of San Francisco from and against any and all claims, demands and actions for damages resulting from operations under this permit, regardless of negligence of the City and County of San Francisco, and to assume the defense of the City and County of San Francisco against all such claims, demands or actions.

In conformity with the provisions of Section 3800 of the Labor Code of the State of California, the applicant shall have worker's compensation coverage under (1) or (2) designated below, or shall indicate (3), (4), or (5), whichever is applicable. If however (3) is checked, item (1) must be checked as well. Mark the appropriate method of compliance below.

I hereby affirm under penalty of perjury one of the following declarations:

(1) I have and will maintain a certificate of consent to self-insure for worker's compensation, as provided by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued.

(2) I have and will maintain worker's compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My worker's compensation insurance carrier and policy number are:

Carrier _____
Policy Number _____

(3) The cost of the work to be done is \$100 or less.

(4) I certify that by the performance of the work for which this permit is issued, I and/or my employee any person in any capacity so as to become subject to the workers' compensation laws of California. I further acknowledge that I understand that in the event that I should become subject to the workers' compensation provisions of the Labor Code of California and fail to comply therewith with the provisions of Section 3800 of the Labor Code, that the permit issued, applied for shall be deemed revoked.

(5) I certify as the owner (or the applying the owner) that in the performance of the work for which this permit is issued, I will supply a contractor who complies with the workers' compensation laws of California and who, prior to the commencement of any work, will file a completed copy of this form with the Central Permit Bureau.

Signature of Applicant or Agent _____
DATE 8/1/2016

OFFICE COPY

1414

EXHIBIT F

On Wed, Feb 24, 2016 at 6:17 PM, Rajan Raghavan <rraghavan57@gmail.com> wrote:
Hi Chip:

The present permit is not for the lightwell between our homes. Before we submit the plans to the city we will show it to you and get your inputs. We will take care of all the water drainage issues that has been there before our times. Since Francisco is there all the time and he is the most competent to understand the problems please explain it to him. We will definitely do everything we can within reason to take care of it on our own.

As Francisco mentioned we have asked him to work with you on taking out the concrete that is there downstairs and accommodate your convenience and needs. We do have to take out the concrete for us to remodel the space downstairs. Besides, the previous owner/owners seem to have arbitrarily layered one concrete layer on another.

My number is [4083754032](tel:4083754032) and Ragini's number is [4086741907](tel:4086741907). Please text us if we have to address any issues and to reiterate please reach out to Francisco to address any issue.

Rajan

On Wed, Feb 24, 2016 at 9:53 AM, Chip Driggs <chipdriggs@gmail.com> wrote:

Hi Rajan,

We appreciate the note and continued communication about what is going on next door. I also appreciate your understanding that we neighbors have been the ones bearing majority of the inconvenience of the construction as you the homeowner are not living near this construction zone. Jennifer is very sick and over the last week she has not been able to get good rest during the day due to the construction and I have had to alter my work at home schedule over the last 18 months as I've been concerned that the construction noise would interrupt important calls I am on. I'm bringing this up just to bring some reality to the situation and how your construction has had real world consequences for us personally.

As we discussed, if there was better communication from day one we could have avoided a lot of the confusion as to what is being done. With that said, I do want to tell you that we are again very concerned this morning as there is jack hammering going on which is seriously vibrating our house and have concerns that this could be causing some unintended consequences on our property. I would like to take you up on the "courtesy" of viewing what is being done in the lower levels which "could" be affecting our property. I will ask Francisco to take a look next time I see him.

Thank you for the pre-notice of intent to in-fill the light well along our property line. I again want to confirm that the current filed permit to in-fill the "south" light well is NOT for the light well between our homes? As we have discussed and you mention above, there are serious water issues between our homes and this is a very big concern of ours. Our homes have been like this for over 100 years and as you mention there will need to be some cooperation

from both parties to properly address that issue. I would like to hear as soon as possible what the plans are to address the the water drainage issue. We are 100% prepared to fully cooperate with your intent to infill the light well, but also want to be clear that if an acceptable solution to the water issue is not proposed, we will be forced to do everything in our power to delay, stop, or change the proposed infill.

Thanks for reaching out Rajan, I do hope to continue with the open lines of communication.

Best,

Chip

On Mon, Feb 22, 2016 at 5:45 PM, Rajan Raghavan <rraghavan57@gmail.com> wrote:
Hi Chip:

We have researched the issue extensively and also spoken to our engineer, building architect and the building department. The summary is very simple: What we have undertaken is engineered correctly and compliant with the legal codes. We took your inputs seriously and took time researching the data in depth.

I am ok with you taking a look at the work being done under our house as a courtesy. Please schedule with Francisco our contractor if you would like to do so. Christopher our other neighbor did stop by and Francisco showed him around the basement. I am reproducing the email from our team as a reference:

"Tim, Javier and myself have made various trips to different departments to investigate the information you had forwarded me. First of all after showing the building department this information they (SFDBI), informed us the map and the link is a insert from the building department. There are various codes pertaining to this section. "A project may or may not require one of the various codes pertaining to this section" I know nothing of your neighbors project, I do not know what their project entails, requires or how their professional team has designed their project. Therefore depending various factors on their project they may have fallen into one of these requirements. "WE" cannot assume or make an assessment of what they are required to do.

What I do know is that we have gone through all the proper channels of planning, building and engineering. WE have an approved plan and permits by all departments. Furthermore the building department reiterated our project did not require public notification. You have the option of informing your neighbors of your work (if) you wish to do so. Again this would be voluntary but not required. We have fulfilled our requirement and have done nothing illegal".

Also, we do want to let you know well in advance that we plan to enclose our side of the lightwell. Francisco and we are prepared to discuss the plans with you and also address the water issues. We are ok with accommodating changes within reason. When we do apply to the city we will of course send all the notifications as would be required by the city.

Regards,

Rajan

On Sat, Jan 30, 2016 at 5:52 PM, Chip Driggs <chipdriggs@gmail.com> wrote:

Rajan,

Thanks for taking the time today to discuss the remodel your undertaking and listening to our concerns. A couple key points from the conversation is that you will better communicate to the neighbors of the project status and well as reassuring us that anything which is not to code you will make the appropriate changes to comply with code.

We discussed the excavation which was being done, and below are details from both the City of SF and our Surveyor and architect which clearly states that 143 Corbett has a slope $>20^\circ$ which would require a geotechnical report.

From the SFDBL.ORG website

Note: A geotechnical report prepared by a qualified professional must be submitted if one of the following thresholds apply to the project:

- *The project involves a lot split located on a slope equal to or greater than 20 percent.*
- *The project is located in a seismic hazard landslide zone or on a lot with a slope average equal to or greater than 20 percent and involves either*

- *- excavation of 50 or more cubic yards of soil, or*
- *- building expansion greater than 1,000 square feet outside of the existing building footprint.*

A geotechnical report may also be required for other circumstances as determined by Environmental Planning staff.

I have included a map from the planning dept. which highlights 143 Corbett Ave as being a lot which is greater than 20° slope.

*see attached CatEx Determination Map

We also had our architect calculate the slope using our survey and his calculations confirmed as well that in fact the slope is $>20^\circ$

Architect Notes:

- A survey point was taken slightly west-of-center on the northernmost property line as it runs along Corbett Avenue. The elevation of this point is 252.29'.
- A survey point was also taken slightly west-of-center on the property line defining the southernmost end of your lot. The elevation of this point is 237.09'.
- A line connecting these two points (which is almost precisely parallel to your eastern and western property lines) is 74.17' long.
- The slope between these points is: $100 \times [(252.29' - 237.09') / 74.17'] = 20.49\%$

I have copied Bill and Christoher as well seeing the large amount of earth being excavated is also a concern of theirs.

Please let us know how you plan to address this potential issue.

Also, here is the permit details which was filed by FRANCISCO SANDOVAL. I know you told me you had no intentions of filling in the light well on our property line, but as you can see in the permit details, the permit was filed to infill the LIGHTWELL ON SOUTHSIDE OF THE HOUSE. Our house would be on the south side of your house, so to us, this clearly looks like a permit had been filed for to infill the light well between our houses.

Permit Details Report

Report Date:	1/30/2016 5:45:43 PM
Application Number:	201511253643
Form Number:	8
Address(es):	2656 /060 /0 143 CORBETT AV
Description:	INFILL LIGHTWELL ON SOUTHSIDE OF THE HOUSE.
Cost:	\$6,000.00
Occupancy Code:	R-3
Building Use:	27 - 1 FAMILY DWELLING

Thanks again Rajan for the time. I do hope we can have better communication to avoid any continued misunderstanding of what is being done next door.

--

Chip Driggs

--

Chip Driggs

EXHIBIT G



Date Filed:

BOARD OF APPEALS
SEP 15 2016
APPEAL # 16-155

CITY & COUNTY OF SAN FRANCISCO
BOARD OF APPEALS

PRELIMINARY STATEMENT OF APPEAL

I / We, **Stephen Williams**, hereby appeal the following departmental action: **ISSUANCE of Alteration Permit No. 2015/11/25/3643** by the **Department of Building Inspection** which was issued or became effective on: **August 31, 2016**, to: **Rajan Raghavan**, for the property located at: **143 Corbett Avenue**.

BRIEFING SCHEDULE:

The Appellant may, but is not required to, submit a one page (double-spaced) supplementary statement with this Preliminary Statement of Appeal. No exhibits or other submissions are allowed at this time.

Appellant's Brief is due on or before: **December 22, 2016, (no later than three Thursdays prior to the hearing date)**, up to 12 pages in length, double-spaced, with unlimited exhibits, with eleven (11) copies delivered to the Board office by 4:30 p.m., and with additional copies delivered to the other parties the same day. In addition, an electronic copy should be emailed to: boardofappeals@sfgov.org if possible.

Respondent's and Other Parties' Briefs are due on or before: **January 05, 2017, (no later than one Thursday prior to hearing date)**, up to 12 pages in length, doubled-spaced, with unlimited exhibits, with eleven (11) copies delivered to the Board office by 4:30 p.m., and with additional copies delivered to the other parties the same day. In addition, an electronic copy should be emailed to: boardofappeals@sfgov.org if possible.

Only photographs and drawings may be submitted by the parties at hearing.

Hearing Date: **Wednesday, January 11, 2017, 5:00 p.m., City Hall, Room 416**, One Dr. Carlton B. Goodlett Place.

All parties to this appeal must adhere to the briefing schedule above, however if the hearing date is changed, the briefing schedule MAY also be changed. Written notice will be provided of any change to the briefing schedule.

In order to have their documents sent to the Board members prior to hearing, **members of the public** should submit eleven (11) copies of all documents of support/opposition no later than one Thursday prior to hearing date by 4:30 p.m. Please note that names and contact information included in submittals from members of the public will become part of the public record. Submittals from members of the public may be made anonymously.

Please note that in addition to the parties' briefs, any materials that the Board receives relevant to this appeal, including letters of support/opposition from members of the public, are distributed to Board members prior to hearing. All such materials are available for inspection at the Board's office. You may also request a copy of the packet of materials that are provided to Board members at a cost of 10 cents per page, per S.F. Admin. Code Ch. 67.28.

If you have any questions please call the Board of Appeals at 415-575-6880

The reasons for this appeal are as follows:

See attached statement.

Appellant or Agent (Circle One):

Signature: _____

Print Name: _____

[Signature]
Gabriel Nevins

Appeal of Building Permit Application No.: 2015.1125.3643
143 Corbett Ave; APN: 2656/060

BOARD OF APPEALS

SEP 15 2016

APPEAL # 16-155

Attachment 1

This Appeal is for Building Permit Application No.: 2015.1125.3643 (attached). The permit was issued in error and for work that may not be approved over the counter as it directly impacts windows at the neighboring property to the west at 145 Corbett Ave and requires neighborhood notice or a sign off of approval by the owners of 145 Corbett Ave.

Building Permit Application No.: 2015.1125.3643 was filed on November 25, 2015 and the permit was issued August 31, 2016. In the interim, the owners of 145 Corbett, the west adjacent neighbors have objected to the plan and the proposed infill of a light-well on the west side of the Project Building. As a result of these complaints, the Project Sponsor and the Neighbors discussed entering into a Settlement Agreement in which the Project Sponsor agreed to maintain the existing light-well on the west side of the Project Building.

Building Permit Application No.: 2015.1125.3643 states in its description of the work to be performed, "INFILL LIGHTWELL ON SOUTH (WEST) SIDE OF THE HOUSE." Building Permit Application No.: 2015.1125.3643 also lists 3 floors of occupancy even though the Assessor's office records show 2 floors of occupancy for the subject site and no approvals have been approved for an additional floor of occupancy.

The Project Sponsor has admitted in an email that the description of work to be performed contained in Building Permit Application No.: 2015.1125.3643 is an error, and that the work to be done is actually infilling a light-well on the east side of the Project Building. The project Sponsor also assured my clients that this mistake would be corrected, however as of the date of this filing, the Project Sponsor has not corrected the permit prior to the date to appeal the permit.

EXHIBIT H



APPROVED

Dept. of Building Insp.

SEP 16 2016

Tom C. Hu
TOM C. HU, S.E., C.B.O.
DIRECTOR
DEPT OF BUILDING INSPECTION

APPROVED FOR ISSUANCE

BLDG. FORM 318

APPLICATION NUMBER
2016 0916OSHA APPROVAL REQUIRED
APPROVAL NUMBER
#972

APPLICATION FOR BUILDING PERMIT ADDITIONS, ALTERATIONS OR REPAIRS

FORM 3 ☐ OTHER AGENCIES REVIEW REQUIRED
FORM 8 ☒ OVER-THE-COUNTER ISSUANCE

6 NUMBER OF PLAN SETS

▼ DO NOT WRITE ABOVE THIS LINE ▼

CITY AND COUNTY OF SAN FRANCISCO DEPARTMENT OF BUILDING INSPECTION

APPLICATION IS HEREBY MADE TO THE DEPARTMENT OF BUILDING INSPECTION OF SAN FRANCISCO FOR PERMISSION TO BUILD IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS SUBMITTED HERewith AND ACCORDING TO THE DESCRIPTION AND FOR THE PURPOSE HEREINAFTER SET FORTH.

DATE FILED 9.16.16	PLANS FEE RECEIPT NO. 1403825	(1) STREET ADDRESS OF JOB 143 CORBETT AVE	BLOCK & LOT 2652 / 464
PERMIT NO. 1403825	ISSUED 9/16/16	(2A) ESTIMATED COST OF JOB 1.00	(2B) REVISED COST: \$1 = Alan Bay 9.16.16

INFORMATION TO BE FURNISHED BY ALL APPLICANTS

LEGAL DESCRIPTION OF EXISTING BUILDING

(4A) TYPE OF CONSTR. V-B	(5A) NO. OF STORIES OF OCCUPANCY 3	(6A) NO. OF BASEMENTS AND CELLARS 1	(7A) PRESENT USE: CARPENTRY FAMILY	(8A) OCCUP. CLASS R-3	(9A) NO. OF DWELLING UNITS 1
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DESCRIPTION OF BUILDING AFTER PROPOSED ALTERATION

(4) TYPE OF CONSTR. V-B	(5) NO. OF STORIES OF OCCUPANCY 3	(6) NO. OF BASEMENTS AND CELLARS 1	(7) PROPOSED USE (LEGAL USE) CARPENTRY FAMILY	(8) OCCUP. CLASS R-3	(9) NO. OF DWELLING UNITS 1
----------------------------	--------------------------------------	---------------------------------------	--	-------------------------	--------------------------------

(10) IS AUTO RUNWAY TO BE CONSTRUCTED OR ALTERED? YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	(11) WILL STREET SPACE BE USED DURING CONSTRUCTION? YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	(12) ELECTRICAL WORK TO BE PERFORMED? YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	(13) PLUMBING WORK TO BE PERFORMED? YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>
--	--	--	--

(14) GENERAL CONTRACTOR ET SARDINAL 1348 PULPES ST 9410 415 PHONE 734-7172 CALIF. LIC. NO. B708703 EXPIRATION DATE 2/18	(15) OWNER - LESSEE (CROSS OUT ONE) PRAVINI PABHAYAN 21789 HTBEN 95026 PHONE (FOR CONTACT BY DEPT.) 408-674-1907
--	---

(16) WRITE IN DESCRIPTION OF ALL WORK TO BE PERFORMED UNDER THIS APPLICATION (REFERENCE TO PLANS IS NOT SUFFICIENT)

REVISION TO PERMIT 2015. 11.25. 3643 RECALL ON LIGHTWELL ON EAST SIDE OF BUILDING AS NOTED ON PLAN. CLERICAL ERROR SHOWS WEST.

ADDITIONAL INFORMATION

(17) DOES THIS ALTERATION CREATE ADDITIONAL HEIGHT OR STORY TO BUILDING? YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	(18) IF (17) IS YES, STATE NEW HEIGHT AT CENTER LINE OF FRONT	(19) DOES THIS ALTERATION CREATE DECK OR HORIZ. EXTENSION TO BUILDING? YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	(20) IF (19) IS YES, STATE NEW GROUND FLOOR AREA SQ. FT.
(21) WILL SIDEWALK OVER SIDEWALK SPACE BE REPAIRED OR ALTERED? YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	(22) WILL BUILDING EXTEND BEYOND PROPERTY LINE? YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	(23) ANY OTHER EXISTING BLDG. ON LOT? (IF YES, SHOW ON PLOT PLAN) YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	(24) DOES THIS ALTERATION CONSTITUTE A CHANGE OF OCCUPANCY? YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>

(25) ARCHITECT OR ENGINEER (DESIGN ☐ CONSTRUCTION ☒)
ADDRESS
CALIF. CERTIFICATE NO.

(26) CONSTRUCTION LEADER (ENTER NAME AND BRANCH DESIGNATION IF ANY. IF THERE IS NO KNOWN CONSTRUCTION LEADER, ENTER "UNKNOWN")
ADDRESS

IMPORTANT NOTICES

No change shall be made in the character of the occupancy or use without first obtaining a Building Permit authorizing such change. See San Francisco Building Code and San Francisco Housing Code.

No portion of building or structure is scaffolding used during construction is to be closer than 6'0" to any wall containing more than 750 volts. See Sec. 305, California Penal Code.

Pursuant to San Francisco Building Code, the building permit shall be posted on the job. The owner is responsible for approved plans and application being kept at building site.

Grade lines as shown on drawings accompanying this application are assumed to be correct. If actual grade lines are not the same as shown, revised drawings showing correct grade lines, cuts and fills, and complete details of retaining walls and wall footings must be submitted to this Department for approval.

ANY SPECIFICATION REQUIRED HEREIN OR BY CODE MAY BE APPEALED.

BUILDING NOT TO BE OCCUPIED UNTIL CERTIFICATE OF FINAL COMPLETION IS POSTED ON THE BUILDING OR PERMIT OF OCCUPANCY DATED, WHEN REQUIRED.

APPROVAL OF THIS APPLICATION DOES NOT CONSTITUTE AN APPROVAL FOR THE ELECTRICAL WORK OR PLUMBING INSTALLATIONS. A SEPARATE PERMIT FOR THE WIRING AND PLUMBING MUST BE OBTAINED. SEPARATE PERMITS ARE REQUIRED IF ANSWER IS "YES" TO ANY OF ABOVE QUESTIONS (10), (11), (12), (13), (22) OR (24).

THIS IS NOT A BUILDING PERMIT. NO WORK SHALL BE STARTED UNTIL A BUILDING PERMIT IS ISSUED.

In drawings, all building materials must have a clearance of not less than two inches from all structural walls or equipment.

CHECK APPROPRIATE BOX

☐ OWNER
☐ LESSEE
☒ CONTRACTOR

☐ ARCHITECT
☐ AGENT
☐ ENGINEER

APPLICANT'S CERTIFICATION

I HEREBY CERTIFY AND AGREE THAT IF A PERMIT IS ISSUED FOR THE CONSTRUCTION DESCRIBED IN THIS APPLICATION, ALL THE PROVISIONS OF THE PERMIT AND ALL LAWS AND ORDINANCES THEREIN WILL BE COMPLIED WITH.

NOTICE TO APPLICANT

HOLD HARMLESS CLAUSE. The permit holder, by acceptance of the permit, agrees to indemnify and hold harmless the City and County of San Francisco from and against any and all claims, demands and actions for damages resulting from operations under this permit, regardless of negligence of the City and County of San Francisco, and to assume the defense of the City and County of San Francisco against all such claims, demands or actions.

In conformity with the provisions of Section 2800 of the Labor Code of the State of California, the applicant shall have worker's compensation coverage under (1) or (2) designated below, or shall indicate item (3), (4), or (5), whichever is applicable. If however item (3) is checked, item (2) must be checked as well. Mark the appropriate method of compliance below.

I hereby affirm under penalty of perjury one of the following declarations:

- (1) I have and will maintain a certificate of consent to self-insure for worker's compensation, as provided by Section 2700 of the Labor Code, for the performance of the work for which this permit is issued.
- (2) I have and will maintain worker's compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My worker's compensation insurance carrier and policy number are:

Carrier

Policy Number

(3) The cost of the work to be done is \$100 or less.

(4) I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any way or so as to become subject to the worker's compensation laws of California. I further acknowledge that I understand that in the event that I should become subject to the worker's compensation provisions of the Labor Code of California, I will not be exempted therefrom, with the provisions of Section 2800 of the Labor Code, that the permit hereby applied for and be deemed revoked.

(5) I certify as the owner (or the agent for the owner) that in the performance of the work for which this permit is issued, I will employ a contractor who complies with the worker's compensation laws of California and will, prior to the commencement of any work, with the completed copy of this form with the County Permit Approver.

Signature of Applicant or Agent

Date

OFFICE COPY

OFFICIAL COPY

SAN FRANCISCO
 DEPARTMENT OF
 BUILDING INSPECTION

CONDITIONS AND STIPULATIONS

REFER TO:	APPROVED: <i>[Signature]</i> Matthew Rails, DBI SEP 16 2016	DATE: 9/16/16 REASON: de 90 Process. B10 Matt Greene
<input type="checkbox"/>	BUILDING INSPECTOR, DEPT. OF BLDG. INSP. APPROVED: <i>[Signature]</i>	NOTIFIED MR. DATE: _____ REASON: _____
<input type="checkbox"/>	DEPARTMENT OF CITY PLANNING APPROVED: _____	NOTIFIED MR. DATE: _____ REASON: _____
<input type="checkbox"/>	BUREAU OF FIRE PREVENTION & PUBLIC SAFETY APPROVED: _____	NOTIFIED MR. DATE: _____ REASON: _____
<input type="checkbox"/>	MECHANICAL ENGINEER, DEPT. OF BLDG. INSPECTION APPROVED: _____	NOTIFIED MR. DATE: _____ REASON: _____
<input type="checkbox"/>	CIVIL ENGINEER, DEPT. OF BLDG. INSPECTION APPROVED: _____	NOTIFIED MR. DATE: _____ REASON: _____
<input type="checkbox"/>	BUREAU OF ENGINEERING APPROVED: _____	NOTIFIED MR. DATE: _____ REASON: _____
<input type="checkbox"/>	DEPARTMENT OF PUBLIC HEALTH APPROVED: _____	NOTIFIED MR. DATE: _____ REASON: _____
<input type="checkbox"/>	REDEVELOPMENT AGENCY APPROVED: _____	NOTIFIED MR. DATE: _____ REASON: _____
<input type="checkbox"/>	HOUSING INSPECTION DIVISION APPROVED: <i>[Signature]</i>	NOTIFIED MR. DATE: _____ REASON: _____

HOLD SECTION - NOTE DATES AND NAMES OF ALL PERSONS NOTIFIED DURING PROCESSING

I agree to comply with all conditions or stipulations of the various bureaus or departments noted on this application, and attached statements of conditions or stipulations, which are hereby made a part of this application.

Number of attachments ☐

OWNER'S AUTHORIZED AGENT

EXHIBIT I

BOARD OF APPEALS, CITY & COUNTY OF SAN FRANCISCO

Appeal of
JENNIFER CREELMAN,)
Appellant(s))
vs.)
DEPARTMENT OF BUILDING INSPECTION,)
PLANNING DEPARTMENT APPROVAL Respondent)

Appeal No. **16-186**

NOTICE OF APPEAL

NOTICE IS HEREBY GIVEN THAT on December 08, 2016, the above named appellant(s) filed an appeal with the Board of Appeals of the City and County of San Francisco from the decision or order of the above named department(s), commission, or officer.

The substance or effect of the decision or order appealed from is the ISSUANCE on November 23, 2016 to Ravi Raghavan, of an Alteration Permit (to comply with NOV No. 201631352: install temporary shoring to lower level space per Stop Work Violation request of building official; install new retaining wall at rear yard per plans) at 143 Corbett Avenue.

APPLICATION NO. 2016/11/23/3483

FOR HEARING ON February 22, 2017

Address of Appellant(s):

Address of Other Parties:

Jennifer Creelman, Appellant
c/o Stephen M. Williams, Attorney for Appellant
1934 Divisadero Street
San Francisco, CA 94115

Ravi Raghavan, Permit Holder
c/o Ilene Dick, Attorney for Permit Holder
Farella Braun & Martel LLP
235 Montgomery Street
San Francisco, CA 94104



CITY & COUNTY OF SAN FRANCISCO
BOARD OF APPEALS

Date Filed:

BOARD OF APPEALS

DEC 08 2016

APPEAL # 16-186

PRELIMINARY STATEMENT OF APPEAL

I / We, **Jennifer Creelman**, hereby appeal the following departmental action: **ISSUANCE of Alteration Permit No. 2016/11/23/3483** by the **Department of Building Inspection** which was issued or became effective on: **November 23, 2016**, to: **Ravi Raghavan**, for the property located at: **143 Corbett Avenue**.

BRIEFING SCHEDULE:

The Appellant may, but is not required to, submit a one page (double-spaced) supplementary statement with this Preliminary Statement of Appeal. No exhibits or other submissions are allowed at this time.

Appellant's Brief is due on or before: **February 02, 2017, (no later than three Thursdays prior to the hearing date)**, up to 12 pages in length, double-spaced, with unlimited exhibits, with eleven (11) copies delivered to the Board office by 4:30 p.m., and with additional copies delivered to the other parties the same day. In addition, an electronic copy should be emailed to: boardofappeals@sfgov.org if possible.

Respondent's and Other Parties' Briefs are due on or before: **February 16, 2017, (no later than one Thursday prior to hearing date)**, up to 12 pages in length, doubled-spaced, with unlimited exhibits, with eleven (11) copies delivered to the Board office by 4:30 p.m., and with additional copies delivered to the other parties the same day. In addition, an electronic copy should be emailed to: boardofappeals@sfgov.org if possible.

Only photographs and drawings may be submitted by the parties at hearing.

Hearing Date: **Wednesday, February 22, 2017, 5:00 p.m., City Hall, Room 416**, One Dr. Carlton B. Goodlett Place.

All parties to this appeal must adhere to the briefing schedule above, however if the hearing date is changed, the briefing schedule MAY also be changed. Written notice will be provided of any change to the briefing schedule.

In order to have their documents sent to the Board members prior to hearing, **members of the public** should submit eleven (11) copies of all documents of support/opposition no later than one Thursday prior to hearing date by 4:30 p.m. Please note that names and contact information included in submittals from members of the public will become part of the public record. Submittals from members of the public may be made anonymously.

Please note that in addition to the parties' briefs, any materials that the Board receives relevant to this appeal, including letters of support/opposition from members of the public, are distributed to Board members prior to hearing. All such materials are available for inspection at the Board's office. You may also request a copy of the packet of materials that are provided to Board members at a cost of 10 cents per page, per S.F. Admin. Code Ch. 67.28.

If you have any questions please call the Board of Appeals at 415-575-6880

The reasons for this appeal are as follows:

See attached statement.

Appellant or Agent (Circle One):

Signature: *Gabriel Neri*

Print Name: Gabriel Neri

Statement of Appeal—143 Corbett Avenue**APN: 2656/060****Appeal of Building Permit Application No.: 2106.1123.3483**

DEC 08 2016

APPEAL # 16-186

Permit Holder/Project Sponsor purchased the single-family dwelling at 143 Corbett Ave. in 2014 and immediately undertook massive alterations. Sponsors obtained some nineteen (19) different permits---all over-the-counter and all issued without neighborhood notification. A recent inspection has revealed that the Sponsors added two additional floors of occupancy to the structure transforming it from a two-story dwelling into a four-story dwelling---without engineered plans or an architect. DBI issued an NOV is requiring that the Sponsors reconcile the numerous permits which have been issued and to provide plans to show the full extent of the work on the site---Existing—Work Done to Date---Proposed.

Sponsors applied for BPA No.: 2015.1123.3483 on November 23, 2016 and the permit was issued the same day. The pattern of serial permitting makes it impossible to tell what work is legal and permitted. The two-floor excavation conducted without approved engineering or plans creates a concern for the neighbors since it was done without the required State or local building code notices to the neighbors and is far below the neighbors' foundation. The topography of the site is a very steep hill moving south from Corbett Avenue down to Market Street. The plans for the subject permit falsely show as "existing" the two new floors that were excavated at the site. Accurate plans should be required and shared with the neighbors.

The neighbors are also concerned about safety at the job site. Given the number of different permits, the neighbors are concerned that there is no central oversight of the entire project, and therefore it is impossible for anyone to know if the Project and Project site are safe, code compliant and free of unreasonable hazards. A new four-story structure requires a licensed engineer or architect (the plans were done by a "designer") and also triggers fire safety issues, seismic and structural concerns. The addition of the two new floors of occupancy was done under the guise of foundation upgrades and other over-the-counter permits.

APPROVED
Dept. of Building Insp.

APPROVED FOR ISSUANCE
NOV 23 2016

BLDG. 3/8
FORM

BOARD OF APPEALS

DEC 08 2016

APPEAL # 16-184

BID 201631352

APPLICATION NUMBER
20161123 3187

OSHA APPROVAL REQ'D
APPROVAL NUMBER

**APPLICATION FOR BUILDING PERMIT
ADDITIONS, ALTERATIONS OR REPAIRS**

FORM 3 ☐ OTHER AGENCIES REVIEW REQUIRED

FORM 8 ☒ OVER-THE-COUNTER ISSUANCE

2 NUMBER OF PLAN SETS

CITY AND COUNTY OF SAN FRANCISCO
DEPARTMENT OF BUILDING INSPECTION
APPLICATION IS HEREBY MADE TO THE DEPARTMENT OF
BUILDING INSPECTION OF SAN FRANCISCO FOR
PERMISSION TO BUILD IN ACCORDANCE WITH THE PLANS
AND SPECIFICATIONS SUBMITTED HERewith AND
ACCORDING TO THE DESCRIPTION AND FOR THE PURPOSE
HEREINAFTER SET FORTH.

DO NOT WRITE ABOVE THIS LINE

DATE FILED NOV 23 2016	FILING FEE RECEIPT NO. 154	(1) STREET ADDRESS OF JOB 143 CORBETT AVE	BLOCK & LOT 2656 / 60
PERMIT NO. 1410466	ISSUED NOV 23 2016	(2A) ESTIMATED COST OF JOB 70,000	(2B) REVISED COST \$10,000
		DATE 11/23/16	

INFORMATION TO BE FURNISHED BY ALL APPLICANTS

LEGAL DESCRIPTION OF EXISTING BUILDING

(4A) TYPE OF CONSTR. VB	(5A) NO. OF STORIES OF OCCUPANCY 3	(5A) NO. OF BASEMENTS AND CELLARS 1	(7A) PRESENT USE Single Family	(8A) OCCUP. CLASS R3	(9A) NO. OF DWELLING UNITS 1
DESCRIPTION OF BUILDING AFTER PROPOSED ALTERATION					
(4) TYPE OF CONSTR. VB	(5) NO. OF STORIES OF OCCUPANCY 3	(5) NO. OF BASEMENTS AND CELLARS 1	(7) PROPOSED USE (LEGAL USE) Single Family	(8) OCCUP. CLASS R3	(9) NO. OF DWELLING UNITS 1
(10) IS AUTO RUNWAY TO BE CONSTRUCTED OR ALTERED?		(11) WILL STREET SPACE BE USED DURING CONSTRUCTION?	(12) ELECTRICAL WORK TO BE PERFORMED?	(13) PLUMBING WORK TO BE PERFORMED?	(14) OTHER WORK TO BE PERFORMED?
YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>		YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>

(14) GENERAL CONTRACTOR F. J. Serrano	ADDRESS 1318 Belmont	CITY SAN FRANCISCO	STATE CA	ZIP 94110	PHONE 415-734-7172	EXPIRATION DATE 2/28/17
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(15) OWNER - LESSEE (CROSS OUT ONE) Ravi Kashner	ADDRESS 143 Corbett Ave	CITY SAN FRANCISCO	STATE CA	ZIP 94114	PHONE (FOR CONTACT BY DEPT.) 930017
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(16) WRITE IN DESCRIPTION OF ALL WORK TO BE PERFORMED UNDER THIS APPLICATION (REFERENCE TO PLANS IS NOT SUFFICIENT)
INSTALL TEMPORARY SHORING TO LOWER LEVEL SPACE PER STOP WORK VIOLATION REQUEST OF BUILDING OFFICIAL
INSTALL RETAINING WALL AT REAR YARD AS PER PLANS

ADDITIONAL INFORMATION

(17) DOES THIS ALTERATION CREATE ADDITIONAL HEIGHT OR STORY TO BUILDING?	YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	(18) IF (17) IS YES, STATE NEW HEIGHT AT CENTER LINE OF FRONT	(19) DOES THIS ALTERATION CREATE DECK OR HORIZ. EXTENSION TO BUILDING?	YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	(20) IF (19) IS YES, STATE NEW GROUND FLOOR AREA	SO. FT.
(21) WILL SIDEWALK OVER SUB-SIDEWALK SPACE BE REPAIRED OR ALTERED?	YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	(22) WILL BUILDING EXTEND BEYOND PROPERTY LINE?	YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	(23) ANY OTHER EXISTING BLDG. ON LOT? (IF YES, SHOW ON LOT PLAN)	YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	(24) DOES THIS ALTERATION CONSTITUTE A CHANGE OF OCCUPANCY?
(25) ARCHITECT OR ENGINEER (DESIGN <input checked="" type="checkbox"/> CONSTRUCTION <input type="checkbox"/> TIM O'SULLIVAN		ADDRESS 24 Leffler Ave	CITY SAN FRANCISCO	STATE CA	ZIP 94114	CALIF. CERTIFICATE NO. C35235
(26) CONSTRUCTION LENDER (ENTER NAME AND BRANCH DESIGNATION IF ANY. IF THERE IS NO KNOWN CONSTRUCTION LENDER, ENTER "UNKNOWN") N/A		ADDRESS				

IMPORTANT NOTICES

No change shall be made in the character of the occupancy or use without first obtaining a Building Permit authorizing such change. See San Francisco Building Code and San Francisco Housing Code.

No portion of building or structure or scaffolding used during construction is to be closer than 6'6" to any wire containing more than 750 volts. See Sec 345, California Penal Code.

Pursuant to San Francisco Building Code, the building permit shall be posted on the job. The owner is responsible for approved plans and application being kept at building site.

Grade lines as shown on drawings accompanying this application are assumed to be correct. If actual grade lines are not the same as shown, revised drawings showing correct grade lines, cuts and fills, and complete details of retaining walls and wall footings must be submitted to this department for approval.

ANY STIPULATION REQUIRED HEREIN OR BY CODE MAY BE APPEALED.

BUILDING NOT TO BE OCCUPIED UNTIL CERTIFICATE OF FINAL COMPLETION IS POSTED ON THE BUILDING OR PERMIT OF OCCUPANCY GRANTED, WHEN REQUIRED.

APPROVAL OF THIS APPLICATION DOES NOT CONSTITUTE AN APPROVAL FOR THE ELECTRICAL WIRING OR PLUMBING INSTALLATIONS. A SEPARATE PERMIT FOR THE WIRING AND PLUMBING MUST BE OBTAINED. SEPARATE PERMITS ARE REQUIRED IF ANSWER IS "YES" TO ANY OF ABOVE QUESTIONS (10), (11), (12), (13), (22) OR (24).

THIS IS NOT A BUILDING PERMIT. NO WORK SHALL BE STARTED UNTIL A BUILDING PERMIT IS ISSUED.

In dwellings, all insulating materials must have a clearance of not less than two inches from all electrical wires or equipment.

CHECK APPROPRIATE BOX

- ☐ OWNER
☐ ARCHITECT
☐ LESSEE
☐ AGENT
☒ CONTRACTOR
☐ ENGINEER

APPLICANT'S CERTIFICATION

I HEREBY CERTIFY AND AGREE THAT IF A PERMIT IS ISSUED FOR THE CONSTRUCTION DESCRIBED IN THIS APPLICATION, ALL THE PROVISIONS OF THE PERMIT AND ALL LAWS AND ORDINANCES THERE TO WILL BE COMPLIED WITH.

NOTICE TO APPLICANT

HOLD HARMLESS CLAUSE. The permittee(s) by acceptance of the permit, agree(s) to indemnify and hold harmless the City and County of San Francisco from and against any and all claims, demands and actions for damages resulting from operations under this permit, regardless of negligence of the City and County of San Francisco, and to assume the defense of the City and County of San Francisco against all such claims, demands or actions.

In conformity with the provisions of Section 3800 of the Labor Code of the State of California, the applicant shall have worker's compensation coverage under (i) or (ii) designated below, or shall indicate item (iii), (iv), or (v), whichever is applicable. If however item (v) is checked, item (iii) must be checked as well. Mark the appropriate method of compliance below.

I hereby affirm under penalty of perjury one of the following declarations:

(i) I have and will maintain a certificate of consent to self-insure for worker's compensation, as provided by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued.

(ii) I have and will maintain worker's compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My worker's compensation insurance carrier and policy number are:

Carrier _____
Policy Number _____

(iii) The cost of the work to be done is \$100 or less.

(iv) I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner as to become subject to the worker's compensation laws of California. I further acknowledge that I understand that in the event that I should become subject to the worker's compensation provisions of the Labor Code of California and fail to comply therewith with the provisions of Section 3600 of the Labor Code, that the permit herein applied for shall be deemed revoked.

(v) I certify as the owner (or the agent for the owner) that in the performance of the work for which this permit is issued, I will employ a contractor who complies with the worker's compensation laws of California and who, upon the commencement of any work, will file a completed copy of this form with the Central Permit Bureau.

Signature of Applicant or Agent

Date

OFFICE COPY

CONDITIONS AND STIPULATIONS

BOARD OF APPEALS

08 2016

APPEAL #16-186

REFER TO:	APPROVED:  JIMMY CHEUNG, DEPT. NOV 23 2016 BUILDING INSPECTOR, DEPT. OF BLDG. INSP.	DATE: NOV 23 2016 REASON: NOTIFIED MR.
<input type="checkbox"/>	APPROVED: <i>Approved. This permit is for 2 things. Retaining wall to be replaced and repaired and a <u>Grade</u> 11/23/16 <u>Shoring up at</u> DEPARTMENT OF CITY PLANNING</i>	DATE: REASON: NOTIFIED MR.
<input type="checkbox"/>	APPROVED: <i>light well.</i>  BUREAU OF FIRE PREVENTION & PUBLIC SAFETY	DATE: REASON: NOTIFIED MR.
<input type="checkbox"/>	APPROVED:  MECHANICAL ENGINEER, DEPT. OF BLDG. INSPECTION	DATE: REASON: NOTIFIED MR.
<input type="checkbox"/>	APPROVED:  JIMMY CHEUNG, DEPT. NOV 23 2016 CIVIL ENGINEER, DEPT. OF BLDG. INSPECTION	DATE: REASON: NOTIFIED MR.
<input checked="" type="checkbox"/>	APPROVED: Street space under a separate permit NO ALTERATION TO OR RECONSTRUCTION OF CITY RIGHT-OF-WAY UNDER THIS PERMIT BUREAU OF ENGINEERING	DATE: REASON: NOTIFIED MR.
<input type="checkbox"/>	APPROVED: By  11/23/16 Rassendyll Dennis, SFPW/BSM DEPARTMENT OF PUBLIC HEALTH	DATE: REASON: NOTIFIED MR.
<input type="checkbox"/>	APPROVED:  REDEVELOPMENT AGENCY	DATE: REASON: NOTIFIED MR.
<input type="checkbox"/>	APPROVED:  HOUSING INSPECTION DIVISION	DATE: REASON: NOTIFIED MR.

HOLD SECTION - NOTE DATES AND NAMES OF ALL PERSONS NOTIFIED DURING PROCESSING

I agree to comply with all conditions or stipulations of the various bureaus or departments noted on this application, and attached statements of conditions or stipulations, which are hereby made a part of this application.

Number of attachments ☐

OWNER'S AUTHORIZED AGENT

EXHIBIT J

San Francisco Board of Appeals

Appeal No. **16-186**

Jennifer Creelman, and Alfred “Chip” Driggs
Appellants,

v.

San Francisco Dept. Of Building Inspection,
Respondent.

Project Sponsor,
Ravi Raghavan

Appellants’ Brief In Support of Appeal

BPA No. 2016.1123.3483

143 Corbett Avenue

Appeal of Issuance of Alteration Permit No. 2016.1123.3483 by
the Department of Building Inspection.

Hearing Date:	Wednesday, February 22, 2017
Time:	5:00 PM
Location:	City Hall, Room 416 #1 Dr. Carlton B. Goodlett Place San Francisco, CA 94102

Stephen M. Williams SBN: 122103
1934 Divisadero Street
San Francisco, CA 94115
Tel: (415) 292-3656
smw@stevewilliamslaw.com
Attorney for Appellants, Jennifer Creelman and
Alfred “Chip” Driggs

INTRODUCTION

Appellants Jennifer Creelman and Chip Driggs live next door (west) to the subject site at 145 Corbett Ave. Appellants seek review of the Subject Project because for the past two years, the Project Sponsors have:

1. Obtained some twenty (20) serial permits, over-the-counter in order to avoid Planning Department review and to deceive the community and DBI about the scope and extent of the Project;

2. Dangerously excavated two new floors of occupancy far below the Appellants' foundations, without notice or approved plans;

3. Completely excavated the rear yard causing serious drainage issues; and

4. Enclosed (with added walls and a roof) a second-floor rear deck to create a new occupied room in the required rear yard without permits, notice or a variance.

Appellants and their neighbors filed seven complaints regarding these illegal activities beginning in August 2014, (before sponsors obtained a single permit) but inexplicably, the complaints were abated or closed each time until an inspection by senior DBI officials in October 2016 brought to light the extent of the violations.

On October 24, 2016, the DBI issued Notice of Violation ("NOV") # 201631352. The NOV has not been abated or cured. The violation description in NOV # 201631352 states:

A site inspection and a review of issued building permits has revealed that work is being performed that exceeds the scope of work approved. The property is described on city record[s] as a 2 story building. At time of inspection it was noted that the property appears to have four levels. Two levels have been created below street level. New Framing has been done at new floors including the installation of new bathrooms. Backyard level has been excavated and is lower than previous. Retaining walls have been undermined. A new deck has been constructed at roof top level.

Exhibit 1.

Sponsors bought this property in May 2014 and immediately began work without any permits. Now the 105-year-old house has been gutted. Although the building is perched on the side of steeply graded hill, Sponsors excavated two new floors from underneath the existing building without required notice under the civil code, engineering or permits. The entire lot has been re-graded. Retaining walls have been undermined. An external deck was enclosed as part of the internal structure, and a new deck was added on top – all without proper permitting or notice.

None of this work was permitted when it was undertaken. Rather the Sponsors implemented work with no regard to safety or the law. Although the building appears on all City records as a two-story building (Exhibit 2 Planning Information report), the most recent permit, # 2016.1123.3483, (Exhibit 3) falsely states that the building is three stories. Meanwhile it is based on plans (Exhibit 4) which state that the building contains “four stories”. When the neighbors complained, the Sponsors falsified plans and permit applications and then claimed that they had been entitled to perform the work all along. Exhibit 1, NOV #201631352 instructed the Sponsors to stop work; file for a new permit before November 24, 2016 (30 days), which consolidates all the work performed to date with plans; and obtain a new permit by December 24, 2016 (60 days). None of the required actions on the NOV have occurred. As of the filing of this brief, three full months (90 days) will have expired since the NOV was written. Sponsors have failed to comply in any way with the NOV. Sponsors have not filed for a new permit or provided plans as required by the Stop Work Order. Appellants have forwarded a letter to Senior Inspector Joseph Duffy at DBI explaining the complicated chronology of this Project in detail and making it clear that Sponsors are in violation of the NOV; however as of filing the Department has taken no action to enforce its October 24, 2016 order. Letter to Senior Inspector Duffy is Exhibit 5.

The Board of Appeals now has the chance to correct the dangerous and contemptuous construction strategy employed by Sponsors. The Board should grant this appeal and hold the Appealed Permit in abeyance. Sponsors should be ordered to produce a set of plans which accurately depicts (1) what existed at the site prior to construction; (2) explaining what work has occurred since Sponsors acquired the property; and (3) depicting the work to be performed.

PROJECT HISTORY

Sponsors have submitted false permit applications and false plans for the site, which among other things, conceal the fact that Sponsors have illegally excavated two floors of occupancy from under the existing building, and altered a two-story building to create an unpermitted four story building.

The City has recently acknowledged that there are two additional occupied floors in the building which are not on City records. DBI states that the construction has dangerously undermined the retaining walls which keep these buildings perched on their hillside locations, and Appellants' foundation is endangered. Despite putting the construction on hold, the neighbors have still not received the required notification of the planned work, and no one (including the City) knows what work has actually been done. Sponsors illegally added two floors of occupation, and illegally enclosed an external deck. The Board should require that Sponsors reverse these illegal alterations to the building and then re-start this project from the beginning with the correct notification and planning review of all work proposed.

Project Sponsors and Owners, Ravi and his father Rajan Raghavan purchased this property on May 9, 2014 and immediately implemented a massive excavation project, including adding two new floors of living space and the infrastructure for a second unit. In conversations with Appellants, Sponsors stated that they intended to add a new unit however they gave no

formal notice of an excavation for two new floors of occupancy. From the beginning, Sponsor determined to conceal the scope of the project, and thereby avoid the safe, normal, legal building permitting and construction process for properties in San Francisco.

Sponsors did not submit the project to the Planning Department for the required review. Instead Sponsors applied for some 20-different piecemeal over-the-counter permits for various aspects of the Project. All permits were issued over-the-counter without neighborhood notification as is required by Planning Code Section 311. As specified in the chronology (Exhibit 5) all the permits were sought *retroactively* for work already underway, as a result of complaints filed by Appellants and numerous other neighbors after obvious unpermitted construction.

Two New Floors of Occupancy Were Constructed Illegally

Because of the past two years of illegal and unpermitted construction, the building currently has **four** floors of occupancy. This was discovered by DBI during an inspection on October 24, 2016. There is a clear pattern of overlapping, ambiguous, and ultimately false permit applications. Fraud is revealed on the face of every single permit. The Assessor-Recorder's office lists the subject property as a two (2) story building. (Exhibit 2: Assessor's Report.)

Numerous Real Estate websites, show that the house is still understood to be a 2-story building. See Exhibit 6: Zillow Report on 143 Corbett; Exhibit 7: Redfin Report on 143 Corbett; Exhibit 8: Trulia Report on 143 Corbett. The plans from the building's original construction also show two stories.

Sponsors Falsified Permits --Listing an Incorrect Number of Existing Floors of Occupancy

In contrast to the recorded description of the property and all publically available descriptions of the property, Sponsors' permit applications all list three (3) stories of occupancy plus a basement. Exhibit 9, Permit 2014.0811.3493 was applied for on August 11, 2014 and at

box (5A) states that the existing building has 3 floors of occupancy. Exhibit 10 Permit 2014.0918.6685 was issued on September 18, 2014 and at box (5A) which lists the number of stories of occupancy, the handwritten entry appears to be “2” covered by “3”.

Exhibit 11 Permit 2014.1125.2473 was issued November 25, 2014 and at box (5A) states that the existing building has 3 floors of occupancy. Exhibit 12, Permit 2015.0706.0719 was issued July 6, 2015 and at box (5A) states that the existing building has 3 floors of occupancy. Sponsors filed for Exhibit 13, Permit 2015.0827.5417 on August 27 2015, but the permit was issued November 30, 2015 and at box (5A) states that the existing building has 3 floors of occupancy. Sponsors filed for Exhibit 14, Permit 2015.1125.3643 on November 25, 2015 but the permit was issued August 31, 2016 and at box (5A) states that the existing building has 3 floors of occupancy. Exhibit 15, Permit 2016.0916.7972 was issued September 16, 2016 and at box (5A) states that the existing building has 3 floors of occupancy. Exhibit 16, Permit 2016.0819.5515 was issued September 19, 2016 and at box (5A) states that the existing building has 3 floors of occupancy.

The most recent permit, # 2016.1123.3483, Exhibit 3 which is the subject of this appeal is based on plans which state that the building contains “four stories”. The Plans before the Board are false and continue the pattern of fraud and deception by Sponsor and the Contractor. All permits, applied for by Sponsor, incorrectly state that there are three floors of occupancy in the project building or even three floors and a basement (four floors). The legal description provided by the City, lists the building as 2 stories of occupancy. The Sponsors’ motivation for these incorrect descriptions of the property, is and was to cover up the nature, and extent of the work which was actually being performed on the site.

Sponsors Lied to The Neighbors About the Scope of The Project

After purchasing the property in May 2014, Sponsor stated a desire to remodel the Property, and add a unit. Shortly after this conversation Appellants noticed the noise of construction work at the site, and observed substantial construction work occurring on the ground floor of the building---no permits had been applied for or issued. No permits were publicly posted as is required, and no receive written notice of an application for such work was made. On August 7, 2014, the DBI received Complaint # 201489181 (Exhibit 17), reporting unpermitted construction work on the 1st floor of the property.

In response, on August 11, 2014, Sponsors applied over-the-counter, for Permit # 2014.0811.3493 (Exhibit 9) to “repair dry rot on floor and wall of third floor bathroom, and replace plumbing fixtures; existing lighting and ventilation to remain.” On August 11, 2014 Complaint # 201489181 was closed due to the issuance of “PA201408113493”. This was the first example of Sponsors’ *modus operandi* for this project. Sponsors bought the house with the expansion in mind, and upon purchasing the house started the expansion immediately without ANY permits. Each time they were caught doing unpermitted work, they went back and filed for a false permit to cover the work they had already implemented.

Work on the 1st Floor Continued Though the Permit Covered Only Work on the 3rd Floor

On September 16, 2014, the Dept. received Complaint # 201494491 (Exhibit 18) reporting work without a permit and work beyond the scope of the permit. The Complaint notes as additional information, “gutted 1st floor, permit is for 3rd floor bath. Earlier complaint abated by inspector who did not visit but assumed permit covered work.” Exhibit 18.

On September 17, 2014, a DBI Inspector visited the site to investigate Complaint # 201494491. The Inspector noted that the “contractor to provide permits not on site.” Of course, Permits were not in site, because the next day on September, 18 2014, Sponsors applied, over-

the-counter, for PA# 2014.0918.6685 (Exhibit 10) to install a new bathroom on the 3rd floor, remodel existing bathroom on the 3rd floor, and address Complaint 20149441.

On September 18, 2014, the Inspector closed Complaint 20149441, noting that “PA201409186685 issued for work”. It is clear from this timeline, that Sponsors started the work which led to Complaint # 201494491, when an Inspector arrived to investigate the complaint, the sponsors lied and told the Inspector they had merely forgotten to have their permits on site with them, and then they filed for BPA# 2014.0918.6685 to cover their tracks.

The Sponsors Needed to Upgrade Other Systems to Match the Expanded Square Footage

On November 10, 2014, the Department received Complaint #201407451 (Exhibit 19) which reported that the ceilings were being torn out with the windows open, and a failure to contain construction related dust and expressed concern about work beyond the scope of the permit. On November 14, 2014, the Inspector, “issued a correction notice to extend permit to work done [beyond] scope of permit,” and closed the case. Exhibit 19.

On November 25, 2014, Sponsors applied, over-the-counter, for BPA # 2014.1125.2473 (See Exhibit 11) to “Open walls in various location on 1st 2nd and 3rd floors to install electrical replacement cables related to electrical permit E201409243026.” Electrical Permit E201409243026 (See Exhibit 11) was filed for on September 24, 2014 for “2 bathroom and hallway lights, panel upgrade, demo current electrical and upgrade as needed...” BPA# 2014.1125.2473 was issued in late November 2014, to cover the unpermitted work which led to the November 10 complaint, because the electrical permit cited in BPA # 2014.1125.2473 had been issued nearly 8 weeks prior, for a different project (bathroom remodel) in a different part of the house (3rd floor).

The Sponsors Overwhelmed Inspectors with the Sheer Volume of Permits

Complaint # 201542021 was filed on April 22, 2015 (Exhibit 20). The Complaint requested a verification that the project did not exceed the permitting which was limited to a remodel of a third-floor bathroom; the complaint reported that work was going on all day everyday, that the house was taken “down to the studs” and a new electrical box installed.

On April 28, 2015 Complaint # 201542021 was closed with the note, “work per scope of [permits]”. The notes do not indicate that a site visit occurred. This is a good example of how Sponsors have been successful in evading enforcement for the unpermitted work. When confronted with a complaint, sponsors merely apply for more permits, in the hopes that the sheer number of permits that they have obtained will obscure the unpermitted work being performed.

After Excavating New Floors Without Permit Sponsors Enclosed an External Deck

On July 2, 2015, the DBI received Complaint # 201555501 (Exhibit 21), reporting “work outside the scope of permits 201408113493, 201409186685, 201411252473. Enclosing the deck and putting in windows in the deck.” On July 6, 2015, Sponsor was issued, over-the-counter, BPA#2015.0706.0719 (See Exhibit 12) to, “replace rear windows (6) not visible from the street. In-kind, size & type...” On August 10, 2015, Complaint #201555501, was closed with the note, “per scope of permits.” None of the previously issued permits covered this type of work, any framing that occurred before August 10 as reported by the complaint, was done without permit.

The record is clear. Late in the week, Sponsor’s unpermitted work was reported to the Department. After the weekend on Monday, Sponsors filed for a Permit for the first time which would cover ostensibly the unpermitted work---“replacing” windows that never existed before in the new room created. Thereafter the Inspector was unable to return to the site for nearly five weeks, at which point the work at the site appeared to be within the scope of the active permits.

After Excavating Two New Floors, And Enclosing an External Deck, Sponsors Realize That the Building is Not Adequately Supported

On November 24, 2015 DBI received Complaint # 201580691 (Exhibit 22) reporting the following work without permits: “1. closing out lightwell between 143 and 145 Corbett Ave; 2. digging out lower level to put in a new unit; 3. completely redid back deck, closing it in, blocking neighbor’s view.” On November 25, 2015 Sponsors applied for BPA# 2015.1125.3643 (See Exhibit 14) permitting the “[I]nfill of the lightwell on southside of house.” On November 30, 2015 Sponsors were issued BPA# 2015.0824.5417 (Exhibit 13) to, “[I]ninstall retaining wall, beam and footings in basement.”

The Sponsors’ strategy worked again, and on December 2, 2015 an Inspector closed Complaint # 201580691, noting “complaint not valid. Multiple permits issued and filed. See PTS for permits and scopes of work.” The neighbors repeatedly warned the Department of work outside the scope of any permit for two years. Unfortunately, no Inspector inspected the site or responded to the complaint for over a week. In that time, Sponsors were able to slip in and apply for two permits to cover work that had been performed without permits. By the time the Inspector had investigated the complaint, it appeared as though the work was permitted.

After Numerous Complaints, Sponsor’s Dangerous -Unpermitted Excavation Is Discovered

On August 10 2016, Complaint # 201631352 was received by the DBI. Exhibit 23. The Complaint states that the work has been going on for 2 years with no signs posted, and that there has been scaffolding and excavation occurring. On October 24, 2016, the Department issued a Notice of Violation # 201631352 and Stop Work Order (See Exhibit 1). The Notice of Violation states, “A site inspection and a review of issued building permits has revealed that work is being performed that exceeds the scope of work approved. The property is described on city record as a 2-story building. At time of inspection it was noted that the property appears to have four levels.

Two levels have been created below street level... Backyard level has been excavated and is lower than previous. Retaining walls have been undermined. ...”

Sponsors have submitted plans that even abandon the three-story fallacy they created in their permitting. The most recent plan set received by Appellants clearly shows (and states) a total of 4 floors of occupancy. Exhibit 4. Thus, in just under 3 years and nearly 20 permits, Sponsors have obscured from the City that they have converted a two-story building into a four-story building. They did this without notice, permits or oversight. Without warning or notice to anyone, Sponsors excavated the space for the two new floors of occupancy out from underneath the existing building. The neighbors watched as load after load of dirt was removed from the site.

The lack of proper notice and permitting is especially important in this instance. Any extraordinary excavation such as this one must be done with the utmost care and according to the rigorous engineering and safety guidelines; however, without the proper notice and permitting the City, and the neighbors have no way of confirming a site’s safety. In this case Sponsors deliberately hid what they were doing. It has now been revealed that the work had not been done with the utmost care and safety, as Notice of Violation #201631352, clearly states: “retaining walls have been undermined.” Exhibit 1. This is of particular concern, because the project lot and the adjacent neighbors’ lots are on a very steep grade, and any excavation must be properly shored to prevent catastrophic damage to these buildings’ foundations.

Sponsors Go on The Offensive and Sue Their Neighbors in the Superior Court.

After deceiving the neighbors and the DBI for years and receiving these complaints and opposition, reasonable people would recognize that an untenable situation was developing with their neighbors based on their own illegal actions. Reasonable people would admit fault and take steps to work out differences in a conciliatory way. Instead Sponsors hired an attorney who

threatened to bring a frivolous lawsuit against Appellants if they did not abandon their administrative appeals. See Exhibit 24 Letter from Attorney Richard Munzinger, Oct. 27, 2016.

It was pointed out to Sponsors' attorney, that a lawsuit against a defendant for engaging in lawful actions before a public body, is the definition of a Strategic Lawsuit Against Public Participation ("SLAPP"), and would be subject to dismissal under the "Anti-SLAPP" Statute. In response, on November 7, 2016 Sponsors filed a lawsuit anyway against their neighbors alleging: 1) that 13 months earlier on October 1, 2015 Appellant Creelman had trespassed against Sponsors by entering their property during a loud party to ask them to keep the noise down; and 2) that for some 30 months Appellants had allowed water to leak onto Sponsor's property causing unspecified "damage". Lawsuit attached as Exhibit 25. Sponsors fail to note that they removed a portion of their roof (without permits) which covered a lightwell that had previously directed water into a gutter and off of the property.

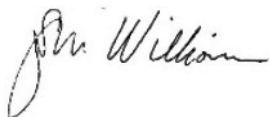
The pattern here speaks for itself. At every stage, Sponsors have submitted false plans and perjured permits. At every stage of this project, Sponsors and their Contractor have engaged in a deliberate, and coordinated plan to avoid the additional time and cost to do this project right. Instead Sponsors conducted major work without permits and then have obtained a flurry of overlapping and vague permits once a complaint was filed. These permits were all obtained over-the-counter. None of these permits describe the work which is actually being performed, namely the construction of two additional floors of occupancy, via a major excavation below grade, and the construction of new floors. It would be of no surprise to anyone familiar with the project to learn that upon completion the Raghavans intend to put the now two-unit property up for sale and make a tidy profit for their efforts to deceive the City and their neighbors.

Appellants desire to have a safe, legally permitted, and code compliant project built next door to their property. The Board should order Sponsors to comply with the consolidation order from DBI, and submit for full review the entire plan for the Project. Two and a half years into this Project, the neighbors still have no idea what the full scope of the Project is, and neither does the City. No one knows the full scope of the illegal excavation which occurred at this site. Until the full scope is assessed it will be impossible to say if this now four-story building, perched at the top of an extreme grade is safe. Appellants, and in particular the downhill neighbors deserve to know that this Project does not endanger them or their property.

Sponsors should also be required to remove the new construction which enclosed the back deck. The enclosed deck was never designed to be incorporated into the structure. This expansion of the building envelope was illegally performed and blocks Appellants' air and light and requires a variance.

The Board should grant this appeal and hold the Appealed Permit in abeyance. The Sponsors should be ordered to produce a set of plans which accurately depicts what existed at the site prior to construction; a set of plans explaining what work has occurred since the Sponsors acquired the property; and a set of plans depicting the work to be performed. Furthermore, the Project should be thoroughly and transparently vetted to ensure that it is structurally sound and safe.

Sincerely,

A handwritten signature in dark ink, appearing to read "Stephen M. Williams". The signature is fluid and cursive, with the first name "Stephen" and last name "Williams" clearly distinguishable.

Stephen M. Williams

Exhibit 1



NOTICE OF VIOLATION
of the San Francisco Municipal Codes Regarding Unsafe,
Substandard or Noncomplying Structure or Land or Occupancy

DEPARTMENT OF BUILDING INSPECTION

City and County of San Francisco

1660 Mission St. San Francisco, CA 94103

NOTICE: 1

NUMBER: 201631352

DATE: 24-OCT-16

ADDRESS: 143 CORBETT AV

OCCUPANCY/USE: R-3 (RESIDENTIAL- 1 & 2 UNIT DWELLINGS,TOWNHOUSES) BLOCK: 2656 LOT: 060

☐ If checked, this information is based upon site-observation only. Further research may indicate that legal use is different. If so, a revised Notice of Violation will be issued.

OWNER/AGENT: RAGHAVEN RAVI
MAILING RAGHAVEN RAVI
ADDRESS 143 CORBETT AVE
SAN FRANCISCO CA

PHONE #: --

94114

PERSON CONTACTED @ SITE: RAGHAVEN RAVI

PHONE #: --

VIOLATION DESCRIPTION:

<input type="checkbox"/> WORK WITHOUT PERMIT	CODE/SECTION# 106.1.1
<input checked="" type="checkbox"/> ADDITIONAL WORK-PERMIT REQUIRED	106.4.7
<input type="checkbox"/> EXPIRED OR <input type="checkbox"/> CANCELLED PERMIT PA#:	106.4.4
<input type="checkbox"/> UNSAFE BUILDING <input type="checkbox"/> SEE ATTACHMENTS	102.1

A site inspection and a review of issued building permits has revealed that work is being performed that exceeds the scope of work approved. The property is described on city record as a 2 story building. At time of inspection it was noted that the property appears to have four levels. Two levels have been created below street level. New framing has been done at new floors including the installation of new bathrooms. Backyard level has been excavated and is lower than previous. Retaining walls have been undermined. A new deck has been constructed at top roof level.

Code sec: 106A.4.7

CORRECTIVE ACTION:

☒ **STOP ALL WORK SFBC 104.2.4**

415-575-6985

☒ **FILE BUILDING PERMIT WITHIN 30 DAYS** ☒ **(WITH PLANS)** A copy of This Notice Must Accompany the Permit Application
☒ **OBTAIN PERMIT WITHIN 60 DAYS AND COMPLETE ALL WORK WITHIN 120 DAYS, INCLUDING FINAL INSPECTION SIGNOFF.**

☐ **CORRECT VIOLATIONS WITHIN DAYS.**

☐ **NO PERMIT REQUIRED**

☐ **YOU FAILED TO COMPLY WITH THE NOTICE(S) DATED , THEREFORE THIS DEPT. HAS INITIATED ABATEMENT PROCEEDINGS.**

● **FAILURE TO COMPLY WITH THIS NOTICE WILL CAUSE ABATEMENT PROCEEDINGS TO BEGIN.**
SEE ATTACHMENT FOR ADDITIONAL WARNINGS.

Due to the number of issued permits and the scope of work being performed, it is unclear that all work is covered under the issued permit. Stop all work and submit a building permit with plans to consolidate all work that has been performed at interior and exterior.

INVESTIGATION FEE OR OTHER FEE WILL APPLY

☐ 9x FEE (WORK W/O PERMIT AFTER 9/1/60) ☒ 2x FEE (WORK EXCEEDING SCOPE OF PERMIT)

☐ OTHER:

☐ REINSPECTION FEE \$

☐ NO PENALTY
(WORK W/O PERMIT PRIOR TO 9/1/60)

APPROX. DATE OF WORK W/O PERMIT 24-OCT-16 VALUE OF WORK PERFORMED W/O PERMITS \$10000

BY ORDER OF THE DIRECTOR, DEPARTMENT OF BUILDING INSPECTION

CONTACT INSPECTOR: Kevin T Birmingham

PHONE # 415-575-6985

DIVISION: BID

DISTRICT: 18

By:(Inspector's Signature) _____



NOTICE OF VIOLATION

of the San Francisco Municipal Codes Regarding Unsafe,
Substandard or Noncomplying Structure or Land or Occupancy

Pursuant to SFBC 304(e) and 332.3 investigation fees are charged for work begun or performed without permits or for work exceeding the scope of permits. Such fees may be appealed to the Board of Permit Appeals within 15 days of permit issuance, at 875 Stevenson St., 4th floor. 554-6720

WARNING: Failure to take immediate action as required to correct the above violations will result in abatement proceedings by the Department of Building Inspection. If an Order of Abatement is recorded against this property, the owner will be billed or the property will be lien for all costs incurred in the code enforcement process from the posting of the first "Notice of Violation" until all costs are paid. SFBC 203(b) & 332.3

WARNING: Section 204 of the San Francisco Housing Code provides for immediate fines of \$100 for each instance of initial non-compliance, followed by \$200 fines per violation for the second instance of non-compliance, up to a maximum of \$7,500 per building. This section also provides for issuance of a criminal charge as a misdemeanor for each violation, resulting in fines of not less than \$1,000 per day or six months' imprisonment or both.

WARNING: Anyone who derives rental income from housing determined by the Department of Building Inspection to be substandard cannot deduct from state personal income tax and bank and corporate income tax interest, depreciation or taxes attributable to such substandard structure. If correction work is not completed or being diligently, expeditiously and continuously prosecuted after six (6) months from the date of this notice, notification will be sent to the Franchise Tax Board as provided in Section 17264(c) of the Revenue and Taxation Code.

WARNING: Section 205(a) of the San Francisco Building Code provides for civil fines of up to \$500 per day for any person who violates, disobeys, omits, neglects or refuses to comply with or opposes the execution of any provisions of this code. This section also provides for misdemeanor fines, if convicted, of up to \$500 and/or imprisonment up to six months for each separate offense for every day such offense occurs.

De acuerdo a las Secciones 304(e) y 332.3 de el Código de Construcción de Edificios de San Francisco, gastos de investigación serán cobrados por trabajo empezado o realizado sin los debidos permisos o por trabajo que exceda el límite estipulado en los permisos. Dichos cobros pueden ser apelados ante la Junta de Apelaciones de Permisos (Board of Permit Appeals) dentro de los primeros quince días de haberse obtenido el permiso. Las apelaciones se hacen en el 875 de la calle Stevenson, cuarto piso, teléfono 554-6720.

ADVERTENCIA: Si no cumple con las acciones inmediatas requeridas para corregir las infracciones, el Departamento de Inspección de Edificios tendrá el derecho de iniciar el proceso de mitigación. Si una Orden de Mitigación es registrada contra dicha propiedad, los gastos incurridos durante el proceso de aplicación del código, desde la primera puesta del Aviso de Infracción hasta que todos los gastos estén pagados, se le cobrarán al dueño del edificio o la propiedad será embargada para recuperar dichos gastos. Referencia a la Sección 203(b) y 332.3 de el Código de Construcción de Edificios.

ADVERTENCIA: La Sección 204 de el Código de Vivienda de San Francisco permite que se multe inmediatamente \$100 por cada primer caso de inconformidad, seguida por una multa de \$200 por cada segunda infracción de inconformidad, aumentando hasta un máximo de \$7,500 por cada edificio. Esta Sección también permite obtener cargos criminales como delito menor, resultando en multas de no menos de \$1,000 diarios ó 6 meses de encarcelamiento o ambas sanciones.

ADVERTENCIA: Cualquier persona que reciba renta por una vivienda que haya sido declarada que no satisface las normas requeridas por el Departamento de Inspección de Edificios, no puede deducir del estado intereses personales, de banco o empresa, depreciación o taxes atribuidos sobre dicha estructura. Si el trabajo de reparación no se termina o está diligentemente, rápidamente y continuamente acusado después de seis (6) meses de la fecha de este aviso, se le enviará una notificación a la Junta de Concesión de Impuestos (Franchise Tax Board) de acuerdo a la Sección 1264(c) del Código de Ingresos e Impuestos (Revenue and Taxation Code).

ADVERTENCIA: La Sección 205(a) de el Código de Edificios de San Francisco impone multas civiles hasta de \$500 por cada día a cualquier persona que infrinja, desobedezca, omita, descuide, rehusa cumplir, resiste o se opone a la ejecución de las provisiones de este código. Esta sección también impone multas por delito menor, si es declarado culpable, de hasta \$500 o encarcelamiento de hasta 6 meses, o ambas sanciones, por cada una de las ofensas y por cada día que dicha ofensa ocurra.

根據《三藩市建築法規》(簡稱 SFBC) 第 304(e) 項和第 332.3 項條款的規定，對沒有許可證便已開始的工程和或正在進行的工程，或者超越許可範圍的工程，將收取調查費。當事人可以在許可證發出日起 15 天之內，調查費可以向許可上訴委員會提出上訴。該委員會地址在 Stevenson 街 875 號 4 樓。電話：554-6720。

警告：如不按照要求立即採取行動，以糾正上述違章行為，將導致建築檢查局付諸強制糾正程序的執行。相對此房地產調查的強制糾正程序令一經在市府備案，則會連同通知張貼日誌的各項與此糾正程序有關的費用，轉向房地產主索取，或將房地產扣押，並支付清各項費用。請參閱《三藩市建築法規》第 203 (b) 項和第 332.3 項條款。

警告：《三藩市房屋法規》(即 SFHC) 第 204(b) 項條款規定：對每一違章初犯者立即將被罰款 100 元，二次重犯者罰款 200 元，每種違章的最高罰款可達 7,500 元。此項法規還規定對每一違章初犯者可提出刑事控告，每日最高罰款可達 1,000 元，或/和監禁六個月。

警告：任何人通過出租房屋獲得收入，而該房屋已被建築檢查局判定為低於規定標準者，不能從加州個人所得稅、銀行和公司所得稅利息、以及與該低於規定標準的建築有關的折舊或稅款中扣除稅費。如果在此通告公布六個月後，改正工程沒有完成，或者沒有被徹底有效地繼續進行，我們將根據《國家稅收法規》(即 Revenue & Taxation Code) 第 1264 (c) 項條款，通知加州稅務委員會 (The Franchise Tax Board)。

警告：《三藩市建築法規》第 205(a) 項條款規定：對於任何違反、不服從、疏忽、忽視、或拒絕遵照此法規者，或者抵制、反對實施此法規中的任何條款的個人，將付最高 500 元的民事罰款。此法規還規定對違法者，如果被判罪，對每天所發生的、每一單獨的犯法行為，將付最高 500 元的罰款，和/或者監禁六個月。

Exhibit 2



SAN FRANCISCO PLANNING DEPARTMENT

Report for Parcel: 2656060



Property Report: 2656060

General information related to properties at this location.

PARCELS (Block/Lot):

2656/060

PARCEL HISTORY:

None

ADDRESSES:

143 CORBETT AVE, SAN FRANCISCO, CA 94114

NEIGHBORHOOD:

Castro/Upper Market

CURRENT PLANNING TEAM:

[SW Team](#)

PLANNING DISTRICT:

1450

District 7: Central

SUPERVISOR DISTRICT:

[District 8 \(Jeff Sheehy\)](#)

CENSUS TRACTS:

2010 Census Tract [020401](#)

TRAFFIC ANALYSIS ZONE:

Traffic Analysis Zone: 199

RECOMMENDED PLANTS:

Would you like to grow plants that create habitat and save water? Check out the plants that we would recommend for this property at [SF Plant Finder](#).

CITY PROPERTIES:

None

PORT FACILITIES:

None

ASSESSOR'S REPORT:

Address:	143 CORBETT AV
Parcel:	2656060
Assessed Values:	
Land:	\$1,329,418.00
Structure:	\$569,750.00
Fixtures:	-
Personal Property:	-
Last Sale:	5/9/2014
Last Sale Price:	\$1,834,000.00
Year Built:	1911
Building Area:	2,322 sq ft
Parcel Area:	1,829 sq ft
Parcel Shape:	-
Parcel Frontage:	-
Parcel Depth:	-
Construction Type:	Wood or steel frame
Use Type:	Dwelling
Units:	1
Stories:	2
Rooms:	7
Bedrooms:	-
Bathrooms:	3
Basement:	-

[Zoning Report](#): 2656060

Planning Department Zoning and other regulations.

ZONING DISTRICTS:

RH-2 - [RESIDENTIAL- HOUSE. TWO FAMILY](#)

HEIGHT & BULK DISTRICTS:

[40-X](#)

SPECIAL USE DISTRICTS:

None

SPECIAL SIGN DISTRICTS:

None

LEGISLATIVE SETBACKS:

None

COASTAL ZONE:

Not in the Coastal Zone

PORT:

Not under Port Jurisdiction

LIMITED AND NONCONFORMING USES:

None

NEIGHBORHOOD-SPECIFIC IMPACT FEE AREAS:

In addition to those impact fees that apply throughout the City, the following neighborhood-specific impact fees apply to this particular property:

None

An overview of Development Impact Fees can be found on the [Impact Fees](#) website.

REDEVELOPMENT AREAS:

None

MAYOR'S INVEST IN NEIGHBORHOODS INITIATIVE AREA:

None

OTHER INFORMATION:

Control: *Slope of 20% or greater*

Description: CEQA Impact: an Environmental Evaluation Application may be required for some types of development.

Added: 3/19/2013

Control: *Interim Zoning Control: Large Residential Projects*

Description: Interim Zoning Controls - large residential projects in RH-1, RH-2, and RH-3 zoning districts require Conditional Use authorization for some residential developments.

Added: 3/9/2015

Expires: 3/20/2017

Control: *Accessory Dwelling Units*

Description: May be eligible for adding new accessory dwelling unit(s).

Added:

PLANNING AREAS:

None

PUBLIC REALM AND STREETSCAPE PLANS:

None

COMMUNITY BENEFIT DISTRICT:

None

SCHOOLS:

Within 1,000ft of: My City School

NOTICE OF SPECIAL RESTRICTIONS:

None

ZONING LETTERS OF DETERMINATION:

None

Historic Preservation Report: 2656060

Historic preservation surveys and evaluations. The Historic Resource status shown on this page is tentative, to confirm the status of your property please speak to a Preservation Technical Specialist. Tel: 415-558-6377; Email: pic@sfgov.org

HISTORIC EVALUATION:

Parcel: 2656060
Building Name:
Address: 143 CORBETT AV
Planning Dept. Historic Resource Status: [B - Unknown / Age Eligible](#)

ARTICLE 10 DESIGNATED HISTORIC DISTRICTS AND LANDMARKS:

None

ARTICLE 11 PRESERVATION DESIGNATION:

None

NATIONAL REGISTER HISTORIC DISTRICTS:

None

CALIFORNIA REGISTER HISTORIC DISTRICTS:

None

HISTORIC RESOURCE EVALUATION RESPONSES:

None

HISTORIC SURVEYS:

None

HISTORIC CONTEXT STATEMENTS:

None

LEGACY BUSINESS REGISTRY:

None

ARCHITECTURE:

Unknown

[Planning Applications Report: 2656060](#)

Permits are required in San Francisco to operate a businesses or to perform construction activity. The Planning Department reviews most applications for these permits in order to ensure that the projects comply with the [Planning Code](#). The 'Project' is the activity being proposed.

PLANNING APPLICATIONS:

2016-015110PRL[Todd Kennedy](#) Tel: 415-575-9125**Project Light (PRL)** 143 corbett

install temporary shoring to lower level space per stop work violation. install new retaining wall at rear yard as per plans.

OPENED	STATUS	ADDRESS	FURTHER INFO
11/23/2016	Closed 11/23/2016	143 CORBETT AVE 94114	View

RELATED RECORDS: None**RELATED BUILDING PERMITS:** None

SHORT TERM RENTALS:

None

[Building Permits Report: 2656060](#)

Applications for Building Permits submitted to the Department of Building Inspection.

BUILDING PERMITS:

Permit:	201611233483
Form:	8 - Alterations Without Plans
Filed:	11/23/2016
Address:	143 CORBETT AV
Parcel:	2656/060
Existing:	1 FAMILY DWELLING
Proposed:	1 FAMILY DWELLING
Existing Units:	1
Proposed Units:	1
Status:	SUSPEND
Status Date:	12/9/2016 1:19:24 PM
Description:	TO COMPLY WITH NOV 201631352: INSTALL TEMP SHORING TO LOWER LEVEL SPACE PER STOP WORK VIOLATION REQUEST OF BLD OFFICIAL. INSTALL NEW RETAINING WALL AT REAR YARD AS PER PLANS
Cost:	\$10,000.00

Permit:	201609167972
Form:	8 - Alterations Without Plans
Filed:	9/16/2016
Address:	143 CORBETT AV
Parcel:	2656/060
Existing:	1 FAMILY DWELLING
Proposed:	1 FAMILY DWELLING

Existing Units: 1
 Proposed Units: 1
 Status: COMPLETE
 Status Date: 12/23/2016 11:19:53 AM
 Description: REVISION TO PERMIT #201511253643: INFILL ON LIGHTWELL ON EAST SIDE OF BUILDING AS NOTED ON PLAN. CLERICAL ERROR SHOWS WEST.
 Cost: \$1.00

Permit: [201608195515](#)
 Form: 8 - Alterations Without Plans
 Filed: 8/19/2016
 Address: 143 CORBETT AV
 Parcel: 2656/060
 Existing: 1 FAMILY DWELLING
 Proposed: 1 FAMILY DWELLING
 Existing Units: 1
 Proposed Units: 1
 Status: COMPLETE
 Status Date: 8/30/2016 3:34:24 PM
 Description: TO OBTAIN FINAL INSPECTION FOR WORK APPROVED UNDER PA#201408113493, 201409186685, 201411252473. ALL WORK IS COMPLETE.
 Cost: \$1.00

Permit: [201603091590](#)
 Form: 8 - Alterations Without Plans
 Filed: 3/9/2016
 Address: 143 CORBETT AV
 Parcel: 2656/060
 Existing: 1 FAMILY DWELLING
 Proposed: 1 FAMILY DWELLING
 Existing Units: 1
 Proposed Units: 1
 Status: ISSUED
 Status Date: 3/28/2016 1:35:16 PM
 Description: GIRDER REPLACEMENT AT LOWER & BASEMENT LEVELS, ADD FOUNDATION UPGRADES.
 Cost: \$8,000.00

Permit: [201511253643](#)
 Form: 8 - Alterations Without Plans
 Filed: 11/25/2015
 Address: 143 CORBETT AV
 Parcel: 2656/060
 Existing: 1 FAMILY DWELLING
 Proposed: 1 FAMILY DWELLING
 Existing Units: 1
 Proposed Units: 1
 Status: **REINSTATED**
 Status Date: 12/9/2016 2:51:25 PM
 Description: INFILL LIGHTWELL ON SOUTHWEST SIDE OF THE HOUSE.
 Cost: \$15,000.00

Permit: [201508275417](#)
 Form: 8 - Alterations Without Plans
 Filed: 8/27/2015
 Address: 143 CORBETT AV
 Parcel: 2656/060
 Existing: 1 FAMILY DWELLING

Proposed: 1 FAMILY DWELLING
 Existing Units: 1
 Proposed Units: 1
 Status: ISSUED
 Status Date: 11/30/2015 8:43:37 AM
 Description: INSTALL RETAINING WALL, BEAM AND FOOTINGS IN BASEMENT
 Cost: \$15,000.00

Permit: [201508245070](#)
 Form: 8 - Alterations Without Plans
 Filed: 8/24/2015
 Address: 143 CORBETT AV
 Parcel: 2656/060
 Existing: 1 FAMILY DWELLING
 Proposed: 2 FAMILY DWELLING
 Existing Units: 1
 Proposed Units: 2
 Status: **TRIAGE**
 Status Date: 8/24/2015 10:38:20 AM
 Description: INTSTALL 2ND UNIT, INSTALL BEDROOM & BATHROOM AND KITCHEN AT GROUND LEVEL
 Cost: \$60,000.00

Permit: [201507060719](#)
 Form: 8 - Alterations Without Plans
 Filed: 7/6/2015
 Address: 143 CORBETT AV
 Parcel: 2656/060
 Existing: 1 FAMILY DWELLING
 Proposed: 1 FAMILY DWELLING
 Existing Units: 1
 Proposed Units: 1
 Status: COMPLETE
 Status Date: 9/12/2016 4:06:36 PM
 Description: REPLACE REAR WINDOWS (6) NOT VISIBLE FROM THE STREET. IN-KIND SIZE & TYPE. U-FACTOR 0.32 MAX.
 Cost: \$3,200.00

Permit: [201411252473](#)
 Form: 8 - Alterations Without Plans
 Filed: 11/25/2014
 Address: 143 CORBETT AV
 Parcel: 2656/060
 Existing: 1 FAMILY DWELLING
 Proposed: 1 FAMILY DWELLING
 Existing Units: 1
 Proposed Units: 1
 Status: COMPLETE
 Status Date: 11/23/2016 9:11:04 AM
 Description: OPEAN WALLS IN VARIOUS LOCATIONS ON 1ST, 2ND AND FLOORS TO INSTALL ELECTRICAL REPLACEMENT CABLES RELATED TO ELECTRICAL PERMIT #E201409243026.
 Cost: \$1,000.00

Permit: [201409186685](#)
 Form: 8 - Alterations Without Plans
 Filed: 9/18/2014
 Address: 143 CORBETT AV
 Parcel: 2656/060

Existing: 1 FAMILY DWELLING
 Proposed: 1 FAMILY DWELLING
 Existing Units: 1
 Proposed Units: 1
 Status: COMPLETE
 Status Date: 11/23/2016 9:09:42 AM
 Description: INSTALL NEW BATHROOM ON 3RD FLOOR, REMODEL EXISTING BATHROOM ON 3RD FL. ADDRESS COMPLAINT 20149441
 Cost: \$25,000.00

Permit: [201408113493](#)
 Form: 8 - Alterations Without Plans
 Filed: 8/11/2014
 Address: 143 CORBETT AV
 Parcel: 2656/060
 Existing: 1 FAMILY DWELLING
 Proposed: 1 FAMILY DWELLING
 Existing Units: 1
 Proposed Units: 1
 Status: COMPLETE
 Status Date: 11/23/2016 9:10:28 AM
 Description: REPAIR DRY ROT ON FLOOR & WALL OF THIRD FLOOR BATHROOM. REPLACE PLUMBING FIXTS. (E) LIGHTING & VENTILATION TO REMAIN.
 Cost: \$13,000.00

Permit: [200210108753](#)
 Form: 8 - Alterations Without Plans
 Filed: 10/10/2002
 Address: 143 CORBETT AV
 Parcel: 2656/060
 Existing: 1 FAMILY DWELLING
 Proposed: 1 FAMILY DWELLING
 Existing Units: 1
 Proposed Units: 1
 Status: COMPLETE
 Status Date: 11/18/2002
 Description: REPAIR DETERIORATED REAR SPIRAL STAIRS, REPLACE VARIOUS DRY-ROTTED PER PA #200208012891
 Cost: \$1.00

Permit: [200208012891](#)
 Form: 8 - Alterations Without Plans
 Filed: 8/1/2002 2:24:40 PM
 Address: 143 CORBETT AV
 Parcel: 2656/060
 Existing: 1 FAMILY DWELLING
 Proposed: 1 FAMILY DWELLING
 Existing Units: 1
 Proposed Units: 1
 Status: COMPLETE
 Status Date: 11/18/2002
 Description: TO RENEW APP#2002/01/10/6676 FOR FINAL INSPECTION.
 Cost: \$1.00

Permit: [200201106676](#)
 Form: 8 - Alterations Without Plans
 Filed: 1/10/2002 2:31:47 PM
 Address: 143 CORBETT AV

Parcel: 2656/060
 Existing: 1 FAMILY DWELLING
 Proposed: 1 FAMILY DWELLING
 Existing Units: 1
 Proposed Units: 1
 Status: EXPIRED
 Status Date: 5/10/2002 2:41:35 PM
 Description: RENEW APP #200011105445
 Cost: \$3,000.00

Permit: [200011105445](#)
 Form: 8 - Alterations Without Plans
 Filed: 11/10/2000 4:31:34 PM
 Address: 143 CORBETT AV
 Parcel: 2656/060
 Existing: 1 FAMILY DWELLING
 Proposed: 1 FAMILY DWELLING
 Existing Units: 1
 Proposed Units: 1
 Status: EXPIRED
 Status Date: 3/10/2001 4:37:29 PM
 Description: REPAIR REAR EGRESS STAIRS PER N.O.V. 200007945
 Cost: \$3,000.00

Permit: [8911550](#)
 Form: 8 - Alterations Without Plans
 Filed: 6/30/1989
 Address: 143 CORBETT AV
 Existing: 1 FAMILY DWELLING
 Proposed: 1 FAMILY DWELLING
 Existing Units: 1
 Proposed Units: 1
 Status: COMPLETE
 Status Date: 8/9/1989
 Description: REPLACE CONCRETE SLAB ON FLOOR BELOW STREET LEVEL
 Cost: \$1,000.00

Permit: [8811172](#)
 Form: 8 - Alterations Without Plans
 Filed: 8/4/1988
 Address: 143 CORBETT AV
 Existing: 1 FAMILY DWELLING
 Proposed: 1 FAMILY DWELLING
 Existing Units: 1
 Proposed Units: 1
 Status: COMPLETE
 Status Date: 8/22/1988
 Description: REPAIR FUNGUS DAMAGE
 Cost: \$5,000.00

Permit: [8717127](#)
 Form: 8 - Alterations Without Plans
 Filed: 12/2/1987
 Address: 143 CORBETT AV
 Existing: 1 FAMILY DWELLING
 Proposed: 1 FAMILY DWELLING
 Existing Units: 1

Proposed Units: 1
 Status: COMPLETE
 Status Date: 8/22/1988
 Description: REMOVE PLASTER & LATH IN BATHROOM, RESHEETROCK
 Cost: \$500.00

Permit: [8716328](#)
 Form: 3 - Alterations With Plans
 Filed: 11/13/1987
 Address: 143 CORBETT AV
 Existing: 1 FAMILY DWELLING
 Proposed: 1 FAMILY DWELLING
 Existing Units: 1
 Proposed Units: 1
 Status: COMPLETE
 Status Date: 3/10/1988
 Description: REMOVE LATH & PLASTER IN KITCHEN/NO STRUCTURAL/DESIGN CHANGE
 Cost: \$400.00

Miscellaneous Permits Reviewed By The Planning Dept Report: 2656060

Depending on the activity being proposed a permit may need to be obtained from the Fire Department, Health Department, Police Department, Alcoholic Beverage Commission or other organization. The Planning Department reviews most applications for these permits in order to ensure compliance with the [Planning Code](#).

MISCELLANEOUS PERMITS REVIEWED BY THE PLANNING DEPT:

None

Complaints Report: 2656060

The Planning Department and the Department of Building Inspection operate programs that ensure compliance with the San Francisco [Planning Code](#) and [Building Inspection Commission Codes](#) respectively. Additionally, they respond to customer complaints of potential code violations and initiate fair and unbiased enforcement action to correct those violations and educate property owners to maintain code compliance.

COMPLAINTS - PLANNING DEPT:

None

[View Complaint 201631352 \(143 CORBETT AV\)](#)

[View Complaint 201580691 \(143 CORBETT AV\)](#)

[View Complaint 201555501 \(143 CORBETT AV\)](#)

[View Complaint 201542021 \(143 CORBETT AV\)](#)

[View Complaint 201407451 \(143 CORBETT AV\)](#)

[View Complaint 201494491 \(143 CORBETT AV\)](#)

[View Complaint 201489181 \(143 CORBETT AV\)](#)

[View Complaint 200113223 \(143 CORBETT AV\)](#)

[View Complaint 200113219 \(143 CORBETT AV\)](#)

[View Complaint 200007945 \(143 CORBETT AV\)](#)

Appeals Report: 2656060

Planning Projects, Building Permits and Zoning Determinations appealed to the San Francisco [Board of Appeals](#).

APPEALS:

Appeal No.: 16-186
Address: 143 CORBETT AV
Nature of Appeal: Issuance of building permit to alter.
Permit Appealed: 201611233483
Hearing Result:
Filed: 12/9/2016
Referred to Planner:
Response Due:
Hearing Date: 2/22/2017
Findings Received Due:
Rehearing Request:
Planner: TKENNEDY
Closed:

Appeal No.: 16-155
Address: 143 CORBETT AV
Nature of Appeal: Issuance of building permit to alter.
Permit Appealed: 201511253643
Hearing Result: Withdrawn by the appellant; suspension of permit is lifted.
Filed: 9/16/2016
Referred to Planner:
Response Due:
Hearing Date: 1/11/2017
Findings Received Due: 12/9/2016
Rehearing Request:
Planner: HKLEIN
Closed: 12/20/2016

Block Book Notifications Report: 2656060

A [Block Book Notification](#) (BBN) is a request made by a member of the public to be notified of permits on any property that is subject to the San Francisco Planning Code.

You can also sign up to be emailed when new planning applications or building permits are filed in your neighborhood through our [Permits in Your Neighborhood](#) website.

BLOCK BOOK NOTIFICATIONS:

None

The Disclaimer: The City and County of San Francisco (CCSF) does not guarantee the accuracy, adequacy, completeness or usefulness of any information. CCSF provides this information on an 'as is' basis without warranty of any kind, including but not limited to warranties of merchantability or fitness for a particular purpose, and assumes no responsibility for anyone's use of the information.

Printed: 1/25/2017

<http://propertymap.sfplanning.org>

Exhibit 3

APPROVED
Dept. of Building Insp.

NOV 23 2016

L. RAFAEL
TOM C. HUI, S.E.
DIRECTOR

BLDG. 3/8
FORM
APPROVED FOR ISSUANCE
NOV 23 2016

APPLICATION NUMBER
201611233482

OSHA APPROVAL REQ'D ☐
APPROVAL NUMBER

BID 201631352

APPLICATION FOR BUILDING PERMIT
ADDITIONS, ALTERATIONS OR REPAIRS

FORM 3 ☐ OTHER AGENCIES REVIEW REQUIRED

FORM 8 ☒ OVER-THE-COUNTER ISSUANCE

2 NUMBER OF PLAN SETS

DO NOT WRITE ABOVE THIS LINE

CITY AND COUNTY OF SAN FRANCISCO
DEPARTMENT OF BUILDING INSPECTION

APPLICATION IS HEREBY MADE TO THE DEPARTMENT OF
BUILDING INSPECTION OF SAN FRANCISCO FOR
PERMISSION TO BUILD IN ACCORDANCE WITH THE PLANS
AND SPECIFICATIONS SUBMITTED HERewith AND
ACCORDING TO THE DESCRIPTION AND FOR THE PURPOSE
HEREINAFTER SET FORTH.

DATE FILED NOV 23 2016	FILING FEE RECEIPT NO. 21111	(1) STREET ADDRESS OF JOB 143 CORBETT AVE	BLOCK & LOT 2656/40
PERMIT NO. 1410466	ISSUED NOV 23 2016	(2A) ESTIMATED COST OF JOB 70,000	(2B) REVISED COST: \$10,000
		BY: <i>xc</i>	DATE: 11/23/16

INFORMATION TO BE FURNISHED BY ALL APPLICANTS

LEGAL DESCRIPTION OF EXISTING BUILDING

(4A) TYPE OF CONSTR. VB	(5A) NO. OF STORIES OF OCCUPANCY: 3	(6A) NO. OF BASEMENTS AND CELLARS: 1	(7A) PRESENT USE: Single Family	(8A) OCCUP. CLASS R3	(9A) NO. OF DWELLING UNITS: 1
----------------------------	--	---	------------------------------------	-------------------------	----------------------------------

DESCRIPTION OF BUILDING AFTER PROPOSED ALTERATION

(4) TYPE OF CONSTR. VB	(5) NO. OF STORIES OF OCCUPANCY: 3	(6) NO. OF BASEMENTS AND CELLARS: 1	(7) PROPOSED USE (LEGAL USE) Single Family	(8) OCCUP. CLASS R3	(9) NO. OF DWELLING UNITS: 1
---------------------------	---------------------------------------	--	---	------------------------	---------------------------------

(10) IS AUTO RUNWAY TO BE CONSTRUCTED OR ALTERED? YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	(11) WILL STREET SPACE BE USED DURING CONSTRUCTION? YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	(12) ELECTRICAL WORK TO BE PERFORMED? YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	(13) PLUMBING WORK TO BE PERFORMED? YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>
--	--	--	--

(14) GENERAL CONTRACTOR F. J. Serrano	ADDRESS 1348 Divisadero	ZIP 94110	PHONE 415-734-7172	CALIF. LIC. NO. 705303	EXPIRATION DATE 2/28/17
--	----------------------------	--------------	-----------------------	---------------------------	----------------------------

(15) OWNER - LESSEE (CROSS OUT ONE) OWNER	NAME Ravi Raghavan	ADDRESS 143 Corbett Ave	ZIP 94114	BTRC# 930017	PHONE (FOR CONTACT BY DEPT.)
--	-----------------------	----------------------------	--------------	-----------------	------------------------------

(16) WRITE IN DESCRIPTION OF ALL WORK TO BE PERFORMED UNDER THIS APPLICATION (REFERENCE TO PLANS IS NOT SUFFICIENT)
N.O. 201631352

INSTALL TEMPORARY SHORING TO PROTECT LEVEL SPACE PER
STOP WORK VIOLATION - REQUEST OF BUILDING OFFICIAL

INSTALL NEW RETAINING WALL AT REAR YARD AS PER PLANS

ADDITIONAL INFORMATION

(17) DOES THIS ALTERATION CREATE ADDITIONAL HEIGHT OR STORY TO BUILDING? YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	(18) IF (17) IS YES, STATE NEW HEIGHT AT CENTER LINE OF FRONT	(19) DOES THIS ALTERATION CREATE DECK OR HORIZ. EXTENSION TO BUILDING? YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	(20) IF (19) IS YES, STATE NEW GROUND FLOOR AREA SQ. FT.
(21) WILL SIDEWALK OVER SUB-SIDEWALK SPACE BE REPAIRED OR ALTERED? YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	(22) WILL BUILDING EXTEND BEYOND PROPERTY LINE? YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	(23) ANY OTHER EXISTING BLDG. ON LOT? (IF YES, SHOW ON PLOT PLAN) YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	(24) DOES THIS ALTERATION CONSTITUTE A CHANGE OF OCCUPANCY? YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>

(25) ARCHITECT OR ENGINEER (DESIGN) TIM O'SULLIVAN	CONSTRUCTION <input type="checkbox"/>	ADDRESS 24 Leichter Ave	CALIF. CERTIFICATE NO. SAN RAFAEL
---	---------------------------------------	----------------------------	--------------------------------------

(26) CONSTRUCTION LENDER (ENTER NAME AND BRANCH DESIGNATION IF ANY. IF THERE IS NO KNOWN CONSTRUCTION LENDER, ENTER "UNKNOWN") N/A	ADDRESS C 35235
---	--------------------

IMPORTANT NOTICES

No change shall be made in the character of the occupancy or use without first obtaining a Building Permit authorizing such change. See San Francisco Building Code and San Francisco Housing Code.

No portion of building or structure or scaffolding used during construction is to be closer than 6'0" to any wire containing more than 750 volts. See Sec 385, California Penal Code.

Pursuant to San Francisco Building Code, the building permit shall be posted on the job. The owner is responsible for approved plans and application being kept at building site.

Grade lines as shown on drawings accompanying this application are assumed to be correct. If actual grade lines are not the same as shown, revised drawings showing correct grade lines, cuts and fills, and complete details of retaining walls and wall footings must be submitted to this department for approval.

ANY STIPULATION REQUIRED HEREIN OR BY CODE MAY BE APPEALED.

BUILDING NOT TO BE OCCUPIED UNTIL CERTIFICATE OF FINAL COMPLETION IS POSTED ON THE BUILDING OR PERMIT OF OCCUPANCY GRANTED, WHEN REQUIRED.

APPROVAL OF THIS APPLICATION DOES NOT CONSTITUTE AN APPROVAL FOR THE ELECTRICAL WIRING OR PLUMBING INSTALLATIONS. A SEPARATE PERMIT FOR THE WIRING AND PLUMBING MUST BE OBTAINED. SEPARATE PERMITS ARE REQUIRED IF ANSWER IS "YES" TO ANY OF ABOVE QUESTIONS (10) (11) (12) (13) (22) OR (24).

THIS IS NOT A BUILDING PERMIT. NO WORK SHALL BE STARTED UNTIL A BUILDING PERMIT IS ISSUED.

In dwellings, all insulating materials must have a clearance of not less than two inches from all electrical wires or equipment.

CHECK APPROPRIATE BOX

- | | |
|--|------------------------------------|
| <input type="checkbox"/> OWNER | <input type="checkbox"/> ARCHITECT |
| <input type="checkbox"/> LESSEE | <input type="checkbox"/> AGENT |
| <input checked="" type="checkbox"/> CONTRACTOR | <input type="checkbox"/> ENGINEER |

APPLICANT'S CERTIFICATION

I HEREBY CERTIFY AND AGREE THAT IF A PERMIT IS ISSUED FOR THE CONSTRUCTION DESCRIBED IN THIS APPLICATION, ALL THE PROVISIONS OF THE PERMIT AND ALL LAWS AND ORDINANCES THERETO WILL BE COMPLIED WITH.

NOTICE TO APPLICANT

HOLD HARMLESS CLAUSE. The permittee(s) by acceptance of the permit, agree(s) to indemnify and hold harmless the City and County of San Francisco from and against any and all claims, demands and actions for damages resulting from operations under this permit, regardless of negligence of the City and County of San Francisco, and to assume the defense of the City and County of San Francisco against all such claims, demands or actions.

In conformity with the provisions of Section 3800 of the Labor Code of the State of California, the applicant shall have worker's compensation coverage under (i) or (ii) designated below, or shall indicate item (iii), (iv), or (v), whichever is applicable. If however item (v) is checked, item (iv) must be checked as well. Mark the appropriate method of compliance below.

I hereby affirm under penalty of perjury one of the following declarations:

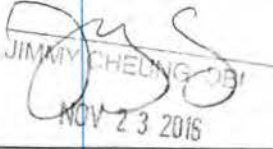


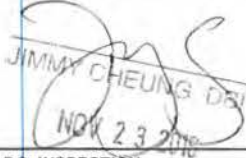
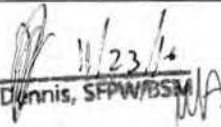


- I have and will maintain a certificate of consent to self-insure for worker's compensation, as provided by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued.
- I have and will maintain worker's compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My worker's compensation insurance carrier and policy number are:
Carrier _____
Policy Number _____
- The cost of the work to be done is \$100 or less.
- I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the worker's compensation laws of California. I further acknowledge that I understand that in the event that I should become subject to the worker's compensation provisions of the Labor Code of California and fail to comply therewith with the provisions of Section 3800 of the Labor Code, that the permit herein applied for shall be deemed revoked.
- I certify as the owner (or the agent for the owner) that in the performance of the work for which this permit is issued, I will employ a contractor who complies with the worker's compensation laws of California and who, prior to the commencement of any work, will file a completed copy of this form with the Central Permit Bureau.

Signature of Applicant or Agent

1462

Date

CONDITIONS AND STIPULATIONS

REFER TO:	APPROVED:  JIMMY CHEUNG DBI NOV 23 2016 BUILDING INSPECTOR, DEPT. OF BLDG. INSP.	DATE: <u>NOV 23 2016</u> REASON: <u>ok to process</u> NOTIFIED MR. <u>L. R. Kelly</u>
<input type="checkbox"/>	APPROVED: <u>approved. This permit is for 2 things. Retaining wall to be replaced and repaired and a shed 11/23/16</u> DEPARTMENT OF CITY PLANNING	DATE: _____ REASON: _____ NOTIFIED MR. _____
<input type="checkbox"/>	APPROVED: <u>light well</u>  BUREAU OF FIRE PREVENTION & PUBLIC SAFETY	DATE: _____ REASON: _____ NOTIFIED MR. _____
<input type="checkbox"/>	APPROVED:  MECHANICAL ENGINEER, DEPT. OF BLDG. INSPECTION	DATE: _____ REASON: _____ NOTIFIED MR. _____
<input type="checkbox"/>	APPROVED:  JIMMY CHEUNG DBI NOV 23 2016 CIVIL ENGINEER, DEPT. OF BLDG. INSPECTION	DATE: _____ REASON: _____ NOTIFIED MR. _____
<input checked="" type="checkbox"/>	APPROVED: <u>Street space under a separate permit</u> NO ALTERATION TO OR RECONSTRUCTION OF CITY RIGHT-OF-WAY UNDER THIS PERMIT BUREAU OF ENGINEERING	DATE: _____ REASON: _____ NOTIFIED MR. _____
<input type="checkbox"/>	APPROVED: <u>By  11/23/16</u> Rassendyll Dennis, SFPW/BSM DEPARTMENT OF PUBLIC HEALTH	DATE: _____ REASON: _____ NOTIFIED MR. _____
<input type="checkbox"/>	APPROVED:  REDEVELOPMENT AGENCY	DATE: _____ REASON: _____ NOTIFIED MR. _____
<input type="checkbox"/>	APPROVED:  HOUSING INSPECTION DIVISION	DATE: _____ REASON: _____ NOTIFIED MR. _____

HOLD SECTION - NOTE DATES AND NAMES OF ALL PERSONS NOTIFIED DURING PROCESSING

I agree to comply with all conditions or stipulations of the various bureaus or departments noted on this application, and attached statements of conditions or stipulations, which are hereby made a part of this application.

Number of attachments ☐

OWNER'S AUTHORIZED AGENT



LICENSED CONTRACTOR'S STATEMENT

Permit Application No. 2016. 1123 3483
Job Address: 143 CORBETT AVE

Licensed Contractor's Declaration

Pursuant to the Business and Professions Code Sec. 7031.5, I hereby affirm under penalty of perjury that I am licensed under the provisions of Chapter 9 (commencing with Sec. 7000) of Division 3 of the Business and Professions Code, and that my license is in full force and effect.

License Number 705303

License Class B

Expiration Date 2-28-2017

Contractor

FRANCISCO SANDOVAL
PRINT

[Signature]
SIGNATURE

NOTE: "Any violation of the Bus. & Prof. Code Sec 7031.5 by any permit applicant shall be subject to a civil penalty of not more than five hundred dollars (\$500)" Bus. & Prof. Code Sec. 7031.5. Revised 10/1/2013.

Exhibit 4

NOTES TO SPECIFICATIONS

It is the intent of these Contract Documents to provide a high quality of material and workmanship but not necessarily to limit and restrict the Contractor's right to use any method, technique, or equipment that may be used to complete the work, provided that the Contractor is a member contractor with the quality of the work without additional cost to the Owner. All materials and methods of construction shall be approved by the Architect and the Contractor shall be responsible for the quality of the work.

A. All materials and workmanship shall conform to the requirements of the following codes and regulations and any other codes and regulations that may apply:

- California Building Code 2013 Edition
- California Fire Code 2013 Edition
- California Electrical Code 2013 Edition
- California Mechanical Code 2013 Edition

Verify all existing conditions and dimensions of the project are, notify the Architect and/or Engineer of any discrepancies before beginning construction.

B. Provide shoring and proper bracing and bracing to maintain with conditions of all steel. The contractor shall be solely responsible for providing adequate shoring and bracing as required for protection of life and property during the construction of the project.

C. At all times the Contractor shall be solely and completely responsible for all conditions of the project, including safety of persons and property, and of materials, including safety of the structure. The Contractor shall be responsible for the safety of the structure and shall be responsible to include a review of the safety of the construction safety measures.

D. Unless otherwise shown or noted, all typical details shall be used where applicable.

E. All details shall be constructed in accordance with the Architect and/or Consulting Engineer for construction details as shown.

F. The Contractor shall supply all labor, materials, equipment and services, including water and power, necessary for the proper execution of the work shown in these drawings. All materials shall be new and workmanship shall be good quality. Any materials, equipment or materials that are required for the building shall be provided by the Contractor. All materials shall be done by an independent inspection company.

G. Provide: Shoring, bracing, and bracing of existing structure and the existing structure prior to installing any proposed to the owner. The Engineer/Contractor shall be responsible to provide the shoring and bracing as required for the work. The work shall be done in accordance with the drawings.

H. The Engineer/Contractor shall verify the site and foundation conditions with the existing structure prior to installing any proposed to the owner. The Engineer/Contractor shall be responsible to provide the shoring and bracing as required for the work. The work shall be done in accordance with the drawings.

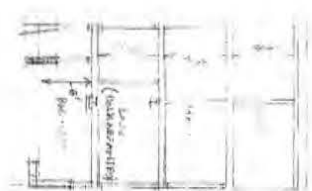
I. The Engineer/Contractor shall be responsible for all materials and workmanship of the existing structure and the existing structure prior to installing any proposed to the owner. The Engineer/Contractor shall be responsible to provide the shoring and bracing as required for the work. The work shall be done in accordance with the drawings.

Index:

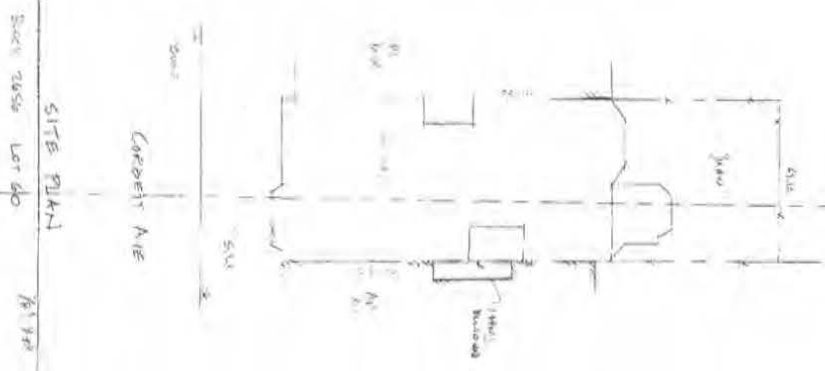
- A-1: Site Plan, Building Section, Notes
- A-2: Existing Floor Plans
- S-1: Partial Foundation Plan, Details, Notes

Scope of Work

Temporary Shoring Plan of Lower Level
As per Building Official Request



Building Section



SITE PLAN

Block 2856 Lot 60

CORBETT AVE

SYCAMORE ST



Tim O'Sullivan Structural Design
24 Longtin Avenue, San Rafael, California 94903
(415) 479-8468
CA. LIC. #C35235

Temporary Shoring Plan
143 Corbett Avenue, San Francisco

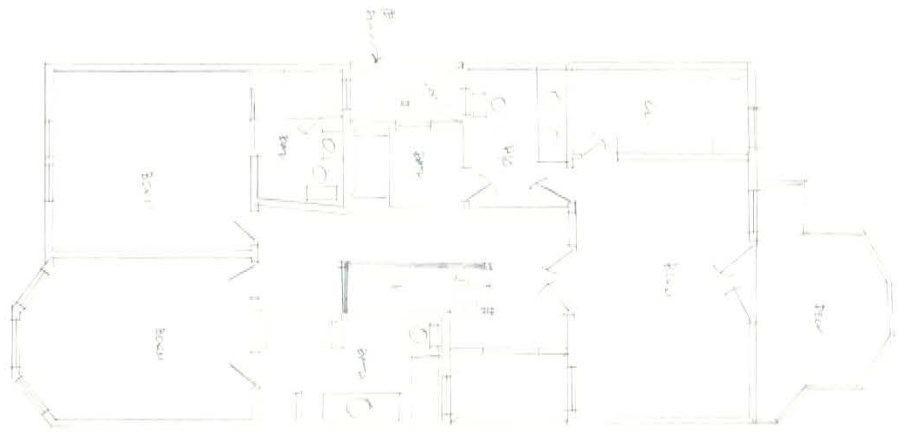
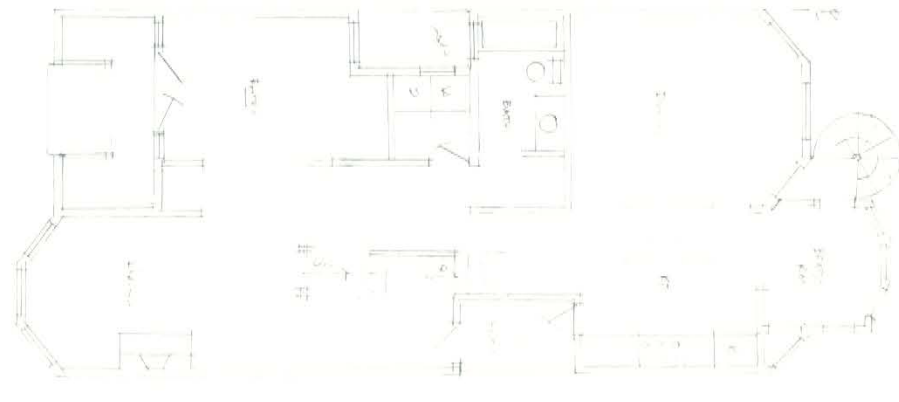
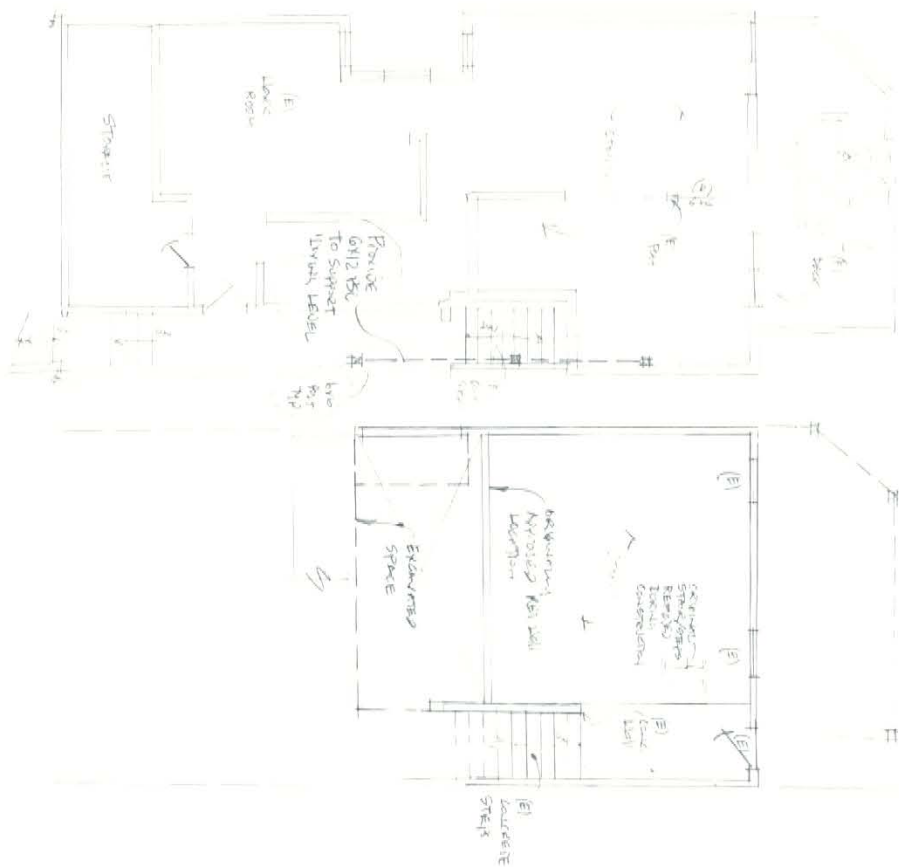
Drawn	Tim O'Sullivan
Check	Tim O'Sullivan
Date	10/1/14
Sheet	A-1
Total	1 of 1

REVISIONS	BY

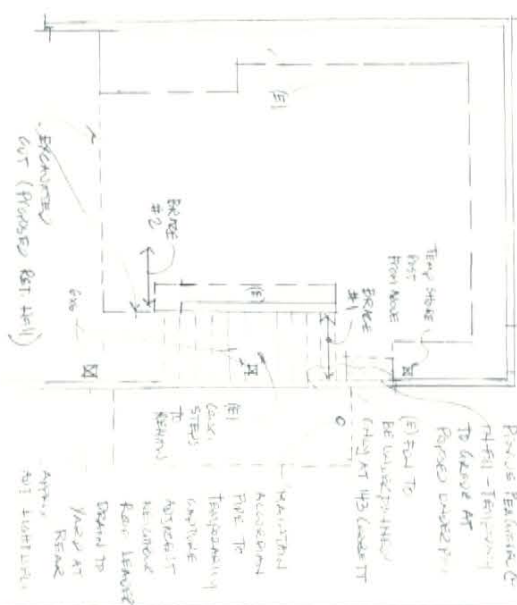
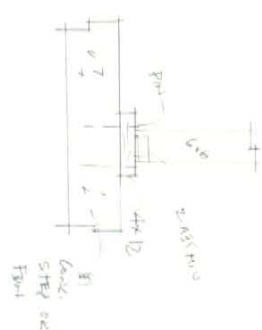
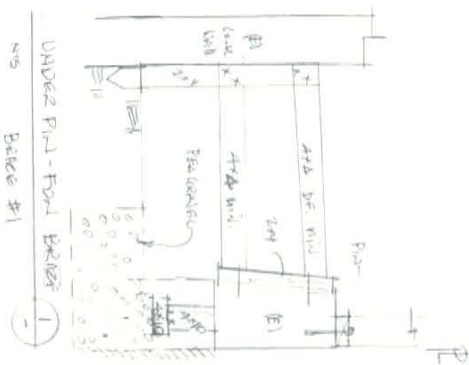
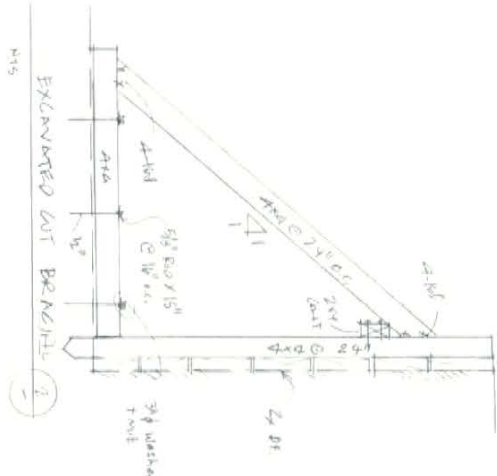
Tim O'Sullivan Structural Design
 24 Langlen Avenue, San Rafael, California 94903
 (415) 479-8466
 CA. LIC. #C35235

Temporary Shoring Plan
 143 Corbett Avenue, San Francisco 1467

Drawn by	JS
Scale	1/4" = 1'-0"
Sheet	A-2
Date	03/20/00

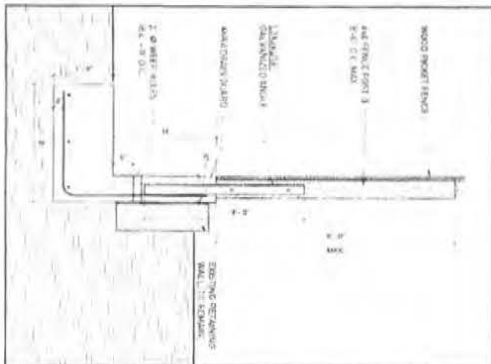


- GENERAL NOTES AND CODE REQUIREMENTS:**
1. THE CONTRACTOR SHALL FURNISH ALL MATERIALS, LABOR AND EQUIPMENT NECESSARY FOR THE FULL PERFORMANCE OF THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF SAN FRANCISCO AND THE CALIFORNIA DEPARTMENT OF INDUSTRIAL RELATIONS AND LABOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF SAN FRANCISCO AND THE CALIFORNIA DEPARTMENT OF INDUSTRIAL RELATIONS AND LABOR.
 2. THE CONTRACTOR SHALL VERIFY ALL CRITICAL DIMENSIONS ON THE SITE AND NOTIFY THE ENGINEER IMMEDIATELY IF THERE ARE ANY DISCREPANCIES IN THE DIMENSIONS.
 3. THE CONTRACTOR SHALL VERIFY ALL CRITICAL DIMENSIONS ON THE SITE AND NOTIFY THE ENGINEER IMMEDIATELY IF THERE ARE ANY DISCREPANCIES IN THE DIMENSIONS.
 4. ALL MATERIAL, EQUIPMENT AND OTHER PRODUCTS SHALL BE INSTALLED PER RESPECTIVE MANUFACTURER'S LATEST PRINTED INSTRUCTIONS.
 5. ALL ITEMS SHOWN ARE NEW UNLESS OTHERWISE NOTED AS FOR EXISTING.
 6. DO NOT SCALE DIMENSIONS. ALWAYS REFER TO DIMENSIONS SHOWN ON THE PLANS. VERIFY SITE CONDITIONS FOR THE EXISTING OR EXISTING CONDITIONS.
 7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF SAN FRANCISCO AND THE CALIFORNIA DEPARTMENT OF INDUSTRIAL RELATIONS AND LABOR.
 8. ALL CONNECTIONS SHALL MEET MINIMUM REQUIREMENTS OF THE BUILDING CODE UNLESS A SPECIFIC CONNECTION IS SPECIFIED.
 9. ALL DIMENSIONS AND EXISTING CONDITIONS TO BE VERIFIED IN THE FIELD. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS TO BE VERIFIED IN THE FIELD.
 10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF SAN FRANCISCO AND THE CALIFORNIA DEPARTMENT OF INDUSTRIAL RELATIONS AND LABOR.
 11. CODE COMPLIANCE BUILDING CODE (CBC).
 12. BUILDING LUMBER SHALL BE DRY 7. BY 1200 OR 6-4 X 8 ALL EXTERIOR TIMBERS SHALL BE TREATED WITH A PRESERVATIVE TO PROTECT AGAINST INSECT DAMAGE AND DECAY. ALL JOISTS, FLOORS, PLATES NOT 2" THICK AND BEAMS NOT 4" THICK SHALL BE TREATED WITH A PRESERVATIVE TO PROTECT AGAINST INSECT DAMAGE AND DECAY.
 13. TRIMMING HARDWARE AND JOIST HANGERS AS MANUFACTURED BY BARNES STANCHION CO. OR APPROVED EQUAL. JOIST NAILS NOT SHOWN SHALL BE 20D OR 22D GALVANIZED STEEL. JOIST NAILS NOT SHOWN SHALL BE 20D OR 22D GALVANIZED STEEL. JOIST NAILS NOT SHOWN SHALL BE 20D OR 22D GALVANIZED STEEL.
 14. ALL CONNECTIONS SHALL MEET MINIMUM REQUIREMENTS OF THE BUILDING CODE UNLESS A SPECIFIC CONNECTION IS SPECIFIED.
 15. ALL DIMENSIONS AND EXISTING CONDITIONS TO BE VERIFIED IN THE FIELD. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS TO BE VERIFIED IN THE FIELD.
 16. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF SAN FRANCISCO AND THE CALIFORNIA DEPARTMENT OF INDUSTRIAL RELATIONS AND LABOR.



NOTE - NO EXCAVATIONS AT ANY TIME TO OCCUR AT WEST ADJACENT NEIGHBOR -

CORBETT

DATE PLANNED: 2/10/07
MFC: 10/07

↑ FOUNDATION WALL DETAIL
36" x 12"

区	市町村
一	豊後市
二	豊後市
三	豊後市
四	豊後市

SCOPE OF WORK

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APPLICABLE CODES

[illegible]

PROJECT DATA

[illegible]

GENERAL NOTES AND CODE REQUIREMENTS

THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY LICENSES AND PERMITS REQUIRED BY THE LOCAL, STATE AND FEDERAL GOVERNMENTS TO CONDUCT THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY LICENSES AND PERMITS REQUIRED BY THE LOCAL, STATE AND FEDERAL GOVERNMENTS TO CONDUCT THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY LICENSES AND PERMITS REQUIRED BY THE LOCAL, STATE AND FEDERAL GOVERNMENTS TO CONDUCT THE WORK.

Exhibit 5

February 2, 2017

via Email

Senior Inspector Duffy:

I understand you are meeting with Jennifer Creelman and Chip Driggs tomorrow to discuss the construction that has been going on next to their home for the past two plus years. I am enclosing a comprehensive chronology of the permits and complaints at the site for the past two years. It is not a pretty picture....some of the worst and most brazen violations I have seen. The DBI has now written the owners up for the exact same violations of which the neighbors (not just Chip and Jennifer) complained two years ago!

As you know, we are headed to the Board of Appeals on this case on their last permit. Jennifer and Chip appealed this permit because the permit and the plans both falsely state that this is an "existing" four story building.(as you know it is a legal two story building). Before any additional work is done at the site, they want to see the consolidation permit and plans ordered by DBI to understand what was there before work started, what work has been conducted to date and what is planned by the Sponsors. Because the appealed permit are plainly false (stating four stories) can you require that be corrected?

Obviously we want the shoring and retaining walls to safeguard Chip and Jennifer's home, but the Sponsors cannot be trusted to do only that work and will likely work to cover other issues. Also, can you up-date me on the status of the NOV? It was issued October 24 and we are now past 90 days and way past time when the permits were to be obtained and the work completed for the entire project. Can you please set the Director's hearing on these open, obvious violations? The neighbors complained on July 2, 2015 that the deck was being turned into a room....we believe that should ordered removed immediately and don't understand the months and months of delay? Can you let me know what is going on?

Thanks—

Steve Williams

Stephen M. Williams

Law Offices of Stephen M. Williams

1934 Divisadero Street

San Francisco, CA 94115

Phone: (415) 292-3656

Fax: (415) 776-8047

The information transmitted is intended only for the person or entity to which it is addressed and may contain confidential and/or privileged material. Any review, retransmission, dissemination or other use of, or taking of any action in reliance upon this information by persons or entities other than the intended recipient is prohibited. If you received this in error, please contact sender and delete the material from any computer.

Chronology of Complaints and Permit Applications at 143 Corbett Avenue

May 9, 2014---Property Purchased by Sponsors

August 7, 2014—First Complaint Filed *Construction on the 1st floor without permit to date.*
DBI Closed August 11-- PA201408113493 issued. ok to close

August 11, 2014—First Permit App.201408113493

*REPAIR DRY ROT ON FLOOR & WALL OF THIRD FLOOR BATHROOM.
REPLACE PLUMBING FIXTS. (E) LIGHTING & VENTILATION TO REMAIN,*

Cost: \$13,000.00

September 16, 2014—Second Complaint Filed

WORK W/O PERMIT; WORK BEYOND SCOPE OF PERMIT; Guttled 1st floor, permit is 3rd floor bath. Earlier complaint abated by inspector who did not visit but assumed permit covered work.
DBI Closed Sept.18 PA 201409186685 issued for work cs

September 18, 2014—Second Permit App. 201409186685

*INSTALL NEW BATHROOM ON 3RD FLOOR, REMODEL EXISTING
BATHROOM ON 3RD FL. ADDRESS COMPLAINT 20149441*

Cost: \$25,000.00

November 11, 2014—Third Complaint Filed

*Construction with windows open while tearing out ceiling and not containing the dust.
Concerned about safety and possibly working beyond the scope of the permit.*

DBI Closed November 14--issued correction notice to extend permit to work done beyond scope of permit.
case closed JB

November 23, 2014---Third Permit App 201411252473

*OPEAN WALLS IN VARIOUS LOCATIONS ON 1ST, 2ND AND FLOORS TO
INSTALL ELECTRICAL REPLACEMENT CABLES RELATED TO ELECTRICAL
PERMIT #E201409243026.*

Cost: \$1,000.00

April 22, 2015—Fourth Complaint Filed 201542021

*143 Corbett --- Complaint please verify Permit - permit online for a remodel of a bathroom.
Work is going on all day, every day, the house was down to the studs and a new electrical box
has been installed. There seems to be more going on than a remodel of a small bathroom. Also,
checking to see if the permit has been suspended.*

DBI Closed April 28-- work per scope of permits cs

July 2, 2015—Fifth Complaint Filed 201555501

*Working outside of scope of permits 201408113493, 201409186685, 201411252473. Enclosing
the deck and putting in windows in the deck*

DBI Closed August 10--- per scope of permits cs

July 6, 2015---Fourth Permit App 201507060719

Chronology of Complaints and Permit Applications at 143 Corbett Avenue

REPLACE REAR WINDOWS (6) NOT VISIBLE FROM THE STREET. IN-KIND SIZE & TYPE. U-FACTOR 0.32 MAX.

Cost: \$3,200.00

August 24, 2015—Fifth Permit App 201508245070

INTSTALL 2ND UNIT, INSTALL BEDROOM & BATHROOM AND KITCHEN AT GROUND LEVEL

Cost: \$60,000.00

August 27, 2015—Sixth Permit App 201508275417

INSTALL RETAINING WALL, BEAM AND FOOTINGS IN BASEMENT

Cost: \$15,000.00

November 24, 2015---Sixth Complaint 201580691

143 Corbett Ave --- Construction without permits on the followings: 1. Closing out the light well between 143 & 145 Corbett Ave. 2. Digging out lower level to put in a new unit. 3. Completely redid the back deck. It's closed in and made it part of the house, completely blocking our view.

DBI Closed December 2, 2015 *Complaint not valid. Multiple permits issued and filed. See PTS for permits and scopes of work.*

November 25, 2015—Seventh Permit App 201511253643

INFILL LIGHTWELL ON SOUTHWEST SIDE OF THE HOUSE.

Cost: \$15,000.00

March 9, 2016—Eight Permit App 201603091590

GIRDER REPLACEMENT AT LOWER & BASEMENT LEVELS, ADD FOUNDATION UPGRADES.

Cost: \$8,000.00

August 18, 2016—Ninth Permit App 201608195515

TO OBTAIN FINAL INSPECTION FOR WORK APPROVED UNDER PA#201408113493, 201409186685, 201411252473. ALL WORK IS COMPLETE.

Cost: \$1.00

August 10, 2016—Seventh Complaint 201631352

143 Corbett Ave. --- Caller states please inspect. Caller states I want to make sure that this house has permits, and that it is safe to do the work that is being done at this location. This work has been going on for 2 years and there is also scaffolding there on and off and excavation. No Signs posted.

September 16, 2016---Tenth Permit App 201609167972

REVISION TO PERMIT #201511253643: INFILL ON LIGHTWELL ON EAST SIDE OF BUILDING AS NOTED ON PLAN. CLERICAL ERROR SHOWS WEST.

Cost: \$1.00

Chronology of Complaints and Permit Applications at 143 Corbett Avenue

October 24, 2016 --DBI issued Notice of Violation ("NOV") # 201631352 Based on Complaint from **August 10, 2016**---Senior Inspectors Found Multiple Violations

A site inspection and a review of issued building permits has revealed that work is being performed that exceeds the scope of work approved. The property is described on city record[s] as a 2-story building. At time of inspection it was noted that the property appears to have four levels. Two levels have been created below street level. New Framing has been done at new floors including the installation of new bathrooms. Backyard level has been excavated and is lower than previous. Retaining walls have been undermined. A new deck has been constructed at roof top level.

November 23, 2016—Eleventh Permit App 201611233483

*TO COMPLY WITH NOV 201631352: INSTALL TEMP SHORING TO LOWER
LEVEL SPACE PER STOP WORK VIOLATION REQUEST OF BLD OFFICIAL.
INSTALL NEW RETAINING WALL AT REAR YARD AS PER PLANS*

Cost:

\$10,000.00

Jennifer and Chip appealed this permit because the permit and the plans both falsely state that this is an "existing" four story building. They want to see the consolidation permit and plans ordered by DBI to understand what was there before work started, work has been conducted to date and what is planned by the Sponsors.

Exhibit 6



CORRECT HOME FACTS

♡ SAVE

⊘ HIDE

GET UPDATES

SHARE

M City, State, or Zip

[Public View](#)[Owner View](#)

California · San Francisco · 94114 · Corona Heights · 143 Corbett Avenue

143 Corbett Ave, San Francisco, CA 94114

SOLD:
\$1,834,000
Sold on 05/09/14
Zestimate®:
\$2,361,761
[Ask an agent](#)

3 beds · 4 baths · **! sqft**

Edit home facts for a more accurate Zestimate.

Est. Refi
Payment
\$7,257/mo



[See current rates](#)

Thinking About Selling?

Find a local agent who can give you a professional estimate of your home value.

[Find an Agent](#)

143 Corbett Ave, San Francisco, CA is a single family home that

1476

Home Shoppers are Waiting



284 shoppers are looking in your neighborhood and price range.

Your name

Phone

Email

I own this home and would like to ask an agent about selling 143

[Contact Agent](#)

Or call 415-408-7135 for more info

Similar Homes for Sale

**FOR SALE****\$2,200,000**

2 beds, 2.5 baths, 1900 ...
[232 Corbett Ave, San Fr...](#)

**FOR SALE**

contains 2,322 sq ft and was built in 1911. It contains 3 bedrooms and 4 bathrooms. This home last sold for \$1,834,000 in May 2014.

The Zestimate for this house is \$2,361,761, which has increased by \$19,094 in the last 30 days. The Rent Zestimate for this home is \$8,000/mo, which has decreased by \$500/mo in the last 30 days. The property tax in 2015 was \$7,304. The tax assessment in 2015 was \$1,870,642, an increase of 215% over the previous year.

FACTS

- Lot: 1,829 sqft
- Single Family
- Built in 1911
- All time views: 746
- Last sold: May 2014
- for \$1,834,000
- Last sale price/sqft: \$790
- Great solar potential
- Sun Number™: 77 ?

FEATURES

CONSTRUCTION

- Room count: 7
- Stories: 2
- Unit count: 1

OTHER

- Floor size: 2,322 sqft
- Parcel #: 2656 060
- Zillow Home ID: 15128492



\$1,975,000

3 beds, 2.0 baths, 1438 ...
[3412 Market St, San Fra...](#)



FOR SALE

\$1,845,000

3 beds, 2.5 baths, 2005 ...
[371 Douglass St, San Fr...](#)



FOR SALE

\$1,700,000

2 beds, 2.0 baths, 1880 ...
[457 Roosevelt Way, San...](#)



FOR SALE

\$2,595,000

3 beds, 2.5 baths, 2695 ...
[196 Graystone Ter, San ...](#)

[See listings near 143 Corbett Ave](#)

[Report this ad](#)

Nearby Similar Sales

SOLD: \$2,175,000

Sold on 8/19/2016

4 beds, 3.5 baths, 2850 sqft

[498 Corbett Ave, San Francisco, CA 94114](#)

SOLD: \$2,200,000

Sold on 10/6/2016

3 beds, 3.0 baths, 1543 sqft

[3943 21st St, San Francisco, CA 94114](#)

SOLD: \$2,205,000

Sold on 8/29/2016

3 beds, 3.0 baths, 1987 sqft

[70 Douglass St, San Francisco, CA 94114](#)

SOLD: \$2,250,000

Sold on 12/13/2016

3 beds, 3.0 baths, 2060 sqft

[4076 19th St, San Francisco, CA 94114](#)

SOLD: \$2,300,000

Sold on 6/17/2016

3 beds, 3.0 baths, 2062 sqft

[135 Graystone Ter, San Francisco, CA 94114](#)

[See sales similar to 143 Corbett Ave](#)

[Less ^](#)[County website](#)[See data sources](#)

Zestimate Details

[Add owner estimate](#)Zestimate [?]

\$2,361,761

+\$19,094

Last 30 days

\$2.20M

\$2.48M

Zestimate range

Rent Zestimate [?]

\$8,000/mo

-\$500

Last 30 days

\$4K

\$12K

Zestimate range

[I disagree with my Zestimate](#)

Zestimate ▾

1 year

5 years

10 years

Improve Your Home Value [?]

PROJECT	PROJECT COST	ADDED VALUE
Upscale Major Kitchen Remodel	\$138,648	+\$199,592
Upscale Bathroom	\$65,922	+\$90,475

Remodel		
Roofing Replacement	\$26,506	+\$26,734
Vinyl Window Replacement	\$16,866	+\$19,071
Siding Replacement	\$18,350	+\$17,084
Deck Addition	\$14,960	+\$14,643
Entry Door Replacement	\$3,362	+\$3,592
Fiberglass Attic Insulation	\$1,413	+\$1,630

[See More Home Improvement Inspiration](#)

Price / Tax History

[Price History](#) Tax History

DATE	EVENT	PRICE		\$/SQFT	SOURCE	
05/09/14	Sold	\$1,834,000	+361%	\$789	Public Record	🚩
07/14/94	Sold	\$398,000	+330%	\$171	Public Record	🚩
01/31/94	Sold: Foreclosed to lender	\$92,503		\$39	Public Record	🚩

Neighborhood: Corona Heights

MEDIAN ZESTIMATE  FORECLOSURES (per 10K)

\$1,413,124.9

 -3.6%

Past 12 months

0.3 0.9

1479

Cor... San United
Hei... Fra... States

Zillow predicts [Corona Heights home values](#) will fall 0.6% next year, compared to a 0.4% decrease for San Francisco as a whole. Among Corona Heights homes, this home is... [read more](#) ✓

NEIGHBORHOOD MAP



NEARBY HOMES

<

OFF MARKET

\$1,515,51...

1 day on Zillow ■ 145...

OFF MARKET

\$1,697,24...

1 day on Zillow ■ 137...

>

Affordability Calculator

Annual income

\$ 70,000

You can afford a house up to 1480

\$ 70,000

Calculate by
payment

Monthly
debts

\$ 250

Down
payment

\$ 366,800

Advanced 

\$692,684

Based on your income, a house at this price should **fit comfortably** within your budget.

Get pre-qualified

Get pre-qualified

Home Expenses

Nearby Schools in San Francisco

SCHOOL RATING		GRADES		DISTANCE
9	McKinley Elementary	K-5		0.4 mi
out of 10				
6	Everett Middle	6-8		0.8 mi
out of 10				
4	Mission High	9-12		0.9 mi
out of 10				

1481

Data by [GreatSchools.org](#) 

[More schools in San Francisco](#)

Disclaimer: School attendance zone boundaries are provided by a third party and subject to change. Check with the applicable school district prior to making a decision based on these boundaries.

About the ratings: GreatSchools ratings are based on a comparison of test results for all schools in the state. It is designed to be a starting point to help parents make baseline comparisons, not the only factor in selecting the right school for your family. [Learn more](#)

Home Shoppers are Waiting



340 shoppers are looking in your neighborhood and price range.

 Your name

 Phone

 Email

I own this home and would like to ask an agent about selling 143 Corbett Ave, San Francisco,

Contact Agent

Or call 415-968-9609 for more info

[Report this ad](#)**NEARBY CITIES**

Real Estate in San Francisco

NEARBY NEIGHBORHOODS

Real Estate in Bayview

Real Estate in Bernal Heights

Real Estate in Castro-Upper Market

Real Estate in Central Richmond

Real Estate in Central Sunset

[More](#)

NEARBY ZIP CODES

Real Estate in 94102

Real Estate in 94109

Real Estate in 94110

Real Estate in 94112

Real Estate in 94114

[More](#)

OTHER SAN FRANCISCO TOPICS

Apartments for Rent in 94114

Houses for Sale in 94114

Houses for Rent in 94114

94114 Real Estate

San Francisco Condos

[More](#)

143 Corbett Ave, San Francisco, CA, 94114 is a single family home of 2,322 sqft on a lot of 1,829 sqft (or 0.04 acres). Zillow's Zestimate® for 143 Corbett Ave is \$2,361,761 and the Rent Zestimate® is \$8,000/mo. This single family home has 3 bedrooms, 4 baths, and was built in 1911. The 2 bed single family home at **232 Corbett Ave** in **San Francisco** is comparable and priced for sale at \$2,200,000. This home is located in Corona Heights, San Francisco in zip code 94114. **Bayview** and **Bernal Heights** are nearby neighborhoods. Nearby ZIP codes include **94117** and **94115**.

ABOUT ZESTIMATES RESEARCH JOBS HELP ADVERTISE TERMS OF USE & PRIVACY
AD CHOICE COOKIE PREFERENCES BLOG MOBILE APPS



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Exhibit 7

REDFIN

143 Corbett Ave
San Francisco, CA 94114

Status: Sold Source: Public Records

\$2,140,139
Redfin Estimate

\$1,834,000
Last Sold Price

—
Beds

3
Baths

2,322 Sq. Ft.
\$922 / Sq. Ft.

Built: 1911



Joanna Rose
REDFIN Real Estate Agent

Joanna recently closed 10
homes in Southwest San
Francisco

Take a Virtual Tour About Selling



1 of 3 Redfin Agents in this area



(415) 944-4607

Questions? Call Joanna's Team

Track This Home's Estimate

☒ I'm the Owner

Track this home's value in our Home Report email and on your Owner Dashboard.

Redfin Estimate for 143 Corbett Ave
\$2,140,139

+ \$306K since sold in 2014

<https://www.redfin.com/CA/San-Francisco/143-Corbett-Ave-94114/home/894711>

1/25/2017

143 Corbett Ave, San Francisco, CA 94114

Estimate based on 3 baths, 2,322 sq. ft.

Full Facts

Track this Estimate

Track this home's value in our free Home Report email.

Comparable Homes



Estimate based on these comparable homes. Does something look off? Send Feedback

Home Sale Proceeds

Redfin Agent

vs

Traditional Agent

\$643K

Total Proceeds

\$622K

\$32K (1.5%)

Seller Agent Commission

\$54K (2.5%)

Home Sale Price

\$2,140,139

Outstanding Mortgage

\$1,394,000

Redfin vs. Traditional Agent Services

Additional Taxes & Fees

Contact a Redfin Agent who can:

- Save you money on commissions with a 1.5% listing fee
- Sell your home for \$4,300 more on average

First Name

Last Name

Email

Phone

(xxx) xxx-xxxx

Contact Listing Agent

By signing up you agree to the [Terms of Service](#) and [Privacy Policy](#).

143 Corbett Ave is a house in San Francisco, CA 94114. This 2,322 square foot house sits on a 1,829 square foot lot and features 3 bathrooms. This property was built in 1911 and last sold for \$1,834,000. Based on Redfin's San Francisco data, we estimate the home's value is now \$2,140,139, which is 16.7% more than when it was last sold. Comparable nearby homes include 231 Upper Ter, 74 Eagle St, and 22 Saturn St. Nearby schools include Harvey Milk Civil Rights Elementary School, Rooftop Elementary School and Eureka Learning Center. The closest grocery stores are Upper Terrace Market. The Rainbow and Mollie Stone's Markets. Nearby coffee shops include Five Star Chocolate Truffles & Coffee, Castro Tarts and Spike's Coffees & Tea. Nearby restaurants include Mama Ji's, Firewood Cafe and Takara Sushi. 143 Corbett Ave is near Community Park, Kite Hill and Seward Mini Park. There are excellent bike lanes and the terrain has very steep hills. 143 Corbett Ave is very bikeable, biking is convenient for most trips. This address can also be written as 143 Corbett Avenue, San Francisco, California 94114.



Map Nearby Home Info

Expand Map

Street View

Directions

Public Facts for 143 Corbett Ave

Taxable Value

1/25/2017

143 Corbett Ave, San Francisco, CA 94114

Land	\$1,329,418	Taxes (2015)
Additions	\$569,750	\$22,467
Total	\$1,899,168	

Home Facts

Edit Facts

Beds	—
Baths	3
Finished Sq. Ft.	2,322
Unfinished Sq. Ft.	—
Total Sq. Ft.	2,322
Floors	2
Lot Size	1,829 Sq. Ft.
Style	Single Family Residential
Year Built	1911
Year Renovated	—
County	San Francisco County
APN	2656060

Home facts updated by county records on Nov 17, 2016.

Property Details for 143 Corbett Ave

Interior Features
<div><div>Unit Information</div><div><ul style="list-style-type: none"># of Units: 1</div><div>Room Information</div><div><ul style="list-style-type: none"># of Rooms: 7</div><div>Bathroom Information</div><div><ul style="list-style-type: none"># of Baths (Total): 3</div></div>
Exterior Features, Taxes / Assessments
<div><div>Exterior Information</div><div><ul style="list-style-type: none">Framework Structure Material: Wood Frame</div><div>Assessor Information</div><div><ul style="list-style-type: none">Year of Last Land Appraisal: 2016</div></div>
Property / Lot Details
<div><div>Lot Information</div><div><ul style="list-style-type: none">Primary Lot Number: 60Lot Size (Sq. Ft.): 1,829</div><div>Property Information</div><div><ul style="list-style-type: none">Property Legal Description: BLK C LOT 60Building/Structure Sq.Ft.: 2,322Total number of Stories: 2Total Sq. Ft. of All Structures: 2,322Total Sq. Ft. of All Structures Description: Living AreaTotal Finished Sq. Ft. of All Buildings on Property: 2,322Total Assessor Sq. Ft. of Buildings: 2,322</div></div>

Property History for 143 Corbett Ave

Date	Event & Source	Price
May 9, 2014	Sold (Public Records) Public Records	\$1,834,000
Jul 14, 1994	Sold (Public Records) Public Records	\$398,000
Aug 25, 1988	Sold (Public Records) Public Records	\$480,000

For completeness, Redfin often displays two records for one sale: the MLS record and the public record. [Learn More.](#)

Activity

 — Views	 — Favorites	 — X-Outs	 — Redfin Tours
---	---	---	--

Schools

Serving This Home Elementary Middle High

School Name & GreatSchools Rating	Distance
9 McKinley Elementary School	0.5 mi
6 Everett Middle School	0.7 mi
5 Mission High School	0.8 mi
NR Wells (Ida B.) High School	1.0 mi
6 Academy of Arts And Sciences	1.2 mi

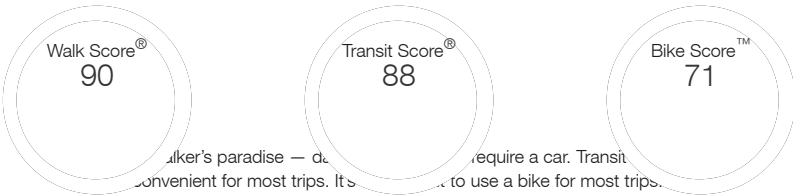
Only showing 5 of 16 schools serving this home

School data provided by [GreatSchools](#). School service boundaries are intended to be used as reference only. To verify enrollment eligibility for a property, contact the school directly.

Neighborhood Info for 143 Corbett Ave

California > San Francisco > Eureka Valley

Transportation in Eureka Valley



Eureka Valley Real Estate Sales (Last 90 days)

Median List Price	\$2,399,000	Avg. # Offers	—
-------------------	-------------	---------------	---

1489



Median \$ / Sq. Ft.	\$1,040	Avg. Down Payment	—
Median Sale / List	102%	# Sold Homes	4

What It Takes to Win an Offer near Eureka Valley

 **~\$950K** **3** **1** **~1,000**
Price Beds Baths Sq. Ft.

WINNING OFFER

100% Offer-to-list ratio
31 Days on market
4 Competing Offers
— Down payment

 **Winnie Lai**
Redfin Agent

 **~\$1M** **1** **2** **~1,000**
Price Beds Baths Sq. Ft.

OFFER NOT ACCEPTED

111% Offer-to-list ratio
24 Days on market
5 Competing Offers
— Down payment

Multiple offers. Received a multiple counter offer but buyer chose not to proceed any higher in price.

 **Ali Mafi**
Redfin Agent

 **~\$2.5M** **4** **2.5** **~2,250**
Price Beds Baths Sq. Ft.

OFFER NOT ACCEPTED

105% Offer-to-list ratio
12 Days on market
12 Competing Offers
— Down payment

Great home that many people wanted. List price was way under value.

 **Ali Mafi**
Redfin Agent

 **~\$2M** **4** **3** **~2,750**
Price Beds Baths Sq. Ft.

WINNING OFFER

102% Offer-to-list ratio
55 Days on market
4 Competing Offers
— Down payment

Multiple offers were received for this building despite the listing agent not advertising an offer due date. Learning that a decision was going to be made quickly, my buyers scrambled to wrap their heads around an offer and see the unit for a second time. Speed was of the essence and we quickly submitted an offer just 24 hours after seeing the home for the first time. Through good communication with the listing agent, I was able to fight to keep the terms of the offer in favor of my clients and ultimately we won the acceptance!

 **Derrick Lee**
Redfin Agent

 **~\$1.25M** **2** **1** **~1,500**
Price Beds Baths Sq. Ft.

OFFER NOT ACCEPTED

93% Offer-to-list ratio
13 Days on market
7 Competing Offers
— Down payment

We put in a strong offer but with 7 offers total there was too much competition.

 **Chris Amarante**
Redfin Agent

Median Real Estate Values

Location	List Price	\$ / Sq. Ft.	Sale / List
----------	------------	--------------	-------------

1490

1/25/2017

143 Corbett Ave, San Francisco, CA 94114

Southwest San Francisco	\$1,260,000	\$780	109.0%
Northwest San Francisco	\$3,195,000	\$1,145	106.2%
Eureka Valley	\$2,247,500	\$1,100	99.0%
94114	\$3,200,000	\$1,273	102.6%
San Francisco	\$1,380,000	\$797	108.5%
San Francisco County	\$1,384,000	\$798	108.5%

\$/Sq. Ft. Houses in 94114

Similar Homes to 143 Corbett Ave

Nearby Homes for Sale

OPEN SAT, 2PM

0.5 mi.

\$3,265,000

9 Clarendon Ave

San Francisco, CA 94114

3

Beds

3

Baths

4,210

Sq. Ft.

OPEN THU, 5:30PM

0.4
mi.

\$2,595,000

196 Graystone Ter

San Francisco, CA 94114

3

2.5

2,695

Beds

Baths

Sq. Ft.

0.8
mi.

\$1,389,000

20-22 Belcher St

San Francisco, CA 94114

2

1

1,650

Beds

Baths

Sq. Ft.

Exhibit 8

Find out what your home is worth.

Get My Home Value

Contact for estimate >

See today's refinance rates » |

- ☒  **Lance King**
(415) 408-7201 ★★★★★ (17)
11 Recent Sales
- ☐  **Todd Wiley**
(415) 969-7203 ★★★★★ (28)
15 Recent Sales

Your Name

Email

Phone

I'm interested in selling my home at 143 Corbett Ave, San Francisco, CA 94114.

Request Info

By sending, you agree to Trulia's [Terms of Use](#) & [Privacy Policy](#).

OFF MARKET: PUBLIC RECORD

143 Corbett Ave

San Francisco, CA 94114 (Castro)

Single-Family Home
3 full Bathrooms
2,322 sqft

Lot size: 1,829 sqft
Built in 1911
Provided By:



🕒 See your commute times

✎ Edit Home Facts

For Sale in San Francisco



Buy

Find Homes Nearby

\$2,599,000 4bd, 5 full ba
1265 Bosworth St
San Francisco

\$2,595,000
3bd, 2 full, 1 partial ba
196 Graystone Ter
San Francisco

\$1,985,000 3bd, 1 full ba
420 Arkansas St
San Francisco

\$2,800,000 5bd, 2 full ba
390-392 Fair Oaks St
San Francisco

Rentals in San Francisco



Rent

Find Rentals Nearby

\$4,750 2bd, 2 full ba
435 China Basin St
San Francisco

\$2,334 - \$6,510 Studio
900 Folsom St
San Francisco

\$3,225 - \$5,650 Studio
2 Townsend St
San Francisco

\$4,999 2bd, 1 full ba
1376 McAllister St
San Francisco

Request More Info

Get Pre-Qualified

❤ Save

✉ Share

Property Details for 143 Corbett Ave

1494

Sold > CA > San Francisco > 94114 > Castro > 143 Corbett Ave

Description provided by Trulia

This is a Single-Family Home located at 143 Corbett Avenue, San Francisco, CA. 143 Corbett Ave has 3 baths and approximately 2,322 square feet. The property has a lot size of 1,829 sqft and was built in 1911. The average list price for similar homes for sale is \$2,199,800. 143 Corbett Ave is in the Castro neighborhood in San Francisco, CA. The average list price for Castro is \$2,780,000.

143 Corbett Ave Public Records

Official property, sales, and tax information from county (public) records as of 07/2016:

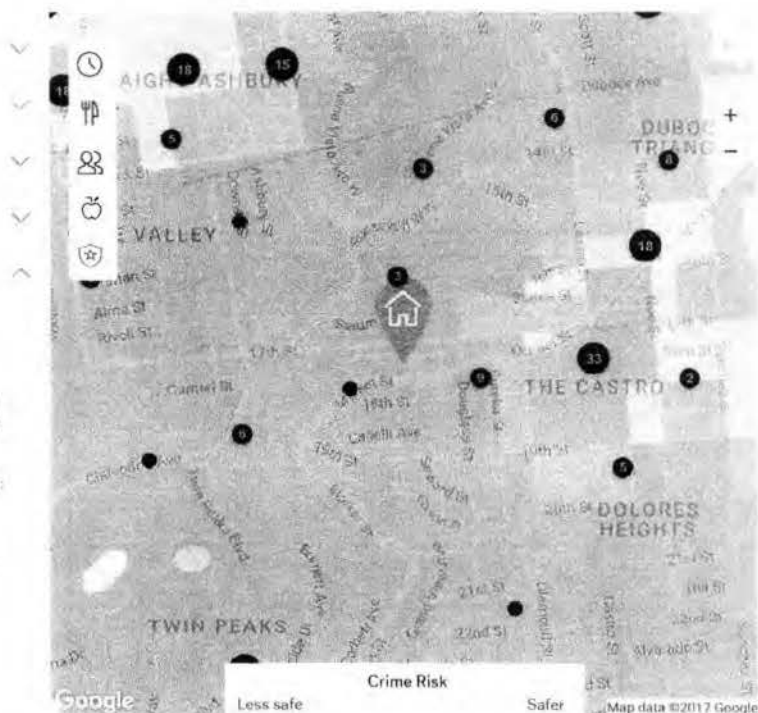
Single Family Residential	3 Bathrooms	2,322 sqft
Lot Size: 1,829 sqft	Built In 1911	Stories: 2 story
7 Rooms	1 Unit	Construction: Wood
Subdivision: MAP PORTION P	County: San Francisco	Tax Rate Code Area: 1-000
ARK LANE TRACT		

See businesses, schools, and crimes near this home

- ⌚ Calculate your commute time from this home
- 🛒 MaMa's, Bi Rite Market, Poesia within 1 mile of this home
- 👤 4.3 median age, 11% married, 88% college graduate in this area
- 🍎 See 10 schools assigned to this home. McKinley Elementary
- 🚓 See reported crimes near this home

Date	Type	Description
01/14/2017	Theft	GRAND THEFT, THEFT
01/08/2017	Theft	LARCENY/THEFT, GRAND THEFT FROM LOCKED AUTO. Resolution: NONE, PD District: RICHMOND
01/08/2017	Robbery	ROBBERY, SHOPLIFTING, FORCE AGAINST AGENT, Resolution: ARREST, BOOKED, PD District: MISSION
01/08/2017	Vandalism	VANDALISM, MALICIOUS MISCHIEF, GRAFFITI, Resolution: ARREST, BOOKED, PD District: PARK
01/08/2017	Theft	VEHICLE THEFT, STOLEN MOTORCYCLE, Resolution: NONE, PD District: RICHMOND

Data provided by SpotCrime.com and CrimeReports.com



Affordability

Property Taxes and Assessment of 143 Corbett Ave

Year	Tax	Assessment	Market
2016	\$22,747	\$1,899,168 ①	N/A

Source: Public Records

Ask a question about Castro, San Francisco, CA

Ask agents or local experts anything

Get more information

Price History & Trends

Real Estate Trends in Castro

①

Request more info

Get Pre-Qualified

Save

Share

1/25/2017

143 Corbett Ave, San Francisco, CA 94114 | Trulia

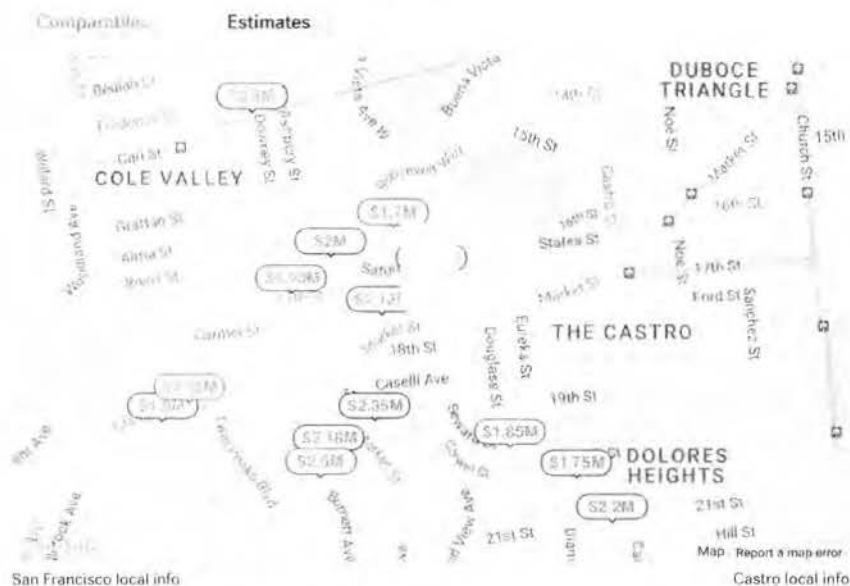
Median sale price for all homes in Castro

\$1,482,000

0% below listing price

[View more Sales trends for Castro](#)

Comparables and Estimates around Castro



Sold Homes near 143 Corbett Ave

Address	Distance	Property Type	Sold price	Sold date	Bed	Bath	Sqft
143 Corbett Ave, San Francisco, CA 94114	0.08	Single-Family Home	\$2,021,500	09/20/16	-	2	1,627
143 Corbett Ave, San Francisco, CA 94114	0.09	Single-Family Home	\$2,125,000	05/02/16	-	1	1,332
143 Corbett Ave, San Francisco, CA 94114	0.32	Single-Family Home	\$2,175,000	08/18/16	4	2	2,130
143 Corbett Ave, San Francisco, CA 94114	0.53	Single-Family Home	\$1,900,000	05/02/16	-	2	2,075
143 Corbett Ave, San Francisco, CA 94114	0.41	Single-Family Home	\$1,750,000	05/03/16	-	2	1,472
143 Corbett Ave, San Francisco, CA 94114	0.21	Single-Family Home	\$2,000,000	11/30/16	2	2	1,906
143 Corbett Ave, San Francisco, CA 94114	0.26	Single-Family Home	\$1,925,000	12/08/16	3	3	2,800
143 Corbett Ave, San Francisco, CA 94114	0.22	Single-Family Home	\$2,350,000	06/13/16	2	3	2,380
143 Corbett Ave, San Francisco, CA 94114	0.50	Single-Family Home	\$2,500,000	12/15/16	3	2	1,463
143 Corbett Ave, San Francisco, CA 94114	0.51	Single-Family Home	\$2,200,000	10/05/16	-	3	1,543

[View all San Francisco real estate](#)

Contact Info for 143 Corbett Ave



Lance King
(415) 408-7201
11 Recent Sales

(1/)

Your Name



Todd Wiley
(415) 969-7203
15 Recent Sales

(28)

Email


Phone

I'm interested in selling my home at 143 Corbett Ave, San Francisco, CA 94114.

[Contact your agent](#)[Get Pre-Qualified](#)[Save](#)[Share](#)[Want to be listed here? Learn More](#)


New Listings

San Francisco, CA




\$1,850,000 3 bd 2 ba

39 Samoset St
San Francisco




\$1,688,000 5 bd 3 ba

2131 35th Ave
San Francisco




\$1,600,000 2 bd

207 King St
San Francisco




\$1,595,000 4 bd

145 Joost Ave
San Francisco




\$1,595,000

898 Carolina St
San Francisco



\$2,098,000 2 bd 2 ba

425 1st St #5401
San Francisco



\$1,550,000 4 bd 2 ba

4820 Fulton St
San Francisco

Communities near 143 Corbett Avenue, San Francisco, CA

- San Francisco & Nearby Cities
- Brisbane Real Estate | Daly City Real Estate | South San Francisco Real Estate | San Bruno Real Estate | [More](#) ✓
- San Francisco Neighborhoods
- Duboce Triangle | Mission Dolores | Buena Vista Park and Dolores Park | Noe Valley | [More](#) ✓
- San Francisco Property Types
- Single-Family Homes | Condos | Townhomes | Coops | [More](#) ✓
- Real Estate and Mortgage Guides
- San Francisco Real Estate Guide | San Francisco Schools | California Home Prices | San Francisco Mortgage | [More](#) ✓
- Trulia Corporate
- About Trulia | About Zillow Group | Careers | Investor Relations | [More](#) ✓

Buy Sell Rent Mortgage Find an Agent


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Exhibit 9

OFFICIAL COPY



APPROVED
Dept. of Building Insp.

AUG 11 2014

Tom C. Hui
TOM C. HUI, S.E.
DIRECTOR
DEPT. OF BUILDING INSPECTION

APPROVED FOR ISSUANCE
8/11/14

BLDG. FORM 3/8
APPLICATION NUMBER 2014-0811-3493
APPROVAL NUMBER

COMPLAINT # 201489181

**APPLICATION FOR BUILDING PERMIT
ADDITIONS, ALTERATIONS OR REPAIRS**

FORM 3 ☐ OTHER AGENCIES REVIEW REQUIRED
FORM 8 ☒ OVER-THE-COUNTER ISSUANCE
NUMBER OF PLAN SETS 9/6

**CITY AND COUNTY OF SAN FRANCISCO
DEPARTMENT OF BUILDING INSPECTION**

APPLICATION IS HEREBY MADE TO THE DEPARTMENT OF BUILDING INSPECTION OF SAN FRANCISCO FOR PERMISSION TO BUILD IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS SUBMITTED HERewith AND ACCORDING TO THE DESCRIPTION AND FOR THE PURPOSE HEREINAFTER SET FORTH.

DO NOT WRITE ABOVE THIS LINE

DATE FILED 8/11/14	FILED FEE RECEIPT NO.	(1) STREET ADDRESS OF JOB 143 CORBETT AVE	BLOCK & LOT 2656/260
PERMIT NO. 1332783	ISSUED 8-11-14	(2A) ESTIMATED COST OF JOB \$10,500	(2B) REVISED COST: BY: 13000 DATE: 8/11/14

INFORMATION TO BE FURNISHED BY ALL APPLICANTS

LEGAL DESCRIPTION OF EXISTING BUILDING		LEGAL DESCRIPTION OF EXISTING BUILDING	
(4A) TYPE OF CONSTR. 5B	(5A) NO. OF STORIES OF OCCUPANCY 3	(6A) NO. OF BASEMENTS AND CELLARS 1	(7A) PRESENT USE: SINGLE FAMILY
(4B) TYPE OF CONSTR. 5B	(5B) NO. OF STORIES OF OCCUPANCY 3	(6B) NO. OF BASEMENTS AND CELLARS 1	(7B) PROPOSED USE (LEGAL USE) SINGLE FAMILY
(10) IS AUTO RUNWAY TO BE CONSTRUCTED OR ALTERED?		(11) WILL STREET SPACE BE USED DURING CONSTRUCTION?	
YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>		YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	
(12) ELECTRICAL WORK TO BE PERFORMED?		(13) PLUMBING WORK TO BE PERFORMED?	
YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>		YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	
(14) GENERAL CONTRACTOR EL SANDOVAL CO 1349 DELANCEY ST. 94110 734-7772 706303	ADDRESS 143 CORBETT AVE OF. 94110	ZIP 94110	PHONE (FOR CONTACT BY DEPT.) (415) 367-7707
(18) WRITE IN DESCRIPTION OF ALL WORK TO BE PERFORMED UNDER THIS APPLICATION (REFERENCE TO PLANS IS NOT SUFFICIENT)			

REPAIR DRIP POT ON FLOOR & WALL OF THIRD FLOOR BATHROOM
REPLACE PLUMBING FIXTURES. EXISTING LIGHTING & VENTILATION TO REMAIN.

ADDITIONAL INFORMATION

(17) DOES THIS ALTERATION CREATE ADDITIONAL HEIGHT OR STORY TO BUILDING?	YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	(18) IF (17) IS YES, STATE NEW HEIGHT AT CENTER LINE OF FRONT	N/A
(21) WILL SIDEWALK OVER SUB-SIDEWALK SPACE BE REPAIRED OR ALTERED?	YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	(22) WILL BUILDING EXTEND BEYOND PROPERTY LINE?	YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>
(25) ARCHITECT OR ENGINEER (DESIGN <input type="checkbox"/> CONSTRUCTION <input type="checkbox"/>)		ADDRESS	
(26) CONSTRUCTION LENDER (ENTER NAME AND BRANCH DESIGNATION IF ANY. IF THERE IS NO KNOWN CONSTRUCTION LENDER, ENTER "UNKNOWN")		ADDRESS	

IMPORTANT NOTICES

No change shall be made in the character of the occupancy or use without first obtaining a Building Permit authorizing such change. See San Francisco Building Code and San Francisco Housing Code.

No portion of building or structure or scaffolding used during construction is to be closer than 10' to any wall containing more than 700 volts. See Sec 386, California Penal Code.

Pursuant to San Francisco Building Code, the building permit shall be posted on the job. The owner is responsible for approved plans and application being kept at building site.

Grade lines as shown on drawings accompanying this application are assumed to be correct. If actual grade lines are not the same as shown, revised drawings showing correct grade lines, cuts and fills, and complete details of retaining walls and wall footings must be submitted to this department for approval.

ANY STIPULATION REQUIRED HEREON OR BY CODE MAY BE APPEALED.

BUILDING NOT TO BE OCCUPIED UNTIL CERTIFICATE OF FINAL COMPLETION IS POSTED ON THE BUILDING OR PERMIT OF OCCUPANCY GRANTED, WHEN REQUIRED.

APPROVAL OF THIS APPLICATION DOES NOT CONSTITUTE AN APPROVAL FOR THE ELECTRICAL WIRING OR PLUMBING INSTALLATIONS. A SEPARATE PERMIT FOR THE WIRING AND PLUMBING MUST BE OBTAINED. SEPARATE PERMITS ARE REQUIRED IF ANSWER IS "YES" TO ANY OF ABOVE QUESTIONS (10) (11) (12) (13) (22) OR (24).

THIS IS NOT A HOLDING PERMIT. NO WORK SHALL BE STARTED UNTIL A BUILDING PERMIT IS ISSUED.

In dwellings, all insulating materials must have a clearance of not less than two inches from all electrical wires or equipment.

CHECK APPROPRIATE BOX
☐ OWNER
☒ LESSEE
☒ CONTRACTOR

☐ ARCHITECT
☐ AGENT
☐ ENGINEER

NOTICE TO APPLICANT

HOLD HARMLESS CLAUSE. The permittee(s) by acceptance of the permit, agree(s) to indemnify and hold harmless the City and County of San Francisco from and against any and all claims, demands and actions for damages resulting from operations under this permit, regardless of negligence of the City and County of San Francisco, and to assume the defense of the City and County of San Francisco against all such claims, demands and actions.

In conformity with the provisions of Section 3800 of the Labor Code of the State of California, the applicant shall have worker's compensation coverage under (i) or (ii) designated below, or shall indicate item (iii), (iv), or (v), whichever is applicable. If however item (vi) is checked, item (iv) must be checked as well. Mark the appropriate method of compliance below.

I hereby affirm under penalty of perjury one of the following declarations:

() I. I have and will maintain a certificate of consent to self-insure for worker's compensation, as provided by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued.

() II. I have and will maintain worker's compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My worker's compensation insurance carrier and policy number are:
Carrier _____
Policy Number _____

() III. The cost of the work to be done is \$150 or less.

() IV. I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the worker's compensation laws of California. I further acknowledge that I understand that in the event that I should become subject to the worker's compensation provisions of the Labor Code of California and fail to comply therewith with the provisions of Section 3800 of the Labor Code, that the permit herein applied for shall be deemed revoked.

() V. I certify as the owner (or the agent for the owner) that in the performance of the work for which this permit is issued, I will employ a contractor who complies with the worker's compensation laws of California and who, prior to the commencement of any work, will file a completed copy of this form with the Central Permits Bureau.

Tom C. Hui
8/11/14

APPLICANT'S CERTIFICATION

I HEREBY CERTIFY AND AGREE THAT IF A PERMIT IS ISSUED FOR THE CONSTRUCTION DESCRIBED IN THIS APPLICATION, ALL THE PROVISIONS OF THE PERMIT AND ALL LAWS AND ORDINANCES THERE TO WILL BE COMPLIED WITH.

SAN FRANCISCO

CONDITIONS AND STIPULATIONS

 REFER TO:
 DEPARTMENT OF
 BUILDING INSPECTION

APPROVED:

Jonathan Chiu, DBI

AUG 11 2014

BUILDING INSPECTOR, DEPT. OF BLDG. INSP.

APPROVED:

☐

MA

DEPARTMENT OF CITY PLANNING

APPROVED:

☐

BUREAU OF FIRE PREVENTION & PUBLIC SAFETY

APPROVED:

☒

Timothy Nagata, DBI

AUG 11 2014

MECHANICAL ENGINEER, DEPT. OF BLDG. INSPECTION

APPROVED:

☐

MA

CIVIL ENGINEER, DEPT. OF BLDG. INSPECTION

APPROVED:

☐

BUREAU OF ENGINEERING

APPROVED:

☐

DEPARTMENT OF PUBLIC HEALTH

APPROVED:

☐

REDEVELOPMENT AGENCY

APPROVED:

☐

HOUSING INSPECTION DIVISION

DATE: _____

REASON: _____

AUG 11 2014

OK to process

NOTIFIED MR. B. Canton

DATE: _____

REASON: _____

NOTIFIED MR. _____

DATE: _____

REASON: _____

NOTIFIED MR. _____

DATE: _____

REASON: _____

NOTIFIED MR. _____

DATE: _____

REASON: _____

NOTIFIED MR. _____

DATE: _____

REASON: _____

NOTIFIED MR. _____

DATE: _____

REASON: _____

NOTIFIED MR. _____

DATE: _____

REASON: _____

NOTIFIED MR. _____

DATE: _____

REASON: _____

NOTIFIED MR. _____

HOLD SECTION - NOTE DATES AND NAMES OF ALL PERSONS NOTIFIED DURING PROCESSING

I agree to comply with all conditions or stipulations of the various bureaus or departments noted on this application, and attached statements of conditions or stipulations, which are hereby made a part of this application.

 Number of attachments ☐

OWNER'S AUTHORIZED AGENT

EX-100
COPY

08/11/2014 10:18 FAX

001

DEPARTMENT OF
BUILDING INSPECTION
FJ SANDOVAL CO.

1448 DOLORES ST. # 5

San Francisco, CA 94110

415-734-7172

Fax: 550-6620

CASL # 705303

August 11, 2014

Re: 143 Corbett Ave.
San Francisco, Ca

To whom it may concern:

I hereby authorize Mr. Javier Solorzano to apply and attain the permits required for above mentioned address at the City and county of San Francisco.

In further question regarding this matter can be sent to myself through letter correspondence or email; francisco@fisandoval.com

Sincerely,

Francisco Sandoval



City and County of San Francisco
Department of Building Inspection



Edwin M. Lee, Mayor
Tom Hui, Acting Director

**PERMIT APPLICANT AND AUTHORIZED AGENT
DISCLOSURE AND CERTIFICATION**

Date: 8/11/14 ☐ New ☐ Amended
Permit Application No. 2014-0817-3993 Job Address: 143 ~~ARABIA~~ CORDBIT AVE

This form must be completed in its entirety in connection with an application for a building permit (Forms 1/2, 3/8, 4/7, 6 and 8).
This form must be amended for all new information or change in information for duration of project. Please be advised that the Department does not regulate permit expeditors/consultants or afford them preferential treatment.

A. Permit Applicant Information

I hereby certify that for the purpose of filling an application for a building or other permit with the Central Permit Bureau, or completion of any from related to the San Francisco Building Code, or to City and County ordinances and regulations, or to state laws and codes, I am the owner, the lessee or the agent of the owner/lessee and am authorized to sign all documented connected with this application or permit.

I declare under penalty of perjury that the foregoing is true and correct. I am the permit applicant and I am

Check box(es):

- ☐ The owner (B) ☐ The lessee (C)
☐ The authorized agent. Check entity(ies):
☐ Architect (D) ☐ Engineer (D)
☒ Contractor (E) ☐ Attorney (F)
☐ Permit Consultant/Expediter (G)
☐ Other _____ (H)

Print Applicant Name Francisco Samponal
Sign Name _____

B. Owner Information

Name PACONIS PACHANAN
Phone (408) 969-7907
Address 143 CORDBIT AVE
S.F. CA 94115
City _____ State _____ Zip _____

C. Lessee Information

Name _____
Phone _____
Address _____
City _____ State _____ Zip _____

D. Architect/Engineer Information

- ☐ None ☐ List of all Architect(s)/Engineer(s) on project:

A. Name _____
☐ Architect ☐ Engineer
Phone No. _____
Firm Name _____
License # _____
Expiration Date _____
Firm Address _____
City _____ State _____ Zip _____

B. Name _____
☐ Architect ☐ Engineer
Phone No. _____
Firm Name _____
License # _____
Expiration Date _____
Firm Address _____
City _____ State _____ Zip _____

C. Name _____
☐ Architect ☐ Engineer
Phone No. _____
Firm Name _____
License # _____
Expiration Date _____
Firm Address _____
City _____ State _____ Zip _____

E. General Contractor Information

Note: Complete separate licensed contractor's statement also.

Name Francisco Samponal
Phone _____
Firm Name F. Samponal & Co.
License # 705209
Expiration Date 2/20/15
Firm Address 1348 DOLores ST #5
S.F. CA 94112
City _____ State _____ Zip _____

- ☐ Contractor not yet selected. If this box is checked; submit an amended form when known.
☐ Owner-Builder. If this box is checked, submit Owner-Builder Declaration Form.

F. Attorney Information

Name _____
Phone _____
Address _____
City _____ State _____ Zip _____

G. Permit Consultant/Expediter

Name _____
Phone _____
Address _____
City _____ State _____ Zip _____

H. Authorized Agent - Others

Name _____
Phone _____
Address _____
City _____ State _____ Zip _____

Please describe your relationship with the owner.

Exhibit 10

SAN FRANCISCO

DEPARTMENT OF
BUILDING INSPECTIONAPPROVED
Dept. of Building Insp.

SEP 18 2014

Tom C. Hui
TOM C. HUI, S.E.
DIRECTOR
DEPT. OF BUILDING INSPECTION

APPROVED FOR ISSUANCE

SEP 18 2014

BLDG. FORM 318
APPLICATION NUMBER
2014-09-18-1645OSHA APPROVAL REQ'D ☐
APPROVAL NUMBERAPPLICATION FOR BUILDING PERMIT
ADDITIONS, ALTERATIONS OR REPAIRSFORM 3 ☐ OTHER AGENCIES REVIEW REQUIREDFORM 8 ☒ OVER-THE-COUNTER ISSUANCE

2

NUMBER OF PLAN SETS

DO NOT WRITE ABOVE THIS LINE

CITY AND COUNTY OF SAN FRANCISCO
DEPARTMENT OF BUILDING INSPECTIONAPPLICATION IS HEREBY MADE TO THE DEPARTMENT OF
BUILDING INSPECTION OF SAN FRANCISCO FOR
PERMISSION TO BUILD IN ACCORDANCE WITH THE PLANS
AND SPECIFICATIONS SUBMITTED HERewith AND
ACCORDING TO THE DESCRIPTION AND FOR THE PURPOSE
HEREINAFTER SET FORTH.

DATE FILED 9/18/14	FILED FEE RECEIPT NO.	(1) STREET ADDRESS OF JOB 143 CORPETH AVENUE	BLOCK & LOT 2656/260
PERMIT NO. 1336365	ISSUED 9/18/14	(2A) ESTIMATED COST OF JOB \$25,000	(2B) REVISED COST: \$25,000 DATE 9.18.14

INFORMATION TO BE FURNISHED BY ALL APPLICANTS					
LEGAL DESCRIPTION OF EXISTING BUILDING					
(4A) TYPE OF CONSTR. EB	(5A) NO. OF STORIES OF OCCUPANCY 2	(6A) NO. OF BASEMENTS AND CELLARS 1	(7A) PRESENT USE: SINGLE FAMILY	(8A) OCCUP. CLASS R3	(9A) NO. OF DWELLING UNITS 1
DESCRIPTION OF BUILDING AFTER PROPOSED ALTERATION					
(4) TYPE OF CONSTR. EB	(5) NO. OF STORIES OF OCCUPANCY 2	(6) NO. OF BASEMENTS AND CELLARS 1	(7) PROPOSED USE (LEGAL USE) SINGLE FAMILY	(8) OCCUP. CLASS R3	(9) NO. OF DWELLING UNITS 1
(10) IS AUTO RUNWAY TO BE CONSTRUCTED OR ALTERED?	YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	(11) WILL STREET SPACE BE USED DURING CONSTRUCTION?	YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	(12) ELECTRICAL WORK TO BE PERFORMED?	YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>
(13) PLUMBING WORK TO BE PERFORMED?	YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	(14) GENERAL CONTRACTOR FJ SANDRUAL CO. 1348 DOLores ST. 94110 734-7132 706303	ADDRESS 143 CORPETH AVE 94114	PHONE 415. 550-6620	EXPIRATION DATE
(15) OWNER - LESSEE (CROSS OUT ONE) RACHAVER RAVI	ADDRESS 143 CORPETH AVE 94114	PHONE (FOR CONTACT BY DEPT.) 415. 550-6620	(16) WRITE IN DESCRIPTION OF ALL WORK TO BE PERFORMED UNDER THIS APPLICATION (REFERENCE TO PLANS IS NOT SUFFICIENT)		
INSTALL NEW BATHROOM ON THIRD FLOOR. REMODEL EXISTING BATHROOM ON THIRD FLOOR. TO ADDRESS COMPLAINT #20149941.					
ADDITIONAL INFORMATION					
(17) DOES THIS ALTERATION CREATE ADDITIONAL HEIGHT OR STORY TO BUILDING?	YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	(18) IF (17) IS YES, STATE NEW HEIGHT AT CENTER LINE OF FRONT N/A	(19) DOES THIS ALTERATION CREATE DECK OR WORK. EXTENSION TO BUILDING?	YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	(20) IF (19) IS YES, STATE NEW GROUND FLOOR AREA N/A SQ. FT.
(21) WILL SIDEWALK OVER SUB-SIDEWALK SPACE BE REPAIRED OR ALTERED?	YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	(22) WILL BUILDING EXTEND BEYOND PROPERTY LINE?	YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	(23) ANY OTHER EXISTING BLDG. ON LOT? (IF YES, SHOW ON PLOT PLAN)	YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>
(24) DOES THIS ALTERATION CONSTITUTE A CHANGE OF OCCUPANCY?	YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	(25) ARCHITECT OR ENGINEER (DESIGN <input type="checkbox"/> CONSTRUCTION <input checked="" type="checkbox"/> N/A	ADDRESS	CALIF. CERTIFICATE NO.	
(26) CONSTRUCTION LENDER (ENTER NAME AND BRANCH DESIGNATION IF ANY. IF THERE IS NO KNOWN CONSTRUCTION LENDER, ENTER "UNKNOWN") N/A			ADDRESS		

IMPORTANT NOTICES

No change shall be made in the character of the occupancy or use without first obtaining a Building Permit authorizing such change. See San Francisco Building Code and San Francisco Housing Code.

No portion of building or structure or scaffolding used during construction is to be closer than 10' to any wall containing more than 750 volts. See Sec 305, California Penal Code.

Pursuant to San Francisco Building Code, the building permit shall be posted on the job. The owner is responsible for approved place and application being kept at building site.

Grade lines as shown on drawings accompanying this application are assumed to be correct. If actual grade lines are not the same as shown, revised drawings showing correct grade lines, cuts and fills, and complete details of retaining walls and wall footings must be submitted to this department for approval.

ANY STIPULATION REQUIRED HEREIN OR BY CODE MAY BE APPEALED.

BUILDING NOT TO BE OCCUPIED UNTIL CERTIFICATE OF FINAL COMPLETION IS POSTED ON THE BUILDING OR PERMIT OF OCCUPANCY GRANTED, WHEN REQUIRED.

APPROVAL OF THIS APPLICATION DOES NOT CONSTITUTE AN APPROVAL FOR THE ELECTRICAL WIRING OR PLUMBING INSTALLATIONS. A SEPARATE PERMIT FOR THE WIRING AND PLUMBING MUST BE OBTAINED. SEPARATE PERMITS ARE REQUIRED IF ANSWER IS "YES" TO ANY OF ABOVE QUESTIONS (19) (21) (23) (24) (25) (26).

THIS IS NOT A BUILDING PERMIT. NO WORK SHALL BE STARTED UNTIL A BUILDING PERMIT IS ISSUED.

In dwellings, all insulating materials must have a clearance of not less than two inches from all electrical wires or equipment.

CHECK APPROPRIATE BOX

☒ OWNER
☐ LESSEE
☒ CONTRACTOR☐ ARCHITECT
☐ AGENT
☐ ENGINEER

APPLICANT'S CERTIFICATION

I HEREBY CERTIFY AND AGREE THAT IF A PERMIT IS ISSUED FOR THE CONSTRUCTION DESCRIBED IN THIS APPLICATION, ALL THE PROVISIONS OF THE PERMIT AND ALL LAWS AND ORDINANCES THEREOF WILL BE COMPLIED WITH.

REV 06/13

NOTICE TO APPLICANT

SOLD WITHOUT RESERVE. The permittee(s) by acceptance of the permit, agree(s) to indemnify and hold harmless the City and County of San Francisco from and against any and all claims, demands and actions for damages resulting from operations under this permit, regardless of negligence of the City and County of San Francisco, and to assume the defense of the City and County of San Francisco against all such claims, demands and actions.

In conformity with the provisions of Section 3000 of the Labor Code of the State of California, the applicant shall have worker's compensation coverage under (i) or (ii) designated below, or shall indicate item (iii), (iv), or (v), whichever is applicable. If however item (v) is checked, item (iv) must be checked as well. Mark the appropriate method of compliance below.

I hereby affirm under penalty of perjury one of the following declarations:

() I. I have and will maintain a certificate of consent to self-insure for worker's compensation, as provided by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued.

() II. I have and will maintain worker's compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My worker's compensation insurance carrier and policy number are:

Carrier
Policy Number

() III. The cost of the work to be done is \$100 or less.

() IV. I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the worker's compensation laws of California. I further acknowledge that I understand that in the event that I should become subject to the worker's compensation provisions of the Labor Code of California and fail to comply therewith with the provisions of Section 3000 of the Labor Code, that the permit herein applied for shall be deemed revoked.

I certify as the owner (or the agent for the owner) that in the performance of the work for which this permit is issued, I will employ a contractor who complies with the worker's compensation laws of California and who, prior to the commencement of any work, will file a completed copy of this form with the Central Permit Bureau.

Signature of Applicant or Agent

Date

1504 OFFICIAL COPY

SAN FRANCISCO

DEPARTMENT OF
BUILDING INSPECTIONREFER
TO:

APPROVED:

CONDITIONS AND STIPULATIONS

[Signature]
Nelson Lau, DBI
SEP 18 2014

BUILDING INSPECTOR, DEPT. OF BLDG. INSP.

DATE: 9/18/14

REASON:

NOTIFIED MR.

DATE:

REASON:

APPROVED:

☐

DEPARTMENT OF CITY PLANNING

NOTIFIED MR.

DATE:

REASON:

APPROVED:

☐

BUREAU OF FIRE PREVENTION & PUBLIC SAFETY

NOTIFIED MR.

DATE:

REASON:

APPROVED:

☒

Jeff Lai, DBI

SEP 18 2014

MECHANICAL ENGINEER, DEPT. OF BLDG. INSPECTION

NOTIFIED MR.

APPROVED:

☐

CIVIL ENGINEER, DEPT. OF BLDG. INSPECTION

NOTIFIED MR.

DATE:

REASON:

APPROVED:

☐

BUREAU OF ENGINEERING

NOTIFIED MR.

DATE:

REASON:

APPROVED:

☐

DEPARTMENT OF PUBLIC HEALTH

NOTIFIED MR.

DATE:

REASON:

APPROVED:

☒

SFPUC

Aby Kumar

9/10/14

SFPUC
REDEVELOPMENT AGENCY

NOTIFIED MR.

APPROVED:

☐

HOUSING INSPECTION DIVISION

NOTIFIED MR.

DATE:

REASON:

I agree to comply with all conditions or stipulations of the various bureaus or departments noted on this application, and attached statements of conditions or stipulations, which are hereby made a part of this application.

Number of attachments

☐

OWNER'S AUTHORIZED AGENT

HOLD SECTION - NOTE DATES AND NAMES OF ALL PERSONS NOTIFIED DURING PROCESSING



City and County of San Francisco
Department of Building Inspection



Edwin M. Lee, Mayor
Tom C. Hul, S.E., C.B.O., Director

PERMIT APPLICANT AND AUTHORIZED AGENT DISCLOSURE AND CERTIFICATION

Date: 9/18/14

☒ New

☐ Amended

Permit Application No. 2014.0918.6685 Job Address: 143 COPPETT AVE

This form must be completed in its entirety in connection with an application for a building permit (Forms 1/2, 3/8, 4/7, 6 and 8). This form must be amended for all new information or change in information for duration of project. Please be advised that the Department does not regulate permit expeditors/consultants or afford them preferential treatment.

A. Permit Applicant Information

I hereby certify that for the purpose of filling an application for a building or other permit with the Central Permit Bureau, or completion of any from related to the San Francisco Building Code, or to City and County ordinances and regulations, or to state laws and codes, I am the owner, the lessee or the agent of the owner/lessee and am authorized to sign all documented connected with this application or permit.

I declare under penalty of perjury that the foregoing is true and correct. I am the permit applicant and I am

Check box(es):

- ☐ The owner (B) ☐ The lessee (C)
☒ The authorized agent. Check entity(ies):
☐ Architect (D) ☐ Engineer (D)
☒ Contractor (E) ☐ Attorney (F)
☐ Permit Consultant/Expediter (G)
☐ Other (H)

Print Applicant Name JAVIER SOLOZANO
 Sign Name [Signature]

B. Owner Information

Name BAKHAN RAVI
 Phone _____
 Address 143 COPPETT AVE
SF CA 94114
 City State Zip

C. Lessee Information

Name _____
 Phone _____
 Address _____
 City State Zip

D. Architect/Engineer Information

- ☐ None ☐ List of all Architect(s)/Engineer(s) on project:

A. Name _____
☐ Architect ☐ Engineer
 Phone No. _____
 Firm Name _____
 License # _____
 Expiration Date _____
 Firm Address _____
 City State Zip

B. Name _____
☐ Architect ☐ Engineer
 Phone No. _____
 Firm Name _____
 License # _____
 Expiration Date _____
 Firm Address _____
 City State Zip

C. Name

- ☐ Architect ☐ Engineer

Phone No. _____
 Firm Name _____
 License # _____
 Expiration Date _____
 Firm Address _____
 City State Zip

E. General Contractor Information

Note: Complete separate licensed contractor's statement also.

Name FJ SANDOVAL CO.
 Phone 415.724.7172
 Firm Name FRANCISCO SANDOVAL
 License # 705303
 Expiration Date 9/15
 Firm Address 1349 DOLAN ST. #5
SF CA 94110
 City State Zip

- ☐ Contractor not yet selected. If this box is checked, submit an amended form when known.
☐ Owner-Builder. If this box is checked, submit Owner-Builder Declaration Form.

F. Attorney Information

Name _____
 Phone _____
 Address _____
 City State Zip

G. Permit Consultant/Expediter

Name _____
 Phone _____
 Address _____
 City State Zip

H. Authorized Agent - Others

Name JAVIER SOLOZANO
 Phone 415.724.5240
 Address 3200 21ST ST. #101
SF CA 94110
 City State Zip

Please describe your relationship with the owner.

Exhibit 11

APPROVED
Dept. of Building Insp.

NOV 25 2014

TOM C. HUI
TOM C. HUI, S.E.
DIRECTOR

APPROVED FOR ISSUANCE

NOV 25 2014

BLDG. 8/8
FORMAPPLICATION NUMBER
2014-11-25-COSA APPROVAL REC'D
APPROVAL NUMBER
2473

**APPLICATION FOR BUILDING PERMIT
ADDITIONS, ALTERATIONS OR REPAIRS**

FORM 3 ☐ OTHER AGENCIES REVIEW REQUIREDFORM 8 ☒ OVER-THE-COUNTER ISSUANCE

NUMBER OF PLAN SETS

DO NOT WRITE ABOVE THIS LINE

CITY AND COUNTY OF SAN FRANCISCO

DEPARTMENT OF BUILDING INSPECTION

APPLICATION IS HEREBY MADE TO THE DEPARTMENT OF
BUILDING INSPECTION OF SAN FRANCISCO FOR
PERMISSION TO BUILD IN ACCORDANCE WITH THE PLANS
AND SPECIFICATIONS SUBMITTED HERewith AND
ACCORDING TO THE DESCRIPTION AND FOR THE PURPOSE
HEREINAFTER SET FORTH.

DATE FILED 11/20/2014	FILING FEE RECEIPT NO.	(1) STREET ADDRESS OF JOB 143 CORBETT AVE	BLOCK & LOT 2656 / Q60
PERMIT NO. 1342743	ISSUED 11/25/14	(2A) ESTIMATED COST OF JOB \$1,000	(2B) REVERSED COST \$1,000
DATE: 11/20/14			

INFORMATION TO BE FURNISHED BY ALL APPLICANTS

LEGAL DESCRIPTION OF EXISTING BUILDING

(4A) TYPE OF CONSTR. 5N	(5A) NO. OF STORIES OF OCCUPANCY 3	(6A) NO. OF BASEMENTS AND CELLARS 1	(7A) PRESENT USE SINGLE FAMILY	(8A) OCCUP. CLASS R3	(9A) NO. OF DWELLING UNITS 1
----------------------------	---------------------------------------	--	-----------------------------------	-------------------------	---------------------------------

DESCRIPTION OF BUILDING AFTER PROPOSED ALTERATION

(4) TYPE OF CONSTR. 5N	(5) NO. OF STORIES OF OCCUPANCY 3	(6) NO. OF BASEMENTS AND CELLARS 1	(7) PROPOSED USE (LEGAL USE) SINGLE FAMILY	(8) OCCUP. CLASS R3	(9) NO. OF DWELLING UNITS 1
---------------------------	--------------------------------------	---------------------------------------	---	------------------------	--------------------------------

(10) IS AUTO RUNWAY TO BE CONSTRUCTED OR ALTERED? NO	(11) WILL STREET SPACE BE USED DURING CONSTRUCTION? YES <input checked="" type="checkbox"/> NO <input checked="" type="checkbox"/>	(12) ELECTRICAL WORK TO BE PERFORMED? YES <input checked="" type="checkbox"/> NO <input checked="" type="checkbox"/>	(13) PLUMBING WORK TO BE PERFORMED? YES <input checked="" type="checkbox"/> NO <input checked="" type="checkbox"/>
---	---	---	---

(14) GENERAL CONTRACTOR FJ SANDOVAL CO.	ADDRESS DOLores ST.	ZIP 94110	PHONE 415 334-7172	CALIF. LIC. NO. 705303	EXPIRATION DATE 2/28/15
(15) OWNER - LESSEE (CROSS OUT ONE) RAJINE RAJHANNI	ADDRESS 143 CORBETT AVE	ZIP 94115	PHONE (FOR CONTACT BY DEPT.) (415) 724-5240		

(16) WRITE IN DESCRIPTION OF ALL WORK TO BE PERFORMED UNDER THIS APPLICATION (REFERENCE TO PLANS IS NOT SUFFICIENT)

OPEN WALLS IN VARIOUS LOCATIONS ON FIRST, SECOND & THIRD FLOORS TO INSTALL ELECTRICAL (REPLACEMENT) CABLES RELATED TO ELECTRICAL PERMIT #E201409243026. (NO FRAMING WORK UNDER THIS PERMIT) Restore W/6" TYPE X W/ED COOLER WALLS AT A.I.D.C. OR EQUIVALENT SCREWS

ADDITIONAL INFORMATION

(17) DOES THIS ALTERATION CREATE ADDITIONAL HEIGHT OR STORY TO BUILDING? YES <input checked="" type="checkbox"/> NO <input checked="" type="checkbox"/>	(18) IF (17) IS YES, STATE NEW HEIGHT AT CENTER LINE OF FRONT N/A	(19) DOES THIS ALTERATION CREATE DECK OR HORIZ. EXTENSION TO BUILDING? YES <input checked="" type="checkbox"/> NO <input checked="" type="checkbox"/>	(20) IF (19) IS YES, STATE NEW GROUND FLOOR AREA N/A sq. ft.
(21) WILL SIDEWALK OVER SUB-SIDEWALK SPACE BE REPAIRED OR ALTERED? YES <input checked="" type="checkbox"/> NO <input checked="" type="checkbox"/>	(22) WILL BUILDING EXTEND BEYOND PROPERTY LINE? YES <input checked="" type="checkbox"/> NO <input checked="" type="checkbox"/>	(23) ANY OTHER EXISTING BLDG. ON LOT? IF YES, SHOW ON PLOT PLAN YES <input checked="" type="checkbox"/> NO <input checked="" type="checkbox"/>	(24) DOES THIS ALTERATION CONSTITUTE A CHANGE OF OCCUPANCY? YES <input checked="" type="checkbox"/> NO <input checked="" type="checkbox"/>

(25) ARCHITECT OR ENGINEER (DESIGN <input type="checkbox"/> CONSTRUCTION <input checked="" type="checkbox"/> N/A	ADDRESS N/A	CALIF. CERTIFICATE NO.
---	----------------	------------------------

(26) CONSTRUCTION LENDER (ENTER NAME AND BRANCH DESIGNATION IF ANY. IF THERE IS NO KNOWN CONSTRUCTION LENDER, ENTER "UNKNOWN") N/A	ADDRESS N/A
---	----------------

IMPORTANT NOTICES

No charge shall be made in the character of the occupancy or use without first obtaining a Building Permit authorizing such change. See San Francisco Building Code and San Francisco Housing Code.

No portion of building or structure or scaffolding used during construction is to be closer than 6" to any wire containing more than 750 volts. See Sec 305, California Penal Code.

Pursuant to San Francisco Building Code, the building permit shall be posted on the job. The owner is responsible for approved plans and application being kept at building site.

Grade lines as shown on drawings accompanying this application are assumed to be correct. If actual grade lines are not the same as shown, revised drawings showing correct grade lines, cuts and fills, and complete details of retaining walls and wall footings must be submitted to this department for approval.

ANY STIPULATION REQUIRED HEREIN OR BY CODE MAY BE APPEALED.

BUILDINGS NOT TO BE OCCUPIED UNTIL CERTIFICATE OF FINAL COMPLETION IS POSTED ON THE BUILDING OR PERMIT OF OCCUPANCY GRANTED, WHEN REQUIRED.

APPROVAL OF THIS APPLICATION DOES NOT CONSTITUTE AN APPROVAL FOR THE ELECTRICAL WORKS OR PLUMBING INSTALLATIONS. A SEPARATE PERMIT FOR THE WRITING AND PLUMBING MUST BE OBTAINED. SEPARATE PERMITS ARE REQUIRED IF ANSWER IS "YES" TO ANY OF ABOVE QUESTIONS (14) (11) (12) (13) (22) OR (24).

THIS IS NOT A BUILDING PERMIT. NO WORK SHALL BE STARTED UNTIL A BUILDING PERMIT IS ISSUED.

In dwellings, all insulating materials must have a clearance of not less than two inches from all electrical wires or equipment.

CHECK APPROPRIATE BOX

☐ OWNER
☐ LESSEE
☒ CONTRACTOR

☐ ARCHITECT
☐ AGENT
☐ ENGINEER

APPLICANT'S CERTIFICATION

I HEREBY CERTIFY AND AGREE THAT IF A PERMIT IS ISSUED FOR THE CONSTRUCTION DESCRIBED IN THIS APPLICATION, ALL THE PROVISIONS OF THE PERMIT AND ALL LAWS AND ORDINANCES THEREIN WILL BE COMPLIED WITH.

NOTICE TO APPLICANT

HOLD HARMLESS CLAUSE. The permittee(s) by acceptance of the permit, agree(s) to indemnify and hold harmless the City and County of San Francisco from and against any and all claims, demands and actions for damages resulting from operations under this permit, regardless of negligence of the City and County of San Francisco, and to assume the defense of the City and County of San Francisco against all such claims, demands or actions.

In conformity with the provisions of Section 3800 of the Labor Code of the State of California, the applicant shall have worker's compensation coverage under (5) or (6) designated below, or shall indicate item (3), (7), or (8), whichever is applicable. If however item (7) is checked, item (8) must be checked as well. Mark the appropriate method of compliance below.

I hereby affirm under penalty of perjury one of the following declarations:

- () I. I have and will maintain a certificate of accident to self-insure for worker's compensation, as provided by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued.
- () II. I have and will maintain worker's compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My worker's compensation insurance carrier and policy number are:

Carrier
Policy Number

() III. The cost of the work to be done is \$200 or less.

I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the worker's compensation laws of California. I further acknowledge that I understand that in the event that I should become subject to the worker's compensation provisions of the Labor Code of California and fail to comply herewith with the provisions of Section 3800 of the Labor Code, that the permit herein applied for shall be deemed revoked.

I certify as the owner (or the agent for the owner) that in the performance of the work for which this permit is issued, I will employ a contractor who complies with the worker's compensation laws of California and who, prior to the commencement of any work, will file a completed copy of this form with the Central Permit Bureau.

Signature of Applicant or Agent

Date

SAN FRANCISCO
 REFER TO:
 DEPARTMENT OF
 BUILDING INSPECTION

CONDITIONS AND STIPULATIONS

APPROVED: GYP. BOARD RESTORATION AFTER WORK
 SHALL COMPLY WITH SFPD SEC. 3404.7.1

CHECKED

NOV 20 2014

BUILDING INSPECTOR, DEPT. OF BLDG. INSP.

APPROVED: THOMAS LE

N/A

DEPARTMENT OF CITY PLANNING

APPROVED:

BUREAU OF FIRE PREVENTION & PUBLIC SAFETY

APPROVED:

MECHANICAL ENGINEER, DEPT. OF BLDG. INSPECTION

APPROVED:

CIVIL ENGINEER, DEPT. OF BLDG. INSPECTION

APPROVED:

BUREAU OF ENGINEERING

APPROVED:

DEPARTMENT OF PUBLIC HEALTH

APPROVED:

REDEVELOPMENT AGENCY

APPROVED:

HOUSING INSPECTION DIVISION

DATE: _____

REASON: _____

NOTIFIED MR. _____

DATE: _____

REASON: _____

NOTIFIED MR. _____

DATE: _____

REASON: _____

NOTIFIED MR. _____

DATE: _____

REASON: _____

NOTIFIED MR. _____

DATE: _____

REASON: _____

NOTIFIED MR. _____

DATE: _____

REASON: _____

NOTIFIED MR. _____

DATE: _____

REASON: _____

NOTIFIED MR. _____

DATE: _____

REASON: _____

NOTIFIED MR. _____

DATE: _____

REASON: _____

NOTIFIED MR. _____

HOLD SECTION - NOTE DATES AND NAMES OF ALL PERSONS NOTIFIED DURING PROCESSING

I agree to comply with all conditions or stipulations of the various bureaus or departments noted on this application, and attached statements of conditions or stipulations, which are hereby made a part of this application.

Number of attachments ☐

OWNER'S AUTHORIZED AGENT

SAN FRANCISCO

City and County of San Francisco
Department of Building InspectionEdwin M. Lee, Mayor
Tom C. Hui, S.E., C.B.O., Director

LICENSED CONTRACTOR'S STATEMENT

Permit Application No. _____

Job Address: 143 CORBETT AVE

Licensed Contractor's Declaration

Pursuant to the Business and Professions Code Sec. 7031.5, I hereby affirm under penalty of perjury that I am licensed under the provisions of Chapter 9 (commencing with Sec. 7000) of Division 3 of the Business and Professions Code, and that my license is in full force and effect.

License Number 705303License Class BExpiration Date 2015

Contractor

P.J. SANDRA CO
PRINT[Signature]
SIGNATURE

NOTE: "Any violation of the Bus. & Prof. Code Sec 7031.5 by any permit applicant shall be subject to a civil penalty of not more than five hundred dollars (\$500)" Bus. & Prof. Code Sec. 7031.5. Revised 04/30/2010

1660 Mission Street - San Francisco CA 94103
Office (415) 558-6088 - Fax (415) 558-6401
Website: www.sfdbi.org

Exhibit 12



APPROVED

Dept. of Building Insp.

JUL 06 2015

APPROVED FOR ISSUANCE

JUL 06 2015

BLDG. FORM 3/8

APPLICATION NUMBER

APPROVAL NUMBER

BID 201555501

APPLICATION FOR BUILDING PERMIT ADDITIONS, ALTERATIONS OR REPAIRS

FORM 3 ☐ OTHER AGENCIES REVIEW REQUIRED
FORM 8 ☒ OVER-THE-COUNTER ISSUANCE

2 NUMBER OF PLAN SETS

DO NOT WRITE ABOVE THIS LINE

DEPT. OF BUILDING INSPECTION
CITY AND COUNTY OF SAN FRANCISCO
DEPARTMENT OF BUILDING INSPECTION
APPLICATION IS HEREBY MADE TO THE DEPARTMENT OF BUILDING INSPECTION OF SAN FRANCISCO FOR PERMISSION TO BUILD IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS SUBMITTED HERewith AND ACCORDING TO THE DESCRIPTION AND FOR THE PURPOSE HEREINAFTER SET FORTH.

DATE FILED JUL 06 2015	FILED FEE RECEIPT NO.	(1) STREET ADDRESS OF JOB 143 CORPETT AVENUE	BLOCK & LOT 2056/1260
PERMIT NO. 1362271	ISSUED JUL 06 2015	(3) ESTIMATED COST OF JOB \$3,200	(2) REVENUE COST \$3,200

INFORMATION TO BE FURNISHED BY ALL APPLICANTS							
LEGAL DESCRIPTION OF EXISTING BUILDING							
(4A) TYPE OF CONSTR. V-B	(5A) NO. OF STORIES OF OCCUPANCY 3	(6A) NO. OF BASEMENTS AND CELLARS 0	(7A) PRESENT USE SINGLE FAMILY	(8A) OCCUP. CLASS R3	(9A) NO. OF DWELLING UNITS 1		
DESCRIPTION OF BUILDING AFTER PROPOSED ALTERATION							
(4) TYPE OF CONSTR. V-B	(5) NO. OF STORIES OF OCCUPANCY 3	(6) NO. OF BASEMENTS AND CELLARS 0	(7) PROPOSED USE (LEGAL USE) SINGLE FAMILY	(8) OCCUP. CLASS R3	(9) NO. OF DWELLING UNITS 1		
(10) IS AUTO RUNWAY TO BE CONSTRUCTED OR ALTERED?		(11) WILL STREET SPACE BE USED DURING CONSTRUCTION?		(12) ELECTRICAL WORK TO BE PERFORMED?		(13) PLUMBING WORK TO BE PERFORMED?	
YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>		YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>		YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>		YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	
(14) GENERAL CONTRACTOR P. SANDOVAL		ADDRESS 1346 DOLORES ST.		CITY SAN FRANCISCO		CALIF. LIC. NO. 706903	
(15) OWNER - LESSEE (CROSS OUT ONE) RAGINI RAGHAVAN		ADDRESS 143 CORPETT AVE S.F. 941		CITY SAN FRANCISCO		CALIF. LIC. NO. 930217	
(16) WRITE IN DESCRIPTION OF ALL WORK TO BE PERFORMED UNDER THIS APPLICATION (REFERENCE TO PLANS IS NOT SUFFICIENT)							
REPLACE REAR WINDOWS (6) NOT VISIBLE FROM THE STREET. IN KIND SIZE & TYPE. UFACTOR 0.32 MAX.							
ADDITIONAL INFORMATION							
(17) DOES THIS ALTERATION CREATE ADDITIONAL HEIGHT OR STORY TO BUILDING?		(18) IF (17) IS YES, STATE NEW HEIGHT AT CENTER LINE OF FRONT		(19) DOES THIS ALTERATION CREATE DECK OR HORIZ. EXTENSION TO BUILDING?		(20) IF (19) IS YES, STATE NEW GROUND FLOOR AREA	
YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>		NEW HEIGHT AT CENTER LINE OF FRONT N/A		YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>		NEW GROUND FLOOR AREA N/A	
(21) WILL SIDEWALK OVER SUB-SIDEWALK SPACE BE REPAIRED OR ALTERED?		(22) WILL BUILDING EXTEND BEYOND PROPERTY LINE?		(23) ANY OTHER EXISTING BLDG. ON LOT? (IF YES, SHOW ON PLOT PLAN)		(24) DOES THIS ALTERATION CONSTITUTE A CHANGE OF OCCUPANCY?	
YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>		YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>		YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>		YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	
(25) ARCHITECT OR ENGINEER (DESIGN <input type="checkbox"/> CONSTRUCTION <input type="checkbox"/> N/A				ADDRESS N/A			
(26) CONSTRUCTION LENDER (ENTER NAME AND BRANCH DESIGNATION IF ANY. IF THERE IS NO KNOWN CONSTRUCTION LENDER, ENTER "UNKNOWN")							
N/A							

IMPORTANT NOTICES

No change shall be made in the character of the occupancy or use without first obtaining a Building Permit authorizing such change. See San Francisco Building Code and San Francisco Housing Code.

No portion of building or structure or scaffolding used during construction is to be closer than 6'0" to any wire containing more than 750 volts. See Sec 588, California Penal Code.

Pursuant to San Francisco Building Code, the building permit shall be posted on the job. The owner is responsible for approved plans and application being kept at building site.

Grade lines as shown on drawings accompanying this application are assumed to be correct. If actual grade lines are not the same as shown, revised drawings showing correct grade lines, cuts and fills, and complete details of retaining walls and wall footings must be submitted to this department for approval.

ANY STIPULATION REQUIRED HEREIN OR BY CODE MAY BE APPEALED.

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On drawings, all insulating materials must have a clearance of not less than two inches from all electrical wires or equipment.

CHECK APPROPRIATE BOX

- ☐ OWNER
☐ ARCHITECT
☐ LESSEE
☐ AGENT
☒ CONTRACTOR
☐ ENGINEER

APPLICANT'S CERTIFICATION

I HEREBY CERTIFY AND AGREE THAT IF A PERMIT IS ISSUED FOR THE CONSTRUCTION DESCRIBED IN THIS APPLICATION, ALL THE PROVISIONS OF THE PERMIT AND ALL LAWS AND ORDINANCES THEREBY WILL BE COMPLIED WITH.

NOTICE TO APPLICANT

HOLD HARMLESS CLAUSE. The permittee(s) by acceptance of the permit, agree(s) to indemnify and hold harmless the City and County of San Francisco from and against any and all claims, demands and actions for damages resulting from operations under this permit, regardless of negligence of the City and County of San Francisco, and to assume the defense of the City and County of San Francisco against all such claims, demands or actions.

In conformity with the provisions of Section 3800 of the Labor Code of the State of California, the applicant shall have worker's compensation coverage under (i) or (ii) designated below, or shall indicate item (iii), (iv), or (v), whichever is applicable. If however item (v) is checked, item (iv) must be checked as well. Mark the appropriate method of compliance below.

I hereby affirm under penalty of perjury one of the following declarations:

() I. I have and will maintain a certificate of consent to self-insure for worker's compensation, as provided by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued.

() II. I have and will maintain worker's compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My worker's compensation insurance carrier and policy number are:

Carrier
Policy Number

() III. The cost of the work to be done is \$100 or less.

() IV. I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the worker's compensation laws of California. I further acknowledge that I understand that in the event that I should become subject to the worker's compensation provisions of the Labor Code of California and fail to comply therewith with the provisions of Section 3800 of the Labor Code, that the permit herein applied for shall be deemed revoked.

() V. I certify as the owner (or the agent for the owner) that in the performance of the work for which this permit is issued, I will employ a contractor who complies with the worker's compensation laws of California and who, prior to the commencement of any work, will file a completed copy of this form with the Central Permit Bureau.

SAN FRANCISCO

CONDITIONS AND STIPULATIONS

REFER TO: REPLACE SIX WINDOWS IN KIM

DEPARTMENT OF BUILDING INSPECTION

Stephen Kwok, DBI

JUL 06 2015

BUILDING INSPECTOR, DEPT. OF BLDG. INSP.

DATE: 7/6/15
 REASON: old window

NOTIFIED MR.

DATE: _____
 REASON: _____

NOTIFIED MR.

DATE: _____
 REASON: _____

NOTIFIED MR.

DATE: _____
 REASON: _____

NOTIFIED MR.

DATE: _____
 REASON: _____

NOTIFIED MR.

DATE: _____
 REASON: _____

NOTIFIED MR.

DATE: _____
 REASON: _____

NOTIFIED MR.

DATE: _____
 REASON: _____

NOTIFIED MR.

DATE: _____
 REASON: _____

NOTIFIED MR.

HOLD SECTION - NOTE DATES AND NAMES OF ALL PERSONS NOTIFIED DURING PROCESSING

APPROVED:

☐

DEPARTMENT OF CITY PLANNING

APPROVED:

☐

BUREAU OF FIRE PREVENTION & PUBLIC SAFETY

APPROVED:

☐

MECHANICAL ENGINEER, DEPT. OF BLDG. INSPECTION

APPROVED:

☐

CIVIL ENGINEER, DEPT. OF BLDG. INSPECTION

APPROVED:

☐

BUREAU OF ENGINEERING

APPROVED:

☐

DEPARTMENT OF PUBLIC HEALTH

APPROVED:

☐

REDEVELOPMENT AGENCY

APPROVED:

☐

HOUSING INSPECTION DIVISION

I agree to comply with all conditions or stipulations of the various bureaus or departments noted on this application, and attached statements of conditions or stipulations, which are hereby made a part of this application.

Number of attachments ☐

OWNER'S AUTHORIZED AGENT



City and County of San Francisco
Department of Building Inspection



Edwin M. Lee, Mayor
Tom C. Hui, S.E., C.B.O., Director

LICENSED CONTRACTOR'S STATEMENT

Permit Application No. _____

201507060719

Job Address: _____

143 CORBETT STREET

Licensed Contractor's Declaration

Pursuant to the Business and Professions Code Sec. 7031.5, I hereby affirm under penalty of perjury that I am licensed under the provisions of Chapter 9 (commencing with Sec. 7000) of Division 3 of the Business and Professions Code, and that my license is in full force and effect.

License Number _____

705303

License Class _____

B

Expiration Date _____

2/20/2017

Contractor _____

FRANCISCO SANDOVAL

PRINT

SIGNATURE

NOTE: "Any violation of the Bus. & Prof. Code Sec 7031.5 by any permit applicant shall be subject to a civil penalty of not more than five hundred dollars (\$500)" Bus. & Prof. Code Sec. 7031.5. Revised 04/30/2010

1660 Mission Street - San Francisco CA 94103.
Office (415) 558-6088 - Fax (415) 558-6401
Website: www.sfdbi.org

Exhibit 13



APPROVED

Dept. of Building Insp.

NOV 30 2015

Tom C. Hui
TOM C. HUI, S.E.
DIRECTOR
DEPT. OF BUILDING INSPECTION

APPROVED FOR ISSUANCE

NOV 30 2015

BLDG. 318
FORM 318
APPLICATION NUMBER
2015 0829 5417

OSHA APPROVAL REC'D
APPROVAL NUMBER

APPLICATION FOR BUILDING PERMIT ADDITIONS, ALTERATIONS OR REPAIRS

FORM 3 ☐ OTHER AGENCIES REVIEW REQUIREDFORM 8 ☒ OVER-THE-COUNTER ISSUANCE

2 NUMBER OF PLAN SETS

DO NOT WRITE ABOVE THIS LINE

CITY AND COUNTY OF SAN FRANCISCO DEPARTMENT OF BUILDING INSPECTION

APPLICATION IS HEREBY MADE TO THE DEPARTMENT OF
BUILDING INSPECTION OF SAN FRANCISCO FOR
PERMISSION TO BUILD IN ACCORDANCE WITH THE PLANS
AND SPECIFICATIONS SUBMITTED HERewith AND
ACCORDING TO THE DESCRIPTION AND FOR THE PURPOSE
HEREINAFTER SET FORTH.

DATE FILED NOV 30 2015	FILED PER RECEIPT NO. 82115	(1) STREET ADDRESS OF JOB 143 CORBETT AVE	BLOCK & LOT 2456/0602
PERMIT NO. 1376668	ISSUED 11/30/2015	(2A) ESTIMATED COST OF JOB \$15,000	(2B) REVISED COST \$15,000 DATE 10/15/15

INFORMATION TO BE FURNISHED BY ALL APPLICANTS

LEGAL DESCRIPTION OF EXISTING BUILDING

(1A) TYPE OF CONSTR. VP	(5A) NO. OF STORIES OF OCCUPANCY 3	(6A) NO. OF BASEMENTS AND CELLARS 0	(7A) PRESENT USE SINGLE FAMILY	(8A) OCCUP. CLASS R3	(9A) NO. OF DWELLING UNITS 1
----------------------------	---------------------------------------	--	-----------------------------------	-------------------------	---------------------------------

DESCRIPTION OF BUILDING AFTER PROPOSED ALTERATION

(1A) TYPE OF CONSTR. VP	(5A) NO. OF STORIES OF OCCUPANCY 3	(6A) NO. OF BASEMENTS AND CELLARS 1	(7A) PROPOSED USE (LEGAL USE) SINGLE FAMILY	(8A) OCCUP. CLASS R3	(9A) NO. OF DWELLING UNITS 1
----------------------------	---------------------------------------	--	--	-------------------------	---------------------------------

(10) IS AUTO RUNWAY TO BE CONSTRUCTED OR ALTERED?	YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	(11) WILL STREET SPACE BE USED DURING CONSTRUCTION?	YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	(12) ELECTRICAL WORK TO BE PERFORMED?	YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	(13) PLUMBING WORK TO BE PERFORMED?	YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>
---	---	---	---	---------------------------------------	---	-------------------------------------	---

(14) GENERAL CONTRACTOR K. SANDOVAL 1340 DOLORES ST. 94110	ADDRESS	ZIP	PHONE	CALIF. LIC. NO.	EXPIRATION DATE
15. OWNER - LESSEE (CHOOSE ONE)	ADDRESS	ZIP	PHONE (FOR CONTACT BY DEPT.)		

(15) OWNER - LESSEE (CHOOSE ONE)	ADDRESS	ZIP	PHONE (FOR CONTACT BY DEPT.)
RAGINI RAGHAVAN 21309 MOUNTAIN VIEW	95070	408-867-7707	

(16) WRITE IN DESCRIPTION OF ALL WORK TO BE PERFORMED UNDER THIS APPLICATION (REFERENCE TO PLANS IS NOT SUFFICIENT)

INSTALL RETAINING WALL IN BASEMENT. & BEAM + Footings

ADDITIONAL INFORMATION

(17) DOES THIS ALTERATION CREATE ADDITIONAL HEIGHT OR STORY TO BUILDING?	YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	(18) IF (17) IS YES, STATE NEW HEIGHT AT CENTER LINE OF FRONT	(19) DOES THIS ALTERATION CREATE DECK OR HORIZ. EXTENSION TO BUILDING?	YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	(20) IF (19) IS YES, STATE NEW GROUND FLOOR AREA	SQ. FT.	
(21) WILL SIDEWALK OVER SUB-SIDEWALK SPACE BE REPAIRED OR ALTERED?	YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	(22) WILL BUILDING EXTEND BEYOND PROPERTY LINE?	YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	(23) ANY OTHER EXISTING BLDG. ON LOT? (IF YES, SHOW ON PLOT PLAN)	YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	(24) DOES THIS ALTERATION CONSTITUTE A CHANGE OF OCCUPANCY?	YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>

(25) ARCHITECT OR ENGINEER (DESIGN <input type="checkbox"/> CONSTRUCTION <input type="checkbox"/>) N/A	ADDRESS	CALIF. CERTIFICATE NO.
(26) CONSTRUCTION LENDER (ENTER NAME AND BRANCH DESIGNATION IF ANY. IF THERE IS NO KNOWN CONSTRUCTION LENDER, ENTER "UNKNOWN") N/A	ADDRESS	

IMPORTANT NOTICES

No change shall be made in the character of the occupancy or use without first obtaining a Building Permit authorizing such change. See San Francisco Building Code and San Francisco Housing Code.

No portion of building or structure or scaffolding used during construction is to be closer than 8'0" to any tree existing more than 750 sq. ft. See Sec 385, California Penal Code.

Pursuant to San Francisco Building Code, the building permit shall be posted on the job. The owner is responsible for approved plans and application being kept at building site.

Grade lines as shown on drawings accompanying this application are assumed to be correct. If actual grade lines are not the same as shown, revised drawings showing correct grade lines, cuts and fills, and complete details of retaining walls and wall footings must be submitted to this department for approval.

ANY STIPULATION REQUIRED HEREIN OR BY CODE MAY BE APPEALED.

BUILDING NOT TO BE OCCUPIED UNTIL CERTIFICATE OF FINAL COMPLETION IS POSTED ON THE BUILDING OR PERMIT OF OCCUPANCY GRANTED, WHEN REQUIRED.

APPROVAL OF THIS APPLICATION DOES NOT CONSTITUTE AN APPROVAL FOR THE ELECTRICAL WIRING OR PLUMBING INSTALLATIONS. A SEPARATE PERMIT FOR THE WIRING AND PLUMBING MUST BE OBTAINED. SEPARATE PERMITS ARE REQUIRED IF ANSWER IS "YES" TO ANY OF ABOVE QUESTIONS (10) (11) (12) (13) (22) OR (24).

THIS IS NOT A BUILDING PERMIT. NO WORK SHALL BE STARTED UNTIL A BUILDING PERMIT IS ISSUED.

In drawings, all insulating materials must have a clearance of not less than two inches from all electrical wires or equipment.

CHECK APPROPRIATE BOX

- ☐ OWNER
☐ LESSEE
☒ CONTRACTOR
- ☐ ARCHITECT
☐ AGENT
☐ ENGINEER

APPLICANT'S CERTIFICATION

I HEREBY CERTIFY AND AGREE THAT IF A PERMIT IS ISSUED FOR THE CONSTRUCTION DESCRIBED IN THIS APPLICATION, ALL THE PROVISIONS OF THE PERMIT AND ALL LAWS AND ORDINANCES THEREIN WILL BE COMPLIED WITH.

NOTICE TO APPLICANT

HOLD HARMLESS CLAUSE. The permittee(s) by acceptance of the permit, agree(s) to indemnify and hold harmless the City and County of San Francisco from and against any and all claims, demands and actions for damages resulting from operations under this permit, regardless of negligence of the City and County of San Francisco, and to assume the defense of the City and County of San Francisco against all such claims, demands or actions.

In conformity with the provisions of Section 3800 of the Labor Code of the State of California, the applicant shall have worker's compensation coverage under (i) or (ii) designated below, or shall indicate item (iii), (iv), or (v), whichever is applicable. If however item (v) is checked, item (iv) must be checked as well. Mark the appropriate method of compliance below.

I hereby affirm under penalty of perjury one of the following declarations:

(i) I have and will maintain a certificate of consent to self-insure for worker's compensation, as provided by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued.

(ii) I have and will maintain worker's compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My worker's compensation insurance carrier and policy number are:

Carrier: 8/E
Policy Number: 8/E

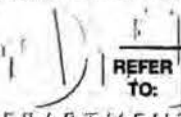
(iii) The cost of the work to be done is \$100 or less.

(iv) I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the worker's compensation laws of California. I further acknowledge that I understand that in the event that I should become subject to the worker's compensation provisions of the Labor Code of California and fail to comply herewith with the provisions of Section 3800 of the Labor Code, that the permit herein applied for shall be deemed revoked.

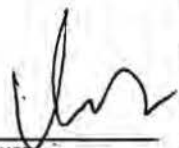

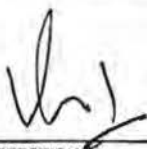

(v) I certify as the owner (or the agent for the owner) that in the performance of the work for which this permit is issued, I will employ a contractor who complies with the worker's compensation laws of California and who, prior to the commencement of any work, will file a completed copy of this form with the Central Permit Bureau.

1516

NOV 30 2015

SAN FRANCISCO
 REFER TO: 
 DEPARTMENT OF
 BUILDING INSPECTION

CONDITIONS AND STIPULATIONS

	APPROVED: 	DATE: _____ REASON: _____
	BUILDING INSPECTOR, DEPT. OF BLDG. INSP.	NOTIFIED MR. _____
<input type="checkbox"/>	APPROVED: 	DATE: _____ REASON: _____
	DEPARTMENT OF CITY PLANNING	NOTIFIED MR. _____
<input type="checkbox"/>	APPROVED:	DATE: _____ REASON: _____
	BUREAU OF FIRE PREVENTION & PUBLIC SAFETY	NOTIFIED MR. _____
<input type="checkbox"/>	APPROVED:	DATE: _____ REASON: _____
	MECHANICAL ENGINEER, DEPT. OF BLDG. INSPECTION	NOTIFIED MR. _____
<input type="checkbox"/>	APPROVED: 	DATE: _____ REASON: _____
	CIVIL ENGINEER, DEPT. OF BLDG. INSPECTION	NOTIFIED MR. _____
<input type="checkbox"/>	APPROVED: 	DATE: _____ REASON: _____
	BUREAU OF ENGINEERING	NOTIFIED MR. _____
<input type="checkbox"/>	APPROVED:	DATE: _____ REASON: _____
	DEPARTMENT OF PUBLIC HEALTH	NOTIFIED MR. _____
<input type="checkbox"/>	APPROVED:	DATE: _____ REASON: _____
	REDEVELOPMENT AGENCY	NOTIFIED MR. _____
<input type="checkbox"/>	APPROVED:	DATE: _____ REASON: _____
	HOUSING INSPECTION DIVISION	NOTIFIED MR. _____

HOLD SECTION - NOTE DATES AND NAMES OF ALL PERSONS NOTIFIED DURING PROCESSING

I agree to comply with all conditions or stipulations of the various bureaus or departments noted on this application, and attached statements of conditions or stipulations, which are hereby made a part of this application.

Number of attachments ☐

OWNER'S AUTHORIZED AGENT



City and County of San Francisco
Department of Building Inspection



Edwin M. Lee, Mayor
Tom C. Hui, S.E., C.B.O., Director

LICENSED CONTRACTOR'S STATEMENT

Permit Application No.

2015. 08 27. 5417

Job Address:

143 CORPBT

Licensed Contractor's Declaration

Pursuant to the Business and Professions Code Sec. 7031.5, I hereby affirm under penalty of perjury that I am licensed under the provisions of Chapter 9 (commencing with Sec. 7000) of Division 3 of the Business and Professions Code, and that my license is in full force and effect.

License Number

705303

License Class

B

Expiration Date

8/28/2017

Contractor

FRANCISCO BANDOVAL

PRINT

SIGNATURE

NOTE: "Any violation of the Bus. & Prof. Code Sec 7031.5 by any permit applicant shall be subject to a civil penalty of not more than five hundred dollars (\$500)" Bus. & Prof. Code Sec. 7031.5. Revised 10/1/2013.

Exhibit 14

BUILDING ENLARGEMENT
DESCRIPTION
☐ VERTICAL
☐ HORIZONTALAPPROVED
Dept. of Building Insp.

AUG 31 2016

Tom C. Hui
TOM C. HUI, S.E.

DIRECTOR

CITY AND COUNTY OF SAN FRANCISCO

DEPARTMENT OF BUILDING INSPECTION

APPLICATION IS HEREBY MADE TO THE DEPARTMENT OF
BUILDING INSPECTION OF SAN FRANCISCO FOR
PERMISSION TO BUILD IN ACCORDANCE WITH THE PLANS
AND SPECIFICATIONS SUBMITTED HERewith AND
ACCORDING TO THE DESCRIPTION AND FOR THE PURPOSE
HEREINAFTER SET FORTH.

BID 201580691

APPLICATION FOR BUILDING PERMIT
ADDITIONS, ALTERATIONS OR REPAIRSFORM 3 ☐ OTHER AGENCIES REVIEW REQUIREDFORM 8 ☒ OVER-THE-COUNTER ISSUANCE

2 NUMBER OF PLAN SETS

DCP

DO NOT WRITE ABOVE THIS LINE

PERMIT NO. 1402304	ISSUED 8-31-16	(1) STREET ADDRESS OF JOB 143 CORCORAN AVE	BLOCK & LOT 2656 / 060
FILED 142515	FILED 8-31-16	(2A) ESTIMATED COST OF JOB \$6,000	(2B) REVISED COST \$15,000

INFORMATION TO BE FURNISHED BY ALL APPLICANTS

LEGAL DESCRIPTION OF EXISTING BUILDING

(4A) TYPE OF CONSTR. V-P	(5A) NO. OF STORIES OF OCCUPANCY 3	(6A) NO. OF BASEMENTS AND CELLARS 1	(7A) PRESENT USE SINGLE FAMILY	(8A) OCCUP. CLASS R-3	(9A) NO. OF DWELLING UNITS 1
DESCRIPTION OF BUILDING AFTER PROPOSED ALTERATION					
(4) TYPE OF CONSTR. V-P	(5) NO. OF STORIES OF OCCUPANCY 3	(6) NO. OF BASEMENTS AND CELLARS 1	(7) PROPOSED USE (LEGAL USE) SINGLE FAMILY	(8) OCCUP. CLASS R-3	(9) NO. OF DWELLING UNITS 1
(10) IS AUTO RUNWAY TO BE CONSTRUCTED OR ALTERED? YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>					
(11) WILL STREET SPACE BE USED DURING CONSTRUCTION? YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>					
(12) ELECTRICAL WORK TO BE PERFORMED? YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>					
(13) PLUMBING WORK TO BE PERFORMED? YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>					
(14) GENERAL CONTRACTOR FERNANDOVAL 1348 DOLORES ST. 94110 415-734-7172 8705303 2/18					
(15) OWNER - LESSEE (CROSS OUT ONE) PAGANI PACHANAN 21389 MOUNT EDEN 95020 208-674-1907					

(16) WRITE IN DESCRIPTION OF ALL WORK TO BE PERFORMED UNDER THIS APPLICATION (REFERENCE TO PLANS IS NOT SUFFICIENT)

INFILL LIGHT WELL ON SOUTHSIDE OF THE HOUSE

ADDITIONAL INFORMATION

(17) DOES THIS ALTERATION CREATE ADDITIONAL HEIGHT OR STORY TO BUILDING? YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	(18) IF (17) IS YES, STATE NEW HEIGHT AT CENTER LINE OF FRONT	(19) DOES THIS ALTERATION CREATE DECK OR HORIZ. EXTENSION TO BUILDING? YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	(20) IF (19) IS YES, STATE NEW GROUND FLOOR AREA SQ. FT.
(21) WILL SIDEWALK OVER SUB-SIDEWALK SPACE BE REPAIRED OR ALTERED? YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	(22) WILL BUILDING EXTEND BEYOND PROPERTY LINE? YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	(23) ANY OTHER EXISTING BLDG. ON LOT? (IF YES, SHOW ON PLOT PLAN) YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	(24) DOES THIS ALTERATION CONSTITUTE A CHANGE OF OCCUPANCY? YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>

(25) ARCHITECT OR ENGINEER (DESIGN ☐ CONSTRUCTION ☐)

ADDRESS

CALIF. CERTIFICATE NO.

(26) CONSTRUCTION LENDER (ENTER NAME AND BRANCH DESIGNATION IF ANY. IF THERE IS NO KNOWN CONSTRUCTION LENDER, ENTER "UNKNOWN")

ADDRESS

IMPORTANT NOTICES

No change shall be made in the character of the occupancy or use without first obtaining a Building Permit authorizing such change. See San Francisco Building Code and San Francisco Housing Code.

No portion of building or structure or scaffolding used during construction is to be closer than 6'6" to any wall containing more than 700 volts. See Sec 380, California Penal Code.

Pursuant to San Francisco Building Code, the Building Permit shall be posted on the job. The owner is responsible for approved plans and application being kept at building site.

Grade lines as shown on drawings accompanying this application are assumed to be correct. If actual grade lines are not as shown, revised drawings showing correct grade lines, cuts and fills, and complete details of retaining walls and well footings must be submitted to this department for approval.

ANY STIPULATION REQUIRED HEREIN OR BY CODE MAY BE APPEALED.

BUILDING NOT TO BE OCCUPIED UNTIL CERTIFICATE OF FULL COMPLETION IS POSTED ON THE BUILDING OR PERMIT OF OCCUPANCY GRANTED, WHEN REQUIRED.

APPROVAL OF THIS APPLICATION DOES NOT CONSTITUTE AN APPROVAL FOR THE ELECTRICAL WIRING OR PLUMBING INSTALLATIONS. A SEPARATE PERMIT FOR THE WIRING AND PLUMBING MUST BE OBTAINED. SEPARATE PERMITS ARE REQUIRED IF ANSWER IS "YES" TO ANY OF ABOVE QUESTIONS (10) (11) (12) (13) (22) OR (24).

THIS IS NOT A BUILDING PERMIT. NO WORK SHALL BE STARTED UNTIL A BUILDING PERMIT IS ISSUED.

In demolitions, all existing materials must have a clearance of not less than two inches from all electrical wires or equipment.

CHECK APPROPRIATE BOX

☐ OWNER
☐ LESSEE
☒ CONTRACTOR☐ ARCHITECT
☐ AGENT
☐ ENGINEER

APPLICANT'S CERTIFICATION

I HEREBY CERTIFY AND AGREE THAT IF A PERMIT IS ISSUED FOR THE CONSTRUCTION DESCRIBED IN THIS APPLICATION, ALL THE PROVISIONS OF THE PERMIT AND ALL LAWS AND ORDINANCES THEREBY WILL BE COMPLIED WITH.

NOTICE TO APPLICANT

HOLD HARMLESS CLAUSE. The permittee(s) by acceptance of the permit, agree(s) to indemnify and hold harmless the City and County of San Francisco from and against any and all claims, demands and actions for damages resulting from operations under this permit, regardless of negligence of the City and County of San Francisco, and to assume the defense of the City and County of San Francisco against all such claims, demands or actions.

In conformity with the provisions of Section 3800 of the Labor Code of the State of California, the applicant shall have worker's compensation coverage under (i) or (ii) designated below, or shall indicate time (iii), (iv), or (v), whichever is applicable. If however item (v) is checked, item (iv) must be checked as well. Mark the appropriate method of compliance below.

I hereby affirm under penalty of perjury one of the following declarations:

() I. I have and will maintain a certificate of consent to self-insure for worker's compensation, as provided by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued.

() II. I have and will maintain worker's compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My worker's compensation insurance carrier and policy number are:

Carrier

Policy Number

() III. The cost of the work to be done is \$100 or less.

() IV. I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the worker's compensation laws of California. I further acknowledge that I understand that in the event that I should become subject to the worker's compensation provisions of the Labor Code of California and fail to comply therewith with the provisions of Section 3800 of the Labor Code, that the permit herein applied for shall be deemed revoked.

() V. I certify as the owner (or the agent for the owner) that in the performance of the work for which this permit is issued, I will employ a contractor who complies with the worker's compensation laws of California and who, prior to the commencement of any work, will file a completed copy of this form with the Central Permit Bureau.

SAN FRANCISCO

CONDITIONS AND STIPULATIONS

REFER TO: APPROVED:
DEPARTMENT OF BUILDING INSPECTION
Matthew Ralls, DBI
AUG 31 2016

DATE: 11/25/15
REASON: B.I.P. - G.H.
OK TO PROCESS

<input type="checkbox"/>	APPROVED: lightwell infill (on bottom 2 levels only) against neighboring blank wall H.K. 11/25/15 Approved Planning Dept. Heidi Kline	BUILDING INSPECTOR, DEPT. OF BLDG. INSP.	NOTIFIED MR. DATE: _____ REASON: _____
<input type="checkbox"/>	APPROVED:	DEPARTMENT OF CITY PLANNING	NOTIFIED MR. DATE: _____ REASON: _____
<input type="checkbox"/>	APPROVED:	BUREAU OF FIRE PREVENTION & PUBLIC SAFETY	NOTIFIED MR. DATE: _____ REASON: _____
<input type="checkbox"/>	APPROVED: Matthew Ralls, DBI AUG 31 2016	MECHANICAL ENGINEER, DEPT. OF BLDG. INSPECTION	NOTIFIED MR. DATE: _____ REASON: _____
<input type="checkbox"/>	APPROVED:	CIVIL ENGINEER, DEPT. OF BLDG. INSPECTION	NOTIFIED MR. DATE: _____ REASON: _____
<input type="checkbox"/>	APPROVED:	BUREAU OF ENGINEERING	NOTIFIED MR. DATE: _____ REASON: _____
<input type="checkbox"/>	APPROVED:	DEPARTMENT OF PUBLIC HEALTH	NOTIFIED MR. DATE: _____ REASON: _____
<input type="checkbox"/>	APPROVED:	REDEVELOPMENT AGENCY	NOTIFIED MR. DATE: _____ REASON: _____
<input type="checkbox"/>	APPROVED:	HOUSING INSPECTION DIVISION	NOTIFIED MR. DATE: _____ REASON: _____

SPECIAL INSPECTIONS AND TESTS ARE REQUIRED AS PER SFBC CHAPTER 17

HOLD SECTION - NOTE DATES AND NAMES OF ALL PERSONS NOTIFIED DURING PROCESSING

I agree to comply with all conditions or stipulations of the various bureaus or departments noted on this application, and attached statements of conditions or stipulations, which are hereby made a part of this application.

Number of attachments ☐

OWNER'S AUTHORIZED AGENT



City and County of San Francisco
Department of Building Inspection



Edwin M. Lee, Mayor
Tom C. Hui, S.E., C.B.O., Director

LICENSED CONTRACTOR'S STATEMENT

Permit Application No. 2015-11-25-3643
Job Address: 143 CORBETT AVE

Licensed Contractor's Declaration

Pursuant to the Business and Professions Code Sec. 7031.5, I hereby affirm under penalty of perjury that I am licensed under the provisions of Chapter 9 (commencing with Sec. 7000) of Division 3 of the Business and Professions Code, and that my license is in full force and effect.

License Number 705303
License Class B
Expiration Date 228.2017

Contractor

FRANCISCO SAMONAL
PRINT
[Signature]
SIGNATURE

NOTE: *Any violation of the Bus. & Prof. Code Sec 7031.5 by any permit applicant shall be subject to a civil penalty of not more than five hundred dollars (\$500)* Bus. & Prof. Code Sec. 7031.5. Revised 10/1/2013.



STRUCTURAL ADDITION INFORMATION FORM

OWNER'S NAMES & ADDRESS: Bagharian, Kari-143 Corbett Ave-SF CA. 94114

ADDRESS: 143 Corbett Ave # OF NOTIFICATIONS: 6

BLOCK: 2656 ADDRESS ON APPLICATION (PLANS)

LOT: 060 VERIFIED BY: DMH
Initials

APPLICATIONS 2015-11-25-3643

PERMIT # 1402304 DATE MAILED: 08/31/16

DATE ISSUED: 08/31/16

ADDITION CONSISTS OF: _____

ADDRESS OF ADJACENT PROPERTIES:

LOT #
061 ADDRESS: 137 Corbett Ave
139 11 6

LOT #
ADDRESS: _____

004 ADDRESS: _____

ADDRESS: _____

005 ADDRESS: _____

ADDRESS: _____

006 ADDRESS: _____

ADDRESS: _____

059 ADDRESS: _____

ADDRESS: _____

Exhibit 15

SEP 16 2016

Tom C. Hui
TOM C. HUI, S.E., C.B.O.
DIRECTOR
DEPT. OF BUILDING INSPECTION

APPROVED FOR ISSUANCE

BLDG. FORM 318

APPLICATION NUMBER
20160916APPROVAL NUMBER
1972

APPLICATION FOR BUILDING PERMIT
ADDITIONS, ALTERATIONS OR REPAIRS

FORM 3 ☐ OTHER AGENCIES REVIEW REQUIREDFORM 8 ☒ OVER-THE-COUNTER ISSUANCE

6 NUMBER OF PLAN SETS

DO NOT WRITE ABOVE THIS LINE

CITY AND COUNTY OF SAN FRANCISCO
DEPARTMENT OF BUILDING INSPECTION

APPLICATION IS HEREBY MADE TO THE DEPARTMENT OF
BUILDING INSPECTION OF SAN FRANCISCO FOR
PERMISSION TO BUILD IN ACCORDANCE WITH THE PLANS
AND SPECIFICATIONS SUBMITTED HERewith AND
ACCORDING TO THE DESCRIPTION AND FOR THE PURPOSE
HEREINAFTER SET FORTH.

DATE FILED 9-16-16	FILED FEE RECEIPT NO.	(1) STREET ADDRESS OF JOB 143 CORBETT AVE	BLOCK & LOT 2056/464
PERMIT NO. 1403825	ISSUED 9/16/16	(2A) ESTIMATED COST OF JOB 1.2	(2B) REVISED COST \$1 = New Day 9-16-16
INFORMATION TO BE FURNISHED BY ALL APPLICANTS			
LEGAL DESCRIPTION OF EXISTING BUILDING			
(4A) TYPE OF CONSTR. V-B	(4B) NO. OF STORIES OF OCCUPANCY 3	(4C) NO. OF BASEMENTS AND CELLARS 1	(4D) PRESENT USE CABLE FAMILY
(4E) OCCUP. CLASS P-3	(4F) NO. OF DWELLING UNITS 1		
DESCRIPTION OF BUILDING AFTER PROPOSED ALTERATION			
(4A) TYPE OF CONSTR. V-B	(4B) NO. OF STORIES OF OCCUPANCY 3	(4C) NO. OF BASEMENTS AND CELLARS 1	(4D) PROPOSED USE (LEGAL USE) CABLE FAMILY
(4E) OCCUP. CLASS P-3	(4F) NO. OF DWELLING UNITS 1		
(10) IS AUTO RUNWAY TO BE CONSTRUCTED OR ALTERED? YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	(11) WILL STREET SPACE BE USED DURING CONSTRUCTION? YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	(12) ELECTRICAL WORK TO BE PERFORMED? YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	(13) PLUMBING WORK TO BE PERFORMED? YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>
(14) GENERAL CONTRACTOR ET SANDOVAL 1348 PULCES ST 94110 734-7072	ADDRESS 1348 PULCES ST 94110	ZIP 94110	EXPIRATION DATE 8/10/2013
(16) OWNER - LESSEE (CROSS OUT ONE) PASQUINI PASQUAN 21789 HIGHER 94520	ADDRESS 21789 HIGHER 94520	ZIP 94520	PHONE (FOR CONTACT BY DEPT.) 408-674-1907
(18) WRITE IN DESCRIPTION OF ALL WORK TO BE PERFORMED UNDER THIS APPLICATION (REFERENCE TO PLANS IS NOT SUFFICIENT)			
REVISION TO PERMIT 2015. 11.25. 3643 RECALL ON LIGHTWELL ON EAST SIDE OF BUILDING AS NOTED ON PLAN. CLERICAL ERROR SHOWS WEST.			
ADDITIONAL INFORMATION			
(17) DOES THIS ALTERATION CREATE ADDITIONAL HEIGHT OR STORY TO BUILDING? YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	(18) IF (17) IS YES, STATE NEW HEIGHT AT CENTER LINE OF FRONT	(19) DOES THIS ALTERATION CREATE DECK OR HORIZ. EXTENSION TO BUILDING? YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	(20) IF (19) IS YES, STATE NEW GROUND FLOOR AREA SQ. FT.
(21) WILL SIDEWALK OVER SUB-SIDEWALK SPACE BE REPAIRED OR ALTERED? YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	(22) WILL BUILDING EXTEND BEYOND PROPERTY LINE? YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	(23) ANY OTHER EXISTING BLDG. ON LOT? (IF YES, SHOW ON PLOT PLAN) YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	(24) DOES THIS ALTERATION CONSTITUTE A CHANGE OF OCCUPANCY? YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>
(25) ARCHITECT OR ENGINEER (DESIGN <input type="checkbox"/> CONSTRUCTION <input type="checkbox"/>) ADDRESS		CALIF. CERTIFICATE NO.	
(26) CONSTRUCTION LENDER (ENTER NAME AND BRANCH DESIGNATION IF ANY. IF THERE IS NO KNOWN CONSTRUCTION LENDER, ENTER "UNKNOWN") ADDRESS			

IMPORTANT NOTICES

No change shall be made in the character of the occupancy or use without first obtaining a Building Permit authorizing such change. See San Francisco Building Code and San Francisco Housing Code.

No portion of building or structure or scaffolding used during construction is to be closer than 6'0" to any wire containing more than 750 volts. See Sec 385, California Penal Code.

Pursuant to San Francisco Building Code, the building permit shall be posted on the job. The owner is responsible for approved plans and application being kept at building site.

Grade lines as shown on drawings accompanying this application are assumed to be correct. If actual grade lines are not the same as shown, revised drawings showing correct grade lines, cuts and fills, and complete details of retaining walls and soil footings must be submitted to file department for approval.

ANY VIOLATION REQUIRED HEREON OR BY CODE MAY BE APPEALED.

BUILDING NOT TO BE OCCUPIED UNTIL CERTIFICATE OF FINAL COMPLETION IS POSTED ON THE BUILDING OR PERMIT OF OCCUPANCY GRANTED, WHEN REQUIRED.

APPROVAL OF THIS APPLICATION DOES NOT CONSTITUTE AN APPROVAL FOR THE ELECTRICAL WORKS OR PLUMBING INSTALLATIONS. A SEPARATE PERMIT FOR THE WORKS AND PLUMBING MUST BE OBTAINED. SEPARATE PERMITS ARE REQUIRED IF ANSWER IS "YES" TO ANY OF ABOVE QUESTIONS (10) (11) (12) (13) (22) OR (24).

THIS IS NOT A BUILDING PERMIT. NO WORK SHALL BE STARTED UNTIL A BUILDING PERMIT IS ISSUED.

In drawings, all insulating materials must have a clearance of not less than two inches from all electrical wires or equipment.

CHECK APPROPRIATE BOX

- ☐ OWNER
☐ LESSOR
☒ CONTRACTOR
☐ ARCHITECT
☐ AGENT
☐ ENGINEER

APPLICANT'S CERTIFICATION

I HEREBY CERTIFY AND AGREE THAT IF A PERMIT IS ISSUED FOR THE CONSTRUCTION DESCRIBED IN THIS APPLICATION, ALL THE PROVISIONS OF THE PERMIT AND ALL LAWS AND ORDINANCES THEREOF WILL BE COMPLIED WITH.

NOTICE TO APPLICANT

HOLD HARMLESS CLAUSE. The permittee(s) by acceptance of the permit, agree(s) to indemnify and hold harmless the City and County of San Francisco from and against any and all claims, demands and actions for damages resulting from operations under this permit, regardless of negligence of the City and County of San Francisco, and to assume the defense of the City and County of San Francisco against all such claims, demands or actions.

In conformity with the provisions of Section 2600 of the Labor Code of the State of California, the applicant shall have worker's compensation coverage under (i) or (ii) designated below, or shall indicate item (iii), (iv), or (v), whichever is applicable. If however item (v) is checked, item (iv) must be checked as well. Mark the appropriate method of compliance below.

I hereby affirm under penalty of perjury one of the following declarations:

(i) I have and will maintain a certificate of consent to and-insure for worker's compensation, as provided by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued.

(ii) I have and will maintain worker's compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My worker's compensation insurance carrier and policy number are:

Carrier
Policy Number

(iii) The cost of the work to be done is \$100 or less.

(iv) I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the worker's compensation laws of California. I further acknowledge that I understand that in the event that I should become subject to the worker's compensation laws of the State of California, I will employ a contractor who complies with the worker's compensation laws of California and who, prior to the commencement of any work, will file a completed copy of this form with the County of San Francisco.

(v) I certify as employer (or the agent for the owner) that in the performance of the work for which this permit is issued, I will employ a contractor who complies with the worker's compensation laws of California and who, prior to the commencement of any work, will file a completed copy of this form with the County of San Francisco.

9-16-16
Date

SAN FRANCISCO

CONDITIONS AND STIPULATIONS

REFER TO: DEPARTMENT OF BUILDING INSPECTION

APPROVED: Matthew Rails, DBI

SEP 16 2016

DATE: 9/16/16
REASON: de 90
Process. B10
Matt Greene

	BUILDING INSPECTOR, DEPT. OF BLDG. INSP.	NOTIFIED MR.
APPROVED:		DATE: _____
<input type="checkbox"/>	<u>N/A</u>	REASON: _____
	DEPARTMENT OF CITY PLANNING	NOTIFIED MR.
APPROVED:		DATE: _____
<input type="checkbox"/>		REASON: _____
	BUREAU OF FIRE PREVENTION & PUBLIC SAFETY	NOTIFIED MR.
APPROVED:		DATE: _____
<input type="checkbox"/>		REASON: _____
	MECHANICAL ENGINEER, DEPT. OF BLDG. INSPECTION	NOTIFIED MR.
APPROVED:		DATE: _____
<input type="checkbox"/>		REASON: _____
	CIVIL ENGINEER, DEPT. OF BLDG. INSPECTION	NOTIFIED MR.
APPROVED:		DATE: _____
<input type="checkbox"/>		REASON: _____
	BUREAU OF ENGINEERING	NOTIFIED MR.
APPROVED:		DATE: _____
<input type="checkbox"/>		REASON: _____
	DEPARTMENT OF PUBLIC HEALTH	NOTIFIED MR.
APPROVED:		DATE: _____
<input type="checkbox"/>		REASON: _____
	REDEVELOPMENT AGENCY	NOTIFIED MR.
APPROVED:		DATE: _____
<input type="checkbox"/>	<u>N/A</u>	REASON: _____
	HOUSING INSPECTION DIVISION	NOTIFIED MR.

HOLD SECTION - NOTE DATES AND NAMES OF ALL PERSONS NOTIFIED DURING PROCESSING

I agree to comply with all conditions or stipulations of the various bureaus or departments noted on this application, and attached statements of conditions or stipulations, which are hereby made a part of this application.

Number of attachments ☐

OWNER'S AUTHORIZED AGENT



City and County of San Francisco
Department of Building Inspection



Edwin M. Lee, Mayor
Tom C. Hui, S.E., C.B.O., Director

LICENSED CONTRACTOR'S STATEMENT

Permit Application No. 2016. 09-16-7972

Job Address: 143 CORBETT

Licensed Contractor's Declaration

Pursuant to the Business and Professions Code Sec. 7031.5, I hereby affirm under penalty of perjury that I am licensed under the provisions of Chapter 9 (commencing with Sec. 7000) of Division 3 of the Business and Professions Code, and that my license is in full force and effect.

License Number 705303

License Class B

Expiration Date 2-21

Contractor:

FRANCISCO SANDOVAL

PRINT

A handwritten signature in black ink, appearing to read "Francisco Sandoval", written over a horizontal line.

SIGNATURE

NOTE: "Any violation of the Bus. & Prof. Code Sec 7031.5 by any permit applicant shall be subject to a civil penalty of not more than five hundred dollars (\$500)" Bus. & Prof. Code Sec. 7031.5. Revised 10/1/2013.

Exhibit 16



APPROVED

Dept. of Building Insp.

AUG 19 2016

Tom C. Hui
TOM C. HUI, S.E., C.B.O.
DIRECTOR
DEPT. OF BUILDING INSPECTION

APPROVED FOR ISSUANCE
8/18/16

BLDG. FORM 318

APPLICATION NUMBER
201608195
APPROVAL NUMBER
15

OSHA APPROVAL REQ'D ☐

APPLICATION FOR BUILDING PERMIT ADDITIONS, ALTERATIONS OR REPAIRS

FORM 3 ☐ OTHER AGENCIES REVIEW REQUIRED
FORM 8 ☒ OVER-THE-COUNTER ISSUANCE

4 NUMBER OF PLAN SETS

DO NOT WRITE ABOVE THIS LINE

CITY AND COUNTY OF SAN FRANCISCO DEPARTMENT OF BUILDING INSPECTION

APPLICATION IS HEREBY MADE TO THE DEPARTMENT OF BUILDING INSPECTION OF SAN FRANCISCO FOR PERMISSION TO BUILD IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS SUBMITTED HERewith AND ACCORDING TO THE DESCRIPTION AND FOR THE PURPOSE HEREINAFTER SET FORTH.

DATE FILED 8/18/16	FILING FEE RECEIPT NO. -	(1) STREET ADDRESS OF JOB 143 CORBET AVE	BLOCK & LOT 2056/060
PERMIT NO. 1401200	ISSUED 8/19/16	(2A) ESTIMATED COST OF JOB \$1.00	(2B) REVERSED COST BY: \$1.00 NJV DATE: 8/18/16

INFORMATION TO BE FURNISHED BY ALL APPLICANTS

LEGAL DESCRIPTION OF EXISTING BUILDING							
(4A) TYPE OF CONSTR. 5B	(5A) NO. OF STORIES OF OCCUPANCY 3	(6A) NO. OF BASEMENTS AND CELLARS 1	(7A) PRESENT USE SINGLE FAM DWELLING	(8A) OCCUP. CLASS R3	(9A) NO. OF DWELLING UNITS 1		
DESCRIPTION OF BUILDING AFTER PROPOSED ALTERATION							
(4) TYPE OF CONSTR. 6B	(5) NO. OF STORIES OF OCCUPANCY 3	(6) NO. OF BASEMENTS AND CELLARS 1	(7) PROPOSED USE (LEGAL USE) SINGLE FAM DWELLING	(8) OCCUP. CLASS R3	(9) NO. OF DWELLING UNITS 1		
(10) IS AUTO RUNWAY TO BE CONSTRUCTED OR ALTERED?	YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	(11) WILL STREET SPACE BE USED DURING CONSTRUCTION?	YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	(12) ELECTRICAL WORK TO BE PERFORMED?	YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	(13) PLUMBING WORK TO BE PERFORMED?	YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>
(14) GENERAL CONTRACTOR R. SANDOVAL		ADDRESS 1248 DOLORES ST		ZIP 94110	PHONE 415-734-7172	CALIF. LIC. NO. 705303	EXPIRATION DATE 2/28/17
(15) OWNER - LESSEE (CROSS OUT ONE) PASINI PASHAYAN		ADDRESS 143 CORBET AVE SF		ZIP 94115	PHONE (FOR CONTACT BY DEPT.) 408-867-7707		
(16) WRITE IN DESCRIPTION OF ALL WORK TO BE PERFORMED UNDER THIS APPLICATION (REFERENCE TO PLANS IS NOT SUFFICIENT)							

To obtain final inspection
for work approved under
PA#
All work is complete

2014-0811-3493
2014-0918-4686
2014-1125-2473

ADDITIONAL INFORMATION

(17) DOES THIS ALTERATION CREATE ADDITIONAL HEIGHT OR STORY TO BUILDING?	YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	(18) IF (17) IS YES, STATE NEW HEIGHT AT CENTER LINE OF FRONT	N/A	(19) DOES THIS ALTERATION CREATE DECK OR PORCH EXTENSION TO BUILDING?	YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	(20) IF (19) IS YES, STATE NEW GROUND FLOOR AREA	N/A	SQ. FT.
(21) WILL SIDEWALK OVER SUB-SIDEWALK SPACE BE REPAIRED OR ALTERED?	YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	(22) WILL BUILDING EXTEND BEYOND PROPERTY LINE?	YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	(23) ANY OTHER EXISTING BLDG. ON LOT? IF YES, SHOW ON PLOT PLAN	YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	(24) DOES THIS ALTERATION CONSTITUTE A CHANGE OF OCCUPANCY?	YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	
(25) ARCHITECT OR ENGINEER (DESIGN <input type="checkbox"/> CONSTRUCTION <input checked="" type="checkbox"/>)				ADDRESS		CALIF. CERTIFICATE NO.		
(26) CONSTRUCTION LENDER (ENTER NAME AND BRANCH DESIGNATION IF ANY. IF THERE IS NO KNOWN CONSTRUCTION LENDER, ENTER "UNKNOWN")				ADDRESS				

IMPORTANT NOTICES

No change shall be made in the character of the occupancy or use without first obtaining a Building Permit authorizing such change. See San Francisco Building Code and San Francisco Licensing Code.

No portion of building or structure or scaffolding used during construction is to be closer than 6" to any wall containing more than 750 volts. See Sec 305, California Penal Code.

Pursuant to San Francisco Building Code, the building permit shall be posted on the job. The owner is responsible for approved plans and application being kept at building site.

Grade lines as shown on drawings accompanying this application are assumed to be correct. If actual grade lines are not the same as shown, revised drawings showing correct grade lines, cuts and fills, and complete details of retaining walls and wall footings must be submitted to this department for approval.

ANY STIPULATION REQUIRED HEREIN OR BY CODE MAY BE APPEALED.

BUILDING NOT TO BE OCCUPIED UNTIL CERTIFICATE OF FINAL COMPLETION IS POSTED ON THE BUILDING OR PERMIT OF OCCUPANCY GRANTED, WHEN REQUIRED.

APPROVAL OF THIS APPLICATION DOES NOT CONSTITUTE AN APPROVAL FOR THE ELECTRICAL WORKS OR PLUMBING INSTALLATIONS. A SEPARATE PERMIT FOR THE WIRING AND PLUMBING MUST BE OBTAINED. SEPARATE PERMITS ARE REQUIRED IF ANSWER IS "YES" TO ANY OF ABOVE QUESTIONS (10) (11) (12) (13) (22) OR (24).

THIS IS NOT A BUILDING PERMIT. NO WORK SHALL BE STARTED UNTIL A BUILDING PERMIT IS ISSUED.

In dwellings, all installing materials must have a clearance of not less than two inches from all electrical wires or equipment.

CHECK APPROPRIATE BOX

- ☐ OWNER ☐ ARCHITECT
☐ LESSEE ☐ AGENT
☐ CONTRACTOR ☐ ENGINEER

APPLICANT'S CERTIFICATION

I HEREBY CERTIFY AND AGREE THAT IF A PERMIT IS ISSUED FOR THE CONSTRUCTION DESCRIBED IN THIS APPLICATION, ALL THE PROVISIONS OF THE PERMIT AND ALL LAWS AND ORDINANCES THERE TO WILL BE COMPLIED WITH.

NOTICE TO APPLICANT

INDURABLE HARMLESS CLAUSE. The permittee(s) by acceptance of the permit, agree(s) to indemnify and hold harmless the City and County of San Francisco from and against any and all claims, demands and actions for damages resulting from operations under this permit, regardless of negligence of the City and County of San Francisco, and to assume the defense of the City and County of San Francisco against all such claims, demands or actions.

In conformity with the provisions of Section 3800 of the Labor Code of the State of California, the applicant shall have worker's compensation coverage under (i) or (j) designated below, or shall indicate item (ii), (iv), or (v), whichever is applicable. If however item (v) is checked, item (iv) must be checked as well. Mark the appropriate method of compliance below.

I hereby affirm under penalty of perjury one of the following declarations:

- () I. I have and will maintain a certificate of consent to self-insure for worker's compensation, as provided by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued.
- () II. I have and will maintain worker's compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My worker's compensation insurance carrier and policy number are:

Carrier
Policy Number

The cost of the work to be done is \$100 or less.

- () III. I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the worker's compensation laws of California. I further acknowledge that I understand that in the event that I should become subject to the worker's compensation laws of the Labor Code of California and fail to comply forthwith with the provisions of Section 3800 of the Labor Code, the permit herein applied for shall be deemed revoked.

- () IV. I certify as the owner (or the agent of the owner) that in the performance of the work for which this permit is issued, I will employ a contractor who complies with the worker's compensation laws of California and who, prior to the commencement of any work, will file a completed copy of this form with the Contractor's Bureau.

8/18/16

SAN FRANCISCO

CONDITIONS AND STIPULATIONS

REFER APPROVED:

TO: Contact the district building inspector at the start of work i.
558-5095. For plumbing inspection scheduling call 558-
5094. For electrical inspection scheduling call 558-6030.
This application is approved without site inspection, detailed
plumbing or electrical plan review and does not constitute an
approval of the building. Work authorized must be done in
strict accordance with all applicable codes. Any electrical or
plumbing work shall require appropriate separate permits.

ROBERT POWER, DBI

AUG 18 2016

BUILDING INSPECTOR, DEPT. OF BLDG. INSP.

APPROVED:

☐

DEPARTMENT OF CITY PLANNING

APPROVED:

☐

BUREAU OF FIRE PREVENTION & PUBLIC SAFETY

APPROVED:

☐

MECHANICAL ENGINEER, DEPT. OF BLDG. INSPECTION

APPROVED:

☐

CIVIL ENGINEER, DEPT. OF BLDG. INSPECTION

APPROVED:

☐

BUREAU OF ENGINEERING

APPROVED:

☐

DEPARTMENT OF PUBLIC HEALTH

APPROVED:

☐

REDEVELOPMENT AGENCY

APPROVED:

☐

HOUSING INSPECTION DIVISION

DATE: _____

REASON: _____

NOTIFIED MR. _____

DATE: _____

REASON: _____

NOTIFIED MR. _____

DATE: _____

REASON: _____

NOTIFIED MR. _____

DATE: _____

REASON: _____

NOTIFIED MR. _____

DATE: _____

REASON: _____

NOTIFIED MR. _____

DATE: _____

REASON: _____

NOTIFIED MR. _____

DATE: _____

REASON: _____

NOTIFIED MR. _____

DATE: _____

REASON: _____

NOTIFIED MR. _____

DATE: _____

REASON: _____

NOTIFIED MR. _____

I agree to comply with all conditions or stipulations of the various bureaus or departments noted on this application, and attached statements of conditions or stipulations, which are hereby made a part of this application.

Number of attachments ☐

OWNER'S AUTHORIZED AGENT

HOLD SECTION - NOTE DATES AND NAMES OF ALL PERSONS NOTIFIED DURING PROCESSING



City and County of San Francisco
Department of Building Inspection



Edwin M. Lee, Mayor
Tom C. Hui, S.E., C.B.O., Director

LICENSED CONTRACTOR'S STATEMENT

Permit Application No. _____

Job Address: 143 CORBETT AVE

Licensed Contractor's Declaration

Pursuant to the Business and Professions Code Sec. 7031.5, I hereby affirm under penalty of perjury that I am licensed under the provisions of Chapter 9 (commencing with Sec. 7000) of Division 3 of the Business and Professions Code, and that my license is in full force and effect.

License Number 705303

License Class B

Expiration Date 02/28/17

Contractor

FRANCISCO SANDOVAL

PRINT

[Signature]
SIGNATURE

NOTE: "Any violation of the Bus. & Prof. Code Sec 7031.5 by any permit applicant shall be subject to a civil penalty of not more than five hundred dollars (\$500)" Bus. & Prof. Code Sec. 7031.5. Revised 10/1/2013.

Exhibit 17

COMPLAINT DATA SHEET**Complaint****Number:** 201489181

Owner/Agent: OWNER DATA SUPPRESSED

Owner's Phone: --

Contact Name: --

Contact Phone: --

Complainant: COMPLAINANT DATA
SUPPRESSED

Date Filed:

Location:

143 CORBETT AV

Block:

2656

Lot:

060

Site:

Rating:

Occupancy Code:

Received By:

Alma Canindin

Division:

PID

Complainant's

Phone:

Complaint Source: TELEPHONE

Assigned to

BID

Division:

Description: Construction on the 1st floor without permit to date.

Instructions:

INSPECTOR INFORMATION

DIVISION	INSPECTOR	ID	DISTRICT	PRIORITY
BID	HERNANDEZ	6286		

REFERRAL INFORMATION**COMPLAINT STATUS AND COMMENTS**

DATE	TYPE	DIV	INSPECTOR	STATUS	COMMENT
08/07/14	CASE OPENED	BID	Schroeder	CASE RECEIVED	
08/08/14	OTHER BLDG/HOUSING VIOLATION	BID	Hernandez	NO ENTRY	no entry left a wywo on 8/8/14 mh
08/11/14	OTHER BLDG/HOUSING VIOLATION	BID	Hernandez	CASE CLOSED	PA201408113493 issued. ok to close MH

COMPLAINT ACTION BY DIVISION**NOV (HIS):****NOV (BID):**

Inspector Contact Information

[Online Permit and Complaint Tracking](#) home page.**Technical Support for Online Services**

If you need help or have a question about this service, please visit our FAQ area.

Exhibit 18

COMPLAINT DATA SHEET**Complaint Number: 201494491**Owner/Agent: OWNER DATA
SUPPRESSED

Owner's Phone: --

Contact Name: --

Contact Phone: --

Complainant: COMPLAINANT DATA
SUPPRESSED

Date Filed:

Location: 143 CORBETT AV

Block: 2656

Lot: 060

Site:

Rating:

Occupancy Code:

Received By: MASUNCION

Division: BID

Complainant's

Phone:

Complaint Source: WEB FORM

Assigned to:

Division: BID

Description: date last observed: 12-SEP-14; time last observed: 1:00 pm; identity of person performing the work: Sandoval? ; floor: First; exact location: Main Bldg; building type: Residence/Dwelling
WORK W/O PERMIT; WORK BEYOND SCOPE OF PERMIT; ; additional information: Gutted 1st floor, permit is 3rd floor bath. Earlier complaint abated by inspector who did not visit but assumed permit covered work. ;

Instructions:

INSPECTOR INFORMATION

DIVISION	INSPECTOR	ID	DISTRICT	PRIORITY
BID	SCHROEDER	11444	18	

REFERRAL INFORMATION**COMPLAINT STATUS AND COMMENTS**

DATE	TYPE	DIV	INSPECTOR	STATUS	COMMENT
09/16/14	CASE OPENED	BID	Schroeder	CASE RECEIVED	
09/17/14	CASE OPENED	BID	Schroeder	CASE RECEIVED	site visit contractor to provide permits not on site cs
09/18/14	WITHOUT PERMIT-ADDED, DELETED FLOOR OCCUPANCY	BID	Schroeder	CASE ABATED	pa 201409186685 issued for work cs

COMPLAINT ACTION BY DIVISION**NOV (HIS):****NOV (BID):**

Inspector Contact Information

[Online Permit and Complaint Tracking](#) home page.**Technical Support for Online Services**

If you need help or have a question about this service, please visit our FAQ area.

Exhibit 19

COMPLAINT DATA SHEET**Complaint****Number:** 201407451

Owner/Agent: OWNER DATA SUPPRESSED

Owner's Phone: --

Contact Name: --

Contact Phone: --

Complainant: COMPLAINANT DATA
SUPPRESSED

Date Filed:

Location: 143 CORBETT AV

Block: 2656

Lot: 060

Site:

Rating:

Occupancy Code:

Received By: IS INTERN

Division: INS

Complainant's

Phone:

Complaint Source: TELEPHONE

Assigned to

Division: BID

Description: Construction with windows open while tearing out ceiling and not containing the dust. Concerned about safety and possibly working beyond the scope of the permit.

Instructions: Complainant would like a call back after the inspection.

INSPECTOR INFORMATION

DIVISION	INSPECTOR	ID	DISTRICT	PRIORITY
BID	SCHROEDER	1144	18	

REFERRAL INFORMATION**COMPLAINT STATUS AND COMMENTS**

DATE	TYPE	DIV	INSPECTOR	STATUS	COMMENT
11/10/14	CASE OPENED	BID	Schroeder	CASE RECEIVED	
11/14/14	OTHER BLDG/HOUSING VIOLATION	BID	Schroeder	CASE CLOSED	issued correction notice to extend permit to work done beyond scope of permit. case closed JB

COMPLAINT ACTION BY DIVISION**NOV (HIS):****NOV (BID):**

Inspector Contact Information

[Online Permit and Complaint Tracking](#) home page.**Technical Support for Online Services**

If you need help or have a question about this service, please visit our FAQ area.

Exhibit 20

COMPLAINT DATA SHEET**Complaint Number:** 201542021Owner/Agent: OWNER DATA
SUPPRESSED

Owner's Phone: --

Contact Name: --

Contact Phone: --

Complainant: COMPLAINANT DATA
SUPPRESSED

Date Filed:

Location: 143 CORBETT AV

Block: 2656

Lot: 060

Site:

Rating:

Occupancy Code:

Received By: Adora Canotal

Division: PID

Complainant's

Phone:

Complaint

Source:

311 INTERNET REFERRAL

Assigned to

Division:

BID

Description:

143 Corbett --- Complaint please verify Permit - permit online for a remodel of a bathroom. Work is going on all day, every day, the house was down to the studs and a new electrical box has been installed. There seems to be more going on then a remodel of a small bathroom. Also checking to see if the permit has been suspended.

Instructions: 311 service request no. 4682265 received on 04/22/2015

INSPECTOR INFORMATION

DIVISION	INSPECTOR	ID	DISTRICT	PRIORITY
BID	SCHROEDER	1144	18	

REFERRAL INFORMATION**COMPLAINT STATUS AND COMMENTS**

DATE	TYPE	DIV	INSPECTOR	STATUS	COMMENT
04/22/15	CASE OPENED	BID	Schroeder	CASE RECEIVED	
04/28/15	CASE OPENED	BID	Schroeder	CASE CLOSED	work per scope of oermits cs

COMPLAINT ACTION BY DIVISION**NOV (HIS):****NOV (BID):**

Inspector Contact Information

[Online Permit and Complaint Tracking](#) home page.**Technical Support for Online Services**

If you need help or have a question about this service, please visit our FAQ area.

Exhibit 21

COMPLAINT DATA SHEET**Complaint
Number:** 201555501Owner/Agent: OWNER DATA
SUPPRESSED

Owner's Phone: --

Contact Name: --

Contact Phone: --

Complainant: COMPLAINANT DATA
SUPPRESSED

Date Filed:

Location: 143 CORBETT AV

Block: 2656

Lot: 060

Site:

Rating:

Occupancy Code:

Received By: Carmen Hasbun

Division: INS

Complainant's

Phone:

Complaint

Source: TELEPHONE

Assigned to

Division: BID

Description: Working outside of scope of permits 201408113493, 201409186685, 201411252473. Enclosing the deck and putting in windows in the deck.

Instructions:

INSPECTOR INFORMATION

DIVISION	INSPECTOR	ID	DISTRICT	PRIORITY
BID	SCHROEDER	1144	18	

REFERRAL INFORMATION**COMPLAINT STATUS AND COMMENTS**

DATE	TYPE	DIV	INSPECTOR	STATUS	COMMENT
07/02/15	CASE OPENED	BID	Schroeder	CASE RECEIVED	
07/03/15	CASE OPENED	BID	Schroeder	CASE CONTINUED	site visit legal existing deck enclosure cs
08/10/15	CASE OPENED	BID	Schroeder	CASE CLOSED	per scope of permits cs

COMPLAINT ACTION BY DIVISION**NOV (HIS):****NOV (BID):**

Inspector Contact Information

[Online Permit and Complaint Tracking](#) home page.**Technical Support for Online Services**

If you need help or have a question about this service, please visit our FAQ area.

Exhibit 22

COMPLAINT DATA SHEET**Complaint Number: 201580691**Owner/Agent: OWNER DATA
SUPPRESSED

Owner's Phone: --

Contact Name: --

Contact Phone: --

Complainant: COMPLAINANT DATA
SUPPRESSED

Date Filed:

Location: 143 CORBETT AV

Block: 2656

Lot: 060

Site:

Rating:

Occupancy Code:

Received By: Adora Canotal

Division: PID

Complainant's

Phone:

Complaint

Source: 311 INTERNET REFERRAL

Assigned to

Division: BID

Description: 143 Corbett Ave --- Construction without permits on the followings: 1. Closing out the light well between 143 & 145 Corbett Ave. 2. Digging out lower level to put in a new unit. 3. Completely redid the back deck. It's closed in and made it part of the house, completely blocking our view.

Instructions: 311 SR #5304725 received on 11/24/2015

INSPECTOR INFORMATION

DIVISION	INSPECTOR	ID	DISTRICT	PRIORITY
BID	HAJNAL	6234	18	

REFERRAL INFORMATION**COMPLAINT STATUS AND COMMENTS**

DATE	TYPE	DIV	INSPECTOR	STATUS	COMMENT
11/24/15	CASE OPENED	BID	Hajnal	CASE RECEIVED	
12/02/15	WITHOUT PERMIT - OTHER	BID	Hajnal	CASE CLOSED	Complaint not valid. Mutiple permits issued and filed. See PTS for permits and scopes of work.

COMPLAINT ACTION BY DIVISION**NOV (HIS):****NOV (BID):**

Inspector Contact Information

[Online Permit and Complaint Tracking](#) home page.**Technical Support for Online Services**

If you need help or have a question about this service, please visit our FAQ area.

Exhibit 23



COMPLAINT DATA SHEET

COMPLAINT NUMBER : 201631352

OWNER/AGENT: RAGHAVEN RAVI
RAGHAVEN RAVI
143 CORBETT AVE
SAN FRANCISCO CA

94114

OWNER'S PHONE --

CONTACT NAME

CONTACT PHONE --

COMPLAINANT:

DATE FILED: 10-AUG-16

LOCATION: 143 CORBETT AV

BLOCK: 2656 LOT: 060

SITE:

RATING: OCCUPANCY CODE

RECEIVED BY: Adora Canotal DIVISION: PID

COMPLAINT SOURCE: 311 INTERNET REFERRAL

ASSIGNED TO DIVISION: BID

COMPLAINANT'S PHONE --

DESCRIPTION: 143 Corbett Ave. --- Caller states please inspect. Caller states I want to make sure that this house has permits, and that it is safe to do the work that is being done at this location. This work has been going on for 2 years and there is also scaffolding there on and off and excavation. No Signs posted,

INSTRUCTIONS: 311 SR No. 6178651

INSPECTOR INFORMATION

DIVISION	INSPECTOR	ID	DISTRICT	PRIORITY
BID	BIRMINGHAM	6330	18	

REFERRAL INFORMATION

DATE	REFERRED BY	TO	COMMENT
------	-------------	----	---------

COMPLAINT STATUS AND COMMENTS

DATE	TYPE	DIVISION	INSPECTOR	STATUS	COMMENT
10-AUG-16	CASE OPENED	BID	S HAJNAL	CASE RECEIVED	
12-AUG-16	OTHER BLDG/HOUSING VIC	BID	S HAJNAL	CASE CONTINUED	Background research for permits and status.
24-OCT-16	WITHOUT PERMIT - OTHE	BID	K BIRMINGHAM	PERMIT RESEARCH	Site visit on 10/21/16. There are multiple open permits on this project. I am doing reshearch to determ if these cover the work being performed on the property
24-OCT-16	WITHOUT PERMIT - OTHE	BID	K BIRMINGHAM	FIRST NOV SENT	1st nov issued by K. Birmingham
25-OCT-16	WITHOUT PERMIT - OTHE	BID	K BIRMINGHAM	CASE UPDATE	copy of 1st nov mailed by jlu



City and County of San Francisco
Department of Building Inspection
1660 Mission Street
San Francisco, CA 94103

COMPLAINT DATA SHEET

COMPLAINT NUMBER : 201631352

COMPLAINT ACTION BY DIVISION

DIVISION	DATE	DESCRIPTION
----------	------	-------------

ACTION COMMENT

<u>NOV (HIS)</u>	<u>NOV (BID)</u>	
	24-OCT-16	

Exhibit 24



SHARTSIS FRIESE LLP

One Maritime Plaza ♦ Eighteenth Floor
San Francisco, California 94111-3598

Richard F. Munzinger
rmunzinger@sflaw.com
(415) 773-7340
Fax: (415) 421-2922

October 27, 2016

VIA EMAIL (smw@stevewilliamsllaw.com)

Stephen M. Williams, Esq.
Law Offices of Stephen M. Williams
1934 Divisadero Street
San Francisco, CA 94115

Re: 143 Corbett Avenue; Cease and Desist Demand

Dear Mr. Williams:

I write on behalf of our clients Rajan Raghavan (“Rajan”) and Ravi Raghavan (“Ravi”) (collectively, the “Raghavans”), to demand that your clients, Jennifer Creelman and Chip Driggs, cease and desist in their current wrongful and improper conduct. More specifically, your clients have abused the city permitting and inspection process, harassed the Raghavans to the point of creating a nuisance, invaded their privacy, intentionally inflicted emotional distress on them, trespassed on their property and negligently caused damage to it. If your clients do not immediately cease their wrongful conduct, my clients will have no choice but to file a lawsuit to compel them to do so and recover for the damages caused by your clients.

As you know, Rajan owns the property located at 143 Corbett Avenue, San Francisco, California (the “Property”), and Ravi occupies it. In or about October 2014, the Raghavans began remodeling the Property. In the course of that remodeling, they have complied with all applicable laws, rules and regulations, including obtaining all required city permits. (As you know, your clients requested inspections on several occasions, and those inspections always concluded that the project was fully legally compliant.) Accordingly, the Raghavans are entitled to proceed with their remodeling project and to the use and enjoyment of their Property.

Unfortunately, your clients’ wrongful conduct has delayed the remodeling of the Property and made it more expensive, as well as interfered with my clients’ right to use and enjoy the Property. Among other things, your clients have harassed the Raghavans and the individuals working on the project by constantly complaining to and confronting them with no legitimate basis. For example, your clients have continually harassed the Raghavans and their agents with demands that they delay the commencement of work each morning until long after the time allowed by law. Your clients have further frivolously complained that the Raghavans have “too many permits,” which of course, they are required to obtain by law. Your clients have also

continually demanded access to the Raghavans' Property and documents and information in order to inspect and approve the project, even though they have no right in law or equity to do either. Your clients have further harassed Ravi for his lawful use of the Property, such as exercising, watching television or listening to music. Taken as a whole, your clients' conduct constitutes a nuisance, invasion of privacy, intentional infliction of emotional distress and interference with contract.

Your clients have also completely disregarded and invaded the Raghavans' privacy and trespassed on their Property. On or about October 1, 2015, your client entered onto my clients' Property at approximately 9:30 p.m. without permission and yelled vulgarities at Ravi and his friends for supposedly making too much noise at a party. No other neighbors complained. Ravi's boss and work colleagues were also present. Putting aside the fact that a party at 9:30 p.m. is a reasonable part of normal life in a major metropolitan area, your client did not have permission or any legal justification for entering the Property. She could have called or emailed the Raghavans or even called the police, but she did not have the right to trespass and then embarrass and harass Ravi and his guests.

In addition to Ms. Creelman's personal trespass, your clients have trespassed on the Raghavans' Property and negligently damaged it by failing to repair a water leak, despite knowing that this leak exists and is causing damage to my clients' Property, and despite numerous demands by my clients that you fix it.

Moreover, your clients have delayed and interfered with the Raghavans' construction by filing and pursuing frivolous administrative complaints and objections with the city planning department and demanding inspections with no legitimate basis. Your clients have persisted in their frivolous complaints and objections despite being notified that their conduct was causing material delay and expense to the Raghavans and despite your clients knowing that their position is frivolous.

For example, your clients have refused, and continue to refuse, to withdraw their frivolous appeal of the Raghavans' pending lightwell project despite knowing that the plans are proper, and that there is no construction planned for the side of the property adjacent to your clients' home, which was your clients' only complaint with that project. As you and your clients know, there was never any construction planned for the side of the Property adjacent to your clients' home, and the information on the initial permit stating otherwise was a clerical error, which has been corrected. It will be obvious to a judge and jury that your clients' refusal to withdraw their appeal, despite being represented by counsel who can advise them as to its lack of merit, is the result of bad faith and a desire to intentionally delay and hamper the project, to the Raghavans' detriment. As you know, such conduct is the basis for claims for abuse of process and malicious prosecution, for which your clients would be liable for the Raghavans' attorneys' fees, construction costs and other losses arising from their frivolous complaints to the city.

I called you a few days ago to introduce myself and try to resolve this dispute. In the course of our conversation, you confirmed that you and your clients knew that the lightwell project was not planned for the side of the Property adjacent to your clients' property. However,

you stated that your clients would not dismiss the appeal. You also stated that your clients intended to “pile on” further complaints with the city regarding the Raghavans’ construction.

Although you did not provide any further detail, we have since learned that your clients have filed objections with the city relating to the Raghavans supposedly building new spaces which did not exist before and supposedly building an illegal kitchen nook. However, your clients have absolutely no evidence that any of the construction they have challenged is improper, nor is it. To the contrary, all of the work at issue is legal and permitted.

Moreover, as your clients know from living there before the prior owner of the Property sold to the Raghavans, the spaces your clients now claim are “new” were there before the Raghavans purchased the Property. The Raghavans are not building any new spaces, which your clients know, and which will be easily established by City records and documents from the Raghavans’ purchase of the Property. For example, I have attached as **Exhibit A** an appraisal report created prior to the Raghavans’ purchase of the Property, including a diagram of the rooms in the Property and photos of the rooms, all of which clearly establish that the spaces your clients claim to be new are pre-existing. Finally, your clients know that the previous owner rented out the basement space, so they cannot claim in good faith that they believe that space is new. If your clients persist with their baseless objections, we will present this evidence, along with the disclosure documents from the Raghavans’ purchase of the property and testimony by the real estate agent for the sale and by the Raghavans’ contractor.

As I advised on our call, if your clients do not dismiss their frivolous appeals and objections and refrain from further malicious abuse of the legal process, then, when these proceedings are over, and the Raghavans have prevailed in them, they will sue your clients for abuse of process and malicious prosecution. To prevail, the Raghavans need only show (1) that they prevailed against your clients’ objections with the city, (2) that your clients lacked probable cause for bringing those actions, and (3) that your clients acted out of malice. *Daniels v. Robbins*, 182 Cal. App. 4th 204, 216 (2010); *Citi-Wide Preferred Couriers, Inc. v. Golden Eagle Ins. Corp.*, 14 Cal. App. 4th 906, 911 (2003).

The Raghavans will establish these elements at trial. First, they will prevail against your clients’ appeals and objections. Next, the Raghavans will establish that your clients acted without probable cause. As I’m sure you have advised your clients, the test for whether a legal proceeding was based on “probable cause” is whether the party that brought the proceeding (*i.e.*, your clients), had any hard evidence or concrete basis for their position. See *Sheldon Appel Co. v. Albert & Olier*, 47 Cal. 3d 863, 868 (1989); see also *Sangster v. Paetkau*, 68 Cal. App. 4th 151, 164-65 (1998). Your clients do not possess a shred of evidence that any of the work they have challenged was unpermitted, improper or new. When your clients are called to the stand under oath in front of a jury in the action the Raghavans file for malicious prosecution and abuse of process, they will not be able to identify any basis for their frivolous legal proceedings. Finally, the Raghavans will establish malice based on the lack of probable cause, and based on your clients’ many emails and actions showing their disdain and personal animosity towards the Raghavans. See *Grindle v. Lorbeer*, 196 Cal. App. 3d 1461, 1465-66 (1987) (malice may be

inferred from lack of probable cause). In addition, the Raghavans will call a mutual neighbor to testify that your clients informed that neighbor that they were intentionally harassing the Raghavans and interfering with their construction.

You argued in our call that the Raghavans would be barred from bringing a lawsuit for malicious prosecution or abuse of process by the anti-SLAPP statute, but such claims routinely survive an anti-SLAPP challenge. See *Soukup v. Law Offices of Herbert Hafif* (2006) 39 Cal. 4th 260, 291 (1995). In *Soukup*, the plaintiff succeeded in making a prima facie showing that the prior action (1) was commenced by or at the direction of the defendant and was pursued to a legal termination favorable to the plaintiff; (2) was brought without probable cause; and (3) was initiated with malice. Accordingly, the case was allowed to proceed. See also *Slaney v. Ranger Ins. Co.* 115 Cal. App. 4th 306, 321 (2004) (plaintiff was able to make prima facie showing of termination of prior suit in its favor, lack of probable cause, and malice and therefore survived an anti-SLAPP motion); *Ross v. Kish*, 145 Cal. App. 4th 188, 197-98 (2006) (denial of anti-SLAPP motion upheld where plaintiff showed a probability of prevailing on malicious prosecution claim); *HMS Capital, Inc. v. Lawyers Title Co.*, 118 Cal. App. 4th 204, 214-219 (2004) (plaintiff established probability of prevailing on malicious prosecution claim and therefore defendant's anti-SLAPP motion was denied).

Here, as set forth above, the Raghavans have ample evidence to establish a prima facie likelihood of success on the merits and thus will defeat an anti-SLAPP motion. As you know, all evidence offered by the Raghavans in opposition to such a motion will be accepted by the court as true, and any evidence offered by your clients will only be considered if it is completely dispositive of an issue as a matter of law. *Flatley v. Mauro*, 39 Cal. 4th 299, 323-326 (2006).

In closing, the Raghavans would prefer to try to resolve this matter amicably. To this end, please promptly make a specific settlement proposal as to what your clients seek in order to agree to dismiss their appeals, stop trespassing and harassing the Raghavans and to refrain from interfering further with the Raghavans' construction. Please be advised that the Raghavans are not willing to forgo any construction or give your clients control over any aspect of construction, so please refrain from making any settlement proposals that include such terms.

If we are not able to resolve this matter amicably very soon, and your clients continue their trespass, nuisance, harassment and abuse of the legal process, then the Raghavans will file a lawsuit in superior court. If your clients force the Raghavans to do so, they will seek legal fees, the increased cost of construction resulting from your clients' harassment and delay, damages caused by the leak on your clients' property, nuisance damages, trespass damages and emotional distress damages, which together will easily exceed the jurisdictional minimum for an unlimited jurisdiction case. The Raghavans will also seek punitive damages.

Stephen M. Williams, Esq.
October 27, 2016
Page 5

We look forward to your response.

Sincerely,

A handwritten signature in black ink, appearing to read "Richard F. Munzinger". The signature is fluid and cursive, with a long horizontal stroke at the end.

Richard F. Munzinger

RFM:sft
Enclosures

10294\001\7822176.v3

Exhibit 25

SUMMONS (CITACION JUDICIAL)

FOR COURT USE ONLY
(SOLO PARA USO DE LA CORTE)

NOTICE TO DEFENDANT: (AVISO AL DEMANDADO):

JENNIFER CREELMAN; CHIP DRIGGS; and DOES 1-10, inclusive

YOU ARE BEING SUED BY PLAINTIFF:

(LO ESTÁ DEMANDANDO EL DEMANDANTE):

RAJAN RAGHAVAN and RAVI RAGHAVAN

NOTICE! You have been sued. The court may decide against you without your being heard unless you respond within 30 days. Read the information below.

You have 30 CALENDAR DAYS after this summons and legal papers are served on you to file a written response at this court and have a copy served on the plaintiff. A letter or phone call will not protect you. Your written response must be in proper legal form if you want the court to hear your case. There may be a court form that you can use for your response. You can find these court forms and more information at the California Courts Online Self-Help Center (www.courtinfo.ca.gov/selfhelp), your county law library, or the courthouse nearest you. If you cannot pay the filing fee, ask the court clerk for a fee waiver form. If you do not file your response on time, you may lose the case by default, and your wages, money, and property may be taken without further warning from the court.

There are other legal requirements. You may want to call an attorney right away. If you do not know an attorney, you may want to call an attorney referral service. If you cannot afford an attorney, you may be eligible for free legal services from a nonprofit legal services program. You can locate these nonprofit groups at the California Legal Services Web site (www.lawhelpcalifornia.org), the California Courts Online Self-Help Center (www.courtinfo.ca.gov/selfhelp), or by contacting your local court or county bar association. **NOTE:** The court has a statutory lien for waived fees and costs on any settlement or arbitration award of \$10,000 or more in a civil case. The court's lien must be paid before the court will dismiss the case.

¡AVISO! Lo han demandado. Si no responde dentro de 30 días, la corte puede decidir en su contra sin escuchar su versión. Lea la información a continuación.

Tiene 30 DÍAS DE CALENDARIO después de que le entreguen esta citación y papeles legales para presentar una respuesta por escrito en esta corte y hacer que se entregue una copia al demandante. Una carta o una llamada telefónica no lo protegen. Su respuesta por escrito tiene que estar en formato legal correcto si desea que procesen su caso en la corte. Es posible que haya un formulario que usted pueda usar para su respuesta. Puede encontrar estos formularios de la corte y más información en el Centro de Ayuda de las Cortes de California (www.sucorte.ca.gov), en la biblioteca de leyes de su condado o en la corte que le quede más cerca. Si no puede pagar la cuota de presentación, pida al secretario de la corte que le dé un formulario de exención de pago de cuotas. Si no presenta su respuesta a tiempo, puede perder el caso por incumplimiento y la corte le podrá quitar su sueldo, dinero y bienes sin más advertencia.

Hay otros requisitos legales. Es recomendable que llame a un abogado inmediatamente. Si no conoce a un abogado, puede llamar a un servicio de remisión a abogados. Si no puede pagar a un abogado, es posible que cumpla con los requisitos para obtener servicios legales gratuitos de un programa de servicios legales sin fines de lucro. Puede encontrar estos grupos sin fines de lucro en el sitio web de California Legal Services, (www.lawhelpcalifornia.org), en el Centro de Ayuda de las Cortes de California, (www.sucorte.ca.gov) o poniéndose en contacto con la corte o el colegio de abogados locales. **AVISO:** Por ley, la corte tiene derecho a reclamar las cuotas y los costos exentos por imponer un gravamen sobre cualquier recuperación de \$10,000 ó más de valor recibida mediante un acuerdo o una concesión de arbitraje en un caso de derecho civil. Tiene que pagar el gravamen de la corte antes de que la corte pueda desear el caso.

The name and address of the court is:

(El nombre y dirección de la corte es):

Superior Court, San Francisco County
400 McAllister Street
San Francisco, CA 94104

CASE NUMBER:
(Número de caso)

CGC-16-555223

The name, address, and telephone number of plaintiff's attorney, or plaintiff without an attorney, is:

(El nombre, la dirección y el número de teléfono del abogado del demandante, o del demandante que no tiene abogado, es):

Richard F. Munginger and Roey R. Rahmil (415) 421-6500
Shartsis Friese LLP

One Maritime Plaza, 18th Floor, San Francisco, CA 94111

DATE:

(Fecha)

CLERK OF THE COURT

Clerk, by

(Secretario)

KAREN ARXONIO

Deputy
(Adjunto)

(For proof of service of this summons, use Proof of Service of Summons (form POS-010).)

(Para prueba de entrega de esta citación use el formulario Proof of Service of Summons, (POS-010)).

[SEAL]

NOTICE TO THE PERSON SERVED: You are served

1. ☒ as an individual defendant.
2. ☐ as the person sued under the fictitious name of (specify):
3. ☐ on behalf of (specify):
under:

<input type="checkbox"/> CCP 416.10 (corporation)	<input type="checkbox"/> CCP 416.60 (minor)
<input type="checkbox"/> CCP 416.20 (defunct corporation)	<input type="checkbox"/> CCP 416.70 (conservatee)
<input type="checkbox"/> CCP 416.40 (association or partnership)	<input type="checkbox"/> CCP 416.90 (authorized person)
<input type="checkbox"/> other (specify):	
4. ☐ by personal delivery on (date):-

COPY

SHARTSIS FRIESE LLP
ONE MARITIME PLAZA
EIGHTEENTH FLOOR
SAN FRANCISCO, CA 94111-3598

SHARTSIS FRIESE LLP
RICHARD F. MUNZINGER (Bar #217902)
ROEY Z. RAHMIL (Bar #273803)
One Maritime Plaza, Eighteenth Floor
San Francisco, CA 94111-3598
Telephone: (415) 421-6500
Facsimile: (415) 421-2922
Email: rmunzinger@sflaw.com
Email: rrahmil@sflaw.com

Attorneys for Plaintiffs RAJAN RAGHAVAN and RAVI
RAGHAVAN

ENDORSED
FILED
Superior Court of California
County of San Francisco

NOV 07 2016

CLERK OF THE COURT

BY: KAREN APOLONIO
Deputy Clerk

SUPERIOR COURT OF THE STATE OF CALIFORNIA
COUNTY OF SAN FRANCISCO

RAJAN RAGHAVAN and RAVI
RAGHAVAN,

Plaintiffs,

v.

JENNIFER CREELMAN; CHIP DRIGGS; and
DOES 1-10, inclusive,

Defendants.

Case No. **CGC-16-555223**

COMPLAINT

THE PARTIES

1. Plaintiff Rajan Raghavan ("Rajan") an individual residing in Saratoga, California. Rajan is the co-owner of the real property located at 143 Corbett Avenue, San Francisco, California (the "Property").

2. Plaintiff Ravi Raghavan ("Ravi") is Rajan's son, the co-owner of the Property and resides at the Property.

3. Defendant Jennifer Creelman ("Creelman") is an individual residing in San Francisco, California.

4. Defendant Chip Driggs ("Driggs") is an individual residing in San Francisco, California.

5. Creelman and Driggs are collectively referred to as "Defendants." Defendants reside at 145 Corbett Avenue, San Francisco, California 94114, next door to the Property.

6. Plaintiffs do not know the true names and capacities of defendants sued as Does One through Ten, inclusive, and therefore sues those defendants by fictitious names. Plaintiffs will amend this complaint to allege the true names and capacities of those defendants when such names have been ascertained. Plaintiffs are informed and on that basis alleges that each of the fictitiously-named defendants is liable for the claims set forth in this complaint.

7. Plaintiffs are informed and believes and thereon allege that Defendants and Does One through Ten, inclusive, were the agents, employees, servants and/or representatives of each of the other defendants, and in doing the acts herein alleged, were acting within the course and scope of their authority as agents, employees, servants and/or representatives, and with the knowledge, approval, permission, and consent of the other defendants, and in conspiracy with them.

VENUE

8. Venue is proper in this Court because the Property is located in this County, Defendants reside in this County, and the events giving rise to this Complaint took place in this County.

COMMON ALLEGATIONS

Background

9. On or about October 1, 2015 (a Saturday), Creelman entered the Property at approximately 9:30 p.m. without permission and yelled vulgarities at Ravi and his friends for supposedly making too much noise at a party. (No other neighbors complained.) Creelman did not have permission or any legal justification for entering the Property.

10. Water is also leaking from Defendants' property onto Plaintiffs' property and has been since approximately May 9, 2014. This leak has caused, and continues to cause, damage to the Property. Despite Plaintiffs' requests, Defendants have failed to repair the leak.

CAUSES OF ACTION

FIRST CAUSE OF ACTION (Trespass)

11. Paragraphs 1 to 10 are incorporated herein.

12. At all relevant times, Rajan and Ravi have been co-owners of the Property and have at all relevant times had the right to possess and enjoy such property. Ravi occupies the Property.

13. As set forth above, Defendants have unlawfully interfered with Plaintiffs' right to possess, use and enjoy the Property and have unlawfully entered onto the Property. Creelman intentionally entered the Property on or about October 1, 2015, at which time she yelled vulgarities at Ravi in front of his boss and work colleagues. Furthermore, water from Defendants' property continues to enter and damage the Property.

14. Plaintiffs did not give Creelman permission for the entries described above.

15. As a direct and proximate result of Defendants' trespasses, Plaintiffs have suffered damages in an amount according to proof.

16. In carrying out the wrongful conduct set forth herein, Defendants acted willfully and with malice or reckless indifference as to the rights of Plaintiffs, so punitive damages should be awarded against Defendants.

17. Defendants continue to trespass on Plaintiffs' property, including through the ongoing water leak. Unless Defendants are enjoined, it will be necessary for Plaintiffs to commence many successive actions against Defendants to secure compensation for damages sustained, thus requiring a multiplicity of suits, and Plaintiffs will continue to be threatened by Defendants' ongoing trespasses.

18. Plaintiffs have no plain, speedy or adequate remedy at law.

WHEREFORE, Plaintiffs seek relief as set forth below.

SECOND CAUSE OF ACTION
(Private Nuisance)

19. Paragraphs 1 to 18 are incorporated herein.

20. The Property and the property of Defendants are adjacent. At all relevant times, there has been a water leak on Defendants' property. This leak has caused, and continues to cause, damage to the Property.

21. The aforementioned occupation, use, and maintenance of the property of

1 Defendants constitutes a nuisance within the meaning of Section 3479 of the Civil Code, in that it
2 interferes with the comfortable use and enjoyment of Plaintiffs' Property.

3 22. On numerous occasions, Plaintiffs gave notice to Defendants, and each of them, of
4 the damage caused by the nuisance, and requested its abatement, but Defendants, and each of
5 them, have refused, and continue to refuse, to abate the nuisance.

6 23. As a direct and proximate result of the nuisance created by Defendants, Plaintiffs
7 have suffered damages in an amount according to proof.

8 24. Unless Defendants are enjoined, it will be necessary for Plaintiffs to commence
9 many successive actions against Defendants to secure compensation for damages sustained, thus
10 requiring a multiplicity of suits, and Plaintiffs will continue to incur damages. Moreover, unless
11 Defendants are enjoined, Plaintiffs will suffer irreparable injury in that the use and economic
12 value of the Property will be substantially diminished, and Plaintiffs will be deprived of the
13 comfortable enjoyment of the property.

14 25. Plaintiffs have no plain, speedy or adequate remedy at law.

15 26. In maintaining the nuisances, Defendants are acting with full knowledge of the
16 consequences and damage being caused to Plaintiff, and his conduct is willful, wanton,
17 oppressive and malicious. Accordingly, Plaintiffs are entitled to punitive damages.

18 WHEREFORE, Plaintiffs seek relief as set forth below.

19 **THIRD CAUSE OF ACTION**
20 **(Negligence)**

21 27. Paragraphs 1 to 26 are incorporated herein.

22 28. The Property and the property of Defendants are adjacent. Accordingly,
23 Defendants have a duty to act reasonably and prevent water from leaking from their property onto
24 Plaintiffs' property.

25 29. Defendants have breached that duty by failing to repair said leak, despite multiple
26 demands by Plaintiff.

27 30. As a direct and proximate result of Defendants' negligence, Plaintiffs have
28 suffered damages in an amount according to proof.

1 WHEREFORE, Plaintiffs seek relief as set forth below.

2 **FOURTH CAUSE OF ACTION**
3 **(Invasion of Privacy)**

4 31. Paragraphs 1 to 30 are incorporated herein.

5 32. Defendants have intentionally intruded into Plaintiffs' private affairs intruding
6 onto the Property without permission and yelling vulgarities at Ravi and his friends for
7 supposedly making too much noise at a party.

8 33. Plaintiffs at all times had an objectively reasonable expectation of privacy with
9 respect to the Property.

10 34. Defendants' intrusion onto the Property would be highly offensive to the
11 reasonable person.

12 35. As a direct and proximate result of Defendants' invasion of privacy, Plaintiffs have
13 suffered damages in an amount according to proof.

14 36. Unless Defendants are enjoined, it will be necessary for Plaintiffs to commence
15 many successive actions against Defendants to secure compensation for damages sustained, thus
16 requiring a multiplicity of suits, and Plaintiffs will continue to incur damages. Moreover, unless
17 Defendants are enjoined, Plaintiffs will suffer irreparable injury in that the use and economic
18 value of the Property will be substantially diminished, and Plaintiffs will be deprived of the
19 comfortable enjoyment of the Property.

20 37. Plaintiffs have no plain, speedy or adequate remedy at law.

21 38. In invading Plaintiffs' privacy, Defendants are acting with full knowledge of the
22 consequences and damage being caused to Plaintiff, and his conduct is willful, wanton,
23 oppressive and malicious. Accordingly, Plaintiffs are entitled to punitive damages.

24 WHEREFORE, Plaintiffs seek relief as set forth below.

25 **PRAYER**

- 26 1. For compensatory and consequential damages;
27 2. For general damages;
28 3. For punitive damages;

SHARTSIS FRIESE LLP
ONE MARITIME PLAZA
EIGHTEENTH FLOOR
SAN FRANCISCO, CA 94111-3598

1 4. For a preliminary and permanent injunction preventing Defendants from entering
2 onto the Property;

3 5. For a preliminary and permanent injunction requiring Defendants to abate the
4 nuisance;

5 6. For costs of suit;

6 7. For such other relief, in equity or in law, that the Court deems just and proper.
7

8 Dated: November 7, 2016

SHARTSIS FRIESE LLP

9
10 By:  RICHARD F. MUNZINGER

11 Attorneys for Plaintiffs RAJAN RAGHAVAN
and RAVI RAGHAVAN

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EXHIBIT K

February 16, 2017

Via Messenger & Email (boardofappeals@sfgov.org)

Darryl Honda, President
San Francisco Board of Appeals
1650 Mission Street, Suite 304
San Francisco, CA 94103

Re: *Creelman and Driggs v. SF DBI*
Appeal No. 16-186
Reply to Appellants' Brief
Hearing: February 22, 2017

Dear President Honda and Members:

We represent Rajan and Ravi Raghavan ("Raghavans"), the co-owners of the single-family home at 143 Corbett Avenue ("Property"), located on Corbett Street near Hattie in the Castro neighborhood. The site is zoned RH-2 on a 1,829 sf lot. The house was built in 1911 but is not considered a historic resource by the Planning Department. The Raghavans bought the house in May 2014. Appellants live immediately to the west of the Property.

Appellants appealed a building permit for temporary shoring for which a stop work order was issued by DBI under a Notice of Violation ("NOV") on October 24, 2016.¹ The Raghavans' contractor pulled a permit² to address the NOV on November 23, 2016 and it was timely appealed by Appellants. Appellants seek to revoke the permit on the grounds that the Raghavans have not complied with the time periods under the NOV for production of a new set of plans.

Appellants misinterpret the scope of plans required under the NOV as plans showing "1. pre-existing site conditions; 2. work done since the Raghavans purchase of the Property; and, 3.

¹ See Exhibit A. NOV 201631352, dated October 24, 2016.

² See Exhibit B.

alterations/work proposed by the Raghavans.”³ However, under the plain language of the NOV, its abatement only requires “submittal of a building permit with plans to consolidate all work that has been performed at interior and exterior, which shall show separate existing and proposed conditions, including floor plans, building sections and elevations.”⁴ As we will show below, the Raghavans’ design team – contractor, structural engineer and architect – are working closely with Senior Building Inspector Joseph Duffy on preparing plans that satisfy both the letter and the intent of the NOV. These actions negate Appellants’ request for similar relief from this Board. Additionally, Insp. Duffy granted an exception to proceed with the temporary shoring under the appealed permit. Shoring work has begun under that exception but has stopped due to weather. Based on reasons stated below, we request the appeal be denied.

FACTUAL BACKGROUND

1. Permits and Complaints

Like many homeowners who buy older houses such as this, the Raghavans wanted to undertake immediate upgrades of the Property for aesthetic as well as livability/health and safety reasons. Like many neighbors of property where work is proceeding, Appellants closely monitored every action that the Raghavans were taking. However, as is common given the age and general condition of the house when the Raghavans bought it, the Raghavans ended up having to pull approximately 20 permits for different scopes of work, not all of which was visible to the eye as necessary prior to purchase (*e.g.*, electrical). This also included a secondary level of work which was completely unexpected until the permitted interior alterations took place. This was not the planned approach for the proposed upgrades to be carried out.

³ See Appellants Brief, p. 3.

⁴ See Exhibit A.

According to Appellants brief, however, this all too common phenomenon of more work needing to be done to a “fixer upper” than meets the eye, unequivocally meant that the Raghavans were carrying out a nefarious plan to deceive DBI and the public by submitting fraudulent permit applications. There are no facts to support this allegation. The basis for such apparent fraud, according to Appellants, was apparently that some of the permits referenced a building with 3-floors while others stated a 4-floor home.⁵

As additional evidence of the Raghavans purported intent to conceal their actual scope of work, Appellants point to the numerous complaints that were lodged with DBI (presumably mostly by Appellants).⁶ The sheer volume of complaints they were compelled to file, according to Appellants, is an indication that the Raghavans were intentionally trying to “overwhelm” DBI with false and inaccurate permits so that those permits could be issued with little review.⁷

Nothing could be further from the truth. Of the 7 complaints that were made against the Raghavans since they purchased the property, presumably all by Appellants, each of them were addressed by a DBI field inspector and action was taken to abate the complaint within 3-7 days of filing except for the holidays.⁸ Contrary to Appellants’ contentions, all 7 complaints were abated by DBI field inspectors in compliance with standard DBI protocols.

⁵ This is a common error on many permits filled out by design professionals. It does not, however, show any deliberate intent to mislead either DBI or the public.

⁶ See Appellants’ brief, Exhibits 17-23. It is noteworthy that the first 3 complaints that were made against the property at 143 Corbett presumably by the Appellants were made prior to the Raghavans’ ownership. In one complaint, there is an allegation of “illegal conversion/#units.” In a site visit in 2001, DBI found that there were no illegal units in the home.” See Exhibit C.

⁷ See Appellants’ Brief, p. 7-8.

⁸ See Exhibit C.

Based on these limited facts, there is little evidence in the record that the Raghavans were master-minding a grand scheme to do as much work to their home as possible without benefit of permits and with DBI completely in the dark. In fact, the opposite is true.

2. Oversight and Guidance by DBI on Compliance with the NOV

While Appellants' narrative is an unfortunately frequent story in San Francisco, the project design team – contractor Francisco Sandoval, shoring engineer Tim O' Sullivan and architect-Mark Cruz – have been working closely with Senior Building Inspector Joseph Duffy and DBI staff on complying with the NOV since early November, 2016. The most critical feature of the NOV and the appealed permit is that the shoring that was suspended under both documents would have equally benefitted both Appellants' and the Raghavans' properties.

With the torrential rains that affected the City in late December/early January, Insp. Duffy took the initiative with the Raghavans' project team to review and comment on shoring drawings and request a geotechnical report⁹ and ensure that all elevations and datum points were clearly shown on the temporary shoring plans. In his official capacity, he reviewed and approved the location of the shoring elements consistent with the geotechnical report's recommendations, and granted a temporary exception from the NOV's stop work provisions and the permit on appeal to allow a new temporary shoring design recommended by geotechnical

⁹ See Exhibit D, dated January 2, 2017. Item No. 2 indicated that the "covered face of the excavation is firm with no visible bulges or cave-ins, indicating that the incident of the missing portion of the #143 Corbett Ave concrete retaining wall has so far . . . not been associated with removal of lateral support from underneath the 12" deep perimeter footing of [Appellants' Property].

Item No. 4 states that "it is strongly recommended that the replacement of the missing foundation retaining wall section be installed very, very soon, before the onset of strong winter storms that could destabilize this excavation face.

engineers to be installed prior to or between the winter storms of early 2017.¹⁰ Insp. Duffy's initiative benefitted primarily the Appellants' property. The missing foundation retaining wall section has yet to be installed as weather prevented the work.¹¹ Nonetheless, the exception granted by Insp. Duffy from the building permit and the NOV's suspensions to install the temporary shoring wall remains intact.

Even though this work was started but not done, it would have addressed only half of the drainage/slippage issue on the adjacent sites. The 100% runoff ratio from Appellants' roof downspout remains, and continues to pour large amounts of water directly into the Raghavans' lower floors of occupancy, rather than onto their own property as is required by the San Francisco Building and Plumbing Codes. The geotechnical report refers to the contribution of "the open discharge of the #145 Corbett Ave roof downspout" to the Property as "detrimental to the supporting capacity of the soil and also exacerbates the lateral earth thrust onto the foundation retaining wall."¹²

We have made numerous complaints to Insp. Duffy to issue an NOV to the Appellants for the water drainage onto the Property. Yet, no NOV has issued for this violation as of February 15, 2017. We reiterate our request that such an NOV now be issued in light of all the time, money and effort that the Raghavans have spent in addressing the temporary shoring and minimizing the effects of the drainage on their Property.

Contrary to Appellants' allegations that DBI was not aware of what was being done at the Property, once engaged on this project, Insp. Duffy, Chief Building Inspector Patrick O' Riordan

¹⁰ See Exhibit E, email exchanges between J. Duffy and Francisco Sandoval, project contractor.

¹¹ *Id.*

¹² See Exhibit C, p. 2.

and/or field inspectors, performed their job of overseeing technical compliance with the Building Code and ensuring proper protocols were in place for the temporary shoring.¹³

The suspended building permit's scope of work was to "install temporary shoring to lower level space" and "install new retaining wall at rear yard as per plans." Both of these actions were subject to the NOV stop work order. Despite the roadblocks of the appeal and the NOV, DBI staff, under Insp. Duffy's authority, took the necessary actions to authorize the temporary shoring to minimize damage to both the Property and Appellants' home during a period of torrential storms. Appellants appeal to revoke or condition this permit is now moot by the fact that construction of the temporary shoring wall has been authorized by DBI and has already begun.¹⁴

ARGUMENT

1. Appellants Want This Board To Condition The Permit To Require The Raghavans To Prepare Master Plans For All Pre-Existing Work, Work Currently Proposed For The Building And For The Future. The Design Team Is Already Preparing Plans In Compliance With The NOV.

Appellants want the Board to indefinitely suspend the permit (and by default, much of the necessary work on the site) to wait for a set of plans that are beyond the scope of what was requested by the NOV¹⁵ issued by DBI.¹⁶ However, consistent with their ongoing joint working relationship with DBI, and desire to create a livable home for the Raghavans, the project team

¹³ The alleged absence of DBI oversight was one of Appellants' biggest objections to the work being done on the Property prior to their appeal of the building permit.

¹⁴ See Exhibit F.

¹⁵ See Appellants Brief, p. 3.

¹⁶ The scope of the master plans under the NOV is "consolidated work that has been performed at interior and exterior, show separate existing and proposed conditions, including floor plans, sections and elevations."

has been working on plans that show (1) what was unchanged by any work done in the Property since acquisition; (2) upgraded life/safety interior access including internal upstairs staircase and deck guardrails that existed prior to acquisition; and, (3) proposed work, including an Accessory Dwelling Unit (“ADU”) added at the lower level, containing 2 new bedrooms, a new bathroom and a new kitchen with egress from the existing lower entrance at Corbett Street.

Since the project team is already diligently working on preparing master plans to comply with the NOV requirements, there are no facts to support granting the appeal on the basis of non-compliance with the NOV or the appealed permit.¹⁷ Given the heightened tensions between the parties, the fact that the Raghavans’ design team, with guidance from DBI, has already been preparing such plans should help facilitate discussion and better understanding of the existing and proposed scope of work between the parties.

2. DBI May Exercise Its Discretion Regarding The Timing And Substantive Compliance Of A Project With An NOV.

Lastly, Appellants have argued that DBI has not timely enforced the NOV and on that basis, this Board should grant the appeal.¹⁸ This is immaterial for the following reasons. First, the NOV is not before the Board. Only the Abatement Appeals Board may hear appeals of NOVs after having gone through the abatement review procedure. Appellants have used the NOV to question the integrity of the Raghavans’ compliance efforts to date, and to impugn the motives of DBI staff who have worked diligently with the Raghavans’ design team to address the underlying issues in the permit and NOV, including the pressing need to erect a retaining wall to limit water saturation on the Property.

¹⁷ The appealed permit only requires that there be installation of temporary shoring at the lower level and a new rear yard retaining wall. See Exhibit B.

¹⁸ See Appellants’ Brief, p. 2.

The DBI Code Enforcement process has historically allowed the exercise of discretion by building officials. As Senior Building Inspector, Insp. Duffy has the authority and was acting within his discretion to assist and work diligently with the project team to expedite what work they could perform given the weather conditions and the permit status. Merely because the NOV was not timely abated does not mean that there has not been a sincere effort by the Raghavans or their representatives to abate the NOV. As long as the owners are showing good faith efforts at attempts to abate the NOV, DBI can be flexible based on the sound judgment and professionalism of their inspectors. Insp. Duffy was entitled to exercise his good faith discretion on this matter in the manner he did.¹⁹

CONCLUSION

Based on the above, we respectfully request that the appeal be denied. The Raghavans are doing everything that Appellants seek to obtain in relief from this Board. They have obtained an exception from DBI to shore the Property to minimize further personal and property damage from the wet winter weather. They are preparing master plans for review and permit submittal to DBI and Planning that will reflect existing and proposed conditions. This “master plan” is broader than required by the NOV.

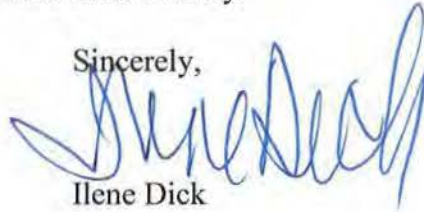
The Raghavans’ project team has been working diligently with DBI staff since the October issuance of the NOV in both ensuring no further Code violations occurred at the Property and to prevent further property damage to both homes. The temporary shoring suspension had to be overridden to accomplish that. Preparation of master plans are already underway by the Raghavan team. Since these are the three substantive grounds upon which the

¹⁹ It is noteworthy that Insp. Duffy has exercised his discretion to not issue an NOV to Appellants for their unlawful drainage on the Raghavans’ property.

Darryl Honda
February 16, 2017
Page 9

appeal was based, we believe that there is no factual or legal basis to grant an appeal. Based on the above, we request that the appeal be denied in its entirety.

Sincerely,



Ilene Dick

IRD
Enclosures

Creelman and Driggs v. SF DBI
APPEAL NO. 16-186
143 Corbett: Reply to Appellants' Brief

TABLE OF CONTENTS

Exhibit A:	Notice of Violation 201631352 Dated 10/24/16
Exhibit B:	Permit No.201611233482
Exhibit C:	Complaint Data Sheets
Exhibit D:	Geotechnical Engineering Inspection Findings Dated 1/2/17
Exhibit E:	January 27, 2017 Email
Exhibit F:	Photos

EXHIBIT A



NOTICE OF VIOLATION

of the San Francisco Municipal Codes Regarding Unsafe,
Substandard or Noncomplying Structure or Land or Occupancy

P-1

DEPARTMENT OF BUILDING INSPECTION

City and County of San Francisco
1660 Mission St. • San Francisco, CA 94103 2414

ADDRESS 143 Corbett Ave

OCCUPANCY / USE Res, R-3, Single Family Residence

CONST. TYPE VB

OWNER / AGENT

MAILING ADDRESS

PERSON CONTACTED @ SITE

☒ FIRST NOTICE
☐ SECOND NOTICE
☐ OTHER:

COMPLAINT NUMBER

2016 31352

DATE 10/24/16

BLOCK

LOT

STORIES 2

☐ BASEMENT

PHONE #

CITY

ZIP

PHONE #

VIOLATION DESCRIPTION:

☐ WORK WITHOUT PERMIT (SFBC 103A); ☒ ADDITIONAL WORK-PERMIT REQUIRED (SFBC 106A.4.7);

☐ EXPIRED PERMIT (SFBC 106A.4.4); ☐ CANCELLED PERMIT (SFBC 106A.3.7) PA#

☐ UNSAFE BUILDING (SFBC 102A); ☐ SEE ATTACHMENTS

CODE / SECTION #

A site inspection and a review of issued building permits has revealed that work is being performed that exceeds the scope of work approved. The property is described on city records as a 2 story building. At the time of inspection it was noted that the property appears to have four levels. Two levels have been created below street level. New framing has been done at new floors including the installation of new bathrooms. Backyard level has been excavated and is lower than previous. Retaining walls have been undermined. A new deck has been constructed at top roof level 1.

106A.4.7

BC - Building Code HC - Housing Code PC - Plumbing Code EC - Electrical Code MC - Mechanical Code

CORRECTIVE ACTION:

☒ STOP ALL WORK SFBC 104A.2.4

☒ FILE BUILDING PERMIT APPLICATION WITHIN 30 DAYS (WITH PLANS) A Copy of This Notice Must Accompany the Permit Application.

☒ OBTAIN PERMIT WITHIN 60 DAYS AND COMPLETE ALL WORK WITHIN 120 DAYS, INCLUDING FINAL INSPECTION AND SIGNOFF.

☐ CORRECT VIOLATIONS WITHIN _____ DAYS. ☐ NO PERMIT REQUIRED.

☐ YOU FAILED TO COMPLY WITH THE NOTICE(S) DATED _____, THEREFORE THIS DEPT. HAS INITIATED ABATEMENT PROCEEDINGS.

☒ FAILURE TO COMPLY WITH THIS NOTICE WILL CAUSE ABATEMENT PROCEEDINGS TO BEGIN. SEE REVERSE SIDE FOR ADDITIONAL WARNINGS.

Due to the number of issued permits and the scope of work being performed it is unclear that all work is covered under the issued permit. Stop all work and submit a building permit with plans to consolidate all work that has been performed at interior and exterior. Plans shall show existing and proposed changes to building.

INVESTIGATION FEE OR OTHER FEE WILL APPLY See reverse side for further explanation

☒ 9x Permit Fee (Work w/o Permit after 9/1/60)

☒ 2x Permit Fee (Work Exceeding Scope of Permit)

☐ Other

Reinspection Fee \$

☐ No penalty (Work w/o permit prior to 9/1/60)

APPROX. DATE OF WORK W/O PERMIT 10/24/16

VALUE OF WORK PERFORMED WITHOUT PERMITS 10,000

BY ORDER OF THE DIRECTOR, DEPARTMENT OF BUILDING INSPECTION

CONTACT INSPECTOR KEVIN BIRMINGHAM

(Inspector - Print Name)

OFFICE HOURS 7:30 TO 8:30 AM AND 3:00 TO 4:00 PM

PHONE # 415-545-6985

By: Inspector's Signature [Signature] DISTRICT # 18

CC: ☐ DCP ☐ EID ☐ PID ☐ BID ☐ HIS ☐ CED ☐ PRS ☐ DAD ☐ SFFD ☐ DPH ☐ PS

☒ Building Inspection Division
3rd Floor, 1660 Mission St. 558-6096
☐ Housing Inspection Services
6th Floor, 1660 Mission St. 558-6220
☐ Electrical Inspection Division
3rd Floor, 1660 Mission St. 558-6030
☐ Plumbing Inspection Division
3rd Floor, 1660 Mission St. 558-6054
☐ Code Enforcement Division
3rd Floor, 1660 Mission St. 558-6454



NOTICE OF VIOLATION

of the San Francisco Municipal Codes Regarding Unsafe,
Substandard or Noncomplying Structure or Land or Occupancy

P-2

DEPARTMENT OF BUILDING INSPECTION

City and County of San Francisco
1660 Mission St. • San Francisco, CA 94103 - 2414

ADDRESS 143 Corbett Ave
OCCUPANCY / USE R-3, Single family dwelling
CONST. TYPE ILB

☒ FIRST NOTICE
☐ SECOND NOTICE
☐ OTHER:

COMPLAINT NUMBER

2016 31352

DATE 10/24/16
BLOCK _____ LOT _____
STORIES _____ ☐ BASEMENT

☒ If checked, this information is based upon site observation only. Further research may indicate that legal use is different. If so, a revised Notice of Violation will be issued.
OWNER / AGENT _____ PHONE # _____
MAILING ADDRESS _____ CITY _____ ZIP _____
PERSON CONTACTED @ SITE _____ PHONE # _____

VIOLATION DESCRIPTION:

☐ WORK WITHOUT PERMIT (SFBC 103A); ☐ ADDITIONAL WORK-PERMIT REQUIRED (SFBC 106A.4.7);
☐ EXPIRED PERMIT (SFBC 106A.4.4); ☐ CANCELLED PERMIT (SFBC 106A.3.7) PA# _____;
☐ UNSAFE BUILDING (SFBC 102A); ☐ SEE ATTACHMENTS CODE / SECTION # _____

BC - Building Code HC - Housing Code PC - Plumbing Code EC - Electrical Code MC - Mechanical Code

CORRECTIVE ACTION:

☐ STOP ALL WORK SFBC 104A.2.4

☐ FILE BUILDING PERMIT APPLICATION WITHIN _____ DAYS (☐ WITH PLANS) A Copy of This Notice Must Accompany the Permit Application.
☐ OBTAIN PERMIT WITHIN _____ DAYS AND COMPLETE ALL WORK WITHIN _____ DAYS, INCLUDING FINAL INSPECTION AND SIGNOFF.
☐ CORRECT VIOLATIONS WITHIN _____ DAYS. ☐ NO PERMIT REQUIRED.
☐ YOU FAILED TO COMPLY WITH THE NOTICE(S) DATED _____, THEREFORE THIS DEPT. HAS INITIATED ABATEMENT PROCEEDINGS.
☐ FAILURE TO COMPLY WITH THIS NOTICE WILL CAUSE ABATEMENT PROCEEDINGS TO BEGIN. SEE REVERSE SIDE FOR ADDITIONAL WARNINGS.

Plans submitted shall show separate existing and proposed conditions including floor plans, building sections and elevations. Structural and Mechanical plans required. The valuation on permits shall be reflective of the construction cost.

INVESTIGATION FEE OR OTHER FEE WILL APPLY See reverse side for further explanation

☒ 9x Permit Fee (Work w/o Permit after 9/1/60) ☐ 2x Permit Fee (Work Exceeding Scope of Permit)
☐ Other ☐ Reinspection Fee \$ _____ ☐ No penalty (Work w/o permit prior to 9/1/60)

APPROX. DATE OF WORK W/O PERMIT _____ VALUE OF WORK PERFORMED WITHOUT PERMITS _____

BY ORDER OF THE DIRECTOR, DEPARTMENT OF BUILDING INSPECTION

CONTACT INSPECTOR NEVIN BIRMINGHAM
(Inspector - Print Name)

OFFICE HOURS 7:30 TO 8:30 AM AND 3:00 TO 4:00 PM

PHONE # 415-575-6985

By: (Inspector's Signature) [Signature] DISTRICT # 18

CC: ☐ DCP ☐ EID ☐ PID ☐ BID ☐ HIS ☐ CED ☐ PRS ☐ DAD ☐ SFFD ☐ DPH ☐ PS

☒ Building Inspection Division
3rd Floor, 1660 Mission St. 558-6096
☐ Housing Inspection Services
6th Floor, 1660 Mission St. 558-6220
☐ Electrical Inspection Division
3rd Floor, 1660 Mission St. 558-6030
☐ Plumbing Inspection Division
3rd Floor, 1660 Mission St. 558-6054
☐ Code Enforcement Division
3rd Floor, 1660 Mission St. 558-6454

EXHIBIT B

Permit Details Report**Report Date:** 2/13/2017 2:06:02 PM

Application Number: 201611233483

Form Number: 8

Address(es): 2656 / 060 / 0 143 CORBETT AV

Description: TO COMPLY WITH NOV 201631352: INSTALL TEMP SHORING TO LOWER LEVEL SPACE PER STOP WORK VIOLATION REQUEST OF BLD OFFICIAL. INSTALL NEW RETAINING WALL AT REAR YARD AS PER PLANS

Cost: \$10,000.00

Occupancy Code: R-3

Building Use: 27 - 1 FAMILY DWELLING

Disposition / Stage:

Action Date	Stage	Comments
11/23/2016	TRIAGE	
11/23/2016	FILING	
11/23/2016	FILED	
11/23/2016	APPROVED	
11/23/2016	ISSUED	
12/9/2016	SUSPEND	per BOA's email dd 12/09/2016, appeal#16-186

Contact Details:**Contractor Details:**

License Number: 705303

Name: FRANCISCO SANDOVAL

Company Name: F J SANDOVAL CO

Address: 1348 DOLORES STREET * SAN FRANCISCO CA 94110-0000

Phone:

Addenda Details:**Description:**

Step	Station	Arrive	Start	In Hold	Out Hold	Finish	Checked By	Hold Description
1	BID- INSP	11/23/16	11/23/16			11/23/16	RAFAEL JR. LEOPOLDO	
2	INTAKE	11/23/16	11/23/16			11/23/16	CHAPMAN MARLA	
3	CP-ZOC	11/23/16	11/23/16			11/23/16	KENNEDY TODD	
4	BLDG	11/23/16	11/23/16			11/23/16	CHEUNG JIMMY	
5	DPW- BSM	11/23/16	11/23/16			11/23/16	DENNIS RASSENDYLL	Approve. 11/23/16: No alteration or construction of City Right-of-Way under this permit and street space under separate permit. -RD
6	CPB	11/23/16	11/23/16			11/23/16	VICTORIO CHRISTOPHER	

This permit has been issued. For information pertaining to this permit, please call 415-558-6096.

Appointments:

Appointment Date	Appointment AM/PM	Appointment Code	Appointment Type	Description	Time Slots
------------------	-------------------	------------------	------------------	-------------	------------

Inspections:

Activity Date | Inspector | Inspection Description | Inspection Status

Special Inspections:

Addenda No. | Completed Date | Inspected By | Inspection Code | Description | Remarks

For information, or to schedule an inspection, call 558-6570 between 8:30 am and 3:00 pm.

Station Code Descriptions and Phone Numbers

Online Permit and Complaint Tracking home page.

Technical Support for Online Services

If you need help or have a question about this service, please visit our FAQ area.

[Contact SFGov](#) [Accessibility](#) [Policies](#)
City and County of San Francisco © 2017

EXHIBIT C

COMPLAINT DATA SHEET**Complaint
Number:****201489181**

Owner/Agent:

OWNER DATA
SUPPRESSED

Date Filed:

Owner's Phone:

--

Location:

143 CORBETT AV

Contact Name:

--

Block:

2656

Contact Phone:

--

Lot:

060

Complainant:

COMPLAINANT DATA
SUPPRESSED

Site:

Rating:

Occupancy Code:

Received By: Alma Canindin

Division:

PID

Complainant's

Phone:

Complaint Source: TELEPHONE

Assigned to

BID

Division:

Description: Construction on the 1st floor without permit to date.

Instructions:

INSPECTOR INFORMATION**DIVISION INSPECTOR**

BID

HERNANDEZ

ID

6286

DISTRICT

PRIORITY

REFERRAL INFORMATION**COMPLAINT STATUS AND COMMENTS**

DATE	TYPE	DIV	INSPECTOR	STATUS	COMMENT
08/07/14	CASE OPENED	BID	Schroeder	CASE RECEIVED	
08/08/14	OTHER BLDG/HOUSING VIOLATION	BID	Hernandez	NO ENTRY	no entry left a wywo on 8/8/14 mh
08/11/14	OTHER BLDG/HOUSING VIOLATION	BID	Hernandez	CASE CLOSED	PA201408113493 issued. ok to close MH

COMPLAINT ACTION BY DIVISION

NOV (HIS):

NOV (BID):

Inspector Contact Information

[Online Permit and Complaint Tracking](#) home page.**Technical Support for Online Services**

If you need help or have a question about this service, please visit our FAQ area.

Contact SFGov Accessibility Policies
City and County of San Francisco © 2017

COMPLAINT DATA SHEET**Complaint Number:** 201494491Owner/Agent: OWNER DATA
SUPPRESSED

Owner's Phone: --

Contact Name: --

Contact Phone: --

Complainant: COMPLAINANT DATA
SUPPRESSED

Date Filed:

Location: 143 CORBETT AV

Block: 2656

Lot: 060

Site:

Rating:

Occupancy Code:

Received By: MASUNCION

Division: BID

Complainant's
Phone:

Complaint Source: WEB FORM

Assigned to

Division: BID

Description: date last observed: 12-SEP-14; time last observed: 1:00 pm; identity of person performing the work: Sandoval? ; floor: First; exact location: Main Bldg; building type: Residence/Dwelling
WORK W/O PERMIT; WORK BEYOND SCOPE OF PERMIT; ; additional information: Gutted 1st floor, permit is 3rd floor bath. Earlier complaint abated by inspector who did not visit but assumed permit covered work. ;

Instructions:

INSPECTOR INFORMATION

DIVISION	INSPECTOR	ID	DISTRICT	PRIORITY
BID	SCHROEDER	1144	18	

REFERRAL INFORMATION**COMPLAINT STATUS AND COMMENTS**

DATE	TYPE	DIV	INSPECTOR	STATUS	COMMENT
09/16/14	CASE OPENED	BID	Schroeder	CASE RECEIVED	
09/17/14	CASE OPENED	BID	Schroeder	CASE RECEIVED	site visit contractor to provide permits not on site cs
09/18/14	WITHOUT PERMIT-ADDED, DELETED FLOOR OCCUPANCY	BID	Schroeder	CASE ABATED	pa 201409186685 issued for work cs

COMPLAINT ACTION BY DIVISION**NOV (HIS):****NOV (BID):**

Inspector Contact Information

[Online Permit and Complaint Tracking home page.](#)**Technical Support for Online Services**

If you need help or have a question about this service, please visit our FAQ area.

COMPLAINT DATA SHEET**Complaint Number:** 201407451Owner/Agent: OWNER DATA
SUPPRESSED

Owner's Phone: --

Contact Name: --

Contact Phone: --

Complainant: COMPLAINANT DATA
SUPPRESSED

Date Filed:

Location: 143 CORBETT AV

Block: 2656

Lot: 060

Site:

Rating:

Occupancy Code:

Received By: IS INTERN

Division: INS

Complainant's

Phone:

Complaint

TELEPHONE

Source:

Assigned to

Division:

BID

Description:

Construction with windows open while tearing out ceiling and not containing the dust. Concerned about safety and possibly working beyond the scope of the permit.

Instructions: Complainant would like a call back after the inspection.

INSPECTOR INFORMATION

DIVISION	INSPECTOR	ID	DISTRICT	PRIORITY
BID	SCHROEDER	1144	18	

REFERRAL INFORMATION**COMPLAINT STATUS AND COMMENTS**

DATE	TYPE	DIV	INSPECTOR	STATUS	COMMENT
11/10/14	CASE OPENED	BID	Schroeder	CASE RECEIVED	
11/14/14	OTHER BLDG/HOUSING VIOLATION	BID	Schroeder	CASE CLOSED	issued correction notice to extend permit to work done beyond scope of permit. case closed JB

COMPLAINT ACTION BY DIVISION**NOV (HIS):****NOV (BID):**

Inspector Contact Information

[Online Permit and Complaint Tracking home page.](#)**Technical Support for Online Services**

If you need help or have a question about this service, please visit our FAQ area.

COMPLAINT DATA SHEET**Complaint Number:** 201542021**Owner/Agent:** OWNER DATA
SUPPRESSED**Owner's Phone:** --**Contact Name:** --**Contact Phone:** --**Complainant:** COMPLAINANT DATA
SUPPRESSED**Date Filed:****Location:** 143 CORBETT AV**Block:** 2656**Lot:** 060**Site:****Rating:****Occupancy Code:****Received By:** Adora Canotal**Division:** PID**Complainant's Phone:****Complaint Source:** 311 INTERNET REFERRAL**Assigned to:** BID**Division:****Description:** 143 Corbett --- Complaint please verify Permit - permit online for a remodel of a bathroom. Work is going on all day, every day, the house was down to the studs and a new electrical box has been installed. There seems to be more going on then a remodel of a small bathroom. Also checking to see if the permit has been suspended.**Instructions:** 311 service request no. 4682265 received on 04/22/2015**INSPECTOR INFORMATION**

DIVISION	INSPECTOR	ID	DISTRICT	PRIORITY
BID	SCHROEDER	1144	18	

REFERRAL INFORMATION**COMPLAINT STATUS AND COMMENTS**

DATE	TYPE	DIV	INSPECTOR	STATUS	COMMENT
04/22/15	CASE OPENED	BID	Schroeder	CASE RECEIVED	
04/28/15	CASE OPENED	BID	Schroeder	CASE CLOSED	work per scope of oermits es

COMPLAINT ACTION BY DIVISION**NOV (HIS):****NOV (BID):**Inspector Contact InformationOnline Permit and Complaint Tracking home page.**Technical Support for Online Services**

If you need help or have a question about this service, please visit our FAQ area.

COMPLAINT DATA SHEET**Complaint Number:** 201555501**Owner/Agent:** OWNER DATA
SUPPRESSED**Owner's Phone:** --**Contact Name:** --**Contact Phone:** --**Complainant:** COMPLAINANT DATA
SUPPRESSED**Date Filed:****Location:** 143 CORBETT AV**Block:** 2656**Lot:** 060**Site:****Rating:****Occupancy Code:****Received By:** Carmen Hasbun**Division:** INS**Complainant's****Phone:****Complaint****Source:**

TELEPHONE

Assigned to**Division:**

BID

Description:

Working outside of scope of permits 201408113493, 201409186685, 201411252473. Enclosing the deck and putting in windows in the deck.

Instructions:**INSPECTOR INFORMATION****DIVISION/INSPECTOR**

BID

SCHROEDER

ID

1144

DISTRICT

18

PRIORITY**REFERRAL INFORMATION****COMPLAINT STATUS AND COMMENTS**

DATE	TYPE	DIV	INSPECTOR	STATUS	COMMENT
07/02/15	CASE OPENED	BID	Schroeder	CASE RECEIVED	
07/03/15	CASE OPENED	BID	Schroeder	CASE CONTINUED	site visit legal existing deck enclosure cs
08/10/15	CASE OPENED	BID	Schroeder	CASE CLOSED	per scope of permits cs

COMPLAINT ACTION BY DIVISION**NOV (HIS):****NOV (BID):**Inspector Contact InformationOnline Permit and Complaint Tracking home page.**Technical Support for Online Services**

If you need help or have a question about this service, please visit our FAQ area.

COMPLAINT DATA SHEET**Complaint Number:** 201580691**Owner/Agent:** OWNER DATA
SUPPRESSED**Owner's Phone:** --**Contact Name:****Contact Phone:** --**Complainant:** COMPLAINANT DATA
SUPPRESSED**Date Filed:****Location:** 143 CORBETT AV**Block:** 2656**Lot:** 060**Site:****Rating:****Occupancy Code:****Received By:** Adora Canotal**Division:** PID**Complainant's****Phone:****Complaint****Source:****Assigned to****Division:**

311 INTERNET REFERRAL

BID

Description: 143 Corbett Ave --- Construction without permits on the followings: 1. Closing out the light well between 143 & 145 Corbett Ave. 2. Digging out lower level to put in a new unit. 3. Completely redid the back deck. It's closed in and made it part of the house, completely blocking our view.**Instructions:** 311 SR #5304725 received on 11/24/2015**INSPECTOR INFORMATION****DIVISION**INSPECTOR

BID

HAJNAL

ID

6234

DISTRICT

18

PRIORITY

REFERRAL INFORMATION**COMPLAINT STATUS AND COMMENTS**

DATE	TYPE	DIV	INSPECTOR	STATUS	COMMENT
11/24/15	CASE OPENED	BID	Hajnal	CASE RECEIVED	
12/02/15	WITHOUT PERMIT - OTHER	BID	Hajnal	CASE CLOSED	Complaint not valid. Multiple permits issued and filed. See PTS for permits and scopes of work.

COMPLAINT ACTION BY DIVISION**NOV (HIS):****NOV (BID):**Inspector Contact InformationOnline Permit and Complaint Tracking home page.**Technical Support for Online Services**

If you need help or have a question about this service, please visit our FAQ area.

COMPLAINT DATA SHEET**Complaint Number:** 201631352**Owner/Agent:** OWNER DATA
SUPPRESSED**Owner's Phone:** --**Contact Name:****Contact Phone:** --**Complainant:** COMPLAINANT DATA
SUPPRESSED**Date Filed:****Location:** 143 CORBETT AV**Block:** 2656**Lot:** 060**Site:****Rating:****Occupancy Code:****Received By:** Adora Canotal**Division:** PID**Complainant's Phone:****Complaint Source:** 311 INTERNET REFERRAL**Assigned to****Division:** BID**Description:** 143 Corbett Ave. --- Caller states please inspect. Caller states I want to make sure that this house has permits, and that it is safe to do the work that is being done at this location. This work has been going on for 2 years and there is also scaffolding there on and off and excavation. No Signs posted.**Instructions:** 311 SR No. 6178651**INSPECTOR INFORMATION**

DIVISION	INSPECTOR	ID	DISTRICT	PRIORITY
BID	BIRMINGHAM	6330	18	

REFERRAL INFORMATION**COMPLAINT STATUS AND COMMENTS**

DATE	TYPE	DIV	INSPECTOR	STATUS	COMMENT
08/10/16	CASE OPENED	BID	Hajnal	CASE RECEIVED	
08/12/16	OTHER BLDG/HOUSING VIOLATION	BID	Hajnal	CASE CONTINUED	Background research for permits and status.
10/24/16	WITHOUT PERMIT - OTHER	BID	Birmingham	PERMIT RESEARCH	Site visit on 10/21/16. There are multiple open permits on this project. I am doing research to determine if these cover the work being performed on the property
10/24/16	WITHOUT PERMIT - OTHER	BID	Birmingham	FIRST NOV SENT	1st nov issued by K Birmingham
10/25/16	WITHOUT PERMIT - OTHER	BID	Birmingham	CASE UPDATE	copy of 1st nov mailed by jlu

COMPLAINT ACTION BY DIVISION**NOV (HIS):****NOV (BID):**

10/24/16

Inspector Contact InformationOnline Permit and Complaint Tracking home page.**Technical Support for Online Services**

If you need help or have a question about this service, please visit our FAQ area.

EXHIBIT D



Hallenbeck/Allwest
Geotechnical Engineering Consultants
Tel (650) 219-4290 Fax (650) 583-1219
Email: adelkasim@gmail.com

East Bay
P.O. Box 1473
El Cerrito, CA 94530

Peninsula
P.O. Box 1666
San Bruno, CA 94066

Rajan Raghavan
143 Corbett Ave ,San Francisco, CA

Date : January 2,2017

Project 7972 GP

RE: Geotechnical Engineering Inspection Findings
Property Line(#143- #145 Corbett Ave, San Francisco, CA)
Drainage & Foundation Issues @ Bottom of Stairs to Lower Basement

Observations (December 27th,2016) :

This endeavor specifically pertains to the subject area at the bottom of the concrete stairs to the lower basement of #143 Corbett Ave, Figure 1; all other conditions are excluded; this engineer is not involved with the construction project.

In this subject area where the two structures #143 / #145 Corbett Ave abut each other there is a roof gutter from # 145 Corbett Ave that runs to a downspout which openly discharges alongside the exterior of # 145 Corbett Ave, Picture One. The engineer felt by hand the interior of this downspout and confirmed water was dripping. Just underneath the discharge location of this downspout , the 12" deep perimeter footing foundation of # 145 Corbett Ave is observed to abut a ~ 6 ft tall concrete foundation retaining wall of # 143 Corbett Ave; a short piece of which is missing, rebar is in place for a replacement. We understand that the missing section of the retaining wall collapsed during the excavation and demolition in this area.

The face of the excavation at the missing section is covered up with Miradrain blanket; this face of the excavation appeared plumb, firm and with no visible bulges or cave-ins that could indicate lateral geo ground movements, Picture Two. The exposed soil is firm native clayey sandy SILT ML-SC only slightly expansive , PI~ 12 CBC 13 Section 1803.5.3 Item # 1 .Beyond this missing section and all the way to the rear, the original foundation retaining wall of # 143 Corbett Ave is visible with intact , no cracks ,no spalling, non segregated concrete, but with no rebars. Underneath the original section, there is a replacement concrete about 3 ft high along the entire 9 ft long rear section of this foundation retaining wall. That is this ~ 6 ft foundation retaining wall of \$ 143 Corbett Ave has an original ~ 3 ft high top and ~ 3 ft high replacement bottom.

These observations are schematically depicted on Figure 2.

Property line is presumed where the two structures abut each other; No formal survey was made for this endeavor.



Hallenbeck/Allwest

Geotechnical Engineering Consultants

Tel (650) 219-4290 Fax (650) 583-1219

Email: adelkasim@gmail.com

East Bay
P.O. Box 1473
El Cerrito, CA 94530

Peninsula
P.O. Box 1666
San Bruno, CA 94066

Conclusions and Recommendations (interim, can be updated on the basis of further data):

1. The open discharge of the # 145 Corbett Ave roof downspout is a clear violation of CBC 13 Section 1808.7.4 and must be piped to " an approved drainage device"... "subject to the approval of the building official"... "away from the structure". The impervious roof generates 100% runoff ratio.

Open discharge of storm water at foundation bearing zone is detrimental to the supporting capacity of the soil and also exacerbates the lateral earth thrust onto the foundation retaining wall.

2. The Miradrain covered face of excavation is firm with no visible bulges or cave-ins; indicating that the incident of missing portion of the # 143 Corbett Ave concrete retaining wall has ,so far (see #3 below), not been associated with removal of lateral support from underneath the 12" deep perimeter footing of # 145 Corbett Ave. Reference CBC 13 Sections 1803.5.7 and 1804.1.

3. The face of excavation reported under # 2 above is only temporarily holding as the soil arching (see illustration Figure 2) is so far holding this face plumb, averting loss of lateral support from underneath the bearing zone of the 12" deep footing foundation of # 145 Corbett Ave.

4. It is strongly recommended that the replacement of the missing foundation retaining wall section be installed soon, very soon, before the onset of strong winter storms that could destabilize this excavation face. The avenues of storm water to this subject area are:

The gutter/spout of # 145 Corbett Ave

The deck board gaps of # 143 Corbett Ave (roof recently removed)

Groundwater from the uphill side.

Also, time-dependent soil creep loading / movements effects would be realized and be detrimental to the foundation stability from any undue delays in the replacement construction.

5. The plans for the construction project of # 143 Corbett Ave should consider installing an engineered subdrain behind the replacement concrete foundation retaining wall ; this is a standard undertaking.

Very truly Yours,

Hallenbeck/Allwest Principal Geotechnical Engineer Adel Kasim, Ph.D, CE,GE # 453

Attachments: Figure 1 Site Plan ; Figure 2 Profile ,Pic One Foundation ; Pic Two Gutter/Spout



Hallenbeck/Allwest

Geotechnical Engineering Consultants

Tel (650) 219-4290 Fax (650) 583-1219

Email: adelkasim@gmail.com

East Bay
P.O. Box 1473
El Cerrito, CA 94530

Peninsula
P.O. Box 1666
San Bruno, CA 94066

Conclusions and Recommendations (interim, can be updated on the basis of further data):

1. The open discharge of the # 145 Corbett Ave roof downspout is a clear violation of CBC 13 Section 1808.7.4 and must be piped to " an approved drainage device"... "subject to the approval of the building official"... "away from the structure". The impervious roof generates 100% runoff ratio.

Open discharge of storm water at foundation bearing zone is detrimental to the supporting capacity of the soil and also exacerbates the lateral earth thrust onto the foundation retaining wall.

2. The Miradrain covered face of excavation is firm with no visible bulges or cave-ins; indicating that the incident of missing portion of the # 143 Corbett Ave concrete retaining wall has ,so far (see #3 below), not been associated with removal of lateral support from underneath the 12" deep perimeter footing of # 145 Corbett Ave. Reference CBC 13 Sections 1803.5.7 and 1804.1.

3. The face of excavation reported under # 2 above is only temporarily holding as the soil arching (see illustration Figure 2) is so far holding this face plumb, averting loss of lateral support from underneath the bearing zone of the 12" deep footing foundation of # 145 Corbett Ave.

4. It is strongly recommended that the replacement of the missing foundation retaining wall section be installed soon, very soon, before the onset of strong winter storms that could destabilize this excavation face. The avenues of storm water to this subject area are:

The gutter/spout of # 145 Corbett Ave



The deck board gaps of # 143 Corbett Ave (roof recently removed)

Groundwater from the uphill side.

Also, time-dependent soil creep loading / movements effects would be realized and be detrimental to the foundation stability from any undue delays in the replacement construction.

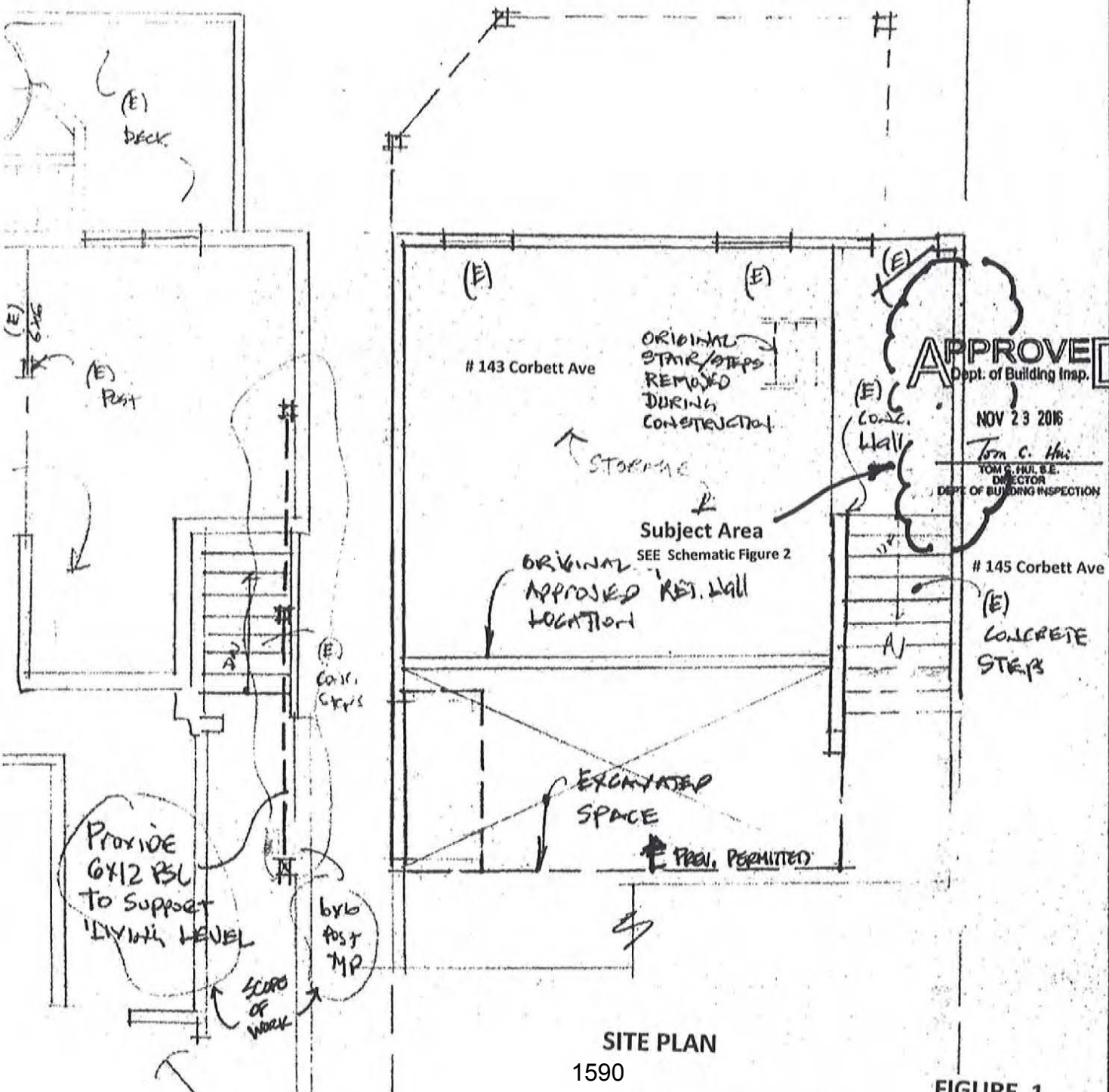
5. The plans for the construction project of # 143 Corbett Ave should consider installing an engineered subdrain behind the replacement concrete foundation retaining wall ; this is a standard undertaking.

Very truly Yours,



Hallenbeck/Allwest Principal Geotechnical Engineer Adel Kasim, Ph.D, CE, GE # 453

Attachments: Figure 1 Site Plan ; Figure 2 Profile ; Pic One Foundation ; Pic Two Gutter/Spout



APPROVED
Dept. of Building Insp.

NOV 23 2016

Tom C. Hui
TOM C. HUI, S.E.
DIRECTOR
DEPT. OF BUILDING INSPECTION

SITE PLAN

FIGURE 1

Dec 27, 2016



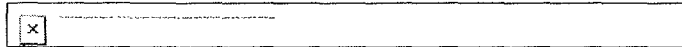
Downspout # 145 Corbett Ave

Siding # 145 Corbett

Gutter # 145 Corbett Ave

12/27/2016 13:58

EXHIBIT E



From: Duffy, Joseph (DBI) [<mailto:joseph.duffy@sfgov.org>]

Sent: Friday, January 27, 2017 11:47 AM

To: francisco@fjsandoval.com

Cc: Dick, Ilene (19) x4958; Rajan Raghavan; Birmingham, Kevin (DBI); O'Riordan, Patrick (DBI)

Subject: RE: 143 Corbett repairs

Hi Francisco

Sorry for the delay in responding .You may proceed with the shoring work and the repairs at the door.

Please let me know when you are starting and how long the work will take.

We had a good conversation with the neighbor after we met you .It would appear that she wants to work with you guys to get things figured out .That was our impression.

I will be off this afternoon

Let me know if you have any questions.

Thank you

Joseph Duffy, Senior Building Inspector
Building Inspection Division
Department of Building Inspection
1660 Mission Street, 3rd Floor
San Francisco, CA 94103
(415) 558-6656 (Desk)
Joseph.Duffy@sfgov.org

From: francisco@fjsandoval.com [<mailto:francisco@fjsandoval.com>]

Sent: Friday, January 27, 2017 7:02 AM

To: Duffy, Joseph (DBI) <joseph.duffy@sfgov.org>

Cc: idick@fbm.com; Rajan Raghavan <rraghavan57@gmail.com>

Subject: 143 Corbett repairs

Joe,

At our site meeting I forgot to mention there is a leak from the sliding doors off the master bedroom. As I had previously mentioned these are old existing doors that obviously have failed. I really need to address this issue for the homeowner since water is filtering from the door sill to lower areas of the home. I will have to remove these doors to repair the leak. I would like to address this issue while on site for the shoring. I just wanted to inform you in case you get a call that we were working on the deck.

Do not heaitate to contact me regarding this iasue. Thank you for your help regarding this matter, Francisco

Dick, Ilene (19) x4958

From: Dick, Ilene (19) x4958
Sent: Wednesday, February 15, 2017 6:55 AM
To: Dick, Ilene (19) x4958
Subject: Fwd: Shoring

Sent from my iPhone

Begin forwarded message:

From: <francisco@fjsandoval.com>
Date: January 24, 2017 at 3:24:27 PM PST
To: <Joseph.Duffy@sfgov.org>
Cc: <jdick@fbm.com>, Rajan Raghavan <rraghavan57@gmail.com>
Subject: Shoring

Hi Joe,

Thank you for your site visit today. Per the limited work scope of shoring and pouring the one small section of foundation per the geotech recommendation I will need approximately 3 weeks to complete this scope weather permitting.

Thanks again,
Francisco

EXHIBIT F















EXHIBIT L

BOARD OF APPEALS City & County of San Francisco
BOARD OF APPEALS

APR 05 2017

APPEAL # 16-186



WITHDRAWAL REQUEST

Instructions:

This form is to be used by appellants who wish to withdraw their appeal. Please note: when an appeal is withdrawn, the Board loses jurisdiction over the determination at issue and any suspension of the determination will be lifted.

To file a Withdrawal Request, please filled out this form and deliver it to the Board of Appeals in one of the following ways:

Email to: boardofappeals@sfgov.org

Fax to: 415-575-6885

Hardcopy to: 1650 Mission Street, Suite 304, San Francisco, CA 94103

The Board will contact the appellant to confirm his or her intent to withdraw and then will send written confirmation to all parties that the matter has been withdrawn.

Appeal No: 16-186

Address of Subject Property: 143 Corbett Avenue

Hearing Date: April 5, 2017

Name of Appellant(s): Jennifer Creelman & Alfred "Chip" Driggs

Phone: 415-292-3656 Fax: 415-776-8047

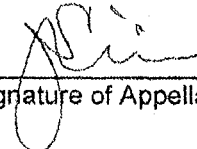
Email: smw@stevewilliamsllaw.com

Please sign below to confirm the following statement:

I/We hereby withdraw this appeal.

The reasons for this action are [optional]:

The Planning Department has begun enforcement actions which should accomplish the goals of the appeal.

 April 5, 2017
Signature of Appellant or Agent Date

Signature of Appellant or Agent Date

1650 Mission Street, Suite 304 • San Francisco, CA 94103
Phone: 415-575-6880 • Fax: 415-575-6885 • Email: boardofappeals@sfgov.org
www.sfgov.org/boa

(3-17)

4-5-17
TW S.W. Williams
along with others
086



CERTIFICATE OF MAILING

Appeal No(s). 16-186, Withdrawn

NO letter notice(s) mailed from neighborhood mailing list. Neighbors received a postcard from a mass mailing sent to all occupants and property owners within 150 feet of subject property, and none called the Board office to request additional notice of future proceedings.

C.C.
4/5/2017

EXHIBIT M



Edwin M. Lee
Mayor

Cynthia G. Goldstein
Executive Director

AFFIDAVIT OF SERVICE


Ravi Raghavan, Permit Holder
c/o Ilene Dick, Attorney for Permit Holder
Farella Braun & Martel LLP
235 Montgomery Street
San Francisco, CA 94104

I, Gary Cantara, Legal Assistant for Board of Appeals, hereby certify that on this 5th day of April 2017, I served the attached **Notice of Withdrawal for Appeal No. 16-186, Creelman vs. Department of Building Inspection**, subject property at 143 Corbett Avenue on the permit holder(s) by mailing a copy via U.S. mail, first class, to the address above.

I declare under penalty of perjury under the laws of the State of California that the foregoing is true and correct. Executed in San Francisco, California.

April 05, 2017

Date


Gary Cantara

cc: Joseph Duffy, Senior Building Inspector
Department of Building Inspection
1660 Mission Street, 5th Floor
San Francisco, CA 94103

OTHER PARTIES
OR CONCERNED CITIZENS:

Jennifer Creelman, Appellant
c/o Stephen Williams, Attorney for Appellant
1934 Divisadero Street
San Francisco, CA 94115

BOARD OF APPEALS, CITY & COUNTY OF SAN FRANCISCO

Appeal of

JENNIFER CREELMAN.

Appellant(s)

VS.

DEPARTMENT OF BUILDING INSPECTION.

PLANNING DEPARTMENT APPROVAL Respondent

Appeal No. 16-186

NOTICE OF APPEAL

NOTICE IS HEREBY GIVEN THAT on December 08, 2016, the above named appellant(s) filed an appeal with the Board of Appeals of the City and County of San Francisco from the decision or order of the above named department(s), commission, or officer.

The substance or effect of the decision or order appealed from is the ISSUANCE on November 23, 2016 to Ravi Raghavan, of an Alteration Permit (to comply with NOV No. 201631352: install temporary shoring to lower level space per Stop Work Violation request of building official; install new retaining wall at rear yard per plans) at 143 Corbett Avenue.

APPLICATION NO. 2016/11/23/3483

FOR HEARING ON February 22, 2017

Address of Appellant(s):

Jennifer Creelman, Appellant
c/o Stephen M. Williams, Attorney for Appellant
1934 Divisadero Street
San Francisco, CA 94115

Address of Other Parties:

**Ravi Raghavan, Permit Holder
c/o Ilene Dick, Attorney for Permit Holder
Farella Braun & Martel LLP
235 Montgomery Street
San Francisco, CA 94104**

NOTICE OF WITHDRAWAL

The aforementioned matter has been **WITHDRAWN** at the request of the appellant(s). See attached letter. Upon withdrawal of an appeal, the Board of Appeals loses jurisdiction over the subject permit, **AND THE SUSPENSION OF THE PERMIT IS LIFTED**. If you have any questions regarding this notice, please call the Board office at 575-6880.

Date of Withdrawal: April 05, 2017

Date Notice Released to Department(s): April 05, 2017



CORBETT HEIGHTS NEIGHBORS

Corbett Heights Neighbors was formed in July 2004 for the purpose of providing a forum for the residents to discuss common issues and concerns, develop solutions, and guide the direction of the neighborhood. The goals of the organization are to beautify, maintain and improve the character of the neighborhood, protect historic architectural resources, ensure that new construction/development is compatible with the neighborhood, maintain its pocket parks, increase security, provide community outreach and an educational forum, and encourage friendly association among the neighbors.

www.corbettheights.org

May 21, 2018

Jeff Horn, Senior Planner
Southwest Team, Current Planning Division
San Francisco Planning Department
1650 Mission Street, Suite 400, San Francisco, CA 94103

Re: 143 Corbett Avenue

Dear Mr. Horn:

Corbett Heights Neighbors **OPPOSES** the granting of CUA or Variance to the sponsors of the project at 143 Corbett Avenue. There have been over four years of unpermitted work, serial permitting, and overall deception on the part of the contractors and project sponsors.

On top of this, we **OPPOSE** sanctioning the horizontal expansion that encroaches into the already minimal required rear yard open space within the Corona Heights Large Residential SUD.

Thank you for your consideration.

Sincerely,

Gary Weiss, President
Corbett Heights Neighbors

June 12, 2018

Jeff Horn, Senior Planner
1650 Mission Street, Suite 400, San Francisco, CA 94103

RE: 143 Corbett Ave

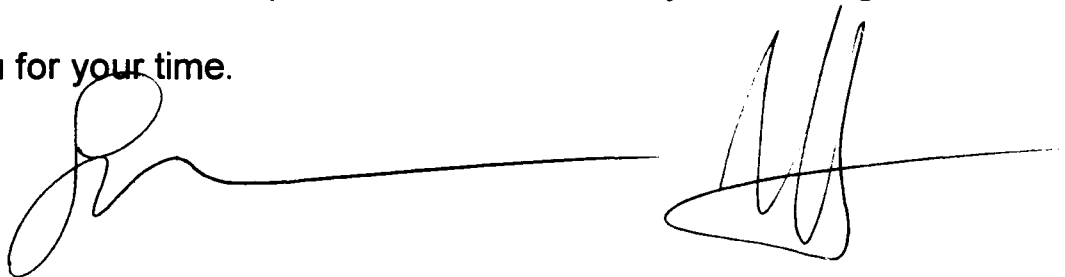
Dear Mr. Horn:

We Live at 149 Corbett Avenue. We oppose the granting of the CUA or Variance to the sponsors of the project at 143 Corbett Avenue. We also oppose the sanctioning of the horizontal expansion as it sets a precedent for other neighbors to expand and or enclose their decks creating a lack of privacy and light.

CHN recently passed the Corona Heights Large Residential SUD and we want to make sure that we send a message to all future sponsors that long standing unpermitted work will not be rewarded retroactively. Particularly neighbors that so blatantly and irresponsibly excavated and rebuilt a home using 19 over-the-counter permits to hide what they were doing.

Thank you for your time.

Sincerely,

A handwritten signature in black ink, consisting of a large, stylized 'S' followed by a horizontal line and a smaller, more complex signature.

Stephanie and Steven Moomjian
149 Corbett Ave.

CONDITIONAL USE APPLICATION FOR

143 CORBETT AVE
SAN FRANCISCO, CA, 94114

THESE DRAWINGS HAVE BEEN REVISED 8-22-18, AS A RECOMMENDATION FROM TEH SAN FRANCISCO PLANNING DEPARTMENT. THIS REVISED SET SHOW STEH SAME CONTENT AS THE CUA SUBMITTAL THAT WAS REVIEWD BY THE PLANNING COMMISSION BUT WITH TWO ITEMS REMOVED:

- PROPOSED ROOF DECK HAS BEEN REMOVED AS IT WAS DENIED BY THE PLANNING COMMISSION
- PROPOSED ONE STORY SPIRAL STAIR IN THE REAR YARD. THIS WAS DENIED BY THE PLANNING COMMISSION AS A CONDTION OF THE APPLICATION

THE PROPOSED VARIANCE TO LEGALIZE THE 16SF OF ADDITIONAL FLOOR AREA @ THE MAIN LEVEL REMAINS. ITS IS SHOWN AS CONSTRUCTED IN THE PHOT ON THIS PAGE.



THIS DOCUMENT IS PREPARED AS SUPPLEMENTAL ADDENDA TO THE VARIANCE APPLICATION TO CLARIFY QUESTIONS OF PERMIT AND CONSTRUCTION HISTORY, SCOPE OF WORK, AND SPECIFICS OF THE VARIANCE APPLICATION FOR ILLEGAL ALTERATIONS OF AN EXISTING REAR BREAKFAST NOOK CONSTRUCTUCTED BEFORE THE OWNER PURCHASED THE HOME.

SHEET LIST	
Sheet Number	Sheet Name

CU0	COVER SHEET
CU1.1	PROJECT INFORMATION
CU1.2	2002 PERMIT - ANALYSIS
CU1.3	200 PERMIT - ANALYSIS
CU1.4	GROSS AREA - 200210108753
CU1.5	TOTAL GROSS AREA ANALYSIS
CU1.6	CALRIFICATION OF VARIANCE
CU1.7	DRONE PHOTO
CU2.1	BASEMENT LEVEL
CU2.2	LOWER LEVEL
CU2.3	MAIN LEVEL PLAN
CU2.4	UPPER LEVEL PLAN
CU2.5	ROOF PLAN
CU3.1	FRONT ELEVATION
CU3.2	WEST ELEVATION
CU3.3	REAR ELEVATION
CU3.4	EAST ELEVATION
CU5.1	ENLARGED PLAN - LOWER DECK
CU5.2	3D PERSPECTIVE OF REAR STAIRS
CU8.1	SECTION
CU8.2	SECTION
CU9.1	LIGHTWELL ENCLOSURE
CU9.2	LIGHTWELL AGREEMENT
CU9.3	LIGHTWELL AGREEMENT
CU10.1	LETTER BY THE ENGINEER
CU11.1	PHOTOS OF EXISTING BREAKFAST NOOK
CU11.2	PHOTOS OF THE BREAKFAST NOOK - LMS
CU11.3	PHOTOS - 143 CORBETT - REAR FACADE
CU11.4	HISTORIC INTERPOLATION

RENOVATION FOR:

RAGHAVAN FAMILY

143 CORBETT AVE
SAN FRANCISCO, CA 94114

CRUZ A+D

400 PERKINS ST #209
OAKLAND, CA 94610
T: 415.802.7447
MARK@CRUZAD.SPACE

COVER SHEET

CU0

Scale:

PROJECT TEAM:

PROJECT LOCATION:

143 CORBETT AVE
SAN FRANCISCO, CA

PARCEL:

2656060

YEAR BUILT:

1911

PARCEL AREA:

1,829 SQ FT

EXISTING UNITS:

1

PROPOSED: UNITS

2

STORIES:

3+1 (BASEMENT)

OCCUPANCY:

RH-2

HEIGHT DISTRICT:

40-X

CONSTRUCTION TYPES

VB

OWNER:

RAJAN AND RAGINI RAGHAVAN
143 CORBETT AVE
SAN FRANCISCO, CA
RRAGHAVAN57@gmail.COM

ARCHITECT

MARK CRUZ
400 PERKINS STE 209
OAKLAND, CA 94610
(415) 802-7447
MARK@CRUZAD.SPACE

CONTRACTOR:

TBD

STRUCTURAL ENGINEER:

EREVAN O'NEIL
ONE DESIGN
EREVAN@ONEDESIGNSF.COM

CONSULTING ENGINEER

PAT BUSCOVICH
235 MONTGOMERY ST # 823
SAN FRANCISCO, CA 94104
PATRICK@BUSCOVICH.COM
(415) 7606036

GEOTECHNICAL ENGINEER: ADEL KASIM

3179 ARROBA WAY
SAN JOSE, CA 95118
ADELKASIM@gmail.COM
(408) 448-4975

SCOPE OF WORK:

LOWER LEVEL UNIT

A PRIMARY GOAL OF THE PROJECT IS TO FINISH AND LEGALIZE THE EXISTING LOWER LEVEL UNIT, PER THE RH-2 ZONING FOR CORBETT AVE. THIS APPLICATION SEEKS SF PLANNING APPROVAL TO COMPLETE THE LOWER UNIT THAT WAS UNDER WAY BEFORE THE N.O.V.

RETAINING WALLS HAVE BEEN REVIEWED BY A GEOTECHNICAL ENGINEER (ADEL KASIM), DESIGNED A STRUCTURALLY ENGINEER, REVIEWED BY A CONSULTING ENGINEER (PAT BUSCOVICH), INSPECTED BY DBI (INSPECTORS JOSEPH DUFFY AND KEVIN BIRMINGHAM), AND POURED BY A LICENSED CONTRACTOR (FJ SANDOVAL).

THE FRONT OF THE FACADE NEAR THE EXISTING BAY WINDOW WILL NEED TO BE ALTERED SLIGHTLY TO FACILITATE 81" OF HEADROOM @ THE EXISTING STEPS FROM THE SIDEWALK.. THIS MODIFICATION WILL RAISE THE BOTTOM OF THE BAY WINDOW BY APPROX. 12" TO 14". BUT WILL CONFLICT WITH THE STYLE OR CHARACTER OF THE ARCHITECTURE OF THE BUILDING OR STREET.

VARIANCE

- 20" REAR PROTRUSION OF THE EXISTING BREAKFAST NOOK WITH HISTORICAL DOCUMENT IDENTIFY THE ILLEGAL ADDITION OCCURRING SOMETIME BETWEEN 2003 AND 2014.
- TRIANGULAR SIDE PROTRUSION OF THE EXISTING BREAKFAST NOOK WITH HISTORICAL DOCUMENT IDENTIFY THE ILLEGAL ADDITION OCCURRING SOMETIME BETWEEN 2003 AND 2014.

- ADDITION OF A REAR SPIRAL STAIRCASE FROM THE REAR GROUND LEVEL TO DENISE SPACE TO THE LIVING ROOM OF THE UPPER LEVEL. PROVIDE A NORMALIZED DECK AND TO THE GRADE.

ROOF DECK

THE APPLICATION SEEKS SF PLANNING APPROVAL OF AN APPROXIMATE 200 SF ROOF DECK. THE ROOF DECK WOULD BE CONSTRUCTED OF NON-COMBUSTIBLE MATERIALS CONSISTENT WITH DBI AND FIRE EQUIVALENCY REQUIREMENTS.

THE APPLICATION SEEKS ACCESS TO THE ROOF FOR THE PURPOSES OF REPAIRING AND FINANCING A PROPOSED A/C UNIT AND REGULATING THE SPACE OF PROPOSED SOLAR PANELS. PV ARRAY INSTALLATION IS NOT PERMITTED FOR THE ROOF (AND ASSOCIATED ELECTRICAL WORK).

THE DESIGN INCLUDES AN INTERNAL WOOD STAIRCASE FROM THE TOP FLOOR TO THE ROOF. NO PENTHOUSE OR SOLID PROTRUSIONS WILL BE PROPOSED BEYOND THE EXISTING PARAPET.

LIGHT WELL ENCLOSURE

THIS APPLICATION PURSUES A ONE STORY ENCLOSURE OF THE LIGHTWELL ON THE WEST PROPERTY LINE @ THE MAIN LEVEL. PLANNING CODE 311(B) SECTION 136(c), STATES THE EXCEPTION, THAT LIGHTWELLS THAT ARE NOT VISIBLE FROM ANY OFF SITE LOCATION DO NOT REQUIRE 311, AND CAN BE SOUGHT OVER-THE-COUNTER WITH THE ADJACENT NEIGHBORS WRITTEN APPROVAL. WE HAVE ATTACHED WRITTEN STATEMENT CLARIFYING THE ENCLOSURE OF THE LIGHTWELL BY THE OWNERS OF 145 CORBETT. THE TOP OF THIS LIGHTWELL WOULD ALIGN WITH THE EAVE LINE FO 145 CORBETT.

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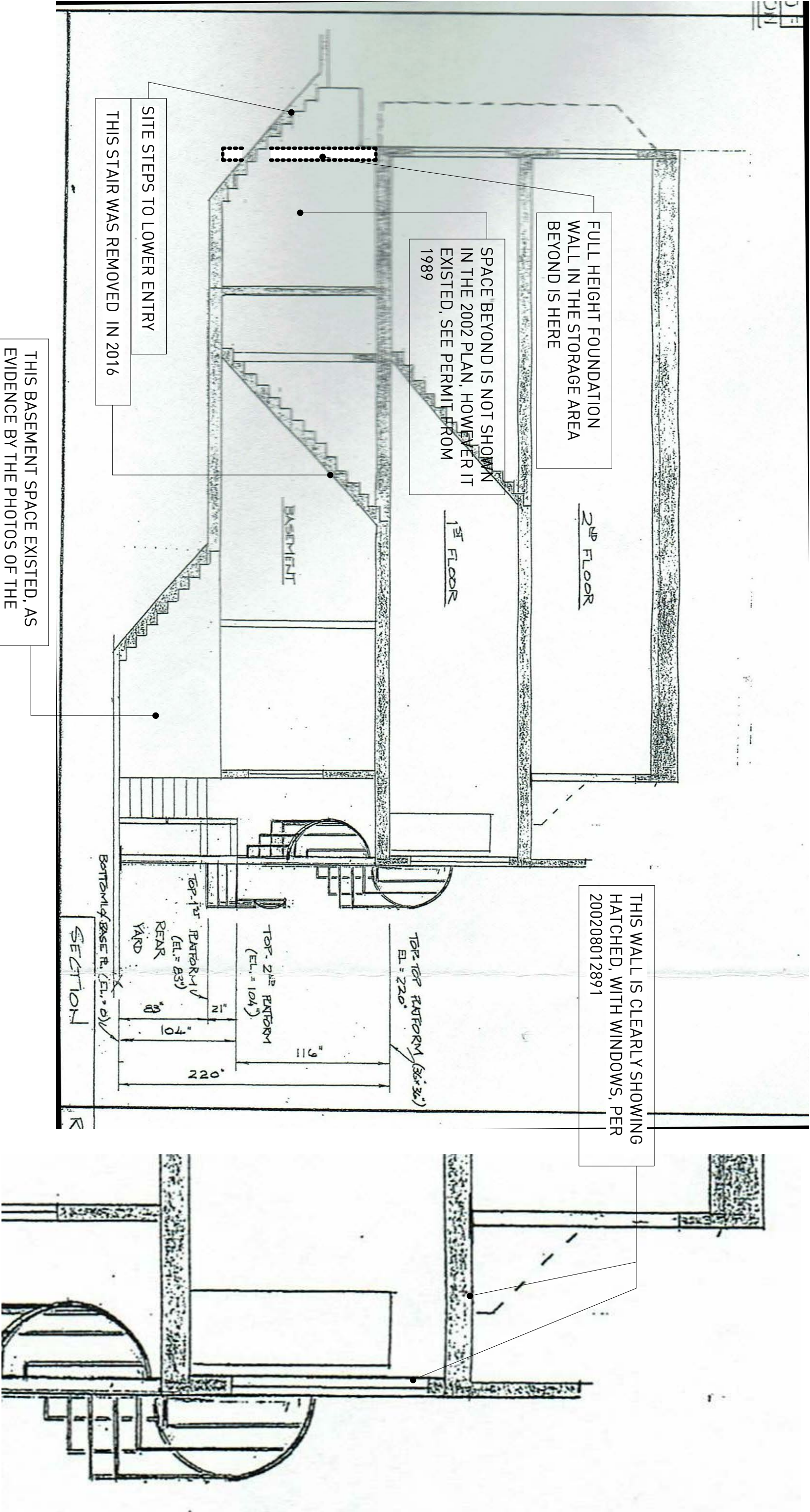
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400 PERKINS ST #209
OAKLAND, CA 94610
T: 415.802.7447
MARK@CRUZAD.SPACE

PROJECT INFORMATION

CU1.1

Scale:



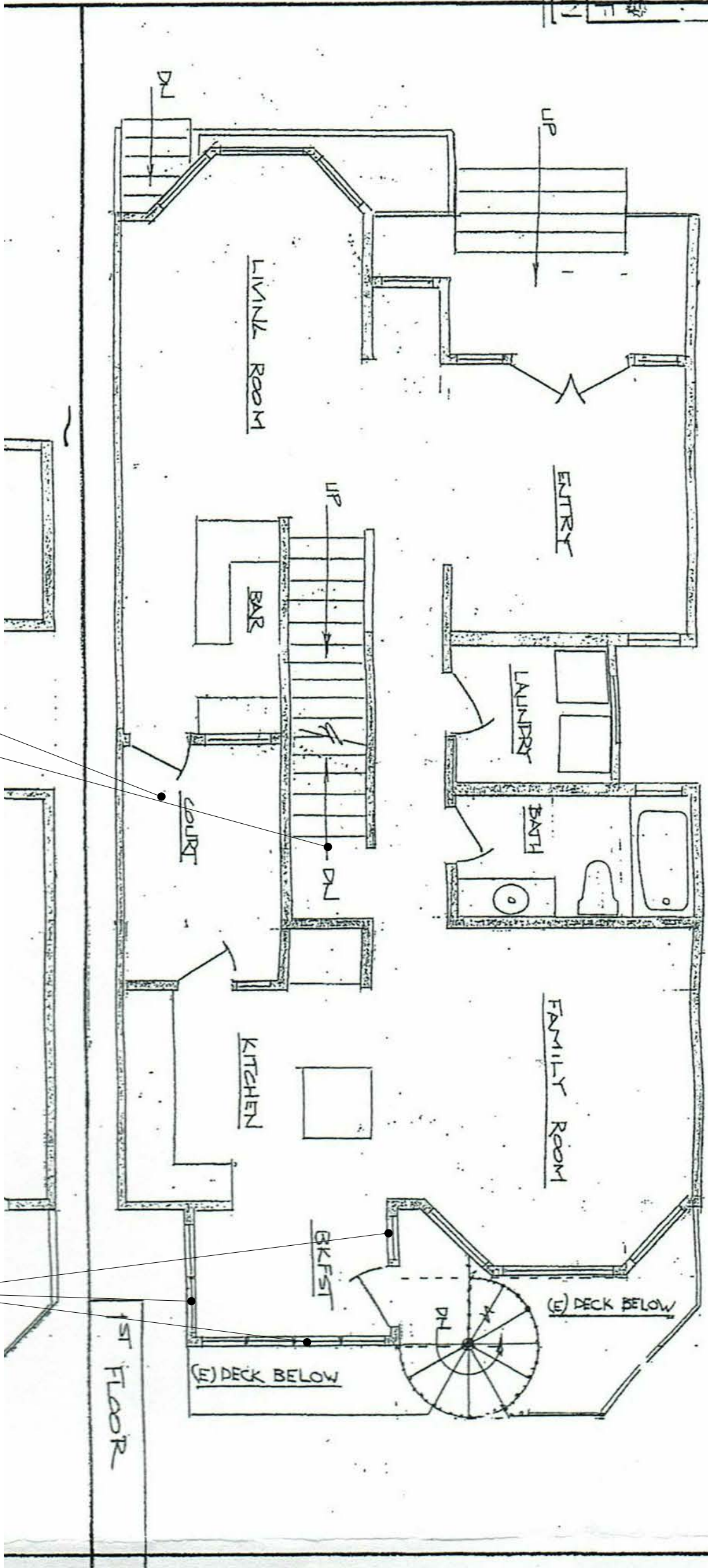
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2002 PERMIT - ANALYSIS

CU1.2
Scale: 6" = 1'-0"



LIGHTWELL

INTERNAL STAIR TO LOWER LEVEL WAS REMOVED.

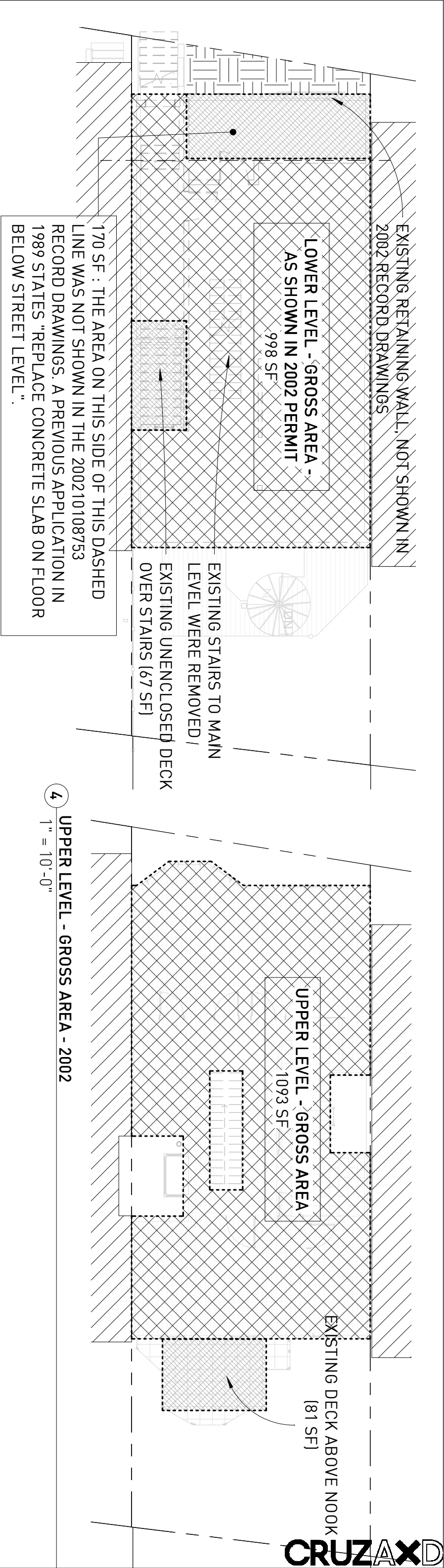
WINDOWS AND HATCHED WALL INDICATES ENCLOSED, CONDITIONED SPACE

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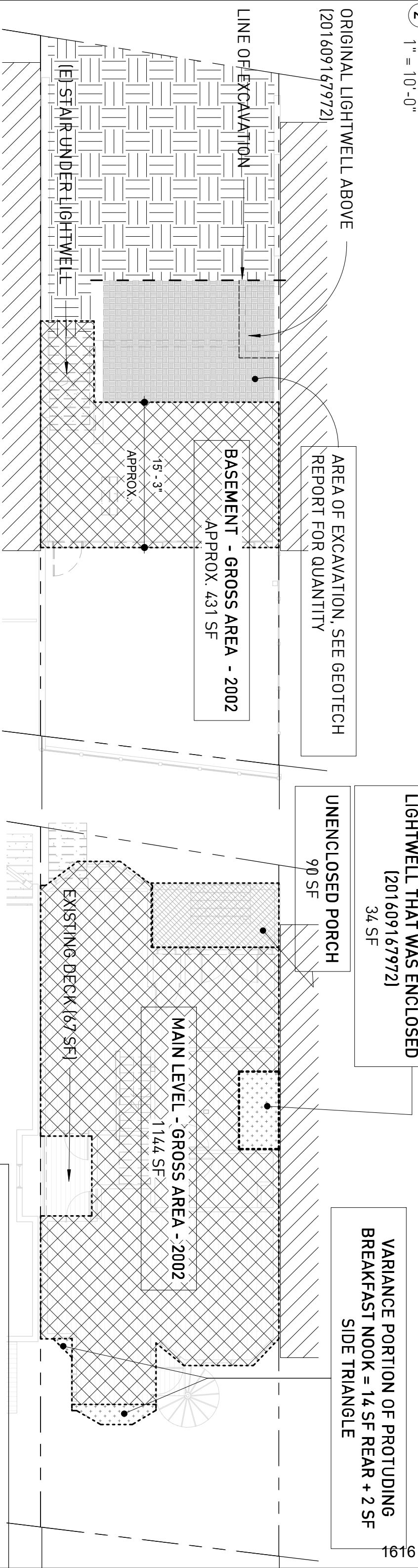
200 PERMIT - ANALYSIS

CU1.3
Scale:



2 LOWER LEVEL GROSS AREA - 2002

1" = 10'-0"



1 BASEMENT - GROSS AREA - 2002

1" = 10'-0"

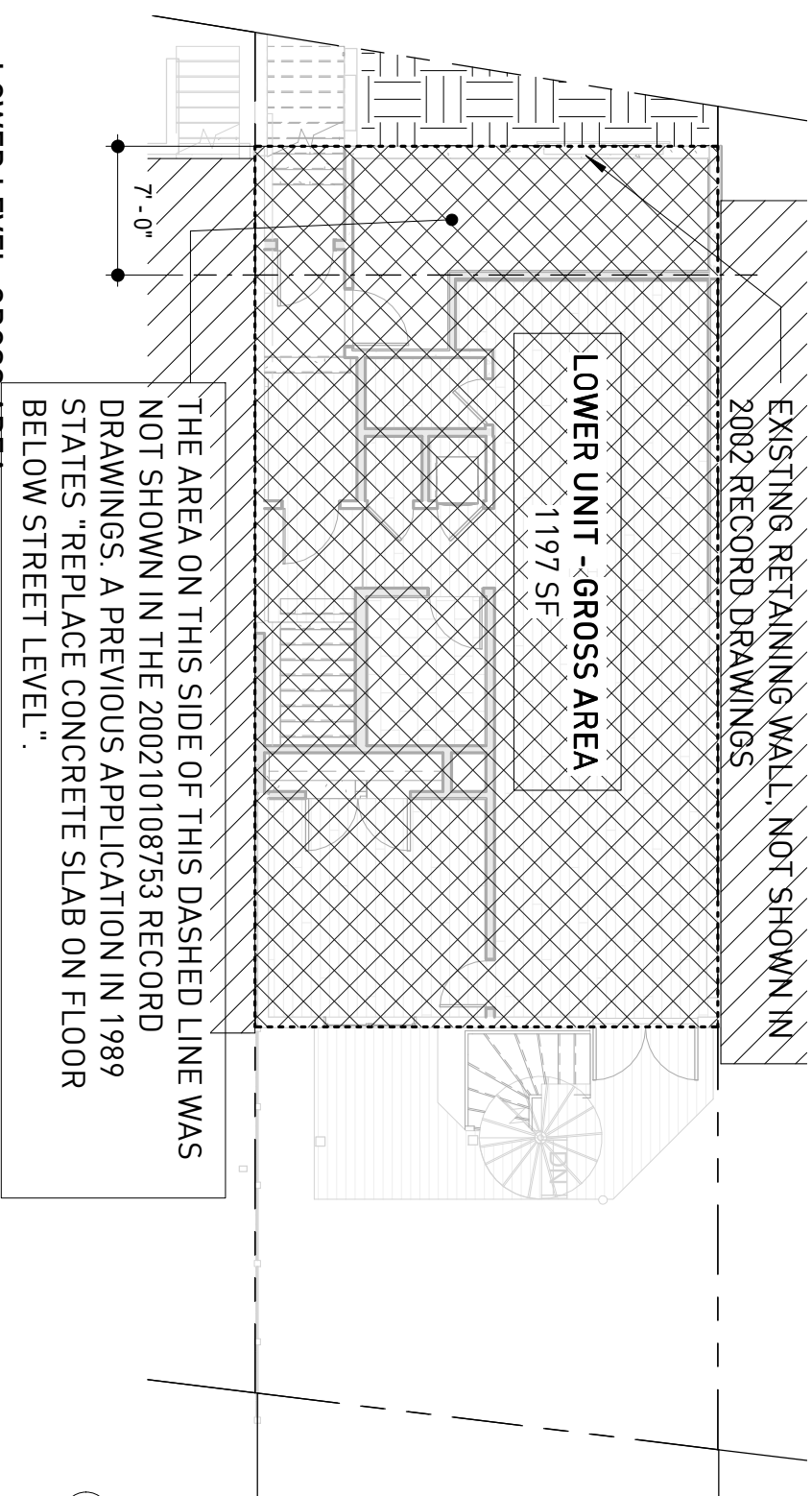
3 MAIN FLOOR - GROSS AREA - 2002

1" = 10'-0"

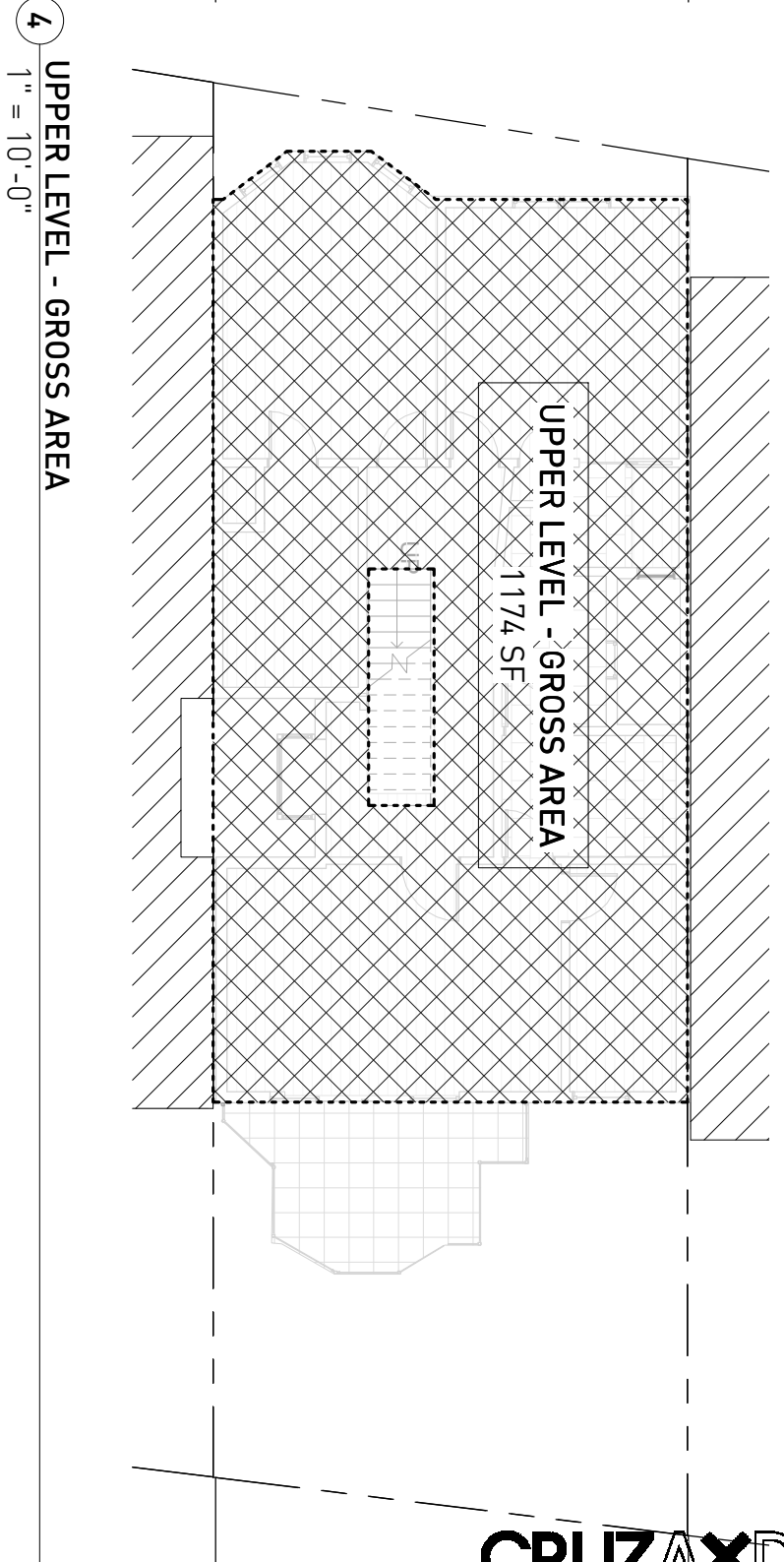
GROSS AREA - 200210108753

CU1.4

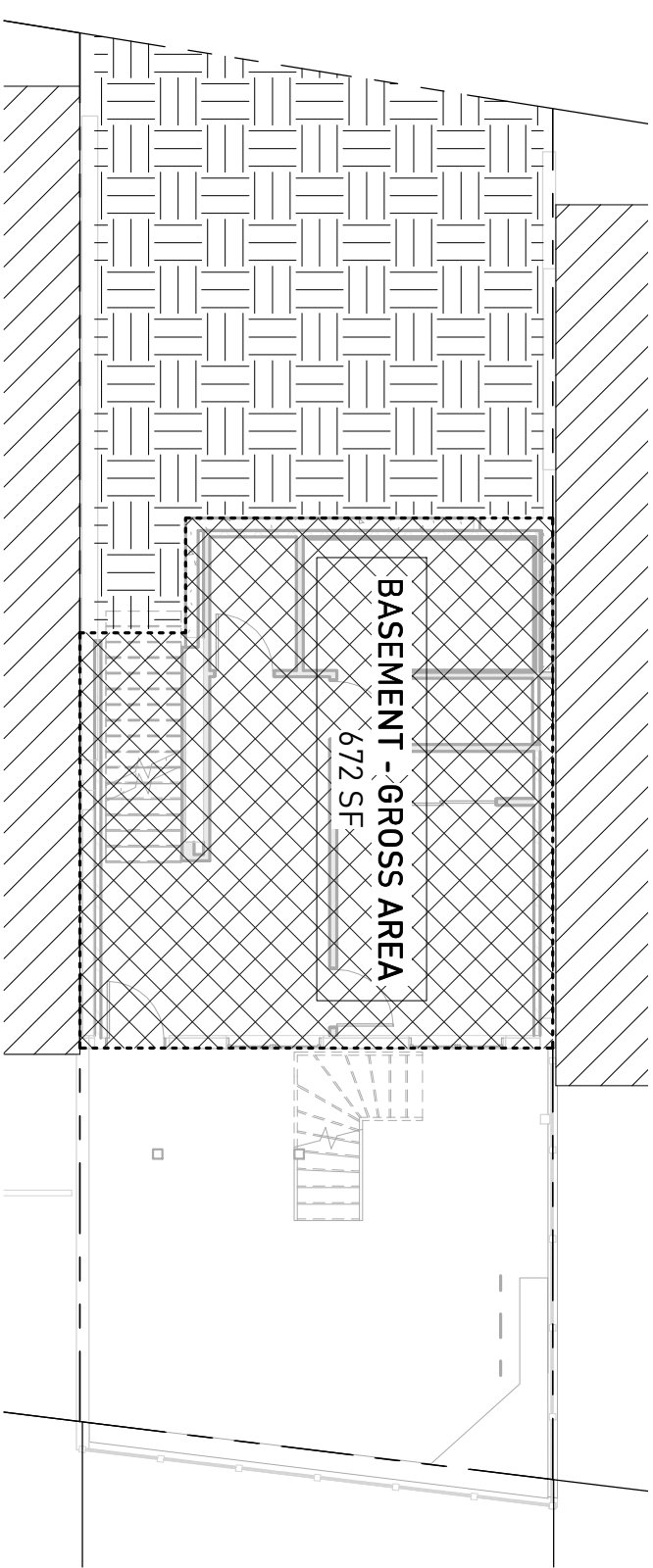
Scale: 1" = 10'-0"



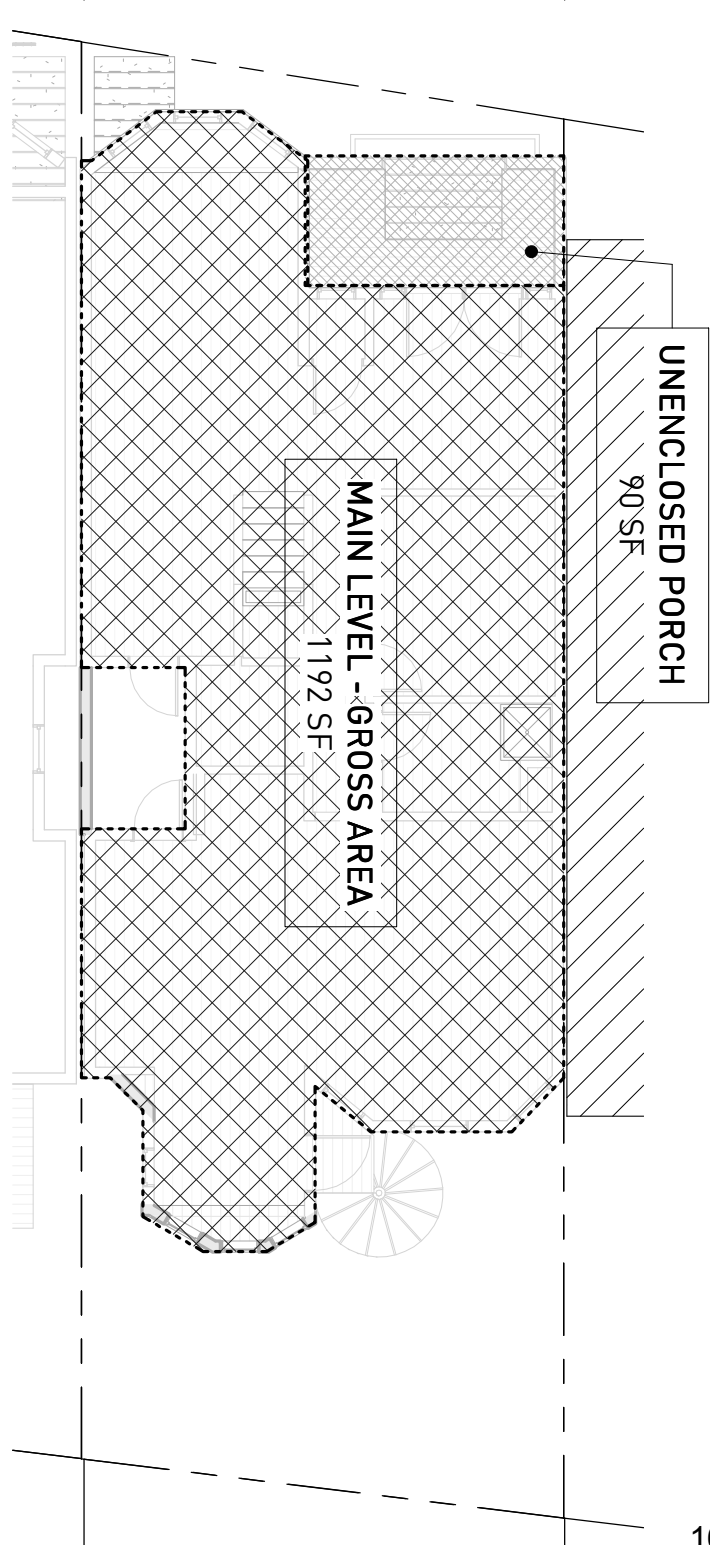
2 LOWER LEVEL GROSS AREA
1" = 10'-0"



4 UPPER LEVEL - GROSS AREA
1" = 10'-0"



1 BASEMENT - GROSS AREA
1" = 10'-0"



3 MAIN FLOOR - GROSS AREA
1" = 10'-0"

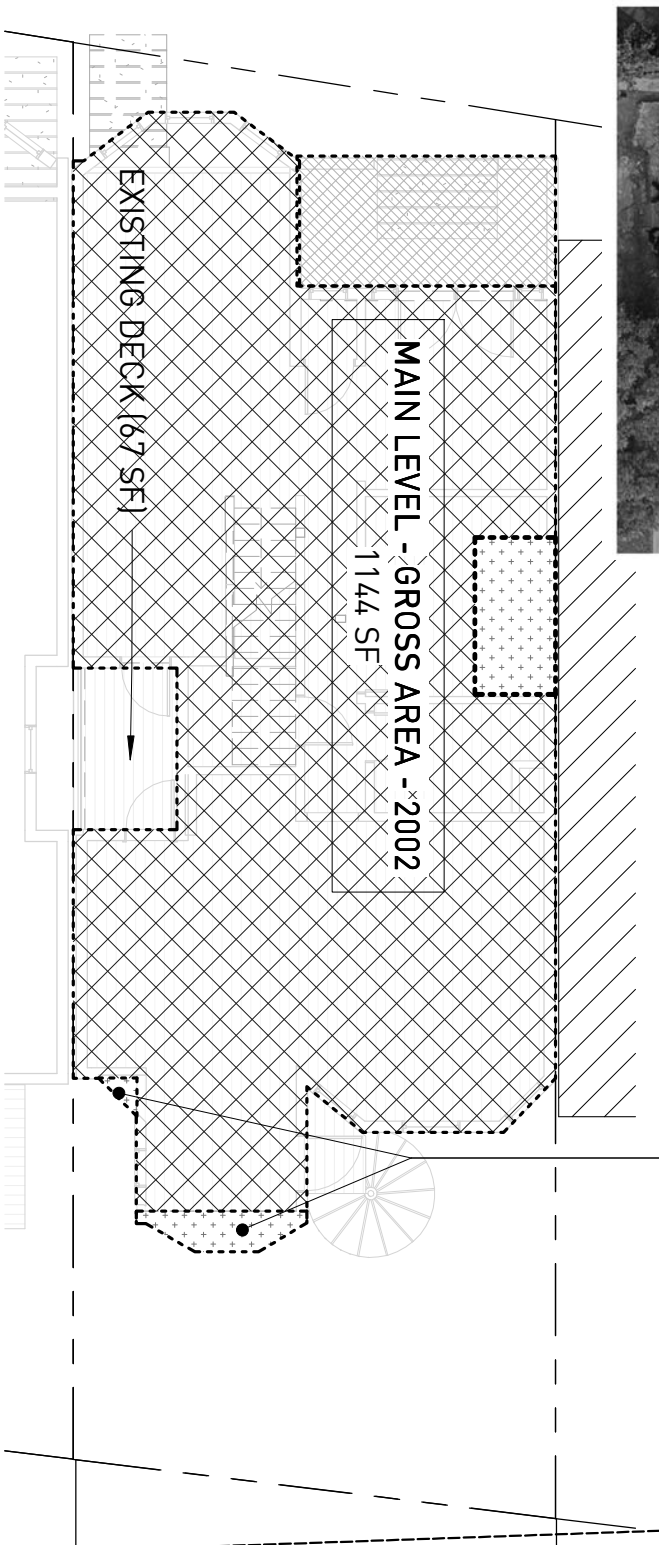
TOTAL GROSS AREA ANALYSIS

CU1.5

Scale: 1" = 10'-0"



VARIANCE PORTION OF PROTUDING
BREAKFAST NOOK = 14 SF REAR + 2 SF
SIDE TRIANGLE

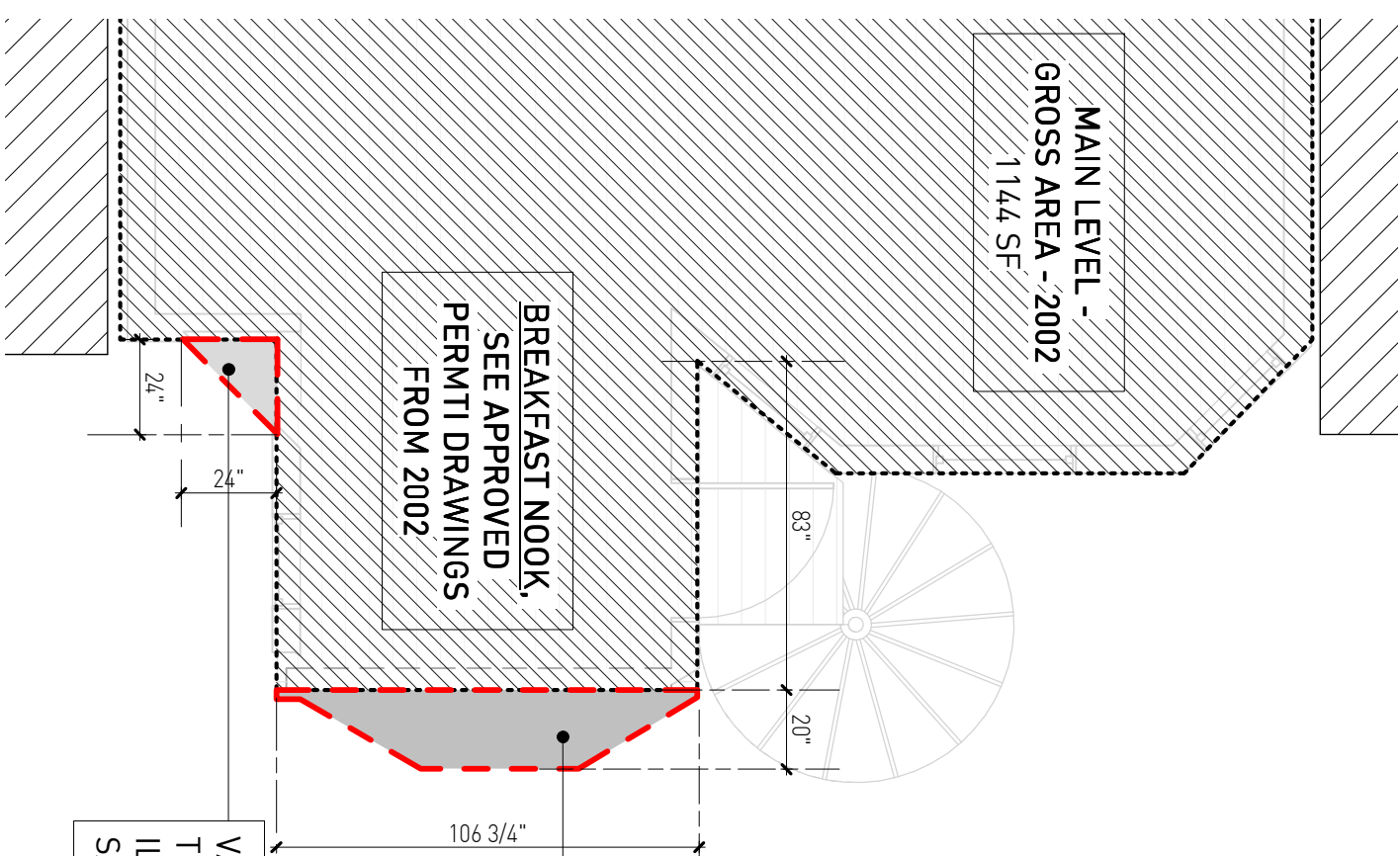


1 MAIN FLOOR - VARIANCE
1" = 10'-0"

RENOVATION FOR:

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SAN FRANCISCO, CA 94114



BREAKFAST NOOK,
SEE APPROVED
PERMIT DRAWINGS
FROM 2002

VARIANCE PORTION OF PROTUDING
BREAKFAST NOOK = 14.3 SF REAR

VARIANCE :
TRIANGULAR ADDITION TO SIDE = 2 SF THIS
ILLEGAL PORTION OCCURRED IN 2011, PER
SATELLITE IMAGES

2 MAIN FLOOR - VARIANCE - ENLARGED
1/4" = 1'-0"

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CALRIFICATION OF VARIANCE

CU1.6

Scale: As indicated



TWO FAMILY RESIDENCE
137 CORBETT AVE
139 CORBETT AVE

PROPOSED GROUND FLOOR
NEWLY EXPANDED
(SEE GEOTECH REPORT WITH EE FOR EXCAVATION ANALYSIS.)

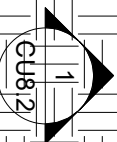
(E) REAR YARD,
PROPOSED PATIO AND
SEATWALL DESIGN

APPROX.

27' - 6"

RETAINING FOUNDATION
WALL, INSPECTED &
POURED ON DEC 2017,
REFERENCE
201611233483 &
201703272431 &
201712085904
INSPECTED BY
INSPECTOR DUFFY AND
INSPECTOR BIRMINGHAM

INSPECTED BY
INSPECTOR DUFFY AND
INSPECTOR BIRMINGHAM



(N) RETAINING FOUNDATION WALL,
POURED IN DEC 2017, REFERENCE
201611233483 & 201703272431

SINGLE FAMILY RESIDENCE
145 CORBETT AVE

LOT LINE FOUNDATION REPLACEMENT UNDER LIGHTWELL, DUE TO
UNDERMINED SOILS CAUSED BY WATER LEAK
(FINAL POUR DEC 2017, INSPECTED BY INSPECTOR BIRMINGHAM)

(N) BATHROOM

(N) 60" x 72" DUAL
CASEMENT
(EGRESS)

(N) BEDROOM
128 SF

STORAGE

(E) STAIR LOCATION
(TO BE REBUILT)

(E) 145 CORBET
DOWNSPOUT FROM
UP LIGHTWELL

EXISTING STAIR TO
BE REBUILT

LINE OF (E) DECK ABOVE

RETAINING WALL PER
201611233483



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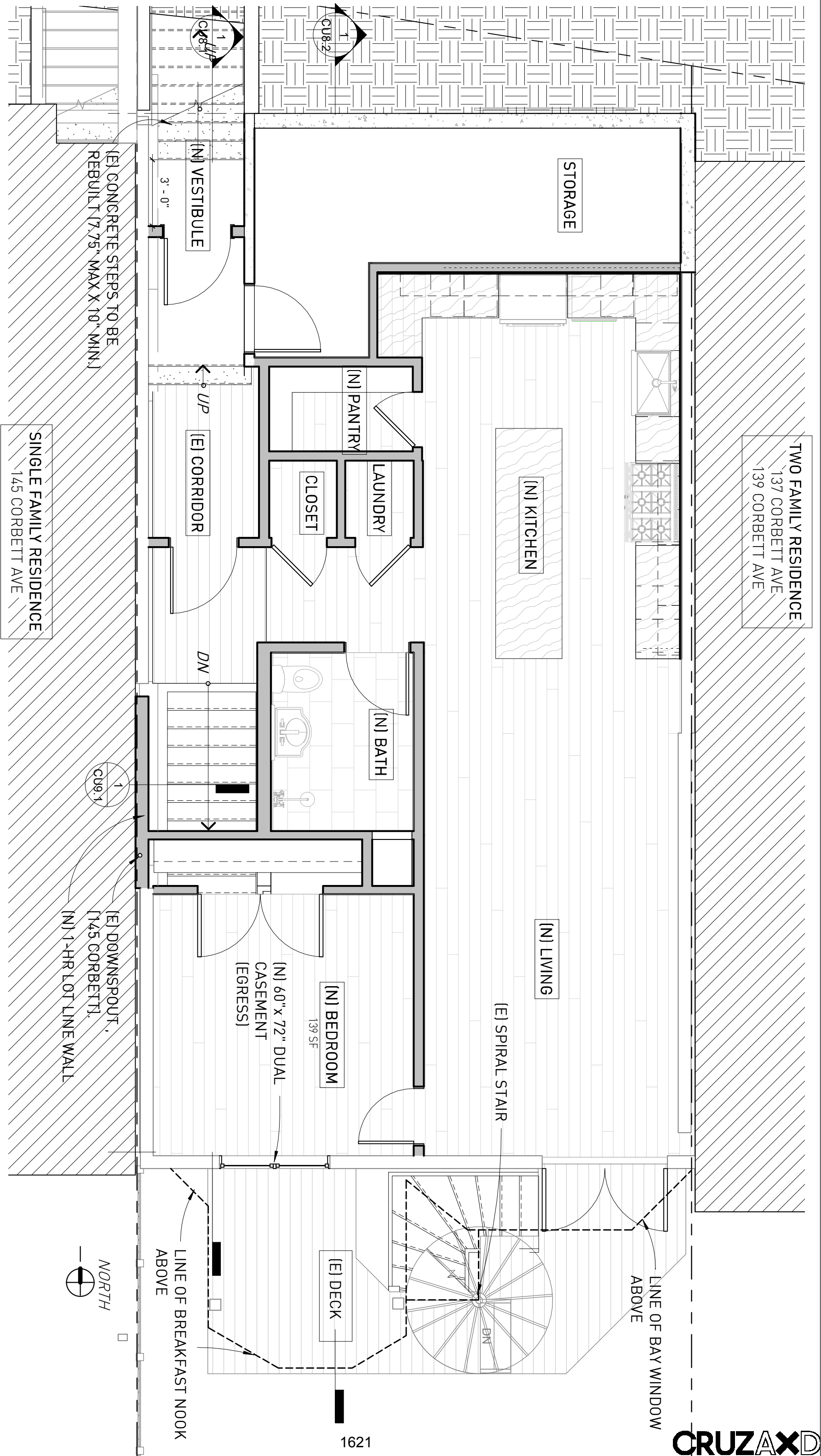
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BASEMENT LEVEL

CU2.1

Scale: 1/4" = 1'-0"



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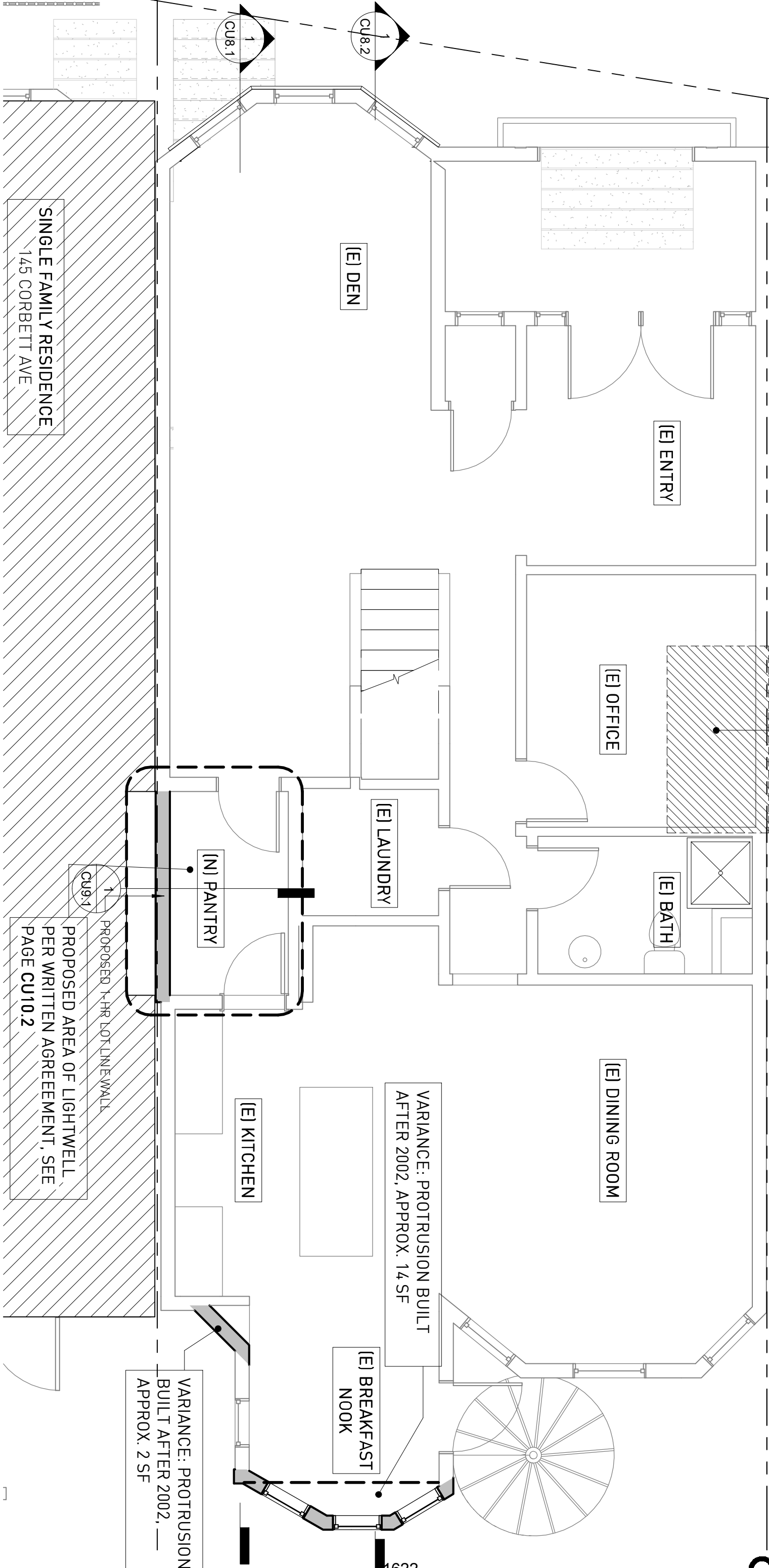
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LOWER LEVEL

CU2.2
Scale: 1/4" = 1'-0"

TWO FAMILY RESIDENCE
137 CORBETT AVE
139 CORBETT AVE

AREA OF LIGHTWELL INFILL
PER 201609167972



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MAIN LEVEL PLAN

CU2.3
Scale: 1/4" = 1'-0"

TWO FAMILY RESIDENCE
137 CORBETT AVE
139 CORBETT AVE

AREA OF LIGHTWELL INFILL
PER 201609167972.
INTERNAL DRAINAGE ROOF
PAN INSTALLED

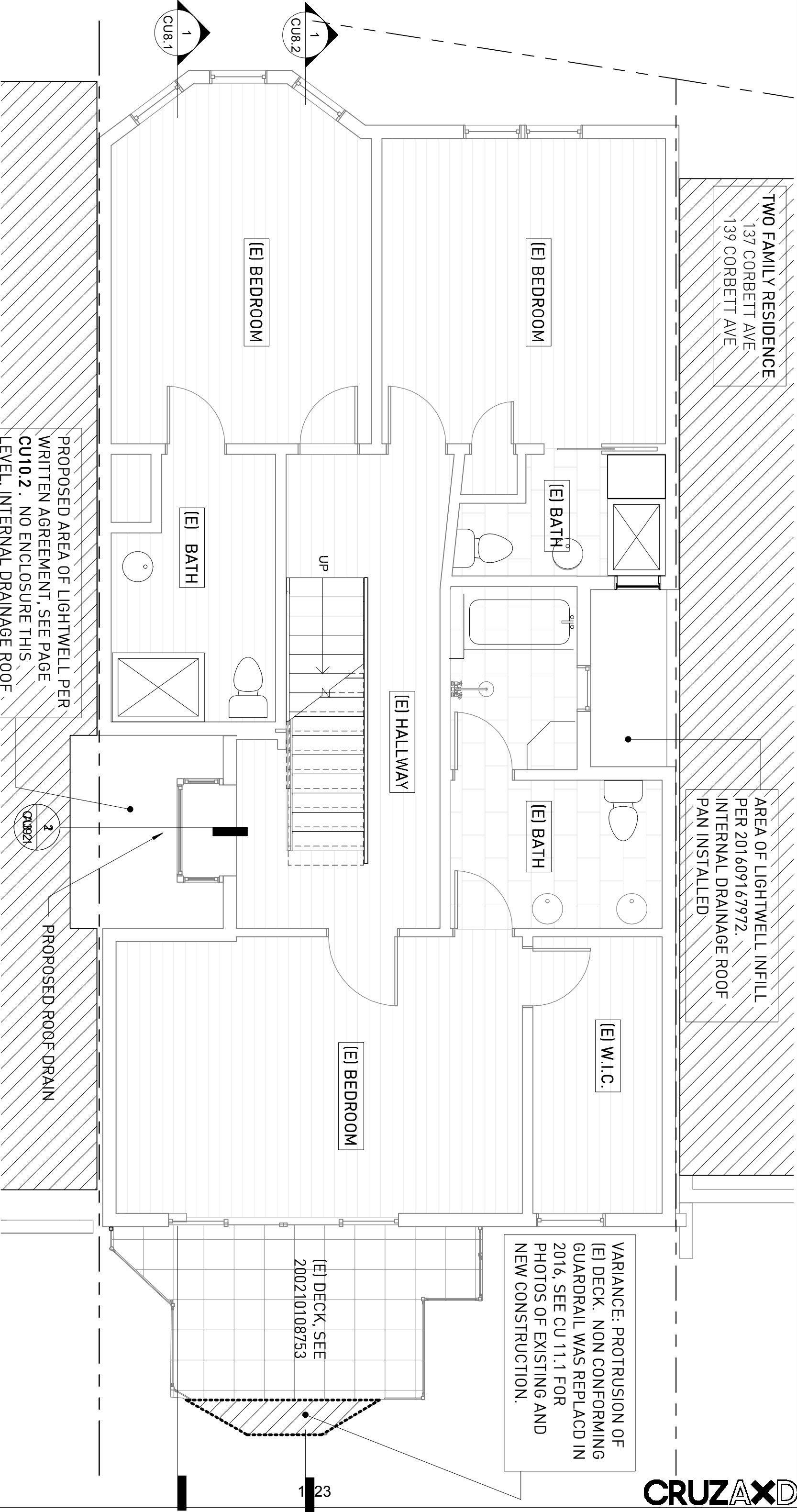
VARIANCE: PROTRUSION OF
(E) DECK. NON CONFORMING
GUARDRAIL WAS REPLACD IN
2016, SEE CU 11.1 FOR
PHOTOS OF EXISTING AND
NEW CONSTRUCTION.

(E) DECK, SEE
200210108753

SINGLE FAMILY RESIDENCE
145 CORBETT AVE

PROPOSED AREA OF LIGHTWELL PER
WRITTEN AGREEMENT, SEE PAGE
CU10.2. NO ENCLOSURE THIS
LEVEL, INTERNAL DRAINAGE ROOF
PAN WITH PARAPET TO BE
INSTALLED

PROPOSED ROOF DRAIN



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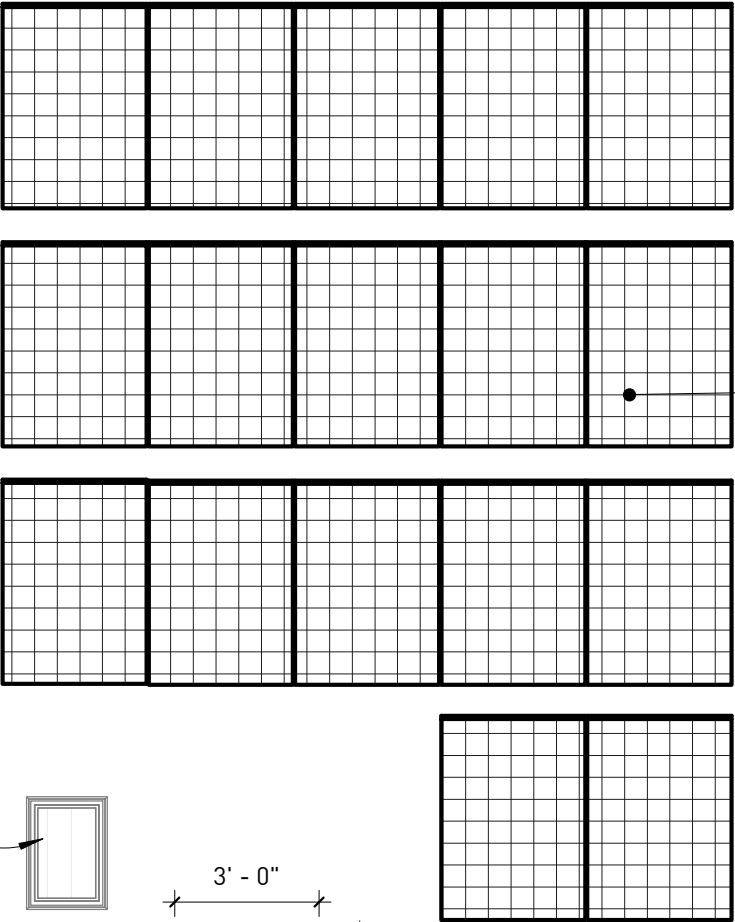
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UPPER LEVEL PLAN

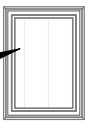
CU2.4

Scale: 1/4" = 1'-0"

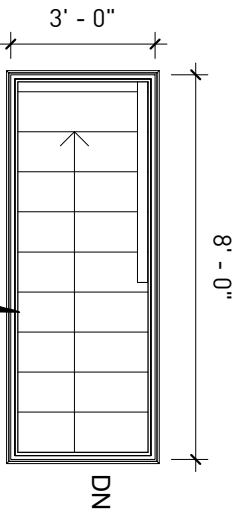
PV ARRAY HAS BEEN DESIGNED AND IS
WAITING TO BE INSTALLED BY *SIMPLY*
SOLAR .



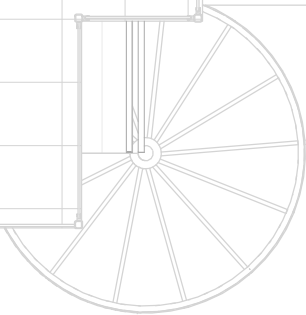
(E) FIXED SKYLITE,
NO CHANGE



(N) RETRACTABLE SKYLITE



(E) DECK



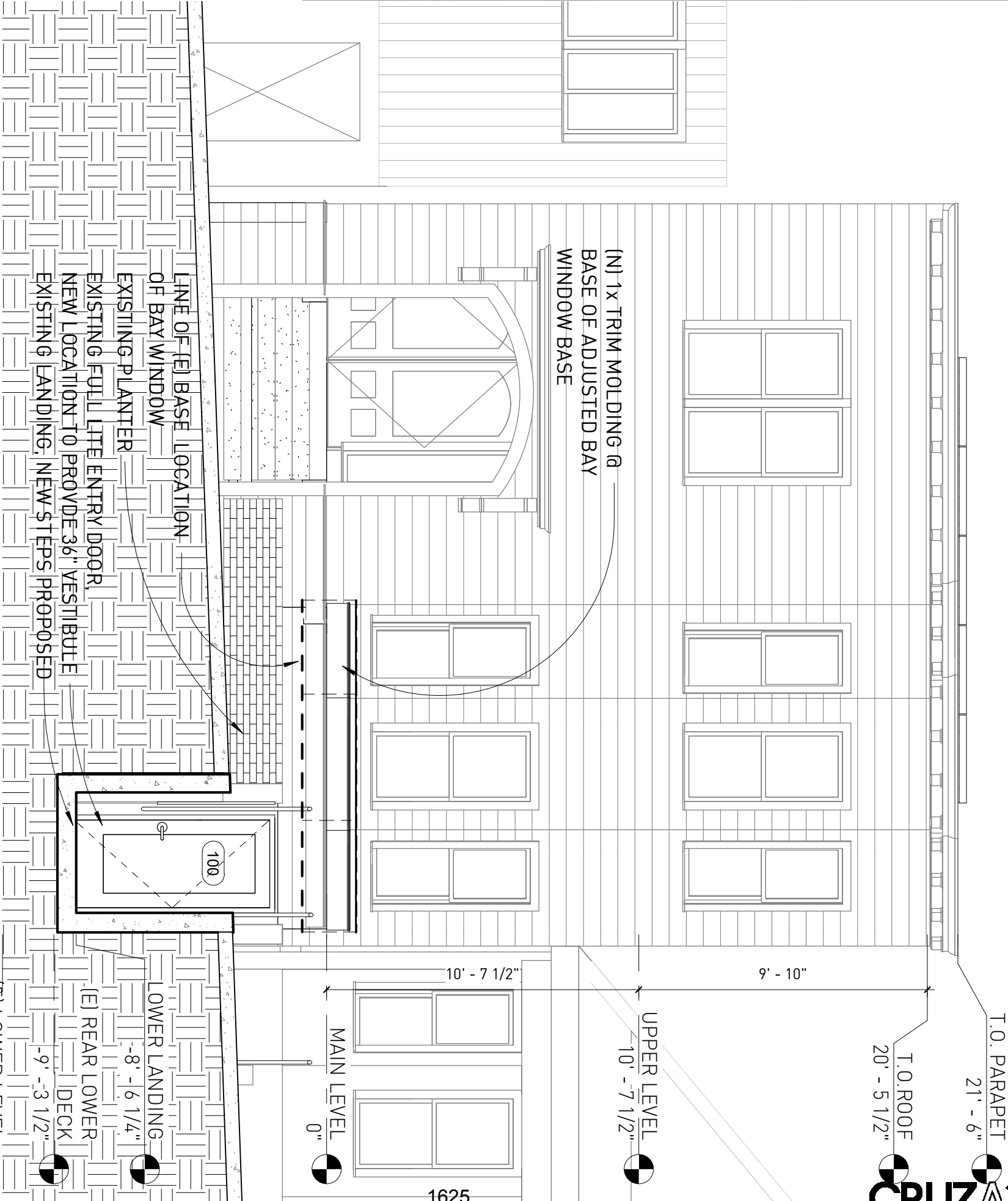
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ROOF PLAN

CU2.5
Scale: 1/4" = 1'-0"



T.O. PARAPET
21' - 6"

T.O. ROOF
20' - 5 1/2"

UPPER LEVEL
10' - 7 1/2"

MAIN LEVEL
0"

LOWER LANDING
-8' - 6 1/4"

REAR LOWER DECK
-9' - 3 1/2"

LOWER LEVEL
-11' - 0 1/2"



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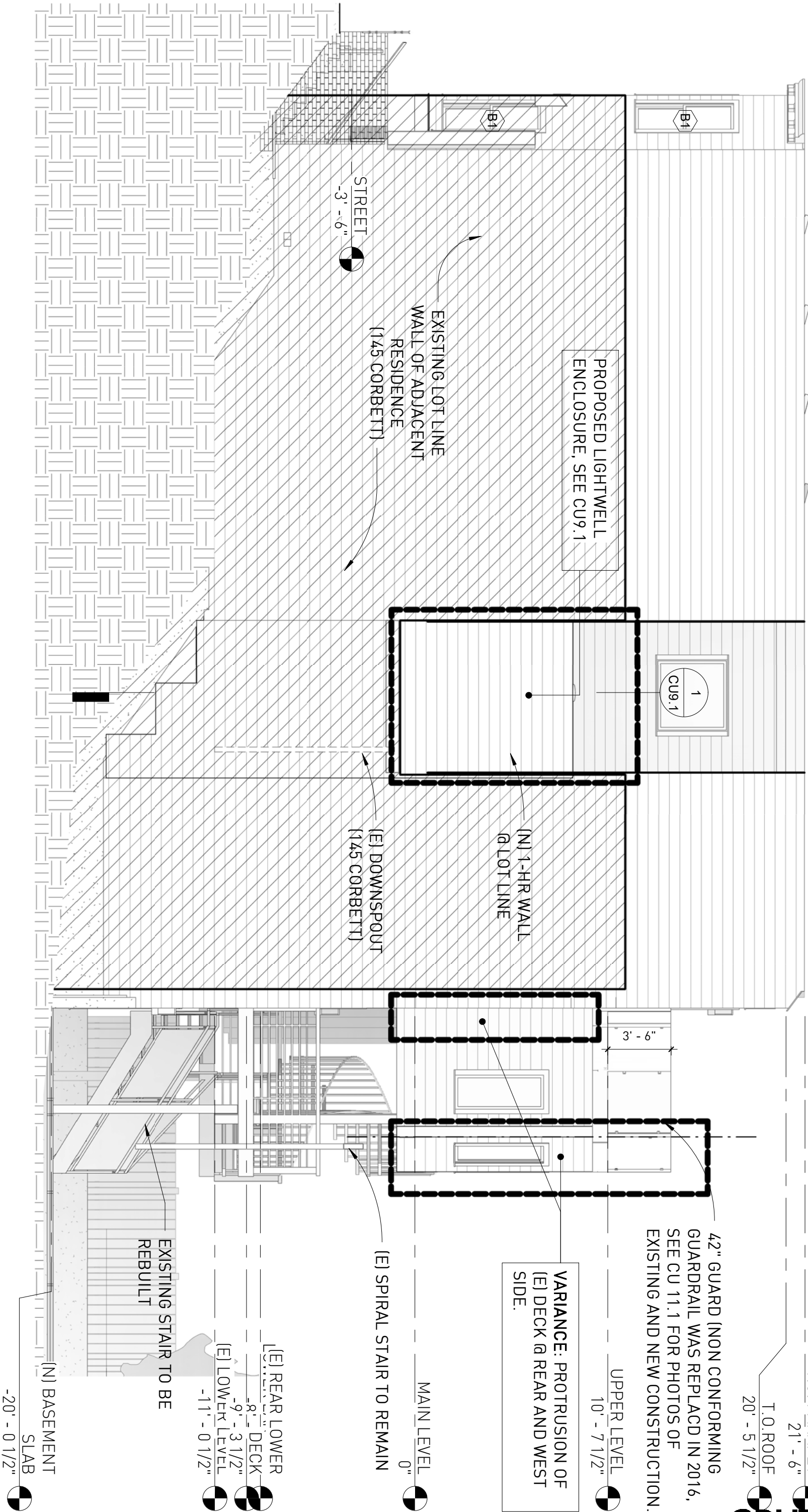
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FRONT ELEVATION

CU3.1

Scale: 1/4" = 1'-0"



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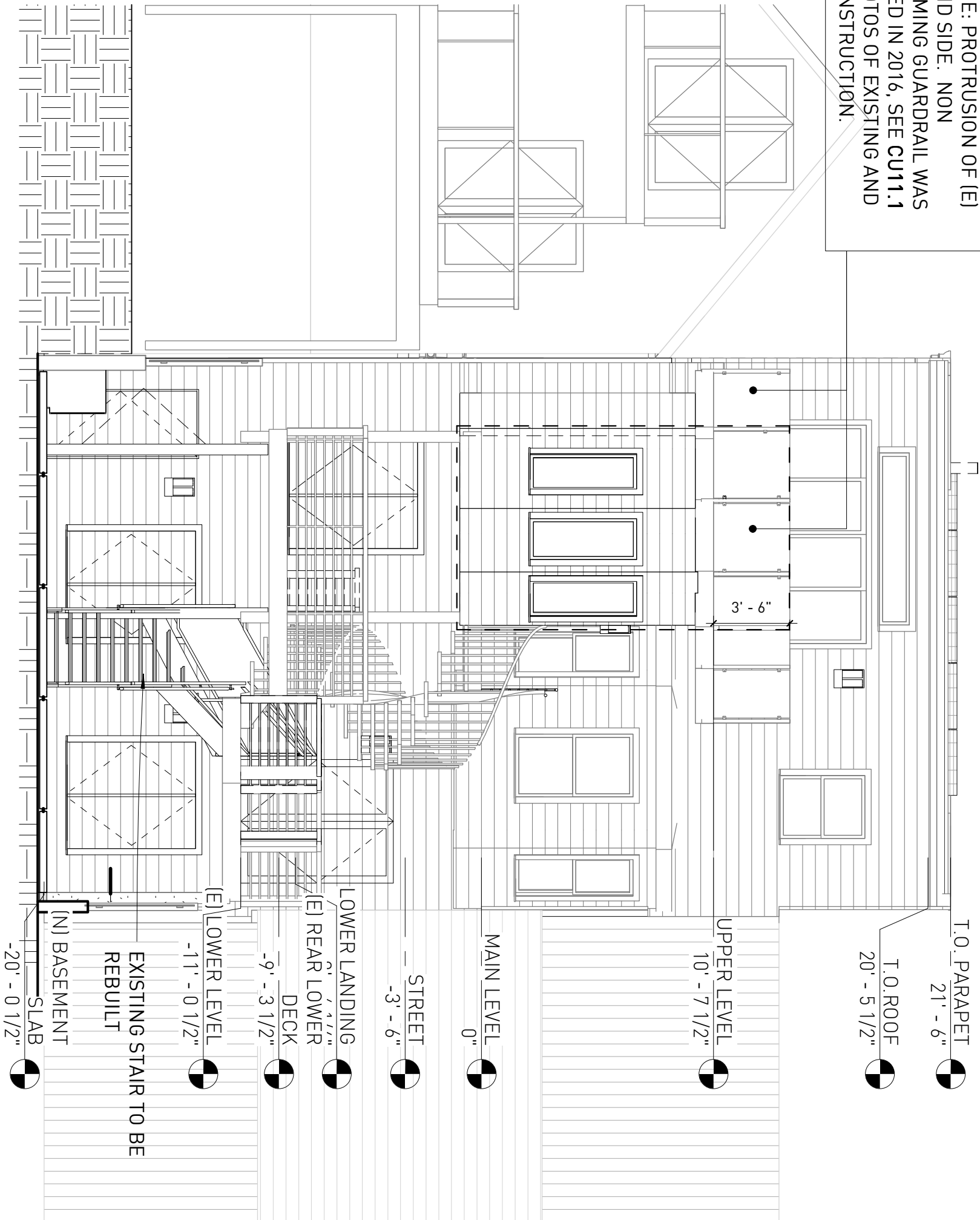
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WEST ELEVATION

CU3.2

Scale: 3/16" = 1'-0"

VARIANCE: PROTRUSION OF (E) DECK AND SIDE. NON CONFORMING GUARDRAIL WAS REPLACED IN 2016, SEE CU11.1 FOR PHOTOS OF EXISTING AND NEW CONSTRUCTION.



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REAR ELEVATION

CU3.3
Scale: 3/16" = 1'-0"

VARIANCE: PROTRUSION OF (E) DECK @ REAR AND WEST SIDE.

(N) 42" GUARD

T.O. PARAPET
21' - 6"
T.O. ROOF
20' - 5 1/2"

CRUZAXD

UPPER LEVEL
10' - 7 1/2"

EXISTING LOT LINE
WALL OF ADJACENT
RESIDENCE
(137 CORBETT AVE
139 CORBETT AVE)

MAIN LEVEL
0"

LOWER LANDING
8' - 6 1/4"

(E) LOWER LEVEL
-11' - 0 1/2"

(N) BASEMENT
SLAB
-20' - 0 1/2"

EXISTING STAIR TO BE
REBUILT

1 EAST ELEVATION Copy 1
3/16" = 1'-0"

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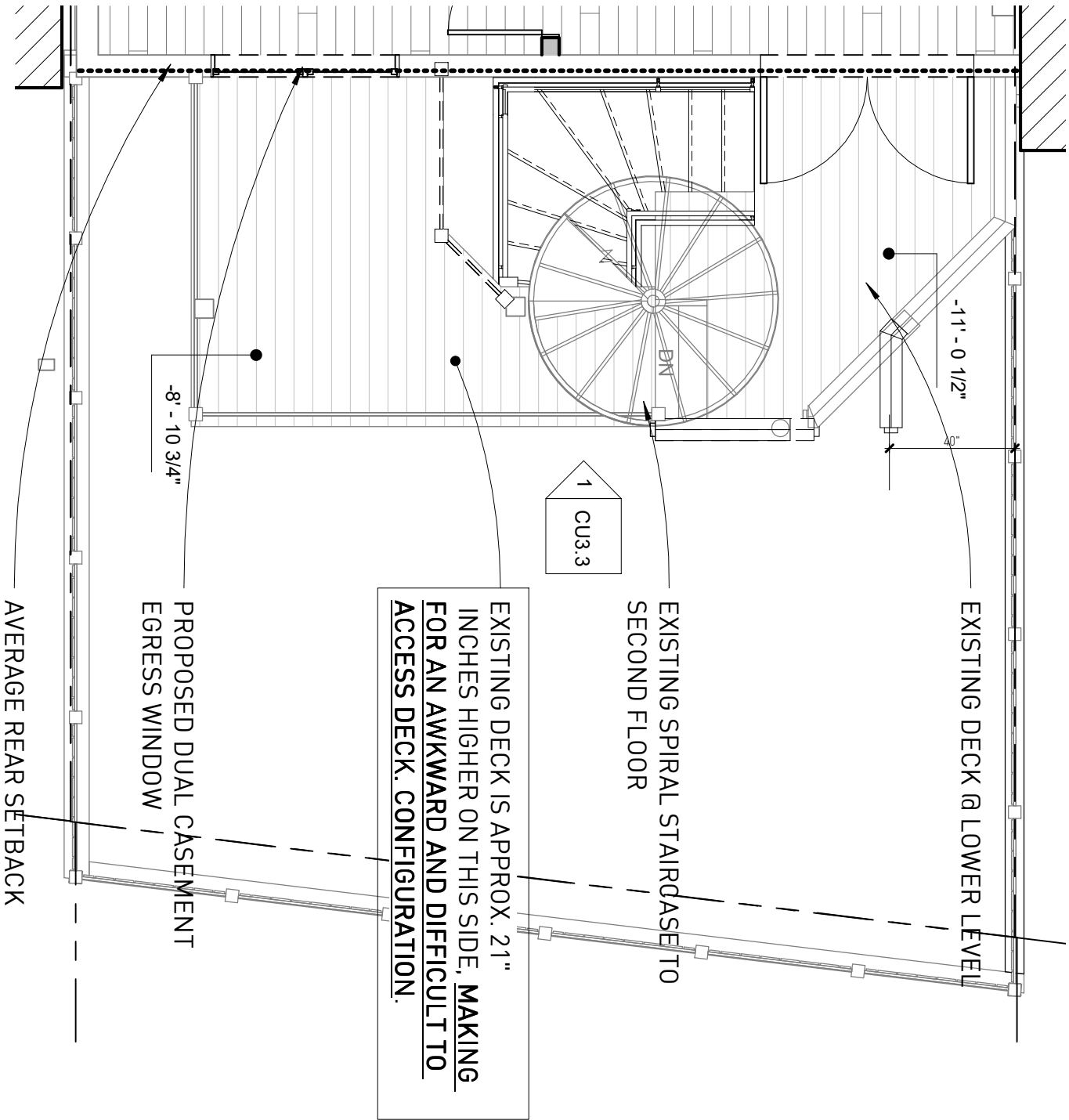
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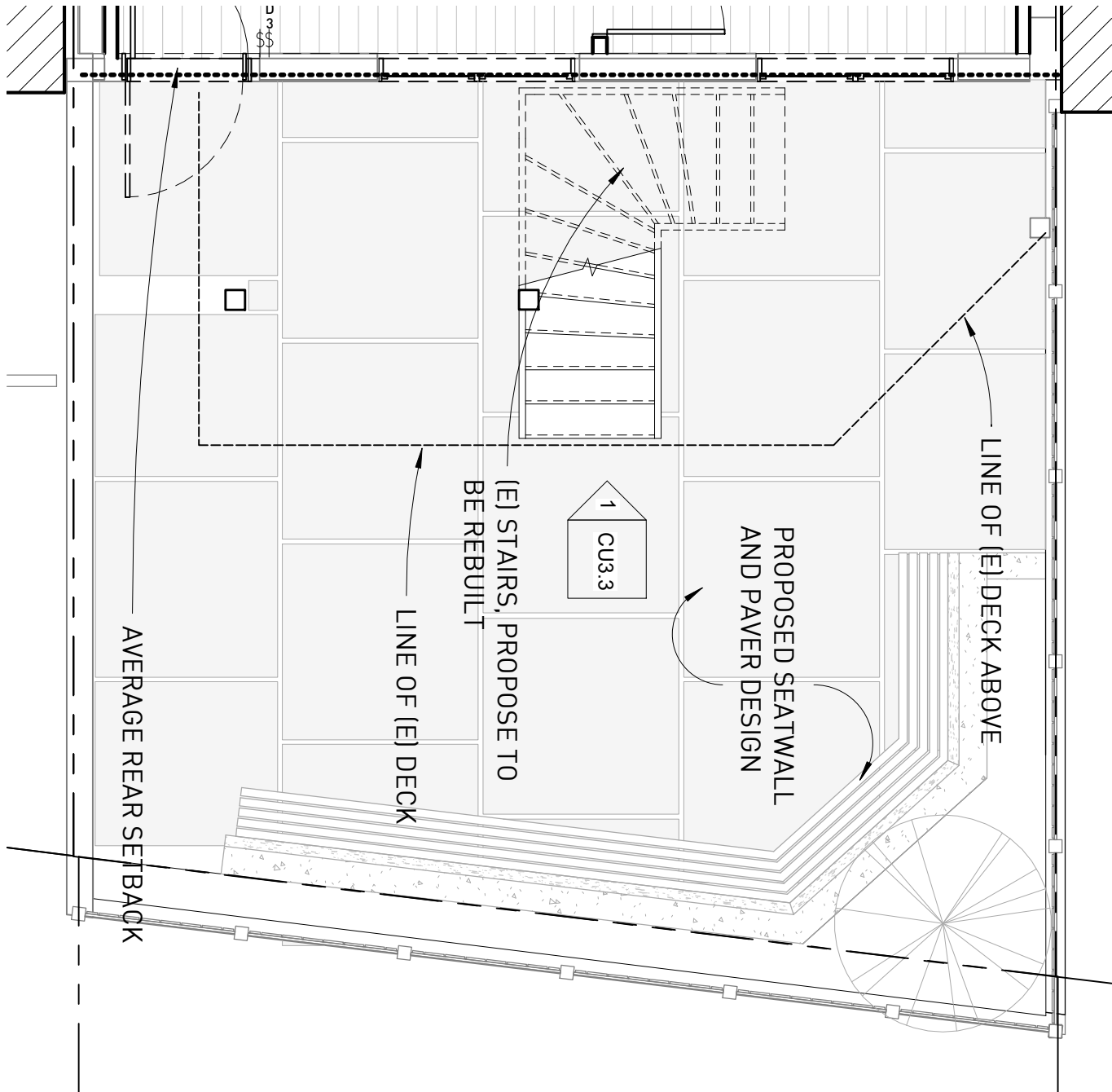
EAST ELEVATION

CU3.4

Scale: 3/16" = 1'-0"



LOWER LEVEL FLOOR PLAN - LOWER DECK
1
1/4" = 1'-0"

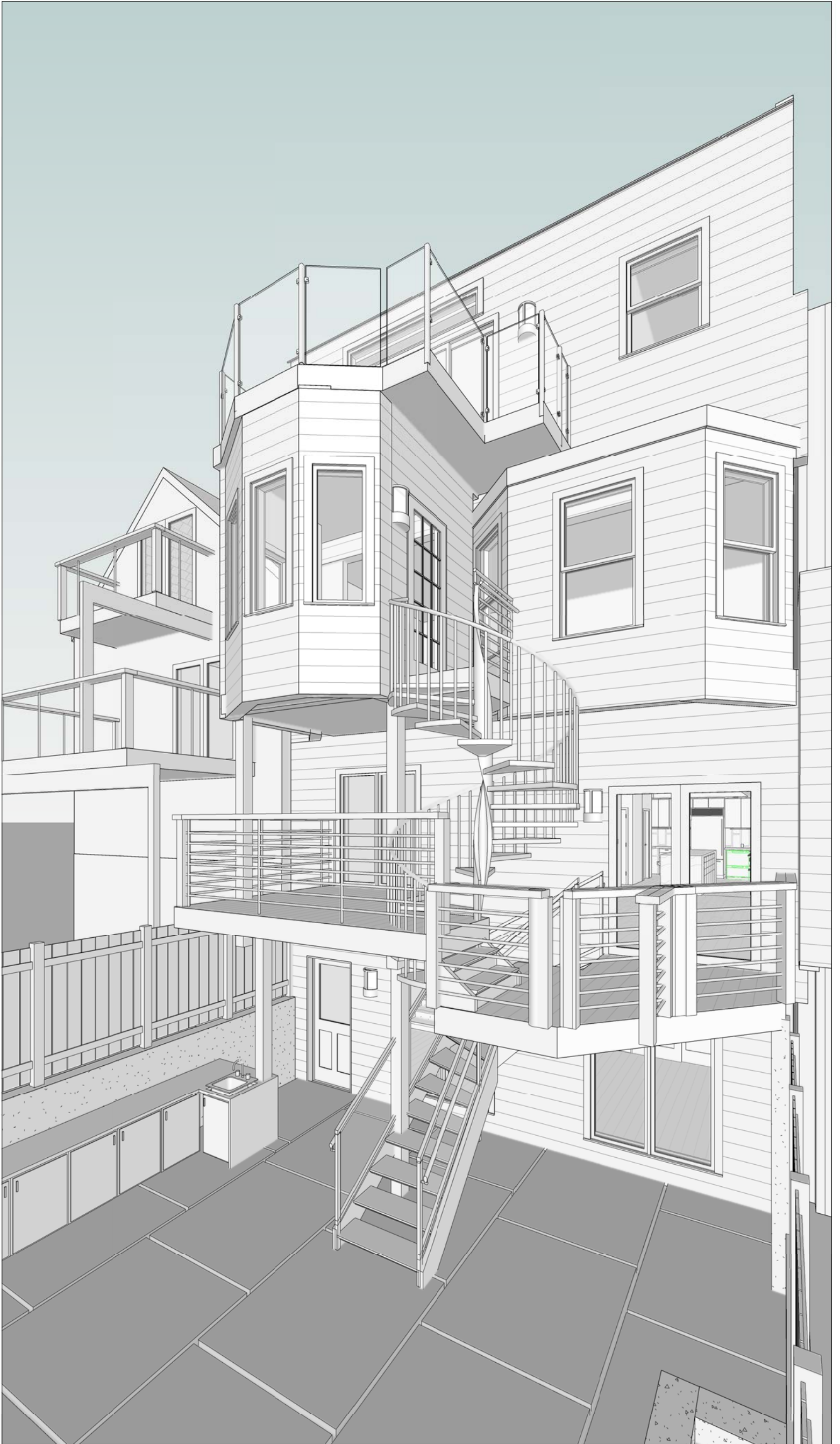


ENLARGED PLAN - GROUND LEVEL @ REAR YARD
2
1/4" = 1'-0"

ENLARGED PLAN - LOWER DECK

CU5.1

Scale: 1/4" = 1'-0"



**3D PERSPECTIVE OF REAR
STAIRS**

CU5.2
Scale:

T.O. PARAPET
T.C21' -6"

20' - 5 1/2"

42" GLASS
GUARDRAIL

(E) BEDROOM

(E) BATH

(E) BEDROOM

NEW ROOFING AND DRAINAGE
PAN ON EXISTING LIGHTWELL

UPPER LEVEL
10' - 7 1/2"

(N) PANTRY

(E) KITCHEN

(E) FLOOR

(E) DEN

(E) STAIRWAY

(N) BEDROOM

MAIN LEVEL
0"

(E) BREAKFAST NOOK, NO
WORK WITHOUT
PLANNING APPROVAL
(E) SPIRAL STAIR

(E) STAIRWAY

(N) BEDROOM

(E) REAR LOWER
DECK

-9' - 3 1/2"
(E) LOWER LEVEL
-11' - 0 1/2"

THIS HATCH SHOWS
WHERE NO WORK TO BE
DONE, UNTIL AFTER SF
PLANNING APPROVAL.

(E) REAR GRADE
(N) BAS - 18' - 4"

-20' - 0 1/2"
SLAB

1 SECTION 1 - OTC
3/16" = 1'-0"

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SECTION

CU8.1

Scale: As indicated

NEW INTERIOR STAIRWELL TO ROOF
(NO PENTHOUSE, NO VERTICAL
EXTERIOR EXPANSION)

T.O. PARAPET
21' - 6"

T.O. ROOF
20' - 5 1/2"

(E) BEDROOM

(E) HALLWAY

(E) BEDROOM

(E) DEN

(E) BREAKFAST
NOOK

(E) RETAINING
FOUNDATION WALL
STORAGE

(E) SLAB SEE 8911550

(N) RETAINING FOUNDATION WALL
SEE 201712085904 &

STORAGE

(N) CORRIDOR

(N) BEDROOM

8'-1"

(E) REAR LOWER
DECK

-9' -3 1/2"

(E) REAR GRADE

(N) BASEMENT

SLAB
-20' -0 1/2"

MAIN LEVEL
0"

UPPER LEVEL
10' - 7 1/2"

3' - 6"

RENOVATION FOR:

RAGHAVAN FAMILY

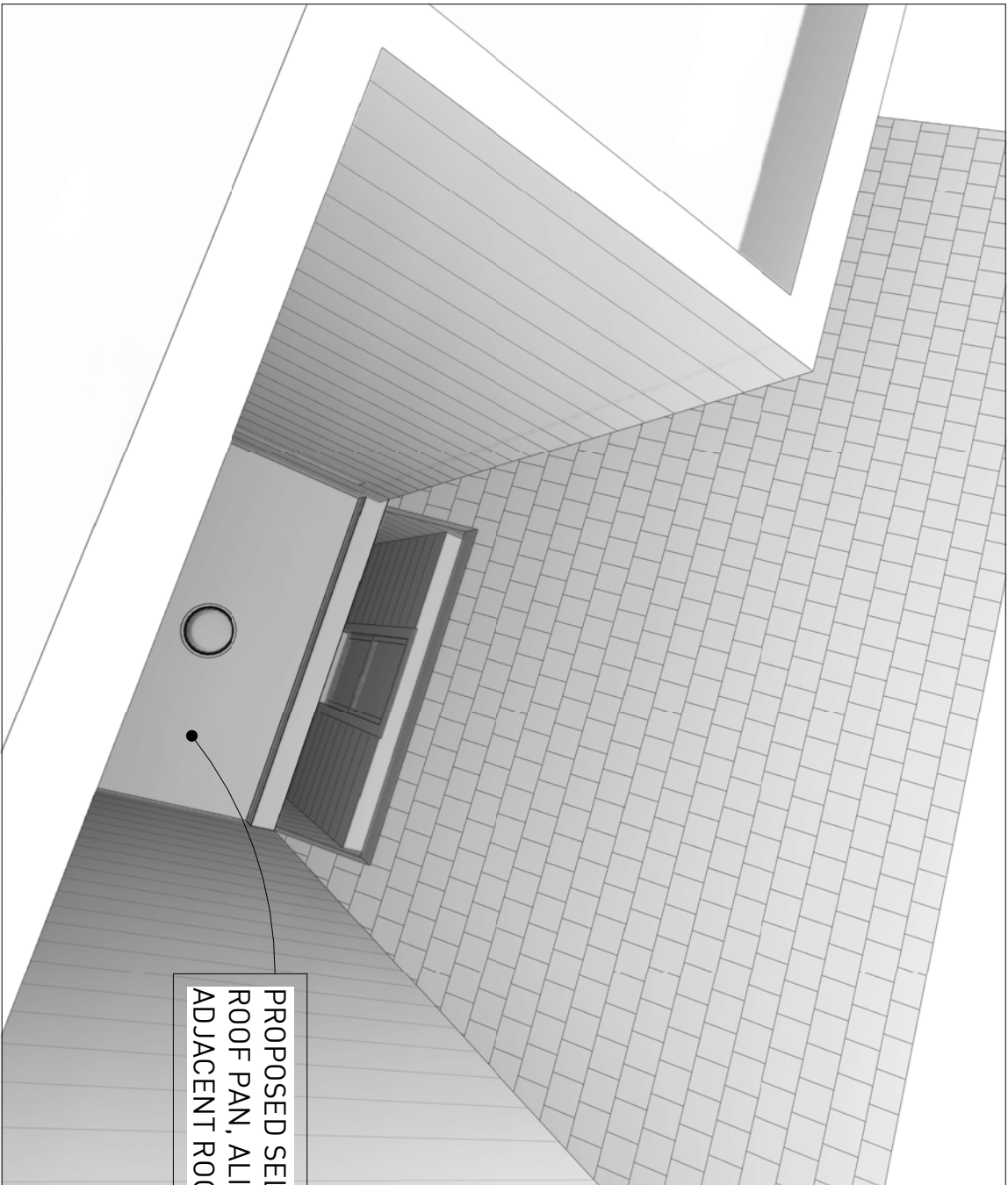
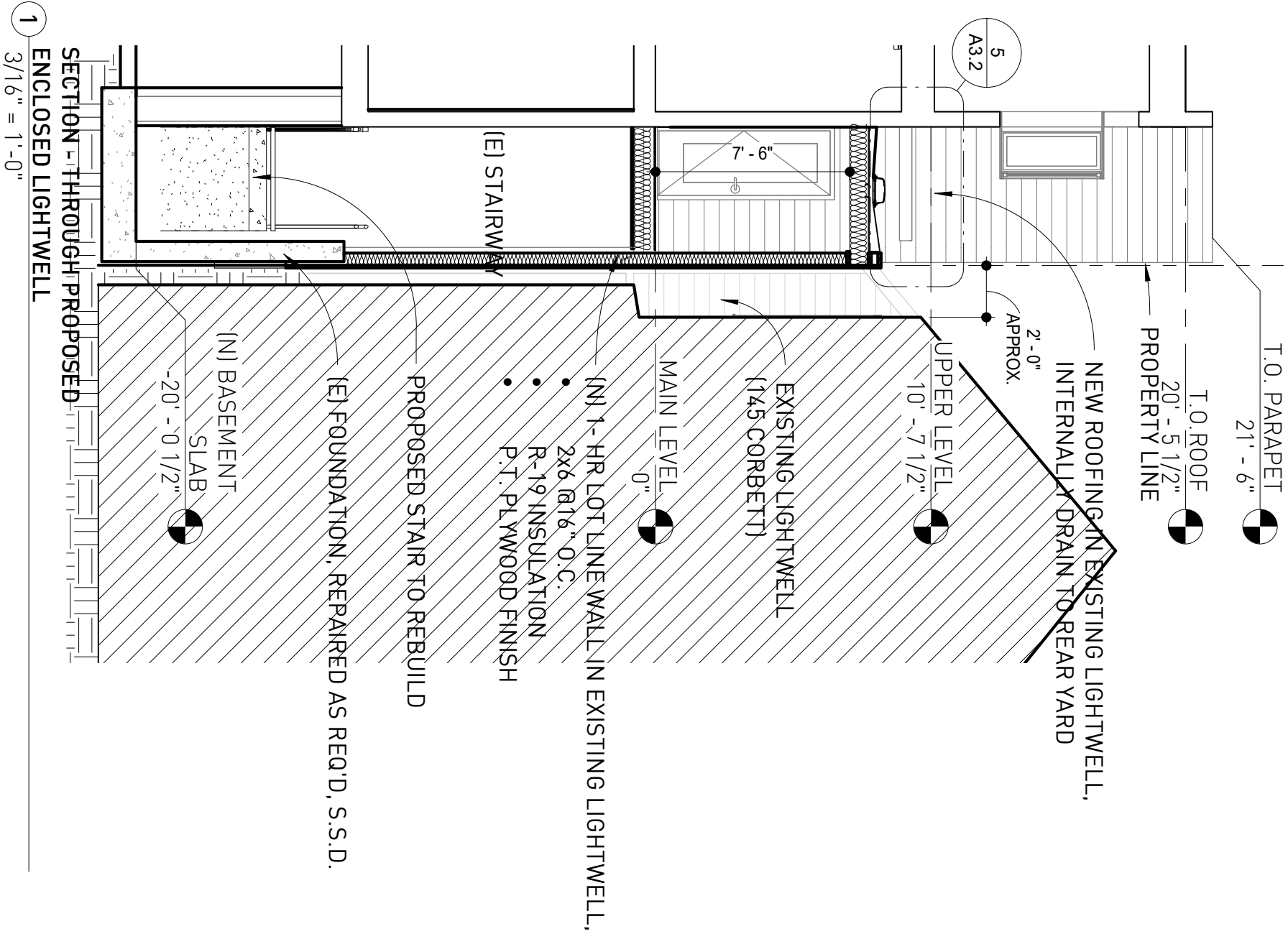
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CRUZ A+D SECTION

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CU8.2

Scale: 3/16" = 1'-0"



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LIGHTWELL ENCLOSURE

CU9.1

Scale: 3/16" = 1'-0"

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California
County of San Francisco
On 1-23-2018 before me, Matth G. Miller, Notary Public
Date Here Insert Name and Title of the Officer
personally appeared Alfred W. Diego N and
Name(s) of Signer(s)
Jennifer H Cremer
who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies) and that by his/her/their signature(s) on the instrument the person(s) or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.

Signature Matth G Miller
Signature of Notary Public

Place Notary Seal Above

OPTIONAL

Though this section is optional, completing this information can deter alteration of the document or fraudulent reattachment of this form to an unintended document.

Description of Attached Document
Title or Type of Document: Lightwell Infill Plans
Document Date: 1-23-18 Number of Pages: 1
Signer(s) Other Than Named Above: _____
Capacity(ies) Claimed by Signer(s)
Signer's Name: _____ Signer's Name: _____
☐ Corporate Officer — Title(s): _____ ☐ Corporate Officer — Title(s): _____
☐ Partner — ☐ Limited ☐ General ☐ Partner — ☐ Limited ☐ General
☒ Individual ☐ Attorney in Fact ☐ Individual ☐ Attorney in Fact
☐ Trustee ☐ Guardian or Conservator ☐ Trustee ☐ Guardian or Conservator
☐ Other: _____ ☐ Other: _____
Signer Is Representing: _____ Signer Is Representing: _____

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California
County of San Francisco
On 1-23-2018 before me, Matth G. Miller, Notary Public
Date Here Insert Name and Title of the Officer
personally appeared Alfred W. Diego N and
Name(s) of Signer(s)
Jennifer H Cremer
who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies) and that by his/her/their signature(s) on the instrument the person(s) or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.

Signature Matth G Miller
Signature of Notary Public

Place Notary Seal Above

OPTIONAL

Though this section is optional, completing this information can deter alteration of the document or fraudulent reattachment of this form to an unintended document.

Description of Attached Document
Title or Type of Document: Lightwell Infill Plans
Document Date: 1-23-18 Number of Pages: 1
Signer(s) Other Than Named Above: _____
Capacity(ies) Claimed by Signer(s)
Signer's Name: _____ Signer's Name: _____
☐ Corporate Officer — Title(s): _____ ☐ Corporate Officer — Title(s): _____
☐ Partner — ☐ Limited ☐ General ☐ Partner — ☐ Limited ☐ General
☒ Individual ☐ Attorney in Fact ☐ Individual ☐ Attorney in Fact
☐ Trustee ☐ Guardian or Conservator ☐ Trustee ☐ Guardian or Conservator
☐ Other: _____ ☐ Other: _____
Signer Is Representing: _____ Signer Is Representing: _____

LIGHTWELL AGREEMENT

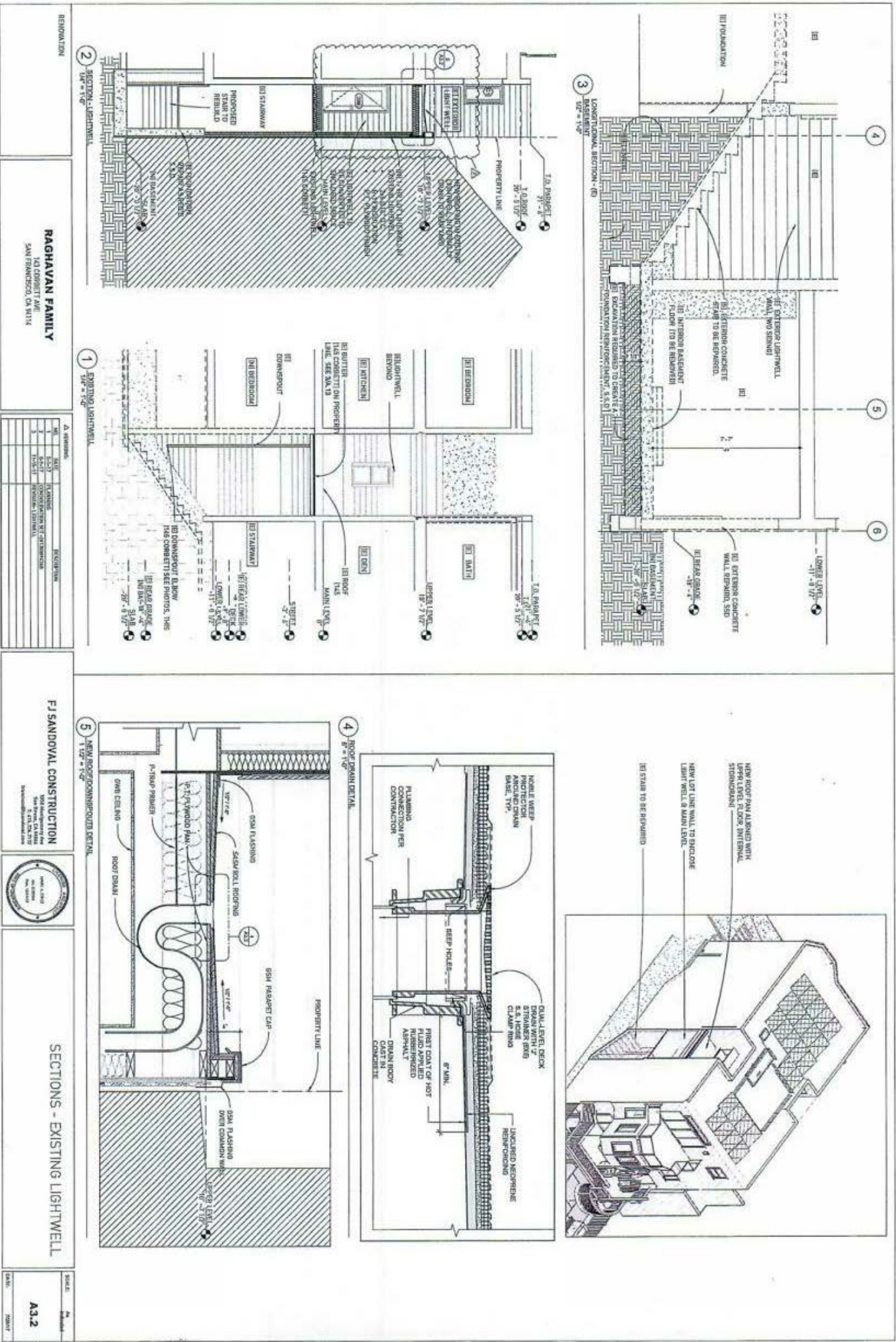
CU9.2

Scale: 1 1/2" = 1'-0"

THIS IS COPY OF THE
LIGHTWELL AGREEMENT
BETWEEN THE OWNER'S OF
143 AND 145 CORBETT.

SCOPE ITEM: ENCLOSE LIGHTWELL

ACCORDING PAGE 6 OF THE BULTEIN 4 AND
THE SF PLANNING CODE 312(B) SECTION
136(c), AS AN EXCEPTION, LIGHTWELLS THAT
ARE NOT VISIBLE FROM ANY OFF SITE
LOCATION DO NOT REQUIRE 311, AND CAN BE
SOUGHT OVER-THE-COUNTER WITH THE
ADJACENT NEIGHBROS WRITTEN APPROVAL.
SEE ATTACHED WRITTEN STATEMENT
CLARIFYING THIS



1-23-2018 Approved by: *Atted in on gss IV*
1-23-2019 Approved by: *SAULE HADJELIM*

LIGHTWELL AGREEMENT

CU9.3

Scale: 3" = 1'-0"

ONE Design

2849 California Street • San Francisco, CA 94115 • 415-828-4412 • info@onedesignsf.com

June 8, 2018

City and County of San Francisco
Department of Building Inspection
1660 Mission Street, 3rd Floor
San Francisco, CA 94103



Re: **Rear Cantilevered Room @ 143 Corbett Avenue**
San Francisco, CA
Job number: 1841

To whom it may concern,

Introduction:

On June 5 2018 we conducted a site visit to examine the rear bay that houses the nook at the rear of the kitchen at 143 Corbett Ave.
It is our understanding from the permit history that this bay was originally built as a rectangular shaped bay and was later amended so the shape was changed to a semi octagonal shape and was extended a further 12" approximately. The legality of this bay protrusion is beyond the scope of our services and our review herein is limited to a sturctural inspection only.

Observations:

1. The roof of the bay forms a roof deck accessible from the rear bedroom. The framing of this deck was in accessible and excluded from the scope of our investigation.
2. The railing at the deck was observed to consist of glazed infill panels supported by stainless steel guardrail posts. It was noted that the guardrail does not extend the code required 42" high above the deck surface. It is our understanding however that the railing has yet to be completed, and will be, by adding a continuous top rail which will increase the rail height to the code prescribed 42". It is unknown if the glazed panels aree tempered and meet the requiremets of chapter 24 of the 2016 CBC. The original installer or a glazing specialist should be retained to confirm this
3. The framing of the floor of the bay under the sunroom was observed from underneath as the soffit was removed and the framing was visible.
4. The 2X12 joists are supported by a wall mounted ledger that is lag screwed into the wall with 3/8" lags staggered at 9" c.c. this connection appears to be adequate for the gravity loads code prescribes. The joists cantilever over a 4X12 beam at the outer edge. This 4x12 beam is non treated and exposed it is supported in turn by 4x6 Pressure Treated (PT) posts with PC framing clips which are continuous to the foundation. This beam should be either replaced with

wood that is PT or naturally preservative to weather. Alternately it can be finished with a waterproof finish to protect it from the elements.

5. The bay subfloor is plywood and it is recommended that horizontal HDU5 holdowns be added at each side to provide lateral bracing to the bay which currently lacks lateral support at the rear.
 6. The soffit is finished with untreated plywood and appears to lack code required venting. We recommend this be finished with a product that is rated for exterior applications and the soffit vented in accordance with code requirements. Waterproofing recommendations are beyond the scope of this report but it is recommended as part of the waterproofing that a drip edge be installed at the outer edge to inhibit the horizontal migration of water along the underside of the soffit.
 7. The lower level deck is balloon framed off the 4x6 posts. It is anticipated that this will be rebuilt in kind as part of the remodel of the lower level unit.
 8. A system of knee braces or some other method of laterally bracing the posts is recommended at the lower level.
 9. The posts at the foundation are supported on 12" diameter piers. They are connected to the piers with cbsq post pbases. The piers and footing for the other post forming the ladngin of the stairs and the post for the spiral stairs have both been undermined by recent excavation that occurred to lower the grade of the rear yard. It is assumed the piers have lost some of their bearing capacity as well as piers usually derive their capacity form skin friction acting at the sides of the piers. It is recommend that new footings be built to support these posts.
- We will be issuing details as to how to implement the repairs we recommend in this report in due course.

Our observations and recommendations are limited to structural elements visible to us on the day of our visit. We make no representation as to elements not visible to us on that day nor do we make any recommendation to issues or items related to waterproofing and finishes.

We are happy to answer any questions you may have pertaining to items we have outlined in this report.

Erevan O'Neill P.E.
Lic. No. C75459

LETTER BY THE ENGINEER

CU10.1

Scale: 6" = 1'-0"



THESE PHOTOS TAKEN MAY 22, 2014, EXTRACTED FROM A VIDEO POSTED BY THE REALTOR AT THE TIME OF THE CLOSING
BY THE REALTORS SHOW A COMPLETED BREAKFAST NOOK
SEE ~ https://www.youtube.com/watch?v=NAMkLso3sIA&feature=em-upload_owner

PHOTOS OF EXISTING

BREAKFAST NOOK

Scale: 6" = 1'-0"



VIEW OF THE TOP FLOOR REAR BALCONY NOTE THE APPROX. 36" HIGH RAILING AND THE DISCO BALLS HANGING FROM THE ILLEGAL REAR ROOF ANWING THAT WAS REMOVED



VIEW OF EXISTING BREAKFAST NOOK



VIEW OF EXISTING BREAKFAST NOOK



VIEW OF EXISTING BREAKFAST NOOK SEE CU10.5 FOR LARGER VEIW OF SIDE TRIANGLE

THESE IMAGES WERE TAKEN FROM THE MLS WEBSITE:
<https://mlax.rapmls.com/Gallery.aspx?mls=SFAR&listingRid=290204>

PHOTOS OF THE BREKAFAST	
NOOK - LMS	CU11.2
Scale: 6" = 1'-0"	



PHOTO OF LIGHTWELL



PHOTO OF AWKWARD SPLIT DECK

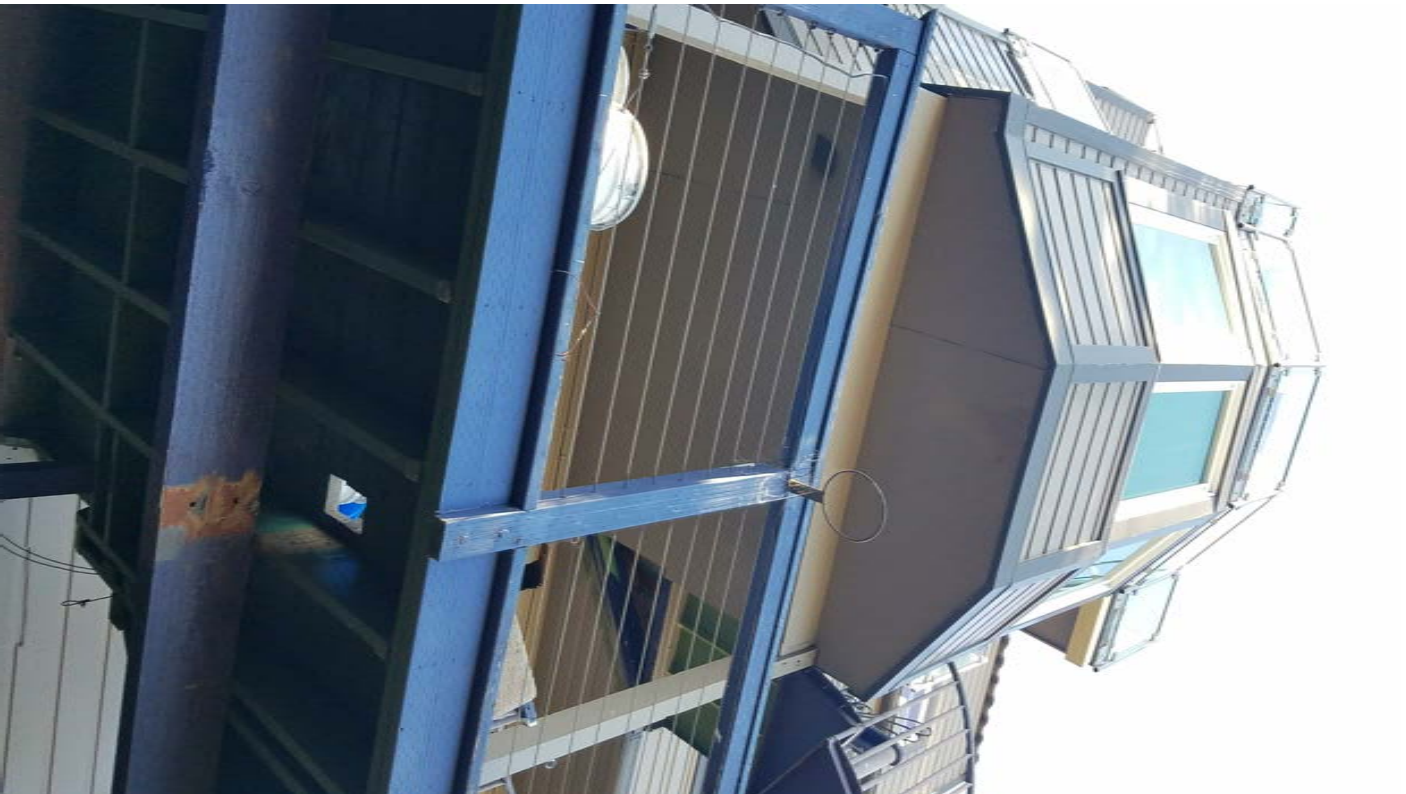


PHOTO OF REAR BREAKFAST NOOK - PROTRUSION



PHOTO OF FRONT STEPS

RENOVATION FOR:

RAGHAVAN FAMILY

143 CORBETT AVE

SAN FRANCISCO, CA 94114

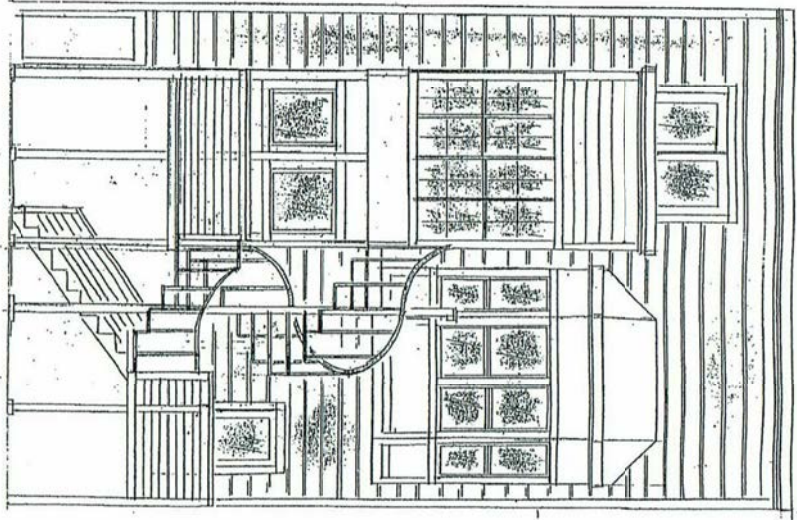
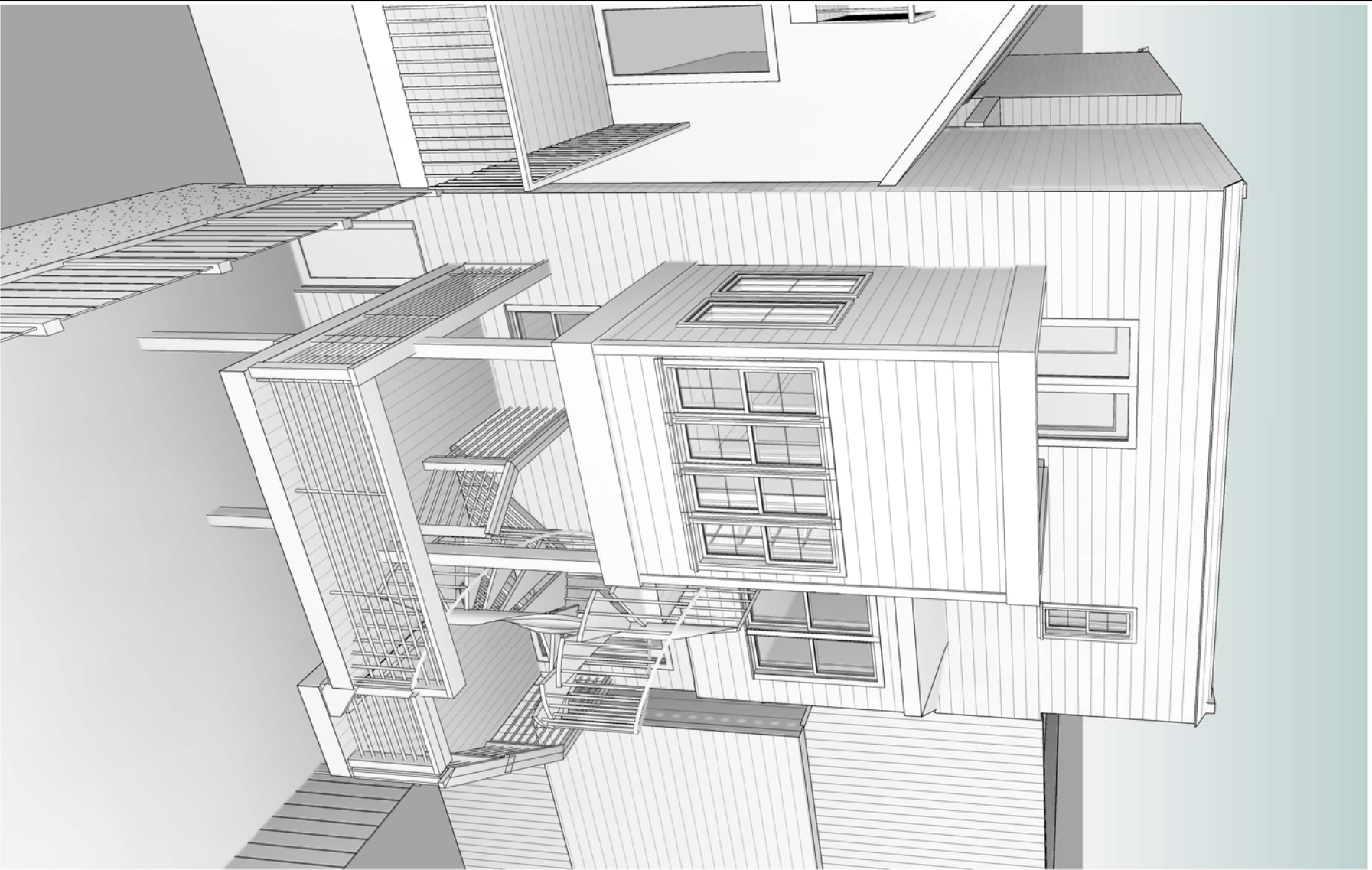
CRUZ A+D

400 PERKINS ST #209
OAKLAND, CA 94610
T: 415.802.7447
MARK@CRUZAD.SPACE

PHOTOS - 143 CORBETT - REAR FACADE

CU11.3

Scale:



REAR ELEV.



1640

THIS SATELLITE PHOTO TAKEN IN 2004, PROVIDED BY SAN FRANCISCO PLANNING DEPARTMENT.

1/2" THREADED RODS w/ WASHER & NUT
EMBEDDED IN FOOTING

APPROVED
DEPARTMENT OF BUILDING INSPECTION
OCT 18 2002
FRANK Y. CHIU, DIRECTOR

THIS SIMULATED REPRESENTATION OF THE 2002 PERMIT WAS CREATED TO ILLUSTRATE THE POSSIBLE FORMATION OF THE BREAKFAST NOOK FOR DISCUSSION PURPOSES AT A PLANNING HEARING. IT IS AN APPROXIMATION AS TO THE APPROVED DESIGN IN 2002. THIS IS NOT INTENDED AS A SCHEMATIC DESIGN FOR A RETROGRADE APPLICATION OF THE HISTORY OF THE BUILDING. THE ARCHITECT YIELDS NO LICENSE OR WARRANTY TO ITS USE. IT IS ONLY A VISUALIZATION.

RENOVATION FOR:

RAGHAVAN FAMILY
143 CORBETT AVE
SAN FRANCISCO, CA 94114

CRUZ A+D
400 PERKINS ST #209
OAKLAND, CA 94610
T: 415.802.7447
MARK@CRUZAD.SPACE

HISTORIC INTERPOLATION

CU11.4
Scale: 3" = 1'-0"

From: [BOS Legislation, \(BOS\)](#)
To: [gary@corbettheights.org](#); [lifeisapizza@gmail.com](#); [mark@cruzad.space](#); [rraghavan57@gmail.com](#); [Ilene Dick - GIVNER, JON \(CAT\)](#); [STACY, KATE \(CAT\)](#); [JENSEN, KRISTEN \(CAT\)](#); [Rahaim, John \(CPC\)](#); [Gibson, Lisa \(CPC\)](#); [Jain, Devyani \(CPC\)](#); [Rodgers, AnMarie \(CPC\)](#); [Navarrete, Joy \(CPC\)](#); [Lynch, Laura \(CPC\)](#); [Sanchez, Scott \(CPC\)](#); [Sider, Dan \(CPC\)](#); [Starr, Aaron \(CPC\)](#); [Ionin, Jonas \(CPC\)](#); [BOS-Supervisors](#); [BOS-Legislative Aides](#); [Calvillo, Angela \(BOS\)](#); [Somera, Alisa \(BOS\)](#); [Horn, Jeffrey \(CPC\)](#); [BOS Legislation, \(BOS\)](#)
Subject: SUPPLEMENTAL APPEAL RESPONSE: Appeal of Conditional Use Authorization - 143 Corbett Avenue - Appeal Hearing on September 4, 2018
Date: Friday, August 24, 2018 4:28:58 PM
Attachments: [image001.png](#)

Good afternoon,

Please find linked below an appeal response brief received by the Office of the Clerk of the Board from Ilene Dick of Farella, Braun, and Martel, LLP, representing the Project Sponsor, regarding the appeal of the Conditional Use Authorization for the proposed project at 143 Corbett Avenue.

[Appeal Response Brief - August 24, 2018](#)

The appeal hearing for this matter is scheduled for a 3:00 p.m. special order before the Board on September 4, 2018.

I invite you to review the entire matter on our [Legislative Research Center](#) by following the link below:

[Board of Supervisors File No. 180787](#)

Best regards,

Jocelyn Wong

San Francisco Board of Supervisors

1 Dr. Carlton B. Goodlett Place, Room 244

San Francisco, CA 94102

T: 415.554.7702 | F: 415.554.5163

jocelyn.wong@sfgov.org | www.sfbos.org



Click [here](#) to complete a Board of Supervisors Customer Service Satisfaction form

The [Legislative Research Center](#) provides 24-hour access to Board of Supervisors legislation, and archived matters since August 1998.

Disclosures: Personal information that is provided in communications to the Board of Supervisors is subject to disclosure under the California Public Records Act and the San Francisco Sunshine Ordinance. Personal information provided will not be redacted. Members of the public are not required to provide personal identifying information when they communicate with the Board of Supervisors and its committees. All written or oral communications that members of the public submit to the Clerk's Office regarding pending legislation or hearings will be made available to all members of the public for inspection and copying. The Clerk's Office does not redact any information from these submissions. This means that personal information—including names, phone numbers, addresses and similar information that a member of the public elects to submit to the Board and its committees—may appear on the Board of Supervisors' website or in other public documents that members of the public may inspect or copy.



August 24, 2018

Malia Cohen, President
San Francisco Board of Supervisors
1 Dr. Carlton B. Goodlett Place
Room 244
San Francisco, CA. 94102

Re: Appeal of Conditional Use Authorization for 143 Corbett Street
Hearing Date: September 4, 2018

Dear President Cohen and Members of the Board:

We represent the Raghavan family, the owners of the above referenced property at 143 Corbett Avenue. The conditional use authorization before you was required under the Corona Heights Large Residential Special Use District ("CHSUD"), enabling the Raghavans to undertake planned exterior renovations on the rear elevation of their single-family home and to add a new dwelling unit to that building.¹ In order to permit and complete the scope of work described below, Planning Code Section 249.77(d)(4)² required the Raghavans to obtain a conditional use authorization from the Planning Commission.³ The appeal before you was filed on July 31, 2018 by the Corbett Height Neighbors ("CHN").

For the reasons stated below, we request that the Board deny the appeal. None of the work authorized by the conditional use approval will result in any life safety concerns to adjacent neighbors or in the loss of light, air and privacy born by any neighbors individually or collectively. The Planning and Building Departments are both involved in monitoring the permit activity for this project and are working closely with the Raghavans and their design professionals. The conditional use authorization also resulted in the construction of a new 1,800 square foot, 2-bedroom unit in the existing single-family home.

¹ See Exhibit A. The CHSUD became effective on August 21, 2017. The Raghavans bought the single family home in 2014.

² All references herein are to the San Francisco Planning Code.

³ Planning Code Section 249.77(d)(4) states that:

Conditional use authorizations: For all parcels zoned RH-1, RH-2 or RH-3 within the SUD, the following shall require Conditional use authorization. The only standard under the CHSUD that applied to the Raghavans' project was

"Residential Development, either as an addition to an existing building or as a new building that results in less than 45% rear yard depth."

RECEIVED
BOARD OF SUPERVISORS
SAN FRANCISCO
2018 AUG 24 AM 11:50
BY [signature]

PROJECT DESCRIPTION

Pursuant to Section 249.77(d)(4), the Raghavans sought a conditional use authorization to legalize alterations and horizontal additions at their rear protruding nook only and protruding trapezoidal “Bay” geometry, which is less than the averaged 45% rear yard. The conditional use authorization was also sought for the construction of horizontal additions such as a spiral staircase and a deck infill at the basement level within the averaged 45% rear yard.

The project site is on top of a “bowl-shaped” ridge northwest of the Castro neighborhood with numerous two- to four-story buildings, many of which are multi-family. Many of those buildings have rear protruding elements on them – some of which are enclosed, others of which are open for light and air and many of which have non-complying rear yards.⁴ Not all of those buildings have obtained the requisite approvals from the City to have those horizontal or vertical elements on the rear elevation.

Based on the conditional use authorization granted, the project will comply with the applicable CHSUD provisions and will further Citywide housing policies by adding an approximately 1,800 square foot independent, 2-bedroom unit at grade and the existing two-lower levels within the existing single-family home. The project requires the conditional use authorization under the CHSUD because it proposes to legalize and expand select horizontal elements of the rear of the building into the required averaged rear yard.

BASED ON THE CRITERIA UNDER PLANNING CODE SECTION 294.77(d)(4), THE PLANNING COMMISSION PROPERLY GRANTED THE CONDITIONAL USE AUTHORIZATION ON APPEAL.

The request for conditional use authorization was heard by five of the seven Planning Commissioners on June 21, 2018. Those five (5) Commissioners unanimously authorized the conditional use authorization sought under the CHSUD because the scope of work reflected its purpose to legalize a 1’10” protrusion and to allow the expansion of the building 1’10” past the averaged 45% rear yard for a new unit. Read as a whole, the intent of requiring conditional use authorization within the CHSUD was primarily to limit any new or expanded McMansions⁵. However, that is not the case here. There is no proposed expansion of the building envelope for livable area under the granted conditional use. Section 249.77(d)(4), which is the basis of the conditional use authorization required here, encouraged new residential development within an existing building, as is proposed here.

⁴ See Exhibit B. See drone photo exhibits showing the rear of the block surrounding the mid-block open space.

⁵ See Sections 249.77(d)(1)-(3).

The existing unit in the approximately 2,300 square-foot single family home has 3-bedrooms and is currently occupied by the Raghavans' son and his wife. As part of their conditional use application, the Raghavans' elected to incorporate a new unit at grade and the existing lower two levels in the single-family home. The new unit will be rented out in the future.

As stated above, the only standard in the CHSUD that required this project to obtain conditional use authorization was related to "residential development, either as an addition to an existing building or as a new building that results in less than a 45% rear yard depth." The project complied with this standard as follows:

1. The site's RH-2 zoning allows the new at grade and lower level unit. The unit was added to the existing two lower levels of the single-family home by the Raghavans. The excavation that has been noted by some of the appellants in their testimony at the Planning Commission was done in part to accommodate the new unit. This "residential development" thus resulted in a new 1,800 square foot 2-bedroom unit in an existing building in a transit-rich residential neighborhood. No other Planning approvals are required for this new unit.

2. Because the residential development within this project was at and below the existing grade, it did not significantly affect rear yard depth nor did it affect the rear yard building elements. No expansion of the building was planned at the ground floor. Lot coverage at grade is compliant and will remain compliant. Rather, the other modifications sought for the rear elevations complemented the desirable qualities of the second unit. Its off-street location provides its occupants with ample light and air, and privacy as well as direct access to the rear yard. Construction of the new unit increased housing density and supply on the project site, which could result in increased affordability of the unit in this predominantly residential neighborhood.

For the reasons set forth above and in Planning Commission Motion No. 20220, dated June 21, 2018, we respectfully request that the Board uphold the conditional use authorization that were unanimously approved by the Planning Commission.

"SERIAL PERMITTING" IS NOT A BASIS IN THE PLANNING OR BUILDING CODES FOR DENYING A CONDITIONAL USE AUTHORIZATION.

There has been significant discussion by CHN and other neighbors that "serial permitting" allegedly done at the Raghavans' home should factor into the Board's decision on this appeal. However, there is no "textbook" definition of serial permitting. Its use is situational because the nearly century old building had significant dry rot and electrical hazards. There was no benefit to the Raghavans to have this many applications.

Even though only a very few of CHN's members or the project's immediate neighbors participated in the June 21, 2018 Planning Commission hearing, the only insight we have

regarding CHN's objection to this project is its July 31, 2018 summary that the project was conducted over the years entirely upon "serial permitting" grounds.⁶ CHN's opposition to the project appears limited to only that criteria.

This position is contrary to the intent of the CHSUD which was, among others, to encourage additional housing on an RH-2 site. New housing is a critical feature of this project, which furthers the CHSUD's goals as well as the goals of the General Plan with regard to housing policy.

"Serial permitting" is not an express standard or criteria under the CHSUD, or any other City ordinance or administrative procedure, in determining whether a conditional use authorization should be granted. In fact, the CHSUD provision that applies to this project encourages the construction of housing in or as an addition to an existing building, such as here, "that results in less than 45% rear yard depth." Doing so maximizes the housing density and furthers the intent of the CHSUD. Had CHN actually been concerned about the work being done on the rear of the Raghavans' property, like the 145 Corbett neighbors, they too, would have made complaints to the Department of Building Inspection and the Planning Department. Yet, none were made, which could have opened fruitful and positive discussions between the parties.⁷

Lastly, because the neighbor relations concerning this project have overall been highly contentious, what could have facilitated an understanding of the issues never got any footing. Rather than attempt to understand what the Raghavans' work entailed by visiting them and inquiring about the scope of work prior to the Planning Commission hearing, no member of CHN or its President, Gary Weiss, spoke at the June 21, 2018 Planning Commission hearing. Thus, there was no communication between CHN and the Raghavans prior to the filing of the appeal, even though they had met after the Commission hearing.⁸

Moreover, CHN was notified of the proposed project elements as part of the pre-application meeting conducted by the project architect, Mr. Cruz, and the Raghavans at their home on August 29, 2017. Yet, as the primary neighborhood organization, no one from CHN attended the pre-application meeting nor did they communicate with the Raghavans or their representatives after that meeting and prior to the Planning Commission hearing to see if they could support the project or add positive comments that they would like to be included in the project improvements. Rather than attempt to work together or even file complaints that could be the basis for discussion, Mr. Weiss elected to appeal building features, many of which had

⁶ See Exhibit C for CHN postings regarding the Raghavans' alleged serial permitting.

⁷ See Exhibit D for the 2002 permit and drawings for permitted work done by the Raghavans' predecessor at the rear elevations of the their house.

⁸ See Exhibit E for the letters of support from other neighborhood owners and residents, former tenants of the Raghavans and other tenants in the immediate neighborhood who welcome the Raghavans' addition of a new unit.

been in existence for the last 15 years and some longer, and blame it on the Raghavans, who have owned the building for only 4 years.

CONCLUSION

The Planning Commission correctly granted the conditional use authorization for the Raghavan property under the CHSUD. The facts clearly support the determination. Each of those actions are encouraged by and consistent with the CHSUD and long-term City policy. The incorporation of the new unit into the existing single-family home increases housing density at the site. It is also likely to result in increased affordability.

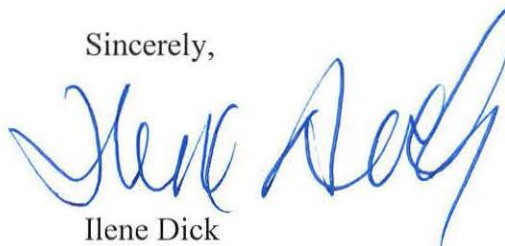
It is incorrect to state that most of the approvals sought by the Raghavans under the CHSUD were the product of serial permitting. In fact, the work that some will attribute to “serial permitting” halted in the fall of 2016. On October 24, 2016, DBI issued Notice of Violation (“NOV”) No. 201631352 to the Raghavans. The scope of that NOV was to:

Consolidate all work performed @ interior and exterior. Add dwelling unit. Legalized Revised (E) deck @ Upper level. (N) Roof Deck & Guardrail. Legalize Bump Out @ Rear Breakfast Nook. Variance: Breakfast Nook Bump Out, Spiral Stair at Grade in Rear Yard.

This scope of work mirrors the modifications that the Raghavans and Mr. Cruz were planning to do in conformance with the CHSUD.⁹ This shows that the Raghavans were in good faith seeking to legalize horizontal elements on their rear building wall. At Building Insp. Joe Duffy’s request, on August 9, 2017, Mr. Cruz prepared and filed a permit application with DBI that included consolidated permit drawings showing existing and proposed changes to the building envelope and legalizing pre-existing conditions. The permit application has yet to be reviewed by either DBI or Planning Commission.

Based on the above and the attachments to this letter, we request that the Board uphold the Planning Commission’s unanimous decision regarding the conditional use authorization adopted at the June 21, 2018 hearing.

Sincerely,



Ilene Dick

⁹ See Exhibit F for the NOV documentation and the Permit Matrix prepared by Mr. Cruz, the project architect.

Malia Cohen, President
San Francisco Board of Supervisors
August 24, 2018
Page 6



ID:ds

Attachments

EXHIBIT A

[Planning Code, Zoning Map - Corona Heights Large Residence Special Use District]

Ordinance amending the Planning Code and Sectional Maps SU06 and SU07 of the Zoning Map to create the Corona Heights Large Residence Special Use District (the area within a perimeter established by Market Street, Clayton Street, Ashbury Street, Clifford Terrace, Roosevelt Way, Museum Way, the eastern property line of Assessor's Parcel Block No. 2620, Lot No. 063, the eastern property line of Assessor's Parcel Block No. 2619, Lot No. 001A, and Douglass Street; and in addition, all additional parcels fronting States Street), to promote and enhance neighborhood character and affordability by requiring Conditional Use authorization for large residential developments in the district; affirming the Planning Department's determination under the California Environmental Quality Act; making findings of consistency with the General Plan, and the eight priority policies of Planning Code, Section 101.1; and adopting findings of public necessity, convenience, and welfare under Planning Code, Section 302.

NOTE: **Unchanged Code text and uncodified text** are in plain Arial font.
Additions to Codes are in single-underline italics Times New Roman font.
Deletions to Codes are in ~~strikethrough italics Times New Roman font~~.
Board amendment additions are in double-underlined Arial font.
Board amendment deletions are in ~~strikethrough Arial font~~.
Asterisks (* * * *) indicate the omission of unchanged Code subsections or parts of tables.

Be it ordained by the People of the City and County of San Francisco:

Section 1. Findings.

(a) The Planning Department has determined that the actions contemplated in this ordinance comply with the California Environmental Quality Act (California Public Resources Code Sections 21000 et seq.). Said determination is on file with the Clerk of the Board of

Supervisors in File No. 170296 and is incorporated herein by reference. The Board affirms this determination.

(b) On June 22, 2017, the Planning Commission, in Resolution No. 19950, adopted findings that the actions contemplated in this ordinance are consistent, on balance, with the City's General Plan and eight priority policies of Planning Code Section 101.1. The Board adopts these findings as its own. A copy of said Resolution is on file with the Clerk of the Board of Supervisors in File No. 170296, and is incorporated herein by reference.

(c) On June 22, 2017, the Planning Commission, in Resolution No. 19950, approved this legislation, recommended it for adoption by the Board of Supervisors, and adopted findings that it will serve the public necessity, convenience, and welfare. Pursuant to Planning Code Section 302, the Board adopts these findings as its own. A copy of said Resolution is on file with the Clerk of the Board of Supervisors in File No. 170296, and is incorporated by reference herein.

Section 2. The Planning Code is hereby amended by adding Section 249.77, to read as follows:

SEC 249.77. CORONA HEIGHTS LARGE RESIDENCE SPECIAL USE DISTRICT.

(a) **General.** A special use district entitled the "Corona Heights Large Residence Special Use District," consisting of the area within a perimeter established by Market Street, Clayton Street, Ashbury Street, Clifford Terrace, Roosevelt Way, Museum Way, the eastern property line of parcel 2620/063, the eastern property line of parcel 2619/001A, and Douglass Street; and in addition, all additional parcels fronting States Street, which includes RH-1, RH-2, and RH-3 Use Districts, is hereby established for the purposes set forth below. The boundaries of the Corona Heights Large Residence Special Use District are designated on Sectional Maps No. SU06 and No. SU07 of the Zoning Map of the City and County of San Francisco.

1 **(b) Purpose.** *To protect and enhance existing neighborhood character, encourage new*
2 *infill housing at compatible densities and scale, and provide for thorough assessment of proposed*
3 *large-scale residences that could adversely impact the area and affordable housing opportunities, the*
4 *following controls in subsections (c)-(f) are imposed in the Corona Heights Large Residence Special*
5 *Use District.*

6 **(c) Controls.** *All applicable provisions of the Planning Code shall continue to apply in the*
7 *Corona Heights Large Residence Special Use District, except as otherwise provided in this Section*
8 *249.77.*

9 **(d) Conditional Use Authorizations.** *For all parcels zoned RH-1, RH-2, or RH-3 within the*
10 *Corona Heights Large Residence Special Use District, the following developments shall require a*
11 *Conditional Use authorization:*

12 **(1) Development of Vacant Property.** *Residential development on a vacant parcel*
13 *that will result in total gross floor area exceeding 3,000 square feet;*

14 **(2) Expansion of Large Existing Development.** *Residential development on a*
15 *developed parcel that will result in total gross floor area in excess of 3,000 square feet if that*
16 *expansion results in more than 75% increase in gross square feet of development on the*
17 *parcel (as it existed at any time in the last five years prior to application), and does not*
18 *increase that number of legal dwelling units on the parcel. The total gross square footage*
19 *calculation shall also include all development performed on the parcel within the last five*
20 *years; and a cumulative increase in gross floor area, including all development performed on*
21 *the parcel in the preceding five years, of:*

22 **(A)** *more than 75% without increasing the existing legal unit count as it*
23 *existed five years prior; or*

24 **(B)** *more than 100% if increasing the existing legal unit count.*
25

1 (3) Expansion of Large Existing Development Plus Additional Dwelling
2 Units. Residential development on a developed parcel that will result in total gross square
3 floor area in excess of 3,000 gross square feet, if that expansion results in more than 100%
4 increase in gross square feet of development, and increases the existing legal unit count on
5 the parcel;

6 (4) Residential development, either as an addition to an existing building or as a new
7 building, that results in less than 45% rear yard depth.

8 (e) In acting on any application for Conditional Use authorization within the Corona
9 Heights Large Residence Special Use District, the Commission shall consider the Conditional Use
10 authorization requirements set forth in subsection 303(c) and, in addition, shall consider whether facts
11 are presented to establish, based on the record before the Commission, one or more of the following:

12 (1) The proposed project promotes housing affordability by increasing housing supply;

13 (2) The proposed project maintains affordability of any existing housing unit; or

14 (3) The proposed project is compatible with existing development.

15 (f) In acting on any application for a Conditional Use Authorization where an
16 additional new residential unit is proposed on a through lot on which there is already an
17 existing building on the opposite street frontage, the Planning Commission shall only grant
18 such authorization upon finding that it would be infeasible to add a unit to the already
19 developed street frontage of the lot.

20
21 Section 3. The San Francisco Planning Code is hereby amended by amending
22 Sectional Maps SU06 and SU07 of the Zoning Map of the City and County of San Francisco,
23 as follows:

24
25

Description of Property	Special Use District Hereby Approved
-------------------------	--------------------------------------

1 All parcels within a perimeter established by
2 Market Street, Clayton Street, Ashbury
3 Street, Clifford Terrace, Roosevelt Way,
4 Museum Way, the eastern property line of
5 parcel 2620/063, the eastern property line of
6 parcel 2619/001A, and Douglass Street; and
7 in addition, all additional parcels fronting
8 States Street
9

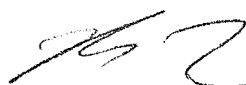
Corona Heights Large Residence Special
Use District

10
11 Section 4. Effective Date. This ordinance shall become effective 30 days after
12 enactment. Enactment occurs when the Mayor signs the ordinance, the Mayor returns the
13 ordinance unsigned or does not sign the ordinance within ten days of receiving it, or the Board
14 of Supervisors overrides the Mayor's veto of the ordinance.

15 Section 5. Applicability Date. This ordinance shall apply to any City permits approved
16 on or after March 21, 2017.
17
18

19 APPROVED AS TO FORM:
20 DENNIS J. HERRERA, City Attorney

21 By:


22 ROBB W. KAPLA
Deputy City Attorney

23 n:\legana\as2017\1700443\01202292.docx
24
25



City and County of San Francisco
Tails
Ordinance

City Hall
1 Dr. Carlton B. Goodlett Place
San Francisco, CA 94102-4689

File Number: 170296

Date Passed: July 11, 2017

Ordinance amending the Planning Code and Sectional Maps SU06 and SU07 of the Zoning Map to create the Corona Heights Large Residence Special Use District (the area within a perimeter established by Market Street, Clayton Street, Ashbury Street, Clifford Terrace, Roosevelt Way, Museum Way, the eastern property line of Assessor's Parcel Block No. 2620, Lot No. 063, the eastern property line of Assessor's Parcel Block No. 2619, Lot No. 001A, and Douglass Street; and in addition, all additional parcels fronting States Street), to promote and enhance neighborhood character and affordability by requiring Conditional Use authorization for large residential developments in the district; affirming the Planning Department's determination under the California Environmental Quality Act; making findings of consistency with the General Plan, and the eight priority policies of Planning Code, Section 101.1; and adopting findings of public necessity, convenience, and welfare under Planning Code, Section 302.

June 26, 2017 Land Use and Transportation Committee - AMENDED, AN AMENDMENT OF THE WHOLE BEARING SAME TITLE

June 26, 2017 Land Use and Transportation Committee - RECOMMENDED AS AMENDED AS A COMMITTEE REPORT

June 27, 2017 Board of Supervisors - PASSED, ON FIRST READING

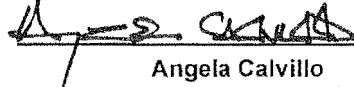
Ayes: 11 - Breed, Cohen, Farrell, Fewer, Kim, Peskin, Ronen, Safai, Sheehy, Tang and Yee


July 11, 2017 Board of Supervisors - FINALLY PASSED

Ayes: 11 - Breed, Cohen, Farrell, Fewer, Kim, Peskin, Ronen, Safai, Sheehy, Tang and Yee

File No. 170296

I hereby certify that the foregoing
Ordinance was FINALLY PASSED on
7/11/2017 by the Board of Supervisors of
the City and County of San Francisco.


Angela Calvillo
Clerk of the Board

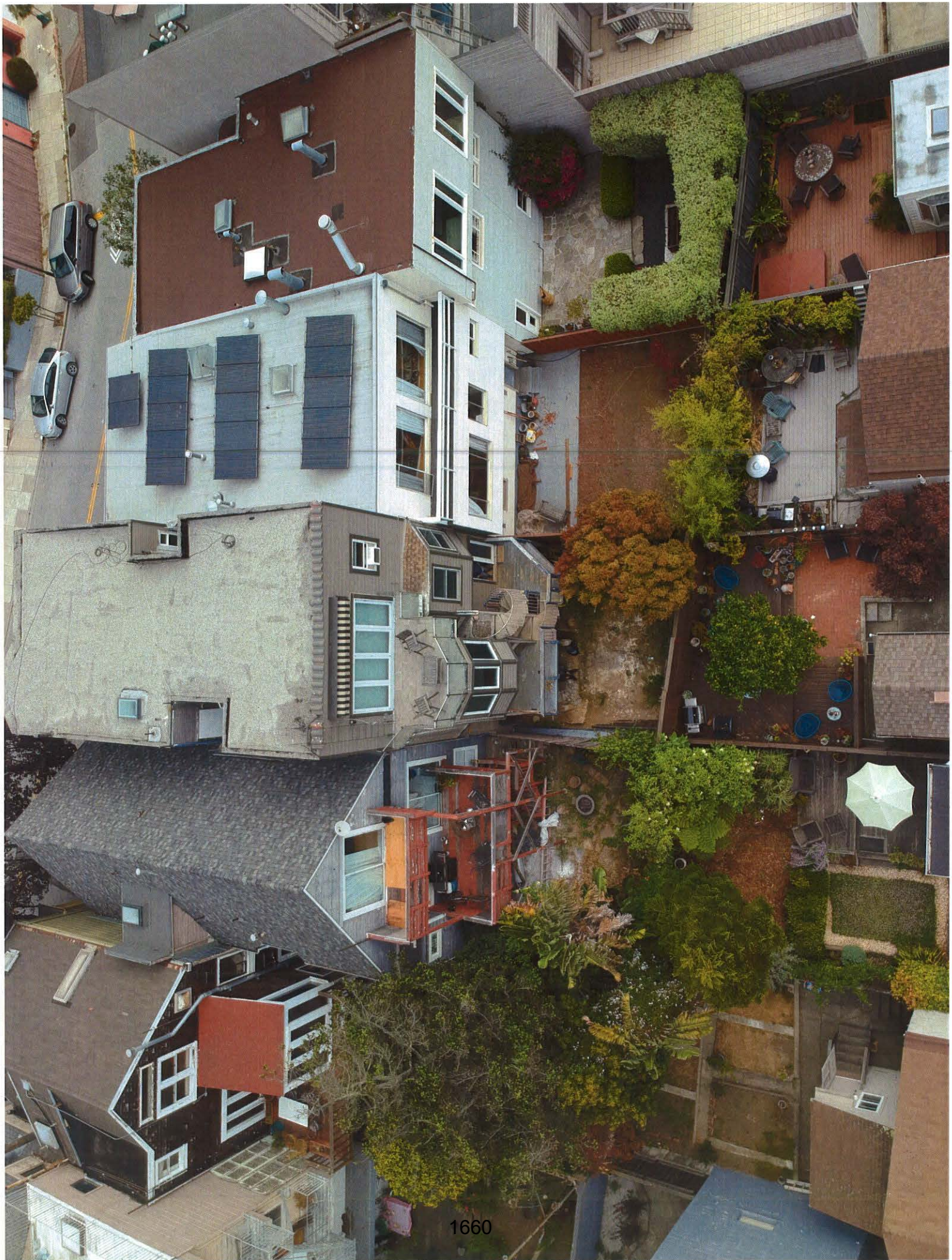

Mayor

7/21/17
Date Approved

EXHIBIT B

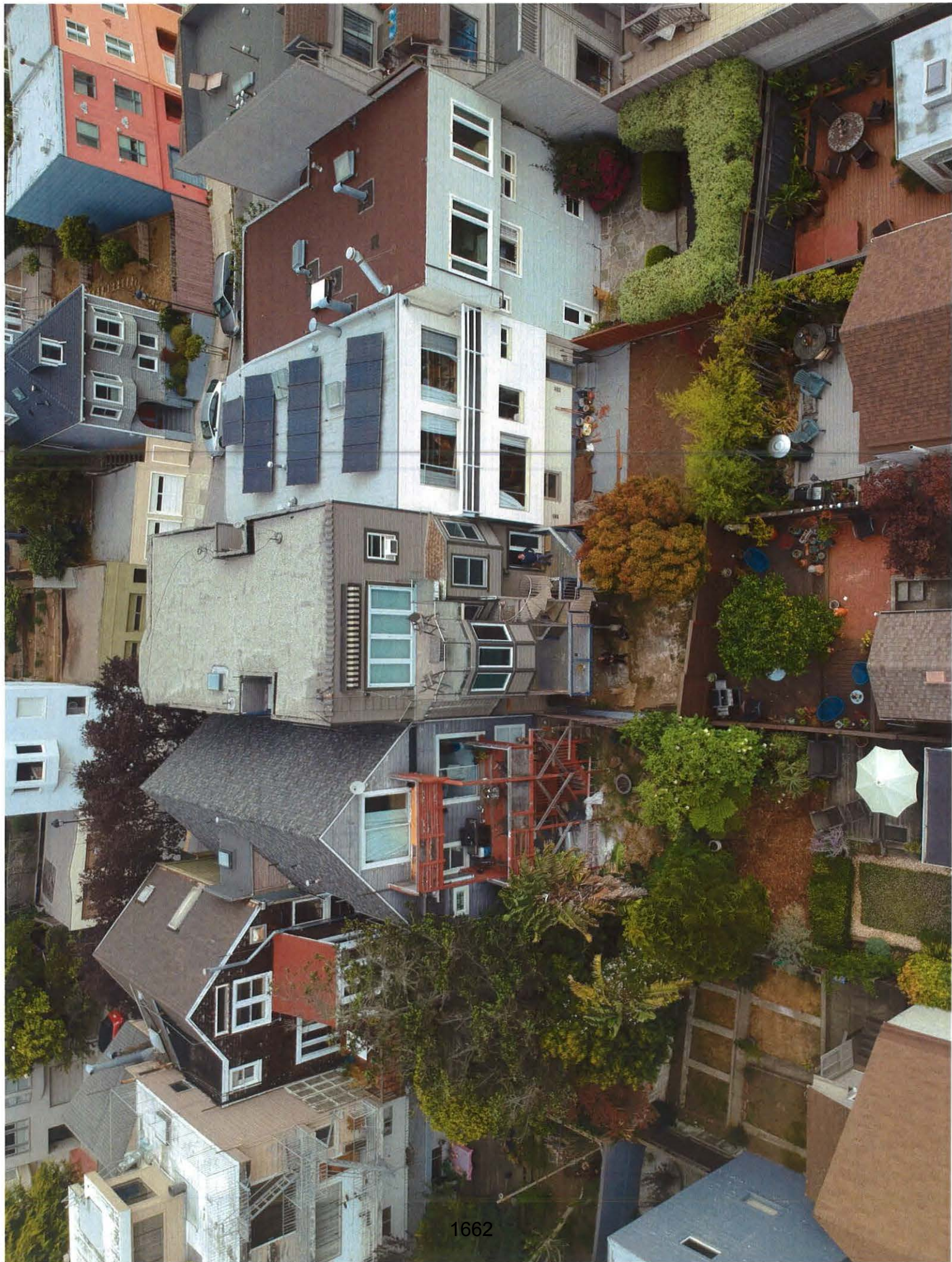






1660



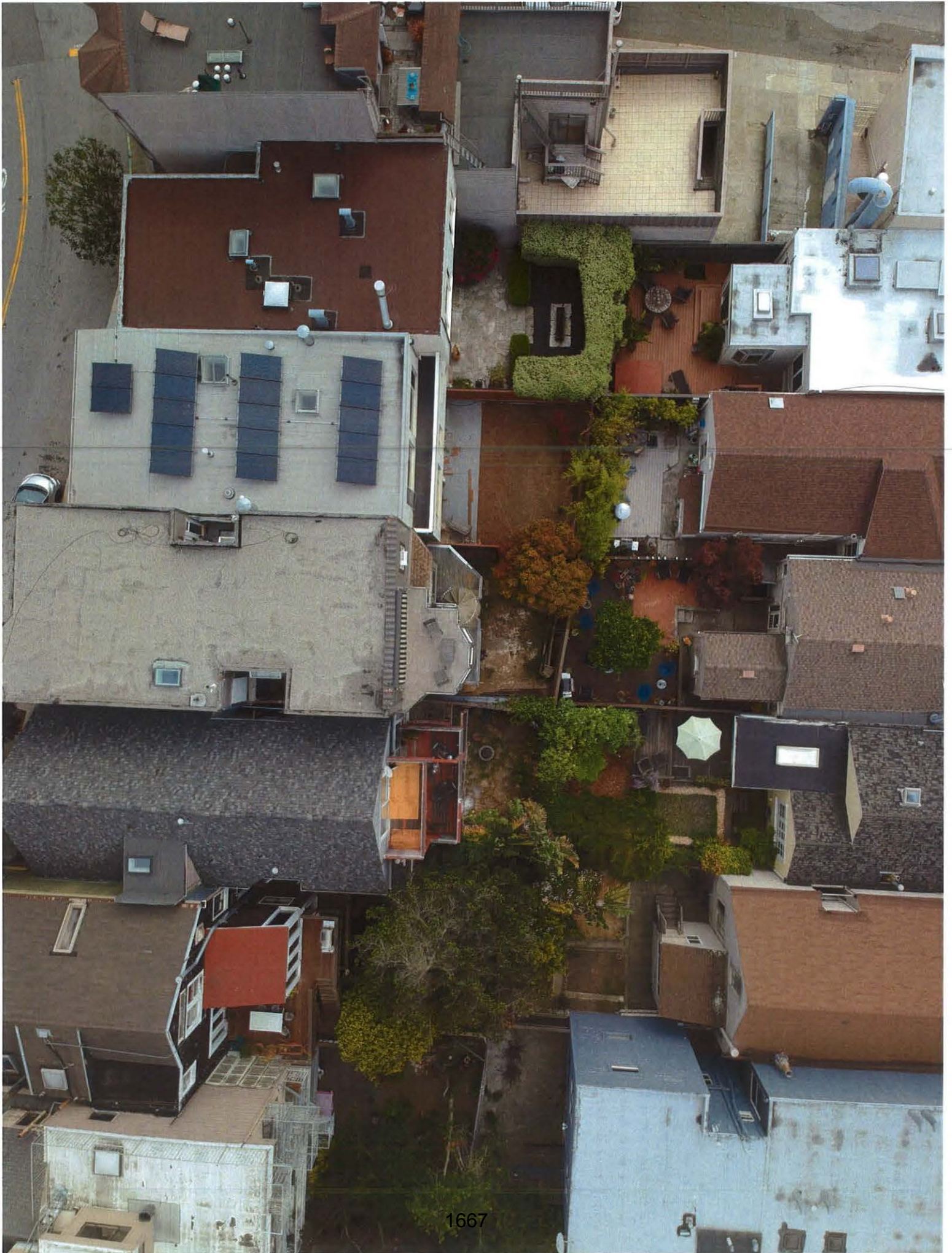






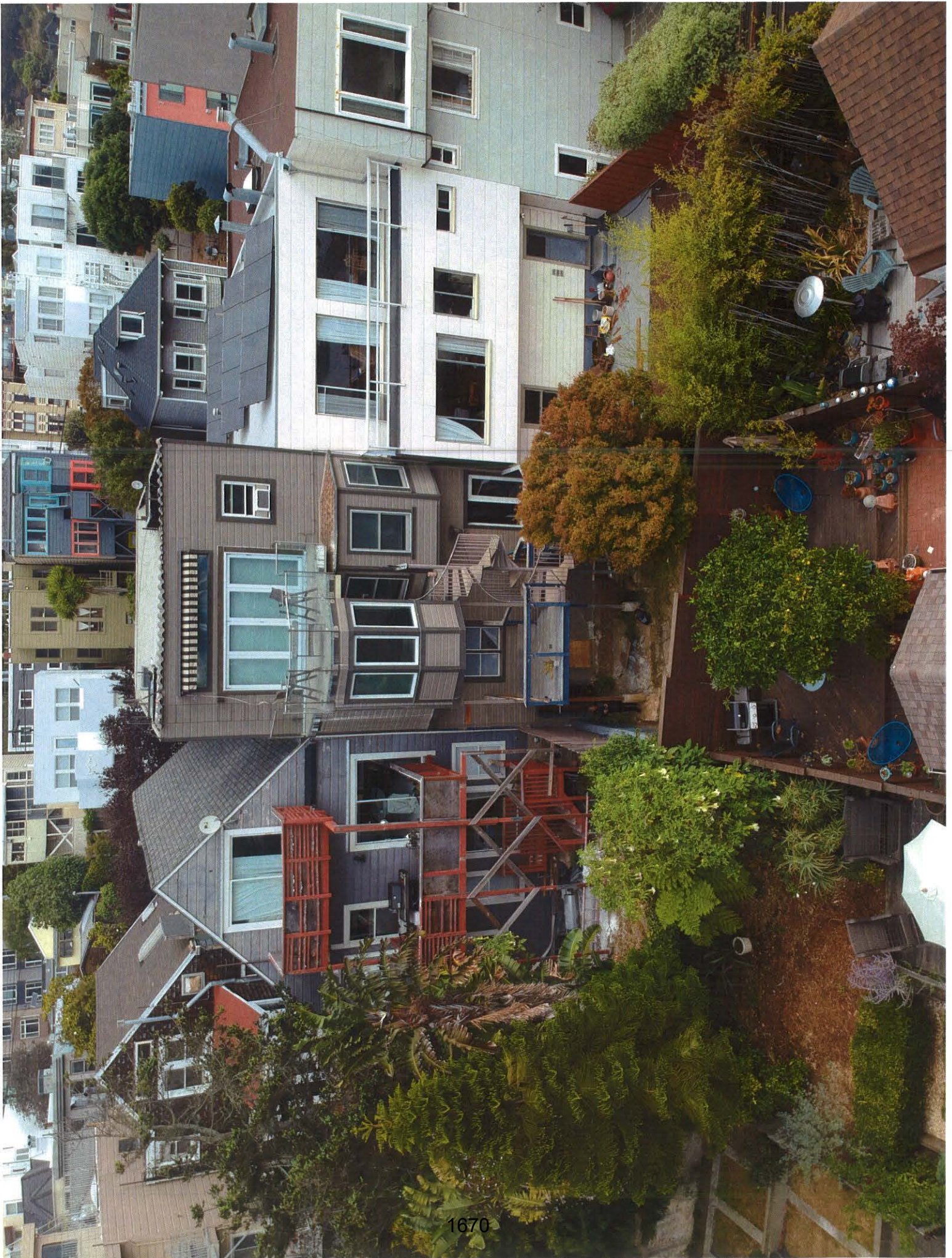








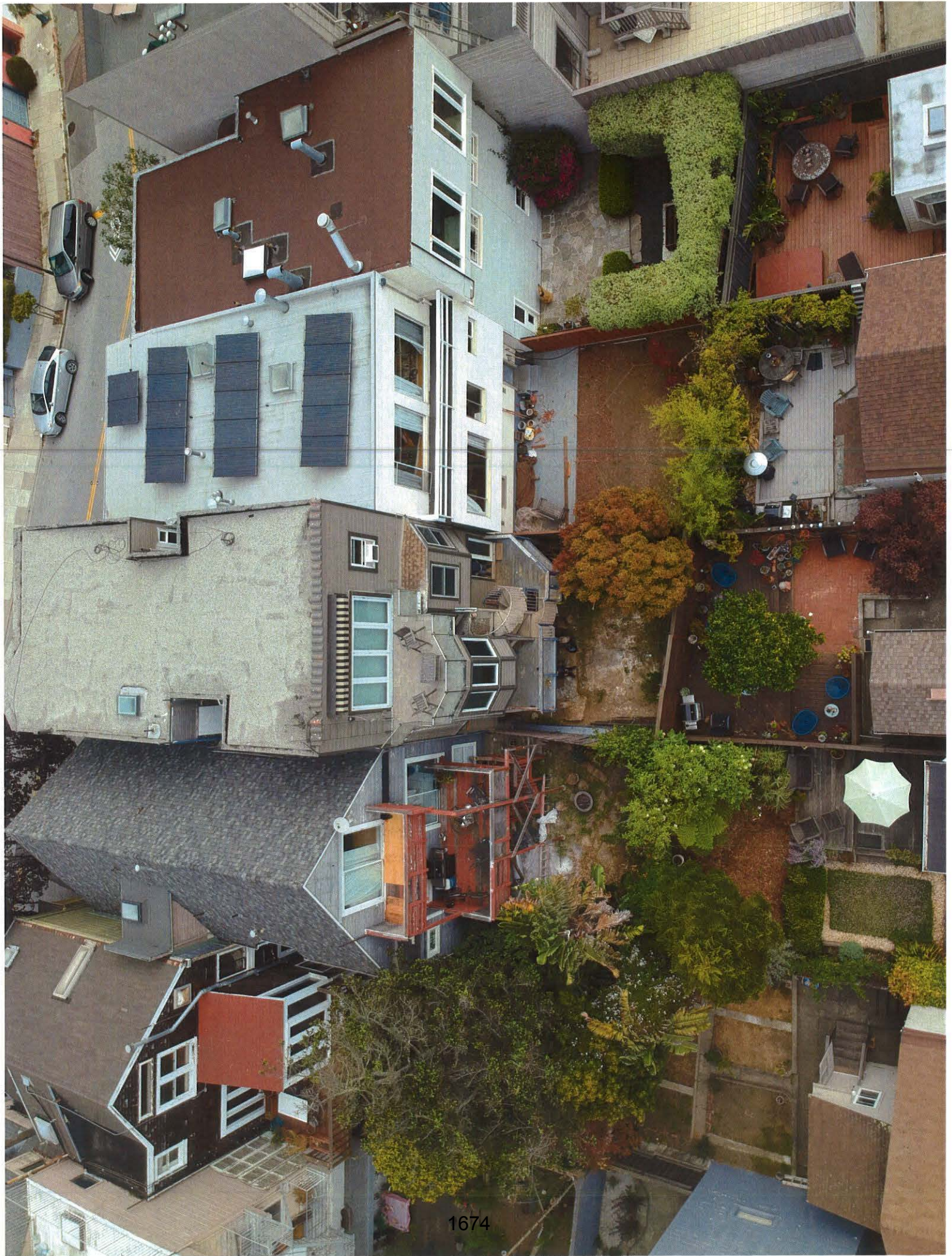


















May 2002.

Enclosed square bay breakfast nook.

Rear wall of the bay appears to have solid base with windows on upper portion, side wall appears solid at base with window(s).

Overhanging deck with roof at top floor.



August 2004.

Enclosed square bay breakfast nook.

Rear wall of the bay appears to have solid base with windows on upper portion

Overhanging deck with roof at top floor.

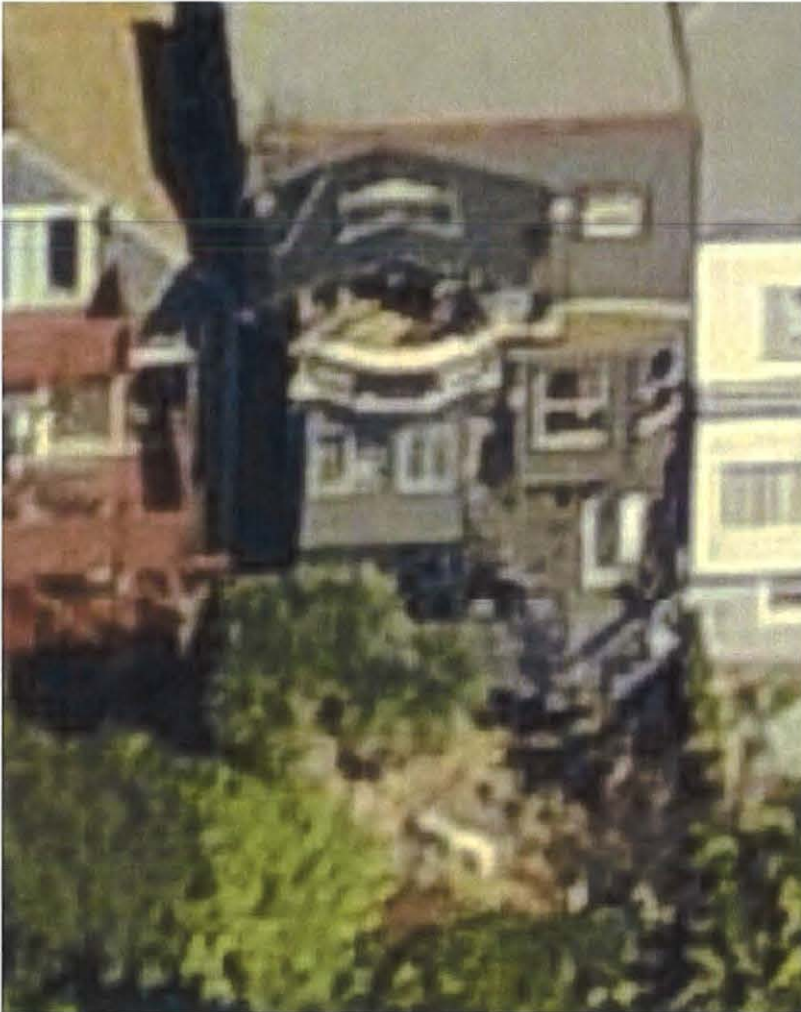


March 14, 2010.

Enclosed square bay breakfast nook.

Visible rear solid wall with punched window openings.

Roof over top floor deck has been enlarged. Deck has been extended further out, has a angled bay shape

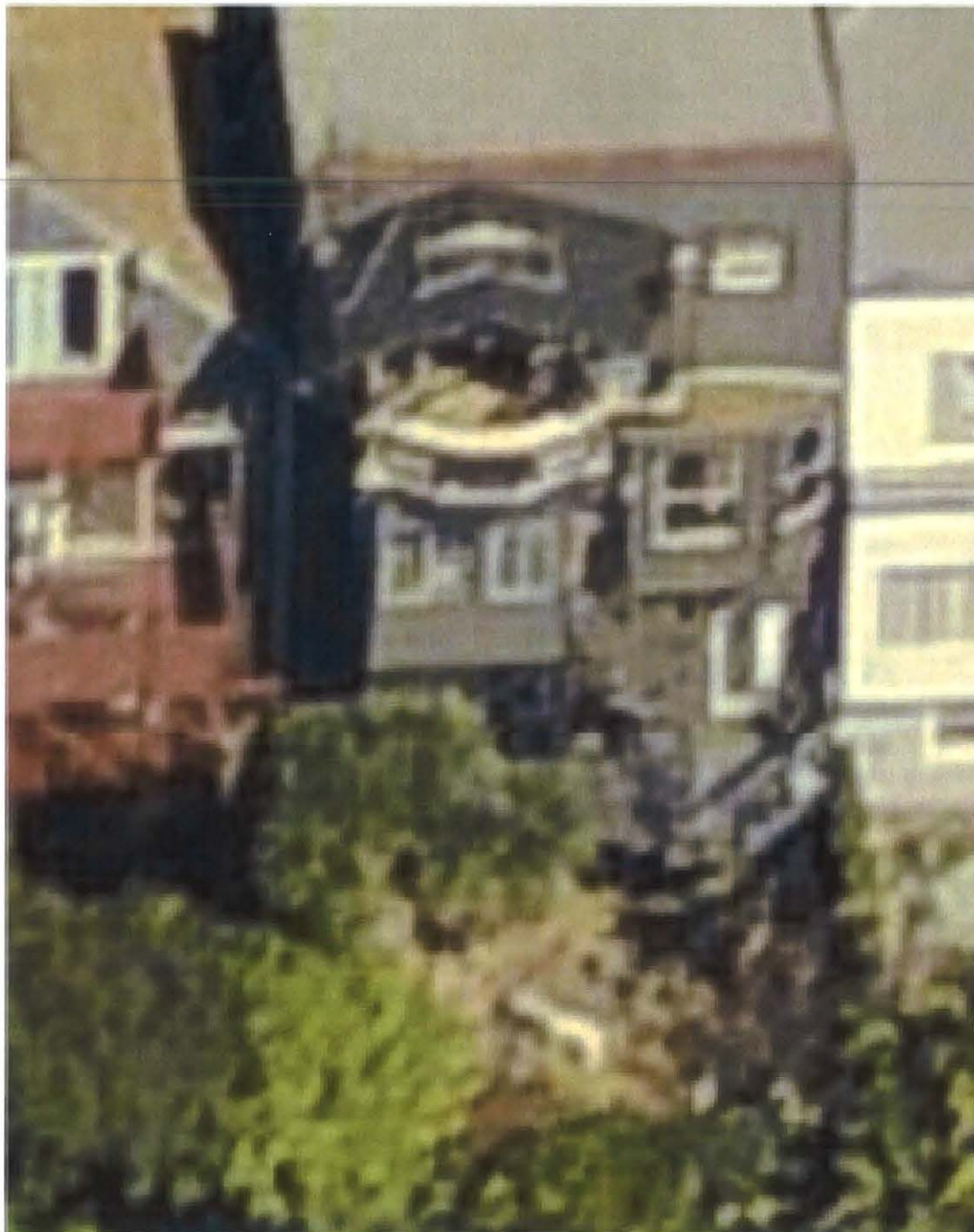


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Enclosed square bay breakfast nook.

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Roof over top floor deck has been enlarged. Deck has been extended further out, has a angled bay shape

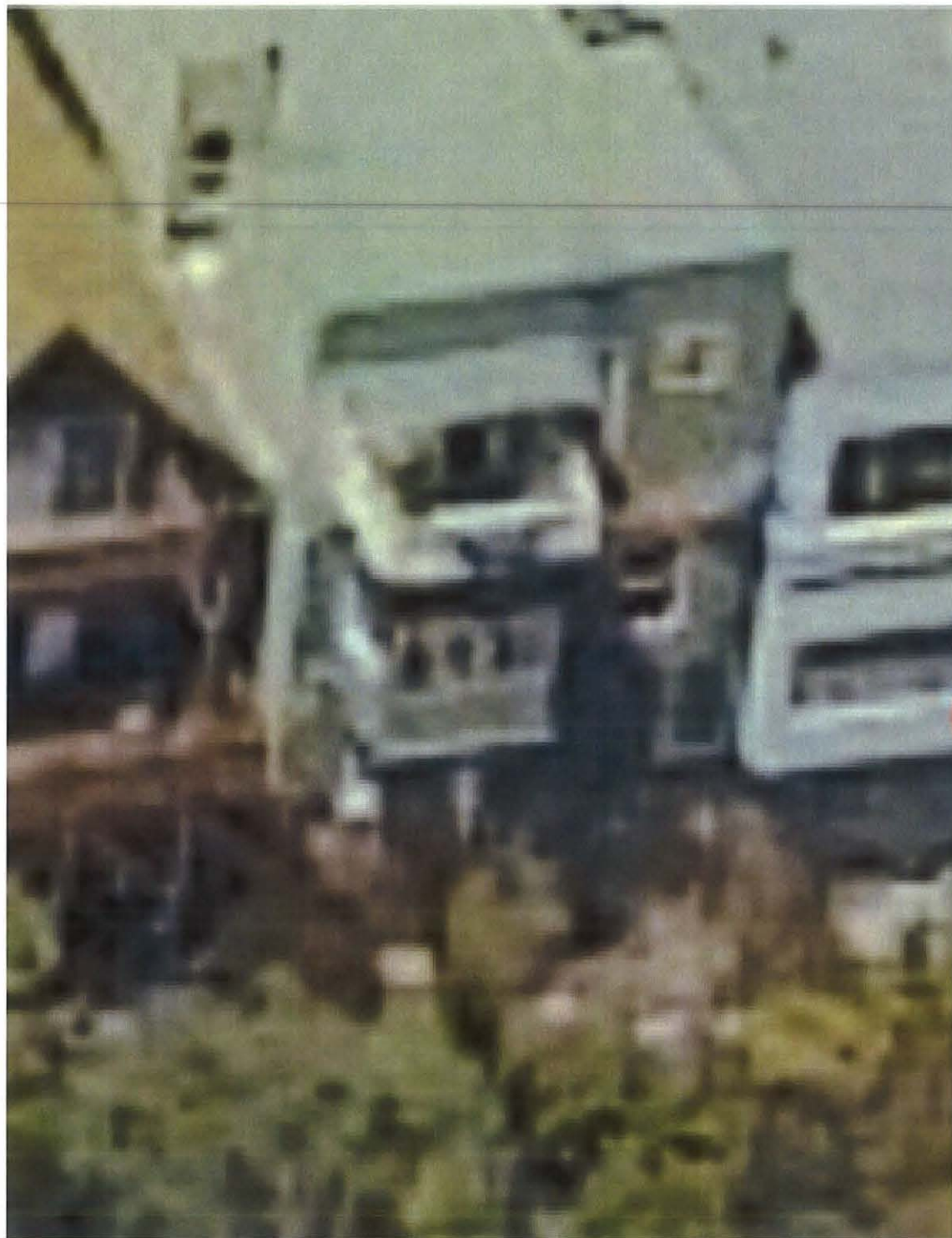


2.

square bay breakfast nook.

of the bay appears to have solid base with windows on upper portion, side wall appears with window(s).

ing deck with roof at top floor.



March 29, 2011.

Enlarged angled bay extension has been added to breakfast nook.

Inconclusive if there is an addition of triangular volumes to the nook, at the rear-building wall.

Solid base, inconclusive if upper portion of the nook is windows or open with support columns.

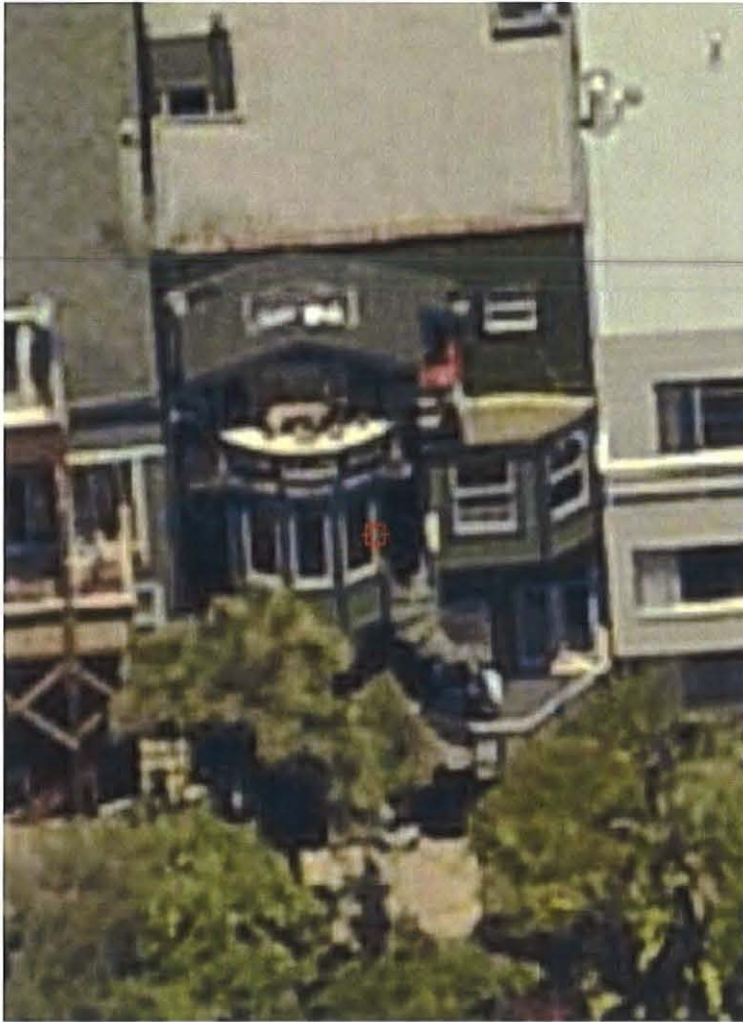


June 17, 2014.

Enlarged angled bay breakfast nook.

Visible solid wall at lower portion of the bay, with windows on each section of the bay

Deck with larger roof at top floor.



September 1, 2015.

Enlarged angled bay. Solid wall with windows.

Triangular addition to nook is visible.

Roof over upper deck removed.



July 19, 2017.

Enlarged angled bay. Solid lower walls with windows.

Triangular addition to nook is visible.

Roof over upper deck removed. Deck actively being worked on by contractor.

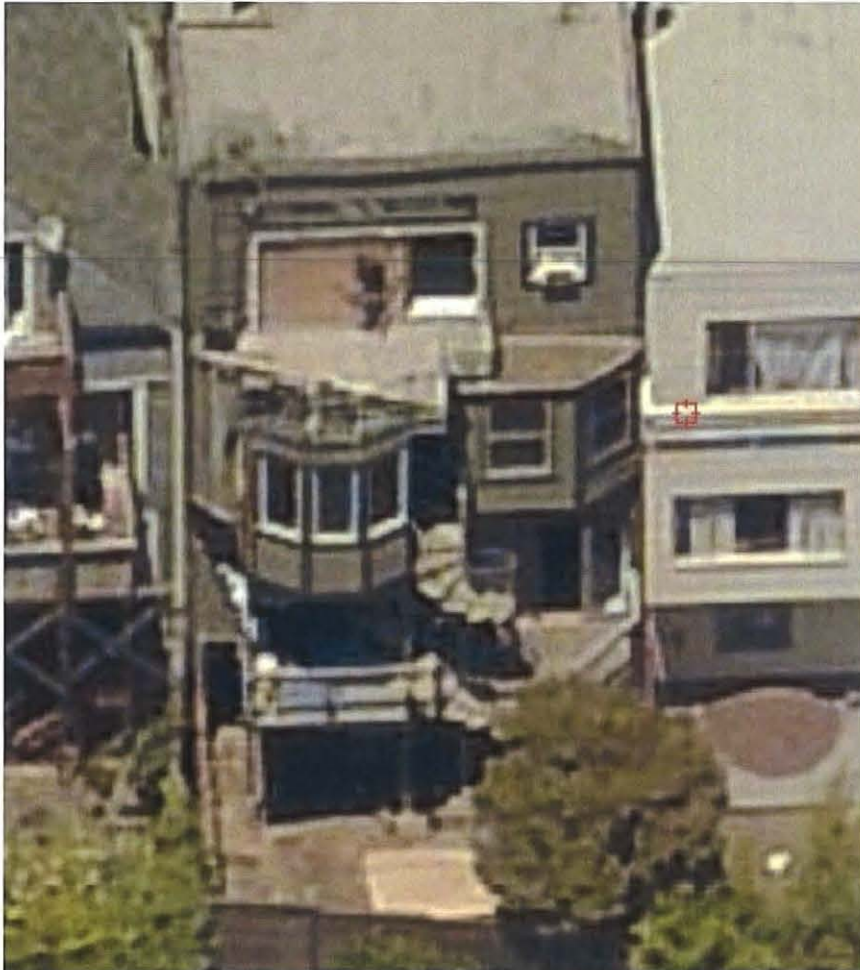




EXHIBIT C

Corbett Heights Neighbors

Conditional Use Appeal by Corbett Heights Neighbors 143 Corbett Ave

We are informing our membership that Corbett Heights Neighbors will be appealing the Conditional Use Authorization, that has recently been granted to the construction project at 143 Corbett Avenue.

Over the past 4 years over 15 permits were obtained without planning or neighborhood involvement: Instead of trying to obtain permission for a large job, the owners asked for permission to undergo numerous tasks by breaking up the project into small portions. Two floors have been excavated without soils engineering, resulting in water damage to one of our neighbors. In addition, an illegal deck was enclosed, although it already exceeded the rear yard coverage line and had originally been built without a variance.

In October 2016 the City issued a Notice of Violation and requested that all over-the-counter permits be consolidated. Because the structure exceeds 55% of lot coverage, the owners had to obtain a Conditional Use Authorization. On June 21 the Planning Commission heard the case, criticized the illegal construction but then allowed the illegally enclosed deck to be grand-fathered in.

Corbett Heights Neighbors is appealing the Planning Commission decision to the Board of Supervisors to ensure due process and prevent bad precedent in our Special Use District. Without a proper review, adjoining properties have increased risk levels for water, foundation, fire and other damage.

If you wish to learn more about this case, or if you wish to support our efforts, please contact Jennifer Creelman at drcreelman@cfdde.com or at (415) 244-9932. We are specifically looking for signatures from owners whose properties are located inside or touch the yellow circle on the below map. Thank you for your time.

Corbett Heights Neighbors

143 Corbett: This one is one big mess.

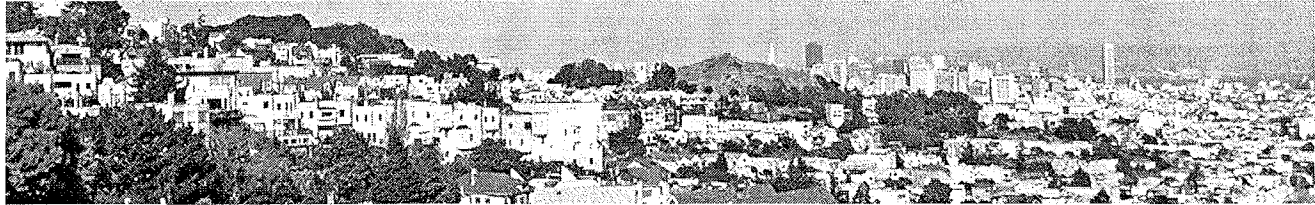
Back in the 90s the owners at the time had a 3-level deck constructed - with no permit. Not an uncommon thing. About 10 years later the same owners enclosed one floor of the deck on the main level to create a breakfast nook. This was also done with a permit or any sort of inspection.

In 2014 the building was sold. The new, current owner hired a - questionable - contractor. They ended up expanding the breakfast nook out farther into the backyard, an expanding it out in either direction right up to the property line. They walled in what had been large windows on this nook which now extends farther out into the tiny rear yard than any other house on the block. And they built out into two lightwells. None of this was done with permits, inspections or neighborhood notification. Then the excavation began. I don't know the exact amount of soil that was removed, but it went on month after month. There had been an inlaw unit in the basement level but it was considerably shorter than what is allowed. So they dug down on that level, and then at the backyard level they excavated out what had been a storage area. The space is now large enough for a good sized 2 level, 2 Bedroom, 2 Bath unit. All of this, including the excavation was done without permits or inspections. The work was stopped for a year. A new contractor came along - blamed everything bad that had happened on the previous contractor, and began to try and make things right.

Somehow - - at the Planning Commission hearing in June, despite all of this egregious stuff that had been done, including damaging the neighbors' foundation, despite the fact that it considerably exceeded the limits of the CHLRSUD, and without issuing any citations or even fines, the Commission basically legitimized everything.

For more reasons than I care to go into now, we submitted an appeal which will be heard by the full Board of Supervisors.

Both the owner and the contractor told us that they have no intention of ever renting this new legalized unit. The owner would like to have a place to stay when he comes up to the city to visit his not yet conceived grandchild. He lives down the peninsula.



Corbett Heights Neighbors

[Welcome](#) |
 [CHN News](#) |
 [Map](#) |
 [History Project](#) |
 [Photos](#) |
 [Corbett Slope](#)

Tuesday, July 31, 2018

143 Corbett

Contact

info@corbettheights.org
[CHN Bylaws](#)
[Park Funds Request](#)

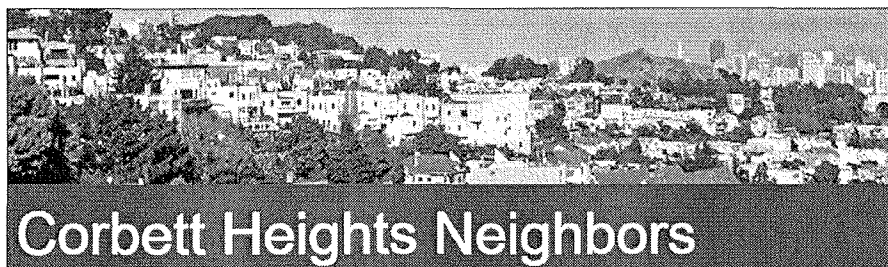
Search CHN News

Local Resources

[Rafael Mandelman | District 8 Supervisor](#)
[Scott Wiener | CA Senator](#)
[Park Station | SFPD](#)
[San Francisco SAFE | Safety Awareness for Everyone](#)

Blog Archive

- ▼ 2018 (13)
 - ▼ July (5)
 - [Corbett Heights Neighbors Meeting Notes - July 26....](#)
 - [Corbett Heights Neighbors Meeting this Thursday](#)
 - [143 Corbett](#)
 - [2018 Election](#)
 - [Planning Department Changes that Impact Neighbors](#)
 - May (1)
 - April (4)
 - March (1)
 - February (1)
 - January (1)



Corbett Heights Neighbors

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Corbett Heights Neighbors

- 2017 (15)
- 2016 (31)
- 2015 (32)
- 2014 (42)
- 2013 (35)
- 2012 (30)
- 2011 (41)

Mailchimp Signup

Subscribe to our email list

* indicates required

Email Address

First Name

Last Name

Subscribe



No comments:

Post a Comment

Note: Only a member of this blog may post a comment.

EXHIBIT D



DEPARTMENT OF BUILDING INSPECTION

Housing Inspection Services Division

City and County of San Francisco

1660 Mission Street 6th Floor, San Francisco, California 94103-2414

DEPARTMENT (415) 558-6220 Fax: (415) 558-6249 Email: DBIHIDComplaints@sfgov.org Website: www.sfdbi.org

BUILDING INSPECTION

NOTICE OF VIOLATION

COMPLAINT: 200007945

OWNER/AGENT: BARBIERI DAVID C & BARBIERI CA

MAILING

ADDRESS: BARBIERI DAVID C & BARBIERI

DATE: 08-SEP-00

LOCATION: 143 CORBETT AV

143 CORBETT AVE
SAN FRANCISCO CA
94114

BLOCK: 2656 LOT: 060

NOTICE TYPE: COMPLAINT

BUILDING TYPE: NA

USE TYPE: R3

YOU ARE HEREBY ORDERED TO COMPLY WITH THE FOLLOWING REQUIREMENTS:

ITEM

DESCRIPTION

1 BUILDING PERMIT REQUIRED (301 HC)

TO REPAIR /REPLACE DEFECTIVE REAR STAIR AND
LANDING IN 30 DAYS AND COMPLETE WORK IN 180
DAYS.

ALL ITEMS MUST BE COMPLETED WITHIN 30 DAYS. REINSPECTION DATE : 10 October 2000 10:45 AM

IT IS RECOMMENDED THAT THE OWNER/OWNERS REPRESENTATIVE CONFIRM REINSPECTION DATE/TIME.

CONTACT HOUSING INSPECTOR : Yasu Morikawa AT --

FOR EVERY INSPECTION AFTER THE INITIAL RE-INSPECTION, A \$170.00 FEE WILL BE CHARGED UNTIL THE
VIOLATIONS ARE ABATED. SFBC 108.8

OFFICIAL COPY

SAN FRANCISCO
DEPARTMENT OF
BUILDING INSPECTION

CONDITIONS AND STIPULATIONS

558-6054. For plumbing inspection scheduling call 558-6054, for electrical inspection scheduling call 558-6054. This application is approved without site inspection, electrical plumbing or electrical plan review and does not constitute an approval of the building. Work authorized must be done in strict accordance with all applicable codes. Any electrical or plumbing work shall require appropriate separate permits.

OCT 10 2002

BUILDING INSPECTOR, DEPT. OF BLDG. INSP.

<p>REFER TO: <i>[Signature]</i></p> <p>APPROVED: <i>[Signature]</i></p> <p>DAVID PANG, DBI</p>	<p>DATE: _____</p> <p>REASON: _____</p>
<p>APPROVED: <i>[Signature]</i></p> <p><i>Per application - replace deteriorated rear spiral stairs and replace dry-rot support.</i></p> <p><i>Art Aguirre 10/10/02</i></p> <p>DEPARTMENT OF CITY PLANNING</p>	<p>NOTIFIED MR. _____</p> <p>DATE: _____</p> <p>REASON: _____</p>
<p>APPROVED: <i>MA</i></p> <p>BUREAU OF FIRE PREVENTION & PUBLIC SAFETY</p>	<p>NOTIFIED MR. _____</p> <p>DATE: _____</p> <p>REASON: _____</p>
<p>APPROVED: _____</p> <p>MECHANICAL ENGINEER, DEPT OF BLDG. INSPECTION</p>	<p>NOTIFIED MR. _____</p> <p>DATE: _____</p> <p>REASON: _____</p>
<p>APPROVED: _____</p> <p>CIVIL ENGINEER, DEPT. OF BLDG INSPECTION</p>	<p>NOTIFIED MR. _____</p> <p>DATE: _____</p> <p>REASON: _____</p>
<p>APPROVED: _____</p> <p>BUREAU OF ENGINEERING</p>	<p>NOTIFIED MR. _____</p> <p>DATE: _____</p> <p>REASON: _____</p>
<p>APPROVED: _____</p> <p>DEPARTMENT OF PUBLIC HEALTH</p>	<p>NOTIFIED MR. _____</p> <p>DATE: _____</p> <p>REASON: _____</p>
<p>APPROVED: _____</p> <p>REDEVELOPMENT AGENCY</p>	<p>NOTIFIED MR. _____</p> <p>DATE: _____</p> <p>REASON: _____</p>
<p>APPROVED: _____</p> <p>HOUSING INSPECTION DIVISION</p>	<p>NOTIFIED MR. _____</p> <p>DATE: _____</p> <p>REASON: _____</p>

HOLD SECTION - NOTE DATES AND NAMES OF ALL PERSONS NOTIFIED DURING PROCESSING

I agree to comply with all conditions or stipulations of the various bureaus or department noted on this application, and attached statements of conditions or stipulations, which are hereby made a part of this application.

Number of attachments *1*

OWNER'S AUTHORIZED AGENT

1696

OFFICIAL COPY

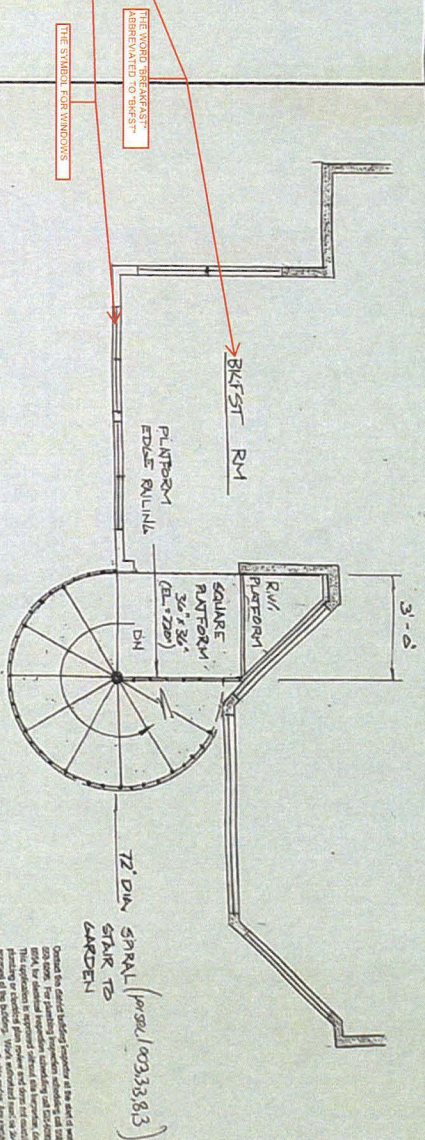
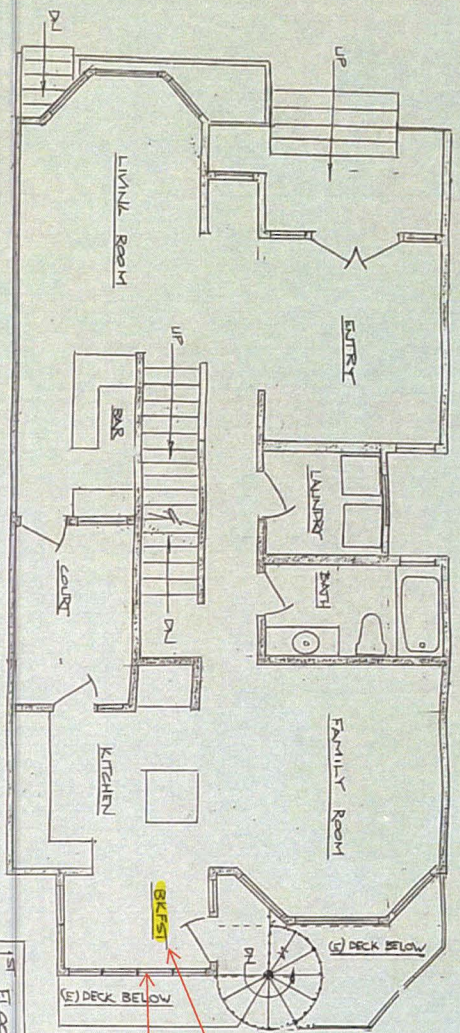


ADDRESS OF JOB		BLOCK/LOT		APPLICATION NO.		
143 CORBETT AV		2656/060		200210108753		
OWNER NAME				TELEPHONE		
ESTIMATED COST		FILE DATE	DISPOSITION	DISPOSITION DATE	PERMIT NO.	EXPIRE DATE
\$1		10/10/02	ISSUED	10/10/02	200210108753	02/10/03
FORM CONST. TYPE	OCCUPANCY CODES	PLANS	STORIES	UNITS	DISTRICT	
8	5	R-3	2	2	1	18 BID-INSP
CONTACT NAME					TELEPHONE	
DIETSCH MONTALDO KEENEYAND DIETSCH					586-3289	
STANDARD DESCRIPTION/BLDG. USE			OTHER DESCRIPTION			
1 FAMILY DWELLING			REPAIR DETERIORATED REAR SPIRAL ST AIRS, REPLACE VARIOUS DRY-ROTTED P			
SPECIAL INSPECTIONS?	NO	FIRE ZONE	NO			
SPECIAL USE DISTRICT		TIDF	NO			
		PENALTY	NO			
COMPLIANCE WITH REPORTS						

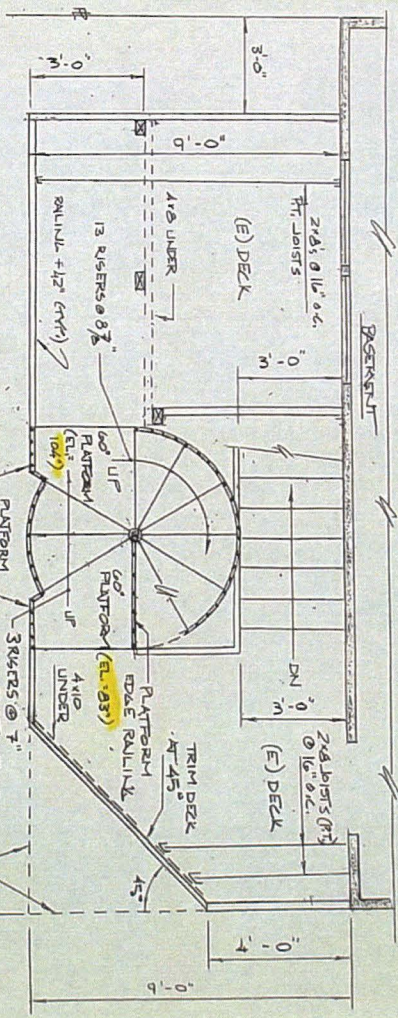
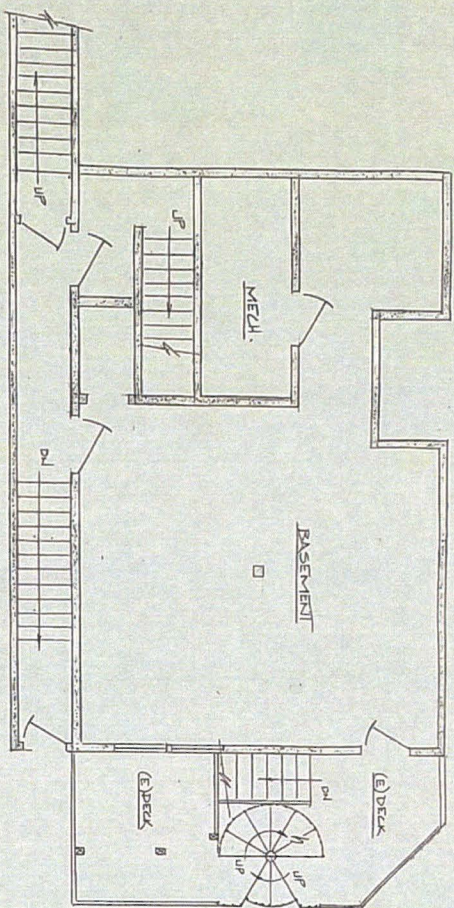
NOTES:

PERMIT INSPECTION RECORD
DEPARTMENT OF PUBLIC WORKS
CITY AND COUNTY OF SAN FRANCISCO
BUILDING INSPECTION JOB CARD

9003-15



Consult the client regarding the use of the site and the building. The client is responsible for obtaining all necessary permits and approvals from the appropriate authorities. The architect is not responsible for the client's actions or omissions. The architect is not responsible for the client's actions or omissions. The architect is not responsible for the client's actions or omissions.

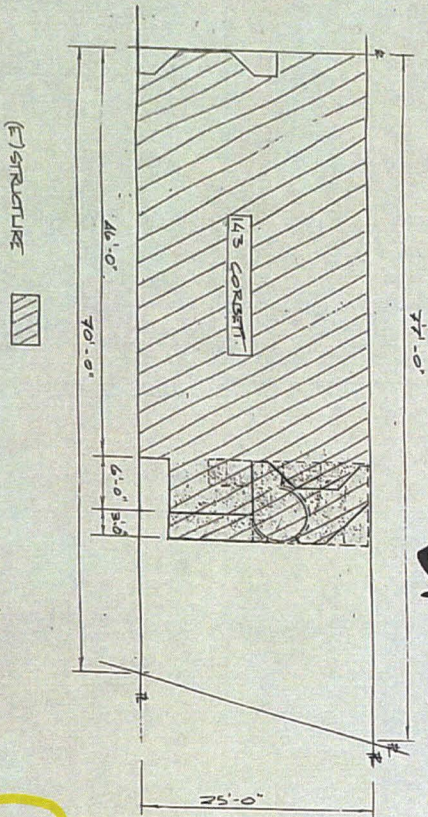
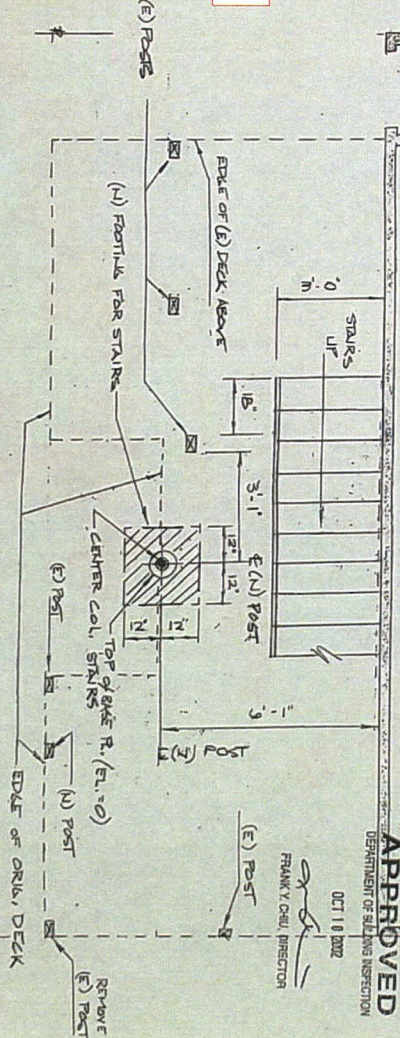


RECEIVED
OCT 11 2002
DEPT. OF BUILDING INSPECTION
THIS PLAN SET IS FOR REVIEW ONLY
AND IS NOT TO BE USED FOR CONSTRUCTION

200210108753

PLANNING STAMP OF
APPROVAL, GIVEN ONLY AFTER
REVIEW OF THE DESIGN

APPROVED
10/10/02
FRANK Y. CHOI, DIRECTOR



BARBIERI RESIDENCE
143 CORBETT AVE.

NEW REAR STAIRS

DMKD

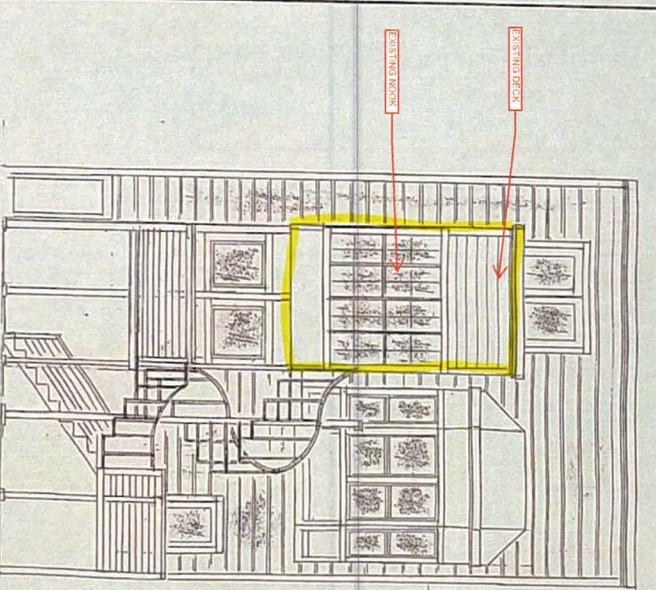
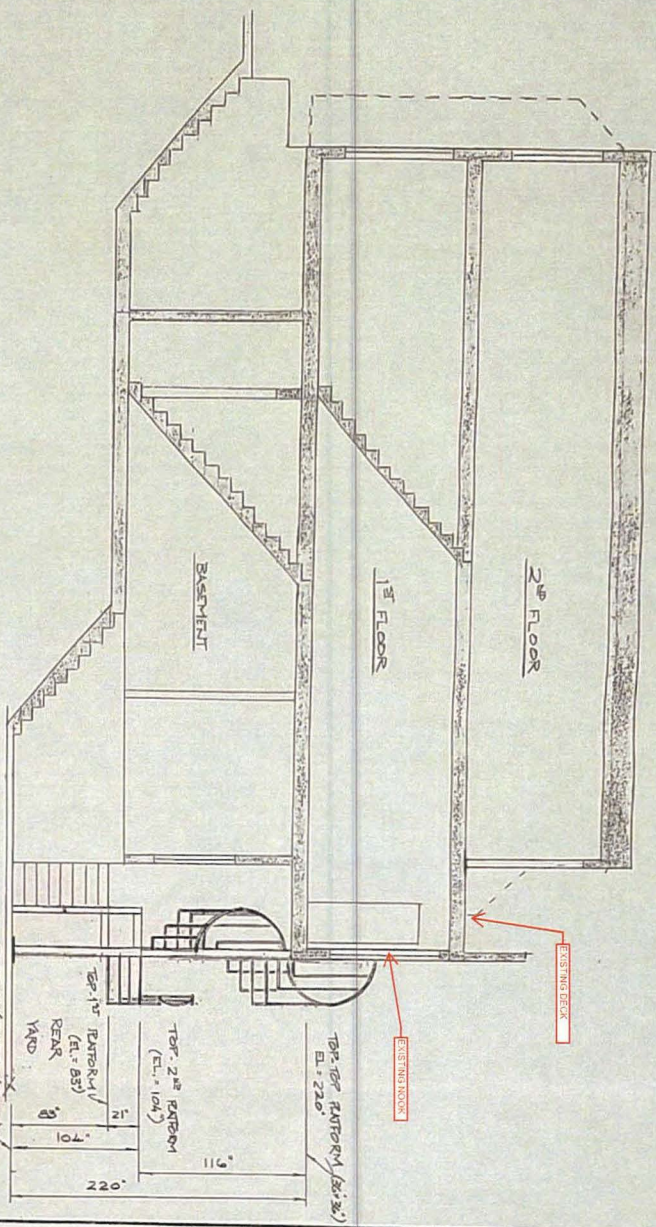
DIETSCH, MONTALDO, KEENEY, & DIETSCH

Environmental Designers
General Contractors
Plumbing Contractors
Electrical Contractors
Mechanical Contractors
Fire Protection Contractors
Structural Steel Contractors
Roofing Contractors
Foundation Contractors
Concrete Contractors
Masonry Contractors
Paint Contractors
Drywall Contractors
Flooring Contractors
Carpentry Contractors
Siding Contractors
Window Contractors
Door Contractors
Stair Contractors
Railing Contractors
Deck Contractors
Fence Contractors
Garden Contractors
Landscape Contractors
Irrigation Contractors
Lighting Contractors
Security Contractors
Alarm Contractors
Fire Alarm Contractors
Sprinkler Contractors
Gas Contractors
HVAC Contractors
Plumbing Contractors
Electrical Contractors
Mechanical Contractors
Fire Protection Contractors
Structural Steel Contractors
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Masonry Contractors
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Railing Contractors
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Fence Contractors
Garden Contractors
Landscape Contractors
Irrigation Contractors
Lighting Contractors
Security Contractors
Alarm Contractors
Fire Alarm Contractors
Sprinkler Contractors
Gas Contractors
HVAC Contractors

211 Acadia Street
San Francisco, CA 94103
(415) 584-3289
Fax: (415) 584-3055

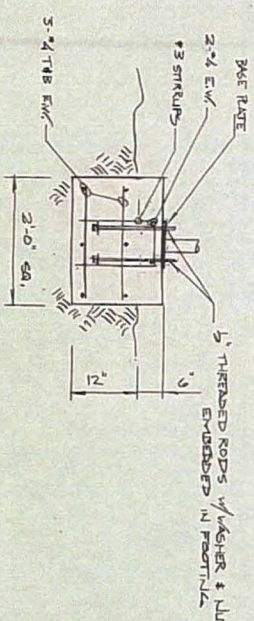
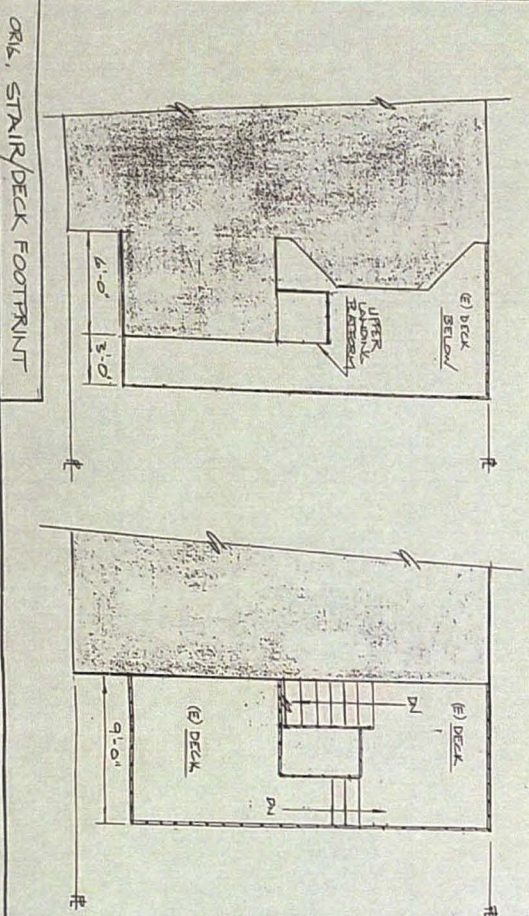
REVISIONS
BY

Sheet 1 of 2



SECTION

REAR ELEV.



(N) FOOTING DETAIL - 1/2"=1'-0"

APPROVED
OCT 10 2002
FRANK Y. CHIU, DIRECTOR

RECEIVED
OCT 13 2002
DEPT OF BUILDING INSPECTION
THIS PLAN MEETS THE QUALITY
REQUIREMENTS FOR APPROVAL
AND FOR RECORD

BARBIERI RESIDENCE
143 CORBETT AVE.
NEW REAR STAIRS

DMKD
DIETSCH, MONTALDO, KEENEY, & DIETSCH
Environmental Designers
General Contractors
Electrical Contractors
Lic. # 888795, B, C-10

213 Acadia Street
San Francisco, CA. 94133
(415) 586-3289
Fax: (415) 584-6505

REVISIONS	BY

Sheet 2
Of 2 Sheets

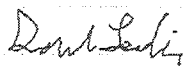

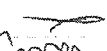









EXHIBIT E

By signing this document, I support:

- 1) The application and the continued construction of the dwelling unit for lower 2 floors
- 2) Variance application to legalize a 1'-10" trapezoidal "bump" in the rear breakfast nook on the main floor

After talking to the Raghavan family, I am confident that:

- 1) They are eager to finish the construction and reduce disturbance on the neighborhood
- 2) The trapezoidal bump existed when they purchased the house as shown in their evidence packet
- 3) They will continue to be good neighbors and a good addition to the neighborhood

Full Name	Address	Email	Signature	Date
Darrin Loeliger	132 Corbett Ave	darrin.loeliger@gmail.com		8/22/18
Ethelia Lung	132 Corbett Avenue	ethelia.lung@gmail.com		8/22/2018
MIKAEL CALAMPO	163 A " "	mcalando@gmail.com		8/22/2018
Cassandra Peppard	" " " "	cassie.peppard@gmail.com		8/22/2018
LISA TSANG	177 Corbett Ave	lisantsang@yahoo.com		8/22/18
Brian Koffman	177A Corbett Ave	bh.koffman@gmail.com		8/22/18
DAVID NELSON	193 Corbett Ave	nelsondavid7@gmail.com		8/22/18
Jessica Triant	172 Corbett Ave	jessica.triant@gmail.com		8/22/18
Cody Mowery	172 Corbett Ave	MOWERY.CODY@gmail.com		8/22/18
Robert Gware	166 Corbett Ave	Robert@robertgware.net		8/22/18
Nathan Cote	166 Corbett Ave	ncote@yahoo.com		8/22/18
HELEN THOMPSON	163 Corbett Ave	hthompsonphotography@gmail.com		8/22/18

August 21, 2018

Dear Board of Supervisors,

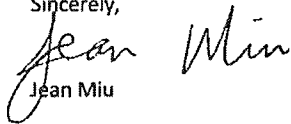
I am the owner of 132 Corbett Avenue and am writing in support of the construction project at 143 Corbett Avenue and the CU application submitted for the dwelling unit downstairs and the variance of the breakfast nook.

Our understanding is that the appeal is specifically regarding the breakfast nook. This breakfast nook was constructed under the previous owner, David Barbieri. Based on the evidence provided by the Raghavans, we are in support of the CU application moving forward.

Ravi Raghavan and his family have been great neighbors since moving into the house in 2014. They are friendly, considerate and they are a good addition to the neighborhood.

We are eager for the construction project to finish and support completed and upcoming renovations.

Sincerely,


Jean Miu

Dear Board of Supervisors,

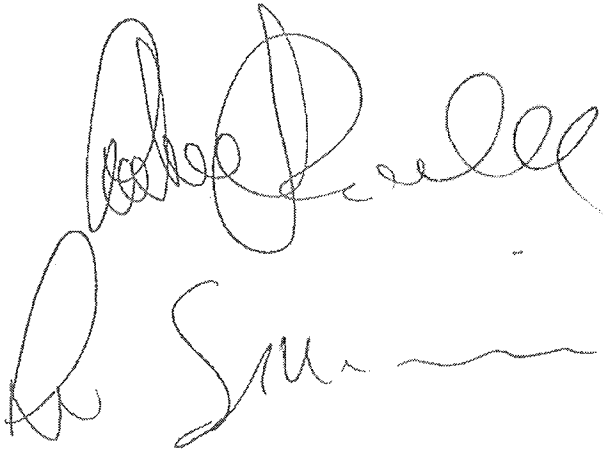
Our names are **Graham Brownlee** and **Steven Williams** We are residents of 135 Corbett Avenue. We are writing in **support** of the construction project at **143 Corbett Avenue** and the CU application submitted for the dwelling unit downstairs and the variance of the breakfast nook.

Our understanding is that the appeal is specifically regarding the breakfast nook. This breakfast nook was constructed under the previous owner, David Barbieri. Based on the evidence provided by the Raghavans, we are in **support** of the CU application moving forward.

Ravi Raghavan and his family have been great neighbors since moving into the house in 2014. They are friendly, considerate and they are a good addition to the neighborhood.

We are eager for the construction project to finish and support completed and upcoming renovations.

Sincerely,
Graham and Steven

The block contains two handwritten signatures. The top signature is for Graham Brownlee, written in a cursive style. The bottom signature is for Steven Williams, also in cursive. Both signatures are in black ink.

8/22/18

Casa Corona
137-139 Corbett Avenue, San Francisco, CA 94114

August 22, 2018

Dear Members of the Board of Supervisors,

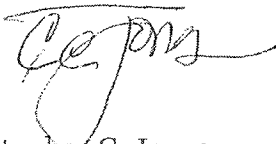
Our names are **Christopher Jones** and **Bill Prince**. We are residents and owners of 137-139 Corbett Avenue, next door to the Ragavans to the east. We are writing about the construction project at their home at 143 Corbett Avenue.

Our understanding is that the appeal specifically regards the breakfast nook. This pop-out breakfast nook already existed when we moved in September, 2012. It is our understanding, based on personal conversations with the previous owner, David Barbieri, that he was responsible for its construction.

We are not informed enough about the CU application for the dwelling unit downstairs to comment on it.

We are in favor of welcoming Ravi Raghavan and his family into the neighborhood and are eager for the construction project to be finished. We would encourage the Raghavans and their contractors to diminish construction noise as much as possible. Thank you very much.

Best Regards,



Christopher C. Jones

and



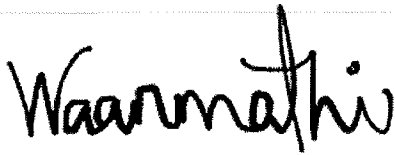
Bill Prince

Dear Board Of Supervisors,

My name is Waanmathi Vishnu. I am a former tenant of Ravi Raghavan at 143 Corbett Ave, San Francisco, CA 94114. I lived there from August 2017 to May 2018. Ravi Raghavan was a considerate and thoughtful landlord who cared about his tenants' well-being. Any appliance or rooming issues were quickly resolved.

I am writing in support of the construction project at 143 Corbett Avenue and the CU application submitted for the dwelling unit downstairs and the variance of the breakfast nook. I say this as they were great landlords and they should be allowed to complete their project. I would happily rent from them in the future and recommend them as landlords for any future tenants.

Best,

A handwritten signature in black ink that reads "Waanmathi". The signature is stylized with a large, looped 'W' and a cursive 'i'.

Waanmathi Vishnu
August 23, 2018

Dear Board Of Supervisors,

My name is Neeraj Hablani. I am a former tenant of Ravi Raghavan at **143 Corbett Ave, San Francisco, CA 94114**.

I lived at the house from March 2016 to February 2017. Ravi Raghavan was a considerate and thoughtful landlord who cared about his tenants' well-being. In fact, Ravi would regularly prepare breakfast for me over the weekends -- his egg, avocado, and cheese sandwiches are very tasty and highly recommended. Additionally, he would invite me to the gym or propose board game nights to bolster our social connection. Furthermore, any appliance or rooming issues were quickly resolved.

I am writing in **strong support** of the construction project at 143 Corbett Avenue and the CU application submitted for the dwelling unit downstairs and the variance of the breakfast nook. Ravi Raghavan was a great landlord and should be permitted to complete his project. I would happily rent from Ravi in the future and wholeheartedly recommend him as a landlord for any future tenants.

Best,

A handwritten signature in black ink that reads "Neeraj Hablani". The signature is written in a cursive, flowing style.

Neeraj Hablani
August 22 2018

Dear Board of Supervisors,

My name is Tapan Patel. I am a former tenant of **143 Corbett Ave, San Francisco, CA 94114** where Ravi Raghavan was my landlord.

I lived at the house from March 2016 to February 2017. Ravi Raghavan was a very kind and considerate landlord who cared a whole lot about his tenants and their well-being. In fact, Ravi would regularly prepare breakfast for me over the weekends -- his egg, avocado, and cheese sandwiches were very tasty. Additionally, he would invite me to the gym, go watch movies, and propose board game nights to bolster our social connection. Furthermore, any maintenance and general housing issues were quickly resolved.

I am writing in **strong support** of the construction project at 143 Corbett Avenue, including the CU application submitted for the dwelling unit downstairs and the variance of the breakfast nook. Ravi Raghavan was a great landlord and should be permitted to complete his project so that many others can enjoy time at 143 Corbett Ave. for years to come. If the opportunity presents itself, I would be happy rent from Ravi in the future and wholeheartedly recommend him as a landlord to any future tenants.

A handwritten signature in black ink, appearing to read 'Tapan Patel', with a stylized flourish at the end.

Tapan Patel

tapan2303@gmail.com | (949) 636-9200

EXHIBIT F

Permit Count	Date	Number	DBI Application Descriptions (Stated by Applicant)	Estimated Valuation	Comments from Contractor
		8716328	REMOVE LATH & PLASTER IN KITCHEN/NO STRUCTURAL	\$400.00	
		8717127	REMOVE PLASTER & LATH IN BATHROOM, RESHEETROCK	\$500.00	
		8811172	REPAIR FUNGUS DAMAGE	\$5,000.00	
	8/9/1989	8911550	REPLACE CONCRETE SLAB ON FLOOR BELOW STREET LEVEL	\$1,000.00	Some question of the Gross Area calculation was offset by this section. This space is not drafted correctly in the 200210108753
		200011105445	REPAIR REAR EGRESS STAIRS PER N.O.V. 200007945	\$3,000.00	Replace existing stairs with Steel stairs to existing kitchen.
		200201106676	RENEW APP #200011105445	\$3,000.00	
		200208012891	TO RENEW APP#2002/01/10/6676 FOR FINAL INSPECTION.	\$1.00	
		200210108753	REPAIR DETERIORATED REAR SPIRAL STAIRS, REPLACE VARIOUS DRY-ROTTED PER PA #200208012891	\$1.00	..uncovered dry rot."
1		201408113493	REPAIR DRY ROT ON FLOOR & WALL OF THIRD FLOOR BATHROOM. REPLACE PLUMBING FIXTS. (E) LIGHTING & VENTILATION TO REMAIN.	\$13,000.00	
2		201409186685	INSTALL NEW BATHROOM ON 3RD FLOOR, REMODEL EXISTING BATHROOM ON 3RD FL. ADDRESS COMPLAINT 20149441	\$25,000.00	
3		201411252473	OPEN WALLS IN VARIOUS LOCATIONS ON 1ST, 2ND AND FLOORS TO INSTALL ELECTRICAL REPLACEMENT CABLES RELATED TO ELECTRICAL PERMIT #E201409243026.	\$1,000.00	"Electrical retrofit discovery of previous faulty electrical installation. Major fire hazard, all new electrical wiring was required throughout the house"
4		201507060719	REPLACE REAR WINDOWS (6) NOT VISIBLE FROM THE STREET. IN-KIND SIZE & TYPE. U-FACTOR 0.32 MAX.	\$3,200.00	"Window replacement was identical to the original style and size, see satellite imagery from 2011""
5		201508245070	INSTALL 2ND UNIT, INSTALL BEDROOM & BATHROOM AND KITCHEN AT GROUND LEVEL		"This is a DBI application for renovating an existing unit. We did not need San Francisco Planning Department application because it was existing , and we were not expanding it into the rear yard. it has its own door and the neighbors knew about this space for decades."
6		201508275417	INSTALL RETAINING WALL, BEAM AND FOOTINGS IN BASEMENT	\$60,000.00	"Basement structural work due to some failing foundation work. We did not anticipate having all these issues."
7		201511253643	INFILL LIGHTWELL ON SOUTHWEST SIDE OF THE HOUSE.	\$15,000.00	"This was stated as a typo. Should have been written as "East" Side. "
8		201603091590	GIRDER REPLACEMENT AT LOWER & BASEMENT LEVELS, ADD FOUNDATION UPGRADES.	\$15,000.00	"Basement structural work, owner asked to expand under light well."
9		201608195515	TO OBTAIN FINAL INSPECTION FOR WORK APPROVED UNDER PA#201408113493, 201409186685, 201411252473. ALL WORK IS COMPLETE.	\$8,000.00	"Consolidation of permits per the N.O.V."
10		201609167972	REVISION TO PERMIT #201511253643: INFILL ON LIGHTWELL ON EAST SIDE OF BUILDING AS NOTED ON PLAN. CLERICAL ERROR SHOWS WEST.	\$1.00	" A mistake was made on the application. "East" vs "West" mistake. Written permission was given from the resident of 139 Corbett to enclose the lightwell. "
11		201611233483	WORK VIOLATION REQUEST OF BLD OFFICIAL. INSTALL NEW RETAINING WALL AT REAR YARD AS PER PLANS	\$10,000.00	"Rear Retaining Wall to support a lot line fence. No resistone form 145 Corbett on this"
12		201703272431	FOUNDATION IMPROVEMENTS AT BASEMENT AND UNDERPIN PARTIAL EXTG WEST REAR FOUNDATION.	\$30,000.00	"Basement structural repair due to failing dofoundation. This was because of undermined footing caused by a downspout leak."
13		201705166740	No description provided, valuation adjustment.	\$80,000.00	"Adjustment to Valuation as a requested by DBI"
14		201707182269	REMOVE (E) FRENCH DOORS, INSTALL NEW DOORS IN (E) OPENING. AT THE BACK OF BUILDING.	\$4,300.00	"Replace in kind of some doors @ lower level."
15		201708094368	GUARDRAIL. LEGALIZE BUMP OUT @ REAR BREAKFAST NOOK. VARIANCE: BREAKFAST NOOK BUMP OUT, SPIRAL STAIR @ GRADE IN REAR YARD.	\$150,000.00	"At the request of Joseph Duffy, this is a consolidation of all work to be done on the project, including the variance."
16		201712085904	REVISION TO APP#201508275417. RETAINING WALL REBAR CHANGE	\$15,000.00	"Engineering revision to lower retaining wall rebar becassue we changed engineer to the new Consulting Engineer, Pat Buscovich"

Date	Application Number	NOTICE OF VIOLATION	STATUS	Inspector Comments	Contractor Comments
08/15/00	200007945	WORK DONE ON HOME WITHOUT PERMIT			
01/16/01	200113223	ILLEGAL UNIT CONVERSION			
01/16/01	200113219	ILLEGAL LOWER RENTAL UNIT. CONSTRUCTION OF ROOMS DONE IN HOME WITHOUT PERMITS.			
08/07/14	201489181	Construction on the 1st floor without permit to date.			"Discovery of other electrical failures occurred during this time. We were rmeoving section for discovery. Many instances of Dryrot were found"
09/18/14	201494491	WORK W/O PERMIT; WORK BEYOND SCOPE OF PERMIT - 3RD FLOOR BATHROOM VS 1ST FLOOR	ABATED	Permit application 201409186685.	"Many instances of Dryrot were found"
11/14/14	201407451	Construction with windows open while tearing out ceiling and not containing the dust. Concerned about safety and possibly working beyond the scope of the permit.	CLOSED	INSPECTOR SHROEDER STATED "...issued correction notice to extend permit to work done beyond scope of permit. case closed JB"	
04/28/15	201542021	143 Corbett --- Complaint please verify Permit - permit online for a remodel of a bathroom. Work is going on all day, every day, the house was down to the studs and a new electrical box has been installed. There seems to be more going on then a remodel of a small bathroom. Also checking to see if the permit has been suspended.	CLOSED	INSPECTOR SCHROEDER STATED "...work per scope of permits __cs"	"This old Victorian house had many issues. We uncovered probelms in one room which led to uncovering of issues in other rooms. We were chasing the faulty electrical wiring and dry-rot and multiple permits because of the discoveries. Lighting, plumbing, and framing were all in need of repair. Over two years from Aug 2014 to the summer of 2016 we overhauled the structural framing , electrical , and finishes of the upper unit."
08/10/15	201555501	Working outside of scope of permits 201408113493, 201409186685, 201411252473. Enclosing the deck and putting in windows in the deck.	CLOSED	INSPECTOR SCHROEDER STATED "per scope of permits ~cs " AND "... site visist legal existing deck enclosure ~cs [SIC]"	"All the nighbros know it was there, even if they pretend to not know."
12/02/15	201580691	143 Corbett Ave --- Construction without permits on the followings: 1. Closing out the light well between 143 & 145 Corbett Ave. 2. Digging out lower level to put in a new unit. 3. Completely readd the back deck. It's closed in and made it part of the house, completely blocking our view.	CLOSED	INSPECTOR HAJNAL: "Complaint not valid. Multiple permits issued and filed. See PTS for permits and scopes of work"	"Inspector did not state that he saw any illegal expansions or "closures."
08/10/16 TO 06/23/17	201631352	143 Corbett Ave. --- Caller states please inspect. Caller states I want to make sure that this house has permits, and that it is safe to do the work that is being done at this location. This work has been going on for 2 years and there is also scaffolding there on and off and excavation. No Signs posted	CONTINUED	SWITCHED TO SR. INSPECTOR: Multiple Actions by INSPECTOR BIRMINGHAM AND GUTIERREZ ORDER OF ABATEMENT, N.O.V. NOTICES SENT	
03/24/17	201767787	WATER INTRUSION: WORK BEYOND SCOPE OF PERMIT; WORK BEING DONE IN DANGEROUS MANNER; RETAINING WALL COLLAPSE; ; additional information: This is the second complaint I've filed noting damage to our property (3012 Market Street) by the owner of 143 Corbett Avenue. We have taken pictures noting a 1" movement of our retaining wall downhill (toward our house) as well as new cracking and silt/soil flow through our basement wall foundation. It has been nearly a week since the last major rainstorm and we continue to see (we have video footage) of the construction site with a pipe extending from a sump-pump out of the newly excavated sub-level that is literally pumping gallons of rain/waste-water into the 3' x 30' x 30' trench they have dug adjacent to our backyard. Last weekend the property owners p	CONTINUED	INSPECTOR BIRMINGHAM: "143 Corbett Ave. --- Caller states please inspect. Caller states I want to make sure that this house has permits, and that it is safe to do the work that is being done at this location. This work has been going on for 2 years and there is also scaffolding there on and off and excavation. No Signs posted."	"Regarding comments from the owner 3012 Market, his foundation was already crumbling. It was simply a rainy period and he was uncovering his damage. See Geotech report and his narrative about the actual causes of Mr Civic's foundation failure. Mr Civic directly thinks some water runoff is causing for shifting of soils against a pre-existing failing foundation. This was a prexisting condition, and he is misinformed about the ability of the standing water on an adjacent property to cause any foundation damage. The owner destabilized his own soil in his back yard by removing Bamboo."

From: [Board of Supervisors, \(BOS\)](#)
To: [BOS-Supervisors](#); [BOS Legislation, \(BOS\)](#)
Subject: FW: Rescinding my name on a petition signed in favor of construction project at 143 Corbett (file number 180787)
Date: Tuesday, September 04, 2018 9:17:48 AM

From: Ashley Thompson [mailto:athompsonphotography@gmail.com]
Sent: Wednesday, August 29, 2018 7:00 PM
To: Board of Supervisors, (BOS) <board.of.supervisors@sfgov.org>
Subject: Rescinding my name on a petition signed in favor of construction project at 143 Corbett (file number 180787)

My name is Ashley Thompson and I signed a petition that was misrepresented to me by the owners of the home at 143 Corbett Avenue. I rent at 163 Corbett Avenue and it is my understanding that the owner of my building opposes the conditional use authorization that the Planning Commission okayed back in June of this year. Additionally the owners never identified the address for which they were speaking about. As a renter I have been negatively impacted by this on-going construction project and had the owners identified themselves by address I would have certainly never signed this misleading petition.

Thank you so much,
Ashley Thompson

From: [BOS Legislation. \(BOS\)](#)
To: [BOS-Supervisors](#); [BOS-Legislative Aides](#)
Cc: [BOS Legislation. \(BOS\)](#)
Subject: PUBLIC CORRESPONDENCE: Appeal of Conditional Use Authorization - 143 Corbett Avenue - Appeal Hearing on September 4, 2018
Date: Friday, August 31, 2018 3:34:02 PM
Attachments: [image001.png](#)
[Public Corres 143 Corbett.pdf](#)
[Public Corres 143 Corbett Ave.pdf](#)

Greetings,

Please find attached public correspondences received by the Office of the Clerk of the Board from Stephen Williams of the Law Offices of Stephen M. Williams, regarding the appeal of the Conditional Use Authorization for the proposed project at 143 Corbett Avenue.

Since the agenda packet has already been compiled prior to receiving this document, these public correspondences are provided to you for information and consideration.

If there are any questions or concerns, please do not hesitate to contact our office.

Regards,

Lisa Lew
San Francisco Board of Supervisors
1 Dr. Carlton B. Goodlett Place, Room 244
San Francisco, CA 94102
T 415-554-7718 | F 415-554-5163
lisa.lew@sfgov.org | www.sfbos.org



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CITY AND COUNTY OF
SAN FRANCISCO

Board of Supervisors

143 Corbett Avenue
CU Appeal
Sept. 4th, 3pm
file no. 180787

RECEIVED
BOARD OF SUPERVISORS
SAN FRANCISCO

2018 AUG 31 PM 2:41

BY ll

Driggs/Creelman Request:

- Approve all CU findings including adding of 2nd Unit, with one condition:

Condition: Return rear yard 3 story deck to last permitted exterior configuration

- 1988 was last publicly documented permit for "existing deck"
- See 1991 photo of exterior, rectangular, 2 level deck

Rationale - The rebuilt 3 level deck structure was built unpermitted and never approved plans

- There is simply no permit or approved plans/variance for 3 story enclosed deck
- CU Application and Planning incorrectly presented decks as legalized at CU Hearing
- The CHLR SUD was created specifically to limit rear-yard encroachments just like this

Hi Jennifer,

Thank you for the email and photos. I understand your concern and how frustrating this must be for you.

At this point in time, it has been made clear to the property owners, after extensive review of the permit history to determine what is legal and what is not, that a building permit is required for ALL work. All work will be included on a single permit, so that this practice of serial permitting in an attempt to confuse/hide the true nature of the work can stop.

Below is a list that I previously gave to the owner and his team on what we need to see in the permit.

1. **Deck at the top floor:** the deck at the top floor of the property was never added with a Building Permit. In 2002 (2002.1010.8753), existing plans were submitted to do repair work on the spiral stairs, and no deck existed at the top floor. It was only with the submittal of a permit in 2014 (201409186685) that a deck was shown as existing.
2. **Breakfast nook:** similarly, the 2002 permit does not show the breakfast nook in its current configuration. In 2002 it had a straight wall, not bay windows as it does not, and a deck existed. It was only with the submittal of the 2014 permit (201409186685) where the nook was shown as it exists today, with no deck.
3. **Upper basement level addition of storage area:** the storage area at the front of the property on the upper basement level appears to have been added without a permit. The aforementioned 2002 permit does not show a storage area, but is shown in the 2014 permits.
4. **Addition of the entire lower basement level:** the entire lower basement level appears to have been excavated and created without benefit of a Building Permit.

My understanding is that the building permit should be submitted sometime this week, or early next. In the meantime, no work should be occurring on site, except for foundation work to correct things they have done without permit. I advise you to contact Joe Duffy ASAP if you witness anything out of the ordinary.

Once the permit is submitted, we will conduct a thorough review to make sure it's accurately portraying the existing conditions (and legal conditions) of the property, and what is proposed. After that, we will put it through our design guidelines to ensure it is compatible with the neighborhood. Often times projects become small or similar in context to their neighbors. This includes ensuring that certain features are not right up against the property line. Time will tell what changes come from this.

Once we are comfortable with the project, we then will send it out to notice, wherein you will have an opportunity to review and appeal, if you wish. I can assure you that you will have a chance to say your piece before this is done.

Let me know if you have any follow up questions.

Matt

Matt Dito

Planner | Code Enforcement

San Francisco Planning Department

1650 Mission Street, Suite 400, San Francisco, CA 94103

Tel.: 415-575-9164 | Fax: 415-558-6409

[San Francisco Property Information Map](#)

From: Dito, Matthew (CPC)
Sent: Tuesday, March 21, 2017 5:37 PM
To: Ilene Dick
Cc: Rajan Raghavan; francisco@fjsandoval.com; 'Mark Cruz'
Subject: 143 Corbett Avenue

Hi Ilene

After reviewing the permit history at 143 Corbett Avenue and discussing with DBI, it appears there are four major issues that need to be corrected. They are outlined below.

1. **Deck at the top floor:** the deck at the top floor of the property was never added with a Building Permit. In 2002 (2002.1010.8753), existing plans were submitted to do repair work on the spiral stairs, and no deck existed at the top floor. It was only with the submittal of a permit in 2014 (201409186685) that a deck was shown as existing.
2. **Breakfast nook** similarly, the 2002 permit does not show the breakfast nook in its current configuration. In 2002, it had a straight wall, not bay windows as it does not, and a deck existed. It was only with the submittal of the 2014 permit (201409186685) where the nook was shown as it exists today, with no deck.
3. **Upper basement level addition of storage area:** the storage area at the front of the property on the upper basement level appears to have been added without a permit. The aforementioned 2002 permit does not show a storage area but is shown in the 2014 permits.
4. **Addition of the entire lower basement level:** the entire lower basement level appears to have been excavated and created without benefit of a Building Permit.

In order to move forward, a building permit application will have to be submitted showing three things: 1) the legal configuration of the property (prior to any unpermitted additions), 2) the as-built condition of the property, and 3) the proposed final layout.

Additionally, due to the excavation work, it is possible that an Environmental Evaluation will be required. One thing to note: the addition of the deck at the top floor and bay windows on the breakfast nook may require a Variance if not within the buildable area of the lot. I also want to clarify that I do understand that most, if not all, of these issues may have been created by the previous owner and passed on to Mr. Raghavan. Unfortunately, as the current property owner, he is the responsible party at this time.

If you wish to set up a time to meet and review the plans I have, I am available most of next week. This week is a little crowded.

Matt Dito

Planner | Code Enforcement
San Francisco Planning Department
1650 Mission Street, Suite 400, San Francisco, CA 94103
Tel: [415 575 9164](tel:4155759164) | Fax: [415 558 6409](tel:4155586409)

[San Francisco Property Information Map](#)

143 Corbett Permit History - Sponsor/Owner researched permits Prior to Purchase

- History shows: NO permits for Horizontal additions, NO 3 story deck, No enclosure of deck, NO lot line extension
- 1998 Permit clearly covers existing deck ONLY - Inspector specifically noted "no new deck" allowed
- Permit #200210108753 is incorrectly being positioned as legalizing a 3 story enclosed deck

[illegible]

143 Corbett Deck Permit / Planning History (see corresponding slides)

<1988 No history of permits or variance approval for 3 story deck, enclosed nooks, or property line extensions

- Variances Required for rear yard encroachment in our small Corbett Avenue lots
- Neighbors at 145 Corbett have permit and approved variance legalizing 3 story deck (public record)

1988 first known permit for "existing deck" at 143 Corbett – Permit for "Repair Existing Deck"

- Permit Specifically notes **"Delete new deck from scope of work"**
- 1988 DBI written position on the last known permit: there is to be **no "New Deck"**
- 1991 Picture - Best evidence of what the "existing deck" looked like during 1988 Deck Permit
- View of 143 Corbett Deck as part of 145 Corbett Deck Variance Application

2000 NOV – Repair Replace rear stairs and landing

- 2002 Permit - #200210108753 - Sponsors/DBI/Planning are positioning this permit as legalizing all 3 levels of deck,
- This permit was for corrective action per 2000 NOV to repair deteriorated rear spiral stairs
- DBI and Planning state the deck and bay **"must be assumed to have been considered legal** at time of approval of #200210108753"

HOW CAN THIS BE TRUE/ACCURATE?? - IS THIS THE NEW PLANNING AND DBI STANDARD??

2004 Picture – unpermitted 3 season exterior deck – sliders separating kitchen/living area

October 2016 - NOV Issued:

- Upper floor deck created, 2 levels dug out....

March 2017 - Matt Dito informed the Sponsor of 143 Corbett:

- Upper floor deck is not permitted or approved with planning
- Breakfast nook in 2002 it had straight walls.....**and a deck existed"**
- Only is 2014 was the "nook as it is today **with no deck"**

(1988) 143 Corbett Deck Permit – Repair Existing Deck ONLY
 DBI Specifically wrote to delete new deck from scope of work
 In 1988, DBI Taking position of no deck expansion allowed

1. PROJECT, TRAIL, SHORT, AND LONG

NAME: 11-16-87 183960 143 Corbett Street, S.F. Ca. 94114 Lot 60 DATE: 4/8/88 11/24/87

2. ESTIMATED COST OF JOB: \$5,000.00 FEE: \$200.00

3. INFORMATION TO BE FURNISHED BY ALL APPLICANTS

4. TYPE OF CONSTRUCTION: 5-N (1) TYPE OF CONSTRUCTION: 1 (2) TYPE OF CONSTRUCTION: 1 (3) TYPE OF CONSTRUCTION: 1

5. DESCRIPTION OF BUILDING AFTER PROPOSED ALTERATION: Single Fam. Dwelling

6. OCCUPANCY CLASS: R-3

7. TYPE OF CONSTRUCTION: 5-N (1) TYPE OF CONSTRUCTION: 1 (2) TYPE OF CONSTRUCTION: 1 (3) TYPE OF CONSTRUCTION: 1

8. GENERAL CONTRACTOR: DENNIS B. WHITEHEAD 150 HOMERIDGE 130 HOMERIDGE 370596 54

9. OWNER: LEASE (CHECK ONE) William K. Schwarz 143 Corbett Street, S.F. Ca. 94114 803-2810

10. WRITE IN DESCRIPTION OF ALL WORK TO BE PERFORMED UNDER THIS APPLICATION (REFERENCE TO PLANS IS NOT SUFFICIENT)

Demolish back porch and stair and add new redwood deck at first and second floors

repair existing DECK ONLY
 delete new DECK FROM SCOPE OF WORK
 Global Hand

11. ADDITIONAL INFORMATION – FORM 3 APPLICANTS ONLY 4-1-88

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11. ADDITIONAL INFORMATION – FORM 3 APPLICANTS ONLY 4-1-88

(3/2017) Matt Dito to Sponsors

- Upper Deck NOT added with Permit
- Nook not permitted in current config.
- In 2002 "a deck existed"
- Only w/2014 permit "with no deck"

Original planner Matt Dito informed the Sponsors on 3/21/2017 that they as owners are "responsible party at this time"

From: Dito, Matthew (CPC)
Sent: Tuesday, March 21, 2017 5:37 PM
To: Ilene Dick
Cc: Rajan Raghavan, francisco@fsandoval.com; Mark Cruz
Subject: 143 Corbett Avenue

Hi Ilene,

After reviewing the permit history at 143 Corbett Avenue and discussing with DBI, it appears there are four major issues that need to be corrected. They are outlined below.

1. **Deck at the top floor:** the deck at the top floor of the property was never added with a Building Permit. In 2002 (2002 1010-8753), existing plans were submitted to do repair work on the spiral stairs, and no deck existed at the top floor. It was only with the submittal of a permit in 2014 (201409186885) that a deck was shown as existing.
2. **Breakfast nook:** similarly, the 2002 permit does not show the breakfast nook in its current configuration. In 2002 it had a straight wall, not bay windows as it does not, and a deck existed. It was only with the submittal of the 2014 permit (201409186885) where the nook was shown as it exists today with no deck.
3. **Upper basement level addition of storage area:** the storage area at the front of the property on the upper basement level appears to have been added without a permit. The aforementioned 2002 permit does not show a storage area, but is shown in the 2014 permits.
4. **Addition of the entire lower basement level:** the entire lower basement level appears to have been excavated and created without benefit of a Building Permit.

In order to move forward a building permit application will have to be submitted showing three things: 1) the legal configuration of the property (including any unpermitted additions), 2) the as-built condition of the property, and 3) the proposed final layout.

Additionally, due to the excavation work, it is possible that an Environmental Evaluation will be required. One thing to note, the addition of the deck at the top floor and bay windows on the breakfast nook may require a variance if not within the buildable area of the lot. I also want to clarify that I do understand that most, if not all of these issues were created by the previous owner and passed on to Mr. Raghavan. Unfortunately as the current property owner, he is the responsible party at this time.

If you wish to set up a time to meet and review the plans I have, I am available most of next week. This week is a little crowded.

Matt Dito

Planner | Code Enforcement
San Francisco Planning Department

(2016) Oct 24, DBI issues NOV 143 Corbett Ave.

1. A new deck created at top roof level
2. Two level constructed below street level
3. Installation of new bathrooms
4. Backyard level has been excavated

PERSON CONTACTED @ SITE: RAGHAVEN RAVI

VIOLATION DESCRIPTION:

- ☐ WORK WITHOUT PERMIT
- ☒ ADDITIONAL WORK-PERMIT REQUIRED
- ☐ EXPIRED OR ☐ CANCELLED PERMIT PA#:
- ☐ UNSAFE BUILDING ☐ SEE ATTACHMENTS

A site inspection and a review of issued building permits has revealed that work is being performed that exceeds the scope of work approved. The property is described on city record as a 2 story building. At time of inspection it was noted that the property appears to have four levels. Two levels have been created below street level. New framing has been done at new floors including the installation of new bathrooms. Backyard level has been excavated and is lower than previous. Retaining walls have been undermined. A new deck has been constructed at top roof level.

CODE SEC. 100A.4.7

CORRECTIVE ACTION:

☒ STOP ALL WORK SFBC 104.2.4

☒ FILE BUILDING PERMIT WITHIN 30 DAYS

☒ OBTAIN PERMIT WITHIN 60 DAYS AND COMPLETE ALL WORK WITHIN 120 DAYS, INCLUDING FINAL INSPECTION AND OFF.



NOTICE OF VIOLATION

of the San Francisco Department of Public Health, regarding the use of the property at 143 Corbett Ave. (City of Boston)

DATE: 10/24/16

DEPARTMENT OF PUBLIC HEALTH
San Francisco, California

PROPERTY: 143 CORBETT AVE.

ADDRESS: 143 CORBETT AVE.

CITY: BOSTON

STATE: MASSACHUSETTS

COUNTY: SUFFOLK

ZIP: 02111

PHONE: 617-552-3100

FAX: 617-552-3100

EMAIL: public.health@cityofboston.gov

WEBSITE: www.cityofboston.gov

OFFICE: 100 STATE STREET, 10TH FLOOR, BOSTON, MA 02109

HOURS: MONDAY - FRIDAY, 9:00 AM - 5:00 PM

VIOLATION DESCRIPTION:

WORK WITHOUT PERMIT

ADDITIONAL WORK-PERMIT REQUIRED

EXPIRED OR CANCELLED PERMIT PA#:

UNSAFE BUILDING

SEE ATTACHMENTS

STOP ALL WORK SFBC 104.2.4

FILE BUILDING PERMIT WITHIN 30 DAYS

OBTAIN PERMIT WITHIN 60 DAYS AND COMPLETE ALL WORK WITHIN 120 DAYS, INCLUDING FINAL INSPECTION AND OFF.

DATE: 10/24/16

BY: [Signature]

TITLE: [Title]

DEPARTMENT: [Department]

CITY: [City]

STATE: [State]

COUNTY: [County]

ZIP: [ZIP]

PHONE: [Phone]

FAX: [Fax]

EMAIL: [Email]

WEBSITE: [Website]

OFFICE: [Office]

HOURS: [Hours]

VIOLATION DESCRIPTION:

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EMAIL: [Email]

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HOURS: [Hours]

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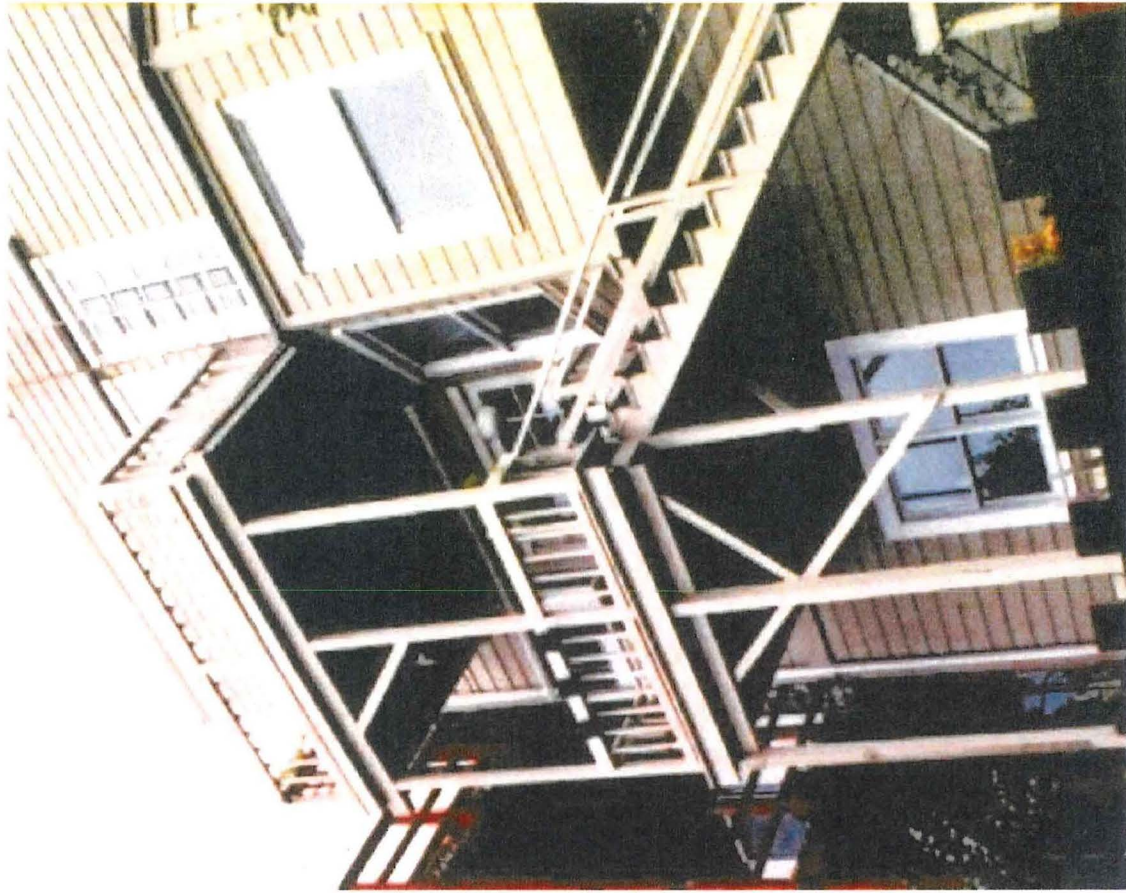
WORK WITHOUT PERMIT

ADDITIONAL WORK-PERMIT REQUIRED

EXPIRED OR CANCELLED PERMIT PA#:

(1991) 143 Corbett Deck Picture

From 145 Corbett Deck Planning Variance Application
Open Air Exterior Main Level and Upper Deck
No lower level deck



(2000) NOV 143 Corbett NOV

— Repair/Replace rear stair and landing



CITY AND COUNTY OF SAN FRANCISCO
1660 Mission Street
San Francisco, CA 94103-2414

NOTICE OF VIOLATION

COMPLAINT: 200007945

OWNER/AGENT: BARBIERI DAVID C & BARBIERI CA

MAILING

ADDRESS: BARBIERI DAVID C & BARBIERI

DATE: 08-SEP-00

LOCATION: 143 CORBETT AV

143 CORBETT AVE

LOT: 060

SAN FRANCISCO CA

94114

NOTICE TYPE: COMPLAINT

BUILDING TYPE: NA USE TYPE: R3

YOU ARE HEREBY ORDERED TO COMPLY WITH THE FOLLOWING REQUIREMENTS:

1 BUILDING PERMIT REQUIRED (301 HC)

DESCRIPTION

TO REPAIR /REPLACE DEFECTIVE REAR STAIR AND
LANDING IN 30 DAYS AND COMPLETE WORK IN 180
DAYS.

ALL ITEMS MUST BE COMPLETED WITHIN 30 DAYS. REINSPECTION DATE : 10 October 2000 10:45 AM

IT IS RECOMMENDED THAT THE OWNER/OWNERS REPRESENTATIVE CONFIRM REINSPECTION DATE/TIME.

CONTACT HOUSING INSPECTOR : Yasu Morikawa AT 415-558-6192

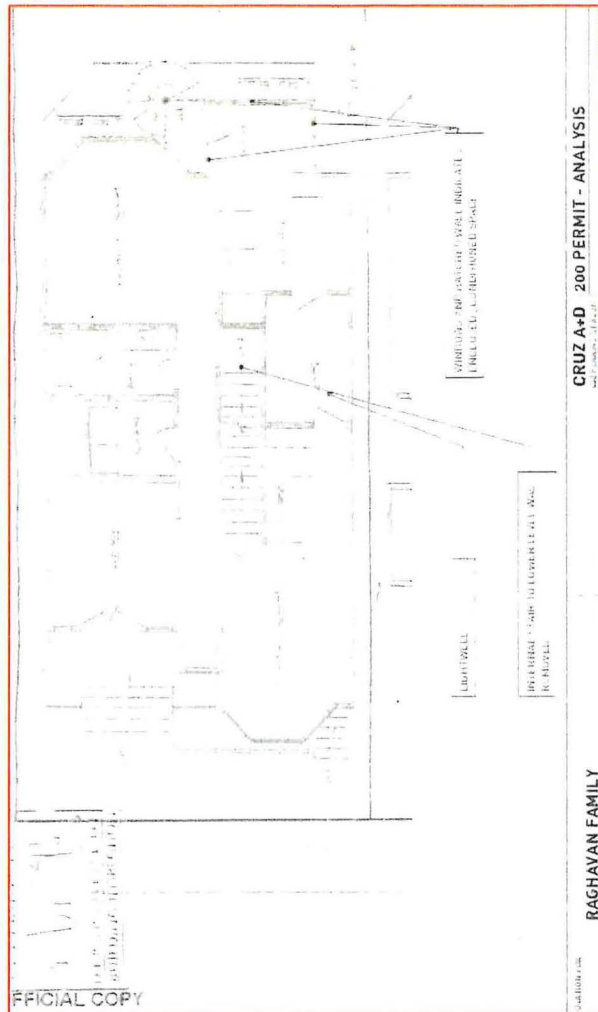
FOR EVERY INSPECTION AFTER THE INITIAL RE-INSPECTION, A \$71.58 FEE WILL BE CHARGED UNTIL THE
VIOLATIONS ARE ABATED. SER# 1088

(2002) Permit in Question #20021018753 - To repair stairs per NOV

- Planning/DBI position that this plan from the 2002 permit legalized breakfast nook and upper floor deck

Permit:	200210108753
Form:	8 - Alterations Without Plans
Filed:	10/10/2002
Address:	143 CORBETT AV
Parcel:	2656/060
Existing:	1 FAMILY DWELLING
Proposed:	1 FAMILY DWELLING
Existing Units:	1
Proposed Units:	1
Status:	COMPLETE
Status Date:	11/18/2002
Description:	REPAIR DETERIORATED REAR SPIRAL STAIRS, REPLACE VARIOUS DRY-ROTTED PER PA #200208012891
Cost:	\$3,000.00

2002 Permit Drawing - Planning/DBI position that this plan from the 2002 permit legalized breakfast nook and upper level deck



Permit:	200201106676
Form:	8 - Alterations Without Plans
Filed:	1/10/2002 2:31:47 PM
Address:	143 CORBETT AV
Parcel:	2656/060
Existing:	1 FAMILY DWELLING
Proposed:	1 FAMILY DWELLING
Existing Units:	1
Proposed Units:	1
Status:	EXPIRED
Status Date:	5/10/2002 2:41:35 PM
Description:	RENEW APP #200011105445
Cost:	\$3,000.00

Permit:	200011105445
Form:	8 - Alterations Without Plans
Filed:	11/10/2000 4:31:34 PM
Address:	143 CORBETT AV
Parcel:	2656/060
Existing:	1 FAMILY DWELLING
Proposed:	1 FAMILY DWELLING
Existing Units:	1
Proposed Units:	1
Status:	EXPIRED
Status Date:	3/10/2001 4:37:29 PM
Description:	REPAIR REAR EGRESS STAIRS PER N
Cost:	\$3,000.00

Permit:	200208012891
Form:	8 - Alterations Without Plans
Filed:	8/12/2002 2:24:40 PM
Address:	143 CORBETT AV
Parcel:	2656/060
Existing:	1 FAMILY DWELLING
Proposed:	1 FAMILY DWELLING
Existing Units:	1
Proposed Units:	1
Status:	COMPLETE
Status Date:	11/18/2002
Description:	TO RENEW APP#200201106676 FOR FINAL INSPECTION
Cost:	\$3,000.00

(2018) Planning Response to request for approved permits and plans for deck

- DBI/Planning response = "Assumed to have been considered legal"
- Is that the new DBI and Planning verification standard? Assume??
- With irrefutable evidence, how can we still 'assume' that the deck/bay was legal

I met with DBI, Joe Duffy and Pat O'Riordan, last week. They confirmed their position that the deck and bay were acknowledged as existing and must be assumed to have been considered legal at the time of the approval of BPA #2002-10-008753. The rationale is that a Planner and a DBI Inspector would not have signed a repair permit on a structure that was not legally existing (This is how both Planning and DBI would both handle a repair permit today). The Planner, Art Aguilar, signed on 01/02/2002 and an Inspector, Davis Pang, signed on 10/10/2002; stamped and signed the permit and plans.

- Jeff Horn 8/2018

2004/2005 143 Corbett Deck Condition

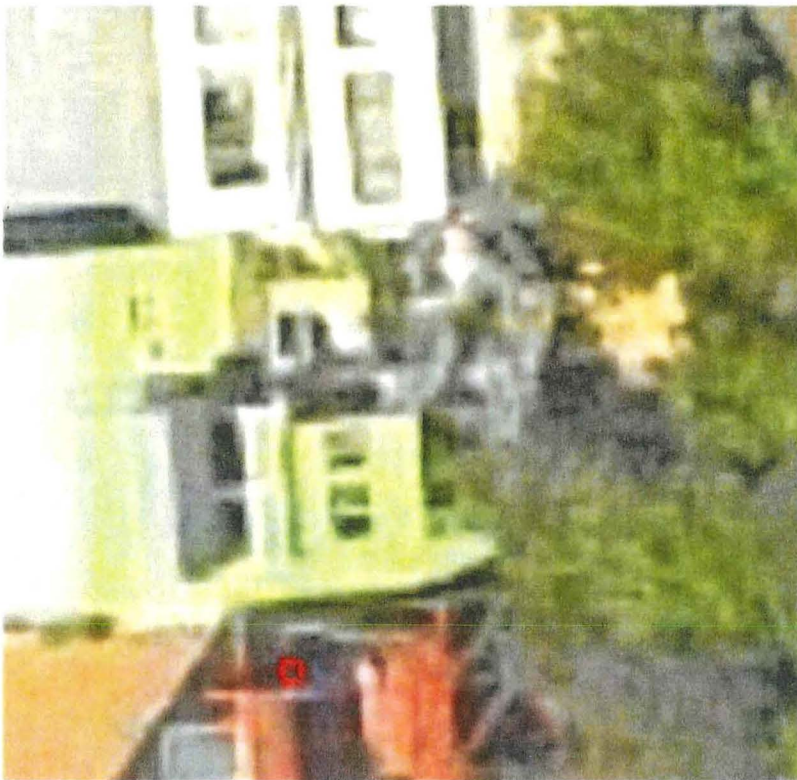
145 Corbett owners moved in 7/2005

- Rear deck was an exterior wood decking material
- 3 season type thin paneled wood base (uninsulated)
- Single pane windows, large full view windows
- Separated from kitchen by sliding door

2005 - 2014 - Many illegal expansions of bay and to lot line, enclosures of nook and addition of deck

- Why did neighbors not complain?
 - It slowly happened over the years and we were quite frankly unaware to zoning laws at that time.
- We hired an architect in 2014, he first informed us the 143 Deck was illegal due to zoning laws and CHLR SUD

- All neighbors should have the same rules to follow, and just because the rules were overlooked regarding the 143 Corbett deck, the rights, views, privacy of other neighbors should not be diminished because of this oversight.



From Variance Application

August 2004.

- Enclosed square bay breakfast nook
- Rear wall of the bay appears to have solid base with windows on upper portion
- Overhanging deck with roof at top floor

Out of Character with Neighborhood – Reduces privacy with neighbors and reduces asset value

143 Corbett Breakfast nook completely rebuilt:

- Without permits, planning, or neighbor notification
- Window enclosed to create wall along 145 property line

View from 3012 Market Street - This deck is total invasion of privacy

- No other homes have enclosed decks encroaching so far into rear yard

145 Corbett Avenue light, air, privacy and view blocked

- Other neighbors cannot expand due to CHLR SUD - Loss in asset value

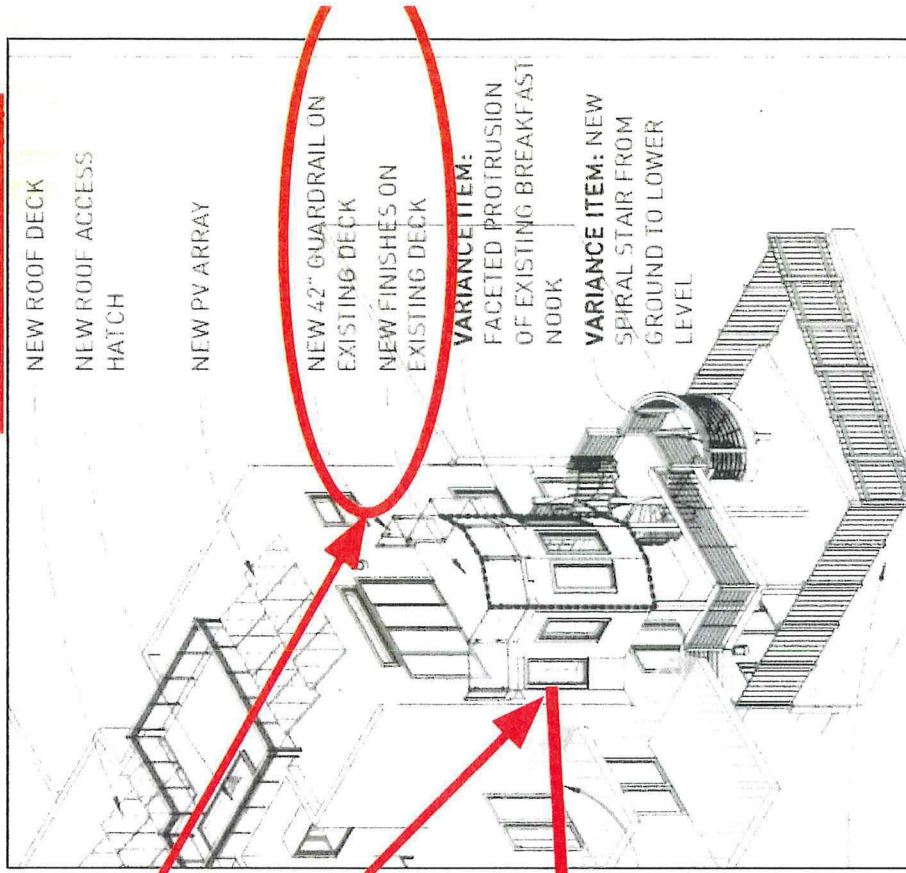
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-Sponsors of 143 Corbett rebuilt structure in 2015 adding a wall on 143/145 property_line

143 Corbett Complete Rebuild of rear deck structure

- Enclosed window, build wall to property line
- CU Application shows a window
- Assuming decks legalized by claiming (Existing)

Pic from CU App



Pic taken Aug. 2018

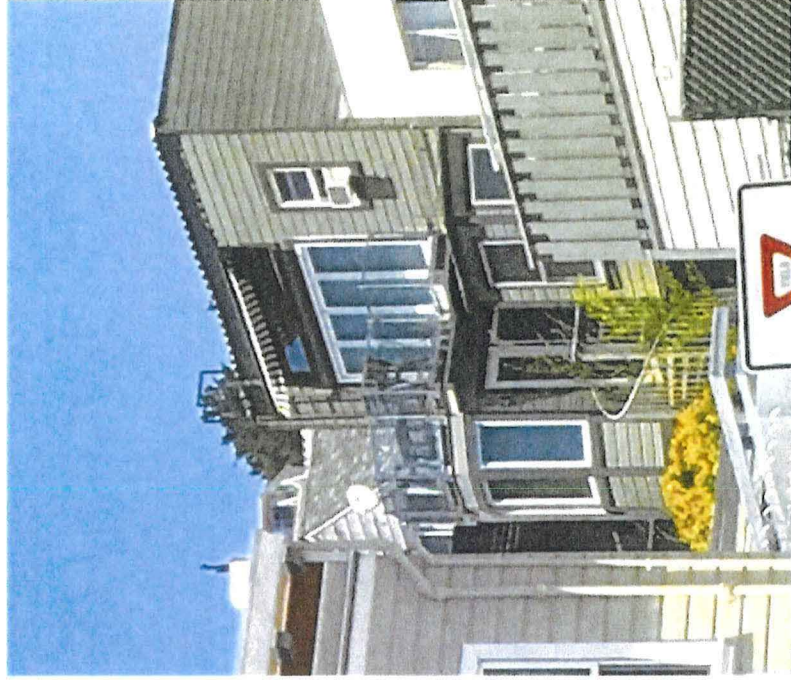
143 Corbett view from Market Street

- Neighbors below feel the nook invades their privacy - living on top of them
- Extension of home is visible from Market street

View looking up from 3012 Market



143 Corbett View corner Market/Hattie



143 Corbett enclosed main floor deck (Breakfast nook)

- 145 view now a wall and window
- Breakfast nook extends well beyond allowed under CHLR SUD

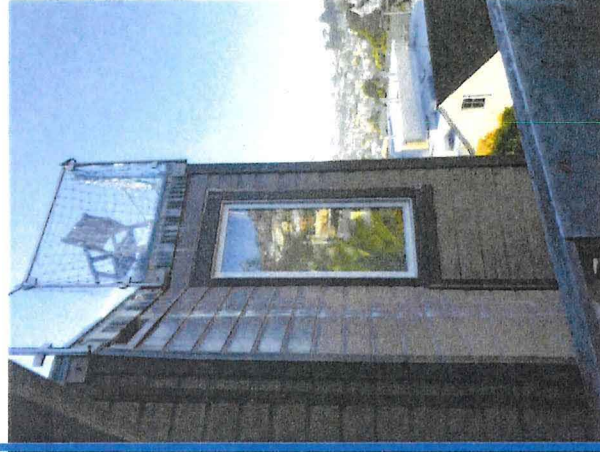
East from main level
Looking at wall / window



East from upper level
Open light / sky / air



Looking east main level
Looking into window



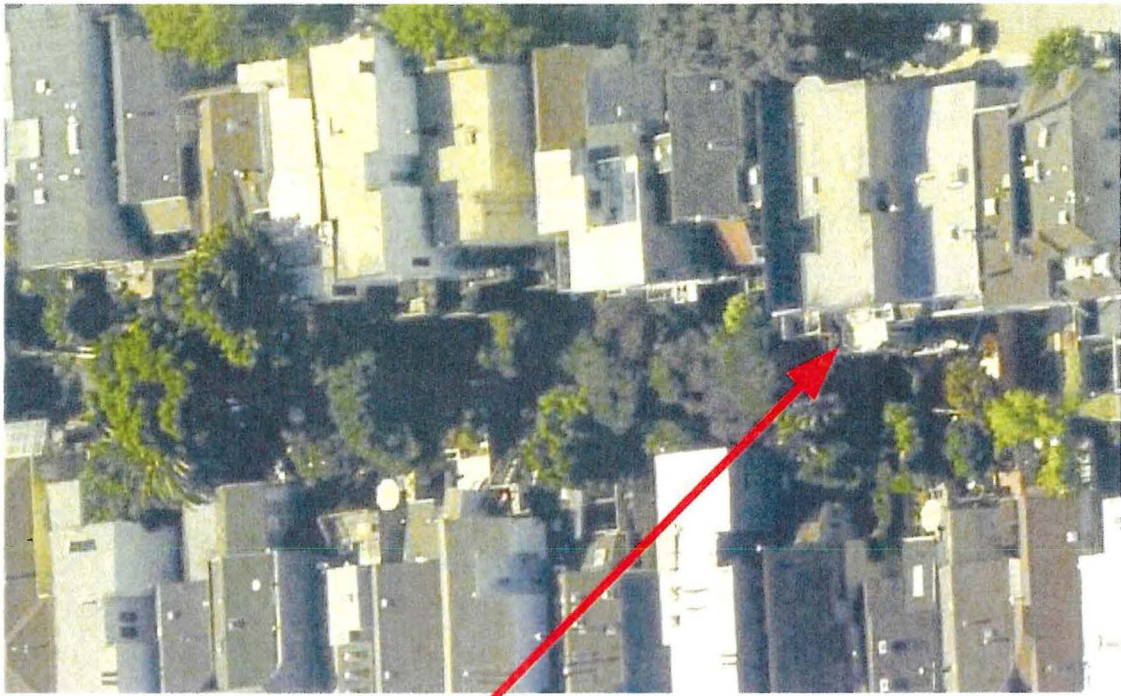
Looking west main level
No other enclosed decks



143 Corbett enclosed deck

- No other enclosed 3 story decks encroaching so far into rear yard





143 Corbett enclosed deck

- Few if any enclosed 3 story decks



Corona Height Large Residence Special Use District Variance Request

143 Corbett is already well over allotted rear yard coverage 45%

CU / Variance Application is ONLY Requesting:

- horizontal protrusion/extension of deck bay 18" (nook & Upper deck)
- Property line extension to 145 Corbett line (nook & Upper deck)

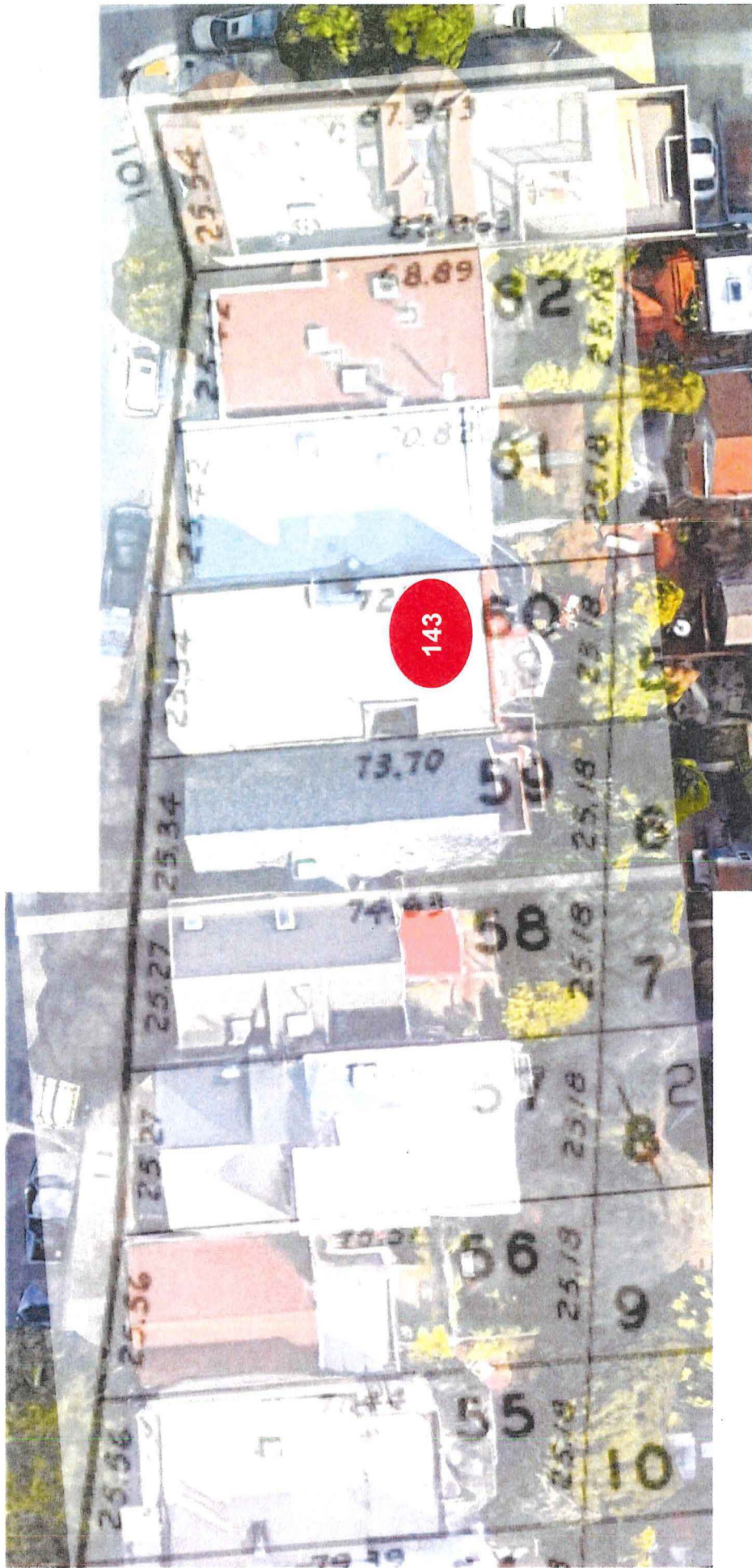
PROBLEM: The Upper Deck, and breakfast nook deck/enclosure, lower level deck, are not permitted per planning and building department notifications. This was identified 2 times:

1. Per NOV
2. Notification from Matt Dito

Question: How can DBI and Planning now "assume" the decks are approved and permitted??

100's Corbett Avenue – Lots already >55% coverage

- Well above CHLR SUD limits already



143 Corbett CU / Variance Application 6/2018

- Only requesting extension of bay and side extension
- Claiming (Assuming) Upper Deck is permitted
- Even After NOV & Dito Notices say they are unpermitted
- What about legalizing Upper Deck and Nook?

<p>THE DESIGN OF THE HOUSE IS A MODERN, OPEN-CONCEPT LAYOUT. THE HOUSE IS A TWO-LEVEL HOME WITH A GARAGE, PORCH, AND SIDE PATIO. THE HOUSE IS A TWO-LEVEL HOME WITH A GARAGE, PORCH, AND SIDE PATIO.</p>	<p>THE DESIGN OF THE HOUSE IS A MODERN, OPEN-CONCEPT LAYOUT. THE HOUSE IS A TWO-LEVEL HOME WITH A GARAGE, PORCH, AND SIDE PATIO. THE HOUSE IS A TWO-LEVEL HOME WITH A GARAGE, PORCH, AND SIDE PATIO.</p>	<p>THE DESIGN OF THE HOUSE IS A MODERN, OPEN-CONCEPT LAYOUT. THE HOUSE IS A TWO-LEVEL HOME WITH A GARAGE, PORCH, AND SIDE PATIO. THE HOUSE IS A TWO-LEVEL HOME WITH A GARAGE, PORCH, AND SIDE PATIO.</p>
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CRUZ A+D PROJECT INFORMATION

CRUZ A+D PROJECT INFORMATION

Quotes from Planning hearing

DENNIS RICHARDS

"Turning point in the city getting serious about these types of transgressions"

"How project sponsored handled themselves" can't support granting CU
Sponsors have the means, education, support, and know how, to better understand

KATHRIN MOORE

"The whole issue which weighs on me, someone Spending a lot of time getting away with a lot"

"Concerned over light quality"

"This is an ethical question, who are also opening the door for others to just do the same"

145 Corbett Variance Approval - Legalize 3 story Deck



City and County of San Francisco
Department of City Planning

450 McAllister Street
San Francisco, CA 94114

APPROVED FOR THE
CITY PLANNING COMMISSION
ON 12/9/91
BY THE CITY PLANNING
COMMISSION
(12/9/91)

December 9, 1991

VARIANCE DECISION

UNDER THE CITY PLANNING CODE
CASE NO. 91-442V

APPLICANT: Larry B. Ferolite
260 Chattanooga Street
San Francisco, CA 94114

PROPERTY IDENTIFICATION: 145 CORBETT STREET, south side between Harris and
Danvers Streets; Lot 59 in Assessor's Block 2656 in
an RH-2 (House, Two-Family) District.

DESCRIPTION OF VARIANCE SOUGHT:

REAR YARD VARIANCE SOUGHT: The proposal is
to allow retention of a three level deck
constructed without permit at the rear of
the two story, two unit building.

Section 134 of the Planning Code requires an
average rear yard depth of approximately 31
feet for the subject property, measured from
the rear property line. The requested deck
and stairs extend 9 feet from the existing
rear building wall, to within an average of
approximately 13.5 feet of the rear property
line.

Section 188 of the Planning Code prohibits
the expansion of noncomplying structures.
Because a portion of the existing building
(not including the requested deck) is within
the required rear yard, it is considered a
legal, noncomplying structure. Therefore,
expansion to the rear by adding a deck, as
proposed, is contrary to Section 188.

PROCEDURAL BACKGROUND:

1. This proposal was determined to be
categorically exempt from Environmental
Review.
2. The Zoning Administrator held a public
hearing on Variance Application No. 91-442V
on October 23, 1991.

ON: GRANTED, to allow retention of a three level deck constructed
without permit at the rear of the two story, two unit building
in general conformity with plans on file with this application,
shown as Exhibit A and dated July 26, 1991, subject to the
following conditions:

1. That the requested rear deck be pulled in by at least five
feet from both side property lines. This is intended to
ensure that the requested rear deck meet the Building Code
requirements without the construction of a firewall.

Section 305(c) of the City Planning Code states that in order to
grant a variance, the Zoning Administrator must determine that
the facts of the case are sufficient to establish the following
five findings:



Malia Cohen, President
 San Francisco Board of Supervisors
 1 Dr. Carlton B. Goodlett Place, Room 244
 San Francisco, CA 94102

August 29, 2018

Re: Neighbors' Letter Brief in Support of the Appeal by Corbett Heights Neighbors of the Conditional Use Authorization Granted for 143 Corbett Avenue

Hearing Date: September 4, 2018

Time of Hearing: Special Order 3p.m.

Building Addition More Than 3,000 Sq. Ft; Conditional Use Authorization for Intrusions into the Minimum Required Rear Yard—Corbett Heights Large Residence Special Use District (SUD)

President Cohen and Members of the Board of Supervisors:

INTRODUCTION

This office represents Jennifer Creelman and Chip Driggs who live next door (to the west) of the subject site at 145 Corbett Street. We now write in support of the Appeal brought by the Corbett Heights Neighbors ("CHN") the dedicated neighborhood association that obtained the community support to file an appeal and oppose the granting of the Conditional Use Authorization (CUA) at 143 Corbett Avenue.

All the surrounding neighbors and the Corbett Height Neighbors oppose the granting of a Conditional Use Authorization and variances to the Project Sponsors in this case. Sponsors purchased the historic home four years ago and immediately set about to nearly double its square footage by excavating two new floors of occupancy and expanded the building into the minimum required rear yard---all without notice to neighbors or neighborhood groups and without permits or plans.

Working illegally for more than two years, Sponsors did this by deception and serial permitting and *without* neighborhood notice, *without* proper permits, *without* variances or conditional use authorization, *without* complying with CEQA or the Maher Ordinance, *without* testing the soil or obtaining a geotechnical report on a very steep slope, *without* a shoring plan, *without* an architect or engineer and *without* any conscience or consideration for their neighbors. The neighborhood has been subjected to a non-stop four-year construction project and have had their homes and lives disrupted and put in danger by the Sponsors reckless and dangerous activities. To top it all off, the Sponsors (who are wealthy tech investors from Saratoga) then *sued* their adjacent neighbors in San Francisco Superior Court for the sole purpose of stopping the neighbors from objecting to Planning and DBI about their illegal and dangerous construction activities.

Amazingly, this long history of multiple, dangerous violations, lying and cheating is mentioned only briefly in the packet from the Dept. And even more amazing is that the Project Sponsors go on the attack (again) with the brief submitted by Ms. Dick accusing

the neighbors and the president of the local neighborhood association of lying about the project sponsors. The Building and Planning Depts also calls it “illegal” or “unpermitted” work. Are the Depts also lying? The Board must decide who is credible and what really happened. How did the building go from 2 to 4 stories with no proper review, plans or permits? The sole reason this case is before the Board is to retroactively paper-over the years of multiple violations by the Sponsors as they terrorized the neighborhood and refused to comply with the Planning or Building Codes. The sole reason this permit is before the Board is to abate multiple, shocking violations found by DBI and Planning nearly two years ago.

The Sponsors purchased the building in May 2014 and immediately set to completely gut the building *without any* permits and to add two new floors of occupancy (The have added approx. 1500 new square feet) The neighbors filed the first complaint in August 2014, and Sponsors dodged that complaint by lying to DBI and got a permit to, “*repair dry rot on floor and wall of third floor bathroom.*” At that time, there was no third floor, no dry rot and the work was being done on the first floor. For the next two years, every time the neighbors would file a complaint and ask DBI to inspect the Sponsors lied and obtained a new false permit. This went on for two full years. Because of this intentional and continuing deception (and false serial permitting) by the Sponsors it took two years for DBI to act and finally, the first NOV was issued October 24, 2016.

It is without question that the Project Sponsors (and not just their contractors) have intentionally and knowingly violated numerous code provisions and now seek to legalize it by receiving a CUA.

Sponsors did the following with utter impunity and deceit:

1. **Serial Permitting:** Sponsors obtained more than twenty (20) serial permits, *over-the-counter* to avoid Planning and DBI review and to deceive the community and DBI about the scope and extent of the Project despite the need for a CUA, variances, Planning Dept. applications, engineering, CEQA review, Maher compliance etc.;

2. **Illegal Lot Line Excavation:** Sponsors dangerously excavated *two* new floors of occupancy on a steep slope and far below the neighbors’ foundations, *without* engineering/soil testing, *without* notice under the Civil Code or Building Code or approved plans or geotechnical review or a shoring plan---placing the neighbors in grave danger;

3. **Violations of the Special Use District:** By adding *two* new floors of occupancy *without* review or approval the sponsors added over 1500 s. f. of new occupiable space in violation of the Corona Heights Large Residence Special Use District limits of 3000 sq. ft.

4. **Illegal Flooding of Downhill Neighbors:** Completely excavated the rear yard undermining retaining walls and causing serious drainage issues. Sponsors then illegally pumped water directly down the steep slope onto the Market Street neighbors;

5. **Illegal Addition in Required Rear Yard:** Rebuilt to enclose (with walls and windows) second-floor rear deck to create a new occupied room in the required rear yard without permits, notice or a variance and in violation of the SUD.

6. **Not Asking Forgiveness or Permission:** After more than two years of illegal work at the site and a dozen or more false/perjured permits, DBI finally stopped them noting that Sponsors has transformed a 2-floor home into four (4)! Sponsors were then forced to file Planning applications and obtained engineering and Geotech review. Even now, the City has no idea the actual extent of the excavation or square footage expansion. Further, the Sponsors have filed a bizarre letter brief accusing the neighbors and the neighborhood association and the Dept all of “false accusations” of serial permitting. This is a continuance of the arrogant, attack dog posture maintained by the Sponsors and their representatives from the beginning of this difficult journey for the neighbors.

THE PLANNING COMMISSION ELIMINATED TWO OF THE THREE VIOLATIONS INSTALLED BY THE SPONSORS AND THE REST SHOULD BE REMOVED ---THE BOARD SHOULD DENY THE REQUESTED CONDITIONAL USE AUTHORIZATION

At the Planning Commission hearing on June 21, 2018, the Commission made extensive changes to the Project. The Commission ordered the removal of the roof top deck and ordered the removal of the spiral staircase into the rear yard. The Commissioners also specifically chided the Sponsors for the extensive work without permits and for falsifying the project from the very start. All aspects of the project that violate the provisions of the SUD should be eliminated from the site.

Buried deep in the Planning Dept Memo (page 3) is what appears to be a very sympathetic description of the Sponsors’ reckless and illegal actions taken at the property. Former City Attorney Ilene Dick (who was brought in to lend some credence to the Sponsors) spends a large part of her brief arguing that “serial permitting” cannot really be defined and therefore, she reasons, it cannot serve as the basis to deny the proposed CUA. She also argues that the work undertaken at the site was the result of “dry-rot” and “electrical hazards.” (Letter from Ilene Dick, p.3, last full paragraph). She fails to explain how “dry-rot” and “electrical hazards” required the Sponsors to excavate two new floors of occupancy without permits

As noted in the Planning Dept. Memo (page 3, fifth paragraph), **DBI issued eight (8) violations** for this illegal and dangerous work, issued a Stop Work Order and required a consolidation permit and plans for the dozens of permits taken over-the-counter by the Raghavan’s (only one permit was for “dry rot”). The Planning Dept. has had an enforcement action open on the project for a year and one-half and had to force the Sponsors to (1) conduct environmental review, (2) comply with the Maher Ordinance, (3) apply for a variance, (4) apply for a conditional use authorization and (5) provide plans to show the true extent of the work.

Notice of Violation Was Issued After Two Years of Illegal Work

The neighbors filed several different complaints regarding these illegal activities beginning in August 2014, but the complaints were abated or closed each time because Sponsors would go on to obtain a new false permit. (Chronology of Permit Application and Complaints Attached as Exhibit 1) Finally, an inspection by senior DBI officials in October 2016 brought to light the extent of the violations.

On October 24, 2016 the Department of Building Inspection issued Notice of Violation ("NOV") # 201631352. Exhibit 2. The violation description in NOV # 201631352 states:

A site inspection and a review of issued building permits has revealed that work is being performed that exceeds the scope of work approved. The property is described on city record[s] as a 2-story building. At time of inspection it was noted that the property appears to have four levels. Two levels have been created below street level. New Framing has been done at new floors including the installation of new bathrooms. Backyard level has been excavated and is lower than previous. Retaining walls have been undermined. A new deck has been constructed at roof top level. (Exhibit 2).

Sponsors bought this property in May 2014 and immediately began work without ANY permits. The 105-year-old house was completely gutted and although the building is perched on the side of a very steep hill, two new floors were excavated from underneath the existing building without required notice under the Civil Code, engineering, permits or plans. The entire lot was re-graded. Retaining walls were undermined and an external deck was enclosed to create a new room. A new roof top deck was added– all without proper permitting or notice.

None of this work was permitted when it was undertaken. Rather the Sponsors implemented work with no regard to safety or the law. Although the building appears on city records as a two-story, 2,332 sq. ft. building. (Assessors Information Report below).

ASSESSOR'S REPORT:

Address:	143 CORBETT AV
Parcel:	2656060
Assessed Values:	
Land:	\$1,356,006.00
Structure:	\$659,144.00
Fixtures:	-
Personal Property:	-
Last Sale:	5/9/2014
Last Sale Price:	\$1,834,000.00
Year Built:	1911
Building Area:	2,322 sq ft
Parcel Area:	1,829 sq ft
Parcel Shape:	
Parcel Frontage:	-

Parcel Depth:	-
Construction Type:	Wood or steel frame
Use Type:	Dwelling
Units:	1
Stories:	2
Rooms:	7
Bedrooms:	3
Bathrooms:	3
Basement:	-

THE BUILDING NOW HAS FOUR OCCUPIED FLOORS AND APPROXIMATELY 3,800 SQUARE FEET OF CONDITIONED SPACE. The purpose of the CUA and variance is to paper-over the violations by Sponsors and their contractors.

Sponsors filed dozens of permits under penalty of perjury stating the building is 3-4 stories and submitted plans which state that the existing building contains “four stories”. When the neighbors complained, the Sponsors falsified plans and permit applications and then claimed that they had been entitled to perform the work all along.

The Board now has the chance to correct the dangerous and contemptuous construction strategy employed by Sponsors. The Board should deny the requested “favor” of a CUA. Sponsors should be ordered to return the deck at the rear into an unenclosed exterior deck. This project can never qualify as “necessary and desirable” for the community nor is it possible for Sponsors to show that they are subject to some “extraordinary and exceptional” circumstance beyond their control or a “hardship” that could possibly justify a variance.

PROJECT HISTORY AND STATUS AT SITE

Sponsors repeatedly submitted false permit applications and false plans for the site, which among other things, were intended to conceal the fact that Sponsors illegally excavated two new floors of occupancy from under the existing building and altered a two-story building to create an unpermitted four-story building.

After two years of ignoring the community, the City finally acknowledged what the neighbors already knew all along, that there are now two additional occupied floors in the building which are not on City records. DBI in its NOV’s states that the construction dangerously undermined the retaining walls which keep these buildings perched on their hillside locations, and the neighbors’ foundation was endangered.

What is clear is that Sponsors illegally added two floors of occupation, and illegally rebuilt an enclosed external deck. The Board should NOT reward sponsors for lying and cheating and for years of illegal work. The Board should require that Sponsors reverse these illegal alterations to the building and remove any encroachment into the rear yard. Sponsors gave no formal notice of an excavation for two new floors of occupancy. From the beginning Sponsors intentionally concealed the scope of the project, and thereby

avoided the safe, normal, legal building permitting and construction process for properties in San Francisco. Sponsors now want the Board to retroactively endorse the process.

The Sponsors did not submit the project to the Planning Department for the required review. Instead Sponsors applied for some 20+ different piecemeal over-the-counter permits for various aspects of the Project. All permits were obtained over-the-counter. All permits were issued without neighborhood notification as is required by Planning Code Section 311. All the permits were sought retroactively for work which was already underway, because of complaints filed by numerous neighbors after unpermitted construction work became obvious.

Two New Floors of Occupancy Were Constructed Illegally

Because of the past two years of illegal and unpermitted construction, the building currently has **four** floors of occupancy. This was discovered by DBI during an inspection which occurred on October 24, 2016. There is a clear pattern of overlapping, ambiguous, and ultimately false permit applications. Fraud is revealed on the face of every single permit. The San Francisco Assessor-Recorder's office lists the subject property as a two (2) story building. (Exhibit 2 and Assessor's Report above)

Sponsors Falsified Numerous Permits--Listing an Incorrect Number of "Existing" Floors of Occupancy

In contrast to the recorded description of the property and all publicly available descriptions of the property, Sponsors' permit applications all list three (3) stories of occupancy plus a basement (four stories).

Sponsors Lied to The Neighbors About the Scope of The Project

In a conversation with the neighbors shortly after purchasing the property in May 2014, Sponsors stated a desire to remodel the Property. Shortly after this conversation the neighbors noticed the noise of construction work at the site and observed substantial construction work occurring on the ground floor of the building including a massive excavation and a large dumpster being filled with soil. There were no publicly posted permits as is required, and the neighbors did not receive written notice of an application for such work. On August 7, 2014, the Department of Building Inspection received Complaint # 201489181 (Exhibit 3), reporting unpermitted construction work on the 1st floor of the property.

In response on August 11, 2014, Sponsors applied over-the-counter, for Permit # 2014.0811.3493 (Exhibit 4) to "repair dry rot on floor and wall of third floor bathroom and replace plumbing fixtures; existing lighting and ventilation to remain." On August 11, 2014 Complaint # 201489181 was closed due to the issuance of "PA201408113493".

This was the first example of Sponsors' *modus operandi* for this project. Sponsors bought the house with the expansion in mind, and upon purchasing the house started the

expansion immediately without proper permits, plans, applications, engineering etc... Each time they were caught doing unpermitted work, they went back and filed for a false permit to cover the work they had already implemented.

Sponsors Continued Working on the First Floor Even Though Their Permit Only Covered Work on the Third Floor

On September 16, 2014 the Department received Complaint # 201494491 (Exhibit 5) reporting work without a permit and work beyond the scope of the permit. The Complaint notes as additional information, "gutted 1st floor, permit is for 3rd floor bath. Earlier complaint abated by inspector who did not visit but assumed permit covered work." Exhibit 5.

On September 17, 2014 a DBI Inspector visited the site to investigate Complaint # 201494491. The Inspector noted that the "contractor to provide permits not on site." Of course, the Permits were not on site, because the next day on September 18, 2014, Sponsors applied, over-the-counter, for PA# 2014.0918.6685 (Exhibit 6) to install a new bathroom on the 3rd floor, remodel existing bathroom on the 3rd floor, and address Complaint 20149441.

On September 18, 2014 the Inspector closed Complaint 20149441, noting that "PA201409186685 issued for work". It is clear from this timeline, that Sponsors started the work which led to Complaint # 201494491, when an Inspector arrived to investigate the complaint, the sponsors lied and told the Inspector they had merely forgotten to have their permits on site with them, and then they filed for BPA# 2014.0918.6685 to cover their tracks.

Sponsors Upgraded Other Systems to Match the Illegal Expanded Square Footage

On November 10, 2014, the Department received Complaint #201407451 (Exhibit 7) which reported that the ceiling of the site was being torn out with the windows open, and a failure to contain construction related dust and expressed concern about work beyond the scope of the permit. On November 14, 2014, the Inspector, "issued a correction notice to extend permit to work done [beyond] scope of permit," and closed the case. Exhibit 7.

On November 25, 2014, Sponsors applied, over-the-counter, for BPA # 2014.1125.2473 (See Exhibit 8) to "Open walls in various location on 1st 2nd and 3rd floors to install electrical replacement cables related to electrical permit E201409243026." Electrical Permit E201409243026 (See Exhibit 8) was filed for on September 24, 2014 for "2 bathroom and hallway lights, panel upgrade, demo current electrical and upgrade as needed..." BPA# 2014.1125.2473 was issued in late November 2014, to cover the unpermitted work which led to the November 10 complaint, because the electrical permit cited in BPA # 2014.1125.2473 had been issued nearly 8 weeks prior, for a different project (bathroom remodel) in a different part of the house (3rd floor).

Sponsors Overwhelmed DBI Inspectors with the Sheer Volume of Permits

Complaint # 201542021 was filed on April 22, 2015 (Exhibit 9). The Complaint requested a verification that the project did not exceed the permitting which was limited to a remodel of a third-floor bathroom; the complaint reported that work was going on all day every day, that the house was taken “down to the studs” and a new electrical box had been installed.

On April 27, 2015, Sponsors filed, over-the-counter, for BPA# M581527 to receive a permitted street space. On April 28, 2015 case was closed with the note, “work per scope of [permits]”. The notes do not indicate that a site visit occurred. This is a good example of how Sponsors were successful in evading enforcement for their unpermitted work. When confronted with a complaint, the project sponsors merely apply for more permits, in the hopes that the sheer number of permits that they have obtained will obscure the unpermitted work being performed.

After Illegally Excavating New Floors, Without Permits/Engineering or Shoring, Sponsors Rebuilt an Illegally Enclosed External Deck Without Permits

On July 2, 2015 the Department received Complaint # 201555501 (Exhibit 10), reporting “work outside the scope of permits 201408113493, 201409186685, 201411252473. Enclosing the deck and putting in windows in the deck.” On July 6, 2015, Sponsor was issued, over-the-counter, BPA#2015.0706.0719 (See Exhibit 11) to, “replace rear windows (6) not visible from the street. In-kind, size & type...” On August 10, 2015, Complaint #201555501, was closed with the note, “per scope of permits.” None of the previously issued permits covered this type of work, so any window framing that occurred before August 10 as reported by the complaint, was done without permit.

Therefore, the record is clear. Just before the 4th of July holiday, Sponsor’s unpermitted work was reported to the DBI. After the weekend on Monday, Sponsors filed for a Permit for the first time which would cover ostensibly the unpermitted work. Thereafter the Inspector was unable to return to the site for nearly five weeks, at which point the work at the site appeared to be within the scope of the active permits.

The Sponsors’ claim that the deck was enclosed previously is false. The fuzzy exterior photos prove nothing and certainly do not support the contention that the deck was not rebuilt and re-enclosed by the Sponsors. Sponsors again lied about this area and have provided “fuzzy” photos to support the lie.

After Excavating Two New Floors, And Enclosing an External Deck, Sponsors Realize That the Building is Not Adequately Supported

On November 24, 2015 the neighbors filed Complaint # 201580691 (Exhibit 12) reporting the following work without permits: “1. closing out lightwell between 143 and 145 Corbett Ave; 2. digging out lower level to put in a new unit; 3. completely redid back deck, closing it in, blocking neighbor’s view.” On November 25, 2015 Sponsors applied

for BPA# 2015.1125.3643 (See Exhibit 13) permitting the “[I]nfill of the lightwell on southside of house.” On November 30, 2015 Sponsors were issued BPA# 2015.0824.5417 (Exhibit 13) to, “[I]ninstall retaining wall, beam and footings in basement.”

The Sponsors’ strategy worked again, and on December 2, 2015 an Inspector closed Complaint # 201580691, noting “complaint not valid. Multiple permits issued and filed. See PTS for permits and scopes of work.” The neighbors warned the DBI of work outside the scope of any permit for two years. Unfortunately, no Inspector inspected the site or responded to the complaint for over a week. In that time, Sponsors were able to slip in and apply for two permits to cover work that had been performed without permits. By the time the Inspector had investigated the complaint, it appears the work was permitted.

After Numerous Complaints for Two Years, The Sponsor’s Dangerous and Unpermitted Excavation Is Discovered

On August 10, 2016, Complaint # 201631352 was received by the DBI. Exhibit 14. The Complaint states that the work has been going on for 2 years with no signs posted, and that there has been scaffolding and excavation occurring. Two and one-half months later, on October 24, 2016 the Department issued a Notice of Violation # 201631352 and Stop work Order (See Exhibit 2). The Notice of Violation states:

“A site inspection and a review of issued building permits has revealed that work is being performed that exceeds the scope of work approved. The property is described on city record as a 2-story building. At time of inspection it was noted that the property appears to have four levels. Two levels have been created below street level... Backyard level has been excavated and is lower than previous. Retaining walls have been undermined. ...”

In 3 years and more than 20 permits, Sponsors obscured from the City that they converted a two-story building into a four-story building. They did this without notice, permits or oversight. Without warning anyone, Sponsors excavated the space for the two new floors of occupancy out from underneath the existing building.

The lack of proper notice and permitting is especially important in this instance. Any excavation on a very steep slope must be done with the utmost care and according to the rigorous engineering and safety guidelines; however, without the proper notice and permitting the City, and the neighbors have no way of confirming a site’s safety. In this case Sponsors deliberately hid what they were doing. Later, it was revealed that the work had not been done with sufficient care and safety, as Notice of Violation #201631352, clearly states: “retaining walls have been undermined.” Exhibit 2. This is of concern, because the project lot and the adjacent neighbors’ lots are on a very steep grade, and any excavation must be properly shored to prevent catastrophic damage to these buildings’ foundations.

Sponsors Go on The Offensive and Sue Their Neighbors in The Superior Court

After receiving these complaints and opposition, many reasonable property owners would recognize that an untenable situation was developing with their neighbors based on

their own illegal actions and take steps to work out their differences in a conciliatory way. Instead Sponsors hired an attorney who threatened to bring a frivolous lawsuit against the neighbors if they did not abandon their administrative appeals. See Exhibit 15 Munzinger letter. On November 7, 2016 Sponsors filed a lawsuit against their neighbors and attempted to use the lawsuit to have the neighbors stop objecting to the dangerous and illegal work at the site.

The pattern here speaks for itself. At every stage Sponsors have submitted false applications and plans. At every stage of this project, Sponsors and their Contractor have engaged in a deliberate, and coordinated plan to avoid the additional time and cost to do this project right. Instead Sponsors have requested a flurry of overlapping and vague permits. These permits were all obtained over-the-counter. None of these permits describe the work which is being performed, namely the construction of two additional floors of occupancy, via excavation below grade, and the construction of an additional unit. It would be of no surprise to anyone familiar with the project to learn that upon completion the Raghavans intended to put the now two unit property up for sale and make a tidy profit for their efforts to deceive the City and their neighbors.

The neighbors desire to have a safe, legally permitted, and code compliant project built next door to their property. Three and one-half years into this Project, the neighbors still have no idea what the full scope of the Project is, and neither does the City and neither does the Sponsor. (See, Exhibit 16)—Email from the current architect to his clients stating that no one knows the full scope of the illegal excavation which occurred at this site.

Planning's Investigation Team Required the Enclosed Deck to be Removed

Planning opened its investigation in this case nearly one and a half years ago on March 13, 2017. Attached hereto as Exhibit 17 is the Notice of Complaint from the Planning Department. Shortly thereafter and following its investigation, the enforcement planner Matt Dito forwarded to the attorneys for the sponsors an email outlining some of the issues at the site. Attached hereto and marked as Exhibit 18 is a true and correct copy of the email from Matthew Dito to Ileen Dick dated March 21, 2017.

In that email, the enforcement planner notes that the deck at the top floor is illegal and that it has never been permitted as are the spiral stairs leading to it. He also notes that the breakfast nook is illegal and has never been permitted and did not appear on any plans until the project sponsors included it on plans in 2014. Finally, he notes the lower-level excavation which was done without permits and which added two new floors of occupancy.

These issues still need to be corrected. As specified in the Planning Staff's memorandum to the Planning Commission the work at the site was unpermitted and it illegal. It also was done in violation of the provisions of the Special Use District. Attached hereto and marked as exhibit 19 is a true and correct copy of the staff memo dated June 21, 2018 to the Planning Commission describing the issues for review and resolution. Staff notes that the work was

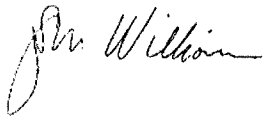
Malia Cohen, President
San Francisco Board of Supervisors

August 29, 2018
143 Corbett Ave.

Conclusion

Sponsors should be required to remove the construction which encloses the back deck and violates the SUD. The enclosed deck was never designed to be incorporated into the structure and was never permitted or received a variance. This expansion of the building envelope was illegally performed and blocks the neighbors air and light. The unpermitted roof top deck and spiral stair were removed by the Planning Commission and now the rest should also be removed. No CUA or variance should be awarded to people who deliberately lie and deceive to avoid the City's permitting process. This is an extreme case that should be dealt with in an extreme manner.

VERY TRULY YOURS,

A handwritten signature in cursive script, appearing to read "Mr. Williams", written in dark ink.

STEPHEN M. WILLIAMS

You selected:

Address: **143 CORBETT AV**Block/Lot: **2656 / 060**

Please select among the following links, the type of permit for which to view address information:

Electrical Permits Plumbing Permits Building Permits Complaints

(Building permits matching the selected address.)

Permit #	Block	Lot	Street #	Street Name	Unit	Current Stage	Stage Date
201712085904	2656	060	143	CORBETT AV		ISSUED	12/12/2017
M840287	2656	060	143	CORBETT AV		ISSUED	10/05/2017
201708094368	2656	060	143	CORBETT AV		FILED	08/09/2017
201707182269	2656	060	143	CORBETT AV		FILED	07/18/2017
201705166740	2656	060	143	CORBETT AV		FILED	05/16/2017
201611233483	2656	060	143	CORBETT AV		REINSTATED	04/05/2017
201703272431	2656	060	143	CORBETT AV		FILED	03/27/2017
201609167972	2656	060	143	CORBETT AV		COMPLETE	12/23/2016
201511253643	2656	060	143	CORBETT AV		REINSTATED	12/09/2016
201411252473	2656	060	143	CORBETT AV		COMPLETE	11/23/2016
201408113493	2656	060	143	CORBETT AV		COMPLETE	11/23/2016
201409186685	2656	060	143	CORBETT AV		COMPLETE	11/23/2016
201507060719	2656	060	143	CORBETT AV		COMPLETE	09/12/2016
201608195515	2656	060	143	CORBETT AV		COMPLETE	08/30/2016
M717728	2656	060	143	CORBETT AV		ISSUED	08/29/2016
M687747	2656	060	143	CORBETT AV		ISSUED	05/05/2016
201603091590	2656	060	143	CORBETT AV		ISSUED	03/28/2016
M660507	2656	060	143	CORBETT AV		ISSUED	02/02/2016
M654467	2656	060	143	CORBETT AV		ISSUED	01/13/2016
201508275417	2656	060	143	CORBETT AV		ISSUED	11/30/2015
M601647	2656	060	143	CORBETT AV		ISSUED	08/31/2015
201508245070	2656	060	143	CORBETT AV		FILED	08/24/2015
M598967	2656	060	143	CORBETT AV		ISSUED	06/30/2015
M581527	2656	060	143	CORBETT AV		ISSUED	04/27/2015
200208012891	2656	060	143	CORBETT AV		COMPLETE	11/18/2002
200210108753	2656	060	143	CORBETT AV		COMPLETE	11/18/2002
200201106676	2656	060	143	CORBETT AV		EXPIRED	05/10/2002
200011105445	2656	060	143	CORBETT AV		EXPIRED	03/10/2001
8911550	2656	060	143	CORBETT AV		COMPLETE	08/09/1989
8717127	2656	060	143	CORBETT AV		COMPLETE	08/22/1988
8811172	2656	060	143	CORBETT AV		COMPLETE	08/22/1988
8716328	2656	060	143	CORBETT AV		COMPLETE	03/10/1988

Over-the-counter
Permits by Sponsor[Online Permit and Complaint Tracking home page.](#)**Technical Support for Online Services**

If you need help or have a question about this service, please visit our FAQ area.

Chronology of Complaints and Permit Applications at 143 Corbett Avenue

May 9, 2014---Property Purchased by Sponsors

August 7, 2014—First Complaint Filed *Construction on the 1st floor without permit to date.*
DBI Closed August 11-- *PA201408113493 issued. ok to close*

August 11, 2014—First Permit App.201408113493

*REPAIR DRY ROT ON FLOOR & WALL OF THIRD FLOOR BATHROOM.
REPLACE PLUMBING FIXTS. (E) LIGHTING & VENTILATION TO REMAIN.*

Cost: \$13,000.00

September 16, 2014—Second Complaint Filed

WORK W/O PERMIT; WORK BEYOND SCOPE OF PERMIT; Guttered 1st floor, permit is 3rd floor bath. Earlier complaint abated by inspector who did not visit but assumed permit covered work.
DBI Closed Sept.18 *PA 201409186685 issued for work cs*

September 18, 2014—Second Permit App. 201409186685

*INSTALL NEW BATHROOM ON 3RD FLOOR, REMODEL EXISTING
BATHROOM ON 3RD FL. ADDRESS COMPLAINT 20149441*

Cost: \$25,000.00

November 11, 2014—Third Complaint Filed

*Construction with windows open while tearing out ceiling and not containing the dust.
Concerned about safety and possibly working beyond the scope of the permit.*

DBI Closed November 14--*issued correction notice to extend permit to work done beyond scope of permit.
case closed JB*

November 23, 2014---Third Permit App 201411252473

*OPEAN WALLS IN VARIOUS LOCATIONS ON 1ST, 2ND AND FLOORS TO
INSTALL ELECTRICAL REPLACEMENT CABLES RELATED TO ELECTRICAL
PERMIT #E201409243026.*

Cost: \$1,000.00

April 22, 2015—Fourth Complaint Filed 201542021

*143 Corbett --- Complaint please verify Permit - permit online for a remodel of a bathroom.
Work is going on all day, every day, the house was down to the studs and a new electrical box
has been installed. There seems to be more going on than a remodel of a small bathroom. Also,
checking to see if the permit has been suspended.*

DBI Closed April 28-- *work per scope of permits cs*

July 2, 2015—Fifth Complaint Filed 201555501

*Working outside of scope of permits 201408113493, 201409186685, 201411252473. Enclosing
the deck and putting in windows in the deck*

DBI Closed August 10--- *per scope of permits cs*

July 6, 2015---Fourth Permit App 201507060719

Chronology of Complaints and Permit Applications at 143 Corbett Avenue

REPLACE REAR WINDOWS (6) NOT VISIBLE FROM THE STREET. IN-KIND SIZE & TYPE. U-FACTOR 0.32 MAX.

Cost: \$3,200.00

August 24, 2015—Fifth Permit App 201508245070

INTSTALL 2ND UNIT, INSTALL BEDROOM & BATHROOM AND KITCHEN AT GROUND LEVEL

Cost: \$60,000.00

August 27, 2015—Sixth Permit App 201508275417

INSTALL RETAINING WALL, BEAM AND FOOTINGS IN BASEMENT

Cost: \$15,000.00

November 24, 2015---Sixth Complaint 201580691

143 Corbett Ave --- Construction without permits on the followings: 1. Closing out the light well between 143 & 145 Corbett Ave. 2. Digging out lower level to put in a new unit. 3. Completely redid the back deck. It's closed in and made it part of the house, completely blocking our view.

DBI Closed December 2, 2015 *Complaint not valid. Multiple permits issued and filed. See PTS for permits and scopes of work.*

November 25, 2015—Seventh Permit App 201511253643

INFILL LIGHTWELL ON SOUTHWEST SIDE OF THE HOUSE.

Cost: \$15,000.00

March 9, 2016—Eight Permit App 201603091590

GIRDER REPLACEMENT AT LOWER & BASEMENT LEVELS, ADD FOUNDATION UPGRADES.

Cost: \$8,000.00

August 18, 2016—Ninth Permit App 201608195515

TO OBTAIN FINAL INSPECTION FOR WORK APPROVED UNDER PA#201408113493, 201409186685, 201411252473. ALL WORK IS COMPLETE.

Cost: \$1.00

August 10, 2016—Seventh Complaint 201631352

143 Corbett Ave. --- Caller states please inspect. Caller states I want to make sure that this house has permits, and that it is safe to do the work that is being done at this location. This work has been going on for 2 years and there is also scaffolding there on and off and excavation. No Signs posted.

September 16, 2016---Tenth Permit App 201609167972

REVISION TO PERMIT #201511253643: INFILL ON LIGHTWELL ON EAST SIDE OF BUILDING AS NOTED ON PLAN. CLERICAL ERROR SHOWS WEST.

Cost: \$1.00

Chronology of Complaints and Permit Applications at 143 Corbett Avenue

October 24, 2016 --DBI issued Notice of Violation ("NOV") # 201631352 Based on Complaint from **August 10, 2016**---Senior Inspectors Found Multiple Violations

A site inspection and a review of issued building permits has revealed that work is being performed that exceeds the scope of work approved. The property is described on city record[s] as a 2-story building. At time of inspection it was noted that the property appears to have four levels. Two levels have been created below street level. New Framing has been done at new floors including the installation of new bathrooms. Backyard level has been excavated and is lower than previous. Retaining walls have been undermined. A new deck has been constructed at roof top level.

November 23, 2016---Eleventh Permit App 201611233483

TO COMPLY WITH NOV 201631352: INSTALL TEMP SHORING TO LOWER LEVEL SPACE PER STOP WORK VIOLATION REQUEST OF BLD OFFICIAL. INSTALL NEW RETAINING WALL AT REAR YARD AS PER PLANS

Cost: \$10,000.00

March 27, 2017---Twelfth Permit App. 201703272431

FOUNDATION IMPROVEMENTS AT BASEMENT AND UNDERPIN PARTIAL EXTG WEST REAR FOUNDATION.

Cost \$30,000

May 16, 2017-----Thirteenth Permit App. 201705166740

1 Family Dwelling to a 2 Family Dwelling.

Sponsors were forced to add a unit to comply with the SUD because they had added square footage exceeding 3,000.

Cost \$80,000

July 18, 2017----Fifteenth Permit App. 201707182269

REMOVE (E) FRENCH DOORES, INSTALL NEW DOORS IN (E) OPENING. AT THE BACK OF BUILDING.

Cost \$4300

August 9, 2017----Sixteenth Permit App. 201708094368

COMPLY WITH NOV #201631352. CONSOLIDATE ALL WORK PERFORMED @ INTERIOR & EXTERIOR. ADD DWELLING UNIT. LEGALIZED REVISED (E) DECK @ UPPER LVL. (N) ROOF DECK & GUARDRAIL. LEGALIZE BUMP OUT @ REAR BREAKFAST NOOK. VARIANCE: BREAKFAST NOOK BUMP OUT, SPIRAL STAIR @ GRADE IN REAR YARD.

Cost \$150,000

Chronology of Complaints and Permit Applications at 143 Corbett Avenue

Sponsors were forced to complete proper Planning Dept applications (CUA, Variances, Maher Ordinance, CEQA etc....) to consolidate the 20+ permits, and to devise plans that show what existed prior to the years of illegal work, what is at the site currently and what is proposed.



NOTICE OF VIOLATION

of the San Francisco Municipal Codes Regarding Unsafe,
Substandard or Noncomplying Structure or Land or Occupancy

DEPARTMENT OF BUILDING INSPECTION
City and County of San Francisco
1660 Mission St. San Francisco, CA 94103

NOTICE: 1

NUMBER: 201631352

DATE: 24-OCT-16

ADDRESS: 143 CORBETT AV

OCCUPANCY/USE: R-3 (RESIDENTIAL- 1 & 2 UNIT DWELLINGS, TOWNHOUSES) BLOCK: 2656 LOT: 060

☐ If checked, this information is based upon site-observation only. Further research may indicate that legal use is different. If so, a revised Notice of Violation will be issued.

OWNER/AGENT: RAGHAVEN RAVI
MAILING RAGHAVEN RAVI
ADDRESS 143 CORBETT AVE
SAN FRANCISCO CA

PHONE #: --

94114

PERSON CONTACTED @ SITE: RAGHAVEN RAVI

PHONE #: --

VIOLATION DESCRIPTION:

<input type="checkbox"/> WORK WITHOUT PERMIT	CODE/SECTION# 106.1.1
<input checked="" type="checkbox"/> ADDITIONAL WORK-PERMIT REQUIRED	106.4.7
<input type="checkbox"/> EXPIRED OR <input type="checkbox"/> CANCELLED PERMIT PA#:	106.4.4
<input type="checkbox"/> UNSAFE BUILDING <input type="checkbox"/> SEE ATTACHMENTS	102.1

A site inspection and a review of issued building permits has revealed that work is being performed that exceeds the scope of work approved. The property is described on city record as a 2 story building. At time of inspection it was noted that the property appears to have four levels. Two levels have been created below street level. New framing has been done at new floors including the installation of new bathrooms. Backyard level has been excavated and is lower than previous. Retaining walls have been undermined. A new deck has been constructed at top roof level.

Code sec: 106A.4.7

CORRECTIVE ACTION:

☒ STOP ALL WORK SFBC 104.2.4

415-575-6985

- ☒ FILE BUILDING PERMIT WITHIN 30 DAYS ☒ (WITH PLANS) A copy of This Notice Must Accompany the Permit Application
- ☒ OBTAIN PERMIT WITHIN 60 DAYS AND COMPLETE ALL WORK WITHIN 120 DAYS, INCLUDING FINAL INSPECTION AND OFF.
- ☐ CORRECT VIOLATIONS WITHIN DAYS. ☐ NO PERMIT REQUIRED
- ☐ YOU FAILED TO COMPLY WITH THE NOTICE(S) DATED , THEREFORE THIS DEPT. HAS INITIATED ABATEMENT PROCEEDINGS.

- FAILURE TO COMPLY WITH THIS NOTICE WILL CAUSE ABATEMENT PROCEEDINGS TO BEGIN.
SEE ATTACHMENT FOR ADDITIONAL WARNINGS.

Due to the number of issued permits and the scope of work being performed, it is unclear that all work is covered under the issued permit. Stop all work and submit a building permit with plans to consolidate all work that has been performed at interior and exterior.

INVESTIGATION FEE OR OTHER FEE WILL APPLY

- ☐ 9x FEE (WORK W/O PERMIT AFTER 9/1/60) ☒ 2x FEE (WORK EXCEEDING SCOPE OF PERMIT)
- ☐ OTHER: ☐ REINSPECTION FEE \$ ☐ NO PENALTY
(WORK W/O PERMIT PRIOR TO 9/1/60)

APPROX. DATE OF WORK W/O PERMIT 24-OCT-16 VALUE OF WORK PERFORMED W/O PERMITS \$10000

BY ORDER OF THE DIRECTOR, DEPARTMENT OF BUILDING INSPECTION

CONTACT INSPECTOR: Kevin T Birmingham

PHONE # 415-575-6985

DIVISION: BID

DISTRICT : 18

By:(Inspectors's Signature) _____



NOTICE OF VIOLATION

of the San Francisco Municipal Codes Regarding Unsafe
Substandard or Noncomplying Structure or Land or Occupancy

P-1

DEPARTMENT OF BUILDING INSPECTION

City and County of San Francisco
1660 Mission St. • San Francisco, CA 94103-2414

ADDRESS **143 Corbett Ave**
OCCUPANCY / USE **IRB, R-3, Single Family Residence**

CONST. TYPE **IRB**

OWNER / AGENT

MAILING ADDRESS

PERSON CONTACTED @ SITE

☒ FIRST NOTICE
☐ SECOND NOTICE
☐ OTHER:

COMPLAINT NUMBER

2016 31352

DATE **10/24/16**

BLOCK **2**

STORIES **2**

LOT

☐ BASEMENT

PHONE #

CITY

ZIP

PHONE #

VIOLATION DESCRIPTION:

WORK WITHOUT PERMIT (SFBC 103A);

☒ ADDITIONAL WORK-PERMIT REQUIRED (SFBC 106A.4.7);

EXPIRED PERMIT (SFBC 106A.4.4);

☐ CANCELLED PERMIT (SFBC 106A.3.7) PA#

UNSAFE BUILDING (SFBC 102A);

☐ SEE ATTACHMENTS

CODE / SECTION

A site inspection and a review of issued building permits has revealed that work is being performed that exceeds the scope of work approved. The property is described on city records as a 2 story building. At the time of inspection it was noted that the property appears to have four levels. Two levels have been created below street level. New framing has been done at new floors including the installation of new bathrooms. Backyard level has been excavated and is lower than previous. Retaining walls have been undermined. A new deck has been constructed at top roof level 1.

106A.4.7

BC - Building Code HC - Housing Code PC - Plumbing Code EC - Electrical Code MC - Mechanical Code

CORRECTIVE ACTION:

☒ STOP ALL WORK SFBC 104A.2.4

☒ FILE BUILDING PERMIT APPLICATION WITHIN **30** DAYS ☒ WITH PLANS (A Copy of This Notice Must Accompany the Permit Application)

☒ OBTAIN PERMIT WITHIN **60** DAYS AND COMPLETE ALL WORK WITHIN **120** DAYS, INCLUDING FINAL INSPECTION AND SIGNOFF

☐ CORRECT VIOLATIONS WITHIN _____ DAYS ☐ NO PERMIT REQUIRED.

☐ YOU FAILED TO COMPLY WITH THE NOTICE(S) DATED _____, THEREFORE THIS DEPT. HAS INITIATED ABATEMENT PROCEEDINGS.

☒ FAILURE TO COMPLY WITH THIS NOTICE WILL CAUSE ABATEMENT PROCEEDINGS TO BEGIN. SEE REVERSE SIDE FOR ADDITIONAL WARNINGS

Due to the number of issued permits and the scope of work being performed it is unclear that all work is covered under the issued permit. Stop all work and submit a building permit with plans to consolidate all work that has been performed at interior and exterior. Plans shall show existing and proposed changes including building.

INVESTIGATION FEE OR OTHER FEE WILL APPLY. See reverse side for further explanation.

☐ 5x Permit Fee (Work w/o Permit after 9/1/60)

☒ 2x Permit Fee (Work Exceeding Scope of Permit)

☐ Other

☐ Reinspection Fee \$

☐ No penalty (Work w/o permit prior to 9/1/60)

APPROX. DATE OF WORK W/O PERMIT **10/24/16**

VALUE OF WORK PERFORMED WITHOUT PERMITS **10,000**

BY ORDER OF THE DIRECTOR, DEPARTMENT OF BUILDING INSPECTION

CONTACT INSPECTOR **KEVIN BIRMINGHAM**

(Inspector - Print Name)

OFFICE HOURS **7:30 TO 8:30 AM AND 3:00 TO 4:00 PM**

PHONE # **415-575-6985**

By: (Inspector's Signature)

DISTRICT **18**

CC: ☐ DCP ☐ EID ☐ PID ☐ BIO ☐ HIS ☐ CED ☐ PRS ☐ DAD ☐ BFD ☐ DPH ☐ PS

☒ Building Inspection Division
3rd Floor, 1660 Mission St. 558-6096
☐ Housing Inspection Services
6th Floor, 1660 Mission St. 558-6220
☐ Electrical Inspection Division
3rd Floor, 1660 Mission St. 558-6030
☐ Plumbing Inspection Division
3rd Floor, 1660 Mission St. 558-6054
☐ Code Enforcement Division
3rd Floor, 1660 Mission St. 558-6454



NOTICE OF VIOLATION

of the San Francisco Municipal Codes Regarding Unsafe,
Substandard or Noncomplying Structure or Land or Occupancy

P-2

DEPARTMENT OF BUILDING INSPECTION

City and County of San Francisco
1660 Mission St. • San Francisco, CA 94103-2414

ADDRESS **143 Corbett Ave**
OCCUPANCY **R-3, Single family dwelling**
CONST. TYPE **ILB**

☒ FIRST NOTICE
☐ SECOND NOTICE
☐ OTHER:

COMPLAINT NUMBER

2016 31352

DATE **10/24/16**
BLOCK LOT
STORIES ☐ BASEMENT
PHONE #
CITY ZIP
PHONE #

OWNER/AGENT

MAILING ADDRESS

PERSON CONTACTED @ SITE

VIOLATION DESCRIPTION:

☐ WORK WITHOUT PERMIT (SFBC 103A); ☐ ADDITIONAL WORK-PERMIT REQUIRED (SFBC 106A.4.7);
☐ EXPIRED PERMIT (SFBC 106A.4.4); ☐ CANCELLED PERMIT (SFBC 106A.3.7) PA#
☐ UNSAFE BUILDING (SFBC 102A); ☐ SEE ATTACHMENTS

CODE / SECTION #

BC - Building Code HC - Housing Code PC - Plumbing Code EC - Electrical Code MC - Mechanical Code

CORRECTIVE ACTION:

☐ STOP ALL WORK SFBC 104A.2.4

☐ FILE BUILDING PERMIT APPLICATION WITHIN _____ DAYS (☐ WITH PLANS) A Copy of This Notice Must Accompany the Permit Application

☐ OBTAIN PERMIT WITHIN _____ DAYS AND COMPLETE ALL WORK WITHIN _____ DAYS, INCLUDING FINAL INSPECTION AND SIGNOFF.

☐ CORRECT VIOLATIONS WITHIN _____ DAYS. ☐ NO PERMIT REQUIRED.

☐ YOU FAILED TO COMPLY WITH THE NOTICE(S) DATED _____, THEREFORE THIS DEPT. HAS INITIATED ABATEMENT PROCEEDINGS.

☐ FAILURE TO COMPLY WITH THIS NOTICE WILL CAUSE ABATEMENT PROCEEDINGS TO BEGIN. SEE REVERSE SIDE FOR ADDITIONAL WARNINGS.

Plans submitted shall show separate existing and proposed conditions including floor plans, building sections and elevations. Structural and Mechanical plans required. The valuation on permits shall be reflective of the construction cost.

INVESTIGATION FEE OR OTHER FEE WILL APPLY See reverse side for further explanation

☐ 1x Permit Fee (Work w/o Permit after 9/1/60)

☐ 2x Permit Fee (Work Exceeding Scope of Permit)

☐ Other

☐ Reinspection Fee \$

☐ No penalty (Work w/o permit prior to 9/1/60)

APPROX. DATE OF WORK W/O PERMIT

VALUE OF WORK PERFORMED WITHOUT PERMITS

BY ORDER OF THE DIRECTOR, DEPARTMENT OF BUILDING INSPECTION

CONTACT INSPECTOR **Kevin Birmingham**

(Inspector - Print Name)

OFFICE HOURS **7:30** TO **8:30** AM AND **3:00** TO **5:00** PM

PHONE # **415-575-6985**

By (Inspector's Signature)

DISTRICT **18**

CC: ☐ DCP ☐ EID ☐ PID ☐ RIN ☐ HIS ☐ LAD ☐ PRC ☐ LAD ☐ SEED ☐ OPH ☐ PS

☒ Building Inspection Division
3rd Floor, 1660 Mission St. 558-6036
☐ Housing Plans and Services
5th Floor, 1660 Mission St. 558-6220
☐ Electrical Inspection Division
3rd Floor, 1660 Mission St. 558-6030
☐ Plumbing Inspection Division
3rd Floor, 1660 Mission St. 558-6054
☐ Code Enforcement Division
3rd Floor, 1660 Mission St. 558-6454

COMPLAINT DATA SHEET**Complaint Number:** 201489181

Owner/Agent: OWNER DATA SUPPRESSED

Owner's Phone: --

Contact Name: --

Contact Phone: --

Complainant: COMPLAINANT DATA SUPPRESSED

Date Filed:

Location:

Block:

Lot:

Site:

Rating:

Occupancy Code:

Received By:

Division:

143 CORBETT AV

2656

060

Alma Canindin

PID

Complainant's
Phone:

Complaint Source: TELEPHONE

Assigned to

Division:

BID

Description: Construction on the 1st floor without permit to date.

Instructions:

INSPECTOR INFORMATION

DIVISION	INSPECTOR	ID	DISTRICT	PRIORITY
BID	HERNANDEZ	6286		

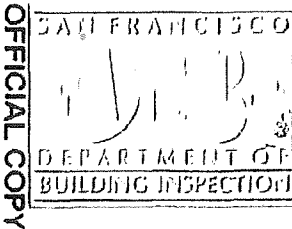
REFERRAL INFORMATION**COMPLAINT STATUS AND COMMENTS**

DATE	TYPE	DIV	INSPECTOR	STATUS	COMMENT
08/07/14	CASE OPENED	BID	Schroeder	CASE RECEIVED	
08/08/14	OTHER BLDG/HOUSING VIOLATION	BID	Hernandez	NO ENTRY	no entry left a wywo on 8/8/14 mh
08/11/14	OTHER BLDG/HOUSING VIOLATION	BID	Hernandez	CASE CLOSED	PA201408113493 issued. ok to close MH

COMPLAINT ACTION BY DIVISION**NOV (HIS):****NOV (BID):**Inspector Contact InformationOnline Permit and Complaint Tracking home page.**Technical Support for Online Services**

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Contact SFGov Accessibility Policies
City and County of San Francisco © 2017



APPROVED
Dept. of Building Insp.

AUG 11 2014

Tom C. Hui

TOM C. HUI, S.E.

DIRECTOR

DEPT. OF BUILDING INSPECTION

COMPLAIN # 201489181

APPLICATION FOR BUILDING PERMIT
ADDITIONS, ALTERATIONS OR REPAIRS

FORM 3 ☐ OTHER AGENCIES REVIEW REQUIRED

FORM 8 ☒ OVER-THE-COUNTER ISSUANCE

NUMBER OF PLAN SETS 9/E

CITY AND COUNTY OF SAN FRANCISCO
DEPARTMENT OF BUILDING INSPECTION

APPLICATION IS HEREBY MADE TO THE DEPARTMENT OF
BUILDING INSPECTION OF SAN FRANCISCO FOR
PERMISSION TO BUILD IN ACCORDANCE WITH THE PLANS
AND SPECIFICATIONS SUBMITTED HERewith AND
ACCORDING TO THE DESCRIPTION AND FOR THE PURPOSE
HEREINAFTER SET FORTH.

DO NOT WRITE ABOVE THIS LINE

DATE FILED 8/11/14	PLANS FOR RECEIPT NO. 8-11-14	(1) STREET ADDRESS OF JOB 143 CORBET AVE	BLOCK & LOT 2656/860
PERMIT NO. 1332783	ISSUED 8-11-14	(2A) ESTIMATED COST OF JOB \$10,500	(2B) REVISED COST: BY: 13,000 DATE: 8/11/14

BLDG. 3/8
FORM 3/8

APPLICATION NUMBER
2014-0811-3493

OSHA APPROVAL REQUIRED ☐

INFORMATION TO BE FURNISHED BY ALL APPLICANTS

LEGAL DESCRIPTION OF EXISTING BUILDING

(4A) TYPE OF CONSTR. 5B	(5A) NO. OF STORIES OF OCCUPANCY 3	(6A) NO. OF BASEMENTS AND CELLARS 1	(7A) PRESENT USE: SINGLE FAMILY	(8A) OCCUP. CLASS R3	(9A) NO. OF DWELLING UNITS 1
----------------------------	---------------------------------------	--	------------------------------------	-------------------------	---------------------------------

DESCRIPTION OF BUILDING AFTER PROPOSED ALTERATION

(4) TYPE OF CONSTR. 5B	(5) NO. OF STORIES OF OCCUPANCY 3	(6) NO. OF BASEMENTS AND CELLARS 1	(7) PROPOSED USE (LEGAL USE) SINGLE FAMILY	(8) OCCUP. CLASS R3	(9) NO. OF DWELLING UNITS 1
---------------------------	--------------------------------------	---------------------------------------	---	------------------------	--------------------------------

(10) IS AUTO RUNWAY TO BE CONSTRUCTED OR ALTERED? YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	(11) WILL STREET SPACE BE USED DURING CONSTRUCTION? YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	(12) ELECTRICAL WORK TO BE PERFORMED? YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>	(13) PLUMBING WORK TO BE PERFORMED? YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>
--	--	--	--

(14) GENERAL CONTRACTOR FI SAUNDRAVAL CO 1248 DELAVER ST. 94110 734-7172 705303	ADDRESS 1248 DELAVER ST.	CALIF. LIC. NO. 705303	EXPIRATION DATE 7/29/15
--	-----------------------------	---------------------------	----------------------------

(15) OWNER - LESSEE (CHECK ONE) OWNER	ADDRESS 143 CORBET AVE 94109	ZIP 94109	PHONE (FOR CONTACT BY DEPT.) (415) 917-3303
--	---------------------------------	--------------	--

(16) WRITE IN DESCRIPTION OF ALL WORK TO BE PERFORMED UNDER THIS APPLICATION (REFERENCE TO PLANS IS NOT SUFFICIENT)

REPAIR 2 DM ROT ON FLOOR & WALL OF THIRD FLOOR BATHROOM
REPLACE PLUMBING FIXTURES. EXISTING LIGHTING &
VENTILATION TO REMAIN.

ADDITIONAL INFORMATION

(17) DOES THIS ALTERATION CREATE ADDITIONAL HEIGHT OR STORY TO BUILDING? YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	(18) IF (17) IS YES, STATE NEW HEIGHT AT CENTER LINE OF FRONT N/A	(19) DOES THIS ALTERATION CREATE DECK OR HORIZ. EXTENSION TO BUILDING? YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	(20) IF (19) IS YES, STATE NEW GROUND FLOOR AREA N/A SQ. FT.
(21) WILL SIDEWALK OVER SUB-SIDEWALK SPACE BE REPAIRED OR ALTERED? YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	(22) WILL BUILDING EXTEND BEYOND PROPERTY LINE? YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	(23) ANY OTHER EXISTING BLDG. ON LOT? (IF YES, SHOW ON PLAT PLAN) YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	(24) DOES THIS ALTERATION CONSTITUTE A CHANGE OF OCCUPANCY? YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>

(25) ARCHITECT OR ENGINEER (DESIGN) <input type="checkbox"/> CONSTRUCTION <input checked="" type="checkbox"/>	ADDRESS	CALIF. CERTIFICATE NO.
---	---------	------------------------

(26) CONSTRUCTION LENDER (ENTER NAME AND BRANCH DESIGNATION IF ANY. IF THERE IS NO KNOWN CONSTRUCTION LENDER, ENTER "UNKNOWN")	ADDRESS
--	---------

IMPORTANT NOTICES

No change shall be made in the character of the occupancy or use without first obtaining a Building Permit authorizing such change. See San Francisco Building Code and San Francisco Housing Code.
No portion of building or structure or scaffolding used during construction is to be closer than 6' to any wire containing more than 750 volts. See San 188, California Penal Code.

Pursuant to San Francisco Building Code, the building permit shall be posted on the job. The owner is responsible for approved plans and applications being kept at building site.

Grade lines as shown on drawings accompanying this application are assumed to be correct. If actual grade lines are not the same as shown, revised drawings showing correct grade lines, cuts and fills, and complete details of retaining walls and soil footings must be submitted to this department for approval.

ANY RETRIBUTION REQUIRED HEREIN OR BY CODE MAY BE APPEALED.

BUILDING NOT TO BE OCCUPIED UNTIL CERTIFICATE OF FINAL COMPLETION IS POSTED ON THE BUILDING OR PERMIT OF OCCUPANCY GRANTED, WHEN REQUIRED.

APPROVAL OF THIS APPLICATION DOES NOT CONSTITUTE AN APPROVAL FOR THE ELECTRICAL WORK OR PLUMBING INSTALLATIONS. A SEPARATE PERMIT FOR THE WORK AND PLUMBING MUST BE OBTAINED. SEPARATE PERMITS ARE REQUIRED IF ANSWER IS "YES" TO ANY OF ABOVE QUESTIONS (10) (11) (12) (13) (22) OR (24).

THIS IS NOT A BUILDING PERMIT. NO WORK SHALL BE STARTED UNTIL A BUILDING PERMIT IS ISSUED.

In demolitions, all building materials must have a clearance of not less than two inches from all electrical wires or equipment.

CHECK APPROPRIATE BOX <input type="checkbox"/> OWNER <input type="checkbox"/> LESSEE <input checked="" type="checkbox"/> CONTRACTOR	<input type="checkbox"/> ARCHITECT <input type="checkbox"/> AGENT <input type="checkbox"/> ENGINEER
--	---

APPLICANT'S CERTIFICATION

I HEREBY CERTIFY AND AGREE THAT IF A PERMIT IS ISSUED FOR THE CONSTRUCTION DESCRIBED IN THIS APPLICATION, ALL THE PROVISIONS OF THE PERMIT AND ALL LAWS AND ORDINANCES THEREOF WILL BE COMPLIED WITH.

NOTICE TO APPLICANT

HOLD HARMLESS CLAUSE. The permittee(s) by acceptance of the permit, agrees to indemnify and hold harmless the City and County of San Francisco from and against any and all claims, demands and actions for damages resulting from operations under this permit, regardless of negligence of the City and County of San Francisco, and to assume the defense of the City and County of San Francisco against all such claims, demands or actions.

In conformity with the provisions of Section 3200 of the Labor Code of the State of California, the applicant shall have worker's compensation coverage under (1) or (2) designated below, or shall indicate item (1), (2), or (3), whichever is applicable. If however item (1) is checked, item (2) cannot be checked as well. Mark the appropriate method of compliance below.

I hereby affirm under penalty of perjury one of the following sections below:

- I have and will maintain a certificate of consent to self-insure for worker's compensation, as provided by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued.
- I have and will maintain worker's compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My worker's compensation insurance carrier and policy number are:
Carrier
Policy Number
- The cost of the work to be done is \$150 or less.
- I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the worker's compensation laws of California. I further acknowledge that I understand that in the event that I should become subject to the worker's compensation provisions of the Labor Code of California and fail to comply therewith with the provisions of Section 3200 of the Labor Code, that the permit herein applied for shall be deemed revoked.

I certify as the owner (or the agent for the owner) that in the performance of the work for which this permit is issued, I will employ a contractor who complies with the worker's compensation laws of California and who, prior to the commencement of any work, will file a completed copy of this form with the County Clerk's Office.

Signature of Applicant or Agent
Date 8/11/14

SAN FRANCISCO

CONDITIONS AND STIPULATIONS

REFER TO: APPROVED

DEPARTMENT OF BUILDING INSPECTION

Jonathan Chiu, DBI

AUG 11 2014

BUILDING INSPECTOR, DEPT. OF BLDG. INSP.

APPROVED:

☐

MA

DEPARTMENT OF CITY PLANNING

APPROVED:

☐

↓

BUREAU OF FIRE PREVENTION & PUBLIC SAFETY

APPROVED:

☒

Timothy Nagata, DBI

AUG 11 2014

MECHANICAL ENGINEER, DEPT. OF BLDG. INSPECTION

APPROVED:

☐

MA

CIVIL ENGINEER, DEPT. OF BLDG. INSPECTION

APPROVED:

☐

BUREAU OF ENGINEERING

APPROVED:

☐

DEPARTMENT OF PUBLIC HEALTH

APPROVED:

☐

REDEVELOPMENT AGENCY

APPROVED:

☐

↓

HOUSING INSPECTION DIVISION

DATE:

REASON: AUG 11 2014
OK to process

NOTIFIED MR. B. Chiu

DATE:

REASON:

NOTIFIED MR.

DATE:

REASON:

NOTIFIED MR.

DATE:

REASON:

NOTIFIED MR.

DATE:

REASON:

NOTIFIED MR.

DATE:

REASON:

NOTIFIED MR.

DATE:

REASON:

NOTIFIED MR.

DATE:

REASON:

NOTIFIED MR.

DATE:

REASON:

NOTIFIED MR.

HOLD SECTION - NOTE DATES AND NAMES OF ALL PERSONS NOTIFIED DURING PROCESSING

I agree to comply with all conditions or stipulations of the various bureaus or departments noted on this application, and attached statements of conditions or stipulations, which are hereby made a part of this application.

Number of attachments ☐

OWNER'S AUTHORIZED AGENT

ORIGINAL COPY

DEPARTMENT
BUILDING
F.J. SANDOVAL CO.
143 DOLORES ST # 5
San Francisco, CA 94110
415-734-7172
Fax: 415-6420
CASL # 705303

August 11, 2014

Re: 143 Corbett Ave.
San Francisco, Ca

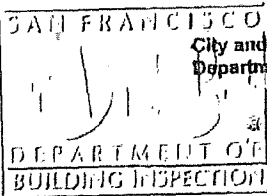
To whom it may concern:

I hereby authorize Mr. Javier Solorzano to apply and attain the permits required for above mentioned address at the City and county of San Francisco.

In further question regarding this matter can be sent to myself through letter correspondence or email; francisco@fisandoval.com

Sincerely,

Francisco Sandoval



City and County of San Francisco
Department of Building Inspection



Edwin M. Lee, Mayor
Tom Hul, Acting Director

**PERMIT APPLICANT AND AUTHORIZED AGENT
DISCLOSURE AND CERTIFICATION**

Date: 8/11/14 ☐ New ☐ Amended
Permit Application No. 2014-0811-3493 Job Address: 143 ~~Adelphi~~ CORPBT AVE

This form must be completed in its entirety in connection with an application for a building permit (Forms 1/2, 3/8, 4/7, 6 and 8).
This form must be amended for all new information or change in information for duration of project. Please be advised that the Department does not regulate permit expeditors/consultants or afford them preferential treatment.

A. Permit Applicant Information

I hereby certify that for the purpose of filling an application for a building or other permit with the Central Permit Bureau, or completion of any from related to the San Francisco Building Code, or to City and County ordinances and regulations, or to state laws and codes, I am the owner, the lessee or the agent of the owner/lessee and am authorized to sign all documented connected with this application or permit.

I declare under penalty of perjury that the foregoing is true and correct. I am the permit applicant and I am

Check box(es):

- ☐ The owner (B) ☐ The lessee (C)
☐ The authorized agent. Check entity(ies):
☐ Architect (D) ☐ Engineer (D)
☒ Contractor (E) ☐ Attorney (F)
☐ Permit Consultant/Expediter (G)
☐ Other (H)

Print Applicant Name Francisco Samponal
Sign Name [Signature]

B. Owner Information

Name PACINI RACHANAN
Phone (408) 969-3907
Address 143 CORPBT AVE
G.P. CA 94115
City State Zip

C. Lessee Information

Name _____
Phone _____
Address _____
City State Zip

D. Architect/Engineer Information

- ☐ None ☐ List of all Architect(s)/Engineer(s) on project:

A. Name ☐ Architect ☐ Engineer

Phone No. _____
Firm Name _____
License # _____
Expiration Date _____
Firm Address _____
City State Zip

B. Name ☐ Architect ☐ Engineer

Phone No. _____
Firm Name _____
License # _____
Expiration Date _____
Firm Address _____
City State Zip

C. Name

- ☐ Architect ☐ Engineer

Phone No. _____
Firm Name _____
License # _____
Expiration Date _____
Firm Address _____
City State Zip

E. General Contractor Information

Note: Complete separate licensed contractor's statement also.

Name Francisco Samponal
Phone _____
Firm Name F. Samponal & Co.
License # 725209
Expiration Date 2/28/15
Firm Address 1348-700005 31 #5
G.P. CA 94112
City State Zip

- ☐ Contractor not yet selected. If this box is checked; submit an amended form when known.
☐ Owner-Builder. If this box is checked, submit Owner-Builder Declaration Form.

F. Attorney Information

Name _____
Phone _____
Address _____
City State Zip

G. Permit Consultant/Expediter

Name _____
Phone _____
Address _____
City State Zip

H. Authorized Agent - Others

Name _____
Phone _____
Address _____
City State Zip

Please describe your relationship with the owner.

COMPLAINT DATA SHEET**Complaint Number:** 201494491Owner/Agent: OWNER DATA
SUPPRESSED

Owner's Phone: --

Contact Name: --

Contact Phone: --

Complainant: COMPLAINANT DATA
SUPPRESSED

Date Filed:

Location: 143 CORBETT AV

Block: 2656

Lot: 060

Site:

Rating:

Occupancy Code:

Received By: MASUNCION

Division: BID

Complainant's

Phone:

Complaint

Source:

Assigned to

Division:

WEB FORM

BID

Description:

date last observed: 12-SEP-14; time last observed: 1:00 pm; identity of person performing the work: Sandoval? ; floor: First; exact location: Main Bldg; building type: Residence/Dwelling
WORK W/O PERMIT; WORK BEYOND SCOPE OF PERMIT; ; additional information: Gutted
1st floor, permit is 3rd floor bath. Earlier complaint abated by inspector who did not visit but
assumed permit covered work. ;

Instructions:

INSPECTOR INFORMATION

DIVISION	INSPECTOR	ID	DISTRICT	PRIORITY
BID	SCHROEDER	1144	18	

REFERRAL INFORMATION**COMPLAINT STATUS AND COMMENTS**

DATE	TYPE	DIV	INSPECTOR	STATUS	COMMENT
09/16/14	CASE OPENED	BID	Schroeder	CASE RECEIVED	
09/17/14	CASE OPENED	BID	Schroeder	CASE RECEIVED	site visit contractor to provide permits not on site cs
09/18/14	WITHOUT PERMIT-ADDED, DELETED FLOOR OCCUPANCY	BID	Schroeder	CASE ABATED	pa 201409186685 issued for work cs

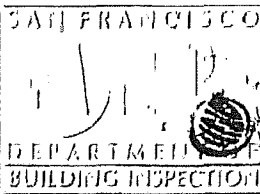
COMPLAINT ACTION BY DIVISION**NOV (HIS):****NOV (BID):**

Inspector Contact Information

[Online Permit and Complaint Tracking](#) home page.**Technical Support for Online Services**

If you need help or have a question about this service, please visit our FAQ area.

Contact SFGov Accessibility Policies
City and County of San Francisco © 2017



APPROVED

Dept. of Building Insp.

SEP 18 2014

Tom C. Hui
TOM C. HUI, S.E.
DIRECTOR
DEPT. OF BUILDING INSPECTION

BLDG. FORM 318
SEP 18 2014
APPROVED FOR ISSUANCE

APPLICATION NUMBER
201409181645
APPROVAL NUMBER

201409181645 (BID)

APPLICATION FOR BUILDING PERMIT ADDITIONS, ALTERATIONS OR REPAIRS

FORM 3 ☐ OTHER AGENCIES REVIEW REQUIREDFORM 8 ☒ OVER-THE-COUNTER ISSUANCE

2

NUMBER OF PLAN SETS

94

DO NOT WRITE ABOVE THIS LINE

CITY AND COUNTY OF SAN FRANCISCO DEPARTMENT OF BUILDING INSPECTION

APPLICATION IS HEREBY MADE TO THE DEPARTMENT OF
BUILDING INSPECTION OF SAN FRANCISCO FOR
PERMISSION TO BUILD IN ACCORDANCE WITH THE PLANS
AND SPECIFICATIONS SUBMITTED HERewith AND
ACCORDING TO THE DESCRIPTION AND FOR THE PURPOSE
HEREINAFTER SET FORTH.

DATE FILED 9/18/14	FILED FEE RECEIPT NO.	(1) STREET ADDRESS OF JOB 143 CORBET AVENUE	BLOCK & LOT 2656/260
PERMIT NO. 1336365	ISSUED 9/18/14	(2A) ESTIMATED COST OF JOB \$25,000	(2B) PERMITS COST \$25,000 IF DATE 9.18.14

INFORMATION TO BE FURNISHED BY ALL APPLICANTS

LEGAL DESCRIPTION OF EXISTING BUILDING					
(4A) TYPE OF CONSTR. SP	(5A) NO. OF STORIES OF OCCUPANCY 2	(6A) NO. OF BASEMENTS AND CELLARS 1	(7A) PRESENT USE SINGLE FAMILY	(8A) OCCUP. CLASS R3	(9A) NO. OF DWELLING UNITS 1
DESCRIPTION OF BUILDING AFTER PROPOSED ALTERATION					
(4) TYPE OF CONSTR. SP	(5) NO. OF STORIES OF OCCUPANCY 2	(6) NO. OF BASEMENTS AND CELLARS 1	(7) PROPOSED USE (LEGAL USE) SINGLE FAMILY	(8) OCCUP. CLASS R3	(9) NO. OF DWELLING UNITS 1
(10) IS AUTO RUNWAY TO BE CONSTRUCTED OR ALTERED? YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>					
(11) WILL STREET SPACE BE USED DURING CONSTRUCTION? YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>					
(12) ELECTRICAL WORK TO BE PERFORMED? YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>					
(13) PLUMBING WORK TO BE PERFORMED? YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>					
(14) GENERAL CONTRACTOR FJ SANDRILL CO. 1348 ROMPES ST. 94110 734-7132 706303					
(15) OWNER - LESSEE (CROSS OUT ONE) RAGHAVEN RAVI 143 CORBET AVE 94114 415.550-6620					
(16) WRITE IN DESCRIPTION OF ALL WORK TO BE PERFORMED UNDER THIS APPLICATION (REFERENCE TO PLANS IS NOT SUFFICIENT) INSTALL NEW BATHROOM ON THIRD FLOOR. REMODEL EXISTING BATHROOM ON THIRD FLOOR. TO ADDRESS COMPLAINT #20149941.					
ADDITIONAL INFORMATION					
(17) DOES THIS ALTERATION CREATE ADDITIONAL HEIGHT OR STORY TO BUILDING? YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>		(18) IF (17) IS YES, STATE NEW HEIGHT AT CENTER LINE OF FRONT N/A		(19) DOES THIS ALTERATION CREATE DECK OR PORCH EXTENSION TO BUILDING? YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	
(21) WILL SIDEWALK OVER SUB-SIDEWALK SPACE BE REPAIRED OR ALTERED? YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>		(22) WILL BUILDING EXTEND BEYOND PROPERTY LINE? YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>		(23) ANY OTHER EXISTING BLDG. ON LOT? IF YES, SHOW ON PLOT PLAN YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	
(24) DOES THIS ALTERATION CONSTITUTE A CHANGE OF OCCUPANCY? YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>		(25) ARCHITECT OR ENGINEER (DESIGN <input type="checkbox"/> CONSTRUCTION <input checked="" type="checkbox"/> N/A		CALIF. CERTIFICATE NO.	
(26) CONSTRUCTION LENDER (ENTER NAME AND BRANCH DESIGNATION IF ANY. IF THERE IS NO KNOWN CONSTRUCTION LENDER, ENTER "UNKNOWN") N/A					

IMPORTANT NOTICES

No change shall be made in the character of the occupancy or use without first obtaining a Building Permit authorizing such change. See San Francisco Building Code and San Francisco Planning Code.

No portion of building or structure or scaffolding used during construction is to be closer than 6'6" to any wire conducting more than 750 volts. See Sec 385, California Penal Code.

Pursuant to San Francisco Building Code, the building permit shall be posted on the job. The owner is responsible for approved plans and applications being kept at building site.

Grades shown on drawings accompanying this application are assumed to be correct. If actual grade differs from that shown, revised drawings showing correct grade lines, cuts and fills, and complete details of retaining walls and soil footings must be submitted to this department for approval.

ANY VIOLATION REQUIRED HEREON OR BY CODE MAY BE APPEALED.

BUILDING NOT TO BE OCCUPIED UNTIL CERTIFICATE OF FINAL COMPLETION IS POSTED ON THE BUILDING OR PERMIT OF OCCUPANCY GRANTED, WHEN REQUIRED.

APPROVAL OF THIS APPLICATION DOES NOT CONSTITUTE AN APPROVAL FOR THE ELECTRICAL WORKS OR PLUMBING INSTALLATIONS. A SEPARATE PERMIT FOR THE BUILDING AND PLUMBING MUST BE OBTAINED. SEPARATE PERMITS ARE REQUIRED IF ANSWER IS "YES" TO ANY OF ABOVE EXTENSIONS (11) (12) (13) (22) OR (24).

THIS IS NOT A BUILDING PERMIT. NO WORK SHALL BE STARTED UNTIL A BUILDING PERMIT IS ISSUED.

In drawings, all insulating materials must have a thickness of not less than two inches from all electrical wires or equipment.

CHECK APPROPRIATE BOX

☐ OWNER
☐ LESSEE
☒ CONTRACTOR
☐ ARCHITECT
☐ AGENT
☐ ENGINEER

APPLICANT'S CERTIFICATION

I HEREBY CERTIFY AND AGREE THAT IF A PERMIT IS GRANTED FOR THE CONSTRUCTION DESCRIBED IN THIS APPLICATION, ALL THE PROVISIONS OF THE PERMIT AND ALL LAWS AND ORDINANCES THEREBY WILL BE COMPLIED WITH.

REV 08/13

OFFICE COPY
1763

NOTICE TO APPLICANT

BOLD HANDLES CLAUSE. The permittee(s) by acceptance of the permit, agree(s) to indemnify and hold harmless the City and County of San Francisco from and against any and all claims, demands and actions for damages resulting from operations under this permit, regardless of negligence of the City and County of San Francisco, and to assume the defense of the City and County of San Francisco against all such claims, demands or actions.

In conformity with the provisions of Section 3800 of the Labor Code of the State of California, the applicant shall have worker's compensation coverage under (i) or (ii) designated below, or shall indicate item (iii), (iv), or (v), whichever is applicable. If however item (v) is checked, item (iv) must be checked as well. Mark the appropriate method of compliance below.

I hereby affirm under penalty of perjury one of the following declarations:

- () I. I have and will maintain a certificate of consent to self-insure for worker's compensation, as provided by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued.
- () II. I have and will maintain worker's compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My worker's compensation insurance carrier and policy number are:
Carrier _____
Policy Number _____
- () III. The cost of the work to be done is \$100 or less.

() IV. I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the worker's compensation laws of California. I further understand that I understand that in the event that I should become subject to the worker's compensation provisions of the Labor Code of California and fail to comply therewith with the provisions of Section 3800 of the Labor Code, that the permit herein applied for shall be deemed revoked.

() V. I certify as the owner (or the agent for the owner) that in the performance of the work for which this permit is issued, I will employ an independent contractor who complies with the worker's compensation laws of California and who, prior to the commencement of any work, will file a completed copy of this form with the Central Permit Bureau.

Signature of Applicant or Agent

Date

9/18/14

SAN FRANCISCO
DEPARTMENT OF
BUILDING INSPECTION

CONDITIONS AND STIPULATIONS

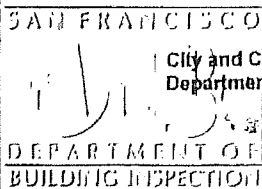
REFER TO:	APPROVED: <i>[Signature]</i> Nelson Lau, DBI SEP 18 2014 BUILDING INSPECTOR, DEPT. OF BLDG. INSP.	DATE: 9/18/14 REASON: <i>[Signature]</i> NOTIFIED MR. <i>[Signature]</i> DATE: _____ REASON: _____
<input type="checkbox"/>	APPROVED: <i>[Signature]</i> DEPARTMENT OF CITY PLANNING	NOTIFIED MR. _____ DATE: _____ REASON: _____
<input type="checkbox"/>	APPROVED: <i>[Signature]</i> BUREAU OF FIRE PREVENTION & PUBLIC SAFETY	NOTIFIED MR. _____ DATE: _____ REASON: _____
<input checked="" type="checkbox"/>	APPROVED: <i>[Signature]</i> Jeff Lai, DBI SEP 18 2014 MECHANICAL ENGINEER, DEPT. OF BLDG. INSPECTION	DATE: _____ REASON: _____ NOTIFIED MR. _____
<input type="checkbox"/>	APPROVED: <i>[Signature]</i> CIVIL ENGINEER, DEPT. OF BLDG. INSPECTION	DATE: _____ REASON: _____ NOTIFIED MR. _____
<input type="checkbox"/>	APPROVED: <i>[Signature]</i> BUREAU OF ENGINEERING	DATE: _____ REASON: _____ NOTIFIED MR. _____
<input type="checkbox"/>	APPROVED: <i>[Signature]</i> DEPARTMENT OF PUBLIC HEALTH	DATE: _____ REASON: _____ NOTIFIED MR. _____
<input checked="" type="checkbox"/>	APPROVED: SFPUC <i>[Signature]</i> Ally Kumar SPARC REDEVELOPMENT AGENCY 9/18/14	DATE: _____ REASON: _____ NOTIFIED MR. _____
<input type="checkbox"/>	APPROVED: <i>[Signature]</i> HOUSING INSPECTION DIVISION	DATE: _____ REASON: _____ NOTIFIED MR. _____

HOLD SECTION - NOTE DATES AND NAMES OF ALL PERSONS NOTIFIED DURING PROCESSING

I agree to comply with all conditions or stipulations of the various bureaus or departments noted on this application, and attached statements of conditions or stipulations, which are hereby made a part of this application.

Number of attachments ☐

OWNER'S AUTHORIZED AGENT



City and County of San Francisco
Department of Building Inspection



Edwin M. Lee, Mayor
Tom C. Hul, S.E., C.B.O., Director

PERMIT APPLICANT AND AUTHORIZED AGENT DISCLOSURE AND CERTIFICATION

Date: 9/18/14

☒ New

☐ Amended

Permit Application No. 2014.0918.1685 Job Address: 143 COPPETT AVE

This form must be completed in its entirety in connection with an application for a building permit (Forms 1/2, 3/8, 4/7, 6 and 8).
This form must be amended for all new information or change in information for duration of project. Please be advised that the Department does not regulate permit expeditors/consultants or afford them preferential treatment.

A. Permit Applicant Information

I hereby certify that for the purpose of filing an application for a building or other permit with the Central Permit Bureau, or completion of any from related to the San Francisco Building Code, or to City and County ordinances and regulations, or to state laws and codes, I am the owner, the lessee or the agent of the owner/lessee and am authorized to sign all documents connected with this application or permit.

I declare under penalty of perjury that the foregoing is true and correct. I am the permit applicant and I am

Check box(es):

☐ The owner (B) ☐ The lessee (C)

☒ The authorized agent. Check entity(ies):

☐ Architect (D) ☐ Engineer (D)

☒ Contractor (E) ☐ Attorney (F)

☐ Permit Consultant/Expediter (G)

☐ Other

Print Applicant Name

Sign Name

B. Owner Information

Name BAGHAUER RAVI

Phone

Address 143 COPPETT AVE

SF CA 94114

City

State

Zip

C. Lessee Information

Name

Phone

Address

City

State

Zip

D. Architect/Engineer Information

☐ None ☐ List of all Architect(s)/Engineer(s) on project:

A. Name

☐ Architect

☐ Engineer

Phone No.

Firm Name

License #

Expiration Date

Firm Address

City

State

Zip

B. Name

☐ Architect

☐ Engineer

Phone No.

Firm Name

License #

Expiration Date

Firm Address

City

State

Zip

C. Name

☐ Architect

☐ Engineer

Phone No.

Firm Name

License #

Expiration Date

Firm Address

City

State

Zip

E. General Contractor Information

Note: Complete separate licensed contractor's statement also.

Name

Phone

Firm Name

License #

Expiration Date

Firm Address

City

State

Zip

☐ Contractor not yet selected. If this box is checked, submit an amended form when known.

☐ Owner-Builder. If this box is checked, submit Owner-Builder Declaration Form.

F. Attorney Information

Name

Phone

Address

City

State

Zip

G. Permit Consultant/Expediter

Name

Phone

Address

City

State

Zip

H. Authorized Agent - Others

Name

Phone

Address

City

State

Zip

Please describe your relationship with the owner.

COMPLAINT DATA SHEET**Complaint Number: 201407451**

Owner/Agent: OWNER DATA SUPPRESSED

Owner's Phone: --

Contact Name: --

Contact Phone: --

Complainant: COMPLAINANT DATA SUPPRESSED

Date Filed:

Location:

Block:

Lot:

Site:

Rating:

Occupancy Code:

Received By:

Division:

143 CORBETT AV

2656

060

IS INTERN

INS

Complainant's

Phone:

Complaint

Source:

Assigned to

Division:

Description: Construction with windows open while tearing out ceiling and not containing the dust. Concerned about safety and possibly working beyond the scope of the permit.

Instructions: Complainant would like a call back after the inspection.

INSPECTOR INFORMATION

DIVISION	INSPECTOR	ID	DISTRICT	PRIORITY
BID	SCHROEDER	1144	18	

REFERRAL INFORMATION**COMPLAINT STATUS AND COMMENTS**

DATE	TYPE	DIV	INSPECTOR	STATUS	COMMENT
11/10/14	CASE OPENED	BID	Schroeder	CASE RECEIVED	
11/14/14	OTHER BLDG/HOUSING VIOLATION	BID	Schroeder	CASE CLOSED	issued correction notice to extend permit to work done beyond scope of permit. case closed JB

COMPLAINT ACTION BY DIVISION**NOV (HIS):****NOV (BID):**Inspector Contact InformationOnline Permit and Complaint Tracking home page.**Technical Support for Online Services**

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Contact SFGov Accessibility Policies
City and County of San Francisco © 2017



APPROVED

Dept. of Building Insp.

NOV 25 2014

Tom C. Hui
TOM C. HUI, S.E.
DIRECTOR

APPROVED FOR ISSUANCE

NOV 25 2014

BLDG. 818
FORMAPPLICATION NUMBER
2014-11-25-SBA APPROVAL REC'D
APPROVAL NUMBER
2473

APPLICATION FOR BUILDING PERMIT ADDITIONS, ALTERATIONS OR REPAIRS

FORM 3 ☐ OTHER AGENCIES REVIEW REQUIRED
FORM 8 ☒ OVER-THE-COUNTER ISSUANCE

NUMBER OF PLAN SETS

DO NOT WRITE ABOVE THIS LINE

APPLICATION IS HEREBY MADE TO THE DEPARTMENT OF
BUILDING INSPECTION OF SAN FRANCISCO FOR
PERMISSION TO BUILD IN ACCORDANCE WITH THE PLANS
AND SPECIFICATIONS SUBMITTED HERewith AND
ACCORDING TO THE DESCRIPTION AND FOR THE PURPOSE
HEREINAFTER SET FORTH.

DATE FILED 11/25/2014	FILED FOR RECEIPT NO.	(1) STREET ADDRESS OF JOB 143 CORBETT AVE	BLOCK & LOT 2656 / 860
PERMIT NO. 1342743	ISSUED 11/25/14	(2A) ESTIMATED COST OF JOB \$1,000	(2B) REVISED COST \$1,000 BY: TCH DATE 11/20/14

INFORMATION TO BE FURNISHED BY ALL APPLICANTS

LEGAL DESCRIPTION OF EXISTING BUILDING					
(4A) TYPE OF CONSTR. 5N	(5A) NO. OF STORIES OF OCCUPANCY 3	(6A) NO. OF BASEMENTS AND CELLARS 1	(7A) PRESENT USE SINGLE FAMILY	(8A) OCCUP. CLASS R3	(9A) NO. OF DWELLING UNITS 1
DESCRIPTION OF BUILDING AFTER PROPOSED ALTERATION					
(4) TYPE OF CONSTR. 5N	(5) NO. OF STORIES OF OCCUPANCY 3	(6) NO. OF BASEMENTS AND CELLARS 1	(7) PROPOSED USE (LEGAL USE) SINGLE FAMILY	(8) OCCUP. CLASS R3	(9) NO. OF DWELLING UNITS 1
(10) IS AUTO HIGHWAY TO BE CONSTRUCTED OR ALTERED?		(11) WILL STREET SPACE BE USED DURING CONSTRUCTION?		(12) ELECTRICAL WORK TO BE PERFORMED?	
YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>		YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>		YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>	
(13) PLUMBING WORK TO BE PERFORMED?		(14) GENERAL CONTRACTOR		EXPIRATION DATE	
YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>		ADDRESS FJ SANDOVAL CO. DOLORES ST. 94110 415 734-9192		705303 2/28/15	
(15) OWNER - LESSEE (CROSS OUT ONE)		ADDRESS		PHONE (FOR CONTACT BY DEPT.)	
RAJINE RAJHANI		143 CORBETT AVE 94115		(415) 724-5240	
(16) WRITE IN DESCRIPTION OF ALL WORK TO BE PERFORMED UNDER THIS APPLICATION (REFERENCE TO PLANS IS NOT SUFFICIENT)					
OPEN WALLS IN VARIOUS LOCATIONS ON FIRST, SECOND & THIRD FLOORS TO INSTALL ELECTRICAL (REPLACEMENT) CABLES RELATED TO ELECTRICAL PERMIT #E201409243026. (NO FRAMING WORK UNDER THIS PERMIT) REPAIR W/5/6 TYPE X W/20 COOLER RAILS AT 415 G. OF EQUIVALENT SCREWS					
ADDITIONAL INFORMATION					
(17) DOES THIS ALTERATION CREATE ADDITIONAL HEIGHT OR STORY TO BUILDING?		(18) IF (17) IS YES, STATE NEW HEIGHT AT CENTER LINE OF FRONT		(19) DOES THIS ALTERATION CREATE DECK OR PORCH EXTENSION TO BUILDING?	
YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>		N/A		YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	
(21) WILL SIDEWALK OVER SUB-SIDEWALK SPACE BE REPAIRED OR ALTERED?		(22) WILL BUILDING EXTEND BEYOND PROPERTY LINE?		(23) ANY OTHER EXISTING BLDG. ON LOT? (IF YES, SHOW ON PLOT PLAN)	
YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>		YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>		YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	
(24) DOES THIS ALTERATION CONSTITUTE A CHANGE OF OCCUPANCY?		(25) ARCHITECT OR ENGINEER (DESIGN <input type="checkbox"/> CONSTRUCTION <input checked="" type="checkbox"/>		CALIF. CERTIFICATE NO.	
YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>		N/A		N/A	
(26) CONSTRUCTION LENDER (ENTER NAME AND BRANCH DESIGNATION IF ANY. IF THERE IS NO KNOWN CONSTRUCTION LENDER, ENTER "UNKNOWN")			ADDRESS		
N/A			N/A		

IMPORTANT NOTICES

No change shall be made in the character of the occupancy or use without first obtaining a Building Permit authorizing such change. See San Francisco Building Code and San Francisco Housing Code.

No portion of building or structure or scaffolding used during construction is to be closer than 6' to any wire containing more than 750 volts. See Sec 305, California Power Code.

Pursuant to San Francisco Building Code, the building permit shall be posted on the job. The owner is responsible for approved plans and application being kept at building site.

Grade lines as shown on drawings accompanying this application are assumed to be correct. If actual grade lines are not the same as shown, revised drawings showing correct grade lines, cuts and fills, and complete details of retaining walls and soil findings must be submitted to this department for approval.

ANY STIPULATION REQUIRED HEREIN OR BY CODE MAY BE APPEALED.

BUILDING NOT TO BE OCCUPIED UNTIL CERTIFICATE OF FINAL COMPLETION IS POSTED ON THE BUILDING OR PERMIT OF OCCUPANCY GRANTED, WHEN REQUIRED.

APPROVAL OF THIS APPLICATION DOES NOT CONSTITUTE AN APPROVAL FOR THE ELECTRICAL WORKING OR PLUMBING INSTALLATIONS. A SEPARATE PERMIT FOR THE WORKING AND PLUMBING MUST BE OBTAINED. SEPARATE PERMITS ARE REQUIRED IF ANSWER IS "YES" TO ANY OF ABOVE QUESTIONS (10) (11) (12) (13) (22) OR (24).

THIS IS NOT A BUILDING PERMIT. NO WORK SHALL BE STARTED UNTIL A BUILDING PERMIT IS ISSUED.

In drawings, all inside the exterior must have a clearance of not less than two inches from all electrical wires or equipment.

CHECK APPROPRIATE BOX

☐ OWNER
☐ LESSOR
☒ CONTRACTOR
☐ ARCHITECT
☐ AGENT
☐ ENGINEER

APPLICANT'S CERTIFICATION

I HEREBY CERTIFY AND AGREE THAT IF A PERMIT IS ISSUED FOR THE CONSTRUCTION DESCRIBED IN THIS APPLICATION, ALL THE PROVISIONS OF THE PERMIT AND ALL LAWS AND ORDINANCES THEREIN WILL BE COMPLIED WITH.

REV 06/13

OFFICE COPY
1767

NOTICE TO APPLICANT

HOLD HARMLESS CLAUSE. The permittee(s) by acceptance of the permit, agree(s) to hold harmless the City and County of San Francisco from and against any and all claims, demands and actions for damages resulting from operations under this permit, regardless of negligence of the City and County of San Francisco, and to assume the defense of the City and County of San Francisco against all such claims, demands or actions.

In conformity with the provisions of Section 3800 of the Labor Code of the State of California, the applicant shall have worker's compensation coverage under (8) or (9) designated below, or shall indicate item (8), (9), or (10), whichever is applicable. If however item (4) is checked, item (10) must be checked as well. Mark the appropriate method of compliance below.

I hereby affirm under penalty of perjury one of the following declarations:

- () I have and will maintain a certificate of consent to such license for worker's compensation, as provided by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued.
- () I have and will maintain worker's compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My worker's compensation insurance carrier and policy number are:

Carrier

Policy Number

- () The cost of the work to be done is \$250 or less.

I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the worker's compensation laws of California. I further acknowledge that I understand that in the event that I should become subject to the worker's compensation provisions of the Labor Code of California and fail to comply herewith with the provisions of Section 3800 of the Labor Code, that the permit herein applied for shall be deemed revoked.

I certify as the owner (or the agent for the owner) that in the performance of the work for which this permit is issued, I will employ a contractor who complies with the worker's compensation laws of California and who, prior to the commencement of any work, will file a completed copy of this form with the Central Permit Bureau.

Signature of Applicant or Agent

Date

11/25/14

OFFICIAL COPY

SAN FRANCISCO

CONDITIONS AND STIPULATIONS

REFER TO:

DEPARTMENT OF BUILDING INSPECTION

APPROVED: GYP. BOARD RESTORATION AFTER WORK
SHALL COMPLY WITH SFBCE SEC. 3904.7.1

CHECKED

NOV 20 2014

BUILDING INSPECTOR, DEPT. OF BLDG. INSP.

DATE: _____

REASON: _____

NOTIFIED MR. _____

DATE: _____

REASON: _____

NOTIFIED MR. _____

DATE: _____

REASON: _____

NOTIFIED MR. _____

DATE: _____

REASON: _____

NOTIFIED MR. _____

DATE: _____

REASON: _____

NOTIFIED MR. _____

DATE: _____

REASON: _____

NOTIFIED MR. _____

DATE: _____

REASON: _____

NOTIFIED MR. _____

DATE: _____

REASON: _____

NOTIFIED MR. _____

DATE: _____

REASON: _____

NOTIFIED MR. _____

APPROVED: THOMAS LE

☐

DEPARTMENT OF CITY PLANNING

APPROVED:

☐

BUREAU OF FIRE PREVENTION & PUBLIC SAFETY

APPROVED:

☐

MECHANICAL ENGINEER, DEPT. OF BLDG. INSPECTION

APPROVED:

☐

CIVIL ENGINEER, DEPT. OF BLDG. INSPECTION

APPROVED:

☐

BUREAU OF ENGINEERING

APPROVED:

☐

DEPARTMENT OF PUBLIC HEALTH

APPROVED:

☐

REDEVELOPMENT AGENCY

APPROVED:

☐

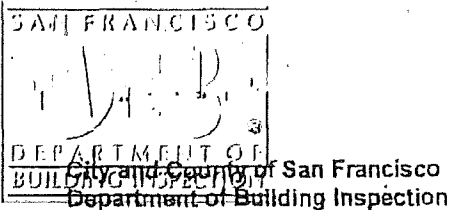
HOUSING INSPECTION DIVISION

I agree to comply with all conditions or stipulations of the various bureau or departments noted on this application, and attached statements of conditions or stipulations, which are hereby made a part of this application.

Number of attachments ☐

OWNER'S AUTHORIZED AGENT

HOLD SECTION - NOTE DATES AND NAMES OF ALL PERSONS NOTIFIED DURING PROCESSING



Edwin M. Lee, Mayor
Tom C. Hui, S.E., C.B.O., Director

LICENSED CONTRACTOR'S STATEMENT

Permit Application No. _____

Job Address: 143 CORBETT AVE

Licensed Contractor's Declaration

Pursuant to the Business and Professions Code Sec. 7031.5, I hereby affirm under penalty of perjury that I am licensed under the provisions of Chapter 9 (commencing with Sec. 7000) of Division 3 of the Business and Professions Code, and that my license is in full force and effect.

License Number 705303

License Class B

Expiration Date 2015

Contractor

F.J. Candia CO
PRINT

[Signature]
SIGNATURE

NOTE: "Any violation of the Bus. & Prof. Code Sec 7031.5 by any permit applicant shall be subject to a civil penalty of not more than five hundred dollars (\$500)" Bus. & Prof. Code Sec. 7031.5. Revised 04/30/2010

1660 Mission Street - San Francisco CA 94103
Office (415) 558-6088 - Fax (415) 558-6401
Website: www.sfdbi.org

3/17/2014

COMPLAINT DATA SHEET**Complaint Number:** 201542021Owner/Agent: OWNER DATA
SUPPRESSED

Date Filed:

Owner's Phone: --

Location: 143 CORBETT AV

Contact Name: --

Block: 2656

Contact Phone: --

Lot: 060

Complainant: COMPLAINANT DATA
SUPPRESSED

Site:

Rating:

Occupancy Code:

Received By: Adora Canotal

Division: PID

Complainant's
Phone:

Complaint

Source:

311 INTERNET REFERRAL

Assigned to

Division:

BID

Description:

143 Corbett --- Complaint please verify Permit - permit online for a remodel of a bathroom. Work is going on all day, every day, the house was down to the studs and a new electrical box has been installed. There seems to be more going on then a remodel of a small bathroom. Also checking to see if the permit has been suspended.

Instructions: 311 service request no. 4682265 received on 04/22/2015

INSPECTOR INFORMATION

DIVISION	INSPECTOR	ID	DISTRICT	PRIORITY
BID	SCHROEDER	1144	18	

REFERRAL INFORMATION**COMPLAINT STATUS AND COMMENTS**

DATE	TYPE	DIV	INSPECTOR	STATUS	COMMENT
04/22/15	CASE OPENED	BID	Schroeder	CASE RECEIVED	
04/28/15	CASE OPENED	BID	Schroeder	CASE CLOSED	work per scope of oermits cs

COMPLAINT ACTION BY DIVISION**NOV (HIS):****NOV (BID):**Inspector Contact InformationOnline Permit and Complaint Tracking home page.**Technical Support for Online Services**

If you need help or have a question about this service, please visit our FAQ area.

COMPLAINT DATA SHEET**Complaint Number:** 201555501Owner/Agent: OWNER DATA
SUPPRESSED

Date Filed:

Owner's Phone: --

Location: 143 CORBETT AV

Contact Name:

Block: 2656

Contact Phone: --

Lot: 060

Complainant: COMPLAINANT DATA
SUPPRESSED

Site:

Rating:

Occupancy Code:

Received By: Carmen Hasbun

Division: INS

Complainant's
Phone:

Complaint Source: TELEPHONE

Assigned to

Division: BID

Description: Working outside of scope of permits 201408113493, 201409186685, 201411252473. Enclosing the deck and putting in windows in the deck.

Instructions:

INSPECTOR INFORMATION

DIVISION	INSPECTOR	ID	DISTRICT	PRIORITY
BID	SCHROEDER	1144	18	

REFERRAL INFORMATION**COMPLAINT STATUS AND COMMENTS**

DATE	TYPE	DIV	INSPECTOR	STATUS	COMMENT
07/02/15	CASE OPENED	BID	Schroeder	CASE RECEIVED	
07/03/15	CASE OPENED	BID	Schroeder	CASE CONTINUED	site visit legal existing deck enclosure cs
08/10/15	CASE OPENED	BID	Schroeder	CASE CLOSED	per scope of permits cs

COMPLAINT ACTION BY DIVISION**NOV (HIS):****NOV (BID):**

Inspector Contact Information

[Online Permit and Complaint Tracking](#) home page.**Technical Support for Online Services**

If you need help or have a question about this service, please visit our FAQ area.

Contact SFGov Accessibility Policies
City and County of San Francisco © 2017



APPROVED
Dept. of Building Insp.

JUL 06 2015

Tom C. Hui
TOM C. HUI, S.E.
DIRECTOR

APPROVED FOR ISSUANCE

JUL 06 2015

BLDG. 3/8
FORM 2050706675

APPLICATION NUMBER

APPROVAL NUMBER

BID 201555501

**APPLICATION FOR BUILDING PERMIT
ADDITIONS, ALTERATIONS OR REPAIRS**

FORM 3 ☐ OTHER AGENCIES REVIEW REQUIRED
FORM 8 ☒ OVER-THE-COUNTER ISSUANCE

2 NUMBER OF PLAN SETS

▼ DO NOT WRITE ABOVE THIS LINE ▼

DATE FILED JUL 06 2015	FILED FEE RECEIPT NO.	(1) STREET ADDRESS OF JOB 143 CORPETT AVENUE	BLOCK & LOT 2656/260
PERMIT NO. 1762271	ISSUED JUL 06 2015	ESTIMATED COST OF JOB \$3,200	(2) REVEALED COST \$3,200 DATE 7/6/15

INFORMATION TO BE FURNISHED BY ALL APPLICANTS

LEGAL DESCRIPTION OF EXISTING BUILDING

(4A) TYPE OF CONSTR. V-B	(5A) NO. OF STORIES OF OCCUPANCY 3	(6A) NO. OF BASEMENTS AND CELLARS 0	(7A) PRESENT USE SINGLE FAMILY	(8A) OCCUP. CLASS P3	(9A) NO. OF DWELLING UNITS 1
(4B) TYPE OF CONSTR. V-B	(5B) NO. OF STORIES OF OCCUPANCY 3	(6B) NO. OF BASEMENTS AND CELLARS 0	(7B) PROPOSED USE (LEGAL USE) SINGLE FAMILY	(8B) OCCUP. CLASS P3	(9B) NO. OF DWELLING UNITS 1
(10) IS AUTO RUNWAY TO BE CONSTRUCTED OR ALTERED?	YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	(11) WILL STREET SPACE BE USED DURING CONSTRUCTION?	YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	(12) ELECTRICAL WORK TO BE PERFORMED?	YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>
(13) PLUMBING WORK TO BE PERFORMED?	YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	(14) GENERAL CONTRACTOR F SANDOVAL	ADDRESS 1342 DOLORES ST. 94110	PHONE 415-734-7132	CALIF. LIC. NO. 3705303
(15) OWNER - LESSOR (CROSS OUT ONE) BAGAWAN BAGHAYAN	ADDRESS 143 CORPETT AVE S.F. 941	PHONE 415-734-7132	EXPIRATION DATE 2/18		
(16) WRITE IN DESCRIPTION OF ALL WORK TO BE PERFORMED UNDER THIS APPLICATION (REFERENCE TO PLANS IS NOT SUFFICIENT)					

REPLACE REAR WINDOWS (6) NOT VISIBLE FROM THE STREET. IN KIND SIZE & TYPE. U-FACTOR 0.32 MAX.

ADDITIONAL INFORMATION

(17) DOES THIS ALTERATION CREATE ADDITIONAL HEIGHT OR STORY TO BUILDING?	YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	(18) IF (17) IS YES, STATE NEW HEIGHT AT CENTER LINE OF FRONT	NO	(19) DOES THIS ALTERATION CREATE DECK OR HORIZ. EXTENSION TO BUILDING?	YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	(20) IF (19) IS YES, STATE NEW GROUND FLOOR AREA	NO
(21) WILL SIDEWALK OVER SUB-SIDEWALK SPACE BE REPAIRED OR ALTERED?	YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	(22) WILL BUILDING EXTEND BEYOND PROPERTY LINE?	YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	(23) ANY OTHER EXISTING BLDG. ON LOT? (IF YES, SHOW ON LOT PLAN)	YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	(24) DOES THIS ALTERATION CONSTITUTE A CHANGE OF OCCUPANCY?	YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>
(25) ARCHITECT OR ENGINEER (DESIGN <input type="checkbox"/> CONSTRUCTION <input type="checkbox"/> ADDRESS M/R				(26) ARCHITECT OR ENGINEER (DESIGN <input type="checkbox"/> CONSTRUCTION <input type="checkbox"/> ADDRESS M/R			
(27) CONSTRUCTION LEADER (ENTER NAME AND BRANCH DESIGNATION IF ANY. IF THERE IS NO KNOWN CONSTRUCTION LEADER, ENTER "UNKNOWN") ADDRESS M/R							

IMPORTANT NOTICES

No change shall be made in the character of the occupancy or use without first obtaining a Building Permit authorizing such change. See San Francisco Building Code and San Francisco Planning Code.

No portion of building or structure or scaffolding used during construction is to be closer than 5'0" to any wall containing more than 700 volts. See Sec 248, California Penal Code.

Pursuant to San Francisco Building Code, the building permit shall be posted on the job. The owner is responsible for approved plans and application being kept at building site.

Grade lines as shown on drawings accompanying this application are assumed to be correct. If actual grade lines are not the same as shown, revised drawings showing correct grade lines, cuts and fills, and complete details of retaining walls and wall footings must be submitted to this department for approval.

ANY VIOLATION REQUIRED HEREIN ON BY CODE MAY BE APPEALED.

BUILDING NOT TO BE OCCUPIED UNTIL CERTIFICATE OF FINAL COMPLETION IS POSTED ON THE BUILDING OR PERMIT OF OCCUPANCY GRANTED, WHEN REQUIRED.

APPROVAL OF THIS APPLICATION DOES NOT CONSTITUTE AN APPROVAL FOR THE ELECTRICAL WORKING OR PLUMBING DISTURBANCES. A SEPARATE PERMIT FOR THE WORKING AND PLUMBING MUST BE OBTAINED. SEPARATE PERMITS ARE REQUIRED IF ANSWER IS "YES" TO ANY OF ABOVE QUESTIONS (10) (11) (12) (13) (22) OR (24).

THIS IS NOT A BUILDING PERMIT. NO WORK SHALL BE STARTED UNTIL A BUILDING PERMIT IS ISSUED.

In drawings, all mounting materials must have a clearance of not less than two inches from all electrical wires or equipment.

CHECK APPROPRIATE BOX

☐ OWNER
☐ LESSOR
☒ CONTRACTOR
☐ ARCHITECT
☐ AGENT
☐ ENGINEER

APPLICANT'S CERTIFICATION

I HEREBY CERTIFY AND AGREE THAT IF A PERMIT IS ISSUED FOR THE CONSTRUCTION DESCRIBED IN THIS APPLICATION, ALL THE PROVISIONS OF THE PERMIT AND ALL LAWS AND ORDINANCES THEREIN WILL BE COMPLIED WITH.

REV 06/13

NOTICE TO APPLICANT

HOLD HARMLESS CLAUSE. The permittee(s) by acceptance of the permit, agree(s) to indemnify and hold harmless the City and County of San Francisco from and against any and all claims, demands and actions for damages resulting from operations under this permit, regardless of negligence of the City and County of San Francisco, and to assume the defense of the City and County of San Francisco against all such claims, demands or actions.

In conformity with the provisions of Section 3800 of the Labor Code of the State of California, the applicant shall have worker's compensation coverage under (I) or (II) designated below, as shall indicate item (III), (IV), or (V), whichever is applicable. If however item (V) is checked, item (IV) must be checked as well. Mark the appropriate method of compliance below.

I hereby affirm under penalty of perjury one of the following declarations:

- I have and will maintain a certificate of consent to self-insure for worker's compensation, as provided by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued.
- I have and will maintain in worker's compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My worker's compensation insurance carrier and policy number are:
Carrier _____
Policy Number _____
- The cost of the work to be done is \$100 or less.
- I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the worker's compensation laws of California. I further acknowledge that I understand that in the event that I should become subject to the worker's compensation provisions of the Labor Code of California and fail to comply herewith with the provisions of Section 3800 of the Labor Code, that the permit herein applied for shall be deemed revoked.
- I certify as the owner (or the agent for the owner) that in the performance of the work for which this permit is issued, I will employ a contractor who complies with the worker's compensation laws of California and who, prior to the commencement of any work, will file a completed copy of this form with the Central Permit Bureau.

Signature of Applicant or Agent

Date

OFFICE COPY
1772

OFFICIAL COPY

SAN FRANCISCO

CONDITIONS AND STIPULATIONS

REFER TO: DEPARTMENT OF BUILDING INSPECTION	APPROVED: REPLAK SIX WINDOWS WALKIN	Stephen Kwok, DBI JUL 06 2015 BUILDING INSPECTOR, DEPT. OF BLDG. INSP.
	APPROVED:	DEPARTMENT OF CITY PLANNING
<input type="checkbox"/>	APPROVED:	BUREAU OF FIRE PREVENTION & PUBLIC SAFETY
<input type="checkbox"/>	APPROVED:	MECHANICAL ENGINEER, DEPT. OF BLDG. INSPECTION
<input type="checkbox"/>	APPROVED:	CIVIL ENGINEER, DEPT. OF BLDG. INSPECTION
<input type="checkbox"/>	APPROVED:	BUREAU OF ENGINEERING
<input type="checkbox"/>	APPROVED:	DEPARTMENT OF PUBLIC HEALTH
<input type="checkbox"/>	APPROVED:	REDEVELOPMENT AGENCY
<input type="checkbox"/>	APPROVED:	HOUSING INSPECTION DIVISION

DATE: 7/6/15 REASON: OIL TO POWER [Signature]
NOTIFIED MR.
DATE: _____ REASON:
NOTIFIED MR.
DATE: _____ REASON:
NOTIFIED MR.
DATE: _____ REASON:
NOTIFIED MR.
DATE: _____ REASON:
NOTIFIED MR.
DATE: _____ REASON:
NOTIFIED MR.
DATE: _____ REASON:
NOTIFIED MR.
DATE: _____ REASON:
NOTIFIED MR.

HOLD SECTION - NOTE DATES AND NAMES OF ALL PERSONS NOTIFIED DURING PROCESSING

I agree to comply with all conditions or stipulations of the various bureaus or departments noted on this application, and attached statements of conditions or stipulations, which are hereby made a part of this application.

Number of attachments ☐

OWNER'S AUTHORIZED AGENT



City and County of San Francisco
Department of Building Inspection



Edwin M. Lee, Mayor
Tom C. Hul, S.E., C.B.O., Director

LICENSED CONTRACTOR'S STATEMENT

Permit Application No. 201507060719

Job Address: 143 CORBETT STREET

Licensed Contractor's Declaration

Pursuant to the Business and Professions Code Sec. 7031.5, I hereby affirm under penalty of perjury that I am licensed under the provisions of Chapter 9 (commencing with Sec. 7000) of Division 3 of the Business and Professions Code, and that my license is in full force and effect.

License Number 705303

License Class B

Expiration Date 2/20/2017

Contractor

FRANCISCO SANDOVAL

PRINT

[Signature]

SIGNATURE

NOTE: "Any violation of the Bus. & Prof. Code Sec 7031.5 by any permit applicant shall be subject to a civil penalty of not more than five hundred dollars (\$500)" Bus. & Prof. Code Sec. 7031.5. Revised 04/30/2010

1660 Mission Street - San Francisco CA 94103
Office (415) 558-6088 - Fax (415) 558-6401
Website: www.sfdbi.org

COMPLAINT DATA SHEET**Complaint
Number:****201580691**Owner/Agent: OWNER DATA
SUPPRESSED

Date Filed:

Owner's Phone: --

Location: 143 CORBETT AV

Contact Name:

Block: 2656

Contact Phone: --

Lot: 060

Complainant: COMPLAINANT DATA
SUPPRESSED

Site:

Rating:

Occupancy Code:

Received By: Adora Canotal

Division: PID

Complainant's

Phone:

Complaint

Source:

311 INTERNET REFERRAL

Assigned to

Division:

BID

Description: 143 Corbett Ave --- Construction without permits on the followings: 1. Closing out the light well between 143 & 145 Corbett Ave. 2. Digging out lower level to put in a new unit. 3. Completely redid the back deck. It's closed in and made it part of the house, completely blocking our view.

Instructions: 311 SR #5304725 received on 11/24/2015

INSPECTOR INFORMATION

DIVISION	INSPECTOR	ID	DISTRICT	PRIORITY
BID	HAJNAL	6234	18	

REFERRAL INFORMATION**COMPLAINT STATUS AND COMMENTS**

DATE	TYPE	DIV	INSPECTOR	STATUS	COMMENT
11/24/15	CASE OPENED	BID	Hajnal	CASE RECEIVED	
12/02/15	WITHOUT PERMIT - OTHER	BID	Hajnal	CASE CLOSED	Complaint not valid. Mutiple permits issued and filed. See PTS for permits and scopes of work.

COMPLAINT ACTION BY DIVISION**NOV (HIS):****NOV (BID):**

Inspector Contact Information

[Online Permit and Complaint Tracking](#) home page.**Technical Support for Online Services**

If you need help or have a question about this service, please visit our FAQ area.



BUILDING ENLARGEMENT
DESCRIPTION
☐ VERTICAL
☐ HORIZONTAL

APPROVED
Dept. of Building Insp.

AUG 31 2016

APPROVED FOR ISSUANCE

AUG 31 2016

BLDG. 318
FORM

APPLICATION NUMBER

APPROVAL NUMBER

2015-11-25-3643

BID 201500691

**APPLICATION FOR BUILDING PERMIT
ADDITIONS, ALTERATIONS OR REPAIRS**

FORM 3 ☐ OTHER AGENCIES REVIEW REQUIREDFORM 8 ☒ OVER-THE-COUNTER ISSUANCE

2

NUMBER OF PLAN SETS

CITY AND COUNTY OF SAN FRANCISCO
DEPARTMENT OF BUILDING INSPECTION

APPLICATION IS HEREBY MADE TO THE DEPARTMENT OF
BUILDING INSPECTION OF SAN FRANCISCO FOR
PERMISSION TO BUILD IN ACCORDANCE WITH THE PLANS
AND SPECIFICATIONS SUBMITTED HERewith AND
ACCORDING TO THE DESCRIPTION AND FOR THE PURPOSE
HEREINAFTER SET FORTH.

DCP

DO NOT WRITE ABOVE THIS LINE

PERMIT NO. 1402304	ISSUED 8-31-16	FILING FEE RECEIPT NO.	(1) STREET ADDRESS OF JOB 143 CORCORAN AVE	BLOCK & LOT 2656 / 060
			(2A) ESTIMATED COST OF JOB \$6,000	(2B) REVISED COST \$15,000

INFORMATION TO BE FURNISHED BY ALL APPLICANTS

LEGAL DESCRIPTION OF EXISTING BUILDING					
(4A) TYPE OF CONSTR. V-P	(5A) NO. OF STORIES OF OCCUPANCY 3	(6A) NO. OF BASEMENTS AND CELLARS 1	(7A) PRESENT USE SINGLE FAMILY	(8A) OCCUP. CLASS R-3	(9A) NO. OF DWELLING UNITS 1
DESCRIPTION OF BUILDING AFTER PROPOSED ALTERATION					
(4) TYPE OF CONSTR. V-P	(5) NO. OF STORIES OF OCCUPANCY 3	(6) NO. OF BASEMENTS AND CELLARS 1	(7) PROPOSED USE (LEGAL USE) SINGLE FAMILY	(8) OCCUP. CLASS R-3	(9) NO. OF DWELLING UNITS 1
(10) IS AUTO RUNWAY TO BE CONSTRUCTED OR ALTERED?		(11) WILL STREET SPACE BE USED DURING CONSTRUCTION?		(12) ELECTRICAL WORK TO BE PERFORMED?	
YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>		YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>		YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	
(13) PLUMBING WORK TO BE PERFORMED?		(14) GENERAL CONTRACTOR		(15) EXPIRATION DATE	
YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>		FERNANDO VALDEZ DOLORES ST. 94110 415-754-7172 8705303		2/18	
(16) OWNER - LESSEE (CROSS OUT ONE)		ADDRESS		PHONE (FOR CONTACT BY DEPT)	
OWNER		PAGIANI PAGHANAW 21389 MOUNT EDEN AVE		408-1074-1907	
(17) WRITE IN DESCRIPTION OF ALL WORK TO BE PERFORMED UNDER THIS APPLICATION (REFERENCE TO PLANS IS NOT SUFFICIENT)					
INFILL LIGHT WELL ON SOUTHWEST SIDE OF THE HOUSE					
ADDITIONAL INFORMATION					
(17) DOES THIS ALTERATION CREATE ADDITIONAL WEIGHT OR STORY TO BUILDING?		(18) IF (17) IS YES, STATE NEW HEIGHT AT CENTER LINE OF FRONT		(19) DOES THIS ALTERATION CREATE DECK OR PORCH, EXTENSION TO BUILDING?	
YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>				YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	
(21) WILL SIDEWALK OVER SUB-ORIGINAL SPACE BE REPAIRED OR ALTERED?		(22) WILL BUILDING EXTEND BEYOND PROPERTY LINE?		(23) ANY OTHER EXISTING BLDG. ON LOT? (IF YES, SHOW ON PLAT PLAN)	
YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>		YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>		YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	
(24) DOES THIS ALTERATION CONSTITUTE A CHANGE OF OCCUPANCY?		(25) ARCHITECT OR ENGINEER (DESIGN <input type="checkbox"/> CONSTRUCTION <input type="checkbox"/>)		CALIF. CERTIFICATE NO.	
YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>		ADDRESS		ADDRESS	
(26) CONSTRUCTION LENDER (ENTER NAME AND BRANCH DESIGNATION IF ANY. IF THERE IS NO KNOWN CONSTRUCTION LENDER, ENTER "UNKNOWN")					

IMPORTANT NOTICES

No change shall be made in the character of the occupancy or use without first obtaining a Building Permit authorizing such change. See San Francisco Building Code and San Francisco Housing Code.

No portion of building or structure or scaffolding used during construction is to be closer than 6' to any wall containing more than 100 volts. See San 303, California Penal Code.

Pursuant to San Francisco Building Code, the building permit shall be posted on the job. The owner is responsible for approved plans and application being kept at building site.

Grades listed as shown on drawings accompanying this application are assumed to be correct. If actual grades differ are not the same as shown, revised drawings showing correct grade lines, cuts and fills, and complete details of retaining walls and wall footings must be submitted to this department for approval.

ANY STIPULATION REQUIRED HEREIN BY CODE MAY BE APPEALED.

BUILDING NOT TO BE OCCUPIED UNTIL CERTIFICATE OF FINAL COMPLETION IS POSTED ON THE BUILDING OR PERMIT OF OCCUPANCY GRANTED, WHEN REQUIRED.

APPROVAL OF THIS APPLICATION DOES NOT CONSTITUTE AN APPROVAL FOR THE ELECTRICAL WIRING OR PLUMBING INSTALLATIONS. A SEPARATE PERMIT FOR THE WIRING AND PLUMBING MUST BE OBTAINED. SEPARATE PERMITS ARE REQUIRED IF ANSWER IS "YES" TO ANY OF ABOVE QUESTIONS (10) (11) (12) (13) (22) OR (24).

THIS IS NOT A BUILDING PERMIT. NO WORK SHALL BE STARTED UNTIL A BUILDING PERMIT IS ISSUED.

In drawings, all structural materials must have a clearance of not less than two inches from all electrical wires or equipment.

CHECK APPROPRIATE BOX

☐ OWNER
☐ LESSEE
☒ CONTRACTOR

☐ ARCHITECT
☐ AGENT
☐ ENGINEER

APPLICANT'S CERTIFICATION

I HEREBY CERTIFY AND AGREE THAT IF A PERMIT IS ISSUED FOR THE CONSTRUCTION DESCRIBED IN THIS APPLICATION, ALL THE PROVISIONS OF THE PERMIT AND ALL LAWS AND ORDINANCES THERE TO WILL BE COMPLIED WITH.

REV 06/13

NOTICE TO APPLICANT

HOLD HARMLESS CLAUSE. The permittee(s) by acceptance of the permit, agree(s) to indemnify and hold harmless the City and County of San Francisco from and against any and all claims, demands and actions for damages resulting from operations under this permit, regardless of negligence of the City and County of San Francisco, and to assume the defense of the City and County of San Francisco against all such claims, demands or actions.

In conformity with the provisions of Section 3800 of the Labor Code of the State of California, the applicant shall have worker's compensation coverage under (I) or (II) designated below, or shall indicate item (III), (IV), or (V), whichever is applicable. If however item (V) is checked, item (IV) must be checked as well. Mark the appropriate method of compliance below.

I hereby affirm under penalty of perjury one of the following declarations:

- () I. I have and will maintain a certificate of consent to self-insure for worker's compensation, as provided by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued.
- () II. I have and will maintain worker's compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My worker's compensation insurance carrier and policy number are:

Carrier

Policy Number

- () III. The cost of the work to be done is \$100 or less.

- () IV. I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the worker's compensation laws of California. I further acknowledge that I understand that in the event that I should become subject to the worker's compensation provisions of the Labor Code of California and fail to comply herewith with the provisions of Section 3800 of the Labor Code, that the permit herein applied for shall be deemed revoked.

- () V. I certify as the owner (or the agent of the owner) that in the performance of the work for which this permit is issued, I will employ a contractor who complies with the worker's compensation law of California and who, prior to the commencement of any work, will file a completed copy of this form with the Central Permit Bureau.

Signature of Applicant or Agent

OFFICE COPY
1776

DATE: 8-1-2016

SAN FRANCISCO

CONDITIONS AND STIPULATIONS

REFER TO: APPROVED:
DEPARTMENT OF BUILDING INSPECTION
Matthew Ralls, DBI
AUG 31 2016

DATE: 11/25/15
REASON: B.I.P. - 944
OK TO PROCESS

<input type="checkbox"/>	APPROVED: lightwell infill (on bottom 2 levels only) against neighboring blank wall 11/25/15 Approved Planning Dept. Matt Kline	BUILDING INSPECTOR, DEPT. OF BLDG. INSP.	NOTIFIED MR. DATE: _____ REASON: _____
<input type="checkbox"/>	APPROVED:	DEPARTMENT OF CITY PLANNING	NOTIFIED MR. DATE: _____ REASON: _____
<input type="checkbox"/>	APPROVED:	BUREAU OF FIRE PREVENTION & PUBLIC SAFETY	NOTIFIED MR. DATE: _____ REASON: _____
<input type="checkbox"/>	APPROVED: Matthew Ralls, DBI AUG 31 2016	MECHANICAL ENGINEER, DEPT. OF BLDG. INSPECTION	NOTIFIED MR. DATE: _____ REASON: _____
<input type="checkbox"/>	APPROVED:	CIVIL ENGINEER, DEPT. OF BLDG. INSPECTION	NOTIFIED MR. DATE: _____ REASON: _____
<input type="checkbox"/>	APPROVED:	BUREAU OF ENGINEERING	NOTIFIED MR. DATE: _____ REASON: _____
<input type="checkbox"/>	APPROVED:	DEPARTMENT OF PUBLIC HEALTH	NOTIFIED MR. DATE: _____ REASON: _____
<input type="checkbox"/>	APPROVED:	REDEVELOPMENT AGENCY	NOTIFIED MR. DATE: _____ REASON: _____
<input type="checkbox"/>	APPROVED:	HOUSING INSPECTION DIVISION	NOTIFIED MR. DATE: _____ REASON: _____

SPECIAL INSPECTIONS AND TESTS ARE REQUIRED AS PER SFBC CHAPTER 17

HOLD SECTION - NOTE DATES AND NAMES OF ALL PERSONS NOTIFIED DURING PROCESSING

I agree to comply with all conditions or stipulations of the various bureaus or departments noted on this application, and attached statements of conditions or stipulations, which are hereby made a part of this application.

Number of attachments ☐

OWNER'S AUTHORIZED AGENT



City and County of San Francisco
Department of Building Inspection



Edwin M. Lee, Mayor
Tom C. Hui, S.E., C.B.O., Director

LICENSED CONTRACTOR'S STATEMENT

Permit Application No. 2015-11-25-3643
Job Address: 143 CORBETT AVE

Licensed Contractor's Declaration

Pursuant to the Business and Professions Code Sec. 7031.5, I hereby affirm under penalty of perjury that I am licensed under the provisions of Chapter 9 (commencing with Sec. 7000) of Division 3 of the Business and Professions Code, and that my license is in full force and effect.

License Number 705303

License Class B

Expiration Date 228-2017

Contractor

FRANCISCO SANDOZ L

PRINT

SIGNATURE

NOTE: "Any violation of the Bus. & Prof. Code Sec 7031.5 by any permit applicant shall be subject to a civil penalty of not more than five hundred dollars (\$500)" Bus. & Prof. Code Sec. 7031.5. Revised 10/1/2013.

OFFICIAL COPY



STRUCTURAL ADDITION INFORMATION FORM

OWNER'S NAMES & ADDRESS: Bagharian, Mari-143 Corbett Ave-SF CA 94114

ADDRESS: 143 Corbett Ave # OF NOTIFICATIONS: 6

BLOCK: 2656 ADDRESS ON APPLICATION (PLANS)

LOT: 060 VERIFIED BY: DFF
Initials

APPLICATIONS 2015-11-25-3643

PERMIT # 1402304 DATE MAILED: 08/31/16

DATE ISSUED: 08/31/16

ADDITION CONSISTS OF: _____

ADDRESS OF ADJACENT PROPERTIES:

LOT #

061 ADDRESS: 137 Corbett Ave
139 11 0

LOT #

ADDRESS: _____

004 ADDRESS: _____

ADDRESS: _____

005 ADDRESS: _____

ADDRESS: _____

006 ADDRESS: _____

ADDRESS: _____

059 ADDRESS: _____

ADDRESS: _____



City and County of San Francisco
Department of Building Inspection
1660 Mission Street
San Francisco, CA 94103

COMPLAINT DATA SHEET

COMPLAINT NUMBER : 201631352

OWNER/AGENT: RAGHAVEN RAVI
RAGHAVEN RAVI
143 CORBETT AVE
SAN FRANCISCO CA

DATE FILED: 10-AUG-16
LOCATION: 143 CORBETT AV
BLOCK: 2656 LOT: 060
SITE:

94114
OWNER'S PHONE --
CONTACT NAME
CONTACT PHONE --

RATING: OCCUPANCY CODE
RECEIVED BY: Adora Canotal DIVISION: PID
COMPLAINT SOURCE: 311 INTERNET REFERRAL

COMPLAINANT:

ASSIGNED TO DIVISION: BID

COMPLAINANT'S PHONE --

DESCRIPTION: 143 Corbett Ave. --- Caller states please inspect. Caller states I want to make sure that this house has permits, and that it is safe to do the work that is being done at this location. This work has been going on for 2 years and there is also scaffolding there on and off and excavation. No Signs posted.

INSTRUCTIONS: 311 SR No. 6178651

INSPECTOR INFORMATION

DIVISION	INSPECTOR	ID	DISTRICT	PRIORITY
----------	-----------	----	----------	----------

BID	BIRMINGHAM	6330	18	
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REFERRAL INFORMATION

DATE	REFERRED BY	TO	COMMENT
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COMPLAINT STATUS AND COMMENTS

DATE	TYPE	DIVISION	INSPECTOR	STATUS	COMMENT
10-AUG-16	CASE OPENED	BID	S HAJNAL	CASE RECEIVED	
12-AUG-16	OTHER BLDG/HOUSING VIC	BID	S HAJNAL	CASE CONTINUED	Background research for permits and status.
24-OCT-16	WITHOUT PERMIT - OTHE	BID	K BIRMINGHAM	PERMIT RESEARCH	Site visit on 10/21/16. There are multiple open permits on this project. I am doing resresearch to determn if these cover the work being performed on the property
24-OCT-16	WITHOUT PERMIT - OTHE	BID	K BIRMINGHAM	FIRST NOV SENT	1st nov issued by K Birmingham
25-OCT-16	WITHOUT PERMIT - OTHE	BID	K BIRMINGHAM	CASE UPDATE	copy of 1st nov mailed by jlu



City and County of San Francisco
Department of Building Inspection
1660 Mission Street
San Francisco, CA 94103

COMPLAINT DATA SHEET

COMPLAINT NUMBER : 201631352

COMPLAINT ACTION BY DIVISION

DIVISION	DATE	DESCRIPTION	ACTION COMMENT
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<u>NOV (HIS)</u>	<u>NOV (BID)</u>		
	24-OCT-16		



SHARTSIS FRIESE LLP

One Maritime Plaza • Eighteenth Floor
San Francisco, California 94111-3598

Richard F. Munzinger
rmunzinger@sfllaw.com
(415) 773-7340
Fax: (415) 421-2922

October 27, 2016

VIA EMAIL (smw@stevewilliamsllaw.com)

Stephen M. Williams, Esq.
Law Offices of Stephen M. Williams
1934 Divisadero Street
San Francisco, CA 94115

Re: 143 Corbett Avenue; Cease and Desist Demand

Dear Mr. Williams:

I write on behalf of our clients Rajan Raghavan ("Rajan") and Ravi Raghavan ("Ravi") (collectively, the "Raghavans"), to demand that your clients, Jennifer Creelman and Chip Driggs, cease and desist in their current wrongful and improper conduct. More specifically, your clients have abused the city permitting and inspection process, harassed the Raghavans to the point of creating a nuisance, invaded their privacy, intentionally inflicted emotional distress on them, trespassed on their property and negligently caused damage to it. If your clients do not immediately cease their wrongful conduct, my clients will have no choice but to file a lawsuit to compel them to do so and recover for the damages caused by your clients.

As you know, Rajan owns the property located at 143 Corbett Avenue, San Francisco, California (the "Property"), and Ravi occupies it. In or about October 2014, the Raghavans began remodeling the Property. In the course of that remodeling, they have complied with all applicable laws, rules and regulations, including obtaining all required city permits. (As you know, your clients requested inspections on several occasions, and those inspections always concluded that the project was fully legally compliant.) Accordingly, the Raghavans are entitled to proceed with their remodeling project and to the use and enjoyment of their Property.

Unfortunately, your clients' wrongful conduct has delayed the remodeling of the Property and made it more expensive, as well as interfered with my clients' right to use and enjoy the Property. Among other things, your clients have harassed the Raghavans and the individuals working on the project by constantly complaining to and confronting them with no legitimate basis. For example, your clients have continually harassed the Raghavans and their agents with demands that they delay the commencement of work each morning until long after the time allowed by law. Your clients have further frivolously complained that the Raghavans have "too many permits," which of course, they are required to obtain by law. Your clients have also

continually demanded access to the Raghavans' Property and documents and information in order to inspect and approve the project, even though they have no right in law or equity to do either. Your clients have further harassed Ravi for his lawful use of the Property, such as exercising, watching television or listening to music. Taken as a whole, your clients' conduct constitutes a nuisance, invasion of privacy, intentional infliction of emotional distress and interference with contract.

Your clients have also completely disregarded and invaded the Raghavans' privacy and trespassed on their Property. On or about October 1, 2015, your client entered onto my clients' Property at approximately 9:30 p.m. without permission and yelled vulgarities at Ravi and his friends for supposedly making too much noise at a party. No other neighbors complained. Ravi's boss and work colleagues were also present. Putting aside the fact that a party at 9:30 p.m. is a reasonable part of normal life in a major metropolitan area, your client did not have permission or any legal justification for entering the Property. She could have called or emailed the Raghavans or even called the police, but she did not have the right to trespass and then embarrass and harass Ravi and his guests.

In addition to Ms. Creelman's personal trespass, your clients have trespassed on the Raghavans' Property and negligently damaged it by failing to repair a water leak, despite knowing that this leak exists and is causing damage to my clients' Property, and despite numerous demands by my clients that you fix it.

Moreover, your clients have delayed and interfered with the Raghavans' construction by filing and pursuing frivolous administrative complaints and objections with the city planning department and demanding inspections with no legitimate basis. Your clients have persisted in their frivolous complaints and objections despite being notified that their conduct was causing material delay and expense to the Raghavans and despite your clients knowing that their position is frivolous.

For example, your clients have refused, and continue to refuse, to withdraw their frivolous appeal of the Raghavans' pending lightwell project despite knowing that the plans are proper, and that there is no construction planned for the side of the property adjacent to your clients' home, which was your clients' only complaint with that project. As you and your clients know, there was never any construction planned for the side of the Property adjacent to your clients' home, and the information on the initial permit stating otherwise was a clerical error, which has been corrected. It will be obvious to a judge and jury that your clients' refusal to withdraw their appeal, despite being represented by counsel who can advise them as to its lack of merit, is the result of bad faith and a desire to intentionally delay and hamper the project, to the Raghavans' detriment. As you know, such conduct is the basis for claims for abuse of process and malicious prosecution, for which your clients would be liable for the Raghavans' attorneys' fees, construction costs and other losses arising from their frivolous complaints to the city.

I called you a few days ago to introduce myself and try to resolve this dispute. In the course of our conversation, you confirmed that you and your clients knew that the lightwell project was not planned for the side of the Property adjacent to your clients' property. However,

you stated that your clients would not dismiss the appeal. You also stated that your clients intended to "pile on" further complaints with the city regarding the Raghavans' construction.

Although you did not provide any further detail, we have since learned that your clients have filed objections with the city relating to the Raghavans supposedly building new spaces which did not exist before and supposedly building an illegal kitchen nook. However, your clients have absolutely no evidence that any of the construction they have challenged is improper, nor is it. To the contrary, all of the work at issue is legal and permitted.

Moreover, as your clients know from living there before the prior owner of the Property sold to the Raghavans, the spaces your clients now claim are "new" were there before the Raghavans purchased the Property. The Raghavans are not building any new spaces, which your clients know, and which will be easily established by City records and documents from the Raghavans' purchase of the Property. For example, I have attached as **Exhibit A** an appraisal report created prior to the Raghavans' purchase of the Property, including a diagram of the rooms in the Property and photos of the rooms, all of which clearly establish that the spaces your clients claim to be new are pre-existing. Finally, your clients know that the previous owner rented out the basement space, so they cannot claim in good faith that they believe that space is new. If your clients persist with their baseless objections, we will present this evidence, along with the disclosure documents from the Raghavans' purchase of the property and testimony by the real estate agent for the sale and by the Raghavans' contractor.

As I advised on our call, if your clients do not dismiss their frivolous appeals and objections and refrain from further malicious abuse of the legal process, then, when these proceedings are over, and the Raghavans have prevailed in them, they will sue your clients for abuse of process and malicious prosecution. To prevail, the Raghavans need only show (1) that they prevailed against your clients' objections with the city, (2) that your clients lacked probable cause for bringing those actions, and (3) that your clients acted out of malice. *Daniels v. Robbins*, 182 Cal. App. 4th 204, 216 (2010); *Citi-Wide Preferred Couriers, Inc. v. Golden Eagle Ins. Corp.*, 14 Cal. App. 4th 906, 911 (2003).

The Raghavans will establish these elements at trial. First, they will prevail against your clients' appeals and objections. Next, the Raghavans will establish that your clients acted without probable cause. As I'm sure you have advised your clients, the test for whether a legal proceeding was based on "probable cause" is whether the party that brought the proceeding (*i.e.*, your clients), had any hard evidence or concrete basis for their position. *See Sheldon Appel Co. v. Albert & Olier*, 47 Cal. 3d 863, 868 (1989); *see also Sangster v. Paetkau*, 68 Cal. App. 4th 151, 164-65 (1998). Your clients do not possess a shred of evidence that any of the work they have challenged was unpermitted, improper or new. When your clients are called to the stand under oath in front of a jury in the action the Raghavans file for malicious prosecution and abuse of process, they will not be able to identify any basis for their frivolous legal proceedings. Finally, the Raghavans will establish malice based on the lack of probable cause, and based on your clients' many emails and actions showing their disdain and personal animosity towards the Raghavans. *See Grindle v. Lorbeer*, 196 Cal. App. 3d 1461, 1465-66 (1987) (malice may be

inferred from lack of probable cause). In addition, the Raghavans will call a mutual neighbor to testify that your clients informed that neighbor that they were intentionally harassing the Raghavans and interfering with their construction.

You argued in our call that the Raghavans would be barred from bringing a lawsuit for malicious prosecution or abuse of process by the anti-SLAPP statute, but such claims routinely survive an anti-SLAPP challenge. See *Soukup v. Law Offices of Herbert Hafif* (2006) 39 Cal. 4th 260, 291 (1995). In *Soukup*, the plaintiff succeeded in making a prima facie showing that the prior action (1) was commenced by or at the direction of the defendant and was pursued to a legal termination favorable to the plaintiff; (2) was brought without probable cause; and (3) was initiated with malice. Accordingly, the case was allowed to proceed. See also *Slaney v. Ranger Ins. Co.*, 115 Cal. App. 4th 306, 321 (2004) (plaintiff was able to make prima facie showing of termination of prior suit in its favor, lack of probable cause, and malice and therefore survived an anti-SLAPP motion); *Ross v. Kish*, 145 Cal. App. 4th 188, 197-98 (2006) (denial of anti-SLAPP motion upheld where plaintiff showed a probability of prevailing on malicious prosecution claim); *HMS Capital, Inc. v. Lawyers Title Co.*, 118 Cal. App. 4th 204, 214-219 (2004) (plaintiff established probability of prevailing on malicious prosecution claim and therefore defendant's anti-SLAPP motion was denied).

Here, as set forth above, the Raghavans have ample evidence to establish a prima facie likelihood of success on the merits and thus will defeat an anti-SLAPP motion. As you know, all evidence offered by the Raghavans in opposition to such a motion will be accepted by the court as true, and any evidence offered by your clients will only be considered if it is completely dispositive of an issue as a matter of law. *Flatley v. Mauro*, 39 Cal. 4th 299, 323-326 (2006).

In closing, the Raghavans would prefer to try to resolve this matter amicably. To this end, please promptly make a specific settlement proposal as to what your clients seek in order to agree to dismiss their appeals, stop trespassing and harassing the Raghavans and to refrain from interfering further with the Raghavans' construction. Please be advised that the Raghavans are not willing to forgo any construction or give your clients control over any aspect of construction, so please refrain from making any settlement proposals that include such terms.

If we are not able to resolve this matter amicably very soon, and your clients continue their trespass, nuisance, harassment and abuse of the legal process, then the Raghavans will file a lawsuit in superior court. If your clients force the Raghavans to do so, they will seek legal fees, the increased cost of construction resulting from your clients' harassment and delay, damages caused by the leak on your clients' property, nuisance damages, trespass damages and emotional distress damages, which together will easily exceed the jurisdictional minimum for an unlimited jurisdiction case. The Raghavans will also seek punitive damages.

Stephen M. Williams, Esq.
October 27, 2016
Page 5

We look forward to your response.

Sincerely,

A handwritten signature in cursive script, appearing to read "Richard F. Munzinger".

Richard F. Munzinger

RFM:sft
Enclosures

10294.001\7822176 v3

From: [Mark Cruz](#)
To: [Rajan Raghavan](#); [ragini raghavan](#)
Cc: [Ravi Raghavan](#); [Erean O'Neill](#)
Subject: 143 Corbett : Synopsis of Call with Jeff Horn Today
Date: Thursday, May 31, 2018 12:16:51 PM
Attachments: [143 Corbett - Opposition Letter - May 20th 2018.pdf](#)
[Email from Jennifer and Steve Williams - 4-30-18.pdf](#)

Rajan, Ragini, Ravi

I just had a discussion with Jeff Horn. Here is a synopsis of what transpired.

- Attached are two recent emails from Steve/Jennifer and the Corona Heights District emails.
- They are partially attacking the Planning Department for potentially allowing the rear Breakfast nook to remain, as a violation of the SUD and Planning Code. I had always assumed the *small angled protrusion* may need to be removed, but I never thought the whole breakfast nook would be challenged like this. The newly formed Corna Heights SUD is being cited by Steve Williams, even though it did not exist until this year. His timeline seems to argue we never had a nook but rather an enclosed "deck". We will need to show those "histories" from Google Earth. It seems the motive of Jennifer and Chip is that they want to "enclosed a rear deck" also.
- Steve is bringing up the structural integrity of the rear deck and nook into this discussion, but I mentioned that we have always had every intention of upgrading the entire building to current seismic code. This is why we hired Erean O'Neil. Steve's argument may be that the Nook had irregular framing and need to be removed. We always wanted to reframe the deck and supports to current code, we just never had the chance.
- The over-excavation on the lower unit (design/build by Francisco) is not really the issue because we have a Geotechnical Report and Categorical Exemption from CEQA. The commision may discuss it, but it has been done and inspected by DBI. We only excavated to provide a proper ceiling height for our unit, that we are allowed by the RH-2 district.
- Some of my square footage numbers are being scrutinized regarding "existing" and "new". I plan to review this and revise the drawings to show the full scope. I had trouble tracking Francisco's areas of work in the basement, so I myself am confused on what is really classified as new and existing down there.
- There is a chance the Roof Deck could be asked to be removed from the application by the commision. They have been denying these kinds of roof decks lately. We are still allowed to provide the interior stair to the roof, but they may question our need for "open space" as they call it. We can still provide a platform for cleaning our solar panels. So if it comes up, we will remove the "deck" form the application. We will not mention it.
-
- I am mounting a poster on the front of the House tomorrow announcing the meeting, being held on June 21st. Will anyone be home?
- I am meeting Jeff Horn on site @ Corbett St sometime on Tuesday or Wednesday, once he confirms a time.

I think this describes why the process is "discretionary." The versions of project history being brought up have all these implications that have to review by the commission. Please call me anytime today after, when you like to discuss this

further.

--

Mark Cruz RA
CRUZ A+D
415 802 7447



SAN FRANCISCO PLANNING DEPARTMENT

NOTICE OF COMPLAINT

March 13, 2017

Property Owner

Raghaven Ravi
143 Corbett Ave
San Francisco, CA 94114

Site Address: 143 Corbett Ave
Block/Lot: 2656/ 060
Zoning District: RH-2, Residential- House, Two Family
Complaint Number: 2017-003011ENF
Staff Contact: Matthew Dito, (415) 575-9164, matthew.dito@sfgov.org

1650 Mission St.
Suite 400
San Francisco,
CA 94103-2479

Reception:
415.558.6378

Fax:
415.558.6409

Planning
Information:
415.558.6377

You are receiving this courtesy notice because the Planning Department has received a complaint alleging that one or more violations of the Planning Code exist on the above-referenced property. As the property owner you are a responsible party.

The Planning Department requires compliance with the Planning Code in the development and use of land and structures. Any new building permits or other applications are not issued until a violation is corrected. Penalties may also be assessed for verified violations. Therefore, your prompt action to resolve the complaint is important.

Please contact the staff planner shown above for information on the alleged violation and assistance on how to resolve the complaint.

From: Dito, Matthew (CPC)
Sent: Tuesday, March 21, 2017 5:37 PM
To: Ilene Dick
Cc: 'Rajan Raghavan'; francisco@fjsandoval.com; 'Mark Cruz'
Subject: 143 Corbett Avenue

Hi Ilene,

After reviewing the permit history at 143 Corbett Avenue and discussing with DBI, it appears there are four major issues that need to be corrected. They are outlined below.

1. **Deck at the top floor:** the deck at the top floor of the property was never added with a Building Permit. In 2002 (2002.1010.8753), existing plans were submitted to do repair work on the spiral stairs, and no deck existed at the top floor. It was only with the submittal of a permit in 2014 (201409186685) that a deck was shown as existing.
2. **Breakfast nook:** similarly, the 2002 permit does not show the breakfast nook in its current configuration. In 2002 it had a straight wall, not bay windows as it does not, and a deck existed. It was only with the submittal of the 2014 permit (201409186685) where the nook was shown as it exists today, with no deck.
3. **Upper basement level addition of storage area:** the storage area at the front of the property on the upper basement level appears to have been added without a permit. The aforementioned 2002 permit does not show a storage area, but is shown in the 2014 permits.
4. **Addition of the entire lower basement level:** the entire lower basement level appears to have been excavated and created without benefit of a Building Permit.

In order to move forward, a building permit application will have to be submitted showing three things: 1) the *legal* configuration of the property (prior to any unpermitted additions), 2) the as-built condition of the property, and 3) the proposed final layout.

Additionally, due to the excavation work, it is possible that an Environmental Evaluation will be required. One thing to note, the addition of the deck at the top floor and bay windows on the breakfast nook may require a Variance if not within the buildable area of the lot. I also want to clarify that I do understand that most, if not all, of these issues may have been created by the previous owner and passed on to Mr. Raghavan. Unfortunately, as the current property owner, he is the responsible party at this time.

If you wish to set up a time to meet and review the plans I have, I am available most of next week. This week is a little crowded.

Matt Dito

Planner | Code Enforcement

San Francisco Planning Department
1650 Mission Street, Suite 400, San Francisco, CA 94103

Tel.: 415-575-9164 | Fax: 415-558-6409

- The Residential Design Advisory Team (RDAT) reviewed the project scope of the horizontal addition of an angled bay form protruding past the permitted square bay and found that the angled bay does not impact adjacent properties' access to light and air.
- The project seeks to legalize completed work to the subject property. There are two phases of unpermitted, illegal or out of scope construction.
 - The expansion of the bay windows and top floor deck were unpermitted and beyond the scope of Building Permit #2002.1010.8753. Expansion to the size, shape and roofing of the top floor deck appears to have occurred between the years 2002 and 2010. The expansion of the bay window at the rear occurred sometime between March 14, 2010 and March 29, 2011. (Reference attached context photo set: "Archived Rear Wall Photo")
 - The excavation and interior alterations, including the creation of a second unit occurred through a series of 15 over-the-counter permits, filed between 8/11/2014 and 12/8/2017, however, not all work that occurred was covered by the issued permits. DBI has issued eight violations for this work, currently stopped all work and has requested the proposed project serve to legalize all work under one comprehensive permit. Planning opened an enforcement case on 3/13/2017.
- **Public Comment & Outreach.** The adjacent neighbors to the west (145 Corbett Avenue) of the project have expressed concerns with the legalizing of the rear structures, with the amount of unpermitted work that has occurred on site, and other issues. The Department has received one comment letter in opposition to the proposal from a resident of Corbett Avenue and a letter of opposition from the Corbett Heights Neighbors.

BASIS FOR RECOMMENDATION

The Department finds that the Project is, on balance, consistent with the Objectives and Policies of the General Plan. The Project designed within existing site constraints and conforms to the prevailing neighborhood character while adding a dwelling unit, thereby maximizing the site's density. The Project is conditionally consistent with all accepted design standards, including those related to site design, building scale and form, architectural features and building details. The resulting height and depth is compatible with the existing building scale on the adjacent properties. The Department also finds the project to be necessary, desirable, and compatible with the surrounding neighborhood, and not to be detrimental to persons or adjacent properties in the vicinity.

Attachments:

Draft Motion – Conditional Use Authorization
Exhibit A – Maps and Context Photos
Exhibit B – Project Sponsor Brief and Plans
Exhibit C – Public Correspondence



SAN FRANCISCO PLANNING DEPARTMENT

Executive Summary Conditional Use

HEARING DATE: JUNE 21, 2018

1650 Mission St.
Suite 400
San Francisco,
CA 94103-2479

Reception:
415.558.6378

Fax:
415.558.6409

Planning
Information:
415.558.6377

Record No.: 2017-009348CUAVAR
Project Address: 143 Corbett Avenue
Zoning: RH-2 (Residential House, Two-Family District)
40-X Height and Bulk District
Block/Lot: 2656/060
Project Sponsor: Mark Cruz
Cruz Architecture+Design
400 Perkins, Suite 209
Oakland, CA 94610
Staff Contact: Jeff Horn – (415) 575-6925
jeffrey.horn@sfgov.org
Recommendation: Approval with Conditions

PROJECT DESCRIPTION

The Project is to legalize interior alterations and horizontal additions at the rear buildings wall's bay window and decks, to construct a roof deck, to construct horizontal additions of a spiral staircase and deck infill at the basement level within the rear yard, and the addition of a second unit within an existing single-family dwelling.

REQUIRED COMMISSION ACTION

In order for the Project to proceed, the Commission must grant Conditional Use Authorization to allow the legalization of the unpermitted expansion of the breakfast nook and 3rd floor deck and to permit a new spiral deck and expansion on the basement rear deck in the Corona Heights Large Residence SUD, pursuant to Planning Code Sections 249.77(d)(4) and 303(c).

ISSUES AND OTHER CONSIDERATIONS

- The project is located within the boundaries of the Corona Heights Large Residence Special Use District (SUD). The SUD was adopted to protect and enhance existing neighborhood character, encourage new infill housing at compatible densities and scale, and provide for thorough assessment of proposed large-scale residences that could adversely impact the area and affordable housing opportunities, to meet these goals, the SUD requires Conditional Use Authorization for five (5) types of development. The proposed Project exceeds one of these development standards; thereby requiring Conditional Use Authorization pursuant to Planning Code Section 249.77(d)(4) for residential development that results in less than 45% rear yard depth. The project also requires a Variance for encroachment into the required rear yard.

From: [Hoa Long Tam](#)
To: [BOS Legislation, \(BOS\)](#)
Cc: [Mandelman, Rafael \(BOS\)](#); [Temprano, Tom \(BOS\)](#)
Subject: 143 Corbett Ave. (File 180787)
Date: Tuesday, August 28, 2018 6:02:37 PM

Hello,

I am writing in support of approval of the conditional use permit for 143 Corbett Ave (file 180787) that is coming before the Board on September 4th. I am a resident of the Castro and I live at 466 Castro St, 500m from the project.

The requested CUP is eminently reasonable. Projects like these are a great way to moderately increase housing supply without substantively altering the look-and-feel of a neighborhood.

I am saddened that such a modest project has had to go all the way to the Board of Supervisors for approval. San Francisco is in the midst of a severe housing shortage. If every single new housing unit requires a Board meeting, we will never make progress in addressing the City's fundamental issues.

Sincerely,

Hoa Long Tam

From: [Ravi Raghavan](#)
To: [BOS Legislation, \(BOS\)](#)
Cc: [Mandelman, Rafael \(BOS\)](#); [Cohen, Malia \(BOS\)](#); [Mark Cruz](#); [Rajan Raghavan](#); [Indu Ancha](#); [Ilene Dick](#)
Subject: File 180787, 143 Corbett
Date: Thursday, August 23, 2018 3:02:14 PM
Attachments: [Support Letter Neighbor 132Corbett.pdf](#)
[Support Letter Neighbor 135Corbett.pdf](#)
[Support Letter Tenant Tapan Patel.pdf](#)
[Support Letter Neighbor 137Corbett.pdf](#)
[Support Letter Tenant Neeraj Hablani.pdf](#)
[Support Letter Tenant Waanmathi.pdf](#)
[Signature Sheet Neighbors Renters CoronaHeights.pdf](#)

To the Board of Supervisors.

I, **Ravi Raghavan**, am a co-owner of the property at **143 Corbett Ave, San Francisco 94114**. We have submitted a CU application for 143 Corbett for:

- 1) Legalize an additional dwelling unit for lower 2 floors
- 2) Legalize variance of 1'-10" trapezoidal "bump" in the rear breakfast nook on the upper 2 floors (constructed by the previous owner)

We are currently set for a hearing on **September 4th, 2018** as our application was appealed by a few members in the community under Corbett Heights Neighbors.

We are sharing 3 different forms from **18** different people in **support of my family and our CU application moving forward**.

- 1) Signatures from **12** neighbors who live on Corbett Ave
- 2) Letters from **3** owners who live on Corbett Ave
- 3) Letters from **3** previous tenants at 143 Corbett Avenue

Thank you,
Ravi Raghavan

August 21, 2018

Dear Board of Supervisors,

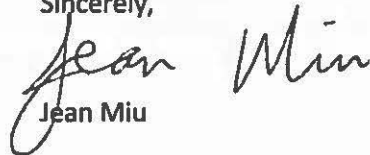
I am the owner of 132 Corbett Avenue and am writing in support of the construction project at 143 Corbett Avenue and the CU application submitted for the dwelling unit downstairs and the variance of the breakfast nook.

Our understanding is that the appeal is specifically regarding the breakfast nook. This breakfast nook was constructed under the previous owner, David Barbieri. Based on the evidence provided by the Raghavans, we are in support of the CU application moving forward.

Ravi Raghavan and his family have been great neighbors since moving into the house in 2014. They are friendly, considerate and they are a good addition to the neighborhood.

We are eager for the construction project to finish and support completed and upcoming renovations.

Sincerely,


Jean Miu

Casa Corona
137-139 Corbett Avenue, San Francisco, CA 94114

August 22, 2018

Dear Members of the Board of Supervisors,

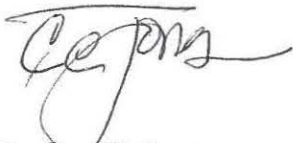
Our names are **Christopher Jones** and **Bill Prince**. We are residents and owners of 137-139 Corbett Avenue, next door to the Ragavans to the east. We are writing about the construction project at their home at 143 Corbett Avenue.

Our understanding is that the appeal specifically regards the breakfast nook. This pop-out breakfast nook already existed when we moved in September, 2012. It is our understanding, based on personal conversations with the previous owner, David Barbieri, that he was responsible for its construction.

We are not informed enough about the CU application for the dwelling unit downstairs to comment on it.

We are in favor of welcoming Ravi Raghavan and his family into the neighborhood and are eager for the construction project to be finished. We would encourage the Raghavans and their contractors to diminish construction noise as much as possible. Thank you very much.

Best Regards,



Christopher C. Jones

and



Bill Prince

Dear Board of Supervisors,

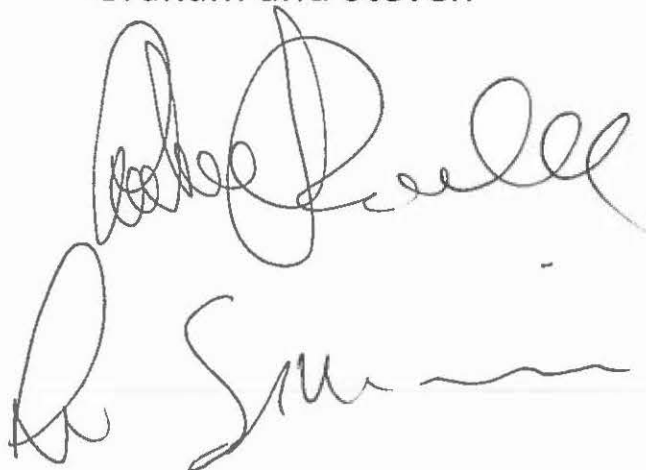
Our names are **Graham Brownlee** and **Steven Williams** We are residents of 135 Corbett Avenue. We are writing in **support** of the construction project at **143 Corbett Avenue** and the CU application submitted for the dwelling unit downstairs and the variance of the breakfast nook.

Our understanding is that the appeal is specifically regarding the breakfast nook. This breakfast nook was constructed under the previous owner, David Barbieri. Based on the evidence provided by the Raghavans, we are in **support** of the CU application moving forward.

Ravi Raghavan and his family have been great neighbors since moving into the house in 2014. They are friendly, considerate and they are a good addition to the neighborhood.

We are eager for the construction project to finish and support completed and upcoming renovations.

Sincerely,
Graham and Steven

The block contains two handwritten signatures. The top signature is for Graham Brownlee, written in a cursive style. The bottom signature is for Steven Williams, also in cursive.

8/22/18

Dear Board Of Supervisors,

My name is Neeraj Hablani. I am a former tenant of Ravi Raghavan at **143 Corbett Ave, San Francisco, CA 94114**.

I lived at the house from March 2016 to February 2017. Ravi Raghavan was a considerate and thoughtful landlord who cared about his tenants' well-being. In fact, Ravi would regularly prepare breakfast for me over the weekends -- his egg, avocado, and cheese sandwiches are very tasty and highly recommended. Additionally, he would invite me to the gym or propose board game nights to bolster our social connection. Furthermore, any appliance or rooming issues were quickly resolved.

I am writing in **strong support** of the construction project at 143 Corbett Avenue and the CU application submitted for the dwelling unit downstairs and the variance of the breakfast nook. Ravi Raghavan was a great landlord and should be permitted to complete his project. I would happily rent from Ravi in the future and wholeheartedly recommend him as a landlord for any future tenants.

Best,

A handwritten signature in black ink that reads "Neeraj Hablani". The signature is written in a cursive, flowing style.

Neeraj Hablani
August 22 2018

Dear Board of Supervisors,

My name is Tapan Patel. I am a former tenant of **143 Corbett Ave, San Francisco, CA 94114** where Ravi Raghavan was my landlord.

I lived at the house from March 2016 to February 2017. Ravi Raghavan was a very kind and considerate landlord who cared a whole lot about his tenants and their well-being. In fact, Ravi would regularly prepare breakfast for me over the weekends -- his egg, avocado, and cheese sandwiches were very tasty. Additionally, he would invite me to the gym, go watch movies, and propose board game nights to bolster our social connection. Furthermore, any maintenance and general housing issues were quickly resolved.

I am writing in **strong support** of the construction project at 143 Corbett Avenue, including the CU application submitted for the dwelling unit downstairs and the variance of the breakfast nook. Ravi Raghavan was a great landlord and should be permitted to complete his project so that many others can enjoy time at 143 Corbett Ave. for years to come. If the opportunity presents itself, I would be happy rent from Ravi in the future and wholeheartedly recommend him as a landlord to any future tenants.

A handwritten signature in black ink, appearing to read 'Tapan Patel', with a stylized flourish at the end.

Tapan Patel

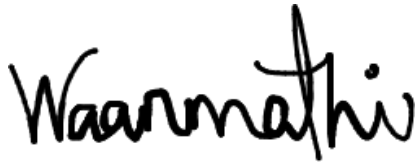
tapan2303@gmail.com | (949) 636-9200

Dear Board Of Supervisors,

My name is Waanmathi Vishnu. I am a former tenant of Ravi Raghavan at 143 Corbett Ave, San Francisco, CA 94114. I lived there from August 2017 to May 2018. Ravi Raghavan was a considerate and thoughtful landlord who cared about his tenants' well-being. Any appliance or rooming issues were quickly resolved.

I am writing in support of the construction project at 143 Corbett Avenue and the CU application submitted for the dwelling unit downstairs and the variance of the breakfast nook. I say this as they were great landlords and they should be allowed to complete their project. I would happily rent from them in the future and recommend them as landlords for any future tenants.

Best,

A handwritten signature in black ink that reads "Waanmathi". The script is fluid and cursive, with the 'i' at the end having a small dot.










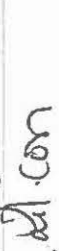


Waanmathi Vishnu
August 23, 2018

By signing this document, I support:

- 1) The application and the continued construction of the dwelling unit for lower 2 floors
- 2) Variance application to legalize a 1'-10" trapezoidal "bump" in the rear breakfast nook on the main floor

After talking to the Raghavan family, I am confident that:

- 1) They are eager to finish the construction and reduce disturbance on the neighborhood
- 2) The trapezoidal bump existed when they purchased the house as shown in their evidence packet
- 3) They will continue to be good neighbors and a good addition to the neighborhood

Full Name	Address	Email	Signature	Date
Parrin Loeliger	132 Corbett Ave	dorria1oeliger@gmail.com		8/22/18
Ethelia Lung	132 Corbett Avenue	ethelia.lung@gmail.com		8/22/2018
Mikael Calanog	163 A "	mcalandoe@gmail.com		8/22/2018
Cassandra Peppard	" " "	cassie.peppard@gmail.com		8/22/2018
Lisa Bang	177 Corbett Ave	lisartsung@yahoo.com		8/22/18
Brian Koffman	177A Corbett Ave	bh.koffman@gmail.com		8/22/18
David Nelson	193 Corbett Ave	neilsondavid7@gmail.com		8/22/18
Jessica Triant	172 Corbett Ave	jessica.triant@gmail.com		8/22/18
Cody Mowery	172 Corbett Ave	MOWERY.CODY@gmail.com		8/22/18
Robert Guare	166 Corbett Ave	Robert@robguare.net		8/22/18
Nathan Gote	166 Corbett Ave	n8cote@yahoo.com		8/22/18
Whitney Thompson	163 Corbett Ave	whompsonphotography@gmail.com		8/22/18

From: [BOS Legislation, \(BOS\)](#)
To: [gary@corbettheights.org](#); [lifeisapizza@gmail.com](#); [mark@cruzad.space](#); [rraghavan57@gmail.com](#); [Ilene Dick - GIVNER, JON \(CAT\)](#); [STACY, KATE \(CAT\)](#); [JENSEN, KRISTEN \(CAT\)](#); [Rahaim, John \(CPC\)](#); [Gibson, Lisa \(CPC\)](#); [Jain, Devyani \(CPC\)](#); [Rodgers, AnMarie \(CPC\)](#); [Navarrete, Joy \(CPC\)](#); [Lynch, Laura \(CPC\)](#); [Sanchez, Scott \(CPC\)](#); [Sider, Dan \(CPC\)](#); [Starr, Aaron \(CPC\)](#); [Ionin, Jonas \(CPC\)](#); [BOS-Supervisors](#); [BOS-Legislative Aides](#); [Calvillo, Angela \(BOS\)](#); [Somera, Alisa \(BOS\)](#); [Horn, Jeffrey \(CPC\)](#); [BOS Legislation, \(BOS\)](#)
Cc:
Subject: HEARING NOTICE: Appeal of Conditional Use Authorization - 143 Corbett Avenue - Appeal Hearing on September 4, 2018
Date: Friday, August 24, 2018 8:22:38 AM
Attachments: [image001.png](#)

Greetings,

The Office of the Clerk of the Board has scheduled an appeal hearing for Special Order before the Board of Supervisors on **September 4, 2018, at 3:00 p.m.**, to hear an appeal of the Conditional Use Authorization for the proposed project at 143 Corbett Avenue.

Please find the following link to the hearing notice for the matter:

[Hearing Notice - August 24, 2018](#)

I invite you to review the entire matter on our Legislative Research Center by following the link below:

[Board of Supervisors File No. 180787](#)

Best regards,

Jocelyn Wong

San Francisco Board of Supervisors

1 Dr. Carlton B. Goodlett Place, Room 244

San Francisco, CA 94102

T: 415.554.7702 | F: 415.554.5163

jocelyn.wong@sfgov.org | www.sfbos.org



Click [here](#) to complete a Board of Supervisors Customer Service Satisfaction form

The [Legislative Research Center](#) provides 24-hour access to Board of Supervisors legislation, and archived matters since August 1998.

Disclosures: Personal information that is provided in communications to the Board of Supervisors is subject to disclosure under the California Public Records Act and the San Francisco Sunshine Ordinance. Personal information provided will not be redacted. Members of the public are not required to provide personal identifying information when they communicate with the Board of Supervisors and its committees. All written or oral communications that members of the public submit to the Clerk's Office regarding pending legislation or hearings will be made available to all members of the public for inspection and copying. The Clerk's Office does not redact any information from these submissions. This means that personal information—including names, phone numbers, addresses and similar information that a member of the public elects to submit to the Board and its committees—may appear on the Board of Supervisors' website or in other public documents that members of the public may inspect or copy.

BOARD of SUPERVISORS



City Hall
1 Dr. Carlton B. Goodlett Place, Room 244
San Francisco 94102-4689
Tel. No. 554-5184
Fax No. 554-5163
TDD/TTY No. 554-5227

NOTICE OF PUBLIC HEARING

BOARD OF SUPERVISORS OF THE CITY AND COUNTY OF SAN FRANCISCO

NOTICE IS HEREBY GIVEN THAT the Board of Supervisors of the City and County of San Francisco will hold a public hearing to consider the following appeal and said public hearing will be held as follows, at which time all interested parties may attend and be heard:

Date: Tuesday, September 4, 2018

Time: 3:00 p.m.

Location: Legislative Chamber, City Hall, Room 250
1 Dr. Carlton B. Goodlett, Place, San Francisco, CA 94102

Subject: **File No. 180787.** Hearing of persons interested in or objecting to the certification of a Conditional Use Authorization pursuant to Planning Code, Sections 249.77(D)(4) and 303(C), for a proposed project at 143 Corbett Avenue, Assessor's Parcel Block No. 2656, Lot No. 060, identified in Planning Case No. 2017-009348CUA, issued by the Planning Commission by Motion No. 20220 dated June 21, 2018, to legalize interior alterations and horizontal additions at the rear building wall's bay window and decks, and the addition of a second unit within an existing single-family dwelling. (District 8) (Appellant: Gary Weiss, on behalf of Corbett Heights Neighbors) (Filed July 23, 2018)

In accordance with Administrative Code, Section 67.7-1, persons who are unable to attend the hearing on this matter may submit written comments prior to the time the hearing begins. These comments will be made as part of the official public record in this matter and shall be brought to the attention of the Board of Supervisors. Written comments should be addressed to Angela Calvillo, Clerk of the Board, City Hall, 1 Dr. Carlton B. Goodlett Place, Room 244, San Francisco, CA, 94102. Information relating to this matter is available in the Office of the Clerk of the Board. Agenda information relating to this matter will be available for public review on Friday, August 31, 2018.


for Angela Calvillo
Clerk of the Board

BOARD of SUPERVISORS



City Hall
1 Dr. Carlton B. Goodlett Place, Room 244
San Francisco 94102-4689
Tel. No. 554-5184
Fax No. 554-5163
TDD/TTY No. 554-5227

PROOF OF MAILING

Legislative File No. 180787

Description of Items: Hearing - Appeal of Conditional Use Authorization - 143 Corbett Avenue - 190 Notices Mailed

I, Jocelyn Wong, an employee of the City and County of San Francisco, mailed the above described document(s) by depositing the sealed items with the United States Postal Service (USPS) with the postage fully prepaid as follows:

Date: August 24, 2018

Time: 8:15am

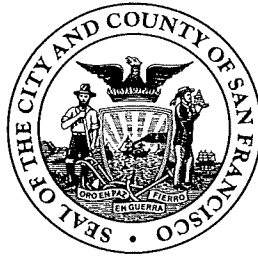
USPS Location: Repro Pick-up Box in the Clerk of the Board's Office (Rm 244)

Mailbox/Mailslot Pick-Up Times (if applicable): N/A

Signature: 

Instructions: Upon completion, original must be filed in the above referenced file.

BOARD of SUPERVISORS



City Hall
1 Dr. Carlton B. Goodlett Place, Room 244
San Francisco 94102-4689
Tel. No. 554-5184
Fax No. 554-5163
TDD/TTY No. 554-5227

July 30, 2018

File Nos. 180787-180790

Planning Case No. 2017-009348CUA

Received from the Board of Supervisors Clerk's Office one check, in the amount of Five Hundred Ninety Seven Dollars (\$597), representing the filing fee paid by the following for the appeal of a Conditional Use Authorization for a proposed project at 143 Corbett Avenue:

- Corbett Heights Neighbors

Planning Department

By:

Tony Young
Print Name

[Signature] 7/30/18
Signature and Date

From: [BOS Legislation, \(BOS\)](#)
To: [gary@corbettheights.org](#); [lifeisapizza@gmail.com](#); [mark@cruzad.space](#); [rraghavan57@gmail.com](#)
Cc: [GIVNER, JON \(CAT\)](#); [SHEN, ANDREW \(CAT\)](#); [Rahaim, John \(CPC\)](#); [Gibson, Lisa \(CPC\)](#); [Jain, Devyani \(CPC\)](#); [Rodgers, AnMarie \(CPC\)](#); [Navarrete, Joy \(CPC\)](#); [Lynch, Laura \(CPC\)](#); [Sanchez, Scott \(CPC\)](#); [Sider, Dan \(CPC\)](#); [Starr, Aaron \(CPC\)](#); [Ionin, Jonas \(CPC\)](#); [BOS-Supervisors](#); [BOS-Legislative Aides](#); [Calvillo, Angela \(BOS\)](#); [Somera, Alisa \(BOS\)](#); [Horn, Jeffrey \(CPC\)](#); [BOS Legislation, \(BOS\)](#)
Subject: Appeal of Conditional Use Authorization - 143 Corbett Avenue - Appeal Hearing on September 4, 2018
Date: Friday, July 27, 2018 4:06:34 PM
Attachments: [image001.png](#)

Dear Mr. Weiss,

The Office of the Clerk of the Board has scheduled a hearing for Special Order before the Board of Supervisors on **September 4, 2018, at 3:00 p.m.** Please find linked below a letter of appeal filed regarding the proposed project at 143 Corbett Avenue, as well as direct links to the City Surveyor's determination of the sufficiency of the filing signatures for the appeal, and an informational letter from the Clerk of the Board.

[Conditional Use Authorization Appeal Letter - July 23, 2018](#)

-

[Public Works Memo - July 26, 2018](#)

[Clerk of the Board Letter - July 27, 2018](#)

I invite you to review the entire matter on our [Legislative Research Center](#) by following the link below:

[Board of Supervisors File No. 180787](#)

Best regards,

Jocelyn Wong

San Francisco Board of Supervisors

1 Dr. Carlton B. Goodlett Place, Room 244

San Francisco, CA 94102

T: 415.554.7702 | F: 415.554.5163

jocelyn.wong@sfgov.org | www.sfbos.org



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public documents that members of the public may inspect or copy.

BOARD of SUPERVISORS



City Hall
1 Dr. Carlton B. Goodlett Place, Room 244
San Francisco 94102-4689
Tel. No. 554-5184
Fax No. 554-5163
TDD/TTY No. 554-5227

July 27, 2018

Gary Weiss
Corbett Heights Neighbors
78 Mars Street
San Francisco, CA 94114

**Subject: File No. 180787 - Appeal of Conditional Use Authorization -
143 Corbett Avenue**

Dear Mr. Weiss,

The appeal filing period for the Conditional Use approval for the proposed project at 143 Corbett Avenue closed on July 23, 2018.

The City and County Surveyor has informed the Board of Supervisors in a letter received July 26, 2018, (copy attached), that the signatures represented with your appeal filing on July 23, 2018, have been checked pursuant to the Planning Code, and represent owners of more than 20% of the property involved and are sufficient for an appeal.

Pursuant to Planning Code, Section 308.1, a hearing date has been scheduled for **September 4, 2018, at 3:00 p.m.**, at the Board of Supervisors meeting to be held in City Hall, 1 Dr. Carlton B. Goodlett Place, Legislative Chamber, Room 250, San Francisco, CA 94102.

Please provide to the Clerk's Office by noon:

- | | |
|--------------------------------------|---|
| 20 days prior to the hearing: | names and addresses of interested parties to be notified of the hearing, in spreadsheet format; and |
| 11 days prior to the hearing: | any documentation which you may want available to the Board members prior to the hearing. |

For the above, the Clerk's office requests one electronic file (sent to bos.legislation@sfgov.org) and two copies of the documentation for distribution.

NOTE: If electronic versions of the documentation are not available, please submit 18 hard copies of the materials to the Clerk's Office for distribution. If you are unable to make the deadlines prescribed above, it is your responsibility to ensure that all parties receive copies of the materials.

If you have any questions, please feel free to contact Legislative Clerks, Brent Jalipa, at (415) 554-7712, Lisa Lew, at (415) 554-7718, or Jocelyn Wong, at (415) 554-7702.

Very truly yours,


Angela Calvillo
Clerk of the Board

c: Mark Cruz, Project Sponsor
Jon Givner, Deputy City Attorney
Kate Stacy, Deputy City Attorney
Kristen Jensen, Deputy City Attorney
John Rahaim, Planning Director
Scott Sanchez, Zoning Administrator, Planning Department
Lisa Gibson, Environmental Review Officer, Planning Department
Devyani Jain, Deputy Environmental Review Officer, Planning Department
AnMarie Rodgers, Director of Citywide Planning, Planning Department
Joy Navarette, Environmental Planning, Planning Department
Laura Lynch, Environmental Planning, Planning Department
Aaron Starr, Manager of Legislative Affairs, Planning Department
Dan Sider, Director of Executive Programs, Planning Department
Jeff Horn, Staff Contact, Planning Department
Jonas Ionin, Director of Commission Affairs



London N. Breed
Mayor

Mohammed Nuru
Director

Jerry Sanguinetti
Bureau of Street Use & Mapping
Manager

Bruce R. Storrs P.L.S.
City and County Surveyor

Bureau of Street Use & Mapping
1155 Market St., 3rd floor
San Francisco, CA 94103
tel (415) 554-5827

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July 26, 2018

Ms. Angela Calvillo
Clerk of the Board
1 Dr. Carlton B. Goodlet Place
City Hall – Room 244
San Francisco, CA 94102

RE: Planning Case No. 2017-009348CUA
143 Corbett Avenue – Conditional Use Appeal

Dear Ms. Calvillo:

This letter is in response to your July 24, 2018 request for our Department to check the sufficiency of the signatures with respect to the above referenced appeal. Please be advised that per our calculations the appellants' signatures represent 28.19% of area, which is more than 20% of the area involved and is therefore sufficient for appeal.

Sincerely,

A handwritten signature in blue ink, appearing to read "Bruce R. Storrs".

Bruce R. Storrs, P.L.S.
City & County Surveyor

From: [Wong, Jocelyn \(BOS\)](#)
To: [BOS Legislation, \(BOS\)](#)
Subject: FW: Appeal of Conditional Use Authorization - Proposed Project at 143 Corbett Avenue - Verification of Signatures
Date: Wednesday, July 25, 2018 1:50:41 PM
Attachments: [Appeal Ltr 072318.pdf](#)
[COB Ltr 072418.pdf](#)
[image001.png](#)

From: BOS Legislation, (BOS)
Sent: Wednesday, July 25, 2018 1:47 PM
To: BOS-Supervisors <bos-supervisors@sfgov.org>; BOS-Legislative Aides <bos-legislative_aides@sfgov.org>
Subject: Appeal of Conditional Use Authorization - Proposed Project at 143 Corbett Avenue - Verification of Signatures

From: BOS Legislation, (BOS)
Sent: Wednesday, July 25, 2018 1:42 PM
To: Storrs, Bruce (DPW) <Bruce.Storrs@sfdpw.org>
Cc: Sanguinetti, Jerry (DPW) <Jerry.Sanguinetti@sfdpw.org>; Rivera, Javier (DPW) <Javier.Rivera@sfdpw.org>; Givens, Krystal (DPW) <Krystal.Givens@SFGOV1.onmicrosoft.com>; STACY, KATE (CAT) <Kate.Stacy@sfcityatty.org>; JENSEN, KRISTEN (CAT) <Kristen.Jensen@sfcityatty.org>; Gibson, Lisa (CPC) <lisa.gibson@sfgov.org>; Jain, Devyani (CPC) <devyani.jain@sfgov.org>; Rodgers, AnMarie (CPC) <anmarie.rodgers@sfgov.org>; Navarrete, Joy (CPC) <joy.navarrete@sfgov.org>; Lynch, Laura (CPC) <laura.lynch@sfgov.org>; Sanchez, Scott (CPC) <scott.sanchez@sfgov.org>; Sider, Dan (CPC) <dan.sider@sfgov.org>; Starr, Aaron (CPC) <aaron.starr@sfgov.org>; Ionin, Jonas (CPC) <jonas.ionin@sfgov.org>; Calvillo, Angela (BOS) <angela.calvillo@sfgov.org>; Somera, Alisa (BOS) <alisa.somera@sfgov.org>; Horn, Jeffrey (CPC) <jeffrey.horn@sfgov.org>; BOS Legislation, (BOS) <bos.legislation@sfgov.org>
Subject: Appeal of Conditional Use Authorization - Proposed Project at 143 Corbett Avenue - Verification of Signatures

Good afternoon Mr. Storrs:

The Office of the Clerk of the Board is in receipt of an appeal of the Conditional Use Authorization for the proposed project at 143 Corbett Avenue. The appeal was filed by Gary Weiss, on behalf of Corbett Heights Neighbors on July 23, 2018.

Please find the attached appeal filing packet, and a letter requesting verification of signatures submitted with the appeal filing.

Kindly review for verification of signatures. Thank you.

Best regards,

Jocelyn Wong

San Francisco Board of Supervisors

1 Dr. Carlton B. Goodlett Place, Room 244

San Francisco, CA 94102

T: 415.554.7702 | F: 415.554.5163

jocelyn.wong@sfgov.org | www.sfbos.org



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BOARD of SUPERVISORS



City Hall
1 Dr. Carlton B. Goodlett Place, Room 244
San Francisco 94102-4689
Tel. No. 554-5184
Fax No. 554-5163
TDD/TTY No. 554-5227

July 24, 2018

Bruce R. Storrs
City and County Surveyor, Public Works
1155 Market Street, 3rd Floor
San Francisco, CA 94103

Planning Case No. 2017-009348CUA
143 Corbett Avenue - Conditional Use Authorization Appeal


Dear Mr. Storrs:

The Office of the Clerk of the Board is in receipt of an appeal filed by Gary Weiss, on behalf of Corbett Heights Neighbors, from the decision of the Planning Commission on June 21, 2018, relating to the approval of a Conditional Use Authorization (Case No. 2017-009348CUA) pursuant to Planning Code, Sections 249.77(D)(4) and 303(C), to legalize interior alterations and horizontal additions at the rear building wall's bay window and decks, and the addition of a second unit within an existing single-family dwelling, for a proposed project located at:

143 Corbett Avenue, Assessor's Parcel Block No. 2656, Lot No. 060

By copy of this letter, the City and County Surveyor is requested to determine the sufficiency of the signatures in regard to the percentage of the area represented by the appellant. Please submit a report not later than 5:00 p.m. on Friday, July 27, 2018.

Sincerely,


Angela Calvillo
Clerk of the Board

c: Jerry Sanguinetti, Public Works-Bureau of Street Use and Mapping
Javier Rivera, Public Works-Bureau of Street Use and Mapping
Jon Givner, Deputy City Attorney
Kate Stacy, Deputy City Attorney
Kristen Jensen, Deputy City Attorney
Lisa Gibson, Planning Department
Devyani Jain, Planning Department
AnMarie Rodgers, Planning Department
Joy Navarette, Planning Department
Laura Lynch, Planning Department
Scott Sanchez, Planning Department
Dan Sider, Planning Department
Aaron Starr, Planning Department
Jonas Ionin, Planning Commission
Jeffrey Horn, Planning Department

Introduction Form

By a Member of the Board of Supervisors or Mayor

Time stamp
or meeting date

I hereby submit the following item for introduction (select only one):

- ☐ 1. For reference to Committee. (An Ordinance, Resolution, Motion or Charter Amendment).
- ☐ 2. Request for next printed agenda Without Reference to Committee.
- ☒ 3. Request for hearing on a subject matter at Committee.
- ☐ 4. Request for letter beginning : "Supervisor inquiries"
- ☐ 5. City Attorney Request.
- ☐ 6. Call File No. from Committee.
- ☐ 7. Budget Analyst request (attached written motion).
- ☐ 8. Substitute Legislation File No.
- ☐ 9. Reactivate File No.
- ☐ 10. Topic submitted for Mayoral Appearance before the BOS on

Please check the appropriate boxes. The proposed legislation should be forwarded to the following:

- ☐ Small Business Commission ☐ Youth Commission ☐ Ethics Commission
- ☐ Planning Commission ☐ Building Inspection Commission

Note: For the Imperative Agenda (a resolution not on the printed agenda), use the Imperative Form.

Sponsor(s):

Subject:

The text is listed:

Hearing of persons interested in or objecting to the certification of a Conditional Use Authorization pursuant to Planning Code, Sections 249.77(D)(4) and 303(C), for a proposed project at 143 Corbett Avenue, Assessor's Parcel Block No. 2656, Lot No. 060, identified in Planning Case No. 2017-009348CUA, issued by the Planning Commission by Motion No. 20220 dated June 21, 2018, to legalize interior alterations and horizontal additions at the rear building wall's bay window and decks, and the addition of a second unit within an existing single-family dwelling. (District 8) (Appellant: Gary Weiss, on behalf of Corbett Heights Neighbors) (Filed July 23, 2018)

Signature of Sponsoring Supervisor:

For Clerk's Use Only