

220 Montgomery St Suite 2100 San Francisco California 94104 January 4, 2019

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Via Email

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Malia Cohen, President San Francisco Board of Supervisors 1 Dr. Carlton B. Goodlett Place Room 244 San Francisco, CA 94102

Re: Appeal of CEQA Determination and Conditional Use Authorization for Project to Create New Housing at 3637 Sacramento Street

Dear President Cohen and Members of the Board of Supervisors:

Our firm represents Litke Properties, the project sponsor, regarding a long-delayed project that will add 18 new units of residential housing in the Sacramento Street Neighborhood Commercial District (the "Project"). On September 20, 2018 the Planning Department determined that the Project was is exempt form CEQA as an infill development. On November 8, 2018 the Planning Commission approved the Project (as modified to reduce one level of underground parking) and granted the application for conditional use authorization. A group of neighbors ("Appellants") has appeal both determinations.

Because there are no valid grounds for the appeals and because this Project will replace old, non-conforming structures with a neighborhood-compatible, mixed-use development of 18 new housing units, sidewalk-activating retail uses and neighborhood serving medical/dental uses, we urge the Board to reject these appeals.

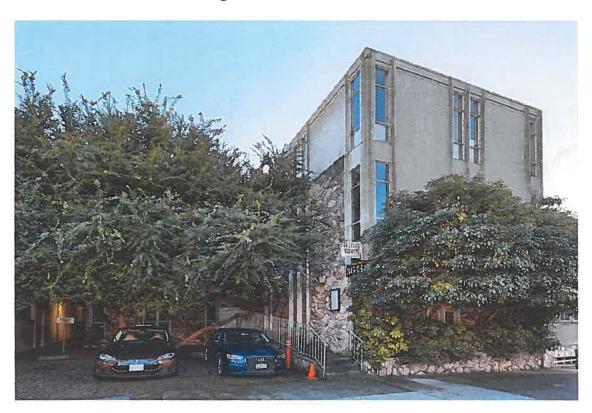
The Project

This Project has been in the works for over 11 years. It replaces three outdated and non-conforming structures – a parking garage and medical/dental office buildings — with a sensitively designed building, preserves medical/dental uses that serve the neighborhood and others, adds neighborhood-serving retail uses, and creates new mid-block open

space. (See Attachment A.) The Project has letters of support from 187 neighbors. (See Attachment B.)

As described in addition detail below, the project sponsor modified the Project to address the concerns of neighbors who voiced opposition. In addition, the Planning Commission modified the Project by reducing the on-site, underground parking from three levels to two.

The Project site is currently occupied by three buildings: two medical/dental office buildings and a parking garage. The parking garage dates to 1920. One office building dates to 1966 and the other to 1974. The office buildings are, to put it mildly, out-of-date and the Planning Department determined that they are not historic resources under CEQA. They have three off-street parking spaces in the front, creating a pedestrian hazard, and an architectural style and layout that clashes with the other buildings on the block.



The parking garage also creates pedestrian conflicts and is an architectural eyesore. It also occupies the entire lot, with no front, side or rear setbacks.



In place of the existing buildings will be this multi-use building:



The Project provides 18 units of new housing on the third and fourth floors of the building. A mix of one and two-bedroom units will provide much needed housing in Presidio Heights, where relatively few units of new housing have been built. The Project provides ground floor retail space to enhance this commercial corridor, activate the pedestrian urban experience, and serve the neighborhood. It includes 9,976-square-feet of medical/dental space on the second floor – a use specifically sought by the neighborhood and others.

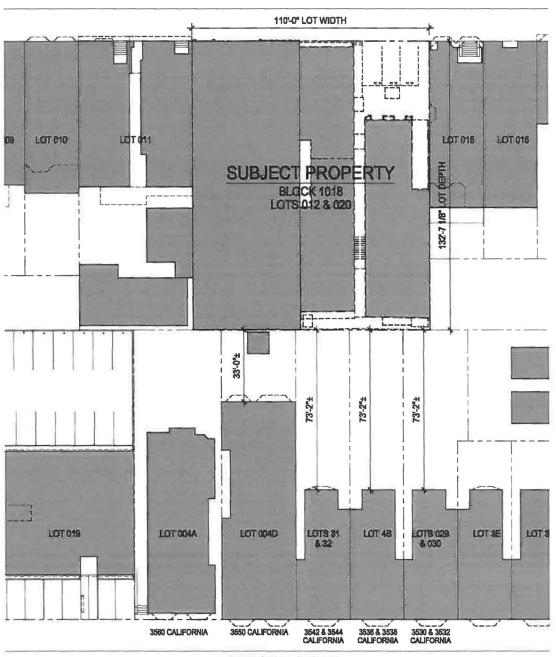
The Project replaces the existing 78 above-ground parking spaces with 50 code-required, below-ground spaces accessed by one entrance/exit. Eighteen parking spaces are for residents. The remaining 32 parking space are in/out, short-term spaces that will serve the building's businesses and customers, local merchants and customers, and residential visitors.

At the rear, the Project is set back over 33 feet from the rear property line, creating a new mid-block open space for the enjoyment of the Project's residents as well as the adjacent neighbors.

The next two pages show the contrast between the existing condition, with buildings taking up almost the entire lots, and the Project, which creates the new mid-block open space.

Existing Condition

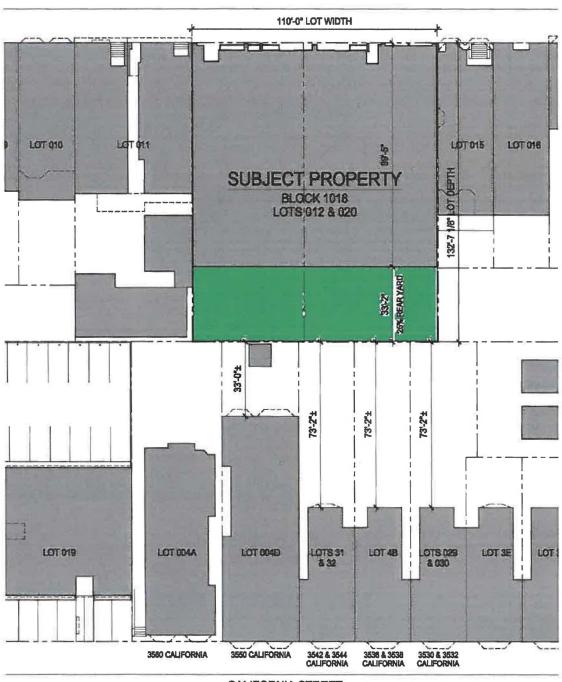
SACRAMENTO STREET



CALIFORNIA STREET

Proposed Project/New Rear Yard

SACRAMENTO STREET



The exterior design of the Project is the result of lengthy collaboration between the Project's architect, Gary Gee, and Planning Department staff. At staff's request, Mr. Gee modified the Project's original design to make it more consistent with other buildings on the block. The Project's massing, like other neighborhood buildings, is at the street front, resulting in a new, compatible streetscape. The Project is composed of 25-foot segments, in character with other buildings on the block and in the neighborhood, creating separate storefront modules, and the second through fourth floors were designed to look more residential in character providing for a more consistent look. The ground floor commercial storefronts were modulated to emulate the existing storefronts on Sacramento Street with a center entry, planters, large glazed areas and a horizontal band to separate the ground floor building base from the upper floor residential façade. The vertical building modules emulate the 25-foot-wide building on the block face. The vertical brick pilasters emulate the similar brick features of the wider mixed-use buildings across the street.



While at least 187 neighbors (including residents, merchants and others) support the Project, a group of neighbors expressed concerns about the noise and disruption the Project will cause, and about the Project's size. In particular, neighbors who live to the rear of the Project site in residential buildings fronting on California Street, were concerned that a large wall would be placed at the rear property line, separating their homes from the Project site. In response to this concern, the *Project was redesigned* to eliminate the need for that wall, and to place the Project's rear open space at the level of the California Street yards, furtherenhancing the new mid-block open space element of the Project.

In granting the conditional use application, the Planning Commission determined that the Project's three levels of underground parking (including 68 parking spaces; the minimum required by Code) should be reduced to two levels. Thus, the Project will replace 78 surface and below grade parking spaces with 50 underground parking spaces serving residents, merchants and others.

The Appeals

Despite the project sponsor's extensive efforts at community outreach and the modifications to the Project to address the neighbors' concerns about the rear wall, the Appellants remain unsatisfied. As one of their leaders, Jennifer Kopczynski put it to the project sponsor's team at a neighborhood meeting, "nothing you do will satisfy me."

Appellants have challenged both the staff's CEQA determination and the Planning Commission's approval of the Project.

The CEQA appeal is baseless. The Project is an urban in-fill development categorically exempt from CEQA review under CEQA Guidelines section 15332. Case law upholds cities' findings that projects of much greater scope fall within this categorical exemption. (See, e.g., Banker's Hill, Hillcrest, Park West Community Preservation Group v. City of San Diego (2006) 139 Cal.App.4th 249 [upholding urban in-fill exemption for 14-story multi-family building with underground parking]; Wollmer v. City of Berkeley (2011) 193 Call.App.4th 1329 [upholding urban in-fill exemption for five-story building with 98 residential units, 7,770 square feet of ground floor commercial space, and 114 parking spaces].)

Appellants attack the Department's determination that the project fits within the urban in-fill exemption is based on one argument: that the cumulative impacts

of the project and other projects warrants greater study. There are many obvious flaws in this argument.

First, only "the cumulative impact of successive projects of the same type in the same place" need be considered. (CEQA Guidelines, § 15300.2.) Instead of pointing to similar developments proposed in the Sacramento Street Neighborhood Commercial District, Appellants cite to two massive, dramatically different projects outside the District: the proposed redevelopment of the CPMC campus at 3700 California Street and the proposed redevelopment of the UCSF campus at California and Presidio. These two proposed projects are markedly different from the Project in use and scope and are undergoing extensive environmental review.

Moreover, as explained in the Department's letter to the Board, dated January 7, 2019, both of these projects are in the early stages of their approval processes so any significant construction activities relating to those projects (and impacts resulting therefrom) will almost certainly occur after the major construction-related activities (demolition, excavation, exterior construction) at the Project site are completed. (Sierra Club v. West Side Irrigation Dist. (2005) 128 Cal. App.4th 690, 701–702 [merely listing other projects occurring in the area that may cause significant cumulative impacts is not evidence that the activity at issue will have impacts or that the impacts are cumulatively considerable].)

As the Department's January 7 letter sets forth in detail, there is nothing about the Project, even when considered in conjunction with these other dissimilar projects that is likely to have a significant effect on the environment. Appellants' "argument, speculation [and] unsubstantiated opinion" cannot be considered legally significant (i.e., substantial) evidence of significant environmental effects. (Hines. v. California Coastal Comm. (2010) 186 Cal. App.4th 830, 856.)

Regarding Appellants' challenge to the Commission CU determination, the Commission's findings speak for themselves. Here are a few relevant excerpts:

The Project will create retail uses that currently do not exist; therefore, no foreclosure will result from the proposed Project. The Project will also replace the existing medical/dental uses that serve the neighborhood, in addition to creating 18 new units of housing. The Project will take two underutilized lots with outdated structures that interrupt a consistent streetscape and provide a

consistent, neighborhood-compatible streetscape and the following features:

- Ground floor retail uses compatible with this neighborhood commercial district,
- Second floor medical/dental uses desired by both neighborhood residents and medical/dental tenants of existing buildings,
- 18 residential units at the third and fourth floors, and
- Three levels of underground parking to serve retail, medical/dental, and residential uses. The Project will no longer provide three levels of underground parking, as originally proposed. At the November 8, 2018 hearing, the Planning Commission directed the removal of one level of the underground parking, resulting in two levels of underground parking for the Project.

The subject property is an underutilized site on a neighborhood commercial corridor with access to public transit nearby. The proposed development is compatible with existing uses, provides needed housing, serves the needs of the neighborhood, and is consistent with the City's policies for this neighborhood. The massing of the buildings, like other neighborhood buildings, is at the street front, resulting in a new, compatible streetscape. Also, the addition of a generous rear-yard creates a previously non-existing mid-block open space benefitting not just the Project, but all neighboring buildings.

The 40-foot height of the proposed building is consistent with the prescribed height limit. The layout of the new building will create an approximately 2,700 square foot rear yard open space that will not only enhance the Project, but also enhance the mid-block open space that would benefit the residential buildings on California Street that are immediately south of the Project Site. While the existing buildings extend to the rear property line, the proposed building will be set back approximately 33 feet from the rear property line; thereby, creating amid-block open space that is currently non-existent.

The proposed Project is consistent with the stated purposes of the Sacramento Street NCD in that the proposed mixed use development will provide new retail/commercial uses on the

ground floor, replace the existing medical uses with new similar uses on the second floor, and create 18 new housing units on the third and fourth floors.

In sum, after years of collaboration with Planning staff, the project sponsor has proposed just the right type of project for this location. It creates new housing on an underutilized site adjacent to transit on California Street. It reactivates the streetscape by adding ground floor retail uses consistent with the other buildings in this neighborhood commercial district. And it preserves neighborhoodserving dental and medical uses that the neighborhood wanted maintained at the site.

Please reject these appeals and permit this Project to move forward

Sincerely,

G. Scott Emblidge

cc: Member of the Board of Supervisors Clerk of the Board of Supervisors Mary Woods, Planning Department



3637

Sacramento Street

Mixed-Use Condominium Project

San Francisco • California

GARY GEE $\mathbf{A} \cdot \mathbf{I} \cdot \mathbf{A}$

GARY GEE ARCHITECTS, INC.

98 Brady Street, #8
San Francisco, CA 94103
Tel 415/863-8881
Fax 415/863-8879

Project No. 07-018

March 17, 2017

July 31, 2018
Additional Information
Requested by Planning

September 24, 2018 Additional Information Requested by Planning

Cover Sheet

A0.0

3637 SACRAMENTO STREET - STREET VIEW



PROJECT DESCRIPTION

PROPOSED DEMOLITION OF EXISTING BUILDINGS.

PROPOSED NEW CONSTRUCTION OF FOUR-STORY MIXED-USE DEVELOPMENT WITH GROUND FLOOR AND SECOND FLOOR COMMERCIAL USE AND 18 RESIDENTIAL CONDOMINIUM UNITS ON THIRD AND FOURTH FLOORS, ALL OVER A TWO LEVEL BASEMENT PARKING GARAGE.

PROJECT INFORMATION

3637 - 3657 SACRAMENTO STREET ADDRESS:

SAN FRANCISCO, CA 94118

BLOCK / LOT: 1018 / 12 & 20

LOT AREA: 14,585.34 SQ. FT.

SACRAMENTO NCD **ZONING:**

HEIGHT/ BULK: 40-X

PROPOSED 40'-0"

SETBACKS: FRONT:

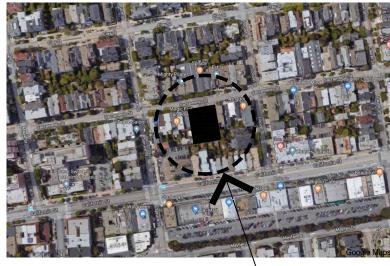
REAR: 25% REAR YARD AT GRADE

F.A.R.: 1.8 TO 1

PROPOSED 1.13 FOR COMMERCIAL

GROSS FLOOR AREA

LOCATION MAP



PROJECT SITE



DRAWING INDEX

A0.0 **COVER SHEET**

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PLANNING DEPARTMENT NOTES A0.2b

A0.2c PLANNING DEPARTMENT NOTES

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A0.2e **BLOCK DIAGRAM**

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EX3.0 EXISTING AS-BUILT DRAWINGS: 3657 SACRAMENTO ST.

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A2.9 PENTHOUSE ROOF PLAN

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A3.4 **EXTERIOR ELEVATION**

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3637

Sacramento Street

Mixed-Use Condominium Project

San Francisco • California

GARY G E E AIA

GARY GEE ARCHITECTS, INC.

98 Brady Street, #8 San Francisco, CA 94103 Tel 415/863-8881

Project No. 07-018

March 17, 2017

April 28, 2017 Additional Information Requested by Planning

November 21, 2017

Additional Information Requested by Planning/EE

July 31, 2018

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September 24, 2018 Additional Information Requested by Planning

December 31, 2018 Revisions per Planning Commission Approval

Project Information

Scale: None

A0.1

OPEN SPACE, 18 RESIDENTIAL UNITS:

REQUIRED: 100 SQ.FT. PER UNIT IF PRIVATE USABLE OPEN SPACE <u>OR</u>

100 SQ.FT. x 1.33 PER UNIT IF COMMON USABLE OPEN SPACE

COMMON OPEN SPACE:

18 UNITS X 133 SQ.FT. = 2,394 SQ.FT. REQUIRED

PROVIDED: COMMON OPEN SPACE AT REAR YARD = 2,734 SQ.FT.

PRIVATE DECK AT UNIT 401 = 53 SQ.FT.

OFF-STREET AUTOMOBILE PARKING:

	ACCESSIBLE	STANDARD	COMPACT	CAR-SHARE***	TOTAL
PARKING LEVEL P1	1	19	3	1***	23***
PARKING LEVEL P2	1	26	0	0	27
TOTAL PARKING PROVIDED	2	45	3	1***	50***

IN / OUT PAID SHORT-TERM PARKING PROVIDED ON PARKING LEVELS P1 AND P2:

32 SPACES

RESIDENTIAL PARKING PROVIDED ON PARKING LEVEL P2:

18 SPACES

TOTAL PARKING PROVIDED:

50 SPACES

BICYCLE PARKING:

	CLASS 1	CLASS 2	TOTAL
SIDEWALK	0	7 RACKS	14
PARKING LEVEL P1	3 LOCKERS	7 RACKS	17
PARKING LEVEL P2 LOCKABLE ENCLOSURE	18 RACKS	0	18
TOTAL BICYCLE	10101010	Ŭ	10
PARKING PROVIDED	21	28	49

NOTE: EACH CLASS 2 BICYCLE RACK ACCOMMODATES 2 BICYCLES.

COMMERCIAL BICYCLE PARKING PROVIDED ON

SIDEWALK AND PARKING LEVEL P1:

RESIDENTIAL BICYCLE PARKING PROVIDED ON

SIDEWALK AND PARKING LEVEL P2:

30 SPACES 19 SPACES

TOTAL BICYCLE PARKING PROVIDED:

49 SPACES

- * OCCUPIED FLOOR AREA IS DEFINED PER PLANNING CODE SECTION 102.9 AS GROSS FLOOR AREA MINUS NON-ACCESSORY PARKING, DRIVEWAY AND MANUEVERING AREAS, EXTERIOR WALLS, MECHANICAL EQUIPMENT, APPURTANCES AND AREAS NECESSARY TO THE OPERATION OR MAINTENANCE OF THE BUILDING, TENANT STORAGE SPACE.
- ** PLANNING CODE SECTION 102.9 DEFINITION EXCLUDES FROM GROSS FLOOR AREA CALCULATIONS: BASEMENT SPACE USED FOR STORAGE OR SERVICES NECESSARY TO THE OPERATION OR MAINTENANCE OF THE BUILDING; PARKING IN BASEMENT; BICYCLE PARKING; ROOF LEVEL STAIR, ELEVATOR AND MECHANICAL PENTHOUSES.
- *** CAR-SHARE SPACE NOT INCLUDED IN TOTAL PARKING SPACE COUNT; SERVICE VEHICLE LOADING NOT INCLUDED IN TOTAL PARKING SPACE COUNT

BUILDING AREA CALCULATIONS (Per Planning):

AREA TABULATION BY FLOOR / USE	OCCUPIED AREA *	GROSS FLOOR AREA BY USE **	GROSS FLOOR AREA BY FLOOR **
BASEMENT PARKING LEVEL P2			2,819 SQ.FT.
RESIDENTIAL STORAGE, LOBBY, CIRCULATION		2,819 SQ.FT.	
BASEMENT PARKING LEVEL P1			1,843 SQ.FT.
LOBBY, CIRCULATION		1,843 SQ.FT.	
GROUND LEVEL			7,880 SQ.FT.
RETAIL USE	6,321 SQ.FT.	6,555 SQ.FT.	
LOBBY, CIRCULATION		1,325 SQ.FT.	
SECOND LEVEL			10,533 SQ.FT.
MEDICAL / DENTAL USE	9,574 SQ.FT.	9,976 SQ.FT.	
CIRCULATION		557 SQ.FT.	
THIRD LEVEL			10,183 SQ.FT.
9 RESIDENTIAL CONDOMINIUMS (3 - 1 BRs & 6 - 2 BRs)	7,977 SQ.FT.	8,596 SQ.FT.	
CIRCULATION		1,587 SQ.FT.	
FOURTH LEVEL			10,092 SQ.FT.
9 RESIDENTIAL CONDOMINIUMS (3 - 1 BRs & 6 - 2 BRs)	7,934 SQ.FT.	8,564 SQ.FT.	
CIRCULATION		1,528 SQ.FT.	
ROOF			77 SQ.FT.
ROOF PENTHOUSE CORRIDOR		77 SQ.FT.	
TOTAL OCCUPIED FLOOR AREA *	31,806 SQ.FT.*		
TOTAL GROSS FLOOR AREA **		43,427 SQ.FT.**	43,427 SQ.FT.**

**AREAS NOT INCLUDED IN GROSS FLOOR AREA CALCULATIONS:

BASEMENT PARKING GARAGE 24,210 SQ.FT. * OCCUPIED AREA BICYCLE PARKING 699 SQ.FT. * OCCUPIED AREA BUILDING SERVICES 1,266 SQ.FT.

		EVICTING LIGER	NET NEW	DDO ITOT
PROJECT SUMMARY TABLE	EXISTING USES	EXISTING USES TO BE RETAINED	CONSTRUCTION	PROJECT TOTALS
	PROJECT FE	ATURES		
DWELLING UNITS			18	18
HOTEL ROOMS				
PARKING SPACES	78		- 28	50
LOADING SPACES				
NUMBER OF BUILDINGS	3		- 2	1
HEIGHT OF BUILDING(S)	33'		7'	40'
NUMBER OF STORIES	2 + BASEMENT		2 + BASEMENT	4 + BASEMENT
BICYCLE SPACES			49	49
	GROSS SQUARE FO	OOTAGE (GSF)		
RESIDENTIAL			17,162 SQ.FT.	17,162 SQ.FT.
RETAIL			6,555 SQ.FT.	6,555 SQ.FT.
MEDICAL / DENTAL	13,138 SQ.FT.		-3,162 SQ.FT.	9,976 SQ.FT.
OFFICE				
INDUSTRIAL / PDR				
PARKING	6,125 SQ.FT.		-6,125 SQ.FT.	0 SQ.FT.
OTHER: COMMON AREA			11,530 SQ.FT.	11,530 SQ.FT.
TOTAL 1	19,263 SQ.FT.		25,960 SQ.FT.	45,223 SQ.FT.
AREAS NO	T INCLUDED IN GROSS	SQUARE FOOTAGE TO	DTALS	
PARKING, IN BASEMENT	6,125 SQ.FT.		18,085 SQ.FT.	24,210 SQ.FT.
OTHER: BICYCLE PARKING			699 SQ.FT.	699 SQ.FT.
OTHER: BUILDING SERVICES			1,266 SQ.FT.	1,266 SQ.FT.
TOTAL 2	6,125 SQ.FT.		20,050 SQ.FT.	26,175 SQ.FT.
GRAND TOTAL (TOTAL 1 + TOTAL 2)	25,388 SQ.FT.		46,010 SQ.FT.	71,398 SQ.FT.

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Project No. 07-018

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March 17, 2017

April 28, 2017 Additional Information

Requested by Planning

Revision

November 21, 2017

Additional Information

Requested by Planning/EE

Revision July 12, 2018

Revisions per Owner

Revision

September 24, 2018 Additional Information Requested by Planning

December 31, 2018
Revisions per Planning
Commission Approval

Planning Information

Scale: None

A0.2a

PLANNING CODE ANALYSIS TABLE

CODE SECTION	ZONING CATEGORY	REQUIRED / ALLOWED	PROVIDED / PROPOSED	COMMENTS
SFPC MAP ZN03	ZONING MAP	SACRAMENTO STREET NCD	RESIDENTIAL AND COMMERCIAL USE	
SFPC 724, 121.1(b)	PERMITTED USE	PERMITTED RESIDENTIAL, COMMERCIAL USES	RESIDENTIAL AND COMMERCIAL USE; ACESSORY PARKING; COMMON USABLE OPEN SPACE (RESIDENTIAL)	
SFPC 724	HEIGHT AND BULK LIMIT	40 - X	40'-0" MAXIMUM HEIGHT TO ROOF, MEASURED FROM CENTERLINE OF PROPERTY	
SFPC 724	LOT SIZE	LOT AREA 5,000 SQ.FT. AND GREATER REQUIRES CONDITIONAL USE AUTHORIZATION	14,585.34 SQ.FT. LOT AREA	CONDITIONAL USE APPLICATION SUBMITTED PER SFPC 303(c)
SFPC 724 SFPC 724	USE SIZE (NON-RESIDENTIAL)	PERMITTED UP TO 2,499 SQ.FT. GROSS FLOOR AREA FOR EACH INDIVIDUAL USE; CONDITIONAL USE REQUIRED 2,500 SQ.FT. AND ABOVE (SECTION 121.2 (a)) RETAIL: PERMITTED ON GROUND LEVEL, BUT EXCEEDS PERMITTED GROSS FLOOR AREA	GROUND LEVEL RETAIL: 6,555 SQ.FT. GROSS	CONDITIONAL USE APPLICATION SUBMITTED PER SFPC 303(c)
SFPC 724		MEDICAL / DENTAL SERVICE: PERMITTED ON SECOND LEVEL AND ABOVE	SECOND LEVEL MEDICAL / DENTAL: 9,976 SQ.FT. GROSS	
SFPC 724	F.A.R.	1.8 TO 1 1.8 X 14,585.34 SQ.FT. = 26,253.612 SQ.FT. ALLOWABLE GROSS FLOOR AREA	RESIDENTIAL: F.A.R. DOES NOT APPLY TO RESIDENTIAL COMMERCIAL: 16,531 SQ.FT. / 14,585.34 SQ.FT. = 1.13 F.A.R.	
SFPC 724	DWELLING UNIT DENSITY	1 DWELLING UNIT PER 800 SQ.FT. OF LOT AREA 14,585.34 SQ.FT. LOT AREA / 800 SQ.FT. = 18 UNITS ALLOWED	18 DWELLING UNITS PROVIDED	
SFPC 724	USABLE OPEN SPACE	PER UNIT, 100 SQ.FT. IF PRIVATE OR 133 SQ.FT. IF COMMON USABLE OPEN SPACE 18 UNITS X 133 SQ.FT. = 2,394 SQ.FT. COMMON USABLE OPEN SPACE REQUIRED	2,734 SQ.FT. COMMON USABLE OPEN SPACE PROVIDED AT REAR YARD. 53 SQ.FT. PRIVATE OPEN SPACE PROVIDED AT UNIT 401.	
SFPC 724	REAR YARD	LOT COVERAGE: MINIMUM REAR YARD DEPTH AT 25% LOT DEPTH (SECTION 134(a)(1)): LOT DEPTH = 132.594' 25% LOT DEPTH = 33'-2"	33'-2" REAR YARD DEPTH (25% LOT DEPTH)	
		REAR YARD REQUIRED AT GRADE LEVEL AND ABOVE. MAY MODIFY REQUIREMENTS BY SUBMITTING VARIANCE APPLICATION FOR A REAR YARD MODIFICATION IN NC DISTRICTS (SECTION 134(e)) AS ALLOWED PER SECTION 136(c)(26): UNDERGROUND PARKING GARAGE, IF TOP SURFACE IS DEVELOPED AS USABLE OPEN SPACE, PROVIDED IT DOES NOT OCCUPY ANY AREA WITHIN REAR 15' OF LOT DEPTH.	REAR YARD PROVIDED AT GRADE LEVEL AND ABOVE. TOP SURFACE OF UNDERGROUND PARKING GARAGE IS DEVELOPED AS USABLE OPEN SPACE. UNDERGROUND PARKING GARAGE LEVEL IS WITHIN 15' OF REAR PROPERTY LINE.	VARIANCE APPLICATION SUBMITTED TO REQUEST REAR YARD MODIFICATION
		REAR YARD REQUIRED AT GRADE LEVEL AND ABOVE IN NC DISTRICTS (SECTION 134(e)) AS ALLOWED PER SECTION 136(c)(24)(A): DECKS, AT OR BELOW THE ADJACENT FIRST FLOOR OF OCCUPANCY, IF DEVELOPED AS USABLE OPEN SPACE AND IF A DOWNSLOPE OF 15% OR LESS, SHALL NOT EXCEED A HEIGHT OF 3' ABOVE GRADE AT ANY POINT IN THE REQUIRED OPEN AREA	USABLE OPEN SPACE IS AT GRADE.	
		PER SECTION 136(c)(15), RAILINGS NO MORE THAN 3'-6" IN HEIGHT ABOVE ANY PERMITTED DECK OR ABOVE THE SURFACE OF ANY OTHER PERMITTED STRUCTURE IN THE REQUIRED OPEN AREA	REAR YARD PERIMETER WALL ON DOWNSLOPING LOT DOES NOT EXCEED 3'-6" IN HEIGHT WHERE A RETAINING WALL IS REQUIRED AT HIGHER EXISTING ADJACENT REAR YARDS.	
SFPC 139	BIRD-SAFE BUILDINGS	LOCATION-RELATED HAZARDS: BUILDINGS WITHIN 300' OF AN URBAN BIRD REFUGE.	NOT APPLICABLE; BUILDING IS NOT WITHIN 300' OF AN URBAN BIRD REFUGE.	
		FEATURE-RELATED HAZARDS: INCLUDE FREE-STANDING GLASS WALLS, WIND BARRIERS, SKYWALKS, BALCONIES, AND GREENHOUSES ON ROOFTOPS THAT HAVE UNBROKEN GLAZED SEGMENTS 24 SQ.FT. AND LARGER IN SIZE.	BALCONY GUARDRAILS SHALL COMPLY WITH BIRD-SAFE GLAZING STANDARDS.	

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Planning Department Notes

Scale: None

A0.2b

PLANNING CODE ANALYSIS TABLE (Continued)

CODE SECTION	ZONING CATEGORY	REQUIRED / ALLOWED	PROVIDED / PROPOSED	COMMENTS
SFPC 724; 151.1	OFF-STREET PARKING (RESIDENTIAL)	1 SPACE PER DWELLING UNIT 18 UNITS = 18 SPACES MINIMUM REQUIRED	18 SPACES PROVIDED ON PARKING LEVEL P2	
SFPC 724; 151.1	OFF-STREET PARKING (COMMERCIAL)	OTHER RETAIL: 1 SPACE / 500 SQ.FT. OF OCCUPIED FLOOR AREA UP TO 20,000 SQ.FT. WHERE OCCUPIED FLOOR AREA EXCEEDS 5,000 SQ.FT. (TABLE 151)	GROUND LEVEL RETAIL: 8 SPACES PROVIDED ON PARKING LEVEL P1	PARKING EXEMPTION REQUEST
		GROUND LEVEL RETAIL = 6,321 SQ.FT. OCCUPIED 6,321 SQ.FT. / 500 SQ.FT. = 13 SPACES MINIMUM REQUIRED	SECOND LEVEL MEDICAL / DENTAL: 24 SPACES PROVIDED ON PARKING LEVELS P1 AND P2	
		MEDICAL OR DENTAL: 1 SPACE / 300 SQ.FT. OF OCCUPIED FLOOR AREA WHERE OCCUPIED FLOOR AREA EXCEEDS 5,000 SQ.FT. (TABLE 151)	32 SPACES PROVIDED ON PARKING LEVELS P1 AND P2 TO BE OPERATED AS IN / OUT PAID SHORT-TERM PARKING, PUBLIC	
		SECOND LEVEL MEDICAL / DENTAL = 9,574 SQ.FT. OCCUPIED 9,574 SQ.FT. / 300 SQ.FT. = 32 SPACES MINIMUM REQUIRED	PARKING GARAGE (AS DEFINED UNDER SF PLANNING CODE SECTION 102)	
SFPC 102; 303(t)	PARKING GARAGE, PUBLIC	AS DEFINED BY SF PLANNING CODE SECTION 102, A RETAIL AUTOMOTIVE USE THAT PROVIDES TEMPORARY PARKING ACCOMMODATIONS FOR AUTOMOBILES, TRUCKS, VANS, BICYCLES, OR MOTORCYCLES IN A GARAGE OPEN TO THE GENERAL PUBLIC, WITHOUT	PROPOSED FOR IN / OUT PAID SHORT-TERM RETAIL AND MEDICAL / DENTAL PARKING ON PARKING LEVELS P1 AND P2	CONDITIONAL USE APPLICATION SUBMITTED PER SFPC 303(c) & 303(t)
		PARKING OF RECREATIONAL VEHICLES, MOBILE HOMES, BOATS, OR OTHER VEHICLES, OR STORAGE OF VEHICLES, GOODS, OR EQUIPMENT. PROVISIONS REGULATING AUTOMOBILE PARKING ARE SET FORTH IN SECTIONS 155, 156, 303(t) OR (u) AND OTHER PROVISIONS OF ARTICLE 1.5 OF THE SF PLANNING CODE.	1 CAR-SHARE PARKING SPACE PROVIDED ON PARKING LEVEL P1	
SFPC 166	CAR-SHARING	RESIDENTIAL: NONE REQUIRED FOR 0 - 49 UNITS	NONE PROVIDED	
		COMMERCIAL: 1 CAR-SHARE PARKING SPACE REQUIRED FOR 25 - 49 SPACES FOR NON-RESIDENTIAL USES	1 CAR-SHARE PARKING SPACE PROVIDED ON PARKING LEVEL P1	
SFPC 724; 150	OFF-STREET FREIGHT LOADING	RESIDENTIAL: 0 OFF-STREET FREIGHT LOADING SPACES REQUIRED WHERE GROSS FLOOR AREA IS 0 - 100,000 SQ.FT. (TABLE 152) THIRD & FOURTH LEVEL RESIDENTIAL = 15,911 SQ.FT. OCCUPIED; NONE REQUIRED	NONE PROVIDED	
		RETAIL: 0 OFF-STREET FREIGHT LOADING SPACES REQUIRED WHERE GROSS FLOOR AREA IS 0 - 10,000 SQ.FT. (TABLE 152) GROUND LEVEL RETAIL = 6,321 SQ.FT. OCCUPIED; NONE REQUIRED		
		MEDICAL / DENTAL: 0 OFF-STREET FREIGHT LOADING SPACES REQUIRED WHERE GROSS FLOOR AREA IS 0 - 100,000 SQ.FT. (TABLE 152) SECOND LEVEL MEDICAL / DENTAL = 9,574 SQ.FT. OCCUPIED; NONE REQUIRED		
SFPC 155.2	BICYCLE PARKING (COMMERCIAL), CLASS 1	GROUND LEVEL RETAIL: 1 SPACE / 7,500 SQ.FT. OCCUPIED FLOOR AREA 6,321 SQ.FT. / 7,500 SQ.FT. = 1 SPACE REQUIRED	1 SPACE + 2 SPACES + 0 SPACES = 3 SPACES REQUIRED 3 CLASS 1 BICYCLE LOCKERS PROVIDED ON PARKING LEVEL P1	
		SECOND LEVEL MEDICAL / DENTAL: 1 SPACE / 5,000 SQ.FT. OCCUPIED FLOOR AREA 9,574 SQ.FT. / 5,000 SQ.FT. = 2 SPACES REQUIRED		
		PRIVATE PARKING GARAGE: NONE REQUIRED		
	BICYCLE PARKING (COMMERCIAL), CLASS 2	GROUND LEVEL RETAIL: MINIMUM 2 SPACES; 1 SPACE FOR EVERY 2,500 SQ.FT. OCCUPIED FLOOR AREA 6,321 SQ.FT. / 2,500 SQ.FT. = 3 SPACES REQUIRED	3 SPACES + 4 SPACES + 6 SPACES = 13 SPACES REQUIRED 13 CLASS 2 SPACES PROVIDED AT 7 SIDEWALK RACKS	
		SECOND LEVEL MEDICAL / DENTAL: 1 SPACE FOR EVERY 15,000 SQ.FT. OCCUPIED FLOOR AREA, BUT NO LESS THAN 4 SPACES 9,574 SQ.FT. / 15,000 SQ.FT. = 1 SPACE; MIN. 4 SPACES REQUIRED	13 CLASS 2 SPACES PROVIDED AT 7 RACKS ON PARKING LEVEL P1	
		PRIVATE PARKING GARAGE: 1 SPACE FOR EVERY 20 CAR SPACES, BUT NO LESS THAN 6 SPACES 32 SPACES / 20 = 2 SPACES; MIN. 6 SPACES REQUIRED		
SFPC 155.2	BICYCLE PARKING (RESIDENTIAL), CLASS 1	1 SPACE FOR EVERY DWELLING UNIT 18 UNITS = 18 SPACES REQUIRED	18 SPACES PROVIDED IN LOCKABLE ENCLOSURE ON PARKING LEVEL P2	
	BICYCLE PARKING (RESIDENTIAL), CLASS 2	1 SPACE PER 20 UNITS 18 UNITS = 1 SPACE REQUIRED	1 SPACE PROVIDED AT 1 SIDEWALK RACK	

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Project No. 07-018

March 17, 2017

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November 21, 2017 Additional Information Requested by Planning/EE

July 12, 2018

Revisions per Owner

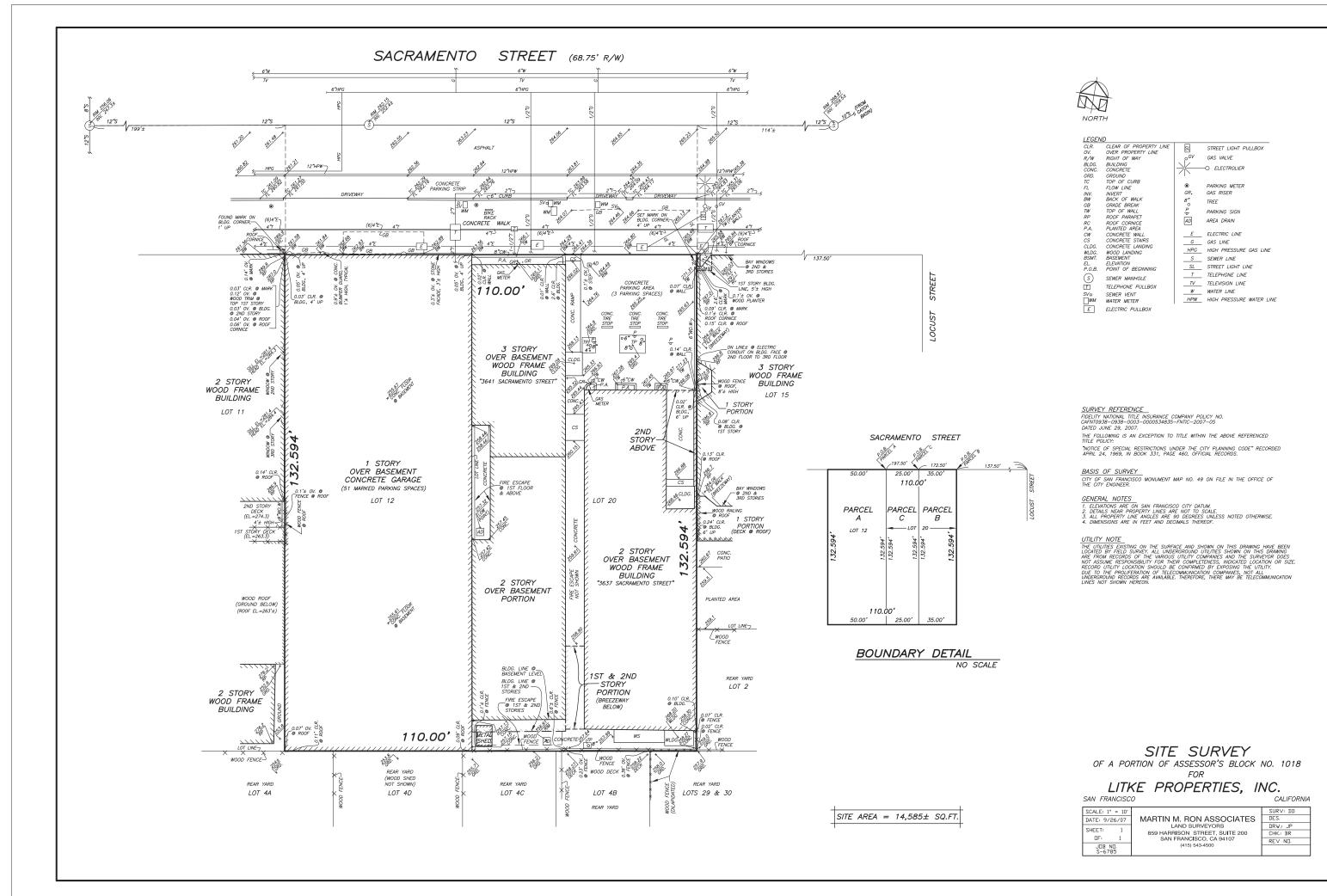
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Planning Department Notes

Scale: None

A0.2c



SACRAMENTO STREET



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Existing Block Diagram

Scale: 1/32" = 1'-0"

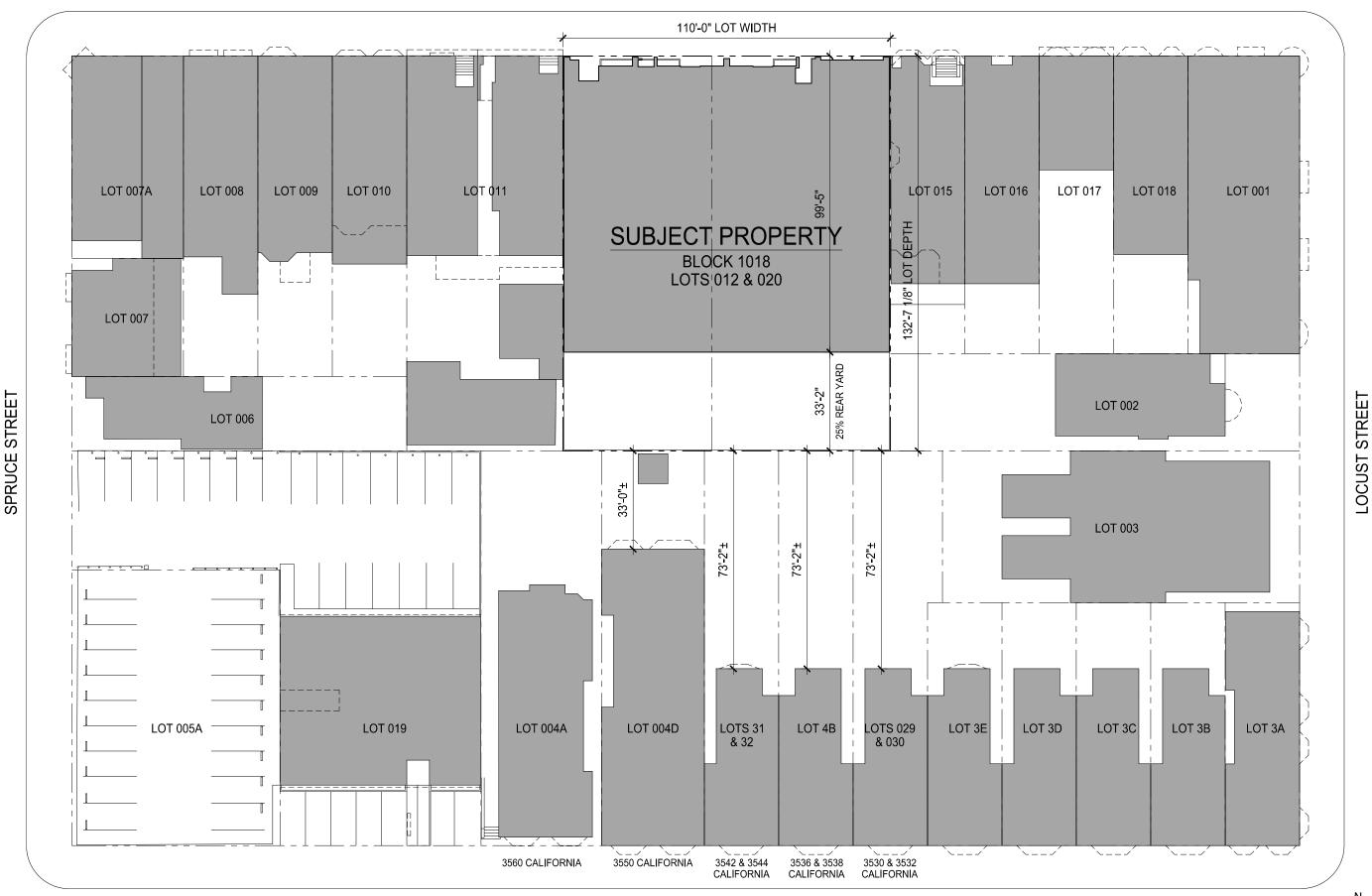
A0.2d

CALIFORNIA STREET

EXISTING BLOCK DIAGRAM

SCALE: 1/32" = 1'-0"

SACRAMENTO STREET



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Proposed Block Diagram

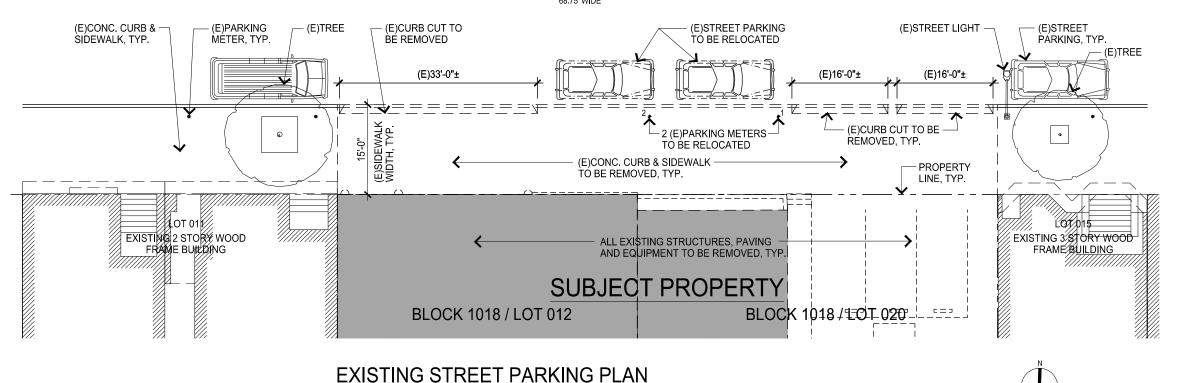
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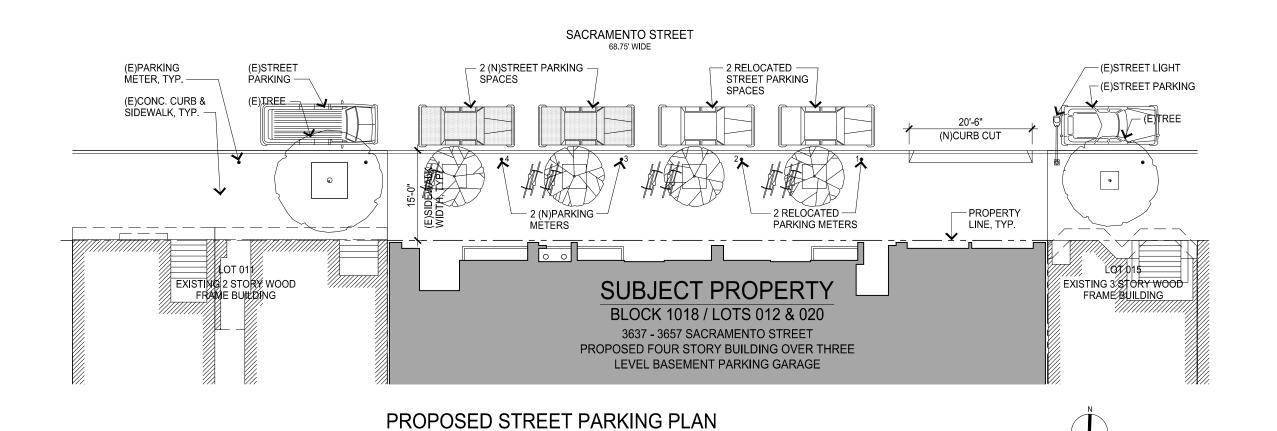
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CALIFORNIA STREET

PROPOSED BLOCK DIAGRAM
SCALE: 1/32" = 1'-0"

SACRAMENTO STREET 68.75' WIDE





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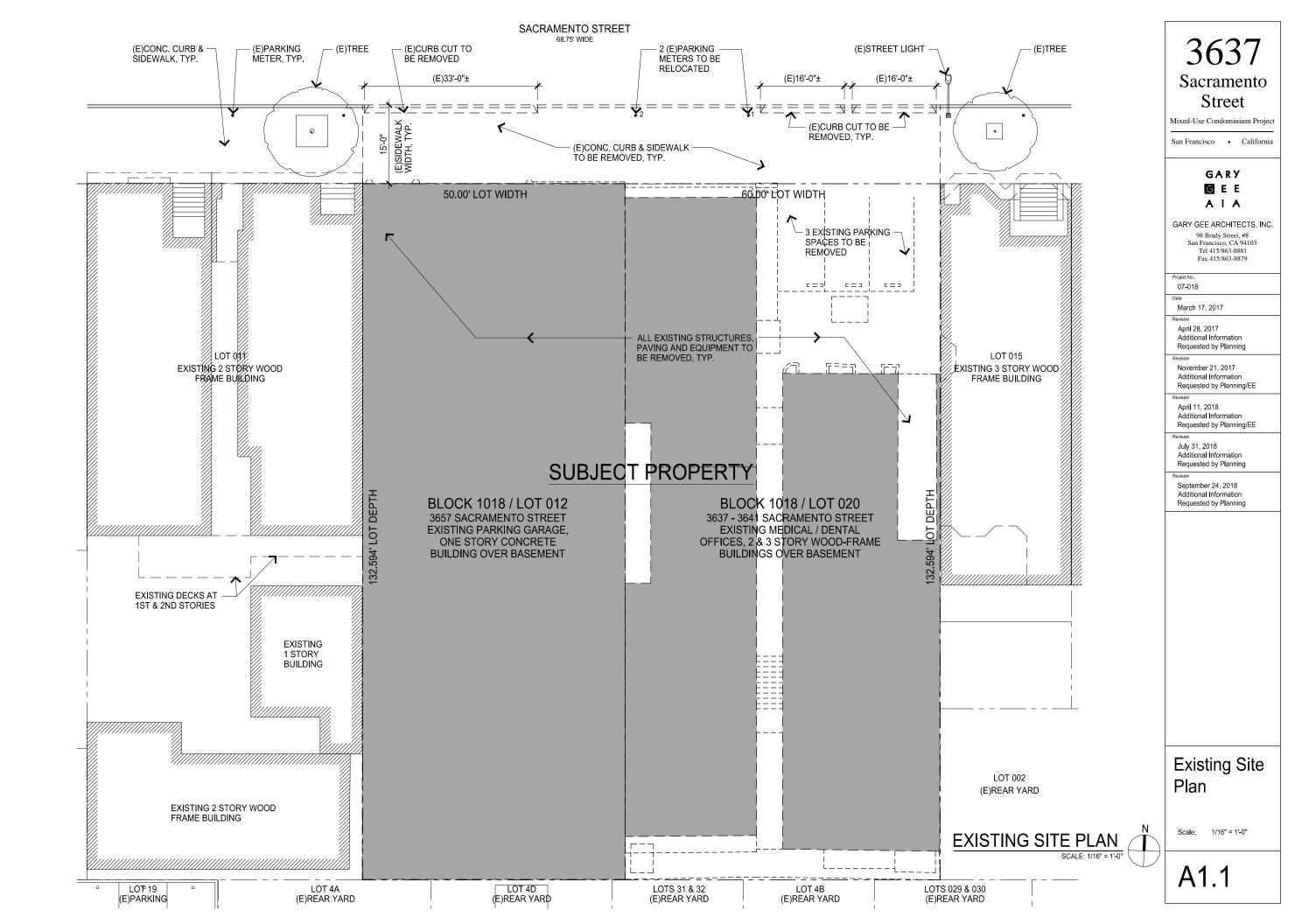
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Street **Parking** Diagrams

Scale: 1/16" = 1'-0"

A0.2f





3637 Sacramento Street Mixed-Use Condominium Project San Francisco • California February 17, 2017 September 24, 2018 Additional Information Requested by Planning

> As-Built Drawings: 3637 Sacramento

Scale: 1/16" = 1'-0"

EX1.0

SACRAMENTO STREET FACADE

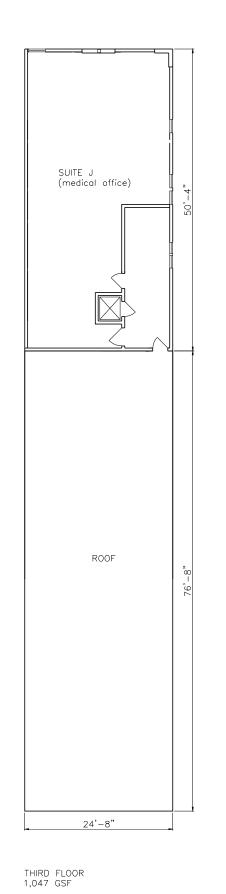
AS-BUILT ELEVATION SCALE: 1/16" = 1'-0" **BASEMENT**

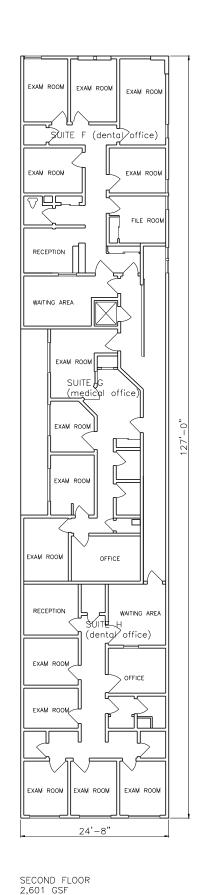
SECOND

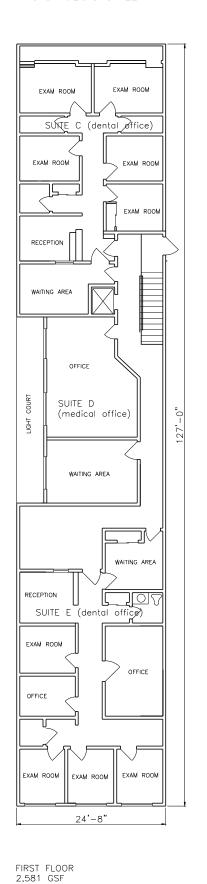
AS-BUILT FLOOR PLANS

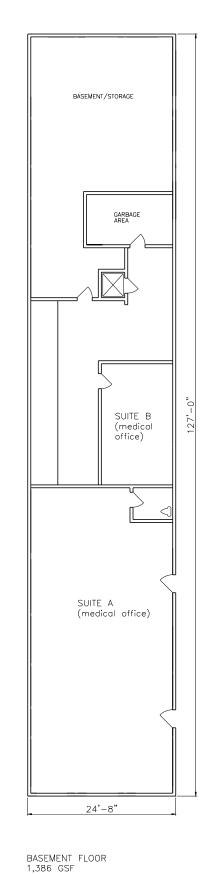
SUITE C (medical office)

WAITING AREA









As-Built Drawings: 3641 Sacramento

Scale: 1/16" = 1'-0"

EX2.0

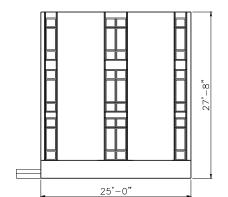
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SACRAMENTO STREET FACADE

AS-BUILT ELEVATION

AS-BUILT FLOOR PLANS

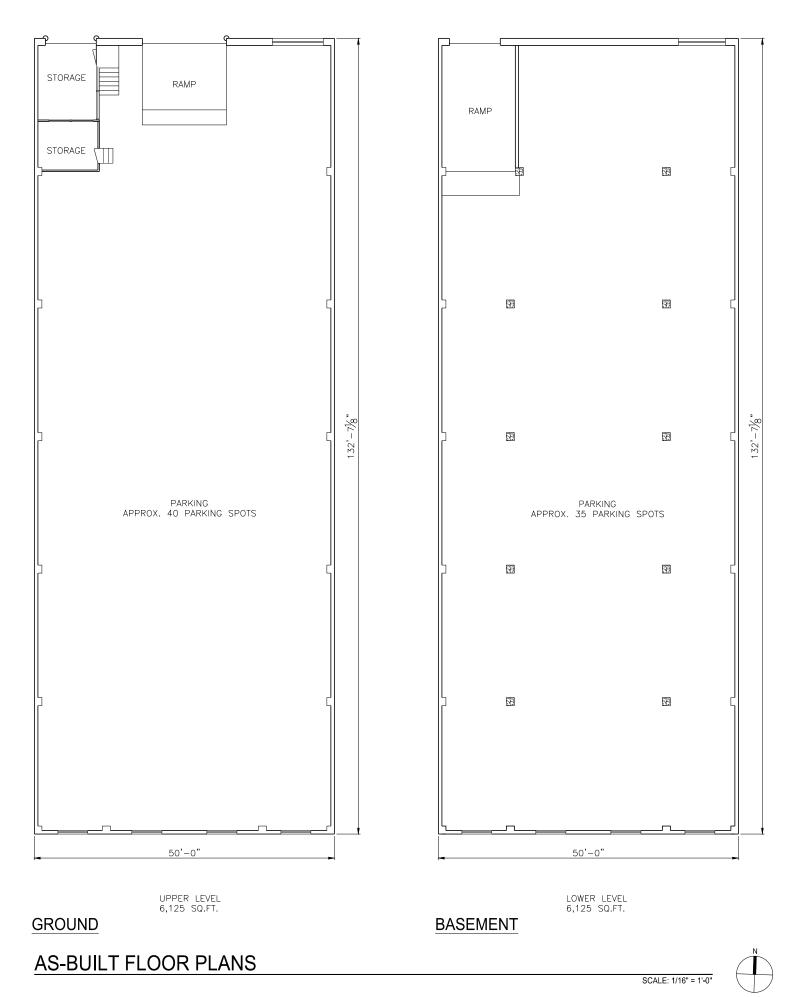
THIRD

SECOND

GROUND

BASEMENT





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As-Built Drawings: 3657 Sacramento

Scale: 1/16" = 1'-0"

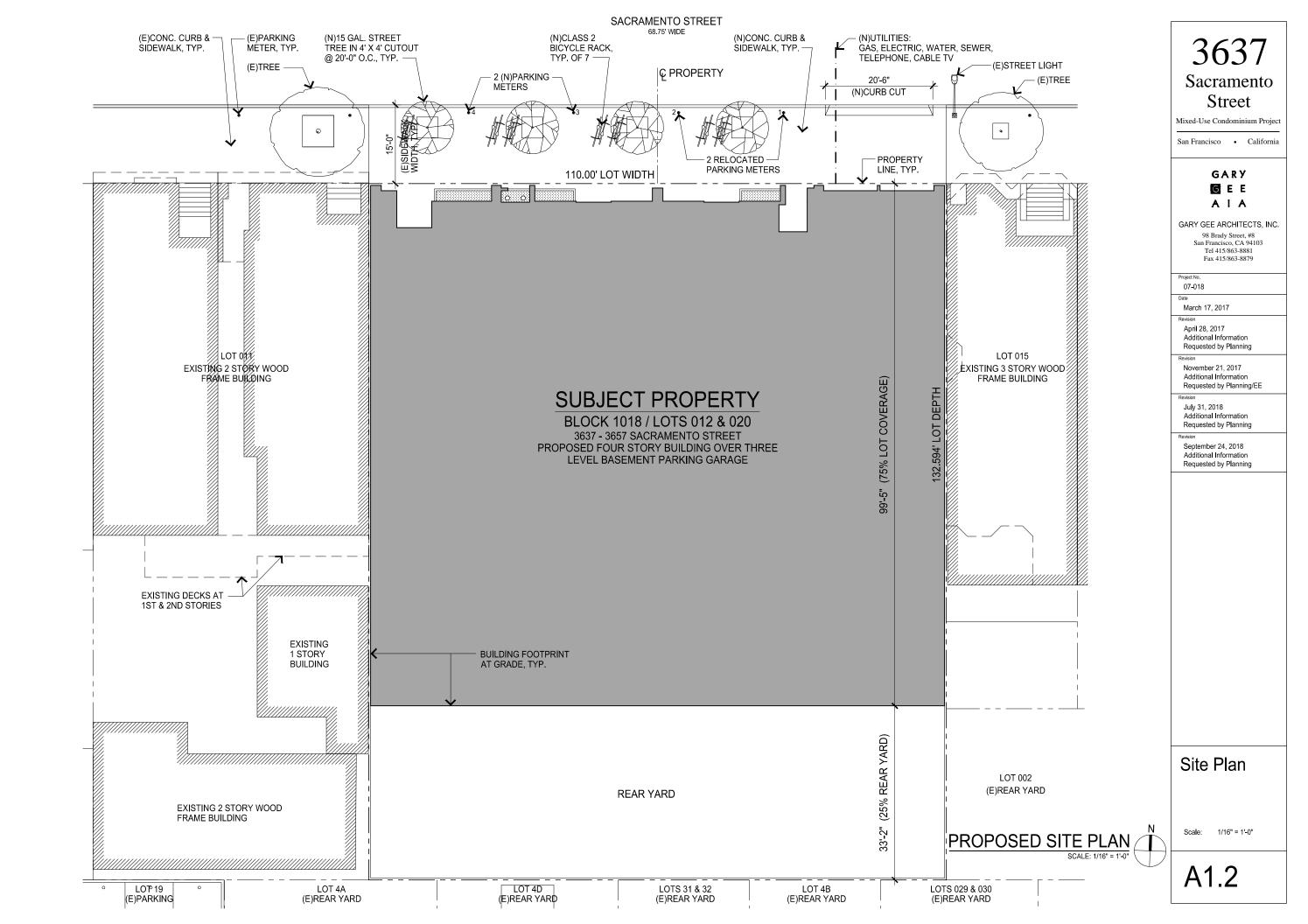
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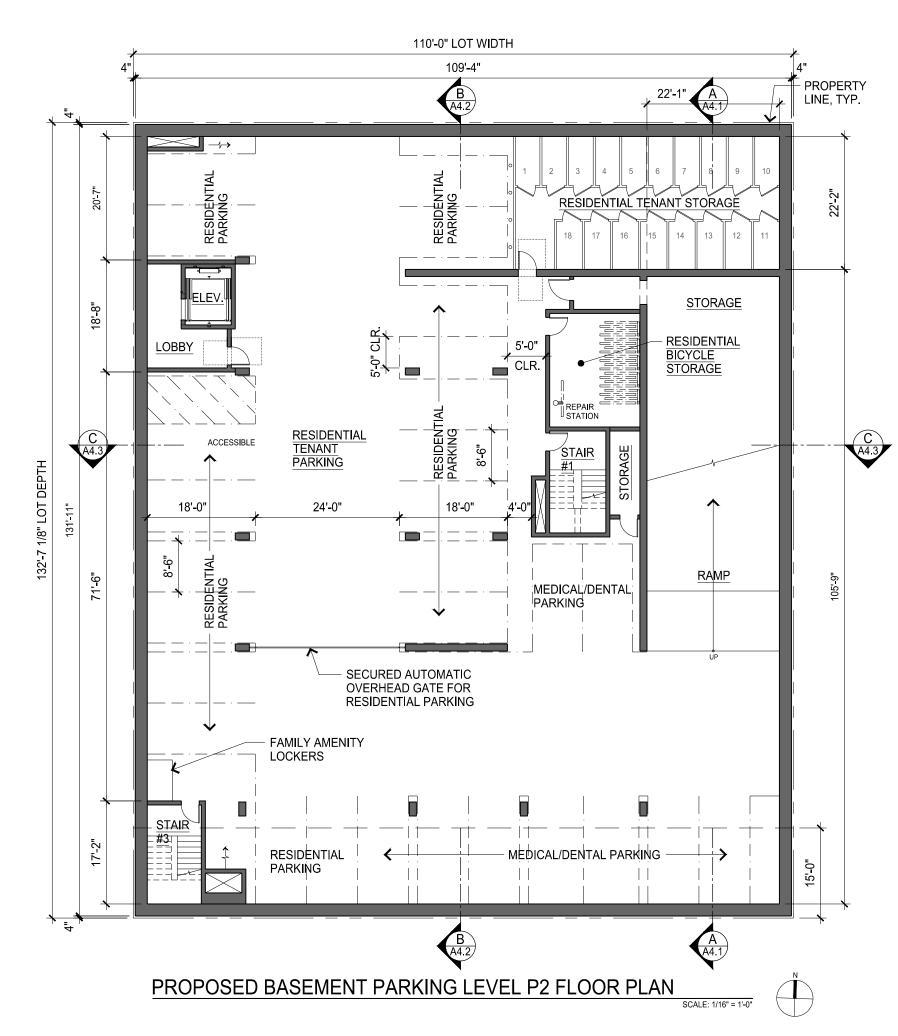
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SACRAMENTO STREET FACADE

AS-BUILT ELEVATION

SCALE: 1/16" = 1'-0"





PARKING LEVEL P2

OFF-STREET AUTOMOBILE PARKING, RESIDENTIAL AND MEDICAL / DENTAL:

	ACCESSIBLE	STANDARD	COMPACT	TOTAL
PARKING LEVEL P2	1	26	0	27

	PLANNING CODE REQUIRED	ACCESSORY	P2 TOTAL PROVIDED
RESIDENTIAL	18	0	18
MEDICAL / DENTAL	32	0	9
TOTAL	50	0	27

BICYCLE PARKING, RESIDENTIAL:

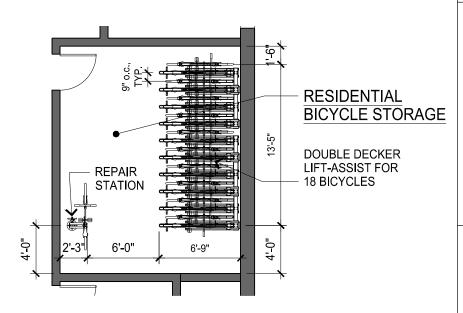
	CLASS 1	CLASS 2	TOTAL
PARKING LEVEL P2			
LOCKABLE ENCLOSURE	18	0	18

GROSS FLOOR AREA PER PLANNING CODE DEFINITION: RESIDENTIAL STORAGE, LOBBY, 2,819 SQ.FT. STAIRS, CORRIDORS, WALLS, ETC.

FLOOR AREA NOT INCLUDED IN CALCULATIONS:

AUTOMOBILE PARKING 11,051 SQ.FT. * OCCUPIED AREA **BICYCLE PARKING** 285 SQ.FT. * OCCUPIED AREA **BUILDING SERVICES** 226 SQ.FT.

*REFER TO SHEET A0.2a FOR DEFINITION OF OCCUPIED FLOOR AREA



ENLARGED FLOOR PLAN: RESIDENT BICYCLE STORAGE



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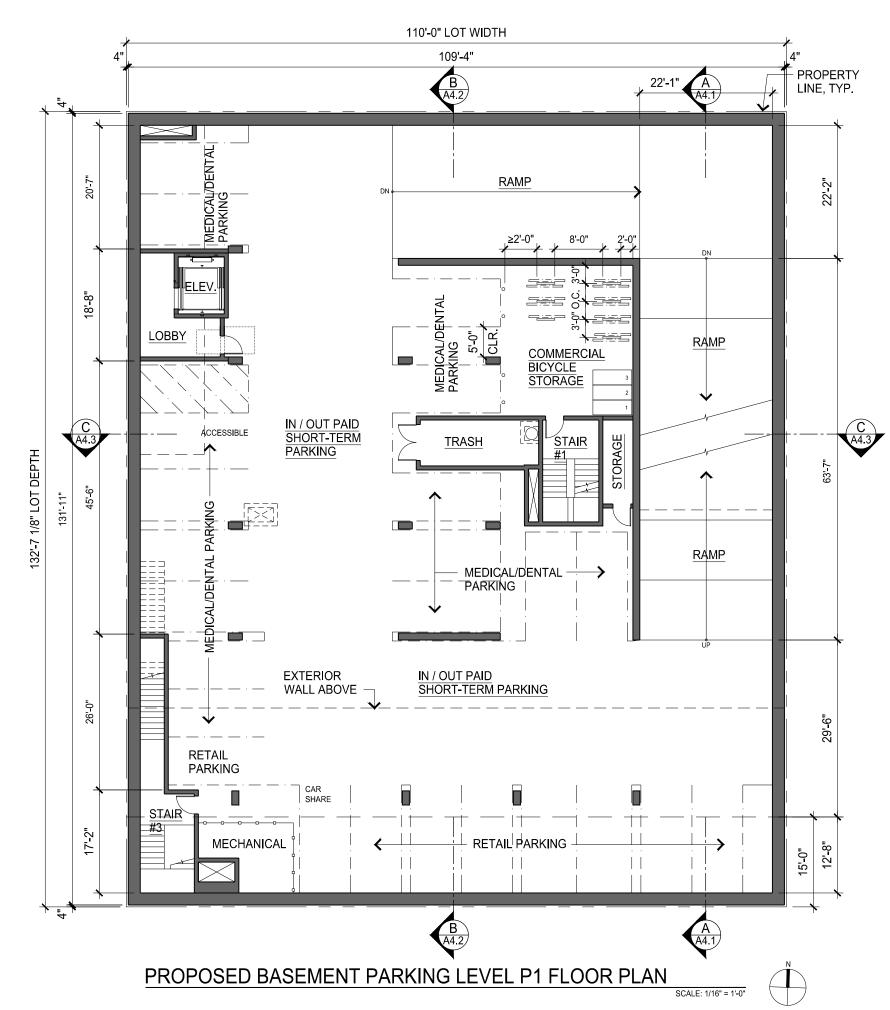
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Basement Parking Level P2 Floor Plan

Scale: As noted



PARKING LEVEL P1

OFF-STREET AUTOMOBILE PARKING, COMMERCIAL:

	ACCESSIBLE	STANDARD	COMPACT	TOTAL
PARKING LEVEL P1	1	19	3	23

CAR-SHARE PARKING (Per Table 166) REQUIRED FOR NON-RESIDENTIAL USES:

- 1 SPACE REQUIRED (1 SPACE / 25-49 PARKING SPACES)
- 1 SPACE PROVIDED, LOCATED ON PARKING LEVEL P1

(NOT INCLUDED IN THE TOTAL COMMERCIAL PARKING SPACE COUNT)

	PLANNING CODE REQUIRED	ACCESSORY	P1 TOTAL PROVIDED
RETAIL	13	0	8
MEDICAL / DENTAL	32	0	15
TOTAL	45	0	23

BICYCLE PARKING, COMMERCIAL:

	CLASS 1	CLASS 2	TOTAL
PARKING LEVEL P1	3 LOCKERS	7 RACKS	17

GROSS FLOOR AREA PER PLANNING CODE DEFINITION: LOBBY, STAIRS, CORRIDORS, 1,843 SQ.FT. WALLS, ETC.

FLOOR AREA NOT INCLUDED IN CALCULATIONS:

11,654 SQ.FT. * OCCUPIED AREA **AUTOMOBILE PARKING** BICYCLE PARKING 414 SQ.FT. * OCCUPIED AREA

BUILDING SERVICES 442 SQ.FT.

*REFER TO SHEET A0.2a FOR DEFINITION OF OCCUPIED FLOOR AREA **REFER TO SHEET A0.2a FOR DEFINITION OF GROSS FLOOR AREA

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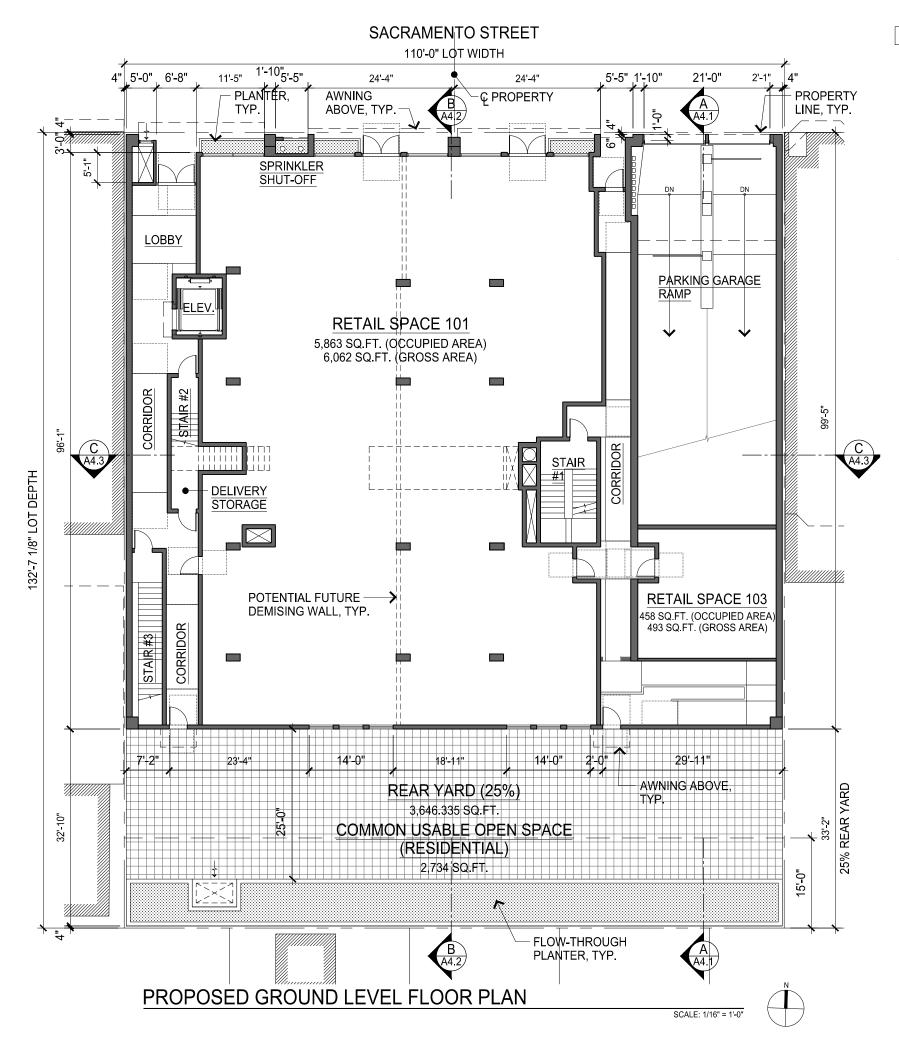
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Basement Parking Level P1 Floor Plan

Scale: 1/16" = 1'-0"



GROUND FLOOR LEVEL

GROSS FLOOR AREA PER PLANNING CODE DEFINITION:

RETAIL M USE 6,555 SQ.FT. LOBBY, STAIRS, CORRIDORS, 1,325 SQ.FT.

WALLS, ETC.

1,020 0 4...

TOTAL GROSS FLOOR AREA

7,880 SQ.FT. **

FLOOR AREA NOT INCLUDED IN CALCULATIONS:

AUTOMOBILE DRIVE RAMP

1,505 SQ.FT. * OCCUPIED AREA

*REFER TO SHEET A0.2a FOR DEFINITION OF OCCUPIED FLOOR AREA
**REFER TO SHEET A0.2a FOR DEFINITION OF GROSS FLOOR AREA

RESIDENTIAL COMMON OPEN SPACE AT REAR YARD:
REQUIREMENTS FOR 18 RESIDENTIAL UNITS:
100 SQ.FT. x 1.33 PER UNIT FOR COMMON USABLE OPEN SPACE
18 UNITS x 100 SQ.FT. x 1.33 = 2,394 SQ.FT. REQUIRED

PROVIDED: 2,734 SQ.FT.

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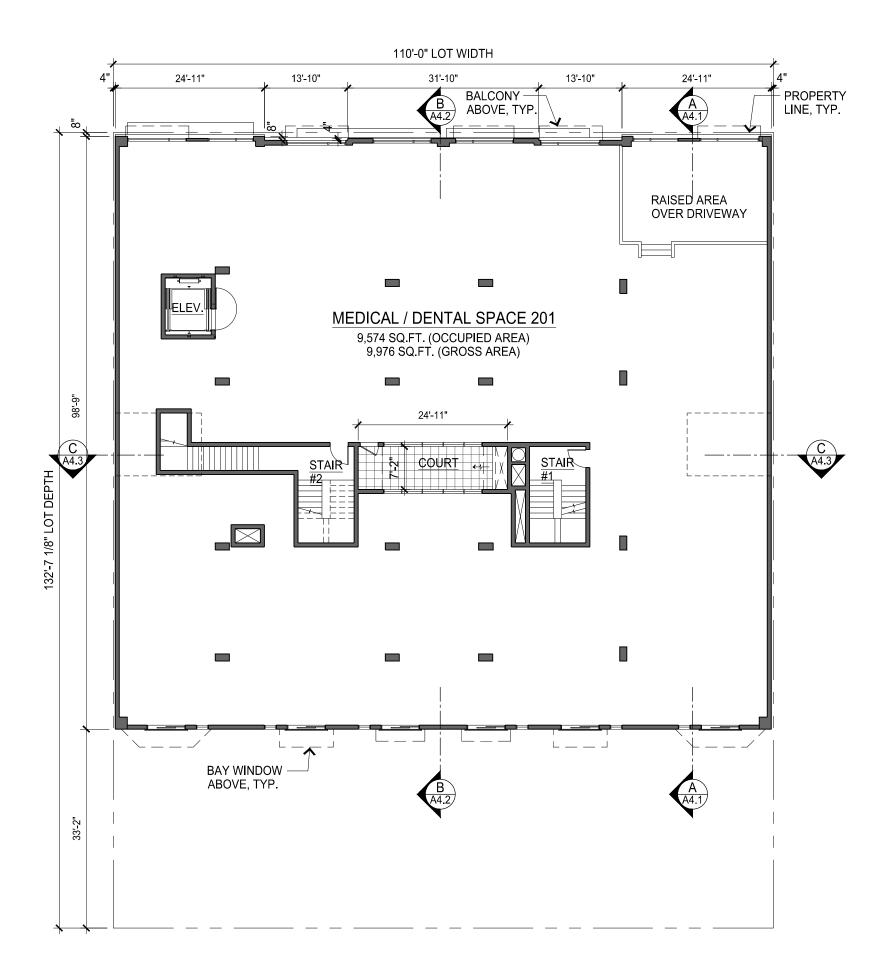
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Ground Level Floor Plan

Scale: 1/16" = 1'-0"



SECOND FLOOR LEVEL

GROSS FLOOR AREA PER PLANNING CODE DEFINITION: MEDICAL / DENTAL USE 9,976 SQ.FT. STAIRS, CORRIDORS, WALLS, ETC. 557 SQ.FT. TOTAL GROSS FLOOR AREA 10,533 SQ.FT.

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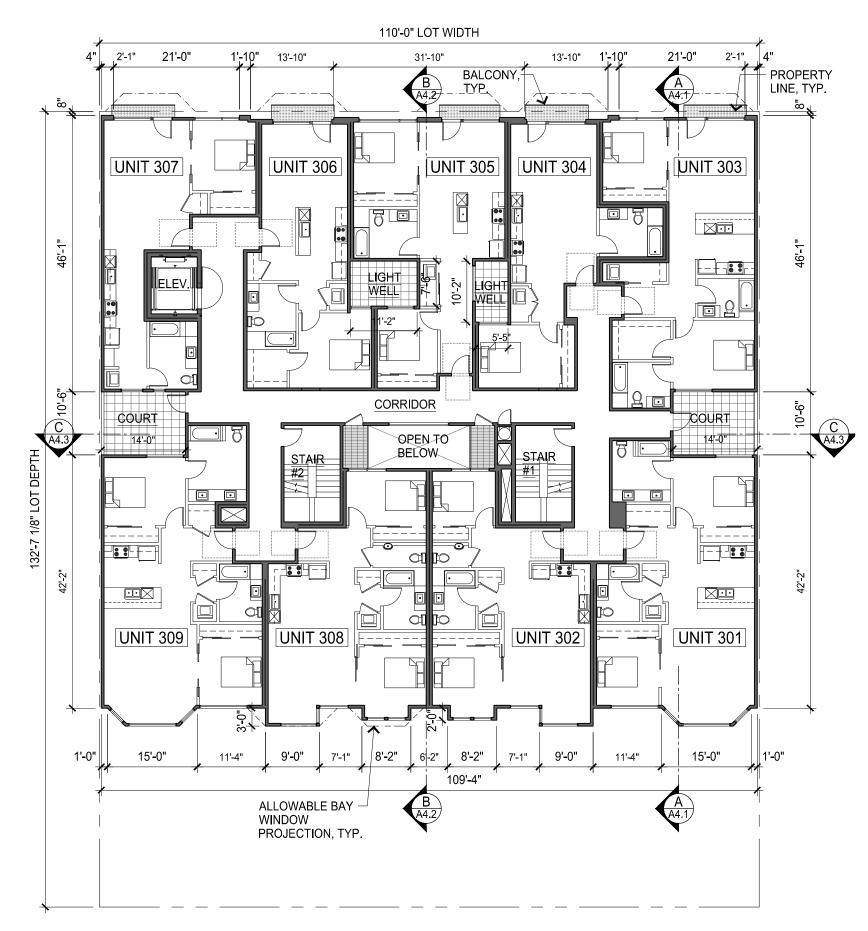
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Second Level Floor Plan

Scale: 1/16" = 1'-0"



THIRD FLOOR LEVEL

THIRD LEVEL UNIT TABULATION:

	BEDROOMS /	OCCUPIED	GROSS
	BATHROOMS	AREA	AREA
UNIT 301	2 BR / 2 BA	1,075 SQ.FT.	1,139 SQ.FT.
UNIT 302	2 BR / 1.5 BA	887 SQ.FT.	955 SQ.FT.
UNIT 303	2 BR / 2 BA	1,005 SQ.FT.	1,085 SQ.FT.
UNIT 304	1 BR / 1 BA	701 SQ.FT.	770 SQ.FT.
UNIT 305	2 BR / 1 BA	841 SQ.FT.	916 SQ.FT.
UNIT 306	1 BR / 1 BA	736 SQ.FT.	786 SQ.FT.
UNIT 307	1 BR / 1 BA	732 SQ.FT.	806 SQ.FT.
UNIT 308	2 BR / 1.5 BA	915 SQ.FT.	982 SQ.FT.
UNIT 309	2 BR / 2 BA	1,086 SQ.FT.	1,157 SQ.FT.
TOTAL		7,977 SQ.FT.	8,596 SQ.FT.

GROSS FLOOR AREA PER PLANNING CODE DEFINITION:

9 RESIDENTIAL UNITS (3 - 1 BRs & 6 - 2 BRs) 8,596 SQ.FT.

STAIRS, CORRIDORS, WALLS, ETC. 1,587 SQ.FT.

TOTAL GROSS AREA 10,183 SQ.FT.

ALLOWED PROJECTIONS:

PER PLANNING CODE SECTION 136(c)(2), BAY WINDOWS AND BALCONIES ARE ALLOWED TO PROJECT THREE FEET (3'-0) OVER STREETS IF SIDEWALK WIDTH IS GREATER THAN NINE FEET (9'-0"). THE MAXIMUM LENGTH OF PROJECTION IS FIFTEEN FEET (15'-0") AT LINE ESTABLISHING REQUIRED OPEN AREA AND REDUCED IN PROPORTION TO 9'-0" BY MEANS OF 45° ANGLES AT A DISTANCE OF 3'-0" FROM THE LINE ESTABLISHING THE REQUIRED OPEN AREA.

PER PLANNING CODE SECTION 136(c)(3)(D), THE AGGREGATE LENGTH OF ALL BAY WINDOWS AND BALCONIES PROJECTING INTO THE REQUIRED OPEN AREA SHALL BE NO MORE THAN 2/3 THE BUILDABLE WIDTH OF THE LOT ALONG A REAR BUILDING WALL.

BUILDABLE WIDTH ALONG REAR WALL: 109'-4" 72'-11" AGGREGATE LENGTH OF BAY WINDOWS AND BALCONIES: 64'-4"

64'-4" = 58.8% OF 109'-4" (BUILDABLE WIDTH ALONG REAR WALL) AND IS LESS THAN 2/3 (66.6%) OF BUILDABLE WIDTH.

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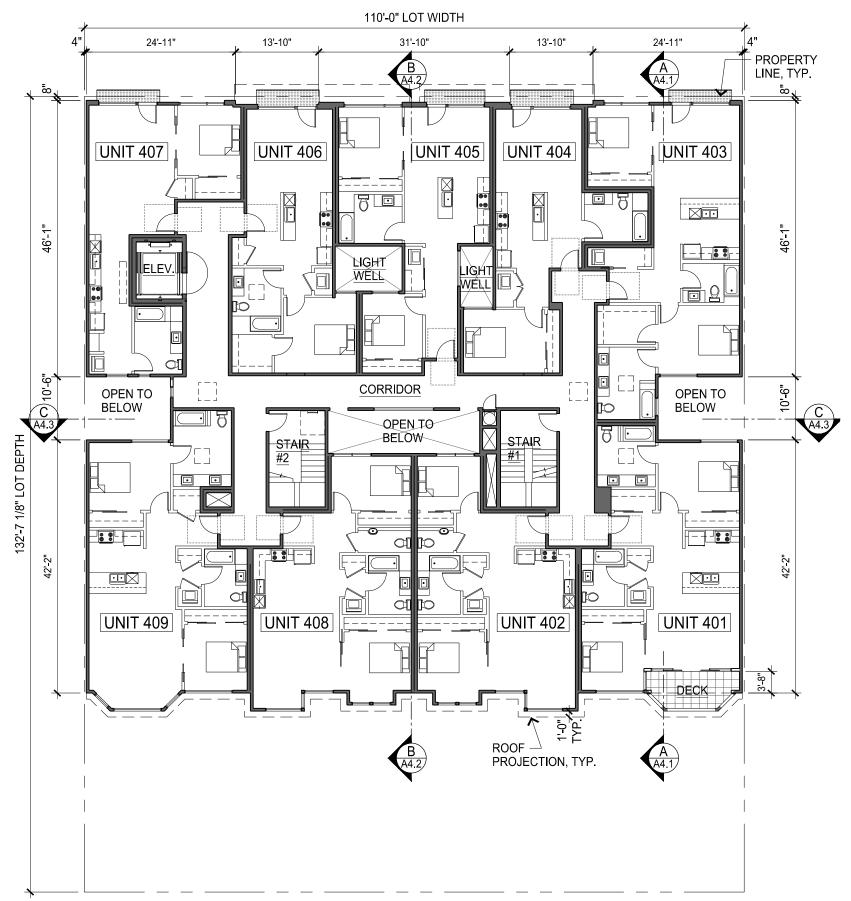
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Third Level Floor Plan

Scale: 1/16" = 1'-0"



FOURTH FLOOR LEVEL

FOURTH LEVEL UNIT TABULATION:

	BEDROOMS /	OCCUPIED	GROSS
	BATHROOMS	AREA	AREA
UNIT 401	2 BR / 2 BA	982 SQ.FT.	1,051 SQ.FT.
UNIT 402	2 BR / 1.5 BA	887 SQ.FT.	955 SQ.FT.
UNIT 403	2 BR / 2 BA	1,054 SQ.FT.	1,141 SQ.FT.
UNIT 404	1 BR / 1 BA	701 SQ.FT.	770 SQ.FT.
UNIT 405	2 BR / 1 BA	841 SQ.FT.	916 SQ.FT.
UNIT 406	1 BR / 1 BA	736 SQ.FT.	786 SQ.FT.
UNIT 407	1 BR / 1 BA	731 SQ.FT.	806 SQ.FT.
UNIT 408	2 BR / 1.5 BA	915 SQ.FT.	982 SQ.FT.
UNIT 409	2 BR / 2 BA	1,086 SQ.FT.	1,157 SQ.FT.
TOTAL		7,934 SQ.FT.	8,564 SQ.FT.

GROSS FLOOR AREA PER PLANNING CODE DEFINITION:

9 RESIDENTIAL UNITS (3 - 1 BRs & 6 - 2 BRs) 8,564 SQ.FT.

STAIRS, CORRIDORS, WALLS, ETC. 1,528 SQ.FT.

TOTAL GROSS AREA 10,092 SQ.FT.

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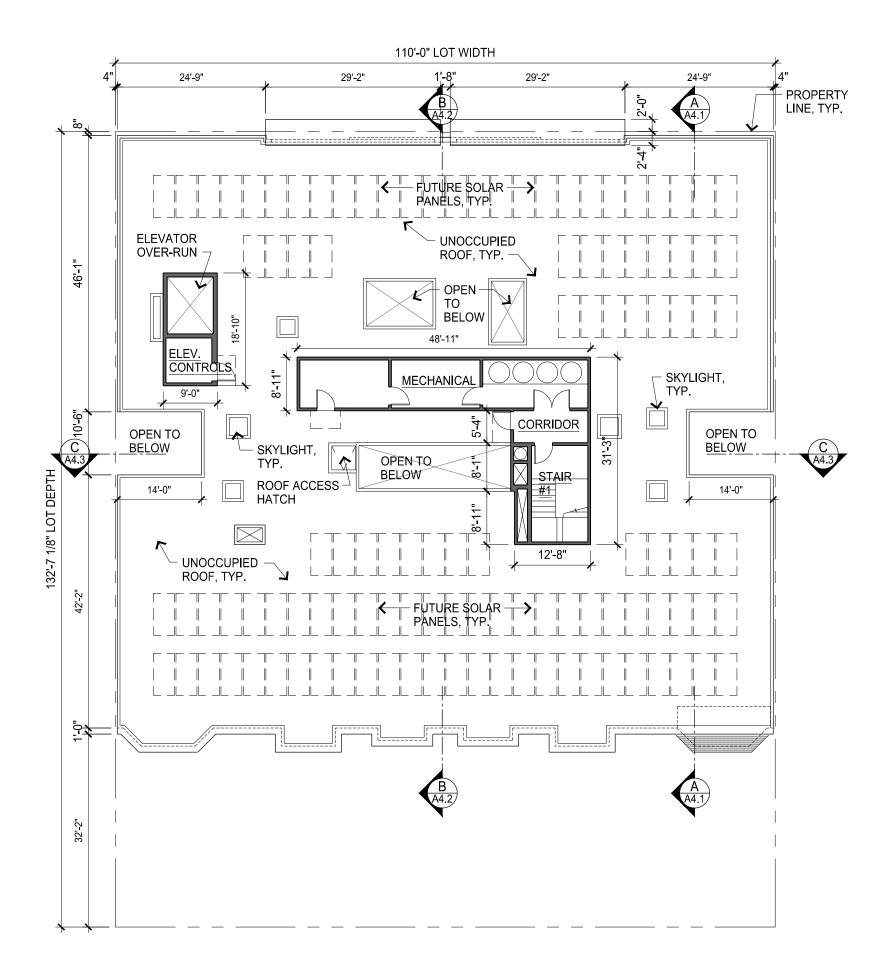
Fourth Level Floor Plan

Scale: 1/16" = 1'-0"

A2.7

PROPOSED FOURTH LEVEL FLOOR PLAN

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PROPOSED ROOF LEVEL FLOOR PLAN



ROOF LEVEL

GROSS FLOOR AREA PER PLANNING CO	DE DEFINITION:
ROOF PENTHOUSE CORRIDOR	77 SQ.FT.
TOTAL GROSS AREA	77 SQ.FT.

FLOOR AREA NOT INCLUDED IN CALCULATIONS:

STAIRS 163 SQ.FT. BUILDING SERVICES 598 SQ.FT.

ROOFTOP PROJECTIONS:

PER SECTION 260.(b)(1), THE SUM OF THE HORIZONTAL AREAS OF ALL ROOFTOP PROJECTIONS SHALL NOT EXCEED 20% OF THE HORIZONTAL AREA OF THE ROOF ABOVE WHICH THEY ARE SITUATED.

TOTAL ROOF AREA 10,953 SQ.FT. 20% OF TOTAL ROOF AREA 2,190 SQ.FT.

ROOFTOP PROJECTIONS:

ELEVATOR PENTHOUSE 169 SQ.FT. STAIR #1 PENTHOUSE 175 SQ.FT. CORRIDOR 77 SQ.FT. MECHANICAL PENTHOUSE 436 SQ.FT. MECHANICAL SHAFTS 62 SQ.FT. **SKYLIGHTS** 237 SQ.FT. ROOF ACCESS HATCH 23 SQ.FT. MECHANICAL EQUIPMENT -- SQ.FT.

TOTAL AREA OF ROOFTOP 1,179 SQ.FT. PROJECTIONS

1,179 SQ.FT. = 10.8% OF 10,953 SQ.FT. (TOTAL ROOF AREA) AND IS LESS THAN 2,190 SQ.FT. (20% OF TOTAL ROOF AREA)

SOLAR PANELS:

3,314 SQ.FT.

3,314 SQ.FT. = 30.3% OF 10,953 SQ.FT. (TOTAL ROOF AREA) AND IS MORE THAN 3,286 SQ.FT. (30%) OF TOTAL ROOF AREA.

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March 17, 2017

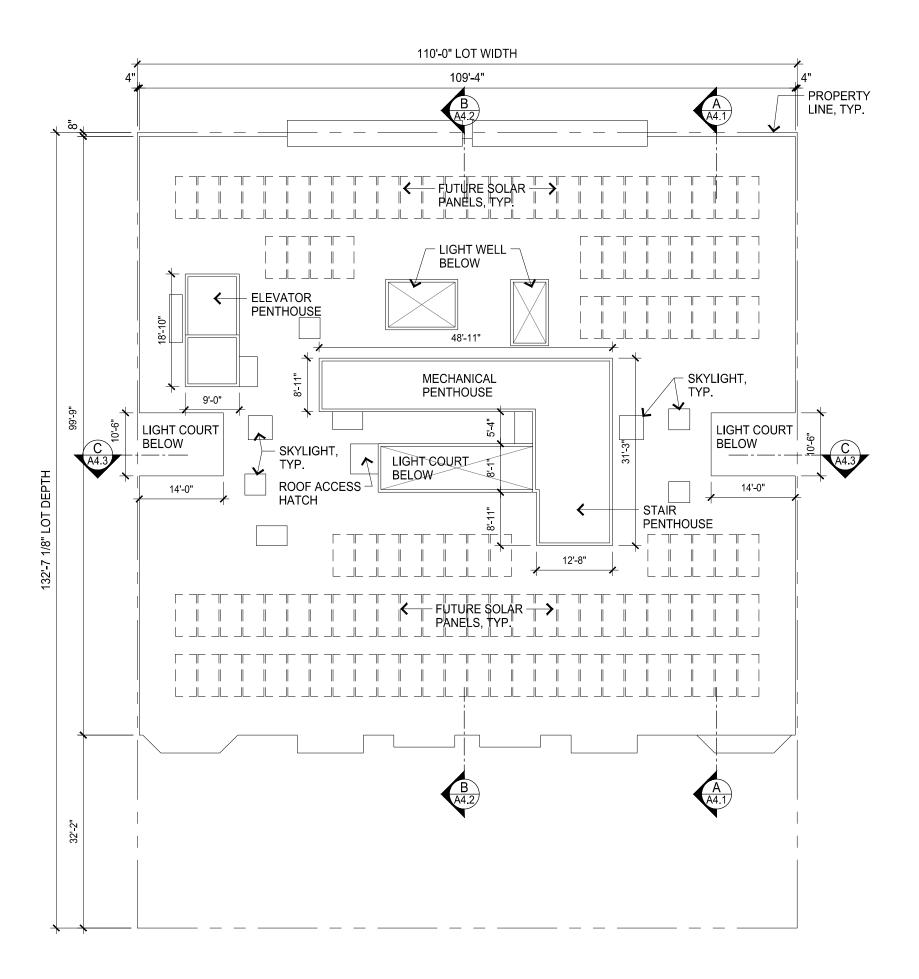
April 28, 2017 Additional Information Requested by Planning

November 21, 2017 Additional Information Requested by Planning/EE

September 24, 2018 Additional Information Requested by Planning

Roof Level Floor Plan

Scale: 1/16" = 1'-0"



PROPOSED PENTHOUSE ROOF PLAN



3637

Sacramento Street

Mixed-Use Condominium Project

San Francisco • California



GARY GEE ARCHITECTS, INC.

98 Brady Street, #8 San Francisco, CA 94103 Tel 415/863-8881 Fax 415/863-8879

Project No. 07-018

March 17, 2017

April 28, 2017 Additional Information Requested by Planning

November 21, 2017

Additional Information Requested by Planning/EE

September 24, 2018

Additional Information Requested by Planning

Penthouse Roof Plan

Scale: 1/16" = 1'-0"



PROPOSED SACRAMENTO STREET VIEW

3637 SACRAMENTO STREET UPPER FLOOR FACADE DESIGN CONCEPTS

- UPPER FLOOR LEVELS TWO THROUGH FOUR:
 FACADE DIVIDED VERTICALLY INTO 24' TO 25' MODULES
 VERTICAL CEMENT PLASTER AND BRICK PILASTERS DEFINE THREE MAJOR FACADE PLANES
 PROJECTING BALCONIES, WINDOW BANDS, METAL BAND SEPARATING GROUND FLOOR AND PARAPET DEFINES HORIZONTAL BUILDING PLANES

3637

Sacramento Street

Mixed-Use Condominium Project

San Francisco • California



GARY GEE ARCHITECTS, INC.

98 Brady Street, #8 San Francisco, CA 94103 Tel 415/863-8881 Fax 415/863-8879

Project No. 07-018

March 17, 2017

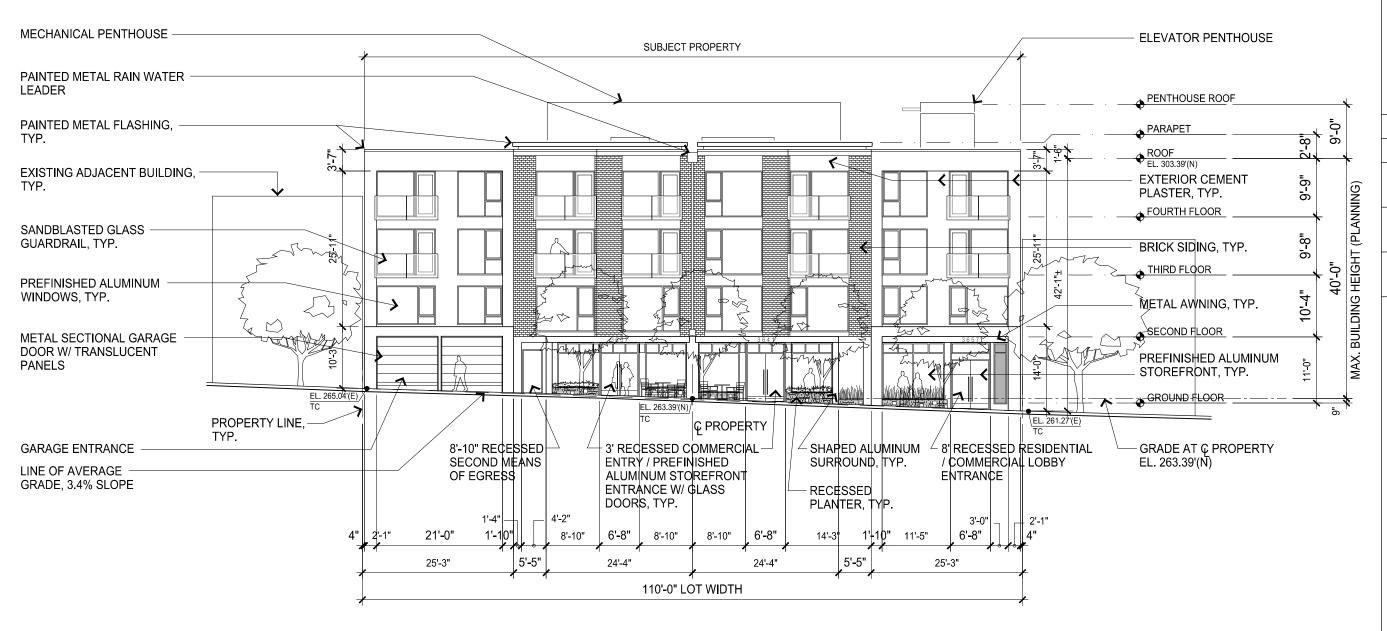
April 28, 2017 Additional Information Requested by Planning

November 21, 2017 Additional Information Requested by Planning/EE

September 24, 2018 Additional Information Requested by Planning

Proposed Sacramento Street View Rendering

R1



NOTE: GLASS GUARDRAILS SHALL COMPLY WITH BIRD-SAFE GLAZING STANDARDS, TYP.

PROPOSED NORTH ELEVATION (SACRAMENTO STREET)

ALE: 1/16" = 1'-0"

3637

Sacramento Street

Mixed-Use Condominium Project

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GARY GEE AIA

GARY GEE ARCHITECTS, INC.

98 Brady Street, #8 San Francisco, CA 94103 Tel 415/863-8881

Project No. 07-018

te

March 17, 2017

April 28, 2017 Additional Information Requested by Planning

November 21, 2017 Additional Information Requested by Planning/EE

September 24, 2018 Additional Information Requested by Planning

Exterior Elevation

Scale: 1/16" = 1'-0"

A3.1



PROPOSED SACRAMENTO STREET COMMERCIAL STOREFRONT VIEW

3637 SACRAMENTO STREET GROUND FLOOR DESIGN CONCEPTS

- COMMERCIAL STOREFRONTS AND RESIDENTIAL LOBBY ORIENTED FOR PEDESTRIAN SCALE:

 STOREFRONTS IN 24' TO 25' WIDE MODULES WITH SMALLER WINDOWS AND PLANTERS

 HORIZONTAL BAND SEPARATES GROUND FLOOR LEVEL COMMERCIAL FROM RESIDENTIAL FLOORS

 VERTICAL PILASTERS DIVIDE COMMERCIAL SPACES AND RESIDENTIAL LOBBY INTO SMALLER STOREFRONT MODULES

3637

Sacramento Street

Mixed-Use Condominium Project

San Francisco • California



GARY GEE ARCHITECTS, INC.

98 Brady Street, #8
San Francisco, CA 94103
Tel 415/863-8881
Fax 415/863-8879

Project No. 07-018

Date March 17, 2017

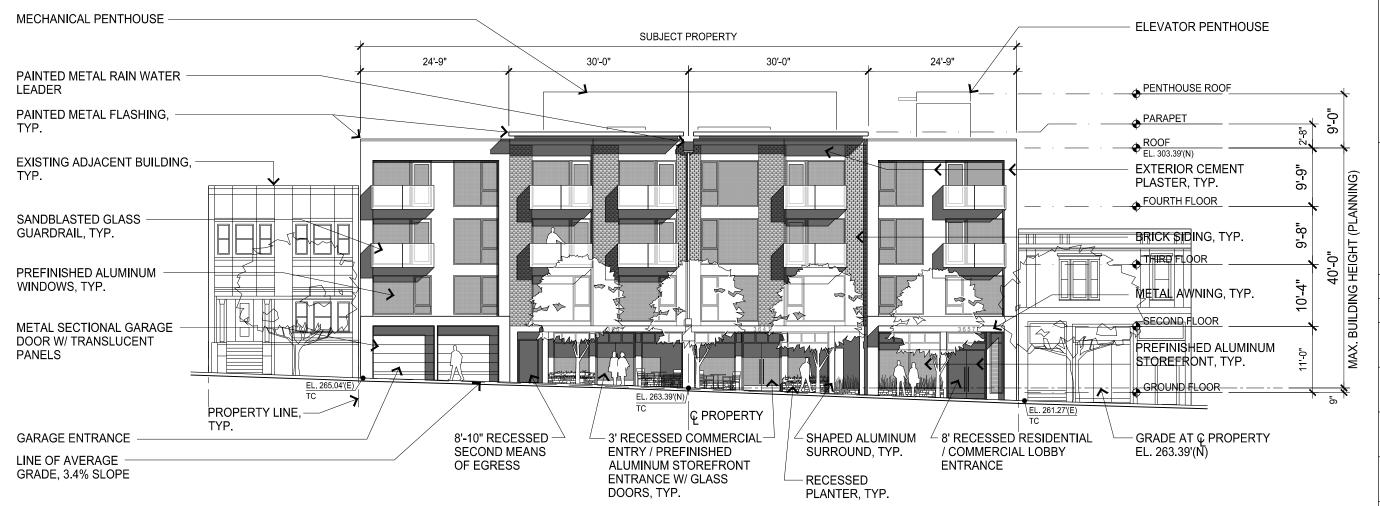
April 28, 2017 Additional Information Requested by Planning

November 21, 2017 Additional Information Requested by Planning/EE

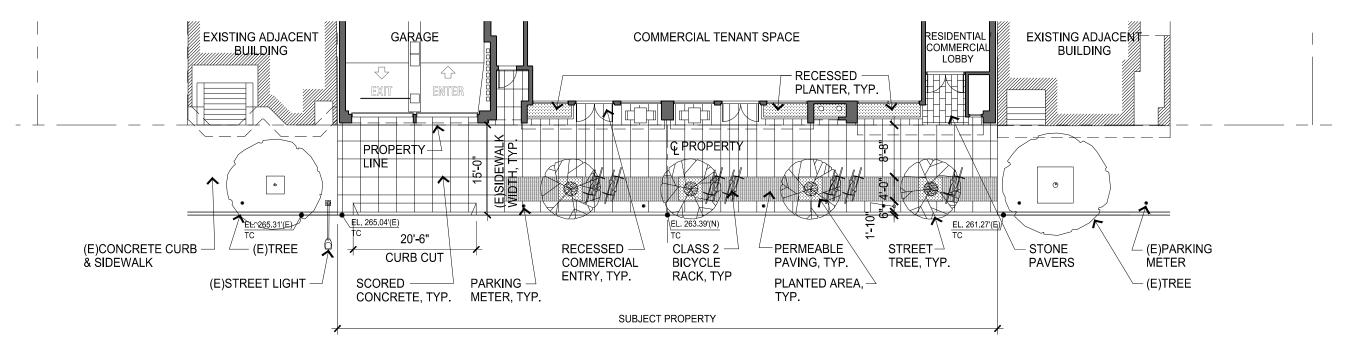
September 24, 2018 Additional Information Requested by Planning

Proposed Commercial Storefront View Rendering

R2



PROPOSED NORTH ELEVATION (SACRAMENTO STREET)



SACRAMENTO STREET

PROPOSED GROUND LEVEL PLAN - SACRAMENTO STREET FRONTAGE



SCALE: 1/16" = 1'-0"

3637

Sacramento Street

Mixed-Use Condominium Project

San Francisco • California

GARY GEE AIA

GARY GEE ARCHITECTS, INC.

98 Brady Street, #8 San Francisco, CA 94103 Tel 415/863-8881 Fax 415/863-8879

Project No. 07-018

te

March 17, 2017

April 28, 2017 Additional Information Requested by Planning

November 21, 2017 Additional Information Requested by Planning/EE

July 31, 2018 Additional Information Requested by Planning

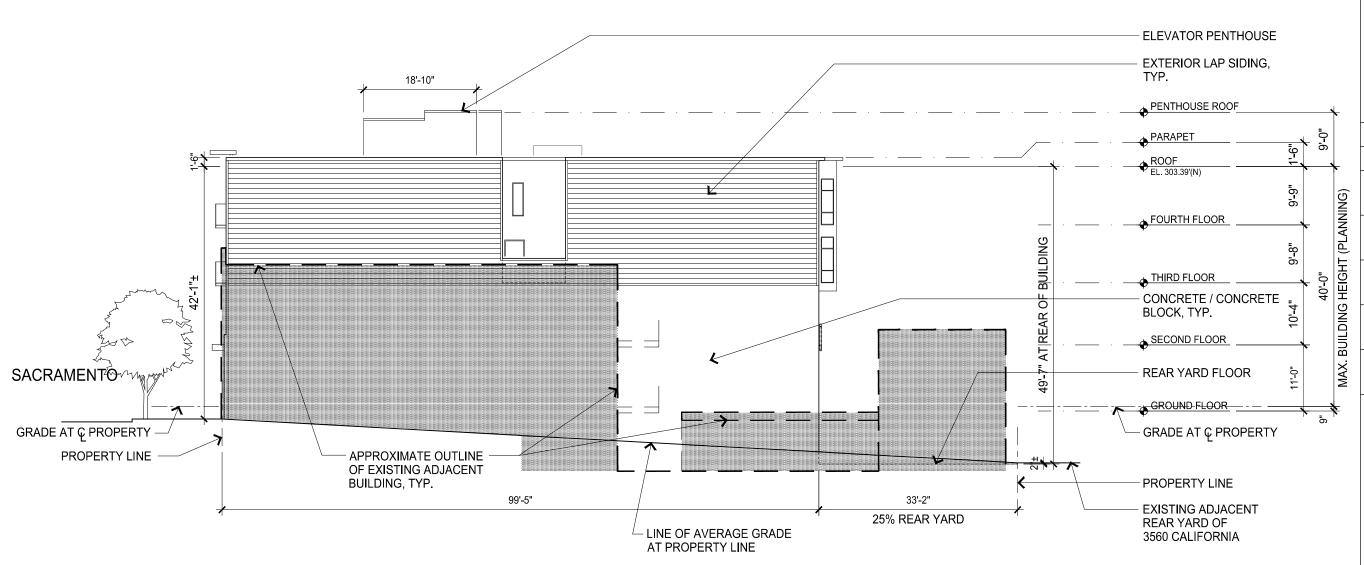
Revision

September 24, 2018 Additional Information Requested by Planning

Elevation Study

Scale: 1/16" = 1'-0"

A3.1d



PROPOSED WEST ELEVATION

SCALE: 1/16" = 1'-0"

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Sacramento Street

Mixed-Use Condominium Project

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98 Brady Street, #8 San Francisco, CA 94103 Tel 415/863-8881

Project No. 07-018

07-018

March 17, 2017

April 28, 2017 Additional Information Requested by Planning

November 21, 2017 Additional Information Requested by Planning/EE

July 12, 2018 Revisions per Owner

evision

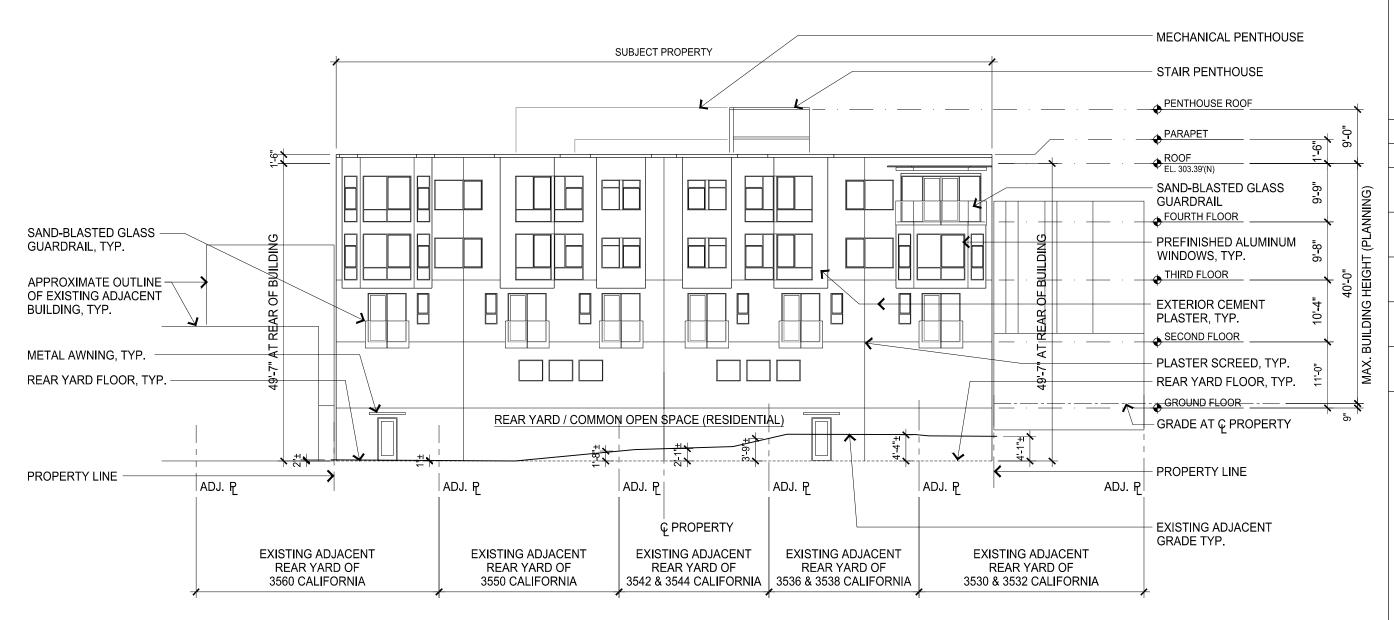
July 31, 2018 Additional Information Requested by Planning

September 24, 2018 Additional Information Requested by Planning

Exterior Elevation

Scale: 1/16" = 1'-0"

A3.2



GLASS GUARDRAILS SHALL COMPLY WITH BIRD-SAFE GLAZING STANDARDS, TYP.

PROPOSED SOUTH ELEVATION

SCALE: 1/16" = 1'-0"

3637

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Mixed-Use Condominium Project

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98 Brady Street, #8 San Francisco, CA 94103 Tel 415/863-8881

Project No. 07-018

March 17, 2017

April 28, 2017 Additional Information Requested by Planning

November 21, 2017 Additional Information Requested by Planning/EE

July 12, 2018 Revisions per Owner

July 31, 2018

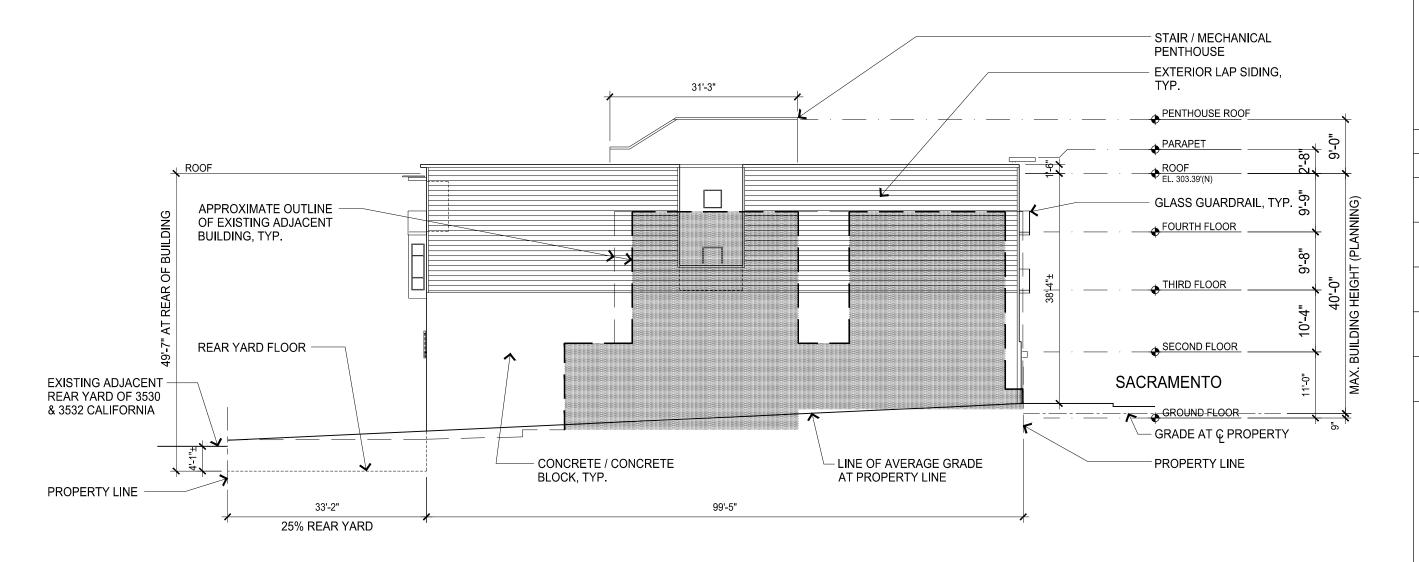
Additional Information Requested by Planning

September 24, 2018 Additional Information Requested by Planning

Exterior Elevation

Scale: 1/16" = 1'-0"

A3.3



PROPOSED EAST ELEVATION

SCALE: 1/16" = 1'-0"

3637

Sacramento Street

Mixed-Use Condominium Project

San Francisco • California



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98 Brady Street, #8 San Francisco, CA 94103 Tel 415/863-8881

Project No. 07-018

March 17, 2017

April 28, 2017 Additional Information Requested by Planning

November 21, 2017 Additional Information Requested by Planning/EE

July 12, 2018 Revisions per Owner

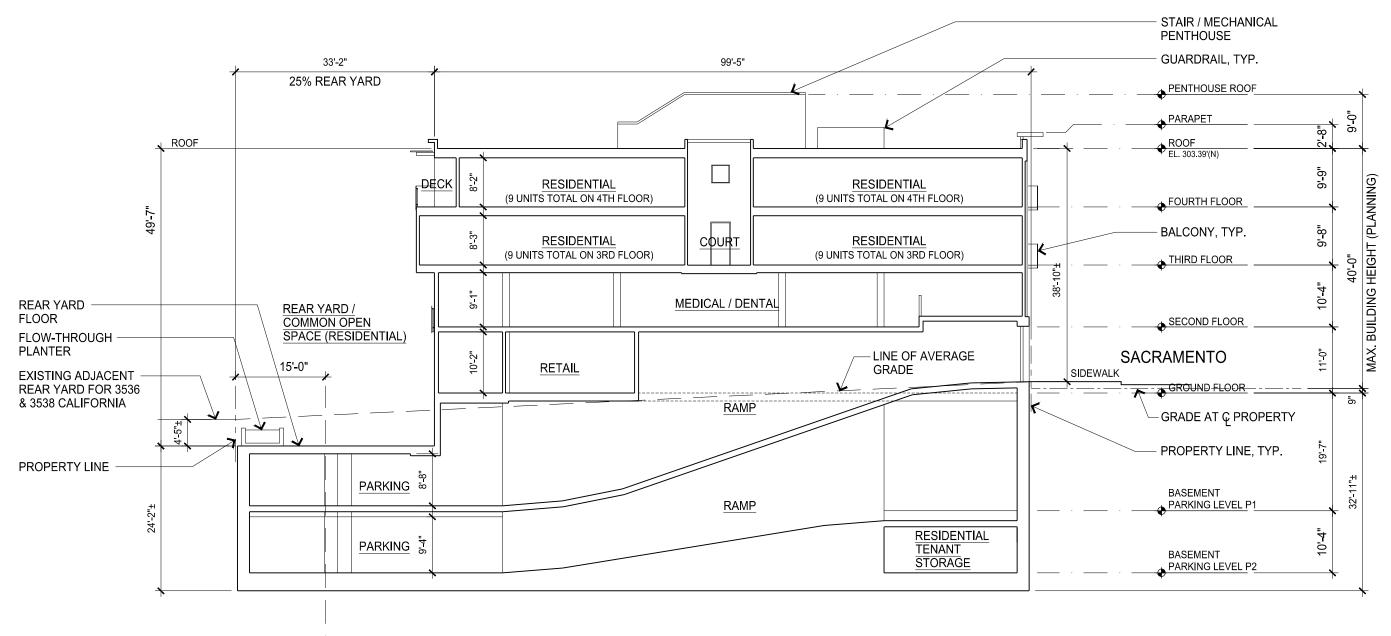
July 31, 2018 Additional Information Requested by Planning

September 24, 2018 Additional Information Requested by Planning

Exterior Elevation

Scale: 1/16" = 1'-0"

A3.4



PROPOSED BUILDING SECTION A - at AUTO RAMP

SCALE: 1/16" = 1'-0"

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Mixed-Use Condominium Project

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98 Brady Street, #8 San Francisco, CA 94103 Tel 415/863-8881

Project No. 07-018

March 17, 2017

April 28, 2017 Additional Information Requested by Planning

November 21, 2017 Additional Information Requested by Planning/EE

July 12, 2018 Revisions per Owner

July 31, 2018

Additional Information Requested by Planning

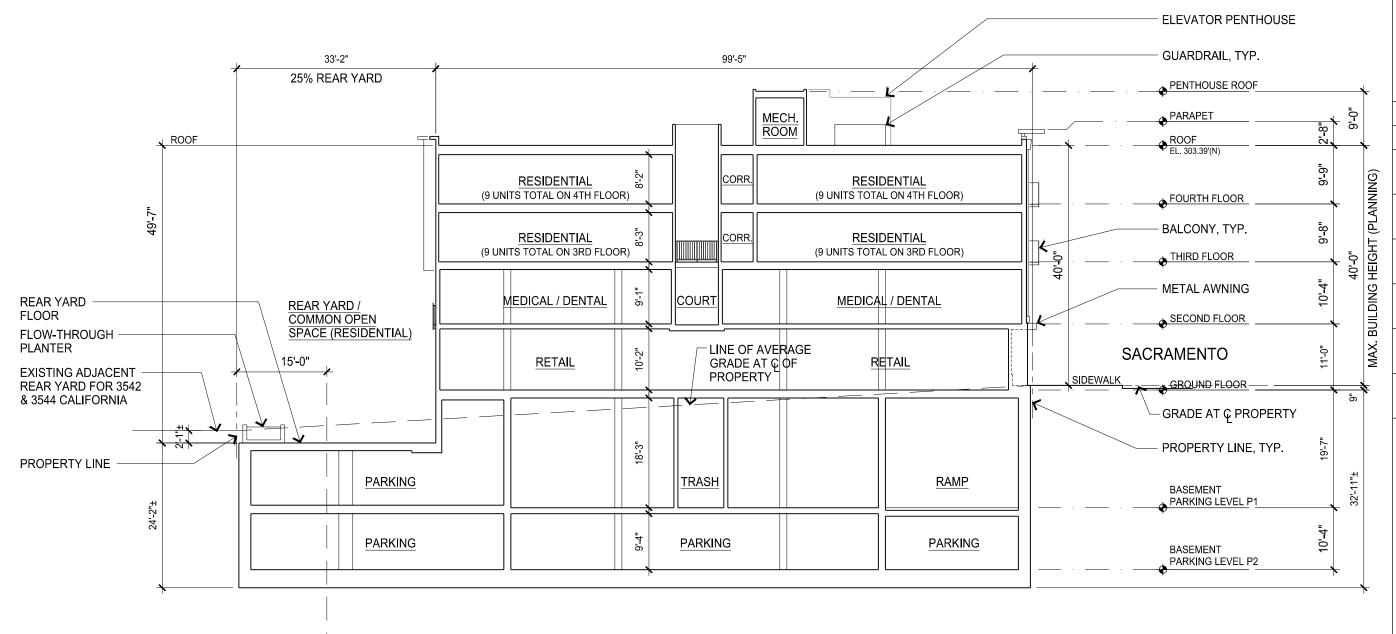
September 24, 2018 Additional Information Requested by Planning

December 31, 2018 Revisions per Planning Commission Approval

Building Section

Scale: 1/16" = 1'-0"

A4.1



PROPOSED BUILDING SECTION B - at CENTERLINE OF LOT

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98 Brady Street, #8 San Francisco, CA 94103 Tel 415/863-8881

Project No. 07-018

March 17, 2017

April 28, 2017 Additional Information Requested by Planning

November 21, 2017 Additional Information Requested by Planning/EE

July 12, 2018 Revisions per Owner

July 31, 2018 Additional Information Requested by Planning

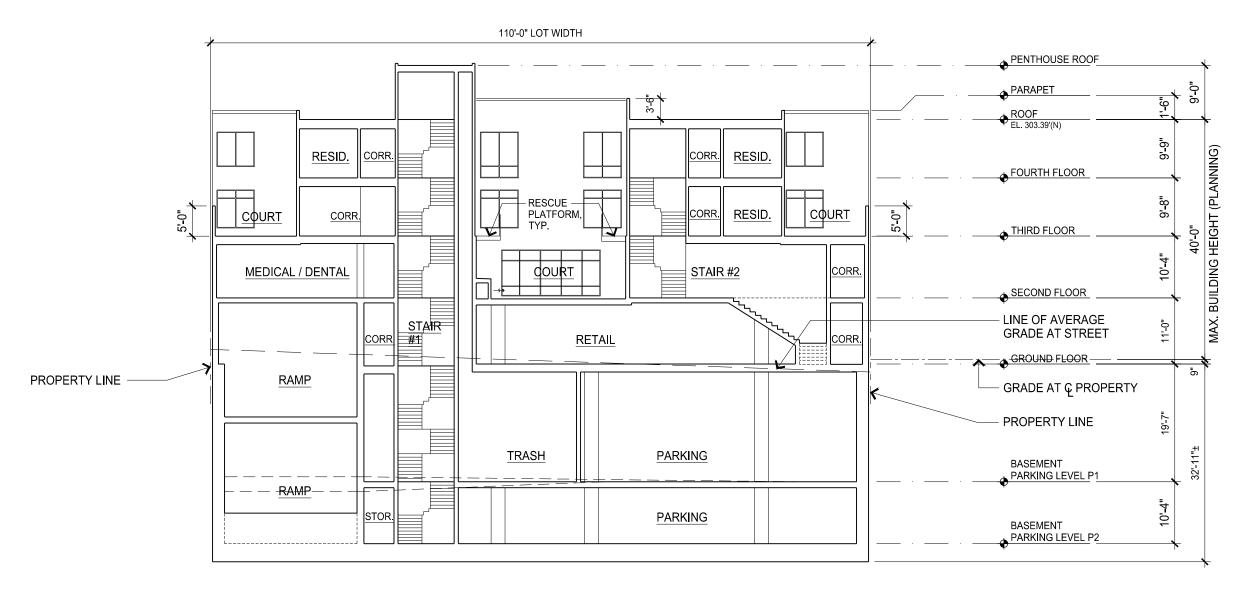
September 24, 2018 Additional Information Requested by Planning

December 31, 2018 Revisions per Planning Commission Approval

Building Section

Scale: 1/16" = 1'-0"

A4.2



PROPOSED BUILDING SECTION C - CROSS SECTION

SCALE: 1/16" = 1'-0"

3637

Sacramento Street

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GARY GEE AIA

GARY GEE ARCHITECTS, INC.

98 Brady Street, #8
San Francisco, CA 94103
Tel 415/863-8881
Fax 415/863-8879

Project No. 07-018

Date

March 17, 2017

April 28, 2017 Additional Information Requested by Planning

November 21, 2017 Additional Information Requested by Planning/EE

July 12, 2018 Revisions per Owner

·

September 24, 2018 Additional Information Requested by Planning

December 31, 2018
Revisions per Planning
Commission Approval

Building Section

Scale: 1/16" = 1'-0"

A4.3



METAL SECTIONAL GARAGE DOOR WITH TRANSLUCENT PANELS, TYP.

GARAGE DOOR CONCEPTUAL IMAGE

BONELLI WINDOWS & DOORS
2000 SERIES WINDOW

4 1/2"

HEAD / JAMB
SM. AT FIXED

HORIZONTAL
MULLION

FRAMELESS
DOOR

SILL

BONELLI WINDOWS & DOORS
2000 SERIES NAIL ON FIXED WINDOW

HEAD / JAMB
SM. AT FIXED

FRAMELESS
DOOR

SILL

SILL

TO STANDARD

TO STAN

(B) WINDOW

STOREFRONT PROFILES

(A) DOOR

NO SCALE

SCALE: 1/4" = 1'-0"

SPRINKLER SHUT-OFF PREFINISHED ALUMINUM STOREFRONT RECESSED PLANTER, TYP EXTERIOR CEMENT PLASTER, TYP PROPERTY LINE SCORED CONC. SIDEWALK, TYP. STOREFRONT JAMB



KEY ELEVATION: SACRAMENTO STREET FACADE

SCALE: 1/4" = 1'-0"

METAL AWNING

EXTERIOR CEMENT
PLASTER, TYP.

PREFINISHED ALUMINUM
STOREFRONT, TYP.

RECESSED PLANTER, TYP.

STONE CAP, TYP.

STONE CAP, TYP.

STONE CLADDING, TYP.

GROUND FLOOR

PROPERTY LINE, TYP.

STOREFRONT AT PLANTER

TRANSOM

FRAMELESS TEMP.
GLASS DOOR

PREFINISHED ALUM.
STOREFRONT

PULL, BRUSHED S.S.

KICK PLATE,
BRUSHED S.S.

3'-0"

3'-0"

SCALE: 1/16" = 1'-0"

ENTRY DOOR ELEVATION

3637
Sacramento

Street
Mixed-Use Condominium Project

San Francisco • California

GARY GEE AIA

GARY GEE ARCHITECTS, INC.

98 Brady Street, #8 San Francisco, CA 94103 Tel 415/863-8881 Fax 415/863-8879

Project No.

Date March 17, 2017

April 28, 2017
Additional Information
Requested by Planning

Revision

November 21, 2017

Additional Information

Requested by Planning/EE

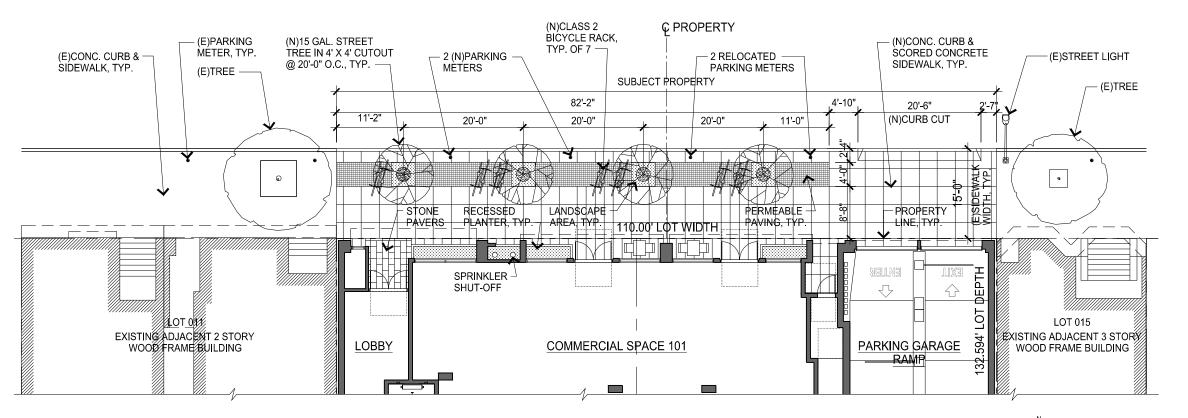
Architectural Profiles

Scale: As noted

A9.1

SCALE: 1/4" = 1'-0"

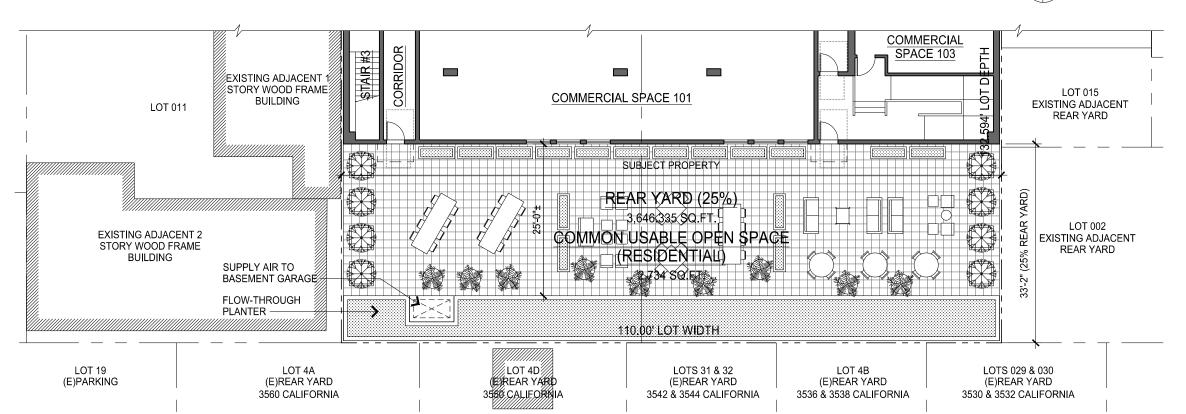
SACRAMENTO STREET 68 75' WIDE







SCALE: 1/16" = 1'-0"



PROPOSED REAR YARD / COMMON OPEN SPACE LANDSCAPE PLAN



SCALE: 1/16" = 1'-0"

3637

Sacramento Street

Mixed-Use Condominium Project

San Francisco • California

GARY GEE AIA

GARY GEE ARCHITECTS, INC.

98 Brady Street, #8 San Francisco, CA 94103 Tel 415/863-8881 Fax 415/863-8879

07-018

March 17, 2017

April 28, 2017 Additional Information Requested by Planning

November 21, 2017

Additional Information Requested by Planning/EE

July 12, 2018

Revisions per Owner

July 31, 2018 Additional Information Requested by Planning

September 24, 2018 Additional Information Requested by Planning

Conceptual Landscape Plan

Scale: 1/16" = 1'-0"

L0.1

3637-3657 Sacramento Street - Proposed New Mixed Use Building RE: San Francisco, CA

TO WHOM IT MAY CONCERN:

Very truly yours,

This letter is to express support for the proposed project at 3637-3657 Sacramento Street. I have reviewed the architectural drawings dated March 17, 2017 for the demolition of the two structures and construction of one new mixed-use building.

The addition of new ground floor retail/commercial space will enhance the pedestrian experience of Sacramento Street. The new construction will also bring in new housing and additional parking to this neighborhood.

Name: Rachel Cink Signature

Address: 3654 Sacramento St. SF, CA : Email/Telephone: (415) 440-4480

RE: 3637-3657 Sacramento Street - Proposed New Mixed Use Building San Francisco, CA

TO WHOM IT MAY CONCERN:

Very truly yours,

This letter is to express **support** for the proposed project at 3637-3657 Sacramento Street. I have reviewed the architectural drawings dated March 17, 2017 for the demolition of the two structures and construction of one new mixed-use building.

The addition of new ground floor retail/commercial space will enhance the pedestrian experience of Sacramento Street. The new construction will also bring in new housing and additional parking to this neighborhood.



RE: 3637-3657 Sacramento Street - Proposed New Mixed Use Building San Francisco, CA

TO WHOM IT MAY CONCERN:

This letter is to express **support** for the proposed project at 3637-3657 Sacramento Street. I have reviewed the architectural drawings dated March 17, 2017 for the demolition of the two structures and construction of one new mixed-use building.

The addition of new ground floor retail/commercial space will enhance the pedestrian experience of Sacramento Street. The new construction will also bring in new housing and additional parking to this neighborhood.

Address:	458	LOCAST	IAPT .	304	SUN	Grancisco, CH 94118
Business	name: _					
Email/Te	lephone	: VICTOR	iahi	MUND	e gmi	nil.com

RE: 3637-3657 Sacramento Street - Proposed New Mixed Use Building San Francisco, CA

TO WHOM IT MAY CONCERN:

This letter is to express **support** for the proposed project at 3637-3657 Sacramento Street. I have reviewed the architectural drawings dated March 17, 2017 for the demolition of the two structures and construction of one new mixed-use building.

The addition of new ground floor retail/commercial space will enhance the pedestrian experience of Sacramento Street. The new construction will also bring in new housing and additional parking to this neighborhood.

Very truly yours,

Name: Andrea C. Schwartz

Signature Date
Address: 488 LOCUST ST #302, SF, CA 94118
Business name:
Email/Telephone: andrea conti 28@gmail.com

RE: 3637-3657 Sacramento Street - Proposed New Mixed Use Building San Francisco, CA

TO WHOM IT MAY CONCERN:

Very truly yours,

This letter is to express **support** for the proposed project at 3637-3657 Sacramento Street. I have reviewed the architectural drawings dated March 17, 2017 for the demolition of the two structures and construction of one new mixed-use building.

The addition of new ground floor retail/commercial space will enhance the pedestrian experience of Sacramento Street. The new construction will also bring in new housing and additional parking to this neighborhood.

Name: Jehn Crippen

4/3/18
Signature Date

Address: 3634 Sacramento St. St. CA 94118

Business name: Round Hill Pacific

Email/Telephone: (800) 275 3680

RE: 3637-3657 Sacramento Street - Proposed New Mixed Use Building San Francisco, CA

TO WHOM IT MAY CONCERN:

Very truly yours,

This letter is to express **support** for the proposed project at 3637-3657 Sacramento Street. I have reviewed the architectural drawings dated March 17, 2017 for the demolition of the two structures and construction of one new mixed-use building.

The addition of new ground floor retail/commercial space will enhance the pedestrian experience of Sacramento Street. The new construction will also bring in new housing and additional parking to this neighborhood.

RE: 3637-3657 Sacramento Street - Proposed New Mixed Use Building San Francisco, CA

TO WHOM IT MAY CONCERN:

Very truly yours,

This letter is to express **support** for the proposed project at 3637-3657 Sacramento Street. I have reviewed the architectural drawings dated March 17, 2017 for the demolition of the two structures and construction of one new mixed-use building.

The addition of new ground floor retail/commercial space will enhance the pedestrian experience of Sacramento Street. The new construction will also bring in new housing and additional parking to this neighborhood.

Name: Brad Bennett

Bead Bennett 4/3/18
Signature Date

Address: 488 Locust Street, Unit 406

Business name: WA

Email/Telephone: 6,635@hotmail.com

RE: 3637-3657 Sacramento Street - Proposed New Mixed Use Building San Francisco, CA

TO WHOM IT MAY CONCERN:

This letter is to express **support** for the proposed project at 3637-3657 Sacramento Street. I have reviewed the architectural drawings dated March 17, 2017 for the demolition of the two structures and construction of one new mixed-use building.

The addition of new ground floor retail/commercial space will enhance the pedestrian experience of Sacramento Street. The new construction will also bring in new housing and additional parking to this neighborhood.

Very truly yours,

Name:	Barbara	Devaney
		. /
D	JA J	3/30/18
Signatu	re	Date

Address:	EXPLORE & EXPRESS FAMILY COUNSELING	
Business name:	3637 SACRAMENTO ST., SUITE O SAN FRANCISCO, CA 94118	
Email/Telephone:	415. 267. 1831	
	arbara@exploreandex	press.con

RE: 3637-3657 Sacramento Street - Proposed New Mixed Use Building San Francisco, CA

TO WHOM IT MAY CONCERN:

Very truly yours,

Email/Telephone:

This letter is to express **support** for the proposed project at 3637-3657 Sacramento Street. I have reviewed the architectural drawings dated March 17, 2017 for the demolition of the two structures and construction of one new mixed-use building.

The addition of new ground floor retail/commercial space will enhance the pedestrian experience of Sacramento Street. The new construction will also bring in new housing and additional parking to this neighborhood.

Name: Caro S. Winotsky, Ph.D.

Caro S. Winotsky, Ph.D. 3/26/18

Signature Date Date

Address: 3637 Socramonto St., Ste H ST, Ca. 94118

RE: 3637-3657 Sacramento Street - Proposed New Mixed Use Building San Francisco, CA

TO WHOM IT MAY CONCERN:

Very truly yours,

This letter is to express **support** for the proposed project at 3637-3657 Sacramento Street. I have reviewed the architectural drawings dated March 17, 2017 (with latest revisions dated November 21, 2017) for the demolition of the two structures and construction of one new mixed-use building.

The addition of new ground floor retail/commercial space will enhance the pedestrian experience of Sacramento Street. The new construction will also bring in new housing and additional parking to this neighborhood.

Name: NIKLAS NOROLUNO

Signature Date

Name: NIKLAS NOROLUNO

JACKS NOROLUNO

Date

Address: 488	LOCUST ST, #308	
Business name:		
Email/Telephone:	415-613-9533	

RE: 3637-3657 Sacramento Street - Proposed New Mixed Use Building San Francisco, CA

TO WHOM IT MAY CONCERN:

Very truly yours,

This letter is to express **support** for the proposed project at 3637-3657 Sacramento Street. I have reviewed the architectural drawings dated March 17, 2017 for the demolition of the two structures and construction of one new mixed-use building.

The addition of new ground floor retail/commercial space will enhance the pedestrian experience of Sacramento Street. The new construction will also bring in new housing and additional parking to this neighborhood.

Name: Seff Leopoup

3/240
Signature Date

Address: 3545-55 Glifmis F

Business name: STANDAPO STATO ACE

Email/Telephone: Jeff e war NACE COM

RE: 3637-3657 Sacramento Street - Proposed New Mixed Use Building San Francisco, CA

TO WHOM IT MAY CONCERN:

Very truly yours,

This letter is to express **support** for the proposed project at 3637-3657 Sacramento Street. I have reviewed the architectural drawings dated March 17, 2017 for the demolition of the two structures and construction of one new mixed-use building.

The addition of new ground floor retail/commercial space will enhance the pedestrian experience of Sacramento Street. The new construction will also bring in new housing and additional parking to this neighborhood.

Name: Heather Mann
Signature Date

Date

Address:	488 Locust St #305 SFCA 94118
Business name: _	N/A
Email/Telephone	heathermann 2000 @ Jahow, com

RE: 3637-3657 Sacramento Street - Proposed New Mixed Use Building San Francisco, CA

TO WHOM IT MAY CONCERN:

Very truly yours,

This letter is to express **support** for the proposed project at 3637-3657 Sacramento Street. I have reviewed the architectural drawings dated March 17, 2017 for the demolition of the two structures and construction of one new mixed-use building.

The addition of new ground floor retail/commercial space will enhance the pedestrian experience of Sacramento Street. The new construction will also bring in new housing and additional parking to this neighborhood.

Name: AEDEN MOTNYK

Signature Date

Address: 498 LOCUST # 305 SF CA 94118
Business name:
Email/Telephone: AEDENONE & HILO. COM

RE: 3637-3657 Sacramento Street - Proposed New Mixed Use Building San Francisco, CA

TO WHOM IT MAY CONCERN:

Name: Alfredo HELNANGEZ

This letter is to express **support** for the proposed project at 3637-3657 Sacramento Street. I have reviewed the architectural drawings dated March 17, 2017 for the demolition of the two structures and construction of one new mixed-use building.

The addition of new ground floor retail/commercial space will enhance the pedestrian experience of Sacramento Street. The new construction will also bring in new housing and additional parking to this neighborhood.

Very truly yours,

Signature	7/20/18/ Date	
Address: 3491	California Otrust	
Business name:	GAP INC.	
Email/Telephone:	415 386-7517	***************************************

RE: 3637-3657 Sacramento Street - Proposed New Mixed Use Building San Francisco, CA

TO WHOM IT MAY CONCERN:

Very truly yours,

This letter is to express **support** for the proposed project at 3637-3657 Sacramento Street. I have reviewed the architectural drawings dated March 17, 2017 for the demolition of the two structures and construction of one new mixed-use building.

The addition of new ground floor retail/commercial space will enhance the pedestrian experience of Sacramento Street. The new construction will also bring in new housing and additional parking to this neighborhood.

Name: UEUUICA REYEU

Signature 3 21 18 Date
Address: 3491 CALIFORNIA CT.
Business name: CAP INC.
Email/Telephone: 415 - 306 - 7517

RE: 3637-3657 Sacramento Street - Proposed New Mixed Use Building San Francisco, CA

TO WHOM IT MAY CONCERN:

Very truly yours,

This letter is to express **support** for the proposed project at 3637-3657 Sacramento Street. I have reviewed the architectural drawings dated March 17, 2017 for the demolition of the two structures and construction of one new mixed-use building.

The addition of new ground floor retail/commercial space will enhance the pedestrian experience of Sacramento Street. The new construction will also bring in new housing and additional parking to this neighborhood.

Name: MINICA UTAHMER
Signature Date
Address: 3491 CALIFORNIA ST.
Business name: GAP INC.
Email/Telephone: 419 - 366 - 7517

RE: 3637-3657 Sacramento Street - Proposed New Mixed Use Building San Francisco, CA

TO WHOM IT MAY CONCERN:

This letter is to express **support** for the proposed project at 3637-3657 Sacramento Street. I have reviewed the architectural drawings dated March 17, 2017 for the demolition of the two structures and construction of one new mixed-use building.

The addition of new ground floor retail/commercial space will enhance the pedestrian experience of Sacramento Street. The new construction will also bring in new housing and additional parking to this neighborhood.

Very truly yours,

Name: LeonARD ClancidoDC
Simple 18
Signature Date
Address: 3641 Sacramento St F SF (A94118
Business name: LEOMARD CLANCEDO DC
Email/Telephone: 4(5346-2445

RE: 3637-3657 Sacramento Street - Proposed New Mixed Use Building San Francisco, CA

TO WHOM IT MAY CONCERN:

Very truly yours,

This letter is to express **support** for the proposed project at 3637-3657 Sacramento Street. I have reviewed the architectural drawings dated March 17, 2017 for the demolition of the two structures and construction of one new mixed-use building.

The addition of new ground floor retail/commercial space will enhance the pedestrian experience of Sacramento Street. The new construction will also bring in new housing and additional parking to this neighborhood.

Name: ERIC BJORN

Signature Date

Address: _	363	34 SAC	RAMEN	170 ST.	
Business na	ame:	ROUND	Hul	PACIFIC	
Email/Tele	phone:	(415)	922-5	700	

RE: 3637-3657 Sacramento Street - Proposed New Mixed Use Building San Francisco, CA

TO WHOM IT MAY CONCERN:

This letter is to express **support** for the proposed project at 3637-3657 Sacramento Street. I have reviewed the architectural drawings dated March 17, 2017 for the demolition of the two structures and construction of one new mixed-use building.

The addition of new ground floor retail/commercial space will enhance the pedestrian experience of Sacramento Street. The new construction will also bring in new housing and additional parking to this neighborhood.

Very truly yours, Kent Hudson

<u>3/15/18</u>

Signature

Date

Address: 488 Locust Street, #307, San Francisco, CA 94118

Email/Telephone: kent@onethree.org / (512) 517-1954

To Whom It May Concern,

This letter is to express **support** for the proposed project at 3637-3657 Sacramento Street. I have reviewed the prospective architectural drawings (dated March 17, 2017) and am for the removal of the two structures and construction of one new mixed-use building.

Sincerely,	
<u>Jade Zapata</u> Printed Name	
02	03/15/2018
Signature 2	Date
Address: 3609 Sacramento St, San Franci	isco, CA 94118
Business name: Psychiatric Alternative	es
Email/Telephone: admin@psychiatricalterna	atives.com; 415-237-0377

To Whom It May Concern,

This letter is to express **support** for the proposed project at 3637-3657 Sacramento Street. I have reviewed the prospective architectural drawings (dated March 17, 2017) and am for the removal of the two structures and construction of one new mixed-use building.

Sincerely,	
Mishi Bhopal Printed Name	
Muhiffhopol Signature	03/15/2018
Signature	Date
Address: 3609 Sacramento St, San Francisco, CA 941	18
Business name: Psychiatric Alternatives	
Email/Telephone: admin@psychiatricalternatives.com; 4	15-237-0377

To Whom It May Concern,

This letter is to express **support** for the proposed project at 3637-3657 Sacramento Street. I have reviewed the prospective architectural drawings (dated March 17, 2017) and am for the removal of the two structures and construction of one new mixed-use building.

Sincerely,	
MAYIA CAY VETEVO Printed Name	
Maria Corretere	03/15/2018
Signature	Date
Address:3609 Sacramento St, San Francisco, CA 941	18
Business name: Psychiatric Alternatives	
Email/Telephone: admin@psychiatricalternatives.com; 4	15-237-0377

To Whom It May Concern,

This letter is to express **support** for the proposed project at 3637-3657 Sacramento Street. I have reviewed the prospective architectural drawings (dated March 17, 2017) and am for the removal of the two structures and construction of one new mixed-use building.

Sincerely,	
Alia Buliv Printed Name	
Alian Bulin Signature	03/15/2018 Date
Address:3609 Sacramento St, San Francisco, CA 941	118
Business name: Psychiatric Alternatives	
Email/Telephone: admin@psychiatricalternatives.com;	415-237-0377

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Printed Name

O3/15/2018

Signature

Date

Address: ______3609 Sacramento St, San Francisco, CA 94118

Business name: _____ Psychiatric Alternatives

Email/Telephone: admin@psychiatricalternatives.com; 415-237-0377

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Sincerely,	
Laura Sturtevant Printed Name	
four formant	03/15/2018
Signature	Date
Address:3609 Sacramento St, San Francisco, C	CA 94118
Business name: Psychiatric Alternatives	
Email/Telephone: admin@psychiatricalternatives.	com; 415-237-0377

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Sincerely,	
Diana Wang Printed Name	
Simple	03/15/2018
Signature	Date
Address: 3609 Sacramento St, San Francisc	o, CA 94118
Business name: Psychiatric Alternatives	
Email/Telephone: admin@psychiatricalternati	ves.com; 415-237-0377

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Sincerely,	
Printed Name	
Jan Jean	03/15/2018
Signature	Date
Address: 3676 Sacramento St, San Francisco, CA 94	118
Address:	110
Business name: Psychiatric Alternatives	
Email/Telephone: admin@psychiatricalternatives.com;	415-237-0377

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Sincerely,	
Printed Name	
Robins	03/15/2018
Signature	Date
Address: 3676 Sacramento St, San Francis	co, CA 94118
Business name: Psychiatric Alternatives	
Email/Telephone: admin@psychiatricalternat	tives.com; 415-237-0377

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Sincerely,		
Printed Name		
BL	03/15/2018	
Signature	Date	
Address. 3676 Sacramento St, San Francisco	o CA 94118	
Address:36/6 Sacramento St, San Francisco	, C/1 /4110	
Business name: Psychiatric Alternatives		
Email/Telephone: admin@psychiatricalternativ	ves.com; 415-237-0377	

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Printed Name	
- Styper (u	03/15/2018
Signature	Date
Address: 3676 Sacramento St, San Francisco, CA 9	94118
Business name:Psychiatric Alternatives	
Email/Telephone: admin@psychiatricalternatives.com	n; 415-237-0377

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Sincerely,	
Mille Lyddane Printed Name	
Mally Hidday	03/15/2018
Malle Jyddare Signature	Date
3676 Sacramento St, San Francisco, CA 941	118
Address:	
Business name: Psychiatric Alternatives	
Email/Telephone: admin@psychiatricalternatives.com; 4	415-237-0377

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Sincerely,	
John Brahan Printed Name	
Lds Bul	03/15/2018
Signature	Date
Address: 3675 Sacramento St, San Francisc	o, CA 94118
Business name: Psychiatric Alternatives	
Email/Telephone: admin@psychiatricalternativ	ves.com: 415-237-0377

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Sincerely,		
Printed Name		
Signature Signature	03/15/2018 Date	•
Address: 3675 Sacramento St, San Francisco	, CA 94118	
Business name: Psychiatric Alternatives		
Email/Telephone: admin@psychiatricalternative	es.com; 415-237-0377	

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Sincerely,	
Printed Name	
l Weys	03/15/2018
Signature	Date
Address: 3641 Sacramento St, suite J, San Francis	sco, CA 94118
Business name: Psychiatric Alternatives	
Email/Telephone: admin@psychiatricalternatives.co	m; 415-237-0377

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Sincerely,	
Shelia Lastie Printed Name	
Signature Lu	03/15/2018
Signature	Date
Address: 3641 Sacramento St, suite J, San Franci	sco, CA 94118
Business name: Psychiatric Alternatives	PT-C-PT-
Email/Telephone: admin@psychiatricalternatives.co	om; 415-237-0377

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Sincerely,		
John Schick Printed Name		
Jahn Chia	03/15/2018	
Signature	Date	
Address:3611 Sacramento St, San Francisc	o, CA 94118	
Business name: Psychiatric Alternatives		
Email/Telephone: admin@psychiatricalternativ	ves.com; 415-237-0377	

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Sincerely,	
Printed Name	
- Alan fr	03/15/2018
Signature	Date
Address. 3611 Sacramento St, San Francisco	CA 94118
Address:	, CA 94110
Business name: Psychiatric Alternatives	
Email/Telephone: admin@psychiatricalternativ	es.com; 415-237-0377

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Sincerely,		
Sharan Lee Printed Name		
S-P-	03/15/2018	
Signature	Date	
Address: 3611 Sacramento St, San Francisco, C	CA 94118	
Business name: Psychiatric Alternatives		
Email/Telephone: admin@psychiatricalternatives.	.com; 415-237-0377	

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Email/Telephone: admin@psychiatricalternatives.com; 415-237-0377

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Very truly yours,

Address: 3535 California Street, San Francisco
Business name: Peninsula Beauty

RE: 3637-3657 Sacramento Street - Proposed New Mixed Use Building San Francisco, CA

TO WHOM IT MAY CONCERN:

Very truly yours,

This letter is to express **support** for the proposed project at 3637-3657 Sacramento Street. I have reviewed the architectural drawings dated March 17, 2017 (with latest revisions dated November 21, 2017) for the demolition of the two structures and construction of one new mixed-use building.

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Name: Name:

Address: 488 Locust Breet A 94/18	
Business name:	
Email/Telephone: halfs 120 grailion	

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Name: Span Gauge Here

Signature Date

Address: 48 Lova ST Apr 386, SF, CA 94/18

Business name:

Email/Telephone: Gauge Heres yang Gauge Com

RE: 3637-3657 Sacramento Street - Proposed New Mixed Use Building San Francisco, CA

TO WHOM IT MAY CONCERN:

This letter is to express "No Opposition" for the proposed project at 3637-3657 Sacramento Street. I have reviewed the architectural drawings dated March 17, 2017 for the demolition of the two structures and construction of one new mixed-use building.

Very truly yours,
Name: Jimmy Phan
Signature Date
SAN FRANCISCO, CA 94118 Address:
Business name: LPH Shipping and Business Services
Email/Telephone: (415) 221 - 9817

RE: 3637-3657 Sacramento Street - Proposed New Mixed Use Building San Francisco, CA

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Very truly yours,

Signature	<u>3/15/2018</u> Date	
Address: 349/	California St. S.F. CA 94118	
	GLP/rc.	
Email/Telephone:	(415) 386-7517	

RE: 3637-3657 Sacramento Street - Proposed New Mixed Use Building San Francisco, CA

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Name: haura Richardt

Saurrhand 3-15-18

Address:	3535 Calx	onia St.	
Business name:	Peninsula	Beauty	_
Email/Telephone	: 415-8	20-0322	

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Name: Cywhia Bahmani

Mythia Dahmani 3/14/18

Signature Date

Address: Symyy

Email/Telephone: 415 519.5926

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Name: Swati Reichmuth

Luati Pleichmuth 3/2/2018

Address: 488 Locust St. #407 S.F. CA 9418
Email/Telephone: Swatipunatar@hotmail.com

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Name: Michael Reichmuth

 $\frac{1}{\text{Signature}} \frac{3}{2} \frac{18}{\text{Date}}$

Very truly yours,

Address: 488 Locust St Apt. 407 Sm francisco (A 94113

Email/Telephone: Fish 4 boy @ yahoo lon / 415-673-1988

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Very truly yours,

Name:	Akira	Kur, h	1979
Signatu	ire	Date	3/7/18

Address: _	3654	Sacramento	St., SF	94118	
Email/Tal	enhone:	ak; raeskui	rugy. Con	W.	

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Very truly yours,

Engely britis	3-2-2018
Signature /	Date

Name: SUZETTE SM7H

Address: 3654 Sacramento St 87 CA 94/18

Email/Telephone: Suzetle @ Skurman. Com
415 706 8470 (c)
415 440 4480 (w)

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Name: Signature Date

Address: 3533 California St SF, CA 94118

Email/Telephone: Jovany romero 22 aguail com (209) 648-0630

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Very truly	y yours,			
Name:	Nome	la		
	4			
Signature		Date		
Address:	3533	Califania	R	
Email/Tel	ephone:	s 331666	V	

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Very truly yours,

Name: Name: Signature Date

Address: 671 384M AVR, SF CA 94121

Email/Telephone: Clifton tam 2 socglobal, net

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B533 Colifornia St SF, CA 94118 hone: Jovany romero 22 Egmail. com

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Name: ______ C. NILMOLAS SIMPJON

Signature Date

Address: ______ S33 CALIFORNIAST SF A 94,118

Email/Telephone: ______ 660 333 7830

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Very truly yours,

Name: 10 97 0	ine peceon	THE STATE OF
Nalaly Signature	eN 8 21	1

Makalia Dolann

Address: 137 Cl 2tt 3468 California St. SF CA Email/Telephone: natmdeleon 89 @ yaloo. com

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Very truly yours,	
Name: Person	M. Oanneso, Ms
fnn	8/2/17
Signature	Date

Address: 3468 CALEARNAST, SF CA
Email/Telephone: CMdonatiello Deguail.com

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Very truly yours,			
Name: <i>Pakika wai</i>	nd		
Jusek anuka nov Signature	0 8/21/19 . Date		
Address: 3448 (h)	baia Street 85	94118 ·	
Email/Telephone: 🔼	nandi Q sutter	health. org.	

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Very truly yours,
Name: Jennifer Exoley
Signature Date
Address: 3408 California St, SF, CA
Email/Telephone: 415. 345.0100

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Very truly yours,

Name: Mistm	Genodias
	3/8/18
Signature	Date

Address: 345 345 California St. SF CA 0418
Email/Telephone: 415) 345 - 0100

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Name: Nicole hard

Name: Nicole hard

3/9/18
Signature Date

Address: 3466 California St.

Email/Telephone: 415 345 0100

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Name: Celyl Math Celyl Math Signature Date

Address: 3408 California St SF CAT

Email/Telephone: 415.345.0100

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Very truly yours,		
Name: Wei Arm	Hswell	
Signature	3) 12/18 Date	
Address: 3468	california 87.	
Email/Telephone:	7187532953	

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Name: Jamil Gaml

Signature Date

Very truly yours,

Address: 3468 Califords 87.

Email/Telephone: (plube Cychov La

RE: 3637-3657 Sacramento Street - Proposed New Mixed Use Building San Francisco, CA

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Very truly yours,

anh	3/13/18	
Signature	Date	
Address: 3/46	5 CULLFOR MUA	St <

Name: DOUGLUS MYTHIELX

Address: 3465 CULIFORNIA ST, S.F. CH 94118

Business name: RIGOLO GAFE

Email/Telephone: DOUG @ RIGOLO GAFE - COM

415-595 -0803

RE: 3637-3657 Sacramento Street - Proposed New Mixed Use Building San Francisco, CA

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Name: Najil El Ferrouy 3/13/18 Signature

Address: 3415 California St, San Francisco CA 94118

Business name: Artesawo

Email/Telephone: elnaj 92 @ galoo. com 415-992-2730

RE: 3637-3657 Sacramento Street - Proposed New Mixed Use Building San Francisco, CA

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Very truly yours,

Name: SEPHEN C PARDYS M.D.

Signature Date

Address: 3641 Sacramento Street, Suite E, San Francisco, CA 94118

Email/Telephone: SPAPDYSMD@ GMAIL, COM

RE: 3637-3657 Sacramento Street - Proposed New Mixed Use Building San Francisco, CA

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Very truly yours,

Name: Hope SeliNGER

Agasalura 8/23/17
Signature Date

Address: 3529 Sacramento Street

Email/Telephone: (415) 923-0143

RE: 3637-3657 Sacramento Street - Proposed New Mixed Use Building San Francisco, CA

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Name: Bonnie Waters

Somme Waters 8/23/17

Signature Date

Address: 3490 eartfornia st stc 201 sf, cA 94118

Email/Telephone: 1895 415-440-2972

RE: 3637-3657 Sacramento Street - Proposed New Mixed Use Building San Francisco, CA

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Name: Jenine Baca

Signature Date

Address: 500 Sproce St. #204, SE 94118
Email/Telephone: JUDeguz 739 @ Yahoo. Com

RE: 3637-3657 Sacramento Street - Proposed New Mixed Use Building San Francisco, CA

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Name: Jiliam Janisen

Alzi / Zeit

Signature Date

Address: 3609 Sacramento St., San Francisco, CA 44118

Email/Telephone: 415-410-3393

RE: 3637-3657 Sacramento Street - Proposed New Mixed Use Building San Francisco, CA

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Very truly yours,

Immon E. Sur 8/21/17	
Signature Date	

An Alason C'in

Address: 3680 Sacramento St SF9418

Email/Telephone: 650-580-6492

RE: 3637-3657 Sacramento Street - Proposed New Mixed Use Building San Francisco, CA

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Very truly yours,

Name: Miliam	Ly
Signature	9/1/17 Date

Address: 3490 California St #203 San Francisco, CA 94/18
Email/Telephone: Willijlu@gmail.com

3637-3657 Sacramento Street - Proposed New Mixed Use Building RE: San Francisco, CA

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Very truly yours, The Control
Name: Jun Juli
Signature Date

Address: 3543 Syco A Mexilo ST Email/Telephone: WAY WORLD ST

RE: 3637-3657 Sacramento Street - Proposed New Mixed Use Building San Francisco, CA

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Very truly yours,

Name: 1ctr/	(/0>
7-17-2	- 3/13/18
Signature	Date/

D/ 1/1

Address: 488 Locast Apt. 405 SF, CA
Email/Telephone: pk/osp/egma, 1.com 4/5-264-1969

RE: 3637-3657 Sacramento Street - Proposed New Mixed Use Building San Francisco, CA

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Very truly yours,

Signature Date

Address: 3548 Sacramento Street

Email/Telephone: Lemail/Telephone: Lemail/Teleph

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Very truly yours,
Name: <u>Navganta Talorde</u>
Signature Date
Address: 3468 Californi St
Email/Telephone: 45 345-0 00

RE: 3637-3657 Sacramento Street - Proposed New Mixed Use Building San Francisco, CA

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Name: Pajut Sharne

13 Naru 2018

Signature Date

Address:	488	lound street	SAN	FRANCISU
Email/Telep	phone: _	2178Monny	@ GMAI	L- con

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Very truly yours,

Name: _	Mylen	l po	im the	7
Signatur	re	Date	3-14-18	

Address: 3628 Sacnerto St.
Email/Telephone: May pani/lezgoyogmail.com

RE: 3637-3657 Sacramento Street - Proposed New Mixed Use Building San Francisco, CA

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Name: JASMINE a	FREI	-
Signature	3/14/18 Date	

Address: 3654 SACRAMENTO STREET, 94118

Email/Telephone: JASMINE DSKURMAN COM

RE: 3637-3657 Sacramento Street - Proposed New Mixed Use Building San Francisco, CA

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Name: _	Megan (eicht	
	Ĵ		
Men	in UNT	3/14	/18
Signatur	е	Date	

Address: <u>3654</u>	Sacramento St.	
Email/Telephone:	415-4417-440	

RE: 3637-3657 Sacramento Street - Proposed New Mixed Use Building San Francisco, CA

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Name:	Lillin	Hull
<u> </u>	Hull	3/14/18 Date

Address:	3654	Sacramento	o St.	, San	Francisco	CA
Email/Telephon	e: <u>Whi</u>	, ll@skurman	. Com :	(415)	440-8024	1412
			7		X 107	

RE: 3637-3657 Sacramento Street - Proposed New Mixed Use Building San Francisco, CA

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Very truly yours,

Name: _	GAYAH.	HETTIPOLA	
Signatur	efnf.	3.14.18 Date	

Address: 3654 SACRAMENTO STREET

Email/Telephone: 415-440-4480 GAYANE SKURMAN COM

RE: 3637-3657 Sacramento Street - Proposed New Mixed Use Building San Francisco, CA

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Very truly yours,

Signature Date

Name: Andrew Skurman

Address: 3654 Sacramento St. SF CA 94118

Email/Telephone: and rew@skurman.com / 415-440-4480

RE: 3637-3657 Sacramento Street - Proposed New Mixed Use Building San Francisco, CA

TO WHOM IT MAY CONCERN:

Nama: Cipana - Patra +

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Very truly yours,

14ame. 0.07 17 101	(VOIT /B/T)	
_		
Curs	03/14/2018	
Signature	Date	

Address: 2654 Sacramento St. SF CA 94118

Email/Telephone: Cienna OSkuman.com / 415-440-4480

RE: 3637-3657 Sacramento Street - Proposed New Mixed Use Building San Francisco, CA

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Name: Yat	rick M.	ahar	
Signature	(af)	0 14 18 Date	

Address: 3654 Sacramento St, San Francisco, CA, 94118
Email/Telephone: Patrick Q, Skurman.com

RE: 3637-3657 Sacramento Street - Proposed New Mixed Use Building San Francisco, CA

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Very truly yours,

Name: ED WATKINS

2152 3/14/18 Signature Date

Address: 3654 SACRAINENTO ST SF, CA. 94118

Email/Telephone: ewathing e Skylthan . com

RE: 3637-3657 Sacramento Street - Proposed New Mixed Use Building San Francisco, CA

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Very truly yours,

Name: David	Hayes	
	/	
Wal War	3/14/18	
Signature	Date	

Address: 3654 Sacramento St. San Francisco, CA 94118 Email/Telephone: dhayes@skurman.com

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Very truly yours,

Name: PAIGE MARIUCCI

Paige	Man	•	03/14/2018	
Signature		Da	ite	

Address: 3654 SACRAMENTO STREET

Email/Telephone: page eskurman.com / 415-440-4480

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Name:	arolina Me	endy	
Cawling Signature	Mendy	3//4/18 Date	

Address: 3654 Sacramento Street, San Francisco, (A 94118

Email/Telephone: 415-440-4480

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Very truly yours,

Name: Nicde Kym

71 A 8/172/1-

Address: 390 Laurel St. Ste 310. SF CA 9418 Email/Telephone: Nicola P4582 gmail = 9m

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Very truly yours,

Name: Ludmilla Fox

Ludmilla Tox

Signature Date

Address: 2635 California St SF

Email/Telephone:

RE: 3637-3657 Sacramento Street - Proposed New Mixed Use Building San Francisco, CA

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	- 0 .0 .
Name:	Suker Burnell

Suku Bunub 9/22/17
Signature Date

Address: 3333 California St. San Francisco

Email/Telephone: Sweetenretto USF.edu

Received at CPC Hearing 11/8/18
M. Woods.

Planning Department City & County of San Francisco 1650 Mission Street, Suite 400 San Francisco, CA 94103

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Name: Karen Duang-Yver

Address: 3475 California Street

Business name: Chardler Properties

Email/Telephone: kdy @ chardlerpapaties, com

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Name: arolyn handler
0 00 00 11
audyn Chandler 11/8/2018
Signature Date
Address: 3475 California Street
Business name: Chandler Properties
Email/Telephone: ccachandlerproperties.com
415-569-6230

RE: 3637-3657 Sacramento Street - Proposed New Mixed Use Building San Francisco, CA

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Very truly yours,

Name: MANYJ	OGNAVAN
Q	
Signature	

Address: 1340 Scott STA S.S. CA 94115

Business name: CharoLer Rroperties.

Email/Telephone: MCB ChardLer properties. Com

RE: 3637-3657 Sacramento Street - Proposed New Mixed Use Building San Francisco, CA

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Very truly yours,

Name:

Name:Roxanne Mein
Signature Date 11/8/18
Address:3435 Sacramento Street
Business name:Theoni Collection
Email/Telephone: roxanne@theonicollection.com (415)447-0503

RE: 3637-3657 Sacramento Street - Proposed New Mixed Use Building San Francisco, CA

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Name: RONAL GIAM PAOLI

Ronald Manypooli 1/5/18

Signature Date

Address: 3	585	CAO	Lifori	VIA
Business name:	CA	_	MART	-
Email/Telephone:	415	221	1818	Calmartahofmail con

RE: 3637-3657 Sacramento Street - Proposed New Mixed Use Building San Francisco, CA

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Name: Lan Lee

| 11/7/18 | Date

Address: 1690 Washington St. #204 San Francisco C.A 94109

Business name: con monor, inc

Email/Telephone: 100 jumes 935 Egmail com (1915)-517-8032

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Name: JACHANG HUANG

JECHANG HUANG

Signature Date

Address: 137 Bernard Street. San Francisco. CA

Business name: an-mont, inc

Email/Telephone: Sie Charghang 2012 @ gmail. Com.

(415) 308 - 7968.

RE: 3637-3657 Sacramento Street - Proposed New Mixed Use Building San Francisco, CA

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Name: Chals Mitchell
Chales Mitteled 11/7/18/ Signature Date
Address: 3585 CALIFORNIA ST ST CA. 94118
Business name: CAL-MANT INC
Email/Telephone: Calvart & Hatmail. Con

RE: 3637-3657 Sacramento Street - Proposed New Mixed Use Building San Francisco, CA

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Very truly yours,

Name: Robert Silvestri	
Sohr Schuld 11/1/18	
Signature Date	
Address: 3585 CALIFORNIAST SF CA. 94118	
Business name: CAR-IMMA INC	
Email/Telephone: Calment & Hotman. com	

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Name: MILA VANNA

Signature Date

Address: 3585 CM FORNIA ST. St. CA. 94118

Business name: CM. MAM INC.

Email/Telephone: Calmust gmratism & gmail con 415-221-1818

RE: 3637-3657 Sacramento Street - Proposed New Mixed Use Building San Francisco, CA

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Very truly yours,
Name: GERI LARRACAS
Signature Date
Address: 3585 CALIFORNIA ST ST CA 94115
Business name: CAL-MART, INC
Email/Telephone: calmarte hofmant com 415 751-3516

RE: 3637-3657 Sacramento Street - Proposed New Mixed Use Building San Francisco, CA

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Name: Joseph Clus

Name: Joseph Clus

Name: Joseph Clus

Name: Joseph Clus

Name: Date

Address: 1320 457H AVE SF CA 9412

Business name: CAL Mann, ME

Email/Telephone: Chine ree 32 @ YAHOO.COM

RE: 3637-3657 Sacramento Street - Proposed New Mixed Use Building San Francisco, CA

TO WHOM IT MAY CONCERN:

Very truly yours,

This letter is to express **support** for the proposed project at 3637-3657 Sacramento Street. I have reviewed the architectural drawings dated March 17, 2017 (with latest revisions dated September 24, 2018) for the demolition of the two structures and construction of one new mixed-use building.

The addition of new ground floor retail/commercial space will enhance the pedestrian experience of Sacramento Street. The new construction will also bring in new housing and additional parking to this neighborhood.

T. /-

Name: / inelsen	- flen	lens			
	11/4/1	8			
Signature	Date				
Address:	Clay	St.			
Business name: An	tonell	Broshers	ment	Fish 6	Touttry
Email/Telephone:	ce ey.	83/2 ych	100		

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Name: Michael Ewing

Signature Date

Address: \\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\	· \	senevein	aue	San	Brumo	Ca	94066
Business name:	Cal	wat					_
Email/Telephone:	415	251 351	6				

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Name: Stephany Garcia

Menun 11/8/18
Signature Date

Address: 1 Parker Ave. San Francisco, CA 94118	
Business name: One Parker Dennistry	-
Email/Telephone: 415 668 3500	

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Name: Ing Amith Greg Smith

My Amith 11/8/8
Signature Date

Address: 3536 Aucramento

Business name: BoHas

Email/Telephone: 415 77/ 5600

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Name: 37EVEN 78E

Address: 3536 SACRAMONTO ST. 5-T

Business name: Botta's Parto Body shop

Email/Telephone:

RE: 3637-3657 Sacramento Street - Proposed New Mixed Use Building San Francisco, CA

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Name: Juny Eng

Angnature Date

Address: 3856 SACREMENTO ST.

Business name: BOTTAS AUTO BODY

Email/Telephone: 415 771-5600

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Name: CARY GROWEY

11/4/14
Signature Date

Address: 3836 > Manymerro 47

Business name: BOTTON MARCHANY

Email/Telephone: 415 771 - 5600

RE: 3637-3657 Sacramento Street - Proposed New Mixed Use Building San Francisco, CA

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Very truly yours,

Name: Himberly Simons

Name: Himberly Simons

10 | 29 | 18

Signature Date

Address: 364/Sacramento St. Suik A
Business name: Noah Simons, mD

Email/Telephone: Kimberly jo Simonsagnail Com 45318 6065



3641 Sacramento St Suite A San Francisco, CA 94118

T 415-601-1339 F 415-931-6523 noghsimonsmd@me.com

www.noahsimonsmd.com

Planning Department City & County of San Francisco 1650 Mission Street, Suite 400 San Francisco, CA 94103

RE: 3637-3657 Sacramento Street

Dear Planning Dept:

I am writing this letter in support of 3637-3657 Sacramento Street project. I am a pediatrician in the building currently.

I very much look forward to being able to carry out my practice in the new modern mixed use building.

The new building will be wonderful for patients. There will be better access for handicap patients and for strollers too. We look forward to more parking too that the building will bring.

Sincerely,

Noah Simons MD FAAP

RE: 3637-3657 Sacramento Street - Proposed New Mixed Use Building San Francisco, CA

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Very truly yours,

Name: Loren Cervantes
Signature Date
Address: 364 Sacramento St. Step SF, CA 94118
Business name: hoatt Simors Inc.
Email/Telephone: NOAHSINONSMD@ME.Com

RE: 3637-3657 Sacramento Street - Proposed New Mixed Use Building San Francisco, CA

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Very truly yours,

Name:	JOSEPH	Sciancalepore	
		10/23/18	
Signatu	ire	Date	

Address:	3641 Sacramento St. SteA. San Francisco, CA94118
Business na	me: NOAH SIMONS INC.
Email/Telep	phone: NOAHSIMONSME me. com

RE: 3637-3657 Sacramento Street - Proposed New Mixed Use Building San Francisco, CA

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Very truly yours,

Mair Paula Paula Coronado

Mair Paula July 10/26/18
Signature Date

Address: 3641 Sacramento Street Suite A San Francisco, CA

Business name: Noah Simons Inc.

94118

Email/Telephone: 415 - 601 - 1339

RE: 3637-3657 Sacramento Street - Proposed New Mixed Use Building San Francisco, CA

TO WHOM IT MAY CONCERN:

This letter is to express **support** for the proposed project at 3637-3657 Sacramento Street. I have reviewed the architectural drawings dated March 17, 2017 (with latest revisions dated September 24, 2018) for the demolition of the two structures and construction of one new mixed-use building.

We have lived a block away from this project for over 6 years and believe that the proposed redevelopment of this property is a vast improvement and will benefit the neighborhood. The addition of new ground floor retail/commercial space will enhance the pedestrian experience of Sacramento Street. The new construction will also bring in new housing and additional parking to this neighborhood.

Very truly yours,

Dean Copans

Date: October 23, 2018

Dean Copans 3737 Sacramento Street, San Francisco, CA 94118 dean42@gmail.com 650-465-3993

RE: 3637-3657 Sacramento Street - Proposed New Mixed Use Building San Francisco, CA

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Very truly yours,

	Name: MCNAND A Civy	
_	Signature Date	
	Address: 3 Re Coliforne A	
	Business name: MUNANS 4 LEVY WW.	
	Email/Telephone: 41599 Equi	

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Name: Amanda Thompsan

Man 11/07/18
Signature Date

Address: / P	arker	Weni	N		94118
Business name:	One	tanker	fed	atric	Dentish
Email/Telephone:	(4	15) 448	-350	0	

RE: 3637-3657 Sacramento Street - Proposed New Mixed Use Building San Francisco, CA

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Name: (all Hilman)
Signature Date
Address: Parker Are
Business name: One Parker Dentistry
Email/Telephone: 4/6/del 3570

RE: 3637-3657 Sacramento Street - Proposed New Mixed Use Building San Francisco, CA

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Name: Cayla Brosi

1/7/18
Signature Date

Address: One Parkey Ave SF, CA 94118

Business name: One Parker Dentistry

Email/Telephone: 415 - 418 - 3500

RE: 3637-3657 Sacramento Street - Proposed New Mixed Use Building San Francisco, CA

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Very truly yours,

Name: kim

Signature	Date		
Address:		IRINA KHIDEKEL, M.D.	
Business name:		3635 CALIFORNIA STREET SAN FRANCISCO, CA 94118 Ph: (415) 752-0277	
The second secon		Fax: (415) 752-5333	
Email/Telephone:			

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Name: India Juli 18
Signature Date

Address: 3633 Calforna &

Business name: Sakuro Kann, Ass.

Email/Telephone: fatt of yan Cyahan. com

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Name: Date

Address: 39/5 (Tearly

Business name:

Email/Telephone:

RE: 3637-3657 Sacramento Street - Proposed New Mixed Use Building San Francisco, CA

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Name: <u>vei chemy</u>

Signature

Date

Address: 3015	GEARY BIVD	@ Cook	5-F. OF 94118
Business name:	SQUEYS		
Email/Telephone:	415-298-4774		

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Very truly yours,

Name:	D-1	NORAL	-	
Signature Signature		11 07 14 Date		
Address:	3601	California Street		_
Business name:		Walgreen's		
Email/Telephone	e:	415-668-5202		

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Very truly yours,

Name: Jadine lin

Signature Date	
Address: 3601 California St.	
Business name: Wayreens.	
Email/Telephone: 445 668-5202	

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Name: Teduran Woo

Signature Date

Address: 3601 California St. SF, CA 94118

Business name: Walgreen's

Email/Telephone: 415-668-5202 ngr. 00896 Estore. valgreaus. com.

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Name: Vivion Groo

Interview of the state of

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Name: Yen Nguyey

Signature Date

Address: 3601 Cal formia St.

Business name: Walgroens

Email/Telephone: 415.668 5702

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Name: Jonathan Clinky

11/7/16
Signature Date

Address: 3601 California st SF, CA 94118

Business name: Walgreens

Email/Telephone: (415) 668-5202

RE: 3637-3657 Sacramento Street - Proposed New Mixed Use Building

San Francisco, CA

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Name: KHS Gee

Linkstee 11/7/18
Signature Date

Address: 35/9 Colifornia St

Business name: Noath bagel

Email/Telephone: 415-381-3814

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very trainy years,	
Name: Matt Tawny Andrews	
Signature Date	
Address: 35/9 California Street	
Business name: Noah's Bagel	
Email/Telephone: 415 - 387 - 3874	

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Name: WYON ZHO

Signature Date

Address: 3533 California St.

Business name: FIRST REPUBLIC BANK

Email/Telephone: <u>VZHU@ FIRSTREPUBLIC.</u> com (415) 831-6688

RE: 3637-3657 Sacramento Street - Proposed New Mixed Use Building San Francisco, CA

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Name: Pana Vovk

Address: 3401 California St

Business name: De autifull

Email/Telephone: (415) 728-9080 / iana Co Ceautifell. con

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March

Name: 1 Wall Doct 1 Doc

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Name: Fernando Muranda, MD

Signature Date

Email/Telephone: fyruvanda nde grace. com

April 7, 2014

Planning Department City & County of San Francisco 1650 Mission Street, Suite 400 San Francisco, CA 94103

RE: 3637-3657 Sacramento Street - Proposed New Mixed Use Building San Francisco, CA

TO WHOM IT MAY CONCERN:

This letter is to express "No Opposition" for the propose project at 3637-3657 Sacramento Street. I have reviewed the architectural drawings dated September 19, 2012 for the demolition of the two structures and construction of one new mixed-use building.

Very truly yours,	
Name:	Phau
Signature	Date 14
Address:	LPH SHIPPING & BUSINESS SERVICES 3701 Sacramento Street San Francisco, CA 94118 (415) 221-9817
Email/Telephone:	

April 15, 2014

Very truly yours,

Planning Department City & County of San Francisco 1650 Mission Street, Suite 400 San Francisco, CA 94103

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Name: Z Henr Travis

Signature Date

Address: 488 Locust St

Email/Telephone: Kentrauco @ xahoo 415-867-7366

April 15, 2014

Very truly yours,

Planning Department City & County of San Francisco 1650 Mission Street, Suite 400 San Francisco, CA 94103

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Name: Kari Trauis

Address: 488 Locust St #
Email/Telephone: 415-735-2505

April 8, 2014

Planning Department City & County of San Francisco 1650 Mission Street, Suite 400 San Francisco, CA 94103

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Very truly yours,

Name: (1) any pelo Pelo Y/8/14
Signature Date

Address: 3698 Sacramonto St, SFCA 94/18

Email/Telephone: Now adoug one baby com

415-309-5830

March 28, 2014

Very truly yours,

Planning Department City & County of San Francisco 1650 Mission Street, Suite 400 San Francisco, CA 94103

3637-3657 Sacramento Street - Proposed New Mixed Use Building San Francisco, CA

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Signature

Address:

Email/Telephone: 415 308 - 2548

johnschicker gmail.com

Very truly yours,

Address:

Planning Department City & County of San Francisco 1650 Mission Street, Suite 400 San Francisco, CA 94103

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Name: Rhyan Politano

Signature Date

Charles Schwab
Presidio Heights Branch
3478 California St.
S.F., CA. 94118

Email/Telephone:

April 8, 2014

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Very truly yours,
Name:
Signature Date
Address: 3525 California St. 87 At 94118
Email/Telephone: 45 751 - 1525

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3637-3657 Sacramento Street - Proposed New Mixed Use Building RE: San Francisco, CA

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The addition of new ground floor retail/commercial space will enhance the pedestrian experience of Sacramento Street. The new construction will also bring in new housing and additional parking to this neighborhood.

Very truly yours,

Address: 488 WWSt St. SF. CA 94118
Email/Telephone: Sanswig & yahov. com 45 517-634-9

Very truly yours,

ignature

Planning Department City & County of San Francisco 1650 Mission Street, Suite 400 San Francisco, CA 94103

3637-3657 Sacramento Street - Proposed New Mixed Use Building San Francisco, CA

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LISLE W. PAYNE

Address: 36/6 TA cksod Stepet, SANFRANCISH G 94/18
Email/Telephone: 4/5-98/28/0

Planning Department City & County of San Francisco 1650 Mission Street, Suite 400 San Francisco, CA 94103

RE: 3637-3657 Sacramento Street - Proposed New Mixed Use Building San Francisco, CA

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Very truly yours,		
Name: At		
Robert C	Tandler	4.11.14
Signature	Date	

Address: 3490 (a(, fan, a St. #209

Email/Telephone: Bob @ FRLTY. (um 415.)71,0741

Planning Department City & County of San Francisco 1650 Mission Street, Suite 400 San Francisco, CA 94103

RE: 3637-3657 Sacramento Street - Proposed New Mixed Use Building San Francisco, CA

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Very truly yours,

Name: Valli Benesch

Signature Date

Address: 3490 Calif St # 209 81

Email/Telephone: 4/577/0740

Planning Department City & County of San Francisco 1650 Mission Street, Suite 400 San Francisco, CA 94103

3637-3657 Sacramento Street - Proposed New Mixed Use Building RE: San Francisco, CA

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Very truly yours,

Name: Kyoko Kawachi Signature/

Address: 170 Mangels Ave Sen Francisco, CA 9413/
Email/Telephone: (416) 613-1901

Planning Department City & County of San Francisco 1650 Mission Street, Suite 400 San Francisco, CA 94103

RE: 3637-3657 Sacramento Street - Proposed New Mixed Use Building San Francisco, CA

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Very truly yours,

Name: SUSAN E. MANGIAMELI

Susan & Mangianeli 4/9/14 Signature Date

Address: 488 LOCUST ST #306 SF 94118

Email/Telephone: 415-359-9644

Planning Department City & County of San Francisco 1650 Mission Street, Suite 400 San Francisco, CA 94103

RE: 3637-3657 Sacramento Street - Proposed New Mixed Use Building San Francisco, CA

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Very truly yours,

Signature Date

Name: JOSEPH L MANGIAMECI

Address: 488 Locust ST # 306

Email/Telephone: 415 359-9684

Planning Department City & County of San Francisco 1650 Mission Street, Suite 400 San Francisco, CA 94103

RE: 3637-3657 Sacramento Street - Proposed New Mixed Use Building San Francisco, CA

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Very truly yours,

Mayrie aflernan 4/9/16 Signature Date

Address: 488 Locust apt 405

Email/Telephone: 415-771-8992

Very truly yours,

Planning Department City & County of San Francisco 1650 Mission Street, Suite 400 San Francisco, CA 94103

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Name: Heather Rhyn

Ofeatur Khy 4/914 Signature Date

Address: 488 Lowet St. Opt. 408

Planning Department City & County of San Francisco 1650 Mission Street, Suite 400 San Francisco, CA 94103

RE: 3637-3657 Sacramento Street - Proposed New Mixed Use Building San Francisco, CA

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Very truly yours,	Ahida G.S.	; (verma	N	
Name:	da 6 Silr			
	~			
Alch	n6 SL_	- Cepirl	g L	
Signature	Date	•		
	,			
Address:	8 Locust	# 49	5. F94118	
Email/Telephone:	alidas O	Concas)	t.net	

Planning Department City & County of San Francisco 1650 Mission Street, Suite 400 San Francisco, CA 94103

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Name: HEARST 4/09/2014
Signature Date

Address: 401 Locator

Email/Telephone: 415-629-255

Planning Department City & County of San Francisco 1650 Mission Street, Suite 400 San Francisco, CA 94103

RE: 3637-3657 Sacramento Street - Proposed New Mixed Use Building San Francisco, CA

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Very truly yours,

Name: John Mills John Mil

BONNIE BARNETT 4/00/2014
Signature Date

Address: 488 Locust # 401

Email/Telephone: 415 699-2555

Planning Department City & County of San Francisco 1650 Mission Street, Suite 400 San Francisco, CA 94103

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Very truly yours,
Name: Name:
Signature Date
Address: 70 Box 1678, SF CA 84/18
Email/Telephone: 415-57-8806

Very truly yours,

Planning Department City & County of San Francisco 1650 Mission Street, Suite 400 San Francisco, CA 94103

RE: 3637-3657 Sacramento Street - Proposed New Mixed Use Building San Francisco, CA

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Name: Grey Megas

Manages

Megas

Megas

Megas

Signature

Date

Address: 3701 Square 5+ #467 SF CH 94/18
Email/Telephone: Gregor 219@yakoron 415-595-2273

Planning Department City & County of San Francisco 1650 Mission Street, Suite 400 San Francisco, CA 94103

RE: 3637-3657 Sacramento Street - Proposed New Mixed Use Building San Francisco, CA

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Very truly yours,

Name: Name:	Simpson	
Mah	•	
Signature	Date	
Address: 429	EL GRANADA	CA 94018
Email/Telephone:	ncksimpson 750	yahoo.com

Planning Department City & County of San Francisco 1650 Mission Street, Suite 400 San Francisco, CA 94103

RE: 3637-3657 Sacramento Street - Proposed New Mixed Use Building San Francisco, CA

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Very truly yours,

Name: Alifton Tor	Υ
	04/08/2014
Signature	Date

Address: 671 38th Aur San Francisco, CA 94121
Email/Telephone: Clifton tam & Socalobal Mot

Very truly yours,

Planning Department City & County of San Francisco 1650 Mission Street, Suite 400 San Francisco, CA 94103

3637-3657 Sacramento Street - Proposed New Mixed Use Building RE: San Francisco, CA

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Name: V_{i} W_{i} W_{i}

Address: 3 473 CALIFORNIA ST.

Email/Telephone: N/A

Planning Department City & County of San Francisco 1650 Mission Street, Suite 400 San Francisco, CA 94103

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Very truly yours,

Name:	Jason	Horward	
	7		
-//	7	4-9-14	
Signatu	re	Date	

Address: 3431 Califoria st

Email/Telephone: 415 - 544 - 5074

Very truly yours,

Planning Department City & County of San Francisco 1650 Mission Street, Suite 400 San Francisco, CA 94103

3637-3657 Sacramento Street - Proposed New Mixed Use Building RE: San Francisco, CA

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Name: DOLG MITHIE

Signature Date

Address: 3465 CALIFORNIA 57
Email/Telephone: 45-575-0803

Planning Department City & County of San Francisco 1650 Mission Street, Suite 400 San Francisco, CA 94103

RE: 3637-3657 Sacramento Street - Proposed New Mixed Use Building San Francisco, CA

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Very truly yours,

Name: Erik Bjorn

EQB 4/9/2014
Signature Date

Address: 3634 Sacramento Street, SF CA 94118

Email/Telephone: erikbjorn@roundhillpacific.com

Planning Department City & County of San Francisco 1650 Mission Street, Suite 400 San Francisco, CA 94103

RE: 3637-3657 Sacramento Street - Proposed New Mixed Use Building San Francisco, CA

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Very truly yours,

Name: Sarah Lamb

Signature Date

Address: 3634 Sacramento St, SF, CA 94118

Email/Telephone: Slamb@roundhillpacific.com /415.922.5700

Planning Department City & County of San Francisco 1650 Mission Street, Suite 400 San Francisco, CA 94103

RE: 3637-3657 Sacramento Street - Proposed New Mixed Use Building San Francisco, CA

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Very truly yours,

Name: Susan Mager

Address: 3634 Sacramento St. Den Francisco 94118 Email/Telephone: (3<2)537-9831

Very truly yours,

Planning Department City & County of San Francisco 1650 Mission Street, Suite 400 San Francisco, CA 94103

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Name: Tve | Rubin

Jul Rubin

Signature Date

Address:	488	Locust	57-	APT.	201	
Email/Telepho	one:	illocks-16	hotmail	Com		

Planning Department City & County of San Francisco 1650 Mission Street, Suite 400 San Francisco, CA 94103

RE: 3637-3657 Sacramento Street - Proposed New Mixed Use Building San Francisco, CA

TO WHOM IT MAY CONCERN:

This letter is to express "No Opposition" for the propose project at 3637-3657 Sacramento Street. I have reviewed the architectural drawings dated September 19, 2012 for the demolition of the two structures and construction of one new mixed-use building.

Very truly yours,			
Name: Donald Louis			
4			
Gond V Signature	Date		
Address:		LPH SHIPPING & BUSINESS SERVICES 3701 Sacramento Street San Francisco, CA 94118	
Email/Telephone:		(415) 221-9817	

March 28, 2014

Planning Department City & County of San Francisco 1650 Mission Street, Suite 400 San Francisco, CA 94103

RE: 3637-3657 Sacramento Street - Proposed New Mixed Use Building San Francisco, CA

TO WHOM IT MAY CONCERN:

Name: Molly Bosch

This letter is to express **support** for the proposed project at 3637-3657 Sacramento Street. I have reviewed the architectural drawings dated September 19, 2012 for the demolition of the two structures and construction of one new mixed-use building.

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Very truly yours,

Signature Signature	3/28/14 Date	
Address: 3665	Sa cramento of.	San Francisco
Email/Telephone:	B 415. 428. Bb94	OA 94/8

March 28, 2014

Planning Department City & County of San Francisco 1650 Mission Street, Suite 400 San Francisco, CA 94103

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Name: Samu Mataru

Signature Date

Address: 369 - Samuento St

Email/Talanhana: 415-921-2192

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Very truly yours,
Name: John Jimons Mo
Signature Date
Address: 3641 Sacramento St Dite A
Email/Telephone:
noorhsmonsmd@me.com
415 613 4014

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Very truly yours,

Name: Margaret

Address: 3491 California St. SF CA 9411B

Email/Telephone: margaret. logez e stones. gap. com

Planning Department City & County of San Francisco 1650 Mission Street, Suite 400 San Francisco, CA 94103

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Very truly yours,

Name: Jeff Canbardella

Signature Date

Address: 3465 California 5+

Email/Telephone: Seffe Rigolocafe - com

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