



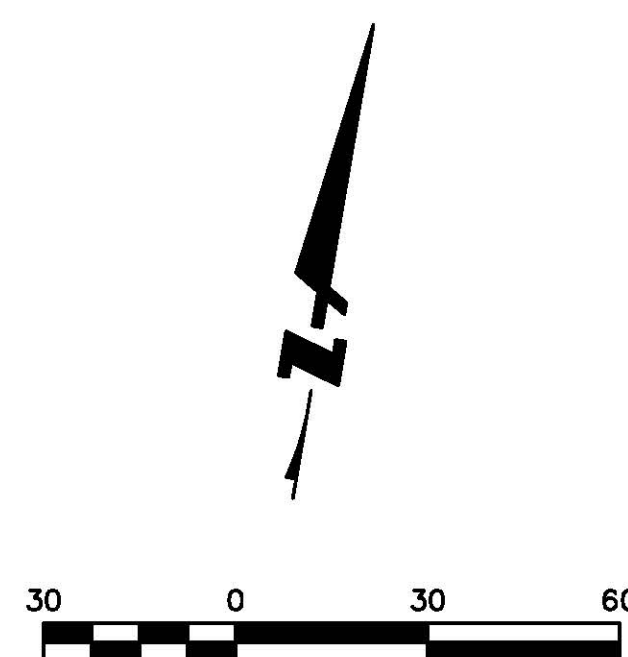
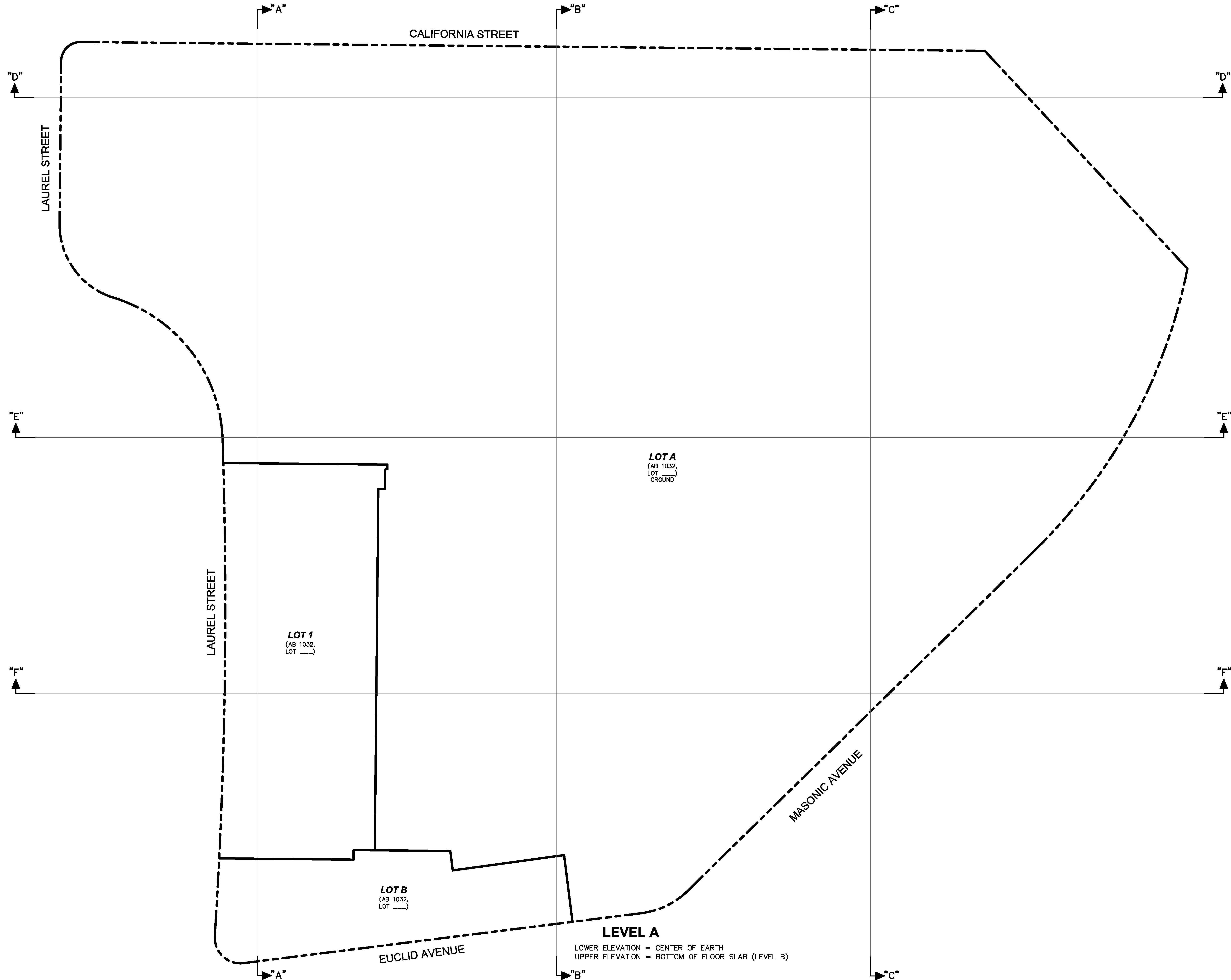
CALIFORNIA

**3333 CALIFORNIA STREET
TENTATIVE FINAL MAP 9956
PROPOSED LOT PLAN**

SAN FRANCISCO

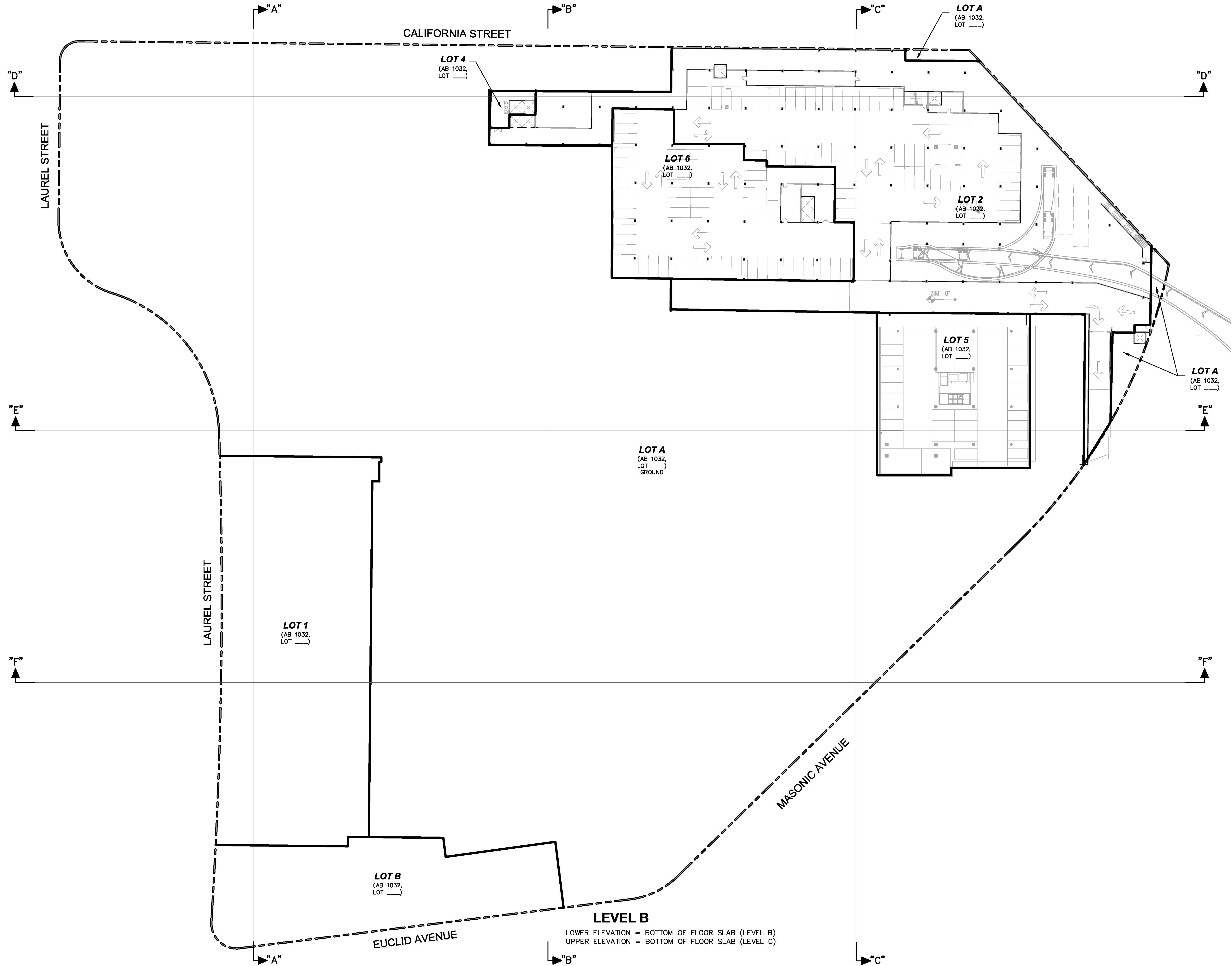
?	Date: 06/12/2019	No.	Revisions
1	Scale: AS SHOWN		
2	Design:		
3	Drawn:		
4	Approved:		
Job No: 20147087-12			

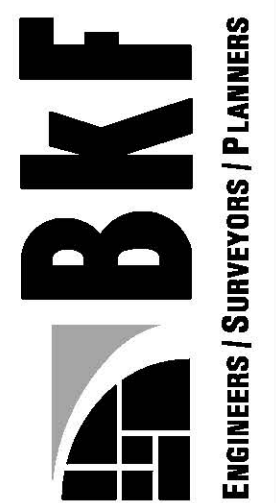
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OF



Revisions	
No.	
Date: 06/12/2019	
Scale: AS SHOWN	
Design:	
Drawn:	
Approved:	
Job No: 2014002-12	

3333 CALIFORNIA STREET, SAN FRANCISCO, CA 94118
TENTATIVE FINAL MAP 9956
PROPOSED LOT PLAN
DATE: 06/12/2019
SCALE: AS SHOWN
DESIGN: BKF ENGINEERS
DRAWN: BKF ENGINEERS
APPROVED: BKF ENGINEERS
JOB NO: 2014002-12





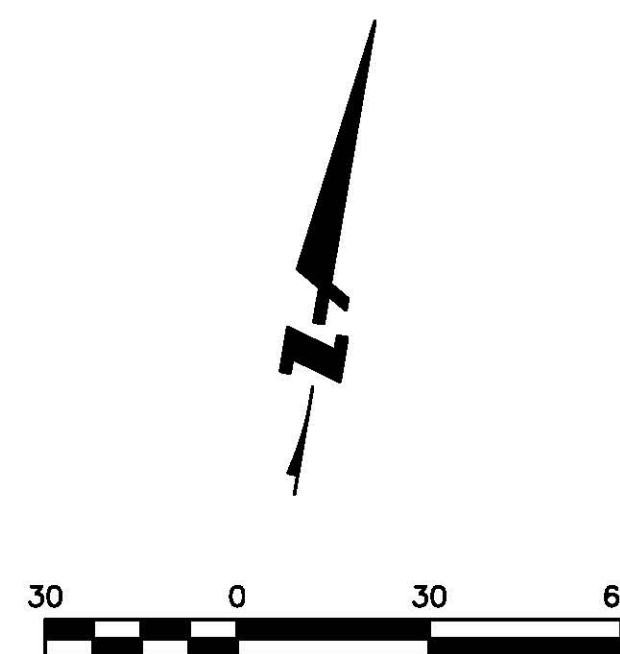
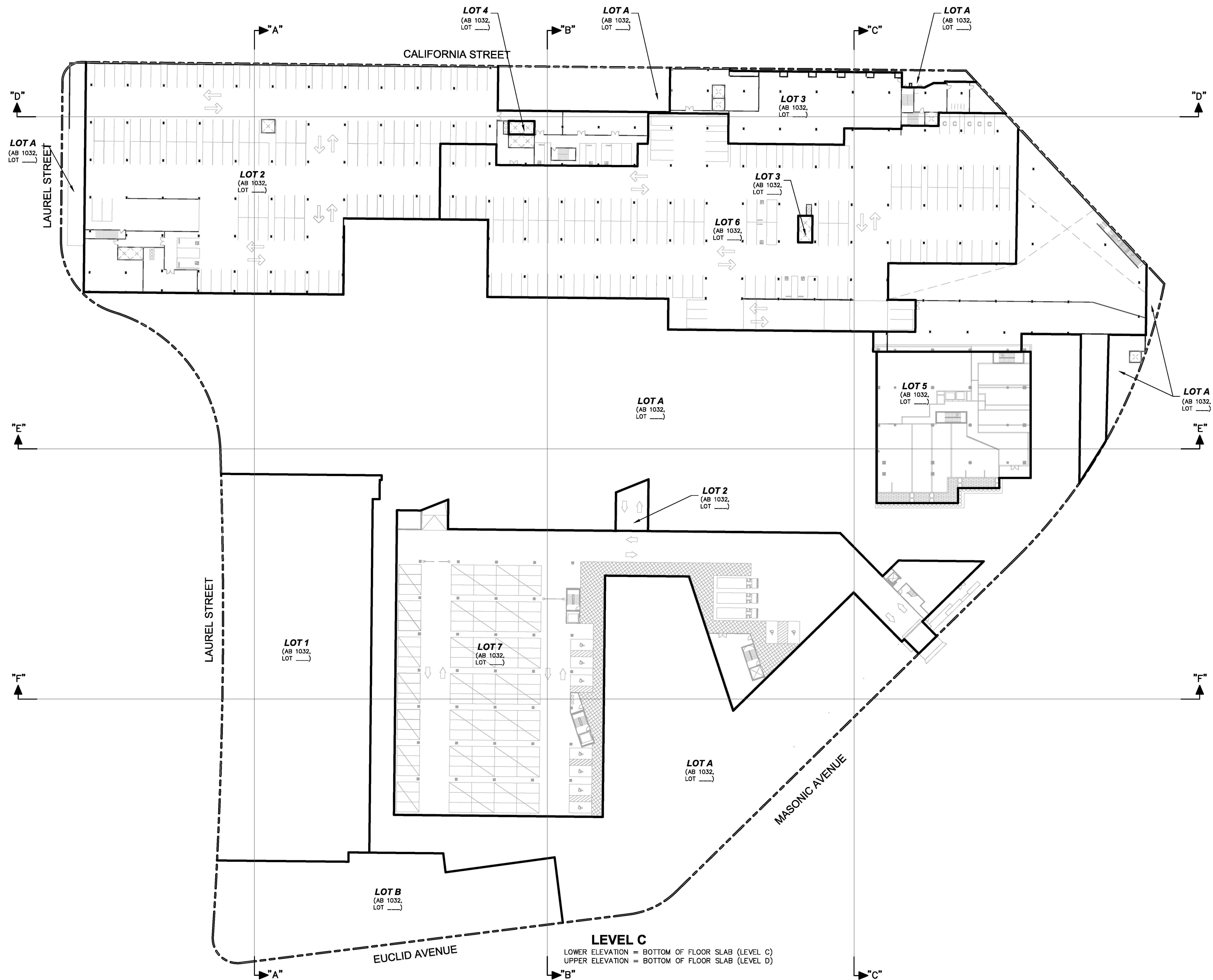
CALIFORNIA

**3333 CALIFORNIA STREET
TENTATIVE FINAL MAP 9956
PROPOSED LOT PLAN**

SAN FRANCISCO

Date: 06/12/2019	No.	Revisions
Scale: AS SHOWN		
Design:		
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Job No: 20147087-12		

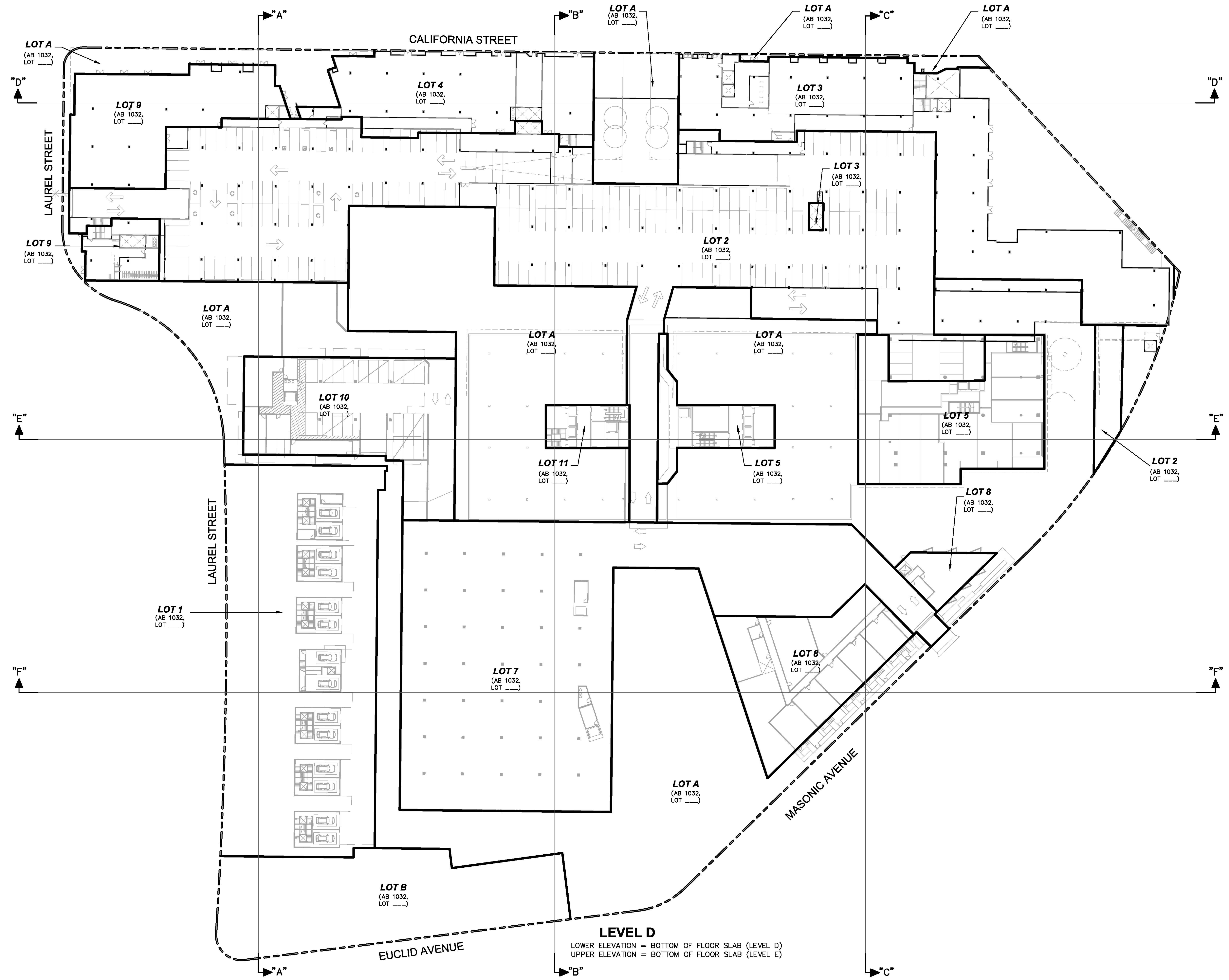
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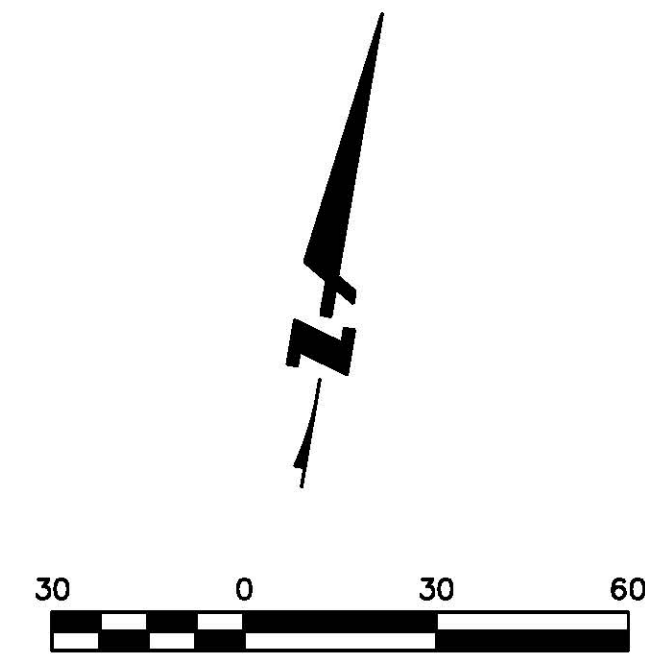
3333 CALIFORNIA STREET
TENTATIVE FINAL MAP 9956
PROPOSED LOT PLAN

Revisions			
No.	Date	By	Appr.

3333 CALIFORNIA STREET
TENTATIVE FINAL MAP 9956
PROPOSED LOT PLAN



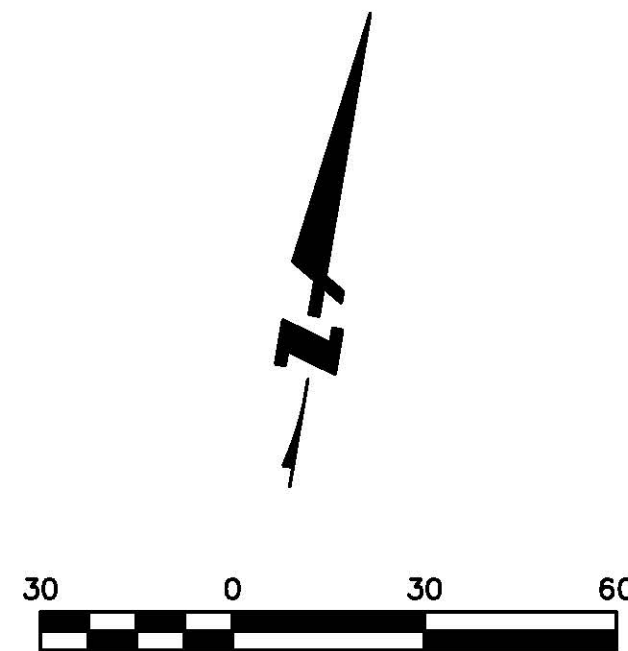
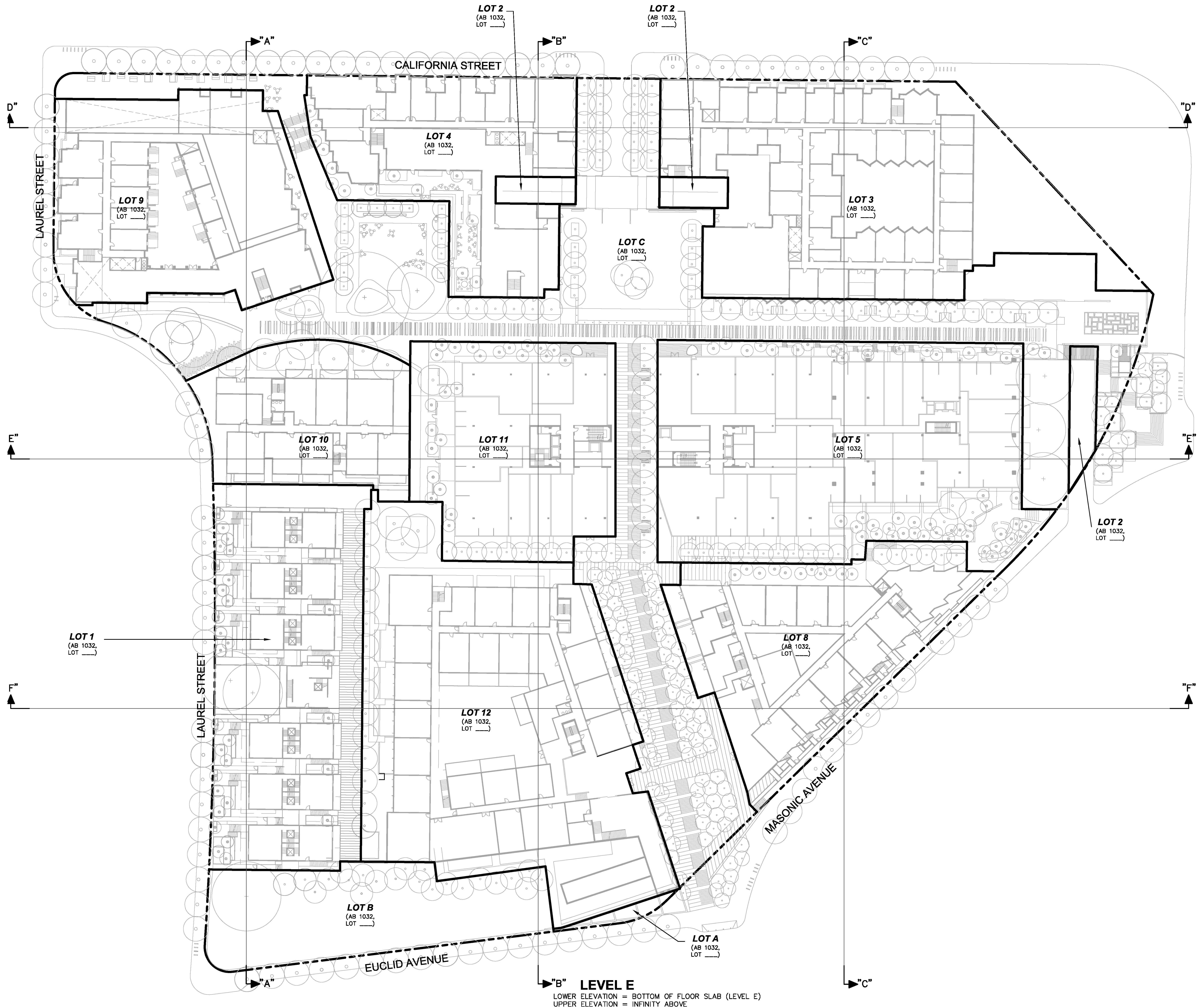
LEVEL D
LOWER ELEVATION = BOTTOM OF FLOOR SLAB (LEVEL D)
UPPER ELEVATION = BOTTOM OF FLOOR SLAB (LEVEL E)



3333 CALIFORNIA STREET
TENTATIVE FINAL MAP 9956
PROPOSED LOT PLAN

SAN FRANCISCO

Revisions	
No.	
Date: 06/12/2019	Scale: AS SHOWN
Design:	Drawn:
Approved:	Job No: 201902-12
Drawing Number:	



3333 CALIFORNIA STREET
TENTATIVE FINAL MAP 9956
PROPOSED VERTICAL PARCIALIZATION

LEVEL A

LEVEL B

LEVEL C

LEVEL D

LEVEL E

LOT C
(AB 1032,
LOT ____)

LOT A
(AB 1032,
LOT ____)

LOT 9
(AB 1032,
LOT ____)

LOT C
(AB 1032,
LOT ____)

LOT 10
(AB 1032,
LOT ____)

LOT 2
(AB 1032,
LOT ____)

LOT A
(AB 1032,
LOT ____)

LOT 1
(AB 1032,
LOT ____)

LOT B
(AB 1032,
LOT ____)

285.8

285.8

289.5

276.0

271.5

261.5

274.7

INFINITY ABOVE

CENTER OF EARTH

SECTION A-A

NTS

Revisions

No.

Date: 06/12/2019
Scale: AS SHOWN
Design:
Drawn:
Approved:
Job No. 2016002-12

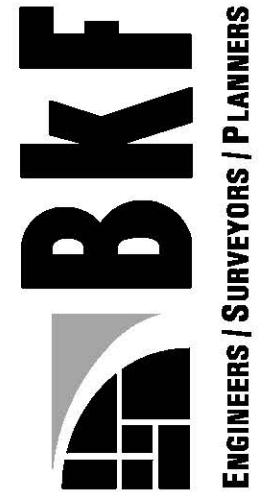
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Of

SAN FRANCISCO

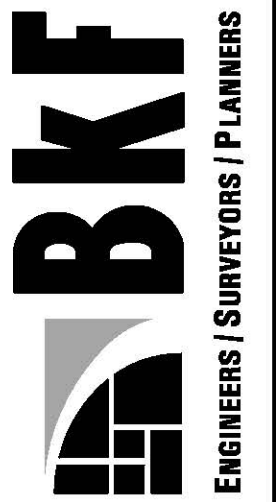
3333 CALIFORNIA STREET
TENTATIVE FINAL MAP 9956
PROPOSED VERTICAL PARCIALIZATION

CALIFORNIA



4670 WILLOW RD
SUITE 250
FARMACON, CA 94586
925-398-7700 (FAX)
925-398-7799 (FAX)

© BKF ENGINEERS

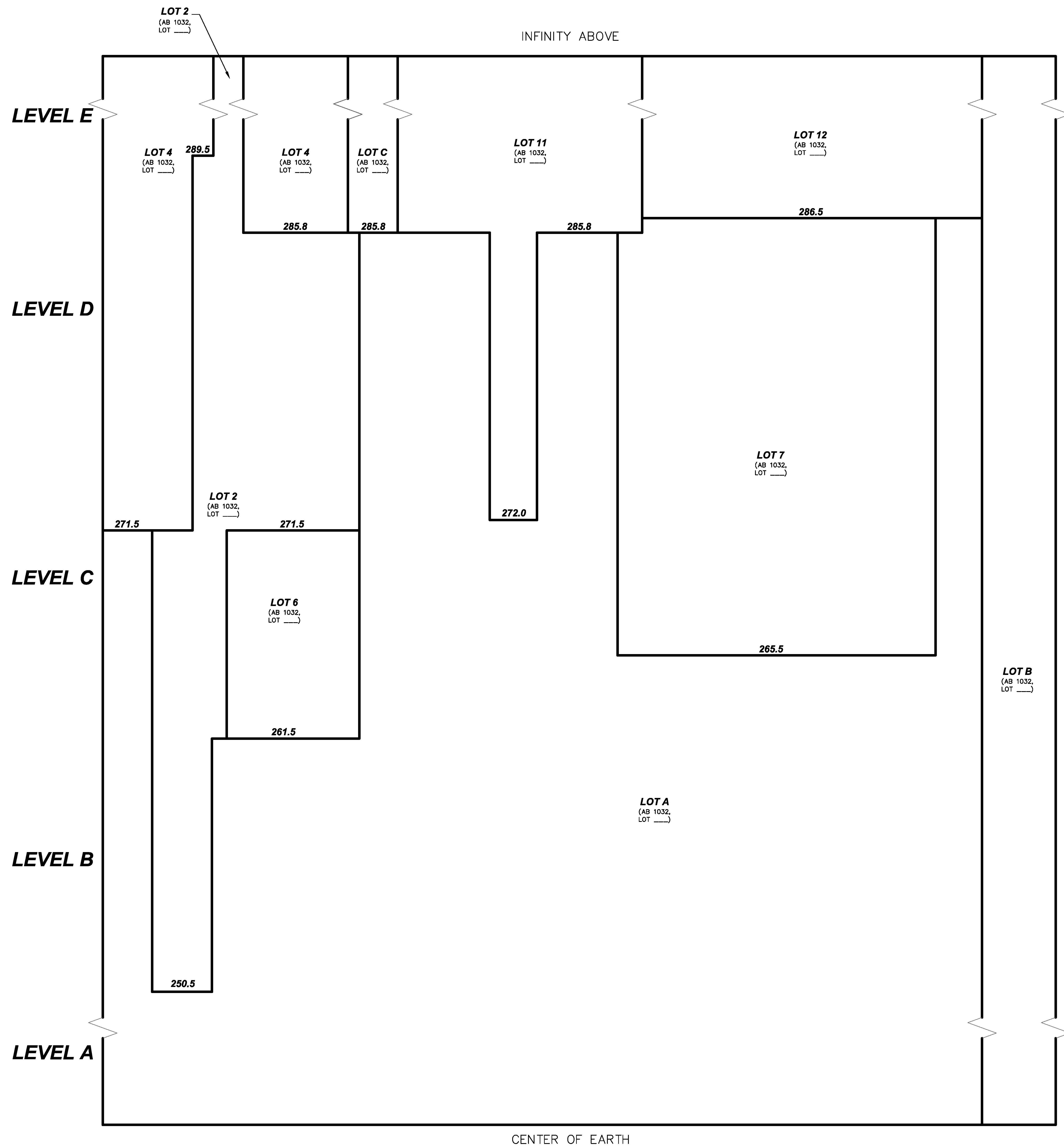


CALIFORNIA

**3333 CALIFORNIA STREET
TENTATIVE FINAL MAP 9956
PROPOSED VERTICAL PARCIALIZATION
SAN FRANCISCO**

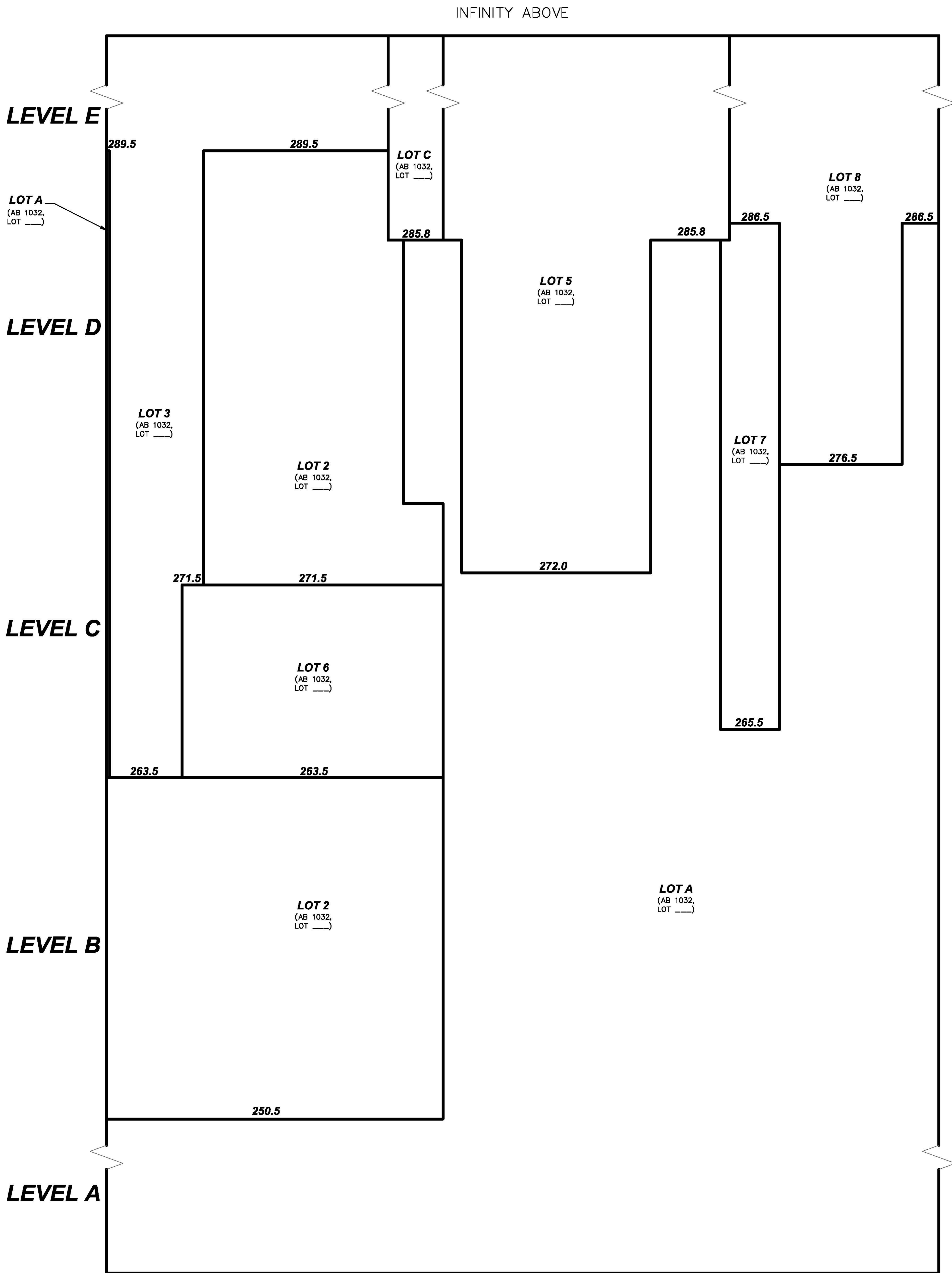
SAN FRANCISCO

Drawing Number: C4.7 OF	Date: 06/12/2019	No.	Revisions
	Scale: AS SHOWN		
	Design:		
	Drawn:		
	Approved:		
	Job No: 20147087-12		



SECTION B-B
NTS

3333 CALIFORNIA STREET
TENTATIVE FINAL MAP 9956
PROPOSED VERTICAL PARCIALIZATION



CENTER OF EARTH

SECTION C-C

NTS

Date: 06/12/2019	No.	Revisions
Scale: AS SHOWN		
Design:		
Drawn:		
Approved:		
Job No: 2014002-12		

C4.8
OF

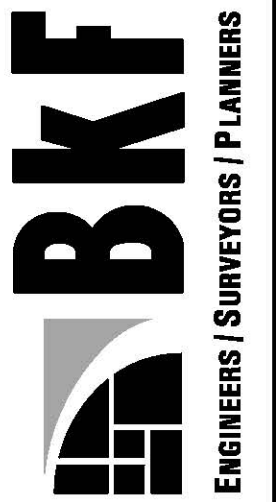
SAN FRANCISCO

3333 CALIFORNIA STREET
TENTATIVE FINAL MAP 9956
PROPOSED VERTICAL PARCIALIZATION

CALIFORNIA



4670 WILLOW RD
SUITE 250
PACIFIC PALMS, CA 94586
925-398-7700 (FAX)
925-398-7799 (FAX)



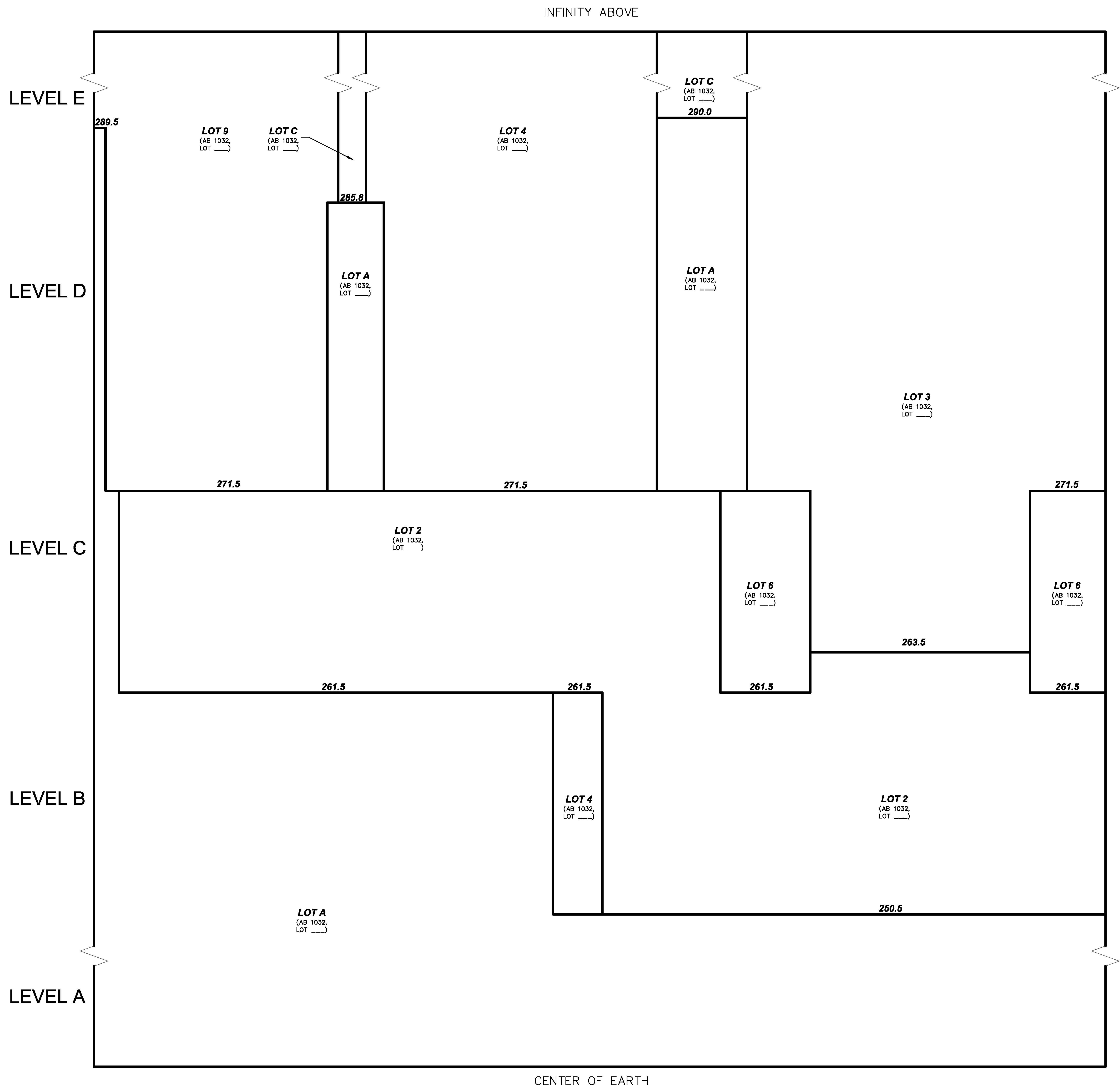
CALIFORNIA

**3333 CALIFORNIA STREET
TENTATIVE FINAL MAP 9956
PROPOSED VERTICAL PARCIALIZATION
SAN FRANCISCO**

SAN FRANCISCO

	Date: 06/12/2019	No.	Revisions
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D	Design:		
E	Drawn:		
I	Approved:		
J	Job No: 20147087-12		

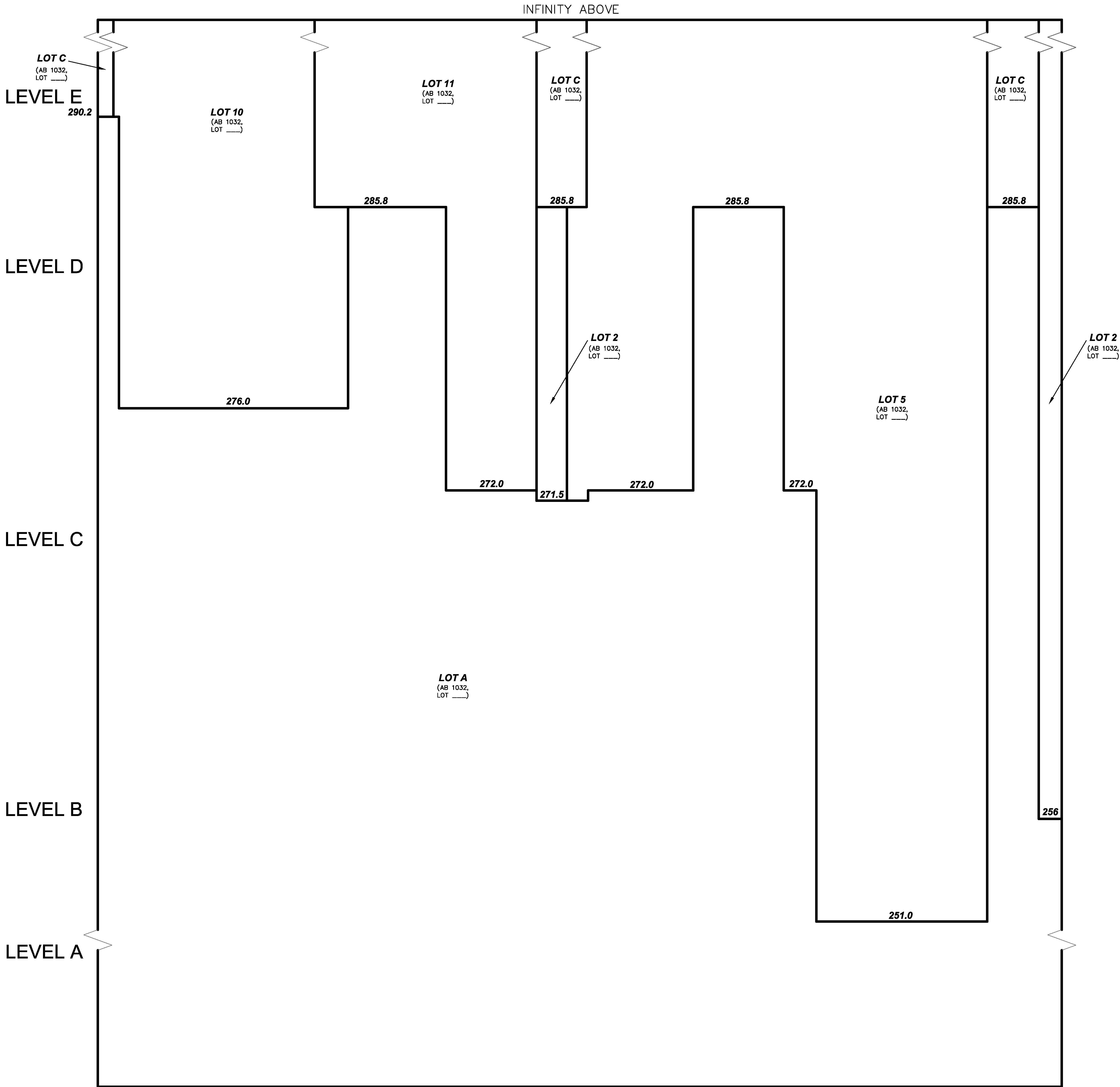
C4.9
OF



SECTION D-D

NTS

3333 CALIFORNIA STREET
TENTATIVE FINAL MAP 9956
PROPOSED VERTICAL PARCIALIZATION



CENTER OF EARTH

SECTION E-E
NTS

Date: 06/12/2019	No.	Revisions
Scale: AS SHOWN		
Design:		
Drawn:		
Approved:		
Job No. 2016002-12		

Drawing Number:
C4.10
Of

SAN FRANCISCO

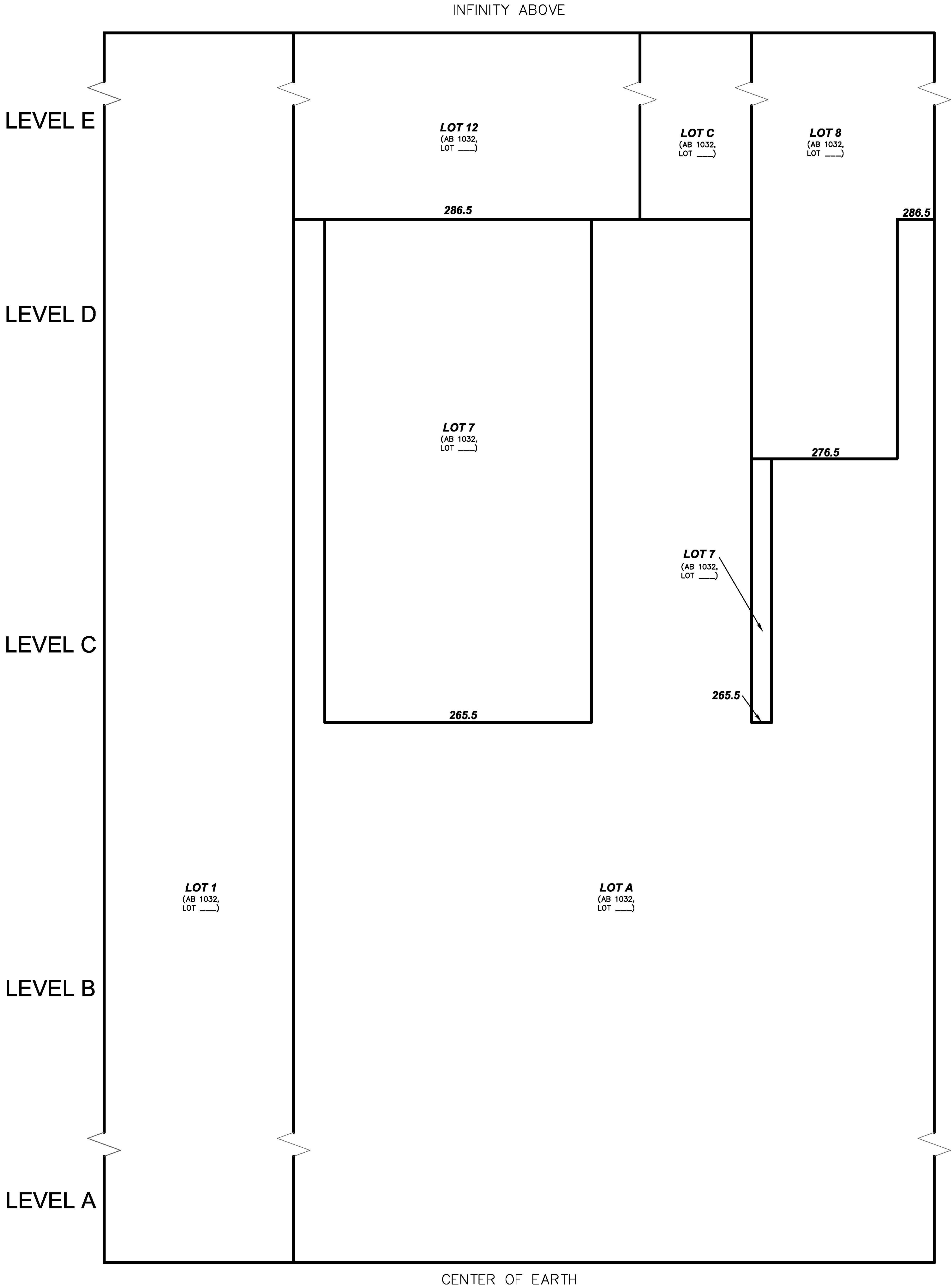
**3333 CALIFORNIA STREET
TENTATIVE FINAL MAP 9956
PROPOSED VERTICAL PARCIALIZATION**

CALIFORNIA



4670 WILLOW RD
SUITE 250
PACIFIC PALMS, CA 94586
925-398-7700 (FAX)
925-398-7799 (FAX)

3333 CALIFORNIA STREET
TENTATIVE FINAL MAP 9956
PROPOSED VERTICAL PARCIALIZATION



Date: 06/12/2019		No.	Revisions
Scale: AS SHOWN	Design:		
Drawn:	Approved:		
Job No. 2016002-12			

C4.11
Of

SAN FRANCISCO

3333 CALIFORNIA STREET
TENTATIVE FINAL MAP 9956
PROPOSED VERTICAL PARCIALIZATION

CALIFORNIA

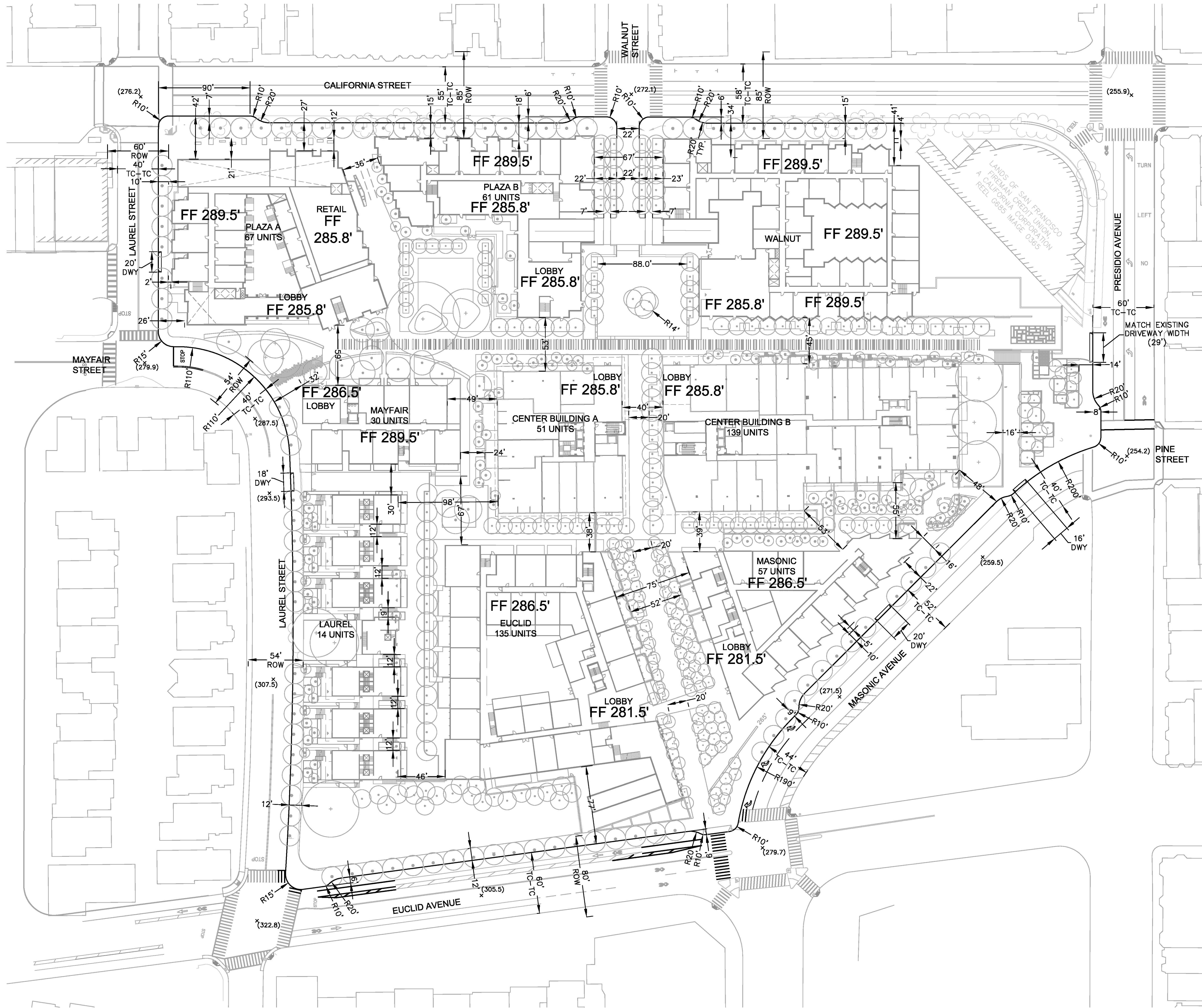


4670 WILLOW RD
SUITE 250
PACIFIC PALMS, CA 94586
925-398-7700 (FAX)
925-398-7799 (FAX)

3333 CALIFORNIA STREET
TENTATIVE FINAL MAP 9956
PROPOSED CIVIL SITE & GRADING PLAN

Revisions	
No.	
Date: 06/12/2019	
Scale: AS SHOWN	
Design:	
Drawn:	
Approved:	
Job No: 201602P-12	

Drawing Number:
C5.0
OF



LEGEND

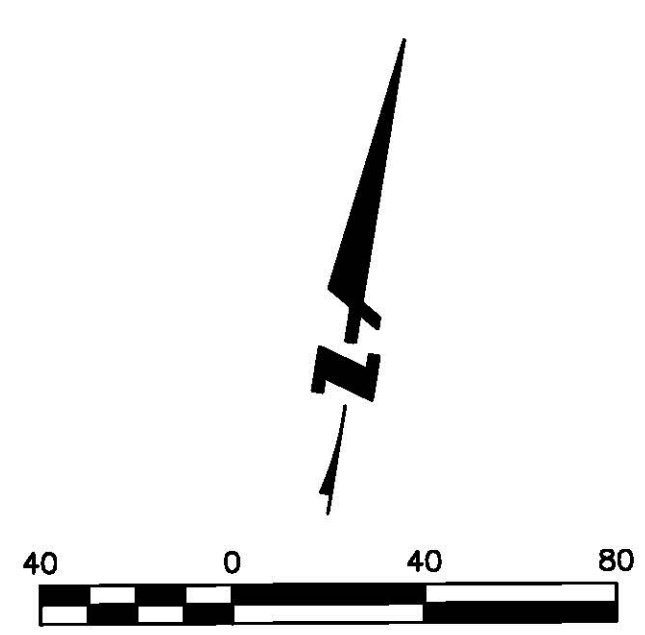
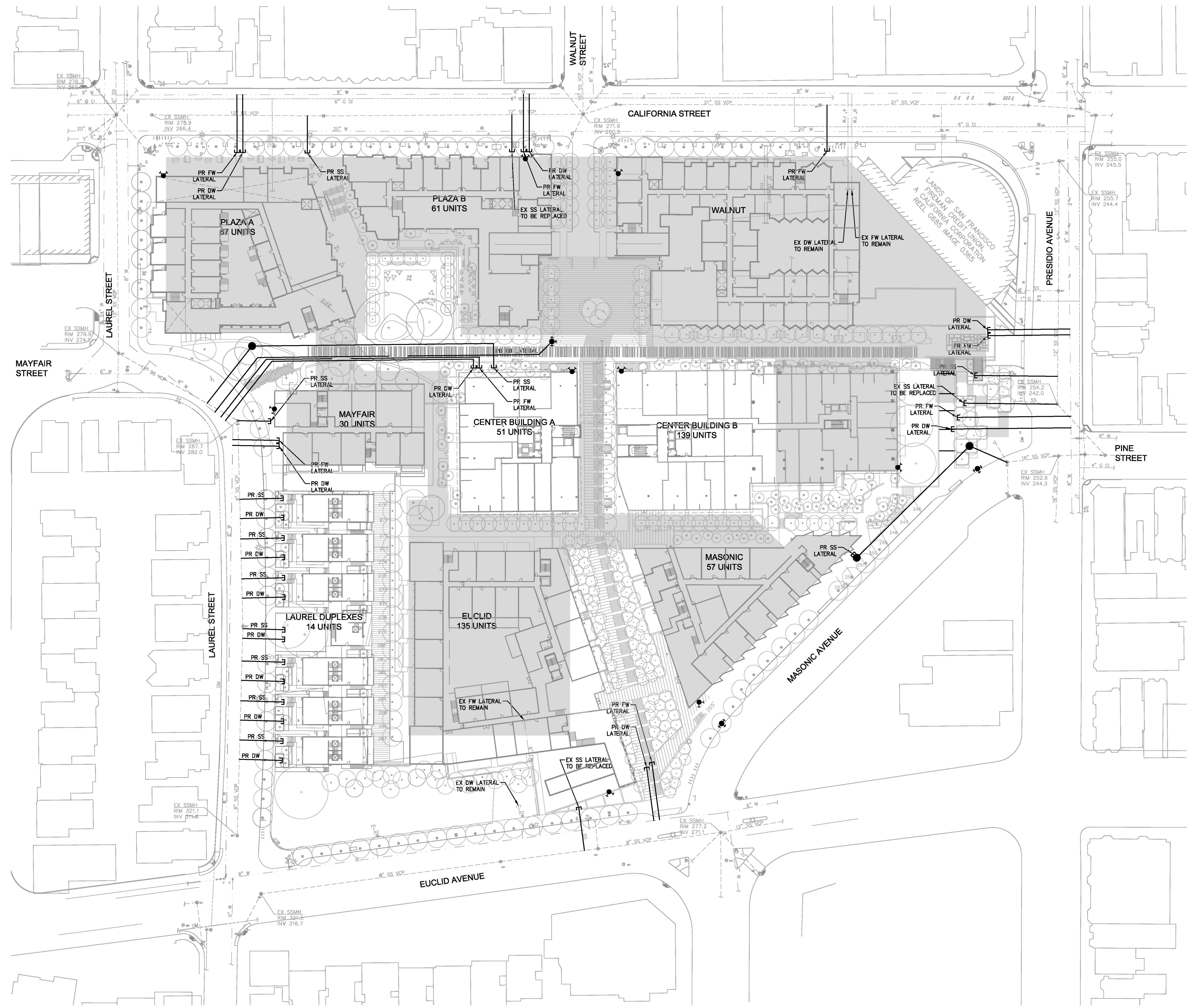
(255.9)_x EX SURFACE ELEVATION

ABBREVIATIONS

FF FINISH FLOOR
TC TOP OF CURB

NOTES

1. ANY COLOR CURB DESIGNATION IS SUBJECT TO THE REVIEW AND DETERMINATION OF THE SFMTA COLOR CURB PROGRAM AND RESEND THE PLAN.



- LEGEND**
- EX WATER LINE
 - EX SANITARY SEWER LINE
 - EX GAS LINE
 - EX ELECTRIC LINE
 - EX FIRE HYDRANT
 - EX MANHOLE
 - EX CATCH BASIN
 - EX TRAFFIC SIGNAL
 - EX ELECTRIC BOX
 - EX SIGN
 - EX STREET LIGHT
 - PR FIRE HYDRANT
 - WALL-MOUNTED FIRE DEPARTMENT CONNECTION (FDC)
 - PR MANHOLE
 - BELOW GRADE STRUCTURE
- ABBREVIATIONS**
- DW DOMESTIC WATER
 - EX EXISTING
 - FW FIRE WATER
 - LF LINEAR FEET
 - PR PROPOSED
 - SS SANITARY SEWER

DATE: 06/12/2019
SCALE: AS SHOWN
DESIGN: [blank]
DRAWN: [blank]
APPROVED: [blank]
JOB NO: 201602-12
DRAWING NUMBER: C6.0

(Required for all New Condominium Applications)

D. APPLICATIONProperty Address: 3333 California Street

For SFPW-BSM use only

ID No.: _____

Assessor's Block: 1032 Lot Number(s): 003

Owner:	
Name:	Laurel Heights Partners, LLC
Address:	c/o Prado Group 150 Post Street Suite 320 San Francisco, CA 94018
Phone:	415-395-0880
E-mail:	dbragg@pradogroup.com
Attorney's Information: (If Any)	
Name:	David Van Atta c/o Hanna Van Atta
Address:	525 University Ave, Suite 600 Palo Alto, CA 94301
Phone:	(650) 321-5700
E-mail:	dvanatta@hanvan.com
Surveyor preparing the subdivision map:	
Name:	Eric Girod c/o BKF
Address:	4670 Willow Road, Suite 250 Pleasanton, CA 94588-3323
Phone:	(925) 396-7751
E-mail:	egirod@bkf.com
Subdivider: (If different from owner)	
Name:	N/A
Address:	

Number of Units in Project: 739This subdivision creates an airspace: ☐ No ☒ Yes (shown on Tentative Map)This subdivision creates an addition to an existing building ☐ No ☒ Yes (shown on Tentative Map)

Check only one of the following options:

	Indicate project type
Residential Only	<input type="checkbox"/>
Mixed-Use	<input checked="" type="checkbox"/> If checked, Number of residential unit(s): <u>675</u> Number of commercial unit(s): <u>64</u>

**STATE OF CALIFORNIA
CITY AND COUNTY OF SAN FRANCISCO**

I (We) Laurel Heights Partners LLC, a Delaware limited liability company
 (Print Subdivider's Name in full)

declare, under penalty of perjury, that I am (we are) the owner(s) [authorized agent of the owner(s)] of the property that is the subject of this application, that the statements herein and in the attached exhibits present the information required for this application, and the information presented is true and correct to the best of my (our) knowledge and belief.

Date: 4.2.19 Signed: _____

Date: _____ Signed: _____

E. NEW CONDOMINIUM APPLICATION CHECKLIST

Check the following items enclosed where applicable:

Submitted per guidelines and in this order?		Official Use Only:	No.	Item Description and Order	Total of copies	Which and how many of total required items are needed for each agency?			Form No. (where applicable)
Yes	No	OK?				SFPW	DCP	DBI	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	1.	Four (4) copies of Tentative Parcel Map [SFPW copies: 3-BSM Mapping Section; 1-City Planning One additional copy will be required if project falls within the jurisdiction of SFRA (See Page 8).]	4	3	1	1*	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	2.	Six (6) copies of Tentative Final Map [SFPW copies: 5-BSM Mapping Section; 1-City Planning One additional copy will be required if project falls within the jurisdiction of SFRA (See Page 8).]	6	5	1	1*	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	3.	Subdivision Fee (\$55,937)	1				
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	4.	Preliminary Title Report (dated within 3 months)	2	1	1		
<input checked="" type="checkbox"/>	<input type="checkbox"/>		5.	Grant Deeds and any other recorded documents for: <input checked="" type="checkbox"/> Subject Site and <input checked="" type="checkbox"/> Adjainers	1	1			
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6.	Previous Land Use.	2	1	1		Form No. 1
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6a.	Permit numbers for any approved building permits	2	1	1		Form No. 1
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	7.	Owner's Release of Interest in Common Areas [Sec. 1323 (6)]	2	1	1		Form No. 2
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	8.	Neighborhood notification packet for Tentative Map decision. <input checked="" type="checkbox"/> 300-Foot Radius Map <input checked="" type="checkbox"/> Address List <input checked="" type="checkbox"/> Envelopes	1	1			
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	9.	Photographs of subject property, as follows: [Public Works Code Sec. 723.2 & Planning Code] <input checked="" type="checkbox"/> Front photo from the street looking at the property, including sidewalk without obstructions <input checked="" type="checkbox"/> Photo from left side showing property line and sidewalk fronting subject site <input checked="" type="checkbox"/> Photo from right side showing property line and sidewalk fronting subject site <input checked="" type="checkbox"/> Photo of rear of property	3	2	1		
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	10.	Proposition "M" Findings demonstrating consistency with Eight Priority General Plan Policies [Planning Code Sec. 101.1(b)]	2	1	1		Form No. 3
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	11.	Review by Department of Building Inspection, if required, See Page 9.	1			1	Form No. 4
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	12.	Provide proposed sales prices for Below Market Rate (BMR) units (Form No. 1) N/A	1	1			Form No. 1
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	13.	A copy of the signed Planning Dept. or Planning Commission motion approving the project N/A	1	1			
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	14.	Provide copies of any Notices of Special Restrictions associated with this site. Standard City NSRs anticipated at project approval	1	1			
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	15.	3R report required for existing dwelling units-See Page 9 for details. N/A - Commercial Building	1	1			
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.	Copy of Building Permits-See Page 9 for details. N/A	1	1			

*** ADDITIONAL COPY TO DBI – SEE REQUIREMENTS PAGE 9, ITEM 11**

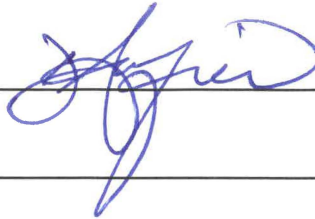
Form No. 2

Owner's Release of Interest in Common Areas

In accordance with section 1323(a)(6) of the San Francisco Subdivision Code, this is my statement that neither I nor any of my agents shall retain any right, title, or interest in any common area or areas or facilities except those common areas in which I might retain any individual interest by virtue of ownership of one or more of the individual units.

Dated: 04/02/19

Signed: _____



Dated: _____

Signed: _____

Dated: _____

Signed: _____

Dated: _____

Signed: _____

Form No. 3

Proposition "M" Findings Form **The Eight Priority Policies** **of Section 101.1 of the San Francisco Planning Code**

Date: 04/02/19

City Planning Case No. 2015.014028ENV (if available)

Address 3333 California Street SF, CA 94118

Assessor's Block 1032 Lot(s) 003

Proposal: Mixed-Use Redevelopment

EIGHT PRIORITY GENERAL PLAN POLICIES

As a result of the passage of Proposition M (Section 101.1 of the San Francisco Planning Code), findings that demonstrate consistency with the eight priority policies of Section 101.1 must be presented to the Department of City Planning as part of your project application review for general conformity with San Francisco's General Plan.

Photographs of the subject property are required for priority policy review and must be submitted as part of the application.

INSTRUCTIONS TO APPLICANTS: Please present information in detail about how your application relates to each of the eight priority policies listed below. The application will be found to be incomplete if the responses are not thorough. Use a separate document and attach if more space is needed.

1. That existing neighborhood-serving retail uses be preserved and enhanced and future opportunities for resident employment in and ownership of such businesses enhanced;

The Project will preserve existing neighborhood-serving retail uses, and will provide a substantial new customer base for those existing uses. In addition, the Project would create approximately 54,000 square feet of new retail uses to serve both new residents and existing neighborhood residents. By providing new customers to existing businesses and creating new retail businesses, future opportunities for resident employment in and ownership of neighborhood-serving retail uses will be enhanced.

2. That existing housing and neighborhood character be conserved and protected in order to preserve the cultural and economic diversity of our neighborhood;

The mixed-use, mixed-income Project provides a range of improvements, housing, and services that will preserve the cultural and economic diversity of the surrounding neighborhood. The Project proposes approximately 558 new dwelling units and will comply with the City's inclusionary affordable housing requirements. The Project would take advantage of a key infill housing opportunity site during an unprecedented housing crisis in San Francisco, replacing an underutilized, suburban-style office building site with a mixed-income community that will enhance the existing neighborhood character.

3. That the City's supply of affordable housing be preserved and enhanced;

The Project would substantially enhance the City's supply of affordable housing by complying with the provisions of the City's affordable housing requirements.

4. That commuter traffic not impede Muni transit service or overburden our streets or neighborhood parking;

The Project would substantially enhance the City's supply of affordable housing by complying with the provisions of the City's affordable housing requirements.

5. That a diverse economic base be maintained by protecting our industrial and service sectors from displacement due to commercial office development, and that future opportunities for resident employment and ownership in these sectors be enhanced;

Neither the adaptive reuse of the existing office building nor the construction of new mixed-use buildings would displace any industrial or service sector businesses. New service sector jobs will be created in the proposed neighborhood-serving retail uses, enhancing future opportunities for resident employment and ownership in the service sector.

6. That the City achieve the greatest possible preparedness to protect against injury and loss of life in an earthquake;

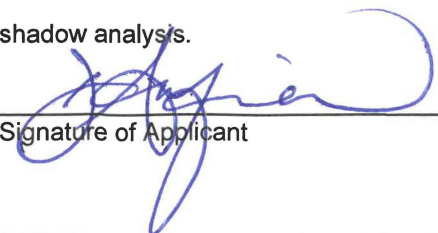
The Project will be built in compliance with the most current building codes to protect against injury and loss of life in the event of an earthquake.

7. That landmarks and historic buildings be preserved; and

The Project proposes adaptive reuse of the existing office building, which is currently being analyzed as part of a Historic Resource Evaluation for the CEQA document.

8. That our parks and open space and their access to sunlight and vistas be protected from development.

The Project would create substantial new, publicly-accessible open spaces on private property, and would not cast shadows on any publicly-owned parks or open space. The Project has been designed to maintain vistas where practical, and to allow for sun access to the Project's proposed open spaces. Any shadow cast by the Project's buildings will be further reviewed and documented through the CEQA document's shadow analysis.



Signature of Applicant

04/02/19

Date

G. FORMS**Form No. 1****Previous Land Use, Permits and Below Market Rate Units**Assessor's Block 1032 Lot 003Address 3333 California Street SF, CA 94118**Item No. 6. – Previous Land Use:**

The site is currently occupied by a office building, a service building with below grade and at grade parking.

Item No. 6a. - Permit numbers for any approved building permits

No building permits have been submitted or approved.

N/A # #
 # # #

Item No. 12 - Provide proposed sales prices for Below Market Rate (BMR)

Apartment No.	Proposed Sales Price	Apartment No.	Proposed Sales Price
N/A	BMR units are not for sale.		

Form No. 2

Owner's Release of Interest in Common Areas

In accordance with section 1323(a)(6) of the San Francisco Subdivision Code, this is my statement that neither I nor any of my agents shall retain any right, title, or interest in any common area or areas or facilities except those common areas in which I might retain any individual interest by virtue of ownership of one or more of the individual units.

Dated: 04/02/19 _____

Signed:  _____

Dated: _____

Signed: _____

Dated: _____

Signed: _____

Dated: _____

Signed: _____

Form No. 3

Proposition "M" Findings Form **The Eight Priority Policies** **of Section 101.1 of the San Francisco Planning Code**

Date: 04/02/19

City Planning Case No. 2015.014028ENV (if available)

Address 3333 California Street SF, CA 94118

Assessor's Block 1032 Lot(s) 003

Proposal: Mixed-Use Redevelopment

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Neither the adaptive reuse of the existing office building nor the construction of new mixed-use buildings would displace any industrial or service sector businesses. New service sector jobs will be created in the proposed neighborhood-serving retail uses, enhancing future opportunities for resident employment and ownership in the service sector.

6. That the City achieve the greatest possible preparedness to protect against injury and loss of life in an earthquake;

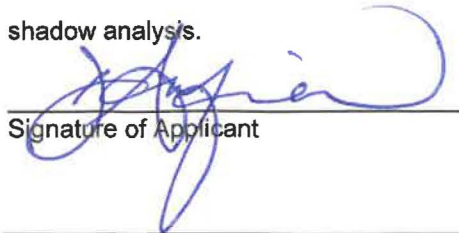
The Project will be built in compliance with the most current building codes to protect against injury and loss of life in the event of an earthquake.

7. That landmarks and historic buildings be preserved; and

The Project proposes adaptive reuse of the existing office building, which is currently being analyzed as part of a Historic Resource Evaluation for the CEQA document.

8. That our parks and open space and their access to sunlight and vistas be protected from development.

The Project would create substantial new, publicly-accessible open spaces on private property, and would not cast shadows on any publicly-owned parks or open space. The Project has been designed to maintain vistas where practical, and to allow for sun access to the Project's proposed open spaces. Any shadow cast by the Project's buildings will be further reviewed and documented through the CEQA document's shadow analysis.



Signature of Applicant

04/02/19

Date

Form No. 4

Required ONLY when creating a new lot line on property occupied with existing building(s) (NOT required if Map is only for merging adjoining lots)

Department of Building Inspection Requirements

Property Address: 3333 California Street San Francisco, CA 94118

Assessor's Block: 1032 Lot Number(s): 003

Submit a separate check payable to Department of Building Inspection. Form number 4 will be forwarded to DBI, it is important to be sure it is complete. Photos and Architectural floor plans should be attached if they are available. DBI reviews for building code compliance mainly fire rating, they will require the following information:

Building Inspection Fees	<u>\$450.00</u>
Area of Wall(s) = (Length X Height)	<u>75,000 SF (Exterior Wall Area)</u>
Area of ALL Openings (Total)	<u>60,000 SF</u>
Construction material – what is the wall(s) made of	<u>Glass Window Wall System</u>
Pictures detailing above	<u>Photos of the exterior provided.</u>
Architect floor plans (if available)	<u>Existing Building Plans provided.</u>

There are two existing buildings on the site. The existing service building will be demolished before Phased Final Map is recorded. It is estimated 50% of the main existing office building will be demolished before the Phased Final Map is recorded.

See BKF Sheet C3.1 to see the new plan overlay on the existing site plan.

Attachments

Exhibit 1: Level E Lot Configuration vs. Existing Conditions

Exhibit 2: Conceptual Construction Phasing Summary Exhibit

G. FORMS**Form No. 1****Previous Land Use, Permits and Below Market Rate Units**Assessor's Block 1032 Lot 003Address 3333 California Street SF, CA 94118**Item No. 6. – Previous Land Use:**

The site is currently occupied by a office building, a service building with below grade and at grade parking.

Item No. 6a. - Permit numbers for any approved building permits

No building permits have been submitted or approved.

N/A# # # # # **Item No. 12 - Provide proposed sales prices for Below Market Rate (BMR)**

Apartment No.	Proposed Sales Price	Apartment No.	Proposed Sales Price
N/A	BMR units are not for sale.		

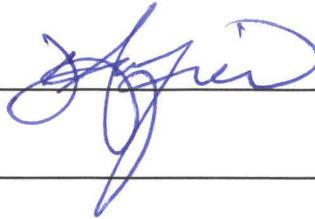
Form No. 2

Owner's Release of Interest in Common Areas

In accordance with section 1323(a)(6) of the San Francisco Subdivision Code, this is my statement that neither I nor any of my agents shall retain any right, title, or interest in any common area or areas or facilities except those common areas in which I might retain any individual interest by virtue of ownership of one or more of the individual units.

Dated: 04/02/19

Signed: _____



Dated: _____

Signed: _____

Dated: _____

Signed: _____

Dated: _____

Signed: _____

Form No. 3

Proposition "M" Findings Form **The Eight Priority Policies** **of Section 101.1 of the San Francisco Planning Code**

Date: 04/02/19

City Planning Case No. 2015.014028ENV (if available)

Address 3333 California Street SF, CA 94118

Assessor's Block 1032 Lot(s) 003

Proposal: Mixed-Use Redevelopment

EIGHT PRIORITY GENERAL PLAN POLICIES

As a result of the passage of Proposition M (Section 101.1 of the San Francisco Planning Code), findings that demonstrate consistency with the eight priority policies of Section 101.1 must be presented to the Department of City Planning as part of your project application review for general conformity with San Francisco's General Plan.

Photographs of the subject property are required for priority policy review and must be submitted as part of the application.

INSTRUCTIONS TO APPLICANTS: Please present information in detail about how your application relates to each of the eight priority policies listed below. The application will be found to be incomplete if the responses are not thorough. Use a separate document and attach if more space is needed.

1. That existing neighborhood-serving retail uses be preserved and enhanced and future opportunities for resident employment in and ownership of such businesses enhanced;

The Project will preserve existing neighborhood-serving retail uses, and will provide a substantial new customer base for those existing uses. In addition, the Project would create approximately 54,000 square feet of new retail uses to serve both new residents and existing neighborhood residents. By providing new customers to existing businesses and creating new retail businesses, future opportunities for resident employment in and ownership of neighborhood-serving retail uses will be enhanced.

2. That existing housing and neighborhood character be conserved and protected in order to preserve the cultural and economic diversity of our neighborhood;

The mixed-use, mixed-income Project provides a range of improvements, housing, and services that will preserve the cultural and economic diversity of the surrounding neighborhood. The Project proposes approximately 558 new dwelling units and will comply with the City's inclusionary affordable housing requirements. The Project would take advantage of a key infill housing opportunity site during an unprecedented housing crisis in San Francisco, replacing an underutilized, suburban-style office building site with a mixed-income community that will enhance the existing neighborhood character.

3. That the City's supply of affordable housing be preserved and enhanced;

The Project would substantially enhance the City's supply of affordable housing by complying with the provisions of the City's affordable housing requirements.

4. That commuter traffic not impede Muni transit service or overburden our streets or neighborhood parking;

The Project would substantially enhance the City's supply of affordable housing by complying with the provisions of the City's affordable housing requirements.

5. That a diverse economic base be maintained by protecting our industrial and service sectors from displacement due to commercial office development, and that future opportunities for resident employment and ownership in these sectors be enhanced;

Neither the adaptive reuse of the existing office building nor the construction of new mixed-use buildings would displace any industrial or service sector businesses. New service sector jobs will be created in the proposed neighborhood-serving retail uses, enhancing future opportunities for resident employment and ownership in the service sector.

6. That the City achieve the greatest possible preparedness to protect against injury and loss of life in an earthquake;

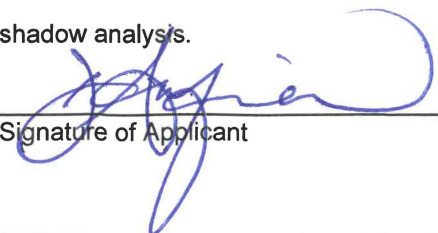
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Signature of Applicant

04/02/19

Date

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Lot Number(s): 003

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\$450.00

Area of Wall(s) = (Length X Height)

75,000 SF (Exterior Wall Area)

Area of ALL Openings (Total)

60,000 SF

Construction material – what is the wall(s) made of

Glass Window Wall System

Pictures detailing above

Photos of the exterior provided.

Architect floor plans (if available)

Existing Building Plans provided.

There are two existing buildings on the site. The existing service building will be demolished before Phased Final Map is recorded. It is estimated 50% of the main existing office building will be demolished before the Phased Final Map is recorded.

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Attachments

Exhibit 1: Level E Lot Configuration vs. Existing Conditions

Exhibit 2: Conceptual Construction Phasing Summary Exhibit

Laurel Heights Partners, LLC
c/o Prado Group
150 Post Street Suite 320
San Francisco, CA 94108

April 2, 2019

City and County Surveyor
San Francisco Public Works
Bureau of Streets and Mapping
1155 Market Street, 3rd Floor
San Francisco, CA 94103

Re: 3333 California Street
Tax Parcel #1032-003
Application for New Condominiums

Dear Whom it May Concern:

In compliance with the California Subdivision Map Act, the San Francisco Subdivision Code, the San Francisco Subdivision Regulations, and all amendments hereto, I, the undersigned subdivider, hereby submit to you for your review and processing a vertical subdivision condominium project subdivision, together with the New Condominium Application and Checklist and all applicable items, fees, documents and data checked thereon.

Sincerely,

LAUREL HEIGHTS PARTNERS LLC,
a Delaware limited liability company

By: 3333 California LP,
a Delaware limited partnership,
its Manager

By: PSKS LH LLC,
a Delaware limited liability company,
its General Partner

By: Prado LH LLC,
a California limited liability company,
its Manager

By: 
Name: Daniel J. Safier
Title: Manager

Laurel Heights Partners, LLC
c/o Prado Group
150 Post Street Suite 320
San Francisco, CA 94108

April 2, 2019

City and County Surveyor
San Francisco Public Works
Bureau of Streets and Mapping
1155 Market Street, 3rd Floor
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Re: 3333 California Street
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Sincerely,

LAUREL HEIGHTS PARTNERS LLC,
a Delaware limited liability company

By: 3333 California LP,
a Delaware limited partnership,
its Manager

By: PSKS LH LLC,
a Delaware limited liability company,
its General Partner

By: Prado LH LLC,
a California limited liability company,
its Manager

By: 
Name: Daniel J. Safier
Title: Manager

BLOCK	LOT	OWNER	OADDR	CITY	STATE	ZIP
0001	001	RADIUS SERVICES NO. 10320003	3333 CALIFORNIA ST	PRADO	19	0320
0001	002	.....	.....	.....	.....	.....
0001	003	RADIUS SERVICES	1221 HARRISON ST #18	SAN FRANCISCO	CA	94103
0001	004	PRADO GROUP	150 POST ST STE 320	SAN FRANCISCO	CA	94108
0001	005	.....	.....	.....	.....	.....
1019	001C	MARNELL & PETER TREDELL TRS	501 PORTOLA RD #8006	PORTOLA VALLEY	CA	94028-7667
1019	001D	ULRICH & DEBO	1940 BAKER ST	SAN FRANCISCO	CA	94115-2013
1019	002	JAMES & PAULA LEE	691 BROADWAY	SAN FRANCISCO	CA	94133-4405
1019	003	DEVERA TRS	415 LAUREL ST	SAN FRANCISCO	CA	94118-1909
1019	004	GEORGE & VLA	417 LAUREL ST	SAN FRANCISCO	CA	94118-1909
1019	005	WILLIAM PETRU TRS	419 LAUREL ST	SAN FRANCISCO	CA	94118
1019	006	CARL KAORU TRS	421 LAUREL ST	SAN FRANCISCO	CA	94118-1909
1019	007	SHEK TRS	57 BEACHMONT DR	SAN FRANCISCO	CA	94132-1607
1019	010	CAROL SILVER TRS	68 RAMONA AV	SAN FRANCISCO	CA	94103-2215
1019	011	ISACKSON INVESTMENT CO	1220 HOWARD AV #216	BURLINGAME	CA	94010-4256
1019	030	SCHLARB TRS	636 POTRERO AV	SAN FRANCISCO	CA	94110-2117
1019	032	ALICE FARRELLY	3517 SACRAMENTO ST	SAN FRANCISCO	CA	94118-1846
1019	033	MILOSH CVETKOVIC	3517 SACRAMENTO ST	SAN FRANCISCO	CA	94118-1846
1019	034	DONALD MITCHELL TRS	3519 SACRAMENTO ST	SAN FRANCISCO	CA	94118-1846
1019	035	IRENE YUM	933 MARILYN DR	MOUNTAIN VIEW	CA	94040-3041
1019	036	JOANNE LEE	2240 UNION ST #101	SAN FRANCISCO	CA	94123-3942
1019	070	MARKS GIDEON TRS	3412 CALIFORNIA ST	SAN FRANCISCO	CA	94118-1837
1019	071	MARTA DEMORIMOTO	3414 CALIFORNIA ST	SAN FRANCISCO	CA	94118-1837
1019	072	SARA SWAIN SEP PROP	3414 CALIFORNIA ST	SAN FRANCISCO	CA	94118-1837
1019	073	3410 CALIFORNIA ST LLC	201 S PHILLIPS AV #128	SIOUX FALLS	SD	57104-6357
1020	001	CHRISTINE PAIGE	3727 ST FRANCIS DR	LAFAYETTE	CA	94549-3033
1020	002	KATHERINE BEST	2368 VALLEJO ST	SAN FRANCISCO	CA	94123-4712
1020	003	EGAN TRS	4220 BLACKHAWK MEADOW CT	DANVILLE	CA	94506-5862
1020	004	RODGER & CHARLENE SIMONIAN	1735 OAKDELL DR	MENLO PARK	CA	94025-5764
1020	005	WALNUT ST LLC	521 IRIS LN	SAN RAMON	CA	94582-5539
1020	006	ANDREW & LINA OW TRS	499 WALNUT ST #301	SAN FRANCISCO	CA	94118-1937
1020	007	HARROCH COMM PROP TRS	1751 NORTH POINT ST	SAN FRANCISCO	CA	94123-1714
1020	011	FRANKLIN & NANCY FUEDEM	3332 CALIFORNIA ST	SAN FRANCISCO	CA	94118-1906
1020	012	GROWTH INVESTMENT TEN LLC TRS	3543 SACRAMENTO ST	SAN FRANCISCO	CA	94118-1846
1020	013	CHANG TRS	419 BARBADOS DR	WALNUT	CA	91789-2405
1020	016	HOGSMEADE LLC	1189 STANYAN ST	SAN FRANCISCO	CA	94117-3812
1020	017	NORMAN ROSS TRS	555 DARIEN WAY	SAN FRANCISCO	CA	94127-2522
1020	017A	DENNIS MCKENNA	2201 SACRAMENTO ST #403	SAN FRANCISCO	CA	94115-2314
1020	018	WERTZ TRS	1 CALIFORNIA ST #3125	SAN FRANCISCO	CA	94111-5401
1020	020	MARGARET HENSLEY TRS	12701 WILLIAMS HWY	GRANTS PASS	OR	97527-8641
1020	022	3465 SACRAMENTO ST LLC	3465 SACRAMENTO ST	SAN FRANCISCO	CA	94118-1941
1020	024	TRACI TERAOKA TRS	3463 SACRAMENTO ST	SAN FRANCISCO	CA	94118-1913
1020	025	SURVIVORS & CAROLE BAYER TRS	3378 WASHINGTON ST	SAN FRANCISCO	CA	94118-2034
1020	028	B TRS	714 VAN NESS AV	SAN FRANCISCO	CA	94102-3218
1020	029	3425 SACRAMENTO ST LLC	3421 SACRAMENTO ST #2	SAN FRANCISCO	CA	94118-4603
1020	035	3407 SACRAMENTO ST LLC	3421 SACRAMENTO ST #2	SAN FRANCISCO	CA	94118-4603
1020	040	ROSALIND WHITEHEAD TRS	3310 CALIFORNIA ST	SAN FRANCISCO	CA	94118-1906
1020	041	FLATLANDS LLC	765 MARKET ST #34D	SAN FRANCISCO	CA	94103-2040
1020	042	IAN LAWLOR	438 LAUREL ST	SAN FRANCISCO	CA	94118
1020	043	GOLDBERG & COLLINS TRS	440 LAUREL ST	SAN FRANCISCO	CA	94118-1910
1020	044	JO & COLLINS TRS	PO BOX 364	ROSS	CA	94957-0364
1020	045	LOUIS LOEWENSTEIN	3477 SACRAMENTO ST	SAN FRANCISCO	CA	94118-1913
1020	046	WILLARD HARRISON	3479 SACRAMENTO ST	SAN FRANCISCO	CA	94118-1913
1020	053	THOMAS BURWELL	1230 S STANLEY AV	LOS ANGELES	CA	90019-6617
1020	054	JOHN CARR	21 MORAGA VIA	ORINDA	CA	94563-3550
1020	055	SCHOFIELD TRS	3328 CALIFORNIA ST #3	SAN FRANCISCO	CA	94118-1992
1020	056	PHILLIP & MARY GWYNN TRS	3328 CALIFORNIA ST #4	SAN FRANCISCO	CA	94118-1992
1020	057	ROBERT PEPPERCORN TRS	668 GABRIEL AV	YUBA CITY	CA	95993-9341
1020	058	CLAIRE SAVAGE TRS	1600 HUNTINGTON DR	SOUTH PASADENA	CA	91030-4709
1020	059	LAURENCE MATHEWS TRS	3326 CALIFORNIA ST #3	SAN FRANCISCO	CA	94118-1993
1020	060	ROBERT & DEENA KLABER	3326 CALIFORNIA ST #4	SAN FRANCISCO	CA	94118-1993
1020	061	LIN CHEYIH	3320 CALIFORNIA ST #1	SAN FRANCISCO	CA	94118-1995
1020	062	DANIEL & ARLENE BERKLEY TRS	3320 CALIFORNIA ST #2	SAN FRANCISCO	CA	94118-1995
1020	063	CATALANO VARRONE TRS	3320 CALIFORNIA ST #3	SAN FRANCISCO	CA	94118-1995
1020	064	JAMES & JESSICA BASSUK TRS	3320 CALIFORNIA ST #4	SAN FRANCISCO	CA	94118-1995

1020	065	MEHRA TRS	11811 KIOWA AV #101	LOS ANGELES	CA	90049-6068
1020	066	DAVID BERCOVICH	3318 CALIFORNIA ST #2	SAN FRANCISCO	CA	94118
1020	067	GROVER VISHAL	3318 CALIFORNIA ST #3	SAN FRANCISCO	CA	94118-1996
1020	068	TANYA & MARK BERNSTEIN	3318 CALIFORNIA ST #4	SAN FRANCISCO	CA	94118-1996
1020	069	RAYMOND JUNG TRS	4 SAINT VINCENT	LAGUNA NIGUEL	CA	92677-5116
1020	070	THE BRODO TRS	26496 PURISSIMA RD	LOS ALTOS HILLS	CA	94022-3325
1020	071	SACRAMENTO ST TRS	3662 CLAY ST	SAN FRANCISCO	CA	94118-1804
1020	072	RICHARD & HELEN WANG TRS	38 3RD ST #203	LOS ALTOS	CA	94022-2713
1020	073	RIVERS TRS	6600 E GRAPEVIEW LOOP RD	ALLYN	WA	98524-9762
1020	074	STEVEN SUN TRS	3439 SACRAMENTO ST #301	SAN FRANCISCO	CA	94118-1989
1020	075	HOFFMAN FRIEDER TRS	3439 SACRAMENTO ST #302	SAN FRANCISCO	CA	94118-1988
1020	076	BARLOW TRS	44 CRICKET HILL RD	LAFAYETTE	CA	94549-2402
1020	077	1810 WEBSTER LLC	1801 VAN NESS AV	SAN FRANCISCO	CA	94109-3663
1020	078	KATHLEEN MARANO	3439 SACRAMENTO ST #403	SAN FRANCISCO	CA	94118-1988
1020	079	ALARIC & ALEXIS AKASHI	3316 CALIFORNIA ST #1	SAN FRANCISCO	CA	94118-1997
1020	080	JAMES & JEANNE WEBB TRS	33472 DOSINIA DR	DANA POINT	CA	92629-4490
1020	081	BOBEL TRS	826 LINCOLN AV	PALO ALTO	CA	94301-3332
1020	082	GAIL BOYER TRS	3316 CALIFORNIA ST #4	SAN FRANCISCO	CA	94118-1997
1020	086	LEWIS TRS	521 S RD	BELMONT	CA	94002-2226
1020	087	LEWIS TRS	521 S RD	BELMONT	CA	94002-2226
1020	088	RICHARD THALHEIMER TRS	2301 KERNER BL #C	SAN RAFAEL	CA	94901-5554
1020	089	RICHARD THALHEIMER CHILDRENS TRS	3470 MT DIABLO BL #A110	LAFAYETTE	CA	94549-3977
1020	090	ZHI ZHUANG	3330 CALIFORNIA ST #3	SAN FRANCISCO	CA	94118-4609
1021	026	DAGOVITZ TRS	714 VAN NESS AV	SAN FRANCISCO	CA	94102-3218
1021	030	PARK MENORAH	3365 SACRAMENTO ST	SAN FRANCISCO	CA	94118-1984
1021	038	JEWISH COMM CTR OF SF	3200 CALIFORNIA ST	SAN FRANCISCO	CA	94118-1904
1022	013	3150 CALIFORNIA LLC	3065 JACKSON ST	SAN FRANCISCO	CA	94115-1022
1022	026	LAUREL SPE LLC	488 PRESIDIO AV	SAN FRANCISCO	CA	94115-2004
1031	005	JAMES HERBERT TRS	1735 LYON ST	SAN FRANCISCO	CA	94115-2416
1031	006	DAVID & BARBARA THOMSON	691 5TH AV	SAN FRANCISCO	CA	94118-3914
1031	013	FMZ INVESTMENTS LLC	390 E WASHINGTON AV	SUNNYVALE	CA	94086-6254
1031	014	DAVID SCHELLHASE	3016 PINE ST	SAN FRANCISCO	CA	94115-2421
1031	016	SYED & SHAISTA ALI	22653 GARROD RD	SARATOGA	CA	95070-9781
1031	017	CHARLES THOMAS TRS	3042 PINE ST	SAN FRANCISCO	CA	94115-2421
1031	018	NATHAN STOLL	548 MARKET ST #68813	SAN FRANCISCO	CA	94104-5401
1031	021	CHARLES DAVANTES TRS	544 PRESIDIO AV	SAN FRANCISCO	CA	94115-2423
1031	022B	LEONARD ESPOSTO	PO BOX 460490	SAN FRANCISCO	CA	94146-0490
1031	023	ARTHUR & ERIKA ANDREAS TRS	2548 WASHINGTON ST	SAN FRANCISCO	CA	94115-1819
1031	026	CALIFORNIA ST COMPLEX HDG	1717 POWELL ST #300	SAN FRANCISCO	CA	94133-2843
1031	027	CALIFORNIA ST COMPLEX HDG	1717 POWELL ST #300	SAN FRANCISCO	CA	94133-2843
1031	028	CALIFORNIA ST COMPLEX HDG	1717 POWELL ST #300	SAN FRANCISCO	CA	94133-2843
1031	029	GLADYS MONDAINE TRS	3123 CALIFORNIA ST	SAN FRANCISCO	CA	94115-2412
1031	031	SHARON WONG TRS	13418 ESSEX CT	EDEN PRAIRIE	MN	55347-1707
1031	032	SUE GALBRECHT TRS	560 PRESIDIO AV #2	SAN FRANCISCO	CA	94115-2482
1031	033	JEANNINE BLACK TRS	560 PRESIDIO AV #3	SAN FRANCISCO	CA	94115-2482
1031	034	JOHN OGRADY TRS	560 PRESIDIO AV #4	SAN FRANCISCO	CA	94115-2482
1031	035	SUSAN MCCONKEY TRS	560 PRESIDIO AV #6	SAN FRANCISCO	CA	94115-2483
1031	036	EDWARD & DESJARDI HESSELGREN	560 PRESIDIO AV #6	SAN FRANCISCO	CA	94115-2483
1031	037	JAMES COSTELLO TRS	18 BROOKE CIR	MILL VALLEY	CA	94941-4609
1031	038	GILDA POLIAKIN TRS	560 PRESIDIO AV #8	SAN FRANCISCO	CA	94115-2483
1031	039	WALKER TRS	1727 LYON ST	SAN FRANCISCO	CA	94115-2416
1031	040	DAS & NZS TRS	1729 LYON ST	SAN FRANCISCO	CA	94115-2416
1031	041	GLORIA FAZENDIN TRS	673 CATAMARAN ST #2	FOSTER CITY	CA	94404-3048
1031	042	ROBIN BISHOP	3183 CALIFORNIA ST	SAN FRANCISCO	CA	94115-2479
1031	043	BOYCE & KRISTINA JASON	3191 CALIFORNIA ST	SAN FRANCISCO	CA	94115-2479
1031	044	VASILIOU & SCHEFFEL	1142 POME AV	SUNNYVALE	CA	94087-2235
1031	045	KAREN LOKEN	3193 CALIFORNIA ST	SAN FRANCISCO	CA	94115-2479
1031	046	SHARON LEE	3187 CALIFORNIA ST	SAN FRANCISCO	CA	94115-2479
1031	049	JERNIGAN TRS	1187 SCHUMAN LN	PETALUMA	CA	94952-2066
1031	050	TERESA HEGG	538 PRESIDIO AV	SAN FRANCISCO	CA	94115-2423
1031	051	TANYA WEI	3018 PINE ST	SAN FRANCISCO	CA	94115-2421
1031	052	EDWIN MARWITZ	3020 PINE ST	SAN FRANCISCO	CA	94115
1031	053	ELEANOR ROSENTHAL TRS	530 PRESIDIO AV	SAN FRANCISCO	CA	94115-2423
1031	054	ESKER SHARON TRS	532 PRESIDIO AV	SAN FRANCISCO	CA	94115-2423
1031	055	RUNDLE & CARRIER	3171 CALIFORNIA ST	SAN FRANCISCO	CA	94115-2457
1031	056	LUGO VELOSO TRS	635 MIRAMAR AV	SAN FRANCISCO	CA	94112-1231

1031	057	STEVE KRSTOFIAK	3175 CALIFORNIA ST	SAN FRANCISCO	CA	94115-2457
1031	058	IRWIN LIU	949 FLYING FISH ST	FOSTER CITY	CA	94404-1425
1031	059	ANNE NEILL	3181 CALIFORNIA ST	SAN FRANCISCO	CA	94115-2457
1031	060	EDDE TRS	3181 CALIFORNIA ST	SAN FRANCISCO	CA	94115-2457
1032	001	US BANK NA	476 SANSOME ST #17THFLR	SAN FRANCISCO	CA	94111
1032	002	SF FIREMEN CREDIT UNION	3201 CALIFORNIA ST	SAN FRANCISCO	CA	94118-1903
1032	003	LAUREL HEIGHTS PTNRS LLC	150 POST ST #320	SAN FRANCISCO	CA	94108-4711
1034	001	FEEDBAG CALIFORNIA ST LL	PO BOX 15760	SAN FRANCISCO	CA	94115-0760
1034	002	NICHELINI TRS	4 STITT CT	NOVATO	CA	94945-2153
1034	002A	GLORIA CONTI TRS	1100 JACKLING DR	HILLSBOROUGH	CA	94010-6177
1034	002B	ROSABELLE TOBRINER TRS	115 SANSOME ST #1100	SAN FRANCISCO	CA	94104-3635
1034	003	VIVOS TOBRINER TRS	12 GEARY ST #303	SAN FRANCISCO	CA	94108-5710
1034	004	BENSON TRS	314 JESTER CT	PETALUMA	CA	94954-8509
1044	001	LEE TRS	PO BOX 590246	SAN FRANCISCO	CA	94159-0246
1044	002	MICHAEL & JOANNA THOMSON	11 COLLINS ST	SAN FRANCISCO	CA	94118-2708
1044	003	CHARLOTTE CLARK TRS	21 COLLINS ST	SAN FRANCISCO	CA	94118-2708
1044	004	SCHAUMBERG TRS	31 COLLINS ST	SAN FRANCISCO	CA	94118-2708
1044	005	DOROTHY SIRBU	41 COLLINS ST	SAN FRANCISCO	CA	94118-2708
1044	027	MICHAEL MOORE	12 MANZANITA AV	SAN FRANCISCO	CA	94118-2728
1044	028	GARY & HIROMI NOMURA	2 MANZANITA AV	SAN FRANCISCO	CA	94118-2728
1045	001	LAWRENCE & ESTHER LAI TRS	1 MAYFAIR DR	SAN FRANCISCO	CA	94118-2729
1045	002	FRISBIE-WENNERGREN TRS	525 LAUREL ST	SAN FRANCISCO	CA	94118-2716
1045	003	TINA KWOK TRS	30 DALTON ST #1908	BOSTON	MA	02115-3171
1045	004	LAW-MCDONOUGH TRS	545 LAUREL ST	SAN FRANCISCO	CA	94118-2716
1045	005	JOHN WALCOTT TRS	107 SPRUCE ST	SAN FRANCISCO	CA	94118-1826
1045	006	LUM & WALTER	1751 39TH AV	SAN FRANCISCO	CA	94122-4035
1045	007	JAMES & WENDY STOVELL	575 LAUREL ST	SAN FRANCISCO	CA	94118-2716
1045	008	STEPHEN COHEN	585 LAUREL ST	SAN FRANCISCO	CA	94118
1045	009	HELEN & DONNA LEE	PO BOX 590246	SAN FRANCISCO	CA	94159-0246
1045	012	LOUISE CHENG TRS	242 EUCLID AV	SAN FRANCISCO	CA	94118-2715
1045	013	PAUL & CAROL LOTTICE TRS	9324 FONTAINBLEU DR	LAS VEGAS	NV	89145-8653
1045	017	RAYMOND LOR TRS	170 23RD AV	SAN FRANCISCO	CA	94121-1219
1045	018	SHIM-PARK TRS	48 COLLINS ST	SAN FRANCISCO	CA	94118-2709
1045	021	KELLY FAM TRS	3406 CLAY ST	SAN FRANCISCO	CA	94118-2009
1045	022	CHOW TRS	250 MORNINGSIDE DR	SAN FRANCISCO	CA	94132-1241
1045	023	PIOMBO TRS	2408 VINTAGE OAKS CT	LODI	CA	95242-9347
1045	024	ROBERT KONG TRS	15 MAYFAIR DR	SAN FRANCISCO	CA	94118-2729
1045	025	DANIEL & ELISSA KIDO TRS	6176 CANYON ESTATES CT	RIVERSIDE	CA	92506-4063
1045	032	DEAN HOWE	32 COLLINS ST #101	SAN FRANCISCO	CA	94118-2709
1045	033	SPGSF TRS	34 COLLINS ST #201	SAN FRANCISCO	CA	94118-2709
1045	034	60 COLLINS ST LLC	60 COLLINS ST	SAN FRANCISCO	CA	94118-2709
1045	035	DONALD HOLCHER TRS	62 COLLINS ST	SAN FRANCISCO	CA	94118-2709
1045	036	DAVID & LAUREN MCDOWELL TRS	40 COLLINS ST	SAN FRANCISCO	CA	94118
1045	037	LIN LAN TRS	42 COLLINS ST	SAN FRANCISCO	CA	94118-2709
1045	038	PIHL & OCONNOR TRS	66 COLLINS ST	SAN FRANCISCO	CA	94118-2709
1045	039	PIHL & OCONNOR TRS	68 COLLINS ST	SAN FRANCISCO	CA	94118-2709
1045	051	ARTHURS TRS	2822 POLK ST	SAN FRANCISCO	CA	94109-1014
1045	052	TUCHMAN TRS	1901 FREESTONE FLAT RD	SEBASTOPOL	CA	95472-8227
1046	015	SUSAN & BRIAN FOGARTY TRS	2966 BUSH ST	SAN FRANCISCO	CA	94115-2929
1046	016	EDWIN FRANCIS TRS	234 ARGUELLO BL	SAN FRANCISCO	CA	94118-1407
1046	020	MACAMHLAIDH & MCAULEY CIARAN	33 LINCOLN WAY	SAN FRANCISCO	CA	94122-2716
1046	022	574 ESCUELA LLC	600 PRESIDIO AV	SAN FRANCISCO	CA	94115-2425
1046	023	ANTHONY VARNI TRS	217 BALBOA ST	SAN FRANCISCO	CA	94118-3904
1046	024	ANTHONY VARNI TRS	217 BALBOA ST	SAN FRANCISCO	CA	94118-3904
1046	026	ANTHONY VARNI TRS	217 BALBOA ST	SAN FRANCISCO	CA	94118-3904
1046	032	PEGGY HUNG SVRS TRS	620 PRESIDIO AV	SAN FRANCISCO	CA	94115-2425
1046	033	GEORGE & NORMA RESCALVO	250 BEACON ST	SAN FRANCISCO	CA	94131-2630
1046	037	SUNEET SANDHU	650 PRESIDIO AV #201	SAN FRANCISCO	CA	94115-2425
1046	038	SCOTTO & CHABANEIX	650 PRESIDIO AV #401	SAN FRANCISCO	CA	94115-2425
1046	039	LUCIANO DIVETTIMO	650 PRESIDIO AV #401	SAN FRANCISCO	CA	94115-2425
1046	044	BRYAN HUNT	2960 BUSH ST	SAN FRANCISCO	CA	94115-2929
1046	045	TRAN & CHAN TRS	960 ANZA ST #5	SAN FRANCISCO	CA	94118-4250
1046	049	GEORGIA PARSONS TRS	714 VAN NESS AV	SAN FRANCISCO	CA	94102-3218
1046	050	GEORGIA PARSONS TRS	714 VAN NESS AV	SAN FRANCISCO	CA	94102-3218
1046	051	GEORGIA PARSONS TRS	714 VAN NESS AV	SAN FRANCISCO	CA	94102-3218
1046	052	GEORGIA PARSONS TRS	714 VAN NESS AV	SAN FRANCISCO	CA	94102-3218

1046	053	GEORGIA PARSONS TRS	714 VAN NESS AV	SAN FRANCISCO	CA	94102-3218
1046	054	GEORGIA PARSONS TRS	714 VAN NESS AV	SAN FRANCISCO	CA	94102-3218
1046	055	GEORGIA PARSONS TRS	714 VAN NESS AV	SAN FRANCISCO	CA	94102-3218
1057	002	CATHERINE & PAUL MAGEE	63 LUPINE AV	SAN FRANCISCO	CA	94118-2733
1057	003	NANCY YEE	588 SUTTER ST #520	SAN FRANCISCO	CA	94102
1057	004	TANE ONG CHAN TRS	77 LUPINE AV	SAN FRANCISCO	CA	94118-2733
1057	013	BERNARD TRS	PO BOX 507	SAN GERONIMO	CA	94963-0507
1057	014	AACCM PROPERTIES LLC	170 22ND AV	SAN FRANCISCO	CA	94121-1217
1057	015	CHRISTOPHER FOWLER TRS	14960 KARL AV	MONTE SERENO	CA	95030-2226
1057	016	RUTH FONG TRS	37 LUPINE AV	SAN FRANCISCO	CA	94118-2733
1057	017	JACOBI CHILDRENS TRS	11 VIA VANDYKE	MILL VALLEY	CA	94941-1229
1057	018	DONATI INVESTMENTS	2770 LYON ST	SAN FRANCISCO	CA	94123-3815
1057	019	KIN-KEE PUN	49 LUPINE AV	SAN FRANCISCO	CA	94118-2733
1057	020	YOUNG TRS	53 LUPINE AV	SAN FRANCISCO	CA	94118-2733
1057	024	ROGER MILES TRS	59 LUPINE AV #6	SAN FRANCISCO	CA	94118-2753
1058	001	ELEANOR ACHUCK TRS	9 WOODLEAF AV	REDWOOD CITY	CA	94061-1823
1058	004	PETER CHO VANES TRS	223 3RD AV	SAN FRANCISCO	CA	94118-2415
1058	005	ZARIN & PERVIZ RANDERIA	40 LUPINE AV	SAN FRANCISCO	CA	94118-2721
1058	006	CHUNG & CHANG	PO BOX 26233	SAN FRANCISCO	CA	94126-6233
1058	008	LEE & BEVERLY EUGENE TRS	20 LUPINE AV	SAN FRANCISCO	CA	94118-2721
1058	012	CASTLE ENTERPRISES	435 LOS CERROS DR	GREENBRAE	CA	94904-1124
1058	013	TOBIAS MEZGER	26 LUPINE AV	SAN FRANCISCO	CA	94118-2721
1058	014	ERIK OLSON	28 LUPINE AV	SAN FRANCISCO	CA	94118-2721
1069	033	AG TRS	106 COLLINS ST	SAN FRANCISCO	CA	94118-3401
1069	034	MARK & TRISTAN HARTMANN	104 COLLINS ST	SAN FRANCISCO	CA	94118-3401
1069	035	MAIDMAN-WOOD TRS	245 EUCLID AV	SAN FRANCISCO	CA	94118-2714
1069	038	DAT & LAT TRS & TARANTINO	450 EL CAMINO DEL MAR	SAN FRANCISCO	CA	94121-1040
1069	039	WING QUOCK TRS	70 SHORE VIEW AV	SAN FRANCISCO	CA	94121-1629
1069	047	TATUM TRS	9 LUPINE AV	SAN FRANCISCO	CA	94118-2720
1069	048	JOHN & THERESA FREI	11 LUPINE AV	SAN FRANCISCO	CA	94118-2720
1069	049	JOHN & JODY ATKINS	1 LUPINE AV	SAN FRANCISCO	CA	94118-2720
1069	050	AMY SAPER	102 TENNYSON AV	PALO ALTO	CA	94301-3733
1072	001	CITY & COUNTY OF SF & JUDICIAL COUN	455 GOLDEN GATE AV	SAN FRANCISCO	CA	94102-3660
9999	999	*****	*****	*****	*****	*****



1221 HARRISON STREET #18
SAN FRANCISCO, CA 94103

P: 415-391-4775
F: 415-391-4777
radiusservices@sfradius.com

AFFIDAVIT OF PREPARATION OF RADIUS NOTIFICATION MAP, MAILING LIST, & DELIVERY MATERIALS FOR PUBLIC NOTIFICATION

RADIUS SERVICES hereby declares as follows:

1. We have prepared the NOTIFICATION MAP, MAILING LIST, and DELIVERY MATERIALS for the purpose of public notification in accordance with the requirements and instructions stipulated by San Francisco City Planning Department Planning Code / San Francisco Department of Building Inspection / San Francisco Public Works Code:

- | | |
|---|---|
| <input type="checkbox"/> Section 311 (Residential) | <input type="checkbox"/> Mobile Food Facility (MFF)
Truck: 75' minimum radius measured from the outer boundaries of the assumed curbside and all properties across the street that directly fronts, in whole or in part. |
| <input type="checkbox"/> Section 312 (Commercial) | |
| <input type="checkbox"/> Variance | <input type="checkbox"/> Mobile Food Facility (MFF)
Push Cart: 300' minimum radius of the street address(s) in front of which the Pushcart will be located. |
| <input type="checkbox"/> Environmental Evaluation | |
| <input type="checkbox"/> Conditional Use Permit | <input type="checkbox"/> Minor Sidewalk Encroachment (MSE)
150' radius <u>fronting</u> the subject property. |
| <input type="checkbox"/> Conditional Use Permit for Wireless Antenna Installation | <input type="checkbox"/> Major Sidewalk Encroachment (ME)
300' complete radius. |
| <input checked="" type="checkbox"/> Other <u>Condo</u> | <input type="checkbox"/> Section 106.3.2.3 (Demolition) |

2. We understand that we are responsible for the accuracy of this information, and that erroneous information may require remailing or lead to suspension or revocation of the permit.
3. We have prepared these materials in good faith and to the best of our ability.

We declare under penalty of perjury under the laws of the State of California and the City and County of San Francisco that the foregoing is true and correct.

EXECUTED IN SAN FRANCISCO, ON THIS DAY, 3/25/19.

RADIUS SERVICES

Professional Service Provider

10320003

Radius Services Job Number

3333 California St

Project Address

Kevin Chuck
Radius Services

1032/3

Block / Lot

BLOCK	LOT	OWNER	OADDR	CITY	STATE	ZIP
0001	001	RADIUS SERVICES NO. 10320003	3333 CALIFORNIA ST	PRADO	19	0320
0001	002					
0001	003	RADIUS SERVICES	1221 HARRISON ST #18	SAN FRANCISCO	CA	94103
0001	004	PRADO GROUP	150 POST ST STE 320	SAN FRANCISCO	CA	94108
0001	005					
1019	001C	MARNELL & PETER TRENDLE TRS	501 PORTOLA RD #8006	PORTOLA VALLEY	CA	94028-7667
1019	001D	ULRICH & DEBO	1940 BAKER ST	SAN FRANCISCO	CA	94115-2013
1019	002	JAMES & PAULA LEE	691 BROADWAY	SAN FRANCISCO	CA	94133-4405
1019	003	DEVERA TRS	415 LAUREL ST	SAN FRANCISCO	CA	94118-1909
1019	004	GEORGE & VLA	417 LAUREL ST	SAN FRANCISCO	CA	94118-1909
1019	005	WILLIAM PETRU TRS	419 LAUREL ST	SAN FRANCISCO	CA	94118
1019	006	CARL KAORU TRS	421 LAUREL ST	SAN FRANCISCO	CA	94118-1909
1019	007	SHEK TRS	57 BEACHMONT DR	SAN FRANCISCO	CA	94132-1607
1019	010	CAROL SILVER TRS	68 RAMONA AV	SAN FRANCISCO	CA	94103-2215
1019	011	ISACKSON INVESTMENT CO	1220 HOWARD AV #216	BURLINGAME	CA	94010-4256
1019	030	SCHLABR TRS	636 POTRERO AV	SAN FRANCISCO	CA	94110-2117
1019	032	ALICE FARRELLY	3517 SACRAMENTO ST	SAN FRANCISCO	CA	94118-1846
1019	033	MILOSH CVETKOVIC	3517 SACRAMENTO ST	SAN FRANCISCO	CA	94118-1846
1019	034	DONALD MITCHELL TRS	3519 SACRAMENTO ST	SAN FRANCISCO	CA	94118-1846
1019	035	IRENE YUM	933 MARILYN DR	MOUNTAIN VIEW	CA	94040-3041
1019	036	JOANNE LEE	2240 UNION ST #101	SAN FRANCISCO	CA	94123-3942
1019	070	MARKS GIDEON TRS	3412 CALIFORNIA ST	SAN FRANCISCO	CA	94118-1837
1019	071	MARTA DEMORIMOTO	3414 CALIFORNIA ST	SAN FRANCISCO	CA	94118-1837
1019	072	SARA SWAIN SEP PROP	3414 CALIFORNIA ST	SAN FRANCISCO	CA	94118-1837
1019	073	3410 CALIFORNIA ST LLC	201 S PHILLIPS AV #128	SIOUX FALLS	SD	57104-6357
1020	001	CHRISTINE PAIGE	3727 ST FRANCIS DR	LAFAYETTE	CA	94549-3033
1020	002	KATHERINE BEST	2368 VALLEJO ST	SAN FRANCISCO	CA	94123-4712
1020	003	EGAN TRS	4220 BLACKHAWK MEADOW CT	DANVILLE	CA	94506-5862
1020	004	RODGER & CHARLENE SIMONIAN	1735 OAKDELL DR	MENLO PARK	CA	94025-5764
1020	005	WALNUT ST LLC	521 IRIS LN	SAN RAMON	CA	94582-5539
1020	006	ANDREW & LINA OW TRS	499 WALNUT ST #301	SAN FRANCISCO	CA	94118-1937
1020	007	HARROCH COMM PROP TRS	1751 NORTH POINT ST	SAN FRANCISCO	CA	94123-1714
1020	011	FRANKLIN & NANCY FUEDEM	3332 CALIFORNIA ST	SAN FRANCISCO	CA	94118-1906
1020	012	GROWTH INVESTMENT TEN LLC TRS	3543 SACRAMENTO ST	SAN FRANCISCO	CA	94118-1846
1020	013	CHANG TRS	419 BARBADOS DR	WALNUT	CA	91789-2405
1020	016	HOGSMEADE LLC	1189 STANYAN ST	SAN FRANCISCO	CA	94117-3812
1020	017	NORMAN ROSS TRS	555 DARIEN WAY	SAN FRANCISCO	CA	94127-2522
1020	017A	DENNIS MCKENNA	2201 SACRAMENTO ST #403	SAN FRANCISCO	CA	94115-2314
1020	018	WERTZ TRS	1 CALIFORNIA ST #3125	SAN FRANCISCO	CA	94111-5401
1020	020	MARGARET HENSLEY TRS	12701 WILLIAMS HWY	GRANTS PASS	OR	97527-8641
1020	022	3465 SACRAMENTO ST LLC	3465 SACRAMENTO ST	SAN FRANCISCO	CA	94118-1941
1020	024	TRACI TERAOKA TRS	3463 SACRAMENTO ST	SAN FRANCISCO	CA	94118-1913
1020	025	SURVIVORS & CAROLE BAYER TRS	3378 WASHINGTON ST	SAN FRANCISCO	CA	94118-2034
1020	028	B TRS	714 VAN NESS AV	SAN FRANCISCO	CA	94102-3218
1020	029	3425 SACRAMENTO ST LLC	3421 SACRAMENTO ST #2	SAN FRANCISCO	CA	94118-4603
1020	035	3407 SACRAMENTO ST LLC	3421 SACRAMENTO ST #2	SAN FRANCISCO	CA	94118-4603
1020	040	ROSALIND WHITEHEAD TRS	3310 CALIFORNIA ST	SAN FRANCISCO	CA	94118-1906
1020	041	FLATLANDS LLC	765 MARKET ST #34D	SAN FRANCISCO	CA	94103-2040
1020	042	IAN LAWLOR	438 LAUREL ST	SAN FRANCISCO	CA	94118
1020	043	GOLDBERG & COLLINS TRS	440 LAUREL ST	SAN FRANCISCO	CA	94118-1910
1020	044	JO & COLLINS TRS	PO BOX 364	ROSS	CA	94957-0364
1020	045	LOUIS LOEWENSTEIN	3477 SACRAMENTO ST	SAN FRANCISCO	CA	94118-1913
1020	046	WILLARD HARRISON	3479 SACRAMENTO ST	SAN FRANCISCO	CA	94118-1913
1020	053	THOMAS BURWELL	1230 S STANLEY AV	LOS ANGELES	CA	90019-6617
1020	054	JOHN CARR	21 MORAGA VIA	ORINDA	CA	94563-3550
1020	055	SCHOFIELD TRS	3328 CALIFORNIA ST #3	SAN FRANCISCO	CA	94118-1992
1020	056	PHILLIP & MARY GWYNN TRS	3328 CALIFORNIA ST #4	SAN FRANCISCO	CA	94118-1992
1020	057	ROBERT PEPPERCORN TRS	668 GABRIEL AV	YUBA CITY	CA	95993-9341
1020	058	CLAIRE SAVAGE TRS	1600 HUNTINGTON DR	SOUTH PASADENA	CA	91030-4709
1020	059	LAURENCE MATHEWS TRS	3326 CALIFORNIA ST #3	SAN FRANCISCO	CA	94118-1993
1020	060	ROBERT & DEENA KLABER	3326 CALIFORNIA ST #4	SAN FRANCISCO	CA	94118-1993
1020	061	LIN CHEYIH	3320 CALIFORNIA ST #1	SAN FRANCISCO	CA	94118-1995
1020	062	DANIEL & ARLENE BERKLEY TRS	3320 CALIFORNIA ST #2	SAN FRANCISCO	CA	94118-1995
1020	063	CATALANO VARRONE TRS	3320 CALIFORNIA ST #3	SAN FRANCISCO	CA	94118-1995
1020	064	JAMES & JESSICA BASSUK TRS	3320 CALIFORNIA ST #4	SAN FRANCISCO	CA	94118-1995

1020	065	MEHRA TRS	11811 KIOWA AV #101	LOS ANGELES	CA	90049-6068
1020	066	DAVID BERCOVICH	3318 CALIFORNIA ST #2	SAN FRANCISCO	CA	94118
1020	067	GROVER VISHAL	3318 CALIFORNIA ST #3	SAN FRANCISCO	CA	94118-1996
1020	068	TANYA & MARK BERNSTEIN	3318 CALIFORNIA ST #4	SAN FRANCISCO	CA	94118-1996
1020	069	RAYMOND JUNG TRS	4 SAINT VINCENT	LAGUNA NIGUEL	CA	92677-5116
1020	070	THE BROYDO TRS	26496 PURISSIMA RD	LOS ALTOS HILLS	CA	94022-3325
1020	071	SACRAMENTO ST TRS	3662 CLAY ST	SAN FRANCISCO	CA	94118-1804
1020	072	RICHARD & HELEN WANG TRS	38 3RD ST #203	LOS ALTOS	CA	94022-2713
1020	073	RIVERS TRS	6600 E GRAPEVIEW LOOP RD	ALLYN	WA	98524-9762
1020	074	STEVEN SUN TRS	3439 SACRAMENTO ST #301	SAN FRANCISCO	CA	94118-1989
1020	075	HOFFMAN FRIEDER TRS	3439 SACRAMENTO ST #302	SAN FRANCISCO	CA	94118-1988
1020	076	BARLOW TRS	44 CRICKET HILL RD	LAFAYETTE	CA	94549-2402
1020	077	1810 WEBSTER LLC	1801 VAN NESS AV	SAN FRANCISCO	CA	94109-3663
1020	078	KATHLEEN MARANO	3439 SACRAMENTO ST #403	SAN FRANCISCO	CA	94118-1988
1020	079	ALARIC & ALEXIS AKASHI	3316 CALIFORNIA ST #1	SAN FRANCISCO	CA	94118-1997
1020	080	JAMES & JEANNE WEBB TRS	33472 DOSINIA DR	DANA POINT	CA	92629-4490
1020	081	BOBEL TRS	826 LINCOLN AV	PALO ALTO	CA	94301-3332
1020	082	GAIL BOYER TRS	3316 CALIFORNIA ST #4	SAN FRANCISCO	CA	94118-1997
1020	086	LEWIS TRS	521 S RD	BELMONT	CA	94002-2226
1020	087	LEWIS TRS	521 S RD	BELMONT	CA	94002-2226
1020	088	RICHARD THALHEIMER TRS	2301 KERNER BL #C	SAN RAFAEL	CA	94901-5554
1020	089	RICHARD THALHEIMER CHILDRENS TRS	3470 MT DIABLO BL #A110	LAFAYETTE	CA	94549-3977
1020	090	ZHI ZHUANG	3330 CALIFORNIA ST #3	SAN FRANCISCO	CA	94118-4609
1021	026	DAGOVITZ TRS	714 VAN NESS AV	SAN FRANCISCO	CA	94102-3218
1021	030	PARK MENORAH	3365 SACRAMENTO ST	SAN FRANCISCO	CA	94118-1984
1021	038	JEWISH COMM CTR OF SF	3200 CALIFORNIA ST	SAN FRANCISCO	CA	94118-1904
1022	013	3150 CALIFORNIA LLC	3065 JACKSON ST	SAN FRANCISCO	CA	94115-1022
1022	026	LAUREL SPE LLC	488 PRESIDIO AV	SAN FRANCISCO	CA	94115-2004
1031	005	JAMES HERBERT TRS	1735 LYON ST	SAN FRANCISCO	CA	94115-2416
1031	006	DAVID & BARBARA THOMSON	691 5TH AV	SAN FRANCISCO	CA	94118-3914
1031	013	FMZ INVESTMENTS LLC	390 E WASHINGTON AV	SUNNYVALE	CA	94086-6254
1031	014	DAVID SCHELLHASE	3016 PINE ST	SAN FRANCISCO	CA	94115-2421
1031	016	SYED & SHAISTA ALI	22653 GARROD RD	SARATOGA	CA	95070-9781
1031	017	CHARLES THOMAS TRS	3042 PINE ST	SAN FRANCISCO	CA	94115-2421
1031	018	NATHAN STOLL	548 MARKET ST #68813	SAN FRANCISCO	CA	94104-5401
1031	021	CHARLES DAVANTES TRS	544 PRESIDIO AV	SAN FRANCISCO	CA	94115-2423
1031	022B	LEONARD ESPOSTO	PO BOX 460490	SAN FRANCISCO	CA	94146-0490
1031	023	ARTHUR & ERIKA ANDREAS TRS	2548 WASHINGTON ST	SAN FRANCISCO	CA	94115-1819
1031	026	CALIFORNIA ST COMPLEX HDG	1717 POWELL ST #300	SAN FRANCISCO	CA	94133-2843
1031	027	CALIFORNIA ST COMPLEX HDG	1717 POWELL ST #300	SAN FRANCISCO	CA	94133-2843
1031	028	CALIFORNIA ST COMPLEX HDG	1717 POWELL ST #300	SAN FRANCISCO	CA	94133-2843
1031	029	GLADYS MONDAINE TRS	3123 CALIFORNIA ST	SAN FRANCISCO	CA	94115-2412
1031	031	SHARON WONG TRS	13418 ESSEX CT	EDEN PRAIRIE	MN	55347-1707
1031	032	SUE GALBRECHT TRS	560 PRESIDIO AV #2	SAN FRANCISCO	CA	94115-2482
1031	033	JEANNINE BLACK TRS	560 PRESIDIO AV #3	SAN FRANCISCO	CA	94115-2482
1031	034	JOHN OGRADY TRS	560 PRESIDIO AV #4	SAN FRANCISCO	CA	94115-2482
1031	035	SUSAN MCCONKEY TRS	560 PRESIDIO AV #6	SAN FRANCISCO	CA	94115-2483
1031	036	EDWARD & DESJARDI HESSELGREN	560 PRESIDIO AV #6	SAN FRANCISCO	CA	94115-2483
1031	037	JAMES COSTELLO TRS	18 BROOKE CIR	MILL VALLEY	CA	94941-4609
1031	038	GILDA POLIAKIN TRS	560 PRESIDIO AV #8	SAN FRANCISCO	CA	94115-2483
1031	039	WALKER TRS	1727 LYON ST	SAN FRANCISCO	CA	94115-2416
1031	040	DAS & NZS TRS	1729 LYON ST	SAN FRANCISCO	CA	94115-2416
1031	041	GLORIA FAZENDIN TRS	673 CATAMARAN ST #2	FOSTER CITY	CA	94404-3048
1031	042	ROBIN BISHOP	3183 CALIFORNIA ST	SAN FRANCISCO	CA	94115-2479
1031	043	BOYCE & KRISTINA JASON	3191 CALIFORNIA ST	SAN FRANCISCO	CA	94115-2479
1031	044	VASILIOU & SCHEFFEL	1142 POME AV	SUNNYVALE	CA	94087-2235
1031	045	KAREN LOKEN	3193 CALIFORNIA ST	SAN FRANCISCO	CA	94115-2479
1031	046	SHARON LEE	3187 CALIFORNIA ST	SAN FRANCISCO	CA	94115-2479
1031	049	JERNIGAN TRS	1187 SCHUMAN LN	PETALUMA	CA	94952-2066
1031	050	TERESA HEGG	538 PRESIDIO AV	SAN FRANCISCO	CA	94115-2423
1031	051	TANYA WEI	3018 PINE ST	SAN FRANCISCO	CA	94115-2421
1031	052	EDWIN MARWITZ	3020 PINE ST	SAN FRANCISCO	CA	94115
1031	053	ELEANOR ROSENTHAL TRS	530 PRESIDIO AV	SAN FRANCISCO	CA	94115-2423
1031	054	ESKER SHARON TRS	532 PRESIDIO AV	SAN FRANCISCO	CA	94115-2423
1031	055	RUNDLE & CARRIER	3171 CALIFORNIA ST	SAN FRANCISCO	CA	94115-2457
1031	056	LUGO VELOSO TRS	635 MIRAMAR AV	SAN FRANCISCO	CA	94112-1231

1031	057	STEVE KRYSTOFIAK	3175 CALIFORNIA ST	SAN FRANCISCO	CA	94115-2457
1031	058	IRWIN LIU	949 FLYING FISH ST	FOSTER CITY	CA	94404-1425
1031	059	ANNE NEILL	3181 CALIFORNIA ST	SAN FRANCISCO	CA	94115-2457
1031	060	EDDE TRS	3181 CALIFORNIA ST	SAN FRANCISCO	CA	94115-2457
1032	001	US BANK NA	476 SANSOME ST #17THFLR	SAN FRANCISCO	CA	94111
1032	002	SF FIREMEN CREDIT UNION	3201 CALIFORNIA ST	SAN FRANCISCO	CA	94118-1903
1032	003	LAUREL HEIGHTS PTNRS LLC	150 POST ST #320	SAN FRANCISCO	CA	94108-4711
1034	001	FEEDBAG CALIFORNIA ST LL	PO BOX 15760	SAN FRANCISCO	CA	94115-0760
1034	002	NICHELINI TRS	4 STITT CT	NOVATO	CA	94945-2153
1034	002A	GLORIA CONTI TRS	1100 JACKLING DR	HILLSBOROUGH	CA	94010-6177
1034	002B	ROSABELLE TOBRINER TRS	115 SANSOME ST #1100	SAN FRANCISCO	CA	94104-3635
1034	003	VIVOS TOBRINER TRS	12 GEARY ST #303	SAN FRANCISCO	CA	94108-5710
1034	004	BENSON TRS	314 JESTER CT	PETALUMA	CA	94954-8509
1044	001	LEE TRS	PO BOX 590246	SAN FRANCISCO	CA	94159-0246
1044	002	MICHAEL & JOANNA THOMSON	11 COLLINS ST	SAN FRANCISCO	CA	94118-2708
1044	003	CHARLOTTE CLARK TRS	21 COLLINS ST	SAN FRANCISCO	CA	94118-2708
1044	004	SCHAUMBERG TRS	31 COLLINS ST	SAN FRANCISCO	CA	94118-2708
1044	005	DOROTHY SIRBU	41 COLLINS ST	SAN FRANCISCO	CA	94118-2708
1044	027	MICHAEL MOORE	12 MANZANITA AV	SAN FRANCISCO	CA	94118-2728
1044	028	GARY & HIROMI NOMURA	2 MANZANITA AV	SAN FRANCISCO	CA	94118-2728
1045	001	LAWRENCE & ESTHER LAI TRS	1 MAYFAIR DR	SAN FRANCISCO	CA	94118-2729
1045	002	FRISBIE-WENNERGREN TRS	525 LAUREL ST	SAN FRANCISCO	CA	94118-2716
1045	003	TINA KWOK TRS	30 DALTON ST #1908	BOSTON	MA	02115-3171
1045	004	LAW-MCDONOUGH TRS	545 LAUREL ST	SAN FRANCISCO	CA	94118-2716
1045	005	JOHN WALCOTT TRS	107 SPRUCE ST	SAN FRANCISCO	CA	94118-1826
1045	006	LUM & WALTER	1751 39TH AV	SAN FRANCISCO	CA	94122-4035
1045	007	JAMES & WENDY STOVELL	575 LAUREL ST	SAN FRANCISCO	CA	94118-2716
1045	008	STEPHEN COHEN	585 LAUREL ST	SAN FRANCISCO	CA	94118
1045	009	HELEN & DONNA LEE	PO BOX 590246	SAN FRANCISCO	CA	94159-0246
1045	012	LOUISE CHENG TRS	242 EUCLID AV	SAN FRANCISCO	CA	94118-2715
1045	013	PAUL & CAROL LOTTICE TRS	9324 FONTAINBLEU DR	LAS VEGAS	NV	89145-8653
1045	017	RAYMOND LOR TRS	170 23RD AV	SAN FRANCISCO	CA	94121-1219
1045	018	SHIM-PARK TRS	48 COLLINS ST	SAN FRANCISCO	CA	94118-2709
1045	021	KELLY FAM TRS	3406 CLAY ST	SAN FRANCISCO	CA	94118-2009
1045	022	CHOW TRS	250 MORNINGSIDE DR	SAN FRANCISCO	CA	94132-1241
1045	023	PIOMBO TRS	2408 VINTAGE OAKS CT	LODI	CA	95242-9347
1045	024	ROBERT KONG TRS	15 MAYFAIR DR	SAN FRANCISCO	CA	94118-2729
1045	025	DANIEL & ELISSA KIDO TRS	6176 CANYON ESTATES CT	RIVERSIDE	CA	92506-4063
1045	032	DEAN HOWE	32 COLLINS ST #101	SAN FRANCISCO	CA	94118-2709
1045	033	SPGSF TRS	34 COLLINS ST #201	SAN FRANCISCO	CA	94118-2709
1045	034	60 COLLINS ST LLC	60 COLLINS ST	SAN FRANCISCO	CA	94118-2709
1045	035	DONALD HOLCHER TRS	62 COLLINS ST	SAN FRANCISCO	CA	94118-2709
1045	036	DAVID & LAUREN MCDOWELL TRS	40 COLLINS ST	SAN FRANCISCO	CA	94118
1045	037	LIN LAN TRS	42 COLLINS ST	SAN FRANCISCO	CA	94118-2709
1045	038	PIHL & OCONNOR TRS	66 COLLINS ST	SAN FRANCISCO	CA	94118-2709
1045	039	PIHL & OCONNOR TRS	68 COLLINS ST	SAN FRANCISCO	CA	94118-2709
1045	051	ARTHURS TRS	2822 POLK ST	SAN FRANCISCO	CA	94109-1014
1045	052	TUCHMAN TRS	1901 FREESTONE FLAT RD	SEBASTOPOL	CA	95472-8227
1046	015	SUSAN & BRIAN FOGARTY TRS	2966 BUSH ST	SAN FRANCISCO	CA	94115-2929
1046	016	EDWIN FRANCIS TRS	234 ARGUELLO BL	SAN FRANCISCO	CA	94118-1407
1046	020	MACAMHLAIDH & MCAULEY CIARAN	33 LINCOLN WAY	SAN FRANCISCO	CA	94122-2716
1046	022	574 ESCUELA LLC	600 PRESIDIO AV	SAN FRANCISCO	CA	94115-2425
1046	023	ANTHONY VARNI TRS	217 BALBOA ST	SAN FRANCISCO	CA	94118-3904
1046	024	ANTHONY VARNI TRS	217 BALBOA ST	SAN FRANCISCO	CA	94118-3904
1046	026	ANTHONY VARNI TRS	217 BALBOA ST	SAN FRANCISCO	CA	94118-3904
1046	032	PEGGY HUNG SVRS TRS	620 PRESIDIO AV	SAN FRANCISCO	CA	94115-2425
1046	033	GEORGE & NORMA RESCALVO	250 BEACON ST	SAN FRANCISCO	CA	94131-2630
1046	037	SUNEET SANDHU	650 PRESIDIO AV #201	SAN FRANCISCO	CA	94115-2425
1046	038	SCOTTO & CHABANEIX	650 PRESIDIO AV #401	SAN FRANCISCO	CA	94115-2425
1046	039	LUCIANO DIVETTIMO	650 PRESIDIO AV #401	SAN FRANCISCO	CA	94115-2425
1046	044	BRYAN HUNT	2960 BUSH ST	SAN FRANCISCO	CA	94115-2929
1046	045	TRAN & CHAN TRS	960 ANZA ST #5	SAN FRANCISCO	CA	94118-4250
1046	049	GEORGIA PARSONS TRS	714 VAN NESS AV	SAN FRANCISCO	CA	94102-3218
1046	050	GEORGIA PARSONS TRS	714 VAN NESS AV	SAN FRANCISCO	CA	94102-3218
1046	051	GEORGIA PARSONS TRS	714 VAN NESS AV	SAN FRANCISCO	CA	94102-3218
1046	052	GEORGIA PARSONS TRS	714 VAN NESS AV	SAN FRANCISCO	CA	94102-3218

RADIUS SERVICES 1221 HARRISON ST #18 SAN FRANCISCO CA 94103 415-391-4775

1046	053	GEORGIA PARSONS TRS	714 VAN NESS AV	SAN FRANCISCO	CA	94102-3218
1046	054	GEORGIA PARSONS TRS	714 VAN NESS AV	SAN FRANCISCO	CA	94102-3218
1046	055	GEORGIA PARSONS TRS	714 VAN NESS AV	SAN FRANCISCO	CA	94102-3218
1057	002	CATHERINE & PAUL MAGEE	63 LUPINE AV	SAN FRANCISCO	CA	94118-2733
1057	003	NANCY YEE	588 SUTTER ST #520	SAN FRANCISCO	CA	94102
1057	004	TANE ONG CHAN TRS	77 LUPINE AV	SAN FRANCISCO	CA	94118-2733
1057	013	BERNARD TRS	PO BOX 507	SAN GERONIMO	CA	94963-0507
1057	014	AACCM PROPERTIES LLC	170 22ND AV	SAN FRANCISCO	CA	94121-1217
1057	015	CHRISTOPHER FOWLER TRS	14960 KARL AV	MONTE SERENO	CA	95030-2226
1057	016	RUTH FONG TRS	37 LUPINE AV	SAN FRANCISCO	CA	94118-2733
1057	017	JACOBI CHILDRENS TRS	11 VIA VANDYKE	MILL VALLEY	CA	94941-1229
1057	018	DONATI INVESTMENTS	2770 LYON ST	SAN FRANCISCO	CA	94123-3815
1057	019	KIN-KEE PUN	49 LUPINE AV	SAN FRANCISCO	CA	94118-2733
1057	020	YOUNG TRS	53 LUPINE AV	SAN FRANCISCO	CA	94118-2733
1057	024	ROGER MILES TRS	59 LUPINE AV #6	SAN FRANCISCO	CA	94118-2753
1058	001	ELEANOR ACHUCK TRS	9 WOODLEAF AV	REDWOOD CITY	CA	94061-1823
1058	004	PETER CHOVANES TRS	223 3RD AV	SAN FRANCISCO	CA	94118-2415
1058	005	ZARIN & PERVIZ RANDERIA	40 LUPINE AV	SAN FRANCISCO	CA	94118-2721
1058	006	CHUNG & CHANG	PO BOX 26233	SAN FRANCISCO	CA	94126-6233
1058	008	LEE & BEVERLY EUGENE TRS	20 LUPINE AV	SAN FRANCISCO	CA	94118-2721
1058	012	CASTLE ENTERPRISES	435 LOS CERROS DR	GREENBRAE	CA	94904-1124
1058	013	TOBIAS MEZGER	26 LUPINE AV	SAN FRANCISCO	CA	94118-2721
1058	014	ERIK OLSON	28 LUPINE AV	SAN FRANCISCO	CA	94118-2721
1069	033	AG TRS	106 COLLINS ST	SAN FRANCISCO	CA	94118-3401
1069	034	MARK & TRISTAN HARTMANN	104 COLLINS ST	SAN FRANCISCO	CA	94118-3401
1069	035	MAIDMAN-WOOD TRS	245 EUCLID AV	SAN FRANCISCO	CA	94118-2714
1069	038	DAT & LAT TRS & TARANTINO	450 EL CAMINO DEL MAR	SAN FRANCISCO	CA	94121-1040
1069	039	WING QUOCK TRS	70 SHORE VIEW AV	SAN FRANCISCO	CA	94121-1629
1069	047	TATUM TRS	9 LUPINE AV	SAN FRANCISCO	CA	94118-2720
1069	048	JOHN & THERESA FREI	11 LUPINE AV	SAN FRANCISCO	CA	94118-2720
1069	049	JOHN & JODY ATKINS	1 LUPINE AV	SAN FRANCISCO	CA	94118-2720
1069	050	AMY SAPER	102 TENNYSON AV	PALO ALTO	CA	94301-3733
1072	001	CITY & COUNTY OF SF & JUDICIAL COUN	455 GOLDEN GATE AV	SAN FRANCISCO	CA	94102-3660
9999	999					



1221 HARRISON STREET #18
SAN FRANCISCO, CA 94103

P: 415-391-4775
F: 415-391-4777
radiusservices@sfradius.com

AFFIDAVIT OF PREPARATION OF RADIUS NOTIFICATION MAP, MAILING LIST, & DELIVERY MATERIALS FOR PUBLIC NOTIFICATION

RADIUS SERVICES hereby declares as follows:

1. We have prepared the NOTIFICATION MAP, MAILING LIST, and DELIVERY MATERIALS for the purpose of public notification in accordance with the requirements and instructions stipulated by San Francisco City Planning Department Planning Code / San Francisco Department of Building Inspection / San Francisco Public Works Code:

- | | |
|---|---|
| <input type="checkbox"/> Section 311 (Residential) | <input type="checkbox"/> Mobile Food Facility (MFF)
Truck: 75' minimum radius measured from the outer boundaries of the assumed curbside and all properties across the street that directly fronts, in whole or in part. |
| <input type="checkbox"/> Section 312 (Commercial) | |
| <input type="checkbox"/> Variance | <input type="checkbox"/> Mobile Food Facility (MFF)
Push Cart: 300' minimum radius of the street address(s) in front of which the Pushcart will be located. |
| <input type="checkbox"/> Environmental Evaluation | |
| <input type="checkbox"/> Conditional Use Permit | <input type="checkbox"/> Minor Sidewalk Encroachment (MSE)
150' radius <u>fronting</u> the subject property. |
| <input type="checkbox"/> Conditional Use Permit for Wireless Antenna Installation | <input type="checkbox"/> Major Sidewalk Encroachment (ME)
300' complete radius. |
| <input checked="" type="checkbox"/> Other <u>Condo</u> | <input type="checkbox"/> Section 106.3.2.3 (Demolition) |

2. We understand that we are responsible for the accuracy of this information, and that erroneous information may require re-mailing or lead to suspension or revocation of the permit.

3. We have prepared these materials in good faith and to the best of our ability.

We declare under penalty of perjury under the laws of the State of California and the City and County of San Francisco that the foregoing is true and correct.

EXECUTED IN SAN FRANCISCO, ON THIS DAY, 3/25/19

RADIUS SERVICES
Professional Service Provider

10320003

Radius Services Job Number

3333 California St

Project Address

Kevin Chuck
Radius Services

1032/3

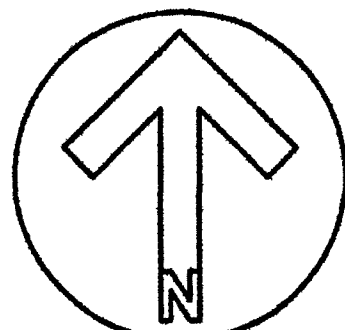
Block / Lot



1221 Harrison Street Suite 18
San Francisco CA 94103-4449
(415) 391-4775

BLOCK 1032
LOT 3

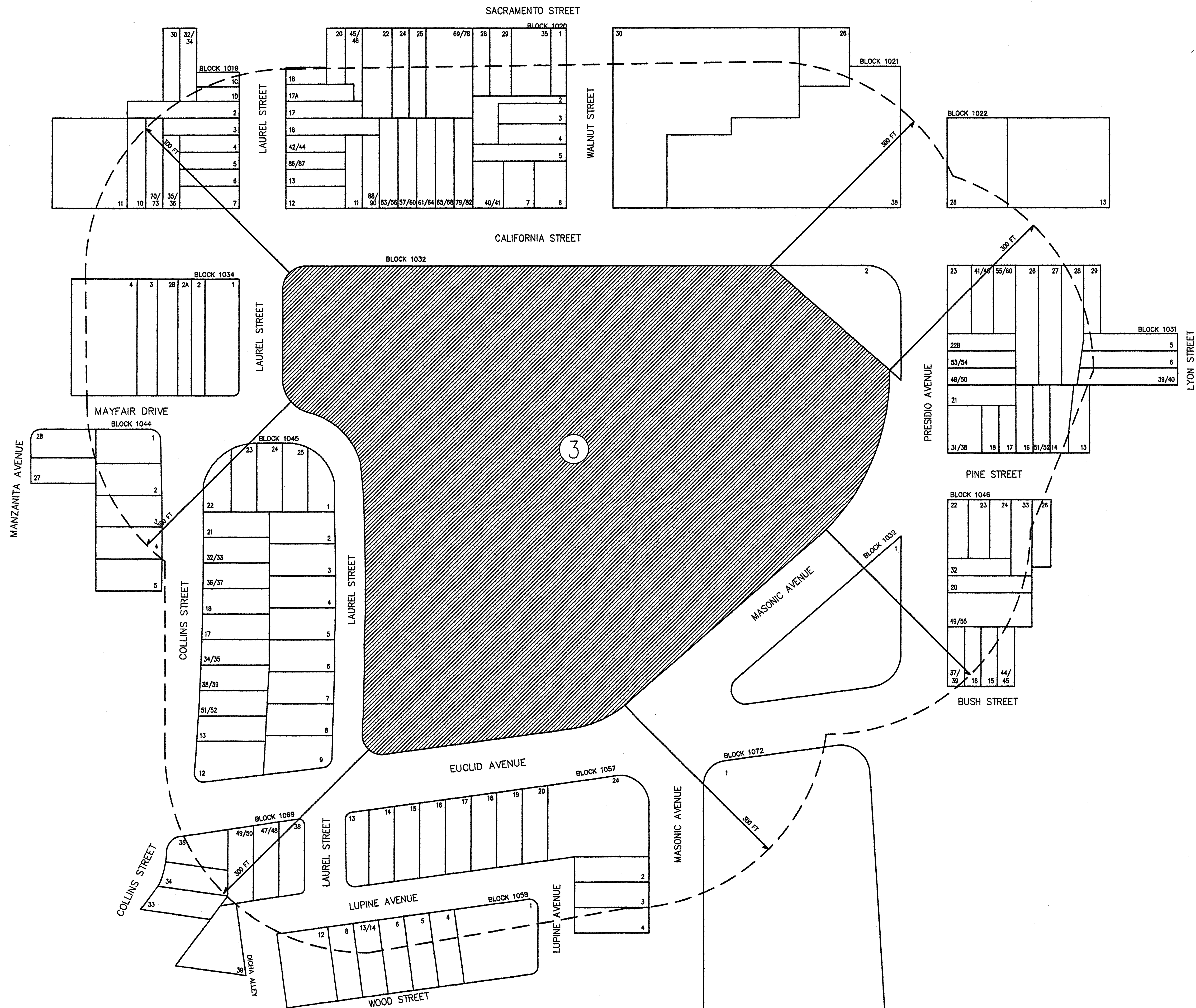
San Francisco, CA



SCALE: 1" = 75' - 0"

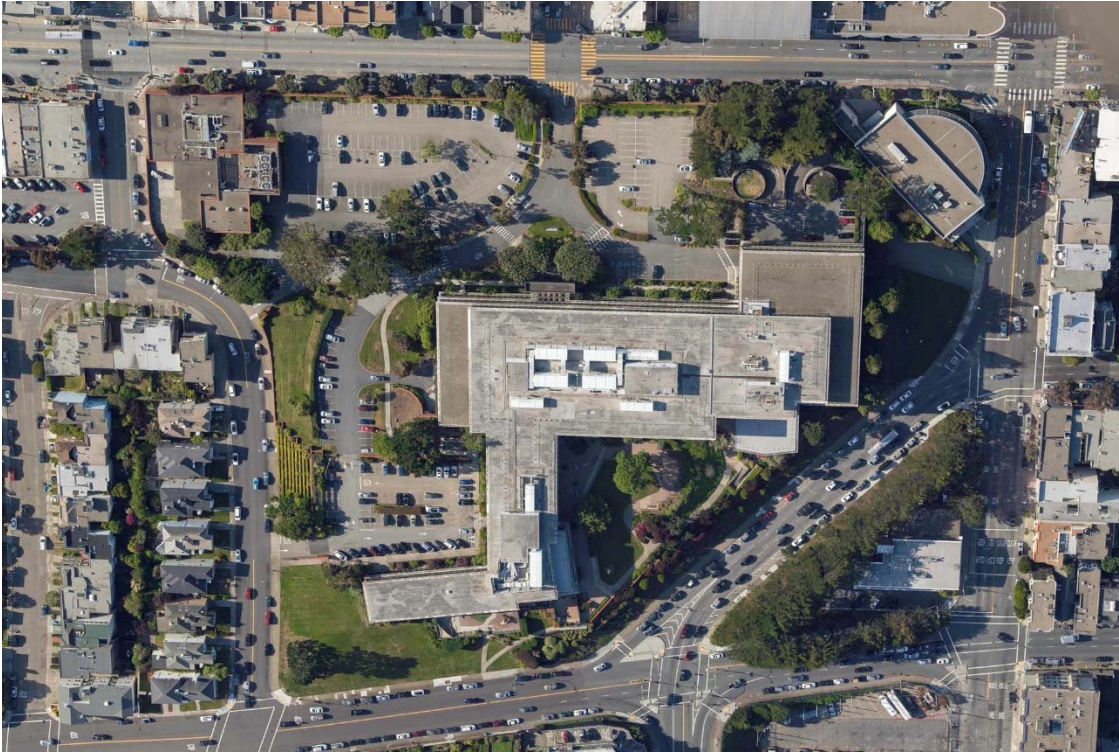
JOB NO:	DATE: 190314
10320003	DRAWN: DC
	CHECKED: DC

300 FOOT
RADIUS MAP



The information contained herein has been obtained from sources that we deemed reliable and current at the time of preparation. We have no reason to doubt its accuracy but we do not guarantee it.

Site Aerial



Exterior (Front Side) of the building from California Street



View West (Left Side) from Presidio Avenue



View East (Right Side) from Mayfair and Laurel Streets



View North (Rear) from Masonic Avenue



View East (Rear) from the corner of Laurel and Euclid Streets





Issuing Policies of **Chicago Title Insurance Company**

Order No.: **15606321-156-TJK-JM**

Title Officer: **Jeff Martin**

TO:

Escrow Officer: **Terina J. Kung**
455 Market Street, Suite 2100
San Francisco, CA 94105
(415) 788-0871

Chicago Title Company
455 Market Street, Suite 2100
San Francisco, CA 94105
Phone: **(415) 788-0871**
ATTN: **Terina J. Kung**

PROPERTY ADDRESS: 3333 California Street, San Francisco, CA

PRELIMINARY REPORT

*In response to the application for a policy of title insurance referenced herein, **Chicago Title Company** hereby reports that it is prepared to issue, or cause to be issued, as of the date hereof, a policy or policies of title insurance describing the land and the estate or interest therein hereinafter set forth, insuring against loss which may be sustained by reason of any defect, lien or encumbrance not shown or referred to as an exception herein or not excluded from coverage pursuant to the printed Schedules, Conditions and Stipulations or Conditions of said policy forms.*

The printed Exceptions and Exclusions from the coverage and Limitations on Covered Risks of said policy or policies are set forth in Attachment One. The policy to be issued may contain an arbitration clause. When the Amount of Insurance is less than that set forth in the arbitration clause, all arbitrable matters shall be arbitrated at the option of either the Company or the Insured as the exclusive remedy of the parties. Limitations on Covered Risks applicable to the CLTA and ALTA Homeowner's Policies of Title Insurance which establish a Deductible Amount and a Maximum Dollar Limit of Liability for certain coverages are also set forth in Attachment One. Copies of the policy forms should be read. They are available from the office which issued this report.

This report (and any supplements or amendments hereto) is issued solely for the purpose of facilitating the issuance of a policy of title insurance and no liability is assumed hereby. If it is desired that liability be assumed prior to the issuance of a policy of title insurance, a Binder or Commitment should be requested.

*The policy(s) of title insurance to be issued hereunder will be policy(s) of **Chicago Title Insurance Company**, a **Florida** corporation.*

Please read the exceptions shown or referred to herein and the exceptions and exclusions set forth in Attachment One of this report carefully. The exceptions and exclusions are meant to provide you with notice of matters which are not covered under the terms of the title insurance policy and should be carefully considered.

It is important to note that this preliminary report is not a written representation as to the condition of title and may not list all liens, defects and encumbrances affecting title to the land.

Chicago Title Company

By: 
Authorized Signature



By:


Randy Quirk, President

Attest:


Michael Gravelle, Secretary



PRELIMINARY REPORT

EFFECTIVE DATE: **March 1, 2019** at 7:30 a.m.

ORDER NO.: **15606321-156-TJK-JM**

The form of policy or policies of title insurance contemplated by this report is:

ALTA Extended Loan Policy (6-17-06)
ALTA Extended Owners Policy (6-17-06)

1. THE ESTATE OR INTEREST IN THE LAND HEREINAFTER DESCRIBED OR REFERRED TO COVERED BY THIS REPORT IS:

A Fee

2. TITLE TO SAID ESTATE OR INTEREST AT THE DATE HEREOF IS [VESTED IN:](#)

Laurel Heights Partners, LLC, a Delaware limited liability company

3. THE LAND REFERRED TO IN THIS REPORT IS DESCRIBED AS FOLLOWS:

See Exhibit A attached hereto and made a part hereof.

EXHIBIT A

LEGAL DESCRIPTION

THE LAND REFERRED TO HEREIN BELOW IS SITUATED **IN THE CITY OF SAN FRANCISCO**, IN THE COUNTY OF **SAN FRANCISCO**, STATE OF **CALIFORNIA**, AND IS DESCRIBED AS FOLLOWS:

BEGINNING at a point on the Southerly line of California Street, said point being the Easterly extremity of the curve with a 15 foot radius joining the Easterly line of Laurel Street with the Southerly line of California Street, as shown on "Map of Laurel Heights, filed July 28, 1947, in Map Book "P", at Pages 55 and 56, Official Records of the City and County of San Francisco; running thence North 80°54' East 707.375 feet along the Southerly line of California Street to the Southwesterly boundary of the property of the Standard Oil Company of California; thence South 52°36' 29.74 seconds East along said boundary 232.860 feet; thence Southwesterly along the arc of a curve to the right whose tangent deflects 54°14' 30.74 seconds to the right from the preceding course, radius 425 feet, central angle 34°15'59", a distance of 254.176 feet; thence South 35°54' West tangent to the preceding curve 380.066 feet; thence Southwesterly along the arc of a curve to the right, tangent to the preceding course, radius 65 feet, central angle 37°18' a distance of 42.316 feet to tangency with the Northwesterly line of Euclid Avenue; thence South 73°12' West along said line of Euclid Avenue 312.934 feet; thence leaving said line of Euclid Avenue, and running Southwesterly, Westerly, and Northwesterly along the arc of a curve to the right, tangent to the preceding course, radius 20 feet, central angle 100°48' 01.51", a distance of 35.186 feet; thence Northwesterly along the arc of a reverse curve to the left, parallel to and concentric with and radially distant 6 feet Northeasterly from the Northeasterly line of Laurel Street, as shown on said map of Laurel Heights, radius 4033 feet, central angle 5°31' 20.27", a distance of 388.710 feet; thence Northwesterly along the arc of a compound curve to the left, radius 120 feet, central angle 71°12' 55.45", a distance of 149.153 feet; thence Northwesterly along the arc of a reverse curve to the right, radius 60 feet, central angle 73°38' 14.21', a distance of 77.113 feet to tangency with the Easterly line of Laurel Street; thence North 9°06' West along said line of Laurel Street 127.290 feet to the beginning of the above mentioned curve joining the Easterly line of Laurel Street with Southerly line of California Street; thence Northwesterly, Northerly, and Northeasterly along the arc of a curve to the right, radius 15 feet 90°00', a distance of 23.562 feet to tangency with the Southerly line of California Street and the point of beginning.

APN: **Lot 003, Block 1032**

EXCEPTIONS

AT THE DATE HEREOF, ITEMS TO BE CONSIDERED AND EXCEPTIONS TO COVERAGE IN ADDITION TO THE PRINTED EXCEPTIONS AND EXCLUSIONS IN SAID POLICY FORM WOULD BE AS FOLLOWS:

1. Property taxes, which are a lien not yet due and payable, including any assessments collected with taxes to be levied for the fiscal year 2019-2020.
2. There were no taxes levied for the fiscal year 2018-2019 as the property was vested in a public entity.
3. The Land lies within the boundaries of a Mello Roos Community Facilities District ("CFD"), as follows:

CFD No: 90-1
For: School Facility Repair and Maintenance

This property, along with all other parcels in the CFD, is liable for an annual special tax. This special tax is included with and payable with the general property taxes of the City and County of San Francisco. The tax may not be prepaid.

Further information may be obtained by contacting:

Chief Financial Officer
San Francisco Unified School District
135 Van Ness Ave. – Room 300
San Francisco, CA 94102
Phone (415) 241-6542

4. Prior to close of escrow, please contact the Tax Collector's Office to confirm all amounts owing, including current fiscal year taxes, supplemental taxes, escaped assessments and any delinquencies.
5. The lien of supplemental or escaped assessments of property taxes, if any, made pursuant to the provisions of Chapter 3.5 (commencing with Section 75) or Part 2, Chapter 3, Articles 3 and 4, respectively, of the Revenue and Taxation Code of the State of California as a result of the transfer of title to the vestee named in Schedule A or as a result of changes in ownership or new construction occurring prior to Date of Policy.
6. Water rights, claims or title to water, whether or not disclosed by the public records.
7. Covenants, conditions and restrictions but omitting any covenants or restrictions, if any, including but not limited to those based upon race, color, religion, sex, sexual orientation, familial status, marital status, disability, handicap, national origin, citizenship, immigration status, primary language, ancestry, source of income, gender, gender identity, gender expression, medical condition or genetic information, as set forth in applicable state or federal laws, except to the extent that said covenant or restriction is permitted by applicable law, as set forth in the document

Recording Date: January 8, 1953
Recording No.: Book 6071, Page 539, of Official Records

Said covenants, conditions and restrictions provide that a violation thereof shall not defeat the lien of any mortgage or deed of trust made in good faith and for value.

The provisions of said covenants, conditions and restrictions were extended to include the herein described Land by an instrument

Recording Date: April 24, 1953
Recording No.: Book 6142, Page 102, of Official Records

EXCEPTIONS (Continued)

8. DEED OF TRUST, FIXTURE FILING, ASSIGNMENT OF RENTS, AND SECURITY AGREEMENT given to secure the original amount shown below, and any other amount payable under the terms thereof.

Amount: \$61,000,000.00
 Dated: March 27, 2018
 Trustor/Grantor: Laurel Heights Partners, LLC, a Delaware limited liability company
 Trustee: Fidelity National Title Insurance Company, a California corporation
 Beneficiary: First Republic Bank
 Recording Date: March 30, 2018
Recording No.: [2018-K595916-00](#), Official Records

An agreement to modify the terms and provisions of said deed of trust as therein provided

Executed by: Laurel Heights Partners LLC and First Republic Bank
 Recording Date: March 30, 2018
Recording No.: [2018-K595918-00](#), Official Records

9. An assignment of all moneys due, or to become due as rental or otherwise from said Land, to secure payment of an indebtedness, shown below and upon the terms and conditions therein

Amount: \$61,000,000.00
 Assigned to: First Republic Bank
 Assigned By: Laurel Heights Partners LLC, a Delaware limited liability company
 Recording Date: March 30, 2018
Recording No.: [2018-K595917-00](#), Official Records

10. An unrecorded lease with certain terms, covenants, conditions and provisions set forth therein as disclosed by the document

Entitled: Specific Assignment, Subordination, Non-Disturbance and Attornment Agreement
 Lessor: Laurel Heights Partners, LLC, a Delaware limited liability company
 Lessee: The Regents of The University of California, a California public corporation
 Recording Date: March 30, 2018
Recording No.: [2018-K595919-00](#), Official Records

An agreement recorded March 30, 2018 at 2018-K595919-00, of Official Records which states that said lease has been made subordinate to the document

Entitled: Deed of Trust
 Recording Date: March 30, 2018
Recording No.: [2018-K595916-00](#), of Official Records

Said Subordination contains non-disturbance language.

Reference is hereby made to said document for full particulars.

The present ownership of the leasehold created by said lease and other matters affecting the interest of the lessee are not shown herein.

EXCEPTIONS (Continued)

11. Any claims for mechanic's liens on said Land that may be recorded by reason of a recent work of improvement that is disclosed by a Notice of Completion

Recording Date: August 6, 2018

Recording No: 2018-K652638-00, of Official Records

12. Any claims for mechanic's liens on said Land that may be recorded by reason of a recent work of improvement that is disclosed by a Notice of Completion

Recording Date: February 5, 2019

Recording No: 2019-K728749-00, of Official Records

13. Any claims for mechanic's liens on said Land that may be recorded by reason of a recent work of improvement that is disclosed by a Notice of Completion

Recording Date: February 8, 2019

Recording No: 2019-K729853-00, of Official Records

14. Any lien or right to a lien for services, labor or material heretofore or hereafter furnished, imposed by law and not shown by the Public Records.

15. Any rights of the parties in possession of a portion of, or all of, said Land, which rights are not disclosed by the public records.

The Company will require, for review, a full and complete copy of any unrecorded agreement, contract, license and/or lease, together with all supplements, assignments and amendments thereto, before issuing any policy of title insurance without excepting this item from coverage.

The Company reserves the right to except additional items and/or make additional requirements after reviewing said documents.

16. The Company will require an ALTA/NSPS LAND TITLE SURVEY. If the owner of the Land the subject of this transaction is in possession of a current ALTA/NSPS LAND TITLE SURVEY, the Company will require that said survey be submitted for review and approval; otherwise, a new survey, satisfactory to the Company, must be prepared by a licensed land surveyor and supplied to the Company prior to the close of escrow.

The Company reserves the right to add additional items or make further requirements after review of the requested documentation.

17. The Company will require that an Owner's Affidavit be completed by the party(s) named below before the issuance of any policy of title insurance.

Party(s): Laurel Heights Partners, LLC, a Delaware limited liability company

The Company reserves the right to add additional items or make further requirements after review of the requested Affidavit.

**EXCEPTIONS
(Continued)**

18. The Company will require the following documents for review prior to the issuance of any title insurance predicated upon a conveyance or encumbrance from the entity named below:

Limited Liability Company: Laurel Heights Partners, LLC, a Delaware limited liability company

- a) A copy of its operating agreement, if any, and all amendments, supplements and/or modifications thereto, certified by the appropriate manager or member.
 - b) If a domestic Limited Liability Company, a copy of its Articles of Organization and all amendments thereto with the appropriate filing stamps.
 - c) If the Limited Liability Company is member-managed, a full and complete current list of members certified by the appropriate manager or member.
 - d) A current dated certificate of good standing from the proper governmental authority of the state in which the entity is currently domiciled.
 - e) If less than all members, or managers, as appropriate, will be executing the closing documents, furnish evidence of the authority of those signing.
 - f) If Limited Liability Company is a Single Member Entity, a Statement of Information for the Single Member will be required.
 - g) Each member and manager of the LLC without an Operating Agreement must execute in the presence of a notary public the Certificate of California LLC (Without an Operating Agreement) Status and Authority form.
19. The transaction contemplated in connection with this Report is subject to the review and approval of the Company's Corporate Underwriting Department. The Company reserves the right to add additional items or make further requirements after such review.
20. This transaction requires high liability approval prior to close of escrow together with an inspection of the subject property.

Please advise title department with an estimated date that your transaction will close so we can schedule the necessary approvals and inspections.

END OF EXCEPTIONS

NOTES

1. None of the items shown in this report will cause the Company to decline to attach CLTA Endorsement Form 100 to an Extended Coverage Loan Policy, when issued.
2. Note: The Company is not aware of any matters which would cause it to decline to attach CLTA Endorsement Form 116 indicating that there is located on said Land a Commercial Property, known as 3333 California Street, San Francisco, CA to an Extended Coverage Loan Policy.
3. Note: The name(s) of the proposed insured(s) furnished with this application for title insurance is/are:

No names were furnished with the application. Please provide the name(s) of the buyers as soon as possible.
4. Note: The only conveyance(s) affecting said Land, which recorded within 24 months of the date of this report, are as follows:

Grantor:	The Regents of the University of California, a California public corporation
Grantee:	2130 Post Street, LLC, a California limited liability company
Recording Date:	March 30, 2018
Recording No:	2018-K595912-00, of Official Records

Grantor:	2130 Post Street, LLC, a California limited liability company
Grantee:	Laurel Heights Partners, LLC, a Delaware limited liability company
Recording Date:	March 30, 2018
Recording No:	2018-K595915-00, of Official Records
5. Note: The charge for a policy of title insurance, when issued through this application for title insurance, will be based on the Short Term Rate.
6. Your application for title insurance was placed by reference to only a street address or tax identification number. Based on our records, we believe that the legal description in this report covers the parcel(s) of Land that you requested. If the legal description is incorrect, the seller/borrower must notify the Company and/or the settlement company in order to prevent errors and to be certain that the correct parcel(s) of Land will appear on any documents to be recorded in connection with this transaction and on the policy of title insurance.
7. Requirement that a Transfer Tax Affidavit accompany every Deed (Grant Deed, Quitclaim Deed, Interspousal Deed) to be recorded in the City and County of San Francisco. This transfer Tax Affidavit is in addition to the change of ownership form (PCOR) and is required by the County Recorder. This item will not appear on any policy of title insurance.

NOTES (Continued)

8. Effective December 27, 2016, as mandated through local ordinance, the transfer tax rates are as follows:

More than \$100 but Less than or Equal to \$250,000 at \$2.50 for each \$500 or portion thereof (\$5.00 per thousand)

\$250,001 but Less than \$999,999 at \$3.40 for each \$500 or portion thereof (\$6.80 per thousand)

\$1,000,000 or More but Less than \$4,999,999 at \$3.75 for each \$500 or portion thereof (\$7.50 per thousand)

\$5,000,000 or More but Less than \$9,999,999 at \$11.25 for each \$500 or portion thereof (\$22.50 per thousand)

\$10,000,000.00 or More but Less than \$24,999,999 at \$13.75 for each \$500 or portion thereof (\$27.50 per thousand)

\$25,000,000.00 or More at \$15.00 for each \$500 or portion thereof (\$30.00 per thousand)

NOTE: These rates are for documents recorded on or after December 27, 2016, regardless of when the instrument was executed.
9. Note: If a county recorder, title insurance company, escrow company, real estate broker, real estate agent or association provides a copy of a declaration, governing document or deed to any person, California law requires that the document provided shall include a statement regarding any unlawful restrictions. Said statement is to be in at least 14-point bold face type and may be stamped on the first page of any document provided or included as a cover page attached to the requested document. Should a party to this transaction request a copy of any document reported herein that fits this category, the statement is to be included in the manner described.
10. Note: Any documents being executed in conjunction with this transaction must be signed in the presence of an authorized Company employee, an authorized employee of an agent, an authorized employee of the insured lender, or by using Bancserv or other approved third-party service. If the above requirement cannot be met, please call the Company at the number provided in this report.
11. Note: The policy of title insurance will include an arbitration provision. The Company or the insured may demand arbitration. Arbitrable matters may include, but are not limited to, any controversy or claim between the Company and the insured arising out of or relating to this policy, any service of the Company in connection with its issuance or the breach of a policy provision or other obligation. Please ask your escrow or title officer for a sample copy of the policy to be issued if you wish to review the arbitration provisions and any other provisions pertaining to your Title Insurance coverage.
12. Notice: Please be aware that due to the conflict between federal and state laws concerning the cultivation, distribution, manufacture or sale of marijuana, the Company is not able to close or insure any transaction involving Land that is associated with these activities.
13. Pursuant to Government Code Section 27388.1, as amended and effective as of 1-1-2018, a Documentary Transfer Tax (DTT) Affidavit may be required to be completed and submitted with each document when DTT is being paid or when an exemption is being claimed from paying the tax. If a governmental agency is a party to the document, the form will not be required. DTT Affidavits may be available at a Tax Assessor-County Clerk-Recorder.

**NOTES
(Continued)**

14. Due to the special requirements of SB 50 (California Public Resources Code Section 8560 et seq.), any transaction that includes the conveyance of title by an agency of the United States must be approved in advance by the Company's State Counsel, Regional Counsel, or one of their designees.

END OF NOTES

Jeff Martin/ydg

Wire Fraud Alert

This Notice is not intended to provide legal or professional advice. If you have any questions, please consult with a lawyer.

All parties to a real estate transaction are targets for wire fraud and many have lost hundreds of thousands of dollars because they simply relied on the wire instructions received via email, without further verification. **If funds are to be wired in conjunction with this real estate transaction, we strongly recommend verbal verification of wire instructions through a known, trusted phone number prior to sending funds.**

In addition, the following non-exclusive self-protection strategies are recommended to minimize exposure to possible wire fraud.

- **NEVER RELY** on emails purporting to change wire instructions. Parties to a transaction rarely change wire instructions in the course of a transaction.
- **ALWAYS VERIFY** wire instructions, specifically the ABA routing number and account number, by calling the party who sent the instructions to you. DO NOT use the phone number provided in the email containing the instructions, use phone numbers you have called before or can otherwise verify. **Obtain the phone number of relevant parties to the transaction as soon as an escrow account is opened.** DO NOT send an email to verify as the email address may be incorrect or the email may be intercepted by the fraudster.
- **USE COMPLEX EMAIL PASSWORDS** that employ a combination of mixed case, numbers, and symbols. Make your passwords greater than eight (8) characters. Also, change your password often and do NOT reuse the same password for other online accounts.
- **USE MULTI-FACTOR AUTHENTICATION** for email accounts. Your email provider or IT staff may have specific instructions on how to implement this feature.

For more information on wire-fraud scams or to report an incident, please refer to the following links:

Federal Bureau of Investigation:
<http://www.fbi.gov>

Internet Crime Complaint Center:
<http://www.ic3.gov>

FIDELITY NATIONAL FINANCIAL, INC. PRIVACY NOTICE

Fidelity National Financial, Inc. and its majority-owned subsidiary companies (collectively, “FNF,” “our,” or “we”) respect and are committed to protecting your privacy. This Privacy Notice explains how we collect, use, and protect personal information, when and to whom we disclose such information, and the choices you have about the use and disclosure of that information.

Types of Information Collected

We may collect two types of information from you: Personal Information and Browsing Information.

Personal Information. FNF may collect the following categories of Personal Information:

- contact information (e.g., name, address, phone number, email address);
- demographic information (e.g., date of birth, gender, marital status);
- identity information (e.g., Social Security Number, driver’s license, passport, or other government ID number);
- financial account information (e.g., loan or bank account information); and
- other personal information necessary to provide products or services to you.

Browsing Information. FNF may automatically collect the following types of Browsing Information when you access an FNF website, online service, or application (each an “FNF Website”) from your Internet browser, computer, and/or mobile device:

- Internet Protocol (IP) address and operating system;
- browser version, language, and type;
- domain name system requests; and
- browsing history on the FNF Website, such as date and time of your visit to the FNF Website and visits to the pages within the FNF Website

How Personal Information is Collected

We may collect Personal Information about you from:

- information we receive from you on applications or other forms;
- information about your transactions with FNF, our affiliates, or others; and
- information we receive from consumer reporting agencies and/or governmental entities, either directly from these entities or through others.

How Browsing Information is Collected

If you visit or use an FNF Website, Browsing Information may be collected during your visit. Like most websites, our servers automatically log each visitor to the FNF Website and may collect the Browsing Information described above. We use Browsing Information for system administration, troubleshooting, fraud investigation, and to improve our websites. Browsing Information generally does not reveal anything personal about you, though if you have created a user account for an FNF Website and are logged into that account, the FNF Website may be able to link certain browsing activity to your user account.

Other Online Specifics

Cookies. When you visit an FNF Website, a “cookie” may be sent to your computer. A cookie is a small piece of data that is sent to your Internet browser from a web server and stored on your computer’s hard drive. Information gathered using cookies helps us improve your user experience. For example, a cookie can help the website load properly or can customize the display page based on your browser type and user preferences. You can choose whether or not to accept cookies by changing your Internet browser settings. Be aware that doing so may impair or limit some functionality of the FNF Website.

Web Beacons. We use web beacons to determine when and how many times a page has been viewed. This information is used to improve our websites.

Do Not Track. Currently our FNF Websites do not respond to “Do Not Track” features enabled through your browser.

Links to Other Sites. FNF Websites may contain links to other websites. FNF is not responsible for the privacy practices or the content of any of those other websites. We advise you to read the privacy policy of every website you visit.

Use of Personal Information

FNF uses Personal Information for three main purposes:

- To provide products and services to you or in connection with a transaction involving you.
- To improve our products and services.
- To communicate with you about our, our affiliates’, and third parties’ products and services, jointly or independently.

When Information Is Disclosed

We may make disclosures of your Personal Information and Browsing Information in the following circumstances:

- to enable us to detect or prevent criminal activity, fraud, material misrepresentation, or nondisclosure;
- to nonaffiliated service providers who provide or perform services or functions on our behalf and who agree to use the information only to provide such services or functions;
- to nonaffiliated third party service providers with whom we perform joint marketing, pursuant to an agreement with them to jointly market financial products or services to you;

- to law enforcement or authorities in connection with an investigation, or in response to a subpoena or court order; or
- in the good-faith belief that such disclosure is necessary to comply with legal process or applicable laws, or to protect the rights, property, or safety of FNF, its customers, or the public.

The law does not require your prior authorization and does not allow you to restrict the disclosures described above. Additionally, we may disclose your information to third parties for whom you have given us authorization or consent to make such disclosure. We do not otherwise share your Personal Information or Browsing Information with nonaffiliated third parties, except as required or permitted by law.

We reserve the right to transfer your Personal Information, Browsing Information, and any other information, in connection with the sale or other disposition of all or part of the FNF business and/or assets, or in the event of bankruptcy, reorganization, insolvency, receivership, or an assignment for the benefit of creditors. By submitting Personal Information and/or Browsing Information to FNF, you expressly agree and consent to the use and/or transfer of the foregoing information in connection with any of the above described proceedings.

Please see **"Choices With Your Information"** to learn the disclosures you can restrict.

Security of Your Information

We maintain physical, electronic, and procedural safeguards to guard your Personal Information. We limit access to nonpublic personal information about you to employees who need to know that information to do their job. When we provide Personal Information to others as discussed in this Privacy Notice, we expect that they process such information in compliance with our Privacy Notice and in compliance with applicable privacy laws.

Choices With Your Information

If you do not want FNF to share your information with our affiliates to directly market to you, you may send an "opt out" request by email, phone, or physical mail as directed at the end of this Privacy Notice. We do not share your Personal Information with nonaffiliates for their use to direct market to you.

Whether you submit Personal Information or Browsing Information to FNF is entirely up to you. If you decide not to submit Personal Information or Browsing Information, FNF may not be able to provide certain services or products to you.

For California Residents: We will not share your Personal Information and Browsing Information with nonaffiliated third parties, except as permitted by California law.

For Nevada Residents: You may be placed on our internal Do Not Call List by calling (888) 934-3354 or by contacting us via the information set forth at the end of this Privacy Notice. Nevada law requires that we also provide you with the following contact information: Bureau of Consumer Protection, Office of the Nevada Attorney General, 555 E. Washington St., Suite 3900, Las Vegas, NV 89101; Phone number: (702) 486-3132; email: BCPINFO@ag.state.nv.us.

For Oregon Residents: We will not share your Personal Information and Browsing Information with nonaffiliated third parties for marketing purposes, except after you have been informed by us of such sharing and had an opportunity to indicate that you do not want a disclosure made for marketing purposes.

For Vermont Residents: We will not share information about your creditworthiness to our affiliates and will not disclose your personal information, financial information, credit report, or health information to nonaffiliated third parties to market to you, other than as permitted by Vermont law, unless you authorize us to make those disclosures.

Information From Children

The FNF Websites are meant for adults and are not intended or designed to attract persons under the age of eighteen (18). We do not collect Personal Information from any person that we know to be under the age of thirteen (13) without permission from a parent or guardian.

International Users

FNF's headquarters is located within the United States. If you reside outside the United States and choose to provide Personal Information or Browsing Information to us, please note that we may transfer that information outside of your country of residence for any of the purposes described in this Privacy Notice. By providing FNF with your Personal Information and/or Browsing Information, you consent to our collection, transfer, and use of such information in accordance with this Privacy Notice.

FNF Website Services for Mortgage Loans

Certain FNF companies provide services to mortgage loan servicers, including hosting websites that collect customer information on behalf of mortgage loan servicers (the "Service Websites"). The Service Websites may contain links to both this Privacy Notice and the mortgage loan servicer or lender's privacy notice. The sections of this Privacy Notice titled When Information is Disclosed, Choices with Your Information, and Accessing and Correcting Information do not apply to the Service Websites. The mortgage loan servicer or lender's privacy notice governs use, disclosure, and access to your Personal Information. FNF does not share Personal Information collected through the Service Websites, except (1) as required or authorized by contract with the mortgage loan servicer or lender, or

(2) as required by law or in the good-faith belief that such disclosure is necessary to comply with a legal process or applicable law, to enforce this Privacy Notice, or to protect the rights, property, or safety of FNF or the public.

Your Consent To This Privacy Notice; Notice Changes

By submitting Personal Information and/or Browsing Information to FNF, you consent to the collection and use of the information in accordance with this Privacy Notice. We may change this Privacy Notice at any time. The revised Privacy Notice, showing the new revision date, will be posted on the FNF Website. Each time you provide information to us following any amendment of this Privacy Notice, your provision of information to us will signify your assent to and acceptance of the terms of the revised Privacy Notice for all previously collected information and information collected from you in the future. We may use comments, information or feedback that you submit to us in any manner that we may choose without notice or compensation to you.

Accessing and Correcting Information; Contact Us

If you have questions, would like to access or correct your Personal Information, or want to opt-out of information sharing for affiliate marketing, send your requests via email to privacy@fnf.com, by phone to (888) 934-3354, or by mail to:

Fidelity National Financial, Inc.
601 Riverside Avenue
Jacksonville, Florida 32204
Attn: Chief Privacy Officer

Notice of Available Discounts

Pursuant to Section 2355.3 in Title 10 of the California Code of Regulations Fidelity National Financial, Inc. and its subsidiaries ("FNF") must deliver a notice of each discount available under our current rate filing along with the delivery of escrow instructions, a preliminary report or commitment. Please be aware that the provision of this notice does not constitute a waiver of the consumer's right to be charged the field rate. As such, your transaction may not qualify for the below discounts.

You are encouraged to discuss the applicability of one or more of the below discounts with a Company representative. These discounts are generally described below; consult the rate manual for a full description of the terms, conditions and requirements for each discount. These discounts only apply to transaction involving services rendered by the FNF Family of Companies. This notice only applies to transactions involving property improved with a one-to-four family residential dwelling.

FNF Underwritten Title Company

FNTC - **Chicago Title Company**

FNTCCA –Fidelity National Title Company of California

FNF Underwriter

CTIC - **Chicago Title Insurance Company**

Available Discounts

CREDIT FOR PRELIMINARY REPORTS AND/OR COMMITMENTS ON SUBSEQUENT POLICIES (CTIC)

Where no major change in the title has occurred since the issuance of the original report or commitment, the order may be reopened within 12 or 36 months and all or a portion of the charge previously paid for the report or commitment may be credited on a subsequent policy charge.

DISASTER LOANS (CTIC)

The charge for a lender's Policy (Standard or Extended coverage) covering the financing or refinancing by an owner of record, within 24 months of the date of a declaration of a disaster area by the government of the United States or the State of California on any land located in said area, which was partially or totally destroyed in the disaster, will be 50% of the appropriate title insurance rate.

CHURCHES OR CHARITABLE NON-PROFIT ORGANIZATIONS (CTIC)

On properties used as a church or for charitable purposes within the scope of the normal activities of such entities, provided said charge is normally the church's obligation the charge for an owner's policy shall be 50% to 70% of the appropriate title insurance rate, depending on the type of coverage selected. The charge for a lender's policy shall be 40% to 50% of the appropriate title insurance rate, depending on the type of coverage selected.

ATTACHMENT ONE

CALIFORNIA LAND TITLE ASSOCIATION STANDARD COVERAGE POLICY – 1990

EXCLUSIONS FROM COVERAGE

The following matters are expressly excluded from the coverage of this policy and the Company will not pay loss or damage, costs, attorneys' fees or expenses which arise by reason of:

1. (a) Any law, ordinance or governmental regulation (including but not limited to building or zoning laws, ordinances, or regulations) restricting, regulating, prohibiting or relating (i) the occupancy, use, or enjoyment of the land; (ii) the character, dimensions or location of any improvement now or hereafter erected on the land; (iii) a separation in ownership or a change in the dimensions or area of the land or any parcel of which the land is or was a part; or (iv) environmental protection, or the effect of any violation of these laws, ordinances or governmental regulations, except to the extent that a notice of the enforcement thereof or a notice of a defect, lien, or encumbrance resulting from a violation or alleged violation affecting the land has been recorded in the public records at Date of Policy.
(b) Any governmental police power not excluded by (a) above, except to the extent that a notice of the exercise thereof or notice of a defect, lien or encumbrance resulting from a violation or alleged violation affecting the land has been recorded in the public records at Date of Policy.
2. Rights of eminent domain unless notice of the exercise thereof has been recorded in the public records at Date of Policy, but not excluding from coverage any taking which has occurred prior to Date of Policy which would be binding on the rights of a purchaser for value without knowledge.
3. Defects, liens, encumbrances, adverse claims or other matters:
 - (a) whether or not recorded in the public records at Date of Policy, but created, suffered, assumed or agreed to by the insured claimant;
 - (b) not known to the Company, not recorded in the public records at Date of Policy, but known to the insured claimant and not disclosed in writing to the Company by the insured claimant prior to the date the insured claimant became an insured under this policy;
 - (c) resulting in no loss or damage to the insured claimant;
 - (d) attaching or created subsequent to Date of Policy; or
 - (e) resulting in loss or damage which would not have been sustained if the insured claimant had paid value for the insured mortgage or for the estate or interest insured by this policy.
4. Unenforceability of the lien of the insured mortgage because of the inability or failure of the insured at Date of Policy, or the inability or failure of any subsequent owner of the indebtedness, to comply with the applicable doing business laws of the state in which the land is situated.
5. Invalidity or unenforceability of the lien of the insured mortgage, or claim thereof, which arises out of the transaction evidenced by the insured mortgage and is based upon usury or any consumer credit protection or truth in lending law.
6. Any claim, which arises out of the transaction vesting in the insured the estate of interest insured by this policy or the transaction creating the interest of the insured lender, by reason of the operation of federal bankruptcy, state insolvency or similar creditors' rights laws.

EXCEPTIONS FROM COVERAGE - SCHEDULE B, PART I

This policy does not insure against loss or damage (and the Company will not pay costs, attorneys' fees or expenses) which arise by reason of:

1. Taxes or assessments which are not shown as existing liens by the records of any taxing authority that levies taxes or assessments on real property or by the public records.
Proceedings by a public agency which may result in taxes or assessments, or notices of such proceedings, whether or not shown by the records of such agency or by the public records.
2. Any facts, rights, interests, or claims which are not shown by the public records but which could be ascertained by an inspection of the land or which may be asserted by persons in possession thereof.
3. Easements, liens or encumbrances, or claims thereof, not shown by the public records.
4. Discrepancies, conflicts in boundary lines, shortage in area, encroachments, or any other facts which a correct survey would disclose, and which are not shown by the public records.
5. (a) Unpatented mining claims; (b) reservations or exceptions in patents or in Acts authorizing the issuance thereof; (c) water rights, claims or title to water, whether or not the matters excepted under (a), (b) or (c) are shown by the public records.
6. Any lien or right to a lien for services, labor or material not shown by the public records.

CLTA HOMEOWNER'S POLICY OF TITLE INSURANCE (12-02-13) ALTA HOMEOWNER'S POLICY OF TITLE INSURANCE

EXCLUSIONS

In addition to the Exceptions in Schedule B, You are not insured against loss, costs, attorneys' fees, and expenses resulting from:

1. Governmental police power, and the existence or violation of those portions of any law or government regulation concerning:
 - a. building;
 - b. zoning;
 - c. land use;
 - d. improvements on the Land;
 - e. land division; and

f. environmental protection.

This Exclusion does not limit the coverage described in Covered Risk 8.a., 14, 15, 16, 18, 19, 20, 23 or 27.

2. The failure of Your existing structures, or any part of them, to be constructed in accordance with applicable building codes. This Exclusion does not limit the coverage described in Covered Risk 14 or 15.

3. The right to take the Land by condemning it. This Exclusion does not limit the coverage described in Covered Risk 17.

4. Risks:

a. that are created, allowed, or agreed to by You, whether or not they are recorded in the Public Records;

b. that are Known to You at the Policy Date, but not to Us, unless they are recorded in the Public Records at the Policy Date;

c. that result in no loss to You; or

d. that first occur after the Policy Date - this does not limit the coverage described in Covered Risk 7, 8.e., 25, 26, 27 or 28.

5. Failure to pay value for Your Title.

6. Lack of a right:

a. to any land outside the area specifically described and referred to in paragraph 3 of Schedule A; and

b. in streets, alleys, or waterways that touch the Land.

This Exclusion does not limit the coverage described in Covered Risk 11 or 21.

7. The transfer of the Title to You is invalid as a preferential transfer or as a fraudulent transfer or conveyance under federal bankruptcy, state insolvency, or similar creditors' rights laws.

8. Contamination, explosion, fire, flooding, vibration, fracturing, earthquake, or subsidence.

9. Negligence by a person or an Entity exercising a right to extract or develop minerals, water, or any other substances.

LIMITATIONS ON COVERED RISKS

Your insurance for the following Covered Risks is limited on the Owner's Coverage Statement as follows:

- For Covered Risk 16, 18, 19, and 21 Your Deductible Amount and Our Maximum Dollar Limit of Liability shown in Schedule A.

The deductible amounts and maximum dollar limits shown on Schedule A are as follows:

	Your Deductible Amount	Our Maximum Dollar Limit of Liability
Covered Risk 16:	1.00% % of Policy Amount Shown in Schedule A or \$2,500.00 (whichever is less)	\$ 10,000.00
Covered Risk 18:	1.00% % of Policy Amount Shown in Schedule A or \$5,000.00 (whichever is less)	\$ 25,000.00
Covered Risk 19:	1.00% of Policy Amount Shown in Schedule A or \$5,000.00 (whichever is less)	\$ 25,000.00
Covered Risk 21:	1.00% of Policy Amount Shown in Schedule A or \$2,500.00 (whichever is less)	\$ 5,000.00

2006 ALTA LOAN POLICY (06-17-06)

EXCLUSIONS FROM COVERAGE

The following matters are expressly excluded from the coverage of this policy, and the Company will not pay loss or damage, costs, attorneys' fees, or expenses that arise by reason of:

- (a) Any law, ordinance, permit, or governmental regulation (including those relating to building and zoning) restricting, regulating, prohibiting, or relating to
 - the occupancy, use, or enjoyment of the Land;
 - the character, dimensions, or location of any improvement erected on the Land;
 - the subdivision of land; or
 - environmental protection;or the effect of any violation of these laws, ordinances, or governmental regulations. This Exclusion 1(a) does not modify or limit the coverage provided under Covered Risk 5.
- (b) Any governmental police power. This Exclusion 1(b) does not modify or limit the coverage provided under Covered Risk 6.
- Rights of eminent domain. This Exclusion does not modify or limit the coverage provided under Covered Risk 7 or 8.
- Defects, liens, encumbrances, adverse claims, or other matters
 - created, suffered, assumed, or agreed to by the Insured Claimant;
 - not Known to the Company, not recorded in the Public Records at Date of Policy, but Known to the Insured Claimant and not disclosed in writing to the Company by the Insured Claimant prior to the date the Insured Claimant became an Insured under this policy;
 - resulting in no loss or damage to the Insured Claimant;
 - attaching or created subsequent to Date of Policy (however, this does not modify or limit the coverage provided under Covered Risk 11, 13 or 14); or
 - resulting in loss or damage that would not have been sustained if the Insured Claimant had paid value for the Insured Mortgage.
- Unenforceability of the lien of the Insured Mortgage because of the inability or failure of an Insured to comply with applicable doing-business laws of the state where the Land is situated.
- Invalidity or unenforceability in whole or in part of the lien of the Insured Mortgage that arises out of the transaction evidenced by the Insured Mortgage and is based upon usury or any consumer credit protection or truth-in-lending law.

6. Any claim, by reason of the operation of federal bankruptcy, state insolvency, or similar creditors' rights laws, that the transaction creating the lien of the Insured Mortgage, is
 - (a) a fraudulent conveyance or fraudulent transfer, or
 - (b) a preferential transfer for any reason not stated in Covered Risk 13(b) of this policy.
7. Any lien on the Title for real estate taxes or assessments imposed by governmental authority and created or attaching between Date of Policy and the date of recording of the Insured Mortgage in the Public Records. This Exclusion does not modify or limit the coverage provided under Covered Risk 11(b).

The above policy form may be issued to afford either Standard Coverage or Extended Coverage. In addition to the above Exclusions from Coverage, the Exceptions from Coverage in a Standard Coverage policy will also include the following Exceptions from Coverage:

EXCEPTIONS FROM COVERAGE

(Except as provided in Schedule B - Part II, (t or T)his policy does not insure against loss or damage, and the Company will not pay costs, attorneys' fees or expenses, that arise by reason of:

(PART I

(The above policy form may be issued to afford either Standard Coverage or Extended Coverage. In addition to the above Exclusions from Coverage, the Exceptions from Coverage in a Standard Coverage policy will also include the following Exceptions from Coverage:

1. (a) Taxes or assessments that are not shown as existing liens by the records of any taxing authority that levies taxes or assessments on real property or by the Public Records; (b) proceedings by a public agency that may result in taxes or assessments, or notices of such proceedings, whether or not shown by the records of such agency or by the Public Records.
2. Any facts, rights, interests, or claims that are not shown by the Public Records but that could be ascertained by an inspection of the Land or that may be asserted by persons in possession of the Land.
3. Easements, liens or encumbrances, or claims thereof, not shown by the Public Records.
4. Any encroachment, encumbrance, violation, variation, or adverse circumstance affecting the Title that would be disclosed by an accurate and complete land survey of the Land and not shown by the Public Records.
5. (a) Unpatented mining claims; (b) reservations or exceptions in patents or in Acts authorizing the issuance thereof; (c) water rights, claims or title to water, whether or not the matters excepted under (a), (b), or (c) are shown by the Public Records.
6. Any lien or right to a lien for services, labor or material not shown by the Public Records.

PART II

In addition to the matters set forth in Part I of this Schedule, the Title is subject to the following matters, and the Company insures against loss or damage sustained in the event that they are not subordinate to the lien of the Insured Mortgage:)

2006 ALTA OWNER'S POLICY (06-17-06)

EXCLUSIONS FROM COVERAGE

The following matters are expressly excluded from the coverage of this policy, and the Company will not pay loss or damage, costs, attorneys' fees, or expenses that arise by reason of:

1. (a) Any law, ordinance, permit, or governmental regulation (including those relating to building and zoning) restricting, regulating, prohibiting, or relating to
 - (i) the occupancy, use, or enjoyment of the Land;
 - (ii) the character, dimensions, or location of any improvement erected on the Land;
 - (iii) the subdivision of land; or
 - (iv) environmental protection;
 or the effect of any violation of these laws, ordinances, or governmental regulations. This Exclusion 1(a) does not modify or limit the coverage provided under Covered Risk 5.
- (b) Any governmental police power. This Exclusion 1(b) does not modify or limit the coverage provided under Covered Risk 6.
2. Rights of eminent domain. This Exclusion does not modify or limit the coverage provided under Covered Risk 7 or 8.
3. Defects, liens, encumbrances, adverse claims, or other matters
 - (a) created, suffered, assumed, or agreed to by the Insured Claimant;
 - (b) not Known to the Company, not recorded in the Public Records at Date of Policy, but Known to the Insured Claimant and not disclosed in writing to the Company by the Insured Claimant prior to the date the Insured Claimant became an Insured under this policy;
 - (c) resulting in no loss or damage to the Insured Claimant;
 - (d) attaching or created subsequent to Date of Policy (however, this does not modify or limit the coverage provided under Covered Risk 9 and 10); or
 - (e) resulting in loss or damage that would not have been sustained if the Insured Claimant had paid value for the Title.
4. Any claim, by reason of the operation of federal bankruptcy, state insolvency, or similar creditors' rights laws, that the transaction vesting the Title as shown in Schedule A, is
 - (a) a fraudulent conveyance or fraudulent transfer; or
 - (b) a preferential transfer for any reason not stated in Covered Risk 9 of this policy.
5. Any lien on the Title for real estate taxes or assessments imposed by governmental authority and created or attaching between Date of Policy and the date of recording of the deed or other instrument of transfer in the Public Records that vests Title as shown in Schedule A.

The above policy form may be issued to afford either Standard Coverage or Extended Coverage. In addition to the above Exclusions from Coverage, the Exceptions from Coverage in a Standard Coverage policy will also include the following Exceptions from Coverage:

EXCEPTIONS FROM COVERAGE

This policy does not insure against loss or damage, and the Company will not pay costs, attorneys' fees or expenses, that arise by reason of:

(The above policy form may be issued to afford either Standard Coverage or Extended Coverage. In addition to the above Exclusions from Coverage, the Exceptions from Coverage in a Standard Coverage policy will also include the following Exceptions from Coverage:

1. (a) Taxes or assessments that are not shown as existing liens by the records of any taxing authority that levies taxes or assessments on real property or by the Public Records; (b) proceedings by a public agency that may result in taxes or assessments, or notices of such proceedings, whether or not shown by the records of such agency or by the Public Records.
2. Any facts, rights, interests, or claims that are not shown in the Public Records but that could be ascertained by an inspection of the Land or that may be asserted by persons in possession of the Land.
3. Easements, liens or encumbrances, or claims thereof, not shown by the Public Records.
4. Any encroachment, encumbrance, violation, variation, or adverse circumstance affecting the Title that would be disclosed by an accurate and complete land survey of the Land and that are not shown by the Public Records.
5. (a) Unpatented mining claims; (b) reservations or exceptions in patents or in Acts authorizing the issuance thereof; (c) water rights, claims or title to water, whether or not the matters excepted under (a), (b), or (c) are shown by the Public Records.
6. Any lien or right to a lien for services, labor or material not shown by the Public Records.
7. (Variable exceptions such as taxes, easements, CC&R's, etc. shown here.)

ALTA EXPANDED COVERAGE RESIDENTIAL LOAN POLICY (12-02-13)

EXCLUSIONS FROM COVERAGE

The following matters are expressly excluded from the coverage of this policy and the Company will not pay loss or damage, costs, attorneys' fees or expenses which arise by reason of:

1. (a) Any law, ordinance, permit, or governmental regulation (including those relating to building and zoning) restricting, regulating, prohibiting, or relating to
 - (i) the occupancy, use, or enjoyment of the Land;
 - (ii) the character, dimensions, or location of any improvement erected on the Land;
 - (iii) the subdivision of land; or
 - (iv) environmental protection;or the effect of any violation of these laws, ordinances, or governmental regulations. This Exclusion 1(a) does not modify or limit the coverage provided under Covered Risk 5, 6, 13(c), 13(d), 14 or 16.
- (b) Any governmental police power. This Exclusion 1(b) does not modify or limit the coverage provided under Covered Risk 5, 6, 13(c), 13(d), 14 or 16.
2. Rights of eminent domain. This Exclusion does not modify or limit the coverage provided under Covered Risk 7 or 8.
3. Defects, liens, encumbrances, adverse claims, or other matters
 - (a) created, suffered, assumed, or agreed to by the Insured Claimant;
 - (b) not Known to the Company, not recorded in the Public Records at Date of Policy, but Known to the Insured Claimant and not disclosed in writing to the Company by the Insured Claimant prior to the date the Insured Claimant became an Insured under this policy;
 - (c) resulting in no loss or damage to the Insured Claimant;
 - (d) attaching or created subsequent to Date of Policy (however, this does not modify or limit the coverage provided under Covered Risk 11, 16, 17, 18, 19, 20, 21, 22, 23, 24, 27 or 28); or
 - (e) resulting in loss or damage that would not have been sustained if the Insured Claimant had paid value for the Insured Mortgage.
4. Unenforceability of the lien of the Insured Mortgage because of the inability or failure of an Insured to comply with applicable doing-business laws of the state where the Land is situated.
5. Invalidity or unenforceability in whole or in part of the lien of the Insured Mortgage that arises out of the transaction evidenced by the Insured Mortgage and is based upon usury, or any consumer credit protection or truth-in-lending law. This Exclusion does not modify or limit the coverage provided in Covered Risk 26.
6. Any claim of invalidity, unenforceability or lack of priority of the lien of the Insured Mortgage as to Advances or modifications made after the Insured has Knowledge that the vestee shown in Schedule A is no longer the owner of the estate or interest covered by this policy. This Exclusion does not modify or limit the coverage provided in Covered Risk 11.
7. Any lien on the Title for real estate taxes or assessments imposed by governmental authority and created or attaching subsequent to Date of Policy. This Exclusion does not modify or limit the coverage provided in Covered Risk 11(b) or 25.
8. The failure of the residential structure, or any portion of it, to have been constructed before, on or after Date of Policy in accordance with applicable building codes. This Exclusion does not modify or limit the coverage provided in Covered Risk 5 or 6.
9. Any claim, by reason of the operation of federal bankruptcy, state insolvency, or similar creditors' rights laws, that the transaction creating the lien of the Insured Mortgage, is
 - (a) a fraudulent conveyance or fraudulent transfer, or
 - (b) a preferential transfer for any reason not stated in Covered Risk 27(b) of this policy.
10. Contamination, explosion, fire, flooding, vibration, fracturing, earthquake, or subsidence.
11. Negligence by a person or an Entity exercising a right to extract or develop minerals, water, or any other substances.

CITY OF SAN FRANCISCO, SAN FRANCISCO COUNTY, CALIFORNIA

1. SOURCE OF TOPOGRAPHY: EXISTING TOPOGRAPHY SHOWN IS BASED ON AN AERIAL TOPOGRAPHIC SURVEY PERFORMED BY 3DI GEOTERRA MAPPING GROUP AND SUPPLEMENTAL TOPOGRAPHIC SURVEYS PERFORMED BY BKF ON OCTOBER 13, 2015 THROUGH OCTOBER 14, 2015.

- IF THERE IS ANY CHANGES ON SITE CONDITIONS, MAKE SURE TO REFLECT THOSE CHANGES IN THE TENTATIVE MAP. WE WANT TO MAKE SURE THAT THE CONDITIONS REFLECTED ON THE TENTATIVE MAP BE EXISTING AT THE TIME OF SUBMITTAL FOR CIRCULATION TO CITY AGENCIES

- GRANT DEED, BOOK D787 PAGE 531
- MAP OF LAUREL HEIGHTS" BOOK P OF MAPS AT PAGES 55-56 TMAP T-14-47
- PRELIMINARY TITLE REPORT BY CHICAGO TITLE COMPANY, DATED APRIL 21, 2014, TITLE NO. 13-36914900-A-JM

"MAP OF LAUREL HEIGHTS" FILED FOR RECORD ON JULY 28, 1947, IN BOOK P OF MAPS AT PAGES 55 AND 56, OFFICIAL RECORDS OF SAN FRANCISCO COUNTY.

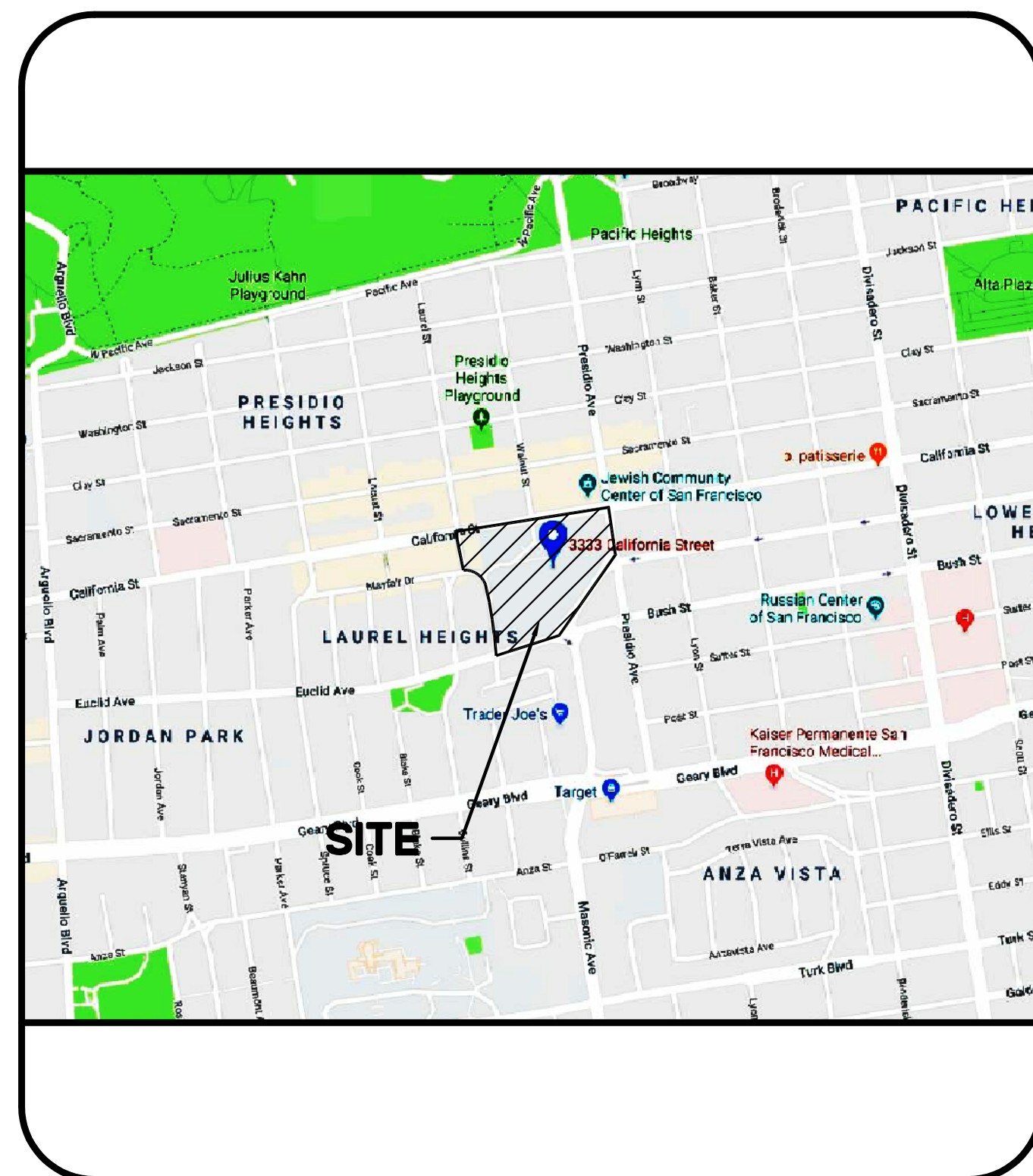
CITY OF SAN FRANCISCO HIGH PRECISION NETWORK MONUMENT NO. 11423; NAIL AND TAG STAMPED "CCSF CONTROL", LOCATED IN THE SIDEWALK AT THE NORTHWESTERLY RETURN OF CALIFORNIA ST. AND WALNUT ST. 5.4' NORTHWESTERLY FROM CENTER/CENTER STREET LIGHT/TRAFFIC SIGNAL/STREET SIGNAL/MUNI GUY POLE. 8.0' SOUTHERLY FROM THE SOUTHEASTERLY CORNER OF BUILDING AT #499 WALNUT ST. 11.2' NORTHWESTERLY FROM CENTER/CENTER CATCH BASIN. 15.3' SOUTHWESTERLY FROM CENTER/CENTER TRAFFIC SIGNAL POLE ON WALNUT ST. ELEVATION: 271.58'.

THE ENGINEER PREPARING THESE PLANS WILL NOT BE RESPONSIBLE FOR, OR
 LIABLE FOR, UNAUTHORIZED CHANGES TO OR USES OF THESE PLANS. ALL
 CHANGES TO THESE PLANS MUST BE IN WRITING AND MUST BE APPROVED BY
 THE PREPARER OF THESE PLANS.

J:\Survey\SUBDIVISION PROJECTS\9800 - 9999\9956 - 739NC\Application\Tentative map-Exhibits-Plans



LOCATION MAP
NTS



VICINITY MAP

OWNER/SUBDIVIDER:

OWNER/SUBDIVIDER: LAUREL HEIGHTS PARTNERS, LLC
150 POST STREET, SUITE 320
SAN FRANCISCO, CA 94108
(415) 395-0880

ENGINEER: BKF ENGINEERS
4670 WILLOW ROAD, SUITE 250
PLEASANTON, CA 94588
(925) 396-7700

PROPERTY DESCRIPTION:	ALL OF LOT 003 OF BLOCK 1032 AS SHOWN ON "MAP OF LAUREL HEIGHTS" FILED JULY 28, 1947 IN MAP BOOK "P", AT PAGES 55 AND 56, OFFICIAL RECORDS OF THE CITY AND COUNTY OF SAN FRANCISCO.
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ASSESSOR'S BLOCK LOT 003, BLOCK 1032
NUMBER:

NUMBER OF LOTS: 15

EXISTING USE: OFFICE

PROPOSED USE: MIXED USE: RESIDENTIAL, RETAIL, OFFICE

PROPOSED ZONING: DWELLING UNITS (P)/ RETAIL SALES (NP)/
COMMERCIAL USE (NP)

COMBINED STORM SEWERS:
(HYDRAULICS)

CITY OF SAN FRANCISCO
1 DR. CARLTON B. GOODLETT PLACE
CITY HALL, ROOM 348
SAN FRANCISCO, CA 94102
(415) 554-8318

WATER: CITY OF SAN FRANCISCO
1 DR. CARLTON B. GOODLETT PLACE
CITY HALL, ROOM 348
SAN FRANCISCO, CA 94102
(415) 550-4916

POWER AND GAS: PACIFIC GAS & ELECTRIC
863 CLAY STREET
SAN FRANCISCO, CA 94108
(415) 695-3477

AT&T
3475 "B" NORTH FIRST
SAN JOSE, CA 95134
(408) 493-7104


CABLE: RCN
1400 FASHION ISLAND BLVD., SUITE 200
SAN MATEO, CA 94404
(800) 746-4726


FIRE
PROTECTION:

CITY OF SAN FRANCISCO
698 SECOND STREET
SAN FRANCISCO, CA
94107
(415) 558-6361

C1.0	TITLE SHEET, LEGEND & ABBREVIATIONS
C2.0	EXISTING BOUNDARY SURVEY
C3.0	EXISTING SITE CONDITIONS
C4.0	PROPOSED PARCELS AND EASEMENTS
C4.1	PROPOSED LOT PLAN
C4.2	PROPOSED LOT PLAN
C4.3	PROPOSED LOT PLAN
C4.4	PROPOSED LOT PLAN
C4.5	PROPOSED LOT PLAN
C4.6	PROPOSED VERTICAL PARCIALIZATION
C4.7	PROPOSED VERTICAL PARCIALIZATION
C4.8	PROPOSED VERTICAL PARCIALIZATION
C4.9	PROPOSED VERTICAL PARCIALIZATION
C4.10	PROPOSED VERTICAL PARCIALIZATION
C4.11	PROPOSED VERTICAL PARCIALIZATION
C5.0	PROPOSED CIVIL SITE & GRADING PLAN
C6.0	PROPOSED UTILITY PLAN

THE BOUNDARY INFORMATION CONTAINED ON THIS TENTATIVE FINAL MAP WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND IS BASED ON FIELD SURVEYS.


 JASON KIRCHMANN
 PLS#8806
 BKF ENGINEERS



03/29/2019
 DATE

THIS TENTATIVE MAP HAS BEEN PREPARED BY ME
OR UNDER MY DIRECTION IN ACCORDANCE WITH
STANDARD ENGINEERING PRACTICE.


ERIC A. GIROD
P.E.#59903
BKF ENGINEERS

REGISTERED PROFESSIONAL ENGINEER
ERIC A. GIROD
No. 59903
CIVIL
STATE OF CALIFORNIA

03/29/2019
DATE

SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
AB	AGGREGATE BASE	CUL	CULVERT	ID	INSIDE DIAMETER	PSDE	PRIVATE STORM DRAIN
AC	ASPHALT CONCRETE	CY	CUBIC YARD	IN	INCHES		EASEMENT
AD	AREA DRAIN	DI	DUCTILE IRON	INV	INVERT	PS	PROTECTIVE SLOPE
AGG	AGGREGATE	DIA	DIAMETER	JB	JOINT BOX	PSSE	PRIVATE SANITARY SEWER
APN	ASSESSORS PARCEL NUMBER	DIP	DUCTILE IRON PIPE	JP	JOINT POLE		EASEMENT
		DR.	DRIVE	JT	JOINT TRENCH	PSI	PRESSURE PER SQUARE
APPROX.	APPROXIMATE	DW	DOMESTIC WATER	L	LENGTH		INCH
ARV	AR RELEASE VALVE	D/W	DRIVEWAY	LAT	LATERAL	PT	POINT
AVE.	AVENUE	(E)	EXISTING	L	POUND(S)	PT&T	PACIFIC TELEPHONE AND
AVG	AVERAGE	EL	ELECTRICAL	LF	LINEAR FEET		TELEGRAPH (PACIFIC BELL)
ASTM	AMERICAN SOCIETY FOR	EA	EACH	LMB	LAKE MERCED BLVD.	P.U.E.	PUBLIC UTILITY EASEMENT
	TESTING MATERIALS	EC	END OF CURVE	LP	LOW POINT	PVC	POLYVINYL CHLORIDE
AWMS	AUTOMATED WASTE MANAGEMENT SYSTEM	EL	ELEVATION	LT	LEFT	PVI	POINT OF VERTICAL
AWWA	AMERICAN WATER WORKS ASSOCIATION	EP	EDGE OF PAVEMENT	MAX	MAXIMUM		INTERSECTION
AWSS	AUXILIARY WATER SUPPLY SYSTEM	ESMT	EASEMENT	MH	MANHOLE	R	RADIUS
		EVA	EMERGENCY VEHICLE ACCESS EASEMENT	MID	MIDDLE	RCP	REINFORCED CONCRETE
BA	BRIDGE ABUTMENT	EVCE	END VERTICAL CURVE ELEVATION	MIN	MINIMUM		PIPE
BC	BEGINNING OF CURVE	EVCS	END VERTICAL CURVE STATION	MIS	MISCELLANEOUS	RD.	ROAD
BCR	BEGIN CURB RETURN			MJ	MECHANICAL JOINT	RIM EL	RIM ELEVATION
BLDG.	BUILDING	EW	EACH WAY	MON	MONUMENT	RT	RIGHT
BLVD.	BOULEVARD	EX	EXISTING	MVG	MODIFIED VALLEY GUTTER	R.O.W.	RIGHT OF WAY
BM	BENCH MARK	(F)	FUTURE	NG	NATURAL GROUND	RW	RECLAIMED/RECYCLED WATER
BO	BLOWOFF	F/C	FACE OF CURB	NO., #	NUMBER	RWL	RAIN WATER LEADER
BPM	BLUE PAVEMENT MARKER	FF	FINISHED FLOOR ELEVATION	NTS	NOT TO SCALE	S	SLOPE
BVC	BEGIN VERTICAL CURVE	FG	FINISHED GRADE	P.A.E.	PUBLIC ACCESS EASEMENT	SD	STORM DRAIN
BW	BACK OF WALK, BOTTOM OF WALL	FH	FIRE HYDRANT	OC	ON CENTER	SDCO	STORM DRAIN CLEAN OUT
		FI	FIELD INLET	OH	OVERHEAD	SDDI	STORM DRAIN DROP INLET
BX	BOTTOM OF EXCAVATION	FL	FLOW LINE	O.R.	OLD RECORD	SDE	STORM DRAIN EASEMENT
CB	CATCH BASIN	FM	FORCE MAIN	P	PAD	SDMH	STORM DRAIN MANHOLE
CC	CENTER TO CENTER or CENTER OF CURVE	FP	FINISHED PAVEMENT	PCC	POINT OF COMPOUND CURVE or PORTLAND CEMENT CONCRETE	SF	SQUARE FEET
		FT	FEET	PCR	POINT OF CURVE RETURN	SO. FT.	SQUARE FEET
CF	CUBIC FEET	G	GAS	PE	PAD ELEVATION OR POLYETHYLENE	SFS	SAN FRANCISCO STANDARDS
C&G	CAST IRON PIPE	GALV	GALVANIZED	PG&E	PACIFIC GAS AND ELECTRIC	SHT	SHEET NAME SIGN
CIP	CENTERLINE	GB	GRADE BREAK	PI	POINT OF INTERSECTION	SNS	SANITARY SEWER
CL	CORRUGATED METAL PIPE CLEANOUT	GND	GROUND	PVI	POST INDICATOR VALVE	SSCO	SANITARY SEWER CLEANOUT
CO	CONCRETE	GR	GRADE	PL	PROPERTY LINE	SSE	SANITARY SEWER EASEMENT
CONC	CONNECT(ION)	GV	GATE VALVE	PP	POWER POLE	SSMH	SANITARY SEWER MANHOLE
CONN	CONTINUOUS, CONTINUATION	HDWL	HEADWALL	PRC	POINT OF REVERSE CURVE	SSFI	SANITARY SEWER FLUSHING INLET
CONT	CONSTRUCT	HCP	HABITAT CONSERVATION PLAN	PRV	PROPOSED PRESSURE REDUCING VALVE	SSFM	SANITARY SEWER FORCE MAIN
CONST	CURB RETURN	HORIZ	HORIZONTAL	PRVC	POINT OF REVERSE VERTICAL CURVE	ST.	STREET
CR	COMBINED SEWER	HP	HIGH POINT			STA	STATION
CS	COURT	HV	HIGH VOLTAGE				

PROPOSED	EXISTING
PROPERTY LINE	
EASEMENT	
CENTERLINE	
CONTOUR LINE	
SANITARY SEWER LINE	
COMBINED SEWER LINE	
SANITARY SEWER FORCE MAIN LINE	
ELECTRIC LINE	
GAS LINE	
STORM DRAIN LINE	
WATER LINE	
WATER FIRE LINE	
CURB INLET	
MANHOLE	
FIRE HYDRANT	
FIRE DEPARTMENT CONNECTION	
WATER VALVE	
SPOT ELEVATION ON GRADE	
DRIVEWAY	
WATER METER	
STREET MONUMENT	
SURVEYING CONTROL POINT	



BK F
ENGINEERS / SURVEYORS / PLANNERS

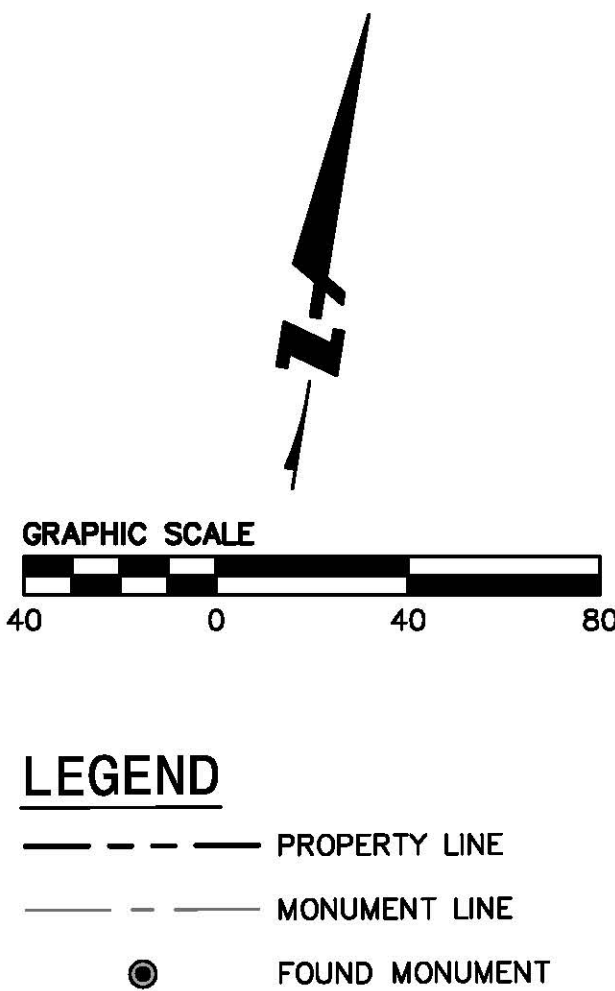
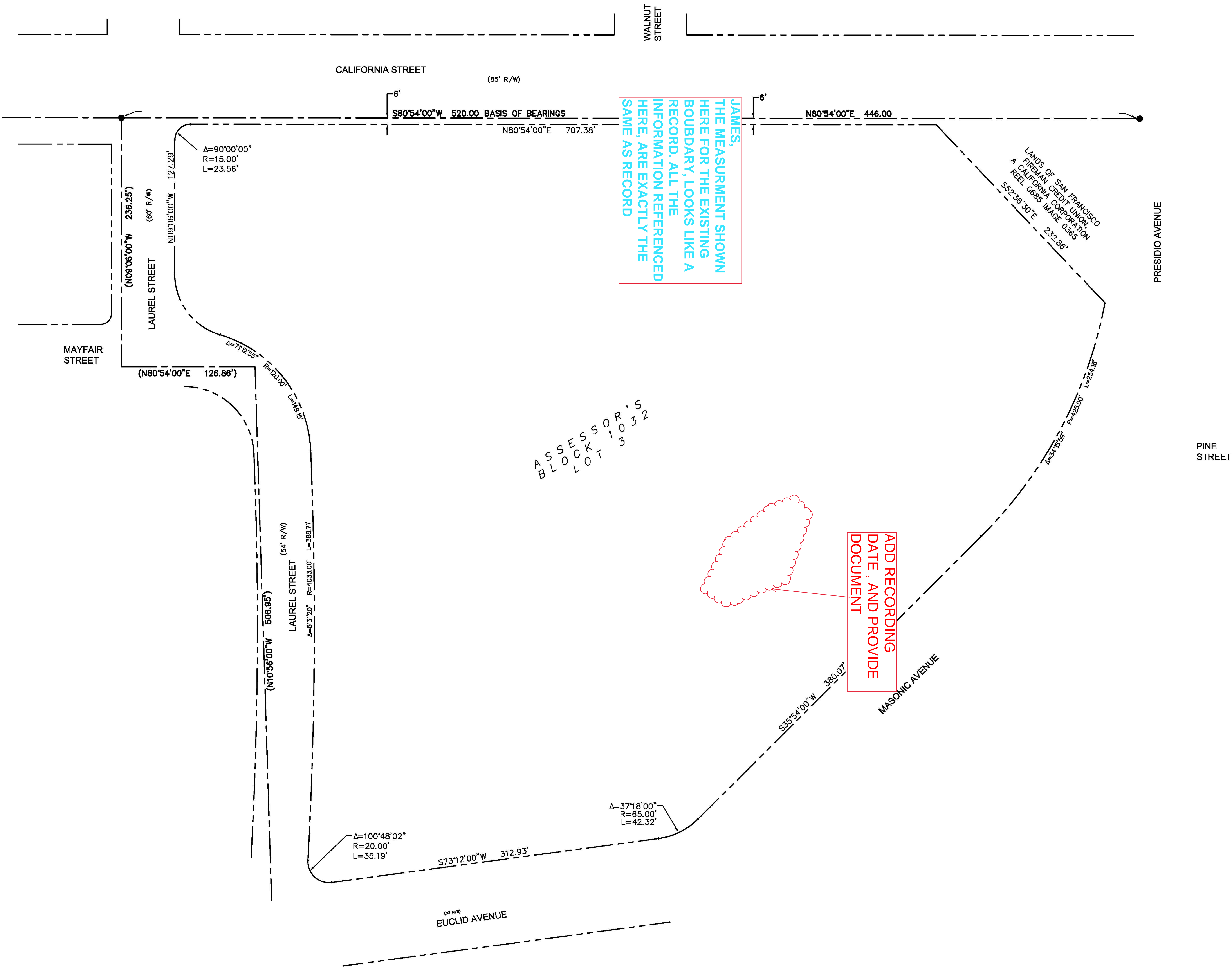
CALIFORNIA

3333 CALIFORNIA STREET
TENTATIVE FINAL MAP
TITLE SHEET, LEGEND & ABBREVIATIONS
SAN FRANCISCO

SAN FRANCISCO

<p>Drawing Number:</p> <p>C1.0</p> <p>OF</p>	Date: 03/29/2019	No.	Revisions
	Scale: AS SHOWN		
	Design:		
	Drawn:		
	Approved:		
	Job No: 20147087-12		

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3/29/2019 10:00:00 AM
3/29/2019 10:00:00 AM



Date: 03/29/2019	No.	Revisions
Scale: AS SHOWN		
Design:		
Drawn:		
Approved:		
Job No: 2016002-12		

Drawing Number:
C2.0
Of

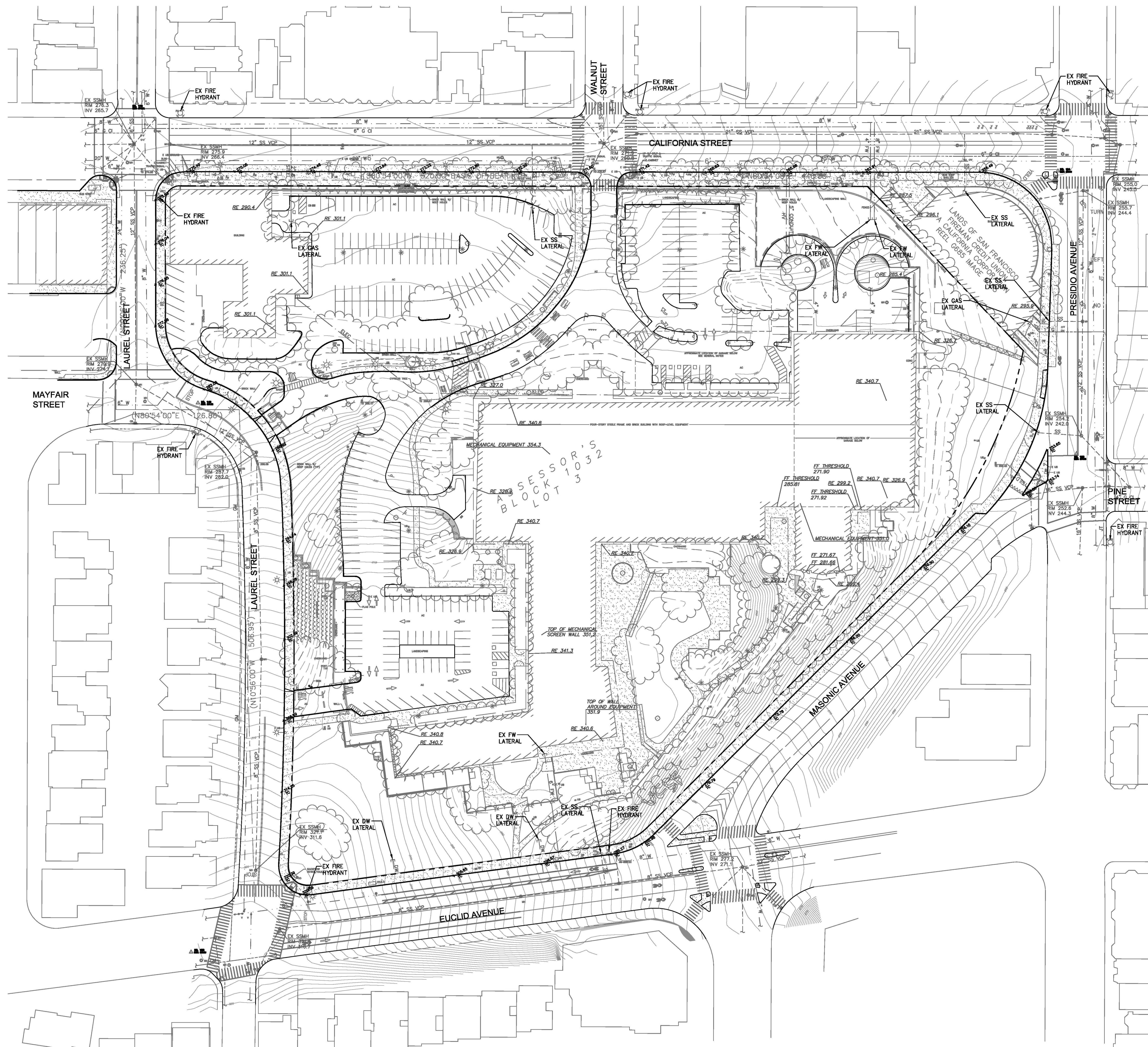
3333 CALIFORNIA STREET TENTATIVE FINAL MAP EXISTING BOUNDARY SURVEY

SAN FRANCISCO
CALIFORNIA













4670 WILLOW RD
SUITE 250
PACIFIC PALISADES, CA 94586
925-398-7700 (FAX)
925-398-7799 (FAX)

Revisions	
No.	Date: 03/29/2019
	Scale: AS SHOWN
	Design:
	Drawn:
	Approved:
	Job No. 2017087-12



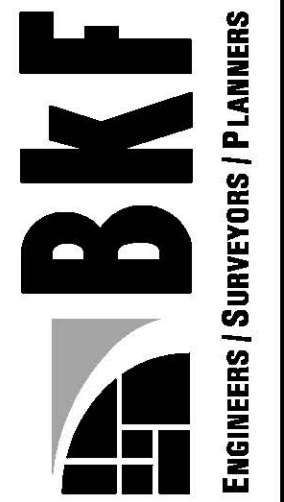
SYMBOLS & LEGEND

EXISTING

- | | |
|---|---|
|  | PROPERTY LINE |
|  | MONUMENT LINE |
|  | TREE DRIPLINE/LANDSCAPING |
|  | CONCRETE |
| | FOUND MONUMENT |
|  | LIGHT POLE |
|  | STREET LIGHT |
|  | SIGN |
|  | FLAG POLE |
|  | CIRCULAR UTILITY BOX COVER |
|  | DISTANCE & GENERAL DIRECTION
OF FEATURE FROM PROPERTY LINE |

ABBREVIATIONS

- ± APPROXIMATELY
AC ASPHALT CONCRETE
CB CATCH BASIN
CO CLEANOUT
DW DRIVEWAY
E EASTERLY
ELEV ELEVATION
FH FIRE HYDRANT
GI GRATE INLET
MH MANHOLE
N NORTHERLY
NE NORTHEASTERLY
RE ROOF ELEVATION
SE SOUTHEASTERLY
SNF SEARCHED FOR, NOT FOUND
TW TOP OF WALL ELEVATION OF WALL SURROUNDING MECHANICAL
EQUIPMENT ON ROOF
UB UTILITY BOX
W WEST
() RECORD DATA. "MAP OF LAUREL HEIGHTS" FILED FOR RECORD
ON JULY 28, 1947, IN BOOK P. OF MAPS AT PAGES 55 AND 56,
OFFICIAL RECORDS OF SAN FRANCISCO COUNTY.



CALIFORNIA

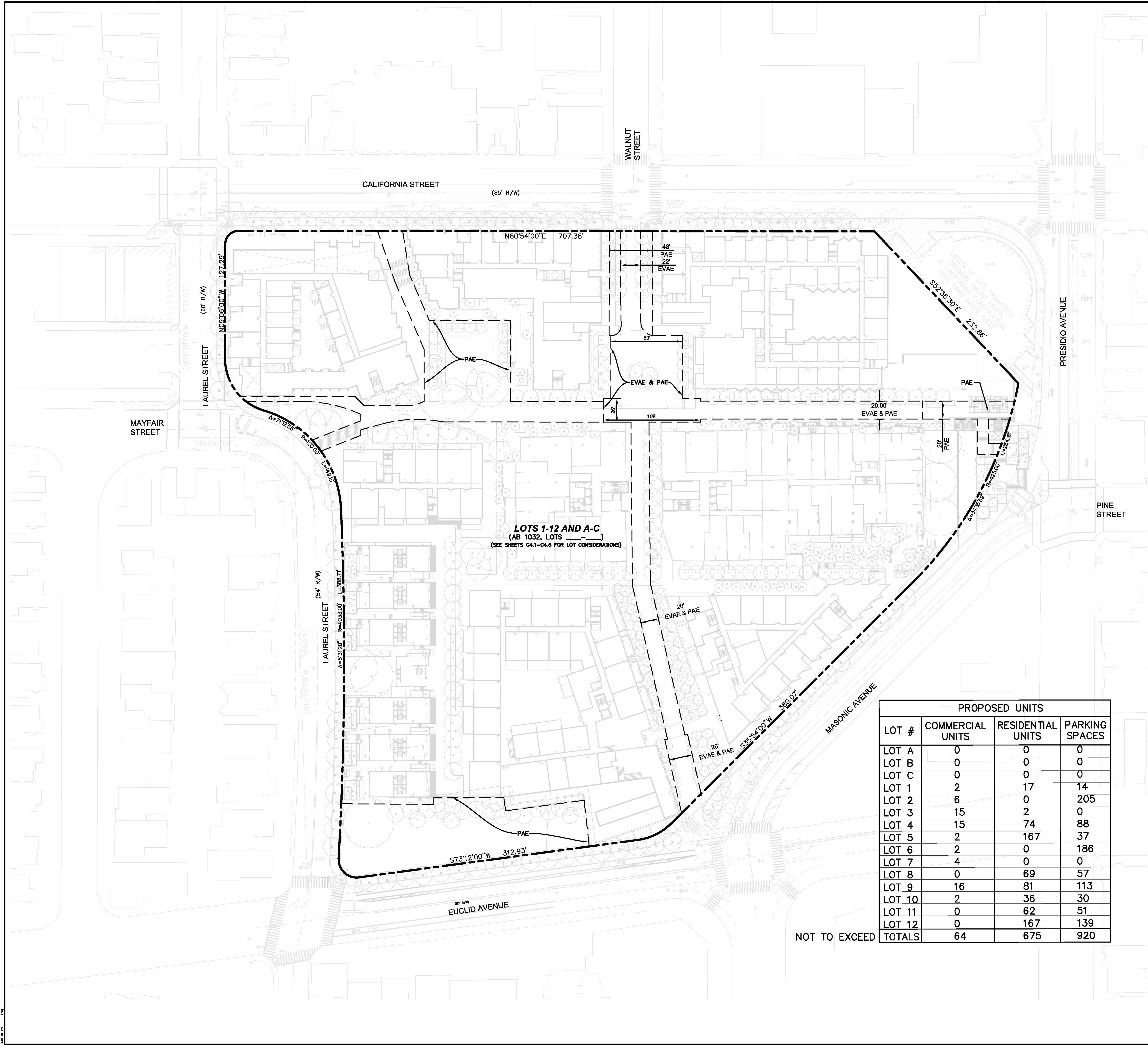
3333 CALIFORNIA STREET
TENTATIVE FINAL MAP
PROPOSED PARCELS AND EASEMENTS

SAN FRANCISCO

SAN FRANCISCO

Revisions		No.	
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Approved: [Signature]	Approved: [Signature]		
Job No: 2016002-12			
Drawing Number:			

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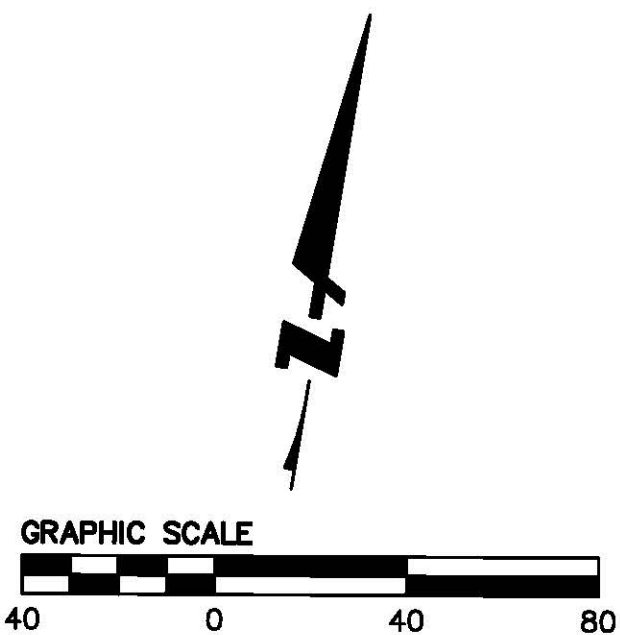


LOTS 1-12 AND A-C
(AB 1032, LOTS 1-12)
(SEE SHEETS C4.1-C4.5 FOR LOT CONSIDERATIONS)

LOT #	PROPOSED UNITS		
	COMMERCIAL UNITS	RESIDENTIAL UNITS	PARKING SPACES
LOT A	0	0	0
LOT B	0	0	0
LOT C	0	0	0
LOT 1	2	17	14
LOT 2	6	0	205
LOT 3	15	2	0
LOT 4	15	74	88
LOT 5	2	167	37
LOT 6	2	0	186
LOT 7	4	0	0
LOT 8	0	69	57
LOT 9	16	81	113
LOT 10	2	36	30
LOT 11	0	62	51
LOT 12	0	167	139
TOTALS	64	675	920

ABBREVIATIONS

EVAE PROPOSED EMERGENCY VEHICLE ACCESS EASEMENT
PAE PROPOSED PUBLIC ACCESS EASEMENT



NOT TO EXCEED

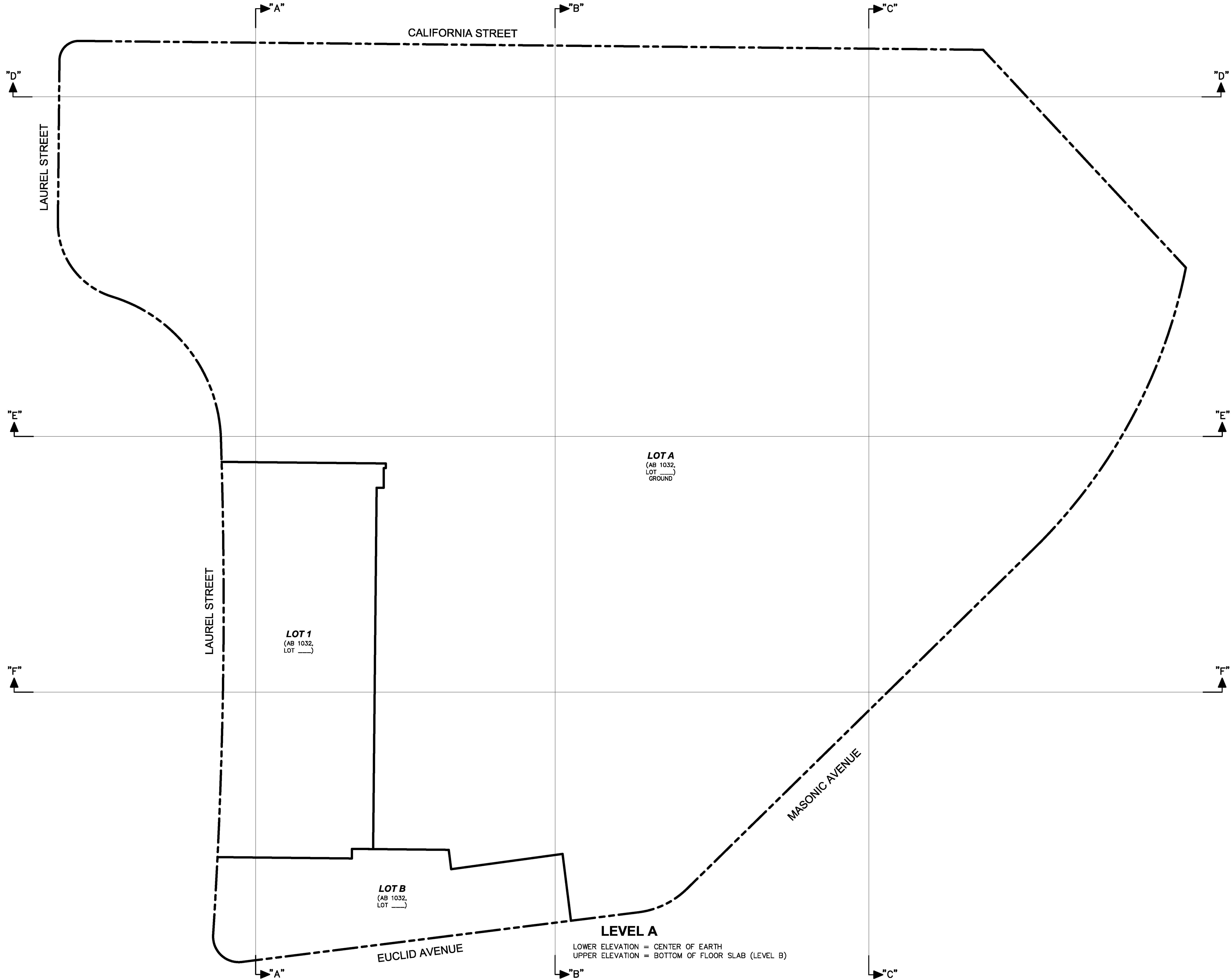
3333 CALIFORNIA STREET
TENTATIVE FINAL MAP
PROPOSED LOT PLAN

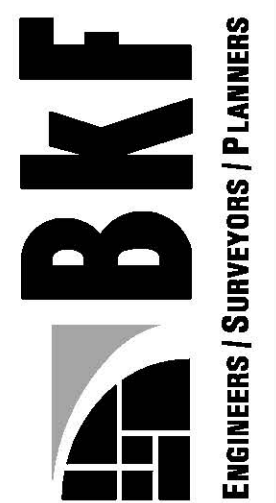
SAN FRANCISCO

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Design:	
Drawn:	
Approved:	
Job No: 2016002-12	

Drawing Number:
C4.1
Of

3333 CALIFORNIA STREET, SAN FRANCISCO, CA 94118
3/29/2019 10:00 AM
3/29/2019 10:00 AM
3/29/2019 10:00 AM





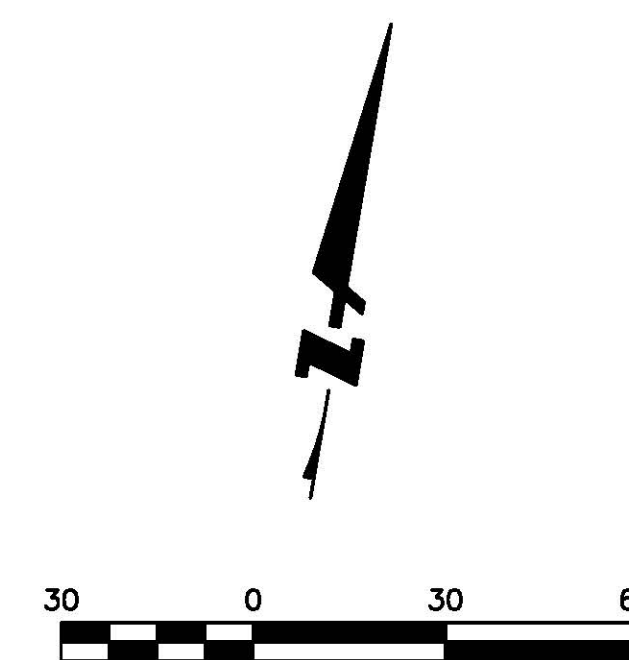
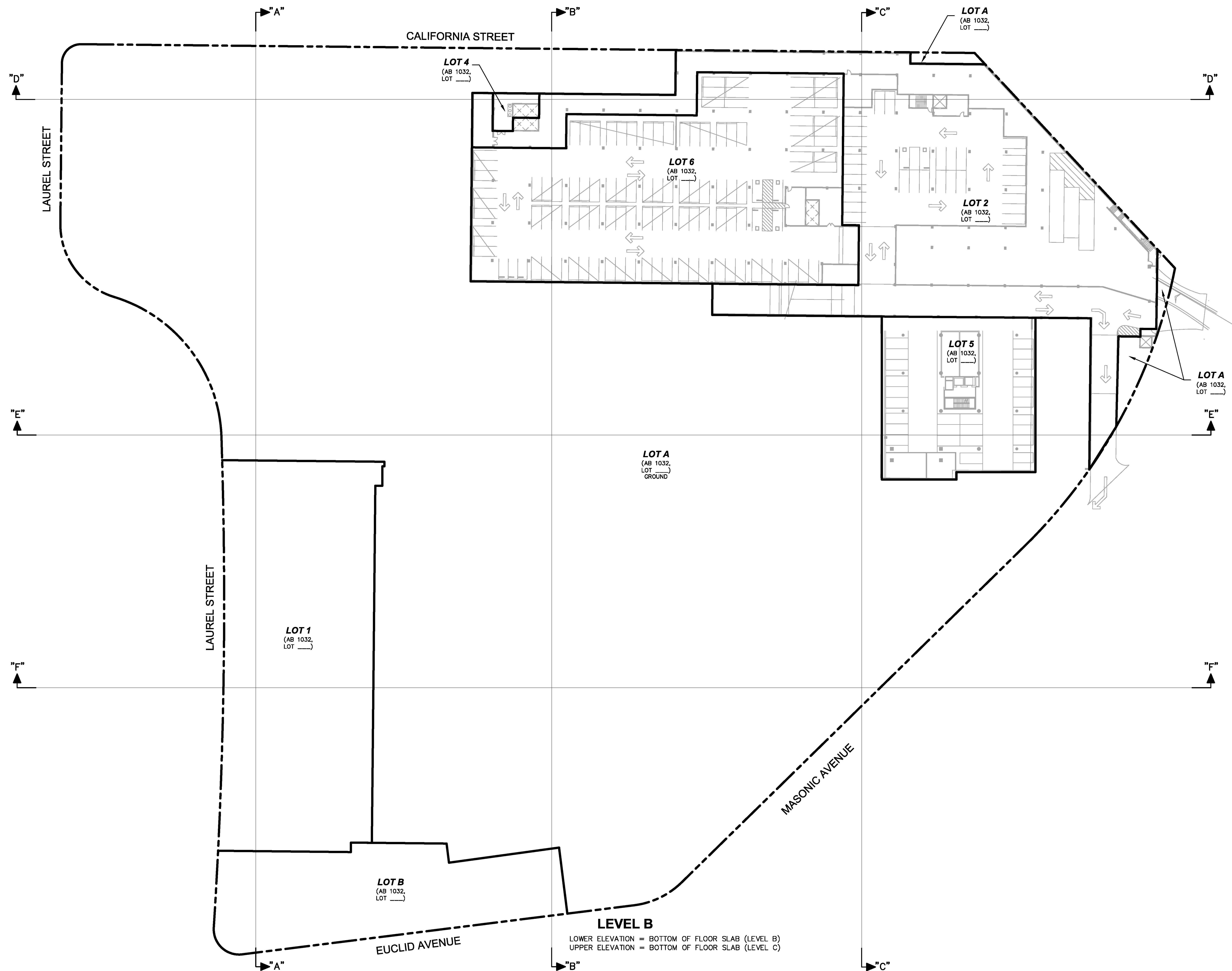
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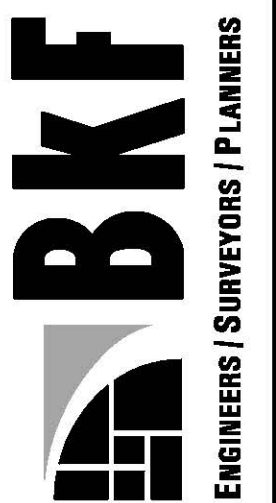
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TENTATIVE FINAL MAP
PROPOSED LOT PLAN**

SAN FRANCISCO

2	Date: 03/28/2019	No.	Revisions
3	Scale: AS SHOWN		
4	Design:		
5	Drawn:		
6	Approved:		
7	Job No: 20147087-12		

C4.2





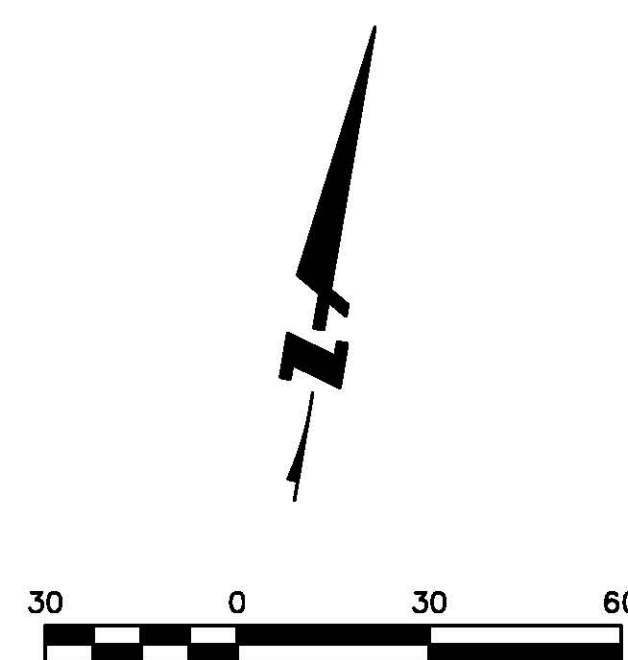
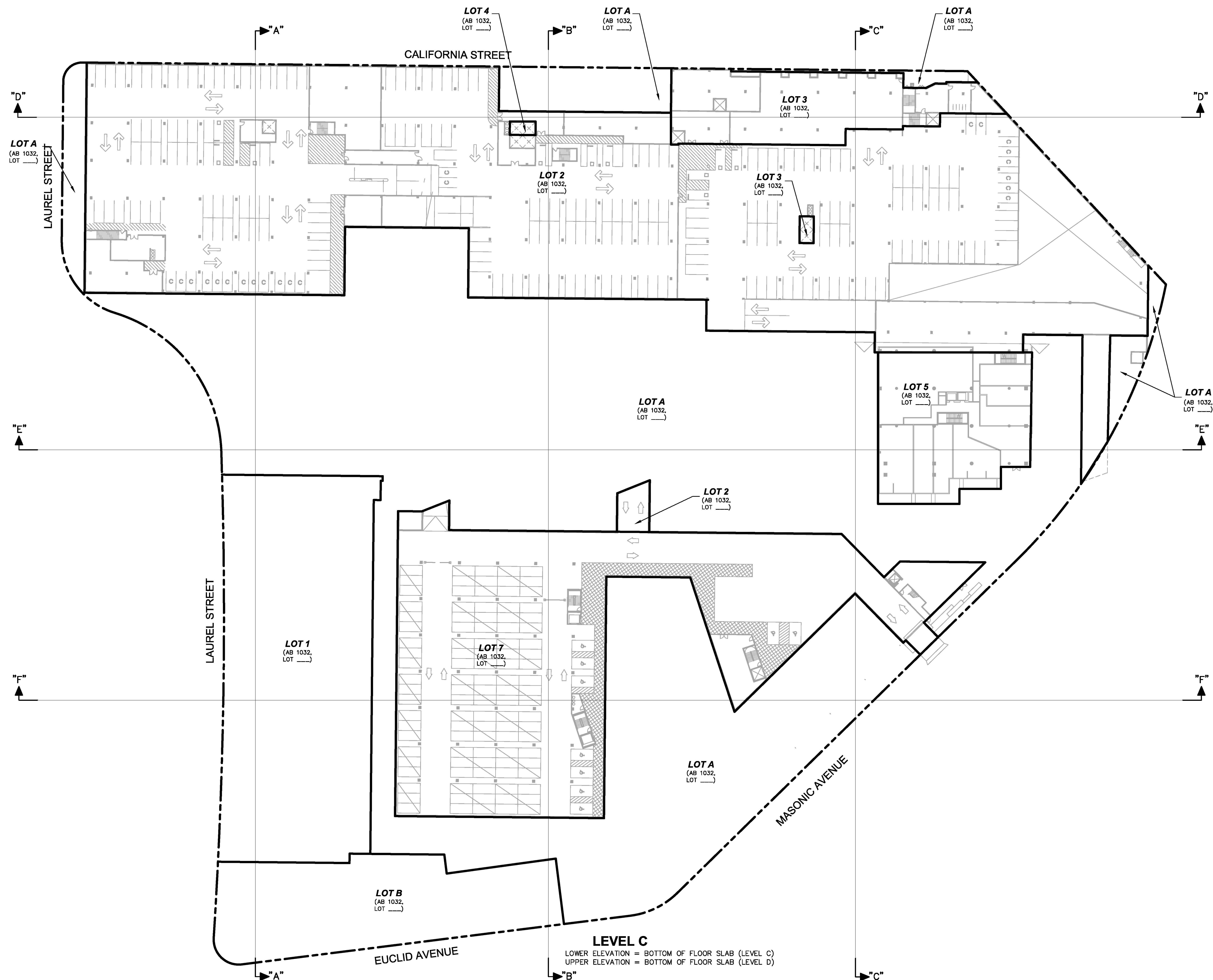
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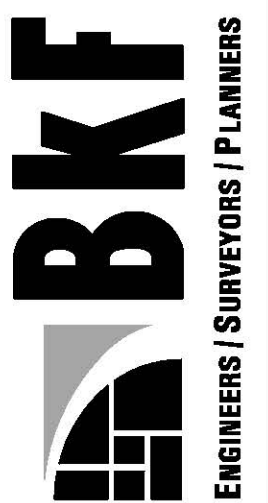
**3333 CALIFORNIA STREET
TENTATIVE FINAL MAP
PROPOSED LOT PLAN**

SAN FRANCISCO

P	Date: 03/28/2019	No.	Revisions
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	Design:		
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C4.3





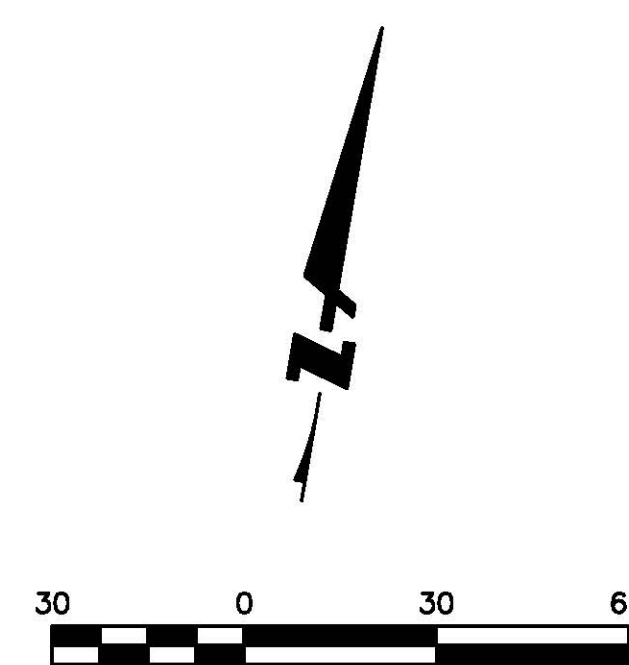
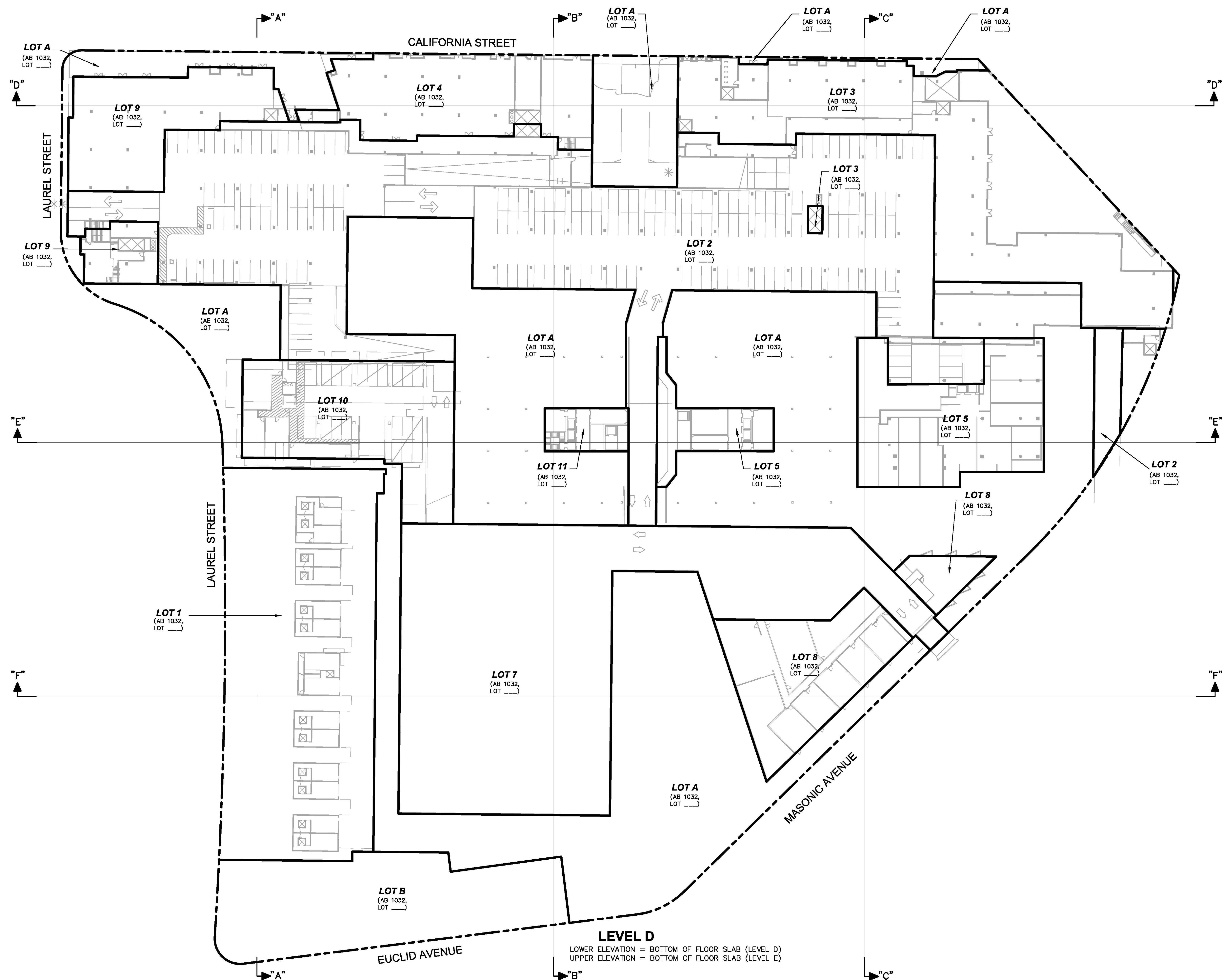
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**3333 CALIFORNIA STREET
TENTATIVE FINAL MAP
PROPOSED LOT PLAN**

SAN FRANCISCO

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Approved:		
Job No: 2017087-12		

C4.4

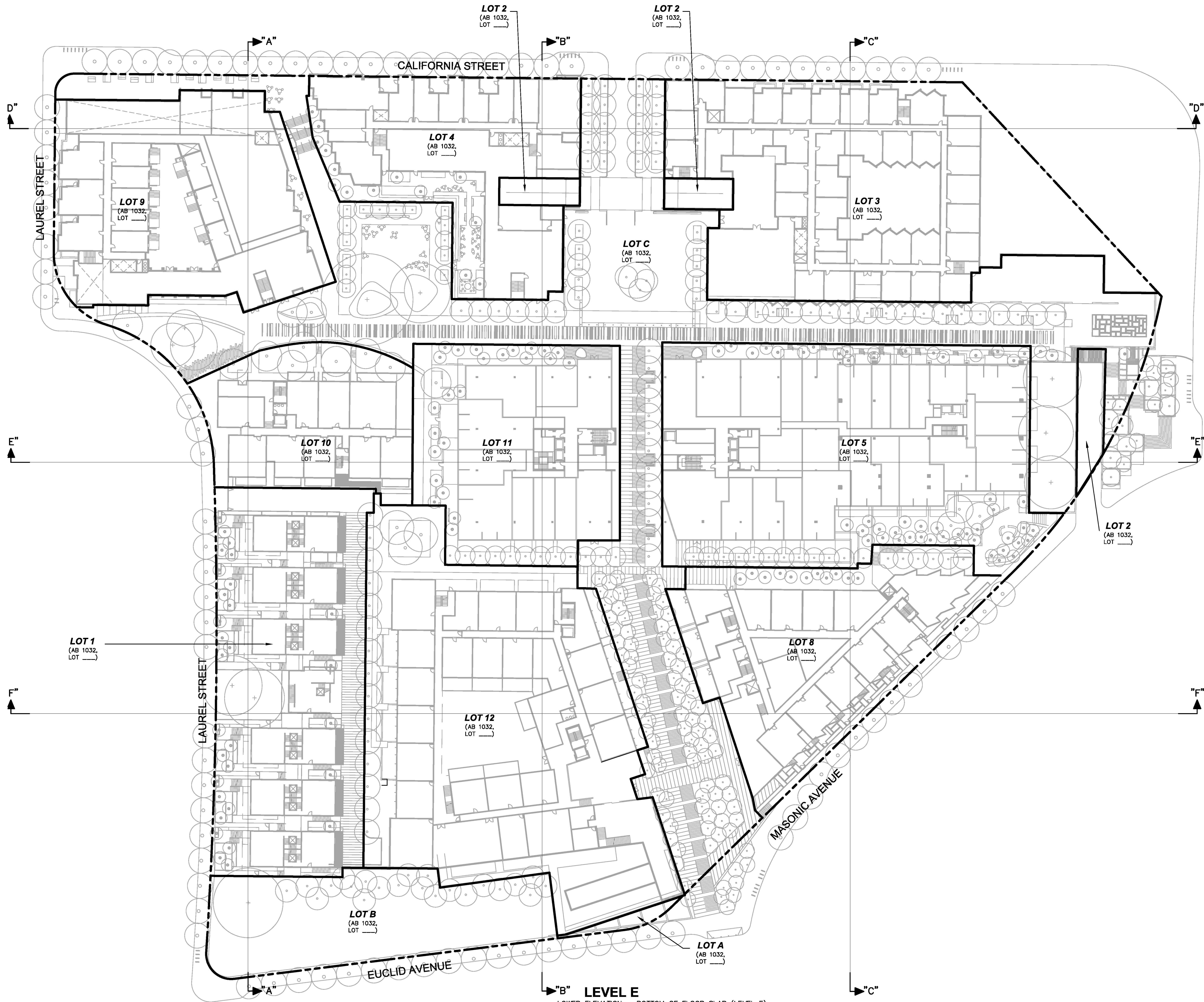


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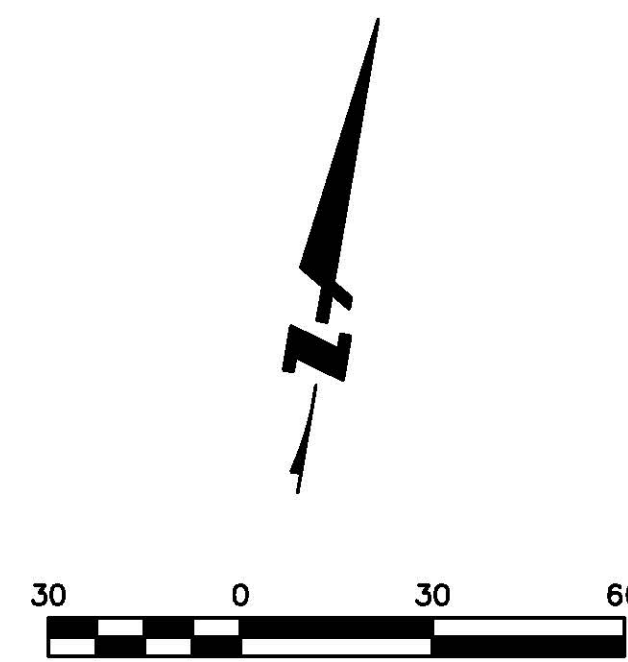
3333 CALIFORNIA STREET
TENTATIVE FINAL MAP
PROPOSED LOT PLAN

SAN FRANCISCO

Revisions	
No.	
Date: 03/29/2019	Scale: AS SHOWN
Drawn:	Design:
Approved:	Job No: 2014002-12
Drawing Number:	



LEVEL E
LOWER ELEVATION = BOTTOM OF FLOOR SLAB (LEVEL E)
UPPER ELEVATION = INFINITY ABOVE



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User: BKF\BKF-001

LOT C
(AB 1032,
LOT ____)

LOT A
(AB 1032,
LOT ____)

LEVEL E

LEVEL D

LEVEL C

LEVEL B

LEVEL A

LOT 9
(AB 1032,
LOT ____)

LOT C
(AB 1032,
LOT ____)

LOT 10
(AB 1032,
LOT ____)

LOT 2
(AB 1032,
LOT ____)

LOT A
(AB 1032,
LOT ____)

LOT 1
(AB 1032,
LOT ____)

LOT B
(AB 1032,
LOT ____)

285.8

285.8

289.5

276.0

271.5

274.7

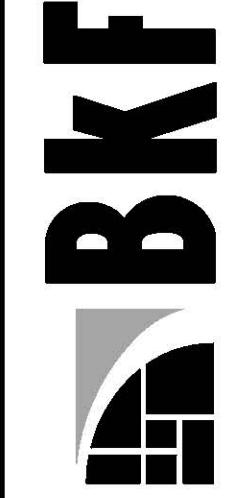
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INFINITY ABOVE

CENTER OF EARTH

SECTION A-A

NTS



4670 WILLOW RD
SUITE 250
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3333 CALIFORNIA STREET
TENTATIVE FINAL MAP
PROPOSED VERTICAL PARCIALIZATION

SAN FRANCISCO

Revisions

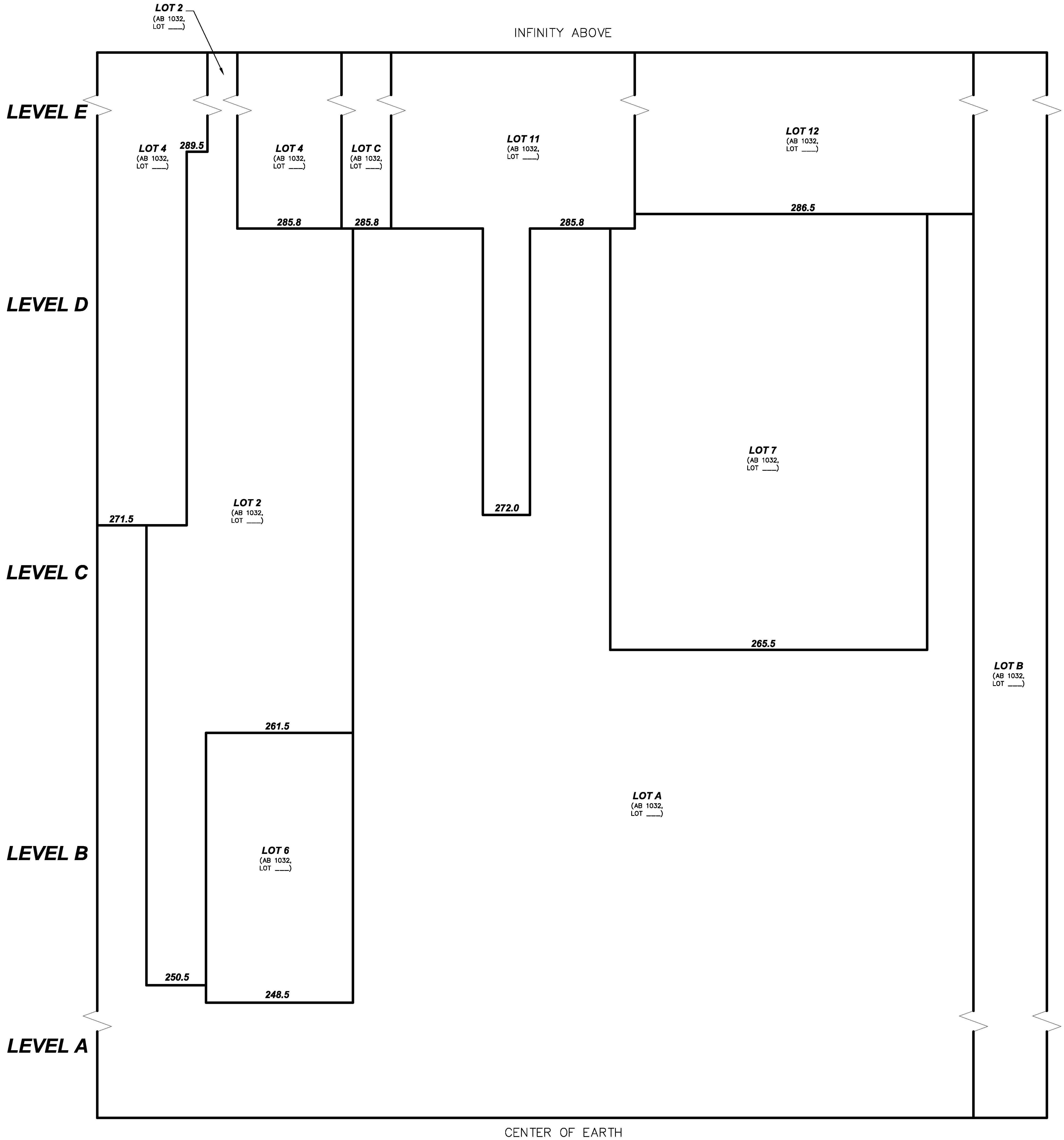
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Job No: 2016002-12

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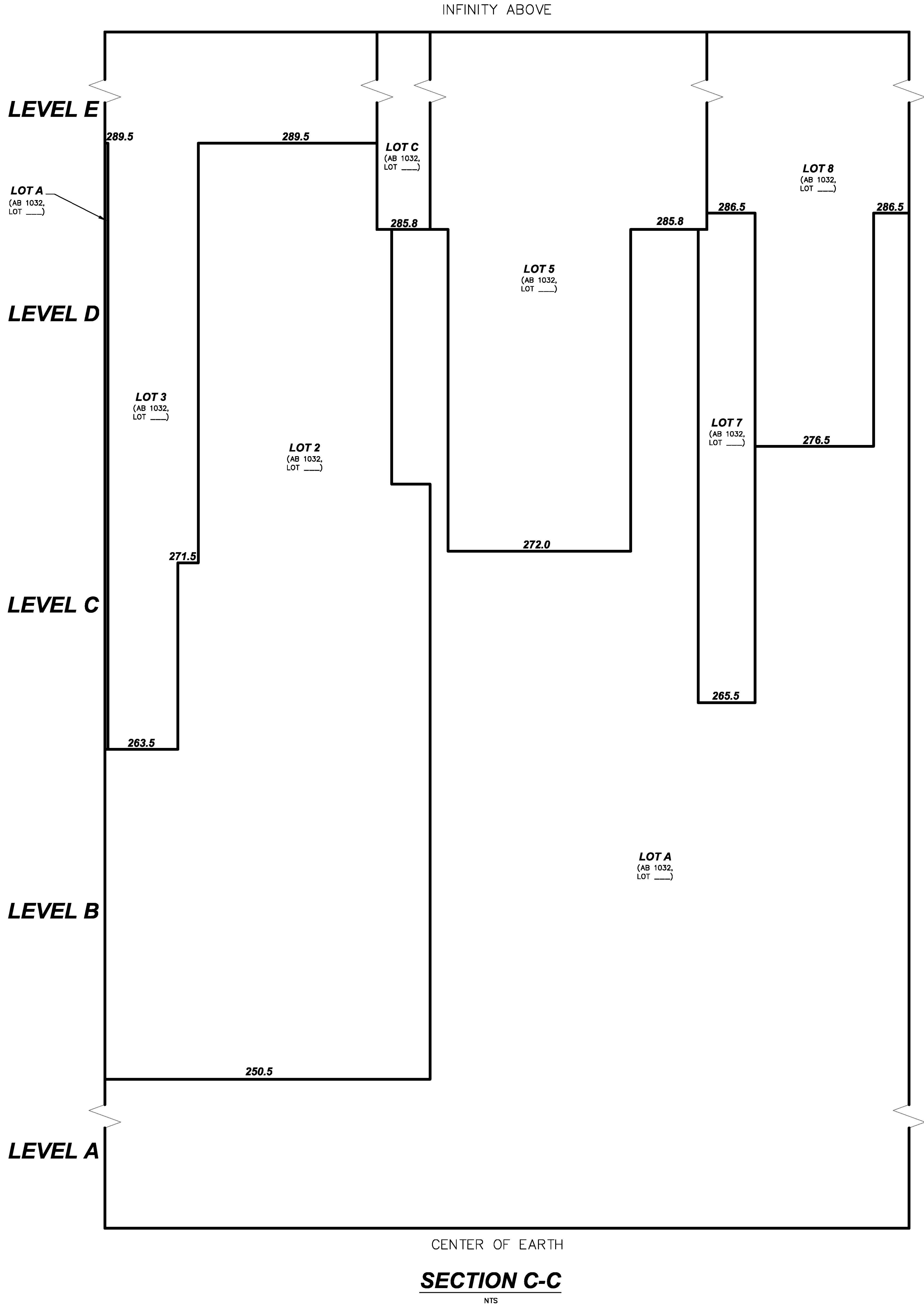
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TENTATIVE FINAL MAP
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CALIFORNIA



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C4.8

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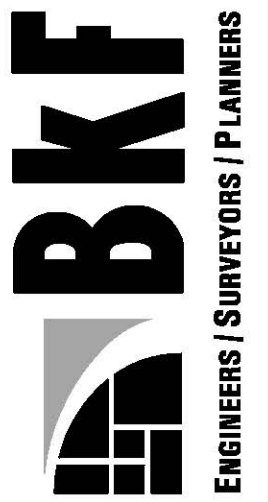
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TENTATIVE FINAL MAP
PROPOSED VERTICAL PARCIALIZATION

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**3333 CALIFORNIA STREET
TENTATIVE FINAL MAP
PROPOSED VERTICAL PARCIALIZATION
SAN FRANCISCO**

SAN FRANCISCO

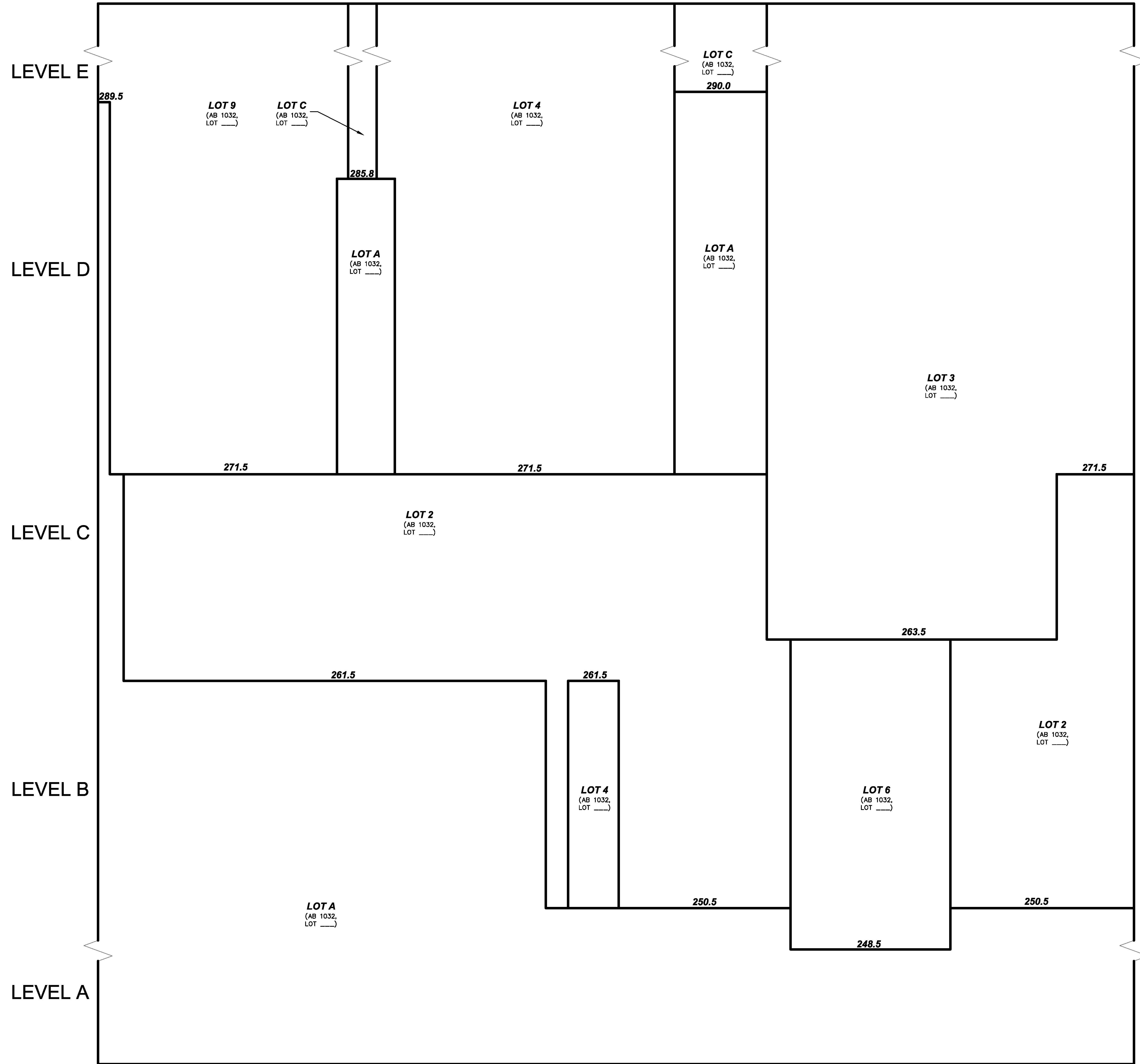
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	Job No: 20147087-12		

C4.9
OF

CENTER OF EARTH

SECTION D-D

NTS

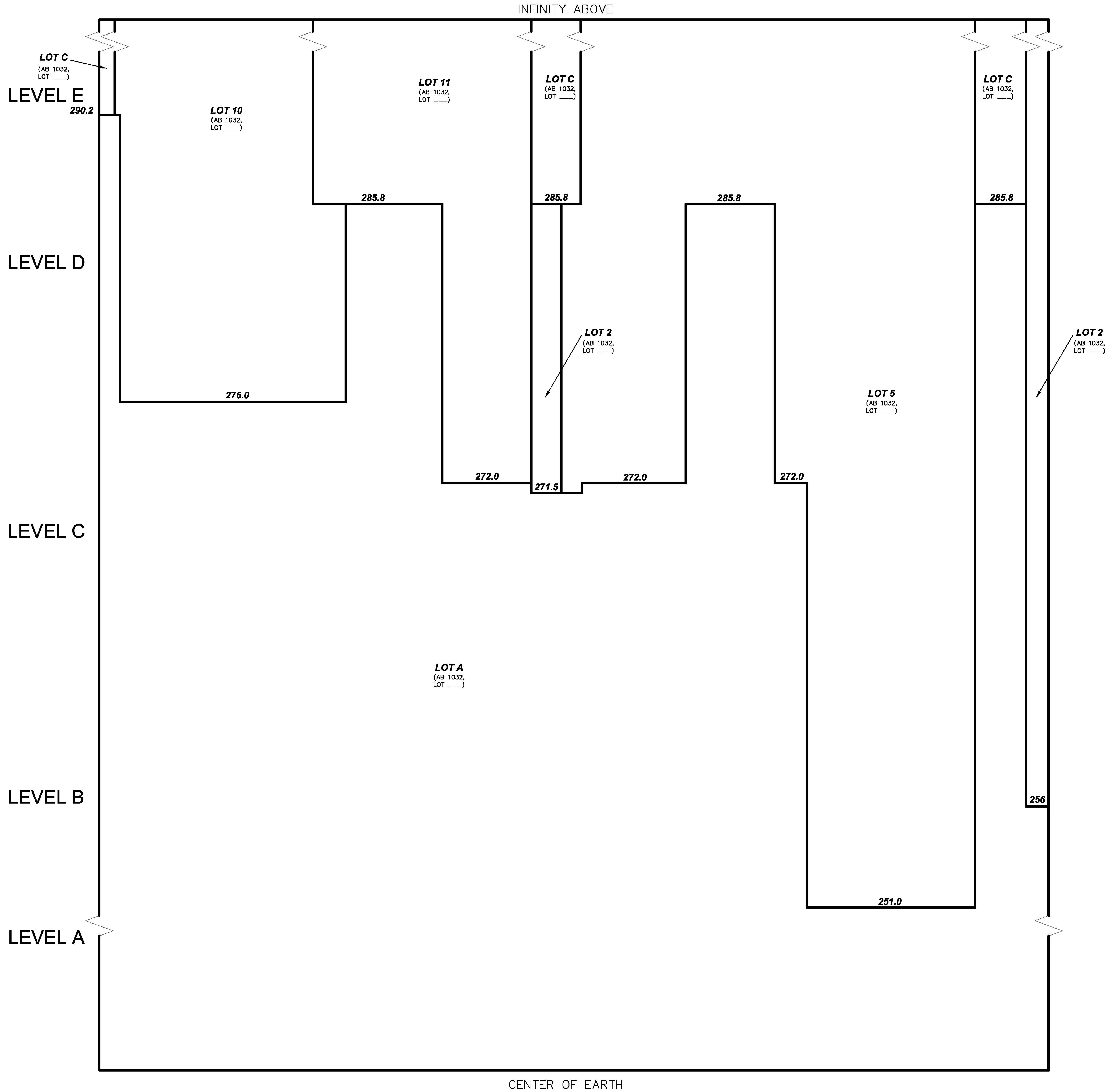


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SAN FRANCISCO, CA 94102
DATE: 02/29/2019
TIME: 10:00 AM



SECTION E-E

NTS

Revisions

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Approve:
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Drawing Number:

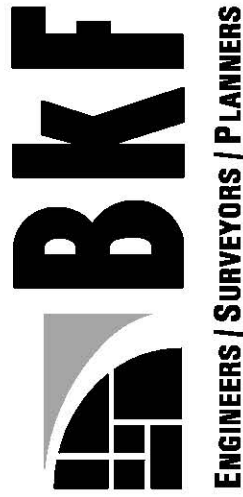
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3333 CALIFORNIA STREET
TENTATIVE FINAL MAP
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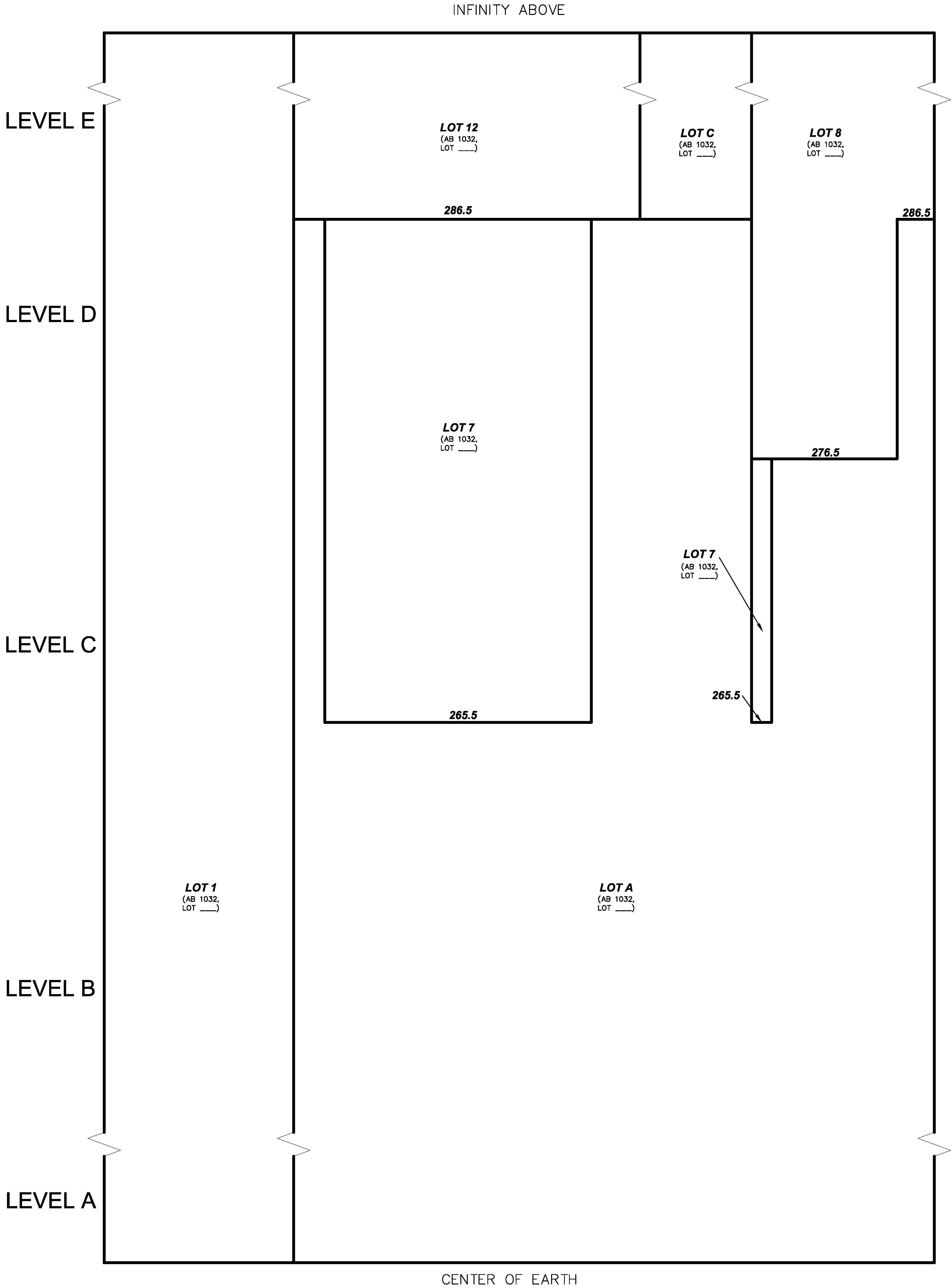
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3333 CALIFORNIA STREET



SECTION F-F

NTS

C4.11		Of	
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Date: 02/29/2019	No.	Revisions	
Scale: AS SHOWN			
Design:			
Drawn:			
Approved:			

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