



Categorical Exemption Appeal

2651-2653 Octavia Street

DATE: July 20, 2020
TO: Angela Calvillo, Clerk of the Board of Supervisors
FROM: Lisa Gibson, Environmental Review Officer - (415) 575-9032
Kei Zushi - kei.zushi@sfgov.org; (415) 575-9038
RE: Planning Record No. 2018-011022APL
Appeal of Categorical Exemption for 2651-2653 Octavia Street
HEARING DATE: July 28, 2020
ATTACHMENT(S): A - September 5, 2019 Categorical Exemption
B - Planning Department Staff Report for February 6, 2020 Planning Commission Discretionary Review Hearing
C - June 12, 2020 Historic Preservation Review Memo

PROJECT SPONSOR: Jane Cote-Cook, (415) 510-1610
APPELLANT(S): Maureen Holt, Elizabeth Reilly, Paul Guermonprez, and Jack Fowler

INTRODUCTION

This memorandum and the attached documents are a response to the letter of appeal to the board of supervisors (the board) regarding the planning department's (the department) September 5, 2019 issuance of a categorical exemption determination (Planning Department Case No. 2018-011022PRJ) under the California Environmental Quality Act (CEQA) for the proposed 2651-2653 Octavia Street project (the project).

The department, pursuant to Article 19 of the CEQA Guidelines, issued a categorical exemption for the project on September 5, 2019 finding that the proposed project is exempt from CEQA as a Class 1 categorical exemption for existing facilities.

The decision before the board is whether to uphold the department's decision to issue a categorical exemption and deny the appeal or to overturn the department's decision to issue a categorical exemption and return the project to department staff for additional environmental review. This memorandum responds to all of the issues raised in the March 6, 2020 letter of appeal. Many of the appellant's claims are irrelevant to the decision before the board on this CEQA appeal. Issues that are unrelated to the department's September 5, 2019 determination that the proposed project is categorically exempt from CEQA are noted accordingly, and are addressed for informational purposes only.

SITE DESCRIPTION AND EXISTING USE

The approximately 3,100-square-foot project site (Assessor's Block 0554 and Lot 002) is located on the block bounded by Green Street to the north, Octavia Street to the east, Vallejo Street to the south, and Laguna Street to the west, in the Pacific Heights neighborhood. The project site is within the Residential, House, Two-Family (RH-2) Zoning District and a 40-X Height and Bulk District. The project site is currently occupied by a two-family residence.

PROJECT DESCRIPTION

The proposed project would construct a fourth-floor-level vertical and horizontal addition to an existing 37-foot-tall (inclusive of a 7-foot-tall mansard roof), three-story, 4,151-gross-square-foot two-family residence constructed in 1950, resulting in a 40-foot-tall (exclusive of a 3.5-foot-tall parapet and clear glass guardrail on the roof deck), four-story, 6,512-gross-square-foot two family residence.

The project construction would involve localized excavation for new foundation and possible excavation to replace existing foundations in kind, resulting in a total of approximately 15 to 30 cubic yards of soil excavated. The average depth of excavation would be 1.5 feet, with a maximum depth of 2 feet.

BACKGROUND

The following is a brief summary of the relevant project background for the appeal of the September 5, 2019 categorical exemption issued for the 2651-2653 Octavia Street project.

On August 3, 2018, the project sponsor filed a building permit application for the proposed project with the department of building and inspection (building department).

On August 10, 2018, the project sponsor filed a project application with the department for its review of the project described above.

On September 5, 2019, the department issued a categorical exemption determination, which is the subject of this appeal, finding that the project was categorically exempt under CEQA Class 1 - alteration and addition to an existing structure, and that no further environmental review was required.

On September 19, 2019, the department issued neighborhood notification pursuant to planning code section 311 for the proposed project under building permit application #2018.08.03.6405.

On October 21, 2019, Paul Guernonprez, on behalf of the 2634 Octavia Street HOA and 1791-1795 Green Street HOA, filed with the department a discretionary review request regarding the project.

On February 6, 2020, the planning commission denied the discretionary review request at a public hearing (Planning Department Case No. 2018-011022DRP), which constituted the approval action for the project under CEQA.

On March 6, 2020, Maureen Holt, Elizabeth Reilly, Paul Guermonprez, and Jack Fowler (collectively, “Appellant”) timely filed an appeal of the September 5, 2019 categorical exemption to the board.

On March 17, 2020, the Office of the Clerk of the Board scheduled a hearing before the board to hear the appeal on April 21, 2020.

On March 20, 2020, the Office of the Clerk of the Board continued the appeal hearing indefinitely in accordance with Governor Gavin Newsom’s statewide order for all residents to stay at home and numerous preceding local and state proclamations, orders, and supplemental directions.

On July 14, 2020, the Office of the Clerk of the Board rescheduled the appeal hearing to July 28, 2020.

CEQA GUIDELINES

Categorical Exemptions

In accordance with CEQA section 21084, CEQA Guidelines sections 15301 through 15333 list classes of projects that have been determined by the State Secretary of the Natural Resources Agency not to have a significant effect on the environment and are exempt from further environmental review.

CEQA Guidelines section 15301, or Class 1, consists of the operation, repair, or minor alteration of existing public or private structures and facilities, including additions to an existing structure, provided that the addition will not increase by more than 10,000 square feet if the project is in an area where all public services and facilities are available to allow for maximum development permissible in the General Plan, and the area in which the project is located is not environmentally sensitive (CEQA Guidelines Section 15301(e)). The project involves the addition of approximately 2,370 square feet to an existing two-family residence and thus is exempt under Class 1.

In determining the significance of environmental effects caused by a project, CEQA Guidelines section 15064(f) states that the decision as to whether a project may have one or more significant effects shall be based on substantial evidence in the record of the lead agency. CEQA Guidelines section 15064(f)(5) provides, “Argument, speculation, unsubstantiated opinion or narrative, or evidence that is clearly inaccurate or erroneous, or evidence that is not credible, shall not constitute substantial evidence. Substantial evidence shall include facts, reasonable assumption predicated upon facts, and expert opinion supported by facts.”

The department determined that the proposed project qualifies for a Class 1 categorical exemption as noted in Step 1 of the September 5, 2019 categorical exemption document. As noted above, the proposed project involves an approximately 2,370-square-foot addition to an existing structure, adding a fourth-floor-level addition to an existing 4,151-gross-square-foot two-family residence and resulting in a 6,512-gross-square-foot two family residence. The project site is located in an area where all public services are available to allow for maximum development permissible in the General Plan. Finally, the project site is not located in an environmentally sensitive area.

PLANNING DEPARTMENT RESPONSES

The concerns raised in the appeal letter are addressed in the responses below.

Response 1: The fact that the September 5, 2019 categorical exemption was inadvertently omitted from the department staff report for the February 6, 2020 planning commission discretionary review hearing did not result in a violation of CEQA or San Francisco administrative code chapter 31. This is because the department issued and posted the September 5, 2019 categorical exemption on its website for public view on September 5, 2019. This posting was sufficiently in advance of the February 6, 2020 hearing to provide public notice, and the staff report clearly states that the project qualifies for a Class I categorical exemption.

The appellant points out that the correct categorical exemption was omitted and an incorrect categorical exemption was included in the department staff report for the February 6, 2020 discretionary review hearing for the 2651-2653 Octavia Street project, where the planning commission denied the discretionary review request. The planning commission's denial of the discretionary review request constituted the approval action for the project under CEQA. The appellant does not explain how this error resulted in a violation of CEQA or San Francisco administrative code chapter 31.

The department acknowledges that the department staff report for the February 6, 2020 hearing inadvertently included a categorical exemption issued for the 2447 Francisco Street project and did not include the September 5, 2019 categorical exemption issued for the 2651-2653 Octavia Street project (see Attachments A and B). However, this error does not render the September 5, 2019 categorical exemption invalid. This is because the September 5, 2019 categorical exemption was issued properly and posted on the department's website for public view on September 5, 2019, sufficiently in advance of the February 6, 2020 planning commission discretionary review hearing. Thus, members of the public had sufficient opportunity to review the 2651-2653 Octavia Street project's categorical exemption before the planning commission hearing. In addition, the department staff report for the February 6, 2020 hearing unambiguously states under the "Environmental Review" section that the proposed project qualifies for a Class 1 categorical exemption under CEQA Guidelines section 15301(e) - additions to existing structures, provided that the addition will not result in an increase of more than 10,000 square feet. Thus, the staff report correctly informed members of the public and the planning commissioners of the department's determination that the project qualifies for a Class 1 categorical exemption under CEQA.

Therefore, the omission of the September 5, 2019 categorical exemption from the department staff report prepared for the February 6, 2020 planning commission discretionary review hearing did not result in any procedural error under CEQA or San Francisco administrative code chapter 31.

Response 2: The department properly issued the September 5, 2019 categorical exemption, finding that the project would result in a less-than-significant impact on historical resources, including the Golden Gate Valley Library located at 1801 Green Street.

The appellant states that the department's issuance of the September 5, 2019 categorical exemption was improper because the project would cause a substantial adverse change to the significance of a historical

resource, the Golden Gate Valley Library located at 1801 Green Street, immediately to the north of the project site, and that the department failed to analyze impacts to the historical resource. The appellant asks that the department conduct a more robust analysis of the project's potential impacts on the existing on-site two-family residence and the surrounding neighborhood, including the Golden Gate Valley Library, which is eligible for designation as a San Francisco Landmark under the San Francisco planning code article 10.

According to CEQA sections 21084(a) and (e), categorical exemptions apply to a list of classes of projects that have been determined by the Secretary of the Natural Resources Agency not to have a significant effect on the environment and shall therefore be exempt from CEQA; however, projects that may cause a substantial adverse change in the significance of a historical resource shall not be exempted from CEQA. Under CEQA section 21084.1, a historical resource for the purposes of CEQA includes, among other things, a historical resource listed in, or determined to be eligible for listing in, the California Register of Historical Resources, as well as a resource included in a local register of historical resources.

Contrary to the appellant's contention, the department adequately evaluated the project's impacts on both the project site and the surrounding historical resources, including the Golden Gate Valley Library before reaching its categorical exemption determination. As a consequence, the September 5, 2019 categorical exemption determination complies with CEQA.

After several rounds of design revisions at the direction of the planning department historic preservation staff, the department determined that the proposed alteration would be minimally visible and meet the Secretary of the Interior's Standards for Rehabilitation (Standards) as indicated in Step 5, Item 7 in the September 5, 2019 categorical exemption (see attachment A). Consequently, the department determined that the existing two-family residence on the project site did not require formal evaluation through the department's historical resource evaluation process to determine if the property qualified as a historical resource under CEQA. The property continues to be classified as a Category B property, a potential historical resource.¹ Further, the department also determined that the proposed (redesigned) project would not adversely impact the character-defining features of the existing residence on the project site and the adjacent historical resource (i.e., the Golden Gate Valley Library), as well as the surrounding neighborhood character, and thus would result in a less-than-significant impact on historical resources.

The department has prepared a memo explaining how the project would meet the Secretary of the Interior's Standards for Rehabilitation (see Attachment C). Under CEQA Guidelines 15064.5, projects that meet the Secretary of the Interior's Standards² are generally presumed to result in a less-than-significant impact on historical resources, including both on-site and nearby off-site historical resources. These Secretary of the

¹ Category B properties are those requiring further consultation and review. Properties that do not meet the criteria for listing in Categories A.1 or A.2, but for which the City has information indicating that further consultation and review will be required for evaluation whether a property is an historical resource for the purposes of CEQA. Category A.1 resources are those listed on or formally determined to be eligible for the California Register. Category A.2 resources are those listed on adopted local registers, and properties that have been determined to appear or may become eligible, for the California Register.

² The Secretary of the Interior's Standards were published in 1995 and codified as 36 Code of Federal Regulations 68.

Interior's Standards, consisting of ten standards that help preserve the distinctive character of an historical building and its site and surroundings, while allowing for reasonable changes to meet new needs, are intended to promote responsible preservation practices that help protect irreplaceable cultural resources. As the memo states, the proposed project would not affect any of the character defining features of the Golden Gate Valley Library, which include its exterior composition and materials, paneled vestibule, spatial volume, and the ornamental ceiling of the main reading room. The proposed project would result in minimal changes to potential character defining features of the subject building. Therefore, the department determined that the project conforms with the Secretary of the Interior's Standards for Rehabilitation.

Additionally, contrary to the appellant's assertion, even if the Golden Gate Valley Brach library had been designated as a local landmark, the department's determination that the proposed project would result in a less-than-significant impact on the Golden Gate Valley Library would not have changed.

The appellant states that some of the information in the September 5, 2019 categorical exemption issued for the proposed project is misleading. Specifically, the appellant points out that the department erroneously characterized the Golden Gate Valley Library as a category B building in Step 3. The appellant also points out that the box in Step 5, Item 1, "[p]roject involves a known historical resource (CEQA Category A) as determined by Step 3 and conforms entirely to proposed work checklist in Step 4" is checked. The appellant suggests that this language is confusing because it does not clarify what resource is being referred to and whether the proposed project would adversely impact the resource.

The department correctly completed Step 3 in the September 5, 2019 categorical exemption. The information in Step 3 is related to the existing on-site residence, not the Golden Gate Valley Library. The existing on-site residence is a potential historical resource, known as a Category B resource. The Golden Gate Valley Library is a known historical resource, known as a Category A resource. The department inadvertently checked the box under Step 5, Item 1. This box is intended to be checked when the proposed project involves a known historical resource located on the project site. The proposed project would not involve alterations or additions to any on-site known historical resource, as discussed above. Despite this clerical error, the September 5, 2019 categorical exemption remains valid because it clearly states the department's determination that the proposed project would meet the Secretary of the Interior's Standards and thus result in a less-than-significant impact on historical resources, whether known (Category A) or potential (Category B).

Response 3: The department adequately evaluated the proposed project's shadow impacts and correctly determined that the project would result in a less-than-significant shadow impact under CEQA.

The appellant contends that the department failed to evaluate the project's potential shadow impacts on the main reading room located inside of the Golden Gate Valley Library. The appellant also states that the proposed project would block sunlight onto the solar panels on the roof of the Golden Gate Valley Library and high-performance windows on the south-facing façade of the library, and the department failed to analyze these impacts.

Under CEQA, the department is required to analyze whether a project would create new shadow that substantially and adversely affects the use and enjoyment of publicly accessible open space, but is not required to analyze the changes caused by a project in the amount of sunlight allowed into an interior room of a public library. Similarly, the department is not required to analyze shading of solar panels or shadow effects on buildings. The department determined that the proposed project would not result in any shadow impacts on publicly accessible open space, and the appellant makes no claims to the contrary. Thus, no further shadow impact analysis is required under CEQA.

The appellant also questions whether a shadow report dated December 1, 2019, which was included in the staff report for the February 6, 2020 planning commission discretionary review hearing, was considered by the department before the department issued the September 5, 2019 categorical exemption. The December 1, 2019 shadow report was prepared by the project sponsor for the February 6, 2020 discretionary review hearing, not for the purpose of environmental review of the project.³ Thus, the department did not err by not considering the December 1, 2019 shadow report before the department issued the September 5, 2019 categorical exemption. This is because the department as part of the project's environmental analysis correctly determined that the project would not result in shadow impacts on any publicly accessible open spaces under CEQA, as discussed above.

Response 4: The appellant raises several issues that are not relevant to the board's decision to either reject or uphold this appeal of the department's September 5, 2019 categorical exemption for the proposed project. The department's responses to these issues are provided below for informational purposes only.

Aesthetics

The appellant contends that the department improperly issued the September 5, 2019 categorical exemption because the project would impact the consistent street roof lines on Octavia Street and distract from the character of the neighborhood.

Contrary to the appellant's contention, the department correctly issued the September 5, 2019 categorical exemption under CEQA. CEQA section 21099(d)(1) provides that aesthetic impacts of a residential project on an infill site within a transit priority area shall not be considered significant impacts on the environment.⁴ CEQA section 21099(a)(4) defines infill site as, among other things, a lot located within an urban area that has been previously developed. CEQA section 21099(a)(7) defines transit priority area as an area within one-half mile of a major transit stop.⁵ The 2651-2653 Octavia Street project, which involves

³ The department staff report for the February 6, 2020 planning commission hearing states that the shadow impact of the 2651-2653 Octavia Street project on the Golden Gate Valley Library is minimal – 5.8-percent decrease in annual solar generation.

⁴ The California legislature adopted CEQA section 21099 as part of Senate Bill No. 743 to encourage transit-oriented, infill development consistent with the goal of reducing greenhouse gases.

⁵ CEQA section 21064.3 defines major transit stop as a site containing any of the following:

- (a) An existing rail or bus rapid transit station,
- (b) A ferry terminal served by either a bus or rail transit service, or
- (c) The intersection of two or more major bus routes with a frequency of service interval of 15 minutes or less during the morning and afternoon peak commute periods.

an expansion of an existing two-family residence, is a residential project that meets the above locational criteria. The project site is on an infill site because it is in an urban area that has been previously developed. In addition, the project site is within a transit priority area.⁶ The appellant does not dispute whether the project site meets any of these criteria. Thus, the department properly excluded analysis of the project's aesthetic impacts, including those on the street roof lines on Octavia Street or character of the neighborhood.

The appellant further contends that CEQA section 21099(d)(2)(B)⁷ prohibits a project from being exempt from CEQA when the project involves historical or cultural resources. This is a misstatement of the law. CEQA section 21099(d)(2)(B) does not prohibit projects from being exempt from CEQA. Rather, section 21099(d)(2)(B) clarifies that an infill project's (such as the proposed project) impacts on historical resources must be analyzed even when the infill project's aesthetics impacts are not required to be analyzed under CEQA section 21099(d)(1). Contrary to the appellant's contention, the department adequately analyzed the proposed project's impacts on historical resources while correctly excluding analysis of the proposed project's aesthetic impacts consistent with section 21099(d)(2)(B), as discussed above.

The appellant also asserts that the department failed to apply the Cow Hollow Design Guidelines⁸ to the proposed project. The Cow Hollow Design Guidelines only apply within the boundaries of the Cow Hollow Neighborhood, which is the rectangular area bounded by Greenwich Street in the north, Pierce Street in the east, Pacific Avenue in the south, and Lyon Street in the west. The 2651-2653 Octavia Street project site is outside the Cow Hollow Neighborhood. Thus, the Cow Hollow Design Guidelines do not apply to the project.

Alleged Similarities to 2417 Green Street Project

The appellant requests that the board overturn the September 5, 2019 categorical exemption issued for the 2651-2653 Octavia Street project because the appellant argues that the 2651-2653 Octavia Street project is similar to the 2417 Green Street (Case No. 2017-002545ENV). The appellant does not explain how these alleged similarities cause the 2651-2653 Octavia Street project to result in a significant environmental impact under CEQA.

As discussed above, the department correctly evaluated each of the potential environmental impacts resulting from the 2651-2653 Octavia Street project. There is no evidence in the record that the 2651-2653 Octavia Street project could result in a significant impact under CEQA due to unusual circumstances, or for any other reason. Therefore, the department's issuance of the September 5, 2019 categorical exemption was appropriate.

⁶ The planning department has determined that a majority of the area, including the 2651-2653 Octavia Street project site, in San Francisco is located in a transit priority area under CEQA section 21099. A map of San Francisco transit priority area is available online at:

<https://sfmea.sfplanning.org/Map%20of%20San%20Francisco%20Transit%20Priority%20Areas.pdf>.

⁷ CEQA section 21099(d)(2)(B) states that "[f]or the purposes of [CEQA], aesthetic impacts do not include impacts on historical or cultural resources."

⁸ San Francisco Planning Department, Cow Hollow Neighborhood Design Guidelines, https://default.sfplanning.org/publications_reports/NeighborhoodDesignGuidelines_CowHollow.pdf.

Appeal of February 6, 2020 Planning Commission's Denial of Discretionary Review Request

The appellant requests that the board overturn the February 6, 2020 planning commission's denial of the discretionary review request. The appellant makes this request to an inappropriate review body. The board of the appeals, not the board of supervisors, has the authority to review an appeal of the planning commission's decision on a discretionary review case. Such an appeal may be made to the board of appeals within 15 calendar days after the building permit for the project is issued or denied by the department of building inspection.

CONCLUSION

The department has determined that the 2651-2653 Octavia Street project is categorically exempt from environmental review under CEQA Class 1 (alteration and addition to an existing structure) on the basis that: (1) the project meets the definition of one or more of the classes of projects that the Secretary of the Natural Resources Agency has found do not have a significant effect on the environment, and (2) none of the exceptions specified in CEQA Guidelines section 15300.2 prohibiting the use of a categorical exemption is applicable to the project. The appellant has failed to demonstrate that the department's determination is not supported by substantial evidence in the record.

For the reasons stated above and in the September 5, 2019 categorical exemption determination, the CEQA determination (Planning Department Case No. 2018-011022PRJ) complies with the requirements of CEQA and the department properly found that the project is exempt from environmental review pursuant to the cited exemption. The department therefore respectfully recommends that the board uphold the CEQA categorical exemption determination and deny the appeal of the CEQA determination.

Attachment A
September 5, 2019 Categorical Exemption



SAN FRANCISCO PLANNING DEPARTMENT

CEQA Categorical Exemption Determination

PROPERTY INFORMATION/PROJECT DESCRIPTION

Project Address		Block/Lot(s)
2651 OCTAVIA ST		0554002
Case No.		Permit No.
2018-011022PRJ		201808036405
<input checked="" type="checkbox"/> Addition/ Alteration	<input type="checkbox"/> Demolition (requires HRE for Category B Building)	<input type="checkbox"/> New Construction
<p>Project description for Planning Department approval. HORIZONTAL & VERTICAL ADDITION TO AN EXISTING 3 STORY RESIDENTIAL BLDG. INTERIOR LAYOUT CHANGES TO INCLUDE (N) PARTITIONS, FIXTURES & FINISHES, MEP & LIFE SAFETY TO BE DEFERRED SUBMITTAL AS REQ'D</p>		

STEP 1: EXEMPTION CLASS

The project has been determined to be categorically exempt under the California Environmental Quality Act (CEQA).	
<input checked="" type="checkbox"/>	Class 1 - Existing Facilities. Interior and exterior alterations; additions under 10,000 sq. ft.
<input type="checkbox"/>	Class 3 - New Construction. Up to three new single-family residences or six dwelling units in one building; commercial/office structures; utility extensions; change of use under 10,000 sq. ft. if principally permitted or with a CU.
<input type="checkbox"/>	<p>Class 32 - In-Fill Development. New Construction of seven or more units or additions greater than 10,000 sq. ft. and meets the conditions described below:</p> <p>(a) The project is consistent with the applicable general plan designation and all applicable general plan policies as well as with applicable zoning designation and regulations.</p> <p>(b) The proposed development occurs within city limits on a project site of no more than 5 acres substantially surrounded by urban uses.</p> <p>(c) The project site has no value as habitat for endangered rare or threatened species.</p> <p>(d) Approval of the project would not result in any significant effects relating to traffic, noise, air quality, or water quality.</p> <p>(e) The site can be adequately served by all required utilities and public services.</p> <p>FOR ENVIRONMENTAL PLANNING USE ONLY</p>
<input type="checkbox"/>	Class ____

STEP 2: CEQA IMPACTS

TO BE COMPLETED BY PROJECT PLANNER

<input type="checkbox"/>	Air Quality: Would the project add new sensitive receptors (specifically, schools, day care facilities, hospitals, residential dwellings, and senior-care facilities within an Air Pollution Exposure Zone? Does the project have the potential to emit substantial pollutant concentrations (e.g., backup diesel generators, heavy industry, diesel trucks, etc.)? (refer to EP_ArcMap > CEQA Catex Determination Layers > Air Pollution Exposure Zone)
<input type="checkbox"/>	Hazardous Materials: If the project site is located on the Maher map or is suspected of containing hazardous materials (based on a previous use such as gas station, auto repair, dry cleaners, or heavy manufacturing, or a site with underground storage tanks): Would the project involve 50 cubic yards or more of soil disturbance - or a change of use from industrial to residential? <i>if the applicant presents documentation of enrollment in the San Francisco Department of Public Health (DPH) Maher program, a DPH waiver from the Maher program, or other documentation from Environmental Planning staff that hazardous material effects would be less than significant (refer to EP_ArcMap > Maher layer).</i>
<input type="checkbox"/>	Transportation: Does the project involve a child care facility or school with 30 or more students, or a location 1,500 sq. ft. or greater? Does the project have the potential to adversely affect transit, pedestrian and/or bicycle safety (hazards) or the adequacy of nearby transit, pedestrian and/or bicycle facilities?
<input type="checkbox"/>	Archeological Resources: Would the project result in soil disturbance/modification greater than two (2) feet below grade in an archeological sensitive area or eight (8) feet in a non -archeological sensitive area? If yes, archeo review is required (refer to EP_ArcMap > CEQA Catex Determination Layers > Archeological Sensitive Area)
<input type="checkbox"/>	Subdivision/Lot Line Adjustment: Does the project site involve a subdivision or lot line adjustment on a lot with a slope average of 20% or more? (refer to EP_ArcMap > CEQA Catex Determination Layers > Topography). If yes, Environmental Planning must issue the exemption.
<input type="checkbox"/>	Slope = or > 25%: Does the project involve any of the following: (1) square footage expansion greater than 500 sq. ft. outside of the existing building footprint, (2) excavation of 50 cubic yards or more of soil, (3) new construction? (refer to EP_ArcMap > CEQA Catex Determination Layers > Topography) If box is checked, a geotechnical report is required and Environmental Planning must issue the exemption.
<input type="checkbox"/>	Seismic: Landslide Zone: Does the project involve any of the following: (1) square footage expansion greater than 500 sq. ft. outside of the existing building footprint, (2) excavation of 50 cubic yards or more of soil, (3) new construction? (refer to EP_ArcMap > CEQA Catex Determination Layers > Seismic Hazard Zones) If box is checked, a geotechnical report is required and Environmental Planning must issue the exemption.
<input type="checkbox"/>	Seismic: Liquefaction Zone: Does the project involve any of the following: (1) square footage expansion greater than 500 sq. ft. outside of the existing building footprint, (2) excavation of 50 cubic yards or more of soil, (3) new construction? (refer to EP_ArcMap > CEQA Catex Determination Layers > Seismic Hazard Zones) If box is checked, a geotechnical report will likely be required and Environmental Planning must issue the exemption.
Comments and Planner Signature (optional):	

**STEP 3: PROPERTY STATUS - HISTORIC RESOURCE
TO BE COMPLETED BY PROJECT PLANNER**

PROPERTY IS ONE OF THE FOLLOWING: (refer to Property Information Map)	
<input type="checkbox"/>	Category A: Known Historical Resource. GO TO STEP 5.
<input checked="" type="checkbox"/>	Category B: Potential Historical Resource (over 45 years of age). GO TO STEP 4.
<input type="checkbox"/>	Category C: Not a Historical Resource or Not Age Eligible (under 45 years of age). GO TO STEP 6.

**STEP 4: PROPOSED WORK CHECKLIST
TO BE COMPLETED BY PROJECT PLANNER**

Check all that apply to the project.	
<input type="checkbox"/>	1. Change of use and new construction. Tenant improvements not included.
<input type="checkbox"/>	2. Regular maintenance or repair to correct or repair deterioration, decay, or damage to building.
<input type="checkbox"/>	3. Window replacement that meets the Department's <i>Window Replacement Standards</i> . Does not include storefront window alterations.
<input type="checkbox"/>	4. Garage work. A new opening that meets the <i>Guidelines for Adding Garages and Curb Cuts</i> , and/or replacement of a garage door in an existing opening that meets the Residential Design Guidelines.
<input type="checkbox"/>	5. Deck, terrace construction, or fences not visible from any immediately adjacent public right-of-way.
<input type="checkbox"/>	6. Mechanical equipment installation that is not visible from any immediately adjacent public right-of-way.
<input type="checkbox"/>	7. Dormer installation that meets the requirements for exemption from public notification under <i>Zoning Administrator Bulletin No. 3: Dormer Windows</i> .
<input type="checkbox"/>	8. Addition(s) that are not visible from any immediately adjacent public right-of-way for 150 feet in each direction; does not extend vertically beyond the floor level of the top story of the structure or is only a single story in height; does not have a footprint that is more than 50% larger than that of the original building; and does not cause the removal of architectural significant roofing features.
Note: Project Planner must check box below before proceeding.	
<input checked="" type="checkbox"/>	Project is not listed. GO TO STEP 5.
<input type="checkbox"/>	Project does not conform to the scopes of work. GO TO STEP 5.
<input type="checkbox"/>	Project involves four or more work descriptions. GO TO STEP 5.
<input type="checkbox"/>	Project involves less than four work descriptions. GO TO STEP 6.

**STEP 5: CEQA IMPACTS - ADVANCED HISTORICAL REVIEW
TO BE COMPLETED BY PROJECT PLANNER**

Check all that apply to the project.	
<input checked="" type="checkbox"/>	1. Project involves a known historical resource (CEQA Category A) as determined by Step 3 and conforms entirely to proposed work checklist in Step 4.
<input type="checkbox"/>	2. Interior alterations to publicly accessible spaces.
<input type="checkbox"/>	3. Window replacement of original/historic windows that are not "in-kind" but are consistent with existing historic character.
<input type="checkbox"/>	4. Façade/storefront alterations that do not remove, alter, or obscure character-defining features.
<input type="checkbox"/>	5. Raising the building in a manner that does not remove, alter, or obscure character-defining features.
<input type="checkbox"/>	6. Restoration based upon documented evidence of a building's historic condition, such as historic photographs, plans, physical evidence, or similar buildings.

<input checked="" type="checkbox"/>	7. Addition(s) , including mechanical equipment that are minimally visible from a public right-of-way and meet the <i>Secretary of the Interior's Standards for Rehabilitation</i> .
<input type="checkbox"/>	8. Other work consistent with the <i>Secretary of the Interior Standards for the Treatment of Historic Properties</i> (specify or add comments):
<input type="checkbox"/>	9. Other work that would not materially impair a historic district (specify or add comments): (Requires approval by Senior Preservation Planner/Preservation Coordinator)
<input type="checkbox"/>	10. Reclassification of property status. (Requires approval by Senior Preservation Planner/Preservation <input type="checkbox"/> Reclassify to Category A a. Per HRER or PTR dated <input type="checkbox"/> Reclassify to Category C (attach HRER or PTR) b. Other (specify):
Note: If ANY box in STEP 5 above is checked, a Preservation Planner MUST sign below.	
<input checked="" type="checkbox"/>	Project can proceed with categorical exemption review. The project has been reviewed by the Preservation Planner and can proceed with categorical exemption review. GO TO STEP 6.
Comments (optional):	
Preservation Planner Signature: Shannon Ferguson	

**STEP 6: CATEGORICAL EXEMPTION DETERMINATION
TO BE COMPLETED BY PROJECT PLANNER**

<input checked="" type="checkbox"/>	No further environmental review is required. The project is categorically exempt under CEQA. There are no unusual circumstances that would result in a reasonable possibility of a significant effect.	
	Project Approval Action: Building Permit	Signature: Shannon Ferguson
	If Discretionary Review before the Planning Commission is requested, the Discretionary Review hearing is the Approval Action for the project.	09/05/2019
Once signed or stamped and dated, this document constitutes a categorical exemption pursuant to CEQA Guidelines and Chapter 31 of the Administrative Code. In accordance with Chapter 31 of the San Francisco Administrative Code, an appeal of an exemption determination can only be filed within 30 days of the project receiving the approval action. Please note that other approval actions may be required for the project. Please contact the assigned planner for these approvals.		

STEP 7: MODIFICATION OF A CEQA EXEMPT PROJECT

TO BE COMPLETED BY PROJECT PLANNER

In accordance with Chapter 31 of the San Francisco Administrative Code, when a California Environmental Quality Act (CEQA) exempt project changes after the Approval Action and requires a subsequent approval, the Environmental Review Officer (or his or her designee) must determine whether the proposed change constitutes a substantial modification of that project. This checklist shall be used to determine whether the proposed changes to the approved project would constitute a "substantial modification" and, therefore, be subject to additional environmental review pursuant to CEQA.

PROPERTY INFORMATION/PROJECT DESCRIPTION

Project Address (If different than front page)		Block/Lot(s) (If different than front page)
2651 OCTAVIA ST		0554/002
Case No.	Previous Building Permit No.	New Building Permit No.
2018-011022PRJ	201808036405	
Plans Dated	Previous Approval Action	New Approval Action
	Building Permit	
Modified Project Description:		

DETERMINATION IF PROJECT CONSTITUTES SUBSTANTIAL MODIFICATION

Compared to the approved project, would the modified project:	
<input type="checkbox"/>	Result in expansion of the building envelope, as defined in the Planning Code;
<input type="checkbox"/>	Result in the change of use that would require public notice under Planning Code Sections 311 or 312;
<input type="checkbox"/>	Result in demolition as defined under Planning Code Section 317 or 19005(f)?
<input type="checkbox"/>	Is any information being presented that was not known and could not have been known at the time of the original determination, that shows the originally approved project may no longer qualify for the exemption?
If at least one of the above boxes is checked, further environmental review is required.	

DETERMINATION OF NO SUBSTANTIAL MODIFICATION

<input type="checkbox"/>	The proposed modification would not result in any of the above changes.
If this box is checked, the proposed modifications are categorically exempt under CEQA, in accordance with prior project approval and no additional environmental review is required. This determination shall be posted on the Planning Department website and office and mailed to the applicant, City approving entities, and anyone requesting written notice. In accordance with Chapter 31, Sec 31.08j of the San Francisco Administrative Code, an appeal of this determination can be filed within 10 days of posting of this determination.	
Planner Name:	Date:

Attachment B
Planning Department Staff Report
for February 6, 2020 Planning Commission
Discretionary Review Hearing



SAN FRANCISCO PLANNING DEPARTMENT

Discretionary Review Abbreviated Analysis HEARING DATE: FEBRUARY 6, 2020

1650 Mission St.
Suite 400
San Francisco,
CA 94103-2479

Reception:
415.558.6378

Fax:
415.558.6409

Planning
Information:
415.558.6377

Date: January 27, 2020
Case No.: **2018-011022DRP**
Project Address: **2651-2653 Octavia Street**
Permit Applications: 2018.0803.6504
Zoning: RH-2 [Residential House, Two-Family]
40-X Height and Bulk District
Block/Lot: 0554 / 002
Project Sponsor: Jane Cote-Cook
2651 Octavia Street
San Francisco, CA 94123
Staff Contact: David Winslow – (415) 575-9159
David.Winslow@sfgov.org
Recommendation: **Do Not Take DR and Approve**

PROJECT DESCRIPTION

The project proposes to construct a 4th floor vertical and horizontal addition to an existing 3 -story, two-family house and a horizontal addition to the rear that incorporates decks at the step backs. A roof deck is also proposed.

SITE DESCRIPTION AND PRESENT USE

The site is a 25' wide x 125' deep steeply lateral sloping lot with an existing 3-story 2-family home built in 1950 and is categorized as a 'B' – Potential Historic Resource present.

SURROUNDING PROPERTIES AND NEIGHBORHOOD

The immediately adjacent set of buildings on this block of Octavia Street are 3-stories at the street face and step consistently down with the slope of the street to the 2-story corner public library. The library occupies the full lot and has a 15' side setback at the interior lot line to accommodate south facing windows. The adjacent residential buildings on Octavia define the mid-block open space fairly consistently and extend further into the rear than the subject property.

BUILDING PERMIT NOTIFICATION

TYPE	REQUIRED PERIOD	NOTIFICATION DATES	DR FILE DATE	DR HEARING DATE	FILING TO HEARING TIME
311 Notice	30 days	September 19, 2019 – October 21, 2019	10.21. 2019	2.6. 2020	108 days

HEARING NOTIFICATION

TYPE	REQUIRED PERIOD	REQUIRED NOTICE DATE	ACTUAL NOTICE DATE	ACTUAL PERIOD
Posted Notice	20 days	January 17, 2020	January 17, 2020	20 days
Mailed Notice	20 days	January 17, 2020	January 17, 2020	20 days
Online Notice	20 days	January 17, 2020	January 17, 2020	20 days

PUBLIC COMMENT

	SUPPORT	OPPOSED	NO POSITION
Adjacent neighbor(s)	0	0	0
Other neighbors on the block or directly across the street	0	0	0
Neighborhood groups	0	0	0

ENVIRONMENTAL REVIEW

The Department has determined that the proposed project is exempt/excluded from environmental review, pursuant to CEQA Guideline Section 15301 (Class One - Minor Alteration of Existing Facility, (e) Additions to existing structures provided that the addition will not result in an increase of more than 10,000 square feet).

DR REQUESTORS

Paul Guermonprez on behalf of the of 2634 Octavia Street HOA, 1791-1795 Green Street HOA, neighbors across the street and to the East of the proposed project.

DR REQUESTOR'S CONCERNS AND PROPOSED ALTERNATIVES

Is concerned by the following issues:

1. Refusal of concertation;
2. Loss of natural light to the library;
3. Proposed project is out architectural character of context, specifically with impact to the scale of the block face;

4. Project goes against the City’s Climate change policy by blocking solar access to the library’s solar panels.
5. The elevator and roof deck exceed the allowed height restrictions and the proposed roof deck will create privacy and noise impacts
6. Loss of light, view, and real estate value for neighbors

Proposed alternative: remove additional floor from project

See attached *Discretionary Review Application*, dated October 21, 2019.

PROJECT SPONSOR’S RESPONSE TO DR APPLICATION

The design has been extensively reviewed by Planning preservation staff and RDAT and complies with the letter and intent of the Planning Code and Residential Design Guidelines. The proposed design responds to and fits the adjacent context, and here are no exceptional or extraordinary circumstances.

See attached *Responses to Discretionary Review*, dated November 7, 2019.

DEPARTMENT REVIEW

The Department’s Residential Design Advisory Team (RDAT) re-reviewed this and confirmed that this meets the Residential Design Guidelines related to architectural character, scale, and preservation of access to light. The project sponsor has designed a building that adds to the existing building and maintains the scale of the street and access to light and midblock open space. As such Staff deems there are no exceptional or extraordinary circumstances.

Specifically, staff finds:

1. The refusal to consult the neighbors is not a requirement after project pre-application meeting, nor does the Department have any means to determine if and how the efforts were conducted.
2. The public library, which is non-complying, has ensured its own access to light by providing a 15’ side setback
3. The proposed design of the 4th story extends the existing angled roof to incorporate the vertical addition in a way that maintain the form, scale at the street and roof features of the existing building front. A single 10’ wide garage door replaces a double garage door at the ground level, and the entry is widened. The windows sizes and proportions are of similar scale and form as the neighboring are proposed to be maintained.
4. Solar panels are not protected by state or local law as doing so would allow them to act as de facto impediments to development.
5. The Code allow certain projections to exceed the height limit. The roof deck is set back 5’ from side, front, and rear building edges, and because of the roof slope is set back approximately 20’

from the front building wall, so as to pose minimal impacts to the neighbors with respect to noise and privacy.

6. The loss of light due to this addition is not exceptional or extraordinary. The proposed setback and the width of the street provide a more than reasonable distance to ameliorate the effects of the additional story with respect to light. Per San Francisco policy, views are not protected, nor are economic values evaluated.

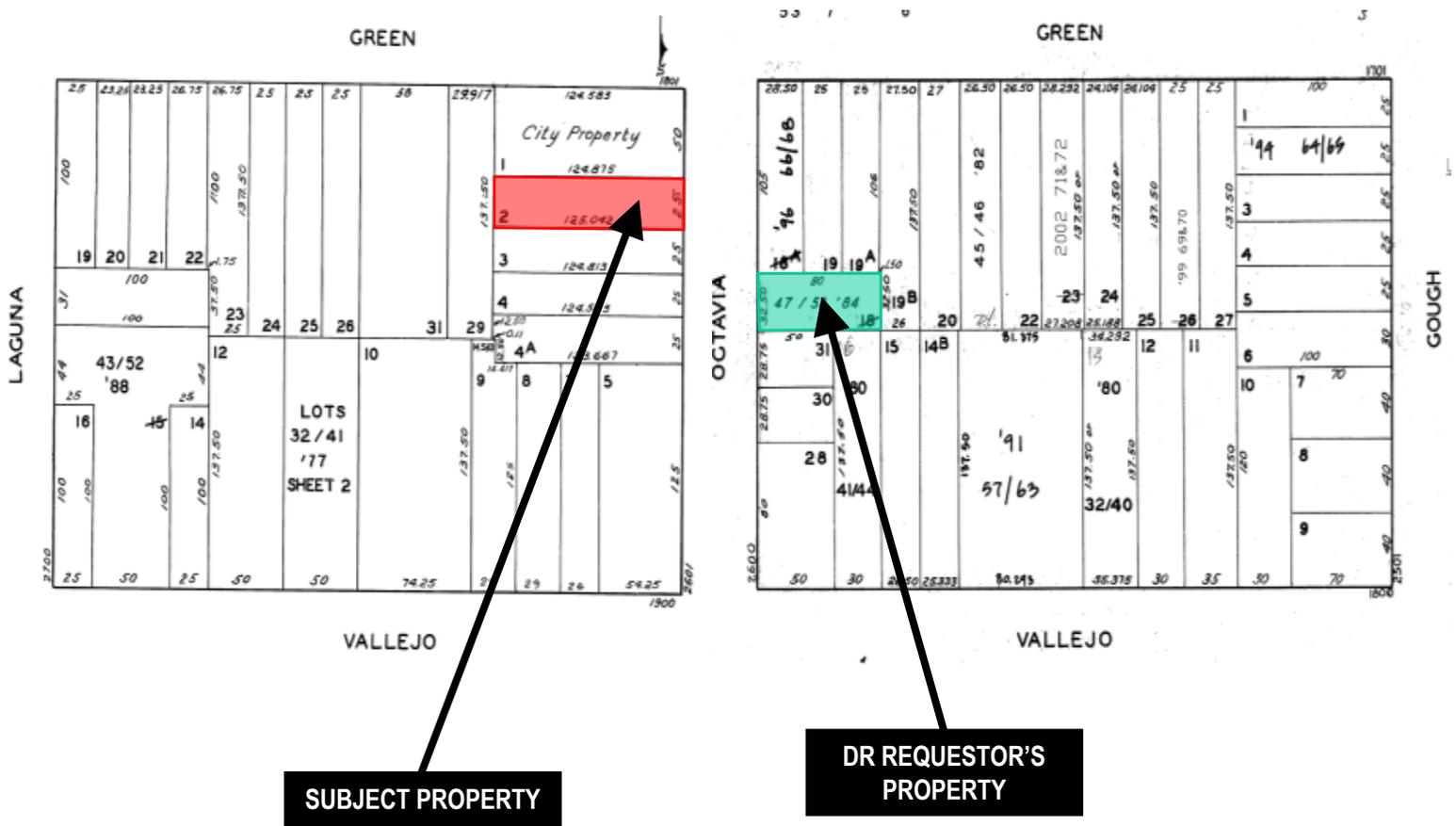
RECOMMENDATION: Do Not Take DR and Approve
--

Attachments:

Block Book Map
Sanborn Map
Zoning Map
Aerial Photographs
Context Photographs
Section 311 Notice
CEQA Determination
DR Applications
Response to DR Application, dated November 7, 2019
Reduced Plans
Solar analysis

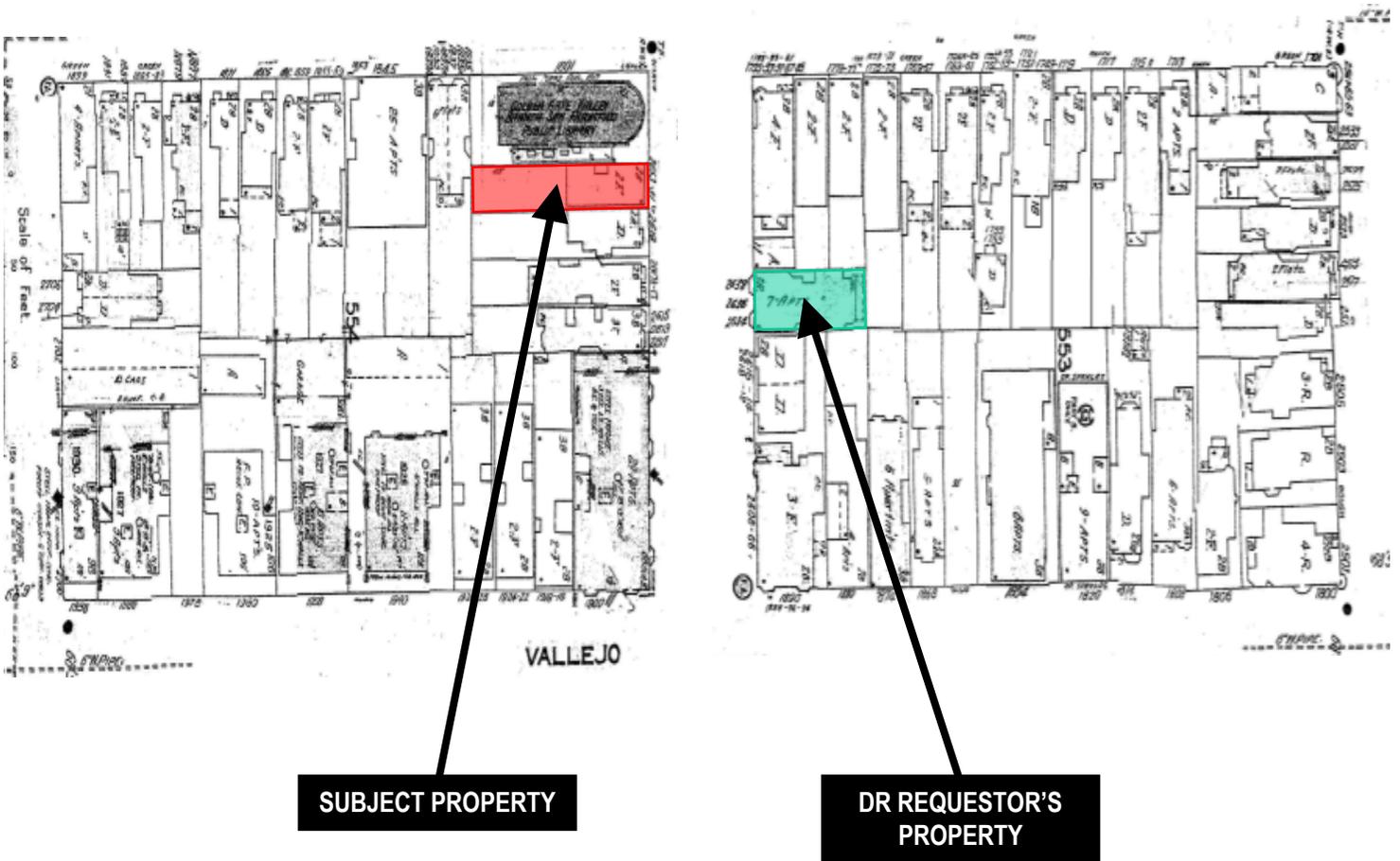
Exhibits

Parcel Map



Discretionary Review Hearing
 Case Number 2018-011022DRP
 2651 Octavia Street

Sanborn Map*

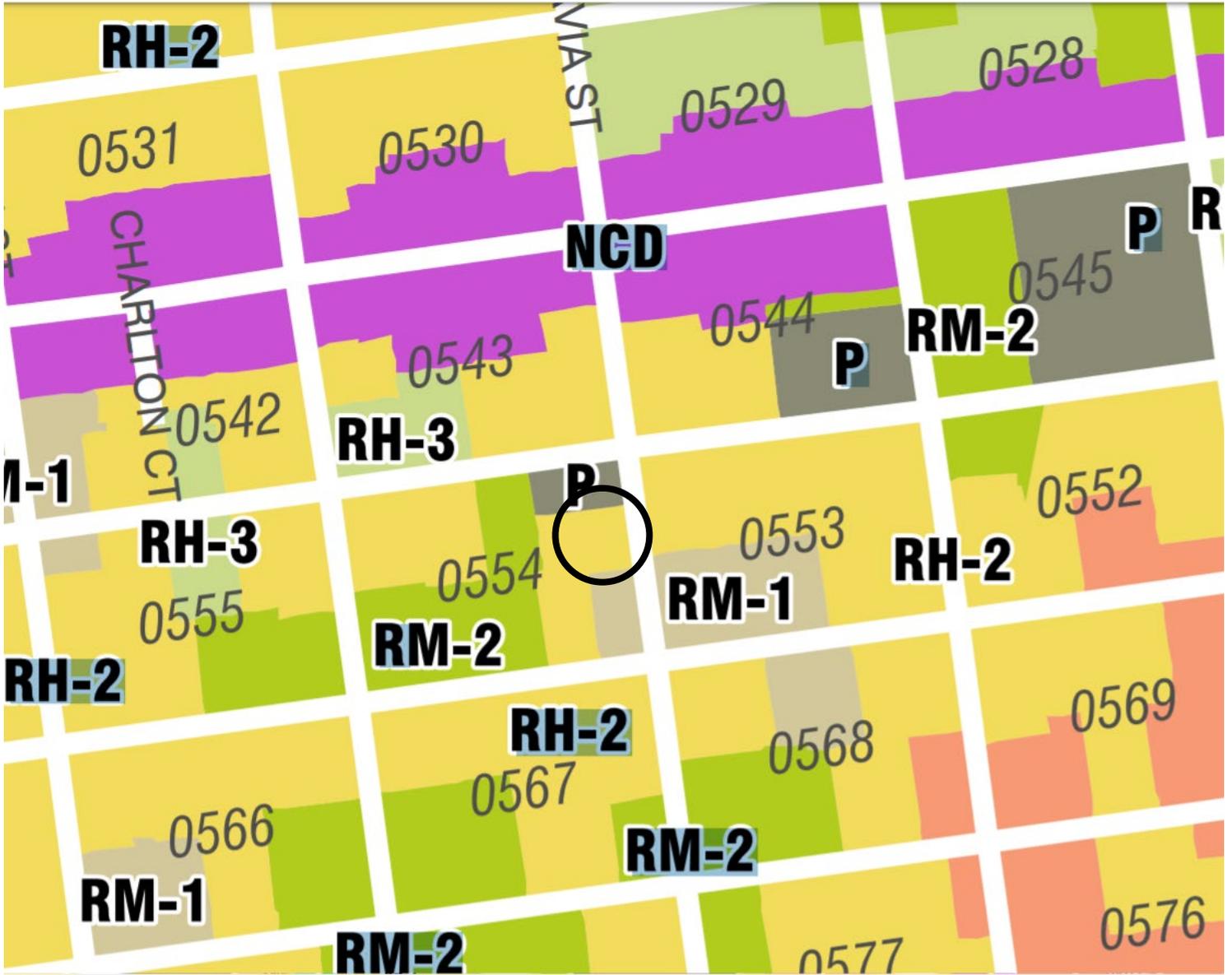


**The Sanborn Maps in San Francisco have not been updated since 1998, and this map may not accurately reflect existing conditions.*



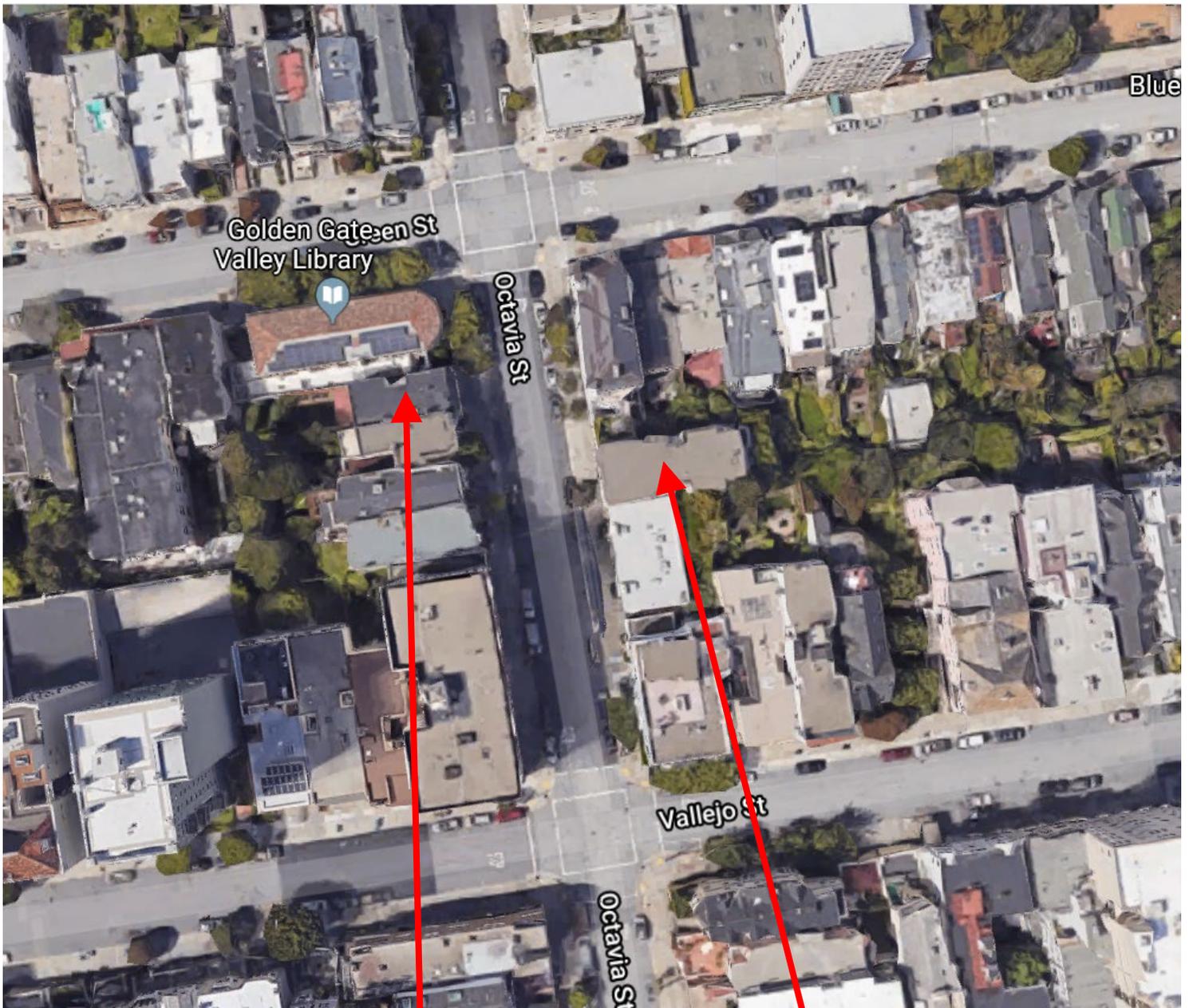
Discretionary Review Hearing
Case Number 2018-011022DRP
2651 Octavia Street

Zoning Map



Discretionary Review Hearing
Case Number 2018-011022DRP
2651 Octavia Street

Aerial Photo



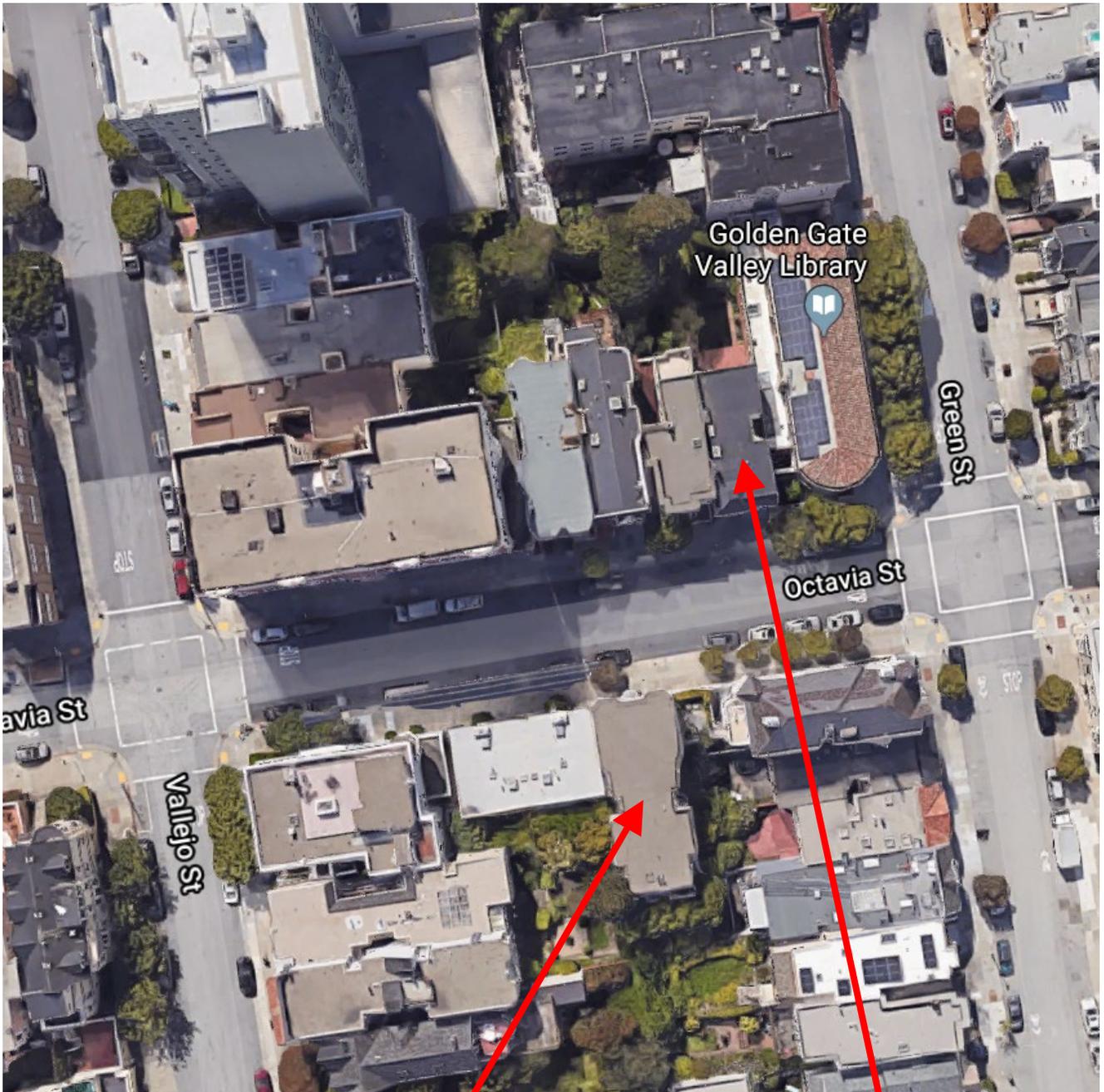
SUBJECT PROPERTY

**DR REQUESTOR'S
PROPERTY**



Discretionary Review Hearing
Case Number 2018-011022DRP
2651 Octavia Street

Aerial Photo



**DR REQUESTOR'S
PROPERTY**

SUBJECT PROPERTY



Discretionary Review Hearing
Case Number 2018-011022DRP
2651 Octavia Street

Aerial Photo



**DR REQUESTOR'S
PROPERTY**

SUBJECT PROPERTY



Discretionary Review Hearing
Case Number 2018-011022DRP
2651 Octavia Street

Aerial Photo



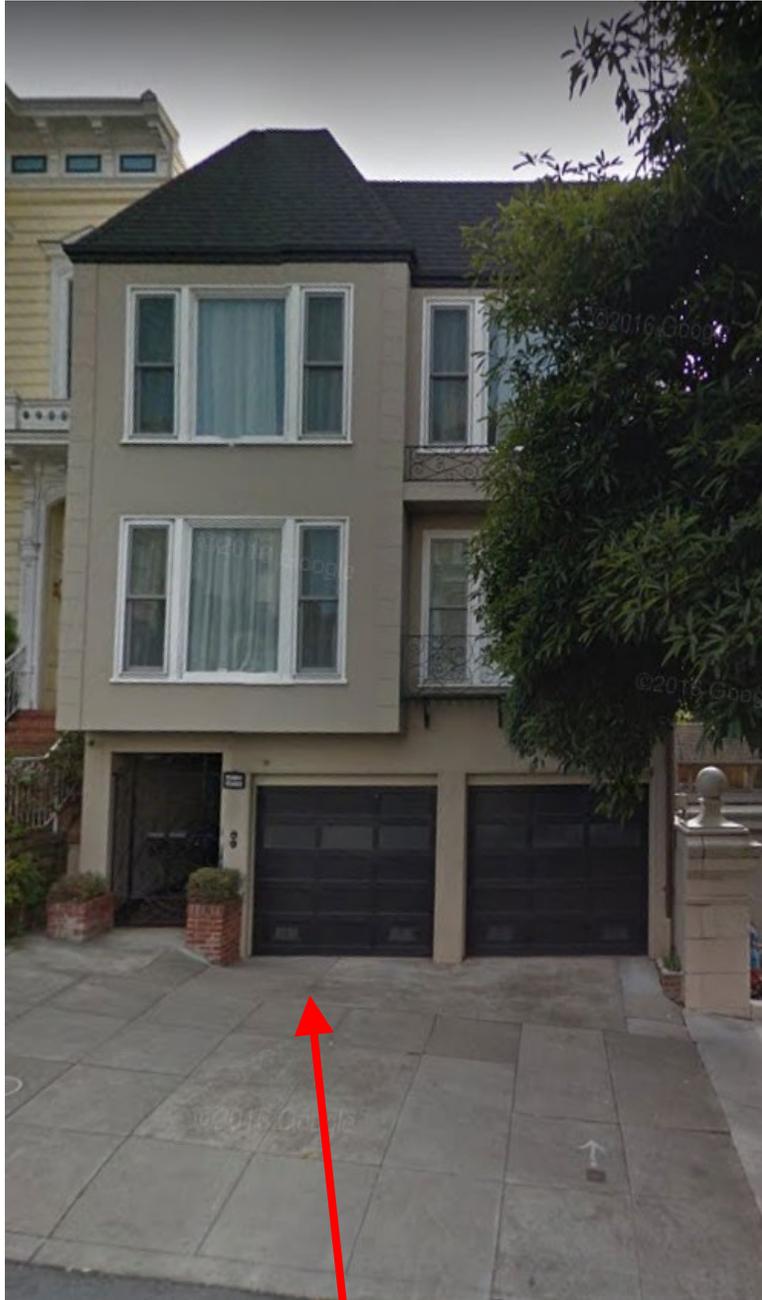
SUBJECT PROPERTY

**DR REQUESTOR'S
PROPERTY**



Discretionary Review Hearing
Case Number 2018-011022DRP
2651 Octavia Street

Site Photo



SUBJECT PROPERTY

Discretionary Review Hearing
Case Number 2018-011022DRP
2651 Octavia Street



SAN FRANCISCO PLANNING DEPARTMENT

1650 Mission Street Suite 400 San Francisco, CA 94103

NOTICE OF BUILDING PERMIT APPLICATION (SECTION 311)

On **August 3, 2018**, Building Permit Application No. **2018.08.03.6405** was filed for work at the Project Address below.

Notice Date: 9/19/2019

Expiration Date: 10/21/2019

PROJECT INFORMATION		APPLICANT INFORMATION	
Project Address:	2651 - 2653 Octavia Street	Applicant:	Jane Cote-Cook
Cross Street(s):	Green Street / Vallejo Street	Address:	2651 Octavia Street
Block/Lot No.:	0554 / 002	City, State:	San Francisco CA
Zoning District(s):	RH-2 / 40-X	Telephone:	(415) 510-1610
Record Number:	2018-011022PRJ	Email:	jcotecook@aol.com

You are receiving this notice as an owner or occupant of property within 150 feet of the proposed project. **You are not required to take any action.** For more information about the proposed project, or to express concerns about the project, please contact the Applicant listed above or the Planner named below as soon as possible. If you believe that there are exceptional or extraordinary circumstances associated with the project, you may request that the Planning Commission review this application at a public hearing for Discretionary Review. Requests for a Discretionary Review hearing must be filed during the 30-day review period, prior to the close of business on the Expiration Date shown above, or the next business day if that date is on a week-end or a legal holiday. If no Requests for Discretionary Review are filed, this project will be approved by the Planning Department after the Expiration Date.

Members of the public are not required to provide personal identifying information when they communicate with the Commission or the Department. All written or oral communications, including submitted personal contact information, may be made available to the public for inspection and copying upon request and may appear on the Department's website or in other public documents.

PROJECT SCOPE		
<input type="checkbox"/> Demolition	<input type="checkbox"/> New Construction	<input checked="" type="checkbox"/> Alteration
<input type="checkbox"/> Change of Use	<input checked="" type="checkbox"/> Facade Alteration(s)	<input type="checkbox"/> Front Addition
<input checked="" type="checkbox"/> Rear Addition	<input type="checkbox"/> Side Addition	<input checked="" type="checkbox"/> Vertical Addition
PROJECT FEATURES	EXISTING	PROPOSED
Building Use	Residential	No Change
Front Setback	Approx. 3 feet	Approx. 3 feet
Building Depth	Approx. 56 feet 9 inches	Approx. 76 feet 3 inches
Rear Yard	Approx. 65 feet 3 inches	Approx. 45 feet 9 inches
Building Height	Approx. 37 feet (to roof)	Approx. 40 feet
Number of Stories	3	4
Number of Dwelling Units	2	No Change
Number of Parking Spaces	2	2
PROJECT DESCRIPTION		
<p>The proposed project is to construct vertical and horizontal additions to an existing three-story, two-unit residential building. The proposed project will also include new decks at the rear and roof (with elevator penthouse), facade modifications (new front entry, garage opening, window modifications), and interior renovations. See attached plans.</p> <p>The issuance of the building permit by the Department of Building Inspection or the Planning Commission project approval at a discretionary review hearing would constitute as the Approval Action for the project for the purposes of CEQA, pursuant to Section 31.04(h) of the San Francisco Administrative Code.</p>		

To view plans or related documents, visit sf-planning.org/notices and search the Project Address listed above. Once the property is located, click on the dot(s) to view details of the record number above, its related documents and/or plans.

For more information, please contact Planning Department staff:

Sharon M. Young, (415) 558-6346, sharon.m.young@sfgov.org

GENERAL INFORMATION ABOUT PROCEDURES

Reduced copies of the proposed project plans have been included in this mailing for your information. If you have questions about the plans, please contact the project Applicant listed on the front of this notice. You may wish to discuss the plans with your neighbors or neighborhood association, as they may already be aware of the project. If you have general questions about the Planning Department's review process, contact the Planning Information Center (PIC) at 1660 Mission Street, 1st Floor (415) 558-6377 or pic@sfgov.org. If you have specific questions about the proposed project, you should contact the planner listed on the front of this notice.

If you believe that the impact on you from the proposed project is significant and you wish to seek to change the project, there are several procedures you may use. **We strongly urge that steps 1 and 2 be taken.**

1. Request a meeting with the project Applicant to get more information and to explain the project's impact on you.
2. Contact the nonprofit organization Community Boards at (415) 920-3820, or online at www.communityboards.org for a facilitated discussion in a safe and collaborative environment. Community Boards acts as a neutral third party and has, on many occasions, helped reach mutually agreeable solutions.
3. Where you have attempted, through the use of the above steps or other means, to address potential problems without success, please contact the planner listed on the front of this notice to discuss your concerns.

If, after exhausting the procedures outlined above, you still believe that exceptional and extraordinary circumstances exist, you have the option to request that the Planning Commission exercise its discretionary powers to review the project. These powers are reserved for use in exceptional and extraordinary circumstances for projects which generally conflict with the City's General Plan and the Priority Policies of the Planning Code; therefore the Commission exercises its discretion with utmost restraint. This procedure is called Discretionary Review. If you believe the project warrants Discretionary Review by the Planning Commission, **you must file a Discretionary Review application prior to the Expiration Date shown on the front of this notice.** Discretionary Review applications are available at the Planning Information Center (PIC), 1660 Mission Street, 1st Floor, or online at www.sfplanning.org. **You must submit the application in person** at the Planning Information Center (PIC), with all required materials and a check payable to the Planning Department. To determine the fee for a Discretionary Review, please refer to the Planning Department Fee Schedule available at www.sfplanning.org. If the project includes multiple building permits, i.e. demolition and new construction, a **separate request for Discretionary Review must be submitted, with all required materials and fee, for each permit that you feel will have an impact on you. Incomplete applications will not be accepted.**

If no Discretionary Review Applications have been filed within the Notification Period, the Planning Department will approve the application and forward it to the Department of Building Inspection for its review.

BOARD OF APPEALS

An appeal of the Planning Commission's decision on a Discretionary Review case may be made to the **Board of Appeals within 15 calendar days after the building permit is issued** (or denied) by the Department of Building Inspection. Appeals must be submitted in person at the Board's office at 1650 Mission Street, 3rd Floor, Room 304. For further information about appeals to the Board of Appeals, including current fees, contact the Board of Appeals at (415) 575-6880.

ENVIRONMENTAL REVIEW

This project has undergone preliminary review pursuant to California Environmental Quality Act (CEQA). If, as part of this process, the Department's Environmental Review Officer has deemed this project to be exempt from further environmental review, an exemption determination has been prepared and can be obtained through the Exemption Map at www.sfplanning.org. An appeal of the decision **to exempt the proposed project from CEQA may be made to the Board of Supervisors within 30 calendar days** after the project approval action identified on the determination. The procedures for filing an appeal of an exemption determination are available from the Clerk of the Board at City Hall, Room 244, or by calling (415) 554-5184.

Under CEQA, in a later court challenge, a litigant may be limited to raising only those issues previously raised at a hearing on the project or in written correspondence delivered to the Board of Supervisors, Planning Commission, Planning Department or other City board, commission or department at, or prior to, such hearing, or as part of the appeal hearing process on the CEQA decision.



SAN FRANCISCO PLANNING DEPARTMENT

CEQA Categorical Exemption Determination

PROPERTY INFORMATION/PROJECT DESCRIPTION

Project Address		Block/Lot(s)
2447 FRANCISCO ST		0931031
Case No.		Permit No.
2018-017309PRJ		201812219037
<input checked="" type="checkbox"/> Addition/ Alteration	<input type="checkbox"/> Demolition (requires HRE for Category B Building)	<input type="checkbox"/> New Construction
<p>Project description for Planning Department approval. Horizontal addition. Renovate & horizontal addition at rear. New roof terrace, new terrace & stair at rear. 2 new bedrooms, 3 new baths. ** maher: n/a **</p>		

STEP 1: EXEMPTION CLASS

The project has been determined to be categorically exempt under the California Environmental Quality Act (CEQA).	
<input checked="" type="checkbox"/>	Class 1 - Existing Facilities. Interior and exterior alterations; additions under 10,000 sq. ft.
<input type="checkbox"/>	Class 3 - New Construction. Up to three new single-family residences or six dwelling units in one building; commercial/office structures; utility extensions; change of use under 10,000 sq. ft. if principally permitted or with a CU.
<input type="checkbox"/>	<p>Class 32 - In-Fill Development. New Construction of seven or more units or additions greater than 10,000 sq. ft. and meets the conditions described below:</p> <p>(a) The project is consistent with the applicable general plan designation and all applicable general plan policies as well as with applicable zoning designation and regulations.</p> <p>(b) The proposed development occurs within city limits on a project site of no more than 5 acres substantially surrounded by urban uses.</p> <p>(c) The project site has no value as habitat for endangered rare or threatened species.</p> <p>(d) Approval of the project would not result in any significant effects relating to traffic, noise, air quality, or water quality.</p> <p>(e) The site can be adequately served by all required utilities and public services.</p> <p>FOR ENVIRONMENTAL PLANNING USE ONLY</p>
<input type="checkbox"/>	Class ____

STEP 2: CEQA IMPACTS

TO BE COMPLETED BY PROJECT PLANNER

<input type="checkbox"/>	<p>Air Quality: Would the project add new sensitive receptors (specifically, schools, day care facilities, hospitals, residential dwellings, and senior-care facilities within an Air Pollution Exposure Zone? Does the project have the potential to emit substantial pollutant concentrations (e.g., backup diesel generators, heavy industry, diesel trucks, etc.)? (refer to EP_ArcMap > CEQA Catex Determination Layers > Air Pollution Exposure Zone)</p>
<input type="checkbox"/>	<p>Hazardous Materials: If the project site is located on the Maher map or is suspected of containing hazardous materials (based on a previous use such as gas station, auto repair, dry cleaners, or heavy manufacturing, or a site with underground storage tanks): Would the project involve 50 cubic yards or more of soil disturbance - or a change of use from industrial to residential?</p> <p><i>if the applicant presents documentation of enrollment in the San Francisco Department of Public Health (DPH) Maher program, a DPH waiver from the Maher program, or other documentation from Environmental Planning staff that hazardous material effects would be less than significant (refer to EP_ArcMap > Maher layer).</i></p>
<input type="checkbox"/>	<p>Transportation: Does the project involve a child care facility or school with 30 or more students, or a location 1,500 sq. ft. or greater? Does the project have the potential to adversely affect transit, pedestrian and/or bicycle safety (hazards) or the adequacy of nearby transit, pedestrian and/or bicycle facilities?</p>
<input type="checkbox"/>	<p>Archeological Resources: Would the project result in soil disturbance/modification greater than two (2) feet below grade in an archeological sensitive area or eight (8) feet in a non -archeological sensitive area? If yes, archeo review is required (refer to EP_ArcMap > CEQA Catex Determination Layers > Archeological Sensitive Area)</p>
<input type="checkbox"/>	<p>Subdivision/Lot Line Adjustment: Does the project site involve a subdivision or lot line adjustment on a lot with a slope average of 20% or more? (refer to EP_ArcMap > CEQA Catex Determination Layers > Topography). If yes, Environmental Planning must issue the exemption.</p>
<input type="checkbox"/>	<p>Slope = or > 25%: Does the project involve any of the following: (1) square footage expansion greater than 500 sq. ft. outside of the existing building footprint, (2) excavation of 50 cubic yards or more of soil, (3) new construction? (refer to EP_ArcMap > CEQA Catex Determination Layers > Topography) If box is checked, a geotechnical report is required and Environmental Planning must issue the exemption.</p>
<input type="checkbox"/>	<p>Seismic: Landslide Zone: Does the project involve any of the following: (1) square footage expansion greater than 500 sq. ft. outside of the existing building footprint, (2) excavation of 50 cubic yards or more of soil, (3) new construction? (refer to EP_ArcMap > CEQA Catex Determination Layers > Seismic Hazard Zones) If box is checked, a geotechnical report is required and Environmental Planning must issue the exemption.</p>
<input type="checkbox"/>	<p>Seismic: Liquefaction Zone: Does the project involve any of the following: (1) square footage expansion greater than 500 sq. ft. outside of the existing building footprint, (2) excavation of 50 cubic yards or more of soil, (3) new construction? (refer to EP_ArcMap > CEQA Catex Determination Layers > Seismic Hazard Zones) If box is checked, a geotechnical report will likely be required and Environmental Planning must issue the exemption.</p>
<p>Comments and Planner Signature (optional): Shannon Ferguson</p>	

**STEP 3: PROPERTY STATUS - HISTORIC RESOURCE
TO BE COMPLETED BY PROJECT PLANNER**

PROPERTY IS ONE OF THE FOLLOWING: (refer to Property Information Map)	
<input type="checkbox"/>	Category A: Known Historical Resource. GO TO STEP 5.
<input checked="" type="checkbox"/>	Category B: Potential Historical Resource (over 45 years of age). GO TO STEP 4.
<input type="checkbox"/>	Category C: Not a Historical Resource or Not Age Eligible (under 45 years of age). GO TO STEP 6.

**STEP 4: PROPOSED WORK CHECKLIST
TO BE COMPLETED BY PROJECT PLANNER**

Check all that apply to the project.	
<input type="checkbox"/>	1. Change of use and new construction. Tenant improvements not included.
<input type="checkbox"/>	2. Regular maintenance or repair to correct or repair deterioration, decay, or damage to building.
<input checked="" type="checkbox"/>	3. Window replacement that meets the Department's <i>Window Replacement Standards</i> . Does not include storefront window alterations.
<input checked="" type="checkbox"/>	4. Garage work. A new opening that meets the <i>Guidelines for Adding Garages and Curb Cuts</i> , and/or replacement of a garage door in an existing opening that meets the Residential Design Guidelines.
<input type="checkbox"/>	5. Deck, terrace construction, or fences not visible from any immediately adjacent public right-of-way.
<input type="checkbox"/>	6. Mechanical equipment installation that is not visible from any immediately adjacent public right-of-way.
<input type="checkbox"/>	7. Dormer installation that meets the requirements for exemption from public notification under <i>Zoning Administrator Bulletin No. 3: Dormer Windows</i> .
<input type="checkbox"/>	8. Addition(s) that are not visible from any immediately adjacent public right-of-way for 150 feet in each direction; does not extend vertically beyond the floor level of the top story of the structure or is only a single story in height; does not have a footprint that is more than 50% larger than that of the original building; and does not cause the removal of architectural significant roofing features.
Note: Project Planner must check box below before proceeding.	
<input type="checkbox"/>	Project is not listed. GO TO STEP 5.
<input type="checkbox"/>	Project does not conform to the scopes of work. GO TO STEP 5.
<input type="checkbox"/>	Project involves four or more work descriptions. GO TO STEP 5.
<input checked="" type="checkbox"/>	Project involves less than four work descriptions. GO TO STEP 6.

**STEP 5: CEQA IMPACTS - ADVANCED HISTORICAL REVIEW
TO BE COMPLETED BY PROJECT PLANNER**

Check all that apply to the project.	
<input checked="" type="checkbox"/>	1. Project involves a known historical resource (CEQA Category A) as determined by Step 3 and conforms entirely to proposed work checklist in Step 4.
<input type="checkbox"/>	2. Interior alterations to publicly accessible spaces.
<input checked="" type="checkbox"/>	3. Window replacement of original/historic windows that are not "in-kind" but are consistent with existing historic character.
<input checked="" type="checkbox"/>	4. Façade/storefront alterations that do not remove, alter, or obscure character-defining features.
<input type="checkbox"/>	5. Raising the building in a manner that does not remove, alter, or obscure character-defining features.
<input type="checkbox"/>	6. Restoration based upon documented evidence of a building's historic condition, such as historic photographs, plans, physical evidence, or similar buildings.

<input checked="" type="checkbox"/>	7. Addition(s) , including mechanical equipment that are minimally visible from a public right-of-way and meet the <i>Secretary of the Interior's Standards for Rehabilitation</i> .
<input type="checkbox"/>	8. Other work consistent with the <i>Secretary of the Interior Standards for the Treatment of Historic Properties</i> (specify or add comments):
<input type="checkbox"/>	9. Other work that would not materially impair a historic district (specify or add comments): (Requires approval by Senior Preservation Planner/Preservation Coordinator)
<input type="checkbox"/>	10. Reclassification of property status. (Requires approval by Senior Preservation Planner/Preservation <input type="checkbox"/> Reclassify to Category A a. Per HRER or PTR dated <input type="checkbox"/> Reclassify to Category C (attach HRER or PTR) b. Other (specify):
Note: If ANY box in STEP 5 above is checked, a Preservation Planner MUST sign below.	
<input type="checkbox"/>	Project can proceed with categorical exemption review. The project has been reviewed by the Preservation Planner and can proceed with categorical exemption review. GO TO STEP 6.
Comments (optional):	
Preservation Planner Signature: Shannon Ferguson	

**STEP 6: CATEGORICAL EXEMPTION DETERMINATION
TO BE COMPLETED BY PROJECT PLANNER**

<input checked="" type="checkbox"/>	No further environmental review is required. The project is categorically exempt under CEQA. There are no unusual circumstances that would result in a reasonable possibility of a significant effect.	
	Project Approval Action: Building Permit	Signature: Shannon Ferguson
	If Discretionary Review before the Planning Commission is requested, the Discretionary Review hearing is the Approval Action for the project.	10/17/2019
Once signed or stamped and dated, this document constitutes a categorical exemption pursuant to CEQA Guidelines and Chapter 31 of the Administrative Code. In accordance with Chapter 31 of the San Francisco Administrative Code, an appeal of an exemption determination can only be filed within 30 days of the project receiving the approval action. Please note that other approval actions may be required for the project. Please contact the assigned planner for these approvals.		

STEP 7: MODIFICATION OF A CEQA EXEMPT PROJECT

TO BE COMPLETED BY PROJECT PLANNER

In accordance with Chapter 31 of the San Francisco Administrative Code, when a California Environmental Quality Act (CEQA) exempt project changes after the Approval Action and requires a subsequent approval, the Environmental Review Officer (or his or her designee) must determine whether the proposed change constitutes a substantial modification of that project. This checklist shall be used to determine whether the proposed changes to the approved project would constitute a "substantial modification" and, therefore, be subject to additional environmental review pursuant to CEQA.

PROPERTY INFORMATION/PROJECT DESCRIPTION

Project Address (If different than front page)		Block/Lot(s) (If different than front page)
2447 FRANCISCO ST		0931/031
Case No.	Previous Building Permit No.	New Building Permit No.
2018-017309PRJ	201812219037	
Plans Dated	Previous Approval Action	New Approval Action
	Building Permit	
Modified Project Description:		

DETERMINATION IF PROJECT CONSTITUTES SUBSTANTIAL MODIFICATION

Compared to the approved project, would the modified project:	
<input type="checkbox"/>	Result in expansion of the building envelope, as defined in the Planning Code;
<input type="checkbox"/>	Result in the change of use that would require public notice under Planning Code Sections 311 or 312;
<input type="checkbox"/>	Result in demolition as defined under Planning Code Section 317 or 19005(f)?
<input type="checkbox"/>	Is any information being presented that was not known and could not have been known at the time of the original determination, that shows the originally approved project may no longer qualify for the exemption?
If at least one of the above boxes is checked, further environmental review is required.	

DETERMINATION OF NO SUBSTANTIAL MODIFICATION

<input type="checkbox"/>	The proposed modification would not result in any of the above changes.
If this box is checked, the proposed modifications are categorically exempt under CEQA, in accordance with prior project approval and no additional environmental review is required. This determination shall be posted on the Planning Department website and office and mailed to the applicant, City approving entities, and anyone requesting written notice. In accordance with Chapter 31, Sec 31.08j of the San Francisco Administrative Code, an appeal of this determination can be filed within 10 days of posting of this determination.	
Planner Name:	Date:



DISCRETIONARY REVIEW PUBLIC (DRP) APPLICATION

Discretionary Review Requestor's Information

Name: Paul Guermonprez for 2634 Octavia Street HOA, 1791-1795 Green Street HOA

Address: 2634 Octavia Street
94123 San Francisco

Email Address: paul.guermonprez@gmail.com

Telephone: 415-758-3366

Information on the Owner of the Property Being Developed

Name: Jane Cote-Cook

Company/Organization: Jane Cote-Cook

Address: 2651 Octavia Street
94123 San Francisco

Email Address: jcotecook@aol.com

Telephone: 415-510-1610

Property Information and Related Applications

Project Address: 2651-2653 Octavia Street - 94123 San Francisco

Block/Lot(s): 0554-002

Building Permit Application No(s): 2018.08.03.6405

ACTIONS PRIOR TO A DISCRETIONARY REVIEW REQUEST

PRIOR ACTION	YES	NO
Have you discussed this project with the permit applicant?		<input checked="" type="checkbox"/>
Did you discuss the project with the Planning Department permit review planner?		<input checked="" type="checkbox"/>
Did you participate in outside mediation on this case? (including Community Boards)		<input checked="" type="checkbox"/>
<p>Changes Made to the Project as a Result of Mediation. If you have discussed the project with the applicant, planning staff or gone through mediation, please summarize the result, including any changes that were made to the proposed project.</p>		
<p>We tried several times to contact the building permit applicant with the information provided on the notice to discuss the project. She never answered and never called back.</p>		

DISCRETIONARY REVIEW REQUEST

In the space below and on separate paper, if necessary, please present facts sufficient to answer each question.

1. What are the reasons for requesting Discretionary Review? The project meets the standards of the Planning Code and the Residential Design Guidelines. What are the exceptional and extraordinary circumstances that justify Discretionary Review of the project? How does the project conflict with the City's General Plan or the Planning Code's Priority Policies or Residential Design Guidelines? Please be specific and site specific sections of the Residential Design Guidelines.

1. Refusal of concertation. 2. Major loss of natural light for the library users. 3. Architectural impact. 4. Loss of light for LEED-Gold solar panel on the library roof. 5. Exceeds 40' height restriction. 6. Loss of vue and value for neighbors.
See attached documents for details and photos.

2. The Residential Design Guidelines assume some impacts to be reasonable and expected as part of construction. Please explain how this project would cause unreasonable impacts. If you believe your property, the property of others or the neighborhood would be unreasonably affected, please state who would be affected, and how.

Unreasonable impacts: The project would unreasonably impact the Golden Gate Library with a major loss of light for users and LEED-Gold solar panels on the roof. We are regular users of the library. The project would also unreasonably impact the Octavia roof line and architectural character of the library. We are facing this roof line. See attached documents for details and photos.

3. What alternatives or changes to the proposed project, beyond the changes (if any) already made would respond to the exceptional and extraordinary circumstances and reduce the adverse effects noted above in question #1?

Removal of the additional level from the project is the only way to minimize the unreasonable effects of the project. Removal of the depth extension would further mitigate the unreasonable effects.

DISCRETIONARY REVIEW REQUESTOR'S AFFIDAVIT

Under penalty of perjury the following declarations are made:

a) The undersigned is the DR requestor or their authorized representation.

Signature 

PAUL GUERMONTPREZ

Name (Printed)

President of 2634 Octavia

415-758-3366

paul.guermontprez@gmail.com

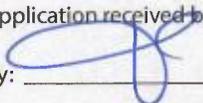
Relationship to Requestor
(i.e. Attorney, Architect, etc.)

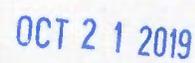
Phone

Email

For Department Use Only

Application received by Planning Department:

By:  

Date: 


Discretionary Review

To: Planning Commission

Regarding: Construction on 2651-2653 Octavia St,
Permit Application 2018.08.03.6405, Record number 2018-011022PRJ

From: 2634 Octavia Street HOA, 1791-1795 Green Street HOA

After carefully reviewing the impact of the construction proposed by 2651-2653 Octavia St, the 2634 Octavia Street HOA and the 1791-1795 Green Street HOA would like to oppose the construction for the following reasons:

1. **Refusal of concertation:** We tried several times to join the number listed in the permit application for a concertation. We got stonewalled: not answering and they never called back.
2. The construction would infringe on the light to the Golden Gate Valley Library, and cause a **major loss of natural light** for its many daily users. As shown on photo #1 and #2, the current 2651-2653 Octavia building is already blocking half of the light for the main windows. Additional levels would block all direct sunlight to the two windows and the depth extension would also block the light for a third window. The library is the focal point of the neighbourhood, it is a place of culture, learning and exchange plus it is a family-focused center for young children's play and learning groups.
3. **Architectural impact to the roof line and Golden Gate Valley Library:** Octavia St is made of A-shaped buildings of similar height, with an harmonious slope leading to the library. See photo #3. The proposed construction will totally break this harmony and bring a higher and larger rectangle close to the lower round library. It would also start a trend that would drastically change the character of San Francisco.
4. **The construction goes against the city's climate change policy and investments.** If approved, this construction will cause the new solar panels of the Golden Gate Valley Library roof to receive much less sunlight. The library is an LEED certified Gold structure, it will make this public investment less efficient and would show our city's lack of commitment to the climate change fight. See photo #2.
5. **Height restrictions:** The roof top garden appears to exceed the 40' maximum limit and the elevator to this roof top garden also appears to exceed the maximum 40' height restriction.
6. **Loss of value for neighbors:** The construction would cause the owners of the 2634 apartments (long time owners, most middle class workers, some retired) and 1791-1795 Green Street to lose sunset light (for the 2 lower levels) and Golden Gate/bay view (for the 2 upper levels). It means an aggregated loss of real estate value estimated of 640k\$ and transfer of that value from the long time middle class neighbors to the new real estate company requesting the permit.

To summarize, allowing this construction would mean prioritizing the speculative gains of a real estate developer over the loss of long time middle class neighbors, public library users, public land value and architectural character for the city. It would set an unstoppable trend in wild architectural modifications, further push the gentrification and transfer of value from old neighbors to new real estate developers.

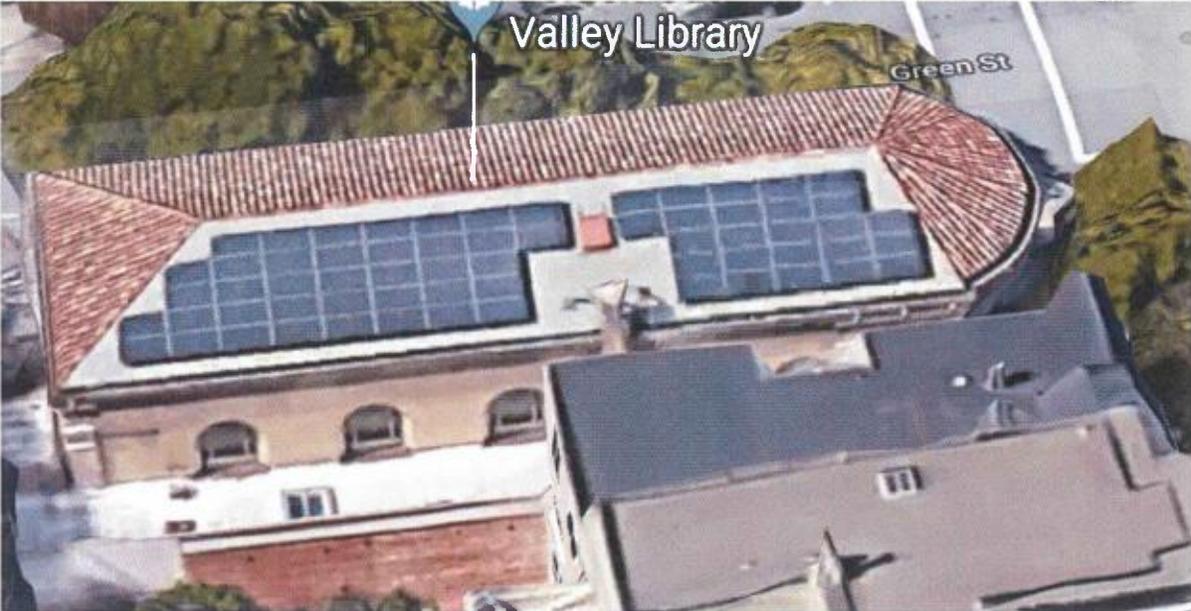
We urge you to reject this building permit.

Regarding: Construction on 2651-2653 Octavia St,
Permit Application 2018.08.03.6405, Record number 2018-011022PRJ

Photo1: South facing windows of the Golden Gate Valley Library. The additional level would totally block the south natural light.



Photo2 : Sky view of 2651-2653 Octavia St next to the library. The additional level would cause several hours of shade to the solar panels



Regarding: Construction on 2651-2653 Octavia St,
Permit Application 2018.08.03.6405, Record number 2018-011022PRJ

Photo 3: Octavia St roof line is made of 2-levels houses leading to the library. The proposed building would destroy the character of the roof line and create a big square building next to the library.



Photo 4: Library from the Green-Octavia corner, 2nd level height.



Regarding: Construction on 2651-2653 Octavia St,
Permit Application 2018.08.03.6405, Record number 2018-011022PRJ

Letter of authorization

From: 1791-1795 Green Street HOA - President
Subject: Authorization to represent

I, Elizabeth Reilly, president of the 1791-1795 Green Street HOA, authorize Paul Guermonprez, president of the 2634 Octavia Street HOA, to represent us and file the present discretionary review regarding the permit number 2018-08-03-6405.



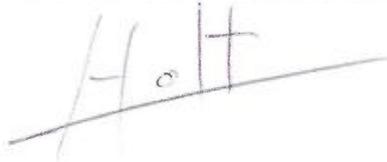
Elizabeth Reilly,
president of the 1791-1795 Green Street HOA

From: 1791-1795 Green Street HOA - President
Subject: Authorization to represent

Regarding: Construction on 2651-2653 Octavia St,
Permit Application 2018.08.03.6405, Record number 2018-011022PRJ

I, Maureen Holt, CFO of the 1791-1795 Green Street HOA, authorize Paul Guermonprez, president of the 2634 Octavia Street HOA, to represent us and file the present discretionary review regarding the permit number 2018-08-03-6405.

Maureen Holt
1791-1795 Green Street HOA



Regarding: Construction on 2651-2653 Octavia St,
Permit Application 2018.08.03.6405, Record number 2018-011022PRJ

Letter of authorization

From: 2634 Octavia Street HOA - President
Subject: Authorization to represent

After deliberation, the 2634 Octavia Street HOA authorize the president Paul Guermonprez, to represent us and file the discretionary review regarding the permit number 2018-08-03-6405.

Paul Guermonprez
President of the 2634 Octavia Street HOA

A handwritten signature in dark ink, appearing to be 'PG' with a large flourish underneath.

RESPONSE TO DISCRETIONARY REVIEW (DRP)



**San Francisco
Planning**

SAN FRANCISCO PLANNING DEPARTMENT
1650 MISSION STREET, SUITE 400
SAN FRANCISCO, CA 94103-2479
MAIN: (415) 558-6378 SFPLANNING.ORG

Project Information

Property Address:

Zip Code:

Building Permit Application(s):

Record Number:

Assigned Planner:

Project Sponsor

Name:

Phone:

Email:

Required Questions

1. Given the concerns of the DR requester and other concerned parties, why do you feel your proposed project should be approved? (If you are not aware of the issues of concern to the DR requester, please meet the DR requester in addition to reviewing the attached DR application.)

2. What alternatives or changes to the proposed project are you willing to make in order to address the concerns of the DR requester and other concerned parties? If you have already changed the project to meet neighborhood concerns, please explain those changes and indicate whether they were made before or after filing your application with the City.

3. If you are not willing to change the proposed project or pursue other alternatives, please state why you feel that your project would not have any adverse effect on the surrounding properties. Include an explanation of your needs for space or other personal requirements that prevent you from making the changes requested by the DR requester.

Project Features

Please provide the following information about the project for both the existing and proposed features. **Please attach an additional sheet with project features that are not included in this table.**

	EXISTING	PROPOSED
Dwelling Units (only one kitchen per unit - additional kitchens count as additional units)		
Occupied Stories (all levels with habitable rooms)		
Basement Levels (may include garage or windowless storage rooms)		
Parking Spaces (Off-Street)		
Bedrooms		
Height		
Building Depth		
Rental Value (monthly)		
Property Value		

I attest that the above information is true to the best of my knowledge.

Signature:	Date:
Printed Name:	<input type="checkbox"/> Property Owner <input type="checkbox"/> Authorized Agent

If you have any additional information that is not covered by this application, please feel free to attach additional sheets to this form.

Discretionary Review Response

To: Planning Commission

Regarding: Construction on 2651-2653 Octavia St

Permit Application 2018.08.03.6405, Record Number 2018-01102PRJ

From: Jane Cote-Cook, Owner 2651-53 Octavia Street

Page 1 of 7

After carefully reviewing the Discretionary Review packet we have the following response:

1) Refusal of Concertation

The representatives from 2634 Octavia HOA and 1791-95 HOA state that they tried to reach out to us regarding the project and “were stonewalled and never called back”. However, we received no such phone call, and no messages were left on phone mail. We had four people call us, to which we (owners and/or architects Sarah Roitman and Alan Zee) responded quickly via email or telephone call.

Neighbor #1 - expressed concerns about the added roof top deck and the elevator penthouse. We listened carefully to his concerns, and provided more details with elevation photos. He expressed his thanks and was satisfied with our responses.

Neighbor #2 –concerned over the construction timeline and impact this construction would have on the neighbors. We gave her our proposed timeline, and suggested that we meet prior to construction to discuss ideas on how to mitigate inconvenience to neighbors.

Neighbor #3 –contacted our architects via telephone and said she had questions about our project. Our architects reached out to her on several occasions, and she did not call back.

Neighbor #4 – representative from the Pacific Heights Residents Association called about the 311 notice they received. She was meeting with her board and wanted a clear explanation of the project. Our architect, Sarah Roitman, walked her through the plans. Her specific questions were regarding the setbacks and where our plans accommodated our neighbor’s building at 2619 Octavia. She responded positively to the fact that the planning department had thoroughly gone over the plans, that accommodations were met with regard to design within parameters of the neighborhood character. There were no additional comments, objections or questions after this phone call.

2) Loss of Natural Light to Golden Gate Library

- a. The top two floors that currently exist and the proposed addition of 2651-53 Octavia are set back 15 feet from the Golden Gate Library, allowing a large “light well” for natural light to the Library.
- b. Currently, it appears that too much light is coming into the library windows, as all the bottom half of the windows that face 2651-53 Octavia Street are covered with a dark grey shade. (See photos attached). There may be many reasons for these shades: Direct sunlight proves to be damaging to the documents and books in the library and the glare from direct sunlight is distracting to users reading at the tables or using their laptops. We believe that our addition of one floor and roof deck (of which the railing will be glass) will not affect the natural light as the light well is 15 feet and the total height of our building will be the same height as 2619 Octavia and lower than the other buildings along the west side of Octavia.

Discretionary Review Response

To: Planning Commission

Regarding: Construction on 2651-2653 Octavia St

Permit Application 2018.08.03.6405, Record Number 2018-01102PRJ

From: Jane Cote-Cook, Owner 2651-53 Octavia Street

Page 2 of 7

3) Architectural Impact

- a. The architects and owners worked diligently for more than one year with the SF Planning Department on the overall façade and addition design. We had multiple meetings with planner Sharon Young and her supervisor Elizabeth Gordon-Jonckheer. There was extensive input from Shannon in Preservation and Luiz from RDAT, after which design changes were made. Thirteen months after we started the process, we received approval from the Planning department, that our design complied with their guidelines, and that we could proceed with the 311 process. A brief summary of the architectural considerations is as follows:

As suggested in the SF Planning Guidelines, section IV, to keep our building from sticking out in an unsightly way, and to maintain the character of the neighborhood, we set back the addition from the facade. The facade of the 2651-53 Octavia will remain unchanged, with the mansard roof details intact. The new addition will sit **behind** the current mansard roof, and will project up only an additional 3 feet over the mansard detail. This increase will have minimal design impact from the front and sides of the building.

The windows will be replaced with a better quality; however, the design will be unchanged on the façade. The side windows visible from the street are to compliment the façade and be lined up on all floors.

To minimize the garage door prominence, we designed 1 door centered on the right bay, reducing it to 10 feet. The curb cut will be reduced to allow for more curb and street parking.

The front entryway is currently unsightly with a black imposing gate. We designed the front entry way to be a more prominent feature and more in keeping with other buildings in the neighborhood.

Landscaping was added to the façade to soften the prominence of the building at street level, and add greenery.

- b. With the additional floor, 2651-53 Octavia will be approximately the same height as its neighbor, 2619 Octavia Street. See Photo attached.

Discretionary Review Response

To: Planning Commission

Regarding: Construction on 2651-2653 Octavia St

Permit Application 2018.08.03.6405, Record Number 2018-01102PRJ

From: Jane Cote-Cook, Owner 2651-53 Octavia Street

Page 3 of 7

4) Climate Change Investments

- a. Currently, there are no Building Department regulations regarding the protection of sunlight to solar panels.
- b. We hired an independent Bioclimatic Consulting firm, Symphysis to complete a shadow study of our property and its impact on the Golden Gate Library. The complete report can be found at the end of this response. In summary, the shadow impact of the expansion of 2653 Octavia on the Golden Gate Library is minimal – 5.8% decrease in solar generation annually. This decrease of production represents in dollars approximately \$178 - \$187.

5) Height Restrictions

- a. The maximum allowed height of a building is 40 feet, with which 2651-53 complies.
- b. Per Planning code section 260/B/2/A: The following features shall be exempt, without regard to their horizontal area, provided the limitations indicated for each are observed: Railings, parapets and catwalks with a maximum of four feet. The railing/windscreen for the roof deck and garden is under four feet, and we have designed the windscreen is to be glass.
- c. Per planning code 260/B/1/B: This code references elevator, stair and mechanical penthouses, skylights and dormer windows. This exemption of a structure that is built over the 40 ft building height is limited to 10 feet. As designed, our elevator penthouse is below this limit.

6) Loss of Value for Neighbors

- a. We believe that the owners of 2634 Octavia and 1791-1795 Green are exaggerating the impact of our addition on their sunlight. Both of these buildings are on the East side of the street, a minimum distance of 67 feet from our building. They will not be adversely affected with limiting sunlight from our project. As well, 2634 Octavia is not directly across from our property, but two doors up the block – with its front door across from 2617 Octavia.
- b. We believe that the owners also exaggerate the impact to their views since the current building height, with the mansard roof detail, is 37 feet, and the addition will only be adding an additional 3 feet, and properly set back from the mansard roof.
- c. The Urban Design Element of the General plan protects views from public spaces, but do not provide for protecting views from private property. (See pg. 11 of the SF Planning Design Guidelines).

To: Planning Commission

Regarding: Construction on 2651-2653 Octavia St

From: Jane Cote-Cook, Owner 2651-53 Octavia Street

Page 4 of 7

In conclusion, the Discretionary Review Applicants are under the impression that we are real estate developers. However, we are long-time 30-year residents of San Francisco, who have lived and raised our family in Pacific Heights. Our plan is to occupy the two units with our extended family (my husband and I, elderly parents, and children). The elevator and the elevator penthouse are integral to our plans for ADA mobility.

The renovation of 2651-53 Octavia achieves our desire to renovate a property that is in disrepair, create a more usable space for our family, and a more appealing building that will add aesthetic value to the neighborhood.

Our plans have been in an extensive review process by the Planning Department for over one year. We have made many changes to enhance the architectural value, neighborhood character, and comply with the San Francisco Building Codes and Design Guidelines. The Discretionary Review comments from representatives of 2634 Octavia HOA and 1791-1795 HOA grossly exaggerate the impact on their buildings and on the Golden Gate Library.

We wish to proceed with our project as it is currently designed. We would like to request an intermediary meeting, and depending on the results of that meeting, plan to attend the Discretionary hearing scheduled on February 6, 2020.

Regards,

Jane Coté-Cook
Christopher Cook
Cook Family Trust, Owners, 2651-53 Octavia

SF Planning Department Design Guidelines

https://default.sfplanning.org/publications_reports/residential_design_guidelines.pdf

Notes:

The current building depth is 59' 9" and the proposed building has varied depths depending on the floor. We matched the depths of 2619 (our neighbor to the south) so as not to impact their property in depth.

1st floor: 76' 2" - Provides for parking garage, storage, elevator, and living space

2nd floor: 70' 2" – living spaces, 9' deck (outdoor space with access to back yard)

3rd floor: 70' 2" – Living spaces

4th floor: 53' 1" – living spaces, 10' deck

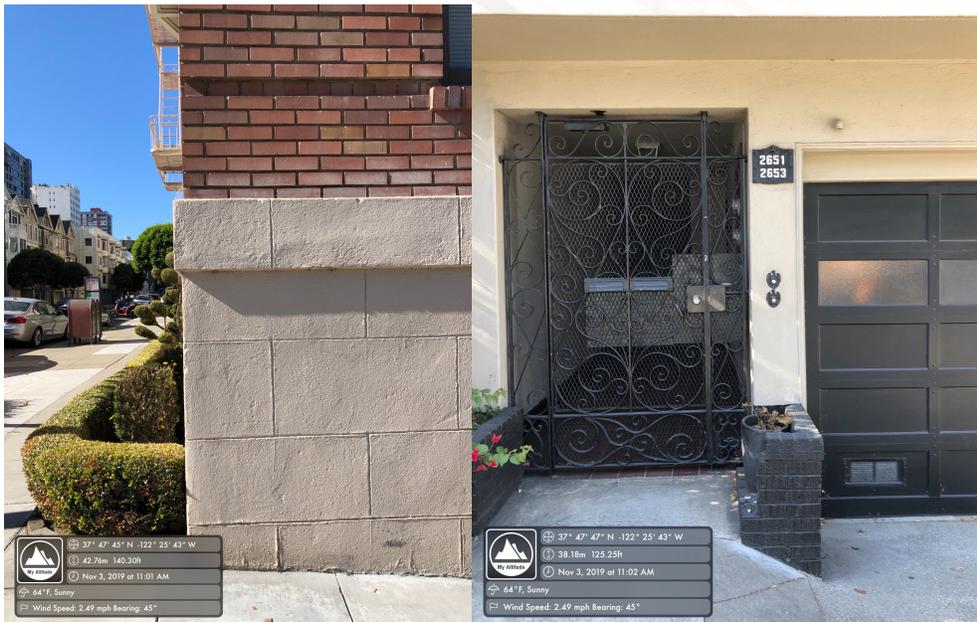
To: Planning Commission

Regarding: Construction on 2651-2653 Octavia St

Grey Shades on bottom half of window at Library



Elevation change from Vallejo Street to 2651-53 Octavia Street

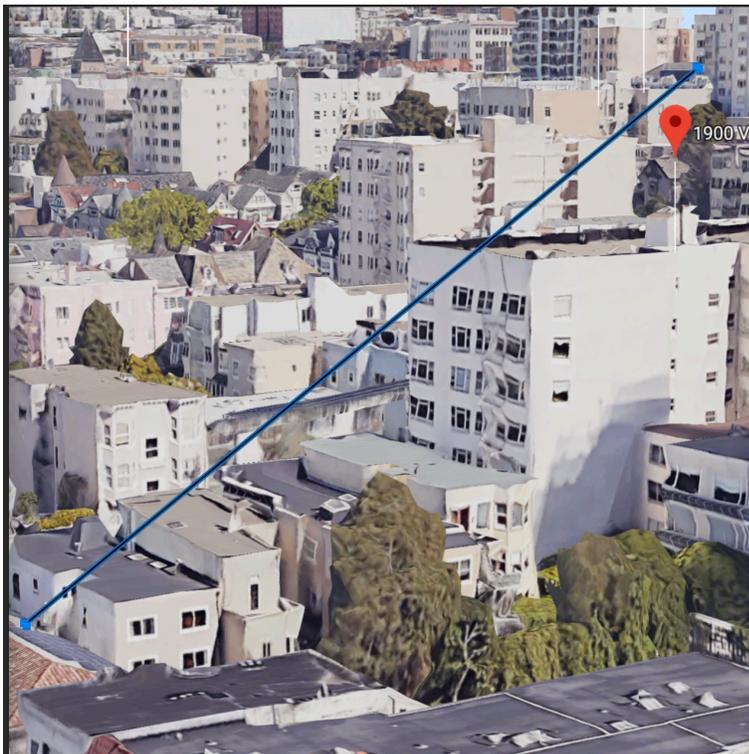


To: Planning Commission
Regarding: Construction on 2651-2653 Octavia St

View from above 2651-953 Octavia. The 4th floor addition will be behind the mansard roof detail, and its height will be only 3 feet above the highest Mansard detail.



West side of Octavia – 1900 Vallejo looms large at the top of the hill and poses the biggest threat to shadowing of light to the entire block.

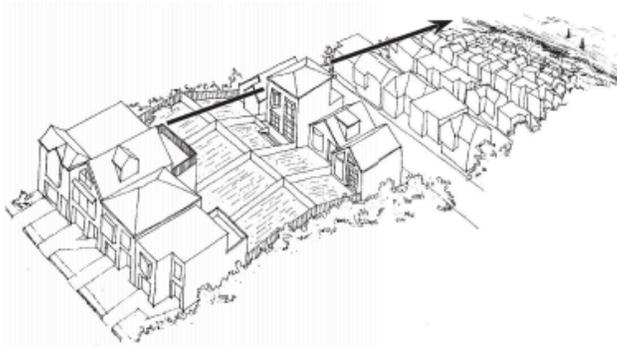


VIEWS

GUIDELINE: Protect major public views from public spaces.

The Urban Design Element of the General Plan calls for the protection of major public views in the City, with particular attention to those of open space and water. Protect major views of the City as seen from public spaces such as streets and parks by adjusting the massing of proposed development projects to reduce or eliminate adverse impacts on public view sheds. The General Plan, Planning Code and these Guidelines do not provide for protecting views from private property.

The Urban Design Element identifies streets that are important for their quality of views (page I.5.16) and identifies outstanding and unique areas that contribute to San Francisco's visual form and character (page I.5.25).



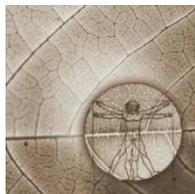
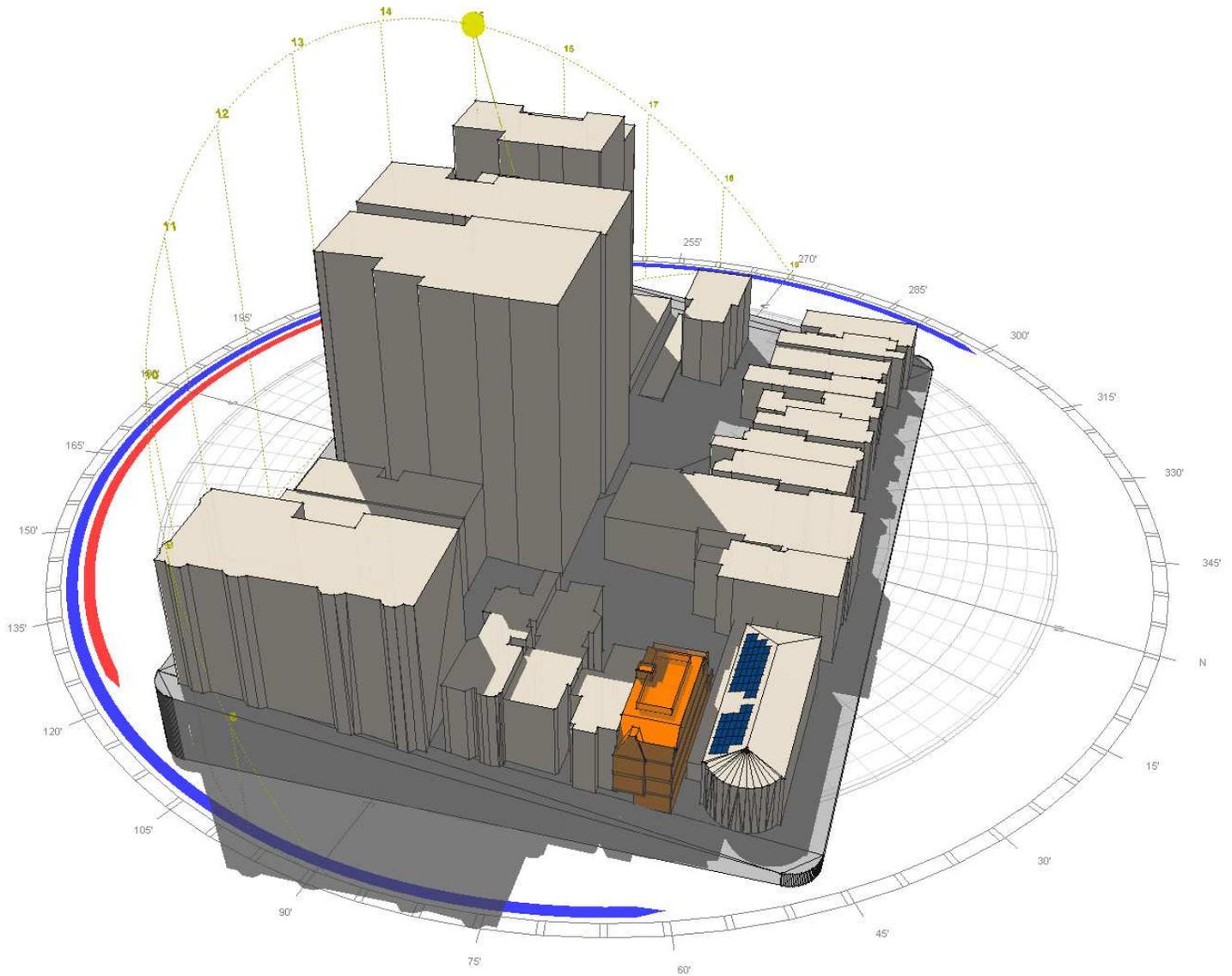
Views from this private building and deck are not protected.



Views from public areas, such as parks, are protected. The massing of this building impacts the view from the public park.

SHADING IMPACT ANALYSIS REPORT

FOR 2653 OCTAVIA STREET | DECEMBER 1ST 2019



Report prepared by
Olivier PENNETIER, LEED AP, CEA
SYMPHYSIS
Bioclimatic Design Consulting
olivier@symphysis.net

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SHADING IMPACT ANALYSIS REPORT	1
I. INTRODUCTION & ANALYSIS SUMMARY	3
II. PROJECT LOCATION	4
III. PROPOSED PROJECT DESCRIPTION	5
IV. ANALYSIS METHODOLOGY & FINDINGS	7

I. INTRODUCTION & ANALYSIS SUMMARY

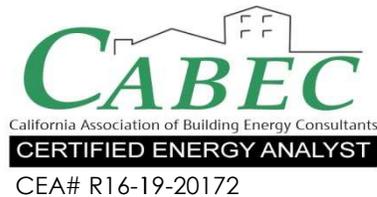
SYMPHYSIS was asked to perform a shading analysis to assess the shading impact of a proposed vertical and horizontal addition, located at 2651-2653 Octavia Street, upon the adjacent building's photovoltaic system located on the roof of 1801 Green Street.

After performing the analysis, SYMPHYSIS concludes that **the proposed project at 2653 Octavia Street would reduce solar radiation by an average of 5.8%** on the existing photovoltaic system at 1801 Green Street.

The report herein describes the proposed project, as well as the methodology used for the shading analysis along with its results. ■



Olivier A. Pennetier, MArch, LEED AP
SYMPHYSIS Principal
12/01/2019



Our services consist of professional opinions and conclusions developed in accordance with generally accepted environmental design, solar engineering and daylighting design principles and practices. Our conclusions and recommendations are based on the information provided by the clients, USGS Digital Elevation Model and publically available Geographic Information System database.

II. PROJECT LOCATION

The proposed project is located at 2653 Octavia Street, in the Northeastern corner of the Pacific Heights neighborhood, block 0554, lot 002. ■

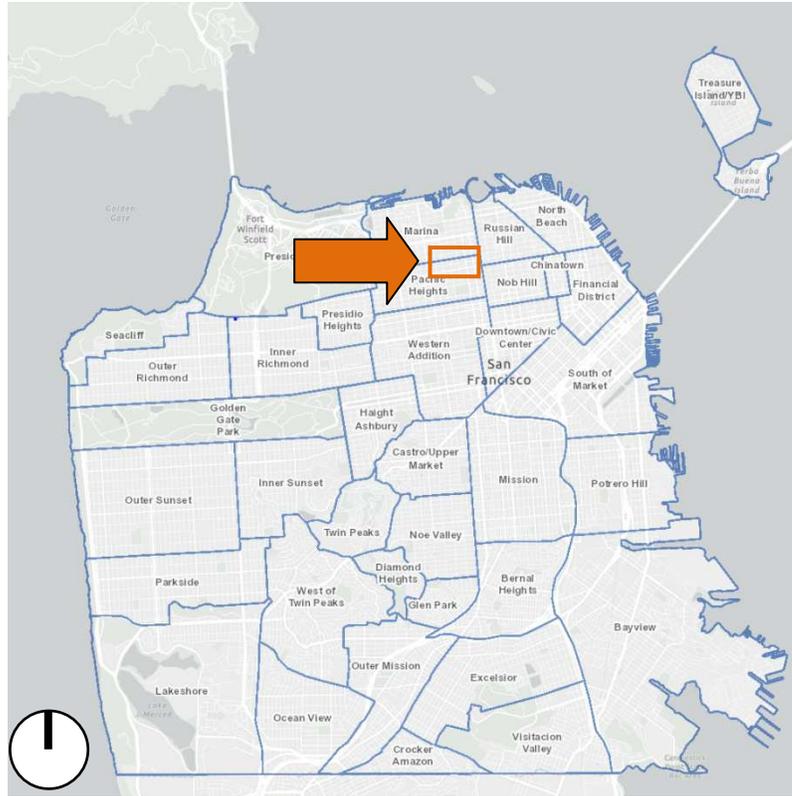


FIGURE 1: LOCATION MAP

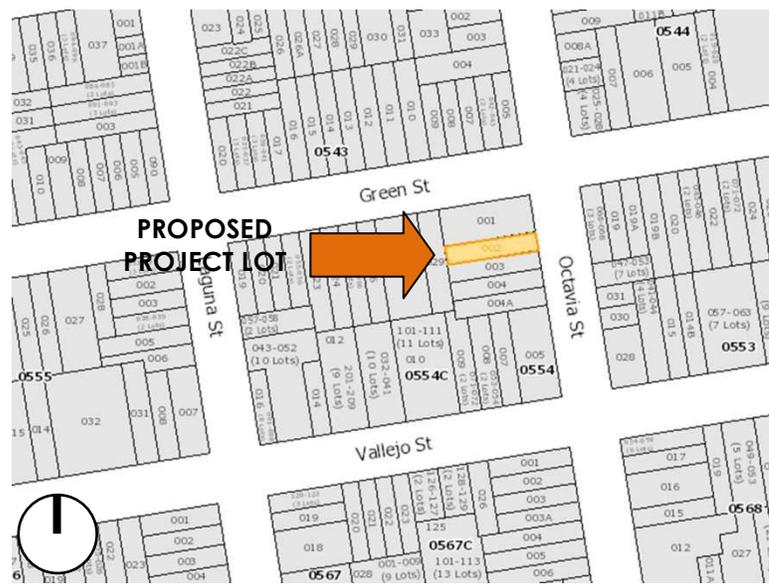


FIGURE 2: BLOCK MAP

III. PROPOSED PROJECT DESCRIPTION

The proposed design features a new fourth story addition on top of an existing 3 story single family residence. The new addition will increase the height of the building to 39'-10 ½".

The following images show the 3D massing models for the existing conditions and proposed design. ■

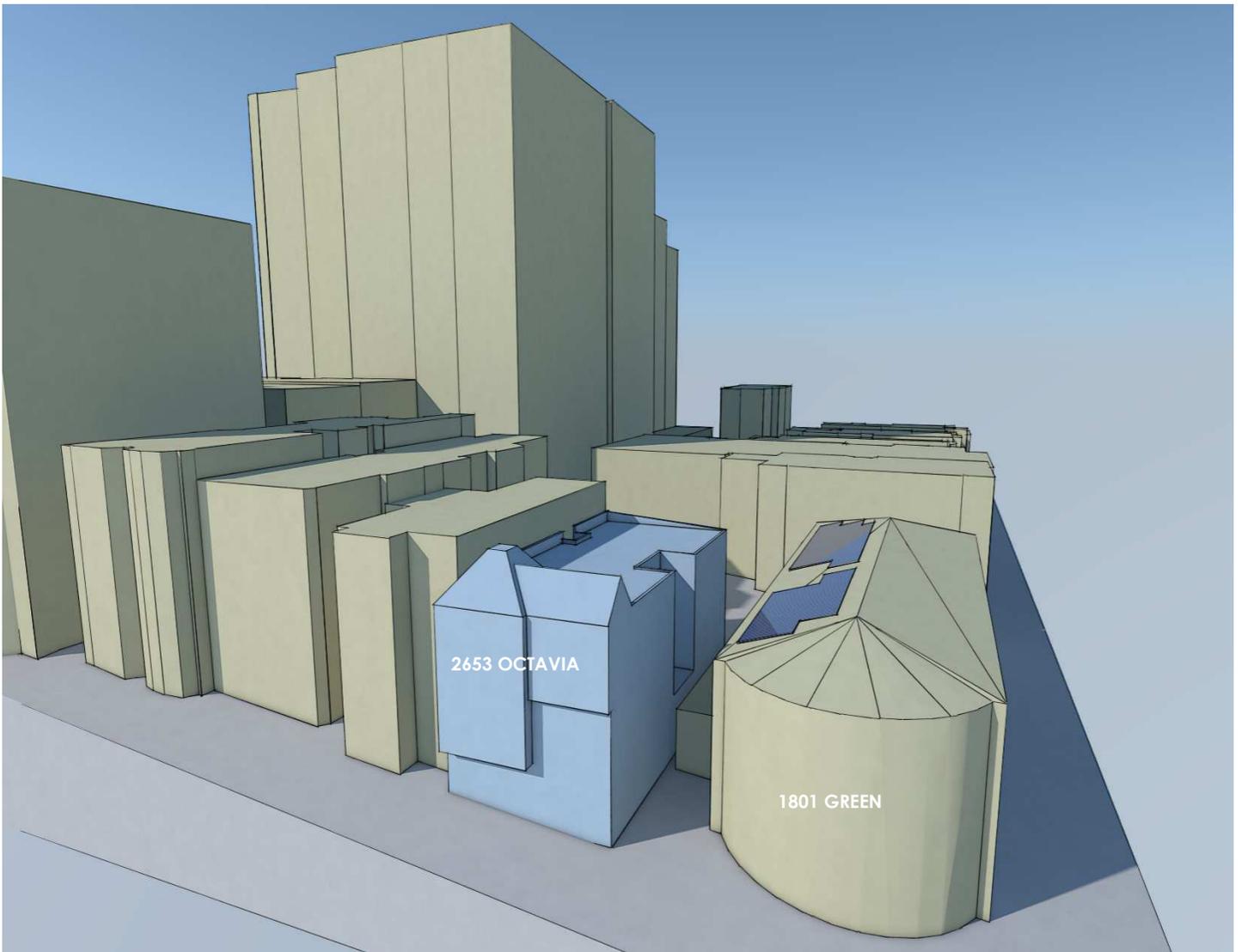


FIGURE 3: 3D MASSING MODEL OF THE EXISTING CONDITIONS.

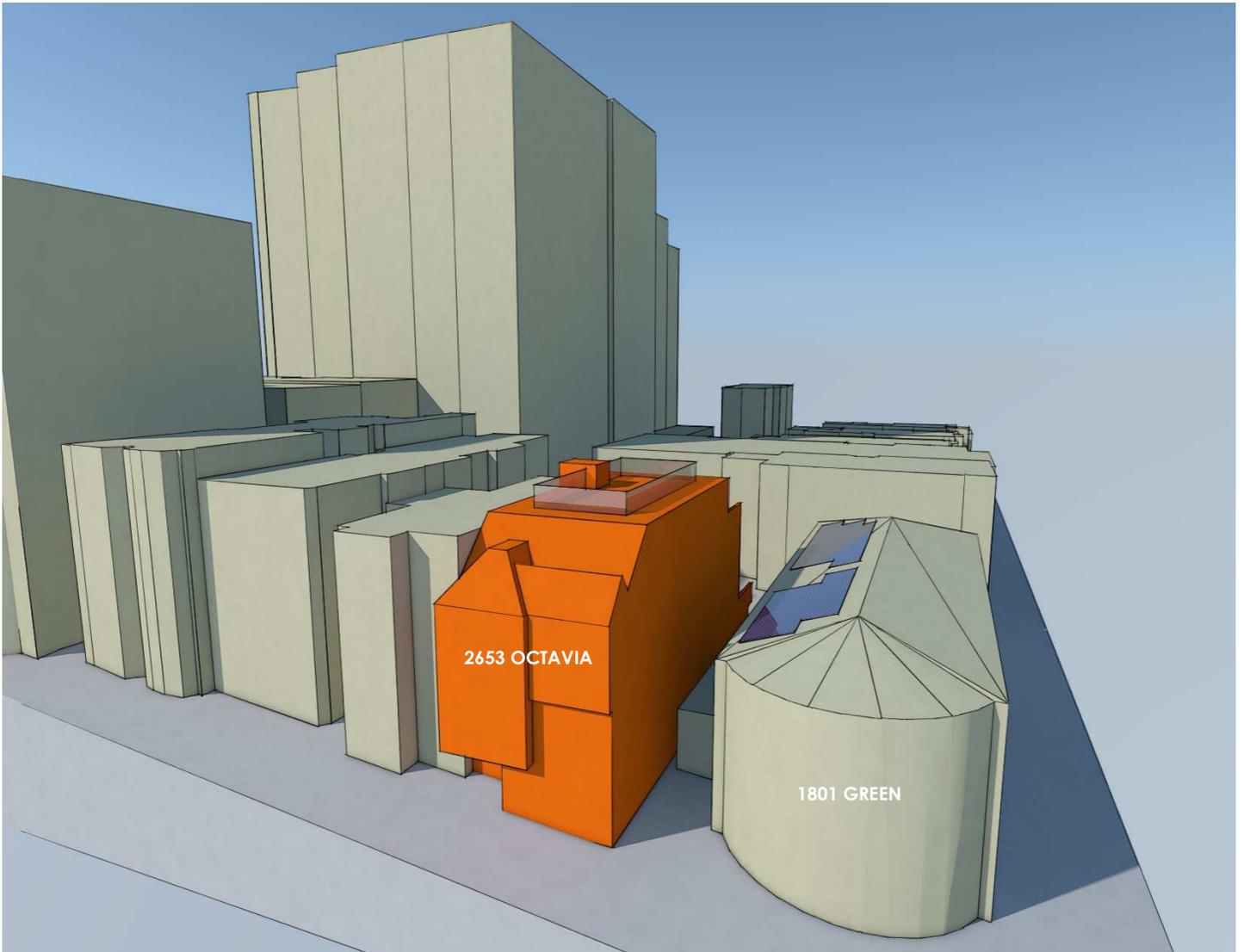


FIGURE 4: 3D MASSING MODEL OF THE PROPOSED DESIGN.

IV. ANALYSIS METHODOLOGY & FINDINGS

SYMPHYSIS utilized various tools to develop this shading impact analysis. Here is a breakdown of the analysis process, and the tools used at each stage of the analysis:

- 1) A 3D model of the existing and proposed conditions was created within a CAD software (ArchiCAD), using the 2D drawings from the architect of the proposed project. The surrounding buildings were constructed from the latest GIS (Geographic Information System) layer of San Francisco building footprints obtainable at data.sfgov.org. The heights of the buildings were derived from photogrammetric model from Google Earth. The size of the photovoltaic system located on the roof of the neighbor at 1801 Green Street was estimated from aerial photographs.

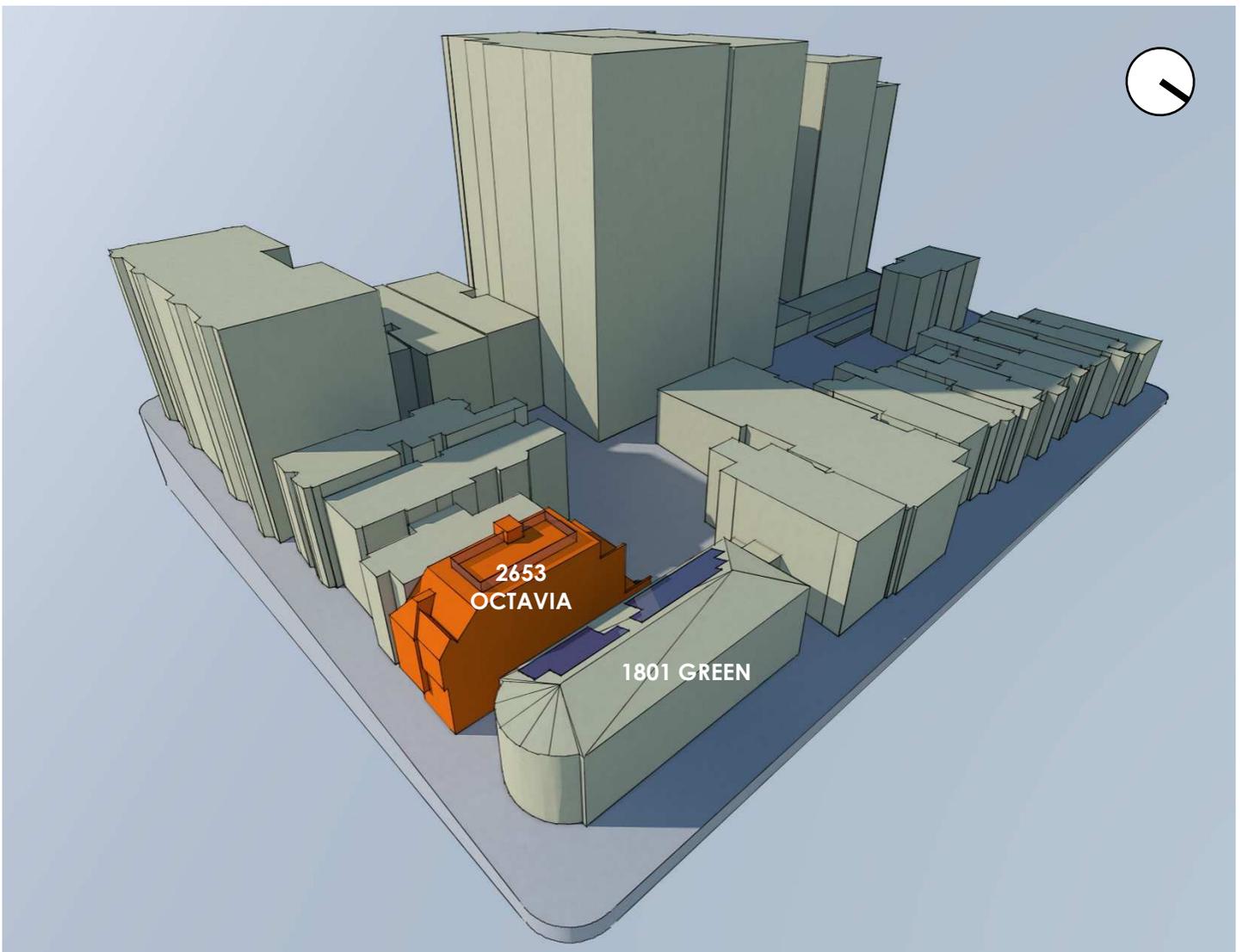


FIGURE 5: 3D MASSING MODEL OF PROPOSED CONDITIONS.

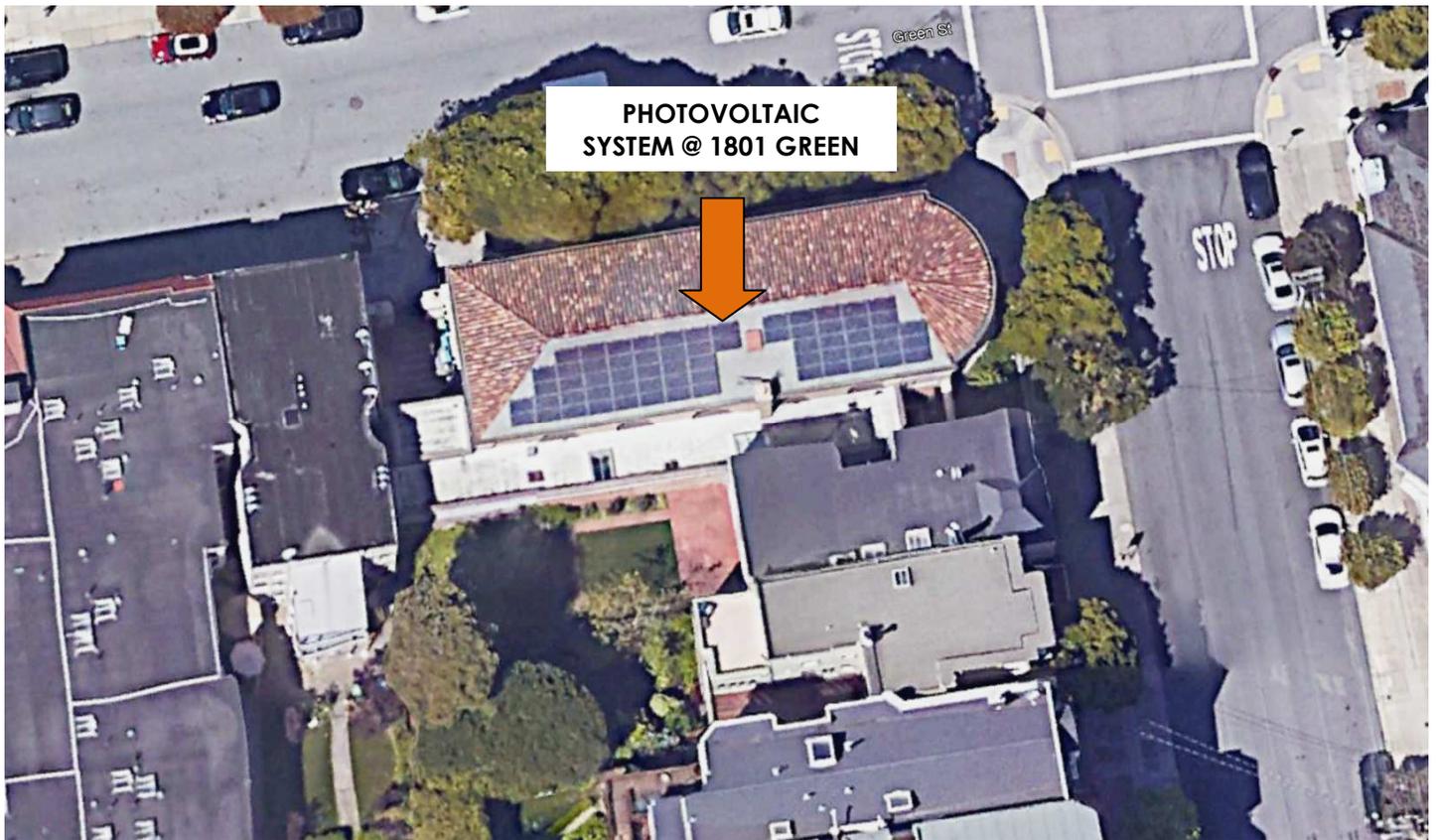


FIGURE 6: AERIAL PHOTOGRAPH OF THE PHOTOVOLTAIC SYSTEM AT 1801 GREEN STREET DATED 03/26/2018.

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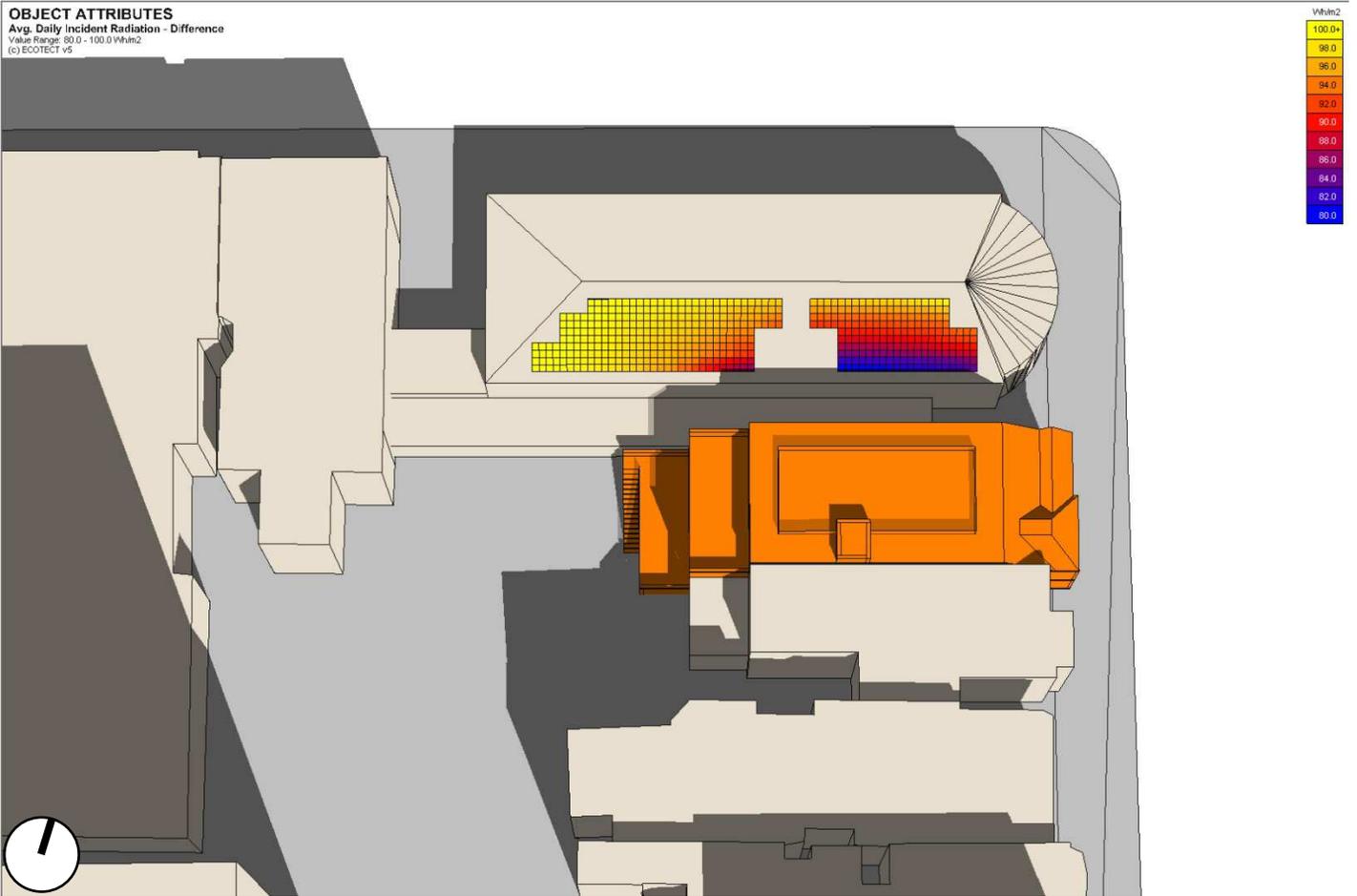


FIGURE 7: PERCENTAGE OF ANNUAL SOLAR RADIATION RECEIVED WITH THE PROPOSED PROJECT COMPARED TO EXISTING CONDITIONS.

After compiling all the results of the various analyses, SYMPHYSIS concludes that the proposed project at 2653 Octavia Street would reduce the amount of solar radiation on the existing photovoltaic system by 5.8%. Most of the shading impact would occur on the lower right (southeastern) panels located closer to the proposed project, and mainly between Fall and Winter, time at which solar radiation is weakest. At most, the solar array would see a 19.8% decrease in solar radiation on lower solar panels. Table 1 below highlights these numbers.

TABLE 1: PERCENTAGE DECREASE IN GLOBAL HORIZONTAL RADIATION AT ROOF LEVEL

	EXISTING CONDITIONS	PROPOSED CONDITIONS	PERCENTAGE DIFFERENCE
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East Array	4,596 Wh/m ² /day	4,152 Wh/m ² /day	-9.7%
West Array	4,452 Wh/m ² /day	4,331 Wh/m ² /day	-2.7%
SHADING	20.4%	29.0%	+42.1%
East Array	17.4%	29.4%	+69.0%
West Array	22.7%	28.7%	+26.4%

Of note, the photovoltaic system is broken down into two arrays. The Eastern array is quite a bit more impacted than the Western array, with a 69% increase in shading on the Eastern array versus a 26.4% shading increase on the Western array. Similarly, the Eastern array would see its incident solar radiation reduced by 9.7%, versus a solar radiation decrease of 2.7% on the Western array. ■

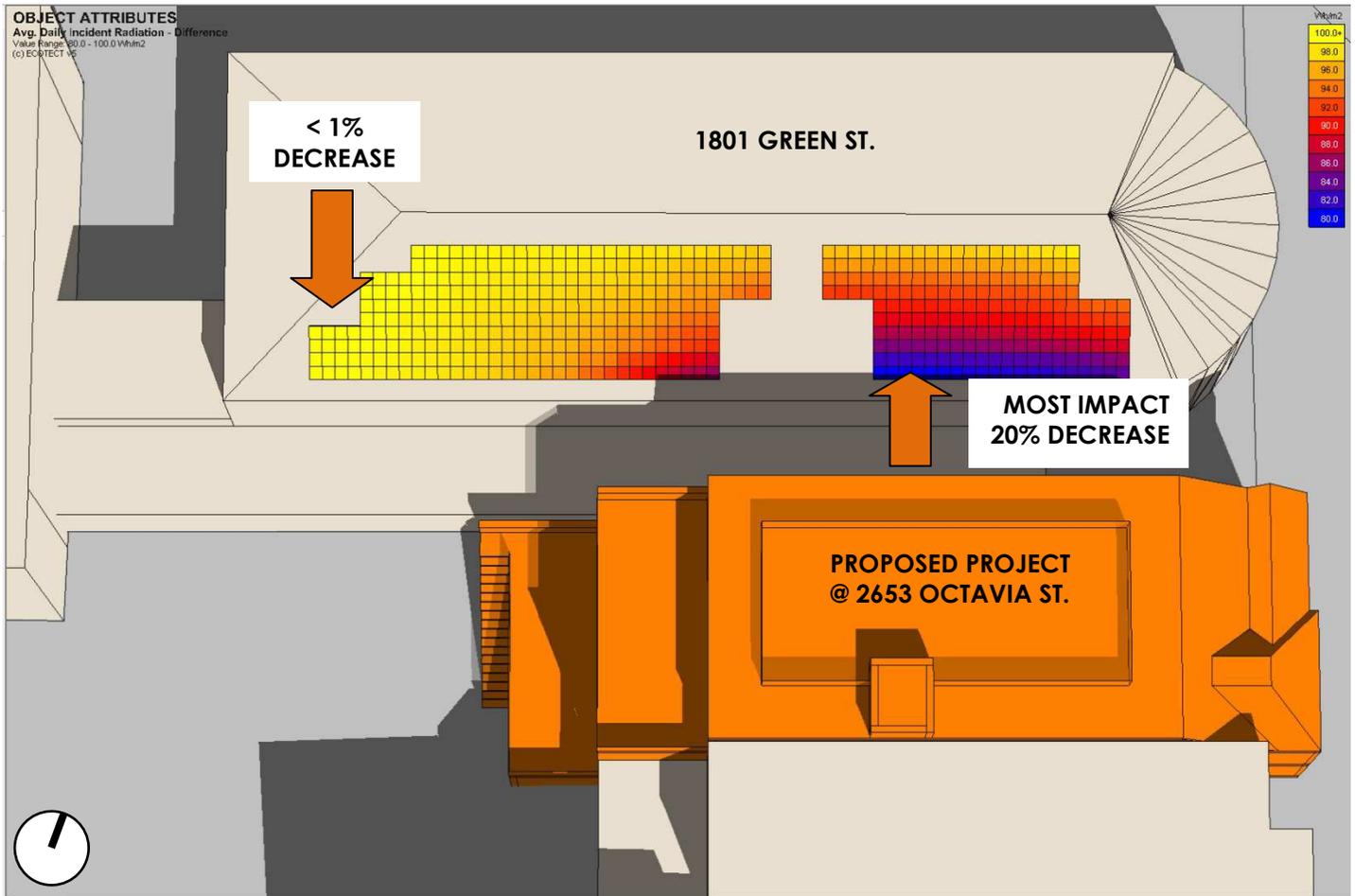


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The following diagram shows the shading difference between the existing and proposed conditions, highlighting in bright yellow the newly created shade on 1801 Green Street on the worst day of the year (the lowest sun angle on December 21st, and the highest solar radiation at solar noon).

The last diagram shows areas of the project's volume having the most impact on the shading of solar radiation upon the solar arrays. The brightest the dots, the highest-intensity solar radiation are being blocked by the project. As expected, the Northern-most areas of the fourth story addition's volume have the most impact on the solar panels.

A01

WINTER SOLSTICE SHADING ANALYSIS – PROPOSED vs EXISTING

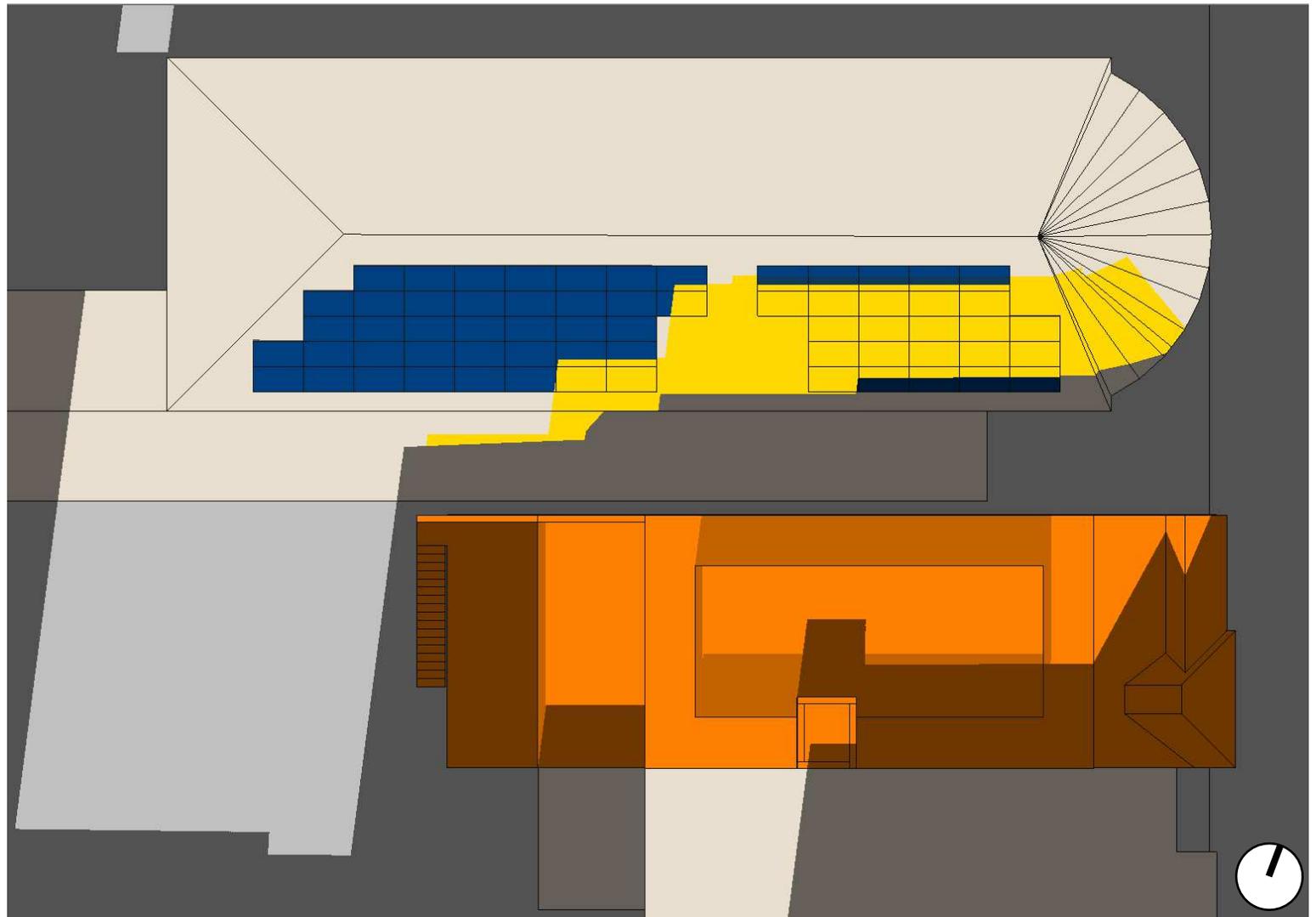
DECEMBER 21ST

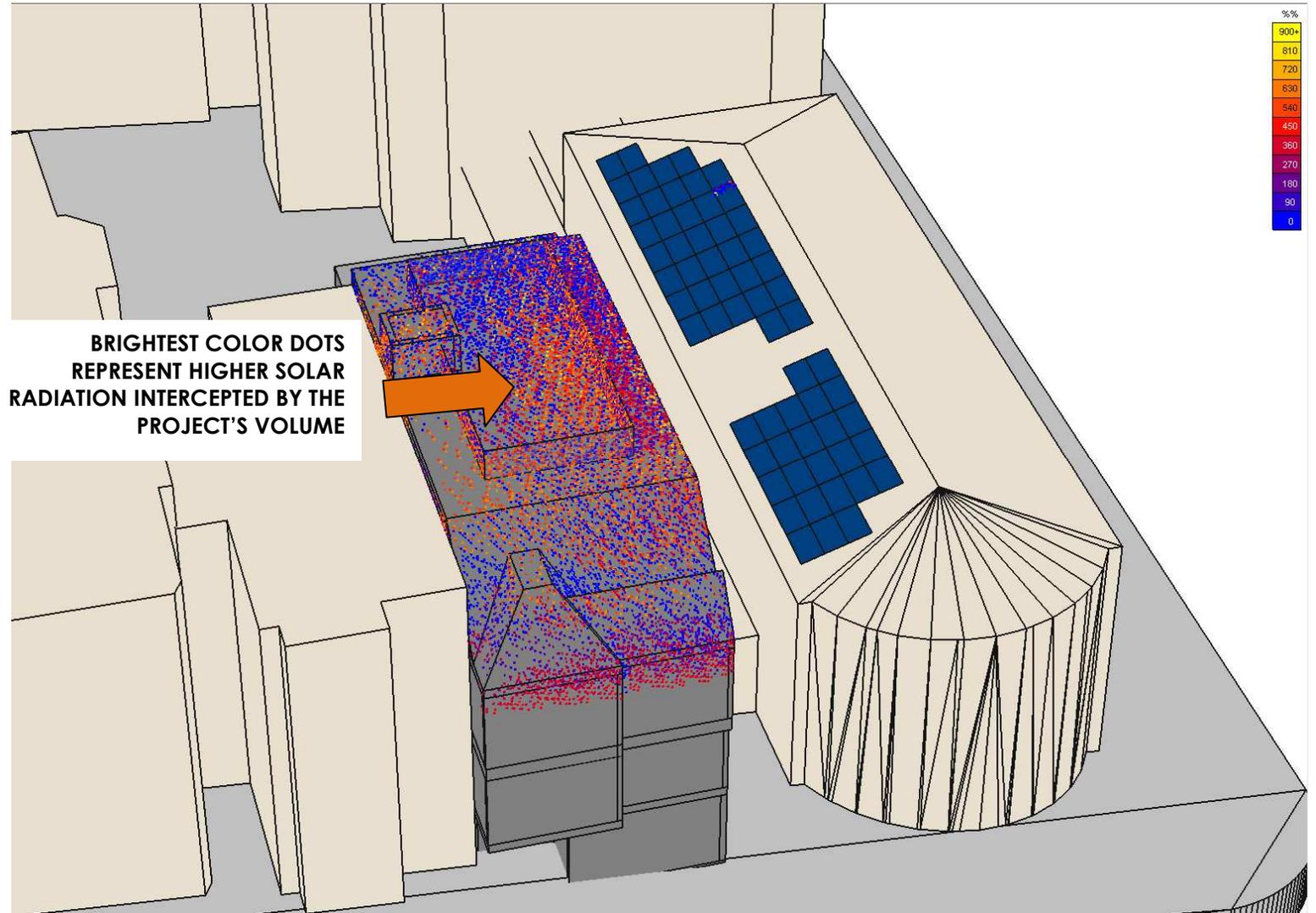
12:00 PM Noon

 PROPOSED PROJECT
@ 2653 OCTAVIA ST.

 EXISTING SHADING

 ADDITIONAL SHADING
@ 1801 GREEN ST.







SYMPHYSIS

Bioclimatic Design Consulting

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LOS ANGELES CA 90020

www.symphysis.net

info@symphysis.net

**Golden Gate Library - 1801 Green Street
INCIDENT SOLAR RADIATION (Wh/m2/DAY)**

ANALYSIS PERIOD	EXISTING CONDITIONS	PROPOSED CONDITIONS	% Δ
JAN	1,709	1,270	-25.7%
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MAR	4,476	4,248	-5.1%
APR	5,683	5,614	-1.2%
MAY	6,212	6,147	-1.0%
JUN	6,792	6,730	-0.9%
JUL	6,765	6,705	-0.9%
AUG	6,323	6,267	-0.9%
SEP	5,755	5,663	-1.6%
OCT	3,571	3,100	-13.2%
NOV	2,316	1,714	-26.0%
DEC	1,667	1,161	-30.4%
YEAR	4,514	4,253	-5.8%

Δ

SHADE @ 9AM	30-Sep 18-Mar	8-Sep 5-Apr	
NO-IMPACT DAYS	197	157	40

SHADE @ 10AM	15-Nov 5-Feb	12-Sep 2-Apr	
NO-IMPACT DAYS	284	164	120

SHADE @ 11AM	29-Nov 21-Jan	18-Sep 30-Mar	
NO-IMPACT DAYS	313	173	140

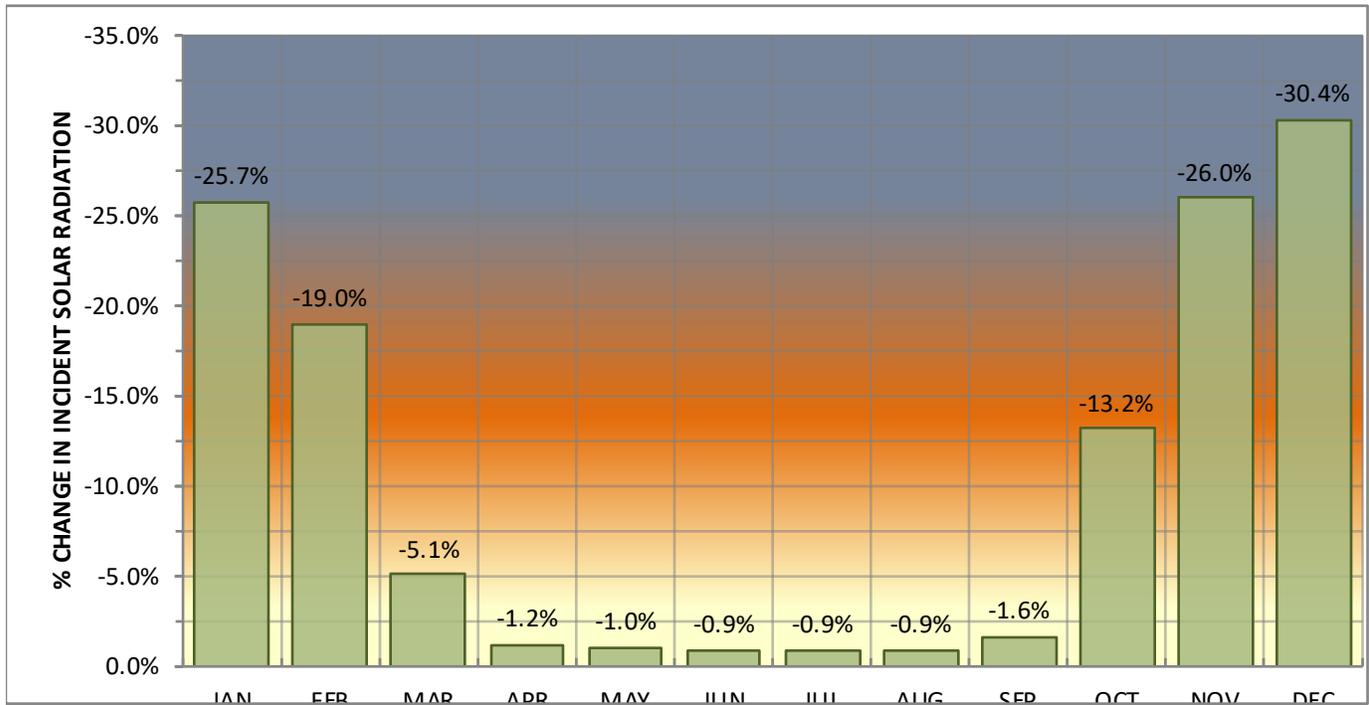
SHADE @ NOON	14-Dec 4-Jan	23-Sep 24-Mar	
NO-IMPACT DAYS	345	184	161

SHADE @ 1PM	25-Sep 21-Mar	26-Sep 21-Mar	
NO-IMPACT DAYS	189	190	-1

SHADE @ 2PM	1-Oct 16-Mar	1-Oct 15-Mar	
NO-IMPACT DAYS	200	201	-1

SHADE @ 3PM	6-Oct 11-Mar	6-Oct 11-Mar	
NO-IMPACT DAYS	210	210	0

The tall buildings (1911, 1921, 1960 and 1990 Vallejo) south of the Golden Gate Library shade the solar panels after 3pm, therefore there is no effect of the Octavia addition during late afternoon and evening hours.



To determine the net dollar effect of shading due to the addition at 2651-53 Octavia, Symphysis compared two methods of radiation calculation. The parameters used is a 15KWh system, with 20% efficacy, existing shading at 20.4% and proposed shading at 29%

- 1) PV Watts Calculator uses a radiation base of 4.85 Kwh/m2/day.
This calculator overstates the sunlight conditions as it uses SFO as the locator, which is sunnier place than our district.
- 2) SFOG.US uses a radiation base of 4.6 Kwh/M2/Day, which is more accurate of the sunlight conditions at 2651-53 Octavia and the Golden Gate Library.

The net effect of the addition at 2651-53 Octavia will be a loss of power generation at the Golden Gate Library of 5.8% annually. Using the commercial electrical rate of \$.09 per kWh, this translates to **\$178-\$187 annually**.

<https://pvwatts.nrel.gov/pvwatts.php>

USING PVWATTS 4.85 kWh/M2/DAY BASE RADIATION, 15 Kwh System, 20% efficacy

EXISTING CONDITIONS: 20.4% shading				PROPOSED CONDITIONS: 29% shading		
Month	Solar Radiation (kWh / m2 / day)	AC Energy (kWh)	Value (\$)	Solar Radiation (kWh / m2 / day)	AC Energy (kWh)	Value (\$)
January	3.14	961	86	3.14	856	77
February	3.98	1101	99	3.98	981	88
March	5.53	1,653	148	5.53	1,473	132
April	6.72	1,948	175	6.72	1,736	156
May	7.05	2,090	188	7.05	1,862	167
June	7.39	2,108	189	7.39	1,879	169
July	6.92	2,020	181	6.92	1,800	162
August	6.42	1,869	168	6.42	1,665	150
September	6.26	1,745	157	6.26	1,555	140
October	5.05	1,487	134	5.05	1,325	119
November	3.89	1,131	102	3.89	1,007	90
December	3.15	964	87	3.15	858	77
Annual	5.46	19,077	\$1,714	5.46	16,997	\$1,527

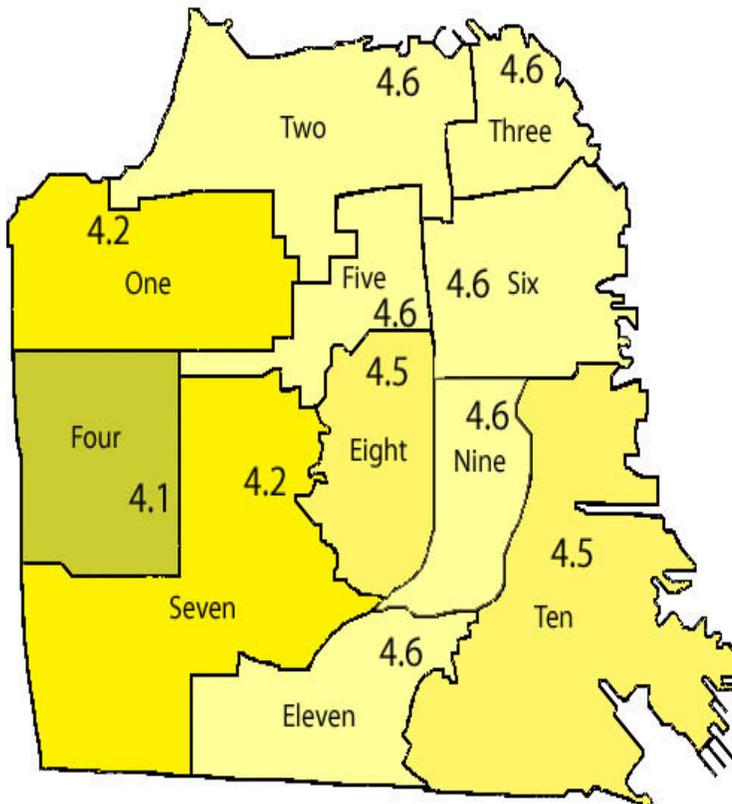
\$187

<https://www.sfog.us/solar/sfsolar.htm>

USING SFOG.US 4.6 kWh/M2/DAY BASE RADIATION, 15 kWh system, 20% efficacy

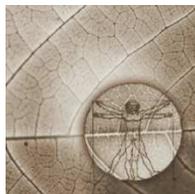
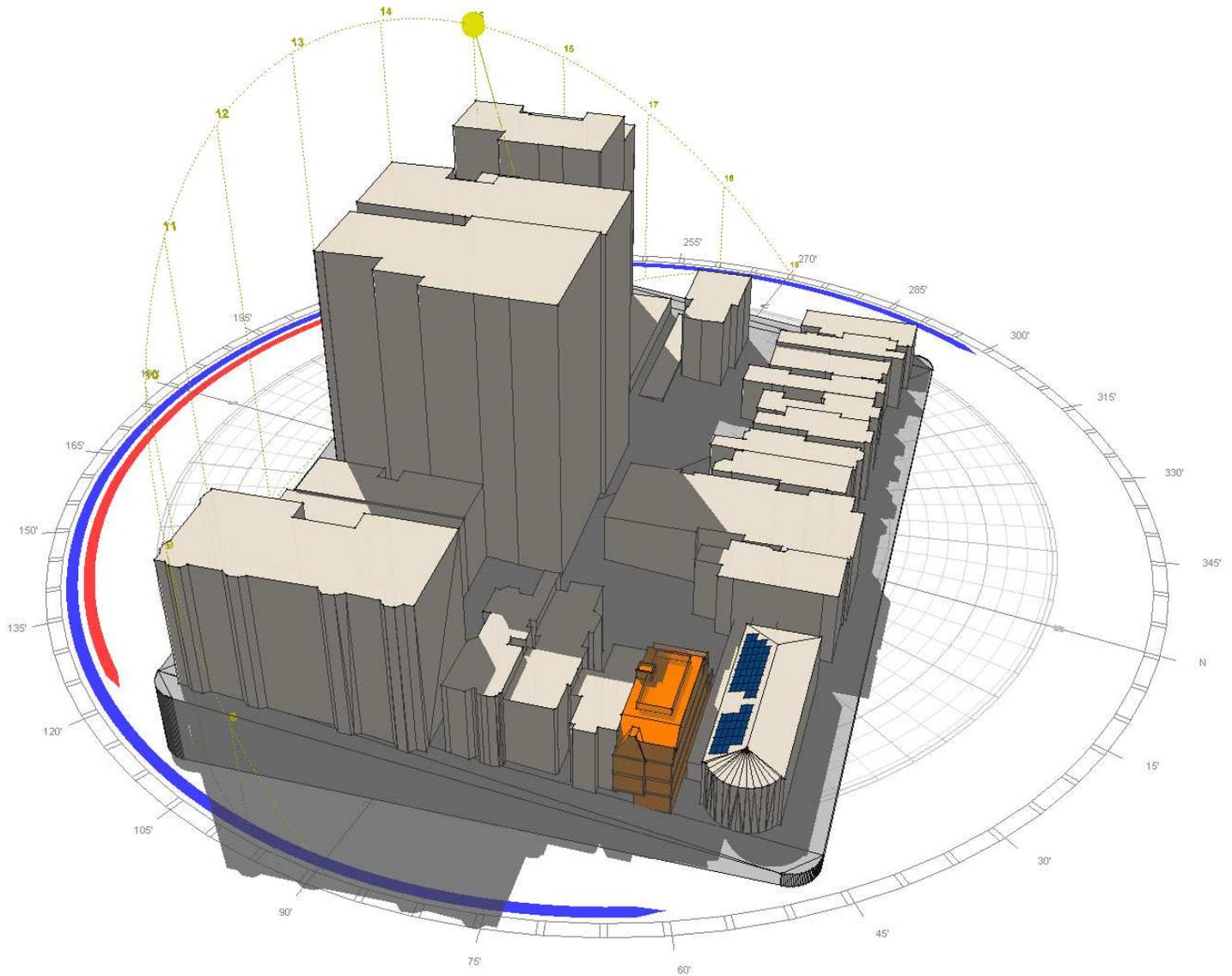
EXISTING CONDITIONS: 20.4% SHADING				PROPOSED CONDITIONS: 29.0% SHADING		
Month	Solar Radiation (kWh / m2 / day)	AC Energy (kWh)	Value (\$)	Solar Radiation (kWh / m2 / day)	AC Energy (kWh)	Value (\$)
January	3.14	913	82	3.14	813	73
February	3.98	1,046	94	3.98	932	84
March	5.53	1,570	141	5.53	1,399	125
April	6.72	1,851	166	6.72	1,649	148
May	7.05	1,986	179	7.05	1,769	159
June	7.39	2,003	180	7.39	1,785	161
July	6.92	1,919	172	6.92	1,710	154
August	6.42	1,776	160	6.42	1,582	143
September	6.26	1,658	149	6.26	1,477	133
October	5.05	1,413	127	5.05	1,259	113
November	3.89	1,074	97	3.89	957	86
December	3.15	916	83	3.15	815	73
Annual	5.46	18,123	\$1,628	5.46	16,147	\$1,451

\$178



SHADING IMPACT ANALYSIS REPORT

FOR 2653 OCTAVIA STREET | DECEMBER 1ST 2019



Report prepared by
Olivier PENNETIER, LEED AP, CEA
SYMPHYSIS
Bioclimatic Design Consulting
olivier@symphysis.net

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II. PROJECT LOCATION	4
III. PROPOSED PROJECT DESCRIPTION	5
IV. ANALYSIS METHODOLOGY & FINDINGS	7

I. INTRODUCTION & ANALYSIS SUMMARY

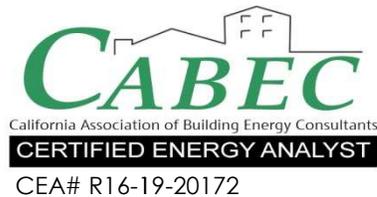
SYMPHYSIS was asked to perform a shading analysis to assess the shading impact of a proposed vertical and horizontal addition, located at 2651-2653 Octavia Street, upon the adjacent building's photovoltaic system located on the roof of 1801 Green Street.

After performing the analysis, SYMPHYSIS concludes that **the proposed project at 2653 Octavia Street would reduce solar radiation by an average of 5.8%** on the existing photovoltaic system at 1801 Green Street.

The report herein describes the proposed project, as well as the methodology used for the shading analysis along with its results. ■



Olivier A. Pennetier, MArch, LEED AP
SYMPHYSIS Principal
12/01/2019



Our services consist of professional opinions and conclusions developed in accordance with generally accepted environmental design, solar engineering and daylighting design principles and practices. Our conclusions and recommendations are based on the information provided by the clients, USGS Digital Elevation Model and publically available Geographic Information System database.

II. PROJECT LOCATION

The proposed project is located at 2653 Octavia Street, in the Northeastern corner of the Pacific Heights neighborhood, block 0554, lot 002. ■

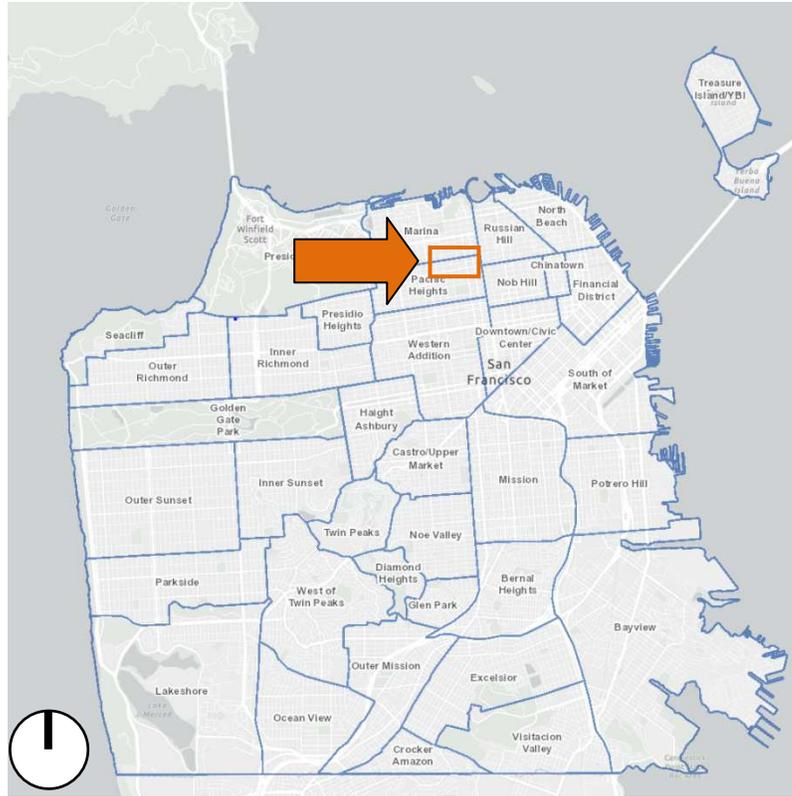


FIGURE 1: LOCATION MAP

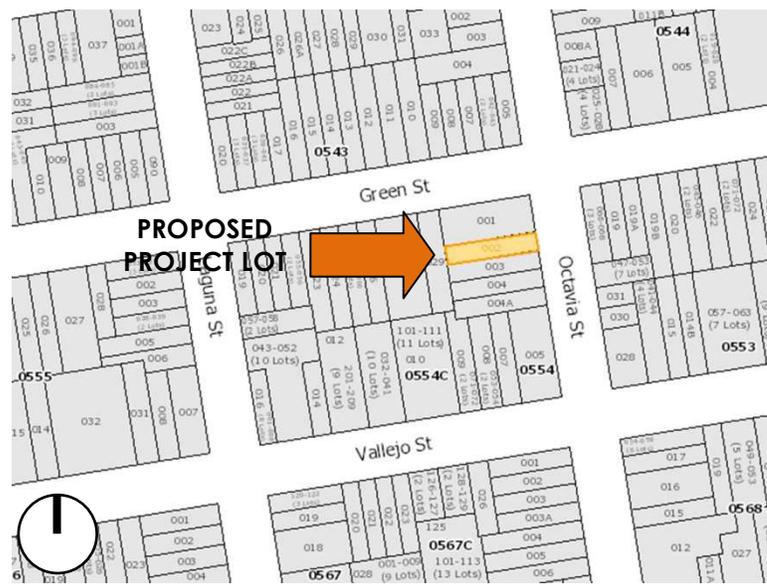


FIGURE 2: BLOCK MAP

III. PROPOSED PROJECT DESCRIPTION

The proposed design features a new fourth story addition on top of an existing 3 story single family residence. The new addition will increase the height of the building to 39'-10 ½".

The following images show the 3D massing models for the existing conditions and proposed design. ■

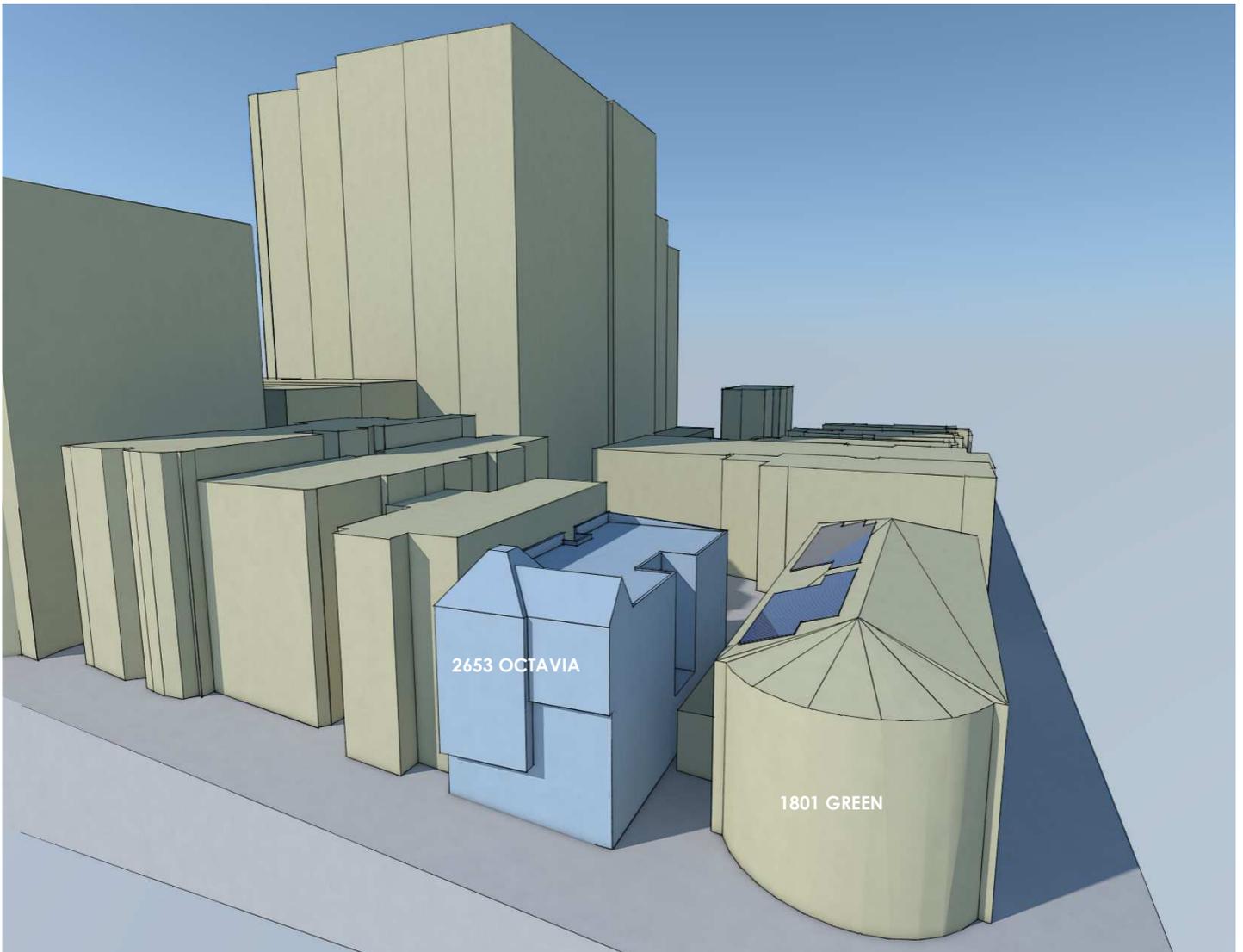


FIGURE 3: 3D MASSING MODEL OF THE EXISTING CONDITIONS.

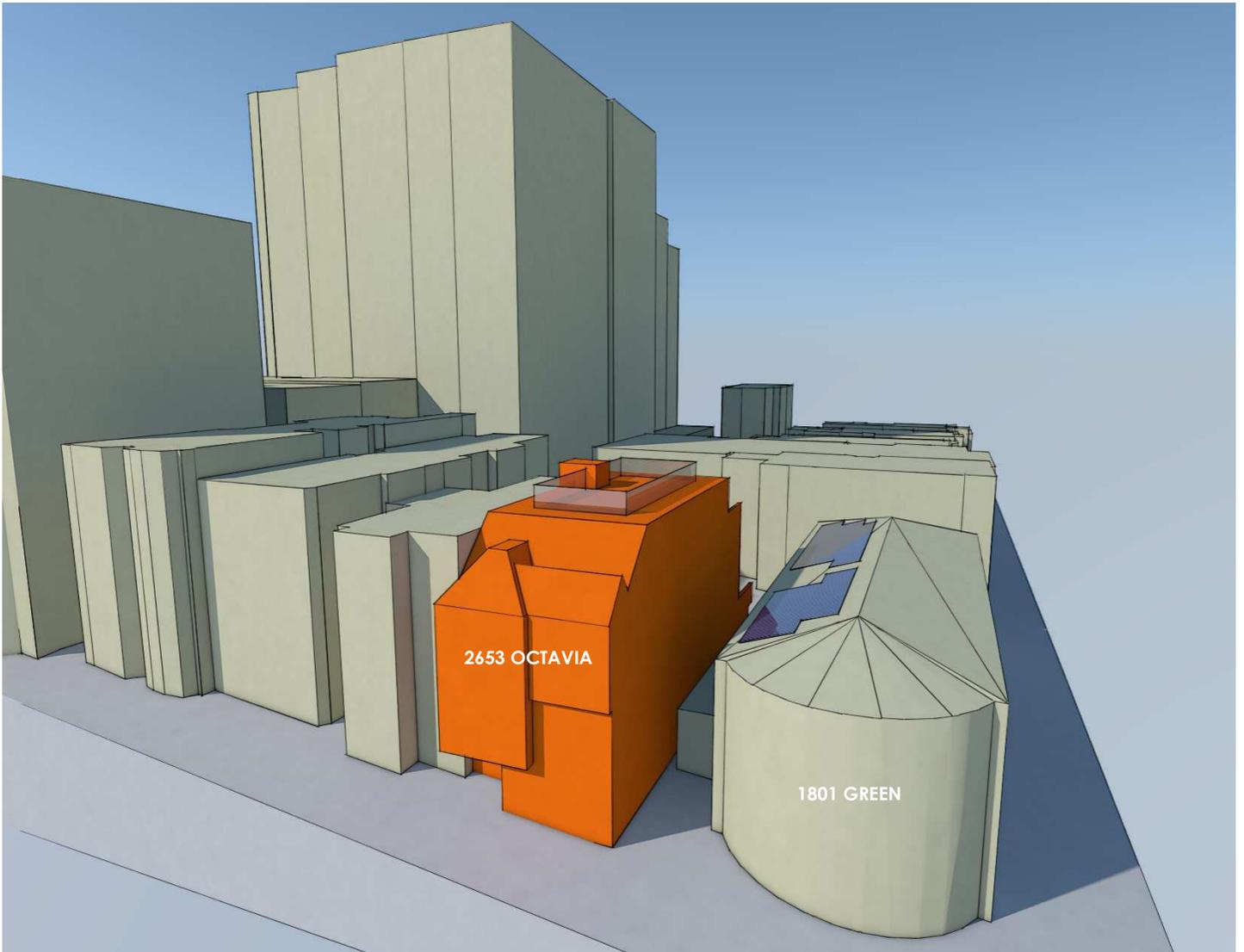


FIGURE 4: 3D MASSING MODEL OF THE PROPOSED DESIGN.

IV. ANALYSIS METHODOLOGY & FINDINGS

SYMPHYSIS utilized various tools to develop this shading impact analysis. Here is a breakdown of the analysis process, and the tools used at each stage of the analysis:

- 1) A 3D model of the existing and proposed conditions was created within a CAD software (ArchiCAD), using the 2D drawings from the architect of the proposed project. The surrounding buildings were constructed from the latest GIS (Geographic Information System) layer of San Francisco building footprints obtainable at data.sfgov.org. The heights of the buildings were derived from photogrammetric model from Google Earth. The size of the photovoltaic system located on the roof of the neighbor at 1801 Green Street was estimated from aerial photographs.

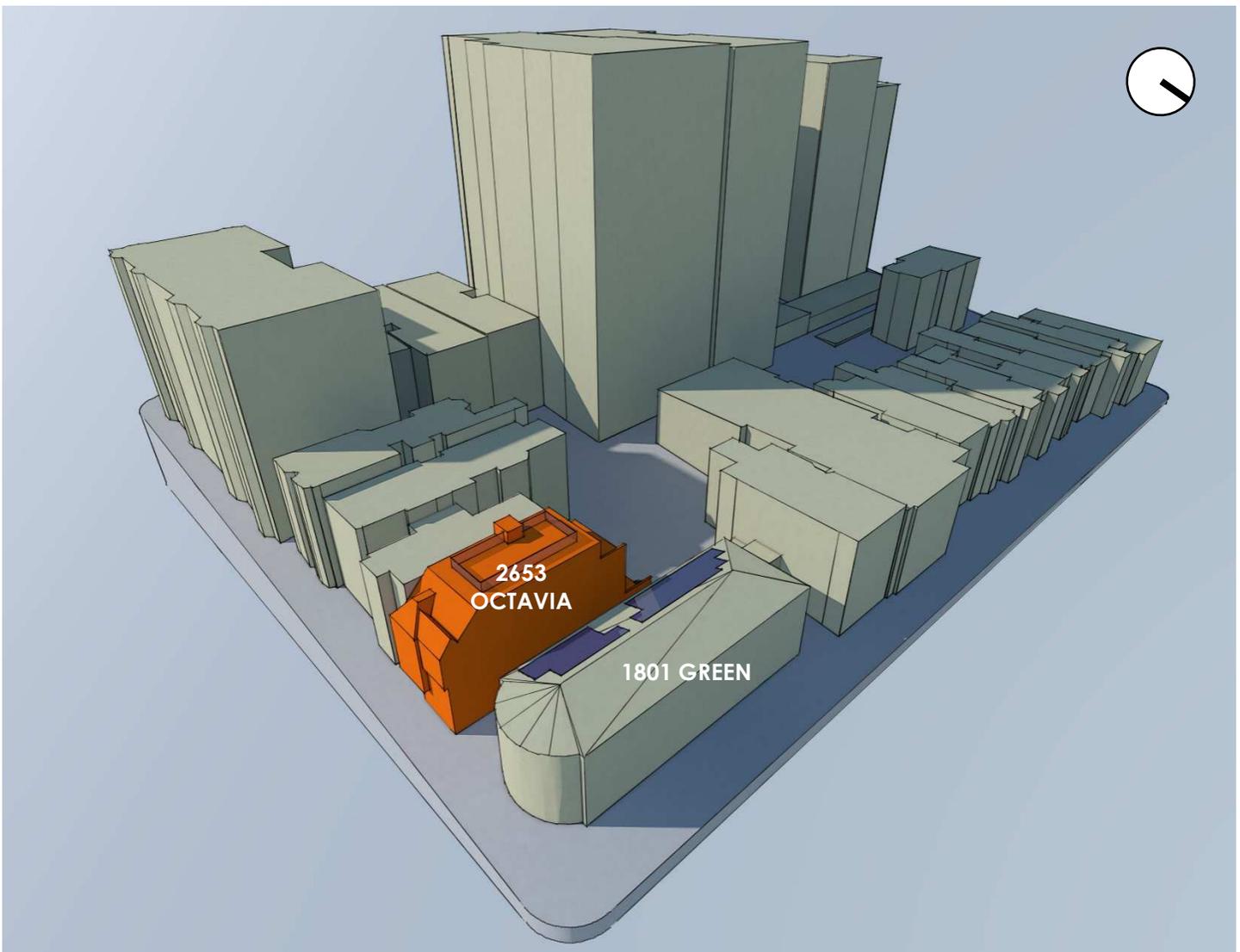


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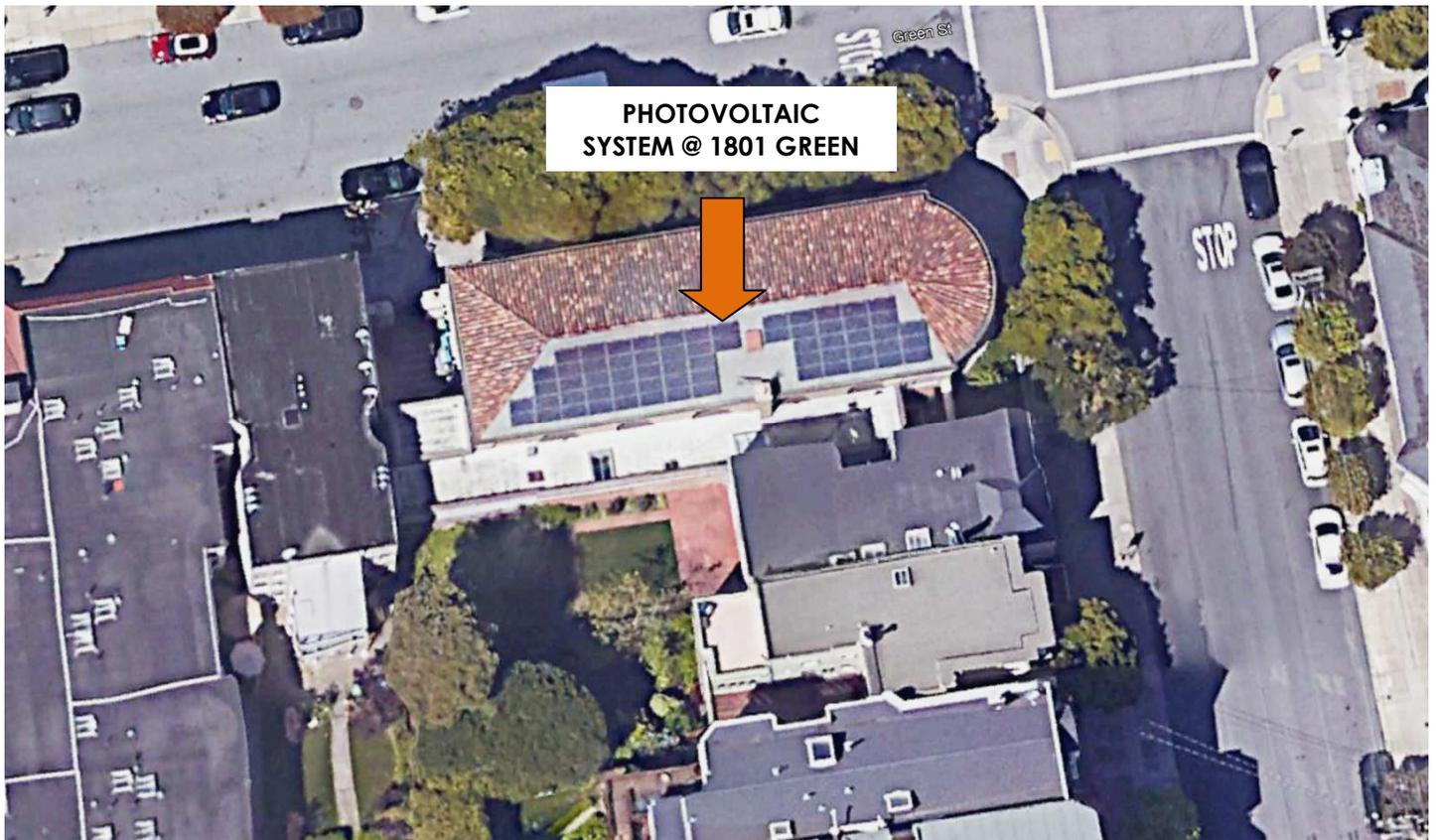


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- 2) The 3D models were sent into a building performance analysis tool called Autodesk Ecotect to calculate shading and solar radiation specifically on the photovoltaic system of the Golden Gate Valley Library at 1801 Green Street. First the calculations were computed for the existing conditions, then another pass with the proposed design. The difference between the two conditions highlights the areas of the photovoltaic system that are most impacted by the proposed project. The calculations were set for the entire year, and every hours of the day.

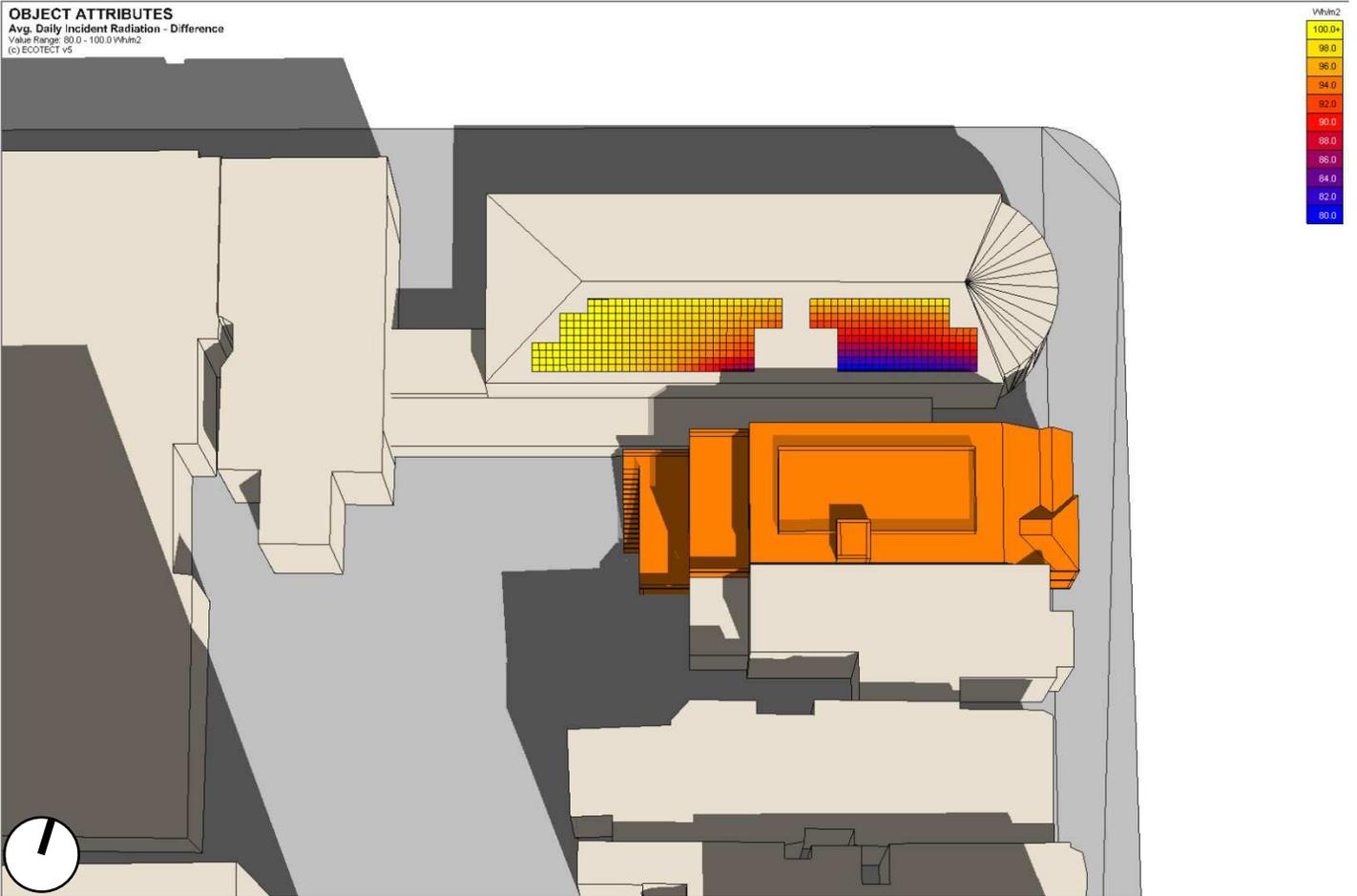


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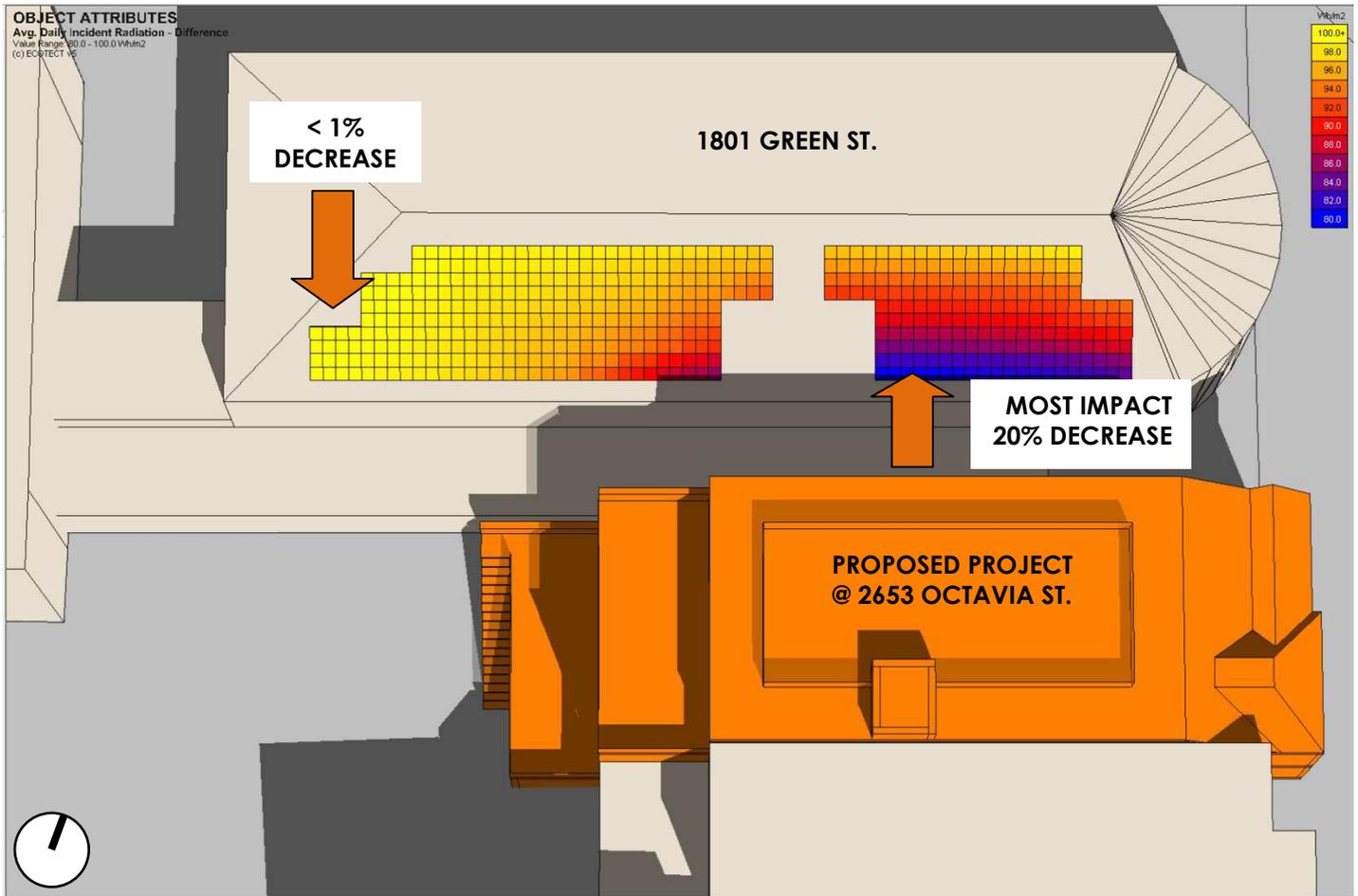


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A01

WINTER SOLSTICE SHADING ANALYSIS – PROPOSED vs EXISTING

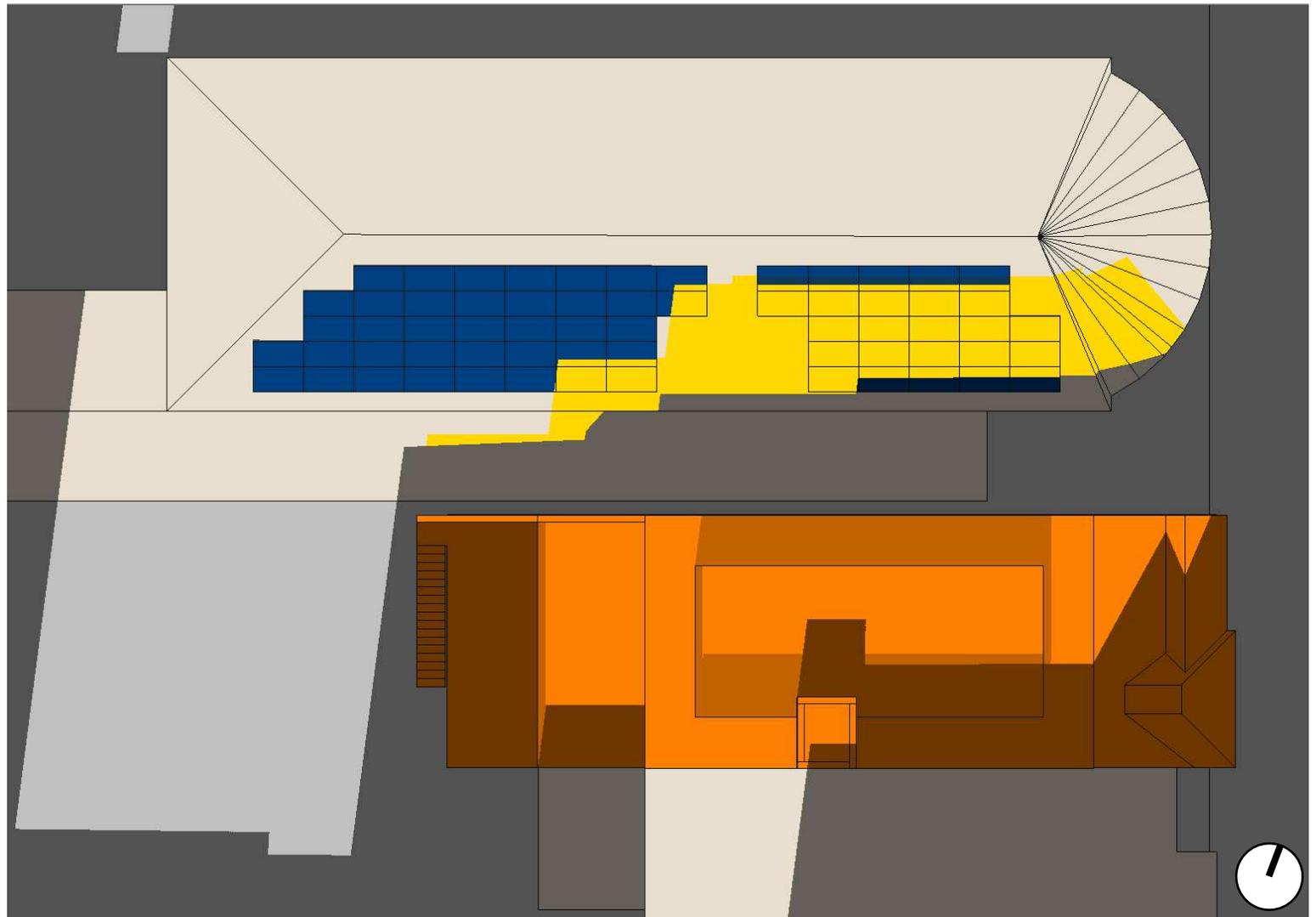
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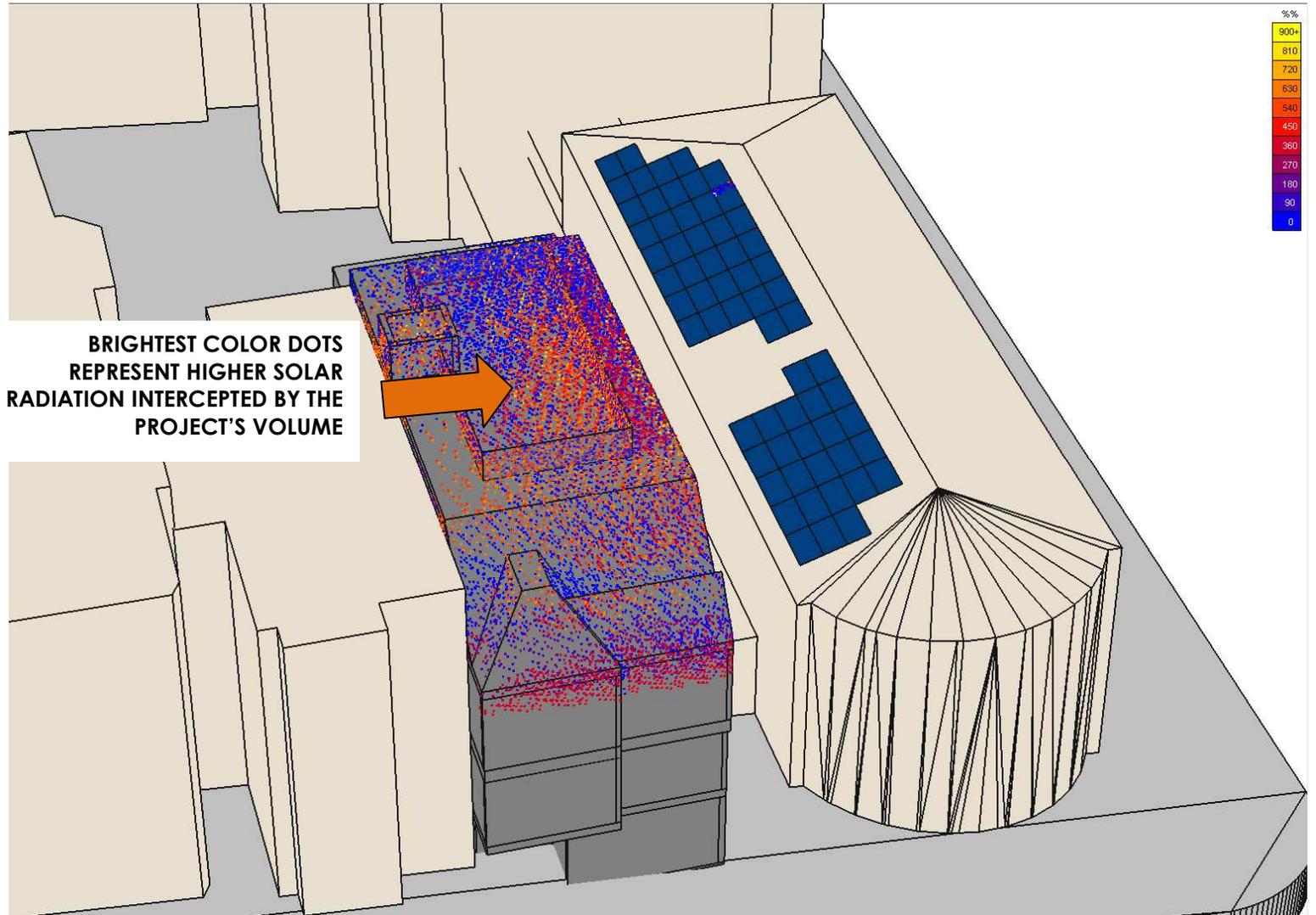
12:00 PM Noon

 PROPOSED PROJECT
@ 2653 OCTAVIA ST.

 EXISTING SHADING

 ADDITIONAL SHADING
@ 1801 GREEN ST.







SYMPHYSIS

Bioclimatic Design Consulting

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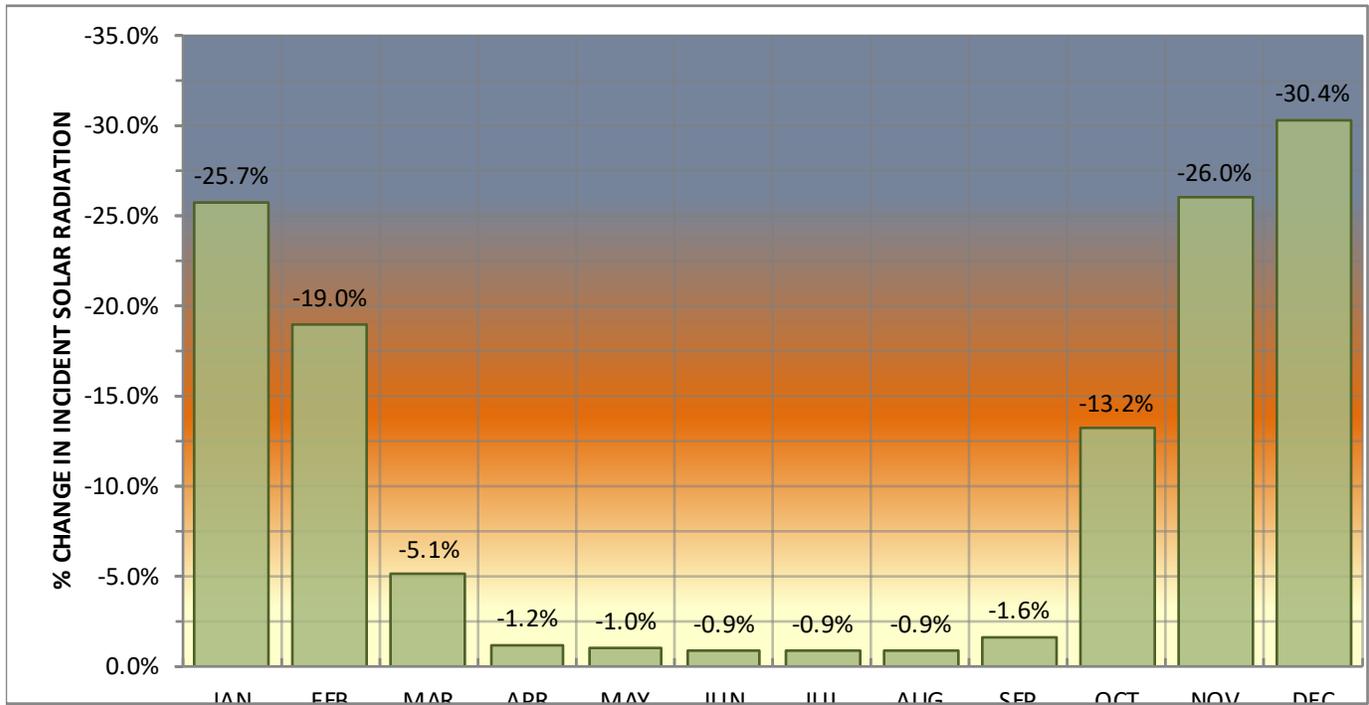
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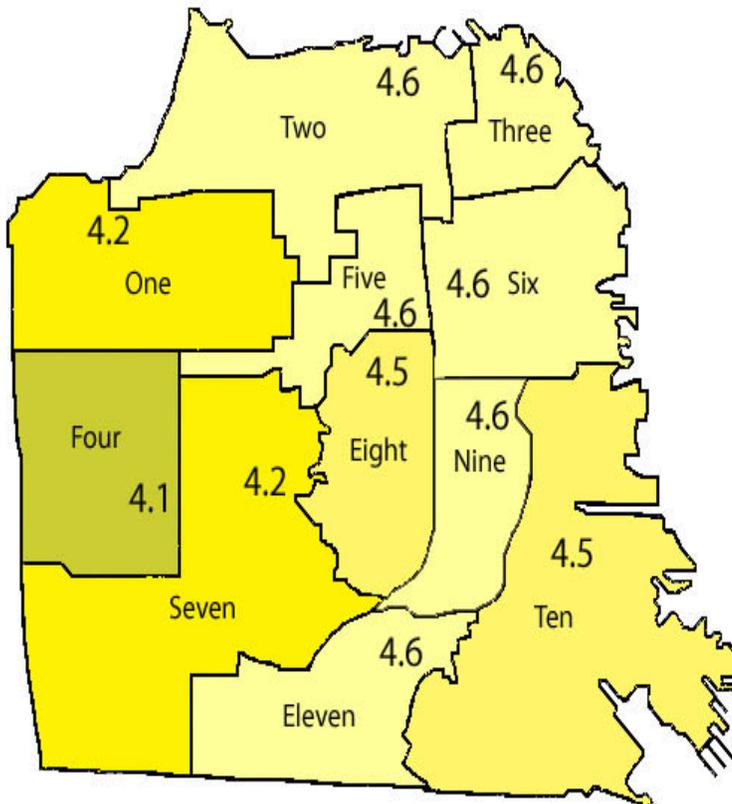
\$187

<https://www.sfog.us/solar/sfsolar.htm>

USING SFOG.US 4.6 kWh/M2/DAY BASE RADIATION, 15 kWh system, 20% efficacy

EXISTING CONDITIONS: 20.4% SHADING				PROPOSED CONDITIONS: 29.0% SHADING		
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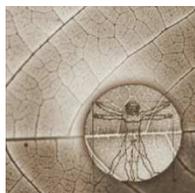
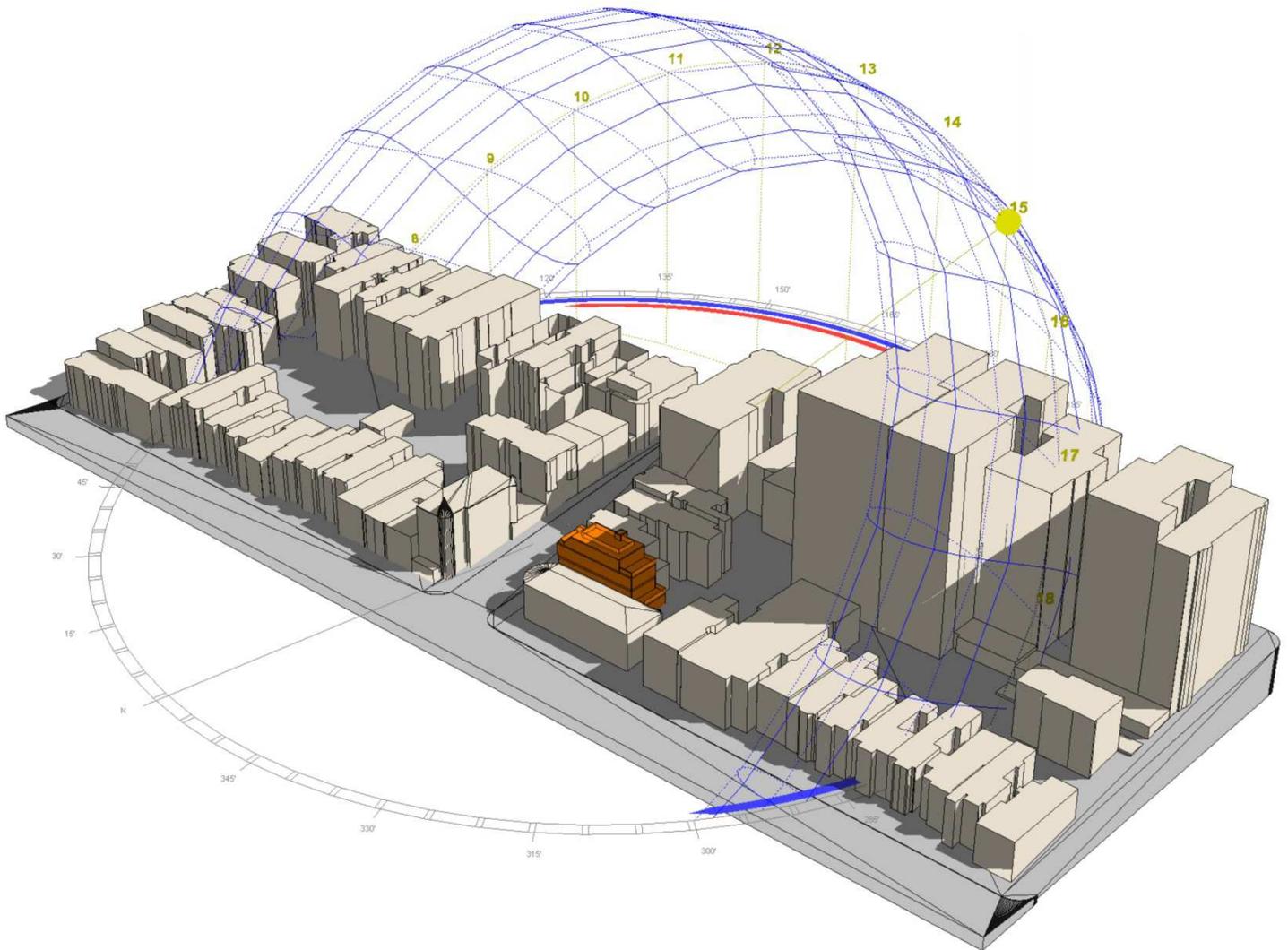
\$178



SHADING IMPACT ANALYSIS REPORT

- ADDENDUM -

FOR 2653 OCTAVIA STREET | JANUARY 23rd 2020



Report prepared by
Olivier PENNETIER, LEED AP, CEA
SYMPHYSIS
Bioclimatic Design Consulting
olivier@symphysis.net

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II. ADDENDUM TO PREVIOUS FINDINGS	5

I. INTRODUCTION & ANALYSIS SUMMARY

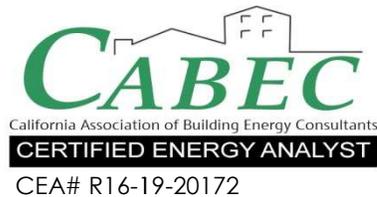
SYMPHYSIS was asked to perform a shading analysis to assess the shading impact of a proposed vertical and horizontal addition, located at 2651-2653 Octavia Street, upon the adjacent building facades located at 2634 Octavia and 1791 Green Street

After performing the analysis, SYMPHYSIS concludes that **the proposed project at 2653 Octavia Street would reduce the number of sunlight hours by a maximum of 4.6% on the façade of 2634 Octavia Street and 2.0% on the facing façade of 1791 Green Street.**

The report herein outlines the results of the analysis. ■



Olivier A. Pennetier, MArch, LEED AP
SYMPHYSIS Principal
01/23/2020



Our services consist of professional opinions and conclusions developed in accordance with generally accepted environmental design, solar engineering and daylighting design principles and practices. Our conclusions and recommendations are based on the information provided by the clients, USGS Digital Elevation Model and publically available Geographic Information System database.

ADDENDUM TO PREVIOUS ANALYSIS

The 3D modeling was extended to include the block East of the proposed project, which includes the buildings at the concerned properties at 2634 Octavia Street and 1791 Green Street. The following image shows the updated 3D model. ■

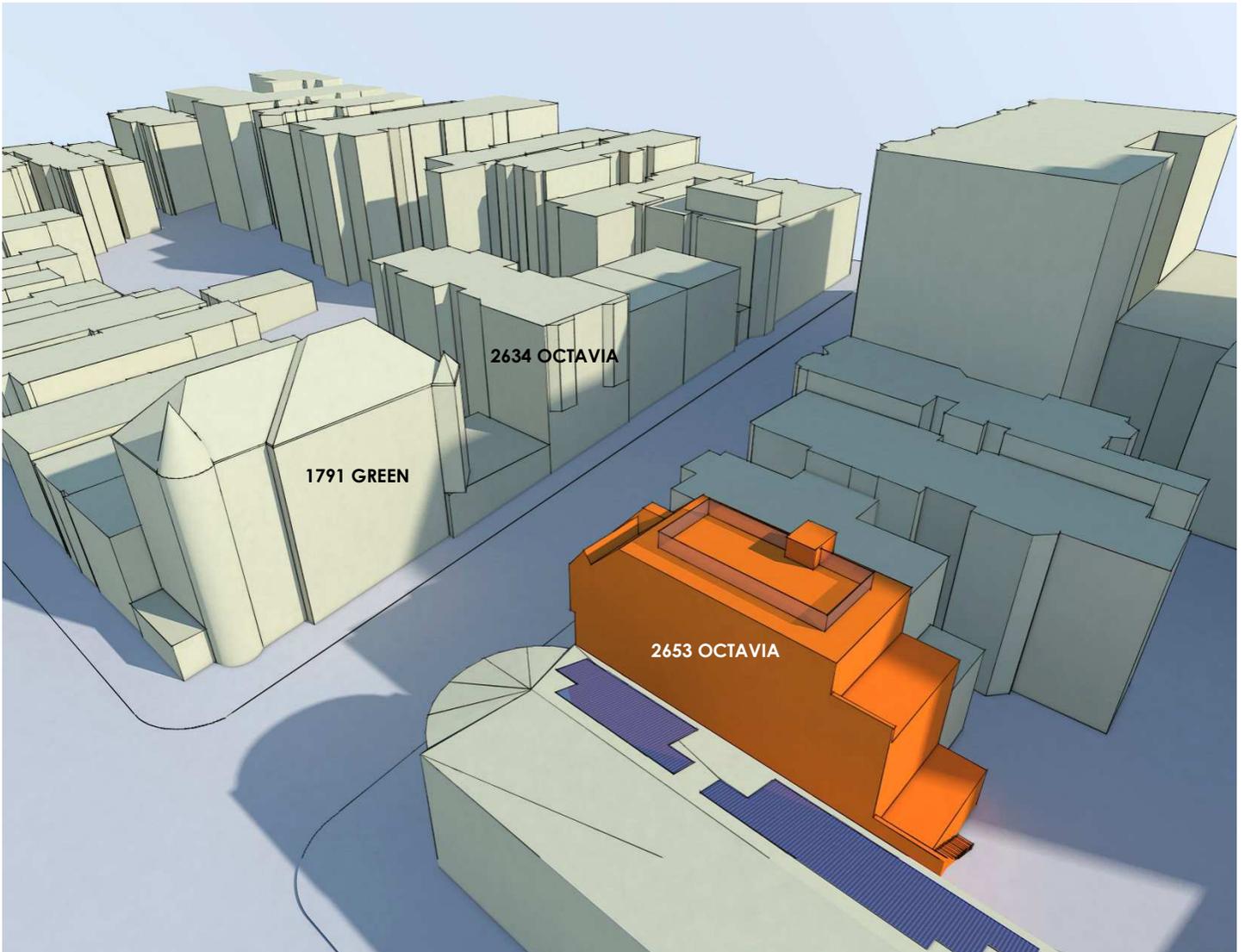


FIGURE 1: 3D MASSING MODEL OF THE PROPOSED CONDITIONS.

II. ADDENDUM TO PREVIOUS FINDINGS

The same methodology as the previous analysis was used to determine the amount of sunlight lost on the concerned properties. The image below is a 06/04/2019 photograph of the block East of the proposed project.



FIGURE 2: AERIAL PHOTOGRAPH OF THE BLOCK EAST OF THE PROPOSED PROJECT DATED 06/04/2019.

After compiling all the results of the analysis, SYMPHYSIS concludes that the proposed project at 2653 Octavia Street would reduce the amount of sunlight on the facing facades only minimally. At its most impacted area, the façade at 2634 Octavia Street would receive 48 hours less of sunlight than it currently does. That is a 4.8% difference with existing conditions. The impact would occur between April 23rd at 7:15 pm and August 25th at 7:15 pm. The impacted area does include the bay window of the first floor at the Northern corner of the building.

The façade facing the proposed project at 1791 Green Street would also be minimally impacted in mid Spring from March 11th at 7:00 pm to April 4th at 7:15 pm, and then again later in mid fall from September 12th at 7:00 pm to October 18th at 7:15 pm. The proposed project would cut out a maximum of 25 hours of sunlight to the facing façade at its most impacted location, which includes windows. That is a 2.0% decrease in sunlight availability from current conditions.

The patio located between the two buildings at 2634 Octavia and 1791 Green Street would see some minimal impact as well from the proposed project, mainly from May 2nd at 6:45 pm until August 11th at 7:00 pm. The patio would see a

maximum of 26 hours reduction of available sunlight at its most impacted location, which is a reduction of 3.8% from existing conditions.

The following table summarizes the findings:

TABLE 1: SUNLIGHT HOURS

	EXISTING SUNLIGHT	PROPOSED SUNLIGHT	PERCENTAGE DIFFERENCE	IMPACTED SEASON
2634 OCTAVIA ST.	1,034 HRS	986 HRS	-4.6%	April - August
1791 GREEN ST.	1,261 HRS	1,236 HRS	-2.0%	March – April & September - October
PATIO	679 HRS	653 HRS	-3.8%	May - August

The following image shows the areas of the facades that are most impacted by the proposed project:

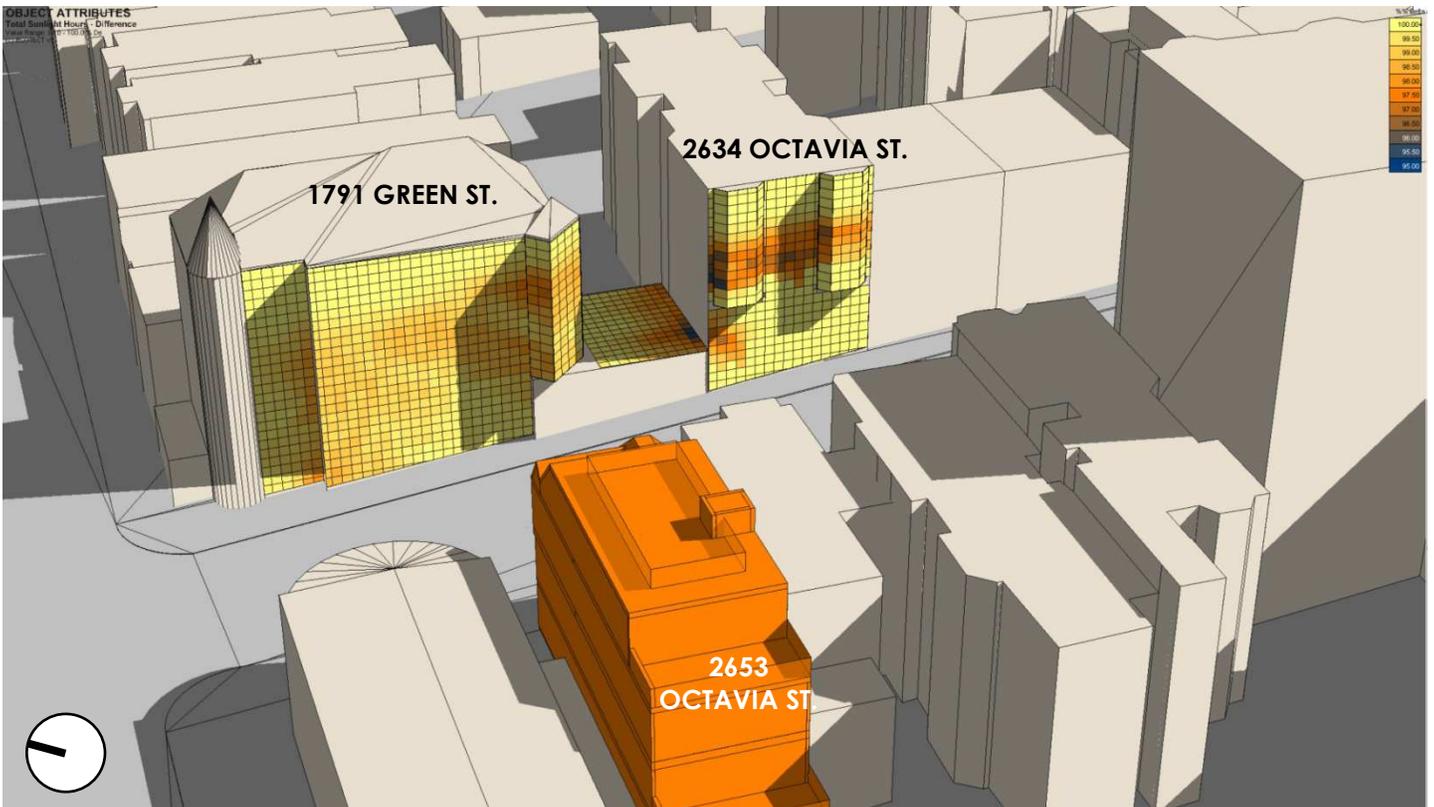


FIGURE 3: AREAS MOST IMPACTED BY THE PROPOSED PROJECT. DARK BLUE REPRESENTS A 5% DECREASE OF SUNLIGHT HOUR.

The following diagram shows the shading difference between the existing and proposed conditions, highlighting in bright yellow the newly created shade on the facades of the facing properties for dates ranging from June 21st to October 21st.

A01

SHADING IMPACT

JUNE 21ST

08:15 PM

-  PROPOSED PROJECT @ 2653 OCTAVIA ST.
-  EXISTING SHADING
-  ADDITIONAL SHADING



A02

SHADING IMPACT

JULY 21ST

08:00 PM

-  PROPOSED PROJECT
@ 2653 OCTAVIA ST.
-  EXISTING SHADING
-  ADDITIONAL SHADING



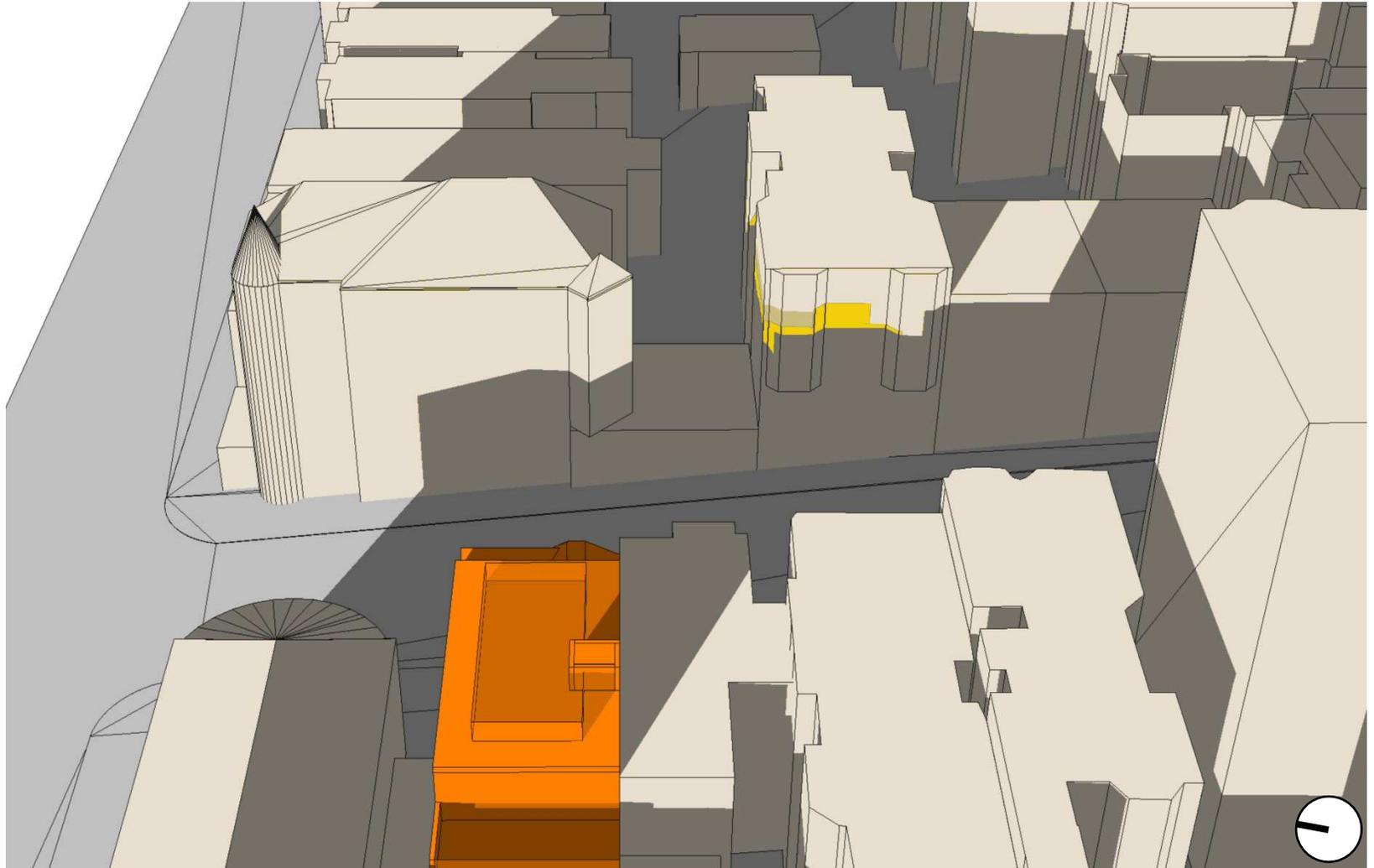
A03

SHADING IMPACT

AUGUST 21ST

07:45 PM

-  PROPOSED PROJECT @ 2653 OCTAVIA ST.
-  EXISTING SHADING
-  ADDITIONAL SHADING

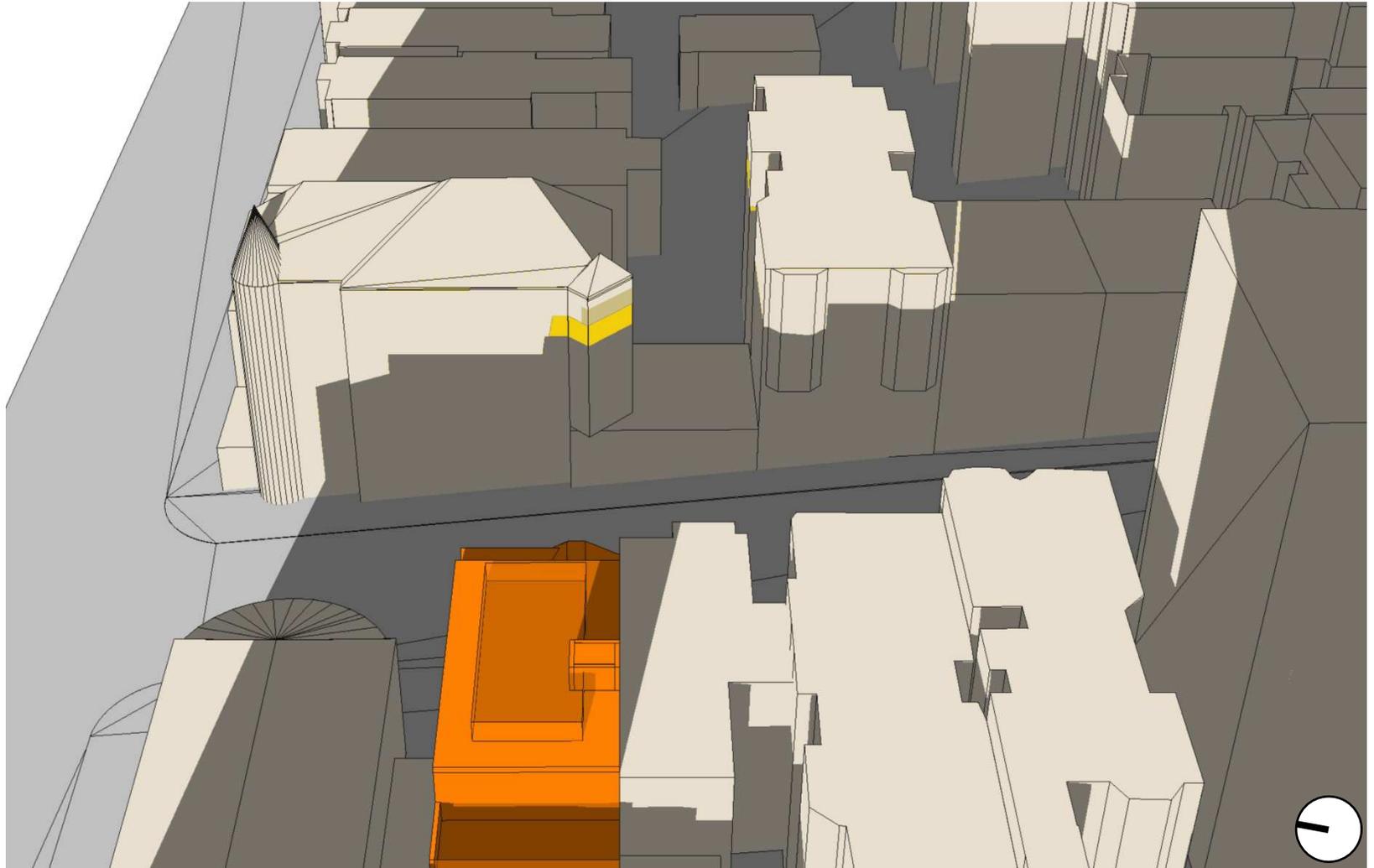


A04

SHADING IMPACT

SEPTEMBER 21ST 07:00 PM

-  PROPOSED PROJECT @ 2653 OCTAVIA ST.
-  EXISTING SHADING
-  ADDITIONAL SHADING



A05

SHADING IMPACT

OCTOBER 21ST

06:00 PM

 PROPOSED PROJECT
@ 2653 OCTAVIA ST.

 EXISTING SHADING

 ADDITIONAL SHADING





SYMPHYSIS

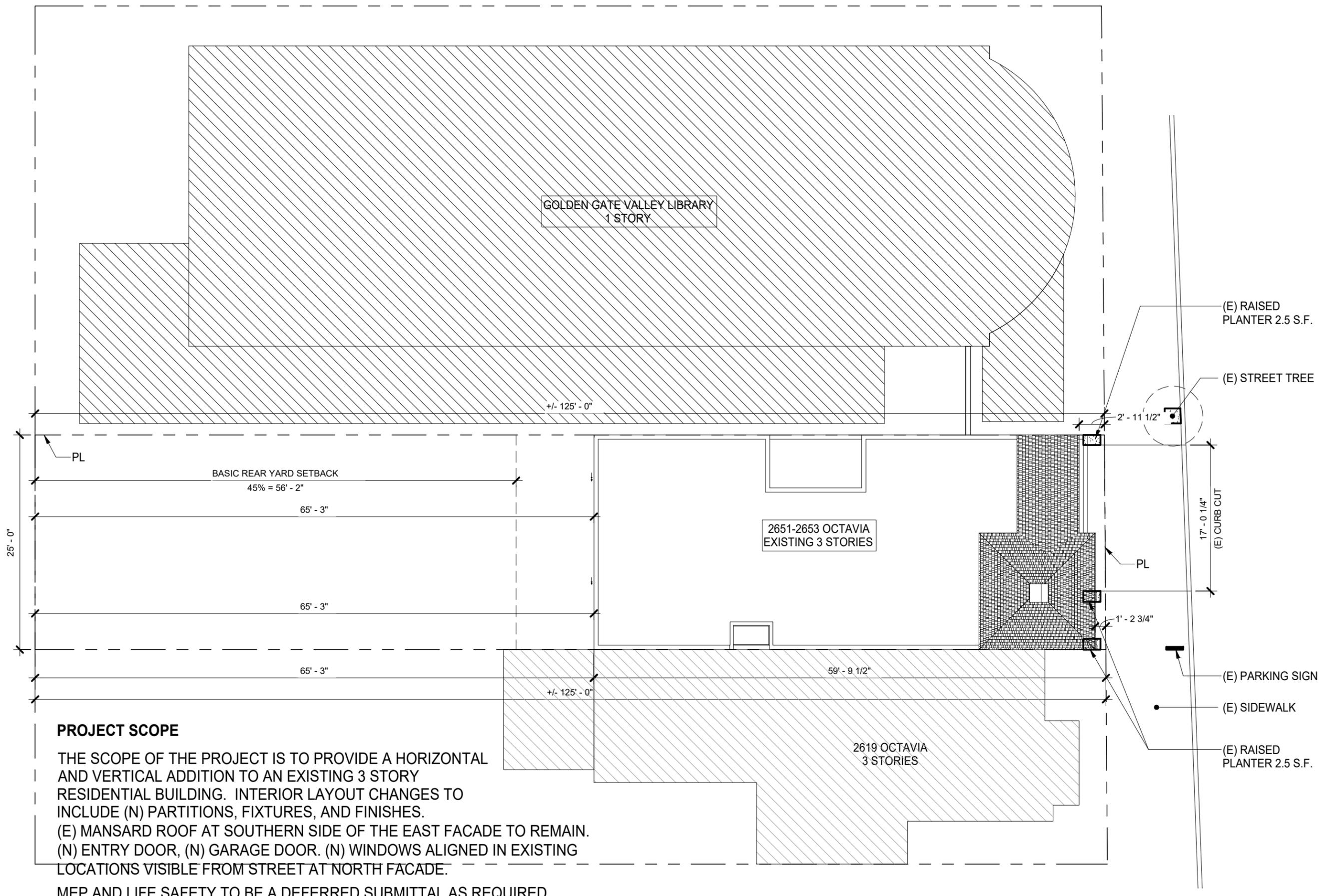
Bioclimatic Design Consulting

435 S. ALEXANDRIA AVENUE #308

LOS ANGELES CA 90020

www.symphysis.net

info@symphysis.net



PROJECT SCOPE

THE SCOPE OF THE PROJECT IS TO PROVIDE A HORIZONTAL AND VERTICAL ADDITION TO AN EXISTING 3 STORY RESIDENTIAL BUILDING. INTERIOR LAYOUT CHANGES TO INCLUDE (N) PARTITIONS, FIXTURES, AND FINISHES.
 (E) MANSARD ROOF AT SOUTHERN SIDE OF THE EAST FACADE TO REMAIN.
 (N) ENTRY DOOR, (N) GARAGE DOOR. (N) WINDOWS ALIGNED IN EXISTING LOCATIONS VISIBLE FROM STREET AT NORTH FACADE.
 MEP AND LIFE SAFETY TO BE A DEFERRED SUBMITTAL AS REQUIRED.

(E) RAISED PLANTER 2.5 S.F.

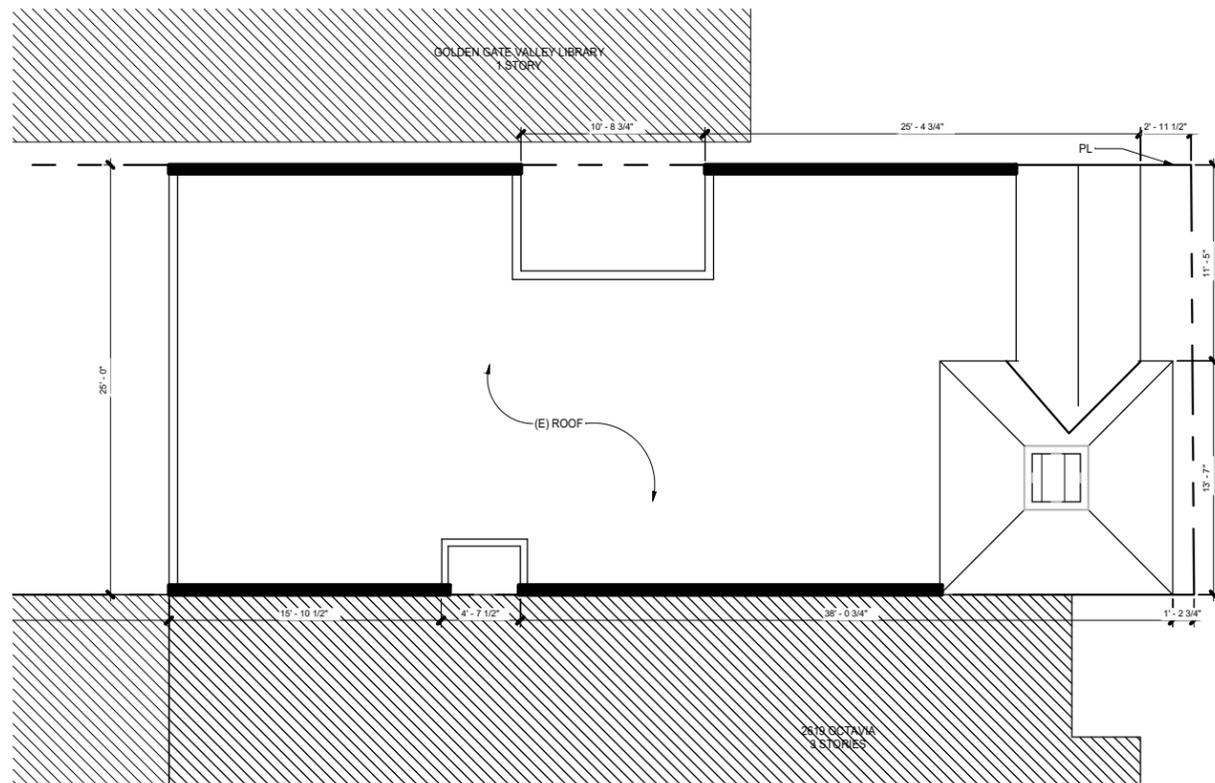
(E) STREET TREE

17'-0 1/4"
 (E) CURB CUT

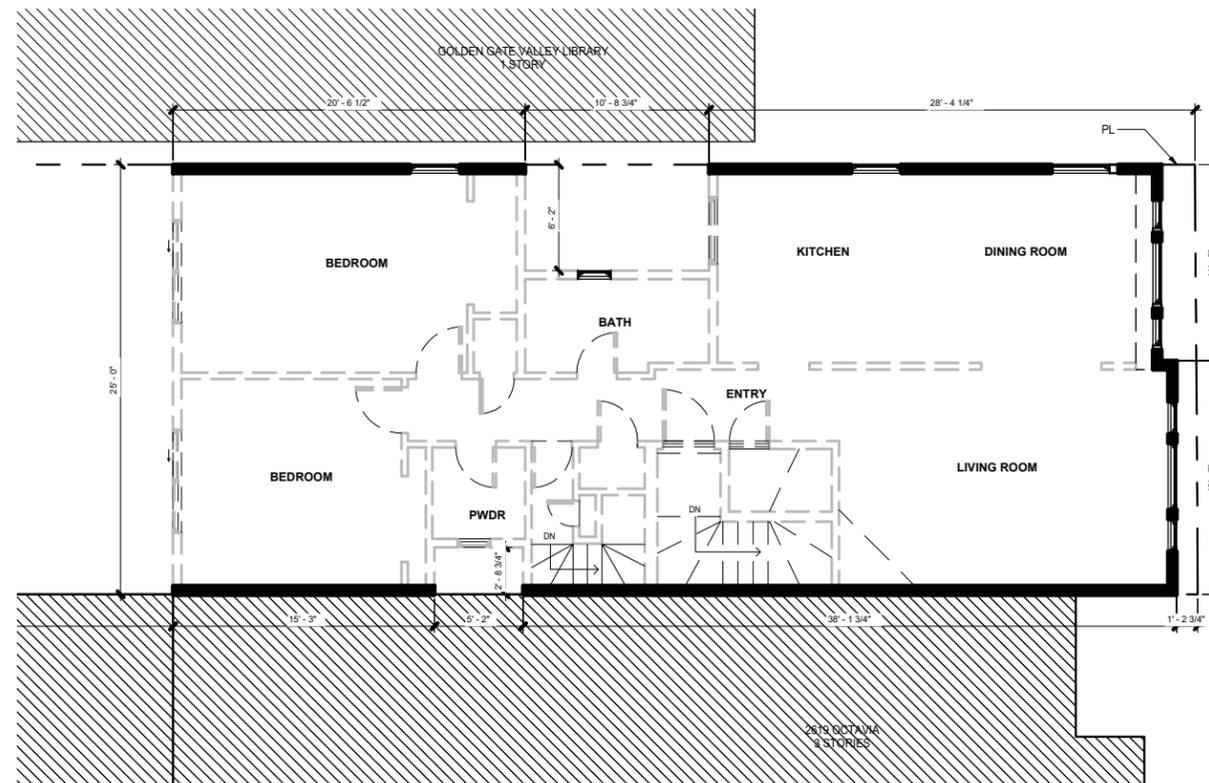
(E) PARKING SIGN

(E) SIDEWALK

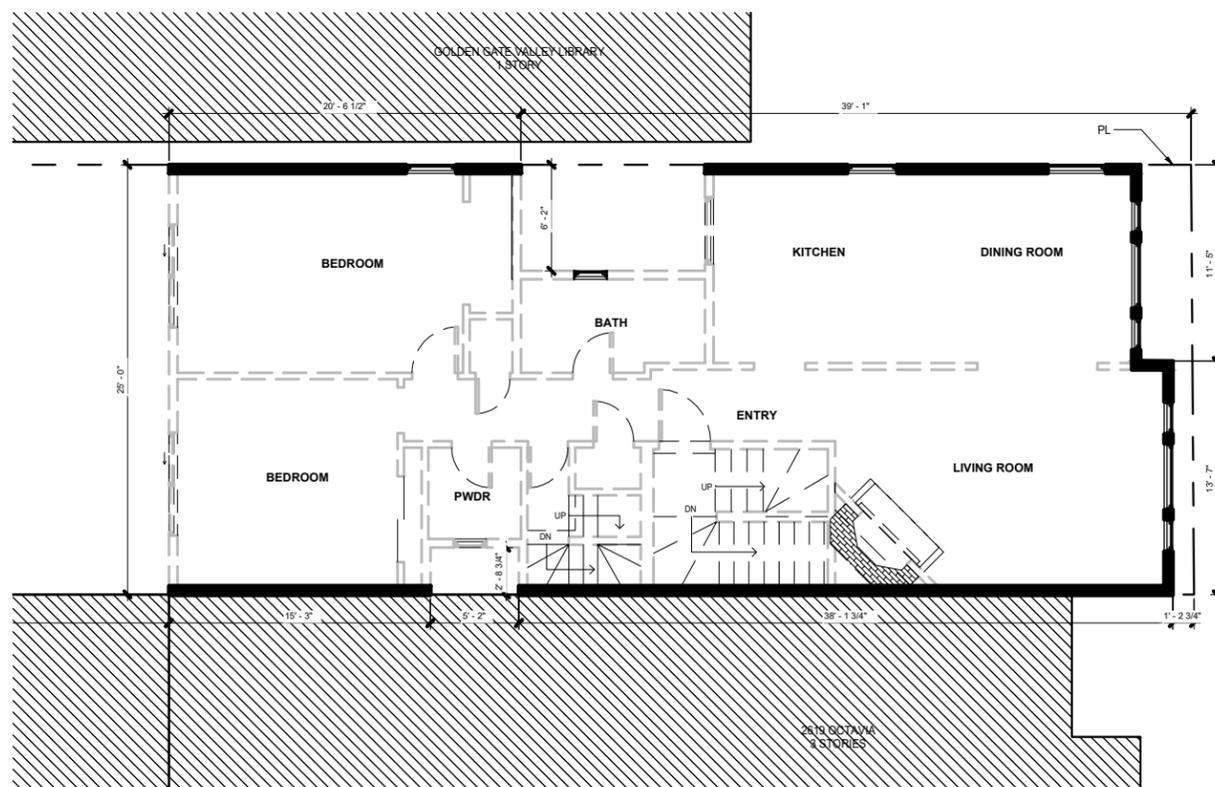
(E) RAISED PLANTER 2.5 S.F.



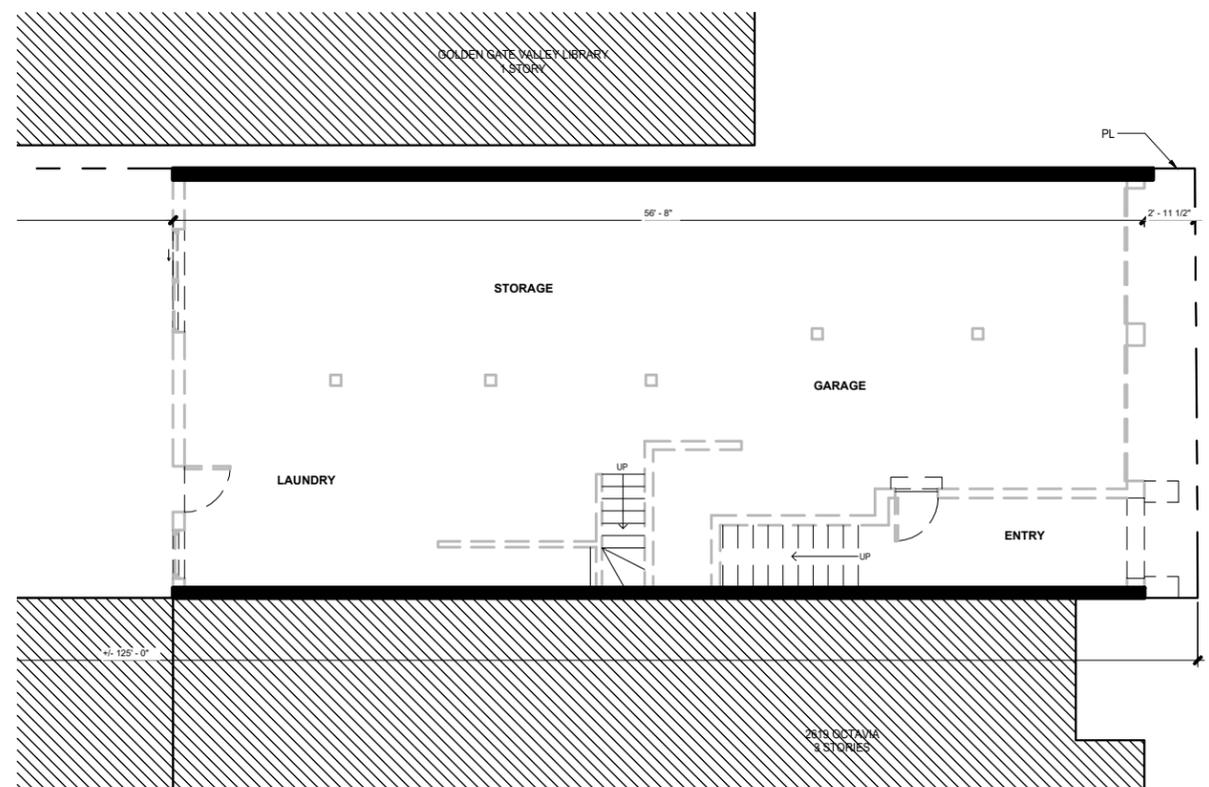
EXISTING ROOF 3/32" SCALE



EXISTING LEVEL 2 3/32" SCALE



EXISTING LEVEL 3 3/32" SCALE

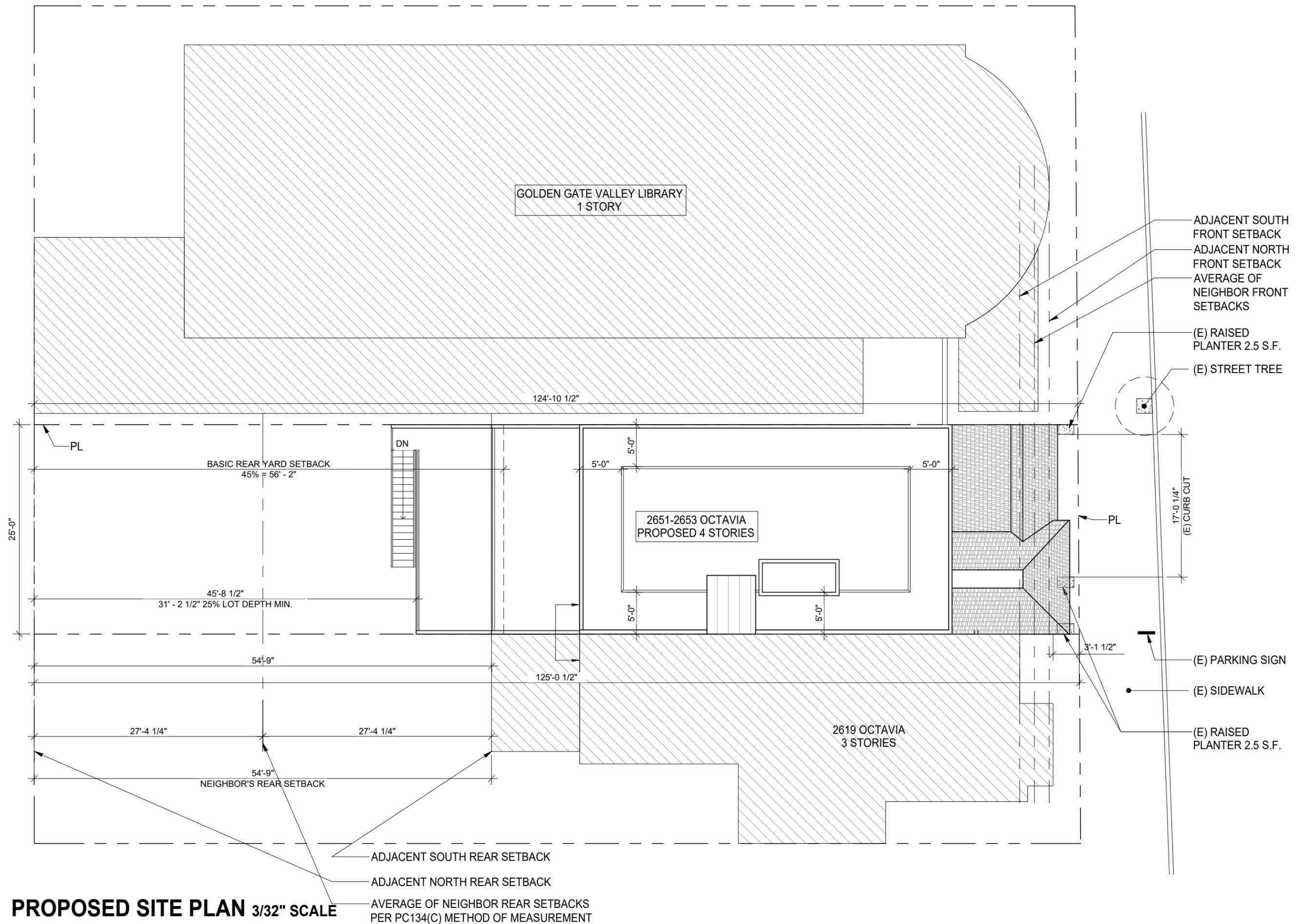


EXISTING LEVEL 1 3/32" SCALE



NEIGHBORHOOD
NOTIFICATION

02

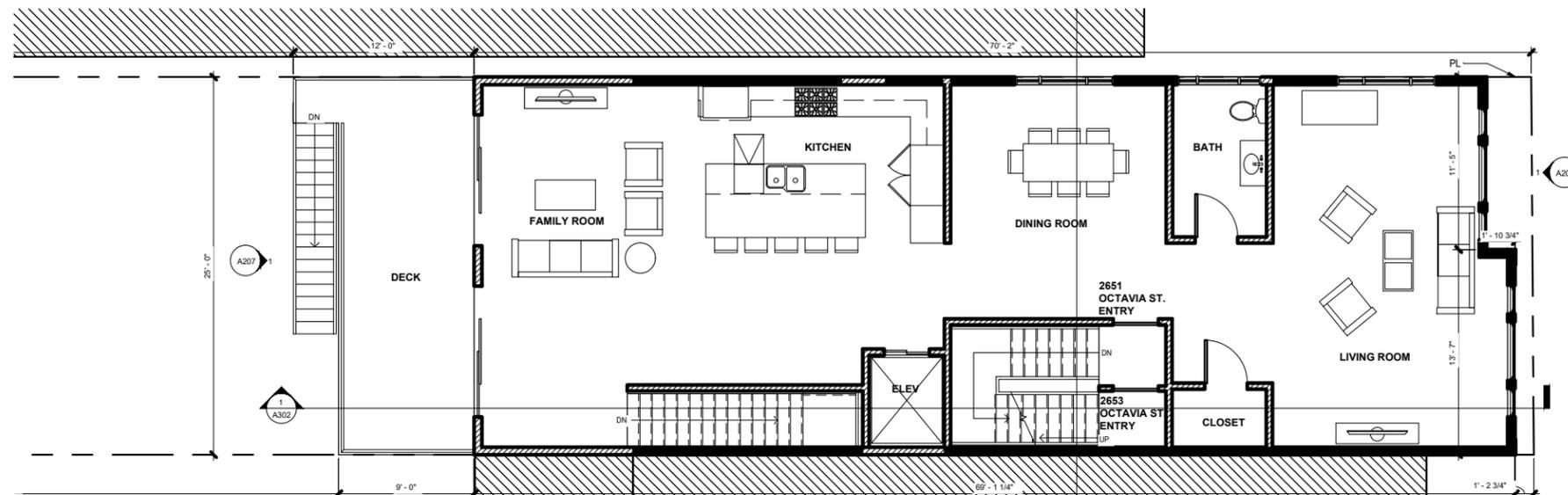


PROPOSED SITE PLAN 3/32" SCALE

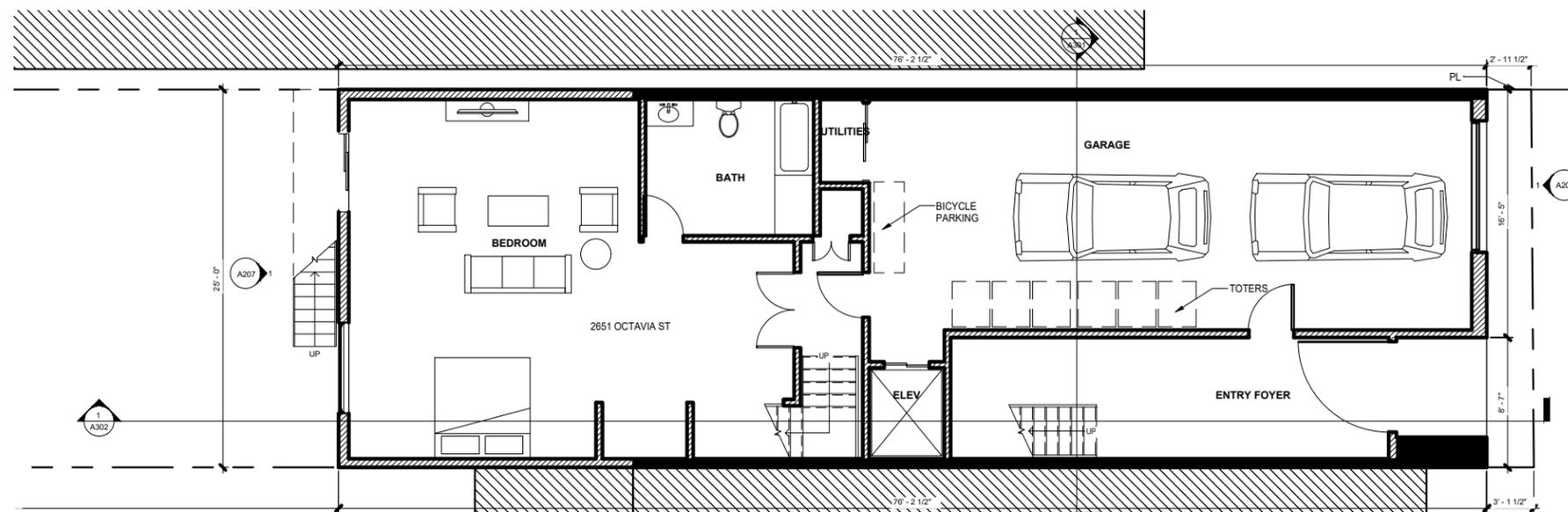
- ADJACENT SOUTH REAR SETBACK
- ADJACENT NORTH REAR SETBACK
- AVERAGE OF NEIGHBOR REAR SETBACKS PER PC134(C) METHOD OF MEASUREMENT

- ADJACENT SOUTH FRONT SETBACK
- ADJACENT NORTH FRONT SETBACK
- AVERAGE OF NEIGHBOR FRONT SETBACKS
- (E) RAISED PLANTER 2.5 S.F.
- (E) STREET TREE
- (E) CURB CUT
- (E) PARKING SIGN
- (E) SIDEWALK
- (E) RAISED PLANTER 2.5 S.F.

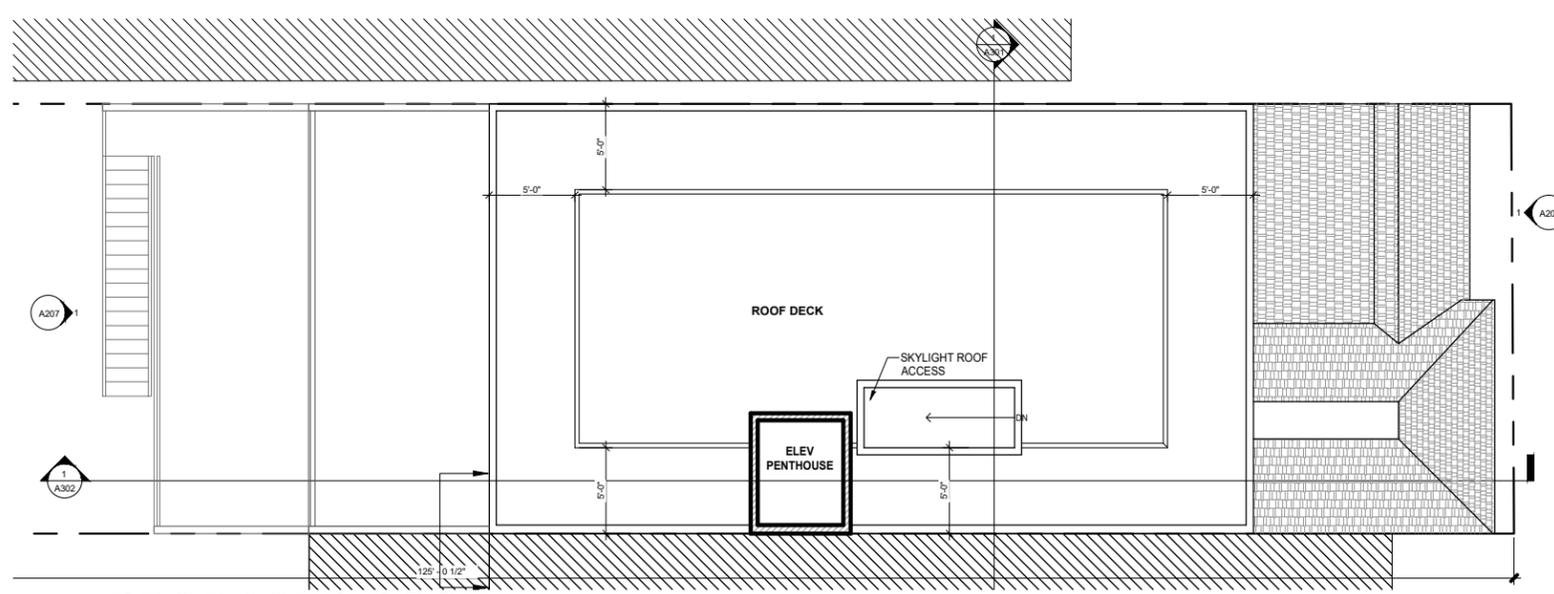
NEIGHBORHOOD NOTIFICATION



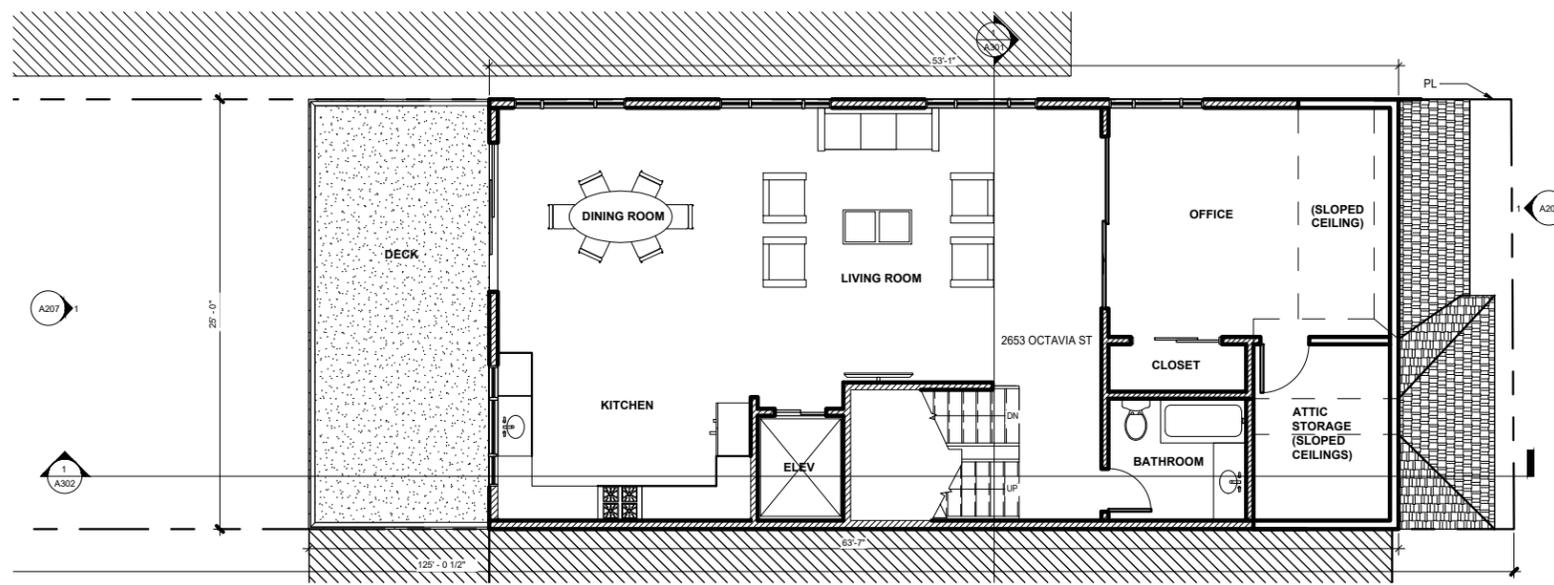
PROPOSED LEVEL 2 3/32" SCALE



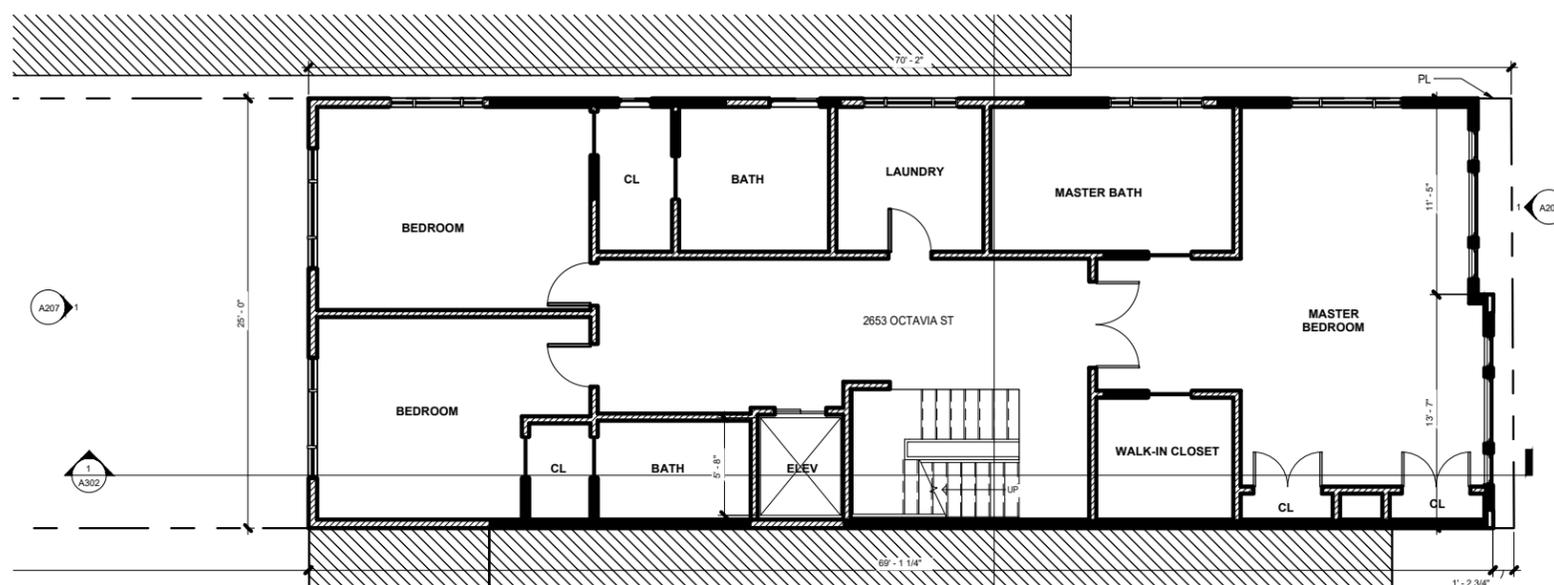
PROPOSED LEVEL 1 3/32" SCALE



PROPOSED ROOF 3/32" SCALE



PROPOSED LEVEL 4 3/32" SCALE



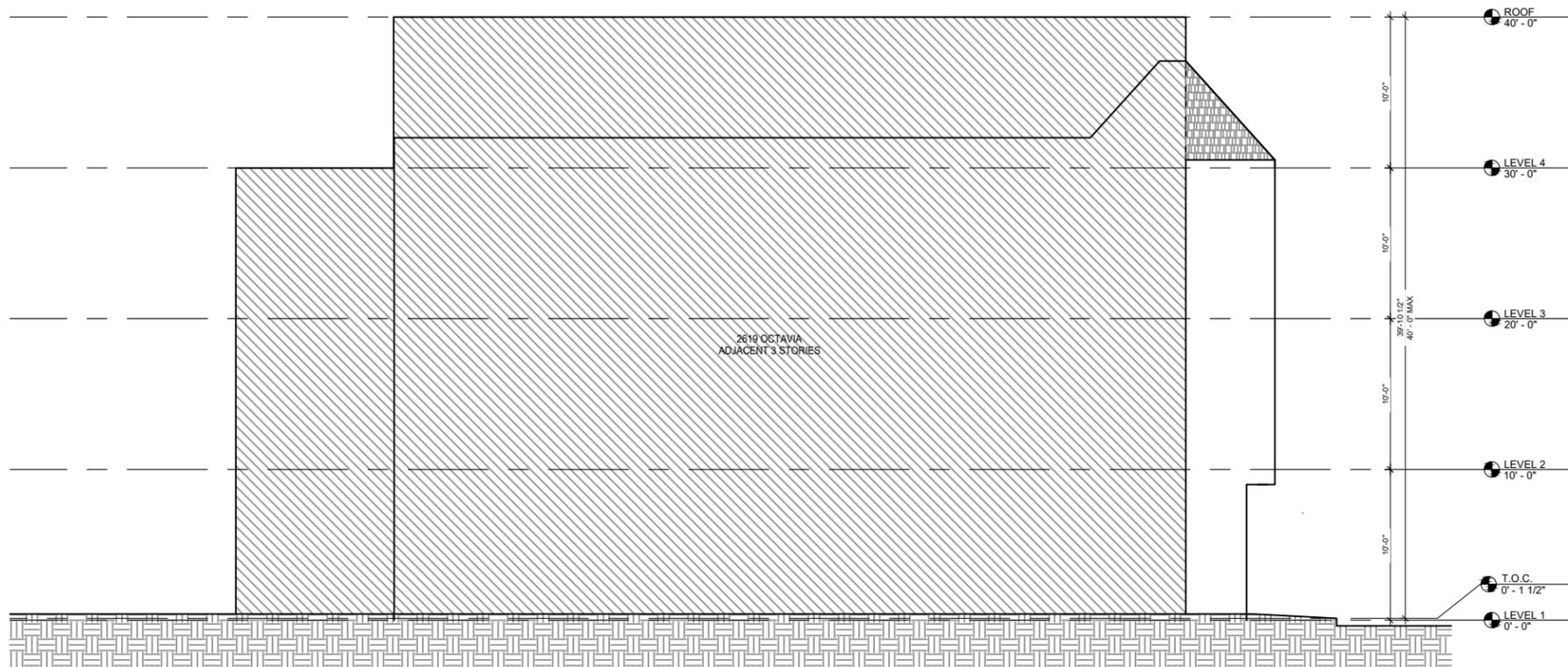
PROPOSED LEVEL 3 3/32" SCALE

ARCHITECT
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 SARAH LOUIE ROITMAN
ARCHITECTURE
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 OAKLAND, CA 94610
 sarah@louieroitman.com 510.499.3665

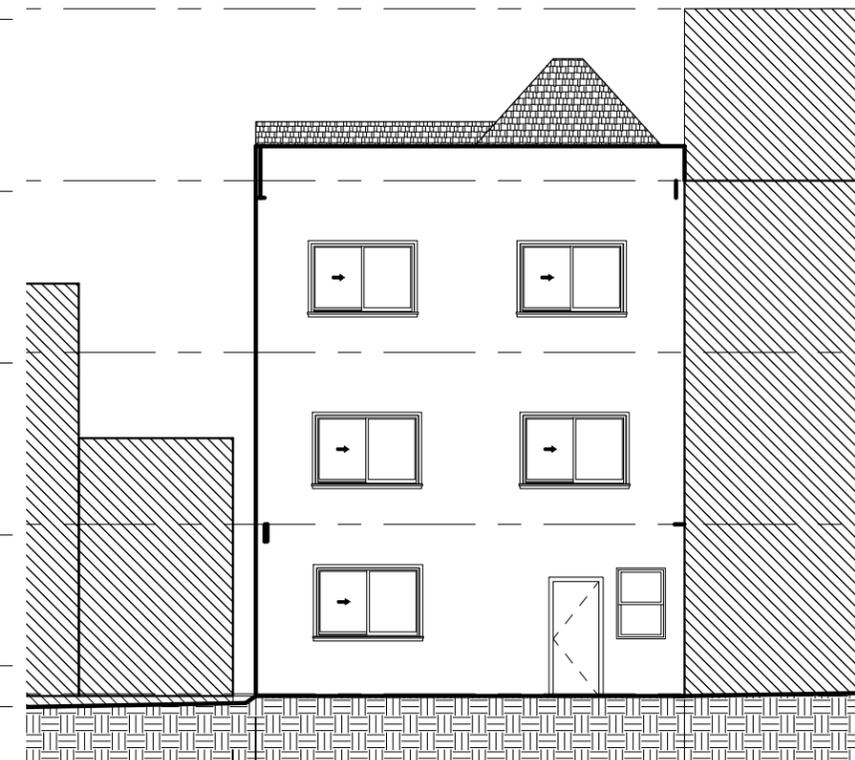
OWNER
 JANE COTE-COOK
 2651 OCTAVIA STREET
 SAN FRANCISCO, CA 94123


 NEIGHBORHOOD
 NOTIFICATION

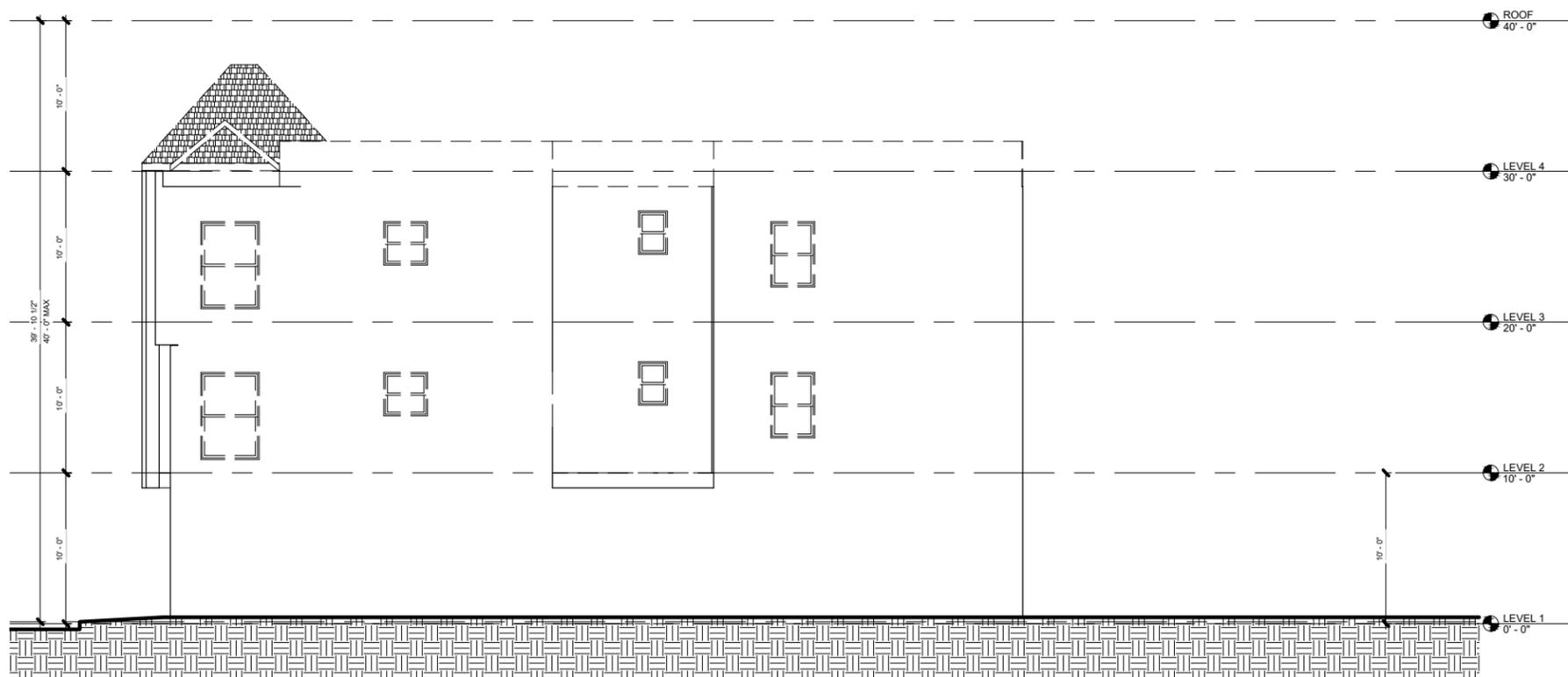
05



EXISTING SOUTH ELEVATION 3/32" SCALE



EXISTING WEST ELEVATION 3/32" SCALE



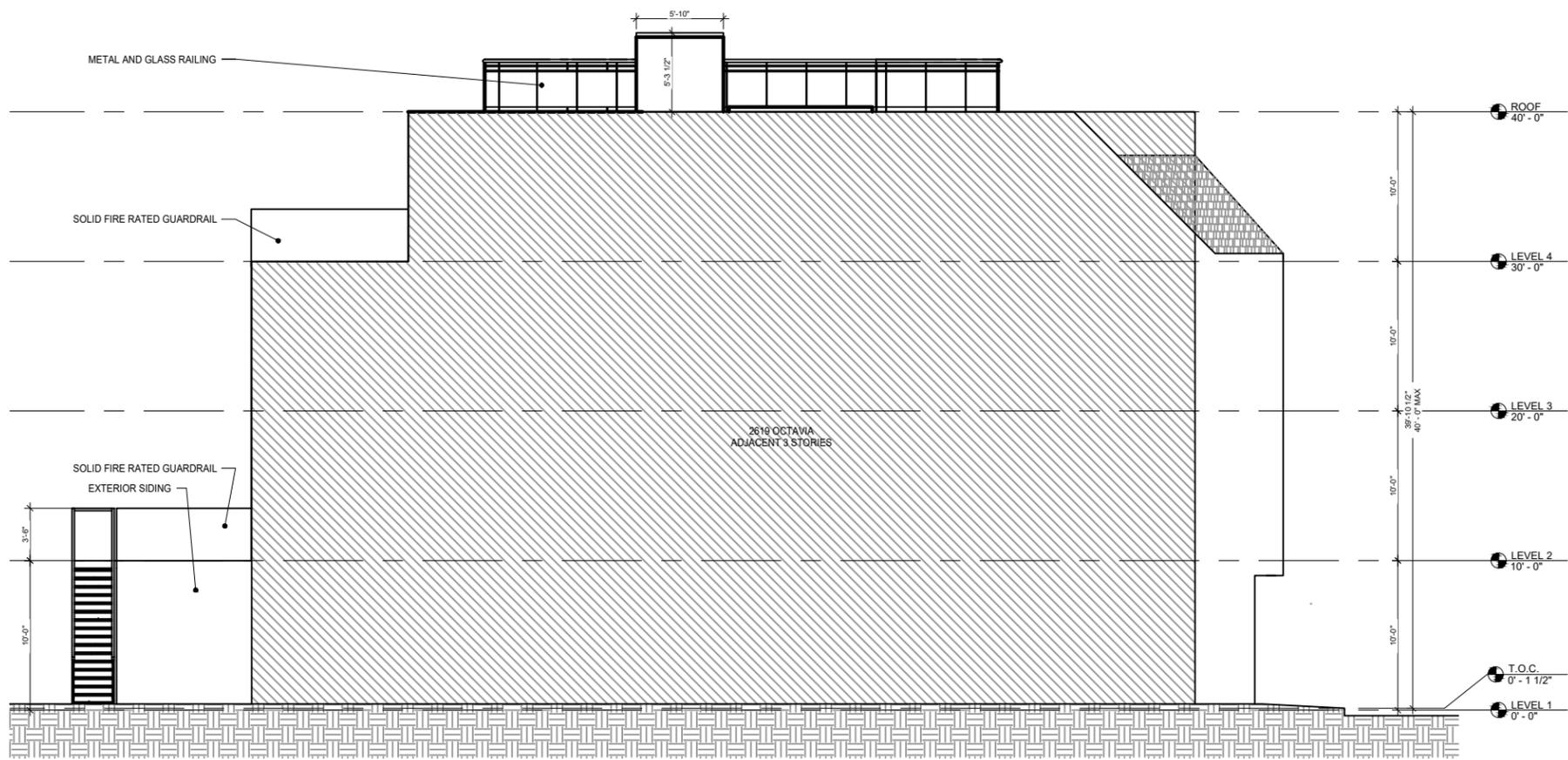
EXISTING NORTH ELEVATION 3/32" SCALE



EXISTING EAST ELEVATION 3/32" SCALE

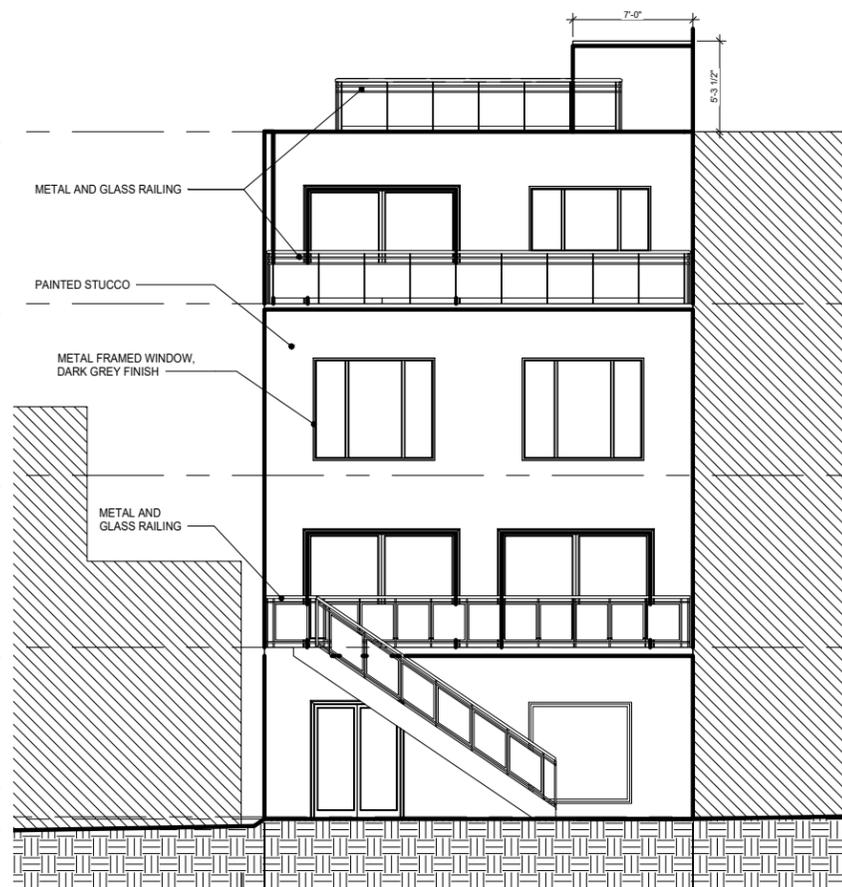


NEIGHBORHOOD
NOTIFICATION

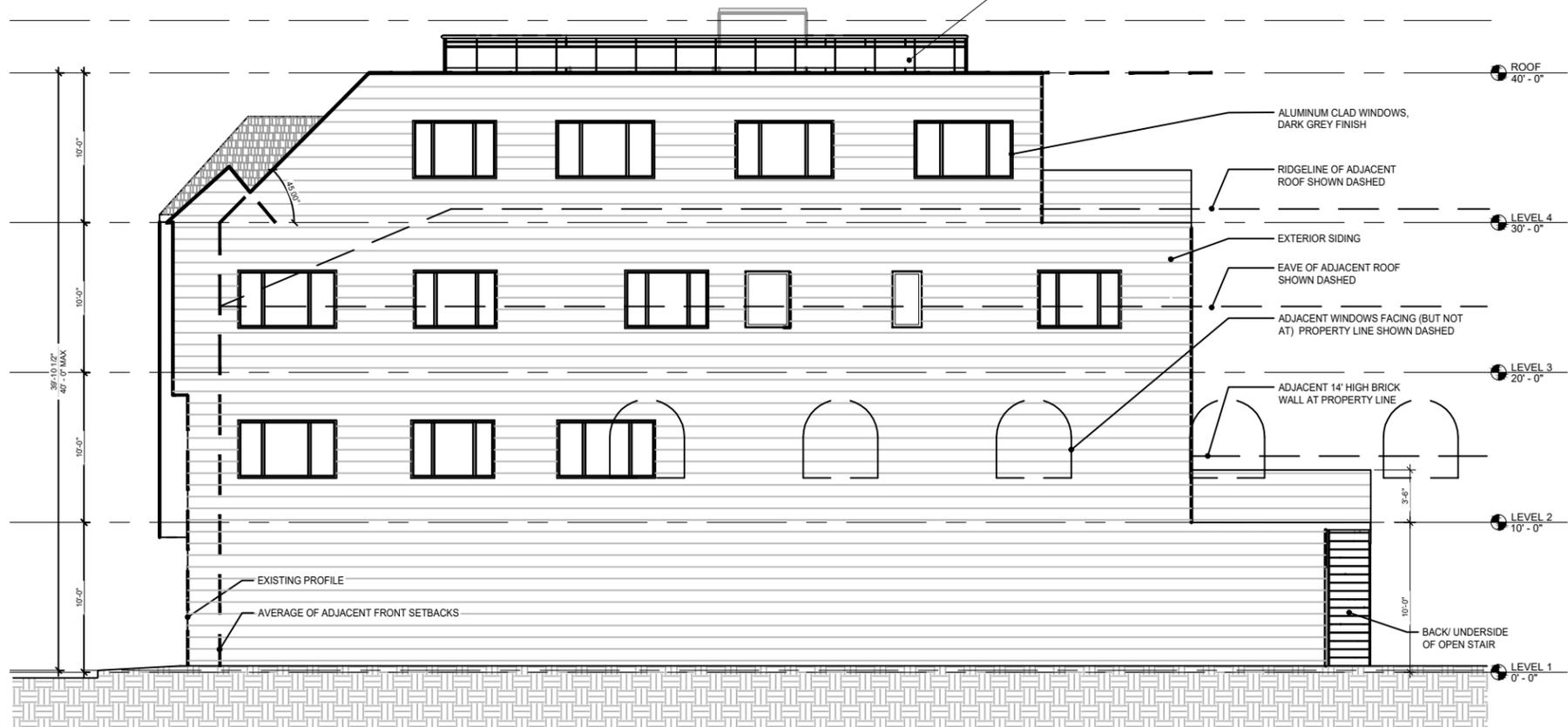


PROPOSED SOUTH ELEVATION 3/32" SCALE

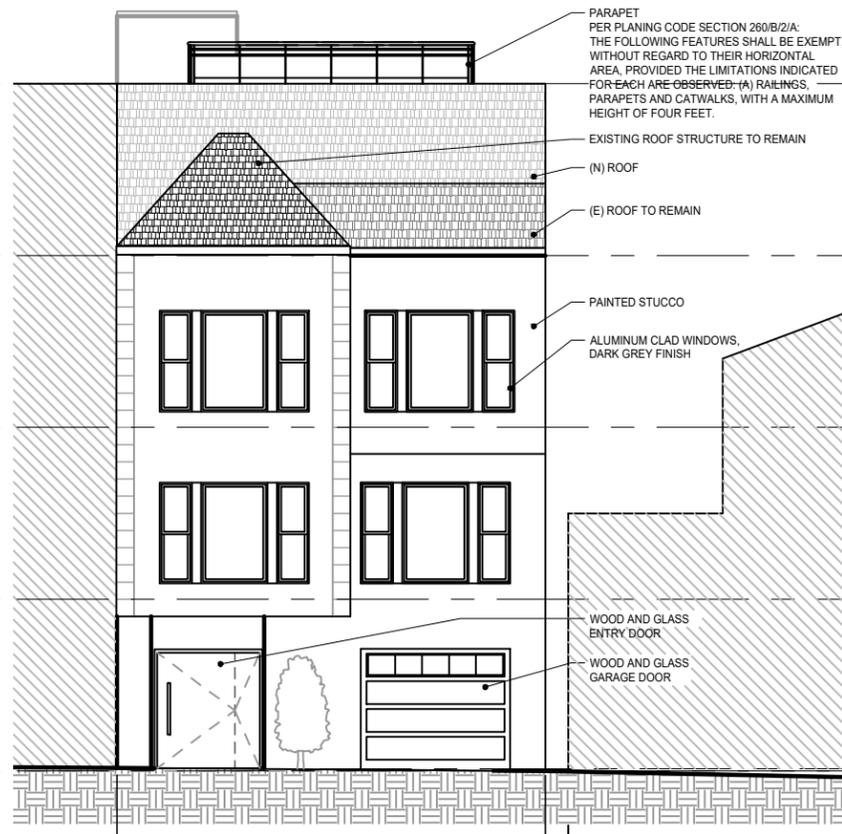
PER PLANNING CODE SECTION 260(B)(2)(A):
THE FOLLOWING FEATURES SHALL BE EXEMPT, WITHOUT REGARD TO THEIR
HORIZONTAL AREA, PROVIDED THE LIMITATIONS INDICATED FOR EACH ARE OBSERVED:
(A) RAILINGS, PARAPETS AND CATWALKS, WITH A MAXIMUM HEIGHT OF FOUR FEET.



PROPOSED WEST ELEVATION 3/32" SCALE



PROPOSED NORTH ELEVATION 3/32" SCALE



PROPOSED EAST ELEVATION 3/32" SCALE

ARCHITECT

A L A N Z E E
S A R A H L O U I E R O I T M A N
A R C H I T E C T U R E

1 0 2 9 L O N G R I D G E R O A D
O A K L A N D , C A 9 4 6 1 0
s a r a h @ l o u i e r o i t m a n . c o m 5 1 0 . 4 9 9 . 3 6 6 5

OWNER

J A N E C O T E - C O O K
2 6 5 1 O C T A V I A S T R E E T
S A N F R A N C I S C O , C A 9 4 1 2 3



NEIGHBORHOOD
NOTIFICATION

07

Attachment C
June 12, 2020
Historic Preservation Review Memo



DATE: June 12, 2020
TO: Lisa Gibson, Environmental Review Officer
FROM: Shannon Ferguson, Senior Planner – Preservation
RE: 2651-2653 Octavia Street

Background

On September 5, 2019, the Department issued a Categorical Exemption for a residential alteration project at 2651-2653 Octavia Street under Case 2018-011022PRJ. After several rounds of design revisions at the direction of Department Preservation staff, preservation staff determined that the proposed alteration would be minimally visible and meet the Secretary of the Interior's Standards for Rehabilitation (Standards). This review took into account the subject property and its environment, including the adjacent Golden Gate Valley Library, an individually-eligible historic resource. This determination was documented in Step 5 of the Categorical Exemption checklist. Based on Department process, as the project was found to meet the Standards and to meet a scope of work under Step 5 of the Categorical Exemption checklist, an historic resource evaluation of the subject property was not required, the need for a Historic Resource Determination (HRD) or Historic Resource Evaluation (HRE) was not triggered, and no further documentation of this determination was undertaken.

The project sponsor worked with department staff to revise the proposal to avoid removal of historic materials and alteration of features that characterize the property. As originally designed, the project proposed to remove the mansard roof, false parapet, stucco quoining and construct a rooftop addition with decks at the third and fourth story roofs. Based on staff recommendations and multiple design meetings with the project sponsor, the proposal was revised to retain the mansard roof, false parapet, stucco quoining, and have a compatible fenestration pattern on the visible portion of the north elevation. In addition, the revised proposal reduced the mass of the rooftop addition and set it back by 15-feet from the front elevation and also set it back at the rear elevation, eliminated the third story roof deck and set back and reduced the size of the fourth story roof deck.

The main Reading Room in the library is contained in the one-story plus high basement portion of the building. The library also has a one-story, flat roofed portion at the north elevation. This one story portion helps to protect the historic integrity of the library from the mass of the proposed rooftop and rear additions to the existing residence at the subject property by providing a separation between the subject property and the main volume of the library.

This separation minimizes the effect of the proposed rooftop and rear additions on the amount of available light to the reading room. There are four full height windows and one half size window at the north elevation of the reading room. The west elevation has one full height window and the east elevation has three full height windows. The south elevation has four half size windows. The

proposed project may have the potential to block light to three of the half windows at the south elevation. The project will not block light to the windows on the east, north and west elevations, thus providing ample light to the reading room.

Project Description

The proposed project would construct a fourth-floor-level vertical and horizontal addition to an existing 37-foot-tall (inclusive of a 7-foot-tall mansard roof), three-story, 4,151-gross-square-foot two-family residence constructed in 1950, resulting in a 40-foot-tall (exclusive of a 3.5-foot-tall parapet and clear glass guardrail on the roof deck), four-story, 6,512-gross-square-foot two family residence.

Golden Gate Valley Library and Article 10 Landmarking

The Golden Gate Valley library, located at 1801 Green Street, stands adjacent to the proposed project at the southwest corner of Green and Octavia streets. The San Francisco Carnegie libraries are significant for their association with the patterns of social and cultural history of San Francisco, particularly with the contesting of political and cultural power between working class based groups and middle class based Progressives; architectural embodiment of Progressive and City Beautiful tenets of civic grandeur used as a means of social organization, particularly to the acculturation of working class and immigrant populations; architectural embodiment of the distinctive characteristics of branch libraries, especially those delineated in "Notes of the Erection of Library Buildings." As part of a discontinuous grouping of Carnegie libraries in San Francisco, the Golden Gate Valley library is an individually significant resource and eligible for landmarking under Article 10 of the Planning Code. At the time the other Carnegie libraries were landmarked, the Golden Gate Valley branch was under construction. The building was proposed for landmark designation upon completion of construction. The Department expects to move forward with landmarking in Summer/Fall 2020.

Character defining features of the six landmark designated Carnegie libraries include the following:

- **Landmark #234, Carnegie Library Mission Branch, 300 Bartlett Street** - character defining features include exterior composition and materials, spatial volume and ornamental ceiling of the main Reading Room.
- **Landmark #235, Carnegie Library Chinatown Branch, 1135 Powell Street** - character defining features include exterior composition and materials, spatial volume, and ornamental ceiling of the main Reading Room.
- **Landmark #239, Carnegie Library Sunset, 1305 18th Avenue** – character defining features include exterior composition and materials, the paneled vestibule, the spatial volume and ornamental ceiling of the main Reading Room, and the glazed and paneled partition between the Main Reading Room and the Children's Room.
- **Landmark #240, Presidio Carnegie Library, 3150 Sacramento Street** – character defining features include exterior composition and materials, spatial dimensions of Sacramento Street set back, the paneled vestibule, the spatial volume and ornamental ceiling of the main Reading Room, and the glazed and paneled partition between the Main Reading Room and the Children's Room.

- **Landmark #247, Richmond Branch Library, 351 9th Avenue** – character defining features include exterior composition and materials, spatial dimensions and mature palm trees of the 9th Avenue set back, paneled vestibule, and spatial volume and ornamental ceiling of the main Reading Room.
- **Landmark #259, Carnegie Library Noe Valley, 451 Jersey Street** – character defining features include the exterior composition and materials, the paneled vestibule, the primary stairway, the spatial volume of the Main Reading Room, the ornamental ceiling of the Main Reading Room, the glazed and paneled partition between the Main Reading Room and the Children's Room.

Character defining features are similar for all the Carnegie libraries. The character defining features of the Golden Gate Valley library that would likely be included in the landmark designation are the exterior composition and materials, paneled vestibule, spatial volume and ornamental ceiling of the main Reading Room.

Even if the landmarking of the library had been undertaken prior to the review of the proposed project, our review process would not have changed, specifically no HPC hearing would have been required and nor would any further documentation would have been required to issue the Categorical Exemption. Further, the conclusions noted in the Categorical Exemption, dated September 5, 2019, would not have changed.

Secretary of the Interior’s Standards for Rehabilitation

As discussed above, Planning Department preservation staff determined that the proposed project would meet the *Secretary of the Interior’s Standards for Rehabilitation (Secretary’s Standards)* and this was documented in the Categorical Exemption checklist. A full analysis documenting that the proposed project complies with the *Secretary’s Standards* provided:

Standard 1. A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.

The subject property is a two-family residence. It is classified as a potential historic resource. The proposed project will continue the residential use of the property. The proposed project will cause minimal change to the character defining features of the subject property. The mansard roof, false parapet, quoining, and fenestration pattern will be retained. While the proposed project may reduce some of the light to some of the windows along with south elevation, the proposed project will not change the character defining features of the adjacent library. The exterior composition and materials, and interior volume and ornamental ceiling of the reading room of the library will not be impacted by the proposed project, thus the subject property will remain a potential historic resource.

Standard 2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.

The project sponsor worked with department staff to revise the proposal to avoid removal of historic materials and alteration of features that characterize the property. As originally designed, the project proposed to remove the mansard roof, false parapet, stucco quoining and construct a rooftop addition with decks at the third and fourth story roofs. Based on staff recommendations and multiple design meetings with the project sponsor, the proposal was revised to retain the mansard roof, false parapet, stucco quoining, and have a compatible fenestration pattern on the visible portion of the north elevation. In addition, the revised proposal reduced the mass of the rooftop addition and set it back by 15-feet from the front elevation and also set it back at the rear elevation, eliminated the third story roof deck and set back and reduced the size of the fourth story roof deck. Thus, the historic character of the property is retained and preserved.

Standard 3. Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.

The proposed project does not create a false sense of historical development, nor does it add architectural elements from other buildings.

Standard 4. Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.

Not applicable.

Standard 5. Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a property shall be preserved.

The proposed project preserves the distinctive mansard roof, false parapet, quoining, and fenestration pattern that characterizes the property.

Standard 6. Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.

The project proposes to replace deteriorated and incompatible vinyl windows at the front elevation with double-hung, wood-clad windows. Due to the construction date of the property and properties in the surrounding neighborhood, the property likely had double-hung, wood sash windows. The proposed windows will better match historic windows and the character of the property in design, visual qualities and materials. The use of double-hung, wood clad windows complies with the Department's *Standards for Window Replacement*.

Standard 7. Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.

Not applicable.

Standard 8. Significant archeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.

Not applicable.

Standard 9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.

The proposed additions will subsume a small portion of the historic mansard roof for the rooftop addition. However, this portion of the roof is not visible from the street or library because it is hidden behind the front portion of the mansard and the false parapet. The majority of the mansard roof, as well as the false parapet will be retained.

The rooftop addition is set back 15-feet from the front elevation of the property. Because Octavia Street slopes downhill to the north, the rooftop addition will be visible behind the library. However, the addition is compatible with the massing, size and scale of the subject property and adjacent buildings to the south. Even with the rooftop addition at the subject property, the height of the buildings on Octavia Street will still appear to step down to the library.

The main Reading Room in the library is contained in the one-story plus high basement portion of the building. The library also has a one-story, flat roofed portion at the north elevation. This one-story addition helps to protect the historic integrity of the library from the mass of the proposed rooftop and rear additions to the existing residence at the subject property by providing a separation between the subject property and the main volume of the library.

This separation minimizes the effect of the proposed rooftop and rear additions on the amount of available light to the reading room. There are four full height windows and one half size window at the north elevation of the reading room. The west elevation has one full height window and the east elevation has three full height windows. The south elevation has four half size windows. The proposed project may have the potential to block light to three of the half windows at the south elevation. The project will not block light to the windows on the east, north and west elevations, thus providing ample light to the reading room.

The rear elevation will be removed for the proposed rear addition. The existing rear elevation is not a character defining feature. The existing rear of the building is not visible from Green Street as it is behind the library. The new rear addition may be minimally visible from Green Street. However, the additions will be clad in horizontal wood siding that is compatible with the materials of the subject property and neighborhood.

Standard 10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

Given the rear elevation and flat portion of the roof will be removed for the new additions, it would be difficult to remove the new construction in the future. However, the form of the front elevation, a portion of the visible side elevation, as well as the mansard roof, false parapet, quoining, and fenestration pattern, will be retained. Thus, the integrity of the visible features of the subject property would be unimpaired. The essential form of the original footprint of the

property will also be retained within the additions. The adjacent buildings and library would also be unimpaired if the additions were removed in the future.

Impact Analysis to Adjacent Resources

As just discussed, the proposed project meets the Standards as the project will not impact the proposed property nor will it impact the adjacent Golden Gate Valley library. None of the character defining features of the Golden Gate Valley library as defined above would be impacted by the proposal. The project will not cause any direct impacts to the adjacent resource as no work is proposed outside of the proposed subject parcel. Additionally, the paneled vestibule, spatial volume and ornamental ceiling of the main Reading Room would still be visible and able to be experienced by patrons when inside the library at the completion of the proposed project.

In order to understand project impacts to adjacent resources, the Department also focus on setting, one of the seven aspects of historical integrity. Setting is the physical environment of a historic property. Projects can have setting impacts on adjacent resources if they will change the setting of the resource. As the library is in a residential setting and an addition to an adjacent residential property will not change the character of the residential neighborhood, the library would retain its integrity of setting.

Summary

Based on the above Standard's analysis, the project meets the Standards and will not cause an impact to the subject property and its environment, this includes the adjacent Golden Gate Valley library and the residential character of the street. As discussed above, the character-defining features of the library would not be materially impaired by the proposed project as the library would still be able to convey its historical significance and would retain its historical integrity, including integrity of setting.

As discussed above, Department preservation staff determined that the proposed residential alteration project would be minimally visible and meets the Standards. Following the Department's normal procedures, this is a scope of work identified in the Department's Categorical Exemption checklist that does not require further written analysis on the part of staff nor did this project require additional historical information from the project sponsor or a consultant report. The Department agrees that an oversight occurred in regard to landmarking of the library and is working to correct it. However, no additional historic preservation review process would have been required if landmarking of the library had been completed prior to review of this project. Further, the conclusions noted in the Categorical Exemption, dated September 5, 2019, would not have changed.