

220 Montgomery St  
Suite 2100  
San Francisco  
California 94104

Ph: (415) 362-3599  
Fax: (415) 362-2006

[www.mosconelaw.com](http://www.mosconelaw.com)

January 4, 2019

*Via Email*

Scott Emblidge  
[emblidge@mosconelaw.com](mailto:emblidge@mosconelaw.com)

Malia Cohen, President  
San Francisco Board of Supervisors  
1 Dr. Carlton B. Goodlett Place  
Room 244  
San Francisco, CA 94102

Re: Appeal of CEQA Determination and Conditional Use  
Authorization for Project to Create New Housing at 3637  
Sacramento Street

Dear President Cohen and Members of the Board of Supervisors:

Our firm represents Litke Properties, the project sponsor, regarding a long-delayed project that will add 18 new units of residential housing in the Sacramento Street Neighborhood Commercial District (the "Project"). On September 20, 2018 the Planning Department determined that the Project was is exempt form CEQA as an infill development. On November 8, 2018 the Planning Commission approved the Project (as modified to reduce one level of underground parking) and granted the application for conditional use authorization. A group of neighbors ("Appellants") has appeal both determinations.

Because there are no valid grounds for the appeals and because this Project will replace old, non-conforming structures with a neighborhood-compatible, mixed-use development of 18 new housing units, sidewalk-activating retail uses and neighborhood serving medical/dental uses, we urge the Board to reject these appeals.

#### The Project

This Project has been in the works for over 11 years. It replaces three outdated and non-conforming structures -- a parking garage and medical/dental office buildings -- with a sensitively designed building, preserves medical/dental uses that serve the neighborhood and others, adds neighborhood-serving retail uses, and creates new mid-block open

space. (See Attachment A.) The Project has letters of support from 187 neighbors. (See Attachment B.)

As described in addition detail below, the project sponsor modified the Project to address the concerns of neighbors who voiced opposition. In addition, the Planning Commission modified the Project by reducing the on-site, underground parking from three levels to two.

The Project site is currently occupied by three buildings: two medical/dental office buildings and a parking garage. The parking garage dates to 1920. One office building dates to 1966 and the other to 1974. The office buildings are, to put it mildly, out-of-date and the Planning Department determined that they are not historic resources under CEQA. They have three off-street parking spaces in the front, creating a pedestrian hazard, and an architectural style and layout that clashes with the other buildings on the block.



The parking garage also creates pedestrian conflicts and is an architectural eyesore. It also occupies the entire lot, with no front, side or rear setbacks.



In place of the existing buildings will be this multi-use building:



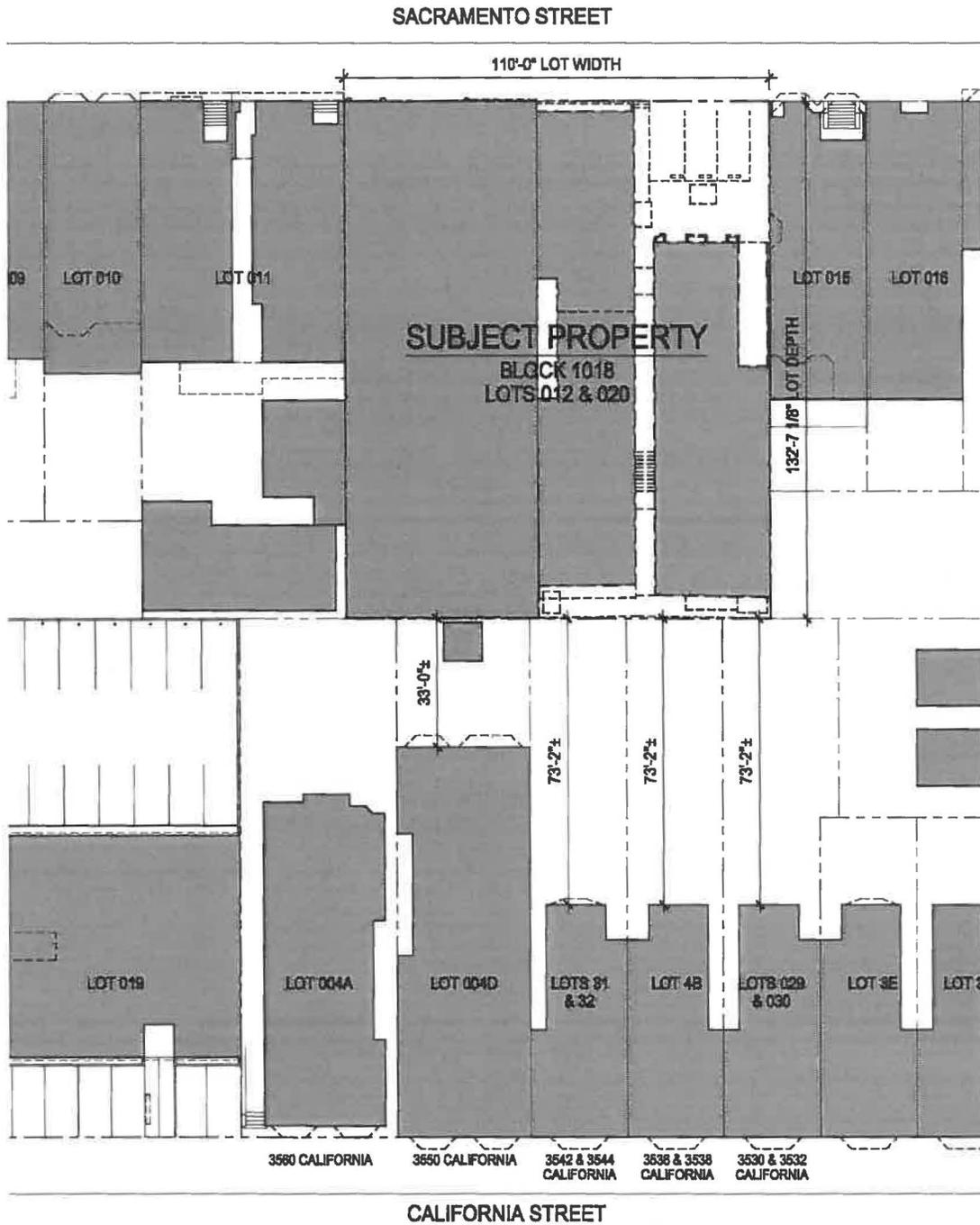
The Project provides 18 units of new housing on the third and fourth floors of the building. A mix of one and two-bedroom units will provide much needed housing in Presidio Heights, where relatively few units of new housing have been built. The Project provides ground floor retail space to enhance this commercial corridor, activate the pedestrian urban experience, and serve the neighborhood. It includes 9,976-square-feet of medical/dental space on the second floor – a use specifically sought by the neighborhood and others.

The Project replaces the existing 78 above-ground parking spaces with 50 code-required, below-ground spaces accessed by one entrance/exit. Eighteen parking spaces are for residents. The remaining 32 parking space are in/out, short-term spaces that will serve the building's businesses and customers, local merchants and customers, and residential visitors.

At the rear, the Project is set back over 33 feet from the rear property line, creating a new mid-block open space for the enjoyment of the Project's residents as well as the adjacent neighbors.

The next two pages show the contrast between the existing condition, with buildings taking up almost the entire lots, and the Project, which creates the new mid-block open space.

### Existing Condition



### Proposed Project/New Rear Yard



The exterior design of the Project is the result of lengthy collaboration between the Project's architect, Gary Gee, and Planning Department staff. At staff's request, Mr. Gee modified the Project's original design to make it more consistent with other buildings on the block. The Project's massing, like other neighborhood buildings, is at the street front, resulting in a new, compatible streetscape. The Project is composed of 25-foot segments, in character with other buildings on the block and in the neighborhood, creating separate storefront modules, and the second through fourth floors were designed to look more residential in character providing for a more consistent look. The ground floor commercial storefronts were modulated to emulate the existing storefronts on Sacramento Street with a center entry, planters, large glazed areas and a horizontal band to separate the ground floor building base from the upper floor residential façade. The vertical building modules emulate the 25-foot-wide building on the block face. The vertical brick pilasters emulate the similar brick features of the wider mixed-use buildings across the street.



While at least 187 neighbors (including residents, merchants and others) support the Project, a group of neighbors expressed concerns about the noise and disruption the Project will cause, and about the Project's size. In particular, neighbors who live to the rear of the Project site in residential buildings fronting on California Street, were concerned that a large wall would be placed at the rear property line, separating their homes from the Project site. In response to this concern, the *Project was redesigned* to eliminate the need for that wall, and to place the Project's rear open space at the level of the California Street yards, further enhancing the new mid-block open space element of the Project.

In granting the conditional use application, the Planning Commission determined that the Project's three levels of underground parking (including 68 parking spaces; the minimum required by Code) should be reduced to two levels. Thus, the Project will replace 78 surface and below grade parking spaces with 50 underground parking spaces serving residents, merchants and others.

### The Appeals

Despite the project sponsor's extensive efforts at community outreach and the modifications to the Project to address the neighbors' concerns about the rear wall, the Appellants remain unsatisfied. As one of their leaders, Jennifer Kopczynski put it to the project sponsor's team at a neighborhood meeting, "nothing you do will satisfy me."

Appellants have challenged both the staff's CEQA determination and the Planning Commission's approval of the Project.

The CEQA appeal is baseless. The Project is an urban in-fill development categorically exempt from CEQA review under CEQA Guidelines section 15332. Case law upholds cities' findings that projects of much greater scope fall within this categorical exemption. (See, e.g., *Banker's Hill, Hillcrest, Park West Community Preservation Group v. City of San Diego* (2006) 139 Cal.App.4th 249 [upholding urban in-fill exemption for 14-story multi-family building with underground parking]; *Wollmer v. City of Berkeley* (2011) 193 Cal.App.4th 1329 [upholding urban in-fill exemption for five-story building with 98 residential units, 7,770 square feet of ground floor commercial space, and 114 parking spaces].)

Appellants attack the Department's determination that the project fits within the urban in-fill exemption is based on one argument: that the cumulative impacts

of the project and other projects warrants greater study. There are many obvious flaws in this argument.

First, only “the cumulative impact of successive projects of the same type in the same place” need be considered. (CEQA Guidelines, § 15300.2.) Instead of pointing to similar developments proposed in the Sacramento Street Neighborhood Commercial District, Appellants cite to two massive, dramatically different projects outside the District: the proposed redevelopment of the CPMC campus at 3700 California Street and the proposed redevelopment of the UCSF campus at California and Presidio. These two proposed projects are markedly different from the Project in use and scope and are undergoing extensive environmental review.

Moreover, as explained in the Department’s letter to the Board, dated January 7, 2019, both of these projects are in the early stages of their approval processes so any significant construction activities relating to those projects (and impacts resulting therefrom) will almost certainly occur after the major construction-related activities (demolition, excavation, exterior construction) at the Project site are completed. (*Sierra Club v. West Side Irrigation Dist.* (2005) 128 Cal.App.4th 690, 701-702 [merely listing other projects occurring in the area that may cause significant cumulative impacts is not evidence that the activity at issue will have impacts or that the impacts are cumulatively considerable].)

As the Department’s January 7 letter sets forth in detail, there is nothing about the Project, even when considered in conjunction with these other dissimilar projects that is likely to have a significant effect on the environment. Appellants’ “argument, speculation [and] unsubstantiated opinion” cannot be considered legally significant (i.e., substantial) evidence of significant environmental effects. (*Hines. v. California Coastal Comm.* (2010) 186 Cal.App.4th 830, 856.)

Regarding Appellants’ challenge to the Commission CU determination, the Commission’s findings speak for themselves. Here are a few relevant excerpts:

The Project will create retail uses that currently do not exist; therefore, no foreclosure will result from the proposed Project. The Project will also replace the existing medical/dental uses that serve the neighborhood, in addition to creating 18 new units of housing. The Project will take two underutilized lots with outdated structures that interrupt a consistent streetscape and provide a

consistent, neighborhood-compatible streetscape and the following features:

- Ground floor retail uses compatible with this neighborhood commercial district,
- Second floor medical/ dental uses desired by both neighborhood residents and medical/ dental tenants of existing buildings,
- 18 residential units at the third and fourth floors, and
- Three levels of underground parking to serve retail, medical/ dental, and residential uses. The Project will no longer provide three levels of underground parking, as originally proposed. At the November 8, 2018 hearing, the Planning Commission directed the removal of one level of the underground parking, resulting in two levels of underground parking for the Project.

The subject property is an underutilized site on a neighborhood commercial corridor with access to public transit nearby. The proposed development is compatible with existing uses, provides needed housing, serves the needs of the neighborhood, and is consistent with the City's policies for this neighborhood. The massing of the buildings, like other neighborhood buildings, is at the street front, resulting in a new, compatible streetscape. Also, the addition of a generous rear-yard creates a previously non-existing mid-block open space benefitting not just the Project, but all neighboring buildings.

The 40-foot height of the proposed building is consistent with the prescribed height limit. The layout of the new building will create an approximately 2,700 square foot rear yard open space that will not only enhance the Project, but also enhance the mid-block open space that would benefit the residential buildings on California Street that are immediately south of the Project Site. While the existing buildings extend to the rear property line, the proposed building will be set back approximately 33 feet from the rear property line; thereby, creating amid-block open space that is currently non-existent.

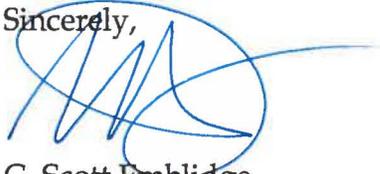
The proposed Project is consistent with the stated purposes of the Sacramento Street NCD in that the proposed mixed use development will provide new retail/commercial uses on the

ground floor, replace the existing medical uses with new similar uses on the second floor, and create 18 new housing units on the third and fourth floors.

In sum, after years of collaboration with Planning staff, the project sponsor has proposed just the right type of project for this location. It creates new housing on an underutilized site adjacent to transit on California Street. It reactivates the streetscape by adding ground floor retail uses consistent with the other buildings in this neighborhood commercial district. And it preserves neighborhood-serving dental and medical uses that the neighborhood wanted maintained at the site.

Please reject these appeals and permit this Project to move forward

Sincerely,



G. Scott Emblidge

cc: Member of the Board of Supervisors  
Clerk of the Board of Supervisors  
Mary Woods, Planning Department

ATTACHMENT A



# 3637 Sacramento Street

Mixed-Use Condominium Project

San Francisco • California

**GARY  
GEE  
AIA**

GARY GEE ARCHITECTS, INC.

98 Brady Street, #8  
San Francisco, CA 94103  
Tel 415/863-8881  
Fax 415/863-8879

Project No.  
07-018

Date  
March 17, 2017

Revision  
July 31, 2018  
Additional Information  
Requested by Planning

Revision  
September 24, 2018  
Additional Information  
Requested by Planning

Cover  
Sheet

A0.0



**PROJECT DESCRIPTION**

PROPOSED DEMOLITION OF EXISTING BUILDINGS.

PROPOSED NEW CONSTRUCTION OF FOUR-STORY MIXED-USE DEVELOPMENT WITH GROUND FLOOR AND SECOND FLOOR COMMERCIAL USE AND 18 RESIDENTIAL CONDOMINIUM UNITS ON THIRD AND FOURTH FLOORS, ALL OVER A TWO LEVEL BASEMENT PARKING GARAGE.

**PROJECT INFORMATION**

**ADDRESS:** 3637 - 3657 SACRAMENTO STREET  
SAN FRANCISCO, CA 94118

**BLOCK / LOT:** 1018 / 12 & 20

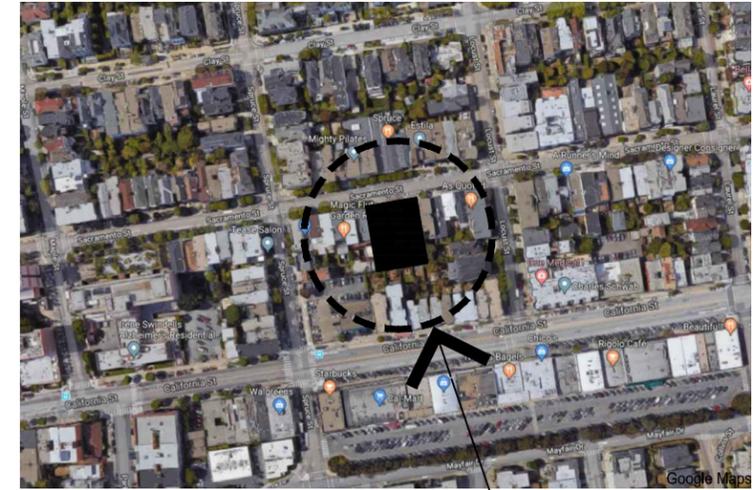
**LOT AREA:** 14,585.34 SQ. FT.

**ZONING:** SACRAMENTO NCD

**HEIGHT/ BULK:** 40-X  
PROPOSED 40'-0"

**SETBACKS:** FRONT: NONE  
REAR: 25% REAR YARD AT GRADE

**F.A.R.:** 1.8 TO 1  
PROPOSED 1.13 FOR COMMERCIAL GROSS FLOOR AREA



PROJECT SITE



**DRAWING INDEX**

- A0.0 COVER SHEET
- A0.1 PROJECT INFORMATION
- A0.2a PLANNING INFORMATION
- A0.2b PLANNING DEPARTMENT NOTES
- A0.2c PLANNING DEPARTMENT NOTES
- SITE SURVEY
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- EX2.0 EXISTING AS-BUILT DRAWINGS: 3641 SACRAMENTO ST.
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- A2.3 BASEMENT PARKING LEVEL P1 FLOOR PLAN
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- A2.6 THIRD LEVEL FLOOR PLAN
- A2.7 FOURTH LEVEL FLOOR PLAN
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- R1 SACRAMENTO STREET VIEW
- R2 SACRAMENTO STREET COMMERCIAL STOREFRONT VIEW
- A3.1d ELEVATION STUDY
- A3.2 EXTERIOR ELEVATION
- A3.3 EXTERIOR ELEVATION
- A3.4 EXTERIOR ELEVATION
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- A4.2 BUILDING SECTION
- A4.3 BUILDING SECTION
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- L0.1 CONCEPTUAL LANDSCAPE PLAN

**3637 Sacramento Street**

Mixed-Use Condominium Project  
San Francisco • California



GARY GEE ARCHITECTS, INC.  
98 Brady Street, #8  
San Francisco, CA 94103  
Tel 415/863-8881  
Fax 415/863-8879

Project No.	07-018
Date	March 17, 2017
Revision	April 28, 2017 Additional Information Requested by Planning
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Revision	July 31, 2018 Additional Information Requested by Planning
Revision	September 24, 2018 Additional Information Requested by Planning
Revision	December 31, 2018 Revisions per Planning Commission Approval

**Project Information**

Scale: None

**A0.1**

**OPEN SPACE, 18 RESIDENTIAL UNITS:**

REQUIRED: 100 SQ.FT. PER UNIT IF PRIVATE USABLE OPEN SPACE OR  
100 SQ.FT. x 1.33 PER UNIT IF COMMON USABLE OPEN SPACE

COMMON OPEN SPACE:  
18 UNITS X 133 SQ.FT. = 2,394 SQ.FT. REQUIRED

PROVIDED: COMMON OPEN SPACE AT REAR YARD = 2,734 SQ.FT.  
PRIVATE DECK AT UNIT 401 = 53 SQ.FT.

**OFF-STREET AUTOMOBILE PARKING:**

	ACCESSIBLE	STANDARD	COMPACT	CAR-SHARE***	TOTAL
PARKING LEVEL P1	1	19	3	1***	23***
PARKING LEVEL P2	1	26	0	0	27
TOTAL PARKING PROVIDED	2	45	3	1***	50***

IN / OUT PAID SHORT-TERM PARKING PROVIDED ON PARKING LEVELS P1 AND P2: 32 SPACES  
RESIDENTIAL PARKING PROVIDED ON PARKING LEVEL P2: 18 SPACES  
TOTAL PARKING PROVIDED: 50 SPACES

**BICYCLE PARKING:**

	CLASS 1	CLASS 2	TOTAL
SIDEWALK	0	7 RACKS	14
PARKING LEVEL P1	3 LOCKERS	7 RACKS	17
PARKING LEVEL P2 LOCKABLE ENCLOSURE	18 RACKS	0	18
TOTAL BICYCLE PARKING PROVIDED	21	28	49

NOTE: EACH CLASS 2 BICYCLE RACK ACCOMMODATES 2 BICYCLES.

COMMERCIAL BICYCLE PARKING PROVIDED ON SIDEWALK AND PARKING LEVEL P1: 30 SPACES  
RESIDENTIAL BICYCLE PARKING PROVIDED ON SIDEWALK AND PARKING LEVEL P2: 19 SPACES  
TOTAL BICYCLE PARKING PROVIDED: 49 SPACES

\* OCCUPIED FLOOR AREA IS DEFINED PER PLANNING CODE SECTION 102.9 AS GROSS FLOOR AREA MINUS NON-ACCESSORY PARKING, DRIVEWAY AND MANUEVERING AREAS, EXTERIOR WALLS, MECHANICAL EQUIPMENT, APPURTANCES AND AREAS NECESSARY TO THE OPERATION OR MAINTENANCE OF THE BUILDING, TENANT STORAGE SPACE.

\*\* PLANNING CODE SECTION 102.9 DEFINITION EXCLUDES FROM GROSS FLOOR AREA CALCULATIONS: BASEMENT SPACE USED FOR STORAGE OR SERVICES NECESSARY TO THE OPERATION OR MAINTENANCE OF THE BUILDING; PARKING IN BASEMENT; BICYCLE PARKING; ROOF LEVEL STAIR, ELEVATOR AND MECHANICAL PENTHOUSES.

\*\*\* CAR-SHARE SPACE NOT INCLUDED IN TOTAL PARKING SPACE COUNT; SERVICE VEHICLE LOADING NOT INCLUDED IN TOTAL PARKING SPACE COUNT

**BUILDING AREA CALCULATIONS (Per Planning):**

AREA TABULATION BY FLOOR / USE	OCCUPIED AREA *	GROSS FLOOR AREA BY USE **	GROSS FLOOR AREA BY FLOOR **
BASEMENT PARKING LEVEL P2			2,819 SQ.FT.
RESIDENTIAL STORAGE, LOBBY, CIRCULATION		2,819 SQ.FT.	
BASEMENT PARKING LEVEL P1			1,843 SQ.FT.
LOBBY, CIRCULATION		1,843 SQ.FT.	
GROUND LEVEL			7,880 SQ.FT.
RETAIL USE	6,321 SQ.FT.	6,555 SQ.FT.	
LOBBY, CIRCULATION		1,325 SQ.FT.	
SECOND LEVEL			10,533 SQ.FT.
MEDICAL / DENTAL USE	9,574 SQ.FT.	9,976 SQ.FT.	
CIRCULATION		557 SQ.FT.	
THIRD LEVEL			10,183 SQ.FT.
9 RESIDENTIAL CONDOMINIUMS (3 - 1 BRs & 6 - 2 BRs)	7,977 SQ.FT.	8,596 SQ.FT.	
CIRCULATION		1,587 SQ.FT.	
FOURTH LEVEL			10,092 SQ.FT.
9 RESIDENTIAL CONDOMINIUMS (3 - 1 BRs & 6 - 2 BRs)	7,934 SQ.FT.	8,564 SQ.FT.	
CIRCULATION		1,528 SQ.FT.	
ROOF			77 SQ.FT.
ROOF PENTHOUSE CORRIDOR		77 SQ.FT.	
TOTAL OCCUPIED FLOOR AREA *	31,806 SQ.FT. *		
TOTAL GROSS FLOOR AREA **		43,427 SQ.FT.**	43,427 SQ.FT.**

\*\*AREAS NOT INCLUDED IN GROSS FLOOR AREA CALCULATIONS:

BASEMENT PARKING GARAGE 24,210 SQ.FT. \* OCCUPIED AREA  
BICYCLE PARKING 699 SQ.FT. \* OCCUPIED AREA  
BUILDING SERVICES 1,266 SQ.FT.

PROJECT SUMMARY TABLE	EXISTING USES	EXISTING USES TO BE RETAINED	NET NEW CONSTRUCTION	PROJECT TOTALS
PROJECT FEATURES				
DWELLING UNITS			18	18
HOTEL ROOMS				
PARKING SPACES	78		-28	50
LOADING SPACES				
NUMBER OF BUILDINGS	3		-2	1
HEIGHT OF BUILDING(S)	33'		7'	40'
NUMBER OF STORIES	2 + BASEMENT		2 + BASEMENT	4 + BASEMENT
BICYCLE SPACES			49	49
GROSS SQUARE FOOTAGE (GSF)				
RESIDENTIAL			17,162 SQ.FT.	17,162 SQ.FT.
RETAIL			6,555 SQ.FT.	6,555 SQ.FT.
MEDICAL / DENTAL	13,138 SQ.FT.		-3,162 SQ.FT.	9,976 SQ.FT.
OFFICE				
INDUSTRIAL / PDR				
PARKING	6,125 SQ.FT.		-6,125 SQ.FT.	0 SQ.FT.
OTHER: COMMON AREA			11,530 SQ.FT.	11,530 SQ.FT.
TOTAL 1	19,263 SQ.FT.		25,960 SQ.FT.	45,223 SQ.FT.
AREAS NOT INCLUDED IN GROSS SQUARE FOOTAGE TOTALS				
PARKING, IN BASEMENT	6,125 SQ.FT.		18,085 SQ.FT.	24,210 SQ.FT.
OTHER: BICYCLE PARKING			699 SQ.FT.	699 SQ.FT.
OTHER: BUILDING SERVICES			1,266 SQ.FT.	1,266 SQ.FT.
TOTAL 2	6,125 SQ.FT.		20,050 SQ.FT.	26,175 SQ.FT.
GRAND TOTAL (TOTAL 1 + TOTAL 2)	25,388 SQ.FT.		46,010 SQ.FT.	71,398 SQ.FT.

**3637**  
**Sacramento**  
**Street**

Mixed-Use Condominium Project  
San Francisco • California

**GARY**  
**GEE**  
**ARCHITECTS, INC.**

98 Brady Street, #8  
San Francisco, CA 94103  
Tel 415/863-8881  
Fax 415/863-8879

Project No. 07-018  
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Revision July 12, 2018 Revisions per Owner  
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**Planning**  
**Information**

Scale: None

**A0.2a**

PLANNING CODE ANALYSIS TABLE

CODE SECTION	ZONING CATEGORY	REQUIRED / ALLOWED	PROVIDED / PROPOSED	COMMENTS
SFPC MAP ZN03	ZONING MAP	SACRAMENTO STREET NCD	RESIDENTIAL AND COMMERCIAL USE	
SFPC 724, 121.1(b)	PERMITTED USE	PERMITTED RESIDENTIAL, COMMERCIAL USES	RESIDENTIAL AND COMMERCIAL USE; ACESSORY PARKING; COMMON USABLE OPEN SPACE (RESIDENTIAL)	
SFPC 724	HEIGHT AND BULK LIMIT	40 - X	40'-0" MAXIMUM HEIGHT TO ROOF, MEASURED FROM CENTERLINE OF PROPERTY	
SFPC 724	LOT SIZE	LOT AREA 5,000 SQ.FT. AND GREATER REQUIRES CONDITIONAL USE AUTHORIZATION	14,585.34 SQ.FT. LOT AREA	CONDITIONAL USE APPLICATION SUBMITTED PER SFPC 303(c)
SFPC 724 SFPC 724 SFPC 724	USE SIZE (NON-RESIDENTIAL)	PERMITTED UP TO 2,499 SQ.FT. GROSS FLOOR AREA FOR EACH INDIVIDUAL USE; CONDITIONAL USE REQUIRED 2,500 SQ.FT. AND ABOVE (SECTION 121.2 (a)) RETAIL: PERMITTED ON GROUND LEVEL, BUT EXCEEDS PERMITTED GROSS FLOOR AREA  MEDICAL / DENTAL SERVICE: PERMITTED ON SECOND LEVEL AND ABOVE	GROUND LEVEL RETAIL: 6,555 SQ.FT. GROSS  SECOND LEVEL MEDICAL / DENTAL: 9,976 SQ.FT. GROSS	CONDITIONAL USE APPLICATION SUBMITTED PER SFPC 303(c)
SFPC 724	F.A.R.	1.8 TO 1 1.8 X 14,585.34 SQ.FT. = 26,253.612 SQ.FT. ALLOWABLE GROSS FLOOR AREA	RESIDENTIAL: F.A.R. DOES NOT APPLY TO RESIDENTIAL COMMERCIAL: 16,531 SQ.FT. / 14,585.34 SQ.FT. = 1.13 F.A.R.	
SFPC 724	DWELLING UNIT DENSITY	1 DWELLING UNIT PER 800 SQ.FT. OF LOT AREA 14,585.34 SQ.FT. LOT AREA / 800 SQ.FT. = 18 UNITS ALLOWED	18 DWELLING UNITS PROVIDED	
SFPC 724	USABLE OPEN SPACE	PER UNIT, 100 SQ.FT. IF PRIVATE OR 133 SQ.FT. IF COMMON USABLE OPEN SPACE 18 UNITS X 133 SQ.FT. = 2,394 SQ.FT. COMMON USABLE OPEN SPACE REQUIRED	2,734 SQ.FT. COMMON USABLE OPEN SPACE PROVIDED AT REAR YARD. 53 SQ.FT. PRIVATE OPEN SPACE PROVIDED AT UNIT 401.	
SFPC 724	REAR YARD	LOT COVERAGE: MINIMUM REAR YARD DEPTH AT 25% LOT DEPTH (SECTION 134(a)(1)): LOT DEPTH = 132.594' 25% LOT DEPTH = 33'-2"  REAR YARD REQUIRED AT GRADE LEVEL AND ABOVE. MAY MODIFY REQUIREMENTS BY SUBMITTING VARIANCE APPLICATION FOR A REAR YARD MODIFICATION IN NC DISTRICTS (SECTION 134(e)) AS ALLOWED PER SECTION 136(c)(26): UNDERGROUND PARKING GARAGE, IF TOP SURFACE IS DEVELOPED AS USABLE OPEN SPACE, PROVIDED IT DOES NOT OCCUPY ANY AREA WITHIN REAR 15' OF LOT DEPTH.  REAR YARD REQUIRED AT GRADE LEVEL AND ABOVE IN NC DISTRICTS (SECTION 134(e)) AS ALLOWED PER SECTION 136(c)(24)(A): DECKS, AT OR BELOW THE ADJACENT FIRST FLOOR OF OCCUPANCY, IF DEVELOPED AS USABLE OPEN SPACE AND IF A DOWNSLOPE OF 15% OR LESS, SHALL NOT EXCEED A HEIGHT OF 3' ABOVE GRADE AT ANY POINT IN THE REQUIRED OPEN AREA  PER SECTION 136(c)(15), RAILINGS NO MORE THAN 3'-6" IN HEIGHT ABOVE ANY PERMITTED DECK OR ABOVE THE SURFACE OF ANY OTHER PERMITTED STRUCTURE IN THE REQUIRED OPEN AREA	33'-2" REAR YARD DEPTH (25% LOT DEPTH)  REAR YARD PROVIDED AT GRADE LEVEL AND ABOVE. TOP SURFACE OF UNDERGROUND PARKING GARAGE IS DEVELOPED AS USABLE OPEN SPACE. UNDERGROUND PARKING GARAGE LEVEL IS WITHIN 15' OF REAR PROPERTY LINE.  USABLE OPEN SPACE IS AT GRADE.  REAR YARD PERIMETER WALL ON DOWNSLOPING LOT DOES NOT EXCEED 3'-6" IN HEIGHT WHERE A RETAINING WALL IS REQUIRED AT HIGHER EXISTING ADJACENT REAR YARDS.	VARIANCE APPLICATION SUBMITTED TO REQUEST REAR YARD MODIFICATION
SFPC 139	BIRD-SAFE BUILDINGS	LOCATION-RELATED HAZARDS: BUILDINGS WITHIN 300' OF AN URBAN BIRD REFUGE.  FEATURE-RELATED HAZARDS: INCLUDE FREE-STANDING GLASS WALLS, WIND BARRIERS, SKYWALKS, BALCONIES, AND GREENHOUSES ON ROOFTOPS THAT HAVE UNBROKEN GLAZED SEGMENTS 24 SQ.FT. AND LARGER IN SIZE.	NOT APPLICABLE; BUILDING IS NOT WITHIN 300' OF AN URBAN BIRD REFUGE.  BALCONY GUARDRAILS SHALL COMPLY WITH BIRD-SAFE GLAZING STANDARDS.	

**3637**  
Sacramento  
Street

Mixed-Use Condominium Project

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**GARY**  
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Planning  
Department  
Notes

Scale: None

**A0.2b**

PLANNING CODE ANALYSIS TABLE (Continued)

CODE SECTION	ZONING CATEGORY	REQUIRED / ALLOWED	PROVIDED / PROPOSED	COMMENTS
SFPC 724; 151.1	OFF-STREET PARKING (RESIDENTIAL)	1 SPACE PER DWELLING UNIT 18 UNITS = 18 SPACES MINIMUM REQUIRED	18 SPACES PROVIDED ON PARKING LEVEL P2	
SFPC 724; 151.1	OFF-STREET PARKING (COMMERCIAL)	OTHER RETAIL: 1 SPACE / 500 SQ.FT. OF OCCUPIED FLOOR AREA UP TO 20,000 SQ.FT. WHERE OCCUPIED FLOOR AREA EXCEEDS 5,000 SQ.FT. (TABLE 151)  GROUND LEVEL RETAIL = 6,321 SQ.FT. OCCUPIED 6,321 SQ.FT. / 500 SQ.FT. = 13 SPACES MINIMUM REQUIRED  MEDICAL OR DENTAL: 1 SPACE / 300 SQ.FT. OF OCCUPIED FLOOR AREA WHERE OCCUPIED FLOOR AREA EXCEEDS 5,000 SQ.FT. (TABLE 151)  SECOND LEVEL MEDICAL / DENTAL = 9,574 SQ.FT. OCCUPIED 9,574 SQ.FT. / 300 SQ.FT. = 32 SPACES MINIMUM REQUIRED	GROUND LEVEL RETAIL: 8 SPACES PROVIDED ON PARKING LEVEL P1  SECOND LEVEL MEDICAL / DENTAL: 24 SPACES PROVIDED ON PARKING LEVELS P1 AND P2  32 SPACES PROVIDED ON PARKING LEVELS P1 AND P2 TO BE OPERATED AS IN / OUT PAID SHORT-TERM PARKING, PUBLIC PARKING GARAGE (AS DEFINED UNDER SF PLANNING CODE SECTION 102)	PARKING EXEMPTION REQUEST
SFPC 102; 303(t)	PARKING GARAGE, PUBLIC	AS DEFINED BY SF PLANNING CODE SECTION 102, A RETAIL AUTOMOTIVE USE THAT PROVIDES TEMPORARY PARKING ACCOMMODATIONS FOR AUTOMOBILES, TRUCKS, VANS, BICYCLES, OR MOTORCYCLES IN A GARAGE OPEN TO THE GENERAL PUBLIC, WITHOUT PARKING OF RECREATIONAL VEHICLES, MOBILE HOMES, BOATS, OR OTHER VEHICLES, OR STORAGE OF VEHICLES, GOODS, OR EQUIPMENT. PROVISIONS REGULATING AUTOMOBILE PARKING ARE SET FORTH IN SECTIONS 155, 156, 303(t) OR (u) AND OTHER PROVISIONS OF ARTICLE 1.5 OF THE SF PLANNING CODE.	PROPOSED FOR IN / OUT PAID SHORT-TERM RETAIL AND MEDICAL / DENTAL PARKING ON PARKING LEVELS P1 AND P2  1 CAR-SHARE PARKING SPACE PROVIDED ON PARKING LEVEL P1	CONDITIONAL USE APPLICATION SUBMITTED PER SFPC 303(c) & 303(t)
SFPC 166	CAR-SHARING	RESIDENTIAL: NONE REQUIRED FOR 0 - 49 UNITS  COMMERCIAL: 1 CAR-SHARE PARKING SPACE REQUIRED FOR 25 - 49 SPACES FOR NON-RESIDENTIAL USES	NONE PROVIDED  1 CAR-SHARE PARKING SPACE PROVIDED ON PARKING LEVEL P1	
SFPC 724; 150	OFF-STREET FREIGHT LOADING	RESIDENTIAL: 0 OFF-STREET FREIGHT LOADING SPACES REQUIRED WHERE GROSS FLOOR AREA IS 0 - 100,000 SQ.FT. (TABLE 152) THIRD & FOURTH LEVEL RESIDENTIAL = 15,911 SQ.FT. OCCUPIED; NONE REQUIRED  RETAIL: 0 OFF-STREET FREIGHT LOADING SPACES REQUIRED WHERE GROSS FLOOR AREA IS 0 - 10,000 SQ.FT. (TABLE 152) GROUND LEVEL RETAIL = 6,321 SQ.FT. OCCUPIED; NONE REQUIRED  MEDICAL / DENTAL: 0 OFF-STREET FREIGHT LOADING SPACES REQUIRED WHERE GROSS FLOOR AREA IS 0 - 100,000 SQ.FT. (TABLE 152) SECOND LEVEL MEDICAL / DENTAL = 9,574 SQ.FT. OCCUPIED; NONE REQUIRED	NONE PROVIDED	
SFPC 155.2	BICYCLE PARKING (COMMERCIAL), CLASS 1	GROUND LEVEL RETAIL: 1 SPACE / 7,500 SQ.FT. OCCUPIED FLOOR AREA 6,321 SQ.FT. / 7,500 SQ.FT. = 1 SPACE REQUIRED  SECOND LEVEL MEDICAL / DENTAL: 1 SPACE / 5,000 SQ.FT. OCCUPIED FLOOR AREA 9,574 SQ.FT. / 5,000 SQ.FT. = 2 SPACES REQUIRED  PRIVATE PARKING GARAGE: NONE REQUIRED	1 SPACE + 2 SPACES + 0 SPACES = 3 SPACES REQUIRED 3 CLASS 1 BICYCLE LOCKERS PROVIDED ON PARKING LEVEL P1	
	BICYCLE PARKING (COMMERCIAL), CLASS 2	GROUND LEVEL RETAIL: MINIMUM 2 SPACES; 1 SPACE FOR EVERY 2,500 SQ.FT. OCCUPIED FLOOR AREA 6,321 SQ.FT. / 2,500 SQ.FT. = 3 SPACES REQUIRED  SECOND LEVEL MEDICAL / DENTAL: 1 SPACE FOR EVERY 15,000 SQ.FT. OCCUPIED FLOOR AREA, BUT NO LESS THAN 4 SPACES 9,574 SQ.FT. / 15,000 SQ.FT. = 1 SPACE; MIN. 4 SPACES REQUIRED  PRIVATE PARKING GARAGE: 1 SPACE FOR EVERY 20 CAR SPACES, BUT NO LESS THAN 6 SPACES 32 SPACES / 20 = 2 SPACES; MIN. 6 SPACES REQUIRED	3 SPACES + 4 SPACES + 6 SPACES = 13 SPACES REQUIRED 13 CLASS 2 SPACES PROVIDED AT 7 SIDEWALK RACKS  13 CLASS 2 SPACES PROVIDED AT 7 RACKS ON PARKING LEVEL P1	
SFPC 155.2	BICYCLE PARKING (RESIDENTIAL), CLASS 1	1 SPACE FOR EVERY DWELLING UNIT 18 UNITS = 18 SPACES REQUIRED	18 SPACES PROVIDED IN LOCKABLE ENCLOSURE ON PARKING LEVEL P2	
	BICYCLE PARKING (RESIDENTIAL), CLASS 2	1 SPACE PER 20 UNITS 18 UNITS = 1 SPACE REQUIRED	1 SPACE PROVIDED AT 1 SIDEWALK RACK	

**3637**  
Sacramento  
Street

Mixed-Use Condominium Project

San Francisco • California

**GARY  
GEE  
ARCHITECTS**

GARY GEE ARCHITECTS, INC.  
98 Brady Street, #8  
San Francisco, CA 94103  
Tel 415/863-8881  
Fax 415/863-8879

Project No.  
07-018

Date  
March 17, 2017

Revision  
April 28, 2017  
Additional Information  
Requested by Planning

Revision  
November 21, 2017  
Additional Information  
Requested by Planning/EE

Revision  
July 12, 2018  
Revisions per Owner

Revision  
September 24, 2018  
Additional Information  
Requested by Planning

Revision  
December 31, 2018  
Revisions per Planning  
Commission Approval

Planning  
Department  
Notes

Scale: None

**A0.2c**



# 3637 Sacramento Street

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**GARY  
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AIA**

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Requested by Planning

Existing  
Block  
Diagram

Scale: 1/32" = 1'-0"

## A0.2d

SACRAMENTO STREET

110'-0" LOT WIDTH

**SUBJECT PROPERTY**

BLOCK 1018  
LOTS 012 & 020

132'-7 1/8" LOT DEPTH

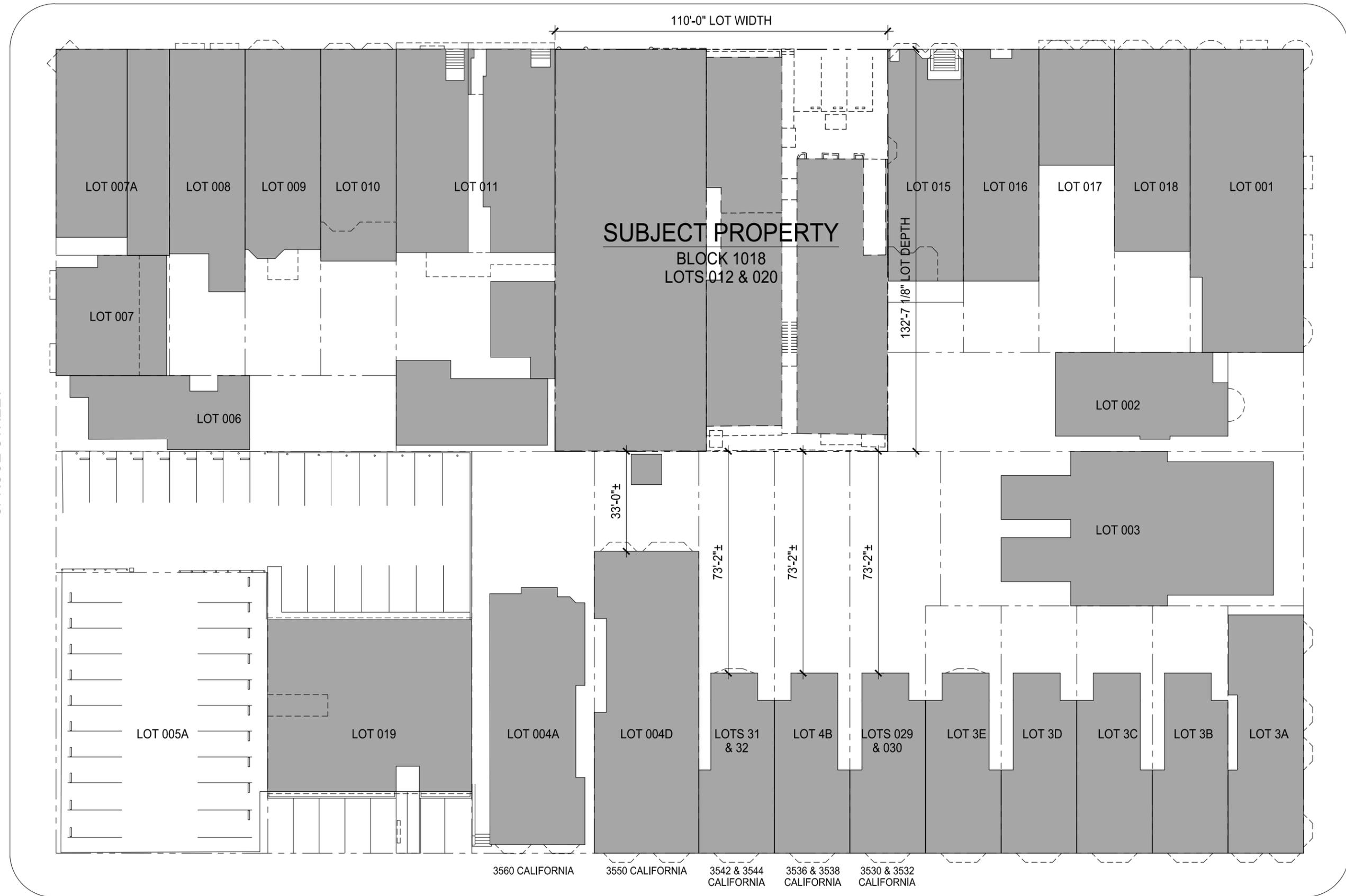
SPRUCE STREET

LOCUST STREET

CALIFORNIA STREET

**EXISTING BLOCK DIAGRAM**

SCALE: 1/32" = 1'-0"



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Additional Information  
Requested by Planning

Proposed  
Block  
Diagram

Scale: 1/32" = 1'-0"

A0.2e

SACRAMENTO STREET

110'-0" LOT WIDTH

**SUBJECT PROPERTY**  
BLOCK 1018  
LOTS 012 & 020

99'-5"

LOT 015

LOT 016

LOT 017

LOT 018

LOT 001

LOT 007A

LOT 008

LOT 009

LOT 010

LOT 011

LOT 007

LOT 006

LOT 002

LOT 003

LOT 005A

LOT 019

LOT 004A

LOT 004D

LOTS 31 & 32

LOT 4B

LOTS 029 & 030

LOT 3E

LOT 3D

LOT 3C

LOT 3B

LOT 3A

33'-2"

25% REAR YARD

132'-7 1/8" LOT DEPTH

33'-0"±

73'-2"±

73'-2"±

73'-2"±

CALIFORNIA STREET

PROPOSED BLOCK DIAGRAM

SCALE: 1/32" = 1'-0"



SPRUCE STREET

LOCUST STREET

3560 CALIFORNIA

3550 CALIFORNIA

3542 & 3544 CALIFORNIA

3536 & 3538 CALIFORNIA

3530 & 3532 CALIFORNIA

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07-018

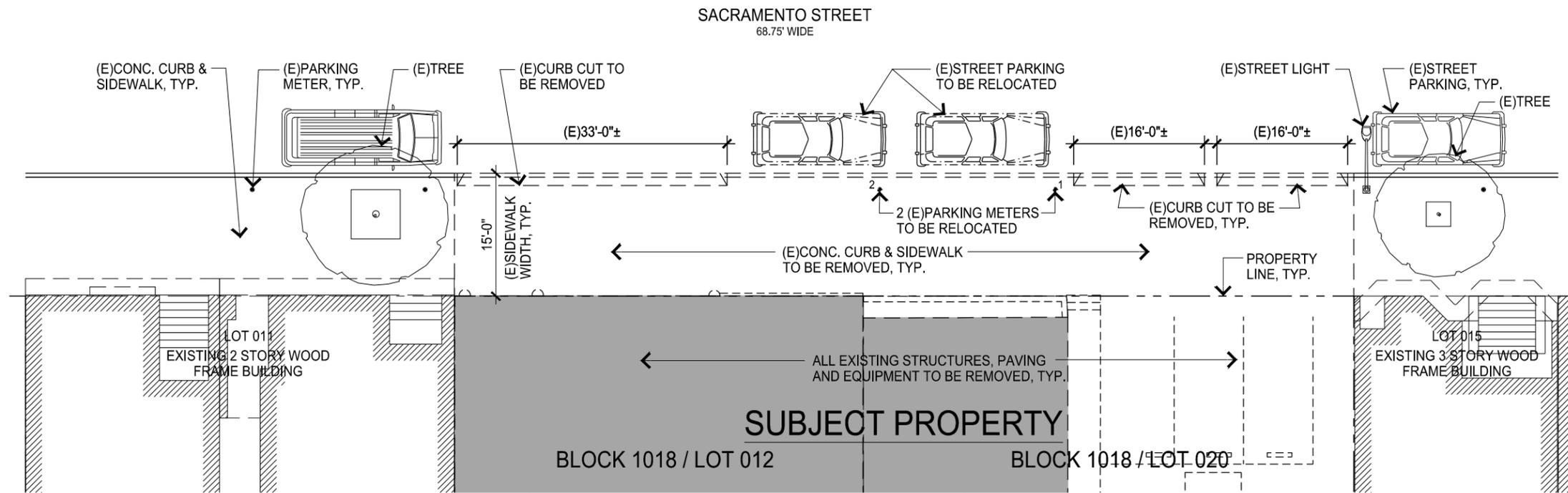
Date  
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Revision  
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Revision  
November 21, 2017  
Additional Information  
Requested by Planning/EE

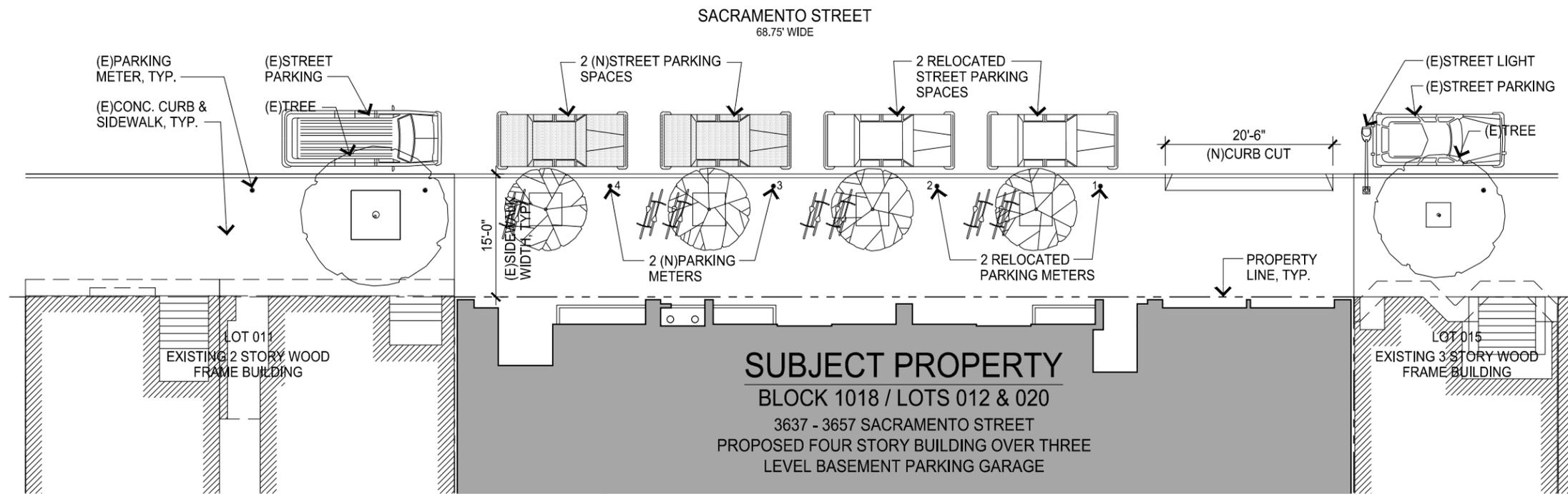
Revision  
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Additional Information  
Requested by Planning

Revision  
September 24, 2018  
Additional Information  
Requested by Planning



**EXISTING STREET PARKING PLAN**

SCALE: 1/16" = 1'-0"



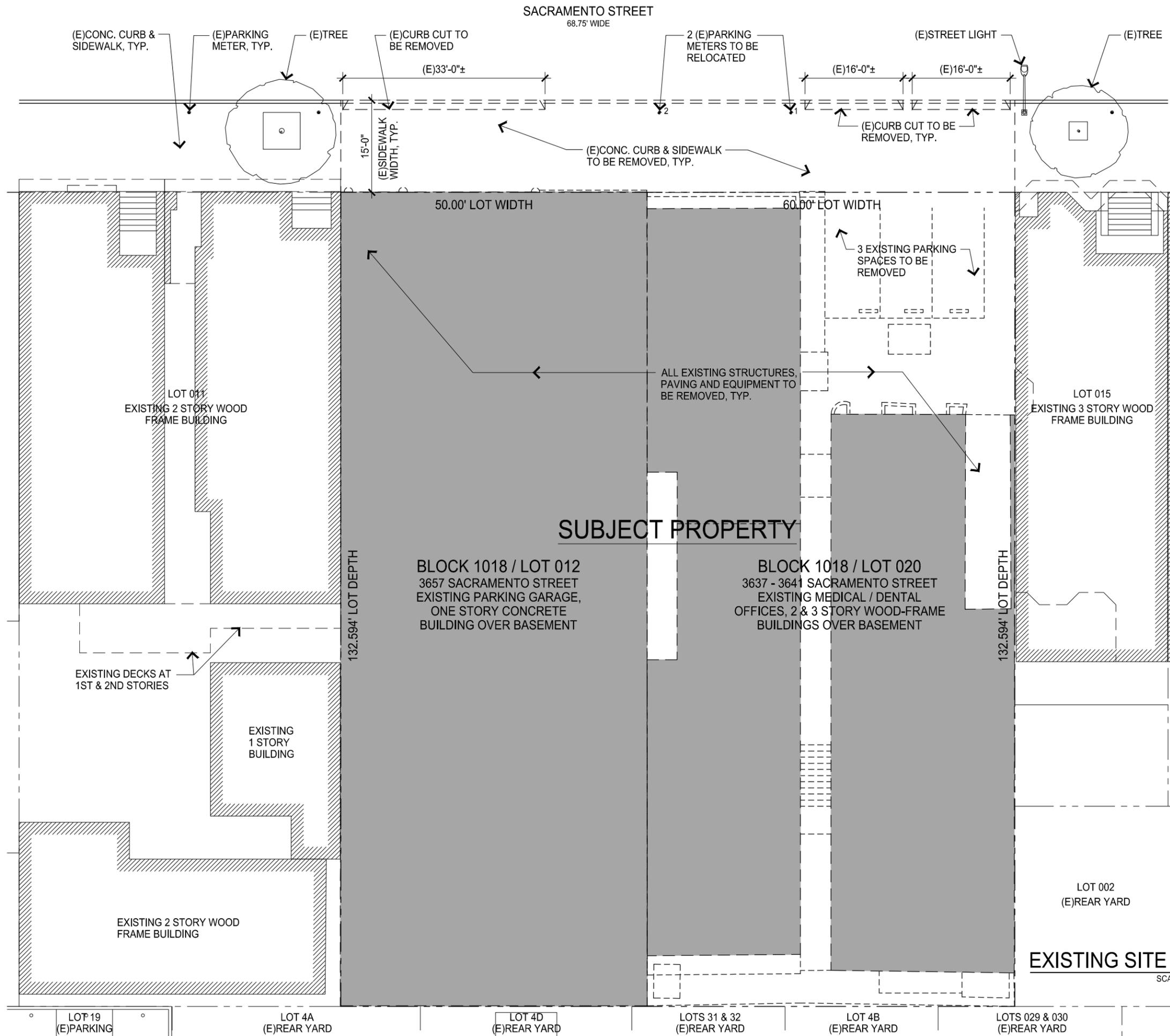
**PROPOSED STREET PARKING PLAN**

SCALE: 1/16" = 1'-0"

**Street  
Parking  
Diagrams**

Scale: 1/16" = 1'-0"

**A0.2f**



# 3637 Sacramento Street

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AIA**

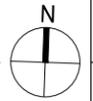
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## Existing Site Plan

Scale: 1/16" = 1'-0"

**EXISTING SITE PLAN**  
SCALE: 1/16" = 1'-0"



# A1.1

SACRAMENTO STREET

SACRAMENTO STREET

SACRAMENTO STREET

# 3637 Sacramento Street

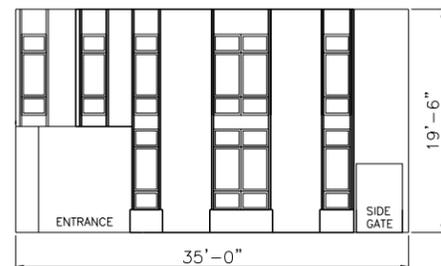
Mixed-Use Condominium Project

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Project No.

Date  
February 17, 2017

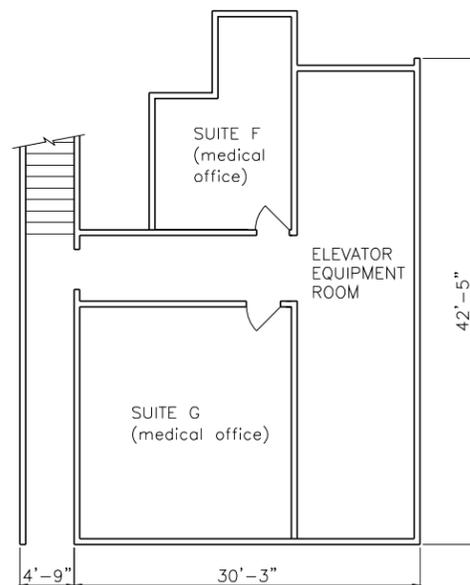
Revision  
September 24, 2018  
Additional Information  
Requested by Planning



SACRAMENTO STREET FACADE

## AS-BUILT ELEVATION

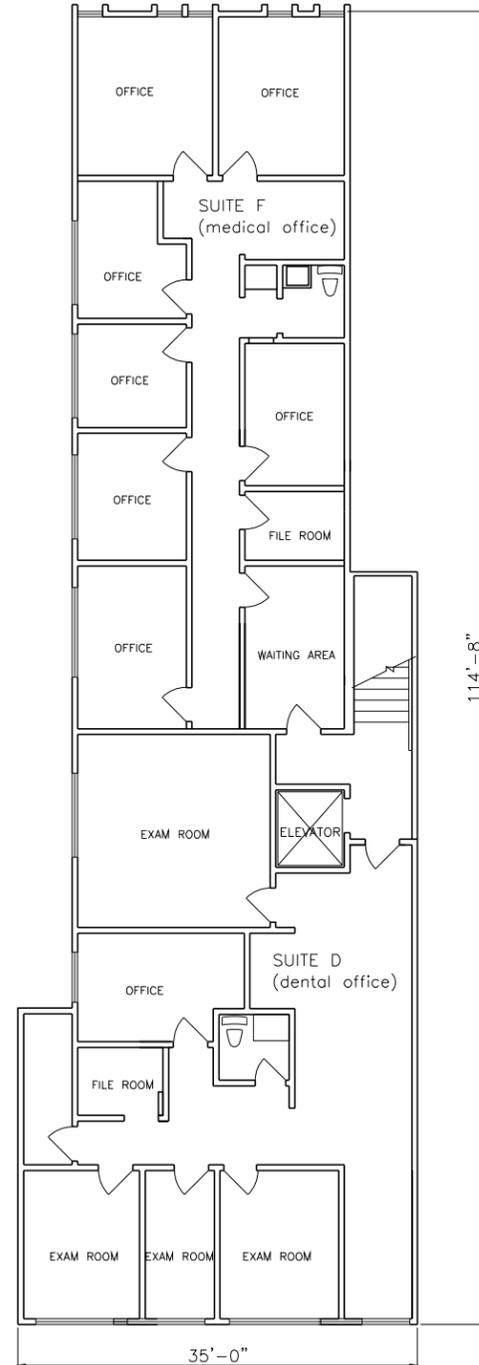
SCALE: 1/16" = 1'-0"



BASEMENT FLOOR  
560 GSF

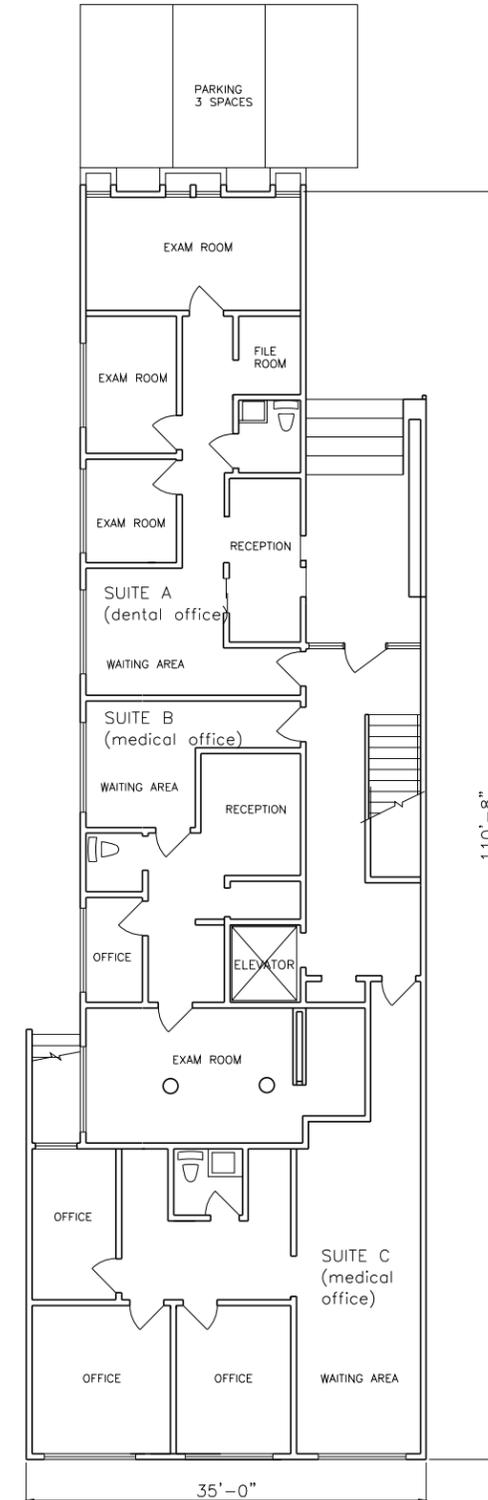
BASEMENT

## AS-BUILT FLOOR PLANS



SECOND FLOOR  
2,686 GSF

SECOND



GROUND FLOOR  
2,277 GSF

GROUND

SCALE: 1/16" = 1'-0"



As-Built Drawings:  
3637 Sacramento

Scale: 1/16" = 1'-0"

# EX1.0

SACRAMENTO STREET

# 3637 Sacramento Street

Mixed-Use Condominium Project  
San Francisco • California

Project No.

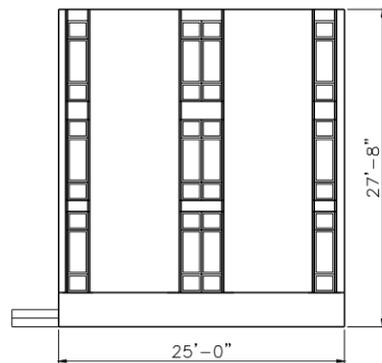
Date  
February 17, 2017

Revision  
September 24, 2018  
Additional Information  
Requested by Planning

As-Built  
Drawings:  
3641  
Sacramento

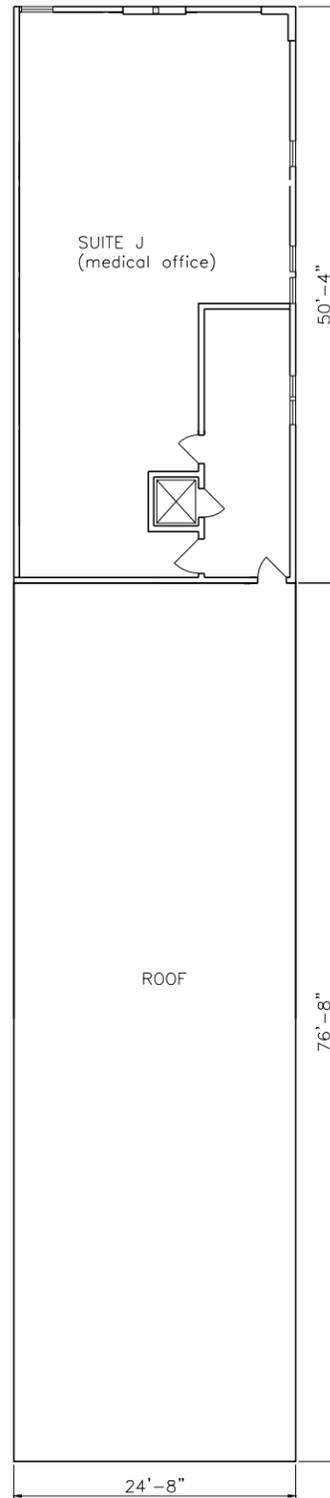
Scale: 1/16" = 1'-0"

## EX2.0



SACRAMENTO STREET FACADE  
AS-BUILT ELEVATION

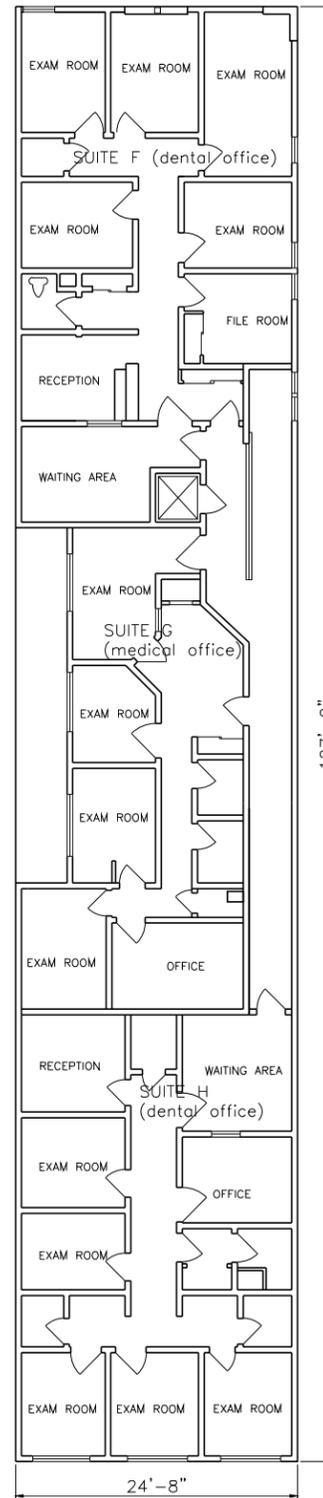
SCALE: 1/16" = 1'-0"



THIRD FLOOR  
1,047 GSF

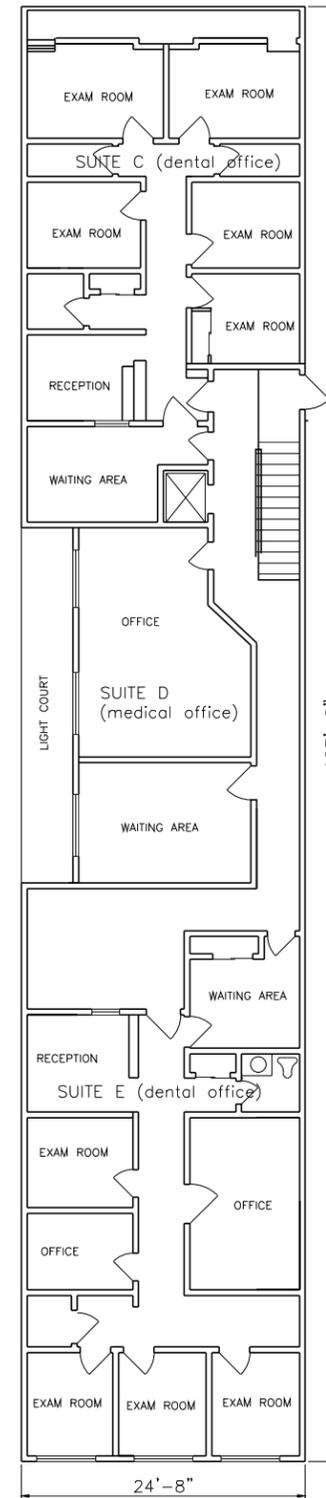
THIRD

AS-BUILT FLOOR PLANS



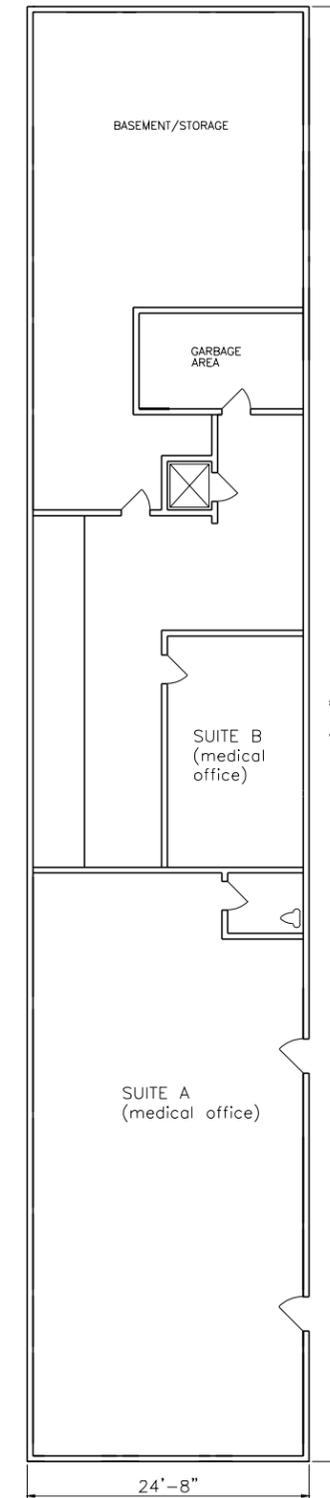
SECOND FLOOR  
2,601 GSF

SECOND



FIRST FLOOR  
2,581 GSF

GROUND

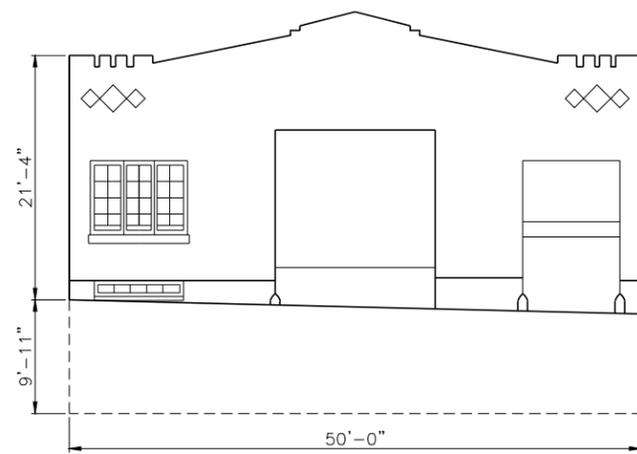


BASEMENT FLOOR  
1,386 GSF

BASEMENT

SCALE: 1/16" = 1'-0"



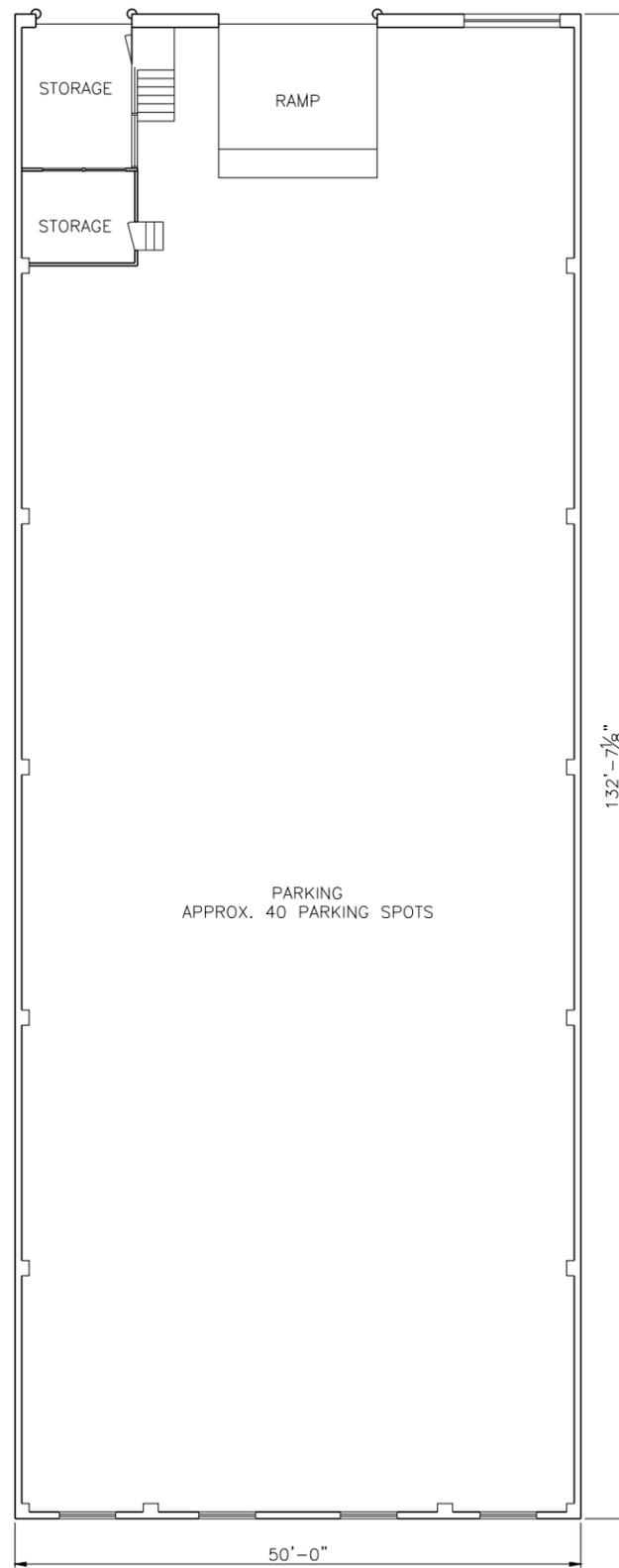


SACRAMENTO STREET FACADE

AS-BUILT ELEVATION

SCALE: 1/16" = 1'-0"

SACRAMENTO STREET

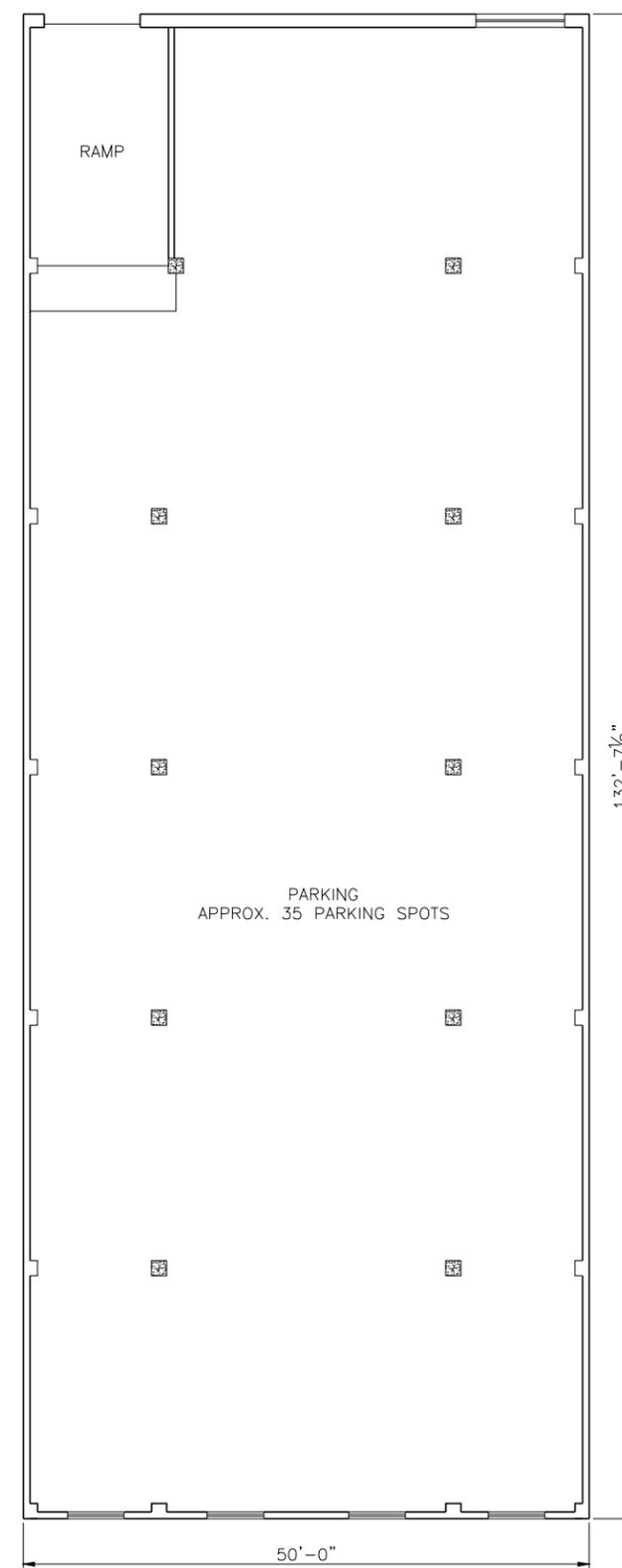


GROUND

AS-BUILT FLOOR PLANS

UPPER LEVEL  
6,125 SQ.FT.

SACRAMENTO STREET



BASEMENT

LOWER LEVEL  
6,125 SQ.FT.

SCALE: 1/16" = 1'-0"



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Sacramento  
Street

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San Francisco • California

Project No.

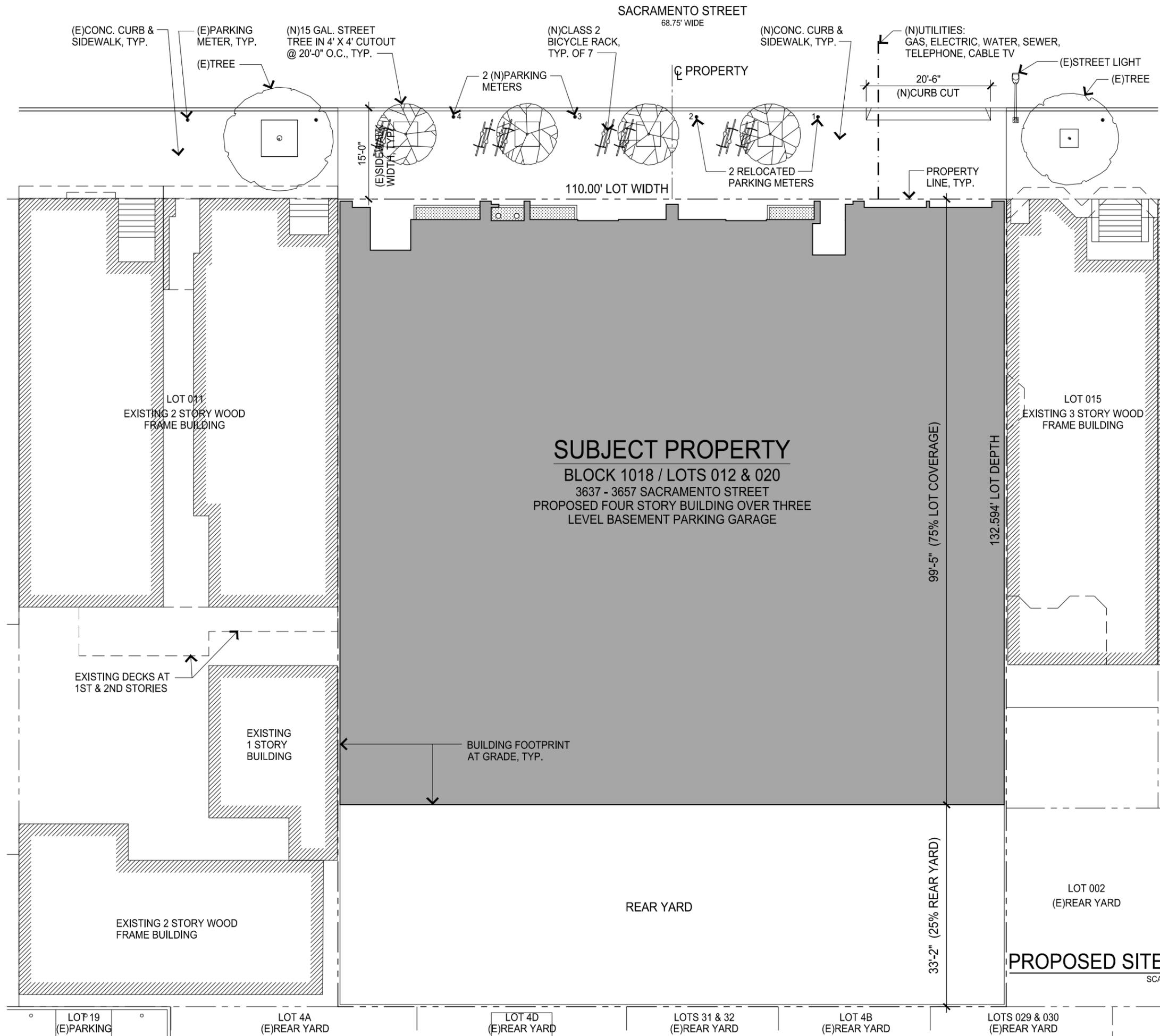
Date  
February 17, 2017

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As-Built  
Drawings:  
3657  
Sacramento

Scale: 1/16" = 1'-0"

EX3.0



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GARY GEE ARCHITECTS, INC.  
98 Brady Street, #8  
San Francisco, CA 94103  
Tel 415/863-8881  
Fax 415/863-8879

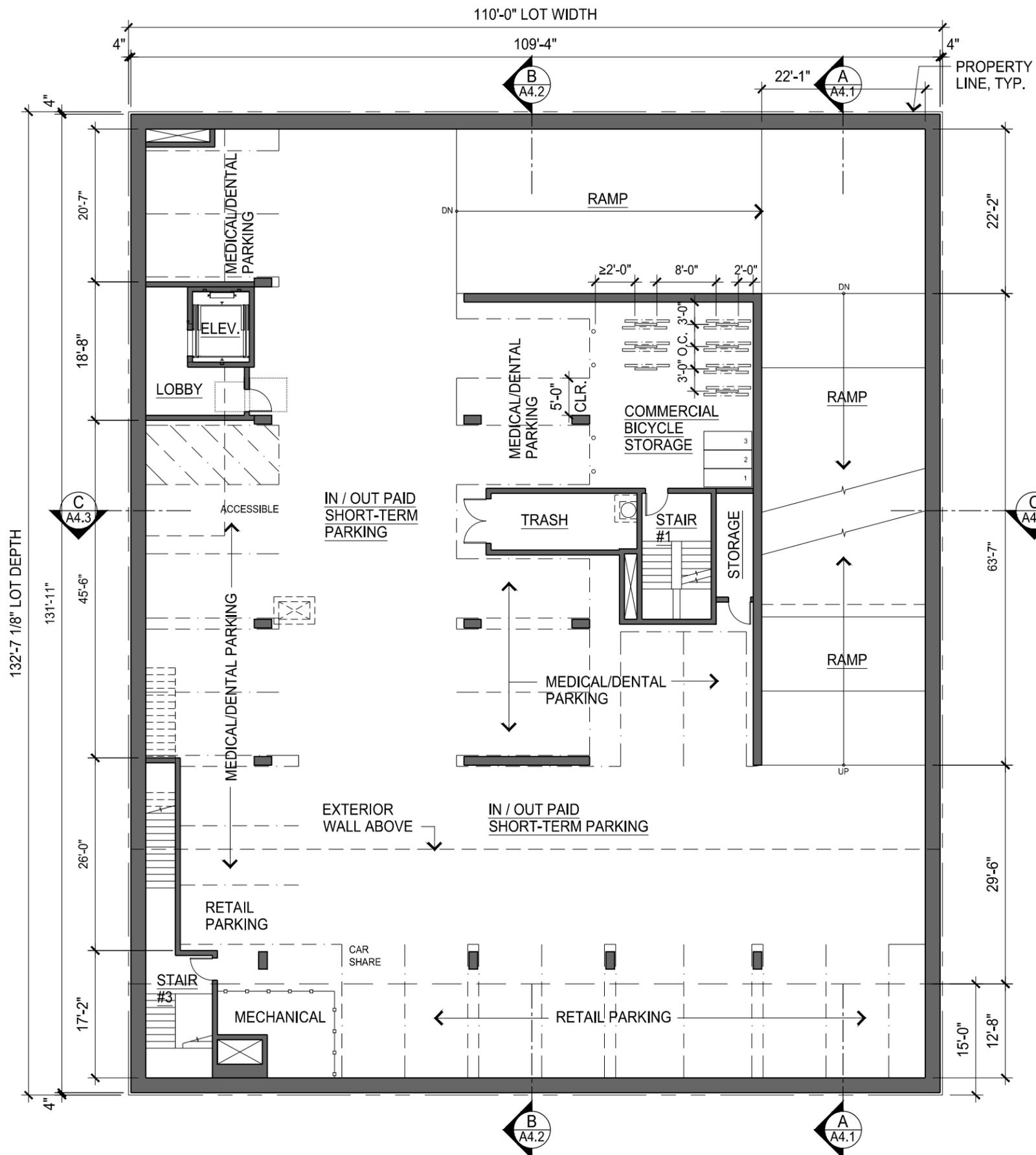
Project No.	07-018
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## Site Plan

Scale: 1/16" = 1'-0"

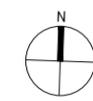
# A1.2





PROPOSED BASEMENT PARKING LEVEL P1 FLOOR PLAN

SCALE: 1/16" = 1'-0"



**PARKING LEVEL P1**

OFF-STREET AUTOMOBILE PARKING, COMMERCIAL:

	ACCESSIBLE	STANDARD	COMPACT	TOTAL
PARKING LEVEL P1	1	19	3	23

CAR-SHARE PARKING (Per Table 166) REQUIRED FOR NON-RESIDENTIAL USES:  
 1 SPACE REQUIRED (1 SPACE / 25-49 PARKING SPACES)  
 1 SPACE PROVIDED, LOCATED ON PARKING LEVEL P1  
 (NOT INCLUDED IN THE TOTAL COMMERCIAL PARKING SPACE COUNT)

	PLANNING CODE REQUIRED	ACCESSORY	P1 TOTAL PROVIDED
RETAIL	13	0	8
MEDICAL / DENTAL	32	0	15
TOTAL	45	0	23

**BICYCLE PARKING, COMMERCIAL:**

	CLASS 1	CLASS 2	TOTAL
PARKING LEVEL P1	3 LOCKERS	7 RACKS	17

GROSS FLOOR AREA PER PLANNING CODE DEFINITION:  
 LOBBY, STAIRS, CORRIDORS, WALLS, ETC. 1,843 SQ.FT.

FLOOR AREA NOT INCLUDED IN CALCULATIONS:  
 AUTOMOBILE PARKING 11,654 SQ.FT. \* OCCUPIED AREA  
 BICYCLE PARKING 414 SQ.FT. \* OCCUPIED AREA  
 BUILDING SERVICES 442 SQ.FT.

\*REFER TO SHEET A0.2a FOR DEFINITION OF OCCUPIED FLOOR AREA  
 \*\*REFER TO SHEET A0.2a FOR DEFINITION OF GROSS FLOOR AREA

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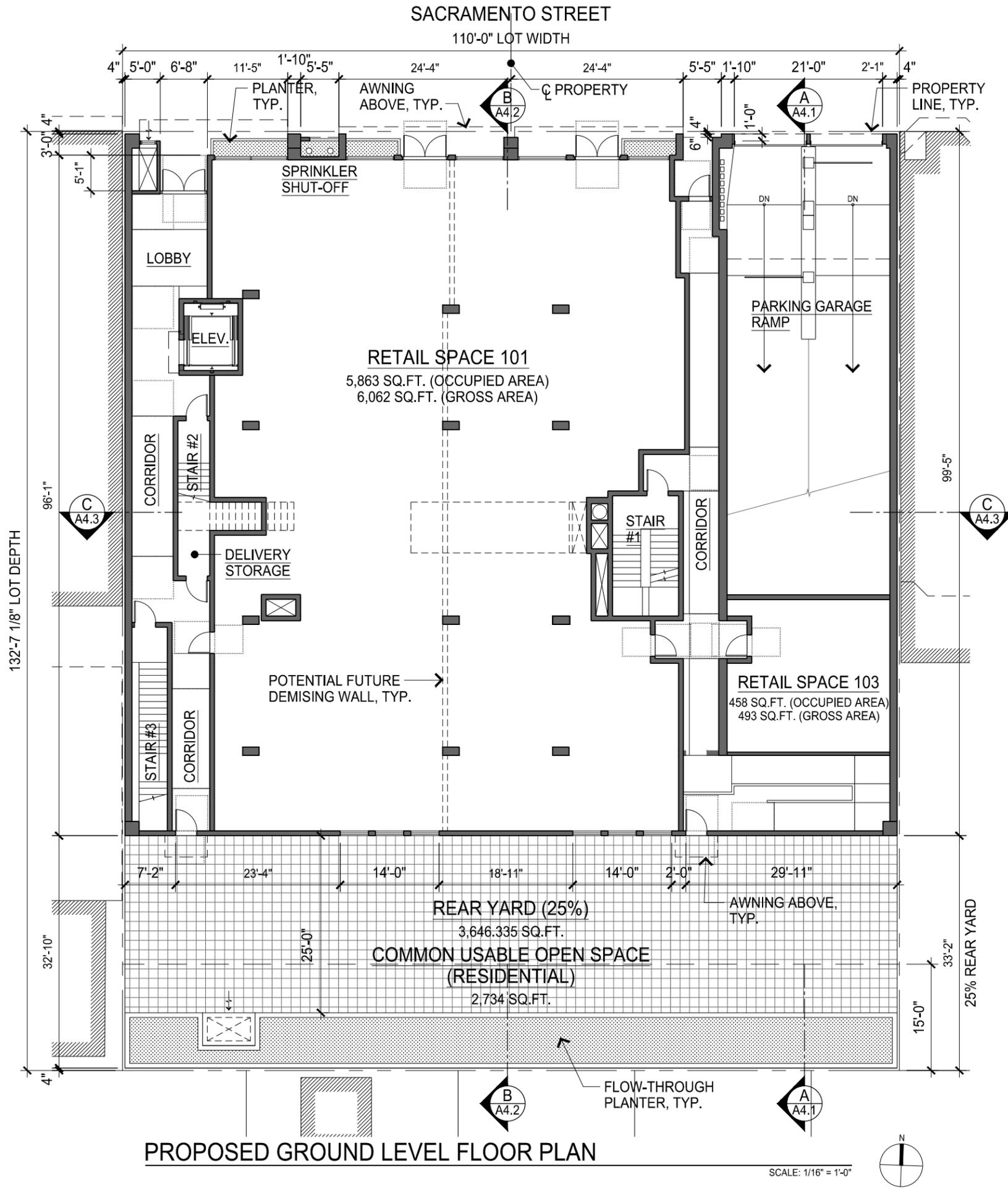
Revision September 24, 2018  
 Additional Information Requested by Planning

Revision December 31, 2018  
 Revisions per Planning Commission Approval

**Basement Parking Level P1 Floor Plan**

Scale: 1/16" = 1'-0"

**A2.3**



**GROUND FLOOR LEVEL**

GROSS FLOOR AREA PER PLANNING CODE DEFINITION:

RETAIL M USE	6,555 SQ.FT.
LOBBY, STAIRS, CORRIDORS, WALLS, ETC.	1,325 SQ.FT.
<b>TOTAL GROSS FLOOR AREA</b>	<b>7,880 SQ.FT. **</b>

FLOOR AREA NOT INCLUDED IN CALCULATIONS:

AUTOMOBILE DRIVE RAMP	1,505 SQ.FT. * OCCUPIED AREA
-----------------------	------------------------------

\*REFER TO SHEET A0.2a FOR DEFINITION OF OCCUPIED FLOOR AREA  
 \*\*REFER TO SHEET A0.2a FOR DEFINITION OF GROSS FLOOR AREA

**RESIDENTIAL COMMON OPEN SPACE AT REAR YARD:**  
 REQUIREMENTS FOR 18 RESIDENTIAL UNITS:  
 100 SQ.FT. x 1.33 PER UNIT FOR COMMON USABLE OPEN SPACE  
 18 UNITS x 100 SQ.FT. x 1.33 = 2,394 SQ.FT. REQUIRED

PROVIDED: 2,734 SQ.FT.

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**Ground**  
**Level Floor**  
**Plan**

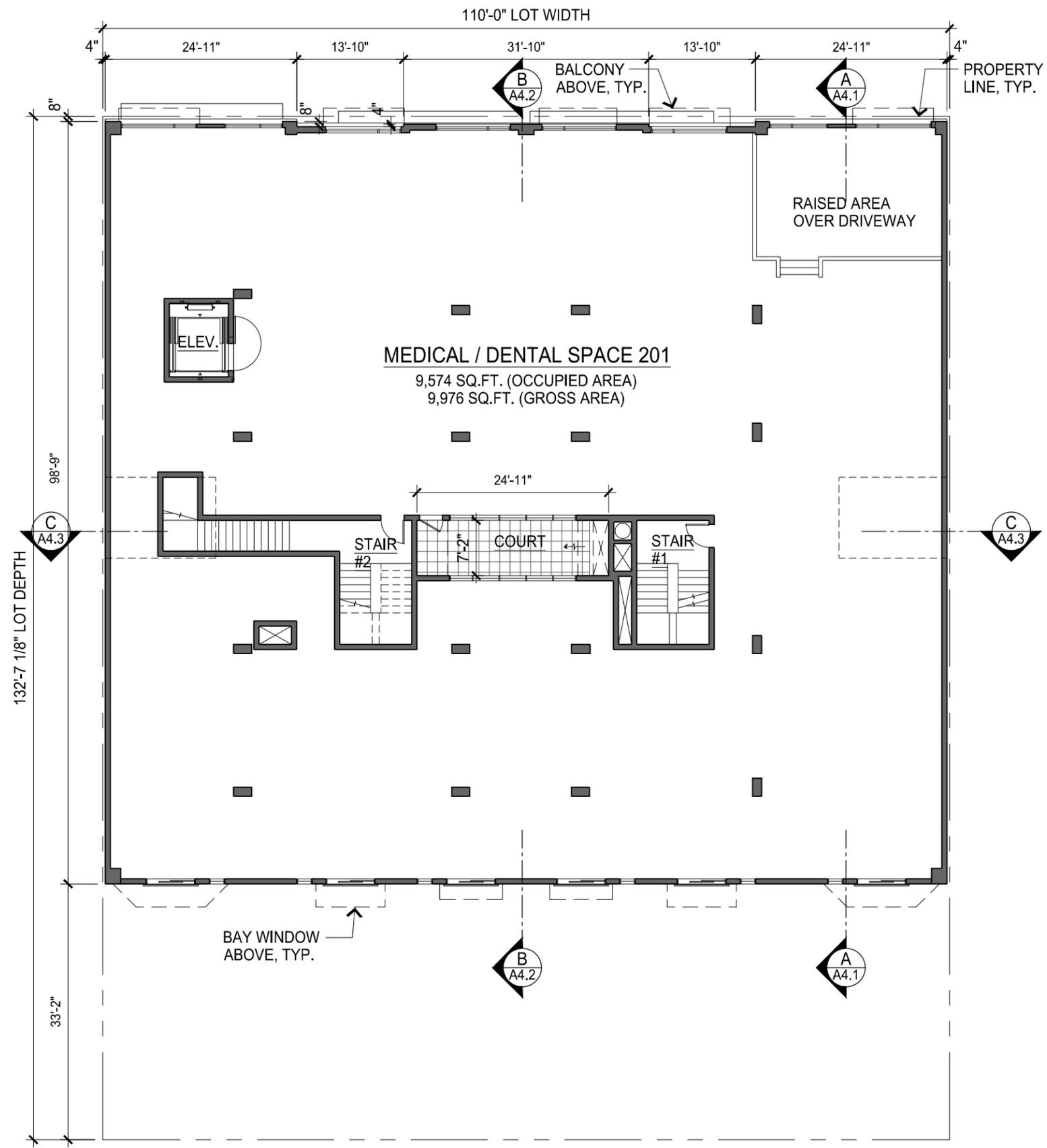
Scale: 1/16" = 1'-0"

**A2.4**

**PROPOSED GROUND LEVEL FLOOR PLAN**

SCALE: 1/16" = 1'-0"





**SECOND FLOOR LEVEL**

GROSS FLOOR AREA PER PLANNING CODE DEFINITION:	
MEDICAL / DENTAL USE	9,976 SQ.FT.
STAIRS, CORRIDORS, WALLS, ETC.	557 SQ.FT.
<b>TOTAL GROSS FLOOR AREA</b>	<b>10,533 SQ.FT.</b>

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 98 Brady Street, #8  
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**PROPOSED SECOND LEVEL FLOOR PLAN**

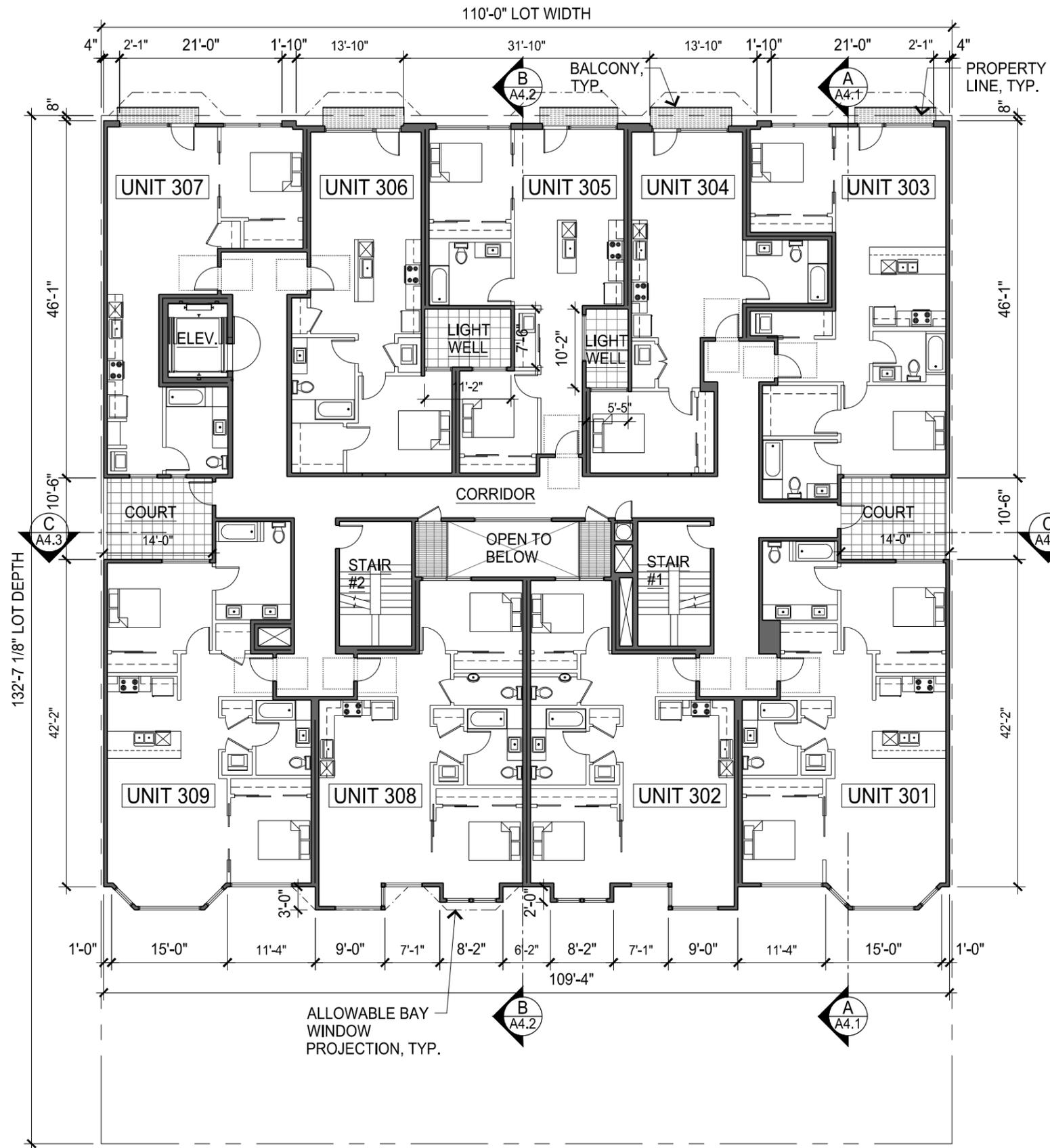
SCALE: 1/16" = 1'-0"



**Second**  
**Level Floor**  
**Plan**

Scale: 1/16" = 1'-0"

**A2.5**



**THIRD FLOOR LEVEL**

**THIRD LEVEL UNIT TABULATION:**

	BEDROOMS / BATHROOMS	OCCUPIED AREA	GROSS AREA
UNIT 301	2 BR / 2 BA	1,075 SQ.FT.	1,139 SQ.FT.
UNIT 302	2 BR / 1.5 BA	887 SQ.FT.	955 SQ.FT.
UNIT 303	2 BR / 2 BA	1,005 SQ.FT.	1,085 SQ.FT.
UNIT 304	1 BR / 1 BA	701 SQ.FT.	770 SQ.FT.
UNIT 305	2 BR / 1 BA	841 SQ.FT.	916 SQ.FT.
UNIT 306	1 BR / 1 BA	736 SQ.FT.	786 SQ.FT.
UNIT 307	1 BR / 1 BA	732 SQ.FT.	806 SQ.FT.
UNIT 308	2 BR / 1.5 BA	915 SQ.FT.	982 SQ.FT.
UNIT 309	2 BR / 2 BA	1,086 SQ.FT.	1,157 SQ.FT.
TOTAL		7,977 SQ.FT.	8,596 SQ.FT.

**GROSS FLOOR AREA PER PLANNING CODE DEFINITION:**  
 9 RESIDENTIAL UNITS (3 - 1 BRs & 6 - 2 BRs) 8,596 SQ.FT.  
 STAIRS, CORRIDORS, WALLS, ETC. 1,587 SQ.FT.  
 TOTAL GROSS AREA 10,183 SQ.FT.

**ALLOWED PROJECTIONS:**  
 PER PLANNING CODE SECTION 136(c)(2), BAY WINDOWS AND BALCONIES ARE ALLOWED TO PROJECT THREE FEET (3'-0") OVER STREETS IF SIDEWALK WIDTH IS GREATER THAN NINE FEET (9'-0"). THE MAXIMUM LENGTH OF PROJECTION IS FIFTEEN FEET (15'-0") AT LINE ESTABLISHING REQUIRED OPEN AREA AND REDUCED IN PROPORTION TO 9'-0" BY MEANS OF 45° ANGLES AT A DISTANCE OF 3'-0" FROM THE LINE ESTABLISHING THE REQUIRED OPEN AREA.

PER PLANNING CODE SECTION 136(c)(3)(D), THE AGGREGATE LENGTH OF ALL BAY WINDOWS AND BALCONIES PROJECTING INTO THE REQUIRED OPEN AREA SHALL BE NO MORE THAN 2/3 THE BUILDABLE WIDTH OF THE LOT ALONG A REAR BUILDING WALL.

BUILDABLE WIDTH ALONG REAR WALL: 109'-4"  
 2/3 BUILDABLE WIDTH: 72'-11"  
 AGGREGATE LENGTH OF BAY WINDOWS AND BALCONIES: 64'-4"

64'-4" = 58.8% OF 109'-4" (BUILDABLE WIDTH ALONG REAR WALL) AND IS LESS THAN 2/3 (66.6%) OF BUILDABLE WIDTH.

**PROPOSED THIRD LEVEL FLOOR PLAN**

SCALE: 1/16" = 1'-0"



**3637 Sacramento Street**

Mixed-Use Condominium Project

San Francisco • California

**GARY GEE AIA**

GARY GEE ARCHITECTS, INC.  
 98 Brady Street, #8  
 San Francisco, CA 94103  
 Tel 415/863-8881  
 Fax 415/863-8879

Project No. 07-018

Date March 17, 2017

Revision April 28, 2017  
 Additional Information Requested by Planning

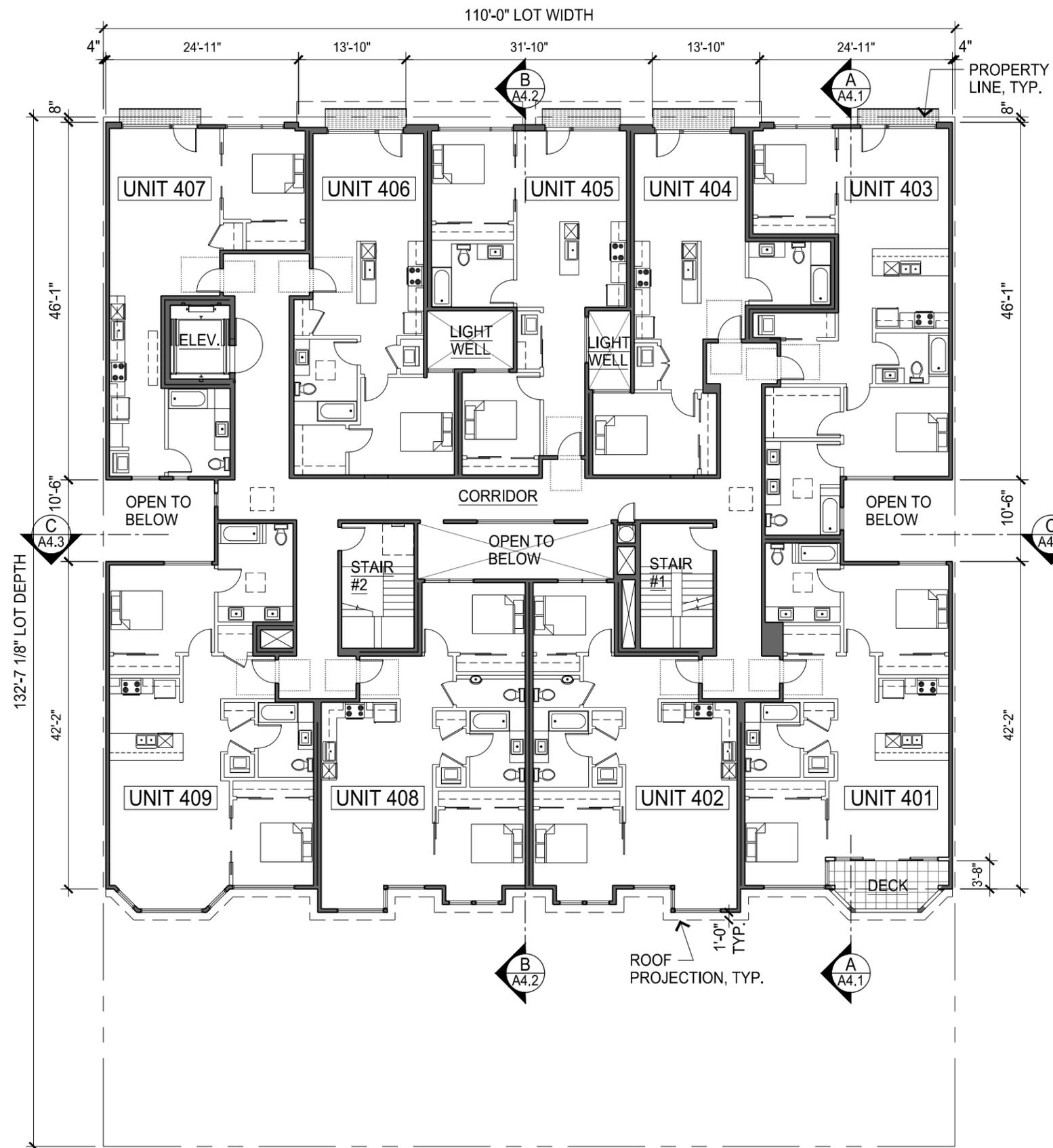
Revision November 21, 2017  
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Revision September 24, 2018  
 Additional Information Requested by Planning

**Third Level Floor Plan**

Scale: 1/16" = 1'-0"

**A2.6**



**FOURTH FLOOR LEVEL**

**FOURTH LEVEL UNIT TABULATION:**

	BEDROOMS / BATHROOMS	OCCUPIED AREA	GROSS AREA
UNIT 401	2 BR / 2 BA	982 SQ.FT.	1,051 SQ.FT.
UNIT 402	2 BR / 1.5 BA	887 SQ.FT.	955 SQ.FT.
UNIT 403	2 BR / 2 BA	1,054 SQ.FT.	1,141 SQ.FT.
UNIT 404	1 BR / 1 BA	701 SQ.FT.	770 SQ.FT.
UNIT 405	2 BR / 1 BA	841 SQ.FT.	916 SQ.FT.
UNIT 406	1 BR / 1 BA	736 SQ.FT.	786 SQ.FT.
UNIT 407	1 BR / 1 BA	731 SQ.FT.	806 SQ.FT.
UNIT 408	2 BR / 1.5 BA	915 SQ.FT.	982 SQ.FT.
UNIT 409	2 BR / 2 BA	1,086 SQ.FT.	1,157 SQ.FT.
TOTAL		7,934 SQ.FT.	8,564 SQ.FT.

**GROSS FLOOR AREA PER PLANNING CODE DEFINITION:**

9 RESIDENTIAL UNITS (3 - 1 BRs & 6 - 2 BRs)	8,564 SQ.FT.
STAIRS, CORRIDORS, WALLS, ETC.	1,528 SQ.FT.
<b>TOTAL GROSS AREA</b>	<b>10,092 SQ.FT.</b>

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Project No.

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Date

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Revision

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Revision

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Revision

September 24, 2018  
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Fourth  
Level Floor  
Plan

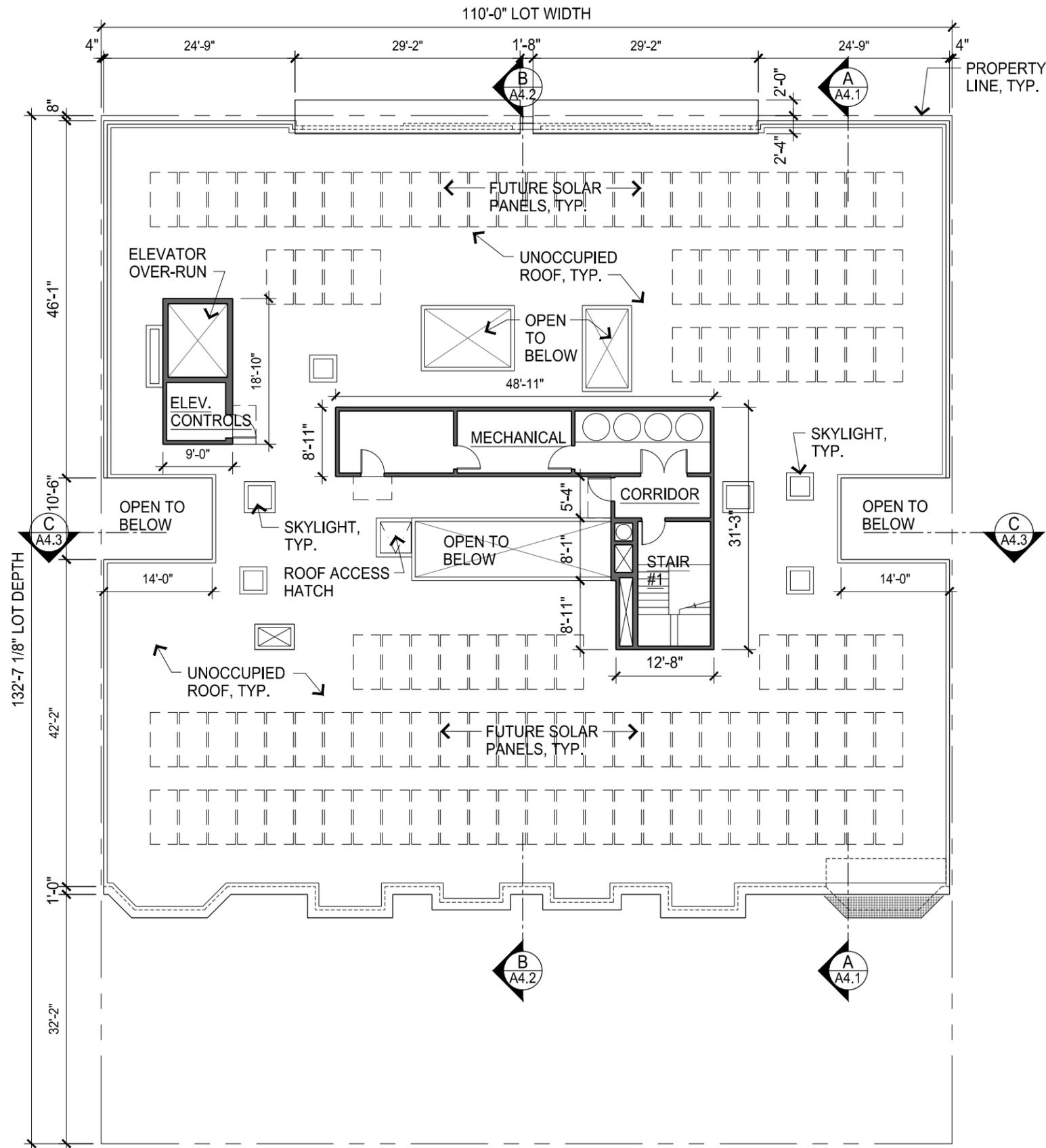
Scale: 1/16" = 1'-0"

**A2.7**

**PROPOSED FOURTH LEVEL FLOOR PLAN**

SCALE: 1/16" = 1'-0"





PROPOSED ROOF LEVEL FLOOR PLAN

SCALE: 1/16" = 1'-0"



**ROOF LEVEL**

GROSS FLOOR AREA PER PLANNING CODE DEFINITION:  
 ROOF PENTHOUSE CORRIDOR 77 SQ.FT.  
 TOTAL GROSS AREA 77 SQ.FT.

FLOOR AREA NOT INCLUDED IN CALCULATIONS:  
 STAIRS 163 SQ.FT.  
 BUILDING SERVICES 598 SQ.FT.

ROOFTOP PROJECTIONS:  
 PER SECTION 260.(b)(1), THE SUM OF THE HORIZONTAL AREAS OF ALL ROOFTOP PROJECTIONS SHALL NOT EXCEED 20% OF THE HORIZONTAL AREA OF THE ROOF ABOVE WHICH THEY ARE SITUATED.

TOTAL ROOF AREA 10,953 SQ.FT.  
 20% OF TOTAL ROOF AREA 2,190 SQ.FT.

ROOFTOP PROJECTIONS:  
 ELEVATOR PENTHOUSE 169 SQ.FT.  
 STAIR #1 PENTHOUSE 175 SQ.FT.  
 CORRIDOR 77 SQ.FT.  
 MECHANICAL PENTHOUSE 436 SQ.FT.  
 MECHANICAL SHAFTS 62 SQ.FT.  
 SKYLIGHTS 237 SQ.FT.  
 ROOF ACCESS HATCH 23 SQ.FT.  
 MECHANICAL EQUIPMENT --- SQ.FT.

TOTAL AREA OF ROOFTOP PROJECTIONS 1,179 SQ.FT.

1,179 SQ.FT. = 10.8% OF 10,953 SQ.FT. (TOTAL ROOF AREA) AND IS LESS THAN 2,190 SQ.FT. (20% OF TOTAL ROOF AREA)

SOLAR PANELS: 3,314 SQ.FT.

3,314 SQ.FT. = 30.3% OF 10,953 SQ.FT. (TOTAL ROOF AREA) AND IS MORE THAN 3,286 SQ.FT. (30% OF TOTAL ROOF AREA)

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Revision  
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Roof Level  
 Floor Plan

Scale: 1/16" = 1'-0"

**A2.8**



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Street

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September 24, 2018  
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Proposed  
Sacramento  
Street View  
Rendering

R1



SUBJECT PROPERTY

PROPOSED SACRAMENTO STREET VIEW

3637 SACRAMENTO STREET UPPER FLOOR FACADE DESIGN CONCEPTS

UPPER FLOOR LEVELS TWO THROUGH FOUR:

- FACADE DIVIDED VERTICALLY INTO 24' TO 25' MODULES
- VERTICAL CEMENT PLASTER AND BRICK PILASTERS DEFINE THREE MAJOR FACADE PLANES
- PROJECTING BALCONIES, WINDOW BANDS, METAL BAND SEPARATING GROUND FLOOR AND PARAPET DEFINES HORIZONTAL BUILDING PLANES

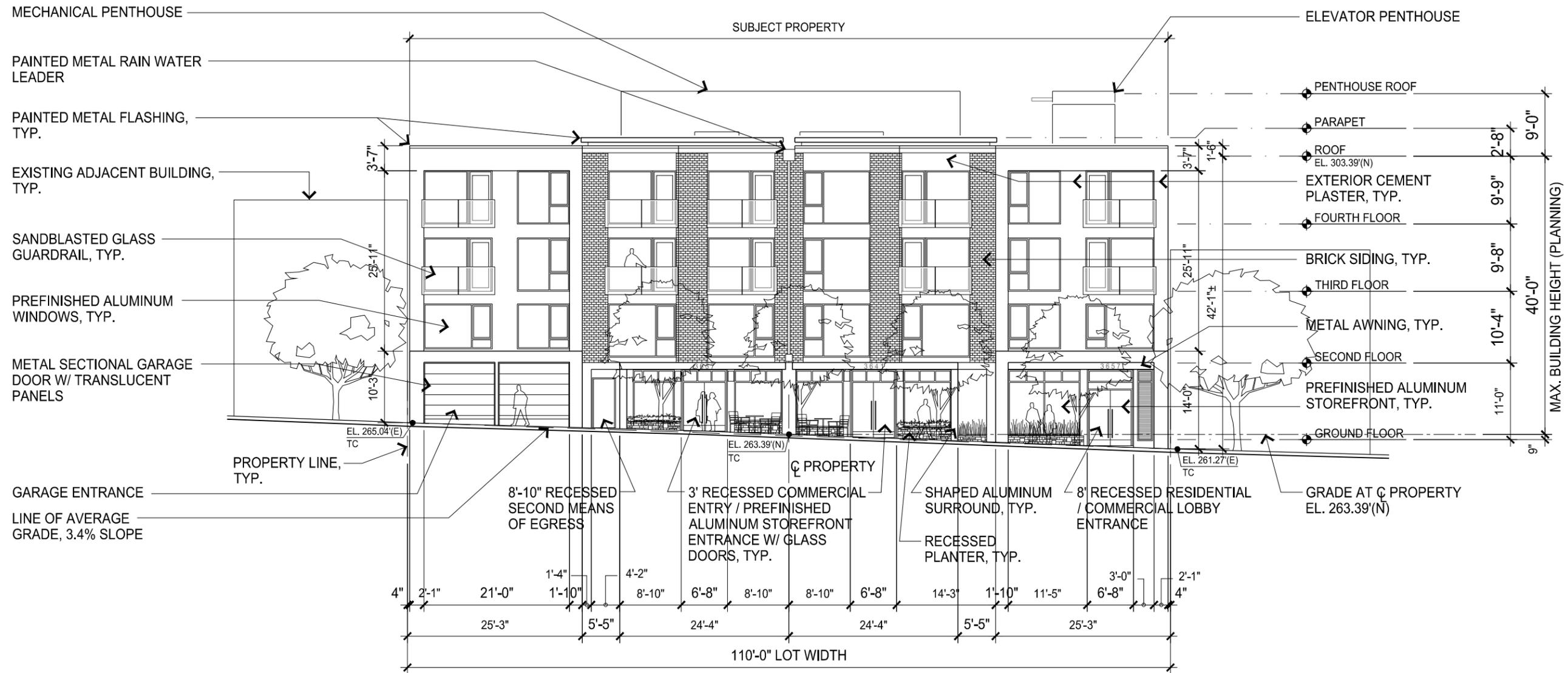
# 3637 Sacramento Street

Mixed-Use Condominium Project  
San Francisco • California

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San Francisco, CA 94103  
Tel 415/863-8881  
Fax 415/863-8879

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## PROPOSED NORTH ELEVATION (SACRAMENTO STREET)

SCALE: 1/16" = 1'-0"

Exterior  
Elevation

Scale: 1/16" = 1'-0"

A3.1



PROPOSED SACRAMENTO STREET COMMERCIAL STOREFRONT VIEW

3637 SACRAMENTO STREET GROUND FLOOR DESIGN CONCEPTS

COMMERCIAL STOREFRONTS AND RESIDENTIAL LOBBY ORIENTED FOR PEDESTRIAN SCALE:

- STOREFRONTS IN 24' TO 25' WIDE MODULES WITH SMALLER WINDOWS AND PLANTERS
- HORIZONTAL BAND SEPARATES GROUND FLOOR LEVEL COMMERCIAL FROM RESIDENTIAL FLOORS
- VERTICAL PILASTERS DIVIDE COMMERCIAL SPACES AND RESIDENTIAL LOBBY INTO SMALLER STOREFRONT MODULES

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Proposed  
Commercial  
Storefront  
View  
Rendering

R2

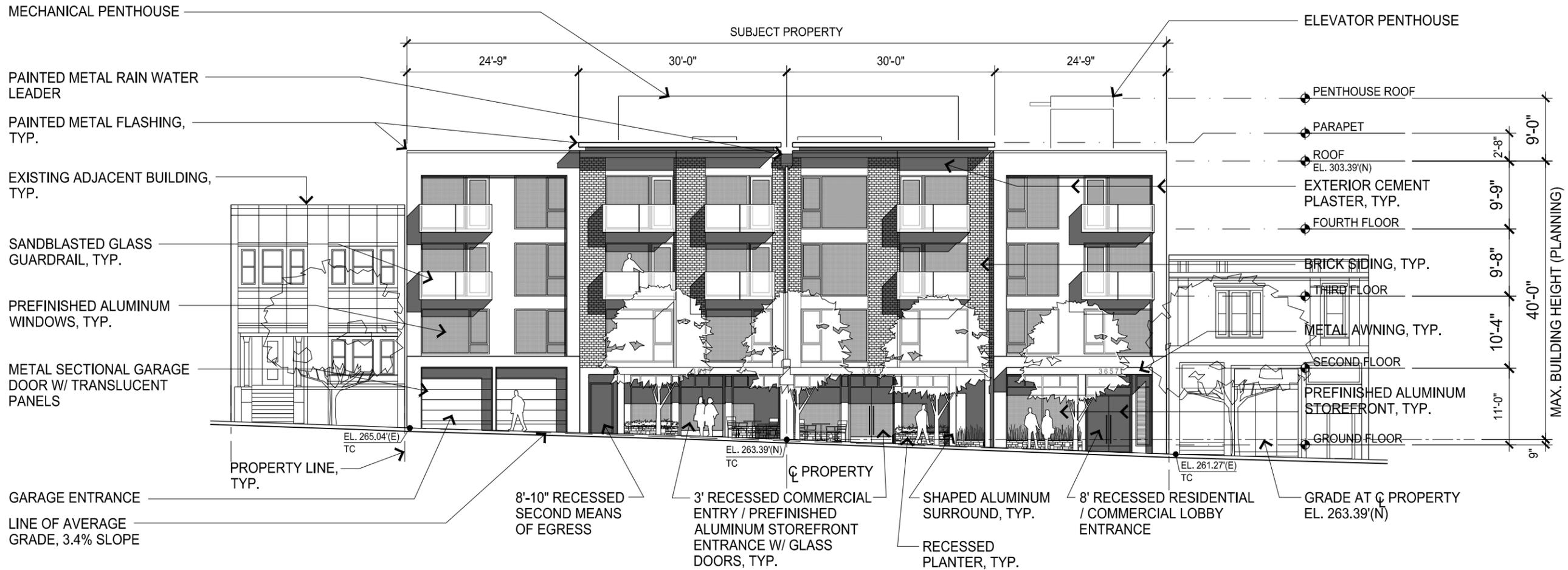
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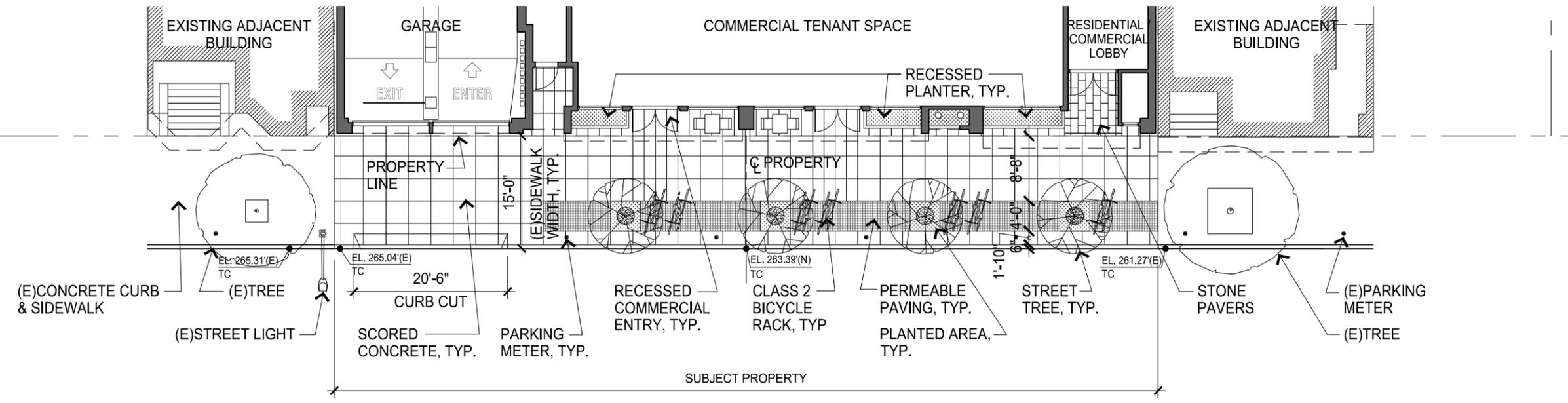
GARY GEE ARCHITECTS, INC.  
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## PROPOSED NORTH ELEVATION (SACRAMENTO STREET)

SCALE: 1/16" = 1'-0"



## PROPOSED GROUND LEVEL PLAN - SACRAMENTO STREET FRONTAGE

SCALE: 1/16" = 1'-0"



Elevation Study

Scale: 1/16" = 1'-0"

A3.1d

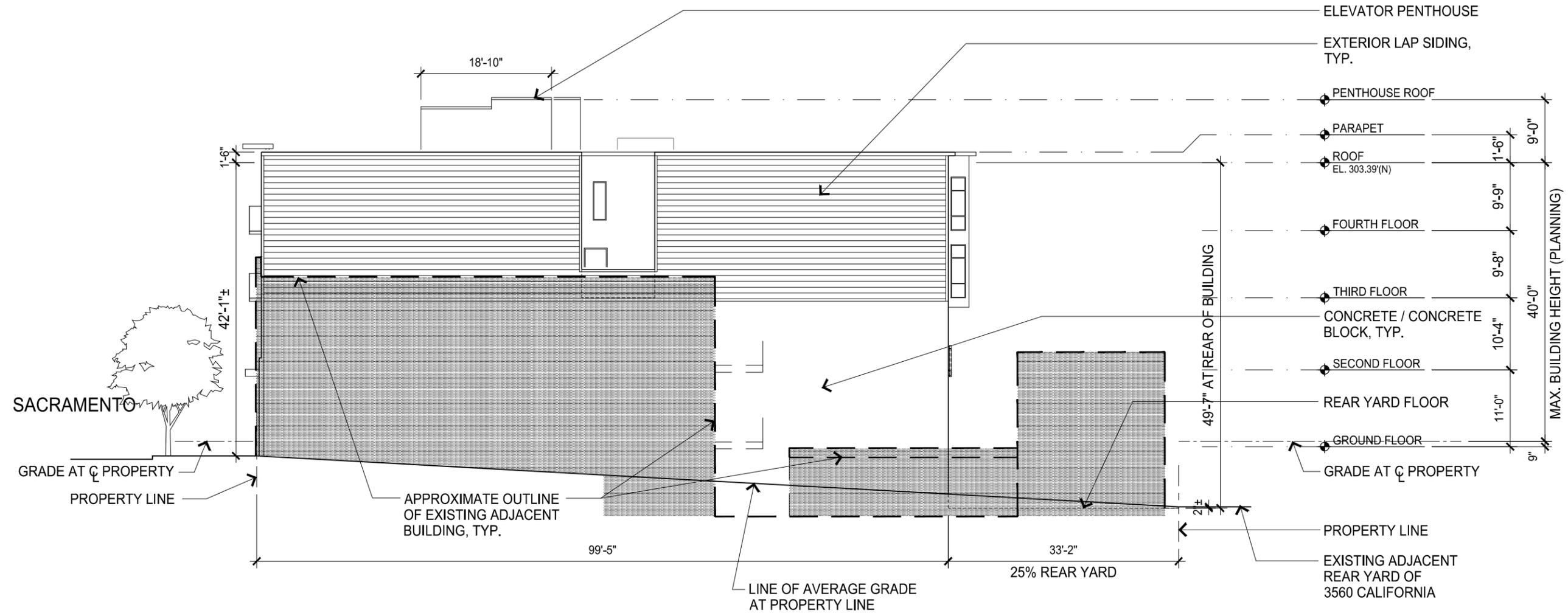
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## PROPOSED WEST ELEVATION

SCALE: 1/16" = 1'-0"

Exterior  
Elevation

Scale: 1/16" = 1'-0"

A3.2

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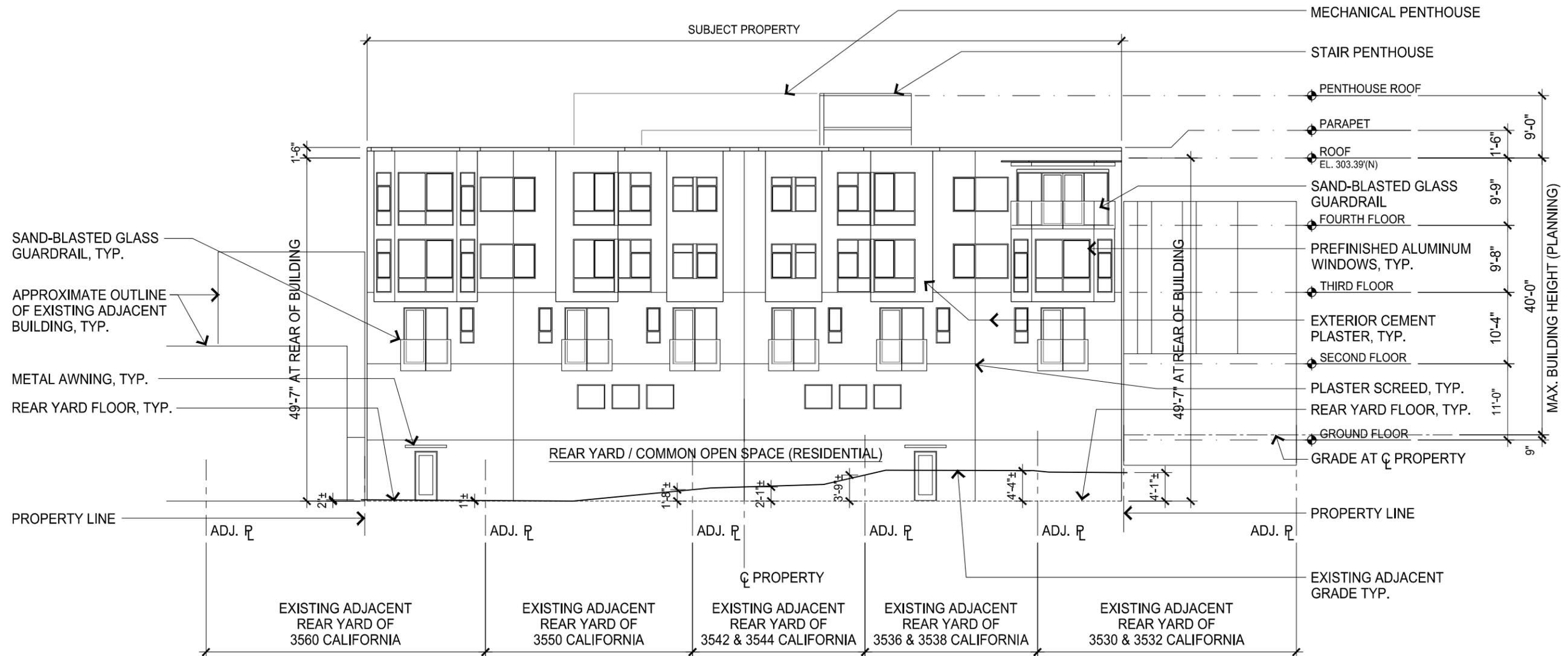
Revision  
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Revision  
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Revisions per Owner

Revision  
July 31, 2018  
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Revision  
September 24, 2018  
Additional Information  
Requested by Planning



NOTE:  
GLASS GUARDRAILS SHALL COMPLY WITH  
BIRD-SAFE GLAZING STANDARDS, TYP.

## PROPOSED SOUTH ELEVATION

SCALE: 1/16" = 1'-0"

Exterior  
Elevation

Scale: 1/16" = 1'-0"

A3.3

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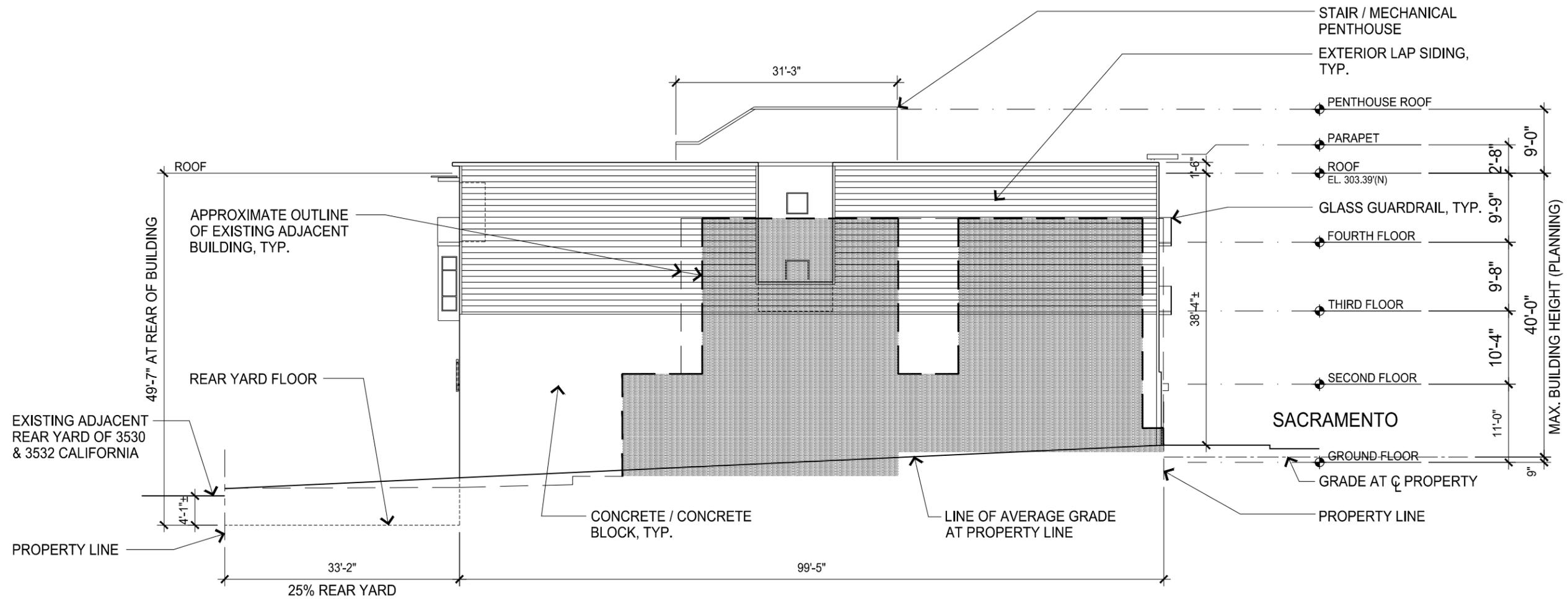
Revision  
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Revision  
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Additional Information  
Requested by Planning

Revision  
September 24, 2018  
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## PROPOSED EAST ELEVATION

SCALE: 1/16" = 1'-0"

Exterior  
Elevation

Scale: 1/16" = 1'-0"

A3.4

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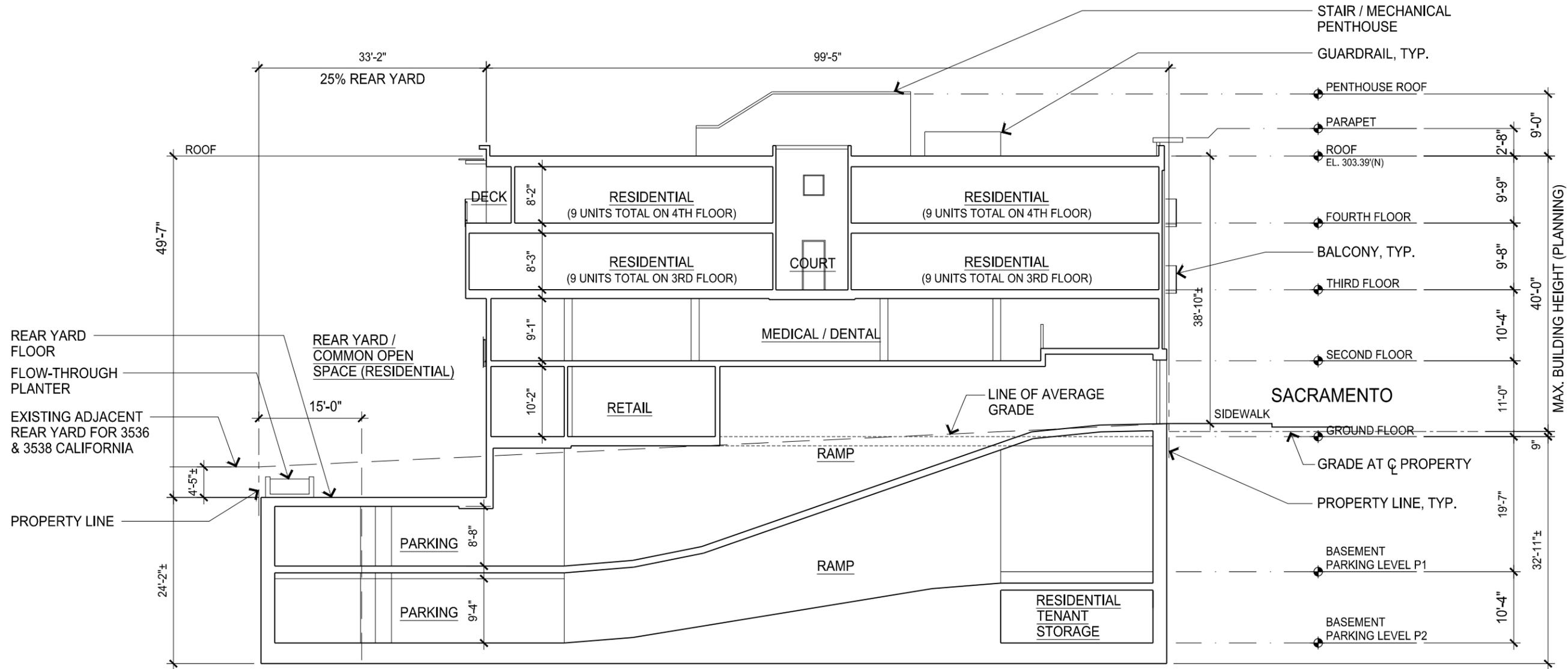
Revision  
November 21, 2017  
Additional Information  
Requested by Planning/EE

Revision  
July 12, 2018  
Revisions per Owner

Revision  
July 31, 2018  
Additional Information  
Requested by Planning

Revision  
September 24, 2018  
Additional Information  
Requested by Planning

Revision  
December 31, 2018  
Revisions per Planning  
Commission Approval



**PROPOSED BUILDING SECTION A - at AUTO RAMP**

SCALE: 1/16" = 1'-0"

**Building  
Section**

Scale: 1/16" = 1'-0"

**A4.1**



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Revision	December 31, 2018 Revisions per Planning Commission Approval



## PROPOSED BUILDING SECTION C - CROSS SECTION

SCALE: 1/16" = 1'-0"

Building  
Section

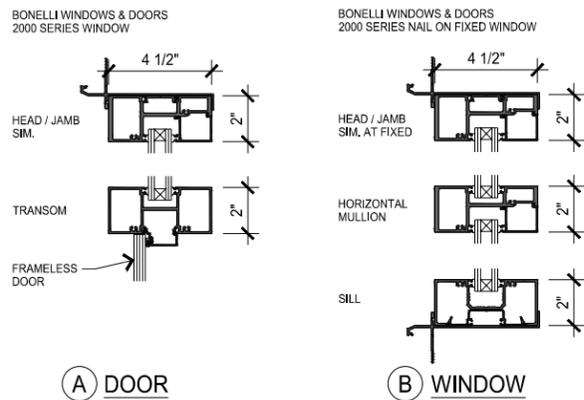
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A4.3

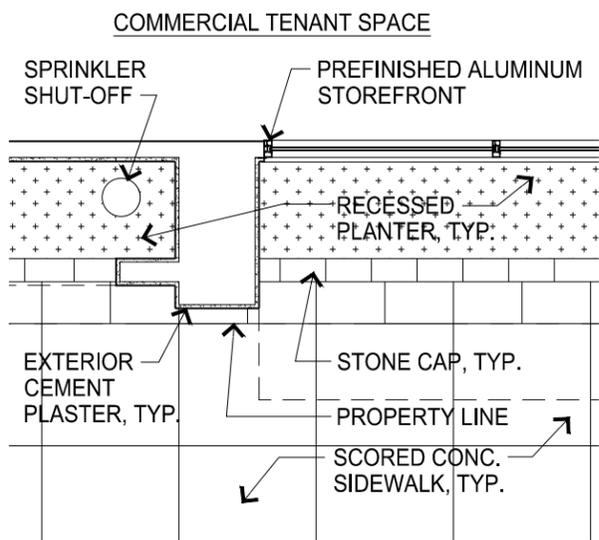


METAL SECTIONAL GARAGE DOOR WITH TRANSLUCENT PANELS, TYP.

**5 GARAGE DOOR CONCEPTUAL IMAGE** NO SCALE



**4 STOREFRONT PROFILES** NO SCALE

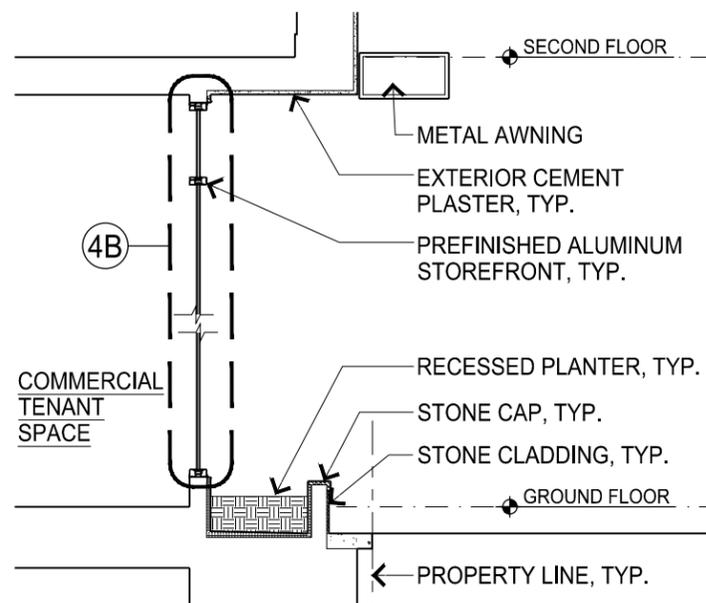


**3 STOREFRONT JAMB** SCALE: 1/4" = 1'-0"

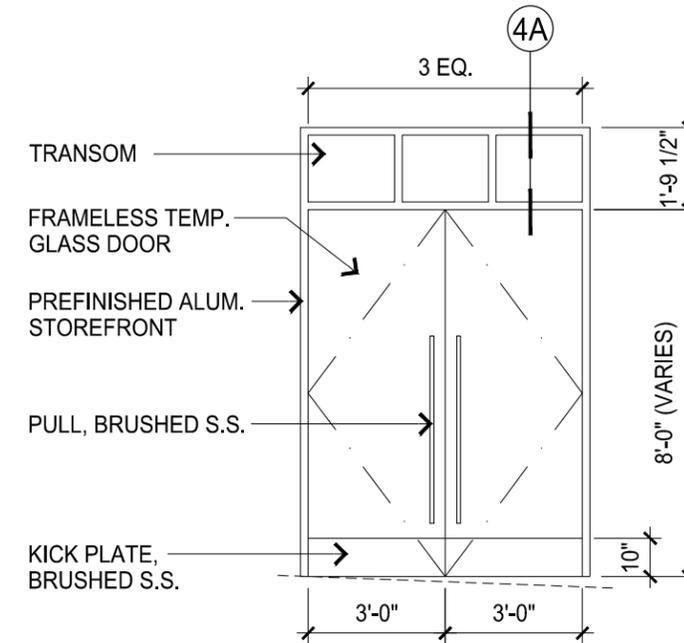


**KEY ELEVATION: SACRAMENTO STREET FACADE**

SCALE: 1/16" = 1'-0"



**2 STOREFRONT AT PLANTER** SCALE: 1/4" = 1'-0"



**1 ENTRY DOOR ELEVATION** SCALE: 1/4" = 1'-0"

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**Architectural Profiles**

Scale: As noted

**A9.1**

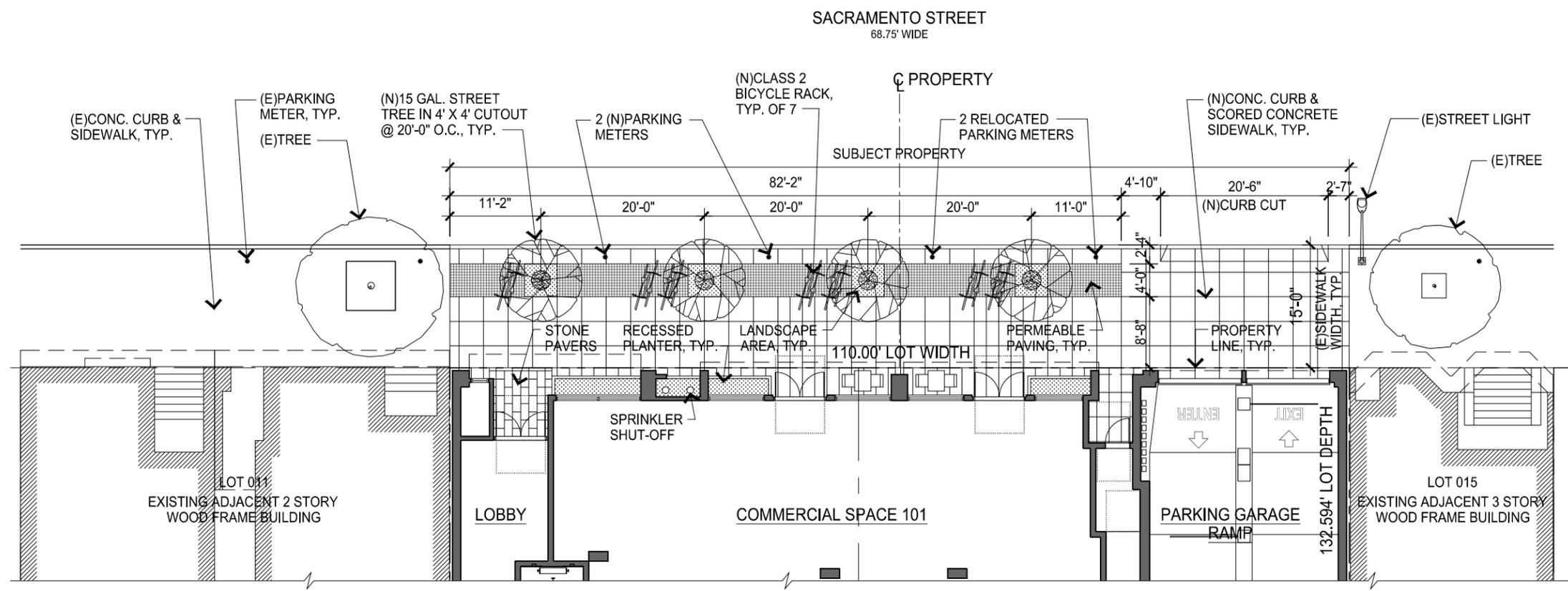
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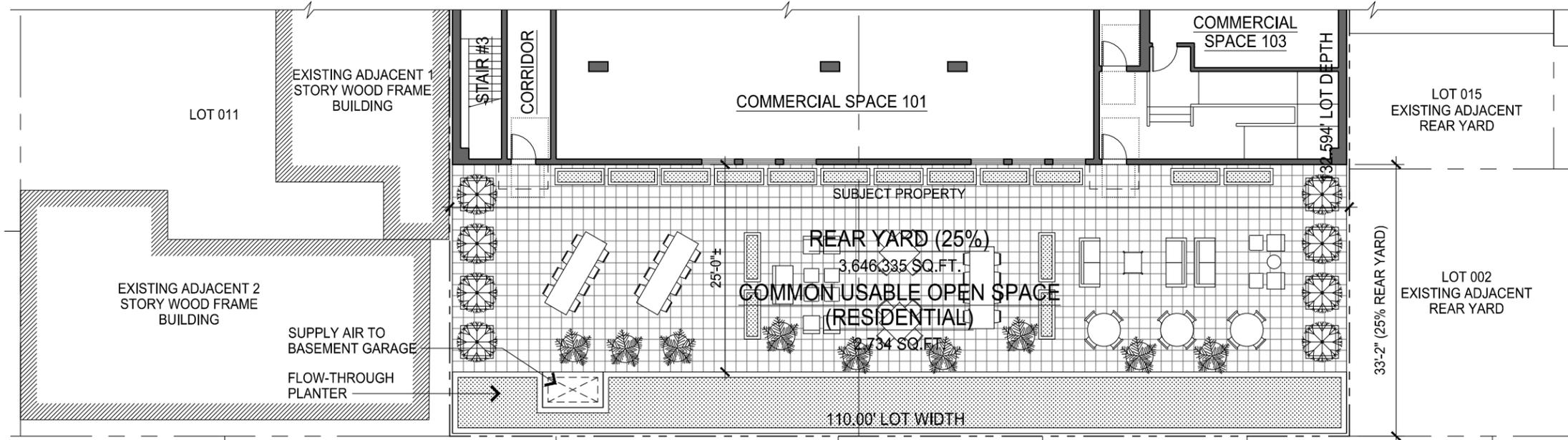
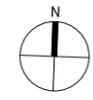
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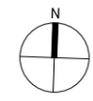
**PROPOSED GROUND LEVEL LANDSCAPE PLAN**

SCALE: 1/16" = 1'-0"



**PROPOSED REAR YARD / COMMON OPEN SPACE LANDSCAPE PLAN**

SCALE: 1/16" = 1'-0"



## Conceptual Landscape Plan

Scale: 1/16" = 1'-0"

**L0.1**

**ATTACHMENT B**

Planning Department  
City & County of San Francisco  
1650 Mission Street, Suite 400  
San Francisco, CA 94103

RE: 3637-3657 Sacramento Street - Proposed New Mixed Use Building  
San Francisco, CA

TO WHOM IT MAY CONCERN:

This letter is to express **support** for the proposed project at 3637-3657 Sacramento Street. I have reviewed the architectural drawings dated March 17, 2017 for the demolition of the two structures and construction of one new mixed-use building.

The addition of new ground floor retail/commercial space will enhance the pedestrian experience of Sacramento Street. The new construction will also bring in new housing and additional parking to this neighborhood.

Very truly yours,

Name: Rachel Cink

Rachel Cink      3/14/18  
Signature                      Date

Address: 3654 Sacramento St. SF, CA 94118

Email/Telephone: (415) 440-4480



Planning Department  
City & County of San Francisco  
1650 Mission Street, Suite 400  
San Francisco, CA 94103

RE: 3637-3657 Sacramento Street - Proposed New Mixed Use Building  
San Francisco, CA

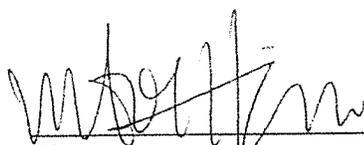
TO WHOM IT MAY CONCERN:

This letter is to express **support** for the proposed project at 3637-3657 Sacramento Street. I have reviewed the architectural drawings dated March 17, 2017 for the demolition of the two structures and construction of one new mixed-use building.

The addition of new ground floor retail/commercial space will enhance the pedestrian experience of Sacramento Street. The new construction will also bring in new housing and additional parking to this neighborhood.

Very truly yours,

Name: Victoria Hirano

  
Signature 4/16/2018  
Date

Address: 488 LOCUST APT 304 SAN FRANCISCO, CA 94118

Business name: \_\_\_\_\_

Email/Telephone: victoriahirano@gmail.com

Planning Department  
City & County of San Francisco  
1650 Mission Street, Suite 400  
San Francisco, CA 94103

RE: 3637-3657 Sacramento Street - Proposed New Mixed Use Building  
San Francisco, CA

TO WHOM IT MAY CONCERN:

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Very truly yours,

Name: Andrea C. Schwartz

  
Signature

4/5/18  
Date

Address: 488 LOCUST ST #302, SF, CA 94118

Business name: n/a

Email/Telephone: andrea.conti28@gmail.com

Planning Department  
City & County of San Francisco  
1650 Mission Street, Suite 400  
San Francisco, CA 94103

RE: 3637-3657 Sacramento Street - Proposed New Mixed Use Building  
San Francisco, CA

TO WHOM IT MAY CONCERN:

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The addition of new ground floor retail/commercial space will enhance the pedestrian experience of Sacramento Street. The new construction will also bring in new housing and additional parking to this neighborhood.

Very truly yours,

Name: Jenn Crippen

Jenn Crippen                      4/3/18  
Signature                              Date

Address: 3634 Sacramento St. SF CA 94118

Business name: Round Hill Pacific

Email/Telephone: (800) 275 3680

Planning Department  
City & County of San Francisco  
1650 Mission Street, Suite 400  
San Francisco, CA 94103

RE: 3637-3657 Sacramento Street - Proposed New Mixed Use Building  
San Francisco, CA

TO WHOM IT MAY CONCERN:

This letter is to express **support** for the proposed project at 3637-3657 Sacramento Street. I have reviewed the architectural drawings dated March 17, 2017 for the demolition of the two structures and construction of one new mixed-use building.

The addition of new ground floor retail/commercial space will enhance the pedestrian experience of Sacramento Street. The new construction will also bring in new housing and additional parking to this neighborhood.

Very truly yours,

Name: Catherine Sanders



Signature

4/3/18

Date

Address: 3634 Sacramento Street, San Francisco, CA 94118

Business name: Round Hill Pacific

Email/Telephone: 415 963 9804

Planning Department  
City & County of San Francisco  
1650 Mission Street, Suite 400  
San Francisco, CA 94103

RE: 3637-3657 Sacramento Street - Proposed New Mixed Use Building  
San Francisco, CA

TO WHOM IT MAY CONCERN:

This letter is to express **support** for the proposed project at 3637-3657 Sacramento Street. I have reviewed the architectural drawings dated March 17, 2017 for the demolition of the two structures and construction of one new mixed-use building.

The addition of new ground floor retail/commercial space will enhance the pedestrian experience of Sacramento Street. The new construction will also bring in new housing and additional parking to this neighborhood.

Very truly yours,

Name: Brad Bennett

Brad Bennett 4/3/18  
Signature Date

Address: 488 Locust Street, Unit 406

Business name: N/A

Email/Telephone: 61635@hotmail.com

Planning Department  
City & County of San Francisco  
1650 Mission Street, Suite 400  
San Francisco, CA 94103

RE: 3637-3657 Sacramento Street - Proposed New Mixed Use Building  
San Francisco, CA

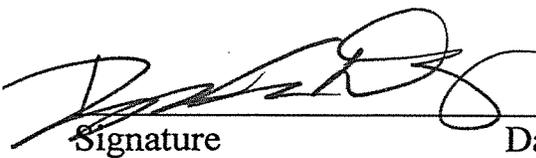
TO WHOM IT MAY CONCERN:

This letter is to express **support** for the proposed project at 3637-3657 Sacramento Street. I have reviewed the architectural drawings dated March 17, 2017 for the demolition of the two structures and construction of one new mixed-use building.

The addition of new ground floor retail/commercial space will enhance the pedestrian experience of Sacramento Street. The new construction will also bring in new housing and additional parking to this neighborhood.

Very truly yours,

Name: Barbara Devaney

 3/30/18  
Signature Date

Address: \_\_\_\_\_

**EXPLORE & EXPRESS**  
FAMILY COUNSELING  
3637 SACRAMENTO ST., SUITE 400  
SAN FRANCISCO, CA 94118

Business name: \_\_\_\_\_

Email/Telephone: 415. 267. 1831

barbara@exploreandexpress.com

Planning Department  
City & County of San Francisco  
1650 Mission Street, Suite 400  
San Francisco, CA 94103

RE: 3637-3657 Sacramento Street - Proposed New Mixed Use Building  
San Francisco, CA

TO WHOM IT MAY CONCERN:

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Very truly yours,

Name: Carol S. Winetsky, Ph.D.

Carol S. Winetsky, Ph.D. 3/26/18  
Signature Date

Address: 3637 Sacramento St, Ste H SF, Ca  
94118

Email/Telephone: 415 923-9170

Planning Department  
City & County of San Francisco  
1650 Mission Street, Suite 400  
San Francisco, CA 94103

RE: 3637-3657 Sacramento Street - Proposed New Mixed Use Building  
San Francisco, CA

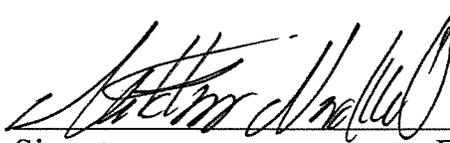
TO WHOM IT MAY CONCERN:

This letter is to express **support** for the proposed project at 3637-3657 Sacramento Street. I have reviewed the architectural drawings dated March 17, 2017 (with latest revisions dated November 21, 2017) for the demolition of the two structures and construction of one new mixed-use building.

The addition of new ground floor retail/commercial space will enhance the pedestrian experience of Sacramento Street. The new construction will also bring in new housing and additional parking to this neighborhood.

Very truly yours,

Name: NIKLAS NOROLUND

  
Signature 3/27/18  
Date

Address: 488 LOCUST ST, # 308

Business name: \_\_\_\_\_

Email/Telephone: 415-613-9533

Planning Department  
City & County of San Francisco  
1650 Mission Street, Suite 400  
San Francisco, CA 94103

RE: 3637-3657 Sacramento Street - Proposed New Mixed Use Building  
San Francisco, CA

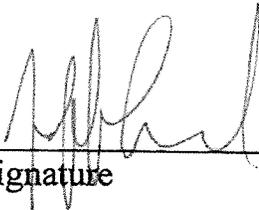
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Very truly yours,

Name: Jeff Leopold

  
Signature

3/24/18  
Date

Address: 3545-55 California St

Business name: STANDARD 5710 ACE

Email/Telephone: Jeff@marinace.com  
415-757-5767

Planning Department  
City & County of San Francisco  
1650 Mission Street, Suite 400  
San Francisco, CA 94103

RE: 3637-3657 Sacramento Street - Proposed New Mixed Use Building  
San Francisco, CA

TO WHOM IT MAY CONCERN:

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Very truly yours,

Name: Heather Mann

Heather Mann 3/23/18  
Signature Date

Address: 488 Locust St #305 SF CA 94118

Business name: N/A

Email/Telephone: heathermann2000@yahoo.com



Planning Department  
City & County of San Francisco  
1650 Mission Street, Suite 400  
San Francisco, CA 94103

RE: 3637-3657 Sacramento Street - Proposed New Mixed Use Building  
San Francisco, CA

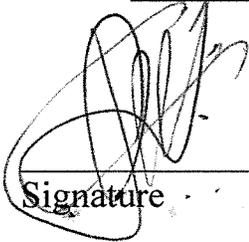
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Very truly yours,

Name: Alfredo Hernandez

  
Signature

3/20/18  
Date

Address: 3491 California Street

Business name: Gap Inc.

Email/Telephone: 415 386-7517

Planning Department  
City & County of San Francisco  
1650 Mission Street, Suite 400  
San Francisco, CA 94103

RE: 3637-3657 Sacramento Street - Proposed New Mixed Use Building  
San Francisco, CA

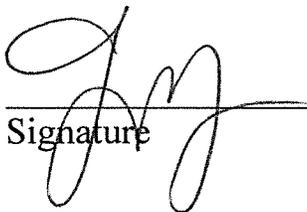
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Very truly yours,

Name: JESSICA REYES

  
Signature \_\_\_\_\_ Date 3/21/18

Address: 3491 CALIFORNIA ST.

Business name: GAP INC.

Email/Telephone: 415-386-7517



Planning Department  
City & County of San Francisco  
1650 Mission Street, Suite 400  
San Francisco, CA 94103

RE: 3637-3657 Sacramento Street - Proposed New Mixed Use Building  
San Francisco, CA

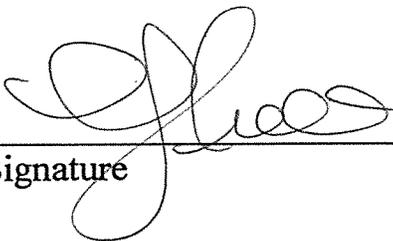
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Very truly yours,

Name: LEONARD Cianciodo DC

  
Signature \_\_\_\_\_ Date 3/21/18

Address: 3641 Sacramento St F SF CA 94118

Business name: LEONARD Cianciodo DC

Email/Telephone: 415 346-2445

Planning Department  
City & County of San Francisco  
1650 Mission Street, Suite 400  
San Francisco, CA 94103

RE: 3637-3657 Sacramento Street - Proposed New Mixed Use Building  
San Francisco, CA

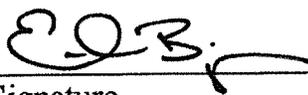
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Very truly yours,

Name: ERIK BJORN

 3/15/2018  
Signature Date

Address: 3634 SACRAMENTO ST.

Business name: ROUND HILL PACIFIC

Email/Telephone: (415) 922-5700

Planning Department  
City & County of San Francisco  
1650 Mission Street, Suite 400  
San Francisco, CA 94103

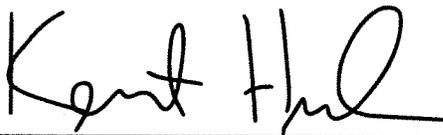
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Very truly yours,  
Kent Hudson



\_\_\_\_\_  
Signature

3/15/18  
Date

Address: 488 Locust Street, #307, San Francisco, CA 94118

Email/Telephone: [kent@onethree.org](mailto:kent@onethree.org) / (512) 517-1954

Planning Department  
City & County of San Francisco  
1650 Mission Street, Suite 400  
San Francisco, CA 94103

To Whom It May Concern,

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Sincerely,

Jade Zapata  
Printed Name

  
Signature

03/15/2018  
Date

Address: 3609 Sacramento St, San Francisco, CA 94118

Business name: Psychiatric Alternatives

Email/Telephone: admin@psychiatricalternatives.com; 415-237-0377

Planning Department  
City & County of San Francisco  
1650 Mission Street, Suite 400  
San Francisco, CA 94103

To Whom It May Concern,

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Sincerely,

Nishi Bhopal  
Printed Name

Nishi Bhopal  
Signature

03/15/2018  
Date

Address: 3609 Sacramento St, San Francisco, CA 94118

Business name: Psychiatric Alternatives

Email/Telephone: admin@psychiatricalternatives.com; 415-237-0377

Planning Department  
City & County of San Francisco  
1650 Mission Street, Suite 400  
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Sincerely,

Maria Carretero  
Printed Name

Maria Carretero  
Signature

03/15/2018  
Date

Address: 3609 Sacramento St, San Francisco, CA 94118

Business name: Psychiatric Alternatives

Email/Telephone: admin@psychiatricalternatives.com; 415-237-0377

Planning Department  
City & County of San Francisco  
1650 Mission Street, Suite 400  
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Sincerely,

Alicia Bulin  
Printed Name

Alicia Bulin  
Signature

03/15/2018  
Date

Address: 3609 Sacramento St, San Francisco, CA 94118

Business name: Psychiatric Alternatives

Email/Telephone: admin@psychiatricalternatives.com; 415-237-0377

Planning Department  
City & County of San Francisco  
1650 Mission Street, Suite 400  
San Francisco, CA 94103

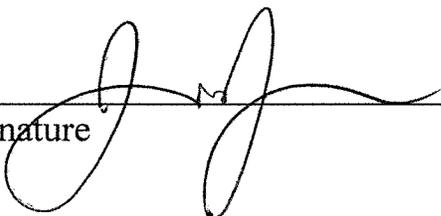
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Sincerely,

Jillian Janisen  
Printed Name

  
Signature

03/15/2018  
Date

Address: 3609 Sacramento St, San Francisco, CA 94118

Business name: Psychiatric Alternatives

Email/Telephone: admin@psychiatricalternatives.com; 415-237-0377

Planning Department  
City & County of San Francisco  
1650 Mission Street, Suite 400  
San Francisco, CA 94103

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Sincerely,

Laura Sturtevant  
Printed Name

  
Signature

03/15/2018  
Date

Address: 3609 Sacramento St, San Francisco, CA 94118

Business name: Psychiatric Alternatives

Email/Telephone: admin@psychiatricalternatives.com; 415-237-0377

Planning Department  
City & County of San Francisco  
1650 Mission Street, Suite 400  
San Francisco, CA 94103

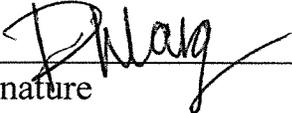
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Sincerely,

Diana Wang  
Printed Name

  
Signature

03/15/2018  
Date

Address: 3609 Sacramento St, San Francisco, CA 94118

Business name: Psychiatric Alternatives

Email/Telephone: admin@psychiatricalternatives.com; 415-237-0377

Planning Department  
City & County of San Francisco  
1650 Mission Street, Suite 400  
San Francisco, CA 94103

To Whom It May Concern,

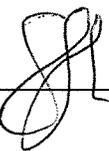
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Sincerely,

Sharon Grossman

Printed Name



Signature

03/15/2018

Date

Address: 3676 Sacramento St, San Francisco, CA 94118

Business name: Psychiatric Alternatives

Email/Telephone: admin@psychiatricalternatives.com; 415-237-0377

Planning Department  
City & County of San Francisco  
1650 Mission Street, Suite 400  
San Francisco, CA 94103

To Whom It May Concern,

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Sincerely,

Laura Feren  
Printed Name

  
Signature

03/15/2018  
Date

Address: 3676 Sacramento St, San Francisco, CA 94118

Business name: Psychiatric Alternatives

Email/Telephone: admin@psychiatricalternatives.com; 415-237-0377

Planning Department  
City & County of San Francisco  
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Sincerely,

Brenda McKinley  
Printed Name

B McKinley  
Signature

03/15/2018  
Date

Address: 3676 Sacramento St, San Francisco, CA 94118

Business name: Psychiatric Alternatives

Email/Telephone: admin@psychiatricalternatives.com; 415-237-0377

Planning Department  
City & County of San Francisco  
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Sincerely,

Anmarie Hegarty  
Printed Name

Anmarie Hegarty  
Signature

03/15/2018  
Date

Address: 3676 Sacramento St, San Francisco, CA 94118

Business name: Psychiatric Alternatives

Email/Telephone: admin@psychiatricalternatives.com; 415-237-0377

Planning Department  
City & County of San Francisco  
1650 Mission Street, Suite 400  
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Sincerely,

Brian King  
Printed Name

BP  
Signature

03/15/2018  
Date

Address: 3676 Sacramento St, San Francisco, CA 94118

Business name: Psychiatric Alternatives

Email/Telephone: admin@psychiatricalternatives.com; 415-237-0377

Planning Department  
City & County of San Francisco  
1650 Mission Street, Suite 400  
San Francisco, CA 94103

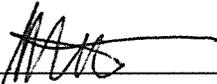
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Sincerely,

Maria Jose Perry  
Printed Name

  
Signature

03/15/2018  
Date

Address: 3676 Sacramento St, San Francisco, CA 94118

Business name: Psychiatric Alternatives

Email/Telephone: admin@psychiatricalternatives.com; 415-237-0377

Planning Department  
City & County of San Francisco  
1650 Mission Street, Suite 400  
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Sincerely,

Stephanie Lim  
Printed Name

Stephanie Lim  
Signature

03/15/2018  
Date

Address: 3676 Sacramento St, San Francisco, CA 94118

Business name: Psychiatric Alternatives

Email/Telephone: admin@psychiatricalternatives.com; 415-237-0377

Planning Department  
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1650 Mission Street, Suite 400  
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Sincerely,

Mollie Lyddane  
Printed Name

Mollie Lyddane  
Signature

03/15/2018  
Date

Address: 3676 Sacramento St, San Francisco, CA 94118

Business name: Psychiatric Alternatives

Email/Telephone: admin@psychiatricalternatives.com; 415-237-0377

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1650 Mission Street, Suite 400  
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Sincerely,

John Beahan

Printed Name



Signature

03/15/2018

Date

Address: 3675 Sacramento St, San Francisco, CA 94118

Business name: Psychiatric Alternatives

Email/Telephone: admin@psychiatricalternatives.com; 415-237-0377

Planning Department  
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1650 Mission Street, Suite 400  
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Sincerely,

Casey Willis  
Printed Name

Casey Willis  
Signature

03/15/2018  
Date

Address: 3675 Sacramento St, San Francisco, CA 94118

Business name: Psychiatric Alternatives

Email/Telephone: admin@psychiatricalternatives.com; 415-237-0377

Planning Department  
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Sincerely,

Katherine Ehinger  
Printed Name

  
Signature

03/15/2018  
Date

Address: 3675 Sacramento St, San Francisco, CA 94118

Business name: Psychiatric Alternatives

Email/Telephone: admin@psychiatricalternatives.com; 415-237-0377

Planning Department  
City & County of San Francisco  
1650 Mission Street, Suite 400  
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Sincerely,

Triona Cayle  
Printed Name

T Cayle  
Signature

03/15/2018  
Date

Address: 3641 Sacramento St, suite J, San Francisco, CA 94118

Business name: Psychiatric Alternatives

Email/Telephone: admin@psychiatricalternatives.com; 415-237-0377

Planning Department  
City & County of San Francisco  
1650 Mission Street, Suite 400  
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Sincerely,

Igor Weisz  
Printed Name

Igor Weisz  
Signature

03/15/2018  
Date

Address: 3641 Sacramento St, suite J, San Francisco, CA 94118

Business name: Psychiatric Alternatives

Email/Telephone: admin@psychiatricalternatives.com; 415-237-0377

Planning Department  
City & County of San Francisco  
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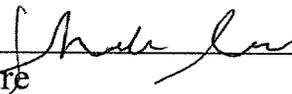
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The addition of a new ground floor retail/commercial space will enhance the pedestrian experience of Sacramento Street. The new construction will also bring in new housing and additional parking to this neighborhood. This helps my business and my own experience of working on this block.

Sincerely,

Shelia Lastie  
Printed Name

  
Signature

03/15/2018  
Date

Address: 3641 Sacramento St, suite J, San Francisco, CA 94118

Business name: Psychiatric Alternatives

Email/Telephone: admin@psychiatricalternatives.com; 415-237-0377

Planning Department  
City & County of San Francisco  
1650 Mission Street, Suite 400  
San Francisco, CA 94103

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Sincerely,

Suzanne Adams  
Printed Name

  
Signature

03/15/2018  
Date

Address: 3641 Sacramento St, suite J, San Francisco, CA 94118

Business name: Psychiatric Alternatives

Email/Telephone: admin@psychiatricalternatives.com; 415-237-0377

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Sincerely,

Rachel Gotch-Strain  
Printed Name

Rachel Gotch-Strain  
Signature

03/15/2018  
Date

Address: 3641 Sacramento St, suite J, San Francisco, CA 94118

Business name: Psychiatric Alternatives

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Sincerely,

John Schick

Printed Name

John Schick

Signature

03/15/2018

Date

Address: 3611 Sacramento St, San Francisco, CA 94118

Business name: Psychiatric Alternatives

Email/Telephone: admin@psychiatricalternatives.com; 415-237-0377

Planning Department  
City & County of San Francisco  
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Sincerely,

Alan Su  
Printed Name

Alan Su  
Signature

03/15/2018  
Date

Address: 3611 Sacramento St, San Francisco, CA 94118

Business name: Psychiatric Alternatives

Email/Telephone: admin@psychiatricalternatives.com; 415-237-0377

Planning Department  
City & County of San Francisco  
1650 Mission Street, Suite 400  
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Sincerely,

Stanley Terman  
Printed Name

  
Signature

03/15/2018  
Date

Address: 3611 Sacramento St, San Francisco, CA 94118

Business name: Psychiatric Alternatives

Email/Telephone: admin@psychiatricalternatives.com; 415-237-0377

Planning Department  
City & County of San Francisco  
1650 Mission Street, Suite 400  
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Sincerely,

Sharon Lee  
Printed Name

  
Signature

03/15/2018  
Date

Address: 3611 Sacramento St, San Francisco, CA 94118

Business name: Psychiatric Alternatives

Email/Telephone: admin@psychiatricalternatives.com; 415-237-0377

Planning Department  
City & County of San Francisco  
1650 Mission Street, Suite 400  
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Sincerely,

Sabiru Baltasishrence  
Printed Name

  
Signature

03/15/2018  
Date

Address: 3611 Sacramento St, San Francisco, CA 94118

Business name: Psychiatric Alternatives

Email/Telephone: admin@psychiatricalternatives.com; 415-237-0377

Planning Department  
City & County of San Francisco  
1650 Mission Street, Suite 400  
San Francisco, CA 94103

RE: 3637-3657 Sacramento Street - Proposed New Mixed Use Building  
San Francisco, CA

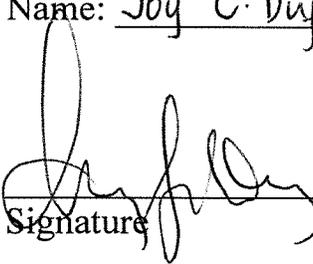
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Very truly yours,

Name: Joy C. Duffy

  
Signature \_\_\_\_\_ Date 3.15.2018

Address: ~~3000~~ 3535 California Street, San Francisco

Business name: Peninsula Beauty

Email/Telephone: ~~(415)~~ (415) 876-0322

Planning Department  
City & County of San Francisco  
1650 Mission Street, Suite 400  
San Francisco, CA 94103

RE: 3637-3657 Sacramento Street - Proposed New Mixed Use Building  
San Francisco, CA

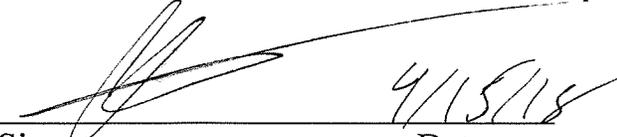
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Very truly yours,

Name: Charles Watts

  
Signature Date

Address: 488 Locust Street CA 94118

Business name: \_\_\_\_\_

Email/Telephone: chwatts11@gmail.com

Planning Department  
City & County of San Francisco  
1650 Mission Street, Suite 400  
San Francisco, CA 94103

RE: 3637-3657 Sacramento Street - Proposed New Mixed Use Building  
San Francisco, CA

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Very truly yours,

Name: SEAN GALLAGHER

Sean Gallagher      4-12-18  
Signature                      Date

Address: 488 LOCUST ST APT 306, SF, CA 94118

Business name: \_\_\_\_\_

Email/Telephone: GALLAGHERSRYAN@GMAIL.COM

Planning Department  
City & County of San Francisco  
1650 Mission Street, Suite 400  
San Francisco, CA 94103

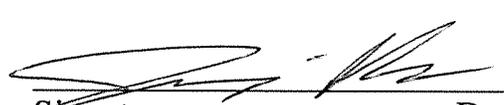
RE: 3637-3657 Sacramento Street - Proposed New Mixed Use Building  
San Francisco, CA

TO WHOM IT MAY CONCERN:

This letter is to express **"No Opposition"** for the proposed project at 3637-3657 Sacramento Street. I have reviewed the architectural drawings dated March 17, 2017 for the demolition of the two structures and construction of one new mixed-use building.

Very truly yours,

Name: Jimmy Phan

 4/13/18  
Signature Date

3701 SACRAMENTO ST.  
SAN FRANCISCO, CA 94118

Address: \_\_\_\_\_

Business name: LPH Shipping and Business Services

Email/Telephone: (415) 221-9817

Planning Department  
City & County of San Francisco  
1650 Mission Street, Suite 400  
San Francisco, CA 94103

RE: 3637-3657 Sacramento Street - Proposed New Mixed Use Building  
San Francisco, CA

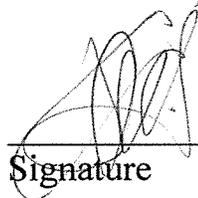
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Very truly yours,

Name: Alfredo Hernandez

  
Signature

3/15/2018  
Date

Address: 3491 California St. S.F. CA 94118

Business name: GLP Inc.

Email/Telephone: (415) 386-7517

Planning Department  
City & County of San Francisco  
1650 Mission Street, Suite 400  
San Francisco, CA 94103

RE: 3637-3657 Sacramento Street - Proposed New Mixed Use Building  
San Francisco, CA

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Very truly yours,

Name: Laura Richard

Laura Richard      3-15-18  
Signature                      Date

Address: 3535 California St.

Business name: Peninsula Beauty

Email/Telephone: 415-876-0322

Planning Department  
City & County of San Francisco  
1650 Mission Street, Suite 400  
San Francisco, CA 94103

RE: 3637-3657 Sacramento Street - Proposed New Mixed Use Building  
San Francisco, CA

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Very truly yours,

Name: Cynthia Bahmani

Cynthia J. Bahmani 3/14/18  
Signature Date

Address: 3556 Sacramento St.

Business name: Synergy

Email/Telephone: 415 519.5926

Planning Department  
City & County of San Francisco  
1650 Mission Street, Suite 400  
San Francisco, CA 94103

RE: 3637-3657 Sacramento Street - Proposed New Mixed Use Building  
San Francisco, CA

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Very truly yours,

Name: Swati Reichmuth

Swati P Reichmuth 3/21/2018  
Signature Date

Address: 488 Locust St. #407 S.F. CA 94118

Email/Telephone: swatipunatar@hotmail.com



Planning Department  
City & County of San Francisco  
1650 Mission Street, Suite 400  
San Francisco, CA 94103

RE: 3637-3657 Sacramento Street - Proposed New Mixed Use Building  
San Francisco, CA

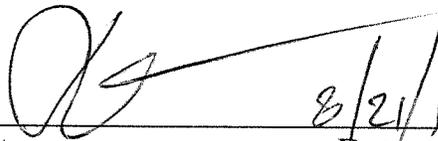
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Very truly yours,

Name: P. GUETTIER

  
Signature 8/21/17  
Date

Address: 365A SACRAMENTO ST. S.F.

Email/Telephone: \_\_\_\_\_

Planning Department  
City & County of San Francisco  
1650 Mission Street, Suite 400  
San Francisco, CA 94103

RE: 3637-3657 Sacramento Street - Proposed New Mixed Use Building  
San Francisco, CA

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Very truly yours,

Name: Akira Kurihara

 3/7/18  
Signature Date

Address: 3654 Sacramento St., SF 94118

Email/Telephone: akira@skurman.com



Planning Department  
City & County of San Francisco  
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San Francisco, CA 94103

RE: 3637-3657 Sacramento Street - Proposed New Mixed Use Building  
San Francisco, CA

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Very truly yours,

Name: Jovany Romero

 8/21/17  
Signature Date

Address: 3533 California St SF, CA 94118

Email/Telephone: jovanyromero22@gmail.com (209)648-0630



Planning Department  
City & County of San Francisco  
1650 Mission Street, Suite 400  
San Francisco, CA 94103

RE: 3637-3657 Sacramento Street - Proposed New Mixed Use Building  
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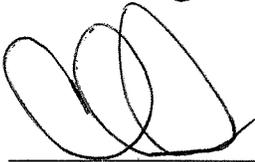
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Very truly yours,

Name: Clifton Tam



Signature

8/21/17

Date

Address: 671 38th Ave, SF CA 94121

Email/Telephone: Cliftontam@sbcglobal.net

Planning Department  
City & County of San Francisco  
1650 Mission Street, Suite 400  
San Francisco, CA 94103

RE: 3637-3657 Sacramento Street - Proposed New Mixed Use Building  
San Francisco, CA

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Very truly yours,

Name: Jovany Romero

  
Signature

03/02/2018  
Date

Address: 3533 California St SF, CA 94118

Email/Telephone: jovanyromero22@gmail.com / 209-648-0630

Planning Department  
City & County of San Francisco  
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San Francisco, CA 94103

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Very truly yours,

Name: C. NICHOLAS SIMPSON

  
Signature \_\_\_\_\_ Date \_\_\_\_\_

Address: 3533 CALIFORNIA ST SF CA 94118

Email/Telephone: 650 333 7830

Planning Department  
City & County of San Francisco  
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San Francisco, CA 94103

RE: 3637-3657 Sacramento Street - Proposed New Mixed Use Building  
San Francisco, CA

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Very truly yours,

Name: Natalie DeLeon

Natalie DeLeon 8/21/17  
Signature Date

Address: ~~237 E 24th~~ 3468 California St. SF CA

Email/Telephone: natmdeleon89@yahoo.com

Planning Department  
City & County of San Francisco  
1650 Mission Street, Suite 400  
San Francisco, CA 94103

RE: 3637-3657 Sacramento Street - Proposed New Mixed Use Building  
San Francisco, CA

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Very truly yours,

Name:

Robert M. Donatello, Inc

Signature

Date

Address:

3468 CALIFORNIA ST, SF CA

Email/Telephone:

rmdonatello@gmail.com

Planning Department  
City & County of San Francisco  
1650 Mission Street, Suite 400  
San Francisco, CA 94103

RE: 3637-3657 Sacramento Street - Proposed New Mixed Use Building  
San Francisco, CA

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Very truly yours,

Name: Parika Rand

Parika Rand      8/21/17.  
Signature                      Date

Address: 3408 California Street. SF 94118.

Email/Telephone: rand@utterhealth.org.

Planning Department  
City & County of San Francisco  
1650 Mission Street, Suite 400  
San Francisco, CA 94103

RE: 3637-3657 Sacramento Street - Proposed New Mixed Use Building  
San Francisco, CA

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Very truly yours,

Name: Jennifer Exley

Jennifer Exley      8 March 2018  
Signature                      Date

Address: 3408 California St, SF, CA

Email/Telephone: 415.345.0100





Planning Department  
City & County of San Francisco  
1650 Mission Street, Suite 400  
San Francisco, CA 94103

RE: 3637-3657 Sacramento Street - Proposed New Mixed Use Building  
San Francisco, CA

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Very truly yours,

Name: Celyste Malton

Celyste Malton 3/9/18  
Signature Date

Address: 3468 California St SF CA

Email/Telephone: 415.345.0100



Planning Department  
City & County of San Francisco  
1650 Mission Street, Suite 400  
San Francisco, CA 94103

RE: 3637-3657 Sacramento Street - Proposed New Mixed Use Building  
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Very truly yours,

Name: Jamie Gane

JG      3/9/18  
Signature      Date

Address: 3468 California St.

Email/Telephone: cgjames@calhood.com

Planning Department  
City & County of San Francisco  
1650 Mission Street, Suite 400  
San Francisco, CA 94103

RE: 3637-3657 Sacramento Street - Proposed New Mixed Use Building  
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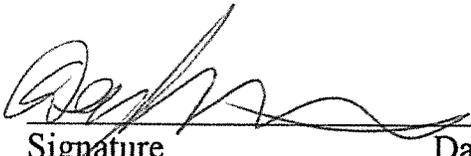
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Very truly yours,

Name: DOUGLAS MATHIEUX

  
Signature 3/13/18  
Date

Address: 3465 CALIFORNIA ST, S.F. CA 94118

Business name: RIGOLD CAFE

Email/Telephone: DOUG@RIGOLDCAFE.COM  
415-595-0803

Planning Department  
City & County of San Francisco  
1650 Mission Street, Suite 400  
San Francisco, CA 94103

RE: 3637-3657 Sacramento Street - Proposed New Mixed Use Building  
San Francisco, CA

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Very truly yours,

Name: Najib El Ferrouj

 3/13/18  
Signature Date

Address: 3415 California St, San Francisco CA 94118

Business name: Artesano

Email/Telephone: elnaj92@yahoo.com  
415-992-2730

Planning Department  
City & County of San Francisco  
1650 Mission Street, Suite 400  
San Francisco, CA 94103

RE: 3637-3657 Sacramento Street - Proposed New Mixed Use Building  
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Very truly yours,

Name: STEPHEN C. PARADYS M.D.

 2/28/18  
Signature Date

Address: 3641 Sacramento Street, Suite E, San Francisco, CA 94118

Email/Telephone: SPARDYSMD@GMAIL.COM

Planning Department  
City & County of San Francisco  
1650 Mission Street, Suite 400  
San Francisco, CA 94103

RE: 3637-3657 Sacramento Street - Proposed New Mixed Use Building  
San Francisco, CA

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Very truly yours,

Name: Hope Selinger

Hope Selinger      8/23/17  
Signature                      Date

Address: 3529 Sacramento Street

Email/Telephone: (415) 923-0143

Planning Department  
City & County of San Francisco  
1650 Mission Street, Suite 400  
San Francisco, CA 94103

RE: 3637-3657 Sacramento Street - Proposed New Mixed Use Building  
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Very truly yours,

Name: Bonnie Waters

Bonnie Waters      8/23/17  
Signature                                  Date

Address: 3490 California St Ste 201 SF, CA 94118

Email/Telephone: BA 415-440-2972



Planning Department  
City & County of San Francisco  
1650 Mission Street, Suite 400  
San Francisco, CA 94103

RE: 3637-3657 Sacramento Street - Proposed New Mixed Use Building  
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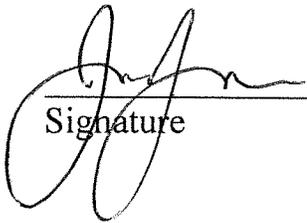
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The addition of new ground floor retail/commercial space will enhance the pedestrian experience of Sacramento Street. The new construction will also bring in new housing and additional parking to this neighborhood.

Very truly yours,

Name: Jillian Janisen

  
Signature

8/21/2017  
Date

Address: 3609 Sacramento St, San Francisco, CA 94118

Email/Telephone: 415-410-3393

Planning Department  
City & County of San Francisco  
1650 Mission Street, Suite 400  
San Francisco, CA 94103

RE: 3637-3657 Sacramento Street - Proposed New Mixed Use Building  
San Francisco, CA

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Very truly yours,

Name: Carmen Elena Sim

Carmen E. Sim 8/21/17  
Signature Date

Address: 3680 Sacramento St SF 94118

Email/Telephone: 650-580-6492

Planning Department  
City & County of San Francisco  
1650 Mission Street, Suite 400  
San Francisco, CA 94103

RE: 3637-3657 Sacramento Street - Proposed New Mixed Use Building  
San Francisco, CA

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Very truly yours,

Name: William Ly

Will      9/1/17  
Signature                      Date

Address: 3490 California St #203 San Francisco, CA 94118

Email/Telephone: willjlu@gmail.com

Planning Department  
City & County of San Francisco  
1650 Mission Street, Suite 400  
San Francisco, CA 94103

RE: 3637-3657 Sacramento Street - Proposed New Mixed Use Building  
San Francisco, CA

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Very truly yours,

Name: \_\_\_\_\_

Signature

Date

Address: \_\_\_\_\_

Email/Telephone: \_\_\_\_\_

Planning Department  
City & County of San Francisco  
1650 Mission Street, Suite 400  
San Francisco, CA 94103

RE: 3637-3657 Sacramento Street - Proposed New Mixed Use Building  
San Francisco, CA

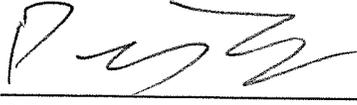
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Very truly yours,

Name: Peter Kloos

 3/13/18  
Signature Date

Address: 488 Locust Apt. 405 SF, CA

Email/Telephone: pkloos01@gmail.com 415-264-1969



Planning Department  
City & County of San Francisco  
1650 Mission Street, Suite 400  
San Francisco, CA 94103

RE: 3637-3657 Sacramento Street - Proposed New Mixed Use Building  
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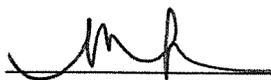
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Very truly yours,

Name: Margaux Talorde

 3/14/18  
Signature Date

Address: 3408 California St

Email/Telephone: (415) 345-0100

Planning Department  
City & County of San Francisco  
1650 Mission Street, Suite 400  
San Francisco, CA 94103

RE: 3637-3657 Sacramento Street - Proposed New Mixed Use Building  
San Francisco, CA

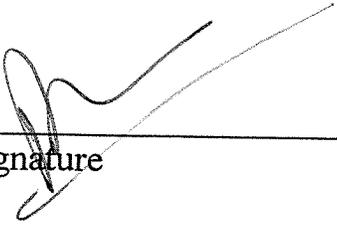
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Very truly yours,

Name: Rajat Sharma

  
Signature \_\_\_\_\_ Date 13 March 2018

Address: 480 Lombard Street SAN FRANCISCO

Email/Telephone: RJT.Sharma@gmail.com

Planning Department  
City & County of San Francisco  
1650 Mission Street, Suite 400  
San Francisco, CA 94103

RE: 3637-3657 Sacramento Street - Proposed New Mixed Use Building  
San Francisco, CA

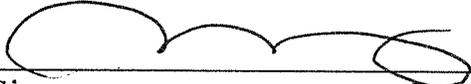
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Very truly yours,

Name: Mylena Ramirez

 3-14-18  
Signature Date

Address: 3628 Sacramento St.

Email/Telephone: mayramirez2004@gmail.com

Planning Department  
City & County of San Francisco  
1650 Mission Street, Suite 400  
San Francisco, CA 94103

RE: 3637-3657 Sacramento Street - Proposed New Mixed Use Building  
San Francisco, CA

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Very truly yours,

Name: JASMINE FREI

  
Signature \_\_\_\_\_ Date 3/14/18

Address: 3654 SACRAMENTO STREET, 94118

Email/Telephone: ~~XXXXXXXXXX~~ JASMINE@SKURMAN.COM

Planning Department  
City & County of San Francisco  
1650 Mission Street, Suite 400  
San Francisco, CA 94103

RE: 3637-3657 Sacramento Street - Proposed New Mixed Use Building  
San Francisco, CA

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Very truly yours,

Name: Megan Leicht

Megan Leicht      3/14/18  
Signature                      Date

Address: 3654 Sacramento St.

Email/Telephone: 415-440-4480

Planning Department  
City & County of San Francisco  
1650 Mission Street, Suite 400  
San Francisco, CA 94103

RE: 3637-3657 Sacramento Street - Proposed New Mixed Use Building  
San Francisco, CA

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Very truly yours,

Name: William Hull

William Hull      3/14/18  
Signature                      Date

Address: 3654 Sacramento St., San Francisco, CA

Email/Telephone: whull@skurman.com ; (415) 440-8024 9412  
X107

Planning Department  
City & County of San Francisco  
1650 Mission Street, Suite 400  
San Francisco, CA 94103

RE: 3637-3657 Sacramento Street - Proposed New Mixed Use Building  
San Francisco, CA

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Very truly yours,

Name: GAYAN HETTIPOLA

 3-14-18  
Signature Date

Address: 3654 SACRAMENTO STREET

Email/Telephone: 415-440-4480 GAYAN@SKURMAN.COM

Planning Department  
City & County of San Francisco  
1650 Mission Street, Suite 400  
San Francisco, CA 94103

RE: 3637-3657 Sacramento Street - Proposed New Mixed Use Building  
San Francisco, CA

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Very truly yours,

Name: Andrew Skurman

  
Signature

03/14/2018  
Date

Address: 3654 Sacramento St. SF CA 94118

Email/Telephone: andrew@skurman.com / 415-440-4480

Planning Department  
City & County of San Francisco  
1650 Mission Street, Suite 400  
San Francisco, CA 94103

RE: 3637-3657 Sacramento Street - Proposed New Mixed Use Building  
San Francisco, CA

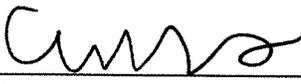
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Very truly yours,

Name: Cienna Patmont

 03/14/2018  
Signature Date

Address: 2654 Sacramento St. SF CA 94118

Email/Telephone: cienna@skurman.com / 415-440-4480

Planning Department  
City & County of San Francisco  
1650 Mission Street, Suite 400  
San Francisco, CA 94103

RE: 3637-3657 Sacramento Street - Proposed New Mixed Use Building  
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Very truly yours,

Name: Patrick Mahar

Signature

Date

Address: 3654 Sacramento St, San Francisco, CA, 94118

Email/Telephone: Patrick@Skurman.com



Planning Department  
City & County of San Francisco  
1650 Mission Street, Suite 400  
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RE: 3637-3657 Sacramento Street - Proposed New Mixed Use Building  
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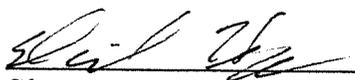
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Very truly yours,

Name: David Hayes

      3/14/18  
Signature                                      Date

Address: 3654 Sacramento St. San Francisco, CA 94118

Email/Telephone: dhayes@skurman.com

Planning Department  
City & County of San Francisco  
1650 Mission Street, Suite 400  
San Francisco, CA 94103

RE: 3637-3657 Sacramento Street - Proposed New Mixed Use Building  
San Francisco, CA

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Very truly yours,

Name: WILHELM NOTHNAGEL

Wilhelm Nottnagel      03/14/18  
Signature                                      Date

Address: 3654 SACRAMENTO ST, SAN FRANCISCO CA 94118

Email/Telephone: wilhelm@skurman.com

Planning Department  
City & County of San Francisco  
1650 Mission Street, Suite 400  
San Francisco, CA 94103

RE: 3637-3657 Sacramento Street - Proposed New Mixed Use Building  
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Very truly yours,

Name: PAIGE MARIUCCI

Paige Mariucci 03/14/2018  
Signature Date

Address: 3654 SACRAMENTO STREET

Email/Telephone: paige@skurman.com / 415-440-4480

Planning Department  
City & County of San Francisco  
1650 Mission Street, Suite 400  
San Francisco, CA 94103

RE: 3637-3657 Sacramento Street - Proposed New Mixed Use Building  
San Francisco, CA

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Very truly yours,

Name: Carolina Mendy

Carolina Mendy      3/14/18  
Signature                      Date

Address: 3654 Sacramento Street, San Francisco, CA 94118

Email/Telephone: 415-440-4480

Planning Department  
City & County of San Francisco  
1650 Mission Street, Suite 400  
San Francisco, CA 94103

RE: 3637-3657 Sacramento Street - Proposed New Mixed Use Building  
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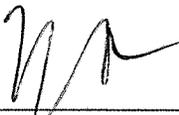
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Very truly yours,

Name: Nicole Ryan

 8/23/17  
Signature Date

Address: 390 Laurel St, Ste 310 - SF CA 94118

Email/Telephone: Nicolep458@gmail.com

Planning Department  
City & County of San Francisco  
1650 Mission Street, Suite 400  
San Francisco, CA 94103

RE: 3637-3657 Sacramento Street - Proposed New Mixed Use Building  
San Francisco, CA

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Very truly yours,

Name: Ludmilla Fox

Ludmilla Fox  
Signature Date

Address: 2635 California St SF

Email/Telephone: \_\_\_\_\_

Planning Department  
City & County of San Francisco  
1650 Mission Street, Suite 400  
San Francisco, CA 94103

RE: 3637-3657 Sacramento Street - Proposed New Mixed Use Building  
San Francisco, CA

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Very truly yours,

Name: Sukee Bennett

Sukee Bennett 9/22/17  
Signature Date

Address: 3333 California St. San Francisco

Email/Telephone: Sukee.bennett@ucsf.edu

Received at CPC Hearing 11/8/18  
M. Woods.

Planning Department  
City & County of San Francisco  
1650 Mission Street, Suite 400  
San Francisco, CA 94103

RE: 3637-3657 Sacramento Street - Proposed New Mixed Use Building  
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Very truly yours,

Name: Karen Duong-Yuen

 11/8/2018  
Signature Date

Address: 3475 California Street

Business name: Chandler Properties

Email/Telephone: kdy@chandlerproperties.com

Planning Department  
City & County of San Francisco  
1650 Mission Street, Suite 400  
San Francisco, CA 94103

RE: 3637-3657 Sacramento Street - Proposed New Mixed Use Building  
San Francisco, CA

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Very truly yours,

Name: Carolyn Chandler

Carolyn Chandler 11/8/2018  
Signature Date

Address: 3475 California Street

Business name: Chandler Properties

Email/Telephone: cca@chandlerproperties.com  
415-509-6230

Planning Department  
City & County of San Francisco  
1650 Mission Street, Suite 400  
San Francisco, CA 94103

RE: 3637-3657 Sacramento Street - Proposed New Mixed Use Building  
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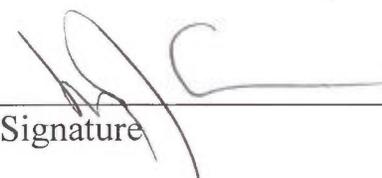
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Very truly yours,

Name: Mary Jo GAVANAN

 11/8/15  
Signature Date

Address: 1340 SCOTT ST A S.F. CA 94115

Business name: CHANDLER PROPERTIES

Email/Telephone: MCG@CHANDLERPROPERTIES.COM

Planning Department  
City & County of San Francisco  
1650 Mission Street, Suite 400  
San Francisco, CA 94103

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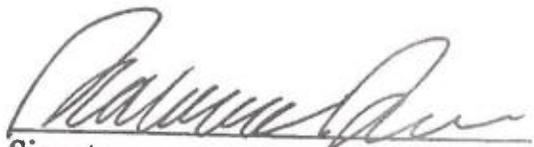
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Very truly yours,

Name: \_\_\_\_\_ Roxanne Mein \_\_\_\_\_

  
Signature \_\_\_\_\_ Date 11/8/18

Address: \_\_\_\_\_ 3435 Sacramento Street \_\_\_\_\_

Business name: \_\_\_\_\_ Theoni Collection \_\_\_\_\_

Email/Telephone: \_\_\_\_\_ roxanne@theoncollection.com (415)447-0503 \_\_\_\_\_

Planning Department  
City & County of San Francisco  
1650 Mission Street, Suite 400  
San Francisco, CA 94103

RE: 3637-3657 Sacramento Street - Proposed New Mixed Use Building  
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Very truly yours,

Name: Ronald Giampoli

Ronald Giampoli 11/5/18  
Signature Date

Address: 3585 CALIFORNIA

Business name: CAL MART

Email/Telephone: 415 221 1818 calmart@hotmail.com

Planning Department  
City & County of San Francisco  
1650 Mission Street, Suite 400  
San Francisco, CA 94103

RE: 3637-3657 Sacramento Street - Proposed New Mixed Use Building  
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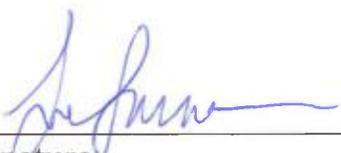
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Very truly yours,

Name: Lam Lee

 11/7/18  
Signature Date

Address: 1690 Washington St. #204 San Francisco CA 94109

Business name: cm murr, inc

Email/Telephone: leejames935@gmail.com (415)-517-8032



Planning Department  
City & County of San Francisco  
1650 Mission Street, Suite 400  
San Francisco, CA 94103

RE: 3637-3657 Sacramento Street - Proposed New Mixed Use Building  
San Francisco, CA

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Very truly yours,

Name: Chales Mitchell

Chales Mitchell 11/7/18  
Signature Date

Address: 3585 CALIFORNIA ST SF CA. 94118

Business name: CAL-MANT INC

Email/Telephone: calmant@hotmail.com

Planning Department  
City & County of San Francisco  
1650 Mission Street, Suite 400  
San Francisco, CA 94103

RE: 3637-3657 Sacramento Street - Proposed New Mixed Use Building  
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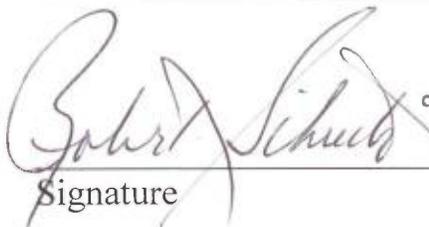
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Very truly yours,

Name: Robert Si Iuvestri

  
Signature \_\_\_\_\_ Date 11/7/18

Address: 3585 CALIFORNIA ST SF CA. 94118

Business name: CAZ-MARR, INC

Email/Telephone: Calmar@Hotmail.com

Planning Department  
City & County of San Francisco  
1650 Mission Street, Suite 400  
San Francisco, CA 94103

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Very truly yours,

Name: MILA VALERIA

*M. Valeria*      11/7/2018  
Signature                      Date

Address: 3585 CALIFORNIA ST. SF CA. 94118

Business name: CAL. MART, INC.

Email/Telephone: calmart.gmvaleria@gmail.com      415-221-1815

Planning Department  
City & County of San Francisco  
1650 Mission Street, Suite 400  
San Francisco, CA 94103

RE: 3637-3657 Sacramento Street - Proposed New Mixed Use Building  
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Very truly yours,

Name: GERI LARRACAS

Geri Larracas                      11/7/18  
Signature                                      Date

Address: 3585 CALIFORNIA ST SF CA 94118

Business name: CAL-MART, INC

Email/Telephone: cal.mart@hofmann.com 415 751-3516

Planning Department  
City & County of San Francisco  
1650 Mission Street, Suite 400  
San Francisco, CA 94103

RE: 3637-3657 Sacramento Street - Proposed New Mixed Use Building  
San Francisco, CA

TO WHOM IT MAY CONCERN:

This letter is to express **support** for the proposed project at 3637-3657 Sacramento Street. I have reviewed the architectural drawings dated March 17, 2017 (with latest revisions dated September 24, 2018) for the demolition of the two structures and construction of one new mixed-use building.

The addition of new ground floor retail/commercial space will enhance the pedestrian experience of Sacramento Street. The new construction will also bring in new housing and additional parking to this neighborhood.

Very truly yours,

Name: Joseph Chu

  
Signature

11/7/18  
Date

Address: 1320 45<sup>TH</sup> AVE SF CA 94122

Business name: CAL-MGMT, INC

Email/Telephone: Chinezee321@YAHOO.COM

Planning Department  
City & County of San Francisco  
1650 Mission Street, Suite 400  
San Francisco, CA 94103

RE: 3637-3657 Sacramento Street - Proposed New Mixed Use Building  
San Francisco, CA

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The addition of new ground floor retail/commercial space will enhance the pedestrian experience of Sacramento Street. The new construction will also bring in new housing and additional parking to this neighborhood.

Very truly yours,

Name: Andrew Jenkins  
Signature Andrew Jenkins Date 11/4/18

Address: 1788 Clay St.  
Business name: Antonelli Brothers Meat Fish & Poultry  
Email/Telephone: peeps83@yahoo

Planning Department  
City & County of San Francisco  
1650 Mission Street, Suite 400  
San Francisco, CA 94103

RE: 3637-3657 Sacramento Street - Proposed New Mixed Use Building  
San Francisco, CA

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Very truly yours,

Name: Michael Ewing

Michael Ewing 11/7/18  
Signature Date

Address: 1456 Geneva Ave San Bruno CA 94066

Business name: Cal Mart

Email/Telephone: 415 751 3514

Planning Department  
City & County of San Francisco  
1650 Mission Street, Suite 400  
San Francisco, CA 94103

RE: 3637-3657 Sacramento Street - Proposed New Mixed Use Building  
San Francisco, CA

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Very truly yours,

Name: Stephany Garcia

Stephany Garcia      11/8/18  
Signature                      Date

Address: 1 Parker Ave. San Francisco, CA 94118

Business name: One Parker Dentistry

Email/Telephone: 415 668 3500

Planning Department  
City & County of San Francisco  
1650 Mission Street, Suite 400  
San Francisco, CA 94103

RE: 3637-3657 Sacramento Street - Proposed New Mixed Use Building  
San Francisco, CA

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Very truly yours,

Name: Greg Smith Greg Smith

Greg Smith 11/8/18  
Signature Date

Address: 3536 Sacramento

Business name: BoHas

Email/Telephone: 415 771 5600

Planning Department  
City & County of San Francisco  
1650 Mission Street, Suite 400  
San Francisco, CA 94103

RE: 3637-3657 Sacramento Street - Proposed New Mixed Use Building  
San Francisco, CA

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Very truly yours,

Name: STEVEN TSB

 11/8/18  
Signature Date

Address: 3536 SACRAMENTO ST. S-F

Business name: Botta's Auto Body shop

Email/Telephone: \_\_\_\_\_

Planning Department  
City & County of San Francisco  
1650 Mission Street, Suite 400  
San Francisco, CA 94103

RE: 3637-3657 Sacramento Street - Proposed New Mixed Use Building  
San Francisco, CA

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Very truly yours,

Name: Jimmy Eng

Jimmy Eng Nov. 8, 2018  
Signature Date

Address: 3856 SACRAMENTO ST.

Business name: BOTTAS AUTO BODY

Email/Telephone: 415 771-5600

Planning Department  
City & County of San Francisco  
1650 Mission Street, Suite 400  
San Francisco, CA 94103

RE: 3637-3657 Sacramento Street - Proposed New Mixed Use Building  
San Francisco, CA

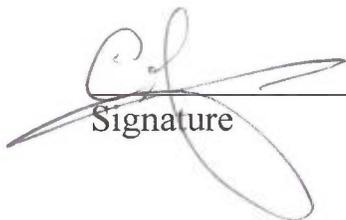
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Very truly yours,

Name: CAROL GROENEY

  
Signature

11/26/18  
Date

Address: 3636 SACRAMENTO ST

Business name: BOTTLE HOUSE BLDG

Email/Telephone: 415 771-5600

Planning Department  
City & County of San Francisco  
1650 Mission Street, Suite 400  
San Francisco, CA 94103

RE: 3637-3657 Sacramento Street - Proposed New Mixed Use Building  
San Francisco, CA

TO WHOM IT MAY CONCERN:

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Very truly yours,

Name:

Kimberly Simons

Signature

Date

10/29/18

Address:

3641 Sacramento St, Suite A

Business name:

Noah Simons, MD

Email/Telephone:

Kimberly.jo.Simons@gmail.com 415.218.6065



**NOAH SIMONS MD**

3641 Sacramento St Suite A  
San Francisco, CA 94118

T 415-601-1339  
F 415-931-6523  
noahsimonsmd@me.com

[www.noahsimonsmd.com](http://www.noahsimonsmd.com)

Planning Department City & County of San Francisco 1650  
Mission Street, Suite 400 San Francisco, CA 94103

RE: 3637-3657 Sacramento Street

Dear Planning Dept:

I am writing this letter in support of 3637-3657 Sacramento Street project. I am a pediatrician in the building currently.

I very much look forward to being able to carry out my practice in the new modern mixed use building.

The new building will be wonderful for patients. There will be better access for handicap patients and for strollers too. We look forward to more parking too that the building will bring.

Sincerely,

Noah Simons MD FAAP

Planning Department  
City & County of San Francisco  
1650 Mission Street, Suite 400  
San Francisco, CA 94103

RE: 3637-3657 Sacramento Street - Proposed New Mixed Use Building  
San Francisco, CA

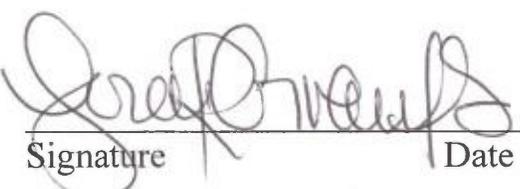
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The addition of new ground floor retail/commercial space will enhance the pedestrian experience of Sacramento Street. The new construction will also bring in new housing and additional parking to this neighborhood.

Very truly yours,

Name: Loren Cervantes

 10/23/2018  
Signature Date

Address: 3641 Sacramento St. Ste A SF, CA 94118

Business name: noatt simons inc.

Email/Telephone: noattsimonsmd@me.com

Planning Department  
City & County of San Francisco  
1650 Mission Street, Suite 400  
San Francisco, CA 94103

RE: 3637-3657 Sacramento Street - Proposed New Mixed Use Building  
San Francisco, CA

TO WHOM IT MAY CONCERN:

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Very truly yours,

Name: JOSEPH Sciancalepore



Signature

10/23/18  
Date

Address: 3641 Sacramento St. Ste A. San Francisco, CA 94118

Business name: NOAH SIMONS INC.

Email/Telephone: noahsimonsm@gmail.com



Planning Department  
City & County of San Francisco  
1650 Mission Street, Suite 400  
San Francisco, CA 94103

RE: 3637-3657 Sacramento Street - Proposed New Mixed Use Building  
San Francisco, CA

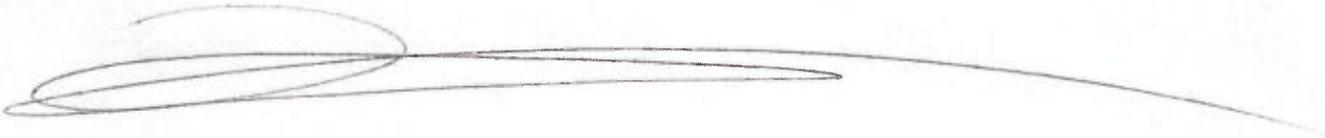
TO WHOM IT MAY CONCERN:

This letter is to express **support** for the proposed project at 3637-3657 Sacramento Street. I have reviewed the architectural drawings dated March 17, 2017 (with latest revisions dated September 24, 2018) for the demolition of the two structures and construction of one new mixed-use building.

We have lived a block away from this project for over 6 years and believe that the proposed redevelopment of this property is a vast improvement and will benefit the neighborhood. The addition of new ground floor retail/commercial space will enhance the pedestrian experience of Sacramento Street. The new construction will also bring in new housing and additional parking to this neighborhood.

Very truly yours,

Dean Copans

A handwritten signature in black ink, appearing to read 'Dean Copans', with a long horizontal flourish extending to the right.

Date: October 23, 2018

Dean Copans  
3737 Sacramento Street,  
San Francisco, CA 94118  
[dean42@gmail.com](mailto:dean42@gmail.com)  
650-465-3993

Planning Department  
City & County of San Francisco  
1650 Mission Street, Suite 400  
San Francisco, CA 94103

RE: 3637-3657 Sacramento Street - Proposed New Mixed Use Building  
San Francisco, CA

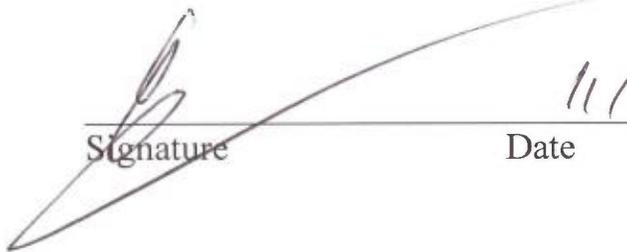
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Very truly yours,

Name: RICHARD A LEVY

  
Signature \_\_\_\_\_ Date 11/7/16

Address: 3500 Colma Ave

Business name: RICHARD A LEVY INC

Email/Telephone: 415 929 9405

Planning Department  
City & County of San Francisco  
1650 Mission Street, Suite 400  
San Francisco, CA 94103

RE: 3637-3657 Sacramento Street - Proposed New Mixed Use Building  
San Francisco, CA

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Very truly yours,

Name: Amanda Thompson

Amanda 11/07/18  
Signature Date

Address: 1 Parker Avenue 94118

Business name: One Parker Pediatric Dentistry

Email/Telephone: (415) 448-3500

Planning Department  
City & County of San Francisco  
1650 Mission Street, Suite 400  
San Francisco, CA 94103

RE: 3637-3657 Sacramento Street - Proposed New Mixed Use Building  
San Francisco, CA

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Very truly yours,

Name: Carla Hultman

Carla Hultman 11/7/18  
Signature Date

Address: 1 Parker Ave

Business name: One Parker ~~Star~~ Dentistry

Email/Telephone: 415-668-3500

Planning Department  
City & County of San Francisco  
1650 Mission Street, Suite 400  
San Francisco, CA 94103

RE: 3637-3657 Sacramento Street - Proposed New Mixed Use Building  
San Francisco, CA

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Very truly yours,

Name: Cayla Bros

  
Signature \_\_\_\_\_ Date 11/7/18

Address: One Parker Ave SF, CA 94118

Business name: One Parker Dentistry

Email/Telephone: 415-668-3500

Planning Department  
City & County of San Francisco  
1650 Mission Street, Suite 400  
San Francisco, CA 94103

RE: 3637-3657 Sacramento Street - Proposed New Mixed Use Building  
San Francisco, CA

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Very truly yours,

Name: Kim Soo

  
Signature \_\_\_\_\_ Date \_\_\_\_\_

Address: \_\_\_\_\_ **IRINA KHIDEKEL, M.D.**  
3635 CALIFORNIA STREET  
SAN FRANCISCO, CA 94118  
Business name: \_\_\_\_\_ Ph: (415) 752-0277  
Fax: (415) 752-5333  
Email/Telephone: \_\_\_\_\_

Planning Department  
City & County of San Francisco  
1650 Mission Street, Suite 400  
San Francisco, CA 94103

RE: 3637-3657 Sacramento Street - Proposed New Mixed Use Building  
San Francisco, CA

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Very truly yours,

Name: Patty Yan

Patty Yan 11/7/18  
Signature Date

Address: 3633 California St.

Business name: Saburo Kani, Inc.

Email/Telephone: pattyofyan@yahoo.com



Planning Department  
City & County of San Francisco  
1650 Mission Street, Suite 400  
San Francisco, CA 94103

RE: 3637-3657 Sacramento Street - Proposed New Mixed Use Building  
San Francisco, CA

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Very truly yours,

Name: wei cheng

Wei Chen 11-7-18.  
Signature Date

Address: 3015 GEARY BLVD @ COOK S-F, CA 94118

Business name: SQWERS

Email/Telephone: 415-298-4774



Planning Department  
City & County of San Francisco  
1650 Mission Street, Suite 400  
San Francisco, CA 94103

RE: 3637-3657 Sacramento Street - Proposed New Mixed Use Building  
San Francisco, CA

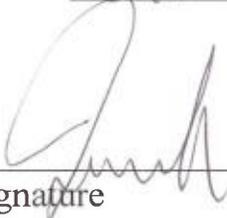
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Very truly yours,

Name: Jadine Liu

  
Signature

11/7/18  
Date

Address: 3601 California St.

Business name: Walgreens

Email/Telephone: 415 668-5202



Planning Department  
City & County of San Francisco  
1650 Mission Street, Suite 400  
San Francisco, CA 94103

RE: 3637-3657 Sacramento Street - Proposed New Mixed Use Building  
San Francisco, CA

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Very truly yours,

Name: Vivian Guo

Vivian Guo 11/7/18  
Signature Date

Address: 3601 California St

Business name: Walgreens

Email/Telephone: (415) 668-5202



Planning Department  
City & County of San Francisco  
1650 Mission Street, Suite 400  
San Francisco, CA 94103

RE: 3637-3657 Sacramento Street - Proposed New Mixed Use Building  
San Francisco, CA

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Very truly yours,

Name: Jonathan Dink



Signature

11/7/18

Date

Address: 3601 California St SF, CA 94118

Business name: Walgreens

Email/Telephone: (415) 668-5202

Planning Department  
City & County of San Francisco  
1650 Mission Street, Suite 400  
San Francisco, CA 94103

RE: 3637-3657 Sacramento Street - Proposed New Mixed Use Building  
San Francisco, CA

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Very truly yours,

Name: Rosalba Sanchez

Rosalba S. 110718  
Signature Date

Address: 3519 California Street

Business name: Noah

Email/Telephone: 415-387-3874

Planning Department  
City & County of San Francisco  
1650 Mission Street, Suite 400  
San Francisco, CA 94103

RE: 3637-3657 Sacramento Street - Proposed New Mixed Use Building  
San Francisco, CA

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Very truly yours,

Name: Kirk Gee

Kirk Gee  
Signature

11/7/18  
Date

Address: 3519 California St

Business name: Noah bagel

Email/Telephone: 415-387-3874

Planning Department  
City & County of San Francisco  
1650 Mission Street, Suite 400  
San Francisco, CA 94103

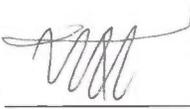
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Very truly yours,

Name:  Tawny Andrews

 11-7-18.  
Signature Date

Address: 3519 California Street

Business name: Noah's Bagel

Email/Telephone: 415-387-3874

Planning Department  
City & County of San Francisco  
1650 Mission Street, Suite 400  
San Francisco, CA 94103

RE: 3637-3657 Sacramento Street - Proposed New Mixed Use Building  
San Francisco, CA

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Very truly yours,

Name: Robert McQueen

 11/7/2018  
Signature Date

Address: ~~450~~ 3533 California St

Business name: \_\_\_\_\_

Email/Telephone: \_\_\_\_\_

Planning Department  
City & County of San Francisco  
1650 Mission Street, Suite 400  
San Francisco, CA 94103

RE: 3637-3657 Sacramento Street - Proposed New Mixed Use Building  
San Francisco, CA

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Very truly yours,

Name: VIVIAN ZHU

  
Signature \_\_\_\_\_ Date 11/7/18

Address: 3533 CALIFORNIA ST.

Business name: FIRST REPUBLIC BANK

Email/Telephone: vzhu@firstrepublic.com / (415) 831-6688

Planning Department  
City & County of San Francisco  
1650 Mission Street, Suite 400  
San Francisco, CA 94103

RE: 3637-3657 Sacramento Street - Proposed New Mixed Use Building  
San Francisco, CA

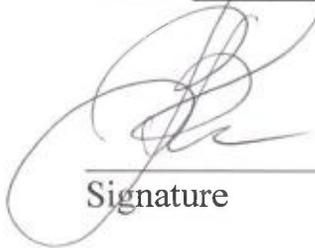
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Very truly yours,

Name: Iana Vovk



Signature

11/7/2018

Date

Address: 3401 California St

Business name: Beautiful

Email/Telephone: (415) 728-9080 / iana@beautiful.com



Planning Department  
City & County of San Francisco  
1650 Mission Street, Suite 400  
San Francisco, CA 94103

RE: 3637-3657 Sacramento Street - Proposed New Mixed Use Building  
San Francisco, CA

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Very truly yours,

Name: Fernando Miranda, MD

 11-7-18  
Signature Date

Address: 3580 California Street, San Francisco

Business name: Dr. Miranda

Email/Telephone: fgmiranda md@ gmail . com

April 7, 2014

Planning Department  
City & County of San Francisco  
1650 Mission Street, Suite 400  
San Francisco, CA 94103

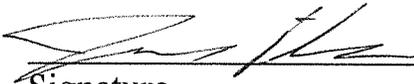
RE: 3637-3657 Sacramento Street - Proposed New Mixed Use Building  
San Francisco, CA

TO WHOM IT MAY CONCERN:

This letter is to express **“No Opposition”** for the propose project at 3637-3657 Sacramento Street. I have reviewed the architectural drawings dated September 19, 2012 for the demolition of the two structures and construction of one new mixed-use building.

Very truly yours,

Name: Jimmy Phan

 4/7/14  
Signature Date

LPH  
SHIPPING & BUSINESS SERVICES  
3701 Sacramento Street  
San Francisco, CA 94118  
(415) 221-9817

Address: \_\_\_\_\_

Email/Telephone: \_\_\_\_\_

April 15, 2014

Planning Department  
City & County of San Francisco  
1650 Mission Street, Suite 400  
San Francisco, CA 94103

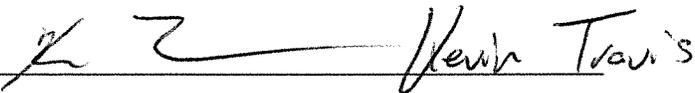
RE: 3637-3657 Sacramento Street - Proposed New Mixed Use Building  
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TO WHOM IT MAY CONCERN:

This letter is to express **support** for the proposed project at 3637-3657 Sacramento Street. I have reviewed the architectural drawings dated September 19, 2012 for the demolition of the two structures and construction of one new mixed-use building.

The addition of new ground floor retail/commercial space will enhance the pedestrian experience of Sacramento Street. The new construction will also bring in new housing and additional parking to this neighborhood.

Very truly yours,

Name:  Kevin Travis

      4/15/14  
Signature                      Date

Address: 488 Locust St

Email/Telephone: kevtravco@yahoo      415-867-7306

April 15, 2014

Planning Department  
City & County of San Francisco  
1650 Mission Street, Suite 400  
San Francisco, CA 94103

RE: 3637-3657 Sacramento Street - Proposed New Mixed Use Building  
San Francisco, CA

TO WHOM IT MAY CONCERN:

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The addition of new ground floor retail/commercial space will enhance the pedestrian experience of Sacramento Street. The new construction will also bring in new housing and additional parking to this neighborhood.

Very truly yours,

Name: Keri Travis

Keri Travis 4/15/14  
Signature Date

Address: 488 Locust St # 305

Email/Telephone: 415-935-2505

April 8, 2014

Planning Department  
City & County of San Francisco  
1650 Mission Street, Suite 400  
San Francisco, CA 94103

RE: 3637-3657 Sacramento Street - Proposed New Mixed Use Building  
San Francisco, CA

TO WHOM IT MAY CONCERN:

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The addition of new ground floor retail/commercial space will enhance the pedestrian experience of Sacramento Street. The new construction will also bring in new housing and additional parking to this neighborhood.

Very truly yours,

Name: Nancy Held

Nancy B Held 4/8/14  
Signature Date

Address: 3698 Sacramento St, SF CA 94118

Email/Telephone: nancy@dayonebaby.com  
415-309-5830

March 28, 2014

Planning Department  
City & County of San Francisco  
1650 Mission Street, Suite 400  
San Francisco, CA 94103

RE: 3637-3657 Sacramento Street - Proposed New Mixed Use Building  
San Francisco, CA

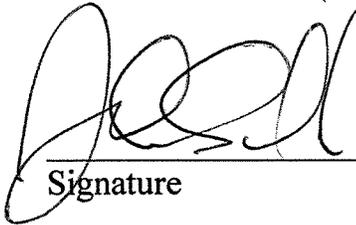
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Very truly yours,

Name: JOHN SCHICK

 3/28/14  
Signature Date

Address: \_\_\_\_\_

Email/Telephone: 415 308-2548 johnschick@  
gmail.com



April 8, 2014

Planning Department  
City & County of San Francisco  
1650 Mission Street, Suite 400  
San Francisco, CA 94103

RE: 3637-3657 Sacramento Street - Proposed New Mixed Use Building  
San Francisco, CA

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Very truly yours,

Name: Alysa C.

Alysa C. 4/9/14  
Signature Date

Address: 3525 California St. SF CA 94118

Email/Telephone: 415 - 751 - 1529

April 9, 2014

Planning Department  
City & County of San Francisco  
1650 Mission Street, Suite 400  
San Francisco, CA 94103

RE: 3637-3657 Sacramento Street - Proposed New Mixed Use Building  
San Francisco, CA

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Very truly yours,

Name: SARI SWIG

Sari Swig      4/10/2014  
Signature                      Date

Address: 488 Locust St. SF. CA 94118

Email/Telephone: sariswig@yahoo.com      ATN 517-6344

April 9, 2014

Planning Department  
City & County of San Francisco  
1650 Mission Street, Suite 400  
San Francisco, CA 94103

RE: 3637-3657 Sacramento Street - Proposed New Mixed Use Building  
San Francisco, CA

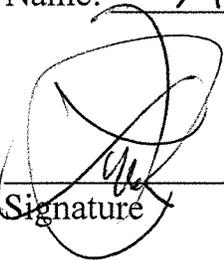
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Very truly yours,

Name: LISLE W. PAYNE

  
Signature \_\_\_\_\_ Date 4/11/14

Address: 3616 Jackson Street, San Francisco CA 94118

Email/Telephone: 415-981.2810

April 9, 2014

Planning Department  
City & County of San Francisco  
1650 Mission Street, Suite 400  
San Francisco, CA 94103

RE: 3637-3657 Sacramento Street - Proposed New Mixed Use Building  
San Francisco, CA

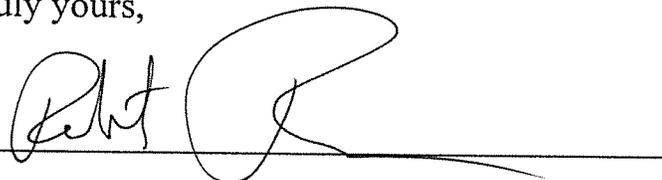
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Very truly yours,

Name:



Robert Tandler 4.11.14

Signature

Date

Address:

3490 California St. #209

Email/Telephone:

Bob@FRLTY.com 415.771.0741

April 9, 2014

Planning Department  
City & County of San Francisco  
1650 Mission Street, Suite 400  
San Francisco, CA 94103

RE: 3637-3657 Sacramento Street - Proposed New Mixed Use Building  
San Francisco, CA

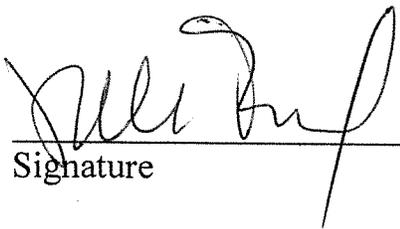
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Very truly yours,

Name: Valli Benesch

 4-14-14  
Signature Date

Address: 3490 Calif St #209 SF

Email/Telephone: 415 771 0740

April 9, 2014

Planning Department  
City & County of San Francisco  
1650 Mission Street, Suite 400  
San Francisco, CA 94103

RE: 3637-3657 Sacramento Street - Proposed New Mixed Use Building  
San Francisco, CA

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Very truly yours,

Name: Kyoko Kawachi

Kyoko Kawachi, 4/11/14  
Signature Date

Address: 270 Market Ave San Francisco, CA 94131

Email/Telephone: (415) 613-1901

April 9, 2014

Planning Department  
City & County of San Francisco  
1650 Mission Street, Suite 400  
San Francisco, CA 94103

RE: 3637-3657 Sacramento Street - Proposed New Mixed Use Building  
San Francisco, CA

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Very truly yours,

Name: SUSAN E. MANGIAMELI

Susan E. Mangiameli 4/9/14  
Signature Date

Address: 488 LOCUST ST #306 SF 94118

Email/Telephone: 415-359-9644

April 9, 2014

Planning Department  
City & County of San Francisco  
1650 Mission Street, Suite 400  
San Francisco, CA 94103

RE: 3637-3657 Sacramento Street - Proposed New Mixed Use Building  
San Francisco, CA

TO WHOM IT MAY CONCERN:

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Very truly yours,

Name: JOSEPH L MANGIAMELI

Joseph Mangiameli 4/9/14  
Signature Date

Address: 488 LOCUST ST #306

Email/Telephone: 415 359-9644

April 9, 2014

Planning Department  
City & County of San Francisco  
1650 Mission Street, Suite 400  
San Francisco, CA 94103

RE: 3637-3657 Sacramento Street - Proposed New Mixed Use Building  
San Francisco, CA

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Very truly yours,

Name: Mayorie Afterman

Mayorie Afterman 4/9/14  
Signature Date

Address: 488 Locust Apt 405

Email/Telephone: 415-771-8992

April 9, 2014

Planning Department  
City & County of San Francisco  
1650 Mission Street, Suite 400  
San Francisco, CA 94103

RE: 3637-3657 Sacramento Street - Proposed New Mixed Use Building  
San Francisco, CA

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Very truly yours,

Name: Heather Rhye

Heather Rhye      4/9/14  
Signature                      Date

Address: 488 Locust St. Apt. 408

Email/Telephone: ~~415~~ 310-972-8786

April 9, 2014

Planning Department  
City & County of San Francisco  
1650 Mission Street, Suite 400  
San Francisco, CA 94103

RE: 3637-3657 Sacramento Street - Proposed New Mixed Use Building  
San Francisco, CA

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The addition of new ground floor retail/commercial space will enhance the pedestrian experience of Sacramento Street. The new construction will also bring in new housing and additional parking to this neighborhood.

Very truly yours,

*Alida G. Silverman*

Name: *Alida G Silverman*

*Alida G Silverman* *April 9<sup>th</sup>*

Signature

Date

Address: *488 Locust #49 S.F 94118*

Email/Telephone: *alidas@comcast.net*

April 9, 2014

Planning Department  
City & County of San Francisco  
1650 Mission Street, Suite 400  
San Francisco, CA 94103

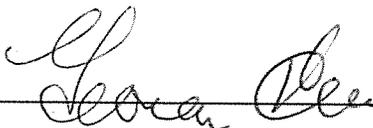
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San Francisco, CA

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Very truly yours,

Name: 

GEORGE HEARST 4/09/2014

Signature

Date

Address: 401 LOCUST

Email/Telephone: 415-629-2555

April 9, 2014

Planning Department  
City & County of San Francisco  
1650 Mission Street, Suite 400  
San Francisco, CA 94103

RE: 3637-3657 Sacramento Street - Proposed New Mixed Use Building  
San Francisco, CA

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Very truly yours,

Name: 

BONNIE BARNETT      4/09/2014

Signature

Date

Address: 488 Locust # 401

Email/Telephone: 415/ 699-2555

April 7, 2014

Planning Department  
City & County of San Francisco  
1650 Mission Street, Suite 400  
San Francisco, CA 94103

RE: 3637-3657 Sacramento Street - Proposed New Mixed Use Building  
San Francisco, CA

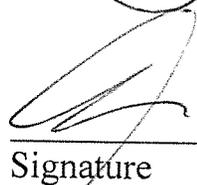
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Very truly yours,

Name: Yvonne Chiu

  
Signature

4/8/14  
Date

Address: PO Box 1678, SF CA 94118

Email/Telephone: 415-571-8806

April 7, 2014

Planning Department  
City & County of San Francisco  
1650 Mission Street, Suite 400  
San Francisco, CA 94103

RE: 3637-3657 Sacramento Street - Proposed New Mixed Use Building  
San Francisco, CA

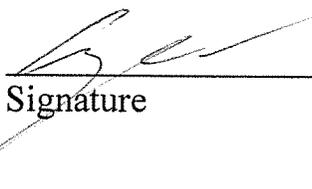
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Very truly yours,

Name: Greg Keger

 4/7/14  
Signature Date

Address: 3701 Sacramento St #407 SF CA 94118

Email/Telephone: GregK219@yahoo.com 415-595-2273



April 7, 2014

Planning Department  
City & County of San Francisco  
1650 Mission Street, Suite 400  
San Francisco, CA 94103

RE: 3637-3657 Sacramento Street - Proposed New Mixed Use Building  
San Francisco, CA

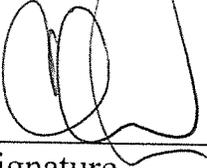
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Very truly yours,

Name: Clifton Tam

  
Signature

04/08/2014  
Date

Address: 671 38th Ave, San Francisco, CA 94121

Email/Telephone: cliftontam@sbcglobal.net

April 9, 2014

Planning Department  
City & County of San Francisco  
1650 Mission Street, Suite 400  
San Francisco, CA 94103

RE: 3637-3657 Sacramento Street - Proposed New Mixed Use Building  
San Francisco, CA

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Very truly yours,

Name: VIEN HINH

  
Signature \_\_\_\_\_ Date 4-9-14

Address: 3473 CALIFORNIA ST.

Email/Telephone: N/A

April 9, 2014

Planning Department  
City & County of San Francisco  
1650 Mission Street, Suite 400  
San Francisco, CA 94103

RE: 3637-3657 Sacramento Street - Proposed New Mixed Use Building  
San Francisco, CA

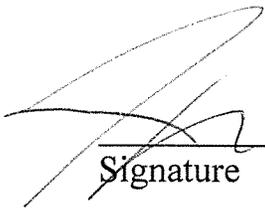
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Very truly yours,

Name: Jason Howard



Signature

4-9-14  
Date

Address: 3431 California St

Email/Telephone: 415-594-5074

April 9, 2014

Planning Department  
City & County of San Francisco  
1650 Mission Street, Suite 400  
San Francisco, CA 94103

RE: 3637-3657 Sacramento Street - Proposed New Mixed Use Building  
San Francisco, CA

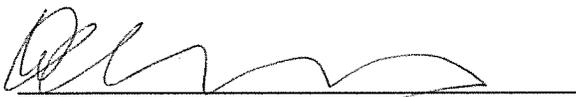
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Very truly yours,

Name: DAUG MATHEX

  
Signature \_\_\_\_\_ Date \_\_\_\_\_

Address: 3465 CALIFORNIA ST

Email/Telephone: 415-575-0803

April 8, 2014

Planning Department  
City & County of San Francisco  
1650 Mission Street, Suite 400  
San Francisco, CA 94103

RE: 3637-3657 Sacramento Street - Proposed New Mixed Use Building  
San Francisco, CA

TO WHOM IT MAY CONCERN:

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Very truly yours,

Name: Erik Bjorn

EQB      4/9/2014  
Signature                      Date

Address: 3634 Sacramento Street, SF CA 94118

Email/Telephone: erikbjorn@roundhillpacific.com



April 8, 2014

Planning Department  
City & County of San Francisco  
1650 Mission Street, Suite 400  
San Francisco, CA 94103

RE: 3637-3657 Sacramento Street - Proposed New Mixed Use Building  
San Francisco, CA

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Very truly yours,

Name: Susan Magee

Susan Magee 4-9-14  
Signature Date

Address: 3634 Sacramento St. San Francisco 94118

Email/Telephone: (352) 537-9831

April 9, 2014

Planning Department  
City & County of San Francisco  
1650 Mission Street, Suite 400  
San Francisco, CA 94103

RE: 3637-3657 Sacramento Street - Proposed New Mixed Use Building  
San Francisco, CA

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Very truly yours,

Name: Juel Rubin

Juel Rubin      4/9/14  
Signature                      Date

Address: 488 Locust St. Apt. 201

Email/Telephone: jlocks-1@hotmail.com

April 7, 2014

Planning Department  
City & County of San Francisco  
1650 Mission Street, Suite 400  
San Francisco, CA 94103

RE: 3637-3657 Sacramento Street - Proposed New Mixed Use Building  
San Francisco, CA

TO WHOM IT MAY CONCERN:

This letter is to express **“No Opposition”** for the propose project at 3637-3657 Sacramento Street. I have reviewed the architectural drawings dated September 19, 2012 for the demolition of the two structures and construction of one new mixed-use building.

Very truly yours,

Name: Donald Louis

Donald \_\_\_\_\_  
Signature Date

Address: \_\_\_\_\_

LPH  
SHIPPING & BUSINESS SERVICES  
3701 Sacramento Street  
San Francisco, CA 94118  
(415) 221-9817

Email/Telephone: \_\_\_\_\_

March 28, 2014

Planning Department  
City & County of San Francisco  
1650 Mission Street, Suite 400  
San Francisco, CA 94103

RE: 3637-3657 Sacramento Street - Proposed New Mixed Use Building  
San Francisco, CA

TO WHOM IT MAY CONCERN:

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The addition of new ground floor retail/commercial space will enhance the pedestrian experience of Sacramento Street. The new construction will also bring in new housing and additional parking to this neighborhood.

Very truly yours,

Name: Molly Bosch

Molly Bosch 3/28/14  
Signature Date

Address: 3665 Sacramento St. San Francisco  
CA 94118  
Email/Telephone: ~~415~~ 415.423.3694



April 8, 2014

Planning Department  
City & County of San Francisco  
1650 Mission Street, Suite 400  
San Francisco, CA 94103

RE: 3637-3657 Sacramento Street - Proposed New Mixed Use Building  
San Francisco, CA

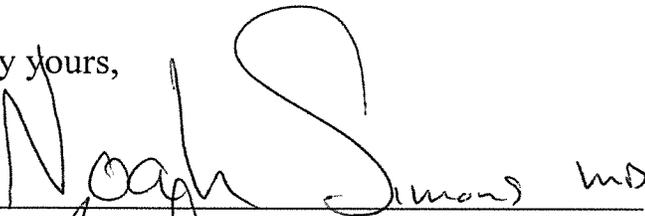
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Very truly yours,

Name:

 Noah Simon MD

Signature

Date

4.9.14

Address:

3641 Sacramento St Suite A

Email/Telephone:

San Francisco

noahsimonsmd@me.com

415 613 4014

Thank you

April 8, 2014

Planning Department  
City & County of San Francisco  
1650 Mission Street, Suite 400  
San Francisco, CA 94103

RE: 3637-3657 Sacramento Street - Proposed New Mixed Use Building  
San Francisco, CA

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Very truly yours,

Name: Margaret Lopez

Marg  
Signature  
4/8/14  
Date

Address: 3491 California St. SF CA 94118

Email/Telephone: margaret.lopez@stores.gap.com

April 8, 2014

Planning Department  
City & County of San Francisco  
1650 Mission Street, Suite 400  
San Francisco, CA 94103

RE: 3637-3657 Sacramento Street - Proposed New Mixed Use Building  
San Francisco, CA

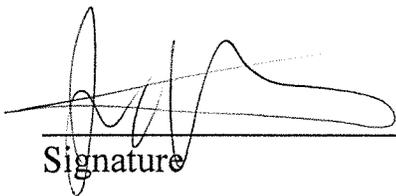
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Very truly yours,

Name: Jeff Cambardella

  
Signature

4/8/14  
Date

Address: 3465 California St

Email/Telephone: Jeff@Rigolocate.com

April 8, 2014

Planning Department  
City & County of San Francisco  
1650 Mission Street, Suite 400  
San Francisco, CA 94103

RE: 3637-3657 Sacramento Street - Proposed New Mixed Use Building  
San Francisco, CA

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Very truly yours,

Name: Tim Hudson

Tim Hudson      4/8/14  
Signature                      Date

Address: 3465 California Street

Email/Telephone: tim@rigolacafe.com